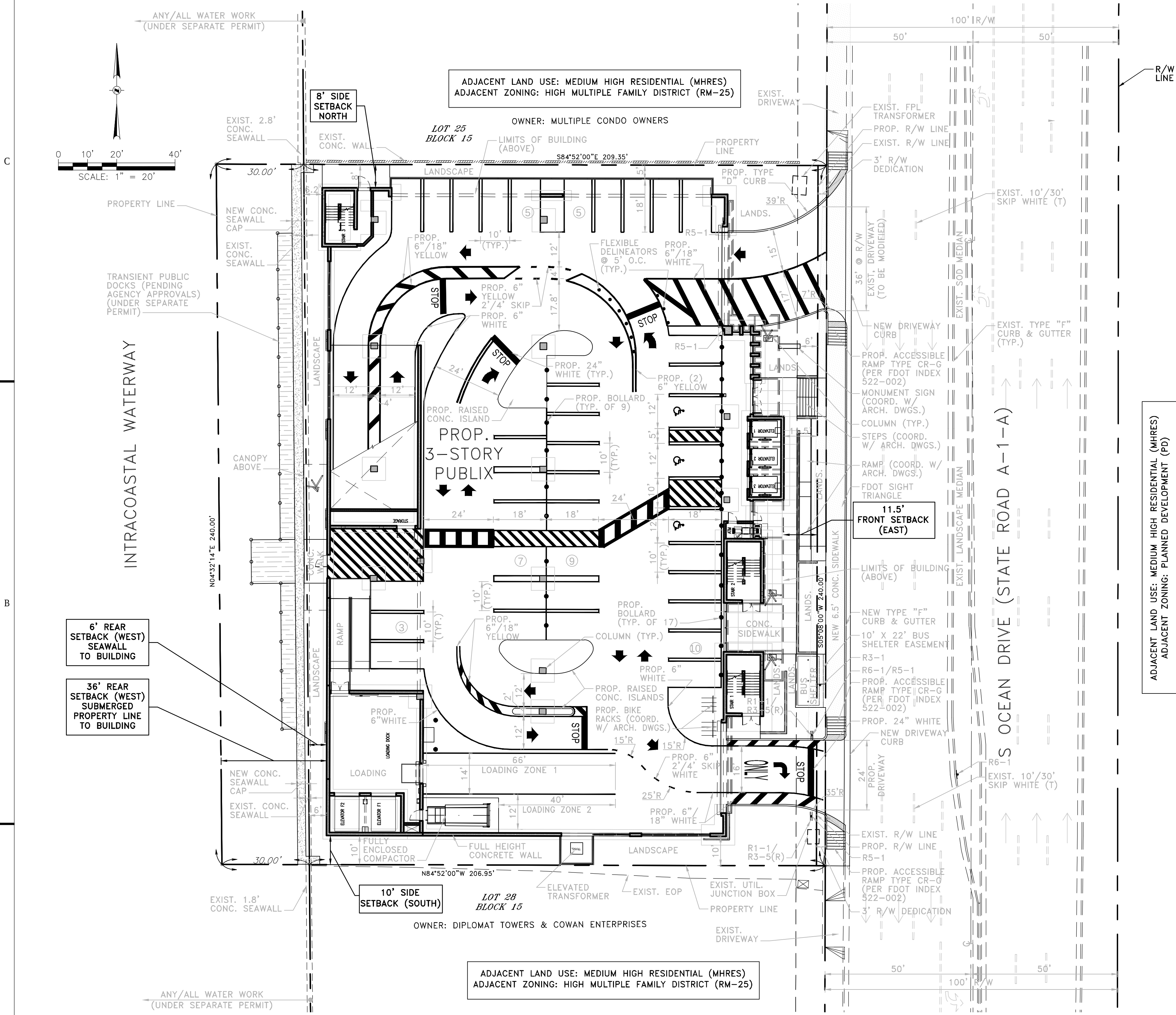


EXHIBIT B



LIGHTING NOTES:

1. MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 (REGARDLESS OF PROXIMITY TO RESIDENTIALS).
2. PROJECT WILL COMPLY WITH ALL TURTLE LIGHTING REQUIREMENTS, IF APPLICABLE.

SPECIAL NOTES:

1. ALL SIGNAGE SHALL COMPLY WITH ARTICLE 8 OF THE ZONING AND LAND DEVELOPMENT REGULATIONS.
2. MATERIALS, MEANS AND METHODS OF CONSTRUCTION ARE TO MEET OR EXCEED THE MINIMUM REQUIREMENTS OF GREEN GLOBES FOR NEW CONSTRUCTION PROGRAM. REQUIREMENTS OF THE GREEN GLOBES FOR NEW CONSTRUCTION PROGRAM SHALL BE STRICTLY ADHERED TO AND VERIFIED BY A THIRD PARTY CONSULTANT AND THROUGH THE GREEN GLOBES, ON SITE, THIRD PARTY REVIEW PROCESS. PROJECT TO BE CERTIFIED ONE GREEN GLOBE OR GREATER.

SITE PLAN
SCALE: 1" = 20'

SITE DATA TABLE COMPARISON		
	PREVIOUSLY APPROVED FOR OCEAN DRIVE RETAIL BUILDING	PROPOSED FOR PUBLIX SUPERMARKET
ZONING DATA:		
ZONING DESIGNATION	PLANNED DEVELOPMENT (PD)	PLANNED DEVELOPMENT (PD)
PARKING PROPOSED	221 SPACES	85 SPACES
TOTAL HEIGHT PROPOSED	65'-0" TOP OF ROOF FROM ESTABLISHED GRADE	68'-5"
TOTAL NUMBER OF FLOORS	5	3
RETAIL	1ST FLOOR RETAIL 9,454.42 SQ. FT.	
RESTAURANTS	1ST FLOOR RESTAURANT 4,329.02 SQ. FT.	29,646 SQ. FT. SUPERMARKET
	5TH FLOOR OFFICE 15,656.43 SQ. FT.	
	5TH FLOOR RESTAURANT 6,010.00 SQ. FT.	
OPEN SPACE REQUIRED: NOT APPLICABLE		
OPEN SPACE PROVIDED:	16,351.16 = 32.78% OF TOTAL SITE AREA	4,900 SQ. FT. = 11.66% OF NET SITE AREA
	INCLUDED: LANDSCAPE = 6,692.04 SQ. FT.	INCLUDED: LANDSCAPE = 4,900 SQ. FT.
SETBACKS:		
FRONT (EAST)	17'-2" TO COLUMNS	11'-6"
REAR (WEST) INCLUDED 30' WATER:	36'-1" VARIABLE DIM. TO 38'-4"	36'-0"
SIDE (NORTH)	10'-2"	8'-0"
SIDE (SOUTH)	10'-2"	10'-0"

PUBLIX ZONING DATA	
BUILDING DATA	
PROPERTY ADDRESS	3100 SOUTH OCEAN DRIVE, HOLLYWOOD, FLORIDA 33019
SITE PLAN FILE NO.	18-DJFV-60
PARCEL NO.	5142 24 01 0620
ZONING DESIGNATION	PLANNED DEVELOPMENT (PD)
LAND USE	COMMERCIAL FLEX (COMPLEX)
PROPOSED USE	SUPERMARKET
LOT AREA	
TOTAL SITE AREA:	49,944 SQ. FT. OR 100.00% OF TOTAL SITE AREA = 1.146 ACRES
DEDUCTING WATER AND 3' ROW DEDICATION	7,920 SQ. FT. OR 15.86% OF TOTAL SITE AREA = 0.18 ACRES
NET SITE AREA	42,024 SQ. FT. OR 100.00% OF NET SITE AREA = 0.965 ACRES
IMPERVIOUS AREAS:	
BUILDING FOOTPRINT AREA:	32,500 SQ. FT. OR 77.34% OF NET SITE AREA
EXTERIOR VEHICULAR ACCESS:	1,725 SQ. FT. OR 4.10% OF NET SITE AREA
EXTERIOR WALKWAYS AND EQUIPMENT:	2,899 SQ. FT. OR 6.90% OF NET SITE AREA
PERVIOUS AREAS:	
LANDSCAPED AREA:	4,900 SQ. FT. OR 11.66% OF NET SITE AREA
	42,024 SQ. FT. OR 100.00% OF NET SITE AREA
FLOOR AREAS	
1ST LEVEL USABLE AREA	31,084 SQ. FT. (PARKING GARAGE, SHIPPING/STORAGE, MECHANICAL/ELECTRICAL, VERTICAL CIRCULATION)
2ND LEVEL USABLE AREA	29,601 SQ. FT. (PARKING GARAGE, MECHANICAL/ELECTRICAL, W/O VERTICAL CIRCULATION)
3RD LEVEL USABLE AREA	29,646 SQ. FT. (RETAIL SALES, OFFICE/PHARMACY/RESTROOMS, SHIPPING/STORAGE/COOLERS, FOOD PREPARATION, MECHANICAL ELECTRICAL, W/O VERTICAL CIRCULATION)
OPEN SPACE	
PROVIDED	4,900 SQ. FT. = 11.66% OF NET SITE AREA
	INCLUDED: LANDSCAPE = 4,900 SQ. FT.
BUILDING SETBACKS REQUIRED PROPOSED	
FRONT (EAST)	N/A 11'-6"
REAR (WEST)	N/A 36'-0"
SIDE (NORTH)	N/A 8'-0"
SIDE (SOUTH)	N/A 10'-0"
PARKING CALCULATION REQUIRED PROPOSED	
PUBLIX PARKING REQUIRED (29,646 S.F./250)	119 85
LOADING SPACES	2 2
PARKING BREAKDOWN ADA STANDARD TOTAL	
GROUND (ON GRADE)	3 36 39
SECOND FLOOR	3 43 46
TOTAL	6 (7.06%) 79 (92.94%) 85 (100%)
BUILDING HEIGHT (FLOOD ELEVATION +9.0' N.A.V.D.)	
PROPOSED (TOP OF PARAPET)	66'-8" (EL. 70'-5" N.A.V.D.)
PROPOSED (MECHANICAL CENTER)	67'-8" (EL. 71'-5" N.A.V.D.)

VARIANCE TABLE	
CRITERIA	VARIANCE/WAIVER/MODIFICATION REQUESTED
25' LANDSCAPE SETBACK	REDUCTION TO 0' REQUESTED
19' PARKING STALLS	REDUCTION TO 18' REQUESTED
REQUIRED NO. OF PARKING STALLS	REDUCTION IN NO. OF REQUIRED STALLS REQUESTED

* LANDSCAPE BUFFER WAS PREVIOUSLY APPROVED AT 17'-2".

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Consulting Engineering & Science
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305 / 279 4553 fax

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www.graef-usa.com

CA 4270
NELSON H. ORTIZ
LICENSE
No 57556
STATE OF FLORIDA
PROFESSIONAL ENGINEER
8/31/2020

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DIGITALLY SIGNED AND SEALED
BY NELSON H. ORTIZ, P.E. ON
THE DATE ADJACENT TO THE SEAL.

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ON ANY ELECTRONIC COPIES.

FOR THE FIRM:
NELSON H. ORTIZ
PE-57556 (CIVIL)

PROJECT TITLE:
Project Title

PUBLIX @ HOLLYWOOD

3100 SOUTH OCEAN DRIVE
HOLLYWOOD, FLORIDA

PRELIMINARY T.A.C. 9/13/18 FINAL T.A.C. 11/15/18

NO.	DATE	REVISIONS	ISSUE: BY
6	8/28/20	ADDRESS TAC	
5	6/1/20	COMMENTS	
4	12/2/19	ADDRESS TAC	
3	10/8/19	COMMENTS	
2	1/18/19	ADDRESS FINAL	
1	11/5/18	T.A.C. COMMENTS	
		ADDRESS T.A.C./	
		OWNER COMMENTS	
		ADDRESS PRE T.A.C.	
		COMMENTS	

PROJECT INFORMATION:

PROJECT NUMBER: 18017

DATE: 04-10-18

DRAWN BY: S.D.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

SCALE: AS SHOWN

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
SP-1

EXHIBIT B

FLOOD VENT SCHEDULE - ASCE 24-05

STAR 1 102 - 233 SQ. FT.
STAR 2 103 - 233 SQ. FT.
STAR 3 104 - 285 SQ. FT.
STORAGE 111 - 200 SQ. FT.

EXTERIOR WALL: (2) 1540.510 SMART VENT OR EQUAL INSTALLED IN
CONCRETE WALL MIN. 8" ABOVE GRADE (EACH VENT COVERS 200 SQ. FT.)

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PHYSICAL ADDRESS:
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FIRST LEVEL PLAN
PUBLIX AT HOLLYWOOD
3100 SOUTH OCEAN DRIVE
HOLLYWOOD, FLORIDA

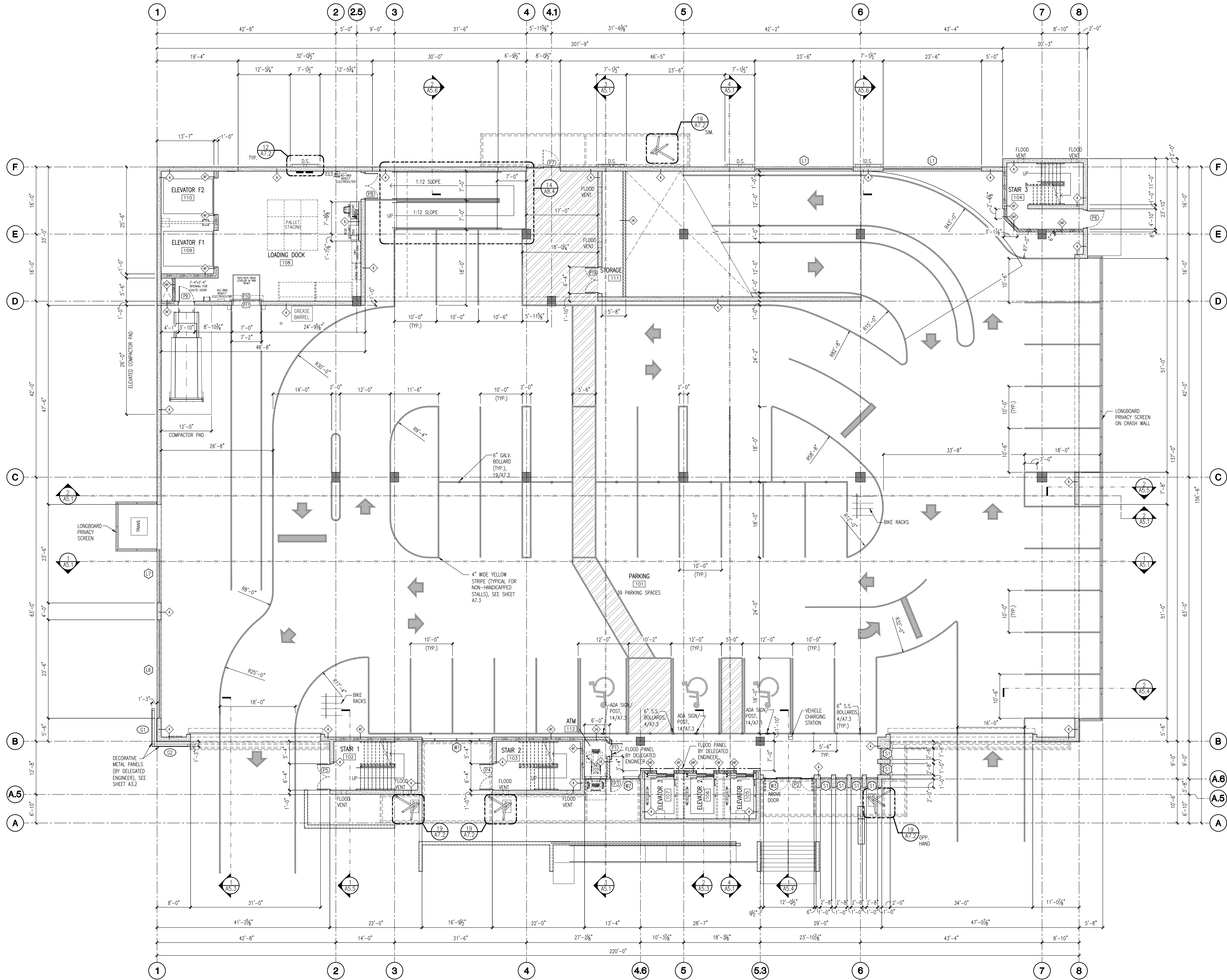
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REVISIONS:

WILLIAM JOE FISHER
ARCHITECT 0010829

A2.1

Issue Date: 09-18-18
Project No: 218008



WALL FINISH LEGEND

- ◊ DENOTES WALL TYPES SEE SHEET A3.1 (ASTERISK INDICATES SIDE RECEIVING PLYWOOD, OR SPRAYED INSULATION)
 - ◊± DENOTES WALL TYPES, DOUBLE ASTERISK INDICATES SIDE RECEIVING PLYWOOD FINISH UP TO 8FT
 - ⊖ COOLER WALL PANEL
 - ⊖ FREEZER WALL PANEL
 - ⊖ WINDOW ELEVATION SEE SHEET A3.1
 - ⊖ DENOTES DOOR NUMBER SEE SHEET A3.1
 - DENOTES CAST IN PLACE WALL (SEE STRUCTURAL)
 - DENOTES CMU WALL (SEE STRUCTURAL)
 - DENOTES CMU WALL WITH CORE-FILL 500 ALL NON-REINFORCED CELLS (SEE WALL SECTIONS)
 - DENOTES COOLER / FREEZER WALL SEE A3.1
 - FIBER GLASS BATT INSULATION
 - FIRE-RATED WALL WITH MINIMUM RATING TIME AS INDICATED
- NOTE: ALL TYPE 1 & 2 WALLS MEET AND SEAFOOD DEPARTMENT TO BE FILLED WITH CLASS "A" RATED SPRAY URETHANE INSULATION.

DRAWING NOTES

- PROVIDE 1/2" DUROCK WITH STAINLESS STEEL OVER 5/8" DRYWALL ON WALL SURFACE AT HOOD LOCATION (SEE M-SHEETS)
- INSTALL STUD WALL ON TOP OF TERRAZO, AFTER TERRAZO INSTALLATION

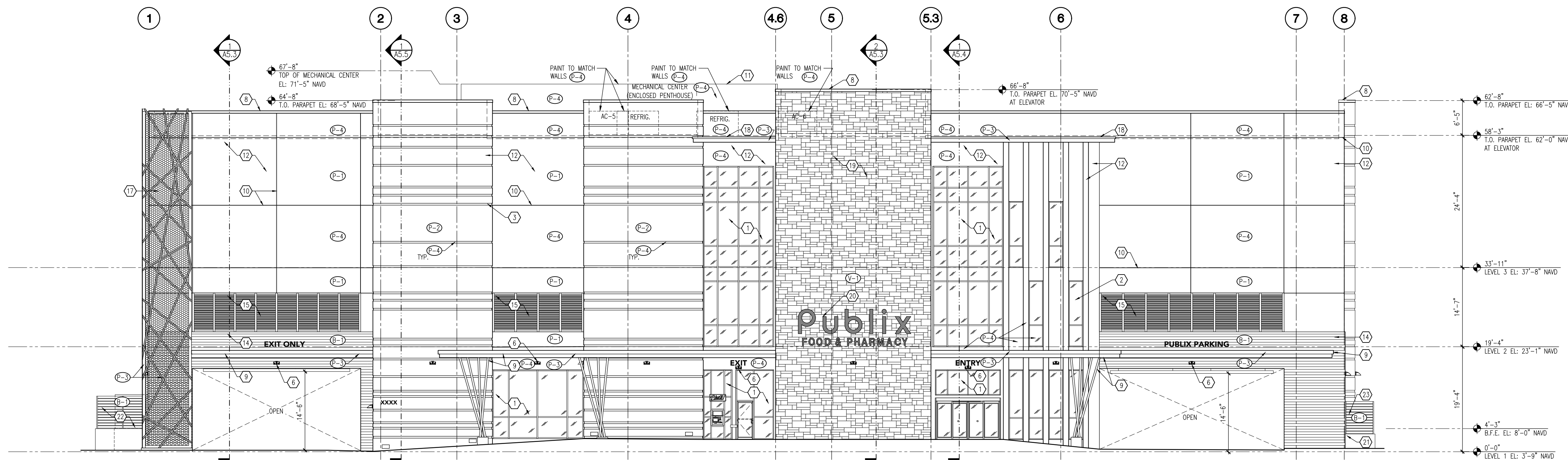


FIRST LEVEL PLAN

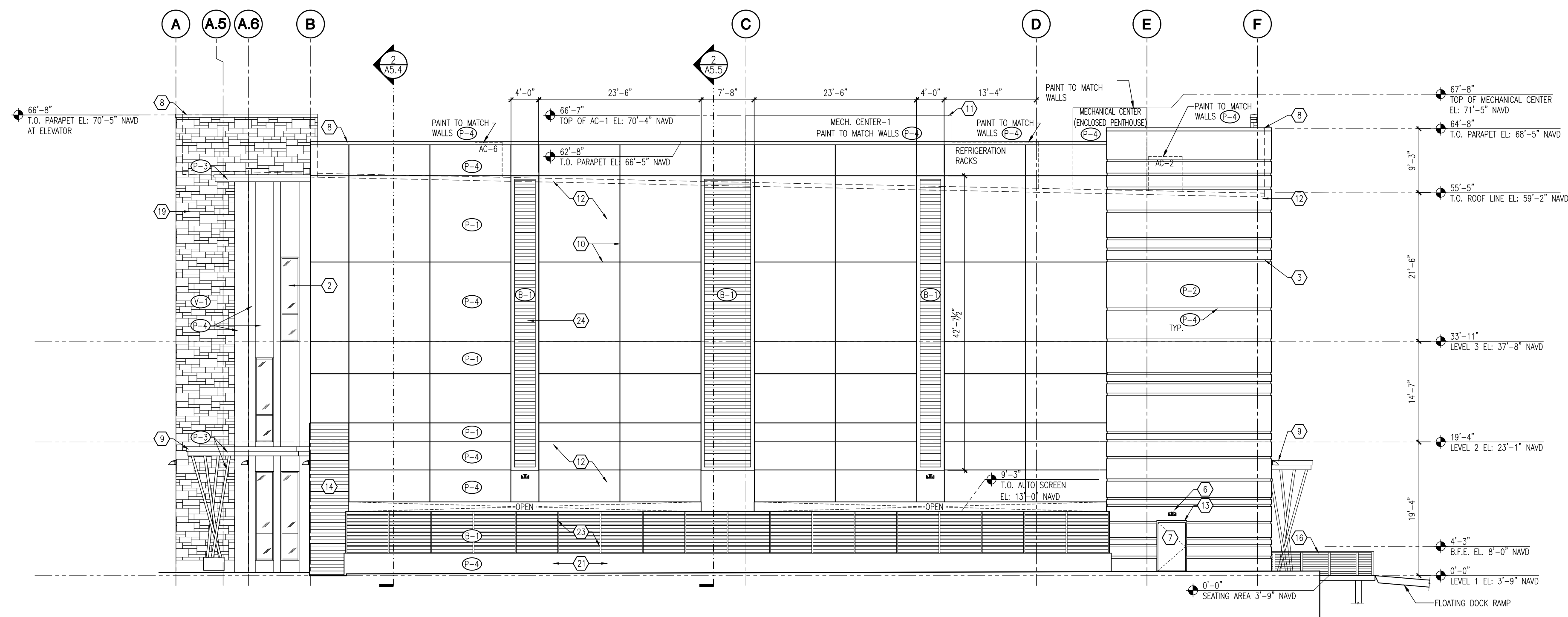
4" 0" 5"

1/8" = 1'-0"

EXHIBIT B



1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

- ### KEY NOTES
- 1 CLEAR ANODIZED ALUMINUM CURTAIN WALL SYSTEM (SEE A3.2)
 - 2 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM (SEE A3.2)
 - 3 1" D x 4" W REVEAL CAST IN PANEL (TYP.)
 - 4 STAINLESS STEEL OVERFLOW SCUPPER
 - 5 STAINLESS STEEL COLLECTOR HEAD AND DOWNSPOUT LINKED TO STORM SYSTEM
 - 6 WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
 - 7 PAINTED METAL DOOR
 - 8 STAINLESS STEEL CORING
 - 9 PRE-ENGINEERED ALUMINUM CANOPY, CUSTOM COLOR
 - 10 3/4" REVEAL CAST IN PANEL (TYP.)
 - 11 MECHANICAL CENTER/AC UNIT/REFRIG. UNIT - SEE MECHANICAL DRAWINGS
 - 12 PRECAST CONCRETE PANELS W/ TEXTURED PAINT FINISH
 - 13 DOOR TOP WEATHERSTRIP (EXTEND 6" BEYOND EACH SIDE OF FRAME OPENING)
 - 14 LONGBOARD SIDING
 - 15 PRE-FINISHED LOUVER (TYP.)
 - 16 STAINLESS STEEL GUARDRAIL / HANDRAIL
 - 17 DECORATIVE METAL PANELS (BY DELEGATED ENGINEER), SEE SHEET A3.2
 - 18 PRE-FINISHED ALUMINUM FASCIA
 - 19 1 1/2" THICK PRECAST CORAL STONE VENEER
 - 20 SIGNAGE - CONTRACTOR TO COORDINATE SIGN INSTALLATION MOUNTING REQUIREMENTS IN THIS AREA WITH PUBLIX SIGN CONTRACTOR. PROVIDE BACKING FOR SIGN WHERE REQUIRED BY SIGN CONTRACTOR.
 - 21 CMU CRASH WALL W/ DIRECT-APPLIED EXTERIOR FINISH SYSTEM
 - 22 LONGBOARD TRANSFORMER SCREEN FENCE
 - 23 LONGBOARD VEHICLE SCREEN FENCE
 - 24 LONGBOARD LINK & LOCK SYSTEM

- ### COLOR LEGEND
- PAINT**
- P-1 SHERWIN-WILLIAMS #SW6154, "MACRE"
 - P-2 SHERWIN-WILLIAMS #SW6421, "CELESTY"
 - P-3 SHERWIN-WILLIAMS #SW6424, "TANSY GREEN"
 - P-4 SHERWIN-WILLIAMS #SW7562, "ROMAN COLUMN"
- LONGBOARD**
- B-1 LIGHT CHERRY LONGBOARD
- VENEER**
- V-1 STONE VENEER, ELORADO STONE, COASTAL REEF - PEARL WHITE

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A4.1

Issue Date: 09-18-18
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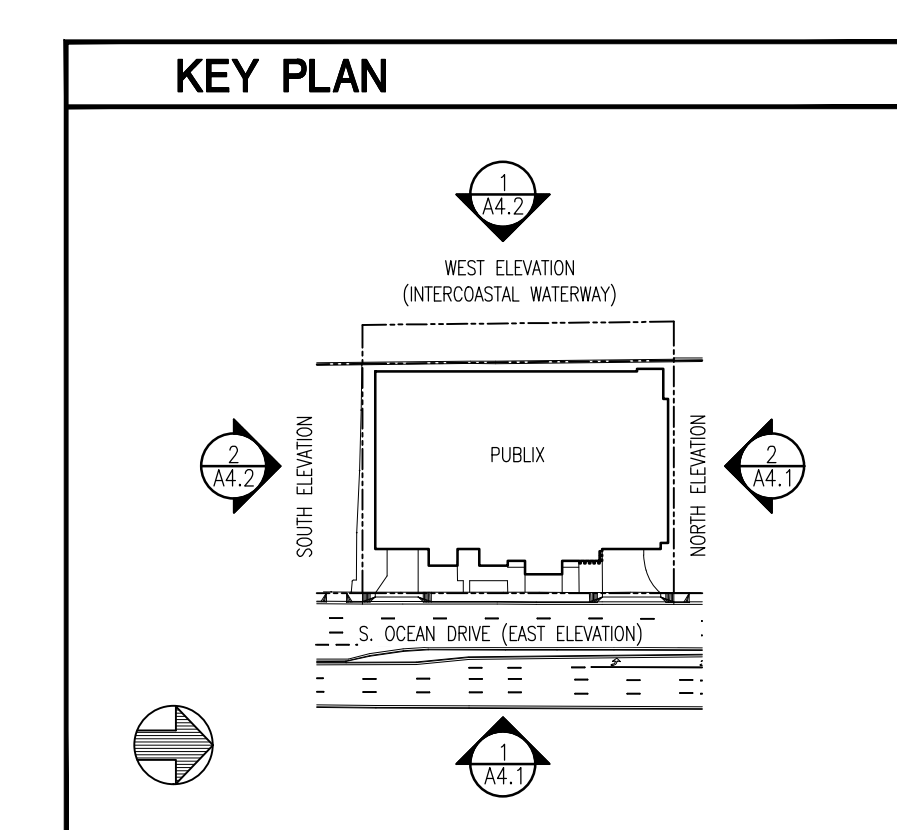
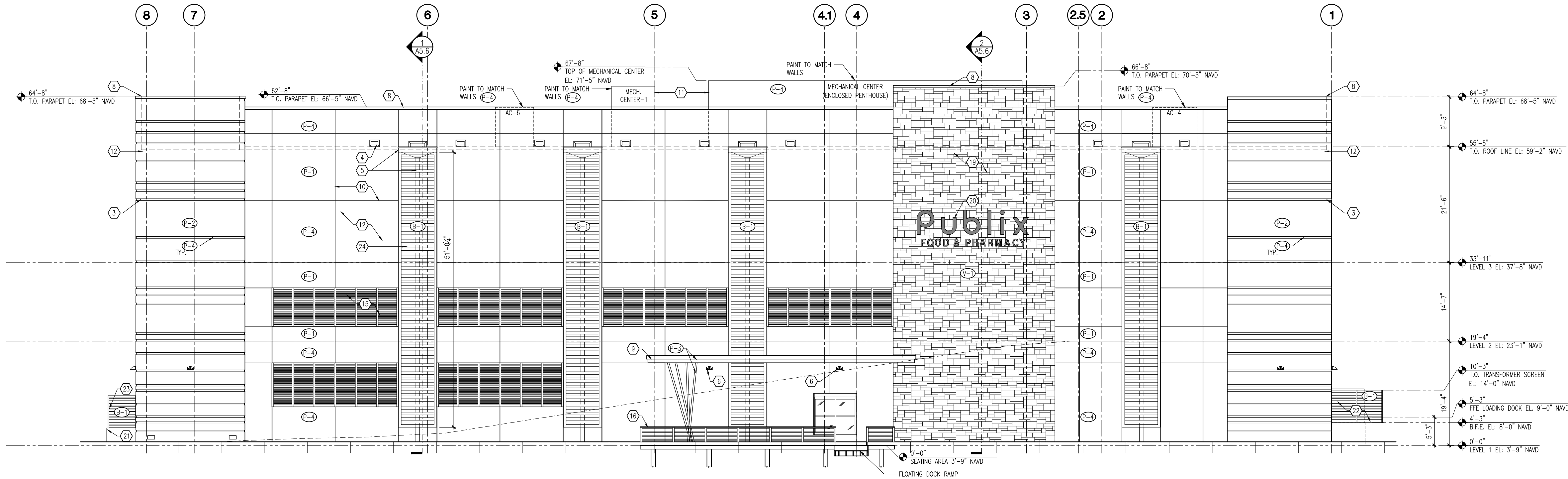
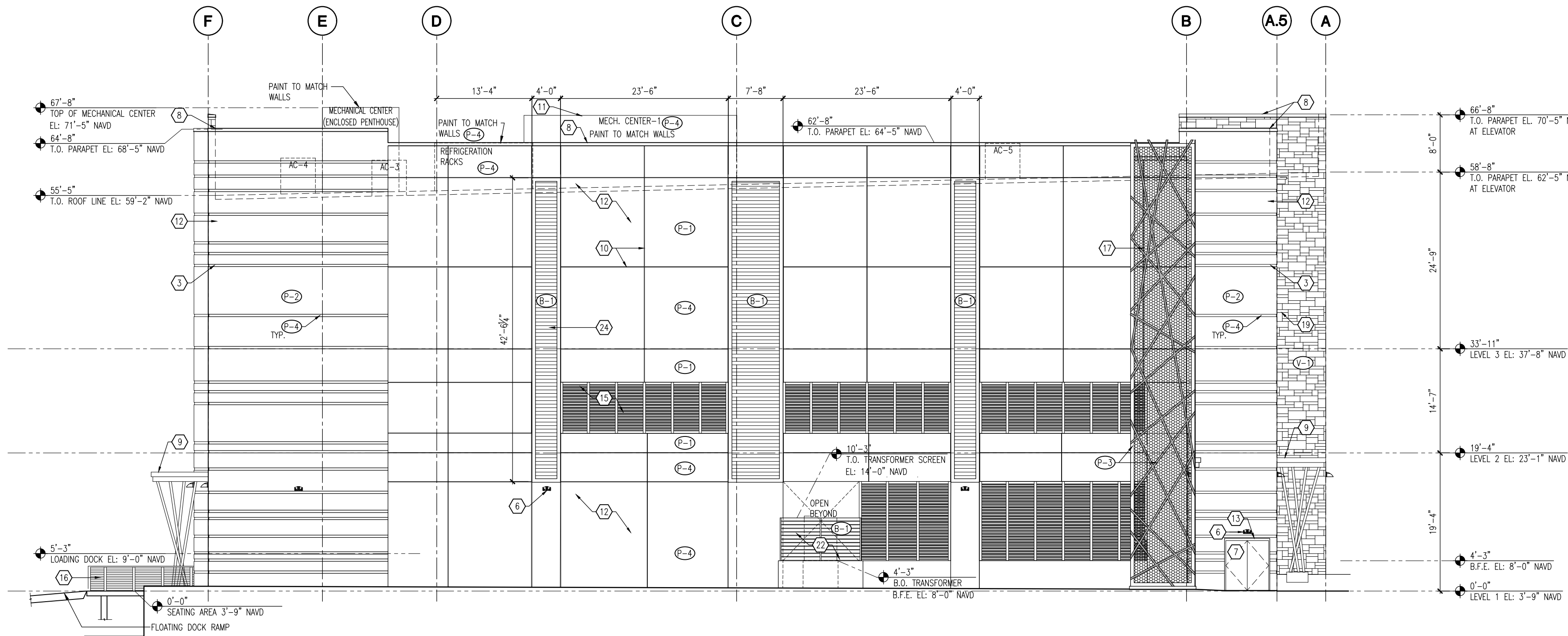


EXHIBIT B



1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

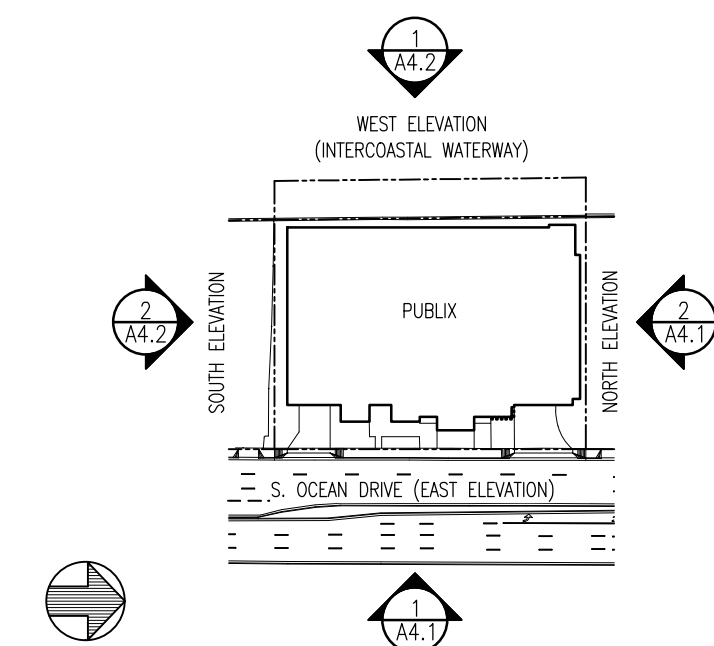
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COLOR LEGEND

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KEY PLAN



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