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CITY COMMISSION

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LINDA HILL ANDERSON	DIST.2
TRACI L.CALLARI	DIST.3
ADAM GRUBER	DIST.4
KEVIN D. BIEDERMAN	DIST.5
IDELMA QUINTANA	DIST.6

MEETING DATES

2021-07-19	PACO MEETING
2023-01-23	PRELIMINARY TAC MEETING
2023-03-06	FINAL TAC MEETING
TBD	PLANNING & DEVELOPMENT BOARD

CITY OF HOLLYWOOD NEW POLICE HEADQUARTERS

SCOPE OF WORK

THE COMPLETE CONSTRUCTION OF A NEW THREE-STORY POLICE HEADQUARTERS BUILDING, A NEW THREE-STORY PARKING GARAGE INCLUDING THE NEW FIREARMS TRAINING FACILITY ON THE GROUND FLOOR; A NEW SERVICE YARD; AND PERIMETER SECURITY WALLS AND FENCES. THE WORK ALSO INCLUDES SITE DEVELOPMENT INCLUDING NEW SITE PUBLIC ACCESS ROADWAY FROM SOUTH PARK ROAD, HARDSCAPES, LANDSCAPING, AND SURFACE PARKING, FOR THE BUILDING SITE. THE POLICE HEADQUARTERS BUILDING WILL PROVIDE APPROXIMATELY 98,865 GROSS SQUARE FEET. THE STRUCTURED PARKING GARAGE HAS A CAPACITY OF APPROXIMATELY 283 CARS INCLUDING 9 OVERSIZED VEHICLE SPACES ON THE GROUND LEVEL. SECURE SURFACE PARKING IS PROVIDED FOR APPROXIMATELY 55 VEHICLES, AND PUBLIC PARKING FOR APPROXIMATELY 20 VEHICLES ON THE NEW ACCESS ROADWAY.

PROJECT INFORMATION

BUILDING ADDRESS ----- TBD

OCCUPANCY TYPE ----- GOVERNMENT USE

CONSTRUCTION TYPE--- IIA

DESCRIPTION----- NEW HOLLYWOOD POLICE DEPARTMENT

GROSS LOT AREA----- 4.99 ACRES

NET LOT AREA----- 3.63 ACRES

ZONING DISTRICT----- GU - GOVERNMENT USE

LAND USE DESIGNATION-- OSR

REQUIRED SETBACKS----- TBD BY LOCAL JURISDICTION (see zoning tables)

DRAWING INDEX

INDEX	
G-000	PRELIMINARY TAC MASTER INDEX
SURVEY	
VL-101	ALTA/NSPS LAND TITLE SURVEY
VT-101	SPECIFIC PURPOSE SURVEY VEGETATION ASSESSMENT
ARCHITECTURE	
A-050	ARCHITECTURAL SITE PLAN
A-055	PROJECT DIAGRAMS
A-056	ACCESSIBILITY DIAGRAMS
A-101	LEVEL 1 - FLOOR PLAN
A-102	LEVEL 2 - FLOOR PLAN
A-103	LEVEL 3 - FLOOR PLAN
A-104	LEVEL 4 - FLOOR PLAN FUTURE ADDITION
A-200	BUILDING ELEVATIONS
A-201	BUILDING ELEVATIONS
A-400	ENLARGED BUILDING SIGNAGE
A-401	ENLARGED WASTE MANAGEMENT ENCLOSURE
A-900	BUILDING RENDERINGS
CIVIL	
C-001.	COVER SHEET
C-002.	GENERAL NOTES
C-003	ENGINEERING PLAN
C-100	EROSION CONTROL PLAN
C-101	EROSION CONTROL DETAILS
C-102	EROSION CONTROL DETAILS
C-200	SIGNAGE AND STRIPING PLAN
C-300	PAVING AND GRADING PLAN
C-301	PAVING AND GRADING DETAILS
C-302	CROSS SECTIONS
C-400	DRAINAGE PLAN
C-410	SOUTH PARK ROAD IMPROVEMENTS
C-500	WATER AND SEWER PLAN
C-501.	GENERAL UTILITY DETAILS
C-502.	GENERAL UTILITY DETAILS
C-503.	GENERAL UTILITY DETAILS
C-504.	GENERAL UTILITY DETAILS
C-505.	GENERAL UTILITY DETAILS

DRAWING INDEX

C-506.	WATER DETAILS
C-507.	WATER DETAILS
C-508.	WATER DETAILS
C-509.	WATER DETAILS
C-510.	SEWER DETAILS
C-511.	SEWER DETAILS
C-512.	SEWER DETAILS
LIGHTING	
E-011	SITE PHOTOMETRICS
TREE DISPOSITION	
TS-010	OVERALL SITE PLAN TREE SKETCH
TS-100	ENLARGED PARTIAL SITE PLAN - TREE SKETCH
TS-101	ENLARGED PARTIAL SITE PLAN - TREE SKETCH
LANDSCAPE	
L001.	GENERAL NOTES
L002.	COMPOSITE LANDSCAPE PLAN
L003	ILLUSTRATED LANDSCAPE PLAN
L101.	HARDSCAPE MATERIAL PLAN
L110	HARDSCAPE MATERIAL PLAN - ENLARGEMENT
L201.	LAYOUT PLAN
L400.	PLANTING PLAN
L401.	PLANTING PLAN
L402.	PLANTING PLAN
L405.	IRRIGATION PLAN
L601.	SITE LIGHTING PLAN
L801.	DETAILS - HARDSCAPE
L802.	DETAILS - HARDSCAPE
L901.	DETAILS - PLANTING
NEW POLICE HEADQUARTERS RADIO TOWER	
T-1	COVER SHEET
C-1.	SITE PLAN
C-2	ENCLOSED COMPOUND ANTENNA ACCESSORIES
C-3	ICE BRIDGE DETAILS AND COMPONENTS
C-4	DETAILS
C-5	DETAILS
C-6	NOTES
C-7	FOUNDATION PAD FOR COLLOCATION EQUIPMENT

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PROJECT

CITY OF HOLLYWOOD
NEW POLICE
HEADQUARTERS

ADDRESS: TBD

REVISIONS

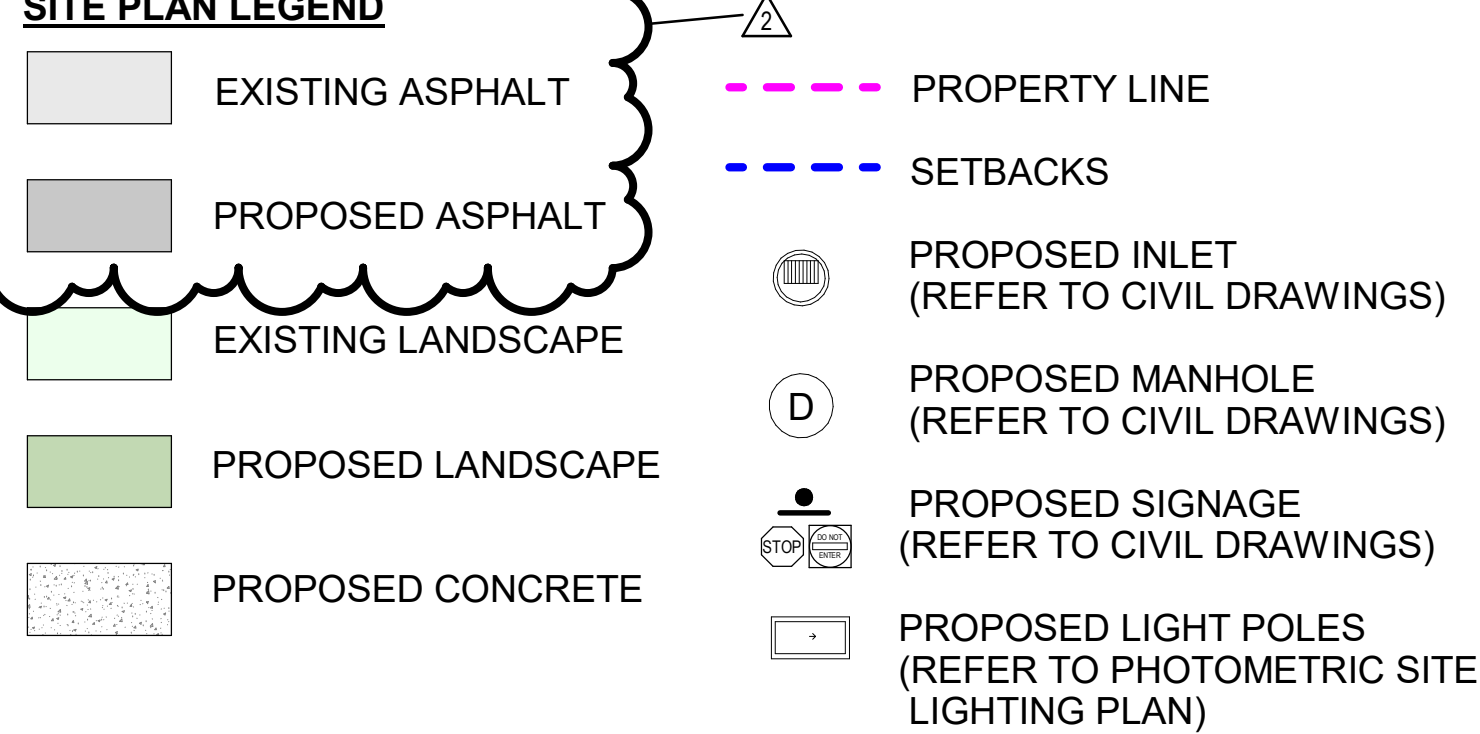
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PRELIMINARY TAC MASTER INDEX

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1" = 30'-0"

NOTE:

1. MOT PLANS WILL PROVIDED FOR THE CITY BUILDING PERMIT REVIEW.

DISCLAIMER:

AS PER CHAPTER 119, OF THE FLORIDA STATUTES (FLORIDA PUBLIC RECORDS LAW) PROVIDES THAT CERTAIN PUBLIC RECORDS ARE CONFIDENTIAL AND EXEMPT FROM PUBLIC DISCLOSURE IN ORDER TO PROTECT THE SECURITY OF THE STATE. THE FLORIDA STATUTES DO NOT REQUIRE ANY PARTY TO DISCLOSE INFORMATION THAT IS CONFIDENTIAL. THE STATE OF FLORIDA HAS THE STATUTORY OBLIGATION TO PROTECT SUCH RECORDS FROM PUBLIC DISCLOSURE AND ONLY DISCLOSE CONFIDENTIAL INFORMATION TO PARTIES WHO AGREE TO KEEP SUCH INFORMATION CONFIDENTIAL.

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- 1. INFORMATION THAT IS REQUIRED BY A CONTRACTOR/CONSULTANT TO RESPECT THE INTERNAL LAYOUT AND STRUCTURAL ELEMENTS OF A BUILDING OR OTHER STRUCTURE, INCLUDING 911, E911, OR PUBLIC SAFETY RADIO COMMUNICATION SYSTEM INFRASTRUCTURE PLANS, OWNED OR OPERATED BY THE CITY AND/OR BROWARD COUNTY;
- 2. INFORMATION THAT IS REQUIRED BY A CONTRACTOR/CONSULTANT TO RESPECT PHOTOGRAPHS, AUDIO AND VISUAL REPRESENTATIONS, SCHEMATIC DIAGRAMS, SURVEYS, RECOMMENDATIONS, OR CONSULTATIONS RELATING DIRECTLY TO THE PHYSICAL SECURITY OR FIRE SAFETY OF THE FACILITY OR REVEALING SECURITY OR

SITE PROJECT DATA
1. LEGAL DESCRIPTION

ALL THAT PRECED AND PARCELS OF LAND LYING IN THE SOUTH PART OF SECTION 21, TOWNSHIP 31 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, INCLUDING A PORTION OF "DACEY LANE" (CITY OF MIAMI) THAT BEGINS 235' FROM THE SOUTHWEST CORNER OF BLOCK "C" OF THE PLAT "HOLLYWOOD-1452" 1948 AS SHOWN IN PLAT BOOK 68, PAGE 15, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH SOUTHWEST CORNER OF SECTION 21, TOWNSHIP 31 SOUTH, RANGE 42 EAST, THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 21, NORTH 87° 22' 31" WEST, A DISTANCE OF 266.26 FEET TO A POINT ON THE NORTH LINE OF THE TRACTED SOUTH-PARK ROAD, NORTH 42° 40' 00" WEST, IN OFFICIAL RECORD BOOK 24564 PAGE 575-579, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THENCE ALONG SAID ROAD TO SOUTH PARK ROAD BEARING 04° 04' 00" NORTH, NORTH 89° 16' 27" WEST, A DISTANCE OF 33.14 FEET TO A POINT OF CURVATURE, HANGING BEING ON THE EAST RIGHT-OF-WAY OF SOUTH PARK, THENCE ALONG SAID CURVE BEARING SOUTH 79° 03' 00" WEST, A DISTANCE OF 10.91 FEET TO A POINT OF BEGINNING, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

1. ALONG A NON TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 71.60 FEET, A CENTRAL ANGLE OF 37° 50' 22", AN ARC DISTANCE OF 967.32 FEET, AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 11° 50' 00" EAST A DISTANCE OF 345.78 FEET TO A POINT OF TANGENCY;

2. THENCE NORTH 01° 37' 41" WEST, A DISTANCE OF 206.85 FEET TO A POINT;

3. THENCE NORTH 07° 24' 24" WEST, A DISTANCE OF 500.03 FEET TO A POINT;

4. THENCE NORTH 01° 37' 41" WEST, A DISTANCE OF 44.57 FEET TO A POINT;

5. THENCE NORTH 07° 24' 24" EAST, A DISTANCE OF 23.81 FEET TO THE POINT OF BEGINNING;

6. THENCE NORTH 07° 24' 24" EAST, A DISTANCE OF 28.51 FEET TO A POINT;

7. THENCE NORTH 01° 37' 41" EAST, A DISTANCE OF 43.35 FEET TO A POINT;

8. THENCE NORTH 01° 37' 41" EAST, A DISTANCE OF 48.82 FEET TO A POINT;

9. THENCE NORTH 01° 37' 41" WEST, A DISTANCE OF 43.84 FEET TO A POINT;

THENCE BEARING EAST 1° 03' 00" RIGHT-OF-WAY OF SOUTH PARK BEARING NORTH 88° 27' 30" EAST, A DISTANCE OF 107.82 FEET TO A POINT; THENCE NORTH 87° 22' 31" EAST, A DISTANCE OF 23.86 FEET TO A POINT OF CURVATURE, THENCE ALONG A NON TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 4.50 FEET, AN ARC DISTANCE OF 13.03 FEET, AND BEING SUBTENDED BY A CHORD WHICH BEARS SOUTH 1° 03' 00" WEST, A DISTANCE OF 6.72 TO A POINT; THENCE SOUTH 89° 16' 27" WEST, A DISTANCE OF 26.16 FEET TO A POINT; THENCE SOUTH 89° 16' 27" WEST, A DISTANCE OF 30.53 FEET TO A POINT; THENCE SOUTH 89° 16' 27" WEST, A DISTANCE OF 30.16 FEET TO A POINT OF BEGINNING, SAID PARCELS DESCRIBING AN AREA OF 237.76 SQ. ACRES, MORE OR LESS.

2. ZONING / LAND USE / SERVICES	
EXISTING	PROPOSED
ZONING	GOVERNMENT USE
FUTURE LAND USE	TBD
WATER SERVICE	HOLLYWOOD WATER SERVICE
LAND USE	TBD

3. SETBACKS	
REQUIRED	PROVIDED
NORTH SIDE	74' - 2"
EAST SIDE (BACK)	4' - 0"
SOUTH SIDE	3' - 0"
WEST SIDE (FRONT)	46' - 2"

4. SITE & MASSING BREAKDOWN	
SITE AREA (LOT GROSS AREA)	4.9997 ACRES = 217,365 SF
SITE AREA (LOT NET AREA)	3.675 ACRES = 160,106 SF
BUILDING FOOTPRINT	42,551 SF
PARKING BUILDING FOOTPRINT	35,464 SF
DENSITY	N/A

5. FLOOR AREA	
REQUIRED	PROVIDED
BUILDING GROSS AREA	98,865 SF
PARKING BUILDING GROSS AREA	36,304 SF
PERVIOUS AREA	23,487 SF (10.46%)
IMPREVIOUS AREA	186,303 SF (85.54%)

6. BUILDING HEIGHT	
MAXIMUM ALLOWED	
NO MAXIMUM HEIGHT OF STRUCTURES SHALL BE REQUIRED. THE CITY COMMISSION UPON THE RECOMMENDATION OF THE PLANNING/ANALYSIS DEVELOPMENT BOARD SHALL DETERMINE THE APPROPRIATE HEIGHT LIMITATIONS	

7. LANDSCAPE AREA	
REQUIRED	PROVIDED
N/A	31,487 SF (14.46%)

8. LOADING ZONE	
REQUIRED	PROVIDED per 7.2. (C)
YES	(3) 10' x 25' x 14' LOADING BERTHS

9. STRUCTURE LENGTH	
MAIN BUILDING	PARKING BUILDING
NORTH FACADE	280' - 0"
EAST FACADE	110' - 2"
SOUTH FACADE	115' - 0"
WEST FACADE	264' - 3"

10. PARKING DATA	
REQUIRED	PROVIDED
OFFICE USE	1 PER 250 SF = 431/212 / 250 = 172 SPACES
ASSEMBLY USE	1 PER 60 SF = 246/860 = 41 SPACES
WAREHOUSE / STORAGE	1 PER 1,000 SF = 226/8,000 = 23 SPACES

SITE PLAN PARKING SPACES (B2)	
LEVEL 1 (MULTI-PURPOSE ROL)	LEVEL 1: PARKING GARAGE SPACES (64)
LEVEL 2 (CLASSROOM)	LEVEL 2: PARKING GARAGE SPACES (77)
LEVEL 2 (CLASSROOM)	LEVEL 3: PARKING GARAGE SPACES (97)
LEVEL 2 (CLASSROOM)	FUTURE PARKING LEVEL (97)

11. ADA PARKING SPACES	
REQUIRED	
SITE PLAN PARKING SPACES	
ADA PARKING SPACES LEVEL 1	2 ADA SPACES
ADA PARKING SPACES LEVEL 2	1 ADA SPACE
ADA PARKING SPACES LEVEL 3	1 ADA VAN ACCESSIBLE STALLS
ADA PARKING SPACES LEVEL 4	2 ADA SPACES
ADA PARKING SPACES LEVEL 5	2 ADA SPACES
ADA PARKING SPACES LEVEL 6	2 ADA SPACES
ADA PARKING SPACES LEVEL 7	2 ADA SPACES
ADA PARKING SPACES LEVEL 8	2 ADA SPACES
ADA PARKING SPACES LEVEL 9	2 ADA SPACES
ADA PARKING SPACES LEVEL 10	2 ADA SPACES
ADA PARKING SPACES LEVEL 11	2 ADA SPACES
ADA PARKING SPACES LEVEL 12	2 ADA SPACES

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PROJECT

CITY OF HOLLYWOOD
NEW POLICE
HEADQUARTERS

ADDRESS : TBD

REVISIONS

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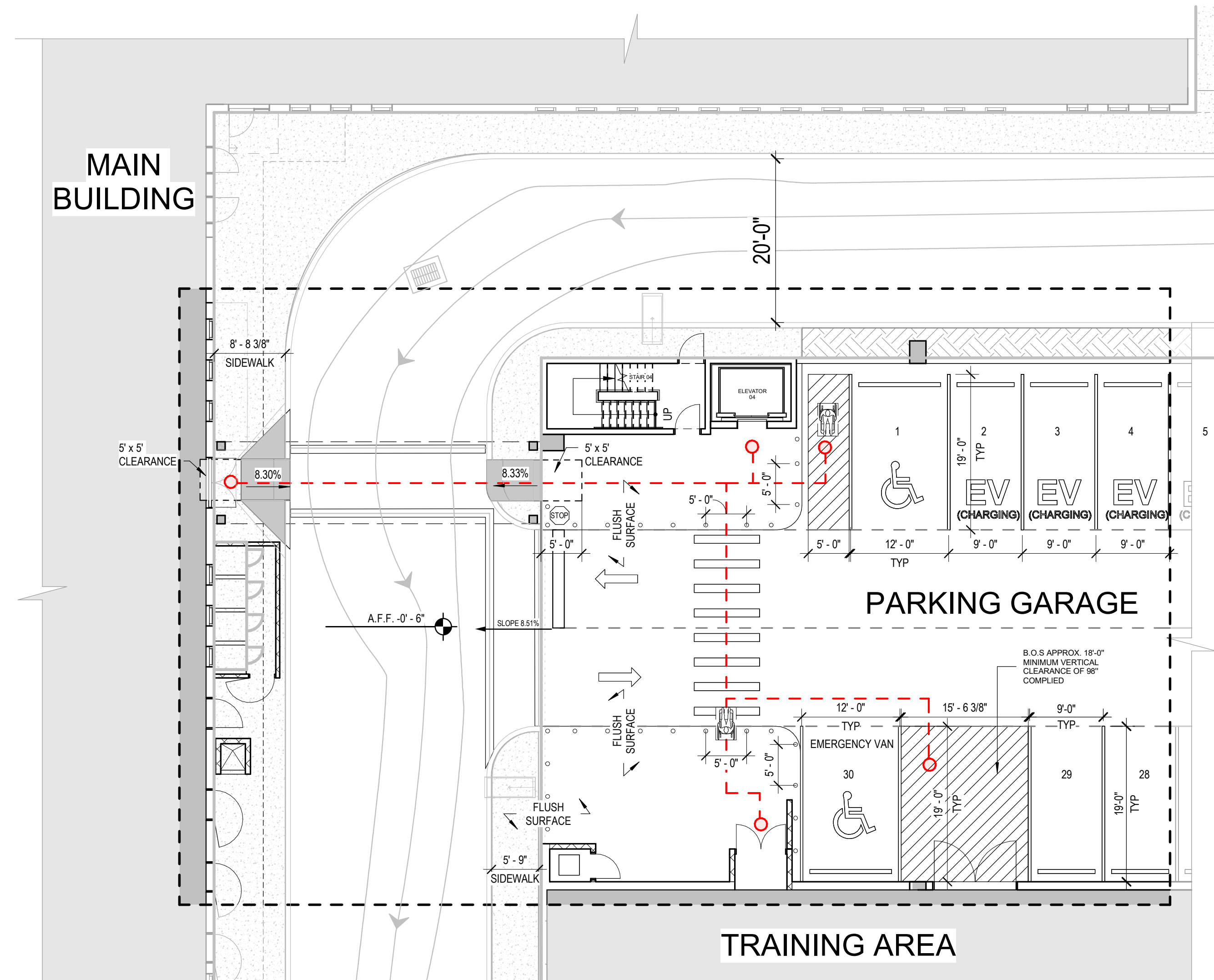
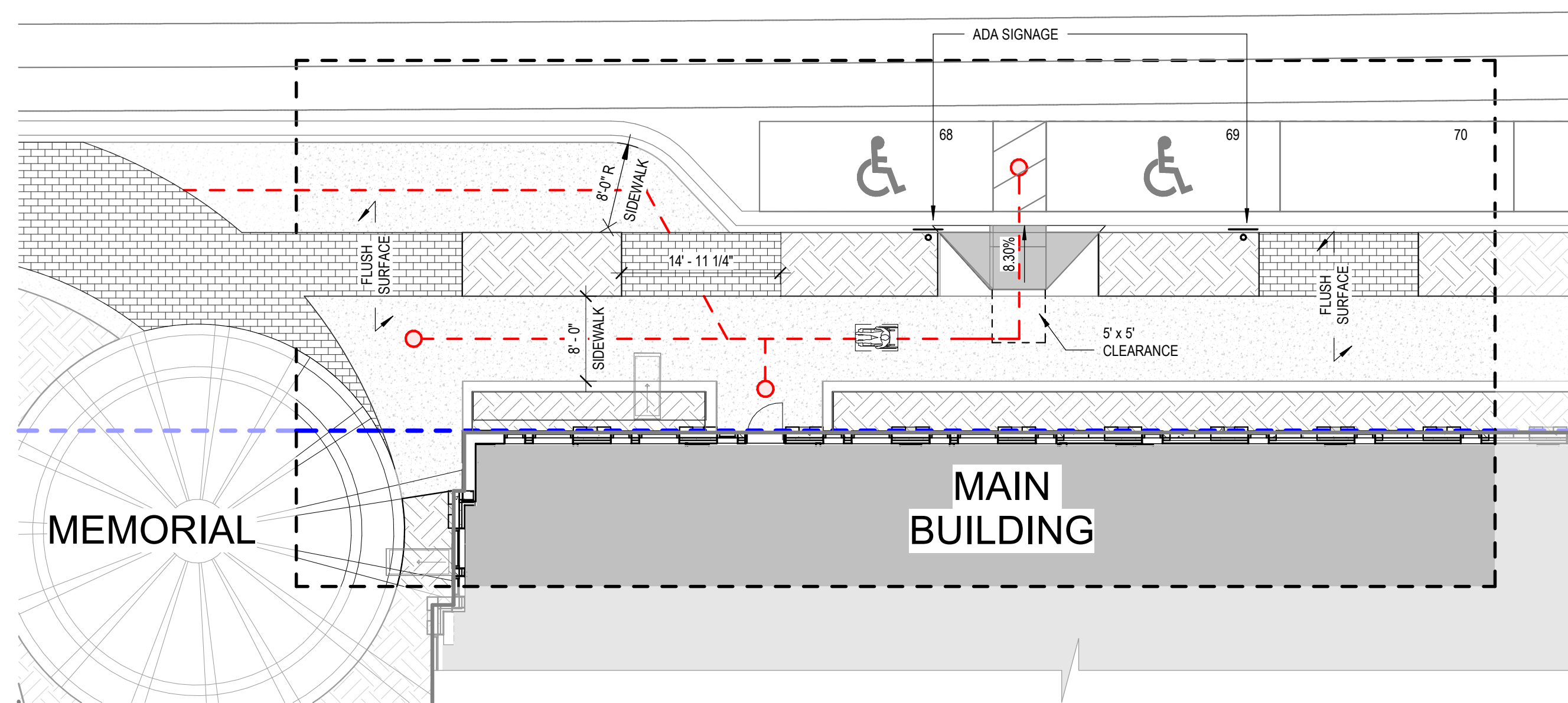
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
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PROJECT

CITY OF HOLLYWOOD
NEW POLICE
HEADQUARTERS

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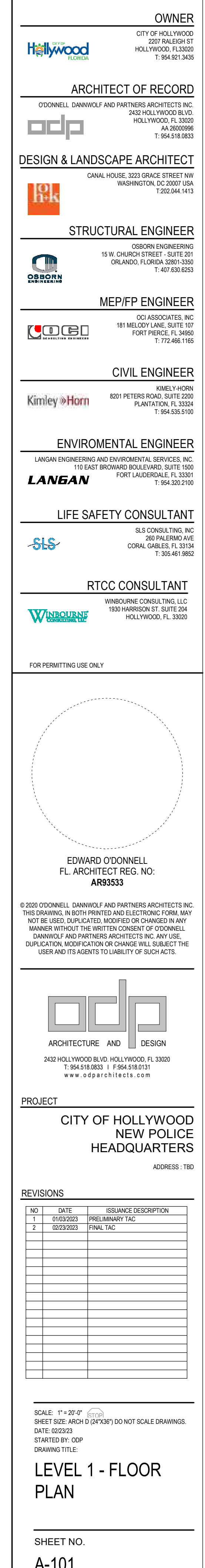
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ACCESSIBILITY
DIAGRAMS

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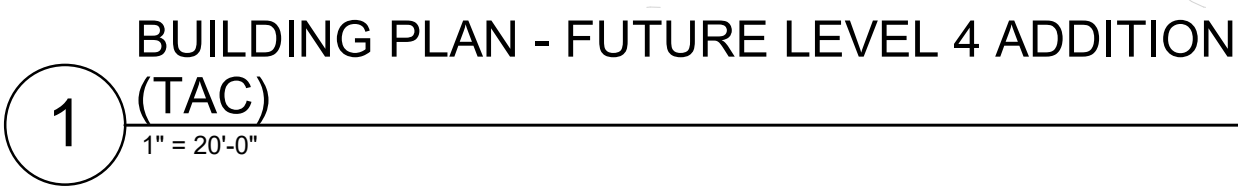
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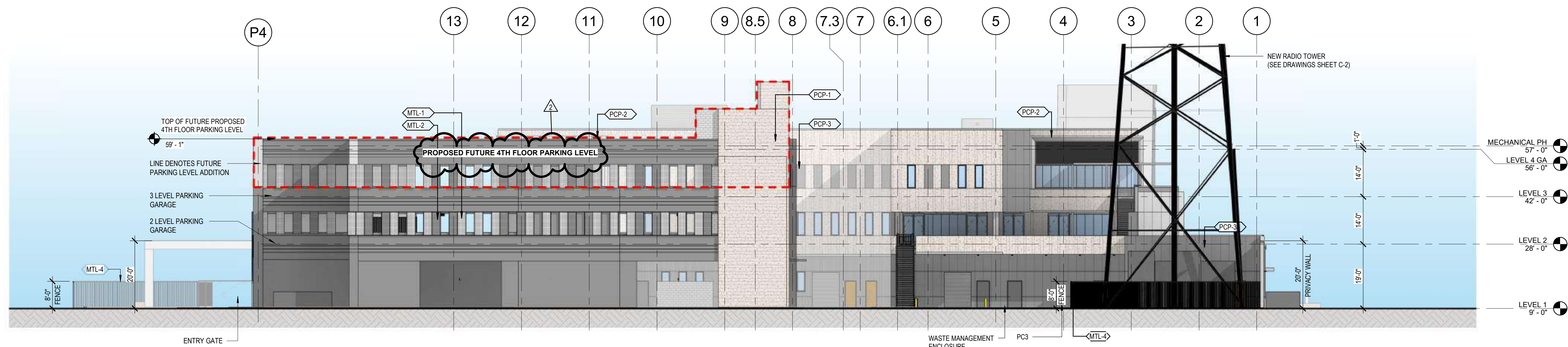
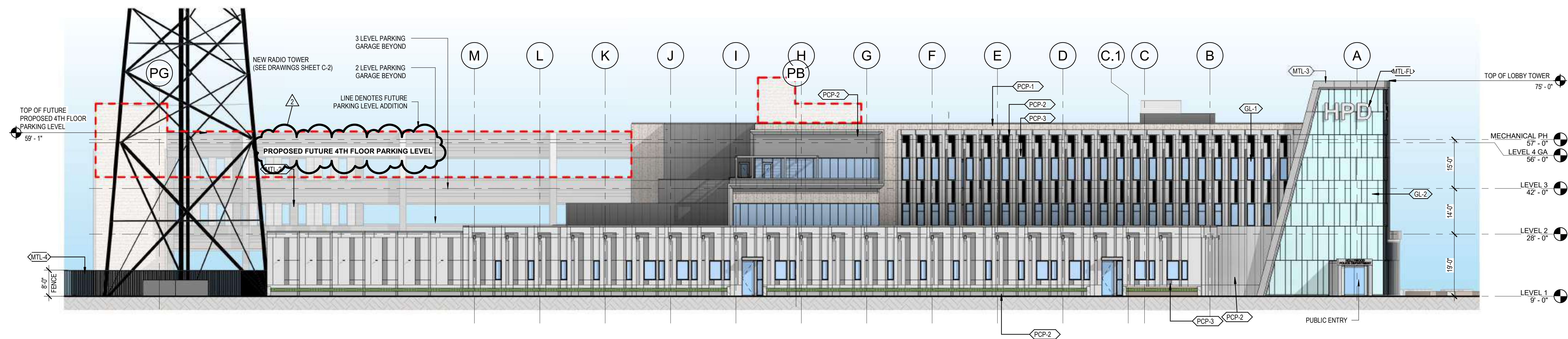


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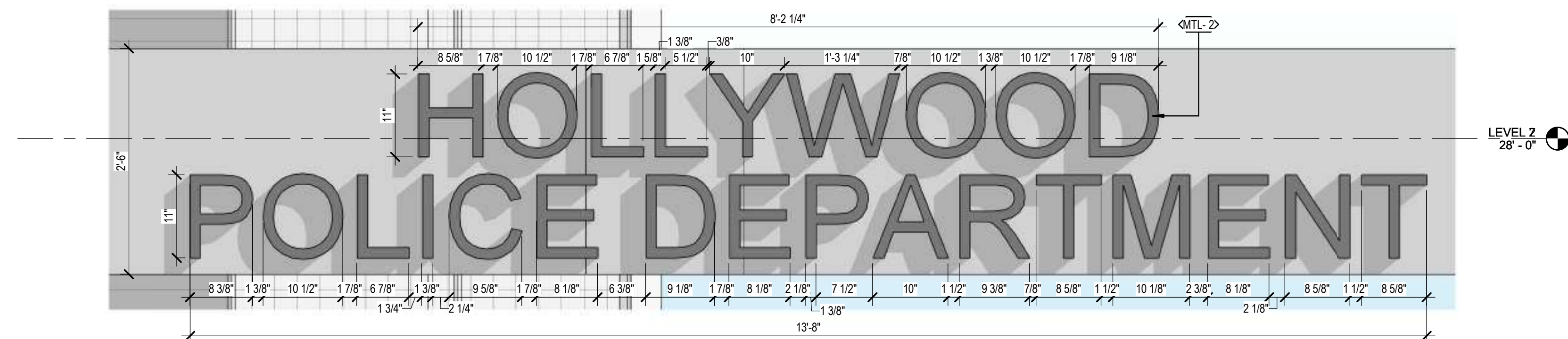
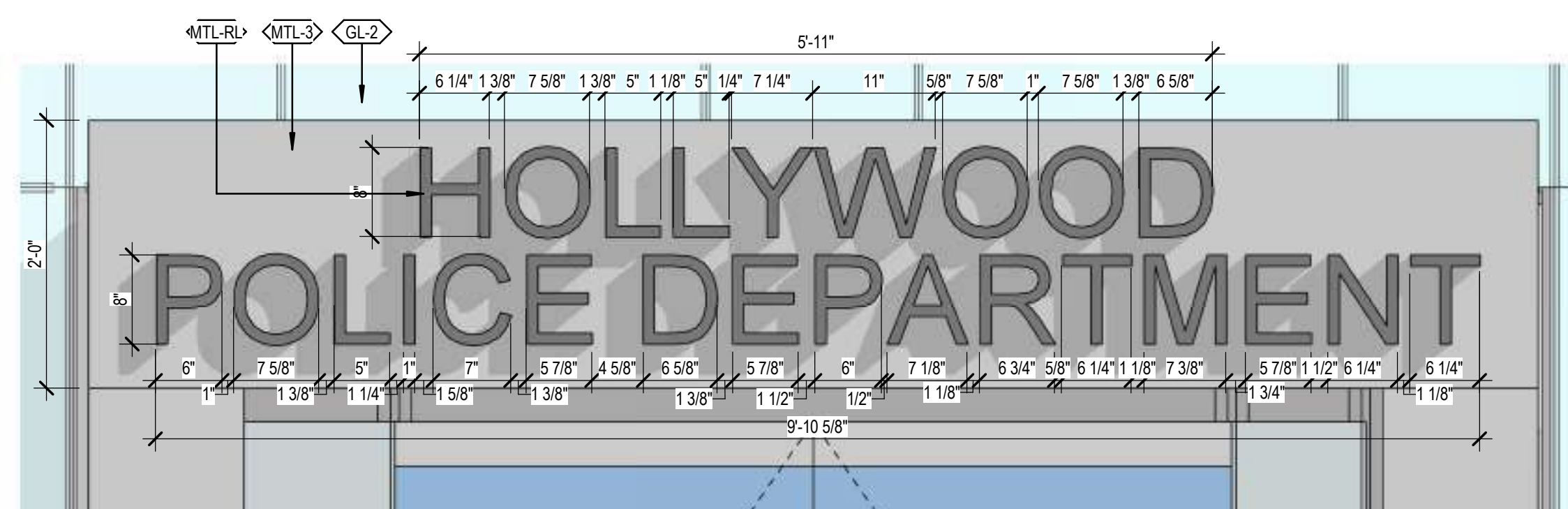
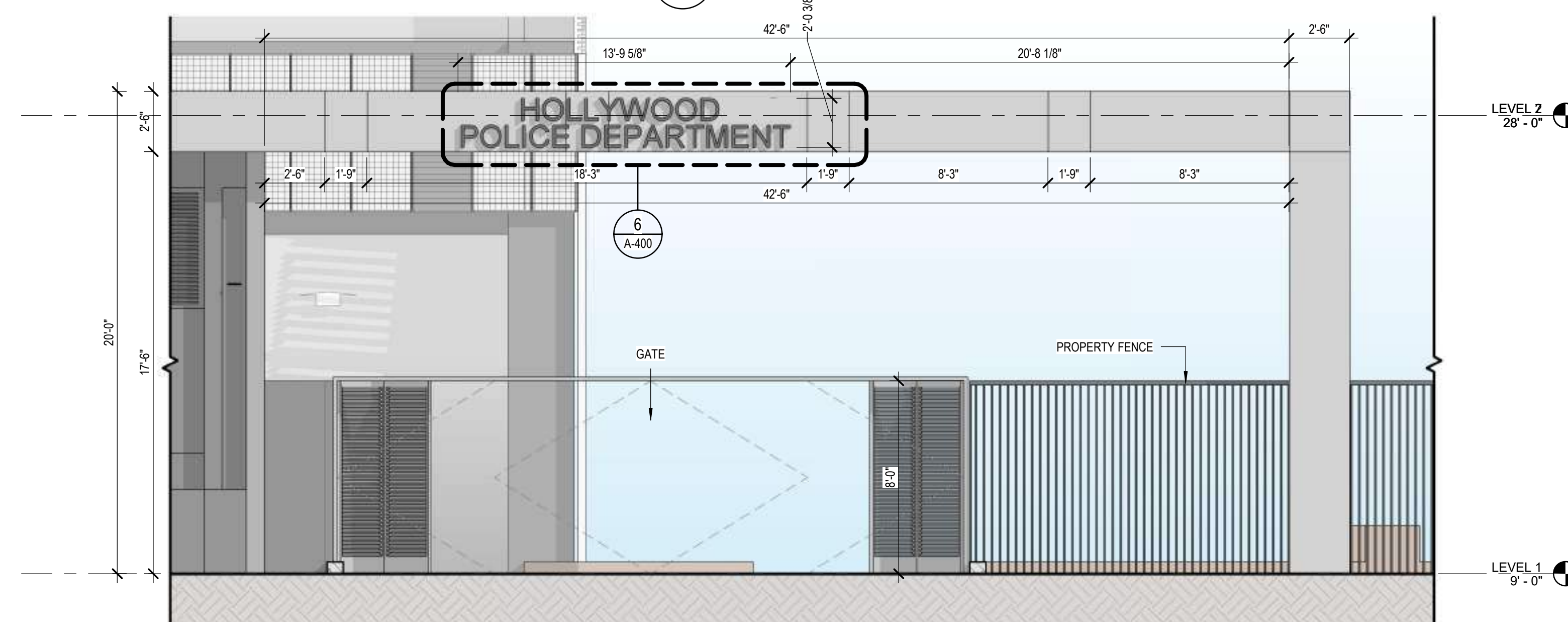
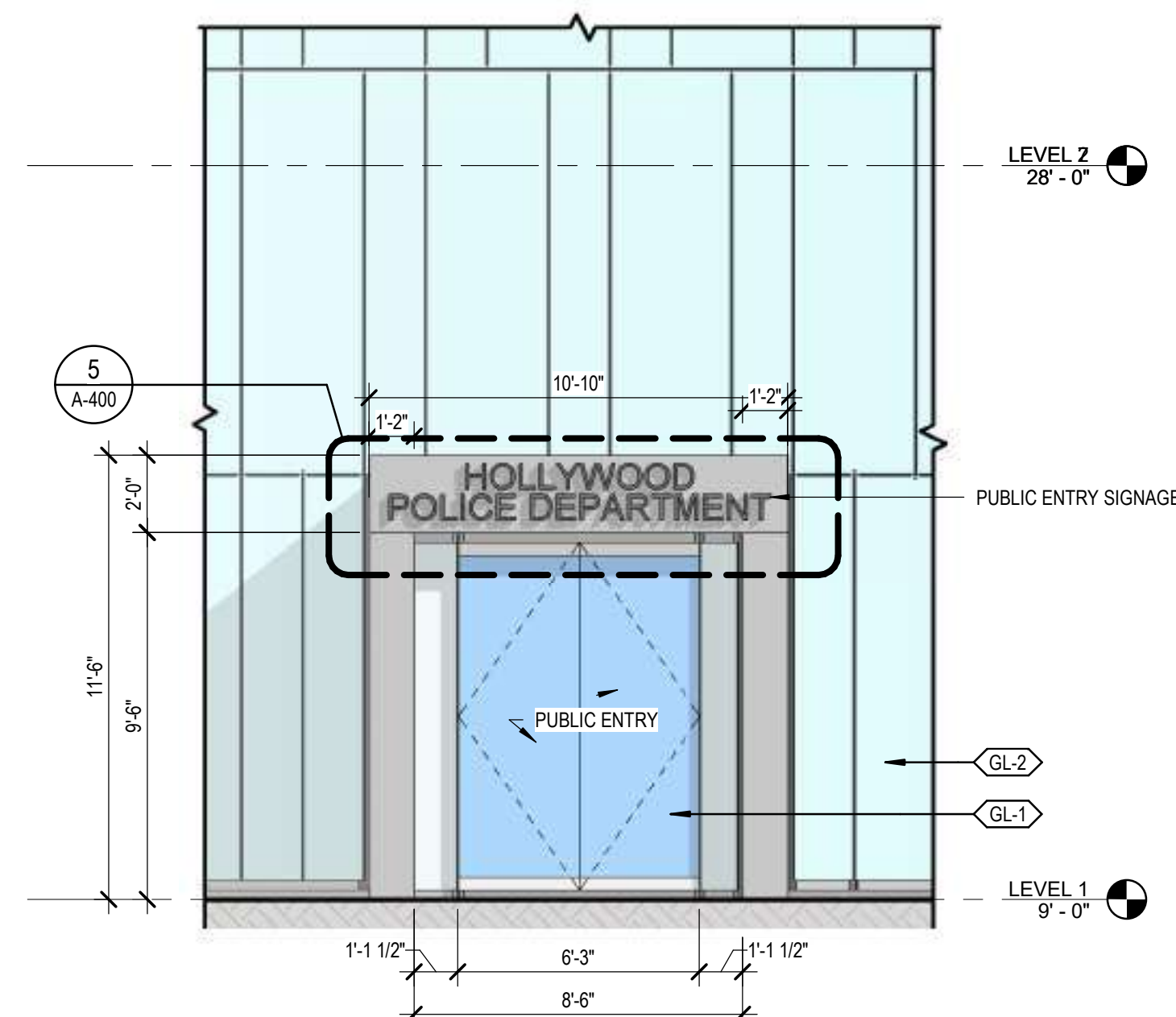
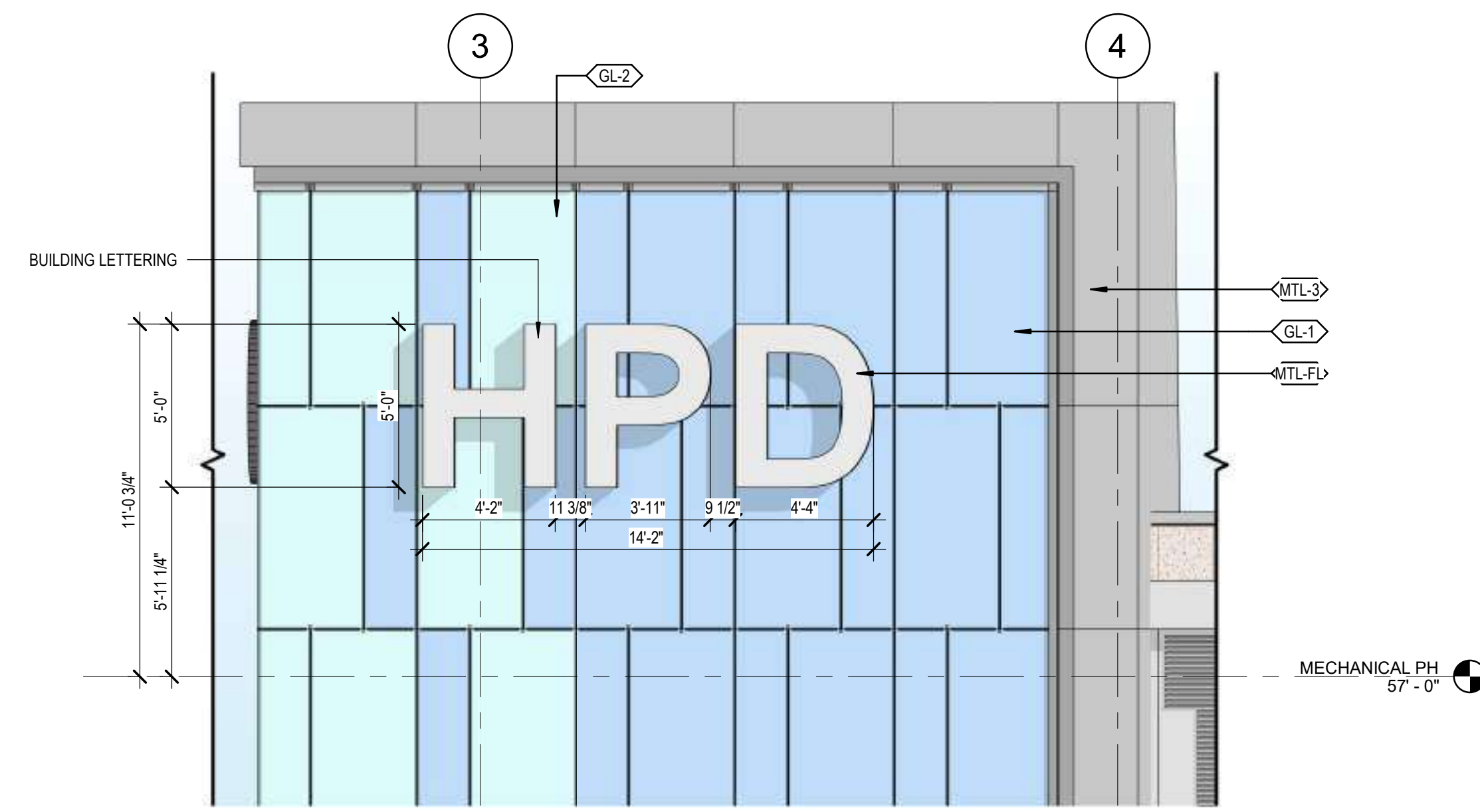
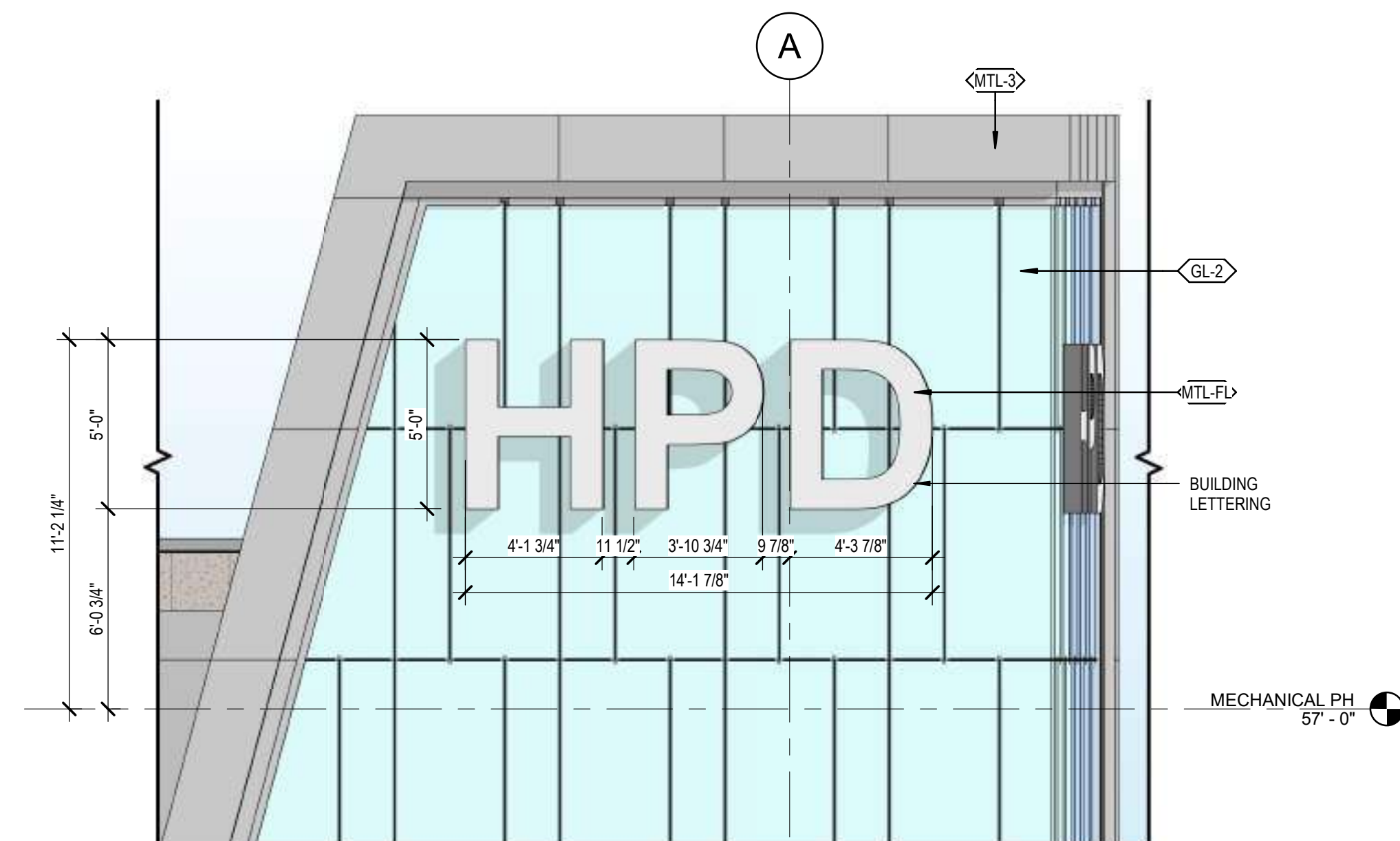


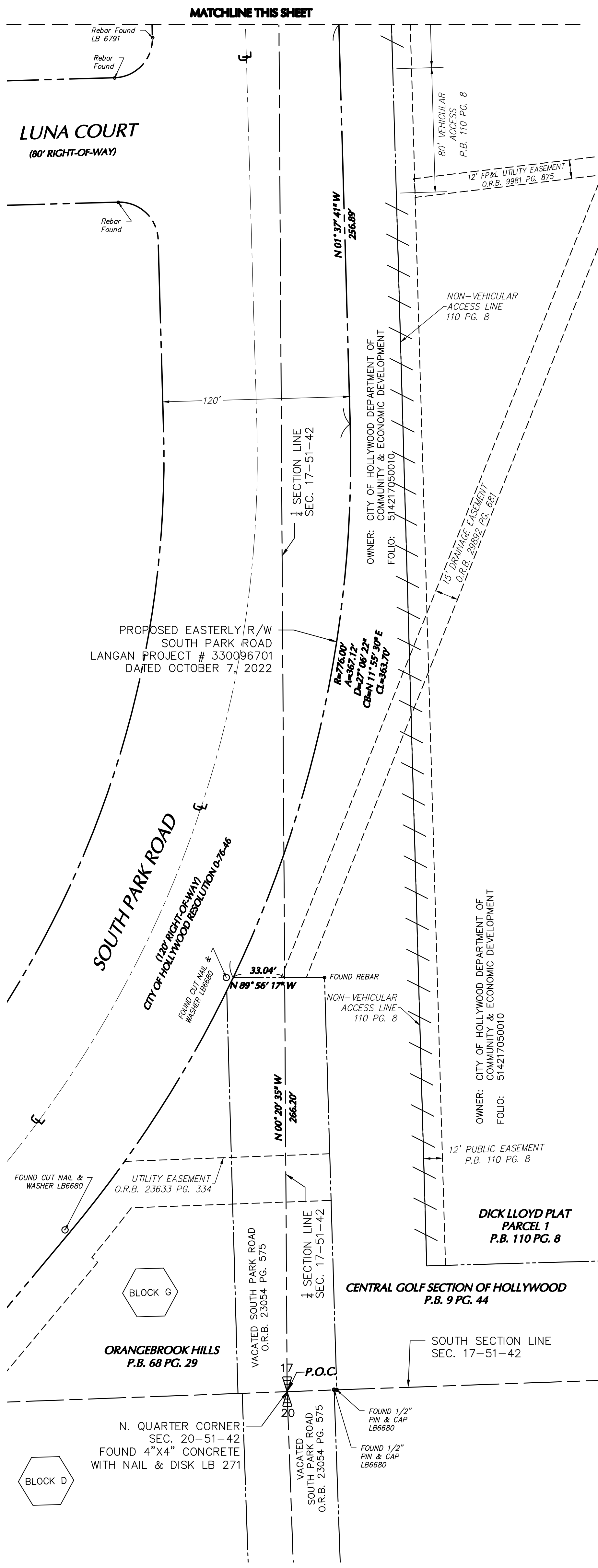


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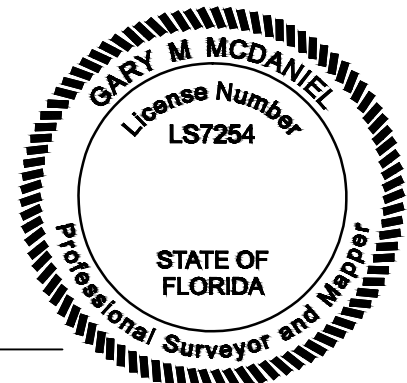


SURVEYOR'S CERTIFICATION

TO: O'DONNELL DANNWOLF & PARTNERS ARCHITECTS INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 201 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALL TOWN AND TOWN TITLES SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 5, 7(A), 8, 11 (OBSERVED EVIDENCE) AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 5, 2022.

DATE OF PLAN OR MAP: SEE TITLE BLOCK FOR DATE OF LAST REVISION.



GARY M. MCDANIEL
PROFESSIONAL SURVEYOR AND MAPPER
LICENSE NUMBER 187254
LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.
LICENSED BUSINESS NUMBER LB8172, STATE OF FLORIDA

THE FEATURES SHOWN ON THIS SURVEY ARE VALID AS TO THE DATE OF THE LAST DATE OF FIELD WORK, NOT TO THE SIGNATURE DATE OF THIS CERTIFICATION.

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY THE ABOVE NAMED PROFESSIONAL SURVEYOR AND MAPPER USING A CRYPTOGRAPHIC PRIVATE KEY AND DIGITAL CERTIFICATE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE AUTHENTICATION CODE MUST BE VERIFIED ON ALL ELECTRONIC COPIES.

LEGEND

(NOT SHOWN TO SCALE)

- NAIL & WASHER (FOUND/SET)
- MONUMENT (FOUND/SET)
- ✱ SECTION CORNER
- ✱ QUARTER CORNER
- PIN AND CAP (FOUND/SET)
- REBAR (FOUND/SET)
- UTILITY POLE
- GUY ANCHOR
- MONITORING WELL
- UTILITY BOX/PEDESTAL (AS IDENTIFIED)
- UTILITY METER (AS IDENTIFIED)
- UTILITY MARKER

- UNDERGROUND VAULT
- CATCH BASIN
- ✱ LIGHTING FIXTURE
- ✱ IRRIGATION CONTROL VALVE
- ✱ CLEANOUT
- MANHOLE (AS IDENTIFIED)
- UTILITY VALVE (AS IDENTIFIED)
- SIGN
- LIGHT POLES
- GATE

- ✱ PALM TREE
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- BUILDING OUTLINE
- ASPHALT PAVEMENT
- CONCRETE
- GRAVEL ROAD
- WATER

- CHAIN LINK FENCE
- IRON FENCE
- OVERHEAD WIRES
- TREE/HEDGE LINE
- LANDSCAPING EDGE

- MAJOR CONTOUR INTERVAL (EXISTING)
- MINOR CONTOUR INTERVAL (EXISTING)
- EASEMENT BOUNDARY
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- ADJOINING PROPERTY BOUNDARY
- SECTION LINE
- NON-ACCESS LINE
- FEMA FLOOD ZONE BOUNDARY

OWNERSHIP & ENCUMBRANCE REPORT

AMERICAN LAND TITLE ASSOCIATION TITLE SEARCH ISSUED BY NATIONAL TITLE AND ABSTRACT COMPANY

SEARCH NUMBER: 21-47714
PARCEL NUMBER: 514217050010
SEARCH DATE: FEBRUARY 5, 1926 THROUGH DECEMBER 14, 2022 AT 2:30 P.M.
COVENANTS, RESTRICTIONS, EASEMENTS AND RELATED DOCUMENTS:

- ALL MATTERS SHOWN ON THE PLAT OF CENTRAL GOLF SECTION OF HOLLYWOOD, AS RECORDED FEBRUARY 5, 1926, IN PLAT BOOK 9 AT PAGE 44.
- ALL MATTERS SHOWN ON THE PLAT OF DICK LLOYD PLAT AS RECORDED JUNE 12, 1981, IN PLAT BOOK 110 AT PAGE 8.
- ORDINANCE VACATING PORTIONS OF WASHINGTON BOULEVARD RECORDED JULY 13, 1953 IN OFFICIAL RECORDS BOOK 54, PAGE 325.
- EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY RECORDED MARCH 12, 1958 IN OFFICIAL RECORDS BOOK 1171, PAGE 567.
- RESOLUTION DEDICATING 34TH AVENUE RECORDED APRIL 27, 1965 IN OFFICIAL RECORDS BOOK 149.
- ORDINANCE AUTHORIZING THE CITY OF HOLLYWOOD TO SWAP LANDS WITH HOLLYWOOD HEIGHTS, INC. RECORDED OCTOBER 18, 1965 IN OFFICIAL RECORDS BOOK 110, PAGE 112.
- FINAL JUDGMENT AGAINST THE CITY OF HOLLYWOOD RECORDED MAY 14, 1970 IN OFFICIAL RECORDS BOOK 163, PAGE 782.
- EASEMENT IN FAVOR OF THE FLORIDA POWER & LIGHT COMPANY RECORDED JULY 16, 1975 IN OFFICIAL RECORDS BOOK 6302, PAGE 638.
- EASEMENT IN FAVOR OF THE FLORIDA POWER & LIGHT COMPANY RECORDED JANUARY 26, 1977 IN OFFICIAL RECORDS BOOK 6886, PAGE 140.
- EASEMENT IN FAVOR OF THE FLORIDA POWER & LIGHT COMPANY RECORDED APRIL 15, 1977 IN OFFICIAL RECORDS BOOK 6987, PAGE 234.
- EASEMENT IN FAVOR OF THE FLORIDA POWER & LIGHT COMPANY RECORDED JANUARY 14, 1982 IN OFFICIAL RECORDS BOOK 9951, PAGE 875.
- EASEMENT IN FAVOR OF THE CITY OF HOLLYWOOD RECORDED JULY 3, 1995 IN OFFICIAL RECORDS BOOK 23833, PAGE 334.
- EASEMENT FROM THE CITY OF HOLLYWOOD RECORDED AUGUST 10, 1995 IN OFFICIAL RECORDS BOOK 23775, PAGE 720.
- DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS BY THE CITY OF HOLLYWOOD RECORDED JANUARY 16, 2001 IN OFFICIAL RECORDS BOOK 31189, PAGE 1338 AND CORRECTED ON JUNE 21, 2004 IN OFFICIAL RECORDS BOOK 37687, PAGE 1252.
- ORDINANCES AMENDING THE BROWARD COUNTY LAND USE PLAN RECORDED NOVEMBER 21, 2002 IN OFFICIAL RECORDS BOOK 34145, PAGE 1891, DECEMBER 26, 2005 IN OFFICIAL RECORDS BOOK 41179, PAGE 1696, MAY 8, 2007 IN OFFICIAL RECORDS BOOK 44035, PAGE 55 AND DECEMBER 26, 2007 IN OFFICIAL RECORDS BOOK 44036, PAGE 1402.
- PERPETUAL EASEMENT TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED OCTOBER 4, 2018 IN OFFICIAL RECORDS INSTRUMENT #11535822.

AMERICAN LAND TITLE ASSOCIATION TITLE SEARCH ISSUED BY NATIONAL TITLE AND ABSTRACT COMPANY

SEARCH NUMBER: 21-47712
PARCEL NUMBER: 514217050010
SEARCH DATE: FEBRUARY 5, 1926 THROUGH DECEMBER 14, 2022 AT 2:30 P.M.
COVENANTS, RESTRICTIONS, EASEMENTS AND RELATED DOCUMENTS:

- ALL MATTERS SHOWN ON THE PLAT OF CENTRAL GOLF SECTION OF HOLLYWOOD, AS RECORDED FEBRUARY 5, 1926, IN PLAT BOOK 9 AT PAGE 44.
- ALL MATTERS SHOWN ON THE PLAT OF DICK LLOYD PLAT AS RECORDED JUNE 12, 1981, IN PLAT BOOK 110 AT PAGE 8.
- EASEMENT IN FAVOR OF THE FLORIDA POWER & LIGHT COMPANY RECORDED JULY 16, 1975 IN OFFICIAL RECORDS BOOK 6302, PAGE 638.
- EASEMENT IN FAVOR OF THE FLORIDA POWER & LIGHT COMPANY RECORDED JANUARY 26, 1977 IN OFFICIAL RECORDS BOOK 6886, PAGE 140.
- EASEMENT IN FAVOR OF THE FLORIDA POWER & LIGHT COMPANY RECORDED APRIL 15, 1977 IN OFFICIAL RECORDS BOOK 6987, PAGE 234.
- ORDINANCES AMENDING THE BROWARD COUNTY COMPREHENSIVE PLAN RECORDED IN OFFICIAL RECORDS BOOK 34145, PAGE 1891, OFFICIAL RECORDS BOOK 41179, PAGE 1696, OFFICIAL RECORDS BOOK 44035, PAGE 55 AND OFFICIAL RECORDS BOOK 44036, PAGE 1402.
- PERPETUAL EASEMENT IN FAVOR OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RECORDED OCTOBER 4, 2018 IN OFFICIAL RECORDS INSTRUMENT #11535822.

AMERICAN LAND TITLE ASSOCIATION TITLE SEARCH ISSUED BY NATIONAL TITLE AND ABSTRACT COMPANY

SEARCH NUMBER: 21-47713
PARCEL NUMBER: 514217050010
SEARCH DATE: FEBRUARY 5, 1926 THROUGH DECEMBER 14, 2022 AT 2:30 P.M.
COVENANTS, RESTRICTIONS, EASEMENTS AND RELATED DOCUMENTS:

- ALL MATTERS SHOWN ON THE PLAT OF HOLLYWOOD HILLS - 1968, AS RECORDED APRIL 24, 1969 IN PLAT BOOK 68 AT PAGE 15.
- ALL MATTERS SHOWN ON THE PLAT OF HOLLYWOOD HILLS AS RECORDED MAY 30, 1925 IN PLAT BOOK 6 AT PAGE 22.
- QUIT-CLAIM DEED FROM HOME SEEKERS REALTY COMPANY TO HOLLYWOOD, INC. RECORDED NOVEMBER 6, 1971 IN OFFICIAL RECORDS BOOK 4698, PAGE 970.
- ORDINANCE ABANDONING PORTIONS OF STREETS RECORDED JULY 22, 1976 IN OFFICIAL RECORDS BOOK 6662, PAGE 774.
- QUIT-CLAIM DEED FROM THE CITY OF HOLLYWOOD TO HOLLYWOOD, INC. RECORDED AUGUST 30, 1976 IN OFFICIAL RECORDS BOOK 6852, PAGE 825.
- EASEMENT IN FAVOR OF FLORIDA POWER & LIGHT COMPANY RECORDED MARCH 25, 1977 IN OFFICIAL RECORDS BOOK 6957, PAGE 268.
- ORDINANCES AMENDING THE BROWARD COUNTY COMPREHENSIVE PLAN RECORDED IN OFFICIAL RECORDS BOOK 34145, PAGE 1891, OFFICIAL RECORDS BOOK 41179, PAGE 1696, OFFICIAL RECORDS BOOK 44035, PAGE 55 AND OFFICIAL RECORDS BOOK 44036, PAGE 1402.

SURVEYED DESCRIPTION

ALL THAT PIECE AND PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 17, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, INCLUDING A PORTION OF "DICK LLOYD PLAT" AS SHOWN IN PLAT BOOK 110, PAGE 8, AND A PORTION OF THE EAST 40 FEET OF BLOCK "D" OF THE PLAT "HOLLYWOOD HILLS-1968" AS SHOWN IN PLAT BOOK 68, PAGE 15, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 17, TOWNSHIP 51 SOUTH, RANGE 42 EAST, THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 17, NORTH 00°20'55" WEST A DISTANCE OF 266.20 FEET TO A POINT ON THE NORTH LINE OF THE VACATED SOUTH PARK ROAD RIGHT-OF-WAY AS SHOWN IN OFFICIAL RECORDS BOOK 23054, PAGE 573-576, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

THENCE ALONG SAID VACATED SOUTH PARK ROAD RIGHT-OF-WAY, NORTH 89°56'17" WEST A DISTANCE OF 33.04 FEET TO A POINT OF CURVATURE, SAID POINT BEING ON THE EAST RIGHT-OF-WAY OF SOUTH PARK ROAD;

THENCE ALONG SAID SOUTH PARK ROAD RIGHT-OF-WAY FOR THE FOLLOWING (9) COURSES:

- ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 776.00 FEET, A CENTRAL ANGLE OF 27°00'22", AN ARC DISTANCE OF 367.12 FEET, AND BEING SUBTENDED BY A CHORD WHICH BEARS NORTH 11°52'50" EAST A DISTANCE OF 363.70 FEET TO A POINT OF TANGENCY;
- THENCE NORTH 01°37'41" WEST A DISTANCE OF 256.89 FEET TO A POINT;
- THENCE NORTH 00°56'26" WEST A DISTANCE OF 500.01 FEET TO A POINT;
- THENCE NORTH 01°03'37" EAST A DISTANCE OF 64.57 FEET TO A POINT;
- THENCE NORTH 01°02'34" EAST A DISTANCE OF 153.93 FEET TO THE POINT OF BEGINNING;
- THENCE NORTH 01°02'34" EAST A DISTANCE OF 256.51 FEET TO A POINT;
- THENCE NORTH 01°02'41" EAST A DISTANCE OF 82.10 FEET TO A POINT;
- THENCE NORTH 01°02'38" EAST A DISTANCE OF 43.62 FEET TO A POINT;
- THENCE NORTH 01°37'41" WEST A DISTANCE OF 43.84 FEET TO A POINT;

THENCE DEPARTING SAID EAST RIGHT-OF-WAY OF SOUTH PARK ROAD NORTH 89°27'36" EAST A DISTANCE OF 421.48 FEET TO A POINT OF CURVATURE;

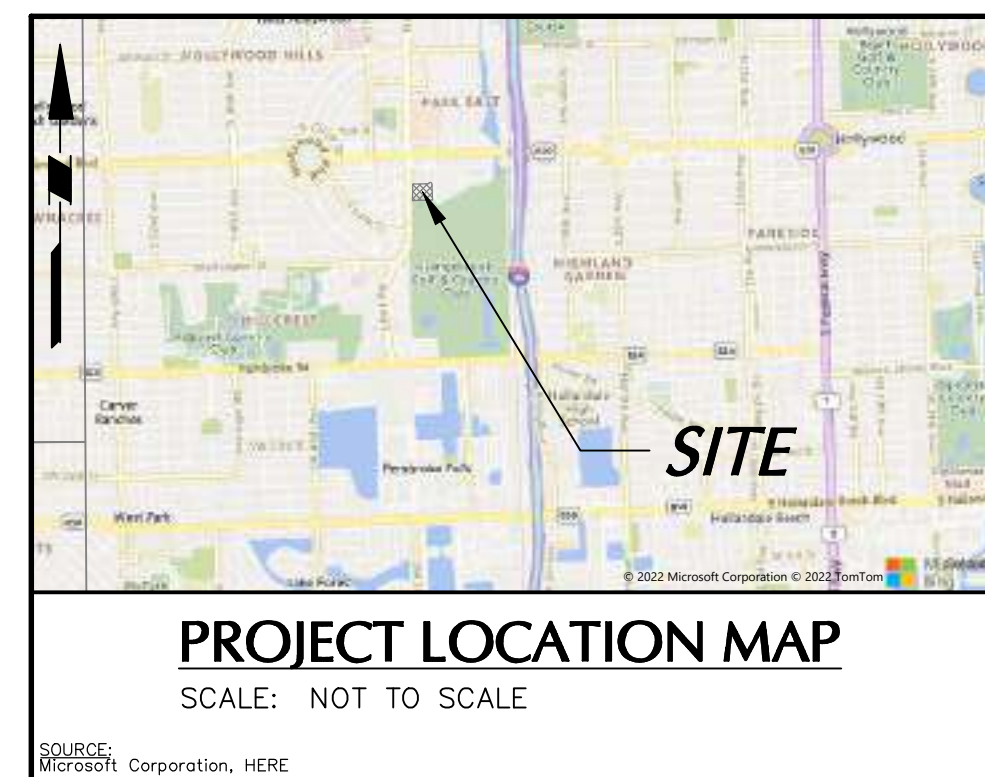
THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 44.50 FEET, A CENTRAL ANGLE OF 157°06'58", AN ARC DISTANCE OF 122.03 FEET, AND BEING SUBTENDED BY A CHORD WHICH BEARS SOUTH 71°51'37" EAST A DISTANCE OF 87.23 FEET TO A POINT;

THENCE SOUTH 03°53'15" WEST A DISTANCE OF 29.10 FEET TO A POINT;

THENCE SOUTH 01°36'09" EAST A DISTANCE OF 387.33 FEET TO A POINT;

THENCE SOUTH 89°27'36" WEST A DISTANCE OF 518.43 FEET TO THE POINT OF BEGINNING;

SAID PARCEL ENCOMPASSING AN AREA OF 217,786 SQUARE FEET OR 4.9997 ACRES, MORE OR LESS.

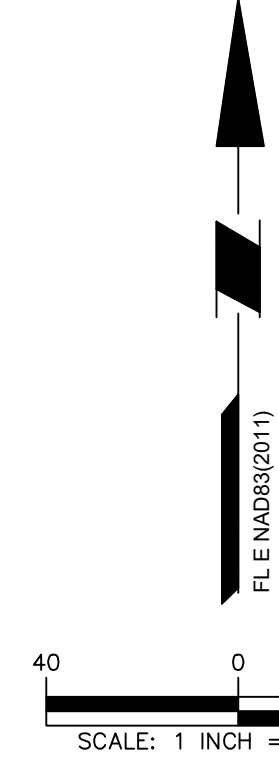


ABBREVIATIONS

- ENG. — ENGINEERING
- FEMA — FEDERAL EMERGENCY MANAGEMENT AGENCY
- FDOT — FLORIDA DEPARTMENT OF TRANSPORTATION
- FPL — FLORIDA POWER AND LIGHT
- BFE — BASE FLOOD ELEVATION
- (D) — DEED BEARING/DISTANCE
- (M) — MEASURED BEARING/DISTANCE
- L.A. — LIMITED ACCESS
- P.O.B. — POINT OF BEGINNING
- P.O.C. — POINT OF COMMENCEMENT
- R/W — RIGHT-OF-WAY
- LB — LICENSED BUSINESS
- A — ARC LENGTH
- CB — CHORD BEARING
- CL — CHORD LENGTH
- Δ — DELTA ANGLE
- R — RADIUS
- F.A.C. — FLORIDA ADMINISTRATIVE CODE
- No. — NUMBER
- O.R.B. — OFFICIAL RECORD BOOK
- PG. — PAGE
- P.C.N. — PARCEL, CONTROL NUMBER
- P.B. — PLAT BOOK
- GR — GRATED INLET
- BLVD. — BOULEVARD
- INV. — INVERT
- EDGE OF PAVEMENT
- CONC. — CONCRETE

SURVEYOR'S NOTES

- SURVEY DATA ACQUISITION WAS PERFORMED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES WITH A LAST DAY OF ACQUISITION ON AUGUST 5TH, 2022. INITIAL SURVEY DATA COMPUTATIONS AND ANALYSIS WERE COMPLETED ON AUGUST 12, 2022.
- ALL SYMBOLS USED TO DEPICT IMPROVEMENTS ARE NOT TO SCALE.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40' OR SMALLER, UNLESS OTHERWISE NOTED. LINEAR UNITS SHOWN ARE U.S. SURVEY FEET.
- TYPE OF SURVEY: A LANDS AND TITLE SURVEY PER CHAPTER 54-17 F.A.C. USE OF THIS SURVEY FOR PURPOSES OTHER THAN THAT FOR WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AND WERE ESTABLISHED BY GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) OBSERVATIONS BASED ON THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN).
- CONTOUR LINES SHOWN ON THIS SURVEY ARE DERIVED FROM A DIGITAL ELEVATION MODEL, GENERATED FROM AERIAL LIDAR DATA COLLECTED ON MAY 11, 2022 WITH AN ESTIMATED PRECISION OF +/- 0.2 FEET.
- THERE ARE NO INHERENT GAPS, GORES OR HATUS TO THE SURVEYED PROPERTY.
- THE STREET ADDRESS OF THE SUBJECT PROPERTY IS: 400 ENTRADA DRIVE, HOLLYWOOD, FL 33021.
- THE SUBJECT PROPERTY ADJACENT TO THE VACATED RIGHT-OF-WAY FOR SOUTH PARK RD.
- ALL ADJOINING RIGHTS-OF-WAY, SUBSURVISING AND INFORMATION ON ADJOINING PRIORITIES SHOWN HEREON ARE FROM INFORMATION SHOWN ON COUNTY PROPERTY APPRAISERS WEBSITE. USERS OF THIS SURVEY ARE PLACED ON NOTICE THAT RELIANCE ON SUCH INFORMATION IS AT THEIR OWN PERIL, IN THIS REGARD.
- THIS SURVEY DOES NOT DETERMINE FENCE AND/OR WALL OWNERSHIP.
- THIS SURVEY DOES NOT MAKE ANY REPRESENTATION AS TO ZONING OR DEVELOPMENT RESTRICTIONS ON LANDS ADJACENT TO THE SURVEYED LINES.
- NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO OR PURSUED BY THE UNDERSIGNED OTHER THAN THOSE SHOWN HEREON. UNRECORDED EASEMENTS OR RESTRICTIONS OF RECORD OTHER THAN THOSE SHOWN HEREON MAY EXIST. THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN UPON THIS SURVEY.
- NO EXCAVATION WAS PERFORMED TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND IMPROVEMENTS, STRUCTURES, OR FOUNDATIONS. THIS DOCUMENT SHOULD NOT BE RELIED UPON FOR LOCATION OR CRITICAL DESIGN FUNCTION WITHOUT FIELD VERIFICATION OF UNDERGROUND UTILITY LOCATIONS. UTILITIES OTHER THAN THOSE SHOWN HEREON MAY EXIST. UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE UNDERGROUND IMPROVEMENTS, UTILITIES, FOOTINGS, AND/OR FOUNDATIONS WHICH MAY OR MAY NOT VIOLATE DEED OR EASEMENT LINES.
- THE TREES IDENTIFIED AND SHOWN ARE IN NO WAY TO BE CONSIDERED A TREE SURVEY. TREE SYMBOLS REPRESENT THE LOCATION OF THE CENTER OF THE TRUNK AND NOT REPRESENT THE TRUE SIZE OF THE CANOPY. SIZE OF THE TRUNK (IF SPECIFIED) IS THE DIAMETER OF THE TRUNK, IN INCHES, AT BREAST HEIGHT. SPECIFIC NOMINATIONS ARE GENERALLY COMMON AND CAN BE FOUND IN THE MAP. THE TREE MAP IS FOR INFORMATION AND THEREFORE IS NOT CERTIFIED BY THIS SURVEY. CONSULT WITH AN ARBORIST FOR FURTHER CLASSIFICATION.
- ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, ARE NOT COVERED UNDER THIS SURVEY. NO ENVIRONMENTAL ISSUES HAVE BEEN ADDRESSED BY THIS SURVEY.
- BY SCALED DETERMINATION THE SUBJECT PROPERTY APPEARS TO LIE IN FLOOD ZONE "AE", "AH", AND "X" PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 120110268H, MAP EFFECTIVE DATE AUGUST 14, 2014. BASE FLOOD ELEVATION (BFE) IS THE WATER SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD, REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND SHOWN WHERE UNIFORM WITHIN A ZONE. AN ACCURATE ZONE DETERMINATION SHOULD BE MADE BY THE PREPARED BY THE FIRM. THE FIRM HAS NOT ATTEMPTED TO LOCATE UNDERGROUND IMPROVEMENTS, UTILITIES, FOOTINGS, AND/OR FOUNDATIONS WHICH MAY OR MAY NOT VIOLATE DEED OR EASEMENT LINES.
- THERE WAS NO EVIDENCE OF ACTIVE CONSTRUCTION ACTIVITIES OBSERVED DURING THE PROCESS OF CONDUCTING FIELD WORK.
- NO CONDITIONS WERE ENCOUNTERED THAT PREVENTED FLORIDA ADMINISTRATIVE CODE 54-17 FROM BEING MET.
- THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- ADDITIONS OR DELETIONS TO THIS MAP AND REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY IS NEITHER FULL NOR COMPLETE WITHOUT ALL SHEETS OF THIS SET.



SURVEY DATA ACQUISITION WAS PERFORMED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES WITH A LAST DAY OF ACQUISITION ON DECEMBER 12, 2022. INITIAL SURVEY DATA COMPUTATIONS AND ANALYSIS WERE COMPLETED ON DECEMBER 13, 2022.

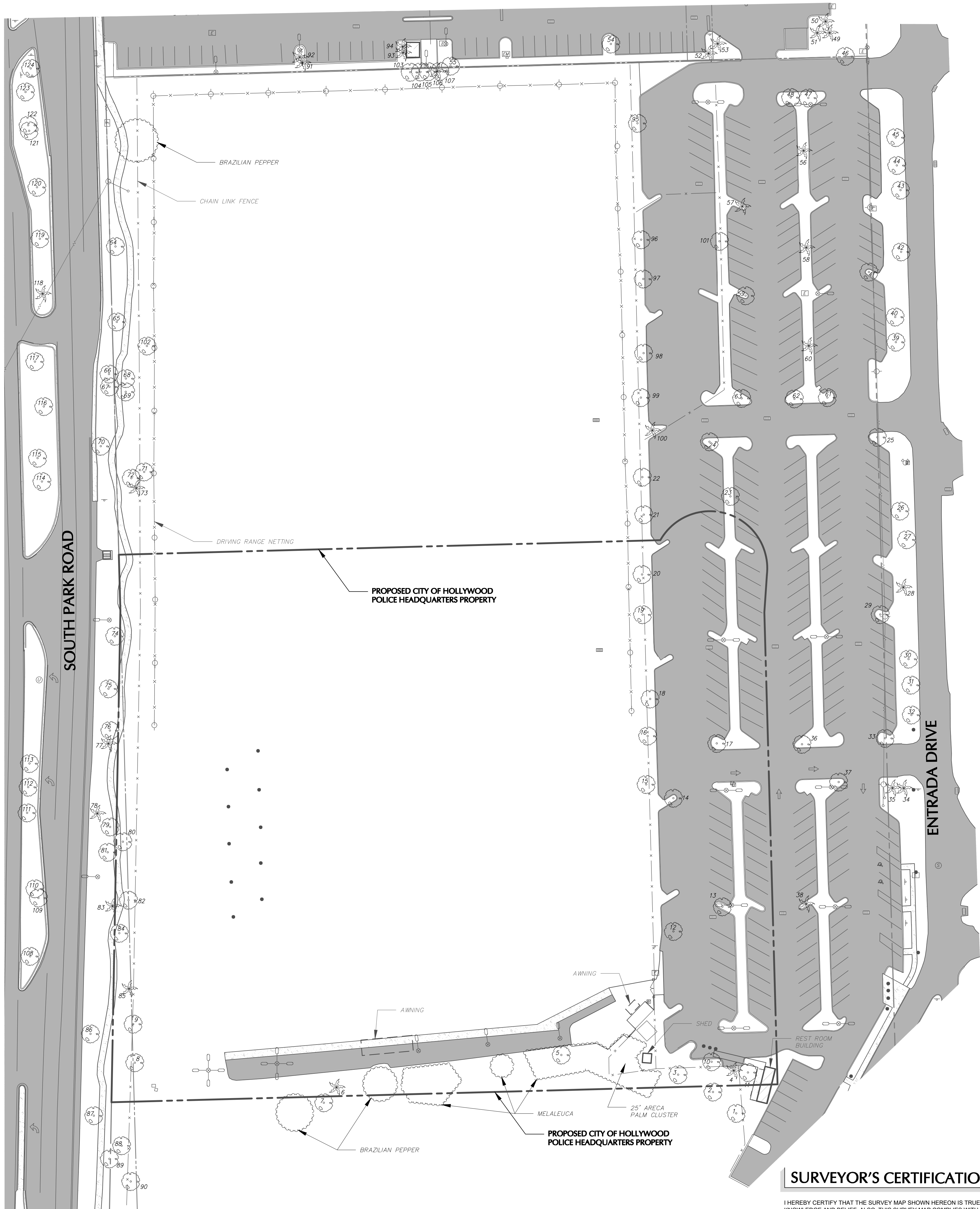
ALL SYMBOLS USED TO DEPICT IMPROVEMENTS ARE NOT TO SCALE.

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40' OR SMALLER, UNLESS OTHERWISE NOTED. LINEAR UNITS SHOWN ARE U.S. SURVEY FEET.

TYPE OF SURVEY: SPECIFIC PURPOSE SURVEY PER CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE (F.A.C.). THE INTENT OF THIS SURVEY IS TO SHOW THE LOCATIONS OF TREES IDENTIFIED BY A QUALIFIED ARBORIST. USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.










TREE SYMBOLS REPRESENT THE LOCATION OF THE CENTER OF THE TRUNK AND DO NOT REPRESENT THE TRUE SIZE OF THE CANOPY. TREE LOCATIONS, IN THIS REGARD, ARE CERTIFIED BY THIS SURVEY.

6. SIZE OF THE TRUNK IS THE DIAMETER OF THE TRUNK, IN INCHES, AT BREAST HEIGHT (DBH), THE TREE NUMBERS SHOWN ON THIS SURVEY REFER THE TREE INVENTORY TABLE SHOWN ON PAGE 2 OF THIS SURVEY, SAID TABLE WAS PREPARED BY M. J. NICHOLS AND ASSOCIATES LLC, PREPARED BY MICHAEL J. NICHOLS, C.E.P., CERTIFIED ENVIRONMENTAL PROFESSIONAL, DATED NOVEMBER 29, 2022. TREE NAMES AND INFORMATION SHOWN IN THE TREE INVENTORY TABLE ARE NOT CERTIFIED BY THIS SURVEY.
7. NO CONDITIONS WERE ENCOUNTERED THAT PREVENTED FLORIDA ADMINISTRATIVE CODE SJ-17 FROM BEING MET.
8. THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREIN, MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
9. ADDITIONS OR DELETIONS TO THIS MAP AND REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
10. THIS SURVEY IS NEITHER FULL NOR COMPLETE WITHOUT ALL SHEETS OF THIS SET.

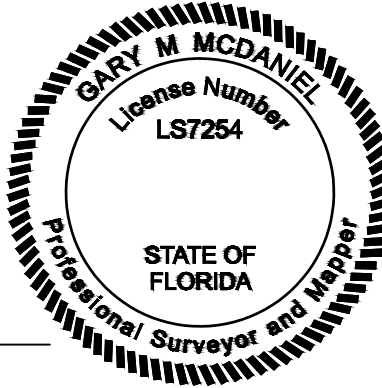


(NOT SHOWN TO SCALE)

- PROPERTY BOUNDARY
- RIGHT OF WAY LINE
- ASPHALT PAVEMENT
- CONCRETE
- TREE/HEDGE LINE
- OVERHEAD WIRES
- FENCE
- SIGN
- BOLLARD
- LIGHT POLES
- DECIDUOUS TREE
- PALM TREE

- | | |
|---|--------------------------------------|
|  | UTILITY POLE |
|  | GUY ANCHOR |
|  | GUY POLE |
|  | UTILITY BOX/PEDESTAL (AS IDENTIFIED) |
|  | UTILITY METER (AS IDENTIFIED) |
|  | CATCH BASIN |
|  | MANHOLE (AS IDENTIFIED) |
|  | UTILITY VALVE (AS IDENTIFIED) |
|  | FIRE HYDRANT |
| F.A.C. | FLORIDA ADMINISTRATIVE CODE |
| No. | NUMBER |
| ENG. | ENGINEERING |
| LB | LICENSED BUSINESS |
| NGS | NATIONAL GEODETIC SERVICE |
| NAD83 | NORTH AMERICAN DATUM OF 1983 |
| MULTI | MULTIPLE |

I HEREBY CERTIFY THAT THE SURVEY MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. ALSO, THIS SURVEY MAP COMPLIES WITH THE STANDARDS OF PRACTICE, AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.



GARY M. McDANIEL
PROFESSIONAL SURVEYOR AND MAPPER
LICENSE NUMBER LS7254
LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.
LICENSED BUSINESS NUMBER LB8172, STATE OF FLORIDA.

THE FEATURES SHOWN ON THIS SURVEY ARE VALID AS TO THE DATE OF THE LAST DATE OF FIELD WORK, NOT TO THE SIGNATURE DATE OF THIS CERTIFICATION.

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY THE ABOVE NAMED PROFESSIONAL SURVEYOR AND MAPPER USING A CRYPTOAPI PRIVATE KEY IGC DIGITAL CERTIFICATE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE AUTHENTICATION CODE MUST BE VERIFIED ON ALL ELECTRONIC COPIES.

Date	Description	No.
Revisions		

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FL Certificate of Authorization No. 00006601/LB8172/LB8198

Project

CITY OF HOLLYWOOD POLICE HEADQUARTERS

HOLLYWOOD

BROWARD COUNTY FLORIDA

Drawing Title

**SPECIFIC PURPOSE
SURVEY
VEGETATION
ASSESSMENT**

Project No.	Drawing No.
330065801	<div style="font-size: 48pt; text-align: center;">VT101</div>
Date	
12/13/2022	
Drawn By	
GM	<div style="text-align: center;">Sheet 1 of 2</div>
Checked By	
BAM	

LANGAN

Project No. 330065801

TYPE OF SURVEY: SPECIFIC PURPOSE SURVEY PER CHAPTER SJ-17
FLORIDA ADMINISTRATIVE CODE (F.A.C.). THE INTENT OF THIS SURVEY IS
TO SHOW THE LOCATIONS OF TREES IDENTIFIED BY A QUALIFIED
ARBORIST. USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT
WAS INTENDED, WITHOUT VERIFICATION, WILL BE AT THE
USER'S RISK. ANY AND ALL RIGHTS OF THE SURVEYOR, NOTHING
HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO
ANYONE OTHER THAN THOSE CERTIFIED TO.

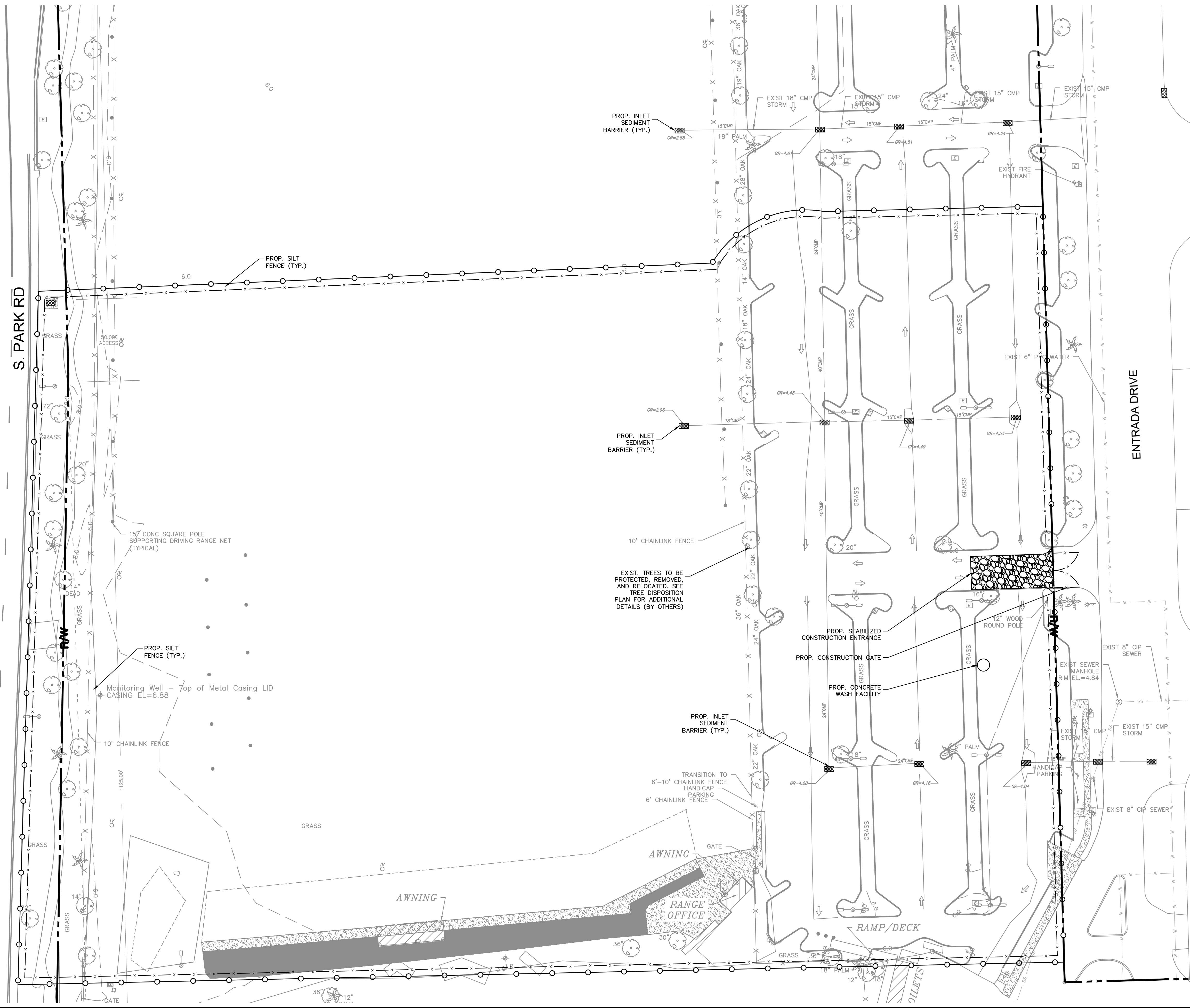
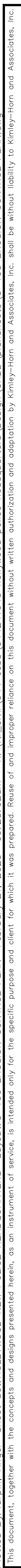
SIZE OF THE TRUNK IS THE DIAMETER OF THE TRUNK, IN INCHES, AT
BREAST HEIGHT (DBH). THE TREE NUMBERS SHOWN ON PAGE 1 OF THIS
SURVEY ARE THE TREE NUMBERS SHOWN ON PAGE 2 OF THIS
SURVEY. SAID TABLE WAS PREPARED BY J. P. NICHOLS AND ASSOCIATES
LLC, PREPARED BY MICHAEL NICHOLS, C.E.P., CERTIFIED
ENVIRONMENTAL PROFESSIONAL, LICENSED NO. 2022. TREE
NAMES AND INFORMATION SHOWN IN THE TREE INVENTORY TABLE ARE
NOT CERTIFIED BY THIS SURVEY.

NO CONDITIONS WERE ENCOUNTERED THAT PREVENTED FLORIDA
ADMINISTRATIVE CODE SJ-17 FROM BEING MET.




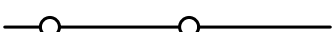



THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED
HEREON, MEANS AN EXPRESSION OF PROFESSIONAL OPINION
REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A
WARRANT OR GUARANTEE EXpressed OR IMPLIED.

ADDITIONS OR DELETIONS TO THIS MAP AND REPORT BY OTHER THAN
THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE
CONSENT OF THE SIGNING PARTY OR PARTIES.

THIS SURVEY IS NEITHER FULL NOR COMPLETE WITHOUT ALL SHEETS OF
THIS SET.



LEGEND

	CENTER LINE OF ROADWAY
	PROPERTY LINE AND/OR RIGHT-OF-WAY
	PROP. DROP INLET SEDIMENT BARRIER, FILTRXX INLET PROTECTION, OR APPROVED EQUAL
	PROP. SILT FENCE SEDIMENT CONTROL
	PROP. 6' CHAIN LINK CONSTRUCTION FENCE WITH POLES AT 10'-0" O.C. AND VISUAL DUST SCREEN (GREEN)
	PROP. STABILIZED CONSTRUCTION ENTRANCE
	PROP. CONCRETE WASH FACILITY

- ## EROSION CONTROL NOTES
1. INSTALL ALL EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES.
 2. DAILY EROSION CONTROL INSPECTIONS AND REPORTS TO BE CONDUCTED.
 3. PERFORM SITE ROUGH GRADING TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 4. TEMPORARILY STABILIZE ALL DISTURBED AREAS AS REQUIRED BY THE PERMIT.
 5. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 6. TEMPORARILY SEED, THROUGHTOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
 7. INSTALL UTILITIES, UNDER DRAINS, STORM SEWERS, CURBS AND GUTTERS.
 8. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 9. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 10. PREPARE SITE FOR PAVING.
 11. PAVE SITE.
 12. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 13. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS INCLUDING OUTLOTS.
 14. CALL ENGINEERING CONSULTANT (CEC) AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
 15. REMOVE ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AFTER APPROVAL OF THE CEC AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
 16. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE CONSTRUCTION MANAGER
- MAINTENANCE NOTE FULLY STABILIZED THE PERMIT MAY BE

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETRIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE RESEEDING, WATERED AND FERTILIZED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD OR PUBLIC DIRT ONTO THE ADJACENT HIGHWAY. THIS REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION(SUITABLE FOR PARKING AND STORAGE). THIS MAY BE ACCOMPLISHED BY TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REACHED BY 50%.

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FINAL TAC SUBMISSION

HOLLYWOOD NEW POLICE
HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD

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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT	LICENSED PROFESSIONAL
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DATE FEB 2023

SCALE AS SHOWN

DESIGNED BY	SV
DATE	SV

DRAWN BY	SV	DATE:	2/21/23
CHECKED BY	SV		

PROJECT NO. DCM-19-001190

HOLLYWOOD

3

PROJECT NO. DCM-19-001190

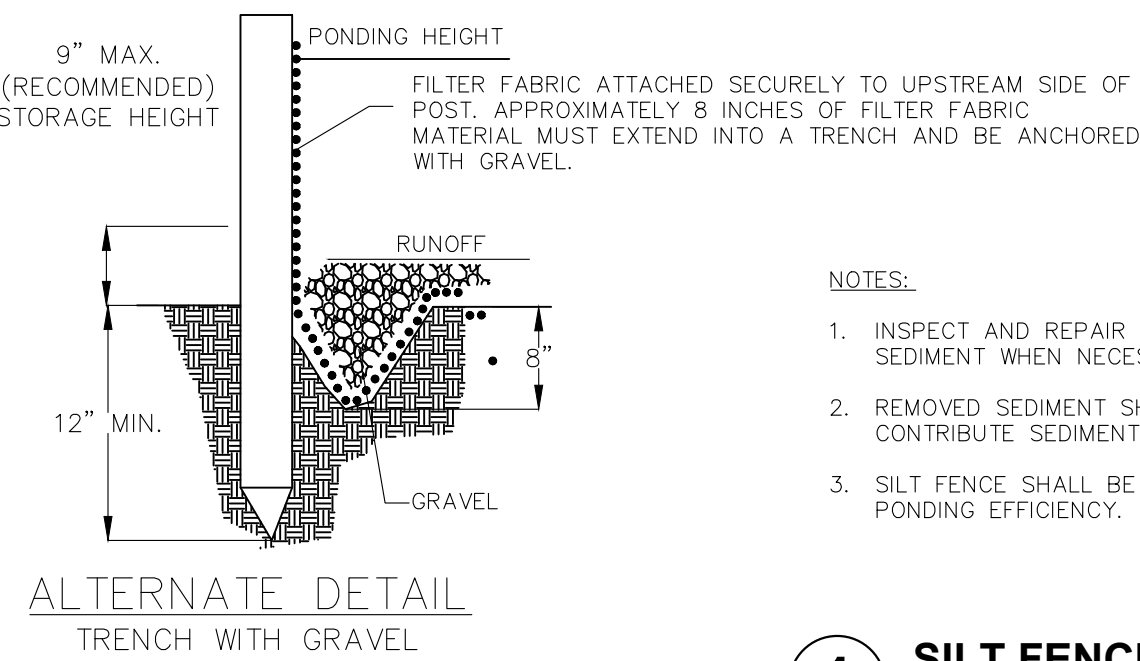
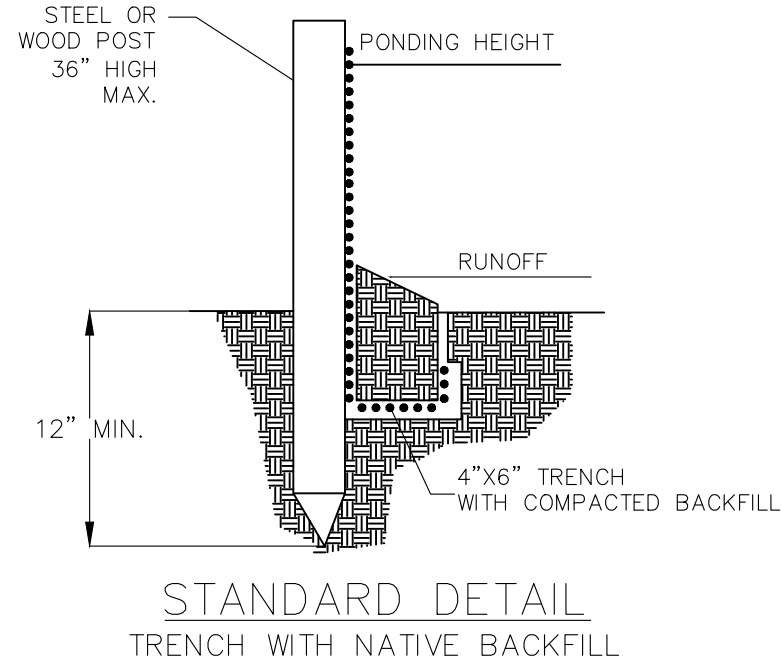
2/21/23

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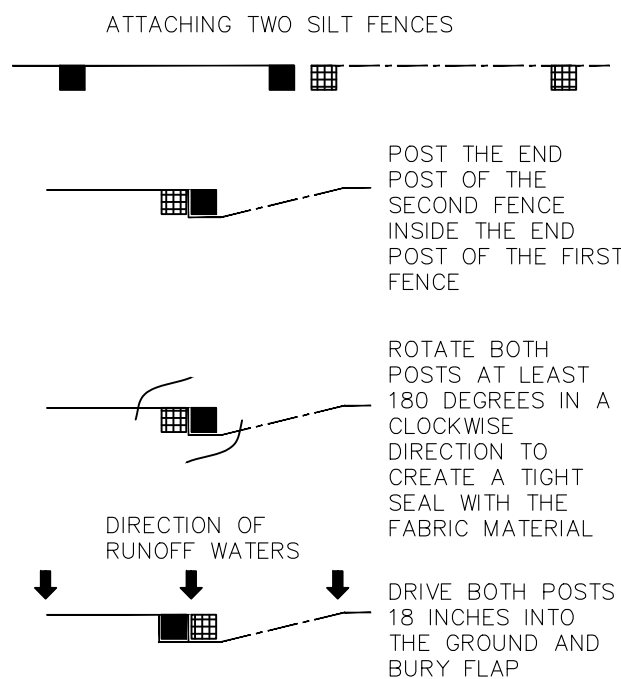
REVISIONS

DATE _____

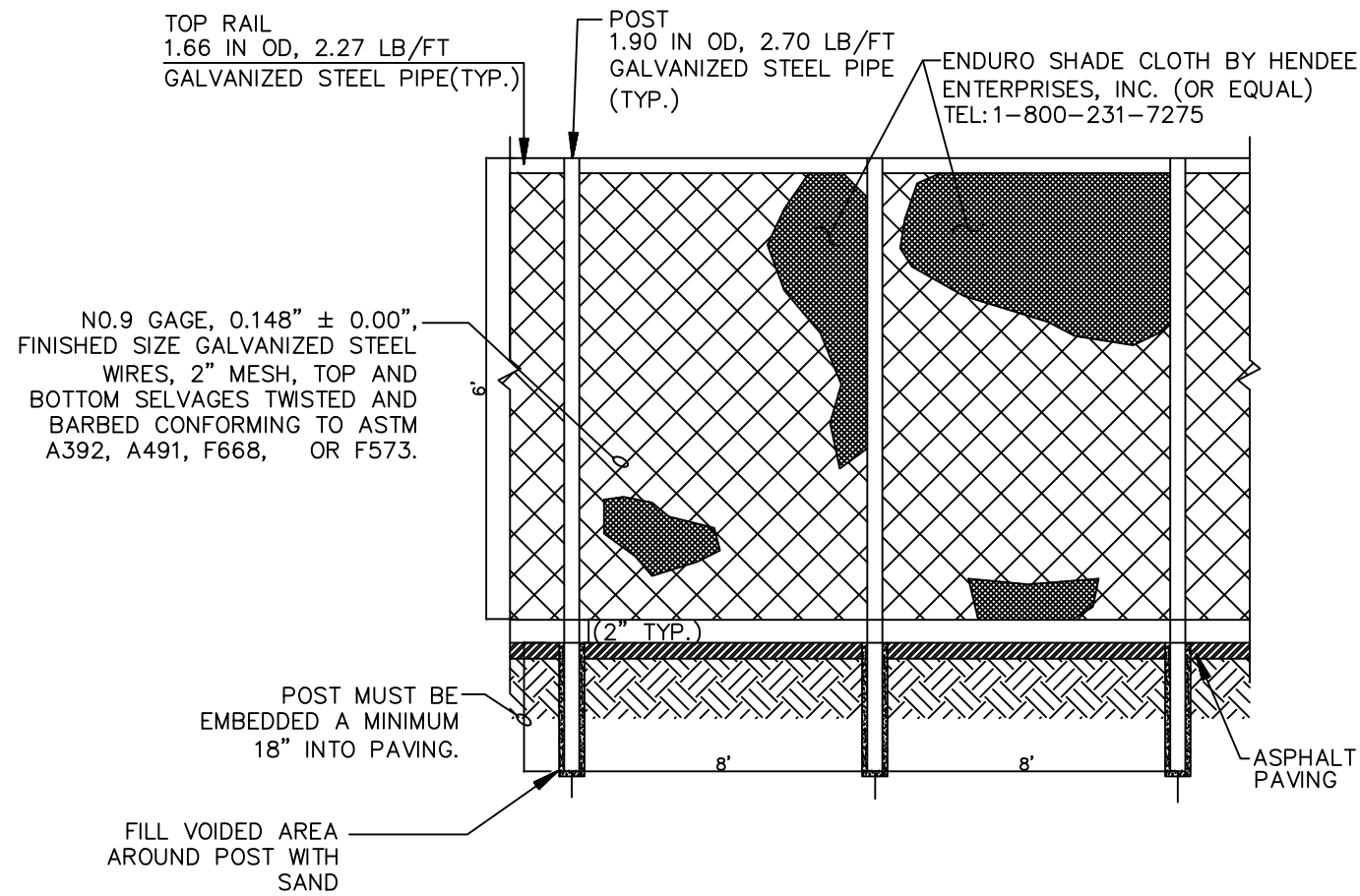
Plotted By Turpin, Angel Sheet Set: HOLLYWOOD NEW POLICE HEADQUARTERS Layout: C-101 EROSION CONTROL DETAILS February 21, 2023 09:25:14am K:\T\civil\044-jobs\044241040-hollywood-new-police-headquarters\Design\CADD\plan sheets\C-101 EROSION CONTROL DETAILS.dwg
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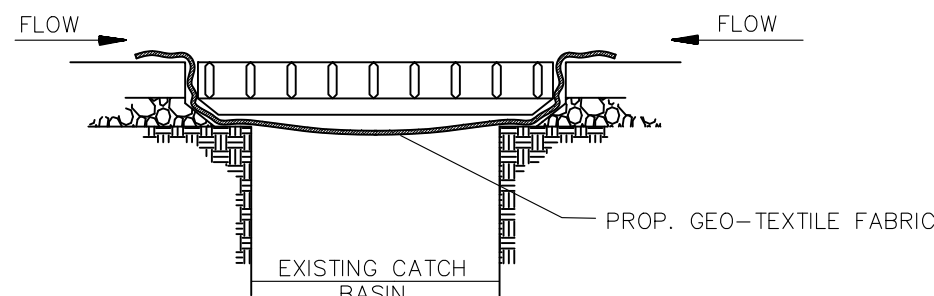
- NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



1 SILT FENCE SEDIMENT CONTROL
N.T.S.

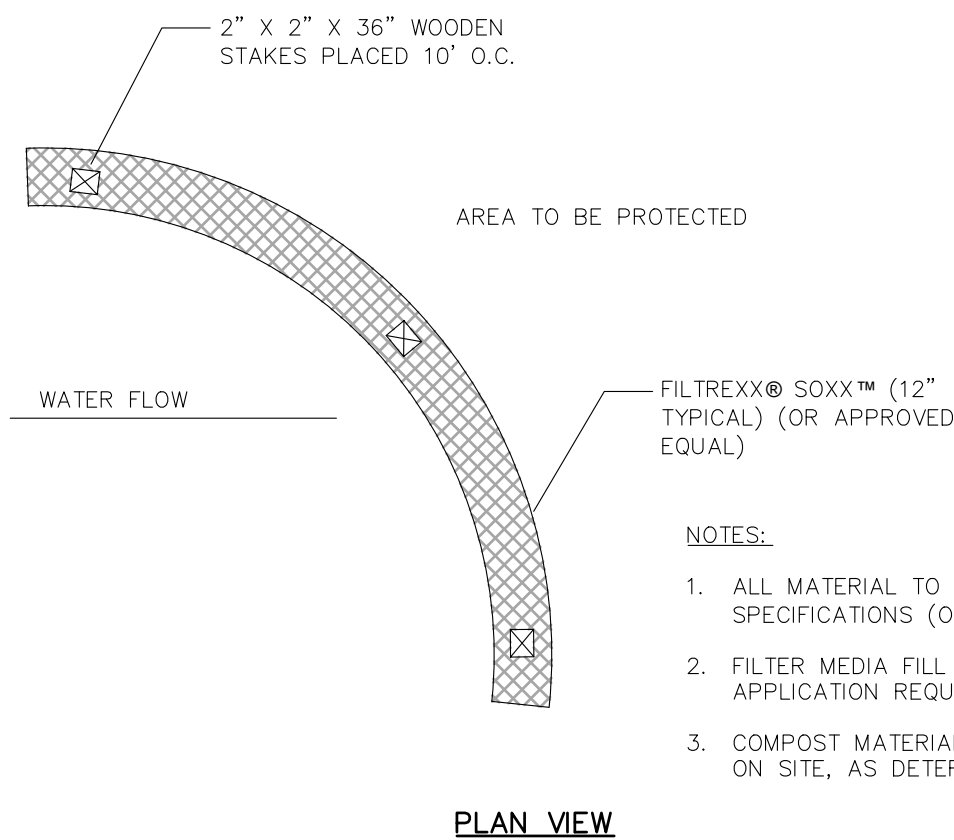
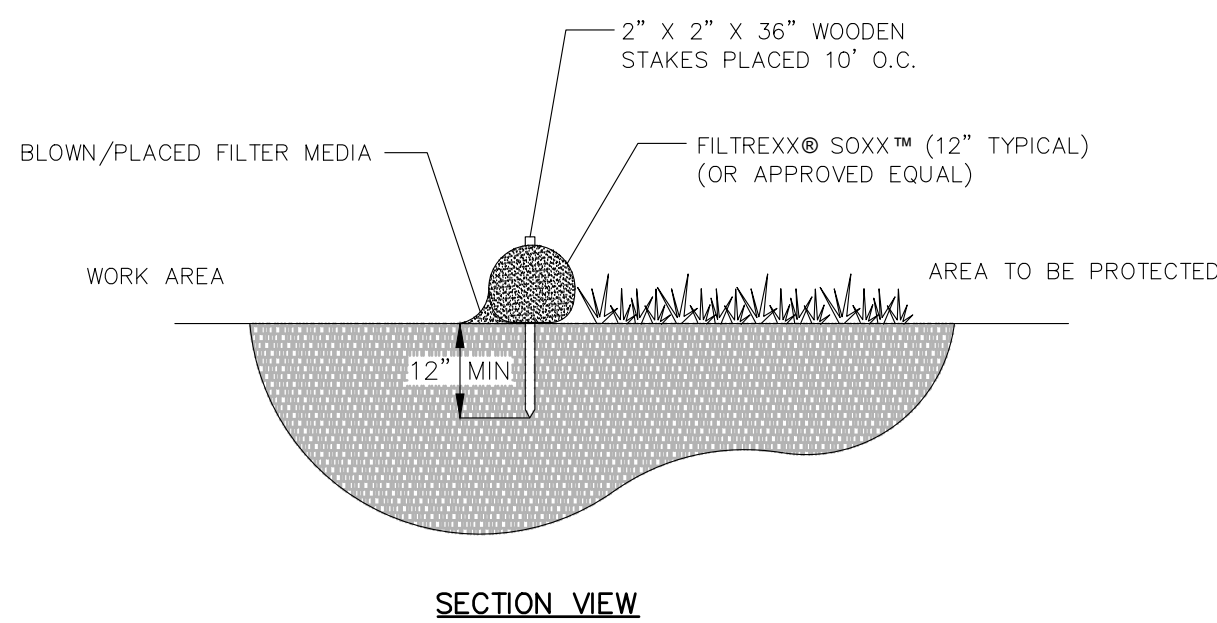


4 6" CHAIN LINK CONSTRUCTION FENCE WITH DUST SCREEN
N.T.S.



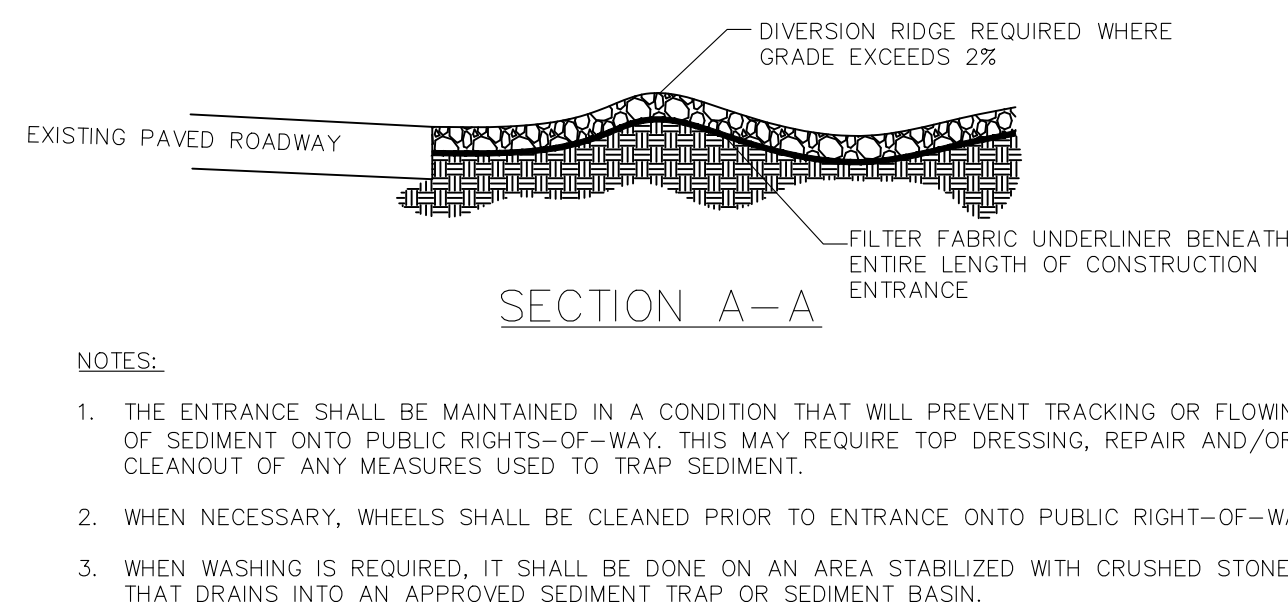
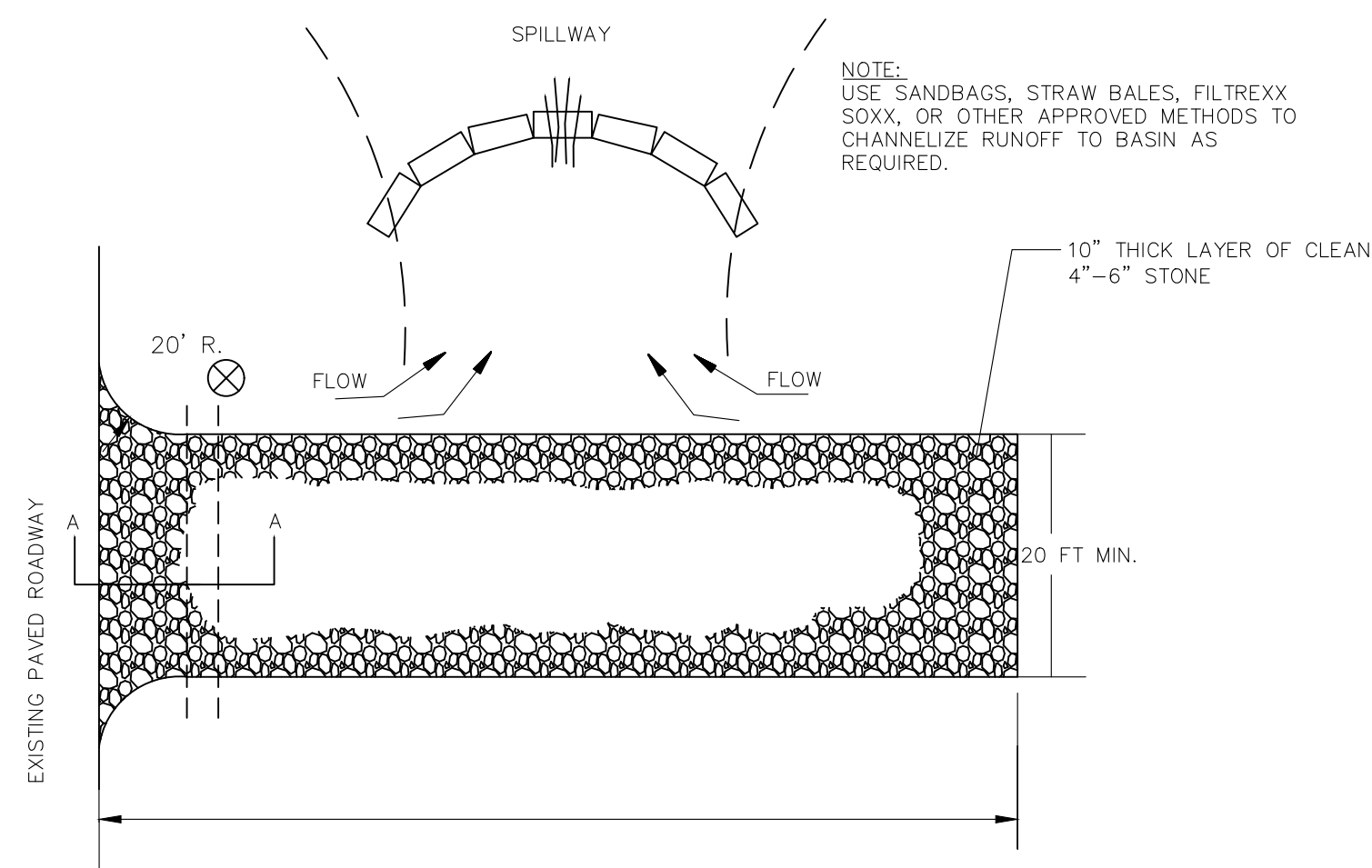
- NOTES:
1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
 2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

5 DROP INLET SEDIMENT BARRIER
N.T.S.



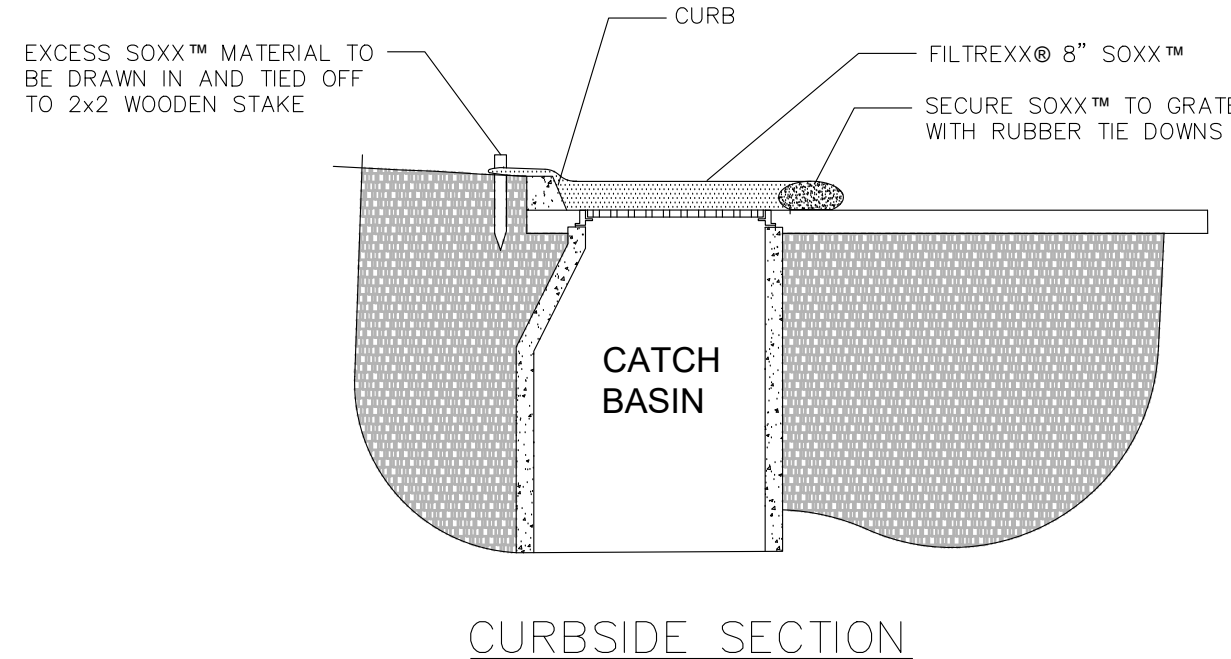
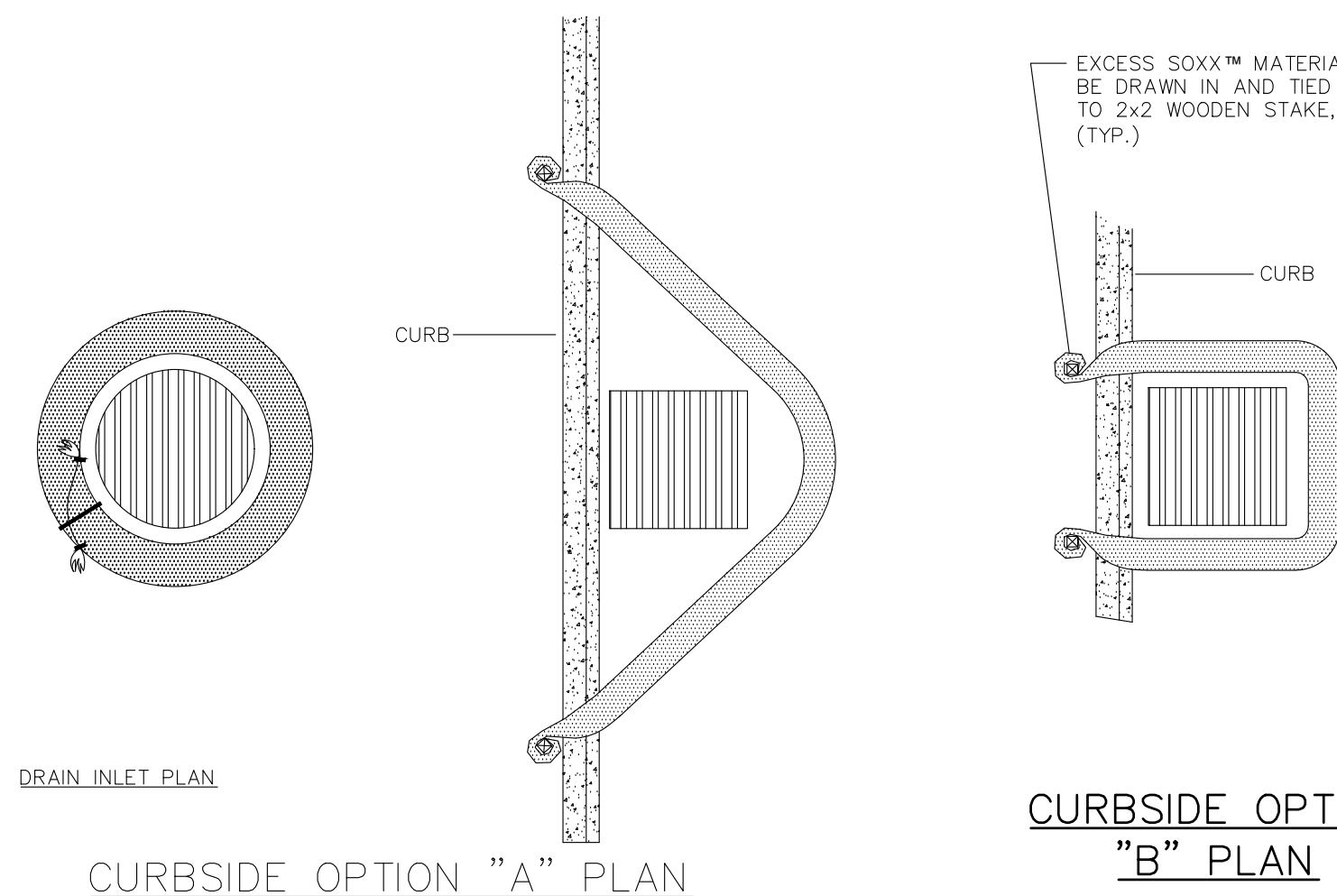
- NOTES:
1. ALL MATERIAL TO MEET FILTERREXX® SPECIFICATIONS (OR APPROVED EQUAL).
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

6 FILTERREXX® SEDIMENT CONTROL (OR APPROVED EQUAL)
N.T.S.



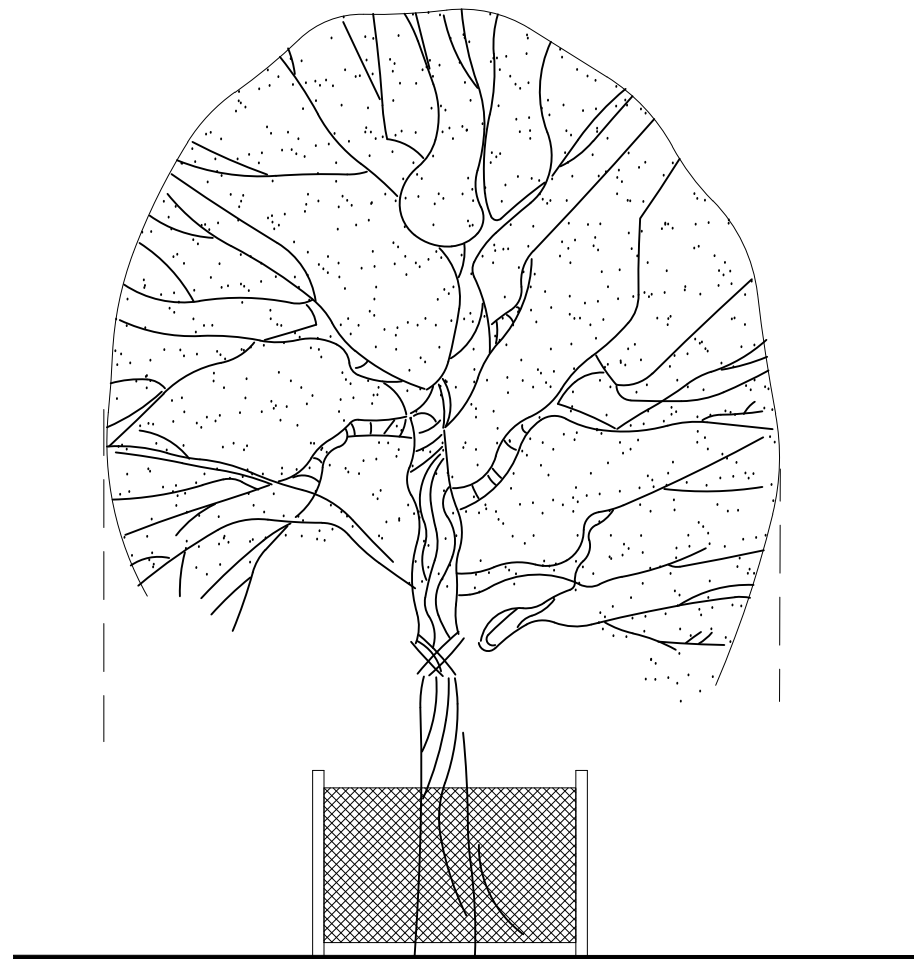
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

2 STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



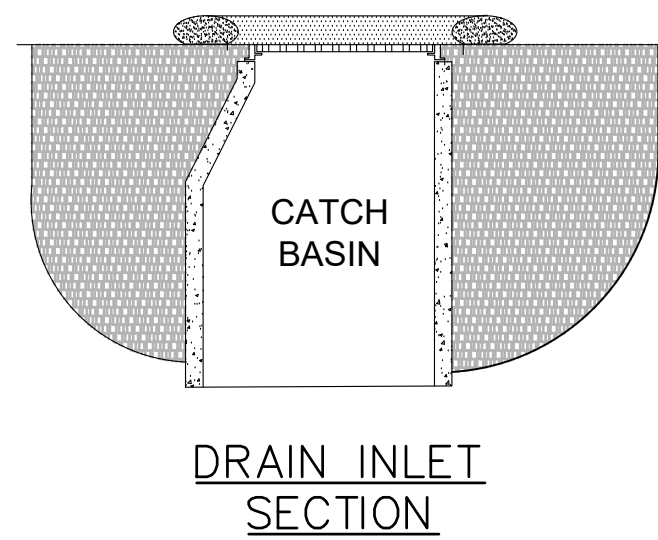
- NOTES:
1. ALL MATERIAL TO MEET FILTERREXX® SPECIFICATIONS.
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

7 FILTERREXX® INLET PROTECTION (OR APPROVED EQUAL)
N.T.S.



- NOTES:
1. PROTECTION SIGNAGE IS REQUIRED (NO ENTRY/NO STORAGE)
 2. ROOT DRAINAGE IS TO BE AVOIDED WITHIN THE DRIP LINE.
 3. FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

3 TREE PRESERVATION BARRICADE FENCING DETAIL
N.T.S.



FINAL TAC SUBMISSION

HOLLYWOOD NEW POLICE HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD

EROSION CONTROL DETAILS

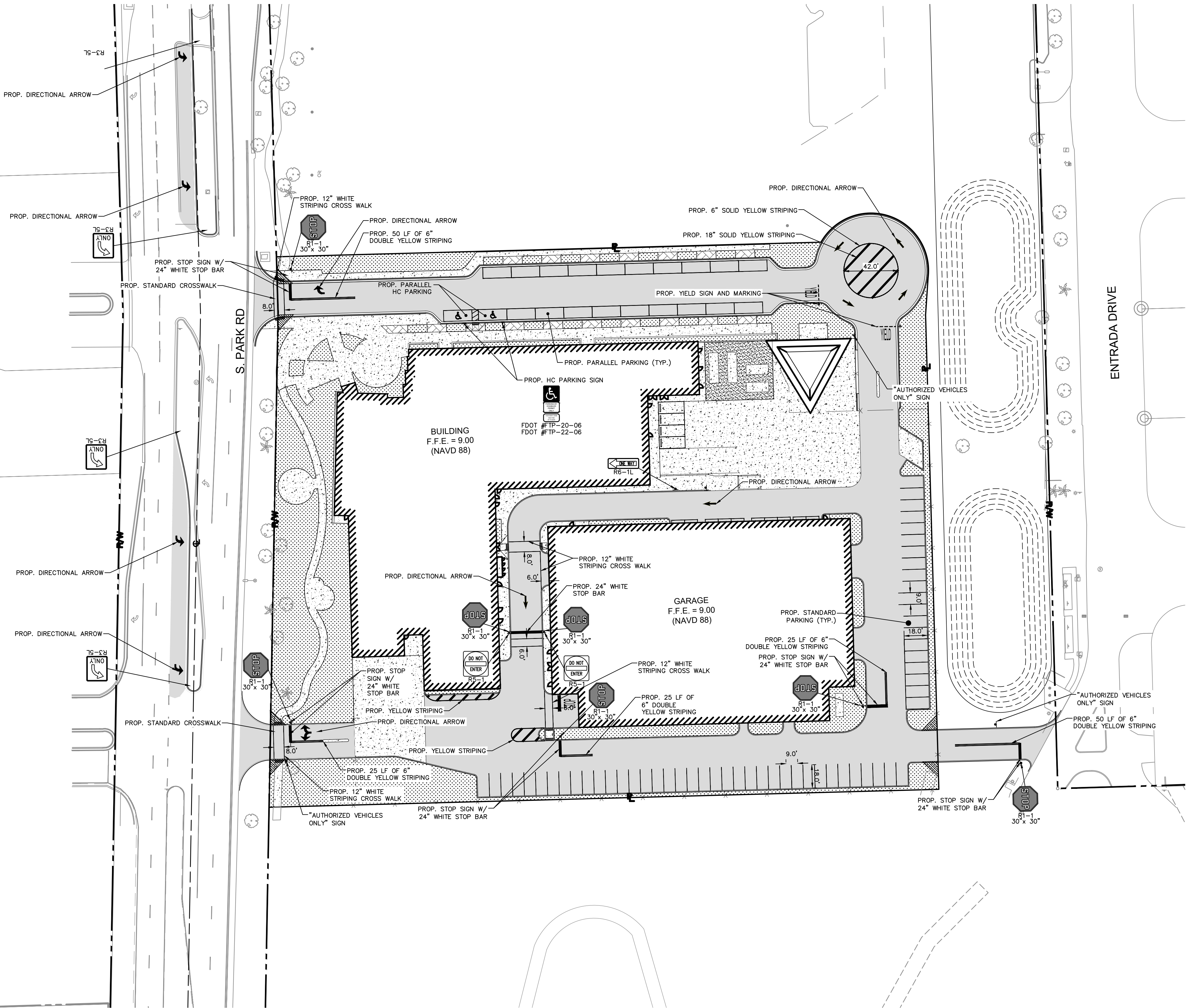
LICENSED PROFESSIONAL
STEFANO VIOLA, P.E.

KHA PROJECT 044241040
DATE FEB 2023
SCALE AS SHOWN
DESIGNED BY SV
DRAWN BY SV
CHECKED BY SV
DATE 2/21/23

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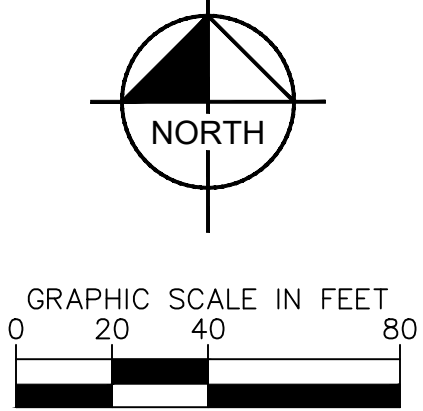
SHEET NUMBER
C-101

Plotted By: Turpin, Angel Sheet: S-HOLLYWOOD NEW POLICE HEADQUARTERS Layout: C-200 Geometry, Signage and Striping Plan February 21, 2023 09:25:33am K:\YH civil\044 jobs\044241040 Hollywood police headquarters\Design\CADD\plansheets\C-200 Geometry, Signage and Striping PLAN.dwg
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LEGEND

- CL — CENTER LINE OF ROADWAY
— PL — RW — PROPERTY LINE AND/OR RIGHT-OF-WAY



SIGN SYMBOL	SIGN NUMBER & DIMENSIONS	QUANTITY
	R1-1 30" X 30"	7
	FDOT #FTP-20-06 12" X 18" FDOT #FTP-22-06 12" X 18"	2
	R5-1 30" X 30"	1
	R3-SL 30" X 36"	4
	R6-1L 36" X 12"	1

FINAL TAC SUBMISSION

HOLLYWOOD NEW POLICE HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD

SIGNAGE AND STRIPING PLAN

KHA PROJECT 044241040

DATE FEB 2023

SCALE AS SHOWN

DESIGNED BY SV

DRAWN BY SV

CHECKED BY SV

DATE 2/21/23

LICENSED PROFESSIONAL

STEFANO VIOLA, P.E.

FL LICENSE NUMBER 74655

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SHEET NUMBER
C-200

HOLLYWOOD

PROJECT NO. DCM-19-001190

FL

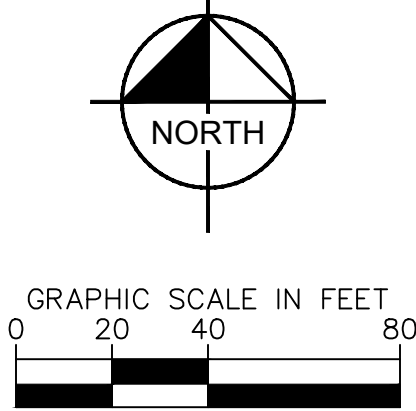
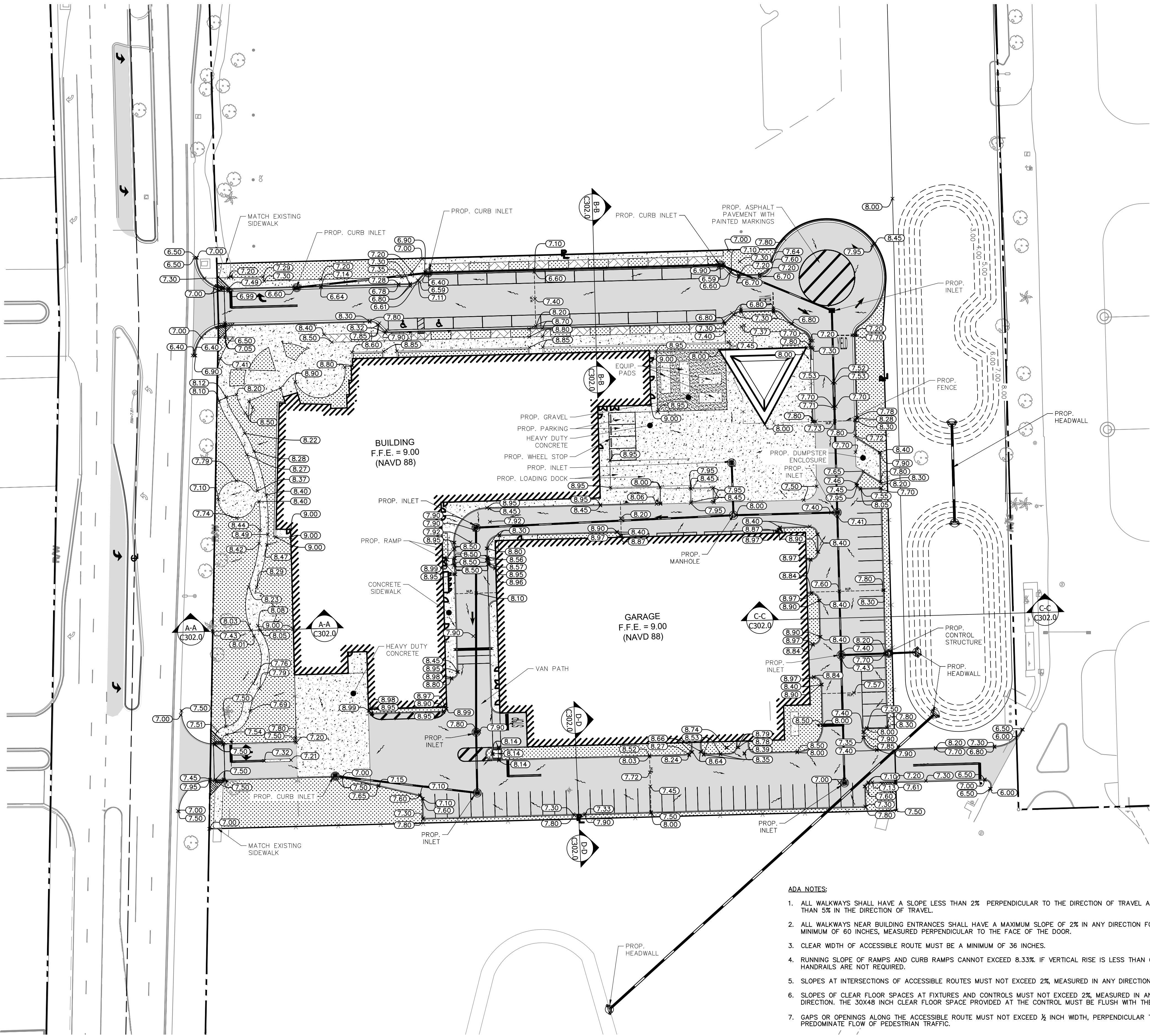
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REVISIONS

DATE

BY

Plotted By: Turpin, Angel Sheet: S-HOLLYWOOD NEW POLICE HEADQUARTERS Layout: C-300 PAVING AND GRADING PLAN February 21, 2023 09:25:56am K:\111-civil\044 Jobs\044241040 Hollywood Police Headquarters Design\CADD\plansheets\C-300 PAVING AND GRADING PLAN.dwg
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LEGEND

- CENTER LINE OF ROADWAY
- PROPERTY LINE AND/OR RIGHT-OF-WAY
- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED SOD
- PROPOSED GRAVEL
- PROPOSED PAVERS

GENERAL NOTES:

- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY POWER LINES.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
- CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES.
- IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER.
- ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED 1/4 INCH HIGH. IF A LEVEL CHANGE DOES EXCEED 1/4 INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED 1/4 (V:H) FOR A LEVEL CHANGE UP TO 1/2 INCH HIGH. IF THE CHANGE IS MORE THAN 1/2 INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF 1/4 (V:H).
- ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.

ADA NOTES:

- ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
- ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.
- CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
- RUNNING SLOPE OF RAMP AND CURB RAMP CANNOT EXCEED 8.33% IF VERTICAL RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.
- SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.
- SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION. THE 30x48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
- GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 1/2 INCH WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC.



FINAL TAC SUBMISSION

HOLLYWOOD NEW POLICE HEADQUARTERS PREPARED FOR CITY OF HOLLYWOOD

SHEET NUMBER C-300

PROJECT NO. DCM-19-001190

FL

HOLLYWOOD

PROJECT

044241040

DATE

FEB 2023

SCALE

AS SHOWN

DESIGNED BY

SV

DRAWN BY

SV

CHECKED BY

SV

DATE

2/21/23

LICENSED PROFESSIONAL

STEFANO VIOLA, P.E.

FL LICENSE NUMBER

74655

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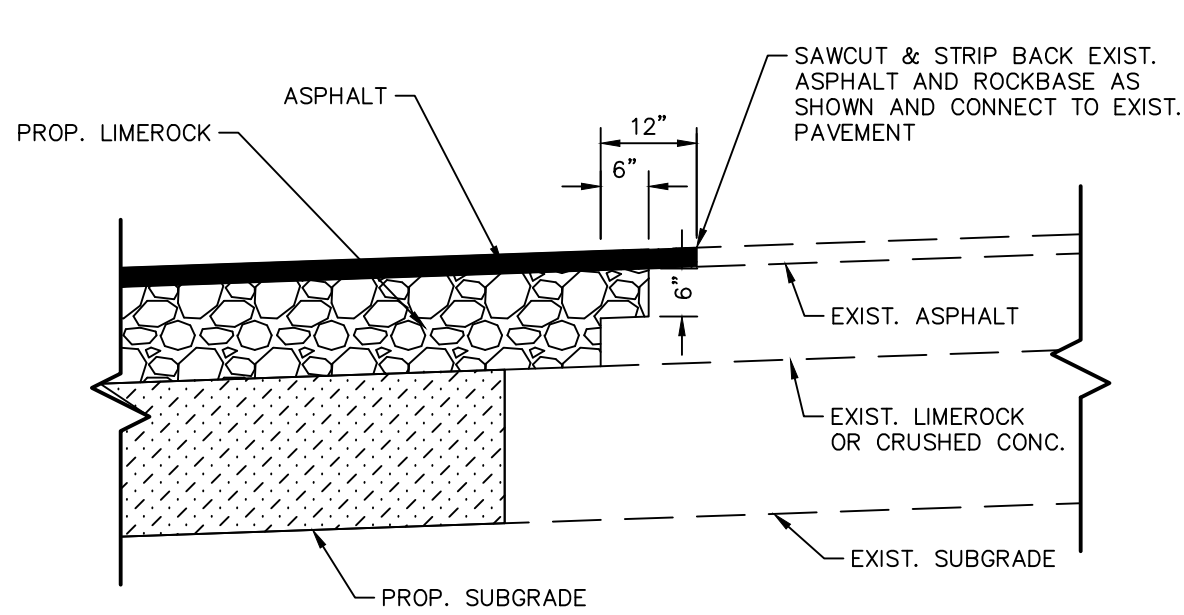
REVISIONS

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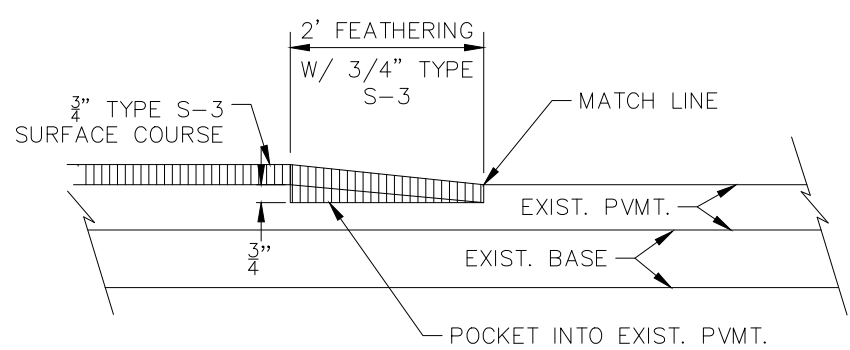
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BY

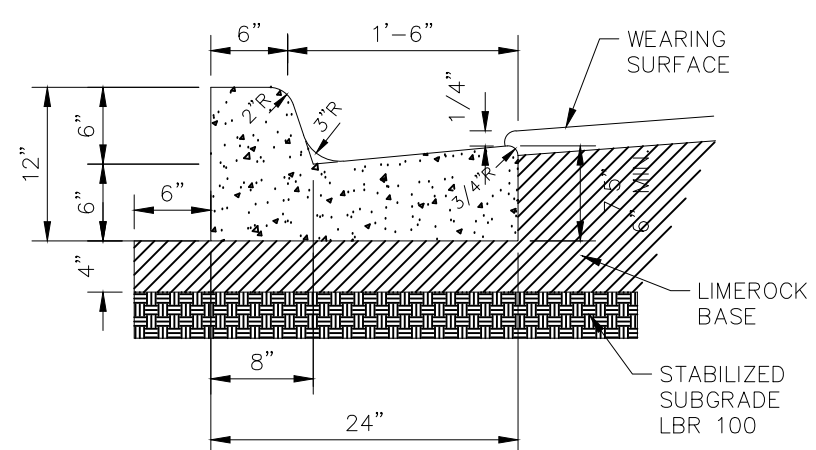
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CONNECTION TO EXISTING PAVEMENT DETAIL
NOT TO SCALE



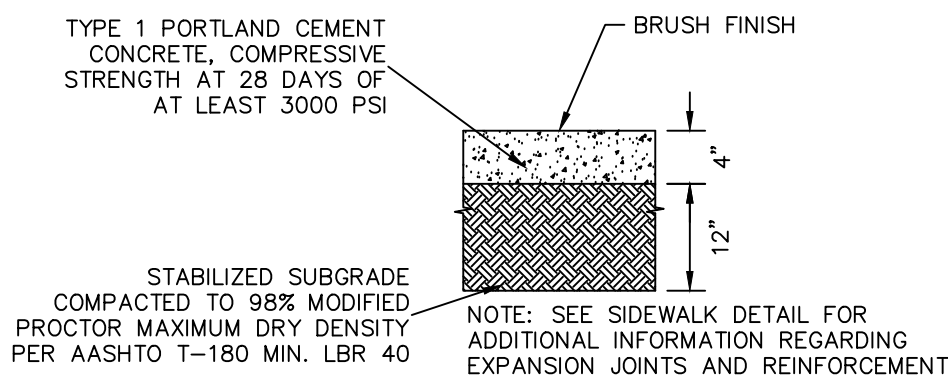
ASPHALT TRANSITION DETAIL AT
BEGINNING OR ENDING OF ASPHALT
LIFT OR NEW CONSTRUCTION
NOT TO SCALE



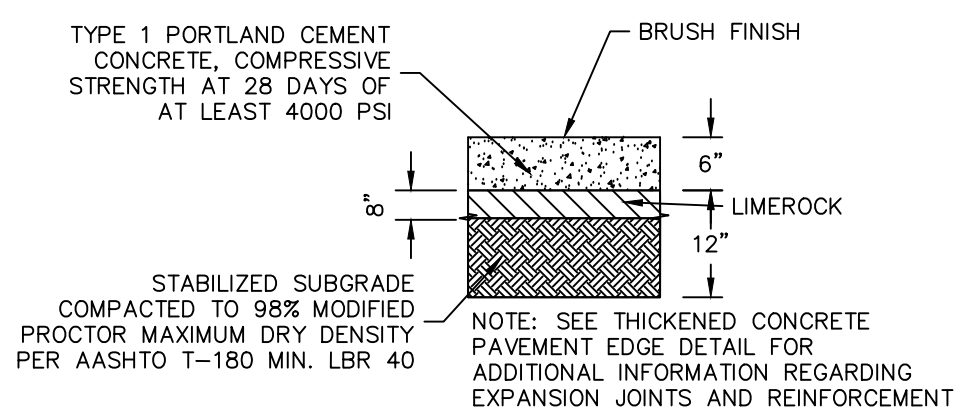
TYPE 'F' CURB AND GUTTER
NOT TO SCALE

NOTES:

1. WHEN USED ON HIGH SIDE OF ROADWAYS, CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6".
2. SAWCUTS REQUIRED AT 10' CENTERS SHALL BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT.
3. MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
4. TYPE 'F' CURB SHALL BE PLACED ONE-QUARTER (1/4) INCH HIGHER THAN ADJACENT INLET FRAMES AND GRATES.

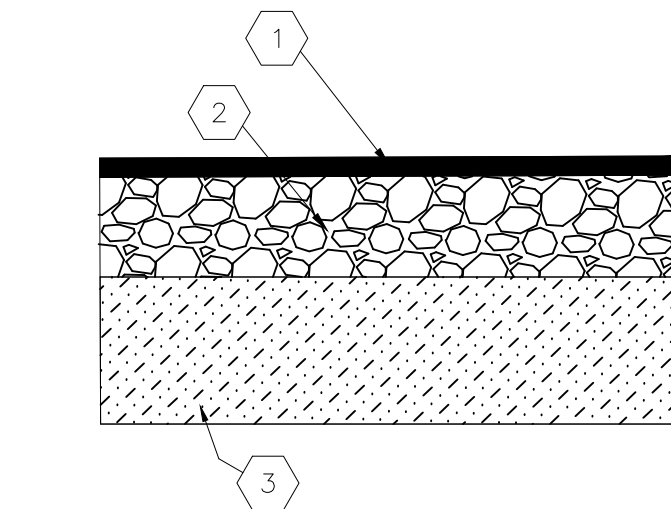


STANDARD DUTY CONCRETE



HEAVY DUTY CONCRETE

TYPICAL CONCRETE SECTIONS
NOT TO SCALE

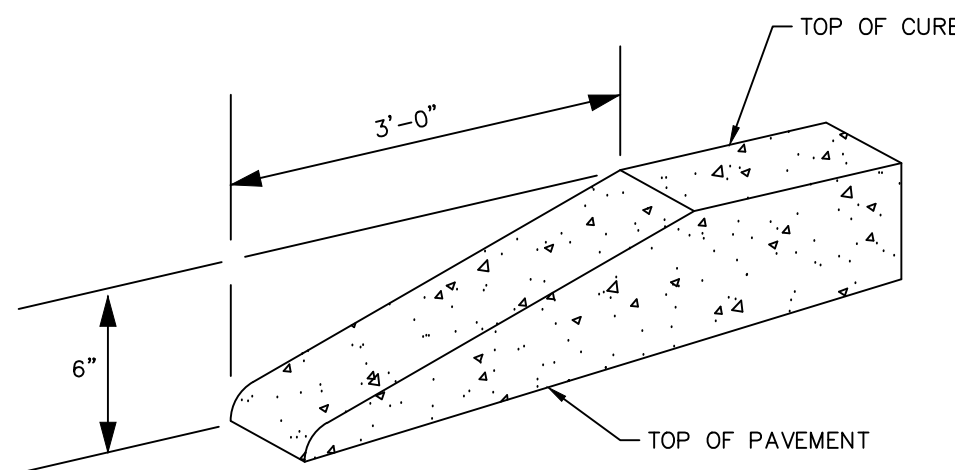


PAVING LEGEND

- 1 1/2" ASPHALT SURFACE TYPE SP-9.5 OR APPROVED EQUAL
- 8" LIMEROCK BASE COMPACTED IN 1 LIFT WITH MINIMUM LBR OF 100
- 12" THICK SUBGRADE COMPACTED AND STABILIZED WITH MINIMUM DESIGN LBR OF 40 COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY (AASHTO T-100)

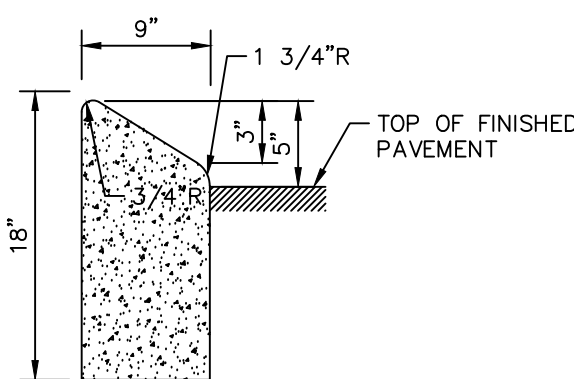
PAVEMENT CROSS-SECTION

NOT TO SCALE



STANDARD CURB TRANSITIONS

NOT TO SCALE

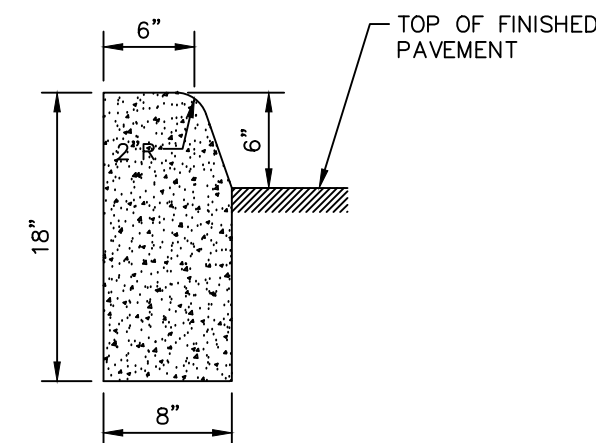


NOTES:

1. CURBING SHALL BE CONSTRUCTED IN 50' MAX. SECTIONS WITH 1/8" TO 1/4" OPEN EXPANSION JOINT BETWEEN EACH SECTION AND CONTRACTION JOINTS AT 10' INTERVALS.
2. CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

MOUNTABLE TYPE 'B' CURB

NOT TO SCALE



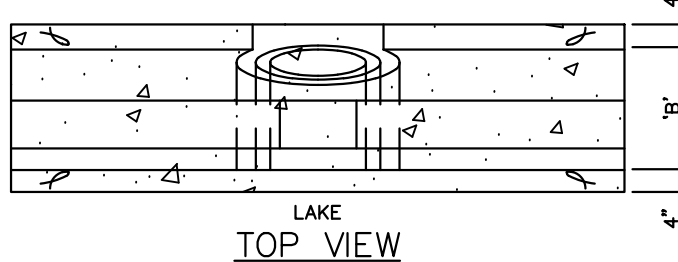
NOTES:

1. CURBING SHALL BE CONSTRUCTED IN 50' MAX. SECTIONS WITH 1/8" TO 1/4" OPEN EXPANSION JOINT BETWEEN EACH SECTION AND CONTRACTION JOINTS AT 10' INTERVALS.
2. CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

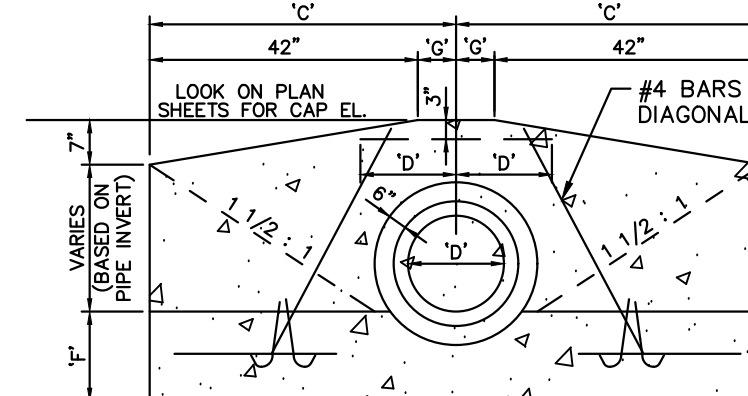
TYPE 'D' CURB

NOT TO SCALE

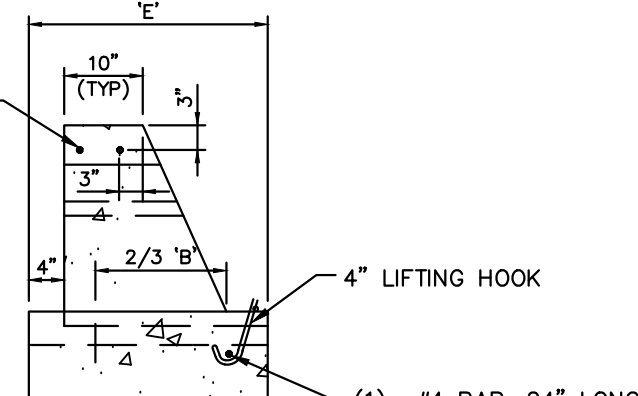
SIZE TABLE									
0	B	C	E	F	G	H	I	J	K
15'	1'-2"	4'-0"	1'-10"	1'-2"	0'-6"				
18'	1'-3"	4'-6"	1'-11"	1'-3"	1'-0"				
21'	1'-4"	5'-0"	2'-0"	1'-4"	1'-6"				
24'	1'-4"	5'-6"	2'-0"	1'-4"	2'-0"				
30'	1'-6"	6'-6"	2'-2"	1'-6"	3'-0"				
36'	1'-8"	7'-6"	2'-4"	1'-8"	4'-0"				
42'	1'-10"	8'-6"	2'-6"	2'-0"	5'-0"				
48'	2'-1"	9'-6"	2'-9"	2'-0"	6'-0"				
54'	2'-6"	10'-6"	3'-2"	2'-3"	7'-0"				



TOP VIEW



FRONT VIEW



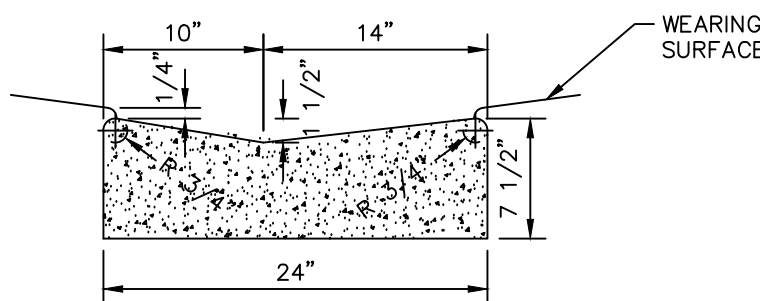
END VIEW (RIGHT)

HEADWALL DETAILS

NOT TO SCALE

ASPHALT MILLING AND RESURFACING DETAIL

NOT TO SCALE

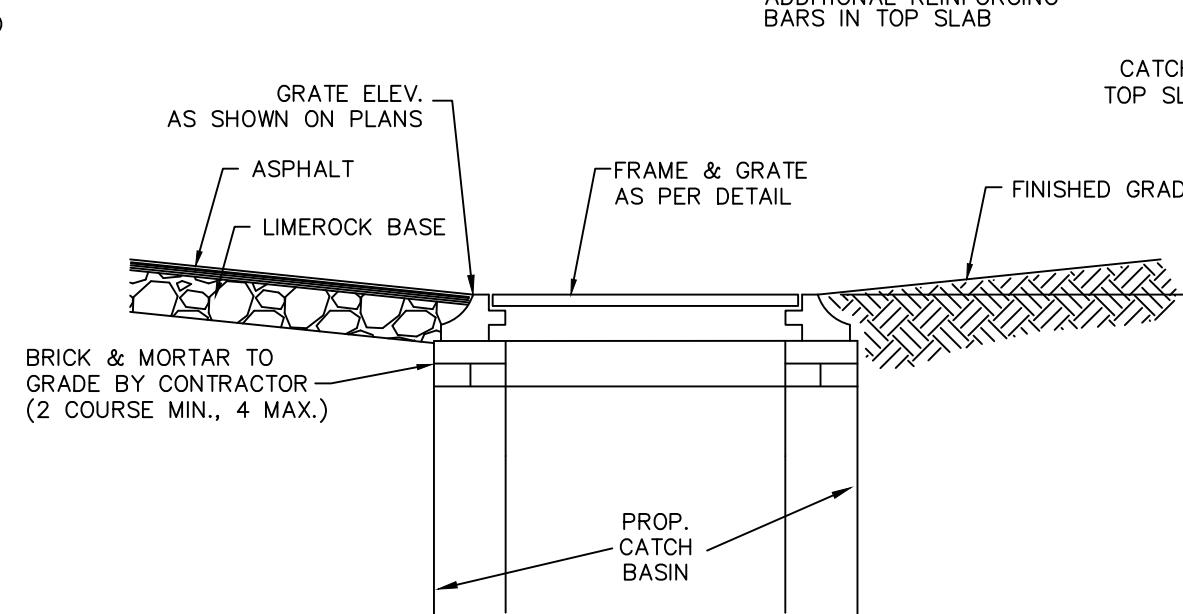


NOTES:

1. SUBGRADE SHALL BE COMPACTED TO 95% DENSITY AASHTO T-99.
2. ROADWAY SUBGRADE SHALL IN ALL CASES EXTEND BELOW CURBING.
3. VALLEY GUTTER SHALL BE CONSTRUCTED IN 50' MAX. SECTIONS WITH 1/8" TO 1/4" OPEN EXPANSION JOINT BETWEEN EACH SECTION AND CONTRACTION JOINTS AT 10' INTERVALS.
4. CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

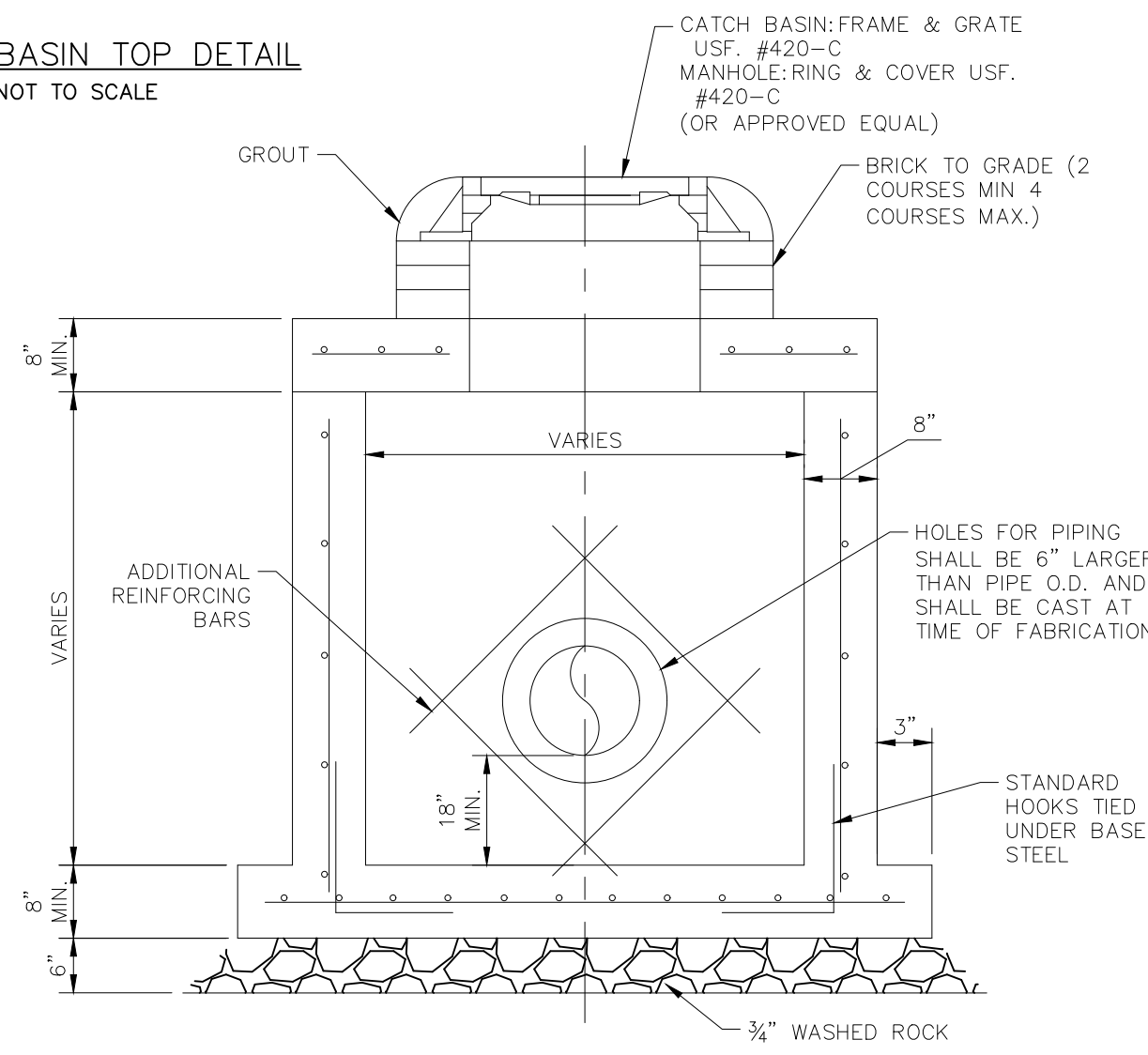
CONCRETE DROP CURB

NOT TO SCALE



CATCH BASIN TOP DETAIL

NOT TO SCALE



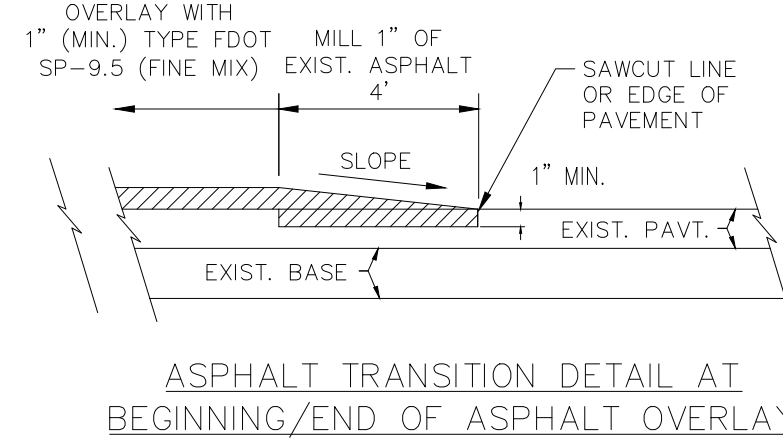
SECTION

NOTES:

1. ALL FDOT TYPE STRUCTURES ARE APPROVED.

PRECAST DRAINAGE MANHOLE

NOT TO SCALE



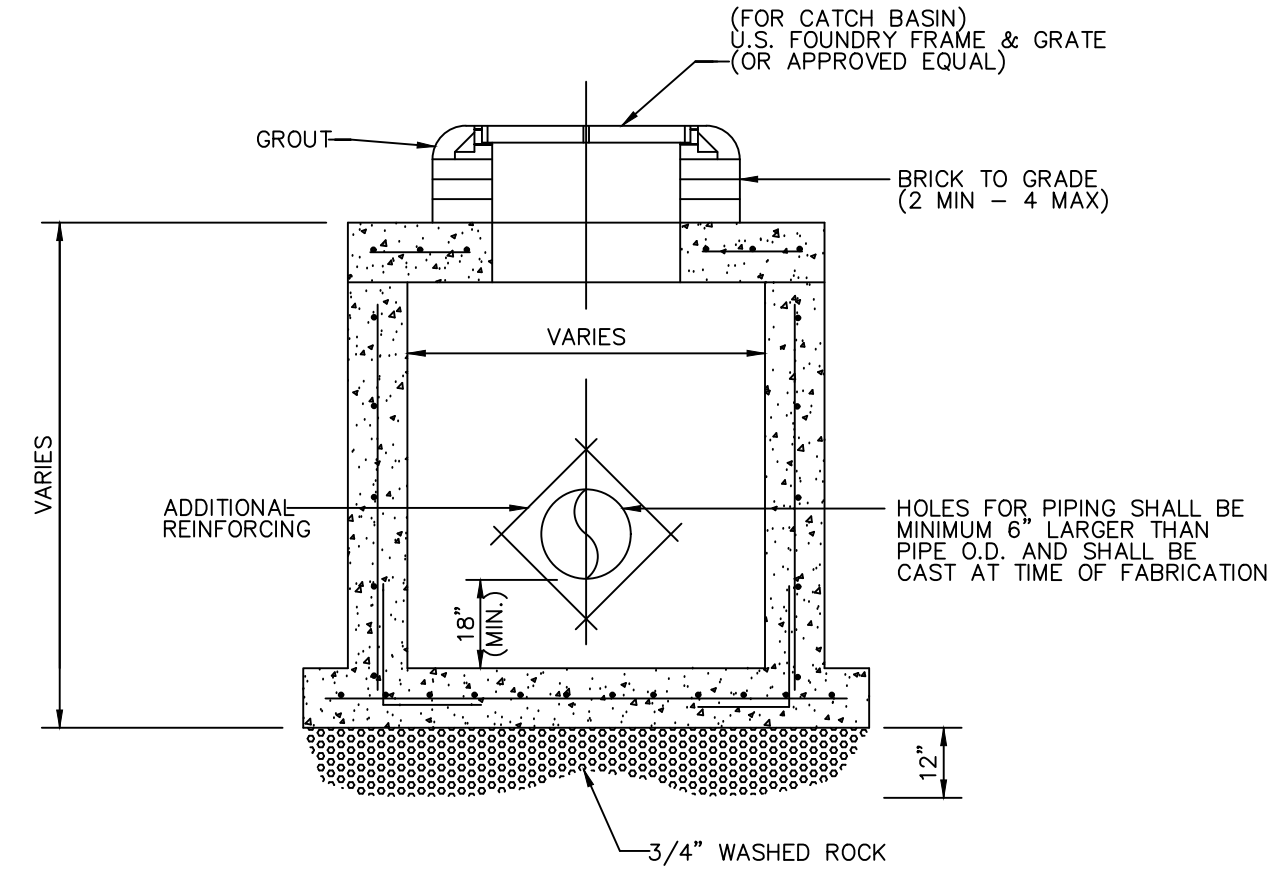
ASPHALT TRANSITION DETAIL AT
BEGINNING/END OF ASPHALT OVERLAY

ASPHALT OVERLAY DETAILS

NOT TO SCALE

NOTES:

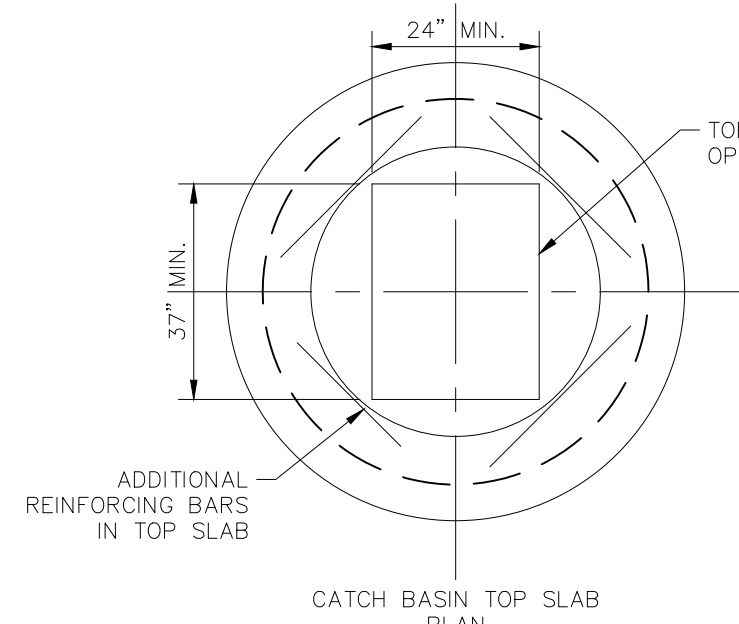
1. OVERLAY WITH FDOT TYPE SP-9.5 (FINE MIX) ASPHALTIC CONCRETE SURFACE COURSE (1" MIN. THICKNESS) AS SHOWN.
2. AT THE BEGINNING & END OF ASPHALT OVERLAY AND AT EDGE OF PAVEMENT ADJACENT TO CURBS, THE EXIST. PAVEMENT SHALL BE SAWCUT TO AN APPROXIMATE DEPTH OF 1" TO MAKE A CLEAN BUTT JOINT, & ENOUGH MATERIAL REMOVED FOR A SMOOTH TIE-IN AS SHOWN IN THE DETAIL.
3. CONTRACTOR TO PROVIDE SMOOTH AND CONTINUOUS GRADING DURING ASPHALT OVERLAY PROCESS TO AVOID AREAS OF STANDING WATER. THE COST SHALL BE INCLUDED IN THE ASPHALTIC CONCRETE SURFACE COURSE OVERLAY PAY ITEM.



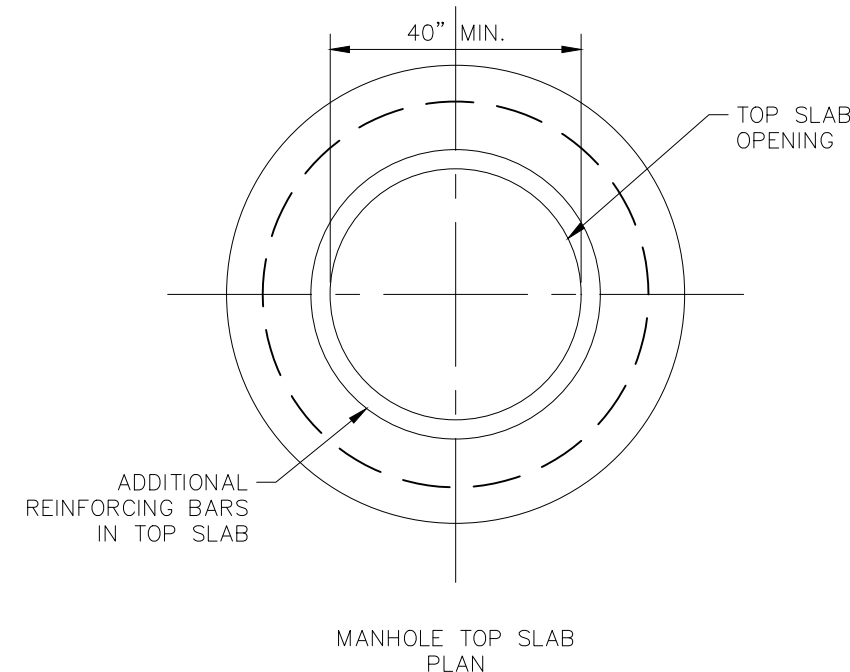
(ALL FDOT TYPE STRUCTURES ARE APPROVED.)

PRECAST CATCH BASIN DETAIL

NOT TO SCALE



CATCH BASIN TOP SLAB PLAN



MANHOLE TOP SLAB PLAN



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LICENSED PROFESSIONAL

STEFANO VIOLA, P.E.

KHA PROJECT
044241040

DATE
FEB 2023

SCALE
AS SHOWN

DESIGNED BY
SV

DRAWN BY
SV

CHECKED BY
SV

DATE
2/21/23

**PAVING AND
GRADING DETAILS**

PROJECT NO. DCM-19-001190

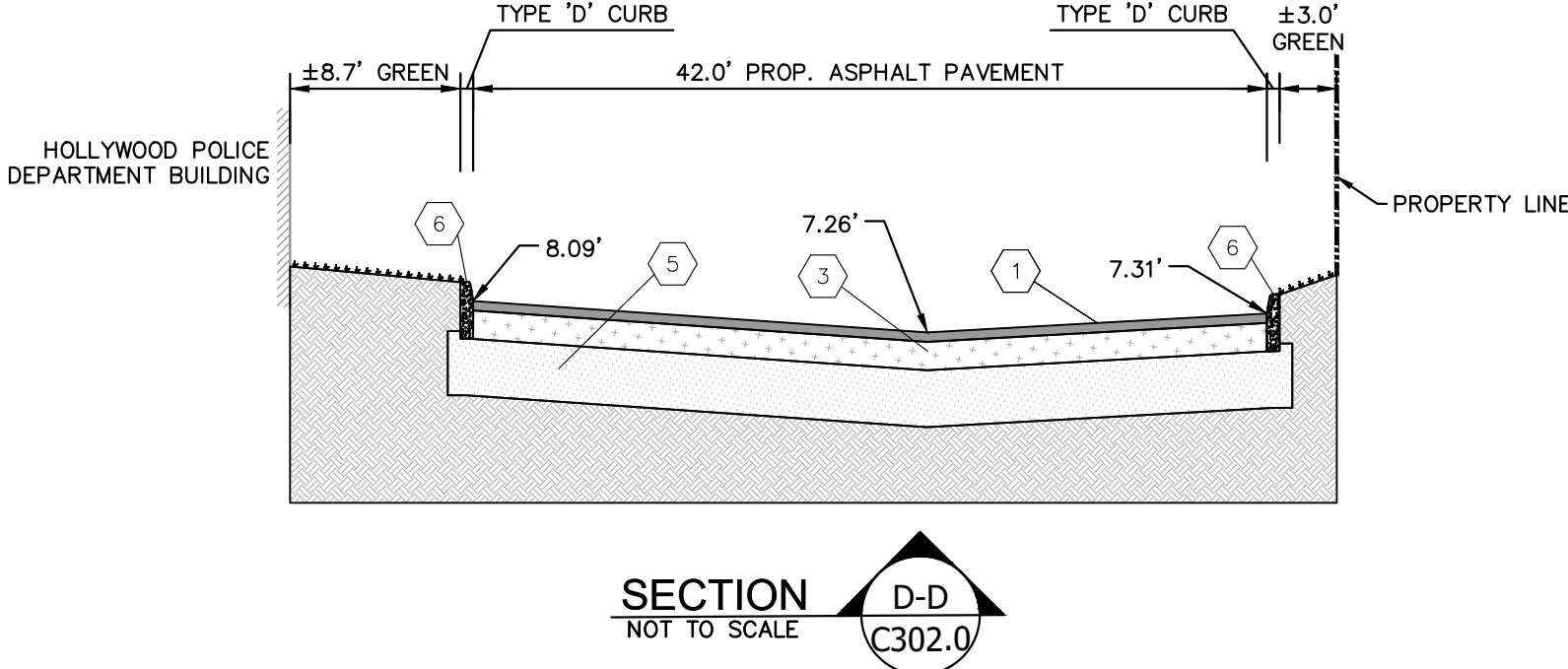
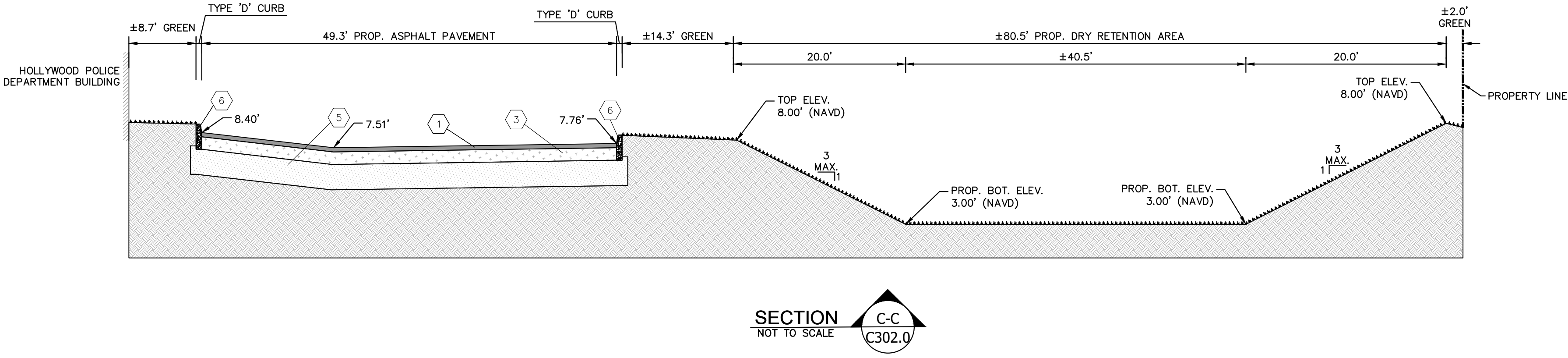
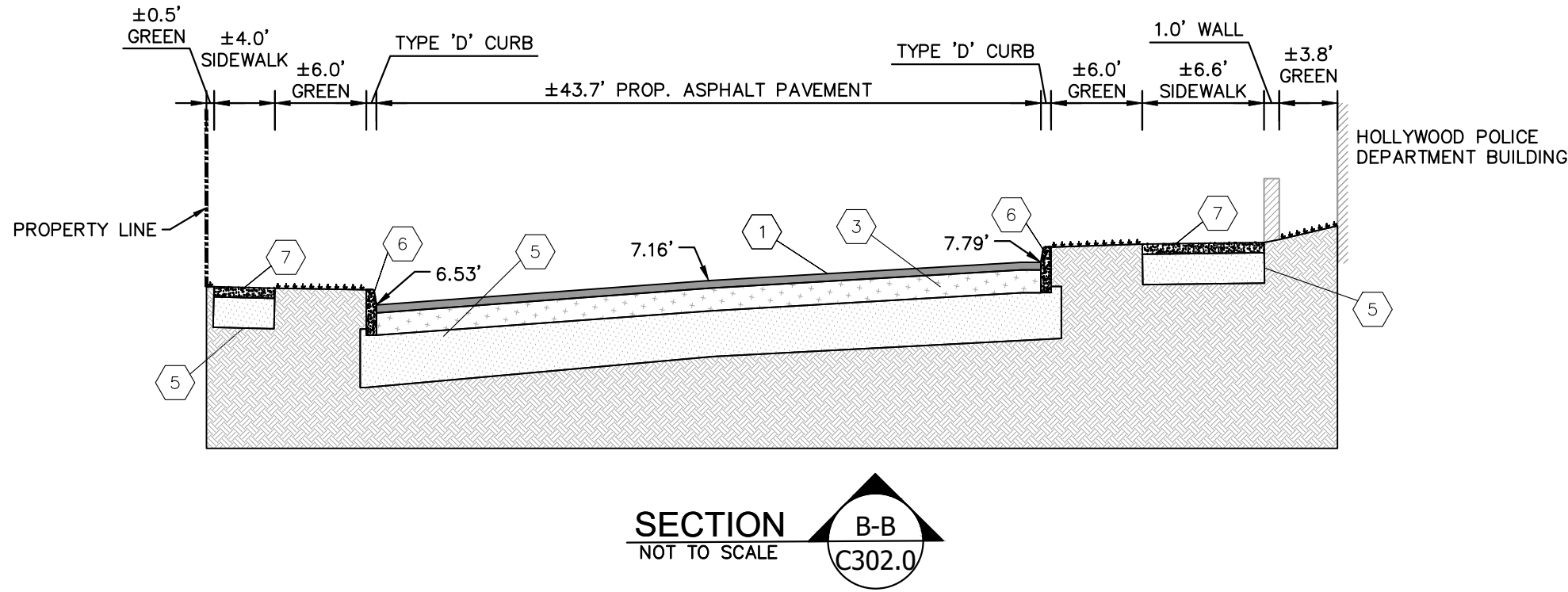
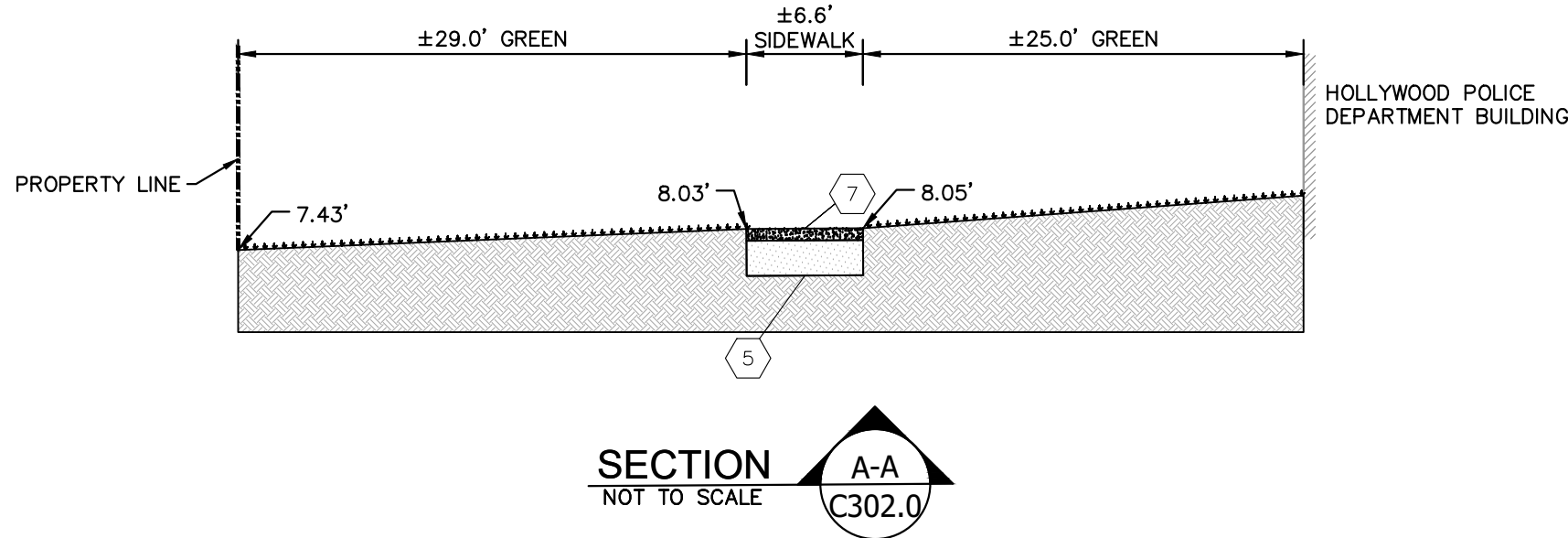
FINAL TAC SUBMISSION

**HOLLYWOOD NEW POLICE
HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD**

HOLLYWOOD

SHEET NUMBER
C-301

FILED BY JUDITH ALLEN STEEL SHELTER WORKS NEW PENCE HERRING LEIN 10041016-002 CROSS SECTION 02 JULY 21 2025 08:26:20AM
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PAVING LEGEND

- ① 1 1/2" ASPHALT SURFACE TYPE SP-9.5 (IN TWO 3/4" LIFTS)
- ② 2" ASPHALT SURFACE TYPE SP-9.5 (IN TWO 1" LIFTS)
- ③ 8" LIMEROCK BASE COMPACTED WITH MINIMUM LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.
- ④ 10" LIMEROCK BASE COMPACTED WITH MINIMUM LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.
- ⑤ 12" THICK STABILIZED SUBGRADE COMPACTED AND STABILIZED WITH MINIMUM DESIGN LBR OF 40 COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY (AASHTO T-180) (DRIVE AISLE)
- ⑥ TYPE 'D' CURB
- ⑦ CONCRETE PAD
- ⑧ 1" TYPE SP 9.5 LIFT AND 1 1/2" TYPE SP-12.5 LIFT OF ASPHALT CONCRETE

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FINAL TAC SUBMISSION

HOLLYWOOD NEW POLICE
HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD

HOLLYWOOD

CROSS SECTIONS

PROJECT NO. DCM-19-001190

LICENSED PROFESSIONAL

STEFANO VIOLA, P.E.

FL LICENSE NUMBER

DATE: 2/21/23

Kimley»»Horn

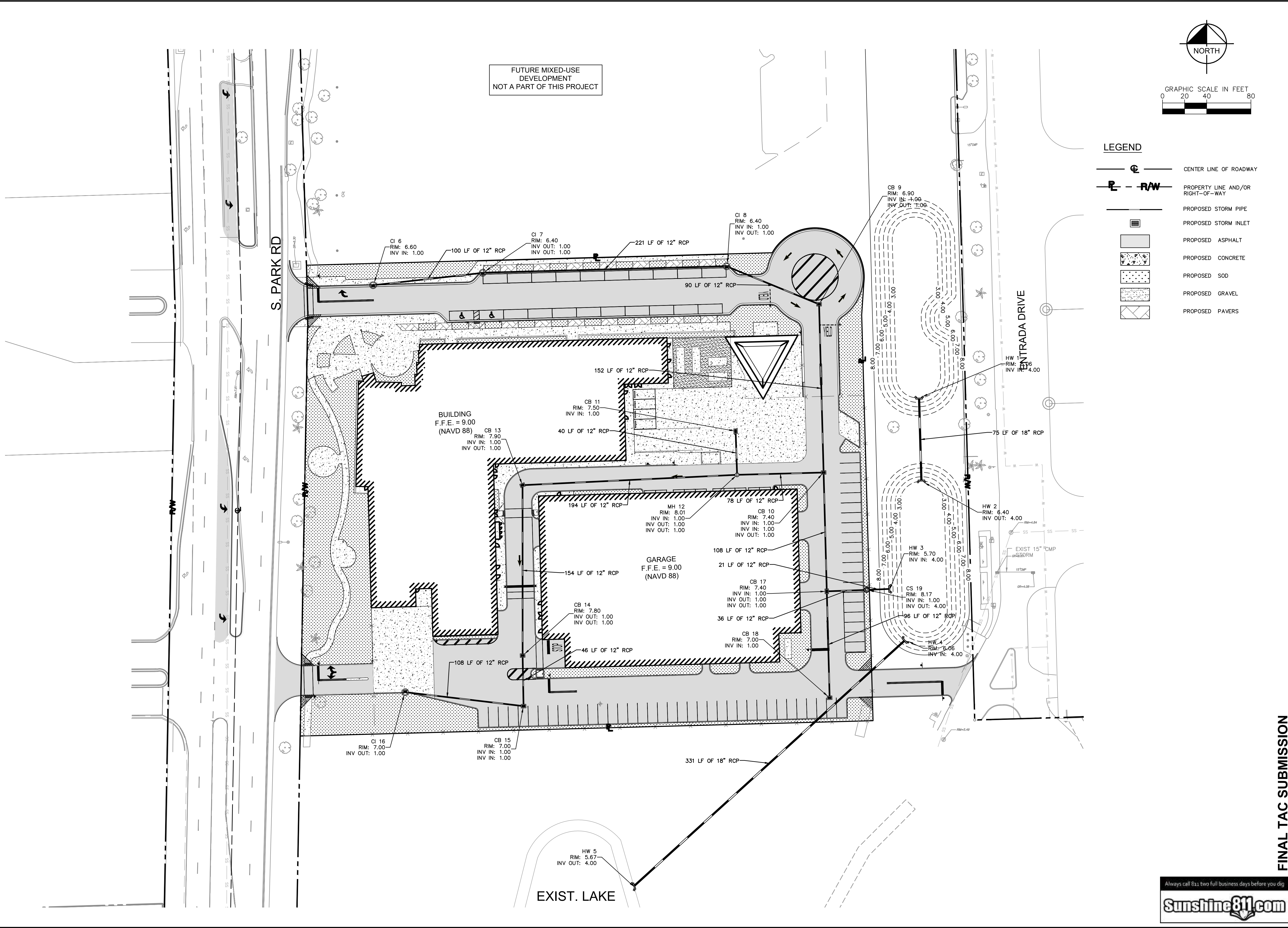
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WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

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Plotted By: Turpin, Angel - Sheet Set: HOLLYWOOD NEW POLICE HEADQUARTERS - Layout: C-400 DRAINAGE PLAN - February 21, 2023 - 09:26:45am - K:\YH - civil\044 - jobs\044241040 - hollywood police headquarters\Design\CADD\plansheets\C-400 DRAINAGE PLAN.dwg
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FINAL TAC SUBMISSION

HOLLYWOOD NEW POLICE HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD

SHEET NUMBER
C-400

PROJECT NO. DCM-19-001190

FL

PROJECT
044241040

DATE
FEB 2023

SCALE AS SHOWN

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DRAWN BY SV

CHECKED BY SV

LICENSED PROFESSIONAL

STEFANO VIOLA, P.E.

FL LICENSE NUMBER
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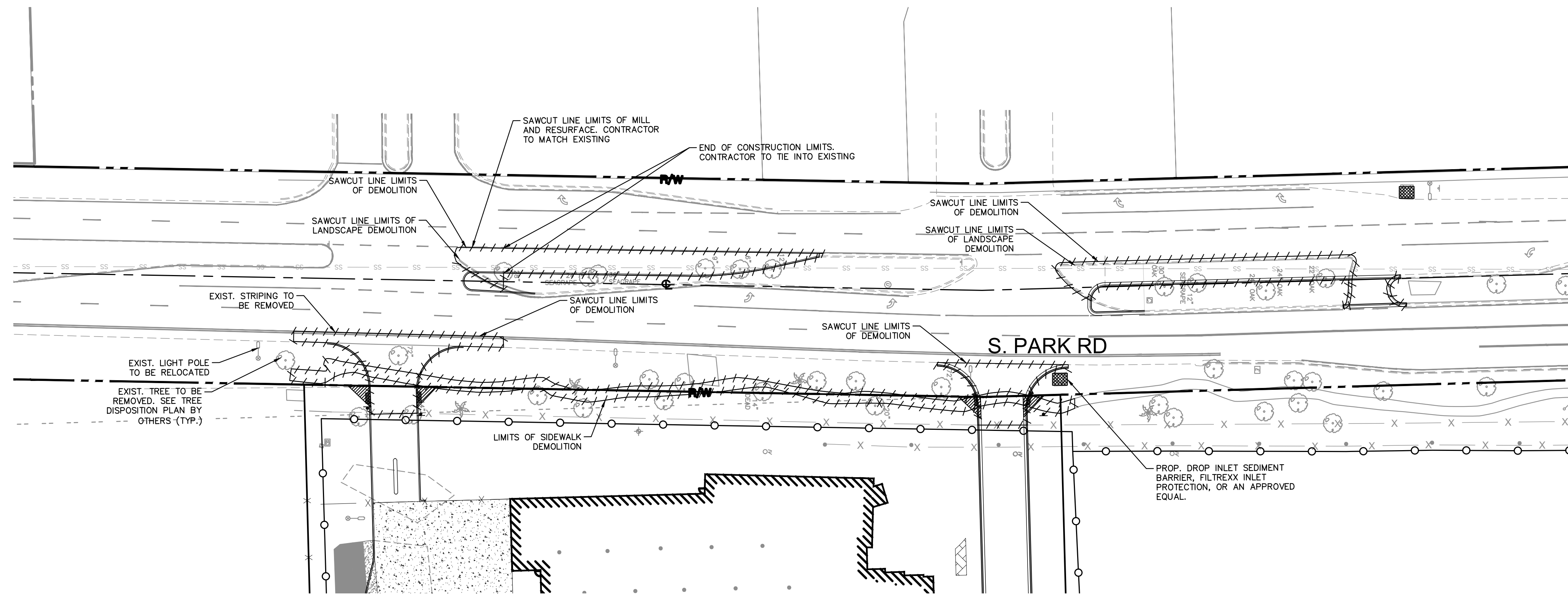
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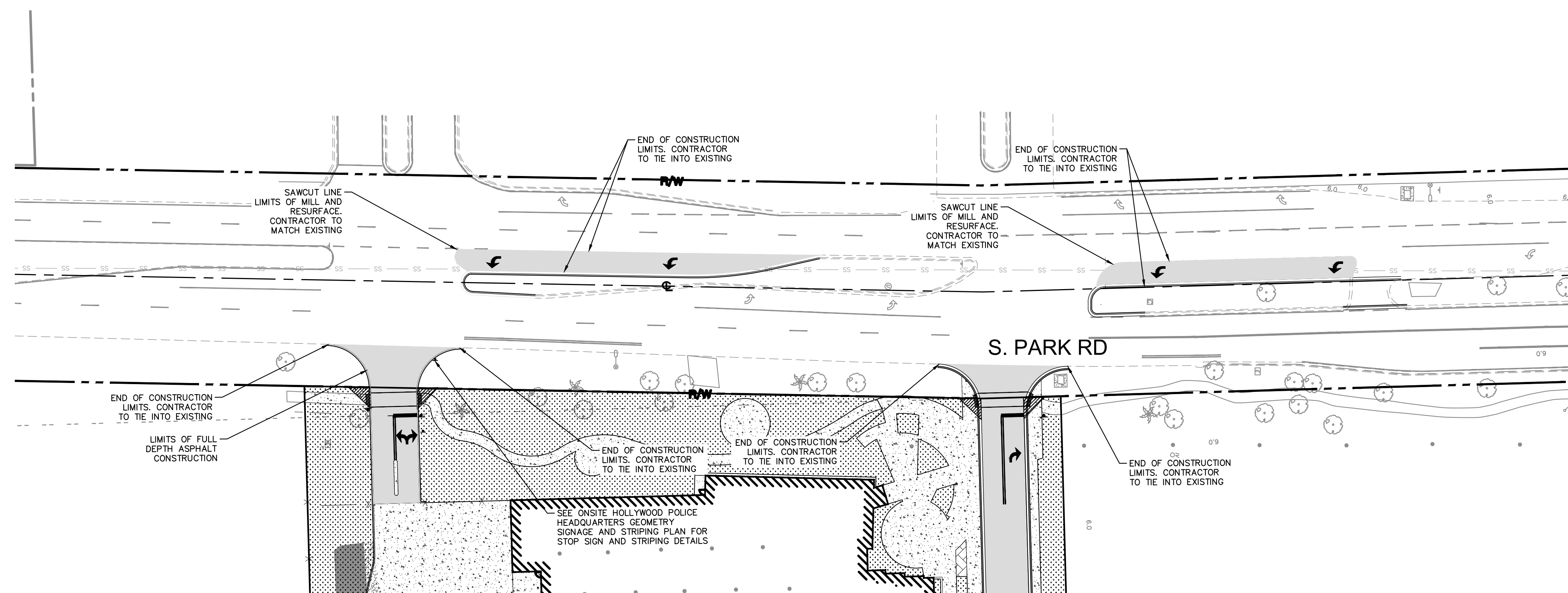
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DATE

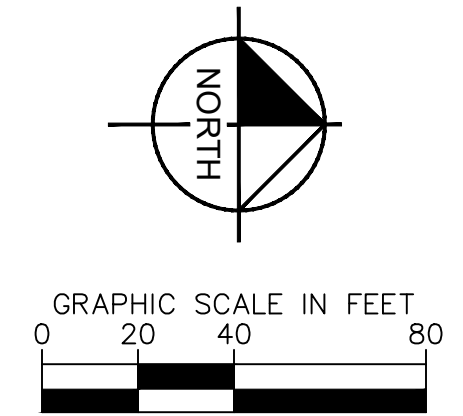
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DEMOLITION AND EROSION CONTROL PLAN

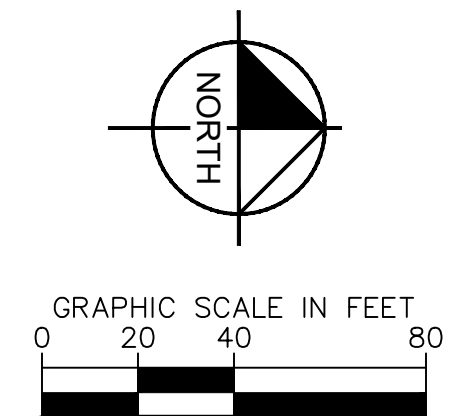


PROPOSED IMPROVEMENT PLAN





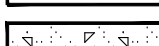


LEGEND

- | | |
|---|---|
|  | CENTER LINE OF ROADWAY |
|  | PROPERTY LINE AND/OR RIGHT-OF-WAY |
|  | PROP. DROP INLET SEDIMENT BARRIER,
FILTERTEX INLET PROTECTION, OR
APPROVED EQUAL |
|  | PROP. SILT FENCE SEDIMENT CONTROL |
|  | PROP. 6' CHAIN LINK CONSTRUCTION
FENCE WITH POLES AT 10'-0" O.C. AND
VISUAL DUST SCREEN (GREEN) |
|  | LIMITS OF DEMOLITION |



LEGEND

- | | |
|---|---------------------------------------|
|  | CENTER LINE OF ROADWAY |
|  | PROPERTY LINE AND/OR RIGHT-OF-WAY |
|  | PROP. FULL DEPTH ASPHALT CONSTRUCTION |
|  | PROPOSED CONCRETE |
|  | PROPOSED GRASS |

FINAL TAC SUBMISSION

HOLLYWOOD NEW POLICE
HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD

SOUTH PARK ROAD IMPROVEMENTS

LICENSED PROFESSIONAL

STEFANO VIOLA, P.E.
FL LICENSE NUMBER
74655

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PROJECT NO. DCM-19-001190

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2/21/23

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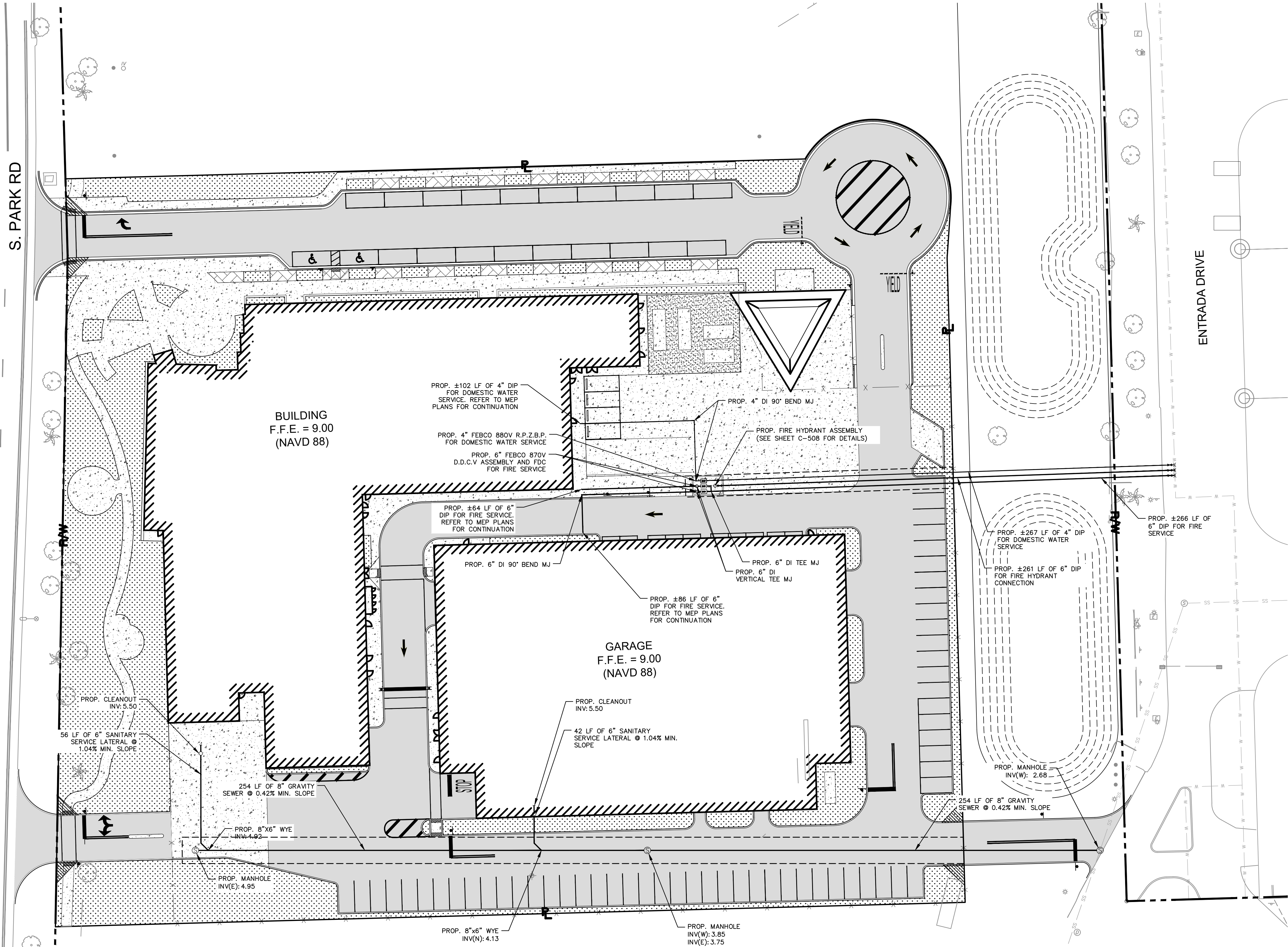
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HOLLYWOOD NEW POLICE HEADQUARTERS
PREPARED FOR
CITY OF HOLLYWOOD

WATER AND
SEWER PLAN

KVA PROJECT
044241040
DATE
FEB 2023
SCALE AS SHOWN
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DRAWN BY SV
CHECKED BY SV
DATE 2/21/23

LICENSED PROFESSIONAL
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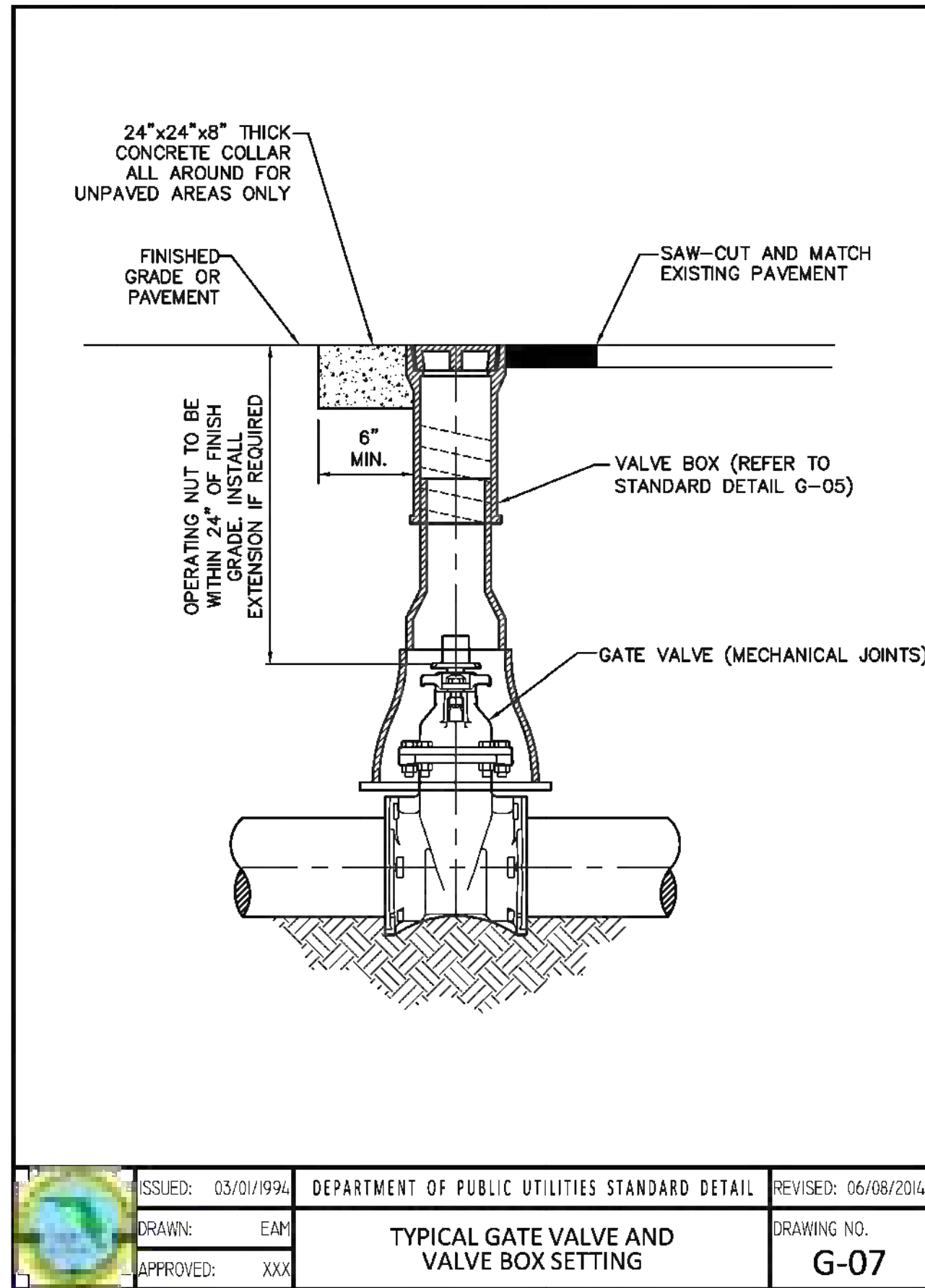
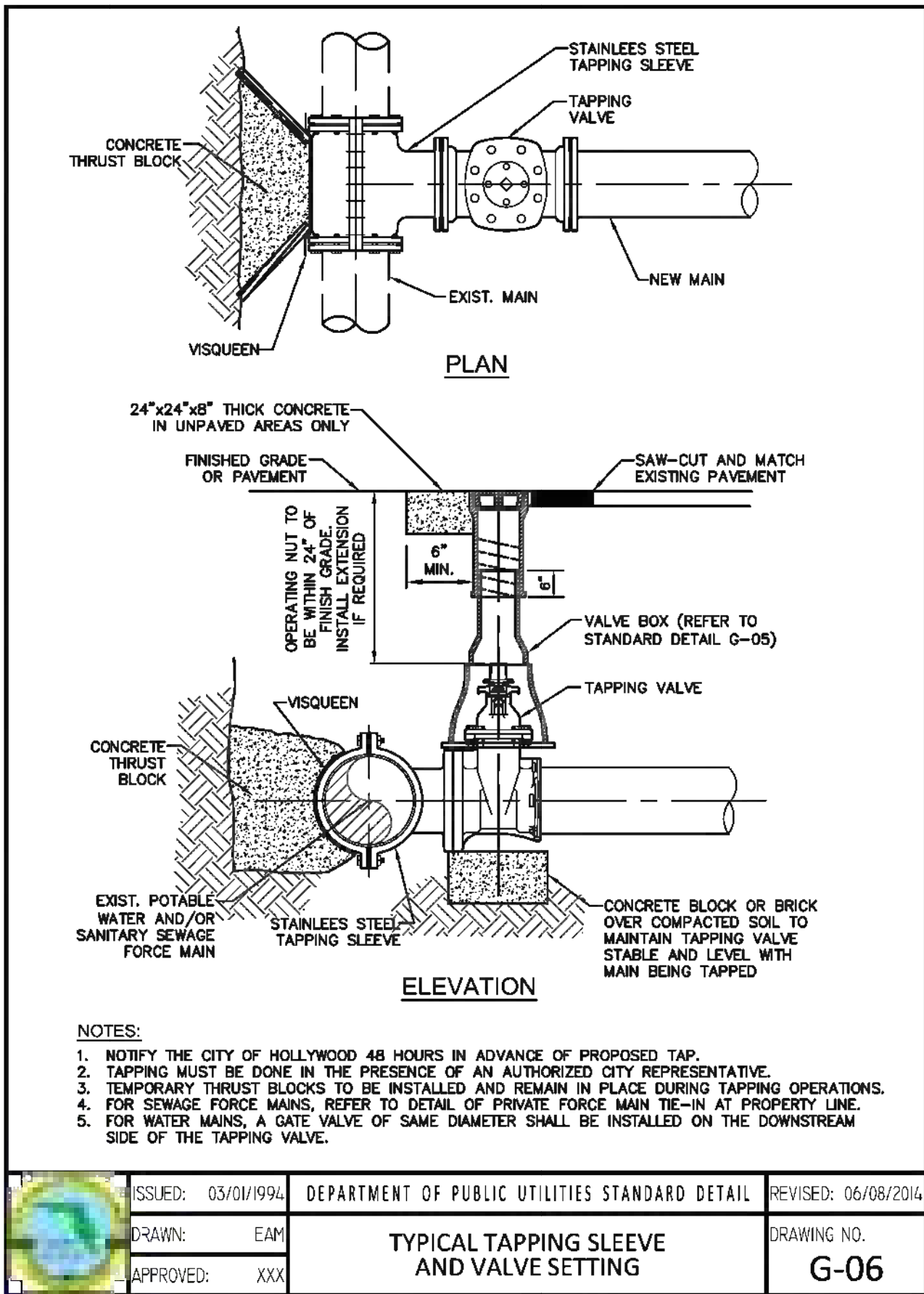
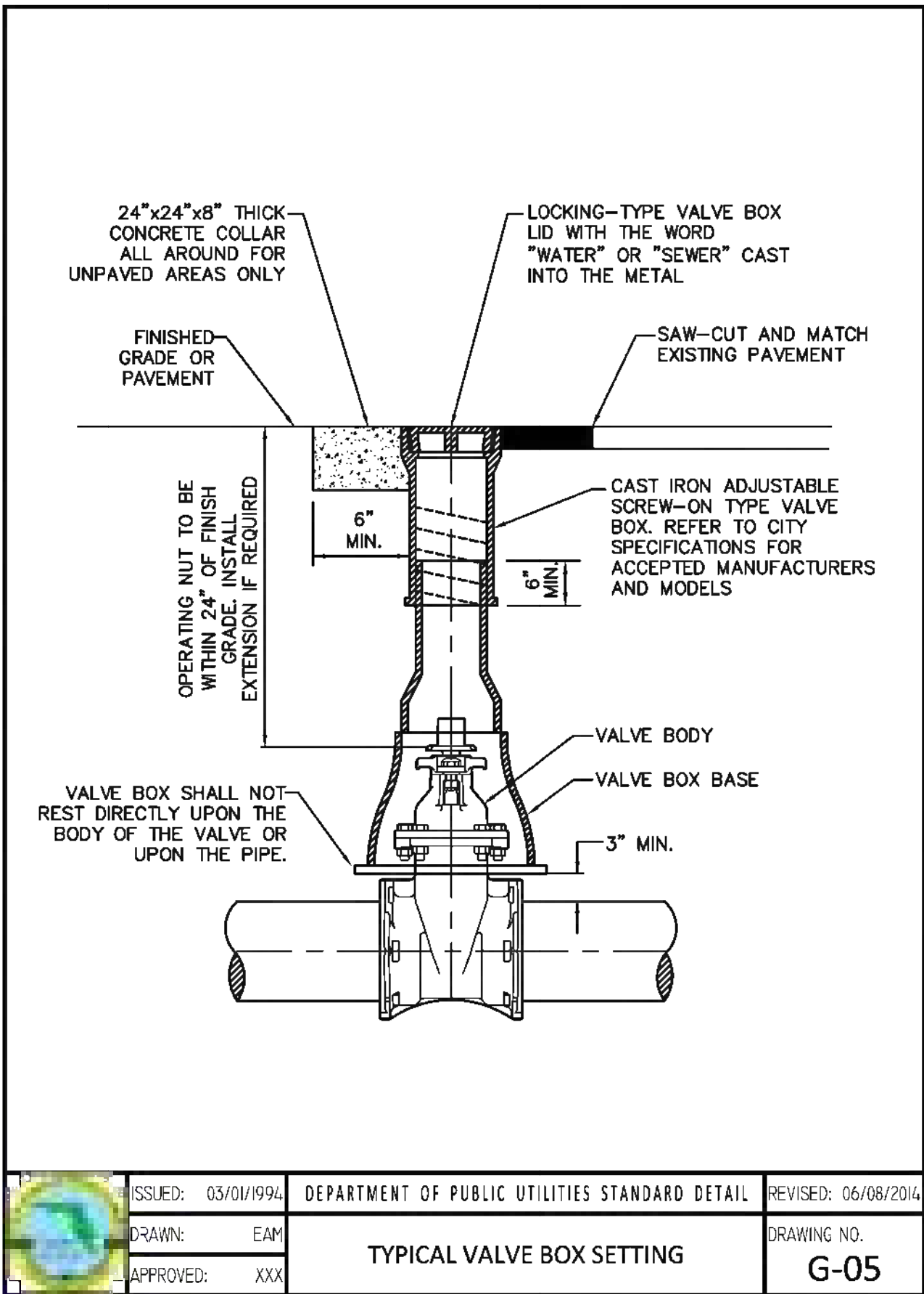
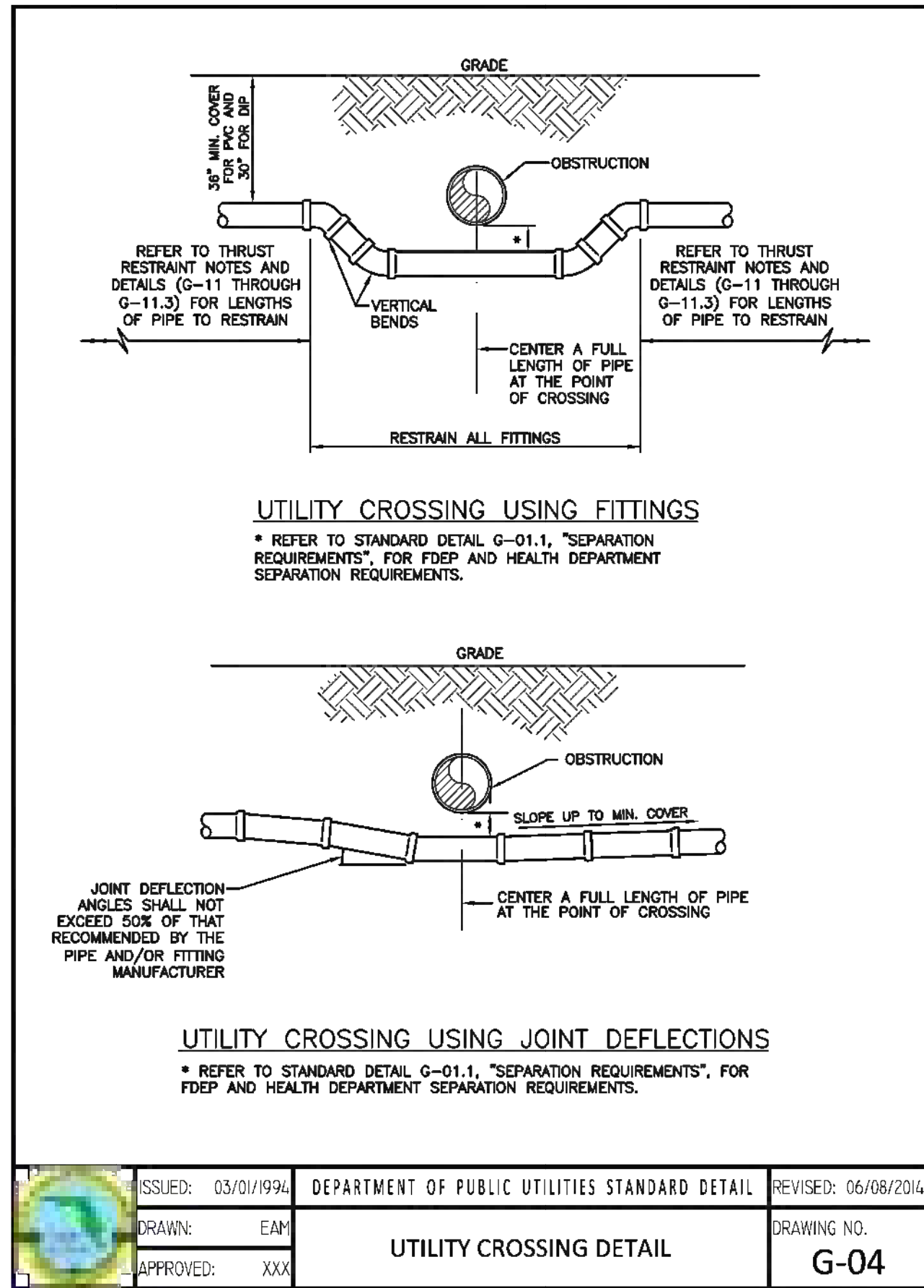
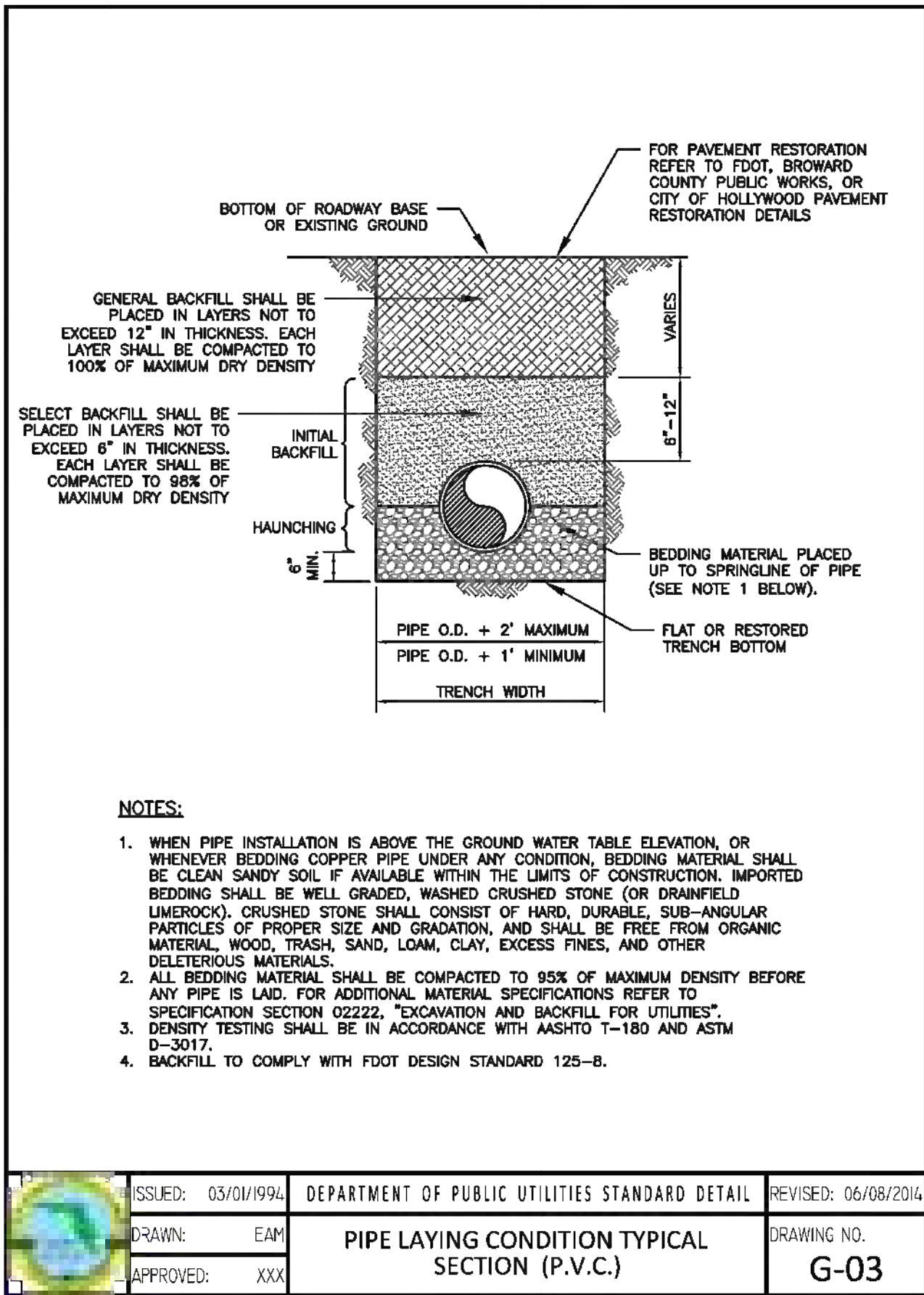
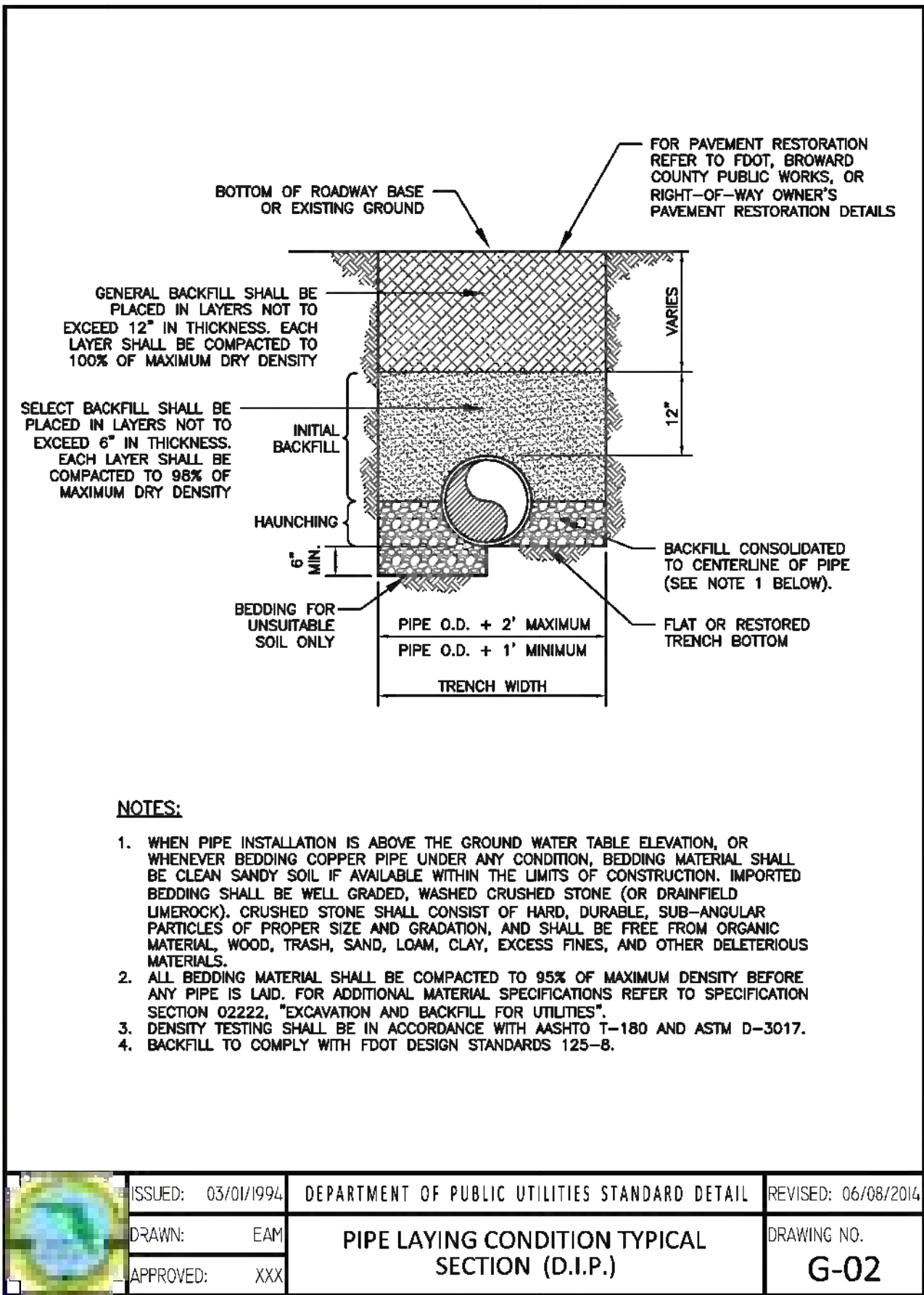
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GENERAL UTILITY DETAILS

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SCALE AS SHOWN
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