

SKETCH OF ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S REFERENCES:

1. FIRST AMERICAN TITLE INSURANCE COMPANY OWNERSHIP AND ENCUMBRANCE REPORT, FILE NO. 3020-1209874, DATED MARCH 5th, 2024 @ 8:00 AM.
2. OAKWOOD PLAZA ALTA/NSPS LAND TITLE SURVEY PREPARE BY KEITH AND SONHARS, P.A., PROJECT NO. 138560, MAY 1996 WITH SUBSEQUENT REVISIONS.
3. F.D.O.T. R/W MAP FOR STATE ROAD NO. 848 (STIRLING ROAD), SECTION 86016-2500, SHEETS 17 THRU 19.
4. F.D.O.T. R/W MAP FOR STATE ROAD 9 (I-95), SECTION 86070-2487, SHEETS 1 THRU 7.
5. LOOK HOMESITES No.2, RECORDED IN PLAT BOOK 38, PAGE 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
6. "THE AQUA PARK", RECORDED IN PLAT BOOK 109, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
7. "JOHN L.A. BOND PLAT", RECORDED IN PLAT BOOK 111, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
8. COLONIAL SQUARE, RECORDED IN PLAT BOOK 114, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
9. HOLLYWOOD COMMERCIAL CENTER, RECORDED IN PLAT BOOK 117, PAGE 36, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
10. OAKWOOD HILLS, RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
11. GREENMAN PLAZA, RECORDED IN PLAT BOOK 122, PAGE 15, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
12. "EXXON 4-5379 PLAT", RECORDED IN PLAT BOOK 144, PAGE 30, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
13. DANA PONTE, RECORDED IN PLAT BOOK 183, PAGE(S) 91-99, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
14. DECLARATION OF EASEMENT, RECORDED IN OFFICIAL RECORDS BOOK 32874, PAGE 852 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION:

(LUPA SOUTH):

A PARCEL OF LAND BEING A PORTION OF TRACT 'E', OAKWOOD HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 120, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

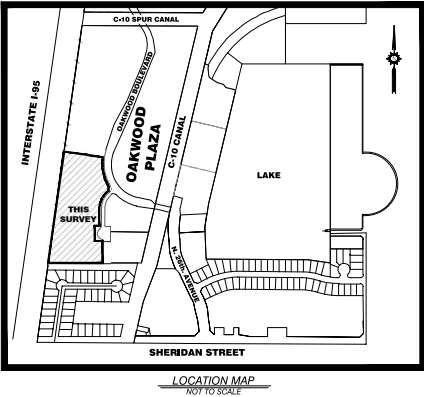
COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT 'E', SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE C-10 CANAL; THENCE S.88°27'20"W., ALONG THE SOUTH LINE OF SAID TRACT 'E', A DISTANCE OF 325.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUE S.88°27'20"W., ALONG SAID SOUTH LINE, A DISTANCE OF 449.41 FEET TO THE SOUTHWEST CORNER OF SAID TRACT 'E', SAID POINT ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF INTERSTATE I-95; THENCE N.06°21'02"E., ALONG THE WEST LINE OF SAID TRACT 'E' AND THE EAST RIGHT-OF-WAY LINE OF SAID INTERSTATE I-95, A DISTANCE OF 198.00 FEET TO THE NORTHWEST CORNER OF SAID TRACT 'E'; SAID POINT ALSO BEING A POINT OF THE SOUTH RIGHT-OF-WAY LINE OF THE C-10 SPUR CANAL; THENCE N.88°22'24"E., ALONG THE NORTH LINE OF SAID TRACT 'E', AND THE SOUTH RIGHT-OF-WAY LINE OF THE SAID C-10 SPUR CANAL, A DISTANCE OF 980.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT 'E'; SAID POINT ALSO BEING A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE SAID C-10 CANAL; THENCE S.11°04'01"W., ALONG SAID EAST LINE OF SAID TRACT 'E', A DISTANCE OF 322.78 FEET; THENCE S.01°32'49"E., A DISTANCE OF 76.23 FEET; THENCE S.88°27'21"W., A DISTANCE OF 62.50 FEET; THENCE S.01°32'49"E., A DISTANCE OF 192.50 FEET TO THE POINT OF BEGINNING.

TREE SURVEY NOTES:

1. THIS FIRM HAS IDENTIFIED THE VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES FOR POSITIVE IDENTIFICATION OF TREE SPECIES A QUALIFIED LANDSCAPE ARCHITECT OR BOTANIST SHOULD BE CONSULTED. TREES THREE (3') CALIPER INCHES OR LARGER, WHEN MEASURED AT BREAST HEIGHT, ARE SHOWN ON THE SURVEY DRAWING. HEDGES AND GROUND COVER ARE NOT SHOWN ON THE SURVEY DRAWING. EXOTIC TREES SUCH AS MEXICAN ALGAL, BRAZILIAN FORMER, AND AUSTRALIAN PINE ARE NOT SHOWN ON THE SURVEY DRAWING.
2. EACH TREE LOCATED HAS BEEN TAGGED WITH A NUMBERED TAG THAT CORRESPONDS TO THE TREE LEGEND SHOWN HEREON.
3. CLUSTERS OF TREES ARE SHOWN GROUPED WITH AN APPROXIMATION OF THE TOTAL NUMBER OF TREES LOCATED WITHIN THE GROUP.
4. THE CANOPY DIAMETER AND SPREAD ARE NOT SHOWN HEREON, UNLESS INDICATED OTHERWISE.
5. THE LOCATION OF TREES IS LIMITED TO THOSE TREE LOCATED WITHIN THE SURVEY LIMITS SHOWN HEREON.

UTILITY NOTE:

THE LOCATION OF CERTAIN SUBSURFACE UTILITY LINES SHOWN HEREON ARE DEPICTED GRAPHICALLY BASED ON THE CITY OF HOLLYWOOD UTILITY ATLAS PROVIDED TO STONER & ASSOCIATES, INC. BY KIMLEY HORN. STONER & ASSOCIATES, INC. DID NOT CONFIRM THE EXISTENCE, ALIGNMENT OR DEPTH OF THE UTILITY LINES SHOWN HEREON AND MAKES NO CLAIMS OR GRANTEES TO THE ACCURACY OF THE UTILITY LOCATIONS. THE LOCATION OF UTILITY LINES SHOWN HEREON SHOULD BE CONFIRMED BY DIRECT EXCAVATION BEFORE DESIGN AND/OR CONSTRUCTION OF IMPROVEMENTS.



SURVEY NOTES:

1. THIS SKETCH OF BOUNDARY SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR SURVEYING ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS (BPSM), FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY WAS ALSO PREPARED IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS.
2. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL EMBOSSED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THIS SURVEY HAS BEEN DELIVERED IN PORTABLE DOCUMENT FORMAT (PDF) AND DIGITALLY SIGNED AND SEALED, A VALID SERIAL NUMBER MUST BE PRESENT FOR THE SURVEY TO BE CONSIDERED VALID.
3. THE LEGAL DESCRIPTION FOR THE PROPERTY SHOWN HEREON WAS PROVIDED BY THE CLIENT. THE BOUNDARY LINES AND RIGHT-OF-WAY LINES AND SHOWN HEREON FOR INFORMATIONAL PURPOSES ONLY AND ARE BASED ON A PORTAL INFORMATION, TITLE INSURANCE COMPANY OWNERSHIP AND ENCUMBRANCE REPORT, FILE NO. 3020-1209874, UPDATED AND REVISED MAY 3, 2024.
4. THIS SKETCH OF SURVEY DOES NOT REPRESENT A SURVEY OF THE BOUNDARY OR RIGHT OF WAY LINES.
5. A SEARCH OF THE PUBLIC RECORDS FOR OWNERSHIP, EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS OF RECORD WAS NOT PERFORMED BY STONER & ASSOCIATES, INC. THERE MAY BE ADDITIONAL INFORMATION RECORDED IN THE PUBLIC RECORDS THAT IS NOT SHOWN HEREON. FOR FURTHER INFORMATION, CONTACT A QUALIFIED TITLE COMPANY OR CONSULT THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
6. THE HORIZONTAL COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (EAST ZONE), NORTH AMERICAN DATUM 1983, 2011 ADJUSTMENT (NAD 83, 2011). THE COORDINATES FOR EACH CONTROL POINT WERE ESTABLISHED BY UTILIZING A COMBINATION OF GPS OBSERVATIONS AND/OR CONVENTIONAL SURVEY MEASUREMENTS.
7. THE BEARINGS SHOWN HEREON ARE BASED ON N.87°34'11"E., ALONG THE NORTH LINE OF THE N.E. 1/4 OF SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
8. THE ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88), ESTABLISHED FROM BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK NO. 1796, A BROWARD DISC IN THE SIDEWALK 1' NORTHEAST CORNER OF THE BRIDGE OVER THE CANAL LOCATED 200 FEET EAST OF BRYAN ROAD ON STIRLING ROAD, ELEVATION = 11.286'.
9. THE PROPERTY SHOWN HEREON HAS THE FOLLOWING FLOOD ZONE DESIGNATION:
 - a. MFP COMMUNITY NAME & COMMUNITY NUMBER: CITY OF HOLLYWOOD 125113
 - b. COUNTY NAME: BROWARD COUNTY
 - c. STATE OF FLORIDA
 - d. MAP-PANEL NUMBER: 12011C02568
 - e. SUFFIX: H
 - f. FIRM INDEX DATE: 8/18/14
 - g. FIRM PANEL EFFECTIVE/REVISED DATE: 8/18/14
 - h. FLOOD ZONE: X, AH, 1, AE, S, AE, 3
 - i. BASE FLOOD ELEVATION: X, AH, 1, AE, S, AE, 3
 - j. THE FLOOD ZONE INFORMATION SHOWN HEREON IS BASED UPON THE CURRENT PUBLISHED FLOOD INSURANCE RATE MAP (FIRM) ON THE DATE THIS SURVEY WAS PREPARED. THE DATA CONTAINED IN THE FIRM MAP IS SUBJECT TO CHANGE WITHOUT NOTICE. THE FLOOD ZONE BOUNDARIES (WHEN SHOWN) ARE APPROPRIATE, BASED ON DIGITAL FIRM PANEL MAP BASE. FOR THE LATEST FLOOD ZONE INFORMATION, CONTACT THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) OR YOUR LOCAL GOVERNMENTAL BUILDING DEPARTMENT.
10. CERTAIN FEATURES ARE REPRESENTED BY THE SYMBOLS REFLECTED IN THIS MAP. THE LEGEND OF FEATURES MAY HAVE BEEN ENLARGED FOR CLARITY AND MAY NOT REPRESENT THE ACTUAL SIZE OF THE FEATURE. THE SYMBOLS HAVE BEEN PLOTTED AT THE APPROXIMATE CENTER OF THE FEATURE BASED UPON THE FIELD LOCATION.
11. THE EXHIBIT OF PARCELS AND EASEMENTS IS INTENDED TO BE DISPLAYED AT A HORIZONTAL SCALE OF 1 inch = 100 FEET. THE BOUNDARY SURVEY DETAIL SHEETS ARE INTENDED TO BE DISPLAYED AT A HORIZONTAL SCALE OF 1 inch = 30 FEET.
12. THE HORIZONTAL ACCURACY FOR WELL DEFINED IMPROVEMENTS DEPICTED ON THIS SKETCH IS ONE-TENTH (0.1') OF A FOOT, PLUS OR MINUS. THE VERTICAL (ELEVATIONS) ACCURACY FOR WELL DEFINED IMPROVEMENTS, FEATURES, AND SURFACES DEPICTED ON THIS SURVEY IS TWO-TENTHS (0.2') OF A FOOT, PLUS OR MINUS.
13. IRRIGATION FEATURES, SUCH AS SPRINKLERS, ARE NOT SHOWN HEREON.
14. FENCES AND WALL DIMENSIONS ARE APPROPRIATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF FENCES AND WALLS.
15. SUBSURFACE FEATURES ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION, OR EXCAVATION CONTACT 811 AND/OR THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
16. THE EXTERIOR BUILDING DIMENSIONS SHOWN HEREON REPRESENT THE OVERALL SIZE OF THE BUILDING (FOOTPRINT). SUBSURFACE BUILDING FOOTINGS AND SUPPORTS WERE NOT LOCATED. CERTAIN ARCHITECTURAL FEATURES MAY NOT BE SHOWN ON THE SURVEY. ROOF OVERHANGS ARE NOT SHOWN UNLESS OTHERWISE NOTED. BUILDING DIMENSIONS ARE SHOWN ROUNDED TO THE NEAREST ONE-TENTH (0.1') OF A FOOT, BEFORE DESIGN OF IMPROVEMENTS CRITICAL DIMENSIONS SHOWN BE CONFIRMED.
17. THE DIMENSIONS SHOWN HEREON ARE BASED UPON U.S. SURVEY FEET AND FRACTIONAL PARTS THEREOF.
18. AREA COMPUTATIONS, WHEN SHOWN IN ACRES, ARE ROUNDED TO THE NEAREST ONE-HUNDREDTH OF AN ACRE, AND WHEN SHOWN IN SQUARE FEET ARE ROUNDED TO THE NEAREST SQUARE FOOT. THE AREA FIGURES SHOWN HEREON SHOULD NOT BE UTILIZED AS THE BASIS OF PURCHASE PRICE FOR A REAL ESTATE CLOSING, WITHOUT PRIOR VERIFICATION OF THE AREA FIGURES, IN WRITING FROM THE SIGNED SURVEYOR.
19. THE SURVEYOR DID NOT INSPECT THIS PROPERTY FOR ENVIRONMENTAL HAZARDS.
20. THE SANITARY SEWER AND STORM DRAINAGE AS-BUILT DATA SHOWN HEREON WAS COLLECTED FOR ENGINEERING DESIGN PURPOSES ONLY. THE DATA IS LIMITED TO STRUCTURE RIM AND PIPE INVERT ELEVATIONS ONLY. PIPE SIZES AND PIPE MATERIAL TYPES SHOULD BE CONFIRMED BEFORE DESIGN OF IMPROVEMENTS. THE SURVEYORS DID NOT PHYSICALLY ENTER THE STRUCTURES. ALL THE MEASUREMENTS AND ELEVATIONS WERE COLLECTED (WITH THE LID OF THE STRUCTURE REMOVED) BY VISUAL OBSERVATIONS IN ACTIVE FACILITIES WITH WATER AND EFFLUENT PRESENT. THE CONNECTIONS BETWEEN STRUCTURES WERE NOT VISUALLY INSPECTED OR VERIFIED AND THE CONDITION OF PIPING WAS NOT DETERMINED. CRITICAL ELEVATIONS AND DIMENSIONS SHOULD BE VERIFIED BEFORE DESIGN OF IMPROVEMENTS. WITH THE FACILITIES PUMPED DOWN AND PIPES CLEANED OUT, BEFORE ORDERING REPLACEMENT OR CONNECTING PIPES THE SIZE AND TYPE OF PIPES SHOULD BE CONFIRMED.
21. THE INFORMATION DEPICTED ON THIS SKETCH OF SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED ON THE BORDER OF THE DRAWING AND CAN ONLY BE CONSIDERED VALID FOR THIS DATE AND INDICATES THE GENERAL CONDITIONS EXISTING AT THE TIME OF THE FIELD SURVEY.
22. THIS SKETCH OF SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THOSE PERSONS OR ENTITIES CERTIFIED TO HEREON. ADDITIONS OR DELETIONS TO THIS SURVEY AND/OR REPORTS BY PEOPLE OR PERSONS OTHER THAN THE SIGNING PARTIES ARE PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
23. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY STONER & ASSOCIATES, INC. (S&A). S&A HAS TAKEN PRECAUTIONS TO ENSURE THE ACCURACY OF THIS DOCUMENT AND THE DATA REFLECTED HEREIN. S&A CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE TO THE DATA CONTAINED IN THIS DOCUMENT BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL, HAND COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. S&A MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR RECEIVED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT S&A FOR VERIFICATION OF ACCURACY.
24. ALL RECORDINGS ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA UNLESS OTHERWISE NOTED IN THE DRAWING.
25. ALL LEASE PARCELS ARE SHOWN GRAPHICALLY AND ARE NOT DIMENSIONED.

CERTIFIED TO:

KIMLEY-HORN

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 8, 9, 11 (OBSERVED EVIDENCE ONLY), 13, 16, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 01/04/2024.

DATE OF PLAT OR MAP: 4/10/2024
DATE OF SIGNATURE: 4/11/2024

JAMES D. STONER
PROFESSIONAL SURVEYOR AND MAPPER NO. 40339
STATE OF FLORIDA
STONER AND ASSOCIATES, INC. L.B. 8633
jstoner@stonerandayrns.com

NO.	REVISION	DATE	BY
1	UP-DATE SURVEY AREA	3/29/24	CSH
2	ADD UNLIMITED BOUNDARY ON THE SOUTH LINE	4/10/24	CSH
3	UPDATE TITLE COMMITMENT	4/10/24	CSH

THE SURVEYOR'S SEAL IS THE PROPERTY OF STONER & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PERMISSION OF STONER & ASSOCIATES, INC.

STONER & ASSOCIATES, INC.
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SKETCH OF ALTA/NSPS LAND TITLE SURVEY
OAKWOOD PLAZA SOUTH
RETAIL SHOPPING CENTER
2800 OAKWOOD BOULEVARD, HOLLYWOOD, FL 33020

DATE OF SURVEY: 1/04/2024	DATE OF PLAT: 4/10/2024
NAME: JDS	NAME: JDS
NUMBER: 021435	NUMBER: 021435
BOOK: 77461033	BOOK: 77461033
DATE: 01/04/2024	DATE: 01/04/2024

SEAL
NOT VALID UNLESS SEALED HEREIN BY AN EMBOSSED SURVEYOR'S SEAL

PROJECT
18-8637
RETAIL S.

SHEET NO.
1 OF 6



ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 1988)

FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 300-220974, UPDATED & REVISED, MAY 19, 2024					
OWNERSHIP AND ENCUMBRANCE REPORT					
No.	Description	O.R. Book/ Instrument No.	Page	Affects	Platted
1	Plat of The Aqua Park	Plat Book 309	Page 8	YES	BLANKET IN NATURE
2	Plat of John L.A. Bond	Plat Book 313	Page 38	YES	BLANKET IN NATURE
3	Plat of Colonial Square	Plat Book 124	Page 32	YES	BLANKET IN NATURE
4	Plat of Hollywood Commerce Center	Plat Book 127	Page 36	YES	BLANKET IN NATURE
5	Plat of Oakwood Hills	Plat Book 120	Page 45	YES	BLANKET IN NATURE
6	Restrictions contained in Bond	Bond Book 557	Page 261	NO	NO
7	Instrument	O.R. Book 4605	Page 627	YES	NO
8	Instrument	O.R. Book 4626	Page 628	YES	NO
9	Instrument contained in Quit Claim Deed	O.R. Book 7552	Page 241	NO	NO
10	Instrument	O.R. Book 8829	Page 842	YES	NO
11	Utility Easement Deed	O.R. Book 8989	Page 403	YES	NO
12	Declaration of Covenants and Restrictions	O.R. Book 9124	Page 125	YES	BLANKET IN NATURE
13	Declaration of Restrictive Covenants for Oakwood Hills Commerce Center	O.R. Book 1269	Page 489	YES	BLANKET IN NATURE
14	Plat of Easements	O.R. Book 1269	Page 561	YES	BLANKET IN NATURE
15	Assignment Agreement	O.R. Book 13526	Page 14	NO	NO
16	Assignment Agreement	O.R. Book 14009	Page 594	NO	NO
17	Amendment to Declaration of Restrictive Covenants for Oakwood Hills Commerce Center, Central County, Florida	O.R. Book 15169	Page 515	YES	BLANKET IN NATURE
18	Agreement for Amendment of Notation on Plat	O.R. Book 15261	Page 55	YES	BLANKET IN NATURE
19	Amendment to Easement	O.R. Book 15761	Page 442	YES	BLANKET IN NATURE
20	Assignment of Easement	O.R. Book 15889	Page 463	YES	BLANKET IN NATURE
21	Assignment of Permits, Licenses or Approvals, Inc.	O.R. Book 15969	Page 475	YES	NOT SPECIFICALLY PLATABLE
22	Connection with, that Certain Bridge Traversing the C-3 Canal Assignment	O.R. Book 15989	Page 486	YES	NO
23	Notice	O.R. Book 16512	Page 362	YES	BLANKET IN NATURE
24	Assignment of Easement contained in Quit Claim	O.R. Book 16239	Page 887	YES	NO
25	Agreement Regarding Oakwood Center OR	O.R. Book 16773	Page 603	YES	BLANKET IN NATURE
26	Agreement No. 90-20	O.R. Book 17107	Page 129	YES	BLANKET IN NATURE
27	Instrument	O.R. Book 17102	Page 103	YES	BLANKET IN NATURE
28	Notice of Adoption of Development Order for the Oakwood Center Development for Regional Impact	O.R. Book 18861	Page 313	YES	BLANKET IN NATURE
29	Notice of Preliminary Development Agreement	O.R. Book 19677	Page 517	YES	BLANKET IN NATURE
30	Declaration of Restrictive Covenants	O.R. Book 19861	Page 446	YES	BLANKET IN NATURE
31	Notice of Adoption of Development Order	O.R. Book 19861	Page 124	YES	BLANKET IN NATURE
32	Amendment to Declaration of Restrictive Covenants for Oakwood Hills Business Center, Central County, Florida	O.R. Book 19865	Page 461	YES	BLANKET IN NATURE
33	Amendment to Agreement	O.R. Book 20099	Page 254	YES	BLANKET IN NATURE
34	Agreement	O.R. Book 20099	Page 239	NO	NO
35	Agreement Relating to Nonvehicular Access Lines	O.R. Book 20553	Page 589	YES	NO
36	Agreement to Place a Notation on Plat	O.R. Book 20556	Page 259	YES	NO
37	Agreement to Place a Notation on Plat	O.R. Book 20556	Page 259	YES	NO
38	Agreement Relating to Nonvehicular Access Lines and Egress Lines	O.R. Book 20556	Page 129	NO	CHANGED IN O.R. 22096, PG. 58
39	Agreement to Place a Notation on Plat	O.R. Book 20556	Page 340	YES	NOT SPECIFICALLY PLATABLE
40	Memorandum of Lease	O.R. Book 20519	Page 779	YES	NO
41	Memorandum of Lease	O.R. Book 20563	Page 506	YES	NO
42	Declaration of Easement	O.R. Book 20553	Page 580	YES	NO
43	Amendment to Second Concurrency Agreement	O.R. Book 20563	Page 580	YES	NO
44	Memorandum of Lease	O.R. Book 20563	Page 527	YES	NO
45	Grant of Easement	O.R. Book 20624	Page 58	YES	NO
46	Declaration of Unity of Title	O.R. Book 20637	Page 691	YES	NO
47	Notice of Adoption of Development Order Amending the Development Order for the Oakwood Plaza Substantial Deviation to the Oakwood Center Development of Regional Impact	O.R. Book 21017	Page 544	YES	NO
48	Memorandum of Lease	O.R. Book 21018	Page 657	YES	NO
49	Agreement for Amendment of Notation on Plat	O.R. Book 21062	Page 299	YES	NO
50	Agreement for Amendment of Notation on Plat	O.R. Book 21269	Page 706	YES	BLANKET IN NATURE
51	Memorandum of Lease	O.R. Book 21269	Page 239	YES	BLANKET IN NATURE
52	Agreement for Easements, Covenants and Restrictions Affecting Land	O.R. Book 21877	Page 501	YES	NO
53	Third Amendment to Declaration of Restrictive Covenants for Oakwood Hills Business Center, Central County, Florida	O.R. Book 21877	Page 304	YES	BLANKET IN NATURE
54	Notice of Severer Easement Relocation and Partial Easement Release	O.R. Book 21877	Page 304	YES	BLANKET IN NATURE
55	Trusted Certificate	O.R. Book 21877	Page 311	YES	NO
56	Amendment to Declaration of Covenants and Restrictions	O.R. Book 21877	Page 312	YES	NO

FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 300-220974, UPDATED & REVISED, MAY 19, 2024					
OWNERSHIP AND ENCUMBRANCE REPORT					
No.	Description	O.R. Book/ Instrument No.	Page	Affects	Platted
60	Easement	O.R. Book 21225	Page 731	YES	NO
61	Traffic Maintenance Easement	O.R. Book 21263	Page 916	YES	NO
62	Agreement for Amendment of Notation on Plat	O.R. Book 21262	Page 606	NO	NO
63	Corrective Declaration	O.R. Book 21264	Page 929	YES	NO
64	Easement	O.R. Book 21264	Page 942	YES	NO
65	Declaration of Easement	O.R. Book 21264	Page 952	YES	NO
66	Declaration of Easement	O.R. Book 21264	Page 973	YES	NO
67	Agreement for Amendment of Notation on Plat	O.R. Book 21321	Page 383	YES	NO
68	Third Traffic Concurrency Agreement	O.R. Book 21329	Page 441	YES	NO
69	Short Term of Lease	O.R. Book 21370	Page 50	YES	NO
70	Declaration of Restrictive Covenant, Shopping Center	O.R. Book 21387	Page 631	NO	NO
71	Notice of Adoption of Development Order for the Oakwood Plaza Development of Regional Impact	O.R. Book 21387	Page 337	YES	BLANKET IN NATURE
72	Easement	O.R. Book 21386	Page 172	YES	NO
73	Conservation Easement	O.R. Book 21386	Page 714	YES	NO
74	New Endorsement of Utility Easement	O.R. Book 21387	Page 221	YES	NO
75	Notice of Permit	O.R. Book 21390	Page 701	YES	NO
76	Agreement Relating to Nonvehicular Access Lines	O.R. Book 21390	Page 58	YES	NO
77	Conservation Easement	O.R. Book 21328	Page 481	YES	NO
78	Agreement for Amendment of Notation on Plat	O.R. Book 21405	Page 548	YES	NO
79	Agreement for Amendment of Notation on Plat	O.R. Book 21405	Page 589	YES	NO
80	Notice of Adoption of an Amendment to Development Order for the Oakwood Plaza Substantial Deviation to the Oakwood Center OR in the City of Hollywood, Broward County, Florida	O.R. Book 21401	Page 312	YES	NO
81	Real Estate Mortgage, Assignment of Security and Lease Agreement	O.R. Book 21515	Page 722	YES	NO
82	Assignment of Rights and Leases	O.R. Book 21513	Page 758	YES	NO
83	Modification of Mortgage, Assignment, Security and Lease Agreement	O.R. Book 21543	Page 694	YES	NO
84	Consent Agreement	O.R. Book 21555	Page 667	YES	NO
85	Easement	O.R. Book 21555	Page 692	NO	NOT A MATTER OF SURVEY
86	Fourth Traffic Concurrency Agreement Relating to Oakwood Plaza OR	O.R. Book 21555	Page 687	YES	BLANKET IN NATURE
87	Easement	O.R. Book 21555	Page 684	YES	NO
88	Declaration of Easements	O.R. Book 21640	Page 285	YES	NO
89	Non-Exclusive Easement for Passenger Vehicle Parking	O.R. Book 21640	Page 296	YES	NO
90	Declaration of Restrictions	O.R. Book 21640	Page 304	YES	BLANKET IN NATURE
91	Non-Exclusive Right, License and Privilege	O.R. Book 21640	Page 318	YES	NO
92	Amendment of Declaration of Easement	O.R. Book 21640	Page 263	YES	NO
93	Memorandum of Lease	O.R. Book 21667	Page 506	YES	NO
94	Agreement for Amendment of Notation on Plat	O.R. Book 21654	Page 319	YES	BLANKET IN NATURE
95	Memorandum of Lease	O.R. Book 21708	Page 840	YES	BLANKET IN NATURE
96	Short Term Lease Agreement	O.R. Book 21708	Page 865	NO	NOT A MATTER OF SURVEY
97	Assignment of Lease	O.R. Book 21708	Page 24	YES	NOT A MATTER OF SURVEY
98	Assignment of Lease and Memorandum of Lease	O.R. Book 21708	Page 53	YES	NOT A MATTER OF SURVEY
99	First Amendment to Memorandum of Lease	O.R. Book 21708	Page 57	YES	NOT A MATTER OF SURVEY
100	First Amendment to Agreement for Easements, Covenants and Restrictions Affecting Land	O.R. Book 21708	Page 65	YES	YES
101	Amendment and Restated Memorandum of (Sub) Lease Interests	O.R. Book 21817	Page 560	YES	NO
102	Assignment of Lease	O.R. Book 21826	Page 330	YES	NO
103	Amended and Restated Memorandum of Sublease Interests	O.R. Book 21864	Page 606	YES	NO
104	Assignment of Lease	O.R. Book 21869	Page 390	YES	NO
105	Assignment of Note, Mortgage, and Other Loan Documents	O.R. Book 21877	Page 886	YES	NO
106	Amended and Restated Mortgage, Assignment of Leases and Rents, Security Agreement and Prizes Filing	O.R. Book 21877	Page 901	YES	NO
107	Assignment of Rents and Leases	O.R. Book 21877	Page 927	YES	BLANKET IN NATURE
108	Second Mortgage, Assignment of Leases and Rents, Security Agreement and Prizes Filing	O.R. Book 21881	Page 1	YES	BLANKET IN NATURE

FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 300-220974, UPDATED & REVISED, MAY 19, 2024						
OWNERSHIP AND ENCUMBRANCE REPORT						
No.	Description	O.R. Book/ Instrument No.	Page	Affects	Platted	Comments
109	Notice of Adoption of Development Order for the Oakwood Plaza Development of Regional Impact in the City of Hollywood, Broward County, Florida	O.R. Book 21510	Page 1547	YES	BLANKET IN NATURE	
110	First Amendment to the Amended and Restated First Amendment to Second Mortgage	O.R. Book 21552	Page 1550	YES	BLANKET IN NATURE	
111	Assignment of Leases and Rents, Security Agreement and Future Filing	O.R. Book 21552	Page 1550	YES	NO	NOT A PART OF SURVEY
112	Memorandum of Lease	O.R. Book 21566	Page 1271	NO	NO	BUILDER'S SURVEY
113	Assignment of Lease	O.R. Book 21566	Page 1279	NO	NO	
114	Memorandum of Assignment of Lease	O.R. Book 21566	Page 1285	NO	NO	
115	Notice of Adoption of Development Order for the Oakwood Plaza Development of Regional Impact in the City of Hollywood, Broward County, Florida	O.R. Book 21552	Page 1550	YES	NO	BUILDER'S SURVEY TRANSFER TO KAMAT BFS AND KAMAT LEASES
116	Collateral Assignment of Lease	O.R. Book 21566	Page 1256	NO	NO	ASSIGNEE
117	Assignment of Assignment of Leases and Rents	O.R. Book 21570	Page 1377	YES	BLANKET IN NATURE	
118	Assignment of Beneficial Interest Under Second	O.R. Book 21570	Page 1377	YES	BLANKET IN NATURE	
119	Assignment of Beneficial Interest Under Second	O.R. Book 21576	Page 1385	YES	BLANKET IN NATURE	
120	Assignment of Lease	O.R. Book 21581	Page 2082	YES	NO	
121	Corrective Declaration of Restrictions	O.R. Book 21590	Page 1832	NO	NO	AS TO PARCELS
122	Declaration of Sublease	O.R. Book 21578	Page 1208	NO	NO	
123	Amendment to Death Trust's Conservancy	O.R. Book 21571	Page 1357	YES	BLANKET IN NATURE	AS TO ALL PARCELS
124	Assignment of Development Order for the Oakwood Plaza Development of Regional Impact in the City of Hollywood, Broward County, Florida	O.R. Book 21573	Page 1558	YES	BLANKET IN NATURE	AS TO ALL PARCELS
125	Notice of Adoption of Development Order for the Oakwood Plaza Development of Regional Impact in the City of Hollywood, Broward County, Florida	O.R. Book 21573	Page 1558	YES	BLANKET IN NATURE	AS TO ALL PARCELS
126	Assignment of Lease	O.R. Book 21580	Page 1377	YES	NO	AS TO PARCELS (LUPA SOUTH PARCELS, PROPERTY'S LEASE)
127	Agreement for Amendment of Notation on Plat	O.R. Book 21580	Page 1377	YES	NO	
128	Assignment to Short Term Lease Agreement	O.R. Book 21587	Page 134	YES	NO	CHEVY'S FORMER LEASE
129	Assignment to Short Term Lease Agreement	O.R. Book 21582	Page 135	YES	NO	AS TO PARCELS
130	Amended Memorandum of Lease	O.R. Book 21403	Page 1195	YES	NO	DAVE AND LINDSEY'S LEASE
131	Assignment of Lease	O.R. Book 21404	Page 1284	YES	NO	AS TO LUPA NORTH, VINCENT'S LEASE, PARCELS
132	Memorandum of Lease	O.R. Book 21403	Page 1195	YES	NO	VINCENT'S LEASE
133	Assignment to Nonprofit Charitable Association	O.R. Book 21463	Page 646	YES	NO	
134	Memorandum of Lease	O.R. Book 21463	Page 646	YES	NO	
135	Memorandum of Lease	O.R. Book 21468	Page 1710	YES	NO	
136	Assignment to Declaration of Restrictions	O.R. Book 21480	Page 311	YES	NO	AS TO PARCELS (LUPA EAST PARCELS)
137	Notice to Landlord that the Property is not Subject to a Construction Lien for Improvements Made by Lessee	O.R. Book 41052	Page 100	YES	BLANKET IN NATURE	
138	Assignment of Notes and Mortgage	O.R. Book 40262	Page 589	YES	BLANKET IN NATURE	
139	Notice to Landlord that the Property is not Subject to a Construction Lien for Improvements Made by Lessee	O.R. Book 47023	Page 1112	YES	BLANKET IN NATURE	
140	Resolution No. 10-06-21	O.R. Book 45000	Page 1718	NO	NO	
141	Resolution No. 10-06-21	O.R. Book 45000	Page 1537	YES	NOT SPECIFICALLY PLATABLE	BFS PROPRIETARY, MISSING EXHIBIT "B"
142	Assignment	O.R. Book 45666	Page 476	YES	NO	AS TO PARCELS (LUPA NORTH PARCELS)
143	Resolution No. 11-09-22 (re-recorded)	O.R. Book 48775	Page 651	YES	NOT SPECIFICALLY PLATABLE	NOT PLATABLE
144	Resolution No. 11-09-22	O.R. Book 48775	Page 651	YES	NOT SPECIFICALLY PLATABLE	NOT PLATABLE
145	Memorandum of Sublease Between Lessee and Sublessee	O.R. Book 49101	Page 108	YES	NO	NOT THIS LOCATION
146	Assignment of Lease	O.R. Book 49881	Page 1020	YES	BLANKET IN NATURE	AS TO ALL PARCELS
147	Assignment of Lease	Instrument No. 13300383	YES	NO	BLANKET IN NATURE	AS TO PARCELS (LUPA SOUTH PARCELS, PROPERTY'S LEASE)
148	Assignment of Leases and Rents	Instrument No. 13341895	YES	BLANKET IN NATURE	AS TO ALL PARCELS	
149	Amendment to Declaration of Restrictive Covenants for Oakwood Hills Commerce Center	Instrument No. 13350566	NO	YES	NO	(NOT A PART OF THIS SURVEY)
150	Agreement for Amendment of Notation on Plat	Instrument No. 13416951	YES	BLANKET IN NATURE		
151	Memorandum of Lease	Instrument No. 13451097	YES	BLANKET IN NATURE		
152	Memorandum of Lease	Instrument No. 13506107	YES	BLANKET IN NATURE		
153	Agreement, Financing Statement, Future Filing and Assignment of Rents	Instrument No. 13502132	YES	NOT SPECIFICALLY PLATABLE		
154	Agreement for Termination of Sublease	Instrument No. 13766200	NO	NO		
155	Ordinance No. 2022-06	Instrument No. 13766200	NO	NO		
156	Ordinance No. 2022-07	Instrument No. 13766200	NO	NO		
157	Easement	Instrument No. 13851003	YES	NO		(NOT A PART OF THIS SURVEY)
158	Assignment and Assumption of Lease	Instrument No. 13851003	YES	NO		
159	Memorandum of Lease	Instrument No. 13851003	YES	NO		
160	Memorandum of Lease	Instrument No. 13851003	YES	NO		
161	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
162	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
163	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
164	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
165	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
166	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
167	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
168	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
169	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
170	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
171	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
172	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
173	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
174	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
175	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
176	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
177	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
178	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
179	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
180	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
181	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
182	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
183	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
184	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
185	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
186	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
187	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
188	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
189	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
190	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
191	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
192	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
193	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
194	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
195	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
196	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
197	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
198	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
199	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		
200	Notice of Commencement 03-09-2023	Instrument No. 13864024	NO	NO		

LEGEND

- 7 TRASH - GARBAGE BIN
 8 TRAFFIC SIGNAL CABINET
 9 TREE
 10 TELEPHONE VAULT
 11 TAXI WAY LIGHT
 12 TRANSFORMER ON PAD
 13 UTILITY MARKER
 14 24" UTILITY MARKER
 15 UTILITY POLE
 16 UNKNOWN UTILITY VAULT
 17 PRESSURE VACUUM BREAKER
 18 FUEL VALVE BOX
 19 WATER VAULT
 20 FUEL VALVE
 21 GAS VALVE
 22 IRRIGATION VALVE
 23 RECLAIMED WATER VALVE
 24 SEWER VALVE
 25 UNKNOWN VAULT
 26 WATER VALVE
 27 COMMUNICATIONS VAULT
 28 ELECTRIC VAULT
 29 FIBER OPTIC VAULT
 30 TELEPHONE VAULT
 31 CABLE TV VAULT
 32 VENT PIPE
 33 WELL
 34 WOOD LIGHT POLE
 35 WIRE PULL BOX
 36 CONCRETE SIGN WIRE PULL BOX
 37 ELECTRIC WIRE PULL BOX
 38 FIBER OPTIC WIRE PULL BOX
 39 IRRIGATION WIRE PULL BOX
 40 RECLAIMED WATER WIRE PULL BOX
 41 SEWER WIRE PULL BOX
 42 TRAFFIC WIRE PULL BOX
 43 UNKNOWN UTILITY WIRE PULL BOX
 44 WOOD POST
 45 WOOD POST
 46 MET WELL
 47 YARD DRAIN
 48 ROUND INLET
 49 ENCROACHMENT NUMBER
 50 NUMBER OF PARKING SPACES

METAL GUARD RAIL
NON-VEHICULAR ACCESS LINE
TREE/HEDGE LINE
FLOOD ZONE BOUNDARY

LEGEND

- COMMUNICATIONS MANHOLE
- STORM DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- FUEL MANHOLE
- WAS MANHOLE
- FIBER OPTIC MANHOLE
- GAS MANHOLE
- SEWAGE TRAP MANHOLE
- SANITARY SEWER MANHOLE
- TELEPHONE MANHOLE
- UNDERGROUND MANHOLE
- WATER MANHOLE
- METAL LIGHT POLE
- MONITORING WELL
- MOTOR
- LATE MOTOR
- METAL POST
- DOUBLE SUPPORT SIGN
- OUTLET VALVE TYPE PS
- WATER METER
- MARKER
- ORNAMENTAL PLANT
- GUTTER ALLEY TYPE PS
- OUTLET ALLEY TYPE PS
- PALM
- PAY PHONE
- VEHICULAR CROSSING SIGNAL
- CONCRETE PILE
- PARKING MASTER BOX
- PARKING SIGN
- PALM CLUSTER
- PLASTIC POST
- PUMP
- POCK
- RAILROAD ARM
- RAILROAD MILEPOST
- RAILROAD SWITCH STAND
- RECLAMED VALVE VAULT
- SATELLITE DISH
- SHRUB
- TRAFFIC SIGNAL ON POST
- STREET METAL LIGHT POLE
- SPRINKLER HEAD
- SPAN SIGNAL POLE
- SINGLE SUPPORT SIGN
- STUMP
- TELEPHONE BOX
- TELEPHONE CABINET
- TELEPHONE VALVE
- TELEPHONE RISER
- TEST POLE



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MATCH LINE - SEE SHEET 3 OF 5

LAST DATE: 9/14/2021 FIELD SURVEY SHAWN DUFFS		JAMES D. STONER PROFESSIONAL SURVEYOR AND MAPPER NO. 4038 STATE OF FLORIDA	
INCHES: 202.145 BOOK/PAGE: 1007/01-57 DATA COLLECTOR:		PROJECT 18-8637 RETAIL S.	
SHEET NO. 3 OF 6		SKETCH OF ALTA/NPS LAND TITLE SURVEY OAKWOOD PLAZA SOUTH RETAIL SHOPPING CENTER 2800 OAKWOOD BOULEVARD, HOLLYWOOD, FL 33020	

SKETCH OF ALTA/NSPS LAND TITLE SURVEY

ABBREVIATIONS

A.B.C.R. BROWARD COUNTY RECORDS
B.O.S.E. BOTTOM OF STRUCTURE ELEVATION
CA. CENTER LINE
C.C. CORRUGATED METAL PIPE
CONC. CONCRETE
D.M. DIAMETER
E.L. ELEVATION
F.F.E. FINISHED FLOOR ELEVATION
F.N.D. FOUND
F.P.L. FLORIDA POWER & LIGHT EASEMENT
F.P.L.E. IDENTIFICATION
I.E. INVERT ELEVATION
I.P. IRON PIPE AND CAP
I.R. IRON ROD AND CAP
L.B. LICENSED BUSINESS
M.D.C.R. MIAMI-DADE COUNTY RECORDS
M.D. MANGROVE
N.D. NAIL & DISC
O.R.B. OFFICIAL RECORDS BOOK
P.B. PLAT BOOK
P.C.P. PERMANENT CONTROL POINT
P.C. POINT OF BEGINNING
P.C.C. POINT OF COMMENCEMENT
P.M. PERMANENT REFERENCE MONUMENT
P.V. POLYVINYL CHLORIDE
R. RADIUS
R.C.P. REINFORCED CONCRETE PIPE
R.E. RIM ELEVATION
R.O.W. RIGHT-OF-WAY
S.W. SANITARY
S.W.M. SEWER MAIN
U.E. UTILITY EASEMENT
V.C.P. VIEWED CLAY PIPE
(C) DATA BASED ON CALCULATIONS
(D) DATA CALCULATED FROM A FIELD TRAVERSE
(M) DATA BASED ON FIELD MEASUREMENTS
(N) DATA BASED ON A MAP (NOT OF RECORD)
(P) DATA BASED ON THE PLAT OF RECORD
(R) DATA BASED ON INFORMATION RECORDED IN THE PUBLIC RECORDS
T.N. 1392 TREE NUMBER (REFER TO TREE LIST)

UTILITY LINES

METAL GUARD RAIL
NON-VEHICULAR ACCESS LINE
TREE/EDGE LINE
FLOOD ZONE BOUNDARY

LEGEND

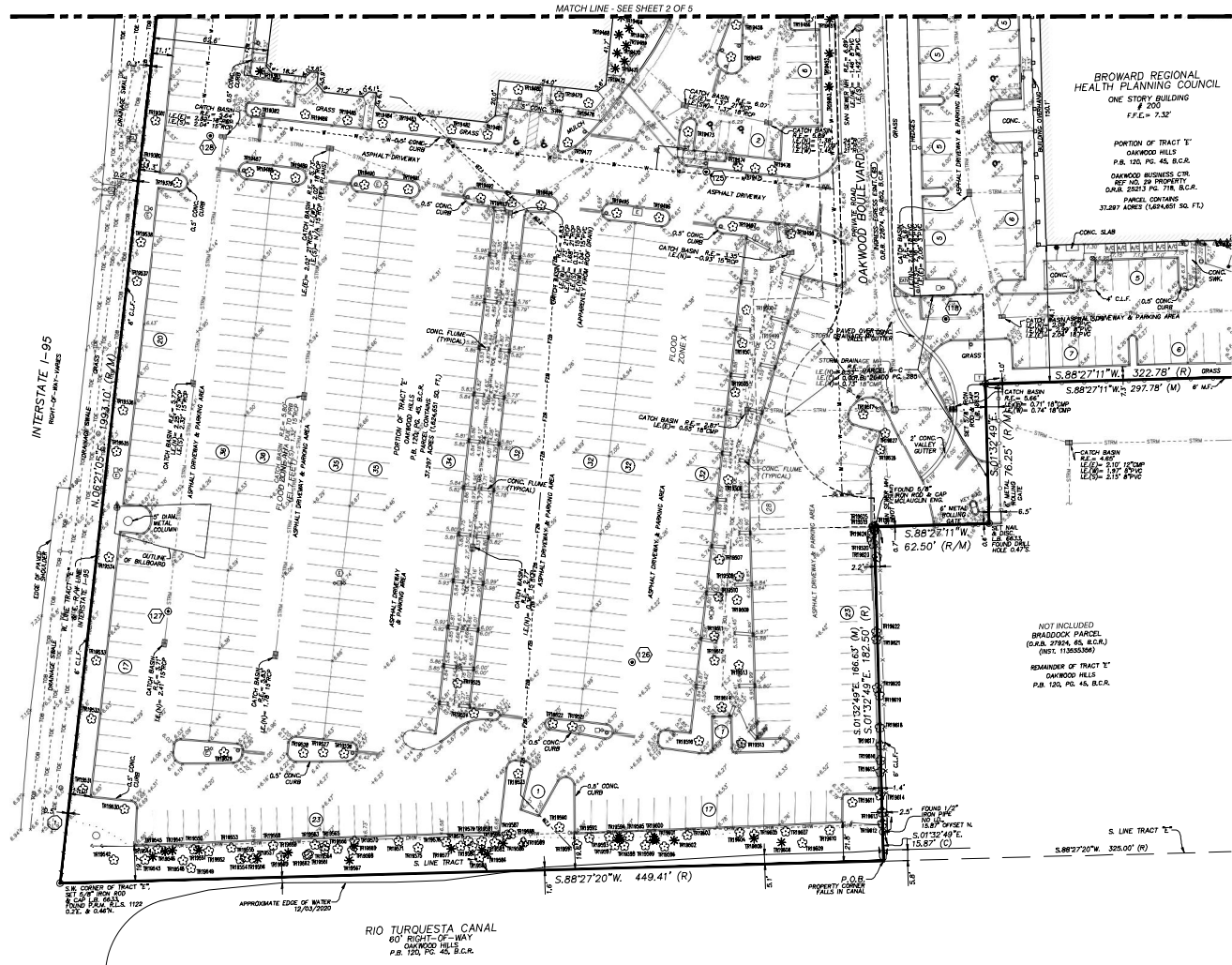
AIR CONDITIONER
ANCHOR
KEYPAD
ANTENNA
GATE ARM
AERIAL TARGET
BACK FLOW PREVENTER
ROPE HOLE
BENCH
BOLLARD
CALL BOX / INTERCOM
CABLE TV BOX
CABLE TV RISER
CABLE TV VAULT
CATCH BASIN
SANITARY SEWER CLEANOUT
CONCRETE POWER LIGHT POLE
COMMUNICATIONS VAULT
CONCRETE POWER POLE
CONCRETE POST
DRINKING FOUNTAIN
DOUBLE VALVE ASSEMBLY
ELECTRIC CABINET
ELECTRIC OUTLET
ELECTRIC VAULT
FAUCET / SPOUT
FULL CAP
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
FIBER OPTIC VAULT
FLAG POLE
GAS VALVE BOX
GENERATOR
GUTTER INLET
GROUND LIGHT
GRILL
HANDICAP PARKING
HIGH MAST LIGHT POLE
HIGH TRANSMISSION VOLTAGE POLE
IRRIGATION BOX
IRRIGATION PUMP
IRRIGATION WELL
LAMP POST
LIGHT POLE BASE
MAIL BOX
ELECTRIC METER
GAS METER
MANHOLE
AIR RELEASE VALVE IN MANHOLE
BIOD MANHOLE
ITEM NUMBER NOTED IN OWNERSHIP AND ENCUMBRANCE REPORT

LEGEND

TRASH - GARBAGE BIN
TRAFFIC SIGNAL CABINET
TREE
TELEPHONE VAULT
TAXI WAY LIGHT
TRANSFORMER ON PAD
UTILITY MARKER
2 1/2" UTILITY MARKER
UTILITY POLE
UNKNOWN UTILITY VAULT
PRESSURE VACUUM BREAKER
FUEL VALVE BOX
SEWER VALVE BOX
WATER VAULT
FUEL VALVE
GAS VALVE
IRRIGATION VALVE
RECLAIMED WATER VALVE
SEWER VALVE
UNKNOWN VALVE
WATER VALVE
COMMUNICATIONS VAULT
FIBER OPTIC VAULT
TELEPHONE VAULT
CABLE TV VAULT
VENT PIPE
WELL
WOOD LIGHT POLE
WIRE PULL BOX
COMMUNICATIONS WIRE PULL BOX
ELECTRIC WIRE PULL BOX
FIBER OPTIC WIRE PULL BOX
IRRIGATION WIRE PULL BOX
STREET LIGHT WIRE PULL BOX
TELEPHONE WIRE PULL BOX
TRAFFIC WIRE PULL BOX
UNKNOWN WIRE PULL BOX
WOOD POWER POLE
WOOD POST
NET WELL
YARD DRAIN
ROUND INLET
ENFORCEMENT NUMBER
NUMBER OF PARKING SPACES

LEGEND

COMMUNICATIONS MANHOLE
STORM DRAINAGE MANHOLE
ELECTRIC MANHOLE
FUEL MANHOLE
FAA MANHOLE
FIBER OPTIC MANHOLE
GAS MANHOLE
GREASE TRAP MANHOLE
SANITARY SEWER MANHOLE
TELEPHONE MANHOLE
UNKNOWN MANHOLE
WATER MANHOLE
METAL LIGHT POLE
MONITORING WELL
MOTOR
GATE MOTOR
METAL POST
DOUBLE SUPPORT SIGN
UNKNOWN UTILITY METER
WATER METER
MARKER
ORNAMENTAL PLANT
GUTTER INLET TYPE PS
GUTTER INLET TYPE PS
PALM
PAY PHONE
PEDESTRIAN CROSSING SIGNAL
CONCRETE PILE
PARKING MASTER BOX
PARKING METER
PALM CLUSTER
PLASTIC POST
PUMP
RAILROAD ARM
RAILROAD MILEPOST
RAILROAD SWITCH STAND
RECLAIMED WATER VAULT
SATELLITE DISH
SHRUB
STREET METAL LIGHT POLE
SPRINKLER HEAD
SPAN SIGNAL POLE
SINGLE SUPPORT SIGN
STUMP
TELEPHONE BOX
TELEPHONE CABINET
TELEPHONE POLE
TELEPHONE RISER
TEST HOLE



ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88)

DATE	BY	REVISION	NO.

STONER SURVEYORS & MAPPERS
131 S.W. 82ND AVENUE, SUITE 100, HOLLYWOOD, FL 33024
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SKETCH OF ALTA/NSPS LAND TITLE SURVEY
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RETAIL SHOPPING CENTER
2800 OAKWOOD BOULEVARD, HOLLYWOOD, FL 33020

JAMES D. STONER
PROFESSIONAL SURVEYOR
AND MAPPER IN THE STATE OF FLORIDA

PROJECT
18-8637
RETAIL S.

SHEET NO.
4 OF 6

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SHEET NO.
5 OF 6

SKETCH OF ALTA/NSPS LAND TITLE SURVEY

TREE LIST		
TREE #	COMMON NAME	DIAMETER IN INCHES
19379	BUTTONWOOD TREE	36
19380	OAK TREE	24
19381	BUTTONWOOD TREE	24
19382	BUTTONWOOD TREE	28
19383	SABAL PALM	16
19384	WASHINGTONIA PALM	12
19385	WASHINGTONIA PALM	12
19386	BUTTONWOOD TREE	28
19387	SABAL PALM	12
19388	WASHINGTONIA PALM	12
19389	BUTTONWOOD TREE	36
19390	BUTTONWOOD TREE	26
19391	BUTTONWOOD TREE	24
19392	BUTTONWOOD TREE	24
19393	BUTTONWOOD TREE	24
19394	BUTTONWOOD TREE	24
19395	BUTTONWOOD TREE	20
19396	BUTTONWOOD TREE	14
19397	BUTTONWOOD TREE	24
19398	OAK TREE	14
19399	OAK TREE	18
19400	OAK TREE	14
19401	OAK TREE	16
19402	OAK TREE	24
19403	OAK TREE	18
19404	BUTTONWOOD TREE	14
19405	BUTTONWOOD TREE	36
19406	UNKNOWN TREE	12
19407	UNKNOWN TREE	14
19411	BUTTONWOOD TREE	26
19412	UNKNOWN TREE	4
19413	UNKNOWN TREE	6
19414	BUTTONWOOD TREE	26
19415	BUTTONWOOD TREE	24
19416	WASHINGTONIA PALM	20
19417	WASHINGTONIA PALM	12
19418	WASHINGTONIA PALM	12
19419	BUTTONWOOD TREE	36
19420	UNKNOWN TREE	4
19421	UNKNOWN TREE	8
19422	BUTTONWOOD TREE	24
19423	WASHINGTONIA PALM	12
19424	WASHINGTONIA PALM	12
19425	PHOENIX ROBELENI PALM CLUSTER	3
19426	PHOENIX ROBELENI PALM CLUSTER	4
19427	PHOENIX ROBELENI PALM CLUSTER	3
19428	PHOENIX ROBELENI PALM CLUSTER	3
19429	BUTTONWOOD TREE	30
19430	WASHINGTONIA PALM	12
19431	WASHINGTONIA PALM	12
19432	WASHINGTONIA PALM	12
19433	WASHINGTONIA PALM	12
19434	WASHINGTONIA PALM	12
19435	WASHINGTONIA PALM	12
19436	OAK TREE	14
19437	OAK TREE	14
19442	PHOENIX ROBELENI PALM	4
19443	WASHINGTONIA PALM	18

TREE LIST		
TREE #	COMMON NAME	DIAMETER IN INCHES
19444	WASHINGTONIA PALM	12
19445	WASHINGTONIA PALM	12
19446	WASHINGTONIA PALM	12
19447	WASHINGTONIA PALM	12
19448	WASHINGTONIA PALM	12
19449	WASHINGTONIA PALM	12
19450	WASHINGTONIA PALM	12
19451	WASHINGTONIA PALM	12
19452	WASHINGTONIA PALM	14
19453	WASHINGTONIA PALM	12
19454	OAK TREE	16
19455	OAK TREE	12
19456	OAK TREE	18
19457	UNKNOWN TREE	10
19458	UNKNOWN TREE	12
19459	WASHINGTONIA PALM	12
19460	WASHINGTONIA PALM	12
19461	WASHINGTONIA PALM	12
19462	PHOENIX ROBELENI PALM CLUSTER	4
19463	PHOENIX ROBELENI PALM CLUSTER	3
19464	PHOENIX ROBELENI PALM CLUSTER	4
19465	PHOENIX ROBELENI PALM CLUSTER	4
19466	WASHINGTONIA PALM	12
19467	WASHINGTONIA PALM	12
19468	WASHINGTONIA PALM	10
19469	WASHINGTONIA PALM	12
19470	WASHINGTONIA PALM	10
19471	WASHINGTONIA PALM	10
19472	WASHINGTONIA PALM	10
19473	UNKNOWN TREE	6
19474	BUTTONWOOD TREE	24
19475	BUTTONWOOD TREE	18
19476	BUTTONWOOD TREE	36
19477	BUTTONWOOD TREE	30
19478	UNKNOWN TREE	4
19479	UNKNOWN TREE	12
19480	UNKNOWN TREE	14
19481	BUTTONWOOD TREE	14
19482	BUTTONWOOD TREE	16
19483	BUTTONWOOD TREE	18
19484	BUTTONWOOD TREE	18
19485	BUTTONWOOD TREE	24
19486	BUTTONWOOD TREE	24
19487	BUTTONWOOD TREE	8
19488	BUTTONWOOD TREE	12
19489	BUTTONWOOD TREE	10
19490	BUTTONWOOD TREE	14
19491	BUTTONWOOD TREE	24
19492	BUTTONWOOD TREE	36
19493	BUTTONWOOD TREE	36
19494	BUTTONWOOD TREE	30
19495	BUTTONWOOD TREE	30
19496	BUTTONWOOD TREE	26
19497	BUTTONWOOD TREE	42
19498	UNKNOWN TREE	4
19499	OAK TREE	14
19500	OAK TREE	18
19501	OAK TREE	18

TREE LIST		
TREE #	COMMON NAME	DIAMETER IN INCHES
19505	OAK TREE	18
19506	UNKNOWN TREE	20
19507	OAK TREE	12
19508	OAK TREE	20
19509	OAK TREE	10
19510	OAK TREE	14
19511	OAK TREE	12
19512	OAK TREE	14
19513	OAK TREE	30
19514	OAK TREE	16
19515	OAK TREE	14
19516	OAK TREE	20
19517	OAK TREE	18
19518	FIGUS CLUSTER	4
19519	FIGUS	6
19520	FIGUS	8
19521	UNKNOWN TREE	8
19522	UNKNOWN TREE	8
19523	OAK TREE	48
19524	UNKNOWN TREE	8
19525	UNKNOWN TREE	8
19526	BUTTONWOOD TREE	26
19527	BUTTONWOOD TREE	36
19528	BUTTONWOOD TREE	36
19529	BUTTONWOOD TREE	48
19530	BUTTONWOOD TREE	48
19531	BUTTONWOOD TREE	24
19532	OAK TREE	20
19533	OAK TREE	28
19534	OAK TREE	28
19535	OAK TREE	36
19536	OAK TREE	18
19537	BUTTONWOOD TREE	36
19538	BUTTONWOOD TREE	30
19542	UMBRELLA TREE	10
19543	UMBRELLA TREE	8
19544	CHRISTMAS PALM	3
19545	OAK TREE	12
19546	SABAL PALM	12
19547	CHRISTMAS PALM	4
19548	UMBRELLA TREE	6
19549	OAK TREE	6
19550	OAK TREE	6
19551	CHRISTMAS PALM	3
19552	ALMOND TREE	12
19553	OAK TREE	10
19554	UMBRELLA TREE	10
19555	UMBRELLA TREE	10
19556	UMBRELLA TREE	6
19557	CHRISTMAS PALM	6
19558	OAK TREE	12
19559	CHRISTMAS PALM	3
19560	UMBRELLA TREE	8
19561	UNKNOWN TREE	12
19562	UNKNOWN TREE	6
19563	OAK TREE	12
19564	UNKNOWN TREE	8
19565	UNKNOWN TREE	8

TREE LIST		
TREE #	COMMON NAME	DIAMETER IN INCHES
19566	UMBRELLA TREE	8
19567	SABAL PALM	14
19568	UMBRELLA TREE	3
19569	CHRISTMAS PALM	4
19570	OAK TREE	12
19571	OAK TREE	12
19575	UNKNOWN TREE	8
19576	OAK TREE	16
19577	SABAL PALM	14
19578	UMBRELLA TREE	3
19579	UMBRELLA TREE	3
19580	UMBRELLA TREE	4
19581	UMBRELLA TREE	6
19582	UNKNOWN PALM	4
19583	OAK TREE	14
19584	UNKNOWN PALM	3
19585	UNKNOWN TREE	8
19586	SABAL PALM	12
19587	SILVER BUTTONWOOD TREE	4
19588	SILVER BUTTONWOOD TREE	4
19589	UMBRELLA TREE CLUSTER	4
19590	BUTTONWOOD TREE	12
19591	UMBRELLA TREE	3
19592	OAK TREE	6
19593	OAK TREE	6
19594	UNKNOWN PALM CLUSTER	3
19595	OAK TREE	8
19596	BUTTONWOOD TREE	30
19597	BUTTONWOOD TREE	20
19598	BUTTONWOOD TREE	24
19599	BUTTONWOOD TREE	20
19600	UMBRELLA TREE	6
19601	UNKNOWN PALM CLUSTER	3
19602	UNKNOWN PALM	3
19603	OAK TREE	8
19604	OAK TREE	20
19605	UMBRELLA TREE	6
19606	SABAL PALM	8
19607	OAK TREE	16
19608	SABAL PALM	18
19609	UMBRELLA TREE	6
19610	OAK TREE	12
19611	OAK TREE	16
19612	FIGUS	6
19613	FIGUS	6
19614	FIGUS CLUSTER	6
19615	FIGUS CLUSTER	6
19616	FIGUS	4
19617	FIGUS CLUSTER	6
19618	FIGUS	4
19619	FIGUS	3
19620	FIGUS	6
19621	FIGUS	4
19622	FIGUS	6
19623	FIGUS	4
19624	UNKNOWN TREE	8
19625	FIGUS	4
19626	FIGUS	6
19627	FIGUS	6

TREE SURVEY NOTES:

1. THIS FIRM HAS IDENTIFIED THE VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. FOR POSITIVE IDENTIFICATION OF TREE SPECIES A QUALIFIED LANDSCAPE ARCHITECT OR BOTANIST SHOULD BE CONSULTED. TREES THREE (3") CALIPER THICK OR LARGER, WHEN MEASURED AT BREAST HEIGHT, ARE SHOWN ON THE SURVEY DRAWING. HEDGES AND GROUND COVER ARE NOT SHOWN ON THE SURVEY DRAWING. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER, AND AUSTRALIAN PINE ARE NOT SHOWN ON THE SURVEY DRAWING.
2. EACH TREE LOCATED HAS BEEN TAGGED WITH A NUMBERED TAG THAT CORRESPONDS TO THE TREE LEGEND SHOWN HEREON.
3. CLUSTERS OF TREES ARE SHOWN GROUPED WITH AN APPROXIMATION OF THE TOTAL NUMBER OF TREES LOCATED WITHIN THE GROUP.
4. THE CANOPY DIAMETER AND SPREAD ARE NOT SHOWN HEREON, UNLESS INDICATED OTHERWISE.
5. THE LOCATION OF TREES IS LIMITED TO THOSE TREES LOCATED WITHIN THE SURVEY LIMITS SHOWN HEREON.



ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 1988)

TEL: (954) 385-5999
www.stoner-survey.com

STONER
SURVEYORS • MAPPERS
James Stoner, Inc.
1311 S.W. 62nd Avenue, Suite 100, Fort Lauderdale, FL 33314

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BY: _____
REVISION _____
THE SURVEY, SHOWS HEREON, IS THE PROPERTY OF STONER & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PERMISSION OF STONER & ASSOCIATES, INC.

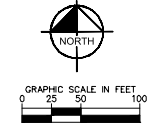
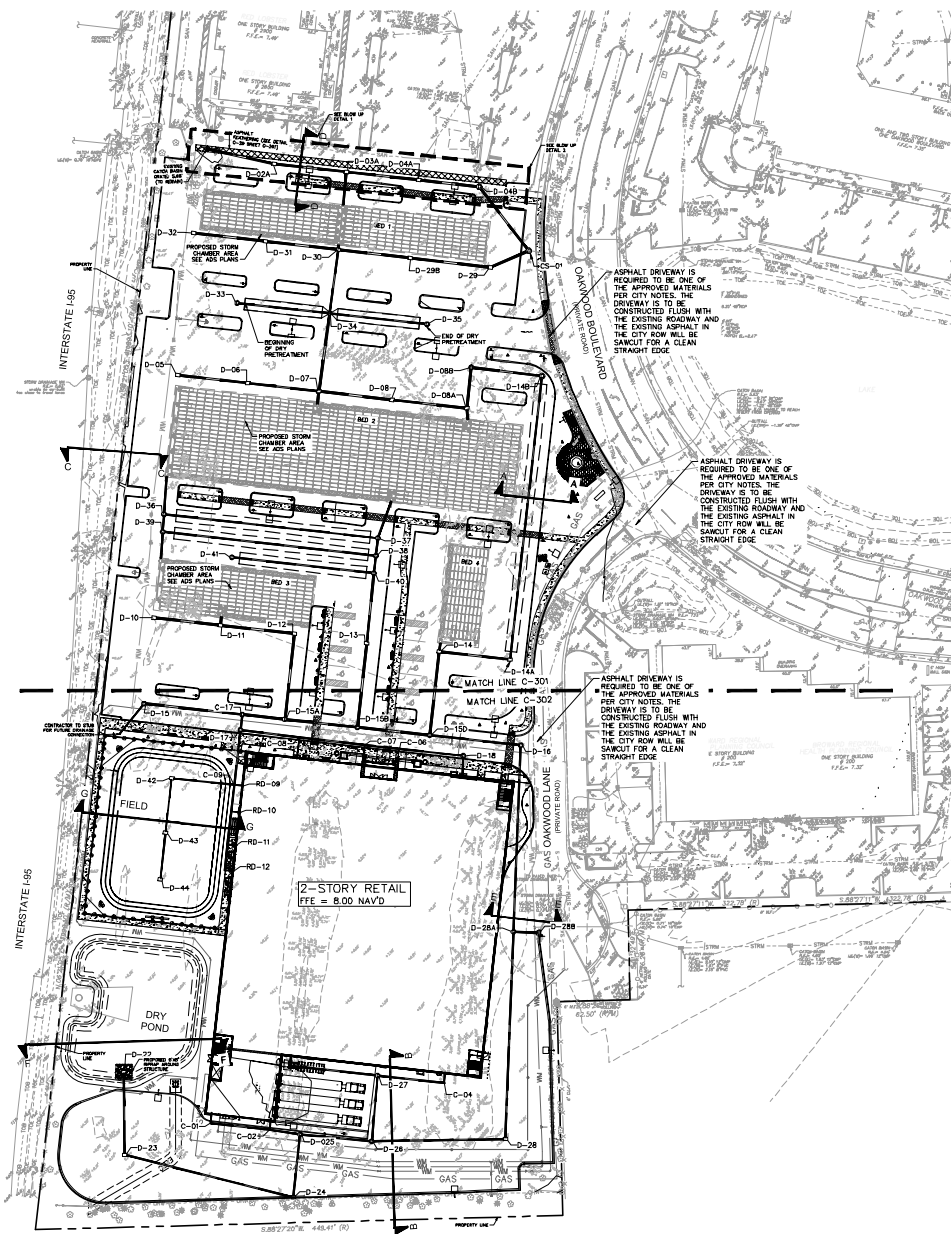
SKETCH OF ALTA/NSPS LAND TITLE SURVEY
OAKWOOD PLAZA SOUTH
RETAIL SHOPPING CENTER
2800 OAKWOOD BOULEVARD, HOLLYWOOD, FL 33020

DATE: 05/16/2021
BY: JAMES D. STONER
DRAWN: JDS
CHECKED: JDS/LAS
PROJECT: 18-8637
SHEET: 7 OF 13
1897-01-27
8 DATA COLLECTION

JAMES D. STONER
PROFESSIONAL SURVEYOR
AND MAPPER NO. 4334
STATE OF FLORIDA

PROJECT
18-8637
RETAIL S.
SHEET NO.
6 OF 6

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ADA NOTE
ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE
BEVELED TO MEET ADA REQUIREMENTS ALONG ALL
SIDEWALKS AND ADA TRAILS

MATERIAL NOTES:

CONCRETE:

CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 4 INCH THICK, 3,000 PSI WITH REIN. MESH WHEN THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 4 INCHES THICK, 3,000 PSI WITH NO METAL OR REIN. MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 20' TO 30' AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

PAVERS:

PAVER DRIVEWAYS REQUIRE A MINIMUM 2 3/8 INCH PAVERS PLACED OVER A 1/2 INCH SAND BASE AND COMPACTED SUBBASE. IN ADDITION TO A MINIMUM 4 INCH EDR. RESTRANT (CONCRETE BORDER) IS REQUIRED AROUND PERIMETER TO INTERLOCK PAVERS. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

ASPHALT:

ASPHALT DRIVEWAY IS REQUIRED TO BE A MINIMUM 4 INCH LIME ROCK BASE, TACK COAT, AND LATCH LAYER OF 5/8 ASPHALT. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

LEGEND:

- EXISTING SPOT GRADE
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- PROPOSED 4" O.D. IF OF EXFILTRATION TRENCH
- SLOPES
- SPOT GRADE (NAVD)
- TO X.XX% TOP OF GRATE (NAVD)
- PROPERTY LINE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK

CROSS-SECTIONS SEE SHEETS C-301 AND C-302

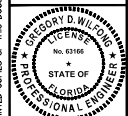
PAVING, GRADING AND DRAINAGE NOTES:

- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS SPECIFICALLY NOTICED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELEASE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL ORDER, PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ALL MATERIALS AND CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION FOR THE AUTHORITY HAVING JURISDICTION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR IS RESPONSIBLE FOR REMEDIATION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- EXISTING DRAINAGE PIPES AND MANHOLETS TO BE SET CLEANED AND VACUUMED TO REMOVE ALL SILT AND DEBRIS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION, IF APPLICABLE.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT, IF APPLICABLE.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE IF ABOVE FINISH GRADE, LIDS SHALL BE LABELED "STORM SEWER" IF APPLICABLE.
- ALL CATCH BASINS WITHIN IMPROVED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES, IF APPLICABLE.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT TO INVERT OUT, IF APPLICABLE.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT, UNLESS OTHERWISE NOTICED.
- CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT SIDEWALK AREAS THAT ARE TO BE UNCOVERED A MINIMUM OF 12" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED AND REPLACE WITH CRUSHED AND BACKFILL WITH CLEAN DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
- THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DEPOSITED OF IN A LEGAL MANNER.
- ALL CUT OR FILL SLOPES SHALL BE 1:1 OR FLATTER UNLESS OTHERWISE NOTED.
- ALL UNPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZER FERTILIZER TO ALL SLOPES 3:1 H OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRADE STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- LANDSCAPE PLANTING AREAS TO BE DEFINED MINIMUM OF 6' ABOVE BACK OF CURB ELEVATION.
- SEE LANDSCAPE PLAN FOR TREE REMOVAL AND PLANTING.
- ADA RAMPS SHALL NOT EXCEED 1:12 IN LENGTH AND 1:12 IN RISE (8.33% SLOPE MAX).
- CONTRACTOR TO FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES AND IMMEDIATELY NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS WITH GRADE FOUNDATIONS.
- ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
- ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS PROVIDED BY SURVEYOR.
- TYPE C MANHOLETS TO BE INCISED FOR 1/2" TRAFFIC RATING.
- FOOT CATCH BOTTOM MANHOLETS TO BE INCISED FOR 1/2" TRAFFIC RATING.
- ALL BUILDING ROOF DRAINS TO SLOPE UP AT 0.2% FROM LATERALS.

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440 24th STREET, SUITE 200, ANDOVER, MA 01915
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 38106



KHA PROJECT 147507131	DATE 9/27/2024	SCALE AS SHOWN	DESIGNED BY GAS	DRAWN BY GAS	CHECKED BY GAS
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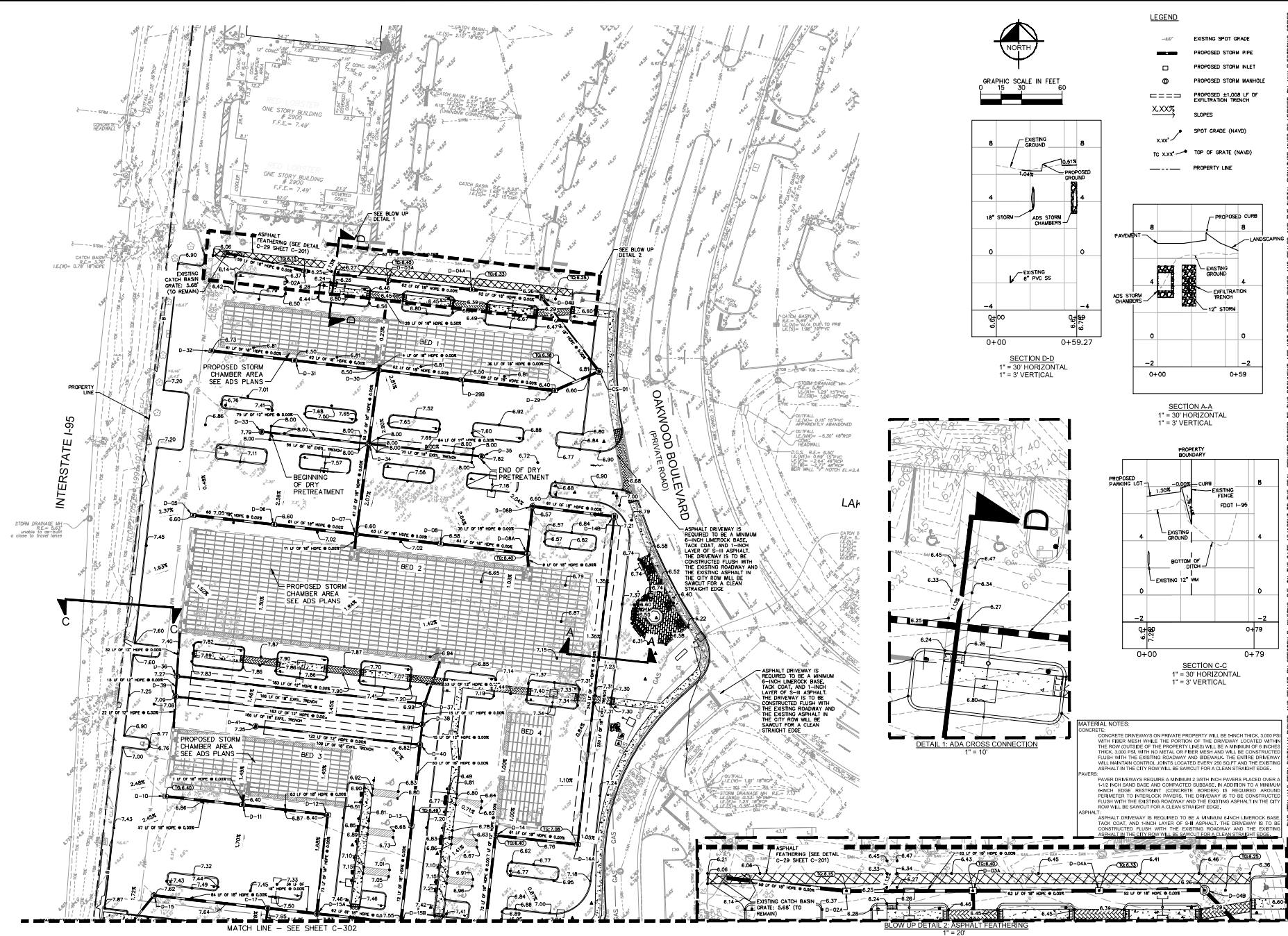
OVERALL PAVING
GRADING AND
DRAINAGE PLAN

OAKWOOD SOUTH
RETAIL SHOPPING
CENTER

SHEET NUMBER
C-300

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**OAKWOOD SOUTH
RETAIL SHOPPING
CENTER**
CITY OF HOLLYWOOD

**PAVING GRADING
AND DRAINAGE
ENLARGEMENT PLAN**

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
440 24th STREET, SUITE 200, HOLLYWOOD, FL 33060
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 38106

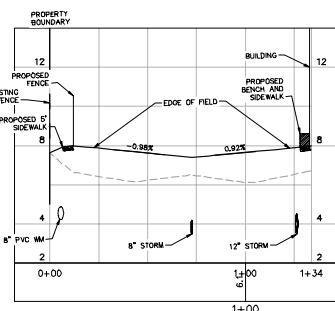
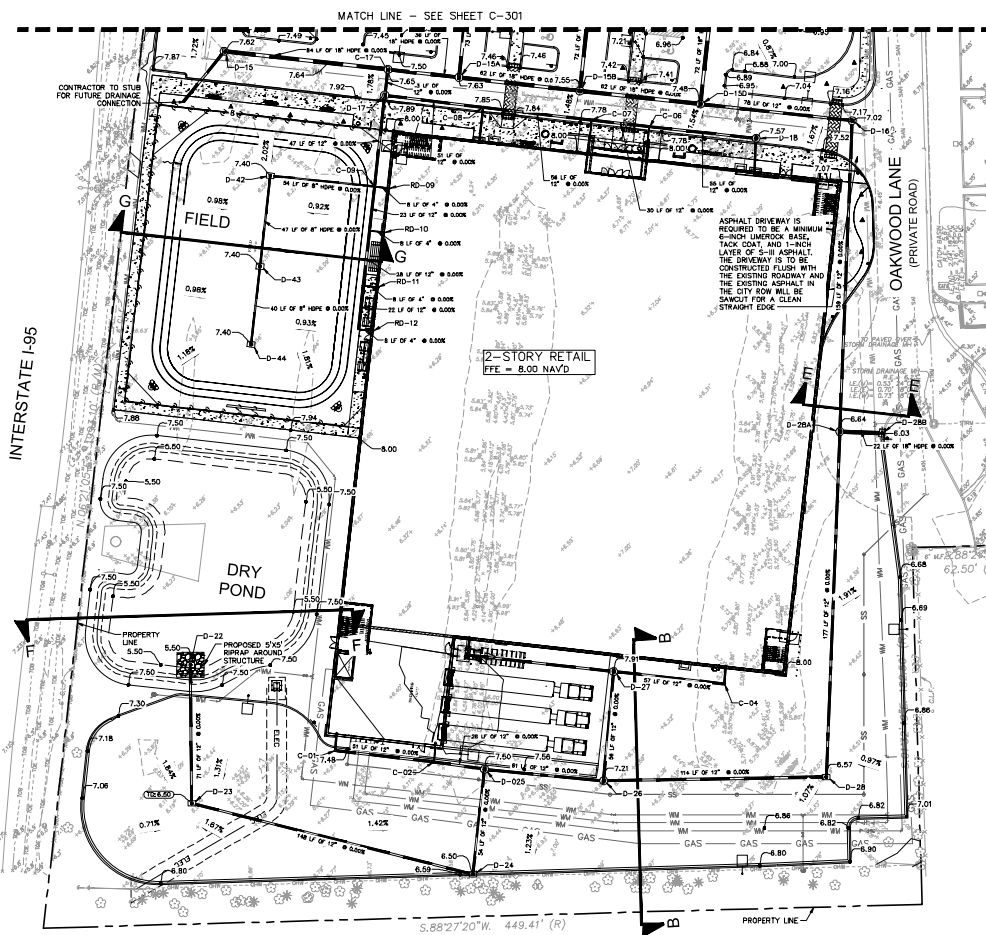
GREGORY D. WILSON
No. 62166
STATE OF FLORIDA
PROFESSIONAL ENGINEER

KHA PROJECT
147507131
DATE
9/23/2024
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DESIGNED BY SHH
DRAWN BY SHH
CHECKED BY COW

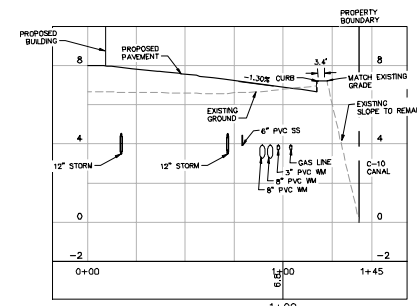
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DATE
BY
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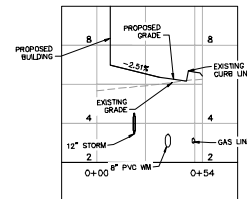
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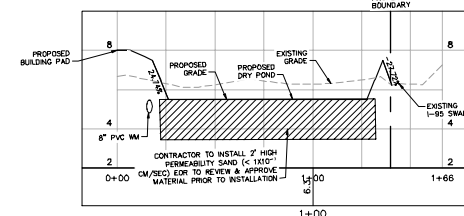
SECTION G-G
1" = 30' HORIZONTAL
1" = 3' VERTICAL



SECTION B-B
1" = 30' HORIZONTAL
1" = 3' VERTICAL



SECTION E-E
1" = 30' HORIZONTAL
1" = 2' VERTICAL



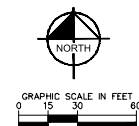
SECTION F-F
1" = 30' HORIZONTAL
1" = 3' VERTICAL

MATERIAL NOTES:
CONCRETE:










CONCRETE
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE SLOTH THICK 3,000 PSI WITH FIBER MESH WHERE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK. THE DRIVEWAY WITHIN THE PROPERTY LINES WILL BE A MINIMUM OF 4 INCHES THICK. THE DRIVEWAY SHALL BE FINISHED WITH A FINISH THAT MATCHES THE FINISH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY SHALL BE FINISHED WITH A FINISH THAT MATCHES THE FINISH WITH THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

PAVERS:
PAVER DRIVEWAYS REQUIRE A MINIMUM 1/2 INCH THICK PAVES PLACED OVER A 1-1/2 INCH SAND BASE AND COMPACTED SUBGRADE. IN ADDITION TO A MINIMUM 1/2 INCH THICK PAVES RESTRAINED TO THE EXISTING DRIVEWAY AND SIDEWALK PERIMETER TO INTERLOCK PAVES, THE DRIVEWAY IS TO BE CONSTRUCTED WITH ASPHALT. THE DRIVEWAY AND THE EXISTING ASPHALT IN THE CITY ROW SHALL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

FLUSH:
ASPHALT DRIVEWAYS & REPAIRS SHALL BE A MINIMUM RAMPAGE, 2 INCHES THICK, JACK COAT, AND 1 INCH LAYER OF 5/8" ASPHALT. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ASPHALT AND THE EXISTING DRIVEWAY AND SIDEWALK. THE CITY ROW SHALL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.



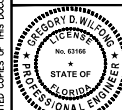
LEGEND

- | | |
|-------------------------------------------------------------------------------------|-------------------------------------------|
|  | EXISTING SPOT GRADE |
|  | PROPOSED STORM PIPE |
|  | PROPOSED STORM INLET |
|  | PROPOSED STORM MANHOLE |
|  | PROPOSED ±1,000 LF OF EXFILTRATION TRENCH |
|  | SLOPES |
|  | SPOT GRADE (NAVD) |
|  | TOP OF GRATE (NAVD) |
|  | PROPERTY LINE |

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KHA PROJECT
147507131

DATE _____

9/27/2024

DESIGNED BY SHS

DRAWN BY	SHB
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CHECKED BY	GDW

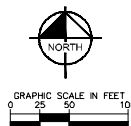
PAVING GRADING
AND DRAINAGE
ENLARGEMENT PLAN

OAKWOOD SOUTH
RETAIL SHOPPING
CENTER

SHEET NUMBER
C-302

[illegible]

7



UTILITY LEGEND

PROPERTY LINE	PROPERTY LINE
UTILITY EASEMENT	UTILITY EASEMENT
WATER MAIN (WM)	WATER MAIN (WM)
SANITARY MAIN	SANITARY MAIN
ELECTRIC	ELECTRIC
GAS	GAS
8" ODM PIPE	8" ODM PIPE
PSA	PSA
GATE VALVE	GATE VALVE
90° BEND	90° BEND
45° BEND	45° BEND
22.5° BEND	22.5° BEND
11.25° BEND	11.25° BEND
TEE	TEE
SEWER MANHOLE	SEWER MANHOLE
TRANSVERSE	TRANSVERSE
ENTERING SEWER MANHOLE	ENTERING SEWER MANHOLE
EXITING HYDRANT	EXITING HYDRANT

FIRE UTILITY NOTE

1. ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS II, OR C, OR LICENSE PER F.G.S.102.
2. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE MATERIALS PER NFPA 1 (2021 EDITION) SECTION 16.0.1.1.
3. RE ADVISED THAT NFPA 1 (2021 EDITION) SECTION 11.10.1 REQUIRES THAT MINIMUM GAUGE SIGNAL STRENGTH FOR FIRE DEPARTMENT OPERATIONS SHALL BE 100 DBA (100 DBA) FOR ALL BUILDINGS. MINIMUMS FOR THE AHI FOR ALL NEW AND EXISTING BUILDINGS: IF AT ANY TIME (INCLUDING THE CONSTRUCTION PHASE), FIRE DEPARTMENT PERSONNEL DETERMINE THAT THE MINIMUM GAUGE SIGNAL STRENGTH IS NOT BEING MET, A TWO-WAY RADIO COMMUNICATION EMERGENCY SYSTEM MAY BE REQUIRED TO BE INSTALLED AS DETERMINED BY THE AHI.


POTABLE WATER IMPACT			
	Use	Calculation	Total
Existing	Regal Cinemas Movie Theater	4 GPD per seat (4 GPD/seat x 2,504 seats)	10,016 GPD
Proposed	Retail (Commercial) 120,000 SF	0.1 GPD per SF (120,000 s.f. x0.1 GPD)	32,000 GPD
	Total Existing and Proposed		(11,984 GPD)

SANITARY SEWER IMPACT			
	Use	Calculation	Total
Existing	Regal Cinemas Movie Theater	4 GPD per seat (4 GPD/seat x 2,504 seats)	10,016 GPD
Proposed	Retail (Commercial) 120,000 SF	0.1 GPD per SF (120,000 s.f. x 0.1 GPD)	12,000 GPD
	Total Existent and Proposed		22,016 GPD

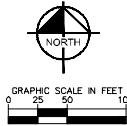
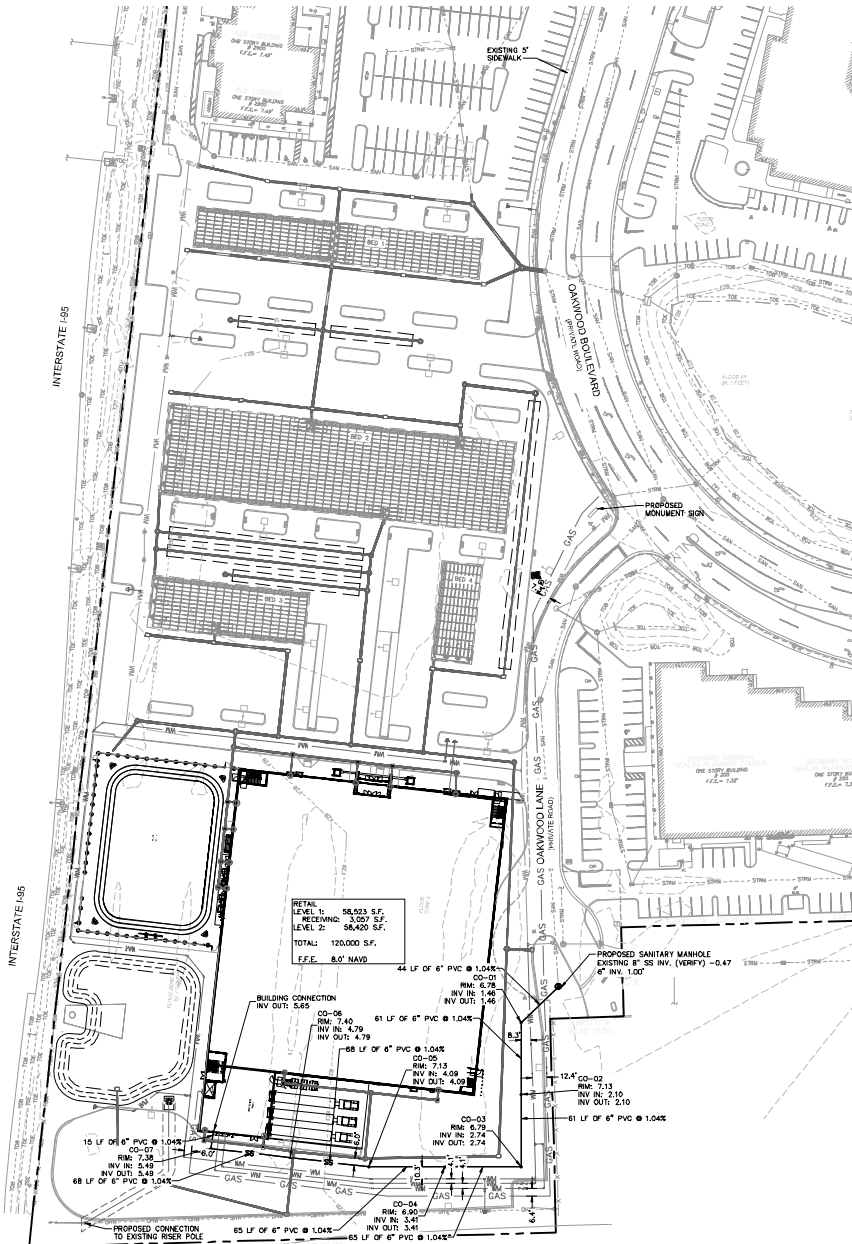
UTILITY NOTES

- [illegible]

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SHEET NUMBER C-401	OAKWOOD SOUTH RETAIL SHOPPING CENTER CITY OF HOLLYWOOD, FL	WATER PLAN	KMA PROJECT 147507131 DATE 9/3/2024 SCALE AS SHOWN DESIGNED BY SHB DRAWN BY SHB CHECKED BY COW		Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 440 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 782-796-6400 WWW.KIMLEY-HORN.COM REGISTRY NO. 30106	No. _____ REVISIONS _____ DATE _____ BY _____

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UTILITY LEGEND	
---	PROPERTY LINE
---	UTILITY BASIN/ST
---	WATER MAIN (WM)
---	SANITARY MAIN
---	ELECTRIC
---	GAS
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