

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: February 27, 2023

Location Address: 1914-1920 Pierce Street

Lot(s): LOT 19,20 E1/2 Block(s): BLK 20 Subdivision: HOLLYWOOD 1-21 B

Folio Number(s): 5142 15 01 3490

Zoning Classification: ND2 Land Use Classification: Residential

Existing Property Use: multi family Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO 23-DP-20

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: request for site plan approval

Number of units/rooms: 32 Sq Ft: 31,238

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: 2024

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: AIR ABODES LLC

Address of Property Owner: 8201 PETERS RD #1000 FORT LAUDERDALE FL 33324

Telephone: 786-252-9459 Fax: \_\_\_\_\_ Email Address: sindig@barmiholdings.com

Name of Consultant/Representative/Tenant (circle one): Alexis Bogomolni (under contract)

Address: 2980 NE 207 Street SUITE 603 Telephone: (786) 252-9459

Fax: \_\_\_\_\_ Email Address: alexisbogo@abhre.com

Date of Purchase: 01/06/2022 Is there an option to purchase the Property? Yes (X) No ( )

If Yes, Attach Copy of the Contract. Pierce St, LLC currently under contract to purchase from Air Abodes, LLC

List Anyone Else Who Should Receive Notice of the Hearing: Alexis Bogomolni

alexisbogo@abhre.com (786) 252-9459

Address: 2980 NE 207 Street SUITE 603

Pamela Butler (954) 471-6177

Email Address: choicepermitting@hotmail.com



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## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan and design approval \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the TAC & Planning & Development Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 28th day of February, 2023

[Signature]  
Notary Public

State of Florida

My Commission Expires: 4/10/26 (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



Signature of Current Owner

Print Name



## TECHNICAL ADVISORY COMMITTEE REPORT

March 20, 2023

Air Abodes LLC/Alexis Bogomolni  
2980 NE 207 Street, Suite 603  
Aventura, FL 33180

**FILE NUMBER:** 23-DP-20

**SUBJECT:** Preliminary Site Plan and Design review for 32 Residential Units.

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### SITE DATA

<b>Owner/Applicant:</b>	Air Abodes LLC
<b>Address/Location:</b>	1914-1920 Pierce Street, Hollywood, FL 33020
<b>Net Size of Property:</b>	16,360 sq. ft. (0.375 acres)
<b>Land Use:</b>	Regional Activity Center (RAC)
<b>Zoning:</b>	ND-2
<b>Present Use of Land:</b>	Multifamily
<b>Year Built:</b>	1924/1944 (Broward County Property Appraiser)

### ADJACENT LAND USE

<b>North:</b>	Regional Activity Center (RAC)
<b>South:</b>	Regional Activity Center (RAC)
<b>East:</b>	Regional Activity Center (RAC)
<b>West:</b>	Regional Activity Center (RAC)

### ADJACENT ZONING

<b>North:</b>	North Downtown Medium Intensity Multi-Family District (ND-2)
<b>South:</b>	North Downtown Medium Intensity Multi-Family District (ND-2)
<b>East:</b>	North Downtown Medium Intensity Multi-Family District (ND-2)
<b>West:</b>	North Downtown Medium Intensity Multi-Family District (ND-2)

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**APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).**

**A. APPLICATION SUBMITTAL**

Tasheema Lewis, Associate Planner ([tlewis@hollywoodfl.org](mailto:tlewis@hollywoodfl.org)) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.  
**Please see included in this submission Plat Determination issued from Broward County Planning Council.**
2. Ownership & Encumbrance Report (O&E):
  - a. Substantially compliant.
3. Alta Survey:
  - a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.  
**Please see updated survey based on O&E and stated such on sheet 1 of 2 on April 14, 2023.**
  - b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.  
**Please see updated survey reflecting any existing encumbrance.**
4. Site Plan:
  - a. Provide cover sheet with location map.  
**Response: Cover Sheet and Location Map provided in Cover Sheet A000**
  - b. Side setback should be measured at the exterior most portion of the building.  
**Response: Refer to Revised Drawings for setbacks location.**
  - c. Clearly show dimensions for both curb cuts that is labeled 24'. It appears the dimensions exceed the width indicated and 30% curb cut requirement.  
**Response: Refer to Revised Site Plan A100**
  - d. Show dimensions for parallel spaces.  
**Response: Refer to Revised Site Plan A100**
  - e. Provide bicycle racks or storage shall. 1 per 20 spaces required.  
**Response: Refer to Revised Site Plan A100**
  - f. No column shall be within 3 ft. of the entrance to a parking space. Show length dimension of driveways. Indicate on site plan.  
**Response: Refer to Revised Site Plan A100**
  - g. Consider inverting the orientation of the trash room and stair 2 for more efficient trash removal from the alley.  
**Response: Considered but does not work.**
  - h. Provide dimensions for handicap parking space.  
**Response: Refer to Revised Site Plan A100**
  - i. Identify the space east of the lobby.  
**Response: Refer to Revised Site Plan A100**
  - j. Provide color material legend on elevation sheet.  
**Response: See Revised Elevations for material color.**
  - k. Identify the door leading to the lobby. Is this a fence gate?  
**Response: Door was a fence and is removed. Refer to Revised Site Plan A100**
  - l. Indicate propose fencing on the site plan.  
**Response: Refer to Revised Site Plan A100**
  - m. Work with engineering to ensure property has the correct amount of required handicap spaces.  
**Response: Refer to Revised Site Plan A100. 2 ADA spaces required and provided.**
  - n. Provide dimensions of the aluminum gazebo and pool.



**Response: Refer to Revised Site Plan A104**

- o. Provide table indicating unit type/size.

**Response: Refer to Revised A101 for requested table.**

- p. Parking garage shall be screened with both architectural and landscape treatment.

**Response: Refer to Revised Site Plan A100, A201, A202 and Landscaping Plans. Architectural screen provided on north and south side and landscaping provided on the east and west sides as per landscaping drawings.**

- q. Elevator bulkhead exceeds the maximum 25% encroachment.

**Response: Elevator bulkhead was revised to 71'-0" as per revised A201 and A202.**

- r. Show property lines and setbacks on elevation sheets.

**Response: Refer to Revised Elevations A201 and A202**

- s. Dimension any balcony encroachment.

**Response: Refer to Revised Drawings for balcony encroachment dimensions.**

- t. Provide note on site plan that "any changes to design, including material changes, may require Planning and Development Board approval prior to construction.

**Response: Note added to Revised Site Plan A100**

5. Site Data:

- a. Substantially compliant.

6. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

**Submitted to Tammy Sartin at Broward County School Board and pending review. Will provide update prior to Board Hearing.**

7. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

**Response: Refer to New Cover Sheet A000**

8. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

The following Civic Association are located within 500 feet project site.

- a. Downtown Parkside Royal Poinciana

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

**Noted and scheduled for July 2023...awaiting date confirmation from Civil Association. Will provide update at TAC meeting.**

9. Additional comments may be forthcoming.

**Response: Understood**

10. Provide written responses to all comments with next submittal.

**Response: Written Response Provided**

**B. ZONING**

Tasheema Lewis, Associate Planner ([tlewis@hollywoodfl.org](mailto:tlewis@hollywoodfl.org)) 954-921-3471

1. Indicate car lift specifications in notes on site plan.  
**Response: Refer to Revised A104 FOR Car Lift Notes and details.**
2. Indicate curbing type in the parking area.  
**Response: Refer to Revised Site Plan A100 for curbing identification.**

**C. ARCHITECTURE AND URBAN DESIGN**

Tasheema Lewis, Associate Planner ([tlewis@hollywoodfl.org](mailto:tlewis@hollywoodfl.org)) 954-921-3471

1. No comments at this time. Need to provide renderings and material legend with Final TAC submission.  
**Renderings to be provided prior to Final TAC sign off**

**D. SIGNAGE**

Tasheema Lewis, Associate Planner ([tlewis@hollywoodfl.org](mailto:tlewis@hollywoodfl.org)) 954-921-3471

1. For review, full signage package shall be provided.  
**No signage being proposed. Should any sign be installed at a later date it will meet the LDR requirements.**

**E. LIGHTING**

Tasheema Lewis, Associate Planner ([tlewis@hollywoodfl.org](mailto:tlewis@hollywoodfl.org)) 954-921-3471

1. Indicate 0.5 foot candle lighting.  
**Response: Note added to Revised Site Plan A100**

**F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY**

Tasheema Lewis, Associate Planner ([tlewis@hollywoodfl.org](mailto:tlewis@hollywoodfl.org)) 954-921-3471

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02).  
**Response: Refer to Revised Site Plan A100 for future installation of electric vehicle charging equipment.**
2. Work with Building Department to ensure compliance with Green Building Ordinance. Need at least 10. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.  
**Response: Refer to Revised Site Plan A100 for Green Building Certification to be achieved.**

**G. ENGINEERING**

Azita Behmardi, City Engineer ([abehmardi@hollywoodfl.org](mailto:abehmardi@hollywoodfl.org)) 954-921-3251

Clarissa Ip, Assistant City Engineer ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org)) 954-921-3915

Rick Mitinger, Transportation Engineer ([rmitinger@hollywoodfl.org](mailto:rmitinger@hollywoodfl.org)) 954-921-3990

**Revision Procedure:**

**-Any revisions applied to the plans shall be numbered and bubbled/clouded.**

**-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.**

1. Unity of Title or similar will be required.  
**Noted and will be provided prior to the issuance of a building permit.**
2. Please sign and seal survey.



**See submitted signed and sealed survey.**

3. Provide plat determination letter from the Broward County Planning Council.  
**Please see included in this submission Plat Determination issued from Broward County Planning Council.**
4. On overall site plan and all applicable plans, please provide items such as:
  - a. Existing right-of-way width dimension and show limits of the rights-of-way on of all street / alleys adjacent to the site.  
**Response: Refer to Revised Site Plan A100**
  - b. Include and show all surrounding elements of the site on plans, as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks etc.  
**Response: Refer to Revised Site Plan A100**
  - c. Provide sight triangle as per Chapter 155.12 of the City code, be sure to provide dimension for distance between edge of pavement and the property line.  
**Response: Refer to Revised Site Plan A100**
  - d. Setback dimensions for all features (slabs and walkways) adjacent to the site's property lines.  
**Response: Refer o Revised Site Plan A100**
  - e. Label property line around all sides of site.  
**Response: Refer to Revised Site Plan A100**
  - f. Provide dimensions of all parking stalls, width and length. Stalls adjacent to obstruction on one side shall be minimum 9.5' wide and 10.5' wide for stalls with obstruction on both sides.  
**Response: Refer to Revised Site Plan A100**
  - g. Provide dimension of drive aisle width adjacent to parallel Stalls 11-13 and indicate direction of vehicular traffic.  
**Response: Refer to Revised Site Plan A100**
  - h. Building column setback from the entrance of the parking stalls, minimum 3' is required.  
**Response: Refer to Revised Site Plan A100**
  - i. Provide dimension for curb cuts at the property line and for all walkways connecting to the public sidewalk or alley. Curb cuts shall meet Chapter 155.08 of the City code.  
**Response: Refer to Revised Site Plan A100**
5. Provide width dimension for the parallel parking, minimum is 8.5'.  
**Response: Refer to Revised Site Plan A100**
6. On Sheet A100, please clearly show where the building walls end adjacent to Stall 1 and Stall 16 and how the building accesses connect to the driveways. Also, please indicate material of the driveways and driveway aprons.  
**Response: Refer to Revised Site Plan A100**
7. On Sheet A100, in the General Zoning Requirements Table, include the ADA stall in the parking calculations.  
**Response: Refer to Revised Site Plan A100**
8. On Sheet A100, show the direction of vehicular traffic circulation on plan.  
**Response: Refer to Revised Site Plan A100**
9. Proposed gates are shown at the driveway openings on plans at the property line. Please label on plans. Vehicular queueing spaces and any additional space required for gate operation will be required, please show on plans. Minimum of one vehicular queueing space at the Entrance to the parking within private property is required. There shall be no parking adjacent to the vehicular queueing space. Please indicate the area on plan, minimum queueing space dimension is 8.5'x19'. Also, include information such as type of gate and access control (i.e. remote, sensor, etc.).  
**Response: Refer to Revised Site Plan A100**
10. Label wall or fence at the front and back of the property along the property, identify its material and height. Detail with section will be required to show its footing to not encroach into adjacent right-of-way or property.  
**Response: Refer to Revised Site Plan A100**
11. Label what appears to be an elevator on plans.

**Response: Refer to Revised Site Plan A100**

12. Indicate location for mailboxes / mail services on plans.

**Response: Refer to Revised Site Plan A100**

13. Sheet A100, label all material types (i.e. parking area, gray hatch) and indicate location where there is a change in elevation and where it is flush.

**Response: Refer to Revised Site Plan A100**

14. Indication location and type of curbing used on plans.

**Response: Refer to Revised Site Plan A100**

15. Sheet A100, what is the double line running through parking Stall 1-10?

**Response: Refer to Revised Site Plan A100**

16. Indicate on plans for existing sidewalk along Pierce Street to be replaced. Provide ADA detectable warning at driveway openings, include details.

**Response: Refer to Revised Site Plan A100**

17. On Sheet A101, Elevations, please identify the vehicular Entrance and Exit to the parking area and provide Response: the vertical clearance.

**Response: Refer to Revised Site Plan A100, A201 and A202**

18. Provide dimension for the ADA accessible route, minimum width is 5' and identify any change in elevation or slopes. If there is no change in elevation, indicate on plans the transition is flush. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements.

**Response: Refer to Revised Site Plan A100** Provide trash chute.

19. Indicate on plans for existing curb cuts and swales in the rights-of-way to be properly closed off and restored.

**Response: Refer to Revised Site Plan A100 and Civil Drawings**

20. Provide civil plans for the proposed project. Indicate items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking and signage plans and details. Show location of existing water and sewer mains on plans and show the project is planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width asphalt pavement mill and resurface is required for all adjacent road / alley to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

**Noted...please see included civil plan sheets with this submission.**

21. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Rights-of-way improvements are to be determined and will be required. Continued coordination will be necessary.

**Noted...please provide specific code requirements so plans can be updated and modified prior to submitting for building permits.**

22. MOT plans required at the time of City Building Permit review.

**Noted**

23. All outside agency permits must be obtained prior to issuance of City building permit.

**Noted**

24. Impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022, to be paid prior to building permit issuance.

**Noted**

More comments may follow upon review of the requested information.

**Response: Understood**



## H. LANDSCAPING

Favio Perez, Landscape Reviewer ([fperez@hollywoodfl.org](mailto:fperez@hollywoodfl.org)) 954-921-3997

Clarissa Ip, Assistant City Engineer ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org)) 954-921-3915

1. Tree disposition sheet is not taking into account the removal of tree #16. Revise mitigation chart/requirements and compensation.

**RESPONSE: TREE DISPOSITION UPDATED PER COMMENT.**

Revise legend with requirements to show the RAC zoning requirements: 1 street tree per 30 lf, 1 tree per 20 lf for landscape buffer within required setbacks, 1 tree per 20 lf when abutting an alley, 1 tree per parking island, 1 tree per 1,000 sf of pervious area of property.

**Response: LANDSCAPE LEGEND UPDATED PER COMMENT.**

2. No gravel allowed in open space areas. All landscape areas shall be covered by living plant material as required by code.

**Response: ALL GRAVEL REMOVED PER COMMENT.**

3. Trees #14 & #15 are proposed to remain. Building construction will impact  $\frac{3}{4}$  of the critical root zone. Provide redesign or mitigation.

**Response: TREES #14 AND #15 ARE NOW PROPOSED TO BE REMOVED PER COMMENT.**

4. Existing sabal palms are noted in good condition. Recommend relocation on site.

**Response: SABAL PALMS TO BE RELOCATED PER COMMENT.**

5. Furnish a RESPONSE SHEET with written responses to all plan review comments on 8-1/2" x 11" design professional office letter head; include date, project name, permit application number, contact information (phone and email). Include reference to clouded updates on plans (if applicable). Provide clouded and numbered revisions to any revised sheet.

**Response: UNDERSTOOD.**

## I. UTILITIES

Alicia Vereas-Feria, Engineer ([avereas-feria@hollywoodfl.org](mailto:avereas-feria@hollywoodfl.org)) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed drainage, water and sewer service for initial review.

**Response: See Civil Plans.**

2. Show Water and Sewer demand calculations on proposed utilities plans.

**Response: See Civil Plans.**

3. Clarify how the fire line will be serviced for this property, as applicable.

**Response: 4" Fire line comes into the property.**

4. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>.

**Response: Hollywood Details included in Civil Plans.**

5. This site resides currently within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) requirements shall comply with the **greatest** of the following three (3) conditions, as applicable.

**Response: Acknowledged.**

- a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.

- b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR

- c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link: <https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacd62575e817380>
6. Indicate FFE for all enclosed areas on the ground floor.  
**Response: FFE of 9.00 indicated.**
7. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.  
**Response: Cross-section on Civil Sheets**
8. Ensure all stormwater is retained onsite.  
**Response: All stormwater is retained onsite.**
9. Indicate how roof drainage will be collected and connected to the on-site drainage system.  
**Response: Roof drains to be tied into stormwater piping.**
10. Provide preliminary drainage calculations.  
**Response: See attached.**
11. Submit Erosion Control Plan and details.  
**Response: Erosion Plans Included in Civil Set.**
12. Permit approval from outside agencies will be required.  
**Response: Acknowledged.**
13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.  
**Response: Acknowledged.**
14. Additional comments may follow upon further review of requested items.  
**Response: Understood**

#### **BUILDING**

*Russell Long, Assistant Building Official ([rlong@hollywoodfl.org](mailto:rlong@hollywoodfl.org)) 954-921-3490*  
*Daniel Quintana, Electrical Plans Examiner/Inspector ([dquintana@hollywoodfl.org](mailto:dquintana@hollywoodfl.org)) 954-921-3335*

1. Substantially Compliant.

#### **J. FIRE**

*Chris Clinton, Deputy Fire Marshal / Assistant Division Chief ([cclinton@hollywoodfl.org](mailto:cclinton@hollywoodfl.org)) 954-967-4404*

Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department.

**Response: Understood**

1. At time of submittal, water supply must meet NFPA 1 (2018 Ed.) Section 18.4.5.3. --- In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., [underground@hollywoodfl.org](mailto:underground@hollywoodfl.org). --- After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.  
**Response: Calculations on Civil Sheet.**
2. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1.  
**Response: Acknowledged.**
3. As per NFPA 1 (2018 Ed.) Section 12.3.2 --- In new buildings three stories or greater in height, a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the RDP responsible for design. Inspections of firestop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.2. --- Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. --- Architectural plans will be required to show this information moving forward for buildings three stories or greater in



height. Provide a note on the plan regarding NFPA 1 (2018 Ed.) Section 12.3.2.

**Response: Note added to Revised A100**

4. Be advised that NFPA 1 (2018 edition) Section 11.10.1 requires that minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ for all new and existing buildings. --- If at any time (including the construction phase), Fire Department personnel determine that the minimum radio signal strength is not being met, a Two-Way Radio Communication Enhancement system may be required to be installed as determined by the AHJ.

**Response: Understood**

5. Plan pages A100 and A101 show two numbers per parking space (see 19-42). Do these double numbers represent proposed car stackers? If so, be advised that the currently adopted NFPA 13 edition calls for this hazard classification to be protected as Extra Hazard Group II.

**Response: Numbers indicate car stackers. Hazard Classification Understood**

6. NFPA 13 (2016 Ed.) Section 5.4.2 (Extra Hazard (Group 2) --- Extra hazard (Group 2) occupancies shall be defined as occupancies or portions of other occupancies with moderate to substantial amounts of flammable or combustible liquids or occupancies where shielding of combustibles is extensive.

**Response: Understood**

7. NFPA 13 (2016 Ed.) Section A.5.4.2 (9) --- Car stackers and car lift systems with 2 cars stacked vertically.

**Response: Understood**

**K. PUBLIC WORKS**

*Daniel Millien, Environmental Services Manager ([dmillien@hollywoodfl.org](mailto:dmillien@hollywoodfl.org)) 954-967-4526*

No comments received.

**L. PARKS, RECREATION AND CULTURAL ARTS**

*David Vazquez, Assistant Director ([dvazquez@hollywoodfl.org](mailto:dvazquez@hollywoodfl.org)) 954-921-3404*

1. Park Impact Fee application required.

**Please see included Park Impact Fee Application**

**M. COMMUNITY DEVELOPMENT**

*Liliana Beltran, Housing Inspector ([lbeltran@hollywoodfl.org](mailto:lbeltran@hollywoodfl.org)) 954-921-2923*

1. No comments received.

**N. ECONOMIC DEVELOPMENT**

*Raelin Storey, Director ([rstorey@hollywoodfl.org](mailto:rstorey@hollywoodfl.org)) 954-924-2922*

*Herbert Conde-Parlato, Economic Development Manager ([hconde-parlato@hollywoodfl.org](mailto:hconde-parlato@hollywoodfl.org)) 954-924-2922*

1. What is the estimated value of the project? It was left blank on the application.  
6 million

**O. POLICE DEPARTMENT**

*Christine Adamcik, Police ([cadamcik@hollywoodfl.org](mailto:cadamcik@hollywoodfl.org)) 954-967-4371*

*Steven Bolger, Police ([sbolger@hollywoodfl.org](mailto:sbolger@hollywoodfl.org)) 954-967-4500*

*Doreen Avitabile, Police ([davitabile@hollywoodfl.org](mailto:davitabile@hollywoodfl.org)) 954-967-4371*

1. Substantially compliant.

**P. DOWNTOWN AND BEACH CRA**

*Jorge Camejo, Executive Director ([jcamejo@hollywoodfl.org](mailto:jcamejo@hollywoodfl.org)) 954-924-2980*

*Susan Goldberg, Deputy Director ([sgoldberg@hollywoodfl.org](mailto:sgoldberg@hollywoodfl.org)) 954-924-2980*

*Francisco Diaz-Mendez, Project Manager ([fdiaz-mendez@hollywoodfl.org](mailto:fdiaz-mendez@hollywoodfl.org)) 954-924-2980*

1. Elevations lack details and information on proposed finishes and materials.  
**Noted...please see updated elevations reflecting material and finish legend**
2. The lobby area appears to be very small. Please work on improving the architectural details and delineation of the lobby area to make it more inviting to pedestrians.

**Response: Understood**

3. CRA would like to suggest reducing the width of the proposed single lane driveways to 11'.

**Response: Refer to Revised A100. Driveway reduced to 12'-0".**

**Q. PARKING**

Jovan Douglas, Parking Operations Manager ([jdouglas@hollywoodfl.org](mailto:jdouglas@hollywoodfl.org)) 954-921-3548

1. No comments received.

**R. ADDITIONAL COMMENTS**

Tasheema Lewis, Associate Planner ([tlewis@hollywoodfl.org](mailto:tlewis@hollywoodfl.org)) 954-921-3471

1. Additional comments may be forthcoming.

**Response: Understood**

---

**The Technical Advisory Committee does not find this application substantially compliant with all applicable regulations, therefore the Applicant must resubmit for TAC review.**

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

**If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.**

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Tasheema Lewis  
Associate Planner

C: 1914-1920 Pierce Street via email [sindig@barmiholdings.com](mailto:sindig@barmiholdings.com)  
Alexis Bogomolni via email [choicepermitting@hotmail.com](mailto:choicepermitting@hotmail.com)



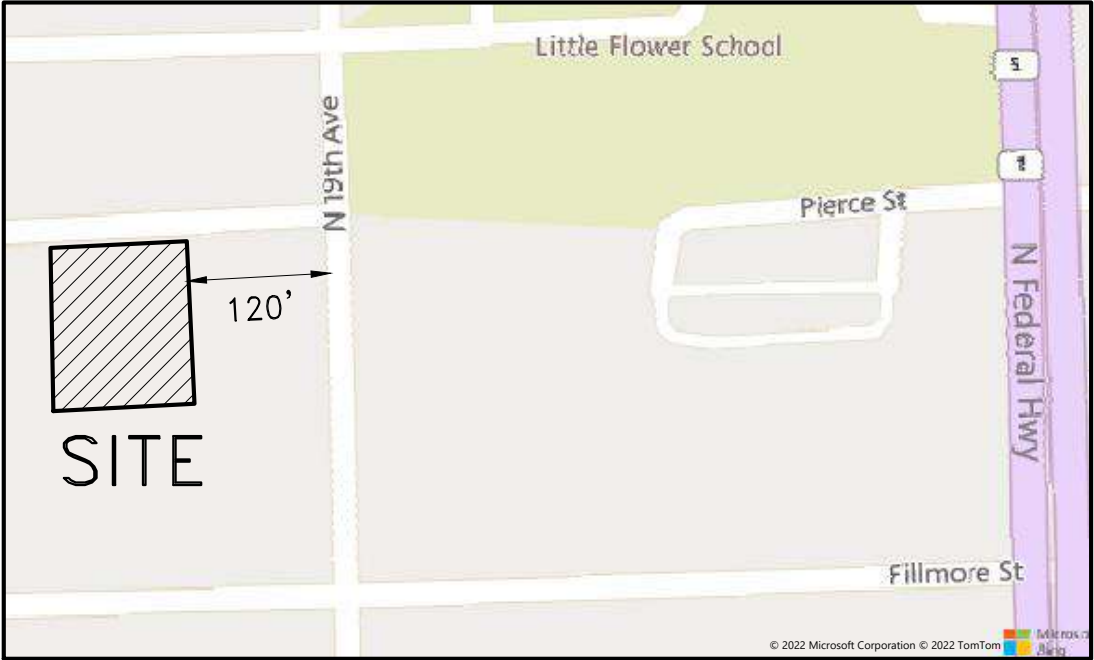
NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
3. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
4. UNDERGROUND IMPROVEMENTS NOT SHOWN.
5. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
6. BENCHMARK REFERENCE : CITY OF HOLLYWOOD BENCHMARK: SQUARE CUT AT NW CORNER OF 24TH AVENUE AND POLK STREET. ELEVATION=10.50' (NAV88)
7. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
8. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN OWNERSHIP AND ENCUMBRANCE REPORT SEARCH NO.: 22-991-1-UPDATE 1, CERTIFIED FROM DATE OF PLAT (MAY 14, 1925) THROUGH THE 1ST DAY OF JANUARY 2023, AT 11:00 O'CLOCK P.M. AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

ENCUMBRANCES:

- ITEM 1. EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS SET FORTH ON PLAT OF HOLLYWOOD, PLAT BOOK 1, PAGE 21, PUBLIC RECORDS BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- ITEM 2. CLAIM OF LIENS: CITY OF HOLLYWOOD, A FLORIDA MUNICIPAL CORPORATION TO AIR ABODES LLC, DATED DECEMBER 13, 2022, FILED DECEMBER 14, 2022, UNDER INSTRUMENT NO. 118571343. (AFFECTS/NOT PLOTTABLE)
- ITEM 3. CLAIM OF LIENS: CITY OF HOLLYWOOD, A FLORIDA MUNICIPAL CORPORATION TO AIR ABODES LLC, DATED DECEMBER 13, 2022, FILED DECEMBER 14, 2022, UNDER INSTRUMENT NO. 118571359. (AFFECTS/NOT PLOTTABLE)
9. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
11. THE PROPERTY HAS DIRECT ACCESS TO PIERCE STREET, DEDICATED PUBLIC STREETS AS SHOWN ON PLAT BOOK 1, PAGE 21, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
12. THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
14. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
15. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
16. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
17. NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

LEGEND:

- CKD  
CONC  
DWN  
FB/PG  
SIR  
SNC  
FIR  
FIP  
FNC  
FND  
PRM  
P.B.  
B.C.R.  
FPL  
-X-  
-E-  
WM  
WV  
SSMH  
SDMH  
BFP  
EB  
WPP  
MLP  
CPP  
0.00  
UNK  
ALTA  
NSPS
- CHECKED BY  
CONCRETE  
DRAWN BY  
FIELD BOOK AND PAGE  
SET 5/8"IRON ROD & CAP #6448  
SET NAIL & CAP #6448  
FOUND IRON ROD  
FOUND IRON PIPE  
FOUND NAIL & CAP  
FOUND NAIL & DISK  
PERMANENT REFERENCE MARKER  
PLAT BOOK  
BROWARD COUNTY RECORDS  
FLORIDA POWER & LIGHT  
CHAIN LINK FENCE  
OVERHEAD UTILITY LINES  
WATER METER  
WATER VALVE  
SANITARY SEWER MANHOLE  
STORM DRAIN MANHOLE  
BACK FLOW PREVENTER  
ELECTRIC BOX  
WOOD POWER POLE  
METAL LIGHT POLE  
CONCRETE POWER POLE  
ELEVATIONS  
UNKNOWN TREE TYPE  
AMERICAN LAND TITLE ASSOCIATION  
NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

LAND DESCRIPTION:

LOTS 19, 20 AND 21, BLOCK 20 OF "HOLLYWOOD", ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:

1920 PIERCE LLC, A FLORIDA LIMITED LIABILITY COMPANY  
ALEX D. SIRULNIK, P.A.  
FIDELITY NATIONAL TITLE INSURANCE COMPANY


SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 17 AND 19 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON FEBRUARY 04, 2023.

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954)689-7766 FAX (954)689-7799

PROJECT NUMBER: 9818-22

CLIENT :

MG3 GROUP

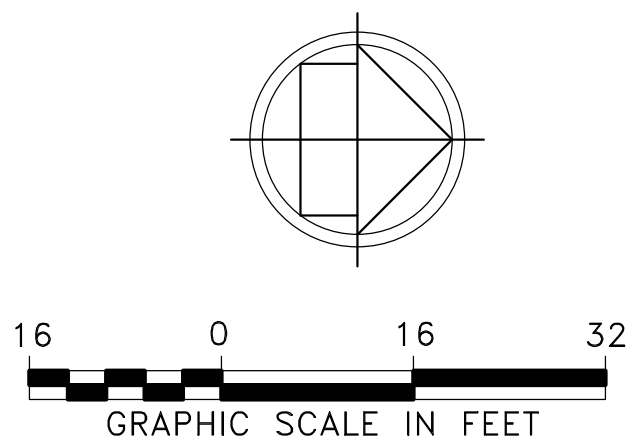
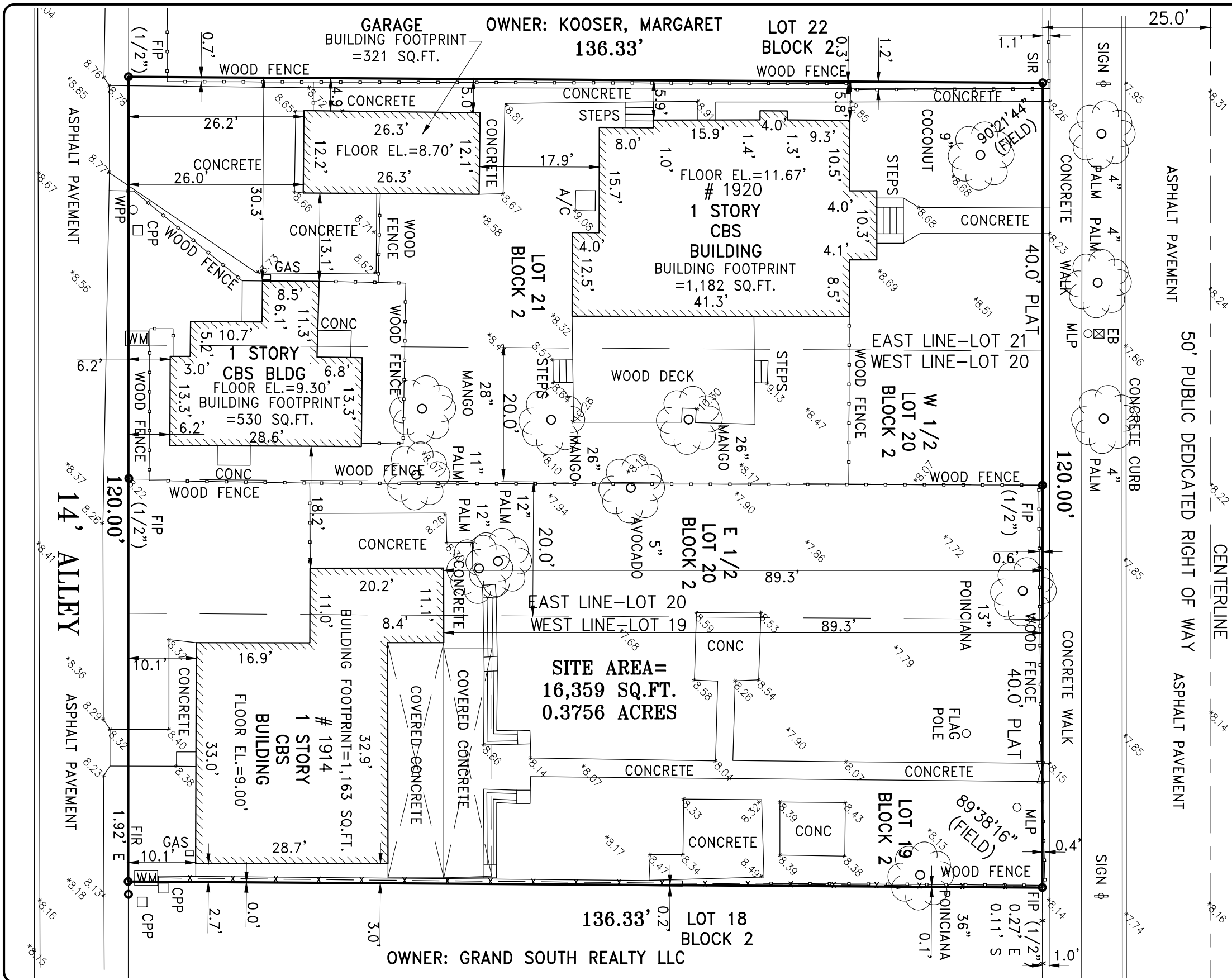
REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	06/28/22	SKETCH	AM	REC
UPDATE SURVEY	02/04/23	SKETCH	JD	REC
REVISED PER O&E	04/19/23	SKETCH	AM	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569H
ZONE	X
BASE FLOOD ELEV	N/A
EFFECTIVE DATE	08/18/14

PROPERTY ADDRESS :  
1914 & 1920 PIERCE STREET

SCALE: N/A

SHEET 1 OF 2



- LEGEND:
- |        |  |
|--------|--|
| CKD    | CHECKED BY                                 |
| CONC   | CONCRETE                                   |
| DWN    | DRAWN BY                                   |
| FB/PG  | FIELD BOOK AND PAGE                        |
| SIR    | SET 5/8"IRON ROD & CAP #6448               |
| SNC    | SET NAIL & CAP #6448                       |
| FIR    | FOUND IRON ROD                             |
| FIP    | FOUND IRON PIPE                            |
| FNC    | FOUND NAIL & CAP                           |
| FND    | FOUND NAIL & DISK                          |
| PRM    | PERMANENT REFERENCE MARKER                 |
| P.B.   | PLAT BOOK                                  |
| B.C.R. | BROWARD COUNTY RECORDS                     |
| FPL    | FLORIDA POWER & LIGHT                      |
| -X-    | CHAIN LINK FENCE                           |
| -E-    | OVERHEAD UTILITY LINES                     |
| WM     | WATER METER                                |
| WV     | WATER VALVE                                |
| SSMH   | SANITARY SEWER MANHOLE                     |
| SDMH   | STORM DRAIN MANHOLE                        |
| BFP    | BACK FLOW PREVENTER                        |
| EB     | ELECTRIC BOX                               |
| WPP    | WOOD POWER POLE                            |
| MLP    | METAL LIGHT POLE                           |
| CPP    | CONCRETE POWER POLE                        |
| 0.00   | ELEVATIONS                                 |
| UNK    | UNKNOWN TREE TYPE                          |
| ALTA   | AMERICAN LAND TITLE ASSOCIATION            |
| NSPS   | NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS |

ALTA/NSPS LAND TITLE SURVEY

**COUSINS SURVEYORS & ASSOCIATES, INC.**  
3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954)689-7766 FAX (954)689-7799

PROJECT NUMBER: 9818-22

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MG3 GROUP

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	06/28/22	SKETCH	AM	REC
UPDATE SURVEY	02/04/23	SKETCH	JD	REC
REVISED PER O&E	04/19/23	SKETCH	AM	REC

FLOOD ZONE INFORMATION

COMMUNITY NUMBER	125113
PANEL NUMBER	0569H
ZONE	X
BASE FLOOD ELEV	N/A
EFFECTIVE DATE	08/18/14

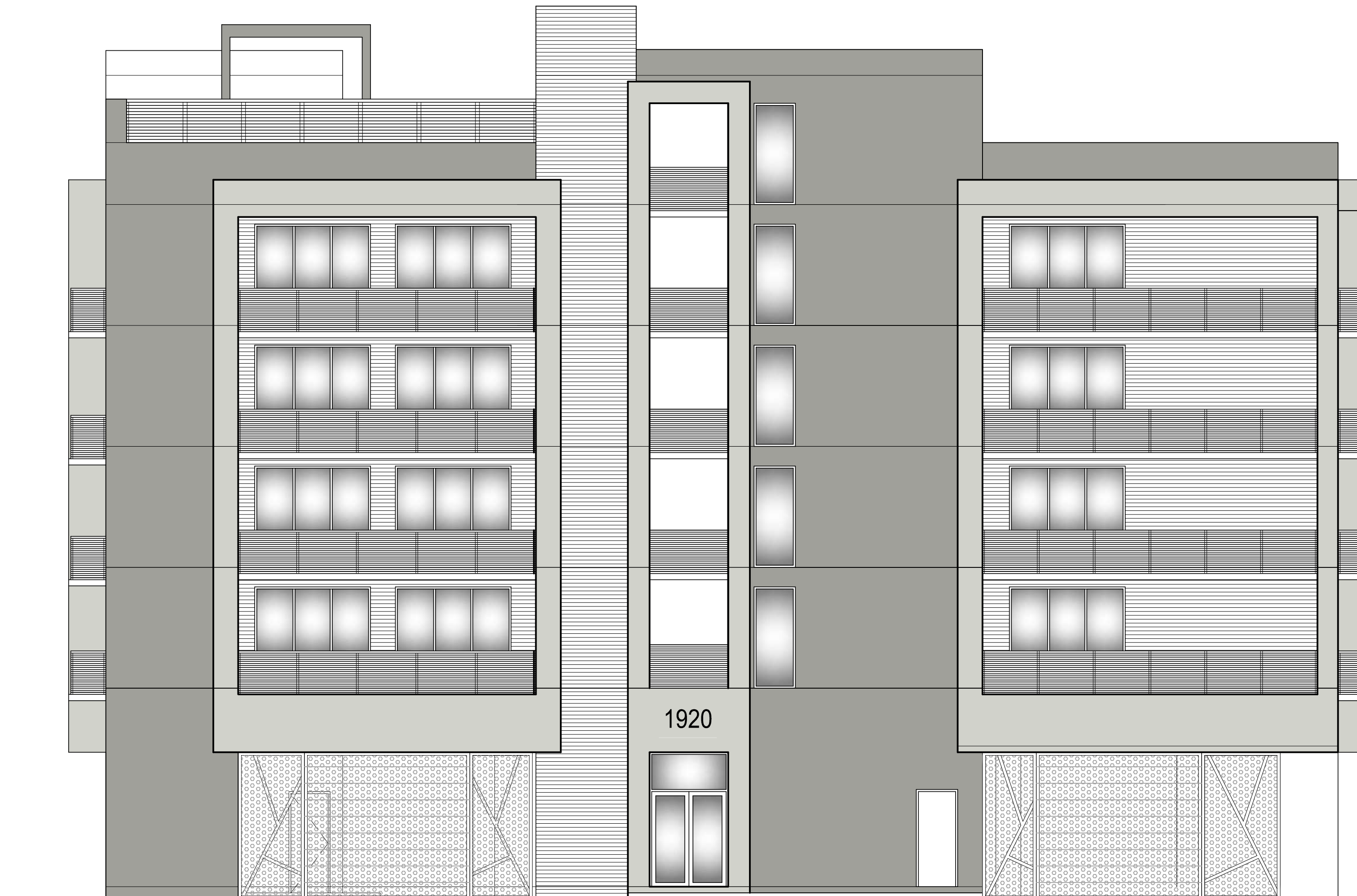
PROPERTY ADDRESS :  
1914 & 1920 PIERCE STREET

SCALE: 1"= 16'

SHEET 2 OF 2











NEW 32 UNITS DEVELOPMENT AT  
**DOWNTOWN HOLLYWOOD**  
 1914 - 1920 PIERCE STREET HOLLYWOOD, FLORIDA 33020  
 (RESPONSE TO TAC COMMENTS DATED MARCH 20, 2023)



## INDEX OF DRAWINGS











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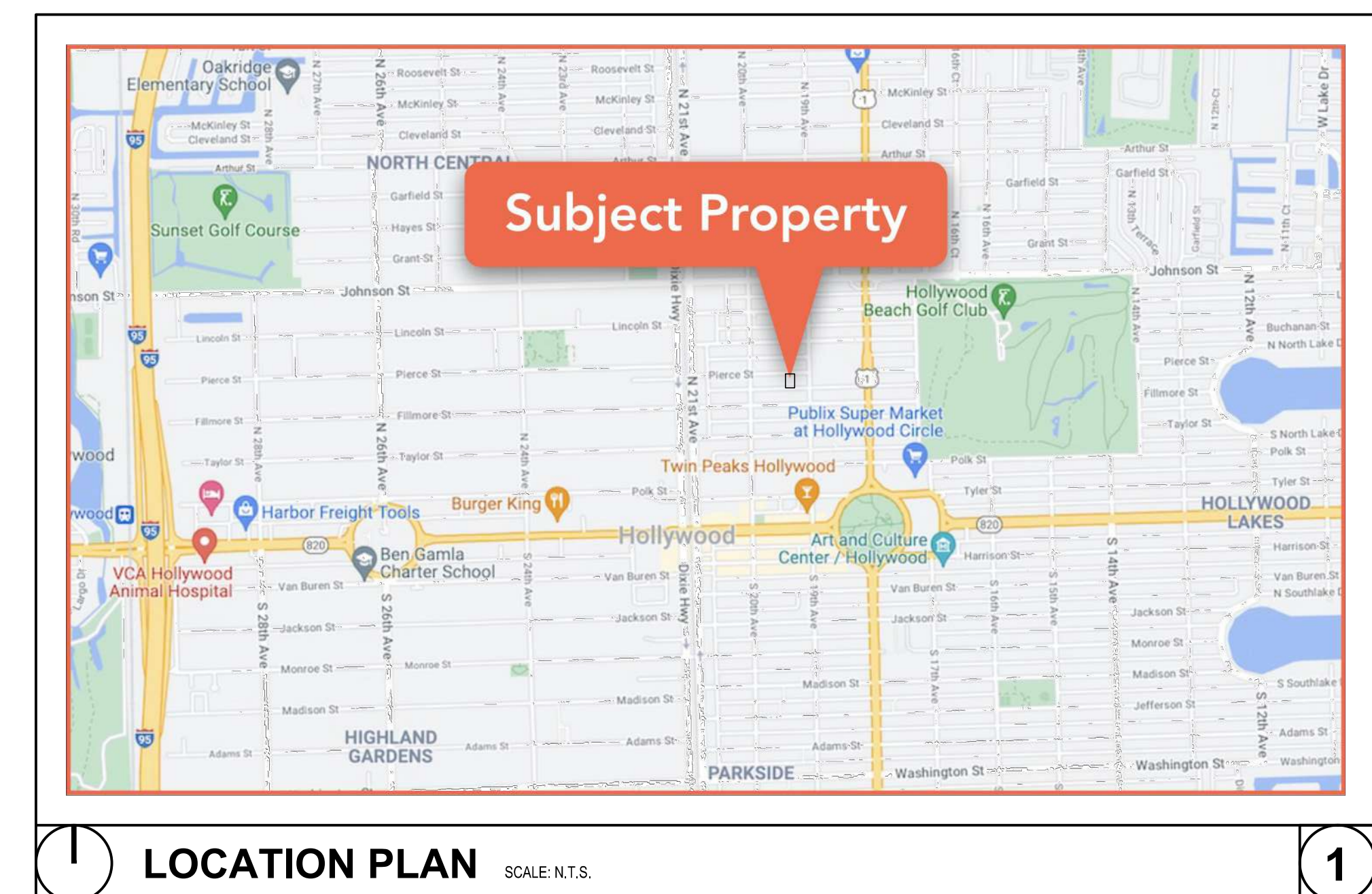
<u>REV.</u>	<u>DATE</u>	<u>SHEET</u>	<u>TITLE</u>
	03.28.23	A000	COVER SHEET
	03.28.23	A100	PROPOSED GROUND FLOOR / SITE PLAN AND NOTES
	03.28.23	A101	FAR AND OPEN AREAS SQUARE FEET PLANS
	03.28.23	A102	PROPOSED SECOND AND THIRD FLOOR PLANS
	03.28.23	A103	PROPOSED FOURTH AND FIFTH FLOOR PLANS
	03.28.23	A104	PROPOSED ROOF PLAN AND PARKLIFT DETAILS
	03.28.23	A201	PROPOSED NORTH AND WEST EXTERIOR ELEVATIONS
	03.28.23	A202	PROPOSED SOUTH AND EAST EXTERIOR ELEVATIONS

CIVIL:

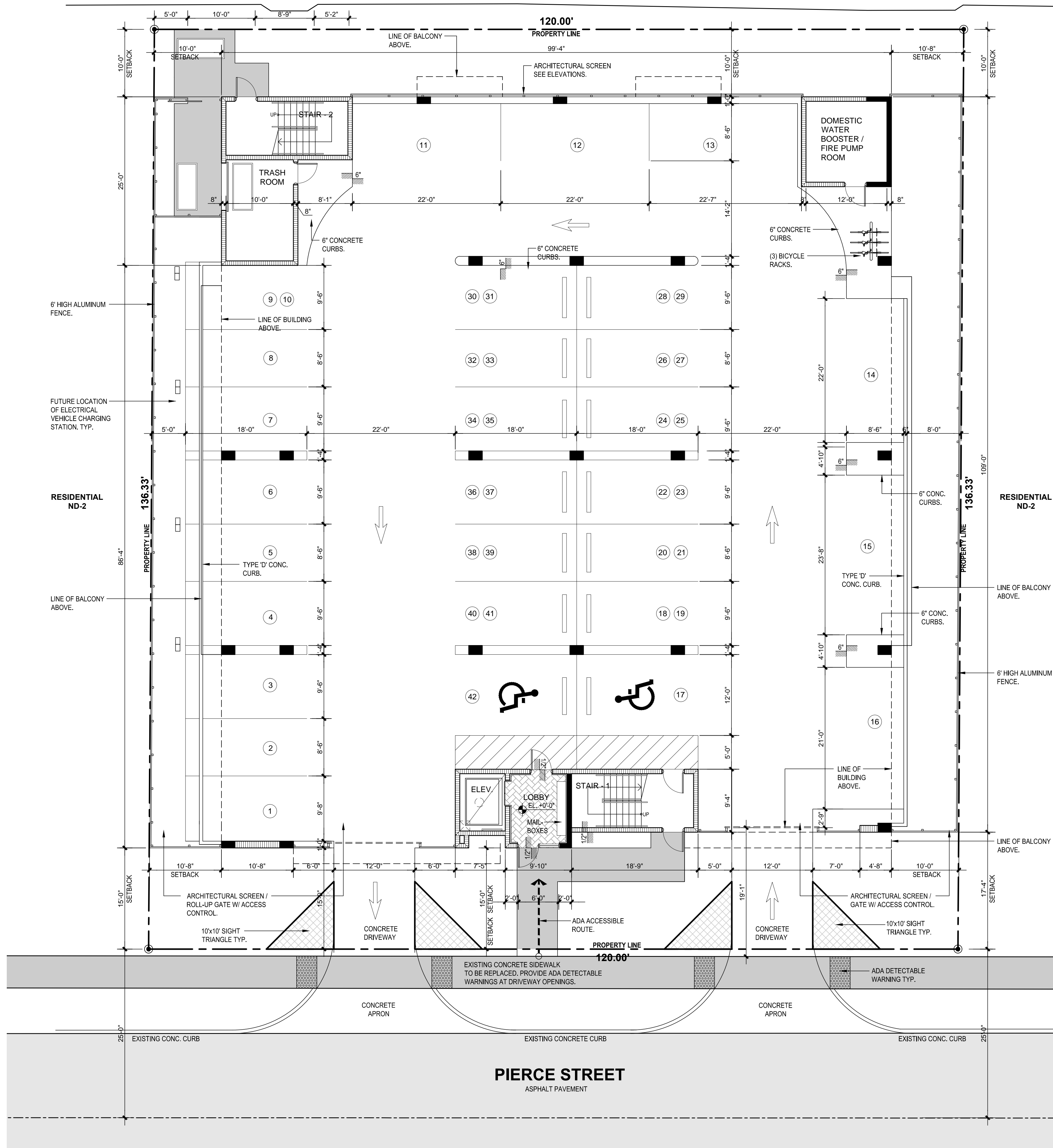
REV.	DATE	SHEET	TITLE
1	06.15.23	C-1	SITE PAVING, GRADING, AND DRAINAGE PLAN
1	06.15.23	C-2	SITE PAVING, GRADING, AND DRAINAGE DETAILS
1	06.15.23	C-3	WATER AND SEWER PLAN
1	06.15.23	C-4	WATER AND SEWER DETAILS
1	06.15.23	C-5	WATER AND SEWER DETAILS
1	06.15.23	C-6	PAVEMENT MARKINGS AND SIGNAGE PLAN
1	06.15.23	C-7	GENERAL NOTES
1	06.15.23	C-8	STORMWATER POLLUTION PREVENTION PLANS

## LANDSCAPE:

<u>REV.</u>	<u>DATE</u>	<u>SHEET</u>	<u>TITLE</u>
	03.28.23	TD-1	TREE DISPOSITION PLAN
	03.28.23	TD-2	TREE DISPOSITION DETAILS, SPECIFICATIONS
	03.28.23	L-1	SITE LANDSCAPE PLAN
	03.28.23	L-2	LANDSCAPE DETAILS, SPECIFICATIONS, ETC.
	03.28.23	L-3	SECOND LEVEL COURTYARD LANDSCAPE PLAN
	03.28.23	L-4	ROOF-POOL LEVEL LANDSCAPE PLAN
	03.28.23	IRR-1	SITE IRRIGATION PLAN
	03.28.23	IRR-2	IRRIGATION DETAILS, SPECIFICATIONS, ETC.
	03.28.23	IRR-3	SECOND LEVEL COURTYARD IRRIGATION PLAN
	03.28.23	IRR-4	ROOF-POOL LEVEL IRRIGATION PLAN







**GENERAL ZONING REQUIREMENTS**

**BUILDING ADDRESS:**  
ADDRESS: 1914-1920 PIERCE STREET HOLLYWOOD, FLORIDA

**BUILDING ZONING:**  
EXISTING ZONING DESIGNATION: ND-2

**LAND AREAS:**  
LAND AREA NET SF. 16,360 SF.  
LAND AREA NET ACRES 0.3755

**BUILDING FAR:**  
ALLOWED: 2 16,360 X 2 = 32,720 SF.  
PROVIDED: 1.99 32,525SF.

**LOT COVERAGE:**  
PROPOSED LOT COVERAGE: 11,533 SF. / **70.49%**

**PAVED AREA:**  
PROPOSED PAVED AREA 688 SF. / **4.20%**

**LANDSCAPE AREAS:**  
PROPOSED LANDSCAPED AREA 4,136 SF. / **25.31%**

**SETBACKS:**  
FRONT REQUIRED: 15'-0" PROVIDED: 15'-0"  
REAR REQUIRED: 10'-0" PROVIDED: 10'-0"  
SIDES REQUIRED: 10'-0" PROVIDED: 10'-0"

**BUILDING HEIGHT LIMITATIONS:**  
ALLOWED 5 STORIES 55'-0" PROVIDED 5 STORIES 55'-0"  
ROOF TOP AMENITIES PERMITTED TO EXCEED 15'-0" = 70'-0"  
POOL DECK PROVIDED 65'-0"  
TOP OF STAIR / ELEVATOR PROVIDED 69'-6"

**PARKING REQUIREMENTS FOR 32 APARTMENTS**  
REQUIRED 1 PER 1 BEDROOM (20) 1 BEDROOM = 20 SPACES  
REQUIRED 1.5 PER 2 BEDROOMS (12) 2 BEDROOMS = 18 SPACES  
REQUIRED FOR GUEST 1 PER 10 = 4 (4) SPACES REQUIRED

**TOTAL PARKING SPACES REQUIRED 42 SPACES**  
**TOTAL PARKING SPACES PROVIDED 42 SPACES**

ADA PARKING **REQUIRED** (2 SPACES)  
ADA PARKING **PROVIDED** (2 SPACES)

**NOTE**

- ANY CHANGES TO DESIGN, INCLUDING MATERIAL CHANGES, MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL PRIOR TO CONSTRUCTION.
- PROVIDE 0.5 FOOT CANDLE LIGHTING.
- BUILDING SHALL COMPLY WITH THE REQUIREMENT OF NFPA1 (2018 ED.) SECTION 12.3.2

**GREEN BUILDING CERTIFICATION TO BE ACHIEVED.**

- ELECTRIC VEHICLE PROVISIONS (INFRASTRUCTURE ONLY).
- HVAC 18 SEER OR HIGHER.
- PROGRAMMABLE THERMOSTATS
- OCCUPANCY / VACANCY SENSORS (NOT SURE IF THIS ONE CAN BE USED ONLY IN COMMON AREAS).
- MERV AIR FILTERS AT LEAST 8
- ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
- DUAL FLUSH TOILETS (1/1.6 FLUSH)
- ENERGY STAR APPROVED ROOFING MATERIALS.
- ENERGY EFFICIENT (LOW-E) WINDOWS.
- ENERGY EFFICIENT DOORS.

PROFESSIONAL SEAL:



Alberto Llorente  
AR-0012031

PROJECT:

**NEW 32 UNITS  
DEVELOPMENT AT:  
DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE 03.28.23 ISSUE DESCRIPTION TAC COMMENTS

DRAWING INFORMATION:

SHEET TITLE:  
PROPOSED GROUND FLOOR /  
SITE PLAN.

DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **A100**  
2 of 8



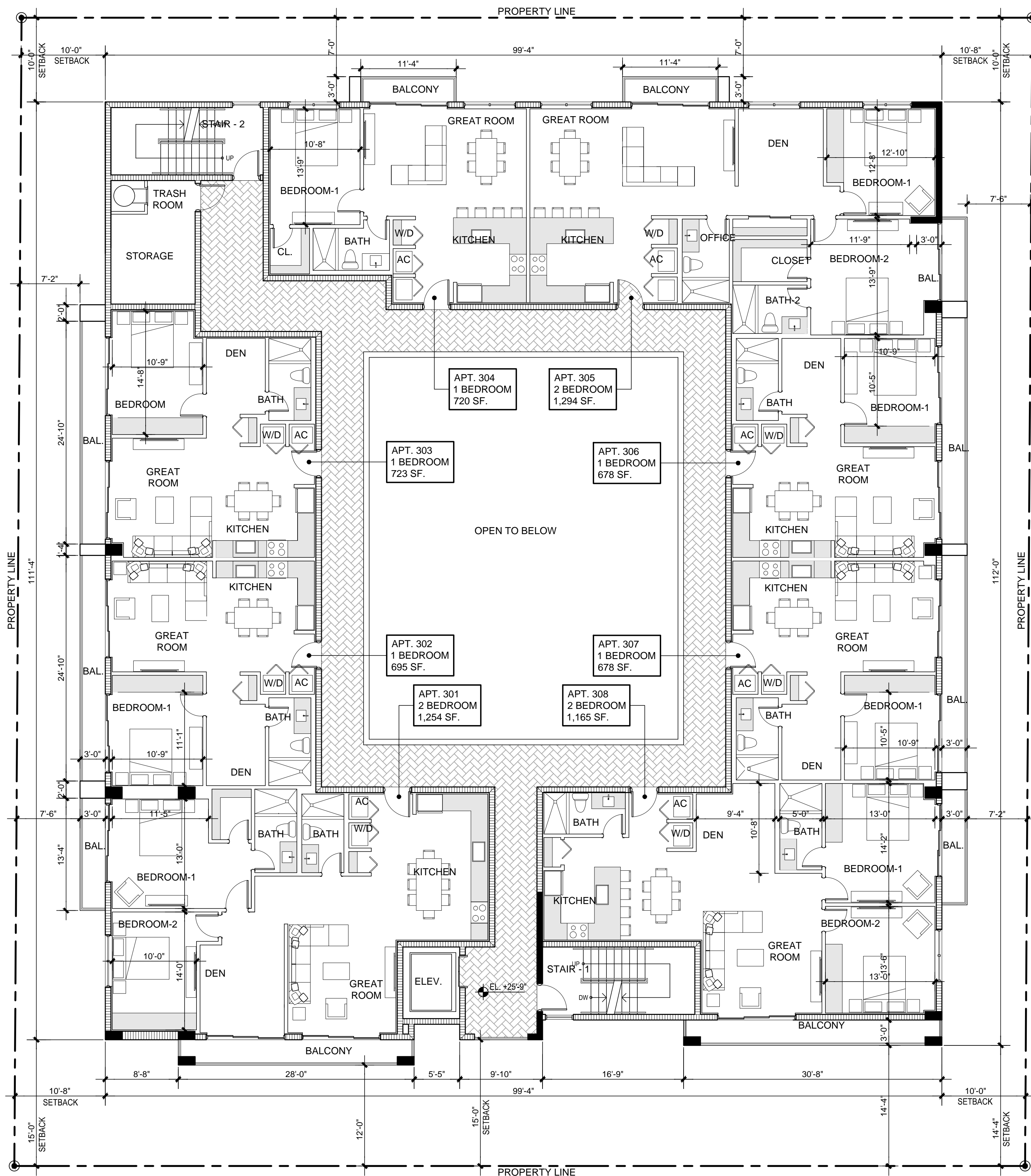


OPEN AREAS							
BUILDING FAR	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
SECOND FLOOR OPEN TERRACE AND WALKWAYS		3,103 SF.					3,103 SF.
OPEN WALKWAY			1,355 SF.	1,355 SF.	1,355 SF.		4,065 SF.
APARTMENT NO. 01 BALCONY		120 SF.	120 SF.	120 SF.	120 SF.		480 SF.
APARTMENT NO. 02 BALCONY		80 SF.	80 SF.	80 SF.	80 SF.		320 SF.
APARTMENT NO. 03 BALCONY		80 SF.	80 SF.	80 SF.	80 SF.		320 SF.
APARTMENT NO. 04 BALCONY		113 SF.	113 SF.	113 SF.	113 SF.		452 SF.
APARTMENT NO. 05 BALCONY		64 SF.	64 SF.	64 SF.	64 SF.		256 SF.
APARTMENT NO. 06 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 07 BALCONY		77 SF.	77 SF.	77 SF.	77 SF.		308 SF.
APARTMENT NO. 08 BALCONY		129 SF.	129 SF.	129 SF.	129 SF.		516 SF.
POOL AND POOL DECK						2,745 SF.	2,745 SF.
OPEN AREAS TOTALS		3,847 SF.	2,099 SF.	2,099 SF.	2,099 SF.	2,745 SF.	12,889 SF.

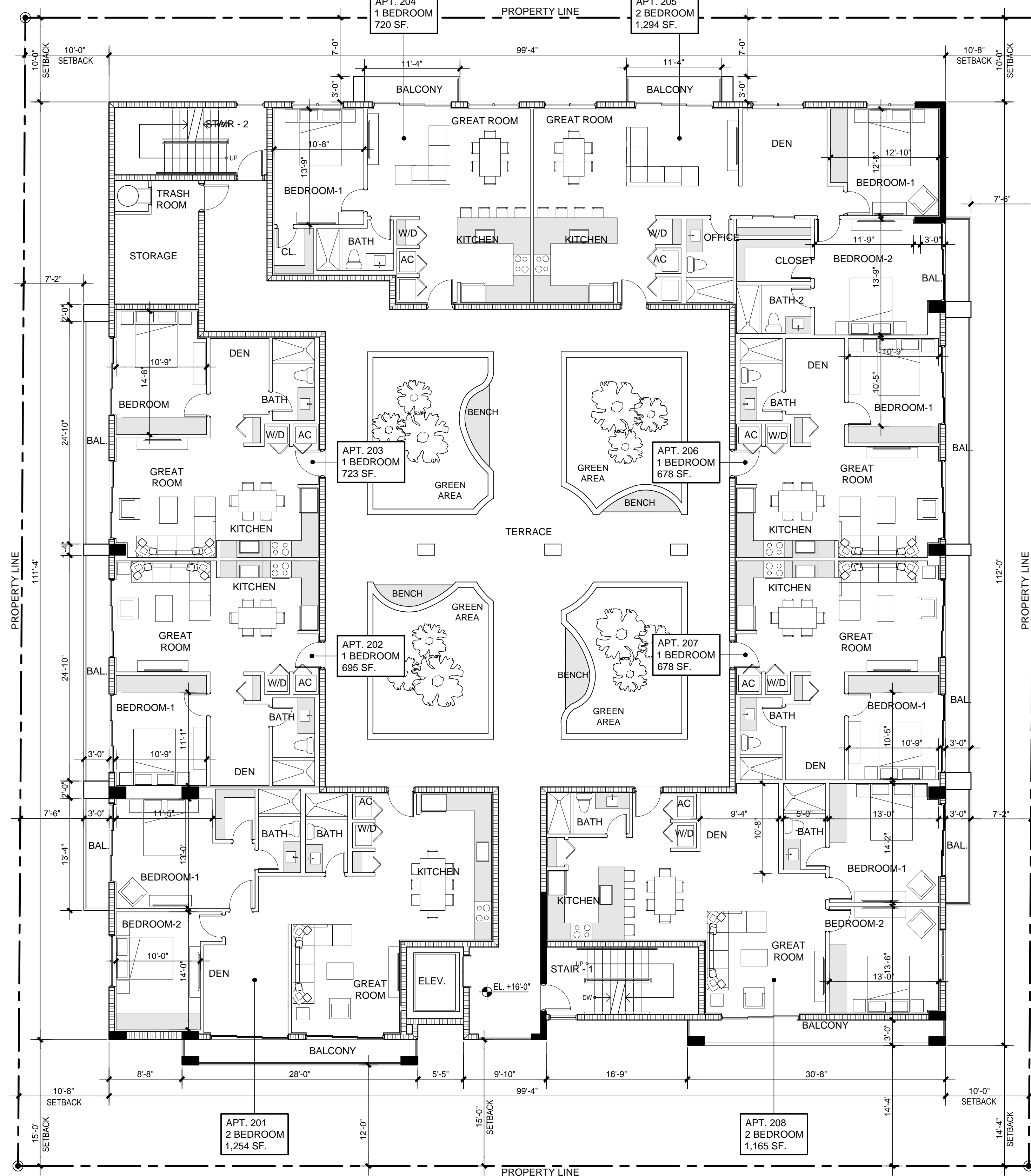
  

BUILDING FAR AND OPEN AREAS							
FAR TOTALS	897 SF.	7,724 SF.	7,724 SF.	7,724 SF.	7,724 SF.	732 SF.	32,525 SF.
OPEN AREAS TOTALS		3,847 SF.	2,099 SF.	2,099 SF.	2,099 SF.	2,745 SF.	12,889 SF.
TOTAL	897 SF.	11,650 SF.	9,802 SF.	9,802 SF.	9,802 SF.	3,556 SF.	45,809 SF.





**PROPOSED THIRD FLOOR PLAN** SCALE: 1/8" = 1'-0"



**PROPOSED SECOND FLOOR PLAN** SCALE: 1/8" = 1'-0"





Alberto Llorente  
AR-0012031

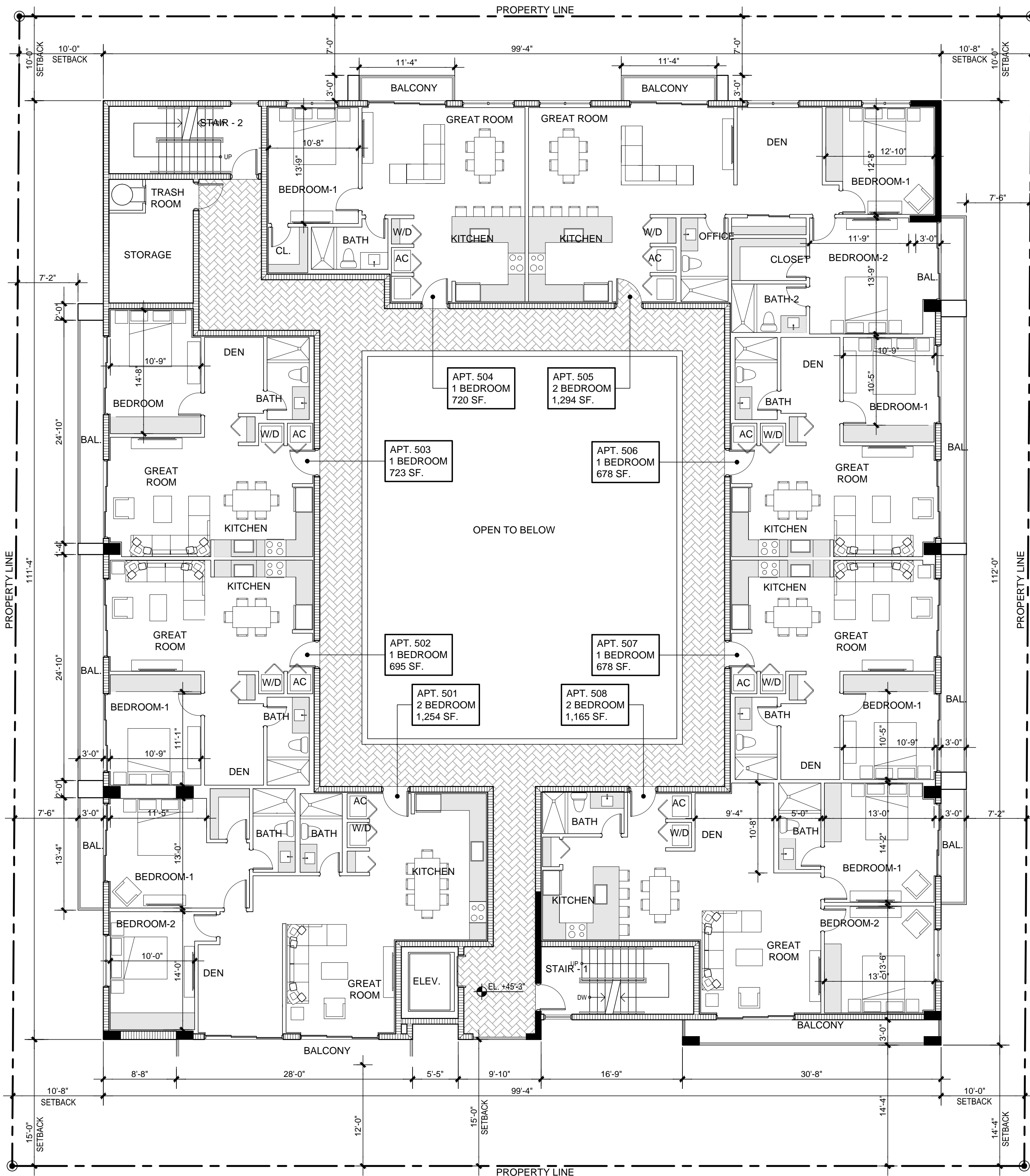
NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

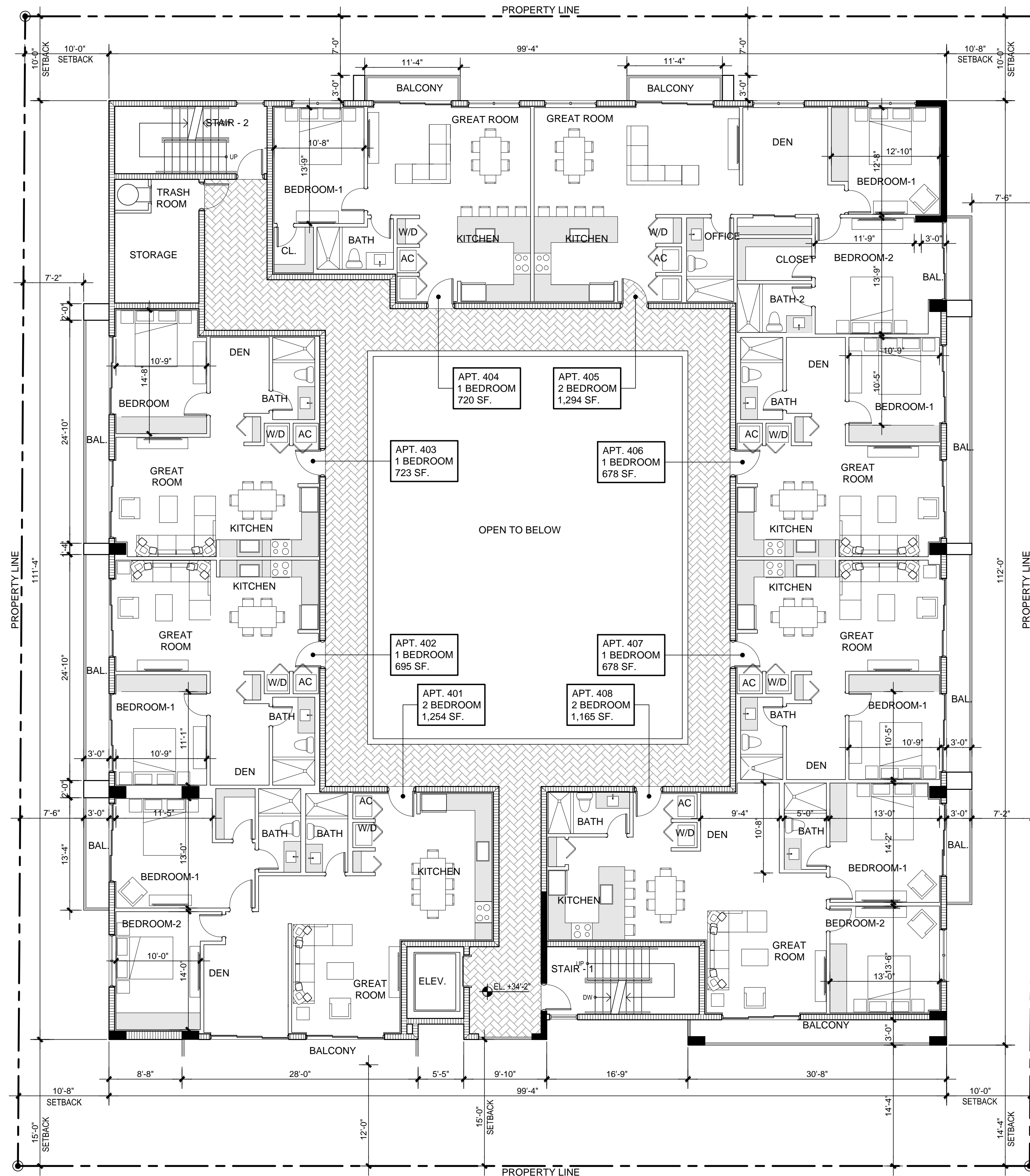
DATE	ISSUE DESCRIPTION
03.28.23	TAC COMMENTS

SHEET TITLE:  
PROPOSED FOURTH AND  
FIFTH FLOOR PLAN

DELIVERY DATE:	03.28.2023
DRAWN BY:	J.B.
CHECKED BY:	A.L.L.
REF NUMBER:	

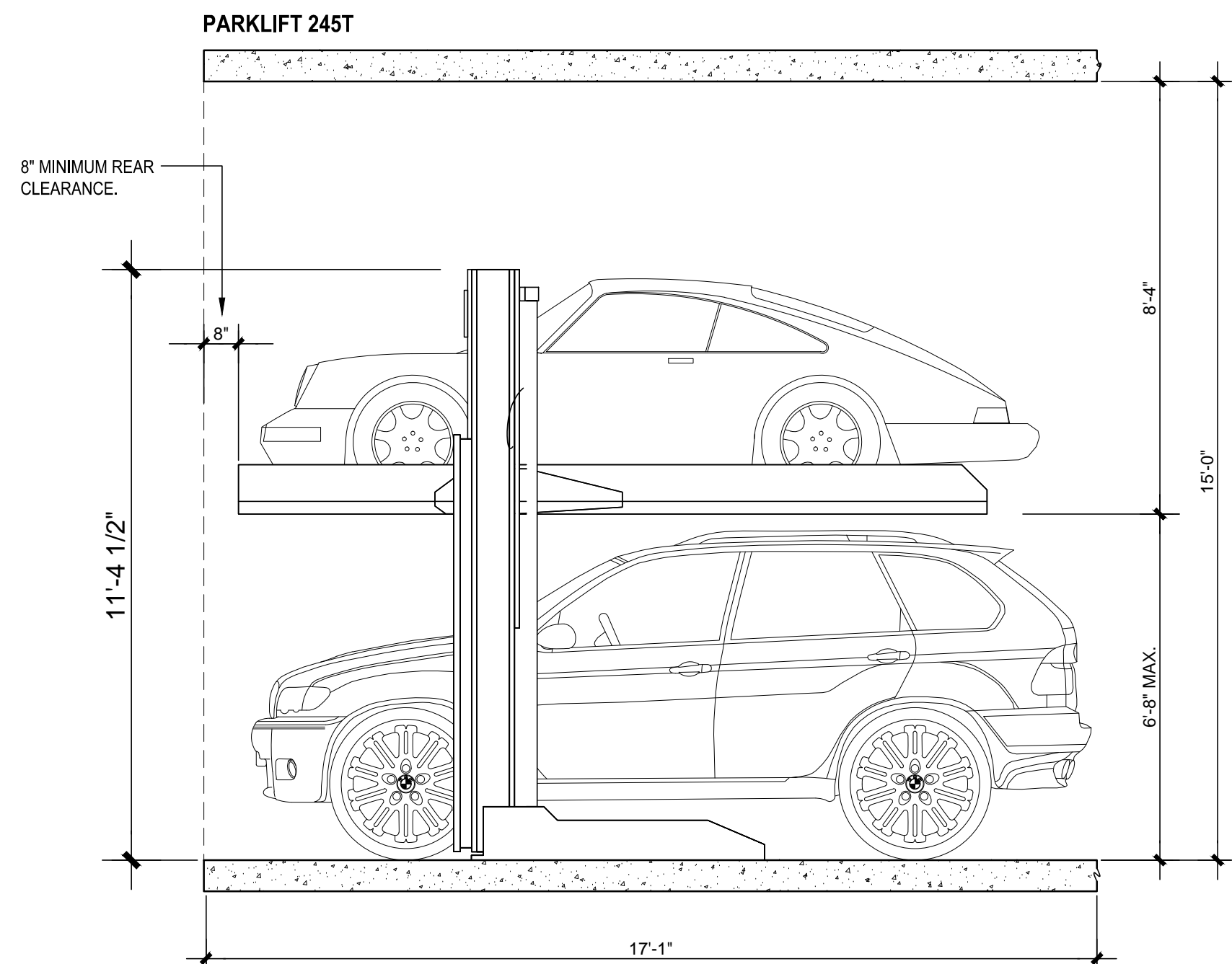


**PROPOSED FIFTH FLOOR PLAN** SCALE: 1/8" = 1'-0"

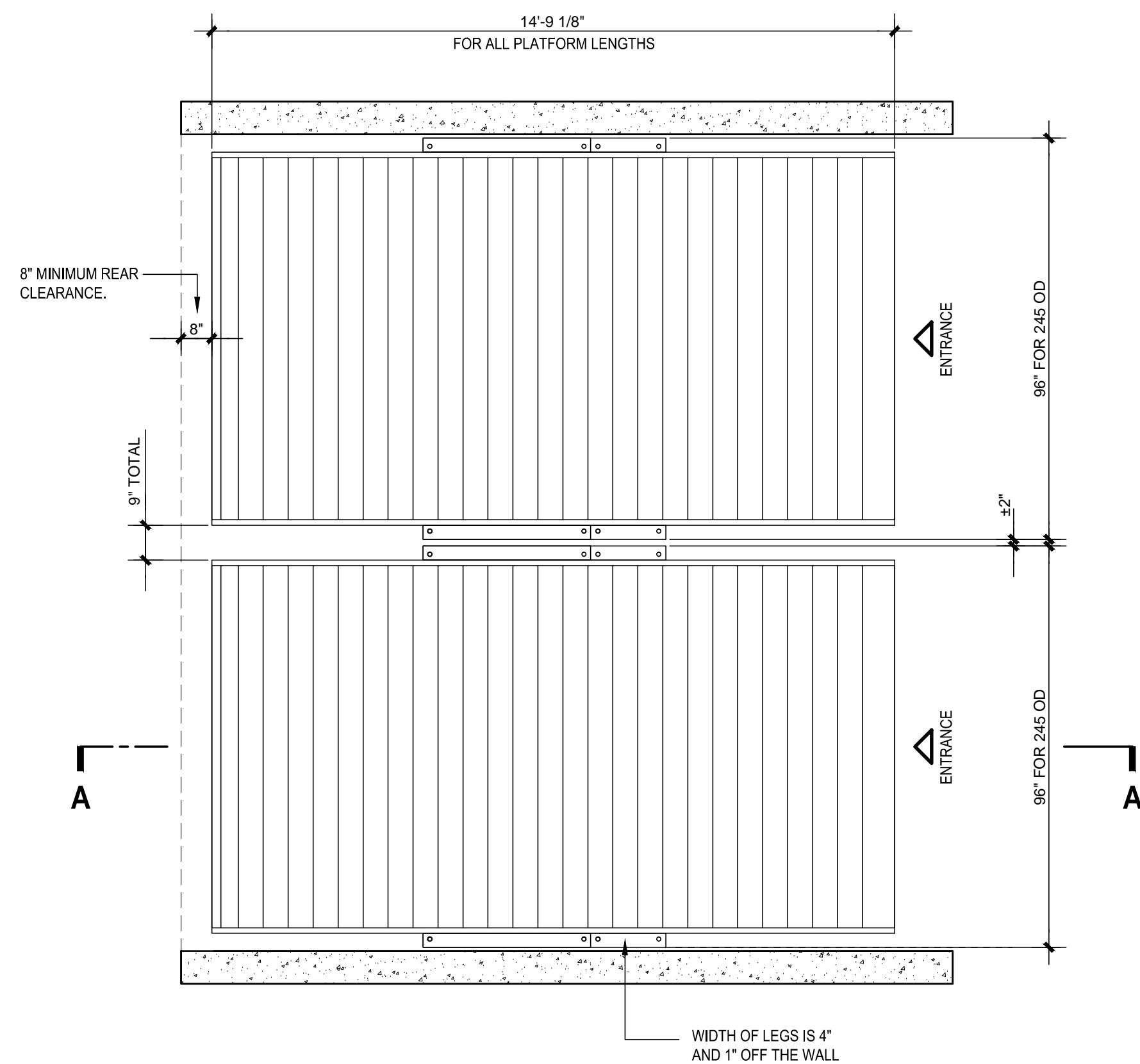


**PROPOSED FOURTH FLOOR PLAN** SCALE: 1/8" = 1'-0"

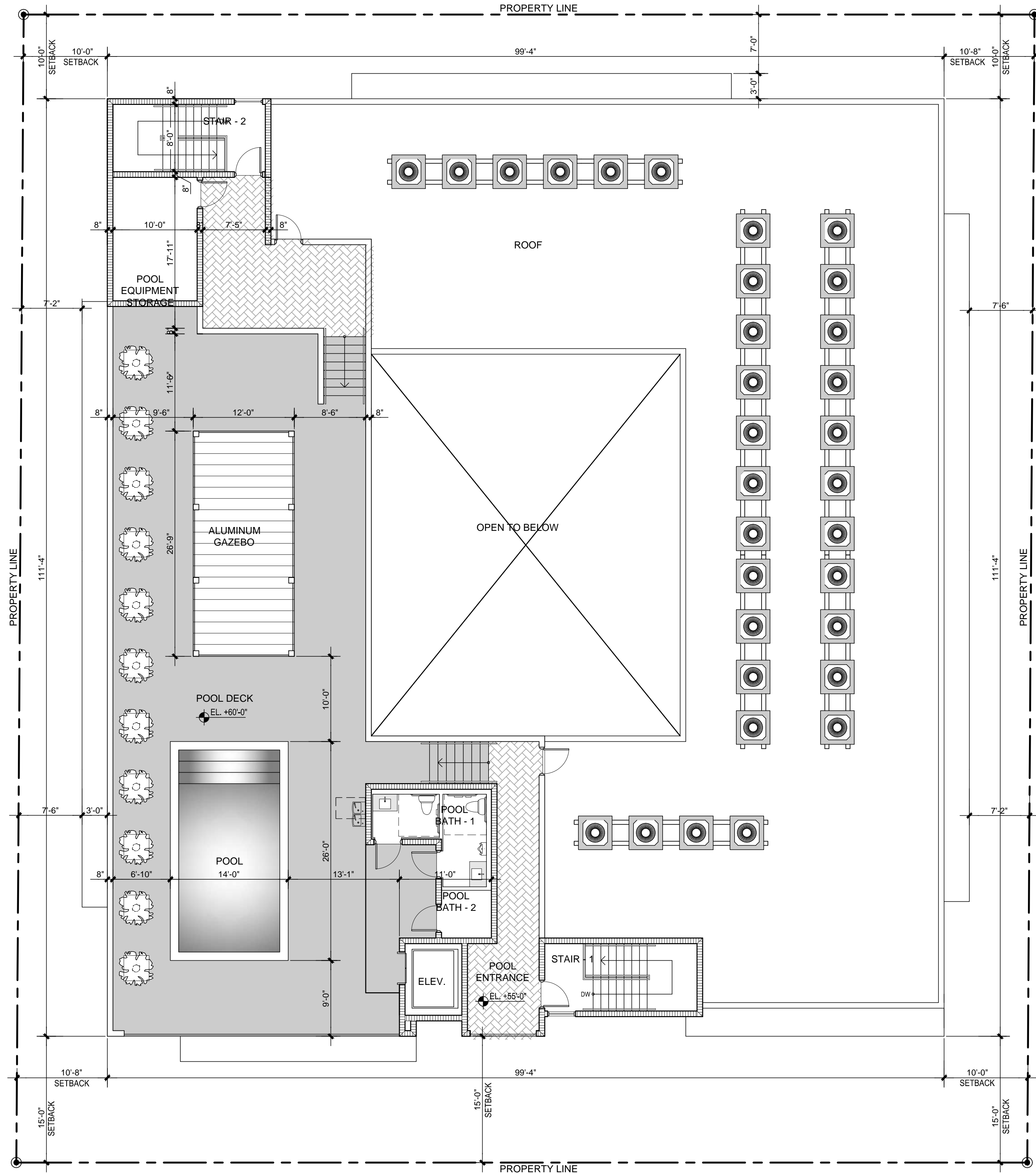




SECTION A-A



PARKLIFT 245T SPECIFICATIONS	
CAPABILITIES	
WORKING CAPACITY	6,000 LBS
STATIC CAPACITY	12,000 LBS
DYNAMIC CAPACITY	9,000 LBS
DIMENSIONS	
OVERALL WIDTH	96 7/16"
PLATFORM WIDTH	82 1/16"
DRIVE-THRU WIDTH	88"
OVERALL PLATFORM LENGTH	177 1/8"
MAXIMUM VEHICLE WHEELBASE	146"
MAXIMUM CLEARANCE (LOWER CAR)	80"
OVERALL HEIGHT	11'-5"
SPEED	
LIFTING SPEED (SECONDS)	17 SECONDS
LOWERING SPEED (SECONDS)	15 SECONDS
POWER	
POWER REQUIREMENTS	220V 3 PHASE 40 AMP
220V SINGLE PHASE 40 AMP	
FEATURES	
APPLICATION	OUTDOOR / INDOOR
SURFACE	ASPHALT / CONCRETE
MATERIAL	100% GALVANIZED STEEL
SAFETY	STEEL-ON-STEEL LOCKS







**MATERIAL COLOR SELECTION**

①

COLOR 1

SHERWIN WILLIAMS  
SW7653 SILVERPOINTE

②

COLOR 2

SHERWIN WILLIAMS  
SW7655 STAMPED CONCRETE

③

WOOD TILE USA TILE TRAVEL 6"x48" GOLD

④

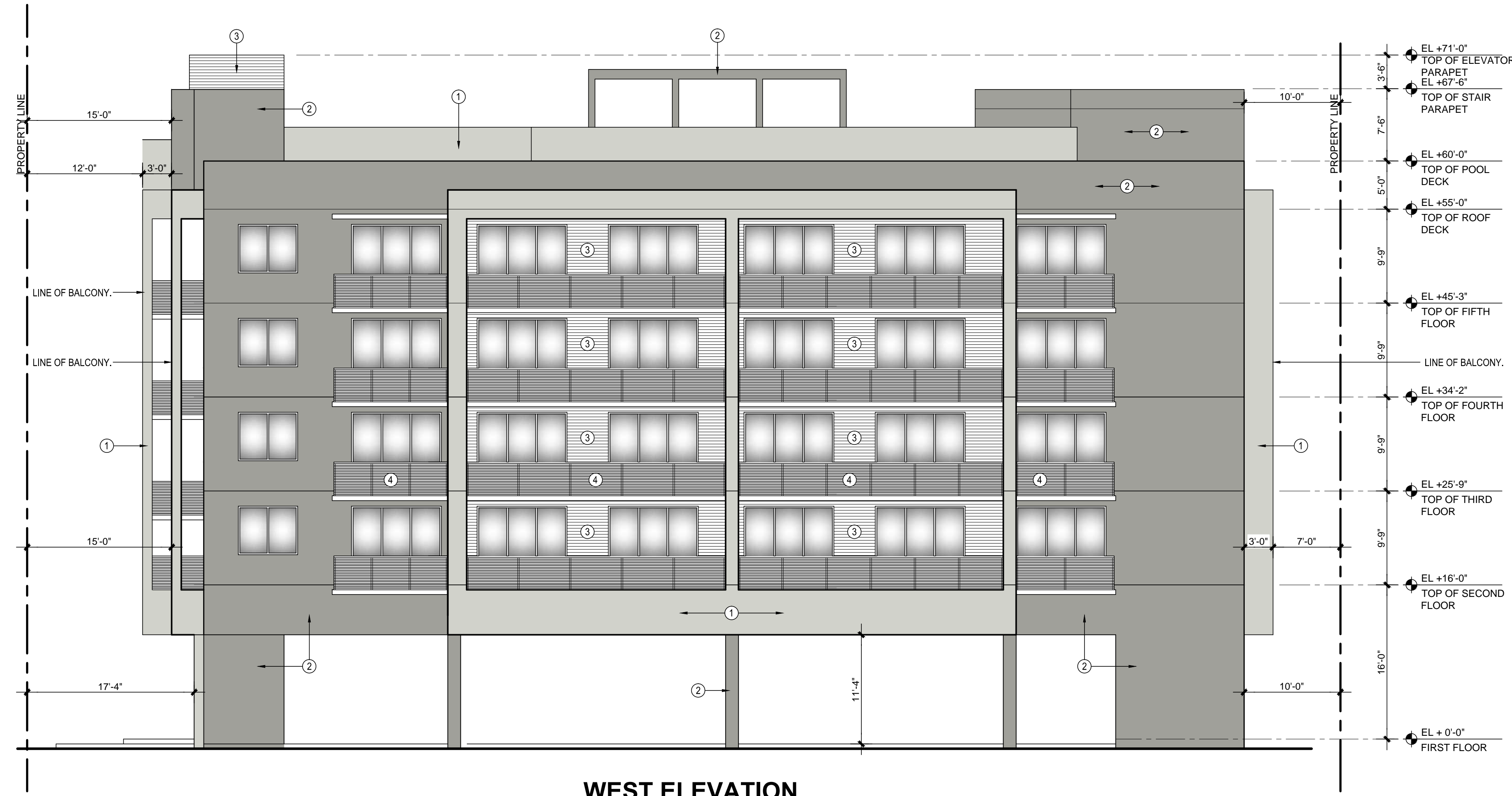
BLACK ALUMINUM RAILING.

⑤

ANODIZED ALUMINUM ARCHITECTURE  
SCREEN / ROLL-UP DOOR.

⑥

BRONZE ALUMINUM WINDOW / DOOR FRAME  
W/ GREY TINTED GLASS.



WEST ELEVATION



NORTH ELEVATION



**MATERIAL COLOR SELECTION**

①

COLOR 1

SHERWIN WILLIAMS  
SW7653 SILVERPOINTE

②

COLOR 2

SHERWIN WILLIAMS  
SW7655 STAMPED CONCRETE

③

WOOD TILE USA TILE TRAVEL 6"x48" GOLD

④

BLACK ALUMINUM RAILING.

⑤

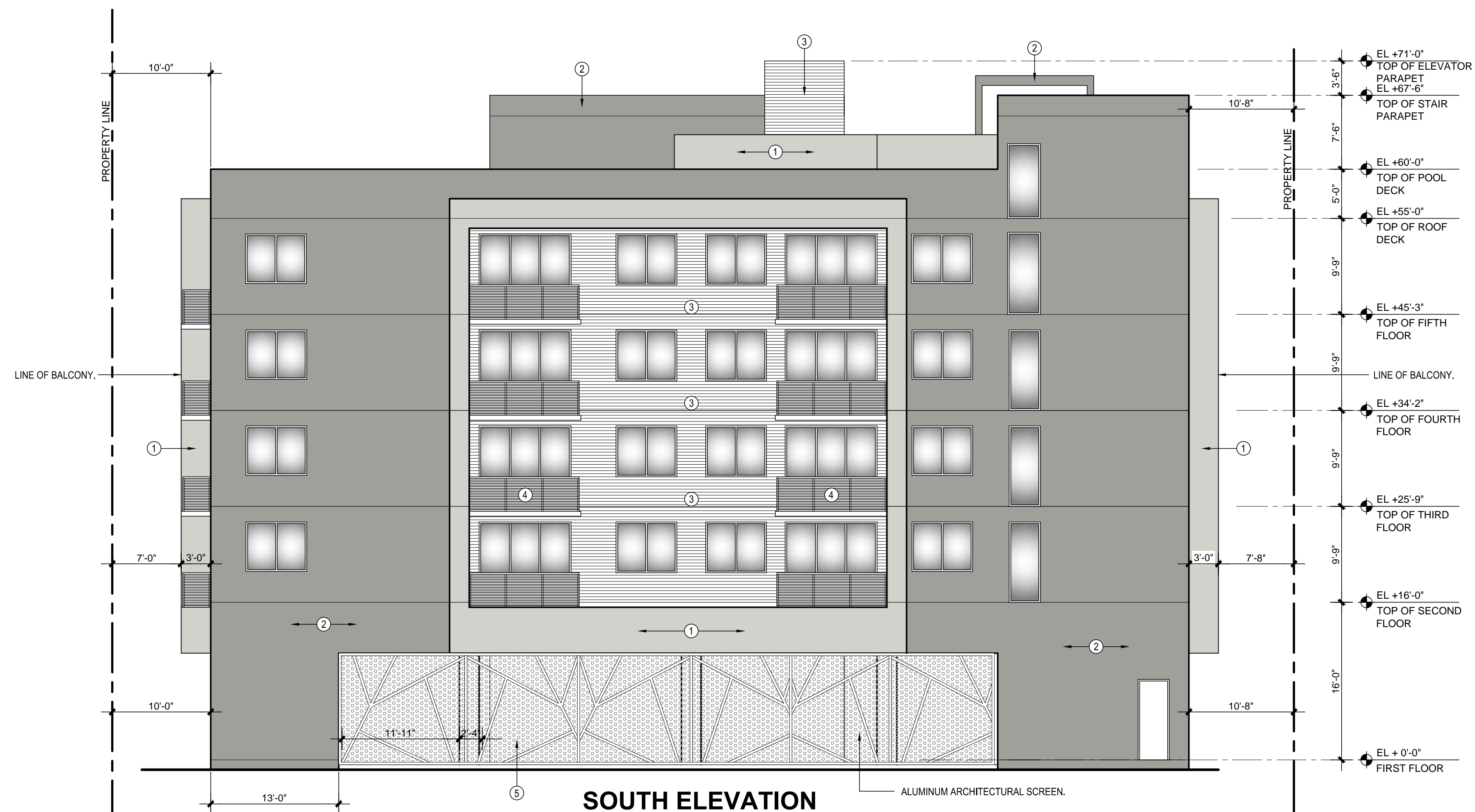
ANODIZED ALUMINUM ARCHITECTURE  
SCREEN / ROLL-UP DOOR.

⑥

BRONZE ALUMINUM WINDOW / DOOR FRAME  
W/ GREY TINTED GLASS.



EAST ELEVATION



SOUTH ELEVATION





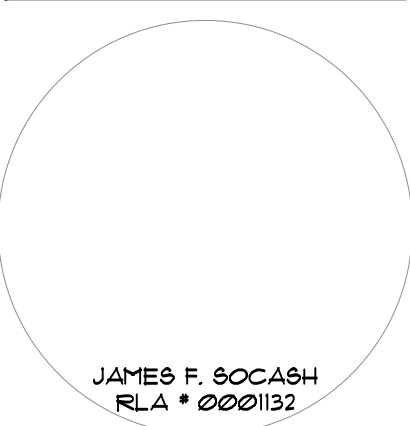




13421 SOUTHWEST 23 STREET  
MIAMI, FL. 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH

PROFESSIONAL SEAL



PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE: 03.28.23

ISSUE DESCRIPTION: TAC COMMENTS

DRAWING INFORMATION:

SHEET TITLE:

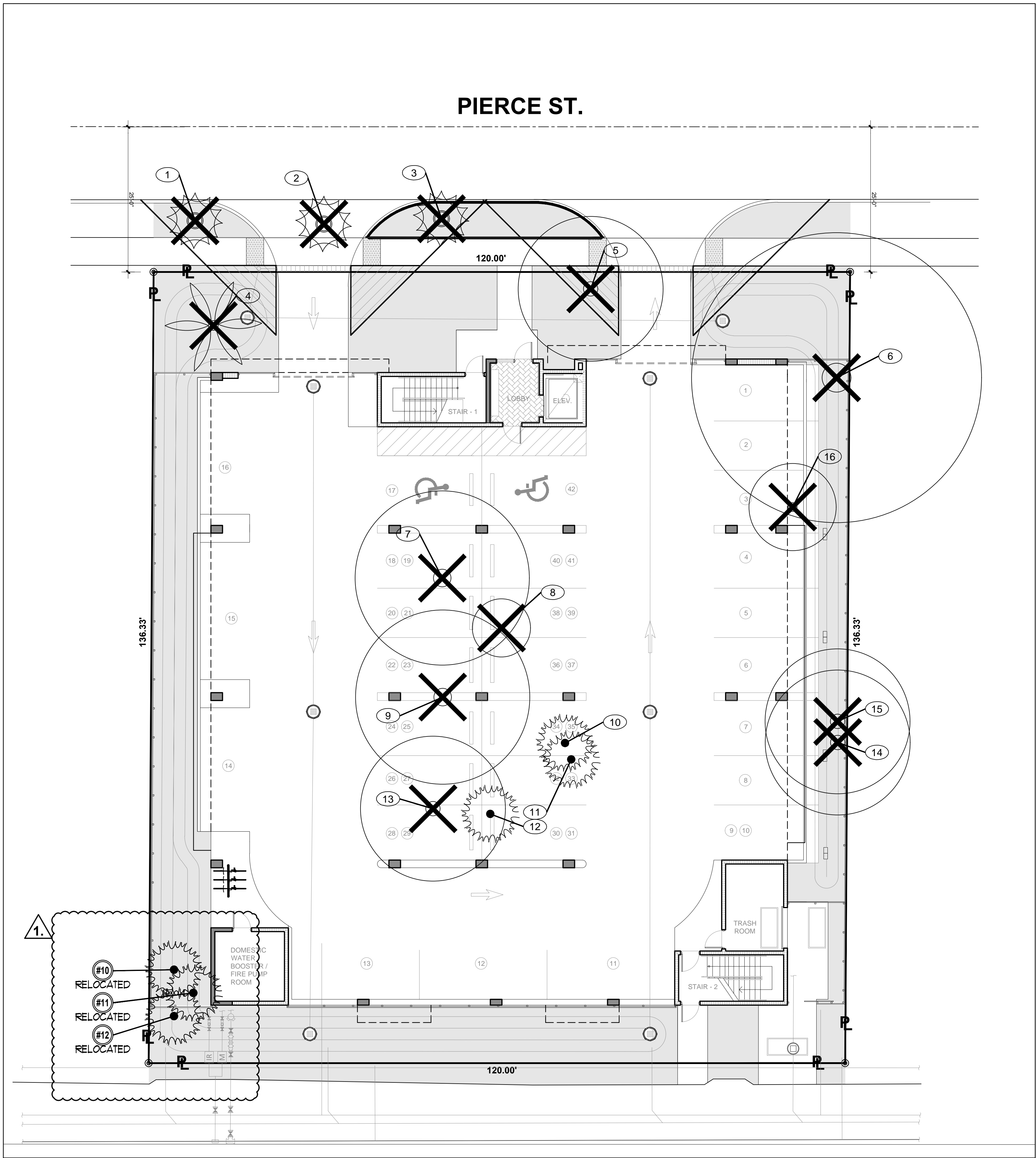
DELIVERY DATE: 02.13.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **TD-1**  
OF



1.

### TREE MITIGATION-REPLACEMENT PLANTLIST

SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION	QUANTITY	INCHES	EXTENDED
REMOVAL OF 170" DBH AND 4 PALMS							
REPLACEMENT TREES:							
(REQUIRED LANDSCAPE TREES ARE NOT INCLUDED IN TREE MITIGATION)							
TREE MITIGATION COMPENSATION:							
CG10	YES	1	SMALL LEAF CLUSIA	Clusia guttifera	10'-12' O.A. X 6'-8', 2' DBH, full	1	2
							2
TOTAL NEW REPLACEMENT INCHES: 2 INCHES							
MITIGATION DEFICIT: 168 DBH							
TREE MITIGATION COMPENSATION: 1- 2" TREE = \$350.00							
168/ 2" = 84 TREES @ \$350 PER TREE = \$29,400							
MITIGATION DEFICIT TO BE A PAYMENT TO THE CITY OF HOLLYWOOD							
REMOVAL OF 4 EXISTING PALMS							
VM2		2	MONTGOMERY PALMS	Veitchia montgomeryana	DBL TK, FG, 14' o.a., full hd.		
MITIGATION DEFICIT: 2							
2 PALMS \$350 PER TREE = \$700							
TOTAL OF \$30,100 MITIGATION DEFICIT TO BE A PAYMENT TO THE CITY OF HOLLYWOOD							

### 22-19-1914 PIERCE ST., HOLLYWOOD, FL. 33020

TREE NUM	SYM	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	DBH	CONDITION	CLEAR TRUNK	STATUS	DBH LOSS	PALM LOSS	REMARKS
1	THF	FLORIDA THRNAX PALM	Thrinax radiata	10	10	4	GOOD	4'	REMOVE		1	IN SIGHT TRIANGLE
2	THF	FLORIDA THRNAX PALM	Thrinax radiata	10	10	4	GOOD	4'	REMOVE		1	IN SIGHT TRIANGLE
3	THF	FLORIDA THRNAX PALM	Thrinax radiata	10	10	4	GOOD	4'	REMOVE		1	IN SIGHT TRIANGLE
4	CN	COCONUT PALM	Cocos nucifera	25	20	10	FAIR	14'	REMOVE		1	
5	DR	ROYAL POINCIANA	Delonix regia	18	25	13	FAIR	10'	REMOVE	13		
6	DR	ROYAL POINCIANA	Delonix regia	35	50	36	FAIR	12'	REMOVE	36		
7	MI	MANGO	Mangifera indica	35	30	26	FAIR	10'	REMOVE	26		
8	PA	AVOCADO	Persea americana	10	10	5	FAIR	4'	REMOVE	5		
9	MI	MANGO	Mangifera indica	35	30	26	FAIR	12'	REMOVE	26		
10	SP	SABAL PALM	Sabal palmetto	21	12	10	GOOD	15'	RELOCATE			
11	SP	SABAL PALM	Sabal palmetto	18	12	10	GOOD	13'	RELOCATE			
12	SP	SABAL PALM	Sabal palmetto	20	12	10	GOOD	14'	RELOCATE			
13	MI	MANGO	Mangifera indica	25	25	28	FAIR	12'	REMOVE	28		
14	FA	STRANGLER FIG	Ficus aurea	25	25	16	FAIR	12'	REMOVE	16		
15	FA	STRANGLER FIG	Ficus aurea	20	25	16	FAIR	12'	REMOVE	16		
16	QV	LIVE OAK	Quercus virginiana	15	15	4	FAIR	8'	REMOVE	4		
TOTALS										170	4	
FIELD INVENTORY CONDUCTED BY JFS DESIGN INC. ON JULY 9, 2022												

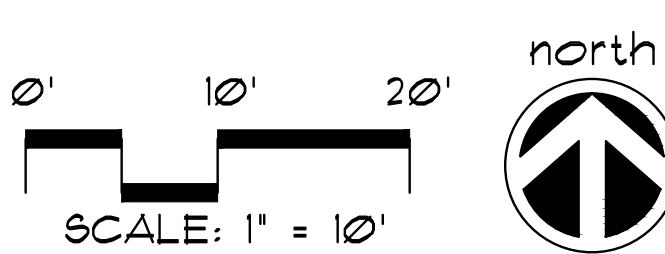


JFS

**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
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1833 N.W. 146th TERRACE  
PINEBLUFF, FL. 33429  
jimmy@jfsdesignfl.com

A WRITTEN TREE REMOVAL PERMIT IS  
REQUIRED FROM THE CITY OF  
HOLLYWOOD PRIOR TO REMOVAL OF ANY  
NON-EXEMPT TREE OR PALMS FROM THE  
SITE.

SEE SHEETS L-1 THROUGH L-4 FOR  
GROUND LEVEL SITE LANDSCAPE PLAN,  
AND UPPER LEVEL LANDSCAPE PLANS.



**TREE DISPOSITION PLAN**

NEW BACKGROUND





13421 SOUTHWEST 23 STREET  
MIAMI, FL 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH

PROFESSIONAL SEAL



PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL 33020

DATE: 03.28.23 ISSUE DESCRIPTION:  
TAC COMMENTS


DRAWING INFORMATION:

SHEET TITLE:

DELIVERY DATE: 02.13.2023

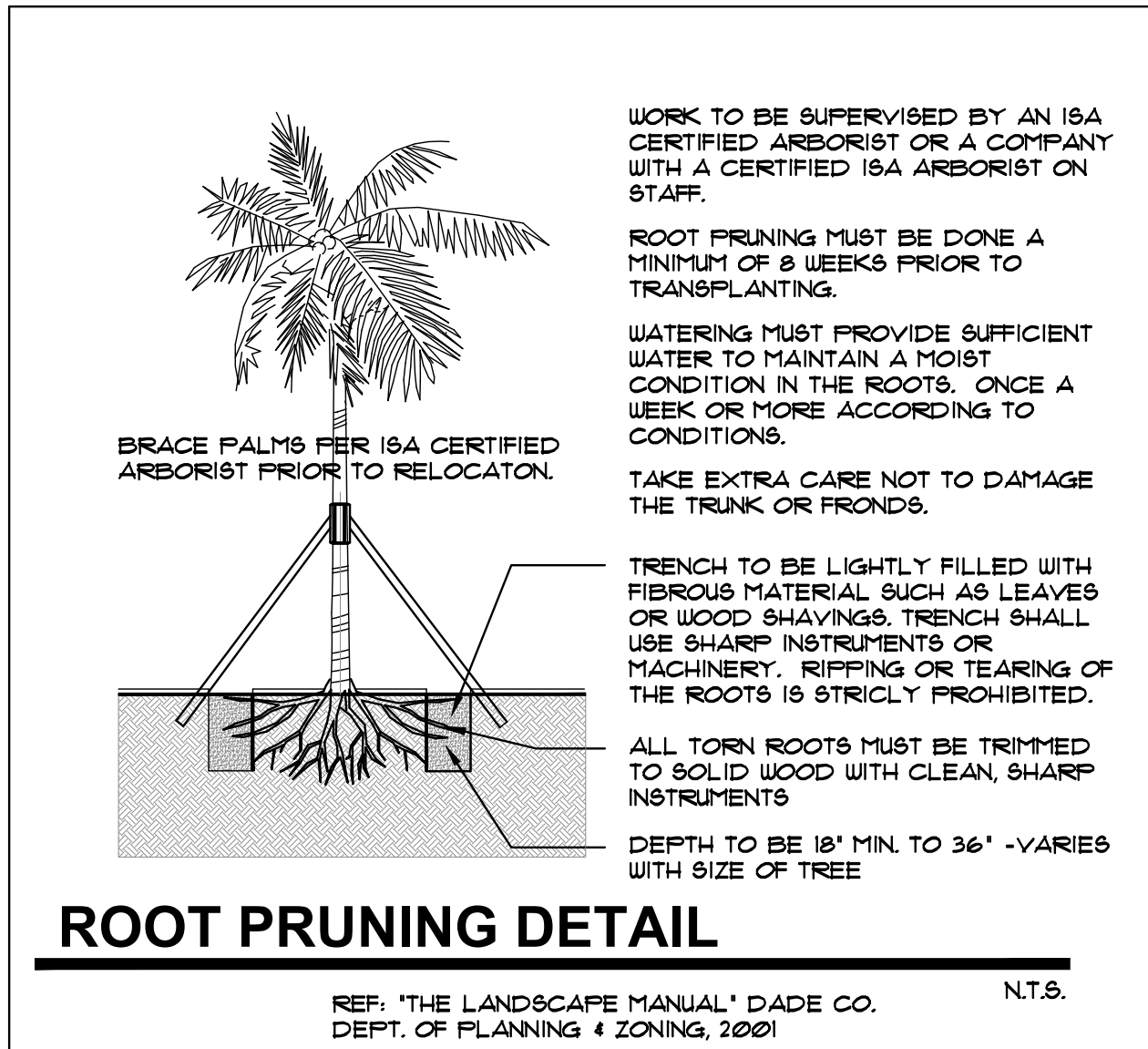
DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **TD-2**  
OF

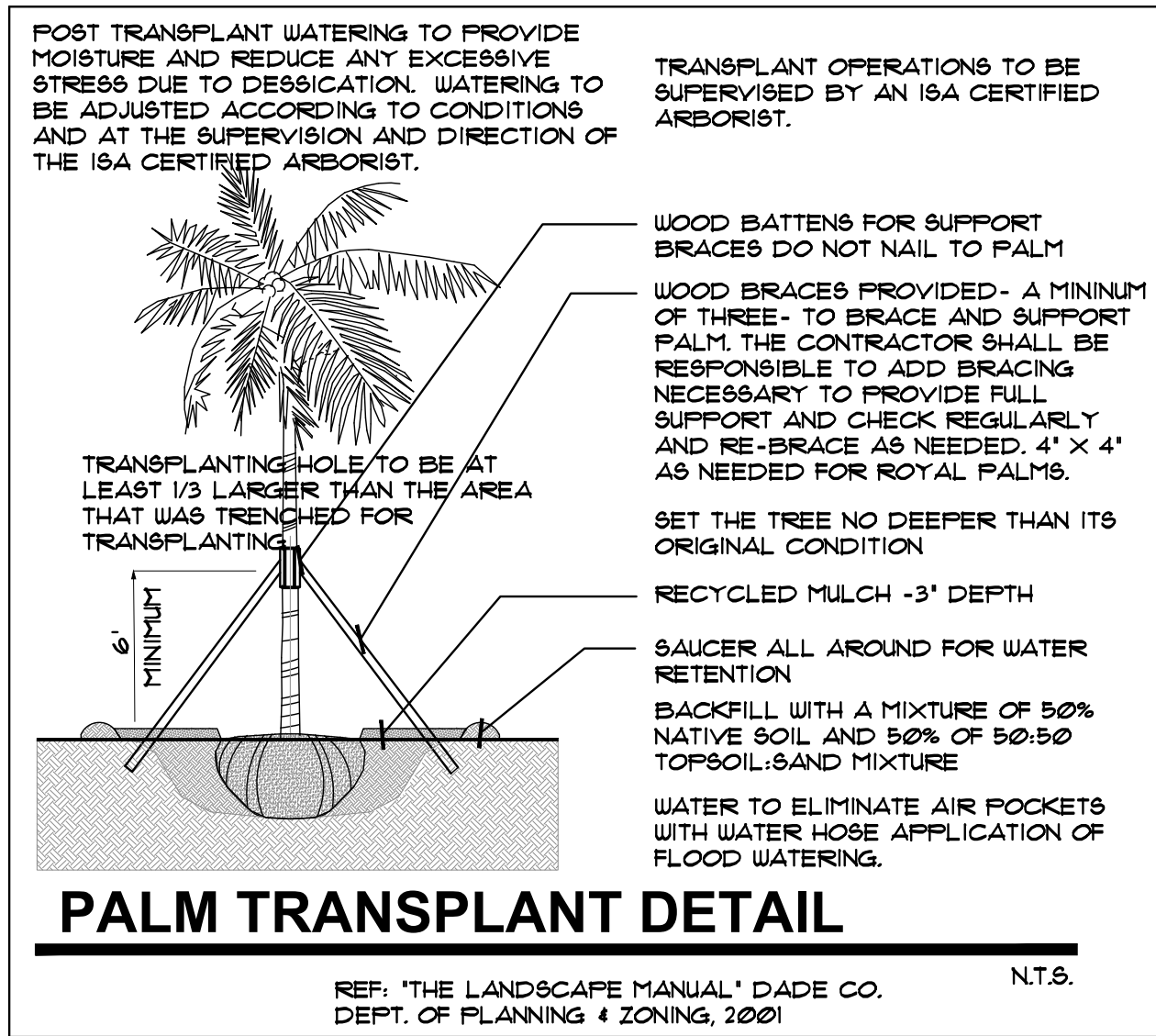
1.



### ROOT PRUNING DETAIL

REF: 'THE LANDSCAPE MANUAL' DADE CO.  
DEPT. OF PLANNING & ZONING, 2001

N.T.S.



### PALM TRANSPLANT DETAIL

REF: 'THE LANDSCAPE MANUAL' DADE CO.  
DEPT. OF PLANNING & ZONING, 2001

N.T.S.

### TREE DISPOSITION NOTES:

1. SEE LANDSCAPE PLANS FOR PROPOSED TREE AND PALM LOCATIONS.
2. THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (MIAMI-DADE CO. DRER). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
3. LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE, EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
4. ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY 1, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.
5. ALL TREES AND PALMS TO BE RELOCATED SHALL BE ROOT PRUNED AND CANOPY PRUNED ACCORDING TO ALL ACCEPTED STANDARDS AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION, AND ALL PRE AND POST-TRANSPLANT OPERATIONS SHALL BE COORDINATED WITH UTMOST CARE TO MINIMIZE DAMAGE AND TRANSPLANT SHOCK. WATERING-IN AND WATERING SCHEDULES SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND APPROVAL PRIOR TO RELOCATION.
6. ALL TREES AND PALMS TO BE RELOCATED SHALL BE STAKED AND BRACED TO INSURE STABILITY AND MINIMIZE ROOT DAMAGE DURING THE PLANT ROOT RECUPERATION PERIOD.
7. CONTRACTOR SHALL VERIFY WITH THE PROJECT SUPERINTENDENT THE PROPOSED LANDSCAPE AREAS PRIOR TO TREE AND PALM RELOCATION TO INSURE PROPER RELOCATION AND MINIMIZE ANY FIELD DISCREPANCIES WITH RESPECT TO PROPOSED PAVING, BUILDINGS, AMENITIES, ABOVE AND BELOW GROUND UTILITIES AND LIMITS OF PROPERTY.
8. CONTRACTOR SHALL ESTABLISH AN IRRIGATION SYSTEM TO PROVIDE FOR PRE AND POST-TRANSPLANT IRRIGATION SCHEDULING. TREE AND PALM FERTILIZATION SHALL BE ESTABLISHED CONCURRENTLY WITH IRRIGATION PRE AND POST-FERTILIZATION, THIS PROCEDURE SHALL BE CONDUCTED TO OPTIMIZE PLANT ESTABLISHMENT.
9. CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO PLANT ALL RELOCATED TREES AND PALMS AT THE FINAL GRADE OF SITE.
10. SEE 'ROOT PRUNING DETAIL' AND 'TREE TRANSPLANT DETAIL AS SHOWN ON THE PLANS.

### TREE TRANSPLANTING PROCEDURAL SPECIFICATION

PURPOSE: TO MAXIMIZE THE SUCCESS OF TREE TRANSPLANTING OPERATIONS.

ALL STANDARDS SHALL MEET OR EXCEED THE ANSI A300 (PART 6)-2005 (TRANSPLANTING) STANDARD PRACTICES AND ANY APPLICABLE LOCAL CODES.

CONTRACTOR SHALL EMPLOY AN ISA CERTIFIED ARBORIST WITH VERIFIABLE TREE TRANSPLANT EXPERIENCE AS THE 'EXPERT ARBORIST OF RECORD' TO CARRY OUT THE FOLLOWING DUTIES:

SHALL PROVIDE A TREE RELOCATION PLAN FOR APPROVAL BY THE OWNER'S AGENT BEFORE ANY WORK CAN COMMENCE.

SHALL MAKE SITE VISITS PRIOR TO ANY RELOCATION WORK TO INSPECT THAT PROPER PREPARATION WORK IS PERFORMED TO THE TREE RELOCATION GUIDELINES.

SHALL MAKE SITE VISITS DURING RELOCATION WORK TO INSURE WORK IS BEING PERFORMED TO THE TREE RELOCATION GUIDELINES.

SHALL DOCUMENT ALL INSPECTIONS AND PROVIDE REPORT TO THE OWNER'S AGENT WITHIN 5 BUSINESS DAYS OF SITE VISIT.

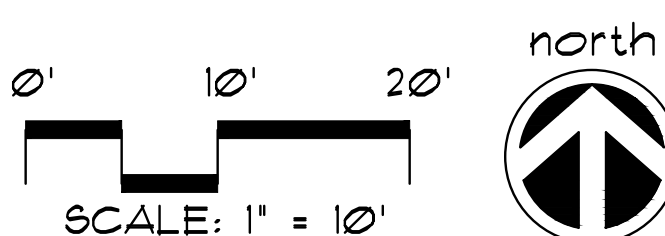
SHALL SUBMIT PRIOR TO FINAL ACCEPTANCE BY OWNER'S AGENT, A POST-TRANSPLANT CARE GUIDE FOR UP TO THREE YEARS THAT INCLUDES WATERING, FERTILIZATION, PRUNING, PEST CONTROL, STAKING, ETC., FOR APPROVAL.



**JFS Design Inc.**  
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jimmy@jfsdesignfl.com

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY NON-EXEMPT TREE OR PALMS FROM THE SITE.

SEE SHEETS L-1 THROUGH L-4 FOR GROUND LEVEL SITE LANDSCAPE PLAN, AND UPPER LEVEL LANDSCAPE PLANS.



### TREE DISPOSITION DETAILS, SPECIFICATIONS

NEW SHEET



13421 SOUTHWEST 23 STREET  
MIAMI, FL. 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH:

## PLANTLIST

SYTM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
EXISTING TREES TO REMAIN					
SEE TREE DISPOSITION PLAN, SHEET TD-1					
** "AT TIME OF PLANTING" FOR ALL PLANTINGS.					
** STREET TREE REQUIREMENT					
L/W		1	CRAPE MYRTLE 'NATCHEZ'	Lagerstroemia indica'Natchez'	12" x 5' spr, STANDARD, SINGLE LEADER, 7 cal
QV6	YES	2	LIVE OAKS	Quercus virginiana	16" x 1' spr, 4" DBH, 6' ct.
3					
** LOT TREES					
CD	YES	8	PIGEON PLUM	Coccoloba diversifolia	14" x 6' spr, 3" DBH
CET	YES	2	SILVER BUTTWOOD	Conocarpus erect.'Sericeus'	12" x 5' spr, 3" cal, 6' ct.
CG10	YES	9	SMALL LEAF CLUSIA	Clusia guttifera	10"-12" O.A., X 6'-8', 2" DBH, full
ED		6	JAPANESE BLUEBERRY	Eleaocarpus decipiens	STD., 12" HT., X 6", 2" DBH
25					
** PALMS					
VM2		2	MONTGOMERY PALMS	Veitchia montgomeryana	DBL. TK, FG, 14' o.a., full hd.
**SHRUBS					
C17	YES	45	COCOPLUM	Chrysobalanus icaco	1 GAL., 30" x 24" full, 24" o.c.
CR6	YES	90	SMALL-LEAVED CLUSIA	Clusia guttifera	6" ht., 36" ØC, FTB.
HPD	YES	75	DWARF FIREBUSH	Hamelia nodosa	3 gal., 18" x 18", 24" o.c.
** ACCENT PALMS					
CAT		16	CAT PALMS	Chamaedorea cataractarum	1 gal., 30" x 24", 36" o.c.
MON		20	MONSTERA DELICIOSA	Monstera deliciosa	3 gal., 18" x 18", 24" o.c., full
** GROUNDCOVERS					
BL3		195	BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal., 12" x 18", 18" o.c., full
FTF	YES	100	FISHTAIL FERN	Nephtrolepis biserrata'Turcans'	1 gal., 12" x 12" full, 14" o.c.
NEP	YES	160	BOSTON FERN	Nephtrolepis exaltata	1 gal., 12" x 12" full, 14" o.c.
SOD					
SOD		938 s.f.	'FLORATAM' ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
SOD		872 s.f.	'FLORATAM' ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
TOPSOIL:					
			TOPSOIL:SAND MIX	50:50 TOPSOIL:SAND MIX, SPREAD IN PLACE	
		15 c.y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS		
		10 c.y.	AREA TO BE SODDED WITH A 2' DEPTH OF TOPSOIL SPREAD IN PLACE		
MULCHING:					
				3" DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL	
		30 c.y.	RECYLED DARK BROWN	PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION	
TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR					
--- TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS					
INSTALLATION WATERING:					
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED, AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE OWNER.					

1914 PIERCE ST., HOLLYWOOD, FL. 33020				
	LANDSCAPE SITE CALCULATIONS			
	4/11/2023			
TOTAL SITE AREA				
	GROSS SITE AREA	0.3755 AC	16,360 S.F.	
	NET SITE AREA	0.3755 AC	16,360 S.F.	
LANDSCAPE REQUIREMENTS				
LANDSCAPING COMPLIES WITH CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS, ARTICLE 9.				
	STREET TREES			
	1 tree / 30 L.F.			
S. PIERCE ST		3	3	
	88 L.F. / 30 L.F. ± 7 TREES		1 LWW + 2 OV6	
	120' - 32' (DRIVEWAYS) = 88 L.F.			
	LANDSCAPE BUFFERS			
	1 tree / 20 L.F.			
A. EAST BUFFER		7	7	
	136.33 L.F. / 20 L.F. ± 7 TREES		4 CD + 3 ED	
B. WEST BUFFER		7	7	
	136.33 L.F. / 20 L.F. ± 7 TREES		4 CD + 3 ED	
C. SOUTH BUFFER		6	6	
	1 tree / 20 L.F. when abutting an alley		6 C G10	
	120 L.F. / 20 L.F. = 6 TREES			
	INTERIOR PARKING SPACE	N/A	N/A	
	1 tree / TERMINAL ISLAND			
	GARAGE PARKING-NO SURFACE PARKING SPACES			
D. OPEN SPACE		4	5	
	1 tree / 1,000 s.f. of pervious area of property		3 C G10 + 2 CET	
	3,963 S.F. @ 1"/1000 s.f.			
TOTAL		27	28	
NATIVE REQUIREMENT				
	TREES-60% NATIVE	17	21	
	28 REQUIRED TREES X 60% = 9 NATIVE TREES/PALMS			
	SHRUBS-50% NATIVE	145	228	
	50% NATIVE SHRUBS			

**PROFESSIONAL SEAL:**

JAMES F. SOCA  
R. A. • 00001132

PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE	ISSUE DESCRIPTION
------	-------------------

**DRAWING INFORMATION:**

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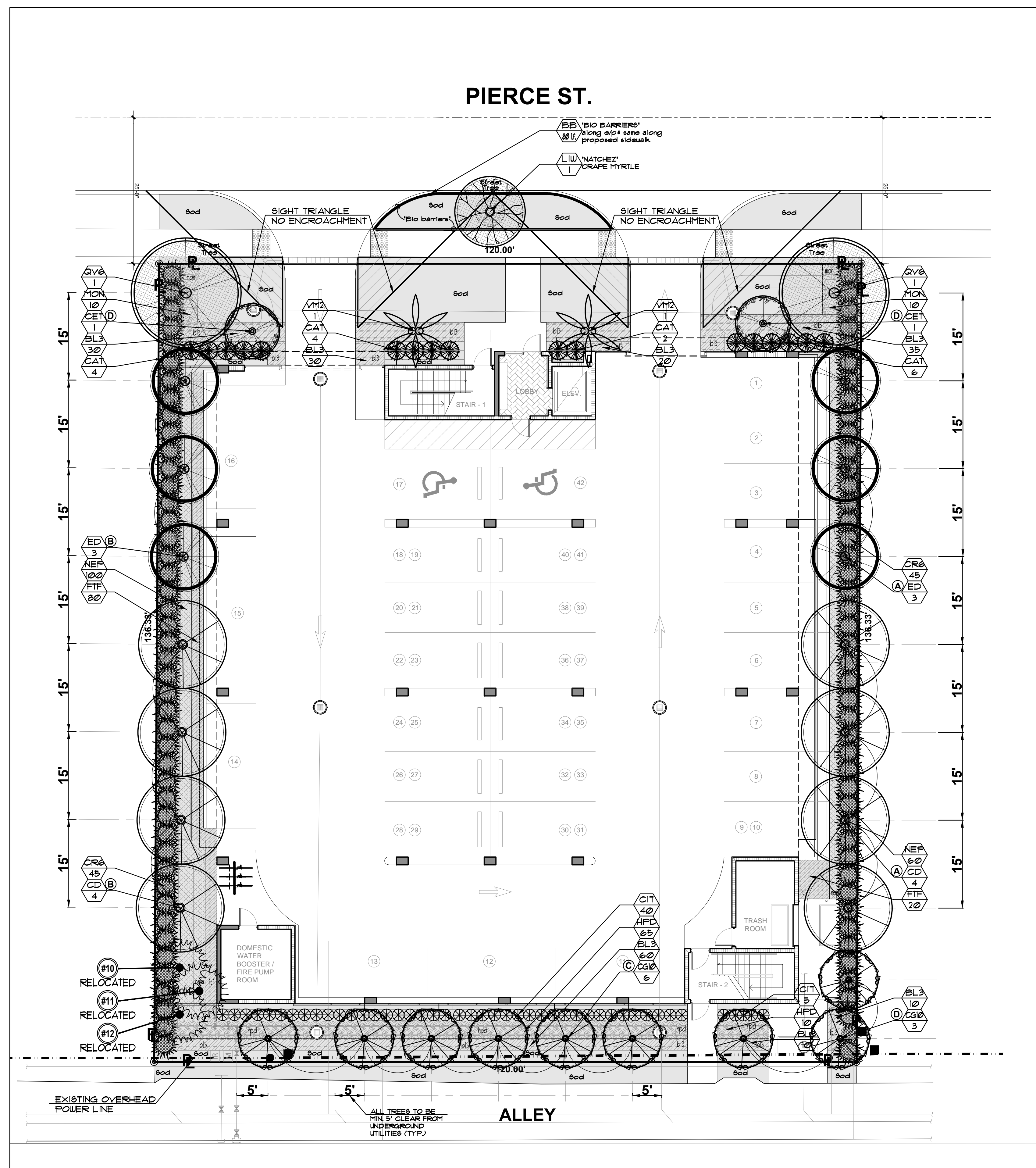
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DRAWN BY: LR

CHECKED BY: ALL

REF NUMBER:

SHEET NO. **L-1**



**Sunshine  
State  
One Call 811**  
of Florida, Inc.

JFS

**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000393  
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FEBERKE PINE, FL. 33028  
jimmy@jfsdesignfl.com

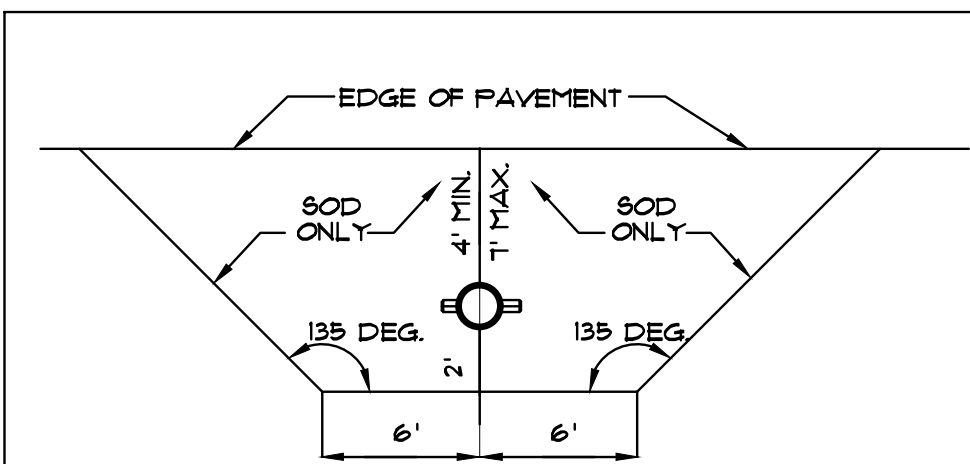
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SITE

SEE SHEETS L-1 THROUGH L-4 FOR  
GROUND LEVEL SITE LANDSCAPE PLAN,  
AND UPPER LEVEL LANDSCAPE PLANS

# SITE LANDSCAPE PLAN

NEW BACKGROUND



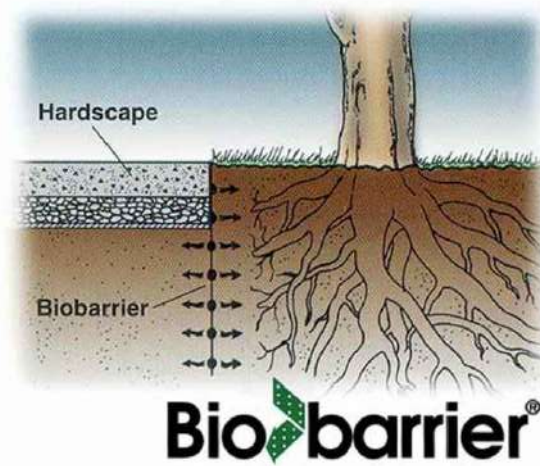


REQUIREMENTS APPLY TO FIRE HYDRANTS, SIAMSE CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON FIRE PUBLIC OR PRIVATE PROPERTY.  
BY THE AUTHORITY OF THE SOUTH FLORIDA FIRE PREVENTION CODE SECTION 52112  
THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.

THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS.  
EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT OR TRAFFIC POSTS TO PREVENT FIRE FIGHTING EQUIPMENT.

## FIRE HYDRANT CLEAR ZONE

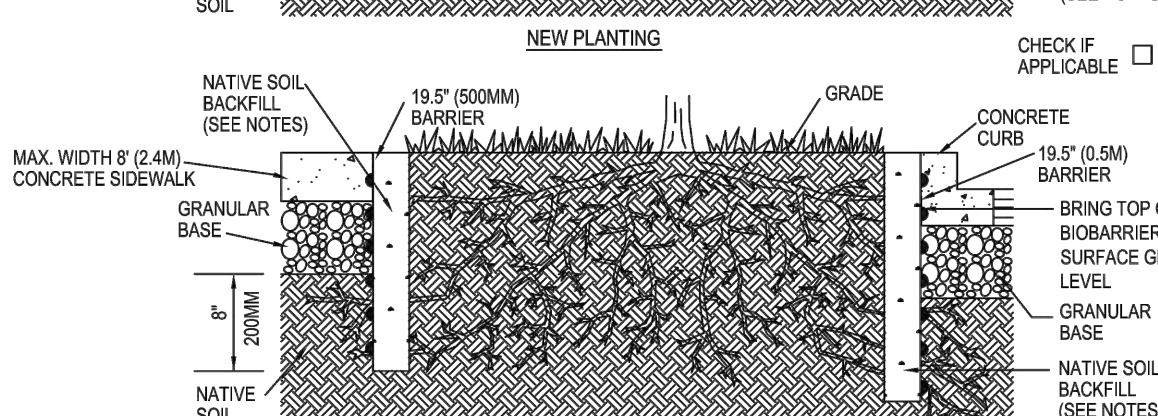
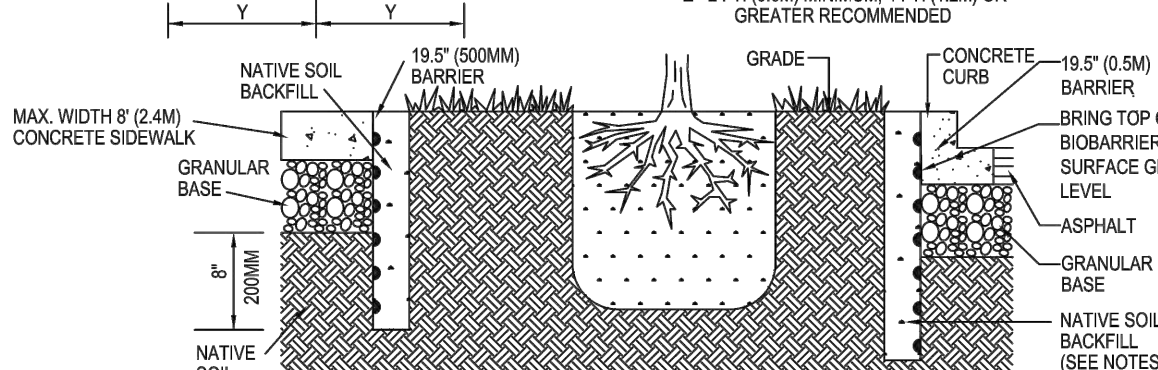
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PHONE: (615) 847-7137  
FAX: (615) 847-7088  
WWW.BIOBARRIER.COM

V - MINIMUM DIAMETER LIMITED ONLY BY ROOT BALL ON NEW INSTALLATIONS, PROVIDED VY IS 5' N. (153MM)  
W - 6 IN. (153MM) MINIMUM IF STRATUM OF BED ROCK, HARD PAN OR WATER EXISTS  
X - 10 FT. (3M) RECOMMENDED OR CONTINUOUS IF PLANTINGS ARE 10 FT. (3M) APART  
Y - LIMITED ONLY WITH RETROFIT INSTALLATION ROOT TRIMMING (TREE STABILITY)  
Z - 2 FT. (0.6M) MINIMUM, 4 FT. (1.2M) OR GREATER RECOMMENDED

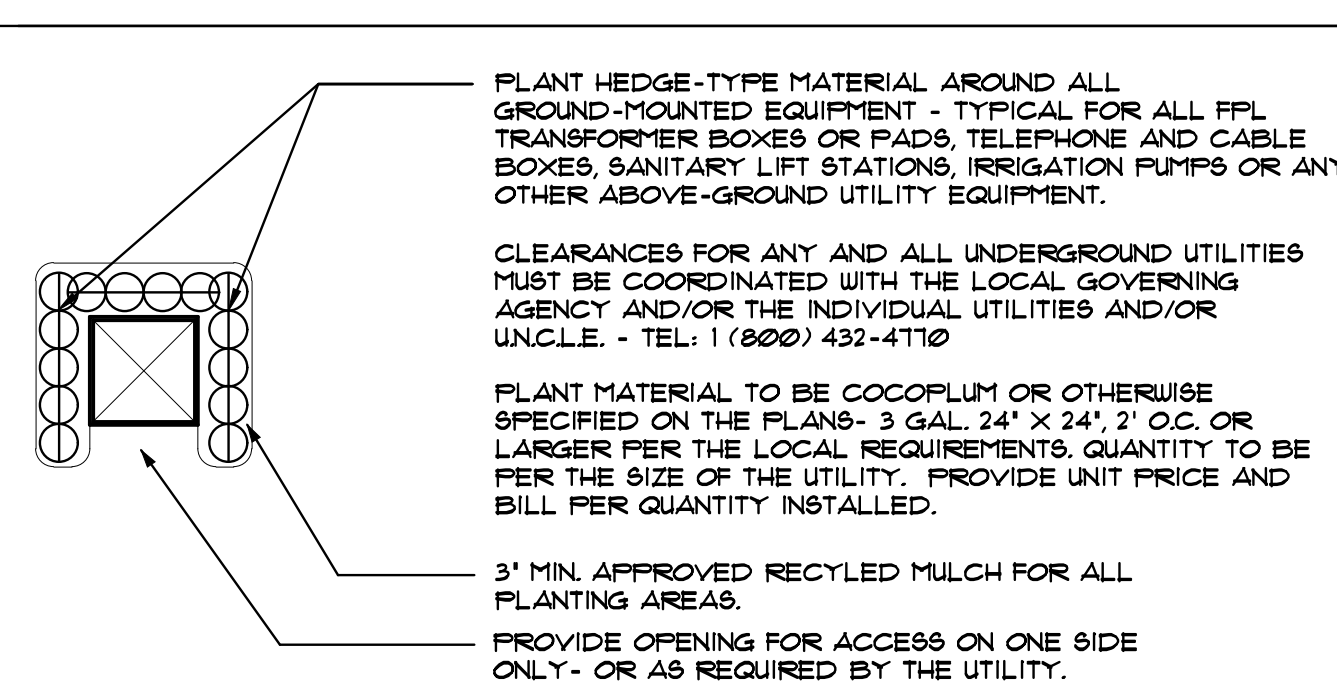


- NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. DO NOT SCALE DRAWINGS.  
3. SEE PLANTING DETAILS FOR MORE INFORMATION.  
4. AN ARBORIST SHOULD BE CONTACTED BEFORE EXTENSIVE CUTTING OF ROOTS.  
5. FOR MAXIMUM PROTECTION IN HIGH ORGANIC SOILS (10% WITH AGGRESSIVE ROOT SPECIES (ESPECIALLY A RETROFIT INSTALLATION AND/OR IN CLOSE PROXIMITY TO OPEN PLASTICS, SPRAY STAIRCASE TRENCH WALLS WITH LIQUID TRIFLURALIN. MIX OR FILL TRENCH WITH SAND OR GRAVEL.  
6. REPORT ALL DISCREPANCIES TO CONSULTANT PRIOR TO INSTALLATION.  
7. CONTRACTORS NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT WWW.CADDDETAILS.COM INFO REFERENCE NUMBER 360-002

ROOT CONTROL INSTALLATIONS  
LINEAR APPLICATION

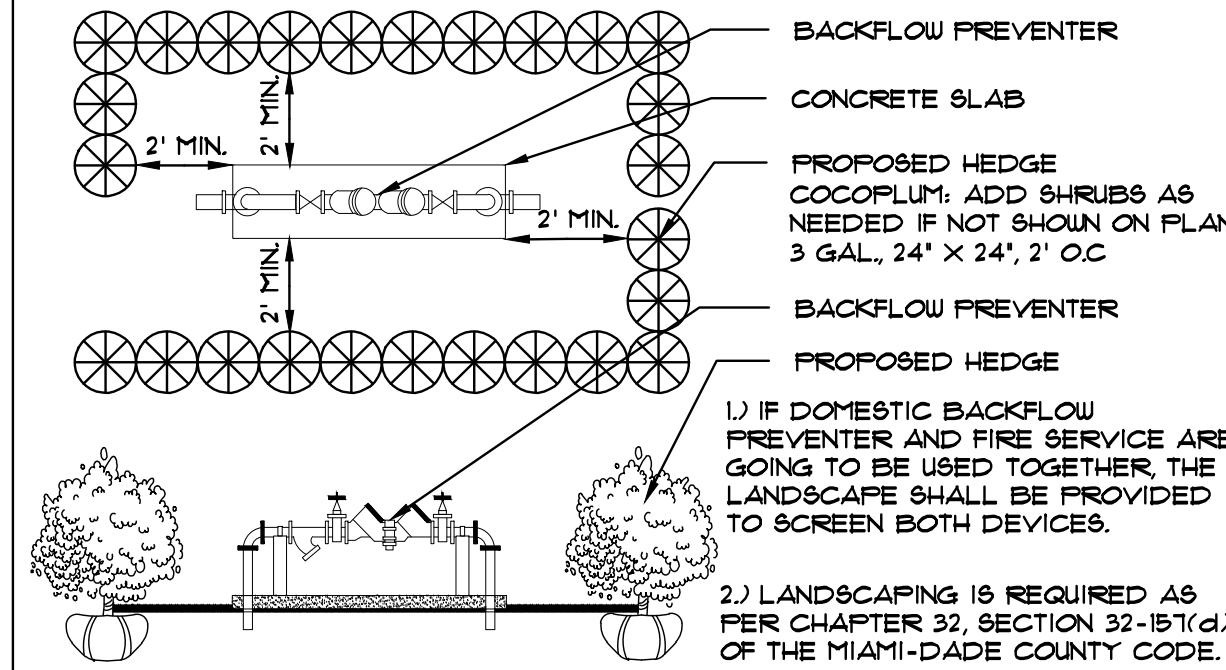
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PROTECTED BY COPYRIGHT - 08/30/05

BIOBARRIER (BB)	
80 L.F.	'BIO BARRIER' SURROUND SYSTEM, 24" ROOT CONTROL WIDTH PER
	BIO BARRIER ROOT CONTROL SYSTEM, HORT ENTERPRISES, P.O. BOX 3448,
	PORTLAND BEACH, FL 33060 CONTACT: MR. SAM CONGOLI, (954) 946-3850



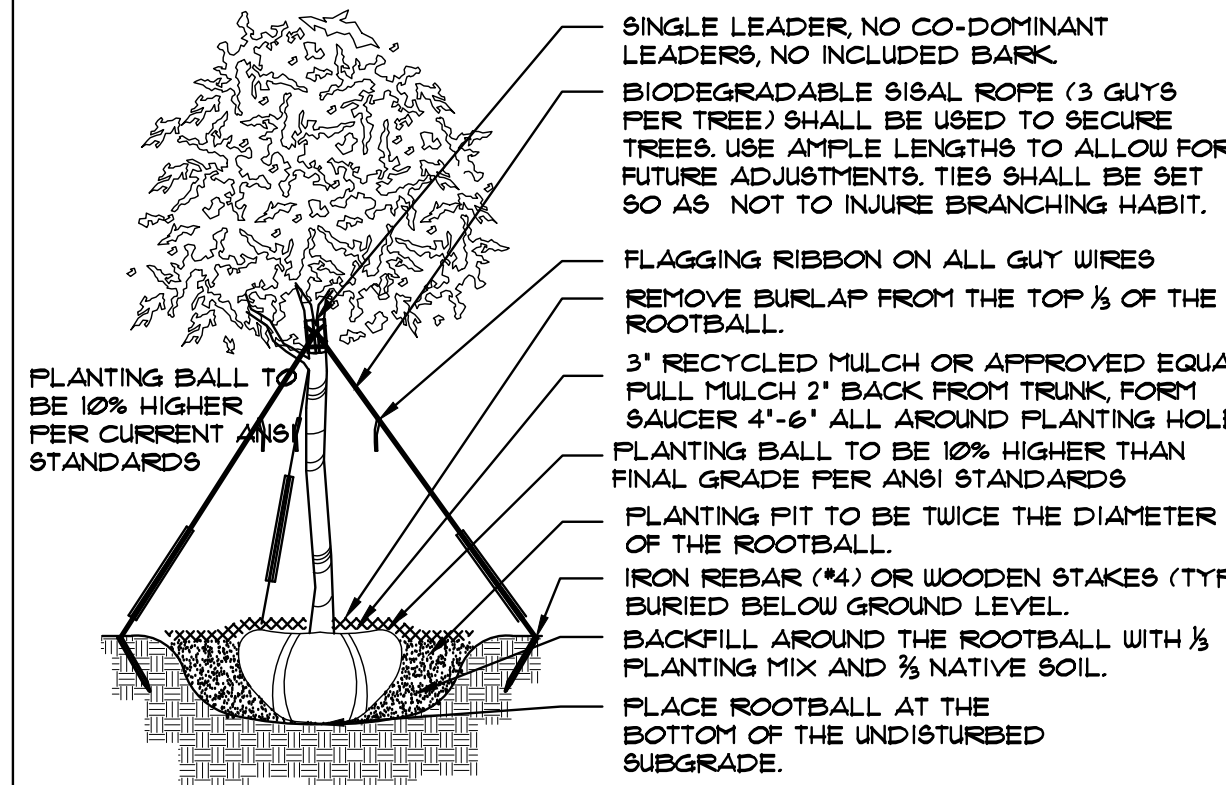
## TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



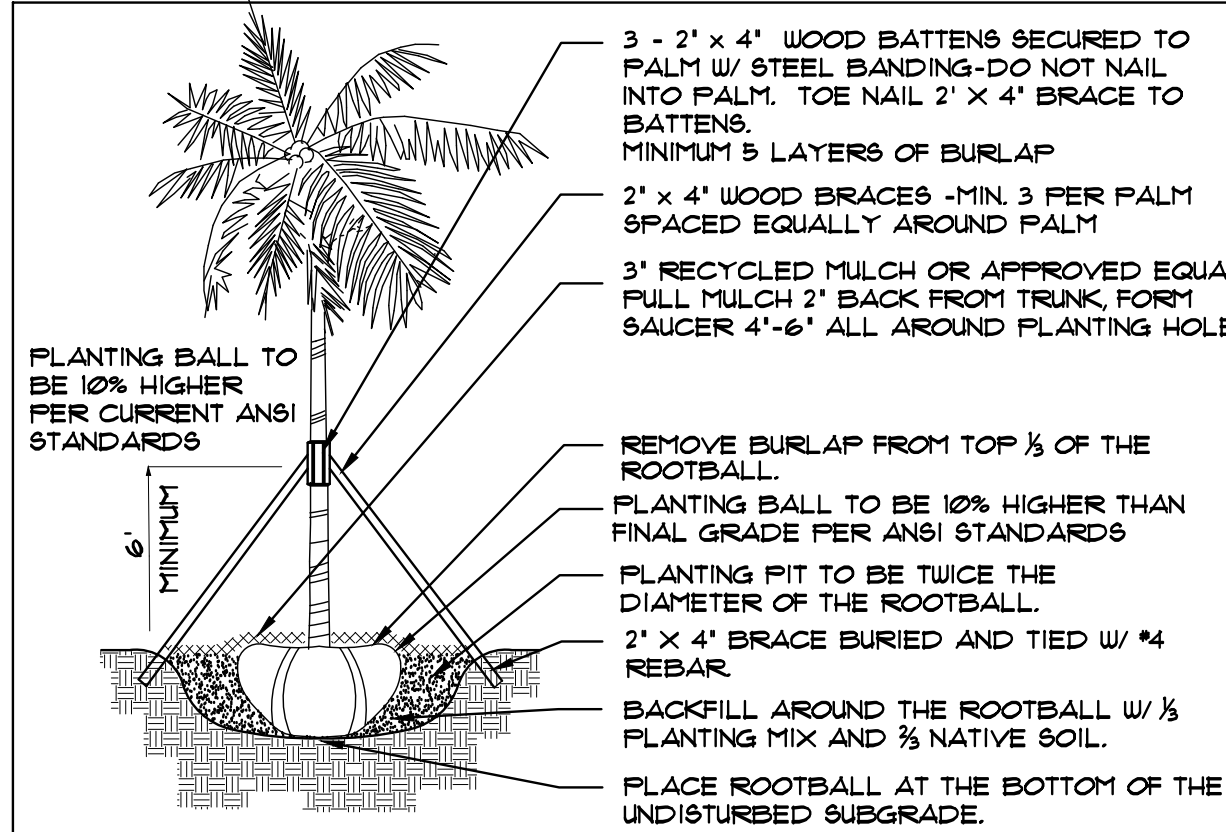
## TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.



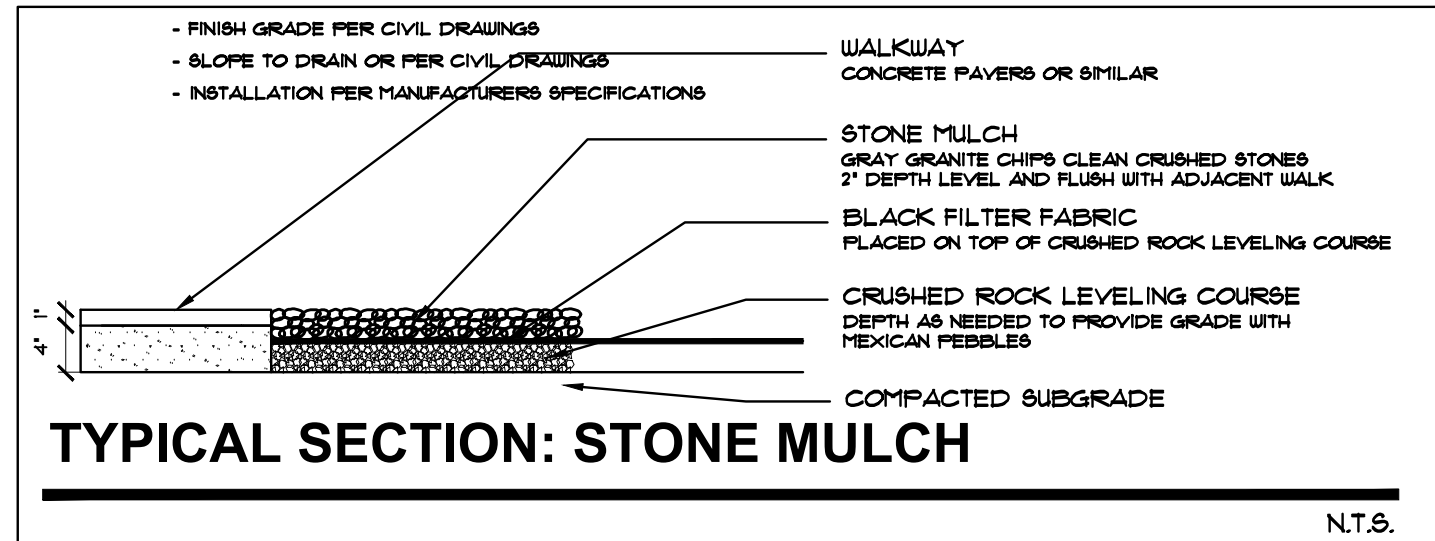
## TREE PLANTING DETAIL

N.T.S.



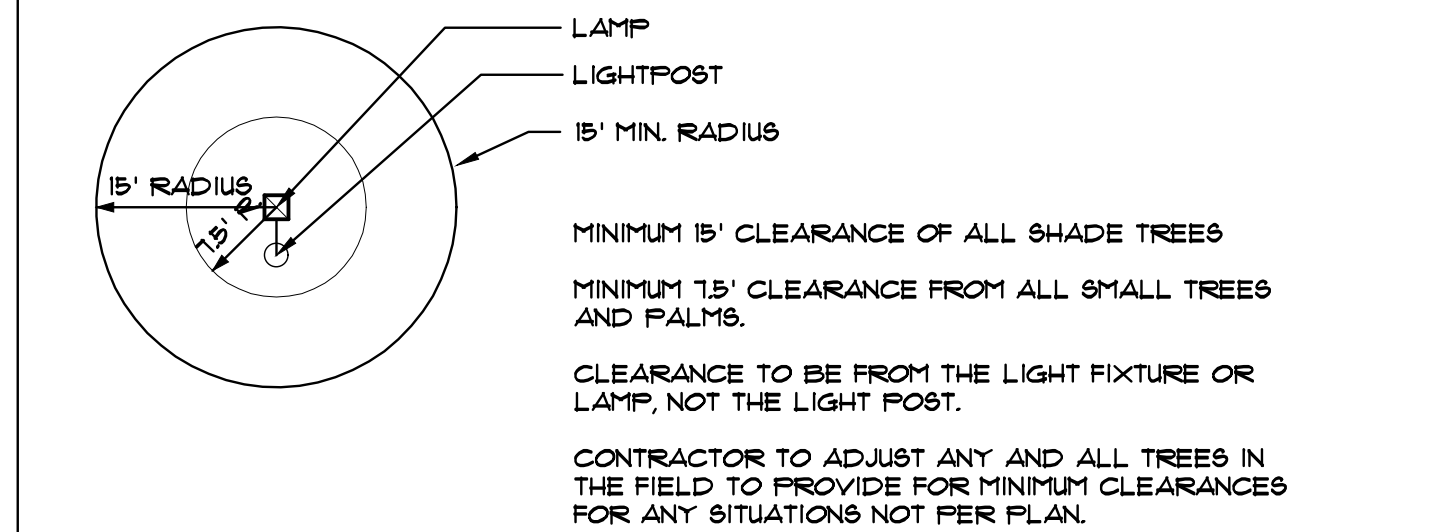
## PALM PLANTING DETAIL

N.T.S.



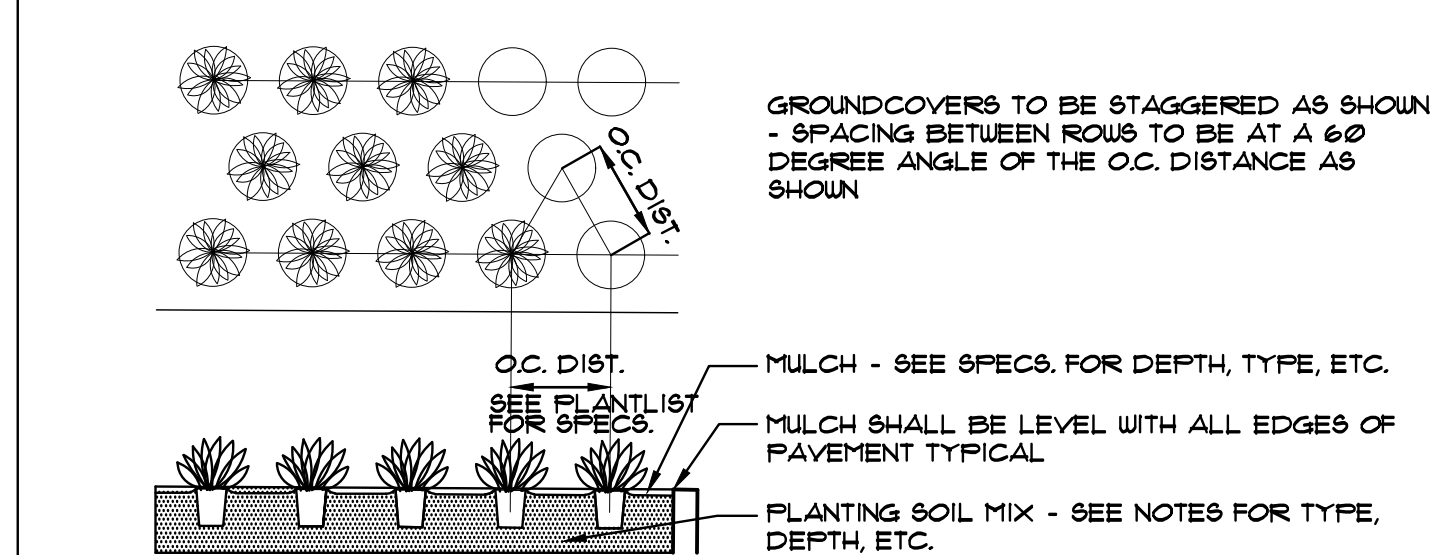
## TYPICAL SECTION: STONE MULCH

N.T.S.



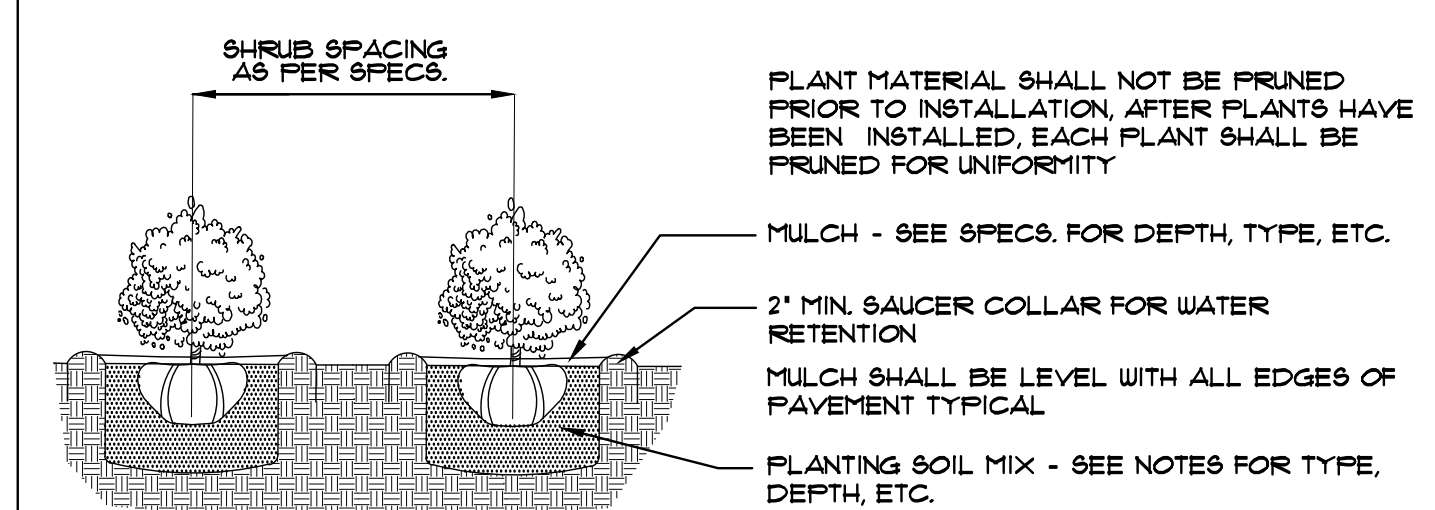
## MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

N.T.S.



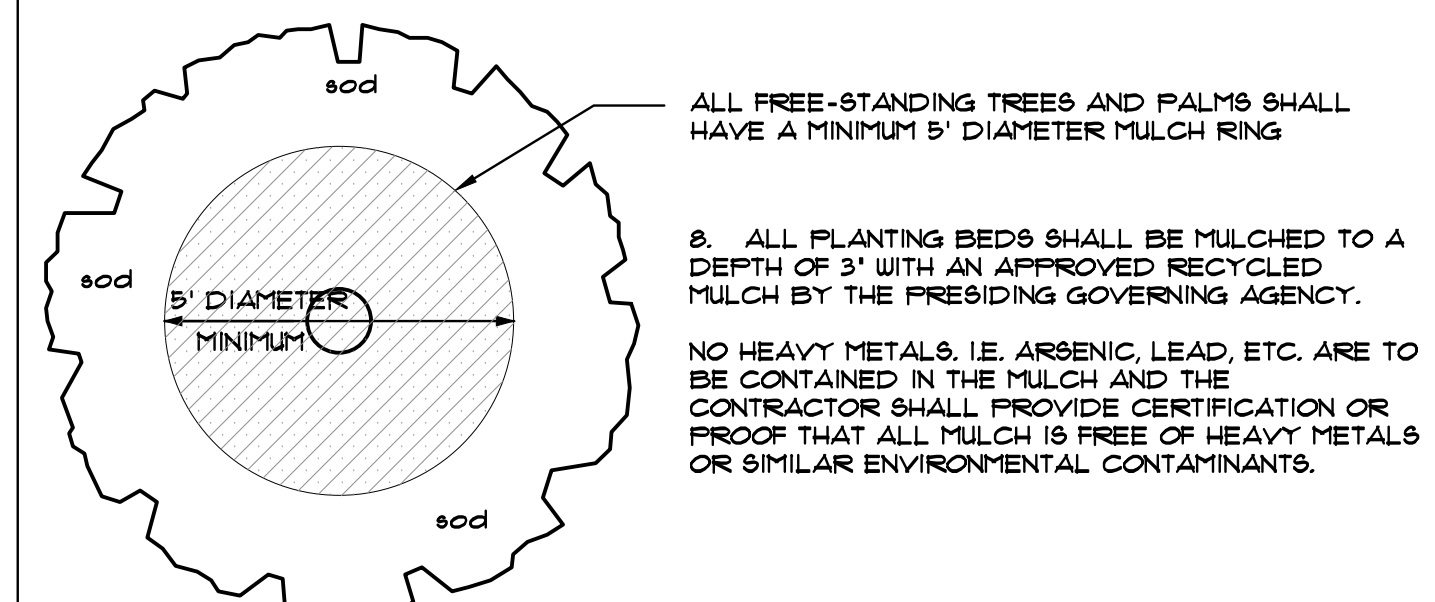
## GROUNDCOVER DETAIL

N.T.S.



## SHRUB PLANTING DETAIL

N.T.S.



## TYPICAL MULCH RING FOR FREE-STANDING TREES AND PALMS

N.T.S.

## LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERTS AND OTHER LANDSCAPE AREAS.

SODDED-LAWN AREAS  
2' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
GROUND COVER PLANTING BEDS:  
6' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
SHRUB AND HEDGE PLANTING AREAS:  
12' DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.  
TREES, PALMS, SPECIMEN PLANT MATERIAL:  
24' DEPTH PLANTING SOIL SPREAD IN PLACE OR TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.  
LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:  
EXCAVATE AND REMOVE ALL LIMESTONE, ROCKS, DEBRIS, ETC. TO A DEPTH OF 18" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX.  
BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.

- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2' OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT.  
OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.

- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 NO CUTS AS REQUIRED BY LAW.

8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.

9. SOD SHALL BE ARGENTINE 'BAHIA' OR ST. AUGUSTINE 'FLORATAM' AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.

- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FOOT. SOD SHALL CARRY A 5-MONTH WARRANTY.

- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

12. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNLGA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

13. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

14. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP, AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLOWING APPENDIX 11 IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.

16. CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

17. ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS 'TENA' PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.

18. EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.

19. ALL EXISTING TREES AND PALMS SHALL BE 'LIFTED AND THINNED' TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.

20. REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN 'TREE REMOVAL PERMIT' FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.

21. ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED- IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.

22. THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL GOVERNING AGENCY, GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND IRRIGATION CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.



13421 SOUTHWEST 23 STREET  
MIAMI, FL 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH

PROFESSIONAL SEAL



PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL 33020

DATE: 03.28.23  
ISSUE DESCRIPTION: TAC COMMENTS

DRAWING INFORMATION:

SHEET TITLE:

DELIVERY DATE: 02.13.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **L-2**

OF



**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000183  
1833 NW 14th TERRACE  
FORT LAUDERDALE, FL 33620  
jimmy@jfsdesignfl.com

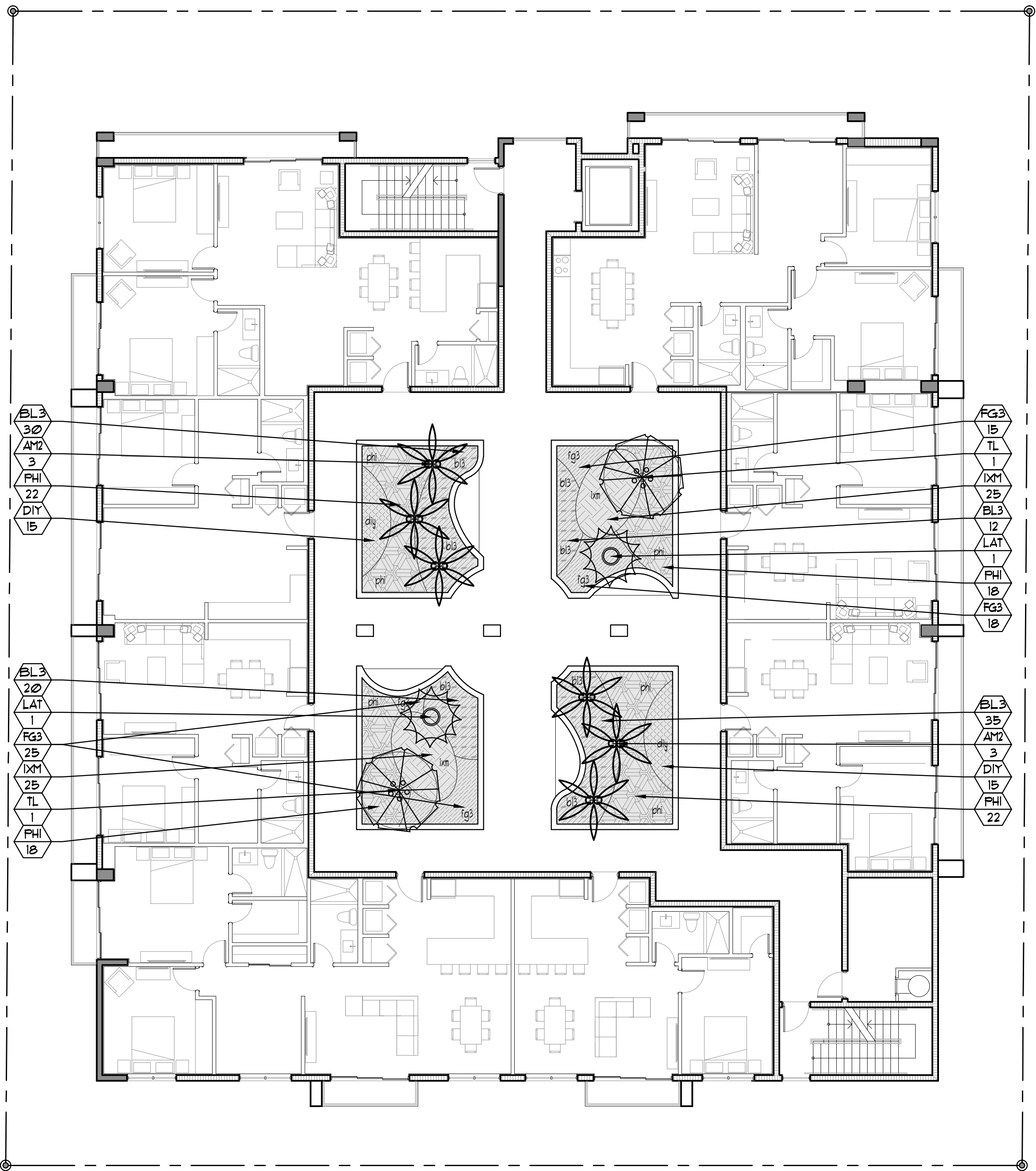
A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY NON-EXEMPT TREE OR PALMS FROM THE SITE.

SEE SHEETS L-1 THROUGH L-4 FOR GROUND LEVEL SITE LANDSCAPE PLAN, AND UPPER LEVEL LANDSCAPE PLANS.

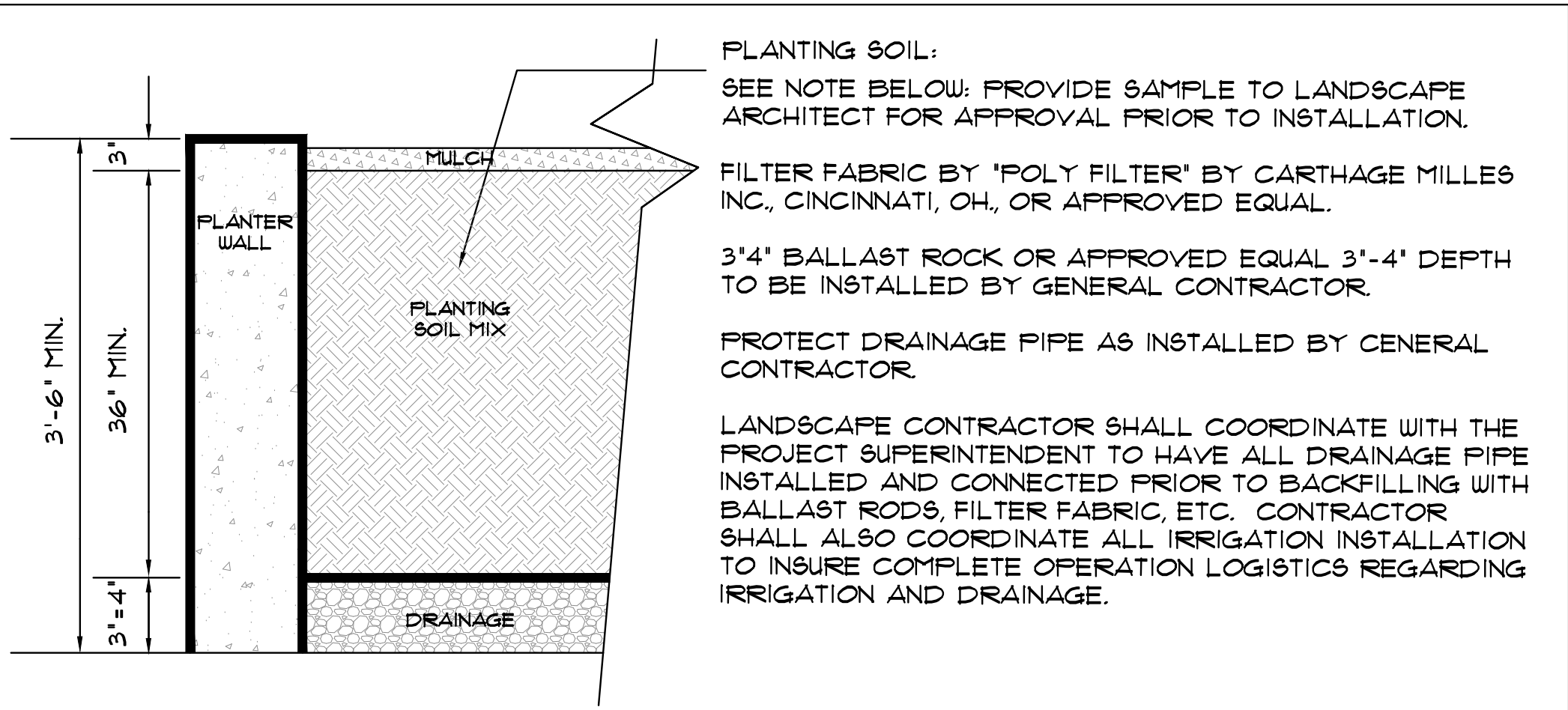
## LANDSCAPE DETAILS, SPECIFICATIONS, ETC.



PIERCE ST.



ALLEY



TYPICAL LANDSCAPE PLANTER

N.T.S.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE PLANTERS WITH AN APPROVED SOIL MIX.

CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT A SOIL SAMPLE AND A SOIL MATERIAL RATIO CHART FOR APPROVAL PRIOR TO INSTALLATION OF THE SOIL. SOIL MIX SHALL BE A SPECIAL MIX TO PROVIDE POROSITY FOR DRAINAGE AND CONTAIN AMENDMENTS ( PERLITE OR SIMILAR) TO REDUCE SOIL DENSITY AND WEIGHT. SOIL MIX SHALL BE AS PER ATLAS FEAT AND SOIL OR TOM WATERS INC. SOIL MIX OR AN APPROVED EQUAL TO CONTAIN EQUAL OR FORMULATED RATIOS OF THE FOLLOWING:

1. SILICA
2. SOIL
3. COMPOST
4. PERLITE
5. SHAVINGS

THE CONTRACTOR SHALL BE RESPONSIBLE TO FILL THE PLANTING MIX TO A DEPTH WHICH WILL BE 4" FROM THE TOP OF THE PLANTING WALL. SOIL & BALLAST ROCK QUANTITIES ARE APPROX. & WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR FINAL GRADE AS PER THIS NOTE.

WALL IMPERMEABILIZATION, DRAINS AND EYE HOOKS SHALL BE PREPARED & INSTALLED BY THE GENERAL CONTRACTOR.

THE LANDSCAPE AND IRRIGATION CONTRACTORS SHALL COORDINATE ALL WORK WITH THE PROJECT MANAGER AND ALL PERTINENT SUBCONTRACTORS TO INSURE A PROFESSIONAL EXPEDITIOUS PROCESS.

ALL PLANTING BEDS SHALL BE MULCHED WITH AN APPROVED RECYCLED MULCH, OR AN APPROVED EQUAL. SEE 'LANDSCAPE NOTES'.

THE CONTRACTOR SHALL SUBMIT PHOTOS FOR ALL SPECIMEN PLANT MATERIAL (ALL PALMS AND TREES) TO THE L.A. FOR APPROVAL PRIOR TO PLANTING.

SECOND LEVEL COURTYARD PLANTLIST					
SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION	
** TREES					
TL	2	TREE LIGUSTRUM	Ligustrum japonicum	8' x 8' full crown	
** PALMS					
AM2	6	CHRISTMAS PALM	Adonidia merrillii	FG, 10' o.a., DBL, full head	
LAT	2	BLUE LATAN PALMS	Latania loddigesii	10' o.a., 6' C.T.	
** ACCENTS AND GROUNDCOVERS					
BL3	30	BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal, 12' x 18', 18' o.c., full	
DIY	30	YELLOW AFRICAN IRIS	Dietes bicolor	3 gal, 12' x 18', 18' o.c., full	
FG3	50	'GREEN ISLAND' FIGUS	Ficus 'Green Island'	3 gal, 18' x 18', 18' o.c., full	
IXM	50	'DORA MAUI'	Ixora spp. 'Maui'	3 gal, 18' x 18', 18' o.c., full	
FHI	80	PHILODENDRON	Philodendron bipinn. sellow	3 gal, 24' x 24', 24' o.c., full	
TOPSOIL:					
TOPSOIL:SAND MIX					
102 c.y.	2100 MIX FOR PLANTING-PER ATLAS FEAT AND SOIL FOR PLANTER BOXES				
BASED UPON 36" DEPTH, X 921 SF. / 21 = 102 C.Y.					
MULCHING:					
10 c.y.	DRK BRUN RECYCLED MULCH	3' DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL			
PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION					
---	TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR				
TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS					
UPON FINAL INSPECTION AND APPROVAL.					
INSTALLATION WATERING:					
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED,					
AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY					
THE LOCAL GOVERNING AGENCY AND THE OWNER.					

22-19

Sunshine State 811 of Florida, Inc.

JFS

JFS Design Inc. LANDSCAPE ARCHITECTURE LC 000193 1833 NW 140th TERRACE PLEASANTON, FL 33024 jimmy@jfsdesignfl.com

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY NON-EXEMPT TREE OR PALMS FROM THE SITE.

SEE SHEETS L-1 THROUGH L-4 FOR GROUND LEVEL SITE LANDSCAPE PLAN, AND UPPER LEVEL LANDSCAPE PLANS.

0' 10' 20'

SCALE: 1" = 10'

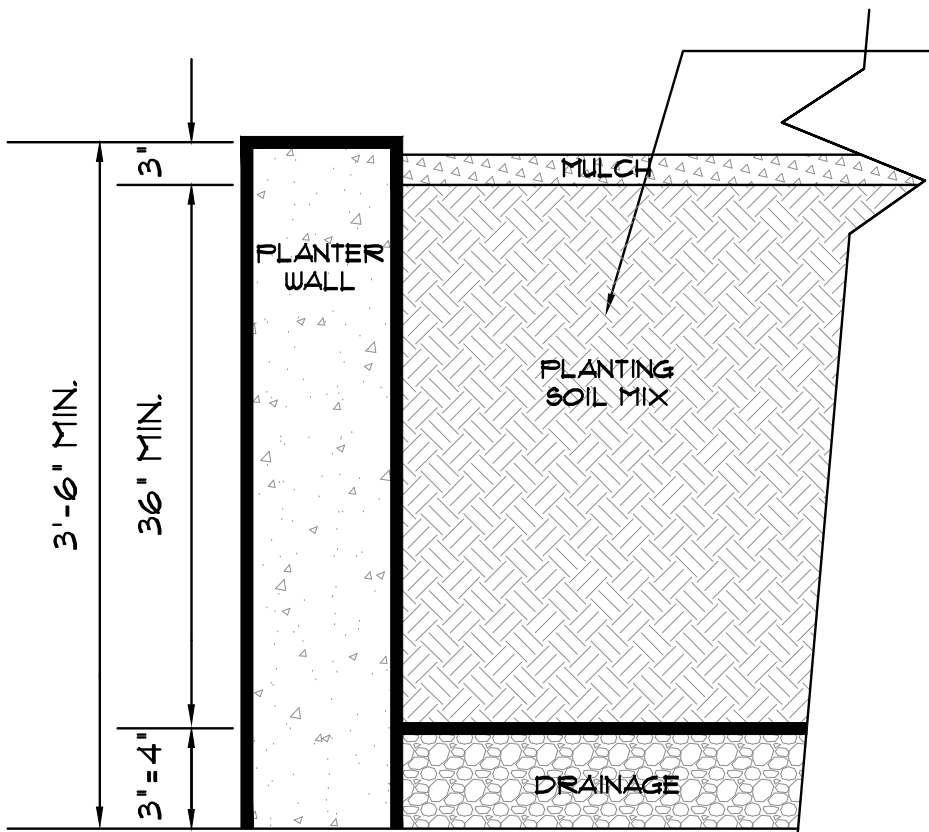
north

1.

SECOND LEVEL COURTYARD LANDSCAPE PLAN

NEW BACKGROUND





PLANTING SOIL:  
SEE NOTE BELOW: PROVIDE SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

FILTER FABRIC BY 'POLY FILTER' BY CARTHAGE MILLES INC., CINCINNATI, OH., OR APPROVED EQUAL.

3'-4" BALLAST ROCK OR APPROVED EQUAL 3'-4" DEPTH TO BE INSTALLED BY GENERAL CONTRACTOR.

PROTECT DRAINAGE PIPE AS INSTALLED BY GENERAL CONTRACTOR.

LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO HAVE ALL DRAINAGE PIPE INSTALLED AND CONNECTED PRIOR TO BACKFILLING WITH BALLAST ROCKS, FILTER FABRIC, ETC. CONTRACTOR SHALL ALSO COORDINATE ALL IRRIGATION INSTALLATION TO INSURE COMPLETE OPERATION LOGISTICS REGARDING IRRIGATION AND DRAINAGE.

## TYPICAL LANDSCAPE PLANTER

N.T.S.

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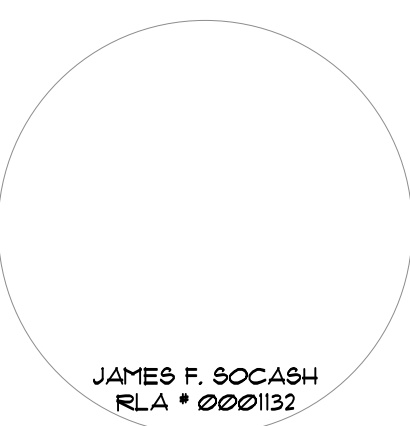
ALL PLANTING BEDS SHALL BE MULCHED WITH AN APPROVED RECYCLED MULCH, OR AN APPROVED EQUAL. SEE 'LANDSCAPE NOTES'.

THE CONTRACTOR SHALL SUBMIT PHOTOS FOR ALL SPECIMEN PLANT MATERIAL (ALL PALMS AND TREES) TO THE L.A. FOR APPROVAL PRIOR TO PLANTING.

## ROOF-POOL LEVEL PLANTLIST

SYM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
<b>** TREES</b>					
CET	YES	3	SILVER BUTTWOOD	Conocarpus erect. 'Sericeus'	10' x 6', STANDARD
<b>** PALMS</b>					
AM2		8	CHRISTMAS PALM	Adonis nerrillii	FG, 10' o.c., DBL., full head
<b>** ACCENTS AND GROUNDCOVERS</b>					
BL3		80	BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal, 12' x 18', 18' o.c., full
FG3		30	'GREEN ISLAND' FIGUS	Ficus 'Green Island'	3 gal, 18' x 18', 18' o.c., full
<b>TOPSOIL:</b>					
TOPSOIL: SAND MIX					
11 c.y. 2100 MIX' FOR PLANTING-PER ATLAS FEAT AND SOIL FOR PLANTER BOXES					
BASED UPON 36" DEPTH, X 99 S.F. / 21 = 11 C.Y.					
<b>MULCHING:</b>					
1 c.y. DRK BRUN RECYCLED MULCH 3' DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL					
PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION					
---					
TOPSOIL, SOIL AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR					
TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS					
UPON FINAL INSPECTION AND APPROVAL.					
<b>INSTALLATION WATERING:</b>					
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED,					
AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY					
THE LOCAL GOVERNING AGENCY AND THE OWNER.					

PROFESSIONAL SEAL



PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

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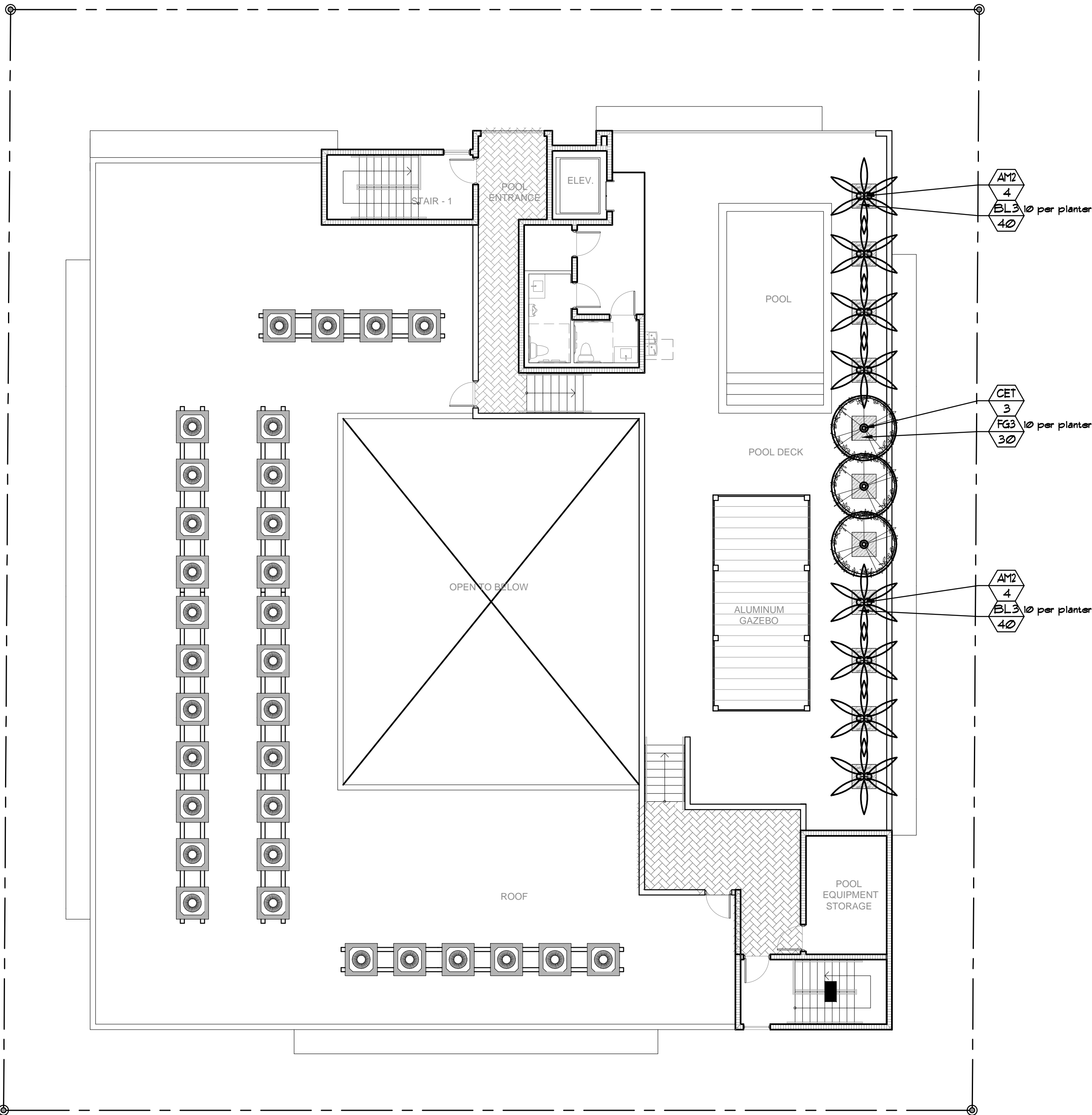
DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **L-4**  
OF

PIERCE ST.



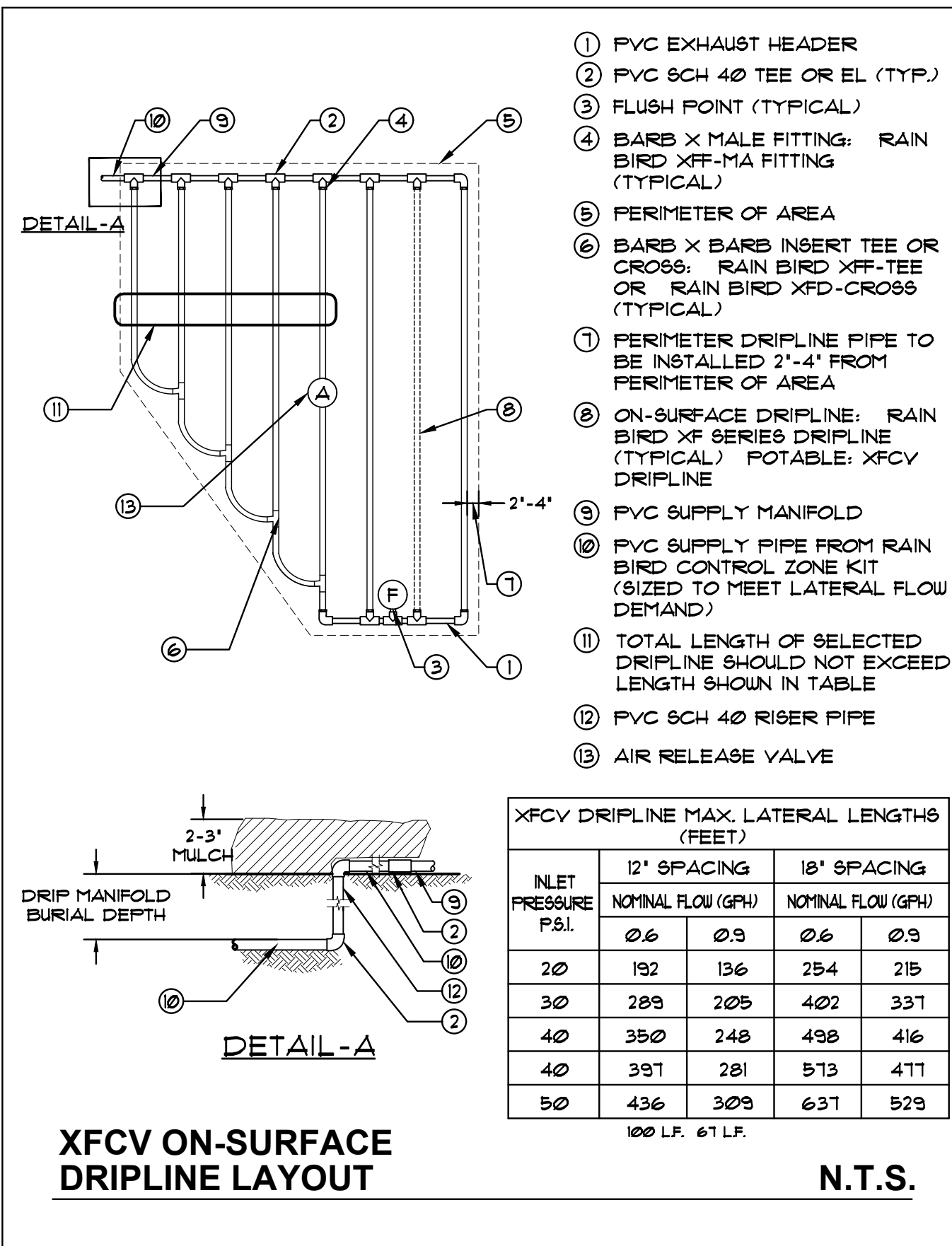
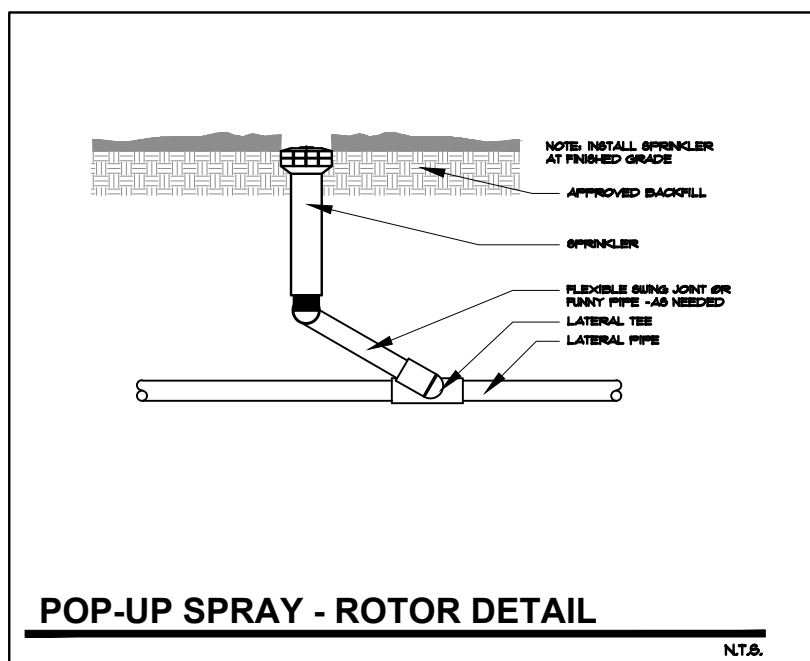
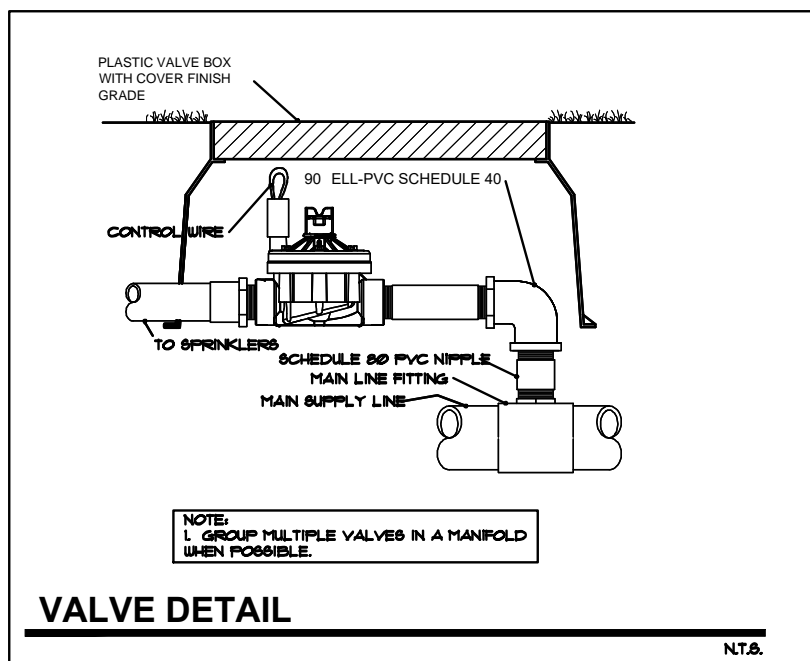
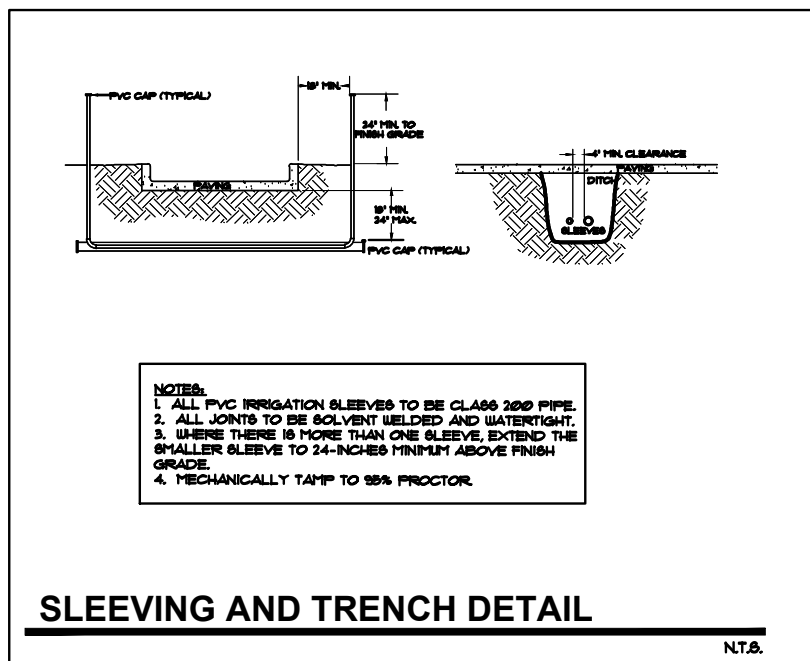
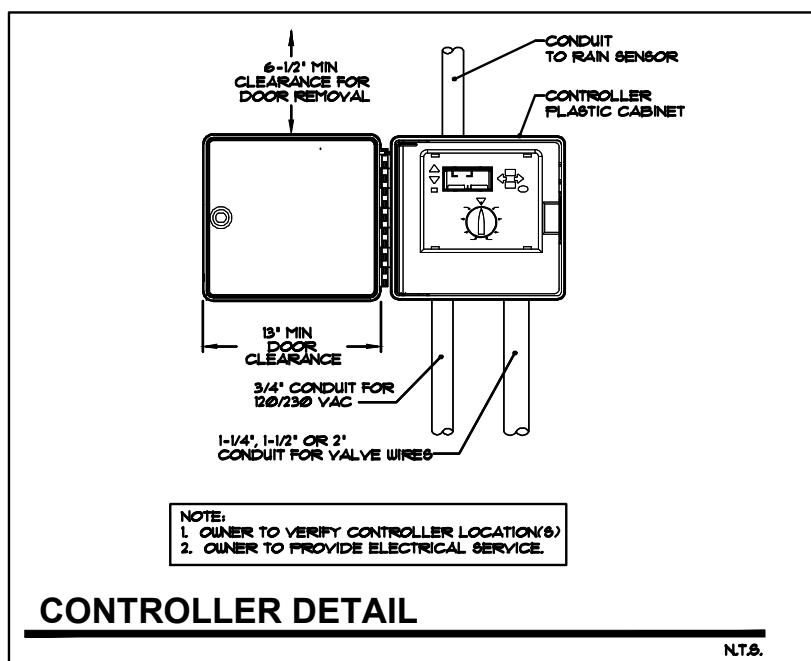
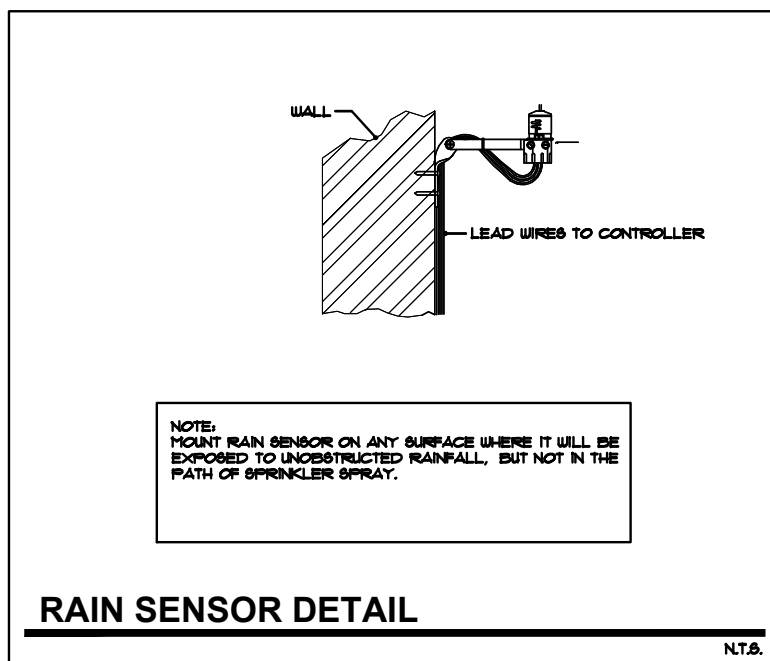
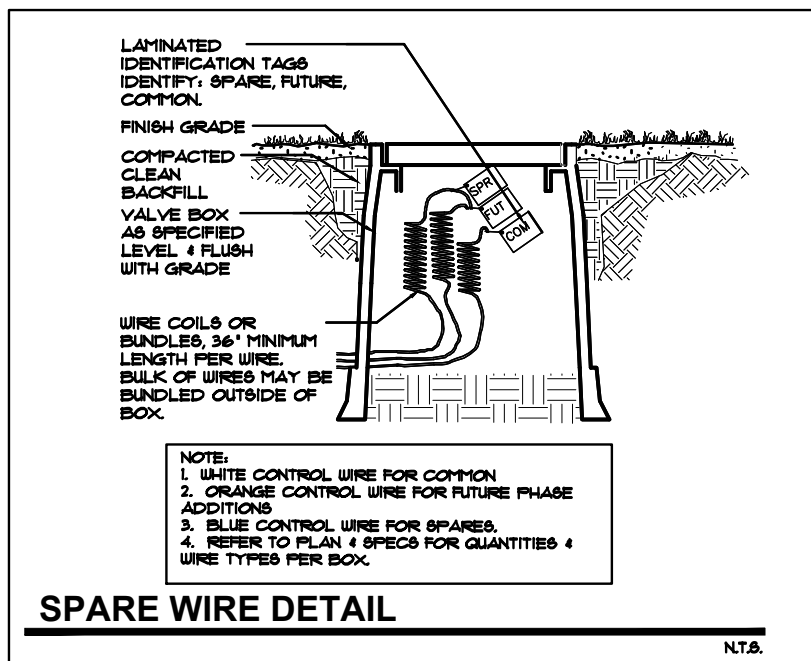
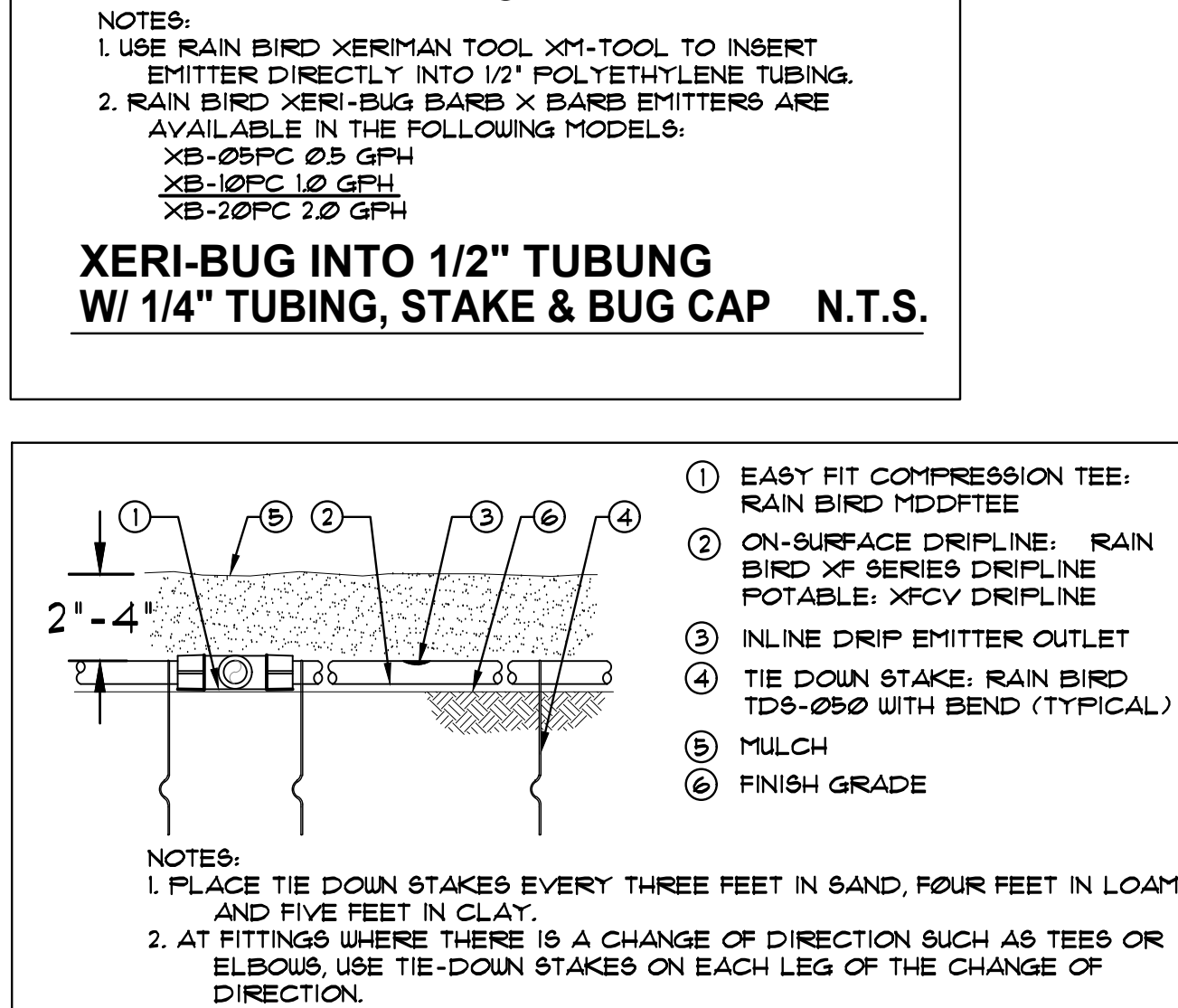
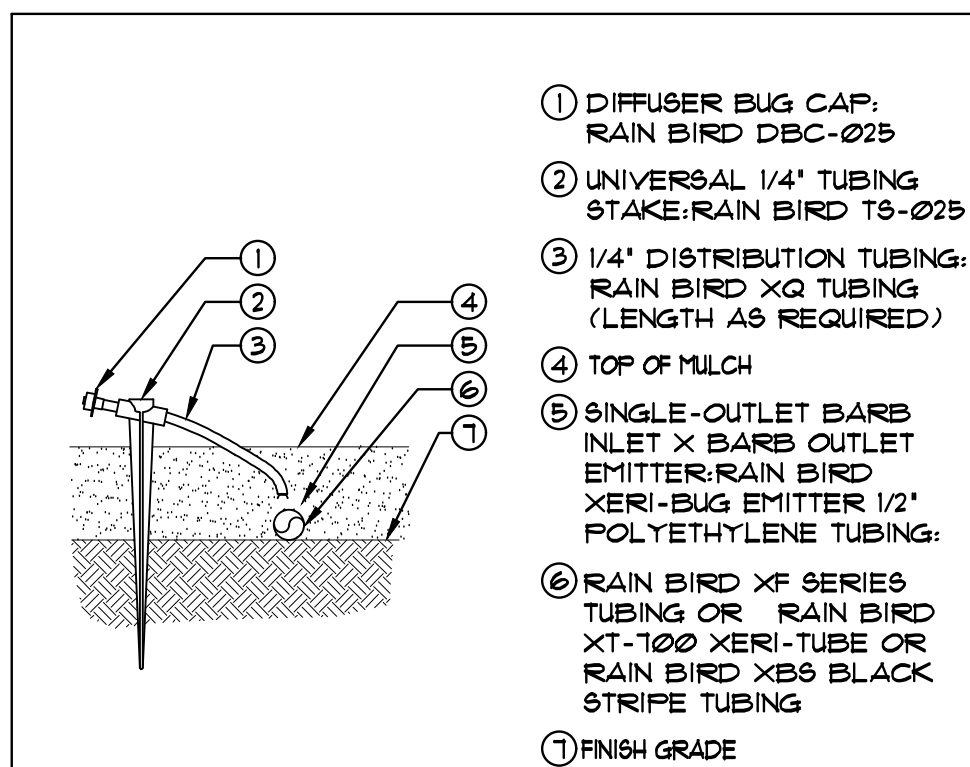
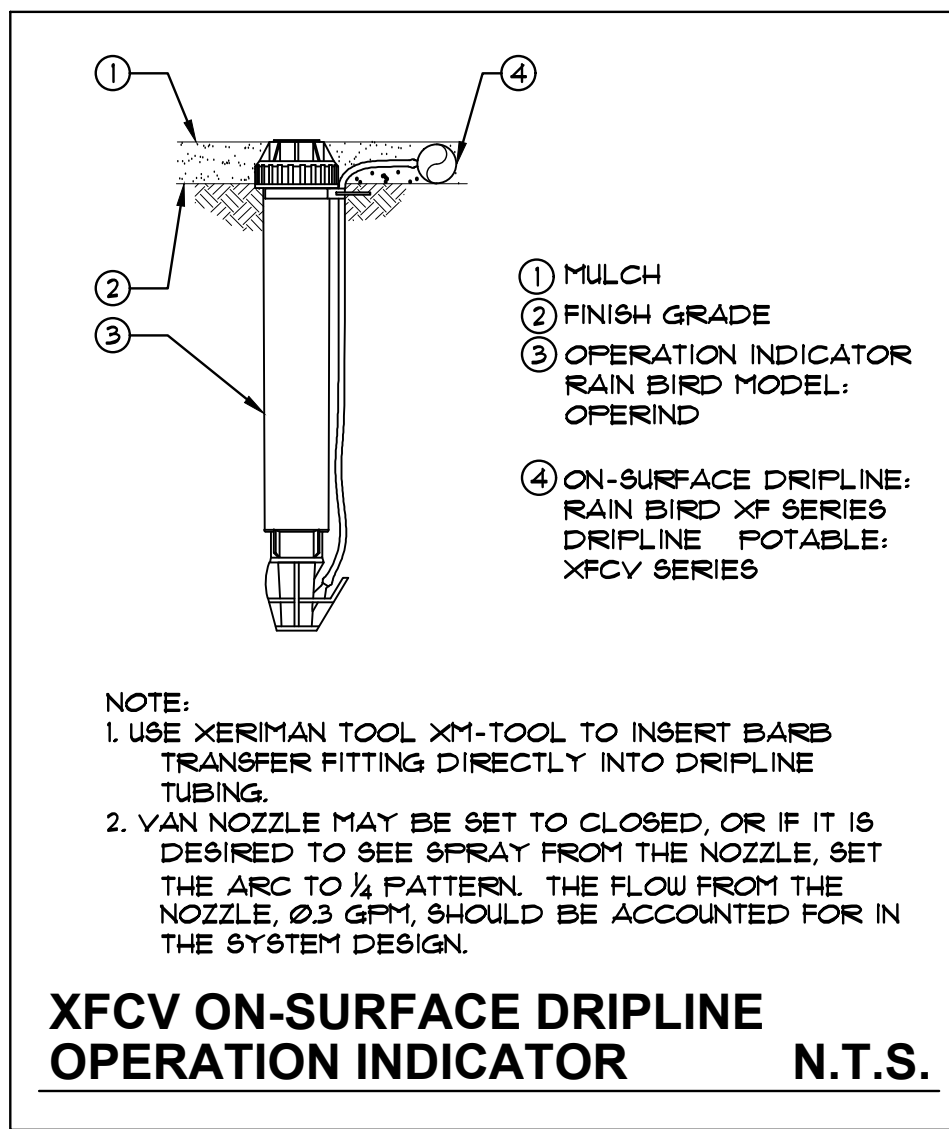
ALLEY







- GENERAL IRRIGATION NOTES**
- IRRIGATION CONTRACTOR SHALL PROVIDE, FURNISH AND INSTALL A FULLY AUTOMATIC IRRIGATION SYSTEM WHICH WILL COMPLY WITH ALL LOCAL CODE, STATE CODE & FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) REQUIREMENTS.
  - THE IRRIGATION CONTRACTOR SHALL SCHEDULE AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE OWNER & THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION OF THE IRRIGATION SYSTEM.
  - CONTRACTOR SHALL INSTALL A POP-UP TYPE HEADS. SPRAY TYPE SHALL BE ROTOR, IMPACT, SPRAY OR BUBBLER AND SHALL BE SO INSTALLED TO NOT CAUSE ANY OVERSPRAY ONTO ANY PAVED SURFACES, I.E. ROADS, SIDEWALKS, ETC. ALL FIXTURES SHALL BE "TORO", "RAINBIRD" OR AN APPROVED EQUAL. ALL WORK SHALL BE DONE IN A PROFESSIONAL MANNER AND AS PER THE MANUFACTURER'S SPECIFICATIONS. SPRAY HEADS SHALL BE 4" POP-UPS FOR SOODED AREAS, 6" FOR GROUNDCOVER PLANTINGS AND 12" POP-UPS FOR ALL PLANTING AND SHRUB BEDS. SPRAY HEADS ON RISERS SHALL ONLY BE PERMITTED PER THE LAND. ARCH.
  - ALL MAIN SUPPLY LINE SHALL BE PVC SCHEDULE 40 PIPE. ALL PVC FITTINGS SHALL BE SCHEDULE 40. THE MAIN LINE IS SHOWN SCHEMATICALLY. LOCATE MAIN LINES IN LANDSCAPE AREAS WHERE POSSIBLE AND SLEEVE UNDER PAVEMENT WHERE NECESSARY. MAIN LINES SHALL BE IN THE SAME TRENCH WITH LATERAL LINES WHERE POSSIBLE.
  - CONTRACTOR SHALL CONSTRUCT CONCRETE THRUST BLOCKS, 12" X 12" X 12" AT ALL "T" INTERSECTIONS OR BENDS 45 DEGREES OR GREATER ON THE MAIN LINE.
  - MINIMUM PIPE SIZE SHALL BE 3/4" PIPE.
  - CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID & PROTECT ALL UTILITY LINES, DUCTS, BURIED CABLES AND OTHER UTILITIES IN THE AREA. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR, LIABILITY AND COSTS INCURRED IN THE DAMAGE OR DESTRUCTION OF SAID UTILITIES. CALL U.N.C.L.E. (1800) 432-8770, 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK FOR PROPER UTILITY LOCATION AND CLEARANCES.
  - THE CONTRACTOR SHALL SECURE ALL WORK WITH THE PROJECT MANAGER, LANDSCAPE CONTRACTOR AND ALL OTHER CONTRACTORS TO INSURE PROPER INSTALLATION, SCHEDULING AND PROCEDURE.
  - THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT MANAGER TO PROVIDE ELECTRICAL SUPPLY TO THE CONTROLLER, PUMP, ETC. AS NEEDED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AS MAY BE DEEMED NECESSARY TO PERFORM THE WORK. ENTIRE SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL AND STATE CODES. THE OWNER IS RESPONSIBLE FOR ALL PERMIT FEES.
  - ALL SLEEVES UNDER PAVEMENT SHALL BE BURIED PER FL. BLDG CODE, APPENDIX "F". ALL LATERAL SLEEVES UNDER SIDE WALKS SHALL BE BURIED BELOW WALKWAYS AND SHALL BE SCHEDULE 40 PVC. ALL SLEEVING SHALL BE SCHEDULE 40 PVC PIPE & SHALL BE 2 TIMES THE MAIN OR LATERAL PIPE SIZE.
  - THE CONTRACTOR SHALL CONNECT THE MASTER VALVE (WHEN APPLICABLE) & ALL ELECTRIC VALVES TO THE CONTROLLER & PROVIDE PROPER SYNCHRONIZATION.
  - ALL LOW-VOLTAGE ELECTRIC VALVES SHALL BE #14 DIRECT BURIAL. ALL WIRES UNDER ROADS TO BE PLACED IN A SEPARATE 1" SLEEVE. CONTRACTOR SHALL PROVIDE A MINIMUM OF 2 EXTRA WIRES FOR EMERGENCY POST-INSTALLATION WIRING.
  - ALL LINE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL ADJUST TRENCHING AND LOCATION OF SPRAY HEADS IN THE FIELD FOR EXISTING CONDITIONS, WALKS, UTILITIES, STRUCTURES & PLANTINGS TO PROVIDE AND INSURE 100% COVERAGE AND 100% OVERLAP.
  - CONTRACTOR SHALL PROVIDE A ONE-YEAR GUARANTEE ON ALL PARTS AND A 90-DAY GUARANTEE ON LABOR FROM THE DATE OF FINAL ACCEPTANCE.
  - THE IRRIGATION CONTRACTOR SHALL RECORD ALL CHANGES MADE TO THE IRRIGATION SYSTEM DURING INSTALLATION. & PROVIDE AN AS-BUILT DRAWING TO THE OWNER'S REPRESENTATIVE UPON COMPLETION AND ACCEPTANCE OF THE WORK.
  - THE IRRIGATION CONTRACTOR SHALL INSTRUCT THE OWNER OR THE OWNER'S REPRESENTATIVE IN THE COMPLETE OPERATION & MAINTENANCE OF THE SYSTEM. THE CONTRACTOR SHALL FURNISH TWO (2) COPIES OF AN IRRIGATION SYSTEM MANAGEMENT MANUAL PREPARED BY THE MANUFACTURER & THE SYSTEM INSTALLER.
  - THE IRRIGATION CONTRACTOR SHALL CHECK AND ADJUST THE SYSTEM AT THE END OF THE 90-DAY PERIOD, FROM THE DATE OF FINAL ACCEPTANCE.
  - ANY IRRIGATION PIPING WITHIN THE CONFINES OF ANY BUILDING SHALL BE CLEARLY MARKED "NON POTABLE WATER".
  - TREE AND PALM PLANTINGS IN RIGHTS OF WAYS SHALL HAVE ONE FLOOD BUBBLER PER TREE OR PALM. COORDINATE PIPING AND SEEVING AS NEEDED.





PIERCE ST.

ALLEY

**IRRIGATION CONTROLLER**

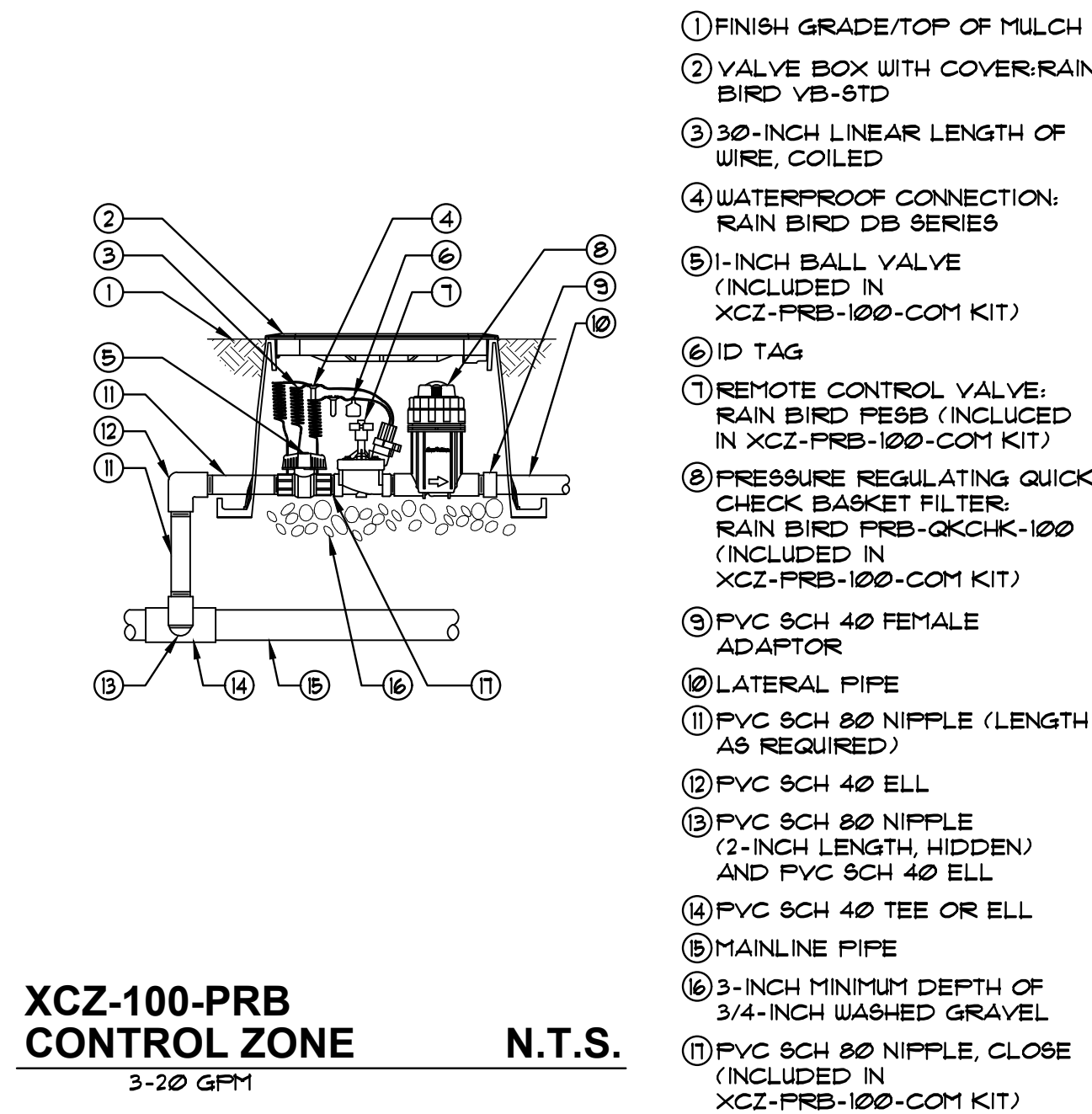
RAINBIRD ESP-LXME MODULAR  
W/ RAIN SENSOR ATTACHED TO  
CONTROLLER

**POINT OF CONNECTION  
(APPROX.)**

CONNECT TO POTABLE WATER SOURCE AS  
COORDINATED-INSTALL REDUCED  
PRESSURE ZONE BACKFLOW DEVICE (1").  
ROUTE 1" MAIN SUPPLY LINE TO  
IRRIGATION VALVES THROUGH PLANTERS IF  
POSSIBLE OR UNDERNEATH FLOOR SLAB.  
IMPERMEABILIZE ANY PERFORATIONS AS  
NEEDED. COORDINATE WITH PROJECT  
SUPERINTENDENT PRIOR TO COMMENCEMENT  
OF WORK.

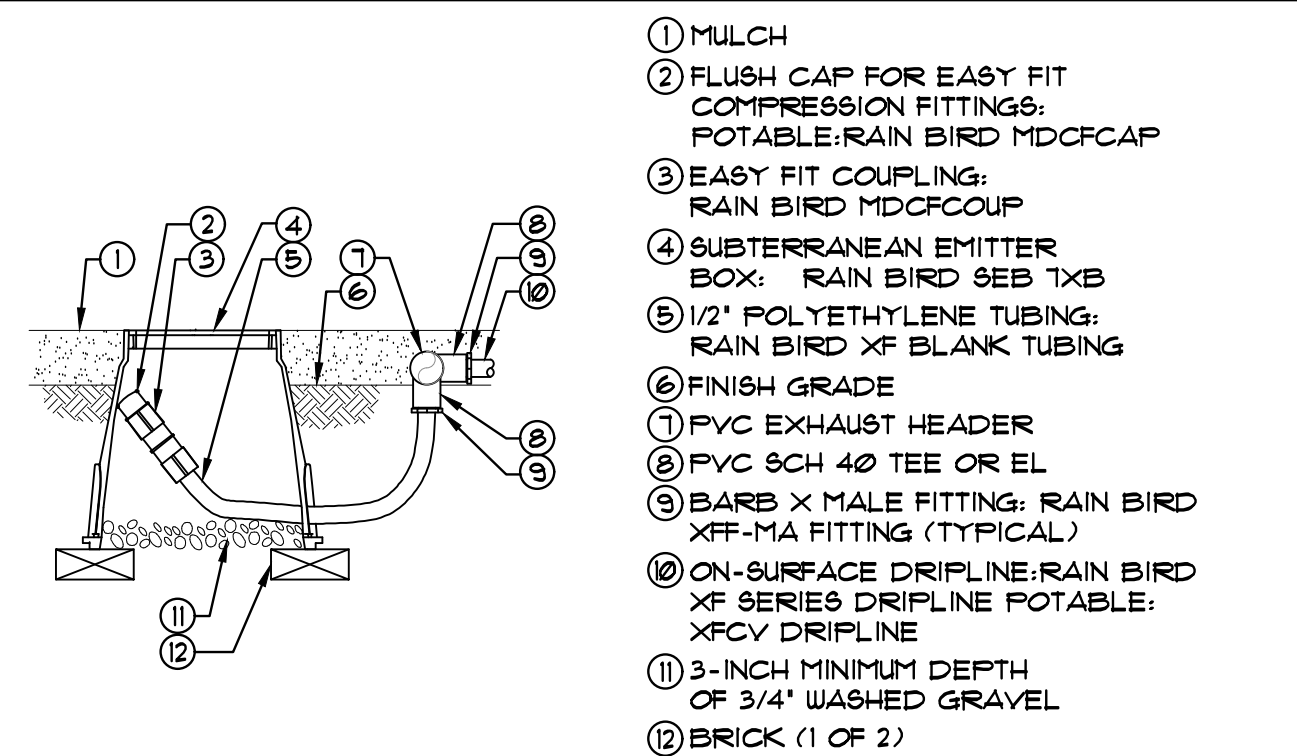
**1" REDUCED PRESSURE ZONE (RPZ)  
BACKFLOW PREVENTION DEVICE**

COORDINATE LOCATION WITH  
PROJECT  
SUPERINTENDENT

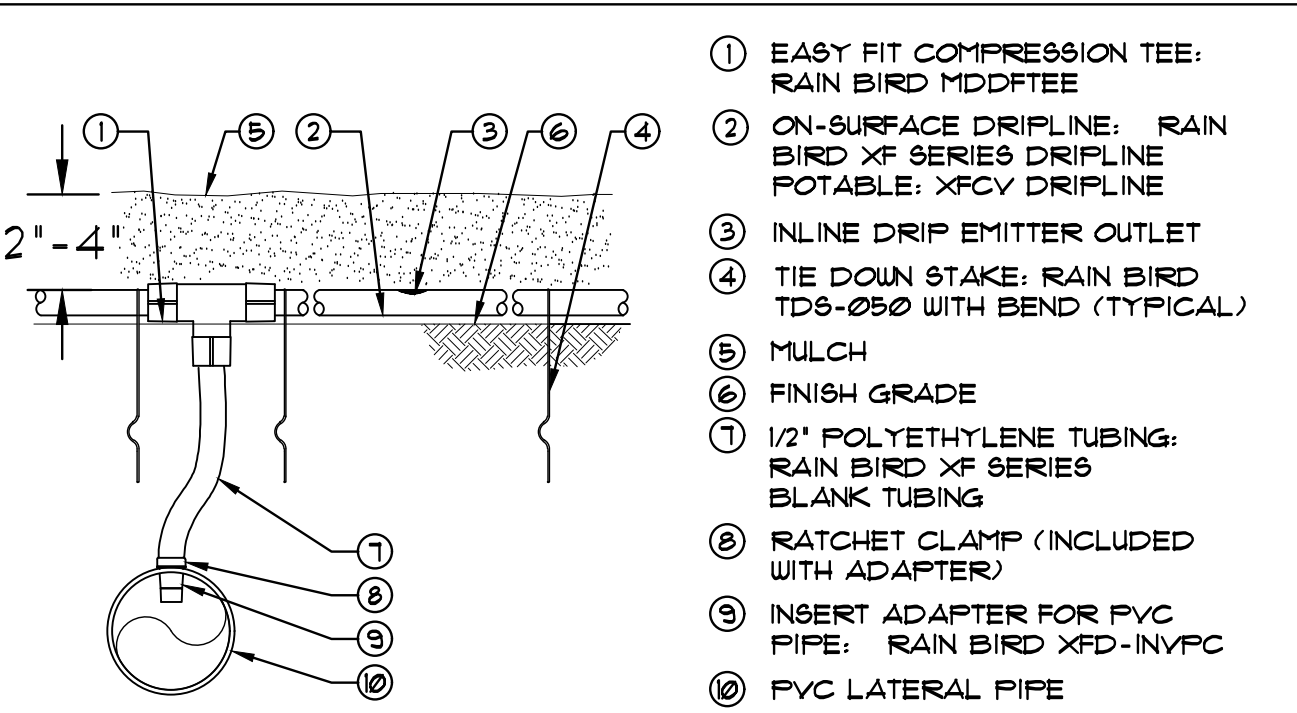


**XCV-100-PRB  
CONTROL ZONE**  
3-20 GPM

N.T.S.



**XFCV ON-SURFACE DRIPLINE FLUSH POINT  
WITH EASY FIT COMPRESSION FITTINGS**  
N.T.S.



**XFCV ON-SURFACE  
DRIPLINE INSERT ADAPTER**  
N.T.S.

**IRRIGATION LEGEND**



POINT OF CONNECTION (APPROXIMATE)  
CONNECT TO POTABLE WATER SOURCE  
AS COORDINATED-INSTALL REDUCED  
PRESSURE ZONE BACKFLOW DEVICE (1").  
ROUTE 1" MAIN SUPPLY LINE TO  
IRRIGATION VALVES THROUGH PLANTERS  
IF POSSIBLE OR UNDERNEATH FLOOR  
SLAB.  
IMPERMEABILIZE ANY PERFORATIONS AS  
NEEDED. COORDINATE WITH PROJECT  
SUPERINTENDENT PRIOR TO  
COMMENCEMENT OF WORK.



1" REDUCED PRESSURE ZONE (RPZ)  
BACKFLOW PREVENTER



RAINBIRD ESP-LXME MODULAR SERIES  
W/ RAINBIRD RAIN SENSOR



RAINBIRD RSD SERIES RAIN SENSOR  
ATTACHED TO CONTROLLER



RAIN BIRD XCV-100-PRB-COM  
HIGH FLOW CONTROL ZONE KIT, FOR LARGE  
COMMERCIAL DRIP ZONES. 1-1/2" PESS VALVE  
WITH TWO 1" PRESSURE REGULATING (40PSI)  
QUICK-CHECK BASKET  
FILTERS. FLOW RANGE: 3-20GPM.



RAIN BIRD 5-LRC  
1" BRASS QUICK-COUPLING VALVE, WITH  
CORROSION-RESISTANT STAINLESS STEEL SPRING,  
LOCKING THERMOPLASTIC RUBBER COVER, AND  
1-PIECE BODY.



PIPE TRANSITION POINT ABOVE GRADE  
PIPE TRANSITION POINT FROM PVC LATERAL  
TO DRIP TUBING WITH RISER TO ABOVE GRADE  
INSTALLATION.



FLUSH VALVE  
DRIPLINE FLUSH VALVE CAP IN COMPRESSION  
FITTING COUPLER.



RAIN BIRD OPERIND  
DRIP SYSTEM OPERATION INDICATOR. STEM  
RISES 6" FOR CLEAR VISIBILITY WHEN DRIP  
SYSTEM IS CHARGED TO A MINIMUM OF 20PSI.  
INCLUDES 16" OF 1/4" DISTRIBUTION TUBING WITH  
CONNECTION FITTING  
PRE-INSTALLED.



RAIN BIRD PC SINGLE OUTLET, PC DRIP EMITTER  
SINGLE OUTLET, PRESSURE COMPENSATING DRIP  
EMITTERS WITH SELF-PIERCING BARB INLET.



AREA TO RECEIVE DRIPLINE  
RAIN BIRD XFD-09-12 (12)  
XFD ON-SURFACE PRESSURE COMPENSATING  
LANDSCAPE DRIPLINE. 0.95GPH EMITTERS AT  
12" O.C. DRIPLINE LATERALS SPACED AT  
12" APART, WITH EMITTERS OFFSET FOR T  
TRIANGULAR PATTERN. UV RESISTANT.

LATERAL LINE (Sch 160)

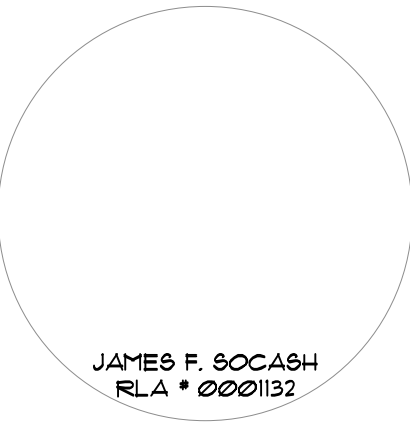




13421 SOUTHWEST 23 STREET  
MIAMI, FL. 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH:

PROFESSIONAL SEAL:



PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE: 03.28.23

ISSUE DESCRIPTION: TAC COMMENTS

DRAWING INFORMATION:

SHEET TITLE:

DELIVERY DATE: 02.13.2023

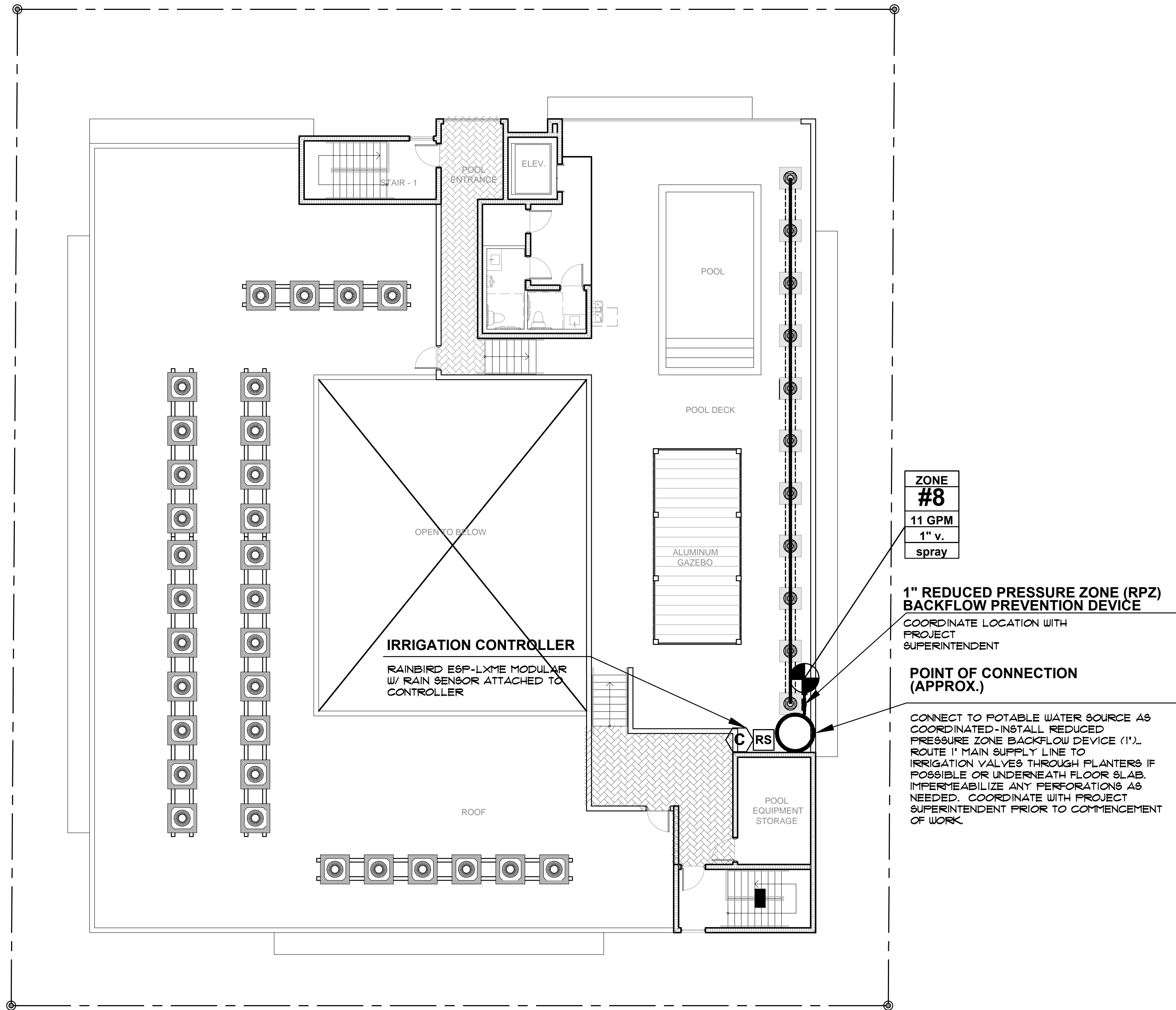
DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **IRR-4**  
OF

PIERCE ST.



ALLEY

ZONE  
**#8**  
11 GPM  
1" v.  
spray

**1" REDUCED PRESSURE ZONE (RPZ)  
BACKFLOW PREVENTION DEVICE**

COORDINATE LOCATION WITH  
PROJECT  
SUPERINTENDENT

**POINT OF CONNECTION  
(APPROX.)**

CONNECT TO POTABLE WATER SOURCE AS  
COORDINATED-INSTALL, REDUCED  
PRESSURE ZONE BACKFLOW DEVICE (1").  
ROUTE 1" MAIN SUPPLY LINE TO  
IRRIGATION VALVES THROUGH PLANTERS IF  
POSSIBLE OR UNDERNEATH FLOOR SLAB.  
IMPERMEABILIZE ANY PERFORATIONS AS  
NEEDED. COORDINATE WITH PROJECT  
SUPERINTENDENT PRIOR TO COMMENCEMENT  
OF WORK.

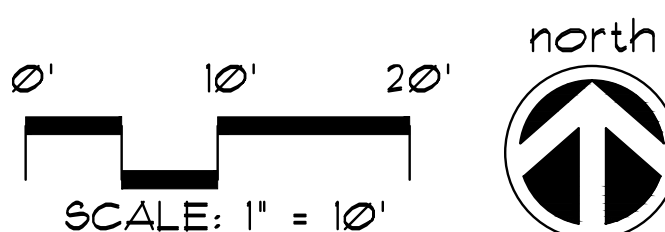


**JFS**

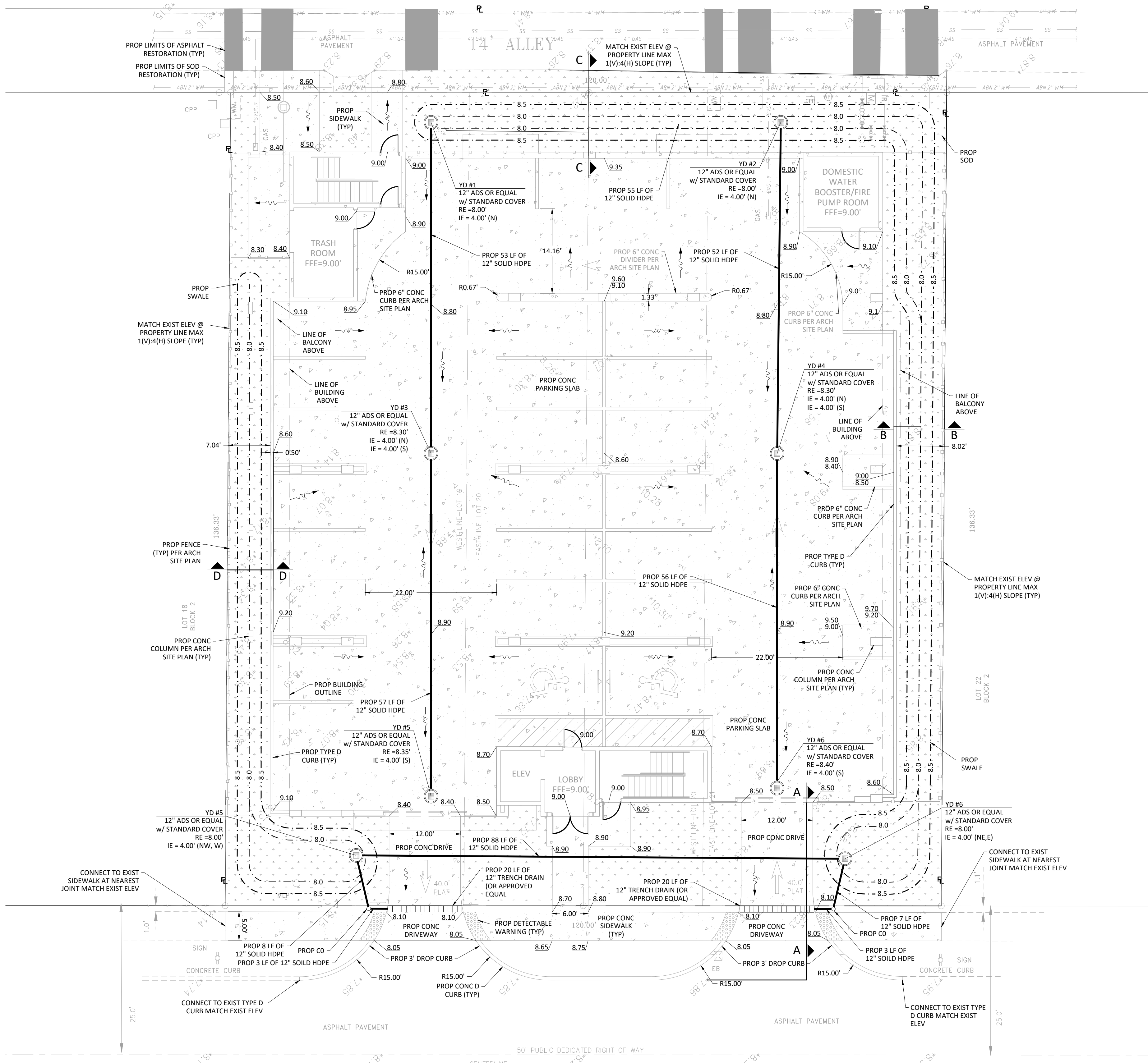
**JFS Design Inc.**  
LANDSCAPE ARCHITECTURE  
LC 000183  
1833 NW 140th TERRACE  
PINE BLUFF, FL. 33428  
jimmy@jfsdesignfl.com

A WRITTEN TREE REMOVAL PERMIT IS  
REQUIRED FROM THE CITY OF  
HOLLYWOOD PRIOR TO REMOVAL OF ANY  
NON-EXEMPT TREE OR PALMS FROM THE  
SITE.

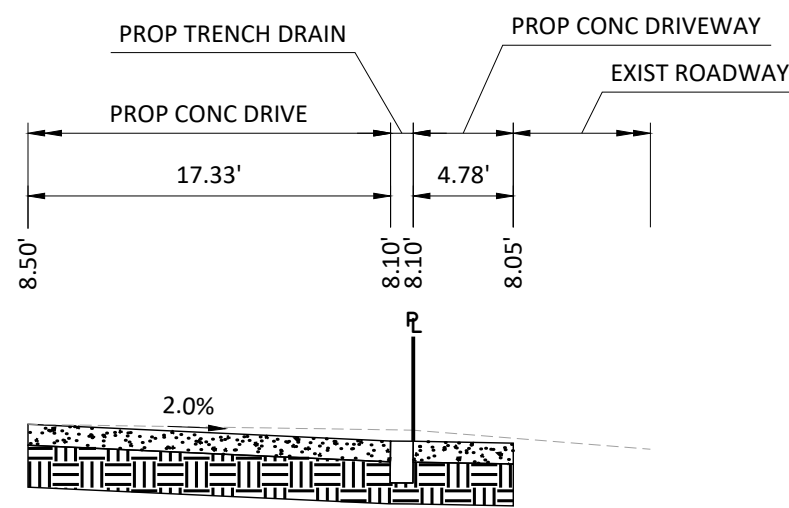
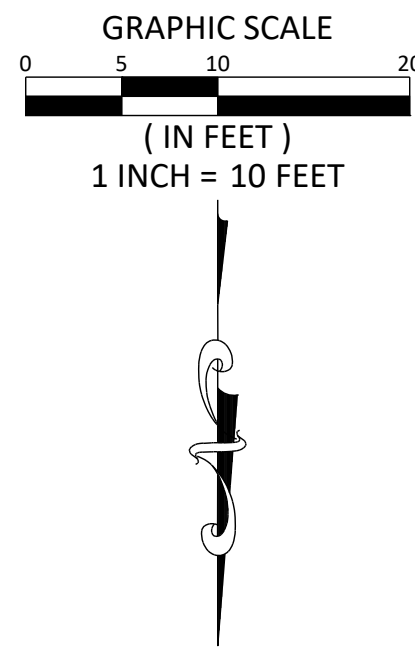
SEE SHEETS IRR-1 THROUGH IRR-4 FOR  
GROUND LEVEL SITE IRRIGATION PLAN,  
AND UPPER LEVEL IRRIGATION PLANS.



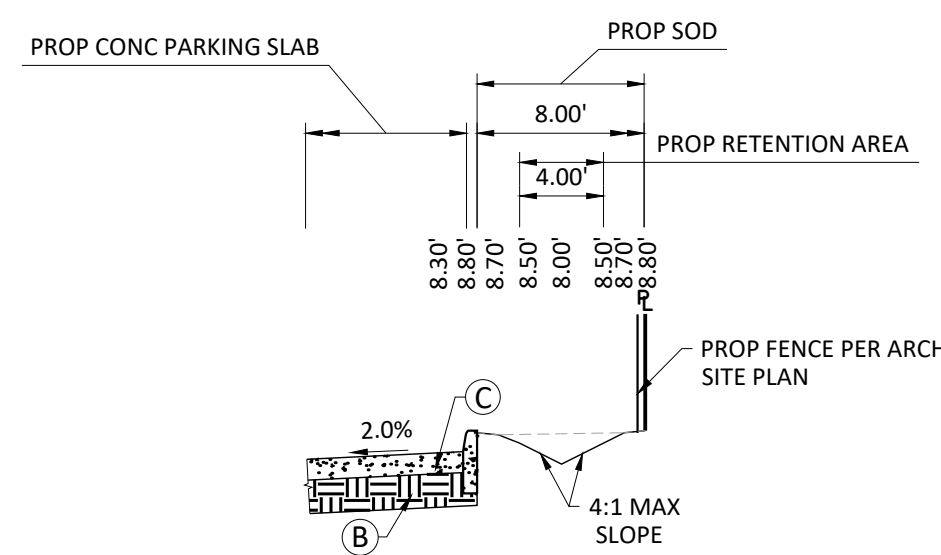
## ROOF-POOL LEVEL IRRIGATION PLAN



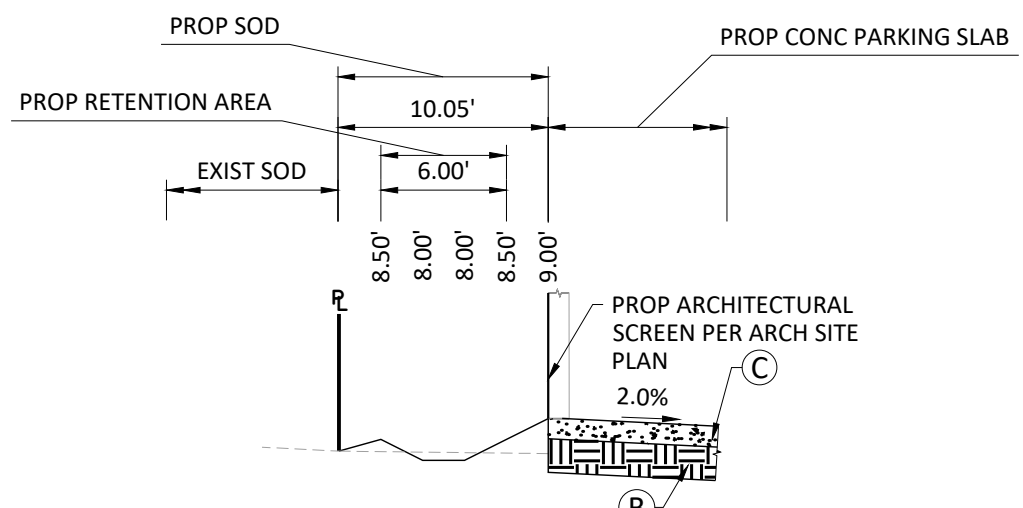
NOTES:  
1. VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).



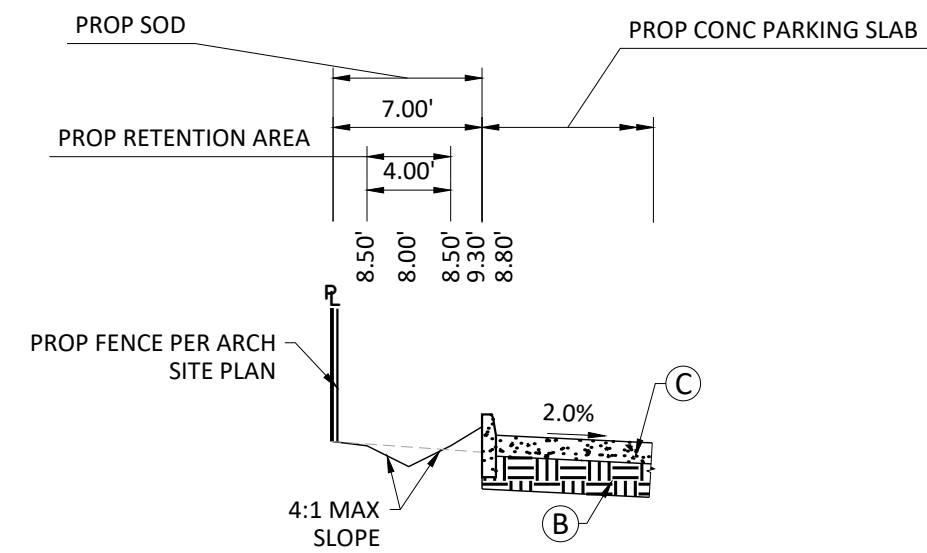
SECTION A - A



SECTION B - B



SECTION C - C



SECTION D - D

- (A) 1" MILL & RESURFACE
  - (B) PROP 12" STABILIZED SUBGRADE (MIN. LBR 40)
  - (C) PROP CONC SIDEWALK (MIN. 6" THICK)
  - (D) CONC PAVERS
  - (E) 2" COMPACTED SAND BED W/ GEOTEXTILE UNDER
- SCALE: 1" = 10' HORIZONTAL  
1" = 5' VERTICAL

LEGEND					
ARCH	ARCHITECTURAL	GV	GATE VALVE	STR	STRUCTURE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE	TOP	TOP OF PIPE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
CLEAR	CLEARANCE	IE	INVERT ELEVATION	WM	WATER MAIN
CO	CLEAN OUT	INV	INVERT OF PIPE	w/	WITH
CONC	CONCRETE	LF	LINEAR FEET	YD	YARD DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE		EXIST GRADE (FT-NAVD)
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE		PROP GRADE (FT-NAVD)
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE		FLOW ARROW
ELEV	ELEVATION	PROP	PROPOSED		PROPERTY LINE
EXIST	EXISTING	RE	RIM ELEVATION		EASEMENT LINE
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE		R/W LINE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER		
FT	FEET	R/W	RIGHT OF WAY		

No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK  
DATE: 7/20/2022  
DRAWN: LJ  
DATE: 7/20/2022  
CHECKED: JFT  
DATE: 7/20/2022

**THOMPSON & ASSOCIATES**  
412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
MIAMI-DADE (305) 714-2510  
BROWARD (954) 761-1073  
PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

PAVING GRADING AND DRAINAGE PLAN

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE KRAWCZYK, PE ON 6/20/2023.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

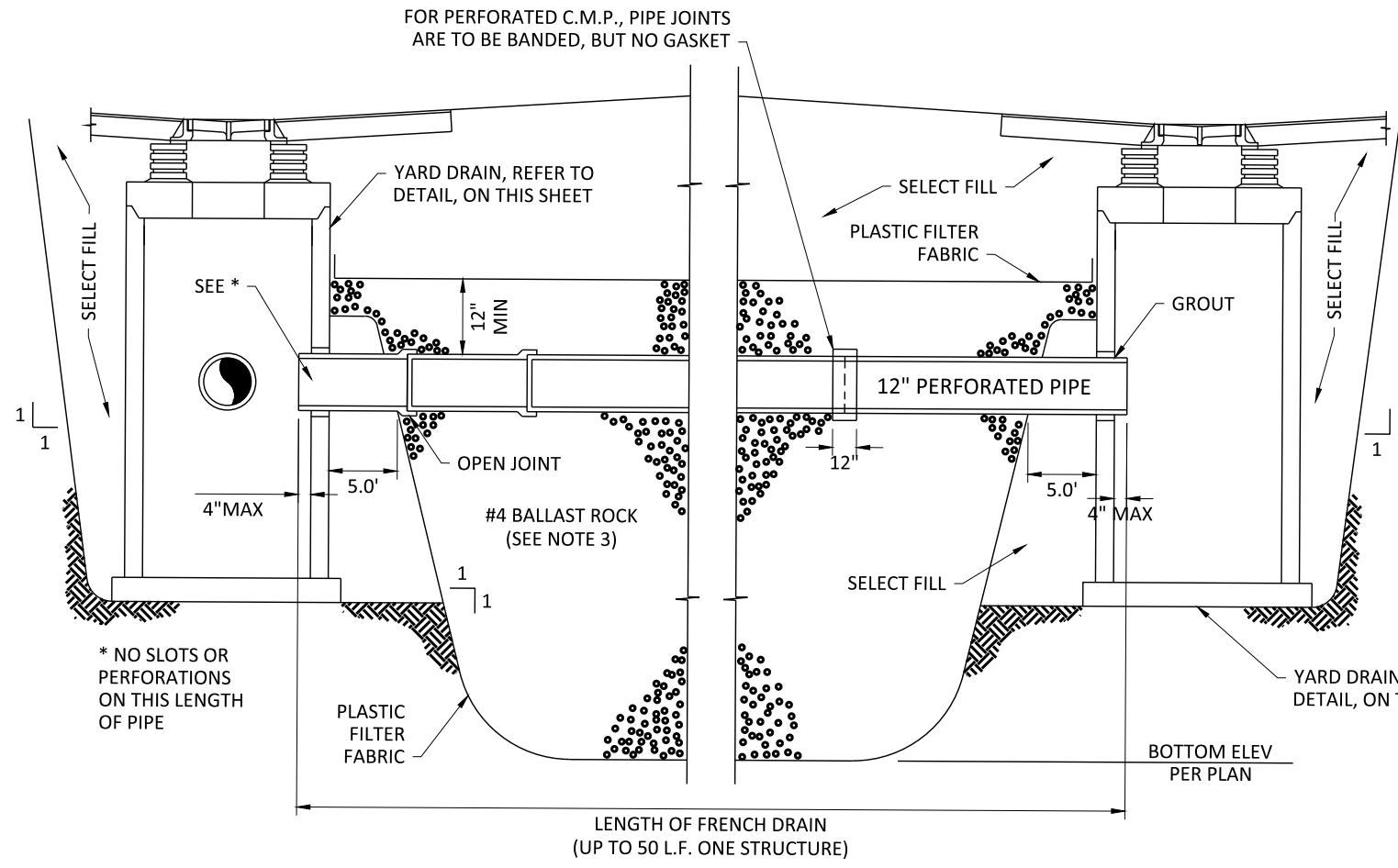
SCALE:	1" = 10'
PROJECT No.:	22034
CAD FILE:	22034 PGD.dwg

SHEET:  
**C-1**

**Sunshine811**  
Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.  
*Check positive response codes before you dig!*

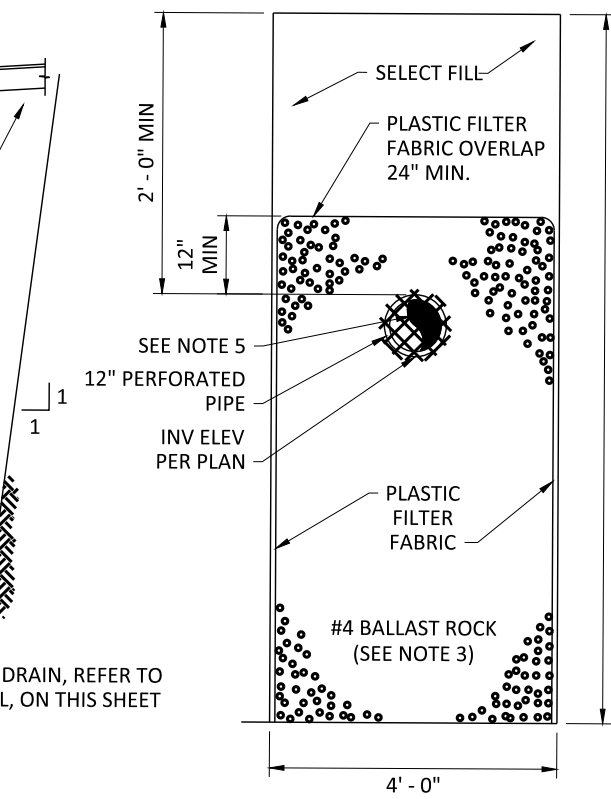
TAC REVIEW PLANS



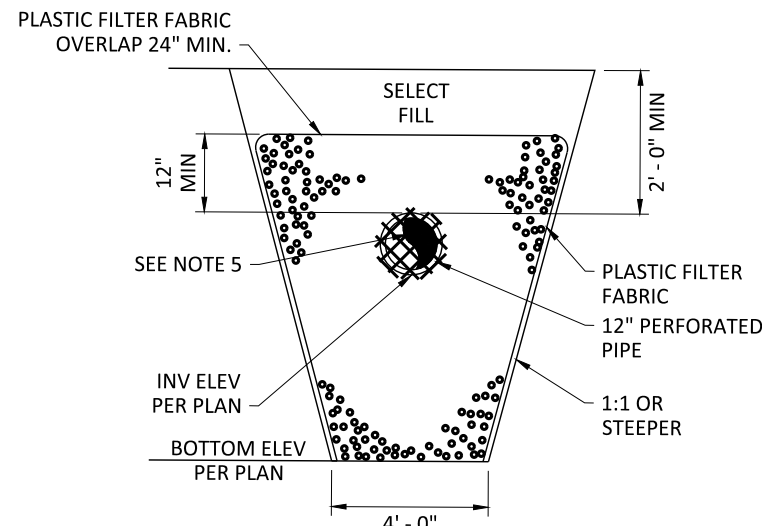


LONGITUDE SECTION

- NOTES:
- NON-WOVEN PLASTIC FILTER FABRIC PER F.D.O.T. STANDARD INDEX #199 (TYPE D-3 FOR FRENCH DRAIN) SHALL BE USED AT EACH SIDE AND ON TOP, AND AT EACH END OF FRENCH DRAIN TRENCH. SHOP DRAWINGS, AND A SAMPLE OF THE MATERIAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING THE FABRIC.
  - THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE SET 15.0 FEET BELOW LOWEST CATCH BASIN GRATE ELEVATION, UNLESS OTHERWISE NOTED.
  - AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY VIBRATED OR COMPACTED IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH CAN BE COMPLETED IN ACCORDANCE WITH THE DETAIL.
  - REFER TO PLANS FOR INVERT ELEVATION
  - DEAD END EXFILTRATION TRENCH SHALL HAVE #10-1" x 1" GALV. STEEL OR ALUMINUM WIRE MESH. (OVER END OF PIPE).

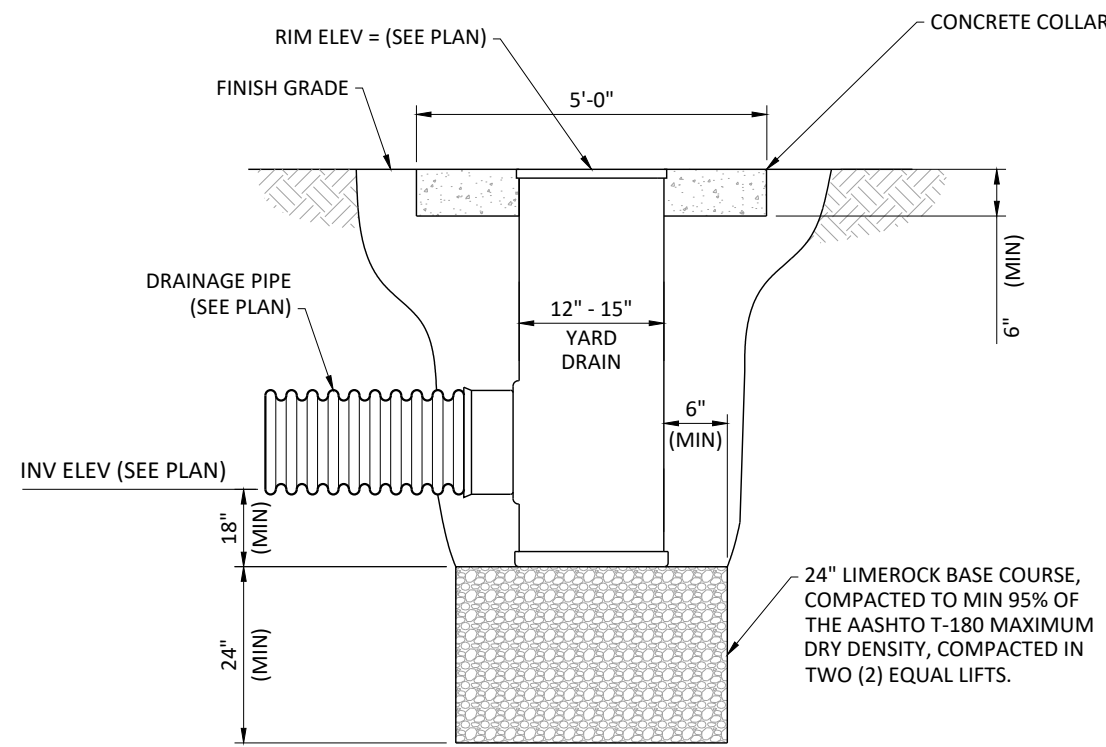


TRANSVERSE SECTION



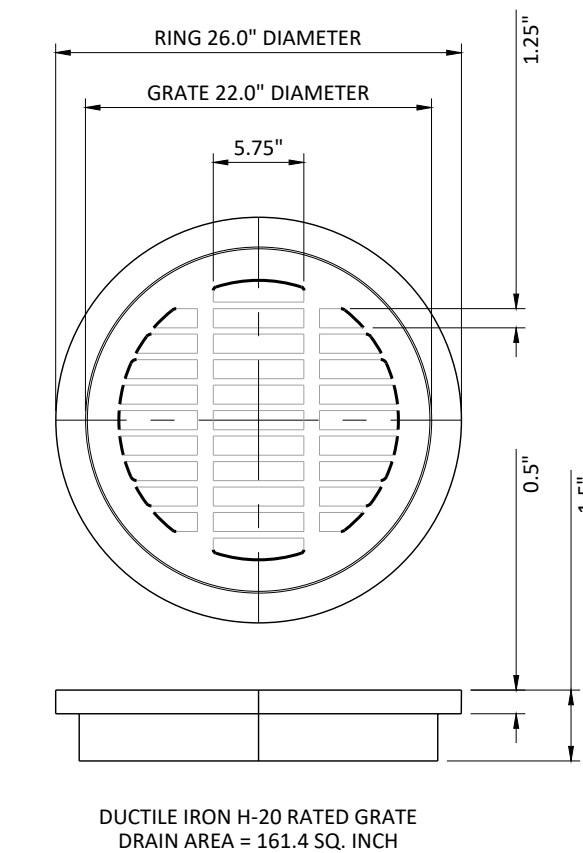
ALTERNATE TRANSVERSE SECTION  
MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.

TYPICAL DETAIL EXFILTRATION TRENCH



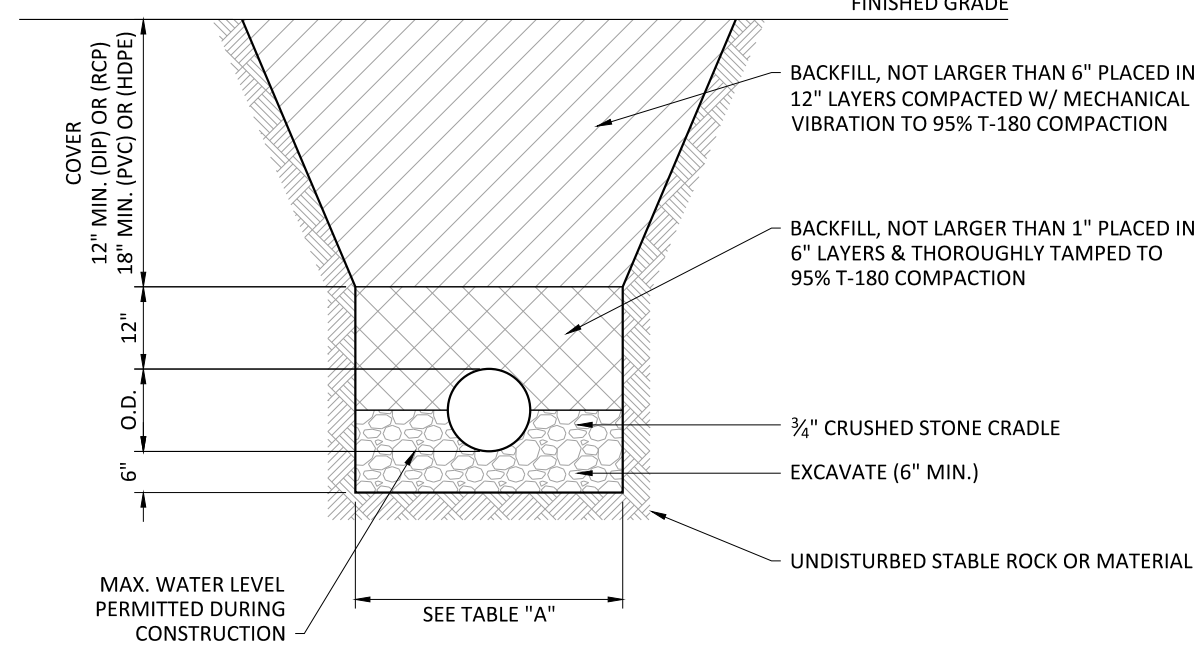
AS MANUFACTURED BY  
"NYLOPLAST AMERICA"  
OR APPROVED EQUAL

CONCRETE COLLAR DETAIL



NOTE:  
GRATE MATERIAL SHALL CONFORM  
TO ASTM A48 - CLASS 30B

TYPICAL GRATE DETAIL

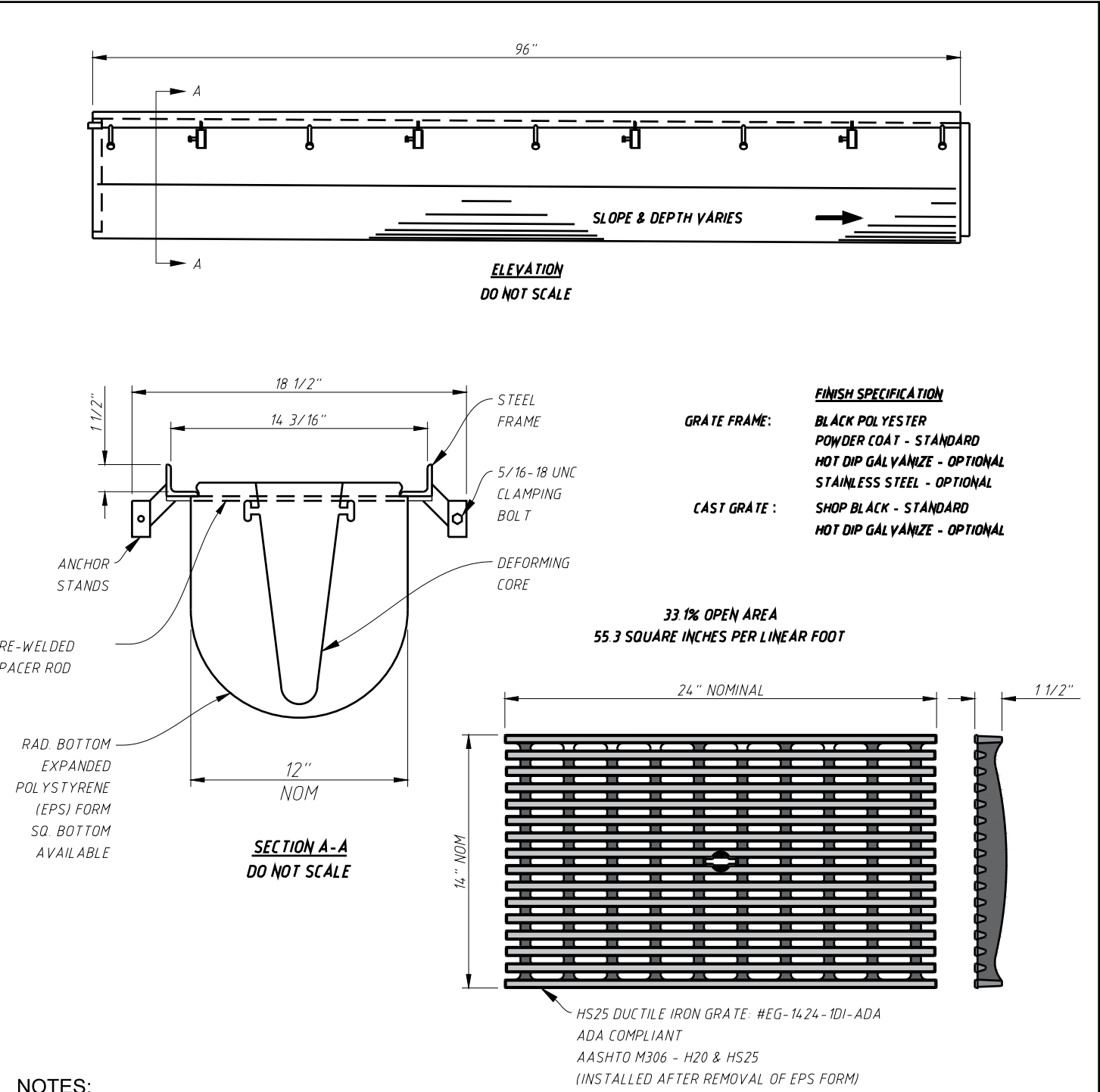


- NOTES:
- COMPACTION AND BACKFILL SHALL BE IN STRICT CONFORMANCE WITH PIPE MANUFACTURER STANDARDS AND SPECIFICATIONS.
  - MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O.
  - MAXIMUM DEPTH TO BOTTOM OF PRESSURE MAINS SHALL NOT EXCEED SIX (6) FEET.

TABLE "A"		
PIPE SIZE	DEPTH OF BACKFILL AT WHICH TRENCH WIDTH IS TO BE LIMITED	MAXIMUM TRENCH WIDTH
8"	15"	3' - 0"
12"	12"	3' - 3"

DIMENSIONS SHOWN APPLY TO ALL FOUNDATIONS

PIPE INSTALLATION AND BEDDING DETAIL



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
  - A TRENCH SHALL BE EXCAVATED A MINIMUM OF 6" WIDER THAN THE OVERALL WIDTH OF THE STEEL FRAME TO MINIMUM ON EACH SIDE AND A MINIMUM OF 6 INCHES DEEPER THAN THE OVERALL DEPTH OF THE ECONODRAIN EPS FORM
  - DO NOT SCALE DRAWINGS

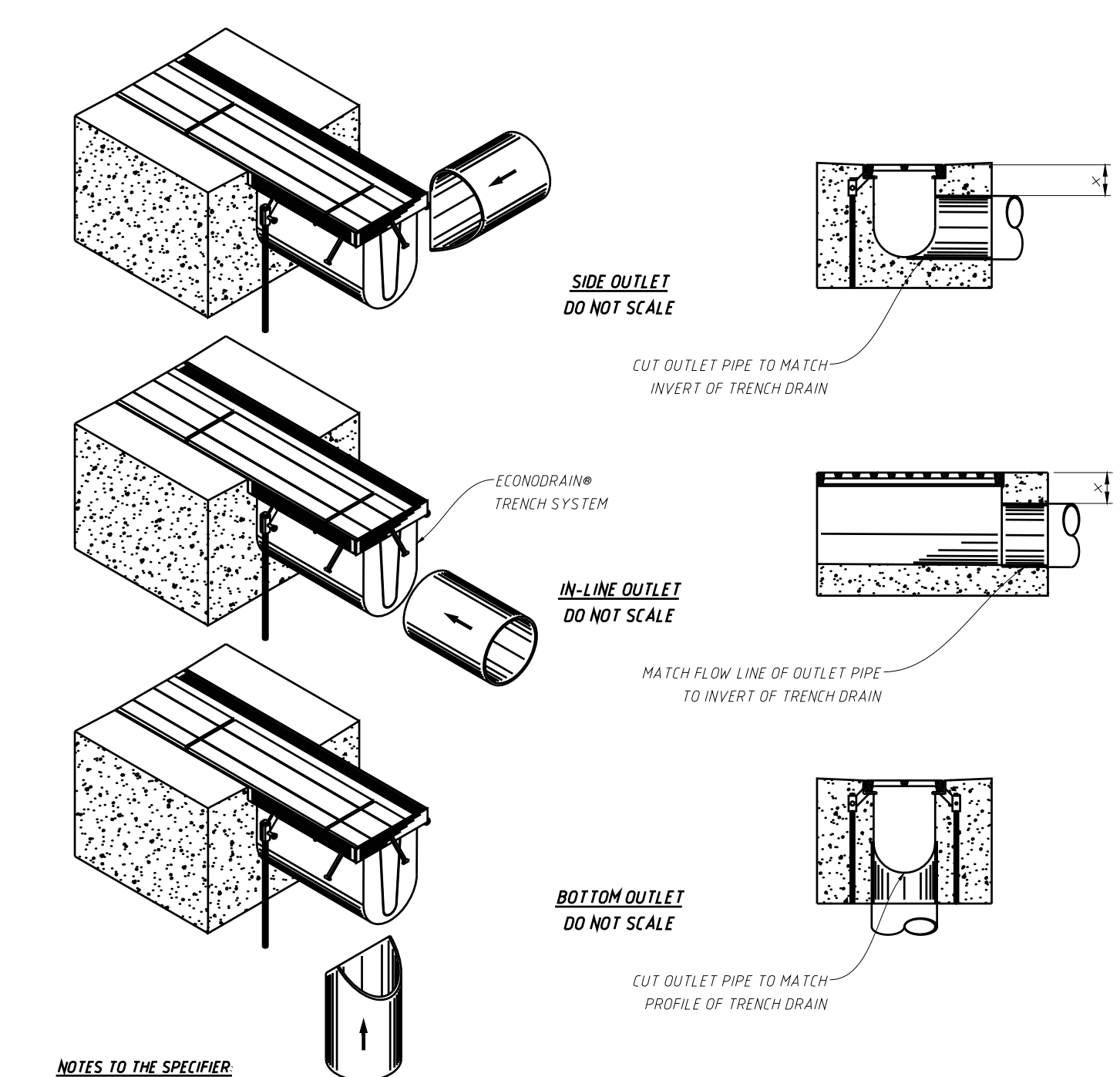
**MultiDrain**

800 INDUSTRIAL DRIVE  
STATISTVILLE, NC 28680  
(704) 588-8800  
4800-130-100  
www.multiprainsystems.com

EconoDrain Series #12"(OR APPROVED EQUAL)  
Standard Pre-Welded Frame

FILE NUMBER: CSI-ED-1296-101-ADA-14a  
REV: 00

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- NOTES TO THE SPECIFIER:
- ADD REBAR AS REQUIRED
  - SPECIFY MINIMUM CONCRETE ENCASEMENT
  - 4" MINIMUM CONCRETE COVERAGE OF OUTLET PIPE IS RECOMMENDED (Labeled WITH -1)
  - FINAL CONCRETE THICKNESS PER LOCAL ENGINEERING REGULATIONS AND GUIDELINES

- CONSTRUCTION NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
  - SECURE OUTLET PIPE PRIOR TO CONCRETING OPERATIONS
  - FOR ILLUSTRATION ONLY - DO NOT SCALE DRAWINGS

**MultiDrain**

800 INDUSTRIAL DRIVE  
STATISTVILLE, NC 28680  
(704) 588-8800  
4800-130-100  
www.multiprainsystems.com

EconoDrain (OR APPROVED EQUAL)  
Outlets From End of Trench

FILE NUMBER: CSI-ED-OUTLET-TR-00-14a  
REV: 00

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1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

PAVING GRADING AND DRAINAGE DETAILS

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA,  
LICENSE No. 66646  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE  
KRAWCZYK, PE ON 6/20/2023.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED  
AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY  
ELECTRONIC COPIES.

SCALE:  
1" = 10'  
PROJECT No.:  
22034  
CAD FILE:  
22034 GN.dwg

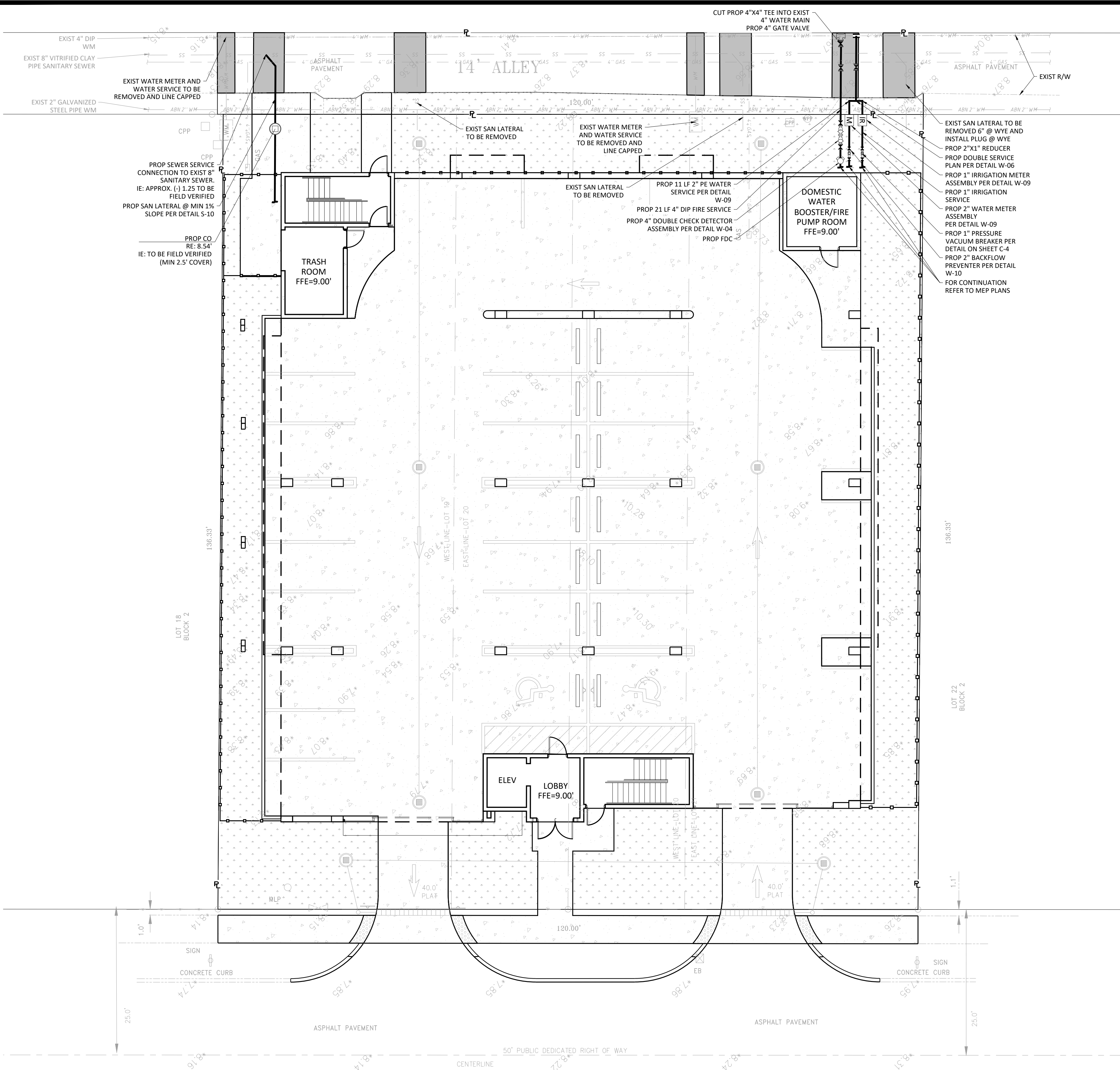
SHEET:

C-2

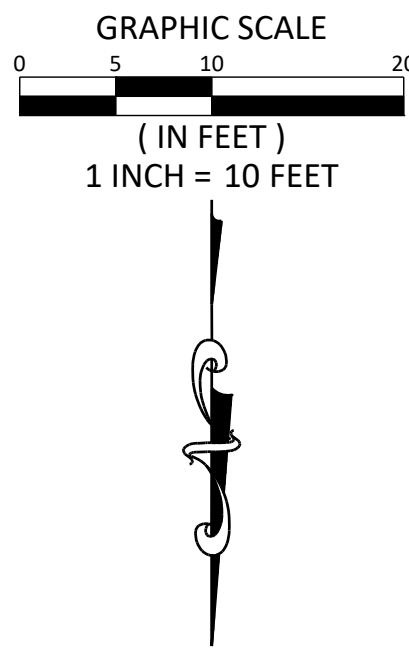
TAC REVIEW PLANS





PLOTTED BY: T&A-News  
 PLOT DATE: 6/20/2023  
 FILE PATH: Y:\CURRENT PROJECTS\2024-01-14 Pierce Street Hollywood MG3\PLAN\32024 W&S.dwg



- NOTES:
- VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).



Date:	5/9/23	Time:	3:08pm	Static Pressure -		55psi
Residual/Static Hydrant		Address/Location		Residual Pressures		
P - Hydrant FH004532	1901 pierce st	F-1 Only		F-2 Only		
		52psi		52psi		
		F-1 & F-2		 52psi		
Flow Hydrants		Address/Location		Flow Rate		
F-1 Hydrant (Individual) FH004556	600 s 20th ave			GPM		
				1130		
F-2 Hydrant (Individual) FH004531	1901 fillmore st			GPM		
				1190		
F-1 Hydrant (Both Flowing)				GPM		
				1100		
F-2 Hydrant (Both Flowing)				GPM		
				1160		

LEGEND			
ARCH	ARCHITECTURAL	GV	GATE VALVE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE
CLEAR	CLEARANCE	IE	INVERT ELEVATION
CO	CLEAN OUT	INV	INVERT OF PIPE
CONC	CONCRETE	LF	LINEAR FEET
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE
ELEV	ELEVATION	PROP	PROPOSED
EXIST	EXISTING	RE	RIM ELEVATION
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
FH	FIRE HYDRANT	R/W	RIGHT OF WAY
FT	FEET		

No.	DATE	REVISION	BY	No.	DATE	REVISION	BY


DESIGNED: GK  
DATE: 7/20/2022  
DRAWN: LJ  
DATE: 7/20/2022  
CHECKED: JFT  
DATE: 7/20/2022



THOMPSON & ASSOCIATES  
412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
MIAMI-DADE (305) 714-2510  
BROWARD (954) 761-1073  
PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

WATER AND SEWER PLANS



Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE KRAWCZYK, PE ON 6/20/2023.  
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SCALE: 1" = 10'  
PROJECT No.: 22034  
CAD FILE: 22034 W&S.dwg

SHEET: C-3



WATER SYSTEM NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	WATER SYSTEM NOTES	W-01

WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.



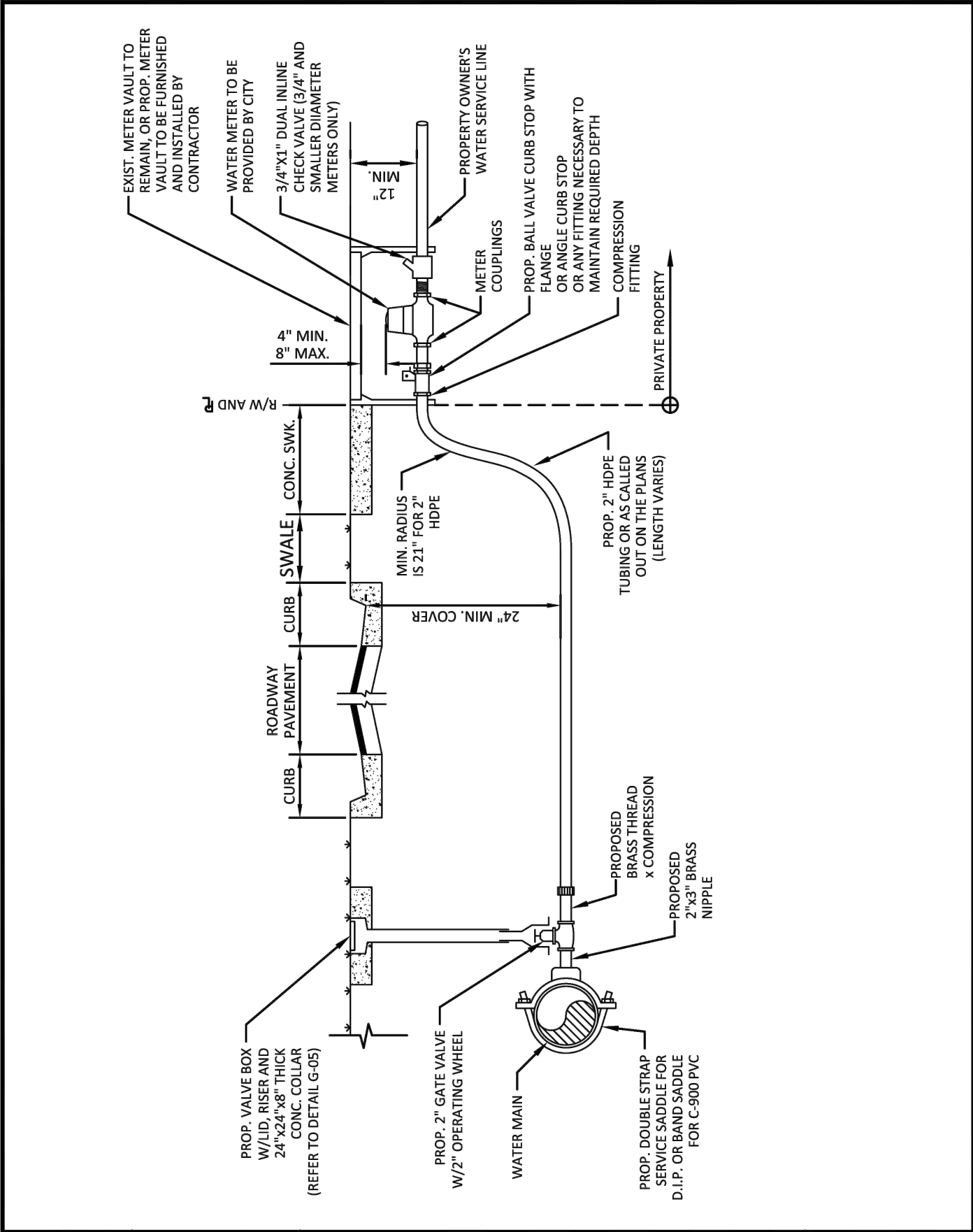
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	WATER SYSTEM NOTES	W-02

WATER METER SERVICE NOTES:

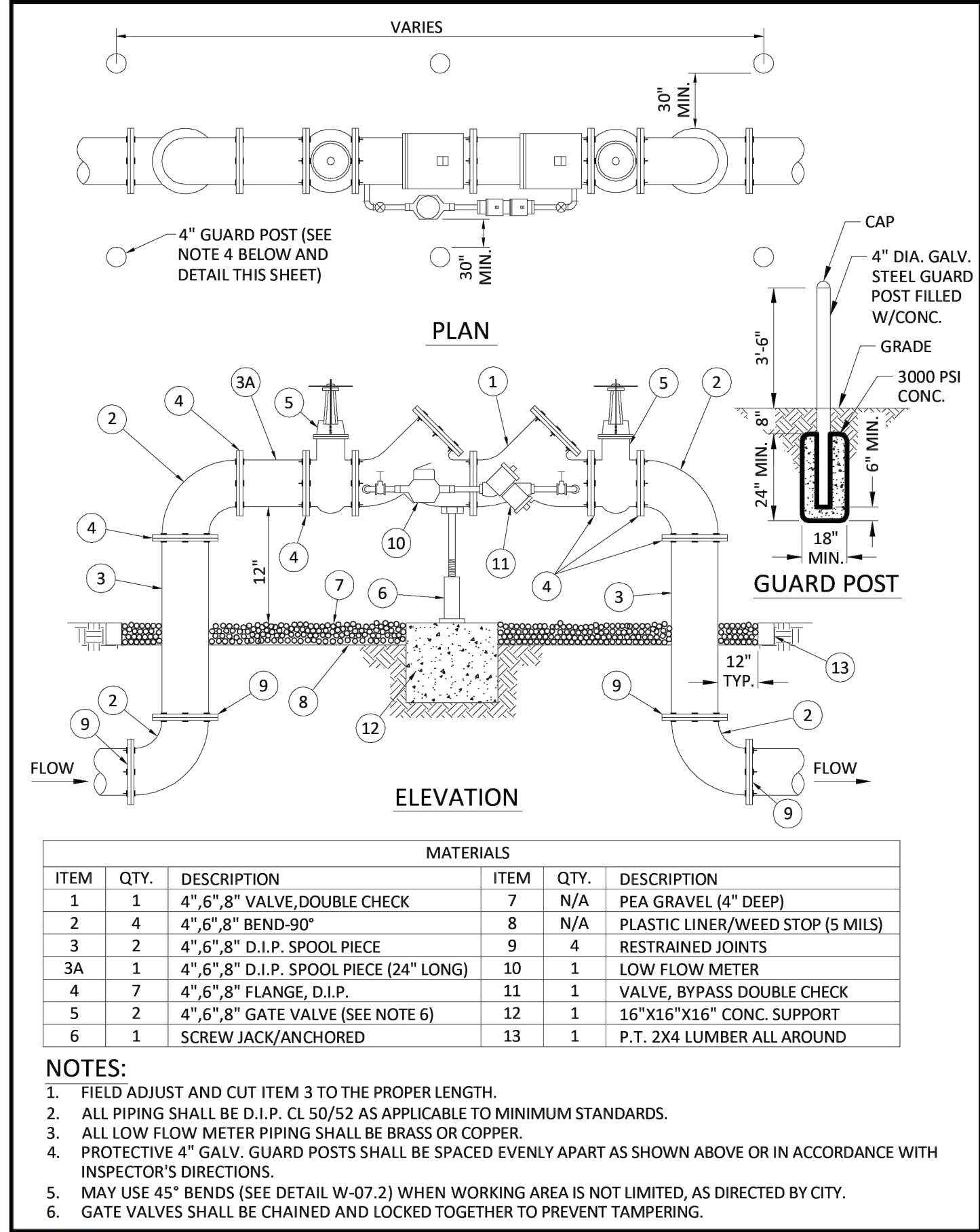
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 5/8" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
  - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
  - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING BORDWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.



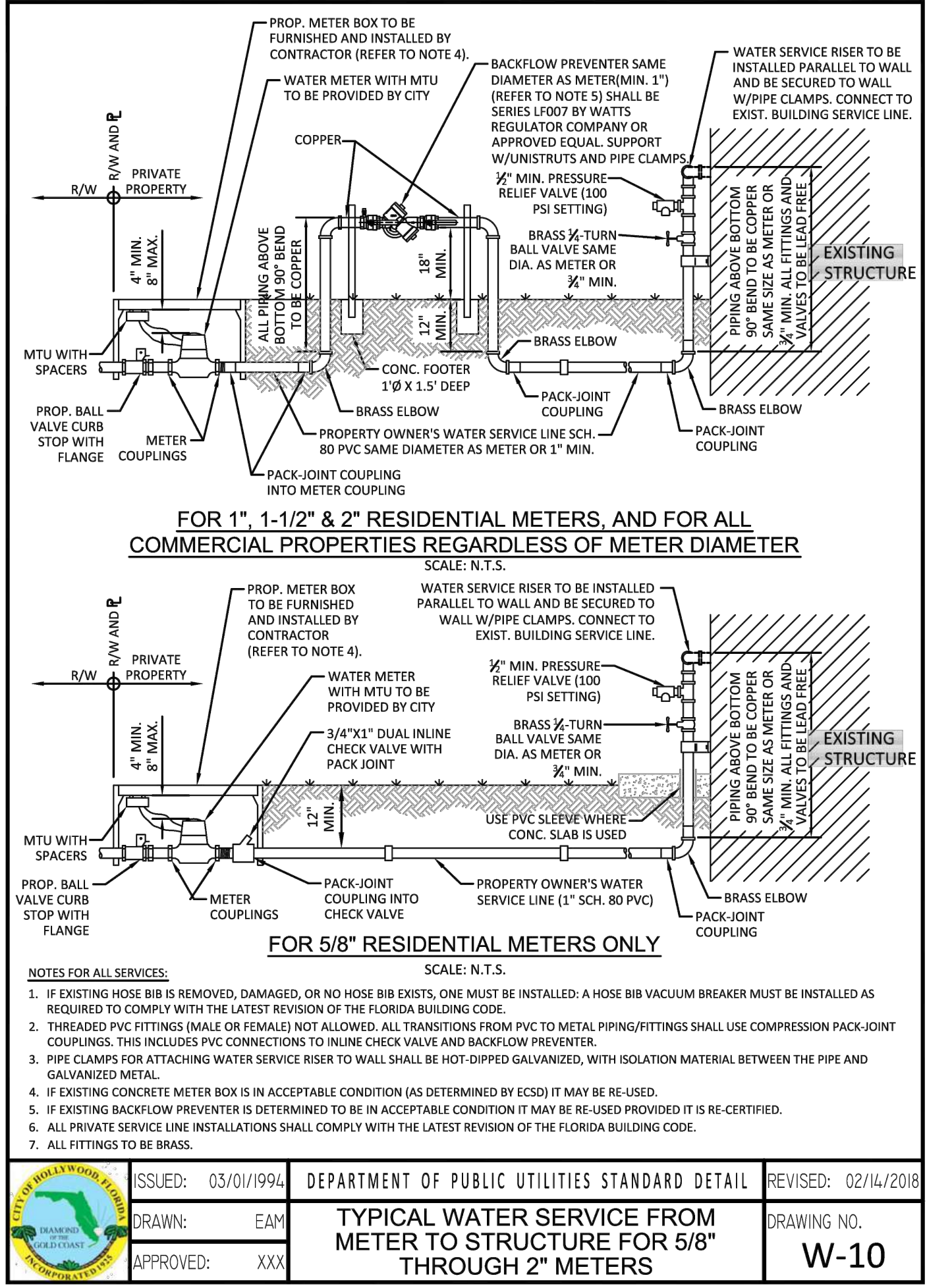
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	W-07



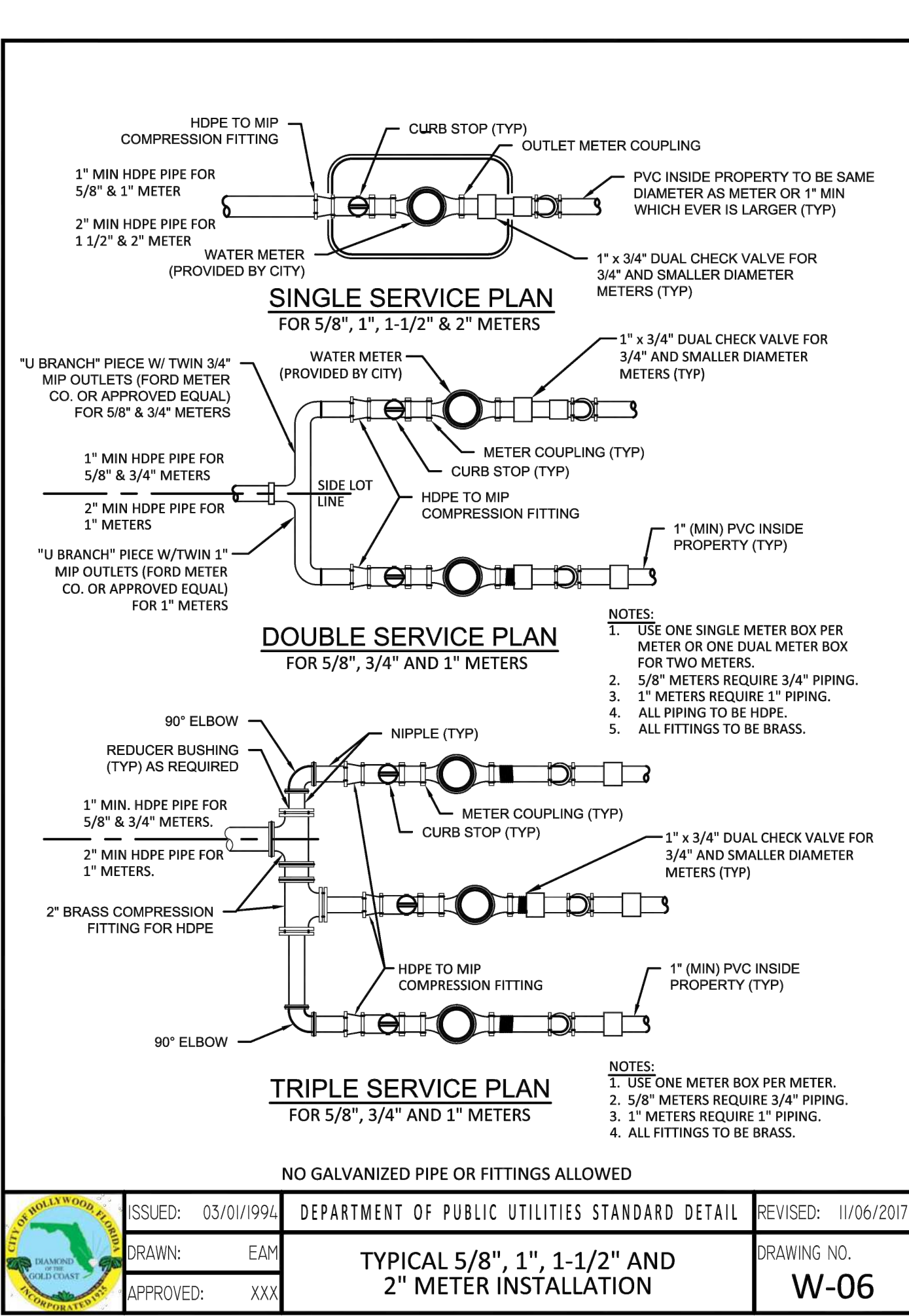
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL 2-INCH HDPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS, AND ANY SINGLE 1-1/2" TO 2" METERS	W-09



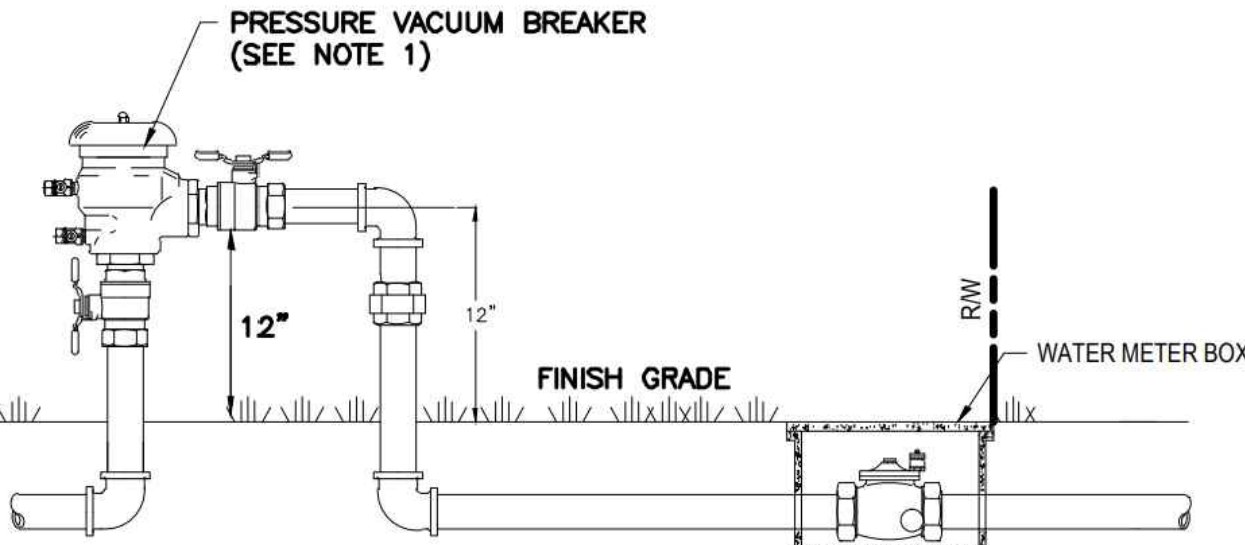
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)	W-03



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 02/14/2018
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS	W-10



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	W-06



- PRESSURE VACUUM BREAKER SHALL BE FEBCO MODEL 765, WILKINS MODEL 720A, WATTS MODEL 800M, O.A.E.

PRESSURE VACUUM BREAKER - 1/2" TO 2"

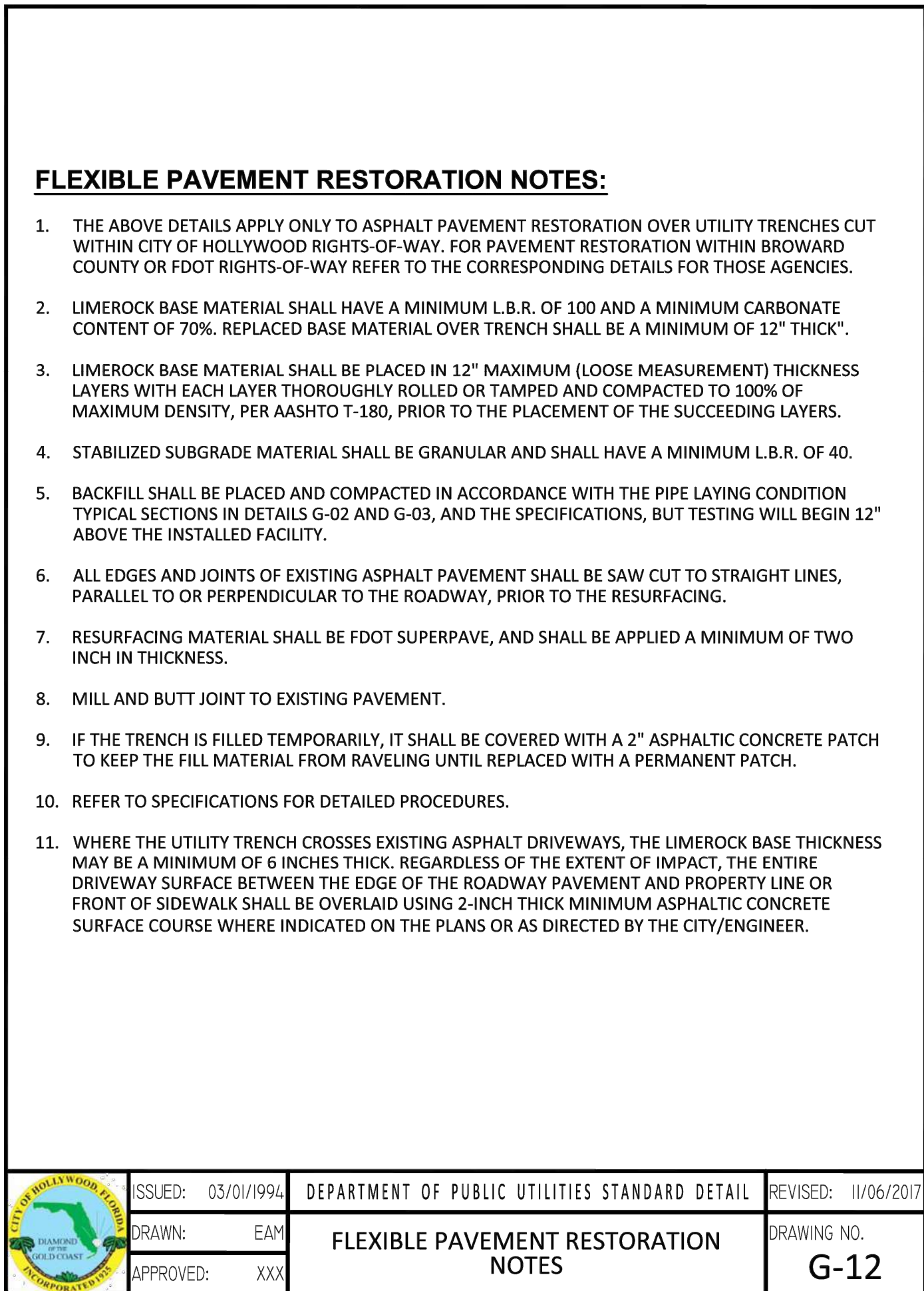
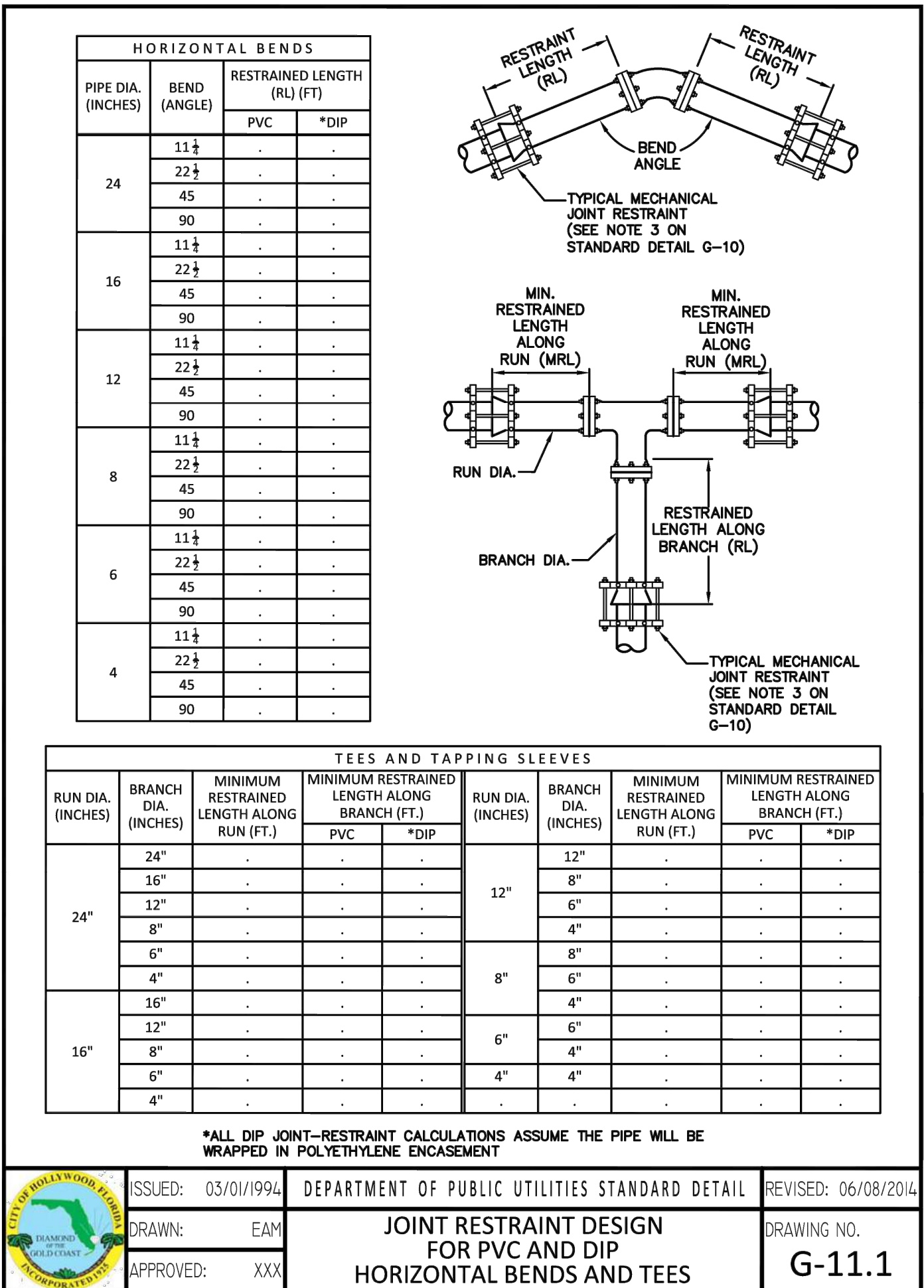
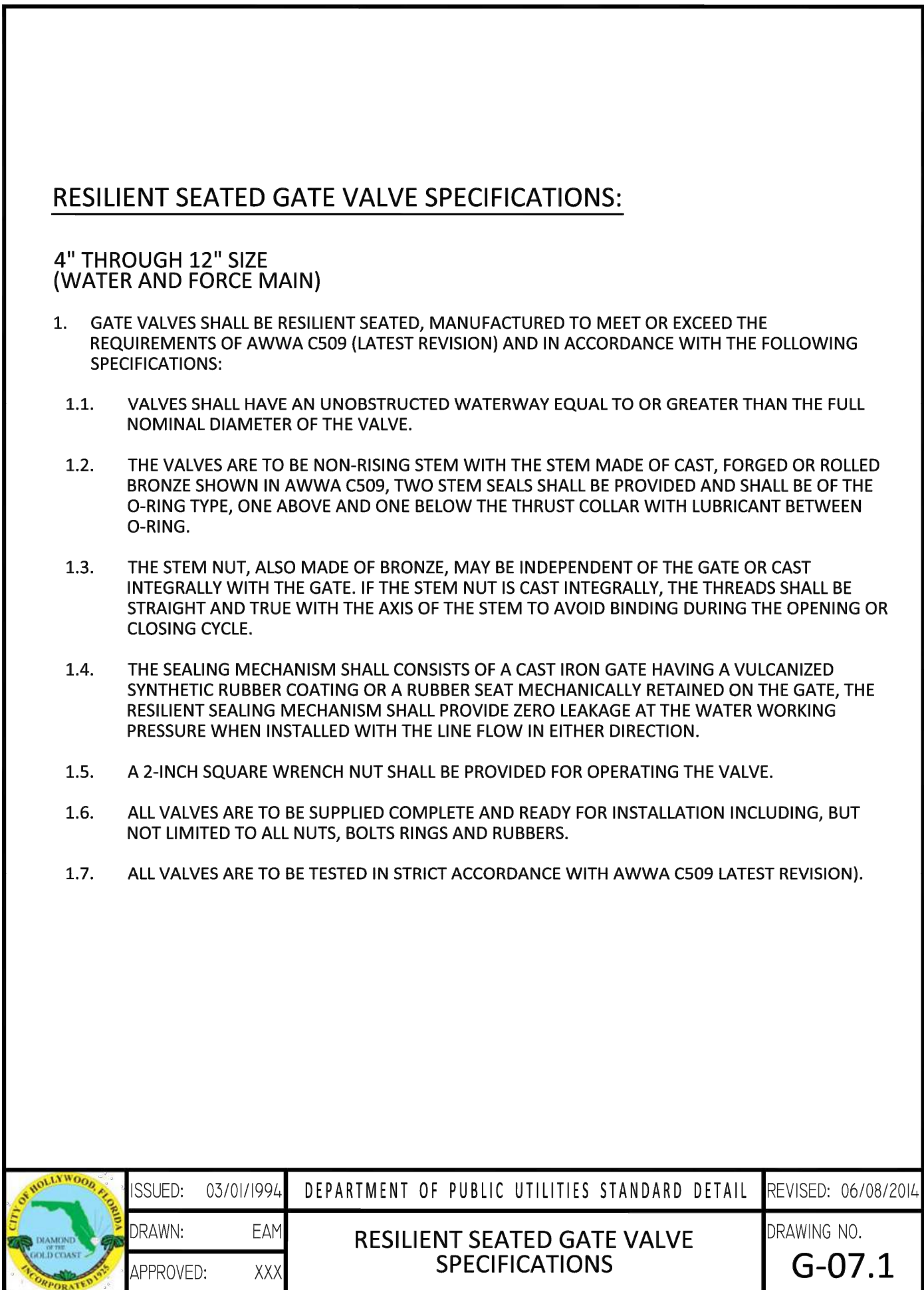
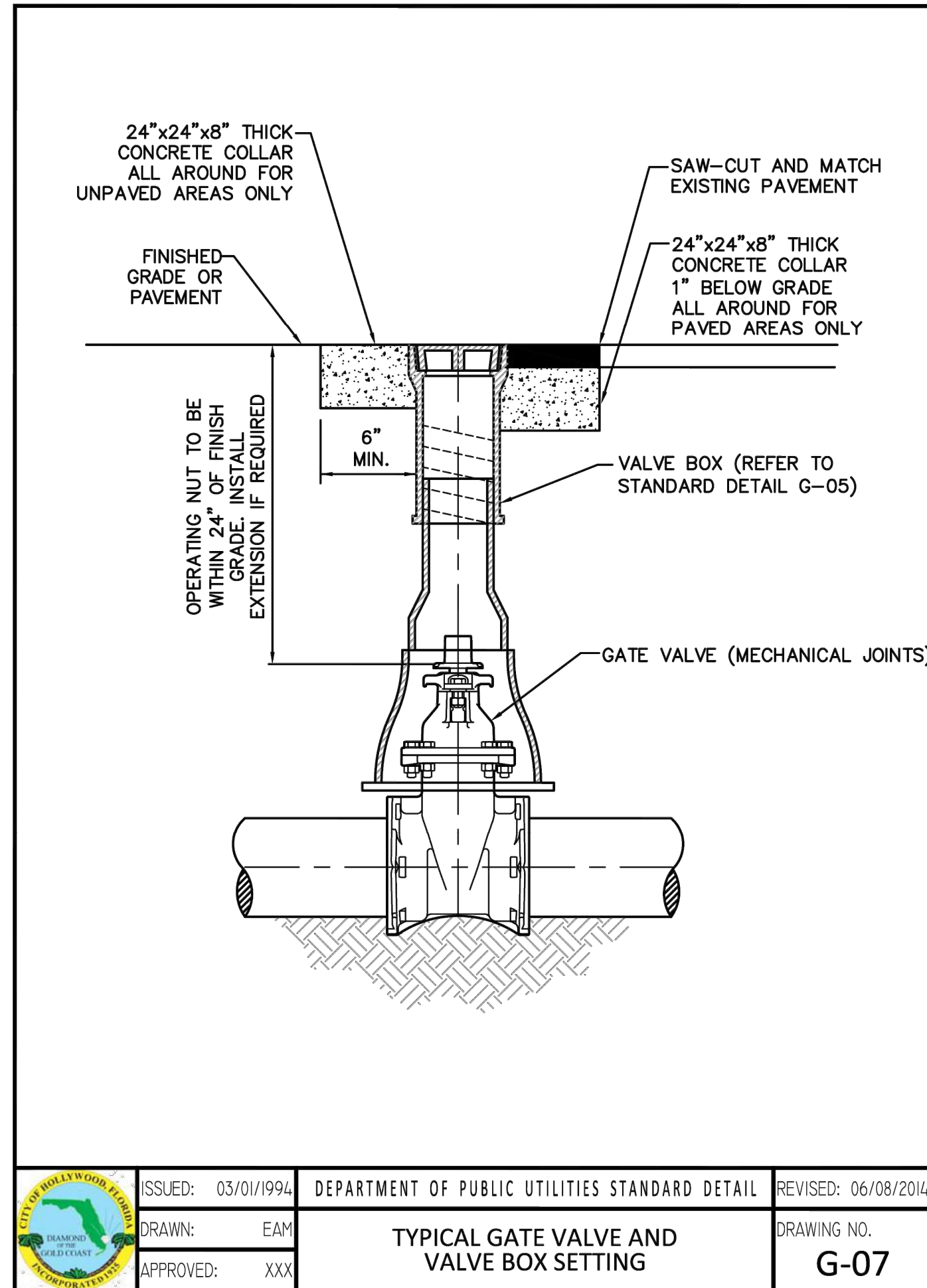
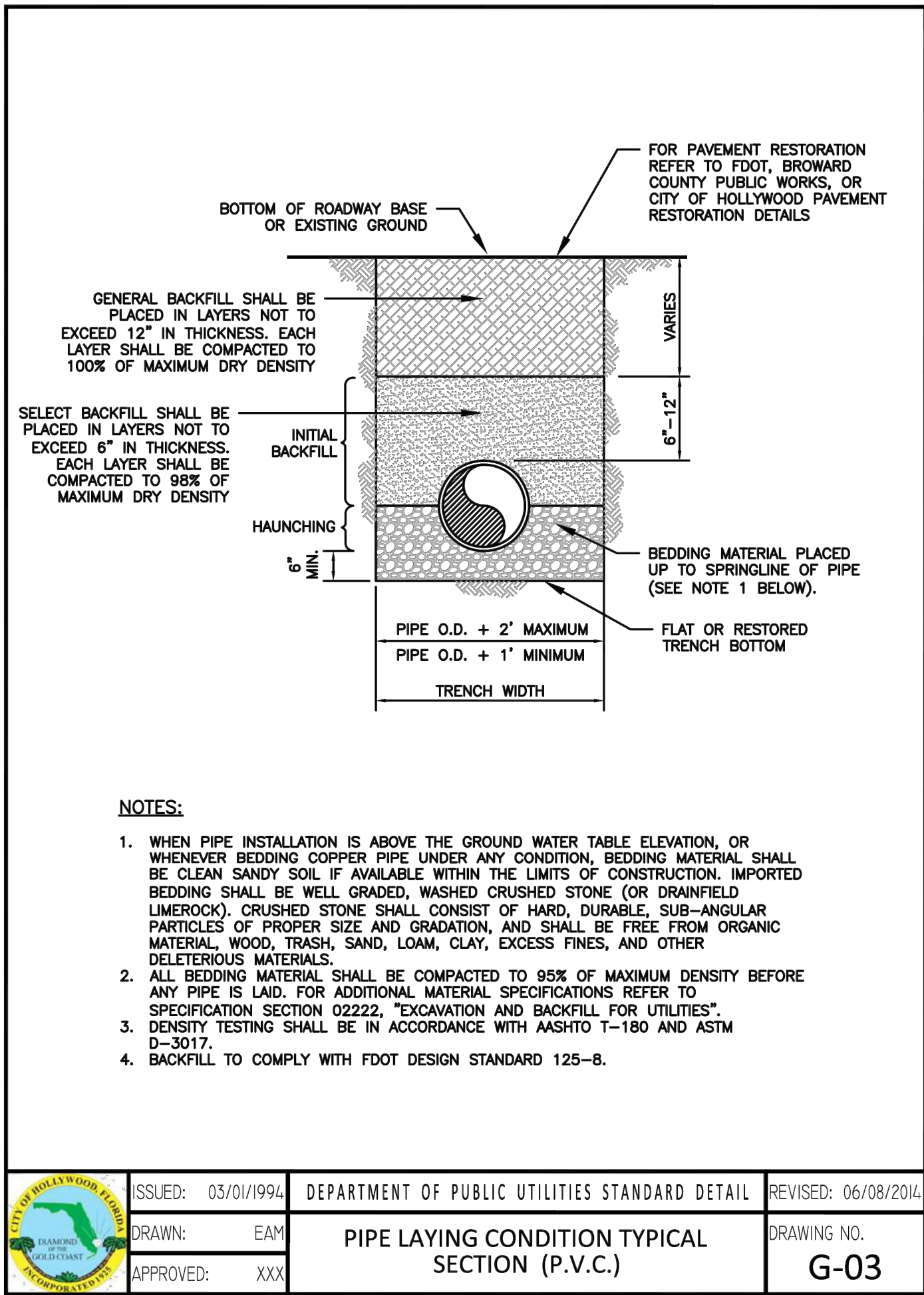
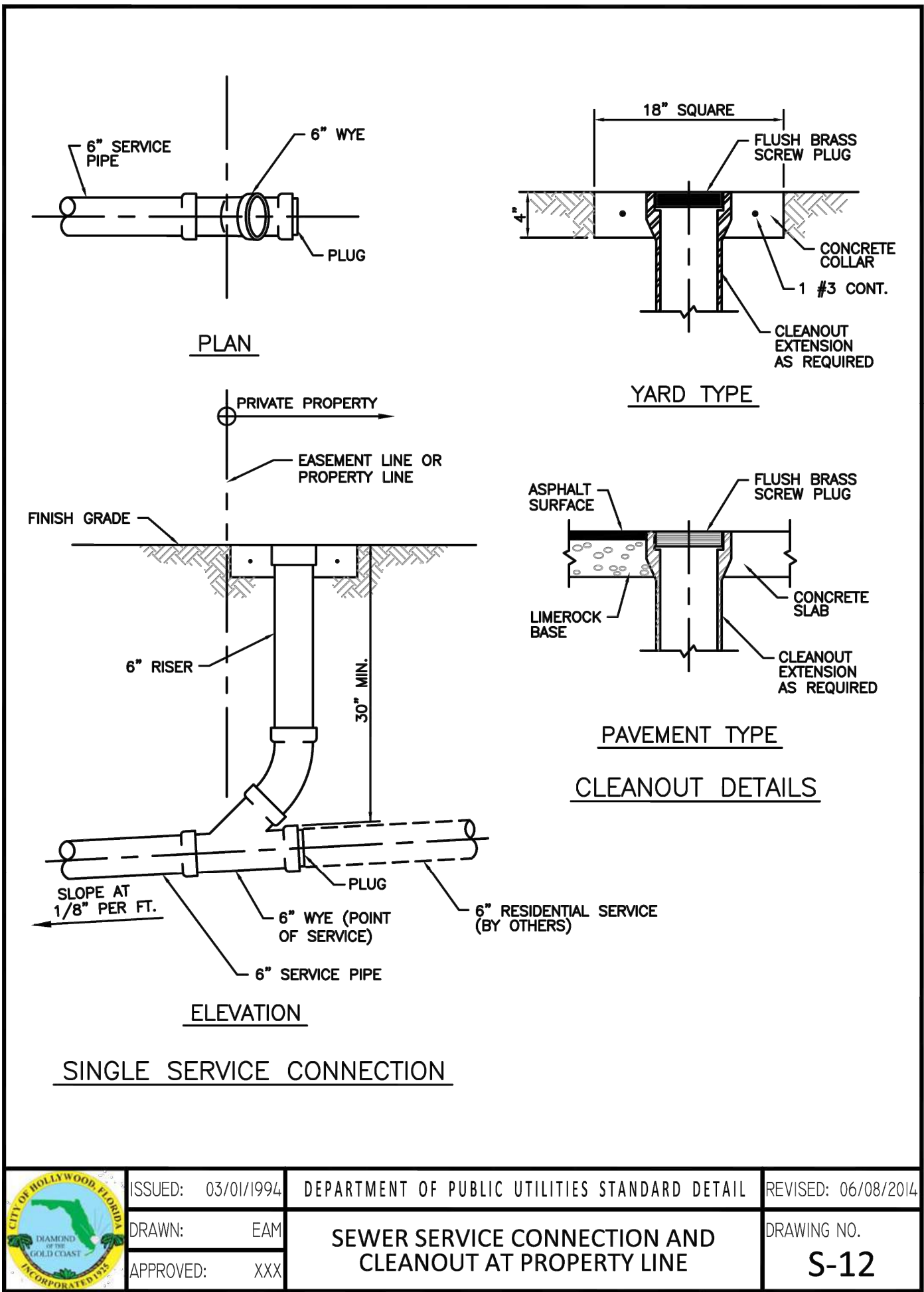
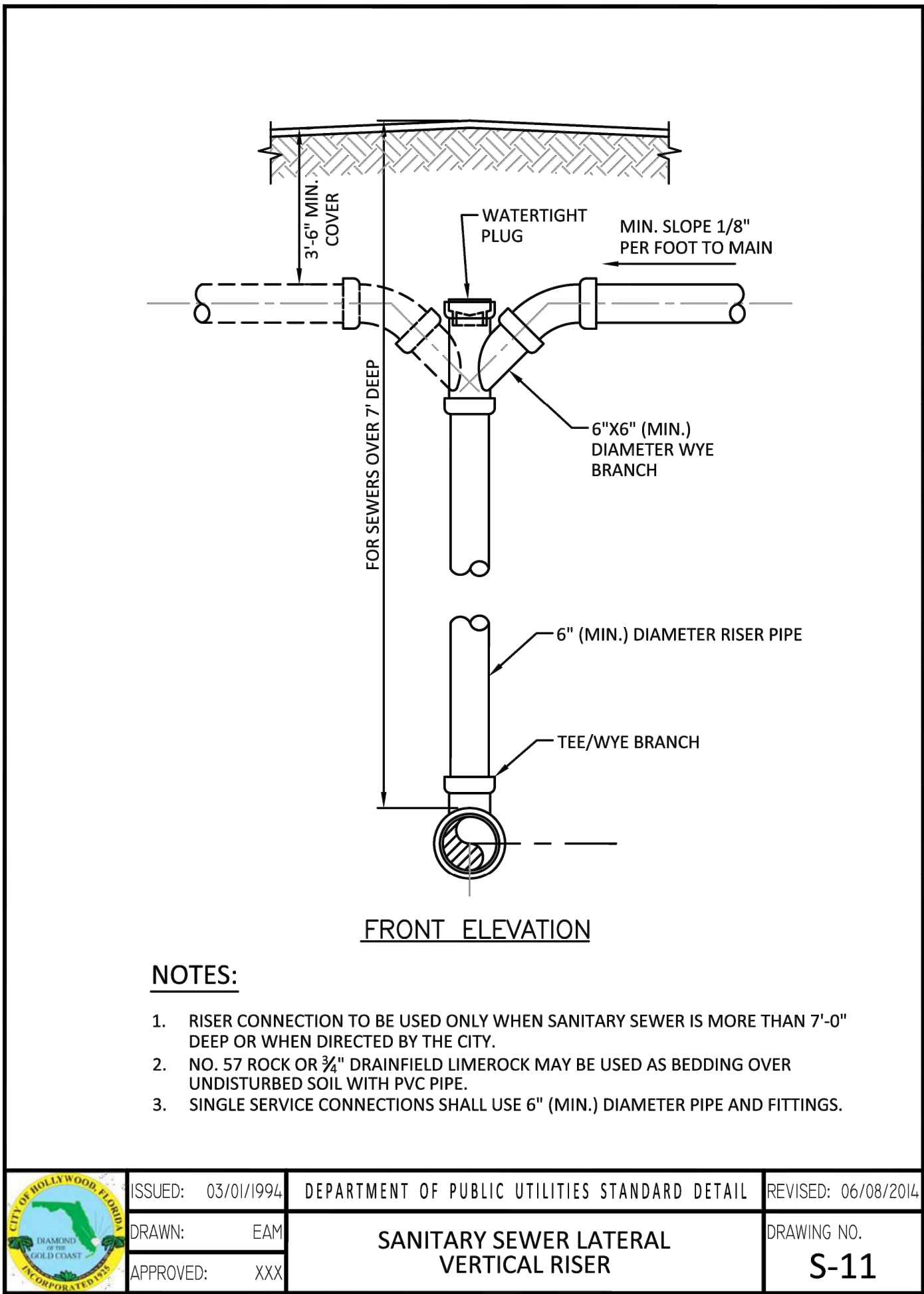
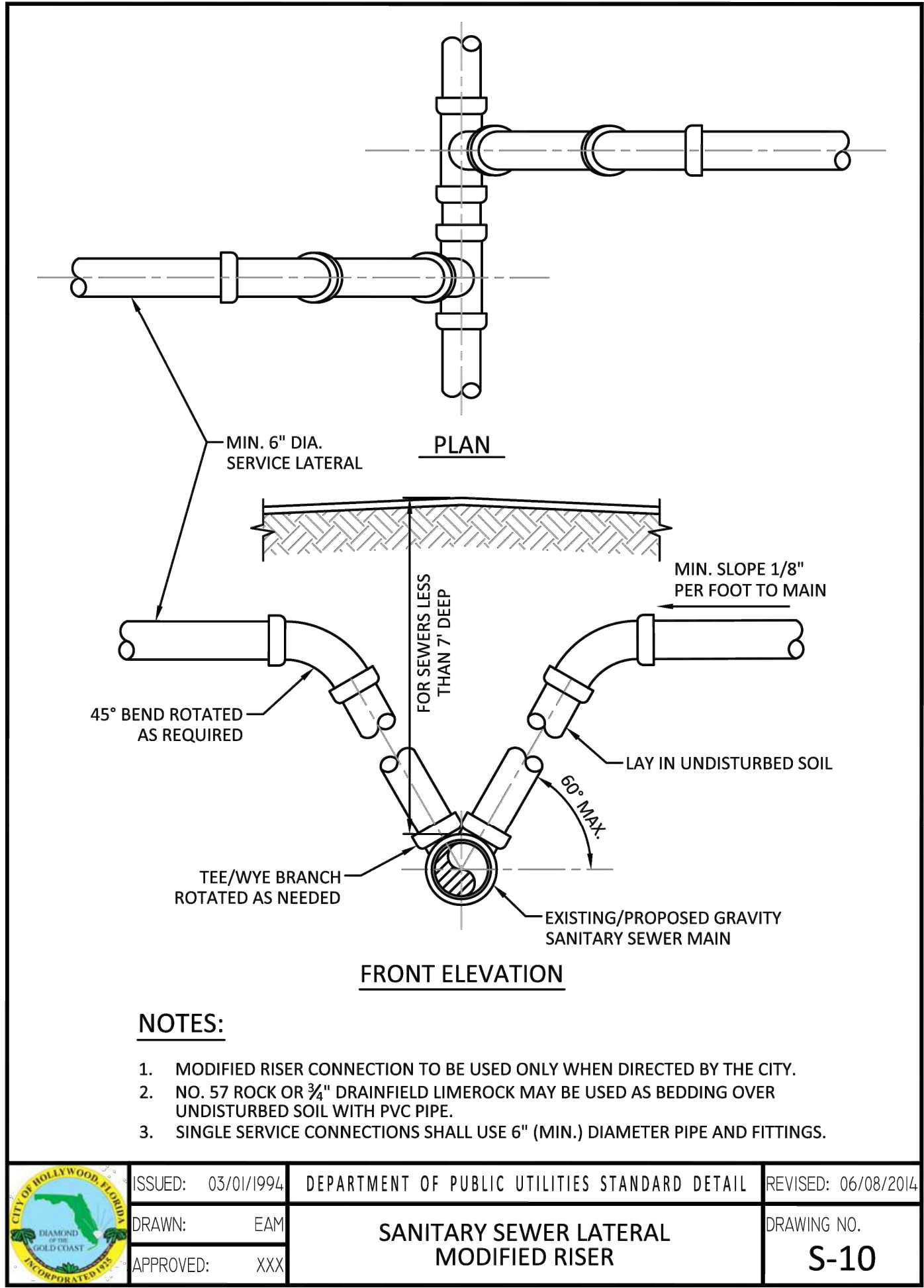
1914-1920 PIERCE STREET

HOLLYWOOD, FL. 33020

WATER AND SEWER DETAILS

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No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK  
DATE: 7/20/2022  
DRAWN: LJ  
DATE: 7/20/2022  
CHECKED: JFT  
DATE: 7/20/2022



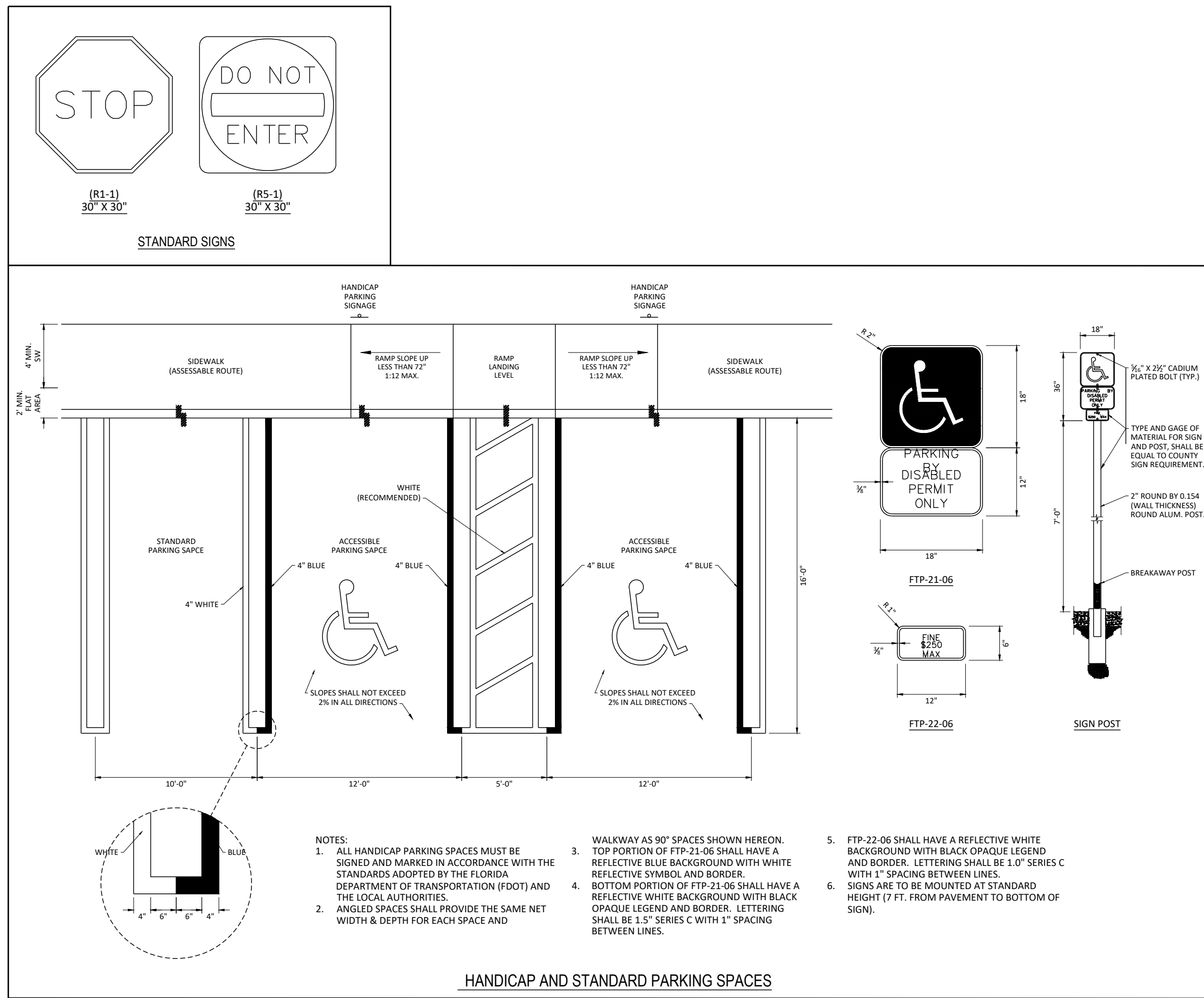
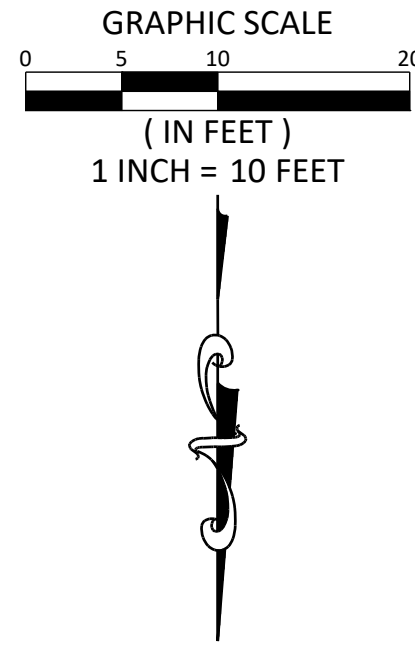
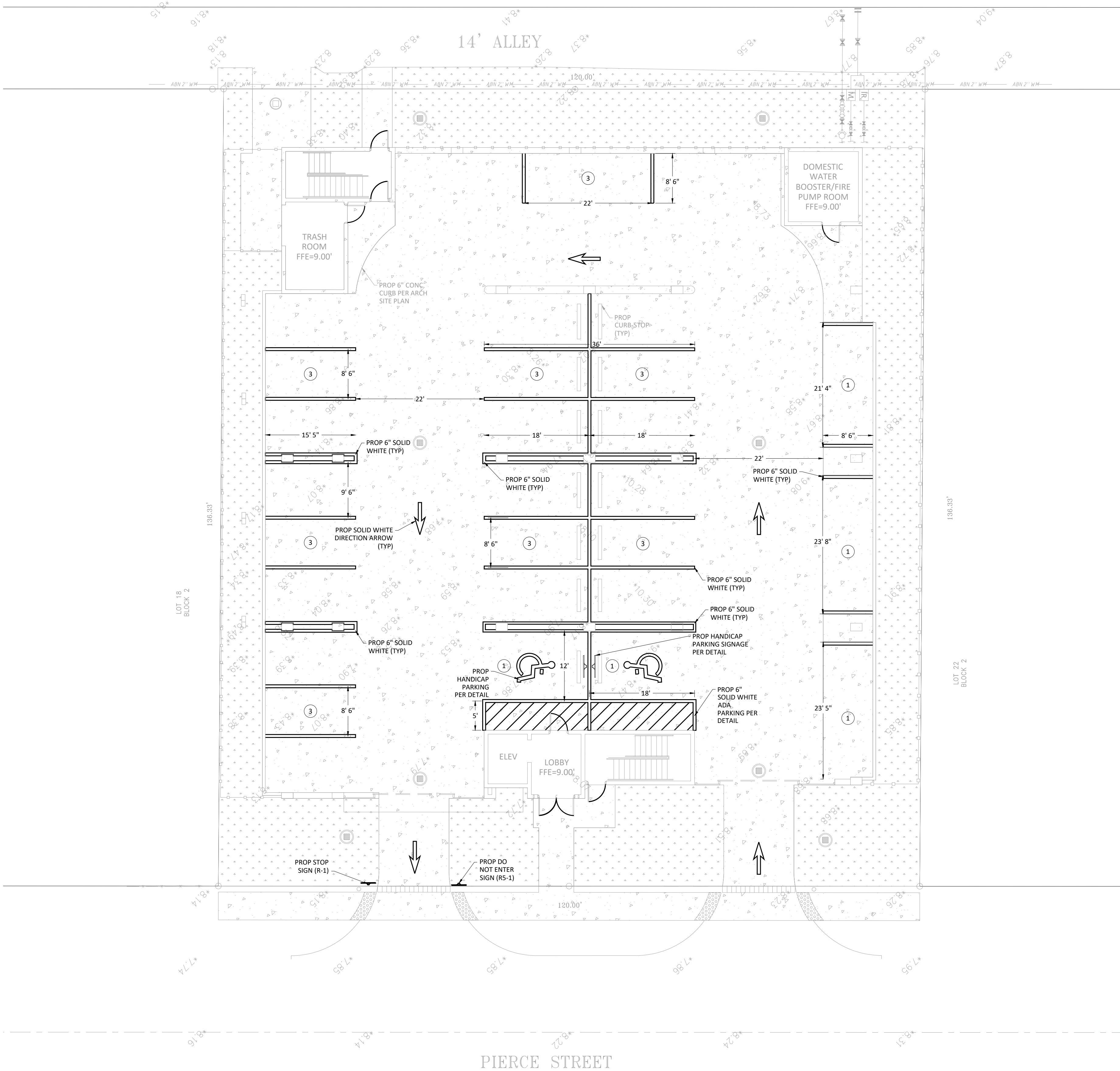
1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

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LEGEND					
ARCH	ARCHITECTURAL	GV	GATE VALVE	STR	STRUCTURE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE	TOP	TOP OF PIPE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
CLEAR	CLEARANCE	IE	INVERT ELEVATION	WM	WATER MAIN
CO	CLEAN OUT	INV	INVERT OF PIPE	w/	WITH
CONC	CONCRETE	LF	LINEAR FEET	YD	YARD DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE	x 1.00	EXIST GRADE (FT-NAVD)
DIP	DUCTILE IRON PIPE	r	PROPERTY LINE	2.00	PROP GRADE (FT-NAVD)
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE	—	FLOW ARROW
ELEV	ELEVATION	PROP	PROPOSED	—	PROPERTY LINE
EXIST	EXISTING	RE	RIM ELEVATION	- - -	EASEMENT LINE
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE	- - - - -	EASEMENT LINE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER	— - - - -	R/W LINE
FH	FIRE HYDRANT				
FT	FEET	R/W	RIGHT OF WAY		

No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK  
 DATE: 7/20/2022  
 DRAWN: LJ  
 DATE: 7/20/2022  
 CHECKED: JFT  
 DATE: 7/20/2022



1914-1920 PIERCE STREET  
 HOLLYWOOD, FL. 33020

## PAVEMENT MARKING AND SIGNAGE PLAN & DETAILS

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C-6

TAC REVIEW PLANS



SECTION 1: GENERAL NOTES

- APPLICABLE CODES**
  - ALL CONSTRUCTION WITHIN THE LIMITS OF PUBLIC RIGHTS OF WAY THAT FALLS UNDER CITY OF HOLLYWOOD JURISDICTION SHALL CONFORM TO CITY OF HOLLYWOOD DESIGN GUIDELINES, LATEST EDITION.
  - ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) SHALL BE STRICTLY OBSERVED.
  - ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- PRE-CONSTRUCTION RESPONSIBILITY**
  - UPON RECEIPT OF THE "NOTICE TO PROCEED", PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE CITY OF HOLLYWOOD, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
  - THE CONTRACTOR SHALL OBTAIN A "SUNSHINE ONE CALL" CERTIFICATION NUMBER AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING ANY EXCAVATION.
  - ALL APPLICABLE PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
  - PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH THE CONTRACTOR FAILS TO REQUEST LOCATIONS FROM SUNSHINE ONE CALL. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES EXISTING PRIOR TO LOCATE A PRE-EXISTING UTILITY.
  - IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, WHO WILL IN TURN NOTIFY THE APPROPRIATE UTILITY OWNER.
  - THE CONTRACTOR WILL VERIFY THE RESTRAINT OF EXISTING UTILITY LINES, AND SHALL RESTRAIN AS NECESSARY TO PREVENT BLOWOUTS, PRIOR TO CONNECTING TO EXISTING UTILITIES.
- INSPECTIONS**

THE CONTRACTOR SHALL NOTIFY CITY OF HOLLYWOOD AND THE ENGINEER OF RECORD AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE.

  - STORM DRAINAGE
  - SANITARY SEWER
  - WATER SYSTEM
  - SUBGRADE: SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK
  - LIMEROCK BASE: SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT
  - ASPHALTIC CONCRETE
  - CLEARING AND FILLING
  - FINAL CLOSEOUT
  - SHOP DRAWINGS
  - PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT, CONTRACTOR REVIEWED AND APPROVED SHOP DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD AND CITY OF HOLLYWOOD FOR SANITARY MANHOLES, HYDRANTS, VALVES, PIPING, LIFT STATIONS AND OTHER ACCESSORIES. CATALOG LITERATURE SHALL BE SUBMITTED FOR WATER AND SEWER PIPES, FITTINGS AND APPURTENANCES.
  - INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOG LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVAL, IF REQUIRED.

SECTION 2: EARTHWORK AND COMPACTION NOTES:

- GENERAL:**
  - QUALITY, CONTROL TESTING FOR STABILIZATION, BASE, PAVEMENT, COMPACTION, AND MATERIALS SHALL BE IN ACCORDANCE WITH FLORIDA D.O.T. REQUIREMENTS, AND SHALL BE ARRANGED FOR AND PAID FOR BY THE CONTRACTOR. COPIES OF ALL TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER OF RECORD AS THEY ARE RECEIVED.
  - EXISTING ON-SITE BASE MATERIAL SHALL NOT BE REUSED FOR BASE CONSTRUCTION, BUT MAY BE USED FOR BACKFILL AROUND UTILITY AND DRAINAGE LINES, AND FOR SUBGRADE CONSTRUCTION, AND FOR GENERAL FILL IF NECESSARY.
  - ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM L.B.R. VALUE OF 40 AND SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - ALL SUBGRADE UNDER SIDEWALK AREAS SHALL HAVE A MINIMUM OF 6" COMPACTED SUBGRADE TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
  - ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED.
  - SOD SHALL BE ST. AUGUSTINE, BITTER BLUE OR FLORATAM AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO ENSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT.
  - WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS OR LAKES, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED.
  - NO MUCK BLANKET IS TO BE PLACED ON THE BOTTOM OF RETENTION AREAS OR SWALES.
- ON-SITE**
  - ALL ORGANIC AND OTHER UNSUITABLE MATERIAL WITHIN THREE (3) FEET OF FINISHED GRADE AREAS TO BE PAVED SHALL BE REMOVED.
  - SUITABLE BACKFILL SHALL BE MINIMUM L.B.R. 40 MATERIAL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C FOR THREE (3) FEET BEYOND THE PERIMETER OF THE PAVING.
  - EROSION CONTROL SHALL BE PROVIDED BY THE CONTRACTOR PER DETAILS ON THE PLANS.

SECTION 3: STORM DRAINAGE NOTES:

- GENERAL:**
  - EXISTING STORM DRAINAGE GRATES, FRAMES, MANHOLE COVERS, AND RINGS THAT ARE TO BE REMOVED OR ADJUSTED, MAY BE REUSED ON THE SITE.
  - THE EXISTING DRAINAGE SYSTEM SHALL BE CLEANED AND/OR GRADED TO ENSURE PROPER FLOW FUNCTION.
  - THE CONTRACTOR SHALL INSTALL FILTER FABRIC AT ALL CATCH BASIN GRATES UNTIL FINAL ACCEPTANCE OF THE STORM DRAINAGE SYSTEM.
- CONTRACTOR MAY UTILIZE ONE OF THE FOLLOWING MATERIALS, UNLESS OTHERWISE NOTED ON THE PLANS.**
  - HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.)
    - PIPE SHALL BE CORRUGATED SMOOTH BORE POLYETHYLENE PIPE (N-12 PRO LINK ULTRA) OR APPROVED EQUAL, MANUFACTURED IN CONFORMANCE WITH ASTM M294.
    - PIPE SHALL HAVE BUILT-IN BELL JOINT WITH RUBBER GASKET IN CONFORMANCE WITH ASTM F477.
    - PIPE COUPLING BANDS IF NEEDED SHALL BE SPLIT/SPLIT PREMIUM REQUIRING MAXIMUM PULL-APART RESISTANCE
  - POLYVINYL CHLORIDE PIPE (P.V.C.)
    - PLASTIC PIPE SHALL CONFORM WITH ASTM D 3034, TYPE PSM, POLYVINYL CHLORIDE (PVC) MATERIAL; BELL AND SPIGOT STYLE SOLVENT SEALED EN JOINTS.
  - ALUMINUM PIPE (C.A.P.)
    - ALUMINUM PIPE SHALL CONFORM TO AASHTO M196 FOR CIRCULAR CORRUGATED PIPE OF AASHTO M211 FOR HELICALLY CORRUGATED PIPE, AND SECTION 945, AS PER FDOT STANDARD SPECIFICATIONS.
    - MAKE FIELD JOINTS IN (CAP) WITH BANDS FABRICATED OF THE SAME ALLOY AS THE CULVERT PIPE AND CONFORMING TO THE REQUIREMENTS OF AASHTO M196.
    - GASKET THE BANDED JOINTS WITH A NEOPRENE GASKET OF THE DESIGN INDICATED TO SECURE A SOIL-TIGHT OR WATER-TIGHT JOINT.
  - REINFORCED CONCRETE PIPE (R.C.P.)
    - CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM C 76, CLASS III WITH WALL TYPE A; BAR REINFORCEMENT.
    - ALL REINFORCEMENT CONCRETE PIPES SHALL HAVE BELL AND SPIGOT END JOINTS, AS MODIFIED BY SECTION 941, FDOT STANDARD SPECIFICATIONS.
    - ALL REINFORCEMENT CONCRETE PIPES SHALL HAVE RUBBER COMPRESSION GASKET JOINTS, AS PER ASTM C443, UNLESS OTHERWISE SPECIFIED.
- MISCELLANEOUS**
  - BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPES (EXCEPT FRENCH DRAINS) SHALL BE SAND WITH NO ROCKS LARGER THAN 2" DIAMETER.
  - BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - CATCH BASINS SHALL BE PRECAST MINIMUM 3000 PSI CONCRETE WITH REINFORCED STEEL PER ASTM A615.
- INSTALLATION**
  - PIPE SHALL BE PLACED ON STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A SLOPE AND GRADE TO ENSURE PROPER FLOW FUNCTION.
  - BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL WELL TAMPED AND PLACED IN 6 INCH (MAXIMUM) LAYERS.
  - PROVIDE A MINIMUM COVER OF 24 INCHES OVER STORM DRAINAGE. CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION SHALL NOT BE ALLOWED WITH LESS THAN 24 INCHES OF COVER.

- THE CONTRACTOR SHALL NOTIFY THE LOCAL WATER MANAGEMENT DISTRICT AT LEAST 24 HOURS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.
  - ALL DRAINAGE SYSTEMS SHALL BE PUMPED COMPLETELY DRY AND LAMPED AS A REQUIREMENT OF THE FINAL DRAINAGE INSPECTION.
- STORM DRAINAGE PRE-TREATMENT/EXFILTRATION SYSTEM**
  - ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. ANY IMPERMEABLE MATERIAL ENCOUNTERED IN THE EXCAVATION FOR THE DRAIN FIELD SHALL BE REMOVED AS DIRECTED BY THE ENGINEER OF RECORD.
  - THE TRENCH LNER SHALL BE TYPE D-3 PER F.D.O.T. INDEX 199, OR APPROVED EQUAL. IT SHALL BE USED ON THE SIDES AND TOP OF DRAIN FIELD TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE OVERLAPPED A MINIMUM OF 24 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
  - PERFORATED PIPE WITHIN THE DRAIN FIELD SHALL HAVE 3/8 INCH PERFORATIONS 360° AROUND THE PIPE WITH APPROXIMATELY 120 PERFORATIONS PER FOOT.
  - PERFORATED PIPE SHALL TERMINATE FIVE (5) FEET FROM THE DRAINAGE STRUCTURE. THE REMAINING FIVE (5) FEET SHALL BE NON-PERFORATED PIPE.
  - PIPES SHALL TERMINATE TWO (2) FEET FROM THE END OF THE TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS.

SECTION 5: SIGNING AND MARKING NOTES:

- GENERAL**
  - ALL PAVEMENT MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD, AND THE STANDARD SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION.
  - ALL OFF-SITE MARKINGS TO BE THERMOPLASTIC PER FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND ALL ON-SITE MARKINGS SHALL BE TRAFFIC PAINT PER CITY OF HOLLYWOOD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
  - INSTALL REFLECTIVE PAVEMENT MARKERS PER F.D.O.T. STANDARDS, OR AS SHOWN ON THE PLANS.
  - ALL SIGNS SHALL BE HIGH-INTENSITY GRADE REFLECTIVE SHEETING, MOUNTED ON A BREAK AWAY POST ASSEMBLY PER B.C.T.E.D. SPECIFICATIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT MARKINGS AND SIGNS CONFLICTING WITH THE PROPOSED ROADWAY CONSTRUCTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PAVEMENT MARKINGS AND SIGNS AS SHOWN IN THE PLANS AND APPLICABLE TRAFFIC DESIGN STANDARDS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND AT THE END OF THE PROJECT.
  - SIGN ASSEMBLY LOCATIONS SHOWN IN THE PLANS WHICH ARE IN CONFLICT WITH STREET LIGHTING UTILITIES, DRIVEWAYS, PEDESTRIAN RAMPS ETC. MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR APPROVAL AGENCIES' INSPECTOR.

SECTION 7: SANITARY SEWER SYSTEM

- MATERIALS**
  - GRAVITY SEWER PIPE AND FITTINGS
    - PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE CONFORMING TO ASTM D-3034, SDR 35, WITH PUSH-ON RUBBER GASKET JOINTS UNLESS OTHERWISE NOTED.
    - THE INTERIOR OF THE DUCTILE IRON PIPE (DIP) SHALL BE EPOXY LINED CONFORMING TO ANSI/AWWA C104/A21.4 LATEST REVISION, OR POLYETHYLENE LINED CONFORMING TO ANSI/AWWA C105/A21.5, OR APPROVED EQUAL AND SHALL HAVE A COAL TAR EPOXY EXTERIOR COATING, MANUFACTURED IN ACCORDANCE TO ANSI/AWWA C151/A21.51 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 350 (UNLESS OTHERWISE SPECIFIED). CLASS 52 SHALL BE USED IN PAVED AREAS.
    - ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER.
- INSTALLATION**
  - SERVICES
    - MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE "FLORIDA BUILDING CODE".
    - SERVICE LATERALS SHALL TERMINATE AT A DEPTH NOT TO EXCEED 30 INCHES BELOW FINISHED GRADE.
    - EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
    - THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH 2 INCH X 4 INCH TREATED STAKE PAINTED RED, EXTENDING 18 INCHES (MINIMUM) ABOVE GRADE. IF HOUSE CONNECTION IS NOT MADE WITHIN THIRTY DAYS, A CLEAN-OUT INSIDE A VALVE BOX WITH AN ELECTRONIC MARKER MUST BE INSTALLED.
    - CONTRACTOR SHALL ROUND IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG. AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.
    - CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL BUILDING DEPARTMENT, PLUMBING SECTION.

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
  - WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
  - UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
  - ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  - ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
  - ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
  - EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
  - TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
  - CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
  - CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
  - CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.2
APPROVED: XXX		

GENERAL NOTES:

- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
  - ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
  - LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
  - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
  - CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAIN WITH ASPHALT PAVEMENT.
  - THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
  - THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
  - ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	GENERAL NOTES	DRAWING NO. G-00
APPROVED: XXX		

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).
- 
- WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
    - ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
    - A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
      - THE PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
      - THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
      - THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
      - PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
      - THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
      - ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"



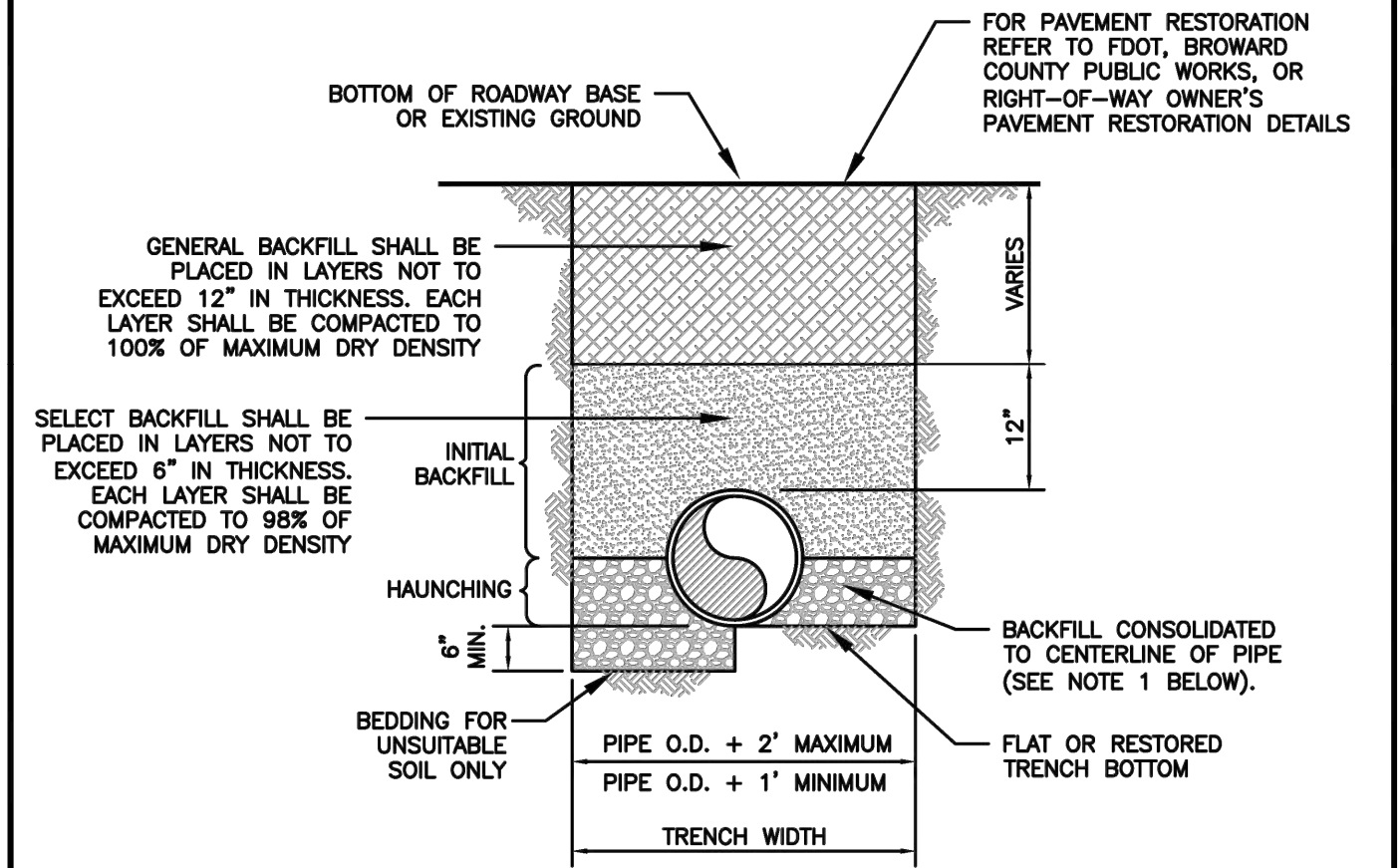
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.3
APPROVED: XXX		

GENERAL NOTES (CONTINUED):

- CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
  - CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
  - CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
  - CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
  - THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
  - SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
  - ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
  - THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
  - THE CONTRACTOR SHALL NOT ENCR OACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
  - MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
  - CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
  - NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
  - IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.1
APPROVED: XXX		



NOTES:

- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
  - ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
  - DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
  - BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)	DRAWING NO. G-02
APPROVED: XXX		

TAC REVIEW PLANS

No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK
DATE: 7/20/2022
DRAWN: LJ
DATE: 7/20/2022
CHECKED: JFT
DATE: 7/20/2022

**THOMPSON & ASSOCIATES**  
 412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
 MIAMI-DADE (305) 734-2510  
 BROWARD (954) 761-1073  
 PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET

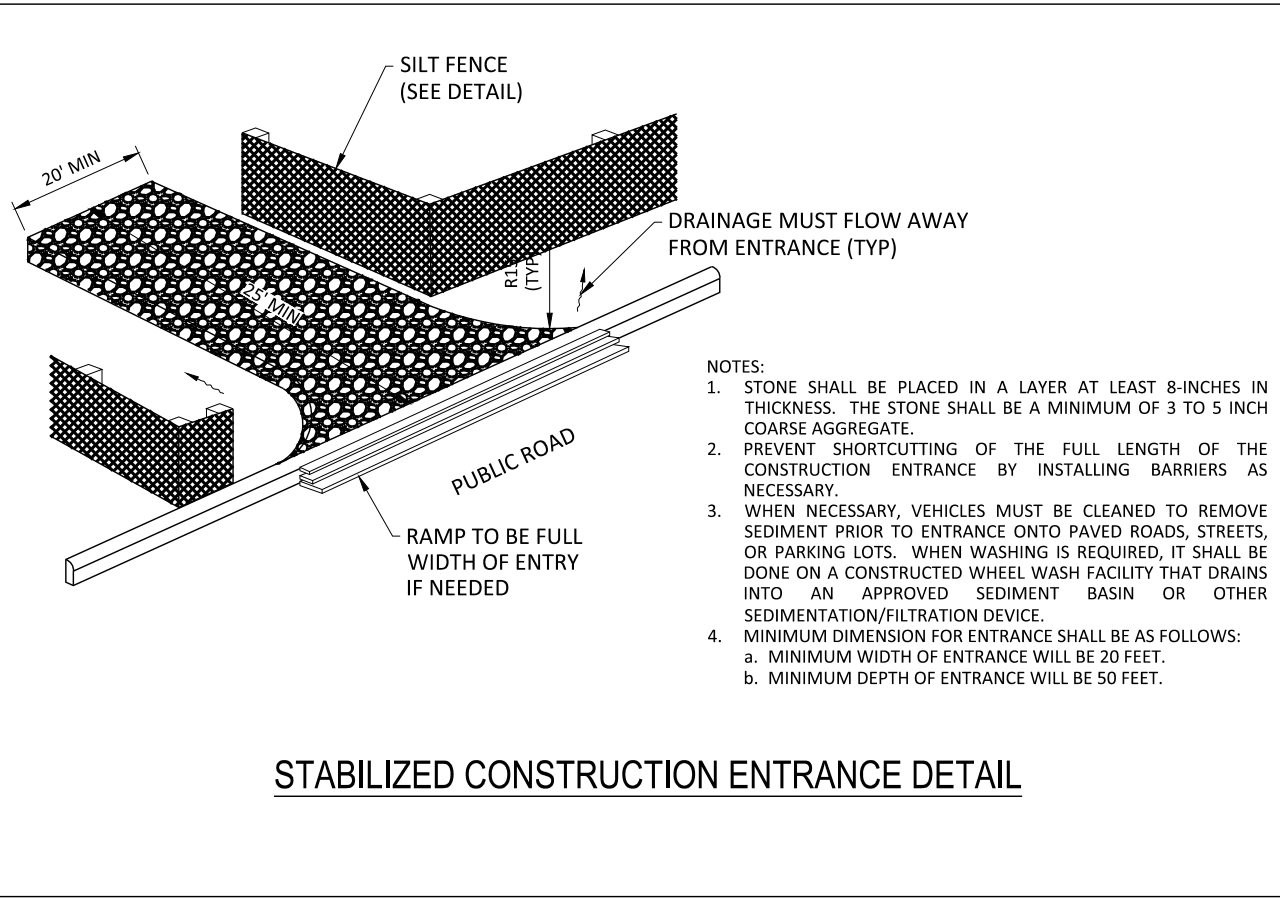
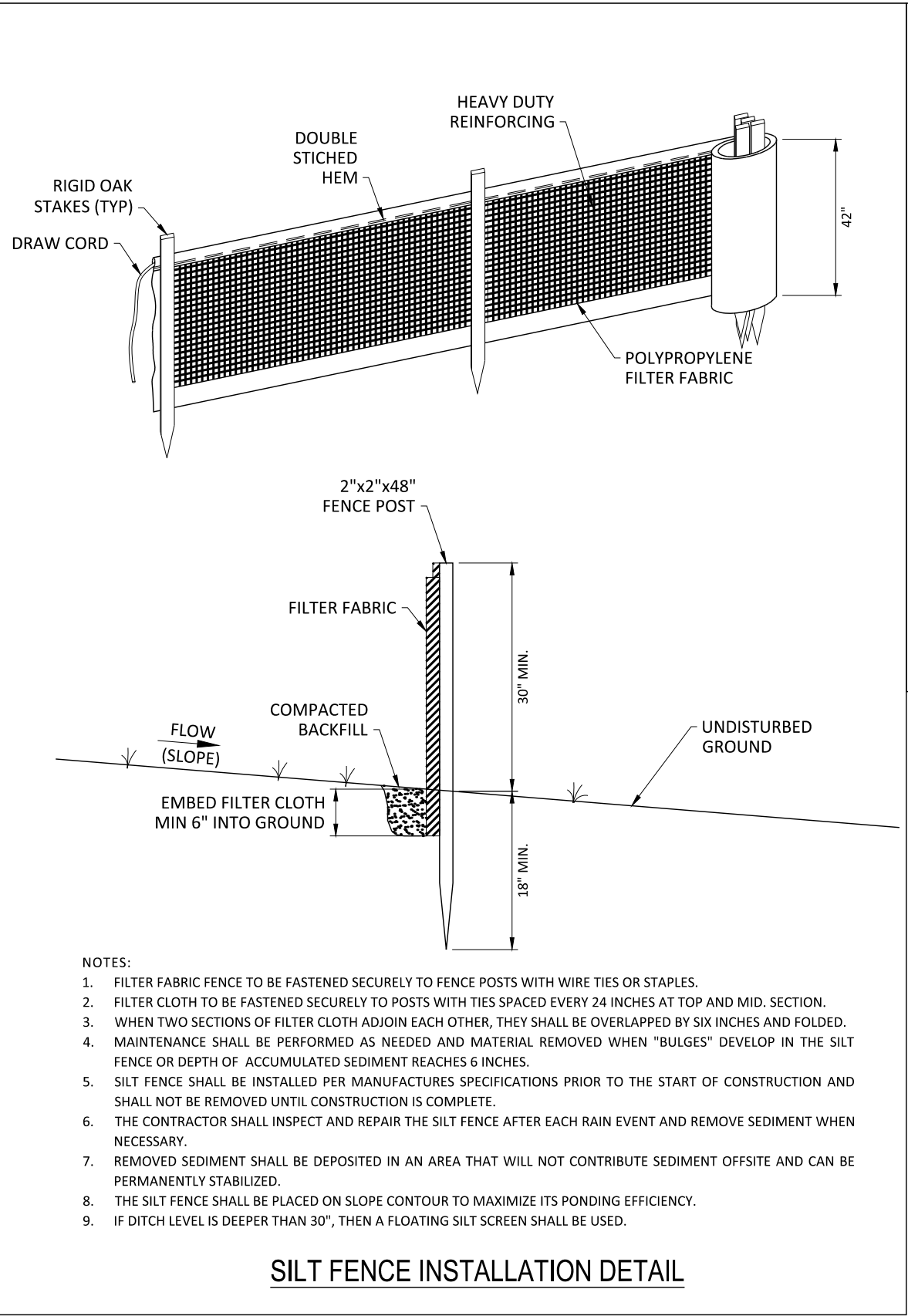
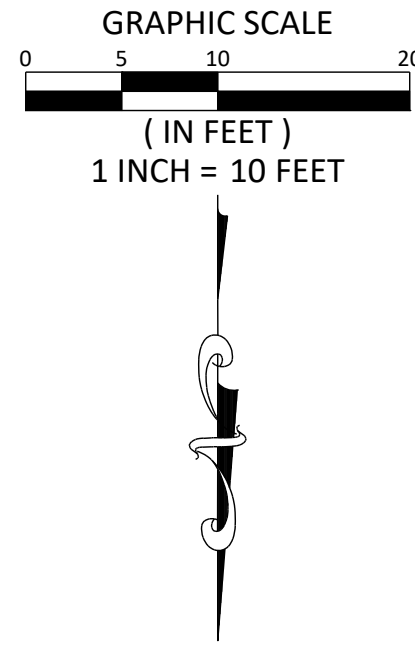
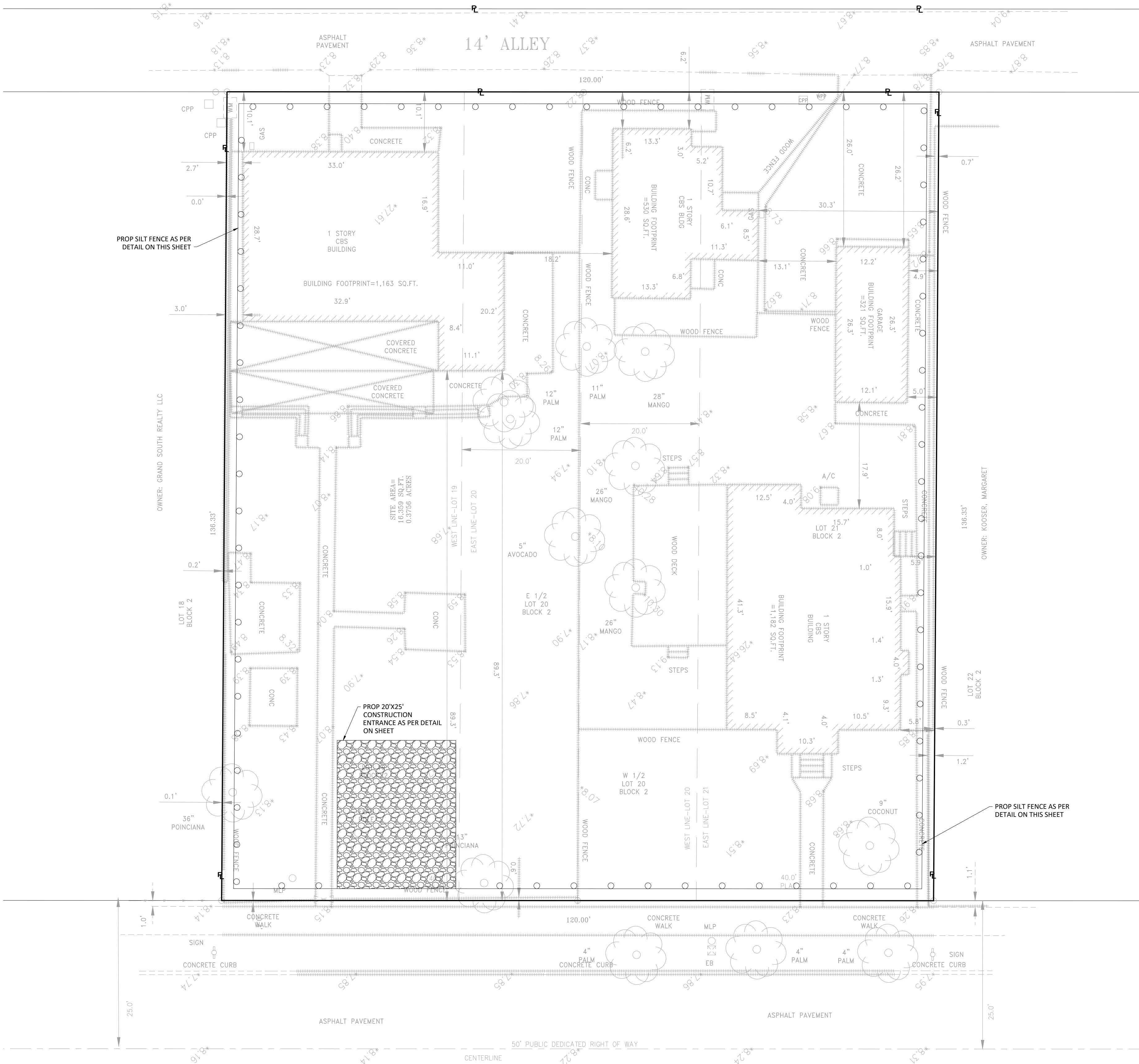
HOLLYWOOD, FL. 33020


GENERAL NOTES

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE KRAWCZYK, PE ON 6/20/2023. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.	SCALE: 1" = 10'	SHEET: C-7
	PROJECT No.: 22034	
	CAD FILE: 22034 GN.dwg	



PLOTTED BY: TBA-ANews  
 PLOT DATE: 6/20/2023  
 FILE PATH: Y:\CURRENT PROJECTS\2024-1914-1920 Pierce Street Hollywood MG3\PLAN53 2024 SWPPP.dwg



LEGEND					
ARCH	ARCHITECTURAL	GV	GATE VALVE	STR	STRUCTURE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE	TOP	TOP OF PIPE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
CLEAR	CLEARANCE	IE	INVERT ELEVATION	WM	WATER MAIN
CO	CLEAN OUT	INV	INVERT OF PIPE	w/	WITH
CONC	CONCRETE	LF	LINEAR FEET	YD	YARD DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE		EXIST GRADE (FT-NAVD)
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE		PROP GRADE (FT-NAVD)
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE		FLOW ARROW
ELEV	ELEVATION	PROP	PROPOSED		PROPERTY LINE
EXIST	EXISTING	RE	RIM ELEVATION	-----	EASEMENT LINE
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE	-----	R/W LINE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER		
FH	FIRE HYDRANT				
FT	FEET	R/W	RIGHT OF WAY		

No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK  
 DATE: 7/20/2022  
 DRAWN: LJ  
 DATE: 7/20/2022  
 CHECKED: JFT  
 DATE: 7/20/2022

**THOMPSON & ASSOCIATES**  
 412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
 MIAMI-DADE (305) 714-2510  
 BROWARD (954) 761-1073  
 PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET  
 HOLLYWOOD, FL. 33020

## STORM WATER POLLUTION PREVENTION PLAN & DETAILS

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!

TAC REVIEW PLANS

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646  
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE KRAWCZYK, PE ON 6/20/2023.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SCALE: 1" = 10'  
 PROJECT No.: 22034  
 CAD FILE: 22034 SWPPP.dwg

SHEET: C-8



# PRELIMINARY DRAINAGE REPORT

PREPARED FOR

## DOWNTOWN HOLLYWOOD

1914 AND 1920 PIERCE STREET,  
HOLLYWOOD, FLORIDA 33020

T&A PROJECT NO. 22034  
JUNE 20TH, 2023

George Krawczyk P.E.  
Florida Registration No. 66646

June 20, 2023

PREPARED BY



THOMPSON & ASSOCIATES





## **1914-1920 PIERCE STREET, HOLLYWOOD FLORIDA, 33020**

### **INTRODUCTION**

The project location site is located at 1914 and 1920 Pierce Street, Hollywood, FL 33020. The project includes development of a new multi-family structure, potable water connection, irrigation system connection, sanitary sewer connection, and paving, grading, and drainage. The on-site drainage system shall be designed and constructed to meet jurisdictional agencies' requirements. Parking areas are on the first level of the structure and living quarters start on the first floor. Swale areas surround the building and roof leaders will be connected to the drainage system. No offsite improvements related to the civil engineering scope are anticipated. The Drainage Basin that was analyzed and includes the limits of work associated with this project is 0.376 Acres or 16,359SF. The BCPA Folio Numbers that are included in the project area are 514215013490 and 514215013500. There are no existing Surface Water Management Licenses that encompass sections of our basin.

### **DRAINAGE DESIGN**

Rainwater is designed to be retained onsite as the grades around the building go into a swale or trench drain. Under the parking area there is 200 LF (linear feet) of 12" pipe of which 56 LF is needed for 4-foot-wide exfiltration trench with connections into the swale area. The pervious area is 25.35% of the site will be landscaped and conflicts have been coordinated.

The design/control elevation is at 1.5 ft-NAVD per the Broward County Future Groundwater Elevation Map. The elevation of 1.5 ft-NAVD was used for this analysis.

Water Quality for the basin is provided in the proposed retention area and swales at elevation 8.91 ft-NAVD 88.

The calculations in this report demonstrate that the post-construction water quality conditions are met for this site.



## Post Flood Routing Analysis

Project Name:	1914 Pierce St Hollywood	Designed:	LJ
Project No:	22034	Reviewed:	GK
Date:	June 13th, 2023	Checked:	GK

### SITE DATA

#### A. ACERAGE

1. Total				0.376	AC
2. Building (roof)		FT-NAVD			
a. Building	9.00	TO	9.00	0.262	AC
b. N/A	0.00	TO	0.00	0.000	AC
c. N/A	0.00	TO	0.00	0.000	AC
Other Impervious					
d. Sidewalk	0.00	TO	0.00	0.000	AC
e. Concrete	8.35	TO	8.90	0.019	AC
f. Stairs	0.00	TO	0.00	0.000	AC
g. Deck	0.00	TO	0.00	0.000	AC
h. N/A	0.00	TO	0.00	0.000	AC
i. N/A	0.00	TO	0.00	0.000	AC
j. N/A	0.00	TO	0.00	0.000	AC
k. N/A	0.00	TO	0.00	0.000	AC
	Total Impervious			0.280	AC
3. Wet Retention/Detention					
a. N/A	0.00	TO	0.00	0.000	AC
	Total Water Management			0.000	
4. Dry Retention/Detention					
b. Swale "H"	8.00	TO	8.50	0.031	AC
c. Swale "V"	8.00	TO	8.00	0.012	AC
d. N/A	0.00	TO	0.00	0.000	AC
e. N/A	0.00	TO	0.00	0.000	AC
f. N/A	0.00	TO	0.00	0.000	AC
	Total Dry Retention/Detention			0.043	AC
5. Pervious					
a. Landscape	8.50	TO	8.90	0.052	AC
b. N/A	0.00	TO	0.00	0.000	AC
c. N/A	0.00	TO	0.00	0.000	AC
d. N/A	0.00	TO	0.00	0.000	AC
e. N/A	0.00	TO	0.00	0.000	AC
f. N/A	0.00	TO	0.00	0.000	AC
g. N/A	0.00	TO	0.00	0.000	AC
h. N/A	0.00	TO	0.00	0.000	AC
i. N/A	0.00	TO	0.00	0.000	AC
	Total Pervious			0.052	AC

#### B. MINIMUM ELEVATIONS

1. Roads and Parking	Designed	Code/Criteria	FT-NAVD
2. Finished Floor			

#### C. ALLOWABLE DISCHARGE

1. SFWMD Canal	#N/A		
2. Allowable discharge for this project at	#N/A	#N/A	CFS

#### D. WATER LEVEL ELEVATION

1. Wet season water table (Average October)	1.50	FT-NAVD
2. Control/Design elevation	1.50	FT-NAVD
3. Receiving body water level	N/A	FT-NAVD

#### E. RAINFALL AMOUNT

1. 3-Year 1-Day Storm (Parking)	5.90	in
2. 5-Year 1-Day Storm (Parking)	7.20	in
3. 10-Year 1-Day Storm (Major Roadway)	8.20	in
4. 25-Year 1-Day Storm (Adjusted to a 72 hour storm - Design Storm)	10.20	in
5. 100-Year 1-Day Storm (Adjusted to a 72 hour storm - Finish Floor Elevation)	12.40	in



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### BASIN AREA BREAKDOWN

LAND USE	BASIN 1		BASIN 2		BASIN 3		BASIN 4		BASIN 5		TOTAL	
	SF	AC	SF	AC	SF	AC	SF	AC	SF	AC	SF	AC
<b>BUILDING/POOL</b>												
a. Building	11,403.01	0.262		0.000		0.000		0.000		0.000	11,403.01	0.262
b. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
c. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
<b>OTHER IMPERVIOUS</b>												
d. Sidewalk	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
e. Concrete	810.51	0.019		0.000		0.000		0.000		0.000	810.51	0.019
f. Stairs	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
g. Deck	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
h. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
i. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
j. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
k. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
<b>WATER MANAGEMENT</b>												
a. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
<b>RETENTION/DETENTION</b>												
b. Swale "H"	1,355.00	0.031		0.000		0.000		0.000		0.000	1,355.00	0.031
c. Swale "V"	507.30	0.012		0.000		0.000		0.000		0.000	507.30	0.012
d. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
e. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
f. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
<b>PERVIOUS</b>												
a. Landscape	2,283.45	0.052		0.000		0.000		0.000		0.000	2,283.45	0.052
b. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
c. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
d. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
e. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
f. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
g. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
h. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
i. N/A	0.00	0.000		0.000		0.000		0.000		0.000	0.00	0.000
<b>SUB-TOTAL</b>	16,359.27	0.376	0.00	0.000	0.00	0.000	0.00	0.000	0.00	0.000	16,359.27	0.376
Percentage Building Area =		69.70%		#DIV/0!		#DIV/0!		#DIV/0!		#DIV/0!		69.70%
Percentage Impervious Area =		4.95%		#DIV/0!		#DIV/0!		#DIV/0!		#DIV/0!		4.95%
Percentage Lake Area =		0.00%		#DIV/0!		#DIV/0!		#DIV/0!		#DIV/0!		0.00%
Percentage Pervious Area =		25.34%		#DIV/0!		#DIV/0!		#DIV/0!		#DIV/0!		25.34%
TOTAL =		100.00%		#DIV/0!		#DIV/0!		#DIV/0!		#DIV/0!		100.00%



## Post Flood Routing Analysis

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## WATER QUALITY DESIGN CRITERIA

### A. VOLUMETRIC REQUIREMENTS

- (a) Retention, detention, or both retention and detention in the overall system, including swales, lakes, canals, greenways, etc., shall be provided for one of the three following criteria or equivalent combinations thereof:
  1. Wet detention volume shall be provided for the first "X" of runoff from the developed project, or the total runoff of 2.5 times "X" inches times the percentage of imperviousness, whichever is greater.
  2. Dry detention volume shall be provided equal to 75 percent of the above amounts computed for wet detention.
  3. Retention volume shall be provided equal to 50 percent of the above amounts computed for wet detention. Retention volume included in flood protection calculations requires a guarantee of long term operation and maintenance of system bleed-down ability. include evidence of excellent soil percolation rates, such as coastal ridge sands, or an operations Examples of such guarantee entity which specifically reserves funds for operation, maintenance and replacement.
- (b) Systems with inlets in grassed areas will be credited with up to 0.2 inches of the required wet detention amount for the contributing areas. Full credit will be based on a ratio of 10:1 impervious area (paved or building area) to pervious area (i.e.

### B. LAND USE AND COVERAGE CRITERIA

- (a) Commercial or industrial zoned projects shall provide at least one half inch of dry detention or retention pretreatment as part of the required retention / detention.
- (b) Projects having greater than 40% impervious area and which discharge directly to the certain receiving waters shall provide at least one half inch of dry detention or retention pretreatment as part of the required retention / detention.
- (c) Water surface and roofed areas can be deducted from site areas water quality pervious/impervious calculations. The water surface meeting dimensional criteria may also be subtracted from the total when making final water quality treatment volume calculations.
- (d) In cases of widening existing urban public highway projects, the District shall reduce the water quality requirements, if the applicant provides documentation which demonstrates that all reasonable design alternatives have been considered, and which provides evidence that the alternatives are all cost-prohibitive.

### C. EXFILTRATION SYSTEMS

- (a) Systems shall be designed for the retention volumes as specified above for retention systems, exfiltrated over one hour for retention purposes, prior to overflow, and based on test data for the site. (Note: such systems will not be acceptable on projects to be operated by entities other than single owners or entities with full time maintenance staff.)
- (b) A safety factor of two or more shall be applied to the design to allow for geological uncertainties.
- (c) A dry system is one with the pipe invert at or above the average wet season water table.

WATER QUALITY VALUE "X" AS REQUIRED FOR VOLUMETRIC REQUIREMENT = 1.00 in  
 PRETREATMENT REQUIREMENT (COMMERCIAL/INDUSTRIAL PROJECT) = 0.50 in



## Post Flood Routing Analysis

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### WATER QUALITY COMPUTATIONS

#### A. QUALITY

1. Compute the "X" inch of runoff from the developed project
 

$= \text{"X"} \text{ in} \times \text{total area} \times (1\text{ft}/12\text{in})$   
 $= \underline{0.03} \text{ ac-ft for the first inch of runoff}$
  
2. Compute ("X"\*2.5) inches times the percentage of imperviousness
  - a. Site area for water quality pervious/impervious calculations only:
 

$= \text{Total project} - (\text{water surface} + \text{roof})$   
 $= \underline{0.11} \text{ ac of site area for water quality pervious/impervious}$
  
  - b. Impervious area for water quality pervious/impervious calculation only:
 

$= (\text{site area for water quality pervious/impervious}) - \text{pervious}$   
 $= \underline{0.02} \text{ ac if impervious area for water quality pervious/impervious}$
  
  - c. Percentage of imperviousness for water quality:
 

$= (\text{Impervious area for water quality}/\text{site area for water quality}) 100\%$   
 $= \underline{16.35} \% \text{ impervious}$
  
  - d. For ("X"\*2.5) inches times the percentage impervious:
 

$= 2.5 \times \text{percent impervious}$   
 $= \underline{0.41} \text{ inches to be treated}$
  
  - e. Compute volume required for water quality detention:
 

$= \text{Inches to be treated} \times (\text{total site} - \text{Lake})$   
 $= \underline{0.01} \text{ ac-ft for the 2.5 inches times the percentage imperviousness}$
  
3. Since the 0.03 ac-ft for the first inch of runoff  
 is greater than 0.01 ac-ft for the 2.5 inches times the percentage imperviousness  
 Then 0.03 ac-ft controls
  
4. Pretreatment Volume
 

$= 0.5 \text{ in} \times (\text{total area} - \text{lakes})$   
 $= \underline{0.00} \text{ ac-ft}$

**NO pretreatment is required for this project**
  
5. Compute resulting required lake volume:
 

$= \text{Total required detention} - \text{pretreatment}$   
 $= \underline{0.03} \text{ ac-ft required lake volume}$

**The water quality for the basin is met at elevation 8.91 FT-NAVD**



## Post Flood Routing Analysis

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### EXFILTRATION TRENCH

TRENCH SECTION DESIGN				HYDRAULIC CONDUCTIVITY	
	8.00	Lowest Catch Basin Grate Elevation	= 8.00 FT-NAVD	K1 =	1.16E-04 CFS/ft <sup>2</sup> -ft Head
		Asphalt Thickness	= 2.00 in	K2 =	CFS/ft <sup>2</sup> -ft Head
		Base Thickness	= 12.00 in	K3 =	CFS/ft <sup>2</sup> -ft Head
		Limerock Thickness	= 8.00 in	K4 =	CFS/ft <sup>2</sup> -ft Head
	3.50	Top of Trench Elevation	= 3.50 FT-NAVD	K5 =	CFS/ft <sup>2</sup> -ft Head
	1.00	Control Elevation	= 1.50 FT-NAVD	K6 =	CFS/ft <sup>2</sup> -ft Head
		Pipe Diameter	= 12.00 in	K7 =	CFS/ft <sup>2</sup> -ft Head
	2.50	Top of Pipe Elevation	= 2.50 ft-NAVD	K8 =	CFS/ft <sup>2</sup> -ft Head
		Trench of Depth Above Pipe	= 1.00 FT	K9 =	CFS/ft <sup>2</sup> -ft Head
		Depth to Water Table H <sub>2</sub>	= 6.50 FT	K10 =	CFS/ft <sup>2</sup> -ft Head
		None Saturated Depth D <sub>u</sub>	= 2.00 FT	K11 =	CFS/ft <sup>2</sup> -ft Head
		Saturated Trench Depth D <sub>s</sub>	= FT	K12 =	CFS/ft <sup>2</sup> -ft Head
	1.50	Trench Width W	= 4.00 FT	K13 =	CFS/ft <sup>2</sup> -ft Head
		Bottom of Trench Elevation	= 1.50 FT-NAVD	K14 =	CFS/ft <sup>2</sup> -ft Head
	1.50	Trench Depth	= 2.00 FT	K15 =	CFS/ft <sup>2</sup> -ft Head
				K16 =	CFS/ft <sup>2</sup> -ft Head
				K17 =	CFS/ft <sup>2</sup> -ft Head
				K18 =	CFS/ft <sup>2</sup> -ft Head
				Avrg K =	1.16E-04 CFS/ft <sup>2</sup> -ft Head

Pretreatment Volume Required = 0.03 AC-FT

For Normal Conditions use:

$$L = V / [(K * ((H_2 * W) + (2 * H_2 * D_u) - (D_u^2) + (2 * H_2 * D_s))) + (1.39 \times 10^{-4} * W * D_u)] = \underline{56} \text{ FT of trench required}$$

For the conditions listed below use:

The saturated depth of trench is greater than the non-saturated depth of trench, or

The trench width is greater than two times the total trench depth.

$$L = V / [K * ((2 * H_2 * D_u) - (D_u^2) + (2 * H_2 * D_s)) + (1.39 \times 10^{-4} * W * D_u)] = \underline{102} \text{ FT of trench required}$$



## Post Flood Routing Analysis

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### EXFILTRATION TRENCH STORAGE

INCREMENT USED (FT)		PIPE STORAGE			TRENCH STORAGE			TOTAL STORAGE (AC-FT)
0.25		Trench Length (FT) = 56			Trench Length (FT) = 56			
		Pipe Diameter (FT) = 1.00			Trench Depth (FT) = 2.00			
		Pipe Radius (FT) = 0.50			Trench Width (FT) = 4.00			
STAGE (FT-NGVD)	INCREMENTS (FT)	Included Angle (radians)	Pipe Area (sf)	Pipe Volume (ac-ft)	Trench Area (sf)	Trench Volume (cf)	Trench Volume (ac-ft)	
1.50	0.00	0.00	0.00	0.0000	0.00	0.00	0.0000	0.0000
1.75	0.25	2.09	0.15	0.0027	0.50	27.88	0.0006	0.0033
2.00	0.50	3.14	0.39	0.0040	1.00	55.83	0.0013	0.0053
2.25	0.75	4.19	0.63	0.0054	1.49	83.79	0.0019	0.0073
2.50	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
2.75	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
3.00	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
3.25	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
3.50	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
3.75	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
4.00	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
4.25	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
4.50	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
4.75	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
5.00	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
5.25	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
5.50	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
5.75	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
6.00	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
6.25	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
6.50	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
6.75	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
7.00	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
7.25	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
7.50	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
7.75	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106
8.00	1.00	6.28	0.79	0.0081	1.99	111.67	0.0026	0.0106



## Post Flood Routing Analysis

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## SOIL STORAGE COMPUTATIONS

### B. SCS CURVE NUMBER

- The wet season water/control elevation and the control elevation 1.50 FT-NAVD
- Average site finished grade

LAND USE	AREA A (AC)	START ELEV (FT-NAVD)	END ELEV (FT-NAVD)	AVERAGE GRADE G (FT)	A X G (AC-FT)
Building	0.262	9.00	9.00	9.00	2.36
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
Sidewalk	0.000	0.00	0.00	0.00	0.00
Concrete	0.019	8.35	8.90	8.63	0.16
Stairs	0.000	0.00	0.00	0.00	0.00
Deck	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
Swale "H"	0.031	8.00	8.50	8.25	0.26
Swale "V"	0.012	8.00	8.00	8.00	0.09
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
Landscape	0.052	8.50	8.90	8.70	0.46
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
N/A	0.000	0.00	0.00	0.00	0.00
TOTAL	0.376				3.32

Weighted Average Site Grade 8.85 ft-NAVD

- Average depth to water table will be  
 = Average site grade - average water table/control elevation  
 = 7.35 FT
- Soil type Flatwoods
- From the soil storage calculation sheet, inches of moisture stored under the pervious areas for this type of soil is: 6.75 in
- Compute available soil storage  
 = Storage available X pervious area  
 = 0.05 AC-FT available soil storage onsite
- Convert available soil storage to site-wide moisture storage, S  
 = Available soil storage onsite/site area  
 = 1.71 inches of site-wide storage, S
- SCS Curve Number, CN  
 =  $1000/(S+10)$   
 = 85 SCS Curve Number



Post Flood Routing Analysis			
Project Name:	1914 Pierce St Hollywood	Designed:	LJ
Project No:	22034	Reviewed:	GK
Date:	June 13th, 2023	Checked:	GK
SOIL STORAGE TABLE			

DEPTH TO WATER TABLE (FT)	COASTAL (1)		FLATWOODS (2)		DEPRESSIONAL (3)	
	CUMULATIVE WATER STORAGE (in)	COMPACTED WATER STORAGE (in)	CUMULATIVE WATER STORAGE (in)	COMPACTED WATER STORAGE (in)	CUMULATIVE WATER STORAGE (in)	COMPACTED WATER STORAGE (in)
1	0.60	0.45	0.60	0.45	0.60	0.45
2	2.50	1.88	2.50	1.88	2.10	1.58
3	6.60	4.95	5.40	4.05	4.40	3.30
4	10.90	8.18	9.00	6.75	6.80	5.10

- NOTE:**
- (1) Sandy Soil 0-40" thick with water tables dropping below 40" - St. Lucie series is representative.
  - (2) Water tables 15"-40" - Immokalee series is representative
  - (3) Water tables above ground - 15" - Riviera and Pompano series are representative
  - (4) 4 feet is the maximum depth of percolation assumed possible in three days for any soil.

- A. From the calculation the average depth to the water table is
B. The Soil Type is
C. Assuming 25% compaction
D. Inches of moisture stored under pervious area

7.35

ft

Flatwoods

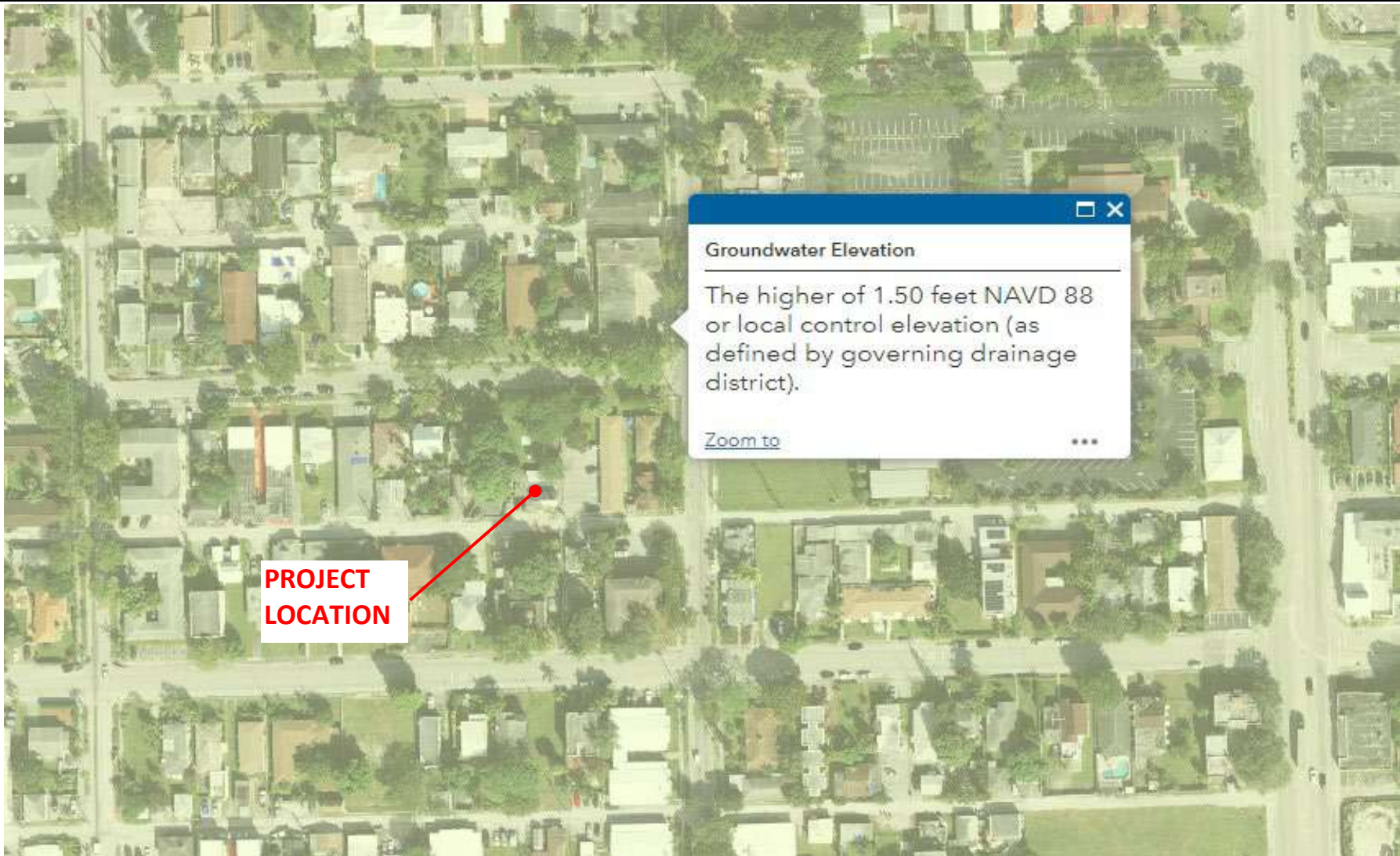
DEPTH TO WATER TABLE (FT)	COMPACTED WATER STORAGE (in)
4.00	6.75
4.00	6.75
4.00	6.75



## Post Flood Routing Analysis

Project Name:	1914 Pierce St Hollywood	Designed:	LJ
Project No:	22034	Reviewed:	GK
Date:	June 13th, 2023	Checked:	GK

## GROUNDWATER TABLE







April 21, 2023

Pamela Butler, Senior Development Coordinator  
MG3 Group  
2980 Northeast 207 Street, Suite 603  
Aventura, Florida 33180

*Via Email Only*

Dear Ms. Butler:

Re: Platting requirements for a parcel legally described as Lots 19-21, Block 20, "Hollywood," according to the Plat thereof, as recorded in Plat Book 1, Page 21, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Pierce Street, between North 19 Avenue and North 20 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.38 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.




**Pamela Butler**  
**April 21, 2023**  
**Page Two**

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Dawn Teetsel at your convenience.

Respectfully,

A handwritten signature in blue ink, appearing to read 'BBB', is positioned above the printed name of the signatory.

Barbara Blake Boy  
Executive Director

BBB:DBT

cc/email: George Keller, City Manager  
City of Hollywood

Shiv Newaldass, Director, Development Services  
City of Hollywood





**CITY OF HOLLYWOOD  
PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT  
PARK IMPACT FEE APPLICATION**

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development?      Yes ☒      No ☐

If YES was selected please provide the following information. In NO was selected please do not complete application.

**(PRINT LEGIBLY OR TYPE)**

1. Owners Name: 1920 Pierce, LLC

2. Project Name: 1920 Pierce

3. Project Address: 1914-1920 Pierce Street

4. Contact person: Pamela Butler

5. Contact number: (954) 471-6177

6. Type of unit(s): Single Family ☐      **Multi-Family ☒**      Hotel/Motel ☐

7. Total number of residential and/or hotel/motel units: 20 units under 1,000 sq ft PLUS 12 units over 1,000 sq ft (32 total)

8. Unit Fee per residential dwelling based on sq. ft.: 20 @ \$1,132 PLUS 12 @ \$1,401

9. Unit Fee per hotel/motel room: \$1,355.00

10. Total Park Impact Fee: \$39,452.      Date: June 15, 2023

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts at 954.921.3404 or [dvazquez@hollywoodfl.org](mailto:dvazquez@hollywoodfl.org) with any inquiries.



## City of Hollywood Park Impact Schedule of Fees

Land Use	Fee
<i>Residential: single family (detached)</i>	
Less than 1,500 sf	\$2,063
1,500 sf to 2,499 sf	\$2,317
2,500 sf and greater	\$2,594
<i>Residential: multi-family (apartment/condominium/townhouse)</i>	
Less than 1,000 sf	\$1,132
1,000 sf and greater	\$1,401
<i>Residential: mobile home</i>	
Mobile Home Park	\$2,055
<i>Residential: Senior Housing</i>	
Detached	\$1,778
Attached	\$931
<i>Transient, Assisted, Group</i>	
Hotel / Motel	\$1,355

\*Square feet refers to enclosed, gross floor area excluding parking garage, screened enclosures and unfinished attics.

Fee calculation is from Chapter 38.97 of the Code of Ordinances entitled "Finance".