

Historic Preservation Board

Tuesday, March 11, 2025

3:00 PM

City of Hollywood



Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Room 219

Thank you for demonstrating an interest in the City of Hollywood Historic Preservation Board Meeting. The public may view the meeting either in person or virtually <http://hollywoodfl.org/calendar>.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so either in person or virtually:

In-person:

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Board Clerk prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

Virtually:

Virtual comment is offered as a courtesy. The City is not responsible for technical difficulties that may periodically arise. Pre-registration shall be REQUIRED.

To register use the Board Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. Should an item require consideration by multiple Boards, individual forms shall be submitted for each Board. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

<https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal>

Due to the quasi-judicial nature of items, written comments CANNOT be read into the record. Public comment shall be limited to three minutes speaking time maximum. All comments received during the submission period will become part of the public record. Comments left on voicemail machines, emailed, posted to the City's social media accounts or submitted for virtual comment after 6:00 PM on the day prior to the meeting shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. For the hearing and speech impaired at 800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at planningdivision@hollywoodfl.org.

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.

A. Administration

1. Pledge of Allegiance
2. Roll Call
3. Approval of Previous Meeting Minutes

Attachments: [2025_0211 Minutes Draft HPB](#)

4. Summary of Appeals to City Commission
5. Additions, Deletions and Withdrawals
6. City Attorney Announcements

Attachments: [Quasi-Judicial Hearing Procedures](#)
[Witness List P-25-01](#)

B. Applications

ITEMS # 1-2 BELOW ARE CONSIDERED QUASI-JUDICIAL

[1. 2025 0311](#)

FILE NO.: 25-CM-03
APPLICANT: Diana Plunkett
LOCATION: 1133 Van Buren Street
REQUEST: Certificate of Appropriateness for Design to remove a fabric covering of an existing porch and add a new roof and columns structure covering the porch on the front façade of a single-family home located within the Hollywood Lakes neighborhood.

Attachments: [2503 HPB C Staff Report 2025 0311](#)
[Attachment A Application Package](#)
[Attachment B Aerial Map](#)

[2. 2025 0311](#)

FILE NO.: 24-CV-76
APPLICANT: 501 S. Surf Rd. Trust
LOCATION: 501 South Surf Road
REQUEST: Certificate of Appropriateness for Design to construct a new single family dwelling, and a Variance of Section 4.6.C.e.(5) Off-Street Parking Standards to permit an increase in off street parking from 1.5 permitted spaces to 5 parking spaces in the BWK-25-HD-R zoning district located at 501 South Surf Road, within the Hollywood Beach Historic Overlay District.

Attachments: [2476 HPB Staff Report 2025 0311](#)
[Attachment A Application Package](#)
[Attachment B Aerial Map](#)

C. Old Business

D. New Business

Discussion about nominations for the Historic Preservation Awards for Historic Preservation Month

E. Adjournment

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Any person wishing to appeal any decision made by this Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

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City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Agenda Date: 3/11/2025

Agenda Number:

To: Historic Preservation Board

Title:

SUMMARY OF THE MINUTES
HISTORIC PRESERVATION BOARD

CITY OF HOLLYWOOD
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020

A. ADMINISTRATION

1. Pledge of Allegiance
2. Roll Call

The meeting of the Historic Preservation Board was called to order by Board Chair, Terry Cantrell on **Tuesday, February 11th, 2024, at 3:00 PM** in Room 219, 2600 Hollywood Blvd, Hollywood, Florida, with the following members present:

Terry Cantrell
Fred Villiers-Furze
Dulce Conde

Ari Sklar
Kathleen DiBona

Development Services, Division of Planning and Urban Design Staff present:

Andria Wingett	Director of Development Services
Cameron Palmer	Principal Planner/Supervisor, Development
Lauren Pruss	Principal Planner/Supervisor
Carmen Diaz	Planner III
Rachel Marshall	Assistant Planner
Solange Baquero-Meza	Development Review Coordinator (Remote)

Also Present:

Kim Phan Assistant City Attorney

3. Approval of the Meeting Minutes
January 14, 2025 - Approved

MOTION WAS MADE BY KATHLEEN DIBONA AND SECONDED BY DULCE CONDE TO APPROVE THE JANUARY 14TH, 2025, MEETING MINUTES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

4. Summary of Appeals to City Commission
None
5. Additions, Deletions, Withdrawals, and Continuances
None

6. City Attorney Announcements
Kim Phan informed the Board that item 1 is ruled by Quasi-Legislative Proceedings.

B. APPLICATIONS:

ITEM #1 BELOW MAY BE CONSIDERED QUASI-JUDICIAL AND MAY BE SUBJECT TO A CRR REGULATION.

1. **FILE NO.:** 21-C-20a
APPLICANT: Sarcoh Corp.
LOCATION: 1051 S Northlake Drive
REQUEST: Certificate of Appropriateness for Design for a new single-family house in the Lakes Area Historic Multiple Resource Listing District.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planner III, presented companion items 1 and 2 and answered questions from the Board.

Property Owner represented by Joseph Keller as interpreter and Architect was present, provided additional information on the project and answered questions from the Board.

Terry Cantrell opened the meeting to public comments. No public comments were made. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY KATHLEEN DIBONA AND SECONDED BY ARI SKLAR TO APPROVE THE DESIGN WITH THE FOLLOWING CONDITIONS:

1. The applicant provides a marker on the property which describes the historic background of the original structure. (Section 5.5.F.4.j. of the ZLDR).
2. The applicant documents the history of the property and donates any salvageable information and material to the Hollywood Historic Society.
3. The applicant shall collaborate with staff to enhance the east side elevation by incorporating architectural elements to improve the design, minimize blank walls, and create a visually cohesive look. These elements should be thoughtfully arranged to enhance the elevation's rhythm, reduce monotony, and ensure consistency with the overall architectural style of the project.
4. The applicant shall design the fence to align with the architectural style of the house at the time of permitting.

MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

C. OLD BUSINESS

None

D. NEW BUSINESS

None

E. ADJOURNMENT

This meeting was adjourned at 4:07 P.M.

DRAFT



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Agenda Date: 3/11/2025

To: Historic Preservation Board

Title:

**QUASI-JUDICIAL HEARING PROCEDURES
AND RULES FOR EX-PARTE COMMUNICATIONS**

I. Scope and Applicability. These procedures shall apply to all quasi-judicial hearings held by the City Commission or by any Board or Committee (hereinafter referred to as "Boards") which holds quasi-judicial hearings. The City Attorney shall determine which matters are quasi-judicial in nature and shall direct the City Clerk or Board liaison to designate specially such matters on the agenda.

II. Proceedings. Mayor, Vice Mayor or other presiding officer (hereafter, the "Presiding Officer") shall conduct the proceedings and maintain order. The City Attorney or legal advisor shall represent the City Commission or Board, rule on all evidentiary and procedural issues and objections, and advise the City Commission or Board as to the applicable law and necessary factual findings. Hearings shall be conducted informally, but with decorum. Formal rules of procedure shall not apply except as set forth herein; however, fundamental due process shall be accorded.

III. Unauthorized Communications. In all quasi-judicial hearings, all rulings must be based only upon the evidence presented at the hearing. In accordance with Section 286.0115(1), Florida Statutes, ex parte communications with City Commissioners or Board members in quasi-judicial matters is permissible and the adherence to the following procedures shall remove the presumption of prejudice arising from ex parte communications with City Commissioners or Board members:

1. The substance of any ex parte communication with a City Commissioner or Board member which relates to a quasi-judicial action pending before the Commission or Board is not presumed prejudicial to the action if the subject of the communication and the identity of the person, group, or entity with whom the communication took place is disclosed and made a part of the record before the final action on the matter.

2. A City Commissioner or Board member may read a written communication from any person. However, a written communication that relates to a quasi-judicial action pending before the Commission or Board shall not be presumed prejudicial to the action, and such written communication shall be made a part of the record before final action on the matter.

3. City Commissioners or Board members may conduct investigations and site visits and may receive expert opinions regarding quasi-judicial action pending before them. Such activities shall not be presumed prejudicial to the action if the existence of the investigation, site visit, or expert opinion is made a part of the record before final action on the matter.

4. Disclosure made pursuant to subparagraphs 1, 2 and 3 must be made before or during the public meeting at which a vote is taken on such matters, so that persons who have opinions contrary to those expressed in the ex parte communication are give a reasonable opportunity to refute or respond to the communication.

IV. Witnesses and Supporting Materials. At least eight City business days before a quasi-judicial hearing.

A. Staff shall prepare a report, recommendation and supporting materials, a copy of which shall be available to the applicant, appellant and to the public at the City Clerk's Office. Included in the supporting materials will be copies of all exhibits and documents upon which staff's recommendation is based.

B. The Applicant and the Appellant, if applicable, shall submit a detailed outline of the argument in support of their application, copies of all exhibits which will be presented at hearing and the names and addresses of all witnesses who will be called to testify in support of the application (including resumes for any witness the party intends to qualify as an expert).

C. The eight City business day deadline is necessary to ensure the Commission or Board members are given sufficient opportunity to review the written submissions prior to the hearing, and shall be strictly observed. Should the eight-day City business day deadline be missed by either staff or the Applicant, the item may be continued at the discretion of the City Commission or Board to the next available agenda.

V. Party Intervenors.

The City Attorney may allow a person to intervene as a Party Intervenor if they meet the following requirements:

A. The person must have an interest in the application, which is different than the public at large.

B. At least ~~eight~~ three days prior to the hearing, the person shall submit a written request to intervene including: a detailed outline of their interest in the application and argument in favor or against it, copies of all exhibits which will be presented at the hearing and the names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert).

VI. Conduct of Hearing.

A. The Presiding Officer shall call the proceeding to order and announce that the hearing has begun.

B. The Presiding Officer, City Attorney or legal advisor shall inquire whether all parties, members of the public and Commission or Board members agree to waiving the quasi-judicial hearing.

C. When the quasi-judicial hearing is not waived, the City Attorney, legal advisor or Presiding Officer shall explain the rules concerning procedure, testimony, and admission of evidence.

D. When the quasi-judicial hearing is not waived, the City Clerk or staff liaison shall swear in all witnesses who are to testify at the hearing.

E. The order of proof shall be as follows:

1. A representative of the City's staff (or outside counsel) shall briefly describe the Applicant's request, introduce and review all relevant exhibits and evidence, report staff's recommendation, and present any testimony in support of staff's recommendation. Staff shall have a maximum of 30 minutes to make their full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

2. The Appellant, if applicable, (or his/her representative or counsel) shall present evidence and testimony in support of the application. Appellant shall have a maximum of 30 minutes to make its full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

3. Any Party Intervenor (or his/her representative or counsel) shall present evidence and testimony in support of or opposed to the application. A Party Intervenor shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board Member.

4. The Applicant (or his/her representative or counsel) shall present evidence and testimony in support of the application. Applicant shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

5. Any other persons present who wish to submit relevant information to the City Commission or Board shall speak next for a maximum of three minutes each (excluding any cross-examination or questions from the Commission or a Board member). Members of the public will be permitted to present their non-expert opinions, but the Commission or board will be expressly advised that public sentiment is not relevant to the decision, which must be based only upon competent and substantial evidence.

6. The Appellant will be permitted to make final comments, if any (maximum of five minutes).

7. The Applicant will be permitted to make final comments, if any (maximum of five minutes).

8. The Party Intervenor will be permitted to make final comments, if any (maximum of five minutes).

9. The City's staff will make final comments, if any (maximum of five minutes).

10. At the discretion of the Presiding Officer, the Applicant may be permitted to respond to the final Party Intervenor and staff comments and recommendations (maximum of three minutes).

G. The City Attorney or legal advisor will advise the City Commission or Board as to the applicable law and the factual findings that must be made to approve or deny the application.

H. The City Commission or Board will conduct open deliberation of the application. The Presiding Officer shall have the discretion to reopen the proceeding for additional testimony or argument by the parties when an outcome substantially different than either the granting or denial of the application is being considered. After deliberations, a vote shall be taken to approve, approve with conditions or deny the application.

VII. Examination by Commissioners and City Attorney or Legal Advisor.

Commissioners, Board members and the City Attorney or Legal Advisor may ask questions of persons presenting testimony or evidence at any time during the proceedings until commencement of deliberation.

VIII. Cross-Examination of Witnesses. After each witness testifies, the City staff representative, the Applicant's representative, Appellant's representative, and/or the Party Intervenor's representative shall be permitted to question the witness, but such cross-examination shall be limited to matters about which the witness testified and shall be limited to five minutes per side. Members of the public will not be permitted to cross-examine witnesses. Cross-examination shall be permitted only as would be permitted in a Florida court of law.

IX. Rules of Evidence.

A. All evidence of a type commonly relied upon by reasonably prudent persons in the conduct of their affairs shall be admissible, whether or not such evidence would be admissible in a court of law in Florida. Irrelevant, immaterial, harassing, defamatory or unduly repetitive evidence shall be excluded.

B. Hearsay evidence may be used for the purposes of supplementing or explaining other evidence, but it shall not be sufficient by itself to support a finding unless it would be admissible over objection in a civil action.

C. Documentary evidence may be presented in the form of a copy or the original. Upon request, parties shall be given an opportunity to compare the copy with the original.

X. Statements of Counsel. Statements of counsel, or any non-attorney representative, shall only be considered as argument and not testimony unless counsel or the representative is sworn in and the testimony is based on actual personal knowledge of the matters which are the subject of the statements.

XI. Continuances and Deferrals. The City Commission or Board shall consider requests for continuances made by City staff, the Applicant, the Appellant or a Party Intervenor and may grant continuances in its sole discretion. If, in the opinion of the City Commission or Board, any testimony or documentary evidence or information presented at the hearing justifies allowing additional research or review in order to properly determine the issue presented, then the City Commission or Board may continue the matter to a time certain to allow for such research or review.

XII. Transcription of hearing.

A. The City Clerk or staff liaison shall preserve the official transcript of the hearing through tape recording and/or video recording.

B. The Applicant, Appellant or Party Intervenor may arrange, at its own expense, for a court reporter to transcribe the hearing.

C. The Applicant, Appellant or Party Intervenor may request that all or a part of the transcript of a hearing be transcribed into verbatim, written form. In such case, the Applicant, Appellant or Party Intervenor requesting the transcript shall be responsible for the cost of production of the transcription and the transcription shall become the official transcript.

XIII. Maintenance of Evidence and Other Documents. The Office of the City Clerk or staff liaison shall retain all of the evidence and documents presented at the hearing unless any such evidence is too large to be stored by the City Clerk or staff liaison. In that event, such evidence will be stored in the Community Planning and Development Department.

XIV. False Testimony. Any willful false swearing on the part of any witness or person giving evidence before the Commission or Board as to any material fact in the proceedings shall be deemed to be perjury and shall be punished in the manner prescribed by law for such offense.

XV. Failure of Applicant to Appear. If the Applicant, the Appellant or Party Intervenor or their representative fails to appear at the time fixed for the hearing, and such absence is not excused by the Commission or Board, the Commission or Board may proceed to hear the evidence and render a decision thereon *in absentia*.

XVI. Subpoena Power. The Applicant, the Appellant or Party Intervenor or City's staff shall be entitled to compel the attendance of witnesses through the use of subpoenas. All such subpoenas shall be issued by the City Clerk at the request of the Applicant, Appellant or City's staff.

**CITY OF HOLLYWOOD
MEMORANDUM
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: February 24, 2025

MEMO NO.: P-25-01

TO: City Clerk

FROM: Andria Wingett, Director of Development Services

SUBJECT: Witness List for Quasi-Judicial Items

EXPLANATION:

Following is a list of Technical Advisory Committee members which may serve as witnesses for all **Planning and Development Board, Historic Preservation Board, and City Commission Quasi-Judicial items**. Resumes and credentials on file with the Office of Human Resources. The City may add additional witness for specific items as necessary in conformance with Quasi-Judicial procedures.

Raelin Storey	Assistant City Manager
Donna Biederman	Community Development Coordinator
Liliana Beltran	Housing Inspector
Andria Wingett	Director of Development Services
Clarissa Ip	City Engineer
Joan Shen	Assistant City Engineer
Alexander Barr	Development Review Engineering Manager
Rick Mitinger	Transportation Engineer
Lisa Bernstein	External Traffic Consultant
Ralph Aronberg	External Traffic Expert, Aronberg and Associates Consultants Engineers Inc.
Carina Harvey	District Access Management Manager, FDOT Consultant
Adam Licht	Engineering Specialist II
Favio Perez	Landscape Plans Examiner
Russell Long	Chief Building Official
Daniel Quintana	Assistant Building Official
James McGuinness	Assistant Building Official
Norman Bruhn	Assistant Building Official
Timothy Jones	Chief Structural Inspector
Jovan Douglas	Division Director of Parking and Code Compliance
Angela Kelsheimer	Operations Administrator, Parking and Code Compliance
Natnael Jowhar	Parking Operations Superintendent
Elaine Franklin	Environmental Sustainability Coordinator
Vincent Morello	Director of Public Utilities
Feng Jiang	Assistant Director of Public Utilities
Alicia Vereas-Feria	Utilities Permit Review Manager

Chris Clinton	Fire Marshal / Division Chief
Marcy Hofle	Deputy Fire Marshal / Battalion Chief
Maribel Medina	Fire Prevention Officer III
Meghan Grimsley	Fire Prevention Officer III
Chris O'Brien	Director of Public Safety
Ryan Ostrowsky	Police Lieutenant
Chantel Magrino	Crime Prevention Specialist
Joseph Kroll	Director of Public Works
Rosendo Prieto	Assistant Director of Public Works
Ricky Engle	Director of Parks, Recreation, and Cultural Arts
David Vazquez	Assistant Director of Parks, Recreation, and Cultural Arts
Anand Balram	Planning Manager
Cameron Palmer	Principal Planner / Supervisor of Development Planning
Lauren Pruss	Principal Planner / Supervisor of Long-Range Planning
Robert Gooljar	Principal Planner / Supervisor - GIS
Carmen Diaz	Planner III
Reginald White	Planner III
Laura Gomez	Planner II
Umar Javed	Planner II
Adrian Montoya	Planner II
Jorge Camejo	Executive Director, Community Redevelopment Agency
Susan Goldberg	Deputy Director, Community Redevelopment Agency
Francisco Diaz-Mendez	Project Manager, Community Redevelopment Agency
Christopher Crocitto	Project Manager, Community Redevelopment Agency
Herbert Conde-Parlato	Economic Development Manager



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

File Number: 1. 2025 0311

Agenda Date: 3/11/2025

Agenda Number:

To: Historic Preservation Board

Title: FILE NO.: 25-CM-03
APPLICANT: Diana Plunkett
LOCATION: 1133 Van Buren Street
REQUEST: Certificate of Appropriateness for Design to remove a fabric covering of an existing porch and add a new roof and columns structure covering the porch on the front façade of a single-family home located within the Hollywood Lakes neighborhood.

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: March 11, 2025 **FILE:** 25-C-03

TO: Historic Preservation Board

VIA: Anand Balram, Planning Manager

FROM: Reginald White, Planner III

SUBJECT: Certificate of Appropriateness for Design to remove a fabric covering of an existing porch and add a new roof and columns structure covering the porch on the front façade of a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

APPLICANT'S REQUEST

Certificate of Appropriateness for Design to remove a fabric covering of an existing porch and add a new roof and columns structure covering the porch on the front façade of a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

STAFF'S RECOMMENDATION

Certificate of Appropriateness for Design: Approval

BACKGROUND

The existing one-story home was constructed in 1939 (based on Broward County records) on an approximately 9,601 SF (0.22 acres) lot located at 1133 Van Buren Street. The property is zoned in the RS-6 zoning district in the Lakes Area Historic Multiple Resource Listing District and is surrounded by single-family homes similar in scale. The house was originally built with three bedrooms and one bathroom. Work associated with a new pool or pool renovations was completed in 1996. This house has not had major alterations through the years.

The current façade of the structure exhibits some Post War Modern Ranch Style architectural characteristics. *The Design Guidelines for Historic Properties state that post-war modern homes were erected in mass to house a wave of new residents.* This style, popular with builders, was relatively inexpensive and used simple materials with none of the traditional detailing.

REQUEST

The Applicant is requesting a Certificate of Appropriateness for Design for exterior renovations to an existing single-family home. The applicant proposes to remove the fabric covering of the existing porch and add a new roof and columns structure covering the porch on the front façade. The material of the roof covering will be Spanish roof tiles that will match the existing roof tiles of the home. The columns supporting the porch's roof covering will be the same material and color as the existing home. Overall, the exterior renovations do not detract from its existing architectural unity and offer compatible architectural and site elements that enhance the home's facade.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing, and location for all properties within the district. The proposed home is consistent with the character of the Lakes Area Historic Multiple Resource Listing District, and the design maintains a spatial relationship with surrounding properties in terms of scale and massing.

SITE BACKGROUND

Applicant/Owner:	Diana Plunkett
Address/Location:	1133 Van Buren Street
Size of Property:	9,601 square feet (0.22 acres)
Present Zoning:	Single-Family Residential (RS-6) Lakes Area Multiple Resource Listing District (HMPRLD-1)
Present Land Use:	Low Residential (LRES)
Present Use of Land:	Single Family
Year Built:	1939 (Broward County Property Appraiser)

ADJACENT ZONING

North:	Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRLD-1)
South:	Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRLD-1)
East:	Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRLD-1)
West:	Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRLD-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing the land owners to maximize the use of their property.*

The proposal does not contemplate a change in land use. The proposed design is compatible with the adjacent properties and surrounding areas. Furthermore, with the proposed exterior improvements the

City is accomplishing the desired reinvestment in the Lakes Area Historic Multiple Resource Listing District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed improvements are sensitive to the character of the Historic Lakes Section through its design, which is similar to existing structures in the surrounding neighborhood.

Policy 2.46: *Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

Policy CW.15: *Place a priority on protecting, preserving, and enhancing residential neighborhoods.*

The CWMP also states *the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements.* The project has minimal impact on the current streetscape.

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The existing one-story home was constructed in 1939, and it does not represent any distinct historic architectural features. It is not a prime example of any specific period of significance, as indicated by the Design Guidelines for Historic Properties and Districts. Therefore, the proposed improvements will not adversely affect the integrity of the Historic District.

APPLICABLE CRITERIA

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: One of the Basic Principles of the Design Guidelines recommends *repairing rather than replacing; always try first to repair deteriorated features.* The Applicant proposes to remove the fabric porch covering and add a new roof covering for the front porch. Additionally, new columns to support the covering for the porch is proposed with matching roof material and exterior walls color of the existing house. The proposed modification will add value and improve the use of the house while maintaining the existing character of the home.

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: The Historic District Design Guidelines recommends that alterations and rehabilitation should retain building features and landscape. The proposed alterations do not affect the main character of the house. The renovations of the porch use the same stucco material, colors, and Spanish roof ties that are utilized for the existing house. The proposed exterior improvements help to enhance the existing design of the home to create a cohesive and better-defined architectural style.

FINDING: Consistent

CRITERION: SETTING

ANALYSIS: The Historic District Design Guidelines state that setting is the relationship between *buildings within the Historic District and the surrounding site and neighborhood...the landscape features around a building are often important aspects of its character and the district in which it is located.* The proposed roof tile covering of the front façade demonstrates compatibility between the existing home and neighborhood and does not disrupt this relationship by retaining distinctive features that distinguish the existing building while providing shade and privacy. The proposed improvements further the compatibility of the home within the Lakes Historic District and surrounding homes.

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: The Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials that are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The Spanish roof tiles and stucco columns are consistent with this criteria. The proposed improvements utilize a neutral color palette and natural elements that enhance and maintain the character of the place.

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: The Design Guidelines recommend consideration of significant materials before undergoing rehabilitation of a historic structure or property. Materials used for improvements are consistent with the existing structure and are sensitive in design and nature to the home and adjacent properties. The design of the proposed exterior renovations for the single-family home is consistent with current workmanship styles and methods.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks ... Within the context of historic preservation, elements of design such as massing, scale, and rhythm reflect architectural style as well as the richness of the historic district.* Meeting all applicable code requirements, the proposed alterations are consistent with the scale and massing of the adjacent neighborhood. This project enhances the streetscape elements of the existing residence and the neighbors.

FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A: Application Package

ATTACHMENT B: Aerial Photograph

ATTACHMENT A
Application Package



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic combined PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

**CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES**

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 1133 Van Buren Street, Hollywood, Florida 33019

Lot(s): 6 & 7 Block(s): 37 Subdivision: Hollywood Lakes Section

Folio Number(s): 690541

Zoning Classification: RS-6 Land Use Classification: Residential

Existing Property Use: Single Family Residence Sq Ft/Number of Units: 2,700 SF

Is the request the result of a violation notice? Yes No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: Removing fabric covering of an existing porch and adding a new roof and columns structure covering porch in front of house.

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text"/> #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text"/>)
Height (# of stories)	(# STORIES) <input type="text"/> (<input type="text"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text"/> FT.)

Name of Current Property Owner: Diana Plunkett

Address of Property Owner: 1133 VanBuren st Hollywood Fl 33019

Telephone: 954-604-0011 Email Address: bunnybreeze@icloud.com

Applicant: Olivier Danan Consultant Representative Tenant

Address: 14888 Enclave Lakes Drive, Suite 01C3 Telephone: 561-504-2251

Email Address: danangroup@gmail.com

Email Address #2: bunnybreeze@icloud.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only): _____

E-mail Address: _____

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Diana Plunkett* Date: 12/19/24

PRINT NAME: Diana Plunkett Date: _____

Signature of Consultant/Representative: *Oliver Danan* Date: 12-19-2024

PRINT NAME: Oliver Danan Date: 12-19-2024

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

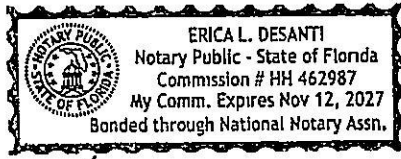
I am the current owner of the described real property and that I am aware of the nature and effect the request for Add new porch covering to my property, which is hereby made by me or I am hereby authorizing Oliver Danan to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application. Board

Sworn to and subscribed before me this 19th day of December, 2024

Diana Plunkett
 Signature of Current Owner

 Diana Plunkett
 Print Name

[Signature]
 Notary Public
 State of Florida



My Commission Expires: 11/27/27 (Check One) Personally known to me; OR Produced Identification _____

TYPE OF SURVEY: BOUNDARY & TOPOGRAPHIC

JOB NUMBER: SU-24-0428

LEGAL DESCRIPTION:

LOT 6 AND THE WEST 1/2 OF LOT 7 IN BLOCK 37 OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ADDRESS: 1133 VAN BUREN STREET HOLLYWOOD, FL 33019

FLOOD ZONE: AE
BASE FLOOD ELEVATION: 6'NAVD1988
CONTROL PANEL NUMBER: 125113/12011C0589-H
EFFECTIVE: 8/18/2014 REVISED:

LOWEST FLOOR ELEVATION: SEE PAGE 2 OF 2
GARAGE FLOOR ELEVATION: SEE PAGE 2 OF 2
LOWEST ADJACENT GRADE : SEE PAGE 2 OF 2
HIGHEST ADJACENT GRADE : SEE PAGE 2 OF 2

REFERENCE BENCH MARK: SEE BELOW

CERTIFY TO:

1. DIANA L. PLUNKETT
- 2.
- 3.
- 4.
- 5.
- 6.

REFERENCE BENCHMARK:

CITY OF HOLLYWOOD BENCHMARK: P.K. NAIL & DISC 5' +/- NORTH OF CENTERLINE OF VAN BUREN ST. & 12TH AVENUE, ELEVATION: 1.58' NAVD 1988.

NOTES:

1. THIS SURVEY CONSISTS OF A MAP AND A TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
2. OWNERSHIP OF FENCE AND WALLS IF ANY, NOT DETERMINED.
3. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON. TO BE VALID ONE YEAR FROM THE DATE OF SURVEY AS SHOWN HEREON.

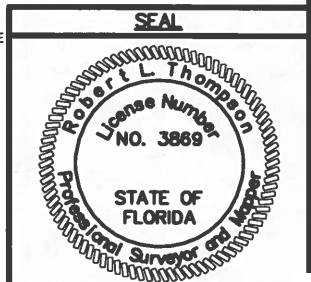
Δ	=	CENTRAL ANGLE
A	=	ARC LENGTH
A/C	=	AIR CONDITIONER
AD	=	ASSUMED DATUM
A.E.	=	ANCHOR EASEMENT
AF	=	ALUMINUM FENCE
B.C.R.	=	BROWARD COUNTY RECORDS
BLVD	=	BOULEVARD
B.M.	=	BENCHMARK
(C)	=	CALCULATED
CB	=	CHORD BEARING
CHATT.	=	CHATTAHOOCHEE
CLF	=	CHAIN LINK FENCE
CL	=	CENTERLINE
D.B.	=	DEED BOOK
D.E.	=	DRAINAGE EASEMENT
E	=	EAST
ELEC.	=	ELECTRIC
ELEV.	=	ELEVATION
ENCH.	=	ENCROACH/ENCROACHMENT
ESMT.	=	EASEMENT

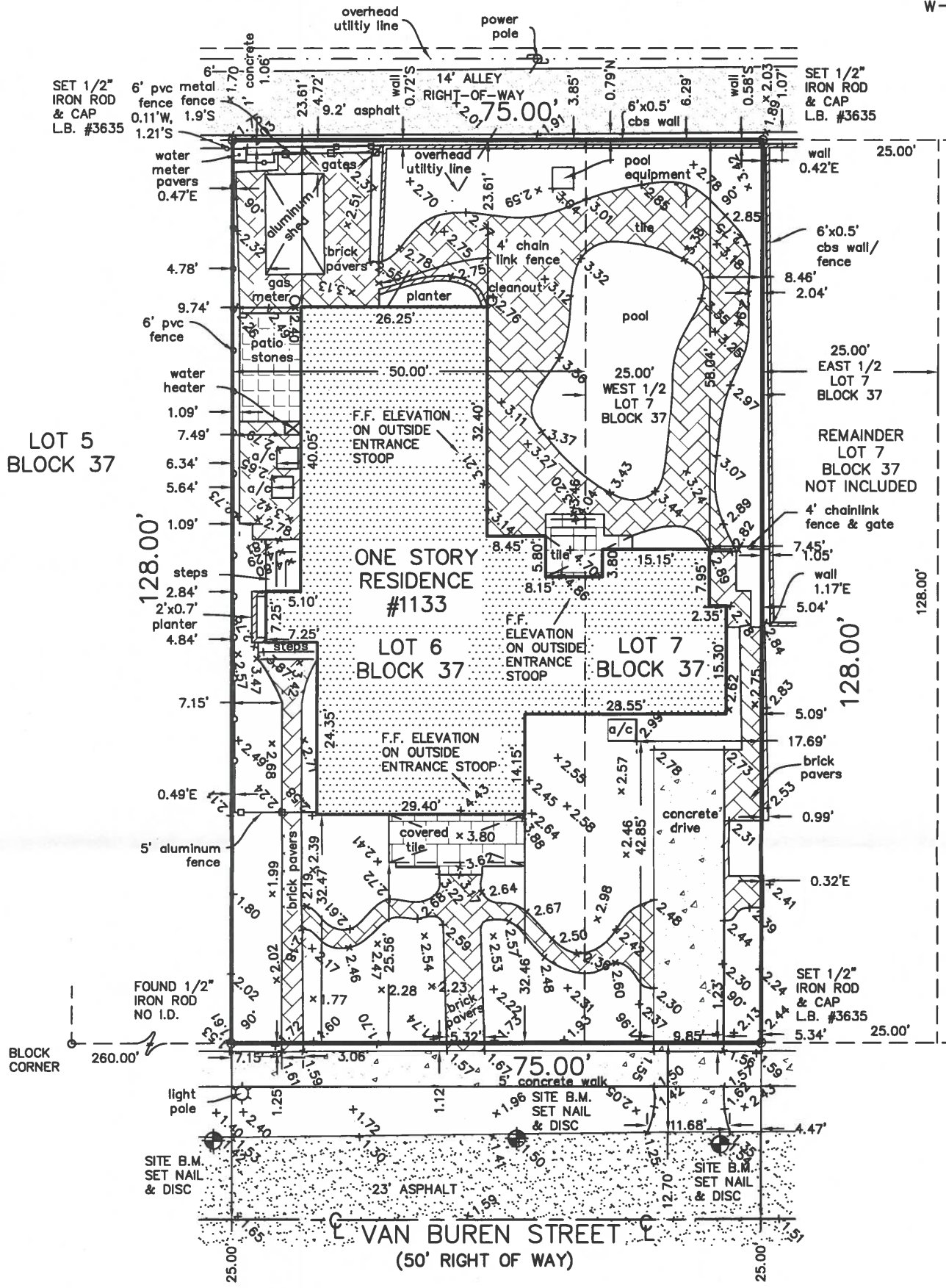
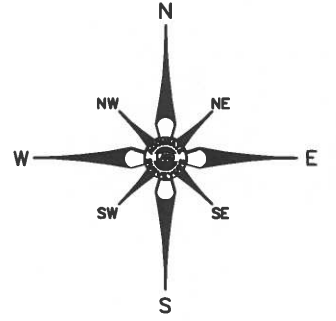
LEGEND OF ABBREVIATIONS:

OR + =	ELEVATIONS BASED ON NAVD 1988	N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM	
FND	=	FOUND	O/S	=	OFFSET
FF	=	FINISHED FLOOR	O.R.B.	=	OFFICIAL RECORDS BOOK/P.R.M.
FFH	=	FIRE HYDRANT	OH	=	OVERHANG
F.P.L.	=	FLORIDA POWER & LIGHT	(P)	=	PLAT
GAR.	=	GARAGE	P.B.	=	PLAT BOOK
I.D.	=	IDENTIFICATION	P.B.C.R.	=	PALM BEACH COUNTY RECORDS
I.P.	=	IRON PIPE	P.C.	=	POINT OF CURVATURE
I.P.C.	=	IRON PIPE & CAP	P.C.P.	=	PERMANENT CONTROL POINT
I.R.	=	IRON ROD	P.G.	=	PAGE
I.R.C.	=	IRON ROD & CAP	P.O.B.	=	POINT OF BEGINNING
LP	=	LIGHT POLE			
(M)	=	MEASURED	- x - x - x - x -	=	CHAIN LINK FENCE
M.D.C.R.	=	MIAMI DADE COUNTY RECORDS	- // - // - // - // -	=	WOOD FENCE
MAINT.	=	MAINTENANCE	- [] - [] - [] - [] -	=	METAL FENCE
MF	=	METAL FENCE	- - - - -	=	PVC FENCE
MH	=	MANHOLE	- - - - -	=	CONCRETE WALL
N	=	NORTH	- - - - -	=	WIRE FENCE
N/A	=	NOT APPLICABLE			
N&D	=	NAIL & DISC			

BROWARD COUNTY NAVD1988

P.O.C.	=	POINT OF COMMENCEMENT
P.R.C.	=	POINT OF REVERSE CURVATURE
P.R.M.	=	PERMANENT REFERENCE MONUMENT
P.T.	=	POINT OF TANGENCY
PVC	=	POLYVINYL CHLORIDE
R	=	RADIUS
RNG.	=	RANGE
R/W	=	RIGHT OF WAY
S	=	SOUTH
SEC.	=	SECTION
SQ. FT.	=	SQUARE FEET
TWP.	=	TOWNSHIP
U.E.	=	UTILITY EASEMENT
W	=	WEST
WF	=	WOOD FENCE
WM	=	WATER METER





GRAPHIC SCALE
1"=20'

NOTES:

1. Unless otherwise noted field measurements are in agreement with record measurements.
2. Angles per Plat Book 1, Page 32, Broward County Records.
3. The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
4. Ownership of fences and walls if any are not determined.
5. This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
6. Any and all underground features such as foundations, utility lines, Etc. were not located on this survey. This is an above ground survey only.
7. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
8. The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.
9. Accuracy statement: This survey meets or exceeds the horizontal accuracy for SUBURBAN LINEAR : 1 FOOT IN 7,500 FEET.
10. $\times 1.00'$ Denotes elevations based on the North American Datum of 1988.
11. Printed copies of this survey are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
12. PDF copies of this survey are not valid without the digital signature of a Florida Licensed Surveyor and Mapper and must be verified.

REVISIONS & SURVEY UPDATES

DATE OF SURVEY & REVISIONS

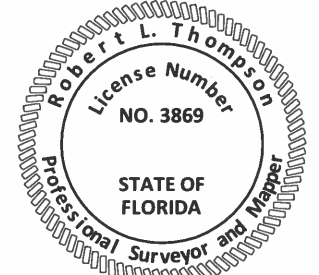
BY

CERTIFICATION:

This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 5J-17, Florida Administrative Codes, pursuant to current Section 472.027, Florida Statutes.

Robert L. Thompson 04-10-2024
ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

SEAL



ORIGINAL DATE OF SURVEY
03-29-2024

DRAWN BY
O.I.W.

CHECKED BY
R.L.T.

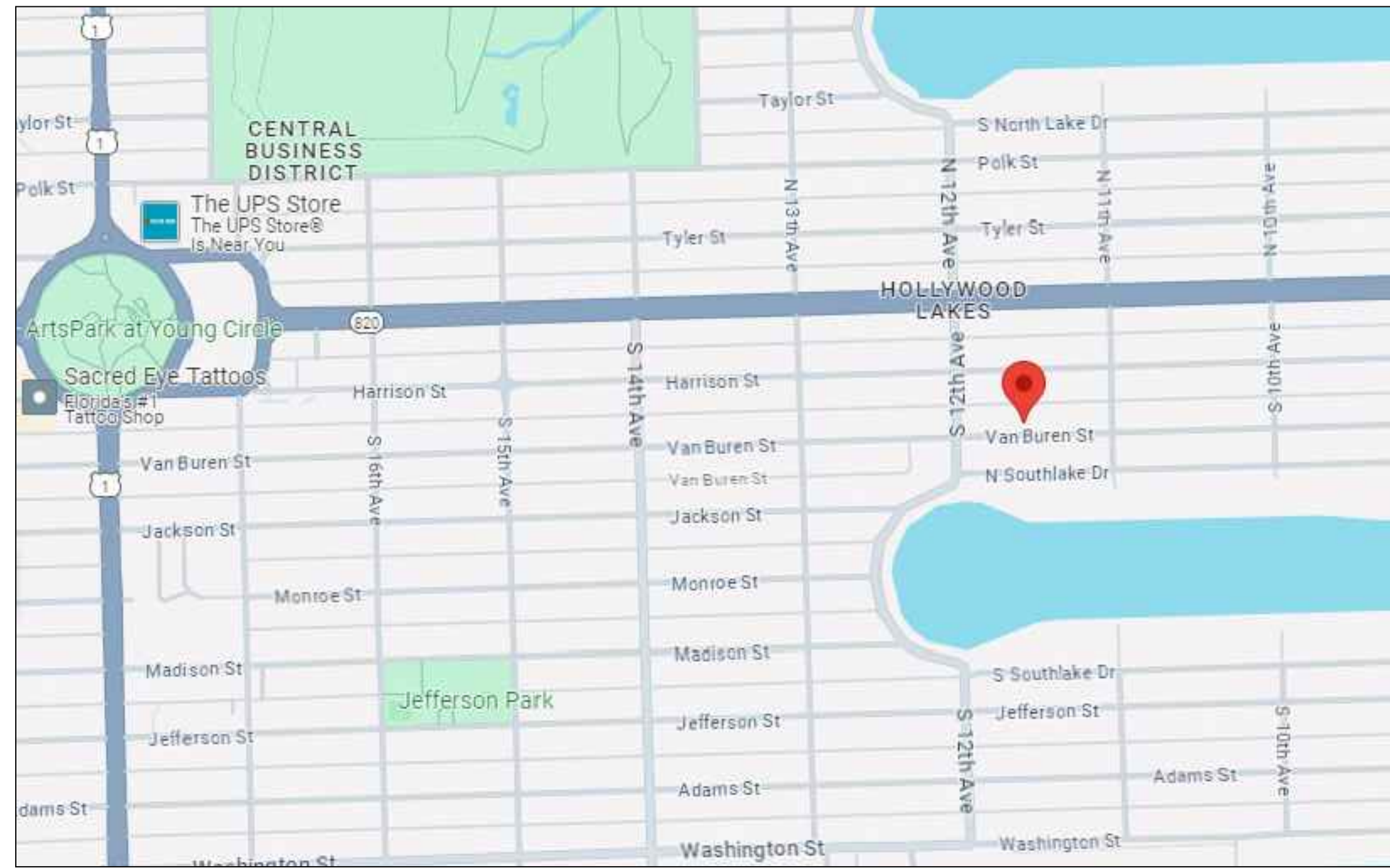
FIELD BOOK
24-0428

SCALE 1"=20'

SKETCH NUMBER SU-24-0428

Plunkett Residence Porch Renovation

1133 Van Buren Street,
Hollywood, Florida 33019



LOCATION MAP
SCALE: NTS

SHEET INDEX

ARCHITECTUAL

- SP.1 TITLE SHEET & SITE PLAN
- A.1 FLOOR PLAN & ROOF PLAN
- A.2 BUILDING ELEVATIONS
- A.3 WALL SECTIONS
- A.4 3D VIEW & MATERIALS
- A.5 3D VIEW
- A.6 SITE PHOTOS AND STREET PROFILE

PROJECT DATA

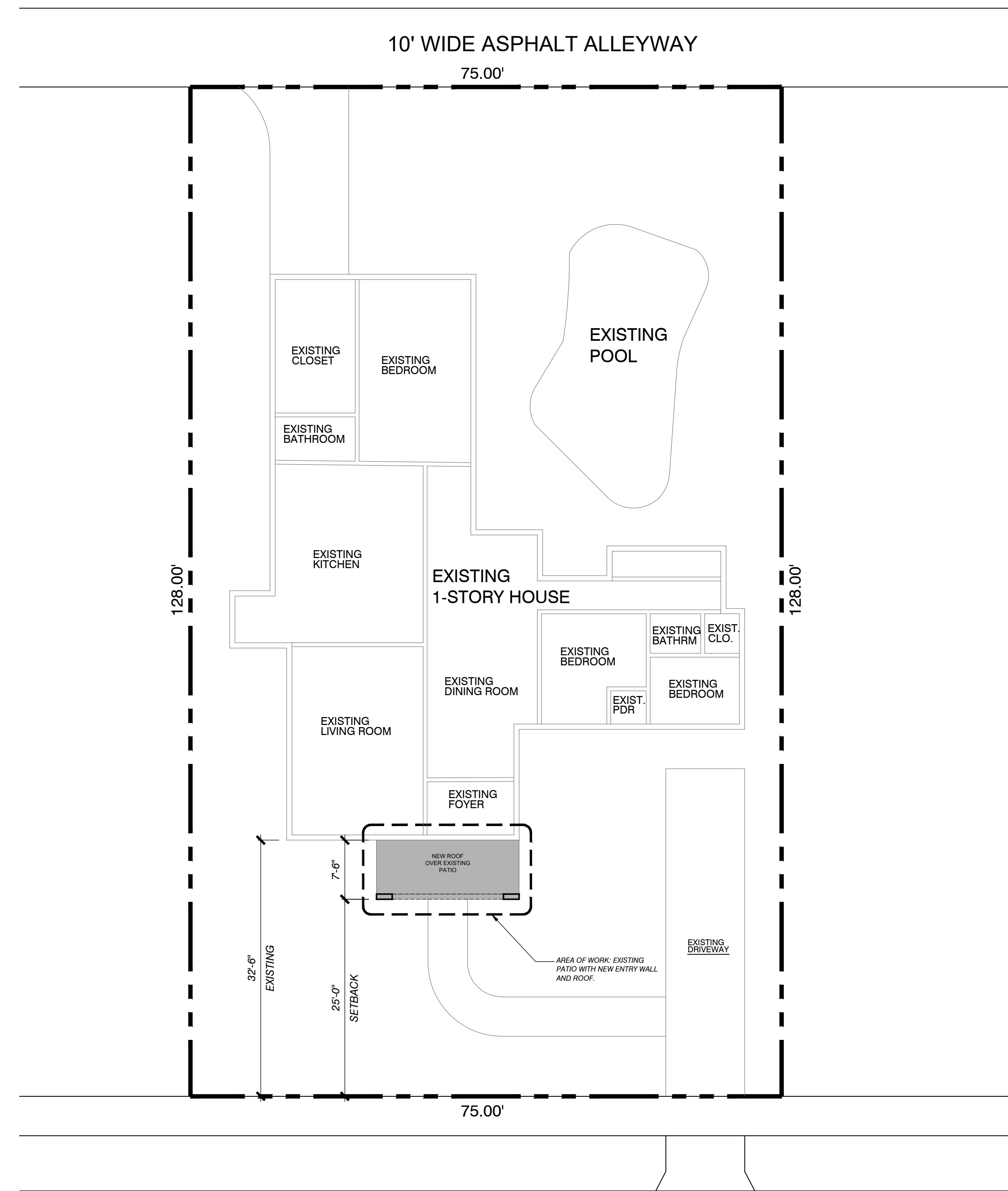
EXISTING SINGLE FAMILY RESIDENCE
CMU CONSTRUCTION

ZONING = RS-6 (RESIDENTIAL)
SINGLE STORY HOUSE

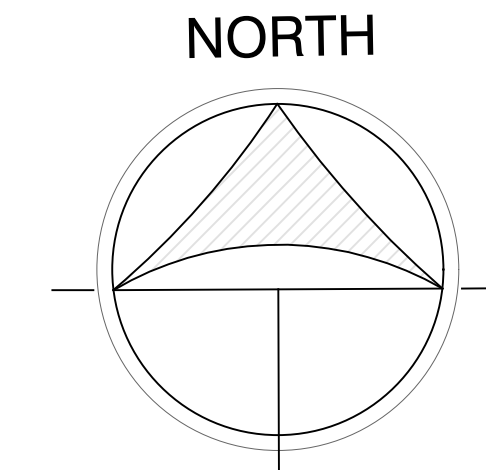
BUILDING TYPE: (EXISTING BUILDING)
GROUP R3 SINGLE FAMILY RESIDENCE
BLDG. CONSTRUCTION TYPE V B - UNPROTECTED

LEGAL DESCRIPTION:

LOT 6 AND THE WEST 1/2 OF LOT 7 IN BLOCK 37 OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



VAN BUREN STREET



SITE PLAN

SCALE: 3/32" = 1'-0"

NO.	DATE	REVISION
1		

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF DANAN GROUP, INC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF OLIVIER G. DANAN, ARCHITECT. THIS DRAWING IS THE PROPERTY OF DANAN GROUP, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS DRAWING. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF OLIVIER G. DANAN, ARCHITECT. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF OLIVIER G. DANAN, ARCHITECT.

**Title Sheet
& Site Plan**

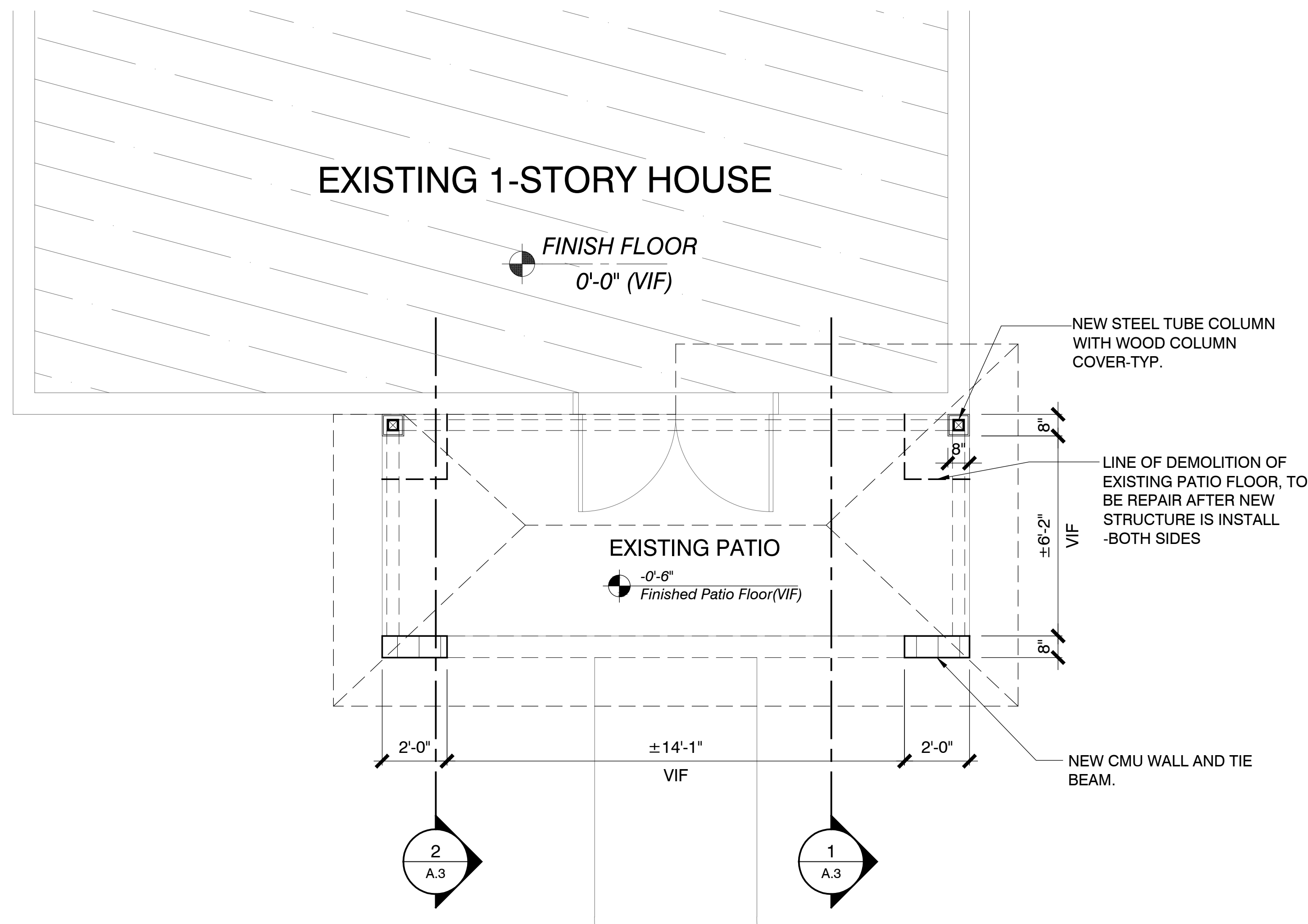
Plunkett Residence
Porch Renovation
1133 Van Buren Street,
Hollywood, Florida, 33019

LIC: AR 91872

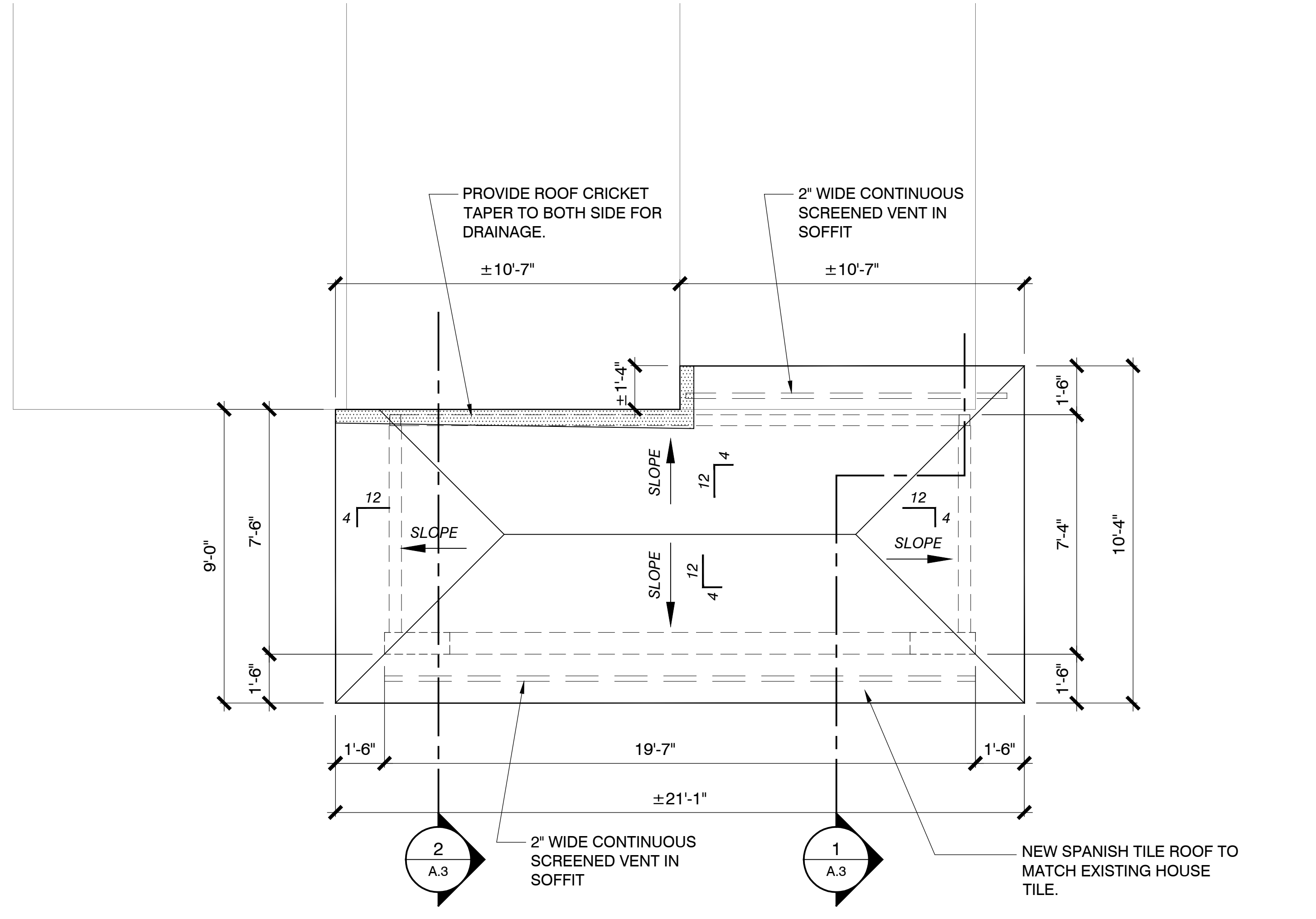
Danan Group, Inc.
Architecture + Planning
Olivier G. Danan, AIA
14888 Enclave Lakes Drive
Suite 01C3
Delray Beach, Florida 33484
Tel: (561) 504-2251
Email: danangroup@gmail.com

Members of
The American
Institute of Architects
SP.1
Project Number 24-03 Date 12-05-2024

Historical Board: 12-05-2024

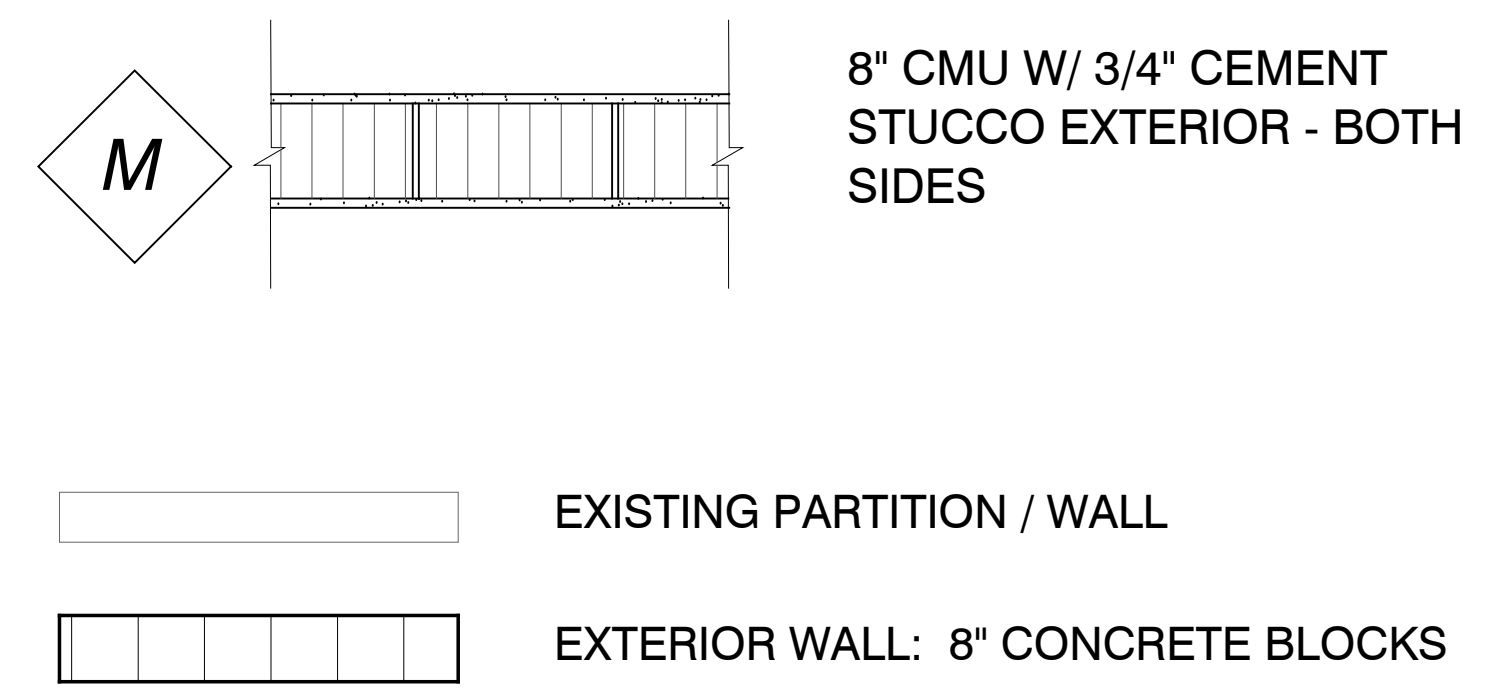


FLOOR PLAN
SCALE: 3/8" = 1'-0"
NORTH



ROOF PLAN
SCALE: 3/8" = 1'-0"
NORTH

WALL & ROOM LEGEND



COORDINATE ALL MASONRY OPENINGS PRIOR TO TIE BEAM AND BLOCK ERECTION.

NOTE:

1. REMOVE ALL FINISH PATIO FLOORING IN AREA OF NEW CONSTRUCTION.

NO.	DATE	REVISION

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT CONFIDENTIAL AND NOT TO BE REPRODUCED, COPIED, OR IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH INFORMATION IS TO BE DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONDITIONS SHOWN BY THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION, DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION WITH FABRICATION ITEMS SO NOTED.

Floor & Roof Plan

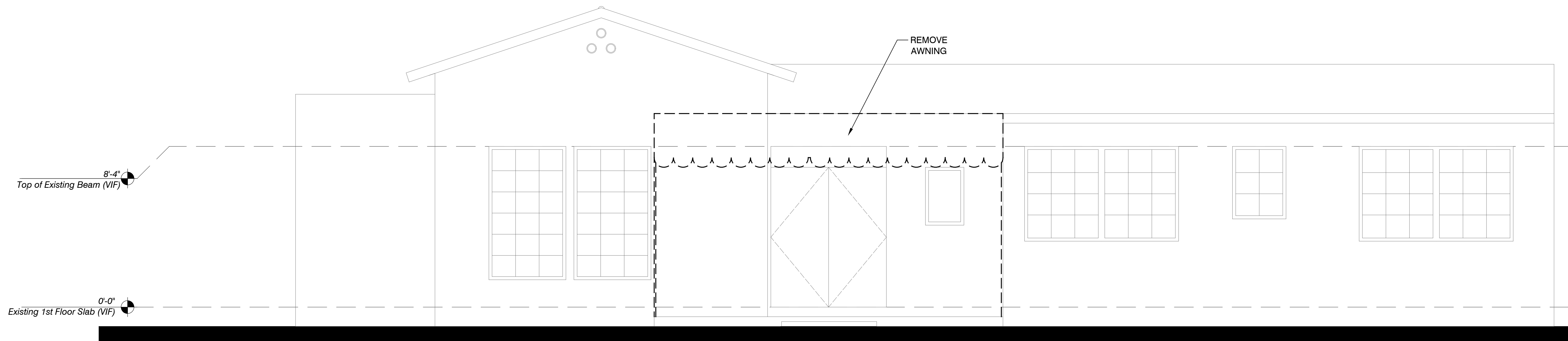
Plunkett Residence
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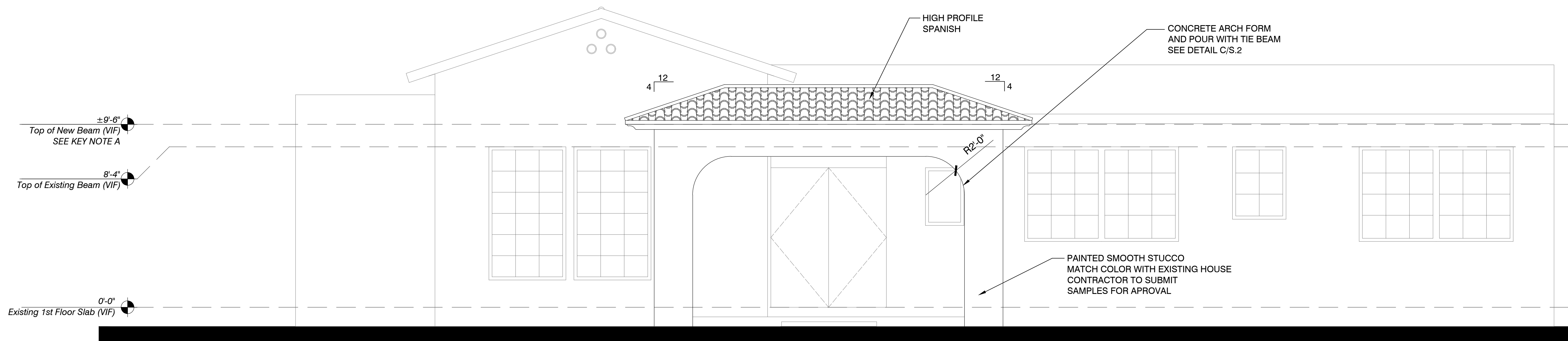
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Historical Board: 12-05-2024

A.1
Project Number Date
24-03 12-05-2024



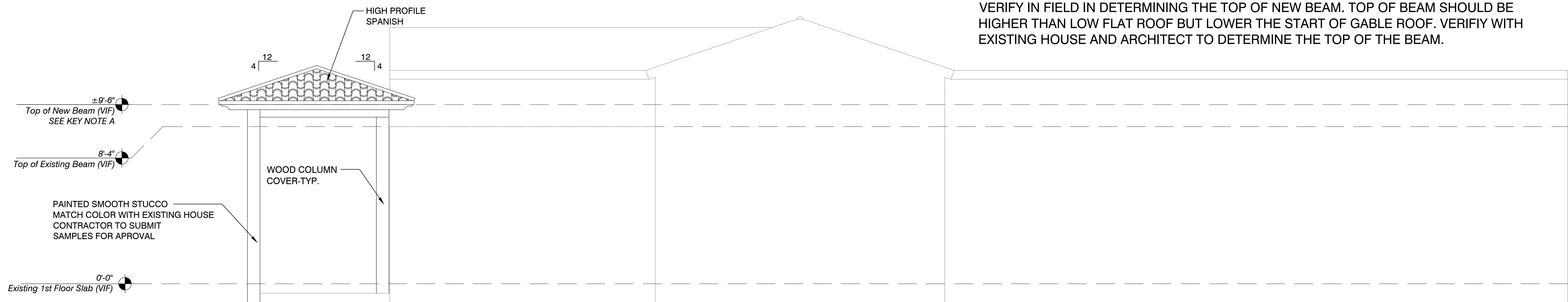
FRONT ELEVATION - EXISTING FACADE WITH DEMOLITION



FRONT ELEVATION - NORTH SIDE - WITH NEW ADDITION

KEY NOTE A: TOP OF BEAM NOTE :

VERIFY IN FIELD IN DETERMINING THE TOP OF NEW BEAM. TOP OF BEAM SHOULD BE HIGHER THAN LOW FLAT ROOF BUT LOWER THE START OF GABLE ROOF. VERIFY WITH EXISTING HOUSE AND ARCHITECT TO DETERMINE THE TOP OF THE BEAM.



SIDE ELEVATION - WEST SIDE

ELEVATIONS

SCALE: 3/8" = 1'-0"

NO.	DATE	REVISION

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Building Elevations

**Plunkett Residence
Porch Renovation**
1133 Van Buren Street,
Hollywood, Florida 33019

LIC: AR 91872

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Email: danangroup@gmail.com

Members of
The American
Institute of Architects

A.2
Project Number 24-03 Date 12-05-2024

Historical Board: 5-2024

NO.	DATE	REVISION

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR THIS OFFICE AND WERE CREATED, EVALUATED AND DEVELOPED FOR USE IN THIS PROJECT. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE OF THE ARCHITECT. ARCHITECT WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY DIMENSIONS SHOWN ON ANY OTHER DRAWINGS. THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING, PRECEDENCE OVER SCALE ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION, WITH FABRICATOR/CONTRACTOR'S SO NOTED.

Wall Sections & Detail

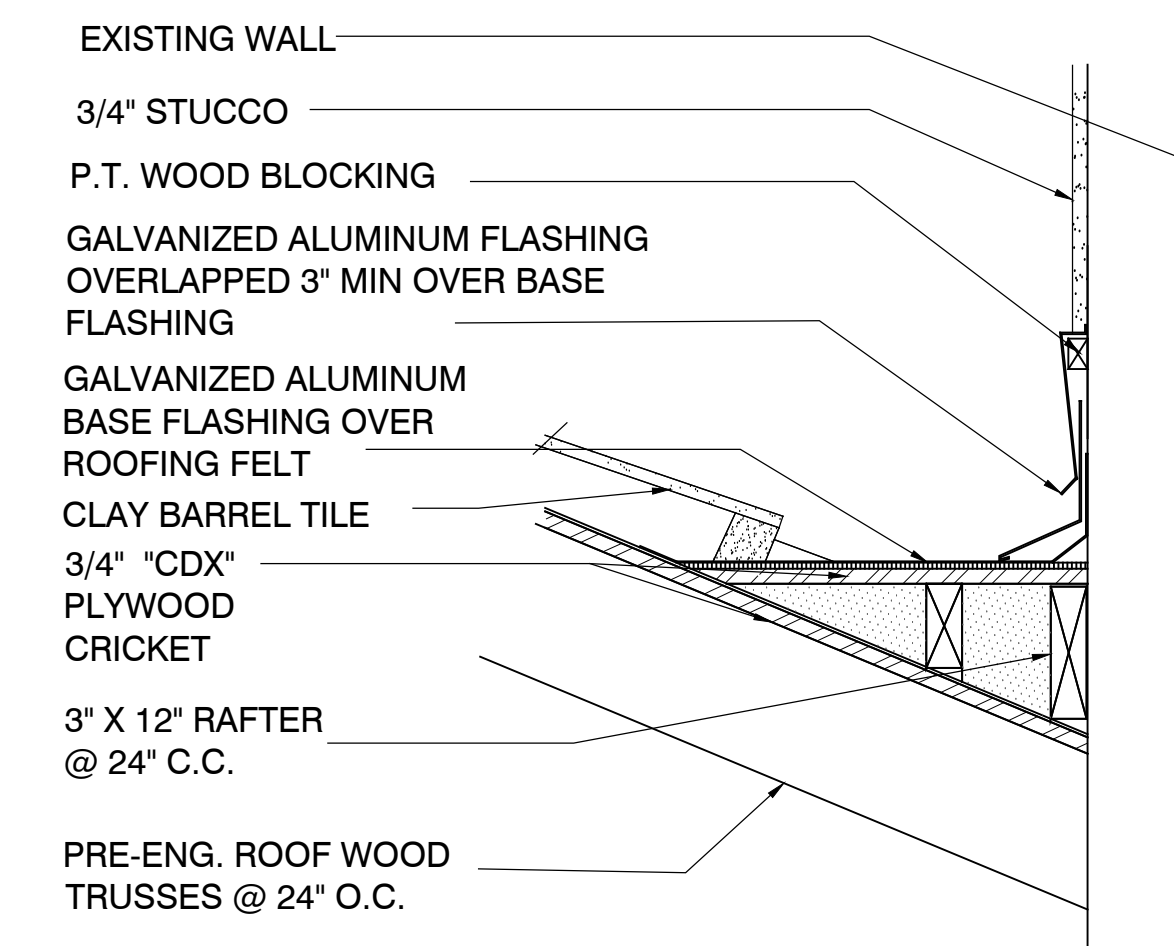
Plunkett Residence
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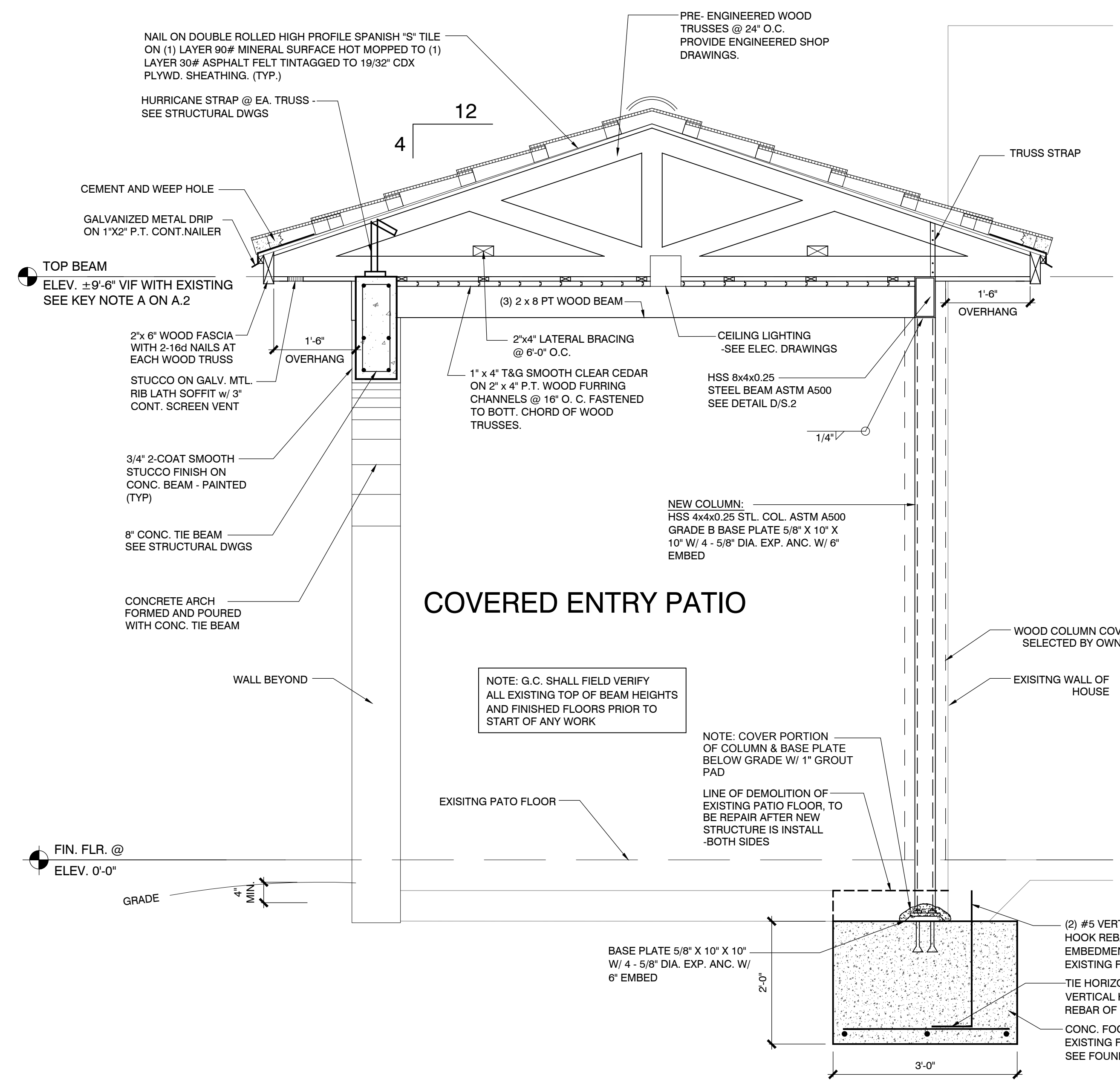
Members of
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Institute of Architects
A.3
Project Number 24-03 Date 12-05-2024

Historical Board: 12-05-2024



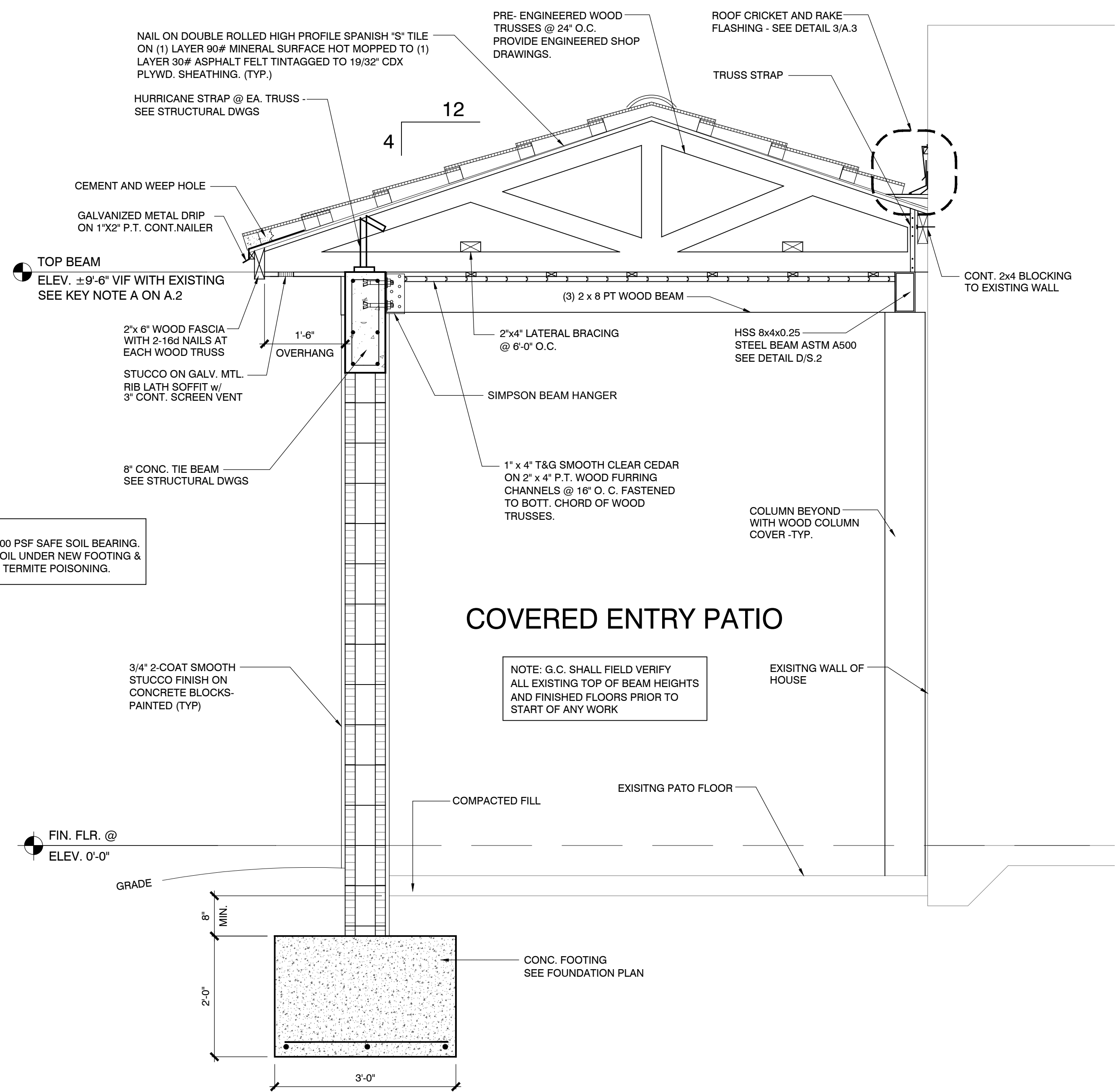
NOTE:
TAPER CRICKET TOWARD BOTH SIDE OF ROOF,
ALONG ROOF SLOPE AGAINST EXISTING WALL.
VERIFY IN FIELD.

3 TYPICAL CRICKET DETAIL
SCALE: 1-1/2 INCH = 1 FOOT



NOTES
1. ASSUME 2,500 PSF SAFE SOIL BEARING.
2. COMPACT SOIL UNDER NEW FOOTING & TREAT WITH TERMITES POISONING.

1 TYPICAL EXT. WALL SECTION
SCALE: 3/4 INCH = 1 FOOT

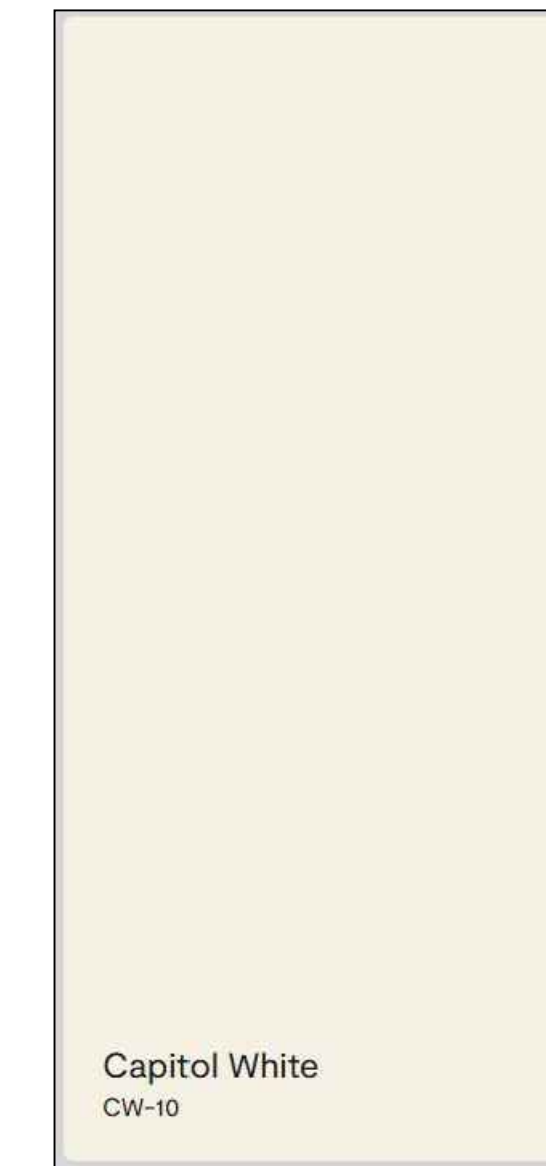


NOTE: G.C. SHALL FIELD VERIFY ALL EXISTING TOP OF BEAM HEIGHTS AND FINISHED FLOORS PRIOR TO START OF ANY WORK

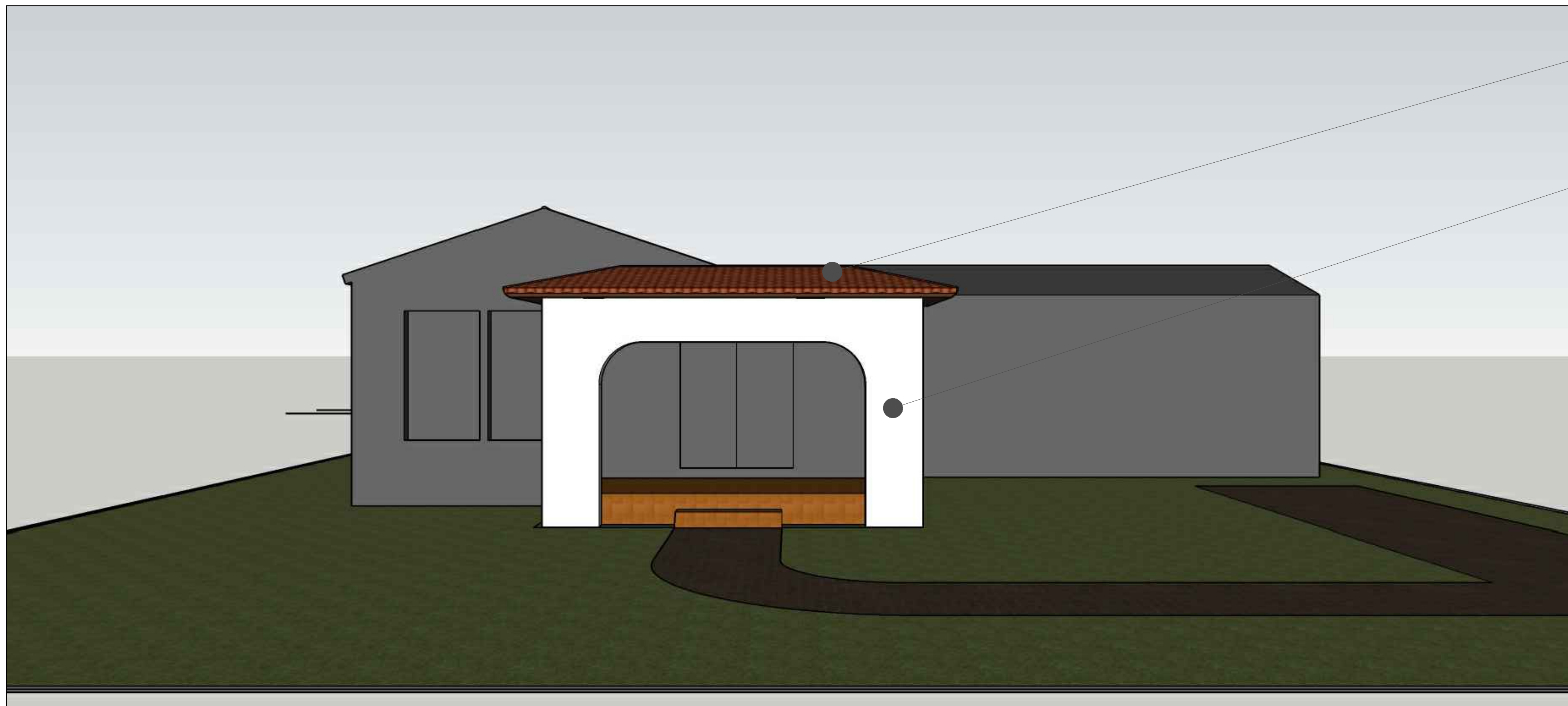
2 TYPICAL EXT. WALL SECTION
SCALE: 3/4 INCH = 1 FOOT



SPANISH ROOF TILES
TO MATCH EXISTING ROOF TILES



PAINTED CONCRETE COATING -
BENJAMIN MOORE:
CAPITOL WHITE CW-10



SPANISH ROOF TILES
TO MATCH EXISTING ROOF TILES

PAINTED CONCRETE COATING -
BENJAMIN MOORE:
CAPITOL WHITE CW-10

NO.	DATE	REVISION

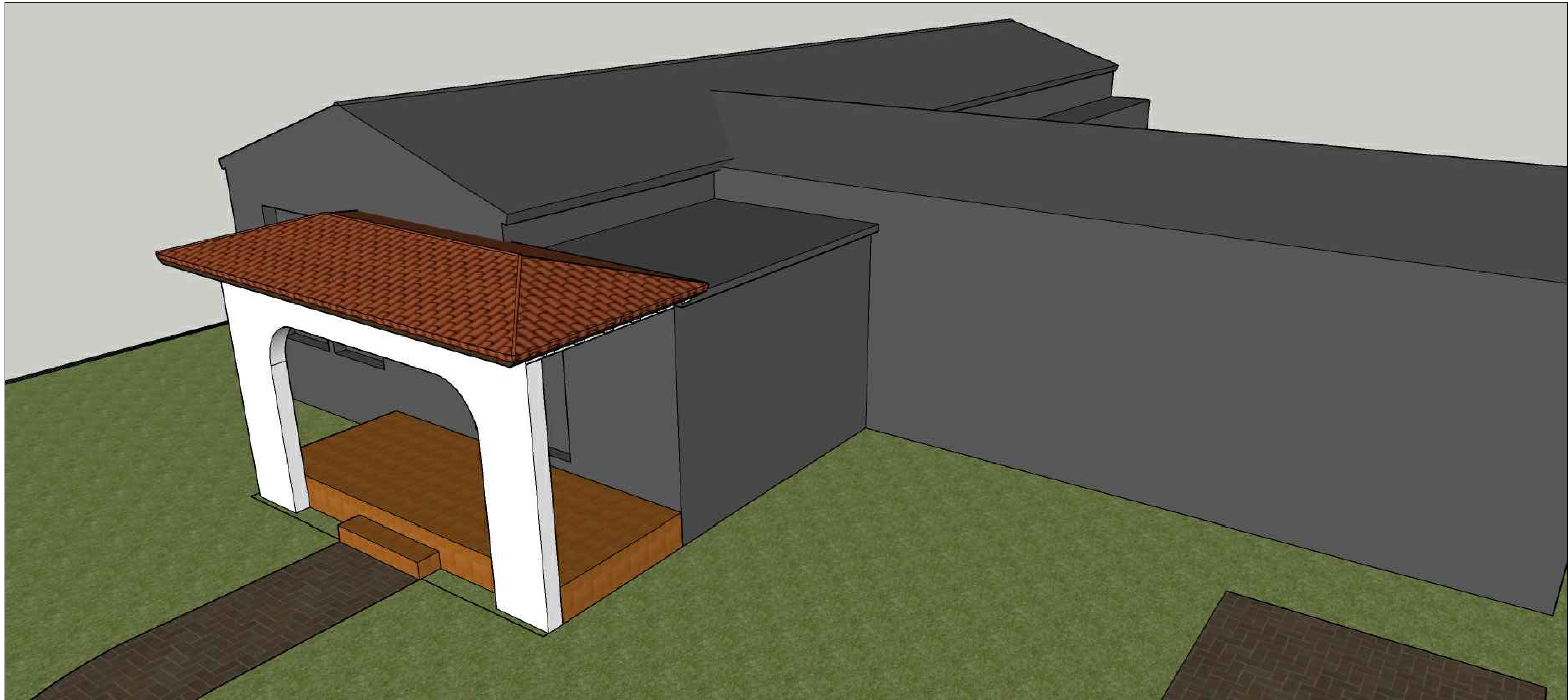
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REFERENCED IN THESE DRAWINGS ARE THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVALUATED AND DEVELOPED FOR THE CLIENT'S USE. NO PART OF THESE DRAWINGS OR ANY INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY DIMENSIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS OF ADJACENT SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING. PRECEDENCE OVER SCALE SHALL BE GIVEN TO DIMENSIONS SHOWN ON THESE DRAWINGS. ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION, WITH FABRICATOR/ARTISAN SO NOTED.

3D View & Materials

**Plunkett Residence
Porch Renovation**
1133 Van Buren Street,
Hollywood, Florida 33019

LIC: AR 91872

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The American
Institute of Architects



3D VIEW STUDY

SCALE: NTS

NO.	DATE	REVISION
1		

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3D View

**Plunkett Residence
Porch Renovation**
1133 Van Buren Street,
Hollywood, Florida 33019

LIC: AR 91872

Danan Group, Inc.
Architecture + Planning
Olivier G. Danan, AIA
14888 Enclave Lakes Drive
Suite 01C3
Delray Beach, Florida 33484
Tel: (561) 504-2251
Email: danangroup@gmail.com
Members of
The American
Institute of Architects

A.5
Project Number 24-03 Date 12-05-2024

Historical Board: 12-05-2024



STREET PROFILE



FRONT OF PROPERTY PHOTOS

PHOTOS OF SITE

SCALE: NTS

NO.	DATE	REVISION
1		

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Site Photos

Plunkett Residence
Porch Renovation
1133 Van Buren Street,
Hollywood, Florida 33019

LIC: AR 91872

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Historical Board: 12-05-2024
A.6
Project Number 24-03 Date 12-05-2024

ATTACHMENT B
Aerial Photograph



1133 Van Buren Street



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

File Number: 2. 2025 0311

Agenda Date: 3/11/2025

Agenda Number:

To: Historic Preservation Board

Title: FILE NO.: 24-CV-76
APPLICANT: 501 S. Surf Rd. Trust
LOCATION: 501 South Surf Road
REQUEST: Certificate of Appropriateness for Design to construct a new single family dwelling, and a Variance of Section 4.6.C.e.(5) Off-Street Parking Standards to permit an increase in off street parking from 1.5 permitted spaces to 5 parking spaces in the BWK-25-HD-R zoning district located at 501 South Surf Road, within the Hollywood Beach Historic Overlay District.

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: March 11, 2025 **FILE:** 24-CV-76

TO: Historic Preservation Board

VIA: Anand Balram

FROM: Lauren Pruss, Principal Planner

SUBJECT: 501 S. Surf Rd. Trust requests a Certificate of Appropriateness for Design to construct a new single family dwelling, and a Variance of Section 4.6.C.e.(5) Off-Street Parking Standards to permit an increase in off street parking from 1.5 permitted spaces to 5 parking spaces in the BWK-25-R zoning district located at 501 South Surf Road, within the Hollywood Beach Historic Overlay District.

APPLICANT'S REQUEST

Certificate of Appropriateness for Design and Parking Variance for a single family dwelling located at 501 South Surf Road, within the Hollywood Beach Historic Overlay District.

Variance: Increase the permitted number of parking spaces from 1.5 to 5 parking spaces.

STAFF'S RECOMMENDATION

Variance: Approval.

Certificate of Appropriateness for Design: Approval if the Variance is granted, with the following conditions:

1. Substantial conformance to the Schematic Design Package for 501 S. Surf Rd. prepared by Kaller Architects, with a stamp and seal dated February 17, 2025.
2. The applicant is to continue to coordinate this private development with the Community Redevelopment Area's (CRA) Phase IV project to ensure that there are no conflicts between construction schedules.
3. The applicant is to work with the CRA on the selection of materials and finishes adjacent to the Streetend (between Surf Road and the Broadwalk).
4. The applicant is to work with CRA to retain as much on-street parking at the Streetend as possible.
5. Prior to issuance of building permits, the proposed plans shall be revised to provide consistent design for the Jackson Street and Surf Road cross sections, as approved by the Community Redevelopment Agency and Engineering Department as well as addressing

pavement restoration on Surf Road and eliminate discrepancies between the civil engineering plans and architectural site plan.

6. Prior to issuance of building permits, the applicant shall revise plans accordingly and receive the following approvals:
 - a. Florida Department of Environmental Protection (FDEP) approval of Coastal Construction Control Line (CCCL) Permit Application with breakaway wall design certification and details.
 - b. Submit V-Zone Certification with FEMA Scouring Report.
 - c. Signed/Sealed Drainage calculations applying the latest water table elevations and rim elevations.
 - d. Revise Sheet C-03 to match rim elevations on plan view with details.
 - e. Details and Notice of Approvals (NOAs) for glazing system for stairwell.
 - f. Outside agency approvals as applicable from FDEP, South Florida Water Management District (SFWMD), Broward County, Army Corp of Engineers (ACOE), etc.

BACKGROUND

The subject property is a vacant, ocean-front lot located at the southeast corner of Jackson Street and South Surf Road in the BWK-25-HD-R Broadwalk Historic District Residential Zone at 501 South Surf Road. It is an irregularly shaped 80-foot by 80-foot lot containing 6,376 square feet of lot area. The lot is surrounded by residential uses (single family and multi-family) to the north, west and south, and Hollywood Beach and the Broadwalk to the east. The property has street frontage on Surf Road on its west side and Jackson Street on its north side. The Broadwalk, located to the east, is not a street, but is a right-of-way. The site is located in flood zone V, and seaward of the Coastal Construction Control Line, which requires several external agency reviews, with restrictions on construction located below the base flood elevation.

REQUEST

The Applicant requests a Certificate of Appropriateness for construction of a new single family dwelling and a variance to permit an increase in off street parking from a maximum of 1.5 off street parking spaces to 5 off street parking spaces. The proposed building will contain a total of 12,992 square feet, with 9,881 square feet of building under air. The first floor features entry areas, storage, and parking to accommodate FEMA design regulations including frangible walls and glass designed to break or collapse on impact to reduce the risk of harm during flood or storm events. The second through fourth floors feature living areas with balconies providing expansive views of the ocean, intracoastal, and surrounding barrier island. The outdoor living areas also feature a 12 foot by 10 foot pool is located on the second floor balcony and a rooftop terrace. Other than requested variance, the proposed development meets all applicable requirements of the Zoning and Land Development Regulations.

The proposed architecture has a modern-contemporary style with an open design emphasizing transparency. The ground floor incorporates both stone and glass, which provide an attractive design for a portion of the building that would be otherwise inactive due to coastal construction requirements. The

proposed exterior materials are of a neutral palette consisting of natural travertine stone, grey stone, white stucco with a sand finish, natural wood, and dark bronze metal framing. Lush tropical landscaping will surround the dwelling reinforcing the coastal environment surrounding the property.

In addition to the proposed dwelling unit, the applicant proposes to reconfigure the street design of Jackson Street and Surf Road incorporating parking and paving improvements, and underground utilities along Surf Road in conformance with the Community Redevelopment Agency's (CRA) Phase IV streetscape improvement project. Staff has recommended several conditions for approval due to the timing of external agency permits needed for construction, as well as to ensure coordination with the CRA on the adjoining road improvements.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing, and location for all properties within the district. The proposed home is consistent with the character of the Hollywood Beach Historic Overlay District and the design maintains the spatial relationship with surrounding properties in its scale and massing.

SITE BACKGROUND

Applicant/Owner:	501 S. Surf Rd. Trust
Address/Location:	501 South Surf Road, Hollywood, Florida, 33019
Size of Property:	6,376 sq. ft. (0.146 acres)
Present Zoning:	Boardwalk Historic District Residential (BWK-25-HD-R) Hollywood Beach Historic Overlay District (HPOD-3)
Present Land Use:	Medium High (25) Residential (MHRES)
Present Use of Land:	Vacant

ADJACENT LAND USE AND ZONING

North:	Multifamily Broadwalk Historic District Residential (BWK-25-HD-R) Hollywood Beach Historic Overlay District (HPOD-3)
South:	Vacant Residential Broadwalk Historic District Residential (BWK-25-HD-R) Hollywood Beach Historic Overlay District (HPOD-3)
East:	Broadwalk, Oceanfront Broadwalk Historic District Residential (BWK-25-HD-R) Hollywood Beach Historic Overlay District (HPOD-3)
West:	Multifamily Beach Resort Residential District (BRT-25-R)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.*

The proposed design is consistent with the scale and massing of the adjacent neighborhood, while

allowing the Applicant to maximize the use of their property. By allowing the Applicant to construct a new, modern development, the City is accomplishing the desired reinvestment in the Hollywood Beach Historic Overlay District and Hollywood Beach Community Redevelopment Agency CRA) area.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed new duplex and improvements are sensitive to the character of the Hollywood Beach Sub-Area (Sub-Area 4) through its design which possess similar characteristics to existing structures in the surrounding neighborhood, whilst also providing a catalyst for redevelopment of the area.

Policy CW.15: Place a priority on protecting, preserving, and enhancing residential neighborhoods.

Policy 4.1: Recognize and protect the unique character of Hollywood Beach and each of the three areas that comprise it; North, Central, and South Beach; and provide a clear vision for creating a more harmonious and attractive community.

Policy 4.34: Work within the framework of the Beach CRA to implement the Master Plan vision for Hollywood Beach within the CRA boundaries.

Policy 4.36: Identify obsolete structures and work to have them demolished and redeveloped, while preserving buildings of historical value.

APPLICABLE CRITERIA

Analysis of Criteria and Findings for a Variance as stated in the City of Hollywood’s Zoning and Land Development Regulations, Article 5.

Variance Request: **To permit an increase in the maximum permitted number of parking spaces from 1.5 parking spaces to 5 parking spaces, pursuant to Section 4.6.C.e.(5) of the ZLDRs.**

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

ANALYSIS: The proposed development is located within the BWK-25-R zoning district with a Medium High (25) Residential (MHRES) land use designation. The land use of “Residential” is a permitted use in this zone, which permits a range of densities from one unit, up to 25 units per acre. The parking requirements of this zone differ from the standard requirements of Article 7, Off Street Parking of the Zoning and Land Development Regulations which would otherwise require 5 off street parking spaces. In the BWK-25-HD-R zone, a minimum of one space per unit, not to exceed a maximum of 1.5 spaces per unit is permitted, which is consistent with higher density zoning districts so as to minimize the overall required parking allowing an emphasis on the pedestrian environment. The underlying zoning and land use designation contemplated higher densities than the allowable single family unit. Furthermore, the site’s oceanfront location restricts the

ability to develop the ground floor with habitable uses, making parking an obvious use of this area.

The applicant states “the proposed development is a single family residence which would typically require 5 parking spaces in all other districts of the City and is a realistic scale of parking for this size residence. Considering that our project features 6 bedrooms and multiple amenity spaces complementing the residence, we think it is far more beneficial for the community and traffic flow for the property to have several internal parking spaces available for both residents and visitors.”

FINDING: Consistent.

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The requested variance will provide for a design that will be compatible with, and enhance, the surrounding medium and higher density residential land uses. The proposed development is a modern-contemporary design that will contribute to the vision of the Hollywood Beach Historic Overlay District and CRA area.

FINDING: Consistent.

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city.

ANALYSIS: The goal of the Land Use Element *is to promote a distribution of land uses enhancing and improving the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property.* The applicant proposes to develop the site with a single family dwelling consistent with the underlying land use designation and zoning, while complying with FEMA requirements for coastal construction.

FINDING: Consistent.

CRITERIA 4: That the need for the requested Variance is not economically based or self-imposed.

ANALYSIS: The site is located within flood zone V, and seaward of the Coastal Construction Control Line (CCCL). Those areas that are enclosed under the base flood elevation must have frangible wall construction in accordance with FEMA requirements for coastal construction. Furthermore, areas below the base flood elevation are only permitted to include access, parking and storage uses. The Design Guidelines do not directly address these construction requirements, but the proposed first floor design is consistent with other recently approved coastal construction. The Applicant is proposing to enclose that portion of the structure that is not permitted to have habitable space due to FEMA regulations, making parking an obvious use of this area.

FINDING: Consistent.

CRITERIA 5: That the Variance is necessary to comply with state or federal law and is the minimum Variance necessary to comply with the applicable law.

FINDING: The Applicant is proposing enclosed parking within that portion of the structure that is not permitted to have habitable space due to FEMA regulations, making parking an obvious use of this area.

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood’s Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings*. The proposed single family structure complies with all applicable requirements of the Land Development Code with exception to the maximum allowable 1.5 parking space requirement. If this area were not designed for parking, it could not be designed for habitable space due to it’s coastal location. Tthe design is of a scale that is consistent with the built form of the surrounding area, which consists of a range of medium and higher density residential uses.

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: The Historic District Design Guidelines encourages new construction to be compatible with the character of the neighborhood regarding scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape, and environment. The Applicant proposes a modern-contemporary design that includes with an open design emphasizing transparency. The ground floor incorporates both stone and glass, which provide an attractive design for a portion of the building that would be otherwise inactive due to coastal construction requirements. The proposed exterior materials are of a neutral palette consisting of natural travertine stone, grey stone, white stucco with a sand finish, natural wood, and dark bronze metal framing. Lush tropical landscaping will surround the dwelling reinforcing the coastal environment surrounding the property.

FINDING: Consistent

CRITERION: SETTING

ANALYSIS: As stated in the Design Guidelines, *“...setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood.”* The proposed development demonstrates compatibility with the neighborhood and does not disrupt the relationship to other buildings within the Hollywood Beach Historic Overlay District.

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: The Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials that are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The proposed exterior materials are of a neutral palette consisting of natural travertine stone, grey stone, white stucco with a sand finish, natural wood, and dark bronze metal framing that will compliment the existing development in the surrounding area.

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: The Design Guidelines recommend consideration of significant materials before undergoing rehabilitation of a historic structure or property. Materials of the addition are sensitive in design and nature to the home and adjacent properties. The design of the new duplex is consistent with current workmanship styles and methods in the area.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district.* The proposed development conforms to all requirements of the Zoning and Land Development Regulations, except for the maximum allowed number of parking spaces. As such, the proposed design is consistent with the scale and massing of the adjacent neighborhood.

FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A: Application Package

ATTACHMENT B: Aerial Photograph



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

CLICK HERE FOR
FORMS, CHECKLISTS &
FEES SCHEDULE

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 501 South Surf Road
Lot(s): 1 & 2 **Block(s):** 13 **Subdivision:** Hollywood Beach
Folio Number(s): 51421302870

Zoning Classification: BWK-25-HD-R **Land Use Classification:** Residential
Existing Property Use: Residential - Vacant **Sq Ft/Number of Units:** 1 Unit 9,881 Sq. Ft.
Is the request the result of a violation notice? Yes No **If yes, attach a copy of violation.**
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: Review of a New 4 Story Single Family Residence by the Historic Preservation Board

Phased Project: Yes No **Number of Phases:**

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="1"/> #Rooms <input type="text"/>
Proposed Non-Residential Uses	<input type="text" value="N/A"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text"/> (Area: <input type="text"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="5"/>)
Height (# of stories)	(# STORIES) <input type="text" value="4"/> (<input type="text" value="40"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="6,376"/> Sq Ft (<input type="text"/> FT.)

Name of Current Property Owner: 501 S. Surf Rd Trust
Address of Property Owner: 2417 Hollywood Boulevard
Telephone: 954-920-5746 **Email Address:** joseph@kallerarchitects.com

Applicant Joseph B. Kaller Kaller Architecture **Consultant** **Representative** **Tenant**
Address: 2417 Hollywood Boulevard Hollywood, FL 33020 **Telephone:** 954-920-5746
Email Address: joseph@kallerarchitects.com
Email Address #2: _____

Date of Purchase: _____ **Is there an option to purchase the Property?** Yes No
If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : Cutro & Associates
E-mail Address: cutroplanning@yahoo.com



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *MEL*, trustee Date: 10/8/24

PRINT NAME: Melissa M. Grossman as Trustee of the 501 S. Surf Trust Date: 10/8/24

Signature of Consultant/Representative: *Joseph B. Kaller* Date: 10-8-2024

PRINT NAME: Joseph B. Kaller Date: 10-8-24

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Historic Preservation Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller Kaller Architecture to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 8th day of October 2024

Tina P. Feldman
Notary Public
State of ~~Florida~~ Commonwealth of Pennsylvania

MEL
Signature of Current Owner

Melissa M. Grossman, as Trustee of the 501 S. Surf Pl. Trust.
Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____





KallerArchitecture

501 S SURF RD. HOLLYWOOD, FL. 33019

DESIGN CRITERIA AND PROJECT DESCRIPTION

The design for this four-story residence, situated in a prime location facing the ocean, is conceived under the core principles of contemporary architecture, emphasizing openness and transparency. Its design seeks to engage respectfully with the natural and urban environment while providing its residents with an elevated living experience, constantly connected to the sweeping ocean views.

The ground floor, dedicated to parking and storage, serves as a solid base upon which the upper structure rises. The three upper levels encompass generous living spaces that open expansively to the outside through large glass surfaces made of Low-E glass, a material selected both for its thermal efficiency and its ability to enhance views without compromising interior comfort. The glass, along with dark bronze framing, lends a light yet elegant appearance, seamlessly integrating the residence with its coastal surroundings.

A defining feature of the design is the use of prominent cantilevers, which cast deep shadows over the terraces, providing protection from the tropical sun. This interplay of shadow and transparency accentuates the relationship between interior and exterior spaces, creating transitional zones that connect with the surrounding vegetation. The cantilevered terraces, together with the rooftop viewing terrace, act as observation platforms, allowing residents to fully enjoy the ocean views while reinforcing the sense of openness that defines the home.

In terms of materials, the project adopts a sober, neutral palette that harmonizes with the natural and architectural context of Hollywood. Travertine stone is applied to specific areas of the façade, evoking a materiality that connects with the Mediterranean tradition and the natural textures of the environment. Complementing this, light gray stone is used in details that add contrast and depth, while the white stucco with a sand finish brings a luminous and tactile quality to the exterior. The use of natural wood in select elements introduces warmth and a human touch, while preserving the contemporary and minimalist character of the residence.

Lush tropical vegetation surrounds the home, softening the transition between the structure and the landscape, reinforcing the notion of living in a coastal paradise. The selected trees and plants not only enhance the immediate environment but also play a vital role in creating microclimates, filtering sunlight, and promoting natural ventilation.

This residence is designed to offer all modern comforts to its inhabitants without disrupting the harmony of the existing architectural fabric in the area. The project respects the scale and architectural language of the local context, while its materiality and volumetric design ensure a harmonious integration with its surroundings, creating a respectful dialogue between the historic and contemporary architecture of Hollywood.

501 S SURF ROAD RESIDENCE

501 S SURF ROAD.
HOLLYWOOD, FL 33019

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 13 OF "HOLLYWOOD BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Property ID: 514213012870

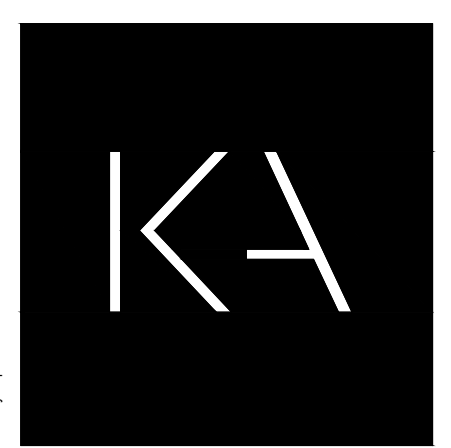
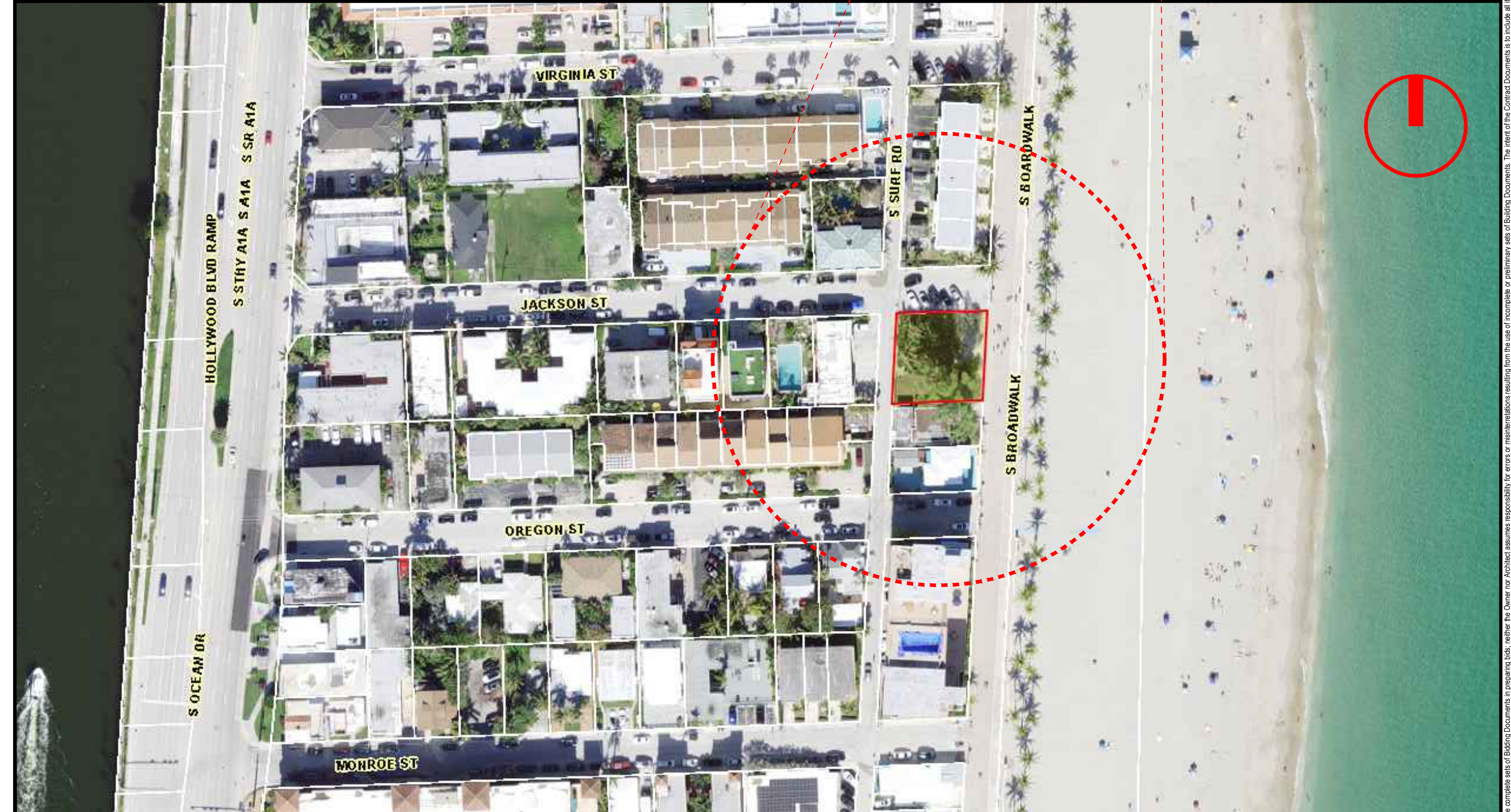
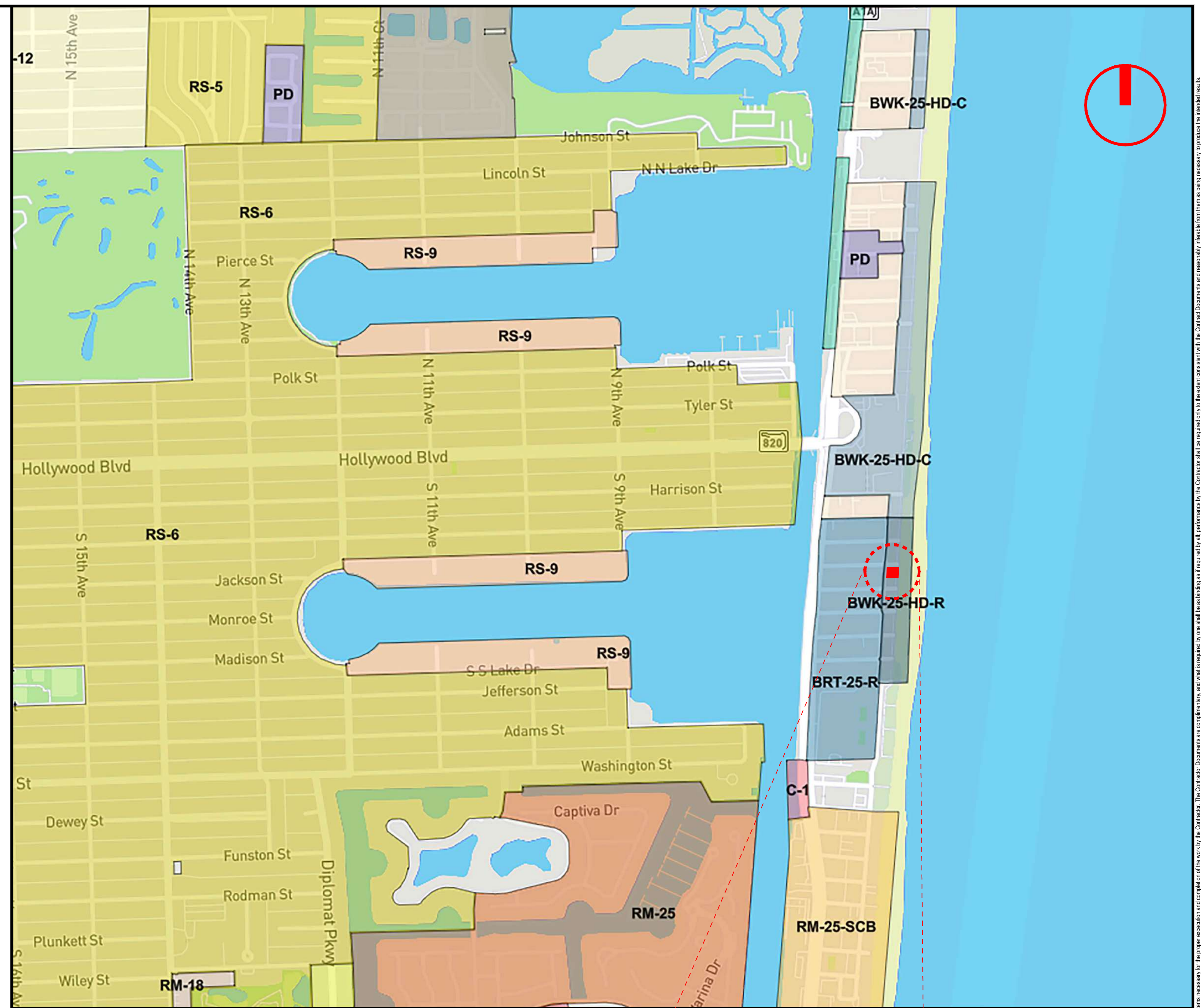
Site Area: 6,376 SF (0.14 acres)

ARCHITECTURE

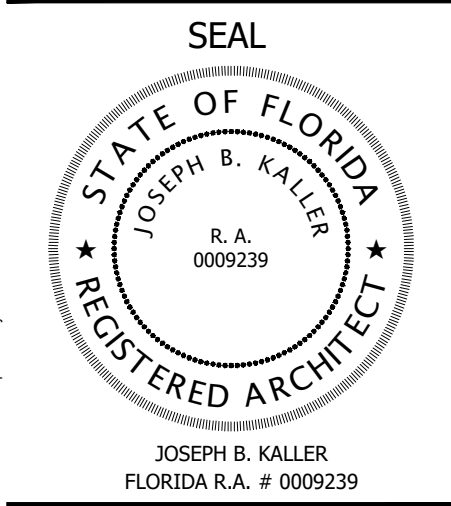
- A-0.0 COVER
- A-R.1 RENDERING
- A-R.2 RENDERING
- A-R.3 AERIAL RENDERING
- A-R.4 AERIAL RENDERING
- A-1.1 SITE PLAN, SITE DATA & PROJECT INFO
- A-1.2 CONTEXT SITE PLAN & PROJECT DESCRIPTION
- A-1.3 AREA DIAGRAM
- A-1.4 COLOR PHOTOGRAPHS SUBJECT SITE & ADJACENT PROPERTIES
- A-2.1 GROUND FLOOR
- A-2.2 SECOND FLOOR
- A-2.3 THIRD FLOOR
- A-2.4 FOURTH FLOOR
- A-2.5 ROOF TERRACE
- A-2.6 ROOF PLAN
- A-3.1 NORTH ELEVATION
- A-3.2 WEST ELEVATION
- A-3.3 SOUTH ELEVATION
- A-3.4 EAST ELEVATION
- A-3.5 STREET PROFILE

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: Mr. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33019
PHONE: (954)-920-5746
FAX: (954)-926-2841
EMAIL: joseph@kallerarchitects.com



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
501 S SURF RD
RESIDENCE
HOLLYWOOD, FL. 33019

SHEET TITLE
SCHEMATIC DESIGN PACKAGE
SITE PLAN / SITE DATA
PROJECT INFO

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 24217
DATE: 02.05.25
DESIGNER: SCHIFFINO
REVISED BY: JBK

SHEET
A-0.0

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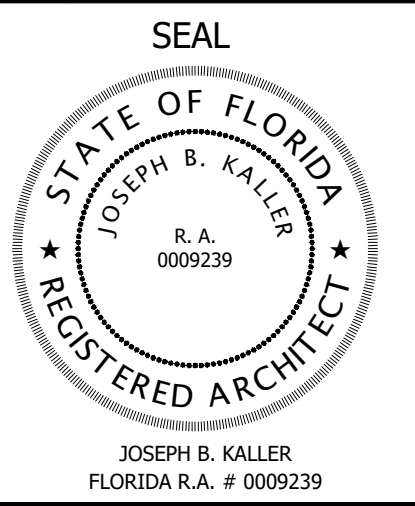
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1 RENDERING - VIEW FROM SOUTH BROADWALK
N.T.S.

NOTE:
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 joseph@kallerarchitects.com
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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 RENDERING

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET
A-R.1



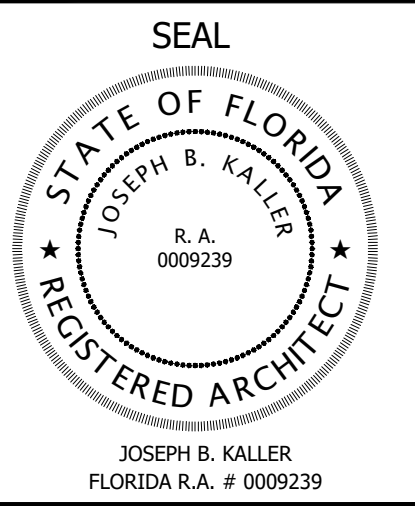
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1 RENDERING - VIEW FROM JACKSON ST.
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 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 RENDERING

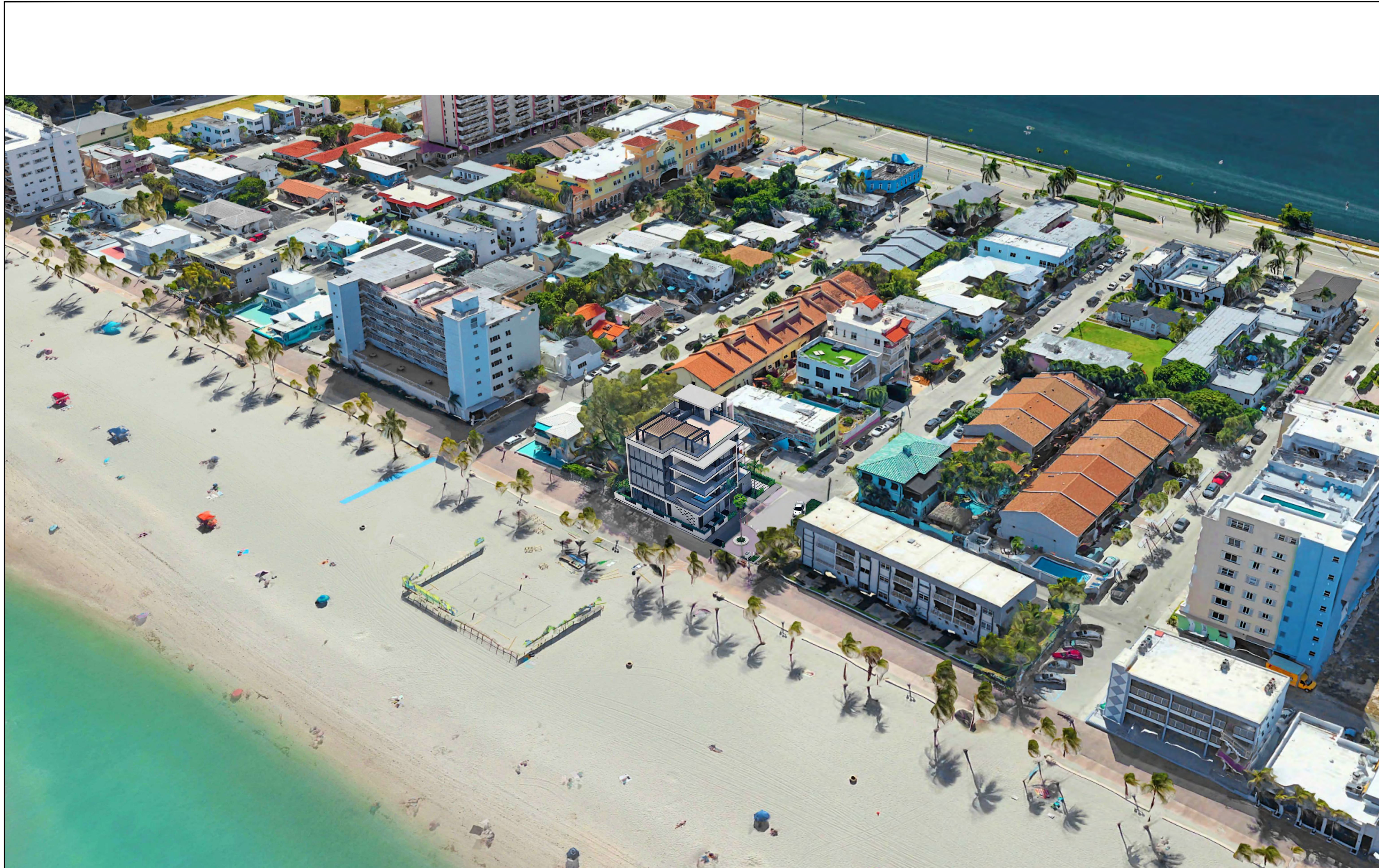
MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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 DATE: 02.05.25
 DESIGNER: SCHIFFINO
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A-R.2



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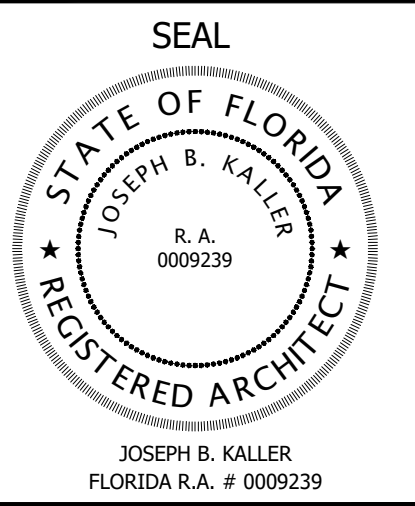
1

RENDERING - VIEW FROM JACKSON ST.
N.T.S.

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PROJECT TITLE
501 S SURF RD
RESIDENCE
HOLLYWOOD, FL. 33019

SHEET TITLE
SCHEMATIC DESIGN PACKAGE
RENDERING

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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DATE: 02.05.25
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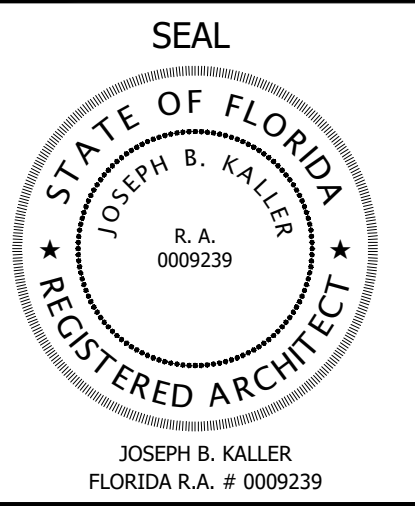
SHEET
A-R.3



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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 RENDERING

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

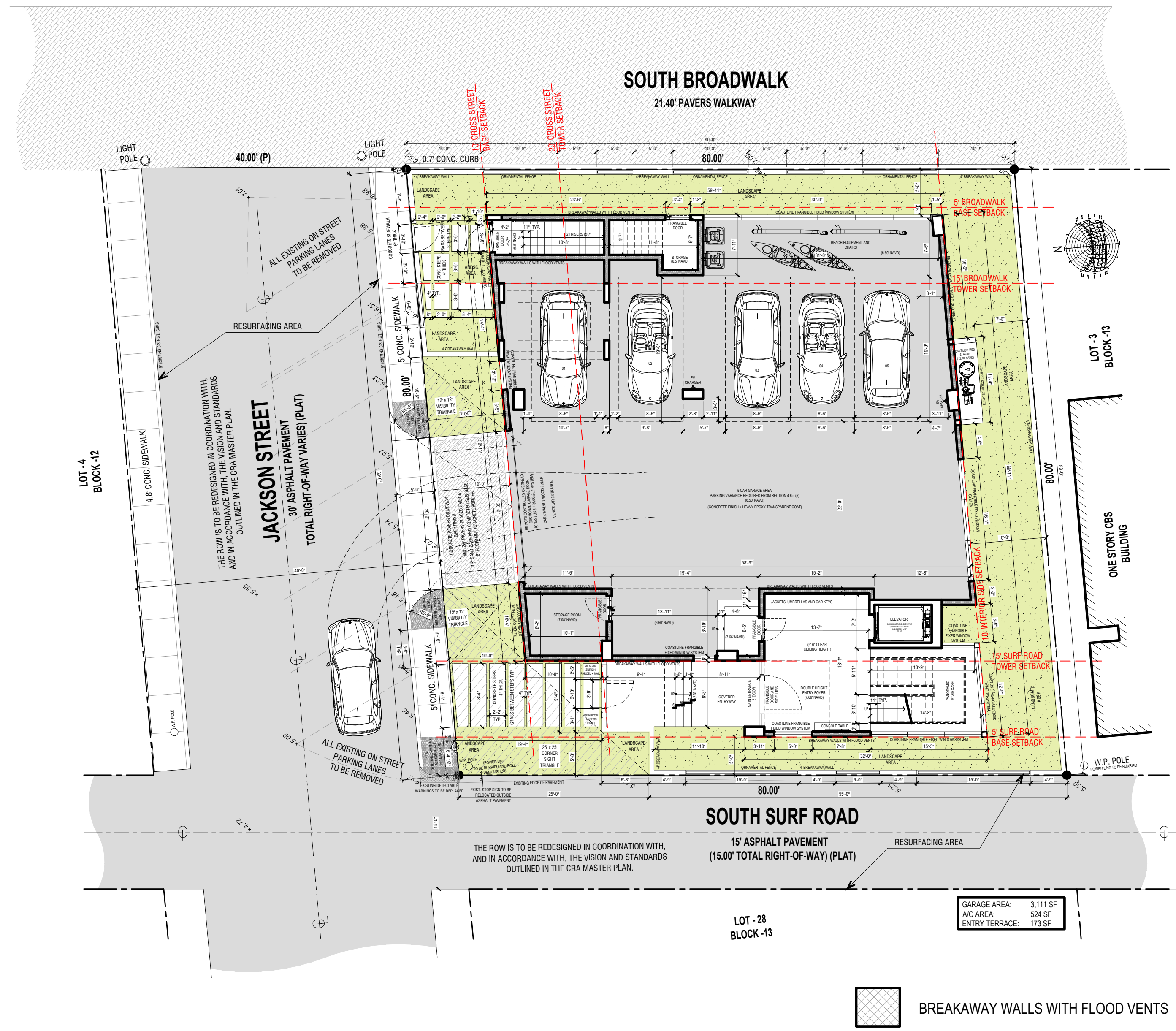
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 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET
A-R.4

NOTE:
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1 RENDERING - VIEW FROM JACKSON ST.
 N.T.S.



NOTE:
Concrete Driveways on private property will be 5-inch thick, 3,000 PSI with fiber mesh while the portion of the driveway located within the ROW (Outside of the property lines) will be a minimum of 6 inches thick, 3,000 psi, with no metal or fiber mesh and will be constructed flush with the existing roadway and sidewalk. The entire driveway will maintain control joints located every 250 sq.ft and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

NOTE:
Proposed bottom of A/C unit shall be elevation to match BFE + 1' FFE = 11' + 1' = 12' NAVD88

NOTE:
All alleys and streets abutting the property are to be restored and resurfaced.

NOTE:
Noise level of any operating mechanical equipment must comply with the City Code.

NOTE:
Paver driveways require a minimum 2" inch pavers placed over a 1 1/2" sand base and compacted subbase. In addition to a Minimum 6-inch edge restraint (concrete border) is required around perimeter to interlock pavers. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

NOTE:
FDEP approval will be required for disposition of existing fill currently on site.

501 S SURF RD
HOLLYWOOD, FL 33019

LEGAL DESCRIPTION
LOTS 1 AND 2, BLOCK 13 OF "HOLLYWOOD BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Property ID: 514213012870
Site Area: 6,376 SF (0.14 acres)

ZONING INFO

BASIC ZONING
Zone: BWK-25-HD-R
Broadwalk Historic District Residential
Existing Building Use: RESIDENTIAL - VACANT LAND
Existing Land Use: Residential

BUILDING INTENSITY
Maximum Lot Coverage: N/A
Maximum Building Height: 40 ft
Maximum Height - Stories: 4
Floor Area Ratio: N/A

BUILDING BASE SETBACK (up to 25' height):
Cross Streets: 10.00 ft
Broadwalk: 5.00 ft
Surf Road: 5.00 ft
Interior Side: Sum of interior side setbacks shall equal a minimum 25% of lot width; 10 feet minimum.

BUILDING TOWER SETBACK:
Cross Streets: 20.00 ft
Broadwalk: 15.00 ft
Surf Road: 15.00 ft
Interior Side: 10.00 ft

Lot width shall be measured along Surf Road.

Cross Street, Broadwalk, and Surf Road building tower setbacks may match building base setbacks for up to 40% of the site frontage.

Balcony Encroachments 25% of the required setback or 6'-0" Max.

FEMA
Proposed (effective July 31, 2024) VE: 11 Feet

FENCES AND WALLS:

Residential Zone.
Front yard area: 4 ft.
Side yard area: 6 ft.
Rear yard area: 6 ft.

PARKING REQUIREMENT

2 parking spaces for the first 2000 sq.ft. of under air living area.
Then one stall every 500 SF with a cap at 5

PARKING REQUIRED: 5 SPACES
PROVIDED: 5 SPACES

NOTE:
ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

PROJECT INFO

Maximum Building Height:
Allowed: 40 ft
Proposed: 40 ft (4 Stories)

BUILDING BASE SETBACK (up to 25' height):

Cross Streets :
Minimum: 10.00 ft
Proposed: 10.00 ft

Broadwalk:
Minimum: 5.00 ft
Proposed: 5.00 ft

Surf Road:
Minimum: 5.00 ft
Proposed: 5.00 ft

Interior Side:
Minimum: 10.00 ft
Proposed: 10.00 ft

BUILDING TOWER SETBACK:

Cross Streets :
Minimum: 20.00 ft
Proposed: 20.00 ft (60%)
10.00 ft (40% matching building base setback)

Broadwalk:
Minimum: 15.00 ft
Proposed: 15.00 ft (60%)
5.00 ft (40% matching building base setback)

Surf Road:
Minimum: 15.00 ft
Proposed: 15.00 ft (60%)
5.00 ft (40% matching building base setback)

Interior Side:
Minimum: 10.00 ft
Proposed: 10.00 ft

Fence:
Proposed: 4 ft

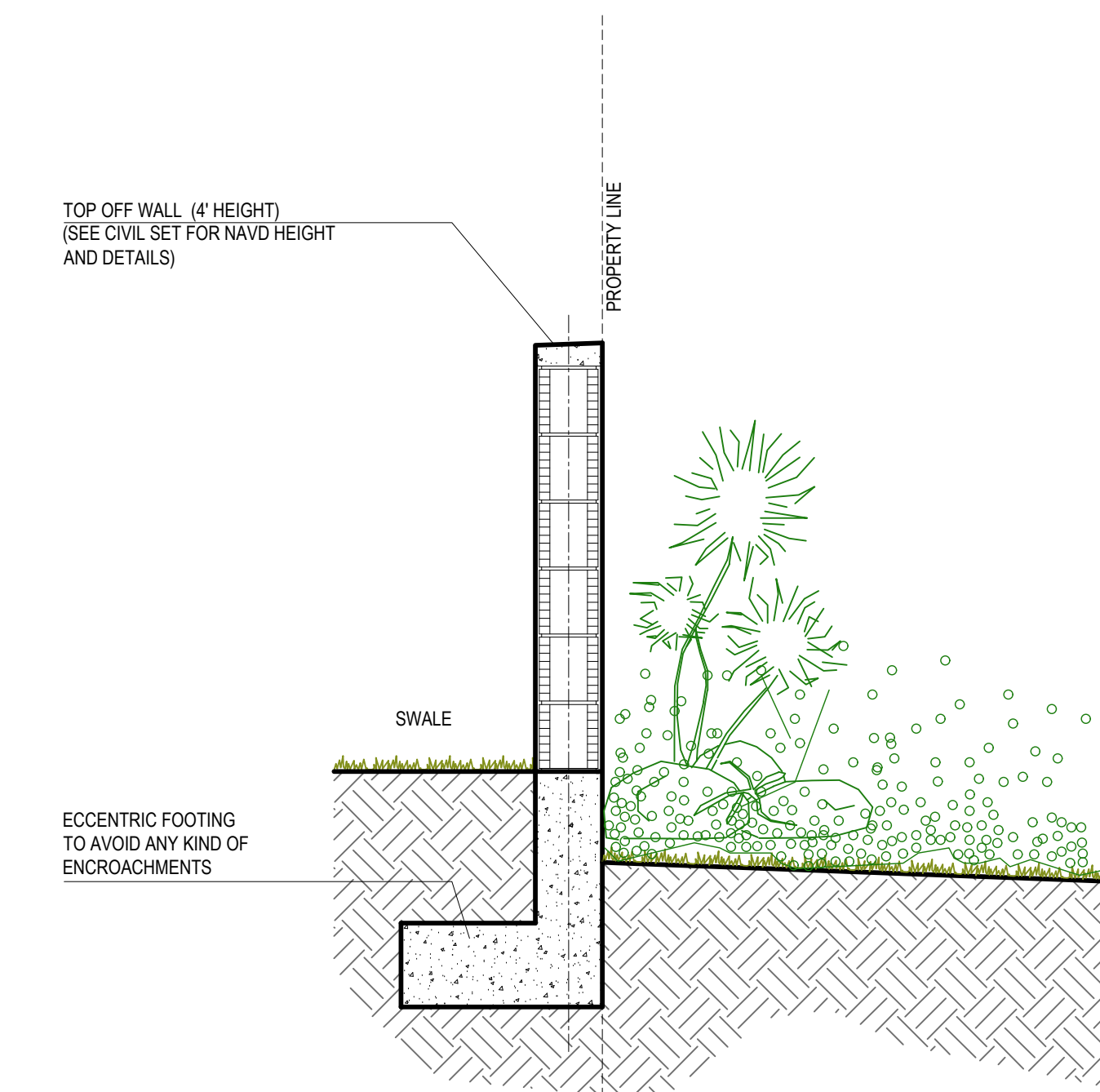
OPEN SPACE - PERVIOUS AREA:

Minimum Required: 20% (1,275.2 ft²)
Proposed: 28% (1,791 ft²)

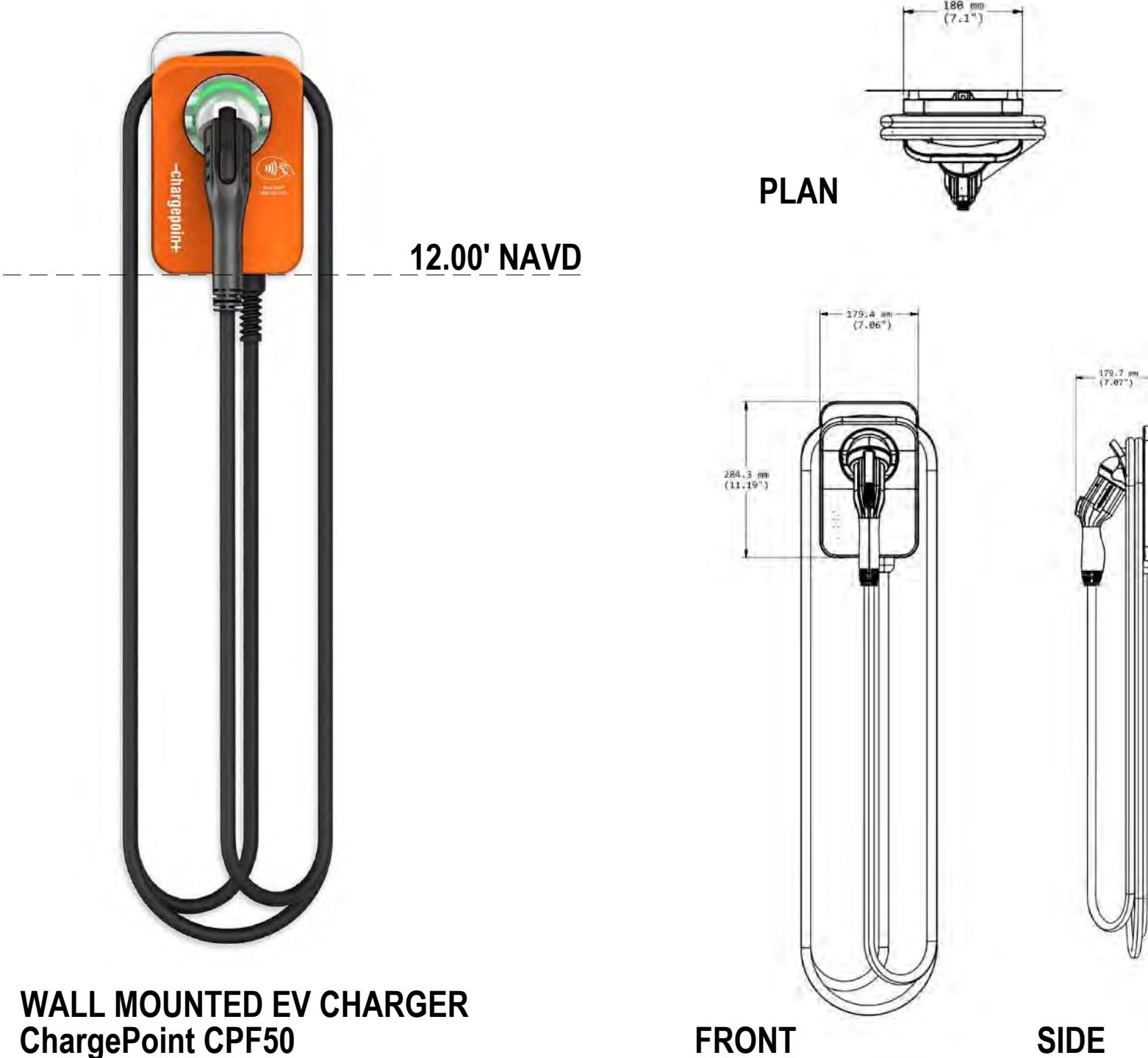
A/C TABLE SCHEDULE

GROUND FLOOR: 524 ft²
SECOND FLOOR: 2,900 ft²
THIRD FLOOR: 2,978 ft²
FOURTH FLOOR: 2,978 ft²
ROOF TERRACE: 501 ft²
TOTAL A/C AREA: 9,881 ft²

1 SITE PLAN
3/16" = 1'-0"



2 PERIMETER BREAKAWAY LOW WALL DETAIL & EV CHARGER
N.T.S.



WALL MOUNTED EV CHARGER
ChargePoint CPF50

FRONT SIDE

3 PROJECT INFO
N.T.S.

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PROJECT TITLE
501 S SURF RD
RESIDENCE
HOLLYWOOD, FL. 33019

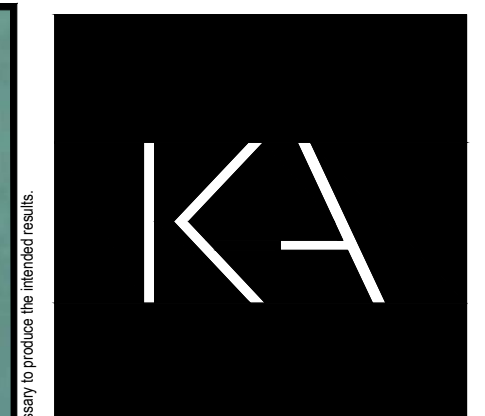
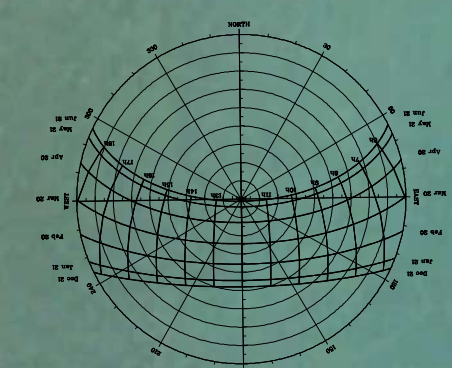
SHEET TITLE
SCHEMATIC DESIGN PACKAGE
SITE PLAN / SITE DATA
PROJECT INFO

MEETING DATES

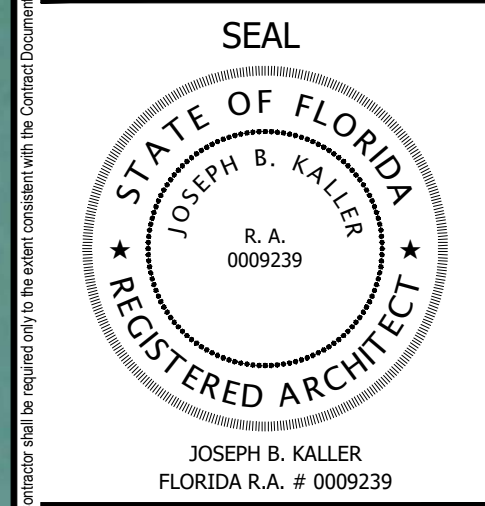
BOARD/ COMMITTEE	DATE	DESCRIPTION

PROJECT No.: 24217
DATE: 02.05.25
DESIGNER: SCHIFFINO
REVISED BY: JBK

SHEET
A-1.1



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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 CONTEXT SITE PLAN
 & PROJECT DESCRIPTION

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET

A-1.2

DESIGN CRITERIA AND PROJECT DESCRIPTION

The design for this four-story residence, situated in a prime location facing the ocean, is conceived under the core principles of contemporary architecture, emphasizing openness and transparency. Its design seeks to engage respectfully with the natural and urban environment while providing its residents with an elevated living experience, constantly connected to the sweeping ocean views.

The ground floor, dedicated to parking and storage, serves as a solid base upon which the upper structure rises. The three upper levels encompass generous living spaces that open expansively to the outside through large glass surfaces made of Low-E glass, a material selected both for its thermal efficiency and its ability to enhance views without compromising interior comfort. The glass, along with dark bronze framing, lends a light yet elegant appearance, seamlessly integrating the residence with its coastal surroundings.

A defining feature of the design is the use of prominent cantilevers, which cast deep shadows over the terraces, providing protection from the tropical sun. This interplay of shadow and transparency accentuates the relationship between interior and exterior spaces, creating transitional zones that connect with the surrounding vegetation. The cantilevered terraces, together with the rooftop viewing terrace, act as observation platforms, allowing residents to fully enjoy the ocean views while reinforcing the sense of openness that defines the home.

In terms of materials, the project adopts a sober, neutral palette that harmonizes with the natural and architectural context of Hollywood. Travertine stone is applied to specific areas of the façade, evoking a materiality that connects with the Mediterranean tradition and the natural textures of the environment. Complementing this, light gray stone is used in details that add contrast and depth, while the white stucco with a sand finish brings a luminous and tactile quality to the exterior. The use of natural wood in select elements introduces warmth and a human touch, while preserving the contemporary and minimalist character of the residence.

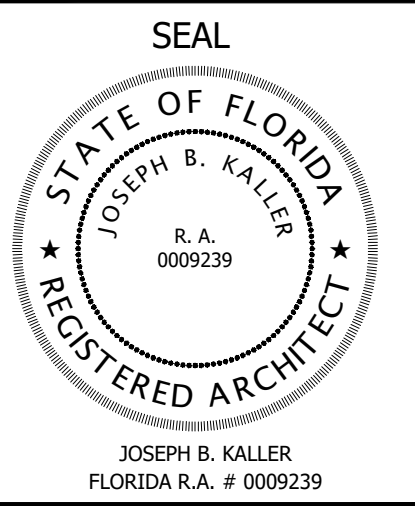
Lush tropical vegetation surrounds the home, softening the transition between the structure and the landscape, reinforcing the notion of living in a coastal paradise. The selected trees and plants not only enhance the immediate environment but also play a vital role in creating microclimates, filtering sunlight, and promoting natural ventilation.

This residence is designed to offer all modern comforts to its inhabitants without disrupting the harmony of the existing architectural fabric in the area. The project respects the scale and architectural language of the local context, while its materiality and volumetric design ensure a harmonious integration with its surroundings, creating a respectful dialogue between the historic and contemporary architecture of Hollywood.

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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 PROPOSED STREETSCAPE
 IN ALIGNMENT WITH CRA

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

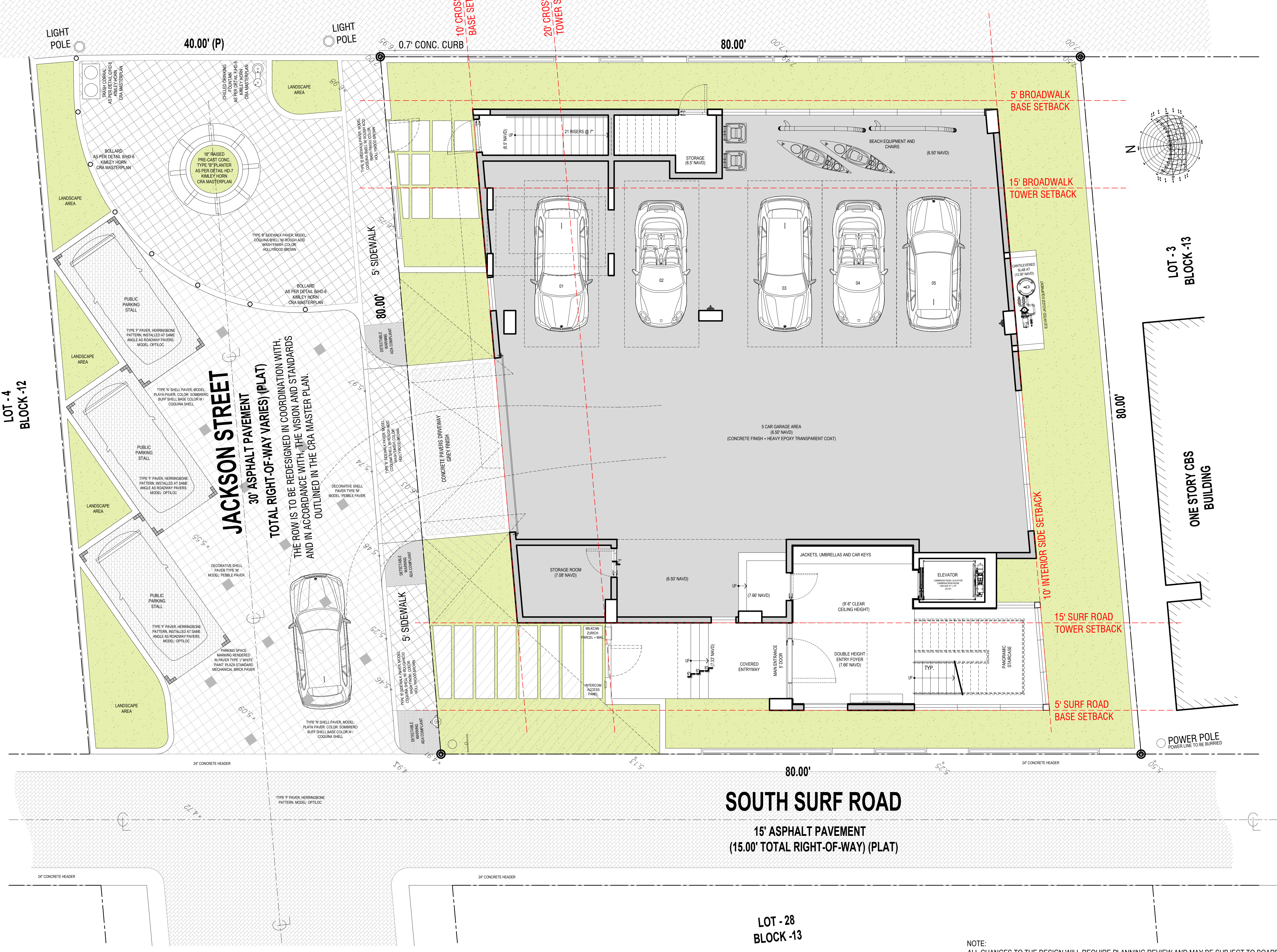
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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET
A-1.3

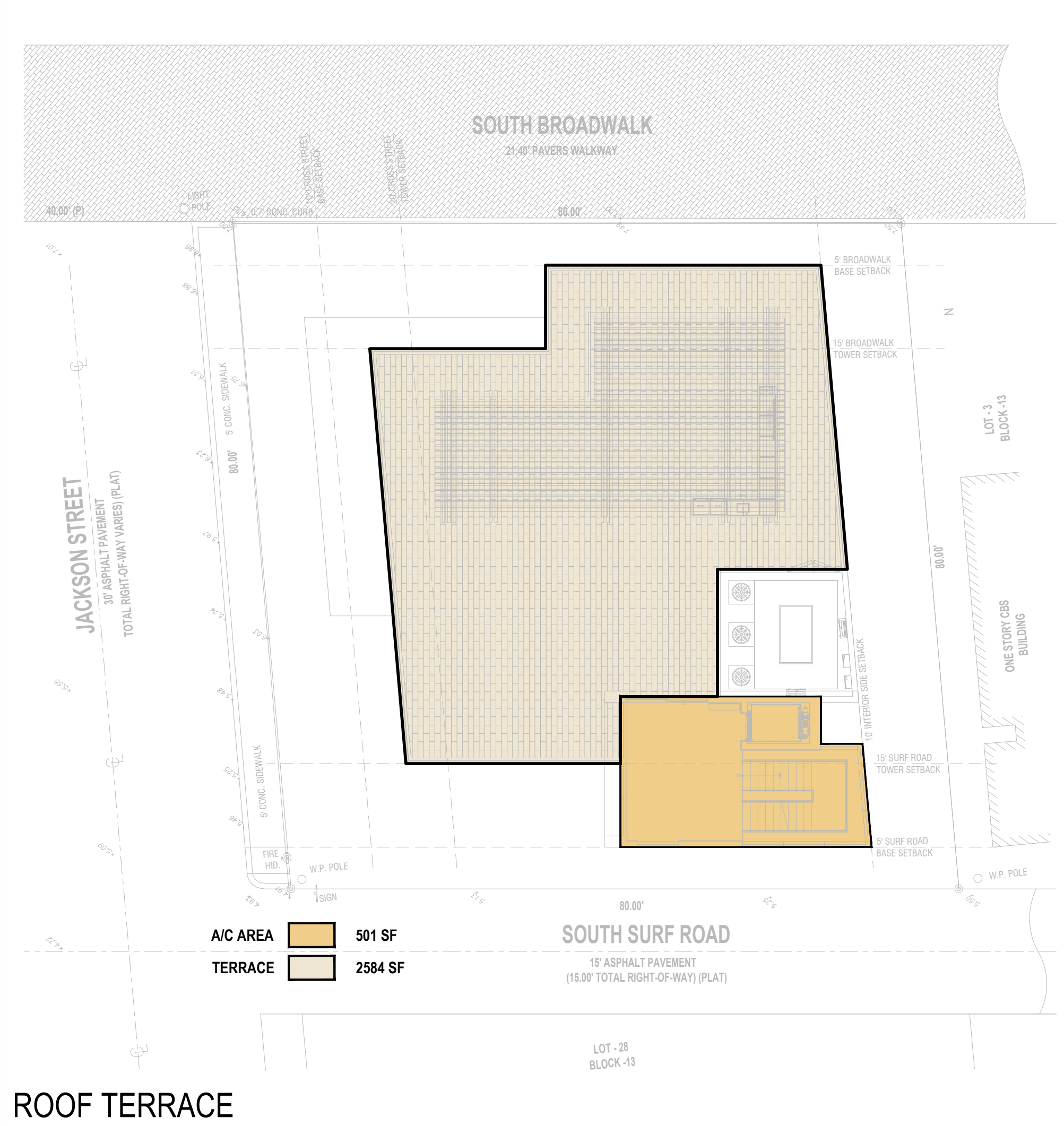
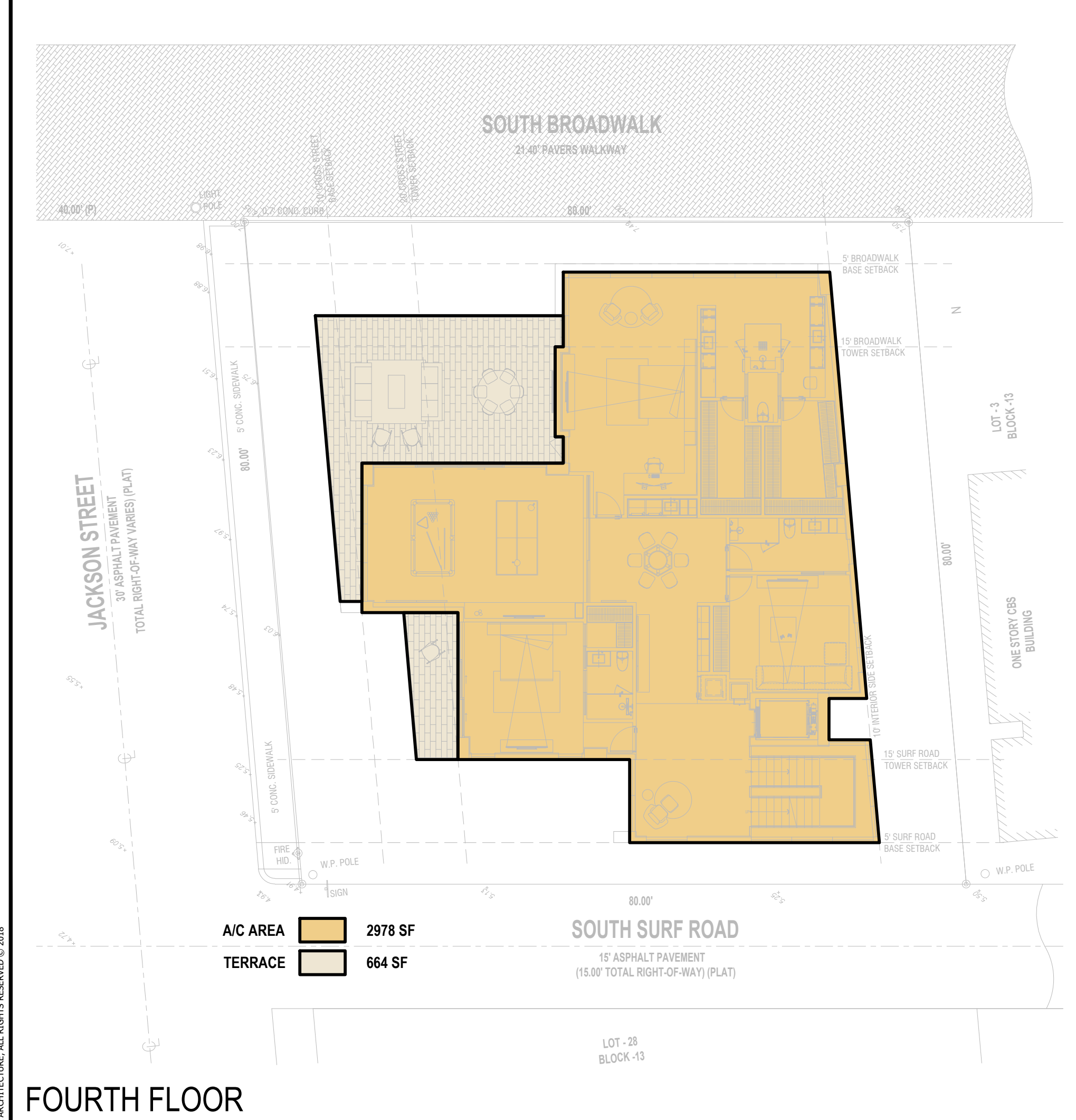
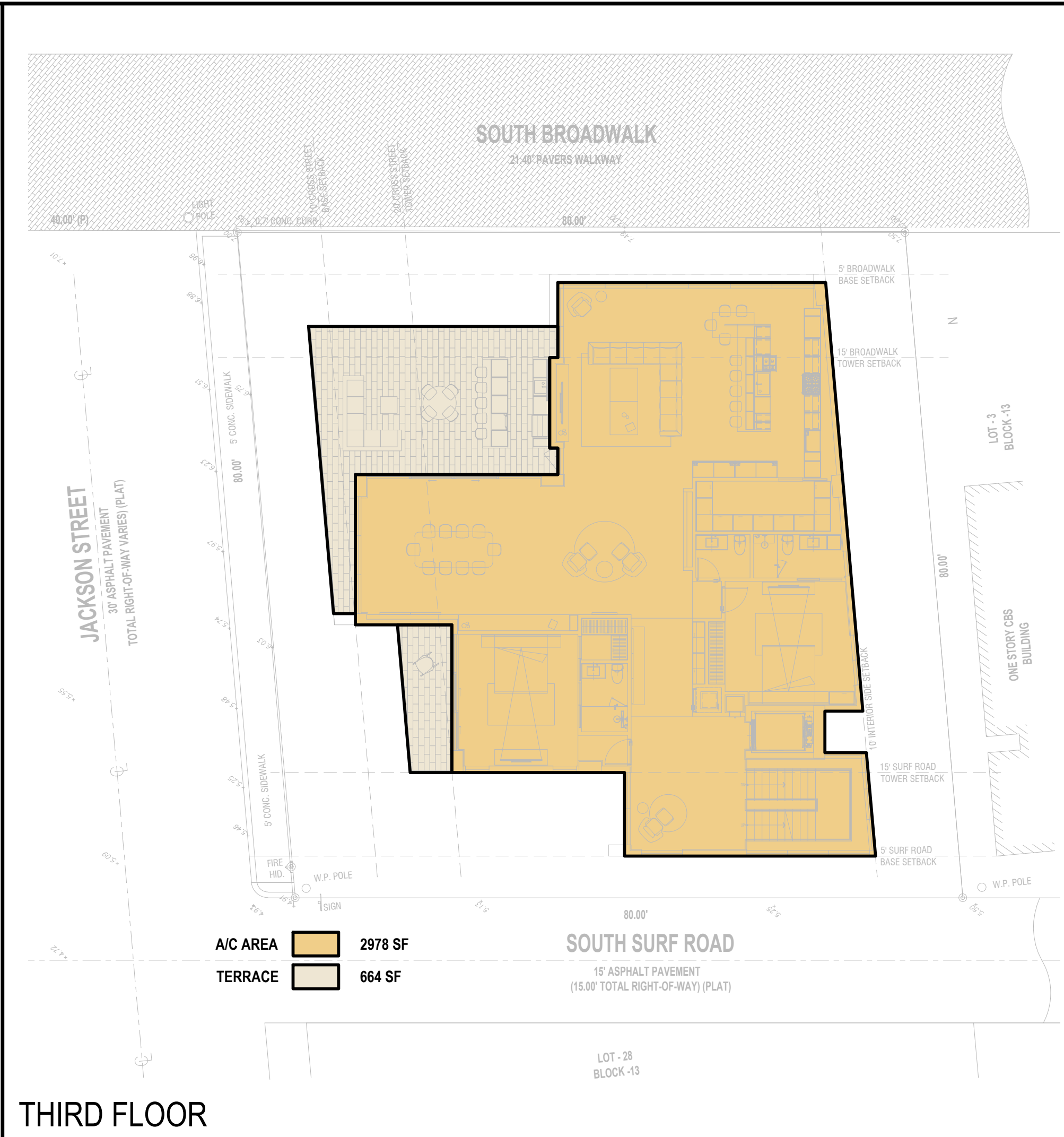
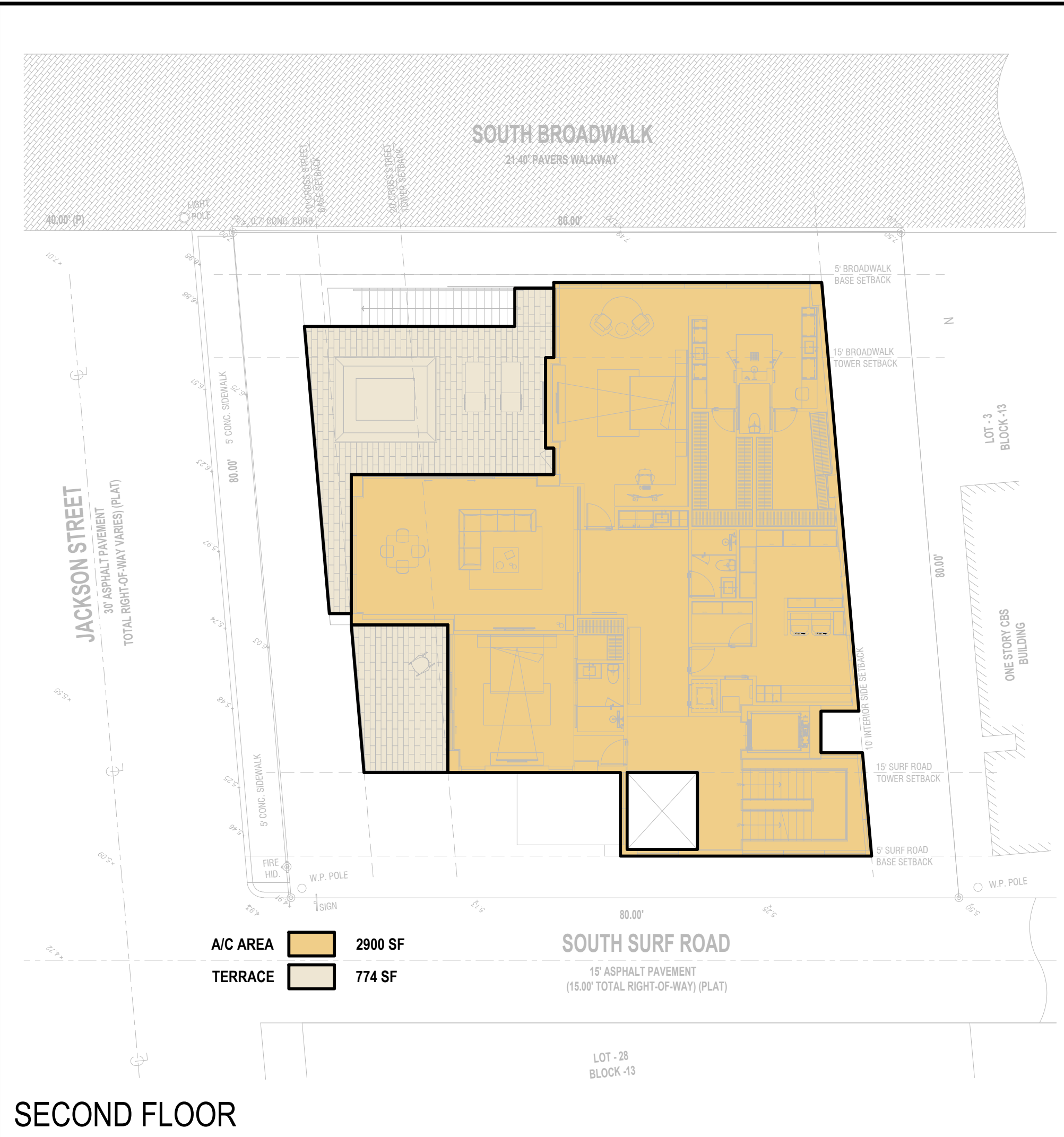
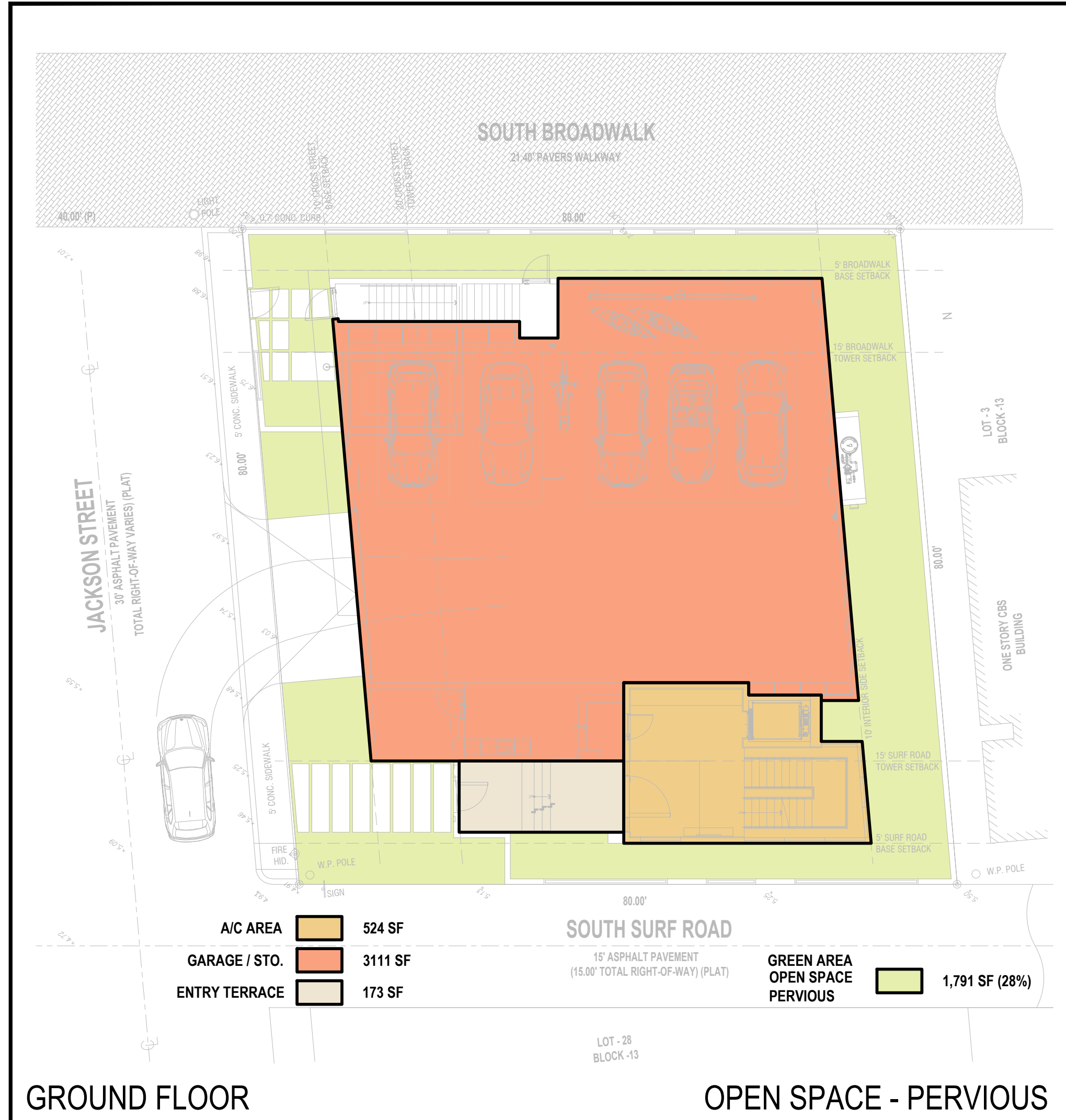
SOUTH BROADWALK

21.40' PAVERS WALKWAY



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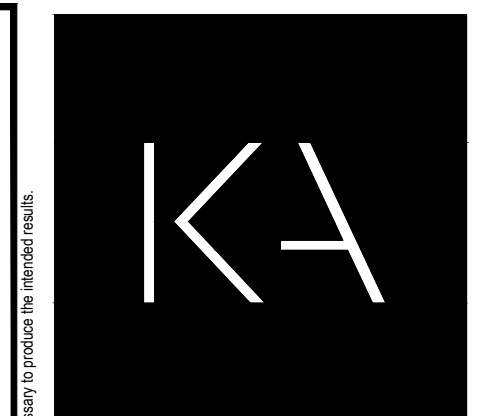


A/C AREA:		TERRACES:	
GROUND FLOOR:	524 ft ²	GROUND FLOOR:	173 ft ²
SECOND FLOOR:	2,900 ft ²	SECOND FLOOR:	774 ft ²
THIRD FLOOR:	2,978 ft ²	THIRD FLOOR:	664 ft ²
FOURTH FLOOR:	2,978 ft ²	FOURTH FLOOR:	664 ft ²
ROOF TERRACE:	501 ft ²	ROOF TERRACE:	2584 ft ²
TOTAL A/C AREA:	9,881 ft²	TOTAL TERRACE AREA:	4,859 ft²

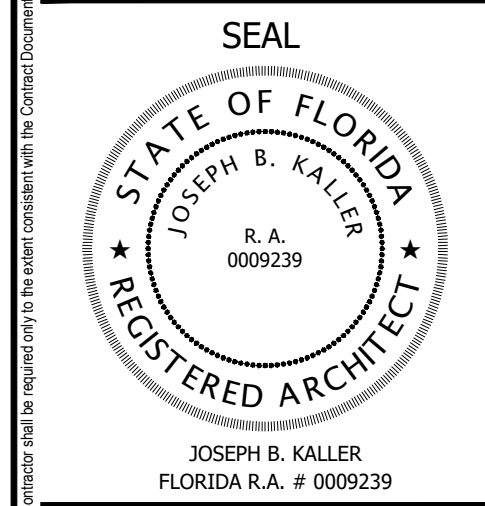
GARAGE / STORAGE:	
TOTAL GARAGE/ STORAGE AREA:	3,111 ft²

GREEN AREA OPEN SPACE - PERVIOUS (MIN. REQ. 20%):	
TOTAL GREEN AREA (OPEN SPACE - PERVIOUS):	1,791 ft² (28%)

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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 AREA DIAGRAM

MEETING DATES		
BOARD/ COMMITTEE	DATE	DESCRIPTION

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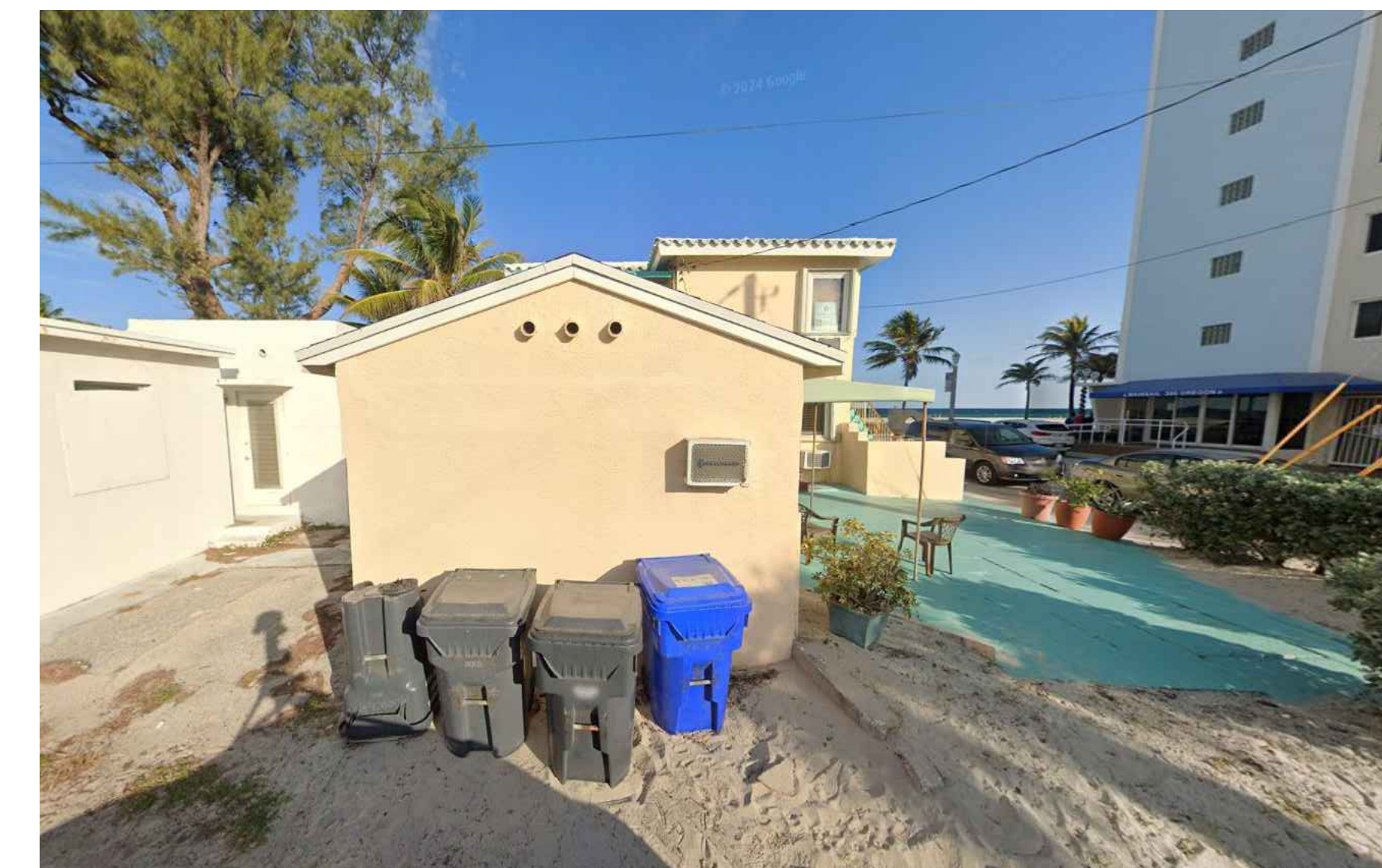
301 OREGON ST. HOLLYWOOD FL. 33019

VIEW FROM S. BROADWALK



301 OREGON ST. HOLLYWOOD FL. 33019

VIEW FROM OREGON ST.



301 OREGON ST. HOLLYWOOD FL. 33019

VIEW FROM S. SURF RD.



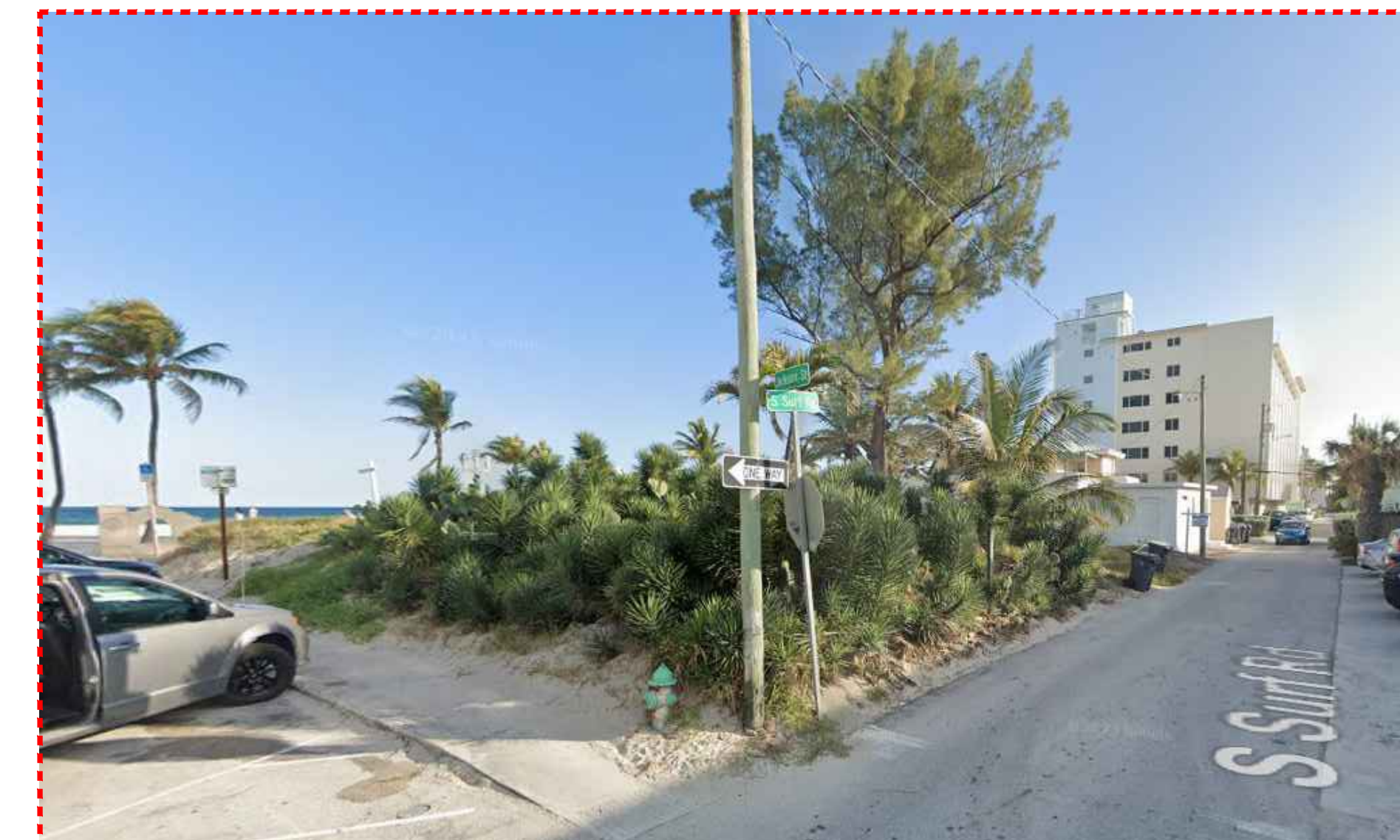
511 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. BROADWALK



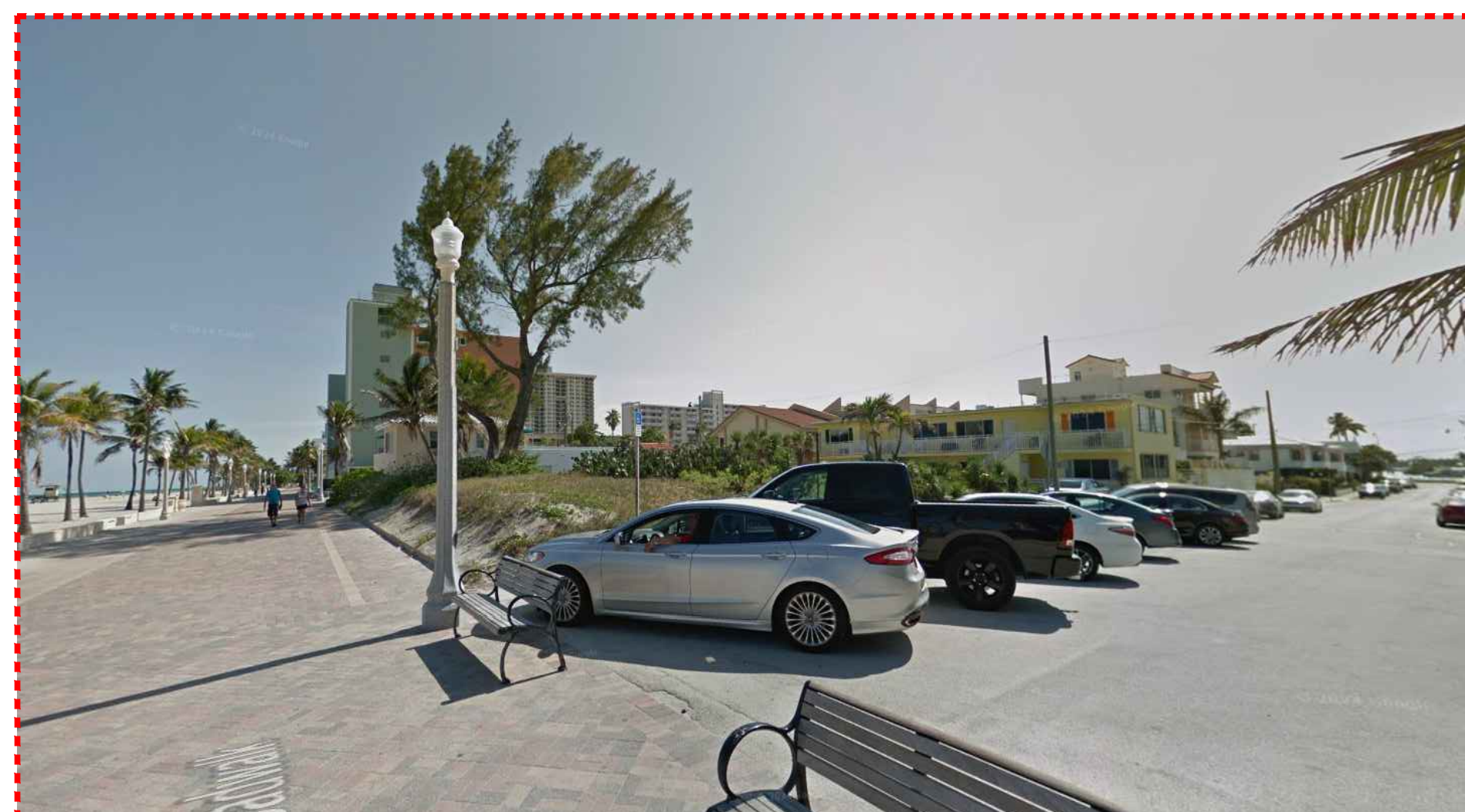
511 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. SURF RD.



501 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. SURF RD / JACKSON ST.



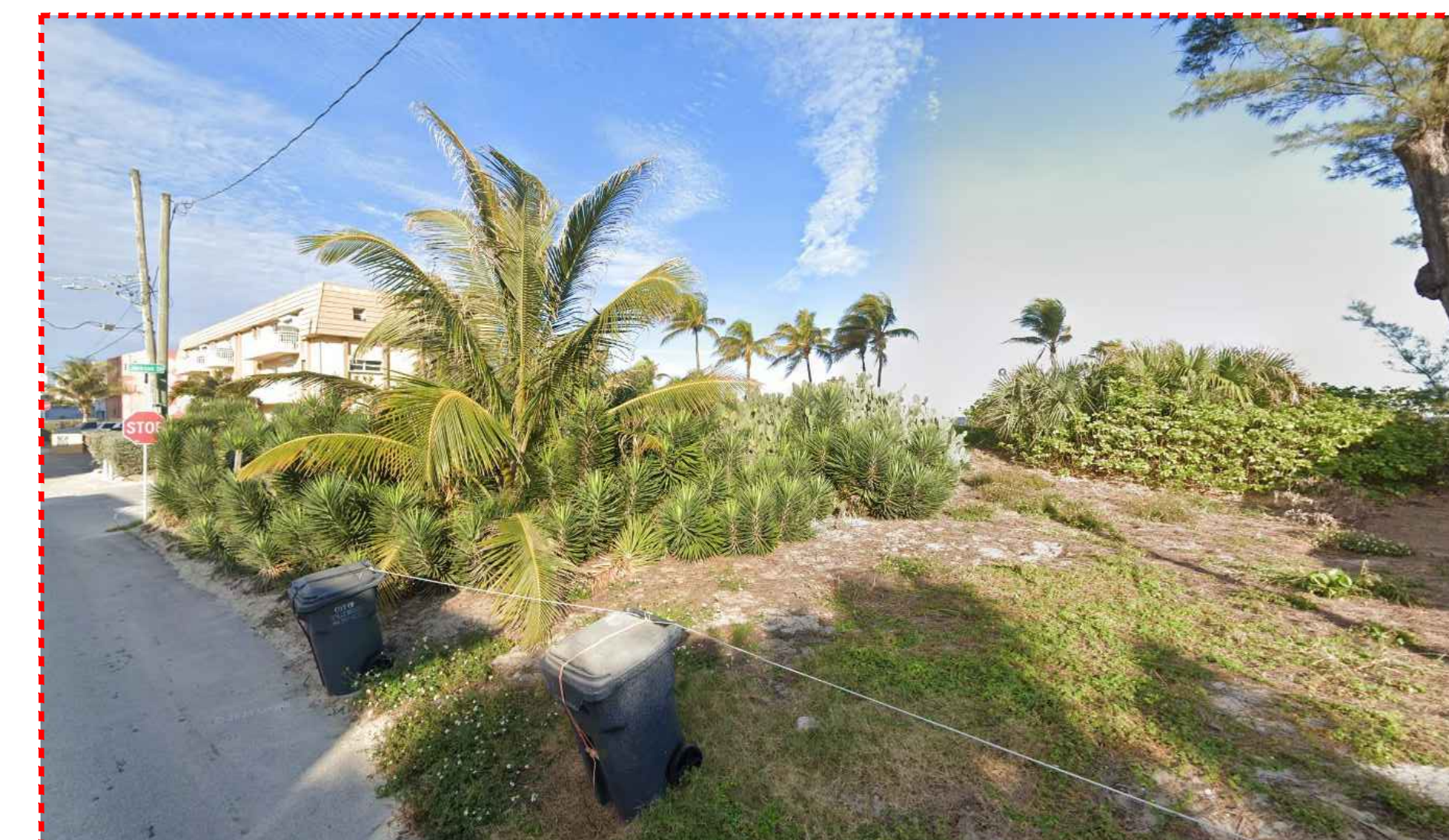
501 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. BROADWALK / JACKSON ST.



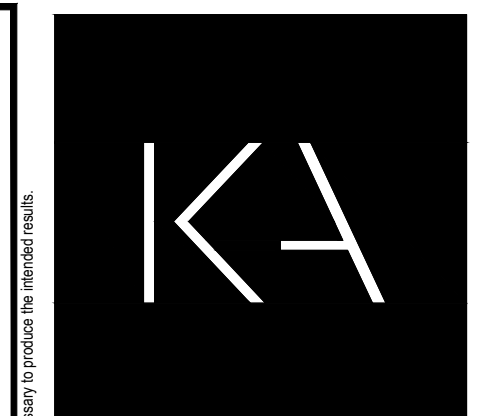
501 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. BROADWALK

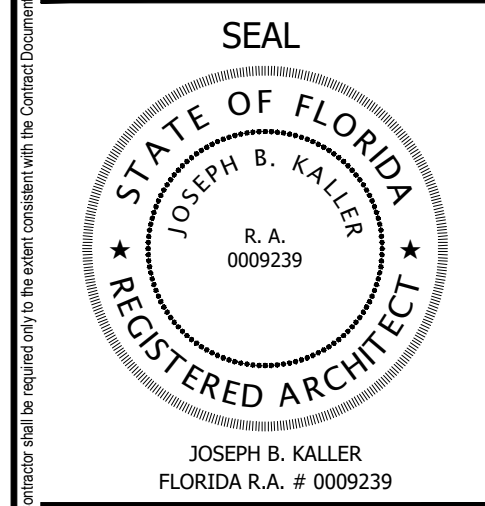


501 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. SURF RD.



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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 SUBJECT SITE
 AND ADJACENT PROPERTIES

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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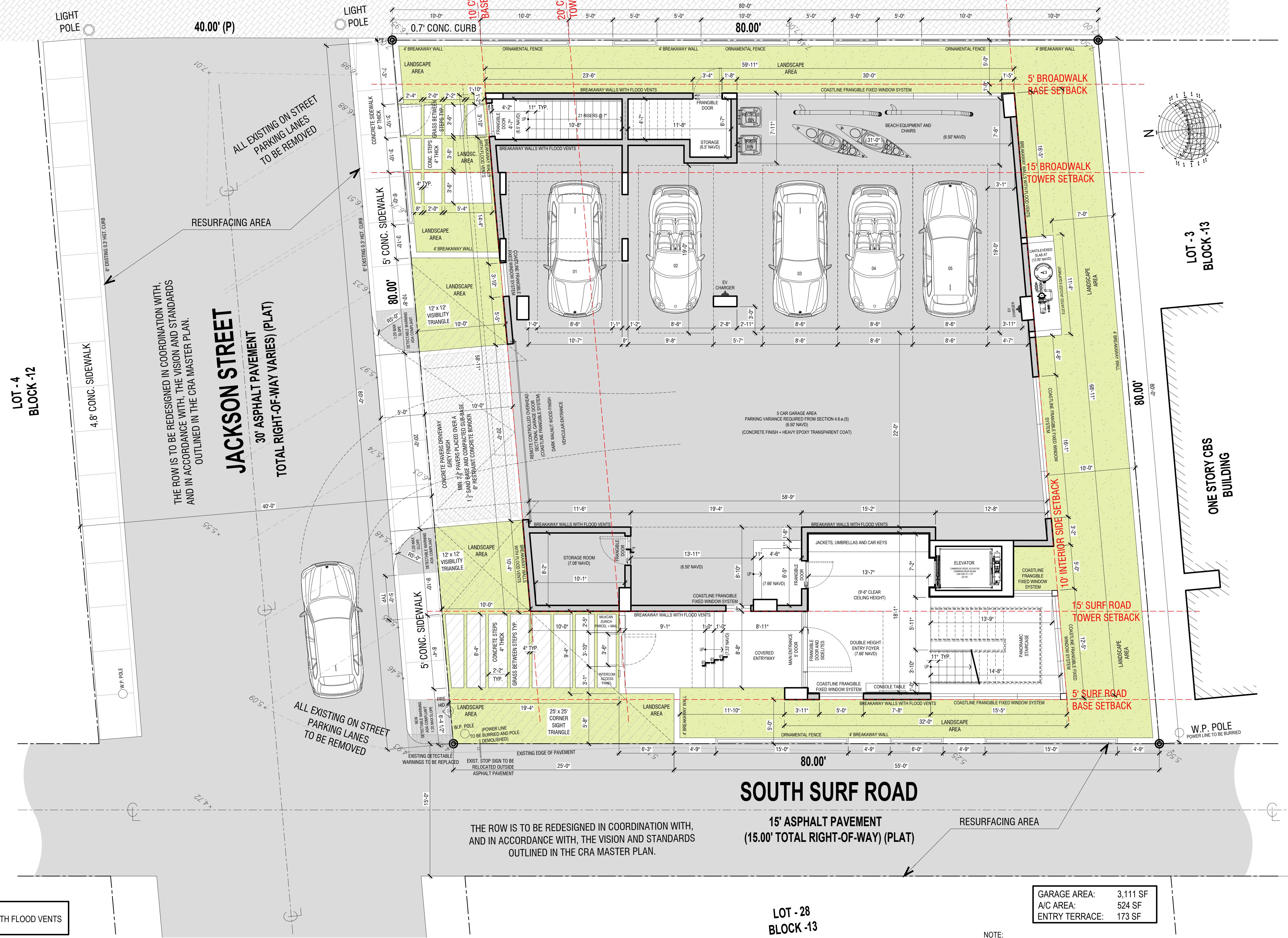
PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET
A-1.5

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SOUTH BROADWALK

21.40' PAVERS WALKWAY



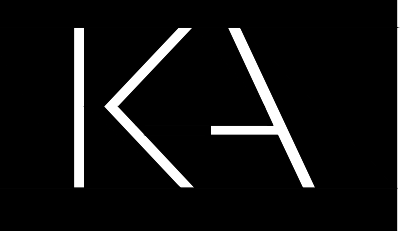
THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

SOUTH SURF ROAD

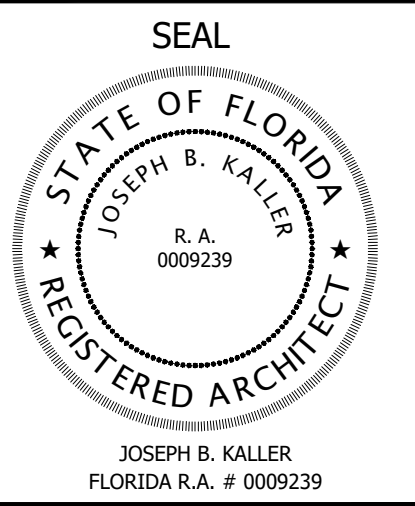
15' ASPHALT PAVEMENT
(15.00' TOTAL RIGHT-OF-WAY) (PLAT)

GARAGE AREA:	3,111 SF
A/C AREA:	524 SF
ENTRY TERRACE:	173 SF

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PROJECT TITLE
501 S SURF RD
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HOLLYWOOD, FL. 33019

SHEET TITLE
SCHEMATIC DESIGN PACKAGE
GROUND FLOOR

MEETING DATES

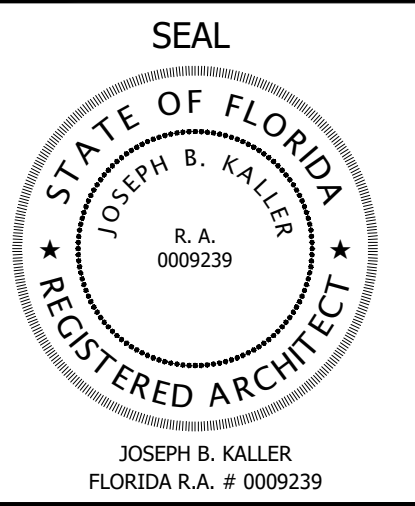
BOARD/ COMMITTEE	DATE	DESCRIPTION

PROJECT No.: 24217
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DESIGNER: SCHIFFINO
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SHEET
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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
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SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 SECOND FLOOR

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

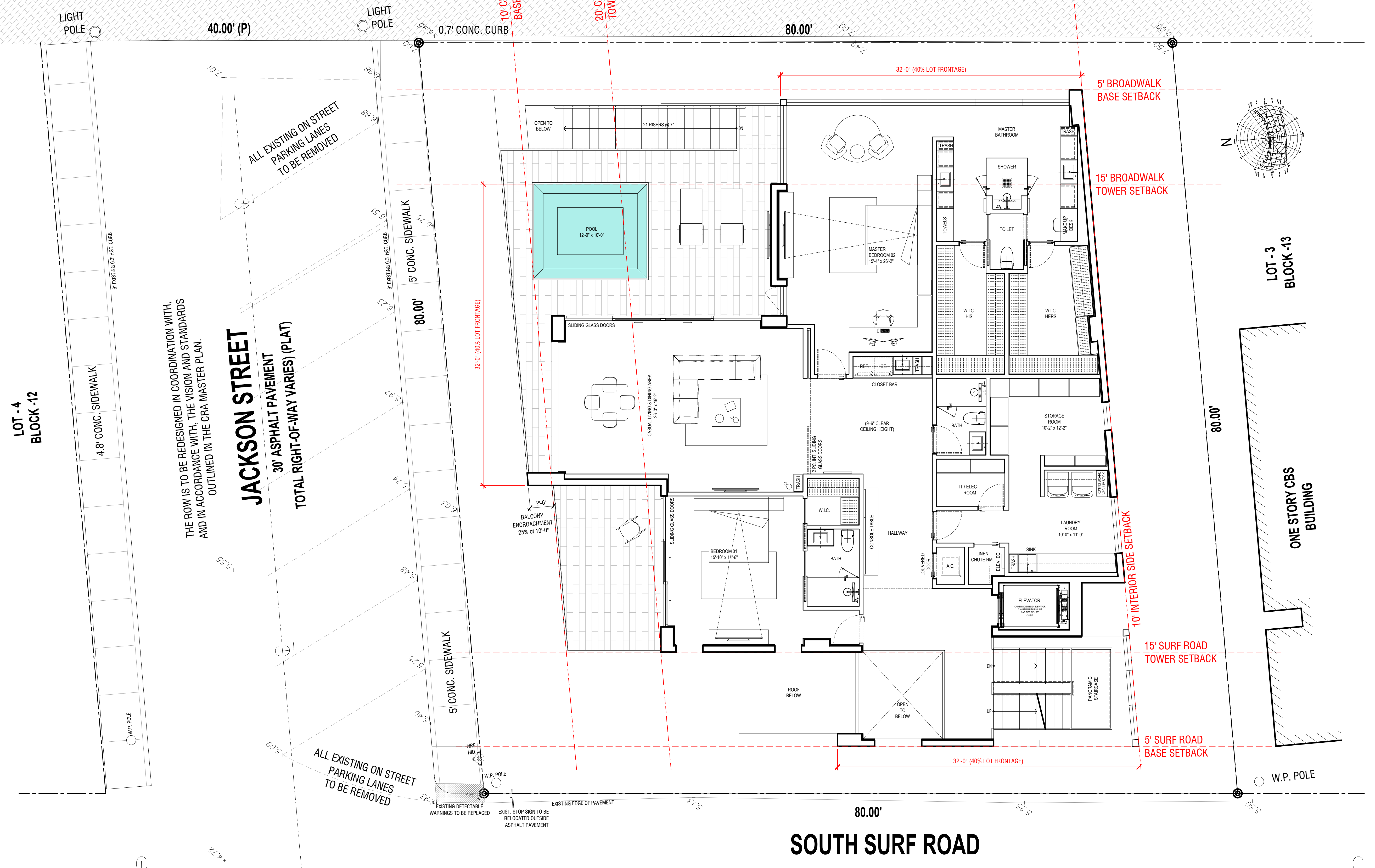
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 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET
A-2.2

SOUTH BROADWALK

21.40' PAVERS WALKWAY



THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

15' ASPHALT PAVEMENT
 (15.00' TOTAL RIGHT-OF-WAY) (PLAT)

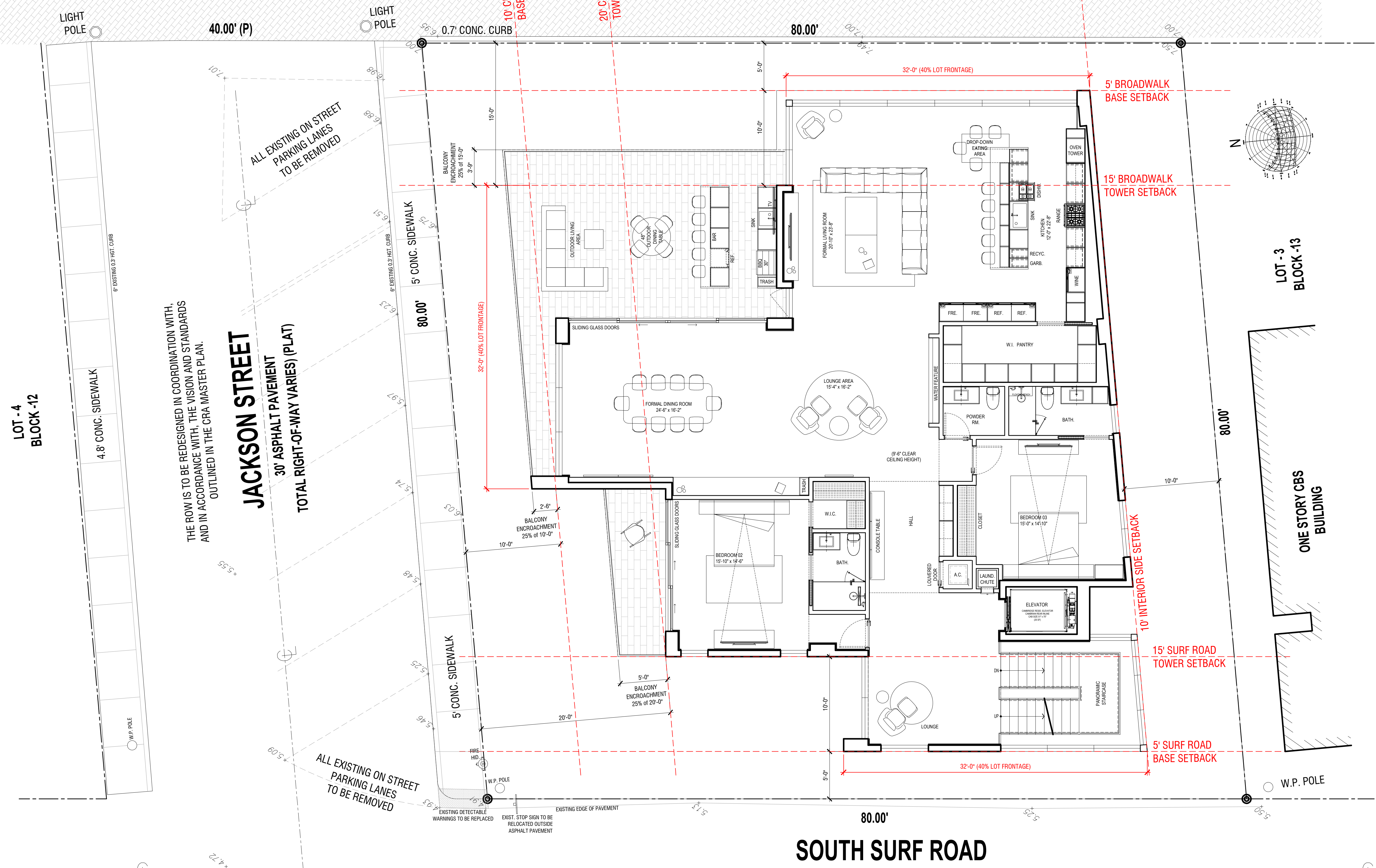
A/C AREA: 2,900 SF
 TERRACE AREA: 774 SF

NOTE:
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SOUTH BROADWALK

21.40' PAVERS WALKWAY



THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

JACKSON STREET
30' ASPHALT PAVEMENT
TOTAL RIGHT-OF-WAY VARIES (PLAT)

THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

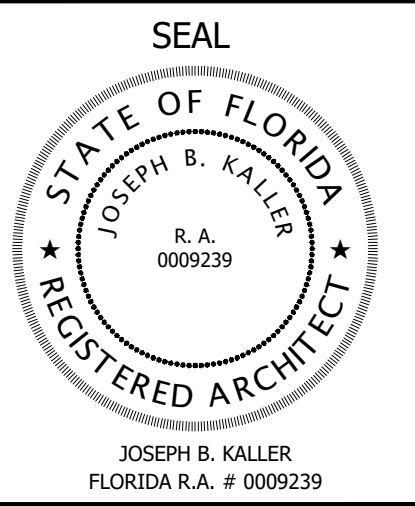
SOUTH SURF ROAD
15' ASPHALT PAVEMENT
(15.00' TOTAL RIGHT-OF-WAY) (PLAT)

A/C AREA:	2,978 SF
TERRACE AREA:	664 SF

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KallerArchitecture
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2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



PROJECT TITLE
501 S SURF RD
RESIDENCE
HOLLYWOOD, FL. 33019

SHEET TITLE
SCHEMATIC DESIGN PACKAGE
THIRD FLOOR

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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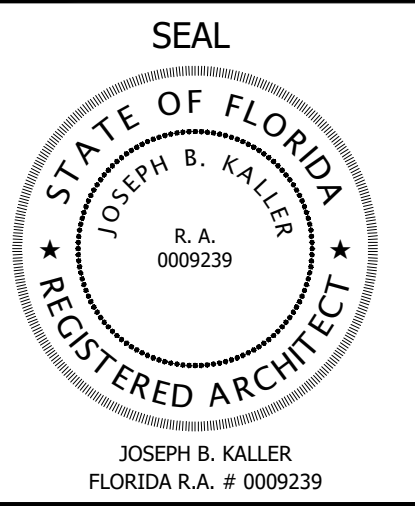
PROJECT No.: 24217
DATE: 02.05.25
DESIGNER: SCHIFFINO
REVISED BY: JBK

SHEET

A-2.3



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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 FOURTH FLOOR

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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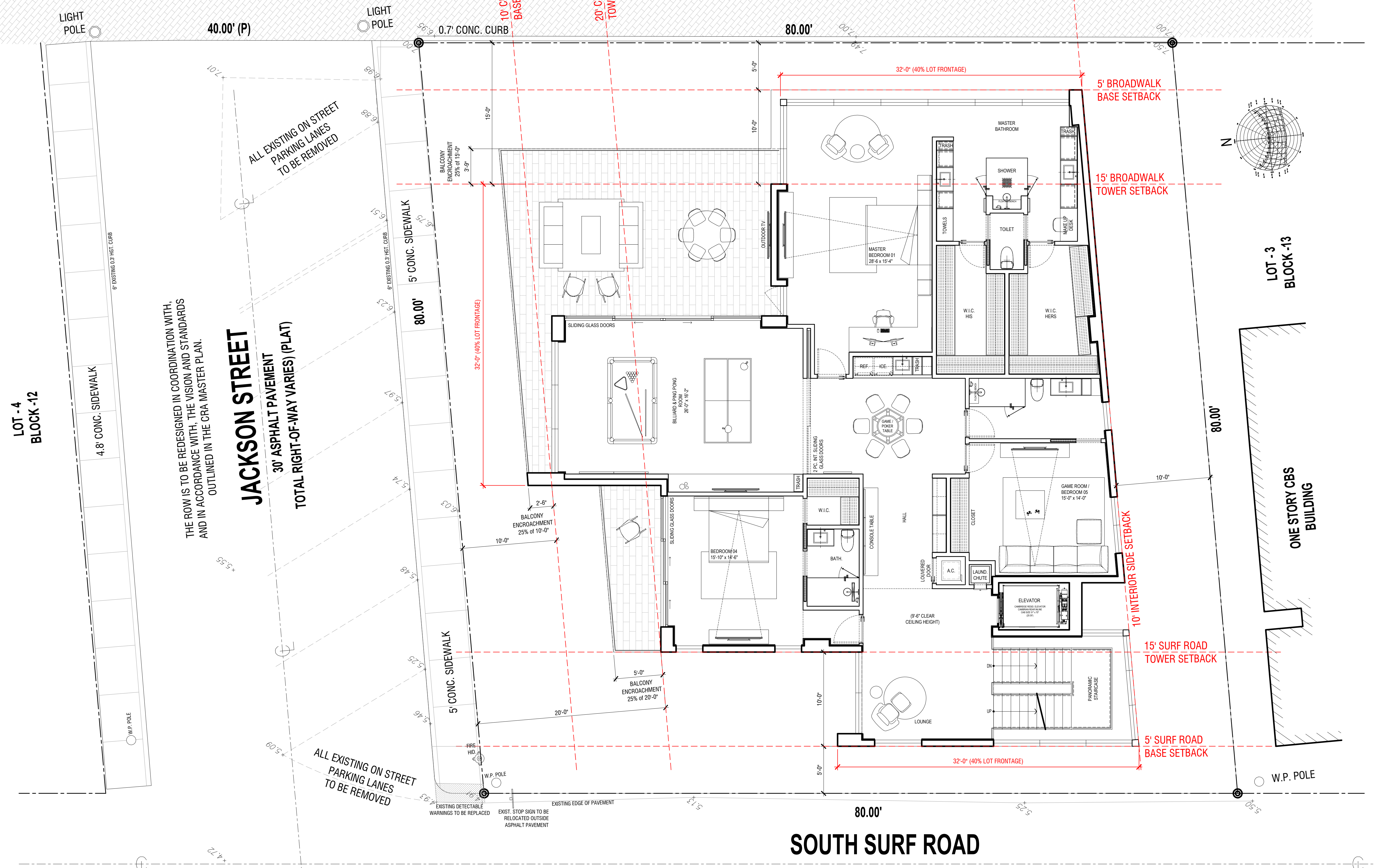
PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET

A-2.4

SOUTH BROADWALK

21.40' PAVERS WALKWAY



THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

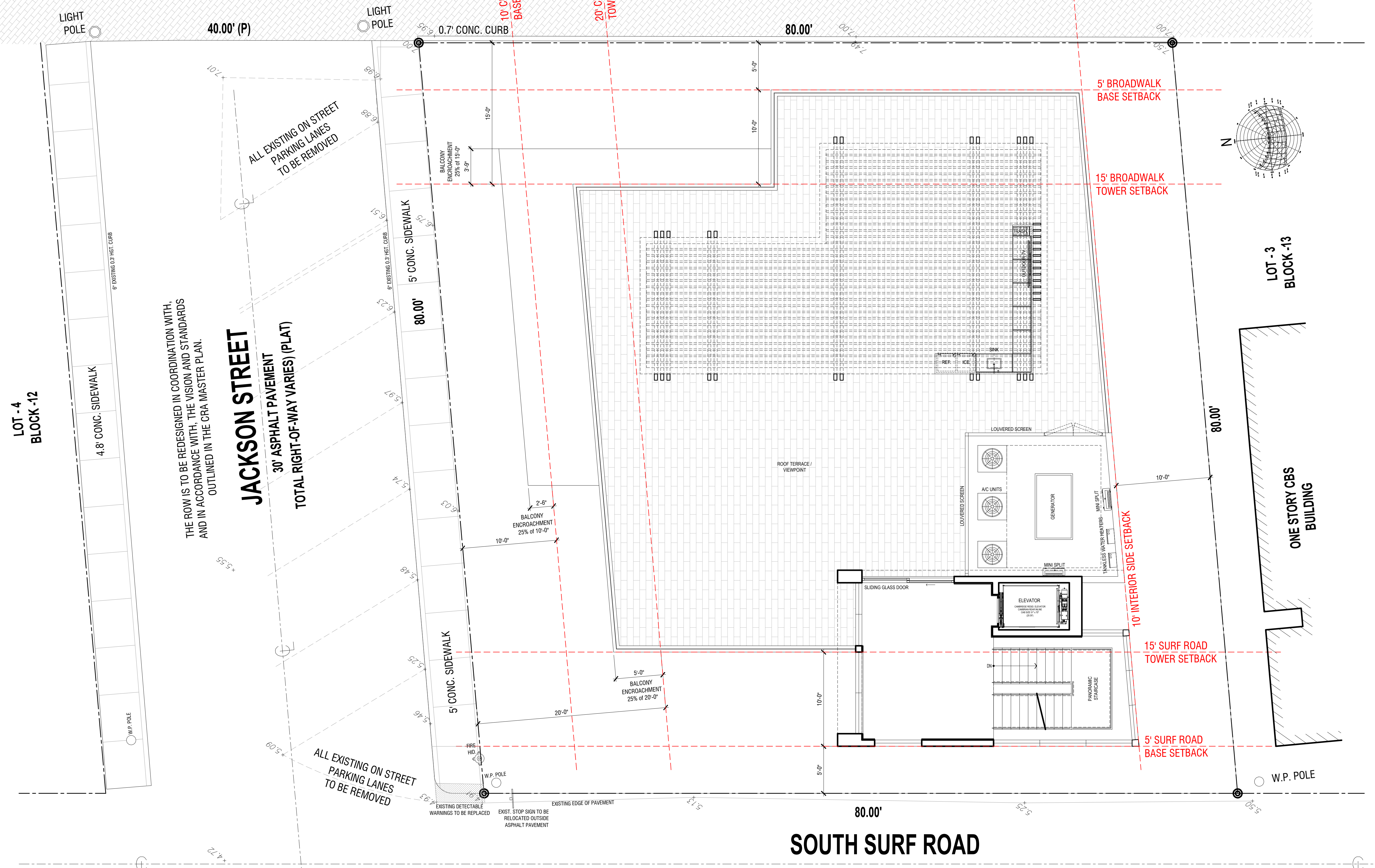
15' ASPHALT PAVEMENT
 (15.00' TOTAL RIGHT-OF-WAY) (PLAT)

A/C AREA: 2,978 SF
 TERRACE AREA: 664 SF

NOTE:
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SOUTH BROADWALK

21.40' PAVERS WALKWAY



THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

SOUTH SURF ROAD

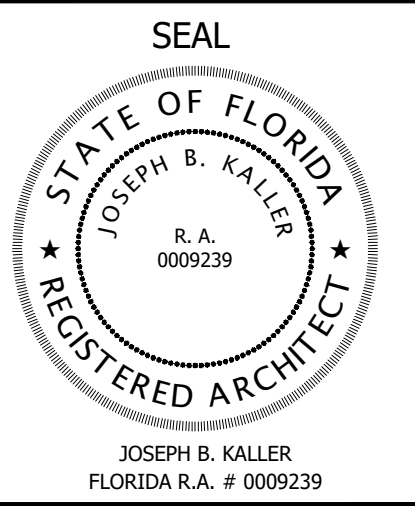
15' ASPHALT PAVEMENT
(15.00' TOTAL RIGHT-OF-WAY) (PLAT)

A/C AREA: 501 SF
ROOF TERRACE: 2,584 SF

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PROJECT TITLE
**501 S SURF RD
RESIDENCE**
HOLLYWOOD, FL. 33019

SHEET TITLE
**SCHEMATIC DESIGN PACKAGE
ROOF TERRACE**

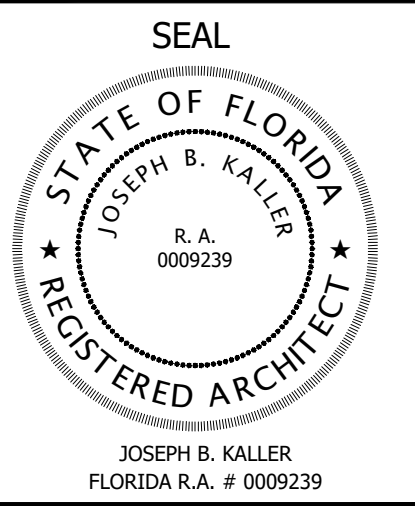
MEETING DATES		
BOARD/ COMMITTEE	DATE	DESCRIPTION

PROJECT No.: 24217
DATE: 02.05.25
DESIGNER: SCHIFFINO
REVISED BY: JBK

SHEET
A-2.5



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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 ROOF PLAN

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

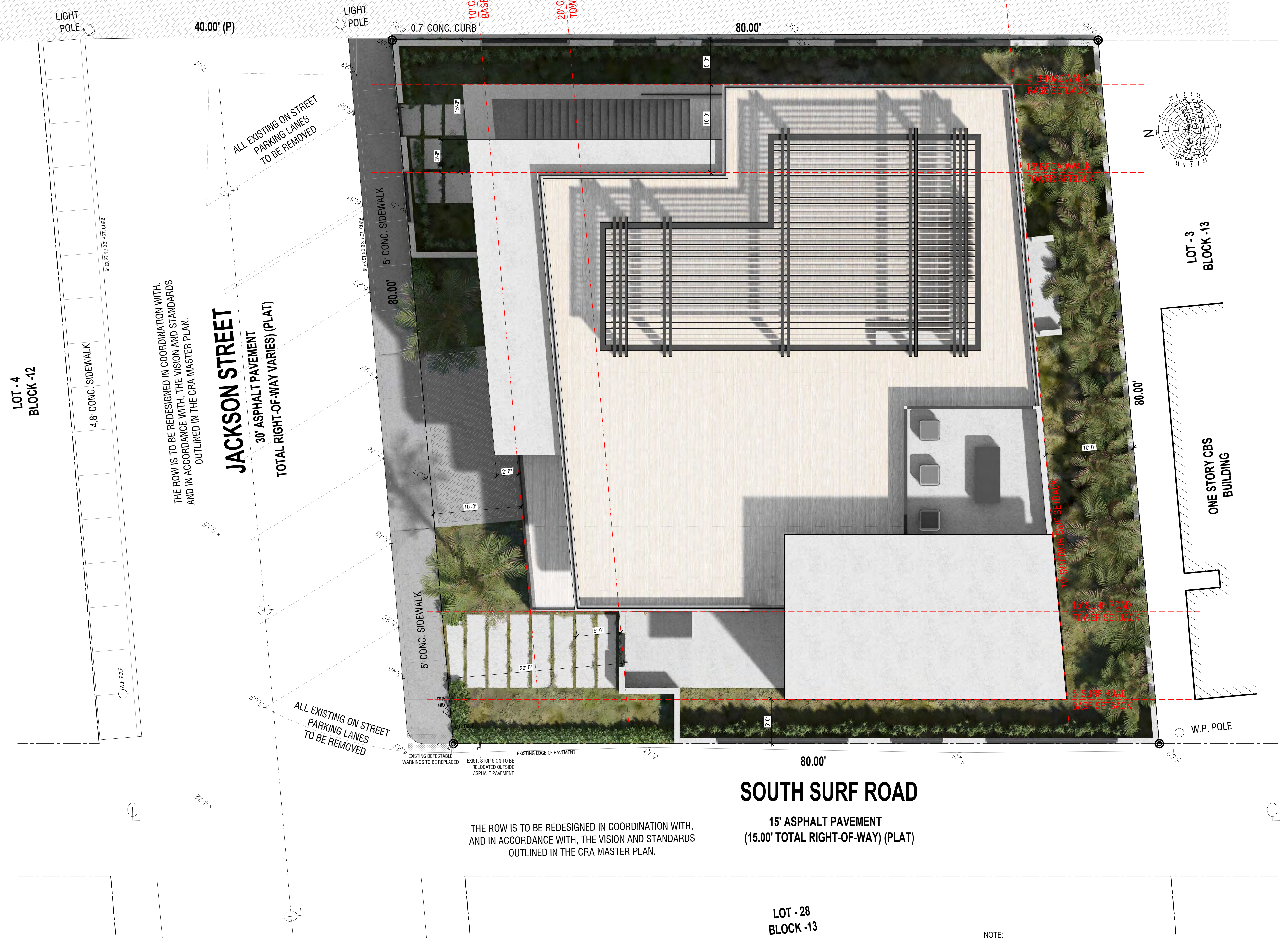
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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET
A-2.6

SOUTH BROADWALK

21.40' PAVERS WALKWAY



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JACKSON STREET
 30' ASPHALT PAVEMENT
 TOTAL RIGHT-OF-WAY VARIES (PLAT)

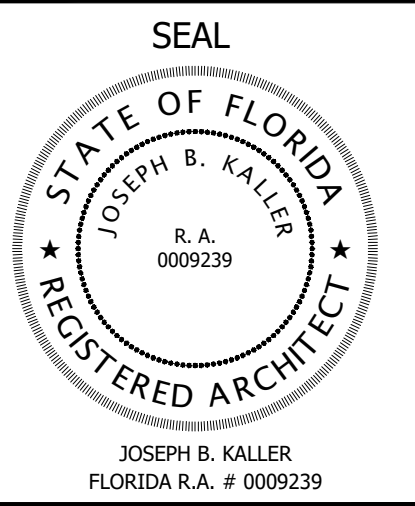
THE ROW IS TO BE REDESIGNED IN COORDINATION WITH, AND IN ACCORDANCE WITH, THE VISION AND STANDARDS OUTLINED IN THE CRA MASTER PLAN.

SOUTH SURF ROAD
 15' ASPHALT PAVEMENT
 (15.00' TOTAL RIGHT-OF-WAY) (PLAT)

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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 NORTH ELEVATION

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET

A-3.1



- A**
 LIGHT SAND TEXTURE STUCCO
 COLOR: PURE WHITE SW 7005
 LRV: 84
- B**
 LIGHT SAND TEXTURE STUCCO
 COLOR: WEB GRAY SW 7075
 LRV: 13
- C**
 SAW-CUT TRAVERTINE
 HORIZONTAL FORMAT
- D**
 IPE WALL CLADDING AND
 EXTERIOR CEILINGS
- E**
 GREY CLADDING
 REF. FOIL TITANIUM
 CERAMICHE REFIN SPA
- F**
 GREY CLADDING
 REF. FOIL BURNISH
 CERAMICHE REFIN SPA
- G**
 WOOD FINISH
 POWDER COATED ALUMINUM
 DARK WALNUT
- H**
 ALUMINUM
 DURANAR BERMUDA BRONZE
 UC105262 ESW
 CORROSION-RESISTANT HARDWARE
- I**
 CLEAR LOW-E GLASS

NOTE:
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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 WEST ELEVATION

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET

A-3.2



- A**

LIGHT SAND TEXTURE STUCCO
 COLOR: PURE WHITE SW 7005
 LRV: 84
- B**

LIGHT SAND TEXTURE STUCCO
 COLOR: WEB GRAY SW 7075
 LRV: 13
- C**

SAW-CUT TRAVERTINE
 HORIZONTAL FORMAT
- D**

IPE WALL CLADDING AND
 EXTERIOR CEILINGS
- E**

GREY CLADDING
 REF. FOIL TITANIUM
 CERAMICHE REFIN SPA
- F**

GREY CLADDING
 REF. FOIL BURNISH
 CERAMICHE REFIN SPA
- G**

WOOD FINISH
 POWDER COATED ALUMINUM
 DARK WALNUT
- H**

ALUMINUM
 DURANAR BERMUDA BRONZE
 UC105262 ESW
 CORROSION-RESISTANT HARDWARE
- I**

CLEAR LOW-E GLASS

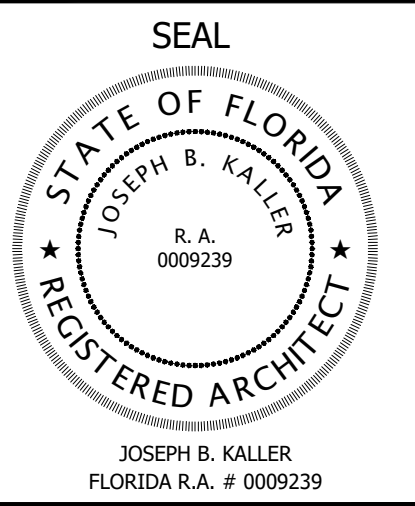
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1 WEST ELEVATION
 3/16" = 1'-0"



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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
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SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 SOUTH ELEVATION

MEETING DATES

BOARD/COMMITTEE	DATE	DESCRIPTION

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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET

A-3.3



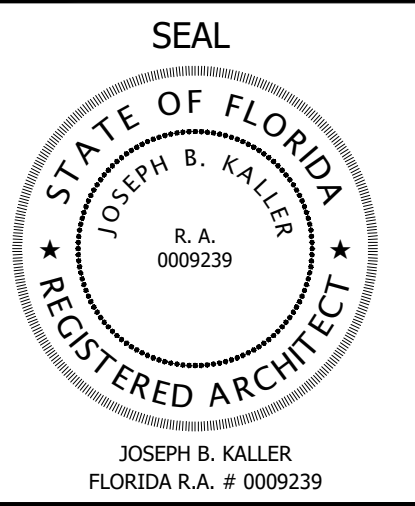
- A**
 LIGHT SAND TEXTURE STUCCO
 COLOR: PURE WHITE SW 7005
 LRV: 84
- B**
 LIGHT SAND TEXTURE STUCCO
 COLOR: WEB GRAY SW 7075
 LRV: 13
- C**
 SAW-CUT TRAVERTINE
 HORIZONTAL FORMAT
- D**
 IPE WALL CLADDING AND
 EXTERIOR CEILINGS
- E**
 GREY CLADDING
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 WOOD FINISH
 POWDER COATED ALUMINUM
 DARK WALNUT
- H**
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 UC105262 ESW
 CORROSION-RESISTANT HARDWARE
- I**
 CLEAR LOW-E GLASS

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PROJECT TITLE
 501 S SURF RD
 RESIDENCE
 HOLLYWOOD, FL. 33019

SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 EAST ELEVATION

MEETING DATES

BOARD/ COMMITTEE	DATE	DESCRIPTION

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PROJECT No.: 24217
 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

SHEET

A-3.4



A	B	C	D	E	F	G	H	I
LIGHT SAND TEXTURE STUCCO COLOR: PURE WHITE SW 7005 LRV: 84	LIGHT SAND TEXTURE STUCCO COLOR: WEB GRAY SW 7075 LRV: 13	SAW-CUT TRAVERTINE HORIZONTAL FORMAT	IPE WALL CLADDING AND EXTERIOR CEILINGS	GREY CLADDING REF. FOIL TITANIUM CERAMICHE REFIN SPA	GREY CLADDING REF. FOIL BURNISH CERAMICHE REFIN SPA	WOOD FINISH POWDER COATED ALUMINUM DARK WALNUT	ALUMINUM DURANAR BERMUDA BRONZE UC105262 ESW CORROSION-RESISTANT HARDWARE	CLEAR LOW-E GLASS

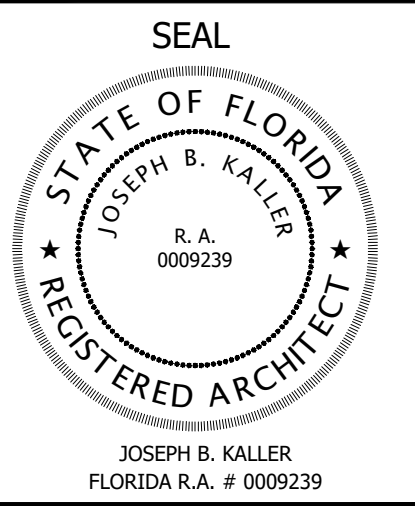
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1 EAST ELEVATION
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PROJECT TITLE
 501 S SURF RD
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SHEET TITLE
 SCHEMATIC DESIGN PACKAGE
 STREET PROFILE

MEETING DATES

BOARD/COMMITTEE	DATE	DESCRIPTION

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 DATE: 02.05.25
 DESIGNER: SCHIFFINO
 REVISED BY: JBK

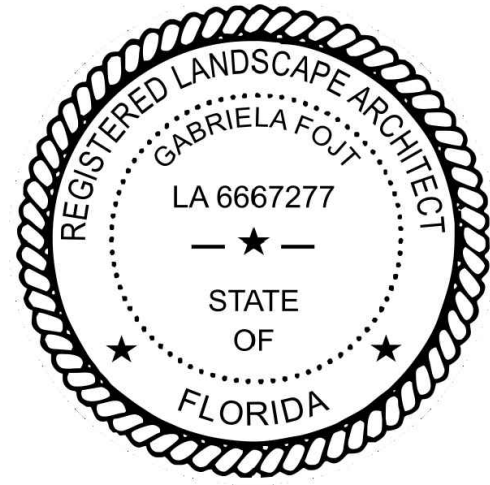
SHEET

A-3.5



SOUTH BROADWALK 501 S SURF RD S SURF RD 500 S SURF RD 306 JACKSON ST 310 JACKSON ST 318 JACKSON ST 340 JACKSON ST 344 JACKSON ST 505 S OCEAN DR S OCEAN DR

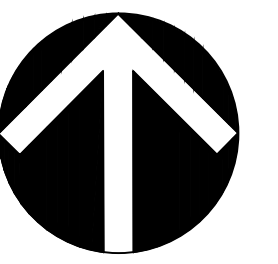
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The Mirror of Paradise

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ISA FL-10207A

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c (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE 1/8"=1'-0"

DESIGNED BY GF

DRAWN BY KM,GF

CHECKED BY GF

CAD DWG.

DATE 10.07.2024

REVISIONS

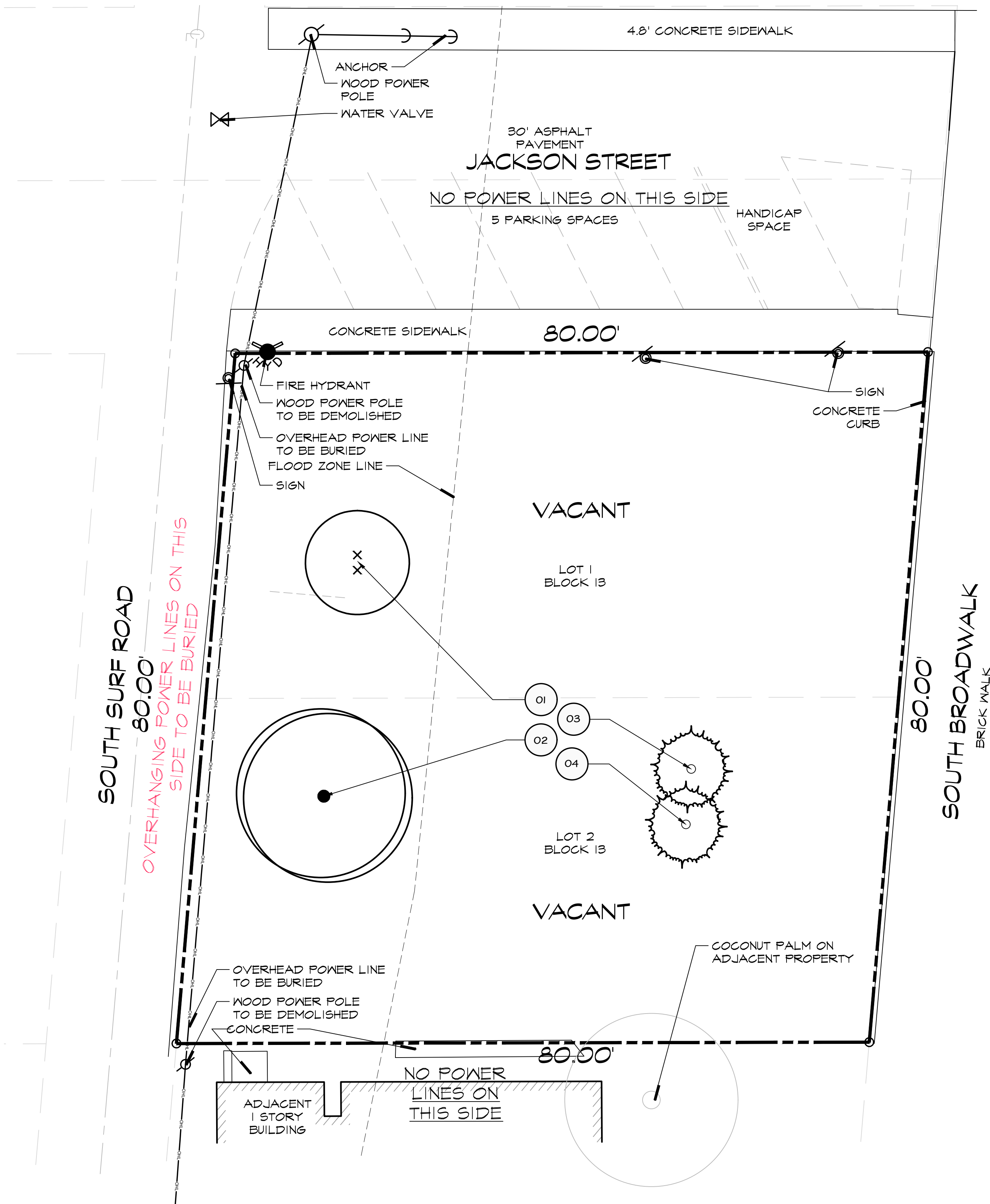
per City comments 1 11.23.2024

per City comments 2 12.18.2024

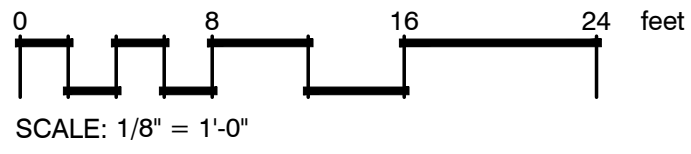
per City comments 3 02.10.2025

501 S Surf Rd Tr Grossman, Melissa M Trstee
HOLLYWOOD BEACH
FLORIDA 33019

REMOVAL PLAN, EXISTING TREE LIST



A GENERAL LAYOUT
scale 1/8"=1'-0"



NO TREE REMOVAL OR PLANTING ALLOWED UNTIL SUBPERMITS ARE FULLY APPROVED BY CITY.

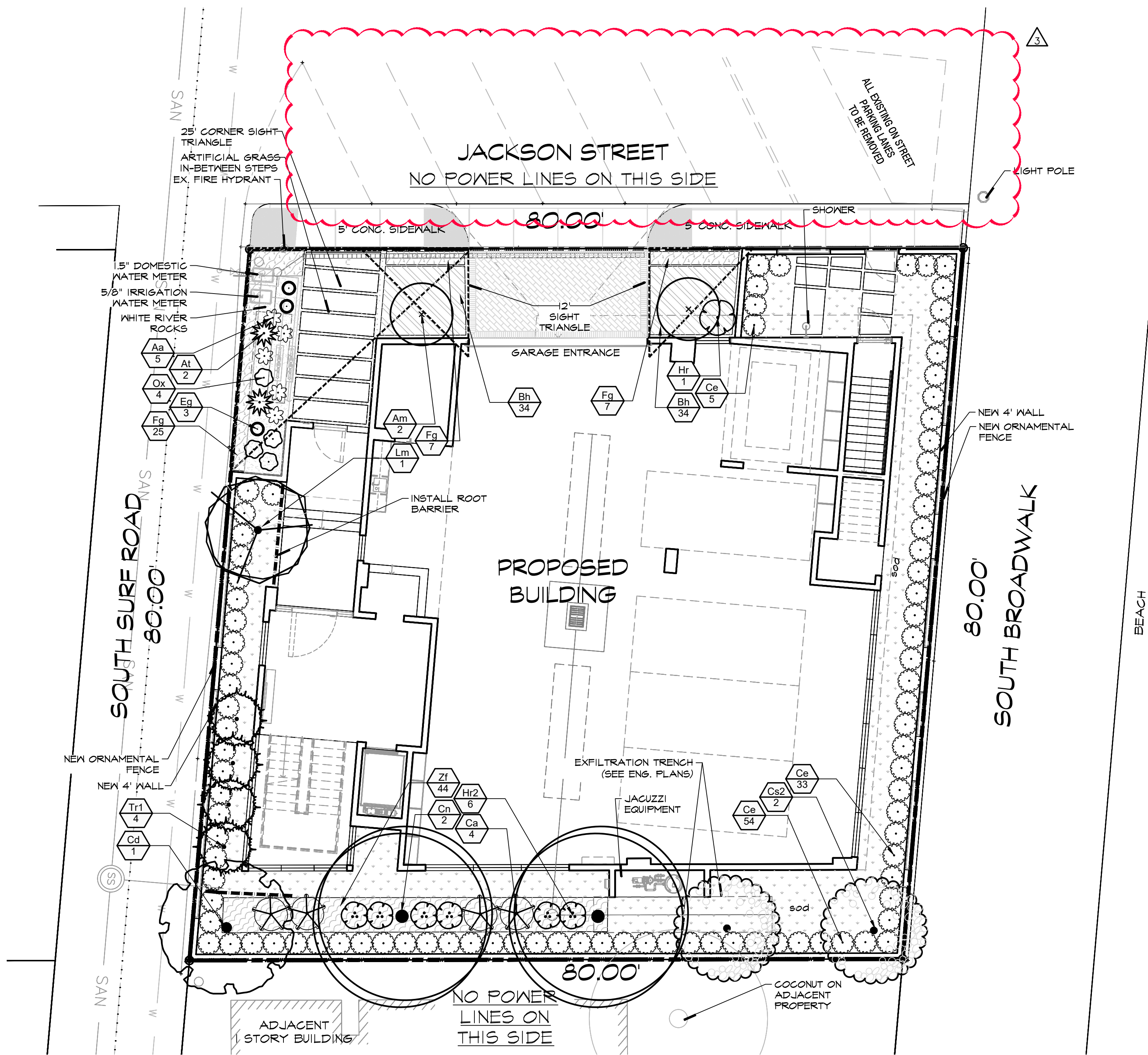
2 REMOVED PALMS TO MITIGATE..... 2 x \$350 = \$700.00
2 CHRISTMAS PALMS PROPOSED FOR MITIGATION=\$700.00
NO MITIGATION TO BE PAID FOR MITIGATION

PLANT SCHEDULE									
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	CANOPY	CONDITION	NOTES	ACTION
TREES									
XX	01	Adonia merrillii	Manila Palm (double)	N/A	12' CT	12'	Poor		TO BE REMOVED
●	02	Cocos nucifera	Coconut Palm	N/A	8' CT	20'	Poor		TO BE REMOVED
○	03	Sabal palmetto	Cabbage Palmetto	N/A	6' CT	10'	Fair	NOT QUALIFYING FOR MITIGATION	TO BE REMOVED
○	04	Sabal palmetto	Cabbage Palmetto	N/A	6' CT	10'	Fair	NOT QUALIFYING FOR MITIGATION	TO BE REMOVED

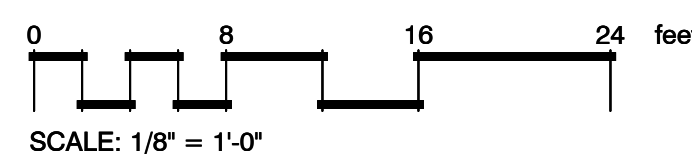
IF YOU DIG FLORIDA... CALL US FIRST!
1-800-432-4770
SUNSHINE STATE ONECALLING OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.

HORIZONTAL CLEARANCE TO UTILITIES, A MINIMUM 5 FT IS REQUIRED FOR SMALL TREES AND 10 FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS. IF CLEARANCE LESS THAN REQUIRED, INSTALL ROOT BARRIERS (BY DEEPROOT OR EQUIVALENT) MIN.12" FROM UTILITY.



A GENERAL LAYOUT
scale 1/8"=1'-0"



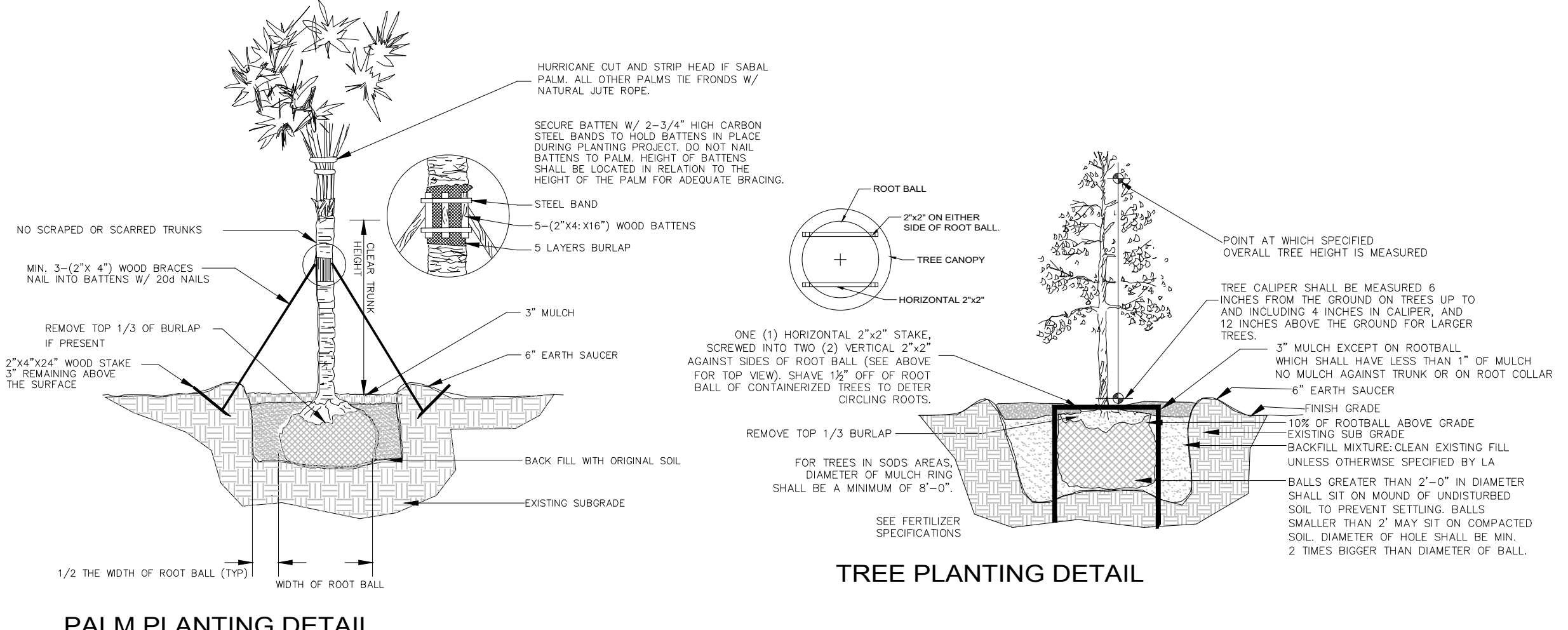
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FOR UTILITY DAMAGE.

PLANT SCHEDULE

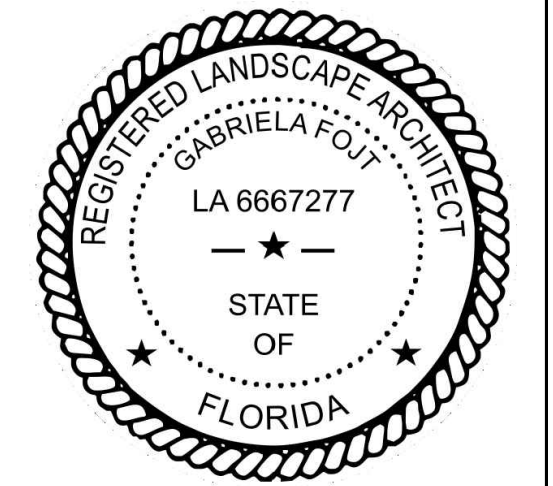
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
Am	x	2	Adonia merrillii	Manila Palm	8'CT, sngl, matched	AS SHOWN	NO	HIGH
Cd	.	1	Coccoloba diversifolia	Pigeon Plum	min.12'OA, 2"dbh	AS SHOWN	YES	HIGH
Cn	.	2	Cocos nucifera	Coconut Palm	12'CT, matched	AS SHOWN	NO	HIGH
Cs2	.	2	Cordia sebestena	Orange Geiger Tree	min.12'OA, 2"dbh, matched	AS SHOWN	YES	HIGH
Lm	.	1	Lagerstroemia	Crape Myrtle	min.12'OA, 2"dbh, std	AS SHOWN	NO	HIGH
Tr1	.	4	Thrinax radiata	Florida Thatch Palm single	8'CT, sngl, matched	AS SHOWN	YES	HIGH
SHRUBS								
Aa	.	5	Agave attenuata	Foxtail Agave	3 gal.	AS SHOWN	NO	HIGH
At	.	2	Agave tequilana	Blue Agave	3'OA	AS SHOWN	NO	HIGH
Ca	.	4	Callicarpa americana	American Beautyberry	4'OA, full	AS SHOWN	YES	HIGH
Ce	.	92	Conocarpus erectus	Green Buttonwood	5'-6'OA, flb	30"OC	YES	HIGH
Eg	.	3	Echinocactus grusonii	Golden Barrel Cactus	7 gal	AS SHOWN	NO	HIGH
Hr2	.	6	Hibiscus rosa-sinensis	Hibiscus-color tbd by client	24"x24", shrub	AS SHOWN	NO	HIGH
Hr	.	1	Hibiscus rosa-sinensis	Hibiscus-color tbd by client	4'-5'OA, std	AS SHOWN	NO	HIGH
Ox	.	4	Opuntia	Prickly Pear	2'OA	AS SHOWN	YES	HIGH
SHRUB AREAS								
Bh	.	68	Bougainvillea x 'Helen Johnson'	Helen Johnson Compact Bougainvillea	3 gal	18"OC	NO	HIGH
Fg	.	39	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal	18"OC	NO	HIGH
Zf	.	44	Zamia floridana	Florida Coontie	3 gal	24"OC	YES	HIGH
GROUND COVERS								
Zc	.	643 sf	Zoysia spp	Zoysia	sod			

- NOTES:
- SOD AS INDICATED.
 - MULCH ALL BEDS AS INDICATED ON DETAIL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
 - PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.



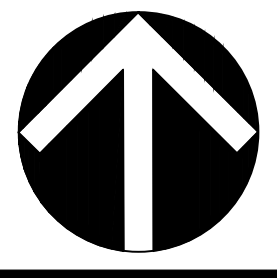
LANDSCAPE REQUIREMENTS BWK-25-HD-R	Required	Proposed	Total Provided
PERIMETER TREES 1 tree/each 50 lf of street frontage (160'/50'=3.2)	4 trees	Crape Myrtle, 4 Thatch palm (=1 1/3 tree), 2 Adonia palms (=2/3 tree), 1 Pigeon plum	4 provided
OPEN SPACE 1 tree/each 1,000 sf of pervious area (1,745/1,000=1.7)	2 trees	2 Orange Geiger	2 provided
min. 60% of required trees to be native (6 x .5=3.6) min. 50% of shrubs to be native (269 x .5=134.5) max. 50% of required trees to be palms (6 x .5=3) Provide automatic irrigation with 100% of coverage Sight triangle for corner property	min. 4 native min.135 max. 3 trees as palms	4 1/3 139 2 irrigation implant	4 1/3 provided 52% provided 2 provided (*) provided provided

(*) 2 Christmas palms are not counted for code



The Mirror of Paradise
Gabriela Fojt
LA 6667277
ISA FL-10207A

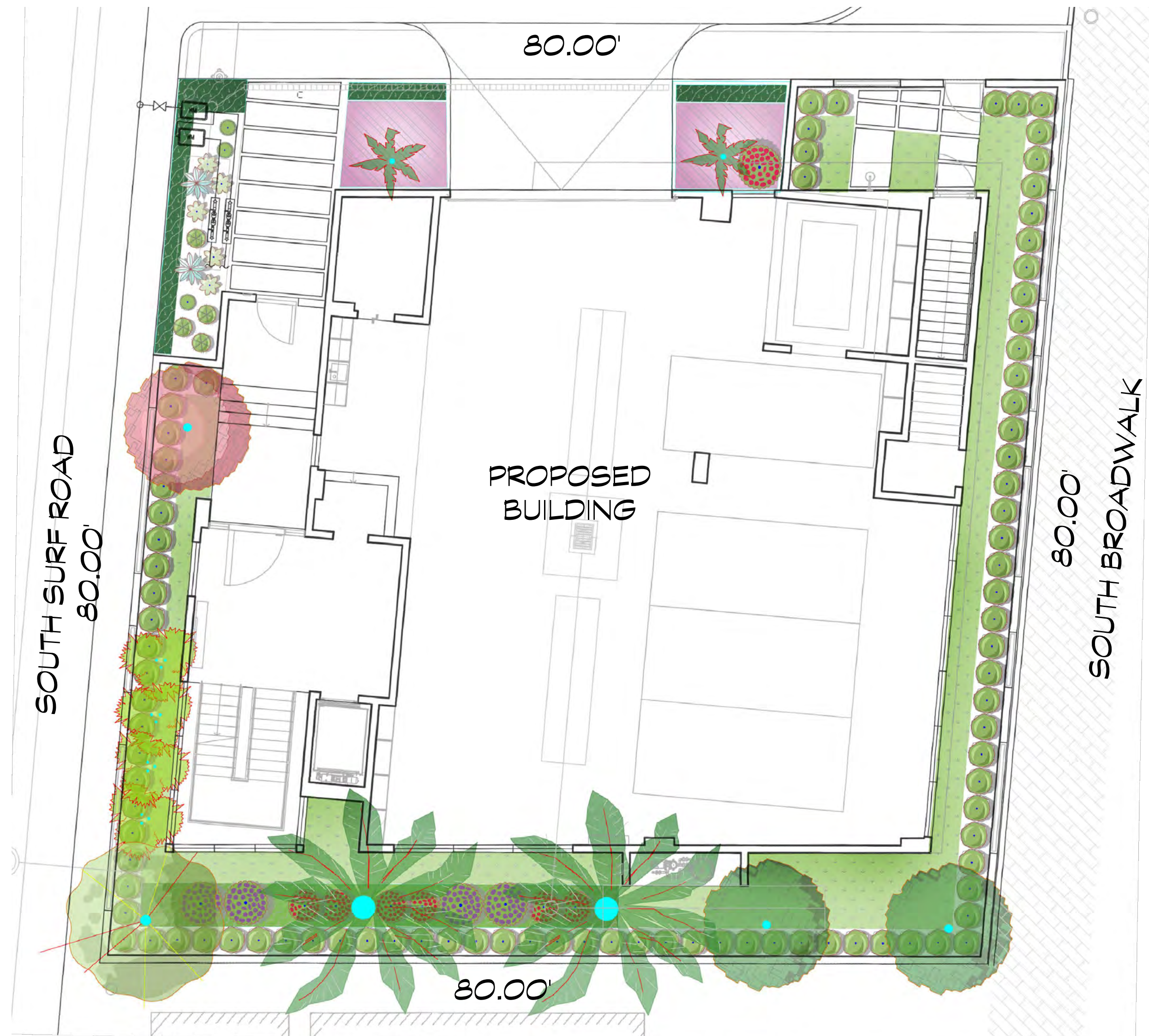
2700 E Oakland Park Blvd
Suite C
Fort Lauderdale
FL 33306
c (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE 1/8"=1'-0"
DESIGNED BY GF
DRAWN BY KM,GF
CHECKED BY GF
CAD DWG.
DATE 10.07.2024
REVISIONS
per City comments 11.23.2024
per City comments 12.18.2024
per City comments 02.10.2025

501 S Surf Rd Tr Grossman, Melissa M Trstee
HOLLYWOOD BEACH
FLORIDA 33019

LANDSCAPE PLAN, PLANT SCHEDULE, CODE CHART



JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.
Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.
Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

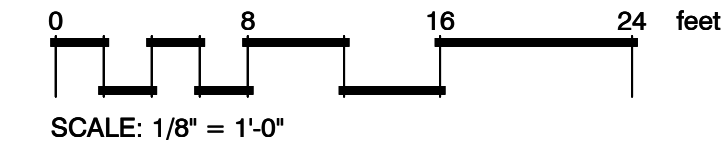
INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

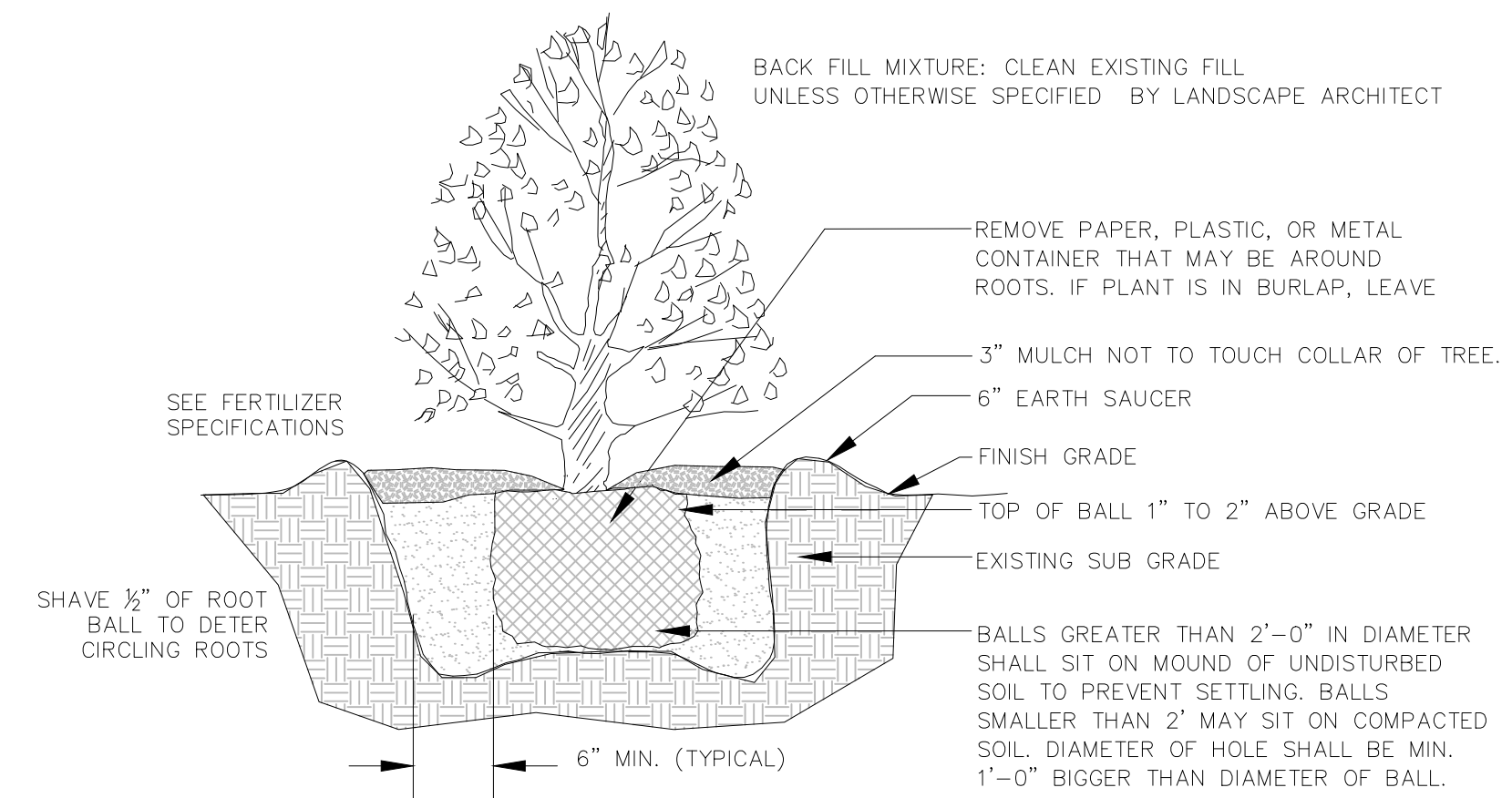
A COLORED PLAN
scale 1/8" = 1'-0"



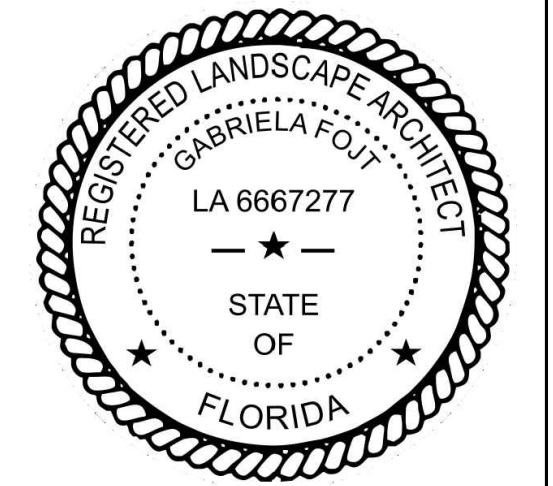
LANDSCAPE NOTES:

1. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS AND FREE FROM DISEASES, INSECTS EGGS, AND SHALL HAVE A HEALTHY NORMAL ROOT SYSTEM, FURNISHED IN THE MINIMUM SIZES INDICATED IN THE SCHEDULE. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT A WRITTEN PERMISSION FROM THE CITY OF HOLLYWOOD.
2. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER
3. ALL PLANTING SOIL AND TOP SOIL SHALL CONSIST OF 30% MUCK, 70% SAND, AND SHALL BE FREE OF HEAVY CLAY, COARSE SAND, ROCKS LARGER THAN 2", LUMPS, STICKS OR ANY OTHER DEBRIS.
4. FERTILIZER SHALL BE 12-12-12, 50% ORGANIC OR SLOW RELEASE NITROGEN.
5. TERRA-SORB OR APPROVED EQUAL SHALL BE PROVIDED ACCORDING TO MANUFACTURER'S RECOMMENDATION.
6. ALL PLANT MATERIALS EXCEPT TREES SHALL BE GUARANTEED FOR 180 DAYS AFTER THE COMPLETED PROJECTS IS ACCEPTED BY THE CITY. TREES SHALL BE GUARANTEED FOR ONE (1) YEAR.
7. CONTRACTOR SHALL CONFIRM PLANT QUANTITIES PRIOR TO BIDDING.
8. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE AREA AND PLANTS FOR 90 DAYS STARTING ON THE DATE OF SUBSTANTIAL COMPLETION.
9. MULCH SHALL BE EUCALYPTUS GRADE A OR BETTER, USE OF CYPRESS BARK MULCH IS PROHIBITED IN THE PUBLIC RIGHT-OF-WAY.
10. THE ESTABLISHMENT PERIOD SHALL BEGIN AT THE TIME OF ACCEPTANCE OF INSTALLATION OF PLANTING AND IRRIGATION, AND EXTEND FOR 90 DAYS PAST THAT DATE, AND SHALL INCLUDE THE FOLLOWING ACTIVITIES:
 - a. SUPPLY WATER IN SUFFICIENT AMOUNTS REQUIRED TO INSURE ESTABLISHMENT AND GOOD GROWTH FOLLOWING INDUSTRY STANDARDS. WATERING SCHEDULE MAY BE INTERRUPTED DURING PERIODS OF HEAVY RAINFALL (0.50" OR MORE PER DAY).
 - b. STRAIGHTEN TREES AND PALMS AS REQUIRED (INCLUDING RE-GUYING AND RE-STAKING AS REQUIRED).
 - c. WEEDING IS REQUIRED.
 - d. MOWING EVERY 21 DAYS.
 - e. MAINTAIN AND REPAIR IRRIGATION SYSTEM AS REQUIRED.
 - f. INSECT AND DISEASE CONTROL AS REQUIRED.
 - g. REMOVE STAKES AND GUYS AT THE END OF THE MAINTENANCE PERIOD.
11. ALL SOD AND LANDSCAPE SHALL RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
12. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.

13. ALL TREES AND PALMS SHALL BE PLANTED AT LEAST FIVE (5) FEET AWAY FROM ANY UNDERGROUND UTILITY LINE.
14. ALL TREES AND PALMS SHALL BE PLANTED AT LEAST SEVEN AND A HALF (7.5) FEET AWAY FROM ANY FIRE HYDRANT.
15. ANY SPECIES THAT ARE LISTED AS CATEGORY I AND II SPECIES ON THE MOST CURRENT 'FLORIDA EXOTIC PEST PLANT COUNCIL' LIST ARE PROHIBITED TO BE PLANTED ON PRIVATE PROPERTY OR ON CITY PROPERTY INCLUDING ROW AND SWALE AREAS. - SEC. 106.01
16. A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM SPECIES. SEC.3.5
17. STREET TREES: AT TIME OF INSTALLATION, SHADE TREES MUST BE A MINIMUM OF 12' OVERALL HEIGHT, APPROVED PALM TREES ARE TO HAVE A MINIMUM OF 8' CLEAR TRUNK (CT).
18. IDENTIFY ALL TREES TO REMAIN ON SITE WITH THE CORRESPONDING TREE PROTECTION AND PROTECTION BARRIERS. PROVIDE A TREE PROTECTION BARRIER DETAIL ON PLAN AS APPROVED BY CITY OF HOLLYWOOD. OUTLINE THE TREE PROTECTION BARRIER TO SCALE AROUND EACH TREE/PALM TO REMAIN ON PLAN.
19. PROVIDE A RECENT TREE SURVEY TO SHOW THE EXISTING TREES ON SITE AND IN SWALE AREAS.
20. SHOW ALL TREES ON SITE TO SCALE, SUPERIMPOSE EXISTING TREES ON PROPOSED SITE PLAN. THE TREE LEGEND MUST INCLUDE THE TREE NUMBER, COMMON NAME, BOTANICAL NAME, DBH, OVERALL HEIGHT, SPREAD, CONDITION, AND DISPOSITION (TO REMAIN, TO BE RELOCATED, TO BE REMOVED). SHOW ALL CANOPY INCLUDING CROWNS OF TREES FROM ADJACENT LOT LOCATED WITHIN 10' FROM PROPERTY LINE.
21. PROVIDE SIGHT TRIANGLES ON PLANS AT INTERSECTION OF DRIVEWAY AND PROPERTY LINE.
22. NATIVE PLANT REQUIREMENTS; 60% TREES, 50% SHRUBS - SEC. 3.4.
23. LABEL ALL SIDES OF PROPERTY WEATHER THERE ARE 'EXISTING OVERHEAD POWERLINES' OR 'NO OVERHEAD POWERLINES'. PROVIDE FPL APPROVED TREES FOR PLANTING UNDER POWERLINES.
24. TREE REMOVAL DISCLAIMER: WRITE THIS STATEMENT ON ALL SHEETS FOR EXISTING/PROPOSED LANDSCAPE: 'TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD.'
25. ABOVE GROUND EQUIPMENT: WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING.
26. NO TREE REMOVALS ALLOWED WITHOUT AN APPROVED CITY OF HOLLYWOOD TREE REMOVAL PERMIT.
27. FOR BUILDING PERMITS; NO TREE REMOVAL OR PLANTING ALLOWED WITHOUT AN APPROVED SUB-PERMIT.
28. EQUIPMENT (DUMPSTERS, ELECTRICAL TRANSFORMERS, ETC. WITH THE EXCEPTION OF FIRE HYDRANTS) MUST BE SCREENED ON AT LEAST THREE SIDES BY LANDSCAPE MATERIAL A MINIMUM OF 30 INCHES TALL. LANDSCAPING MUST NOT INTERFERE WITH THE NORMAL OPERATION OF THE EQUIPMENT.
29. IF YOU ARE PLANNING A PROJECT ON YOUR PROPERTY THAT INVOLVES DIGGING, SUCH AS INSTALLING A MAILBOX, FENCES, PLANTING TREES, ETC., YOU ARE ENCOURAGED TO CALL 811 A FEW DAYS BEFORE YOU START TO MAKE SURE YOU DO IT SAFELY. UTILITY COMPANIES WILL MARK BURIED LINES SO THAT YOU CAN DIG SAFELY AROUND THEM. VISIT CALL811.COM FOR DETAILS.



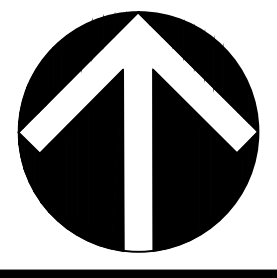
SHRUB PLANTING DETAIL



The Mirror of Paradise

Gabriela Fojt
LA 6667277
ISA FL-10207A

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Suite C
Fort Lauderdale
FL 33306
c (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE	as noted
DESIGNED BY	GF
DRAWN BY	KM,GF
CHECKED BY	GF
CAD DWG.	
DATE	10.07.2024
REVISIONS	
per City comments	11.23.2024
per City comments	12.18.2024
per City comments	02.10.2025

501 S Surf Rd Tr Grossman, Melissa M Trstee
HOLLYWOOD BEACH
FLORIDA 33019
COLORED PLAN & NOTES

Reviews:

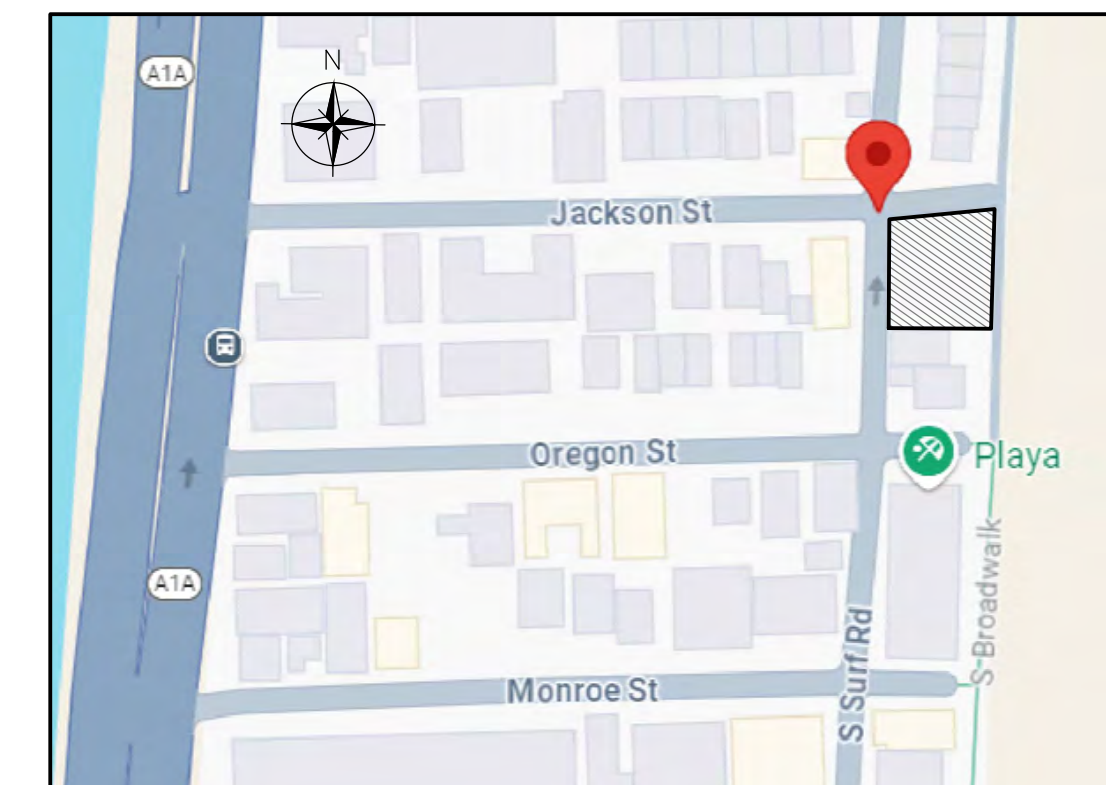
Client: 501 S. SURF RD TRUST
 Project: 501 S SURF RD RESIDENCE
 SOUTH SURF ROAD, HOLLYWOOD, FLORIDA

Plan Description: **EROSION CONTROL PLAN**

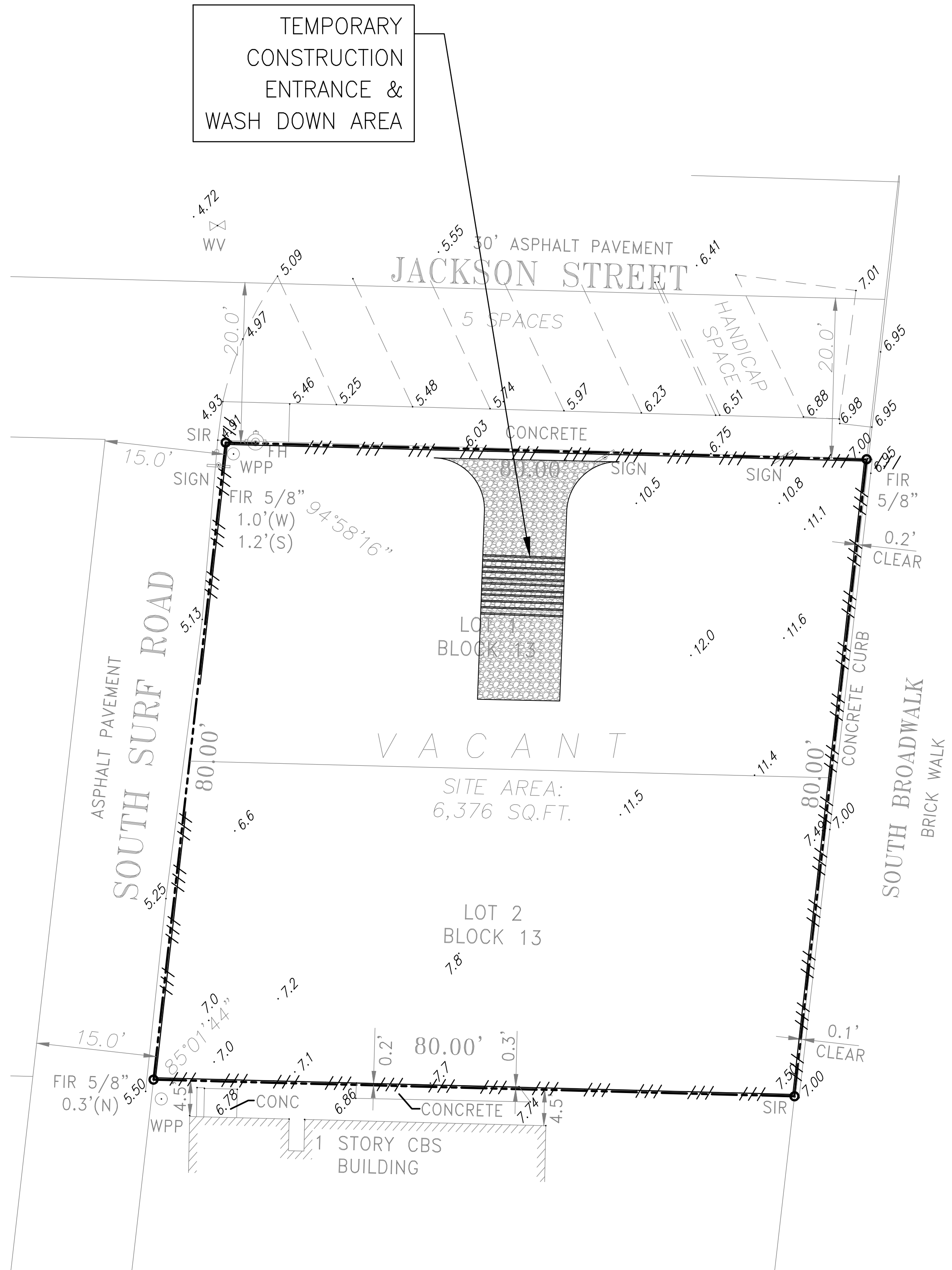
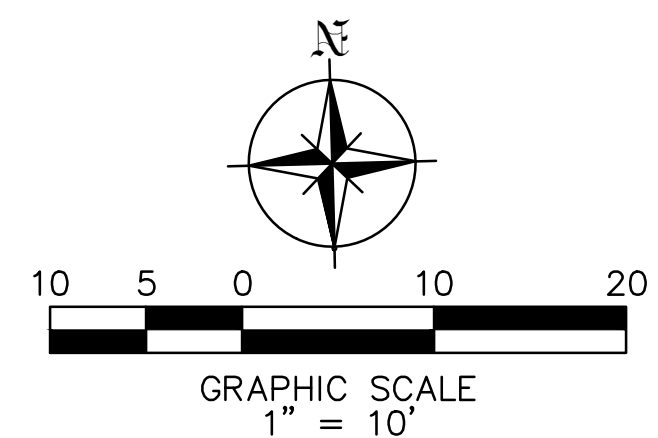
Seal: JORGE SZAUER
 FLA. REG. P.E. # 62579

Designed by: JORGE M. SZAUER
 Drawn by: JJANSE
 Revised & Sealed: JORGE M. SZAUER
 Date: SEPTEMBER 2024
 Scale: AS SHOWN
 Job No:

Sheet: **C-02**
 of Sheets



LOCATION MAP
 N.T.S.



GENERAL EROSION & SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND / OR GRADING SHALL BE PERMITTED.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL DENUDED / BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS / GRAIN VARIETIES, STRAW / HAY MULCH WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND / OR VEGETATED IMMEDIATELY, AND NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND / OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS / EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- GENERAL CONTRACTOR IS TO DESIGNATE / IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- WHEN INSTALLATION OF SILT FENCE IS PERFORMED, THE CONTRACTOR SHALL STABILIZE THE DISTURBED AREA ALONG THE DOWNWARD SLOPE BY SEEDING OR MULCHING AS CONDITIONS WARRANT.

BMP MAINTENANCE EROSION NOTES

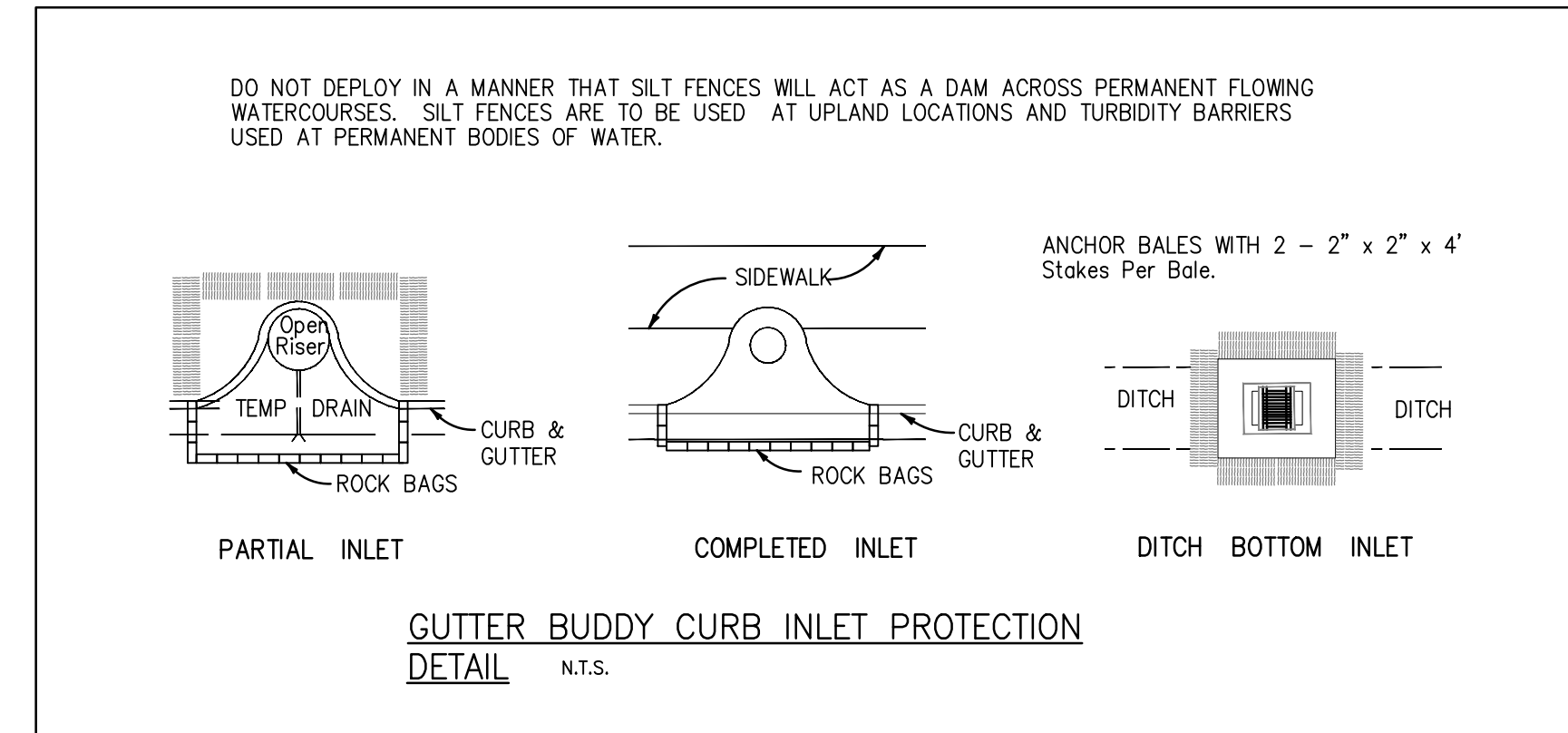
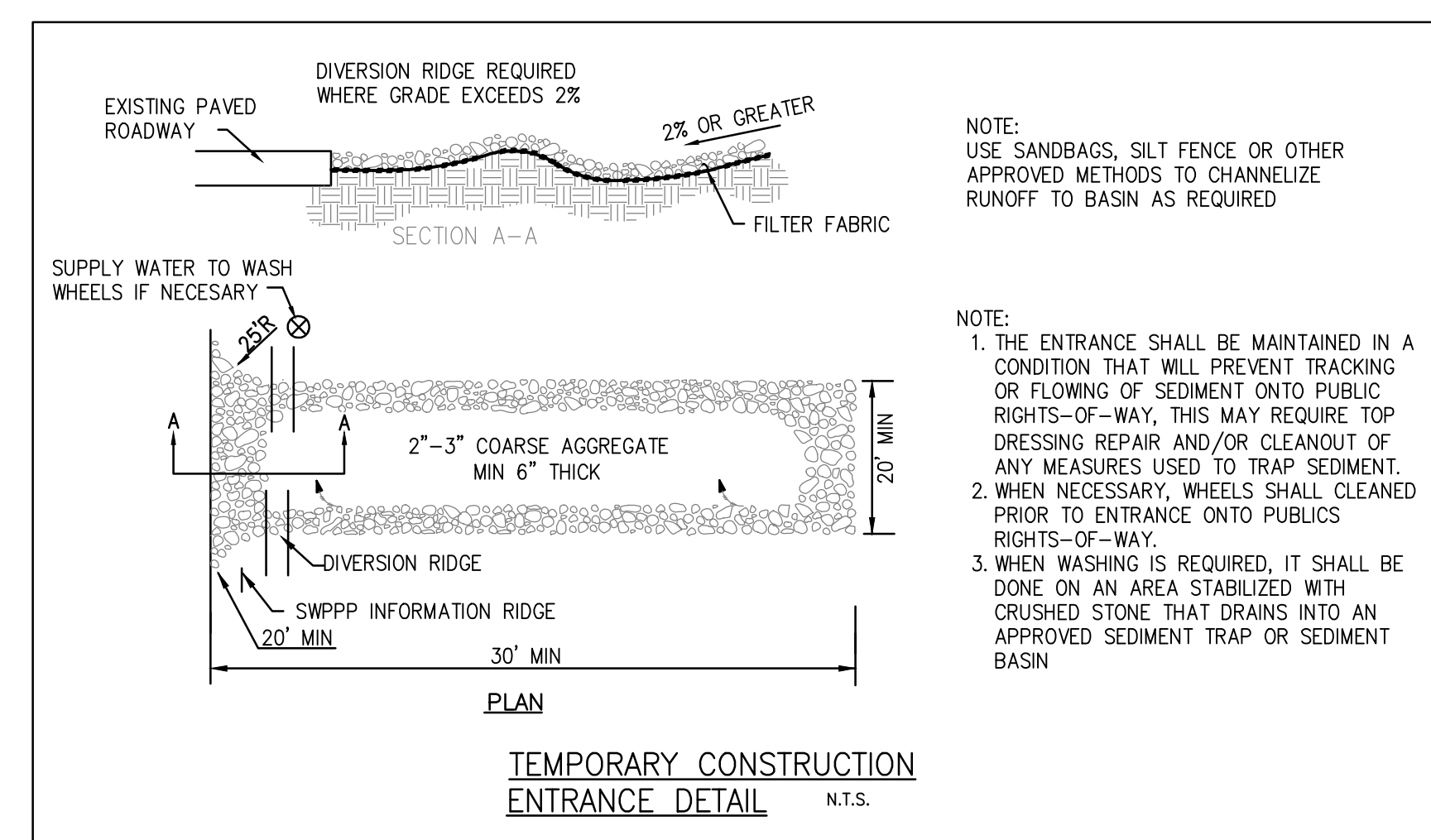
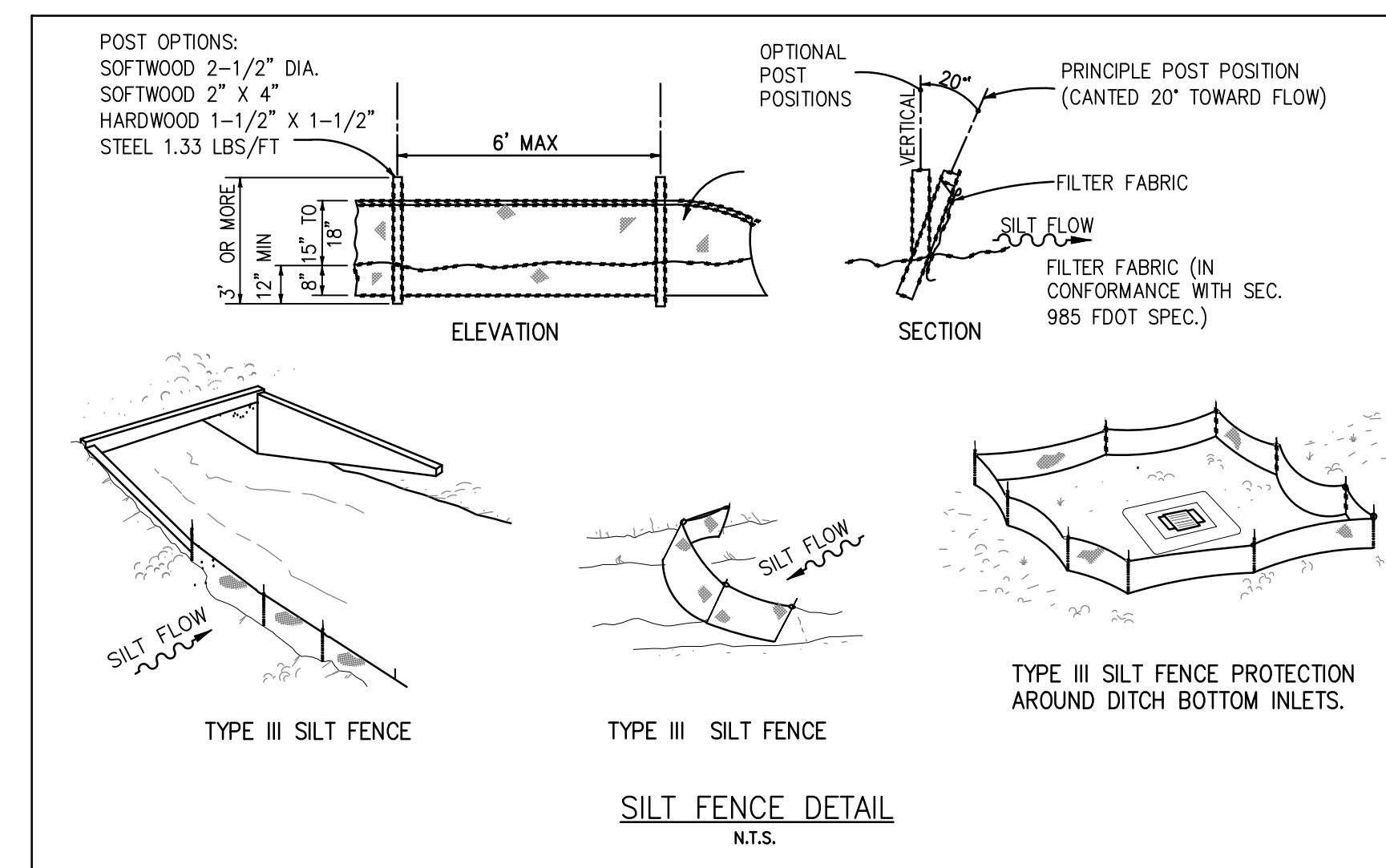
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED \ SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED \ RESODDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- OUTLET STRUCTURES SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS, AND DEBRIS AND / OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

WASHING AREAS

VEHICLES SUCH AS CEMENT OR DUMP TRUCKS AND OTHER CONSTRUCTION EQUIPMENT SHOULD NOT BE WASHED AT LOCATIONS WHERE THE RUNOFF WILL FLOW DIRECTLY INTO A WATERCOURSE OR STORMWATER CONVEYANCE SYSTEM. SPECIAL AREAS SHOULD BE DESIGNATED FOR WASHING VEHICLES. THESE AREAS SHOULD BE LOCATED WHERE THE WASH WATER WILL SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND, OR WHERE RUNOFF CAN BE COLLECTED IN A TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHOULD HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.

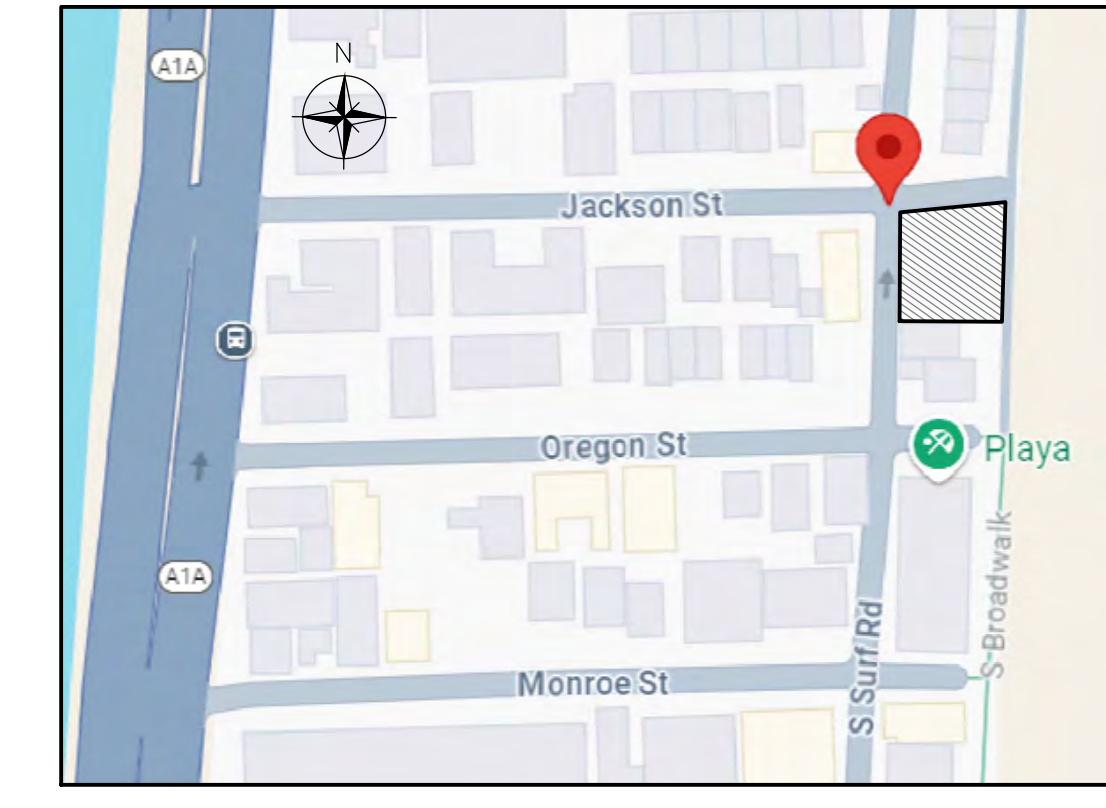
SYMBOLS LEGEND

- PROPERTY LINE/LIMITS OF DISTURBANCE
- /// PROPOSED SILT FENCE

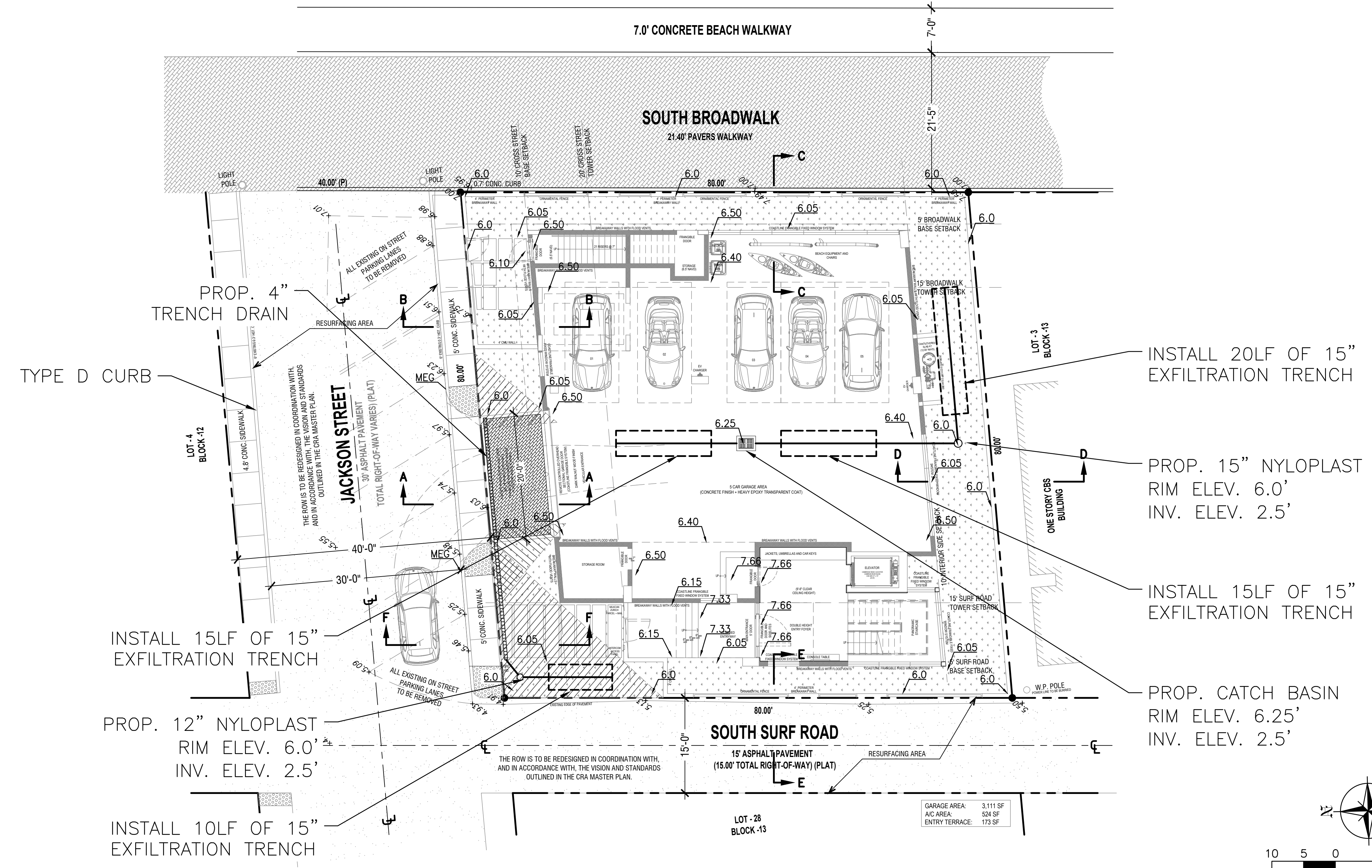


CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT INTRUSION INTO STORM WATER INLETS DURING CONSTRUCTION, WHEN APPLICABLE.

This item has been digitally signed and sealed by Jorge Szauer, PE. On February 18, 2025. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



LOCATION MAP
 N.T.S.

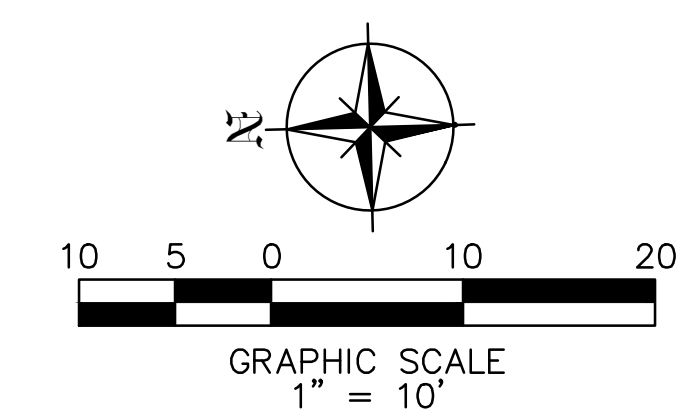


NOTES:

- CONCRETE:** CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ.FT AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.
- PAVERS:** PAVES DRIVEWAYS REQUIRE A MINIMUM 2 3/8TH INCH PAVERS PLACED OVER A 1-1/2 INCH SAND BASE AND COMPACTED SUBBASE. IN ADDITION TO A MINIMUM 6-INCH EDGE RESTRAINT (CONCRETE BORDER) IS REQUIRED AROUND PERIMETER TO INTERLOCK PAVERS. THE DRIVEWAY IS TO BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

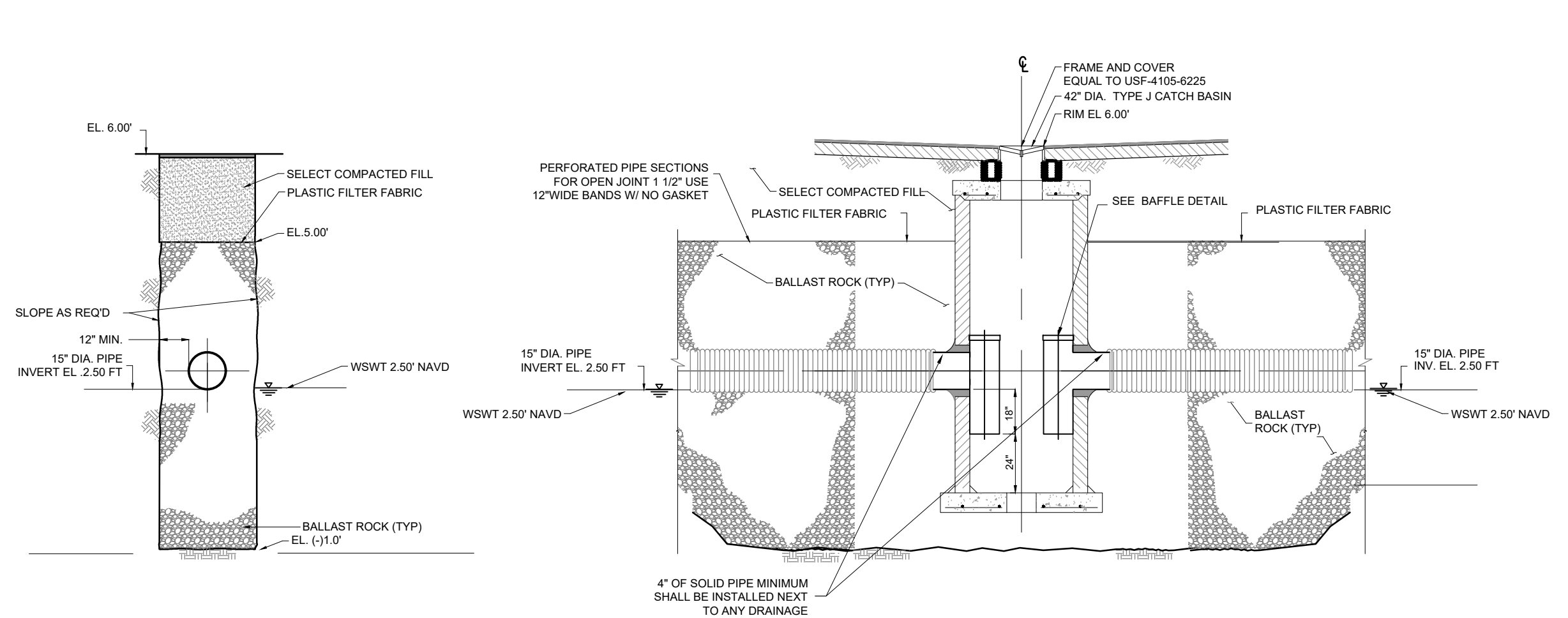
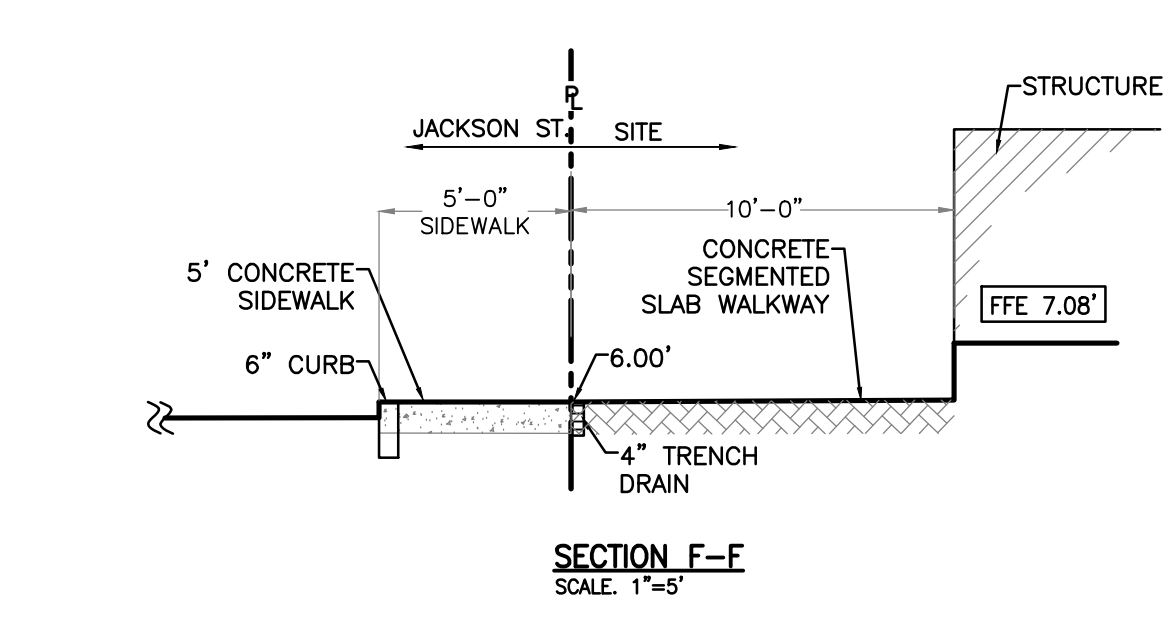
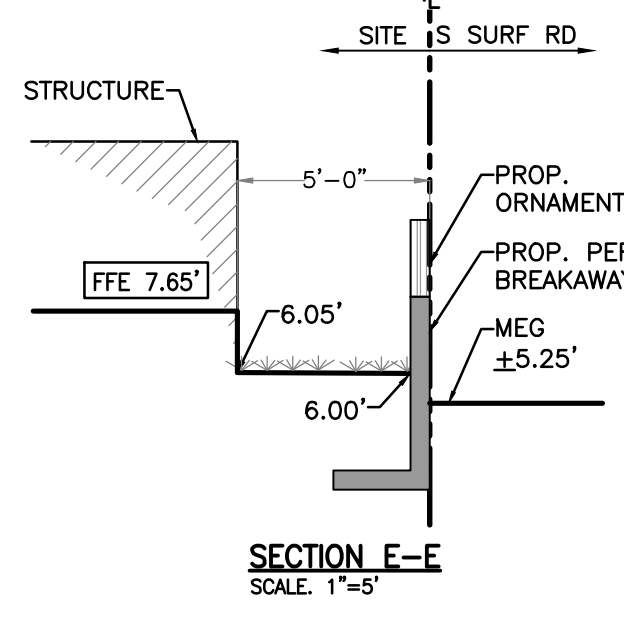
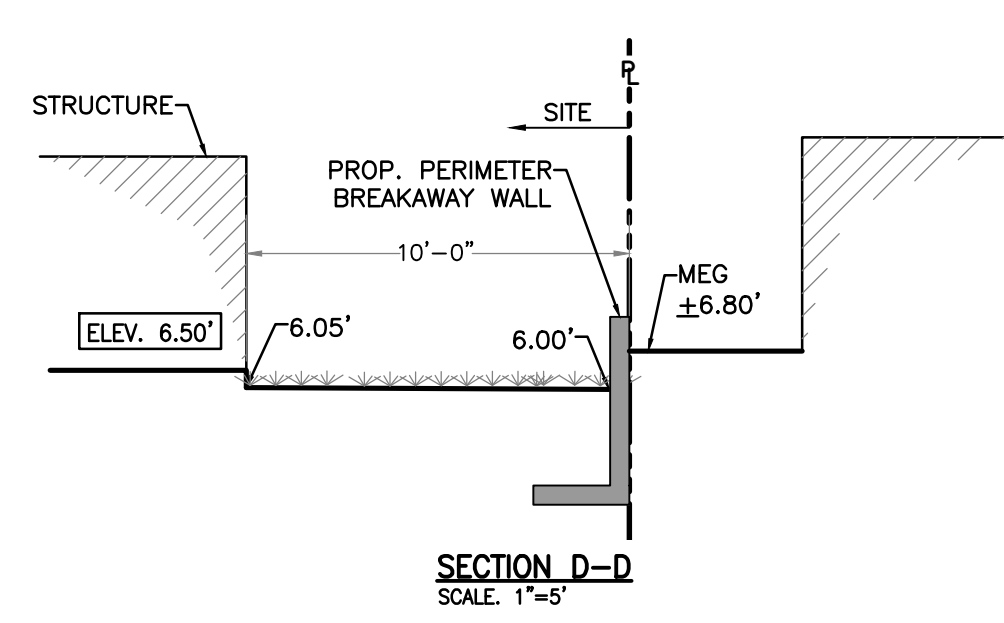
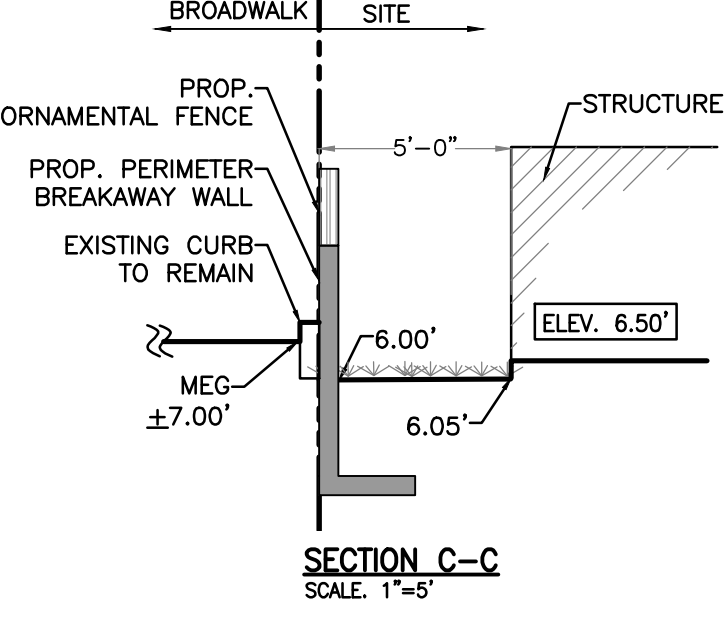
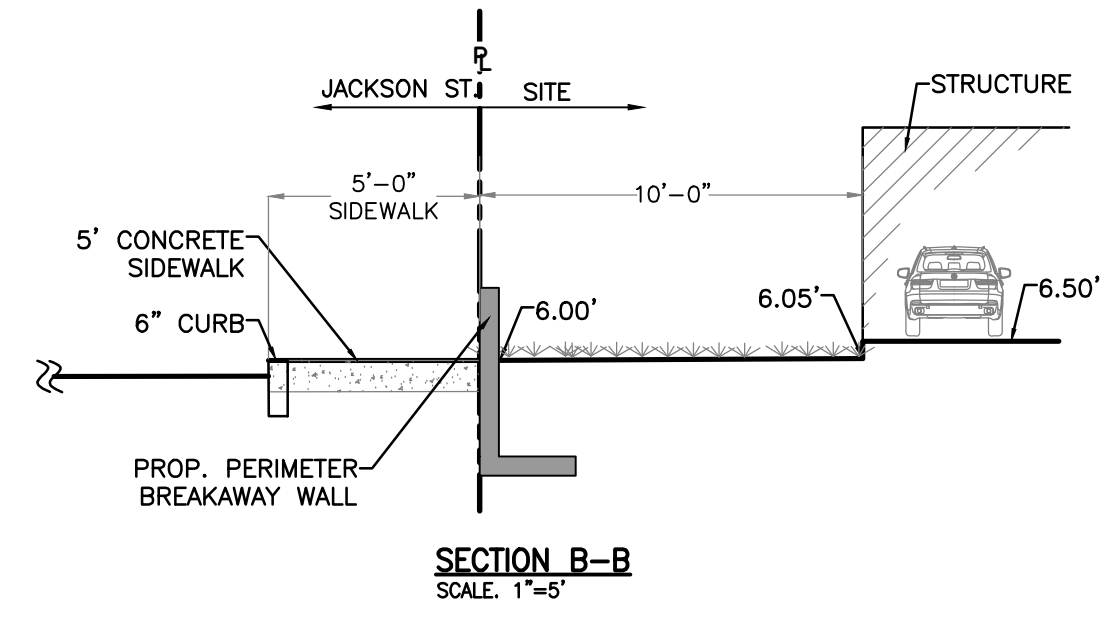
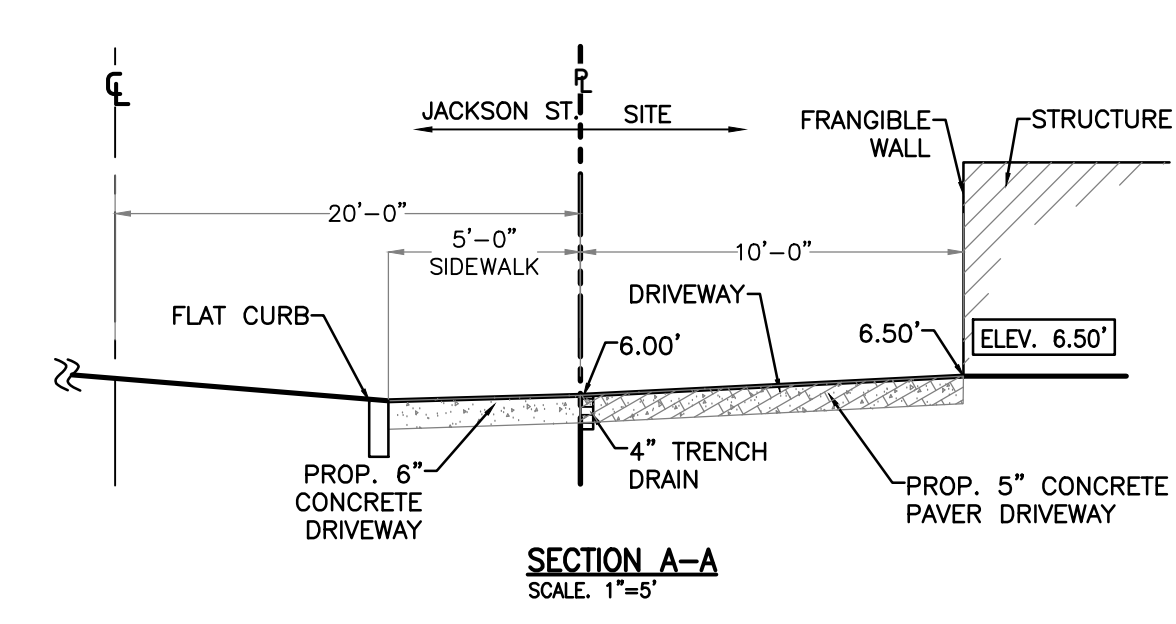
NOTE:
 ROOF DRAIN TO BE CONNECTED TO PROPOSED STORMWATER DRAINAGE SYSTEM

ALL ELEVATIONS ARE RELATIVE TO THE NAVD 88 DATUM



LEGEND

- PROPERTY LINE
- + 4.50 EXISTING ELEVATION
- + 7.50 PROP. GRADING ELEVATION
- MEG MATCH EXISTING GRADE
- GRASS



EXFILTRATION TRENCH DETAIL
 SCALE: N.T.S.

This item has been digitally signed and sealed by Jorge Szauer, PE. On February 18, 2025. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

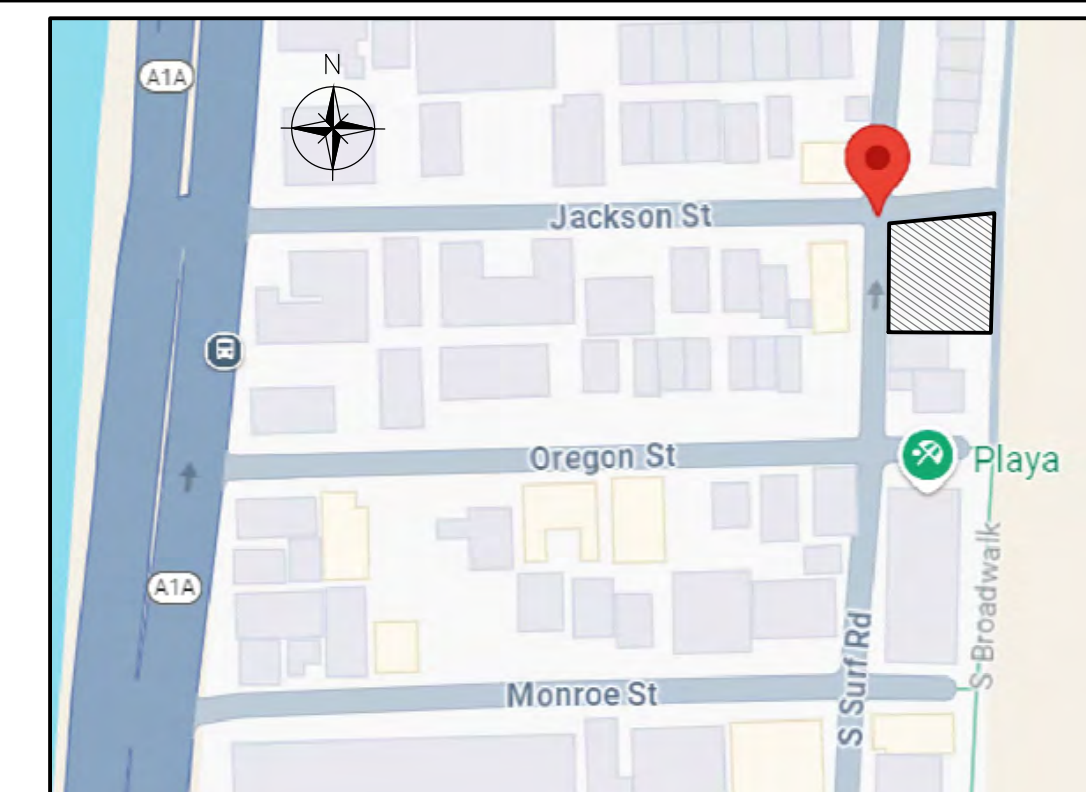
Client: 501 S. SURF RD TRUST
 Project: 501 S SURF RD RESIDENCE

Plan Description:
PAVING, GRADING & DRAINAGE

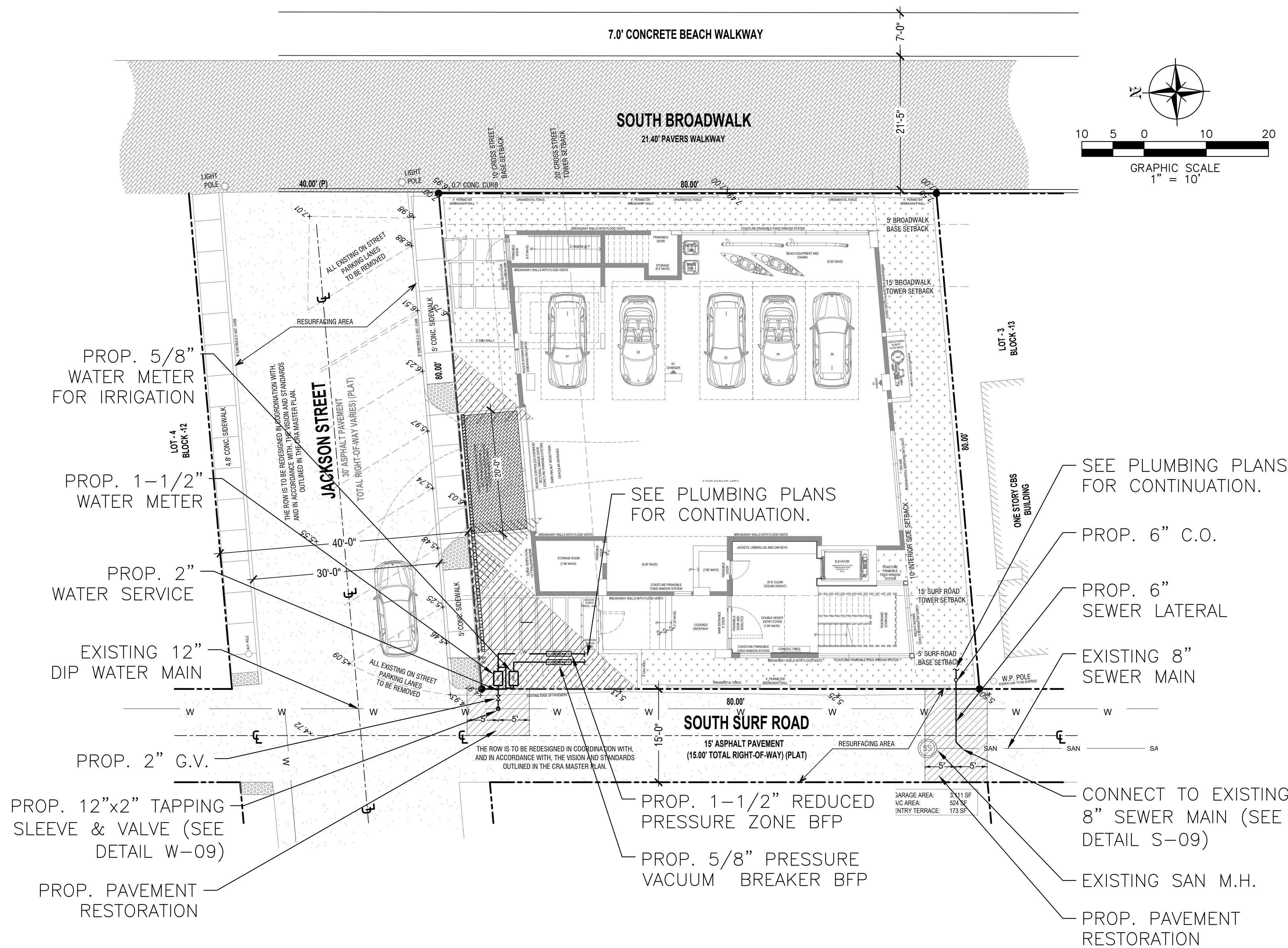
Seal:
 JORGE SZAUER
 FLA. REG. P.E. # 62579

Designed by: JORGE M. SZAUER
 Drawn by: JJANSE
 Revised & Sealed: JORGE M. SZAUER
 Date: SEPTEMBER 2024
 Scale: AS SHOWN
 Job #: _____

Sheet:
C-03
 of _____ Sheets

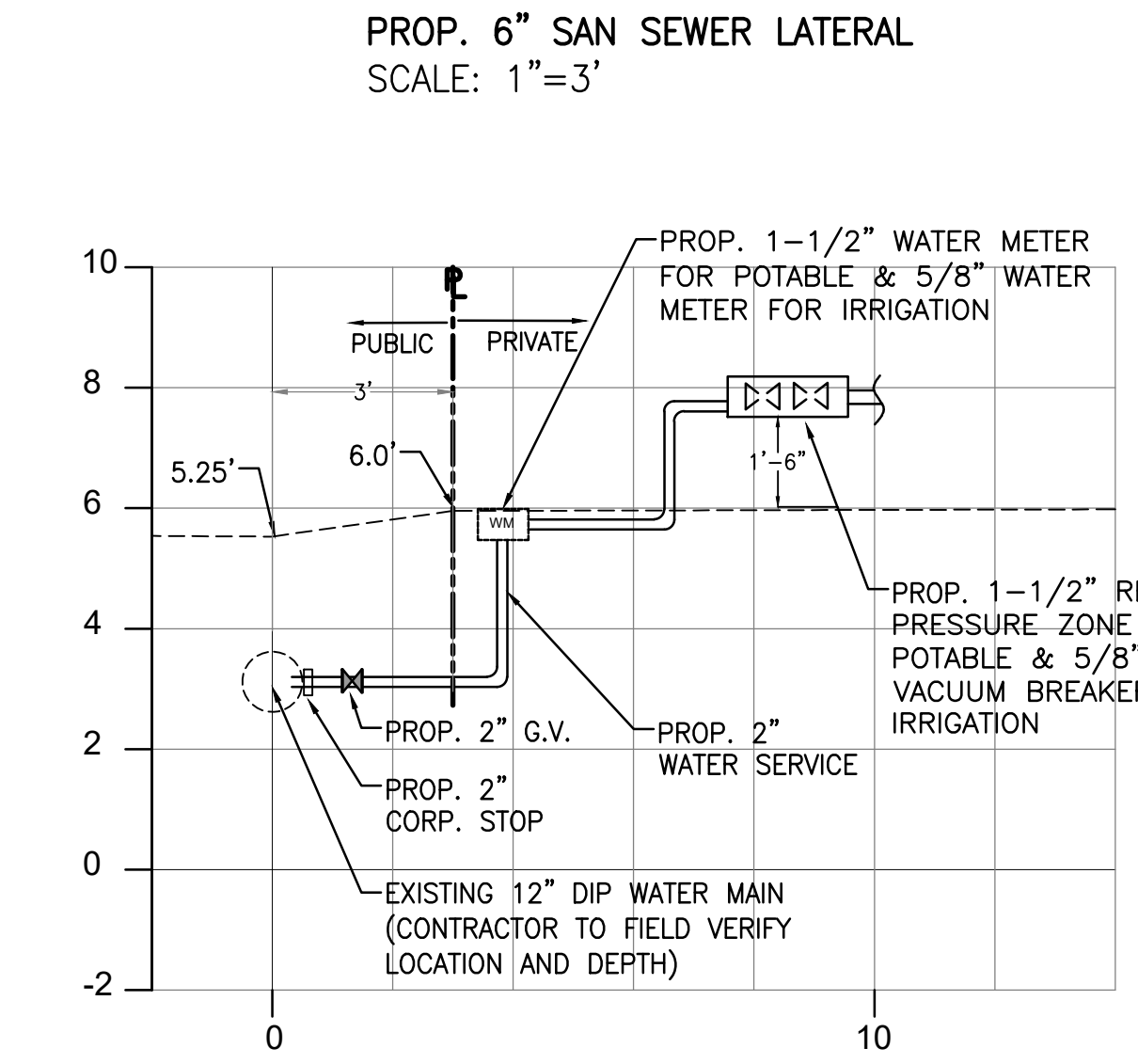
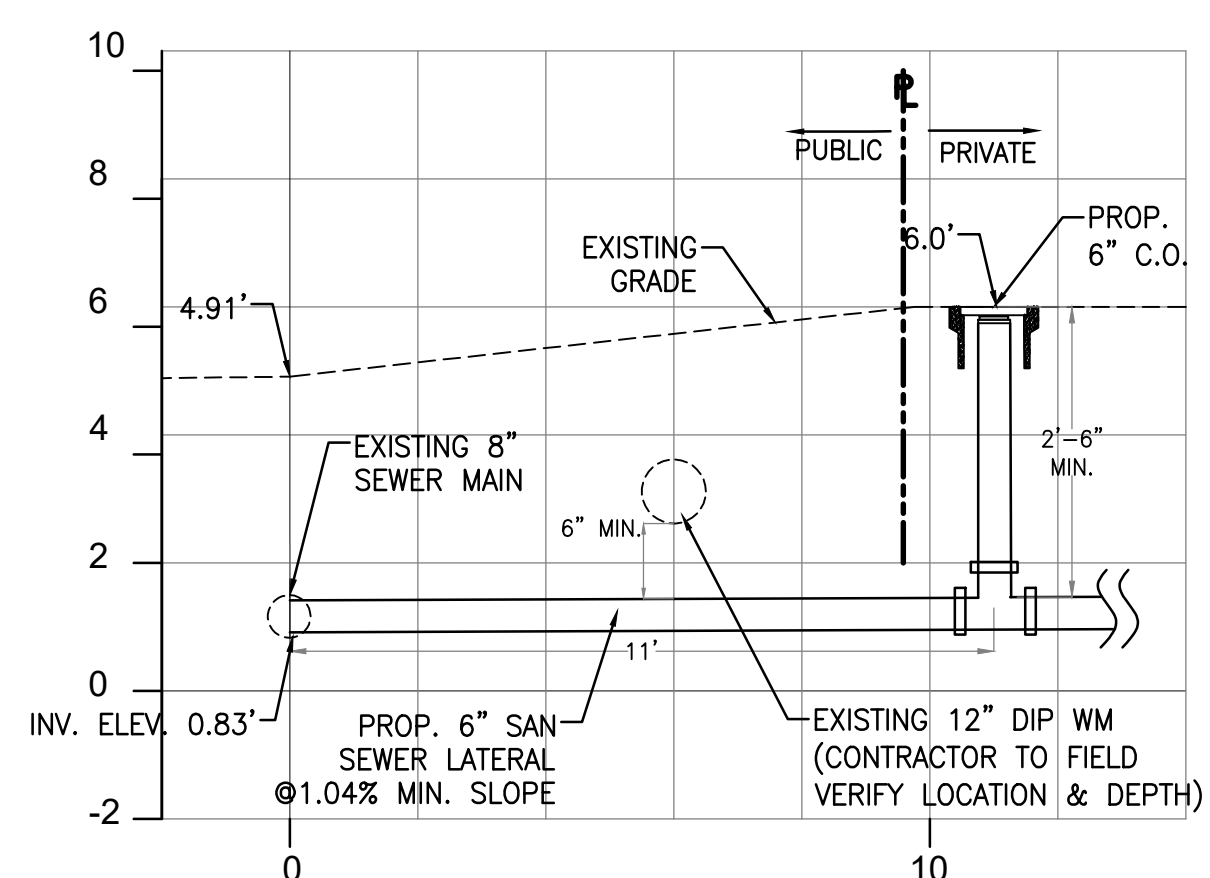
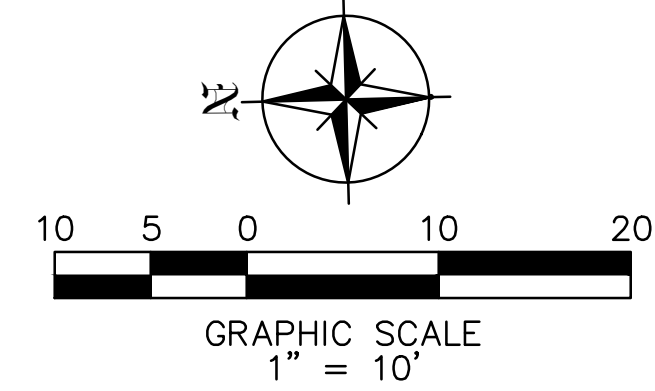


LOCATION MAP
N.T.S.

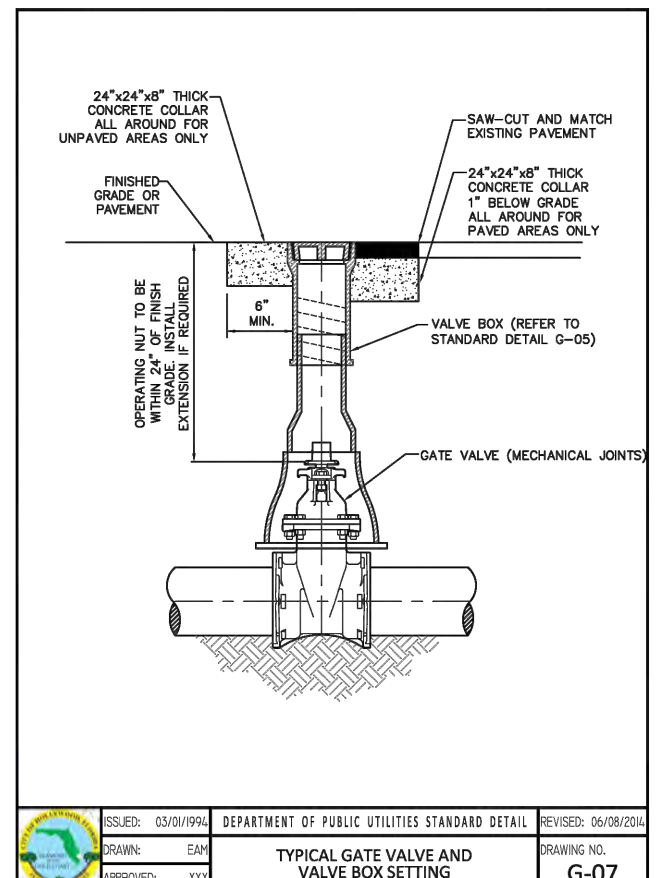
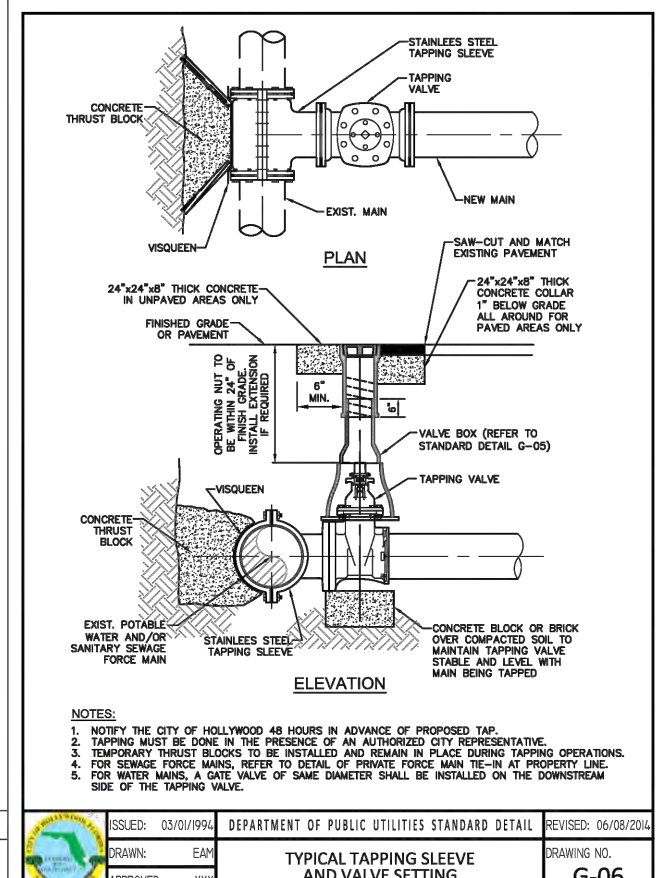
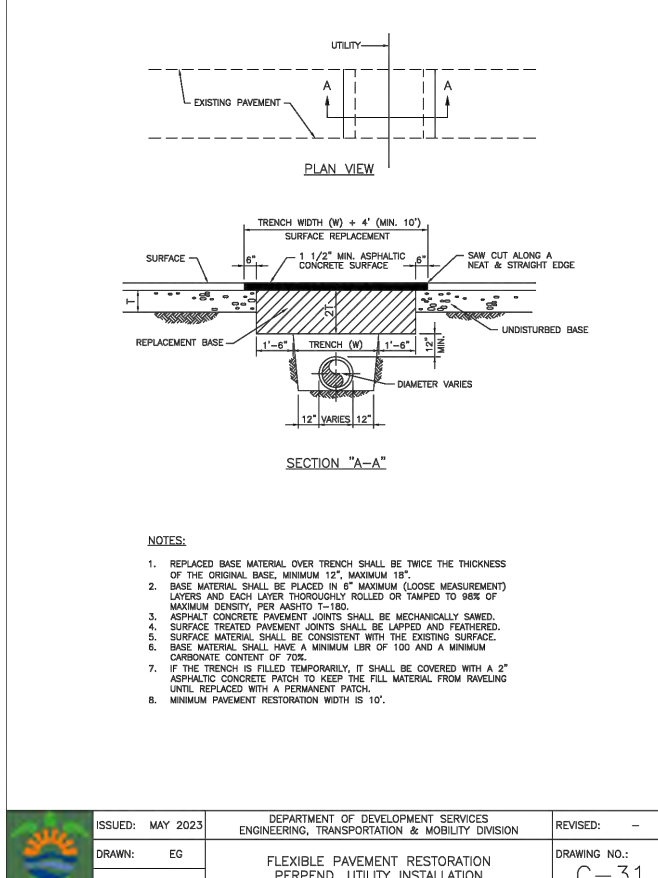
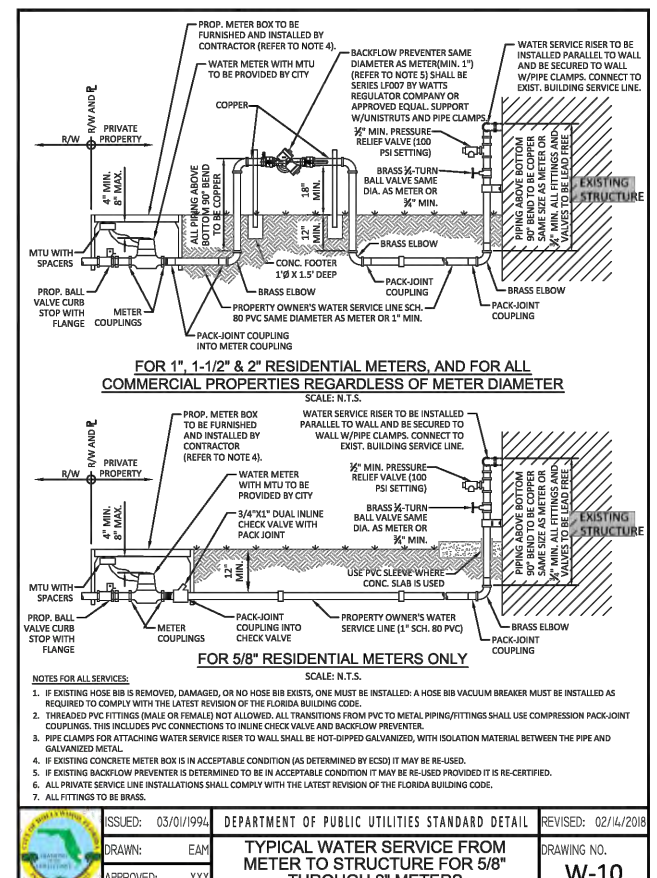
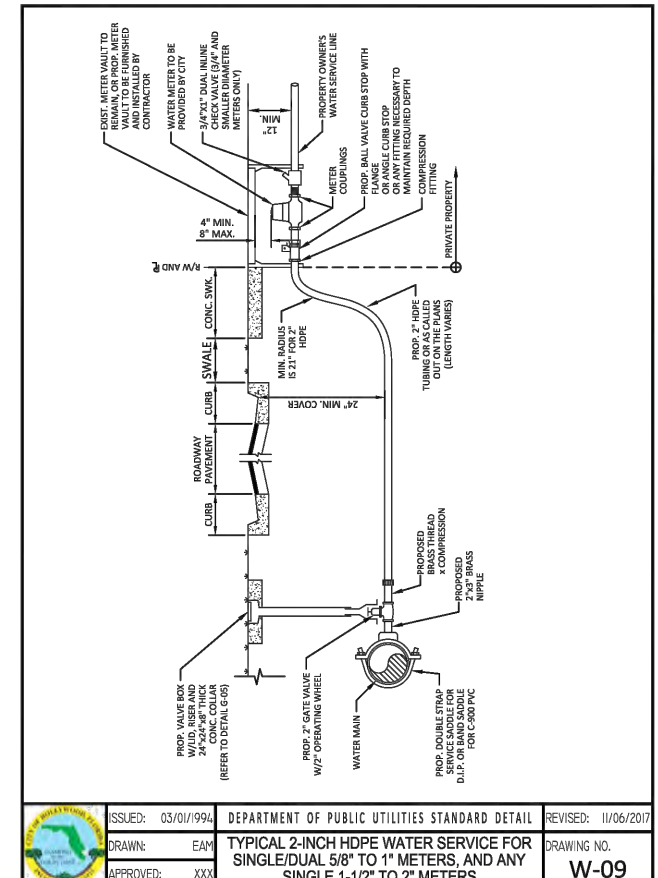
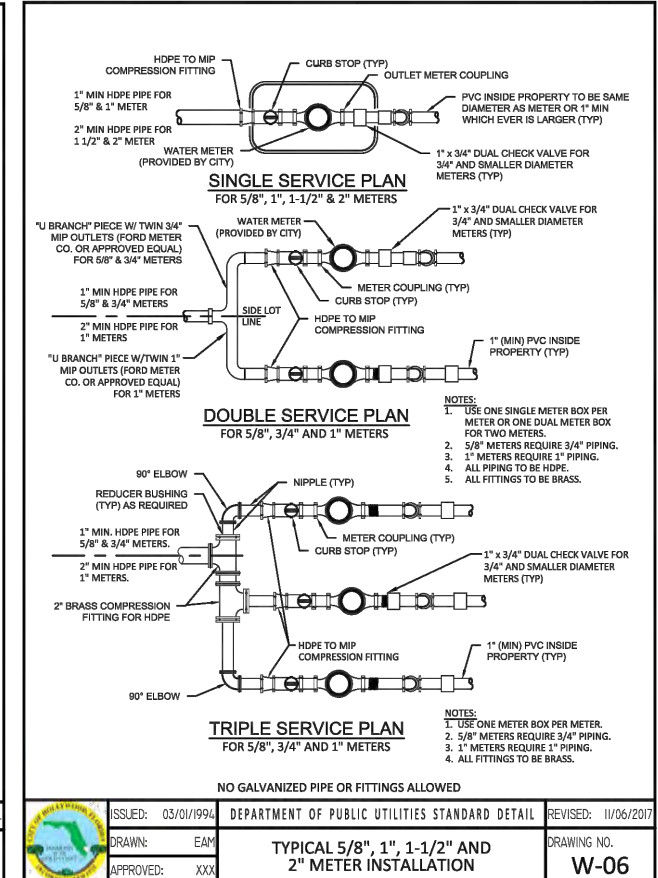
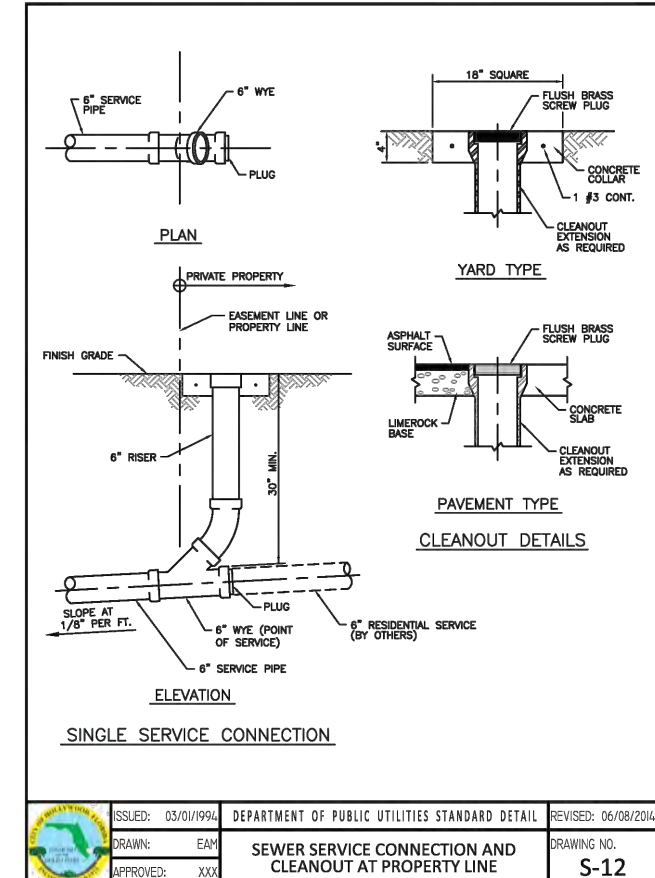
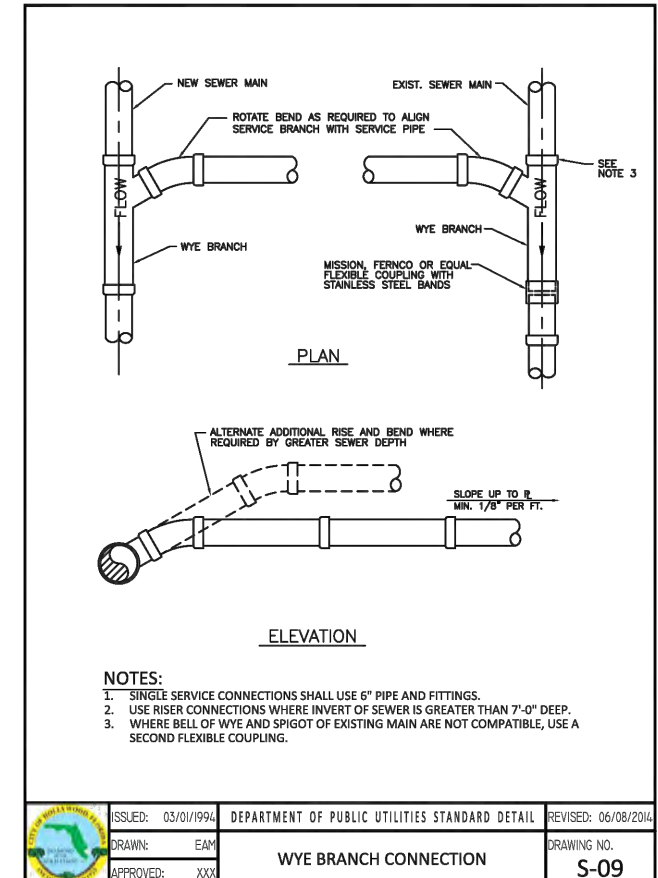


LEGEND

- PROPERTY LINE
- [Dotted Pattern] GRASS
- [Hatched Pattern] PAVEMENT RESTORATION



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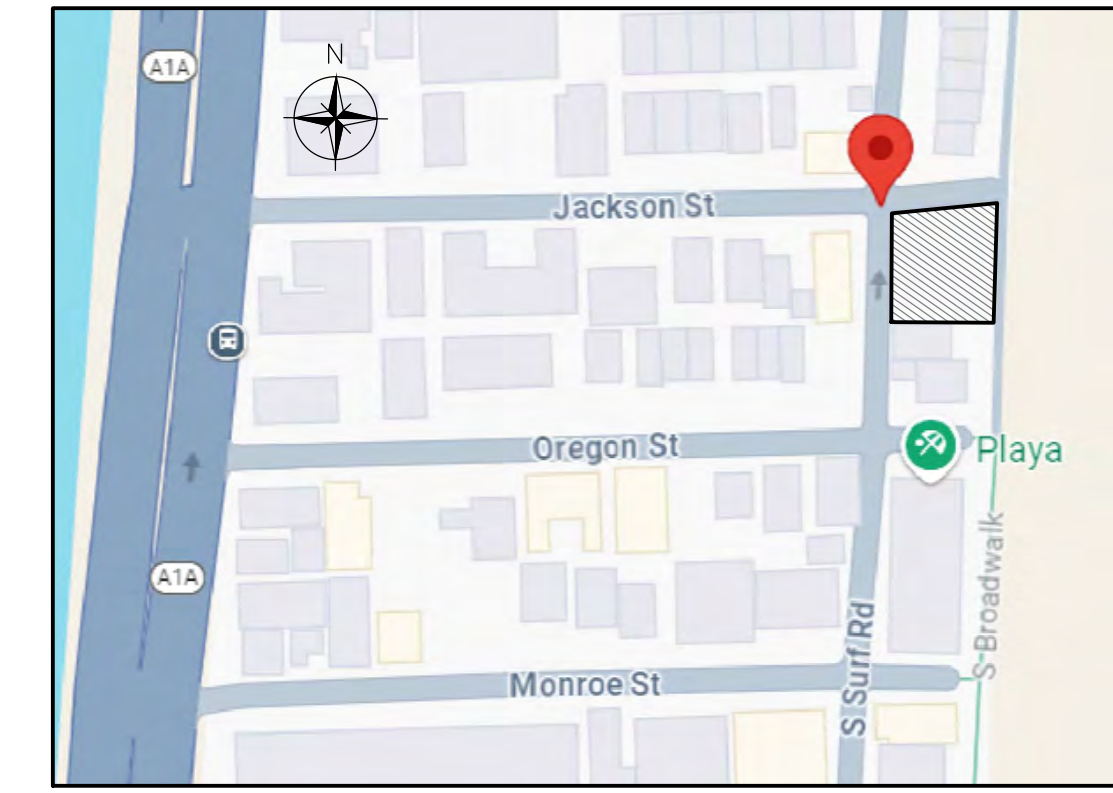
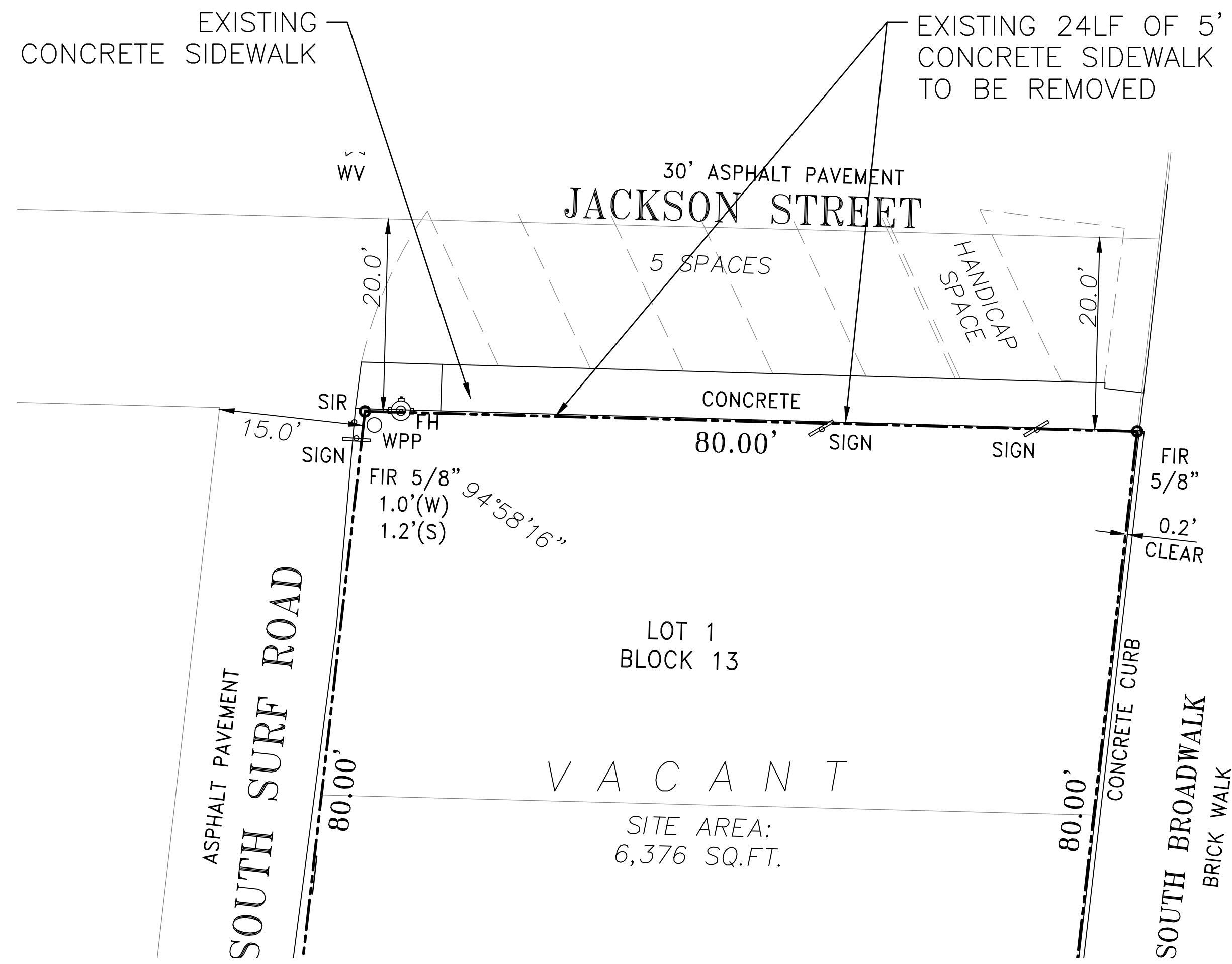


Reviews:

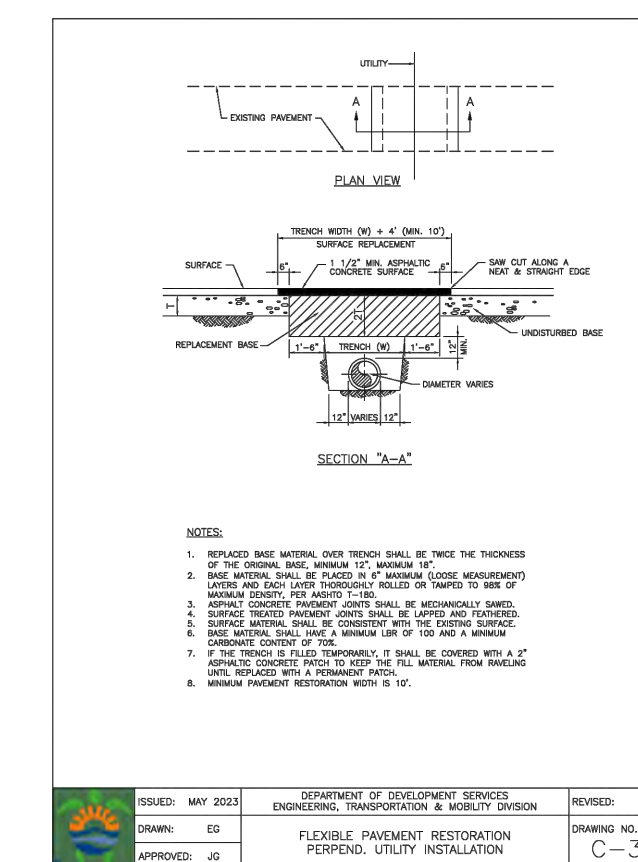
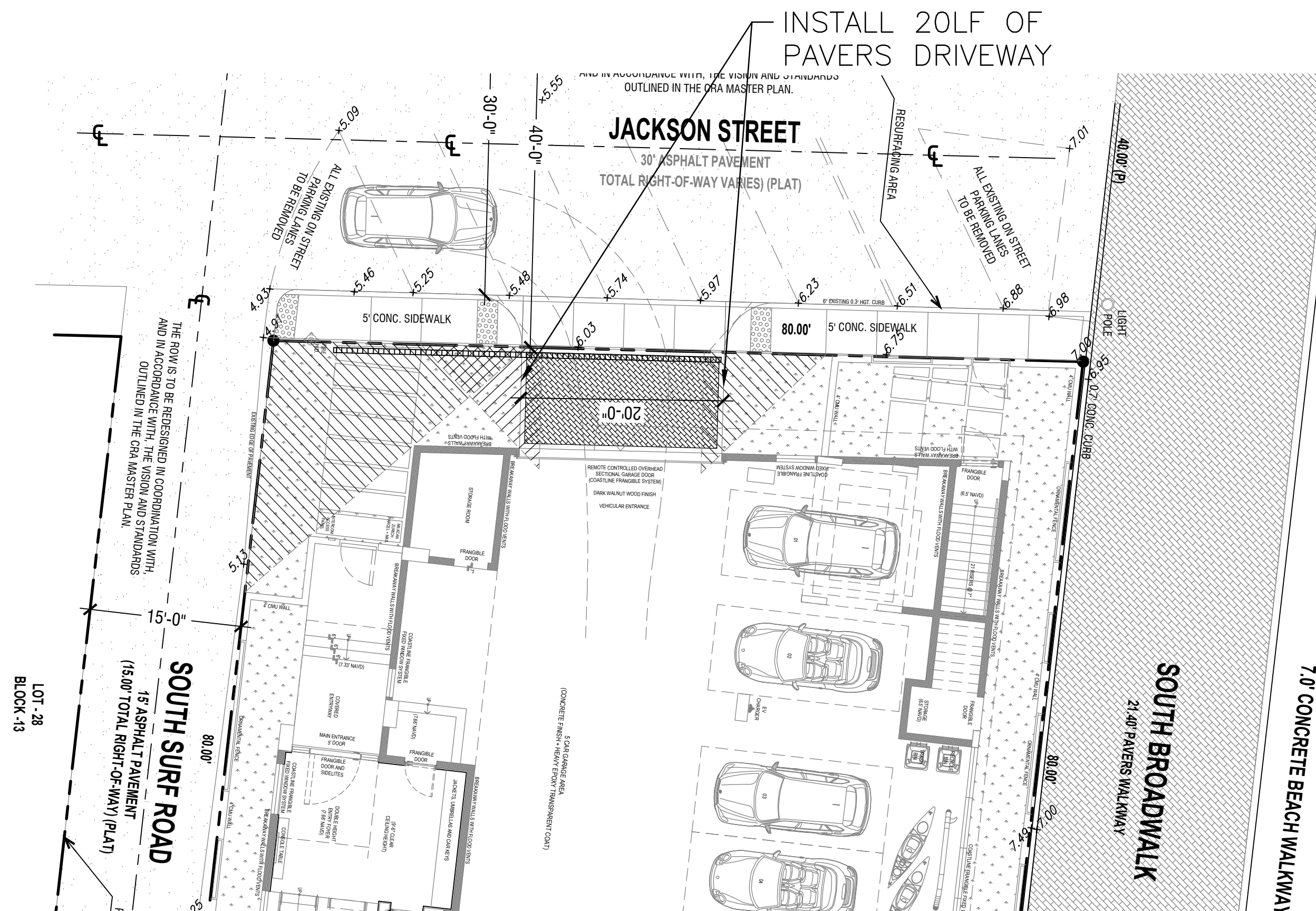
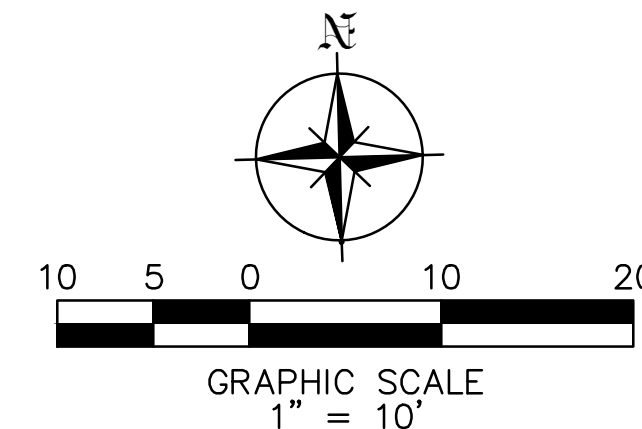
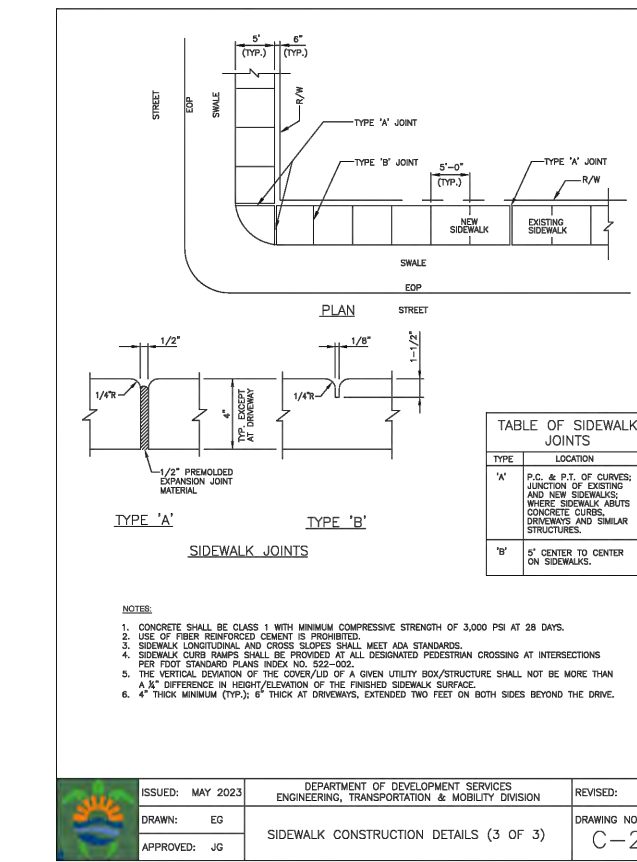
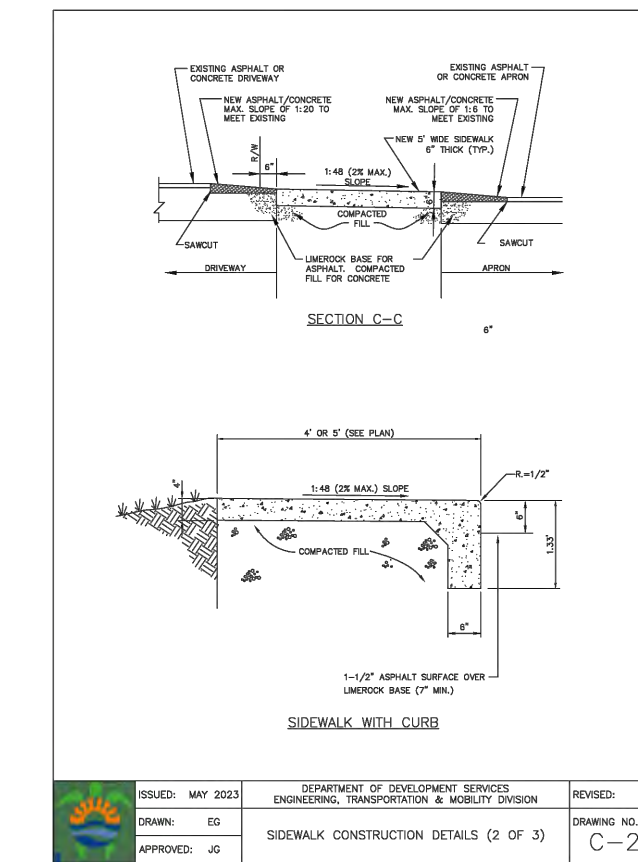
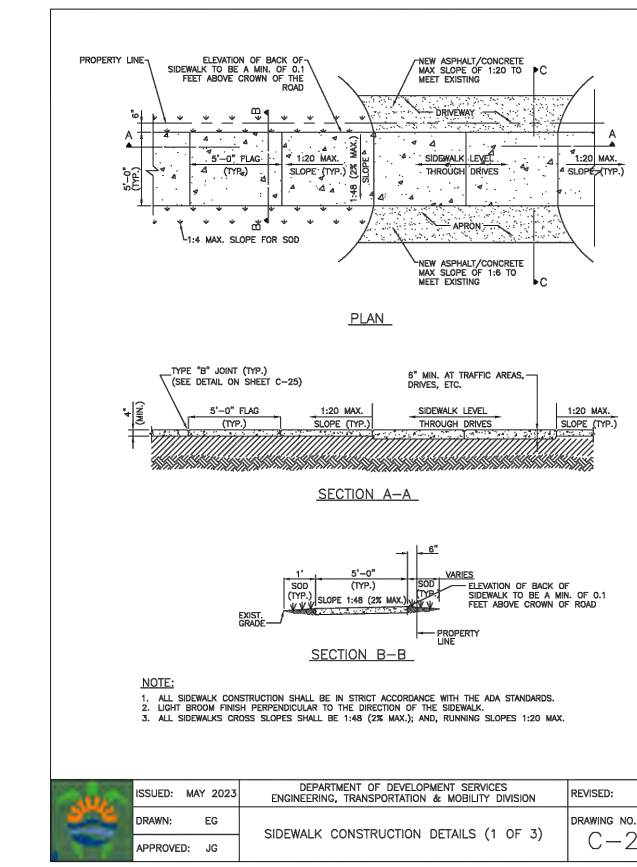
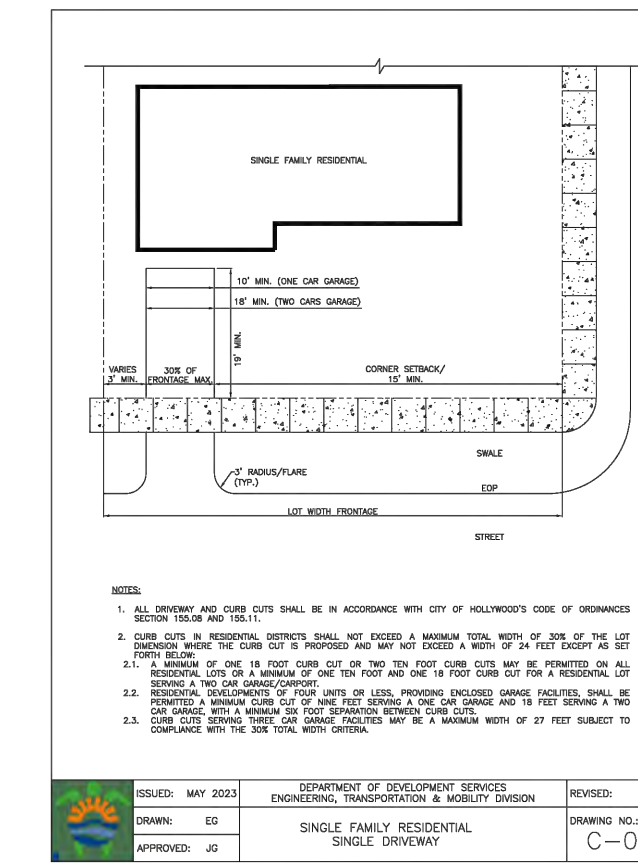
Client: 501 S. SURF RD TRUST
 Project: 501 S SURF RD RESIDENCE
 SOUTH SURF ROAD, HOLLWOOD, FLORIDA

Plan Description: UTILITIES

Designed by: JORGE M. SZAUER
 Drawn by: JJANSE
 Reviewed & Sealed: JORGE M. SZAUER
 Date: SEPTEMBER 2024
 Scale: AS SHOWN
 Job No.:
 Sheet: C-04



LOCATION MAP
N.T.S.



LEGEND

- PROPERTY LINE
- GRASS

This item has been digitally signed and sealed by Jorge Szauder, PE. On February 18, 2025.
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Szauder Engineering
Civil Engineers
7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number: 30129

Reviews:

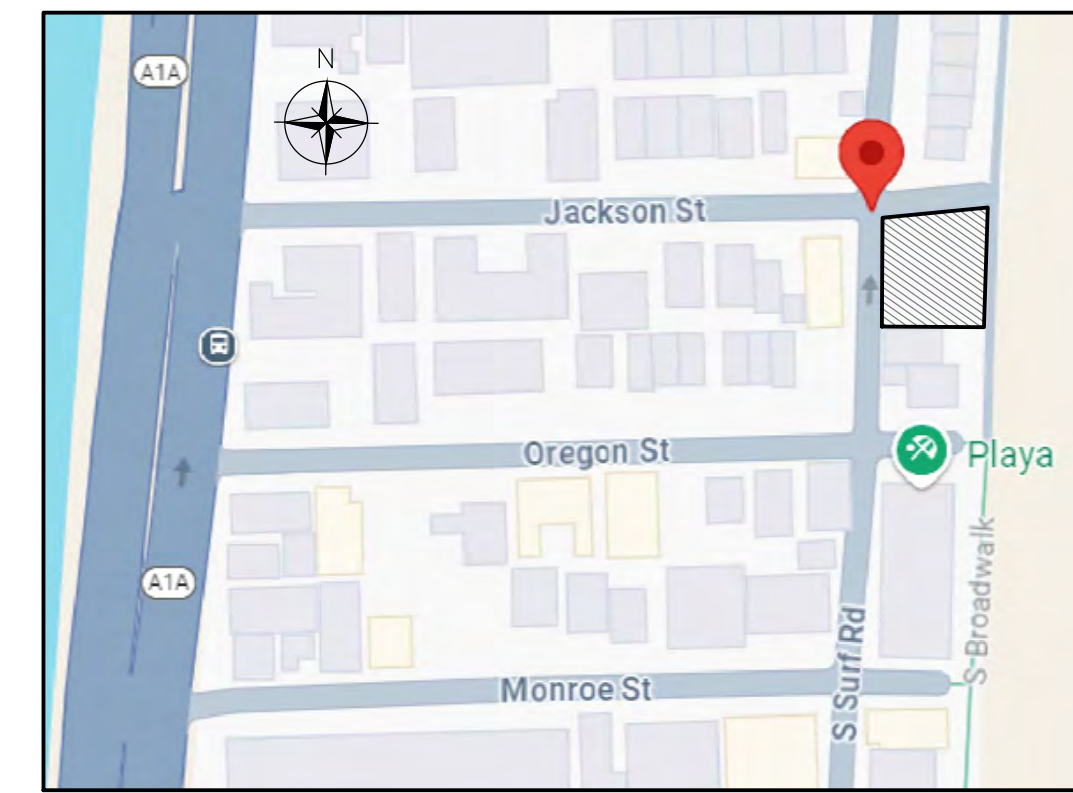
Client: 501 S. SURF RD TRUST
Project: 501 S SURF RD RESIDENCE
SOUTH SURF ROAD, HOLLYWOOD, FLORIDA

Plan Description:
ROADWAY PLAN

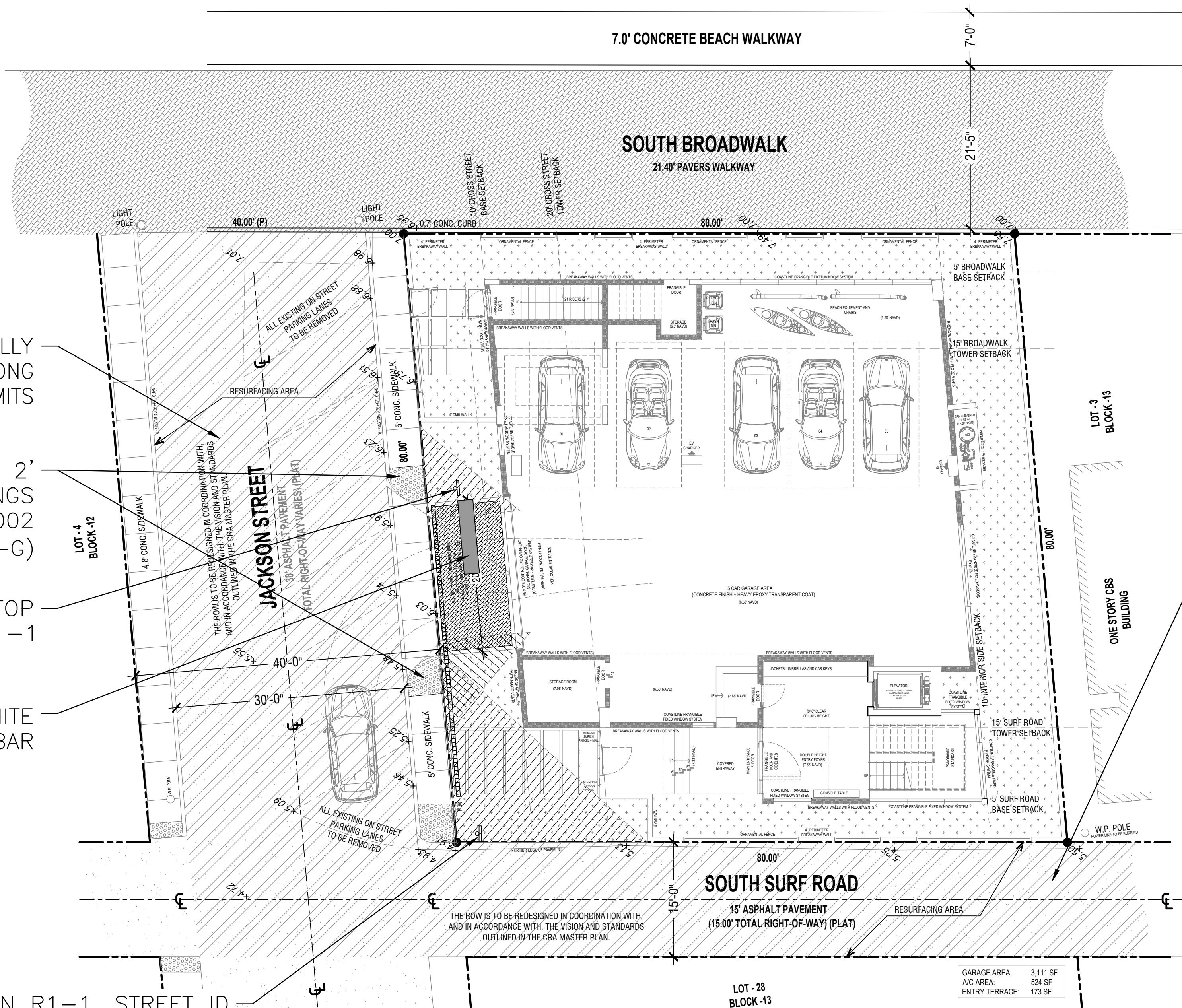
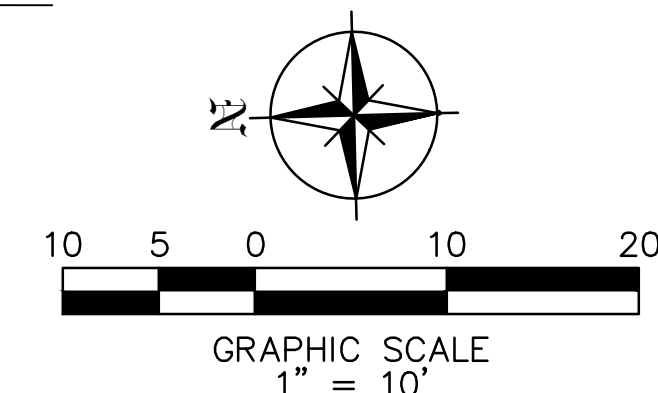
Seal:
JORGE SZAUDER
FLA. REG. P.E. # 62579

Designed by: JORGE M. SZAUDER
Drawn by: JIANSE
Reviewed & Sealed: JORGE M. SZAUDER
Date: SEPTEMBER 2024
Scale: AS SHOWN
Job No:

Sheet:
C-05
of Sheets



LOCATION MAP
N.T.S.



JACKSON ST SHALL BE FULLY MILLED & RESURFACED ALONG THE ENTIRE PROPERTY LIMITS

PROP. ADA RAMP W/ 2' DETECTABLE WARNINGS PER FDOT 522-002 (TYPE CR-G)

PROP. STOP SIGN R1-1

PROP. 24" WHITE STOP BAR

EXISTING STOP SIGN R1-1, STREET ID (JACKSON ST), STREET ID (S SURF RD) AND ONE WAY SIGN RELOCATED OUTSIDE ASPHALT PAVEMENT

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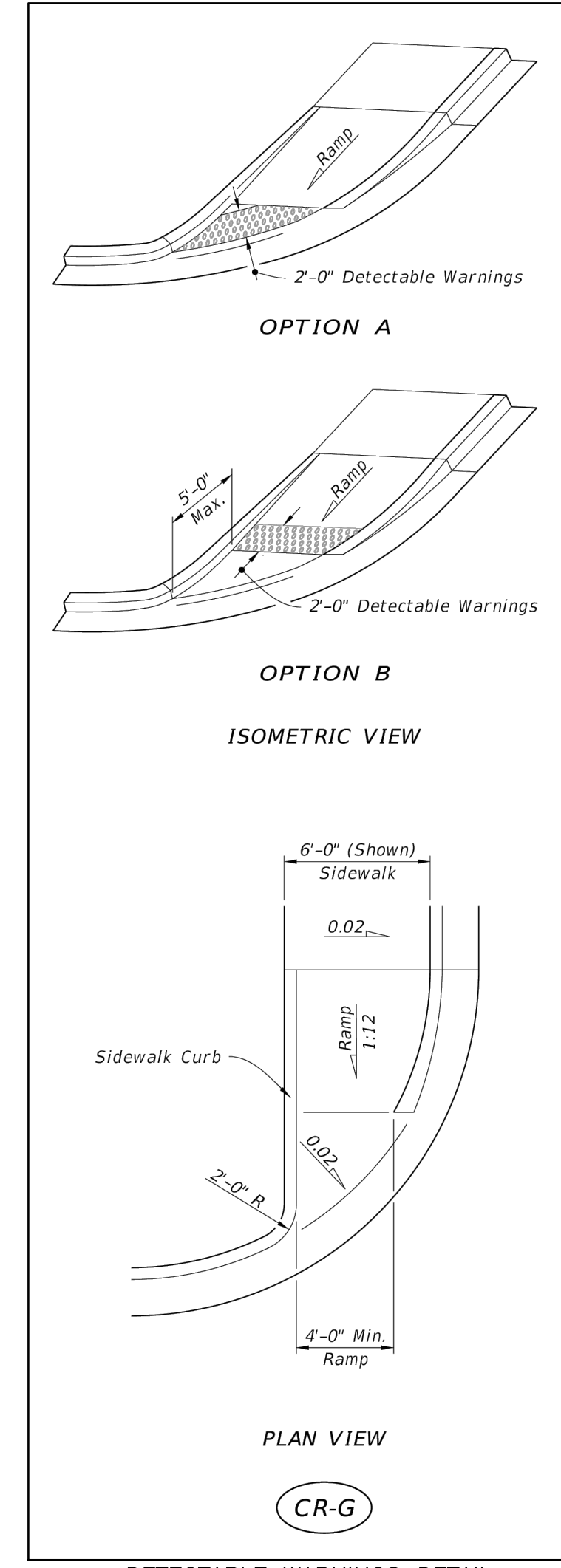
LEGEND

- PROPERTY LINE
- GRASS
- MILL & RESURFACE
- PROPOSED 24" WHITE STOP BAR (TYP)
- PROPOSED R1-1: 4' FROM EDGE OF PAVEMENT

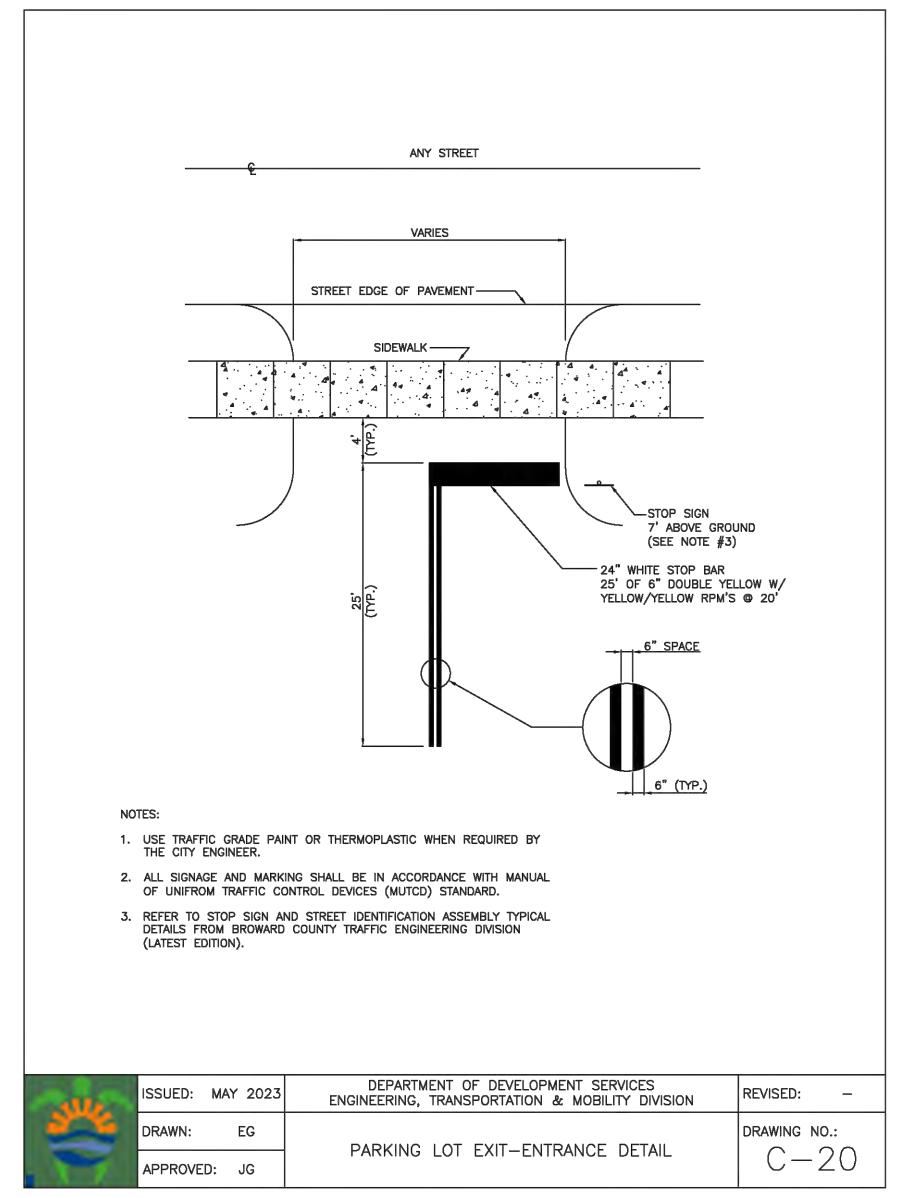
SOUTH SURF RD SHALL BE FULLY MILLED & RESURFACED ALONG THE ENTIRE PROPERTY LIMITS

NOTE:

- SOUTH SURF ROAD AND JACKSON ST. SHALL BE FULLY MILLED & RESURFACED MINIMUM 1" ALONG THE ENTIRE PROPERTY
- ROW PAVEMENT MARKING SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER PER BROWARD COUNTY PW DEPARTMENT TRAFFIC ENGINEERING DIVISION



DETECTABLE WARNINGS DETAIL
 CR-G
 NTS
 1
 STD



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISION: --
DRAWN: EG	PARKING LOT EXIT-ENTRANCE DETAIL	DRAWING NO.: C-20
APPROVED: JG		

ROW	A	B	C	D	E	F	G	H
30'	15.0'	12.0'	11.8'	12.0'	12.0'	12.0'	12.0'	12.0'
30'	17.0'	12.0'	11.8'	12.0'	12.0'	12.0'	12.0'	12.0'
40'	18.0'	13.0'	12.8'	13.0'	13.0'	13.0'	13.0'	13.0'
40'	19.0'	13.0'	12.8'	13.0'	13.0'	13.0'	13.0'	13.0'
50'	20.0'	14.0'	13.8'	14.0'	14.0'	14.0'	14.0'	14.0'
50'	21.0'	14.0'	13.8'	14.0'	14.0'	14.0'	14.0'	14.0'
60'	22.0'	15.0'	14.8'	15.0'	15.0'	15.0'	15.0'	15.0'
60'	23.0'	15.0'	14.8'	15.0'	15.0'	15.0'	15.0'	15.0'

STANDARD SIGN: 6' 8" x 14" (PRINTED) 8' 4" x 14" (ACCESSIBLE)
 ACCESSIBLE SPACE: 12' x 14" WITH 5' ACCESSIBLE CLEARLY MARKED
 PARALLEL PARKING: 8' x 14" WITH 5' ACCESSIBLE CLEARLY MARKED
 STANDARD SIGN: 6' 8" x 14" (PRINTED) 8' 4" x 14" (ACCESSIBLE)
 SIGNPOST: 6' 8" x 14" (PRINTED) 8' 4" x 14" (ACCESSIBLE)
 SIGNPOST: 6' 8" x 14" (PRINTED) 8' 4" x 14" (ACCESSIBLE)

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISION: --
DRAWN: EG	STANDARD PARKING GEOMETRICS	DRAWING NO.: C-16
APPROVED: JG		

GENERAL NOTES:

- Curbs, Slopes and Grades:
 - Sidewalk, ramp and landing slopes (i.e. 0.02, 0.05, and 1:30) shown in this Index are minimums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.
 - Landings must have cross-slopes less than or equal to 0.02 in any direction.
 - Minimum slope (vertical) slope shall be 1:12 for the curb ramp. Ramp slopes are not required to exceed 1:12 in length.
 - Notes permitted at the location of Slope Breaks. Otherwise locate notes in accordance with Index 522-001. No joints are permitted within the ramp portion of the Curb Ramp.
- Curbs, Curb and Gutter, and/or Sidewalks:
 - Refer to Index 522-001 for concrete thickness and sidewalk details.
 - Remove any existing curb, curb and gutter, or sidewalk to the nearest joint beyond the curb landing to the extent that the remaining section is less than 5 feet long.
 - Width of Curb Ramp is 4'-0" Minimum. Match sidewalk or Shared Use Path width as shown in the Plans.
- Curbs, Slopes and Grades:
 - Sidewalk curb ramp alpha-identifications (e.g. CR-A) are provided for reference purposes in the Plans.
 - Alpha-identifications CR-1 and CR-2 are intentionally omitted.
- Detectable Warnings:
 - Install detectable warnings in accordance with Specification 527.
 - Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2" and maximum perpendicular to the curb line and no greater than 3" from the back of the curb or edge of pavement.
 - If detectable warnings are shown in the Plans as slopes greater than 5%, slope the truncated domes with the retreating of the ramp; otherwise, the truncated domes are not required to be aligned.

LAST REVISION: 11/01/21

DATE	DESCRIPTION	INDEX	SHEET
11/01/21	REVISION	522-002	1 of 7

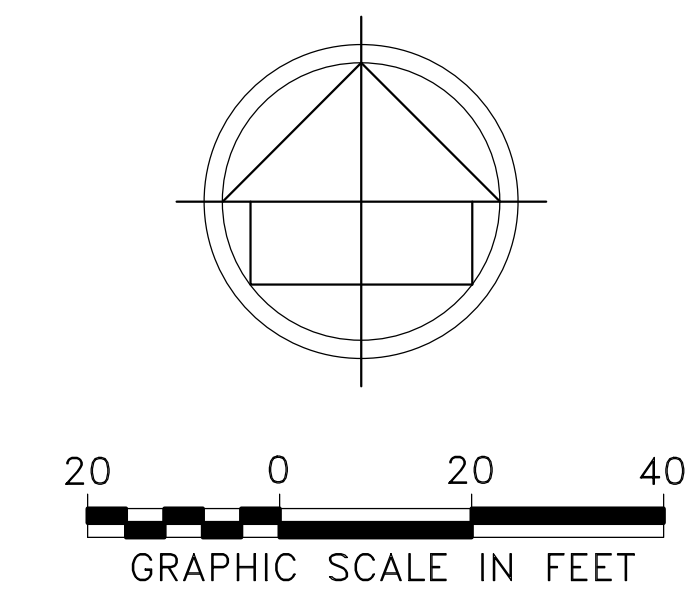
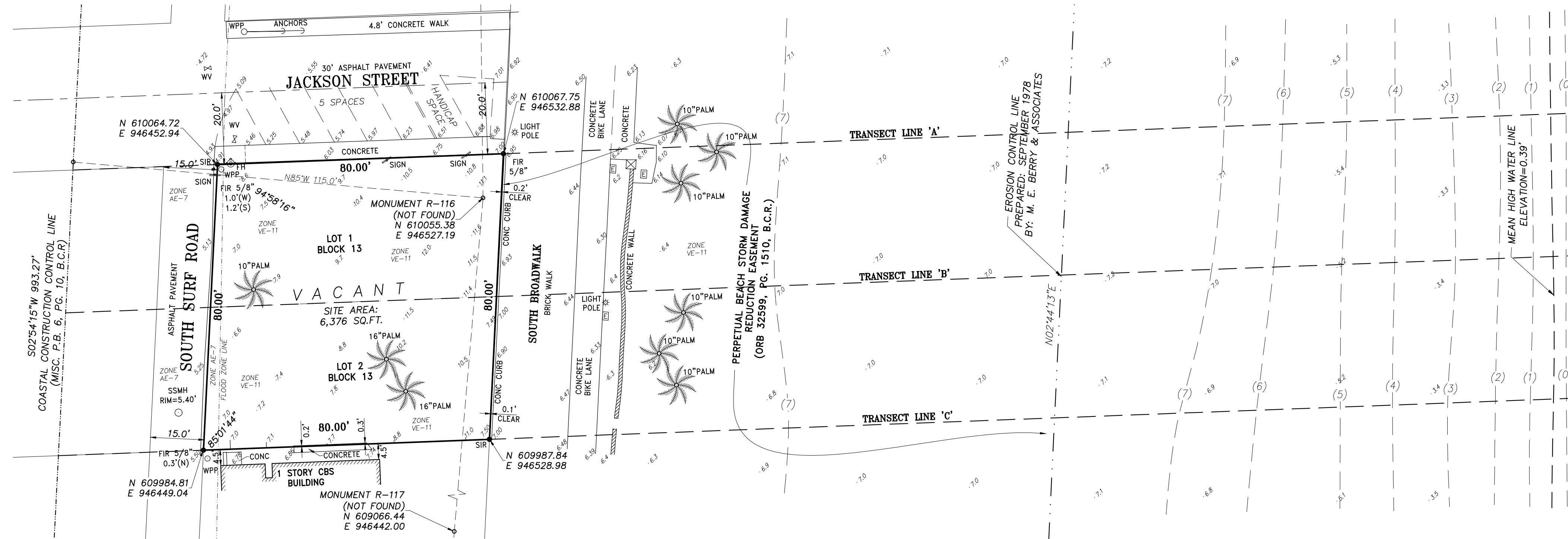
Client: 501 S. SURF RD TRUST
 Project: 501 S SURF RD RESIDENCE
 SOUTH SURF ROAD, HOLLWOOD, FLORIDA

Plan Description: PAVEMENT MARKINGS AND SIGNAGE PLAN

Seal: JORGE SZAUER
 FLA. REG. P.E. # 62579

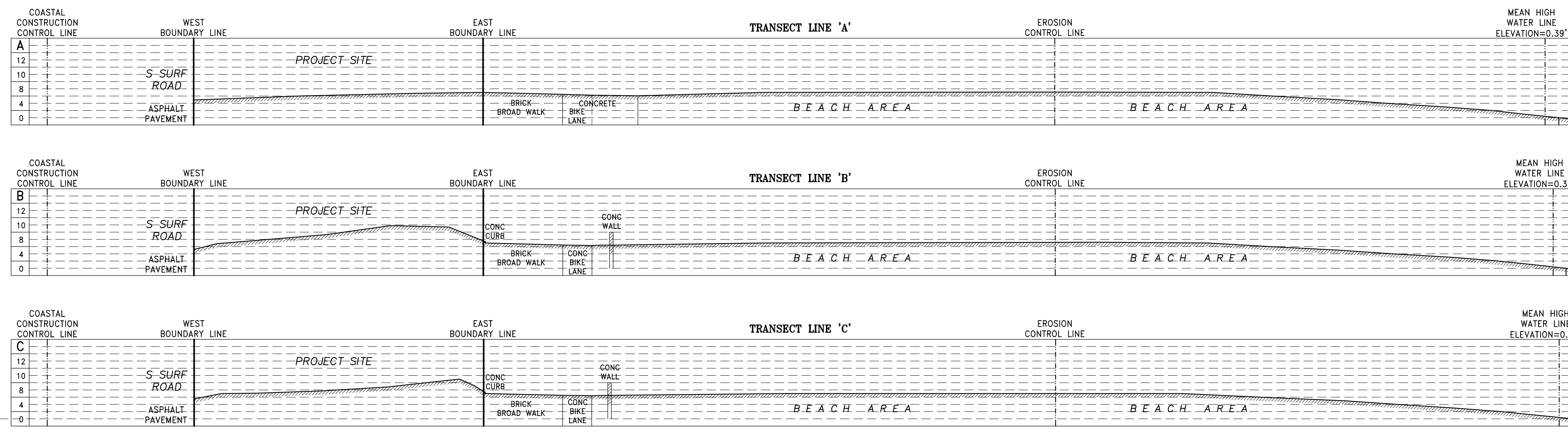
Designed by: JORGE M. SZAUER
 Drawn by: JJANSE
 Revised & Sealed: JORGE M. SZAUER
 Date: SEPTEMBER 2024
 Scale: AS SHOWN
 Job No.:
 Sheet: C-06

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

LAND DESCRIPTION:
 LOTS 1 AND 2, BLOCK 13 OF "HOLLYWOOD BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0588J
ZONE	AE/VE
BASE FLOOD ELEVATION	7 & 11
EFFECTIVE DATE	07/31/24

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WM	WATER METER
WV	WATER VALVE
CO	CLEAN OUT
BFP	BACK FLOW PREVENTER
EB	ELECTRIC BOX
WPP	WOOD POWER POLE
0.00	ELEVATIONS
NTS	NOT TO SCALE
CCCL	COASTAL CONSTRUCTION CONTROL LINE
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

REVIEW OF SCHEDULE B-II

ITEM# 7. RESERVATIONS AS SET FORTH ON THE PLAT OF HOLLYWOOD BEACH, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

ITEM# 8. PERPETUAL BEACH STORM DAMAGE REDUCTION EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 32599, PAGE 1510, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (DOES NOT AFFECT/PLOTTED)

ITEM# 9. RESOLUTION NO. 06-H-108 RECORDED IN OFFICIAL RECORDS BOOK 43442, PAGE 1499 AND IN OFFICIAL RECORDS BOOK 44133, PAGE 758, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK #3103 ELEVATION = 3.22' (NAVD88)
- THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO SOUTH SURF ROAD, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 1, PAGE 27, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
- THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.
- THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 24051600 WITH A COMMITMENT EFFECTIVE DATE OF APRIL 30, 2024 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

STATE PLANE COORDINATE INFORMATION

- (a) PROJECTION:
 UNIVERSAL TRANSVERSE MERCATOR PROJECTION AS ESTABLISHED FOR THE FLORIDA EAST ZONE COORDINATE SYSTEM.
- (b) DATUM:
 THE STATE PLANE COORDINATES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 WITH A SUBSEQUENT RE-ADJUSTMENT DONE IN 2011 (NAD 83 (NATIONAL SPATIAL REFERENCE SYSTEM 2011)). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- (c) METHODOLOGY:
 COORDINATES WERE DETERMINED USING THE TOPCON HI-PER SR AND THE TOPCON FC-5000 WITH THE TDS PACKAGE TOGETHER WITH THE "L-NET" ROVER SYSTEM PACKAGE PROVIDED BY LENGEMANN CORPORATION. THE "L-NET" NETWORK (A TOPNET GNSS NETWORK) UTILIZES A NETWORK OF REAL TIME KINEMATIC (RTK) REFERENCE STATIONS.
- (d) ESTIMATED ACCURACIES:
 HORIZONTAL ACCURACIES TO 0.04'
 VERTICAL ACCURACIES TO 0.07'

CERTIFIED TO:

LAW OFFICE OF KIMBERLY A ABRAMS & ASSOCIATES, P.A.
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 MELISSA M. GROSSMAN AS TRUSTEE UNDER THE 501 S SURF RD TRUST DATED THE 20TH DAY OF JUNE, 2024.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), (NON SUPPLIED), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON SEPTEMBER 05, 2024.

Richard E. Cousins
 RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766
 EMAIL: OFFICE@CSASURVEY.NET

CLIENT:
 501 S. SURF RD TRUST

SOUTH SURF ROAD
 HOLLYWOOD, FLORIDA

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY AND IMPROVEMENTS SURVEY	06/04/24	SKETCH	JD	REC
ADDED CCCL INFORMATION	06/21/24	SKETCH	JD	REC
ALTA/NSPS LAND TITLE SURVEY	07/24/24	-----	AM	REC
ADDED TREES AND BEACH TOPO	08/05/24	SKETCH	JD	REC

REVISIONS	DATE	FB/PG	DWN	CKD

PROJECT NUMBER: 10237-24

SCALE: 1" = 20'

SHEET
 1
 OF
 1
 SHEET

Project ID.: 501 Surf Rd Beach House
 Engineer: Jorge M. Szauer, P.E.
 Client: Kaller Arch
 Date: 9/16/2024

Surface Water Management Calculations for 501 Surf Rd

Proposed is the construction of a Single Family residential building on a 0.14 acre site. The proposed surface water management system will consist of inlets, culverts and exfiltration trench. Required water quality treatment will be provided within the proposed exfiltration trench system.

SITE DATA

The site is located South of Jackson Street between S Surf Road and S Boardwalk in Hollywood, Florida, Broward County. The project consists of a 0.14 acre single family residential building. The existing land uses surrounding the site are residential to the North, South, East and West.

Table 1 summarizes the proposed landuse breakdown of the project

Table 1 - Site Landuse Breakdown

Description	Existing Site	Proposed Site
Total Area:	0.14 ac	0.14 ac
Roof Area:	0.00 ac	0.02 ac
Impervious Area:	0.00 ac	0.08 ac
Pervious Area:	0.14 ac	0.04 ac

Wet season water table elevation = 2.5' NAVD (based on the County's future conditions wet season water table elevation map)

Design Storm Rainfall Amount (see SFWMD Rainfall Curves attached)

- Roads (10-year, 1-day) = 8 Inches
- Design (25-year, 3-day) = 13 inches
- Finish Floor (100-year, 3-day) = 16 inches

DESIGN CRITERIA

The proposed stormwater retention system has been design to retain the 25-year, 3-day storm runoff volume per code requirements. A drainage well is proposed to handle the stormwater runoff for the 25-year, 3-day and 100-year, 3-day storm events.

- FEMA flood zone AE (11)
- Broward County Future Conditions 100-year flood elevation = 7.0' NAVD

WATER QUALITY

- Water quality requirements are defined based on the following criteria: the first inch of runoff over the entire site, or 2.5 inches times the percent impervious
- 2.5 inches times the percent impervious controls over the first inch of runoff over the entire site
- 2.5 inches times the percent impervious = 0.02 ac-ft** (see water quality calculations attached)

SOIL STORAGE

Soil Storage (S) has been calculated to be 8.17 inches over the entire site for the existing site conditions and 1.88 inches for the site proposed conditions (see soil storage calculations attached)

EXFILTRATION TRENCH CALCULATIONS

- Water Table Elevation: 2.5 FT NAVD
- Average Finished Grade for Trench Purposes 6.0 FT NAVD
- Exfiltration Trench Length = $FS[(\%WQ)(Vwq)+Vadd/(K(H2*W + 2*H2*Du - Du^2 + 2*H2*Ds))+(1.39E-4*W*Du)]$
- L= 30 Ft - Length of trench required (60 LF provided)
- %WQ= 75%
- Vwq= 0.24 ac-in
- Vadd= 0.28 Acre-inch - Volume treated
- W= 4 Ft - Trench Width
- K= 7.58E-04 CFS/FT^2-Ft. Head - Hydraulic Conductivity
- H2= 3.5 Ft - Depth to Water Table
- Du= 2.5 Ft - Non-Saturated Trench Depth
- Ds= 2 Ft - Saturated Trench Depth
- FS= 2

This item has been digitally signed and sealed by Jorge Szauer, PE. On February 11, 2025.
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SITE STAGE STORAGE

Stage (ft NAVD)	Existing Stage Storage (ac-ft)			Proposed Stage Storage (ac-ft)			
	Pervious (ac-ft)	Impervious (ac-ft)	Total (ac-ft)	Pervious (ac-ft)	Impervious (ac-ft)	Exfiltration Trench (ac-ft)	Total (ac-ft)
6.00	0.00	0.00	0.00	0.00	0.00	0.04	0.04
6.50	0.00	0.00	0.00	0.02	0.02	0.04	0.08
7.00	0.00	0.00	0.00	0.04	0.06	0.04	0.14
7.50	0.00	0.00	0.00	0.06	0.10	0.04	0.20
8.00	0.02	0.00	0.02	0.08	0.14	0.04	0.26
8.50	0.04	0.00	0.04	0.10	0.18	0.04	0.32
9.00	0.07	0.00	0.07	0.12	0.22	0.04	0.38
9.50	0.11	0.00	0.11	0.14	0.26	0.04	0.44
10.00	0.16	0.00	0.16	0.16	0.30	0.04	0.50

RUNOFF CALCULATIONS

$$Q=(P-0.2S)^2/(P+0.8S)$$

Design Frequency	Precipitation P (in)	Existing Conditions				Proposed Conditions			
		Soil Storage S (in)	Runoff Q (in)	Runoff Volume (Ac-ft)	Peak Stage (NAVD)	Soil Storage S (in)	Runoff Q (in)	Runoff Volume (Ac-ft)	Peak Stage (NAVD)
10y-1d	8.00	8.17	2.79	0.03	8.34	1.88	5.75	0.07	6.42
25y-3d	13.00	8.17	6.61	0.08	9.10	1.88	10.56	0.12	6.92
100y-3d	16.00	8.17	9.16	0.11	9.47	1.88	13.50	0.16	7.21

Proposed FFE 12.0

EXHIBITS

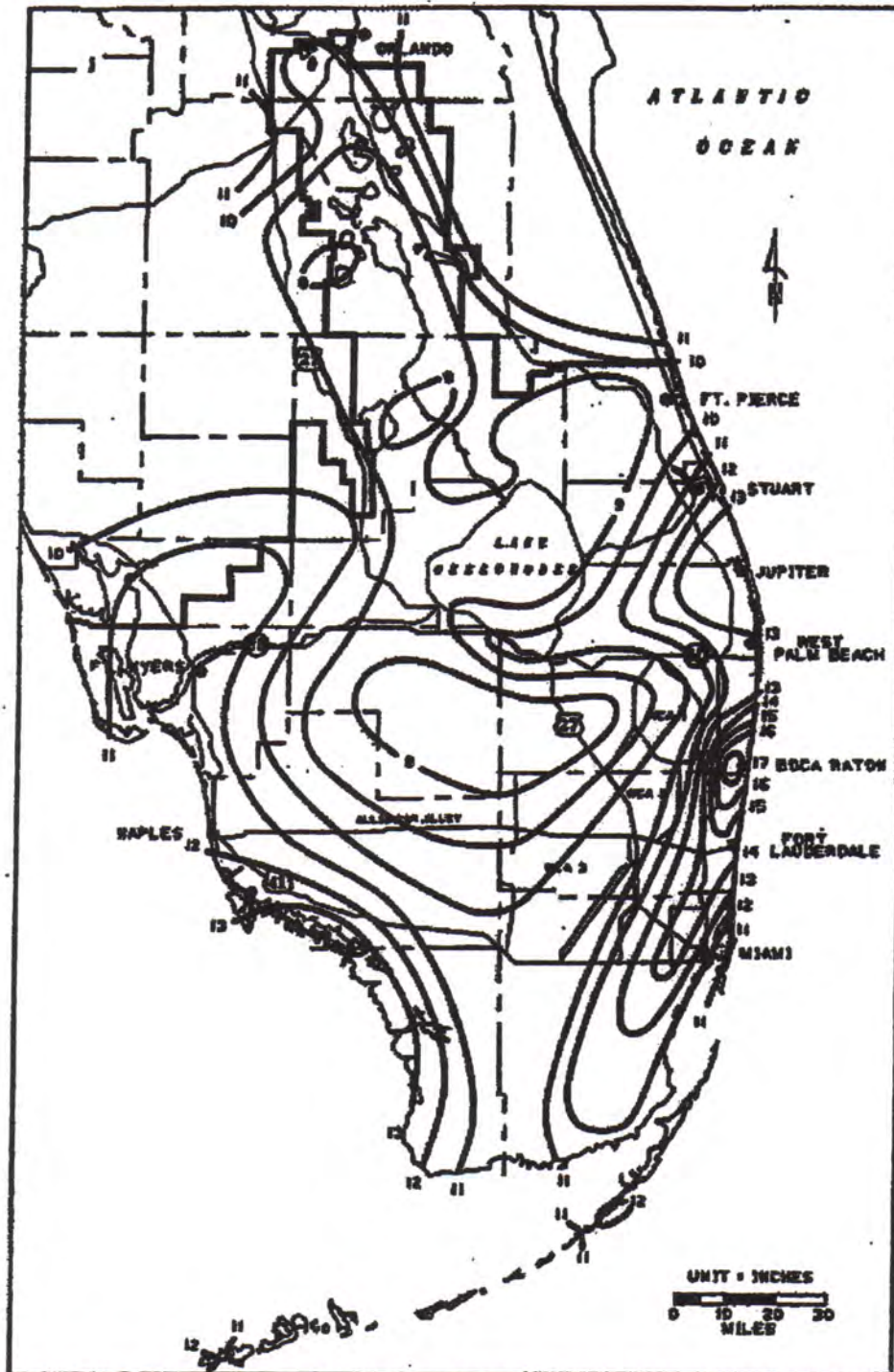


FIGURE C-8. 3-DAY RAINFALL: 25-YEAR RETURN PERIOD

FIGURE 4 - SFWMD RAINFALL 25YR, 3 DAY

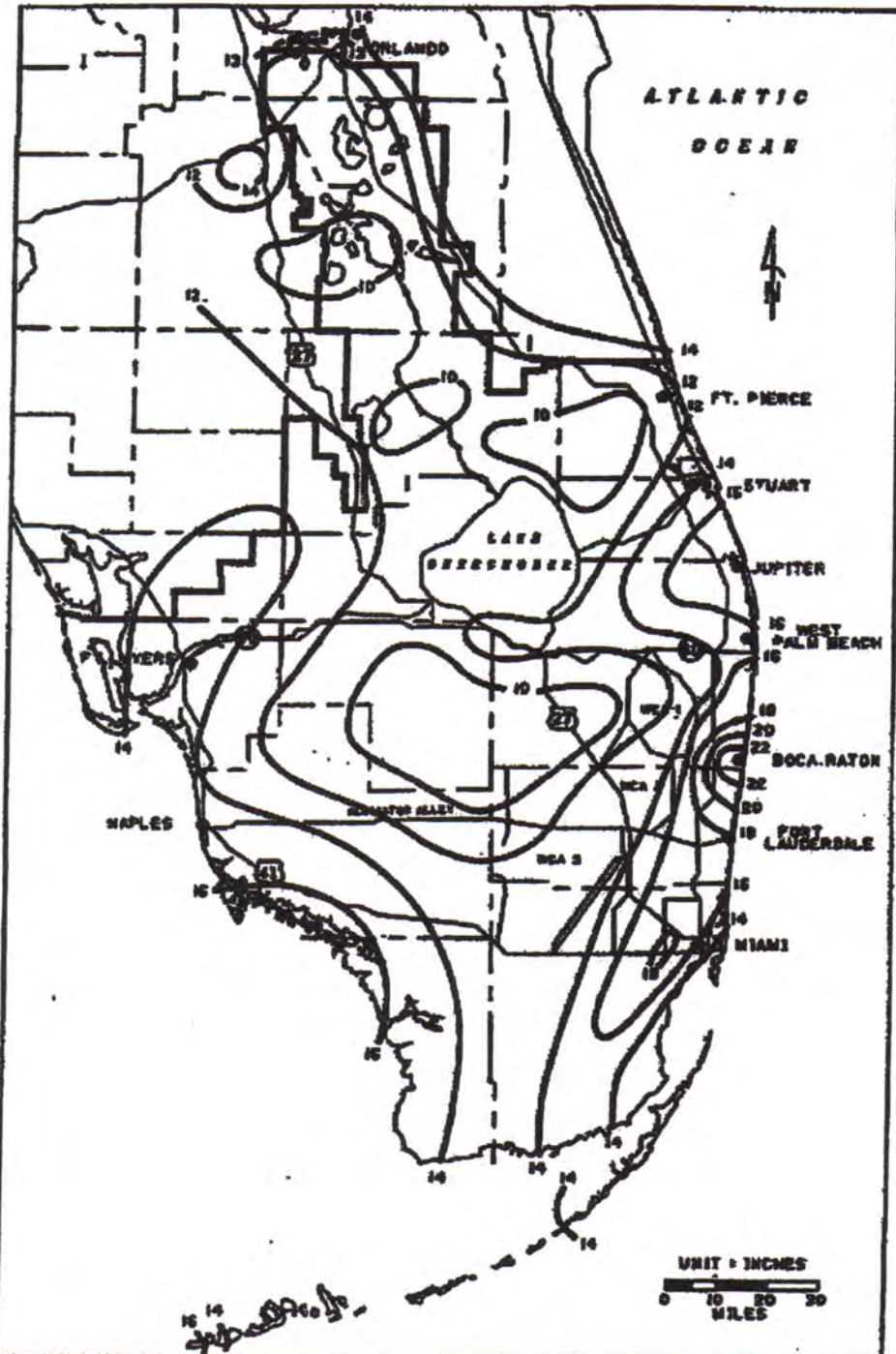


FIGURE C-9. 3-DAY RAINFALL: 100-YEAR RETURN PERIOD

FIGURE 5 SFWMD RAINFALL 100YR, 3 DAY

Water Quality Calculation

2.5" * % Impervious vs. 1" over site

Kantesaria

Date: 16-Sep-24

Input data in boxes below:

Total Area:	<input type="text" value="0.14"/>	acre
Lake & WL:	<input type="text" value="0.00"/>	"
Roof:	<input type="text" value="0.02"/>	"
Pervious Area:	<input type="text" value="0.04"/>	"

2.5 Inch * % Impervious:

$$\text{Vol} = 2.5 / 12 * (\text{Total} - \text{lakes}) * (\text{Total} - \text{roof} - \text{lake} - \text{pervious}) / (\text{Total} - \text{roof} - \text{lake})$$

$$\% \text{ Impervious} = (\text{Total} - \text{roof} - \text{lake} - \text{pervious}) / (\text{Total} - \text{roof} - \text{lake})$$

$$\text{Treatment Vol} = 2.5" / 12 * (\text{Total} - \text{lake}) * (\% \text{ Impervious})$$

$$\% \text{ Impervious} = 66.67\%$$

$$\text{Treatment Vol} = \underline{0.02} \text{ ac-ft}$$

OR:

1" Over Entire Site:

$$\text{Total Area} = 0.14 \text{ acre}$$

$$\text{Treatment Vol} = \underline{0.01} \text{ ac-ft}$$

The required water quality volume is based on: 2.5 X % Imperv. Area

The required water quality volume is: 0.02 acre-feet

Comments:

Soil Type: Coastal Soils; Sandy (1)

Soil Storage Calculation

Project: **501 S Surf Rd**

Date: **16-Sep-24**

DWT	S (inches)
0	0
1	0.6
2	2.5
3	6.6
4	10.9

User Enter Data is Shown in Blue & Bold Font

SHGWT (Seasonal high groundwater table elevation): **2.5** ft NAVD
 Total Impervious area (see note below): **0.000** acres

Pervious Area Description	Pervious Area Acreage (acres)	Low Elevation of Ground Surface (ft NGVD)	High Elevation of Ground Surface (ft NGVD)	Calculated Avg. Ground Surface Elvation (ft NGVD)	Calculated Depth to Groundwater (ft)	Calculated Uncompacted Soil Storage per SFWMD (inches)	Calculated Uncompacted Soil Storage per SFWMD (ac-ft)	Is Soil Compacted (enter Y or N)	Adjusted Soil Storage based on 75% Factor (ac-ft)	Note
Perv	0.140	7.0	11.0	9.00	6.50	10.900	0.127	y	0.095	Compacted Soil
				0.00	0.00	0.000	0.000	y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	y	0.000	
				0.00	0.00	0.000	0.000	y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
Total	0.140	<- total pervious area							0.095	<- ac-ft (Total)

Calculated Composite Soil Storage: 8.175 inches CN = 1000/(S+10) = 55.0

Note: The composite soil storage calculated above is based on the total ac-ft of soil storage divided over the entire site area including pervious and impervious area. If the user desires to calculate the composite soil storage over only the pervious area, then the impervious area should be entered as zero above.

[Click here for Directions:](#)

Site Storage Calculation

Project Name: *501 S Surf Rd*

Date: *16-Sep-24*

User: *enter*

Minimum Stage: *6.000* feet, NAVD

Incremental Stage: *0.500* feet



Area Number	1		2	3	4	5	Total Area	
Area Description	<i>Green</i>							
Area (acres)	<i>0.140</i>						0.14 ac	
Area (ft^2)	6.10E+03	0.00E+00	0.00E+00	0.00E+00	0.00E+00	0.00E+00		
Low Elv.	<i>7.000</i>							
High Elv.	<i>11.000</i>							
Stage (ft, NAVD)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Stage (ft, NAVD)	Total Storage
6.000	0.00	0.00	0.00	0.00	0.00	0.00	6.00	0.00
6.500	0.00	0.00	0.00	0.00	0.00	0.00	6.50	0.00
7.000	0.00	0.00	0.00	0.00	0.00	0.00	7.00	0.00
7.500	0.00	0.00	0.00	0.00	0.00	0.00	7.50	0.00
8.000	0.02	0.00	0.00	0.00	0.00	0.00	8.00	0.02
8.500	0.04	0.00	0.00	0.00	0.00	0.00	8.50	0.04
9.000	0.07	0.00	0.00	0.00	0.00	0.00	9.00	0.07
9.500	0.11	0.00	0.00	0.00	0.00	0.00	9.50	0.11
10.000	0.16	0.00	0.00	0.00	0.00	0.00	10.00	0.16
10.500	0.21	0.00	0.00	0.00	0.00	0.00	10.50	0.21
11.000	0.28	0.00	0.00	0.00	0.00	0.00	11.00	0.28
11.500	0.35	0.00	0.00	0.00	0.00	0.00	11.50	0.35
12.000	0.42	0.00	0.00	0.00	0.00	0.00	12.00	0.42
12.500	0.49	0.00	0.00	0.00	0.00	0.00	12.50	0.49
13.000	0.56	0.00	0.00	0.00	0.00	0.00	13.00	0.56
13.500	0.63	0.00	0.00	0.00	0.00	0.00	13.50	0.63

SCS Runoff Equation:

501 S Surf Rd

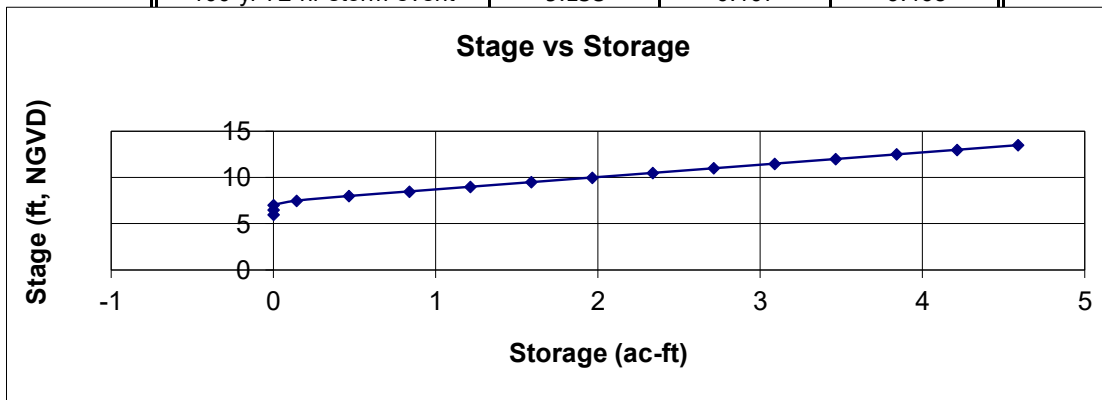
Rainfall & Basin Information:

Total Site Area (including buildings):	0.140	acres
Composite Soil Storage:	8.17	inches
5-yr 1-hr storm event:	3.28	inches
10-yr 24-hr storm event	8.00	inches
		inches
25-yr 72-hr storm event	13.00	inches
100-yr 72-hr storm event	16.00	inches

Zero-Discharge Runoff Volume & Interpolated Stages:

$$\text{Runoff (inches)} = (P - 0.2S)^2 / (P + 0.8S)$$

Design Storms (from above)	Runoff (in)	Runoff (ac-ft)	Stage (ft)
5-yr 1-hr storm event:	0.276	0.003	7.368
10-yr 24-hr storm event	2.788	0.033	8.343
0	0.409	0.005	7.515
25-yr 72-hr storm event	6.613	0.077	9.091
100-yr 72-hr storm event	9.158	0.107	9.468



Soil Type: Coastal Soils; Sandy (1)

Soil Storage Calculation

Project: **501 S Surf Rd**

Date: **16-Sep-24**

DWT	S (inches)
0	0
1	0.6
2	2.5
3	6.6
4	10.9

User Enter Data is Shown in Blue & Bold Font

SHGWT (Seasonal high groundwater table elevation): **2.5** ft NAVD
 Total Impervious area (see note below): **0.100** acres

Pervious Area Description	Pervious Area Acreage (acres)	Low Elevation of Ground Surface (ft NAVD)	High Elevation of Ground Surface (ft NAVD)	Calculated Avg. Ground Surface Elevation (ft NAVD)	Calculated Depth to Groundwater (ft)	Calculated Uncompacted Soil Storage per SFWMD (inches)	Calculated Uncompacted Soil Storage per SFWMD (ac-ft)	Is Soil Compacted (enter Y or N)	Adjusted Soil Storage based on 75% Factor (ac-ft)	Note
Green	0.040	6.0	6.0	6.00	3.50	8.750	0.029	y	0.022	Compacted Soil
				0.00	0.00	0.000	0.000	y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	y	0.000	
				0.00	0.00	0.000	0.000	y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
Total	0.040	<- total pervious area							0.022	<- ac-ft (Total)

Calculated Composite Soil Storage: **1.875 inches** $CN = 1000/(S+10) =$ **84.2**

Note: The composite soil storage calculated above is based on the total ac-ft of soil storage divided over the entire site area including pervious and impervious area. If the user desires to calculate the composite soil storage over only the pervious area, then the impervious area should be entered as zero above.

Exfiltration Trench Calculation
Reference: SFWMD Vol. IV
501 S Surf Rd

2/11/2025

Case 1:

$$\text{Length} = \text{Volume} / (K(H_2 \cdot W + 2 \cdot H_2 \cdot Du - Du^2 + 2 \cdot H_2 \cdot Ds) + (1.39E-4 \cdot W \cdot Du))$$

This formula takes into consideration a safety factor of 2 and a 50% credit for retention system.

Variable Definitions:

Ds =	Saturated Depth of Trench (ft)
Du =	Unsaturated Depth (ft)
H ₂ =	Depth from Land Surface to Water Table (ft)
W =	Trench Width (ft)
Volume =	Required Wet Detention Volume (ac-in)
Length =	Calculated Trench Length (ft)
K =	Hydraulic Conductivity (ft/sec)

Note: (a) This equation (**Case 1**) is a special case. Validity criteria: (1) Ds < Du. (2) W < 2 * (Ds + Du)
(b) Minimum pipe diameter is 12 inches, minimum trench width (W) is 3 ft.

Input:

Ds =	2	ft	<u>Validity Check:</u>	
Du =	2.5	ft	(1) Ds < Du ?	Yes
H ₂ =	3.5	ft	(2) W < 2 * (Ds + Du)?	Yes
W =	4	ft	(3) W > 3 ?	Yes
Volume =	0.46	ac-in		
K =	7.58E-04	cfs/ft ² (i.e. ft/sec)		

Case 1: Calculated Trench Length = 15 ft

Case 2:

$$\text{Length} = \text{Volume} / (K(2 \cdot H_2 \cdot Du - Du^2 + 2 \cdot H_2 \cdot Ds) + (1.39E-4 \cdot W \cdot Du))$$

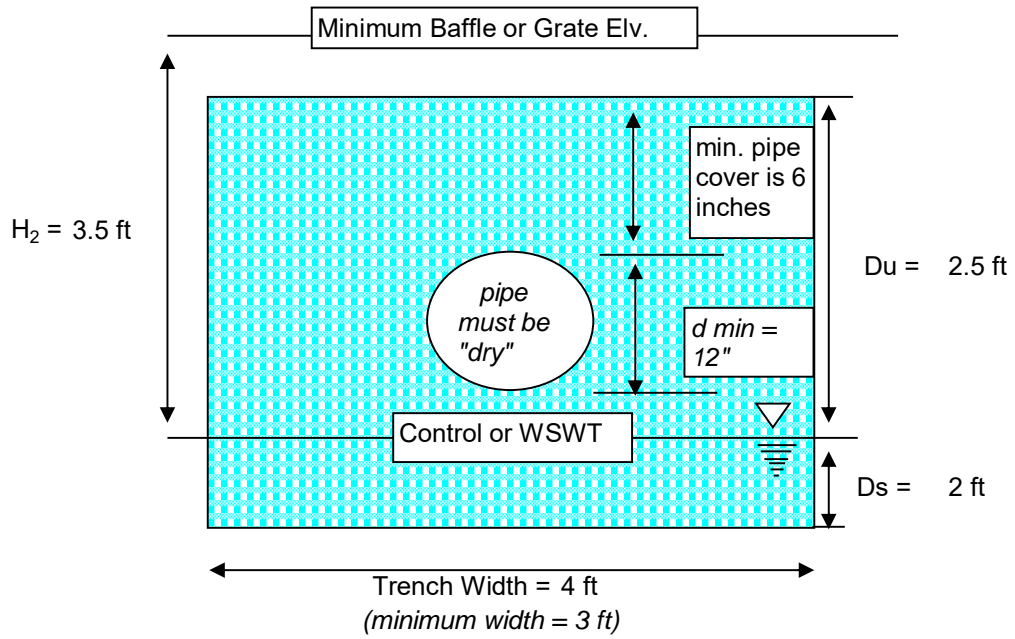
This formula takes into consideration a safety factor of 2 and a 50% credit for retention system.
This formula is valid if W > 2(Ds + Du) and Ds > Du.

Note: (a) This equation (**case 2**) is a special case. Validity criteria: (1) Ds > Du. (2) W > 2 * (Ds + Du)
(b) Minimum pipe diameter is 12 inches, minimum trench width (W) is 3 ft.

Case 2: Calculated Trench Length = 22 ft

<u>Validity Check:</u>	
(1) Ds > Du ?	criterion NOT met
(2) W > 2 * (Ds + Du)?	criterion NOT met

501 S Surf Rd



(3) $W > 3$?

Yes

[Click here for Directions:](#)

Site Storage Calculation

Project Name: *501 S Surf Rd*

Date: *16-Sep-24*

User: *enter*

Minimum Stage: *6.000* feet, NAVD

Incremental Stage: *0.500* feet



Area Number	1	2	3	4	5	Total Area		
Area Description	Green	Parking	Exf Trench					
Area (acres)	<i>0.040</i>	<i>0.080</i>					0.12 ac	
Area (ft^2)	1.74E+03	3.48E+03	0.00E+00	0.00E+00	0.00E+00	0.00E+00		
Low Elv.	<i>6.000</i>	<i>6.000</i>						
High Elv.	<i>6.000</i>	<i>6.500</i>						
Stage (ft, NAVD)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Storage (ac-ft)	Stage (ft, NAVD)	Total Storage
6.000	0.00	0.00	0.04	0.00	0.00	0.00	6.00	0.04
6.500	0.02	0.02	0.04	0.00	0.00	0.00	6.50	0.08
7.000	0.04	0.06	0.04	0.00	0.00	0.00	7.00	0.14
7.500	0.06	0.10	0.04	0.00	0.00	0.00	7.50	0.20
8.000	0.08	0.14	0.04	0.00	0.00	0.00	8.00	0.26
8.500	0.10	0.18	0.04	0.00	0.00	0.00	8.50	0.32
9.000	0.12	0.22	0.04	0.00	0.00	0.00	9.00	0.38
9.500	0.14	0.26	0.04	0.00	0.00	0.00	9.50	0.44
10.000	0.16	0.30	0.04	0.00	0.00	0.00	10.00	0.50
10.500	0.18	0.34	0.04	0.00	0.00	0.00	10.50	0.56
11.000	0.20	0.38	0.04	0.00	0.00	0.00	11.00	0.62
11.500	0.22	0.42	0.04	0.00	0.00	0.00	11.50	0.68
12.000	0.24	0.46	0.04	0.00	0.00	0.00	12.00	0.74
12.500	0.26	0.50	0.04	0.00	0.00	0.00	12.50	0.80
13.000	0.28	0.54	0.04	0.00	0.00	0.00	13.00	0.86
13.500	0.30	0.58	0.04	0.00	0.00	0.00	13.50	0.92

SCS Runoff Equation:

501 S Surf Rd

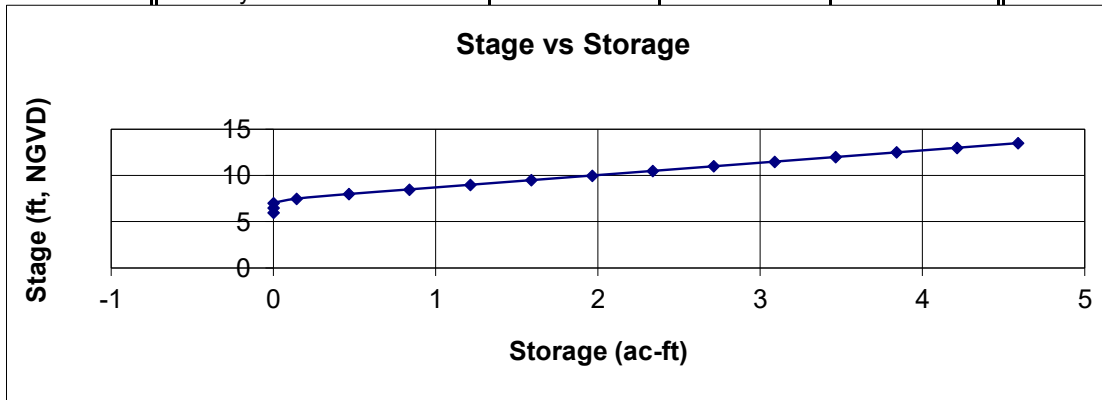
Rainfall & Basin Information:

Total Site Area (including buildings):	0.140	acres
Composite Soil Storage:	1.88	inches
5-yr 1-hr storm event:	3.28	inches
10-yr 24-hr storm event	8.00	inches
		inches
25-yr 72-hr storm event	13.00	inches
100-yr 72-hr storm event	16.00	inches

Zero-Discharge Runoff Volume & Interpolated Stages:

$$\text{Runoff (inches)} = (P - 0.2S)^2 / (P + 0.8S)$$

Design Storms (from above)	Runoff (in)	Runoff (ac-ft)	Stage (ft)
5-yr 1-hr storm event:	1.763	0.021	#N/A
10-yr 24-hr storm event	6.116	0.071	6.417
0	0.094	0.001	#N/A
25-yr 72-hr storm event	10.988	0.128	6.918
100-yr 72-hr storm event	13.946	0.163	7.206



501 South Surf Road

Aerial Map

