

CITY OF HOLLYWOOD, FLORIDA  
MEMORANDUM  
DIVISION OF PLANNING

DATE: October 25, 2016 FILE: 16-C-19  
TO: Historic Preservation Board  
VIA: Leslie A. Del Monte, Planning Manager  
FROM: Arceli Redila, Planning Administrator   
SUBJECT: Diamond Back Investments, LLC requests a Certificate of Appropriateness for Design for an addition and exterior renovations to a single-family home located at 1034 North Northlake Drive, within the Lakes Area Historic Multiple Resource Listing District.

**APPLICANT'S REQUEST**

Certificate of Appropriateness for Design for an addition and exterior renovations to a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

**STAFF'S RECOMMENDATION**

Certificate of Appropriateness for Design: Approval, with condition a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded, by the City of Hollywood, in the Broward County Public Records prior to Certificate of Completion (C/C) or Certificate of Occupancy (C/O).

**BACKGROUND**

The existing two-story single-family home is approximately 3,500 square feet, situated on multiple lots totaling approximately half-acre (100 feet wide by 233 feet long). It was constructed in 1955 (based on Broward County records). Building permit history indicates the house has undergone several alterations since construction. Currently, the house appears to have design elements characteristic of the Mediterranean Revival style. Major features of this style include irregular massing and multi-level roof covered with barrel tiles.

**REQUEST**

The Applicant is requesting a Certificate of Appropriateness for Design for an addition and exterior renovations to an existing two-story single-family home. The Applicant proposes to increase the height of the finished floor (FFE) to the home to comply with Federal Emergency Management Agency (FEMA) standards. The increase in floor height will require complete renovations to the interior space, modification to fenestrations, and removal of the roof so that the exterior walls may be built taller to accommodate appropriate ceiling heights.

The proposed addition at approximately 2,000 square feet includes: two bedrooms on the east side, a master bedroom and an expansion of the guest bedroom on the second floor, terrace on the rear, and a two-car garage. Effectively, the addition will increase the total building area of the home to approximately 5,500 square feet. Exterior renovations include the removal or alteration of openings where windows and doors are currently located to accommodate modern-day impact resistant windows and doors.

The footprint of the existing building will remain intact and will retain all existing setbacks while modifying the design to present a contemporary look. The contemporary design includes large floor-to-ceiling windows with aluminum cable railings. Exterior wall coverings include smooth stucco finish and stone veneer with a new flat roof plane. The existing circular driveway will be reconfigured and replaced with brick pavers with turf joints. The design is enhanced by a formal landscape plan which provides approximately 47 percent pervious areas. The overall design is reflective of its time, clearly a product of the current architecture.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the district. The proposed home is consistent with the character of the Lakes Area Historic Multiple Resource Listing District; additionally the design maintains the spatial relationship with surrounding properties in its scale and massing.

## **SITE BACKGROUND**

Applicant/Owner:	Diamond Back Investments, LLC.
Address/Location:	1034 North Northlake Drive
Size of Property:	23,393 sq. ft. (±.50 acres)
Present Zoning:	Single-Family Residential (RS-9) Lakes Area Historic Multiple Resource Listing District (HMPRL0D-1)
Present Use of Land:	Single-Family Home
Year Built:	1955 (Broward County Property Appraiser)

## **ADJACENT ZONING**

North:	Single-Family Residential District (RS-6) Lakes Area Historic Multiple Resource Listing District (HMPRL0D-1)
South:	North Lake - Government Use (GU)
East:	Single-Family Residential District (RS-9) Lakes Area Historic Multiple Resource Listing District (HMPRL0D-1)
West:	Single-Family Residential District (RS-9) Lakes Area Historic Multiple Resource Listing District (HMPRL0D-1)

## **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.* The proposed addition and exterior renovations allows the Applicant to make necessary improvements while maximizing the use of their property. By allowing the Applicant to improve the existing structure, the City is accomplishing the desired reinvestment in the Lakes Area Historic Multiple Resource Listing District while maintaining the character of the neighborhood.

## **CONSISTENCY WITH THE CITY-WIDE MASTER PLAN**

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed addition and exterior improvements are sensitive to the character of the Historic Lakes Section through its design which is similar to existing structures in the surrounding neighborhood.

*Policy 2.46: Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

*Policy CW.15: Place a priority on protecting, preserving and enhancing residential neighborhoods.*

The CWMP also states *the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements.*

### **CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN**

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The Applicant's significant investment to revitalize their existing structure contributes to the overall enhancement of this neighborhood. The design is sensitive in scale and character to the existing structure and surrounding neighborhood. Furthermore, proposed improvements do not adversely affect the integrity of the Historic District.

### **APPLICABLE CRITERIA**

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

#### **CRITERION: INTEGRITY OF LOCATION**

**ANALYSIS:** The Historic Design Guidelines recommend maintaining *consistent spacing and setbacks and further state new construction should be compatible with existing buildings. Within the context of historic preservation, elements of design such as massing, scale, and rhythm reflect architectural style as well as the richness of the historic district.* The proposed exterior renovation and addition are due to the extensive improvements to the existing house. The Applicant proposes no change in the location and building footprint of the existing home, the addition complies with required setbacks. However, the house is situated on multiple lots. Therefore, staff is recommending **a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of Building Permits and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).**

**FINDING:** Consistent with the imposition of Staff's condition.

#### **CRITERION: DESIGN**

**ANALYSIS:** The Historic Design Guidelines recommend *compatible new additions with regards to scale, materials, texture and color.* The proposed architectural style is contemporary, using rectilinear composition of volumes, planes and fenestration of large floor-to-ceiling windows and exterior terrace areas. The design elements, detailing, and color pallet are compatible with the adjacent neighborhood. The proposed improvements are enhanced by appropriate landscaping which provides approximately 47 percent pervious area for the entire site.

**FINDING:** Consistent.

#### **CRITERION: SETTING**

**ANALYSIS:** The Historic Design Guidelines states that setting is *relationship of a building to adjacent buildings and the surrounding site environment.* The proposed addition and exterior renovations meet all applicable setback requirements as the location of the home is not changing. The proposed design is similar to that of the surrounding neighborhood and maintains the spatial relationship with surrounding properties. Massing plays an important role in determining the character of individual properties, the street, and the surrounding

neighborhood. The addition is kept in proportion with the existing home and surrounding properties, complying with the Design Guidelines.

FINDING: Consistent

**CRITERION:** MATERIALS

ANALYSIS: The Historic Design Guidelines state that *materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place.* Furthermore, materials are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The architectural treatment and materials include: smooth stucco finish, glass and metal railings, and pavers with turf joints for the driveway.

FINDING: Consistent.

**CRITERION:** WORKMANSHIP

ANALYSIS: According to the National Register, workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques.

The design of the proposed addition and exterior renovations is consistent with current workmanship styles and methods. The proposed improvements are not imitating or copying any existing style or period. The overall design is reflective of its time, clearly a product of the current architecture.

FINDING: Consistent

**CRITERION:** ASSOCIATION

ANALYSIS: The Historic District Design Guidelines state *repeated elements on neighboring buildings are characteristic of buildings in Hollywood. Divisions between upper and lower floors, uniform porch heights and alignment of window and windowsills are examples of such rhythms. New construction in historic districts should maintain or extend these strong-shared streetscape elements in blocks where they appear.* By providing adequate setbacks and orienting the structure in a manner which is appropriate for the size and proportion of the site, the proposed home blends into the fabric of the block. The scale, massing, and rhythm of façade elements provide cohesion and compatibility with the neighborhood and Historic District as a whole.

FINDING: Consistent

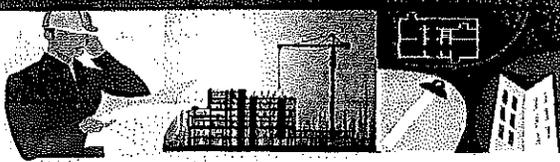
#### ATTACHMENTS

ATTACHMENT A: Application Package

ATTACHMENT B: Aerial Photograph

**ATTACHMENT A**  
Application Package

DEPARTMENT OF PLANNING



File No. (Internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

*This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.*

*The applicant is responsible for obtaining the appropriate checklist for each type of application.*

*Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.*

*At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).*

*Documents and forms can be accessed on the City's website at <http://www.hollywoodfl.org/DocumentCenter/Home/View/21>*



**APPLICATION TYPE (CHECK ONE):**

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 10-10-16

Location Address: 1034 N NORTHLAKE DR.

Lot(s): 6E1/278 Block(s): 47 Subdivision: HOLLYWOOD LAKE

Folio Number(s): 514214018340

Zoning Classification: RS9 Land Use Classification: RES

Existing Property Use: RES. Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: REMODELING EXISTING RESIDENCE

Number of units/rooms: 1 Sq Ft: 7,336

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: 6/17

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: DIAMONDBACK INVESTMENTS LLC

Address of Property Owner: 2711 S OCEAN DR, HOLLYWOOD, FL

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant/Representative/Tenant (circle one): JOSE RAMOS

Address: 780 TAMMAMI CANYON RD. MIA Telephone: 305-506-7388

Fax: \_\_\_\_\_ Email Address: RAMOS8837@COMCAST.NET

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 10-10-16

PRINT NAME: Joann Katcher Date: \_\_\_\_\_

Signature of Consultant/Representative: [Signature] Date: 10-10-16

PRINT NAME: JOSE RAMOS Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) 1034 N. Northlake drive, Hollywood to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Jose Ramos to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 10 day of October, 2016

[Signature]

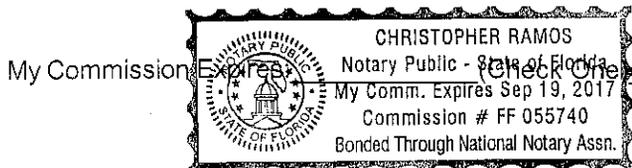
Notary Public State of Florida

[Signature]

SIGNATURE OF CURRENT OWNER

Joann Katcher

PRINT NAME



My Commission Expires  Personally known to me; OR \_\_\_\_\_

**ramos architects • and associates**

October 7, 2016  
City of Hollywood  
Zoning Department.  
Hollywood, Fl

Re: Remodeling at  
1034 N Northlake Dr.  
Hollywood, Fl

To Whom It May Concern:

**DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR DESIGN:**

A decision on an application for a Certificate of Appropriateness for Design for new building construction, additions to existing building, major renovation work or substantial alteration shall be based upon evaluation of the compatibility of the physical alteration or improvement with and adherence to the criteria for designation listed in § 5.5 F of the City of Hollywood Zoning and Land Development Regulations.

**a.- Mandatory Criteria: Integrity of location, design, setting, materials, workmanship and association.**

**CRITERIA: INTEGRITY OF LOCATION**

The Historic District Design Guidelines state buildings in historic districts often share a common front and side setback. In locating new buildings, the side and rear seatbacks should be maintained and aligned with the façade of surrounding historic buildings.

***R: We are maintaining both the rear and front setback.***

**CRITERIA: DESIGN**

The Historic District Design Guidelines state the height of buildings in most districts, particularly at the block level, is similar. The height of new construction should be compatible with surrounding historic buildings.

***R: The height of the construction is compatible with the surrounding buildings.***

The Historic District Design Guidelines state window openings in historic districts often share similar size, spacing and shape. In designing new construction, the proportion and spacing of openings on adjacent buildings should be maintained.

***R: We are maintaining the proportion and spacing of openings on adjacent buildings.***

The Historic District Design Guidelines state similar roof forms and pitch are characteristics of buildings in many historic districts. Roof designs should be compatible with surrounding buildings.

***R: Our roof design is compatible with adjacent buildings.***

#### **CRITERIA: SETTING**

The Historic District Design Guidelines state setting is the relationship of a building to adjacent buildings and the surrounding site and environment.

***R: The setting of our design is harmony with the surrounding site and environment.***

#### **CRITERIA: MATERIALS**

Materials that are compatible in quality, color, texture, finish and dimension to those that are common in to the district should be used.

***R: The materials quality, color, texture finish and dimension are similar and compatible to those common in the district.***

#### **CRITERIA: WORKMANSHIP**

Construction should not create a false sense of historical development through the use of conjectural features or stylistic elements drawn from other buildings.

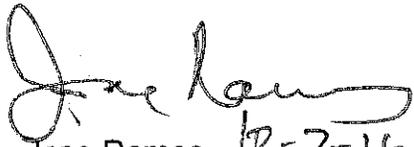
***R: Our design does not create a false sense of historical development through the use of conjectural features or stylistic elements drawn from other buildings.***

**CRITERIA: ASSOCIATION**

The Historic District Design Guidelines state repeated elements on neighboring buildings are characteristic of buildings in Hollywood. Divisions between upper and lower floors, uniform porch heights and alignment of window and windowsills are examples of such rhythms. New construction in historic districts should maintain or extend these strong-shared streetscape elements in blocks where they appear.

***R: Our design follows the repeated elements and rhythms of the block where they appear.***

Sincerely,

A handwritten signature in cursive script, appearing to read "Jose Ramos".

Jose Ramos 10-7-16  
Ramos Architects and Associates

PREPARED BY:

# EXACTA

Land Surveyors, Inc.

www.exactaland.com  
Toll Free 866-735-1916 • F 866-744-2882



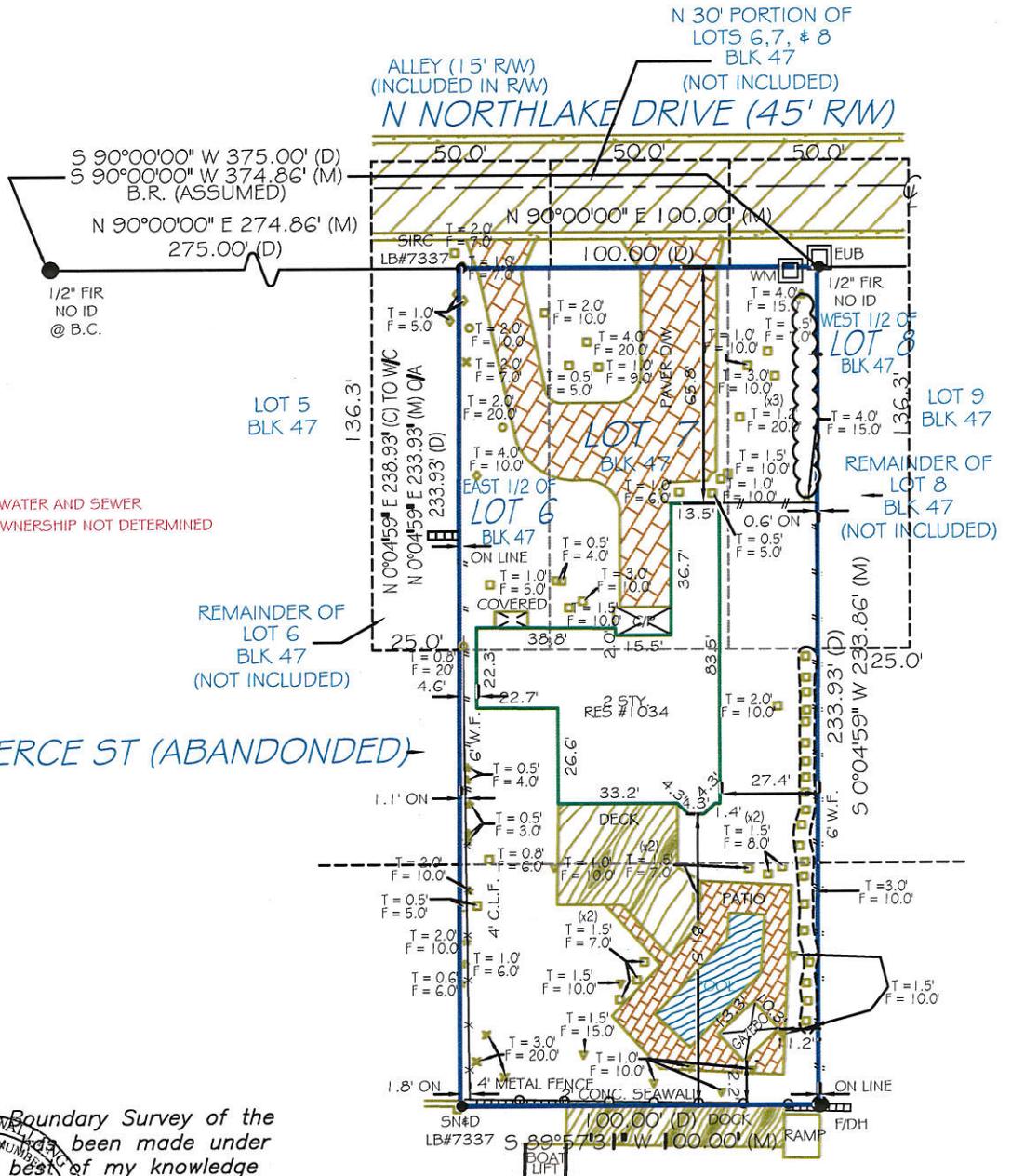
PROPERTY ADDRESS: 1034 N NORTHLAKE DRIVE HOLLYWOOD, FLORIDA 33019

SURVEY NUMBER: FL1511.1083-01

FIELD WORK DATE: 2/16/2016

REVISION DATE(S): (REV.1 2/19/2016)

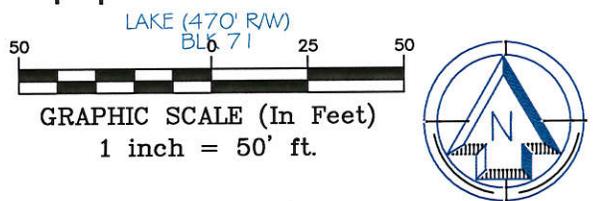
FL1511.1083  
BOUNDARY SURVEY  
BROWARD COUNTY



- NOTES:
- LOT APPEARS TO BE SERVICED BY CITY WATER AND SEWER FENCE, BOAT LIFTS AND WOOD DOCK OWNERSHIP NOT DETERMINED
  - = PALM
  - ◇ = ARECA PALM
  - = CYPRESS
  - × = OAK
  - △ = BAMBOO
  - ★ = FIGUS
  - ✕ = FRUIT
  - ▽ = COCONUT
  - T=TRUNK
  - F=FOLIAGE

I hereby certify that this Boundary Survey of the hereon described property has been made under my direction, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17 of the Florida Administrative Code.

**RONALD W. WALLING**  
State of Florida Professional Surveyor and Mapper  
License No. 6473



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

**FLOOD INFORMATION:**  
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE & VE (WITH A BASE FLOOD ELEVATION OF 5 (AE) & 8 (VE)). THIS PROPERTY WAS FOUND IN THE CITY OF HOLLYWOOD, COMMUNITY NUMBER 125113, DATED 08/18/14.

CLIENT NUMBER: \_\_\_\_\_ DATE: 2/19/2016

BUYER: DIAMONDBACK INVESTMENTS, LLC

SELLER: US BANK, NA AS TRUSTEE

CERTIFIED TO: DIAMONDBACK INVESTMENTS, LLC; GENESIS TITLE COMPANY

This is page 1 of 2 and is not valid without all pages.

**POINTS OF INTEREST**  
NONE VISIBLE

**Florida Land Title Association** AFFILIATE MEMBERS

**EXACTA**  
Land Surveyors, Inc.

www.exactaland.com  
P866-735-1916 - F.866-744-2882  
LB# 7337 11940 Fairway Lakes Drive, Suite 1-Ft. Myers, FL 33913

**LEGAL DESCRIPTION:**

THE EAST HALF OF LOT 6, ALL OF LOT 7, AND THE WEST HALF OF LOT 8, EXCEPT THE NORTH 30 FEET OF SAID LOTS FOR STREET RIGHT-OF-WAY, IN BLOCK 47, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS:

BEING A PART OF PIERCE STREET AND A PART OF BLOCK 70 OF HOLLYWOOD LAKES SECTION BOUNDED ON THE NORTH BY THE SOUTH LINE OF BLOCK 47; ON THE SOUTH BY BLOCK 71 (NORTH LAKE); ON THE EAST BY THE EAST LINE OF THE WEST HALF OF LOT 8, BLOCK 47 EXTENDED IN A SOUTHERLY DIRECTION; AND ON THE WEST BY THE WEST LINE OF THE EAST HALF OF LOT 6 OF BLOCK 47 EXTENDED IN A SOUTHERLY DIRECTION, AS SHOWN ON SAID PLAT OF HOLLYWOOD LAKES SECTION, BEING ALL THAT PARCEL OF LAND LYING SOUTH OF THE EAST HALF OF LOT 6, LOT 7 AND WEST HALF OF LOT 8, OF BLOCK 47, OF HOLLYWOOD LAKES SECTION EXTENDING TO BLOCK 71 (NORTH LAKE) IN SAID SUBDIVISION.

**JOB SPECIFIC SURVEYOR NOTES:**

THE ASSUMED BEARING REFERENCE OF SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST IS BASED ON THE SOUTHERLY RIGHT-OF-WAY LINE OF N NORTHLAKE DRIVE, LOCATED WITHIN HOLLYWOOD LAKES SECTION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**GENERAL SURVEYOR NOTES:**

- The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
- This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
- If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to Exacta by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
- This survey is exclusively for the use of the parties to whom it is certified.
- Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Dimensions are in feet and decimals thereof.
- Due to varying construction standards, house dimensions are approximate.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at [www.fema.gov](http://www.fema.gov).
- All corners marked as set are at a minimum a 1/2" diameter, 18" iron rebar with a cap stamped LB#7337.
- If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed as specified in Chapter 51-17.062 (3) of the Florida Administrative Code and Florida Statute 472.025. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Florida Licensed Surveyor.
- Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
- Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logo or references to third party firms are for informational purposes only.
- Pursuant to F.S. 558.0035, an individual employee or agent may not be held individually liable for negligence.
- House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

**LEGEND:**

**SURVEYOR'S LEGEND**

**LINE TYPES: (UNLESS OTHERWISE NOTED)**

- BOUNDARY LINE
- STRUCTURE
- CENTERLINE
- CHAIN-LINK or WIRE FENCE
- EASEMENT
- EDGE OF WATER
- IRON FENCE
- OVERHEAD LINES
- SURVEY TIE LINE
- WALL OR PARTY WALL
- WOOD FENCE
- VINYL FENCE

**SURFACE TYPES: (UNLESS OTHERWISE NOTED)**

- ASPHALT
- BRICK or TILE
- CONCRETE
- COVERED AREA
- WOOD

**SYMBOLS: (UNLESS OTHERWISE NOTED)**

- BENCH MARK
- CENTERLINE
- CENTRAL ANGLE or DELTA
- COMMON OWNERSHIP
- CONTROL POINT
- CONCRETE MONUMENT
- CATCH BASIN
- ELEVATION
- FIRE HYDRANT
- FND OR SET MONUMENT
- GUYWIRE or ANCHOR
- MANHOLE
- TREE
- UTILITY OR LIGHT POLE
- WELL

- A/C AIR CONDITIONING
- B.R. BEARING REFERENCE
- B.C. BLOCK CORNER
- B.P.P. BACKFLOW PREVENTOR
- BLK. BLOCK
- BLDG. BUILDING
- BM BENCHMARK
- B.R.L. BUILDING RESTRICTION LINE
- BSMT. BASEMENT
- BW BAY/BOX WINDOW
- (C) CALCULATED
- C. CURVE
- CATV CABLE TV, RISER
- C.B. CONCRETE BLOCK
- CHIM. CHIMNEY
- C.L.F. CHAIN LINK FENCE
- C.O. CLEAN OUT
- CONC. CONCRETE
- COR. CORNER
- CSW CONCRETE SIDEWALK
- C.V.G. CONCRETE VALLEY GUTTER
- CL CENTER LINE
- CP COVERED PORCH
- CS CONCRETE SLAB
- (D) DEED
- D.F. DRAIN FIELD DRIVEWAY
- DW DRAINAGE
- ELEV. ELEVATION
- ENCL. ENCLOSURE
- ENT. ENTRANCE
- EM ELECTRIC METER
- E.O.P. EDGE OF PAVEMENT
- E.O.W. EDGE OF WATER
- EUB ELECTRIC UTILITY BOX
- (F) FIELD
- FCM FND. CONCRETE MONUMENT
- F/DH FOUND DRILL HOLE
- F.F. FINISHED FLOOR
- FIP FOUND IRON PIPE
- FIRC FOUND IRON PIPE # CAP
- FIR FOUND IRON ROD
- FIRC FOUND IRON ROD # CAP
- FN FOUND NAIL
- FND FOUND NAIL # DISC
- FND. FOUND
- FPKN FOUND PARKER-KALON NAIL
- FPKN# FOUND PK NAIL # DISK
- FRSPK FOUND RAILROAD SPIKE
- GAR. GARAGE
- GM GAS METER
- ID. IDENTIFICATION
- ILL. ILLEGIBLE
- INST. INSTRUMENT
- INT. INTERSECTION
- L. LENGTH
- LB# LICENSE # - BUSINESS
- LS# LICENSE # - SURVEYOR
- (M) MEASURED
- M.B. MAP BOOK
- M.E.S. MITERED END SECTION
- M.F. METAL FENCE
- N.R. NON RADIAL
- N.T.S. NOT TO SCALE
- O.C.S. ON CONCRETE SLAB
- O.G. ON GROUND
- OFF. OUTSIDE OF SUBJECT PARCEL
- OH. OVERHANG
- OHL OVERHEAD LINES
- ON INSIDE OF SUBJECT PARCEL
- O.R.B. OFFICIAL RECORD BOOK
- O.R.V. OFFICIAL RECORD VOLUME
- O/A OVERALL
- O/S OFFSET
- (P) PLAT
- P.B. PLAT BOOK
- P.C. POINT OF CURVATURE
- P.C.C. POINT OF COMPOUND CURVATURE
- P.C.P. PERMANENT CONTROL POINT
- PE POOL EQUIPMENT
- PG. PAGE
- P.I. POINT OF INTERSECTION
- PLS PROFESSIONAL LAND SURVEYOR
- PLT PLANTER
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- P.P. PINCHED PIPE
- P.R.C. POINT OF REVERSE CURVATURE
- P.R.M. PERMANENT REFERENCE MONUMENT
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- P.T. POINT OF TANGENCY
- R. RADIUS or RADIAL RECORD
- (R) RECORD
- RGE. RANGE
- RES. RESIDENCE
- R/W RIGHT OF WAY
- (S) SURVEY
- S.B.L. SETBACK LINE
- S.C.L. SURVEY CLOSURE LINE
- SCR. SCREEN

- SEC. SECTION
- SEP. SEPTIC TANK
- SEW. SEWER
- SGD SET GLUE DISC
- SIRC SET IRON ROD # CAP
- SND SET NAIL # DISC
- SQ.FT. SQUARE FEET
- STY. STORY
- S.T.L. SURVEY TIE LINE
- SV SEWER VALVE
- SAW SIDEWALK
- S.W. SEAWALL
- TBM TEMPORARY BENCHMARK
- TEL. TELEPHONE FACILITIES
- T.O.B. TOP OF BANK
- TWP. TOWNSHIP
- TX TRANSFORMER
- TYP. TYPICAL
- U.R. UTILITY RISER
- W/C WITNESS CORNER
- W/F WATER FILTER
- W.F. WOODEN FENCE
- WM WATER METER/VALVE BOX
- WV WATER VALVE
- V.F. VINYL FENCE

**ELECTRONIC SIGNATURE:**

In complete accordance with Florida Statute 472.025 and Pursuant to the Electronic Signature Act of 1996 or Florida Statute TITLE XXXIX, Chapter 668, if this document was received electronically via PDF, then it has been lawfully Electronically Signed. Therefore, this survey PDF, if authentic, is completely official and Insurable. In order to validate the "Electronic Signature" of PDF surveys sent via [www.surveystars.com](http://www.surveystars.com) you must use a hash calculator. A free hash calculator is available for download at: [www.softpedia.com/get/System/File-Management/Hash-Calculator-Kirill.shtml](http://www.softpedia.com/get/System/File-Management/Hash-Calculator-Kirill.shtml)

In order to validate the Electronic Signature of any survey PDF sent via [www.surveystars.com](http://www.surveystars.com):

- Download the Hash Calculator available at: [www.softpedia.com/get/System/File-Management/Hash-Calculator-Kirill.shtml](http://www.softpedia.com/get/System/File-Management/Hash-Calculator-Kirill.shtml)
- Save the Survey PDF onto your computer from [www.surveystars.com](http://www.surveystars.com) or from the email sent from [www.surveystars.com](http://www.surveystars.com).
- Click the square Browse button in the upper right hand corner of the Hash Calculator to find and select the saved Survey PDF document, and click the COMPUTE button in the lower right hand corner of the Hash Calculator.
- Compare the 40 digit string of characters in the SHA-1 line to the 40 digit SHA-1 characters for the survey in the job file in [www.surveystars.com](http://www.surveystars.com) which is also printed on the invoice for that survey.
- If the 40 digit string of SHA-1 characters are exactly the same on the invoice (or in the survey file at [www.surveystars.com](http://www.surveystars.com)) as they are in the Hash Calculator, then this PDF is authentic. If the 40 digit string of characters does not match exactly, then this PDF has been tampered with and it is not authentic.

**PRINTING INSTRUCTIONS:**

- While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
  - Select a printer with legal sized paper.
  - Under "Print Range", click select the "All" toggle.
  - Under the "Page Handling" section, select the number of copies that you would like to print.
  - Under the "Page Scaling" selection drop down menu, select "None."
  - Uncheck the "Auto Rotate and Center" checkbox.
  - Check the "Choose Paper size by PDF" checkbox.
  - Click OK to print.
- TO PRINT IN BLACK + WHITE**

- In the main print screen, choose "Properties".
- Choose "Quality" from the options.
- Change from "Auto Color" or "Full Color" to "Gray Scale".

**OFFER VALID ONLY FOR:  
DIAMONDBACK INVESTMENTS, LLC**

**EXACTA**

**25% off**  
(UP TO \$500)

**ANY FUTURE SURVEYING SERVICES ON THIS PROPERTY**

Offer valid only for the buyer as listed on the first page of the survey. Total discount not to exceed \$500.

# ELEVATION CERTIFICATE

IMPORTANT: Follow the instructions on pages 1-9.

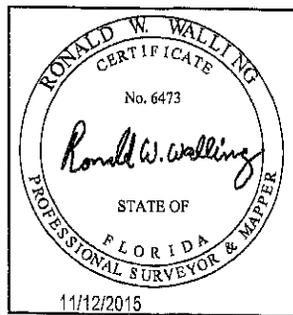
OMB No. 1660-0008  
 Expiration Date: July 31, 2015

<b>FL 1511.1083EC</b>	
<b>SECTION A - PROPERTY INFORMATION</b>	
FOR INSURANCE COMPANY USE	
A1. Building Owner's Name <b>DIAMONDBACK INVESTMENTS, LLC</b>	Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>1034 N NORTHLAKE DRIVE</b>	Company NAIC Number:
City <b>HOLLYWOOD</b>	State <b>FLORIDA</b>
	ZIP Code <b>33019</b>
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>TAX PARCEL ID: 5142 14 01 8340</b>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <b>RESIDENTIAL</b>	
A5. Latitude/Longitude: Lat. <b>26.0097304 N</b> Long. <b>80.1294566 W</b> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number <b>8</b>	
A8. For a building with a crawlspace or enclosure(s):	A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) <b>3000</b> sq ft	a) Square footage of attached garage <b>N/A</b> sq ft
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <b>1</b>	b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <b>0</b>
c) Total net area of flood openings in A8.b <b>160</b> sq in	c) Total net area of flood openings in A9.b <b>0</b> sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<b>SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION</b>					
B1. NFIP Community Name & Community Number <b>THE CITY OF HOLLYWOOD 125113</b>			B2. County Name <b>BROWARD</b>		B3. State <b>FLORIDA</b>
B4. Map/Panel Number <b>12011C - 0569</b>	B5. Suffix <b>H</b>	B6. FIRM Index Date <b>8/18/2014</b>	B7. FIRM Panel Effective/ Revised Date <b>08/18/14</b>	B8. Flood Zone(s) <b>AE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>5</b>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ / _____ / _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

<b>SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)</b>	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: <b>L-NET GPS NETWORK</b> ; Vertical Datum: <b>NAVD 88</b>	
Indicate elevation datum used for the elevations in items a) through h) below. <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____ Datum used for building elevations must be the same as that used for the BFE.	
Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<b>2 .27</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<b>4 .33</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<b>N/A</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	<b>N/A</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<b>3 .85</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<b>2 .59</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<b>2 .81</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<b>N/A</b> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

<b>SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION</b>			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.			
<input checked="" type="checkbox"/> Check here if comments are provided on back of form.		Were latitude and longitude in Section A provided by a licensed land surveyor? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<input type="checkbox"/> Check here if attachments.			
Certifier's Name <b>RON WALLING</b>		License Number <b>LS6473</b>	
Title <b>PROFESSIONAL SURVEYOR AND MAPPER</b>		Company Name <b>EXACTA LAND SURVEYORS, INC.</b>	
Address <b>11940 FAIRWAY LAKES DRIVE SUITE 1</b>		City <b>FT. MYERS</b>	State <b>FL</b>
Signature <i>Ronald W. Walling</i>		Date <b>11/12/2015</b>	ZIP Code <b>33913</b>
		Telephone <b>P: (866)735-1916</b>	



ELEVATION CERTIFICATE, page 2

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or RO. Route and Box No. 1034 N NORTHLAKE DRIVE			Policy Number:	
City HOLLYWOOD	State FLORIDA	ZIP Code 33019	Company NAIC Number:	

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments NOTE: C2.E = AC UNIT PAD. NOTE: THIS ELEVATION CERTIFICATE IS ONLY VALID FOR THE PERSON OR PERSONS NAMED ON THIS CERTIFICATE. THIS CERTIFICATE IS FOR FLOOD INSURANCE PURPOSES ONLY. THE INFORMATION ON THIS CERTIFICATE SHOULD NOT BE USED FOR CONSTRUCTION OR PLANNING. RESIDENCE APPEARS TO LYE ENTIRELY WITHIN FLOOD ZONE AE ELEV. 5, WHILE OTHER AREAS OF THE PROPERTY ARE IN FLOOD ZONE VE ELEV. 8

Signature *Ronald W. Walling* Date 11/12/2015 CENTERLINE ROAD ELEVATION: 1.77

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawlspace, or enclosure) is N/A feet  meters  above or  below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is N/A feet  meters  above or  below the LAG.

E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is N/A feet  meters  above or  below the HAG.

E3. Attached garage (top of slab) is N/A feet  meters  above or  below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is N/A feet  meters  above or  below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments.

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8-G10. In Puerto Rico only, enter meters.

G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3.  The following information (Items G4-G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ feet  meters Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ feet  meters Datum \_\_\_\_\_

G10. Community's design flood elevation: \_\_\_\_\_ feet  meters Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments.

**ELEVATION CERTIFICATE, page 3**

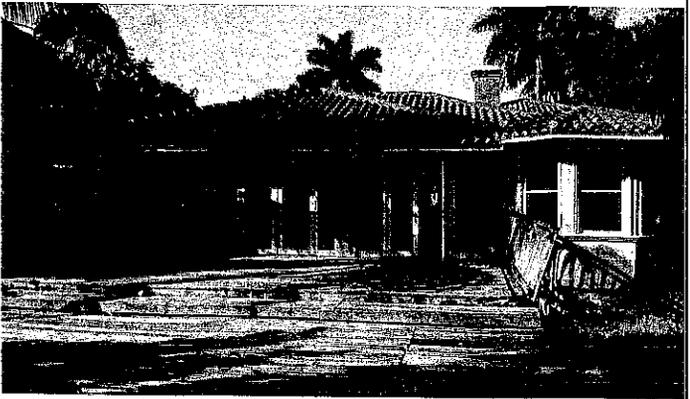
**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

FL1511.1083EC

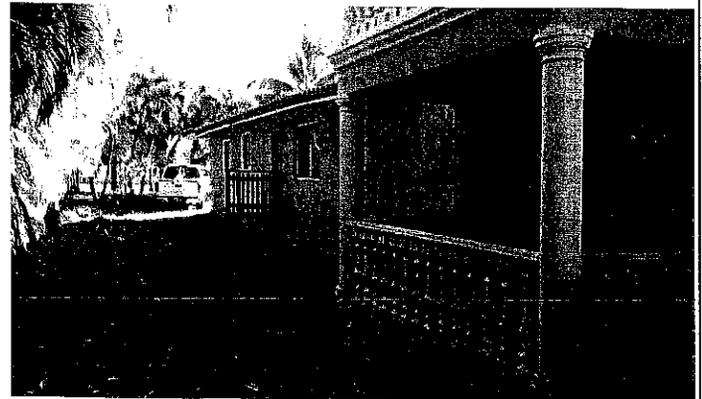
<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1034 N NORTHLAKE DRIVE			Policy Number:
City HOLLYWOOD	State FLORIDA	ZIP Code 33019	Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



FRONT PROPERTY PICTURE 11/11/2015

REAR PROPERTY PICTURE 11/11/2015



RIGHT PROPERTY PICTURE 11/11/2015

LEFT PROPERTY PICTURE 11/11/2015



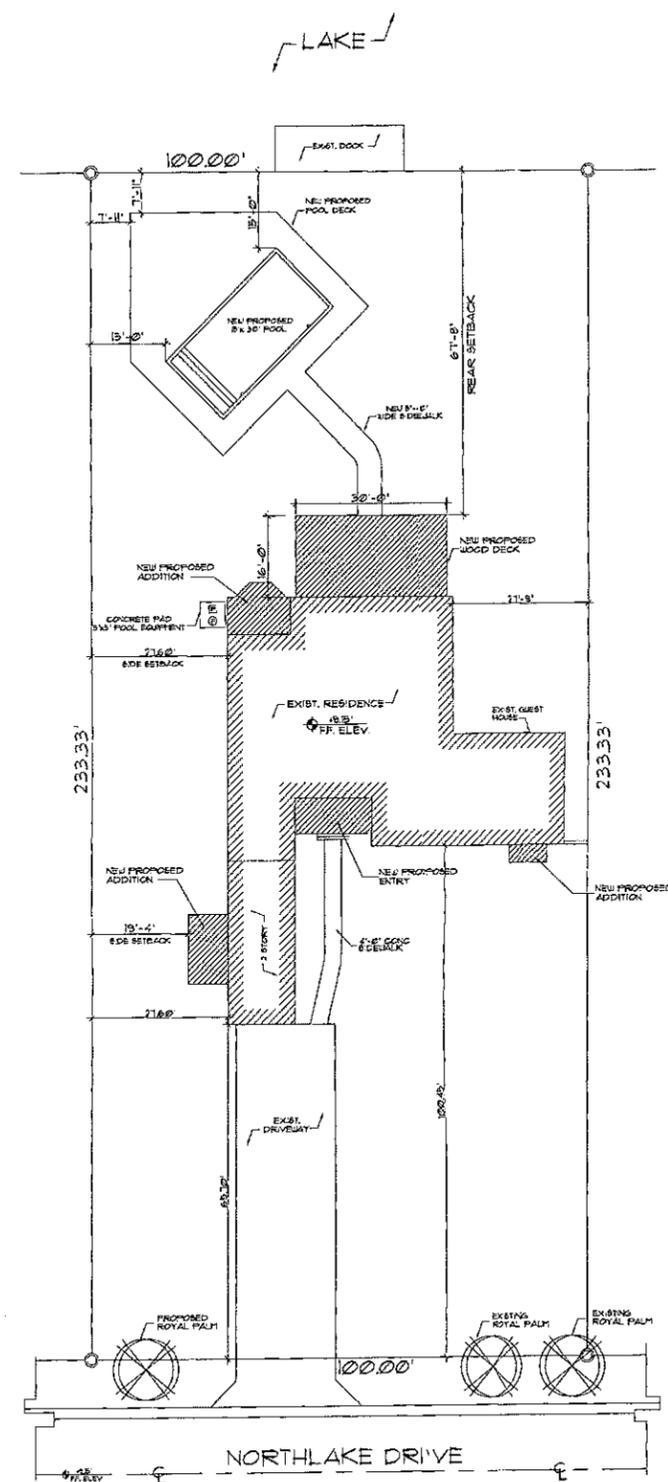
## Permit Search Results

[Search](#) > Folio Number '514214018340'

22 permits were found for  
1034 N NORTHLAKE DR

	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
<a href="#">Details</a>		<b>B16-103477</b>	ADDITION & ALTERATIONS	6/15/2016	
<a href="#">Details</a>		<b>B16-100215</b>	ALTERATIONS-INTERIOR	1/14/2016	
<a href="#">Details</a>	46196	<b>B0800149</b>	STORM SHUTTERS	10/26/2000	<b>5/8/2008</b>
<a href="#">Details</a>	77638	<b>B0405279</b>	RE-ROOF (COMBINATION OF TYPES)	10/26/2000	<b>9/27/2004</b>
<a href="#">Details</a>	27680	<b>E0200232</b>	ELECTRICAL WORK	10/26/2000	<b>1/30/2002</b>
<a href="#">Details</a>	27012	<b>M0200049</b>	MECHANICAL WORK	10/26/2000	<b>1/14/2002</b>
<a href="#">Details</a>	25010	<b>P0101816</b>	PLUMBING WORK	10/26/2000	<b>11/21/2001</b>
<a href="#">Details</a>	7305	<b>B0103809</b>	ADDITION	10/26/2000	<b>6/18/2001</b>
<a href="#">Details</a>	69554	<b>M9801754</b>	MECHANICAL WORK	7/6/1998	<b>10/13/1998</b>
<a href="#">Details</a>	66932	<b>E9802862</b>	OUTLETS, SERVICE, PANELS, ETC	7/6/1998	<b>8/18/1998</b>
<a href="#">Details</a>	66931	<b>P9801454</b>	FIXTURES-PLUMBING	7/6/1998	<b>8/18/1998</b>
<a href="#">Details</a>	64584	<b>B9805636</b>	ALTERATIONS-EXTERIOR & INTERIOR	7/6/1998	<b>8/18/1998</b>
<a href="#">Details</a>		<b>P0100066</b>	PLUMBING WORK		<b>1/10/2001</b>
<a href="#">Details</a>		<b>E0100012</b>	ELECTRICAL WORK		<b>1/3/2001</b>
<a href="#">Details</a>		<b>B0007775</b>	DECK - WITHOUT ROOF		<b>10/26/2000</b>
<a href="#">Details</a>		<b>B0007774</b>	POOL - RESIDENTIAL		<b>10/26/2000</b>
<a href="#">Details</a>		<b>E9804220</b>	ALARM - RESIDENTIAL - CENTRAL - AUDIBLE		<b>12/17/1998</b>
<a href="#">Details</a>		<b>E9803212</b>	TEMP POWER(FOR CONSTRUCTION)		<b>9/22/1998</b>
<a href="#">Details</a>		<b>P16-101347</b>	GAS PIPING		
<a href="#">Details</a>		<b>P16-101344</b>	PLUMBING WORK		
<a href="#">Details</a>		<b>P16-100188</b>	DEMOLITION-PLUMBING		
<a href="#">Details</a>		<b>B16-104535</b>	DRIVEWAY		

10/11/00  
10/11/00



**SITE PLAN**  
SCALE: 1/16" = 1'-0"

**LEGAL DESCRIPTION:**

THE EAST 1/2 OF LOT 6, ALL OF LOT 7, AND THE WEST HALF OF LOT 8 EXCEPT THE NORTH 30 FEET OF SAID LOTS FOR STREET RIGHT OF WAY, IN BLOCK 41 OF 'HOLLYWOOD LAKES SECTION' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS:

BEGINS A PART OF PIERCE STREET AND A PART OF BLOCK 70 OF 'HOLLYWOOD LAKES SECTION' BOUNDED ON THE NORTH BY THE SOUTH LINE OF BLOCK 41 ON THE SOUTH BLOCK BY BLOCK 71 (NORTH LAKE) ON THE EAST BY THE EAST LINE OF THE WEST 1/2 OF LOT 8, BLOCK 41 EXTENDED IN A SOUTHERLY DIRECTION, AND ON THE WEST BY THE WEST LINE OF THE EAST HALF OF LOT 6, BLOCK 41 EXTENDED IN A SOUTHERLY DIRECTION, AS SHOWN ON SAID PLAT OF 'HOLLYWOOD LAKES SECTION' BEING ALL THAT PARCEL OF LAND LYING SOUTH OF THE EAST HALF OF LOT 6, LOT 7 AND THE WEST HALF OF LOT 8, BLOCK 41 OF 'HOLLYWOOD LAKES SECTION' EXTENDING TO BLOCK 71 (NORTH LAKE) IN SAID SUBDIVISION

**SITE DATA**

EXIST ZONING	R-1
LOT AREA	23300 SF (100%)
EXIST RES. AREA	3019 SF
NEW BALCONY	84 SF
NEW ADDITION	139 SF
NEW COVERED ENTRY	126 SF
NEW TOTAL LOT COV.	3,563 SF (14.43%)

**BURGLARY INTRUSION NOTES**

1. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM THE EXTERIOR WITH A MINIMUM OF 6,000 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS.
2. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE THE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOOR THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MIN. THROW BOLTS WITH INSERTS.
3. SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEAD BOLTS OR A BOLT OR PIN NOT REMOVABLE OR OPERABLE FOR EXTERIOR AT THE JAMB, HEAD, SILL, OR MEETING MULLIONS. THE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK ARE TO MAINTAIN BOLT STRENGTH EFFECTIVENESS, IF NECESSARY, AND SUCH DOORS SHALL HAVE NO SCREWS REMOVABLE FROM THE OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM THE OUTSIDE.
4. OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLT OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MIN. 5/8" OTHER THAN LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
5. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
6. JAMBS OF ALL EXTERIOR OFFSET TYPE IN SWING DOORS SHOULD BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
7. SINGLE SWINGING EXTERIOR DOOR IF WOOD, SHALL BE OF SOLID CORE OF NOT LESS THAN 1-1/2" THICK.
8. GLASS AND EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40' OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTES-STANDARD Z91.1.
9. VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40' OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTES-STANDARD Z91.1.
10. SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION STANDARDS FOR FORCED ENTRY RESISTANCE, AAMA 1309.3.
11. VENTS ON OVERHEAD GARAGE TYPE DOORS SHALL NOT BE INSTALLED CLOSER THAN 40' TO THE INSIDE LOCK ACTIVATING DEVICE.
12. SINGLE SWING EXTERIOR AND SWING DOORS CONNECTING LIVING AREAS WITH GARAGE AREA SHALL BE A MIN. 1-3/8" THICK SOLID CORE, AND SHALL BE SECURED WITH A LATCH AND SINGLE DEAD BOLT SET WITH LATCH THRU MIN. OF 1/2" AND BOLTS HAVING A MIN. OF 1" THRU.
13. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANEL.
14. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN METRO CODE/SOUTH FLORIDA BUILDING CODE.
15. EVERY CLOSET DOOR LATH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE OF THE CLOSET.
16. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY, CLOSET/BATH PER NFPA 701, 94/ 71-2.4.3, 2-4.4

**INDEX OF DRAWINGS**

- A-1- SITE & INFORMATION
- A-2- FLOOR PLAN
- A-3- ELEVATIONS
- A-4- ELEVATIONS
- A-5- ARCHITECTURAL SECTIONS
- A-6- STAIR DETAILS
- S-1- FOUNDATION
- S-2- FRAMING PLANS
- S-3- SECTION DETAILS
- S-4- WOOD DECK DETAIL
- S-5- DETAIL & NOTES
- S-6- STRAP DETAILS
- E-1- ELECTRICAL FLOOR PLAN
- E-2- SCHEDULES & NOTES
- P-1- PLUMBING PLAN & NOTES
- A/C-1- FLOOR PLAN
- A/C-2- SCHEDULES & NOTES

PROPOSED ADDITION FOR:  
**ROY RODRIGUEZ**  
ADDRESS: 1017 N. LAKE DR.  
HOLLYWOOD, FLORIDA  
TEL. # (954) 927-5075

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ARCHITECT  
**FULTON J. SALAZAR**

ENGINEER  
**[Signature]**

**salazar & associates**  
ARCHITECTS - PLANNERS  
AR # 00015117

357 Hialeah Drive, Hialeah, FL 33010 (305) 889-5682

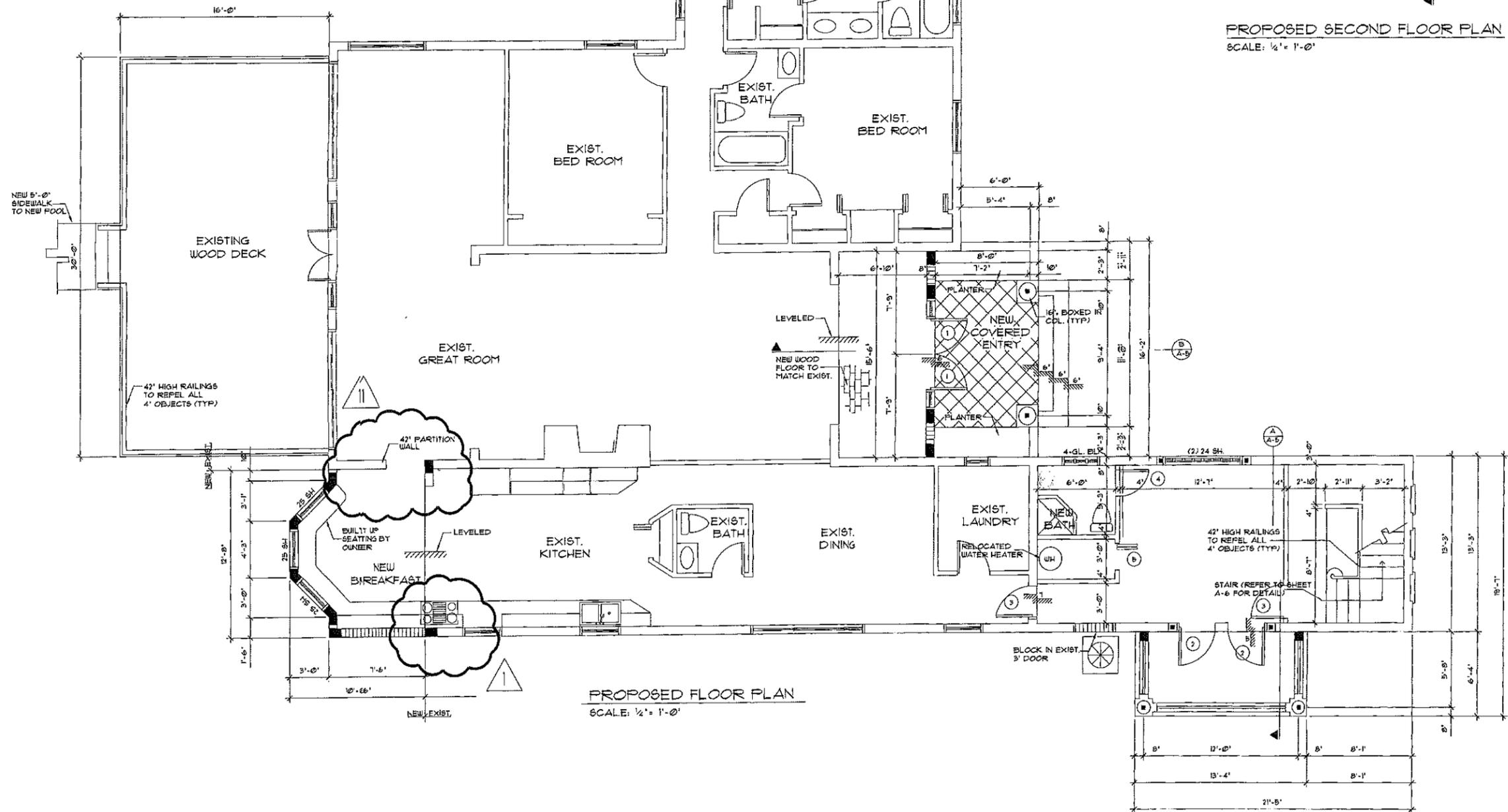
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JOB NO. RA-00-118

A-1 | 17

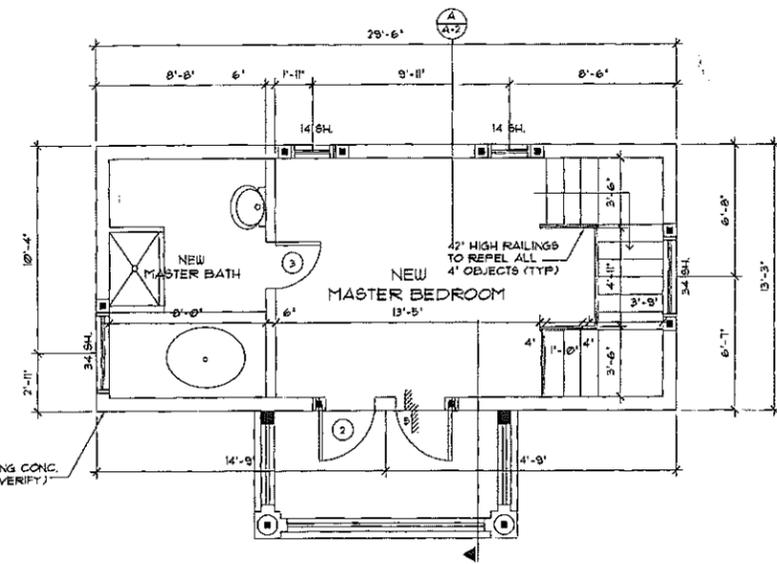
APPROVED  
10-00-01  
07/17/00

WINDOW SCHEDULE				
MARK	SIZE	TYPE	FRAME	REMARKS
1/2 32	26' X 26.50'	6H.	ALUM.	-----
74	50.30' X 31'	6H.	ALUM.	-----
25	63' X 31'	6H.	ALUM.	-----
34	50.30' X 53.00'	6H.	ALUM.	-----

DOOR SCHEDULE		
MARK	SIZE	TYPE
①	3'-0" X 6'-8"	SOLID CORE SWING DOOR
②	3'-0" X 6'-8"	METAL FRAME W/ GLASS PANEL
③	7'-6" X 6'-8"	HOLLOW CORE SWING DOOR
④	7'-0" X 6'-8"	HOLLOW CORE SWING DOOR
⑤	7'-0" X 6'-8"	BI-FOLD LOUVERED DOOR



PROPOSED FLOOR PLAN  
SCALE: 1/2" = 1'-0"



PROPOSED SECOND FLOOR PLAN  
SCALE: 1/2" = 1'-0"

PROPOSED ADDITION FOR:  
ROY RODRIGUEZ  
ADDRESS: 1011 N. LAKE DR.  
HOLLYWOOD, FLORIDA  
TEL. # (954) 921-5075

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ARCHITECT  
FULTON J. SALAZAR

ENGINEER

11/12/04

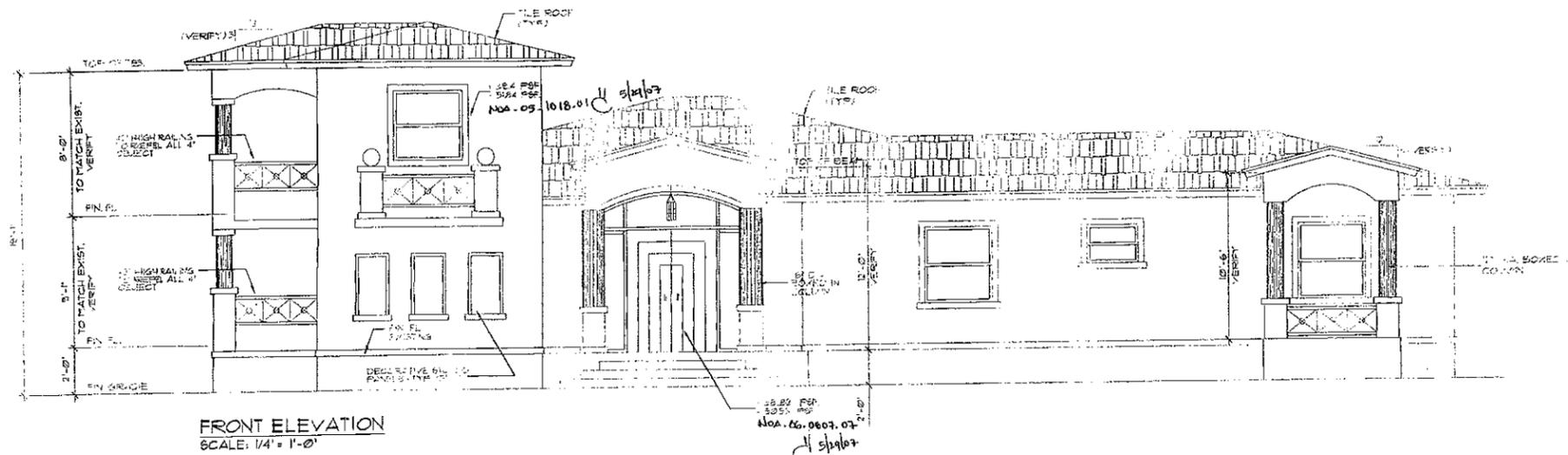
salazar & associates  
ARCHITECTS - PLANNERS  
AR # 00015111  
357 Hialeah Drive, Hialeah, FL 33010 (305) 888-5682

DATE: 11/12/04

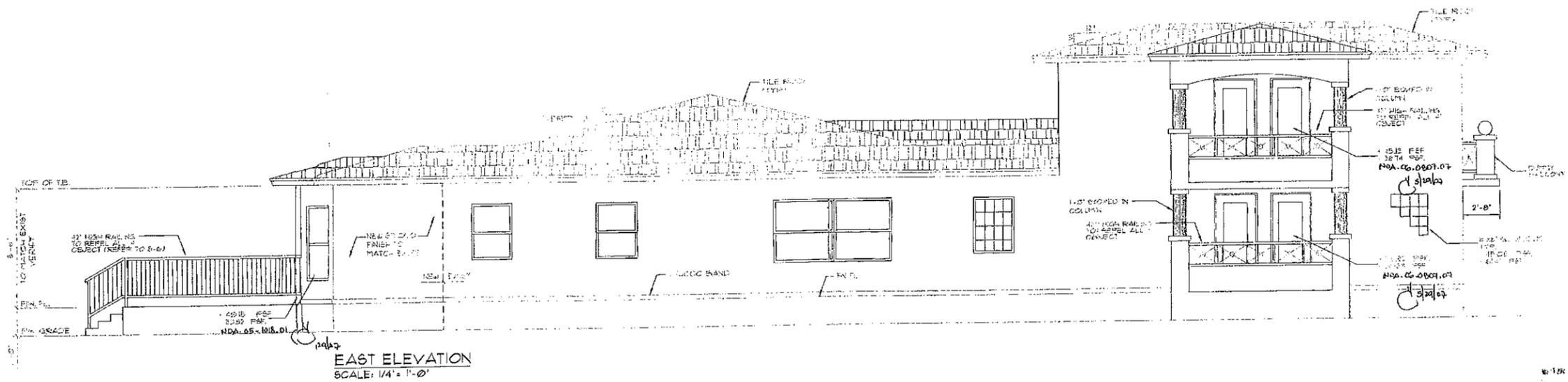
BY: FJS

A-2 17

REVISION 11/12-04



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



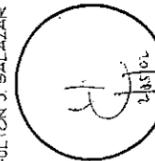
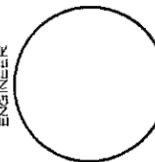
EAST ELEVATION  
SCALE: 1/4" = 1'-0"

PROPOSED ADDITION FOR:  
ROY RODRIGUEZ  
ADDRESS: 1011 N. LAKE DR.  
HOLLYWOOD, FLORIDA  
TEL. # (954) 927-5075

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ENGINEER

ARCHITECT  
FULTON J. SALAZAR



salazar & associates  
ARCHITECTS - PLANNERS  
AR # 0001511

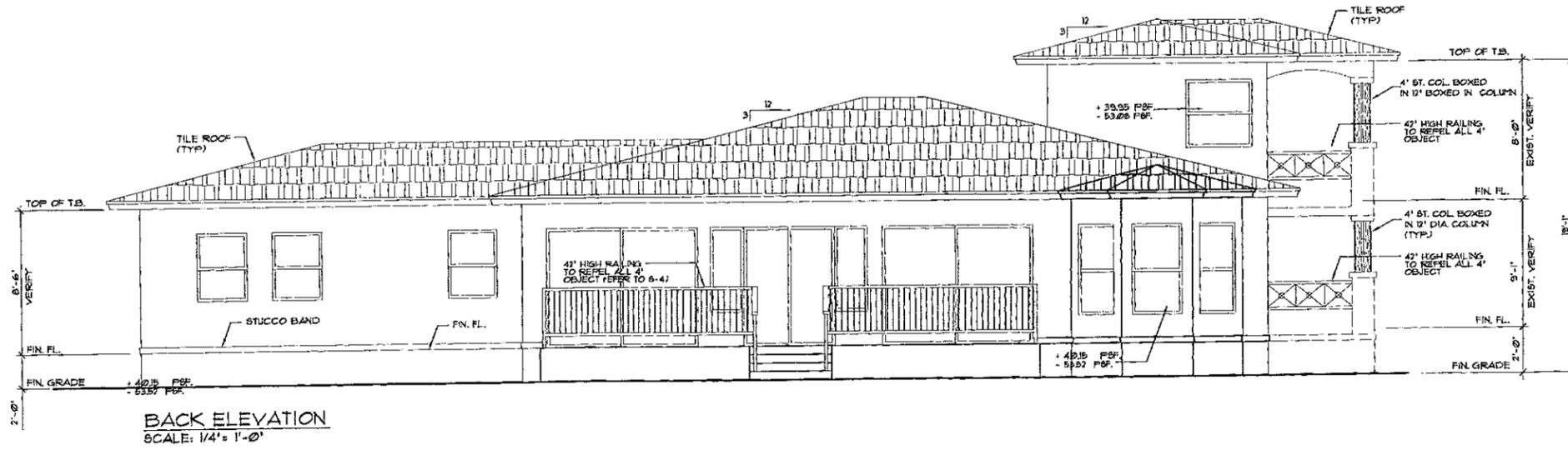
357 Hialeah Drive, Hialeah, FL. 33010 (305) 888-5682



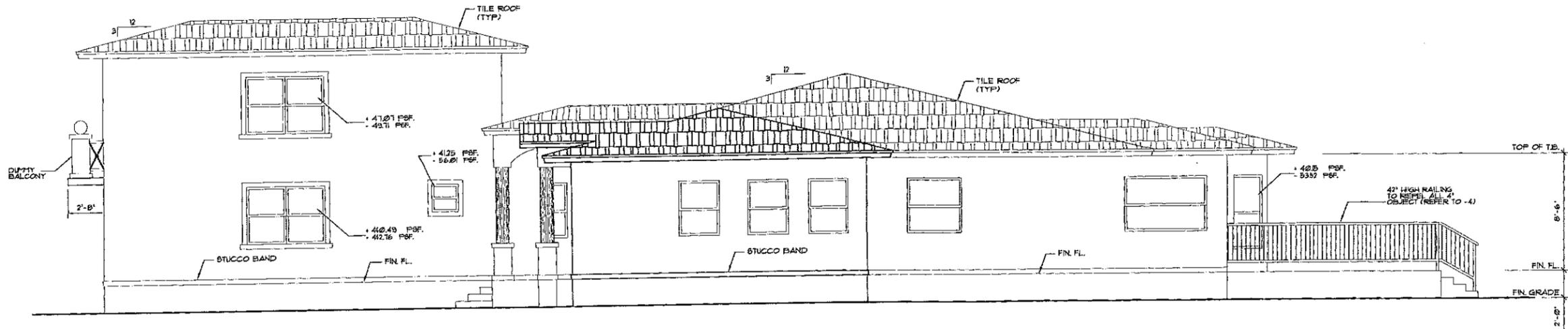
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JOB NO. RA-02-112

A-3 17



BACK ELEVATION  
SCALE: 1/4" = 1'-0"



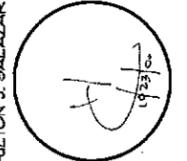
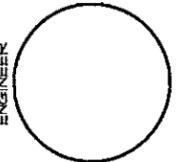
WEST ELEVATION  
SCALE: 1/4" = 1'-0"

PROPOSED ADDITION FOR:  
ROY RODRIGUEZ  
ADDRESS: 1017 N. LAKE DR.  
HOLLYWOOD, FLORIDA  
TEL. # (954) 927-5015

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ENGINEER

ARCHITECT  
FULTON J. GALAZAR



salazar & associates  
ARCHITECTS - PLANNERS  
AIR # 0001511

351 Hibiscus Drive, Hollywood, FL 33020 (305) 888-5682



DATE 03/10/00

JOB NO. RA-00-118

A-4 17

APPROVED  
05-00-00  
11/00

PROPOSED RESIDENCE REMODELING FOR:

# DIAMONDBACK INVESTMENTS.

1034 N NORTHLAKE DRIVE  
HOLLYWOOD, FLORIDA 33019

## DRAWING INDEX

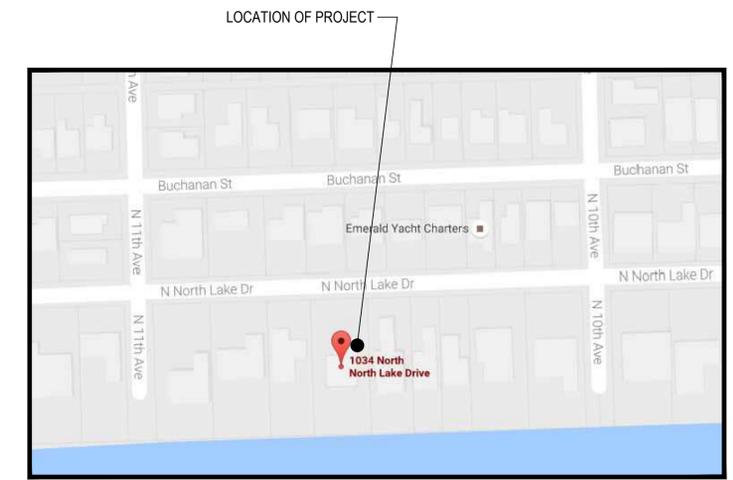
### ARCHITECTURAL

- A-0 DRAWING INDEX
- LA-1 LANDSCAPING PLAN
- SP-1 SITE PLAN
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 BUILDING ELEVATIONS
- A-4 BUILDING ELEVATIONS
- A-5 CARPORT FLOOR PLAN
- A-6 BUILDING RENDERS
- A-7 BUILDING RENDERS
- D-1 DEMOLITION FLOOR PLAN
- D-2 EXISTING ELEVATION

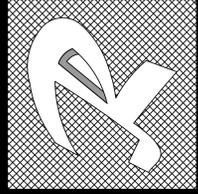
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**PROJECT ARCHITECT**  
**JOSE RAMOS**  
 FLA. REG. AR11115  
 AAC-1595

PROPOSED RESIDENCE REMODELING FOR:  
**DIAMONDBACK INVESTMENTS LLC**  
 HOLLYWOOD, FLORIDA, 33019  
**Ramos Architects & Associates** ■ architects and planners ■ (305) 445-6140  
 780 TAMMIAM CANAL RD. MIAMI, FL 33144



LOCATION PLAN  
N.T.S.



date	06/06/16

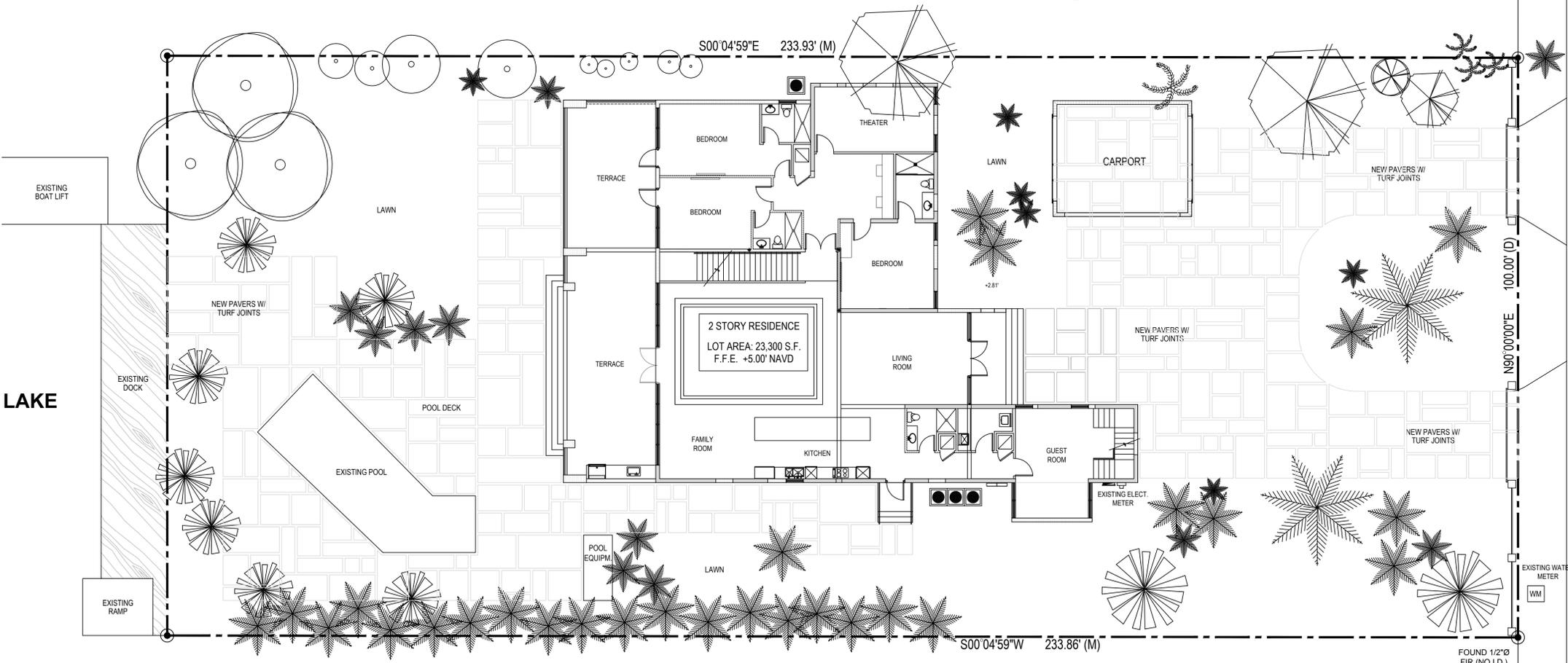
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15164

sheet  
**A-0**  
of



LANDSCAPING PLAN

SCALE: 3/32" = 1'-0"



LANDSCAPING PLAN

SCALE: 3/32" = 1'-0"

LANDSCAPING LEGEND

- PALM
- ARECA PALM
- COCONUT
- OAK
- CYPRESS
- FRUIT
- FICUS

N NORTHLAKE DRIVE  
45' PUBLIC RIGHT-OF-WAY

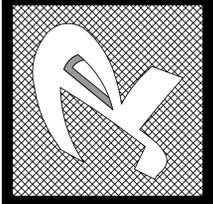
N NORTHLAKE DRIVE  
45' PUBLIC RIGHT-OF-WAY

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PROJECT ARCHITECT  
JOSE RAMOS  
FLA. REG. AR11115  
AAC1595

PROPOSED RESIDENCE REMODELING FOR:  
DIAMONDBACK INVESTMENTS LLC  
1034 N NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA, 33019

Ramos Architects & Associates ■ architects and planners  
780 TAMiami CANAL RD ■ MIAMI, FL 33144 ■ (305) 445-6140



date 06/06/16

project number 15164

sheet LA-1 of

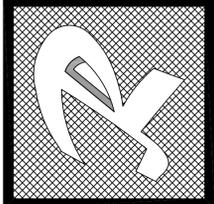
SCOPE OF WORK	ZONING INFORMATION	ZONING DATA	GENERAL NOTES																				
REMODEL THE INTERIOR OF AN EXISTING TWO STORY RESIDENCE. ADDITION OF NEW SECOND FLOOR AND REPLACE ENTIRE RESIDENCE'S ROOF.	ZONING LEGEND: RS-9 (RESIDENTIAL SINGLE FAMILY) EXISTING USE / CONDITION: SINGLE FAMILY HOME	LOT SIZE: 100.0' x 233.86' LOT AREA: 23,393 SF	<p>4. CHEMICALS UNDER SLAB SHALL BE APPLIED AFTER FILL IS TAMPED AND ROUGH PLUMBING INSTALLED. CHEMICALS SHALL BE APPLIED NOT MORE THAN 24 HRS. - UNDER SEPARATE PERMIT.</p> <p>5. PROVIDE IN IRRIGATION SYSTEM TO BE OPERATED WITH A TIMER AND TO COVER ALL LANDSCAPED AREAS, OR HOSE BIBBS AT TO HAVE ALL TREES AND SHRUBS WITHIN 75 FT OF HOSE BIBBS.</p> <p>6. THE HEIGHT OF FENCES, WALL AND HEDGES SHALL NOT EXCEED 30" IN HEIGHT WITHIN 00'.00 OF THE EDGE OF DRIVEWAYS.</p> <p>7. DIG ALL EXCAVATIONS FOR CONTINUOUS WALL FOUNDATIONS WITH SQUARE CORNERS, LEVEL BOTTOMS AND DIMENSIONS SHOWN ON PLANS. FORMS MAY BE REQUIRED WHEN EXCAVATIONS ARE NOT CLEAN-CUT AND STABLE. REMOVE ROOTS PROTRUDING INTO THE AREA TO BE POURED.</p> <p>8. ANY WORK, USE OF EQUIPMENT, AND/OR IMPROVEMENTS WITHIN THE RIGHT-OF-WAY, INCLUDING LANDSCAPING AND IRRIGATION, REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.</p> <p>9. LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE PRELIMINARY APPROVALS FROM THE PLANNING DEPARTMENT AND THE PARKS AND RECREATION DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.</p> <p>10. REMOVED AND REPLACE SIDEWALK (IF PRESENT) AND SWALES WITHIN THE PUBLIC RIGHT-OF-WAY AND BASEMENTS ADJACENT OF PROPERTY LINES.</p> <p>11. MILL AND RESURFACE THE DRIVING LANE ALONG THE PROPERTY OR ENTIRE ALLEY ADJACENT TO THE PROPERTY AN AVERAGE OF 2 INCHES (USING TYPE S-III ASP</p>																				
<b>UNDER SEPARATE PERMIT</b>	<b>SETBACKS</b>	<p><b>AREAS:</b></p> <p>FIRST FLOOR: EXISTING AC AREA: ..... 3,203 S.F. NEW A/C AREA: ..... 740 S.F. TERRACE: ..... 1,055 S.F. COVERED ENTRY: ..... 149 S.F. TOTAL AREA FIRST FLOOR: ..... 5,147 S.F.</p> <p>SECOND FLOOR: EXISTING AREA: ..... 332 S.F. NEW A/C AREA: ..... 1,210 S.F. NEW BALCONY: ..... 647 S.F. TOTAL AREA SECOND FLOOR: ..... 2,189 S.F.</p> <p>TOTAL AREAS (RESIDENCE) ..... 7,336 S.F.</p> <p>POOL DECK (PAVERS) ..... 3,716 S.F. EXISTING POOL ..... 515 S.F. DRIVEWAY &amp; WALKWAYS (PAVERS) ..... 2,395 S.F. CARPORT ..... 480 S.F.</p>																					
A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL (WHEN APPLICABLE) IS REQUIRED FOR THE FOLLOWING:	<table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>NORTH (FRONT) SETBACK</td> <td>25'-0"</td> <td>65'-10"</td> </tr> <tr> <td>SOUTH (REAR) SETBACK</td> <td>25'-0"</td> <td>68'-7"</td> </tr> <tr> <td>SIDE SETBACKS</td> <td colspan="2">THE SUM OF THE SIDE YARD SETBACKS SHALL BE AT LEAST 25% OF THE LOT WIDTH: LOT WIDTH: 100.00 FT. x 25% = 25'-0" NO SIDE YARD LESS THAN 7.5 FT.</td> </tr> <tr> <td>EAST SIDE SETBACK</td> <td>7'-6" (MIN.)</td> <td>19'-10"</td> </tr> <tr> <td>WEST SIDE SETBACK</td> <td>7'-6" (MIN.)</td> <td>4'-6" (EXIST.) 7'-6" (PROPOSED)</td> </tr> <tr> <td></td> <td>25'-0"</td> <td>24'-4" (EXIST.) 27'-4" (PROP.)</td> </tr> </tbody> </table>			REQUIRED	EXISTING	NORTH (FRONT) SETBACK	25'-0"	65'-10"	SOUTH (REAR) SETBACK	25'-0"	68'-7"	SIDE SETBACKS	THE SUM OF THE SIDE YARD SETBACKS SHALL BE AT LEAST 25% OF THE LOT WIDTH: LOT WIDTH: 100.00 FT. x 25% = 25'-0" NO SIDE YARD LESS THAN 7.5 FT.		EAST SIDE SETBACK	7'-6" (MIN.)	19'-10"	WEST SIDE SETBACK	7'-6" (MIN.)	4'-6" (EXIST.) 7'-6" (PROPOSED)		25'-0"	24'-4" (EXIST.) 27'-4" (PROP.)
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	25'-0"	24'-4" (EXIST.) 27'-4" (PROP.)																					
<b>LEGAL DESCRIPTION</b>	<b>TERMITE PROTECTION NOTE</b>	<b>CONSTRUCTION REQUIREMENTS</b>																					
THE EAST 1/2 OF LOT 6, ALL OF LOT 7, AND THE WEST HALF OF LOT 8 EXCEPT THE NORTH 30 FEET OF SAID LOTS FOR STREET RIGHT OF WAY, IN BLOCK 47 OF "HOLLYWOOD LAKES SECTION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS:	<p><b>BUILDING HEIGHT</b> EXISTING BUILDING HEIGHT: 20'-0" A.F.F. NEW BUILDING HEIGHT: 24'-0" A.F.F.</p> <p>"BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY "FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES". A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT.</p>	<p>LOT COVERAGE ..... 5,627 S.F. (24.05%) IMPERVIOUS AREA ..... 6,277 S.F. (26.83%) PERVIOUS AREA ..... 17,116 S.F. (73.17%) (INCLUDING PAVERS DRIVEWAY)</p> <p>CONSTRUCTION TYPE: V-B OCCUPANCY: R-3 APPLICABLE CODES: FBC 2014 FLORIDA FIRE PREVENTION CODE 2015</p>																					
BEING A PART OF PIERCE STREET ANS A PART OF BLOCK 70 OF "HOLLYWOOD LAKES SECTION" BOUNDED TO THE NORTH BY THE SOUTH LINE OF BLOCK 47 ON THE SOUTH BLOCK BY BLOCK 71 (NORTH LAKE) ON THE AST SIDE BY THE EAST LINE OF THE WEST 1/2 OF LOT 8, BLOCK 47 EXTENDED IN A SOUTHERLY DIRECTION, AND ON THE WEST BY THE WEST LINE OF THE EAST HALF OF LOT 6 BLOCK 47 EXTENDED IN A SOUTHERLY DIRECTION AS SHOWN ON SAID PLAT OF "HOLLYWOOD LAKES SECTION" BEING ALL THAT PARCEL OF LAND LYING SOUTH OF THE EAST HALF OF LOT 6, LOT 7 AND THE WEST HALF OF LOT 8, BLOCK 47 OF "HOLLYWOOD LAKES SECTION" EXTENDING TO BLOCK 7 (NORTH LAKE) IN SAID SUBDIVISION.																							

PROPERTY ADDRESS:  
1034 N. NORTHLAKE DR., HOLLYWOOD  
FL. 33019

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PROJECT ARCHITECT  
JOSE RAMOS  
FLA. REG. AR11115  
AAC1595

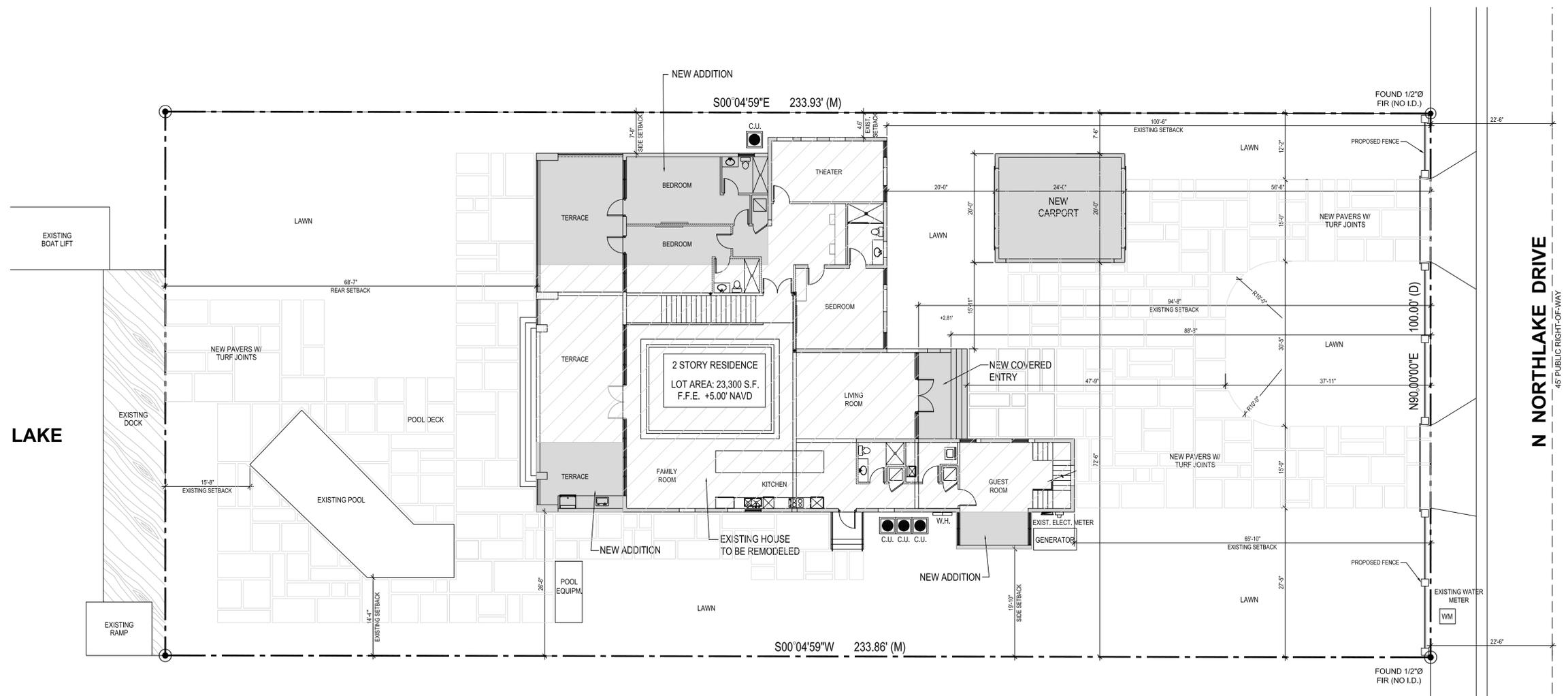
PROPOSED RESIDENCE REMODELING FOR:  
DIAMONDBACK INVESTMENTS LLC  
1034 N NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA, 33019  
Ramos Architects & Associates ■ architects and planners  
780 TAMIAH CANAL RD MIAMI, FL 33144



date 06/06/16

project number 15164

sheet SP-1 of



GENERAL SITE PLAN

SCALE: 3/32" = 1'-0"

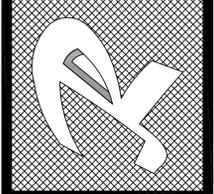


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**JOSE RAMOS**  
 FLA. REG. ART1115  
 AAC1595

PROPOSED RESIDENCE REMODELING FOR:  
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 1034 N NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA, 33019

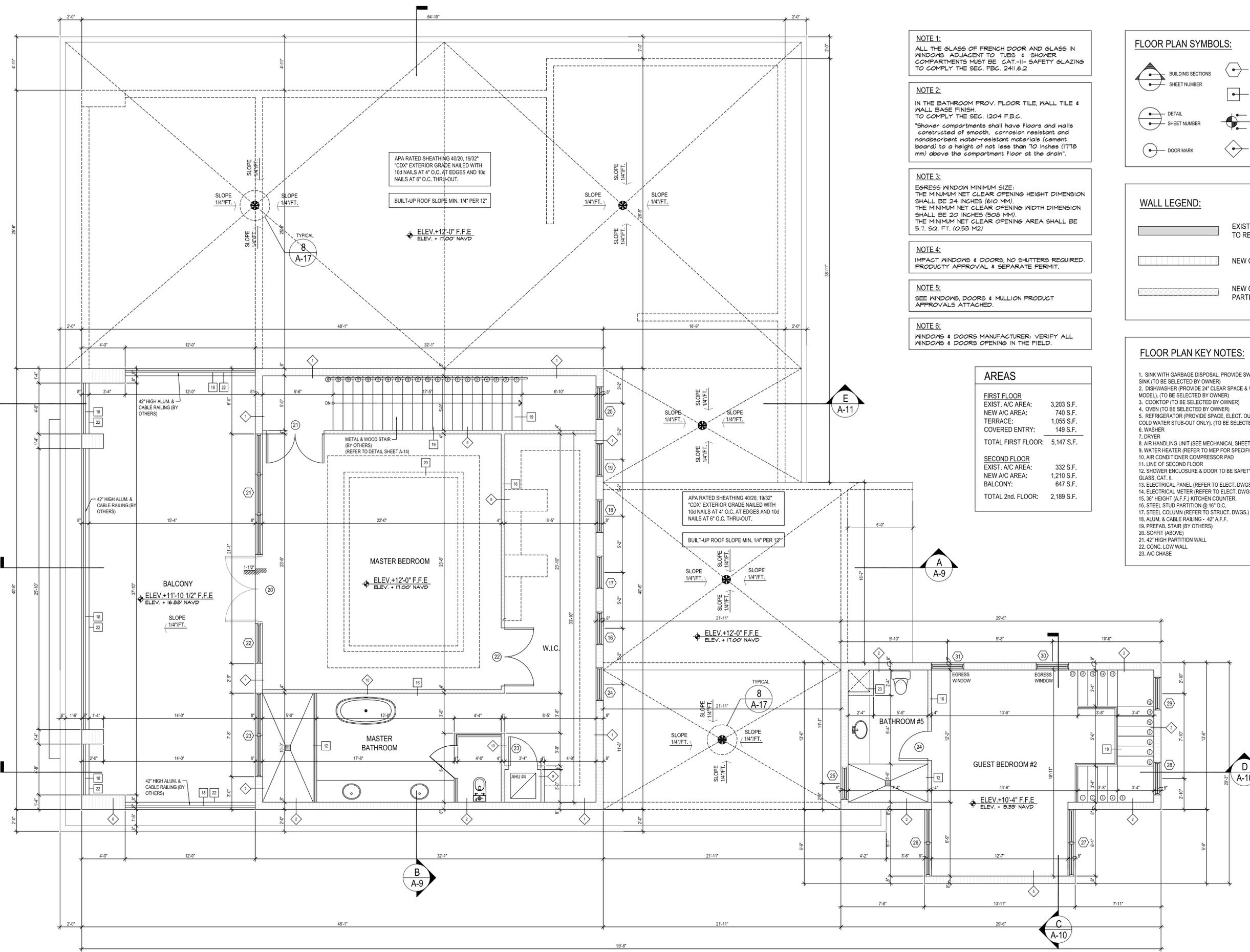
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 780 TAMiami CANAL RD ■ MIAMI, FL 33144 ■ (305) 445-6140



date 06/06/16

project number 15164

sheet A-2 of



**NOTE 1:**  
 ALL THE GLASS OF FRENCH DOOR AND GLASS IN WINDOWS ADJACENT TO TUBS & SHOWER COMPARTMENTS MUST BE CAT.-II- SAFETY GLAZING TO COMPLY THE SEC. BEC. 2411.6.2

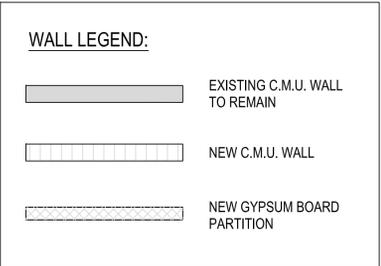
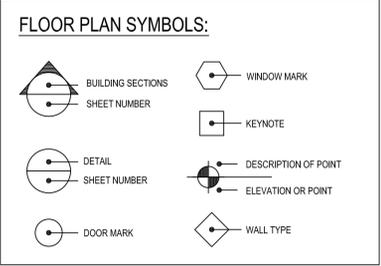
**NOTE 2:**  
 IN THE BATHROOM PROV. FLOOR TILE, WALL TILE & WALL BASE FINISH TO COMPLY THE SEC. 1204 F.B.C.  
 "Shower compartments shall have floors and walls constructed of smooth, corrosion resistant and nonabsorbent water-resistant materials (cement board) to a height of not less than 70 inches (1778 mm) above the compartment floor at the drain".

**NOTE 3:**  
 EGRESS WINDOW MINIMUM SIZE: THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE MINIMUM NET CLEAR OPENING AREA SHALL BE 5.7 SQ. FT. (0.53 M2)

**NOTE 4:**  
 IMPACT WINDOWS & DOORS, NO SHUTTERS REQUIRED. PRODUCT APPROVAL & SEPARATE PERMIT.

**NOTE 5:**  
 SEE WINDOWS, DOORS & MULLION PRODUCT APPROVALS ATTACHED.

**NOTE 6:**  
 WINDOWS & DOORS MANUFACTURER: VERIFY ALL WINDOWS & DOORS OPENING IN THE FIELD.



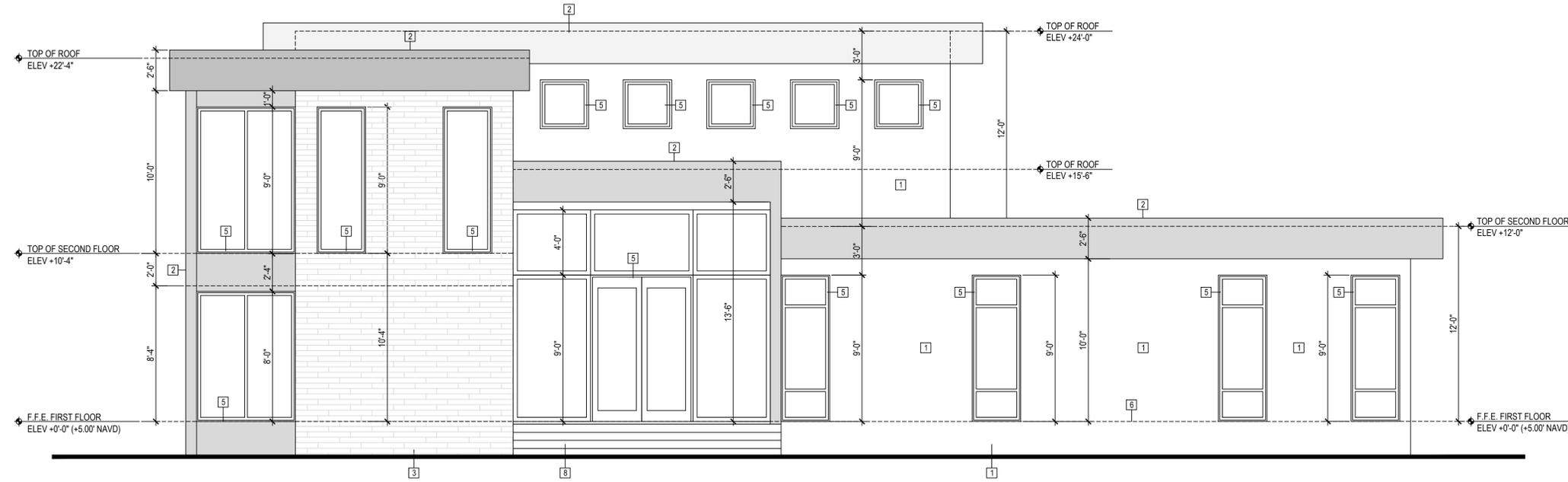
- FLOOR PLAN KEY NOTES:**
- SINK WITH GARBAGE DISPOSAL. PROVIDE SWITCH NEAR SINK (TO BE SELECTED BY OWNER)
  - DISHWASHER (PROVIDE 24" CLEAR SPACE & VERIFY WITH MODEL) (TO BE SELECTED BY OWNER)
  - COOKTOP (TO BE SELECTED BY OWNER)
  - OVEN (TO BE SELECTED BY OWNER)
  - REFRIGERATOR (PROVIDE SPACE, ELECT. OUTLET AND COLD WATER STUB-OUT ONLY), (TO BE SELECTED BY OWNER)
  - WASHER
  - DRYER
  - AIR HANDLING UNIT (SEE MECHANICAL SHEET FOR SIZE)
  - WATER HEATER (REFER TO MEP FOR SPECIFICATIONS)
  - AIR CONDITIONER COMPRESSOR PAD
  - LINE OF SECOND FLOOR
  - SHOWER ENCLOSURE & DOOR TO BE SAFETY TEMPERED GLASS, CAT. II.
  - ELECTRICAL PANEL (REFER TO ELECT. DWGS.)
  - ELECTRICAL METER (REFER TO ELECT. DWGS.)
  - 38" HEIGHT (A.F.F.) KITCHEN COUNTER.
  - STEEL STUD PARTITION @ 18" O.C.
  - STEEL COLUMN (REFER TO STRUCT. DWGS.)
  - ALUM. & CABLE RAILING - 42" A.F.F.
  - PREFAB. STAIR (BY OTHERS)
  - SOFFIT (ABOVE)
  - 42" HIGH PARTITION WALL
  - CONC. LOW WALL
  - A/C CHASE

**AREAS**

<b>FIRST FLOOR</b>	
EXIST. A/C AREA:	3,203 S.F.
NEW A/C AREA:	740 S.F.
TERRACE:	1,055 S.F.
COVERED ENTRY:	149 S.F.
<b>TOTAL FIRST FLOOR:</b>	<b>5,147 S.F.</b>
<b>SECOND FLOOR</b>	
EXIST. A/C AREA:	332 S.F.
NEW A/C AREA:	1,210 S.F.
BALCONY:	647 S.F.
<b>TOTAL 2nd. FLOOR:</b>	<b>2,189 S.F.</b>

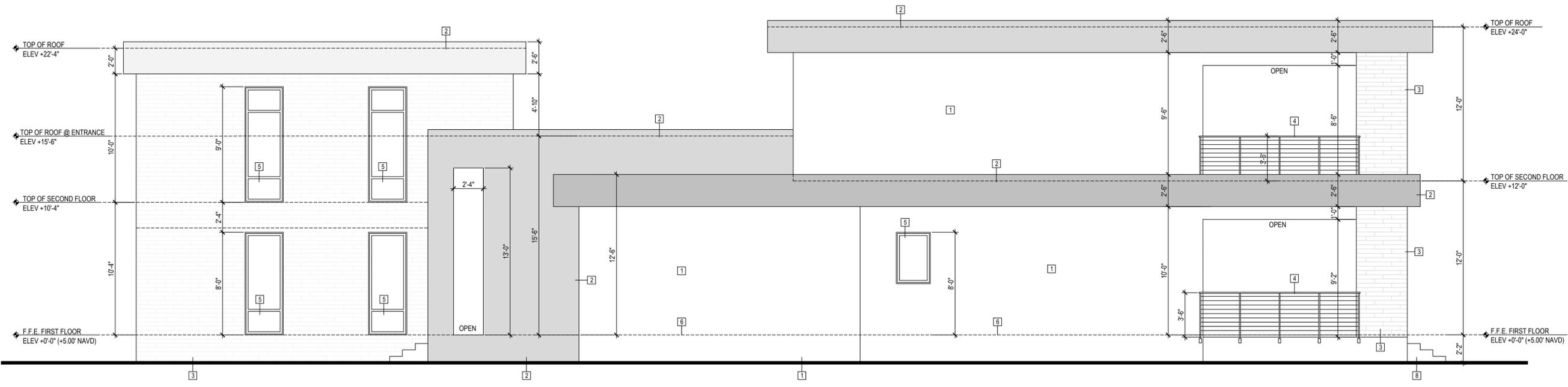
SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

- ELEVATION KEY NOTES:**
- 1. 5/8" SMOOTH TEXTUR STUCCO FINISH (COLOR TO BE SELECTED)
  - 2. STONE VENEER EBONY
  - 3. STONE VENEER ASH GREY
  - 4. ALUMINUM & CABLE RAILING - 42" A.F.F. (BY OTHERS)
  - 5. ALUM. & GLASS DOOR / WINDOW (SEE SCHEDULES & DETAILS SHEET A-16)
  - 6. LINE OF FINISH FLOOR
  - 7. DECORATIVE METAL SLATS
  - 8. CONCRETE STEPS



FRONT (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



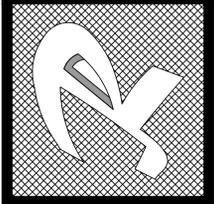
RIGHT SIDE (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT ARCHITECT  
**JOSE RAMOS**  
 FLA. REG. AR11115  
 AAC1595

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**DIAMONDBACK INVESTMENTS LLC**  
 1034 N NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA, 33019  
**Ramos Architects & Associates** ■ architects and planners  
 780 TAMiami CANAL RD MIAMI, FL 33144 ■ (305) 445-6140

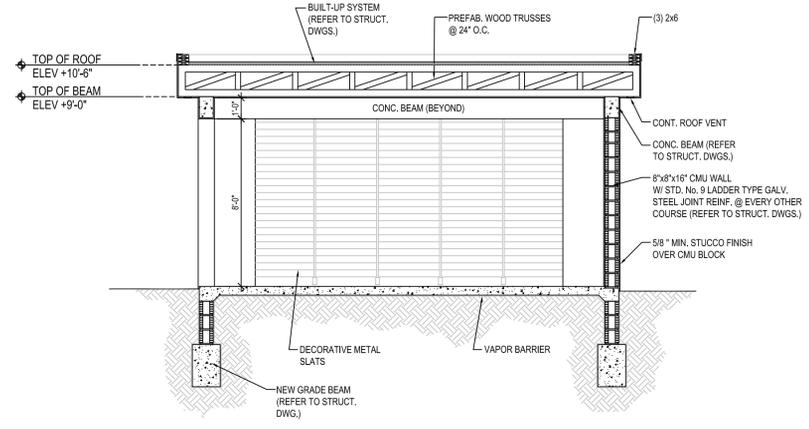


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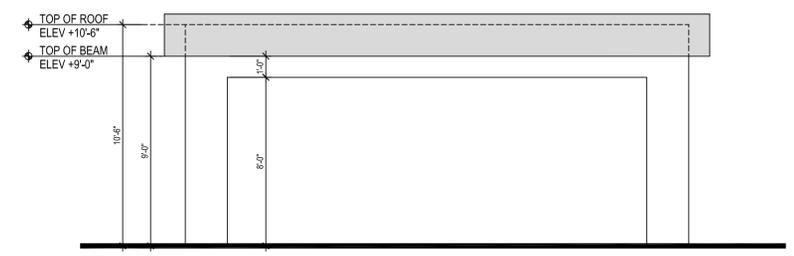
project number  
 15164

sheet  
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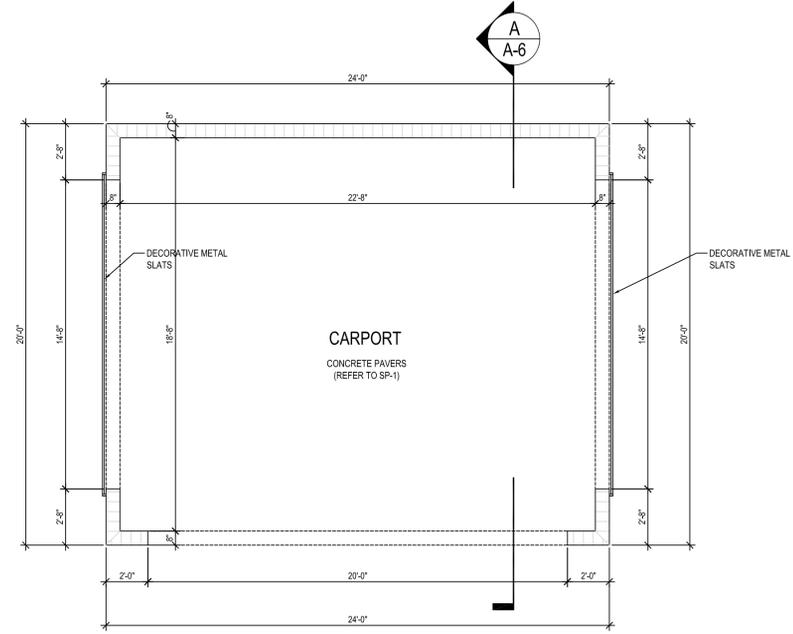




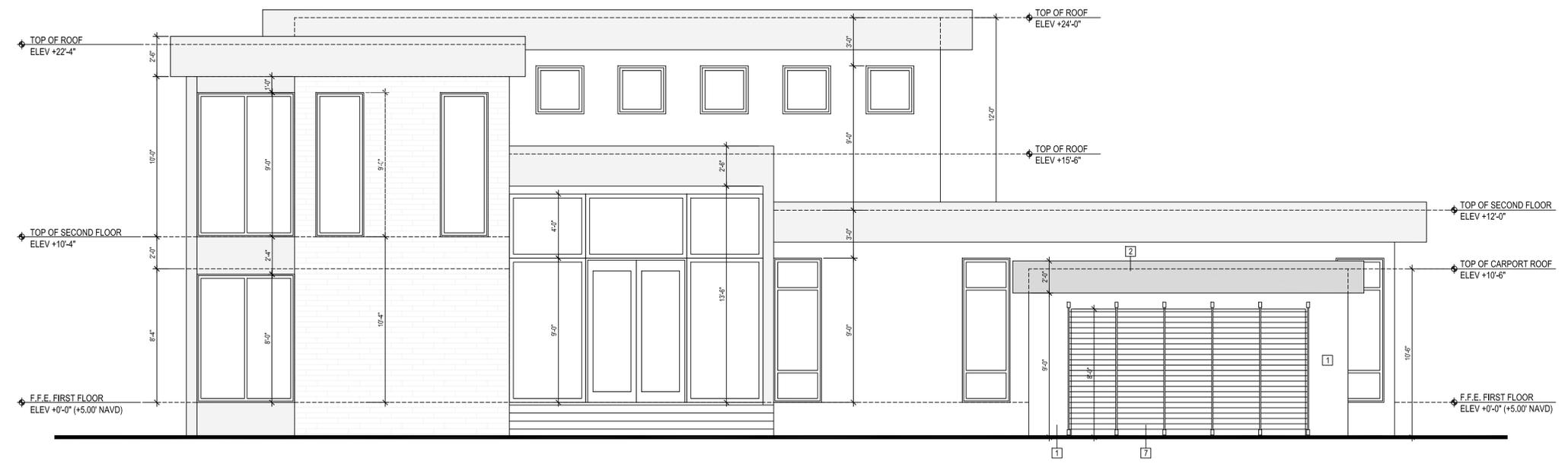
SECTION "A"  
CARPORT SCALE: 1/4" = 1'-0"



EAST ELEVATION  
CARPORT SCALE: 1/4" = 1'-0"



CARPORT FLOOR PLAN SCALE: 1/4" = 1'-0"

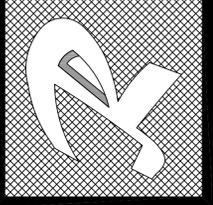


FRONT (NORTH) ELEVATION  
CARPORT SCALE: 1/4" = 1'-0"

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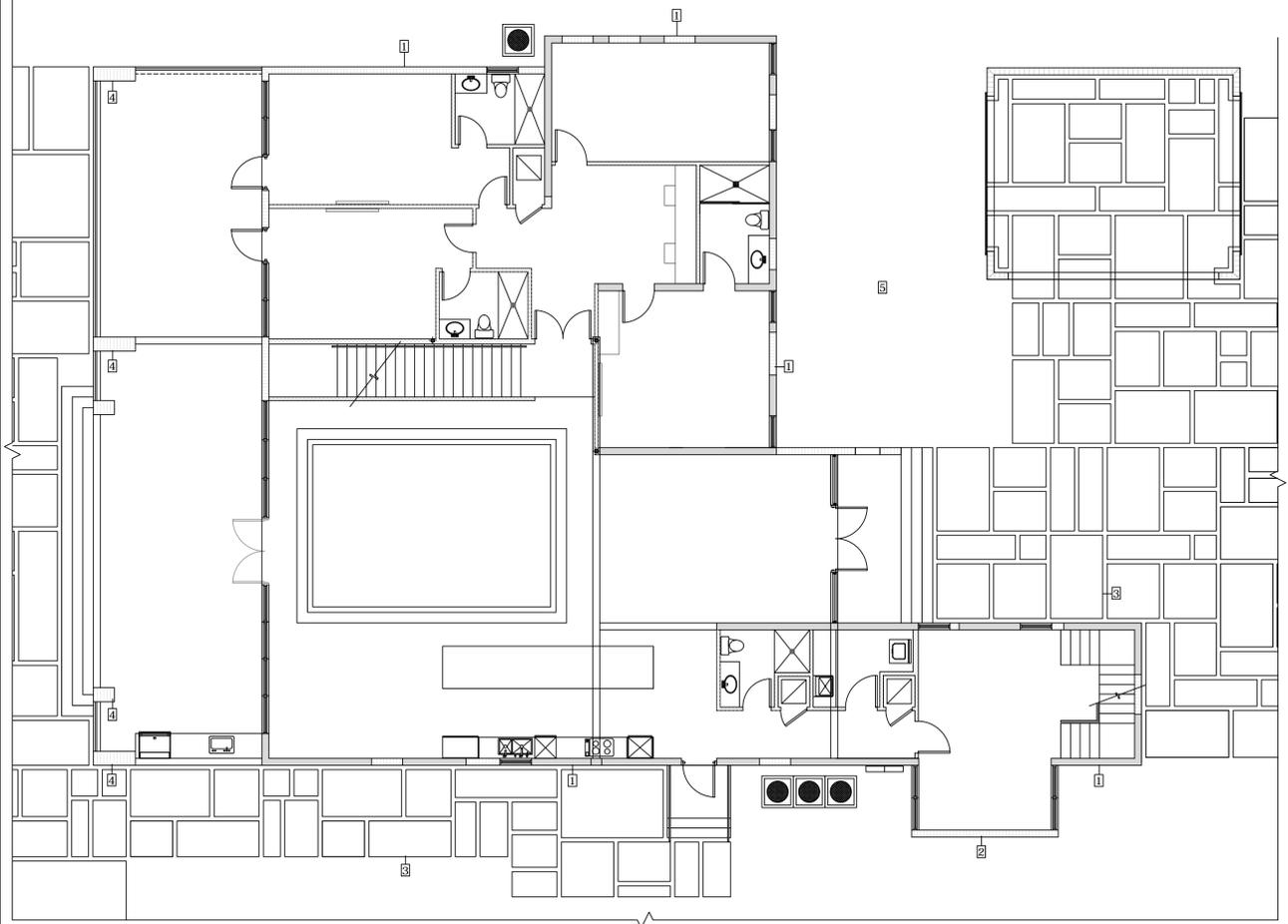
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**Ramos Architects & Associates** ■ architects and planners  
780 TAMMIAM CANAL RD ■ MIAMI, FL 33144 ■ (305) 445-6140



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project number 15164

sheet A-5



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



1 PAINTED STUCCO



2 STONE VENEER EBONY



3 PAVERS W/TURF JOINTS(LARGE)



4 STONE VENEER ASH GREY



5 GRASS



PROPOSED FRONT VIEW (NORTH)



FRONT PERSPECTIVE (NORTH)



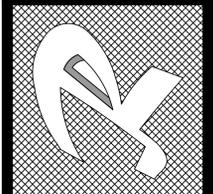
SIDE PERSPECTIVE (NORTH- WEST)

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**JOSE RAMOS**  
 FLA. REG. AR11115  
 AAC1595

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 1034 N. NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA, 33019

**Ramos Architects & Associates** ■ architects and planners ■  
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**A-6** of

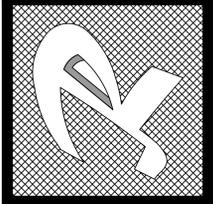
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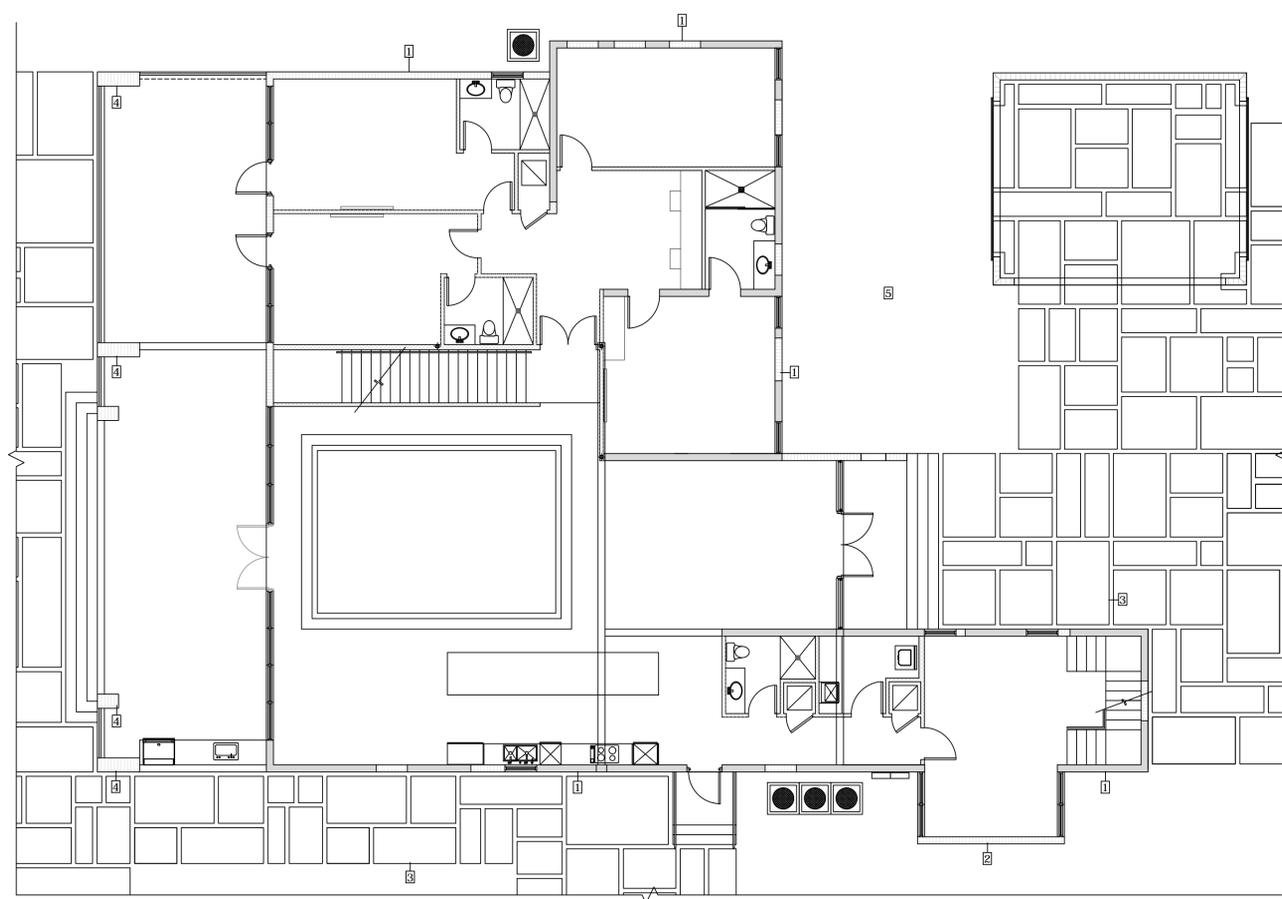
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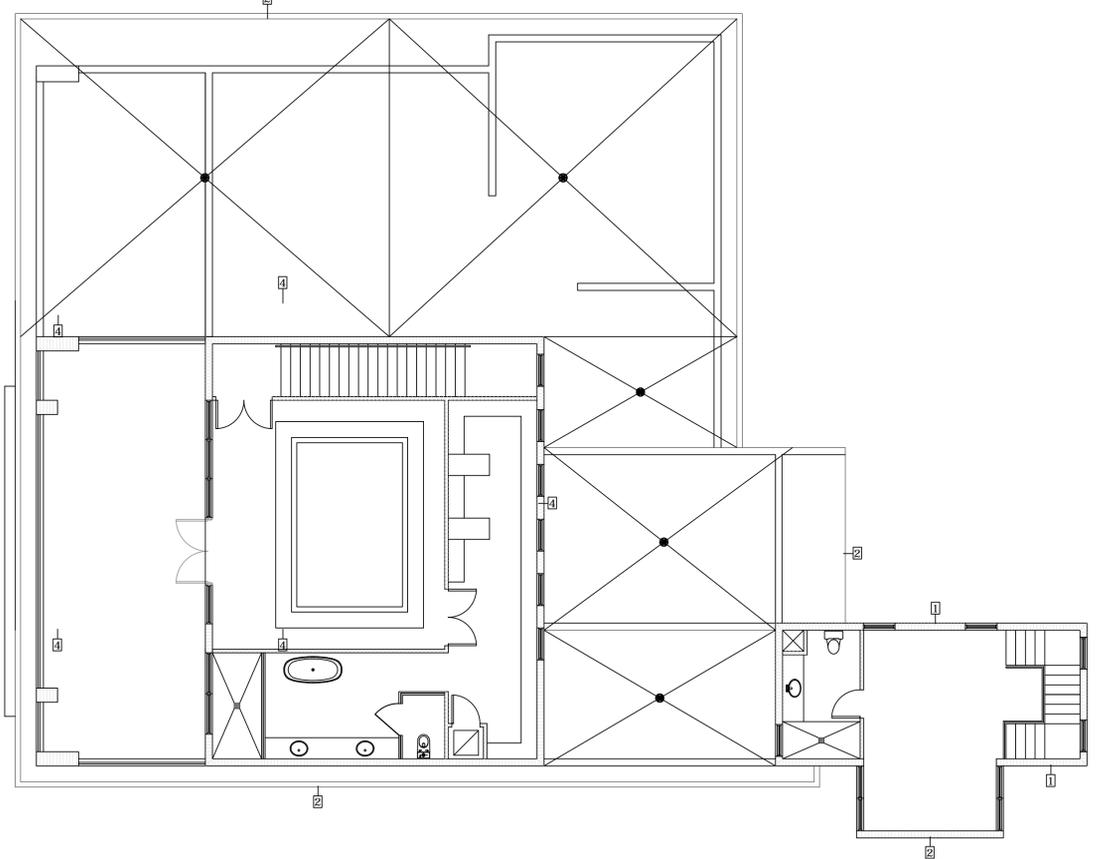
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sheet  
**A-7** of



PROPOSED FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



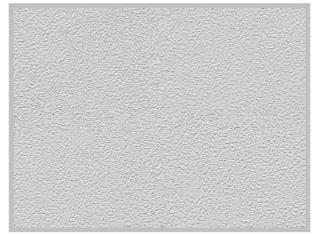
PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



REAR PERSPECTIVE 1 (SOUTH- EAST)



REAR PERSPECTIVE 2 (SOUTH- WEST)



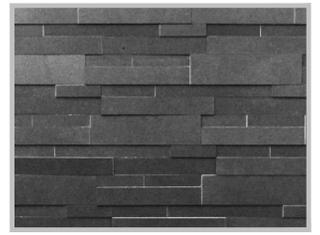
1 PAINTED STUCCO



2 STONE VENEER EBONY



3 PAVERS W/TURF JOINTS(LARGE)



4 STONE VENEER ASH GREY



5 GRASS

**DEMOLITION NOTES:**

- CONTRACTOR SHALL STRIP THE SITE OF ALL DEBRIS, OBJECTIONABLE GROWTH OF MATERIALS, AND PREPARE THE SITE AS MAY BE REQUIRED FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS FOR EXACT EXTENT OF DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONFLICTS THAT MAY BE AVOIDED THEREBY.
- ITEMS TO BE REMOVED IN DEMOLITION AREAS ARE TO BE VERIFIED BY SITE INSPECTION. IT IS THE INTENT TO REMOVE ALL EQUIPMENT, FURNISHING AND FIXTURES AS REQUIRED TO PREPARE THE AREA FOR CONSTRUCTION. IF ANY EQUIPMENT TO BE REMOVED IS NOT SHOWN, IT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF REMOVING SUCH EQUIPMENT.
- CONTRACTOR IS TO USE ADEQUATE MEANS AND METHODS OF DEMOLITION AND REMOVAL FOR THE TYPE OF WORK PERFORMED.
- CONTRACTOR SHALL COORDINATE WITH OWNERS REPRESENTATIVE REGARDING THE TEMPORARY STORAGE OF EQUIPMENT AND MATERIALS DURING CONSTRUCTION.
- PERFORM ALL DEMOLITION NECESSARY FOR NEW WORK TO ACCOMPLISH INTENT AS EXPRESSED IN THE CONTRACT DOCUMENTS AS A WHOLE TO THE ARCHITECT'S SATISFACTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A TRASH/DEBRIS REMOVAL SERVICE FOR REMOVAL OF ALL DEBRIS FOR ALL TRADES AND ALL WORK RELATING TO THE PROJECT.

**DEMOLITION SCOPE OF WORK:**

- DEMO ALL EXTERIOR WALL INDICATED ON DEMOLITION PLANS
- DEMO ALL INTERIOR WALLS, DOORS AND DOOR FRAMES AS INDICATED ON PLANS.
- REMOVE ALL WINDOWS.
- REMOVE ALL KITCHEN CABINETS AND APPLIANCES
- REMOVE ALL BATHROOM CABINETS AND PLUMBING FIXTURES
- REMOVE EXISTING ROOF

**ELECTRICAL**

- ALL RECEPTACLES AND SWITCHES LOCATED IN WALLS TO BE DEMOLISHED WILL BE REMOVED. ALL EXISTING WIRING TO BE REMOVED BACK TO SOURCE.
- REMOVE ALL LIGHTING FIXTURES

**PLUMBING**

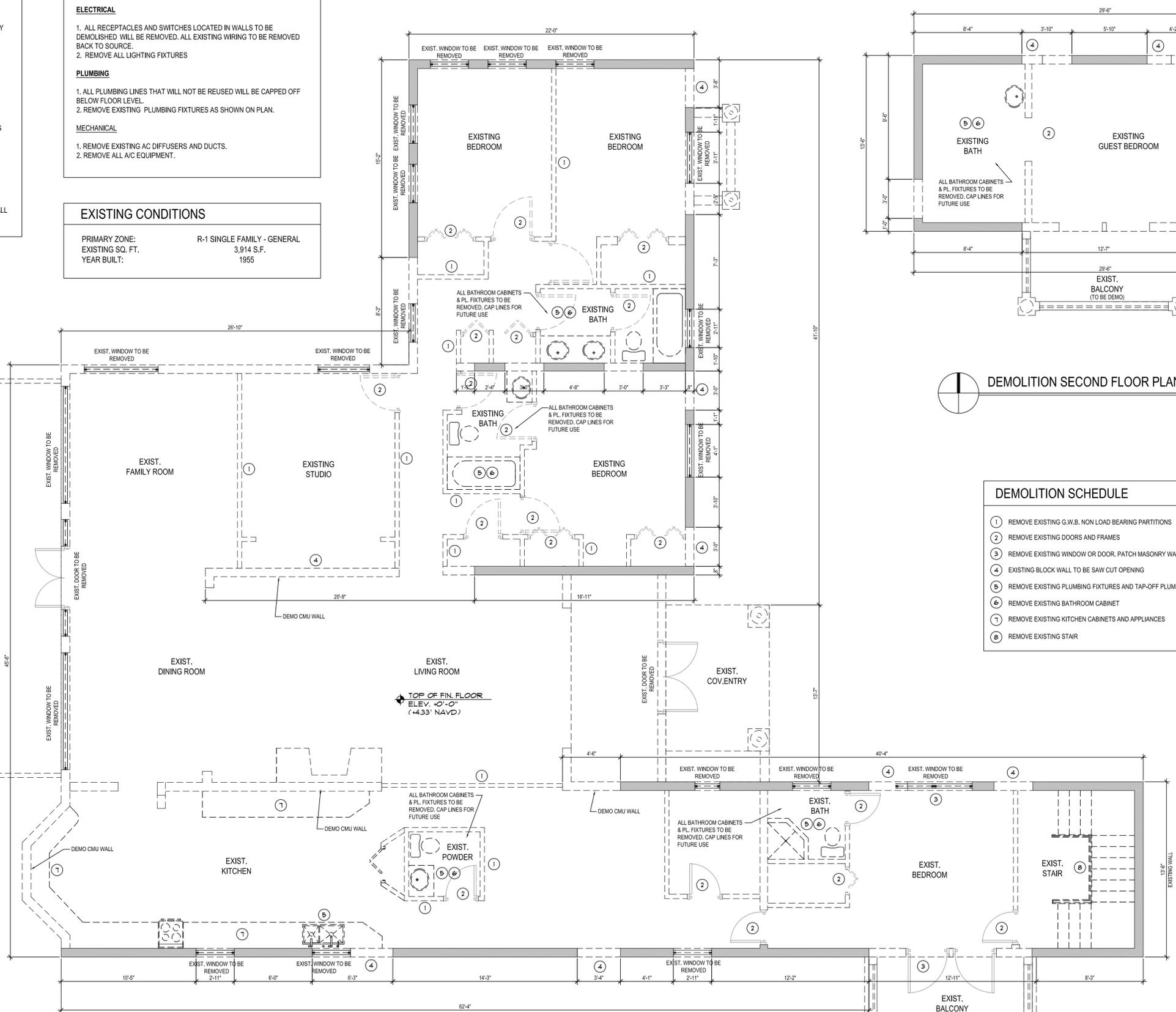
- ALL PLUMBING LINES THAT WILL NOT BE REUSED WILL BE CAPPED OFF BELOW FLOOR LEVEL.
- REMOVE EXISTING PLUMBING FIXTURES AS SHOWN ON PLAN.

**MECHANICAL**

- REMOVE EXISTING AC DIFFUSERS AND DUCTS.
- REMOVE ALL A/C EQUIPMENT.

**EXISTING CONDITIONS**

PRIMARY ZONE: R-1 SINGLE FAMILY - GENERAL  
 EXISTING SQ. FT. 3,914 S.F.  
 YEAR BUILT: 1955



**DEMOLITION SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**DEMOLITION SCHEDULE**

- REMOVE EXISTING G.W.B. NON LOAD BEARING PARTITIONS
- REMOVE EXISTING DOORS AND FRAMES
- REMOVE EXISTING WINDOW OR DOOR. PATCH MASONRY WALL.
- EXISTING BLOCK WALL TO BE SAW CUT OPENING
- REMOVE EXISTING PLUMBING FIXTURES AND TAP-OFF PLUMBING LINES
- REMOVE EXISTING BATHROOM CABINET
- REMOVE EXISTING KITCHEN CABINETS AND APPLIANCES
- REMOVE EXISTING STAIR

**NOTES:**

ALL DIMENSIONS TO BE FIELD VERIFIED.

**WALL LEGEND**

- EXISTING 8" CMU WALL TO REMAIN
- EXISTING 8" CMU WALL TO BE DEMO
- EXISTING PARTITION WALL TO BE DEMO

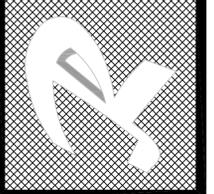
**DEMOLITION FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

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**JOSE RAMOS**  
 FLA. REG. ART1115  
 AAC1595

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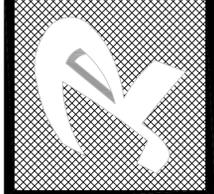
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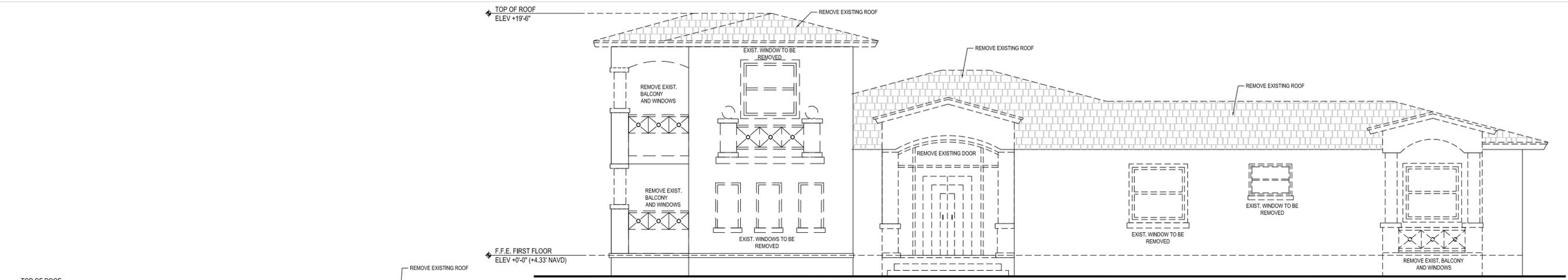
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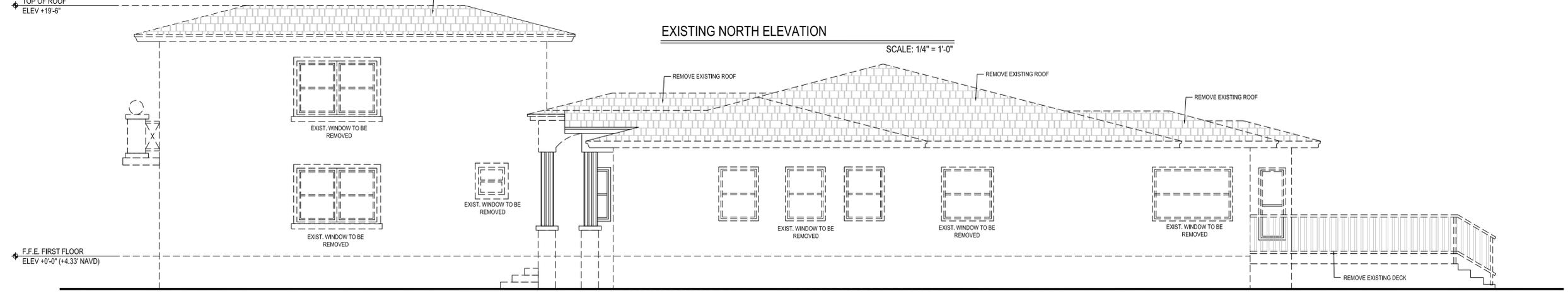
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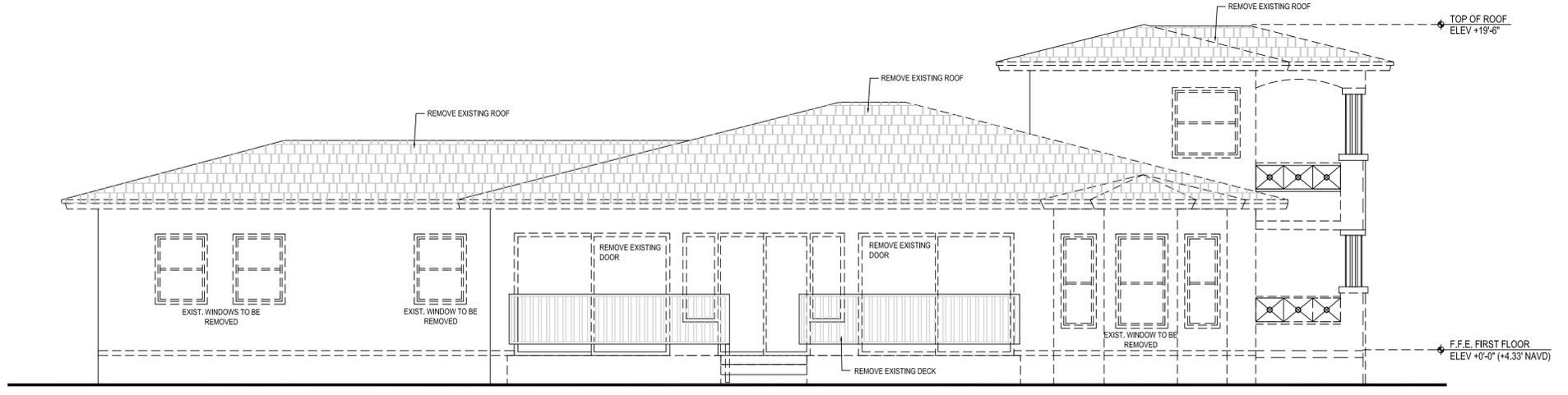
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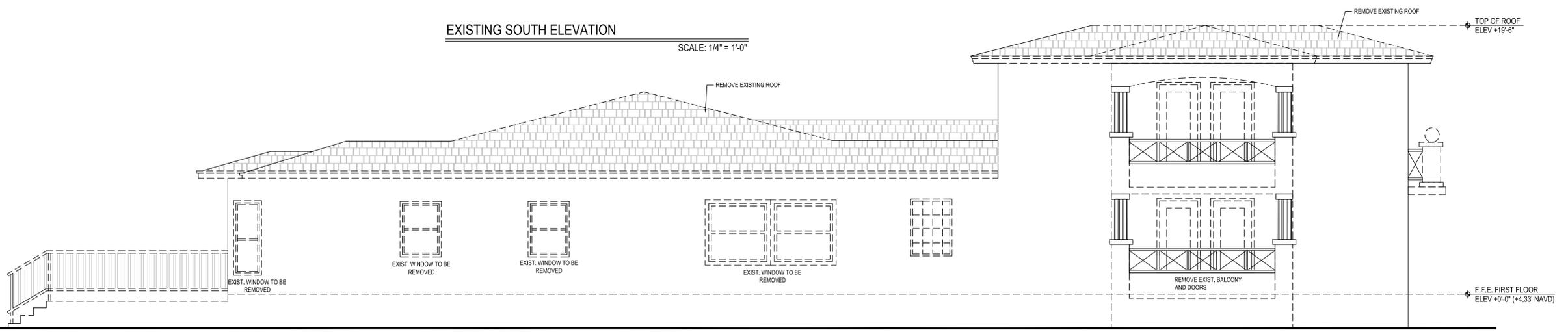
EXISTING NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION  
 SCALE: 1/4" = 1'-0"







1026



1054

**ATTACHMENT B**  
Aerial Photograph

# 1034 North Northlake Drive

