

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 11/20/2022

Location Address: 2420 LCOLN STREET HOLLYWOOD
Lot(s): 27 Block(s): 14 Subdivision: HOLLYWOOD LITTLE RANCHES
Folio Number(s): 5142 1601 5510
Zoning Classification: RM 18 Land Use Classification: MULTIFAMILY
Existing Property Use: MULTIFAMILY Sq Ft/Number of Units: 3700 SQ FT / 8 UNITS
Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 9 UNITS / 27 ROOMS Sq Ft: 1886 / UNIT
Value of Improvement: 3 MILLION Estimated Date of Completion: 12 / 24
Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: AVIVA & SAM LLC
Address of Property Owner: 1835 E HALLANDALE BCH BLVD #761 HALLANDALE BEACH FL 33009
Telephone: 954 918-9573 Fax: _____ Email Address: HADDADHOMES@YAHOO.COM

Name of Consultant/Representative/Tenant (circle one): SAM HADDAD
Address: HOLLYWOOD FL Telephone: 4195091015
Fax: _____ Email Address: HADDADHOMES@YAHOO.COM

Date of Purchase: 8 / 2020 Is there an option to purchase the Property? Yes () No (x)
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____
Email Address: _____

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: SAMHO Date: 11/20/2022

PRINT NAME: AVIVA & SAM LLC Date: 11/20/2022

Signature of Consultant/Representative: SALIM HADDAD Date: 11/20/2022

PRINT NAME: SALIM HADDAD Date: 11/20/2022

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public

Print Name

State of Florida

My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____ Produced Identification _____

TITLE SEARCH REPORT

Fund File Number: 1339059

Effective Date of approved base title information: January 18, 1949

Effective Date of Search: November 8, 2022 at 11:00 PM

Apparent Title Vested in:

Aviva & Sam LLC, a Florida limited liability company

Description of real property to be insured/foreclosed situated in Broward County, Florida.

Lot 27, Block 14, An Amended Plat of Hollywood Little Ranches, according to the plat thereof as recorded in Plat Book 1, Page 26, Public Records of Broward County, Florida.

Muniments of Title, including bankruptcy, foreclosure, quiet title, probate, guardianship and incompetency proceedings, if any, recorded in the Official Records Books of the county:

1. Warranty Deed from George Diedrich and Wife not legible to Fred H. Tebbe and Melva E. Tebbe, recorded January 18, 1949 in O.R. Book 650, Page 65, Instrument Number 1949-351089, Public Records of Broward County, Florida.
2. Warranty Deed from Fred H. Tebbe and Melva E. Tebbe to Vincnet Santucci and Mina Santucci, recorded February 1, 1972 in O.R. Book 4757, Page 762, Public Records of Broward County, Florida.
3. Warranty Deed from Vincent Santucci and Mina Santuci to Donald S. Leaman and Norma C. Leaman, recorded April 5, 1974 in O.R. Book 5703, Page 225, Public Records of Broward County, Florida.
4. Warranty Deed from Donald S. Leaman and Norma C. Leaman to Roberta Manzi, recorded January 25, 1996 in O.R. Book 24415, Page 371, Public Records of Broward County, Florida.
5. Foreclosure proceedings under Case No. CACE96012486 as evidenced by Lis Pendens in O.R. Book 25415, Page 466, Final Judgment in O.R. Book 25633, Page 304, Certificate of Title in favor of Daniel Alessi and Patricia A. Alessi recorded in O.R. Book 25832, Page 682. Also see the following Books and Pages: O.R. Book 24415, Page 379.
6. Quit Claim Deed from Patricia A. Alessi and Daniel Alessi to Daniel A. Alessi, recorded May 16, 1997 in O.R. Book 26433, Page 386, Corrective Quit Claim Deed recorded June 18, 2001 in O.R. Book 31730, Page 253, Public Records of Broward County, Florida.
7. Warranty Deed from Daniel A. Alessi to Jerome Carpenter and Gladys Carpenter, recorded June 18, 2001 in O.R. Book 31730, Page 254, Public Records of Broward County, Florida.
8. Warranty Deed from Jerome J. Carpenter and Gladys P. Carpenter to Bayside Development, LLC, a Florida limited liability company, recorded April 29, 2004 in O.R. Book 37340, Page 724, Public Records of Broward County, Florida.
9. Warranty Deed from Bayside Development, LLC, a Florida limited liability company to Clemence, LLC, a Florida limited liability company, recorded May 16, 2005 in O.R. Book 39642, Page 1391, Public Records of Broward County, Florida.

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10. Warranty Deed from Clemence, LLC, a Florida limited liability company to Lincoln Park Developers, LLC, a Florida limited liability company, recorded April 22, 2006 in O.R. Book 41873, Page 439, Public Records of Broward County, Florida.
11. Foreclosure proceedings under Case No. CACE08016794 as evidenced by Lis Pendens in O.R. Book 45345, Page 913, Final Judgment in O.R. Book 45726, Page 678, Assignment of Final Judgment in O.R. Book 45751, Page 1552, Certificate of Title in favor of Shelly Brodie, Steven Brodie, Michael S. Steiner, Carol D. Steiner, William K. Steiner, Mortgagex, LLC, a Florida limited liability company, Charles Flaxman, Gerrie Flaxman, Susan Cohen Fischer, as Trustee of the S. Cohen Fischer Revocable Trust, Eric Jacobs, Northern Trust Bank, as Trustee of the Jeff M. Cohen IRA, Art Jacowitz, Joan Jacowitz, Edilberto J. Rodriguez and Laurie D. Rodriguez, Edith Osman, all as Assignees of City First Mortgage Corp, a Florida Corporation recorded in O.R. Book 45925, Page 695, following Books and Pages: O.R. Book 41873, Page 441, O.R. Book 42069, Page 591, O.R. Book 42883, Page 42, O.R. Book 44600, Page 1858.
12. Quit Claim Deed from City First Mortgage Corp., a Florida corporation to 2420 Lincoln Street LLC, a Florida limited liability company, recorded March 27, 2009 in O.R. Book 46088, Page 655, Public Records of Broward County, Florida.
13. Quit Claim Deed from Northern Trust Bank, as Trustee of the Jeff M. Cohen IRA to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1389, Public Records of Broward County, Florida.
14. Quit Claim Deed from Eric Jacobs to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1391, Public Records of Broward County, Florida.
15. Quit Claim Deed from Charles Flaxman to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1393, Public Records of Broward County, Florida.
16. Quit Claim Deed from Gerrie Flaxman to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1395, Public Records of Broward County, Florida.
17. Quit Claim Deed from Edith Osman to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1397, Public Records of Broward County, Florida.
18. Quit Claim Deed from Carol D. Steiner to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1399, Public Records of Broward County, Florida.
19. Quit Claim Deed from Michael S. Steiner to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1401, Public Records of Broward County, Florida.
20. Quit Claim Deed from William K. Steiner to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1403, Public Records of Broward County, Florida.
21. Quit Claim Deed from Edilberto Rodriguez to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1405, Public Records of Broward County, Florida.

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22. Quit Claim Deed from Laurie D. Rodriguez to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1407, Public Records of Broward County, Florida.
23. Quit Claim Deed from Joan Jacowitz to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1409, Public Records of Broward County, Florida.
24. Quit Claim Deed from Art Jacowitz to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1411, Public Records of Broward County, Florida.
25. Quit Claim Deed from Susan Cohen Fischer, as Trustee of the S. Cohen Fischer Revocable Trust to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1413, Public Records of Broward County, Florida.
26. Quit Claim Deed from Steven Brodie to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1415, Public Records of Broward County, Florida.
27. Quit Claim Deed from Shelly Brodie to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1417, Public Records of Broward County, Florida.
28. Quit Claim Deed from Mortgagex LLC, a Florida limited liability company to 2420 Lincoln Street LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1419, Public Records of Broward County, Florida.
29. Warranty Deed from 2420 Lincoln Street LLC, a Florida limited liability company to Rus's Property, LLC, a Florida limited liability company, recorded December 8, 2011 in O.R. Book 48355, Page 1428, Public Records of Broward County, Florida.
30. Warranty Deed from Rus's Property, L.L.C., a Florida limited liability company to San Francisco Group of Florida II, LLC, a Florida limited liability company, recorded August 19, 2013 in O.R. Book 50092, Page 1431, and Corrective Warranty Deed recorded in O.R. Book 50237, Page 934, Public Records of Broward County, Florida.
31. Warranty Deed from San Francisco Group of Florida II LLC, a Florida limited liability company to Aviva & Sam LLC, a Florida limited liability company, recorded March 10, 2021 in Instrument Number 117111603, Public Records of Broward County, Florida.

Mortgages, Assignments and Modifications:

1. Mortgage to Valley National Bank, mortgagee(s), recorded in Instrument Number 117166850, Public Records of Broward County, Florida.
2. Assignment of Leases, Rents, and Profits filed April 1, 2021, in Instrument Number 117166851, Public Records of Broward County, Florida.
3. UCC Financing Statement between Valley National Bank and Aviva & Sam LLC as recorded in Instrument Number 117166852, Public Records of Broward County, Florida.

Other Property Liens:

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1. FOR INFORMATIONAL PURPOSES ONLY: 2022 taxes were paid under receipt number WWW-22-00024288, on November 6, 2022, Parcel/Account ID# 5142 16 01 5510, the gross amount being \$16,363.04.

Restrictions/Easements:

1. All matters contained on the Plat of An Amended Plat of Hollywood Little Ranches, recorded in Plat Book 1, Page 26, Public Records of Broward County, Florida.
2. Ordinance #76 recorded in O.R. Book 8136, Page 244, Public Records of Broward County, Florida.
3. Resolution recorded in O.R. Book 45500, Page 1751, Public Records of Broward County, Florida.
4. Resolution recorded in O.R. Book 43034, Page 1937, Public Records of Broward County, Florida.
5. Rights of the lessees under unrecorded leases.

Other Encumbrances:

1. Nothing Found

REAL PROPERTY TAX INFORMATION ATTACHED

Proposed Insured:

A 20-year name search was not performed on the proposed insured. It is the agent's responsibility to obtain a name search if a loan policy to be issued based on this product is other than a 100% purchase money mortgage.

STANDARD EXCEPTIONS

Unless satisfactory evidence is presented to the agent eliminating the need for standard exceptions, the following should be made a part of any commitment or policy.

1. ***General or special taxes and assessments required to be paid in the year 2023 and subsequent years.***
2. ***Rights or claims of parties in possession not shown by the public records.***

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3. *Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.*
4. *Easements or claims of easements not shown by the public records.*
5. *Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.*
6. *Any owner policy issued pursuant hereto will contain under Schedule B the following exception: Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the lands insured hereunder, including submerged, filled and artificially exposed lands, and lands accreted to such lands.*
7. *Federal liens and judgment liens, if any, filed with the Florida Department of State pursuant to Sec. 713.901, et seq., F.S., and Sec. 55.201, et seq., F.S., respectively, which designate the Florida Department of State as the place for filing federal liens and judgment liens against personal property. For insuring purposes:*
 - (a) *Pursuant to Sec. 713.901, et seq., F.S., personal property includes, but is not limited to, mortgages, leaseholds, mortgages on leaseholds, interests in cooperative associations, vendees' interests, and options when those interests are held by a partnership, corporation, trust or decedent's estate; and*
 - (b) *Pursuant to Sec. 55.201, et seq., F.S., personal property includes, but is not limited to, leaseholds, interests in cooperative associations, vendees' interests, and options regardless of the type of entity holding such interests, including individuals. (Note: Mortgages have been specifically excluded from the personal property interests in which a judgment lien may be acquired under the provisions of Sec. 55.201, et seq., F.S.)*
8. *Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality.*

The report does not cover bankruptcies or other matters filed in the Federal District Courts of Florida.

In foreclosure proceedings, title should be examined between the effective date of this report and the recording of the lis pendens to assure that all necessary and proper parties are joined. Consideration should be given to joining as defendants any persons in possession, other than the record owner, and any parties, other than those named herein, known to the plaintiff or the plaintiff's attorney and having or claiming an interest in the property.

Prior to issuance of any policy of title insurance underwritten by Old Republic National Title Insurance Company, the agent must obtain and evaluate a title search for the period between the effective date of this Title Search Report and the recording date(s) of the instrument(s) on which the policy is based.

If this product is not used for the purpose of issuing a policy, then the maximum liability for incorrect information is \$1,000.

TITLE SEARCH REPORT

Fund File Number: 1339059

Fund File Number: 1339059

The information contained in this title search is being furnished by Attorneys' Title Fund Services, LLC.

Provided For: USA Trust Title, LLC Agent's File Reference: AVIVA AND SAM

Prepared Date: November 16, 2022

This report is not title insurance. Pursuant to s. 627.7843, Florida Statutes, the maximum liability of the issuer of this property information report for errors or omissions in this property information report is limited to the amount paid for this property information report, and is further limited to the person(s) expressly identified by name in the property information report as the recipient(s) of the property information report.



Authorized Signatory
USA Trust Title, LLC
20801 Biscayne Blvd, STE 403
Aventura, FL 33180

A. APPLICATION SUBMITTAL

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. General Application Form

- a. Ensure the project address is correct. BCPA states that the address is 2420-2430 Lincoln. Please include all addresses associated with the project site. CORRECTED

2. Coversheet

- a. The coversheet must include: The name of the development, page index, preliminary or final TAC meeting date, title and location map. Some of these items are missing. Revise coversheet, per comments. CORRECTED

3. Ownership & Encumbrance Report (O&E):

- a. Must be dated within 30 days of submittal packet. CORRECTED
- b. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated. CORRECTED

4. Alta Survey:

- a. An updated Alta Survey must be resubmitted. The O&E was submitted was older than 30 days, from the submittal date. CORRECTED
- b. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced. CORRECTED
- c. The survey reflects observed evidence of utilities. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated. CORRECTED

5. Site Plan:

- a. Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval. SEE A-1
- b. Change fuchsia, green and red line weights to hue and shades that are easier to read. Use a heavier line weight and label the building location. As submitted, it is difficult to determine where the footprint of the building is shown on the site plan. Lastly, beyond the building location line weights should be evaluated and adjusted to better communicate the relationship of the building, setbacks and other zoning considerations. SEE REVISED A-1 FOR BUILDING OUTLINE
- c.

6. Site Data:

- a. Zoning data should be in a tabular format. Revise and create a Site Data Table. SEE A-1
- b. Provide full legal description. SEE A-2
- c. Plans must be fully dimensioned. SEE REVISED DIMENSION PLAN

- d. Number of dwelling units in each building including the number of bedrooms/bathrooms for each unit type. If one type, indicate. ONE BUILDING 9 UNITS
- e. Total floor area of each type of residential unit including a breakdown of air conditioned and non-air conditioned space (i.e. balconies, garages, terraces, etc.); SEE A-2
- f. Net and gross size of site including square footage and acreage, must be listed. SEE A-2
- g. Minimum unit size for a townhome for this district is 800 sq. ft. This standard is met; however, the presentation of this information on the site plan is confusing. Modify and include in revised Site Data Table. SEE A-2
- h. The setback requirements for RM-18 are the following; however there are parking lot setback requirements in §4.22 of the code. If this code section is being applied, the required and provided setback information must be included in the tabular data. Specifically, at grade parking lot setback requirements were listed nor provided. NO PARKING DRIVEWAY

C. (1) Setback requirements main structure: RM-9, RM-12 and RM-18.

Front	Side/Interior	Side/Street	Rear
20 ft. for structures; 5 ft. for at-grade parking lots.	The sum of the side yard setbacks shall be at least 20% of the lot width, but not to exceed 50 ft. with no side yard less than 7.5 ft.; except, platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback. When an existing Building has a 5 ft. side yard setback, the setback of new construction may also be 5 ft. This applies to the linear or vertical extension of a single story building.	15 ft.; except at-grade lot 5 ft.	1 story bldg. - 20 ft. 2 story bldg. or higher - 15% of the lot depth; 20 ft. min.

30'

Per §4.22(l)(2)(b), at Grade parking lots shall have the following setbacks:

Lot Width/Depth	Side or Rear Yard Setback	Front Setback
50 ft or less	5 ft.	5 ft.
More than 50 ft. but 100 ft.	5 ft.	10 ft. *
More than 100 ft. but 150 ft.	10 ft.	10 ft. *
Greater than 150 ft.	10 ft.	10 ft. *
* Except in O-1 Light Intensity Office Districts where a 5 ft. setback is permitted (See Performance Standards § 4.3.J.).		

- i. The maximum height requirement for RM-18 is 4 stories not to exceed 45ft. Data provided by the applicant does not include the maximum stories. This building is three (3) stories; thus, this information is relevant. Revise. SHT A-2 FOR 30' HEIGHT
- j. Add a vehicular circulation system, including required radii, dimensioned sight distance triangle, and non-access lines as shown on the plat or other separate document. A-1
- k. Identify curbing for all vehicular impact points (roadway curves, parking islands, etc. A-1

- l. Provide method of mail delivery. SEE MAIL BOX A-1
- m. Identify the locations for existing and proposed fire hydrants on-site or the closest off-site locations
SEE CIVIL PLAN
- n. Identify the location of the garbage enclosure. Clarify how will garbage collection operate.
GARBAGE BINS LOCATED IN GARAGE
- o. Parking calculation is incorrect. Townhome are required to have 2 spaces per unit. Townhome developments that have more than 4 units, are required to add 1 space per 5 units. Per §7.1 of the Hollywood Zoning and Land Use Development Regulations, fractional measurements shall be calculated to the nearest whole number. A fraction of 1/2 shall be rounded to the highest whole number. Modify. See table below: SEE A-1

Use	Required No. of Spaces	Special Conditions; Additional Spaces Required
35. Single Family Residence	2 spaces for residences with 2,000 sq. ft. or less	1 space per 500 sq. ft. above first 2,000 sq. ft.; provided, however, an addition of 500 sq. ft. or less with no bedroom shall not require any additional spaces. Total required spaces not to exceed 5. Tandem spaces allowed if carport or garage present
36. Theater and places of assembly with fixed seating	1 per 4 seats	1 per movie booth
37. Townhome	2 per Unit	If in a development that has more than 4 units then 1 space per 5 units (marked guest)
38. Warehouse	1 per 1000 sq. ft.	Non-warehouse Uses: 1 per 1000 sq. ft.
39. Yacht Club	1 per 60 sq. ft. of area available for seating	See marina for wet and dry slips.

7. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.
PLATED ALREADY EXISTING BUILDING
8. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration
Website:
<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf> DONE
9. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date. DONE
10. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such
DONE

notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s). DONE

The following Civic Association are located within 500 feet project site.

- a. North Central Hollywood

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

11. Additional comments may be forthcoming.

12. Provide written responses to all comments with next submittal.

B. ZONING

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Provide a diagram depicting areas accounted for in the calculation of the vehicular use area.
SEE A-1 FOR DIAGRAM
2. Work with the City's Landscape Architect to ensure that all landscape requirements are met.
DONE

C. ARCHITECTURE AND URBAN DESIGN

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. On sheet A-2, are those patios on the ground floor? Clarify. NO PATIOS ON GROUND FLOOR ONLY
CONC STEPS AT SL GLASS DOORS
2. List all building materials and treatments. CENTER BLOOCKS STUCCO AND COMPOSITE PVC PANNELS
3. Per Sec. 4.6.B.3.a.(11), building articulation is required to reduce visual mass. Other than balcony projections, there is no articulation to the building façade. Consider adding articulation to all four sides of the building. COMPOSITE PVC PANNELS
4. Include the property lines and setbacks to the building, balconies and all other projections on the floor plans and elevations. DONE
5. The proposed color scheme on the renderings predominantly uses a single color. Consider adding additional colors, materials and finishes for the building, rather than a single color over what appears to be stucco.
6. Provide color, finish and materials legend for all elevations. The legend was provided but it does not include color and finish samples / specifications. DONE
7. Provide renderings for all four sides of the building and ensure the renderings match the proposed elevations and landscaping plan, as well as identify any fencing and gates. Work with the City's Landscape Architect to ensure species proposed are appropriate. NO FENCING
8. If applicable, provide the location and height/size of fences, walls, dumpster enclosures and signage.
DONE

9. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations. DONE
10. Staff has identified several discrepancies between the floor plan and elevations. Revise floor plans to include all architectural projections. DONE
11. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate. DONE

D. SIGNAGE

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided. NO SIGNAGE
2. Include note on Site Plan indicating all signage shall be in compliance with the Zoning and Land Development Regulations.
3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

E. LIGHTING

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Application is substantially compliant.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Application is substantially compliant.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. See attached memorandum from Engineering dated March 15, 2023. SEE RESPONSE CIVIL ENGINEERING PLAN

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915

1. Revise mitigation chart: 4 palms are required to be mitigated.
2. revise mitigation chart: Multi trunk Wax Myrtle cannot be counted per trunk to meet mitigation requirements. Trees must be single trunk with a 2" dbh minimum. Revise counts and resubmit.
3. Remove mitigation payment amounts if that option is not being requested.
4. Minimum tree height for code is 12' ht. revise plant list as needed.
5. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)

SEE RESPONSE
LANDSCAPING PLAN

10. Landscape shall coordinate with civil plans to accommodate proposed drainage features. Verify if trees/landscaping are proposed on top of exfiltration trench area.

11. Additional comments may follow upon further review of requested items.

SEE RESPONSE CIVIL
ENGINEERING PLAN

J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490
Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. No comments.
2. Planning staff will follow up with building to determine if the application is complaint.

K. FIRE

Chris Clinton, Deputy Fire Marshal / Deputy Division Chief (cclinton@hollywoodfl.org) 954-967-4404

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.
2. As per NFPA 1 (2018 Ed.) Section 18.2.3.2.1 --- A fire department access road shall extend to within 50 ft. (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. As these are townhomes separated by firewalls, then the front door to each townhome shall be considered within the distance measurements. --- Show this on the plans.
3. As per NFPA 1 (2018 Ed.) Section 18.2.3.2.1.1 --- Where a one- or two-family dwelling, or townhouse, is protected with an approved automatic sprinkler system that is installed in accordance with Section 13.3, the distance in 18.2.3.2.1 shall be permitted to be increased to 150 ft. (46 m). --- Show this on the plans.
4. As per NFPA 1 (2018 Ed.) Section 18.2.3.5.4 (Dead Ends) --- Dead-end fire department access roads in excess of 150 ft. (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around. --- Diagrams of acceptable methods attached.
5. When submitting plans, they must show fire department access roads along with the required turning radii. --- The minimum width for FD access roads is 20' unobstructed as per NFPA 1:18.2.3.5.1.1, per 18.2.3.5.1.2, fire department access roads shall have an unobstructed vertical clearance of not less than 13 ft. 6 in. (4.1 m) and per 18.2.3.5.3.1, the turning radius for fire truck access: 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior.
6. If a fire sprinkler system is to be installed, at time of submittal, water supply must meet NFPA 1 (2018 Ed.) Section 18.4.5.3. --- In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., underground@hollywoodfl.org. --- After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

As a result of that test, show any existing and new fire hydrants on civil drawings. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

7. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2018 Ed.) Section 16.4.3.1.1.

SEE RESPONSE CIVIL
ENGINEERING PLAN

8. As per NFPA 1 (2018 Ed.) Section 12.3.2 --- In new buildings three stories or greater in height, a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the RDP responsible for design. Inspections of firestop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.2. --- Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. --- Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. Provide a note on the plan regarding NFPA 1 (2018 Ed.) Section 12.3.2.

L. PUBLIC WORKS

Annalie Holmes, Assistant Public Works Director (annaliesh@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (danielm@hollywoodfl.org) 954-967-4526

1. No comments received.
2. Planning staff will follow up with Public works to obtain their comments. Will provide once received.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (davazquez@hollywoodfl.org) 954-921-3404

1. Need to submit park impact fee.
2. Coordinate with Parks.

N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.
2. Planning staff will follow up with Community Development and forward comments.

O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. See memorandum from the Police Department dated March 8, 2023.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. Not applicable.

R. PARKING

Jovan Douglas, Parking Operations Manager (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received.
2. Planning Staff will follow up with Parking and provide comments to the applicant.

S. ADDITIONAL COMMENTS

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,



Mawusi Khadija Watson
Planning Administrator

C: Mr. Sam Haddad via email haddadhomes@yahoo.com

July 17, 2023

City of Hollywood

**RE: TAC 23-DP-26
Lincoln Street Townhomes
2420 Lincoln Street
Hollywood, FL 33020**

Below are responses to the above-referenced project.

ENGINEERING (3/15/23)

- 1) Provide and show on plans for a 5' wide right-of-way dedication along Lincoln Street. Identify the current property line and the property line after the dedication on plans. All features of the proposed development shall begin from the proposed property line after the right-of-way dedication.

RESPONSE: Please see sheet C5.

- 2) Provide plat determination letter from the Broward County Planning Council.

RESPONSE: Please see attached plat determination letter.

- 3) On overall site plan and all applicable plans, please provide items such as:

- a. Existing right-of-way width dimension and show limits of the rights-of-way on all street / alleys adjacent to the site.

RESPONSE: Please see R.O.W. dimensions on sheet C5.

- b. Include and show all surrounding elements of the site on plans, as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks etc.

RESPONSE: Please see revised plan sheets.

- c. Provide sight triangle as per Chapter 155.12 of the City code, be sure to provide dimension for distance between edge of pavement and the property line.

RESPONSE: Please see sight triangle on sheet C5.

- d. Setback dimensions for all features (slabs and walkways) adjacent to the site's property lines.

RESPONSE: Please see revised architectural site plan.

- e. Label property line around all sides of site.

RESPONSE: Please see revised plan sheets.

- f. Indicate location and type of curb.

RESPONSE: Please see curb callouts on sheet C2.

- g. Provide dimension for curb cuts at the property line and for all walkways connecting to the public sidewalk or alley. Curb cuts shall meet Chapter 155.08 of the City code.

RESPONSE: Please see sheet C5.

- h. Indicate location of mailboxes/ mail services.

RESPONSE: Please see revised architectural site plan.

- i. Indicate how garbage storage will be provided.

RESPONSE: Please see revised site plan for location of trash bins.

- j. Label and dimension vehicular turnaround space.

RESPONSE: Please see sheet C5.

- 4) On Sheet A-1, west setback should measure from the outside of curb.

RESPONSE: Please see revised sheet A-1.

- 5) On Sheet A-1, provide dimension for the parking in front of the garage, minimum size is 8.5' wide by 18' length.

RESPONSE: Please see revised sheet A-1.

- 6) Provide new 5' sidewalk along Lincoln Street. Sidewalks should be flush through driveway opening, provide ADA detectable warning and include detail.

RESPONSE: Please see revised sheet C2.

- 7) Provide a proper apron with proper flare for the driveway connections. Sidewalks shall be flush through driveway openings with ADA detectable warnings. Provide details as required.

RESPONSE: Please see plan sheet C2 and detail on sheet C4.

- 8) Show the balcony overhangs along the property lines on plans and provide any applicable dimensions.

RESPONSE: Please see revised architectural plans.

- 9) Sheet C-3, show street names on plan. Show on plans for full road width asphalt pavement adjacent to the site to be milled and resurfaced. For the utility tie-in at the intersection, provide full intersection asphalt pavement mill and resurfacing to the tangent of each leg, please show on plan.

RESPONSE: Please see revised sheet C6.

- 10) Provide vehicular turning radii on plans.

RESPONSE: Please see revised sheet C5.

- 11) MOT plans required at the time of City Building Permit review.

RESPONSE: Acknowledged.

- 12) All outside agency permits must be _obtained prior to issuance of City building permit.

RESPONSE: Acknowledged.

- 13) Impact fees (inclusive of park impact fee) under the new City Ordinance P0- 2022-17, effective September 21, 2022, to be paid prior to building permit issuance.

RESPONSE: Acknowledged.

More comments may follow upon review of the requested in format.

RESPONSE: Acknowledged.

UTILITIES

1. Please revise Sheet C5 to include the existing utilities within the ROWs.

RESPONSE: Sheet C5 has been converted to sheet C6. Please see revised sheet C6.

2. Submit MOPS lift station details.

RESPONSE: Please see added lift station sheet LS-1.

3. Minimum private forcemain proposed within the ROW shall be 4-inch in diameter.

RESPONSE: Please see revised sheet C6.

4. Specify length and material of private forcemain within the ROW.

RESPONSE: Please see sheet C6.

5. Verify connection into City's 6-inch forcemain east of N 24th Ave.

RESPONSE: Please see revised sheet C6.

6. Label streets on Sheet C5.

RESPONSE: Sheet C5 has been changed to sheet C6. Please see revised sheet C6.

7. Indicate FFE for all enclosed areas and elevation of bottom of A/C unit or A/C pad on the ground floor.

RESPONSE: Please see sheet C2.

8. Ensure all stormwater is retained onsite.

RESPONSE: Please see drainage plan sheet C2 and preliminary drainage calculations.

9. Permit approval from outside agencies will be required.

RESPONSE: Acknowledged.

10. Landscape shall coordinate with civil plans to accommodate proposed drainage features. Verify if trees/landscaping are proposed on top of exfiltration trench area.

RESPONSE: Please see revised sheet C2. The exfiltration trench has been relocated to be fully underneath the proposed pavement.

11. Additional comments may follow upon further review of requested items.

RESPONSE: Acknowledged.

9 UNIT TOWNHOMES
2420 2430 LINCOLN STREET
HOLLYWOOD , FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

DRAWING INDEX

A-1 SITE PLAN
A-2 PROJECT INFORMATION
A-3 GROUND FLOOR PLAN
A-4 SECOND AND THIRD FLOOR PLAN
A-5 ELEVATIONS

L-1 DISPOSITION PLAN
L-2 LANDSCAPE DETAILS AND NOTES
IR-1 IRRIGATION PLAN
IR-2 IRRIGATION SCHEDULE
IR-3 IRRIGATION DETAIL AND NOTES

C-1 EROSION AND SEDIMENT CONTROL PLAN
C-2 PAVING, GRADING AND DRAINAGE PLAN
C-3 CIVIL DETAILS
C-4 CIVIL DETAILS
C-5 PAVEMENT MARKING AND SIGNAGE PLAN
C-6 WATER AND SEWER PLAN
C-7 UTILITY DETAILS
C-8 PUMP STATION DETAILS

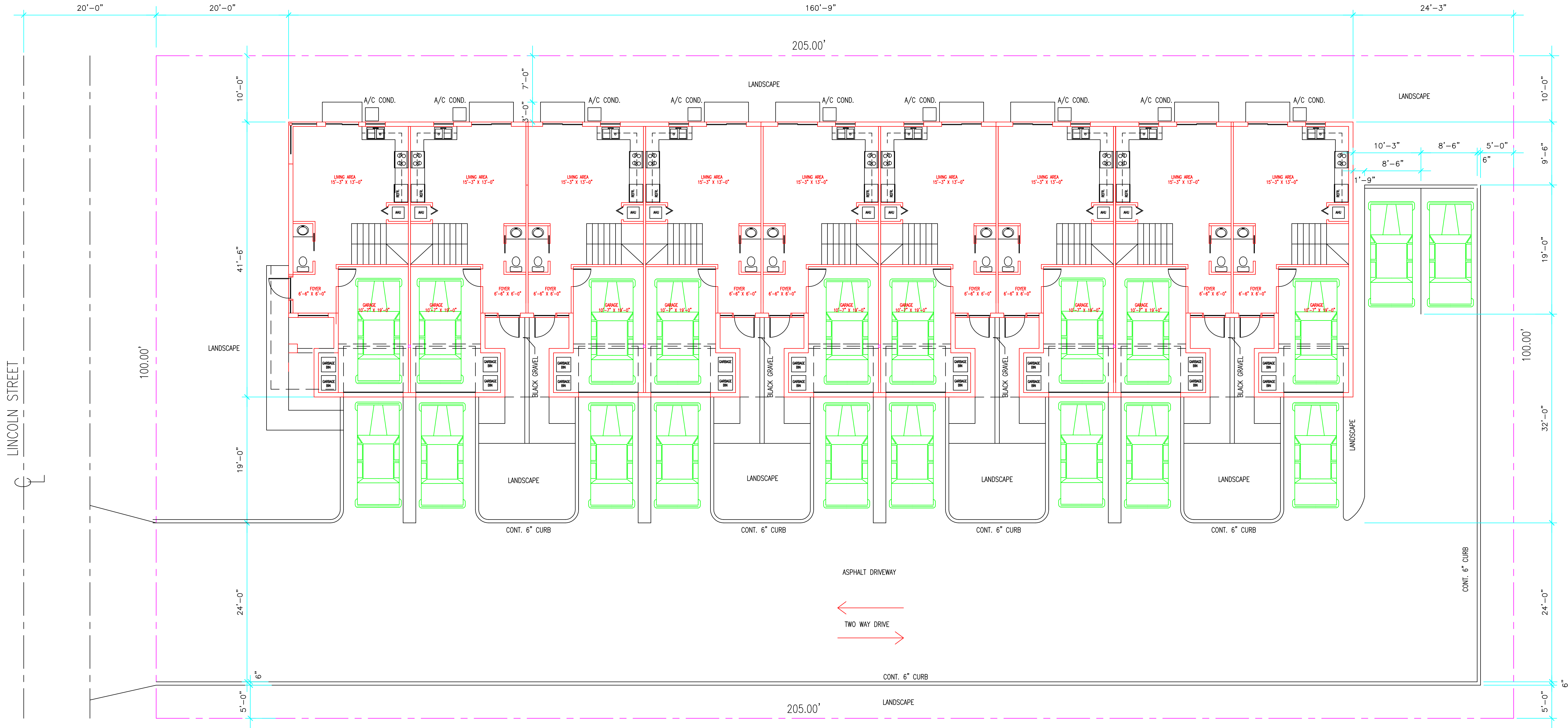


N LOCATION PLAN
SCALE: 1/8"=1'-0"

Miguel F
de Diego
Digitally signed by
Miguel F de Diego
Date: 2024.01.02
11:42:58 -05'00'

PACO MEETING 1.1-2022
TAC MEETING 0.3-2023



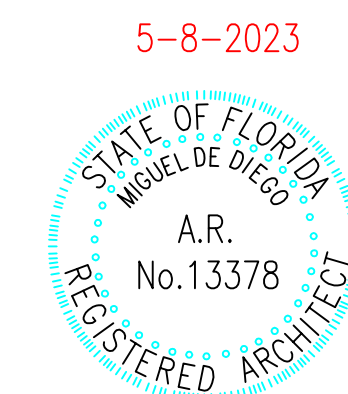


SITE PLAN
SCALE: 1/8"=1'-0"
ZONED RM-18
FLOOD ZONE "X"

Miguel de Diego
ARCHITECT P.A.
AA-26001641

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

CHECKED
DRAWN
DATE 5-8-2023
COMM. NO. 21-196



A-1
5

9 UNIT TOWNHOMES
2420 2430 LINCOLN STREET
HOLLYWOOD, FLORIDA

ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND IS TO BE USED FOR THE PROJECT AND SITE ONLY. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

GREEN BUILDING REQUIREMENTS (151.153)

1. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
2. PROVIDE PROGRAMABLE THERMOSTATS
3. PROVIDE DUAL FLUSH TOILETS. VERIFY TO USE LESS THAN ONE GALLON TO FLUSH LIQUIDS AND 1.6 GALLONS OR LESS FOR SOLIDS.
4. PROVIDE MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT. MERV OF AT LEAST 8 SHALL BE VERIFIED BY THE MECHANICAL INSPECTOR ON SITE AT FINAL INSPECTION.
5. ALL OUTDOORS LIGHTS INCLUDING FLUORECENT BULBS AND FIXTURES WITH ELECTRONIC BALLAST LOW PRESSURE SODIUM OR MERCURY VAPOR, PHOTOVOLTAIC SYSTEM, LED LIGHTING AND LOW VOLTAGE LANDSCAPE LIGHTS THAT RUN ON TIMER. ALL ENERGY EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY THE ELECTRICAL INSPECTOR AT FINAL INSPECTION.
6. AT LEAST 80% OF PLANTS, TREES AND GRASSES PER SO. FL. WATER MANAGEMENT DISTRICT RECOMMENDATIONS
7. ALL WINDOWS TO BE IMPACT LOW E RATED
8. ALL HOT WATER PIPES TO BE INSULATED
9. ALL UNITS TO HAVE TANKLESS WATER HEATERS
10. ROOF MATERIAL TO BE ENERGY STAR COMPLIANCE

FAR = 1.75
20,500 X 1.75 = 35,875 SF ALLOWED
17,217.90 S.F. PROVIDED

JOB ADDRESS:

2420 2430 LINCOLN STREET
HOLLYWOOD , FLORIDA

ZONED RM-18 FLOOD ZONE "X"

CUMULATIVE AVERAGE SQ. FT.

TOTAL UNDER AIR S.T. = 15,075.90 S.F.
15,075.90 / 12 = 1,256.32 S.F. CUMULATIVE AVERAGE

LEGAL DESCRIPTION:

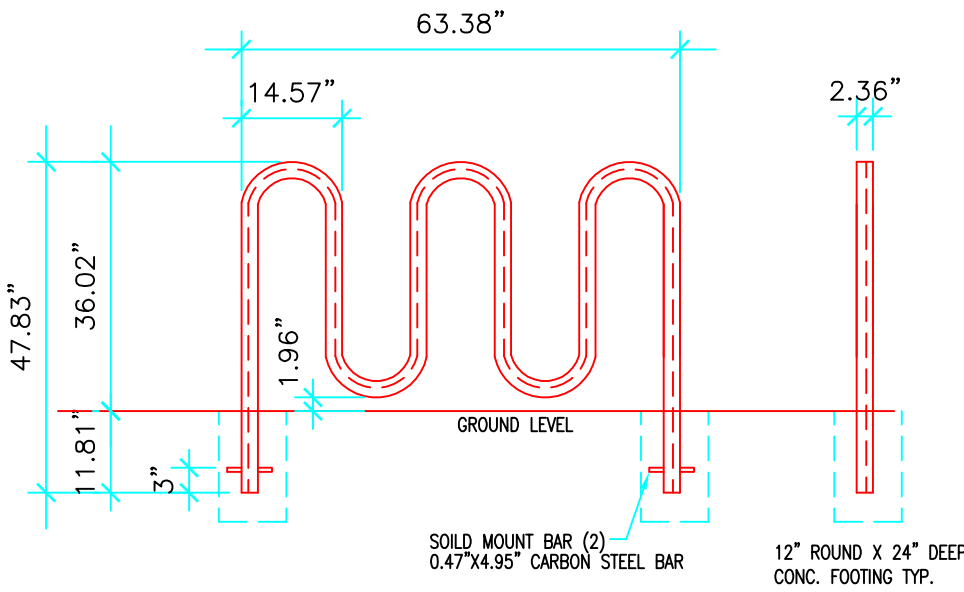
LOT 27, BLOCK 14 OF HOLLYWOOD LITTLE RANCHES
PLAT BOOK 1 PAGE 26 BROWARD COUNTY FLORIDA

SETBACKS

	REQUIRED	PROVIDED
FRONT	20'-0"	20'-6"
REAR	20'-0"	24'-3"
INTERIOR SIDE	10'-0"	10'-0"
BLDG HEIGHT	45'-0"	33'-0"
PERVIOUS		34.37 %
BUILDING HEIGHT	45' MAX	33 FT

SITE CALCULATIONS

SITE:	20,500.00 S.F.	.47 ACRES
BLDG FOOTPRINT	6,492.00 S.F.	31.66 %
ROOFED ENTRY	284.00 S.F.	1.38 %
CONC. WALKWAYS	366.00 S.F.	1.78 %
ASPHALT DRIVES	8,050.00 S.F.	39.26 %
LANDSCAPE	5,308.00 S.F.	25.89 %



BICYCLE RACK DETAIL
N.T.S.

TYPICAL UNIT:

GROUND FLOOR	
LIVING AREA	483.33 S.F.
GARAGE	238.00 S.F.
TOTAL	721.30 S.F.

SECOND FLOOR	
AREA	581.66 S.F.

THIRD FLOOR	
AREA	610.22 S.F.

TOTAL LIVING AREA	1,675.10 S.F.
TOTAL UNIT	1,913.10 S.F.

- NOTE:
1. ALL SIGNAGE SHALL COMPLY WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
 2. ROOF MATERIAL TO BE HIGH ALBEDO (TO BE DETERMINED BY THE OWNER)
 3. FOOT CANDLE LEVEL AT PROPERTY LINE TO BE 0.5 MAX.
 4. RAILINGS AT BALCONIES TO BE ALUM. AND SLAB TO BE CONCRETE

NOTE:
ANY CHANGES TO DESIGN INCLUDING MATERIAL CHANGES MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL PRIOR TO CONSTRUCTION.

ELECTRIC VEHICLE CHARGING
PROVIDE TWO EMPTY 3/4" COND. JUNCTION BOX WITH BLANK PLATE. PROVIDE AS PER N.E.C. AND SAE J1772 TO A TWO GANG JUNCTION BOX WITH BLANK PLATE AT EACH GARAGE

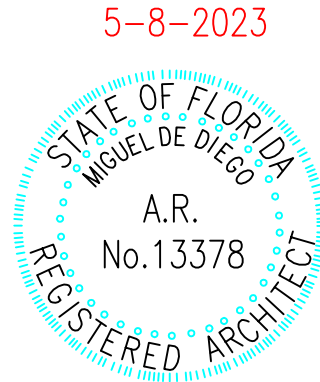
PARKING REQUIRED
2 PARKING SPACE PER UNIT
9 UNITS = 18 PARKING SPACES REQUIRED
2 GUEST SPACES PROVIDED
TOTAL 20 SPACES PROVIDED

8,050 S.F.

ASPHALT AREA DESIGNATION
SCALE: 1/8"=1'-0"

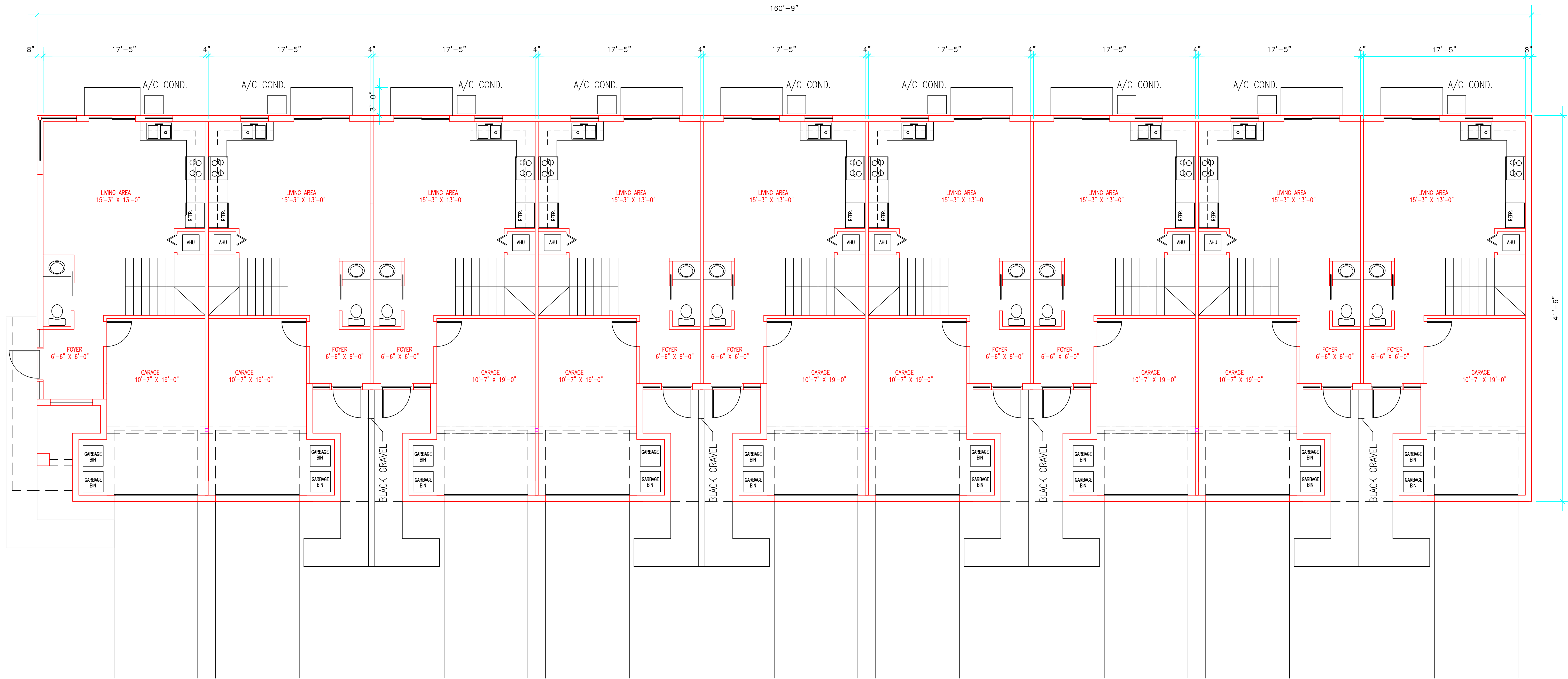
9 UNIT TOWNHOMES
2420 2430 LINCOLN STREET
HOLLYWOOD , FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021



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DATE 3-2-2022
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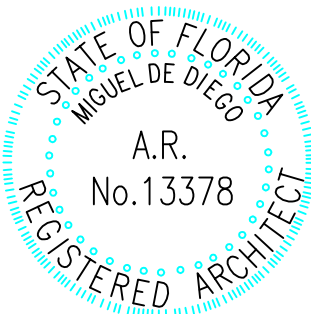


GROUND FLOOR PLAN
SCALE: 3/16"=1'-0"

Miguel de Diego
ARCHITECT P.A.
AA-26001641

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

5-8-2023



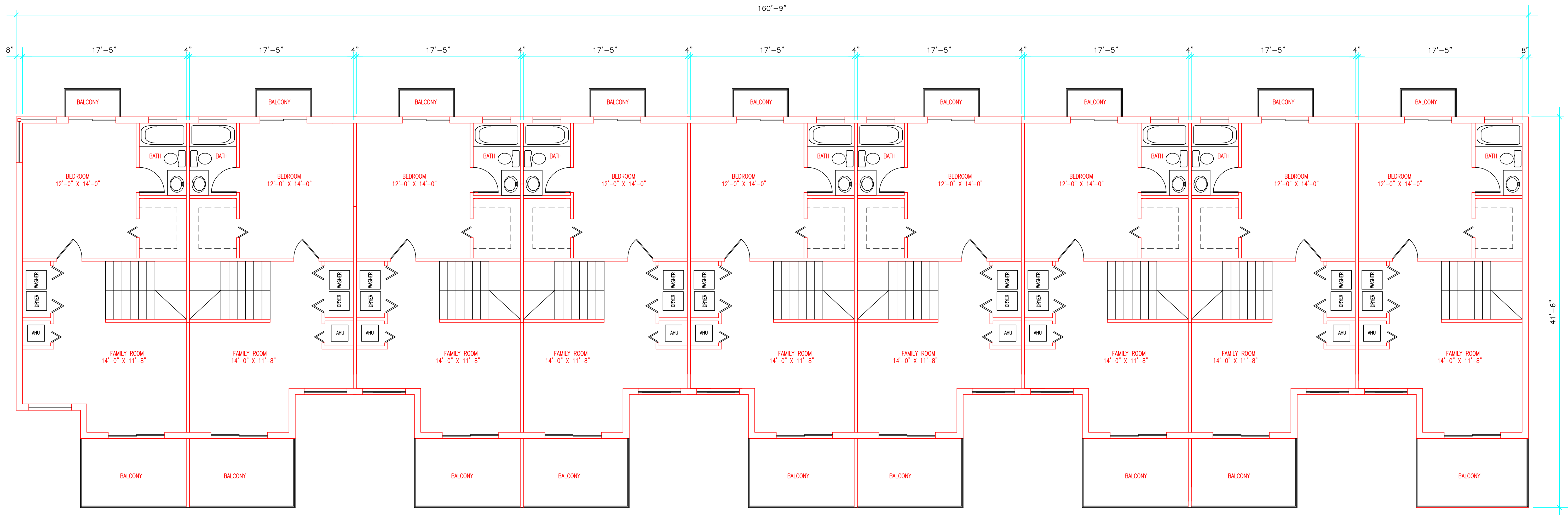
Miguel de Diego

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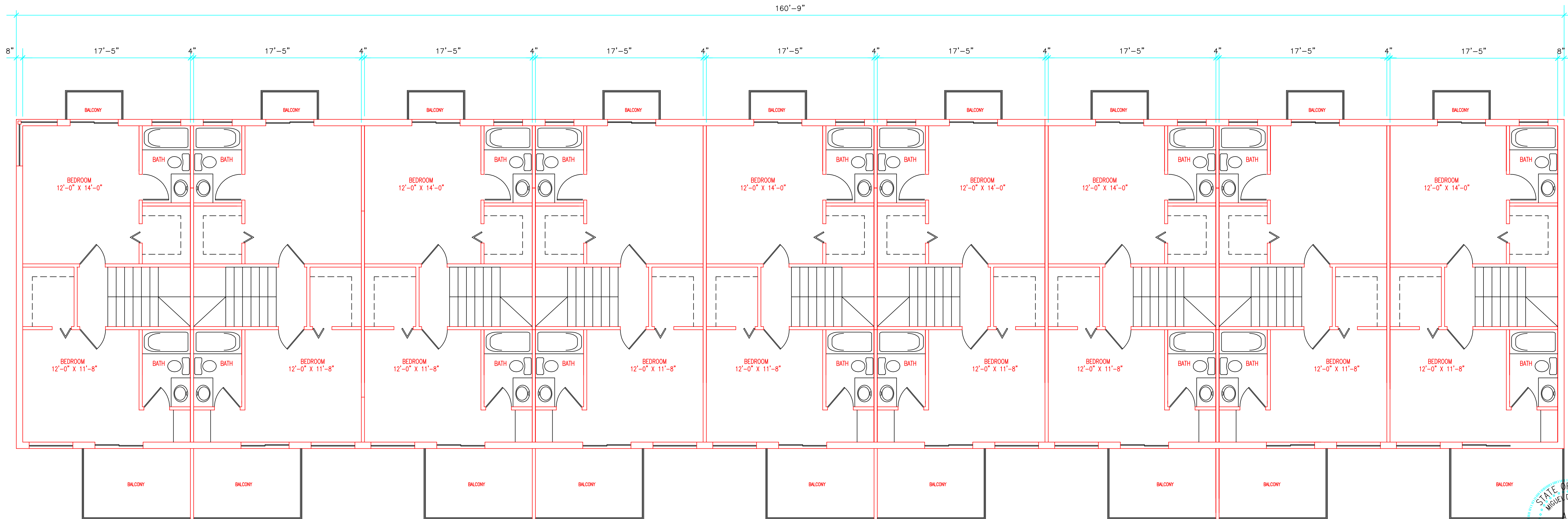
NO.	DATE	REVISION

9 UNIT TOWNHOMES
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HOLLYWOOD , FLORIDA

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N SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



N THIRD FLOOR PLAN
SCALE: 3/16"=1'-0"

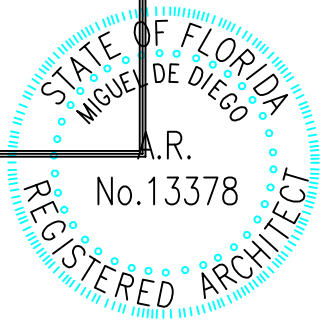
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NO.	DATE	REVISION

9 UNIT TOWNHOMES
2420 2430 LINCOLN STREET
HOLLYWOOD, FLORIDA

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AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

CHECKED
DRAWN
DATE 3-2-2022
COMM. NO. 21-196



5-8-2023

Miguel de Diego

A-4
5

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

ALTA/NSPS

LAND TITLE SURVEY

DESCRIPTION:
LOT 27 BLOCK 14, "AN AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES",
ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SURVEYOR NOTES:

- 1.) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
- 2.) THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.
- 3.) THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- 4.) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- 5.) BENCHMARK REFERENCE - NATIONAL GEODETIC SURVEY DESIGNATION - M 312, PID - AD2500, ELEVATION = 13.44
- 6.) ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- 7.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
- 8.) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- 9.) NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF POLK STREET.
- 10.) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
- 11.) RESERVATION FOR 5' SIDEWALK DEDICATED BY PLAT FOR PUBLIC USE.
- 12.) WATER SERVICE MAIN LOCATED NEAR REAR PROPERTY LINE UNABLE TO FIELD LOCATE UNKNOWN SIZE. CALL FOR LOCATES BEFORE DIGGING.

SUMMARY TABLE OF TITLE EXCEPTIONS

STANDARD EXCEPTIONS

FUND FILE NUMBER 1339059	DATED: NOVEMBER 8, 2022
EXCEPTIONS	COMMENTS
1. Special taxes, assessments (shown as paid)	Not a Survey Matter
2. Rights or claims of parties	Not a Survey Matter
3. Encroachments, overlaps	See Survey - Fence encroachment
4. Unrecorded Easements	Ingress/Egress - See Survey
5. Liens for services not recorded	Not a Survey Matter
6. Any adverse claim by the State of Florida by right of Sovereignty	Not a Survey Matter
7. Federal Liens and Judgment Liens, if any	Not a Survey Matter
8. Any Lien provided by County Ordinance or by Chapter 159, F.S.	Not a Survey Matter

RESTRICTIONS / EASEMENTS

1. All matters contained on the Plat of An Amended Plat of Hollywood Little Ranches, Plat Book 1, Pg. 26, Broward County Records.
2. Ordinance #76, O.R.B. 8136, Pg. 244, B.C.R. - Street Naming
3. Resolution recorded in O.R.B. 45500, Pg. 1751, B.C.R.
- #05-DP-103a - Development Review Board - 8 Townhomes
4. Resolution recorded in O.R.B. 43034, Pg. 1937, B.C.R.
- #06-DPV-103 - Development Review Board - 8 Townhomes
5. Rights of Lessees - unrecorded leases - Not a Survey Matter

TITLE SEARCH REPORT

FURNISHED BY ATTORNEYS' TITLE FUND SERVICES, LLC
PROVIDED FOR: USA TRUST TITLE, LLC
AGENTS FILE REFERENCE: AVIVA AND SAM
PREPARED DATE: NOVEMBER 16, 2022

SURVEY CERTIFICATION:

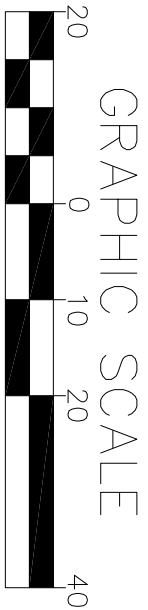
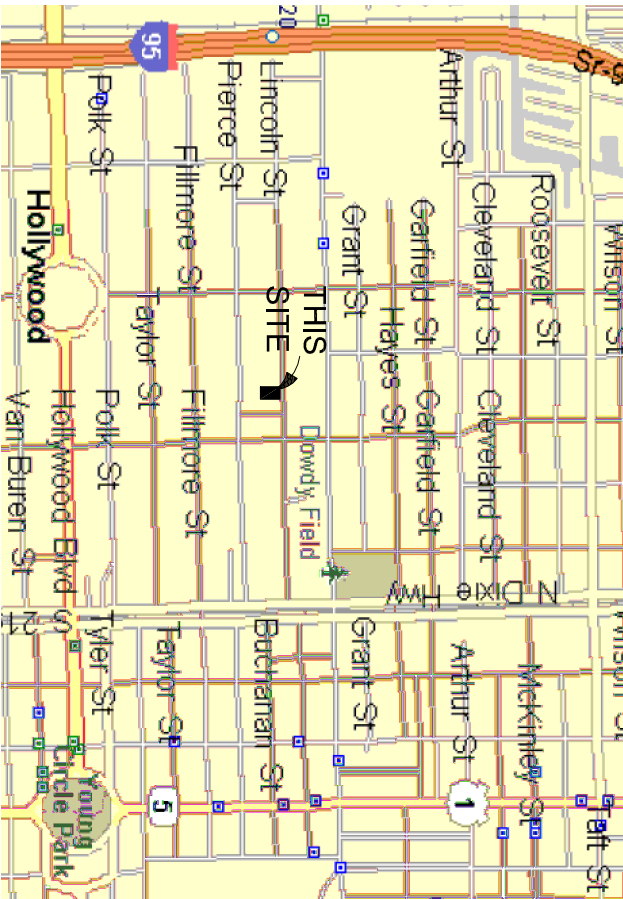
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, EFFECTIVE FEBRUARY 23, 2021

AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11 (LIMITED), AND 13 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON NOVEMBER 16, 2022

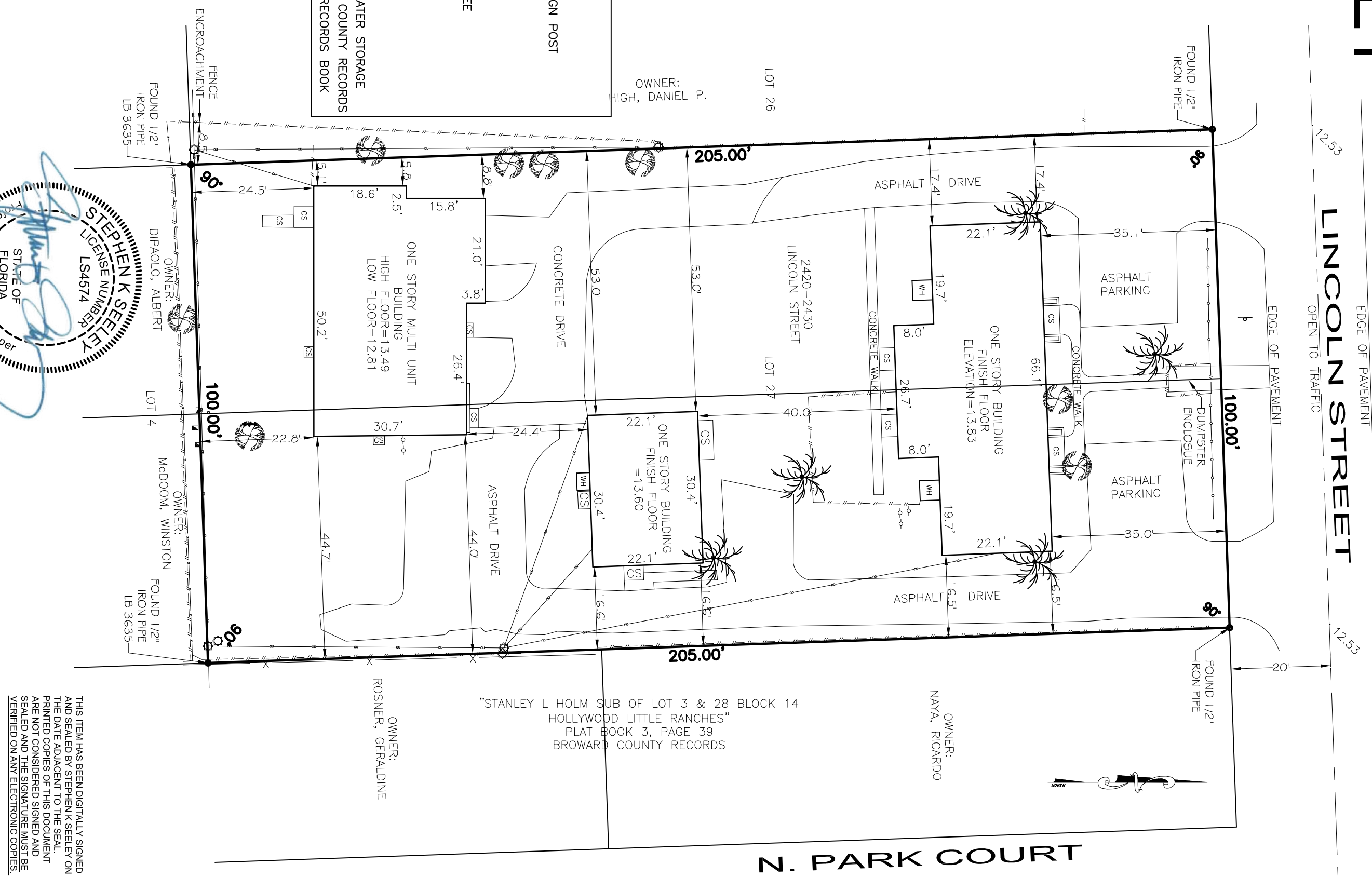
LAND AREA/PROPERTY SIZE:

GROSS: 22,500 SQUARE FEET - 0.52 ACRE
(TO RIGHT-OF-WAY CENTERLINE)
NET: 20,500 SQUARE FEET - 0.47 ACRE



(IN FEET)
FEMA FLOOD
INSURANCE RATE MAP
HOLLYWOOD
BROWARD COUNTY, FLORIDA
125113
ZONE X
BASE FLOOD ELEVATION=N/A
PANEL No. 12011 C0 569 H
FIRM DATE=08/18/2014

LEGEND	
CHAIN/LINK FENCE	TRAFFIC SIGN POST
WOOD FENCE	CLEANOUT
CONCRETE WALL	CONCRETE
SANITARY SEWER LINE	LARGE TREE
WATER LINE	PALM
OVERHEAD UTILITY	ELEVATION
CENTERLINE	WATER HEATER STORAGE
RIGHT-OF-WAY LINE	BROWARD COUNTY RECORDS
WATER METER	OFFICIAL RECORDS BOOK
WOOD POWER POLE	
CONCRETE SLAB	



CERTIFIED TO:

AVIVA & SAM LLC, A FLORIDA LIMITED LIABILITY COMPANY

THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO, FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT/AGREEMENT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL. COPYING, DISTRIBUTING OR RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.

ALTA/NSPS

LAND TITLE SURVEY

JOB #FHN9294
SCALE: 1"=20'

SHEET 1 of 1

DATE: 11/18/2022
DRAWN BY: CM
CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER



GIBBS

LAND SURVEYORS

2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018