

# ATTACHMENT A

## Application Package

# GENERAL APPLICATION

APPLICATION DATE: \_\_\_\_\_

**2600 Hollywood Blvd**

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@  
Hollywoodfl.org

## SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

## NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR  
FORMS, CHECKLISTS, &  
MEETING DATES](#)

## APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee  
☐ City Commission

☐ Variance/Special Exception Requested

- ☐ Administrative Approvals  
☒ Historic Preservation Board  
☐ Planning and Development Board

## PROPERTY INFORMATION

Location Address: 1018 LINCOLN ST

Lot(s): 20 Block(s): 46 Subdivision: HWOOD LAKES

Folio Number(s): 514214018180

01-01 SFR

Zoning Classification: 01-01 SFR Land Use Classification: \_\_\_\_\_

Existing Property Use: 1642 Sq Ft/Number of Units: 1/3/2

Is the request the result of a violation notice? ( ) Yes ( ) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide

File/Resolution/Ordinance No.: N/A

## DEVELOPMENT PROPOSAL

Explanation of Request: Attached addition of 570 sqft under A/C . addition will include : New MBDR, New Bthr and covered terrace(CT not under AC)

Phased Project: Yes / No ☒ Number of Phases: \_\_\_\_\_

Project	Proposal
Units/rooms (# of units)	1 (Area: 570 S.F.)
Proposed Non-Residential Uses	0 S.F.
Open Space (% and SQ.FT.)	51 % (Area: 3474 S.F.)
Parking (# of spaces)	2 (Area: 1958 S.F.)
Height (# of stories)	1 ( 10'6" FT.)
<b>Gross Floor Area (SQ. FT)</b>	<b>6816 LOT</b>

Name of Current Property Owner: FRANK CARBALLO

Address of Property Owner: 1018 LICOLN ST

Telephone: 305-244-3348 Email Address: ALLFORCONSTRUCTION.LLC@GM

Applicant MARIA GAMBOA

☒ Consultant | ☐ Representative | ☐ Tenant (check one)

Address: 10155 NW 9TH ST MIAMI FL 33172 Telephone: 786 350 5987

Email Address: ALLFORCONSTRUCTION.LLC@GMAIL.COM

Email Address #2: JUANGAMBOA11@GMAIL.COM

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : \_\_\_\_\_

E-mail Address: \_\_\_\_\_

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 04-09-2024

PRINT NAME: FRANK R. CANABALLO

Date: \_\_\_\_\_

Signature of Consultant/Representative: M. Gamboa

Date: 04/09/24

PRINT NAME: Maria Gamboa

Date: 04/09/24

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

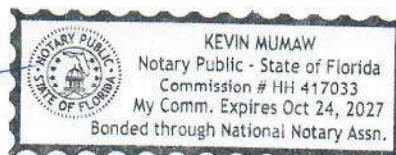
PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for MARIA FERNANDA GAMBOA to my property, which is hereby made by me or I am hereby authorizing MARIA FERNANDA GAMBOA to be my legal representative before the Hollywood City (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 09 day of April



Notary Public  
State of Florida

Signature of Current Owner

FRANK R. CANABALLO

Print Name

My Commission Expires: oct 24/27 (Check One) ☐ Personally known to me; OR ☒ Produced Identification Devin's house

Historic Preservation Board  
2600 Hollywood Boulevard  
Hollywood, Florida 33022

**Subject: Letter of Intent for 1018 Lincoln Rd – HISTORIC PRESERVATION BOARD**

To whom it may concern :

I, Frank Caraballo, owner of the property located at 1018 Lincoln Rd and folio number : 51-4214018180, kindly direct myself to the Historic and Preservation Board Members to express my sincere intent to proceed with the construction and development of a residential attached addition to the existing SFR Structure.

I am committed to ensuring that the design and development fully complies with the Florida Building Code and meets all historic preservation guidelines and requirement.

Here is the complete scope of work for which I am applying and that can also be confirmed with the plans submitted along with this letter

**Lot Legal Description:** LOT 20, BLOCK 46, HOLLYWOOD LAKE SECTION, according to the map or plat thereof as recorded in plat book 1, page 32, Public records of Broward County, Florida.

- ❖ **HOLLYWOOD LAKES SECTION 1-32 B LOT 20 BLK 46**
- ❖ **Lot Total SQFT and Proposed Addition SQFT:** 6,816 with Existing SFR structure of 1,338 SQFT under A/ C. I am proposing an attached addition of 570 SQFT under AC and 611 of total Gross area. Total of SQFT under A/C after addition is : 1,958 SQFT.
- ❖ **Attached Addition will include :** New Master Bedroom, New Bathroom and Covered terrace.
- ❖ **Vegetation :** Trees and palms are existing to remain. I will ensure the trees and palms are properly secured by County and City regulations.

I would like to emphasize that this project has been designed in strict compliance with all relevant regulations and codes, and we are committed to maintaining the highest standards of safety, environmental responsibility, and quality throughout its execution.

A permit application for this purpose has been presented in the City of Hollywood, the process number is : , we have all plans coordinated and ready to re submit for final approval once the Historic preservation board process is finalize.

Any questions or concerns regarding this letter please don't hesitate on contact me.



Frank & Lourdes Caraballo  
1018 Lincoln Road  
Hollywood, Florida 33022



## Criteria Statement

Project:

Caraballo Residence

1018 Lincoln Street, Hollywood, FL

- Integrity of Location:

*Consistent spacing and setbacks:* Addition meets all the required setbacks and it is centered on the lot.

*Main entrance oriented to the street:* Remodeled entrance remains in the same location and orientation of the original house facing Lincoln Street.

*Site coverage similar to adjacent lots:* The proportions of the proposed building (existing + addition) is consistent with other properties in the neighborhood

- Design

This house was built in 1958 and belong to the Post War Modern (Ranch Homes) architectural style. Front elevation and rear addition design retains distinctive features of this style such as limited ornamentation, asymmetry, rectangular sliding windows and low-pitched roofs.

In addition, the existing entrance trellis that is not concordant with this post war modern style and, that we believe it was not part of the original building; is being replaced by a new covered entrance. The proposed covered entrance consisting of a flat roof supported by columns is compatible in size, scale, materials and colors found in the surrounding properties.

- Setting:

Since massing plays an important role in determining the character of the building, the street and the neighborhood; the proposed addition maintains the perception of the building form and shape in relation to its width, height and setting of the structure in context with the adjacent properties.

Rear addition has been also designed to retain existing site setbacks, landscape features, architectural style, window styles/proportions, colors and materials found in both the existing house and the surrounding properties.

- Materials:

As mentioned above, this house belongs to the Post War Modern (Ranch Homes) architectural style.

All proposed exterior construction materials are consistent with this style and are similar to materials of adjacent buildings. Some of the used materials are stucco, concrete tile roof with wood fascia and aluminum windows.

The entire house will be repainted to be more compatible with the historic district exterior wall colors. Existing paint is dark blue, proposed paint is white.



20900 N.E. 30th Ave, Suite # 1001, Aventura, FL, 33180  
T. 786-206-7290 / F. 1305 425 0327 / [info@tomadesigngroup.com](mailto:info@tomadesigngroup.com)

- Workmanship:

The proposed addition work will comply with all applicable codes/regulations and provide high quality materials, construction techniques and workmanship without altering the aesthetics of the original structure architectural style and character.

- Association:

The house will continue to maintain compatibility with surrounding neighborhood and the Historic District since proposed elements are consistent with other buildings in scale, size, materials, colors and textures. No radical changes or removal of architectural features, that are important in defining the overall historic character of the building, are being proposed.

CARABALLO RESIDENCE  
HISTORIC PRESERVATION BOARD SET  
1018 LINCOLN STREET  
HOLLYWOOD, FL  
ADDITION

PROJECT INFORMATION

ADDITION TO FAMILY RESIDENCE

1018 LINCOLN STREET,  
HOLLYWOOD, FL

EFFECTIVE CODES

EFFECTIVE BLDG. CODE	FLORIDA BUILDING CODE 2020, 7TH EDITION
EFFECTIVE FLORIDA FIRE PREVENTION CODE	FFPC 2020 7TH EDITION
EFFECTIVE FIRE CODE	NFPA 1 2018 EDITION
EFFECTIVE LIFE SAFETY CODE	NFPA 101 2018 EDITION

CONSTRUCTION TYPE	III B
OCCUPANCY CLASSIFICATION	SINGLE FAMILY HOME

ZONING DATA

JURISDICTION:	CITY OF HOLLYWOOD
LEGAL DESCRIPTION	
FOLIO:	Lot 20, of Block 46, of HOLLYWOOD LAKES SECTION, according to the plat thereof, as recorded in Plat Book 1, Page 32, of the public records of Broward County, FLORIDA
ZONING DISTRICT	RS-6
LOT AREA	6,816 SF

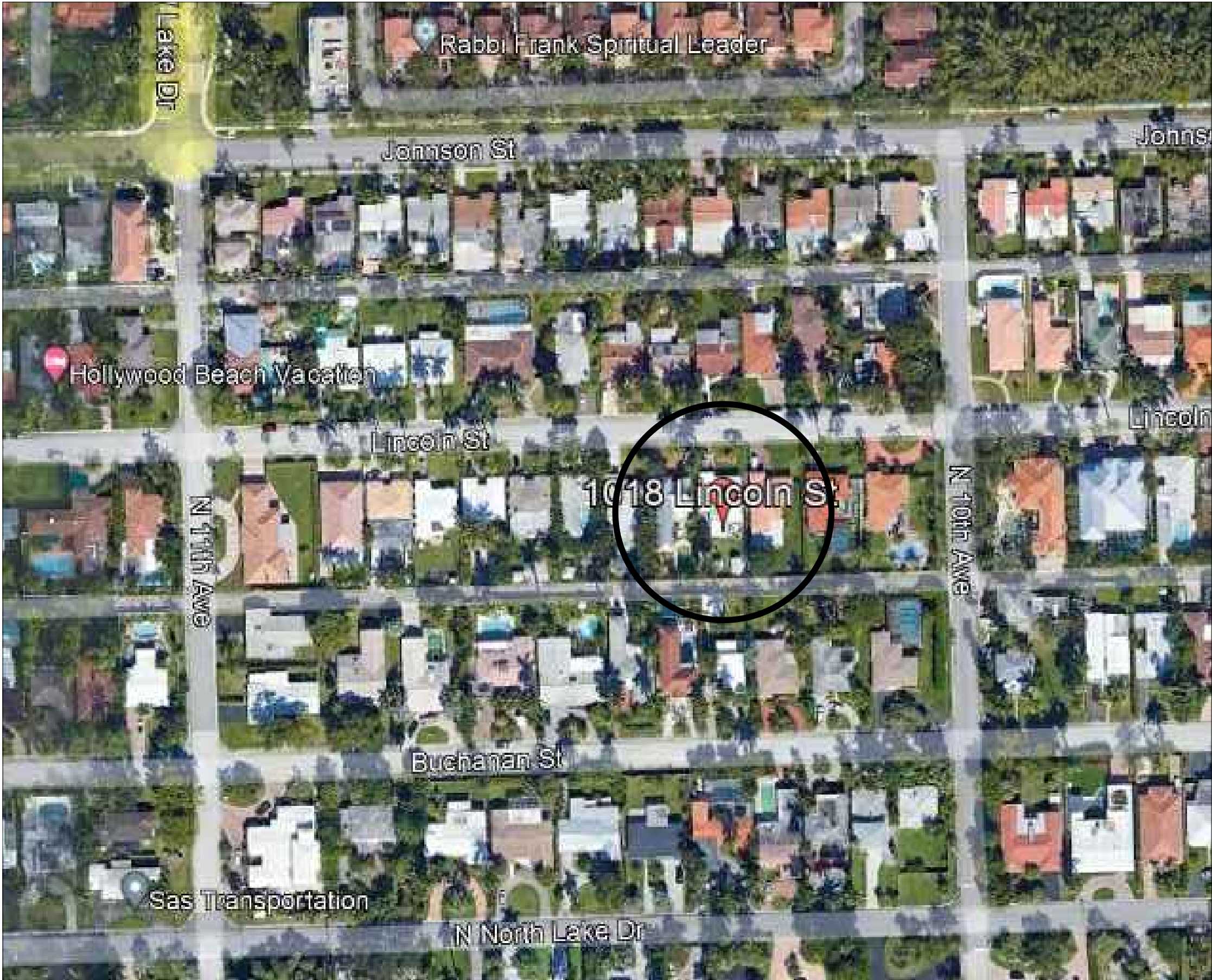
	REQUIRED	EXISTING	PROVIDED
BUILDING SETBACKS			
FRONT	25'	25'-9"	25'-2"
SIDE	5'	5'-2"	5'-2"
REAR	20'-5"	46'-9"	41'-7"
LANDSCAPED OPEN PERVIOUS SPACE AT FRONT YARD			
	20% MIN (250 SF)	72% (901 S.F.)	58% (730 S.F.)
TOTAL OPEN GREEN AREA			
	40% MIN (2,726 SF)	60% (4,120 SF)	53% (3,584 SF)
BUILDING HEIGHT			
	2 STORIES /30'	1 STORY 9'-8"	1 STORY 12'
PARKING SPACES			
	2	2	2

PROJECT AREA CALCULATIONS

	EXISTING	ADDED	PROPOSED
FIRST FLOOR GROSS AREA	1,538 SF	611 SF	2,149 SF
FIRST FLOOR AREA UNDER AC			
	1,388 SF	570 SF	1,958 SF

FLOOD INFORMATION

FLOOD ZONE	AE
MAP/PANEL NUMBER	12011C0569
BASE FLOOD ELEVATION	+5.00' NAVD
EXISTING BUILDING F.F. ELEV	+3.17' NAVD
PROPOSED F.F. ELEV AT ADDITION	+3.17' NAVD



INDEX OF DRAWINGS

COVER PAGE	
SURVEY	
SP-1.0	PROPOSED SITE PLAN
SP-2.0	COLOR SITE PLAN
A-1.0	PROPOSED GROUND FLOOR PLAN
A-2.0	EXTERIOR ELEVATIONS
A-3.1	BUILDING SECTION
A-3.0	STREET PROFILE ELEVATION
A-4.0	COLOR RENDERINGS
A-5.0	COLOR PHOTOGRAPHS OF SITE AND ADJACENT PROPERTIES
PD-1 SCHEMATIC PAVING, GRADING AND DRAINAGE PLAN	

Revisions		
No.	Date	Description
1	05-27-23	CITY COMMENTS
2	12-03-23	HPB PROCESS COMMENTS
3	03-11-24	HRB COMMENTS



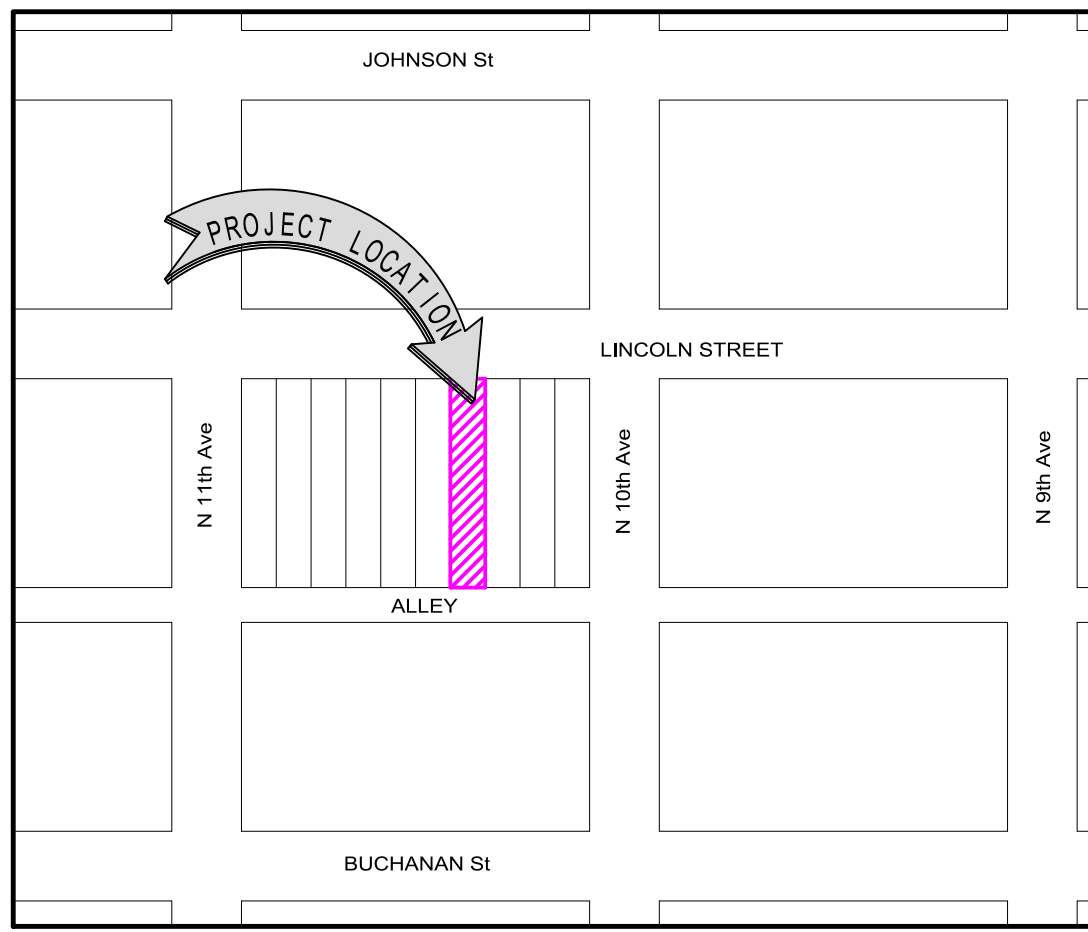
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TO THE BEST OF MY KNOWLEDGE, THE PLANS AND APPLICABLE SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY, IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES, CHAPTER 1105.13.4.4 OF (FLORIDA BUILDING CODE 2020)

Project:	CARABALLO RESIDENCE 1018 Lincoln Street Hollywood, FL 33019
Sheet Title:	COVER PAGE

TOMA DESIGN GROUP INC.	
Tel: (954) 461-2223 Fax: (954) 468-4077 2000 NE 28th Ave #101 12011C0569 Aventura, FL 33160 Southwood Ranches, FL 33350	
Date:	XX-XX-XXXX
Drawn by:	M.T.
Checked by:	M.L.
Scale: AS SHOWN	
Sheet N: COVER	
CAD ID:	





1 VICINITY MAP

Not to Scale

2 PROPERTY ADDRESS

1018 Lincoln Street, Hollywood, Florida 33019

3 LEGAL DESCRIPTION

Lot 20, Block 46, **HOLLYWOOD LAKES SECTION**, according to the map or plat thereof, as recorded in Plat Book 1, Page 32, Public Records of Broward County, Florida.

4 AREA TABULATION

Net Area of subject parcel: +/- 6 816.50 SqFt (+/-0.16 Acres)  
Gross Area of subject parcel: +/- 8 441.50 SqFt (+/-0.19 Acres)

5 ZONING INFORMATION

Zoning District: RS-6 (as per City Hollywood Zoning Map)  
<https://map.gridics.com/us/fl/hollywood>

6 SURVEYOR'S REPORT

- This ALTA/NSPS Survey has been made on the ground on July 27th, 2023 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of an ALTA Survey has been prepared in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23rd, 2021.
- This ALTA Survey correctly depicts the lands contained within the subject property as herein described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities and any other relevant matters affecting these lands. Underground utilities and footings have not been located. Existing trees have not been located. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered and traversed during the field site work are in consistency with distances and directions from records.
- Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways. Excavation and/or a private utility locate request might be necessary for a detailed location of underground utilities.
- There is no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from a duly dedicated and accepted public Right of Way: Lincoln Street-along the North property line and to a Public Alley along the South Property line. The undersigned has no knowledge of proposed changes in street right of way lines for these roadways.
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- No evidence of wetland field designations were present at the time of the survey.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 125113 (City of Hollywood), Panel 0569, Suffix H, revised on August 18th, 2014, this real property falls in Zone "AE" with Base Flood Elevation 5 feet (NAVD 1988). This determination is obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.
- HORIZONTAL LOCATION AND ACCURACY:** The lands surveyed had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Precision for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million. The accuracy obtained by field measurements (redundant measurements) and office calculations meets and exceeds the customary minimum horizontal feature accuracy (linear) for an urban area being equal to 1 foot in 7,500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988). Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.51 feet or (minus 1.51 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:  
Bench Mark # 1: City of Hollywood BM. A Nail and Disc at intersection of Lincoln St. and N 10th Ave, Elev.= 3.46 feet (NGVD'29).  
Bench Mark # 2: City of Hollywood BM being an "X" cut in North rim of manhole at PI of Johson St. and N 10th Ave. Elevation = 3.72 feet (NGVD'29)
- This ALTA Survey meets and exceeds the minimum Standards of Practice as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".

- This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1": 20'. Data is expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Commitment for Title Insurance provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Miami-Dade County, unless otherwise shown.
- North arrow direction is based on an assumed Meridian. The bearing structure depicted herein is based on the assumed bearing along the Center Line of Lincoln Street being N87°49'35"E
- This survey has been made based on and upon an examination of said Commitment for Title Insurance (the Title Commitment) issued by American Land Title Association, Commitment No. 1270481, Dated May. 5, 2022 @ 8:00 AM and owner's policy No. OF6-9054157 issued by OLD Republic National Title Insurance Company date June 9,2022 @ 4:12pm. Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment and the exceptions from coverage of said owner's policy, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affects these lands have been noted and/or represented on this survey and the following applies:

Items # 1 thru Item # 7 and Items # 11 and 12: Not survey related matters.  
Items # 8 All matters Contained on the plat (See boundary survey sketch for geometry and right of way dedications).  
Item # 9: Reservations contained in Warranty Deeds recorded in Deed Book 212, Page 347 and Deed Book 228, Page 125, Public Records of Broward County, Florida.( These instruments were not investigated and were not found on Public Records).  
Item # 10: Resolution No. 14-C-76 recorded in O.R. Book 51216, Page 1559, Public Records of Broward County, Florida. (Affect this property - exceptions of blanket nature therefore "non plottable").

7 CERTIFICATIONS

I hereby certify to: Frank R. Caraballo and Lourdes D. Prado de Caraballo  
That this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5, 6, Zoning information as per City of Hollywood zoning map (Zoning report not provided), 7 (a), 8, 11 (utilities by observed aboveground visible evidence), 13, 14, 16, 17, 18 and 19 of Table A thereof.  
Date of Plat or Map: July 27th, 2023

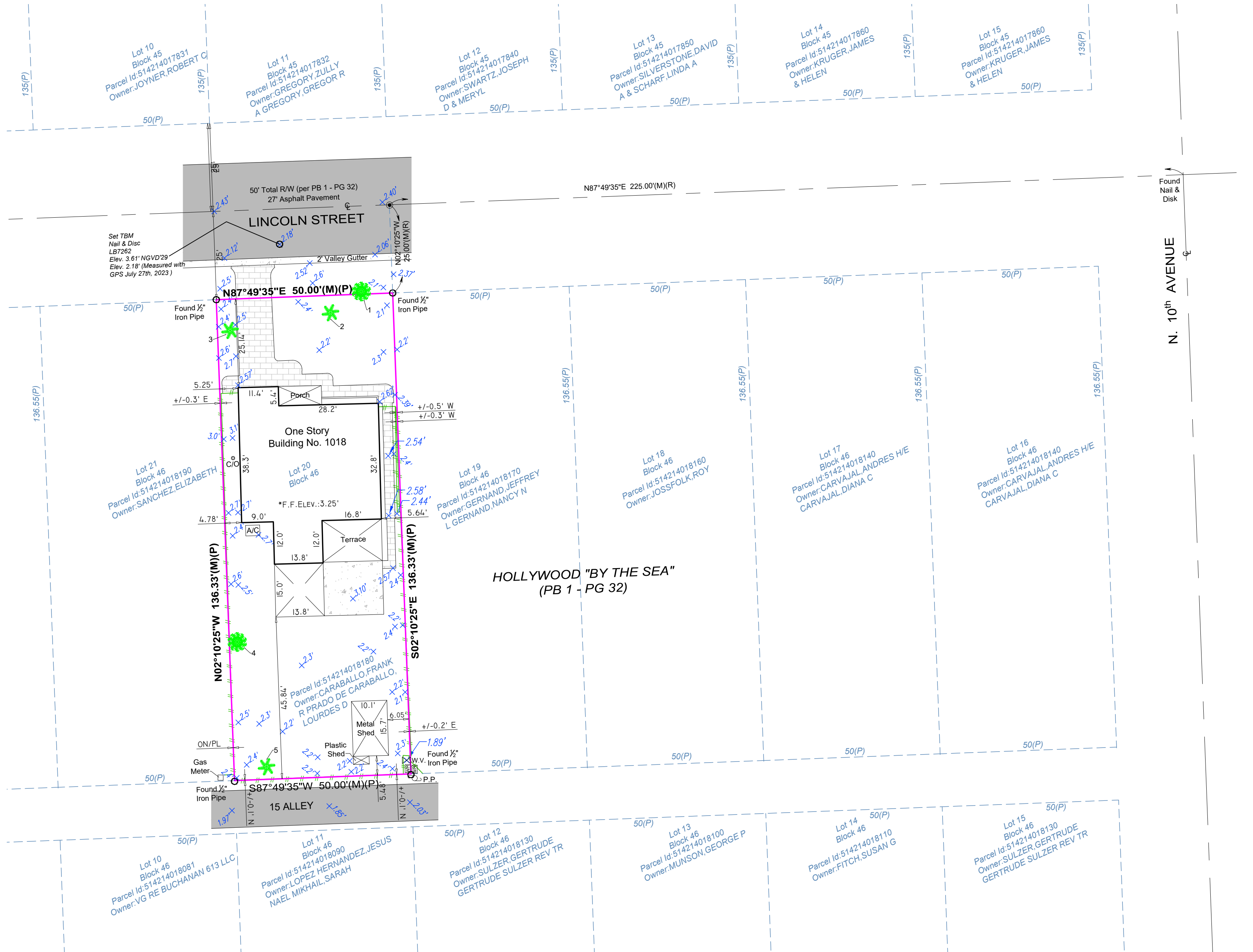
\* Survey Revised (Finished Floor Elev of building revised (Datum)): September 21st, 2023

Odalys C. Bello-Iznaga  
Professional Surveyor & Mapper # 6169  
State of Florida

## ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND LYING AND BEING A PORTION OF THE SECTION 14, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

9 SKETCH OF SURVEY



TREE CHART					
Tree #	Common Name	Scientific Name	Trunk Diameter at Breast Height DBH(in)	Approximate Height (ft)	Approximate Canopy (ft)
1	Unknown	Unknown	6	20	15
2	Palm	Unknown	6	10	7
3	Palm	Unknown	18	45	20
4	Unknown	Unknown	6	30	30
5	Palm	Unknown	18	40	15

\* Dimensions are approximate. The identification of the trees shown herein has not been based on a Certified Arborist Report.

SURVEY LEGEND

- Vicinity Map
- Property Address
- Legal Description
- Area Tabulation
- Zoning Information
- Surveyor's Report
- ALTA/NSPS Certification
- Project Number
- Sketch of Survey

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

QA/QC BY: OCBI  
Latest Field Date: 09/21/2023  
DRAWN BY: MFE  
Survey Updated: 04/15/2024

8 PROJECT NUMBER: 23280

Page 1 of 1

0 10 20  
SCALE: 1" = 20'

BELLO & BELLO LAND SURVEYING  
12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186  
LBH7262 • Phone: 305.251.9606 • Fax: 305.251.6057  
e-mail: info@belloland.com • www.bellolandsurveying.com







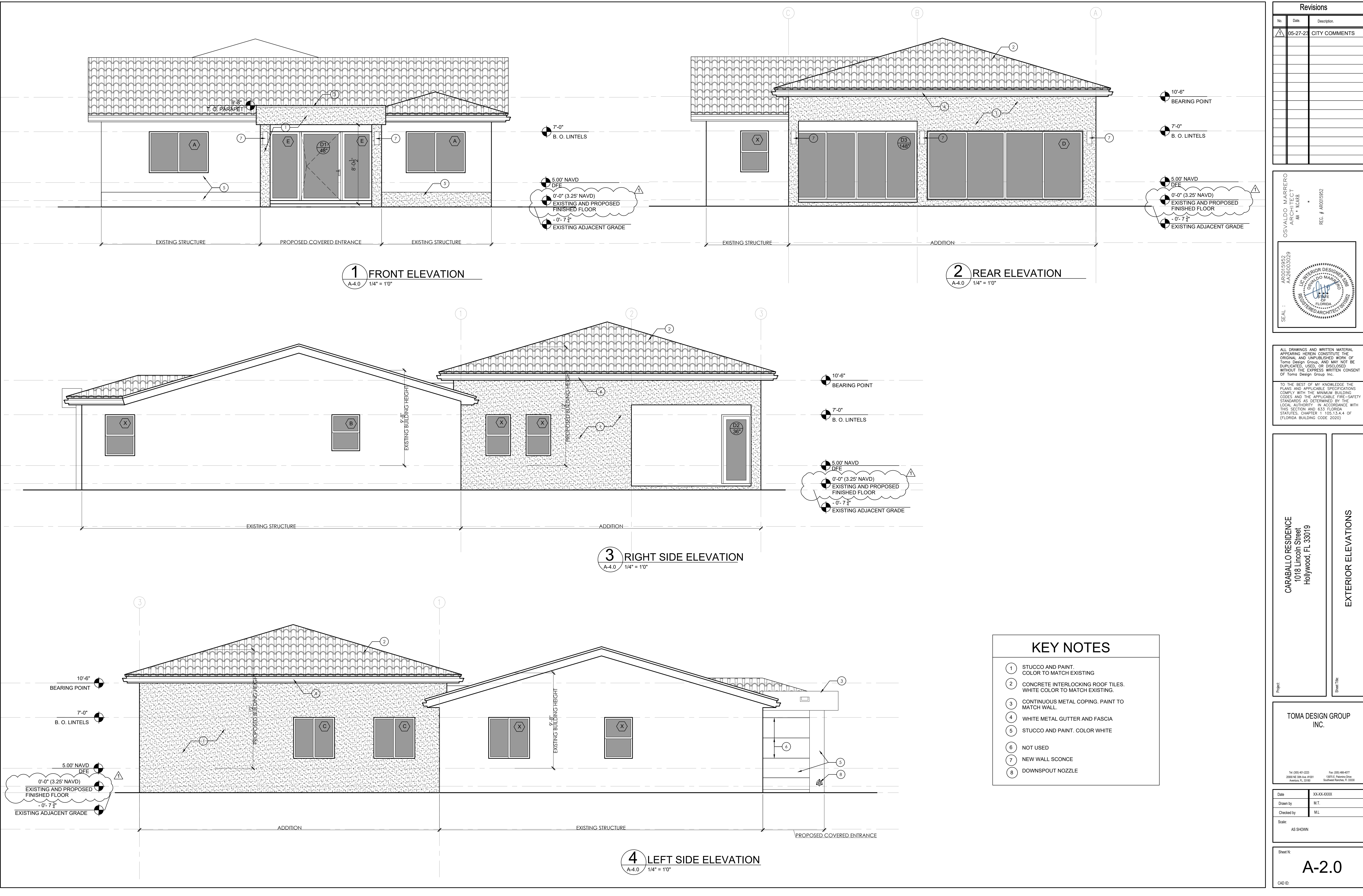












Revisions		
No.	Date	Description
1	05-27-23	CITY COMMENTS

OSVALDO MARRERO  
ARCHITECT  
M.A. # MC88  
REG. # AR0015952

AR0015952  
AA26003029  
OSVALDO MARRERO  
ARCHITECT  
FLORIDA  
REGISTERED ARCHITECT 181002

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TO THE BEST OF MY KNOWLEDGE, THE PLANS AND APPLICABLE SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY. IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES, CHAPTER 11, 105, 13.4.4.4 OF (FLORIDA BUILDING CODE 2020)

CARABALLO RESIDENCE  
1018 Lincoln Street  
Hollywood, FL 33019

Project

Sheet Title

EXTERIOR ELEVATIONS

TOMA DESIGN GROUP  
INC.

Tel: (954) 451-2223 Fax: (954) 454-4077  
2000 NE 20th Ave, #101 1200 E. Broward Blvd.  
Aventura, FL 33160 Southwood Ranches, FL 33350

Date: XX-XX-XXXX  
Drawn by: M.T.  
Checked by: M.L.  
Scale: AS SHOWN

Sheet N:  
**A-2.0**  
CAD ID:



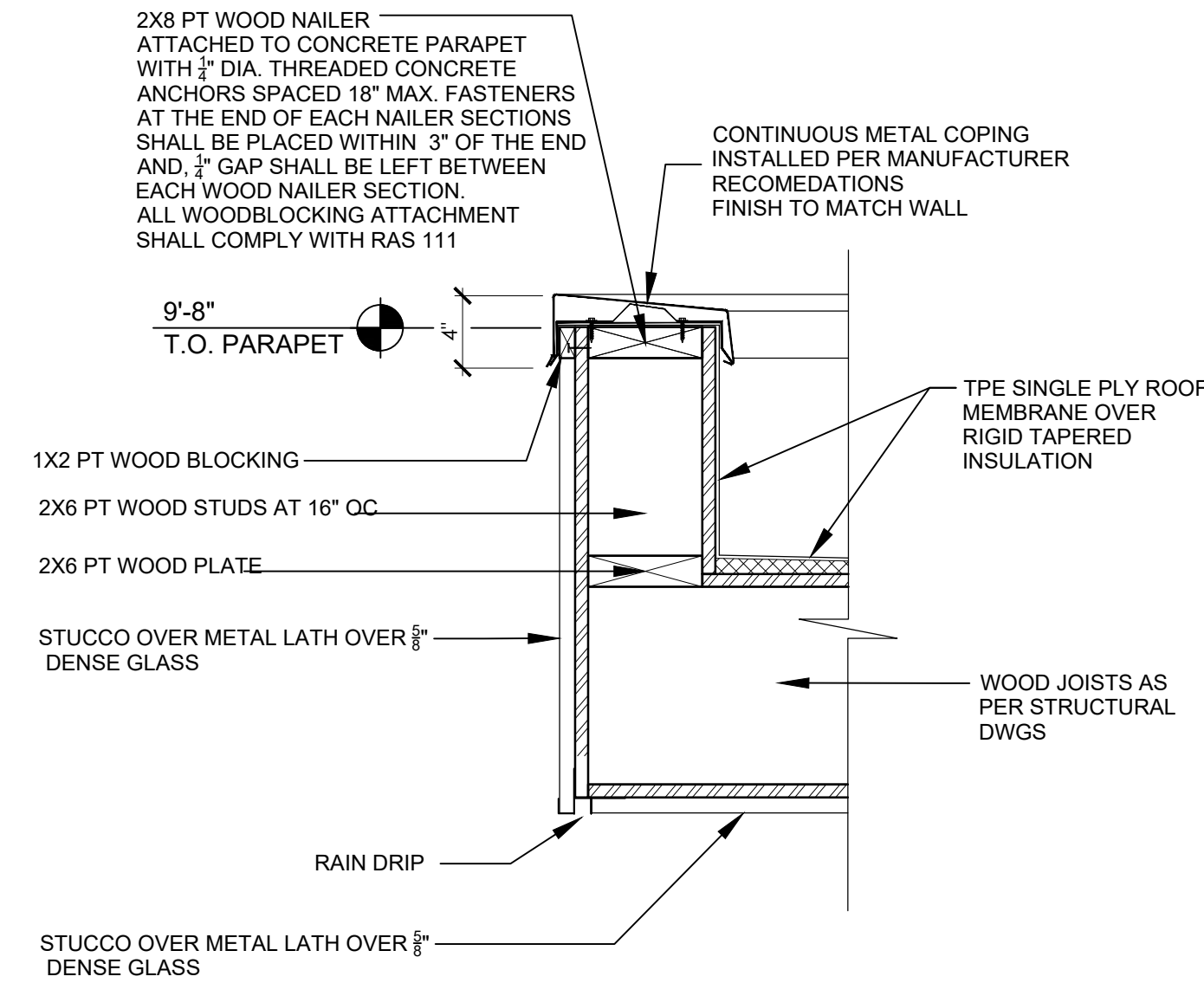
TO THE BEST OF MY KNOWLEDGE THE PLANS AND APPLICABLE SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES, CHAPTER 1 105.13.4.4 OF (FLORIDA BUILDING CODE 2020)

BUILDING SECTION

Sheet Index

Date	XX-XX-XXXX
Drawn by	M.T.
Checked by	M.L.
Scale: AS SHOWN	

CAD IE



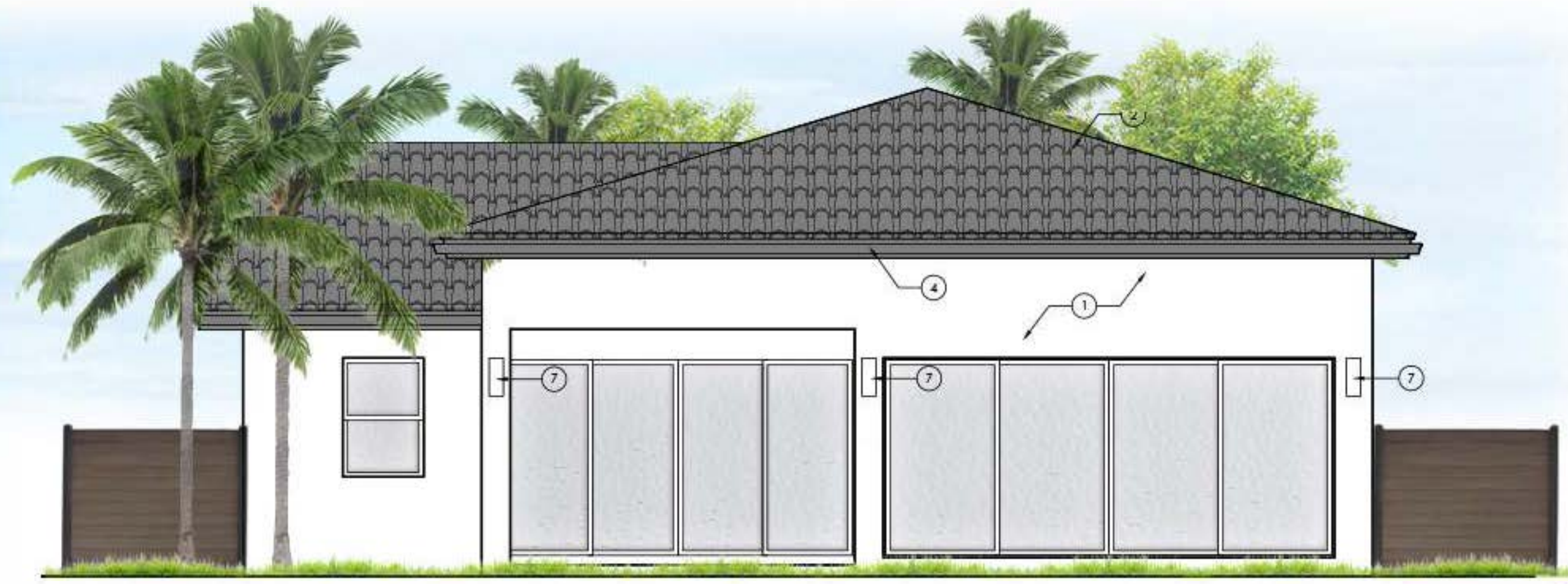
**2 METAL COPING/PARAPET DETAIL**  
A-2.1 1 1/2" = 1'0"

# 1 BUILDING SECTION



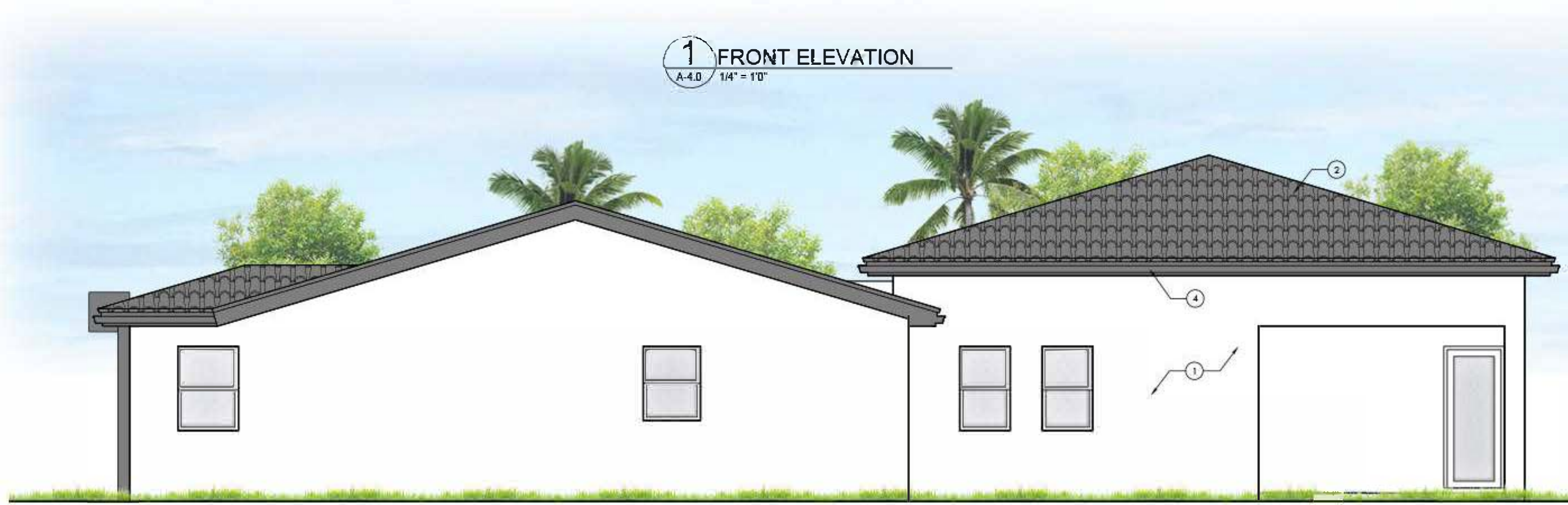






1 FRONT ELEVATION  
A-4.0 1/4" = 1'0"

2 REAR ELEVATION  
A-4.0 1/4" = 1'0"



3 RIGHT SIDE ELEVATION  
A-4.0 1/4" = 1'0"



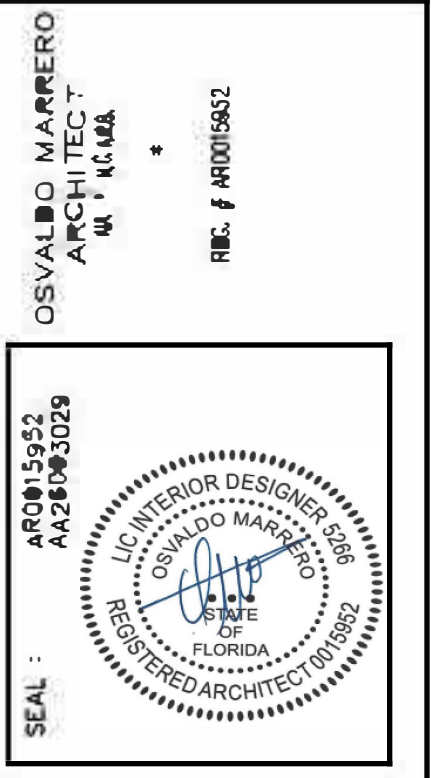
4 LEFT SIDE ELEVATION  
A-4.0 1/4" = 1'0"

### KEY NOTES

- 1 STUCCO AND PAINT, COLOR TO MATCH EXISTING
- 7 CONCRETE INTERLOCKING ROOF TILES, WHITE COLOR TO MATCH EXISTING
- 3 CONTINUOUS METAL COPING, PAINT TO MATCH WALL
- 1 WHITE METAL GUTTER AND FASCIA
- 6 STUCCO AND PAINT, COLOR WHITE
- 8 NOT USED
- 2 NEW WALL SCORCE
- DOWNSPOUT NOZZLE

### REVISIONS

No.	Date	DESCRIPTION



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CARABALLO RESIDENCE  
1018 Lincoln Street  
Hollywood, FL 33019

COLOR RENDERINGS

TOWA DESIGN GROUP  
INC.

1018 Lincoln Street  
Hollywood, FL 33019

1018 Lincoln Street  
Hollywood, FL 33019

Date	03-23-2024
Drawn by	M.T.
Checked by	M.L.
Scale	AS SHOWN

Sheet

A-4.0

CAD ID:



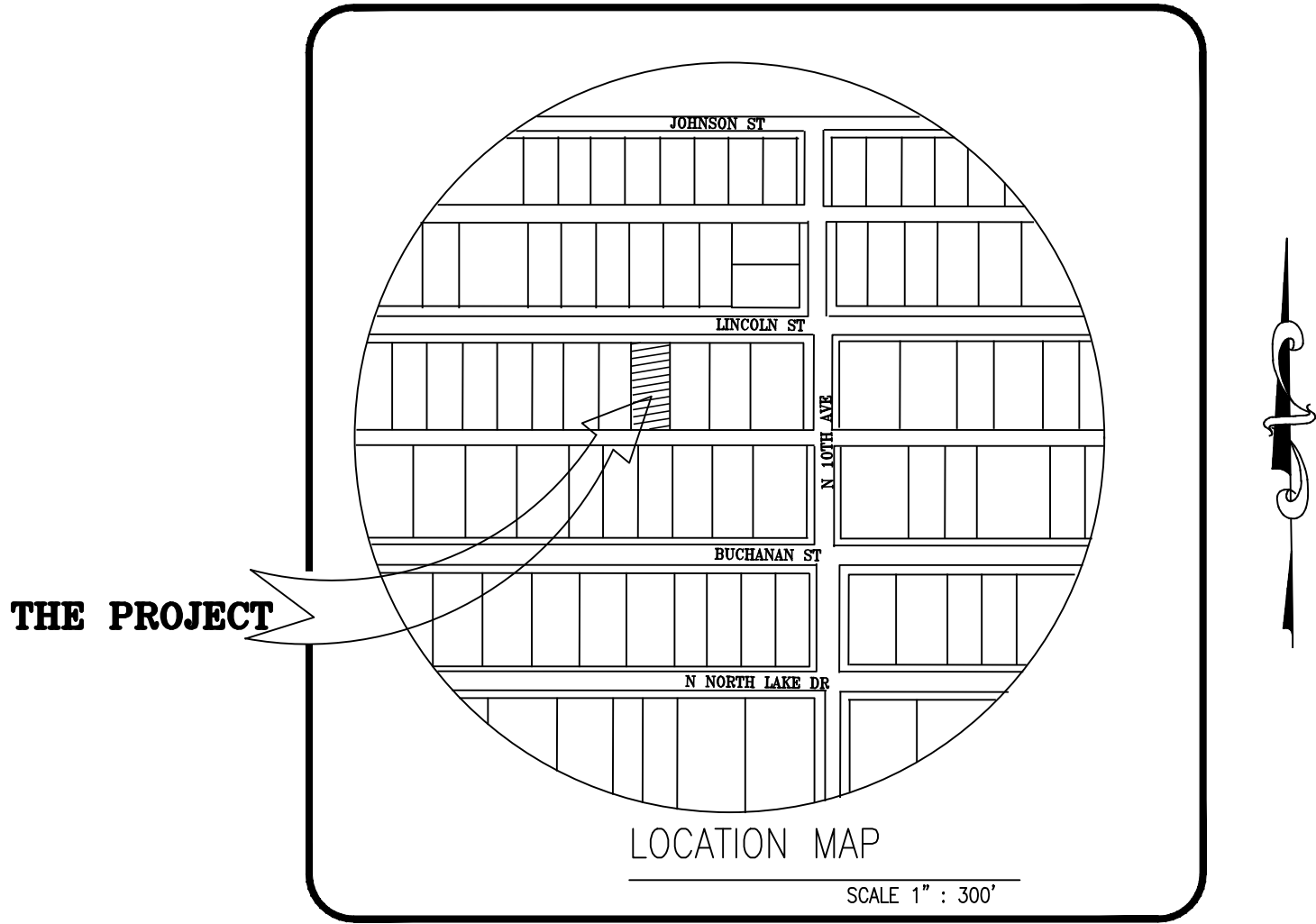




PAVING, GRADING & DRAINAGE PLANS  
SINGLE HOME FAMILY 1018 LINCOLN ST. HOLLYWOOD

ENGINEERING NOTES:

1. IF DISCREPANCIES FOUND ON THESE PLANS ARE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS OR ANY OMISSIONS OR ERRORS THAT MIGHT PRODUCE DAMAGES DERIVED FROM THIS DESIGN, IT SHALL BE BROUGHT TO THE ENGINEER PRIOR TO BIDDING OR START OF ANY CONSTRUCTION.
2. CONTRACTOR, PRIOR TO START OF ANY CONSTRUCTION, SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES ON THE FIELD WITH THE APPROPRIATE UTILITY COMPANY. IN THE EVENT THAT ANY ADJUSTMENT BE NECESSARY DUE TO A DISCREPANCY FOR UTILITY LOCATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS BEFORE PROCEEDING. THE CONTRACTOR SHALL EXERT CARE AND CAUTION IN PROTECTING ALL UTILITIES DURING THE COMPLETION OF HIS WORK. IN THE EVENT OF ANY DAMAGE THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY COMPANY. ANY AND ALL COSTS INCURRED DUE TO DAMAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FORTY-EIGHT (48) HOURS BEFORE DIGGING CALL SUNSHINE, TOLL FREE 1-800-432-4770.
3. EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
5. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. THE ENGINEER IS TO REVIEW THEM AND BE PAID.
6. ALL INSPECTIONS WILL BE MADE BY THE ENGINEER OF RECORD AND BE PAID. CONTRACTOR SHALL NOTIFY 48 HOURS IN ADVANCE THE ENGINEER OF RECORDS FOR INSPECTION. THE ENGINEER SHOULD BE ABLE TO PROVIDE CERTIFICATION FOR CONSTRUCTION COMPLETION BASED ON VISUAL INSPECTIONS, IF REQUIRED.
7. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
8. ALL FILL AND LIMEROCK BASE COURSE SHALL BE TESTED WITH DENSITY TESTS ACCORDING TO AASTHO SPECIFICATION T-180. COPIES OF RESULTS SHALL BE PROVIDED TO ENGINEER OF RECORDS PRIOR TO PLACING ASPHALT PAVEMENT.
9. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF AS-BUILT CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW AS-BUILT.
10. ALL AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
11. NO MODIFICATIONS TO THESE PLANS ARE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. NO AGENCY INSPECTOR, CONTRACTOR, NOR THE OWNER ARE AUTHORIZED TO UNILATERALLY MODIFY THESE PLANS.
12. IT IS THE INTENT OF THE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
13. ALL DRIVING SURFACES MUST BE CONSTRUCTED ON AN EIGHT (8) INCH ROCK BASE THAT WILL PRODUCE A C.B.R. VALUE OF NO LESS THAN 25 WHEN COMPACTED TO A MINIMUM FIELD DENSITY OF 98% OF MAX. DENSITY AS DETERMINED BY AASTHO T-180. WITH REINFORCED CONCRETE SLAB. SEE STRUCTURAL PLANS FOR DETAILS.
14. ALL DIMENSIONS IN THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
15. ALL WORK SHALL MEET CITY OF HOLLYWOOD PUBLIC WORK DEPARTMENT STANDARDS.
16. WATER TABLE PER BROWARD COUNTY IS 1.00 NAVD
17. ALL ELEVATIONS SHOWN ARE REFERRED TO NORTH AMERICAN VERTICAL DATUM 1988.
18. UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT HB 3183, FLORIDA STATUTES.
19. ALL MUCK, PEAT, AND/OR CLAY WITH HIGH PERCENTAGE OF ORGANIC MATERIAL AND OR EXISTING UNSUITABLE FILL MATERIAL SHALL BE REMOVED FROM PROPOSED RIGHT OF WAY OR PROPOSED PAVEMENT AREAS IF ANY.
20. ALL TOP FINISHED GRADES FOR EXISTING MANHOLES, VALVE LIDS AND SIMILAR UTILITIES STRUCTURES SHALL BE ADJUSTED TO NEW FINISHED GRADES, IF AFFECTED FOR NEW GRADING.
21. THESE PLANS WERE PREPARED USING INFORMATION FROM SURVEY DONE BY BELLO & BELLO LAND SURVEYING.
22. FLOOD INSURANCE RATE MAP, ZONE 'AE NEW FLOOD PANEL 12011C0569H, MAP 08/18/2014. BASE FLOOD ELEV 5 NAVD
23. SHOWN INFORMATION FOR EXISTING UTILITIES AS IT WAS RECEIVED BY UTILITIES OWNERS UNDER CHAPTER 556, FLORIDA STATUTES.
24. DRAINAGE PIPING HIGH DENSITY POLYETHYLENE SHALL CONFORM ASTM F477, AASTHO M294, M252 REQUIREMENTS.



NOTE:

ALL ELEVATIONS SHOWN HERE ON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

LEGAL DESCRIPTION:

LOT 20, OF BLOCK 46, OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

FOLIO # 51-4214-0181-80

SEC. 14-51-42



Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

INDEX:

CS COVER SHEET  
PD-1 PAVING, GRADING & DRAINAGE

GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES, ENGINEERING, TRANSPORTATION & MOBILITY DIVISION, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY PUBLIC UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
7. ELEVATIONS SHALL BE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
8. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING/STORAGE AREA. CONTRACTOR SHALL SECURE STAGING/STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
9. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
10. CONTRACTOR SHALL CLEAN/SWEEP THE ROAD AT LEAST ONCE A DAY OR AS REQUIRED BY THE ENGINEER.
11. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN/ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
12. CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
13. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
14. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC., TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF DEVELOPMENT SERVICES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL, OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
17. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	GENERAL NOTES (1 OF 2)	DRAWING NO.: C-01
	APPROVED: JG		

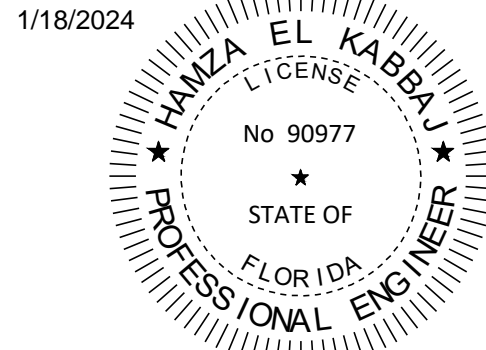
18. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION, AND CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES STANDARDS.
19. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
20. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
21. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS/REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CITY ENGINEER.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
23. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
24. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN/VEHICULAR TRAFFIC.
25. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
26. ALL RAMP, SIDEWALK CURB RAMPS, AND, ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT AND SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION.
27. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
29. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
30. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
31. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
32. THE CITY PREFERS THAT ITS OWN POLICE OFFICERS PROVIDE TRAFFIC CONTROL TO ENSURE SAFE AND EFFICIENT INTERSECTION OPERATIONS IS MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THEREFORE, PLEASE CONTACT MR. JANEL DIXON TO ARRANGE FOR A DETAIL TO PROVIDE THIS SERVICE. HE MAY BE REACHED AT 954-967-4500 OR VIA EMAIL AT [jdixon@hollywoodfl.org](mailto:jdixon@hollywoodfl.org).
33. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED, REFER TO BCTED, PAVING MARKINGS AND SIGNS DETAILS PLAN, LATEST EDITION.
34. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	GENERAL NOTES (2 OF 2)	DRAWING NO.: C-02
	APPROVED: JG		

REV.	DESCRIPTION	DATE
1	CITY COMMENTS	12.15.23

P.E. SEAL  
TO THE BEST OF OUR KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODE  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY HAMZA EL KABBAL, P.E., ON THE DATE ADJACENT TO THE SEAL  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



1/18/2024  
HAMZA EL KABBAL  
P.E. No. 90977

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ENGINEERING COMPANY  
STATE OF FLORIDA CA LICENSE NO. 37199  
10944 W. 35th LANE, HIALEAH, FL 33018  
PHONE: (786) 397-9133  
[DisaicaLLC@disaica.us](mailto:DisaicaLLC@disaica.us)

PROJECT :  
**CARABALLO RESIDENCE**

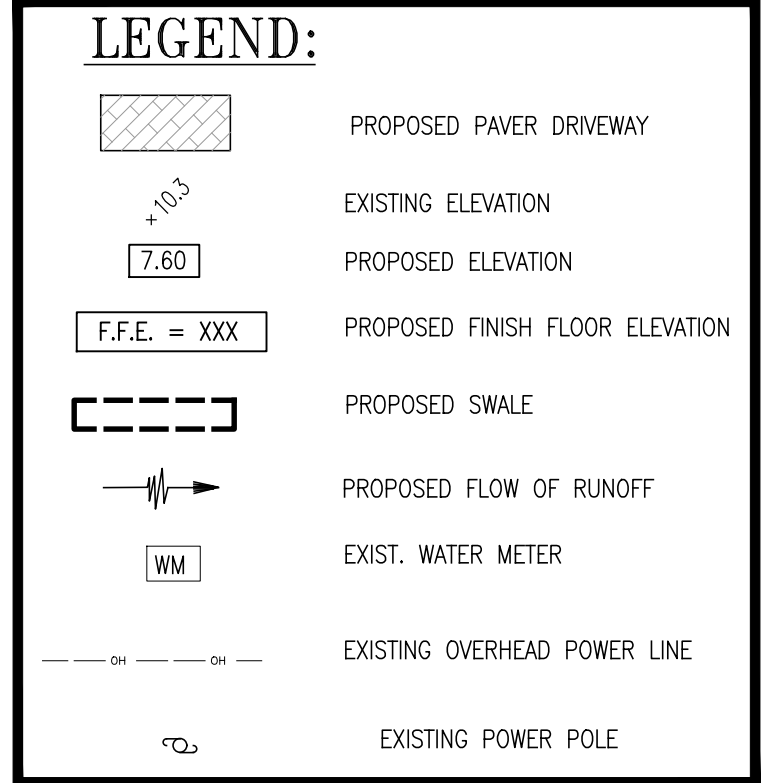
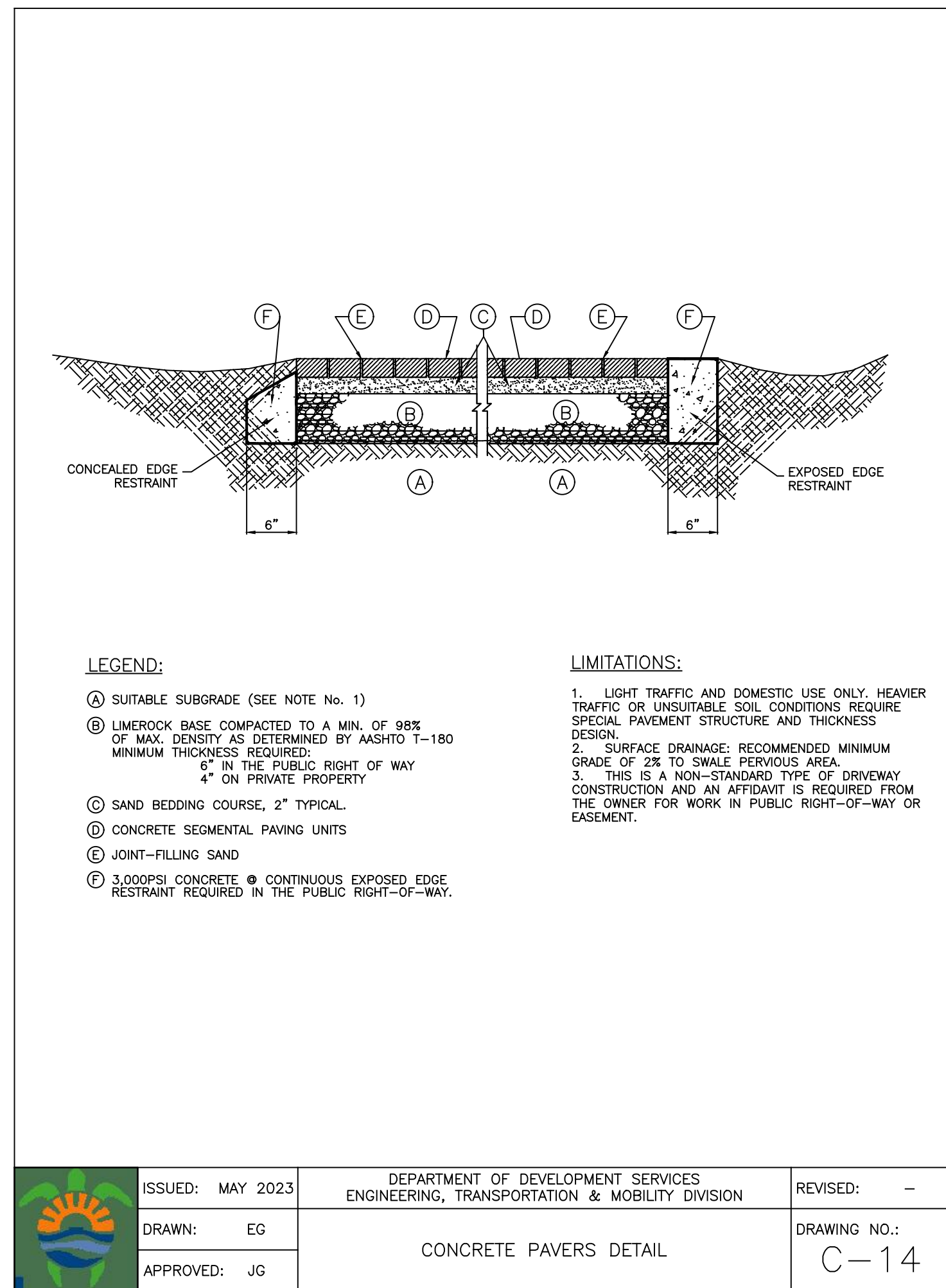
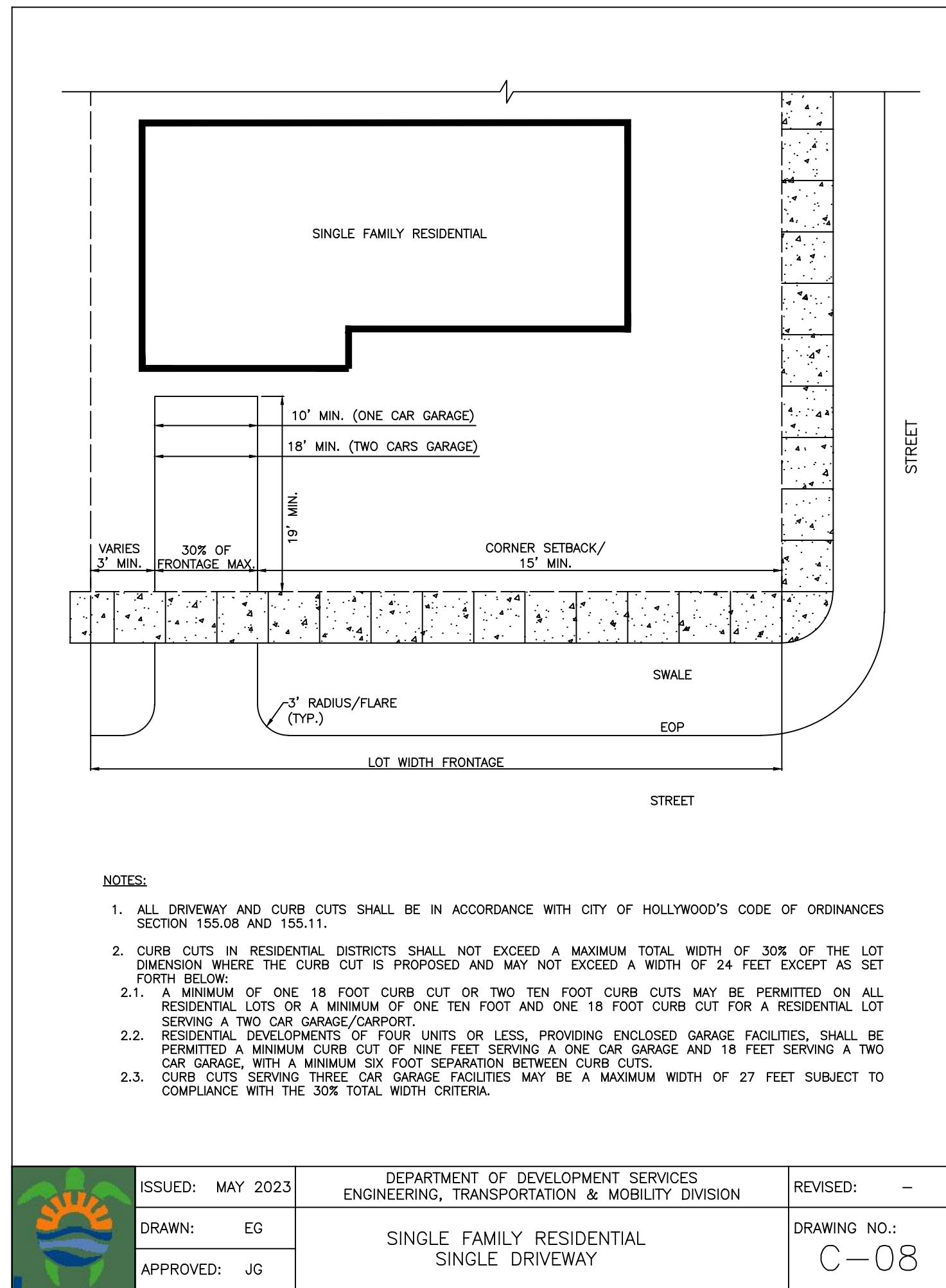
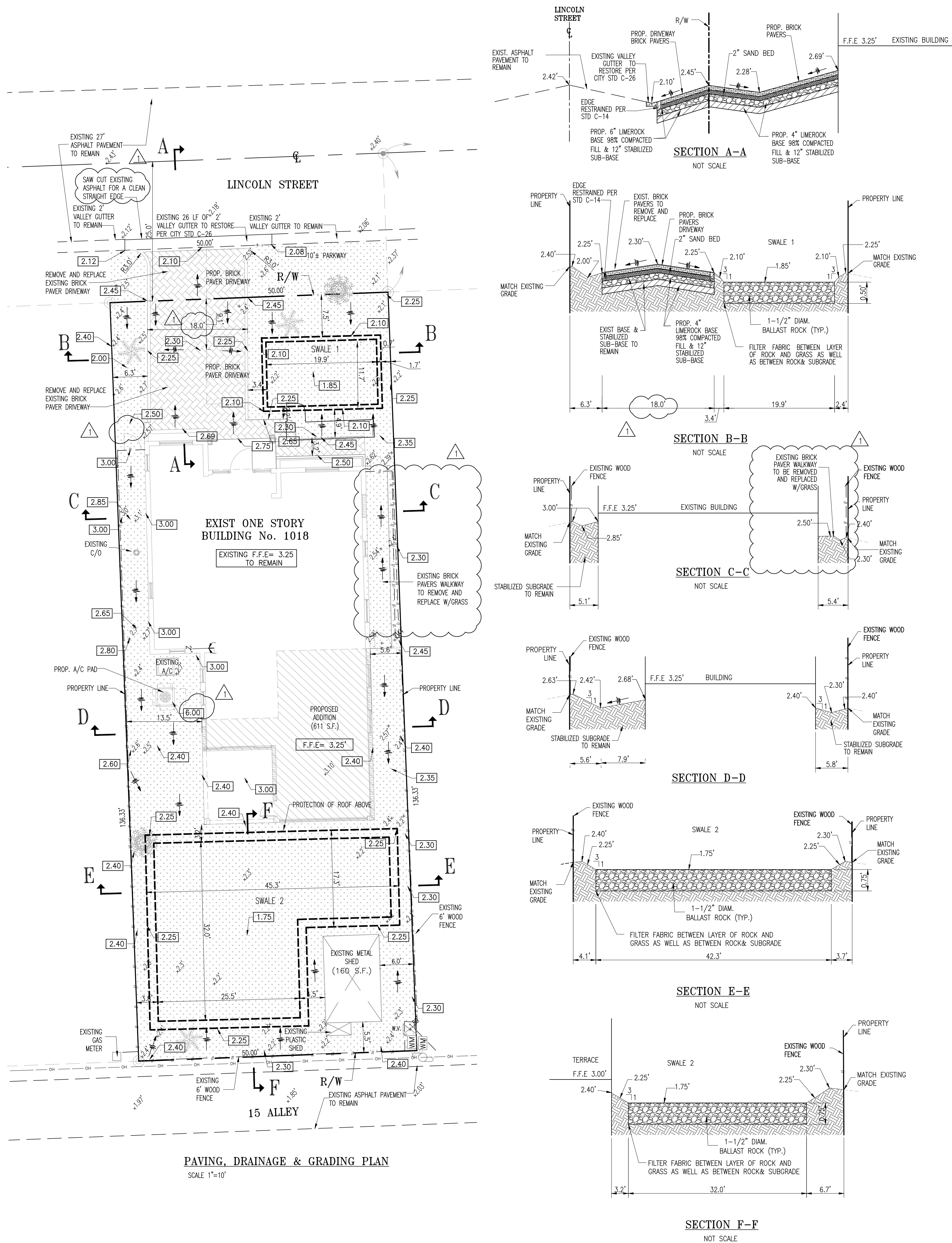
PREPARED FOR :  
TECNICA, INC.

SITE ADDRESS:  
1018 LINCOLN STREET  
HOLLYWOOD, FL 33019

DRAWING NAME:  
**COVER SHEET**

SCALE : INDICATED	DESIGNED : HAMZA EL KABBAL
DATE : 09-19-23	DRAWN : DISAICA LLC
PROJECT NUMBER: P23-28-1209	SHEET : CS





P.E. SEAL  
TO THE BEST OF OUR KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODE

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY HAMZA EL KABBAL, P.E., ON THE DATE ADJACENT TO THE SEAL.

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1/18/2024

Hamza El Kabbal  
No 90977  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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10944 W 35th LANE, HIALEAH, FL 33018  
PHONE: (786) 397-9133  
Disaicalc@disaica.us

PROJECT :  
**CARABALLO RESIDENCE**

PREPARED FOR :  
TECNICA, INC.

SITE ADDRESS:  
1018 LINCOLN STREET  
HOLLYWOOD, FL 33019

DRAWING NAME:  
**PAVING, GRADING & DRAINAGE**

SCALE :  
INDICATED

DESIGNED :  
HAMZA EL KABBAL

DATE :  
09-19-23

DRAWN :  
DISAICA LLC

PROJECT NUMBER:  
P23-28-1209

SHEET :  
PD-1

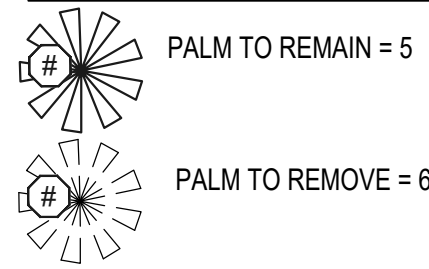


EXISTING TREE DISPOSITION CHART

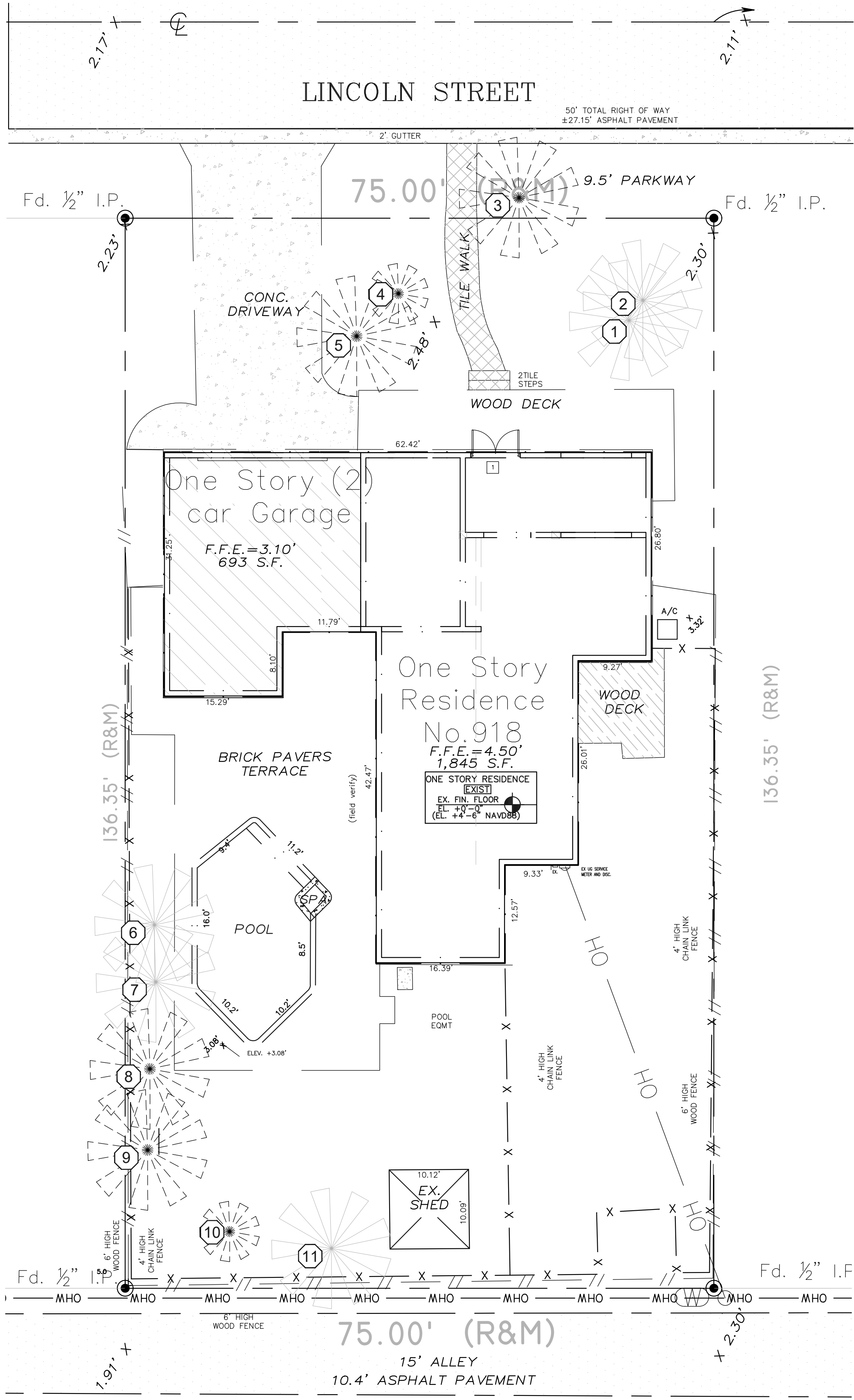
No	Common / Botanical Name	Cal.	Height / Trunk	Spread	Condition	Disposition
1	* ROYAL PALM / ROYSTONEA ELATA	14"	42' / 31'	20'	GOOD	REMAIN
2	* ROYAL PALM / ROYSTONEA ELATA	14"	50' / 38'	20'	GOOD	REMAIN
3	ARECA PALM / CHRYSLIDOCARPUS LUTESCENS	MULTI- 14"	15' / 10'	14'	GOOD	REMOVE
4	PYGMY DATE PALM / PHOENIX ROEBELLINI	5"	10' / 4'	10'	FAIR	REMOVE
5	QUEEN PALM / SYAGRUS ROMANZOFFIANA	12"	20' / 10'	15'	FAIR	REMOVE
6	* ROYAL PALM / ROYSTONEA ELATA	14"	45' / 34'	20'	GOOD	REMAIN
7	* ROYAL PALM / ROYSTONEA ELATA	14"	37' / 28'	20'	GOOD	REMAIN
8	QUEEN PALM / SYAGRUS ROMANZOFFIANA	12"	20' / 10'	15'	POOR	REMOVE
9	QUEEN PALM / SYAGRUS ROMANZOFFIANA	12"	20' / 10'	15'	FAIR	REMOVE
10	SOLITAIRE PALM / PTYCHOSPERMA ELEGANS	3"	28' / 22'	5'	POOR	REMOVE
11	QUEEN PALM / SYAGRUS ROMANZOFFIANA	12"	20' / 10'	15'	GOOD	REMAIN

\*DENOTES FLORIDA NATIVE TREE

LEGEND



MITIGATION = REPLACEMENT OF (6) PALMS  
SEE SHEET : L-1



EXISTING PLAN / SURVEY

FLA. REG. # LA6666848

SCOTT C. HEYNEN, RLA LLC  
LANDSCAPE ARCHITECTURE AND LAND PLANNING

1627 Funston St., Hollywood, FL 33020  
PHONE 954-920-4945 scotchland@gmail.com

Residential Additions and Remodel : Thalassa LLC  
918 Lincoln Street, Hollywood, Florida  
EXISTING TREE DISPOSITION PLAN

SITE

NO. REVISION DATE  
DATE: 3 JUNE, 2022  
DRAWING: PERMIT  
DRAWN BY: SCH  
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SHEET

TD-1



CODE	REQUIRED	PROVIDED
(1) STREET TREE / 50'	75' = 2 TREES	(2) ROYAL PALMS
(1) TREE / 1250SF	FRONT : 2000 / 1250 = 2	(2) EXIST ROYAL PALMS (FRONT)
RECOMMENDED FOR RS : (3) TREES IN FRONT & (1) IN REAR		+ (2) EXIST ROYAL PALMS (REAR)
		+ (1) PROPOSED QV TREE (FRONT)
		<b>= 5 TOTAL</b>
MITIGATION : REMOVAL OF (6) PALMS		+ (4) PROPOSED VM PALMS (FRONT)
		+ (2) PROPOSED VM PALMS (REAR)
FRONT SHRUBS	15	(45)
REAR SHRUBS	10	(33)
60% FLORIDA NATIVE TREES	6 X 60% = 4	(2) ST PALMS + (4) REX PALMS
		+ (1) QV = 7
50% FLORIDA NATIVE SHRUBS	30 x 50% = 15	(20) CES + (30) CHR
MULTIPLE TREE SPECIES	2 SPECIES PER 1 - 10	(2) SPECIES

SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
QV	1	Quercus virginiana LIVE OAK TREE	12" HT. X 5" SPR., 2" DBH
REX	4	*Roystonea elata ROYAL PALM	F.G., FULL, SINGLE STRAIGHT MAIN LEADER EXISTING - SEE TREE DISPOSITION TABLE
ST	2	*Roystonea elata ROYAL PALM	8' CT. X 20" SPR., F.G., FULL,
VM	6	1 Carpentaria acuminata Carpentaria Palm	MITIGATION PALM 8' CT. X 9" SPR., F.G., FULL,

KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION / SPACING
CES*	20	*Conocarpus erectus sericeus Silver Buttonwood Hedge	24" HT. x 24" SPR. / 24" O.C.
CHR*	30	*Chrysobalanus icaco 'Red Tip' COCOPOLUM	24" HT. x 24" SPR. / 24" O.C.
CLU	35	Clusia guttifera SMALL LEAF CLUSIA	24" HT. x 2' SPR. / 2' O.C.
LIR	52	Liriope spp. 'Evergreen Giant' GIANT LIRIOPE	20" HT. x 18" SPR. / 18" O.C.
SOD		Stenotaphrum secundatum ST. AUGUSTINE GRASS	AS NEEDED FOR 100% COVERAGE

### GENERAL PLANTING NOTES

- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", 2015, State of Florida Department of Agriculture, Tallahassee, or thereto.
- All landscape areas to be provided with a 100% overlap automatic irrigation system.
- All landscaping and irrigation shall be installed in a sound workmanlike manner according to accepted and proper planting procedures with the quality of plant materials desired.
- Specifications of plant materials as follows: Spread-indicates average spread to midpoint; Height (o.a.)-indicates overall height from root of ball to midpoint of current season's growth; C.T.-indicates clear trunk measurement to first branching; Ft. of Wood-indicates measurement on palms from top of ball to top of stalks.
- All trees shall be properly guyed and staked at the time of planting to ensure stability.
- Hedges shall be planted and maintained so as to form a continuous, unbroken, solid visual screen.
- The planting soil for all planting areas shall be composed of a minimum of 50% horticulturally acceptable organic material. The minimum soil depth shall be four inches in all hedge and mass planting beds and 1/2 cu. yd. per tree. Palms to be planted in clean sand.
- A three foot wide of shredded pine bark mulch shall be installed around each tree planting, including palm trees, and throughout hedge and shrub plantings.
- The contractor is responsible for its own quantity count. Any discrepancy between drawings and plant list shall be considered as correct on the drawings.
- Landscape Contractor shall provide a One Year Warranty for plant material

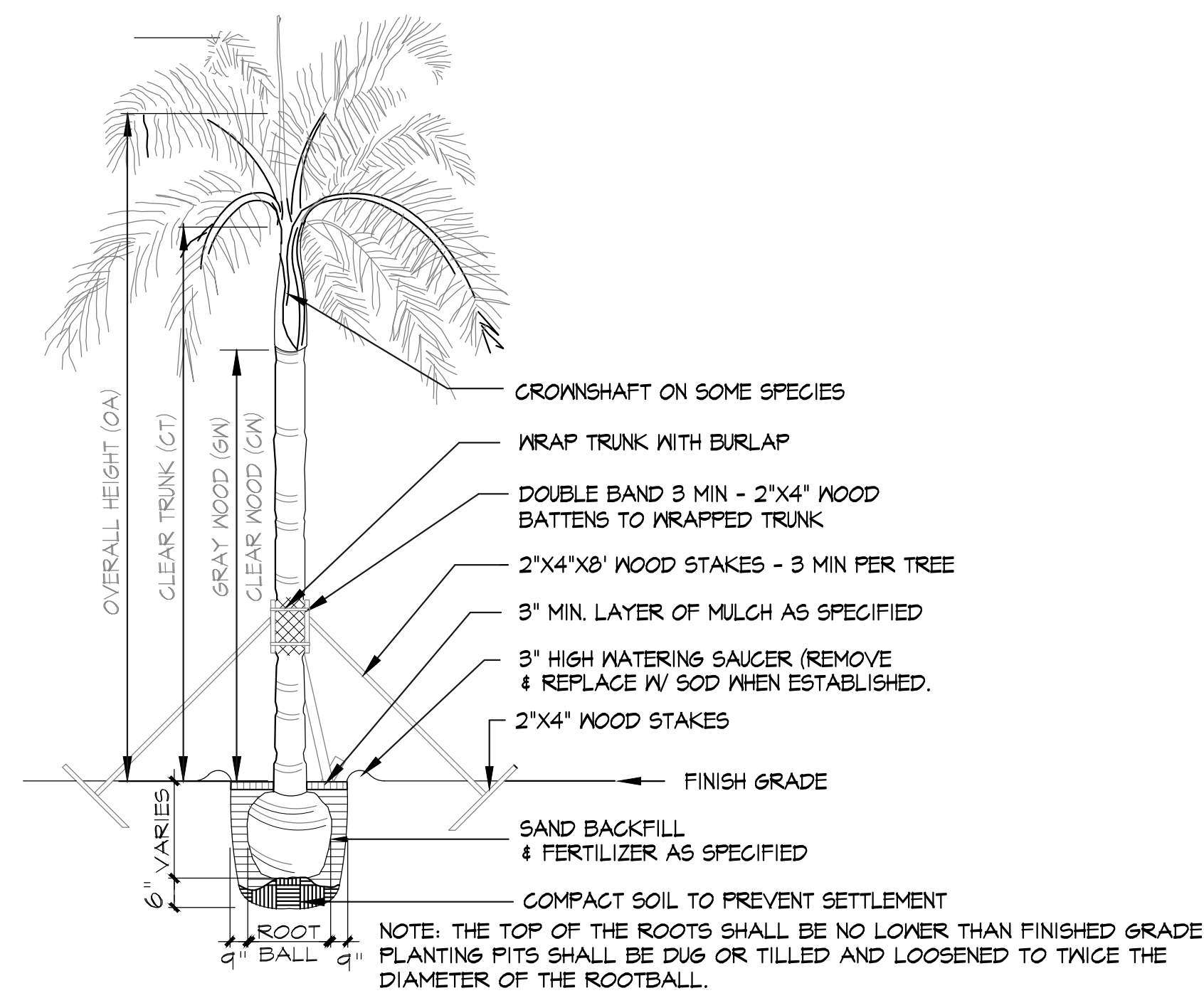
**SCOTT C. HEYNEN, RLA LLC**  
LANDSCAPE ARCHITECTURE AND LAND PLANNING

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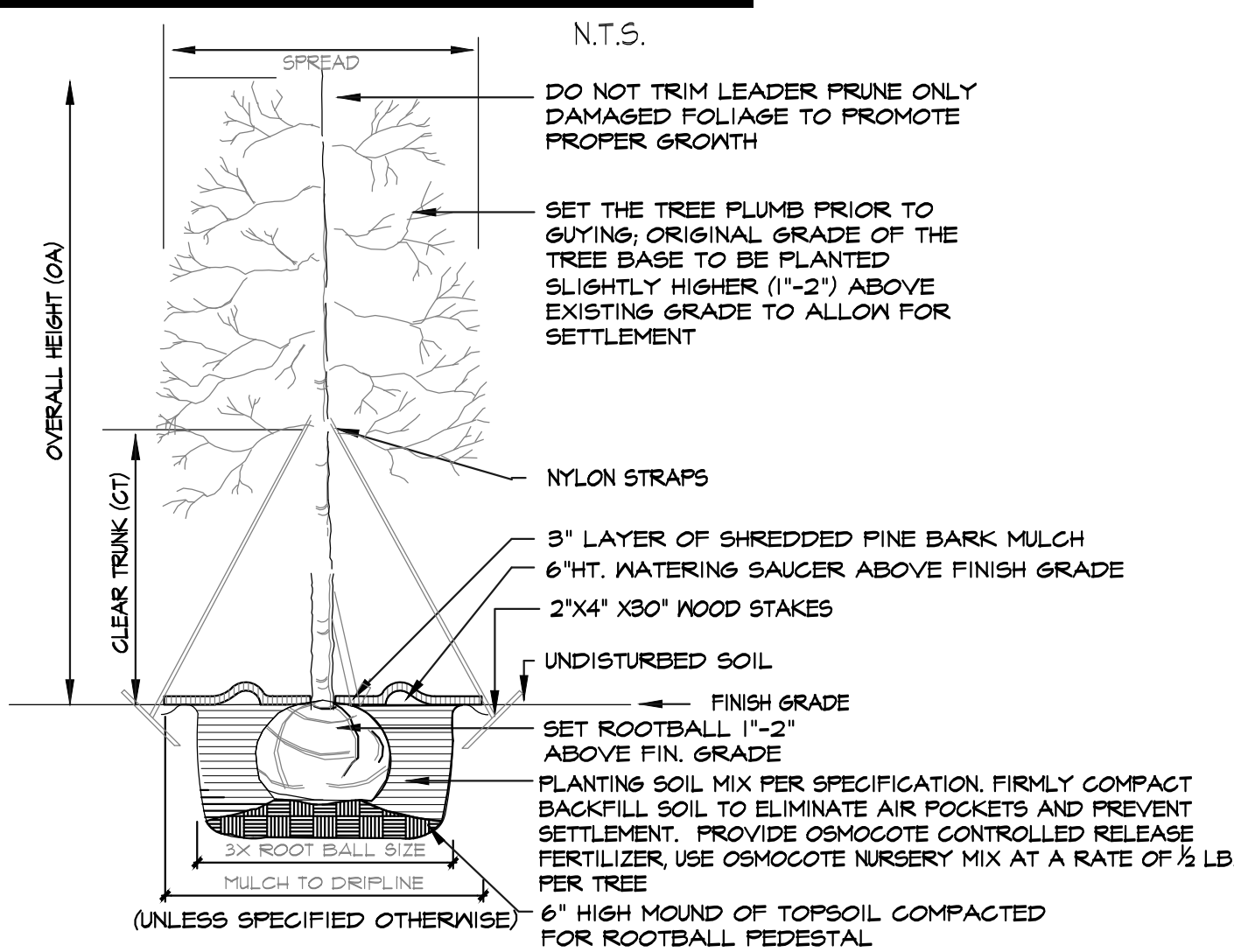
SITE

SHEET

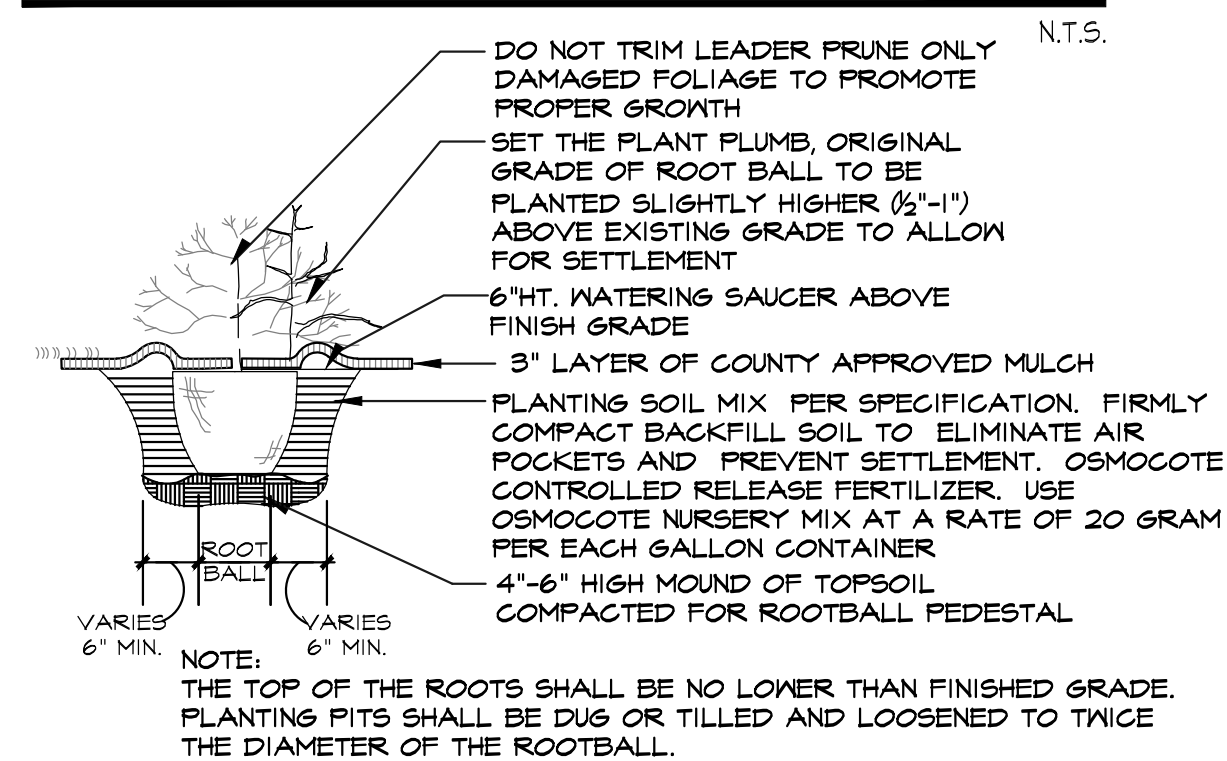
L-1



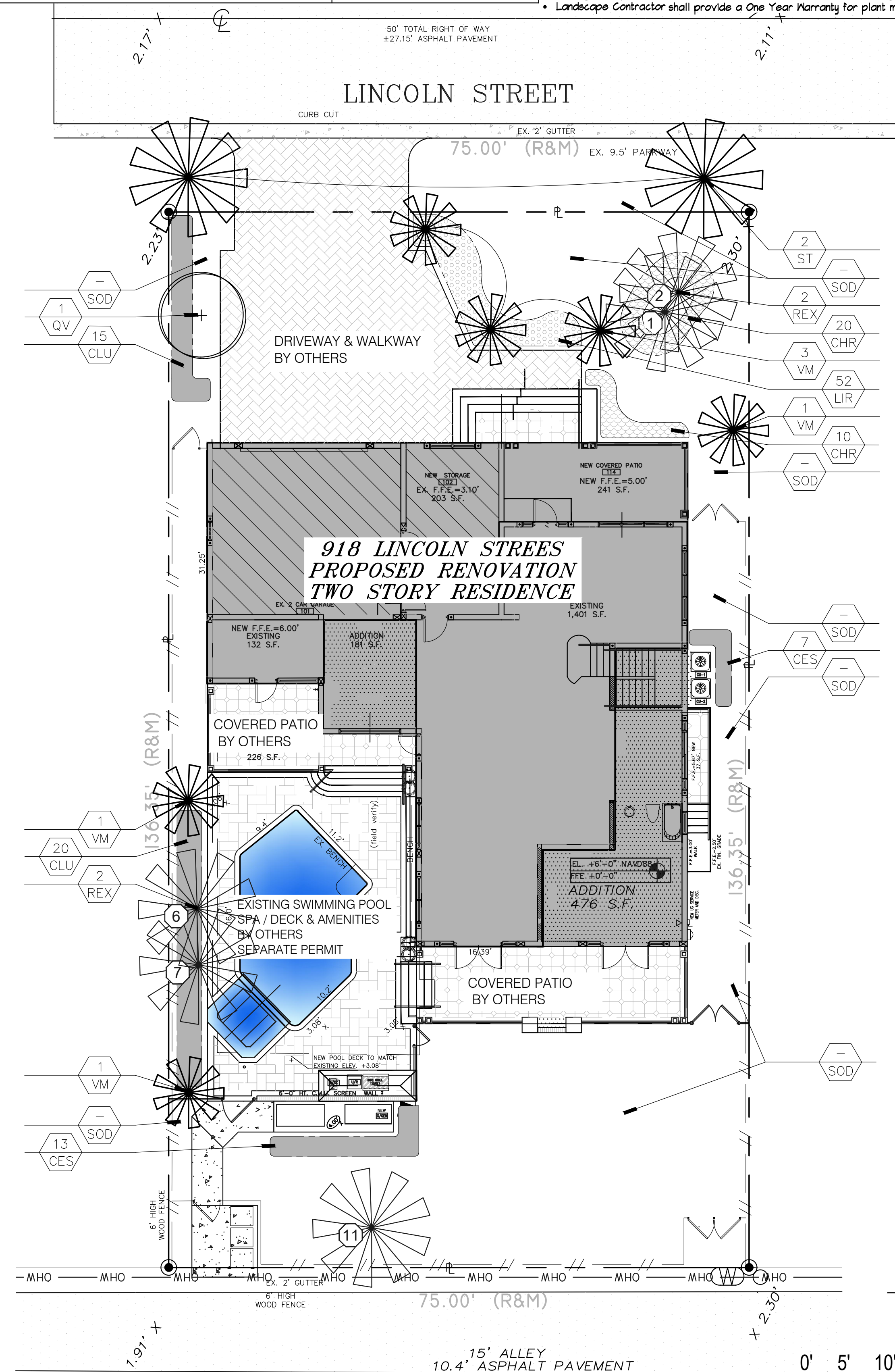
TYPICAL PALM PLANTING DETAIL



SINGLE TRUNK TREE PLANTING DETAIL



TYPICAL SHRUB /GROUNDCOVER PLANTING DETAIL



## PROPOSED PLAN

0' 5' 10' 20'

SCALE 1" = 10'-0"