

**Grant Agreement Documentation Order: Property Improvement Program (PIP)**

1. Reso	<b>DRAFT See Attached</b>
2. Signed Agreement	<b>DRAFT See Attached</b>
3. W-9	<b>Page 02</b>
4. Grant Application – Back Up I	<b>Page 03</b>
5. Letter of Intent – Back Up I	<b>Page 04</b>
6. Property Insurance – Back Up I	<b>Page 06</b>
7. Ownership Information – Back Up I	<b>Page 09</b>
8. Current Photos – Back Up I	<b>Page 18</b>
9. Letter of Authorization – Exhibit A	<b>Page 23</b>
10. Bib Summary Form – Exhibit B	<b>Page 25</b>
11. Selected Contractor(s) Quotes, Licenses and Insurance – Exhibit B	<b>Page 26</b>
12. Renderings – Exhibit B	<b>Page 38</b>
13. Non-Selected Contractor(s) Quotes – Back Up II	<b>Page 45</b>

**AQUARIUS CONDOMINIUM ASSOCIATION, INC.**  
**W-9**



**Property Improvement Program (PIP) Application**

Name: Aquarius Condominium Association

Name of Business/Property to be Renovated: Aquarius Condominium Association

Address: 2751 S. Ocean Dr. Hollywood, FL 33019

Telephone Number: 954-921-7924

Are you the Property Owner or Business Owner? Property Owner

Type of Improvement(s) Planned:

- Conduct repairs on concrete and address any cracks. Restore corroded rebar.
- Apply fresh paint. Construct new steps and create a new entrance to the beach from the south tower. Remove Styrofoam panels from the roof parapet. Undertake a complete restoration and painting of the entire building to enhance and upgrade its aesthetic.

Incentive Amount: \$ \_\_\_\_\_

Total Cost of Project: \$ 1,955,501.28

I hereby submit the attached plans, specification and color samples for the proposed project and understand that these must be approved by the Hollywood, Florida Community Redevelopment Agency ("CRA"). No work shall begin until I have received written approval from the CRA. I further understand that unless otherwise approved by the CRA Board, funding will not be paid until the project is complete.

  
Signature of Applicant

3/7/2024  
Date

Kiet Ngo  
Print Name



## **Aquarius Condominium Association**

February 27, 2024

Hollywood Community Redevelopment Agency  
140 South 21st Avenue  
Hollywood, FL 33020

Dear Hollywood CRA,

We, the Board of Directors of Aquarius Condominium, located at 2751 S Ocean Drive, hereby express our intent to apply for the Property Improvement Grant. Our condominium, built in 1973, stands as a landmark structure along Hollywood Beach. Recognizing the invaluable efforts of the Hollywood CRA in revitalizing and enhancing the Hollywood beach and its surrounding areas, we are eager to contribute to this collective endeavor.

Over the past several years, Aquarius Condominium has undertaken significant efforts to modernize and enhance our property. In 2017, we embarked on a comprehensive renovation project, investing over \$22 million to revitalize our building and bring it up to contemporary standards (40 Year recertification). This extensive renovation encompassed various critical aspects of our property, including (but not limited to):

- Full renovation of all corridors
- Concrete restoration
- Full balcony replacements
- Restoration of structural columns
- Full elevator replacement
- Pool and deck resurfacing
- Roof replacement



Having successfully completed these essential renovations, we now turn our attention to the final phase: completing the exterior painting, waterproofing and stucco repairs to the building.

These proposed enhancements not only aim to improve the visual appeal of our property but also contribute to the overall beautification and vibrancy of the surrounding neighborhood.

We believe that the proposed improvements align closely with the objectives of the Hollywood CRA and will further enhance the attractiveness and vitality of the Hollywood Beach area. As such, we kindly request your consideration and support for our application for the Property Improvement Grant to facilitate the realization of these enhancements.

Thank you for your attention to this matter. We look forward to the opportunity to collaborate with the Hollywood CRA in continuing to enhance our shared community.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kiet Ngo', with a long horizontal flourish extending to the right.

Kiet Ngo

President, Aquarius Condominium Association



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

02/27/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).**

<b>PRODUCER</b> RSC Insurance Brokerage, Inc. 3250 N. 29th Avenue  Hollywood FL 33020		<b>CONTACT NAME:</b> Neil Schlüssel <b>PHONE (A/C, No, Ext):</b> (954) 963-6666 <b>E-MAIL ADDRESS:</b> nschuessel@risk-strategies.com <b>FAX (A/C, No):</b>	
		<b>INSURER(S) AFFORDING COVERAGE</b>	
		<b>INSURER A:</b> Aspen Specialty Insurance Company	
		<b>INSURER B:</b> Vantage Risk Specialty Insurance Company	
		<b>INSURER C:</b> Zenith National Insurance Grou	
		<b>INSURER D:</b> QBE Insurance Corporation	
		<b>INSURER E:</b> Philadelphia Indemnity Insurance Co.	
		<b>INSURER F:</b>	


**COVERAGES**      **CERTIFICATE NUMBER:** CL2361356743      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			CR00RJR23	06/01/2023	06/01/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ Excluded PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$			CR00RJR23	06/09/2023	06/01/2024	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			Z136603604	06/01/2023	06/01/2024	PER STATUTE    OTH-ER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
D	Property			QFW243826	06/01/2023	06/01/2024	See Remarks

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Certificate Holder is named as an Additional Insured with respect to General Liability

<b>CERTIFICATE HOLDER</b>		<b>CANCELLATION</b>	
Hollywood CRA 1948 Harrison Street  Hollywood, FL 33020		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 	

© 1988-2015 ACORD CORPORATION. All rights reserved.



AGENCY CUSTOMER ID: \_\_\_\_\_

LOC #: \_\_\_\_\_

### ADDITIONAL REMARKS SCHEDULE

Page \_\_\_\_ of \_\_\_\_

AGENCY RSC Insurance Brokerage, Inc.		NAMED INSURED Aquarius Condominium Association Inc	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

#### ADDITIONAL REMARKS

**THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,**  
**FORM NUMBER:** 25      **FORM TITLE:** Certificate of Liability Insurance: Notes

Location: 2751 S. Ocean Drive, Hollywood, FL 33019 - (269 Units)

Insurer D: Property/Hazard  
Policy Number QFW243826

Cause of Loss: Special Form, Valuation: Replacement Cost, Agreed Value (Co-Insurance Agreed Value), 5% Calendar Year Hurricane Deductible, \$50,000  
All Other Perils Deductible. Ordinance or Law Full Coverage A Up to Building Limit, Coverage B & C \$500,000 sub-limit.  
Building Limit: \$77,583,055

Insurer E: Crime/Fidelity - Property Manager Included;  
PCAC0057630519; 06/01/2023-06/01/2024;  
Employee Dishonesty - \$2,500,000/\$25,000 Ded.

Insurer E: Directors & Officers; PCAP0290410321; 06/01/2023-06/01/2024;  
Limit \$1,000,000/\$10,000 Ded.

Insurer F: Boiler & Machinery;  
Policy Number YB2-L9L-476272-013  
Equipment Breakdown Limit \$ 77,083,055; Property Damage Included; \$ 50,000 Deductible

Insurer: Flood  
POLICY #: 0002407145  
Imperial Fire & Casualty Insurance  
01/22/2024-01/22/2025  
CURRENT FLOOD ZONE: VE  
PROPERTY DESCRIPTION: ELEVATED WITH ENCLOSURE ON POSTS, PILES OR PIERS, 18 FLOORS  
BUILDING: \$67,250,000/\$1,250 Deductible  
CONTENTS: \$100,000/ \$1,250

Draft Print

**Association Flood Insurance**  
A partnership between policyholders, their agents and underwriters specializing in high risk and coastal exposures

RISK STRATEGIES COMPANY  
 2900 SW 149TH AVE, SUITE 100  
 MIRAMAR, FL 33027

Agency Phone: (954) 963-6666

NFIP Policy Number: 0002407145  
 Company Policy Number: 0002407145  
 Agent: VIRGINIA HAZLETT

Payor: INSURED  
 Policy Term: 01/22/2024 12:01 AM - 01/22/2025 12:01 AM  
 Policy Form: RCBAP

To report a claim visit or call us at: <https://Nationalgeneral.managefood.com>  
 (877) 254-6819

**RENEWAL FLOOD INSURANCE POLICY DECLARATIONS**  
 NATIONAL FLOOD INSURANCE PROGRAM

**DELIVERY ADDRESS**

AQUARIUS CONDOMINIUM ASSOC, INC  
 2751 S OCEAN DR  
 HOLLYWOOD, FL 33019-2721

**INSURED NAME(S) AND MAILING ADDRESS**

AQUARIUS CONDOMINIUM ASSOC, INC  
 2751 S OCEAN DR  
 HOLLYWOOD, FL 33019-2721

**COMPANY MAILING ADDRESS**

IMPERIAL FIRE & CASUALTY INSURANCE COMPANY  
 PO BOX 912063  
 DENVER, CO 80291-2063

**INSURED PROPERTY LOCATION**

2751 S OCEAN DR  
 HOLLYWOOD, FL 33019-2721

**RATING INFORMATION**

BUILDING OCCUPANCY: RESIDENTIAL CONDOMINIUM BUILDING  
 NUMBER OF UNITS: 269 UNITS  
 PRIMARY RESIDENCE: NO  
 PROPERTY DESCRIPTION: ELEVATED WITH ENCLOSURE ON POSTS, PILES OR PIERS, 18 FLOOR(S)  
 PRIOR NFIP CLAIMS: 0 CLAIM(S)

**BUILDING DESCRIPTION:** ENTIRE RESIDENTIAL CONDOMINIUM BUILDING  
**BUILDING DESCRIPTION DETAIL:** N/A

REPLACEMENT COST VALUE: \$89,531,234.00  
 DATE OF CONSTRUCTION: 01/01/1973  
 CURRENT FLOOD ZONE: VE  
 FIRST FLOOR HEIGHT (FEET): 0.0  
 FIRST FLOOR HEIGHT METHOD: ELEVATION CERTIFICATE

**MORTGAGEE / ADDITIONAL INTEREST INFORMATION**

FIRST MORTGAGEE:

LOAN NO: N/A

SECOND MORTGAGEE:

LOAN NO: N/A

ADDITIONAL INTEREST:

LOAN NO: N/A

DISASTER AGENCY:

CASE NO: N/A  
 DISASTER AGENCY: N/A

**RATE CATEGORY — RATING ENGINE**

	<u>COVERAGE</u>	<u>DEDUCTIBLE</u>
BUILDING:	\$67,250,000	\$1,250
CONTENTS:	\$100,000	\$1,250

COVERAGE LIMITATIONS MAY APPLY. SEE YOUR POLICY FORM FOR DETAILS.  
 Please review this declaration page for accuracy. If any changes are needed, contact your agent.  
 Notes: The "FULL RISK PREMIUM" is for this policy term only. It is subject to change annually if there is any change in the rating elements. Your property's NFIP flood claims history can affect your premium, for questions please contact your agency. "MITIGATION DISCOUNTS" may apply if there are approved flood vents and/or the machinery & equipment is elevated appropriately. To learn more about your flood risk, please visit [FloodSmart.gov/floodcosts](http://FloodSmart.gov/floodcosts).

**COMPONENTS OF TOTAL AMOUNT DUE**

BUILDING PREMIUM:	\$152,585.00
CONTENTS PREMIUM:	\$1,556.00
INCREASED COST OF COMPLIANCE (ICC) PREMIUM:	\$75.00
MITIGATION DISCOUNT:	(\$7,697.00)
COMMUNITY RATING SYSTEM REDUCTION:	(\$29,265.00)
FULL RISK PREMIUM:	\$117,264.00
ANNUAL INCREASE CAP DISCOUNT:	(\$73,865.00)
STATUTORY DISCOUNTS:	(\$0.00)
DISCOUNTED PREMIUM:	\$43,399.00
RESERVE FUND ASSESSMENT:	\$7,810.00
HFIAA SURCHARGE:	\$250.00
FEDERAL POLICY FEE:	\$2,278.00
PROBATION SURCHARGE:	\$0.00
<b>TOTAL ANNUAL PREMIUM:</b>	<b>\$53,727.00</b>

IN WITNESS WHEREOF, I have signed this policy below and enter in to this Insurance Agreement

  
 Peter Rendall / President

  
 Christine DeBlase / Secretary

This declarations page along with the Standard Flood Insurance Policy Form constitutes your flood insurance policy.

Policy Issued by: IMPERIAL FIRE & CASUALTY INSURANCE COMPANY

**Zero Balance Due - This Is Not A Bill**

Insurer NAIC Number: 44369



File: 29999453

Page 1 of 1



DocID: 231705416





# MARTY KIAR

## BROWARD COUNTY

### PROPERTY APPRAISER

- Property Search
- Search Results
- Parcel Result



Homestead



Map



Sketch



Estimator



Portability



Exemption



TRIM



Tax



Pictures



Fraud



AsktMarty



Print

Copy Link

New Search

< Prev Parcel

Tax Year 2023

Next Parcel >

### Property Summary

Property ID: 514224010600

Property Owner(s): AQUARIUS CONDO ASSOC INC

2751 S OCEAN DR HOLLYWOOD, FL 33019-2738

Mailing Address: [click here to update mailing address](#)

Physical Address: S OCEAN DRIVE HOLLYWOOD, 33019

Neighborhood: Hollywood South Beach

**Property Use:** 09 - Residential Common Elements/Areas

**Millage Code:** 0513

**Adj. Bldg. S.F.:** 0 Card/Permits

**Bldg Under Air S.F.:**

**Effective Year:** 0

**Year Built:**

**Units/Beds/Baths:** 0 //



Created by 4300727 on 04/03/12 11:41 AM using ArcMap 10.1. Source: BingMap Composite, Microsoft

[http://192.168.180.26/map\\_print.asp?folio=514224010600&folionum=-&minX=943906.771...](http://192.168.180.26/map_print.asp?folio=514224010600&folionum=-&minX=943906.771...) 4/3/2012

Previous Next

**Deputy Appraiser:** Commercial Department

**Appraiser's Number:** 954-357-6835

**Email:** commercialtrim@bcpa.net

**Abbr. Legal Des.:** BEVERLY BEACH 22-13 B LOT 21,22 BLK 15

**Owner Alert:** If you are the owner of this property, protect your property from scams or fraud by subscribing to BCPA's free Owner Alert Notification service. Please click here to subscribe.

If you see a factual error on this page, please click here to notify us.

 Important:

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

The 2023 values currently shown are considered "working values" and are subject to change. These numbers will change frequently online as we make various adjustments until they are finalized.

**Property Assessment**

Year	Land	Building / Improvement	Just/Market Value	Assessed / SOH Value	Tax
2023	\$10	0	\$10	\$10	
2022	\$10	0	\$10	\$10	
2021	\$10	0	\$10	\$10	

**Exemptions And Taxing Authority Information**

	County	School Board	Municipal	Independent
Just Value	\$10	\$10	\$10	\$10
Portability	0	0	0	0
Assessed / SOH	\$10	\$10	\$10	\$10
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type 20	\$10	\$10	\$10	\$10
Affordable Housing	0	0	0	0
Taxable	0	0	0	0

**Sales History For This Parcel**

Date	Type	Qualified/Disqualified	Price	Book/Page or CIN
------	------	------------------------	-------	------------------

**Recent Sales In This Subdivision** 

Folio Number	Date	Type	Qualified/Disqualified	Price	Book/Page Or CIN	Property Address
--------------	------	------	------------------------	-------	------------------	------------------

514224010620	05/23/2022	Special Warranty Deed	Disqualified Sale	\$12,770,000	118170462	3100 S OCEAN DR HOLLYWOOD, FL 33019
514224010620	09/09/2019	Special Warranty Deed	Qualified Sale	\$4,500,000	116054850	3100 S OCEAN DR HOLLYWOOD, FL 33019

**Land Calculation**

[More Sales](#)

Type	Unit Price	Units	Zoning
Acreeage	\$10	1.18 Acre	RM-25 - MULTIPLE FAMILY DISTRICT

**Special Assessments**

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
HLwd Fire Rescue (05)								
Common Areas (V)								
1								

**School**

**School Grade**

Hollywood Central Elementary	C
Olsen Middle	I
Hallandale High	C

**Elected Officials**

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	6	Beam Furr	23	Debbie Wasserman Schultz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
101	Hillary Cassell	37	Jason W. B. Pizzo	Daniel P. Foganholi

Broward County Property Appraiser 115 South Andrews Avenue Room 111 Fort Lauderdale, Florida 33301	<b>About BCPA</b> About Marty Kiar Contact Us	<b>Search</b> Property Search Tangible Search Sales Search	<b>Resources</b> FAQ Download Forms Related Links	<b>Online Tools</b> Maps & Aerials Exemption Status Data Request	<b>Exemptions &amp; Classifications</b> All Exemptions Agricultural Classification
--	---	---	--	---	--

954-357-6830  
martykiar@bcpa.net

Tax Roll  
Information  
Business  
Careers  
Ask Marty

Subdivision  
Search  
Time Share  
Search  
Commercial  
Search  
Land Search

Market Reports  
Video Gallery  
Newsletters

Tax Estimator  
Portability  
Estimator  
Owner Alert

Appeals &  
Petitions  
Report  
Exemption  
Fraud

### [Privacy Policy](#)

Having trouble viewing our website? Please contact our accessibility hotline for assistance at [accessibility@bcpa.net](mailto:accessibility@bcpa.net) or 954-357-6830.

**Source:** Broward County Property Appraiser's Office - Contact our office at 954.357.6830. Hours: We are open weekdays from 8 am until 5 pm. **Legal Disclaimer:** Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone. Information provided on this website is for tax roll purposes only and may not be appropriate for other uses. Values are not final until certified pursuant to Florida law.

Draft Print

**PROPERTY SUMMARY**

<b>Tax Year:</b> 2023	<b>Property Use:</b> 09 - Residential Common Elements/Areas	<b>Deputy Appraiser:</b> Commercial Department
<b>Property ID:</b> 514224010600	<b>Millage Code:</b> 0513	<b>Appraisers Number:</b> 954-357-6835
<b>Property Owner(s):</b> AQUARIUS CONDO ASSOC INC	<b>Adj. Bldg. S.F.:</b> 0	<b>Email:</b> commercialtrim@bcpa.net
<b>Mailing Address:</b> 2751 S OCEAN DR HOLLYWOOD, FL 33019-2738	<b>Bldg Under Air S.F.:</b>	<b>Zoning :</b> RM-25 - MULTIPLE FAMILY DISTRICT
<b>Physical Address:</b> S OCEAN DRIVE HOLLYWOOD, 33019	<b>Effective Year:</b> 0	<b>Abbr. Legal Des.:</b> BEVERLY BEACH 22-13 B LOT 21,22 BLK 15
	<b>Year Built:</b>	
	<b>Units/Beds/Baths:</b> 0 / /	

**PROPERTY ASSESSMENT**

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2023	\$10	0	0	\$10	\$10	
2022	\$10	0	0	\$10	\$10	
2021	\$10	0	0	\$10	\$10	

**EXEMPTIONS AND TAXING AUTHORITY INFORMATION**

	County	School Board	Municipal	Independent
Just Value	\$10	\$10	\$10	\$10
Portability	0	0	0	0
Assessed / SOH	\$10	\$10	\$10	\$10
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	\$10	\$10	\$10	\$10
Affordable Housing	0	0	0	0
Taxable	0	0	0	0

**SALES HISTORY FOR THIS PARCEL**

Date	Type	Price	Book/Page or Cin

**LAND CALCULATIONS**

Unit Price	Units	Type
\$10	1.18 Acre	Acreage

**RECENT SALES IN THIS SUBDIVISION**

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
514224010620	05/23/2022	Special Warranty Deed	Disqualified Sale	\$12,770,000	118170462	3100 S OCEAN DR HOLLYWOOD, FL 33019
514224010620	09/09/2019	Special Warranty Deed	Qualified Sale	\$4,500,000	116054850	3100 S OCEAN DR HOLLYWOOD, FL 33019

**SPECIAL ASSESSMENTS**

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
HLwd Fire Rescue (05)								
Common Areas (V)								
1								

**SCHOOL**

Hollywood Central Elementary: C  
Olsen Middle: I  
Hallandale High: C

**ELECTED OFFICIALS**

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	6	Beam Furr	23	Debbie Wasserman Schultz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
101	Hillary Cassell	37	Jason W. B. Pizzo	Daniel P. Foganholi



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Not For Profit Corporation  
AQUARIUS CONDOMINIUM ASSOCIATION, INC.

### Filing Information

<b>Document Number</b>	717401
<b>FEI/EIN Number</b>	59-1445052
<b>Date Filed</b>	10/21/1969
<b>State</b>	FL
<b>Status</b>	ACTIVE

### Principal Address

2751 S OCEAN DRIVE  
HOLLYWOOD, FL 33019

Changed: 02/29/2000

### Mailing Address

2751 S OCEAN DRIVE  
HOLLYWOOD, FL 33019

Changed: 02/29/2000

### Registered Agent Name & Address

SKRLD, Inc.  
201 Alhambra Circle  
11th Floor  
Coral Gables, FL 33134

Name Changed: 08/02/2022

Address Changed: 08/02/2022

### Officer/Director Detail

**Name & Address**

Title VP

Jankowska- Fishman, Elzbieta  
2751 S OCEAN DRIVE  
HOLLYWOOD, FL 33019

Title President

Ngo, Kiet  
2751 S OCEAN DRIVE  
HOLLYWOOD, FL 33019

Title Secretary

Behar, Leon  
2751 S OCEAN DRIVE  
HOLLYWOOD, FL 33019

Title Treasurer

Khalevich, Elizabeth  
2751 S Ocean Drive  
Hollywood, FL 33019

Title Director

Cooper, Philippe  
2751 S. Ocean Dr.  
Hollywood, FL 33019

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2022	04/22/2022
2022	08/02/2022
2023	01/25/2023

**Document Images**

<a href="#">01/25/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">08/02/2022 -- AMENDED ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/22/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/16/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/04/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/27/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/16/2018 -- AMENDED ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

Draft Print



<a href="#">02/13/2018 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/13/2017 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">11/01/2016 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/27/2016 -- Reg. Agent Change</a>	View image in PDF format
<a href="#">01/25/2016 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">07/31/2015 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/09/2015 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/27/2014 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/21/2013 -- AMENDED ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/25/2013 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/12/2012 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/03/2011 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/03/2010 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/19/2009 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/06/2008 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">01/24/2007 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/11/2006 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/10/2005 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/11/2004 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/26/2003 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">07/16/2002 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/01/2001 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">02/29/2000 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">03/05/1999 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">10/30/1998 -- Reg. Agent Change</a>	View image in PDF format
<a href="#">02/16/1998 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">05/09/1997 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">04/12/1996 -- ANNUAL REPORT</a>	View image in PDF format
<a href="#">06/20/1995 -- ANNUAL REPORT</a>	View image in PDF format



PRIVATE PROPERTY  
NO TRESPASSING

PRIVATE PROPERTY  
NO TRESPASSING  
VIOLATORS WILL  
BE PROSECUTED

PLEASE  
KEEP  
DOOR  
CLOSED

PLEASE TURN  
WATER OFF AFTER  
USE

PLEASE USE  
PUMP FOR  
LIVING











Magnolia Terr  
NEXT SIGNAL

Draft Print



## **Aquarius Condominium Association**

February 27, 2024

Hollywood Community Redevelopment Agency  
140 South 21st Avenue  
Hollywood, FL 33020

Dear Hollywood CRA,

We, the Board of Directors of Aquarius Condominium, located at 2751 S Ocean Drive, hereby express our intent to apply for the Property Improvement Grant. Our condominium, built in 1973, stands as a landmark structure along Hollywood Beach. Recognizing the invaluable efforts of the Hollywood CRA in revitalizing and enhancing the Hollywood beach and its surrounding areas, we are eager to contribute to this collective endeavor.

Over the past several years, Aquarius Condominium has undertaken significant efforts to modernize and enhance our property. In 2017, we embarked on a comprehensive renovation project, investing over \$22 million to revitalize our building and bring it up to contemporary standards (40 Year recertification). This extensive renovation encompassed various critical aspects of our property, including (but not limited to):

- Full renovation of all corridors
- Concrete restoration
- Full balcony replacements
- Restoration of structural columns
- Full elevator replacement
- Pool and deck resurfacing
- Roof replacement



Having successfully completed these essential renovations, we now turn our attention to the final phase: completing the exterior painting, waterproofing and stucco repairs to the building.

These proposed enhancements not only aim to improve the visual appeal of our property but also contribute to the overall beautification and vibrancy of the surrounding neighborhood.

We believe that the proposed improvements align closely with the objectives of the Hollywood CRA and will further enhance the attractiveness and vitality of the Hollywood Beach area. As such, we kindly request your consideration and support for our application for the Property Improvement Grant to facilitate the realization of these enhancements.

Thank you for your attention to this matter. We look forward to the opportunity to collaborate with the Hollywood CRA in continuing to enhance our shared community.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kiet Ngo', with a long horizontal flourish extending to the right.

Kiet Ngo

President, Aquarius Condominium Association





**HOLLYWOOD CRA GRANT PROGRAM BID SUMMARY**

Business or Condo Name: **Aquarius Condominium Association, Inc.**

Property Address: **2751 South Ocean Drive Hollywood, FL 33019**

PIP

**WORK DISCIPLINE: Paint & Stucco, Parapette Repairs, Beach Access & Beach Stair**

<b>Contractor .001 South Coast Restoration &amp; Painting (Total Project)</b>	<b>\$1,869,616.50</b>	<b>SELECTED</b>
---	-----------------------	-----------------

<i>Contractor .001 South Coast Restoration &amp; Painting (Eligible Scope)</i>	<b>\$0.00</b>	<b>SELECTED</b>
--	---------------	-----------------

Contractor .002 Coast to Coast (Total Project) \$2,524,246.00

*Contractor .002 Coast to Coast (Eligible Scope)* \$0.00

Contractor .003 Restore (Total Project) \$2,674,405.33

*Contractor .003 Restore (Eligible Scope)* \$0.00

Contractor .004 Waterfront (Total Project) \$2,717,744.00

*Contractor .00 Waterfront (Eligible Scope)* \$0.00

<b>TOTAL PROJECT COST</b>	<b>\$1,869,616.50</b>	<i>Out of Pocket</i> <b>\$1,719,616.50</b>
---------------------------	-----------------------	---

*(Up To 50% Of Total Project Cost With A \$75,000 Max)*

<b>TOTAL INCENTIVE AMOUNT</b>	<b>4%</b>	<b>\$75,000.00</b>
-------------------------------	-----------	--------------------

<b>TOTAL PROJECT COST (Based on Eligible Scope)</b>	<b>\$0.00</b>	<i>Out of Pocket</i> <b>-\$150,000.00</b>
---	---------------	--

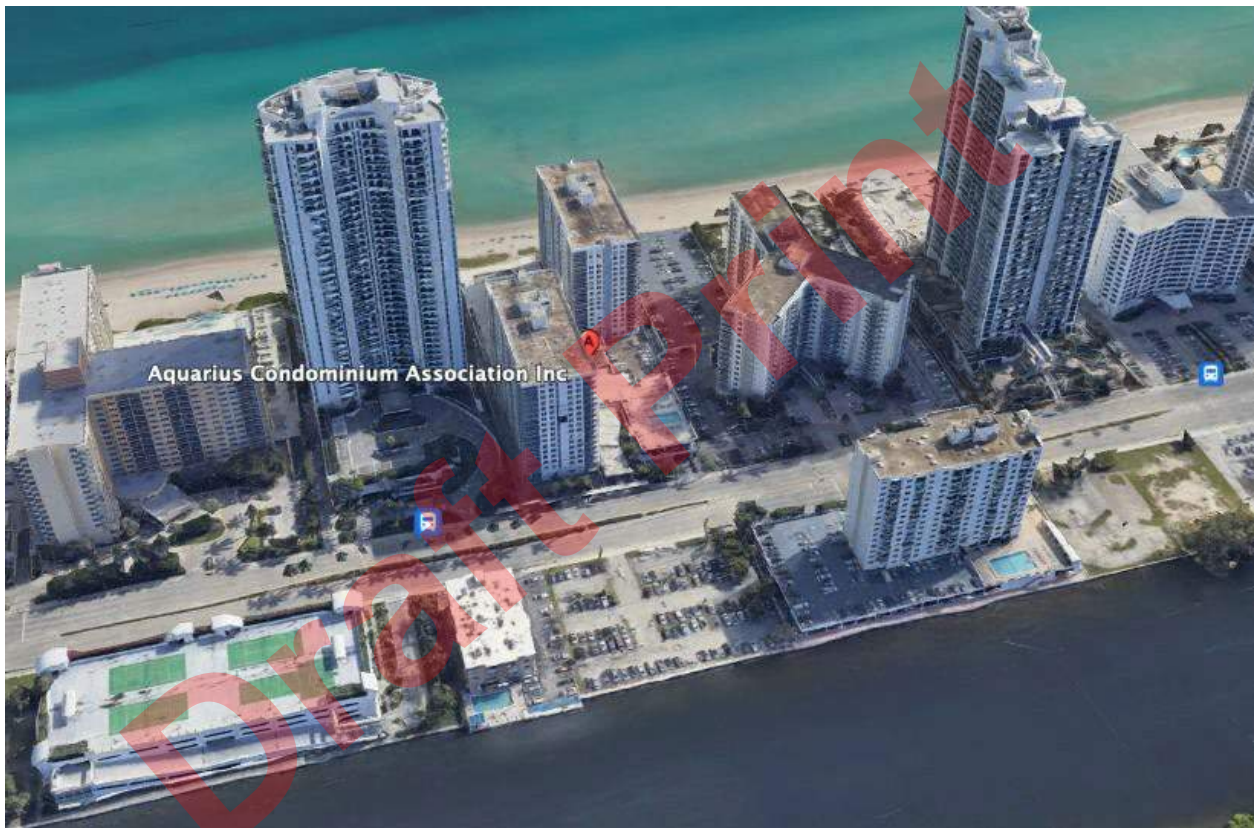
*(Up To 50% Of Total Project Cost With A \$75,000 Max)*

<b>TOTAL INCENTIVE AMOUNT</b>	<b>#DIV/0!</b>	<b>\$75,000.00</b>
-------------------------------	----------------	--------------------

**NOTES:**



**AQUARIUS CONDOMINIUM ASSOCIATION  
BUILDINGS EXTERIOR ENVELOPE AND PARKING GARAGE  
CONCRETE RESTORATION FOR 50 YR CERTIFICATION –  
BID PACKAGE**



**Prepared For Board of Directors  
2751 South Ocean Drive  
Hollywood, FL 33019**

**Prepared By  
LTM Engineering Group, LLC  
4000 Hollywood Blvd, Suite 555-S  
Hollywood, Florida 33021**

**September 2023**

**ATTACHMENT A**  
**PROJECT BID/BUDGET SHEE**

Draft Print

PROPERTY: AQUARIUS CONDOMINIUM ASSOCIATION, INC.  
 ADDRESS: 2751 S. OCEAN DRIVE, HOLLYWOOD, FL 33019  
 PROJECT: BUILDINGS EXTERIOR ENVELOPE AND PARKING GARAGE CONCRETE RESTORATION  
 FOR 50 YR CERTIFICATION



**BID COMPARISON SHEET - BUILDINGS EXTERIOR ENVELOPE AND PARKING GARAGE CONCRETE RESTORATION FOR 50 YR CERTIFICATION**

		SOUTH COAST			
SOUTH + NORTH BUILDINGS + PARKING GARAGE					
A	CUMULATIVE GENERAL				
ITEM #	SCOPE OF WORK DESCRIPTION / SPECIFICATIONS	QUANT	UO	UNIT PRICE	TOTALS
1	<b>Mobilization</b>	1	LS		\$53,000.00
2	<b>General Conditions</b> Price to include but not limited to scaffolding, swing stages, formwork, shoring (related to formwork), storage containers, office trailer, dumpster, barriers, signage, temporary fencing, all necessary protection assemblies, insurances, overheads, and any other items related to general conditions and safe operation of the job site as needed in compliance with normal precautionary practices as well as all OSHA requirements. Price to include site management, material handling and management of project. Price must also include insurance, profit and overhead.	1	LS		\$157,000.00
3	<b>Permit Expediting Fees</b> Price to include costs of Permitting work - applications, follow-ups, document deliveries and pick-up, and back-office work. Price NOT TO INCLUDE actual Permit fees	1	LS		\$2,600.00
4	<b>Hurricane - Demobilization, Remobilization</b> Contractor shall perform up to (3) mandatory De-mobilizations over the course of the project, at no extra cost for the Association, according to the standards set forth by City and county authorities and OSHA. This allowance does <b>not</b> include any materials or labor related to boarding up windows and Balcony or walkway, patio or sliding glass doors, or any other areas or components, not affected specifically by the construction work.	1	---	\$28,000.00	\$28,000.00
5	<b>Hurricane - Board up (Allowance)</b> Boarding up windows and sliding glass doors, or any other components as needed, as specifically referring to sliding glass doors or windows where hurricane shutters or protections has previously been removed. Price to reflect <b>unit SF costs</b> of board-up with plywood or the like. Contractor will make a reasonable effort to close shutters where they still remain unremoved.	---	SF	\$12.00	---
	<b>Structural Temporary Shoring (Allowance)</b> Line item reflects an allocation of funds for the installation of shoring and post-shore rental. Any shoring related to demolition or forming work during the course of the project is part of general conditions at no additional cost and not included in this price. The exact locations of shoring install will be determined by the Shoring Engineer through an engineered design (not included in price of this line item), approved by EOR. Bidder to input unit price cost	1	LS	Total LS Allocated Amount	\$15,000.00
	<b>Structural Temporary Shoring Engineering Design (Allowance)</b> Line item reflects an estimated allocation of funds for shoring engineering design(s)	1	LS	Total Allocated	\$8,000.00
<b>SUBTOTAL A</b>					<b>\$235,600.00</b>
B	EXTERIOR ENVELOPE, BALCONIES & GARAGE				
	<b>Vertical Concrete Members Spall Repair (Allowance)</b> Line item reflects costs for vertical members such as walls, columns, or other, consisting of all reinforced concrete (no masonry block). Contractor to fully remove stucco around marked areas (price NOT to include removal of stucco), and expose Concrete substrate for verification of deficiency. Include all necessary steps for proper repair as per Construction Drawings, Specifications and ICRI guidelines, including chipping, cleaning, coating, and refilling chipped areas with concrete. Line item NOT to include doweling or replacement of steel bars (to be given in another line item). Repair areas to be patched back with SIKAQWICK VOH or similar with previous EOR approval. Max. depth shall be 4". Quantities & pricing for this line item do not include removal of stucco, only concrete repair. Contractor to stay within boundaries of marked area by the EOR.	285	CF	\$310.00	\$88,350.00
	<b>Horizontal Concrete Members Spall Repair (Allowance)</b> Line item reflects costs for horizontal members such as beams, joists, or other (not slabs), consisting of all reinforced concrete. Contractor to fully remove stucco around marked areas (price NOT to include removal of stucco), and expose Concrete substrate for verification of deficiency. Include all necessary steps for proper repair as per Construction Drawings, Specifications and ICRI guidelines, including chipping, cleaning, coating, and refilling chipped areas with concrete. Line item NOT to include doweling or replacement of steel bars (to be given in separate line item). Repair areas to be patched back with SIKAQWICK VOH or similar with previous EOR approval. Contractor to stay within boundaries of marked area by the EOR.	195	CF	\$310.00	\$60,450.00
11	<b>Horizontal Conc Members Spall - Balcony Slabs Partial Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete balcony slab members. Repair to be done within engineer's markings, a maximum depth of 3" without engineer's approval. Use SIKAQWICK VOH (or similar, to be approved by EOR). Price to include all necessary forming, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price.	400	SF	\$115.00	\$46,000.00

12	<p><b>Horizontal Conc Members Spall - Balcony Slabs Full Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete balcony floor slab members. In the event that EOR deems the exposed concrete deck as deficient and repair requires further depth than that of partial, full thru-depth will be demolished. Use SIKACRETE 211 or SIKACRETE 211 PLUS (or similar, to be approved by EOR). Price to include all necessary forming, reinforcing steel bars install, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price. Provide price for <b>6 inch thick slab.</b></p>	25	SF	\$125.00	\$3,125.00
13	<p><b>Horizontal Conc Members Spall - Overhead Slab Soffit Partial Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete balcony floor slab members, from the bottom onto overhead soffits. Repair to be done within engineer's markings, a maximum depth of 3" without engineer's approval. Use SIKAQICK VOH (or similar, to be approved by EOR). Price to include all necessary forming, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price.</p>	210	SF	\$118.00	\$24,780.00
14	<p><b>Pkg Grg - Horiz. Conc Members Spall - Overhead Slab Soffit Partial Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete garage floor slab members, from the bottom onto overhead soffits. Repair to be done within engineer's markings, a maximum depth of 4" without engineer's approval. Use SIKAQICK VOH (or similar, to be approved by EOR). Price to include all necessary forming, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price.</p>	70	SF	\$118.00	\$8,260.00
15	<p><b>Pkg Grg - Horiz. Conc Members Spall - Full Depth Repair (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete garage floor slab members. In the event that EOR deems the exposed concrete deck as deficient and repair requires further depth than that of partial, full thru-depth will be demolished. Use SIKACRETE 211 or SIKACRETE 211 PLUS (or similar, to be approved by EOR). Price to include all necessary forming, reinforcing steel bars install, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price. Provide price for <b>8 inch thick slab.</b></p>	25	SF	\$125.00	\$3,125.00
16	<p><b>Pkg Grg - Column Steel Protection Plates (Allowance)</b> This includes removal of the existing rusted column steel protection plates jacketed around columns, cleaning of the surface, application of rust protective agent and placing of new protection plates. Contractor to field verify exact plate dimensions.</p>	450	EA	\$110.00	\$49,500.00
17	<p><b>Pkg Grg - Waterproofing Removal</b> Removal of all waterproofing layers to expose concrete structural deck. This item shall include any required surface preparation.</p>	50	SF	\$6.00	\$300.00
18	<p><b>Pkg Grg - Waterproofing</b> Application of new waterproofing to be Slip Resistant, UV Resistant (By Sika, Tremco or approved equivalent). This item shall include any required surface preparation and/or flash patching to make the concrete surfaces.</p>	50	SF	\$20.00	\$1,000.00
19	<p><b>Steel Bars to Replace - Partial or Full Depth (Allowance)</b> Line item reflects an allocation of funds for reinforcing bars (bars themselves), should there be a need to replace existing or sister-in new bars in any area of partial or full-depth repairs. This price only for the rebar, per LF of bar.</p>	450	LF	\$8.00	\$3,600.00
20	<p><b>Drilling/Dowelling Rebar (Allowance)</b> Line item reflects an allocation funds for drilling into concrete should there arise the need to dowel in new reinforcing bars. Price not to include that of the bars themselves. Price also to include the cost of injecting Sika Anchorfix S or approved equiv. epoxy into drilled hole and inserting new bar. Unit price will be per inch of drilled depth assuming hole width for #4 rebar</p>	800	EA	\$38.00	\$30,400.00
21	<p><b>Stucco Remove and Replace (Allowance)</b> Line item reflects costs to fully remove and replace stucco from all surfaces where it exists, horizontal or vertical, as marked onsite by the EOR. The work would included its removal, exposing concrete substrate, and clean and surface prep. Pricing to also include all necessary steps for proper stucco re- application per Construction Drawings, Specifications and/or ICRI guidelines. Line item allows for a standard stucco thickness of up to 1 inch.</p>	6,000	SF	\$22.00	\$132,000.00
22	<p><b>Balcony Edge Spall (up to 12 inches) Repair (Allowance)</b> This includes removal of stucco and concrete within engineer's markings, rehabilitation of reinforcement and/or replacement of rebar, formwork, application of appropriate bonding/anticorrosive materials, concrete patching and stuccoing as directed by the engineer. After the 12" the repair must be considered and invoiced as a full depth slab repair.</p>	120	LF	\$125.00	\$15,000.00

23	<b>Window Header / Sill Repair (Allowance)</b> Work consists of repairing all spalled, crack, delaminated concrete and stucco as determined by the engineer. The removal of stucco and concrete must be within the boundaries of engineer's markings (markings to remain visible for Engineer's inspection), until sound concrete is reached, but in no case more than 4" deep without engineer's approval, rehabilitation and/or replacement of reinforcement, formwork, application of appropriate bonding/anticorrosive materials, plastic corner bead (if necessary), new concrete and stucco patching to match existing surrounding areas. Caulking and painting to be included as part of the caulking and painting line items.	400	LF	\$90.00	\$36,000.00
24	<b>Horizontal Expansion Joints Repair</b> Line item reflects costs for removal and disposal of the existing Expansion Joint filler system. Preparation of the surface and provision and installation of new Expansion Joint filler system Backer Rod and Elastomeric by Sika or approved equivalent.	790	LF	\$28.00	\$22,120.00
25	<b>Horizontal Expansion Joint Nosing Repair (Allowance)</b> Line item reflects costs for repairs of the edges of the concrete lining the expansion joint. These repairs follow the same procedure as that for spalled concrete. Include all necessary steps for proper repair as per Construction Drawings, Specifications and ICRI guidelines, including chipping, cleaning, coating, and refilling chipped areas with concrete. Line item NOT to include doweling or replacement of steel bars (to be given in separate line item). Repair areas to be patched back with SIKAQUICK VOH or similar with previous EOR approval.	75	LF	\$80.00	\$6,000.00
26	<b>Concrete Cracks Repair (Non-structural Caulk) (Allowance)</b> Line item reflects costs for Cracks (all concrete and/or block members) to be routed (V-groove) and sealed with Elastomeric caulk (marked and approved by EOR) along the entire length of the crack, crowned in the center approximately 1/16" and feathered approximately 3" on either side of the crack. All repaired areas will be patched and have a finish to match existing.	820	LF	\$7.75	\$6,355.00
27	<b>Concrete Cracks Repair (gravity fed Epoxy) (Balconies or other) (Allowance)</b> Cracks shall be routed (V-groove) by mechanical means with power tool or grinder (all concrete members only, no block); surface to be prepared prior to applying gravity fed epoxy crack repair, approved by an Engineer. All repaired areas will be patched and have a finish to match existing.	3,350	LF	\$17.00	\$56,950.00
28	<b>Concrete Cracks Repair (Pressure Inject Epoxy) (Balconies or other) (Allowance)</b> This includes pressurized injection of structural concrete cracks as directed by the engineer, and in accordance with industry standard and manufacturer's recommendations. All injection ports will be patched, and areas finished to match the surrounding (all concrete members only, no block)	3,100	LF	\$45.00	\$139,500.00
29	<b>Balcony - Removal &amp; Disposal of Floor Covering (Allowance)</b> Removal & disposal of floor covering, including tile, marble, carpet, stone, paint, carpet or any coatings or cementitious toppings, to expose the structural concrete slab. This item to include double layers of tiles (if any).	5,500	SF	\$6.00	\$33,000.00
30	<b>Balcony - Waterproofing (Allowance)</b> Application of new waterproofing to be Slip Resistant, UV Resistant (By Sika, Tremco or approved equivalent). This item shall include any required surface preparation and/or flash patching to make the concrete surfaces.	2,000	SF	\$14.00	\$28,000.00
31	<b>Flash Patching (Allowance)</b> Application of Flash Patching cement for purposes of sloping horizontal slab surfaces. Contractor to provide ASTM approved product of preference, subject to approval from EOR. This item shall include any required surface preparations needed for a proper application.	450	SF	\$17.00	\$7,650.00
32	<b>Rust Spots Removal / Rust Bleeding (Allowance)</b> Line item reflects costs for grinding out the concrete to reveal rusty rebar tips or source of rust bleeding. Cleaning the existing steel. Sealing and epoxy priming the existing rebar. Price indicated will represent a concrete repair area of dimensions 4"x4"x2" deep, sawcut with straight edges, exposing the rebar tips.	1,785	EA	\$34.00	\$60,690.00
33	<b>Styrofoam Perimeter Panels</b> Line item reflects costs for the full removal of the existing styrofoam panels at the very top of both towers and pool deck gym building on the outside faces of the roof parapet walls. Price to include the reapplication of stucco to the parapet walls at the areas from where the panels were removed. The quantity provided is for both towers - 4,000 SF per building, pool deck gym building - 600 SF. 8,600 SF total. Contractor <u>must</u> verify quantity.	1	LS		\$149,570.00
34	<b>Painting - All surfaces (Allowance) OPTION 1</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on <u>all</u> exterior walls of both towers and common areas, roof walls and parapets, balconies, and overhangs. Also on patched areas within walkways and staircases. Use Sherwin Williams Acrylic Duration System, or approved equiv. by EOR. Colors to be selected by the Association. Contractor <u>must</u> verify quantity. <u>Do not</u> add this line item dollar value to the total.	196,300	SF	\$1.60	\$314,080.00
35	<b>Painting - All surfaces (Allowance) OPTION 2</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on <u>all</u> exterior walls of both towers and common areas, roof walls and parapets, balconies, and overhangs. Also on patched areas within walkways and staircases. Use Sherwin Williams Emerald Exterior Acrylic Flat, or approved equiv. by EOR. Colors to be selected by the Association. Contractor <u>must</u> verify quantity. <u>Do not</u> add this line item dollar value to the total.	196,300	SF	\$1.80	\$353,340.00

36	<b>Painting - Over patched areas only (Allowance) OPTION 1</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on exterior walls, roof walls and parapets, balconies, overheads, walkways and staircases. Use Sherwin Williams Acrylic Duration System, or approved equiv. by EOR. Colors to be selected by the Association. Price per SF.	43,000	SF	\$1.60	\$68,800.00
37	<b>Painting - Over patched areas only (Allowance) OPTION 2</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on exterior walls, roof walls and parapets, balconies, overheads, walkways and staircases. Use Sherwin Williams Emerald Exterior Acrylic Flat, or approved equiv. by EOR. Colors to be selected by the Association. Price per SF.	43,000	SF	\$1.80	\$77,400.00
38	<b>Painting - Sealants (Allowance)</b> This includes removal of existing damaged sealant as needed and application of new sealant and primer prior to painting window frames, sliding glass doors, walkway or balcony exterior doors. Use SikaFlex Construction Sealant or equivalent moisture cured, polyurethane based, non-sag elastomeric sealant. Approx. 4,000 LF per bulding, 8,000 LF total.	8,000	LF	\$6.80	\$54,400.00
39	<b>Hurricane Shutters Removal (Allowance)</b> Should the need arise, this item is to include the removal of complete shutter, inclusive of all tracks and mechanical fasteners (bolts) within the existing vertical or horizontal concrete to which they are anchored into. All removed shutters are to be wrapped and protected, labeled and stored in an area provided by the Owner. Assume shutter size over standard SGD of 8'x16'. All other removed sizes based on onsite necessities shall be priced as a ratio relationship with this as a base SF sized area. Price not to include reinstallation.	1	EA	\$280.00	\$280.00
40	<b>Hurricane Shutters Reinstallation (Allowance)</b> Should the need arise, this item is to include the price of reinstallation of the existing removed shutter. Assume shutter size over standard SGD of 8'x16'. All other reinstallation sizes based on onsite necessities shall be priced as a ratio relationship with this as a base SF sized area. Do not add this line item dollar value to the total.	1	EA	\$330.00	\$330.00
41		<b>SUBTOTAL B</b>			<b>\$1,380,815.00</b>
42		<b>SUBTOTAL A + B</b>			<b>\$1,616,415.00</b>
<b>C</b>	<b>MISCELLANEOUS, UNFORSEEN AND CONCEALED CONDITIONS</b>				
43	<b>Structural Repairs of Balcony or Exterior Envelope Components - Unforeseen and/or concealed conditions (10% Allowance)</b> This contingency is in place to protect the association from absorbing extra cost that arise due to change orders related to overages in quantities or unforeseen or concealed conditions.	1	LS		\$138,081.50
44	<b>Balcony Interior Intrusion - Temporary Dust wall (Allowance)</b> Should the need arise to intrude into an apartment unit for concrete repair of the floor or soffit slab, contractor to provide as a minimum the following: carpeting and/or foam to protect interior flooring and soffit finishes (if applicable), 2x4 vertical studs, vertical post shores, plywood and caulk seal all joints and plastic film, for the built-up of temporary dustwalls inside units. Contractor to remove any drywall that intrudes a proper concrete repair, as well as any electrical wiring and components due to recessed lights or the like that intrudes a proper concrete repair. Interior finishes and/or flooring instalation are not included in price.	200	LF	\$57.00	\$11,400.00
45	<b>Balconies - Unit Intrusion - Interior Finishes (Allowance)</b> Should the need arise to intrude into an apartment unit for concrete repair of the floor or soffit slab, this price to include drywall removal & replacement, all taping, insulation, compound and primer as needed to match existing finishes. Price not to include interior paint. Paint by others, flooring tile, wood or other not included in price. Flooring wall accessories like baseboards not included in price.	200	SF	\$160.00	\$32,000.00
46	<b>Sliding Glass Door Removal and Reinstallation (Allowance)</b> Should the need arise, this price includes the removal, protecting and storing of sliding glass doors during the necessary repairs. Price also to include the further reinstallation of sliding glass doors if they are deemed in good working condition and meet current code requirement. Otherwise, door installation prices are a separate unit owner responsibility. Line item price to assume a standard 16' long x 8' high SGD	1	EA	\$720.00	\$720.00
47		<b>SUBTOTAL C</b>			<b>\$182,201.50</b>
48		<b>TOTAL BASE BID A + B + C</b>			<b>\$1,798,616.50</b>
49	<b>Hourly Rate for Laborer</b>		HR	\$65.00	
50	<b>Hourly Rate for Foreman</b>		HR	\$80.00	
51	<b>Hourly Rate for Skilled Carpenter</b>		HR	\$100.00	
52	<b>Hourly Rate for Roofer</b>		HR	\$100.00	
53	<b>Hourly Rate for Plumber</b>		HR	\$125.00	
54	<b>Hourly Rate for Electrician</b>		HR	\$125.00	
<b>D</b>	<b>BEACH STAIRS &amp; DOOR</b>				

55	<b>Beach Stairs</b> Contractor to provide a price for the demo and construction of a new staircase at the beach as per construction drawings. Contractor to submit all RFIs necessary for proper bidding.	1	LS		\$38,000.00
56	<b>Beach Door</b> Contractor to provide a price for the demo of the existing door, and the relocation of the new door as per construction drawings. Contractor to submit all RFIs necessary for proper bidding.	1	LS		\$33,000.00
57		<b>SUBTOTAL D</b>			\$71,000.00
58		<b>TOTAL BID A + B + C + D</b>			<b>\$1,869,616.50</b>
	<b>Performance and Payment Bonds (Allowance)</b> Percentage of line 58	2	%		\$37,392.33
60	<b>Permit Fees (At Cost)</b> Price to include actual Permit fee of the City (% of line 42)	3	%	At Cost	\$48,492.45
61		<b>TOTAL PROJECT BID</b>			<b>\$1,955,501.28</b>
TME	<b>Time (calendar days)</b> that Substantial Completion shall be reached. (Final Completion shall be reached no more than 300 (cal.) days after this.)				300

Draft Print





SOUTH54

OP ID: HP

# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
**09/11/2023**

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER <b>INNOVATIVE INSURANCE CONSULTANTS, INC.</b> 5461 UNIVERSITY DRIVE, #103 CORAL SPRINGS, FL 33067 BRIAN J. MAMO  954-340-9551	CONTACT NAME: <b>BRIAN J. MAMO</b> PHONE (A/C, No, Ext): <b>954-340-9551</b> FAX (A/C, No): <b>954-340-9456</b> E-MAIL ADDRESS: <b>BRIAN@INNOVATIVE-INSURANCE.COM</b>  INSURER(S) AFFORDING COVERAGE  INSURER A: <b>HOUSTON SPECIALTY INS CO</b> NAIC # <b>12936</b> INSURER B: <b>BRIDGEFIELD EMPLOYERS INS CO</b> <b>10701</b> INSURER C: INSURER D: INSURER E: INSURER F:
--	---

**COVERAGES**                      **CERTIFICATE NUMBER:**                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
<b>A</b>	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> <b>BLANKET ADDL INSD</b> <input checked="" type="checkbox"/> <b>BLANKET WAIVER</b> GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:			<b>ESB-HS-GL-0001232-00</b>  PRIMARY NON-CONTRIBUTORY	<b>08/30/2023</b>	<b>08/30/2024</b>	EACH OCCURRENCE      \$ <b>1,000,000</b> DAMAGE TO RENTED PREMISES (Ea occurrence)    \$ <b>100,000</b> MED EXP (Any one person)    \$ <b>5,000</b> PERSONAL & ADV INJURY    \$ <b>1,000,000</b> GENERAL AGGREGATE    \$ <b>2,000,000</b> PRODUCTS - COMP/OP AGG    \$ <b>2,000,000</b>  COMBINED SINGLE LIMIT (Ea accident)    \$ BODILY INJURY (Per person)    \$ BODILY INJURY (Per accident)    \$ PROPERTY DAMAGE (Per accident)    \$  \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						\$
<b>A</b>	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION\$ <b>0</b>			<b>ESB-HS-CX-0000218-00</b>	<b>08/30/2023</b>	<b>08/30/2024</b>	EACH OCCURRENCE      \$ <b>3,000,000</b> AGGREGATE      \$ <b>3,000,000</b> <b>SEE NOTES</b> \$
<b>B</b>	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> <input type="checkbox"/> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)    Y / N    N / A If yes, describe under DESCRIPTION OF OPERATIONS below			<b>0830-26505</b>	<b>01/01/2023</b>	<b>01/01/2024</b>	<input checked="" type="checkbox"/> PER STATUTE <input checked="" type="checkbox"/> OTHER E.L. EACH ACCIDENT    \$ <b>1,000,000</b> E.L. DISEASE - EA EMPLOYEE    \$ <b>1,000,000</b> E.L. DISEASE - POLICY LIMIT    \$ <b>1,000,000</b>

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER	CANCELLATION
<p style="text-align: center;"><b>SOUTCO3</b></p> <p><b>SOUTH COAST PAINTING AND DEVELOPMENT, INC DBA SOUTH COAST RESTORATION &amp; PAINTING</b>          6601 LYONS ROAD #C-2          COCONUT CREEEK, FL 33073</p>	<p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.</p> <p>AUTHORIZED REPRESENTATIVE  <i>Brian J. Mamo</i></p>

# *State of Florida*

## *Department of State*

I certify from the records of this office that SOUTH COAST RESTORATION & PAINTING, LLC. is a limited liability company organized under the laws of the State of Florida, filed on April 12, 2018, effective April 12, 2018.

The document number of this limited liability company is L18000092868.

I further certify that said limited liability company has paid all fees due this office through December 31, 2020, that its most recent annual report was filed on January 30, 2020, and that its status is active.

*Given under my hand and the  
Great Seal of the State of Florida  
at Tallahassee, the Capital, this  
the Thirtieth day of January, 2020*



*Randy R. ...*  
**Secretary of State**

Tracking Number: 657655S146CC

To authenticate this certificate, visit the following site, enter this number, and then follow the instructions displayed.

<https://services.sunbiz.org/Filings/CertificateOfStatus/CertificateAuthentication>



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



**STATE OF FLORIDA**  
**DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD**

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE  
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

**RAMOS NETO, ANAEL I**

SOUTH COAST RESTORATION AND PAINTING  
6601 LYONS RD  
SUITE C-2  
POMPANO BEACH FL 33073

**LICENSE NUMBER: CGC1527478**

**EXPIRATION DATE: AUGUST 31, 2024**

Always verify licenses online at [MyFloridaLicense.com](http://MyFloridaLicense.com)



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



# Certificate of Membership

*This certifies that*

**Reginaldo Teixeira**

*is a member of the International Concrete Repair Institute through*

**April 15, 2020**

*Christopher A. Lippmann*

ICRI President

# REACH

Service & Equipment, Inc.

## **Certificate of Completion**

*In recognition of his successful completion of the  
Reach Service & Equipment Competent Person Course.*

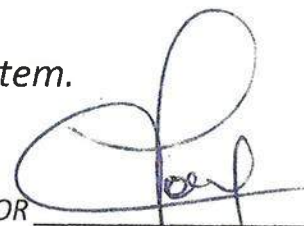
**REGINALDO TEIXEIRA**

*Of*

**SOUTH COAST PAINTING & WATERPROOFING.**

*Is hereby qualified as a Competent Person for  
Swing Stage Suspended Platform & Fall Arrest System.*

DATE OF TRAINING DEC 03, 2021 SAIA CERTIFICATE # 35963 AUTHORIZED INSTRUCTOR

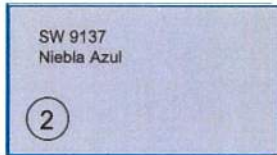
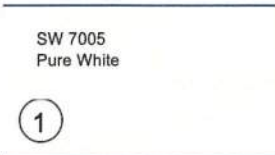


IVAN CORONEL

THIS CERTIFICATE IS VALID FOR A PERIOD OF 4 YEARS AFTER WHICH RE-CERTIFICATION CAN BE OBTAINED BY ANOTHER TRAINING COURSE.



- ① Body
- ② Accent



Avian Benaine

(954) 444-3929 • [avi.g.benaine@sherwin.com](mailto:avi.g.benaine@sherwin.com)

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools. The Cover The Earth logo and the Sherwin-Williams logo are trademarks owned or licensed by The Sherwin-Williams Company. ©2023 The Sherwin-Williams Company.



- ① Body
- ② Accent

SW 7005 Pure White  ①	SW 9137 Niebla Azul  ②
--------------------------------	---------------------------------

Avian Benaine

(954) 444-3929 • [avi.g.benaine@sherwin.com](mailto:avi.g.benaine@sherwin.com)

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools. The Cover The Earth logo and the Sherwin-Williams logo are trademarks owned or licensed by The Sherwin-Williams Company. ©2023 The Sherwin-Williams Company.



① Body    ② Accent

SW 7005 Pure White  ①	SW 9137 Niebla Azul  ②
--------------------------------	---------------------------------

Avian Benaïne

(954) 444-3929 • [avi.g.benaïne@sherwin.com](mailto:avi.g.benaïne@sherwin.com)





- ① Body
- ② Accent

SW 7005  
Pure White

①

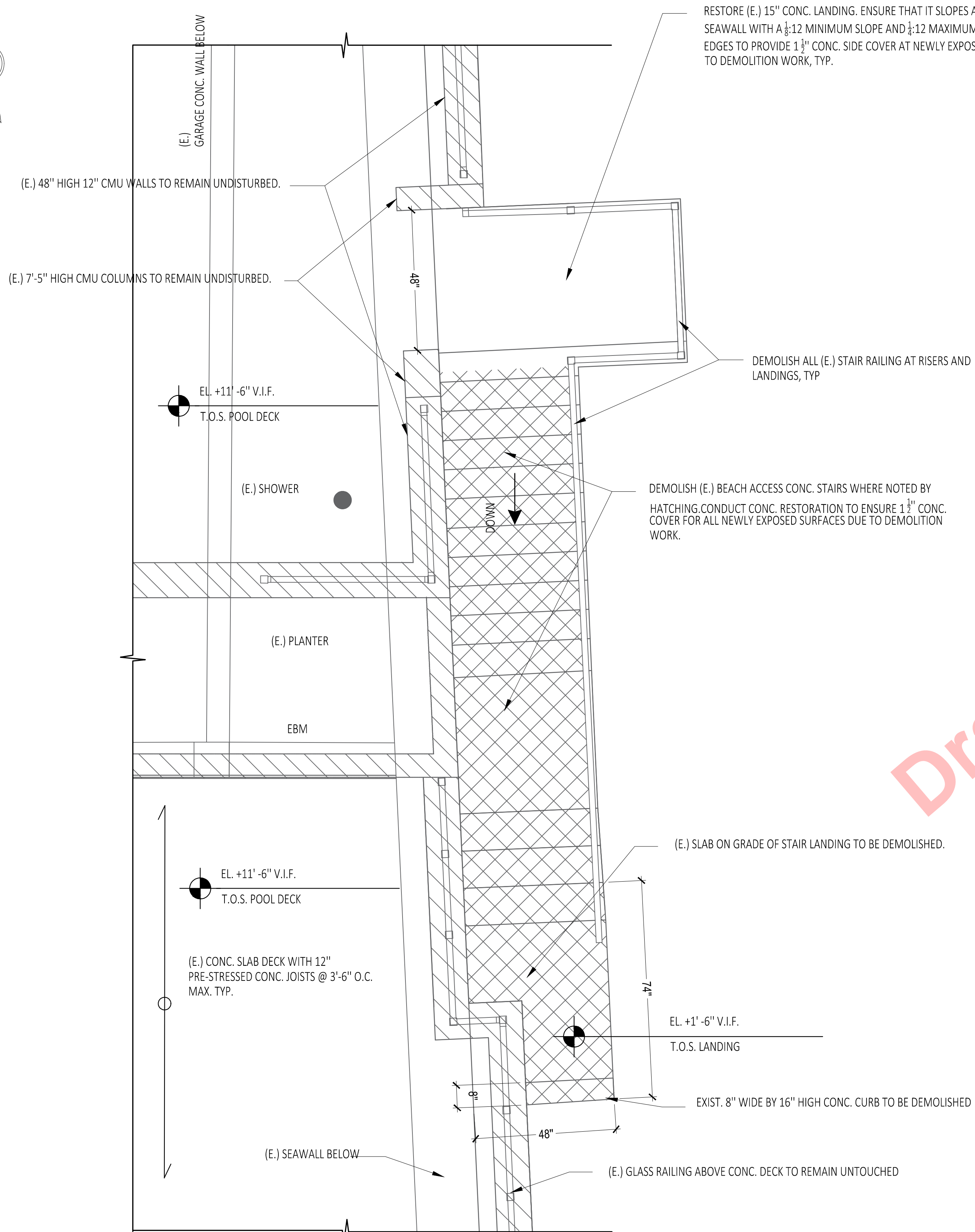
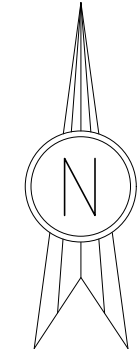
SW 9137  
Niebla Azul

②

Avian Benalme

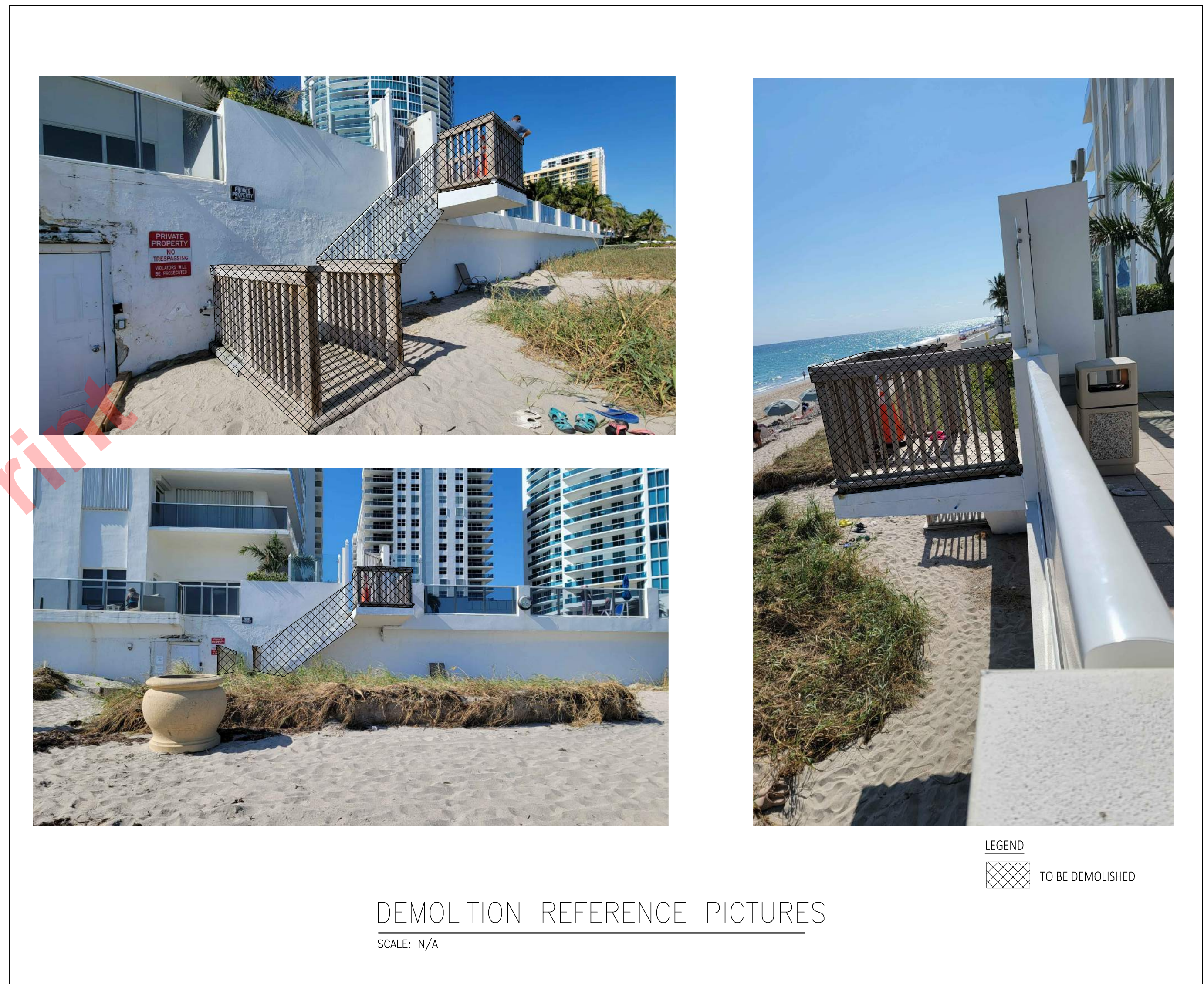
(954) 444-3929 • [avi.g.benalme@sherwin.com](mailto:avi.g.benalme@sherwin.com)

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools. The Cover The Earth logo and the Sherwin-Williams logo are trademarks owned or licensed by The Sherwin-Williams Company. ©2023 The Sherwin-Williams Company.



DEMOLITION PLAN OF (E) POOL DECK EAST BEACH STAIRS  
SCALE: 1/2"=1'-0"

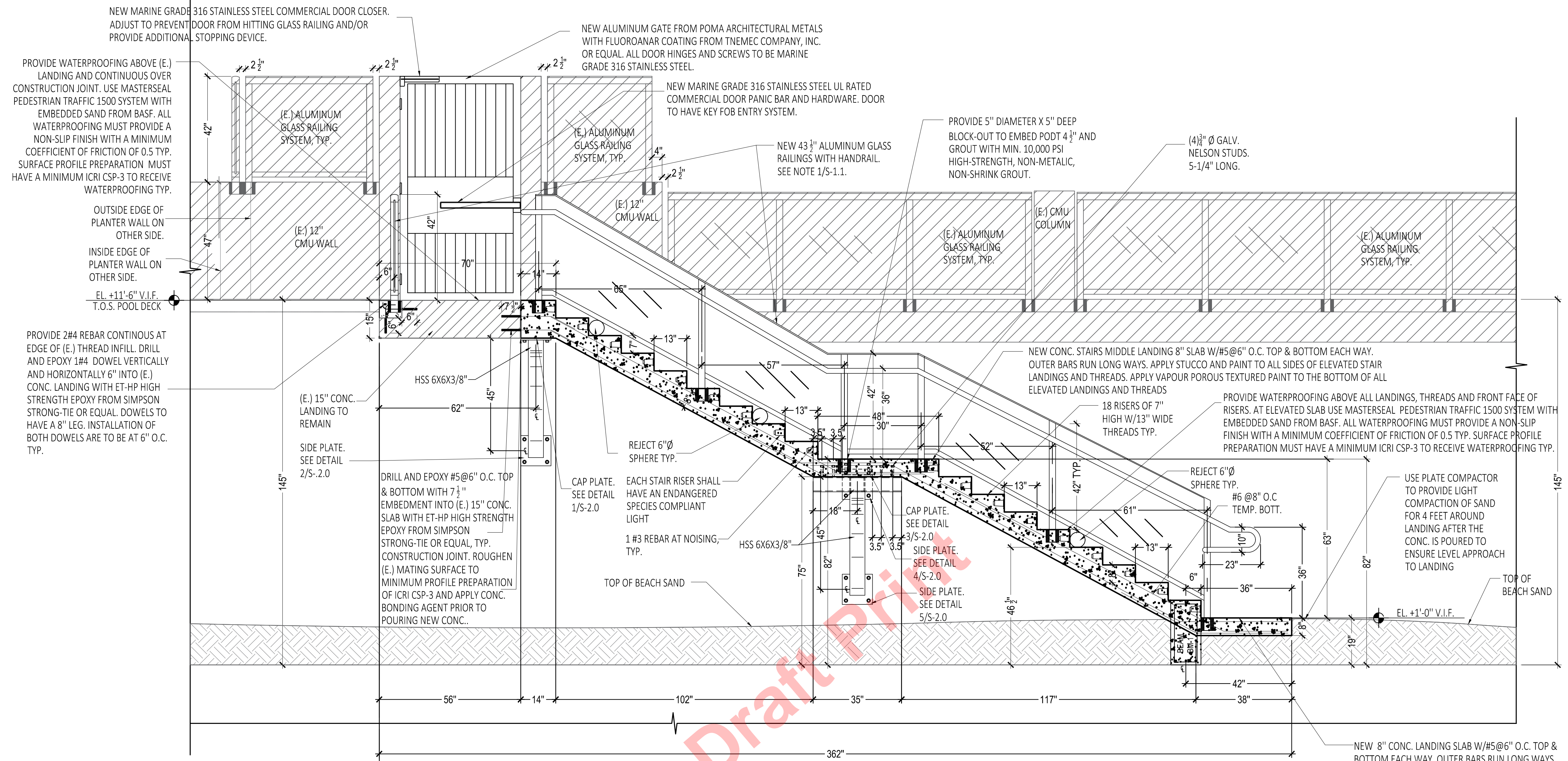
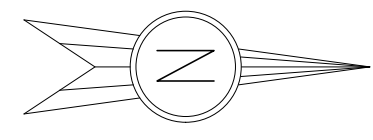
LEGEND  
 TO BE DEMOLISHED



DEMOLITION REFERENCE PICTURES  
SCALE: N/A

1/2"=1'-0"

<b>SEAL</b>	DEMOLITION PLAN	Project No. Sheet No.	<b>S-1.0</b>
<b>LTM ENGINEERING GROUP, LLC</b> Arshad Viqueer, P.E. No. 38863 Ph.: (786) 367-8472 Email: Arshad@LTMEngineeringGroup.com L.D.		Rev. 1 Rev. 2 Rev. 3 Rev. 4 Rev. 5	Date: Date: Date: Date: Date:
AQUARIUS CONDOMINIUM ASSOCIATION - BEACH STAIRS 2751 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019		Broward County	

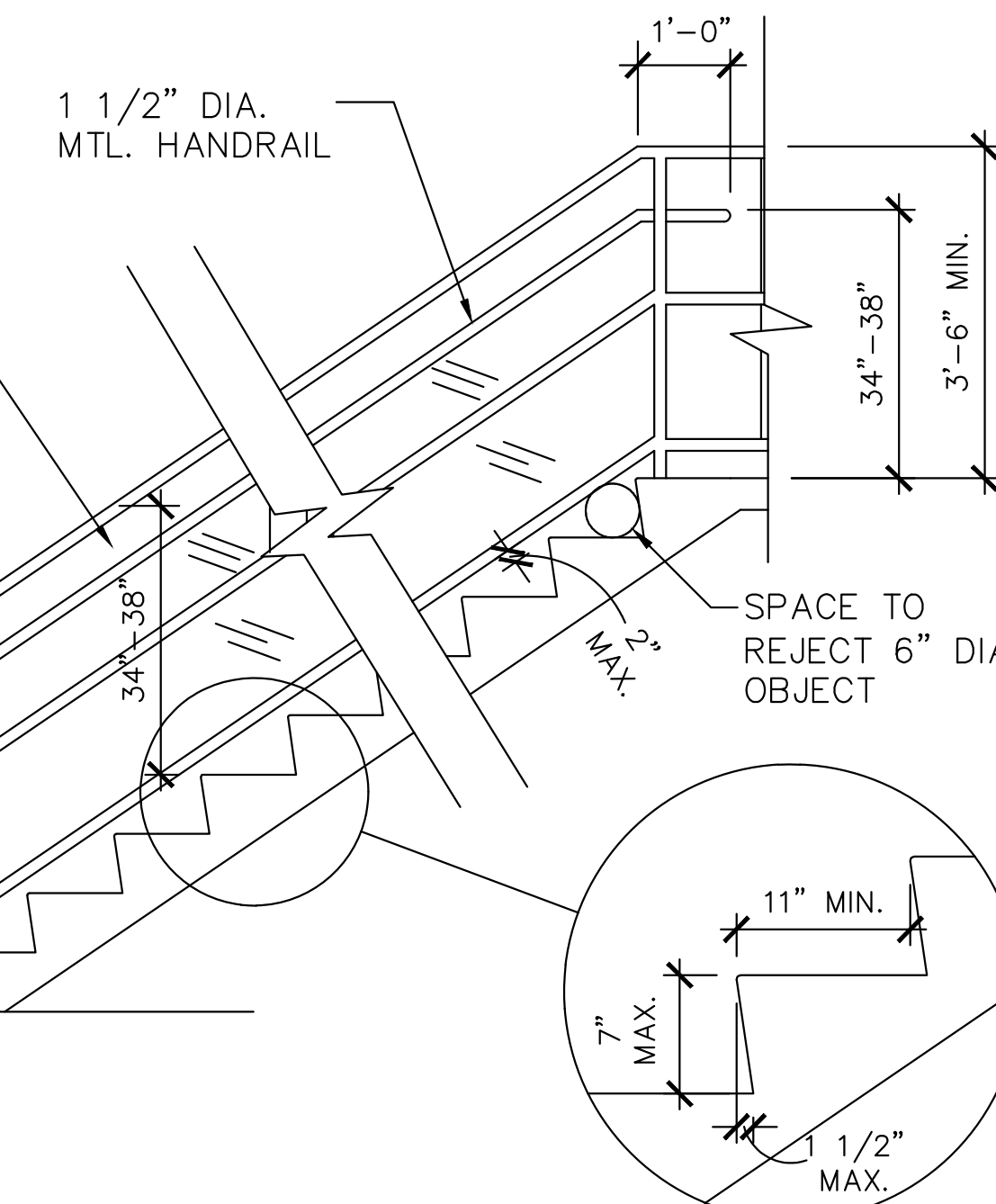


PROVIDE WATERPROOFING ABOVE (E.) LANDING AND CONTINUOUS OVER CONSTRUCTION JOINT. USE MASTERSEAL PEDESTRIAN TRAFFIC 1500 SYSTEM WITH EMBEDDED SAND FROM BASF. ALL WATERPROOFING MUST PROVIDE A NON-SLIP FINISH WITH A MINIMUM COEFFICIENT OF FRICTION OF 0.5 TYP. SURFACE PROFILE PREPARATION MUST HAVE A MINIMUM ICRI CSP-3 TO RECEIVE WATERPROOFING TYP.

OUTSIDE EDGE OF PLANTER WALL ON OTHER SIDE.  
INSIDE EDGE OF PLANTER WALL ON OTHER SIDE.

EL. +11'-6" V.I.F.  
T.O.S. POOL DECK

PROVIDE 2#4 REBAR CONTINUOUS AT EDGE OF (E.) THREAD INFILL. DRILL AND EPOXY 1#4 DOWEL VERTICALLY AND HORIZONTALLY 6" INTO (E.) CONC. LANDING WITH ET-HP HIGH STRENGTH EPOXY FROM SIMPSON STRONG-TIE OR EQUAL. DOWELS TO HAVE A 8" LEG. INSTALLATION OF BOTH DOWELS ARE TO BE AT 6" O.C. TYP.

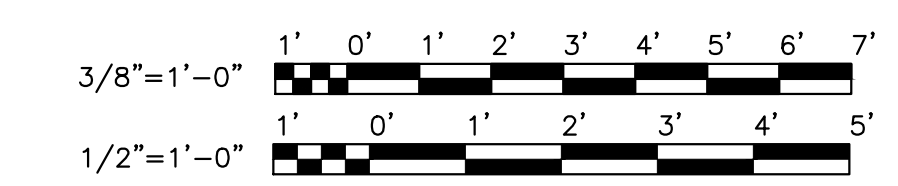


TYPICAL STAIR DETAIL  
SCALE: 3/8"=1'-0"

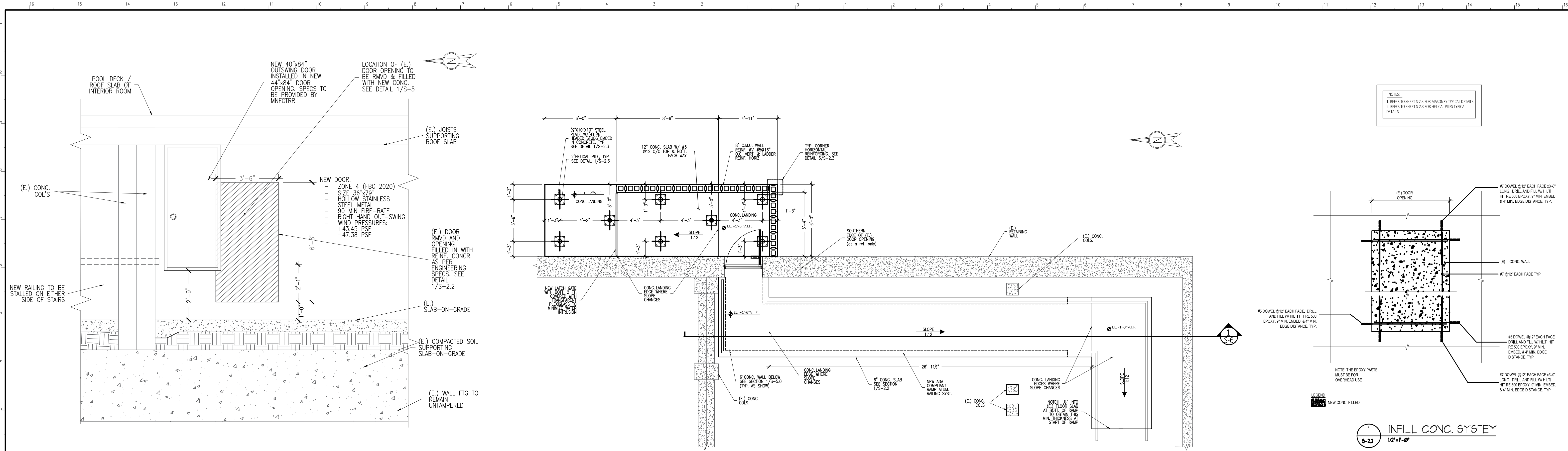
SECTION 1  
S-2.1 1/2"=1'-0"

MARK	TOP ELEV.	SIZE		BOTT.	TOP REINFORCING				STIRRUPS			REMARKS
		W	D		"B" BARS	"T" BARS	"C" BARS	"D" BARS	"E" BARS	"I" EACH SIDE BAR	SIZE	
BM-1	SEE PLAN	12"	26"	3#6	3#6					#5@7"	#3, 7@6", BALANCE @12"	

LEGEND  
[Hatched Box] EXISTING



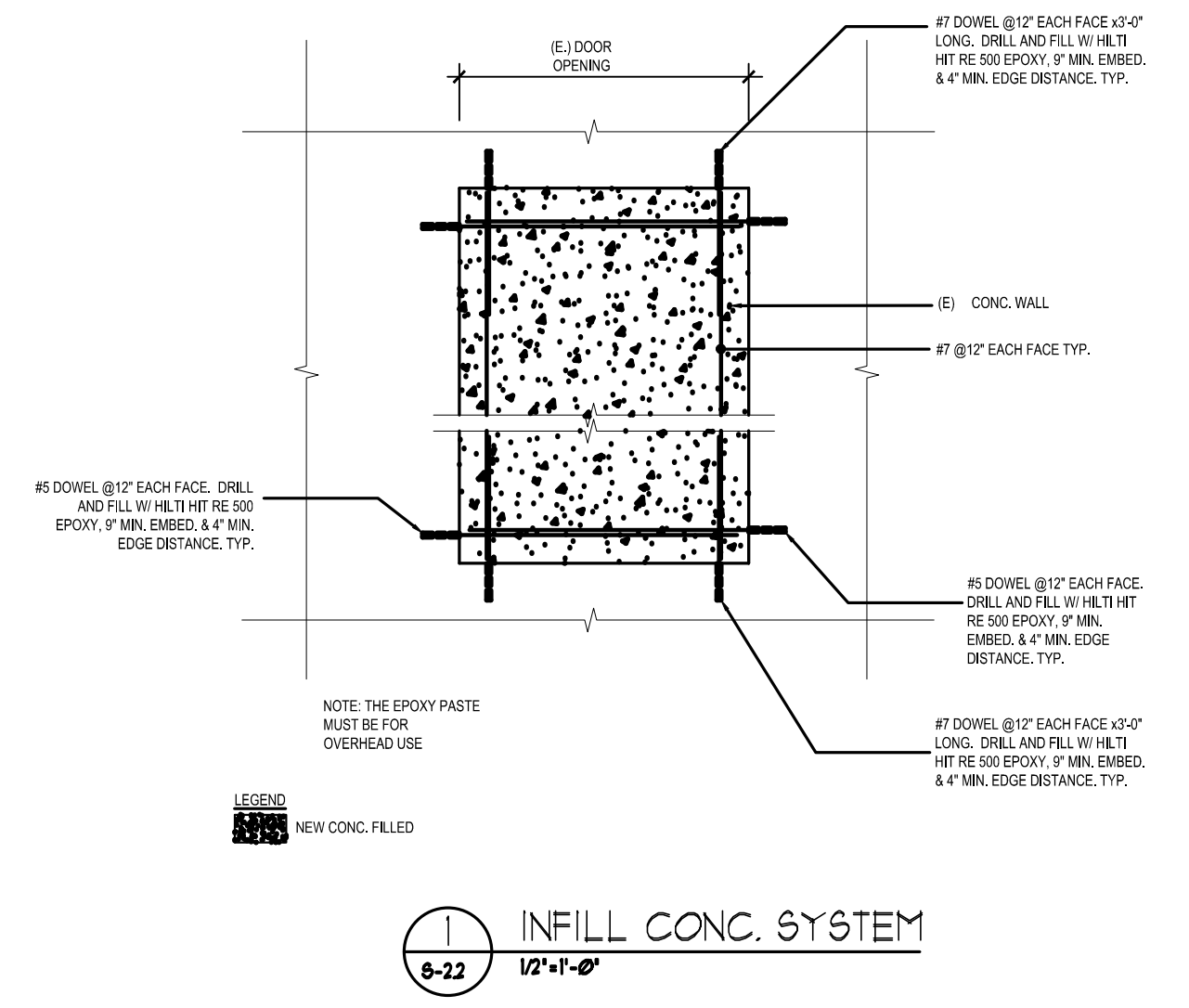
<b>SEAL</b>	<b>NEW STAIRS SECTIONS AND DETAILS</b>	<b>S-2.1</b>	
<b>LTM ENGINEERING GROUP, LLC</b> Arshad Vigar, P.E. No. 38863 Ph.: (786) 367-8472 Email: Arshad@LTMEngineeringGroup.com			
Rev. 1 Date:	Rev. 2 Date:	Rev. 3 Date:	Rev. 4 Date:
Broward County			Rev. 5 Date:



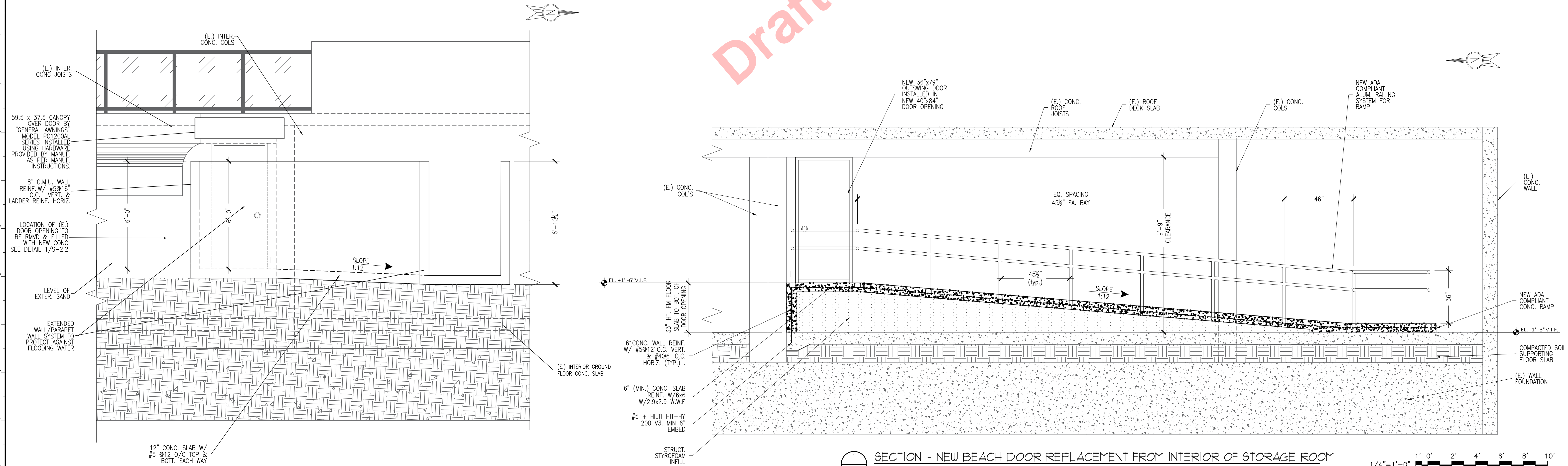
ELEVATION VIEW – NEW BEACH DOOR REPLACEMENT FROM INTERIOR OF STORAGE ROOM  
SCALE: 3/8"=1'-0"

PLAN VIEW – REPLACEMENT OF DOORS AND RAMP BUILDING OPTION  
SCALE: 1/4"=1'-0"

NOTES:  
1. REFER TO SHEET S-2.3 FOR MASONRY TYPICAL DETAILS  
2. REFER TO SHEET S-2.3 FOR HELICAL PILE TYPICAL DETAILS

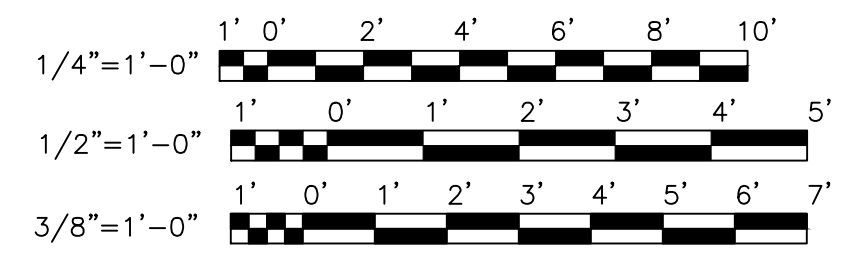


IN FILL CONC. SYSTEM  
0-22 1/2"=1'-0"



ELEVATION VIEW – REPLACEMENT OF DOOR FROM BEACH SIDE  
SCALE: 3/8"=1'-0"

SECTION - NEW BEACH DOOR REPLACEMENT FROM INTERIOR OF STORAGE ROOM  
0-22 3/8"=1'-0"



Draft Print

Rev. 3	Date:	Rev. 4	Date:
Rev. 1	Date:	Rev. 2	Date:
Broward County		Rev. 5	Date:

**LTM ENGINEERING GROUP, LLC**  
Arshad Vigar, P.E. No. 88863  
Ph.: (786) 367-8472  
Email: Arshad@LTMEngineeringGroup.com

S E A L

**AQUARIUS CONDOMINIUM ASSOCIATION – BEACH STAIRS**  
2751 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019  
**BEACH DOOR RMVL & REPLACEMENT**

S-2.2

# WEST ELEVATION

# NORTH ELEVATION

### NOTES:

1. AREAS OF DAMAGE SHOWN ON PLAN ARE REPRESENTATIVE AND DO NOT INDICATE ALL AREAS OF DAMAGE.
2. ENGINEER TO INSPECT AND IDENTIFY ALL AREAS OF REPAIR AT EACH FLOOR PRIOR TO START OF REPAIR WORK AT STATED FLOOR LEVEL.
3. ALL AREAS TO BE REPAIRED AS IDENTIFIED BY ENGINEER IN FIELD AND IN ACCORDANCE WITH TYPICAL REPAIR DETAILS SHOWN ON DRAWINGS SR-7 TO SR-9 AND GENERAL NOTES ON SR-1.

**TYPICAL BALCONY RISER**  
 EXPECTED REPAIRS AS FOLLOWS:  
 \*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.

- EDGE SPALL REPAIRS
- PARTIAL DEPTH SLAB SPALL REPAIRS
- FULL DEPTH SLAB SPALL REPAIRS
- WINDOW SILL / HEADER REPAIRS
- LOOSE STUCCO REPAIRS
- WALL/SLAB CRACK REPAIR
- BUILDING PAINT
- POST-POCKET REPAIRS
- WATERPROOFING REPAIRS

**EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**

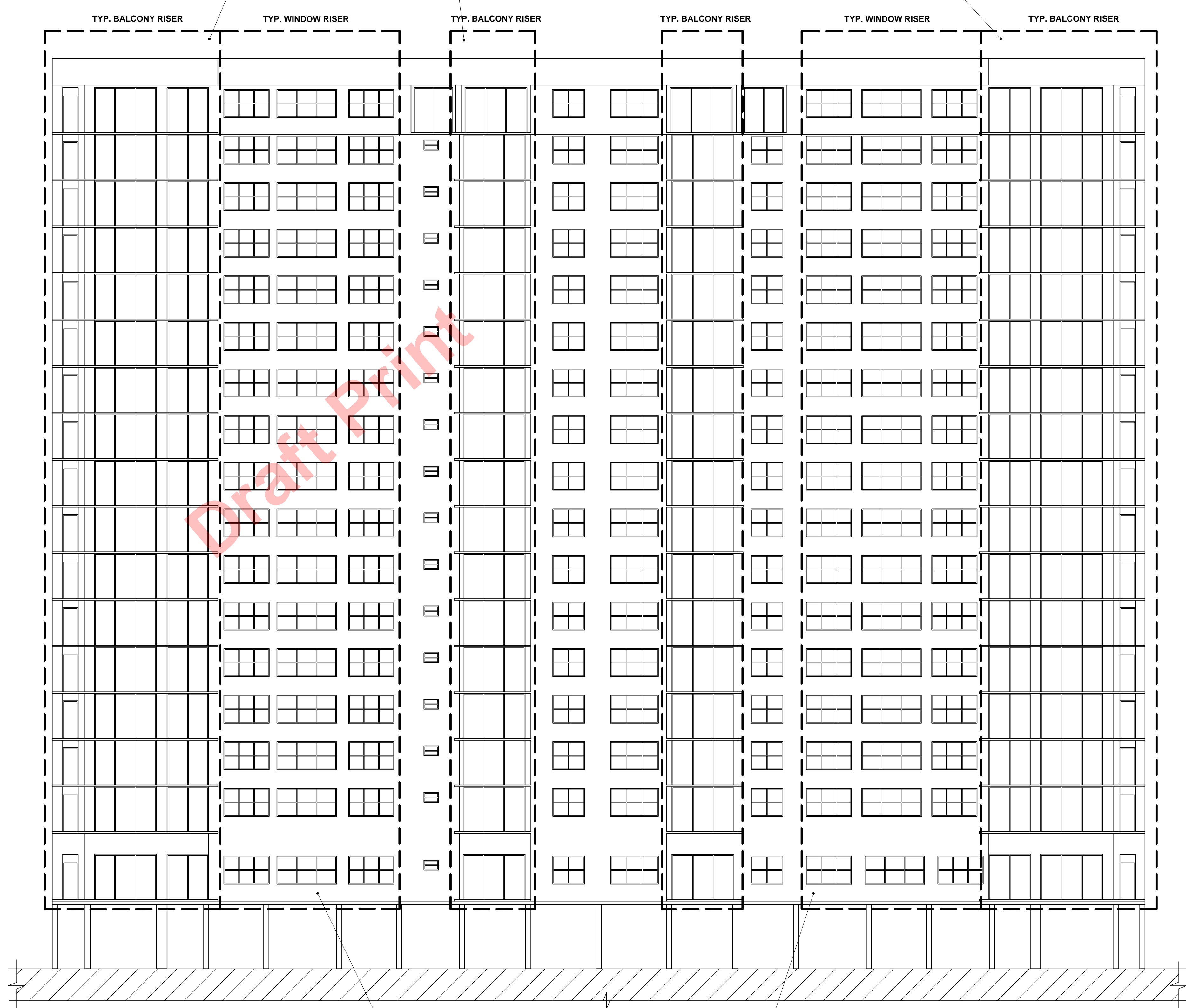
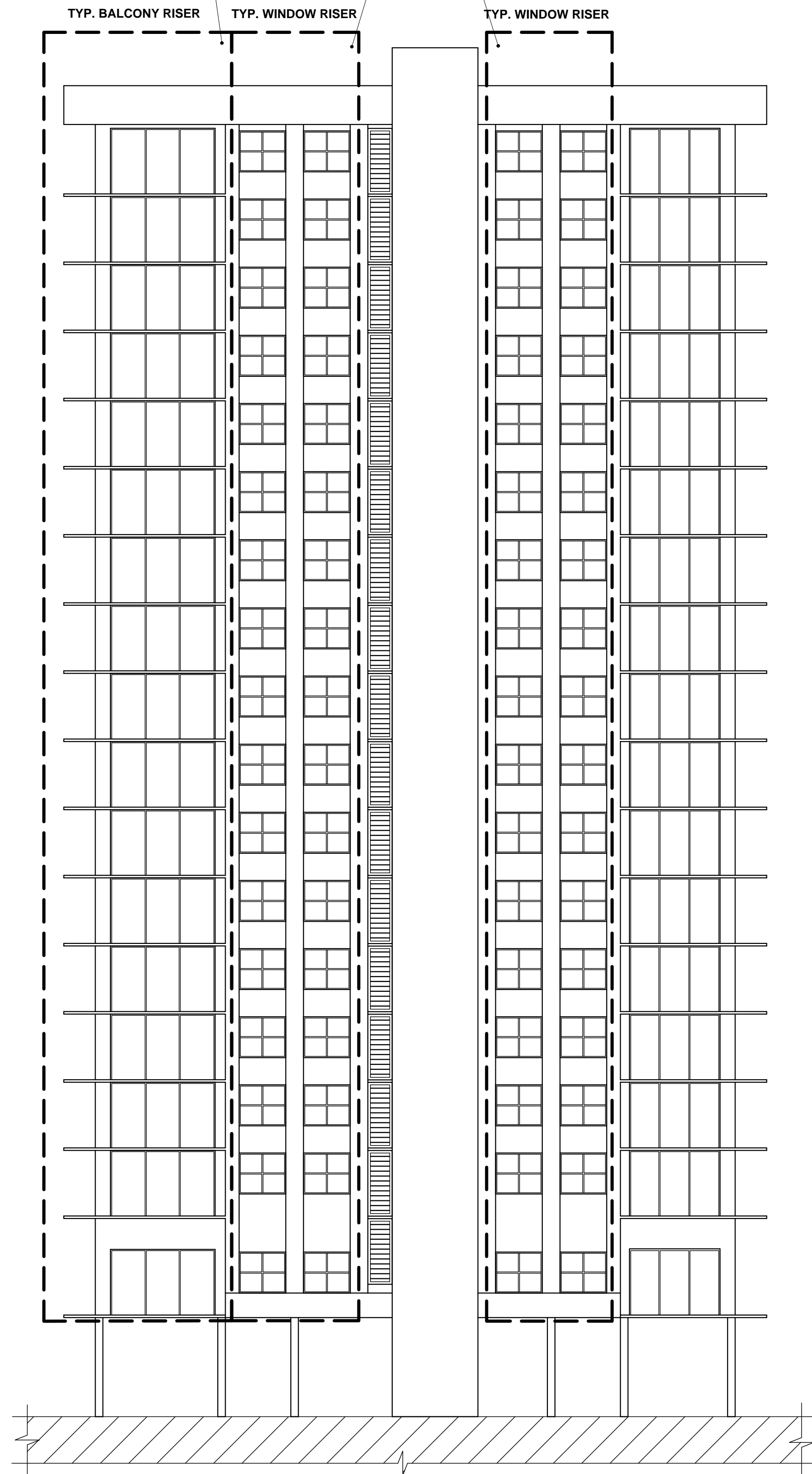
\*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:

- LOOSE STUCCO REPAIRS
- WINDOW SILL / HEADER REPAIRS
- WALL CRACK REPAIR
- RUST SPOT REPAIRS
- BUILDING PAINT

**TYPICAL BALCONY RISER**

EXPECTED REPAIRS AS FOLLOWS:  
 \*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.

- EDGE SPALL REPAIRS
- PARTIAL DEPTH SLAB SPALL REPAIRS
- FULL DEPTH SLAB SPALL REPAIRS
- WINDOW SILL / HEADER REPAIRS
- LOOSE STUCCO REPAIRS
- WALL/SLAB CRACK REPAIR
- BUILDING PAINT
- POST-POCKET REPAIRS
- WATERPROOFING REPAIRS



## NORTH BUILDING ELEVATIONS

SCALE: N.T.S.

**EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**

\*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:

- LOOSE STUCCO REPAIRS
- WINDOW SILL / HEADER REPAIRS
- WALL CRACK REPAIR
- RUST SPOT REPAIRS
- BUILDING PAINT

PROJECT NUMBER:

DESIGN PROFESSIONAL:

**ARSHAD M. VIQAR PE**  
 PROFESSIONAL  
 ENGINEER

LIC. NO. 38863 FLA.

PHONE 786-367-8472

**SEAL**

DRAFTING: ASN

DATE: 04-16-23

REVISION NUMBER:

SCALE: AS SHOWN  
 ON PLANS

PROJECT:  
**EXTERIOR ENVELOPE & BALCONY  
 CONCRETE RESTORATION REPAIRS**

ADDRESS:  
 AQUARIUS CONDOMINIUM ASSOCIATION  
 2751 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

PROJECT:

ADDRESS:

SHEET:

**SR-3**

SHEET 3 OF 9

# EAST ELEVATION

# SOUTH ELEVATION

**TYPICAL BALCONY RISER**  
 EXPECTED REPAIRS AS FOLLOWS:  
 \*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.

**EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**  
 \*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:

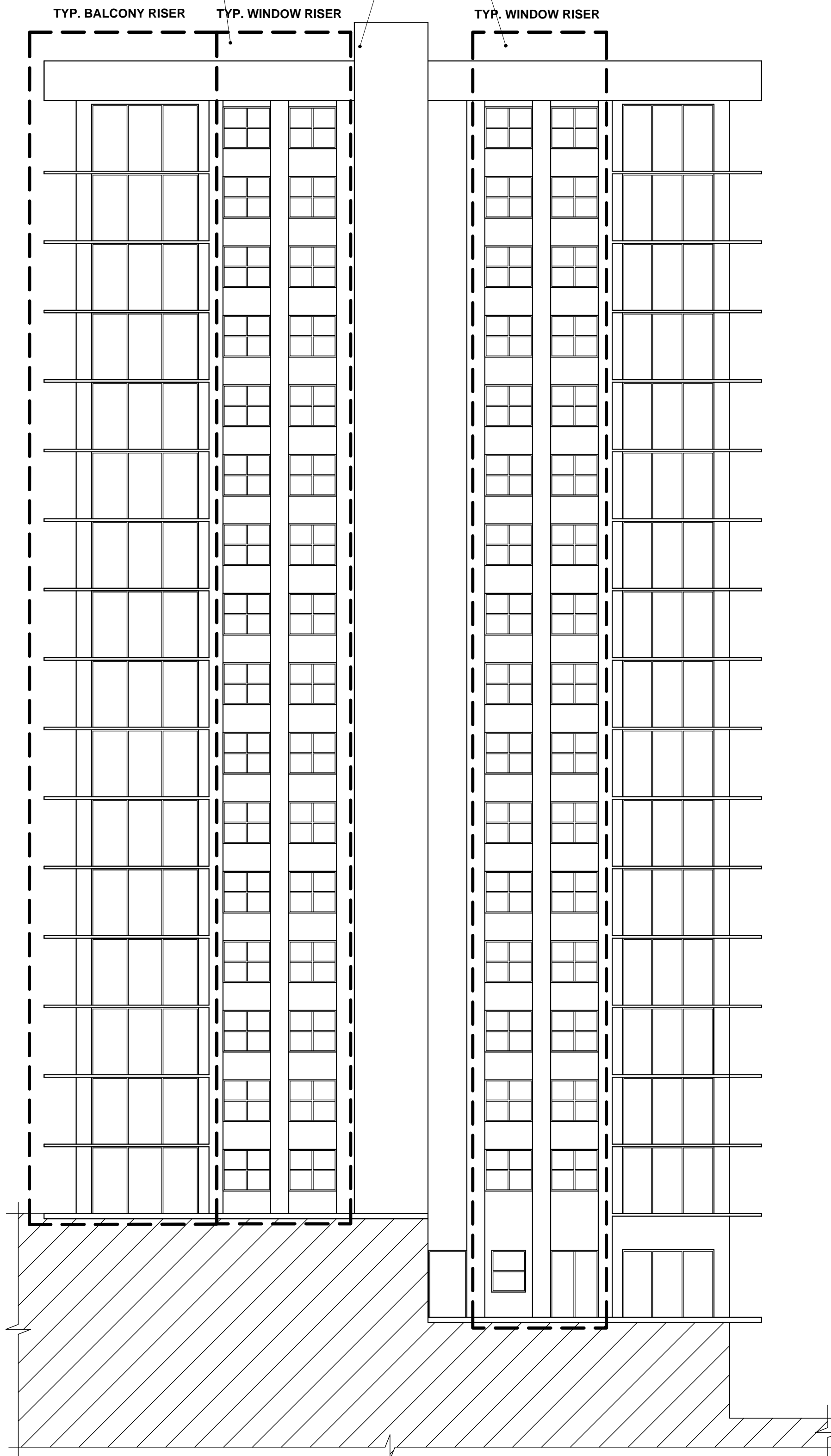
- EDGE SPALL REPAIRS
- PARTIAL DEPTH SLAB SPALL REPAIRS
- FULL DEPTH SLAB SPALL REPAIRS
- WINDOW SILL / HEADER REPAIRS
- LOOSE STUCCO REPAIRS
- WALL/SLAB CRACK REPAIR
- BUILDING PAINT
- POST-POCKET REPAIRS
- WATERPROOFING REPAIRS

- LOOSE STUCCO REPAIRS
- WINDOW SILL / HEADER REPAIRS
- WALL CRACK REPAIR
- RUST SPOT REPAIRS
- BUILDING PAINT

**TYPICAL BALCONY RISER**  
 EXPECTED REPAIRS AS FOLLOWS:  
 \*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.

- EDGE SPALL REPAIRS
- PARTIAL DEPTH SLAB SPALL REPAIRS
- FULL DEPTH SLAB SPALL REPAIRS
- WINDOW SILL / HEADER REPAIRS
- LOOSE STUCCO REPAIRS
- WALL/SLAB CRACK REPAIR
- BUILDING PAINT
- POST-POCKET REPAIRS
- WATERPROOFING REPAIRS

**NOTES:**  
 1. AREAS OF DAMAGE SHOWN ON PLAN ARE REPRESENTATIVE AND DO NOT INDICATE ALL AREAS OF DAMAGE.  
 2. ENGINEER TO INSPECT AND IDENTIFY ALL AREAS OF REPAIR AT EACH FLOOR PRIOR TO START OF REPAIR WORK AT STATED FLOOR LEVEL.  
 3. ALL AREAS TO BE REPAIRED AS IDENTIFIED BY ENGINEER IN FIELD AND IN ACCORDANCE WITH TYPICAL REPAIR DETAILS SHOWN ON DRAWINGS SR-7 TO SR-9 AND GENERAL NOTES ON SR-1.



## NORTH BUILDING ELEVATIONS

SCALE: N.T.S.

**EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**  
 \*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:

- LOOSE STUCCO REPAIRS
- WINDOW SILL / HEADER REPAIRS
- WALL CRACK REPAIR
- RUST SPOT REPAIRS
- BUILDING PAINT

PROJECT NUMBER:

DESIGN PROFESSIONAL:

**ARSHAD M. VIQAR PE**  
 PROFESSIONAL ENGINEER

LIC. NO. 38863 FLA.

PHONE 786-367-8472

**SEAL**

DRAFTING: ASN

DATE: 04-16-23

REVISION NUMBER:

SCALE: AS SHOWN ON PLANS

**PROJECT:**  
 EXTERIOR ENVELOPE & BALCONY  
 CONCRETE RESTORATION REPAIRS

**ADDRESS:**  
 AQUARIUS CONDOMINIUM ASSOCIATION  
 2751 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

SHEET:

**SR-4**

SHEET 4 OF 9

# WEST ELEVATION

# NORTH ELEVATION

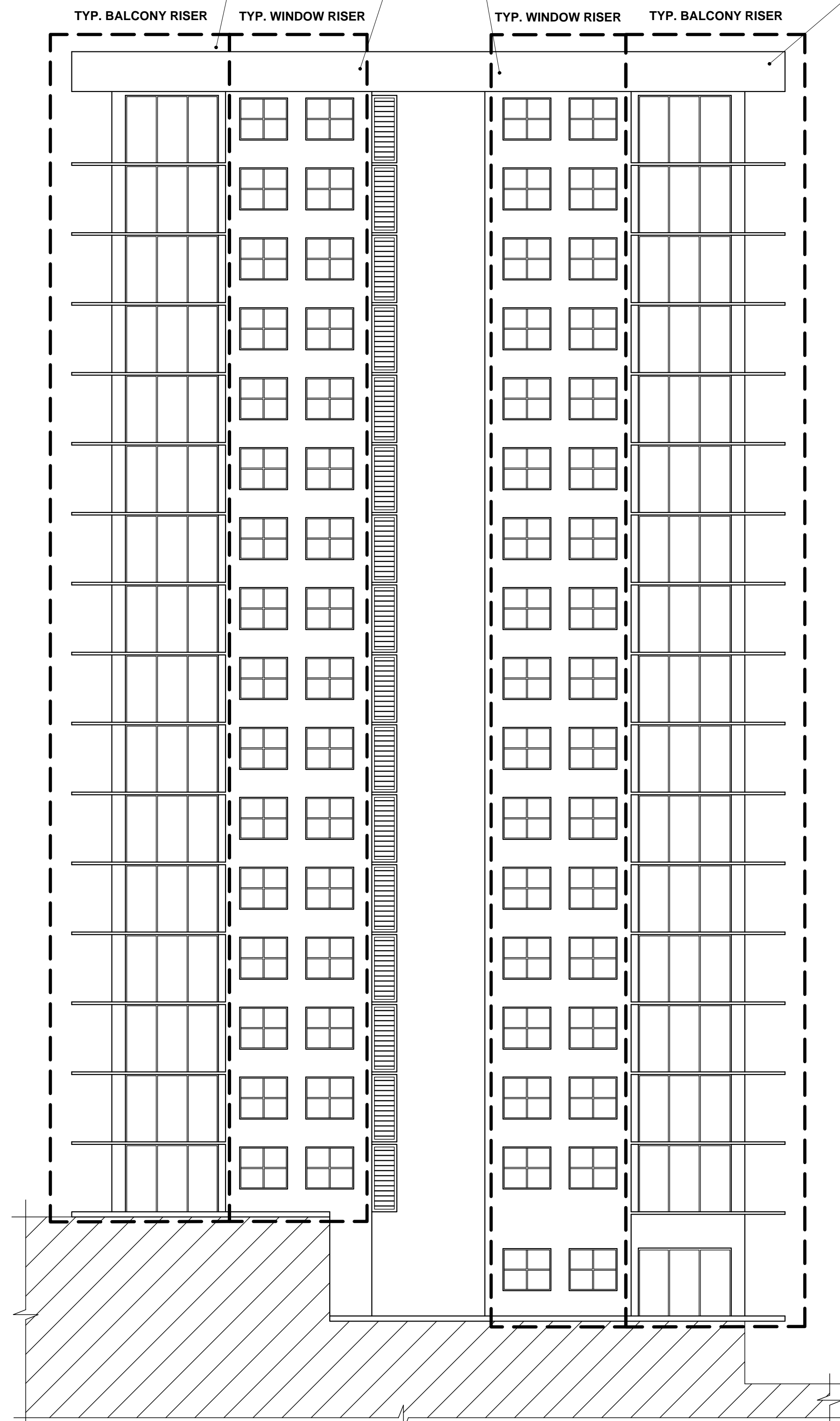
**NOTES:**

- AREAS OF DAMAGE SHOWN ON PLAN ARE REPRESENTATIVE AND DO NOT INDICATE ALL AREAS OF DAMAGE.
- ENGINEER TO INSPECT AND IDENTIFY ALL AREAS OF REPAIR AT EACH FLOOR PRIOR TO START OF REPAIR WORK AT STATED FLOOR LEVEL.
- ALL AREAS TO BE REPAIRED AS IDENTIFIED BY ENGINEER IN FIELD AND IN ACCORDANCE WITH TYPICAL REPAIR DETAILS SHOWN ON DRAWINGS SR-7 TO SR-9 AND GENERAL NOTES ON SR-1.

- TYPICAL BALCONY RISER**
- EXPECTED REPAIRS AS FOLLOWS:  
\*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.
- EDGE SPALL REPAIRS
  - PARTIAL DEPTH SLAB SPALL REPAIRS
  - FULL DEPTH SLAB SPALL REPAIRS
  - WINDOW SILL / HEADER REPAIRS
  - LOOSE STUCCO REPAIRS
  - WALL/SLAB CRACK REPAIR
  - BUILDING PAINT
  - POST-POCKET REPAIRS
  - WATERPROOFING REPAIRS

- EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**
- \*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:
- LOOSE STUCCO REPAIRS
  - WINDOW SILL / HEADER REPAIRS
  - WALL CRACK REPAIR
  - RUST SPOT REPAIRS
  - BUILDING PAINT

- TYPICAL BALCONY RISER**
- EXPECTED REPAIRS AS FOLLOWS:  
\*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.
- EDGE SPALL REPAIRS
  - PARTIAL DEPTH SLAB SPALL REPAIRS
  - FULL DEPTH SLAB SPALL REPAIRS
  - WINDOW SILL / HEADER REPAIRS
  - LOOSE STUCCO REPAIRS
  - WALL/SLAB CRACK REPAIR
  - BUILDING PAINT
  - POST-POCKET REPAIRS
  - WATERPROOFING REPAIRS



## SOUTH BUILDING ELEVATIONS

SCALE: N.T.S.

- EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**
- \*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:
- LOOSE STUCCO REPAIRS
  - WINDOW SILL / HEADER REPAIRS
  - WALL CRACK REPAIR
  - RUST SPOT REPAIRS
  - BUILDING PAINT

PROJECT NUMBER:

DESIGN PROFESSIONAL:

**ARSHAD M. VIQAR PE**  
PROFESSIONAL ENGINEER

LIC. NO. 38863 FLA.

PHONE 786-367-8472

**SEAL**

DRAFTING: ASN

DATE: 04-16-23

REVISION NUMBER:

SCALE: AS SHOWN ON PLANS

**PROJECT:**  
EXTERIOR ENVELOPE & BALCONY  
CONCRETE RESTORATION REPAIRS

**ADDRESS:**  
AQUARIUS CONDOMINIUM ASSOCIATION  
2751 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

SHEET:

**SR-5**

SHEET 5 OF 9

# EAST ELEVATION

# SOUTH ELEVATION

**NOTES:**

- AREAS OF DAMAGE SHOWN ON PLAN ARE REPRESENTATIVE AND DO NOT INDICATE ALL AREAS OF DAMAGE.
- ENGINEER TO INSPECT AND IDENTIFY ALL AREAS OF REPAIR AT EACH FLOOR PRIOR TO START OF REPAIR WORK AT STATED FLOOR LEVEL.
- ALL AREAS TO BE REPAIRED AS IDENTIFIED BY ENGINEER IN FIELD AND IN ACCORDANCE WITH TYPICAL REPAIR DETAILS SHOWN ON DRAWINGS SR-7 TO SR-9 AND GENERAL NOTES ON SR-1.

**TYPICAL BALCONY RISER**

EXPECTED REPAIRS AS FOLLOWS:  
\*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.

**EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**  
\*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:

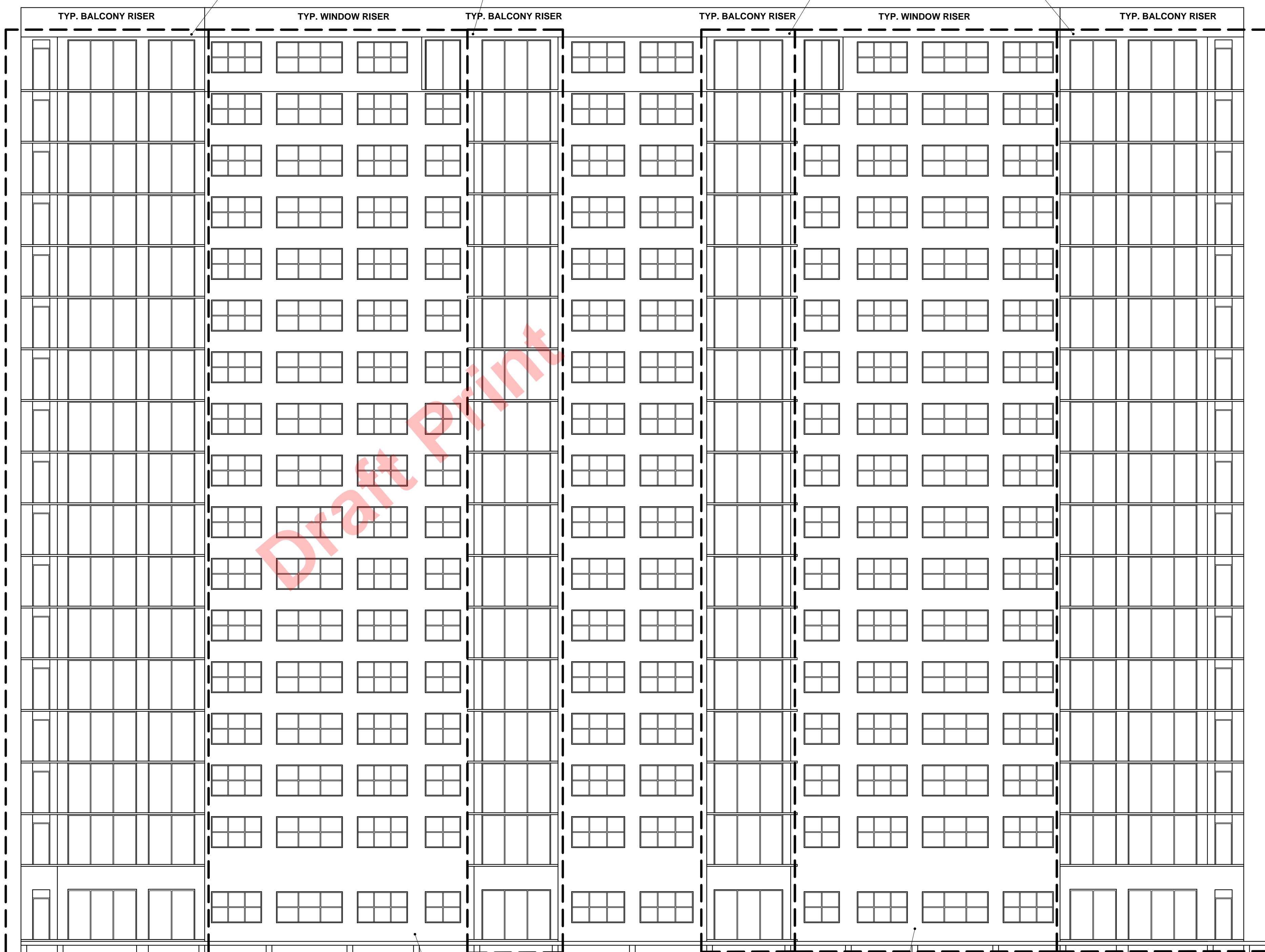
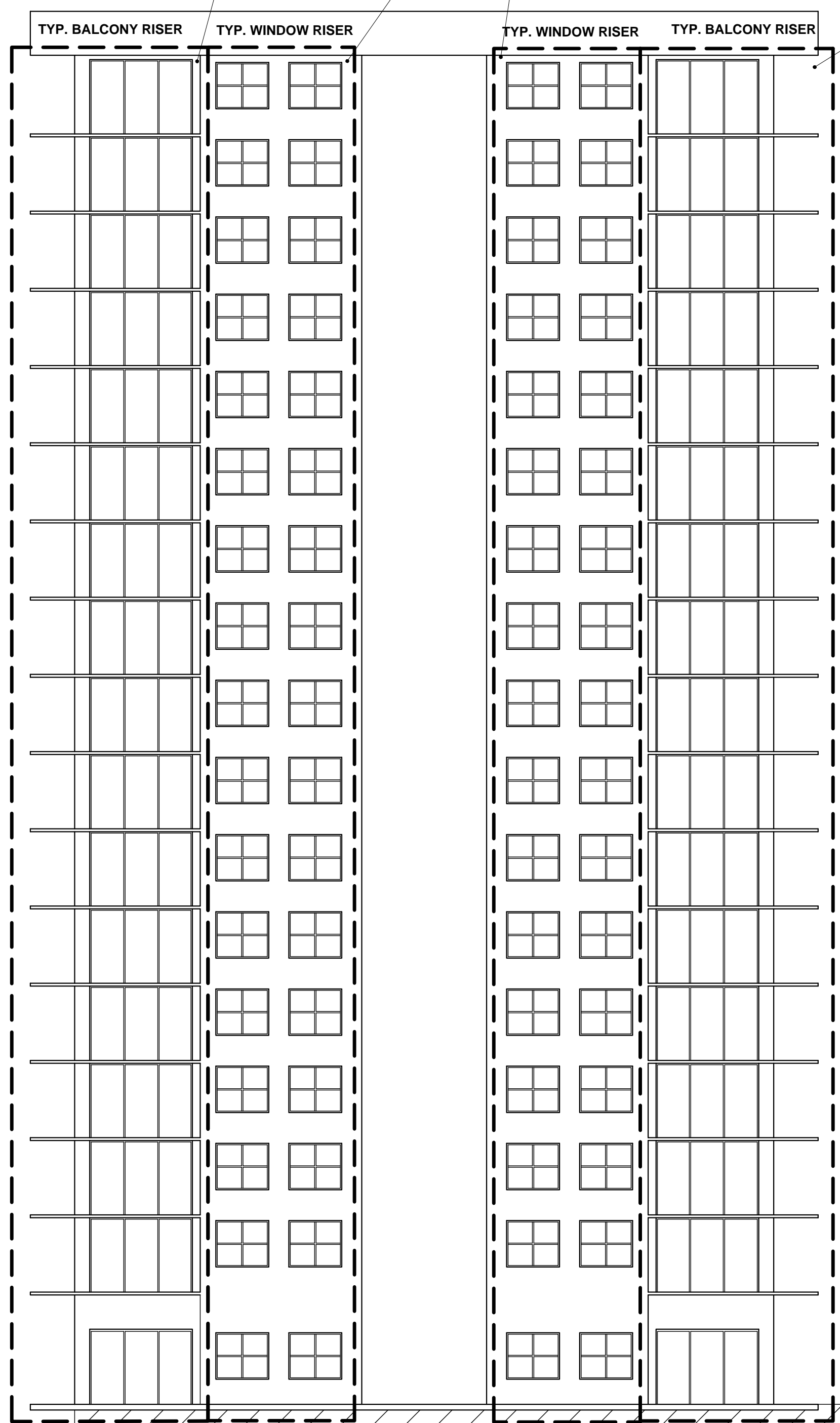
- EDGE SPALL REPAIRS
- PARTIAL DEPTH SLAB SPALL REPAIRS
- FULL DEPTH SLAB SPALL REPAIRS
- WINDOW SILL / HEADER REPAIRS
- LOOSE STUCCO REPAIRS
- WALL/SLAB CRACK REPAIR
- BUILDING PAINT
- POST-POCKET REPAIRS
- WATERPROOFING REPAIRS

- LOOSE STUCCO REPAIRS
- WINDOW SILL / HEADER REPAIRS
- WALL CRACK REPAIR
- RUST SPOT REPAIRS
- BUILDING PAINT

**TYPICAL BALCONY RISER**

EXPECTED REPAIRS AS FOLLOWS:  
\*ENGINEER WILL DETERMINE WHICH BALCONIES REQUIRE REPAIRS AND THE EXTENT OF EACH.

- EDGE SPALL REPAIRS
- PARTIAL DEPTH SLAB SPALL REPAIRS
- FULL DEPTH SLAB SPALL REPAIRS
- WINDOW SILL / HEADER REPAIRS
- LOOSE STUCCO REPAIRS
- WALL/SLAB CRACK REPAIR
- BUILDING PAINT
- POST-POCKET REPAIRS
- WATERPROOFING REPAIRS



Draft Print

**EXTERIOR ENVELOPE EXPECTED REPAIRS AS FOLLOWS:**  
\*ENGINEER WILL DETERMINE WHICH AREAS REQUIRE REPAIRS AND THE EXTENT OF EACH FOR THE FOLLOWING REPAIR ITEMS:

- LOOSE STUCCO REPAIRS
- WINDOW SILL / HEADER REPAIRS
- WALL CRACK REPAIR
- RUST SPOT REPAIRS
- BUILDING PAINT

**SOUTH BUILDING ELEVATIONS**  
SCALE: N.T.S.

PROJECT NUMBER:

DESIGN PROFESSIONAL:

**ARSHAD M. VIQAR PE**  
PROFESSIONAL ENGINEER

LIC. NO. 38863 FLA.

PHONE 786-367-8472

**SEAL**

DRAFTING: ASN

DATE: 04-16-23

REVISION NUMBER:

SCALE: AS SHOWN ON PLANS

PROJECT: **EXTERIOR ENVELOPE & BALCONY CONCRETE RESTORATION REPAIRS**

ADDRESS: AQUARIUS CONDOMINIUM ASSOCIATION  
2751 SOUTH OCEAN DRIVE, HOLLYWOOD, FL 33019

SHEET: **SR-6**

SHEET 6 OF 9



BID COMPARISON SHEET - BUILDINGS EXTERIOR ENVELOPE AND PARKING GARAGE CONCRETE RESTORATION FOR 50 YR CERTIFICATION

		SOUTH COAST				COAST TO COAST				RESTORE				WATERFRONT				CALINDMAN				NATIONAL CONCRETE									
SOUTH + NORTH BUILDINGS + PARKING GARAGE																															
A	CUMULATIVE GENERAL																														
ITEM #	SCOPE OF WORK DESCRIPTION /	QUANT	U	UNIT PRICE	TOTALS	QUANT	UOM	UNIT PRICE	TOTALS	QUANT	U	UNIT PRICE	TOTALS	QUANT	U	UNIT PRICE	TOTALS	QUANT	UO	UNIT PRICE	TOTALS	QUANT	U	UNIT PRICE	TOTALS						
1	<b>Mobilization</b>	1	LS		\$53,000.00	1	LS		\$80,000.00	1	LS		\$198,557.61	1	LS		\$195,000.00	1	LS		\$138,372.05	1	LS		\$405,369.25						
	<b>General Conditions</b> Price to include but not limited to scaffolding, swing stages, formwork, shoring (related to formwork), storage containers, office trailer, dumpster, barriers, signage, temporary fencing, all necessary protection assemblies, insurances, overheads, and any other items related to general conditions and safe operation of the job site as needed in compliance with normal precautionary practices as well as all OSHA requirements. Price to include site management, material handling and management of project. Price must also include insurance, profit and overhead.	1	LS		\$157,000.00	1	LS		\$280,000.00	1	LS		\$349,818.35	1	LS		\$365,000.00	1	LS		\$345,930.12	1	LS		\$235,123.00						
3	<b>Permit Expediting Fees</b> Price to include costs of Permitting work - applications, follow-ups, document deliveries and pick-up, and back-office work. Price NOT TO INCLUDE actual Permit fees.	1	LS		\$2,600.00	1	LS		AT COST	1	LS		\$800.00	1	LS		\$3,500.00	1	LS		\$3,500.00	1	LS		\$5,000.00						
4	<b>Hurricane - Demobilization, Remediation</b> Contractor shall perform up to (3) mandatory Demobilizations over the course of the project, at no extra cost for the Association, according to the standards set forth by City and county authorities and OSHA. This allowance does not include any materials or labor related to hauling up windows and/or walkway, patio or sliding glass doors, or any other areas or components, not affected specifically by the construction work.	1	---		\$28,000.00	1	---		T&M	1	---		\$59,000.00	1	---		\$55,000.00	1	---		\$91,200.00	1	---		Included	---					
5	<b>Hurricane - Board up (Allowance)</b> Boarding up windows and sliding glass doors, or any other components as needed, as specifically referring to sliding glass doors or windows where hurricane shutters or protections has previously been removed. Price to reflect unit SF costs of boarding up plywood or the like. Contractor will make a reasonable effort to close shutters where they still remain unremoved.	---	SF		\$12.00	---	SF		T&M	---	SF		\$10.00	---	SF		\$10.50	---	SF		\$32.40	---	SF		\$45.00	---					
	<b>Structural Temporary Shoring (Allowance)</b> Line item reflects an allocation of funds for the installation of shoring and post-shore rental. Any shoring related to demolition or forming work during the course of the project is part of general conditions at no additional cost and not included in this price. The exact locations of shoring install will be determined by the Shoring Engineer through an engineered design (not included in price of this line item), approved by EOR. Bidder to input unit price cost	1	LS		Per Post Instal Price Per Post Monthly Rental \$15,000.00	1	LS		Per Post Instal Price Per Post Monthly Rental \$15,000.00	1	LS		Per Post Instal Price Per Post Monthly Rental \$15,000.00	1	LS		Per Post Instal Price Per Post Monthly Rental \$15,000.00	1	LS		Per Post Instal Price Per Post Monthly Rental \$15,000.00	1	LS		Per Post Instal Price Per Post Monthly Rental \$15,000.00						
	<b>Structural Temporary Shoring Engineering Design (Allowance)</b> Line item reflects an estimated allocation of funds for shoring engineering design(s)	1	LS		\$8,000.00	1	LS		\$8,000.00	1	LS		\$8,000.00	1	LS		\$7,300.00	1	LS		\$8,000.00	1	LS		\$8,000.00						
					<b>SUBTOTAL A</b>				<b>SUBTOTAL A</b>				<b>SUBTOTAL A</b>				<b>SUBTOTAL A</b>				<b>SUBTOTAL A</b>				<b>SUBTOTAL A</b>						
					\$235,600.00				\$383,000.00				\$572,175.96				\$586,000.00				\$510,802.17				\$668,492.25						
B	EXTERIOR ENVELOPE, BALCONIES & GARAGE																														
	<b>Vertical Concrete Members Spall Repair (Allowance)</b> Line item reflects costs for vertical members such as walls, columns, or other, consisting of all reinforced concrete (no masonry blocks). Contractor to fully remove stucco around marked areas (price NOT to include removal of stucco), and expose Concrete substrate for verification of deficiency. Include all necessary steps for proper repair as per Construction Drawings, Specifications and ICRI guidelines, including chipping, cleaning, coating, and retiling chipped areas with concrete. Line item NOT to include doweling or replacement of steel bars to be given in another line item. Repair areas to be patched back with SIKACQUICK VOH or similar with previous EOR approval. Max. depth shall be 4". Quantities & pricing for this line item do not include removal of stucco, only concrete repair. Contractor to stay within boundaries of marked area by the EOR.	285	CF		\$310.00	\$88,350.00	285	CF		\$310.00	\$88,350.00	285	CF		\$500.00	\$142,500.00	285	CF		\$585.00	\$166,725.00	285	CF		\$428.00	\$121,980.00	285	CF		\$485.00	\$138,225.00
	<b>Horizontal Concrete Members Spall Repair (Allowance)</b> Line item reflects costs for horizontal members such as beams, joists, or other (not slabs), consisting of all reinforced concrete. Contractor to fully remove stucco around marked areas (price NOT to include removal of stucco), and expose Concrete substrate for verification of deficiency. Include all necessary steps for proper repair as per Construction Drawings, Specifications and ICRI guidelines, including chipping, cleaning, coating, and retiling chipped areas with concrete. Line item NOT to include doweling or replacement of steel bars (to be given in separate line item). Repair areas to be patched back with SIKACQUICK VOH or similar with previous EOR approval. Contractor to stay within boundaries of marked area by the EOR.	195	CF		\$310.00	\$60,450.00	195	CF		\$310.00	\$60,450.00	195	CF		\$500.00	\$97,500.00	195	CF		\$585.00	\$114,075.00	195	CF		\$339.00	\$66,105.00	195	CF		\$325.00	\$63,375.00
11	<b>Horizontal Concrete Members Spall - Balcony Slabs Partial Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete balcony slab members. Repair to be done within engineer's markings, a maximum depth of 3" without engineer's approval. Use SIKACQUICK VOH or similar to be approved by EOR. Price to include all necessary forming, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price.	400	SF		\$115.00	\$46,000.00	400	SF		\$115.00	\$46,000.00	400	SF		\$125.00	\$50,000.00	400	SF		\$105.00	\$42,000.00	400	SF		\$91.00	\$36,400.00	400	SF		\$225.00	\$90,000.00
12	<b>Horizontal Concrete Members Spall - Balcony Slabs Full Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete balcony door slab members. In the event that EOR deems the exposed concrete deck as deficient and repair requires further depth than that of partial, full-thickness will be demolished. Use SIKACRETE 211 or SIKACRETE 211 PLUS (or similar, to be approved by EOR). Price to include all necessary forming, reinforcing steel bars install, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price. Provide price for 6 inch thick slab.	25	SF		\$125.00	\$3,125.00	25	SF		\$200.00	\$5,000.00	25	SF		\$200.00	\$5,000.00	25	SF		\$150.00	\$3,750.00	25	SF		\$170.00	\$4,250.00	25	SF		\$510.00	\$12,750.00
13	<b>Horizontal Concrete Members Spall - Overhead Slab Soffit Partial Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete balcony floor slab members, from the bottom onto overhead soffits. Repair to be done within engineer's markings, a maximum depth of 3" without engineer's approval. Use SIKACQUICK VOH (or similar) to be approved by EOR. Price to include all necessary forming, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price.	210	SF		\$118.00	\$24,780.00	210	SF		\$130.00	\$27,300.00	210	SF		\$150.00	\$31,500.00	210	SF		\$165.00	\$34,650.00	210	SF		\$174.00	\$36,540.00	210	SF		\$435.00	\$91,350.00
14	<b>Flag Gage - Horiz. Concrete Members Spall - Overhead Slab Soffit Partial Depth (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete garage floor slab members, from the bottom onto overhead soffits. Repair to be done within engineer's markings, a maximum depth of 4" without engineer's approval. Use SIKACQUICK VOH (or similar) to be approved by EOR. Price to include all necessary forming, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price.	70	SF		\$118.00	\$8,260.00	70	SF		\$130.00	\$9,100.00	70	SF		\$150.00	\$10,500.00	70	SF		\$165.00	\$11,550.00	70	SF		\$211.00	\$14,770.00	70	SF		\$365.00	\$25,550.00
15	<b>Flag Gage - Horiz. Concrete Members Spall - Full Depth Repair (Allowance)</b> Line item reflects costs for concrete repair for horizontal concrete garage floor slab members. In the event that EOR deems the exposed concrete deck as deficient and repair requires further depth than that of partial, full-thickness will be demolished. Use SIKACRETE 211 or SIKACRETE 211 PLUS (or similar, to be approved by EOR). Price to include all necessary forming, reinforcing steel bars install, cleaning, cutting, coating, and mix design bags, provision and installation. Repair as per Construction Drawings, Specifications and/or ICRI guidelines. Replacement and dowelling of new rebar NOT to be included in this price. Provide price for 6 inch thick slab.	25	SF		\$125.00	\$3,125.00	25	SF		\$200.00	\$5,000.00	25	SF		\$300.00	\$7,500.00	25	SF		\$150.00	\$3,750.00	25	SF		\$196.00	\$4,900.00	25	SF		\$535.00	\$13,375.00
16	<b>Flag Gage - Column Steel Protection Plates (Allowance)</b> This includes removal of the existing rusted column steel protection plates jacketed around columns, cleaning of the surface, application of rust protective agent and placing of new protection plates. Contractor to field verify exact plate dimensions.	450	EA		\$110.00	\$49,500.00	450	EA		\$150.00	\$67,500.00	450	EA		\$299.21	\$134,646.43	450	EA		\$125.00	\$56,250.00	450	EA		\$111.00	\$49,950.00	450	EA		\$85.00	\$38,250.00
17	<b>Flag Gage - Waterproofing Removal</b> Removal of all waterproofing layers to expose concrete structural deck. This item shall include any required surface preparation.	50	SF		\$6.00	\$300.00	50	SF		\$8.00	\$400.00	50	SF		\$10.00	\$500.00	50	SF		\$9.50	\$475.00	50	SF		\$12.00	\$600.00	50	SF		\$16.25	\$812.50
18	<b>Flag Gage - Waterproofing</b> Application of new waterproofing to be Slip Resistant, UV Resistant (By Sika, Tremco or approved equivalent). This item shall include any required surface preparation and/or flash patching to make the concrete surfaces.	50	SF		\$20.00	\$1,000.00	50	SF		\$20.00	\$1,000.00	50	SF		\$35.00	\$1,750.00	50	SF		\$21.00	\$1,050.00	50	SF		\$25.00	\$1,250.00	50	SF		\$28.00	\$1,400.00

19	<b>Steel Bars to Replace - Partial or Full Depth (Allowance)</b> Line item reflects an allowance of funds for reinforcing bars (bars themselves), should there be a need to replace existing or sister in new bars in any area of partial or full-depth repairs. This price only for the bar, per LF of bar.	450	LF	\$8.00	\$3,600.00	450	LF	\$10.00	\$4,500.00	450	LF	\$5.50	\$2,475.00	450	LF	\$7.50	\$3,375.00	450	LF	\$12.00	\$5,400.00	450	LF	\$22.00	\$9,900.00
20	<b>Drilling/Drivelling Rebar (Allowance)</b> Line item reflects an allowance of funds for drilling into concrete should there arise the need to dowel in new reinforcing bars. Price not to include that of the bars themselves. Price also to include the cost of injecting Sika Anchors 5 or approved epoxy epoxy into drilled hole and inserting new bar. Unit price will be per inch of drilled depth assuming hole width for #4 rebar	800	EA	\$38.00	\$30,400.00	800	EA	\$25.00	\$20,000.00	800	EA	\$8.50	\$6,800.00	800	EA	\$15.00	\$12,000.00	800	EA	\$72.00	\$57,600.00	800	EA	\$12.00	\$9,600.00
21	<b>Stucco Remove and Replace (Allowance)</b> Line item reflects costs to fully remove and replace stucco from all surfaces where it exists, horizontal or vertical, as marked exists by the EOR. The work would include its removal, concrete substrate, and clean and surface prep. Pricing to also include all necessary steps for proper stucco to application per Construction Drawings, Specifications and/or ICRI guidelines. Line item allows for a standard stucco thickness of up to 1 inch.	6,000	SF	\$22.00	\$132,000.00	6,000	SF	\$22.00	\$132,000.00	6,000	SF	\$27.50	\$165,000.00	6,000	SF	\$35.00	\$210,000.00	6,000	SF	\$32.00	\$192,000.00	6,000	SF	\$26.00	\$156,000.00
22	<b>Railway Edge Spall (up to 12 inches) Repair (Allowance)</b> This includes removal of stucco and concrete within engineer's markings, rehabilitation of reinforcement and/or replacement of rebar, formwork, application of appropriate bonding/antiretrocive materials, concrete patching and steeking as directed by the engineer. After the 12" the repair must be considered and invoiced as a full depth slab repair.	120	LF	\$125.00	\$15,000.00	120	LF	\$130.00	\$15,600.00	120	LF	\$250.00	\$30,000.00	120	LF	\$185.00	\$22,200.00	120	LF	\$162.00	\$19,440.00	120	LF	\$495.00	\$59,400.00
23	<b>Window Header / Sill Repair (Allowance)</b> Work consists of repairing all spalled, cracked, delaminated concrete and stucco as determined by the engineer. The removal of stucco and concrete must be within the boundaries of engineer's markings (markings to remain visible for Engineer's inspection), until sound concrete is reached, but in no case more than 4" deep without engineer's approval, rehabilitation and/or replacement of reinforcement, formwork, application of appropriate bonding/antiretrocive materials, plastic corner bead (if necessary), new concrete and stucco patching to match existing surrounding areas. Caulking and painting to be included as part of the caulking and painting line items.	400	LF	\$90.00	\$36,000.00	400	LF	\$90.00	\$36,000.00	400	LF	\$125.00	\$50,000.00	400	LF	\$115.00	\$46,000.00	400	LF	\$189.00	\$75,600.00	400	LF	\$315.00	\$126,000.00
24	<b>Horizontal Expansion Joints Repair</b> Line item reflects costs for removal and disposal of the existing Expansion Joint filler system. Preparation of the surface and provision and installation of new Expansion Joint filler system Backer Rod and Elastomeric by Sika or approved equivalent.	790	LF	\$28.00	\$22,120.00	790	LF	\$30.00	\$23,700.00	790	LF	\$30.00	\$23,700.00	790	LF	\$55.00	\$43,450.00	790	LF	\$234.00	\$184,860.00	790	LF	\$32.00	\$25,280.00
25	<b>Horizontal Expansion Joint Swing Repair (Allowance)</b> Line item reflects costs for repair of the edges of the concrete lining the expansion joint. These repairs follow the same procedure as that for spalled concrete. Include all necessary steps for proper repair as per Construction Drawings, Specifications and ICRI guidelines, including chipping, cleaning, coating, and refilling chipped areas with concrete. Line item NOT to include doweling or replacement of steel bars (to be given in separate line item). Repair areas to be patched back with SIKAAQUICK V.O.H or similar with previous EOR approval.	75	LF	\$80.00	\$6,000.00	75	LF	\$65.00	\$4,875.00	75	LF	\$75.00	\$5,625.00	75	LF	\$75.00	\$5,625.00	75	LF	\$76.00	\$5,700.00	75	LF	\$185.00	\$13,875.00
26	<b>Concrete Cracks Repair (Non-structural Caulk) (Allowance)</b> Line item reflects costs for Cracks (all concrete and/or block members) to be routed (V-groove) and sealed with Elastomeric caulk (marked and approved by EOR) along the entire length of the crack, covered in the center approximately 1/16" and feathered approximately 3" on either side of the crack. All repaired areas will be patched and have a finish to match existing.	820	LF	\$7.75	\$6,355.00	820	LF	\$14.00	\$11,480.00	820	LF	\$16.00	\$13,120.00	820	LF	\$12.50	\$10,250.00	820	LF	\$16.00	\$13,120.00	820	LF	\$32.00	\$26,240.00
27	<b>Concrete Cracks Repair (gravity fed Epoxy) (balconies or other) (Allowance)</b> Cracks shall be routed (V-groove) by mechanical means with power tool or grinder (all concrete members only, no block), surface to be prepared prior to applying gravity fed epoxy crack repair, approved by an Engineer. All repaired areas will be patched and have a finish to match existing.	3,350	LF	\$17.00	\$56,950.00	3,350	LF	\$22.00	\$73,700.00	3,350	LF	\$29.50	\$98,825.00	3,350	LF	\$65.00	\$217,750.00	3,350	LF	\$22.00	\$73,700.00	3,350	LF	\$48.00	\$160,800.00
28	<b>Concrete Cracks Repair (Pressure Inject Epoxy) (balconies or other) (Allowance)</b> This includes pressurized injection of structural concrete cracks as directed by the engineer, and in accordance with industry standard and manufacturer's recommendations. All injection points will be patched, and areas finished to match the surrounding (all concrete members only, no block).	3,100	LF	\$45.00	\$139,500.00	3,100	LF	\$50.00	\$155,000.00	3,100	LF	\$95.00	\$294,500.00	3,100	LF	\$95.00	\$294,500.00	3,100	LF	\$86.00	\$266,600.00	3,100	LF	\$115.00	\$356,500.00
29	<b>Railway - Removal &amp; Disposal of Floor Covering (Allowance)</b> Removal & disposal of floor covering, including tile, marble, carpet, stone, paint, carpet or any coatings or cementitious toppings, to expose the structural concrete slab. This item to include double layers of ties (if any).	5,500	SF	\$6.00	\$33,000.00	5,500	SF	\$5.00	\$27,500.00	5,500	SF	\$5.50	\$30,250.00	5,500	SF	\$6.50	\$35,750.00	5,500	SF	\$12.00	\$66,000.00	5,500	SF	\$16.25	\$89,375.00
30	<b>Railway - Waterproofing (Allowance)</b> Application of new waterproofing to be Slip Resistant, UV Resistant (By Sika, Tremco or approved equivalent). This item shall include any required surface preparation and/or flash patching to make the concrete surfaces.	2,000	SF	\$14.00	\$28,000.00	2,000	SF	\$18.00	\$36,000.00	2,000	SF	\$9.50	\$19,000.00	2,000	SF	\$22.00	\$44,000.00	2,000	SF	\$25.00	\$50,000.00	2,000	SF	\$28.00	\$56,000.00
31	<b>Flash Patching (Allowance)</b> Application of Flash Patching cement for purposes of sealing horizontal slab surfaces. Contractor to provide ASTM approved product of preference, subject to approval from EOR. This item shall include any required surface preparations needed for a proper application.	450	SF	\$17.00	\$7,650.00	450	SF	\$18.00	\$8,100.00	450	SF	\$30.00	\$13,500.00	450	SF	\$21.00	\$9,450.00	450	SF	\$23.00	\$10,350.00	450	SF	\$72.00	\$32,400.00
32	<b>Rust Spots Removal / Rust Bleeding (Allowance)</b> Line item reflects costs for grinding out the concrete to reveal rusty rebar tips or spots of rust bleeding. Cleaning the existing steel. Sealing and epoxy painting the existing rebar. Price indicated will represent a concrete repair area of dimensions 4"x4"x2" deep, sawcut with straight edges, exposing the rebar tips.	1,785	EA	\$34.00	\$60,690.00	1,785	EA	\$25.00	\$44,625.00	1,785	EA	\$55.00	\$98,175.00	1,785	EA	\$50.00	\$89,250.00	1,785	EA	\$80.00	\$142,800.00	1,785	EA	\$32.00	\$57,120.00
33	<b>Styrofoam Perimeter Panels</b> Line item reflects costs for the full removal of the existing styrofoam panels at the very top of both buildings on the outside faces of the roof parapet walls. Price to include the replacement of stucco to the parapet walls at the areas from where the panels were removed. The quantity provided is for both towers, 4,000 SF per building, pool deck gym building - 600 SF, 4,600 SF total. Contractor <u>must</u> verify quantity.	1	LS		\$149,570.00	1	LS		\$248,000.00	1	LS		\$240,000.00	1	LS		\$440,000.00	1	LS		\$376,000.00	1	LS		\$360,000.00
34	<b>Painting - All surfaces (Allowance) OPTION 1</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on all exterior walls of both towers and common areas, roof walls and parapets, balconies, and overhangs. Also on patched areas within walkways and staircases. Use Sherwin Williams Acrylic Duramax System, or approved equiv. by EOR. Colors to be selected by the Association. Contractor <u>must</u> verify quantity. <u>Do not</u> add this line item dollar value to the total.	196,300	SF	\$1.60	\$314,080.00	196,300	SF	\$3.10	\$608,530.00	196,300	SF		N/A	196,300	SF		N/A	196,300	SF		N/A	196,300	SF		N/A
35	<b>Painting - All surfaces (Allowance) OPTION 2</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on all exterior walls of both towers and common areas, roof walls and parapets, balconies, and overhangs. Also on patched areas within walkways and staircases. Use Sherwin Williams Emerald Exterior Acrylic Flat, or approved equiv. by EOR. Colors to be selected by the Association. Contractor <u>must</u> verify quantity. <u>Do not</u> add this line item dollar value to the total.	196,300	SF	\$1.80	\$353,340.00	196,300	SF	\$3.00	\$588,900.00	196,300	SF	\$2.52	\$494,676.00	196,300	SF	\$1.95	\$382,785.00	196,300	SF	\$6.00	\$1,177,800.00	196,300	SF	\$5.35	\$1,050,205.00
36	<b>Painting - Over patched areas only (Allowance) OPTION 1</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on exterior walls, roof walls and parapets, balconies, overhangs, walkways and staircases. Use Sherwin Williams Acrylic Duramax System, or approved equiv. by EOR. Colors to be selected by the Association. Price per SF.	43,000	SF	\$1.60	\$68,800.00	43,000	SF	\$3.10	\$133,300.00	43,000	SF		N/A	43,000	SF		N/A	43,000	SF		N/A	43,000	SF		N/A
37	<b>Painting - Over patched areas only (Allowance) OPTION 2</b> Surface preparation followed by an application of one coat of (nonclear) primer and two coats of paint on exterior walls, roof walls and parapets, balconies, overhangs, walkways and staircases. Use Sherwin Williams Emerald Exterior Acrylic Flat, or approved equiv. by EOR. Colors to be selected by the Association. Price per SF.	43,000	SF	\$1.80	\$77,400.00	43,000	SF	\$3.40	\$146,200.00	43,000	SF	\$2.75	\$118,250.00	43,000	SF	\$1.95	\$83,850.00	43,000	SF	\$7.00	\$301,000.00	43,000	SF	\$5.35	\$230,050.00
38	<b>Painting - Sealants (Allowance)</b> This includes removal of existing damaged sealant as needed and application of new sealant and primer prior to painting window frames, sliding glass doors, walkway or balcony exterior doors. Use Sikaflex Construction Sealant or equivalent moisture cured, polyurethane based, non-ag elastomeric sealant. Approx. 4,000 LF per building, 8,000 LF total.	8,000	LF	\$6.80	\$54,400.00	8,000	LF	\$6.85	\$54,800.00	8,000	LF	\$9.50	\$76,000.00	8,000	LF	\$1.95	\$15,600.00	8,000	LF	\$9.00	\$72,000.00	8,000	LF	\$16.00	\$128,000.00
39	<b>Hurricane Shutters Removal (Allowance)</b> Should the need arise, this item is to include the removal of complete shutter, inclusive of all tracks and mechanical fasteners (bolts) within the existing vertical or horizontal concrete to which they are anchored into. All removed shutters are to be removed and protected, stacked and stored in an area provided by the Owner. Assume shutter size over standard SGD of 8'x10'. All other removed sizes based on onsite necessities shall be priced as a ratio relationship with this as a base SF sized area. Price not to include <u>congratulations</u> .	1	EA	\$280.00	\$280.00	1	EA	\$550.00	\$550.00	1	EA	\$880.00	\$880.00	1	EA	\$960.00	\$960.00	1	EA	\$151.00	\$151.00	1	EA	\$1,024.00	\$1,024.00
40	<b>Hurricane Shutters Reinstallation (Allowance)</b> Should the need arise, this item is to include the price of reinstallation of the existing removed shutter. Assume shutter size over standard SGD of 8'x10'. All other reinstallation sizes based on onsite necessities shall be priced as a ratio relationship with this as a base SF sized area. Do not add this line item dollar value to the total.	1	EA	\$330.00	\$330.00	1	EA	\$800.00	\$800.00	1	EA	\$1,200.00	\$1,200.00	1	EA	\$1,440.00	\$1,440.00	1	EA	\$303.00	\$303.00	1	EA	\$1,530.00	\$1,530.00
41					<b>SUBTOTAL B</b>				<b>SUBTOTAL B</b>				<b>SUBTOTAL B</b>				<b>SUBTOTAL B</b>			<b>SUBTOTAL B</b>				<b>SUBTOTAL B</b>	
42					\$1,280,815.00				\$1,815,860.00				\$1,650,446.43				\$1,935,875.00			\$1,948,269.00				\$2,144,131.50	
					<b>SUBTOTAL A + B</b>				<b>SUBTOTAL A + B</b>				<b>SUBTOTAL A + B</b>				<b>SUBTOTAL A + B</b>			<b>SUBTOTAL A + B</b>				<b>SUBTOTAL A + B</b>	
					\$1,616,415.00				\$1,998,860.00				\$2,222,622.39				\$2,521,875.00			\$2,459,171.17				\$2,812,623.75	
C	<b>MISCELLANEOUS, UNFORSEEN AND CONCEALED CONDITIONS</b>																								

43	<b>Structural Repairs of Balcony or Exterior Envelope Components - Unforeseen and/or concealed conditions (HP's Allowance)</b> This contingency is in place to protect the association from absorbing extra cost that arise due to change orders related to overages in quantities or unforeseen or concealed conditions.	1	LS		\$138,081.50	1	LS		\$181,586.00	1	LS		\$165,044.64	1	LS		\$193,587.50	1	LS		\$194,836.90	1	LS		\$214,413.15
44	<b>Balcony Interior Intrusion - Temporary Dust wall (Allowance)</b> Should the need arise to intrude into an apartment unit for concrete repair of the floor or soffit slab, contractor to provide as a minimum the following: carpeting and/or foam to protect interior flooring and soffit finishes (if applicable), 2x4 vertical studs, vertical post shores, plywood and caulk seal all joints and plastic film for the bulk-up of temporary drywall inside units. Contractor to remove any drywall that intrudes a proper concrete repair, as well as any electrical wiring and components due to recessed lights or the like that intrudes a proper concrete repair. Interior finishes and/or flooring installation are not included in price.	200	LF	\$57.00	\$11,400.00	200	LF	\$85.00	\$17,000.00	200	LF	\$85.00	\$17,000.00	200	LF	\$125.00	\$25,000.00	200	LF	\$125.00	\$25,000.00	200	LF	\$65.00	\$13,000.00
45	<b>Balconies - Unit Intrusion - Interior Finishes (Allowance)</b> Should the need arise to intrude into an apartment unit for concrete repair of the floor or soffit slab, this price to include drywall removal & replacement, all taping, insulation, compound and primer as needed to match existing finishes. Price not to include interior paint. Paint by others, flooring tile, wood or other not included in price. Flooring will accessories like baseboards not included in price.	200	SF	\$160.00	\$32,000.00	200	SF	\$60.00	\$12,000.00	200	SF	\$15.00	\$3,000.00	200	SF	\$15.00	\$3,000.00	200	SF	\$75.00	\$15,000.00	200	SF	\$56.00	\$11,200.00
46	<b>Sliding Glass Door Removal and Reinstallation (Allowance)</b> Should the need arise, this price includes the removal, protecting and storing of sliding glass doors during the necessary repairs. Price also to include the further reinstallation of sliding glass doors if they are deemed in good working condition and meet current code requirement. Otherwise, door installation prices are a separate unit owner responsibility. Line item price to assume a standard 10' long x 8' high SGD	1	EA	\$720.00	\$720.00	1	EA	\$1,800.00	\$1,800.00	1	EA	\$3,200.00	\$3,200.00	1	EA	\$3,120.00	\$3,120.00	1	EA	\$1,000.00	\$1,000.00	1	EA	\$2,048.00	\$2,048.00
47		<b>SUBTOTAL C</b>			\$182,201.50	<b>SUBTOTAL C</b>			\$212,386.00	<b>SUBTOTAL C</b>			\$188,244.64	<b>SUBTOTAL C</b>			\$224,707.50	<b>SUBTOTAL C</b>			\$235,836.90	<b>SUBTOTAL C</b>			\$240,661.15
48		<b>TOTAL BASE BID A + B + C</b>			\$1,798,616.50	<b>TOTAL BASE BID A + B + C</b>			\$2,411,246.00	<b>TOTAL BASE BID A + B + C</b>			\$2,410,867.03	<b>TOTAL BASE BID A + B + C</b>			\$2,746,582.50	<b>TOTAL BASE BID A + B + C</b>			\$2,695,098.07	<b>TOTAL BASE BID A + B + C</b>			\$3,053,284.90
49	Hourly Rate for Laborer		HR	\$65.00			HR	\$85.00			HR	\$75.00			HR	\$85.00			HR	\$95.00			HR	\$95.00	
50	Hourly Rate for Foreman		HR	\$80.00			HR	\$95.00			HR	\$105.00			HR	\$105.00			HR	\$110.00			HR	\$115.00	
51	Hourly Rate for Skilled Carpenter		HR	\$100.00			HR	\$95.00			HR	\$85.00			HR	\$85.00			HR	\$95.00			HR	\$105.00	
52	Hourly Rate for Roofer		HR	\$100.00			HR	\$120.00			HR	\$150.00			HR	\$155.00			HR	\$200.00			HR		
53	Hourly Rate for Plumber		HR	\$125.00			HR	\$145.00			HR	\$125.00			HR	\$155.00			HR	\$140.00			HR		
54	Hourly Rate for Electrician		HR	\$125.00			HR	\$145.00			HR	\$125.00			HR	\$155.00			HR	\$180.00			HR		
<b>D BEACH STAIRS &amp; DOOR</b>																									
55	<b>Beach Stairs</b> Contractor to provide a price for the demo and construction of a new staircase at the beach as per construction drawings. Contractor to submit all RFIs necessary for proper bidding.		LS	\$38,000.00	1	LS	\$68,000.00		LS	\$83,737.29		LS	\$225,750.00		LS	\$50,000.00		LS	\$85,000.00		LS	\$85,000.00		LS	\$85,000.00
56	<b>Beach Door</b> Contractor to provide a price for the demo of the existing door, and the relocation of the new door as per construction drawings. Contractor to submit all RFIs necessary for proper bidding.		LS	\$33,000.00	1	LS	\$45,000.00		LS	\$179,801.01		LS	\$22,500.00		LS	\$35,000.00		LS	\$33,600.00		LS	\$33,600.00		LS	\$33,600.00
57		<b>SUBTOTAL D</b>			\$71,000.00	<b>SUBTOTAL D</b>			\$113,000.00	<b>SUBTOTAL D</b>			\$263,538.30	<b>SUBTOTAL D</b>			\$248,250.00	<b>SUBTOTAL D</b>			\$85,000.00	<b>SUBTOTAL D</b>			\$118,600.00
58		<b>TOTAL BID A + B + C + D</b>			\$1,869,616.50	<b>TOTAL BASE BID A + B + C + D</b>			\$2,524,246.00	<b>TOTAL BID A + B + C + D</b>			\$2,674,405.33	<b>TOTAL BID A + B + C + D</b>			\$2,994,832.50	<b>TOTAL BID A + B + C + D</b>			\$2,780,098.07	<b>TOTAL BID A + B + C + D</b>			\$3,171,884.90
59	<b>Performance and Payment Bonds (Allowance)</b> Percentage of line 58	2	%	\$37,392.33	2.4	%	\$60,581.90	2	%	\$53,488.11	4.5	%	\$134,767.46	1.9	%	\$52,820.15	2.25	%	\$71,367.41						
60	<b>Permit Fees (At Cost)</b> Price to include actual Permit fee of the City (% of line 42)	3	%	At Cost	\$48,492.45	3	%	At Cost	\$65,965.80	3	%	At Cost	\$66,678.67	3	%	At Cost	\$75,656.25	3	%	At Cost	\$73,775.14	3	%	At Cost	\$84,378.71
61		<b>TOTAL PROJECT BID</b>			\$1,955,501.28	<b>TOTAL PROJECT BID</b>			\$2,690,793.70	<b>TOTAL PROJECT BID</b>			\$2,794,572.11	<b>TOTAL PROJECT BID</b>			\$3,205,256.21	<b>TOTAL PROJECT BID</b>			\$2,996,603.36	<b>TOTAL PROJECT BID</b>			\$3,327,631.02
TME	Time (calendar days) that Substantial Completion shall be reached. (If final Completion shall be reached to more than 300 (total) days after this.)			300			365			300			300			390			300				300		

Draft