

ABBREVIATIONS

- EXIST. EXISTING
- C.L.F. CHAIN LINK FENCE
- SF SQUARE FEET
- LF LINEAR FEET
- PROP. PROPOSED

DEMOLITION LEGEND

- PROP. STABILIZED CONST. ENTRANCE
- TEMPORARY PARKING & STAGING AREA
- PROP. ASPHALT DEMO
- PROP. STRUCTURE/CONCRETE DEMO
- PROP. OPEN SPACE DEMO
- LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- FILTER SACK INLET PROTECTION

EXISTING LEGEND

- PROPERTY LINE
- CONCRETE PAVEMENT
- GRAVEL DRIVEWAY
- DECORATIVE PAVERS
- ASPHALT PAVEMENT
- EDGE OF PAVEMENT
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- SPOT ELEVATION
- LIGHT POLE
- UTILITY POLE
- OVERHEAD ELECTRIC SERVICE
- ELECTRIC HANDHOLE
- CHAIN LINK FENCE
- ADJACENT ROW
- TREES
- TREE CLUSTER
- GRADING CONTOURS (MINOR)
- GRADING CONTOURS (MAJOR)
- BUILDING/STRUCTURE
- TYPE D CURB

GENERAL NOTES

1. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
2. PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
3. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE FDEP GENERIC PERMIT.
4. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
5. ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
7. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE, SHALL BE INITIATED AS SOON AS PRACTICABLE.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SOEDED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SOEDED/LANDSCAPED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
12. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
13. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
14. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
15. ON-SITE AND OFFSITE SOIL, STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH FDEP GENERIC PERMIT REQUIREMENTS.
16. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
17. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
18. CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
19. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
20. ANY ROAD CUTS FOR UTILITIES OR CURB CUTS WITHIN 50-FT IN THE CITY RIGHTS-OF-WAY SHALL BE RESTORED TO FULL LANE WIDTH, AND PROVIDE FINAL RESURFACE OF 25-FT IN EACH DIRECTION OF CUT, PER CITY CODE OF ORDINANCES SECTION 25-108 AND SHOW ON THE CIVIL PLANS THE TEMPORARY AND THE FINAL ASPHALT RESTORATION FOR MASTER PERMIT APPROVAL.

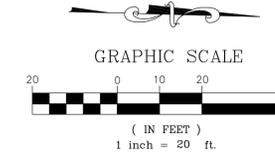
CONSTRUCTION SEQUENCE

1. CONDUCT PRE-CONSTRUCTION MEETING WITH THE COUNTY TO DISCUSS EROSION AND SEDIMENT CONTROL AND CONSTRUCTION PHASING.
 2. INSTALL STABILIZED CONSTRUCTION EXIT AND POST SWPPP AND SITE COMPLIANCE SIGNAGE PUBLICLY VISIBLE.
 3. INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN WITHIN THE CONSTRUCTION LIMITS.
 4. INSTALL CONSTRUCTION FENCES AND TEMPORARY TRAFFIC AND PEDESTRIAN CONTROL DEVICES.
 5. PREPARE TEMPORARY PARKING AND STORAGE AREAS.
 6. DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
 7. BEGIN GRADING THE SITE.
 8. BEGIN CONSTRUCTION OF UTILITIES.
 9. BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
 10. BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
 11. COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
 12. COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 13. OBTAIN CONCURRENCE FROM THE OWNER AND THE COUNTY THAT THE SITE HAS BEEN FULLY STABILIZED.
 14. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
 15. STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.
- CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

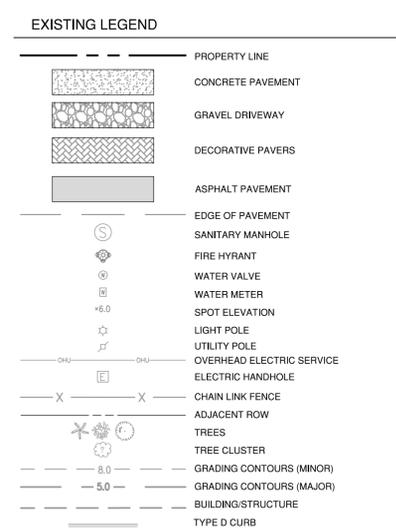
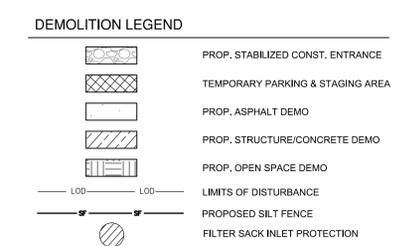
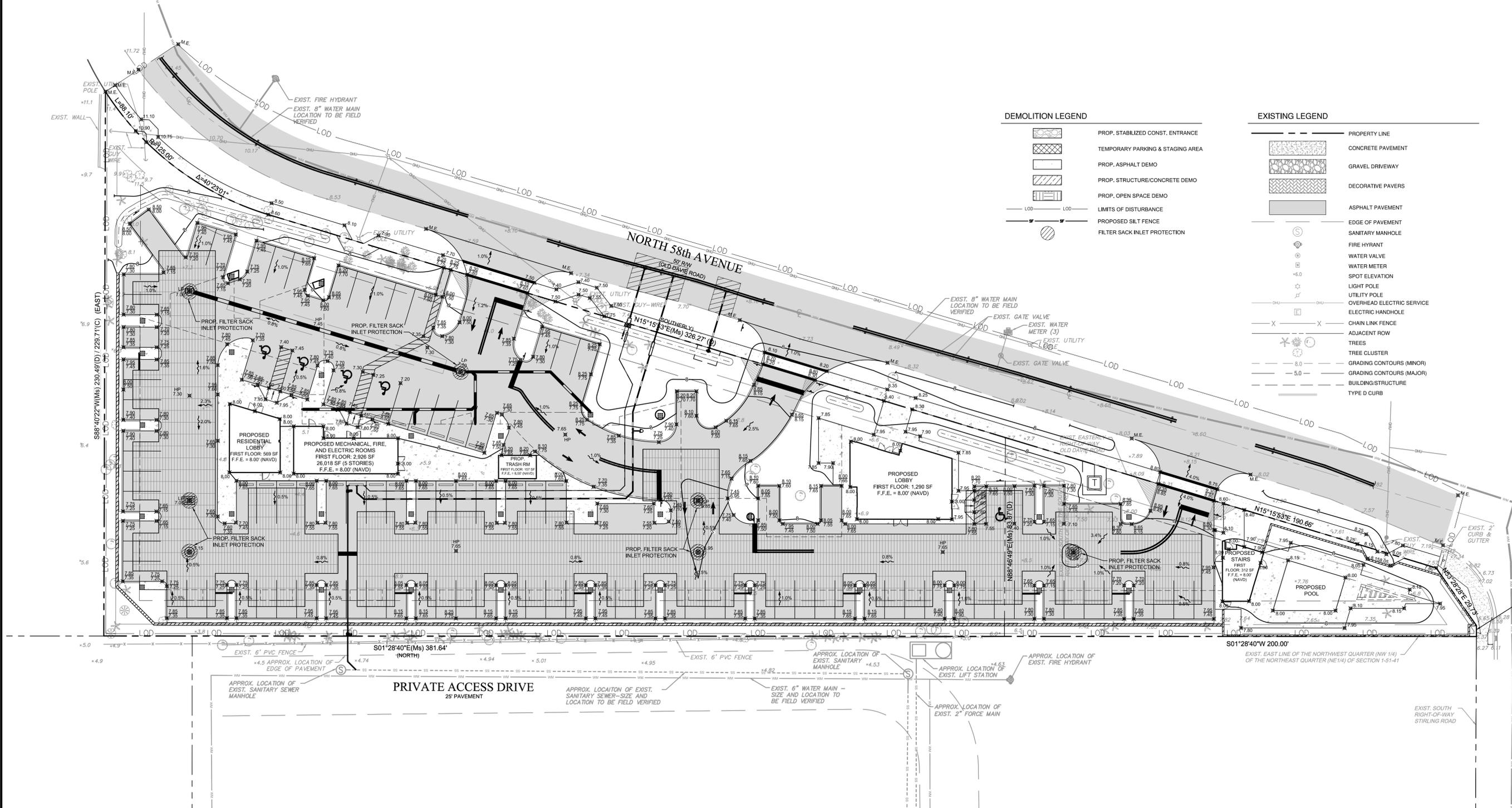
BMP MAINTENANCE NOTES

- ALL MEASURES STATED ON THESE PLANS SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION FDEP GENERIC PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
 2. ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
 4. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
 6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS, ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.
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THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRAM AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.



PLAN STATUS		
DATE	DESCRIPTION	
EL DESIGN	EL DRAWN	BP CHKD
SCALE 1" = 20'		
JOB No. 010508-01-001		
DATE 10/08/18		
FILE 010508-d-cp-001-c3-es1.dwg		
C-3		
SHEET		



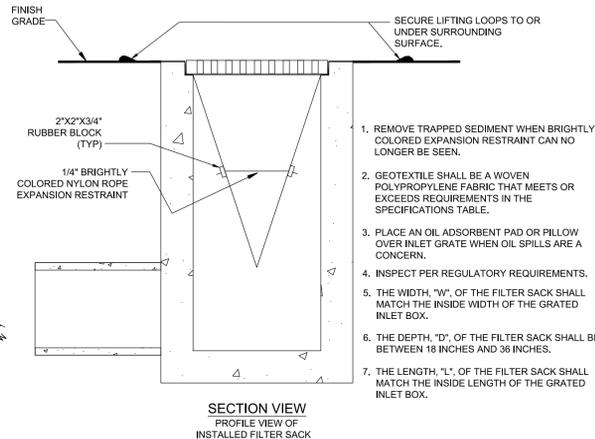
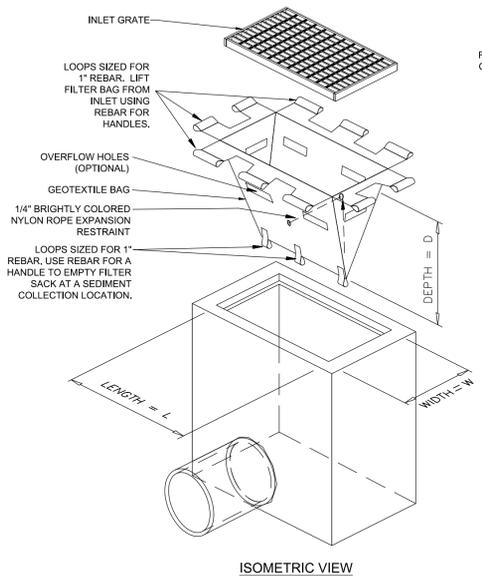
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DATE	DESCRIPTION	
EL DESIGN	EL DRAWN	BP CHKD
SCALE	1" = 20'	
JOB No.	010508-01-001	
DATE	10/08/18	
FILE	010508-d-cp-001-c4-es2.dwg	
SHEET	C-4	

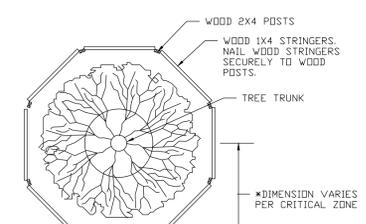


INLET FILTER DETAIL
SCALE: NONE

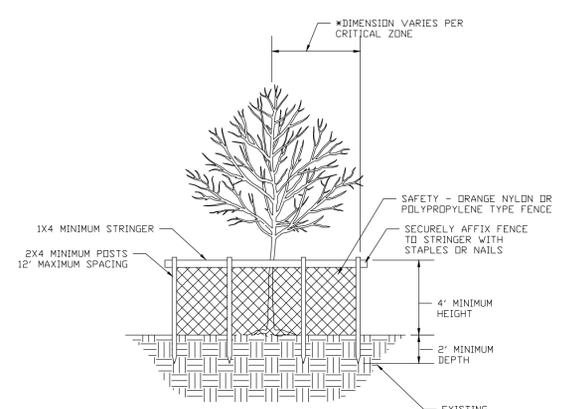
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

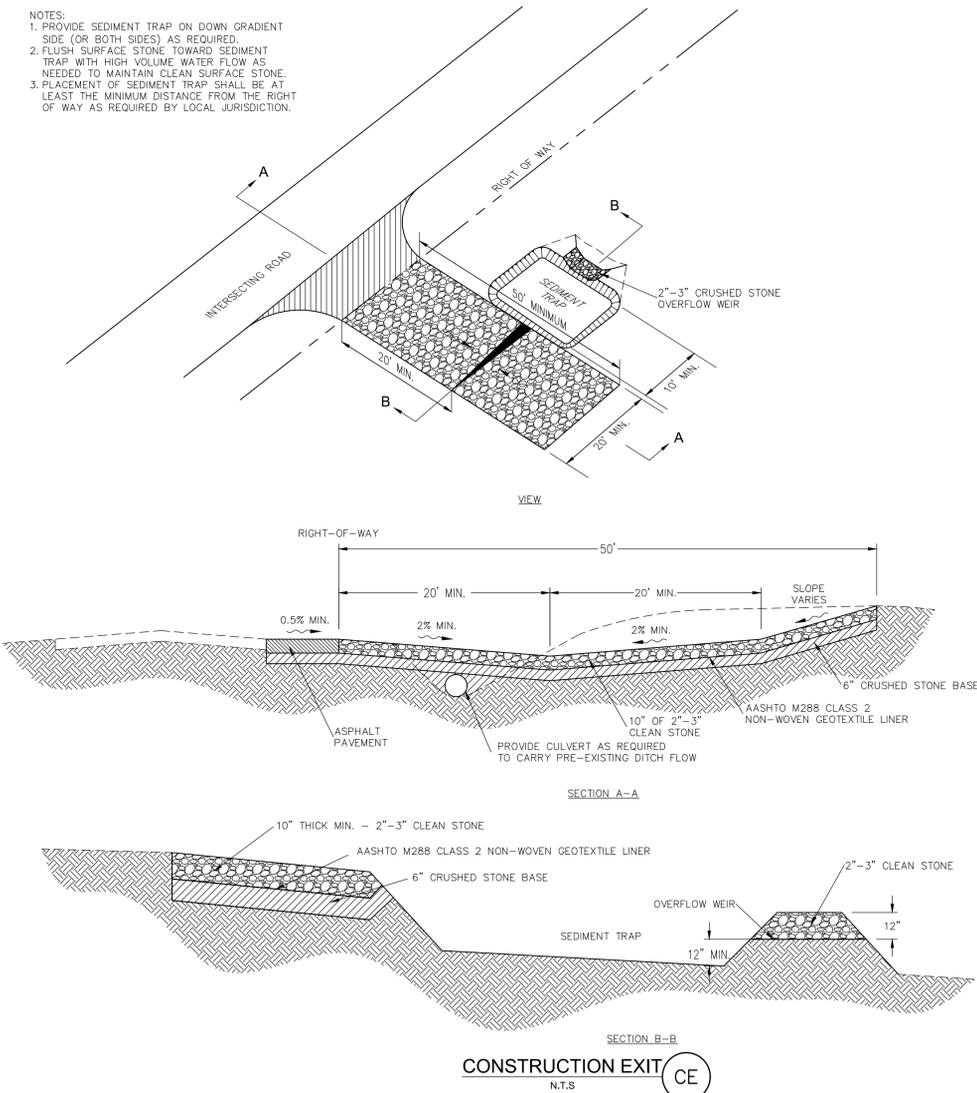


NOTE: FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.

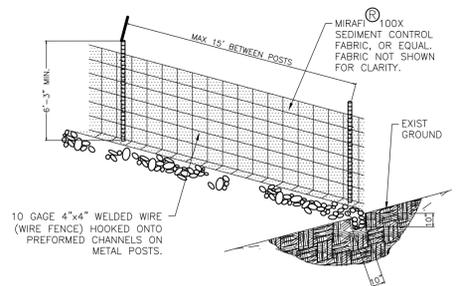


NOTES: CRITICAL PROTECTION ZONE: THE AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE TRUNK DIAMETER AT 54" ABOVE FINISHED GRADE. FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
* TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE.

TREE BARRICADE
SCALE: NONE



- NOTES:
- PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
 - FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
 - PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JURISDICTION.

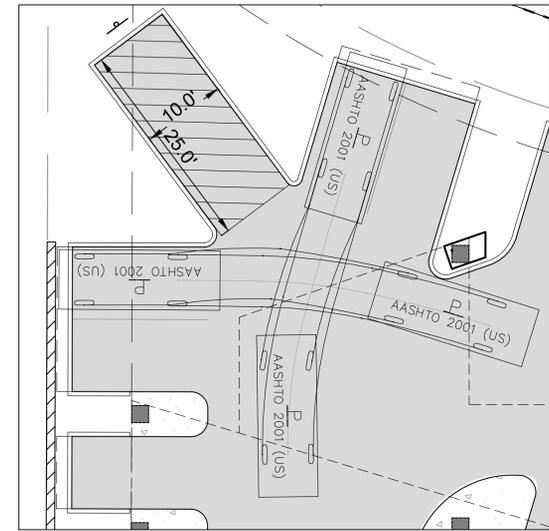
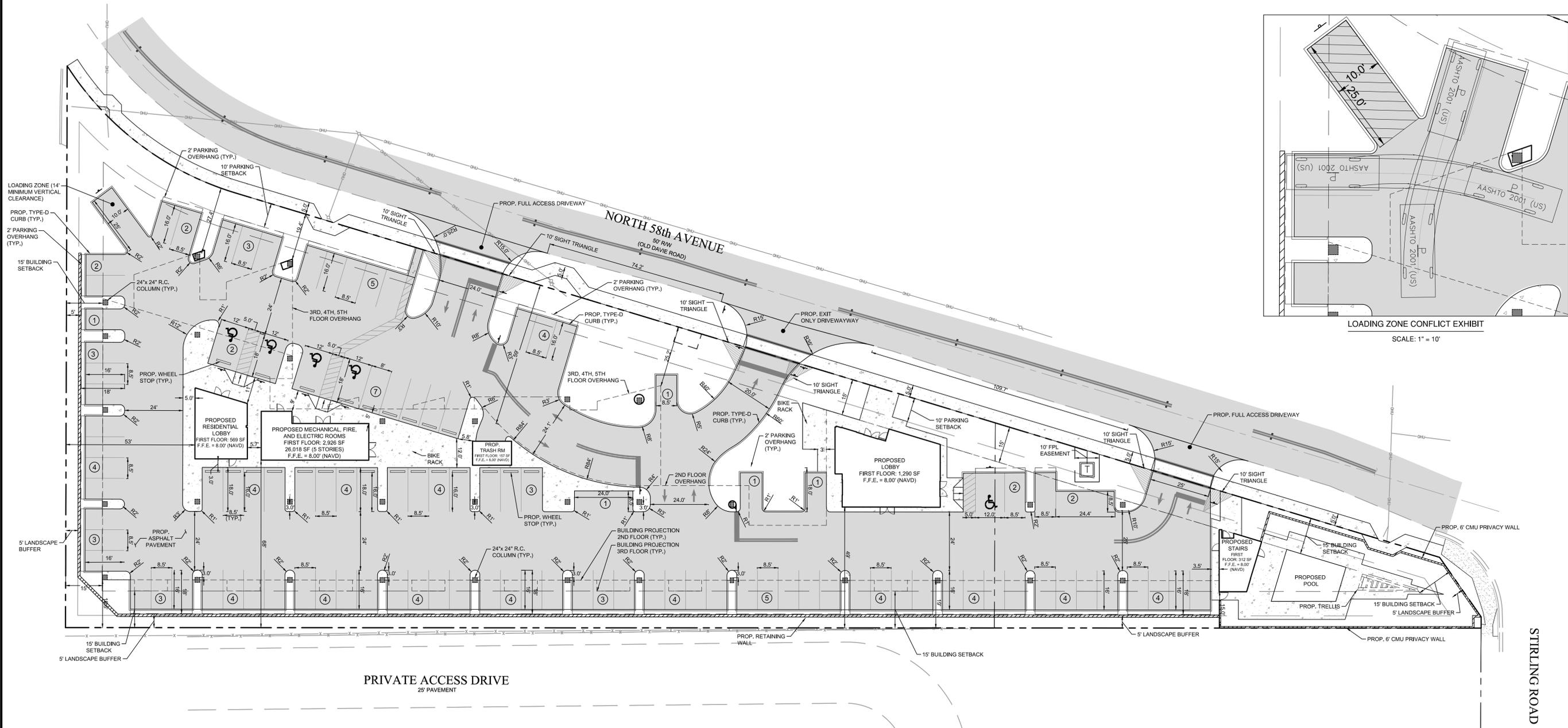


- NOTES:
- DRIVE WOOD POSTS (1.3 LBS/FT MIN) 18" MIN INTO GROUND AND EXCAVATE A 4"x4" TRENCH UPHILL 5' LONG (MIN) ALONG LINE OF POSTS. WOOD.
 - POSTS 4" IN DIAMETER OR 2"x4" MAY BE USED. ATTACH WIRE FENCE TO POSTS AND EXTEND THE BOTTOM OF THE FENCE 8" INTO THE EXCAVATED TRENCH. ALTERNATE: USE SEDIMENT CONTROL FABRIC WITH PRE-SEWN POCKETS FOR POSTS SO THAT WIRE FENCE IS NOT REQ'D.
 - ATTACH THE SEDIMENT CONTROL FABRIC (36" WIDE) TO THE WIRE FENCE W/METAL CLIPS OR WIRE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
 - BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 6" ABOVE GROUND LEVEL, SO THAT RUNOFF IS FORCED TO GO THROUGH THE FENCE AND CANNOT GO UNDER IT.
 - SILT FENCE SHALL BE MAINTAINED AND TRAPPED SEDIMENTS SHALL BE REMOVED BY THE CONTRACTOR PERIODICALLY AS DETERMINED BY THE ENGINEER OR AS NECESSARY (MAX. 6 MONTHS).
 - THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FENCES AND AREA TO BE RESTORED TO THE ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.

SILT FENCE DETAIL D105

CITY OF HOLLYWOOD

PLAN STATUS		
DATE	DESCRIPTION	
EL DESIGN	EL DRAWN	BP CHKD
SCALE 1" = 20'		
JOB No. 010508-01-001		
DATE 10/08/18		
FILE 010508-d-cp-001-c5-esd.dwg		
SHEET C-5		



EXISTING LEGEND

	PROPERTY LINE
	EDGE OF PAVEMENT
	UTILITY POLE
	OVERHEAD ELECTRIC SERVICE
	CHAIN LINK FENCE
	ADJACENT ROW
	RIGHT-OF-WAY CENTERLINE

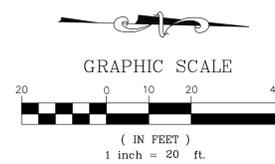
PROPOSED LEGEND

	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	BUILDING OVERHANG (2ND FLOOR)
	BUILDING OVERHANG (3RD, 4TH, 5TH FLOOR)
	2' VEHICLE PARKING OVERHANG
	4' WHITE PARKING STRIPE
	6' WHITE STRIPE
	SIGN
	PARKING COUNT
	REINFORCED CONCRETE COLUMN

- GENERAL NOTES:**
1. ALL LIGHTING LEVELS SHALL NOT EXCEED 0.5 FOOT-CANDLES AT ANY PROPERTY LINE ADJACENT TO RESIDENTIAL DEVELOPMENT.
 2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
 3. ALL SIDEWALK REPAIRS SHALL BE FULL FLAG REPLACEMENT. PARTIAL FLAG REPAIR OF SIDEWALKS IS NOT PERMITTED.
 4. NO SIGNIFICANT AREAS OF RARE AND UNIQUE UPLAND HABITATS EXIST ON SITE.
 5. NO KNOWN RECORDED HISTORICAL OR ARCHAEOLOGICAL SITES EXIST ON SITE.
 6. THIS PROJECT PRESENTS NO ADVERSE IMPACTS ON LOCAL GROUND OR SURFACE WATERS
 7. THIS PROJECT DOES NOT ADVERSELY IMPACT A FLOOD PLAIN
 8. THIS PROJECT DOES NOT IMPACT ANY KNOWN UNMITIGATED WETLANDS, AND THE SITE DOES NOT EXHIBIT ANY SALTWATER PONDING.
 9. ELECTRICAL VEHICLE CHARGING STATION INFRASTRUCTURE TO BE PROVIDED PER CITY OF HOLLYWOOD ORDINANCE 0-2016-02.
 10. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
 11. ALL LIGHTING LEVELS SHALL NOT EXCEED 0.5 FOOT-CANDLES AT ANY PROPERTY LINE ADJACENT TO RESIDENTIAL DEVELOPMENT.
 12. ALL MECHANICAL AND HABITABLE SPACES LOCATED ON THE FIRST FLOOR SHALL BE FLOOD-PROOFED TO 6" ABOVE HIGHEST ADJACENT CROWN OF ROAD - 12.00' NAVD.
 13. ALL SIGNAGE AND MARKING SHALL BE IN COMPLIANCE WITH BROWARD COUNTY'S PAVEMENT MARKINGS AND SIGN DETAILS, SHEET 1 OF 1, AND APPLICABLE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARD INDICES.
 14. ALL PROPOSED STRIPING AND PAVEMENT MARKINGS SHALL BE APPLIED USING THERMOPLASTIC MATERIAL.

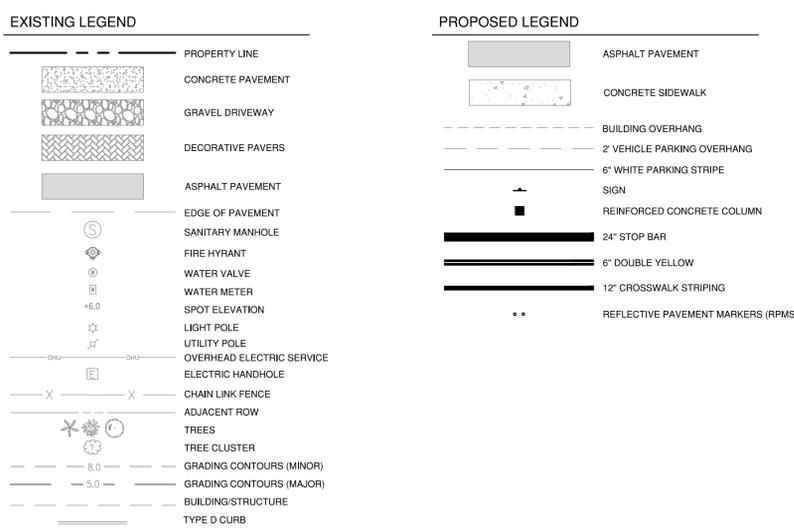
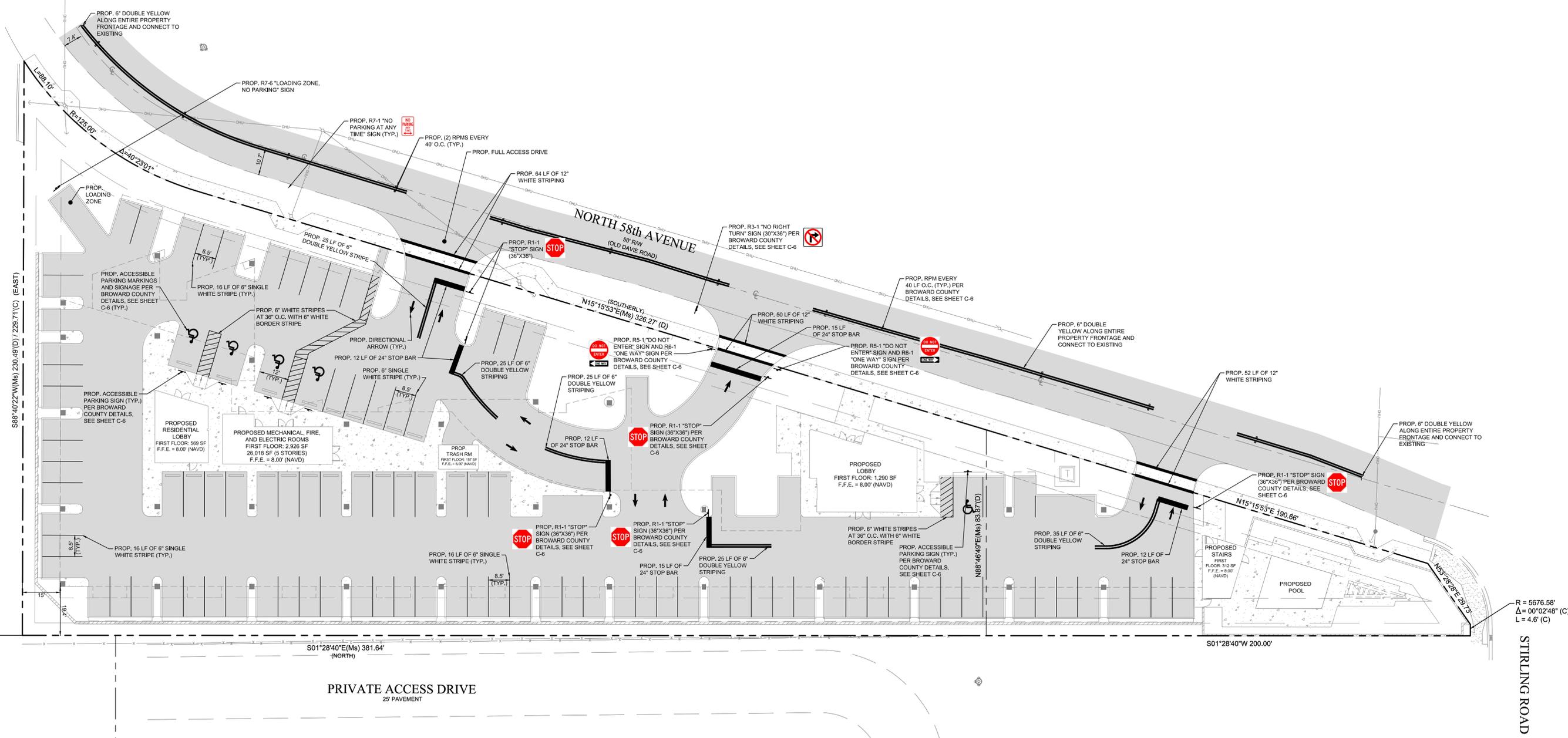
LEGAL DESCRIPTION:
 A PORTION OF THE NW 1/4 OF THE NE 1/4 OF SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF SAID NW 1/4 OF THE NE 1/4; THENCE, NORTH ALONG THE EAST LINE OF SAID NW 1/4 OF THE NE 1/4, A DISTANCE OF 750.00 FEET TO THE POINT OF BEGINNING; THENCE, CONTINUING NORTH ALONG SAID EAST LINE 381.64 FEET; THENCE, WEST PARALLEL TO THE SOUTH LINE OF SAID NW 1/4 OF THE NE 1/4, A DISTANCE OF 83.87 FEET TO THE EAST RIGHT-OF-WAY OF OLD DAVIE ROAD; THENCE, SOUTH-WESTERLY ALONG SAID RIGHT-OF-WAY LINE 328.27 FEET TO THE POINT OF CURVATURE OF A 125.00 FOOT RADIUS CURVE CONCAVE NORTH-WESTERLY; THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, SOUTH-WESTERLY ALONG THE ARC OF SAID CURVE, HAVING A CENTRAL ANGLE OF 40°23'01", AN ARC DISTANCE OF 88.10 FEET TO A POINT OF NON-TANGENCY; THENCE, EAST PARALLEL WITH SAID SOUTH LINE OF SAID NW 1/4 OF THE NE 1/4, A DISTANCE OF 230.49 FEET TO THE POINT OF BEGINNING. TOGETHER WITH:
 THAT PORTION OF THE NORTHWEST ONE QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SOUTHWEST CORNER OF SAID NORTHWEST ONE QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 1; THENCE ON AN ASSUMED BEARING OF NORTH ALONG THE EAST LINE OF SAID NORTHWEST ONE-QUARTER (NW 1/4) A DISTANCE OF 1129.68 FEET, MORE OR LESS, TO A POINT 200.00 FEET SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF STIRLING ROAD AND THE POINT OF BEGINNING; THENCE WEST A DISTANCE OF 84.65 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF OLD DAVIE ROAD; THENCE NORTH 11°30'10" EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 190.66 FEET; THENCE NORTH 75°54'48" EAST A DISTANCE OF 29.73 FEET TO SAID SOUTH RIGHT-OF-WAY LINE STIRLING ROAD AND THE BEGINNING OF A 5076.58 FOOT RADIUS CURVE TO THE SOUTH; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 0°02'58" AN ARC DISTANCE OF 4.90 FEET TO SAID EAST LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 1; THENCE SOUTH ALONG SAID EAST LINE A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING.
 SAID LAND LYING IN BROWARD COUNTY, FLORIDA AND CONTAINS 54,552 SQUARE FEET (1.2523 ACRES) MORE OR LESS.

SITE CALCULATIONS		
TOTAL SITE AREA	65,163 SF	1.50 ACRES 100%
IMPERVIOUS AREA		
BUILDING AREA	30,843 SF	0.71 ACRES 47%
ASPHALT PAVEMENT & SIDEWALKS (HARDSCAPE)	48,995 SF	1.12 ACRES 75%
HARDSCAPE BENEATH BUILDING	(30,393 SF)	(0.70 ACRES) ---
TOTAL IMPERVIOUS AREA	49,445 SF	1.14 ACRES (76% OF SITE AREA)
PERVIOUS AREA		
REQUIRED	PROVIDED	
10% MIN. PERVIOUS AREA	15,708 SF (24% OF SITE AREA)	
BUILDING SETBACKS		
	REQUIRED	PROVIDED
FRONT (RESIDENTIAL)	MIN. 15' - 0"	15' - 0"
FRONT (NON-RESIDENTIAL)	MIN. 10' - 0"	15' - 0"
SIDE INTERIOR	0' - 0"	15' - 0" MIN.
ALLEY	MIN. 5' - 0"	N/A
LANDSCAPE SETBACKS		
	REQUIRED	PROVIDED
FRONT (RESIDENTIAL)	MIN. 10' - 0"	10' - 0"
FRONT (NON-RESIDENTIAL)	MIN. 10' - 0"	15' - 0"
SIDE INTERIOR	MIN. 5' - 0"	5' - 0" MIN.
ALLEY	MIN. 5' - 0"	N/A



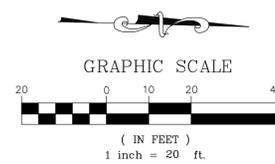
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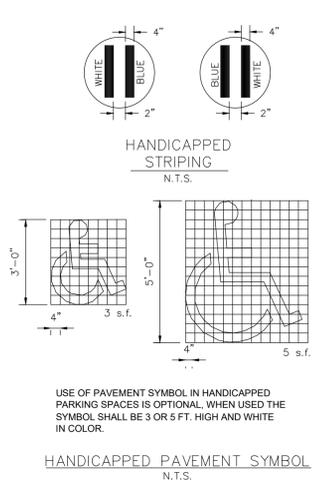
SCALE	1" = 20'
JOB No.	010508-01-001
DATE	10/08/18
FILE	010508-d-cp-001-c7-rmp.dwg
SHEET	C-7



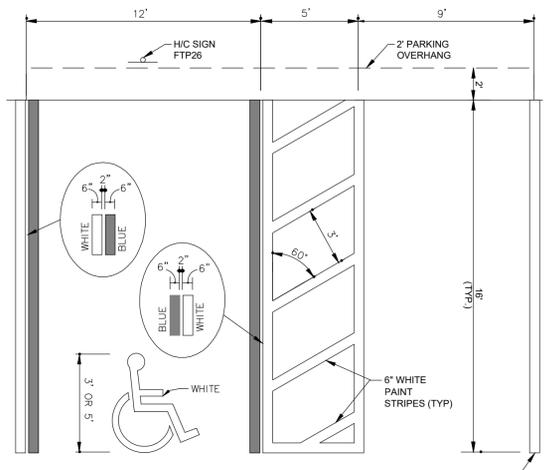
GENERAL NOTES:

- ALL SIGNAGE AND MARKING SHALL BE IN COMPLIANCE WITH BROWARD COUNTY'S PAVEMENT MARKINGS AND SIGN DETAILS, SHEET 1 OF 1, AND APPLICABLE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARD INDICES.
- ALL PROPOSED STRIPING AND PAVEMENT MARKINGS SHALL BE APPLIED USING THERMOPLASTIC MATERIAL.

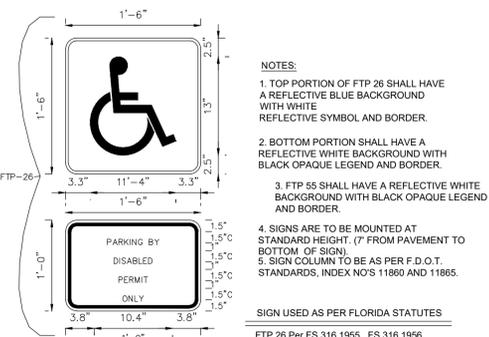




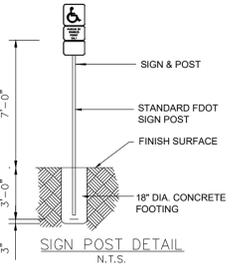
ADA PARKING STRIPING
SCALE: NONE



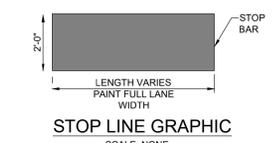
PARKING LOT STRIPING DETAIL
SCALE: NONE



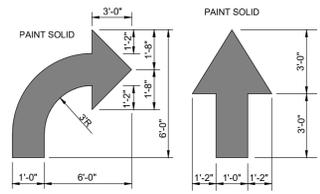
ADA SIGNAGE
SCALE: NONE



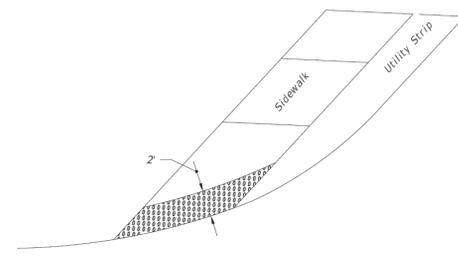
SIGN POST DETAIL
N.T.S.



STOP LINE GRAPHIC
SCALE: NONE



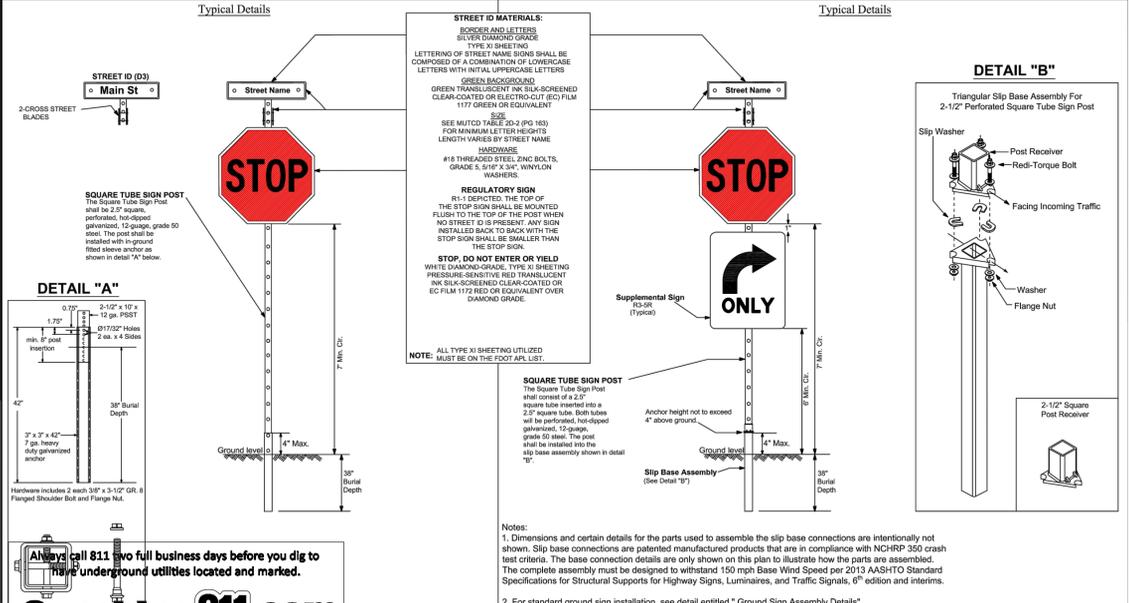
DIRECTIONAL ARROW
SCALE: NONE



SIDEWALK DETECTABLE WARNING
SCALE: NONE

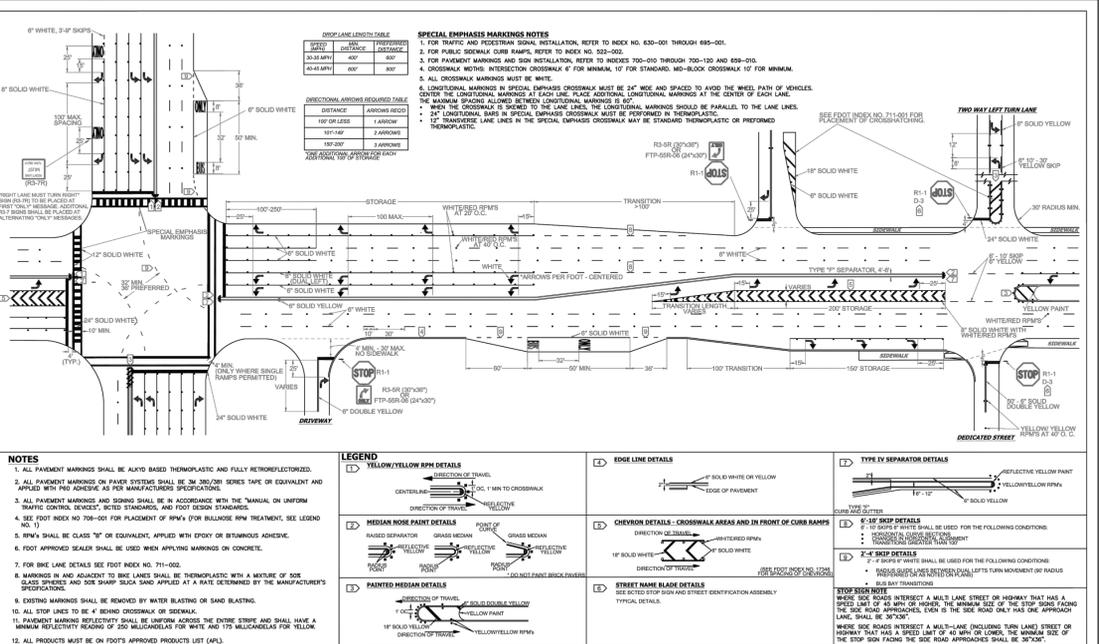
FOR SIGN ASSEMBLIES WITH MAXIMUM 8.75 SQUARE FOOT PANEL AREA

FOR SIGN ASSEMBLIES WITH GREATER THAN 8.75 SQUARE FOOT PANEL AREA WITH SUPPLEMENTAL SIGN



STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS

SHEET NO. 1 OF 1

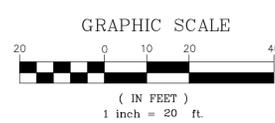


PAVEMENT MARKINGS AND SIGNS DETAILS

SHEET NO. 1 OF 1

Sunshine811.com
PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION
DESIGN BY: CARMELO CARATOZZOLO, P.E.
SCALE: NTS
DRAWN BY: STEPHEN RAMOUTAR
CHECKED BY: ANDREW SEBO, P.E., PTOE

BROWARD COUNTY
PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION
DESIGN BY: CARMELO CARATOZZOLO, P.E.
SCALE: NTS
DRAWN BY: STEPHEN RAMOUTAR
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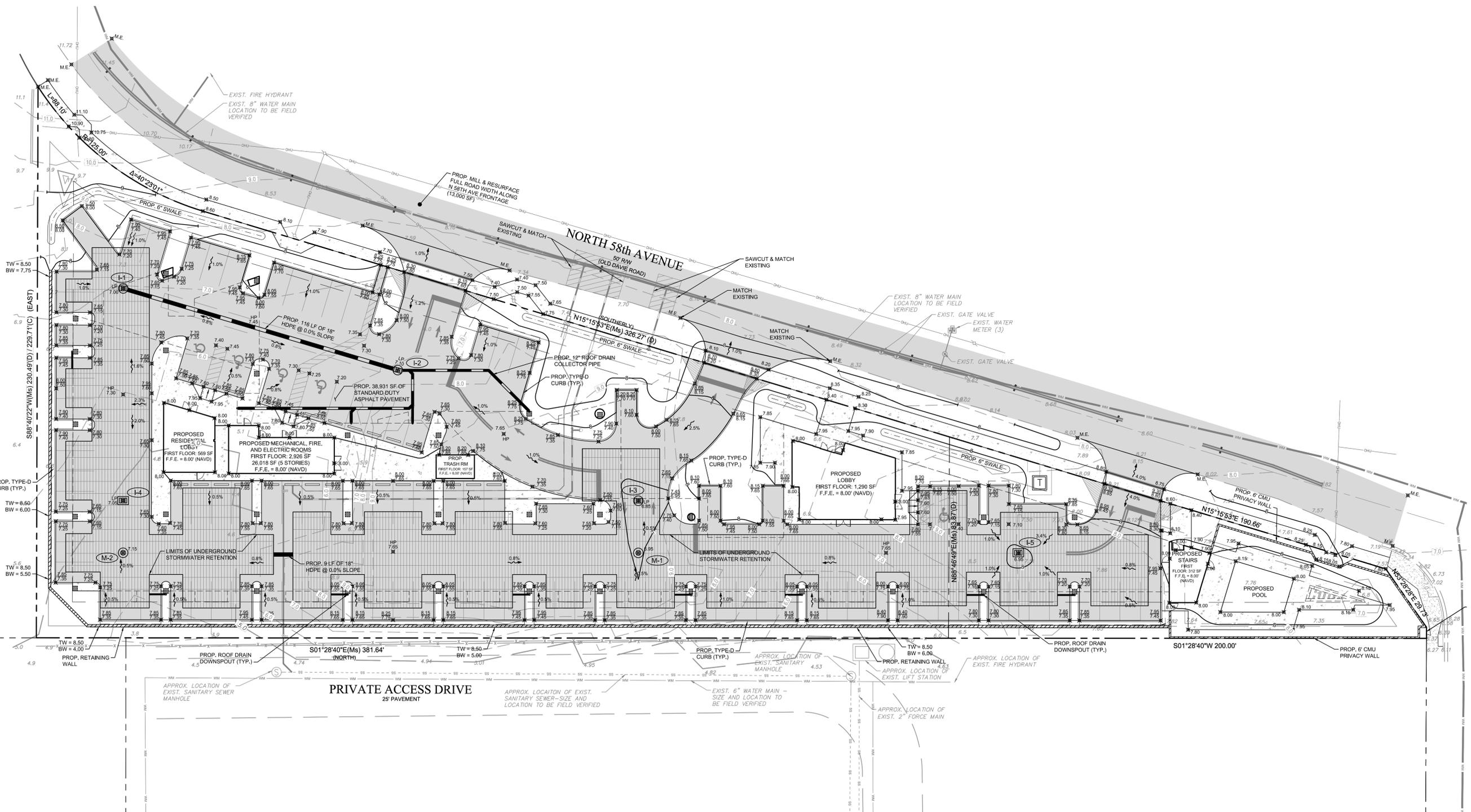
Bowman CONSULTING GROUP
13450 W. Sunrise Blvd., Suite 320
Sunrise, FL 33323
Phone: (954) 314-9480
www.bowmanconsulting.com
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SITE DETAILS
58 OAK
4231 NORTH 58TH AVENUE
BROWARD COUNTY, FLORIDA
CITY OF HOLLYWOOD

PLAN STATUS

DATE	DESCRIPTION
EL DESIGN	EL DRAWN
SCALE	AS SHOWN
JOB No.	010508-01-001
DATE	10/08/18
FILE	010508-d-cp-001-c8-det.dwg

SHEET **C-8**



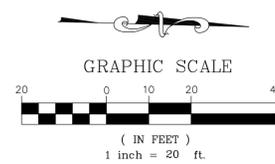
EXISTING LEGEND		PROPOSED LEGEND	
	PROPERTY LINE		CONCRETE PAVEMENT
	EDGE OF PAVEMENT		ASPHALT PAVEMENT
	SANITARY MANHOLE		UNDERGROUND STORMWATER RETENTION
	FIRE HYDRANT		BUILDING OVERHANG (2ND FLOOR)
	WATER VALVE		BUILDING OVERHANG (3RD, 4TH & 5TH FLOOR)
	UTILITY POLE		2' VEHICLE PARKING OVERHANG
	ELECTRIC HANDHOLE		4' WHITE PARKING STRIPE
	CHAIN LINK FENCE		6' WHITE STRIPE
	ADJACENT ROW		SIGN
	RIGHT-OF-WAY CENTERLINE		REINFORCED CONCRETE COLUMN
	WATER MAIN		WATER
	SEWER MAIN		SANITARY SEWER

STRUCTURE #	GRATE/INLET TYPE	BOT. STR. TYPE	RIM	N INVERT	E INVERT	S INVERT	W INVERT
I-1	TYPE "C"	TYPE "C"	7.00	2.25 [ⓑ]	2.25 [ⓑ]	-----	-----
I-2	TYPE "C"	TYPE "C"	7.10	2.25 [ⓑ]	-----	-----	-----
I-3	TYPE "C"	TYPE "C"	6.85	-----	-----	-----	2.25 [ⓑ]
I-4	TYPE "C"	TYPE "C"	7.05	-----	2.25	-----	2.25 [ⓑ]
I-5	TYPE "C"	TYPE "C"	6.95	-----	-----	2.25 [ⓑ]	-----
M-1	MANHOLE	-----	6.95	-----	-----	2.25	2.25
M-2	MANHOLE	-----	7.15	2.25	-----	-----	2.25

DATUM NOTE
 1. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD)

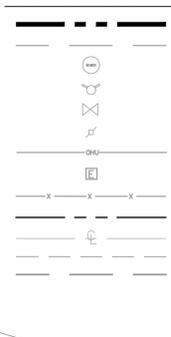
[ⓑ] - POLLUTION CONTROL BAFFLE TO BE INSTALLED PER DRAINAGE DETAIL SHEET C7

Always call 811 two full business days before you dig to have underground utilities located and marked.

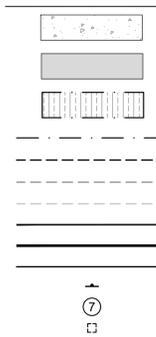


PLAN STATUS		
DATE	DESCRIPTION	
EL DESIGN	EL DRAWN	BP CHKD
SCALE	1" = 20'	
JOB No.	010508-01-001	
DATE	10/08/18	
FILE	010508-d-cp-001-c8-grp.dwg	
SHEET	C-9	

EXISTING LEGEND

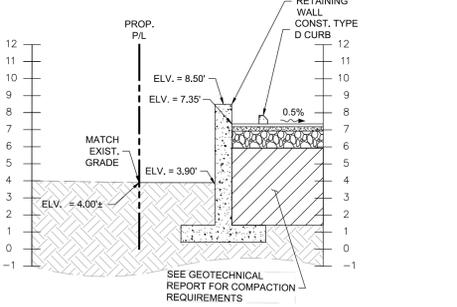
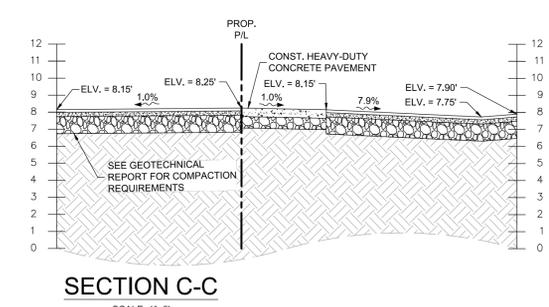
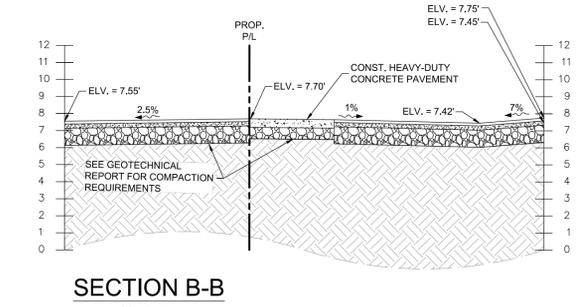
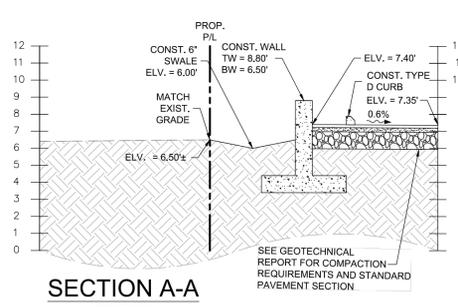
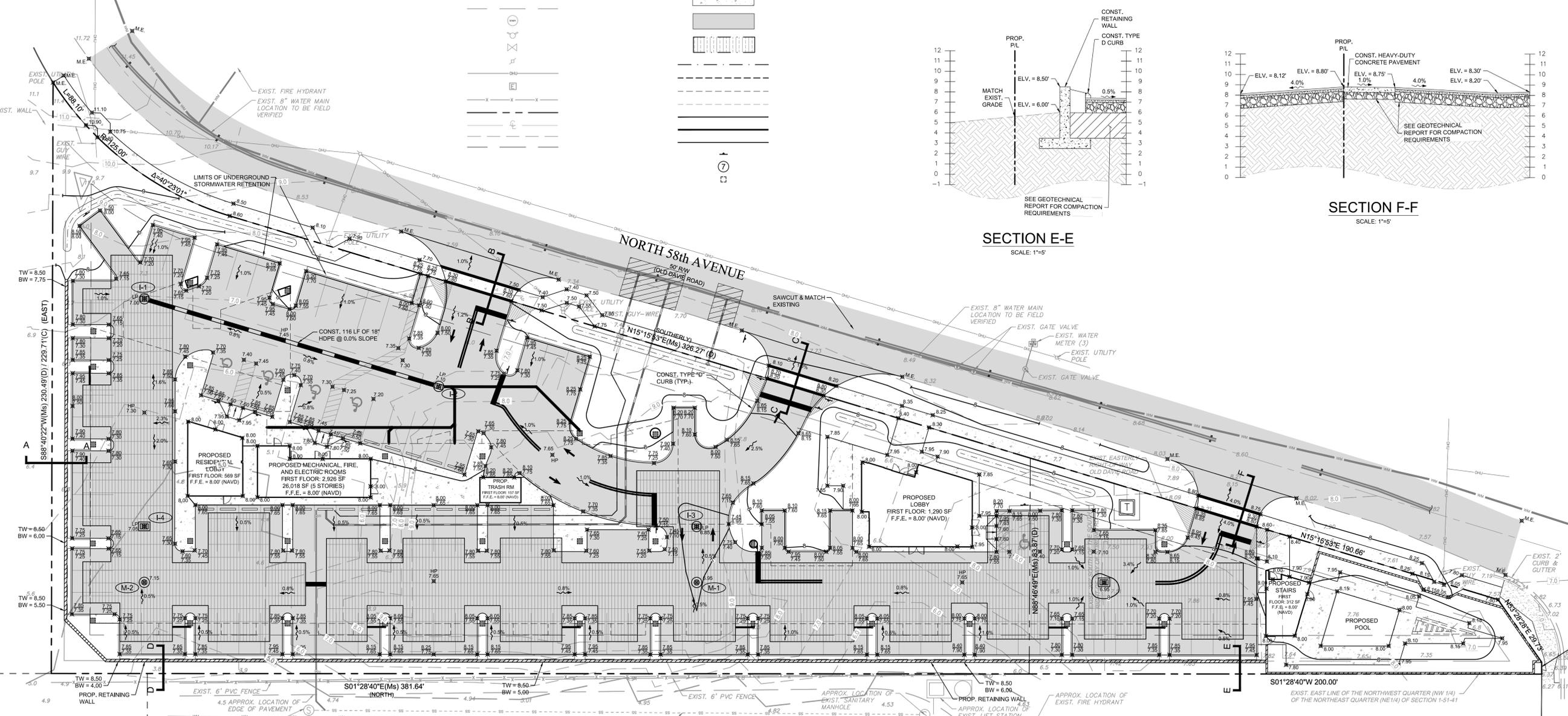
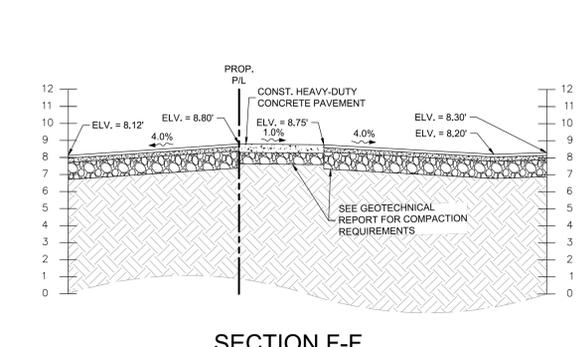
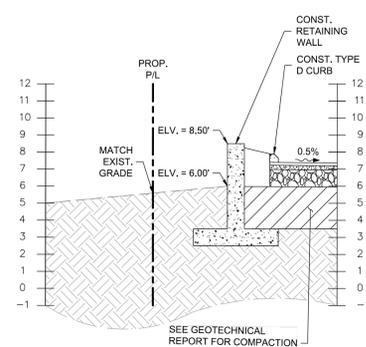


PROPOSED LEGEND

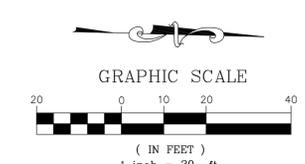


DATUM NOTE

1. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD)



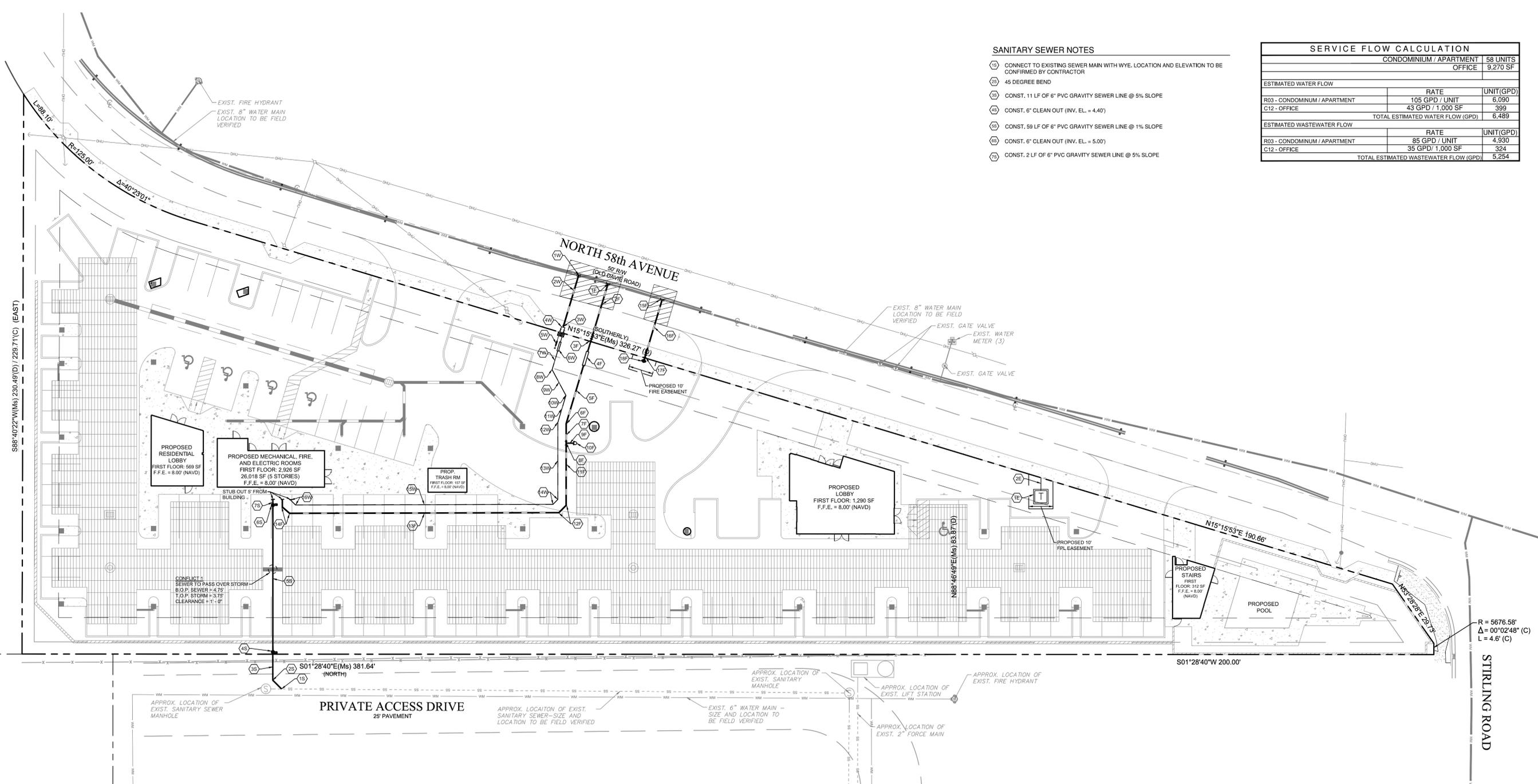
Always call 811 two full business days before you dig to have underground utilities located and marked.



SERVICE FLOW CALCULATION		
CONDOMINIUM / APARTMENT	58 UNITS	
OFFICE	9,270 SF	
ESTIMATED WATER FLOW		
	RATE	UNIT(GPD)
R03 - CONDOMINIUM / APARTMENT	105 GPD / UNIT	6,090
C12 - OFFICE	43 GPD / 1,000 SF	399
TOTAL ESTIMATED WATER FLOW (GPD)		
		6,489
ESTIMATED WASTEWATER FLOW		
	RATE	UNIT(GPD)
R03 - CONDOMINIUM / APARTMENT	85 GPD / UNIT	4,930
C12 - OFFICE	35 GPD / 1,000 SF	324
TOTAL ESTIMATED WASTEWATER FLOW (GPD)		
		5,254

SANITARY SEWER NOTES

- 15 CONNECT TO EXISTING SEWER MAIN WITH WYE. LOCATION AND ELEVATION TO BE CONFIRMED BY CONTRACTOR
- 25 45 DEGREE BEND
- 35 CONST. 11 LF OF 6" PVC GRAVITY SEWER LINE @ 5% SLOPE
- 45 CONST. 6" CLEAN OUT (INV. EL. = 4.40')
- 55 CONST. 59 LF OF 6" PVC GRAVITY SEWER LINE @ 1% SLOPE
- 65 CONST. 6" CLEAN OUT (INV. EL. = 5.00')
- 75 CONST. 2 LF OF 6" PVC GRAVITY SEWER LINE @ 5% SLOPE



EXISTING LEGEND

- PROPERTY LINE
- CONCRETE PAVEMENT
- EDGE OF PAVEMENT
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- LIGHT POLE
- UTILITY POLE
- OVERHEAD ELECTRIC SERVICE
- ELECTRIC HANDHOLE
- CHAIN LINK FENCE
- ADJACENT ROW
- TYPE D CURB

PROPOSED LEGEND

- CONCRETE PAVEMENT
- UNDERGROUND STORMWATER RETENTION
- UNDERGROUND STORMWATER RETENTION
- LANDSCAPE BUFFER
- 2" VEHICLE PARKING OVERHANG
- 4" WHITE PARKING STRIPE
- 6" WHITE STRIPE
- SIGN
- REINFORCED CONCRETE COLUMN
- WATER VALVE
- WATER METER
- WATER SERVICE
- SANITARY SEWER GRAVITY SERVICE
- SANITARY SEWER CLEAN OUT
- FIRE DEPARTMENT CONNECTION
- TEE

GENERAL UTILITY NOTES

- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION.
- CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
- ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS AND STANDARDS.
- ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
- IF PAVEMENT WITHIN RIGHT-OF-WAY IS DAMAGED DURING UTILITY CONSTRUCTION, FULL LANE WIDTH PAVEMENT RESTORATION WITH LENGTH EQUAL TO WIDTH IS REQUIRED PER PAVEMENT RESTORATION DETAIL G-12.1 ON PLAN SHEET C6.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
- ANY WATER AND/OR SEWER CONNECTIONS IN THE RIGHT-OF-WAY MUST BE COORDINATED AND SUPERVISED BY UTILITY DISTRICT PERSONNEL. PLEASE GIVE 72 HOURS NOTICE FOR CONNECTIONS.
- FIRE MAIN UNDERGROUND WORK TO BE COMPLETED BY CONTRACTOR I, II, OR V PER FS. 633.102.
- BUILDING SHALL BE COMPLIANT WITH NFPA 1.11.10" TWO-WAY RADIO COMMUNICATION SYSTEMS AND BROWARDBUILDING CODE AMENDMENT 118.2
- A KNOX BOX SHALL BE INSTALLED FOR FIRE DEPARTMENT ACCESS.

ELECTRICAL NOTES

- 15 TRANSFORMER - CONSTRUCTED BY OTHERS
- 25 CONST. 5 LF ELECTRIC SERVICE (BY OTHERS)

FIRE NOTES

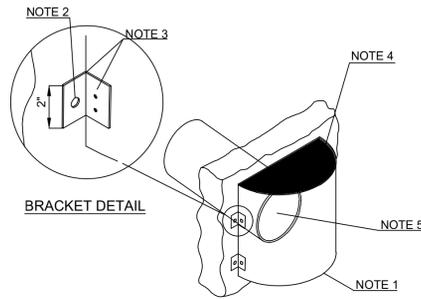
- 15 CONNECT TO EXISTING 8" DIP WATER MAIN WITH 8" X 6" TAPPING SLEEVE AND VALVE. CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING MAIN PRIOR TO CONSTRUCTION
- 25 CONST. 26 LF OF 6" FIRE SERVICE
- 35 CONST. 6" GATE VALVE AT PROPERTY LINE
- 45 CONST. 6" DOUBLE DETECTOR CHECK VALVE (D.D.C.V.)
- 55 CONST. 25 LF OF 6" FIRE SERVICE
- 65 CONST. 6" 22.5' BEND
- 75 CONST. 8 LF OF 6" FIRE SERVICE
- 85 CONST. 6" X 6" TEE
- 95 CONST. 3 LF OF 6" FIRE SERVICE
- 105 CONST. FIRE DEPARTMENT CONNECTION (F.D.C)
- 115 CONST. 26 LF OF 6" FIRE SERVICE
- 125 CONST. 6" 45' BEND
- 135 CONST. 111 LF OF 6" FIRE SERVICE
- 145 CONST. 6" 45' BEND
- 155 CONNECT TO EXISTING 8" DIP WATER MAIN WITH 8" X 6" TAPPING SLEEVE AND VALVE. CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING MAIN PRIOR TO CONSTRUCTION
- 165 CONST. 26 LF OF 6" FIRE SERVICE
- 175 CONST. 6" GATE VALVE AT PROPERTY LINE
- 185 CONST. FIRE HYDRANT PER CITY OF HOLLYWOOD STANDARD DETAILS

WATER NOTES

- 15 CONNECT TO EXISTING 8" DIP WATER MAIN WITH 8" X 4" TAPPING SLEEVE AND VALVE. CONTRACTOR TO CONFIRM LOCATION, SIZE, AND ELEVATION OF EXISTING MAIN PRIOR TO CONSTRUCTION
- 25 CONST. 25 LF OF 4" DIP WATER PIPE
- 35 CONST. 4" X 2" REDUCER AT PROPERTY LINE
- 45 CONST. DUAL METER SERVICE - 2" METER (DOMESTIC) - 1" METER (IRRIGATION)
- 55 CONST. 1" VACUUM PRESSURE BREAKER (SEE IRRIGATION PLANS FOR CONTINUATION)
- 65 CONST. 2" BACK FLOW PREVENTER
- 75 CONST. 8 LF OF 2" WATER SERVICE
- 85 CONST. 2" 45' BEND
- 95 CONST. 12 LF OF 2" WATER SERVICE
- 105 CONST. 2" 22.5' BEND
- 115 CONST. 32 LF OF 2" WATER SERVICE
- 125 CONST. 2" 45' BEND
- 135 CONST. 106 LF OF 2" WATER SERVICE
- 145 CONST. 2" 45' BEND

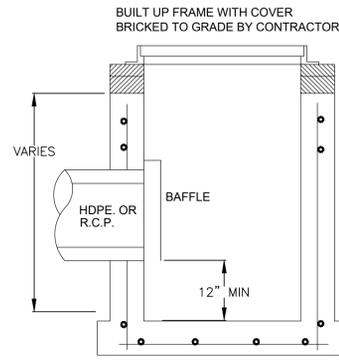


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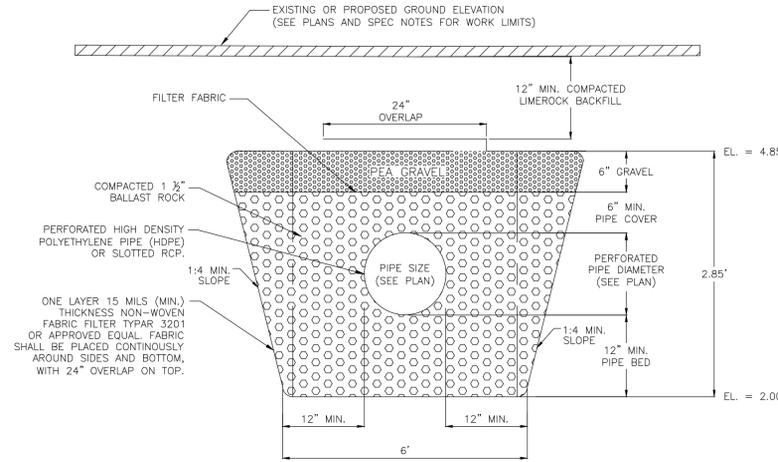
BAFFLE DETAIL
SCALE: NONE

- NOTES:**
- 1) BAFFLE SHALL BE C.M.P. OR C.A.P. SECTION (OUTFALL DIAMETER PLUS 6").
 - 2) 1/2" GALV. WEDGE ANCHORS (ULT. PULLOUT 6000, ULT. SHEAR 9000).
 - 3) WELD OR 2-3/8" THRU BOLTS
 - 4) BOLTED TO WALL WITH TOP CAPPED, (WATER TIGHT)
 - 5) CONSTRUCT CAP WITH 2" DIAMETER OUTLET



- NOTES:**
- 1) MINIMAL CONC. STRENGTH FOR ALL CATCH BASINS AND MANHOLE STRUCTURES SHALL BE 4000 PSI.
 - 2) CONTRACTOR IS RESPONSIBLE FOR FINAL ELEVATION AND LOCATION ADJUSTMENTS OF CATCH BASINS, GRATES, MANHOLES DUE TO FIELD CONSTRAINTS.
 - 3) THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.

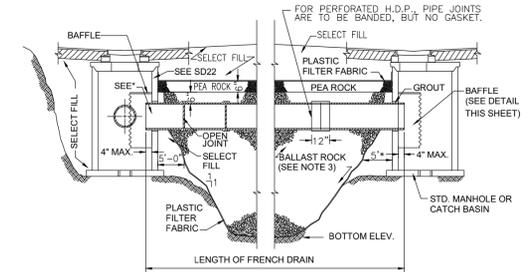
INLET BAFFLE DETAIL
SCALE: NONE



TRANSVERSE CROSS SECTION

- NOTES:**
1. CONTRACTOR MUST READ AND ABIDE THE CITY'S GENERAL CONSTRUCTION NOTES AND DRAINAGE DESIGN NOTES PRIOR TO STARTING CONSTRUCTION.
 2. THE STANDARD CROSS SECTION SHALL BE CONSTRUCTED UNLESS OTHER SECTIONS ARE DESCRIBED OR DETAILED ON PLANS.
 3. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS.
 4. THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.
 5. FRENCH DRAINS MUST BE INSPECTED BY THE ENGINEERING INSPECTOR PRIOR TO CONTRACTOR BACKFILLING.

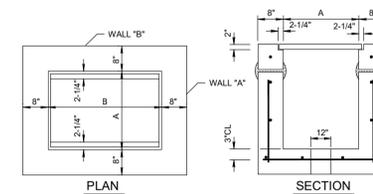
EXFILTRATION TRENCH SYSTEM D620



LONGITUDINAL SECTION

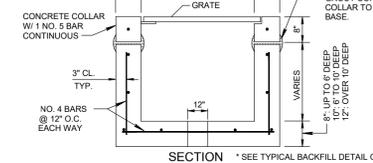
- *NO SLOTS OR PERFORATIONS ON THIS LENGTH OF PIPE.**
- NOTES:**
1. PLASTIC FILTER FABRIC (AT EA. SIDE) SHALL BE USED IN ALL AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
 2. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THESE DETAILS.
 3. INVERT ELEVATION TO BE AS SHOWN IN DRAINAGE STRUCTURE SCHEDULE (SHEET C3) AVERAGE OCTOBER GROUND WATER LEVEL APPROXIMATELY 6" BELOW SURFACE.

20D EXFILTRATION TRENCH DETAIL
SCALE: NONE



PLAN SECTION

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.

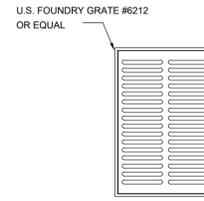


SECTION

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.

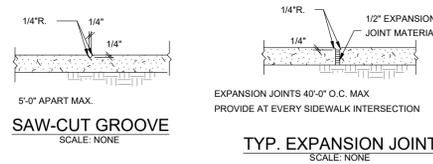
- NOTES:**
1. INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.
 2. ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
 3. 12" DIA. WEEP HOLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE.
 4. 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
 5. SEE BEDDING DETAIL

TYPE C INLET
SCALE: NONE



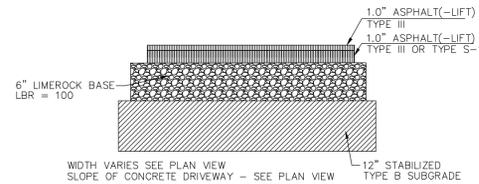
TYPE 'C'

- NOTES:**
1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
 2. WHEN INSTALLED IN PAVEMENT OR WITHIN 6" OF PAVEMENT USE U.S.F. 4160-6210



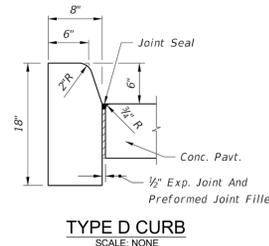
SAW-CUT GROOVE
SCALE: NONE

TYP. EXPANSION JOINT
SCALE: NONE

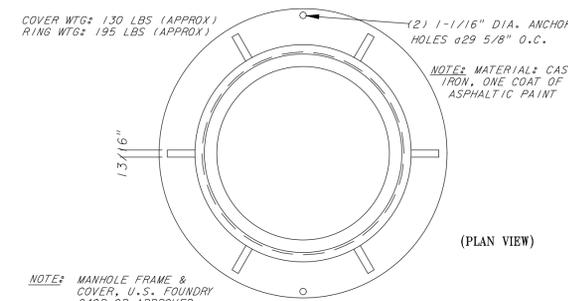


- 1.** COMPACT THE TOP 8 INCHES OF THE PAVEMENT STABILIZED SUBBASE TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557, AASHTO T-180). THE LBR REQUIREMENT IS 40 (MINIMUM). LBR TESTING OF THE PROPOSED SUB GRADE SOILS MUST BE PERFORMED WELL IN ADVANCE OF PAVEMENT SECTION CONSTRUCTION, TO DETERMINE IF STABILIZATION AND/OR OFFSITE SOILS ARE REQUIRED. IF DEFICIENT, THEN STABILIZATION MUST BE PERFORMED IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, SECTION 160, TYPE B STABILIZATION.
- 2.** INSTALL A 6-INCH (MINIMUM) THICK LIMEROCK BASE COURSE MEETING THE QUALITY REQUIREMENTS OF FDOT SECTION 911, PLACED IN ACCORDANCE WITH SECTION 200 OF THE STANDARD SPECIFICATIONS. THE BASE MUST BE COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557, AASHTO T-180). THE LBR REQUIREMENT IS 100 (MINIMUM).
- 3.** AFTER PLACEMENT OF A PRIME COAT OR TACK COAT (FDOT SECTION 300), INSTALL A TOTAL OF 1.5 INCHES (MINIMUM) OF ASPHALT CONCRETE. THIS MAY CONSIST OF 1.5 INCHES OF STRUCTURAL COURSE TYPE SP-12.5. SPECIFIC REQUIREMENTS FOR THE TYPE S ASPHALT CONCRETE ARE OUTLINED IN SECTION 331 IN THE F.D.O.T. STANDARD SPECIFICATIONS.

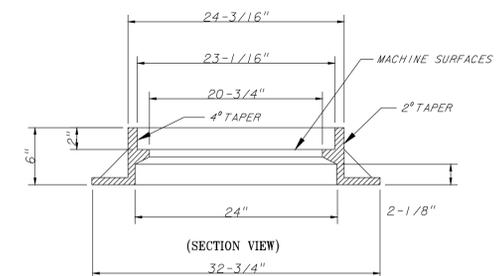
PARKING LOT PAVEMENT AND STANDARD DUTY PAVEMENT SECTION
SCALE: NONE



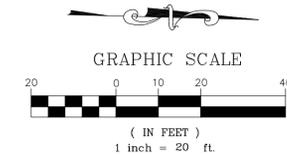
TYPE D CURB
SCALE: NONE



MANHOLE FRAME RING
SCALE: NONE



MANHOLE FRAME RING
SCALE: NONE



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

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Bowman Consulting Group, Ltd.
13450 W. Sunrise Blvd., Suite 320
Sunrise, FL 33323
Phone: (954) 314-9460
www.bowmanconsulting.com
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PAVING, GRADING AND DRAINAGE DETAILS
58 OAK
4231 NORTH 58TH AVENUE
BROWARD COUNTY, FLORIDA

CITY OF HOLLYWOOD

PLAN STATUS		
DATE	DESCRIPTION	
EL DESIGN	EL DRAWN	BP CHKD
SCALE	AS SHOWN	
JOB No.	010508-01-001	
DATE	10/08/18	
FILE	010508-4-cp-001-c11-grd.dwg	
SHEET	C-12	

Always call 811 two full business days before you dig to have underground utilities located and marked.
Sunshine 811.com

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SITE DATA

Total Site Area	1.49 Ac.
Total Impervious Area Provided	47,880 SF (73%)
Total Pervious Area Provided	11,714 SF (18%)
VUA Landscape Required	5,233 SF (25%)
VUA Landscape Provided	5,619 SF
Open Space	11,714 SF
Trees Required (1/1,000 SF.)	12 Trees
Trees Provided	59 Trees
<u>Perimeter Landscape</u>	
Street Trees Required (1/50 LF.)	9 Trees
Street Trees Provided	11 Trees
Trees Required (1/20 LF.)	64 Trees
Trees Provided	64 Trees

SITE DATA

Species Mix Required	7
Species Mix Provided	7
Native Trees Required	55 Trees (60%)
Native Trees Provided	89 Trees (97%)
Native Shrubs Required	667 Shrubs (50%)
Native Shrubs Provided	727 Shrubs (55%)
Terminal Island Trees Required	30 Trees (1/190 SF.)
Terminal Island Trees Provided	30 Trees

BY	REVISIONS	DATE
WED/TAC	SUBM COMMENTS	3.3.18
WED/REV.	SITE PLAN	6.22.18
WED/REV.	SITE PLAN/TAC COMMENTS	10.8.18



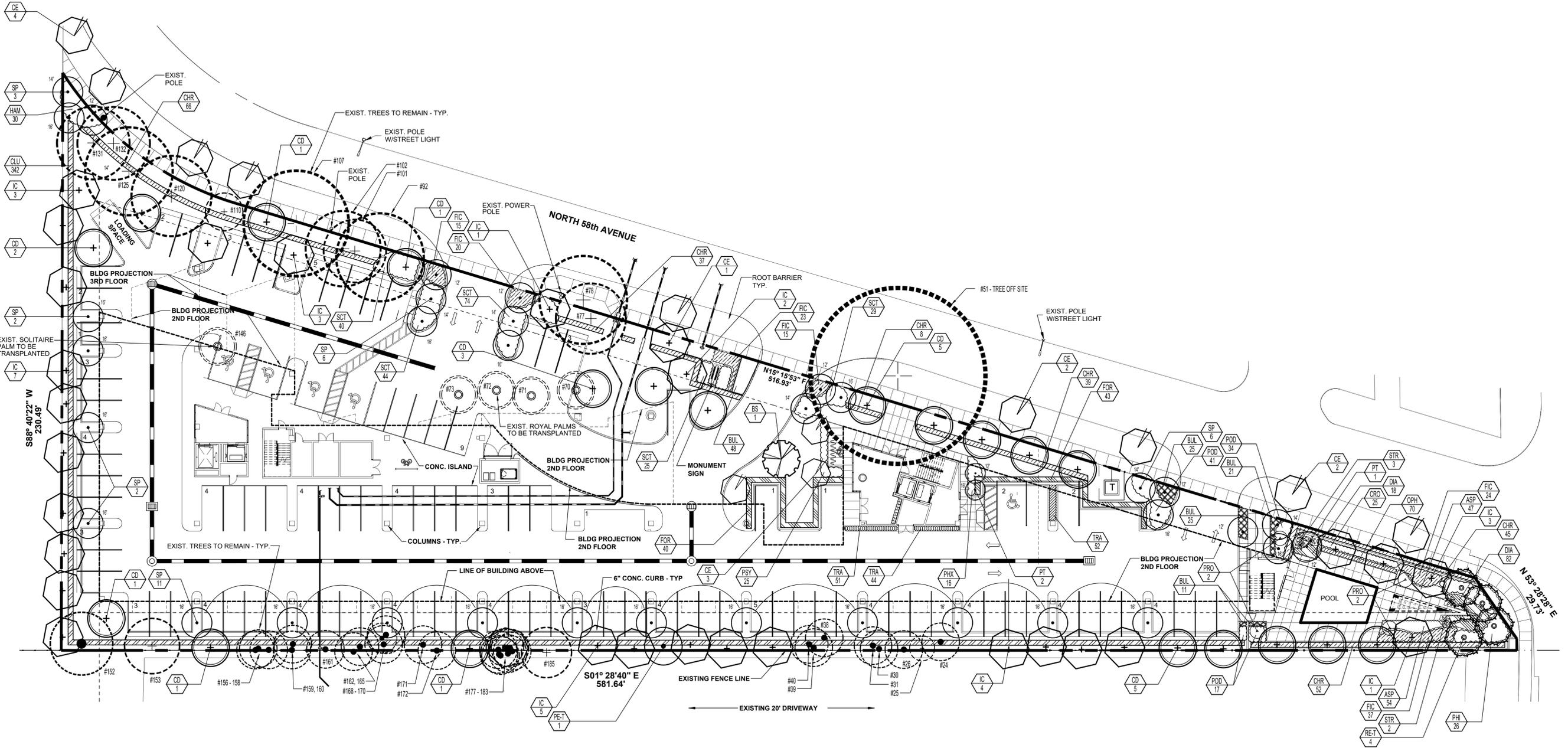
Design and Entitlement Consultants, LLC.
2135 Belcrest Court
Royal Palm Beach, FL 33411
Tel: (561) 707-3410
Email: info@designandentitlement.com



58 OAK
CITY OF HOLLYWOOD, FLORIDA

LANDSCAPE PLAN

SCALE:	1"=20'
CHECKED BY:	W.E.D./R.M.B.
DRAWN BY:	W.E.D.
DATE:	09.25.17
FILE:	
SHEET	
LP.1	
1 OF 2 SHEETS	



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NOTES:
 - EXISTING TREE/PALM LOCATIONS TAKEN FROM TREE LOCATIONS MAP - 4231 N. 58TH AVE. PREPARED BY EARTH ADVISORS, INC.
 - ALL LANDSCAPED AREAS TO RECEIVE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES, THE SOUTH FL. BLDG. CODE, THE FLA STATE STATUTES, AND THE REGULATIONS OF THE SFWMD.



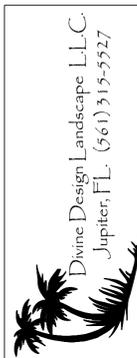
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Street Trees Provided	11 Trees
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Terminal Island Trees Provided	30 Trees

BY	REVISIONS	DATE
WED	TAC SUBM CMFS	3.3.18
WED	REV. SITE PLAN	6.22.18
WED	REV. SITE PLAN/TAC COMMENTS	10.8.18



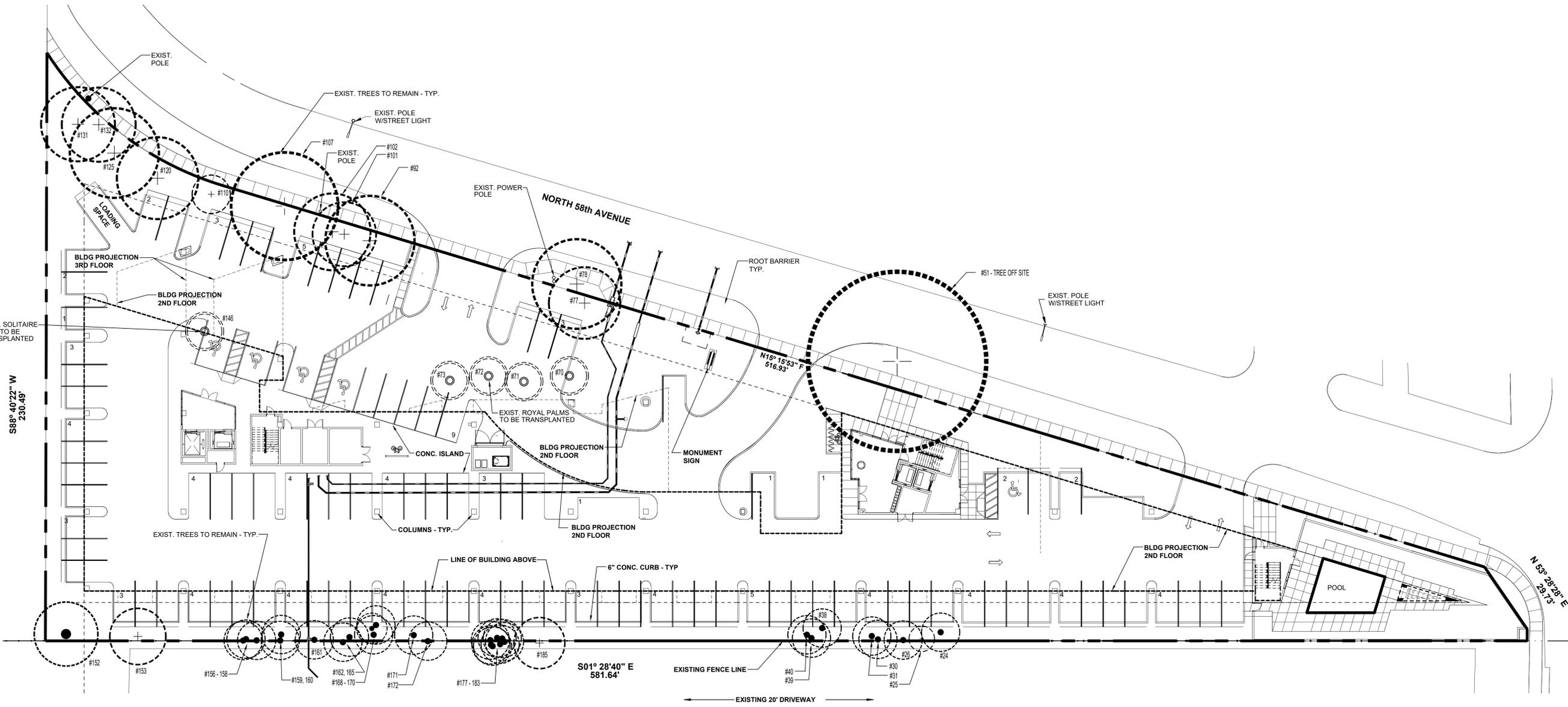
Design and Entitlement Consultants, LLC.
 2135 Belcrest Court
 Royal Palm Beach, FL 33411
 Tel: (561) 707-3410
 Email: info@designandentitlement.com



58 OAK
 CITY OF HOLLYWOOD, FLORIDA

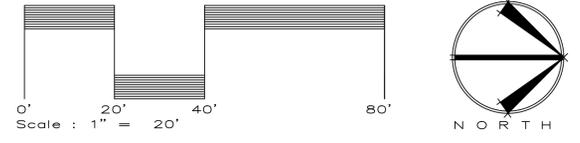
EXISTING TREE PLAN

SCALE:	1"=20'
CHECKED BY:	W.E.D./R.M.B.
DRAWN BY:	W.E.D.
DATE:	09.25.17
FILE:	
SHEET	
LP.2	
2 OF 3 SHEETS	



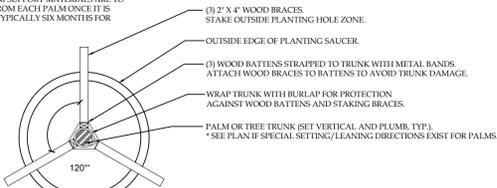
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NOTES:
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 - REFER TO HEALTH & CONDITION EVALUATION WORKSHEET PREPARED BY EARTH ADVISORS, INC. FOR SPECIES, CONDITIONS, SIZES, ETC.
 #XXX - DENOTES ITEM NUMBER FOR TREE/PALM. REFER TO HEALTH & CONDITION WORKSHEET PREPARED BY EARTH ADVISORS, INC.



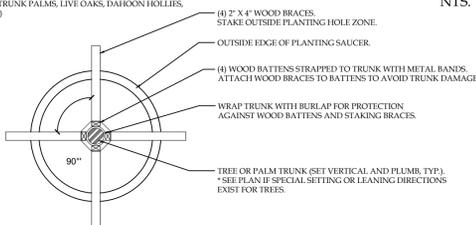
SMALL PALM STAKING PLAN

(E-F) PALM, WHITE PALM, ANY PALM UNDER 8' C.T., ETC.)
 NOTE: ALL PALM SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH PALM ONCE IT IS ESTABLISHED, TYPICALLY SIX MONTHS FOR PALMS.



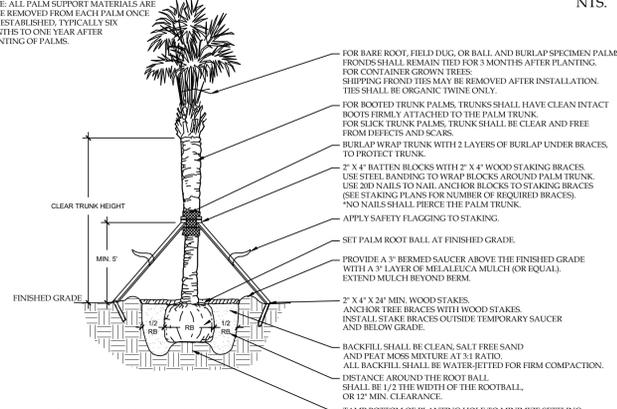
LARGE PALM OR TREE STAKING PLAN

(E-L) ROYAL PALM, DATE PALM, MULLI TRUNK PALMS, LIVE OAKS, DAHOON HOLLIES, ANY HEAVY CALIPER TREE TRUNKS, ETC.)



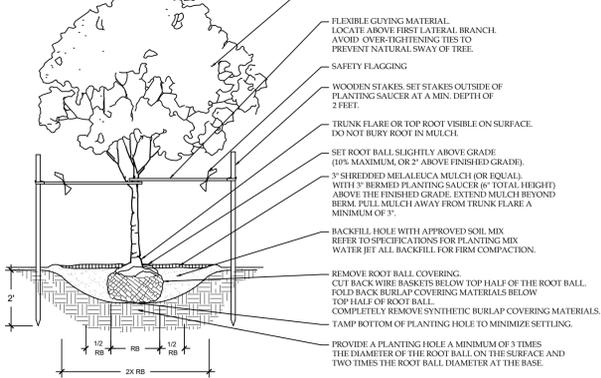
PALM PLANTING DETAIL

NOTE: ALL PALM SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH PALM ONCE IT IS ESTABLISHED, TYPICALLY SIX MONTHS TO ONE YEAR AFTER PLANTING OF PALMS.



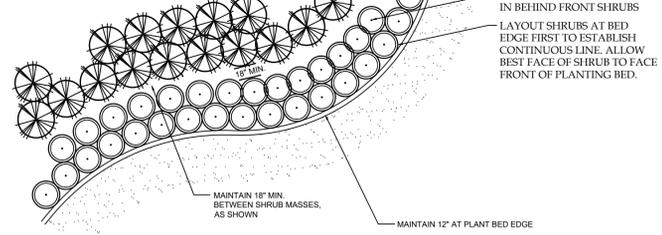
TREE PLANTING DETAIL

NOTE: ALL TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED, TYPICALLY SIX MONTHS TO ONE YEAR AFTER PLANTING FOR SHADE TREES.



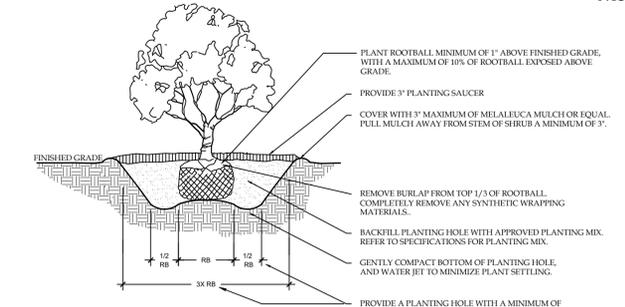
SHRUB AND GROUND COVER PLANTING DETAIL

NOTES: ALL DIMENSIONS AND NOTES ARE TYPICAL.



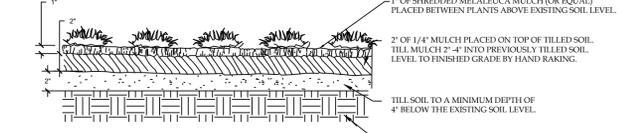
SHRUB PLANTING DETAIL

NTS.



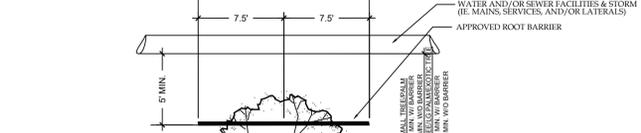
GROUND COVER DETAIL

NTS.

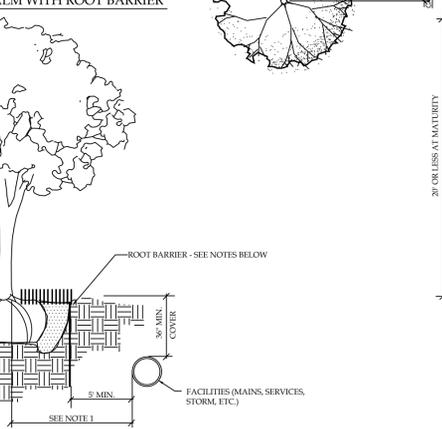


ROOT BARRIER DETAILS

NTS.

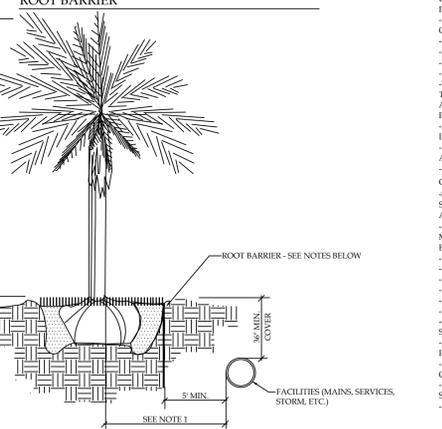


SMALL TREE/PALM WITH ROOT BARRIER



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
 1. THIS DISTANCE SHALL BE 7' MINIMUM WITH ROOT BARRIER AND 10' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 5' MINIMUM FROM ALL FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH UTILITY HOLDER AND INSPECTED PRIOR TO BACKFILLING.
 ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 36\"/>

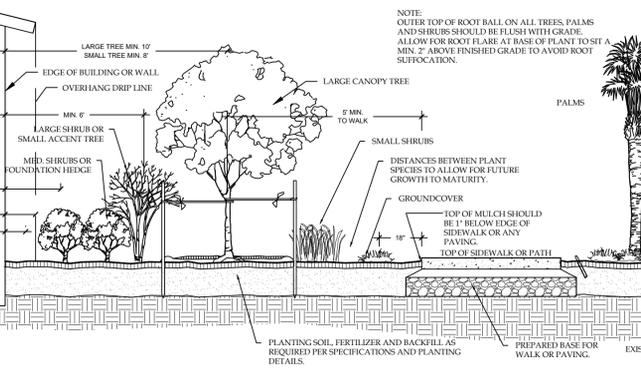
CANOPY TREE/LG. PALM/EXOTIC TREE WITH ROOT BARRIER



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
 1. THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 5' MINIMUM FROM ALL FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH UTILITY HOLDER AND INSPECTED PRIOR TO BACKFILLING.
 ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 36\"/>

TYPICAL PLANTING DIAGRAM

NTS.



LANDSCAPE SCHEDULE

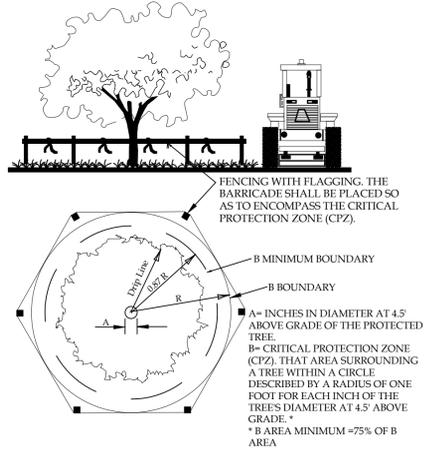
NATIVE	QTY	CODE	BOTANICAL NAME	COMMON NAME	SIZE & REMARK
TREES					
-	1	BS	Bursera simaruba	Gumbo Limbo	12 HT x 6 Spr., 2' cal. DBH
-	20	CD	Coccoloba diversifolia	Pigeon Plum	12 HT x 6 Spr., 2' cal. DBH
-	14	CE	Conocarpus erectus "Sericeus"	Silver Buttonwood	12 HT x 6 Spr., 2' cal. DBH
-	28	IC	Ilex cassine	Dahoon Holly	12 HT x 6 Spr., 2' cal. DBH
PALMS					
-	3	PT	Phycosperma elegans	Solitaire Palm	12 CT., full, matching
-	30	SP	Sabal palmetto	Cabbage Palm	see plan for CW HT., slick trunks (6' min. CW)
TRANSPLANTS					
-	1	PE-T	Phycosperma elegans	Solitaire Palm	transplanted as shown
-	4	RE-T	Roystonea elata	Royal Palm	transplanted as shown
ACCENTS					
-	4	PRO	Phoenix roebelenii	Pygmy Date Palm	3-4 oah, triple trunk
-	5	STR	Strelitzia reginae	Bird of Paradise	30' x 30', full, 5 PPP
SHRUBS					
-	101	ASP	Asparagus densiflorus "Meyersii"	Foxtail Fern	12" x 14" spr., 18" OC.
-	247	CHR	Chrysalidius icaco "Red Tip"	Red Tip Coco Plum	24" x 18", 24" OC.
-	342	CLU	Clusia flava	Small Leaf Clusia	24" x 18", 24" OC.
-	25	CRO	Codiaeum variegatum "Mammy"	Mammy Croton	14" x 14", 24" OC.
-	134	FIC	Ficus microcarpa "Green Island"	Green Island Ficus	14" x 14", 24" OC.
-	83	FOR	Forestiera segregata	Florida Privet	24" x 18", 24" OC.
-	30	HAM	Hamelia nodosa	Dwarf Firebush	24" x 18", 30" OC.
-	26	PHI	Philodendron bipinnatifidum	Selloum	24" x 24", 30" OC.
-	16	PHX	Philodendron "Xanadu"	Xanadu	14" x 14", 24" OC.
-	92	POD	Podocarpus macrophyllus "Pringles"	Pringles Podocarpus	14" x 14", 24" OC.
-	25	PSY	Psychotria nervosa	Wild Coffee	24" x 18", 24" OC.
-	212	SCT	Schefflera arboricola "Trinette"	Trinette	24" x 18", 24" OC.
GROUNDCOVERS					
-	130	BUL	Bulbine frutescens	Desert Candles	14" x 16" spr., 18" OC.
-	100	DIA	Dianella tasmanica "Variegata"	Variegated Flax Lily	12" x 14" spr., 18" OC.
-	70	OPH	Ophiopogon japonicus "Nanus"	Dwarf Mondo Grass	6" x 8" spr., 12" OC.
-	147	TRA	Tracholopserum asiaticum	Asiatic Jasmine	8" x 10" spr., 12" OC.
-		SOD "A"	Stenotaphrum secundatum	St. Augustine 'Floritan'	Solid Sod, Sq. Ft. to be determined by land. contractor

LANDSCAPE NOTES:

- STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, UTILITIES OR ROADWAYS.
- TREE REMOVAL/RELOCATION PERMIT IS REQUIRED PRIOR TO REMOVING OR RELOCATING TREES.
- CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT (L.A.) SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
- ANY TREES THAT CONFLICT WITH LIGHT POLE LOCATIONS ARE TO BE ADJUSTED OR UTILIZED ELSEWHERE. L.A. TO BE CONTACTED WHEN SCENARIO FIRST OCCURS.
- ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
- ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED HEDGE AS PER PARTICULAR MUNICIPALITY REQUIREMENTS.
- IRRIGATION IS REQUIRED & SHALL PROVIDE 300% COVERAGE WITH A MAXIMUM OF 50% OVERLAP. AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
- ALL PROPOSED PLANT MATERIAL SHALL CONFORM TO FLORIDA POWER AND LIGHTS (FPLS) RIGHT TREE/ RIGHT PLACE GUIDELINES.
- TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMMODATE MAINTENANCE SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. IN ANY CASE THE TREES SHALL BE LOCATED IN THE FIELD IN ACCORDANCE WITH THE PLANTING DETAILS SHOWN HEREON.
- ALL TREES AND LANDSCAPING SHALL BE FIELD LOCATED TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE LINES AND LAKE MAINTENANCE EASEMENTS.
- ALL TREES TO BE INSTALLED TEN FEET MIN. (10') FROM STRUCTURES AND FIVE FEET MIN. (5') FROM WALKS, CURBS, DRIVEWAYS, PATIOS, ETC. IF CONFLICT ARISES, L.A. TO BE CONTACTED PRIOR TO INSTALLATION.
- ALL PALMS TO BE INSTALLED SIX TO EIGHT FEET (6-8') FROM A STRUCTURE, DEPENDING ON SPECIES FROND LENGTH AND THREE FEET MIN. (3') FROM WALKS, CURBS, DRIVEWAYS, PATIOS, ETC. IF CONFLICT ARISES, L.A. TO BE CONTACTED PRIOR TO INSTALLATION.
- SMALL PALMS AND SMALL TREES TO BE INSTALLED WITH A TEN FOOT (10') MIN. SEPARATION FROM ANY PUBLIC WATER OR SEWER MAIN AND/OR SERVICE, STORM LINES, HYDRANTS, AND LIFT STATIONS. IF A FIFTEEN FOOT (15') SEPARATION CANNOT BE ACHIEVED, THE PALMS OR TREES CAN BE INSTALLED WITH AN APPROVED ROOT BARRIER SYSTEM. REFER TO THE ROOT BARRIER DETAIL FOR INSTALLATION REQUIREMENTS.
- LARGE CANOPY TREES, LARGE OR EXOTIC PALMS ARE TO BE INSTALLED WITH A FIFTEEN FOOT (15') MIN. SEPARATION FROM ANY PUBLIC WATER OR SEWER MAIN AND/OR SERVICE, STORM LINES, HYDRANTS, AND LIFT STATIONS. IF A FIFTEEN FOOT (15') SEPARATION CANNOT BE ACHIEVED, THE TREES OR PALMS CAN BE INSTALLED WITH AN APPROVED ROOT BARRIER SYSTEM. REFER TO THE ROOT BARRIER DETAIL FOR INSTALLATION REQUIREMENTS.
- IN THE CASE OF DISCREPANCIES, PLANS TAKE PRECEDENCE OVER PLANT LIST.
- LANDSCAPE CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF MATERIAL IS NOT AVAILABLE AS SPECIFIED IN PLANS.
- LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
- REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
- RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.
- HEIGHT OF TREES MAY HAVE TO BE LARGER TO ACHIEVE MINIMUM CALIPER SIZE OR ANY CLEAR TRUNK SPECIFICATIONS.
- CONTAINER SIZE PROVIDED BY LANDSCAPE ARCHITECT IS ONLY A GUIDE. CONTAINER SIZE MAY HAVE TO BE INCREASED TO MEET OVERALL SIZE SPECIFICATIONS.
- SPECIES, SIZE, QUANTITY AND PLACEMENT OF TREES, PALMS, SHRUBS AND GROUNDCOVERS MAY DEVIATE FROM PLAN BASED ON OWNER PREFERENCE, MUNICIPAL GUIDANCE, CONFLICT AVOIDANCE, MATERIAL AVAILABILITY, AND ANY OTHER REASONABLE CONSTRAINT.
- SPECIFIED TREES, PALMS, ACCENT SHRUBS, SHRUBS AND GROUNDCOVERS SHOULD BE CONSIDERED AS "OR EQUAL" AS DETERMINED BY OWNER AT OWNER'S PREFERENCE.
- PLANT QUANTITIES ARE FOR INSTALLATION PLANNING PURPOSES ONLY. FINAL COUNT TO BE BASED ON FIELD FIT, AESTHETICS AND CODE. PLANT SURVIVABILITY TO GOVERN FINAL FORM SURVIVAL OF THE TREE IS ACCEPTABLE.
- NO SOD SHOULD BE INSTALLED AGAINST WALLS OF UNITS. CONTRACTOR TO PROVIDE TWELVE (12) INCHES OF MULCH ALONG PERIMETER OF UNITS.

TREE PROTECTION DETAIL

NOTES:
 -ALL DIMENSIONS AND NOTES ARE TYPICAL.
 -THIS DETAIL APPLIES TO ALL TREES THAT ARE TO BE PRESERVED IN PLACE OR RELOCATED



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BY: _____ REVISIONS: _____ DATE: _____
 WED TAC SUBM CMTS 3.5.18
 WED REV SITE PLAN 6.22.18
 WED REV SITE PLAN/TAC COMMENTS 10.8.18

Design and Entitlement Consultants, LLC.
 2135 Belcrest Court
 Royal Palm Beach, FL 33411
 Tel: (561) 707-3410
 Email: info@designandentitlement.com

DESIGN AND ENTITLEMENT CONSULTANTS, LLC.

58 OAK
 CITY OF HOLLYWOOD, FLORIDA

LANDSCAPE DETAILS

SCALE: NTS
 CHECKED BY: W.E.D./R.M.B.
 DRAWN BY: W.E.D.
 DATE: 09.25.17
 FILE:
 SHEET
LP.3
 3 OF 3 SHEETS

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HEALTH AND CONDITION EVALUATION WORKSHEET

Earth Advisers, Inc.
Property Owner: Design and Entitlement Consultants LLC, Bill DuMont
Address: 1402 Royal Palm Beach Blvd, Suite 101, Royal Palm Beach, FL 33411
Project: 4231 N 58 Ave Hollywood FL

Date: 6/26/18 revised 07/11/18 08/08/18, 08/16/18, 08/22/18, 09/17/18
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Item #	Street	CODE	NAME	QTY	HT	DBH	CND%	Canopy Width	Corp Area	Obsvce	Misc1	Misc2	Misc3	Comments	Disposition	CRZ	MCY	Removed Canopy Sq Ft
1	STRIKING RD	BLBU	Black Olive	1	32	19	55	35	963	A E H T W Y X2				POOR CONDITION, NOT TO PRESERVE	Remove	14.3	28	963
2	STRIKING RD	QUSP	Oak	1	15	23	45	6	28	A E H T				POOR CONDITION, NOT TO PRESERVE	Remove	2.3	5	28
3	STRIKING RD	YEMO	Montgomery Palm	1	16	3	65	8	50	A I N				POOR CONDITION, NOT TO PRESERVE	Remove	2.3	6	50
4	N 58th AVE	QUSP	Oak	1	19	4	35	12	113	A H L T Y				POOR CONDITION, NOT TO PRESERVE	Remove	3.0	9	113
5	N 58th AVE	SAPA	Sabal Palm	1	18	12	70	20	315	A I L				POOR CONDITION, NOT TO PRESERVE	Remove	9.0	15	315
6	N 58th AVE	SAPA	Sabal Palm	1	16	12	70	20	315	A I L				POOR CONDITION, NOT TO PRESERVE	Remove	9.0	15	315
7	N 58th AVE	QUSP	Oak	1	22	8	45	18	255	A E H I L N T Y				POOR CONDITION, NOT TO PRESERVE	Remove	8.0	14	255
8	N 58th AVE	SAPA	Sabal Palm	1	12	9	70	25	492	A I T N				POOR CONDITION, NOT TO PRESERVE	Remove	6.8	19	492
9	N 58th AVE	SAPA	Sabal Palm	1	18	8	65	22	381	A I L N				POOR CONDITION, NOT TO PRESERVE	Remove	8.0	17	381
10	N 58th AVE	QUSP	Oak	1	21	5	65	15	177	A I L N Y				POOR CONDITION, NOT TO PRESERVE	Remove	3.8	11	177
11	N 58th AVE	BLBU	Ceanothus Limbo	1	25	8	70	20	315	L N Y					Remove	6.0	15	315
12	N 58th AVE	SAPA	Sabal Palm	1	20	9	15	18	235	I					Remove	0.0	14	235
13	N 58th AVE	QUSP	Oak	1	40	55	55	75	4424	2 T A E L T V Y				MULTIPLE TRUNK WOUNDS, REMOVE CACTUS	Remove	41.3	56	4424
14	N 58th AVE	QUSP	Oak	1	55	31	65	45	1592	A E H I L T Y					Remove	23.3	34	1592
15	N 58th AVE	QUSP	Oak	1	51	38	65	42	1387	A E H I L T Y					Remove	28.5	32	1387
16	N 58th AVE	YEMO	Montgomery Palm	1	23	4	70	15	177	A I					Remove	3.0	8	177
17	N 58th AVE	SAPA	Sabal Palm	1	40	2	60	15	177	A I L T N					Remove	6.0	9	177
18	N 58th AVE	QUSP	Oak	1	50	42	65	65	3323	A E I K Y				PLANNED GREENSPACE IS TOO SMALL (NEED +/-35')	Remove	31.5	48	3323
19	N 58th AVE	BLBU	Ceanothus Limbo	1	35	14	60	25	492	A E I K H V					Remove	10.5	19	492
20	N 58th AVE	QUSP	Oak	1	28	15	65	28	617	A E I K L V					Remove	11.3	21	617
21	N 58th AVE	QUSP	Oak	1	32	16	70	36	1019	A E I K L					Remove	12.0	27	1019
22	N 58th AVE	QUSP	Oak	1	15	4	55	15	177	A E I K L H					Remove	3.0	11	177
23	N 58th AVE	QUSP	Oak	1	13	4	55	12	79	A E I K L					Remove	3.0	8	79
24	N 58th AVE	CAAC	Carpenteria Palm	1	18	5	70	10	113	I W					Remove	3.8	9	113
25	N 58th AVE	QUSP	Oak	1	13	4	65	10	79	A K N L					Remove	3.0	8	79
26	N 58th AVE	CAAC	Carpenteria Palm	1	24	6	70	15	177	A I V					Remove	4.5	11	177
27	N 58th AVE	CAAC	Carpenteria Palm	1	28	5	70	15	177	I N					Remove	3.8	11	177
28	N 58th AVE	CAAC	Carpenteria Palm	1	14	5	70	15	177	I N					Remove	3.8	11	177
29	N 58th AVE	CAAC	Carpenteria Palm	1	20	5	70	15	177	I N A					Remove	3.8	11	177
30	N 58th AVE	CAAC	Carpenteria Palm	1	22	6	70	15	177	I N L					Remove	4.5	11	177
31	N 58th AVE	CAAC	Carpenteria Palm	1	32	5	70	15	177	I N					Remove	3.8	11	177
32	N 58th AVE	CAAC	Carpenteria Palm	1	16	4	70	15	177	I N					Remove	3.0	11	177
33	N 58th AVE	CAAC	Carpenteria Palm	1	35	4	70	15	177	I N					Remove	3.0	11	177
34	N 58th AVE	BLBU	Ceanothus Limbo	1	23	5	55	20	315	A E I K R					Remove	3.8	15	315
35	N 58th AVE	CAAC	Carpenteria Palm	1	13	2	65	15	177	A I					Remove	2.3	11	177
36	N 58th AVE	CAAC	Carpenteria Palm	1	24	4	65	15	177	A I					Remove	3.0	11	177
37	N 58th AVE	CAAC	Carpenteria Palm	1	20	4	65	15	177	A I					Remove	3.0	11	177
38	N 58th AVE	CAAC	Carpenteria Palm	1	18	4	65	15	177	I L					Remove	3.0	11	177
39	N 58th AVE	CAAC	Carpenteria Palm	1	16	3	65	15	177	I					Remove	2.3	11	177
40	N 58th AVE	CAAC	Carpenteria Palm	1	16	3	65	15	177	I					Remove	2.3	11	177
41	N 58th AVE	SAPA	Sabal Palm	1	15	9	70	20	315	A I L N				STORM DAMAGE	Remove	8.8	44	315
42	N 58th AVE	QUSP	Oak	1	30	32	60	52	2126	A I K V T Y E L				PLANNED GREENSPACE IS TOO SMALL (NEED +/-45')	Remove	24.0	39	2126
43	N 58th AVE	QUSP	Oak	1	45	62	70	65	3323	A E K T V Y				PLANNED GREENSPACE IS TOO SMALL (NEED +/-35')	Remove	48.5	49	3323
44	N 58th AVE	QUSP	Oak	1	45	54	65	65	3853	2 T A E K T V Y				PLANNED GREENSPACE IS TOO SMALL (NEED +/-20')	Remove	40.5	53	3853
45	N 58th AVE	QUSP	Oak	1	45	26	65	52	2126	E K T V Y				PLANNED GREENSPACE IS TOO SMALL (NEED +/-20')	Remove	18.5	39	2126
46	N 58th AVE	CAAC	Carpenteria Palm	1	17	6	75	18	235	A I					Remove	4.5	14	235
47	N 58th AVE	CAAC	Carpenteria Palm	1	17	6	75	18	235	A I					Remove	4.5	14	235
48	N 58th AVE	CAAC	Carpenteria Palm	1	12	4	70	15	177	A I					Remove	3.0	11	177
49	N 58th AVE	CAAC	Carpenteria Palm	1	12	4	70	15	177	A I					Remove	3.0	11	177
50	N 58th AVE	QUSP	Oak	1	50	74	60	65	3323	E H K L R T V				LOCATED WITHIN FENCE BORDER	Remove	55.5	48	3323
51	N 58th AVE	QUSP	Oak	1	45	52	60	70	3853	A E H K L R T V				NEED TO BRIDGE SIDEWALK OVER ROOTS	Remove	39.0	53	3853
52	N 58th AVE	CAAC	Carpenteria Palm	1	28	6	70	15	177	I					Remove	4.5	11	177
53	N 58th AVE	ADMBE	Christmas Palm	1	14	5	70	15	177	I					Remove	3.8	11	177
54	N 58th AVE	ADMBE	Christmas Palm	1	17	4	70	15	177	I					Remove	3.0	11	177
55	N 58th AVE	ADMBE	Christmas Palm	1	17	4	70	15	177	I					Remove	3.0	11	177
56	N 58th AVE	ADMBE	Christmas Palm	1	16	4	70	15	177	I					Remove	3.0	11	177
57	N 58th AVE	ADMBE	Christmas Palm	1	16	4	60	16	1966	A L T					Remove	3.0	12	1966
58	N 58th AVE	QUSP	Oak	1	60	60	65	50	1966	A E K T V Y					Remove	45.0	38	1966
59	N 58th AVE	QUSP	Oak	1	45	26	65	48	1812	A E K L T V Y				PLANNED GREENSPACE IS TOO SMALL (NEED +/-20')	Remove	18.5	36	1812
60	N 58th AVE	QUSP	Oak	1	45	18	60	45	1592	A E K L T V Y					Remove	13.5	34	1592
61	N 58th AVE	ADMBE	Christmas Palm	1	30	4	70	15	177	A I					Remove	3.0	11	177
62	N 58th AVE	QUSP	Oak	1	40	24	60	45	1592	A E H I K L T V					Remove	18.0	34	1592
63	N 58th AVE	SAPA	Sabal Palm	1	13	10	65	20	315	A I L					Remove	7.5	15	315
64	N 58th AVE	SAPA	Sabal Palm	1	14	10	65	20	315	A I L					Remove	7.5	15	315
65	N 58th AVE	SAPA	Sabal Palm	1	20	13	65	20	315	A I L					Remove	8.8	15	315

P = Remove
P = Preserve
0 = Off site

HEALTH AND CONDITION EVALUATION WORKSHEET

Earth Advisors, Inc.
 Property Owner: Design and Entitlement Consultants LLC, Bill McDond
 Address: 4231 N 58 Ave Hollywood FL
 Project: 4231 N 58 Ave Hollywood FL

Date: 6/20/18, revised 07/11/18, 08/08/18, 08/09/18, 08/16/18, 08/22/18, 09/17/18
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Item #	Street	CODE	NAME	QTY	HT	DBH	CND%	Canopy Width	Canopy Area	Obsvrs	Misc1	Misc2	Misc3	Comments	Disposition	CRZ	Minimum Canopy Width	Remove/Canopy Sq Ft
66	N 58th AVE	CAAC	Caribbean Palm	1	17	4	65	15	177	1	PP	VR			Remove	3.0	11	4424
67	N 58th AVE	QUSP	Oak	1	50	62	70	75	4424	A E K T	CP	CP	VR		Remove	46.5	56	173
68	N 58th AVE	LCKN	Linhoson	1	25	4	65	12	113	A I L	X2	X2		INVASIVE	Remove	3.0	9	113
69	N 58th AVE	QUSP	Oak	1	45	25	65	45	1592	A E K T V	SP	VR			Remove	18.8	34	1592
70	N 58th AVE	ROEL	Royal Palm	1	40	16	75	25	492	I N T V	PP	PP			Transplant	12.0	19	492
71	N 58th AVE	ROEL	Royal Palm	1	40	16	75	25	492	I N T V	PP	PP			Transplant	12.0	19	492
72	N 58th AVE	ROEL	Royal Palm	1	40	16	75	25	492	I N T V	PP	PP			Transplant	12.0	19	492
73	N 58th AVE	ROEL	Royal Palm	1	40	16	75	25	492	I N T V	PP	PP			Transplant	12.0	19	492
74	N 58th AVE	DYLU	Arcea Palm	1	25	4	60	315	571N	5 T I N	PP	PP			Remove	3.0	15	315
75	N 58th AVE	SYRO	Queen Palm	1	30	5	65	15	177	A I N Y	PP	PP			Remove	3.8	11	177
76	N 58th AVE	SYRO	Queen Palm	1	30	5	65	15	177	A I N Y	PP	PP			Remove	3.8	11	177
77	N 58th AVE	QUSP	Oak	1	25	12	55	28	617	A E L T V Y	CP	SP	VR		Remove	10.5	21	617
78	N 58th AVE	QUSP	Oak	1	25	14	60	35	963	A E L T V Y	CP	SP	VR		Remove	9.0	21	963
79	N 58th AVE	DYLU	Arcea Palm	1	18	3	60	20	315	I 6 T A I N L V Y	X2	X2		POOR CONDITION, NOT TO PRESERVE	Remove	2.3	15	315
80	N 58th AVE	DERE	Royal Poinciana	1	17	3	60	12	113	E L I Y	SP	SP		POOR CONDITION, NOT TO PRESERVE	Remove	2.3	8	113
81	N 58th AVE	DERE	Royal Poinciana	1	18	3	60	16	201	E L I T V Y	SP	SP		POOR CONDITION, NOT TO PRESERVE	Remove	2.3	12	201
82	N 58th AVE	DERE	Royal Poinciana	1	14	4	60	20	315	E L I T V Y	SP	SP		POOR CONDITION, NOT TO PRESERVE	Remove	3.0	15	315
83	N 58th AVE	DERE	Royal Poinciana	1	30	38	65	45	1592	2 T A E L T Y	SP	UP	VR		Remove	28.5	34	1592
84	N 58th AVE	DERE	Royal Poinciana	1	16	4	65	20	315	E L T	SP	CP		PLANNED GREENSPACE IS TOO SMALL (NEED +/-20')	Remove	3.0	15	315
85	N 58th AVE	DYLU	Arcea Palm	1	12	4	15	20	315	9 T I N L R V Y	X2	X2		UPROOTED	Remove	3.0	15	315
86	N 58th AVE	DYLU	Arcea Palm	1	20	4	65	20	315	5 T I T N V Y	PP	PP			Remove	3.0	15	315
87	N 58th AVE	DERE	Royal Poinciana	1	35	46	65	45	1592	2 T A E L K V Y	UP	CP	VR		Remove	34.5	34	1592
88	N 58th AVE	COVA	Croton	1	20	8	70	15	177	2 T R I N I	AP	AP		LARGE ORNAMENTAL, NO MITIGATION	Remove	6.0	11	177
89	N 58th AVE	COVA	Croton	1	18	6	70	15	177	4 T K I N L	AP	AP		LARGE ORNAMENTAL, NO MITIGATION	Remove	4.5	11	177
90	N 58th AVE	COVA	Croton	1	15	6	70	15	177	3 T K I N L	AP	AP		LARGE ORNAMENTAL, NO MITIGATION	Remove	4.5	11	177
91	N 58th AVE	DERE	Royal Poinciana	1	25	8	60	30	708	A L L E Y	UP	CP	VR		Remove	6.0	23	708
92	N 58th AVE	DERE	Royal Poinciana	1	25	11	60	35	963	E K L N T	CP	SP		NEED TO BRIDGE SIDEWALK OVER ROOTS	Remove	8.3	26	963
93	N 58th AVE	DERE	Royal Poinciana	1	18	4	60	20	315	E N T L	SP	SP		POOR CONDITION, NOT TO PRESERVE	Remove	3.0	15	315
94	N 58th AVE	DERE	Royal Poinciana	1	14	3	60	20	315	E N T L	SP	SP		POOR CONDITION, NOT TO PRESERVE	Remove	2.3	15	315
95	N 58th AVE	DERE	Royal Poinciana	1	19	3	60	20	315	E N T L	SP	SP		POOR CONDITION, NOT TO PRESERVE	Remove	3.8	15	315
96	N 58th AVE	DERE	Royal Poinciana	1	30	9	65	32	805	A E K N I Y	SP	CP	VR		Remove	6.8	24	805
97	N 58th AVE	SYRO	Queen Palm	1	19	7	65	20	315	A D I N I Y I	PP	VR		POOR CONDITION, NOT TO PRESERVE	Remove	5.3	15	315
98	N 58th AVE	SYRO	Queen Palm	1	25	8	65	25	492	A D I N I Y T	PP	VR		POOR CONDITION, NOT TO PRESERVE	Remove	6.0	19	492
99	N 58th AVE	SYRO	Queen Palm	1	12	7	0	0	0		X2	X2		DEAD	Remove	5.3	0	0
100	N 58th AVE	ARAL	Alexander Palm	1	18	5	65	20	315	A I L T	PP	VR		NOT TREE, NO MITIGATION	Remove	3.8	15	315
101	N 58th AVE	DERE	Royal Poinciana	1	22	4	65	25	492	K I T Y	SP	SP		PLANNED GREENSPACE IS TOO SMALL (NEED +/-20')	Remove	3.0	19	492
102	N 58th AVE	DERE	Royal Poinciana	1	35	9	70	30	708	I R T	SP	SP		PLANNED GREENSPACE IS TOO SMALL (NEED +/-20')	Remove	6.8	23	708
103	N 58th AVE	COVA	Croton	1	25	6	70	16	201	A E L T Y	UP	CP	VR		Remove	4.5	12	201
104	N 58th AVE	DERE	Royal Poinciana	1	35	20	65	45	1592	A E K L T V	UP	CP	VR		Remove	15.0	34	1592
105	N 58th AVE	QUSP	Oak	1	40	41	60	40	1592	A E K L T V	UP	CP	VR		Remove	30.8	34	1592
106	N 58th AVE	QUSP	Oak	1	30	21	65	42	1387	A E K L T V	UP	CP	VR		Remove	15.8	23	1387
107	N 58th AVE	QUSP	Oak	1	14	31	65	42	1387	A E K L T V	UP	VR		Remove	22.3	32	1387	
108	N 58th AVE	TACA	Yellow Tabebuia	1	28	14	60	35	963	A I T K N	SP	VR		PLANNED GREENSPACE IS TOO SMALL (NEED +/-20')	Remove	3.8	15	963
109	N 58th AVE	QUSP	Oak	1	28	14	60	35	963	A E H I L N R T V	PP	VR			Remove	10.5	26	963
110	N 58th AVE	QUSP	Oak	1	30	22	60	25	492	A E H I L N R T V	PP	VR			Remove	16.5	19	492
111	N 58th AVE	MAIN	Mango	1	25	5	75	15	177	I V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.8	11	177
112	N 58th AVE	MAIN	Mango	1	18	6	65	21	347	E K L V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	4.5	16	347
113	N 58th AVE	MAIN	Mango	1	12	5	70	22	381	E L L V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.8	17	381
114	N 58th AVE	MAIN	Mango	1	19	6	70	29	661	E L K L T V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	4.5	22	661
115	N 58th AVE	MAIN	Mango	1	21	6	75	22	381	E L K L T V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	4.5	17	381
116	N 58th AVE	MAIN	Mango	1	20	6	75	20	315	E L K L T V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	4.5	15	315
117	N 58th AVE	MAIN	Mango	1	20	6	75	20	315	E L K L T V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	4.5	15	315
118	N 58th AVE	MAIN	Mango	1	20	6	70	20	315	E L K L T V	SP	SP		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	4.5	15	315
119	N 58th AVE	QUSP	Oak	1	28	21	60	28	617	A E H I K L V Y	SP	RP	VR		Remove	15.6	21	617
120	N 58th AVE	QUSP	Oak	1	35	22	60	32	805	A E H I K L V Y	SP	RP	VR		Remove	16.5	24	805
121	N 58th AVE	QUSP	Oak	1	35	25	55	35	963	A E H I K L T U V X Z	SP	VR		POOR CONDITION, NOT TO PRESERVE	Remove	16.6	26	963
122	N 58th AVE	MAIN	Mango	1	22	4	70	15	177	A I T	SP	VR		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.6	11	177
123	N 58th AVE	MAIN	Mango	1	20	4	70	15	177	A I T	SP	VR		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.6	11	177
124	N 58th AVE	QUSP	Oak	1	21	4	60	15	177	A I K R T L V Y	SP	VR		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.0	11	177
125	N 58th AVE	QUSP	Oak	1	22	24	60	28	617	A I K L T U V Y	SP	VR			Remove	3.0	11	617
126	N 58th AVE	UKRN	Ukrova	1	18	7	65	20	315	A I K L T V	SP	VR			Remove	5.3	21	315
127	N 58th AVE	UKRN	Ukrova	1	15	6	65	20	315	4 T A I K L T V	SP	VR			Remove	4.5	15	315
128	N 58th AVE	UKRN	Ukrova	1	21	4	70	15	177	4 T A I K L T V	SP	VR			Remove	3.0	11	177
129	N 58th AVE	UKRN	Ukrova	1	19	4	70	15	177	A I K T V	SP	VR			Remove	3.0	11	177
130	N 58th AVE	QUSP	Oak	1	31	39	65	45	1592	A E H I K L T U V Y	PP	VR		CHECK PLANNED GREENSPACE (NEED +/-35')	Remove	29.3	34	1592

P = Remove
 P = Preserve
 O = Off site

HEALTH AND CONDITION EVALUATION WORKSHEET

Earth Advisers, Inc.
 Property Owner: Design and Entertainment Consultants LLC, Bill DuMond
 Address: 1402 Royal Palm Beach Blvd, Suite 101, Royal Palm Beach, FL 33411
 Project: 4231 N 58 Ave Hollywood FL

Date: 6/26/18, revised 07/11/18, 08/08/18, 08/09/18, 08/16/18, 08/22/18, 09/12/18

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Item #	Street	CODE	NAME	QTY	HT	DBH	CND%	Canopy	Wdth	Canopy Area	Obsvns	Misc1	Misc2	Misc3	Comments	Disposition	CRZ	MCV	Removed Canopy Sq Ft	
131	N 58th AVE	QUSP	Oak	1	31	40	65		29	661	AETHKLTUV	RP	VR	VR	CHECK PLANNED GREENSPACE (NEED +/-235)	Preserve	30.0	22		
132	N 58th AVE	QUSP	Oak	1	26	41	65		29	661	AETHKLTUV	RP	UP	VR	CHECK PLANNED GREENSPACE (NEED +/-35)	Preserve	30.0	22		
133	N 58th AVE	MAIN	Mango	1	22	4	75		20	315	EIKL	SP			NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.0	15		
134	N 58th AVE	CONU	Coccoloba Palm	1	40	15	70		20	315	A1LV	PP				Remove	11.3	15		
135	N 58th AVE	QUSP	Oak	1	30	16	70		28	617	A1KFLHTV	RP	LR		CHECK PLANNED GREENSPACE (NEED +/-20)	Remove	12.0	21		
136	N 58th AVE	MAIN	Mango	1	16	4	65		20	315	ILTV	SP			NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.0	15		
137	N 58th AVE	CONU	Coconut Palm	1	35	10	70		30	708	LALTV	PP				Remove	7.5	23		
138	N 58th AVE	MAIN	Mango	1	22	5	70		20	315	A1KL	SP	VR		NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	3.8	15		
139	N 58th AVE	DERE	Royal Poinciana	1	35	20	70		52	2126	A1KLV	CR	VR		CHECK PLANNED GREENSPACE (NEED +/-20)	Remove	15.0	38		
140	N 58th AVE	SYRO	Queen Palm	1	22	8	65		20	315	ILTV	PP				Remove	8.0	15		
141	N 58th AVE	MAIN	Mango	1	25	13	70		30	708	A1KFLTV	SP			NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	9.8	28		
142	N 58th AVE	PTFL	Solitaire Palm	1	28	6	65		15	177	ITV	PP				Remove	4.5	11		
143	N 58th AVE	PTFL	Solitaire Palm	1	28	6	65		15	177	ITV	PP				Remove	4.5	11		
144	N 58th AVE	DERE	Royal Poinciana	1	25	9	0		0	0	A1KET	X2			POOR CONDITION, NOT TO PRESERVE	Remove	6.8	11		
145	N 58th AVE	MAIN	Mango	1	28	16	70		28	617	A1KET	SP	CP	VR	NO FRUIT TREES TO PRESERVE FOR COMMERCIAL SITE	Remove	12.0	21		
146	N 58th AVE	PTFL	Solitaire Palm	1	18	4	65		15	177	LV	PP				Transplant	3.0	11		
147	N 58th AVE	QUSP	Oak	1	40	98	70		85	5682	3T/A1HKLTV	SP	CP	RP	CHECK PLANNED GREENSPACE (NEED +/-50)	Remove	73.5	64		
148	N 58th AVE	QUSP	Oak	1	35	32	70		50	1968	A1HKLTV	SP	CP	RP	CHECK PLANNED GREENSPACE (NEED +/-28)	Remove	24.0	38		
149	N 58th AVE	QUSP	Oak	1	35	35	65		40	1258	A1HKLTV	SP	RP	VR	CHECK PLANNED GREENSPACE (NEED +/-28)	Remove	20.3	30		
150	N 58th AVE	TRKWN	Trichoman	1	25	8	70		25	492	A1KLV	SP	VR			Remove	6.0	18		
151	N 58th AVE	DTLU	Arceuthobium Palm	1	22	4	65		20	315	12T/A1LV	PP	VR			Remove	3.0	15		
152	N 58th AVE	DTLU	Arceuthobium Palm	1	22	4	65		20	315	12T/A1LV	PP	VR			Remove	3.0	15		
153	N 58th AVE	TRKWN	Trichoman	1	27	21	65		22	381	2T/A1LV	CR	VR			Preserve	15.8	17		
154	N 58th AVE	QUSP	Oak	1	60	80	70		110	9515	2T/A1HKLTV	SP	VR	VR	CHECK PLANNED GREENSPACE (NEED +/-50)	Remove	80.0	83		
155	N 58th AVE	QUSP	Oak	1	35	24	65		45	1592	A1HKLTV	SP	VR		CHECK PLANNED GREENSPACE (NEED +/-20)	Remove	18.0	34		
156	N 58th AVE	ARAL	Alexander Palm	1	35	6	70		15	177	A1	PP	VR			Preserve	4.5	11		
157	N 58th AVE	ARAL	Alexander Palm	1	35	6	70		15	177	A1	PP	VR			Preserve	4.5	11		
158	N 58th AVE	ARAL	Alexander Palm	1	38	6	70		15	177	A1	PP	VR			Preserve	4.5	11		
159	N 58th AVE	ARAL	Alexander Palm	1	22	5	70		15	177	IN	PP	VR			Preserve	3.8	11		
160	N 58th AVE	ARAL	Alexander Palm	1	16	5	70		15	177	IN	PP	VR			Preserve	3.8	11		
161	N 58th AVE	ARAL	Alexander Palm	1	16	5	70		15	177	INL	PP	VR			Preserve	3.8	11		
162	N 58th AVE	ARAL	Alexander Palm	1	13	6	70		15	177	INL	PP	VR			Preserve	4.5	11		
163	N 58th AVE	QUSP	Oak	1	45	58	70		50	1966	A1HKLTV	SP	VR	LR	CHECK PLANNED GREENSPACE (NEED +/-35)	Remove	43.5	38		
164	N 58th AVE	QUSP	Oak	1	40	42	70		60	2831	A1HKLTV	SP	VR	LR		Remove	31.5	45		
165	N 58th AVE	ARAL	Alexander Palm	1	28	5	70		15	177	A1NT	PP	VR			Preserve	3.8	11		
166	N 58th AVE	ARAL	Alexander Palm	1	32	5	70		15	177	IN	PP	VR			Remove	3.0	11		
167	N 58th AVE	ARAL	Alexander Palm	1	18	4	70		15	177	IN	X2			POOR CONDITION, NOT TO PRESERVE	Remove	3.0	11		
168	N 58th AVE	ARAL	Alexander Palm	1	23	4	70		15	177	IN	PP	VR			Preserve	3.0	11		
169	N 58th AVE	ARAL	Alexander Palm	1	16	4	70		12	113	INL	PP	VR			Preserve	3.0	8		
170	N 58th AVE	ARAL	Alexander Palm	1	30	3	70		15	177	IN	PP	VR			Preserve	3.8	11		
171	N 58th AVE	ARAL	Alexander Palm	1	26	5	70		15	177	IN	PP	VR			Preserve	3.8	11		
172	N 58th AVE	ARAL	Alexander Palm	1	26	5	70		15	177	IN	PP	VR			Preserve	3.8	11		
173	N 58th AVE	QUSP	Oak	1	35	32	65		35	963	AETHKLTUV	RP	VR			Remove	24.0	28		
174	N 58th AVE	CAAC	Carpenter's Palm	1	25	7	65		20	315	IN	PP				Remove	5.3	15		
175	N 58th AVE	QUSP	Oak	1	45	46	65		45	1592	AETHKLTUV	RP	VR			Preserve	34.5	34		
176	N 58th AVE	QUSP	Oak	1	45	43	65		45	1592	AETHKLTUV	RP	VR			Preserve	32.3	34		
177	N 58th AVE	ARAL	Alexander Palm	1	25	4	65		15	177	IN	PP	VR			Preserve	3.0	11		
178	N 58th AVE	ARAL	Alexander Palm	1	19	4	65		15	177	IN	PP	VR			Preserve	3.0	11		
179	N 58th AVE	ARAL	Alexander Palm	1	19	4	65		15	177	IN	PP	VR			Preserve	3.0	11		
180	N 58th AVE	ARAL	Alexander Palm	1	16	4	65		15	177	IN	PP	VR			Preserve	3.0	11		
181	N 58th AVE	ARAL	Alexander Palm	1	18	4	65		15	177	3T/IN	PP	VR			Preserve	3.0	11		
182	N 58th AVE	ARAL	Alexander Palm	1	16	4	65		15	177	IN	PP	VR			Preserve	3.0	11		
183	N 58th AVE	ARAL	Alexander Palm	1	15	4	65		15	177	IN	PP	VR			Preserve	3.0	11		
184	N 58th AVE	TRKWN	Trichoman	1	27	10	70		15	177	IKTV	SP	VR			Preserve	7.5	11		
185	N 58th AVE	QUSP	Oak	1	22	17	65		20	315	A1KFLTV	SP	VR			Preserve	12.8	15		
186	N 58th AVE	POMA	Podocarpus	1	13	5	75		10	79	CT	AP	VR		CHECK PLANNED GREENSPACE (NEED +/-20) LARGE SHRUB, NO MITIGATION	Remove	3.8	8		
				Totals	186					133111									79	

P = Remove
 P - Preserve
 O = Off site

+ 2065%
 103,005

Legend

-  Tree Locations
-  4231 N 58th Ave Property Lines

Approximate Scale



20 10 0 20 Feet
1 inch = 20 feet

