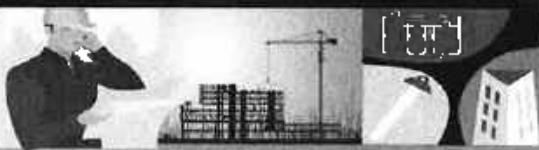


ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development Board

Date of Application: _____

Location Address: GRIFFIN ROAD & SW 40TH AVE.

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5042 31 23 0020

Zoning Classification: COMMERCIAL (C-3) Land Use Classification: GENERAL BUSINESS

Existing Property Use: VACANT Sq Ft/Number of Units: 74,608SF LOT

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): File #: 1B-DSP-62

Economic Roundtable Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development

Explanation of Request: Proposed Site Plan for 5,411 SF Convenience Store
with 20 fuel positions

Number of units/rooms: 1 Sq Ft: 5,411

Value of Improvement: TBD Estimated Date of Completion: 1st Quarter of 2021

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: RAZ PROPERTIES INC

Address of Property Owner: 3300 N 29 AVENUE, SUITE 101, HOLLYWOOD, FL

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): RYAN O. THOMAS

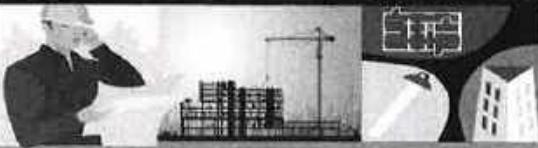
Address: 6300 NW 31 Avenue Telephone: (954) 202-7000

Fax: (954) 202-7070 Email Address: RTHOMAS@THOMASEC.COM

Date of Purchase: N/A Is there an option to purchase the Property? Yes () No (X)
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Samantha Jones - RACETRAC

PETROLEUM INC Address: 200 GALLERIA PARKWAY SE, SUITE 900, ATLANTA, GA 30339 Email Address: SJONES@RACETRAC.COM

PLANNING DIVISION

File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022**GENERAL APPLICATION****CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Ryan O.Th _____

Date: _____

PRINT NAME: Ryan Thomas, Authorized Representative _____

Date: 08/25/2020

Signature of Consultant/Representative: Ryan O.Th _____

Date: _____

PRINT NAME: Ryan Thomas, President of Thomas Engineering Group _____

Date: 08/25/2020

Signature of Tenant: Ryan O.Th _____

Date: _____

PRINT NAME: Ryan Thomas, Authorized Representative for RaceTrac Petroleum _____

Date: 08/25/2020

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan & Special Exception for RaceTrac to my property, which is hereby made by me or I am hereby authorizing Ryan Thomas/Thomas Engineering to be my legal representative before the Planning & Development (PDB) (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 25 day of August, 2020Ryan O.Th
Signature of Current OwnerRyan O.Thomas
Print Name

Notary Public

State of Florida

My Commission Expires: 11/19/23 (Check One) Personally known to me; OR Produced Identification _____

August 29, 2018

TO: All applicable Governmental Permitting Agencies
City of Hollywood, Florida
Broward County, Florida
State of Florida

Consent for: RAZ PROPERTIES INC
3990 Griffin Rd
Hollywood, FL 33312
Folio Number: 504231230020

RE: Authorization of Agent

This will serve as confirmation that the undersigned, RAZ PROPERTIES INC, the current property owner of the property located at 3990 Griffin RD, Hollywood, Broward County identified by tax folio no. 504231230020, hereby appoints RaceTrac Petroleum, Inc., the contracted party to lease the Property, and Thomas Engineering Group, LLC and/or any of its representatives, Kevin Betancourt or Ryan Thomas, to act as its authorized agent concerning all city, county, state, and government agency permits and applications, but only to the extent that such permits and applications pertain to the proposed RaceTrac Market development at the Property (see attached for contracted property area).

By: 
(Signature)

BENNETT L. DAVID, III
(Print Name, Title)

STATE OF FLORIDA)
)
) ss.
COUNTY OF)

The foregoing instrument was acknowledged before me this 29 day of August, 2018, BENNETT L. DAVID, III. is personally known to me or has produced _____ as identification.



Joann D'Alessandro
Print Name: JOANN D'ALESSANDRO
NOTARY PUBLIC

My Commission Expires: _____

January 13, 2020

Shiv Newaldass
Director of Planning and Development Services
City of Hollywood
2600 Hollywood Blvd., Room 315
Hollywood, FL 33020

SPECIAL EXCEPTION JUSTIFICATION STATEMENT
RACETRAC MARKET-GRIFFIN RD & SW 40TH AVE, HOLLYWOOD
(18-DSP-62)

General Information:

The RaceTrac parcel is a 1.71 acres in size and is a currently vacant parcel of land located at the southeast corner of the intersection of Griffin Road and SW 40th Avenue in the city of Hollywood. The RaceTrac parcel is a leased parcel under the same ownership as the adjacent property which will remain vacant for future development.

RaceTrac intends to develop a fuel center (no service) with 20 fuel dispensers (10 fuel islands) and RaceTrac's signature, state of the art, 5411 square foot convenience store that will provide a wide range of products for the public. The new RaceTrac fuel center provides the consumer with accessible fueling stations which are convenient and safe and a modern convenience store that provides the public with many products and choices. The new facility is designed to meet the needs of the modern consumer in every way.

The property is designated General Business on the applicable land use plan and is zoned with a Medium Intensity Convenience District. Both land use and zoning designations recognize that this parcel is suitable and desirable for commercial development that serves surrounding residential and commercial zones.

RaceTrac Site Plan:

The RaceTrac site has been designed to comply with all applicable City land use and zoning requirements and to be compatible with the adjacent neighborhoods. Further, RaceTrac has worked with the City's planning and zoning staff to develop a site plan that exceeds many of the City's requirements and that addresses concerns raised by the adjacent neighborhood. The following are pertinent points regarding the RaceTrac site plan:

- The perimeter buffer along Griffin Road and SW 40th Avenue have been increased from 5' to 21.41' and 18.25', respectively.
- Shared access points have been provided at the south, west, and north ends for future developments in adjacent areas and to provide safe traffic movement.

- A total of 36 parking spaces are provided exceeding parking requirements by the Code.
- 2,604 shrub plants are being provided.
- Planters are being provided along the northern façade of the convenience store building which is not required by the Code.

Specific Special Exception Criteria:

1. *The proposed use must be consistent with the principles of the City's Comprehensive Plan.*

The RaceTrac project is part of a vacant area with a General Business land use designation surrounded by Medium Intensity Commercial and Planned Development Districts with land use designations of General Business and Low/Low Medium Residential. The development of this RaceTrac is consistent with the principles of the City's Comprehensive Plan as it builds upon the existing developments. The RaceTrac is to be adjacent to a high traffic roadway and will be beneficial for travelers as well as residents in the area.

The RaceTrac project will be a state of the art facility with expanded and upscale offerings in the convenience store such a soft yogurt service (Swirl World), gourmet coffee offerings and a wide range of food options for locals as well as travelers. The site is designed to minimize backups at the pump and to provide safe and convenient access to and from the pumps, convenient store and adjacent roadways.

2. *The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment or other real properties within the vicinity.*

The RaceTrac project, as discussed above, is an outparcel within a vacant lot designated with a General Business land use. The land use pattern established for the area is for commercial development. The proposed RaceTrac is compatible with the existing land use patterns and will serve as encouragement for the surrounding General Business designated land adjacent to the site to be developed.

3. *That there will be provisions for the safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.*

Safe traffic movement is provided for both pedestrian and vehicular access. Vehicular access points are proposed at the west, north and south ends, respectively, which are to provide for good circulation on-site and will be of use for future developments adjacent to the site. The existing median on Griffin Road will allow for a right-turn only at the north access point, providing for safer traffic.

4. *That there are setbacks, buffering and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances and all other similar plans adopted by the City.*

All setbacks, buffering and general amenities have been met and, in some cases, exceeded, the requirements of the Code. The RaceTrac is to provide enhanced amenities and will afford the greatest protection possible for adjacent properties.

5. *The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety or appearance of the neighborhood or other adjacent uses by reason of orientation intensity or relation to the neighborhood or other adjacent uses.*

The RaceTrac use is a commercial use permitted under the land use plan and allowed as a special exception under the applicable zoning. The use is located along a major roadway and is appropriate to serve the traveling public as well as local residents as contemplated by the land use designation. The convenience store, canopy, gas tanks and accessory uses have been designed and oriented to be compatible with the adjacent properties and neighborhoods.

6. *The subject parcel must be adequate in shape and size to accommodate the proposed use.*

The RaceTrac parcel is sufficient size and shape to accommodate the RaceTrac use with additional and enhanced buffering and amenities.

7. *The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.*

As set forth above, the RaceTrac use complies with the standards in the Code for the granting of a Special Exception.

Sincerely,

THOMAS ENGINEERING GROUP, LLC



Kevin Betancourt, P.E.
Project Manager

August 25, 2020

Shiv Newaldass
Director of Planning and Development Services
City of Hollywood
2600 Hollywood Blvd., Room 315
Hollywood, FL 33020

DESIGN CRITERIA STATEMENT
RACETRAC MARKET-GRIFFIN RD & SW 40TH AVE, HOLLYWOOD
(18-DSP-62)

General Information:

The RaceTrac parcel is a 1.71 acres in size and is a currently vacant parcel of land located at the southeast corner of the intersection of Griffin Road and SW 40th Avenue in the city of Hollywood. The subject parcel will be leased to RaceTrac Petroleum; therefore, this area will have the same ownership as the overall vacant tract with a designated commercial use. The remainder of the property will remain vacant for future development.

RaceTrac intends to develop a fuel center (self service) with 20 fuel dispensers (10 fuel islands) and RaceTrac's signature, state of the art, 5411 square foot convenience store that will provide a wide range of products for the public. The new RaceTrac fuel center provides the consumer with accessible fueling stations which are convenient and safe and a modern convenience store that provides the public with many products and choices. The new facility is designed to meet the needs of the modern consumer in every way.

The property is designated General Business on the applicable land use plan and is zoned with a Medium Intensity Commercial District. Both land use and zoning designations recognize that this parcel is suitable and desirable for commercial development that serves surrounding residential and commercial zones.

The following narrative demonstrates how the proposed development complies with the criteria set forth in Article 5 of the Zoning and Land Development Regulations.

Design Criteria:

Criteria 1. Architectural and design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

The proposed design provides the enhanced usage of an undeveloped parcel since platted for commercial development in 1998. Since then this area has remained vacant, but used as a nursery. The design of the proposed building includes a brick design with stone accents. The canopy columns will be cladded with the same brick and stone appearance to provide an aesthetic superior to typical gas stations/convenience stores. This design perfectly balances aesthetic consideration with functionality to invite customers into what will be a state of the art facility with expanded and upscale offerings in the convenience store such a soft yogurt service, gourmet coffee offerings and a wide range of food options for locals as well as travelers. The site is designed to minimize backups at the pump and to provide safe and convenient access to and from the pumps, convenient store, and adjacent roadways as well.

Criteria 2. Compatibility. The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area

The RaceTrac project, as discussed above, is an outparcel within a vacant lot designated with a General Business land use. The land use pattern established for the area is for commercial development. The proposed RaceTrac is compatible with the existing land use patterns and will serve as encouragement for the surrounding General Business designated land adjacent to the site to be developed.

Criteria 3. Scale/massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings.

The proposed project was designed contextually and it's massing, scale, rhythm, and architectural elements, will serve as an encouragement for the remainder of the site to be developed.

The gas service canopy is approximately 160 feet long and 20 feet high (16' clearance). The building height proposed for the convenience store is approximately 25 feet with. Exterior materials include glass, brick and stacked stone work at the base of the building and canopy columns. The canopy and building are centered to the development area for this application.

Criteria 4. Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

An ample 30-foot wide and 18-foot wide perimeter/landscape buffer along Griffin Road and 40th Avenue (respectively) are provided with perimeter berm and enhanced multi-tiered landscape that exceed development requirements set forth in Zoning and Land Development Regulations. Overall, the site provides approximately 26 percent pervious areas with a considerable amount of native trees, shrubs, and ground covers.

As set forth above, the RaceTrac use complies with the standards found in Article 5 of the Zoning and Land Development Regulations.

Sincerely,

THOMAS ENGINEERING GROUP, LLC



Kevin Betancourt, P.E.
Project Manager

December 30, 2019

Deandrea Moise
City of Hollywood
Planning Department
2600 Hollywood Blvd
Hollywood, FL 33020

**Re: RaceTrac – Griffin & 40th
Final TAC Submittal**

Dear Ms. Moise,

This application has been on hold due to various issues that have come up since the last time your department has reviewed our application. Since the previous TAC meeting, we have met with the Maple Ridge Association, City of Hollywood Engineering (Rick Mitinger and Luis Lopez), FDOT District Six, and Broward County Highway Construction and Engineering Department to resolve issues of traffic presented during these meetings. The development plans within the lease area for the applicant (RaceTrac Petroleum/RAZ Properties) have been generally unchanged since the last TAC review and most of the changes have occurred along SW 40th Avenue and SW 49th Court. Part of the changes included: a privacy wall along SW 49th Court to help screen the commercial development from view on SW 49th court that is primarily used for access to the Maple Ridge community and the expansion of SW 40th Avenue to allow a second lane adjacent to the property to help improve the existing traffic conditions at this intersection. There have been various meetings to discuss the 40th Avenue improvement as there was currently a plan by the MPO to widen 40th to allow for bicycle lanes. With the help of FDOT and City of Hollywood Engineering Department, the applicant will be dedicating a portion of their ROW to help redesign the MPO improvements to allow for a second lane as well as the bicycle lanes originally proposed. We are still in discussions with the Maple Ridge Association as well as FDOT, MPO, and Broward County to coordinate these off-site improvements, but we would like to move forward with TAC so that staff is reintroduced to this project to keep this project moving forward.

Should you have any questions, please do not hesitate to contact me at 954-202-7000. Thank you for your time and kind consideration with regards to this matter.

Sincerely,

THOMAS ENGINEERING, LLC



Kevin Betancourt, P.E.



Timeline of Key Correspondence for Proposed RaceTrac at Griffin & 40th

Date of Meeting	Purpose
December 4, 2018	In-person meeting between RaceTrac representatives and Maple Ridge representatives
December 18, 2018	Meeting between RaceTrac representatives and Maple Ridge representatives
February 12, 2019	Meeting between RaceTrac representatives, Meyer Minyan (HOA president), and other HOA representatives
September 19, 2019	Meeting at FDOT to discuss 40 th Ave Improvements
October 2, 2019	Meeting at FDOT to discuss 40 th Ave Improvements
October 16, 2019	Meeting at Broward County to discuss 40 th Ave improvements
October 21, 2019	Meeting at FDOT to discuss 40 th Ave improvements
November 19, 2019	Meeting between RaceTrac representatives, Meyer Minyan, and Rami Dahari



September 19, 2018

Victor Sutapaha
Engineering Project Manager
RaceTrac
200 Galleria Parkway SE
Suite 900
Atlanta, GA 30339

Re: RT1365 – SEC Griffin Road & 40th Avenue – Hollywood, Florida
Traffic Impact Analysis
Property ID: 5042-31-23-0020

JFO Group Inc. has been retained to evaluate a site-specific traffic impact analysis for the proposed RaceTrac Development at the SEC of Griffin Road and SW 40th Avenue. This traffic statement is associated with the Site Plan application for the project. The project is located at 3990 Griffin Road in the City of Hollywood, Florida. Figure 1 shows an aerial view of the project location in relation to the transportation network. Broward County Property ID associated with this project is 5042-31-23-0020.

The proposed project is located within Parcel B of the Maple Ridge Plat. Parcel B is restricted to 75,000 SF of Commercial development. There is a proposal to build a Gas Station consisting of a 5,411 SF Convenience Store and 20 Fueling Positions. Exhibit 1 includes a copy of the Maple Ridge plat while Exhibit 2 includes a copy of a preliminary site plan. Exhibit 3 includes a Trip Generation comparison between the plat restriction and the proposed project.

Typically, project trip generation rates used for new developments are based on the Institute of Transportation Engineers Trip Generation Manual. In the particular case of the proposed project, the closest land use would be ITE Land Use 945: Gasoline/Service Station with Convenience Market. However, this trip generation rate is not representative of the proposed project.

Consequently, in order to provide a more accurate analysis, a trip generation analysis using the latest data available by The Florida Department of transportation (F-DOT) was provided.

F-DOT encourages analysts to consider using the multi-variable equations established in the F-DOT System Planning Office Trip Generation Study (2012) instead of the ITE independent variables. The F-DOT 2012 study addressed the need for a different trip generation model other than the one established by ITE. The nature of gas stations has improved to larger stores with more fueling positions and more amenities. F-DOT collected data at 12 convenience stores with gas pumps across the State of Florida. Exhibit 4 includes a copy of excerpts from the F-DOT study.

The multi-variable trip generation equations combine the influence of fueling positions and convenience store square footage. According to the F-DOT 2012 study, these equations represent a higher level of predictability for convenience stores with gas pumps comparing to ITE rates. The F-DOT proposed equations have coefficients of accuracy determination of 0.92 for Daily and 0.88 for PM peak hour. Additionally, the F-DOT 2012 study recommends a 78% pass-by rate to be assumed for similar sites. This calculated pass-by rate matches the ITE pass-by rates for Florida sites.

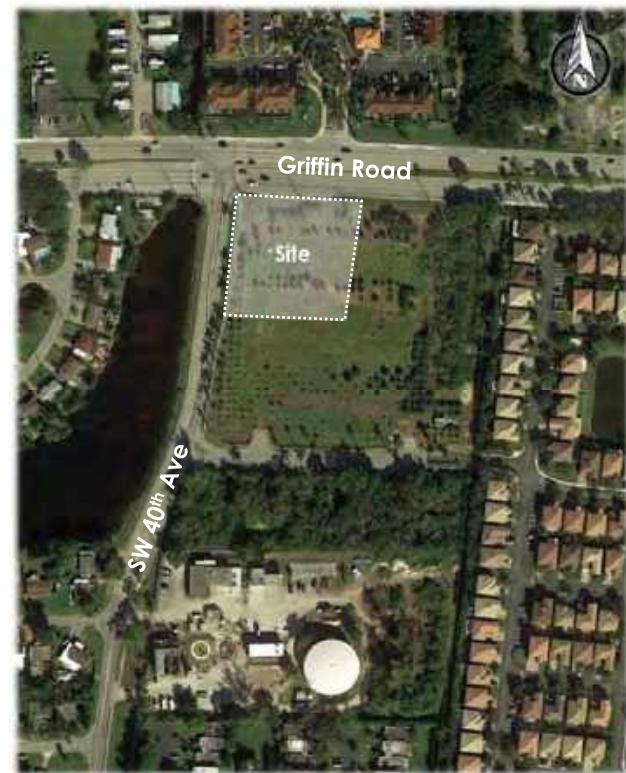


Figure 1: Project Location

Table 1 includes F-DOT trip generation rates while Table 2 summarizes the net Daily and PM peak trips generated by the existing and proposed development. According to Table 2, the proposed project will potentially generate an additional 73 trips during the PM peak hour.

Table 1: F-DOT Trip Generation Rates

Land Use	Daily	PM Peak Hour		
		In	Out	Total
Gas Station & Convenience Store	256.7*FP - 144.5*KSF	50%	50%	12.3*FP + 15.5*KSF

Table 2: Trip Generation

Land Use	Intensity	Daily Traffic	PM Peak Hour		
			In	Out	Total
Gas Station	20 FP	4,352	165	165	330
Convenience Store	5,411 SF				
Driveway Volumes		4,352	165	165	330
Pass-By (78%)		3,395	129	128	257
Net Proposed Traffic		957	36	37	73

Based on the F-DOT Driveway Information Guide, a right-turn lane is recommended at each driveway where Roadway Posted Speed Limit is 45 MPH or less and the number of right turns per hour is between 80 and 125 vehicles¹. Figure 2 provides Daily and peak hour driveway volumes for the proposed project.

Table 3 presents a summary of the project traffic impact as a percentage of the adopted Level of Service (LOS). As shown in Table 3, the proposed development will potentially generate less than one percent (1%) of the adjacent roadway peak-hour LOS in all links. For this reason, the proposed development has an insignificant impact to the existing transportation network.

Table 3: Project Impact

ID	Roadway	Segment	Design Code	Peak Hour Capacity	Project Distribution	Project Trips	Project Significance
<i>N/S Roadway</i>							
555	SW 40 Ave	N of Stirling Rd	264	1,197	15%	11	0.92%
<i>E/W Roadway</i>							
284	Griffin Rd	E of SR 7	622	5,390	45%	33	0.61%
284	Griffin Rd	E of SW 40th Ave	622	5,390	40%	29	0.54%

¹ The lower threshold of 80 right turn vehicles per hour would be most used for higher volume (greater than 600 vehicles per hour, per lane in one direction on the major roadway) or two-lane roads where lateral movement is restricted. The 125 right turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with a large entry radius (50 feet or greater).

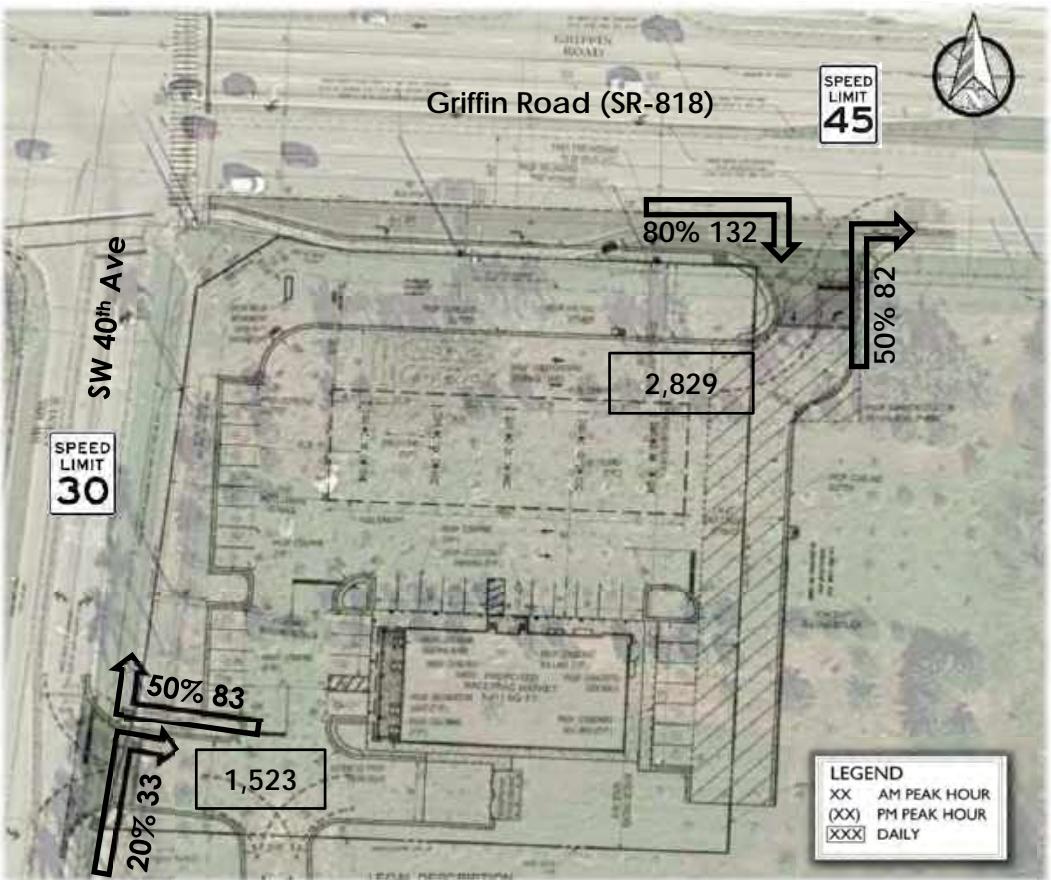
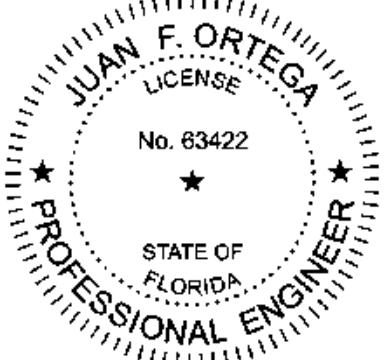


Figure 2: Project Driveway Volumes

Based on the information presented in Figure 2 and the F-DOT Driveway Information Guide, a right turn lane is recommended at the project driveway on Griffin Road. Exhibit 5 includes a copy of the pre-application approval letter for the proposed access on Griffin Road (SR-818). Furthermore, the proposed project will generate less traffic than the traffic generated by the Plat restriction where the proposed project traffic will generate less than one percent (1%) of the adjacent roadway peak-hour LOS in the project vicinity.

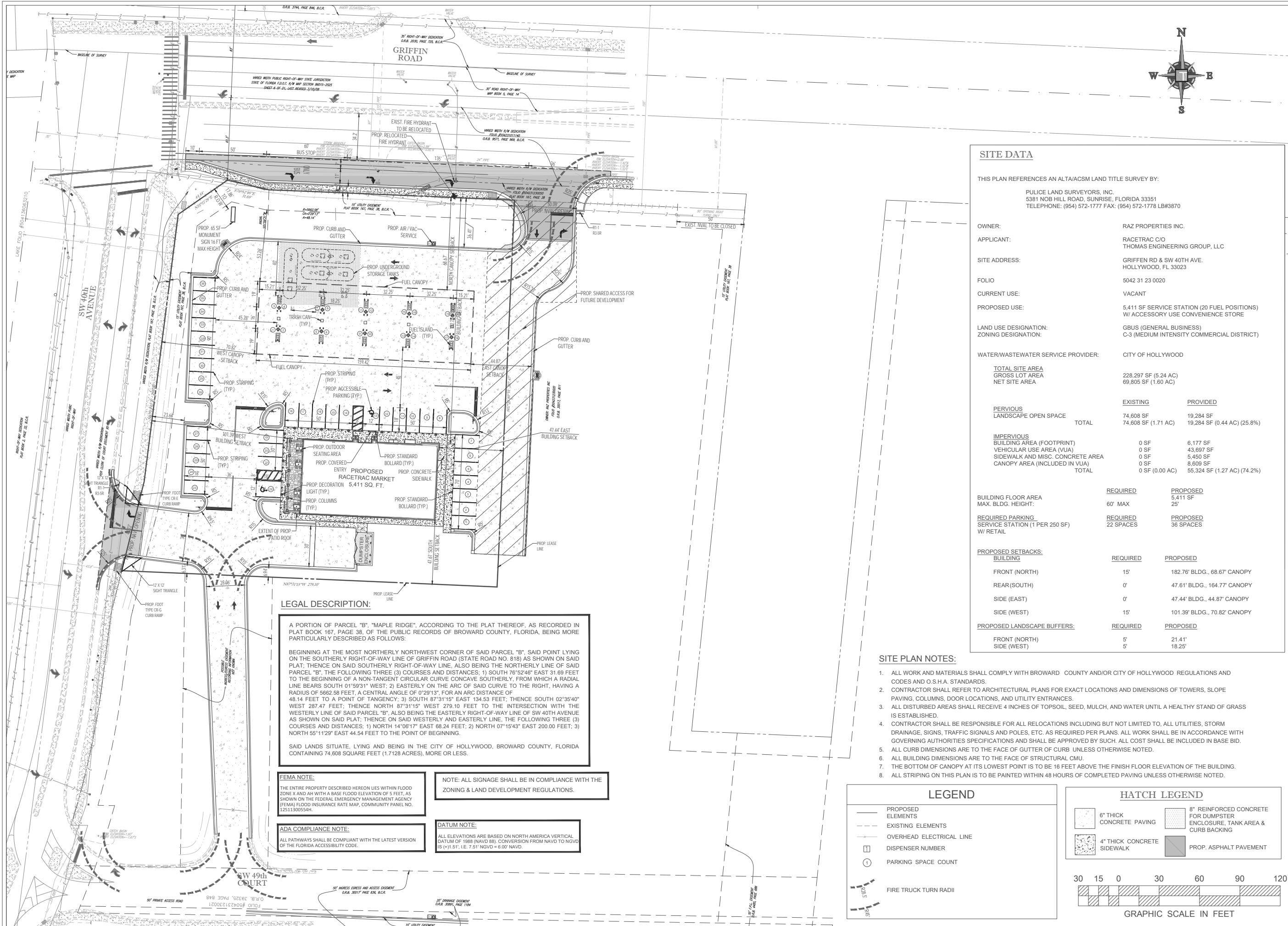
Sincerely,

JFO GROUP INC



Enclosures:

- Exhibit 1: Maple Ridge Plat
- Exhibit 2: Preliminary Site Plan
- Exhibit 3: Trip Generation Comparison
- Exhibit 4: F-DOT Trip Generation Excerpt
- Exhibit 5: F-DOT Driveway Pre-Application Letter



Plat Traffic Vs. Proposed Development

Land Use	ITE Code	Daily Trip Gen.	PM Peak Hour		
			In	Out	Total
Shopping Center	820	37.75	48%	52%	3.81
Gas Station & Convenience Store	F-DOT	256.7*FP - 144.5*KSF	50%	50%	12.3*FP + 15.5*KSF
Land Use	Intensity	Daily Traffic	PM Peak Hour		
			In	Out	Total
Approved Plat					
Shopping Center	75,000 SF	2,831	137	149	286
	Σ	2,831	137	149	286
<hr/>					
Pass-By					
Shopping Center	34.00%	963	47	50	97
	Σ	963	47	50	97
<hr/>					
Net Approved Traffic (Plat)		1,868	90	99	189
Proposed Site Plan					
Gas Station	20 FP	4,352	165	165	330
Convenience Store	5,411 SF				
	Σ	4,352	165	165	330
<hr/>					
Pass-By					
Gas Station & Convenience Store	78.00%	3,395	129	128	257
	Σ	3,395	129	128	257
<hr/>					
Net Proposed Traffic (Site Plan)		957	36	37	73
Net Traffic		(911)	(54)	(62)	(116)

The Trip Generation Rates from Our Florida 2012 Study

Description	Trip Rate Formula Note: As with most retail the practical directional distribution is 50%/50%
Weekday/Daily Trips	
Weekday Trip Ends using 1,000 sq ft of gross floor area of the convenience store (kft²)	Weekday Trips = $1,141.59 * \text{kft}^2$
Weekday Trip Ends using Fueling Positions (FP)	Weekday Trips = $233.70 * \text{FP}$
Weekday Trip Ends using multi Variable Equation	Weekday Trips = $256.7 * \text{FP} - 144.5 * \text{kft}^2$
PM Peak Hour Trips	
PM Peak Hour of Adjacent Street Traffic Trip Ends One Hour between 4 and 6 p.m. using 1,000 sq ft of gross floor area of the convenience store (kft²)	PM Peak Trips = $85.66 * \text{kft}^2$
PM Peak Hour of Adjacent Street Traffic Trip Ends using Fueling Positions (FP)	PM Peak Trips = $17.09 * \text{FP}$
Trip Ends using multi Variable Equation	PM Peak Trips = $12.3 * \text{FP} + 15.5 * \text{kft}^2$

In these equations:

FP: fueling positions

kft²: 1,000 square feet gross floor area of the convenience market

Trip Generation

Characteristics of Large Gas Stations/Convenience Stores and Student Apartments





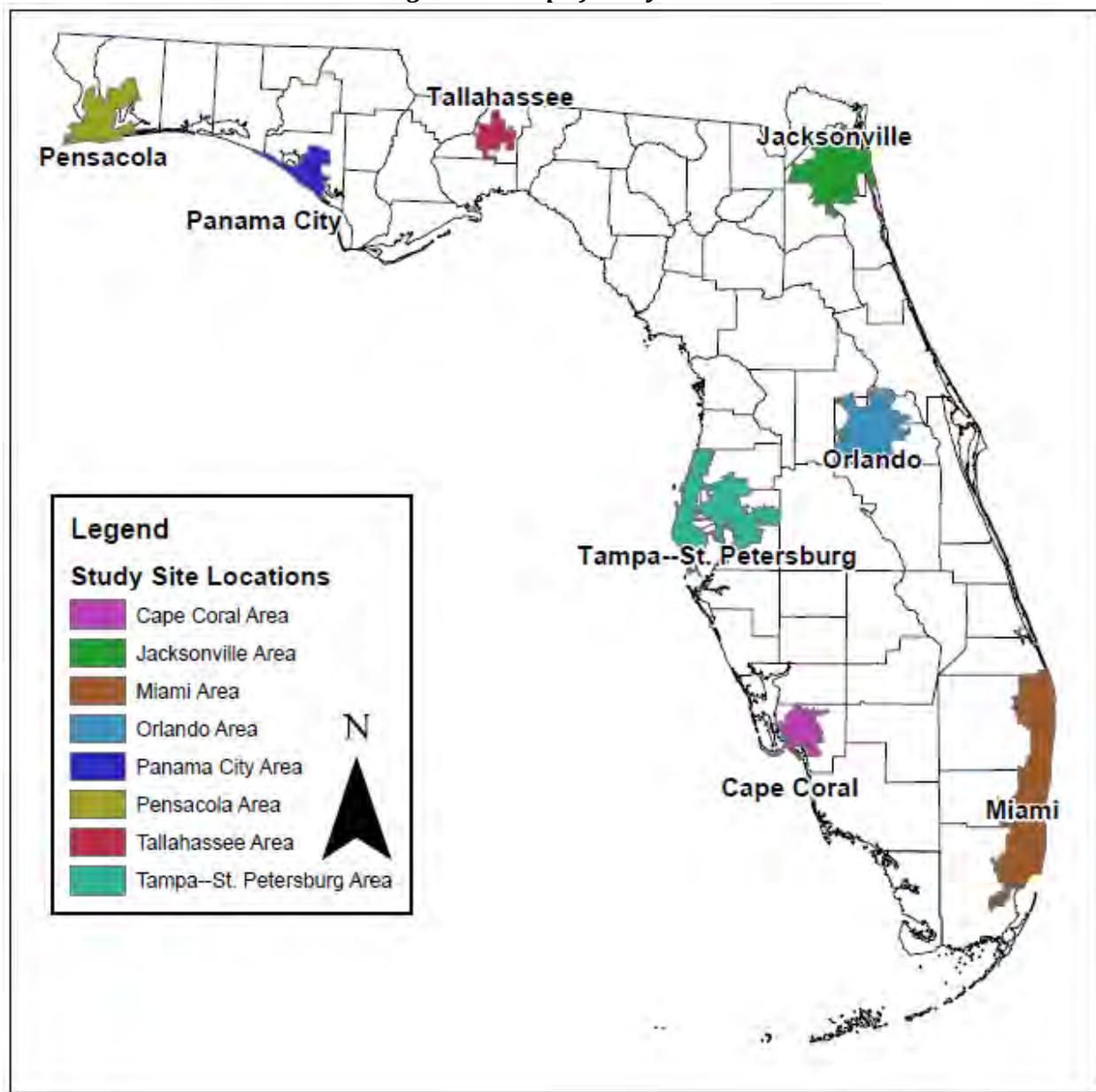






Florida Department of Transportation
 Systems Planning Office/Systems Management
 605 Suwannee Street #120
 Tallahassee, Florida 32399
www.dot.state.fl.us
questions@dot.state.fl.us

Figure 10: Map of Study Sites



Analysis and Findings

After compiling and quality checking the field data, the research team decided on two primary approaches to analyze the data. First, we determined typical ITE format average trip generation rates and regression equations based on a single variable. ITE uses trips per 1,000 ft² of convenience store for land use 853 Convenience Market with Gas Pumps, and trips per number of fueling positions for land use 945 Service Station with Convenience Market. Together these represented the most appropriate variables for our study sites. Secondly, we developed a series of multi-variable regression equations to investigate further possibilities.

Figure 11 shows average rate findings for Convenience Market with Gas Pumps, as well as values from ITE and our literature review for comparison. Square footage results show daily and PM peak rates higher than previous studies. This suggests that the larger stores and greater associated amenities are pulling in significantly more traffic than traditional stations. Trip generation rates per vehicle fueling position were also higher than most previous studies both daily and during the PM peak.

Figure 11 shows that when using convenience market size as the independent variable, the 2012 FDOT study has consistently higher trip generation rates. When comparing past studies using fueling positions the differences are not as consistent.

Figure 11: Comparison of Convenience Market with Gas Pumps Trip Generation Rates

	Weekday Daily	Percent of 2012 FDOT Study Daily Rate	PM Peak of Adjacent Street	Percent of 2012 FDOT Study PM Peak Rate
2012 FDOT Statewide Study	1,141.59	100%	85.66	100%
ITE 853 Convenience Market with gas Pumps	845.6	74%	59.69	70%
2011 ITE Journal			60.50	71%
2001 ITE Journal			48.03	56%
1992 UF Study			56.40	66%

1,000 ft ² Convenience Fueling Positions	2012 FDOT Statewide Study	233.70	100%	17.09	100%
	ITE 945 Convenience Market with gas Pumps	162.78	70%	13.38	78%
	2011 ITE Journal			23.23	136%
	2001 ITE Journal			16.58	97%
	1992 UF Study			9.45	55%

The range of pass-by trip rates was 65-84 percent with an average of 78 percent. This is significantly higher than the average of 66 percent found in the ITE Handbook for the Convenience Market with Gas Pumps land use. However, the average of only Florida sites from 2001 ITE Trip Generation Handbook is 76 percent, and our results were quite similar. The consistency of this data suggests that future developments could reasonably assume about a 77 percent pass-by rate for sites of this type. See Figure 20 for details.

Figure 19: Pass-By Rates for Convenience Market with Gas Pumps

Site Location (FL)	1,000 ft ²	Total Number of Interviews*	Percent Pass-By Trips
Pensacola	4	699	84%
Pensacola	3	709	65%
Panama City Beach	4	448	71%
Tallahassee	5	694	82%
Jacksonville	3	133	83%
Apopka	3	231	77%
Clearwater	3	216	74%
Tampa	3	166	75%
Cape Coral	5	133	83%
Fort Myers	5	182	79%
Fort Lauderdale	3	236	81%
Homestead	3	216	79%
Average	4	339	78%

*Combination of customer surveys and observation

Figure 20: Comparison of Pass-By Rates

ITE LU	853		Number of Sites	Percent Pass-By Trips	
			2012 FDOT Statewide Study	12	78%
			2001 ITE Handbook	15	66%
			2001 ITE Handbook (FL only)	6	76%



Florida Department of Transportation

RON DESANTIS
GOVERNOR

3400 West Commercial Boulevard
Fort Lauderdale, FL 33309

KEVIN J. THIBAULT
SECRETARY

September 17, 2019

THIS PRE-APPLICATION LETTER IS EXTENDED UNTIL – September 17, 2020
THIS LETTER IS NOT A PERMIT APPROVAL

Kevin A. Betancourt
Thomas Engineering Group LLC
1000 Corporate Drive, Suite 250,
Fort Lauderdale, FL 33334

Dear Kevin A. Betancourt:

RE: September 17, 2020 - Pre-application Extension for Category E Driveway Date of Pre-application Meeting: August 23, 2018
Broward- Hollywood, Urban; SR 818; Sec. # 86015; MP: 7.2
Access Class - 05; Posted Speed - 45; SIS - Influence Area; Ref. Project:

Request: Right-in/right-out driveway on south side of SR 818/Griffin Road, located approximately 260 feet east of SW 40th Ave.

SITE SPECIFIC INFORMATION

Project Name & Address: RaceTrac – 3990 Griffin Road
Applicant/Property Owner: RAZ Properties Inc
Parcel Size: 1.71 Acres Development Size: 20 FP/Gas Station + 5,411 SF/Convenience Store

WE APPROVE YOUR REQUEST

This decision is based on your presentation of the facts, site plan and survey - please see the conditions and comments below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- A minimum driveway length of 30 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided.
- A combined bus bay/ right turn lane shall be provided and must meet FDOT standards.

Comments:

- Broward County Transit should assess the proposed bus bay during the time of permit.

- All driveways not approved in this letter must be fully removed and the area restored.
- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. Note, this letter does not guarantee permit approval. The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://osp.fdot.gov>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact the Access Management Manager - Tel. # 954-777-4363 or e-mail: D4AccessManagement@dot.state.fl.us with any questions regarding the Pre-Approval Letter and Permits Office - Tel. # 954-777-4383 with any questions regarding permits.

Sincerely,

Dalila Fernandez, P.E.
District Access Management Manager

cc: Roger Lemieux
File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2018-08-23\1. 86015 MP 7.200 SR 818_RaceTrac Gas Station\86015 MP 7.200 SR 818_RaceTrac Gas Station_Ext.docx

SITE DEVELOPMENT PLANS

FOR



RACETRAC MARKET

3990 GRIFFIN ROAD HOLLYWOOD, FL

RACETRAC PROJECT NO. 1365
RACETRAC STORE NO. TBD
FOLIO NUMBER: 504231230020

UTILITY PROVIDERS					
WATER		ELECTRIC		TELEPHONE	
CITY OF HOLLYWOOD 2600 HOLLYWOOD BLVD., ROOM 308 HOLLYWOOD, FL 33022 CONTACT: WILFORD ZEPHYR PHONE: (954) 921-3994		FP&L 4000 DAVIE ROAD EXTENSION HOLLYWOOD, FL 33024 CONTACT: JAMES TALLEY PHONE: (954) 442-6347		AT&T 8601 W. SUNRISE BLVD. PLANTATION, FL 33322 CONTACT: BOB KRAUSS PHONE: (954) 476-6406	
SANITARY SEWER		GAS		CABLE	
CITY OF HOLLYWOOD 2600 HOLLYWOOD BLVD., ROOM 308 HOLLYWOOD, FL 33022 CONTACT: WILFORD ZEPHYR PHONE: (954) 921-3994		TECO PEOPLES GAS 5101 NW 21ST AVE STE. 460 FT. LAUDERDALE, FL 33309 CONTACT: YVONNE GOLDMAN PHONE: (954) 453-0824		AT&T 8601 W. SUNRISE BLVD. PLANTATION, FL 33322 CONTACT: BOB KRAUSS PHONE: (954) 476-6406	
STORM		FIRE DISTRICT		RIGHT OF WAY	
BROWARD COUNTY EPD 1 N. UNIVERSITY DR., STE. 201 PLANTATION, FL 33301 CONTACT: CARLOS ADORISIO PHONE: (954) 519-1206		CITY OF HOLLYWOOD 2600 HOLLYWOOD BLVD., ROOM 308 HOLLYWOOD, FL 33022 CONTACT: WILFORD ZEPHYR PHONE: (954) 921-3994		FDOT - DISTRICT IV - MAIN OFFICE 3400 W. COMMERCIAL BLVD FT. LAUDERDALE, FL 33309 CONTACT: BOB KRAUSS PHONE: (954) 777-4372	

GENERAL NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTION ACCORDING TO AGENCY INSTRUCTION.
2. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
3. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S CONSTRUCTION MANAGER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO USE ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. CONSTRUCTION MANAGER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
4. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT IS NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR'S AND UTILITY COMPANIES.
5. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.
6. CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
7. AT LEAST 72 HOURS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL USE EACH PLAN IN CONJUNCTION WITH THE ENTIRE SET OF DRAWINGS AND JOB SPECIFICATIONS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY EFFECT THE OVERALL PROJECT.
9. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS
10. CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH WATER AND WASTEWATER SERVICES (WWS) STANDARDS AND SPECIFICATIONS.
11. PLANS ARE IN ACCORDANCE WITH WWS MINIMUM DRAWING REQUIREMENTS DATED JANUARY 2013.
12. STATE PLANE COORDINATES WILL BE SUPPLIED FOR THE DESIGN AND RECORD DRAWINGS.
13. THE VERTICAL DATUM USED FOR THESE PLANS WAS NAVD88.
14. WWS APPROVAL OF THIS SET OF DRAWINGS IS RELIANT UPON THE DRAWINGS CLEARLY SHOWING ALL EXISTING AND PROPOSED ABOVE GROUND STRUCTURES, ASPHALT, PAVING, LANDSCAPING, WALLS, FENCES' UNDERGROUND PIPING, UNDERGROUND STRUCTURES, DUCT BANKS, TRANSFORMERS, POLES STORM WATER STORAGE AREAS, PAVERS, ELECTRIC CABLE, AND OTHER FACILITIES WITHIN RIGHTS OF WAY AND EXISTING AND PROPOSED POTABLE WATER/ RECLAIMED WATER/ WASTEWATER EASEMENTS. WWS HEREBY AUTHORIZES ONLY THE ITEMS SHOWN ON THESE DRAWINGS TO BE WITHIN SAID POTABLE WATER/ RECLAIMED WATER/ WASTEWATER EASEMENTS."
15. RECORD DRAWINGS SHALL INCLUDE COLOR PHOTOGRAPHS OF ALL CONNECTIONS TO EXISTING WWS INFRASTRUCTURE AS WELL AS ALL CRITICAL UTILITY CROSSINGS AND WHERE SPECIFICALLY REQUIRED ON THE DESIGN DRAWINGS. ALL PHOTOGRAPHS INCLUDED IN THE RECORD DRAWINGS WILL ALSO BE PROVIDED TO WWS IN JPEG FORMAT ON CD OR DVD MEDIA. SEE MINIMUM DRAWING REQUIREMENTS FOR PIPING PROJECTS FOR DETAILS."

PREPARED BY

SURVEYOR

PULICE LAND SURVEYORS, INC.
JOHN F. PULICE
PROFESSIONAL LAND SURVEYOR
5381 NOB HILL ROAD
SUNRISE, FL 33351
PHONE: (954) 572-1777

ENGINEER

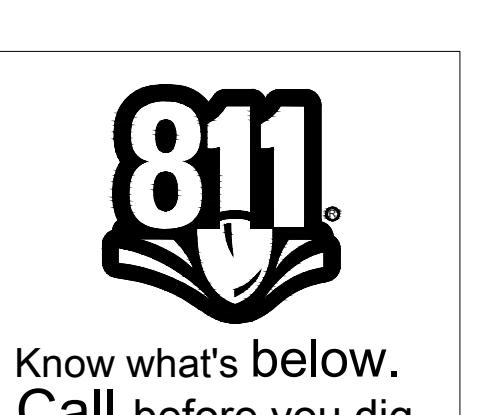
THOMAS ENGINEERING GROUP
KEVIN A. BETANCOURT, P.E.
6300 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PHONE: (954) 202-7000
FAX: (954) 202-7070

LANDSCAPE ARCHITECT

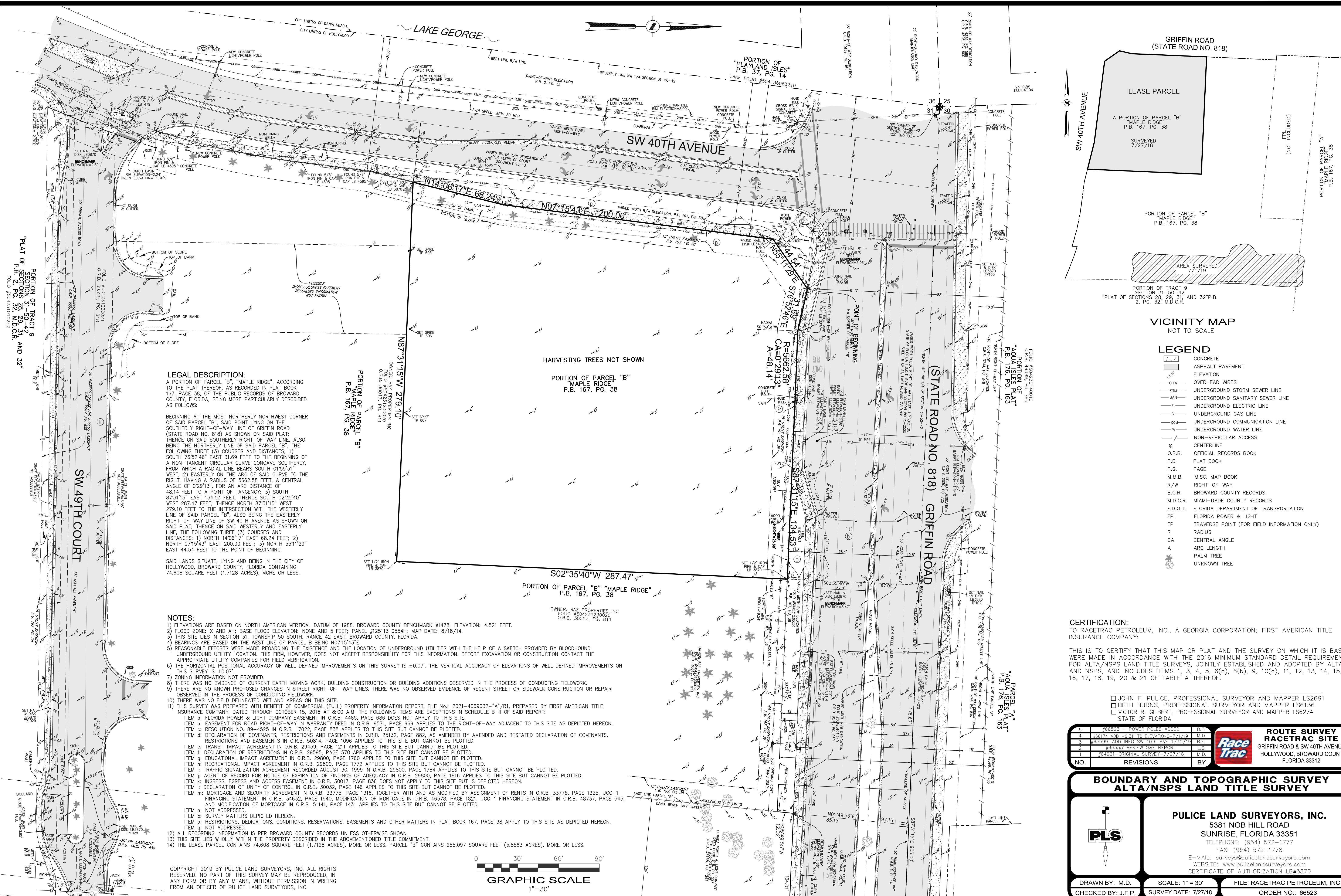
THOMAS ENGINEERING GROUP
RYAN J. KING EBRAHIMIAN, P.L.A.
PROFESSIONAL LANDSCAPE ARCHITECT
6300 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PHONE: (954) 202-7000
FAX: (954) 202-7070

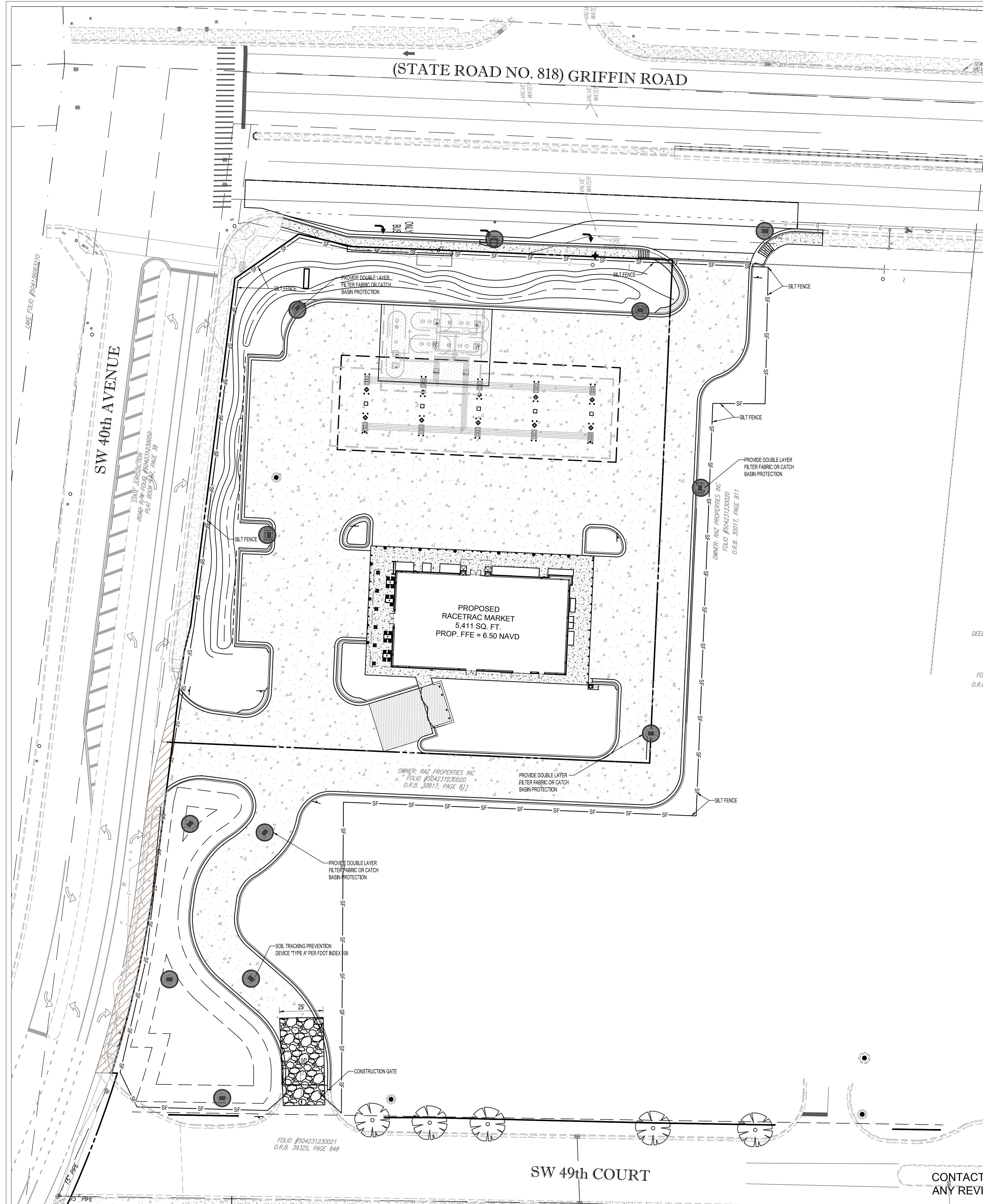
OWNER/DEVELOPER

RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE,
SUITE 900 ATLANTA, GEORGIA 30339
SAMANTHA MOORE
PHONE: (512) 417-3225



SHEET INDEX OF DRAWINGS					
SHEET	NAME	BY OTHERS	PLAN DATE	REVISION	PLAN DATE
C0.0	COVER SHEET		09/17/2018		
PLS-1	BOUNDARY AND TOPOGRAPHIC SURVEY	PULICE LAND SURVEYORS, INC.	08/02/2018		
ES-1	EROSION CONTROL PLAN		10/10/2018		
D-1	DEMOLITION PLAN		10/10/2018		
C1.1	SITE PLAN		09/17/2018		
C1.2	CROSS SECTIONS		10/10/2018		
C1.3	PAVEMENT MARKING & SIGNAGE PLAN		10/10/2018		
C1.4	CIRCULATION PLAN		10/10/2018		
C2.1	GRADING PLAN		10/10/2018		
C3.1	PAVING PLAN		10/10/2018		
C4.1	JOINTING PLAN		10/10/2018		
C5.1	DRAINAGE PLAN		10/10/2018		
C5.2	DRAINAGE DETAILS		10/10/2018		
C6.1	UTILITY PLAN		10/10/2018		
C6.2	UTILIY DETAILS		10/10/2018		
C6.3	UTILIY DETAILS		10/10/2018		
SD1	RACETRAC STANDARD DETAILS		10/10/2018		
SD2	RACETRAC STANDARD DETAILS		10/10/2018		
SD3	RACETRAC STANDARD DETAILS		10/10/2018		
SD4	RACETRAC STANDARD DETAILS		10/10/2018		
L-1.0	LANDSCAPE PLAN		10/10/2018		
L-1.1	LANDSCAPE STANDARD DETAILS		10/10/2018		
L-1.2	LADSCAPE STANDARD SPECIFICATIONS		10/10/2018		
L-2.0	IRRIGATION PLAN		10/10/2018		
L-2.1	IRRIGATION STANDARD DETAILS		10/10/2018		
L-2.2	IRRIGATION STANDARD SPECIFICATIONS		10/10/2018		
A010	DUMPSTER ENCLOSURE ELEVATIONS	HFR & ASSOCIATES	10/24/2018		
A011	DUMPSTER ENCLOSURE DETAILS	HFR & ASSOCIATES	10/24/2018		
A200	ROOF PLAN	HFR & ASSOCIATES	10/24/2018		
A300	EXTERIOR ELEVATIONS	HFR & ASSOCIATES	10/24/2018		
A500	ROOM FINISH AND MATERIAL SCHEDULE	HFR & ASSOCIATES	10/24/2018		
C100	FUEL CANOPY ELEVATIONS	HFR & ASSOCIATES	10/24/2018		



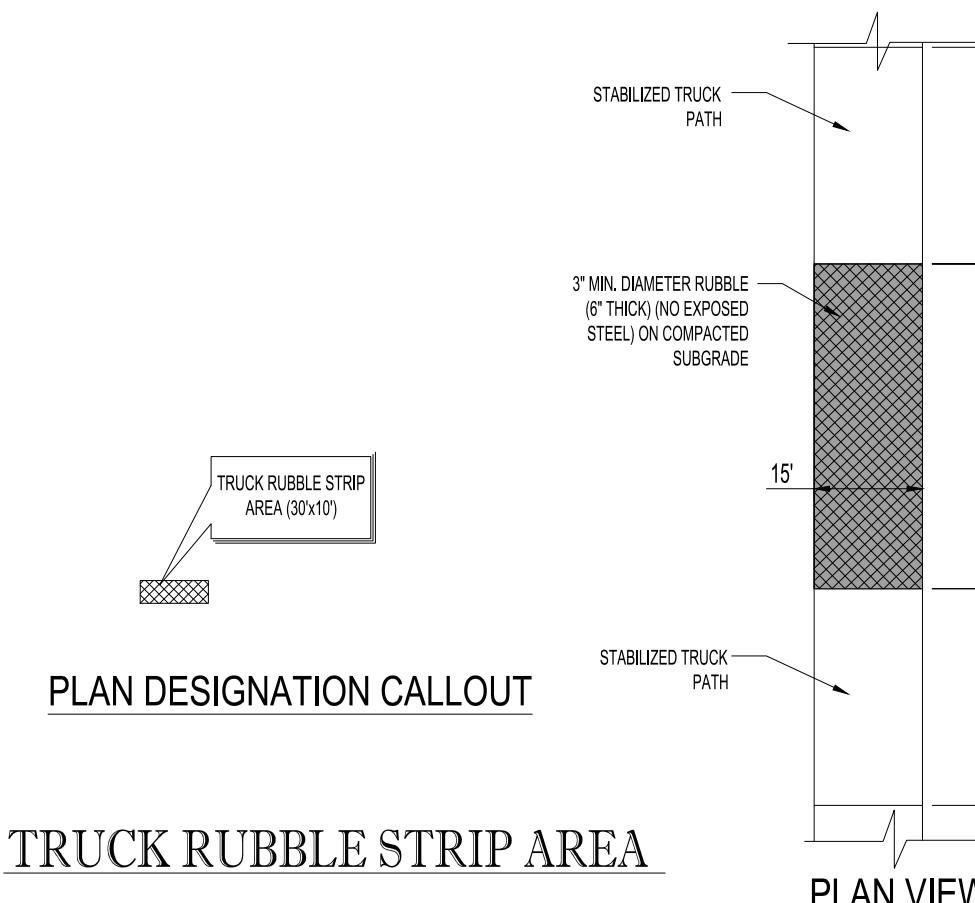


EROSION CONTROL NOTES:

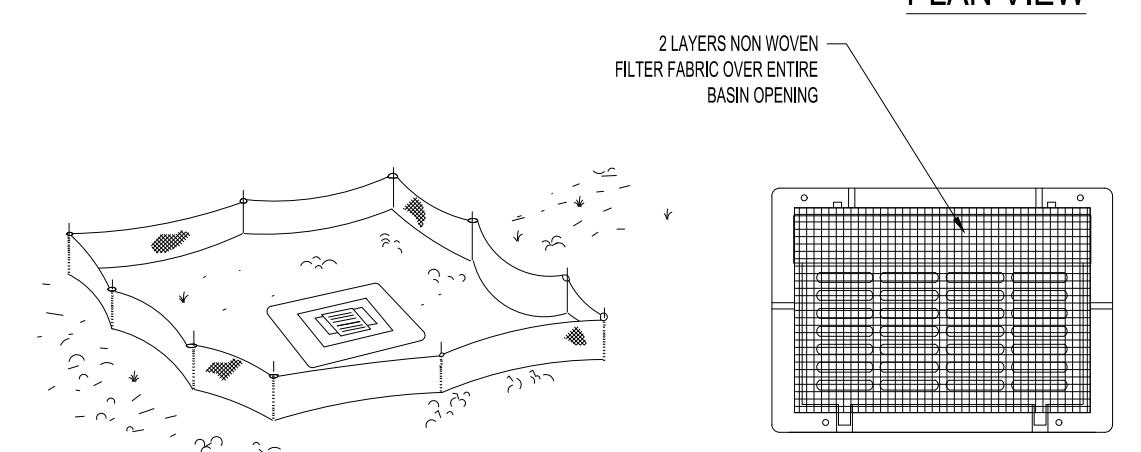
1. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
2. ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
3. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
4. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
5. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR.
6. FILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE TOP OF TEMPORARY AND PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
7. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
8. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS.
9. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
10. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
11. THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES.
12. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NPDES STORMWATER REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
13. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.
14. PRIOR TO CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. CLEARING AND GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.
15. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

NOT

- 1.) SILT FENCE TO BE CONSTRUCTED WHEREVER OFFSITE AREA ARE LOWER THAN ADJACENT ONSITE ELEVATIONS.
- 2.) CATCH BASIN FABRIC TO BE PLACED ON AREA INLETS SUBJECT TO SEDIMENTATION FROM THIS PROJECT.
- 3.) ALL EROSION CONTROL DEVICES SUCH AS RUBBLE STRIPS, SILT FENCE AND OTHER BMPS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.



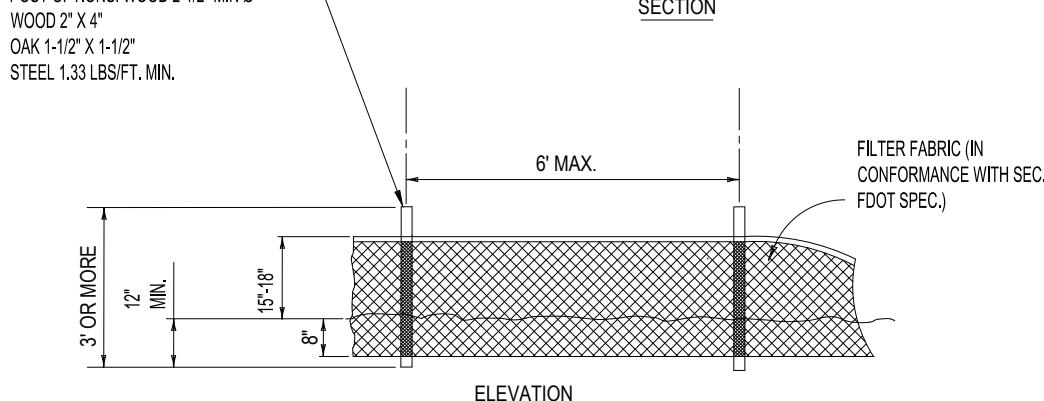
TRUCK RUBBLE STRIP AREA



CATCH BASIN FABRIC



11

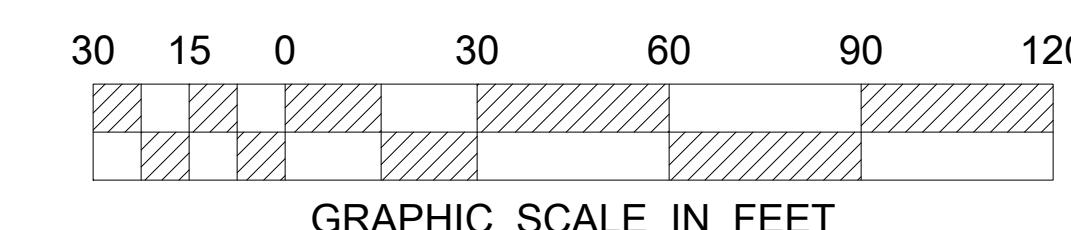


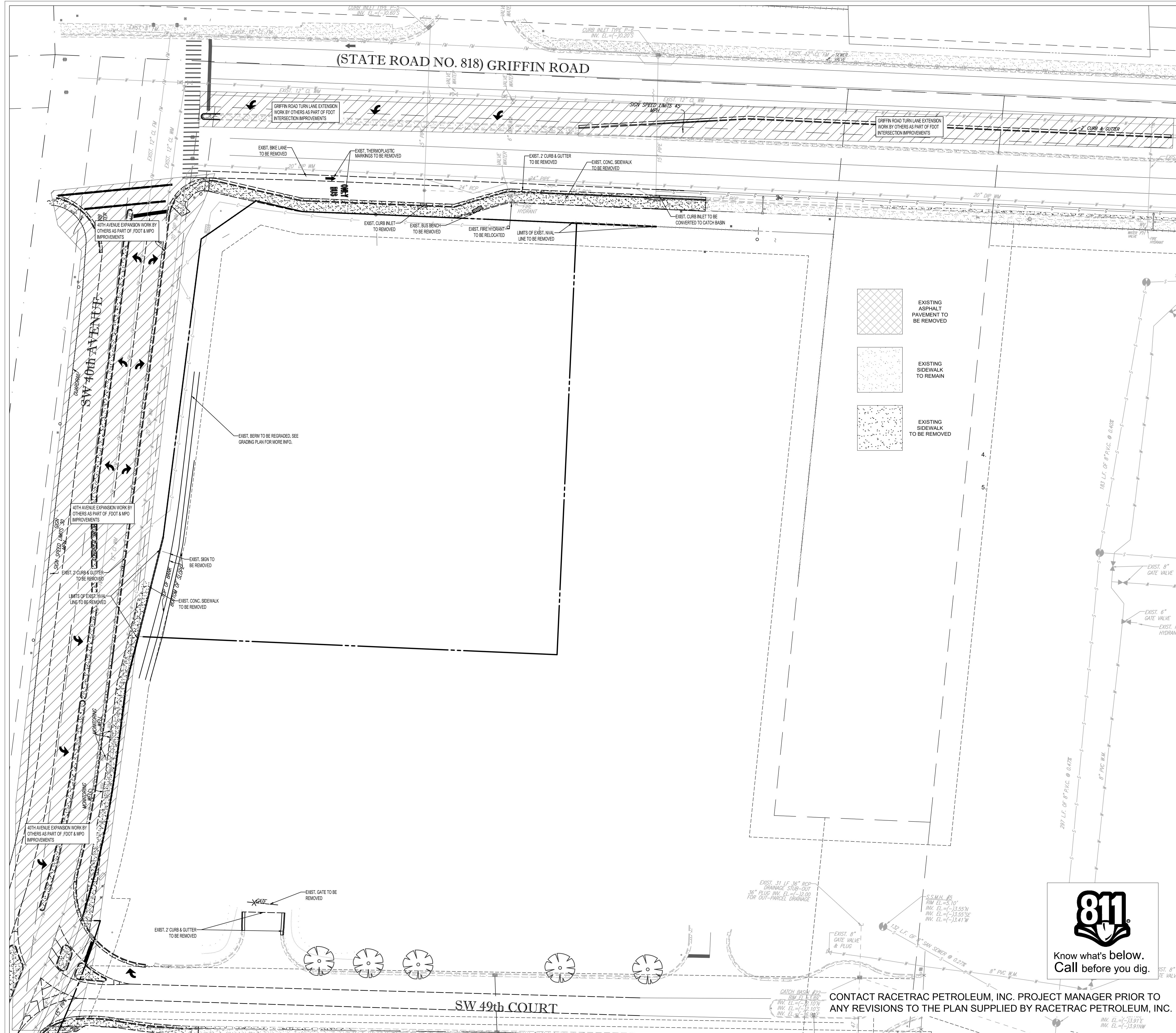
SILT FENCE DETAIL
(F.D.O.T. INDEX 102, SHEET 03 OF 03)



Know what's below.
Call before you dig.

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.





1. THOMAS ENGINEERING GROUP IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
3. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
 - A. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
 - B. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - D. LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - E. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - F. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - G. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - H. A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
6. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
7. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
8. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.
9. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
10. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
11. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
12. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.

811

Know what's below.
Call before you dig.

CATCH BASIN #22
RIM EL. 53.89'
INV. EL. = (-) 21.10'N
INV. EL. = (-) 21.10'S

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO
ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

NOTES
CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO

ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE
AND LOCAL UTILITY COMPANY REQUIREMENTS.

ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE
WITH ALL APPLICABLE REGULATIONS.

30 15 0 30 60 90 120

GRAPHIC SCALE IN FEET

For more information, contact the Office of the Vice President for Research and Economic Development at 319-273-2500 or research@uiowa.edu.

DEMOLITION PLAN
ACETRAC MARKET
3990 GRIFFIN ROAD
Hallwood, Florida 322212

R

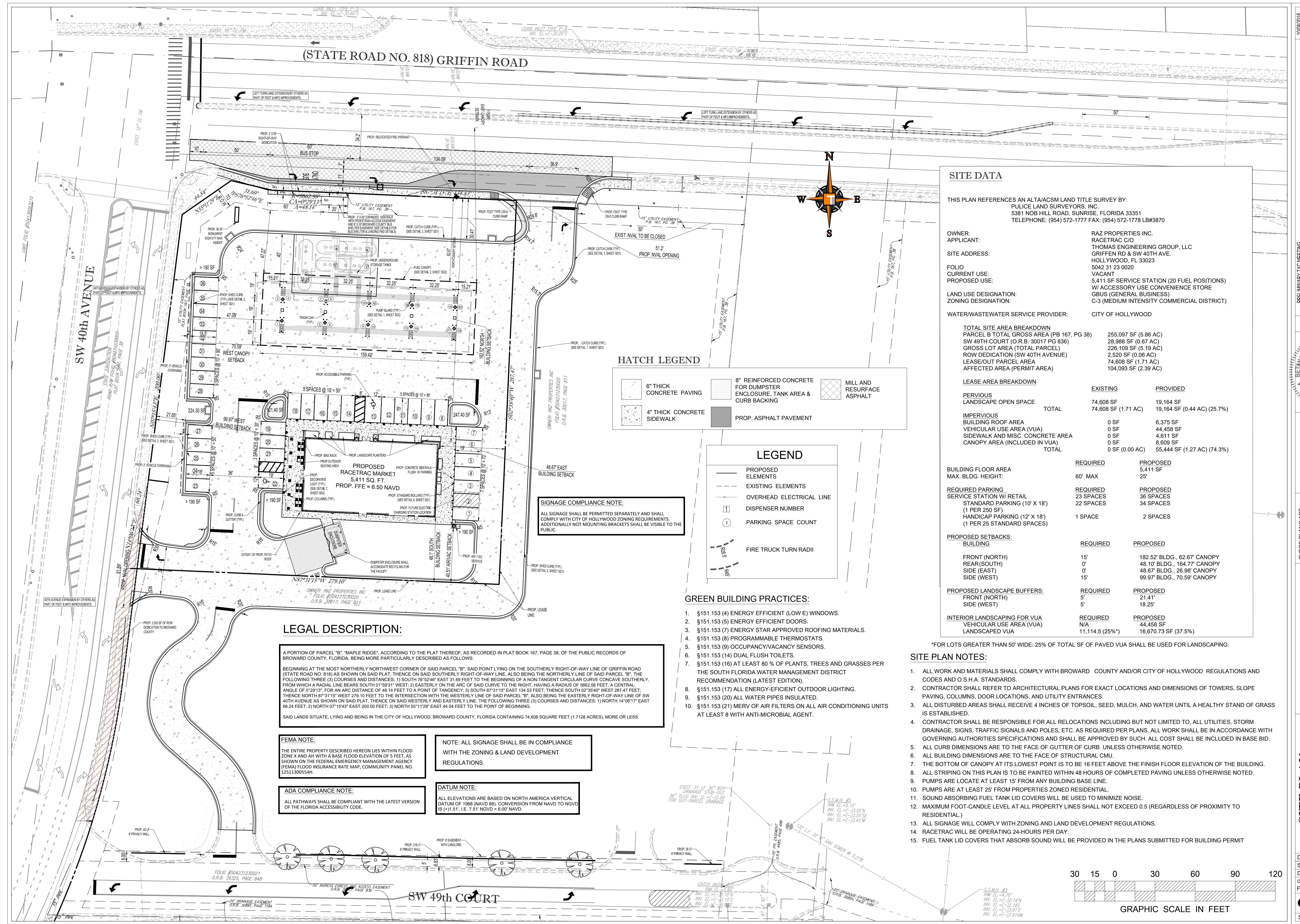
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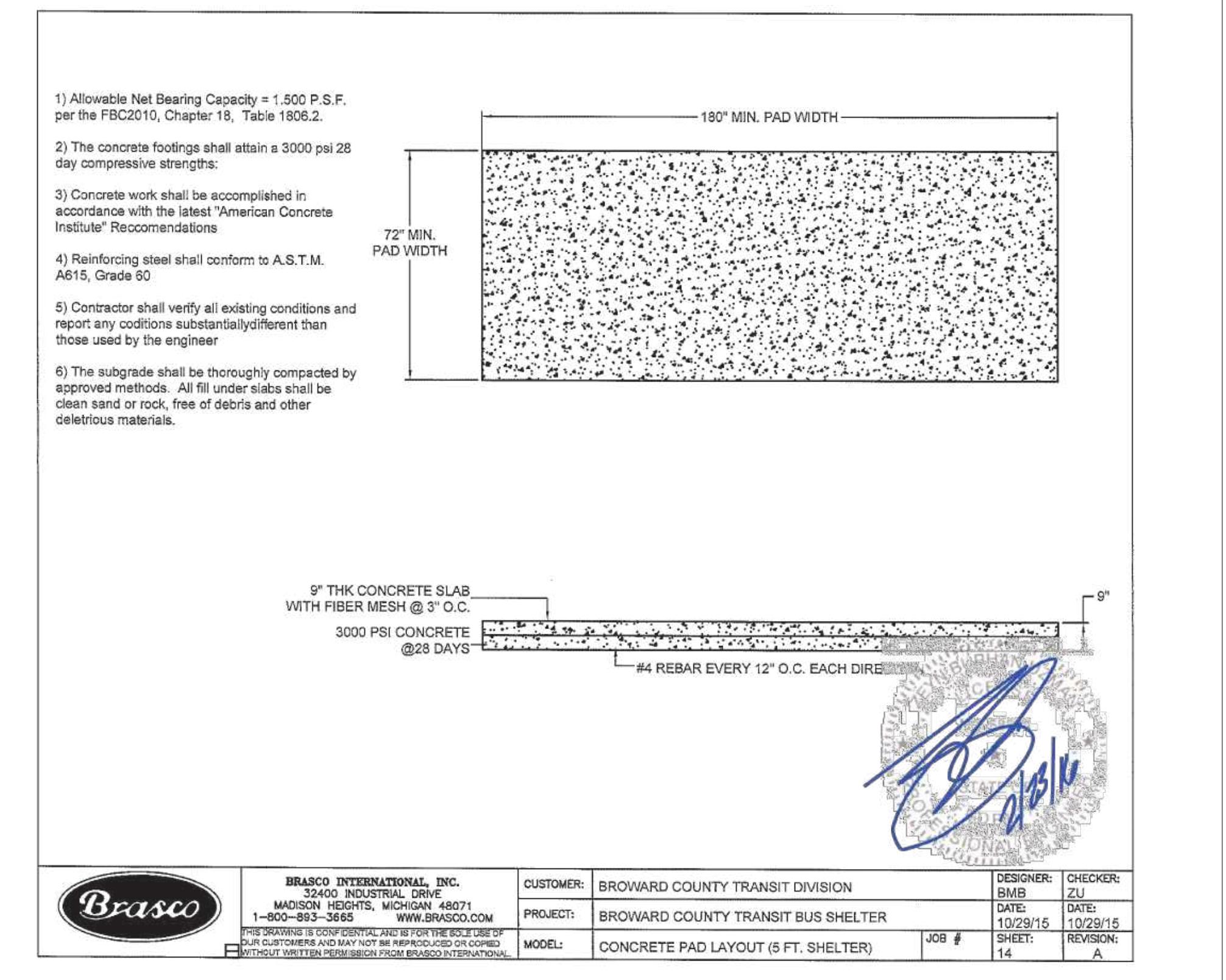
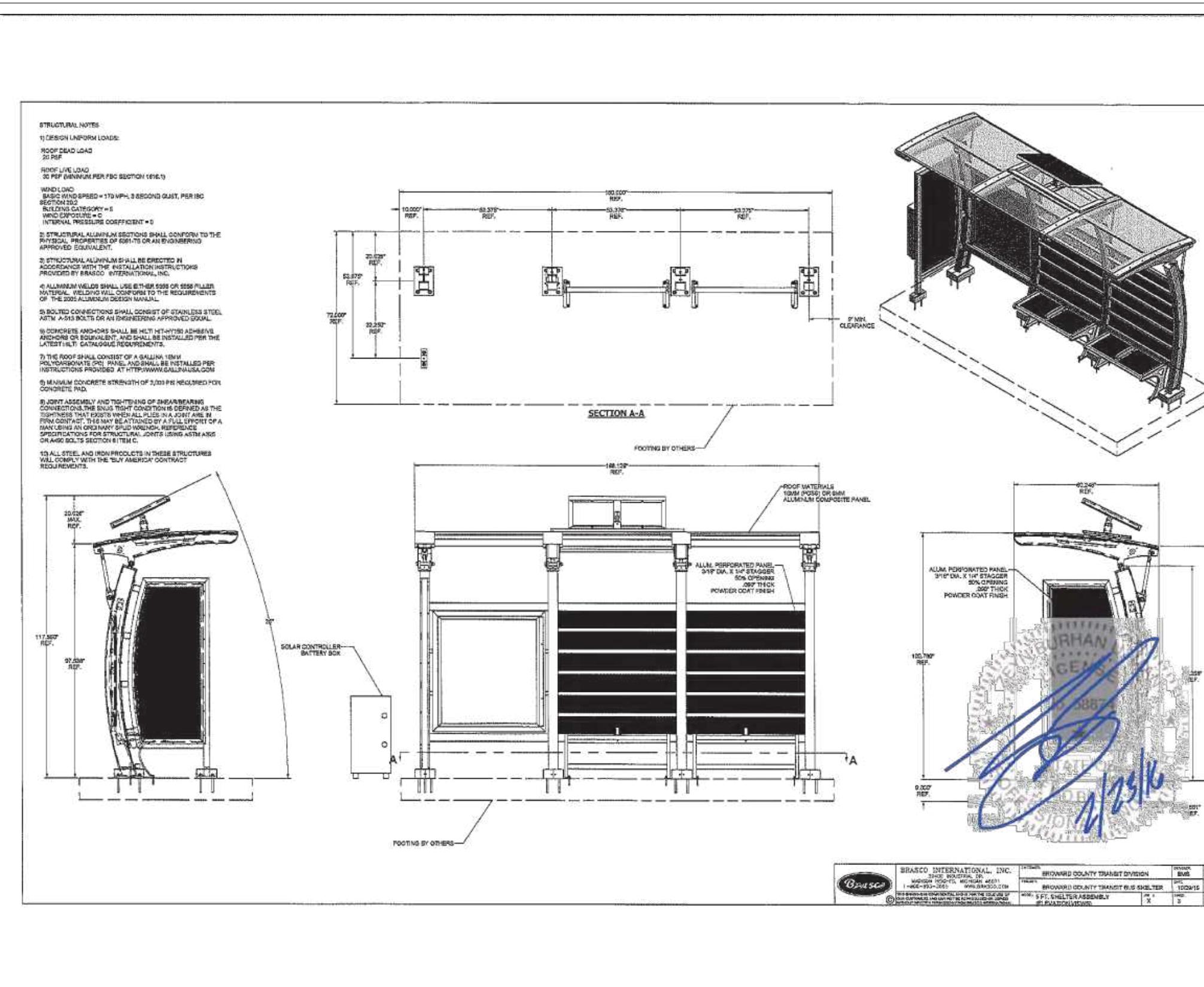
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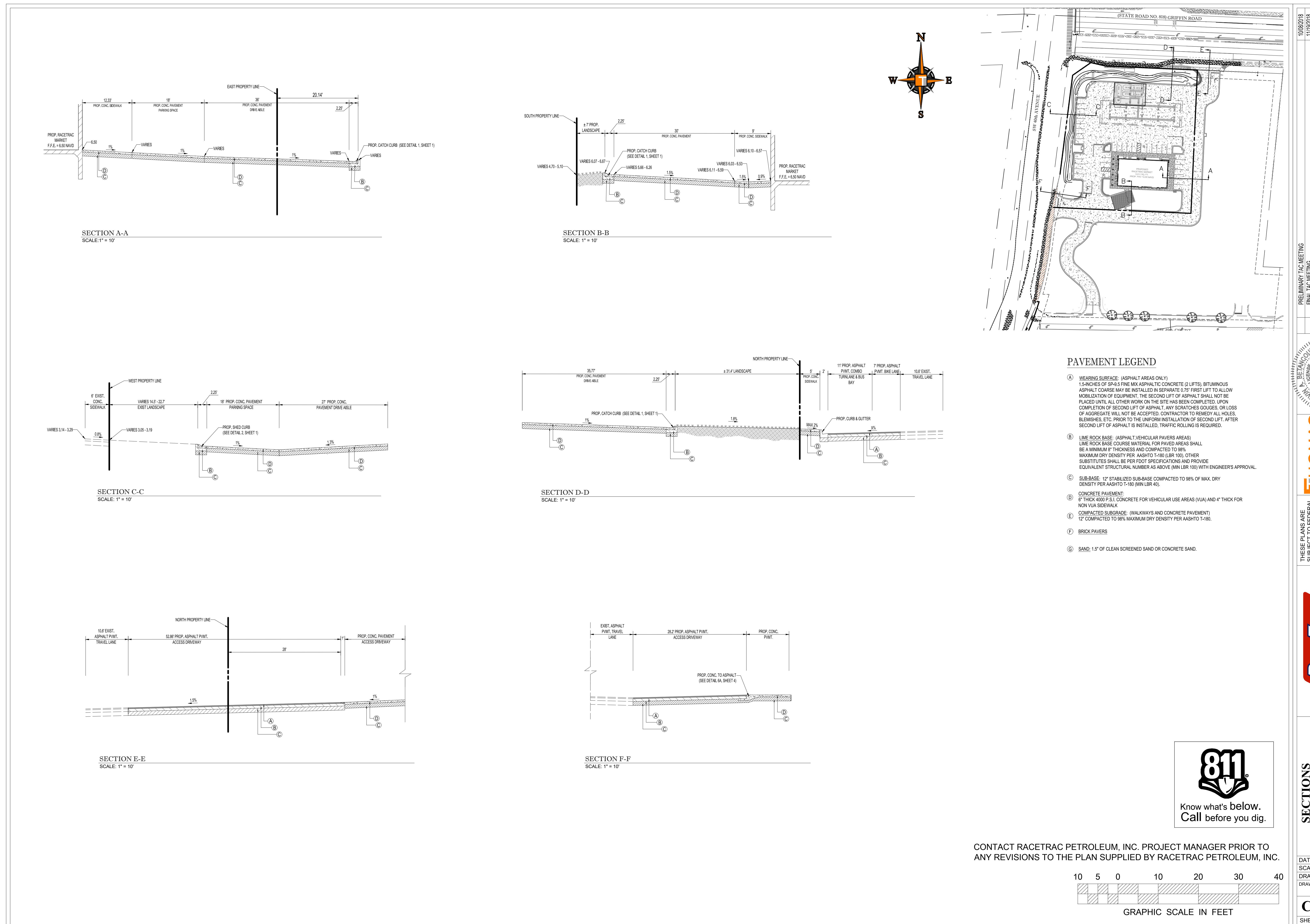
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D-1

ANSWER







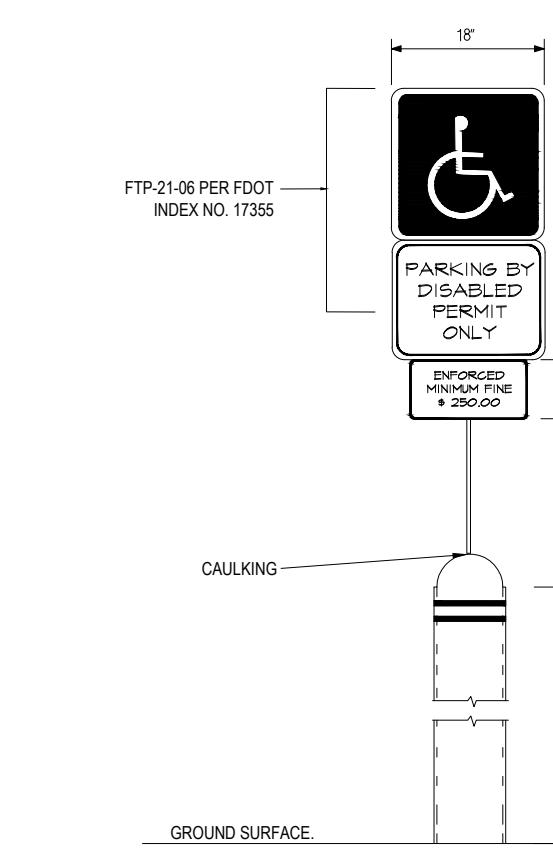
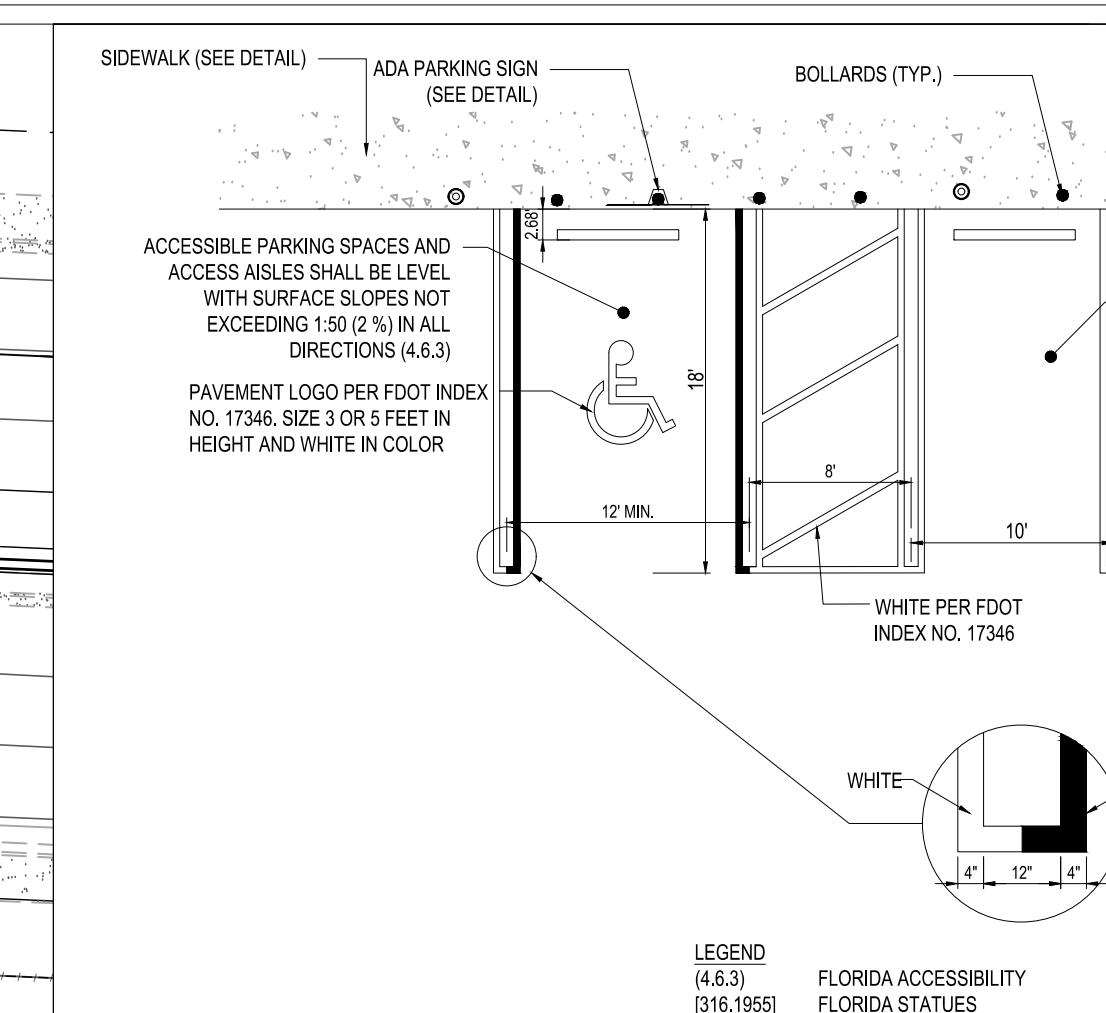
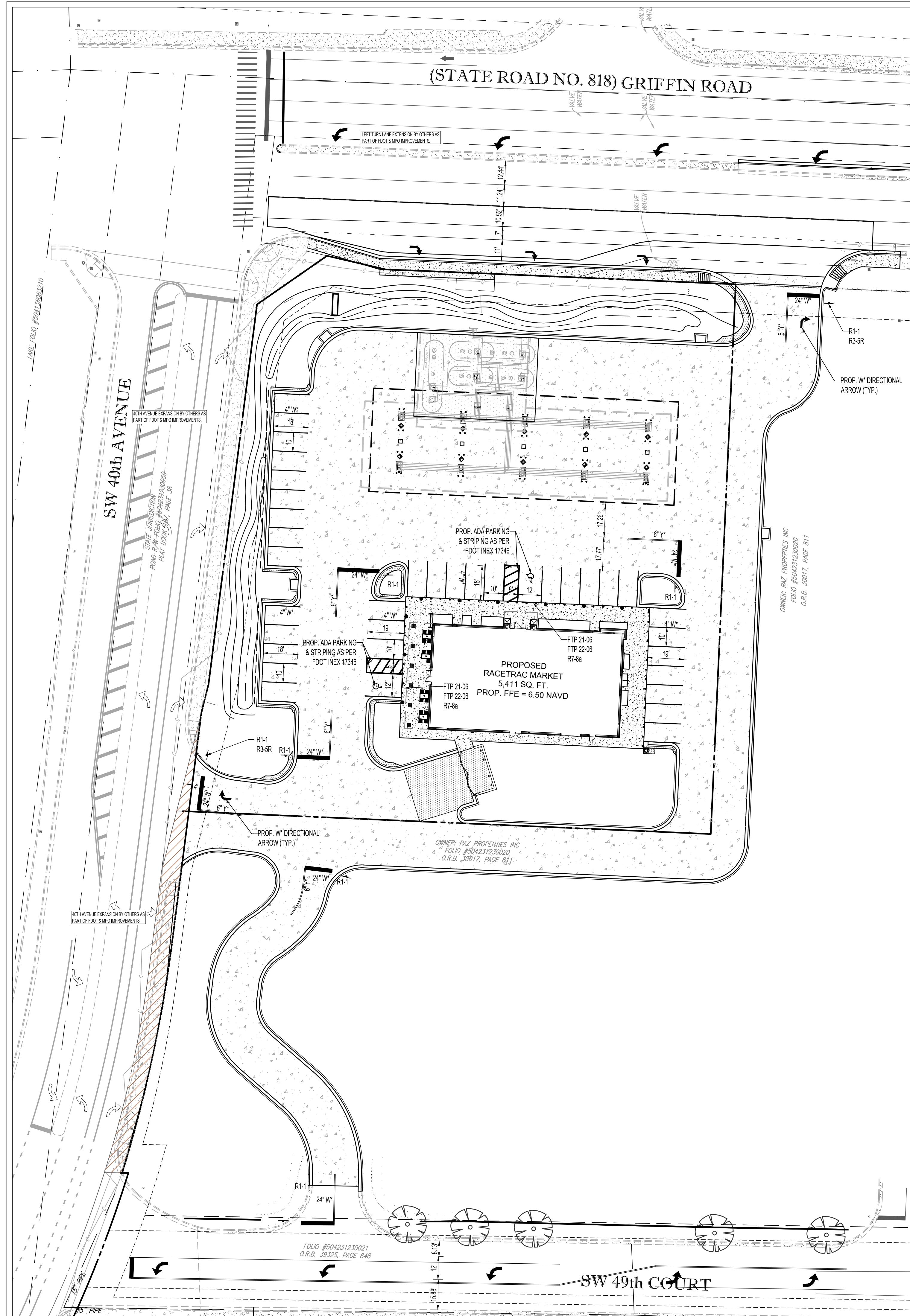
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SCALE	1" = 10'
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GRAPHIC SCALE IN FEET	
C1.2 1	
SHEET NO. VERSION	

STATE ROAD NO. 8189 GRIFFIN ROAD
10/08/2018
11/19/2018
01/13/2020
DATE

PRELIMINARY TAC MEETING
FINAL TAC MEETING
FINAL TAC MEETING
FINAL TAC MEETING

PROFESSIONAL ENGINEER
April 20, 2020
STATE OF FLORIDA
FLORIDA BUSINESS CERTIFICATE NO. 27038
No. 63381

THOMAS
Engineering Group
5830 NW 31ST AVE.
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070
www.ThomasEngineeringGroup.com



1 ACCESSIBLE PARKING SPACE - ADA COMPLIANT

I

2 ACCESSIBLE PARKING SIGNS

100

NOTES:

1. HANDICAPPED SIGN WILL BE OF A D.O.T. (BLUE) COLOR
PAVEMENT BORDER LINES (ONE ON EACH SIDE) OF THE
HANDICAPPED SPACE WILL BE OF A BLUE COLOR OF A
QUALITY EQUIVALENT TO SUPER STRIPE TRAFFIC PAINT
SOLD BY FOX VALLEY SYSTEMS INC. OF CARY ILLINOIS,
PHONE 1-800-323-4770 SHALL BE STRIPED ON THE
WEARING SURFACE OF EACH SPACE DESIGNED FOR THE
HANDICAPPED SPACE.

ENGINEERING

1. ALL STRIPING & SIGNS TO MEET MUTCD & BCTED MINIMUM STANDARDS.
2. ALL MARKING TO BCTED MINIMUM STANDARDS
3. ALL MARKING, EXCEPT PARKING SPACE STRIPING TO BE THERMOPLASTIC.
4. ALL SIGNS TO BE MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS 7' ABOVE ADJACENT GRADE.

5. ALL SIGNS TO BE NUMBERED

BC TED NOTE:

1. ALL R1-1 AND R5-1 SIGNING SHALL BE FABRICATED USING DIAMOND GRADE SHEET AS PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARD. (CURRENT EDITION)
2. ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.

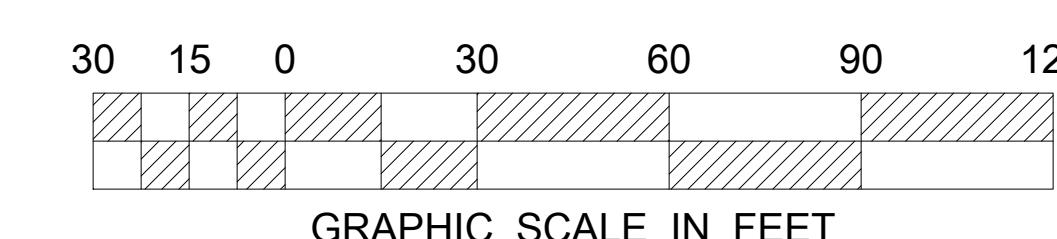
LEGEND

LEGEND	
R1-1	STOP SIGN (30" x 30")
R3-5R	RIGHT TURN ONLY (30" x 30")
R7-8a	VAN ACCESSIBLE (12" x 6")
FTP 21-06	ACCESSIBLE PARKING (18" x 30")
FTP 22-06	FINE \$250 MAX (12" x 6")
DY	DOUBLE YELLOW
W	WHITE
Y	YELLOW
*	THERMOPLASTIC

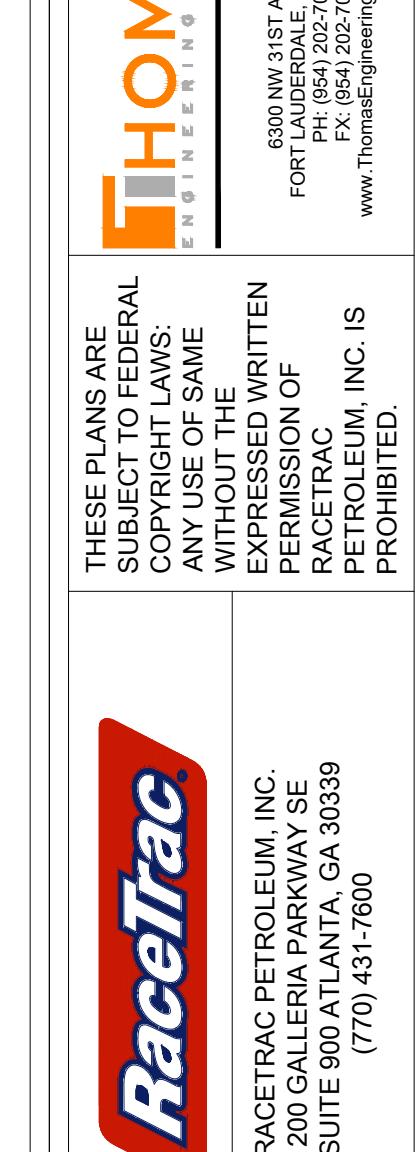
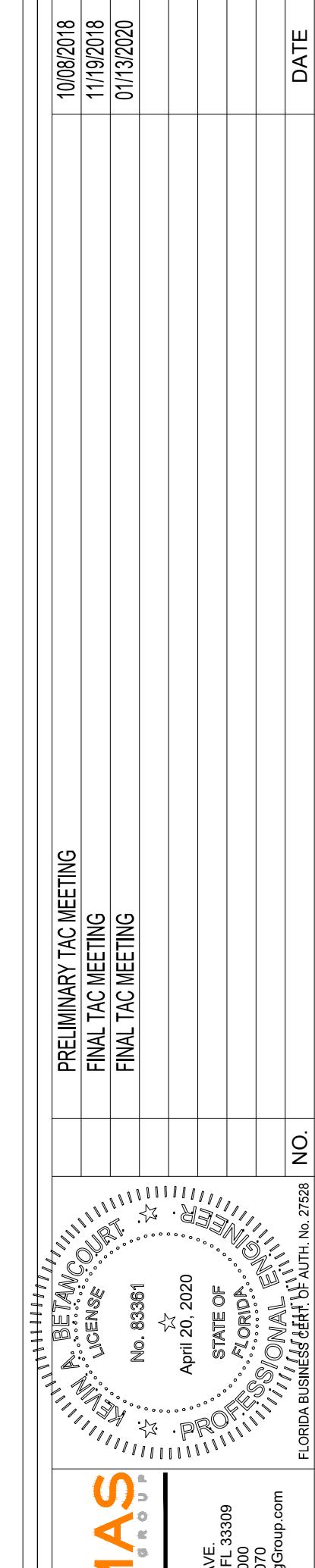
THERMOPLASTIC RETROREFLECTIVITY REQUIREMENTS



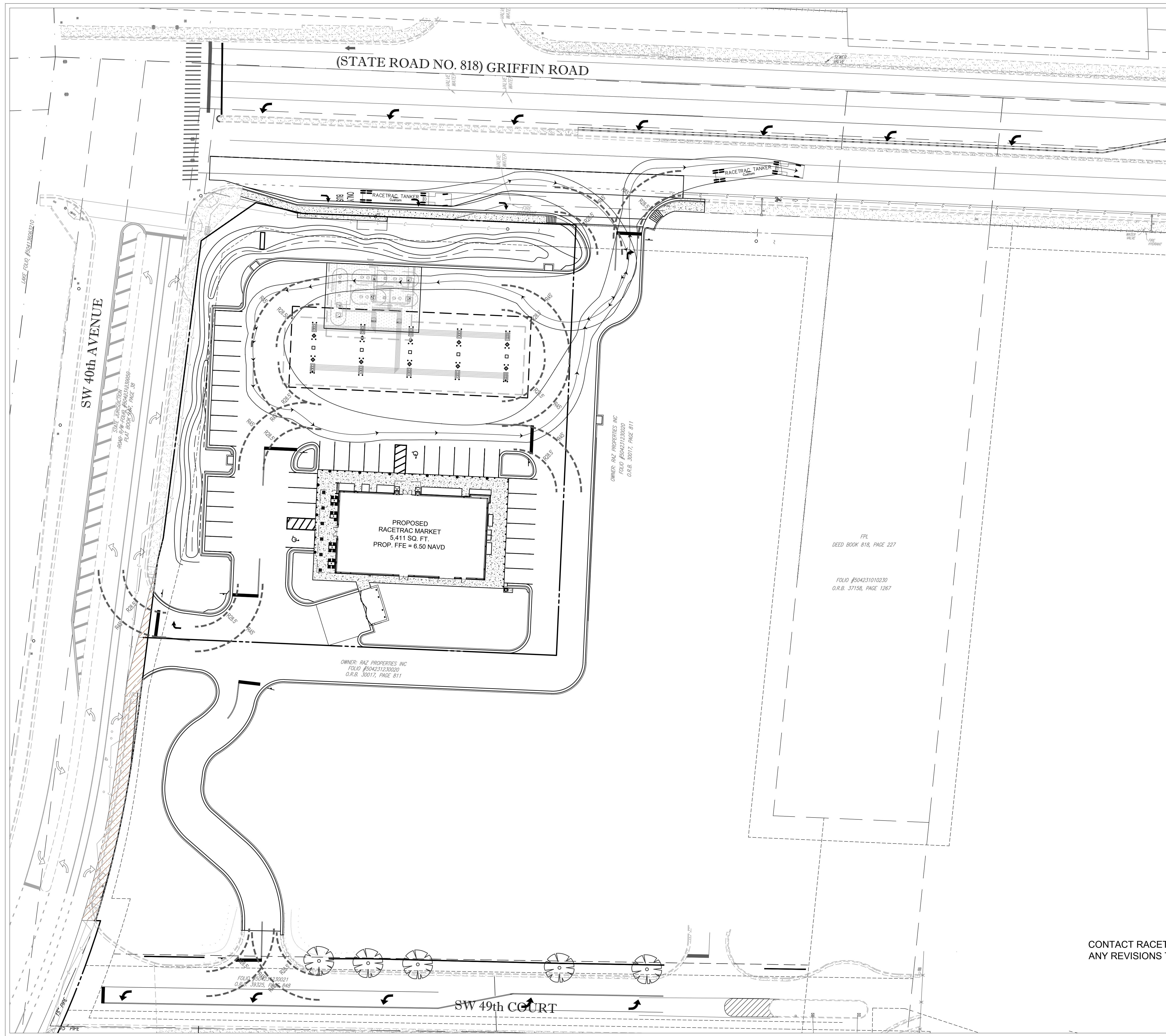
CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.



Draw the scale in feet

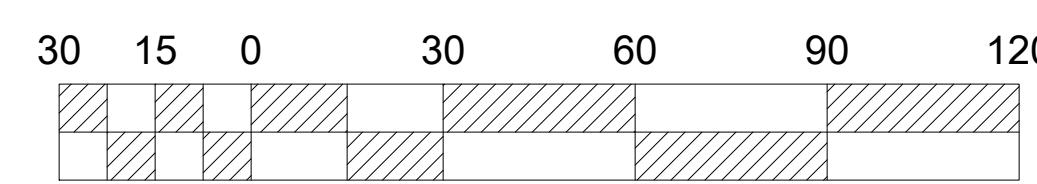


PAVEMENT MARKING & SIGNAGE PLAN			
RACETRAC MARKET			
DATE	09/17/2018	3990 GRIFFIN ROAD	Hollywood, Florida 33312
SCALE	1" = 30'		
DRAWN-BY	AG		
DRAWING NAME:			
C1.3		1	
SHEET NO.		VERSION	



Know what's below.
Call before you dig.

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO
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CIRCULATION PLAN
RACETRAC MARKET

3990 GRIFFIN ROAD
Hollywood, Florida 33312

DATE 09/17/2018
SCALE 1" = 30'
DRAWN-BY AG
DRAWING NAME:
C1.4 1
SHEET NO. VERSION

10/08/2018
11/19/2018
01/13/2020
DATE

PRELIMINARY TAC MEETING
FINAL TAC MEETING
FINAL TAC MEETING

DEED BOOK 818
FOLIO #504231230020
O.R.B. 30017, PAGE 811

PROFESSIONAL ENGINEER
FLORIDA BUSINESS CERT. #A11-27068
NO. 27068

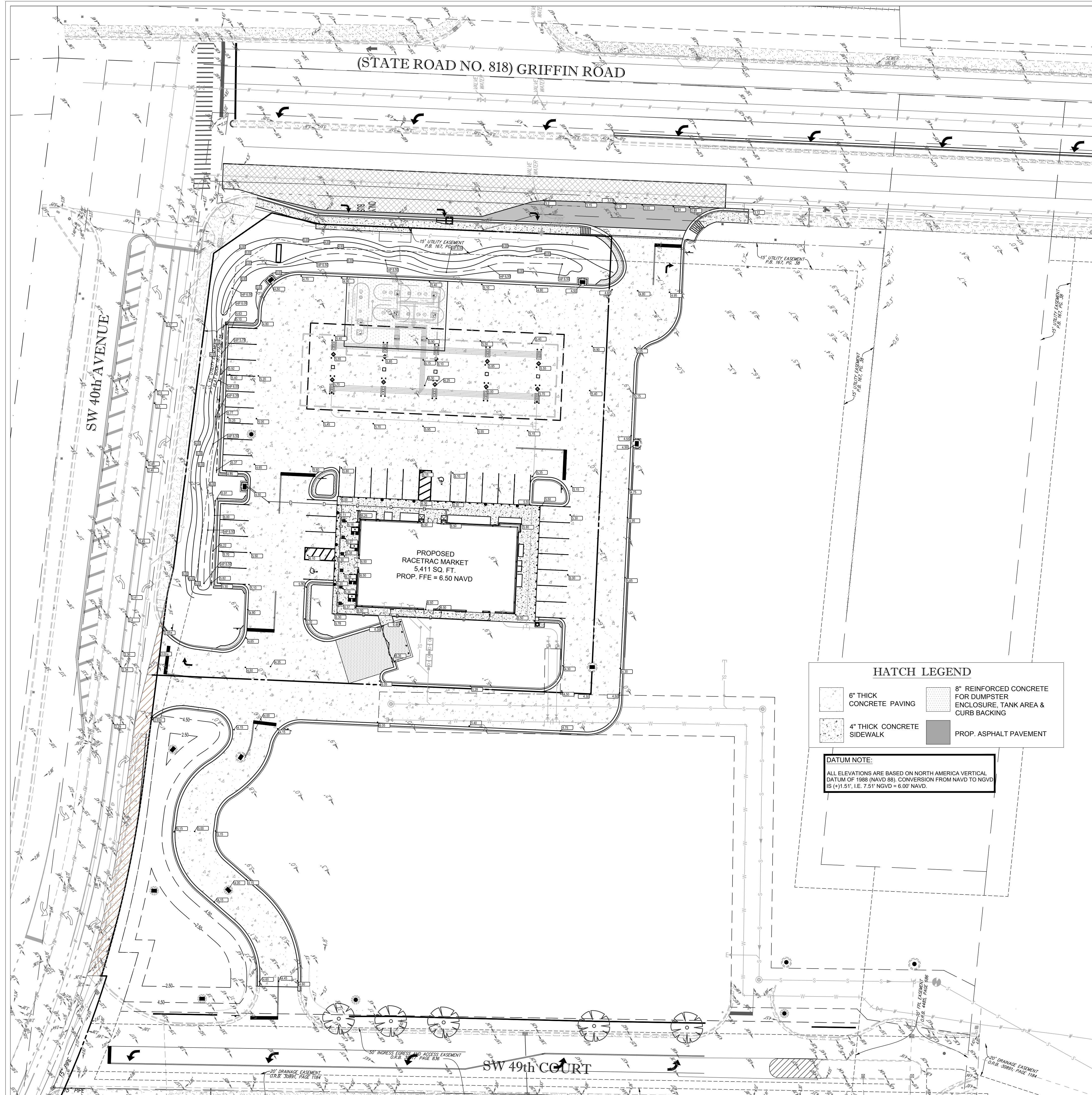
April 20, 2020
FLORIDA
PROFESSIONAL ENGINEER
FLORIDA BUSINESS CERT. #A11-27068
NO. 27068

DEED BOOK 818, PAGE 227
FOLIO #504231010230
O.R.B. 37158, PAGE 1267

RACETRAC TANKER

Tractor Width	8.50	Lock to Lock Time	6.0
Trailer Width	8.50	Steering Angle	40.0
Tractor Track	8.50	Articulating Angle	70.0
Trailer Track	8.50		

feet



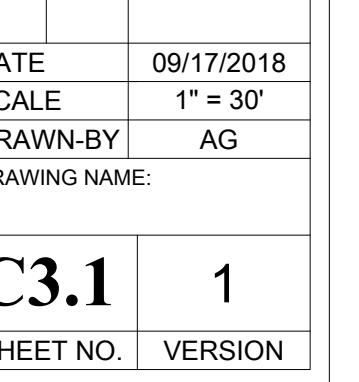
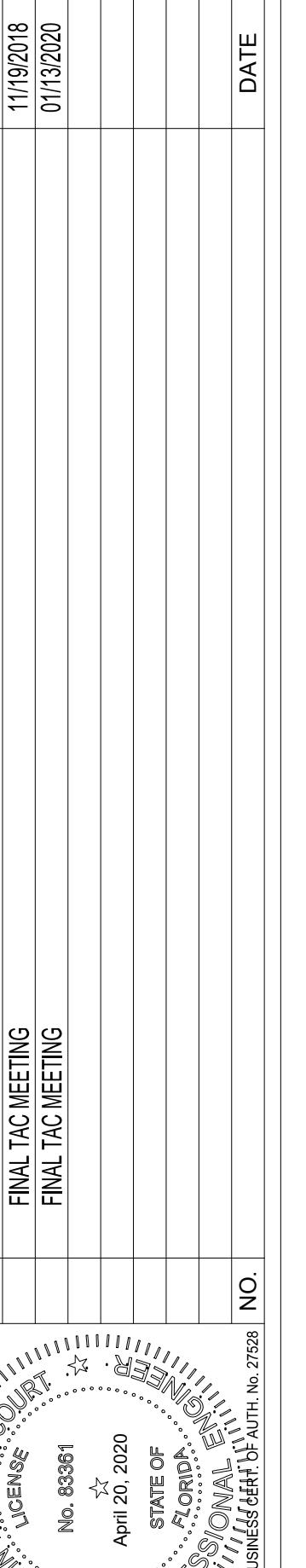
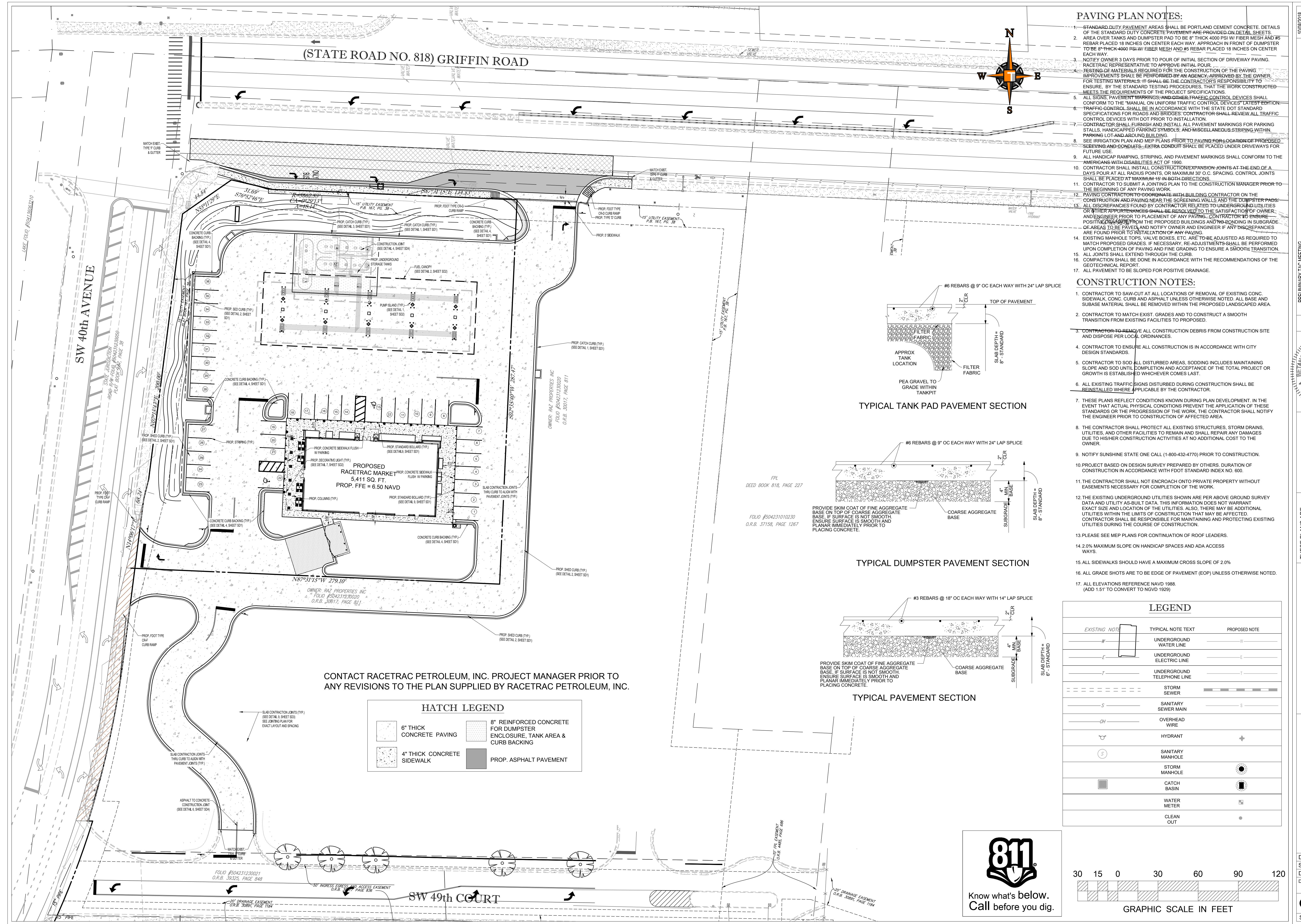
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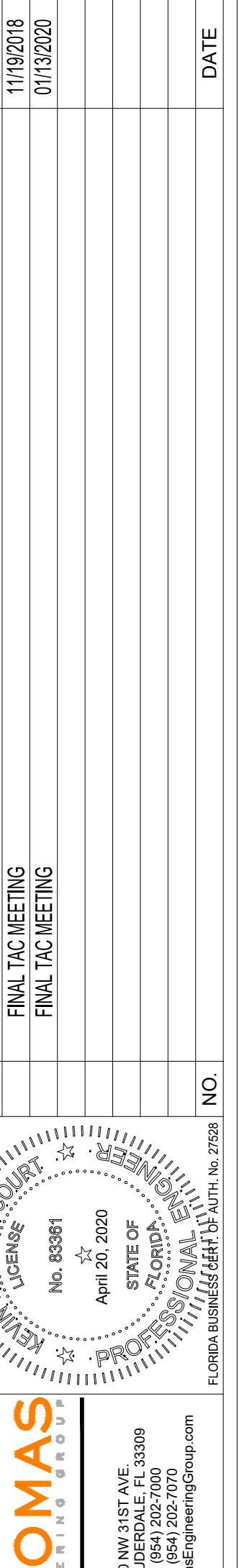
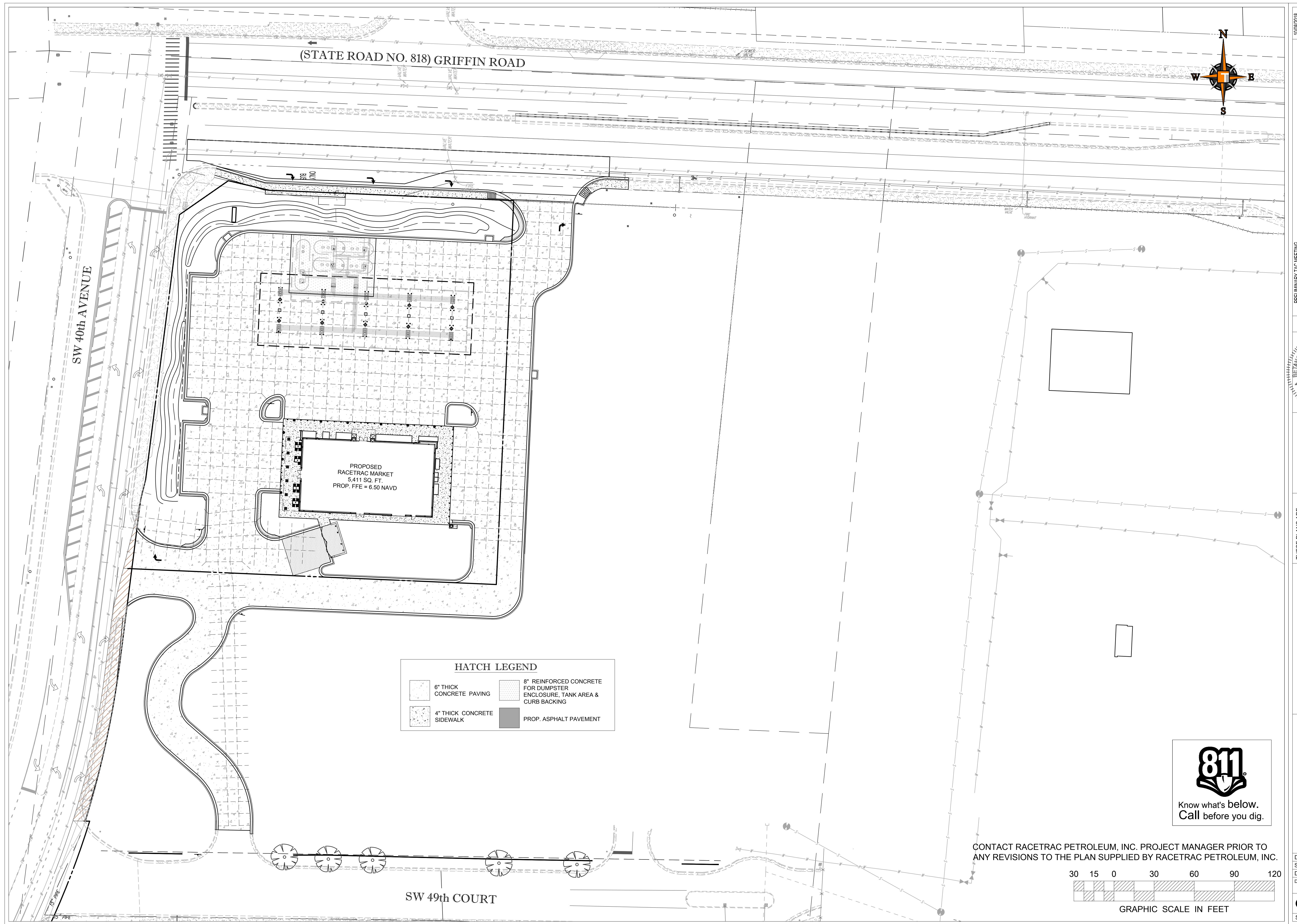


GRADING PLAN NOTES:

- TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY SURVEYING, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER, STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WHERE LOCATED BASED ON ESTIMATED OBSERVATIONS AT THE SITE. EXISTING SURVEYS, AND / OR FROM UTILITY OWNERS.
- RACETRAC PETROLEUM DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND CALL 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND / OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL GRADE OR FILL SLOPES SHALL BE X-1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND / OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL TERMS AND CONDITIONS AS OUTLINES IN THE GENERAL N.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTIONS ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
- ALL UN-SURFACE AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL AND/OR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY / COUNTY SPECIFICATIONS UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
- ALL RETAINING WALLS TO BE PROTECTED DURING BACKFILL BY CONTRACTOR, THIS INCLUDES BUT IS NOT LIMITED TO, PROVIDING AND INSTALLING PROPER BRACING DURING BACKFILL BEING PLACES ADJACENT TO RETAINING WALLS.
- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE ELEVATIONS AND OTHERS AS SHOWN ON DRAWINGS.
- CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
- EXISTING MANHOLES AND VALVE BOXES TO REMAIN IN PLACE SHALL BE ADJUSTED TO FINAL GRADES.

10/08/2018	PRELIMINARY TAC MEETING
11/11/2018	FINAL TAC MEETING
01/13/2020	FINAL TAC MEETING
DATE	
No. 63381	
April 20, 2020	
PROFESSIONAL ENGINEER	
FLORIDA BUSINESS CERTIFICATE OF LIAISON No. 27028	
THOMAS	
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Racetrac.	
RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY SE SUITE 800 ATLANTA, GA 30339 (770) 431-7600	
DATE 09/17/2018 SCALE 1" = 30' DRAWN-BY AG DRAWING NAME: C.2.1 1 SHEET NO. VERSION	





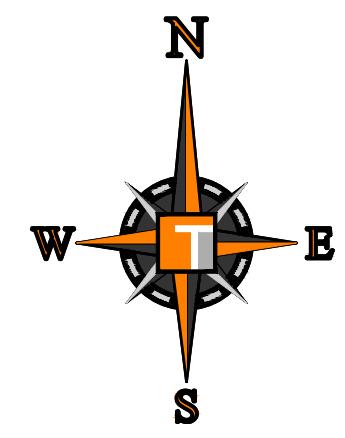
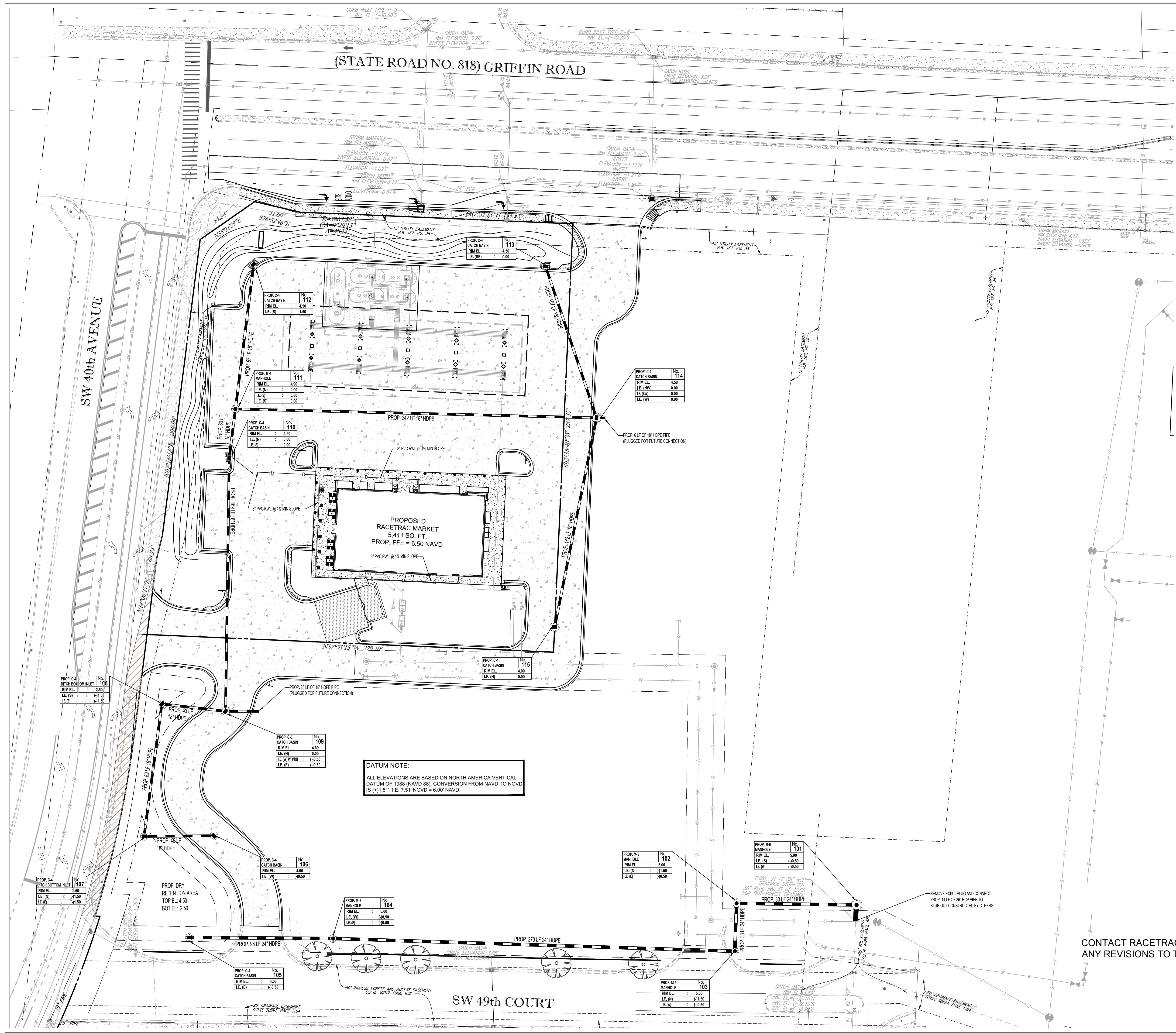
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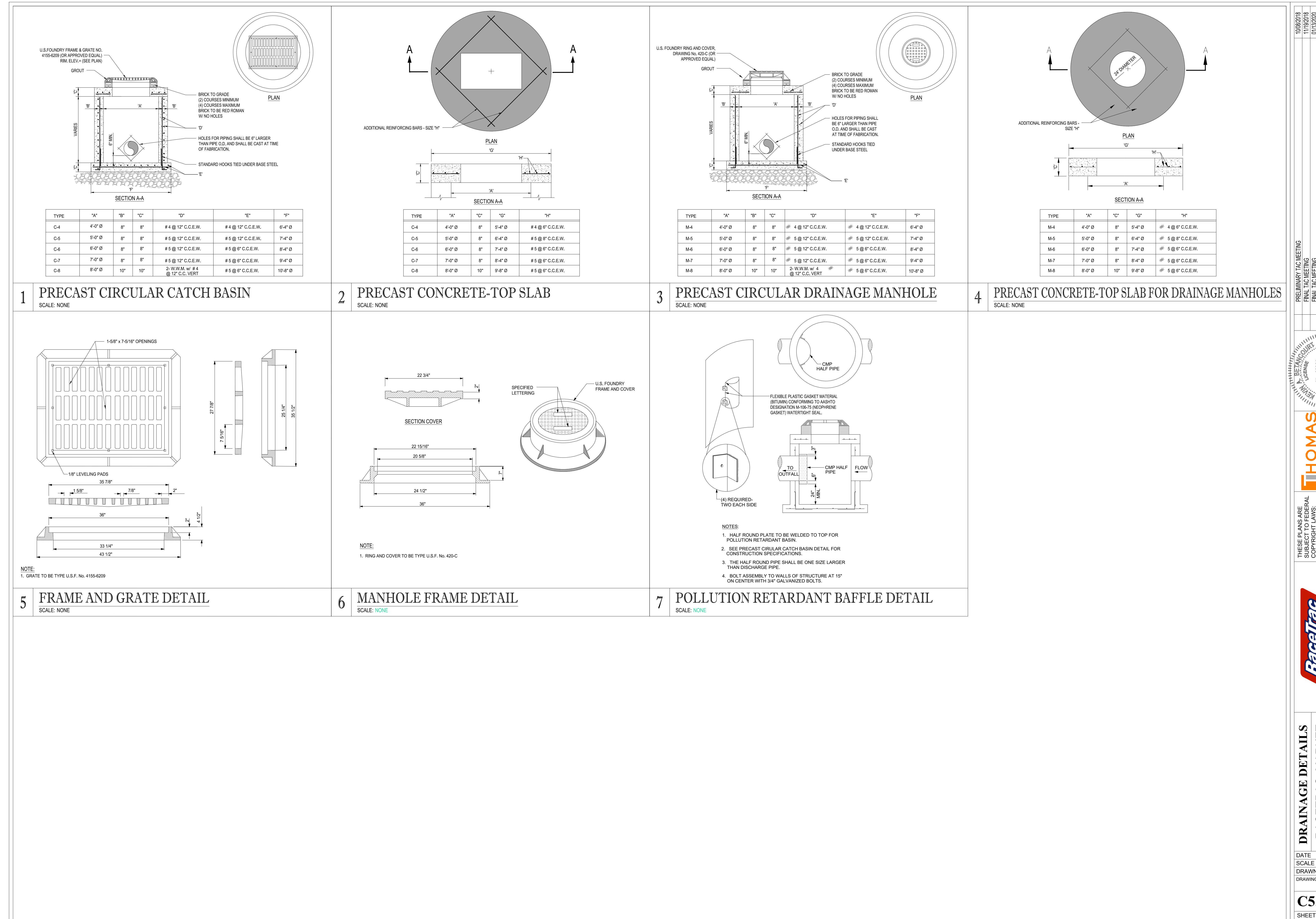
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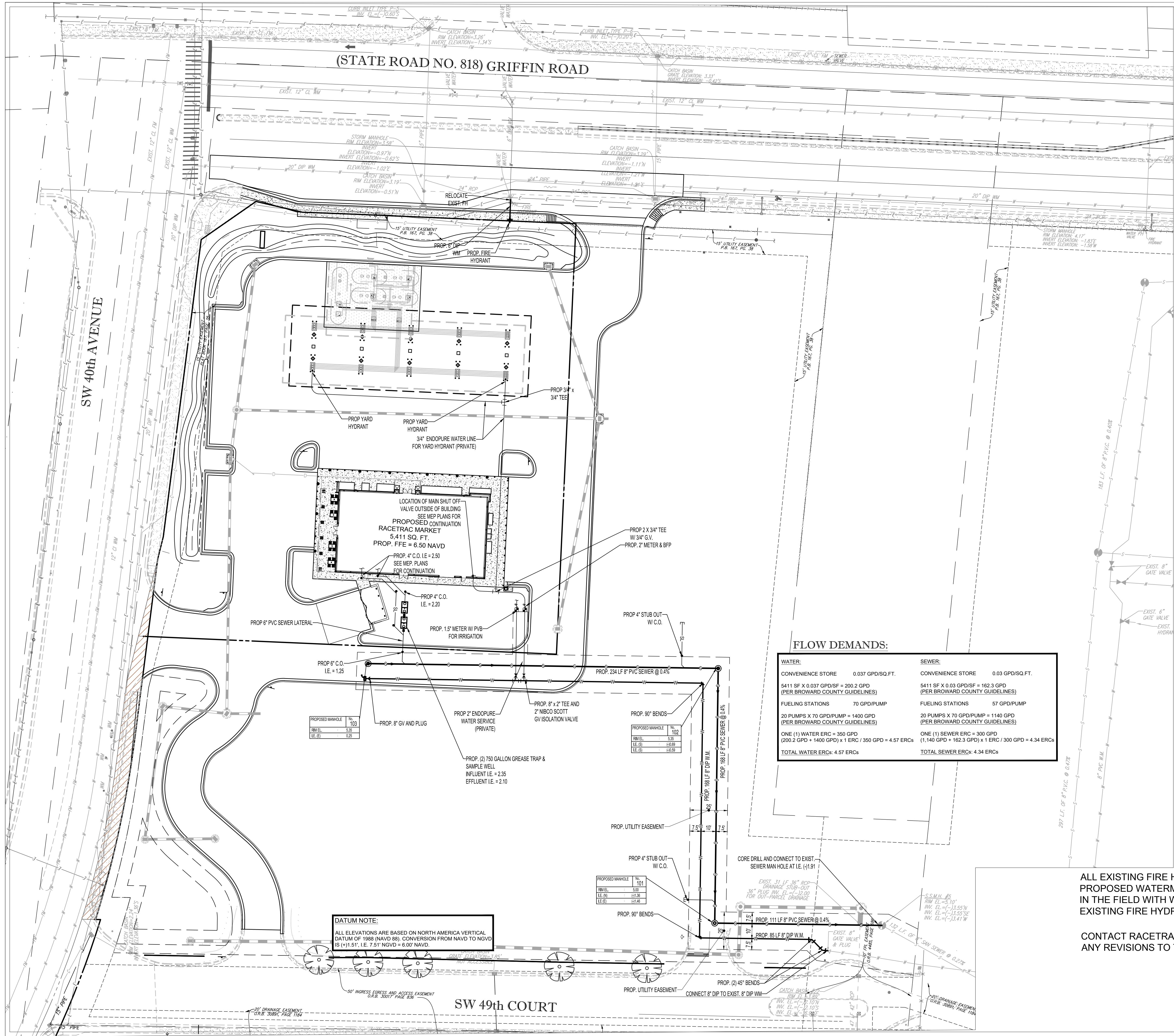


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SCALE	1" = 30'
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DRAWING NAME:	RACETRAC MARKET
C5.1	1
SHEET NO.	VERSION

STATE OF FLORIDA BUSINESS CERTIFICATE
No. 63381
April 20, 2020
PROFESSIONAL ENGINEER
Florida Engineering Group, Inc.
No. 27068

PRELIMINARY TAC MEETING
FINAL TAC MEETING
FINAL MEETING

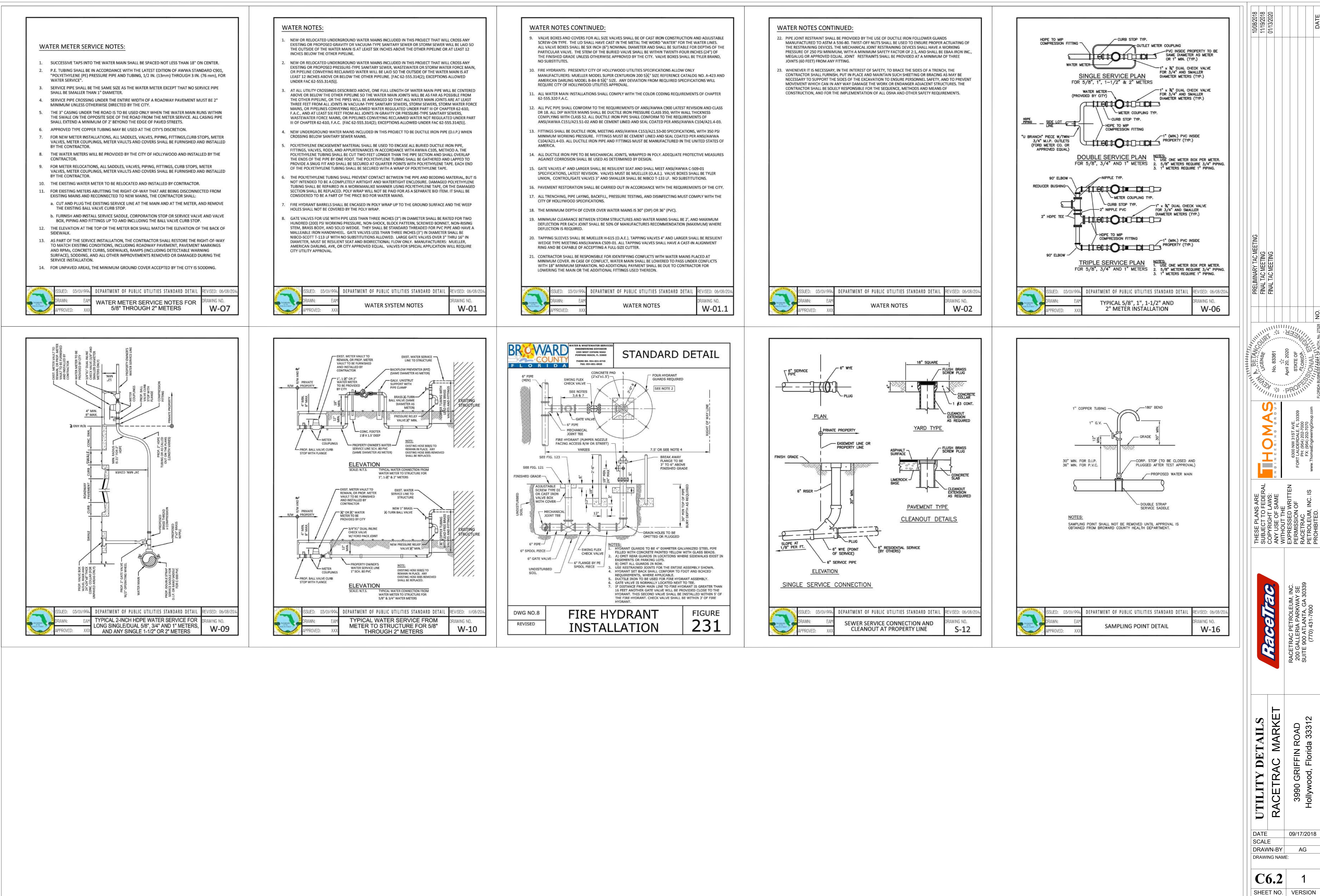




UTILITY NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION AND ELEVATION. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES FOR THE DURATION OF THE EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVING, STRIPPING, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AS A MEMBER TO THE CONSTRUCTION TEAM. EXISTING UTILITIES DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE-IN/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO BUILDING.
- SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES FOR ANY OTHER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION AND TRENCHING. CONTRACTOR SHALL USE SUPPORT, STEEL, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND LOCATION AND CONFLICTS.
- CONTRACTOR SHALL GRIT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- CONTRACTOR SHALL COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
- THE CONTRACTOR SHALL CONDUIT ALL REQUIRED TESTS TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY AND COORDINATE WITH THE UTILITY.
- CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS. THE CONTRACTOR PAYS FOR THE DELAY THROUGH RESCHEDULING OF ANY RACETRAC VENDORS OR EQUIPMENT TO ACCOMMODATE.
- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH UTILITIES FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE-IN/CONNECTIONS TO THEIR FACILITIES.
- THE COLOR SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND ANY ACROSS-TEAR JOINTS SHALL BE PREPARED.
- CONTRACTOR SHALL PREPARE BOARDED SECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.

10/08/2018	11/19/2018	DATE
01/13/2020	01/13/2020	DATE
PRELIMINARY TAC MEETING		
FINAL TAC MEETING		
FINAL TAC MEETING		
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FLORIDA BUSINESS GROUP, INC. No. 27068		
PROFESSIONAL ENGINEER		
FLORIDA BUSINESS GROUP, INC. No. 63381		
APRIL 20, 2020		
STATE OF FLORIDA		
PROFESSIONAL ENGINEER		
FLORIDA BUSINESS GROUP, INC. No. 27068		
RACE TRAC PETROLEUM, INC.		
200 CALLEA PARKWAY, SUITE 30339		
FORT 300 ATLANTA, GA 30339		
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FAX (404) 202-7070		
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3990 GRI		



TESTING AND DISINFECTION NOTES:

1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.

2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH THE 1990 FACT CODIFIED AWAY LATERAL REVISIONS. AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.

4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/NSF/WWA STANDARD CS61 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".

5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.

6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.

7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30", THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".

2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.

4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.

5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL ALLOWABLE LEAKAGE SHALL EXCEED THE ALLOWABLE LEAKAGE FOR THE LATERALS AND MANHOLES FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.

6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI

7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVERS. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 18" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL CONCRETE USED THEREON.

8. CONTRACTOR SHALL NOT REINFORCE, IN THE INTEREST OF SAFETY, TO THE POINT OF A TRENCH. THE CONTRACTOR SHALL FURNISH PUT IN PLACE AND MAINTAIN SUCH SHORES OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

MANHOLE FLOW PATTERNS

NOTES:

1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPANNING CHANNELS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

STANDARD PRECAST MANHOLE

NOTES:

1. SHOP DRAWINGS SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER SHOWING ALL DIMENSIONS AND CALCULATIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION.

MANHOLE FRAME AND COVER

NEW CONNECTION TO EXISTING MANHOLE

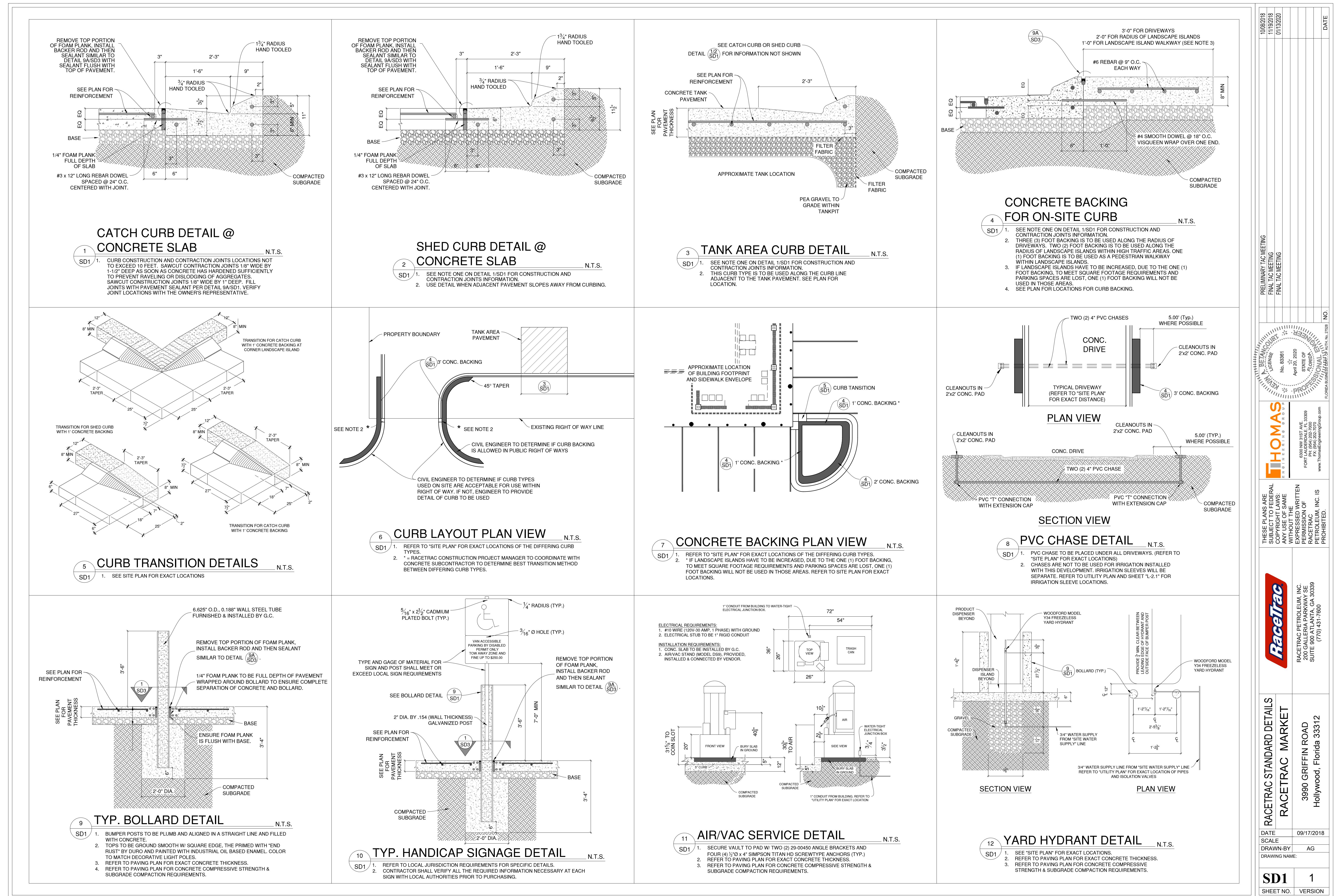
RACE TRAC MARKET

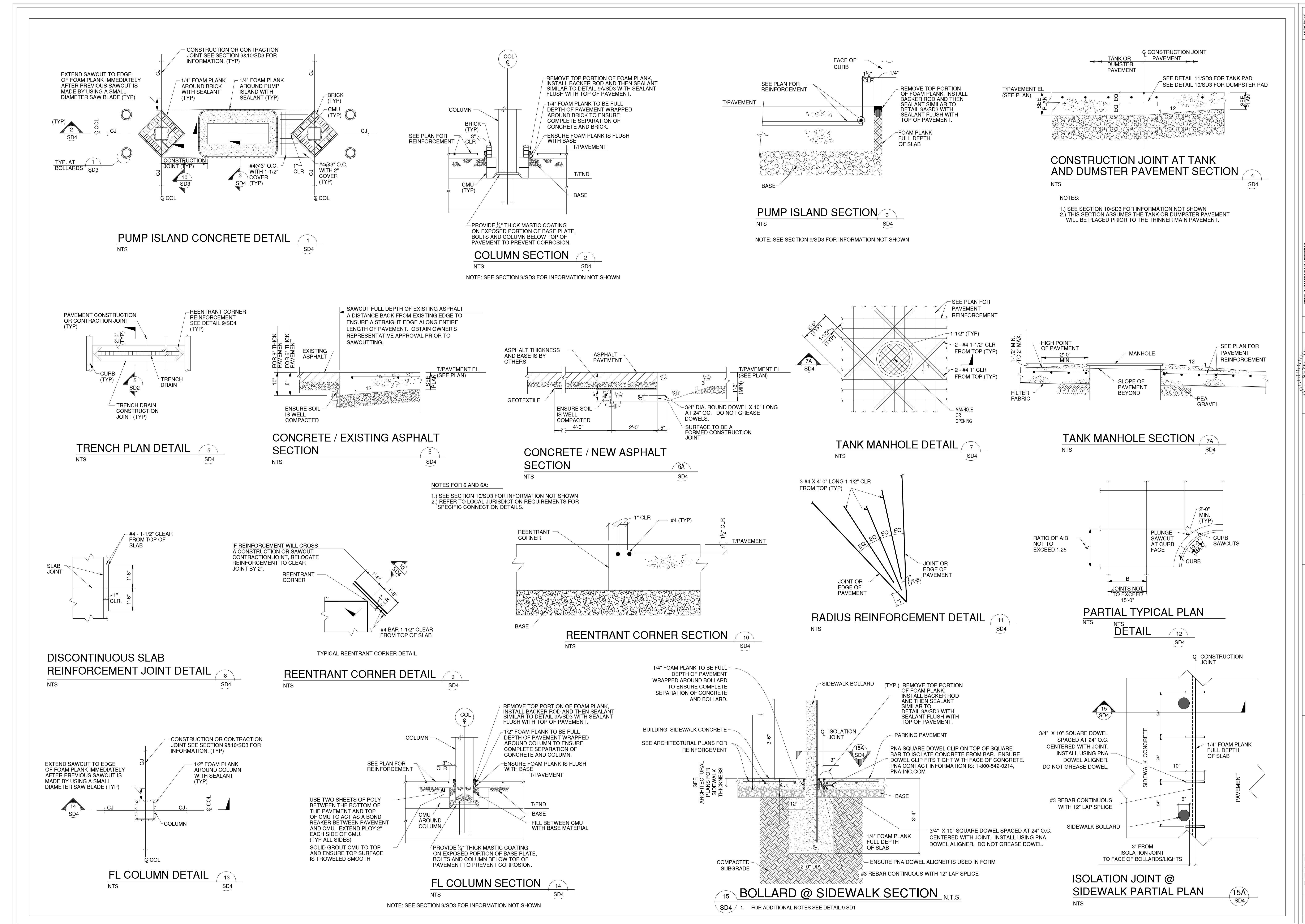
3990 GRIFFIN ROAD
Hollywood, Florida 33312

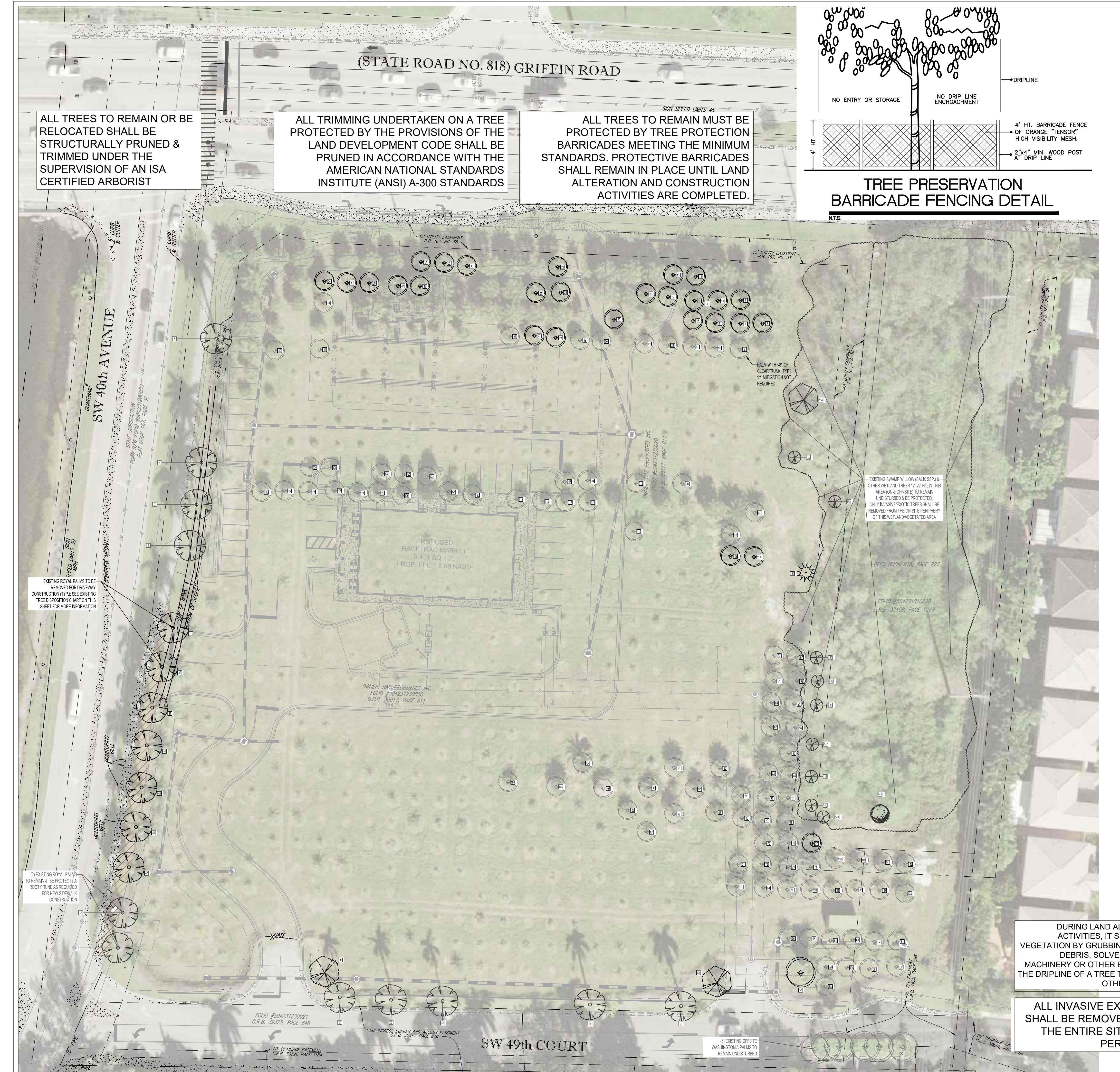
UTILITY DETAILS

RACE TRAC MARKET

DATE 09/17/2020
SCALE AG
DRAWN-BY AG
DRAWING NO. C6.3







EXISTING TREE DISPOSITION CHART								
RACETRAC - HOLLYWOOD, FL								
TREE NO.	BOTANICAL NAME	COMMON NAME	HT	SPR	DBH	CONDITION	DISPOSITION	CANOPY AREA (s.f.)
1	<i>Roystonea regia</i>	Royal Palm	30' gw	20	18	70%	remove	314
2	<i>Roystonea regia</i>	Royal Palm	30' gw	22	18	70%	REMAIN	
3	<i>Roystonea regia</i>	Royal Palm	28' gw	20	18	70%	REMAIN	
4	<i>Roystonea regia</i>	Royal Palm	29' gw	20	18	70%	REMAIN	
5	<i>Roystonea regia</i>	Royal Palm	42' gw	22	18	70%	REMAIN	
6	<i>Livistonia decora</i>	Ribbon Palm	9' ct	14		70%	remove	153.86
7	<i>Livistonia decora</i>	Ribbon Palm	12' ct	15		70%	remove	176.625
8	<i>Livistonia decora</i>	Ribbon Palm	10' ct	15		70%	remove	176.625
9	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	N/A
10	<i>Livistonia decora</i>	Ribbon Palm	14' ct	16		70%	remove	200.96
11	<i>Livistonia decora</i>	Ribbon Palm	11.5' ct	15		70%	remove	176.625
12	<i>Livistonia decora</i>	Ribbon Palm	4' ct	14		70%	remove	N/A
13	<i>Livistonia decora</i>	Ribbon Palm	10.5' ct	15		70%	remove	176.625
14	<i>Livistonia decora</i>	Ribbon Palm	13' ct	16		70%	remove	200.96
15	<i>Livistonia decora</i>	Ribbon Palm	14' ct	16		70%	remove	200.96
16	<i>Livistonia decora</i>	Ribbon Palm	14' ct	16		70%	remove	200.96
17	<i>Livistonia decora</i>	Ribbon Palm	7.5' ct	14		70%	remove	N/A
18	<i>Livistonia decora</i>	Ribbon Palm	12' ct	15		70%	remove	176.625
19	<i>Livistonia decora</i>	Ribbon Palm	11.5' ct	14		70%	remove	153.86
20	<i>Livistonia decora</i>	Ribbon Palm	11' ct	14		70%	remove	153.86
21	<i>Livistonia decora</i>	Ribbon Palm	3' ct	14		70%	remove	N/A
22	<i>Livistonia decora</i>	Ribbon Palm	6' ct	14		70%	remove	N/A
23	<i>Livistonia decora</i>	Ribbon Palm	11' ct	14		50%	remove	153.86
24	<i>Livistonia decora</i>	Ribbon Palm	11' ct	14		50%	remove	153.86
25	<i>Livistonia decora</i>	Ribbon Palm	12' ct	15		70%	remove	176.625
26	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	N/A
27	<i>Livistonia decora</i>	Ribbon Palm	8' ct	14		70%	remove	153.86
28	<i>Livistonia decora</i>	Ribbon Palm	9' ct	14		40%	remove	153.86
29	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	N/A
30	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	N/A
31	<i>Livistonia decora</i>	Ribbon Palm	9' ct	14		70%	remove	153.86
32	<i>Livistonia decora</i>	Ribbon Palm	11' ct	15		70%	remove	176.625
33	<i>Livistonia decora</i>	Ribbon Palm	12' ct	15		70%	remove	176.625
34	<i>Livistonia decora</i>	Ribbon Palm	8' ct	14		70%	remove	153.86
35	<i>Livistonia decora</i>	Ribbon Palm	10' ct	15		70%	remove	176.625
36	<i>Livistonia decora</i>	Ribbon Palm	9' ct	14		70%	remove	153.86
37	<i>Livistonia decora</i>	Ribbon Palm	11.5' ct	15		70%	remove	176.625
38	<i>Livistonia decora</i>	Ribbon Palm	11.5' ct	15		70%	remove	176.625
39	<i>Livistonia decora</i>	Ribbon Palm	4' ct	14		70%	remove	153.86
40	<i>Livistonia decora</i>	Ribbon Palm	6' ct	14		70%	remove	153.86
41	<i>Livistonia decora</i>	Ribbon Palm	4.5' ct	14		70%	remove	153.86
42	<i>Roystonea regia</i>	Royal Palm	26' gw	20	18	70%	remove	314
43	<i>Roystonea regia</i>	Royal Palm	32' gw	20	18	70%	remove	314
44	<i>Roystonea regia</i>	Royal Palm	32' gw	20	18	70%	remove	314
45	<i>Roystonea regia</i>	Royal Palm	33' gw	20	18	70%	remove	314
46	<i>Roystonea regia</i>	Royal Palm	26' gw	20	18	70%	remove	314
47	<i>Roystonea regia</i>	Royal Palm	23' gw	20	18	65%	remove	314
48	<i>Roystonea regia</i>	Royal Palm	34' gw	20	18	60%	REMAIN	
49	<i>Roystonea regia</i>	Royal Palm	28' gw	20	18	60%	REMAIN	
50	<i>Bursera simaruba</i>	Gumbo Limbo	18	16	8	70%	remove	254.34
51	<i>Roystonea regia</i>	Royal Palm	32' gw	17	16	70%	REMAIN	
52	<i>Roystonea regia</i>	Royal Palm	32' gw	20	18	60%	REMAIN	
53	<i>Roystonea regia</i>	Royal Palm	32' gw	15	18	50%	REMAIN	
54	<i>Roystonea regia</i>	Royal Palm	34' gw	22	18	70%	REMAIN	
55	<i>Roystonea regia</i>	Royal Palm	36' gw	22	18	70%	REMAIN	
56	<i>Bursera simaruba</i>	Gumbo Limbo	14	23	9	70%	remove	415.265
57	<i>Washingtonia robusta</i>	Washingtonia Palm	25' ct	16	20	70%	remove	N/A - CAT II INVASIVE
58	<i>Livistonia decora</i>	Ribbon Palm	1.5' ct	14		70%	remove	153.86
59	<i>Livistonia decora</i>	Ribbon Palm	2.5' ct	14		70%	remove	153.86
59A	<i>Livistonia decora</i>	Ribbon Palm	3' ct	14		70%	remove	153.86
59B	<i>Livistonia decora</i>	Ribbon Palm	2.5' ct	14		70%	remove	153.86
60	<i>Livistonia decora</i>	Ribbon Palm	3.5' ct	14		70%	remove	153.86
61	<i>Livistonia decora</i>	Ribbon Palm	4' ct	14		70%	remove	153.86
62	<i>Livistonia decora</i>	Ribbon Palm	3' ct	14		70%	remove	153.86
63	<i>Livistonia decora</i>	Ribbon Palm	2' ct	14		70%	remove	153.86
64	<i>Livistonia decora</i>	Ribbon Palm	3' ct	14		70%	remove	153.86
65	<i>Livistonia decora</i>	Ribbon Palm	1.5' ct	14		70%	remove	153.86
66	<i>Livistonia decora</i>	Ribbon Palm	3' ct	14		70%	remove	153.86
67	<i>Livistonia decora</i>	Ribbon Palm	7.5' ct	15		70%	remove	176.625
68	<i>Livistonia decora</i>	Ribbon Palm	4' ct	14		70%	remove	153.86
69	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
70	omit							
71	<i>Livistonia decora</i>	Ribbon Palm	3' ct	12		70%	remove	113.04
72	<i>Livistonia decora</i>	Ribbon Palm	5' ct	12		70%	remove	113.04
73	<i>Livistonia decora</i>	Ribbon Palm	10' ct	15		70%	remove	176.625
74	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
75	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
76	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
77	<i>Livistonia decora</i>	Ribbon Palm	9' ct	15		70%	remove	176.625
78	<i>Livistonia decora</i>	Ribbon Palm	5.5' ct	14		70%	remove	153.86
79	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
80	<i>Livistonia decora</i>	Ribbon Palm	5.5' ct	14		70%	remove	153.86
81	<i>Livistonia decora</i>	Ribbon Palm	6' ct	14		70%	remove	153.86
82	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
83	<i>Livistonia decora</i>	Ribbon Palm	6.5' ct	14		70%	remove	153.86
84	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
85	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
86	<i>Livistonia decora</i>	Ribbon Palm	8' ct	15		70%	remove	176.625
87	<i>Livistonia decora</i>	Ribbon Palm	5.5' ct	14		70%	remove	153.86
88	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
89	<i>Livistonia decora</i>	Ribbon Palm	5.5' ct	14		70%	remove	153.86
90	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
91	<i>Livistonia decora</i>	Ribbon Palm	4' ct	14		70%	remove	153.86
92	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
93	<i>Livistonia decora</i>	Ribbon Palm	3.5' ct	14		70%	remove	153.86
94	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
95	<i>Livistonia decora</i>	Ribbon Palm	13' ct	15		70%	remove	176.625
96	<i>Livistonia decora</i>	Ribbon Palm	6' ct	14		70%	remove	153.86
97	<i>Livistonia decora</i>	Ribbon Palm	11' ct	15		70%	remove	176.625
98	<i>Livistonia decora</i>	Ribbon Palm	12' ct	15		70%	remove	176.625
99	<i>Livistonia decora</i>	Ribbon Palm	12' ct	15		70%	remove	176.625
100	<i>Phoenix canariensis</i>	Canary Island Date Palm	3.5' ct	15		70%	remove	176.625
101	<i>Livistonia decora</i>	Ribbon Palm	14' ct	15		70%	remove	176.625
102	<i>Livistonia decora</i>	Ribbon Palm	3.5' ct	14		70%	remove	153.86
103	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
104	<i>Phoenix canariensis</i>	Canary Island Date Palm	3.5' ct	15		70%	remove	176.625
105	<i>Livistonia decora</i>	Ribbon Palm	10' ct	15		70%	remove	176.625
106	<i>Livistonia decora</i>	Ribbon Palm	6' ct	14		70%	remove	153.86
107	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
108	<i>Livistonia decora</i>	Ribbon Palm	7' ct	14		70%	remove	153.86
109	<i>Livistonia decora</i>	Ribbon Palm	8' ct	14		70%	remove	153.86
110	<i>Livistonia decora</i>	Ribbon Palm	8' ct	14		70%	remove	153.86
111	<i>Livistonia decora</i>	Ribbon Palm	4.5' ct	14		70%	remove	153.86
112	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
113	<i>Phoenix canariensis</i>	Canary Island Date Palm	3.5' ct	15		70%	remove	176.625
114	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
115	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
116	<i>Livistonia decora</i>	Ribbon Palm	5.5' ct	14		70%	remove	153.86
117	<i>Livistonia decora</i>	Ribbon Palm	5.5' ct	14		70%	remove	153.86
118	<i>Livistonia decora</i>	Ribbon Palm	5' ct	14		70%	remove	153.86
119	<i>Livistonia decora</i>	Ribbon Palm	6' ct	14		70%	remove	153.86
120	<i>Livistonia decora</i>	Ribbon Palm	9' ct	15		70%	remove	176.625
121	<i>Livistonia decora</i>	Ribbon Palm	9' ct	15		70%	remove	176.625
122	<i>Livistonia decora</i>	Ribbon Palm	8' ct	15				

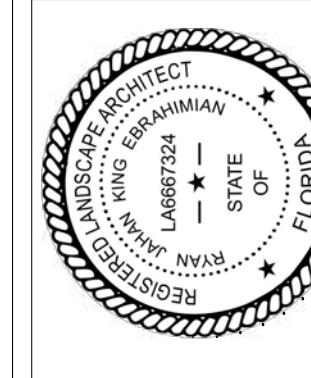
CODE OF ORDINANCES	2867.61/300 sf = REQ. CAT 1 REPLACEMENT TREES:	10
	RIBBON PALMS ≥8' CT REMOVED, TO BE MITIGATED @1:1	41

DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE CITY

ALL INVASIVE EXOTIC PLANT MATERIALS
SHALL BE REMOVED & ERADICATED FROM
THE ENTIRE SITE, INCLUDING EASTERN
PERIMETER BLUFF AREA

ALL TREES SCHEDULED TO BE REMOVED
OR THAT HAVE BEEN PREVIOUSLY
REMOVED & HAVE REMAINING STUMPS,
SHALL BE CUT DOWN, STUMP GROUND &
SHALL HAVE ALL ROOTS REMOVED

UNLESS OTHERWISE NOTED, ALL SHRUBS,
GROUNDCOVER, ACCENT PLANTS, SOD, &
PALMS NOT DEPICTED ON THE SUBJECT
PROPERTY SHALL BE REMOVED



THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC.

RACETRAC PETROLEUM, INC.

RIFFIN ROAD & SW 40TH AVENUE

OLYWOOD, BROWARD COUNTY, FL 33312

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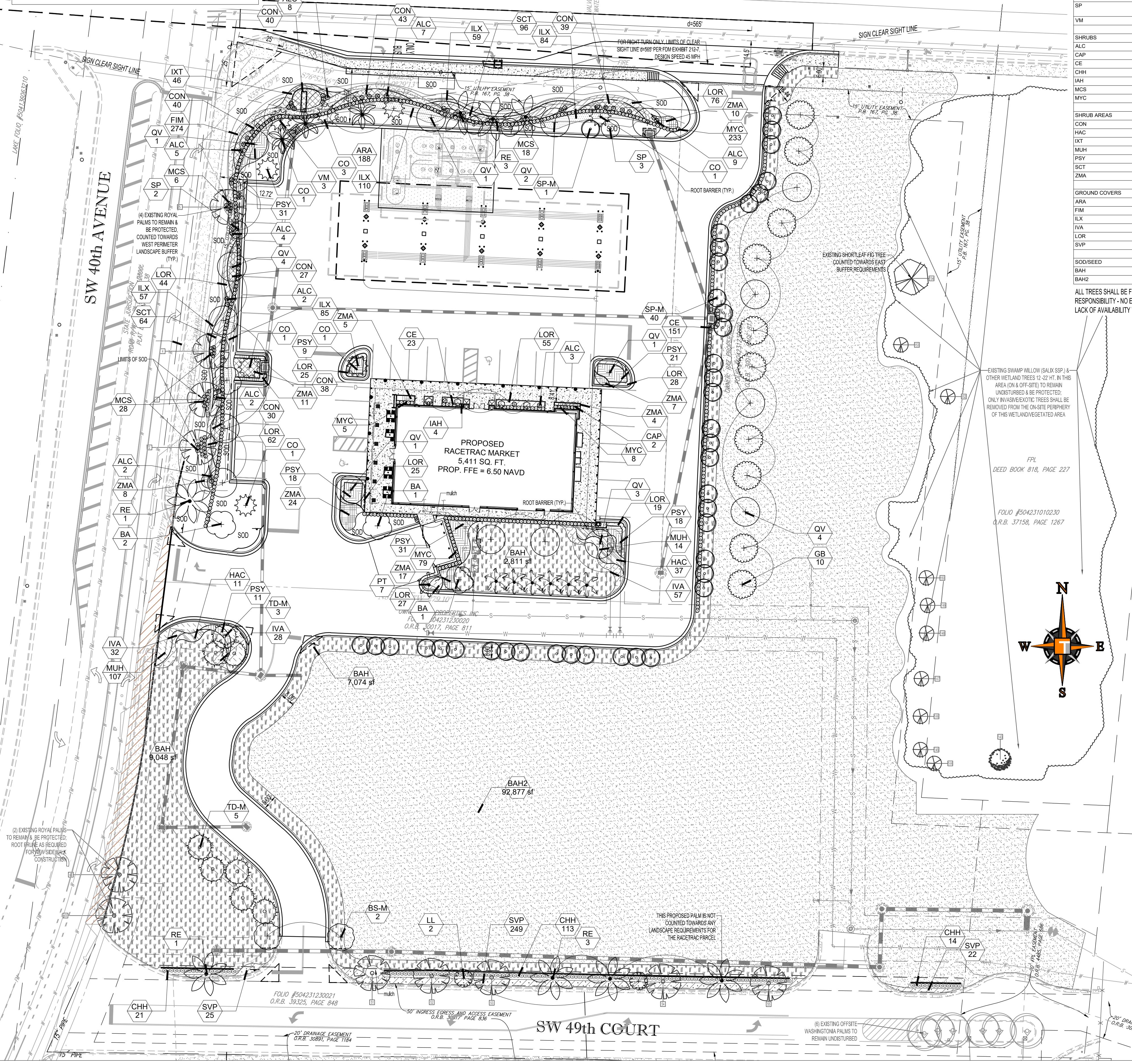
DISPOSITION PLAN

RACETRAC MARKET

DATE	4/20/20
SCALE	1" = 3'
DRAWN-BY	RJK
DRAWING NAME: DISPOSITION PLAN	
LD-1.0	1
SHEET NO.	VERS

ALL PERVIOUS AREA TO REMAIN THAT'S DISTURBED BY CONSTRUCTION & NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS/GROUNDCOVERS SHALL BE SODDED WITH ST. AUGUSTINE 'FLORITAM' SOLID SOD (ON-SITE) OR TO MATCH EXISTING BY THE CONTRACTOR

NOTE: ALL LANDSCAPE AREAS SHALL BE IRRIGATED & SHALL HAVE 100% COVERAGE WITH A MIN. 50% OVERLAP



NOTE: ALL ABOVE GROUND MECHANICAL EQUIPMENT SUCH AS, BUT NOT LIMITED TO, EXTERIOR UTILITY BOXES, METERS, & TRANSFORMERS NOT CURRENTLY KNOWN OR DEPICTED SHALL BE VISUALLY SCREENED A MIN. OF 6" ABOVE THE TOP OF THE EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED TO MATCH THE PRINCIPAL STRUCTURE

PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CA/D/BH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
BA	4	Verawood	B & B	2.5" DBH	12' ht	5-6'	No	High	5' CT	
CO	8	Satinleaf	B & B	2" DBH	12' ht	5-6'	Yes	High	5' CT	
GB	10	Green Butterwood	B & B	2" DBH	12' ht	6'	Yes	High	5' CT	
QV	17	Southern Live Oak	B & B	2.5" DBH	12'-14' ht	6'	Yes	High	6' CT	
RE	8	Florida Royal Palm	Roxystea elata	B & B	12' gw	18'	Yes	High	@1:1; Matched	
MITIGATION TREES										
BS-M	2	Gumbo Limbo	B & B	2" DBH	12' ht	5-6'	Yes	High	6' CT; CAT. 1	
SP-M	41	Cabbage Palmetto	Sabal palmetto	B & B	14"-16" & 18" ca HTs (8' clear trunk Min. by Code)	10'	Yes	High	(@3:1; Booted to Base; Slicked trunks Not Acceptable	
TD-M	8	Bald Cypress	Taxodium dischium	B & B	2" DBH	12' ht	6-7'	Yes	High	5' CT; CAT. 1
TREES & PALMS @ SW 49TH COURT										
LL	2	Japanese Privet	Ligustrum japonicum	B & B	multi-trunk, 3" Min.	5'-6' ht	6'	No	High	3' CT; Not Counted; Matched
PALMS										
PT	7	Alexander Palm	Phycocephala elegans	B & B	16' ht	7'-8' spr.	No	Medium	(@3:1; single trunk)	
SP	5	Cabbage Palmetto	Sabal palmetto	B & B	18-22' oa	10'	Yes	High	(@3:1; Booted to Base; Slicked trunks Not Acceptable	
VM	3	Montgomery Palm	Veitchia montgomeryana	B & B	8'-10'	No	Medium	10' gw; @3:1		
SHRUBS										
ALC	42	Golden Trumpet	Allamanda cathartica 'Hendersonii'	7 gal	As Shown	36"	30"	No	Medium	
CAP	2	Jamaica Caper	Capparis cynophallophora	25 gal	As Shown	6"	30' CT			
CE	174	Buttonwood	Conocarpus erectus	3 gal	24"	24"	Yes	High	full to base	
CHH	148	Red Tip Cocoplum	Chryophyllum icaco 'Red Tip'	NA	24"	24"	Yes	High	full to base	
IAH	4	East Palatka Holly	Ilex attenuata	7 gal	30"	48"	30"	Yes	High	full to base
MCS	52	Pink Muhy	Muhlenbergia capillaris	n/a	24"	16"	Yes	High	full to base	
MYC	325	Compact Simpson's Stopper	Myrcianthes fragrans 'compacta'	NA	24"	24"	Yes	High	full to base	
SHRUB AREAS										
CON	257	Silver Button Wood	Conocarpus erectus sericeus	n/a	18"	16"-18"	Yes	High	full	
HAC	48	Dwarf Scarlet Bush	Hamelia patens 'Compacta'	n/a	30"	18"-20"	Yes	High	full to base	
IXT	46	Dwarf Red Ixora	Ixora coccinea 'Petite Red'	3 gal	16"	14"	No	Medium		
MUH	121	Pink Muhy Grass	Muhlenbergia capillaris	3 gal	18"	14"-16"	Yes	High	full to base	
PSY	139	Wild Coffee	Psychotria nervosa	n/a	30"	20"	Yes	High	full to base	
SCT	160	Scheffera	Scheffera arboricola 'Trinette'	3 gal	24"	18"	No	High	full to base	
ZMA	86	Coontie Palm	Zamia floridana	3 gal	30"	10"-12"	Yes	High	full to base	
GROUND COVERS										
ARA	188	Perennial Peanut	Arachis glabra	n/a	14"	12"-14"	No	High	SOD	
FIM	274	Green Island Ficus	Ficus microcarpa 'Green Island'	1 gal	16"	14"-16"	No	Medium		
ILX	395	Dwarf Schillings Holly	Ilex vomitoria 'Schillings Dwarf'	n/a	18"	8"-10"	Yes	High		
IVA	117	Blue Flag Iris	Iris hexagona	n/a	20"	10"-12"	Yes	Medium		
LOR	361	Ruby Loropetalum	Loropetalum chinense 'Ruby'	n/a	18"	10"-12"	No	High	full clumps	
SVP	296	Shoreline Seepstris	Sesuvium portulacastrum	Liner	24"	2"	Yes	Medium		
SOILSEED										
BAH	18,933 sf	Bahia Grass	Paspalum notatum 'Argentina'	n/a			No	High	SOD	
BAH2	92,877 sf	Bahia Grass	Paspalum notatum 'Argentina'	n/a			No	High	SEED	

ALL TREES SHALL BE FLORIDA NUMBER 1. ALL PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE SCHEDULE ABOVE; FAILURE TO MEET SPECIFICATIONS, INCLUDING SPECIES LISTED, SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY - NO EXCEPTIONS; OPTIONS FOR ALTERNATE SPECIES BASED ON LACK OF STATEWIDE AVAILABILITY SHALL BE FURNISHED TO LANDSCAPE ARCHITECT OF RECORD A MINIMUM OF 30 DAYS BEFORE COMMENCEMENT OF CONSTRUCTION; LACK OF AVAILABILITY WILL BE VERIFIED USING THE LATEST INDUSTRY ACCEPTED PUBLICATION LISTINGS

CITY OF HOLLYWOOD FLORIDA

CODE COMPLIANCE CHART B-3

CITY OF HOLLYWOOD LANDSCAPE MANUAL
NET SITE AREA: 74,408.97 SF (1.71 ACRES)
SECTION 2.3: COMMERCIAL DISTRICTS (C-1 THROUGH C-5)

Perimeter Landscape Buffer
1 Swale Street Tree/50 ft of Street Frontage:
1 Shrub/2 ft.
North @ Griffin Rd.: 254.85 ft
West @ SW 40th Ave.: 268.24 ft

South @: 279.1 f
1 Tree/20 ft of Perimeter Buffer:
East: 287.47 ft
1 Tree/20 ft Where Abutting or Across an Alley/Residential:

Interior Landscaping for Vehicular Use Areas (44,450 SF)
For Lots Greater than 50' wide: 25% of Total sf of Paved VUA shall be used for Landscaping: (7 islands)
1 Tree Required/Parking Island:
Each Island shall contain 190 sf of Pervious Area

SECTION 2.8: PARKING LOT LANDSCAPE

A Perimeter Wall or Hedge of at Least 3.5 ft in height is required.

Open Space: 1 Tree/1000 sf of Pervious Area in Addition to Parking Areas (18,313 sf/1000)

Mitigation: 2687.81 SF OR
2687.81/500 sf = (10) REQ. CAT 1 REPLACEMENT TREES
441 Existing Ribbon Palms to be Removed & Replaced @1:1

TOTAL 59 TREES 59 TREES*

Minimum Tree Sizes:
Trees: 12' ht/2" dbh min. for Commercial

Palms: 8' clear trunk Min. (50% Max. of code requirements) @3:1; Specimen Palms @1:1

Native: 60% Trees
50% Shrubs

Drought Tolerant: 80% for all Materials per Ordinance 0-2011-06 Mandatory Green Building Practices

TREES 100.0%
SHRUBS 96.38%

* INCLUDES (7) EXISTING SPECIMEN PALMS @1:1, (1) EXISTING TREE, (48) PROPOSED TREES & SPECIMEN PALMS, (5) TREES FROM [15] PROP. PALMS @3:1

CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS

CHAPTER 21 - TREES

Replacement Trees shall be on a Canopy Square Footage Basis

2687.81 SF of Canopy to be removed = (10) Category 1 Replacement Trees @300 SF each

1/10 CATEGORY 1 MITIGATION TREES PROVIDED; SEE LANDSCAPE PLAN

Palms @2' CT to be replaced at 1:1 or 1:3 (if replaced with Shade Tree) depending on species selection

441 MITIGATION PALMS PROVIDED; SEE LANDSCAPE PLAN

The Amount of Replacement Contribution to be Determined by the Director of the Office of Planning using current tree Replacement Values, Plus Installation and Maintenance

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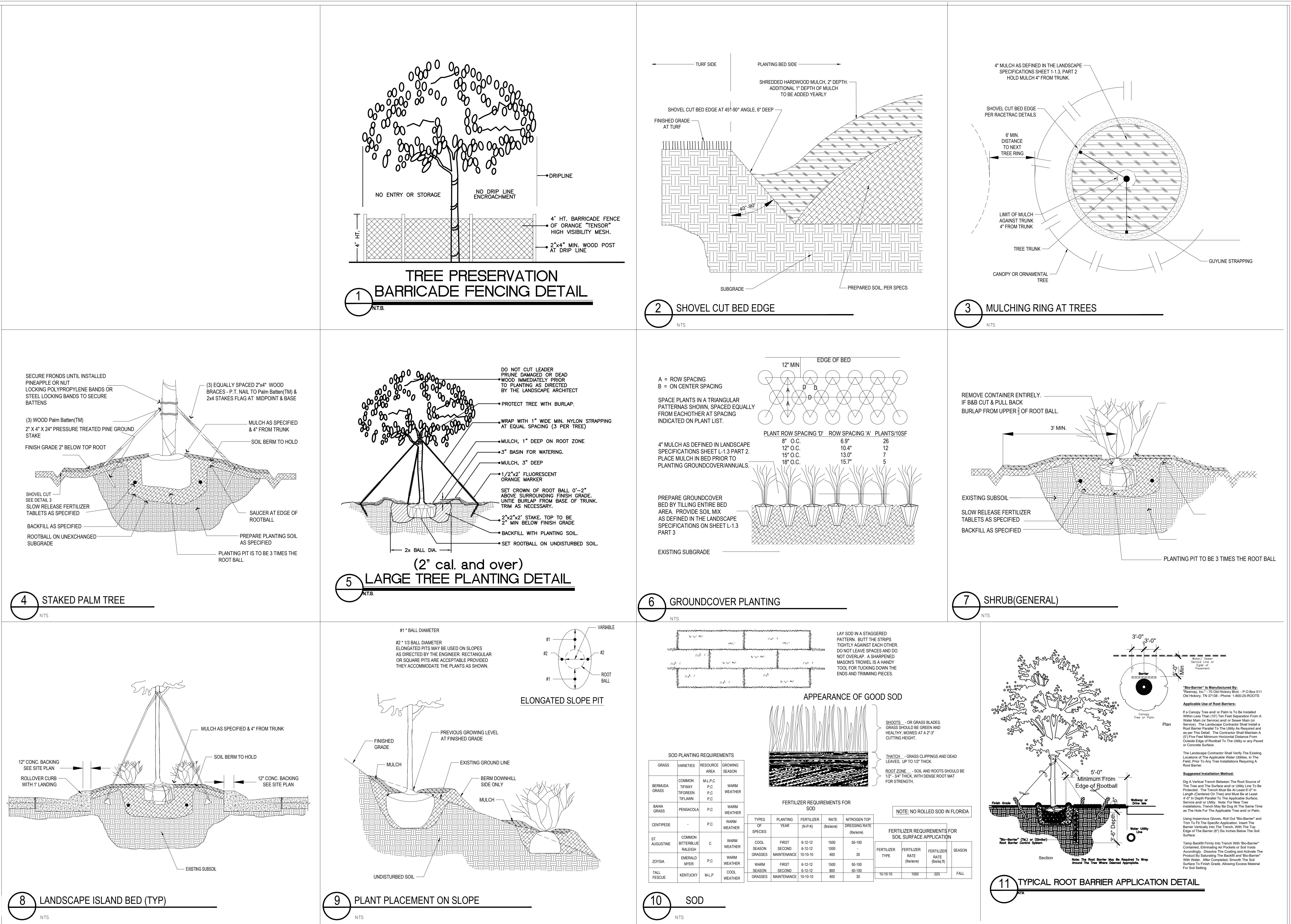
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GRIFFIN ROAD & SW 40TH AVENUE
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33312

LANDSCAPE STANDARD DETAILS
RACETRAC MARKET
3990 GRIFFIN ROAD
Hollywood, Florida 33312

DATE 4/17/2020
SCALE
DRAWN-BY RJK
DRAWING NAME: LANDSCAPE PLAN
L-1.1 1
SHEET NO. VERSION

PART 1 - GENERAL

DESCRIPTION

Provide trees, plants and ground covers as shown and specified. The work includes:

1. Soil preparation. (Topsoil to be provided by GC)
2. Trees, plants and ground covers.
3. Planting mixes.
4. Mulch and planting accessories.
5. Maintenance until final acceptance by RaceTrac Construction Manager

Related Work:

1. Irrigation System.

QUALITY ASSURANCE

Plant names indicated, comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Stock finished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting bid, the Contractor shall have investigated the sources of supply and satisfied himself that he can supply the listed plants in the size, variety and quality listed and specified. Failure to take this precaution will not relieve the Contractor from his responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. Landscape Architect shall approve any substitutes of plant material or changes in plant material size prior to contractor submitting a bid.

SUBMITTALS

The Landscape Contractor shall submit the following materials certification:

1. Photographs of landscape material to be used or locations of nurseries for Landscape Architect to tag material.
2. Boulders and rock mulch samples on site and available for approval by Landscape Architect on first site visit during construction. Photographs of boulders and rock mulch may be offered as alternatives to samples on site.
3. Red Oak double shredded hardwood mulch sample on site for approval by Landscape Architect on first site visit during construction.
4. Routine soil test by approved laboratory or state cooperative. Mix together a minimum of 5 soil cores per site for testing.
5. Upon plant material acceptance, submit written maintenance instructions recommending procedures for maintenance of plant materials.

Upon plant material acceptance, submit written maintenance instructions recommending procedures for maintenance of plant materials.

DELIVERY, STORAGE AND HANDLING

Deliver fertilizer materials in original, unopened, and undamaged containers showing weight, analysis, and name of manufacturer. Store in manner to prevent wetting and deterioration.

Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plants shall be bound with rope or wire in a manner that could damage or break the branches or trunk.

Cover plants transported on open vehicles with a protective covering to prevent wind burn.

Provide dry, friable, loose topsoil for planting bed mixes. Amend with 4 parts screened topsoil and 1 part organic material (ie. Nature's Helper, Pro-Mix). Frozen or muddy topsoil is not acceptable.

PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscaping operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components, damaged during planting operations, at this Contractor's expense. Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY

Warrant plant material to remain alive and be in a healthy, vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy or unsightly condition, and have lost their natural shape due to replacement, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage or loss of trees, plants or ground covers caused by fires, floods, freezing rains, lightning storms or winds over 75 miles per hour, winter kill caused by extreme cold and severe winter conditions not typical of planting area; acts of vandalism or negligence on the part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation. Maintain plant material and lawns until final acceptance is made.

ACCEPTANCE

Inspection to determine acceptance of planted areas will be made by the Owner's representative or Landscape Architect.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

The Contractor will commence the specified plant maintenance once plants have been planted and until final acceptance.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide plants typical of their species or variety; with normal, densely-developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held in storage will be rejected if they show signs of growth during storage.

1. Dig balled and burlaped plants with firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls are not acceptable.
2. Container-grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
 - a. No plants shall be loose in the container.
 - b. Container stock shall not be bound or have circling roots. Circling roots will be rejected.
3. Provide trees species that mature at heights over 25 feet with a single main trunk. Trees that have the main trunk forming a "Y" shape are not acceptable.
4. Plants planted in rows shall be matched in form.
5. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
 - a. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
6. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.
7. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
8. Evergreen trees shall be branched to the ground unless specified otherwise.
9. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.
 - a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.
 - b. Single stemmed or thin plants will not be accepted.
 - c. Side branches shall be generous, well-twisted, and the plant as a whole well-bushed to the ground.
 - d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

ACCESSORIES

Topsoil for Planting Beds: Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, plants, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8. Topsoil to be at a minimum depth of 6" in planting beds and 4" depth in sodded areas.

Fertilizer: Similar or equal to Milorganite (6-3-0).

Anti-Desiccant: Protective film emulsion providing a protective film over plant surfaces; permeable to permit transpiration. Mixed and applied in accordance with manufacturer's instructions.

Mulch: See plans for type of mulch to be used.

- A. Hardwood: 6 month old well rotted double shredded native, DARK BROWN hardwood mulch not larger than 4" in length and 1/2" in width, free of wood chips and sawdust. Install minimum depth of 4".
- B. River Rock: Rock type to be tan to yellow-brown washed river slicks, 5" - 8" in size. Install in location as shown on Landscape Plan an even depth of 8".

Water: Free of substances harmful to plant growth. Hoses or other methods of transportation furnished by Contractor.

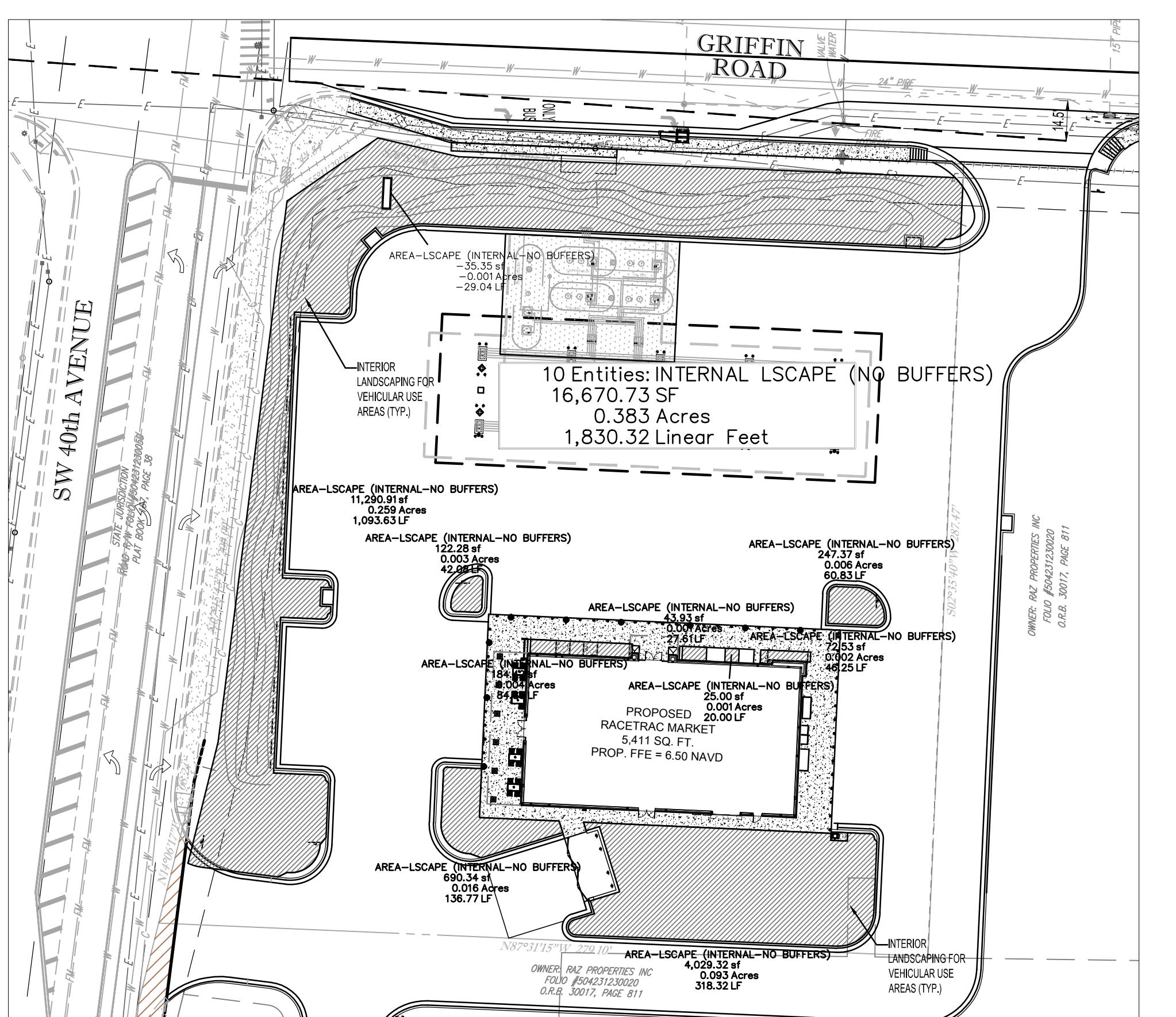
Guying/Staking/Wire: No. 10 or 12 gauge galvanized wire.

1. Turnbuckles: Galvanized steel of size and gage required to provide tensile strength equal to that of the wire. Turnbuckle openings shall be at least 3".

Staking and Guying Hose: New, Two ply, reinforced garden hose not less than 1/2" inside diameter. Green or black in color, all same color for the project.

Tree Wrap: Standard waterproof tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Kraft paper weighing not less than 30 lbs. Per ream, cemented together with asphalt.

Twine: Two-ply jute material.



INTERIOR VUA
LANDSCAPE AREA
EXHIBIT

PART 3 - EXECUTION

INSPECTION

Examine proposed planting areas and conditions of installation. Do not start planting work until unsatisfactory conditions are corrected.

PREPARATION

Time of planting:

1. Evergreen material: Plant evergreen materials between August 15 and October 15 or in spring before new growth begins. If project requirements require planting at other times, plants shall be sprayed with anti-desiccant prior to planting operations.
2. Deciduous material: Plant deciduous materials April 1 to June 1 and August 15 to November 15. If deciduous trees are planted in-leaf, they shall be sprayed with an anti-desiccant prior to planting operation.
3. Planting times other than those indicated shall be acceptable to the Owner.

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated or as approved in the field after staking by the Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations. Contact Landscape Architect to determine new location.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub and tree pits as shown in tree and shrub planting details. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings. Root flare must be visible after planting.

Provide pre-mixed planting mixture for use around the balls and roots of the plants consisting of 50% excavated material and 50% topsoil mix. Add plant fertilizer per manufacturer's recommendation for each cu. yd. of mixture.

Provide pre-mixed ground cover bed planting mixture consisting of 4 parts screened topsoil to 1 part peat moss and plant fertilizer per manufacturer's recommendation for each cu. yd. of mixture.

Remove loose material and debris from base surface before placing landscape accessories.

Drainage Test

Randomly select a representative number of shrub plant pits in each shrub planting area and test for drainage prior to planting. Randomly select a representative number of tree plant pits and test for drainage prior to planting. Fill each selected plant pit with water and let stand for twenty-four (24) hours. Do not proceed with planting where drainage problems are apparent. Report to the Owner's Representative areas which do not drain within twenty-four (24) hours.

INSTALLATION

Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 2'-3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water as shown in detail.

After balled and burlapped plants are set, muddle planting soil mixture around bases of balls and fill all voids.

1. Remove all burlap, ropes, and wires from the top 2/3 of the root ball.

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 12" of edge of bed.

Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required (see landscape plan) mulching material 4" deep immediately after planting. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Wrapping, guying, staking:

1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
2. Staking/Guying:
 - a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
 - b. Stake deciduous trees 3" caliper and less. Stake evergreen trees under 8'-0" tall.
 - c. Guy deciduous trees over 3" caliper. Guy evergreen trees 8'-0" tall and over.
3. All work shall be acceptable to the Landscape Architect.

Pruning:

1. Prune branches of deciduous stock, after planting, to balance the loss of roots and preserve the natural character appropriate to the particular plant requirements. In general, remove 1/4 to 1/3 of the leaf bearing buds. Remove or cut back broken, damaged, and unsymmetrical growth of new wood.
2. Multiple leader plants: Preserve the leader which will best promote the symmetry of the plant. Cut branches flush with the trunk or main branch, at a point beyond a lateral shoot or bud a distance of not less than 1/2 the diameter of the supporting branch. Make cut on an angle.
3. Prune evergreens only to remove broken or damaged branches.

Decorative stone: (where indicated on landscape plan)

1. Install weed control barrier over sub-grade prior to installing stone. Lay 6" on all sides.
2. Place stone without damaging weed barrier.
3. Arrange stones for best appearance.

Metal edging: Locate to separate rock mulch from organic mulch areas or where indicated on landscape plan.

1. Assemble to the lines and elevations indicated.
2. Assemble, align, bend and adjust the sections before back filling. Stake in place per manufacturer's recommendations to prevent frost movement. Readjust after fill is in place.
3. Set top flush with adjoining surfaces.

MAINTENANCE

The Contractor shall provide as a separate bid, maintenance for a period of 1 year after final acceptance of the landscaping. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

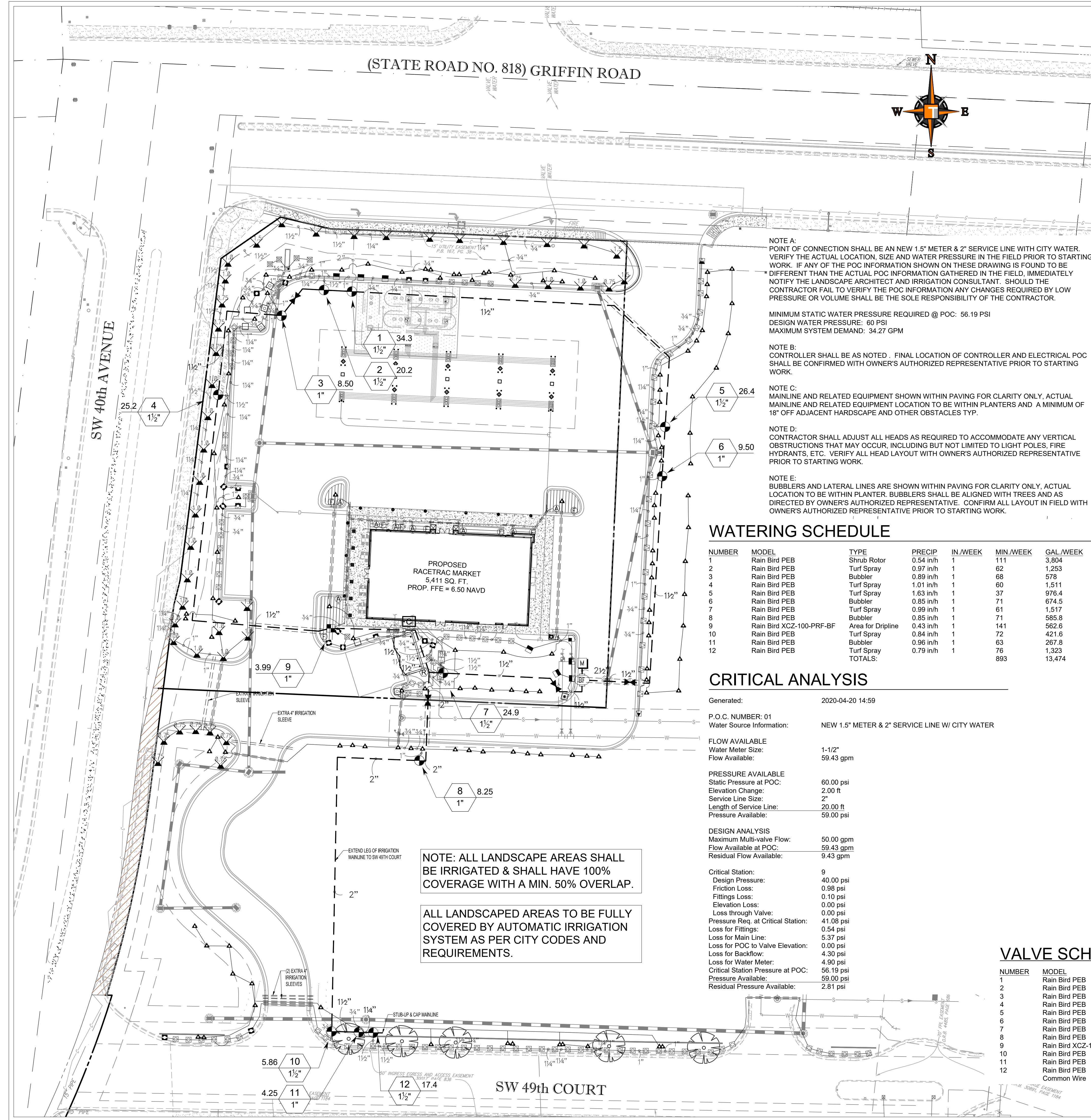
Maintenance shall include mowing, fertilizing, mulching, pruning, cultivating, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.

1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
2. Tighten and repair guy wires and stakes as required. Remove guy wires after one year. Guy straps are not to be too tight some slack is required.
3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.

CLEANING

Perform cleaning during installation of the work and upon completion of the work. Remove from site all excess materials, soils, debris, and equipment. Repair damage resulting from planting operations.

DATE	4/20/2020
SCALE	1:100
DRAWN-BY	RJK
DRAWING NAME:	RACETRAC MARKET
LANDSCAPE PLAN	L-1.2
SHEET NO.	1
VERSION	1
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN J. KING EBRAHIMIAN, LA6667324 ON 2020-04-20	



IRRIGATION SCHEDULE

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1-1/2"	Shrub Rotor	34.27	421.3	4.30	3.56	32.86	49.05	0.54 in/h
2	Rain Bird PEB	1-1/2"	Turf Spray	20.20	404.1	1.72	3.89	35.61	51.66	0.97 in/h
3	Rain Bird PEB	1"	Bubbler	8.50	370.0	2.64	1.77	34.41	50.19	0.89 in/h
4	Rain Bird PEB	1-1/2"	Turf Spray	25.18	284.3	1.87	3.74	35.62	52.06	1.01 in/h
5	Rain Bird PEB	1-1/2"	Turf Spray	26.39	391.5	2.56	3.71	36.28	51.65	1.63 in/h
6	Rain Bird PEB	1"	Bubbler	9.50	361.0	2.18	1.79	33.97	48.77	0.85 in/h
7	Rain Bird PEB	1-1/2"	Turf Spray	24.86	94.5	2.64	3.75	36.40	49.36	0.99 in/h
8	Rain Bird PEB	1"	Bubbler	8.25	144.3	1.79	1.77	33.55	46.96	0.85 in/h
9	Rain Bird XCZ-100-PRF-BF	1"	Area for Dripline	3.99	58.6	1.08		41.07	56.19	0.43 in/h
10	Rain Bird PEB	1-1/2"	Turf Spray	5.86	363.8	1.66	3.90	35.56	49.69	0.84 in/h
11	Rain Bird PEB	1"	Bubbler	4.25	380.6	0.56	1.63	32.18	48.60	0.96 in/h
12	Rain Bird PEB	1-1/2"	Turf Spray	17.40	389.4	3.58	3.90	37.43	52.03	0.79 in/h
	Common Wire				1,319					

IRRIGATION PLAN	RACETRAC MAP	3990 GRIFFIN ROAD Hollwood, Florida 33041
DATE		4/20/2010
SCALE		1" = 30'
DRAWN-BY		RJK
DRAWING NAME:		
IRRIGATION PLAN		
L-2.0		1
SHEET NO.		VERS

The logo for RaceTrac is displayed on a dark, rounded rectangular background. The word "RaceTrac" is written in a stylized, italicized font, with "Race" on the top line and "Trac" on the bottom line, separated by a small gap. A small circular graphic is positioned to the right of the "c" in "Trac". To the right of the logo, the text "RACETRAC PETROLEUM, INC." is written vertically, followed by "RUFFIN ROAD & SW 40TH AVENUE" and "OILWOOD, BROWARD COUNTY, FL 33316".

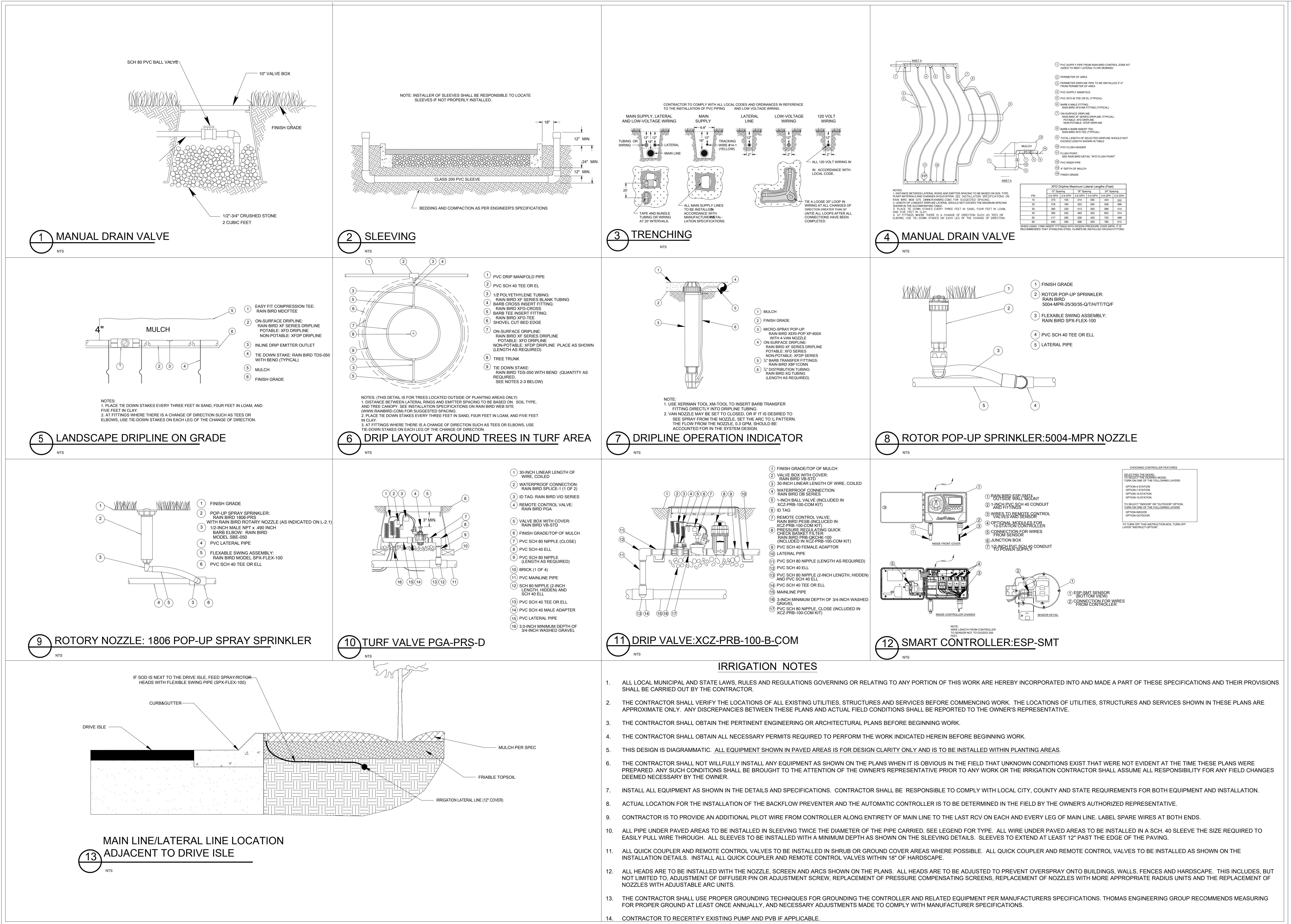
The logo for RaceTrac is a dark, rounded rectangular badge. The word "RaceTrac" is written in a stylized, italicized font, with "Race" on the top line and "Trac" on the bottom line, separated by a small circle. To the right of the badge, the address is printed vertically: "RACETRAC PETROLEUM, INC.", "5757 FFIN ROAD & SW 40TH AVENUE", and "LILYWOOD, BROWARD COUNTY, FL 33343".

THOMAS
ENGINEERING GROUP

6300 NW 31ST AVE.
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
FX: (954) 202-7070

PRELIMINARY TAC MEETING
FINAL TAC MEETING

10/08 11/19



IRRIGATION SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Provide a complete design and installation for an underground irrigation system as specified herein. The work includes:

- The design of an underground irrigation system using irrigation industry best practices
- Automatic irrigation system including piping, fittings, sprinkler heads, and accessories.
- Pump (if necessary), valves, and fittings.
- Irrigation Meter and reduced pressure backflow preventer. (Provided by the General Contractor)
- Controller, control wire.
- Testing.
- Excavation and backfilling irrigation system work.
- Associated interior and exterior plumbing, and accessories to complete the system.

Pipe sleeves are generally indicated to be supplied and installed by the General Contractor. The Irrigation Contractor shall coordinate with the General Contractor to ensure that sleeves are available in the preferred locations and that the irrigation site drawing reflects the actual installed locations of the sleeves. Sleeve locations are also shown on the Utility Plan by the Civil Engineer.

QUALITY ASSURANCE

Installer's qualifications: Minimum of 3 years experience installing irrigation systems of comparable size. All plumbing within the building shall be installed by a licensed plumber.

Materials, equipment, and methods of installation shall comply with the following codes and standards.

- National Fire Protection Association, (NFPA): National Electrical Code.
- American Society for Testing and Materials, (ASTM).
- National Sanitation Foundation, (NSF).
- The Irrigation Association, (IA).

The Irrigation Contractor shall coordinate with the sodding and landscape contractors to insure 100% irrigation coverage of all sod and plant material. The Contractor shall verify water pressure at the site. If pressure is below 40 psi, the Landscape Architect shall be notified immediately for a redesign. The final zone design flow and operating pressure shall guarantee 100% coverage for all sod and landscape areas.

SUBMITTALS

Upon irrigation system acceptance by Landscape Architect or RaceTrac Project Manager, submit manufacturer's product manuals and any site specific operating and/or maintenance instructions.

- Provide one (1) copy of irrigation system as-built directly to the Landscape Architect and on site Project Manager. Legibly mark drawings to record actual construction, valve locations, zone/station numbering, main line locations, etc.
- Provide all manufacturers manuals.

DELIVERY, STORAGE AND HANDLING

Deliver irrigation system components in manufacturer's original undamaged and unopened containers with labels intact and legible.

Protect existing trees, plants, lawns and other features designated to remain as part of the final landscape work.

Promptly repair damage to adjacent facilities caused by irrigation system work operations. Cost of repairs at Contractor's expense. Promptly notify the Landscape Architect of unexpected sub-surface conditions. Minor adjustments in system layout will be permitted to clear existing fixed obstructions. Final system layout shall be acceptable to the Landscape Architect.

CODES, INSPECTIONS AND PERMITS

The entire installation shall fully comply with all local and state laws and ordinances, and with all the established codes applicable thereto. The Contractor shall take out all required permits, arrange for all necessary inspections and shall pay any fees and expenses in conjunction with the same as a part of the work under this Section. If required, the Owner will provide the City and utility companies with a "Hold Harmless" agreement for sprinklers on public lands and easements.

GUARANTEE

For a period of one (1) year from date of final acceptance of work performed under this Section, the Contractor shall promptly furnish and install any and all parts and equipment which prove defective in material, workmanship or installation at no additional cost to the Owner.

PART 2 - PRODUCTS

ACCEPTABLE MANUFACTURERS

Manufacturers:
ONLY - Rain Bird, Contractor Division, Glendora, CA

MATERIALS

General:

- Provide only new materials, without flaws or defects and of the highest quality of their specified class and kind.
- Comply with pipe sizes indicated. No substitution of smaller pipes will be permitted. Remove damaged and defective pipe.
- Provide pipe continuously and permanently marked with manufacturer's name or trademark, size schedule and type of pipe, working pressure at 73 degrees F, and National Sanitation Foundation (NSF) approval.
- All materials subject to acceptance of the Landscape Architect and Owner.

Plastic pipe, fittings, and connections:

- Polyvinyl chloride pipe: ASTM D2241, rigid, unplasticized PVC, extruded from virgin parent material. Provide pipe homogeneous throughout and free from visible cracks, holes, foreign materials, blisters, wrinkles and dents.
a. SDR 21, Class 200.
- Polyethylene pipe: ASTM D2239 flexible polyethylene pipe rated at 100 PSI minimum working pressure.
- PVC pipe fittings: ASTM D2241 schedule 40 PVC molded fittings suitable for solvent weld, slip joint ring tight seal, or screwed connections. Fittings made of other materials are not permitted.
a. Slip joint socket taper to permit a dry unsolvent pipe end to be inserted no more than half way into the socket. Saddle and cross fittings are not permitted.
b. Schedule 40 PVC pipe may be threaded.
c. Use saddle adapters to plastic to metal connections. Hand tighten male adapters plus one turn with a strap wrench.
- Insert fittings: ASTM D2265 insert type fittings.
- Saddle tees for lateral lines:
a. Kwik-seal saddle tee as manufactured by Dawn Industries, Inc. 4410 Washington Street, Denver, CO 80216, or approved equal.
- Brass saddle with stainless steel screws.
- Sprinkler Riser:
a. Cut-off polyethylene riser mounted on saddle tees.
b. Riser height as required.
- Swing joints: See detail.

Interior copper pipe, fittings and connections:

- Interior water piping, fittings and connectors: ASTM B88 Type "L" hard tempered copper tubing. Fittings shall be 150 pound working water pressure standard, solder end type, constructed of wrought copper bronze or brass.
- Joints made with tin-lead solder, approximately 95-5 composition. Thoroughly polish joints and use proper flux to provide sound joints.

Sprinkler heads, pumps, valves and associated equipment:

- The following items are as specified on the Drawings unless noted otherwise.
 - Spray type sprinkler heads, rotary type sprinkler heads
 - Pressure compensating drip line
 - Manual isolation valves - gate valve for lines 2" and under, mechanical lines for valves greater than 2"
 - Electric remote control valves (ensure water tight connections)
 - Quick couple valves - each with key having 3/4" male top pipe thread for hose connection
 - Backflow preventer - comply with codes of local or county agency
 - Pump if necessary
 - Irrigation meter - comply with codes of local or county agency. (Provided by General Contractor)
 - Marine and associated lateral lines with sizes

Controls:

- The following items are as specified on the Drawings unless noted otherwise.
 - Controller as specified on the drawings.
 - Pump starter (if necessary)

Electrical control wire:

- Electrical control and ground wire: Type UF direct burial 600 volt AWG control cable #12 neutral and #14 control "hot" wire. No aluminum wire allowed.
- Wire color code: Provide control or "hot" wires either black or red in color. Provide common or "ground" wires white in color.

ACCESSORIES

Drainage fill: 1/2" to 3/4" washed pea gravel.

Fill: Clean soil free of stones larger than 2" diameter foreign matter, organic material and debris.

- Provide imported fill material as required to complete the work. Obtain rights and pay all costs for imported materials.
- Suitable excavated materials removed to accommodate the irrigation system work may be used as fill material subject to the Landscape Architect's review and acceptance.

Clamps: Stainless steel, worm gear hose clamps with stainless steel screws or ear type clamps.

Low voltage wire connectors: Socket seal type wire connectors and 3M DBY Direct Burial Splice Kit.

Valve access boxes: Tapered enclosure of rigid plastic material comprised of fibrous components chemically inert and unaffected by moisture corrosion and temperature changes. Provide lid of same material, green in color.

- 12" deep x 18" long x 13" wide base dimensions.
- 9" deep x 10" diameter base dimension.

Control wiring:
1. Install electric control cable in the piping trenches wherever possible. Place wire in trench adjacent to pipe. Install wire with slack to allow for thermal expansion and contraction. Expansion joints in wire may be provided at 200-foot intervals by making 5-6 turns of the wire around a piece of 1/2" pipe instead of slack. Where necessary to run wire in a separate trench, provide a minimum cover of 12".
2. Provide sufficient slack at site connections at remote control valves in control boxes, and at all wire splices to allow raising the valve bonnet or splice to the surface without disconnecting the wires when repair is required.
3. Connect remote control valve to one station of a controller except as otherwise indicated.
4. Connect remote control valves to a common ground wire independent of all other controllers.
5. Make wire connections to remote control electric valves and splices of wire in the field, using wire connectors and sealing cement in accordance with manufacturer's recommendations.
6. Provide tight joints to prevent leakage of water and corrosion build-up on the joint.
7. A separate common neutral wire is required from controller along entire mainline.
8. Provide one spare control wire from controller along entire mainline.

Interior plumbing:

- Install piping to provide complete drainage of the system, toward the source wherever possible. Provide drain valves at all drainage points on pipes. Cut pipe accurately to measurements established at the building and installed without stripping or forcing. After cutting and reaming, and before assembling, remove interior scale, dust and foreign matter. Installed pipe shall follow building lines, clearing all doors and other openings. No diagonal piping will be accepted. Install piping to allow installation of 1" thickness pipe insulation covering. Provide for thermal expansion and contraction of pipe.
- Insulate piping with 1" thickness of fibrous glass insulation, 35 degree service, with white Kraft paper jacket and .001" aluminum foil vapor barrier.
- Stub-out from mechanical room floor to turf or planting area at 18" below finish grade and install a male pipe thread connection at the turf end.

Sleeves: (TO BE INSTALLED BY GENERAL CONTRACTOR)

- Utilize existing sleeves for installation of the irrigation system.
- Provide new sleeves for all locations where existing sleeves are not indicated. Install new sleeves prior to paving installation.
- Install pipe sleeves under existing concrete or asphalt surface by jacking, boaring or hydraulic driving of the sleeve. Obtain Owner's permission before cutting existing concrete and asphalt surfaces. Where piping is shown under paved areas which are adjacent to turf areas, install the piping in the turf area.
- Install permanent benchmark in the top of curbs and other hardscapes for reference of sleeve locations.

Flushing, testing and adjustment:

- After sprinkler piping and risers are installed, open control valves and flush out the system with full head of water.
- Perform system testing upon completion of each section. Make necessary repairs and re-test repaired sections as required.
- Adjust sprinklers after installation for proper and adequate distribution of the water over the coverage pattern. Adjust for the proper arc of coverage.
- Tighten nozzles on spray type sprinklers after installation. Adjust sprinkler adjusting screw on lateral line or circuit as required for proper radius. Interchange nozzles patterns as directed by the Landscape Architect, to give heat arc of coverage.
- Adjust all electric remote control valve regulators and flow control stems for system balance and optimum performance.
- Test and demonstrate the controller by operating appropriate day, hour and station selection features as required to automatically start and shut down irrigation cycles to accommodate plant requirements and weather conditions.

DISPOSAL OF WASTE MATERIAL

Stockpile, haul from site, and legally dispose of waste materials, including unsuitable excavated materials, rock, trash, and debris. Maintain disposal route clear, clean, and free of debris.

ACCEPTANCE

Test and demonstrate to the Landscape Architect and Owner the satisfactory operation of the system free of leaks. Instruct the Owner's designated personnel in the operation of the system, including adjustment of sprinklers, controller, valves and pump controls. Upon acceptance by Landscape Architect, the Owner will assume operation of the system.

CLEANING

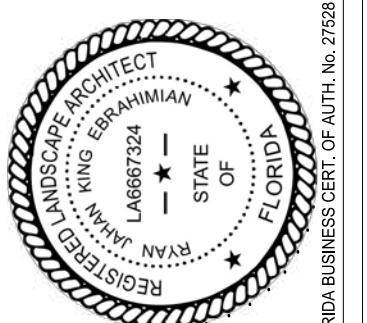
Perform cleaning during installation of the work and upon completion of the work. Remove from site all excess materials, soil, debris, and equipment. Repair all damage resulting from irrigation system installation.

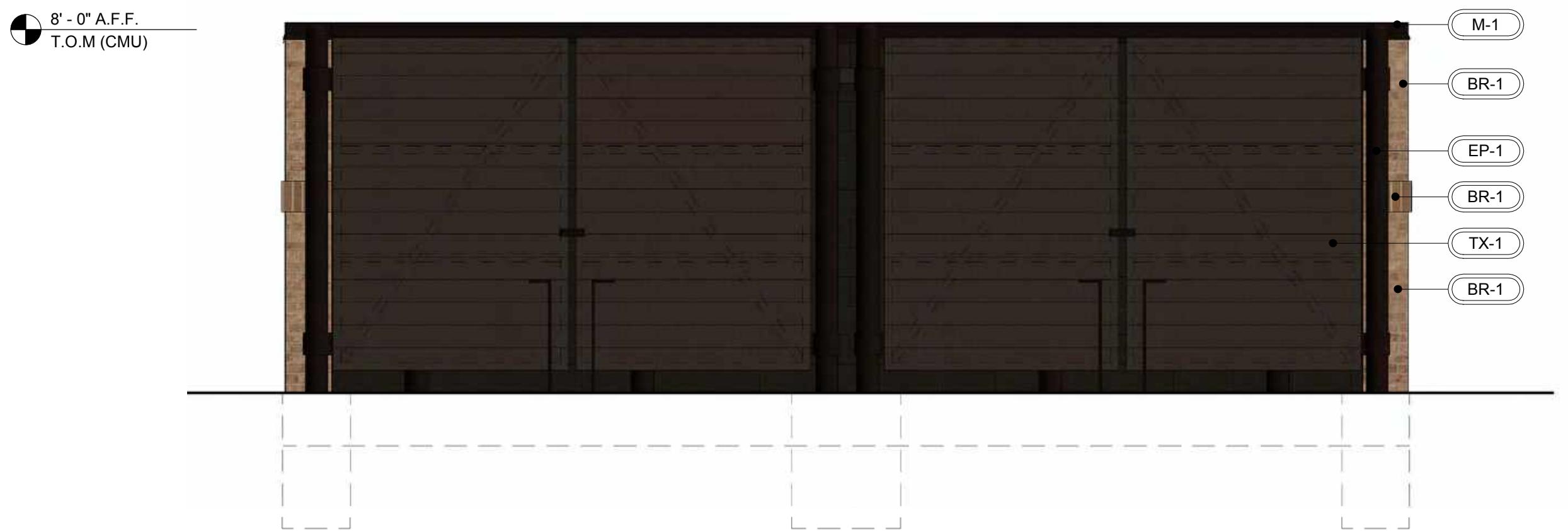
SPECIAL INSTRUCTIONS

The Contractor shall coordinate and cooperate with the Landscape Architect, General Contractor, Mechanical/Electrical Contractors, and all subcontractors, during the installation of this system. Installation of sleeves to be coordinated between the Irrigation Contractor and the General Contractor.

During the bidding period the Irrigation Contractor shall inform the RaceTrac Construction Manager of any system items or elements that are required for operation of the system specified herein, but installed or finished by others.

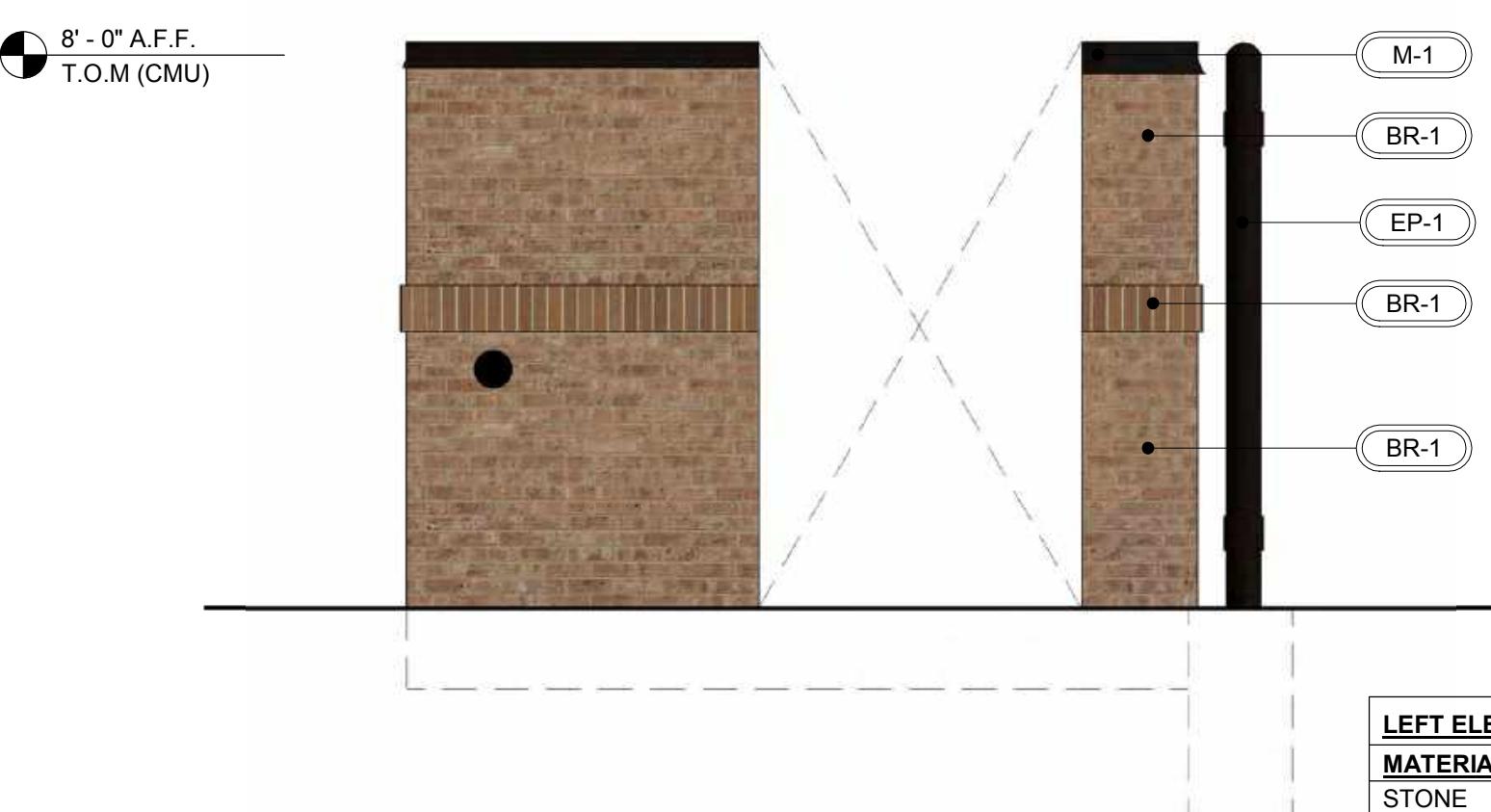
It is the intent and mandatory requirement that the irrigation system be installed and fully operational before planting operations begin. (Except for drip tubing which shall be installed after planting but prior to mulch installation.)

DATE	4/17/2020
SCALE	
DRAWN-BY	RJK
DRAWING NAME:	RACETRAC MARKET
IRRIGATION PLAN	
STANDARD LANDSCAPE SPECS	
RACETRAC MARKET	
3990 GRIFFIN ROAD	Hollywood, Florida 33312
PRELIMINARY TAC MEETING	
FINAL TAC MEETING	
 FLORIDA BUSINESS CERT. OF AUTHORITY NO. 2708	



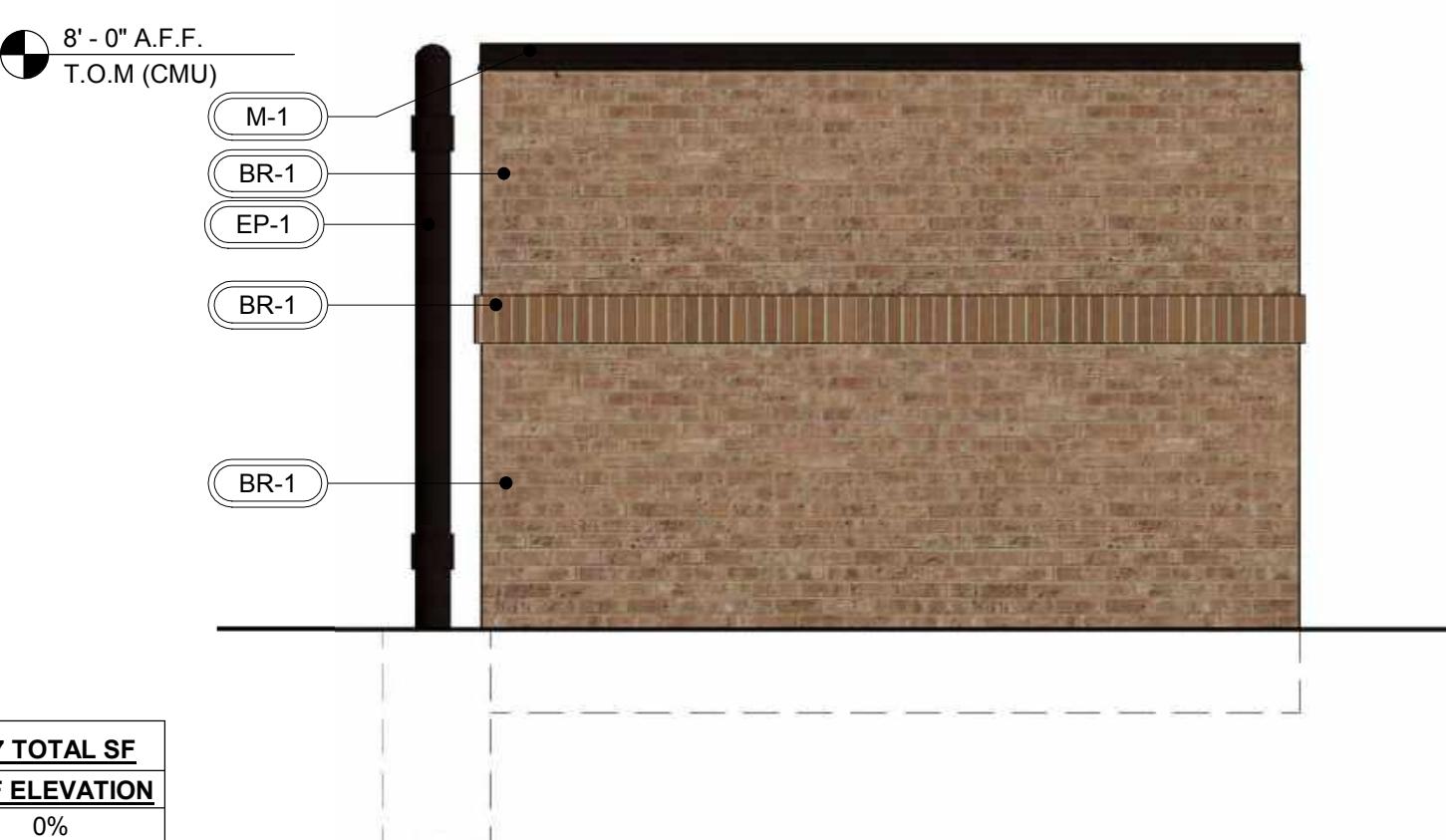
5 DUMPSTER ENCLOSURE FRONT ELEVATION
3/8" = 1'-0"

FRONT ELEVATION 224 TOTAL SF		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	0	0%
BRICK	8	4%
METAL	25	11%
WOOD	173	77%
CMU/PAINT	19	8%



4 DUMPSTER ENCLOSURE LEFT ELEVATION
3/8" = 1'-0"

LEFT ELEVATION 97 TOTAL SF		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	0	0%
BRICK	89	92%
METAL	8	8%
WOOD	0	0%
CMU/PAINT	0	0%



3 DUMPSTER ENCLOSURE RIGHT ELEVATION
3/8" = 1'-0"

RIGHT ELEVATION 59 TOTAL SF		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	0	0%
BRICK	52	88%
METAL	7	12%
WOOD	0	0%
CMU/PAINT	0	0%

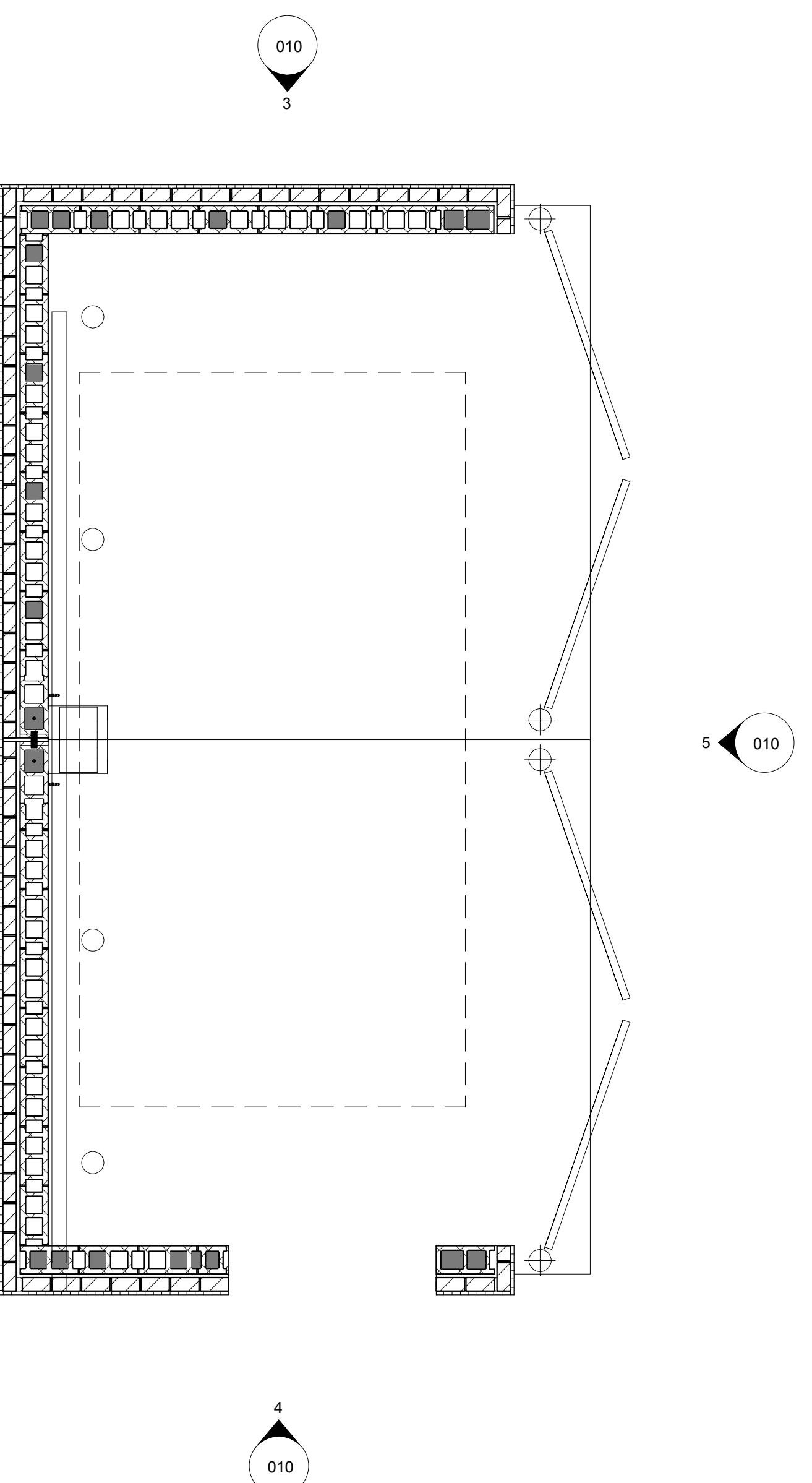


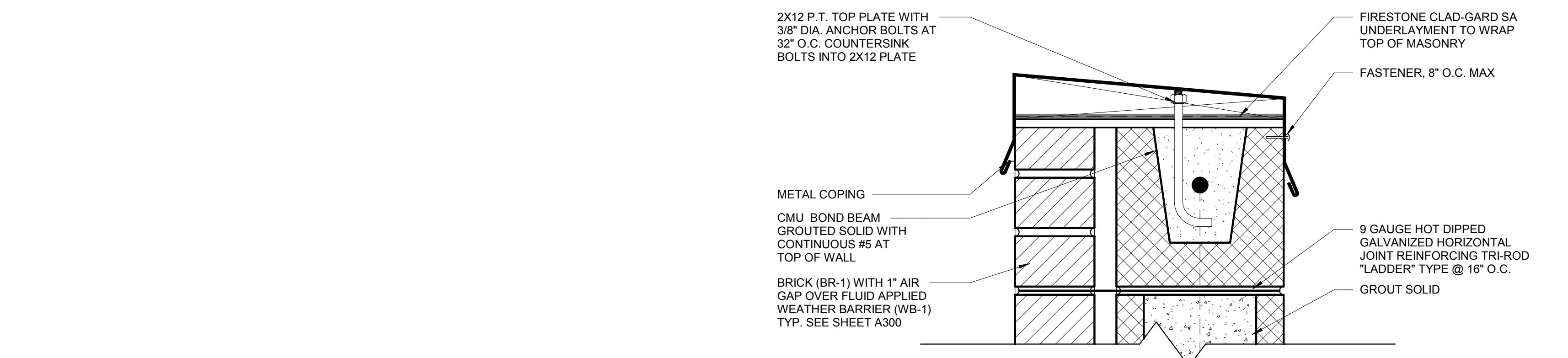
2 DUMPSTER ENCLOSURE REAR ELEVATION
3/8" = 1'-0"

REAR ELEVATION 224 TOTAL SF		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	0	0%
BRICK	212	95%
METAL	12	5%
WOOD	0	0%
CMU/PAINT	0	0%

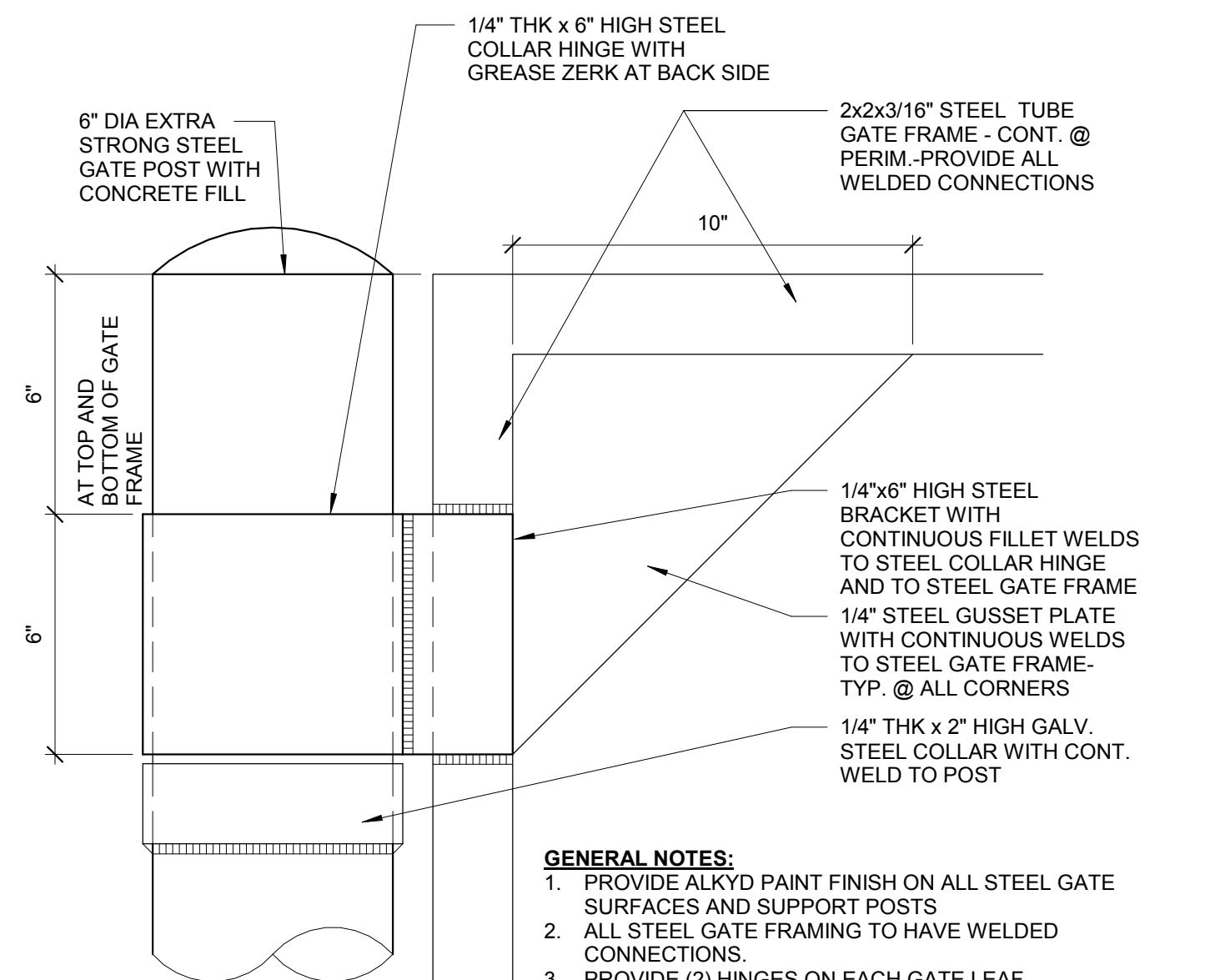
ID	MANUF.	MATERIAL	COMMENTS
BRICK			
BR-1	BORAL	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
METAL			
M-1		PREFINISHED 4" 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
PAINT			
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO SW #7020 "BLACK FOX"	
TREX			
TX-1	SELECT COMPOSITE	1/2" THICKNESS	WOODLAND BROWN

1 DUMPSTER ENCLOSURE PLAN
3/8" = 1'-0"

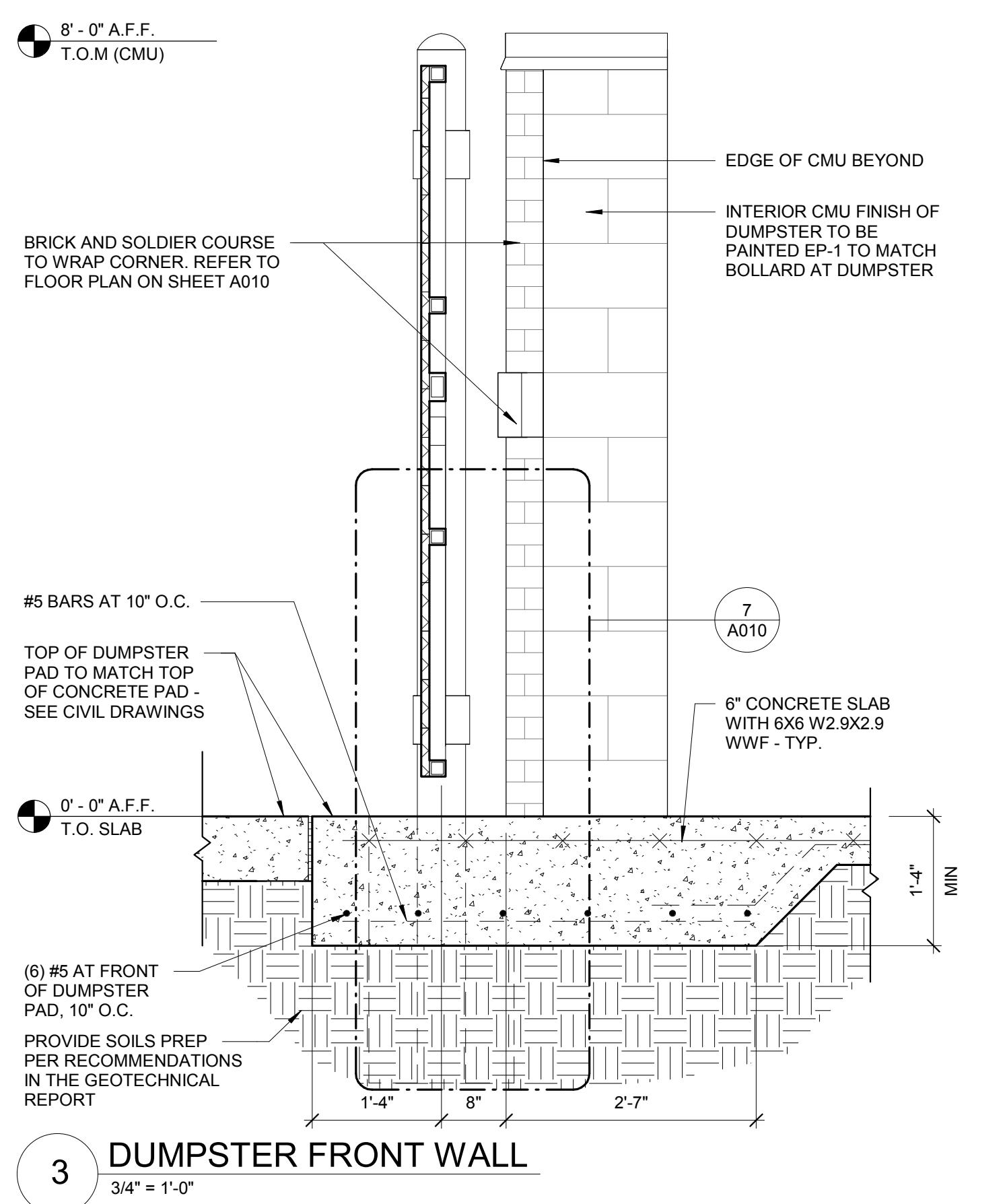




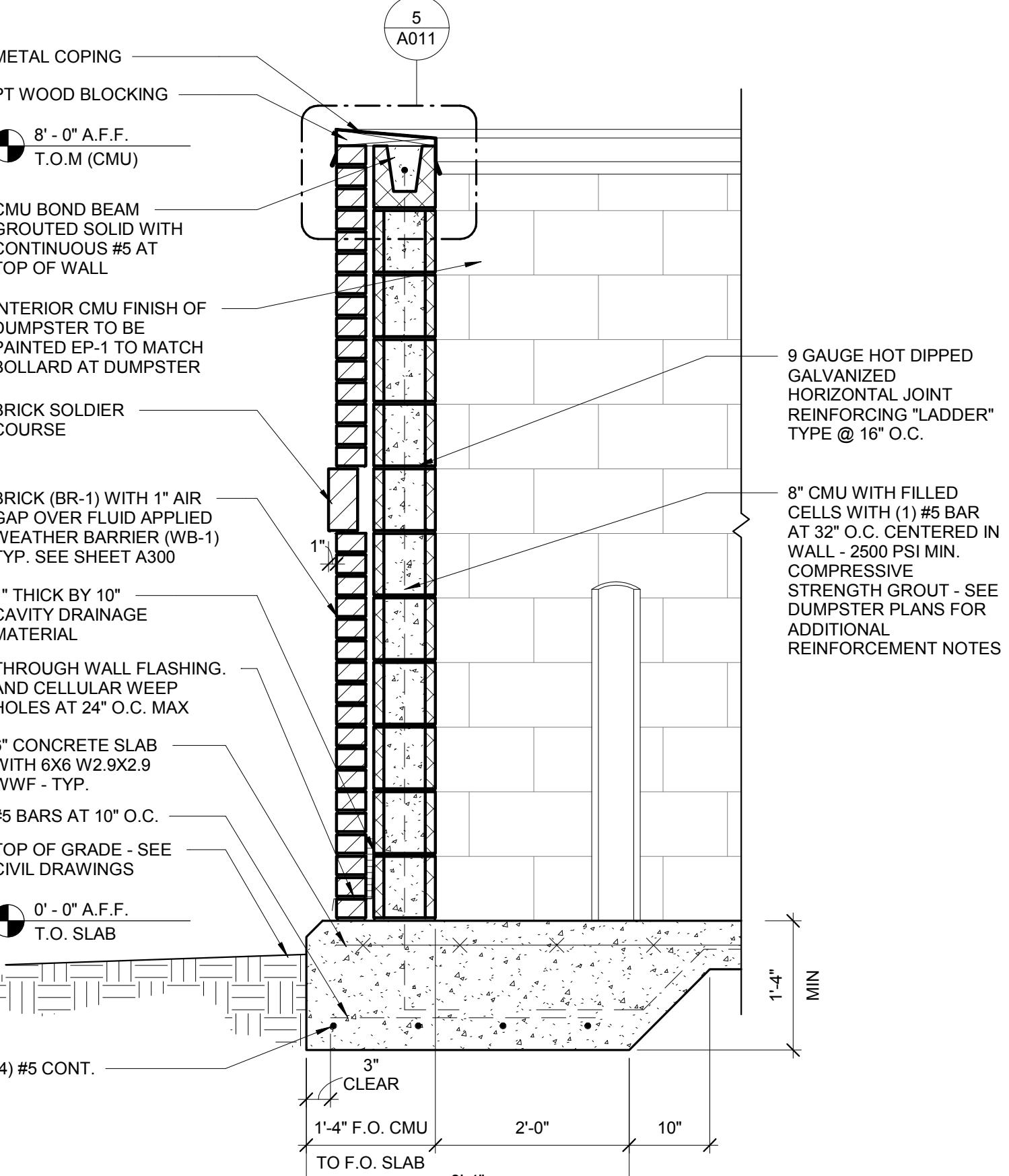
5 HEADWALL DETAIL



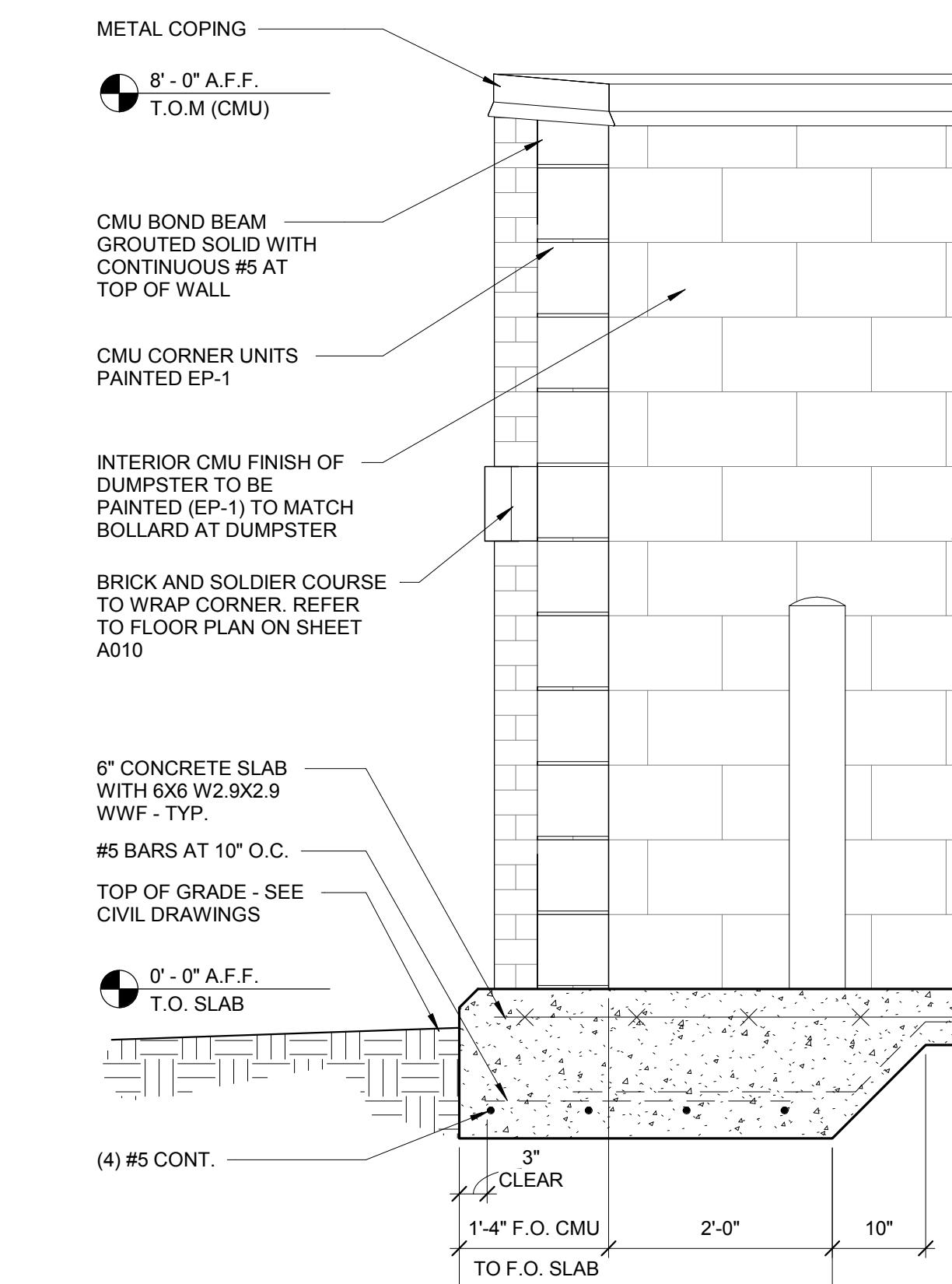
4 GATE POST DETAIL



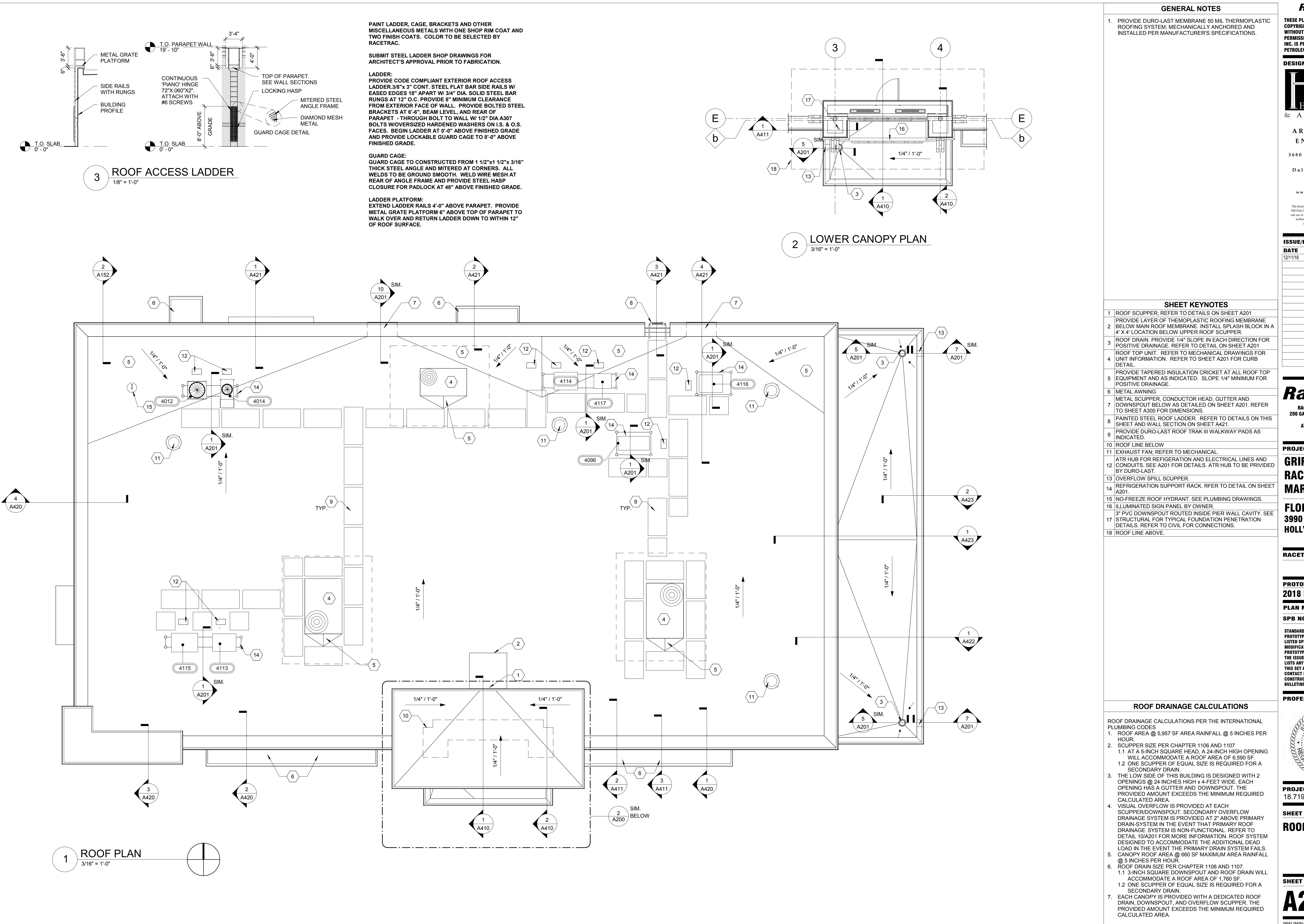
3 DUMPSTER FRONT WALL



2 DUMPSTER SIDE WALL



1 DUMPSTER SIDE WALL



DATE	DESCRIPTION
09.14.2019	PRELIMINARY SUBMITTAL
10.24.2019	PRELIMINARY COMMENTS
12.11.2018	PRELIMINARY COMMENTS
09.10.2019	PRELIMINARY COMMENTS
12.12.2019	PRELIMINARY SUBMITTAL
03.20.2020	PRELIMINARY SUBMITTAL

RaceTrac
RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SOUTHEAST
SUITE 900
ATLANTA, GEORGIA 30339
(770) 451-7600

PROJECT NAME
**GRiffin &
40th**

FLORIDA
3990 GRIFFIN ROAD
HOLLYWOOD, FL 33312

RACETRAC STORE NUMBER
#1365
PROTOTYPE SERIES 5.5K 2.0
2020 RH MO 0113
PLAN MODIFICATION NOTICE

SPB NO. 0113 **DATE** 02/18/2020

STANDARD PLAN BULLETIN (SPB) MODIFY THE
PROTOTYPE SERIES SET NOTED ABOVE. THE
LISTED SPB REPRESENTS THE LATEST
MODIFICATION INCORPORATED TO THIS
PROTOTYPE SERIES SET AT ORIGINAL RELEASE.
THE ISSUE/REVISION RECORD COLUMN ABOVE
LISTS THE REVISION RECORD OR SPB INCORPORATED IN
THE SET AFTER THE ORIGINAL RELEASE.
CONTACT RACETRAC ENGINEERING AND
CONSTRUCTION FOR ANY SUBSEQUENT
BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL



PROJECT NUMBER
18.719.00

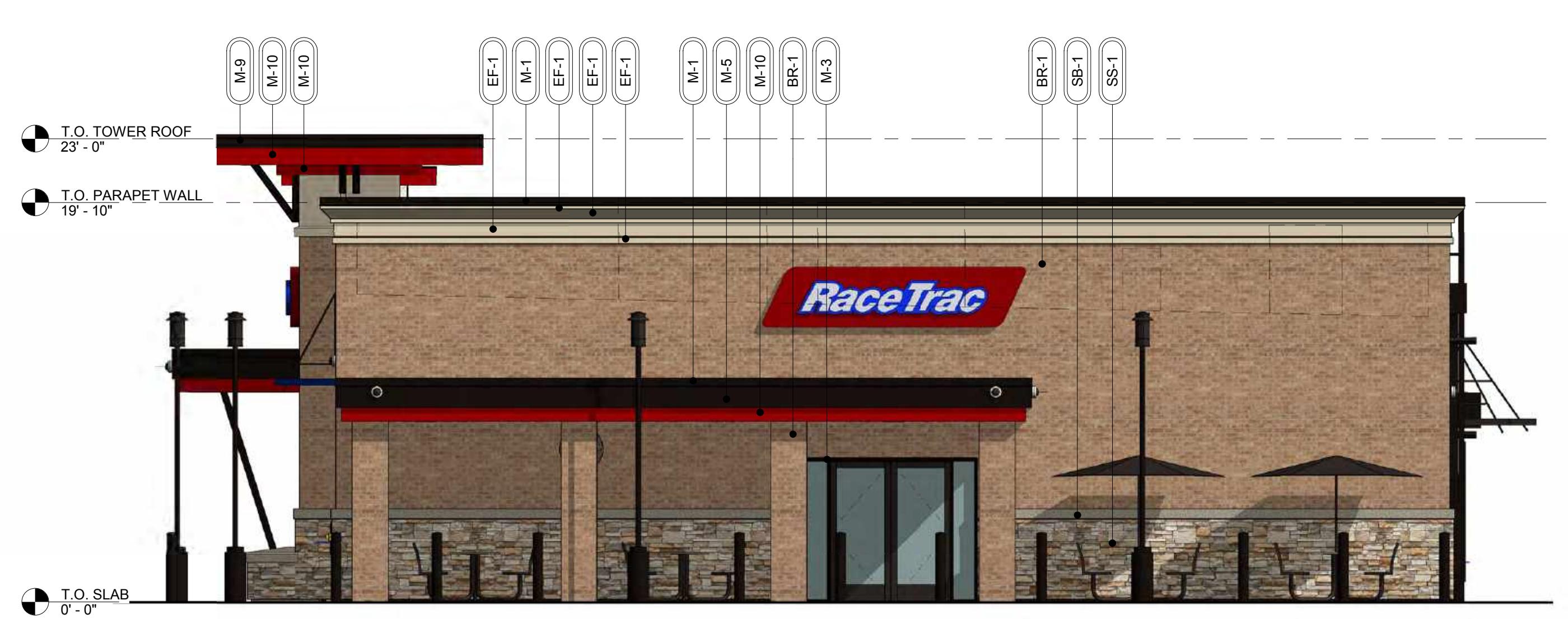
SHEET TITLE

**EXTERIOR
ELEVATIONS**

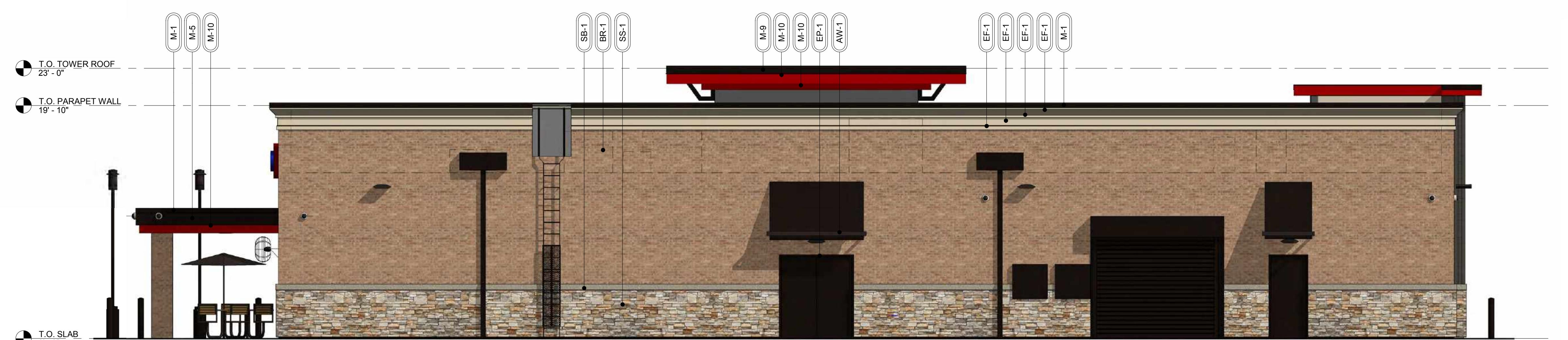
SHEET NUMBER

A300

PRELIMINARY SUBMITTAL



4 **RIGHT ELEVATION**
3/16" = 1'-0"



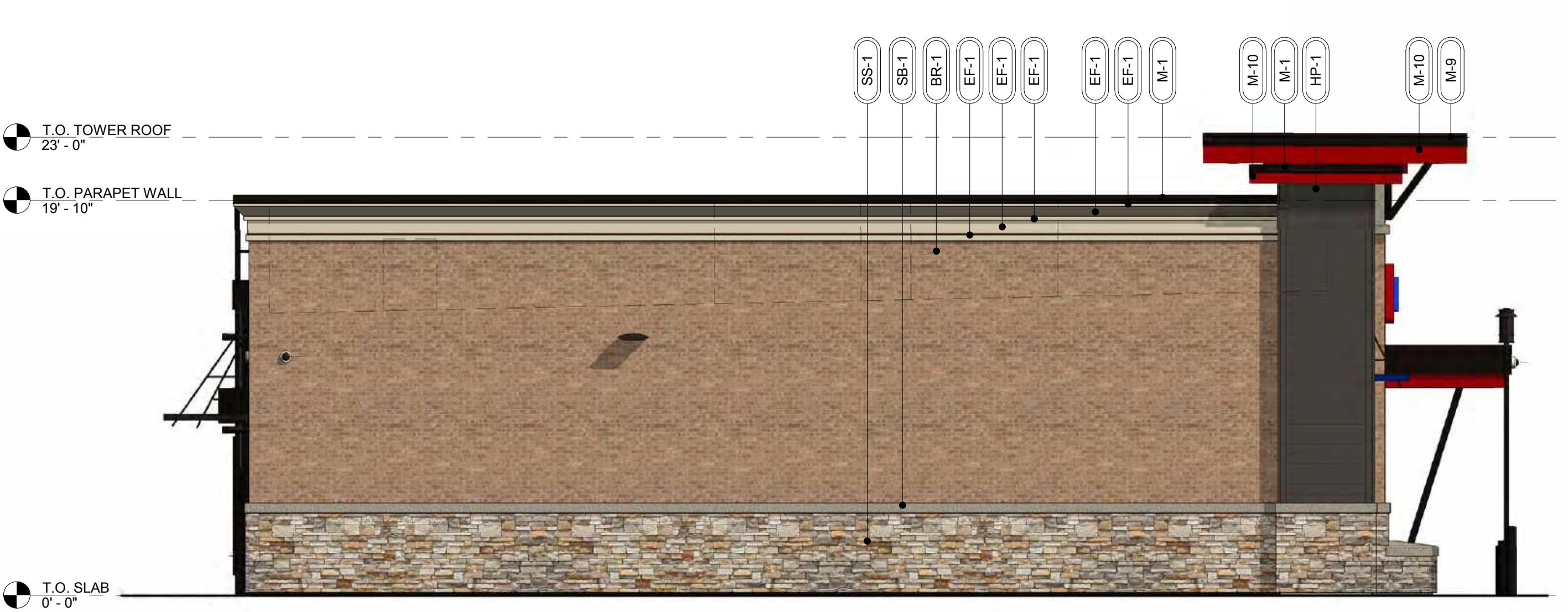
3 **LEFT ELEVATION**
3/16" = 1'-0"



2 **REAR ELEVATION**
3/16" = 1'-0"



1 **FRONT ELEVATION**
3/16" = 1'-0"



3 **LEFT ELEVATION**
3/16" = 1'-0"

LEFT ELEVATION (NON-ENTRY)			
MATERIAL	SQ. FOOT.	% OF ELEVATION	1,203 TOTAL SF
STONE	272	23%	
BRICK	693	57%	
EIFS	99	8%	
GLAZING	0	0%	
METAL	64	5%	
WOOD	75	7%	

ELEVATION	SIGNAGE	DIMENSIONS	AREA
FRONT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF
BANNER		7'-8" X 5'-6"	42 SF

EXTERIOR MATERIAL SCHEDULE			
AWNING	AW-1	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	BR-1	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	CS-1	CONTINENTAL CAST STONE OR APPROVED OTHER	MATCH BORAL TUSCAN LINTEL CHAMPAGNE COLOR 1102 NATURAL STONE; MORTAR COLOR "LIGHT BUFF". SEAL WITH (SL-5) SEALANT.
CEMENT BOARD	HP-1	JAMES HARDIE	ARTISAN V-GROOVE SIDING PAINT SHERWIN WILLIAMS SEALSKIN #7675. BLIND FASTEN AND STAGGER PLANKS PER MANUFACTURER'S RECOMMENDATION
EIFS	EF-1	STO	STO THERM CI "FINE FINISH" APPLICATION; COLOR TO MATCH SW #6141 "SOFTER TAN"
GLAZING	GL-5		CLIMATE ZONES 1 OR 2. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC 0.25-0.27 (1/4" CLEAR TEMPERED 70X1 LOW-E #2 1/2" AIR +1/4" CLEAR + 0.90 SG + 1/4" CLEAR) OR APPROVED ALTERNATE.
GL-7		1-5/16" IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 1 OR 2. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC 0.25-0.27 (1/4" CLEAR TEMPERED 70X1 LOW-E #2 1/2" AIR +1/4" CLEAR SATIN ETCHED #3 + 0.90 SG + 1/4" CLEAR) OR APPROVED ALTERNATE.
METAL	M-1	PREFINISHED 4" 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
	M-2	COLOR DARK BRONZE.	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL (OR APPROVED ALTERNATE)	FG-3000 STOREFRONT SYSTEM (OR APPROVED ALTERNATE)	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M1C22A44
M-5	ALCOA	REYNOBOND PE	COLORWELD 500 "CLASSIC BRONZE"
M-7	VERSATEX	WP4 TONGUE AND GROOVE	PAINT SOFTER TAN
M-9		PREFINISHED 8" 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-10	ALCOA	REYNOBOND PE	DURAGLOSS 3000 "PROGRAM RED"
PAINT	EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO SW #7020 "BLACK FOX"
ROOFING	DURO	DUROLAST	50 MIL MEMBRANE ROOFING SYSTEM
STACKED STONE	SS-1	BORAL	ASPEN COUNTRY LEDGESTONE WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
STONE BAND	SB-1	BORAL	TUSCAN LINTEL CHAMPAGNE MORTAR COLOR "LIGHT BUFF"
TREX	TX-1	SELECT COMPOSITE	1/2" THICKNESS WOODLAND BROWN
WINDOW FILM	WF-1		WINDOW FILM; 3M PRESTIGE SEE A600 FOR WINDOW FILM LOCATIONS
	WF-2		WINDOW FILM; OPAQUE SEE A600 FOR WINDOW FILM LOCATIONS

03/20/2020

PROJECT NUMBER

18.719.00

SHEET TITLE

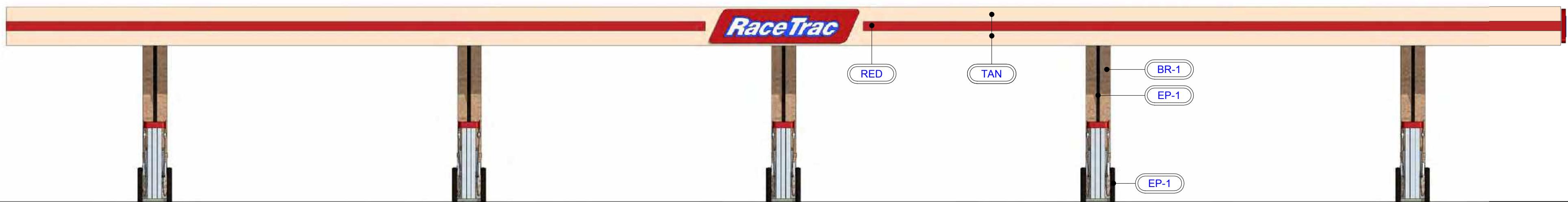
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A300

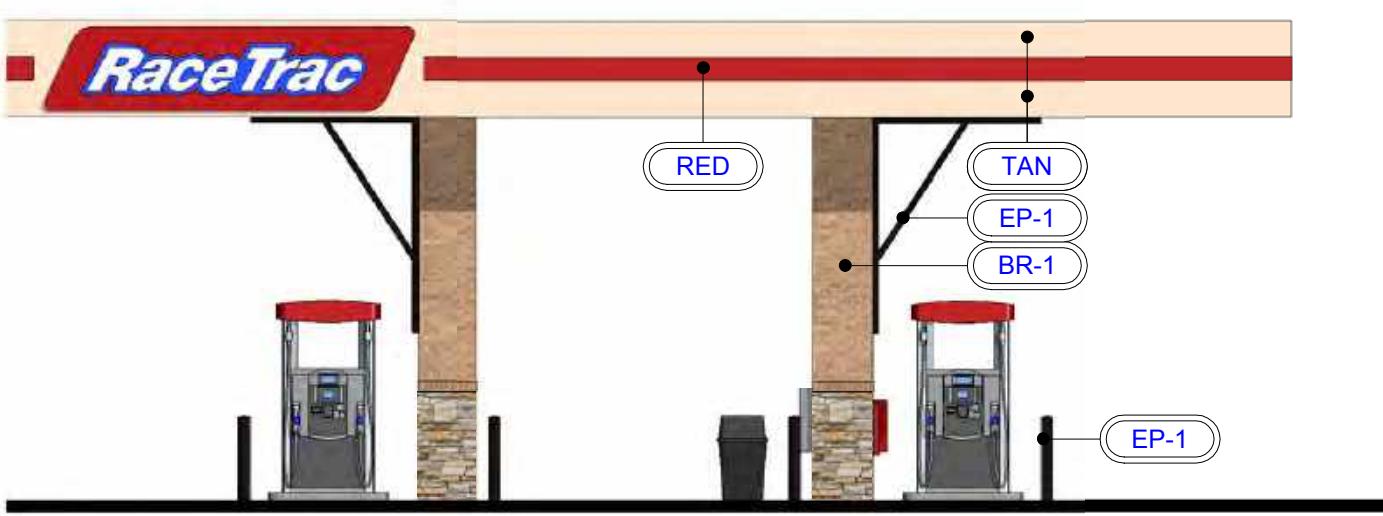
PRELIMINARY SUBMITTAL

FT-2	DALTILE	6"X6" QUARRY TEXTURES - ASHEN GRAY - OTO3	INSTALLED AT 90 DEGREES WITH 3/8" SPACING; GROUT G-1
FT-10	DALTILE	12"X24" VOLUME 1 - ACCENT BROWN - VL78	INSTALL PLANKS IN STRAIGHT STAGGERED PATTERN WITH OVERLAP NOT TO EXCEED 33%; GROUT G-1
WT-5	DALTILE	3"X6" RITTENHOUSE SQUARE - WHITE - 0100	INSTALL TILE IN RUNNING BOND PATTERN; GROUT G-1
WT-7	DALTILE	12"X24" MULTITUDE - ORIGAMI WHITE WAVE - MU16	STRAIGHT LAY TILE PATTERN, 1/8" GROUT LINE; GROUT G-4
WT-9	DALTILE	12"X24" VOLUME 1 - REVERB ASH - VL74	RUNNING BOND PATTERN; GROUT G-2; 3/16" GROUT LINE
FRP-1	MARLITE	P100 WHITE	
WC-1	--	BRAND WALL COVERING - RED	VINYL
WC-8	--	COOLER WALL COVERINGS - BUBBLES	
WC-9	--	BEER/WINE GRAPHIC WALL COVERING	
WC-10	--	COFFEE WALL GRAPHIC WALL COVERING	
WC-11	--	FOOD AREA SOFFIT - NEVAMAR (BAILEY) LAMINATE	
WF-1		WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM	
WF-2		WINDOW FILM; OPAQUE	SEE A600 FOR WINDOW FILM LOCATIONS
FL-1	-	STAINLESS STEEL THROUGH WALL FLASHING	COLOR TO MATCH BR-1
FL-2	-	ANODIZED ALUMINUM SILL FLASHING AND TRIM	ANODIZED BRONZE TO MATCH STOREFRONT
WP-1	HOHMANN AND BARNARD, INC.	QV- QUADRO VENT	CLEAR
ES-1	GEORGIA-PACIFIC GYPSUM.	5/8" DENSGLASS EXTERIOR SHEATHING	SCREW SIZE TO MATCH MANUFACTURER SPECIFICATIONS: #6 x 1/4" BUNGLE HEAD SCREW
ES-2	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		NOTES: PROJECTS MUST ADHERE TO THE FOLLOWING REQUIREMENTS: 1. 5/8" THICK DENSGLASS MINIMUM. 2. 18 GAUGE STUD (MIN). 3. 16" O.C. STUD SPACING. 4. SCREWS DETERMINED BY MANUFACTURER. 5. SEE BUILDING WIND DESIGN FOR WIND SPEED. 6. WIND SPEED DETERMINED
DENSGLASS SHEATHING ATTACHMENT CHART	WIND SPEED (MPH) 115-169 170-215	SCREWS (IN O.C.) 8 6	
ES-3	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-4	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-5	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-6	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-7	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-8	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-9	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-10	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-11	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-12	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-13	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-14	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-15	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-16	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-17	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-18	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-19	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-20	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-21	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-22	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-23	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-24	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-25	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-26	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-27	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-28	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-29	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-30	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-31	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-32	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-33	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-34	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-35	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-36	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-37	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-38	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-39	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-40	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-41	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-42	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-43	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-44	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-45	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-46	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-47	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-48	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-49	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-50	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-51	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-52	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-53	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-54	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-55	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-56	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-57	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-58	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-59	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-60	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-61	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-62	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-63	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-64	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-65	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-66	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-67	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-68	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-69	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-70	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-71	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-72	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-73	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-74	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-75	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-76	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-77	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-78	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-79	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-80	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-81	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-82	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-83	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-84	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-85	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-86	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-87	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-88	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-89	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-90	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-91	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-92	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-93	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-94	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-95	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-96	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-97	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-98	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-99	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-100	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-101	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-102	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-103	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-104	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-105	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-106	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-107	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-108	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-109	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-110	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-111	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-112	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-113	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-114	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-115	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-116	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-117	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-118	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-119	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-120	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-121	5/8" DENSGLASS EXTERIOR SHEATHING		
ES-122	5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKS SCREW @ 6" O.C.		
ES-123	5/8" DENSGLASS EXTERIOR SHEATHING		



2 CANOPY FRONT ELEVATION

2) 1/8" = 1'-0"



1 CANOPY ELEVATION

$$1 \quad \} \quad 1/8" = 1'-0"$$



FUEL CANOPY FINISH SCHEDULE

MANUF.	MATERIAL	COMMENTS
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ROCK, LADDER BRICK, MORTAR COLOR: LIGHT

BORAL	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
BORAL	ASPEN COUNTRY LEDGESTONE	WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"

REFER TO

		REFER TO SPECIFICATION CHART ON SHEET C100
-		REFER TO SPECIFICATION CHART ON SHEET C100

ON SHEET C100

SHERWIN WILLIAMS	EXTERIOR PAINT TO SW #7020 "BLACK FOX"	
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STANDARD CANOPY FASCIA COLOR

SPECIFICATION CHART		
OR LOUT	CANOPY MANUFACTURER	STANDARD COLOR SPECIFICATION

LANE CANOPIES	ETT TAN FASCIA
McGEE CANOPIES	ETT TAN FASCIA

MCGEE CANOPIES ETI TAN FASCIA
MADISON CANOPIES PUEBLO TAN FASCIA

NUMBER

PRELIMINARY SUBMITTAL