Historic Preservation Board

Tuesday, March 11, 2025 3:00 PM

City of Hollywood



Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

Room 219

Thank you for demonstrating an interest in the City of Hollywood Historic Preservation Board Meeting. The public may view the meeting either in person or virtually http://hollywoodfl.org/calendar.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so either in person or virtually:

In-person:

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Board Clerk prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

Virtually:

Virtual comment is offered as a courtesy. The City is not responsible for technical difficulties that may periodically arise. Pre-registration shall be REQUIRED.

To register use the Board Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. Should an item require consideration by multiple Boards, individual forms shall be submitted for each Board. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal

Due to the quasi-judicial nature of items, written comments CANNOT be read into the record. Public comment shall be limited to three minutes speaking time maximum. All comments received during the submission period will become part of the public record. Comments left on voicemail machines, emailed, posted to the City's social media accounts or submitted for virtual comment after 6:00 PM on the day prior to the meeting shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. For the hearing and speech impaired at 800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at planningdivision@hollywoodfl.org.

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.

Administration Α.

- 1. Pledge of Allegiance
- 2. Roll Call
- 3. Approval of Previous Meeting Minutes

Attachments: 2025_0211 Minutes Draft HPB

- 4. Summary of Appeals to City Commission
- 5. Additions, Deletions and Withdrawals
- 6. City Attorney Announcements

<u>Attachments:</u>

Quasi-Judicial Hearing Procedures Witness List P-25-01

Applications Β.

ITEMS # 1-2 BELOW ARE CONSIDERED QUASI-JUDICIAL

1.20250311

FILE NO.:	25-CM-03	
APPLICANT:	Diana Plunkett	
LOCATION:	1133 Van Buren Street	
REQUEST:	Certificate of Appropriateness for Design to remove a fabric covering	
	of an existing porch and add a new roof and columns structure	
	covering the porch on the front façade of a single-family home	
	located within the Hollywood Lakes neighborhood.	

2503 HPB C Staff Report 2025 0311 <u>Attachments:</u> Attachment A Application Package Attachment B Aerial Map

2. 2025 0311

FILE NO.:	24-CV-76
APPLICANT:	501 S. Surf Rd. Trust
LOCATION:	501 South Surf Road
REQUEST:	Certificate of Appropriateness for Design to construct a new single
	family dwelling, and a Variance of Section 4.6.C.e.(5) Off-Street
	Parking Standards to permit an increase in off street parking from
	1.5 permitted spaces to 5 parking spaces in the $\ensuremath{BWK-25\text{-}HD-R}$
	zoning district located at 501 South Surf Road, within the Hollywood
	Beach Historic Overlay District.

2476 HPB Staff Report 2025 0311 Attachments: Attachment A Application Package Attachment B Aerial Map

Old Business C.

New Business D.

Discussion about nominations for the Historic Preservation Awards for **Historic Preservation Month**

Ε. Adjournment

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Any person wishing to appeal any decision made by this Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

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City of Hollywood

Staff Summary

Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

Agenda Date:	3/11/2025	Agenda Number:
То:	Historic Preservation Board	
Title:		



SUMMARY OF THE MINUTES

HISTORIC PRESERVATION BOARD

CITY OF HOLLYWOOD 2600 HOLLYWOOD BOULEVARD HOLLYWOOD, FLORIDA 33020

A. ADMINISTRATION

- 1. Pledge of Allegiance
- 2. Roll Call

The meeting of the Historic Preservation Board was called to order by Board Chair, Terry Cantrell on **Tuesday, February 11th, 2024, at 3:00 PM** in Room 219, 2600 Hollywood Blvd, Hollywood, Florida, with the following members present:

Terry CantrellAri SklarFred Villiers-FurzeKathleen DiBonaDulce Conde

Development Services, Division of Planning and Urban Design Staff present:

Andria Wingett	Director of Development Services
Cameron Palmer	Principal Planner/Supervisor, Development
Lauren Pruss	Principal Planner/Supervisor
Carmen Diaz	Planner III
Rachel Marshall	Assistant Planner
Solange Baquero-Meza	Development Review Coordinator (Remote)

Also Present:

Kim Phan

Assistant City Attorney

3. Approval of the Meeting Minutes January 14, 2025 - Approved

MOTION WAS MADE BY KATHLEEN DIBONA AND SECONDED BY DULCE CONDE TO APPROVE THE JANUARY 14TH, 2025, MEETING MINUTES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

- 4. Summary of Appeals to City Commission None
- 5. Additions, Deletions, Withdrawals, and Continuances None



6. City Attorney Announcements Kim Phan informed the Board that item 1 is ruled by Quasi-Legislative Proceedings.

B. APPLICATIONS:

ITEM #1 BELOW MAY BE CONSIDERED QUASI-JUDICIAL AND MAY BE SUBJECT TO A CRR REGULATION.

 1. FILE NO.:
 21-C-20a

 APPLICANT:
 Sarcoh Corp.

 LOCATION:
 1051 S Northlake Drive

 REQUEST:
 Certificate of Appropriateness for Design for a new single-family house in the Lakes Area Historic Multiple Resource Listing District.

Terry Cantrell read the Application.

Terry Cantrell asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Carmen Diaz, Planner III, presented companion items 1 and 2 and answered questions from the Board.

Property Owner represented by Joseph Keller as interpreter and Architect was present, provided additional information on the project and answered questions from the Board.

Terry Cantrell opened the meeting to public comments. No public comments were made. Terry Cantrell closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY KATHLEEN DIBONA AND SECONDED BY ARI SKLAR TO APPROVE THE DESIGN WITH THE FOLLOWING CONDITIONS:

- **1.** The applicant provides a marker on the property which describes the historic background of the original structure. (Section 5.5.F.4.j. of the ZLDR).
- 2. The applicant documents the history of the property and donates any salvageable information and material to the Hollywood Historic Society.
- 3. The applicant shall collaborate with staff to enhance the east side elevation by incorporating architectural elements to improve the design, minimize blank walls, and create a visually cohesive look. These elements should be thoughtfully arranged to enhance the elevation's rhythm, reduce monotony, and ensure consistency with the overall architectural style of the project.
- 4. The applicant shall design the fence to align with the architectural style of the house at the time of permitting.

MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

C. OLD BUSINESS

None



D. NEW BUSINESS

None

E. ADJOURNMENT

This meeting was adjourned at 4:07 P.M.



City of Hollywood

Staff Summary

Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

Agenda Date:	3/11/2025
То:	Historic Preservation Board
Title:	

QUASI-JUDICIAL HEARING PROCEDURES AND RULES FOR EX-PARTE COMMUNICATIONS

I. Scope and Applicability. These procedures shall apply to all quasi-judicial hearings held by the City Commission or by any Board or Committee (hereinafter referred to as "Boards") which holds quasi-judicial hearings. The City Attorney shall determine which matters are quasi-judicial in nature and shall direct the City Clerk or Board liaison to designate specially such matters on the agenda.

II. Proceedings. Mayor, Vice Mayor or other presiding officer (hereafter, the "Presiding Officer") shall conduct the proceedings and maintain order. The City Attorney or legal advisor shall represent the City Commission or Board, rule on all evidentiary and procedural issues and objections, and advise the City Commission or Board as to the applicable law and necessary factual findings. Hearings shall be conducted informally, but with decorum. Formal rules of procedure shall not apply except as set forth herein; however, fundamental due process shall be accorded.

III. Unauthorized Communications. In all quasi-judicial hearings, all rulings must be based only upon the evidence presented at the hearing. In accordance with Section 286.0115(1), Florida Statutes, ex parte communications with City Commissioners or Board members in quasi-judicial matters is permissible and the adherence to the following procedures shall remove the presumption of prejudice arising from ex parte communications with City Commissioners or Board members or Board members:

1. The substance of any ex parte communication with a City Commissioner or Board member which relates to a quasi-judicial action pending before the Commission or Board is not presumed prejudicial to the action if the subject of the communication and the identity of the person, group, or entity with whom the communication took place is disclosed and made a part of the record before the final action on the matter.

2. A City Commissioner or Board member may read a written communication from any person. However, a written communication that relates to a quasi-judicial action pending before the Commission or Board shall not be presumed prejudicial to the action, and such written communication shall be made a part of the record before final action on the matter.

3. City Commissioners or Board members may conduct investigations and site visits and may receive expert opinions regarding quasi-judicial action pending before them. Such activities shall not be presumed prejudicial to the action if the existence of the investigation, site visit, or expert opinion is made a part of the record before final action on the matter.

4. Disclosure made pursuant to subparagraphs 1, 2 and 3 must be made before or during the public meeting at which a vote is taken on such matters, so that persons who have opinions contrary to those expressed in the ex parte communication are give a reasonable opportunity to refute or respond to the communication.

IV. Witnesses and Supporting Materials. At least eight <u>City business</u> days before a quasi-judicial hearing.

A. Staff shall prepare a report, recommendation and supporting materials, a copy of which shall be available to the applicant, appellant and to the public at the City Clerk's Office. Included in the supporting materials will be copies of all exhibits and documents upon which staff's recommendation is based.

B. The Applicant and the Appellant, if applicable, shall submit a detailed outline of the argument in support of their application, copies of all exhibits which will be presented at hearing and the names and addresses of all witnesses who will be called to testify in support of the application (including resumes for any witness the party intends to qualify as an expert).

C. The eight <u>City business</u> day deadline is necessary to ensure the Commission or Board members are given sufficient opportunity to review the written submissions prior to the hearing, and shall be strictly observed. Should the eight-day <u>City business day</u> deadline be missed by either staff or the Applicant, the item may be continued at the discretion of the City Commission or Board to the next available agenda.

V. Party Intervenors.

The City Attorney may allow a person to intervene as a Party Intervenor if they meet the following requirements:

A. The person must have an interest in the application, which is different than the public at large.

B. At least eight three days prior to the hearing, the person shall submit a written request to intervene including: a detailed outline of their interest in the application and argument in favor or against it, copies of all exhibits which will be presented at the hearing and the names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert).

VI. Conduct of Hearing.

A. The Presiding Officer shall call the proceeding to order and announce that the hearing has begun.

B. The Presiding Officer, City Attorney or legal advisor shall inquire whether all parties, members of the public and Commission or Board members agree to waiving the quasijudicial hearing.

C. When the quasi-judicial hearing is not waived, the City Attorney, legal advisor or Presiding Officer shall explain the rules concerning procedure, testimony, and admission of evidence.

D. When the quasi-judicial hearing is not waived, the City Clerk or staff liaison shall swear in all witnesses who are to testify at the hearing.

E. The order of proof shall be as follows:

1. A representative of the City's staff (or outside counsel) shall briefly describe the Applicant's request, introduce and review all relevant exhibits and evidence, report staff's recommendation, and present any testimony in support of staff's recommendation. Staff shall have a maximum of 30 minutes to make their full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

2. The Appellant, if applicable, (or his/her representative or counsel) shall present evidence and testimony in support of the application. Appellant shall have a maximum of 30 minutes to make its full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

3. Any Party Intervenor (or his/her representative or counsel) shall present evidence and testimony in support of or opposed to the application. A Party Intervenor shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board Member.

4. The Applicant (or his/her representative or counsel) shall present evidence and testimony in support of the application. Applicant shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

5. Any other persons present who wish to submit relevant information to the City Commission or Board shall speak next for a maximum of three minutes each (excluding any cross-examination or questions from the Commission or a Board member). Members of the public will be permitted to present their non-expert opinions, but the Commission or board will be expressly advised that public sentiment is not relevant to the decision, which must be based only upon competent and substantial evidence.

6. The Appellant will be permitted to make final comments, if any (maximum of five minutes).

7. The Applicant will be permitted to make final comments, if any (maximum of five minutes).

8. The Party Intervenor will be permitted to make final comments, if any (maximum of five minutes).

9. The City's staff will make final comments, if any (maximum of five minutes).

10. At the discretion of the Presiding Officer, the Applicant may be permitted to respond to the final Party Intervenor and staff comments and recommendations (maximum of three minutes).

G. The City Attorney or legal advisor will advise the City Commission or Board as to the applicable law and the factual findings that must be made to approve or deny the application.

H. The City Commission or Board will conduct open deliberation of the application. The Presiding Officer shall have the discretion to reopen the proceeding for additional testimony or argument by the parties when an outcome substantially different than either the granting or denial of the application is being considered. After deliberations, a vote shall be taken to approve, approve with conditions or deny the application.

VII. Examination by Commissioners and City Attorney or Legal Advisor.

Commissioners, Board members and the City Attorney or Legal Advisor may ask questions of persons presenting testimony or evidence at any time during the proceedings until commencement of deliberation.

VIII. Cross-Examination of Witnesses. After each witness testifies, the City staff representative, the Applicant's representative, Appellant's representative, and/or the Party Intervenor's representative shall be permitted to question the witness, but such cross-examination shall be limited to matters about which the witness testified and shall be limited to five minutes per side. Members of the public will not be permitted to cross-examine witnesses. Cross-examination shall be permitted only as would be permitted in a Florida court of law.

IX. Rules of Evidence.

A. All evidence of a type commonly relied upon by reasonably prudent persons in the conduct of their affairs shall be admissible, whether or not such evidence would be admissible in a court of law in Florida. Irrelevant, immaterial, harassing, defamatory or unduly repetitive evidence shall be excluded.

B. Hearsay evidence may be used for the purposes of supplementing or explaining other evidence, but it shall not be sufficient by itself to support a finding unless it would be admissible over objection in a civil action.

C. Documentary evidence may be presented in the form of a copy or the original. Upon request, parties shall be given an opportunity to compare the copy with the original.

X. Statements of Counsel. Statements of counsel, or any non-attorney representative, shall only be considered as argument and not testimony unless counsel or the representative is sworn in and the testimony if based on actual personal knowledge of the matters which are the subject of the statements.

XI. Continuances and Deferrals. The City Commission or Board shall consider requests for continuances made by City staff, the Applicant, the Appellant or a Party Intervenor and may grant continuances in its sole discretion. If, in the opinion of the City Commission or Board, any testimony or documentary evidence or information presented at the hearing justifies allowing additional research or review in order to properly determine the issue presented, then the City Commission or Board may continue the matter to a time certain to allow for such research or review.

XII. Transcription of hearing.

A. The City Clerk or staff liaison shall preserve the official transcript of the hearing through tape recording and/or video recording.

B. The Applicant, Appellant or Party Intervenor may arrange, at its own expense, for a court reporter to transcribe the hearing.

C. The Applicant, Appellant or Party Intervenor may request that all or a part of the transcript of a hearing be transcribed into verbatim, written form. In such case, the Applicant, Appellant or Party Intervenor requesting the transcript shall be responsible for the cost of production of the transcription and the transcription shall become the official transcript.

XIII. Maintenance of Evidence and Other Documents. The Office of the City Clerk or staff liaison shall retain all of the evidence and documents presented at the hearing unless any such evidence is too large to be stored by the City Clerk or staff liaison. In that event, such evidence will be stored in the Community Planning and Development Department.

XIV. False Testimony. Any willful false swearing on the part of any witness or person giving evidence before the Commission or Board as to any material fact in the proceedings shall be deemed to be perjury and shall be punished in the manner prescribed by law for such offense.

XV. Failure of Applicant to Appear. If the Applicant, the Appellant or Party Intervenor or their representative fails to appear at the time fixed for the hearing, and such absence is not excused by the Commission or Board, the Commission or Board may proceed to hear the evidence and render a decision thereon *in absentia*.

XVI. Subpoena Power. The Applicant, the Appellant or Party Intervenor or City's staff shall be entitled to compel the attendance of witnesses through the use of subpoenas. All such subpoenas shall be issued by the City Clerk at the request of the Applicant, Appellant or City's staff.

R-2016-334, 11/2/2016

CITY OF HOLLYWOOD MEMORANDUM DEPARTMENT OF DEVELOPMENT SERVICES DIVISION OF PLANNING AND URBAN DESIGN

DATE: February 24, 2025

MEMO NO.: P-25-01

TO: City Clerk

FROM: Andria Wingett, Director of Development Services

SUBJECT: Witness List for Quasi-Judicial Items

EXPLANATION:

Following is a list of Technical Advisory Committee members which may serve as witnesses for all **Planning and Development Board, Historic Preservation Board, and City Commission Quasi-Judicial items.** Resumes and credentials on file with the Office of Human Resources. The City may add additional witness for specific items as necessary in conformance with Quasi-Judicial procedures.

Raelin Storey	Assistant City Manager
Donna Biederman	Community Development Coordinator
Liliana Beltran	Housing Inspector
Andria Wingett	Director of Development Services
Clarissa Ip	City Engineer
Joan Shen	Assistant City Engineer
Alexander Barr	Development Review Engineering Manager
Rick Mitinger	Transportation Engineer
Lisa Bernstein	External Traffic Consultant
Ralph Aronberg	External Traffic Expert, Aronberg and Associates Consultants Engineers Inc.
Carina Harvey	District Access Management Manager, FDOT Consultant
Adam Licht	Engineering Specialist II
Favio Perez	Landscape Plans Examiner
Russell Long	Chief Building Official
Daniel Quintana	Assistant Building Official
James McGuinness	Assistant Building Official
Norman Bruhn	Assistant Building Official
Timothy Jones	Chief Structural Inspector
Jovan Douglas	Division Director of Parking and Code Compliance
Angela Kelsheimer	Operations Administrator, Parking and Code Compliance
Natnael Jowhar	Parking Operations Superintendent
Elaine Franklin	Environmental Sustainability Coordinator
Vincent Morello	Director of Public Utilities
Feng Jiang	Assistant Director of Public Utilities
Alicia Verea-Feria	Utilities Permit Review Manager

Chris Clinton	Fire Marshal / Division Chief
Marcy Hofle	Deputy Fire Marshal / Battalion Chief
Maribel Medina	Fire Prevention Officer III
Meghan Grimsley	Fire Prevention Officer III
Chris O'Brien	Director of Public Safety
Ryan Ostrowsky	Police Lieutenant
Chantel Magrino	Crime Prevention Specialist
Joseph Kroll	Director of Public Works
Rosendo Prieto	Assistant Director of Public Works
Ricky Engle	Director of Parks, Recreation, and Cultural Arts
David Vazquez	Assistant Director of Parks, Recreation, and Cultural Arts
Anand Balram	Planning Manager
Cameron Palmer	Principal Planner / Supervisor of Development Planning
Lauren Pruss	Principal Planner / Supervisor of Long-Range Planning
Robert Gooljar	Principal Planner / Supervisor - GIS
Carmen Diaz	Planner III
Reginald White	Planner III
Laura Gomez	Planner II
Umar Javed	Planner II
Adrian Montoya	Planner II
Jorge Camejo	Executive Director, Community Redevelopment Agency
Susan Goldberg	Deputy Director, Community Redevelopment Agency
Francisco Diaz-Mendez	Project Manager, Community Redevelopment Agency
Christopher Crocitto	Project Manager, Community Redevelopment Agency
Herbert Conde-Parlato	Economic Development Manager



City of Hollywood

Staff Summary

Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

File Number: 1. 2025 0311

Agenda Date:	3/11/2025	Agenda Number:
То:	Historic Preserva	ation Board
Title:	FILE NO.: APPLICANT: LOCATION: REQUEST: fabric covering of structure covering home located with	25-CM-03 Diana Plunkett 1133 Van Buren Street Certificate of Appropriateness for Design to remove a of an existing porch and add a new roof and columns ng the porch on the front façade of a single-family thin the Hollywood Lakes neighborhood.

CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF DEVELOPMENT SERVICES DIVISION OF PLANNING AND URBAN DESIGN

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FILE: 25-C-03

- TO: Historic Preservation Board
- VIA: Anand Balram, Planning Manager
- **FROM:** Reginald White, Planner III
- **SUBJECT:** Certificate of Appropriateness for Design to remove a fabric covering of an existing porch and add a new roof and columns structure covering the porch on the front façade of a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

APPLICANT'S REQUEST

Certificate of Appropriateness for Design to remove a fabric covering of an existing porch and add a new roof and columns structure covering the porch on the front façade of a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

STAFF'S RECOMMENDATION

Certificate of Appropriateness for Design: Approval

BACKGROUND

The existing one-story home was constructed in 1939 (based on Broward County records) on an approximately 9,601 SF (0.22 acres) lot located at 1133 Van Buren Street. The property is zoned in the RS-6 zoning district in the Lakes Area Historic Multiple Resource Listing District and is surrounded by single-family homes similar in scale. The house was originally built with three bedrooms and one bathroom. Work associated with a new pool or pool renovations was completed in 1996. This house has not had major alterations through the years.

The current façade of the structure exhibits some Post War Modern Ranch Style architectural characteristics. *The Design Guidelines for Historic Properties state that post-war modern homes were erected in mass to house a wave of new residents*. This style, popular with builders, was relatively inexpensive and used simple materials with none of the traditional detailing.

REQUEST

The Applicant is requesting a Certificate of Appropriateness for Design for exterior renovations to an existing single-family home. The applicant proposes to remove the fabric covering of the existing porch and add a new roof and columns structure covering the porch on the front façade. The material of the roof covering will be Spanish roof tiles that will match the existing roof tiles of the home. The columns supporting the porch's roof covering will be the same material and color as the existing home. Overall, the exterior renovations do not detract from its existing architectural unity and offer compatible architectural and site elements that enhance the home's facade.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing, and location for all properties within the district. The proposed home is consistent with the character of the Lakes Area Historic Multiple Resource Listing District, and the design maintains a spatial relationship with surrounding properties in terms of scale and massing.

SITE BACKGROUND

Applicant/Owner:	Diana Plunkett
Address/Location:	1133 Van Buren Street
Size of Property:	9,601 square feet (0.22 acres)
Present Zoning:	Single-Family Residential (RS-6)
	Lakes Area Multiple Resource Listing District (HMPRLOD-1)
Present Land Use:	Low Residential (LRES)
Present Use of Land:	Single Family
Year Built:	1939 (Broward County Property Appraiser)

ADJACENT ZONING

North:	Single-Family Residential District (RS-6)
	Lakes Area Multiple Resource Listing District (HMPRLOD-1)
South:	Single-Family Residential District (RS-6)
	Lakes Area Multiple Resource Listing District (HMPRLOD-1)
East:	Single-Family Residential District (RS-6)
	Lakes Area Multiple Resource Listing District (HMPRLOD-1)
West:	Single-Family Residential District (RS-6)
	Lakes Area Multiple Resource Listing District (HMPRLOD-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing the land owners to maximize the use of their property.

The proposal does not contemplate a change in land use. The proposed design is compatible with the adjacent properties and surrounding areas. Furthermore, with the proposed exterior improvements the

City is accomplishing the desired reinvestment in the Lakes Area Historic Multiple Resource Listing District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed improvements are sensitive to the character of the Historic Lakes Section through its design, which is similar to existing structures in the surrounding neighborhood.

Policy 2.46: Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.

Policy CW.15: Place a priority on protecting, preserving, and enhancing residential neighborhoods.

The CWMP also states the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements. The project has minimal impact on the current streetscape.

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The existing one-story home was constructed in 1939, and it does not represent any distinct historic architectural features. It is not a prime example of any specific period of significance, as indicated by the Design Guidelines for Historic Properties and Districts. Therefore, the proposed improvements will not adversely affect the integrity of the Historic District.

APPLICABLE CRITERIA

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

- **ANALYSIS:** One of the Basic Principles of the Design Guidelines recommends *repairing rather than replacing; always try first to repair deteriorated features.* The Applicant proposes to remove the fabric porch covering and add a new roof covering for the front porch. Additionally, new columns to support the covering for the porch is proposed with matching roof material and exterior walls color of the existing house. The proposed modification will add value and improve the use of the house while maintaining the existing character of the home.
- **FINDING:** Consistent.

CRITERION: DESIGN

- ANALYSIS: The Historic District Design Guidelines recommends that alterations and rehabilitation should retain building features and landscape. The proposed alterations do not affect the main character of the house. The renovations of the porch use the same stucco material, colors, and Spanish roof ties that are utilized for the existing house. The proposed exterior improvements help to enhance the existing design of the home to create a cohesive and better-defined architectural style.
- **FINDING:** Consistent

CRITERION: SETTING

- ANALYSIS: The Historic District Design Guidelines state that setting is the relationship between buildings within the Historic District and the surrounding site and neighborhood...the landscape features around a building are often important aspects of its character and the district in which it is located. The proposed roof tile covering of the front façade demonstrates compatibility between the existing home and neighborhood and does not disrupt this relationship by retaining distinctive features that distinguish the existing building while providing shade and privacy. The proposed improvements further the compatibility of the home within the Lakes Historic District and surrounding homes.
- **FINDING:** Consistent.
- **CRITERION:** MATERIALS
- **ANALYSIS:** The Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials that are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The Spanish roof tiles and stucco columns are consistent with this criteria. The proposed improvements utilize a neutral color palette and natural elements that enhance and maintain the character of the place.
- **FINDING:** Consistent.
- **CRITERION:** WORKMANSHIP
- **ANALYSIS:** The Design Guidelines recommend consideration of significant materials before undergoing rehabilitation of a historic structure or property. Materials used for improvements are consistent with the existing structure and are sensitive in design and nature to the home and adjacent properties. The design of the proposed exterior renovations for the single-family home is consistent with current workmanship styles and methods.
- **FINDING:** Consistent.
- **CRITERION:** ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* ... Within the *context of historic preservation, elements of design such as massing, scale, and rhythm reflect architectural style as well as the richness of the historic district.* Meeting all applicable code requirements, the proposed alterations are consistent with the scale and massing of the adjacent neighborhood. This project enhances the streetscape elements of the existing residence and the neighbors.

FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A:	Application Package
ATTACHMENT B:	Aerial Photograph

ATTACHMENT A Application Package



PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE:

		APPLICATION TYPE (CHECK ALI	. THAT APPLIES):						
260	0 Hollywood Blvd	Technical Advisory Committee	Art in Public Places Committee 🔲 Variance						
Roc	om 315	Planning and Development Board	Historic Preservation Board						
Holl	ywood, FL 33022		Administrative Approval						
Tel:	(954) 921-3471	PROPERTY INFORMATION							
Em Hol	ail: Development@ lywoodfl.org	Location Address: 1133 Van Buren Street, Hollywood, Florida 33019							
	10 E.	Lot(s): <u>6 & 7</u> Block(s): <u>37</u> Subdivision: <u>Hollywood Lakes Section</u>							
<u>SUB</u>	MISSION REQUIREMENTS:	Folio Number(s): 690541							
••	One set of signed & sealed plans	Zoning Classification: RS-6	Land Use Classification: Residential						
	(i.e. Architect or Engineer)	Existing Property Use: Single Family	Residence Sq Ft/Number of Units: 2,700 SF						
÷ ۲	One electronic	Is the request the result of a viol	ation notice? 🛛 Yes 🗹 No If yes, attach a copy of violation.						
	combined.PUF submission (max, 25mb)	Has this property been presented	to the City before? If yes, check al that apply and provide File						
•	Completed Application	Number(s) and Resolution(s):							
	Checklist	DEVELOPMENT PROPOSAL							
Ģ	Application fee	Explanation of Request: Removing fabic covering of an existing porch and adding a new							
		roof and columns structure covering porch in front of house.							
		Phased Project: Yes 🔲 No 🗹 Number of Phases.							
		Project	Propoșal						
		Units/rooms (# of units)	# UNITS: #Rooms						
NO		Proposed Non-Residential Uses	S.F.)						
.•	This application must be completed in full	Open Space (% and SQ.FT.)	Required %: (Area:S.F.)						
	and submitted with all	Parking (# of spaces)	PARK. SPACES: (#)						
	on a Board or	Height (# of stories)	(# STORIES) [(FT.)						
		Gross Floor Area (SQ. FT)	Lot(s) Gross Area (FT.)						
	responsible for obtain-	Name of Current Property Owne	r: Diana Plunkett						
	checklist for each type	Address of Property Owner 1133 VanBuren st Hollywood FI 33019							
	of application.	Telephone: 954-604-0011 Email Address: bunnybreeze@iclloud.com							
٠	Applicant(s) or their authorized legal agent	Applicant Olivier Dapan							
	must be present at all								
	meetinds.	Empil Address: dapangroup@gmail.c	om						
		Email Address #2: hunnyhreeze@idi							
		Date of Purchase'	Is there an option to purchase the Property? Ves INO 12						
		If Yes Attach Conv of the Contract							
CL	ICK HERE FOR	Noticing Agent (FTAC & Roard e	ubmissions only) :						
FO	RMS, CHECKLISTS, &	F-mail Address							
IVIE	ETING DATES								



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: 12/19/24
PRINT NAME: Diana Plunkett	Date:
Signature of Consultant/Representative: Olivier Danan	Date: <u>12-19-2024</u>
PRINT NAME: Olivier Danan	Date: 12-19-2024
Signature of Tenant:	Date:
PRINT NAME:	Date:

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for <u>add New parch covering</u> to my property, which is hereby made by me or I am hereby authorizing <u>Oliver Danan</u> to be my legal representative before the <u>Mishrie fraction</u> (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 19n day of December 2024

Notary Public

State of Florida



Signature of Gurrent Owner

Diana Plunkett

Print Name

My Commission Expires: 11/12/27 (Check One) Personally known to me; OR ____ Produced Identification _

1600 S. FEDERAL HIGHWAY SUITE 600 POMPANO BEACH, FLORIDA 33062	EYORS, INC.	TEL: (954) 782–1441 FAX: (954) 782–1442
SHEET 1 OF 2		LANDSOR VETORS.COM
TYPE OF SURVEY: BOUNDARY &TOPOGRAPHIC	JOB NUMBER:	SU-24-0428
LEGAL DESCRIPTION: LOT 6 AND THE WEST ½ OF LOT 7 IN BLOCK 37 OF HOLLYWOOD LAKE THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC FLORIDA.	ES SECTION, ACCORDING RECORDS OF BROWARD	TO THE PLAT COUNTY,
ADDRESS: 1133 VAN BUREN STREET HOLLYWOOD), FL 33019	
FLOOD ZONE:AEBASE FLOOD ELEVATION:6'NAVD1988CONTROL PANEL NUMBER:125113/12011C0589-HEFFECTIVE:8/18/2014REVISED:		
LOWEST FLOOR ELEVATION: SEE PAGE 2 OF 2 GARAGE FLOOR ELEVATION: SEE PAGE 2 OF 2 LOWEST ADJACENT GRADE : SEE PAGE 2 OF 2 HIGHEST ADJACENT GRADE : SEE PAGE 2 OF 2		
REFERENCE BENCH MARK: SEE BELOW		
CERTIFY TO: 1. DIANA L. PLUNKETT 2. 3. 4. 5.		
6. REFERENCE BENCHMARK: CITY OF HOLLYWOOD BENCHMARK: P.K. NAIL & DISC 5' + BUREN ST. & 12TH AVENUE, ELEVATION: 1.58' NAVD 1988	-/- NORTH OF CENTEI	RLINE OF VAN
NOTES: 1. THIS SURVEY CONSISTS OF A MAP AND A TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER 2. OWNERSHIP OF FENCE AND WALLS IF ANY, NOT DETERMINED. 3. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON. TO BE VALID ONE Y	R. FEAR FROM THE DATE OF SURVEY A	S SHOWN HEREON.
A = CENTRAL ANGLE A = ARC LENGTH A/C = AIR CONDITIONER AD = ASSUMED DATUM A.E. = ANCHOR EASEMENT FOD = FOUND FUND = FUND FUND = FUND FUND = OFFSET	P.O.C. = POINT OF COMMENCEMENT P.R.C. = POINT OF REVERSE CURVATURE	NTY NAVD1988
AF = ALUMINUM FENCE FH = FIRE HYDRANT O.R.B. = OFFICIAL RECORDS BOOK B.C.R. = BROWARD COUNTY F.P.L. = FLORIDA POWER & LIGHT OH = OVERHANG BLVD = BOULEVARD I.D. = IDENTIFICATION P.B. = PLAT BOOK B.M. = BENCHMARK I.P. = IRON PIPE P.B.C.R. = PALM BEACH COUNTY	(P.R.M. = PERMANENT REFERENCE MONUMENT P.T. = POINT OF TANGENCY PVC = POLYVINYL CHLORIDE R = RADIUS	SEAL
(v) - ONLOGATED 1,P.C. = IRUM PIPE & CAP RECORDS CB = CHORD BEARING I.R. = IRON ROD P.C. P. OINT OF CURVATURE CHATT = CHATTAHOOCHEE I.R.C. = IRON ROD & CAP P.C.P. = PERMANENT CLF = CHAIT LINK FENCE LP = LIGHT POLE CONTROL POINT C/L = CENTERLINE (M) = MEASURED P.G. = PAGE D.B. = DEED BOOK M.D.C.R. = MIAMI DADE COUNTY P.O.B. = POINT OF BEGINNING D.E. = DRAINAGE EASEMENT RECORDS X X X	NVTG. - ROARGE RW = Right OF WAY S = SOUTH SEC. = SECTION SQ.FT. = SQUARE FEET TWP. = TOWNSHIP UE. = UTILITY EASEMENT	Constant of the second of the
E = EAST MAINT. = MAINTENANCE -//-//-//- = WOOD FENCE ELEC. = ELECTRIC MF = METAL FENCE - - - = WOOD FENCE ELEV. = ELEVATION MH = MANHOLE - - - - = METAL FENCE ENCH. = ELEVATION MH = MANHOLE - - - - = METAL FENCE ENCH. = ENCROACH/ N = NORTH - - - - - - - - - - - - - NORTEFEFENCE CONCRETE FENCE - CONCRETE FENCE -	W = WEST WF = WOOD FENCE WM = WATER METER	STATE OF FLORIDA



1"=20'

NOTES:				REVISIONS & SURVEY UPDATES	1	DATE OF SURVEY	BY
1. Unless otherwise noted field	measurements	are in agreement	with			a nenoiono	
2 Angles per Plat Book 1 Pag	ne 32. Broward	County Records.					
3. The lands shown hereon were	e not abstracte	d for ownership, rig	hts of				
way, easements, or other matte	ers of records l	by Accurate Land Si	urveyors,				
A Ownership of fences and wall	s if any are no	ot determined.					
5. This survey is the property o	of Accurate Lan	d Surveyors, Inc. ar	nd shall				
not be used or reproduced in w	hole or in part	without written					
authorization.	atures such as	foundations, utility	lines. Ext.			SFAI	
were not located on this survey.	. This is an ab	ove ground survey	only.	<u>CERTIFICATION:</u> This is to certify that this above around sketch of t	oundary survey		
7. The flood zone information	shown hereon i	is for the dwellable	structure	was made under my responsible charge and is accur	ate and	SUDDODUUU	
only unless otherwise indicated.	ility lines are a	pproximate in natur	e due to	correct to the best of my knowledge and belief. I fu	rther certify	Seit	om
their proximity above ground. size	ze, type and q	uantity must be ver	ified prior	that this sketch meets the current Standards of Pr	ractice,	anse No	masol
to design or construction.			41	Chapter 5.1—17 Florida Administrative Codes, pursuar	nt to current	冒~/ ジ _{NO.38}	59 R \7 8
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12. PDF copies of this survey a	re not valid wit	thout the digital sig	nature of	ROBERT 1 THOMPSON (PRESIDENT)		Survey	orall
a Florida Licensed Surveyor and	Mapper and m	ust be verified.		PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF	FLORIDA	200000000	When
ORIGINAL DATE OF SURVEY DRAW	WN BY	CHECKED BY	FIELD BOO	DK	SCALE 1"-	20' SKETCH SUL	24-0428
03-29-2024 O.I.W		R.L.T.	24-0428		JUALL I -	NUMBER 30	27 0720

Plunkett Residence Porch Renovation

1133 Van Buren Street, Hollywood, Florida 33019





LOCATION MAP SCALE: NTS

SHEET INDEX

ARCHITECTUAL

- **TITLE SHEET & SITE PLAN** SP.1
- FLOOR PLAN & ROOF PLAN A.1
- **BUILDING ELEVATIONS** A.2
- A.3 WALL SECTIONS
- **3D VIEW & MATERIALS** A.4
- A.5 3D VIEW
- A.6 SITE PHOTOS AND STREET PROFILE

PROJECT DATA

EXISTING SINGLE FAMILY RESIDENCE CMU CONSTRUCTION

ZONING = RS-6 (RESIDENTIAL) SINGLE STORY HOUSE

BUILDING TYPE: (EXISTING BUILDING) GROUP R3 SINGLE FAMILY RESIDENCE **BLDG. CONSTRUCTION TYPE V B - UNPROTECTED**

LEGAL DESCRIPTION:

LOT 6 AND THE WEST 1/2 OF LOT 7 IN BLOCK 37 OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



SITE PLAN

SCALE: 3/32" = 1'-0"

Architecture + Planning

Olivier G. Danan, AIA

14888 Enclave Lakes Drive Suite 01C3 Delray Beach, Florida 33484 Tel: (561) 504-2251 Email: danangroup@gmail.cor

Members of The American Institute of Architects







WALL& ROOM LEGEND

8" CMU W/ 3/4" CEMENT **STUCCO EXTERIOR - BOTH** SIDES

EXISTING PARTITION / WALL

EXTERIOR WALL: 8" CONCRETE BLOCKS

1. REMOVE ALL FINISH PATIO FLOORING IN AREA OF NEW CONSTRUCTION.

	NO. DATE REVISION
	ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF OLIVIER G. DANAN, ARCHITECT WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE FROM THE DIMENSIONS ON THESE DRAWINGS SHALL HAVE SHOP DETAILS OF ADD CONDITIONS SHOWN BY THESE DRAWINGS. OFFICE FOR APPROVAL BEFORE PROCEEDING PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION WITH FABRICATION ON ITEMS SO NOTED.
	Floor & Roof Plan
	Plunkett Residence Porch Renovation 1133 Van Buren Street, Hollywood, Florida 33019
	LIC: AR 91872
15-2024	Danan Group, Inc. Architecture + Planning Olivier G. Danan, AIA 14888 Enclave Lakes Drive Suite 01C3 Delray Beach, Florida 33484 Tel: (561) 504-2251 Email: danangroup@gmail.com
Historical Board: 12-0	A.1 Project Number Date 24-03 12-05-2024



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	NO. DATE REVISION	- -						
	ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR	REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT NONE OF SUCH	IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE	WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF OLIVIER G. DANAN, ARCHITECT WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.	SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING PRECEDENCE OVER SCALE DIMENSIONS CONTRACTORS SUM L'ACENTY MUL ET DECONDUCED FOR	ALL DIMENSIONS. CONTRACTORS STALL VENT AND DE RESCONSIDLE TOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION WITH FABRICATION ON ITEMS SO NOTED.		
	Building Elevations							
	Plunkett Residence Porch Renovation 1133 Van Buren Street, Hollywood, Florida 33019							
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l Board: 1			Δ		2			

Project Number Date 24-03 12-05-2024









3D VIEWS AND MATERIAL STUDY SCALE: NTS



SPANISH ROOF TILES TO MATCH EXISTING ROOF TILES

	NO. DATE REVISION	
	ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF OLIVIER G. DANAN, ARCHITECT WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE FROM THE DIMENSIONS AND CONDITIONS SHOWING SHALL HAVE SHOP DETALS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR ADEQUATE SCALE MUST BE SUBMITTED TO THIS	DIMENSIONS, CONTRACTOR SHALL VERIFY AN INCLOSMON BLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION WITH FABRICATION ON ITEMS SO NOTED.
	3D View & Materials	
	Plunkett Residence Porch Renovation	1133 Van Buren Street, Hollywood, Florida 33019
	LIC: AR 918	72
	Danan Group, In Architecture + Pla Olivier G. Danan, Al 14888 Enclave Lakes Suite 01C3 Delray Beach, Florida Tel: (561) 504-2251 Email: danangroup@	C. anning A Drive 33484 gmail.com
5-2024	Members of The American Institute of Architect	
12-0		s

oject Number

Date

24-03 12-05-2024

SPANISH ROOF TILES

PAINTED CONCRETE COATING -**BENJAMIN MOORE:** CAPITOL WHITE CW-10

TO MATCH EXISTING ROOF TILES

1	Y	5	
	~	-	1

Capitol White	

PAINTED CONCRETE COATING -BENJAMIN MOORE: CAPITOL WHITE CW-10









STREET PROFILE





FRONT OF PROPERTY PHOTOS

PHOTOS OF SITE

SCALE: NTS



	NO. DATE REVISION									
	ALL IDEAS. DESIGNS. ARRANGEMENTS AND PLANS INDICATED OR	REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH, THE SPECIFIED PROJECT, NONE OF SUCH	IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE	WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF OLIVIER G. DANAN, ARCHITECT WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.	SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING PRECEDENCE OVER SCALE	DIMENSIONS - CONTRACTORS STRAFT FRAFT AND BE REPOVABLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION WITH FABRICATION ON ITEMS SO NOTED.				
			Site Photos							
	Dlunkatt Bacidanca	Darch Renovation			1133 Van Buren Street, Hollywood, Florida 33019					
	LIC: AR 91872									
7-2-02-1	Danan Group, Inc. Architecture + Planning Olivier G. Danan, AIA 14888 Enclave Lakes Drive Suite 01C3 Delray Beach, Florida 33484 Tel: (561) 504-2251 Email: danangroup@gmail.com									
	Pi	roject 24	Nurr -03	nber 1	E 2-0!	Date 5-20	24			
ATTACHMENT B Aerial Photograph



<u>1133 Van Buren Street</u>



City of Hollywood

Staff Summary

Hollywood City Hall 2600 Hollywood Blvd Hollywood, FL 33020 http://www.hollywoodfl.org

File Number: 2. 2025 0311

Agenda Date:	3/11/2025	Agenda Number:
То:	Historic Preserva	ation Board
Title:	FILE NO.: APPLICANT: LOCATION: REQUEST: a new single fa Off-Street Parki parking from 1.3 25-HD-R zoning Hollywood Beach	24-CV-76 501 S. Surf Rd. Trust 501 South Surf Road Certificate of Appropriateness for Design to construct amily dwelling, and a Variance of Section 4.6.C.e.(5) ing Standards to permit an increase in off street 5 permitted spaces to 5 parking spaces in the BWK- g district located at 501 South Surf Road, within the h Historic Overlay District.

CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF DEVELOPMENT SERVICES DIVISION OF PLANNING AND URBAN DESIGN

DATE: March 11, 2025

FILE: 24-CV-76

- TO: Historic Preservation Board
- VIA: Anand Balram
- **FROM:** Lauren Pruss, Principal Planner
- **SUBJECT:** 501 S. Surf Rd. Trust requests a Certificate of Appropriateness for Design to construct a new single family dwelling, and a Variance of Section 4.6.C.e.(5) Off-Street Parking Standards to permit an increase in off street parking from 1.5 permitted spaces to 5 parking spaces in the BWK-25-R zoning district located at 501 South Surf Road, within the Hollywood Beach Historic Overlay District.

APPLICANT'S REQUEST

Certificate of Appropriateness for Design and Parking Variance for a single family dwelling located at 501 South Surf Road, within the Hollywood Beach Historic Overlay District.

Variance: Increase the permitted number of parking spaces from 1.5 to 5 parking spaces.

STAFF'S RECOMMENDATION

Variance: Approval.

Certificate of Appropriateness for Design: Approval if the Variance is granted, with the following conditions:

- 1. Substantial conformance to the Schematic Design Package for 501 S. Surf Rd. prepared by Kaller Architects, with a stamp and seal dated February 17, 2025.
- 2. The applicant is to continue to coordinate this private development with the Community Redevelopment Area's (CRA) Phase IV project to ensure that there are no conflicts between construction schedules.
- 3. The applicant is to work with the CRA on the selection of materials and finishes adjacent to the Streetend (between Surf Road and the Broadwalk).
- 4. The applicant is to work with CRA to retain as much on-street parking at the Streetend as possible.
- 5. Prior to issuance of building permits, the proposed plans shall be revised to provide consistent design for the Jackson Street and Surf Road cross sections, as approved by the Community Redevelopment Agency and Engineering Department as well as addressing

pavement restoration on Surf Road and eliminate discrepancies between the civil engineering plans and architectural site plan.

- 6. Prior to issuance of building permits, the applicant shall revise plans accordingly and receive the following approvals:
 - a. Florida Department of Environmental Protection (FDEP) approval of Coastal Construction Control Line (CCCL) Permit Application with breakaway wall design certification and details.
 - b. Submit V-Zone Certification with FEMA Scouring Report.
 - c. Signed/Sealed Drainage calculations applying the latest water table elevations and rim elevations.
 - d. Revise Sheet C-03 to match rim elevations on plan view with details.
 - e. Details and Notice of Approvals (NOAs) for glazing system for stairwell.
 - f. Outside agency approvals as applicable from FDEP, South Florida Water Management District (SFWMD), Broward County, Army Corp of Engineers (ACOE), etc.

BACKGROUND

The subject property is a vacant, ocean-front lot located at the southeast corner of Jackson Street and South Surf Road in the BWK-25-HD-R Broadwalk Historic District Residential Zone at 501 South Surf Road. It is an irregularly shaped 80-foot by 80-foot lot containing 6,376 square feet of lot area. The lot is surrounded by residential uses (single family and multi-family) to the north, west and south, and Hollywood Beach and the Broadwalk to the east. The property has street frontage on Surf Road on its west side and Jackson Street on its north side. The Broadwalk, located to the east, is not a street, but is a right-of-way. The site is located in flood zone V, and seaward of the Coastal Construction Control Line, which requires several external agency reviews, with restrictions on construction located below the base flood elevation.

REQUEST

The Applicant requests a Certificate of Appropriateness for construction of a new single family dwelling and a variance to permit an increase in off street parking from a maximum of 1.5 off street parking spaces to 5 off street parking spaces. The proposed building will contain a total of 12,992 square feet, with 9,881 square feet of building under air. The first floor features entry areas, storage, and parking to accommodate FEMA design regulations including frangible walls and glass designed to break or collapse on impact to reduce the risk of harm during flood or storm events. The second through fourth floors feature living areas with balconies providing expansive views of the ocean, intracoastal, and surrounding barrier island. The outdoor living areas also feature a 12 foot by 10 foot pool is located on the second floor balcony and a rooftop terrace. Other than requested variance, the proposed development meets all applicable requirements of the Zoning and Land Development Regulations.

The proposed architecture has a modern-contemporary style with an open design emphasizing transparency. The ground floor incorporates both stone and glass, which provide an attractive design for a portion of the building that would be otherwise inactive due to coastal construction requirements. The

proposed exterior materials are of a neutral palette consisting of natural travertine stone, grey stone, white stucco with a sand finish, natural wood, and dark bronze metal framing. Lush tropical landscaping will surround the dwelling reinforcing the coastal environment surrounding the property.

In addition to the proposed dwelling unit, the applicant proposes to reconfigure the street design of Jackson Street and Surf Road incorporating parking and paving improvements, and underground utilities along Surf Road in conformance with the Community Redevelopment Agency's (CRA) Phase IV streetscape improvement project. Staff has recommended several conditions for approval due to the timing of external agency permits needed for construction, as well as to ensure coordination with the CRA on the adjoining road improvements.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing, and location for all properties within the district. The proposed home is consistent with the character of the Hollywood Beach Historic Overlay District and the design maintains the spatial relationship with surrounding properties in its scale and massing.

SITE BACKGROUND

Applicant/Owner:	501 S. Surf Rd. Trust
Address/Location:	501 South Surf Road, Hollywood, Florida, 33019
Size of Property:	6,376 sq. ft. (0.146 acres)
Present Zoning:	Boardwalk Historic District Residential (BWK-25-HD-R)
	Hollywood Beach Historic Overlay District (HPOD-3)
Present Land Use:	Medium High (25) Residential (MHRES)
Present Use of Land:	Vacant

ADJACENT LAND USE AND ZONING

North:	Multifamily
	Broadwalk Historic District Residential (BWK-25-HD-R)
	Hollywood Beach Historic Overlay District (HPOD-3)
South:	Vacant Residential
	Broadwalk Historic District Residential (BWK-25-HD-R)
	Hollywood Beach Historic Overlay District (HPOD-3)
East:	Broadwalk, Oceanfront
	Broadwalk Historic District Residential (BWK-25-HD-R)
	Hollywood Beach Historic Overlay District (HPOD-3)
West:	Multifamily
	Beach Resort Residential District (BRT-25-R)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.

The proposed design is consistent with the scale and massing of the adjacent neighborhood, while

allowing the Applicant to maximize the use of their property. By allowing the Applicant to construct a new, modern development, the City is accomplishing the desired reinvestment in the Hollywood Beach Historic Overlay District and Hollywood Beach Community Redevelopment Agency CRA) area.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed new duplex and improvements are sensitive to the character of the Hollywood Beach Sub-Area (Sub-Area 4) through its design which possess similar characteristics to existing structures in the surrounding neighborhood, whilst also providing a catalyst for redevelopment of the area.

Policy CW.15: Place a priority on protecting, preserving, and enhancing residential neighborhoods.

Policy 4.1: Recognize and protect the unique character of Hollywood Beach and each of the three areas that comprise it; North, Central, and South Beach; and provide a clear vision for creating a more harmonious and attractive community.

Policy 4.34: Work within the framework of the Beach CRA to implement the Master Plan vision for Hollywood Beach within the CRA boundaries.

Policy 4.36: Identify obsolete structures and work to have them demolished and redeveloped, while preserving buildings of historical value.

APPLICABLE CRITERIA

Analysis of Criteria and Findings for a Variance as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

- Variance Request: To permit an increase in the maximum permitted number of parking spaces from 1.5 parking spaces to 5 parking spaces, pursuant to Section 4.6.C.e.(5) of the ZLDRs.
- **CRITERIA 1:** That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.
- ANALYSIS: The proposed development is located within the BWK-25-R zoning district with a Medium High (25) Residential (MHRES) land use designation. The land use of "Residential" is a permitted use in this zone, which permits a range of densities from one unit, up to 25 units per acre. The parking requirements of this zone differ from the standard requirements of Article 7, Off Street Parking of the Zoning and Land Development Regulations which would otherwise require 5 off street parking spaces. In the BWK-25-HD-R zone, a minimum of one space per unit, not to exceed a maximum of 1.5 spaces per unit is permitted, which is consistent with higher density zoning districts so as to minimize the overall required parking allowing an emphasis on the pedestrian environment. The underlying zoning and land use designation contemplated higher densities than the allowable single family unit. Furthermore, the site's oceanfront location restricts the

ability to develop the ground floor with habitable uses, making parking an obvious use of this area.

The applicant states "the proposed development is a single family residence which would typically require 5 parking spaces in all other districts of the City and is a realistic scale of parking for this size residence. Considering that our project features 6 bedrooms and multiple amenity spaces complementing the residence, we think it is far more beneficial for the community and traffic flow for the property to have several internal parking spaces available for both residents and visitors."

- FINDING: Consistent.
- **CRITERIA 2:** That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
- ANALYSIS: The requested variance will provide for a design that will be compatible with, and enhance, the surrounding medium and higher density residential land uses. The proposed development is a modern-contemporary design that will contribute to the vision of the Hollywood Beach Historic Overlay District and CRA area.
- FINDING: Consistent.
- **CRITERIA 3:** That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city.
- ANALYSIS: The goal of the Land Use Element *is to promote a distribution of land uses enhancing and improving the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property.* The applicant proposes to develop the site with a single family dwelling consistent with the underlying land use designation and zoning, while complying with FEMA requirements for coastal construction.
- FINDING: Consistent.
- **CRITERIA 4:** That the need for the requested Variance is not economically based or self-imposed.
- ANALYSIS: The site is located within flood zone V, and seaward of the Coastal Construction Control Line (CCCL). Those areas that are enclosed under the base flood elevation must have frangible wall construction in accordance with FEMA requirements for coastal construction. Furthermore, areas below the base flood elevation are only permitted to include access, parking and storage uses. The Design Guidelines do not directly address these construction requirements, but the proposed first floor design is consistent with other recently approved coastal construction. The Applicant is proposing to enclose that portion of the structure that is not permitted to have habitable space due to FEMA regulations, making parking an obvious use of this area.
- FINDING: Consistent.

- **CRITERIA 5:** That the Variance is necessary to comply with state or federal law and is the minimum Variance necessary to comply with the applicable law.
- FINDING: The Applicant is proposing enclosed parking within that portion of the structure that is not permitted to have habitable space due to FEMA regulations, making parking an obvious use of this area.

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

- **CRITERION:** INTEGRITY OF LOCATION
- ANALYSIS: The Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings*. The proposed single family structure complies with all applicable requirements of the Land Development Code with exception to the maximum allowable 1.5 parking space requirement. If this area were not designed for parking, it could not be designed for habitable space due to it's coastal location. The design is of a scale that is consistent with the built form of the surrounding area, which consists of a range of medium and higher density residential uses.
- FINDING: Consistent.
- **CRITERION:** DESIGN
- ANALYSIS: The Historic District Design Guidelines encourages new construction to be compatible with the character of the neighborhood regarding scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape, and environment. The Applicant proposes a modern-contemporary design that includes with an open design emphasizing transparency. The ground floor incorporates both stone and glass, which provide an attractive design for a portion of the building that would be otherwise inactive due to coastal construction requirements. The proposed exterior materials are of a neutral palette consisting of natural travertine stone, grey stone, white stucco with a sand finish, natural wood, and dark bronze metal framing. Lush tropical landscaping will surround the dwelling reinforcing the coastal environment surrounding the property.
- FINDING: Consistent
- **CRITERION:** SETTING
- ANALYSIS: As stated in the Design Guidelines, "...setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood." The proposed development demonstrates compatibility with the neighborhood and does not disrupt the relationship to other buildings within the Hollywood Beach Historic Overlay District.

FINDING: Consistent.

CRITERION: MATERIALS

- ANALYSIS: The Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials that are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The proposed exterior materials are of a neutral palette consisting of natural travertine stone, grey stone, white stucco with a sand finish, natural wood, and dark bronze metal framing that will compliment the existing development in the surrounding area.
- FINDING: Consistent.
- **CRITERION:** WORKMANSHIP
- ANALYSIS: The Design Guidelines recommend consideration of significant materials before undergoing rehabilitation of a historic structure or property. Materials of the addition are sensitive in design and nature to the home and adjacent properties. The design of the new duplex is consistent with current workmanship styles and methods in the area.
- FINDING: Consistent.
- **CRITERION:** ASSOCIATION
- ANALYSIS: Design Guidelines recommend maintaining consistent spacing and setbacks and further state new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district. The proposed development conforms to all requirements of the Zoning and Land Development Regulations, except for the maximum allowed number of parking spaces. As such, the proposed design is consistent with the scale and massing of the adjacent neighborhood.
- FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A:	Application Package
ATTACHMENT B:	Aerial Photograph



PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE:

2600 Hollywood Blvd Room 315 Hollywood, FL 33022	APPLICATION TYPE (CHECK AL Technical Advisory Committee Planning and Development Board City Commission	Art in Public Places Committee Historic Preservation Board Administrative Approval	Variance Special Exception
Tel: (954) 921-3471 Email: Development@ Hollywoodfl.org SUBMISSION REQUIREMENTS: • One set of signed & sealed plans	PROPERTY INFORMATION Location Address: 501 South Surf Lot(s): 1 & 2 Blo Folio Number(s): 51421302870 Zoning Classification: BWK-25-HD-F	FRoad ock(s): <u>13</u> S	ubdivision: Hollywood Beach
 (i.e. Architect or Engineer) One electronic <u>combined</u> PDF submission (max, 25mb) Completed Application Checklist Application fee 	Existing Property Use: Residential - Vacant Sq Ft/Number of Units: 1 Unit 9,881 Sq. Ft. Is the request the result of a violation notice? Yes No If yes, attach a copy of violation. Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s):		
NOTE:	Phased Project: Yes I No Num Project Units/rooms (# of units)	nber of Phases: Proposal # UNITS: 1	#Rooms
 This application must be <u>completed in full</u> and submitted with all documents to be placed on a Board or Committee's agenda. 	Open Space (% and SQ.FT.) Parking (# of spaces) Height (# of stories)	Required %: (/ PARK. SPA (# STORIES) 4	N/A S.F.) Area: S.F.) ACES: (# 5) (40 FT.)
The applicant is responsible for obtaining the appropriate checklist for each type of application. Image: Correct Property Owner: 501 S. Surf Rd Trust Address of Property Owner: 2417 Hollywood Boulevard Source Property Owner: 2417 Hollywood Boulevard Address of Property Owner: 2417 Hollywood Boulevard Telephone: 954-920-5746 Applicant(s) or their authorized legal agent must be present at all Board or Committee Joseph B. Kaller Kaller Architecture Consultant I Representative Telephone: 954-920-5746			ects.com Representative Tenant Donne: 954-920-5746
meeungs.	Email Address: joseph@kallerarchitects.com Email Address #2:Is there an option to purchase the Property? Yes No		



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Mamle trustee	Date: 10/8/24
PRINT NAME: Melissa M. Grossman as Trustee of the 5013. Sur	A Trust 10/8/24
Signature of Consultant/Representative:	Date: 10-8-2024
PRINT NAME: Joseph B. Kaller	Date: 10-8-24
Signature of Tenant:	Date:
PRINT NAME:	Date:

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller Kaller Architecture to be my legal representative before the Historic Preservation Committee) relative to all matters concerning this application. (Board and/or

Sworn to and subscribed before me

this 8th day of October 2024

commonwealth of Pennsylvania

Notary Public State of Florida

My Commission Expires:

(Check One) Personally known to me; OR Produced Identification

Commonwealth of Pennsylvania - Notary Seal TINA P. FELDMAN, Notary Public Philadelphia County My Commission Expires May 4, 2026 Commission Number 1417912

Melissa M. Grossman, as Trustee of the Print Name 5015. Surf Rd.

Signature of Current Owner



Kaller Architecture

501 S SURF RD. HOLLYWOOD, FL. 33019 DESIGN CRITERIA AND PROJECT DESCRIPTION

The design for this four-story residence, situated in a prime location facing the ocean, is conceived under the core principles of contemporary architecture, emphasizing openness and transparency. Its design seeks to engage respectfully with the natural and urban environment while providing its residents with an elevated living experience, constantly connected to the sweeping ocean views.

The ground floor, dedicated to parking and storage, serves as a solid base upon which the upper structure rises. The three upper levels encompass generous living spaces that open expansively to the outside through large glass surfaces made of Low-E glass, a material selected both for its thermal efficiency and its ability to enhance views without compromising interior comfort. The glass, along with dark bronze framing, lends a light yet elegant appearance, seamlessly integrating the residence with its coastal surroundings.

A defining feature of the design is the use of prominent cantilevers, which cast deep shadows over the terraces, providing protection from the tropical sun. This interplay of shadow and transparency accentuates the relationship between interior and exterior spaces, creating transitional zones that connect with the surrounding vegetation. The cantilevered terraces, together with the rooftop viewing terrace, act as observation platforms, allowing residents to fully enjoy the ocean views while reinforcing the sense of openness that defines the home.

In terms of materials, the project adopts a sober, neutral palette that harmonizes with the natural and architectural context of Hollywood. Travertine stone is applied to specific areas of the façade, evoking a materiality that connects with the Mediterranean tradition and the natural textures of the environment. Complementing this, light gray stone is used in details that add contrast and depth, while the white stucco with a sand finish brings a luminous and tactile quality to the exterior. The use of natural wood in select elements introduces warmth and a human touch, while preserving the contemporary and minimalist character of the residence.

Lush tropical vegetation surrounds the home, softening the transition between the structure and the landscape, reinforcing the notion of living in a coastal paradise. The selected trees and plants not only enhance the immediate environment but also play a vital role in creating microclimates, filtering sunlight, and promoting natural ventilation.

This residence is designed to offer all modern comforts to its inhabitants without disrupting the harmony of the existing architectural fabric in the area. The project respects the scale and architectural language of the local context, while its materiality and volumetric design ensure a harmonious integration with its surroundings, creating a respectful dialogue between the historic and contemporary architecture of Hollywood.

501 S SURF ROAD RESIDENCE

501 S SURF ROAD. HOLLYWOOD, FL 33019

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 13 OF "HOLLYWOOD BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Property ID: 514213012870 Site Area: 6,376 SF (0.14 acres)

ARCHITECTURE

A-0.0	COVER
A-R.1	RENDERING
A-R.2	RENDERING
A-R.3	AERIAL RENDERING
A-R.4	AERIAL RENDERING
A-1.1	SITE PLAN, SITE DATA & PROJECT INFO
A-1.2	CONTEXT SITE PLAN & PROJECT DESCRIPTION
A-1.3	AREA DIAGRAM
A-1.4	COLOR PHOTOGRAPHS SUBJECT SITE & ADJACENT PROPERTIES
A-2.1	GROUND FLOOR
A-2.2	SECOND FLOOR
A-2.3	THIRD FLOOR
A-2.4	FOURTH FLOOR
A-2.5	ROOF TERRACE
A-2.6	ROOF PLAN
A-3.1	NORTH ELEVATION
A-3.2	WEST ELEVATION
A-3.3	SOUTH ELEVATION
A-3.4	EAST ELEVATION
A-3.5	STREET PROFILE

ARCHITECT

JOSEPH B.	KALLER AND ASSOCIATES, P.A.
CONTACT:	Mr. JOSEPH B. KALLER
ADDRESS:	2417 HOLLYWOOD BLVD.
	HOLLYWOOD, FL 33019
PHONE:	(954)-920-5746
FAX:	(954)-926-2841
EMAIL:	joseph@kallerarchitects.com

COVER













501 S SURF RD HOLLYWOOD, FL 33019

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 13 OF "HOLLYWOOD BEACH TO THE PLAT THEREOF, AS RECORDED IN PLAT B OF THE PUBLIC RECORDS OF BROWARD COUNTY Property ID: 514213012870 Site Area: 6,376 SF (0.14 acres)

ZONING INFO

BASIC ZONING Zone: BWK-25-HD-R Broadwalk Hist RESIDENTIAL Existing Building Use: Residential Existing Land Use: **BUILDING INTENSITY** Maximum Lot Coverage: N/A Maximum Building Height: 40 ft Maximum Height - Stories: 4 N/A Floor Area Ratio: BUILDING BASE SETBACK (up to 25' height): **Cross Streets :** 10.00 ft 5.00 ft Broadwalk: 5.00 ft Surf Road: Interior Side: Sum of shall ec width; **BUILDING TOWER SETBACK:** 20.00 ft **Cross Streets :**

Broadwalk:	15.00 ft
Surf Road:	15.00 ft
nterior Side:	10.00 ft

Lot width shall be measured along Surf Road.

Cross Street, Broadwalk, and Surf Road building
setbacks may match building base setbacks for
40% of the site frontage.

Balcony Encroachments 25% of the required setback

FEMA	
Proposed (effective July 31, 2024)	VE: 11 Feet

FENCES AND WALLS:

Residential Zone.	
Front yard area:	4 ft.
Side yard area:	6 ft.
Rear yard area:	6 ft.

PARKING REQUIREN

2 parking spaces for Then one stall every

3

PROJECT INFO N.T.S.

PROJECT INFO

	Maximum Building Heig	ht.	he intended
FACH" ACCORDING	Allowed:	40 ft	io produce t
$\Delta T BOOK 1 PAGE 27$	Proposed:	40 ft (4 Stories)	necessary
			Kaller Architecture
NTT, TEORIDA.	BUILDING BASE SETBA	ACK (up to 25' height):	# AA# 26001212 2 2417 Hollywood Blvd. Hollywood Florida 33020 954.920.5746
	Cross Streets :		joseph@kallerarchitects.com
	Minimum:	10.00 ft	
	Proposed:	10.00 ft	
	Broadwalk:		A PH B. KA
	Minimum:	5.00 ft	
	Proposed:	5.00 ft	
	Surf Road:		
	Minimum:	5.00 ft	
	Proposed:	5.00 ft	FLORIDA R.A. # 0009239
Historic District Residential	Interior Side:		ance by the
IAL - VACANT LAND	Minimum:	10.00 ft	all; perform
	Proposed:	10.00 ft	equired by :
	BUILDING TOWER SETI	BACK:	RD 33019
54 54	Cross Streats :		
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	Bronocod:	20.00 ft	SIC SIC Network
	Proposed.	20.00 ft (00%)	
		10.00 ft (40% matching	
רח וו	Duradurally	building base setback)	
	Broadwaik:	45.00 %	The Contration
0 ft	Minimum:	15.00 ft	Nontractor.
u ll m of interior oide oothooko	Proposed:	15.00 ft (60%)	P C
n of interior side setbacks		5.00 ft (40% matching	and the work
in equal a minimum 25% of lot		building base setback)	
ith; 10 feet minimum.	Surf Road:		
	Minimum:	15.00 ft	
00 ft	Proposed:	15.00 ft (60%)	SIG
DO ft		5.00 ft (40% matching	Items need
00 ft		building base setback)	
00 ft	Interior Side:		
	Minimum: Proposed:	10.00 ft 10.00 ft	
	T Toposed.	10.00 ft	
- towar	Fence:		
g tower	Proposed:	4 ft	BOARD/ COMMITE DATE DESCRIPTION
	<u>OPEN SPACE - PERVIO</u>	<u>US AREA:</u>	minary sets of Building
tback or 6'-0" Max.			olete or prei
	Minimum Requir	red: 20% (1,275.2 ft ²)	se of incom
4	Proposed:	28%(1,791 ft²)	from the us
			is resulting
		A/C TABLE SHEDULE	interretation
		GROUND FLOOR: 524 ft ²	introis or mis
		SECOND FLOOR: 2,900 ft ²	by
		THIRD FLOOR: 2,978 ft ²	remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.
		FOURTH FLOOR: 2,978 ft ²	rchitect ass.
		ROOF TERRACE: 501 ft ²	PROJECT No.: 24217
	1	TOTAL A/C AREA: 9,881 ft ²	DATE: 02.05.25
REMENT	l	<u></u>	REVISED BY: JBK
for the first 2000 so ft of under air		REQUIRED: 5 SPACES	is in prepar
very 500 SF with a can at 5			SHEET
NOTE: ALL CHANGES TO THE DESIGN WILL REC	UIRE PLANNING REVIEW AND MA	Y BE SUBJECT TO BOARD APPROVAL.	



	SOUTH BROADWALK 21 AD PAVERS WALKWAY		BIDOADWALK BASE SETBACK S' BROADWALK OWER SETBACK OWER SETBACK	mance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.	A # 26001212 AT Hollywood Blvd. Wwood Florida 33020 954.920.5746 Mekallerarchitects.com Kallerarchitects.com
FIRE W.P. POLE SIGN A 2978 SF E 664 SF	80.00' SOUTH SURF R Is' ASPHALT PAVEMEN (15.00' TOTAL RIGHT-OF-WAR LOT - 28 BLOCK -13	ROAD IT Y) (PLAT)	15' SURF ROAD TOWER SETBACK 5' SURF ROAD I BASE SETBACK 0 W.P. POLE	y the Contractor. The Contractor Documents are complimentary, and what is required by one shall be as binding as if required by all; perforproJECT TITLE	DUL S SUKF KU RESIDENCE HOLLYWOOD, FL. 33019 -
524 ft² 2.900 ft²	TERRACES: GROUND FLOOR: SECOND FLOOR:	173 ft² 774 ft²		Iting from the use of incomplete or preliminary sets of Building Documents. The intert of the Contract Documents is to include all items necessary for the proper excecution and completion of the work DACM DACKAGF SCHEMATIC DESTIGN PACKAGF	EETING DATES
2,978 ft ² 2,978 ft ² 501 ft ² <u>9,881 ft²</u> <u>9,881 ft²</u> <u>SPACE - PERVIOUS (MIN.</u> <u>A (OPEN SPACE - PERVIO</u> NOTE: ALL CHANGES TO THE DE	THIRD FLOOR: FOURTH FLOOR: ROOF TERRACE: TOTAL TERRACE AREA: 11 ft² REQ. 20%): US): 1,791 ft² (28%) SIGN WILL REQUIRE PLANNING REV	664 ft ² 664 ft ² 2584 ft ² <u>4,859 ft²</u>	BJECT TO BOARD APPROVAL.	Bidders shall use complete sets of Bidding Documents in preparing bids, neither the Owner nor Architect assumes responsibility for errors or misinterretations results. DESTIGNEEL DESTIGNEEL REVISED E	as an instrument of service, is and shall operty of the Architect and shall not be ublished or used in any way without the bernission of the Architect. No.: 24217 02.05.25 : SCHIFFINO 37: JBK SHEET -11.4

301 OREGON ST. HOLLYWOOD FL. 33019

VIEW FROM S. BROADWALK

511 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. BROADWALK

1/16" = 1'-0"

501 S. SURF RD. HOLLYWOOD FL. 33019 VIEW FROM S. BROADWALK / JACKSON ST. COLOR PHOTOGRAPHS OF SUBJECT SITE AND ADJACENT PROPERTIES

301 OREGON ST. HOLLYWOOD FL. 33019

VIEW FROM OREGON ST.

511 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. SURF RD.

501 S. SURF RD. HOLLYWOOD FL. 33019

VIEW FROM S. BROADWALK

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KALLER ARCHITECTURE, ALL RIGHTS RESERVED ©

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BI

LIGHT SAND TEXTURE STUCCO COLOR: WEB GRAY SW 7075 LRV: 13

SAW-CUT TRAVERTINE HORIZONTAL FORMAT

NORTH ELEVATION 3/16" = 1'-0"

IPE WALL CLADDING AND EXTERIOR CEILINGS

GREY CLADDING REF. FOIL TITANIUM CERAMICHE REFIN SPA

GREY CLADDING **REF. FOIL BURNISH** CERAMICHE REFIN SPA

NOTE:

ΗI ALUMINUM DURANAR BERMUDA BRONZE UC105262 ESW

WEST ELEVATION 3/16" = 1'-0"

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LRV: 8	4	LRV: 13		and the second second	HORIZONT	al format		
1 SOUTH I	ELEVATION							
3/16" = 1'-0"								

IPE WALL CLADDING AND Exterior Ceilings

GREY CLADDING REF. FOIL TITANIUM CERAMICHE REFIN SPA

GREY CLADDING REF. FOIL BURNISH CERAMICHE REFIN SPA

	UPPER ROOF 52' - 8" (60.33' NAVD)			PLUE Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from them as being necessary to produce the contract Documents and reasonably inferable from the contract Documents and reasonable from the contreasonable from the contract Documen	Architecture AA# 26001212 7 Hollywood Blvd. wood Florida 33020 954.920.5746 @kallerarchitects.com Allerarchitects.com SEAL F OF F C O
9-4-				required by all; performance by	
1010"	HEIGHT 40'-0" FROM B.F.E.) HITDING LOMER (HSOM B.F.E.) HEIGHT 40'-0" FROM B.F.E.)			Documents are complimentary, and what is required by one shall be as binding as if r FLE SO1 S SI JRF RD	HOLLYWOOD, FL. 33019
-10"	32' - 6" (40.16' NAVD)			y the Contractor. The Contractor PROJECT TIT	
- <mark>10-</mark>				nd completion of the work b CAGE	
10-10	-03 THIRD FLOOR 21' - 8" (29.33' NAVD) (FROM B.F.E.) (FROM B.F.E.)			e al tems necessary for the proper exceution al IC DESIGN PAC	EVATION
	02 SECOND FLOOR 10' - 10" (18.50' NAVD)			HEET TITLE	OUTH EL
010"	LOWEST STRUCTURAL ELEMENT (15.20' NAVD)			ME	ETING DATES
	BASE FLOOD ELEVATION (B.F.E.) (11.00' NAVD)				DATE DESCRIPTION
	01 GROUND FLOOR 0' - 0" (7.66' NAVD) (19.5" ABOVE SIDEWALK ELEVATION)			preliminary se	
[[]	SIDEWALK (NAVD 6.03')			erretations resulting from the use of incomplete o	
SH		RMUDA BRON7E		This drawing, as remain the proper reproduced, public per PROJECT No DATE: DESIGNER: REVISED BY:	an instrument of service, is and shall erty of the Architect and shall not be ished or used in any way without the mission of the Architect. : 24217 02.05.25 SCHIFFINO : JBK
ISH COATED ALUMINUM NUT NOTE:	TO THE DESIGN WILL REQUIRE PLANNI	(IMUDA BRUNZE N (ESISTANT HARDWARE		mplete sets of Bidding Docurr.	- 3.3

LIGHT SAND TEXTURE STUCCO COLOR: PURE WHITE SW 7005 LRV: 84

B

LIGHT SAND TEXTURE STUCCO COLOR: WEB GRAY SW 7075 LRV: 13

SAW-CUT TRAVERTINE HORIZONTAL FORMAT

EAST ELEVATION 3/16" = 1'-0"

IPE WALL CLADDING AND EXTERIOR CEILINGS

GREY CLADDING REF. FOIL TITANIUM CERAMICHE REFIN SPA

GREY CLADDING **REF. FOIL BURNISH** CERAMICHE REFIN SPA

NOTE:

SOUTH BROADWALK

501 S SURF RD

S SURF RD 500 S SURF RD

306 JACKSON ST

310 JACKSON ST

318 JACKSON ST

340 JACKSON ST

70

PLANT SCHEDULE									
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	CANOPY	CONDITION	NOTES	ACTION
TREES	TREES								
	01	Adonidia merrillii	Manila Palm (double)	N/A	12`CT	12`	Poor		TO BE REMOVED
\bigcirc	02	Cocos nucifera	Coconut Palm	N/A	8`CT	20`	Poor		TO BE REMOVED
\bigcirc	03	Sabal palmetto	Cabbage Palmetto	N/A	6`CT	10`	Fair	NOT QUALIFYING FOR MITIGATION	TO BE REMOVED
\bigcirc	04	Sabal palmetto	Cabbage Palmetto	N/A	6`CT	10`	Fair	NOT QUALIFYING FOR MITIGATION	TO BE REMOVED

INDICATED UTILITIES ARE APPROXIMATE. OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.

NO TREE REMOVAL OR PLANTING ALLOWED UNTIL SUBPERMITS ARE FULLY APPROVED BY CITY.

ATE 2 x \$3	350 = \$700.00
SED FOR MITIGATION	=\$700.00

NO MITIGATION TO BE PAID FOR MITIGATION

IF YOU DIG FLORIDA... CALL US FIRST! 1-800-432-4770 SUNSHINE STATE ONECALLING OF FLORIDA, INC. IT'S THE LAW

CONTRACTOR IS RESPONSIBLE FOR VERIFICATION

The Minor of Gabriela Fo LA 6667277 STATE OF FLORID	Paradise jt 077
2700 E Oakland Pa Suite C Fort Lauderdale FL 33306 c (954) 478 3064 www.florida-landso gabriela@themirrorot	ark Blvd ape.com fparadise.com
SCALE DESIGNED BY DRAWN BY CHECKED BY CAD DWG. DATE REVISIONS per City comments	1/8"=1'-0" GF KM,GF GF 10.07.2024 11.23.2024
Per City comments 3	02.10.2025
501 S Surf Rd Tr Grossman, Melissa HOLLYWOOD BEACH FLORIDA 33019	REMOVAL PLAN, EXISTING TREE LIST

PI ANT	SCH		=					
			-					
SYMBOL	CODE	QTY	BOTANICAL NAME		SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
	Am	2	Adonidia merrillii	Manila Palm	8`CT, sngl, matched	AS SHOWN	NO	нідн
for the second s	Cd	1	Coccoloba diversifolia	Pigeon Plum	min.12`OA, 2"dbh	AS SHOWN	YES	нідн
\bigcirc	Cn	2	Cocos nucifera	Coconut Palm	12'CT, matched	AS SHOWN	NO	HIGH
\bigcirc	Cs2	2	Cordia sebestena	Orange Geiger Tree	min.12`OA, 2"dbh, matched	AS SHOWN	YES	нідн
\bigcirc	Lm	1	Lagerstroemia	Crape Myrtle	min.12'OA, 2"dbh, std	AS SHOWN	NO	нідн
$\mathbf{\hat{\mathbf{b}}}$	Tr1	4	Thrinax radiata	Florida Thatch Palm single	8`CT, sngl, matched	AS SHOWN	YES	НІGН
SHRUBS					-			
Ê	Aa	5	Agave attenuata	Foxtail Agave	3 gal.	AS SHOWN	NO	HIGH
M.	At	2	Agave tequilana	Blue Agave	3`OA	AS SHOWN	NO	нідн
\mathbf{X}	Са	4	Callicarpa americana	American Beautyberry	4`OA, full	AS SHOWN	YES	HIGH
Area and a second secon	Се	92	Conocarpus erectus	Green Buttonwood	5`-6`OA, ftb	30"OC	YES	нідн
Ó	Eg	3	Echinocactus grusonii	Golden Barrel Cactus	7 gal	AS SHOWN	NO	нідн
	Hr2	6	Hibiscus rosa-sinensis	Hibiscus-color tbd by client	24"x24", shrub	AS SHOWN	NO	нідн
$\left(\cdot \right)$	Hr	1	Hibiscus rosa-sinensis	Hibiscus-color tbd by client	4`-5`OA, std	AS SHOWN	NO	нідн
$\overline{\bigcirc}$	Ox	4	Opuntia	Prickly Pear	2'OA	AS SHOWN	YES	HIGH
SHRUB AR	EAS	1	1	Γ	Ι	1	1	Τ
	Bh	68	Bougainvillea x 'Helen Johnson'	Helen Johnson Compact Bougainvillea	3 gal	18"OC	NO	HIGH
	Fg	39	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal	18"OC	NO	HIGH
	Zf	44	Zamia floridana	Florida Coontie	3 gal	24"OC	YES	HIGH
GROUND	OVERS		7	7			1	
	Zc	643 sf	Zoysia spp	Zoysia	sod			
NOTES: 1. SOD A 2. MULCI 3. IT IS T 4. PLAN	 NOTES: SOD AS INDICATED. MULCH ALL BEDS AS INDICATED ON DETAIL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES. PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES. 							
NO SCRAPED OR SCA MIN. 3-(2"X 4") WO NAIL INTO BATTENS REMOVE TOP 1/ IF PRESENT "X4"X24" WOOD STAKE REMAINING ABOVE HE SURFACE	RRED TRUNKS DOD BRACES — W/ 20d NAILS 3 OF BURLAP		HUR PAL NAT SECE DUR BAT STEE 5-(2 5 L/ CLEAR TRUNK CLEAR TRUNK 3" MU 6" EAI BACK	RICANE CUT AND STRIP HEAD IF SABAL M. ALL OTHER PALMS TIE FRONDS W/ URAL JUTE ROPE. JRE BATTEN W/ 2-3/4" HIGH CARBON TL BANDS TO HOLD BATTENS IN PLACE NG PLANTING PROJECT. DO NOT NAIL TENS TO PALM. HEIGHT OF BATTENS L BE LOCATED IN RELATION TO THE HT OF THE PALM FOR ADEQUATE BRACING. TL BAND 2"X4:X16") WOOD BATTENS AYERS BURLAP LCH NONE (1) HORIZONTAL 2": SCREWED INTO TWO (2) VERT AGAINST SIDES OF ROOT BALL (5 FOR TOP VIEW). SHAVE 1½" OFF BALL OF CONTAINERIZED TREES CIRCLI REMOVE TOP 1/3 BUR FILL WITH ORIGINAL SOIL FOR TREES IN DIAMETER O SHALL BE A MINIM	ROOT BALL 2'X2" ON EITHER SIDE OF ROOT BALL. TREE CANOPY HORIZONTAL 2"X2" X2" STAKE, ICAL 2"X2" SEE ABOVE TO DETER NG ROOTS. LAP SODS AREAS, F MULCH RING MUM OF 8'-0".	POI POI POI POI POI POI POI POI	NT AT WHICH SPE RALL TREE HEIGH E CALIPER SHALL HES FROM THE GR INCLUDING 4 INC NCHES ABOVE THI ES. 3" MULCH E WHICH SHAL NO MULCH. 6" EARTH FINISH 10% OF R EXISTING BACKFILL UNLESS G SHALLS GR	CIFIED T IS MEASURED 6 OUND ON TREES UP TO HES IN CALIPER, AND E GROUND FOR LARGER XCEPT ON ROOTBALL L HAVE LESS THAN 1" OF MULCH AGAINST TRUNK OR ON ROOT COLLA H SAUCER GRADE OOTBALL ABOVE GRADE SUB GRADE MIXTURE: CLEAN EXISTING FILL THERWISE SPECIFIED BY LA EATER THAN 2'-0" IN DIAMETER FON MOUND OF LINDISTURPED
					SEE FERTILIZER SPECIFICATIONS		SMALLER SOIL. DIAN 2 TIMES E	THAN 2' MAY SIT ON COMPACTED METER OF HOLE SHALL BE MIN. BIGGER THAN DIAMETER OF BALL.
1/2 THE WIDT	H OF ROOT BAL	L (TYP) WID	TH OF ROOT BALL	TR	EE PLANTING DETA	AIL		

PALM PLANTING DETAIL

LANDSCAPE REQUIREMENTS BWK-25-HD-R	Required	Proposed	Total Provided
PERIMETER TREES			
1 tree/each 50 If of street frontage (160'/50'=3.2)	4 trees	Crape Myrtle, 4 Thatch palm (=1 1/3 tree), 2 Adonidia palms (=2/3 tree), 1 Pigeon plur	4 provided
OPEN SPACE			
1 tree/each 1,000 sf of pervious area (1,745 /1,000=1.7)	2 trees	2 Orange Geiger	2 provided
min. 60% of required trees to be native ($6 \times .5=3.6$)	min. 4 native	4 1/3	4 1/3 provided
min. 50% of shrubs to be native (269 x .5=134.5)	min.135	139	52% provided
max. 50% of required trees to be palms (6 x.5=3)	max. 3 trees as palms	2	2 provided (*)
Provide automatic irrigation with 100% of coverage		irrigation implant	provided
Sight tringle for corner property			provided

(*) 2 Christmas paims are not counted for code

STATE STATE STATE CABRIELA STATE OF FLORID	ALL VINTECT AND A
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501 S Surf Rd Tr Grossman, Melissa M Trstee HOLLYWOOD BEACH FLORIDA 33019	LANDSCAPE PLAN, PLANT SCHEDULE, CODE CHART


JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

MATERIALS LIST

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

LANDSCAPE NOTES:

1. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS AND FREE FROM DISEASES, INSECTS EGGS, AND SHALL HAVE A HEALTHY NORMAL ROOT SYSTEM, FURNISHED IN THE MINIMUM SIZES INDICATED IN THE SCHEDULE. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT A WRITTEN PERMISSION FROM THE CITY OF HOLLYWOOD. 2. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER

3. ALL PLANTING SOIL AND TOP SOIL SHALL CONSIST OF 30% MUCK, 70% SAND, AND SHALL BE FREE OF HEAVY CLAY, COARSE SAND, ROCKS LARGER THAN 2", LUMPS, STICKS OR ANY OTHER DEBRIS.

4. FERTILIZER SHALL BE 12-12-12, 50% ORGANIC OR SLOW RELEASE NITROGEN. TERRA-SORB OR APPROVED EQUAL SHALL BE PROVIDED ACCORDING TO MANUFACTURER'S RECOMMENDATION.

6. ALL PLANT MATERIALS EXCEPT TREES SHALL BE GUARANTEED FOR 180 DAYS AFTER THE COMPLETED PROJECTS IS ACCEPTED BY THE CITY. TREES SHALL BE GUARANTEED FOR ONE (1) YEAR.

7. CONTRACTOR SHALL CONFIRM PLANT QUANTITIES PRIOR TO BIDDING.

8. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE AREA AND PLANTS FOR 90 DAYS STARTING ON THE DATE OF SUBSTANTIAL COMPLETION. 9. MULCH SHALL BE EUCALYPTUS GRADE A OR BETTER, USE OF CYPRESS BARK MULCH IS PROHIBITED IN THE PUBLIC

10. THE ESTABLISHMENT PERIOD SHALL BEGIN AT THE TIME OF ACCEPTANCE OF INSTALLATION OF PLANTING AND IRRIGATION, AND EXTEND FOR 90 DAYS PAST THAT DATE, AND SHALL INCLUDE THE FOLLOWING ACTIVITIES: a. SUPPLY WATER IN SUFFICIENT AMOUNTS REQUIRED TO INSURE ESTABLISHMENT AND GOOD GROWTH FOLLOWING INDUSTRY STANDARDS. WATERING SCHEDULE MAY BE INTERRUPTED DURING PERIODS OF HEAVY RAINFALL (0.50" OR MORE PER DAY).

b. STRAIGHTEN TREES AND PALMS AS REQUIRED (INCLUDING RE-GUYING AND RE-STAKING AS REQUIRED).

c. WEEDING IS REQUIRED. MOWING EVERY 21 DAYS.

MAINTAIN AND REPAIR IRRIGATION SYSTEM AS REQUIRED.

INSECT AND DISEASE CONTROL AS REQUIRED. q. REMOVE STAKES AND GUYS AT THE END OF THE MAINTENANCE PERIOD.

11. ALL SOD AND LANDSCAPE SHALL RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE. 12. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR

FIRE HYDRANT.

- ROW AND SWALE AREAS. SEC. 106.01
- PALM TREES ARE TO HAVE A MINIMUM OF 8' CLEAR TRUNK (CT).

- CITY OF HOLLYWOOD.
- EQUIPMENT HEIGHT FOR VISUAL SCREENING.
- NOT INTERFERE WITH THE NORMAL OPERATION OF THE EQUIPMENT.
- THEM. VISIT CALL811.COM FOR DETAILS.

MEASUREMENTS:

measured 4'-6" above grade.

around the shrub mass.

IRRIGATION:

Architect.

GUARANTEE:

additional cost.

MULCH:

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil. STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

CLEANUP:

and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

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Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head. Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris

13. ALL TREES AND PALMS SHALL BE PLANTED AT LEAST FIVE (5) FEET AWAY FROM ANY UNDERGROUND UTILITY LINE. 14. ALL TREES AND PALMS SHALL BE PLANTED AT LEAST SEVEN AND A HALF (7.5) FEET AWAY FROM ANY

15. ANY SPECIES THAT ARE LISTED AS CATEGORY I AND II SPECIES ON THE MOST CURRENT 'FLORIDA EXOTIC PEST PLANT COUNCIL" LIST ARE PROHIBITED TO BE PLANTED ON PRIVATE PROPERTY OR ON CITY PROPERTY INCLUDING

16. A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM SPECIES. SEC.3.5 17. STREET TREES: AT TIME OF INSTALLATION, SHADE TREES MUST BE A MINIMUM OF 12' OVERALL HEIGHT, APPROVED

18. IDENTIFY ALL TREES TO REMAIN ON SITE WITH THE CORRESPONDING TREE PROTECTION AND PROTECTION BARRIERS. PROVIDE A TREE PROTECTION BARRIER DETAIL ON PLAN AS APPROVED BY CITY OF HOLLYWOOD. OUTLINE THE TREE

PROTECTION BARRIER TO SCALE AROUND EACH TREE/PALM TO REMAIN ON PLAN. 19. PROVIDE A RECENT TREE SURVEY TO SHOW THE EXISTING TREES ON SITE AND IN SWALE AREAS.

20. SHOW ALL TREES ON SITE TO SCALE, SUPERIMPOSE EXISTING TREES ON PROPOSED SITE PLAN. THE TREE LEGEND MUST INCLUDE THE TREE NUMBER, COMMON NAME, BOTANICAL NAME, DBH, OVERALL HEIGHT, SPREAD, CONDITION, AND DISPOSITION (TO REMAIN, TO BE RELOCATED, TO BE REMOVED). SHOW ALL CANOPY INCLUDING CROWNS OF TREES FROM ADJACENT LOT LOCATED WITHIN 10' FROM PROPERTY LINE. 21. PROVIDE SIGHT TRIANGLES ON PLANS AT INTERSECTION OF DRIVEWAY AND PROPERTY LINE.

22. NATIVE PLANT REQUIREMENTS; 60% TREES, 50% SHRUBS - SEC. 3.4.

23. LABEL ALL SIDES OF PROPERTY WEATHER THERE ARE 'EXISTING OVERHEAD POWERLINES' OR 'NO OVERHEAD POWERLINES'. PROVIDE FPL APPROVED TREES FOR PLANTING UNDER POWERLINES. 24. TREE REMOVAL DISCLAIMER: WRITE THIS STATEMENT ON ALL SHEETS FOR EXISTING/PROPOSED LANDSCAPE: 'TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE

25. ABOVE GROUND EQUIPMENT: WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT

26. NO TREE REMOVALS ALLOWED WITHOUT AN APPROVED CITY OF HOLLYWOOD TREE REMOVAL PERMIT. 27. FOR BUILDING PERMITS; NO TREE REMOVAL OR PLANTING ALLOWED WITHOUT AN APPROVED SUB-PERMIT.

28. EQUIPMENT (DUMPSTERS, ELECTRICAL TRANSFORMERS, ETC. WITH THE EXCEPTION OF FIRE HYDRANTS) MUST BE SCREENED ON AT LEAST THREE SIDES BY LANDSCAPE MATERIAL A MINIMUM OF 30 INCHES TALL. LANDSCAPING MUST 29. IF YOU ARE PLANNING A PROJECT ON YOUR PROPERTY THAT INVOLVES DIGGING, SUCH AS INSTALLING A MAILBOX,

FENCES, PLANTING TREES, ETC., YOU ARE ENCOURAGED TO CALL 811 A FEW DAYS BEFORE YOU START TO MAKE SURE YOU DO IT SAFELY. UTILITY COMPANIES WILL MARK BURIED LINES SO THAT YOU CAN DIG SAFELY AROUND

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The Misson Gabriela LA 6667 ISA FL-2 2700 E Oakland Suite C Fort Lauderdale FL 33306 c (954) 478 30 www.florida-lan gabriela@themin	of Paradise Fojt 277 10207A d Park Blvd e 64 dscape.com rorofparadise.com
SCALE DESIGNED BY DRAWN BY CHECKED BY CAD DWG. DATE REVISIONS per City comments per City comments per City comments	as noted GF KM,GF GF 10.07.2024 1 11.23.2024 2 12.18.2024 3 02.10.2025
501 S Surf Rd Tr Grossman, Melissa M Trstee HOLLYWOOD BEACH	COLORED PLAN & NOTES

GENERAL PROVISIONS

1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS

(NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES. IN ORDER TO MEET NPDES REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING # STORMWATER POLLUTION PREVENTION PLAN (SWPPP), IMPLEMENTING, INSPECTING, MAINTAINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP, COMPLETING AND SUBMITTING THE REQUIRED NOTICE OF INTENT (N01) AND NOTICE OF TERMINATION (NOT) FORMS AS THE OPERATOR, AND PAYING ALL ASSOCIATED FEES. FOR PROJECTS LESS THAN 1 ACRE IN SIZE THAT ARE NOT REQUIRED TO COMPLY WITH THE NPDES GENERAL PERMIT, THE CONTRACTOR IS STILL RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS

2. ALL CONSTRUCTION PROJECTS 1 OR MORE ACRES IN SIZE THAT DISCHARGE TO OFFSITE AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM

3. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS, BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE WNER OR OWNERS SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIAT

4. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. SZAUER ENGINEERING, INC. NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION

5. THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL. SZAUER ENGINEERING, INC. IS NOT RESPONSIBLE FOR WINGS PREPARED BY OTHER PROFESSIONALS

6. THE CONTRACTOR SHALL SUBMIT (6) COPIES OF SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION. PRIOR TO SUBMISSION, THE CONTRACTOR SHALL THOROUGHLY CHECK SHOP DRAWINGS. PRODUCT DATA. AND SAMPLES FOR COMPLETENESS AND FOR COMPLIANCE WITH THE CONSTRUCTION PLANS AND SHALL VERIFY ALL DIMENSIONS AND FIELD TRACE THOROUGH AND SHALL CONDITIONED TO THE SHOP DRAWINGS WITH THE REVEALED TO THE RELATED WORK. THE CONTRACTORS RESPONSIBILITY FOR EARDS AND DIMISSIONS IN SUBMITTALS IS NOT RELEVED BY THE ENGINEERS REVIEW OF SUBMITTALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING AT THE TIME OF SUBMISSION, OF DEVIATIONS IN SUBMITTALS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY SAME.

8. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING. AS A MINIMUM, TESTING SHALL INCLUDE A) PIPING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS; B) DETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS; C) PORTLAND CEMENT CONCRETE AND ASPHALT PAVING QUALITY CONTROL TESTING INCLUDING DESIGN MIX REVIEW, MATERIALS, FIELD SLUMP AND AIR CONTENT, AND FIELD AND LAB CURED STRENGTH SAMPLES AND TESTING.

9. IN ADDITION TO QUALITY CONTROL TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION THEREWITH AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION. TESTING OR APPROVAL.

10. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE EST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION", PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATOR

11. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.

12. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, PLUS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER

UTILITY GENERAL NOTES

1. THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE DEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTORS RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR THEIR ACCURACY AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTORS RESPONSIBILITY FOR THE CONTRACTORS AND UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ANY UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED TH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INSTRUCTION.

2. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER

3. A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT THE SUNSHINE STATE ONE CALL CENTER BY DIALING "811" AT LEAST TWO (2) AND NO MORE THAN FIVE (5) WORKING DAYS PRIOR TO THE SPECIFIC CONSTRUCTION ACTIVITY FOR FIELD LOCATION. NOTE THAT NOT ALL UTILITIES PARTICIPATE IN THIS PROGRAM. THE CONTRACTOR SHOULD CONTACT ALL NON-PARTICIPATING UTILITIES SEPARATELY FOR FIELD LOCATION OF THEIR FACILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION. PER FLORIDA STATUTE 553.851, THE CONTRACTOR OR EXCAVATOR IS REQUIRED TO NOTIFY THE GAS COMPANY TWO (2) WORKING DAYS PRIOR TO STARTING EXCAVATION

4. THE CONTRACTOR SHALL KEEP LOCATE TICKETS UP TO DATE AT ALL TIMES. 5. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO

NATE NECESSARY RELOCATIONS OR OTHER CONSTRUCTION RELATED MATTERS WITH EACH UTILITY 6. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING WHICH CAN BE

D DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE OWNER AND THE ENGINEER 7. TYPICAL DETAILS AS SHOWN ARE TO ILLUSTRATE THE ENGINEERS INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY ALTER THE METHOD OF CONSTRUCTION TO SUIT FIELD CONDITIONS, PROVIDING HE SUBMITS A PROPOSAL FOR AN ALTERNATE METHOD TO THE ENGINEER FOR APPROVAL AND USES MATERIALS AS DESIGNATED IN THE

8. FOR EACH RESPECTIVE PIPELINE CONSTRUCTION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC. TO BE CROSSED OR CONNECTED TO. IF THE CONTRACTOR DEEMS NECESSARY (A) A CHANGE IN ALIGNMENT OR DEPTH, OR THE NEED FOR ADDITIONAL FITTINGS, BENDS, OR COUPLINGS, WHICH REPRESENT A DEPARTURE FROM THE CONTRACT DRAWING, OR (B) A NEED FOR RELOCATION OF EXISTING UTILITIES, THEN DETAILS OF SUCH DEPARTURES, RELOCATIONS, OR ADDITIONAL FITTINGS, INCLUDING CHANGES IN RELATED PORTIONS OF THE PROJECT AND

9. THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC, LEAKAGE, AND PRESSURE TESTING. THE CONTRACTOR SHALL CONTACT THE ENGINEER AND THE OWNER IN WRITTEN FORM, FORTY-EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRETESTING PRIOR TO NOTIFICATION

THE REASONS THEREFORE, SHALL BE SUBMITTED WITH SHOP DRAWINGS. APPROVED DEPARTURES FOR THE CONTRACTORS CONVENIENCE SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

AS-BUILT DRAWING REQUIREMENTS

SPECIFICATIONS.

AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER THREE WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PART

2. AT THE COMPLETION OF THE WORK, DELIVER THE DRAWINGS DOCUMENTING AS-BUILT INFORMATION, MEASURED BY A LICENSED SURVEYOR, TO THE ENGINEER, IN GOOD CONDITION AND FREE FROM ANY EXTRANEOUS NOTATION. THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING A. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.

B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.

C. STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZONTAL DIMENSIONS MEASURED AT A MINIMUM OF TEN LOCATIONS PER POND, AT LOCATIONS DESIGNATED BY THE ENGINEER. TOP OF POND HORIZONTAL DIMENSIONS ARE ALSO TO BE TIED TO PROPERTY CORNERS, EASEMENTS, AND RIGHTS-OF-WAY.

D. STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, ORIFICES, GRATES, AND SKIMMERS.

E. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.

G. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL

H. UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES, LOCATED EVERY 200-FT PLUS ALL CHANGES IN HORIZONTAL OFFSET. I. PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS AT ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREET INTERSECTIONS. FOR PARKING LOTS, RECORD CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS ALONG ALL DRIVE AISLES AND ISLANDS.

J. ALL PARKING AREAS AND SIDEWALK RAMPS DESIGNATED FOR HANDICAP ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN

K. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS.

L. WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION. M WHERE THE PLANS CONTAIN SPECIFIC VERTICAL FLEVATION DATA THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL MEASURED VERTICAL FLEVATION

EROSION AND SEDIMENT CONTROL

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, SEDIMENT CONTROL CONSISTS OF SILT FENCING AND FLOATING TURBIDITY BARRIERS PER FDOT INDEX NO. 102 AND 103. EROSION CONTROL CONSISTS OF SEEDING AND MULCHING, SODDING, WETTING SURFACES, PLACEMENT OF COARSE AGGREGATE, TEMPORARY PAVING. 2. MAINTAIN TEMPORARY EROSION CONTROL SYSTEMS AS DIRECTED BY OWNER OR GOVERNING AUTHORITIES TO CONTROL EROSION AND SILTATION DURING LIFE OF CONTRACT. OWNER HAS AUTHORITY TO LIMIT

IRFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, TRENCHING, BORROW AND EMBANKMENT OPERATIONS. OWNER ALSO HAS AUTHORITY TO DIRECT CONTRACTOR O PROVIDE IMMEDIATE PERMANENT OR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

3. CONTRACTOR SHALL RESPOND TO EROSION AND SEDIMENT CONTROL MAINTENANCE REQUIREMENTS OR IMPLEMENT ADDITIONAL MEASURES TO CONTROL EROSION ORDERED BY OWNER OR GOVERNING AUTHORITIES WITHIN 48 HOURS OR SOONER IF REQUIRED AT NO ADDITIONAL COST TO THE OWNER.

4. CONTRACTOR WILL BE REQUIRED TO INCORPORATE PERMANENT EROSION CONTROL FEATURES INTO PROJECT AT EARLIEST PRACTICAL TIME TO MINIMIZE NEED FOR TEMPORARY CONTROLS. 5. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REPRESENT A MINIMUM REQUIREMENT. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NEEDED IN ORDER TO PREVENT THE TRANSFER OF SEDIMENT FROM THE PROJECT AREA AND PREVENT THE EROSION OF SURFACES DURING CONSTRUCTION, AS NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER BODIES.

6. GRASS ALL DISTURBED AREAS WITHIN 7 DAYS OF INITIAL DISTURBANCE. TYPE OF GRASSING SHALL BE AS FOLLOWS: TEMPORARY GRASSING TO BE SODDING AT ALL DRAINAGE STRUCTURES, RETENTION AREAS, SWALES AND DITCHES, AND WHERE SLOPES ARE STEEPER THAN 5:1. TEMPORARY GRASSING CAN BE SEED AND MULCH AT ALL OTHER LOCATIONS UNLESS OTHERWISE INDICATED IN THE DRAWINGS OR

INSPECT EVERY TWO WEEKS DURING CONSTRUCTION. REMOVE ANY SEDIMENT BUILD-UP. REPAIR AND REINSTALL ANY DAMAGED OR MISSING SEDIMENT CONTROL MEASURES. INSTALL ADDITIONAL MEASURES IF INSPECTION REVEALS ADDITIONAL SEDIMENTATION CONTROL IS NECESSARY

8. AREAS TO BE PAVED SHALL BE TREATED WITH A BITUMINOUS PRIME COAT AND SANDED TO MINIMIZE EROSION, WHERE PAVING IS SCHEDULED TO OCCUR MORE THAN 48 HOURS AFTER INSTALLATION OF BASE COURSE. AREAS TO RECEIVE CONCRETE PAVING SHALL BE EITHER PROTECTED WITH A LAYER OF FDOT COARSE AGGREGATE MATERIAL OR SHALL BE PAVED WITHIN 48 HOURS OF INSTALLATION OF THE SUBGRADE. INSTALL FINAL SURFACE COURSES WITHIN 14 DAYS AFTER REMOVAL OF EXISTING PAVEMENT.

TRAFFIC CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS, AND BARRICADES, AND SHALL DETAIL ALL PROPOSED CONSTRUCTION SEQUENCING. THE M.O.T. PLAN SHALL BE APPROVED BY THE ENGINEER, OWNER, AND ROADWAY JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION. ALL PROPOSED ROADWAY AND DRIVEWAY LANE CLOSURES SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 A.M. AND 4:00 P.M. UNLESS OTHERWISE AUTHORIZED IN THE APPROVED M.O.T. 2. ALL CONSTRUCTION SIGNING AND MARKINGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT INDEX NO. 600 AND THE MANUAL ON UNIFORM

AFFIC CONTROL DEVICES (MUTCD). THE PLACEMENT OF THE SIGNING AND MARKINGS SHALL BE APPROVED IN THE FIELD BY THE ENGINEER PRIOR TO CONSTRUCTION 3. INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION.

4. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION. COORDINATE TEMPORARY DRIVEWAY CLOSURES AND SEQUENCING. MAINTAIN ACCESS FOR ALL PROPERTY OWNERS DURING CONSTRUCTION.

5. WET UNSTABILIZED AREAS AS NECESSARY TO CONTROL DUST.

6. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.

INDEX NO. 600 AND 602, FOR A 2-LANE ROADWAY AND PER INDEX # 612 FOR A 4 LANE HIGHWA

OR PARTIALLY COMPLETED PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE.

7. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE IMMEDIATE VICINITY.

8. WHEN WORK OCCURS WITHIN 15-FT OF ACTIVE ROAD TRAVEL LANES BUT NO CLOSER THAN 2-FT FROM THE EDGE OF PAVEMENT, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FDOT

9. TYPE I OR TYPE II BARRICADES AT 20-FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD WHEREVER DROP-OFFS OR OTHER HAZARDS EXIST AND TO BLOCK ENTRANCE INTO COMPLETED

SITE PREPARATION UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER. THE CONTRACTO THE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDIN RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHAL ACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED. 2. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY RELATING TO INTERCONNECTION WITH EXISTING FEATURES. REPORT ANY INCOM 3. PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEM 4. WITHIN THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY CONSTRUCTION - TREES AND SHRUBS TO REMAIN WHERE LOCATED MORE THAN CONSTRUCTION - TREES AND SHRUBS TO REMAIN OUTSIDE A 15 FOOT WIDE PATH 5. TREES TO REMAIN IN THE CONSTRUCTION AREA SHALL BE BOXED, FENCED OR C 6. AREAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE ALL AREAS TO BE THESE AREAS ONLY AS INDICATED ON THE DRAWINGS OR AS APPROVED IN WRI 7. CLEARING SHALL CONSIST OF REMOVING TREES AND BRUSH AND DISPOSAL OF C 8. EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS. 9. GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LA 10. ALL COMBUSTIBLE DEBRIS AND REFUSE FROM SITE PREPARATION OPERATIONS S GRADING I. GRADING SHOWN ON THESE PLANS ARE PROVIDED TO THE CONTRACTOR TO E ROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH 1 TENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED. 2. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE G IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. THE STAN BILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CON ACCOMPLISH THE INTENT OF THE PLANS. UNIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHAL REASONABLY SMOOTH, COMPACTED, FREE FROM IRREGULAR SURFACE CHANGE 4. SLOPE GRADES TO DRAIN AWAY FROM STRUCTURES AT A MINIMUM OF 'A-INCH OF THE PROPOSED GRADE. ALL OTHER AREAS SHALL BE WITHIN 3 INCHES OF THE 5. NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. AL GRADES RE_ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES AT NO A EXCAVATION, TRENCHING, AND FILL I. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE COL 2. ROUGH EXCAVATE AND GRADE ANY PROPOSED STORMWATER PONDS AT THE STA 3. POND CONSTRUCTION SHALL RESULT IN THE FINISHED POND HAVING SIDE SLOP TO ENSURE THAT THESE REQUIREMENTS HAVE BEEN MET. IF THE CONSTRUCTI DESIGN VOLUME. THE CONTACTOR MAY BE REQUIRED TO MAKE CORRECTIONS 4. FIELD DENSITY TESTING FREQUENCIES: A) ONE TEST FOR EACH 10,000 SQUARE FEET OR FRACTION THEREOF OF BACKFILL AROUND AND UNDER STRUCTURES; C TEST PER LIFT PER EACH CHANGE IN TYPE OF FILL; E) ONE TEST PER 1000 SQUAR 5. IT IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORMING TO THE I A. ACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-1, A-3, A-2-4, A-2-INVESTIGATION REPORTS. NO MORE THAN 12% OF ACCEPTABLE MATERIALS \$ B. UNACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-2-5, A-2-7, A-4, A-3 SUBSURFACE INVESTIGATION REPORTS. 6. PROVIDE BARRIERS, WARNING LIGHTS AND OTHER PROTECTIVE DEVICES AT ALL E 7. SIDEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE BLOCKED OF OVISIONS MUST BE MADE FOR SATISFACTORY TEMPORARY PASSAGE OF PEDE 8. FURNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEE UPPORT THE SIDES OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT OUTSIDE THE SUPPORTS SHALL BE IMMEDIATELY FILLED AND COMPACTED. 9. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATE PROJECT GEOTECHNICAL REPORT. 10. EXCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW SOILS. AND REPLACE OVER EXCAVATED MATERIAL WITH SUITABLE SOILS. 11. EXCEPT AS OTHERWISE INDICATED, EXCAVATE FOR PRESSURE PIPING SO TOP O 12. TRENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, 13. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOW PLACE BACKFILL IN LAYERS OF 8 INCH LOOSE DEPTH. IN ALL OTHER AREAS, PLAC 14. MINIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHTO T180): BACKFILL A PLACED WITHIN PUBLIC ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS = 95 PE UTILITY SEPARATION REQUIREMENTS 1. THE HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWE FREATMENT AND DISPOSAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLL A. THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF THREE FEET FROM RECLAIMED WATER MAIN. B. THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF SIX FEET FROM TH SEPARATION DISTANCE BETWEEN THE OUTSIDE OF WATER MAINS AND THE OF INCHES ABOVE THE TOP OF THE SEWER. C. THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF TEN FEET FROM ALL ND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS D 2. THE VERTICAL SEPARATION BETWEEN WATER MAINS AND SANITARY AND STO A. WHEREVER POSSIBLE, WATER MAINS SHALL CROSS OVER EXISTING OR PRO LEAST SIX INCHES ABOVE THE OUTSIDE OF THE SEWER. WHERE IT IS NOT POX AND STORM SEWER, THEN THE WATER MAIN CAN CROSS UNDER THESE TYPES THE CROSSING, THE PROPOSED PIPE JOINTS SHALL BE ARRANGED SO THAT SIX FEET FROM GRAVITY SANITARY SEWER JOINTS. B. WHEREVER POSSIBLE, WATER MAINS SHALL CROSS OVER EXISTING OR PROP OVER OR UNDER THESE TYPES OF PIPELINE SYSTEMS, THE OUTSIDE OF WASTEWATER FORCE MAIN AND STORMWATER FORCE MAIN. AT THE CROSSII WATER MAIN JOINTS AND STORMWATER FORCE MAIN JOINTS, AND AT LEAST 3. NO WATER MAIN SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART O 4. NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SUCH THAT THE UNDER A. THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATE B. SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY SANITARY SEWER AND \ C. TEN FEET FROM ANY ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATM 5. THE FOLLOWING ARE ACCEPTABLE ALTERNATIVE CONSTRUCTION VARIANCES EXPRESSED WRITTEN CONSENT FROM THE ENGINEER. IMPLEMENTATION OF INSTALLED UNAPPROVED MEASURES BE REMOVED AND REPLACED AT NO COST

must be verified on any electronic copies.

AND FOR THE OTHER PIPELINE IF THE OTHER PIPELINE COVEYS WASTEWATER OR RECLAIMED WATER.

PREPARATION
NLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF-WAY, AND EASEMENTS AS INDICATED ON HE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR ECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE ONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.
TAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY BENCH MARKS, BATTER BOARDS, CENTERLINES, BASELINES, AND REFERENCE POINTS FOR THE WORK, AND VERIFY ALL DIMENSIONS ELATING TO INTERCONNECTION WITH EXISTING FEATURES. REPORT ANY INCONSISTENCIES IN THE PROPOSED GRADES, LINES AND LEVELS, DIMENSIONS AND LOCATIONS TO THE ENGINEER BEFORE COMMENCING IORK.
ROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, PARTICULARLY THOSE TREES AND SHRUBS LOCATED ADJACENT TO WORK AREAS.
ITHIN THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, THE INTENT IS TO ALLOW TREES AND SHRUBS TO REMAIN IN ACCORDANCE WITH THE FOLLOWING SCHEDULE: NEW ROADWAY ONSTRUCTION - TREES AND SHRUBS TO REMAIN WHERE LOCATED MORE THAN 15 FEET FROM THE BACK OF CURB, OR OUTSIDE THE LIMITS OF EXCAVATION OR FILL AREAS, WHICHEVER IS FURTHER. UTILITY PIPELINE ONSTRUCTION - TREES AND SHRUBS TO REMAIN OUTSIDE A 15 FOOT WIDE PATH, CENTERED ON THE PIPELINE.
REES TO REMAIN IN THE CONSTRUCTION AREA SHALL BE BOXED, FENCED OR OTHERWISE PROTECTED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN RANCH SPREAD
REAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE ALL AREAS TO BE OCCUPIED BY THE PROPOSED IMPROVEMENTS, AREAS FOR FILL AND SITE GRADING, AND BORROW SITES. REMOVE TREES OUTSIDE OF HESE AREAS ONLY AS INDICATED ON THE DRAWINGS OR AS APPROVED IN WRITING BY THE ENGINEER.
REPORTED A REAL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LARGER THAN T IN DIAMAGE EASTING STRUCTURES, FIFES OR UTILITIES.
ADING
RADING SHOWN ON THESE PLANS ARE PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO ROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING TENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO ETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.
LL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS I GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. THE STANDARD CROWN MAY HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTORS ESPONSIBILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO CCOMPLISH THE INTENT OF THE PLANS.
NIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED. TOPS OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE ROUNDED. FINISHED SURFACES SHALL BE EASONABLY SMOOTH, COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES AND COMPARABLE TO THE SMOOTHNESS OBTAINED BY BLADE_GRADER OPERATIONS.
LOPE GRADES TO DRAIN AWAY FROM STRUCTURES AT A MINIMUM OF 'A-INCH PER FOOT FOR 10 FEET. FINISHED SURFACES ADJACENT TO PAVED AREAS AND WITHIN 10 FEET OF STRUCTURES SHALL BE WITHIN 1 INCH F THE PROPOSED GRADE. ALL OTHER AREAS SHALL BE WITHIN 3 INCHES OF THE PROPOSED GRADE.
RADES RE_ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES AT NO ADDITIONAL COST TO THE OWNER.
HE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 553.60-553.64). ANY MATERIAL, CONSTRUCTION METHODS, OR
ALERIAL COST TO COMPLET WITH THESE DAWS SHALL BE INCIDENTAL TO THE CONTRACT.
OND CONSTRUCTION SHALL RESULT IN THE FINISHED POND HAVING SIDE SLOPES AND DIMENSIONS THAT ARE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. IT IS THE CONTRACTORS SOLE RESPONSIBILITY O ENSURE THAT THESE REQUIREMENTS HAVE BEEN MET. IF THE CONSTRUCTED SIDE SLOPES ARE STEEPER THAN THE REQUIRED SIDE SLOPES, OR THE POND VOLUME IS NOT WITHIN THREE (3) PERCENT OF THE ESIGN VOLUME, THE CONTACTOR MAY BE REQUIRED TO MAKE CORRECTIONS TO THE POND AT NO ADDITIONAL COST TO THE OWNER.
ELD DENSITY TESTING FREQUENCIES: A) ONE TEST FOR EACH 10.000 SQUARE FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING, MINIMUM 2 TESTS EACH LAYER; B) ONE TEST FOR EACH 100 SQUARE EET OR FRACTION THEREOF OF BACKFILL AROUND AND UNDER STRUCTURES; C) ONE TEST FOR EACH 300 LINEAL FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING IN THE PIPELINE TRENCH; D) ONE EST PER LIFT PER EACH CHANGE IN TYPE OF FILL; E) ONE TEST PER 1000 SQUARE FEET OF PAVEMENT SUBGRADE, MINIMUM OF 2 TESTS.
IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS BE UTILIZED WHEREVER POSSIBLE. ACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-1, A-3, A-2-4, A-2-6; ASTM D2487 CLASSIFICATION GW, GP, GM, SM, SW, SP; UNLESS OTHERWISE DISAPPROVED WITHIN THE SOIL AND SUBSURFACE
INVESTIGATION REPORTS. NO MORE THAN 12% OF ACCEPTABLE MATERIALS SHALL PASS THE NUMBER 200 SIEVE. UNACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-2-5, A-2-7, A-4, A-5, A-6, A-7, A-8; ASTM D2487 CLASSIFICATION GC, SC, ML, MH, CL, CH, OL, OH, PT; UNLESS OTHERWISE APPROVED WITHIN THE SOIL AND
SUBSURFACE INVESTIGATION REPORTS.
DEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE BLOCKED OR OBSTRUCTED BY EXCAVATED MATERIALS, EXCEPT AS AUTHORIZED BY THE ENGINEER, IN WHICH CASE ADEQUATE TEMPORARY
ROVISIONS MUST BE MADE FOR SATISFACTORY TEMPORARY PASSAGE OF PEDESTRIANS, AND VEHICLES. MINIMIZE INCONVENIENCE TO PUBLIC TRAVEL OR TO TEMANTS OCCUPYING ADJOINING PROPERTY. JRNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEETING, BRACING, AND SHORING SUPPORT REQUIRED TO KEEP EXCAVATIONS WITHIN THE PROPERTY OR EASEMENTS PROVIDED, TO JUPPORT THE SIDES OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT WHICH MAY DAMAGE ADJACENT PAVEMENTS OR STRUCTURES, DAMAGE OR DELAY THE WORK, OR ENDANGER LIFE AND HEALTH. VOIDS
UTSIDE THE SUPPORTS SHALL BE IMMEDIATELY FILLED AND COMPACTED.
XCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW LINES AND INVERT ELEVATIONS. OVER EXCAVATE TRENCHES A MINIMUM OF 2 FEET WHERE EXCAVATIONS OCCUR WITHIN UNSUITABLE DILS, AND REPLACE OVER EXCAVATED MATERIAL WITH SUITABLE SOILS.
XCEPT AS OTHERWISE INDICATED, EXCAVATE FOR PRESSURE PIPING SO TOP OF PIPING IS MINIMUM 3 FEET BELOW FINISHED GRADE.
RENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLE TO A DEPTH TWO FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE.
LL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOWABLE FILL. WHERE TRENCH OR EXCAVATION IS WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, FOUNDATIONS, OR SLABS, LACE BACKFILL IN LAYERS OF 8 INCH LOOSE DEPTH. IN ALL OTHER AREAS, PLACE FILL AND BACKFILL IN LAYERS OF 12 INCH LOOSE DEPTH.
INIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHTO T180): BACKFILL AND FILL UNDER AND WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, SLABS, FOUNDATIONS = 98 PERCENT; BACKFILL AND FILL LACED WITHIN PUBLIC ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS = 95 PERCENT; BACKFILL AND FILL PLACED WITHIN POND AND ROAD EMBANKMENT = 95 PERCENT; BACKFILL AND FILL OTHER REAS = 90 PERCENT.
ITY SEPARATION REQUIREMENTS
HE HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER, STORM SEWER, WASTEWATER FORCE MAINS, STORMWATER FORCE MAINS, RECLAIMED WATER MAINS AND ONSITE SEWAGE REATMENT AND DISPOSAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF THREE FEET FROM THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, VACUUM TYPE SANITARY SEWER AND RECLAIMED WATER MAIN.
THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF SIX FEET FROM THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY SANITARY SEWER AND WASTEWATER FORCE MAIN. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN THE OUTSIDE OF WATER MAINS AND THE OUTSIDE OF GRAVITY SANITARY SEWERS CAN BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF TEN FEET FROM ALL PARTS OF ANT EXISTING OR PROPOSED DISTILE SEWAGE TREATMENT AND DISPOSAL STSTEM SUCH AS SEPTIC TAINES, DRAINFIELDS, AND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS DO NOT INCLUDE PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATMENT FACILITIES.
HE VERTICAL SEPARATION BETWEEN WATER MAINS AND SANITARY AND STORM SEWER, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER MAINS SHALL BE IN ACCORDANCE WITH THE DLLOWING:
WHEREVER POSSIBLE, WATER MAINS SHALL CROSS OVER EXISTING OR PROPOSED GRAVITY SANITARY SEWER, VACUUM TYPE SANITARY SEWER, AND STORM SEWER, SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OUTSIDE OF THE SEWER. WHERE IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER EXISTING OR PROPOSED GRAVITY SANITARY SEWER, VACUUM TYPE SANITARY SEWER OR STORM SEWER JOINTS, AND AT LEAST THE CROSSING, THE PROPOSED PIPE JOINTS SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM VACUUM TYPE SANITARY SEWER OR STORM SEWER JOINTS, AND AT LEAST SIX FEET FROM GRAVITY SANITARY SEWER JOINTS.
WHEREVER POSSIBLE, WATER MAINS SHALL CROSS OVER EXISTING OR PROPOSED RECLAIMED WATER MAINS, WASTEWATER FORCE MAINS AND STORMWATER FORCE MAINS. WHETHER THE WATER MAIN CROSSES OVER OR UNDER THESE TYPES OF PIPELINE SYSTEMS, THE OUTSIDE OF THE WATER MAIN SHALL BE AT LEAST 12 INCHES FROM THE OUTSIDE OF THE EXISTING OR PROPOSED RECLAIMED WATER MAIN, WASTEWATER FORCE MAIN AND STORMWATER FORCE MAIN. AT THE CROSSING, THE PROPOSED PIPE JOINTS SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM RECLAIMED WATER MAIN JOINTS AND STORMWATER FORCE MAIN JOINTS, AND AT LEAST SIX FEET FROM THE JOINTS OF WASTEWATER FORCE MAINS.
O WATER MAIN SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY SEWER MANHOLE.
EW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SUCH THAT THE UNDERGROUND DRAIN (WEEP HOLE) IS AT LEAST:
SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY SANITARY SEWER AND WASTEWATER FORCE MAIN.
TEN FEET FROM ANY ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SUCH AS SEPTIC TANKS, DRAINFIELDS, AND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS DO NOT INCLUDE PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATMENT FACILITIES.
HE FOLLOWING ARE ACCEPTABLE ALTERNATIVE CONSTRUCTION VARIANCES WHERE IT IS NOT POSSIBLE TO MEET THE SEPARATION REQUIREMENTS, AND ARE ONLY TO BE IMPLEMENTED UPON RECEIPT OF XPRESSED WRITTEN CONSENT FROM THE ENGINEER. IMPLEMENTATION OF THESE MEASURES WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ENGINEER COULD RESULT IN THE REQUIREMENT THAT THE STALLED UNAPPROVED MEASURES BE REMOVED AND REPLACED AT NO COST.
WHERE A WATER MAIN IS LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND OR WHERE A WATER MAIN CROSSES ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE LESS THAN THE MINIMUM REQUIRED DISTANCE BETWEEN THE JOINTS IN THE OTHER PIPELINE:
1) USE OF PRESSURE RATED PIPE CONFORMING TO AWWA STANDARDS FOR A GRAVITY OR VACUUM TYPE PIPELINE.

2) USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER PIPELINE.

3) USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER PIPE.

B. WHERE A WATER MAIN IS LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND OR WHERE A WATER MAIN CROSSES ANOTHER PIPELINE LESS THAN THE REQUIRED MINIMUM SEPARATION: 1) USE OF PIPE OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (AT LEAST EQUAL TO 0.25 INCH THICK DUCTILE IRON PIPE), OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN

> This item has been digitally signed and sealed by Jorge Szauer, PE. On February 18, 2025. Printed copies of this document are not considered signed and sealed and the signature

WATER AND RECLAIMED WATER DISTRIBUTION SYSTEMS

1. THE ENTITY THAT WILL OPERATE AND MAINTAIN THE WATER SYSTEMS SHOWN ON THESE PLANS IS THE CITY OF HOLLYWOOD. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE CITY OF HOLLYWOOD -2. ALL WATER AND RECLAIMED MAIN PIPE SHALL BE EITHER DUCTILE IRON OR PVC. UNLESS OTHERWISE INDICATED ON THE DRAWINGS. 3. INSTALL ALL WATER AND RECLAIMED MAINS AT A MINIMUM 36 INCHES OF COVER. 4. BURIED DUCTILE IRON PIPE SHALL CONFORM WITH ANS/AWWA C150/A21.50 AND C151/ A21.51, AND SHALL HAVE A MINIMUM WORKING PRESSURE OF 150 PSI. BURIED PIPE SHALL COMPLY WITH THE FOLLOWING RESSURE CLASS (PC) DESIGNATIONS UNLESS OTHERWISE INDICATED ON THE DRAWINGS: A) 12" DIAMETER AND SMALLER = PC 350; B) 14" THROUGH 24" DIAMETER = PC 250; C) 30" THROUGH 64" DIAMETER = PC 200. 5. EXPOSED PIPE 4" AND LARGER SHALL BE DUCTILE IRON FLANGED AND SHALL CONFORM WITH AWWA/ANSI C115/A21.15, AND SHALL HAVE A MINIMUM WORKING PRESSURE OF 150 PSI. FLANGED PIPE SHALL COMPLY WITH THE FOLLOWING THICKNESS CLASS (TC) DESIGNATIONS UNLESS OTHERWISE INDICATED ON THE DRAWINGS: A) 4" DIAMETER = TC 54; B) T THROUGH 24" DIAMETER = TC 53 6. DUCTILE IRON PIPE AND FITTINGS WITHIN 10 FEET OF GAS MAINS SHALL HAVE AN 8-MIL POLYETHYLENE WRAP IN ACCORDANCE WITH ANSI/AWWA C105/A21.5. 7. PVC PIPE 4" - 17 SHALL CONFORM TO AWWA C300. PIPE 14" - 36" SHALL CONFORM TO AWWA C305. PIPE SHALL CONFORM TO ASTM D1784. TYPE I, GRADE I, 4000 PSI DESIGN STRESS, AND SHALL BE NATIONAL SANITATION FEDERATION (NSF) APPROVED. PIPE SHALL BE CLASS 150 (DR18) WITH MARKINGS ON EACH SECTION SHOWING CONFORMANCE TO THE ABOVE SPECIFICATIONS. JOINTS SHALL BE RUBBER GASKETED CONFORMING " AWWA C900 OR C905 THE BELL SHALL BE INTEGRAL WITH THE PIPE AND OF EQUAL OR GREATER PRESSURE RATING. THE BELL OF PIPE AND FITTINGS USING PUSH-ON JOINTS SHALL HAVE AN INTEGRAL GROOVE TO RETAIN THE GASKET IN PLACE 8. ALL FITTINGS SHALL BE MANUFACTURED OF DUCTILE IRON, CONFORMING TO ANS/AWWA C110/A21.10 OR ANS/AWWA C153/A21.53. ALL FULL BODY (C110/A21.10) FITTINGS SHALL BE PRESSURE RATED TO 250 PSI, MINIMUM. ALL COMPACT FITTINGS (C153/A21.53) SHALL BE PRESSURE RATED TO 350 PSI, MINIMUM. 9. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE LINED AND COATED. INTERIOR LINING SHALL BE STANDARD THICKNESS CEMENT MORTAR LINING PER ANSI/AWWA C104/A21.4. EXTERIOR COATING FOR BURIED PIPE AND FITTINGS SHALL BE A PETROLEUM ASPHALTIC COATING IN ACCORDANCE WITH ANSI/AWWA C110/A21 10. EXTERIOR COATING OF EXPOSED PIPE AND FITTINGS SHALL BE FACTORY APPLIED RUST INHIBITING EPDXY PRIMER, MINIMUM 3 MILS DRY FILM THICKNESS. AFTER INSTALLATION, EXTERIOR SURFACES SHALL BE PAINTED WITH TWO COATS TNEMEC SERIES 2 TNEME-GLOSS, GLIDDEN LIFE MASTER PRO HIGH PERFORMANCE ACRYLIC NO. 6900 SERIES, OR EQUAL, AT MINIMUM 4 MILS DRY FILM THICKNESS PER COAT. PAINT COLOR TO BE IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS 11. MECHANICAL AND PUSH ON JOINTS FOR DUCTILE IRON PIPE AND FITTINGS SHALL BE RUBBER GASKETED, CONFORMING TO ANSI/AWWA C111/A21.11. LUBRICANTS OTHER THAN THAT FURNISHED BY THE PIPE MANUFACTURER WITH THE PIPE SHALL NOT BE USED 12. ALL FITTINGS SHALL BE RESTRAINED IN ACCORDANCE WITH DIPRA, "THRUST RESTRAINT DESIGNED FOR DUCTILE IRON PIPE". PIPE JOINTS SHALL BE RESTRAINED UPSTREAM AND DOWNSTREAM OF FITTINGS IN CCORDANCE WITH THE MANUFACTURERS REQUIREMENTS OR THE TABLE SHOWN IN THE DRAWINGS, WHICHEVER IS GREATER. DUCTILE IRON RESTRAINED JOINTS SHALL BE AMERICAN FAST GRIP GASKET, FLEX-R FIELD FLEX RING, LOK-RING, US PIPE TR-FLEX, EBAA MEGALUG, OR EQUAL. PVC PIPE JOINTS SHALL BE RESTRAINED USING MECHANICAL DEVICES, UNI-FLANGE BLOCK BUSTER SERIES 1350 OR ENGINEER APPROVED 13. ALL SERVICE PIPING (W -T) SHALL BE POLYETHYLENE. SDR-PR PE PIPE SHALL BE MANUFACTURED FROM PE3408 AND SHALL CONFORM TO AWWA C901. ALL PIPE SHALL BE DR9, PRESSURE CLASS 200 PSI, PIPE AND IGS SHALL BE NSF APPROVED FOR THE USAGE TO WHICH THEY ARE TO BE APPLIED. JOINTS IN SDR-PR PE PIPE SHALL BE BUTT HEAT FUSION OR SOCKET HEAT FUSION TYPE. FITTINGS SHALL BE MANUFACTURED OF THE SAME MATERIAL AS THE PIPE AND SHALL BE OF THE SAME SDR OR LESS, PROVIDE ADAPTERS AS REQUIRED TO JOIN PE PIPE TO PIPE, FITTINGS AND EQUIPMENT OF OTHER MATERIALS. 14. ALL SERVICE SADDLES SHALL CONSIST OF DUCTILE IRON BODIES IN ACCORDANCE WITH ASTM A536, WITH DOUBLE STAINLESS STEEL STRAPS, BOLTS, WASHERS AND NUTS. STAINLESS STEEL TO BE TYPE 304. NUTS TO BE TEFLON COATED, DUCTILE IRON BODY TO BE FUSION BONDED NYLON COATING, MINIMUM THICKNESS 12 MILS OUTLET OF SADDLE TO HAVE NPT THREADS. 15. ALL SERVICES SHALL INCLUDE THE FOLLOWING: CURB STOPS, UNIONS AS REQUIRED, CORPORATION STOPS. CONFORMANCE WITH AWWA C800 AND C901 IS REQUIRED. THE CONTRACTOR SHALL CUT "W" IN THE TOP CURB OF EACH WATER SERVICE AND A "V AT ALL VALVE LOCATIONS. CUT WS AND VS SHALL BE HIGHLIGHTED WITH BLUE PAINT 16. UNLESS OTHERWISE NOTED IN THE PLANS, THE UTILITY COMPANY SHALL PROVIDE AND INSTALL WATER METERS AND RECLAIMED WATER METERS. CONTRACTOR SHALL CONSTRUCT WATER SERVICE AND RECLAIMED WATER SERVICE TO THE CORPORATION STOP. 17. UNLESS OTHERWISE INDICATED OR SPECIFIED, ALL VALVES TWO INCHES AND SMALLER SHALL BE ALL BRASS OR BRONZE; VALVES OVER TWO INCHES SHALL BE IRON BODY, FULLY BRONZE OR BRONZE MOUNTED. 18. VALVES 4 INCHES AND LARGER SHALL BE LINED AND COATED. INTERIOR OF VALVES SHALL BE COATED WITH A RUST INHIBITING EPDXY PRIMER, FOLLOWED BY A COAL TAR EPDXY, TOTAL MINIMUM DRY FILM THICKNESS OF 16 MILS, APPLIED AT THE FACTORY. EXTERIOR COATING ON BURIED VALVES SHALL BE RUST INHIBITING EPDXY PRIMER, FOLLOWED BY A COAL TAR EPDXY, TOTAL MINIMUM DRY FILM THICKNESS OF 16 MILS, APPLIED AT THE FACTORY. EXTERIOR COATING OF EXPOSED VALVES SHALL BE FACTORY APPLIED RUST INHIBITING EPDXY PRIMER, MINIMUM 3 MILS DRY FILM THICKNESS. AFTER INSTALLATION, EXTERIOR SURFACES SHALL BE PAINTED WITH TWO COATS TNEMEC SERIES 2 TNEME-GLOSS, GLIDDEN LIFE MASTER PRO HIGH PERFORMANCE ACRYLIC NO. 6900 SERIES, OR EQUAL, AT 4 MILS MINIMUM DRY FILM THICKNESS PER COAT. PAINT COLOR TO BE IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS. 19. ALL VALVES 12" AND SMALLER SHALL BE GATE VALVES UNLESS OTHERWISE INDICATED ON THE DRAWINGS. GATE VALVES 3 INCHES TO 12 INCHES SHALL CONFORM TO AWWA C509. THE VALVES SHALL BE IRON BODY, AST IRON FULLY ENCAPSULATED MOLDED RUBBER WEDGE COMPLYING WITH ASTM D2000, NON-RISING STEM WITH 0-RING SEALS. VALVES SHALL OPEN COUNTERCLOCKW 20. TAPPING VALVES AND SLEEVES SHALL BE APPROVED AWWA TYPE OF THE SIZE REQUIRED. VALVES SHALL CONFORM TO THE REQUIREMENTS OF AWWA C509. 21. VALVES 14* AND LARGER SHALL BE BUTTERFLY VALVES. BUTTERFLY VALVES SHALL MEET OR EXCEED THE DESIGN STRENGTH, TESTING AND PERFORMANCE REQUIREMENTS OF AWWA C504, CLASS 150, VALVE BODY SHALL BE MECHANICAL JOINT END TYPE VALVE CONSTRUCTED OF CAST IRON OR DUCTILE IRON. DISC SHALL BE ONE PIECE CAST DESIGN WITH NO EXTERNAL RIBS TRANSVERSE TO FLOW. DISC SHALL BE CAST IRON OR DUCTILE IRON. THE RESILIENT SEAT SHALL MATE WITH A 304 OR 316 STAINLESS STEEL SURFACE 22. VALVE SEATS SHALL BE MECHANICALLY RETAINED, AND MAY BE INSTALLED ON EITHER THE BODY OR DISC. 0-RING SEATS ON VALVE DISCS ARE UNACCEPTABLE. SEATS FOR VALVES 14" DIAMETER AND LARGER SHALL BE FULLY FIELD REPLACEABLE WITHOUT THE USE OF SPECIAL TOOLS. OPERATORS OF THE ENCLOSED TRAVELING-NUT TYPE SHALL BE PROVIDED UNLESS OTHERWISE INDICATED 23 ALL BURIED VALVES SHALL BE PROVIDED WITH ADJUSTABLE VALVE BOXES APPROXIMATELY 5 INCHES IN DIAMETER WITH A MINIMUM THICKNESS OF 3/16 INCH CAST IRON. BOXES SHALL BE OF SUFFICIENT LENGTH TO PERATE ALL VALVES BURIED IN THE GROUND, CONSISTING OF BASE, CENTER SECTION, AND TOP SECTION WITH COVER. VALVE BOXES LOCATED IN UNPAVED AREAS SHALL BE SLIP TYPE DESIGN TO PERMI MOVEMENT OF THE TOP SECTION WITHOUT TRANSMITTING FORCES ONTO THE VALVE BODY. VALVE BOXES CAST INTO CONCRETE OR ASPHALT SURFACING SHALL HAVE BRASS COVERS. ALL VALVE BOX COVERS SHALL BE INTERNALLY CHAINED TO VALVE BOXES WITH AN APPROXIMATELY 18 INCH GALVANIZED CHAIN. VALVE BOX COVERS SHALL BE CAST WITH THE INSCRIPTION 'WATER' OR 'RECLAIMED WATER'. 24. PVC PIPE SHALL BE COLOR CODED BLUE (WATER MAINS) OR PURPLE (RECLAIMED WATER MAINS), STENCILED "WATER LINE" OR "RECLAIMED WATER LINE", AS APPLICABLE, (2" LETTERING ON TWO SIDES OF THE PIPE IN AT LEAST THREE AREAS PER PIPE SECTIO 25. INSTALL IDENTIFICATION TAPE ALONG ALL DUCTILE IRON PIPE AND PVC PIPE MINIMUM THICKNESS 4 MILS. WIDTH 6 INCHES, LETTER SIZE 1 INCH APPLY TAPE TO SURFACE OF PIPE. CONTINUOUSLY EXTENDING FROM JOINT TO JOINT. TAPE COLOR AND LETTERING SHALL BE BLACK PRINTING ON BLUE BACKGROUND (WATER MAINS), BLACK PRINTING ON PURPLE BACKGROUND (RECLAIMED WATER MAINS), PLACE TAPE AS FOLLOWS: 8" PIPE - CENTER ALONG TOP HALF OF PIPE; 10P - 18" PIPE - PLACE ALONG BOTH SIDES OF THE TOP HALF OF PIPE; 20" PIPE AND LARGER - PLACE ON BOTH SIDES OF TOP HALF OF PIPE; 10P - 18" PIPE - VENTERED ALONG TOP HALF OF PIPE. 26. INSTALL WARNING TAPE ALONG ALL PIPELINES, PLACED 2 FEET ABOVE PIPE. TAPE SHALL BE 6-INCH WIDE VINYL CONTINUOUS TAPE. TAPE SHALL BE COLORED BLUE (WATER MAINS) OR PURPLE (RECLAIMED WATER MAINS) WITH BLACK LETTERING, CODED AND WORDED "CAUTION: WATER MAIN BURIED BELOW", OR "CAUTION: RECLAIMED WATER MAIN BURIED BELOW", APPLICABL 27. INSTALL LOCATING WIRE ALONG ALL PVC PIPELINES. WIRE SHALL BE COLOR-CODED 14 GAUGE CONTINUOUS INSULATED WIRE. COLOR CODING SHALL BE SIMILAR TO WARNING TAPE COLORS. INSTALL LOCATOR WIRE ALONG ALL PRESSURIZED PIPELINES 7 AND LARGER. LOOP WIRE INTO ALL VALVE BOXES. LOOPING TO OCCUR EVERY 500 FEET MINIMUM. WHERE THERE ARE NO VALVE BOXES TO ALLOW LOOPING, PROVIDE ACCESS BOXES PER CITY REQUIREMENTS. CHECK WIRE FOR ELECTRICAL CONTINUITY. 28. ALL CHANGES IN DIRECTION SHALL BE MADE WITH FITTINGS OR APPROVED JOINT DEFLECTION. BENDING OF PIPE, EXCEPT COPPER AND POLYETHYLENE, IS PROHIBITED. JOINT DEFLECTION SHALL NOT EXCEED 75% OF THE MANUFACTURERS RECOMMENDED MAXIMUM DEFLECTION. 29. TEST PROCEDURES SHALL BE APPROVED BY THE ENGINEER. ALL TESTS SHALL BE MADE IN THE PRESENCE OF THE ENGINEER AND UTILITY. NOTIFY THE ENGINEER AND THE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY WORK IS TO BE INSPECTED OR TESTED. 30. PROVIDE ALL EQUIPMENT FOR TESTING, INCREMENTS ON GAGES USED FOR LOW PRESSURE AIR TESTING SHALL BE OF SCALED TO THE NEAREST 0.1 PSI, GAGES, PUMPS, AND HOSES SHALL BE IN GOOD WORKING ORDER WITH NO NOTICEABLE LEAK 31. ALL SERVICE LINES SHALL BE COMPLETED PRIOR TO TESTING, AND ARE SUBJECT TO THE SAME TESTING REQUIREMENTS AS THE MAIN LINE. 32. APPLY HYDROSTATIC TEST PRESSURE OF 150 PSI (WATER MAINS), 200 PSI (FIRE MAINS), OR 100 PSI (RECLAIMED WATER MAINS) FOR 10 MINUTES AND FOR SUCH ADDITIONAL PERIOD NECESSARY FOR THE ENGINEER TO COMPLETE THE INSPECTION OF THE LINE UNDER TEST. DO NOT EXCEED PIPE MANUFACTURERS SUGGESTED TIME DURATION AT THE TEST PRESSURE. IF DEFECTS ARE NOTED, REPAIRS SHALL BE MADE AND THE TEST REPEATED UNTIL ALL PARTS OF THE LINE WITHSTAND THE TEST PRESSURE. 33. APPLY LEAKAGE TEST PRESSURE OF 150 PSI (WATER MAINS), 200 PSI (FIRE MAINS) OR 100 PSI (RECLAIMED WATER MAINS). MAINTAIN PRESSURE AT A MAXIMUM VARIATION OF 5% DURING THE ENTIRE LEAKAGE TEST. THE DURATION OF THE LEAKAGE TEST SHALL BE TWO HOURS MINIMUM, AND FOR SUCH ADDITIONAL TIME NECESSARY FOR THE ENGINEER TO COMPLETE INSPECTION OF THE SECTION OF LINE UNDER TEST. LEAKAG WEASUREMENTS SHALL NOT BE STARTED UNTIL A CONSTANT TEST PRESSURE HAS BEEN ESTABLISHED. THE LINE LEAKAGE SHALL BE MEASURED BY MEANS OF A WATER METER INSTALLED ON THE SUPPLY SIDE OF THE PRESSURE PUMP. 34. NO LEAKAGE IS ALLOWED IN EXPOSED PIPING, BURIED PIPING WITH FLANGED, THREADED, OR WELDED JOINTS OR BURIED NON-POTABLE PIPING IN CONFLICT WITH POTABLE WATER LINES. 35. TESTED SECTIONS OF BURIED PIPING WITH SLIP-TYPE OR MECHANICAL JOINTS WILL NOT BE ACCEPTED IF IT HAS A LEAKAGE RATE IN EXCESS OF THAT RATE DETERMINED BY THE FORMULA L = SDP/133200 (AWWA C-600 DUCTILE IRON MAINS), OR L = NDP/7400 (AWWAC-605 - PVC MAIN); WHERE L = MAXIMUM PERMISSIBLE LEAKAGE RATE, IN GALLONS PER HOUR, THROUGHOUT THE ENTIRE LENGTH OF LINE BEING TESTED; S = LENGTH OF LINE TESTED (IN FEFT): D = NOMINAL INTERNAL DIAMETER (IN INCHES) OF THE PIPE: N = NUMBER OF JOINTS ALONG LINE BEING TESTED; AND P = THE SQUARE ROOT OF THE ACTUAL PRESSURE IN PSIG ON ALL JOINTS IN THE TESTED PORTION OF THE LINE. THIS ACTUAL PRESSURE SHALL BE DETERMINED BY FINDING THE DIFFERENCE BETWEEN THE AVERAGE ELEVATION OF ALL TESTED PIPE JOINTS AND THE ELEVATION OF THE PRESSURE GAUGE AND ADDING THE DIFFERENCE IN ELEVATION HEAD TO THE AUTHORIZED TEST PRESSURE. 38. ALL APPARENT LEAKS DISCOVERED WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER SHALL BE LOCATED AND REPAIRED BY CONTRACTOR, REGARDLESS OF THE TOTAL LINE LEAKAGE RATE. 37. DISINFECT ALL POTABLE WATER LINES, FIRE LINES, VALVES, FITTINGS, HYDRANTS. 38. ALL DISINFECTION WORK SHALL BE ACCEPTABLE TO THE STATE HEALTH AUTHORITY. IF ANY REQUIREMENTS OF THIS SECTION ARE IN CONFLICT WITH REQUIREMENTS OF THE AUTHORITY FOR DISINFECTION, THOSE OF THE AUTHORITY SHALL GOVERN. THE WATER MAIN DISINFECTION AND BACTERIOLOGICAL SAMPLING AND METHODS OF DISINFECTION FOR ALL WATER CONTAINMENT DEVICES AND PIPING SYSTEMS SHALL CONFORM TO AWWA C651. FIRE PROTECTION SYSTEMS COMBUSTIBLE CONSTRUCTION CANNOT OCCUR UNTIL PROPER DOCUMENTATION HAS BEEN SUBMITTED TO THE LOCAL FIRE MARSHAL. DOCUMENTATION SHALL SHOW THAT HYDRANTS HAVE BEEN INSTALLED, TESTED, AND ARE IN PROPER WORKING ORDER. 2. INSTALL ALL FIRE LINE PIPING AT A MINIMUM 36 INCHES OF COVER. 3. ALL FIRE LINE PIPING FROM POINT OF SERVICE AS DEFINED BY FS 633.021(16) SHALL BE C900 DR 14. THE FIRE LINE SHALL BE PRESSURE TESTED TO 200 PSI FOR A MINIMUM OF TWO HOURS, TESTED IN ACCORDANCE WITH NFPA 24-9-2. 4. THE CONTRACTOR INSTALLING THE UNDERGROUND FIRE PROTECTION PIPING SHALL HOLD A CLASS I, II, OR LEVEL V CERTIFICATION AS ISSUED BY THE STATE OF FLORIDA, AS REQUIRED BY FS 633.021(5). 5. ALL FIRE PROTECTION SPRINKLER SYSTEMS INSTALLED SHALL COMPLY WITH NFPA 13, AND SHALL BE MONITORED BY A COMPANY LISTED AS A CENTRAL STATION. 6. HYDRANTS SHALL CONFORM TO AWWA C502 AND SHALL BE FURNISHED COMPLETE WITH WRENCH AND OTHER APPURTENANCES. MANUFACTURERS CERTIFICATION OF COMPLIANCE WITH AWWA C502 AND TESTS LISTED THEREIN WILL BE REQUIRED. 7. ALL HYDRANTS SHALL BE OF BREAKABLE TYPE, WITH THE BREAKABLE SECTION LOCATED SLIGHTLY ABOVE THE FINISH GROUND LINE. HYDRANTS SHALL CONTAIN TWO-TWO AND A HALF INCH [(2) 2-1/2"] HOSE 20NNECTIONS AND ONE-FOUR AND A HALF INCH (4-1/2") STEAMER CONNECTIONS WITH NATIONAL STANDARD FIRE HOSE COUPLING SCREW THREADS, FIVE AND ONE QUARTER INCH (5-1/4") VALVE OPENING, SIX INCH 6") DIAMETER MECHANICAL JOINT INLET, ONE AND ONE-HALF INCH (1-1/2") PENTAGON OPERATING NUT. THE HYDRANTS SHALL OPEN COUNTERCLOCKWIS 8. ALL HYDRANTS SHALL BE PAINTED IN AN APPROVED MANNER WITH THE PRIMER PAINT BEING KOPPER'S "GLAMORTEX" NO. 622 RUST PRIMER AND THE FINISH PAINT SHALL BE TWO COATS OF ENAMEL OR SPECIAL COATING TO COLOR AS REQUIRED BY THE LOCAL FIRE DEPARTMENT 9. BLUE PAVEMENT REFLECTORS (CAT EYES) SHALL BE PLACED IN THE CENTERLINE OF THE DRIVING LANE DIRECTLY IN FRONT OF ALL FIRE HYDRANTS. THERE SHALL BE NO TREES, SHRUBS, OR LANDSCAPING PLANTED AROUND THE FIRE HYDRANTS OR IN AREAS DESIGNATED AS FIRE LANES. 10. NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SUCH THAT THE UNDERGROUND DRAIN (WEEP HOLE) IS AT LEAST: THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER MAIN, OR VACUUM TYPE SANITARY SEWER; SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY SANITARY SEWER AND WASTEWATER FORCE MAIN; AND TEN FEET FROM ANY ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SUCH AS SEPTIC TANKS, DRAINFIELDS, AND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS DO NOT INCLUDE PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATMENT FACILITIES. 11. THE CONTRACTOR SHALL PROVIDE A POST-CONSTRUCTION FIRE FLOW TEST WITNESSED AND APPROVED BY THE ENGINEER AND THE UTILITY. HYDRANTS SHALL DELIVER A MINIMUM OF 1250 GPM WITH A RESIDUAL PRESSURE OF 20 PSI. SANITARY SEWER SYSTEMS 1. THE ENTITY THAT WILL OPERATE AND MAINTAIN THE SEWER SYSTEM SHOWN ON THESE PLANS IS THE CITY OF HOLLYWOOD. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE CITY OF HOLLYWOOD -2. PVC SEWER PIPE SHALL BE TYPE PSM PVC PIPE CONFORMING TO ASTM D3034 AND SHALL BE SDR 35 FOR 4" THROUGH 15", AND ASTM F 679, WALL THICKNESS T-1, FOR PIPE 18" THROUGH 27". 3. INSTALL ALL SEWER MAINS AT A MINIMUM 36 INCHES OF COVER. 4. JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3212 USING RUBBER GASKETS CONFORMING TO ASTM F477. 5. FITTINGS SHALL CONFORM TO THE SAME REQUIREMENTS AS THE PIPE. PROVIDE ADAPTERS AS REQUIRED TO JOIN PVC PIPE TO PIPE, FITTINGS AND EQUIPMENT OF OTHER MATERIALS. SOLVENT CEMENT SHALL BE AS RECOMMENDED BY THE PIPE MANUFACTURER. 6. PVC SEWER PIPE SHALL BE COLOR CODED GREEN, STENCILED "SEWER LINE" (2. LETTERING ON TWO SIDES OF THE PIPE IN AT LEAST THREE AREAS PER PIPE SECTION). INSTALL ADHESIVE IDENTIFICATION TAPE ALONG PIPELINE. TAPE SHALL BE MINIMUM THICKNESS 4 MILS, WIDTH 6 INCHES, LETTER SIZE 1 INCH. TAPE COLOR AND LETTERING SHALL BE "SEWER LINE", BLACK PRINTING ON SREEN BACKGROUND. PLACE TAPE AS FOLLOWS: - 8" PIPE - CENTER ALONG TOP HALF OF PIPE; 10" - 18" PIPE - PLACE ALONG BOTH SIDES OF THE TOP HALF OF PIPE; 20" PIPE AND LARGER - PLACE ON BOTH SIDES OF TOP HALF OF PIPE WITH A THIRD STRIP CENTERED ALONG TOP HALF OF PIPE. 8 INSTALL WARNING TAPE ALONG ALL SEWER PIPELINES, TAPE SHALL BE 6-INCH WIDE VINYL CONTINUOUS TAPE. COLORED GREEN WITH BLACK LETTERING CODED AND WORDED "CAUTION: SEWER BURIED BELOW".

 CONNECTIONS TO EXISTING SEWER SHALL BE CONDUCTED IN SUCH A MANNER THAT THE EXISTING SEWER REMAINS IN OPERATION. PROVIDE BY PASS PUMPING OF EXISTING FLOWS OR COLLECT AND LEGALLY DISPOSE OF EXISTING SEWER FLOW AS NEEDED TO ACCOMMODATE CONSTRUCTION WHILE KEEPING EXISTING SEWER IN SERVICE. PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND MANHOLES. TEST PROCEDURES SHALL BE APPROVED BY THE ENGINEER ALL TESTS SHALL BE MADE IN THE PRESENCE OF THE ENGINEER AND UTILITY. NOTIFY THE ENGINEER AND THE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY WORK IS TO BE INSPECTED OR TESTED. PROVIDE ALL EQUIPMENT FOR TESTING, INCREMENTS ON GAGES USED FOR LOW PRESSURE AIR TESTING SHALL BE OF SCALED TO THE NEAREST 0.1 PSI. GAGES, PUMPS, AND HOSES SHALL BE IN GOOD WORKING ORDER WITH NO NOTICEABLE LEAKS. ALL SERVICE LATERALS SHALL BE COMPLETED PRIOR TO TESTING, AND ARE SUBJECT TO THE SAME TESTING REQUIREMENTS AS THE MAIN LINE. PROVIDE LIGHT SOURCE AND MIRRORS FOR LAMPING OF SEWER ANY SEWER IN WHICH THE DIRECT LIGHT OF A LAMP CANNOT BE VIEWED IN EITHER DIRECTION, FULL CIRCLE, BETWEEN ADJACENT MANHOLES SHALL BE CONSIDERED UNSATISFACTORY, UNLESS THE LINE IS DESIGNED WITH HORIZONTAL DEFLECTIONS, AND SHALL BE REPAIRED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. 	gineering	k Road Suite 100 3 9 ation Number 30129
 CONDUCT LOW PRESSURE AIR TESTING (4.0 PSI INITIAL PRESSURE) OF INSTALLED SEWER PIPING IN ACCORDANCE WITH ASTM F1417. MAXIMUM ALLOWABLE LEAKAGE IS 0.0015 CUBIC FEET PER MINUTE PER SQUARE FOOT INTERNAL SURFACE AREA BEING TESTED. ALLOWABLE AIR PRESSURE DROP DURING THE TEST IS 0.5 PSIG. MINIMUM REQUIRED TEST TIME (DURATION) IS: A) 4" PIPE = 1 MIN 53 SEC; B) 6" PIPE = 2 MIN 50 SEC, OR 0.427 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; C) 8" PIPE = 3 MIN 47 SEC, OR 0.760 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; D) 10" PIPE = 4 MIN 43 SEC, OR 1.187 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 12" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 12" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 12" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 12" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 12" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 12" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 14" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 14" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 14" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS GREATER; E) 14" PIPE = 5 MIN 40 SEC, OR 1.709 X LENGTH OF PIPE TESTED, WHICHEVER IS OPPINE MANHOLE TO BE FIELD DETERMINED BY UTILITY AND ENGINEER. MINIMUM TEST DURATION IS 1 HOUR. 	IGT En ngineers	Palmetto Parl ton, FL. 3343 561) 716-015 e of Authoriz
 16. CONDUCT DEFLECTION TESTING OF PIPELINE AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. MAXIMUM ALLOWABLE PIPE DEFLECTION IS 5%. MEASURE DEFLECTION BY MANUALLY PULLING A MANDREL THROUGH THE PIPE. THE MINIMUM MANDREL OUTER DIAMETER SHALL BE IN ACCORDANCE WITH THE FOLLOWING: 6" SEWER = 5.45" MANDREL; 8" SEWER = 7.28" MANDREL; 10" SEWER = 9.08" MANDREL; 12" SEWER = 10.79" MANDREL; 15" SEWER = 13.20" MANDREL; 18" SEWER = 16.13" MANDREL; 21" SEWER = 19.00" MANDREL; 24" SEWER = 21.36" MANDREL; 27" SEWER = 24.06" MANDREL. 17. DEFLECTION TESTING IS CONSIDERED SATISFACTORY IF THE MANDREL CAN BE PULLED BY HAND THROUGH THE PIPE BEING TESTED. IF THE MANDREL CANNOT BE PULLED THROUGH THE PIPE, REPLACE OR CORRECT THE PIPE AND RETEST UNTIL TESTING IS SATISFACTORY. ANY PIPE REMOVED OR CORRECTED DUE TO FAILING DEFLECTION TESTING SHALL ALSO BE RE-TESTED FOR LEAKAGE. PRECAST STRUCTURES AND APPURTENANCES 	SZAI Civil E	7251 W F Boca Rat Phone: (5 Certificati
 ALL MANHOLES SHALL BE PRECAST CONSTRUCTION. THE MINIMUM SIZE DIAMETER OF MANHOLES SHALL BE 48° FOR SEWER LINES 21° IN DIAMETER OR LESS. INTEGRALLY CAST STEPS WITHIN PRECAST STRUCTURES ARE NOT ALLOWED. BASES SHALL BE ONE-PIECE PRECAST BASE SECTIONS CONSISTING OF INTEGRALLY CAST SLAB, BOTTOM RING SECTION AND CONCRETE FLOW CHANNELS. BASE SECTIONS SHALL HAVE INTEGRAL INVERTS WITH GASKETS TO MATCH THE PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL INVERT ANGLES. PROVIDE OUTLET STUBS WITH JOINTS TO MATCH THE PIPE. RISERS SHALL BE PRECAST REINFORCED CONCRETE PER ASTM C478, MANUFACTURED USING SULFATE RESISTANT CEMENT (ASTM C150, TYPE II). RISERS SHALL BE 48-INCH DIAMETER UNLESS OTHERWISE INDICATED AND SHALL HAVE A MINIMUM WALL THICKNESS OF 5 INCHES. 		iews:
 4. GASKETS FOR SEATING PRECAST SECTIONS SHALL BE COLD ADHESIVE PREFORMED PLASTIC GASKETS CONFORMING TO FDOT SPECIFICATION 942-2, UNLESS OTHERWISE INDICATED. 5. UNLESS OTHERWISE INDICATED, CONE TOP SECTIONS SHALL BE PRECAST, ECCENTRIC TYPE WITH 24-INCH DIAMETER TOP OPENING CONFORMING TO ASTM C478. PROVIDE 8-INCH MINIMUM THICKNESS FLAT SLAB TOPS WITH ECCENTRIC 24 INCH DIAMETER OPENING, UNLESS OTHERWISE INDICATED. 6. PROVIDE A FLEXIBLE WATERTIGHT SEAL OF THE PIPE TO THE MANHOLE. CONNECTION OF CONCRETE PIPE TO THE MANHOLE SHALL BE MADE WITH NON-SHRINK METALLIC GROUT. CONNECTION OF DUCTILE IRON OR PVC PIPE TO THE MANHOLE SHALL PROVIDE A WATERTIGHT CONNECTION PER ASTM C923. WHERE CONNECTORS ARE USED, THEY SHALL BE INSTALLED IN THE MANHOLE WALL BY ACTIVATING THE EXPANDING MECHANISM IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE CONNECTOR MANUFACTURER. THE USE OF ADHESIVES OR LUBRICANTS FOR INSTALLATION OF RUBBER CONNECTORS IS PROHIBITED. 		
 FRAMES AND COVERS SHALL BE GREY IRON PER ASTM A48, CLASS 30B AND SHALL BE US FOUNDRY TYPE 227AS, TRAFFIC BEARING (AASHTO H-20 LOADING), UNLESS OTHERWISE NOTED IN THE DRAWINGS. CASTINGS SHALL BE SMOOTH, CLEAN, FREE FROM BLISTERS, BLOWHOLES, AND SHRINKAGE. RAISED LETTERING ON COVERS SHALL BE "STORM", "SEWER", OR AS DETAILED ON THE DRAWINGS. PROVIDE CAST IRON INLETS, FRAMES, AND GRATES IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. ALL FRAMES AND INLET GRATES SHALL BE PRODUCTS OF U.S. FOUNDRY & MANUFACTURING CORPORATION, OR EQUAL. ALL INLET GRATES SHALL BE SECURED BY CHAIN AND EYEBOLT TO THE TOP OF THE STRUCTURE. 		
 MANHOLE COATINGS AND FINISHES SHALL BE: A. SANITARY SEWER MANHOLE INTERIOR - BITUMINOUS EPDXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS. B. INTERIOR OF MANHOLES WHICH RECEIVE FORCE MAIN DISCHARGE - INTEGRALLY ATTACHED INTERIOR LINER, FULL HEIGHT, FIBERGLASS LINER. LINER THICKNESS TO BE IN ACCORDANCE WITH THE DRAWINGS. C. EXTERIOR - BITUMINOUS EPDXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS. 11. AS-BUILT INFORMATION SHALL INCLUDE ALL RIM, TOP AND INVERT ELEVATIONS FOR ALL PRECAST STRUCTURES. 		
STORM SEWER SYSTEMS 1. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ROUND CONCRETE PIPE SHALL COMPLY WITH ASTM C76. ELLIPTICAL CONCRETE PIPE SHALL COMPLY WITH ASTM C507. PIPE JOINTS AND 0-RING GASKETS SHALL COMPLY ASTM C443. MINIMUM COVER OVER THE PIPE, INCLUDING COVER OVER THE BELL OF THE PIPE WHERE APPLICABLE, SHALL BE 30 INCHES. 2. RCP PIPE SHALL NOT BE SHIPPED FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED 4000 PSI AND A MINIMUM OF 5 DAYS HAVE PASSED SINCE THE MANUFACTURING OR REPAIR OF THE PIPE HAS BEEN COMPLETED.	RD TRUS	WOOD, FLORIDA
 CORRUGATED POLYETHYLENE (PE) PIPE AND FITTINGS SHALL BE HIGH DENSITY, IN ACCORDANCE WITH ASTM 03350, CELL CLASSIFICATION 324420C (4*-10*) OR CELL CLASSIFICATION 335420C (17-36*). PIPE 4*-10* SHALL DE UNTE SON PIPE WITH AASHTO M294, TYPE S. BELL JOINTS FOR 4*-10* PIPE SHALL BE PUSH-ON SLEEVE. BELL JOINTS FOR 12*-36* PIPE SHALL BE INTEGRALLY FORMED ON PIPE. GASKETS SHALL BE INSTALLED BY PIPE MANUFACTURER AND SHALL COMPLY WITH ASTM 01056, GRADE 242. FITTINGS SHALL COMPLY WITH AASHTO M294. UNDERDRAIN PIPE SHALL BE PERFORATED POLYVINYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM F758. FILTER FABRIC UNDERDRAIN SOCK SHALL BE TYPE D-3 IN ACCORDANCE WITH FDOT INDEX NO. 199. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 199, TYPE D-3, A.O.S. 70-100. INSTALL IN ACCORDANCE WITH FDOT INDEX NO. 280. PROVIDE MINIMUM 12* OVERLAP. 	1 S. SURF	H SURF ROAD, HOLLI
 INSTALL POLYETHYLENE PIPE IN ACCORDANCE WITH ASTM D2321. BACKFILL AND COMPACT EVENLY ON EACH SIDE TO PREVENT DISPLACEMENT. MINIMUM COVER OVER POLYETHYLENE PIPE SHALL BE AS FOLLOWS: A) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS SUITABLE SOILS AS DEFINED IN THE GENERAL NOTES: MINIMUM COVER SHALL BE 36 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER: B) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS MANUFACTURED AGGREGATES CLASS 1A OR 1B AS DEFINED IN ASTM D2321: MINIMUM COVER SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER. INSTALL UNDERDRAINS IN ACCORDANCE WITH FDOT SPECIFICATION SECTION 440. INSTALL CLEANOUTS AS SHOWN ON THE DRAWINGS. 		
 PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND STRUCTURES. ALL STORM PIPE SHALL BE SUBJECTED TO LEAKAGE TESTING. WHEN THE GROUND WATER LEVEL IS ABOVE THE TOP OF THE PIPE, AN INFILTRATION TEST SHALL BE PERFORMED BY SEALING OFF A LENGTH OF PIPE AND MEASURING THE DEPTH OF FLOW OVER A MEASURING WEIR, OR BY PUMPING THE INFILTRATED WATER INTO CONTAINERS FOR MEASUREMENT. TESTS SHALL BE CONDUCTED FOR A MINIMUM OF FOUR HOURS. INFILTRATION LEAKAGE SHALL NOT EXCEED 150 GALLONS PER 24 HOURS, PER INCH DIAMETER, PER MILE OF PIPE. WHEN THE GROUND WATER LEVEL IS BELOW THE TOP OF THE PIPE, THE PIPE SHALL BE TESTED FOR LEAKAGE BY EXFILTRATION LEAKAGE TEST SHALL CONSIST OF ISOLATING THE PARTICULAR SECTION, FILLING WITH WATER TO A POINT 4 FEET ABOVE THE TOP OF THE PIPE AND HOURS. THE SECTION SHALL THEN BE REFILLED WITH WATER UP TO THE ORGINAL LEVEL AND AFTER TWO HOURS THE DROP IN WATER SURFACE SHALL BE MEASURED. THE COMPUTED LEAKAGE SHALL NOT EXCEED 150 GALLONS PER INCH DIAMETER, PER 24 HOURS, PER MILE OF PIPE. 	ZAL NOTE:	
 MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2021-22 EDITION. ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS. MATERIAL STABILITY AND DENSITY REQUIREMENTS ARE AS FOLLOWS: A. TYPE S ASPHALTIC CONCRETE: MINIMUM STABILITY 1500 LBS, COMPACTED TO A MINIMUM OF 95% OF THE MARSHALL DESIGN DENSITY. FOR OFFSITE PAVEMENT USE TYPE SP PAVEMENT PER THE FDOT STANDARDS AND SPECIFICATIONS. B. LIMEROCK BASE: MINIMUM LIBR OF 100, PLACED IN 6" MAXIMUM LIFTS, COMPACTED TO A MINIMUM DENSITY OF 98% OF THE MODIFIED PROCTOR DRY DENSITY (AASTHO T-180). CONTRACTOR MAY SUBSTITUTE ASPHALT BASE COURSE TYPE 3 (MIN. STABILITY OF 1000 LBS) AT NO ADDITIONAL COST, PROVIDED STRUCTURAL NUMBER EQUALS OR EXCEEDS THAT OF THE SPECIFIED LIMEROCK BASE. C. SUBGRADE: STABILIZE TO A MIN. LBR OF 40, COMPACT TO A MINIMUM DENSITY OF 98% OF THE MODIFIED PROCTOR DRY DENSITY (AASTHO T-180). CONTRACTOR MAY SUBSTITUTE LIMEROCK SUBGRADE (MIN. LBR OF 	Plan Description: GENEP	
 100) OR CONTROLLED LOW STRENGTH MATERIAL ("FLOWABLE FILL"), Fc (28 DAY) = 100-125 PSI AT NO ADDITIONAL COST, PROVIDED STRUCTURAL NUMBER EQUALS OR EXCEEDS THAT OF THE SPECIFIED SUBGRADE. SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. THE SIDEWALK SHALL BE CONSTRUCTED OF 4" OF CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 2500 PSI. JOINTS SHALL BE EITHER TOOLED OR SAW CUT AT A DISTANCE OF 10'. HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE FDOT CLASS "1" CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 2500 PSI. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS. FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 300 LINEAR FEET OF PAVING PER 24-FT WIDE STRIP, STAGGERED LEFT, CENTER AND RIGHT OF CENTERLINE. WHERE LESS THAN 300 LINEAR FEET OF SUB-BASE, BASE, AND ASPHALT IS PLACED IN ONE DAY, PROVIDE MIN. OF ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A 	Seal:	
LOCATION DESIGNATED BY THE ENGINEER. ASPHALT EXTRACTION GRADATION SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONCE PER DAY). SIGNS AND PAVEMENT MARKINGS 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST IMPLEMENTED EDITION OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS. STANDARDS INDEX NO. 11200, 11860, 11862, 11863, 11864, 11865, 17302, 17344, 17346, 17349, AND 17355 APPLY. GENERALLY, ALL MARKINGS SHALL CONFORM TO THE FOLLOWING: 6" EDGE LINES, 6" LANE LINES, 6" SINGLE CENTERLINES, AND 6" DOUBLE LINE PATTERNS, UNLESS OTHERWISE NOTED ON THE PLANS. 2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 911 - 4" x 4"). RAISED PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND FDOT INDEX NO. 17352.	JORGE FLA. REG. P Designed by: JOF	SZAUER 2.E. # 62579 RGE M. SZAUER
 PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 971, NON-REFLECTIVE WHITE TRAFFIC PAINT. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK OF ALL FINISHED PANELS SHALL BE STENCILED WITH THE DATE OF FABRICATION, THE FABRICATORS INITIALS, AND THE NAME OF THE SHEETING IN THREE-INCH LETTERS. INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRED TO BE RETROREFLECTIVE. THE CONTRACTOR SHALL VERIFY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO FABRICATION. ALL PAVEMENT MARKINGS REQUIRE LAYOUT APPROVAL IN THE FIELD BY THE ENGINEER PRIOR TO INSTALLATION 	Drawn by: Revised & Sealed: JOF Date: SE	JJANSE RGE M. SZAUER PTEMBER 2024
 8. PRIOR TO FINAL PAVEMENT MARKING INSTALLATION, A TWO WEEK CURE TIME OF THE ASPHALT IS REQUIRED. PAVING TIMING REQUIREMENTS 1. INSTALL SUBGRADE AND BASE COURSE MATERIALS WITHIN 48 HOURS OF THE REMOVAL / OPEN CUTTING OF EXISTING PAVEMENT CONSISTING OF STREETS, DRIVEWAYS, OR SIDEWALK. INSTALL FINAL SURFACE COURSES WITHIN 14 DAYS AFTER REMOVAL OF EXISTING PAVEMENT 2. AREAS TO RECEIVE ASPHALT SHALL RECEIVE EROSION CONTROL MEASURES NO LATER THAN 48 HOURS AFTER ACCEPTANCE OF BASE COURSE. TEMPORARY EROSION CONTROL CONSISTS OF PLACEMENT OF A BITUMINOUS PRIME COAT AND SANDING THE SURFACE. PERMANENT EROSION CONTROL CONSISTS OF PLACEMENT OF THE STRUCTURAL COURSE 	Scale: Job Nº: Sheet:	AS SHOWN
3. AREAS TO RECEIVE CONCRETE PAVING SHALL BE EITHER PROTECTED WITH A LAYER OF FDOT COARSE AGGREGATE MATERIAL OR SHALL BE PAVED WITHIN 48 HOURS OF ACCEPTANCE OF THE SUBGRADE.		C-01





GENERAL EROSION & SEDIMENTATION CONTROL NOTES

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- B. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND / OR GRADING SHALL BE PERMITTED.
- E. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES.
- F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING , EQUIPMENT CLEANING , ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- H. DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- I. RUBBISH , TRASH , GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- J. ALL DENUDED / BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS / GRAIN VARIETIES, STRAW / HAY MULCH WOOD CELLULOSE FIBERS , TACKIFIERS, NETTING OR BLANKETS.
- K. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED , AND / OR VEGETATED IMMEDIATELY, AND NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND / OR LANDSCAPE PLAN.
- L. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS / EGRESS LOCATIONS AS PROVIDED.
- M. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- N. CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- O. ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- P. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- R. GENERAL CONTRACTOR IS TO DESIGNATE / IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- S. WHEN INSTALLATION OF SILT FENCE IS PERFORMED. THE CONTRACTOR SHALL STABILIZE THE DISTURBED AREA ALONG THE DOWNWARD SLOPE BY SEEDING OR MULCHING AS CONDITIONS WARRANT.

BMP MAINTENANCE EROSION NOTES

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- 2. ALL SEEDED \ SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED \ RESODDED AS NEEDED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- 6. OUTLET STRUCTURES SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- 7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. AND DEBRIS AND / OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

WASHING AREAS

VEHICLES SUCH AS CEMENT OR DUMP TRUCKS AND OTHER CONSTRUCTION EQUIPMENT SHOULD NOT BE WASHED AT LOCATIONS WHERE THE RUNOFF WILL FLOW DIRECTLY INTO A WATERCOURSE OR STORMWATER CONVEYANCE SYSTEM. SPECIAL AREAS SHOULD BE DESIGNATED FOR WASHING VEHICLES. THESE AREAS SHOULD BE LOCATED WHERE THE WASH WATER WILL SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND, OR WHERE RUNOFF CAN BE COLLECTED IN A TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHOULD HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.

SYMBOLS LEGEND



EXISTING P ROADWAY	AVED
_	
JPPLY WATER	TO WASI SARY -
Ą	













COASTAL CONSTRUCTION CONTROL LINE	WEST BOUNDARY LINE	EAST BOUNDARY LINE	TRANSECT LINE 'A'	EROSION CONTROL LINE	MEAN HIGH WATER LINE ELEVATION=0.39'
A - <u>+</u>		__			
	= = = ROAD = = = = = = = = = = = = = = = = = = =			<u></u>	
		mmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmm			
	— — — ASPHALT — — — — — — — — — — — — PAVEMENT — — — — — — — —			B_LA_CHA_R_A	
COASTAL	WEST	EAST	TRANSECT LINE 'B'	EROSION	MEAN HIGH WATER LINE
CONTROL LINE	BOUNDARY LINE	BOUNDARY LINE			ELEVATION=0.39

COASTAL	
CONSTRUCTION	Į

CONS	TRUCTION	WES ⁻	Г	EAST		TRANSFOT LINF 'B'	ERO	SION	WATER LINE
CONT	ROL LINE	BOUNDAR	(LINE BOL	NDARY LIN	INE	IRANSECT LINE D	CONTRO	DL LINE	ELEVATION=0.39'
B –	<u> </u>								
12	<u>+</u>								
	+				— — — — — — — — — — — — — — — — — — —	$\texttt{G} = _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ $			++
10	1			CONC		±		!	
8 –	+	$ = = = = = ROAD_{+}$							+
4	エニニ				-BRICK $ -$ CONC $+$ $-$				
	+	ASPHALT		BRC	ROAD WALK + BIKE + - +		_R_E_A	i	
0 —	<u>† – –</u>				— — — — † lane† —''-			i — — — — — — — — — — — — — — — — — — —	

COASTAL CONSTRUCTION CONTROL LINE	WE: BOUNDA	ST EA RY LINE BOUNDA	AST ARY LINE	TRANSECT LINE 'C'	EROSION CONTROL LINE	MEAN HIGH WATER LINE ELEVATION=0.39'
	-		CONC			
8 - +	= $=$ $=$ $=$ $ROAD$					
	ASPHALT		BROAD WALK + BIKE			A
	PAVEMENT -		1 — — — — — — † LANE — '— -			

NOTES:

- 1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD. 3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- 4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- 5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
- 6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). 7. BENCHMARK DESCRIPTION: BROWARD COUNTY BENCHMARK #3103 ELEVATION = 3.22' (NAVD88)
- 8. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
- 9. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- 10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- 11. THE PROPERTY HAS DIRECT ACCESS TO SOUTH SURF ROAD, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 1, PAGE 27, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA. 12. THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- 13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY. 14. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- 15. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY. 16. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 17. NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.
- 18. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 24051600 WITH A COMMITMENT EFFECTIVE DATE OF APRIL 30, 2024 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

COUSINS SURVEYORS & ASSOCIATES, INC.	CLIENT:		R E V I S I O N S BOUNDARY AND IMPROVEMENTS SURVEY	DATE FB/PG DWN CKD 06/04/24 SKETCH JD REC
3921 SW 47TH AVENUE, SUITE 1011 DAVIE, FLORIDA 33314		SUUIH SURF KUAD	ADDED CCCL INFORMATION ALTA/NSPS LAND TITLE SURVEY	06/21/24 SKETCH JD REC
CERTIFICATE OF AUTHORIZATION : LB $\#$ 6448	501 S. SURF RD IRUSI	HOLLYWOOD, FLORIDA	ADDED TREES AND BEACH TOPO	09/05/24 SKETCH JD REC
EMAIL: OFFICE@CSASURVEY.NET				

FLOOD
COMMUNIT
PANEL N
ZONE
BASE FLO
EFFECTIVI

ITEM# 7. RESERVATIONS AS SET FORTH ON THE PLAT OF HOLLYWOOD BEACH, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

ITEM# 9. RESOLUTION NO. 06-H-108 RECORDED IN OFFICIAL RECORDS BOOK 43442, PAGE 1499 AND IN OFFICIAL RECORDS BOOK 44133, PAGE 758, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)

STATE PLANE COORDINATE INFORMATION

(a) PROJECTION:

UNIVERSAL TRANSVERSE MERCATOR PROJECTION AS ESTABLISHED FOR THE FLORIDA EAST ZONE COORDIN SYSTEM.

(b) DATUM: THE STATE PLANE COORDINATES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 WITH A SUBSEQU RE-ADJUSTMENT DONE IN 2011 (NAD 83 (NATIONAL SPATIAL REFERENCE SYSTEM 2011)). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

(c) METHODOLOGY: COORDINATES WERE DETERMINED USING THE TOPCON HI-PER SR AND THE TOPCON FC-5000 WITH THE PACKAGE TOGETHER WITH THE 'L-NET' ROVER SYSTEM PACKAGE PROVIDED BY LENGEMANN CORPORATION THE 'L-NET' NETWORK (A TOPNET GNSS NETWORK) UTILIZES A NETWORK OF REAL TIME KINEMATIC (RTK) REFERENCE STATIONS.

(d) ESTIMATED ACCURACIES: HORIZONTAL ACCURACIES TO 0.04' VERTICAL ACCURACIES TO 0.07'

ALTA/NSPS LAND TITLE SURVEY





LOCATION MAP (NTS)

LAND DESCRIPTION:

LOTS 1 AND 2, BLOCK 13 OF "HOLLYWOOD BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ZONE INFOR	MATION
Y NUMBER	125113
JMBER	0588J
	AE/VE
OD ELEVATION	7 & 11
DATE	07/31/24

REVIEW OF SCHEDULE B-II

ITEM# 8. PERPETUAL BEACH STORM DAMAGE REDUCTION EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 32599, PAGE 1510. OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (DOES NOT AFFECT/PLOTTED)

LEGEND:

CKD CONC	CHECKED BY CONCRETE
)WN	DRAWN BY
B/PG	FIELD BOOK AND PAGE
SIR	SET 5/8"IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
IR	FOUND IRON ROD
ΊΡ	FOUND IRON PIPE
NC	FOUND NAIL & CAP
ND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
Р.В.	PLAT BOOK
3.C.R.	BROWARD COUNTY RECORDS
PL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
٧M	WATER METER
VV	WATER VALVE
0	CLEAN OUT
BFP	BACK FLOW PREVENTER
B	ELECTRIC BOX
VPP	WOOD POWER POLE
).00	ELEVATIONS
VIS	NOT TO SCALE
CCCL	COASTAL CONSTRUCTION CONTROL LINE
	AMERICAN LAND TITLE ASSOCIATION
1252	SURVEYORS

SCALE: 1'' = 20'

	CERTIFIED TO:
ATE	LAW OFFICE OF KIMBERLY A ABRAMS & ASSOCIATES, P.A. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY MELISSA M. GROSSMAN AS TRUSTEE UNDER THE 501 S SURF RD TRUST DATED THE 20TH DAY OF JUNE, 2024.
TDS I.	THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), (B), (NON SUPPLIED), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 AND 17 OF TABLE A THEREOF.
()	THE FIELDWORK WAS COMPLETED ON SEPTEMBER 05, 2024.
	Rodrand E. Com
	RICHARD E. COUSINS PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 4188
	$R \in V \mid S \mid O \mid N S \qquad Date er/pg DWN CKD (SHEET)$
	PROJECT NUMBER: 10237-24

Project ID.: 501 Surf Rd Beach House Engineer: Jorge M. Szauer, P.E. Client: Kaller Arch Date: 9/16/2024

Surface Water Management Calculations for 501 Surf Rd

Proposed is the construction of a Single Family residential building on a 0.14 acre site. The proposed surface water management system will consist of inlets, culverts and exfiltration trench. Required water quality treatment will be provided within the proposed exfiltration trench system.

SITE DATA

The site is located South of Jackson Street between S Surf Road and S Boardwalk in Hollywood, Florida, Broward County. The project consists of a 0.14 acre single family residential building. The existing land uses surrounding the site are residentiall to the North, South, East and West.

Table 1 summarizes the proposed landuse breakdown of the project

Table 1 - Site Landuse Breakdown

Description	Existing Site	Proposed Site
Total Area:	0.14 ac	0.14 ac
Roof Area:	0.00 ac	0.02 ac
Impervious Area:	0.00 ac	0.08 ac
Pervious Area:	0.14 ac	0.04 ac

Wet season water table elevation = 2.5' NAVD (based on the County's future conditions wet season water table elevation map)

Design Storm Rainfall Amount (see SFWMD Rainfall Curves attached) Roads (10-year, 1-day) = 8 Inches Design (25-year, 3-day) = 13 inches Finish Floor (100-year, 3-day) = 16 inches

DESIGN CRITERIA

The proposed stormwater retention system has been design to retain the 25-year, 3-day storm runoff volume per code requirements. A drainage well is proposed to handle the stormwater runoff for the 25-year, 3-day and 100-year, 3-day storm events.

> FEMA flood zone AE (11) Broward County Future Conditions 100-year flood elevation = 7.0' NAVD

WATER QUALITY

Water quality requirements are defined based on the following criteria: the first inch of runoff over the entire site, or

2.5 inches times the percent impervious

2.5 inches times the perent impervious controls over the first inch of runoff over the entire site

2.5 inches times the percent impervious = 0.02 ac-ft (see water quality calculations attached)

SOIL STORAGE

Soil Storage (S) has been calculated to be 8.17 inches over the entire site for the existing site conditions and 1.88 inches for the site proposed conditions (see soil storage calculations attached)

EXFILTRATION TRENCH CALCULATIONS

Water Table Elevation: 2.5	FT NAVD
Average Finished Grade for	r Trench Purposes 6.0 FT NAVD
Exfiltration Trench Length =	FS[(%WQ)(Vwq)+Vadd/(K(H2*W +2*H2*Du - Du^2 + 2*H2*Ds)+(1.39E-4*W*Du))
L=	30 Ft - Length of trench required (60 LF provided)
%WQ=	75%
Vwq=	0.24 ac-in
Vadd=	0.28 Acre-inch - Volume treated
VV=	4 Ft - Trench Width
K=	7.58E-04 CFS/FT ² -Ft. Head - Hydraulic Conductivity
H2=	3.5 Ft - Depth to Water Table
Du=	2.5 Ft - Non-Saturated Trench Depth
Ds=	2 Ft - Saturated Trench Depth
FS=	2

FS=

This item has been digitally signed and sealed by Jorge Szauer, PE. On February 11, 2025.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Jorge M. Sz FL REG No

SITE STAGE STORAGE

	Existing S	Stage Storag	ge (ac-ft)	Proposed Stage Storage (ac-ft)			
Stage (ft NAVD)	Pervious (ac- ft)	Impervious (ac-ft)	Total (ac-ft)	Pervious (ac-ft)	Impervious (ac-ft)	Exfiltration Trench (ac-ft)	Total (ac-ft)
6.00	0.00	0.00	0.00	0.00	0.00	0.04	0.04
6.50	0.00	0.00	0.00	0.02	0.02	0.04	0.08
7.00	0.00	0.00	0.00	0.04	0.06	0.04	0.14
7.50	0.00	0.00	0.00	0.06	0.10	0.04	0.20
8.00	0.02	0.00	0.02	0.08	0.14	0.04	0.26
8.50	0.04	0.00	0.04	0.10	0.18	0.04	0.32
9.00	0.07	0.00	0.07	0.12	0.22	0.04	0.38
9.50	0.11	0.00	0.11	0.14	0.26	0.04	0.44
10.00	0.16	0.00	0.16	0.16	0.30	0.04	0.50

RUNOFF CALCULATIONS

Q=(P-0.2S)²/(P+0.8S)

				Proposed (Conditions				
Design Frequency	Precipitatio n P (in)	Soil Storage S (in)	Runoff Q (in)	Runoff Volume (Ac-ft)	Peak Stage (NAVD)	Soil Storage S (in)	Runoff Q (in)	Runoff Volume (Ac-ft)	Peak Stage (NAVD)
10y-1d	8.00	8.17	2.79	0.03	8.34	1.88	5.75	0.07	6.42
25y-3d	13.00	8.17	6.61	0.08	9.10	1.88	10.56	0.12	6.92
100y-3d	16.00	8.17	9.16	0.11	9.47	1.88	13.50	0.16	7.21

Proposed FFE 12.0

Jorge M. Sz FL REG No

EXHIBITS

ENVIRONMENTAL RESOURCE PERMIT APPLICANT'S HANDBOOK VOLUME II Effective: AUGUST 10, 2014

Appendix C: Isohyetal Maps

from SFWMD Technical Memorandum, Frequency Analysis of One and Three Day Rainfall Maxima for central and southern Florida, Paul Trimble, October 1990.



84



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FIGURE 4 - SFWMD RAINFALL 25YR, 3 DAY



Water Quality Calculation

2.5" * % Impervious vs. 1" over site

Kantesaria

Date: 16-Sep-24

Input data in boxes below:

Total Area:	0.14	acre
Lake & WL:	0.00	"
Roof:	0.02	"
Pervious Area:	0.04	"

2.5 Inch * % Impervious:

Vol = 2.5 /12 * (Total - lakes) * (Total - roof - lake - pervious)/(Total - roof - lake)

% Impervious = (Total - roof - lake - pervious)/(Total - roof - lake) Treatment Vol = 2.5" / 12 * (Total - lake) * (% Impervious)

% Impervious =	66.67%	
Treatment Vol =	0.02	ac-ft

OR:

<u>1" Over Entire Site:</u>

Total Area: 0.14 acre

Treatment Vol = 0.01 ac-ft

The required water quality volume is based on: 2.5 X % Imperv. Area **The required water quality volume is: 0.02 acre-feet**

Comments:

Soil Storage Calculation

2.5

0.000

ft NAVD

acres

Project: 501 S Surf Rd Date: 16-Sep-24

DWT	S (inches)
0	0
1	0.6
2	2.5
3	6.6
4	10.9

User Enter Data is Shown in Blue & Bold Font

SHGWT (Seasonal high groundwater table elevation: Total Impervious area (see note below):

Pervious Area Description	Pervious Area Acreage (acres)	Low Elevation of Ground Surface (ft NGVD)	High Elevation of Ground Surface (ft NGVD)	Calculated Avg. Ground Surface Elvation (ft NGVD)	Calculated Depth to Groundwater (ft)	Calculated Uncompacted Soil Storage per SFWMD (inches)	Calculated Uncompacted Soil Storage per SFWMD (ac-ft)	ls Soil Compacted (enter Y or N)	Adjusted Soil Storage based on 75% Factor (ac-ft)	Note
Perv	0.140	7.0	11.0	9.00	6.50	10.900	0.127	у	0.095	Compacted Soil
				0.00	0.00	0.000	0.000	У	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	У	0.000	
				0.00	0.00	0.000	0.000	У	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Υ	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
Total	0.140	<- total perv	vious area						0.095	<- ac-ft (Total)

Calculated Composite Soil Storage:

8.175 inches

CN = 1000/(S+10) =

55.0

Note: The composite soil storage calculated above is based on the total ac-ft of soil storage divided over the entire site area including pervious and impervious area. If the user desires to calculate the composite soil storage over only the pervious area, then the impervious area should be entered as zero above.

Click here for Directions:

Site Storage Calculation

Project Name: 501 S Surf Rd Date: 16-Sep-24

User: enter

Minimum Stage:

Incremental Stage:

6.000 feet, NAVD 0.500 feet



Area Number	1		2	3	4	5	Total Area	
Area Description	Green							
Area (acres)	0.140						0.14 ac	
Area (ft^2)	6.10E+03	0.00E+00	0.00E+00	0.00E+00	0.00E+00	0.00E+00		
Low Elv.	7.000							
High Elv.	11.000							
Stage (ft NAVD)	Storage (ac	Storage (ac-	Storage (ac-	Storage (ac-	Storage (ac	Storage (ac-	Stage (ft,	Total
Stage (IL, NAVD)	ft)	ft)	ft)	ft)	ft)	ft)	NAVD)	Storage
6.000	0.00	0.00	0.00	0.00	0.00	0.00	6.00	0.00
6.500	0.00	0.00	0.00	0.00	0.00	0.00	6.50	0.00
7.000	0.00	0.00	0.00	0.00	0.00	0.00	7.00	0.00
7.500	0.00	0.00	0.00	0.00	0.00	0.00	7.50	0.00
8.000	0.02	0.00	0.00	0.00	0.00	0.00	8.00	0.02
8.500	0.04	0.00	0.00	0.00	0.00	0.00	8.50	0.04
9.000	0.07	0.00	0.00	0.00	0.00	0.00	9.00	0.07
9.500	0.11	0.00	0.00	0.00	0.00	0.00	9.50	0.11
10.000	0.16	0.00	0.00	0.00	0.00	0.00	10.00	0.16
10.500	0.21	0.00	0.00	0.00	0.00	0.00	10.50	0.21
11.000	0.28	0.00	0.00	0.00	0.00	0.00	11.00	0.28
11.500	0.35	0.00	0.00	0.00	0.00	0.00	11.50	0.35
12.000	0.42	0.00	0.00	0.00	0.00	0.00	12.00	0.42
12.500	0.49	0.00	0.00	0.00	0.00	0.00	12.50	0.49
13.000	0.56	0.00	0.00	0.00	0.00	0.00	13.00	0.56
13.500	0.63	0.00	0.00	0.00	0.00	0.00	13.50	0.63

SCS Runoff Equation:

501 S Surf Rd

Rainfall & Basin Information:

0.140 8.17	acres inches
8.17	inches
3.28	inches
8.00	inches
	inches
13.00	inches
16.00	inches
	3.28 8.00 13.00 16.00

Zero-Discharge Runoff Volume & Interpolated Stages:

Runoff (inches) = $(P-0.2S)^2 / (P + 0.8*S)$

Design Storms (from above)	Runoff (in)	Runoff (ac-ft)	Stage (ft)
5-yr 1-hr storm event:	0.276	0.003	7.368
10-yr 24-hr storm event	2.788	0.033	8.343
0	0.409	0.005	7.515
25-yr 72-hr storm event	6.613	0.077	9.091
100-yr 72-hr storm event	9.158	0.107	9.468



Soil Type: Coastal Soils; Sandy (1)

Soil Storage Calculation

2.5

ft NAVD

acres

Project: 501 S Surf Rd Date: 16-Sep-24

DWT	S (inches)
0	0
1	0.6
2	2.5
3	6.6
4	10.9

User Enter Data is Shown in Blue & Bold Font

SHGWT (Seasonal high groundwater table elevation: 0.100 Total Impervious area (see note below):

Pervious Area Description	Pervious Area Acreage (acres)	Low Elevation of Ground Surface (ft NAVD)	High Elevation of Ground Surface (ft NAVD)	Calculated Avg. Ground Surface Elvation (ft NAVD)	Calculated Depth to Groundwater (ft)	Calculated Uncompacted Soil Storage per SFWMD (inches)	Calculated Uncompacted Soil Storage per SFWMD (ac-ft)	ls Soil Compacted (enter Y or N)	Adjusted Soil Storage based on 75% Factor (ac-ft)	Note
Green	0.040	6.0	6.0	6.00	3.50	8.750	0.029	У	0.022	Compacted Soil
				0.00	0.00	0.000	0.000	У	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	У	0.000	
				0.00	0.00	0.000	0.000	У	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
				0.00	0.00	0.000	0.000	Y	0.000	
Total	0.040	<- total perv	ious area						0.022	<- ac-ft (Total)

Calculated Composite Soil Storage:

1.875 inches

CN = 1000/(S+10) =

84.2

Note: The composite soil storage calculated above is based on the total ac-ft of soil storage divided over the entire site area including pervious and impervious area. If the user desires to calculate the composite soil storage over only the pervious area, then the impervious area should be entered as zero above.

Exfiltration Trench Calculation Reference: SFWMD Vol. IV 501 S Surf Rd

2/11/2025

Case 1:

Length = Volume / (K($H_2*W + 2*H_2*Du - Du^2 + 2*H_2*Ds$) + (1.39E-4*W*Du))

This formula takes into consideration a safety factor of 2 and a 50% credit for retention system.

	Variable Definitions:
Ds =	Saturated Depth of Trench (ft)
Du =	Unsaturated Depth (ft)
H ₂ =	Depth from Land Surface to Water Table (ft)
W =	Trench Width (ft)
Volume =	Required Wet Detention Volume (ac-in)
Length =	Calculated Trench Length (ft)
K =	Hydraulic Conductivity (ft/sec)

Note: (a)This equation **(Case 1)** is a special case. Validity criteria: (1) Ds<Du. (2) W < 2* (Ds+Du) (b) Minimum pipe diameter is 12 inches, minimum trench width (W) is 3 ft.

Input:

Ds =	2	ft	Validity Check:	
Du =	2.5	ft	(1) Ds < Du ?	Yes
H ₂ =	3.5	ft	(2) W < 2* (Ds+Du)?	Yes
VV =	4	ft	(3) W > 3 ?	Yes
Volume =	0.46	ac-in		
K =	7.58E-04	cfs/ft^2	(i.e. ft/sec)	
		•		

Case 1: <u>Calulated Trench Length = 15 ft</u>

Case 2:

Length = Volume / (K($2^{H_2*Du} - Du^2 + 2^{H_2*Ds}$) + (1.39E-4*W*Du))

This formula takes into consideration a safety factor of 2 and a 50% credit for retention system. This formula is valid if W > 2(Ds+Du) and Ds>Du.

Note: (a)This equation (case 2) is a special case. Validity criteria: (1) Ds>Du. (2) W > 2* (Ds+Du) (b) Minimum pipe diameter is 12 inches, minimum trench width (W) is 3 ft.

Case 2:	Calulated Trench Length =	<u>22</u> <u>ft</u>	Validity Check:	_
			(1) Ds > Du ?	criterion NOT met
			(2) W > 2* (Ds+Du)?	criterion NOT met





(3) W > 3 ? Yes

Click here for Directions:

Site Storage Calculation

Project Name: 501 S Surf Rd Date: 16-Sep-24

User: enter

Minimum Stage: Incremental Stage: 6.000 feet, NAVD 0.500 feet



Area Number	1		2	3	4	5	Total Area	
Area Description	Green	Parking	Exf Trench					
Area (acres)	0.040	0.080					0.12 ac	
Area (ft^2)	1.74E+03	3.48E+03	0.00E+00	0.00E+00	0.00E+00	0.00E+00		
Low Elv.	6.000	6.000						
High Elv.	6.000	6.500						
Stage (ft NAVD)	Storage (ac-	Storage (ac-	Storage (ac	Storage (ac	Storage (ac	Storage (ac-	Stage (ft,	Total
	ft)	ft)	ft)	ft)	ft)	ft)	NAVD)	Storage
6.000	0.00	0.00	0.04	0.00	0.00	0.00	6.00	0.04
6.500	0.02	0.02	0.04	0.00	0.00	0.00	6.50	0.08
7.000	0.04	0.06	0.04	0.00	0.00	0.00	7.00	0.14
7.500	0.06	0.10	0.04	0.00	0.00	0.00	7.50	0.20
8.000	0.08	0.14	0.04	0.00	0.00	0.00	8.00	0.26
8.500	0.10	0.18	0.04	0.00	0.00	0.00	8.50	0.32
9.000	0.12	0.22	0.04	0.00	0.00	0.00	9.00	0.38
9.500	0.14	0.26	0.04	0.00	0.00	0.00	9.50	0.44
10.000	0.16	0.30	0.04	0.00	0.00	0.00	10.00	0.50
10.500	0.18	0.34	0.04	0.00	0.00	0.00	10.50	0.56
11.000	0.20	0.38	0.04	0.00	0.00	0.00	11.00	0.62
11.500	0.22	0.42	0.04	0.00	0.00	0.00	11.50	0.68
12.000	0.24	0.46	0.04	0.00	0.00	0.00	12.00	0.74
12.500	0.26	0.50	0.04	0.00	0.00	0.00	12.50	0.80
13.000	0.28	0.54	0.04	0.00	0.00	0.00	13.00	0.86
13.500	0.30	0.58	0.04	0.00	0.00	0.00	13.50	0.92

SCS Runoff Equation:

501 S Surf Rd

Rainfall & Basin Information:

Total Site Area (including buildings):	0.140	acres
Composite Soil Storage:	1.88	inches
5-yr 1-hr storm event:	3.28	inches
10-yr 24-hr storm event	8.00	inches
		inches
25-yr 72-hr storm event	13.00	inches
100-yr 72-hr storm event	16.00	inches

Zero-Discharge Runoff Volume & Interpolated Stages:

Runoff (inches) = $(P-0.2S)^2 / (P + 0.8*S)$

Design Storms (from above)	Runoff (in)	Runoff (ac-ft)	Stage (ft)
5-yr 1-hr storm event:	1.763	0.021	#N/A
10-yr 24-hr storm event	6.116	0.071	6.417
0	0.094	0.001	#N/A
25-yr 72-hr storm event	10.988	0.128	6.918
100-yr 72-hr storm event	13.946	0.163	7.206



501 South Surf Road

<u>Aerial Map</u>

