

JOB CARD

OWNER Fruehling		JOB ADDRESS 1125 N. SHAWANO BLVD.	
LEGAL DESCRIPTION	LOT NUMBER 1, 2, and part of 3	BLOCK 42	SECTION WEST SIDE OF 20177 S
MICROFILM NO.	ARCHITECT	FEE \$15.00	VALUATION 5

DESCRIPTION OF CONSTRUCTION
replace sewer line

SEPTIC TANK
 OTHER USE

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX. 1	11-17-61	A. Ann Plumbing	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

JOB CARD							
OWNER Herbert Frosling				JOB ADDRESS 1128 N. Hawthorne Drive			
LEGAL DESCRIPTION		LOT NUMBER		BLOCK		SUBDIVISION OR ADDITION	
MICROFILM NO.		ARCHITECT		FEE \$ 17.00		VALUATION \$ 1000.00	
DESCRIPTION OF CONSTRUCTION 1685# resurface asphalt drive							<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY	1685# 7269	12-1-81	
FENCE				PATIO OR WALK			
NOTES: County surcharge: \$.35							

1st Floor Plan
 2nd Floor Plan
 Section Detail
 General Notes
 Final Plans
 Cert. of Occupancy

NAME OF OWNER: HERBERT FREEMAN
 ADDRESS: 1128 N.W. Lake Dr
 LEGAL DESCRIPTION: 50' of lot 1, 2 + 3 COST
 DESCRIPTION OF CONST.: W 30' of lot 3, 81k 42
 ARCHITECT: NO MICROFILM

Room Enclosures

PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.	79189	7-8-68	W. W. Campbell	
ROOF	80056	9-3-68	Z. K. K. K.	
ELECTRICAL	48107	11-20-68	Uchida	
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS	02621	9-6-68	of Winton	
SCREEN ENCL.	3171	12-4-68	"	
POOL				
DRIVEWAY				
FENCE				

JOB CARD

OWNER
FREHLING

JOB ADDRESS
1128 N NORTHLAKE DR.

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

514214017049

MICROFILM NO.

ARCHITECT

FEE

\$ **45.58**

VALUATION

\$ **209.00**

DESCRIPTION OF CONSTRUCTION

A/C INSTAL.

SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	20003	3-27-87	DN WILSON
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: county surcharge \$.60

NAME OF OWNER: **HERBERT FREEMAN**

ADDRESS: **1128 W.W. Lake Dr**

LEGAL DESCRIPTION: **E 50' of Lot 1, + 2 + COST**

DESCRIPTION OF CONST.: **W 30' of Lot 3, Bk 42 Middle**

ARCHITECT: **NO MICROFILM**

Room Enclosures

PERMIT TYPE	NO.	DATE	TO WHOM	INT. or OUT.
BLDG.	19189	7-8-68	W. W. Crayford	
ROOF	10056	9-3-68	2-ENCL. W.D.	
ELECTRICAL	4407	11-20-68	Weller	
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS	02621	9-6-68	W. W. Crayford	
SCREEN ENCL.	3171	12-4-68	"	
POOL				
DRIVEWAY				
FENCE				

JOB CARD

OWNER FREHLING	JOB ADDRESS 1128 N NORTHLAKE DR.
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION 514214017040
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MICROFILM NO. E. M. 50 87	ARCHITECT	FEE \$ 45.58	VALUATION \$ 2039.00
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DESCRIPTION OF CONSTRUCTION A/C INSTAL.	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	20003	3-27-87	EH WHITSON
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: county surcharge \$.60

JOB CARD

OWNER: **Herbert Freadling** JOB ADDRESS: **1128 N. Northlake Drive**

LEGAL DESCRIPTION: LOT NUMBER: BLOCK: SUBDIVISION OR ADDITION:

MICROFILM NO.: ARCHITECT: FEE: **\$17.00** VALUATION: **\$1000.00**

DESCRIPTION OF CONSTRUCTION: **1685# resurface asphalt drive**

SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY	1685# 72469	12-1-81	Randall Payne
FENCE				PATIO or WALK			

NOTES: County surcharge: \$.35

JOB CARD

OWNER Finoling	JOB ADDRESS 1128 N. Northlake Drive
LEGAL DESCRIPTION LOT NUMBER 1, 2, and part of 3	BLOCK 42
MICROFILM NO.	SUBDIVISION OR ADDITION HIND. LAKE SEC.
ARCHITECT	FEE \$15.00
	VALUATION \$

DESCRIPTION OF CONSTRUCTION
replace sewer line

SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX. 1	11-17-81	A. Ace Plumb.	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

JOB CARD

OWNER: **Freeling** JOB ADDRESS: **1128 N. North lake Dr.**

LEGAL DESCRIPTION: LOT NUMBER: BLOCK: SUBDIVISION OR ADDITION:

MICROFILM NO.: ARCHITECT: FEE: **\$30.00** VALUATION: **\$ 5700.**

DESCRIPTION OF CONSTRUCTION: **re-roof flat** SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF	3600	91863	10-22-84 Apex Reg.	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: **County surcharge 1.20**

JOB CARD

OWNER: **H. Freehling** JOB ADDRESS: **1128 North Northlake Drive**

LEGAL DESCRIPTION: LOT NUMBER: BLOCK: SUBDIVISION OR ADDITION:

MICROFILM NO. **MISC-82-F** ARCHITECT: FEE: **\$ 20.00** VALUATION: **\$ 624**

DESCRIPTION OF CONSTRUCTION: **fascia and soffitt**

SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	73247	1/28/82	Sears	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
C-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: county surcharge \$.22

Permit Search Results

[Search](#) > Properties located at/on/near '...1128 n...'

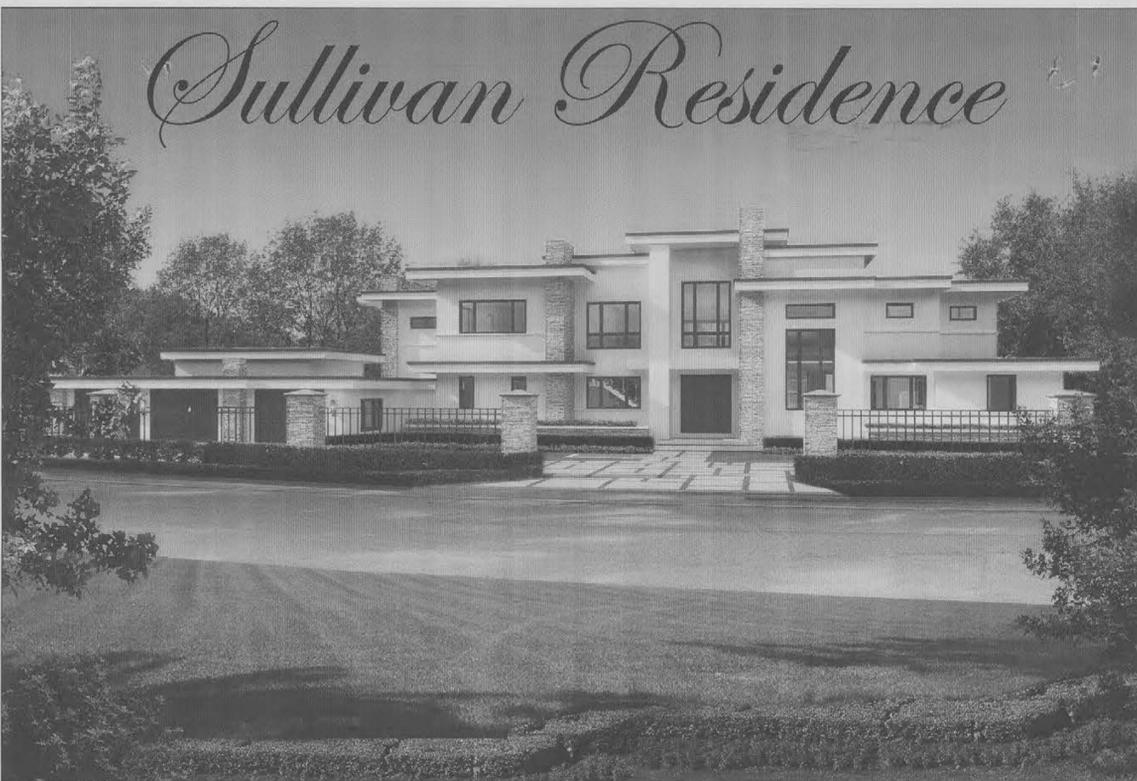
**59 permits were found for
1128 N NORTH LAKE DR**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		M13-101058	POOL HEATER	9/6/2013	9/6/2013
Details		P10-101117	ON SITE DRAINAGE	7/8/2013	7/8/2013
Details		P13-100782	BACKFLOW PREVENTER	5/31/2013	12/26/2013
Details		P12-100361	LAWN SPRINKLER EXCL PUMP AND WELL	3/21/2013	3/21/2013
Details		E13-100550	TEMP ELEC SERVICE FOR TESTING-30 DAY MAX	3/19/2013	3/19/2013
Details		P13-100124	BACKFLOW PREVENTER	2/4/2013	3/19/2013
Details		M12-101209	FIREPLACE-PREFAB	11/20/2012	11/20/2012
Details		E11-101437	LOW VOLTAGE (MUSIC SYSTEM)	10/15/2012	11/20/2012
Details		E12-102193	ALARM - RESIDENTIAL - BURGLAR/ROBBERY	10/15/2012	10/15/2012
Details		B12-104059	REROOF - FLAT	10/2/2012	11/1/2012
Details		M10-101024	A/C CENTRAL (NEW)	10/2/2012	10/2/2012
Details		E11-101438	LOW VOLTAGE (CABLE TELEVISION)	9/27/2012	9/27/2012
Details		E11-101439	LOW VOLTAGE (VOICE/TELEPHONE)	9/25/2012	
Details		B12-102750	SHADE STRUCTURE	7/6/2012	7/6/2012
Details		B12-100778	ROOFING - NEW - FLAT	3/7/2012	3/7/2012
Details		E11-101435	ELECTRICAL WORK	2/22/2012	2/28/2012

Details		E12-100030	TEMP POWER (FOR CONSTRUCTION)	1/6/2012	1/11/2012
Details		P11-100663	POOL HEATER, PIPING & FILTER EQUIPMENT	11/9/2011	11/9/2011
Details		P11-100664	GAS PIPING	10/10/2011	10/10/2011
Details		E11-100830	LOW VOLTAGE (POOL ALARM SYSTEM)	10/10/2011	10/10/2011
Details		E11-100829	ELECTRICAL WORK	10/10/2011	10/10/2011
Details		B11-103698	DECK - WITHOUT ROOF	10/10/2011	10/10/2011
Details		P10-101010	PLUMBING WORK	9/16/2011	9/16/2011
Details		E11-101432	TEMP POWER (FOR CONSTRUCTION)	7/18/2011	7/18/2011
Details		B11-101623	POOL - RESIDENTIAL	4/27/2011	10/10/2011
Details		B10-102987	ADDITION & ALTERATIONS	7/15/2010	3/31/2011
Details	4899	B0603259	RE-ROOF FLAT	3/14/2006	3/29/2006
Details	97088	B0602406	REPAIRS- STRUCTURAL	2/1/2006	3/9/2006
Details	4152	E0600490	ELECTRICAL WORK	2/1/2006	3/9/2006
Details	77339	M0401447	A/C - CENTRAL - REPLACEMENT	9/21/2004	9/24/2004
Details	48778	B0302237	RE-ROOF FLAT	4/3/2003	4/30/2003
Details	47628	B0302236	RE-ROOF FLAT	4/3/2003	4/30/2003
Details	44898	M0300250	A/C - CENTRAL - REPLACEMENT	2/6/2003	2/21/2003
Details	72074	E9301779	ELECTRICAL WORK	3/5/1993	6/7/1993
Details		P9701317	BACKFLOW PREVENTER		7/7/1997
Details		P9501679	BACKFLOW PREVENTER		12/20/1995
Details		E9503623	ELECTRICAL WORK		12/1/1995
Details		B9506632	DOCK		12/1/1995

Details		P9401599	BACKFLOW PREVENTER		12/12/1994
Details		B9307383	DRIVEWAY		11/12/1993
Details		P9301382	PLUMBING WORK		11/3/1993
Details		B9306621	FENCE- WOOD,CHAIN LINK,ETC.		10/13/1993
Details		P9300894	LAWN SPRINKLER EXCL PUMP AND WELL		7/26/1993
Details		E9302446	ELECTRICAL WORK		7/26/1993
Details		B9303983	ROOFING - NEW - COMPOSITION SHINGLE		6/11/1993
Details		E9301395	ALARM - RESIDENTIAL - CENTRAL - AUDIBLE		5/10/1993
Details		P9300460	PLUMBING WORK		4/16/1993
Details		E9301192	ELECTRICAL WORK		4/16/1993
Details		B9302456	POOL - RESIDENTIAL		4/16/1993
Details		P9300439	PLUMBING WORK		4/14/1993
Details		M9300350	A/C - CENTRAL - REPLACEMENT		4/14/1993
Details		E9301107	ELECTRICAL WORK		4/14/1993
Details		B9302368	ADDITION & ALTERATIONS		4/14/1993
Details		B9302064	PILING		3/31/1993
Details		B9205853	PAVING		9/1/1992
Details		B9200911	FUMIGATION		2/14/1992
Details		B9108084	RE-ROOF-FLAT		12/10/1991
Details		B9108000	PAVING		12/5/1991
Details		B9007735	RE-ROOF-FLAT		12/4/1990

Sullivan Residence



ARTIST CONCEPT

PETER SULLIVAN
1128 NORTH NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA 33020

ARCHITECT

IN - SITE DESIGN GROUP, INC.

1609 RODMAN STREET, HOLLYWOOD, FLORIDA 33020 (954) 921-5333 (954) 655-7483 AA26001758

STRUCTURAL ENGINEER

SPECIALTY ENGINEERING CONSULTANTS, INC.

1599 SW 30 AVENUE SUITE 20 BOYNTON BEACH FLORIDA 33426 561-843-9110 GARY MC DOUGLE, P.E. 009217

MECHANICAL ELECTRICAL & PLUMBING ENGINEER

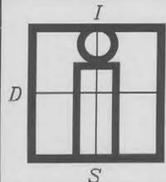
E&E CONSULTING ENGINEERS, LLC

1400 EAST OAKLAND PARK BLVD SUITE 108 FORT LAUDERDALE, FL 33334 954-566-9708 EUGENIO ERQUIAGA 15387

LANDSCAPE ARCHITECT

KIM MOYER, A.S.L.A.

4808 NE 16 AVENUE OAKLAND PARK, FL 33334 954-492-9609 KIM MOYER LA0000952



IN-SITE DESIGN GROUP INC

1609 RODMAN STREET
HOLLYWOOD, FLORIDA 33020
AA26001758
954 921 5333
FAX 954 921 6769
PROJECT COORDINATOR:
ANNIE CARRUTHERS
CGC 1511058
ARCHITECT
SAMUEL R. UCCELLO

Sullivan
7/9/10
SEAL

STATE OF FLORIDA LICENSE NO. AR-0015997

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DISCREPANCIES TO THE ARCHITECT BEFORE
COMMENCEMENT OF WORK. DRAWINGS ARE NOT
TO BE SCALED.

PROJECT:
SULLIVAN RESIDENCE

ADDRESS:
1128 N. NORTHLAKE DR.
HOLLYWOOD, FL 33019

DISTRIBUTION
APRIL - 16 - 2010
HISTORIC BOARD
SUBMITTAL
PETITION NO: 10-C-17
VARIANCE SUBMITTAL

JULY - 12 - 2010
PERMIT SUBMITTAL

REVISIONS

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PROJECT DATA

PROJECT: RESIDENTIAL ADDITION AND RENOVATION

SITE DATA	
OWNER ADDRESS	PETER SULLIVAN 1128 NORTH NORTHLAKE DRIVE, HOLLYWOOD, FL 33020
TAX FOLIO NUMBER	5142-14-01-1040
CONSTRUCTION TYPE	TYPE V - NEW RESIDENCE ADDITION
HEIGHT (TO TOP OF ROOF)	24'-4"
OCCUPANCY TYPE	R-3
NET LOT AREA (TO WET FACE OF SEA WALL)	130.5' X 229.13' = 29,869.9 SQ FT
CONSTRUCTION PROJECT DESCRIPTION	NEW ADDITION AND INTERIOR RENOVATION 1262 SF ADDITION TO EXISTING RESIDENCE AND RENOVATION TO THE INTERIOR, NEW ROOF AND EXTERIOR WINDOWS AND DOORS
EXISTING RESIDENCE A/C	4,709 SQFT.
TOTAL SPACE TO BE ADDED	1268 A/C - 160 SF TO BE REMOVED + 934 SF COVERED = 1262 SF
TOTAL SPACE TO BE REMOVED	160 SF AIR CONDITIONED
NEW TOTAL AIR CONDITIONED SPACE	5,797 SF EXISTING AND NEW
PERCENTAGE OF ALTERATION TO AGGREGATE AREA OF BLDG	120% OF EXISTING LEVEL 3 ALTERATION - FBC EXISTING BUILDINGS 405
PERCENTAGE NEW TO EXISTING TO BE ADDED	1268 SF NEW A/C - 160 SF A/C REMOVED + 328 SF 328/4,709 EXISTING A/C = 6.36%
ESTIMATED CONSTRUCTION COST	SEE APPLICATION

ZONING

ZONING DISTRICT	R RESIDENTIAL
FEMA FLOOD ZONE	ZONE AE
PROPOSED FINISHED FLOOR	+6'-1" 1/16" NGVD. OR 18" ABOVE CROWN OF ROAD
HIGHEST ADJACENT GRADE	+5.4'
MAP AND PANEL NO.	1201C0317G
CROWN OF ROAD	+3.42'
HISTORIC BOARD & VARIANCE	APPROVAL RECEIVED ON APRIL 21 2010 PETITION NO 10-CV-17

AREA (BUILDING) TABULATIONS

	EXISTING	PROPOSED SF ADDED	TOTAL PROPOSED
FIRST FLOOR A/C SPACE	3,626 SF	202 SF	3,828 SF
SECOND FLOOR A/C SPACE	1,083 SF	888 SF	1,971 SF
TOTAL A/C SPACE	4,709 SF	1,090 SF	5,797 SF
GARAGE	938 SF	382 SF	980 SF
COVERED TERRACES	106 SF	552 SF	1258 SF
TOTAL	6,213 SF	2,022 SF	8,235 SF

	REQUIRED	PROPOSED	% OF SITE
LOT COVERAGE (BLDG FOOTPRINT)	N/A	3,828 SF	14.7%
TERRACES FIRST FLOOR		1234 SF	4.8%
PAVERS/DRIVEWAY/POOL		5,131 SF	15.33%
LANDSCAPING/PERVIOUS AREA	1250 SF (20%)	15,698 SF	60.68%
NET LAND AREA (NOT INCL STREET)		25,869 SF	100%

GROSS LOT AREA	29,869 SF		
NET LOT AREA	29,869 SF		
EXISTING PERVIOUS	11,251 SF		6.6%
PROPOSED PERVIOUS		15,698 SF	60.68%
F.A.R. MAX REQUIRED	28,135.9 SF		65%
F.A.R. PROVIDED		8,235 SF	31.92%
LOT COVERAGE MAX REQUIRED	NO MAX		0
LOT COVERAGE PROVIDED		3,828 SF	14.7%

SETBACKS

	EXISTING SETBACK	PROPOSED
FRONT-NORTH	24'-7"	24'-7"
SIDE-EAST	5'-4"	5'-4"
SIDE-WEST	11'-11"	11'-11"
REAR-SOUTH	11'-5"	65'-7"
BUILDING HEIGHT FROM FF.	18'-3"	21'-0"
BUILDING HEIGHT FROM GRADE		21'-7" 7/8"

OCCUPANCY PER FBC 3101: R-3

LEGAL DESCRIPTION

HOLLYWOOD LAKES SECT 1-32 B LOT 1 E 5050 23 W 30 BLK 42 TG WITH LAND LYING S. OF LOTS 1 N OF LAKE LESS N 30 FOR 91 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 AT PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SEE SURVEY AND SHET 9P-1 FOR FULL LEGAL DESCRIPTION

ANY APPLICABLE RESOLUTION

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE OTHER ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. APPLICANTS WILL COMPLY WITH ANY APPLICABLE CITY ORDINANCE INCLUDING PERMIT APPLICATION, REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

APPLICABLE CODES

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES:
THE FLORIDA BUILDING CODE 2001
THE FLORIDA BUILDING CODE 2001 EXISTING BUILDINGS
NFPA 101 LIFE SAFETY CODE
BASIC WIND SPEED (MPH) 140 EXPOSURE C
ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE AND 2009 AMENDMENTS (TYP)

SITE PLAN NOTES:

- REFER TO THE RECORDED PLAT FOR INFORMATION RELATED TO THIS PROPERTY.
- REFER TO LEGAL DESCRIPTION FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING STRUCTURES
- FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. IF ANY DISCREPANCY ARISES PLEASE NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO COMMENCEMENT OR CONTINUATION WITH THE WORK IN QUESTION.
- GENERAL CONTRACTOR TO VISIT SITE PRIOR TO BIDDING AND VERIFY ALL EXISTING CONDITIONS
- GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES, SEWER, WATER AND ELECTRICAL CONNECTIONS BEFORE BIDDING

GRADE = FEMA = + 6'-0" NGVD.

UNDER NO CIRCUMSTANCES SHALL ANY PART OF THE MAIN STRUCTURE BE CONSTRUCTED WITHIN THE SETBACKS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR POTENTIAL ENCROACHMENTS. IN-SITE DESIGN GROUP AND/OR ARCHITECT MAKE NO REPRESENTATIONS OR GUARANTEES AS TO INFORMATION REFLECTED HEREON PERTAINING TO THE LOCATION OF STRUCTURES, DIMENSIONS OF PROPERTY, SETBACK LINES, RIGHT OF WAYS AND EASEMENTS. SUCH INFORMATION INCLUDING SETBACKS SHALL BE VERIFIED BY THE SURVEYOR AND THE CONTRACTOR.

SITE TO BE FILLED IN ACCORDANCE WITH THE BROWARD COUNTY FLOOD CRITERIA ELEVATION OR AN ELEVATION NOT LESS THAN 18" ABOVE THE CROWN OF THE ROAD ELEVATION FRONTING THE PROPERTY. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTY.

CONTRACTOR TO PROVIDE COUNTY W/ CERTIFIED COMPACTION REPORT BEFORE INSPECTION AS PER F.B.C. 10182.1019 AND 1020

A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT. FROM A NATIONAL PEST CONTROL ASSOC. BEFORE CONCRETE CAN BE POURED SEC. F.B.C. 10161 TERMITES PEST CONTROL TO COMPLY W/F.B.C. SECT 10510, R320 and 4409.13.5 AS APPLICABLE

SOIL STATEMENT

A COMPLETE GEOTECHNICAL EVALUATION HAS BEEN COMPLETED FOR THIS SITE BY SPECIALTY ENGINEERING CONSULTANTS, INC. A COPY OF THE REPORT SHALL BE SUBMITTED WITH THESE DOCUMENTS.

LANDSCAPE NOTES:

- ALL MECH EQUIPMENT TO BE HIDDEN BY SHRUBS
- SEE LANDSCAPE PLAN FOR ADDITIONAL NOTES DETAILS AND PLANTINGS.
- PLEASE SEE SURVEY FOR LOCATION AND SPECIES OF EXISTING TREES. ANY TREES/PALMS TO BE REMOVED SHALL BE REPLACED WITH EQUIVALENT TREES AND TO BE ABOVE MINIMUM SITE CODE.



Date of Issue
JULY 12 - 10

COVER
A-0

Plant List

Sym	Qty	Botanical Common Name	Size
RR	1	Roystonea regia/ Royal Palm	24" GW
CG	2	Caesalpinia granatillo/ Bridalveil	12" Ht x 5' Spr, 2" DBH
TI	5	Tabeuia impetiginosa/ Purple Trumpet	10" Ht x 5' Spr, 2" DBH
DR	1	Delonix regia/ Royal Poinciana	12" Ht x 5' Spr, 2" DBH
JA	1	Jacaranda mimosifolia/ Jacaranda	12" Ht x 5' Spr, 2" DBH
PH	2	Phoenix dactylifera/ Medjool/ Date Palm	14" CT, matched
VM1	1	Veitchia montgomeryana/ Montgomery Palm	16' OA Ht, triple trunk
VM	4	Veitchia montgomeryana/ Montgomery Palm	16' OA Ht, single trunk
CIT	1	Citrus sp./ Citrus to be selected	10' Ht x 4' Spr, 2" DBH
TH	6	Thrinax radiata/ Florida Thatch Palm	5' OA Ht
PA	1	Persera americana/ Avocado	12" Ht x 5' Spr, 2" DBH
MT	1	Transplanted mango	
DE	30	Duranta erecta/ Gold Mound/ Gold Mound	16" x 20", 24" O.C.
TE	65	Thunbergia erecta/ King's Mantle	24" x 24", 24" O.C.
CU	3	Clerodendrum ugandense/ Blue Butterfly	24" x 24", 24" O.C.
BG	2	Brunfelsia grandiflora/ Yesterday, Today, Tomorrow	24" x 24", 24" O.C.
GG	47	Calophthia gracilis/ Thuyalis	24" x 24", 24" O.C.
CM	8	Caryota mitis/ Fishtail Palm	8" Ht x 4' Spr
CI	23	Chrysobalanus icaco/ Cocoplum	24" x 24", 24" O.C.
TM	9	Trimezia martinicensis/ Yellow Walking Iris	12" x 12", 24" O.C.
BA	12	Bambusa multiplex/ Bamboo	8' x 4'
HI	1	Hibiscus sp./ White Hibiscus	5' Ht x 3' Spr, 2" Cal, Std
AE	6	Aechmea sp./ Bromeliad	24" x 24", to be selected
TR	28	Trachelospermum asiaticum/ Dwarf Confed Jas	8" x 8", 12" O.C.
SN	4	Strelitzia Nicolai/ Giant White Bird of Paradise	8' Ht 5 stem min
MS	148	Microsorium scolopendrium/ Wart Fern	12" x 12", 18" O.C.
CR	14	Crinum sp./ Crinum Lily	30" x 24"
PB	37	Philodendron 'Burle Marx'/ Burle Marx	18" x 18", 24" O.C.
AP	7	Alpinia purpurata/ Red Ginger	30" x 24", full
HD	93	Helianthus debilis/ Dune Sunflower	12" x 12", 15" O.C.
PS	16	Pennisetum setaceum/ Fountain Grass	18" x 18", 24" O.C.
AD	25	Asparagus densiflorus/ Myers/ Foxtail Fern	16" x 16", 18" O.C.
EI	38	Epidendrum ibaguense/ Reed Stem Orchid	1 gal, full, 12" O.C.
FM	130	Ficus 'Green Island/ Green Island	16" x 18", 24" O.C.
HP	25	Hamelia patens/ Compacta/ Firebush	24" x 24", 24" O.C.
ST	32	Sansevieria trifasciata/ Black Gold/ Snake Plant	18" Ht, 24" O.C.
BR	144	Barleria repens/ Coral Creeper	12" x 12", 12" O.C.
BO	8	Bougainvillea 'Purple'/ Bougainvillea	4' runners attach to column
MB	3	Musa Sp./ Bananas to be selected	6' Ht
PI	25	Plumbago 'Imperial Blue'/ Plumbago	24" x 24", 24" O.C.
Sod		St. Augustine 'Floratum'	
Mulch		Shredded Melaleuca or Eucalyptus	

Existing Tree Chart

Existing tree symbol	Quantity	Name	Canopy Size	Work to be Done
A	1	Mango		To be transplanted
B	4	Royal palm		To remain
C	1	Black olive	1225 sf	To be removed
D	1	Chinese fan palm		To remain
E	2	Calophyllum	576 sf each	To be removed
F	2	Queen palm		To remain
G	1	Queen palm		To be removed
H	1	Loquat		To be removed
J	5	Live oak	170 sf each	To be removed Existing under utility lines

To be removed, not shown on plan:
 6 Washington palm
 7 ligustrum
 4 thatch palm

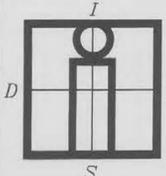
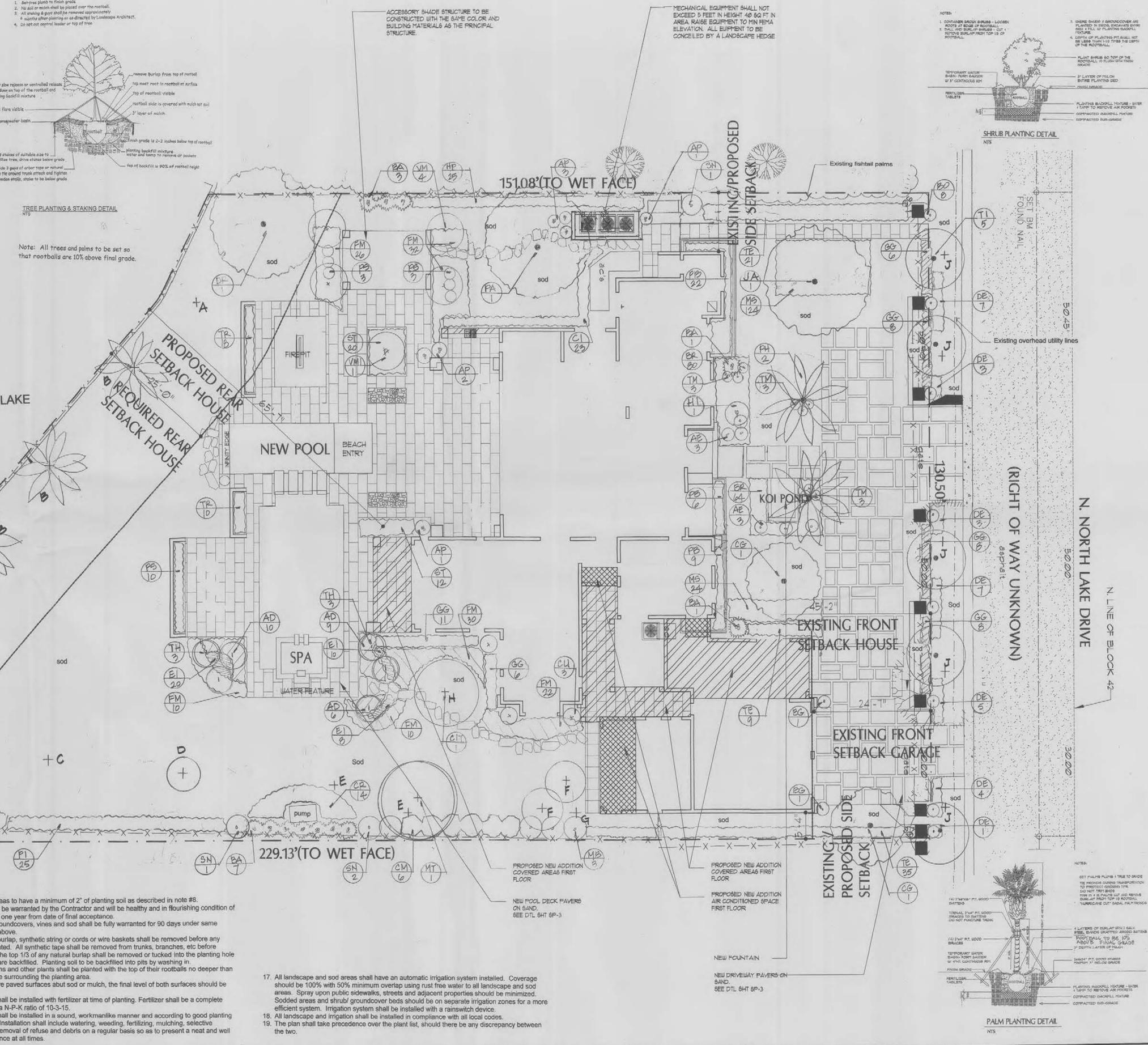
Note: A tree removal permit is required by the City prior to the removal of any trees from site.

General Notes:

- All plant material shall be Florida No. 1 or better as given in the current Grades and Standards for Nursery Plants, 2nd Edition, February 1998, Florida Department of Agriculture and Consumer Services, Division of Plant Industry.
- All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
- All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
- All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
- Contractor shall notify C.U.N.S.H.I.N.E. (1-800-432-4770) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
- Grade 84, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
- Sod shall be St. Augustine 'Floratum' solid and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
- All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of this planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
- All sodded areas to have a minimum of 2" of planting soil as described in note #8.
- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
- All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
- All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
- All trees, palms and other plants shall be planted with the top of their rootballs no deeper than the final grade surrounding the planting area.
- In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
- All planting shall be installed with fertilizer at time of planting. Fertilizer shall be a complete fertilizer with a N-P-K ratio of 10-3-15.
- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
- All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device.
- All landscape and irrigation shall be installed in compliance with all local codes.
- The plan shall take precedence over the plant list, should there be any discrepancy between the two.

1 LANDSCAPE PLAN

SCALE: 1" = 10' - 0"



IN-SITE DESIGN GROUP INC

1609 RODMAN STREET
 HOLLYWOOD, FLORIDA 33020
 AA26001758
 954 921 5333
 FAX 954 921 6769
 PROJECT COORDINATOR:
 ANNIE CARRUTHERS
 CGC 1511058
 ARCHITECT
 SAMUEL R. UCCELLO

Kimberly Moyer, RLA
 Landscape Architecture
 (954) 492-9609
 Lic. No. #LA0000952

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 EXCEPT WITH EXPRESS WRITTEN CONSENT OF
 THE COMPANY. THE CONTRACTOR SHALL CHECK
 AND VERIFY ALL DIMENSIONS AND LOCATIONS
 AND BE RESPONSIBLE FOR ANY DISCREPANCIES
 OR OMISSIONS TO THE ARCHITECT'S DESIGN.
 COMMENCEMENT OF WORK: DRAWINGS ARE NOT
 TO BE SCALED.

PROJECT:
 SULLIVAN RESIDENCE

ADDRESS:
 1128 N. NORTHLAKE DR.
 HOLLYWOOD, FL 33019

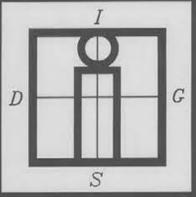
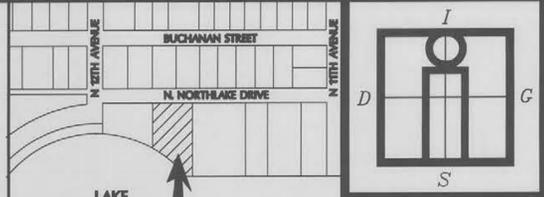
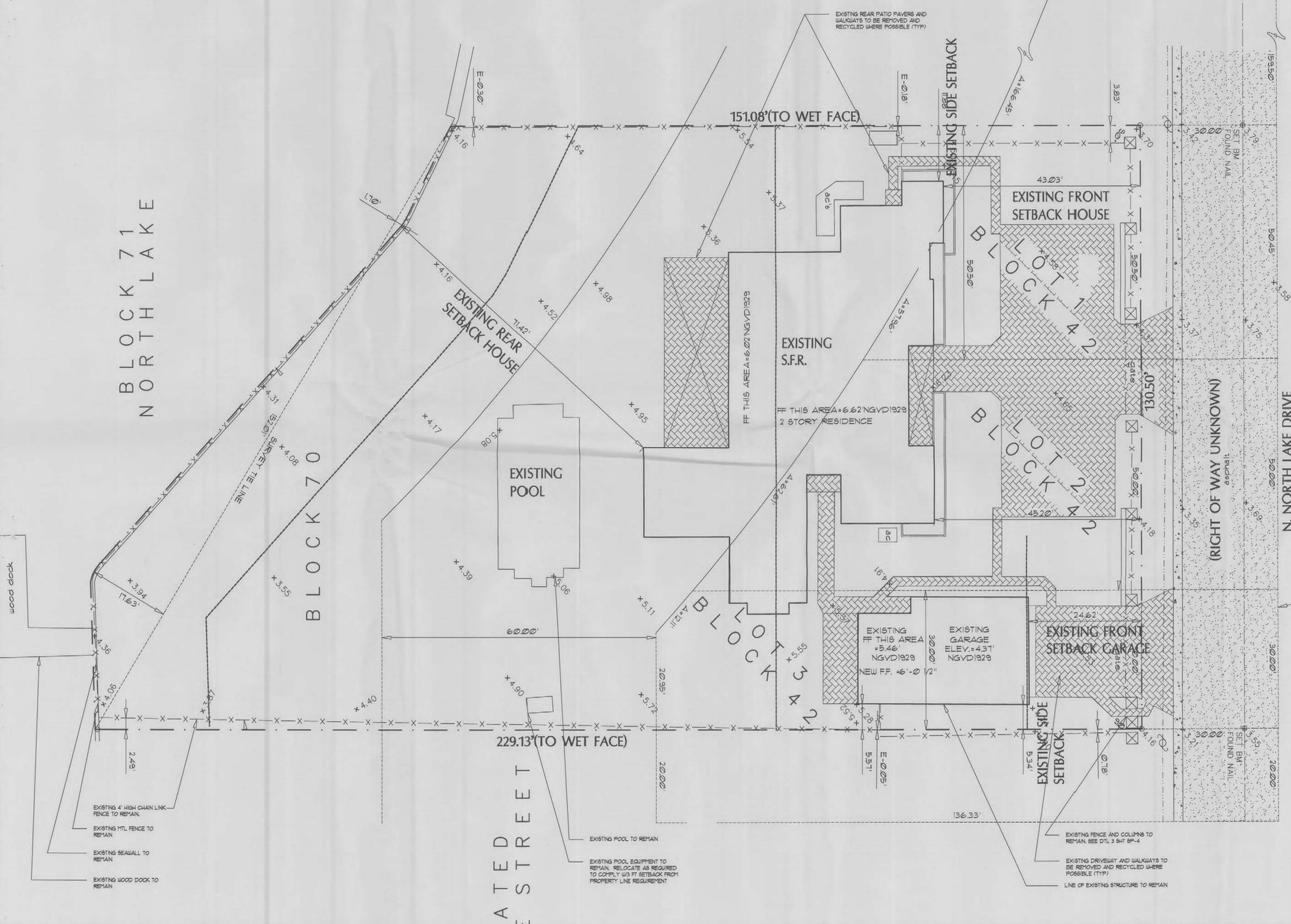
REVISIONS

Date of Issue
 4/12/10

LANDSCAPE PLAN

L-1

BLOCK 71
NORTH LAKE



IN-SITE DESIGN GROUP INC

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PROJECT COORDINATOR:
ANNIE CARRUTHERS
CGC 1511058
ARCHITECT
SAMUEL R. UCCELLO

2 LOCATION MAP
SCALE: N.T.S.

BASED ON A SURVEY PLAN

BY ACCURATE LAND SURVEYORS, INC. OF THE PROPERTY.

STREET ADDRESS:
1128 N. NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA 33019

LEGAL DESCRIPTION:
FOR STREET RIGHT-OF-WAY, AND INCLUDING THE EAST 50.50 FEET OF LOT 1, BLOCK 42, LESS THE NORTH 30 FEET OF SAID LOT 1 FOR STREET RIGHT-OF-WAY, AND INCLUDING ALL THAT PART OF PIERCE STREET AND THAT PART OF BLOCK 10 LYING SOUTH OF SAID LOTS 1 AND 2 AND LYING NORTH OF BLOCK 11 (CALLED NORTH LAKE) BOUNDED AS FOLLOWS: ON THE NORTH BY THE SOUTH LINE OF SAID LOTS 1 AND 2; ON THE SOUTH BY THE NORTH LINE OF BLOCK 11 (CALLED NORTH LAKE); ON THE EAST BY THE EAST LINE OF SAID LOT 2 EXTENDED SOUTHERLY; AND THE WEST BY A LINE PARALLEL TO AND 50.50 FEET WEST OF THE EAST LINE OF SAID LOT 1 EXTENDING SOUTHERLY; ACCORDING TO THE PLAT OF HOLLYWOOD LAKES SECTION AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND ALSO

THE WEST 30 FEET OF LOT 3 OF BLOCK 42 OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND ALSO

ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS: BEING A PART OF PIERCE STREET AND A PART OF BLOCK 10 OF HOLLYWOOD LAKES SECTION, BOUNDED ON THE NORTH BY THE SOUTH LINE OF THE WEST 30 FEET OF LOT 3 OF BLOCK 42 OF SAID SUBDIVISION, ON THE SOUTH BY BLOCK 11, HOLLYWOOD LAKES SECTION, OTHERWISE DESCRIBED AS NORTH LAKE OF SAID SUBDIVISION, ON THE EAST BY THE EAST LINE OF THE WEST 30 FEET OF LOT 3 OF BLOCK 42 EXTENDED IN A SOUTHERLY DIRECTION, AND ON THE WEST BY THE WEST LINE OF LOT 3 OF BLOCK 42, EXTENDED IN A SOUTHERLY DIRECTION AS SHOWN ON THE PLAT OF HOLLYWOOD LAKES SECTION, RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; BEING ALL THAT PARCEL OF LAND LYING SOUTH OF THE WEST 30 FEET OF LOT 3 OF BLOCK 42 OF HOLLYWOOD LAKES SECTION, EXTENDING TO THE NORTH LAKE IN SAID SUBDIVISION SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

SEAL
STATE OF FLORIDA LICENSE NO. AR-0015997

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PROJECT:
SULLIVAN RESIDENCE

ADDRESS:
1128 N. NORTHLAKE DR.
HOLLYWOOD, FL 33019

DISTRIBUTION
APRIL -16-2010
HISTORIC BOARD
SUBMITTAL
PETITION NO: 10-C-17
VARIANCE SUBMITTAL

JULY -12-2010
PERMIT SUBMITTAL

REVISIONS

Date Of Issue
JULY 12-10

EXISTING SITE PLAN
SP-1

1 EXISTING SITE PLAN
SCALE: 1" = 10' - 0"

3 LEGAL DESCRIPTION

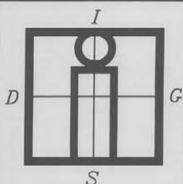


NOTES:
THE SITE SHALL BE DESIGNED TO DISPOSE OF ANY ORIGINATING RAINWATER OR OTHER LIQUID WASTE. IT SHALL NOT BE DISPOSED OF OR FLOW ACROSS ANY ADJOINING PROPERTY OR SIDEWALK, EITHER PUBLIC OR PRIVATE BUT SHALL BE DISPOSED OF IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. IN NO CASE SHOULD ANY BURMING, MOUNDING, OR REGRADING IMPEDE THE FLOW OF WATER TO OR IN THE SWALES IN THE VARIOUS EASEMENTS.

7-10 INDICATES GRADE ELEVATIONS TAKEN ON DEC 18, 2009 IF SHOWN, ELEVATIONS ARE REFERRED TO NGVD OF 1929

NOTES (2):
OTHER PERMITS MAY BE REQUIRED INCLUDING, BUT NOT LIMITED TO FENCE, POOL, ROOF, DRIVEWAY, DEMOLITION, GAS, GENERATOR AND/OR LANDSCAPING AS PER CITY ORD. TREES TO BE RELOCATED OR REMOVED UNDER SEPARATE PERMIT.

4 NOTES



IN-SITE DESIGN GROUP INC

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ARCHITECT
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Samuel R. Uccello
7.2.10.
SEAL
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AND VERIFY ALL DIMENSIONS OF THE JOB AND
BE RESPONSIBLE FOR SAME. REPORTING ANY
DISCREPANCIES TO THE ARCHITECT BEFORE
CONSTRUCTION OF WORK. DRAWINGS ARE NOT
TO BE SCALED.

PROJECT:
SULLIVAN RESIDENCE

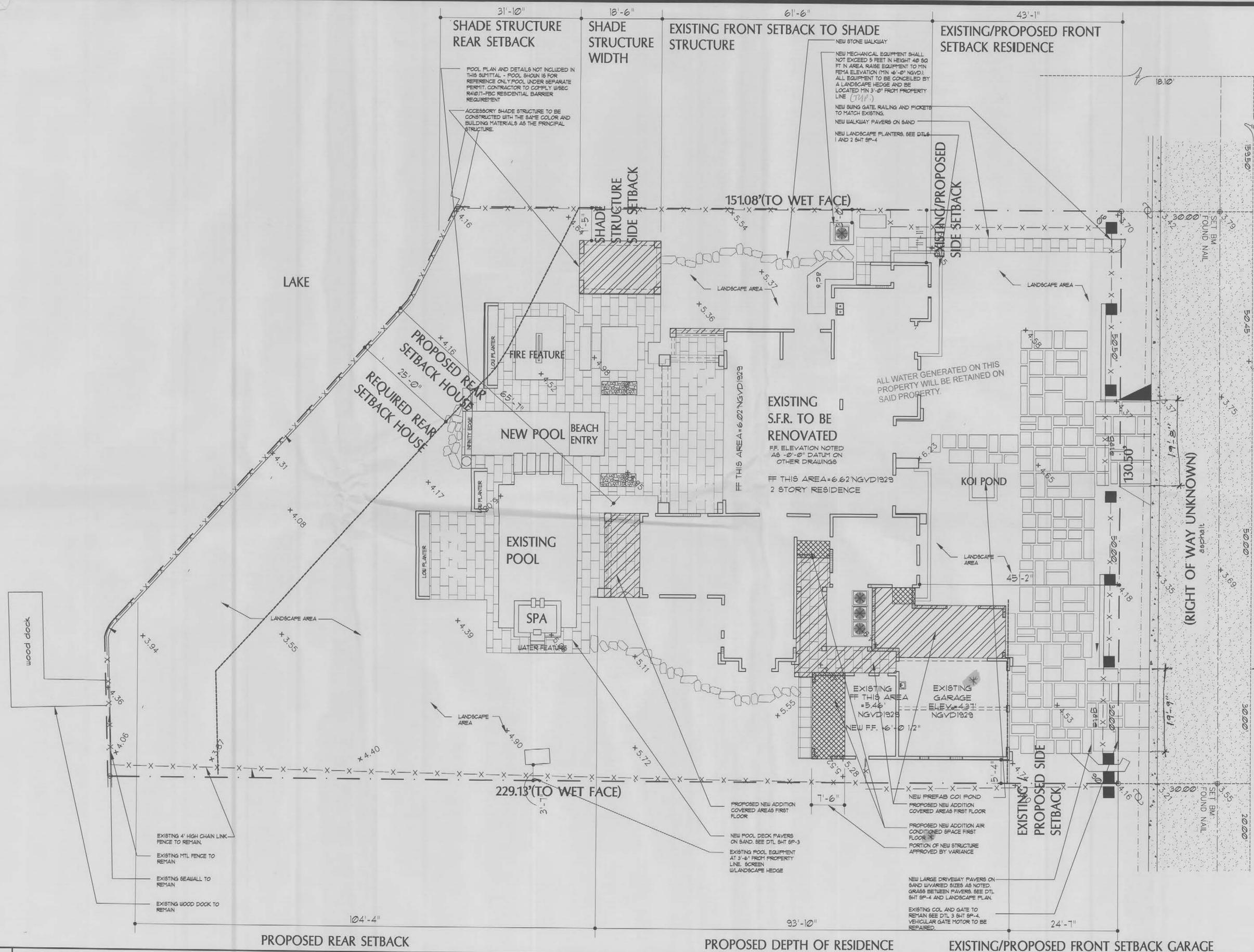
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REVISIONS

Date of Issue
JULY 12-10

NEW SITE PLAN SP-2



1 NEW SITE PLAN SCALE: 1" = 10' - 0"

PROPOSED REAR SETBACK

PROPOSED DEPTH OF RESIDENCE

EXISTING/PROPOSED FRONT SETBACK GARAGE



APPROVED
ALL AS ENCLOSED AREA SHALL BE RAISED TO AUG 11 2010
MINIMUM FFE OF 6.00 NGVD.
CITY OF HOLLYWOOD, FLA. PUBLIC UTILITIES DEPARTMENT
ALL MECHANICAL & ELECTRICAL EQUIPMENTS SHALL BE ABOVE 6.00 FFE
KROWE VERTS AS PER DETAIL 4 - DT SHEET A-15
POOL UNDER SEPARATE PERMIT.
See revised dated MARCH 20, 2012

1

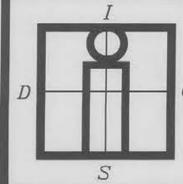
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED IN A VISIBLE PLACE AT ALL TIMES.
- AL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONALS AND INDUSTRY ORGANIZATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE, ACCESS ROADS, WATERWAYS AND OTHER SUPPORT FACILITIES.
- CONTRACTOR TO VERIFY LOCATION OF ALL ELECTRICAL, WATER, GAS, SEPTIC TANK, OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACTOR DOCUMENTS, ANY ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATION.

- CONTRACTOR SHALL NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL, STRUCTURAL, PLUMBING AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES DISCOVERED AFTER BIDDING SHALL BE INTERPRETED AS IF IT WAS BID BASED ON THE MOST EXPENSIVE METHOD OF FINISH.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ISSUE ALL REQUESTS FOR INFORMATION (RFI) PRIOR TO THE AWARDING OF THE CONTRACT. ANY RFI ISSUED AFTER THE CONTRACTORS AWARD CANNOT BE USED AS A BASIS FOR A FINANCIAL OR TIME DELAY CLAIM.
- CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER OR ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.
- UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS BY THE CONTRACTOR OR SUBCONTRACTOR BE CONSIDERED THE DESIGN INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THERE IS WRITTEN APPROVAL BY THEM.
- CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EQUIPMENT DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED. CONTRACTOR SHALL CONTACT THE ARCHITECT FOR ANY CLARIFICATION OR DIMENSIONS REQUIRED AND ARE NOT PROVIDED IN THE CONTRACT DOCUMENTS.
- ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OR FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. INCOMPLETE SHOP DRAWINGS OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. SPECIALTY ENGINEERING SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER.
- THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATION WITHIN THE BUILDINGS CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE CHANGE IN MATERIAL THAT ARE REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR ITS SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OR ASSEMBLY.
- WHERE CMU IS INDICATED TO HAVE A SPECIFIC HOURLY FIRE RATING THIS SHALL BE TAKEN AS THE MINIMUM ALLOWED.
- ALL WOOD FRAMING INCLUDING PLYWOOD WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS OR CEILINGS MUST BE FIRE RETARDANT, PRESSURE TREATED WOOD AND MUST BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- ALL PIPING SHALL BE SLEEVED THROUGH SLAB. CONTRACTOR TO FULLY SEAL SPACE AROUND PIPES WITH A 3-HOUR UL APPROVED FIRE RESISTIVE THERMAFIBER GLASS FIBER SAFING INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASTM E-119 OR APPROVED SIMILAR. PENETRATIONS THROUGH FIRE RATED WALLS OR FLOOR SYSTEM SHALL BE PROTECTED AS TO MAINTAIN THE FIRE RATING OR SAID WALL.
- ALL SHAFTS WHERE APPLICABLE TO BE 2-HOUR RATED WITHOUT EXCEPTION. UL DESIGN NO U-508 OR APPROVED SIMILAR AND SHALL CONTINUE AS SUCH TO UNDERSIDE OF ROOF OR FLOOR STRUCTURAL DECKING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ELECTRICAL BOXES WITH CABINET MANUFACTURER AND ELECTRICAL SUBCONTRACTOR.

- CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOP DRAWINGS OR AS SUBMITTALS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. RE-VIEW BY ARCHITECT OR ENGINEER REQUIRED BY SUBMITTAL NOT EVALUATED AND APPROVED BY CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR ON HOURLY RATES ESTABLISHED IN ARCHITECT CONTRACT FOR SERVICES FOR THE PROJECT.
- CONTRACTOR SHALL HAVE CONTRACTED ALL SUBCONTRACTORS AND VENDORS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR NO LATER THAN 30 DAYS AFTER THE START DATE OF CONSTRUCTION.
- CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLOCKING REQUIRED FOR ALL WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, BATHROOM FIXTURES AND BATHROOM ACCESSORIES OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS.
- CONTRACTOR TO PROVIDE CONTINUOUS WOOD BLOCKING AT ALL INTERIOR PARTITION FOR INSTALLATION OF BASE BOARDS. COORDINATION PLACEMENT HEIGHTS WITH LOCATION OF BASE BOARDS.
- FOR ALL BATHROOMS PROVIDE WOOD BLOCKING IN SHOWERS AND BEHIND TOILETS FOR GRAB BARS AS REQUIRED.
- IN ADDITION TO WALL TYPES SHOWN ON PLANS, THE CONTRACTOR SHALL REFER TO THE ROOF FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.
- CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR FOR PROPER OPERATION OF THE BUILDING SYSTEMS. THE OMISSION OF ANY OR ALL ACCESS PANELS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
- CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL A/C FIRE DAMPERS.
- CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRINED OR FACTORY PAINT FINISHED EQUIPMENT A/C GRILLS OR REGISTERS, COVERS ETC. UNLESS SPECIFICALLY NOTED OTHERWISE VERIFY AND COORDINATE COLORS WITH INTERIOR DESIGNER, ARCHITECT OR OWNER.
- BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES.
- ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT OR OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOW, STOREFRONT, FLOORS, CARPETS, WALLS, DOORS ETC.
- UPON COMPLETION OF THIS PROJECT, THE GENERAL CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF "AS-BUILT" ARCHITECTURAL, MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS ALONG WITH THE WRITTEN GUARANTEE, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT SET OF "AS-BUILT" DRAWINGS. INFORMATION SHALL BE RECORDED BY THE GENERAL CONTRACTOR AS CONSTRUCTION PROGRESSES. UPON FINAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL ISSUE AN "AS-BUILT" SET OF DRAWINGS AND DOCUMENTS TO THE OWNER, ALONG WITH AN AFFIDAVIT CERTIFYING THAT TO THE BEST OF HIS KNOWLEDGE AND BELIEF THESE "AS-BUILT" DRAWINGS AND DOCUMENTS WERE USED IN THE CONSTRUCTION OF THIS PROJECT AND REFLECT THE "AS-BUILT" CONDITIONS.
- THE CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS SHALL GRANT TO THE OWNER/DEVELOPER AND INSTITUTIONAL MORTGAGEE, IMPLIED WARRANTIES OF FITNESS AS TO THE WORK PERFORMED OR MATERIALS SUPPLIED BY THEM AS FOLLOWS: A) FOR THE PERIOD OF FIVE YEARS FROM THE DATE OF COMPLETION OF A BUILDING OR IMPROVEMENTS WARRANTY AS TO THE MECHANICAL AND PLUMBING ELEMENTS, B) FOR A PERIOD OF THREE YEARS AFTER COMPLETION OF THE BUILDING OR IMPROVEMENT A WARRANTY AS TO ALL OTHER IMPROVEMENTS AND MATERIALS AND C) AS TO THE PERSONAL PROPERTY A WARRANTY WHICH IS FOR THE SAME PERIOD AS THAT PROVIDED BY THE MANUFACTURER OF THE PROPERTY COMMENCING WITH THE DATE OF POSSESSION OF THE BUILDING.
- COMPLETION OF A BUILDING OR IMPROVEMENT MEANS FINAL COMPLETION OF CONSTRUCTION, FINISHING AND EQUIPPING OF THE BUILDING OR IMPROVEMENT ACCORDING TO THE PLANS AND SPECIFICATIONS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE ENTIRE BUILDING OR IMPROVEMENT OR THE EQUIVALENT AUTHORIZATION BY THE GOVERNMENTAL BODY HAVING JURISDICTION. THE WARRANTIES PROVIDED HEREIN SHALL INURE TO THE BENEFIT OF THE OWNER AND ITS SUCCESSOR TO THE BENEFIT OF THE OWNER/DEVELOPER AND TO THE BENEFIT OF THE INSTITUTIONAL MORTGAGEE.

- THE UNDERSIDE OF ALL EXTERIOR SOFFITS AND SLABS EXPOSED TO WEATHER SHALL RECEIVE A CONTINUOUS DRIP STRIP WITHOUT EXCEPTION.
- ALL METAL FLASHING, SCUPPERS ETC. TO RECEIVE PAINT AS RECOMMENDED BY MANUFACTURER, UNLESS OTHERWISE NOTED ON DRAWINGS OR PROJECT MANUAL.
- STRUCTURAL ENGINEERING, MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DRAWINGS ARE PART OF THIS PROJECT AND SHALL BE USED BY THE CONTRACTOR IN FULL COORDINATION WITH ALL THE DRAWINGS ISSUED.
- CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO, PAVING, SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPING TO INSURE THEIR PROPER DRAINAGE AND RETURN THEM TO THEIR ORIGINAL FINISHED CONDITION.
- ALL SLABS ON GRADE, INTERIOR AND EXTERIOR, TO BE ON 6 MIL. POLYETHYLENE VAPOR BARRIER WITHOUT EXCEPTION, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL RECYCLE ALL POSSIBLE MATERIALS FROM EXISTING BUILDINGS ON SITE

AIR CONDITIONING	A/C		
AIR HANDLING UNIT	AHU		
ALTERNATE	ALT.		
ALUMINUM ANCHOR BOLT	AL. AB.		
ANGLE	ANG.		
AVERAGE ABOVE FINISH FLOOR	AVG. AFF.	NOT IN CONTRACT	N.I.C.
		NOT TO SCALE	N.T.S.
BEAM	BM		
BLOCKING	BLK.	OBSCURE OPPOSITE	OB.S.
BOARD	BD. / BRD.	ON CENTER	OP.C.
BOTTOM BUILDING	BLDG.	OVERHANG	O.H.
CABINET	CAB.		
CEILING	CLG.	PAIR	FR.
CEILING JOISTS	CLG. JST.	FLATE	FL.
CERMENT	CER.	PLYWOOD	PLY.WD.
CENTER LINE	C.	PROPERTY LINE	P.
CERAMIC TILE	CER. T.	FOUNDATIONS PER SQUARE INCH.	P.S.I.
CHAMFER CHANNEL	CHAM. [OR]	PRESSURE TREATED	P.T.
CLEAR COLUMN	CLR. COL.		
COMPOSITION	COMPO.	RADIUS	RAD.
CONCRETE BLOCK	CONG. BLK.	REQUIRED	REQD.
CONSTRUCTION GRADE	CONSTR. GR.	REVISION	REV.
CONTINUOUS	CONT.	REFRIGERATOR	REF.
COLD WATER	C.W.	RISER	R.D.
CULTURED MARBLE	CULT. MAR.	ROUGH SAUN	R.M.
		ROUGH OPENING	RO.S.
DETAIL	DTL.		
DIAMETER	DIA.	SELECT STRUCTURAL	SELECT STRUCT.
DISH WASHER	D.W.	SOLID CORE	S.C.
DOUBLE	DBL.	SHelf AND POLE	S & P
DOUBLE PLATE	DBL. PL.	SIMILAR	S.M.
DOOR	DR.	SLIDING GLASS DOOR	SL. GL. DR.
DRAIN	DN.	SLOPING CEILING	SLP. CLG.
DOWNSPOUT	D.S.	SPLASH SHEATHING	SPL. SHTG.
DRAWER	DWR.	SYNTHETIC MARBLE	SYN. MARBLE
EACH ELEVATION	EA. ELEV.		
EQUAL	EQ.	TEMPERED GLASS	TEMP. GL.
EXHAUST	EXH.	TIE BEAM	T.B.
EXPANSION JOINT	EX. JT.	TOP OF CURB	T.C.
EXTERIOR	EXT.	TREAD	T.
ETCETERA	ETC.	TYPICAL	TYP.
		TONGUE AND GROOVE	T&G
FACE OF MASONRY	F.O.M.	TOP OF PLATE	T.O.P.
FACE OF STUD	F.O.S.	TOP OF BEAM	T.O.B.
FLORIDA BUILDING CODE	F.B.C.		
FINISH FLOOR	FIN.	UNLESS NOTED OTHERWISE	UNO.
FINISH GRADE	F.G.		
FLASHING	FLSH'G		
FLOOR	FLR.		
FLOOR DRAIN	F.L.D.	VENT THRU ROOF	V.T.R.
FLOOR JOISTS	FLR. JST.	VENT TO OUTSIDE AIR	V.T.O.S.A.
FLOURESCENT	FLUOR.	VERTICAL	VERT.
FOOTING	FTG.	VINYL COMPOSITION TILE	V.C.T.
GALVANIZED GRADE GYPSUM BOARD	GALV. GRD. GYP.BD.	WARDROBE	WARD.
		WATER CLOSET	W.C.
		WATERPROOFING	W.P.
		WELDED WIRE MESH	W.W.M.
		WINDOW	W.W.
		WITH	W.
HEADER HEIGHT	HDR. HGT.	WITHOUT	W/O.
HOSE BIBB	H.B.	WOOD	W.D.
HOLLOW CORE	H.C.	WROUGHT IRON	W.I.
		WALK IN CLOSET	W.I.C.
INFORMATION	INFO.		
INSULATION	INSUL.		
INTERIOR	INT.		
LAMINATED PLASTIC	LAM. PLAS.		
LOUVER	LOUV.		
LUMINOUS	LUM.		
LAVATORY	LAV.		
MACHINE BOLT	M.B.		
MANUFACTURER	MFG.		
MATERIAL	MATL.		
MAXIMUM	MAX.		
MEDICINE CABINET	M.C.		
METAL	M.TL.		
MINIMUM	MIN.		



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Seal
10-10-10
SEAL
STATE OF FLORIDA LICENSE NO. AR-0015907

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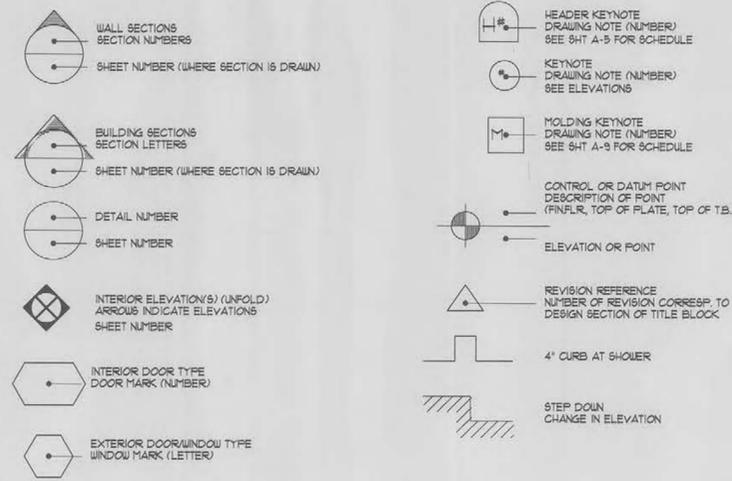
NOTES
SP-3

1 GENERAL NOTES

2 ABBREVIATIONS

ALL PRODUCTS AND THEIR INSTALLATION SPECIFIED IN THESE DOCUMENTS SHALL HAVE PRODUCT APPROVAL BY AND BE ACCORDING WITH THE STANDARDS OF QUALITY, PROTECTION AND PERFORMANCE OF AT LEAST ONE OF THE FOLLOWING AGENCIES AS APPLICABLE:

ASTM -	AMERICAN SOCIETY TESTING MATERIALS
ACI -	AMERICAN CONCRETE INSTITUTE
AFPA -	AMERICAN FOREST & PAPER ASSOCIATION
AISC -	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AJI -	AMERICAN WOODWORK INSTITUTE
AJPPB -	AMERICAN WOOD PRESERVATIVES BUREAU
ANSI -	AMERICAN NATIONAL STANDARDS INSTITUTE
AAMA -	ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION
DCPA -	(MIAMI) DDAE PRODUCT APPROVAL
FBC -	FLORIDA BUILDING CODE
GA -	GYPSUM ASSOCIATION
LSC -	LIFE SAFETY CODE
NER -	NATIONAL EVALUATION SERVICE INC
NFPA -	NATIONAL FIRE PROTECTION ASSOCIATION
NDG -	NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
OSHA -	OCCUPATIONAL SAFETY AND HEALTH ACT
SJI -	STEEL JOIST INSTITUTE
TCA -	TILE COUNCIL OF AMERICA
UL -	UNDERWRITERS LABORATORIES
WHI -	WARNOCK HERSEY INTERNATIONAL



MANUFACTURERS SUPPLIERS OR INSTALLERS OF THE FOLLOWING ITEMS SHALL SUBMIT DETAILED FABRICATION AND INSTALLATION DRAWINGS AND/OR PRODUCT LITERATURE TO THE ARCHITECT FOR THEIR RECORDS AND APPROVAL PRIOR TO THE FABRICATION OR INSTALLATION. DRAWINGS FOR ENGINEERED PRODUCTS OR PRODUCTS OF A STRUCTURAL SAFETY NATURE SHALL BEAR THE SEAL AND SIGNATURE OF A FLORIDA REGISTERED ENGINEER OR SHOW REFERENCE TO PRODUCT APPROVAL BY THE APPLICABLE AUTHORITY. IF THE ARCHITECT'S REVIEW OF SUCH DRAWINGS IS REQUESTED (CLIENT'S CONTRACT OPTION) THEY SHALL BE SUBMITTED IN REPRODUCIBLE FORM OR WITH FOUR COPIES. SUCH REVIEW IS SOLELY FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THESE DOCUMENTS AND WITH THE INTENT OF THE DESIGN CONCEPT OF THE PROJECT. RESPONSIBILITY FOR THE ACCURACY AND COORDINATION WITH OTHER TRADES AS WELL AS THE PERFORMANCE OF THE PRODUCTS REMAINS SOLELY WITH THE MANUFACTURER AND/OR THE GENERAL CONTRACTOR AS APPLICABLE. REFER TO PERFORMANCE STANDARDS FOR PRODUCT APPROVAL COMPLIANCE. THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRUSS ENGINEERING PRIOR TO CONSTRUCTION.

SHOP DRGS. MUST BE REVIEWED BY THE DESIGNER OF RECORD PRIOR TO BLDG DEPT SUBMITTAL 106.61 OF THE BIRM ADMIN SECTION. SHOP DRAWINGS REQUIRE CH. REVIEW AND APPROVAL. THE FOLLOWING SHALL BE SUBMITTED FOR REVIEW AND APPROVAL AS APPLICABLE TO THIS PROJECT:

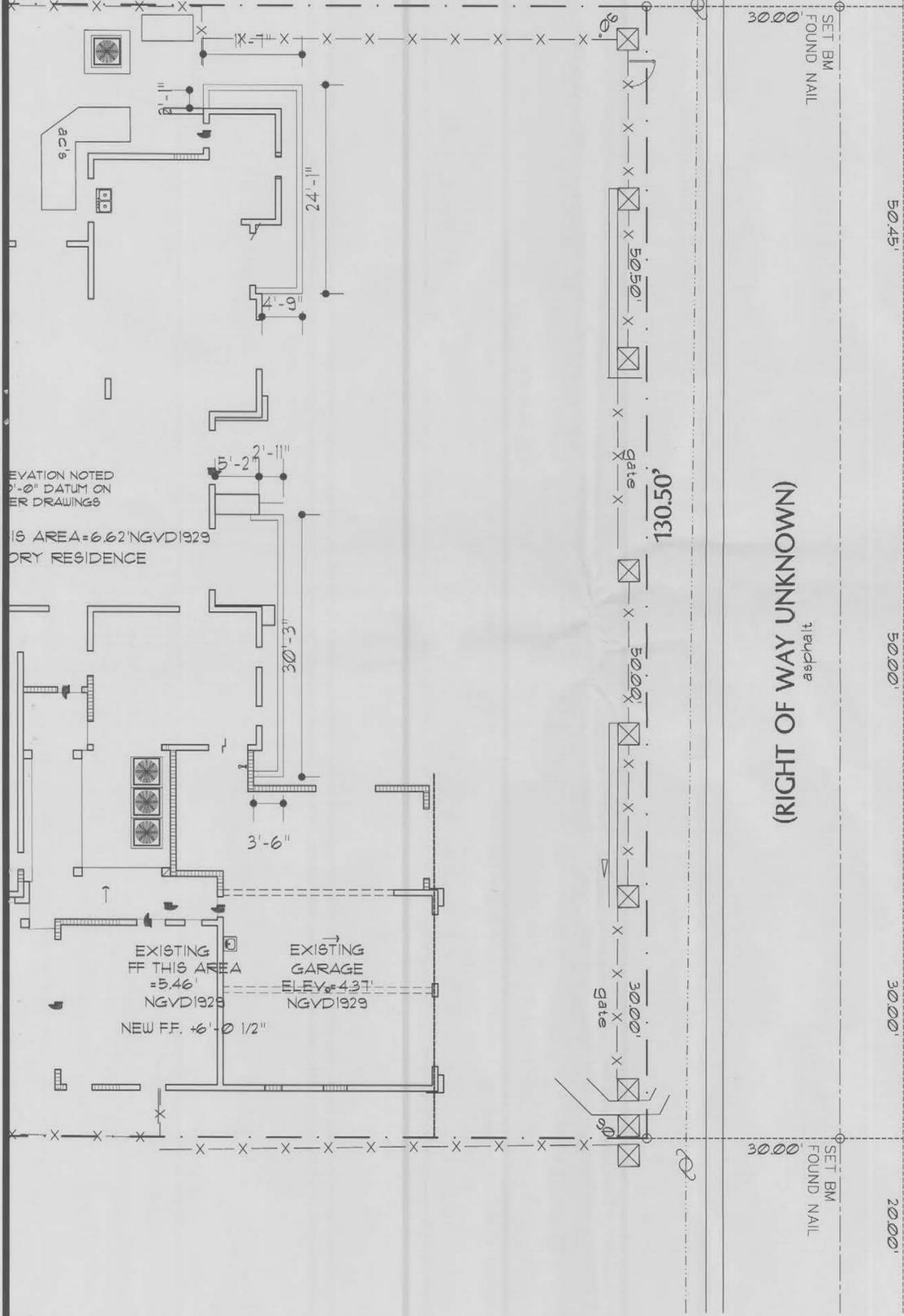
- STEEL REINFORCING
- STRUCTURAL COLUMNS AND ACCESS
- FIRE-ENGINEERED TRUSSES
- WATERPROOFING MEMBRANES
- INSULATION
- RAILINGS AND HANDRAILS
- DECORATIVE MOLDINGS/TRIM
- BATHROOM ACCESSORIES
- CABINETS
- AIR CONDITIONING EQUIPMENT
- WINDOWS, DOORS AND HARDWARE
- FIREPLACES
- PLUMBING FIXTURES
- ELECT. EQUIP AND FIXTURES
- APPLIANCES
- FABRICATED STAIRS
- IRON GATES/FINIALS AND DECORATIVE FIXTURES

3 PERFORMANCE STANDARDS

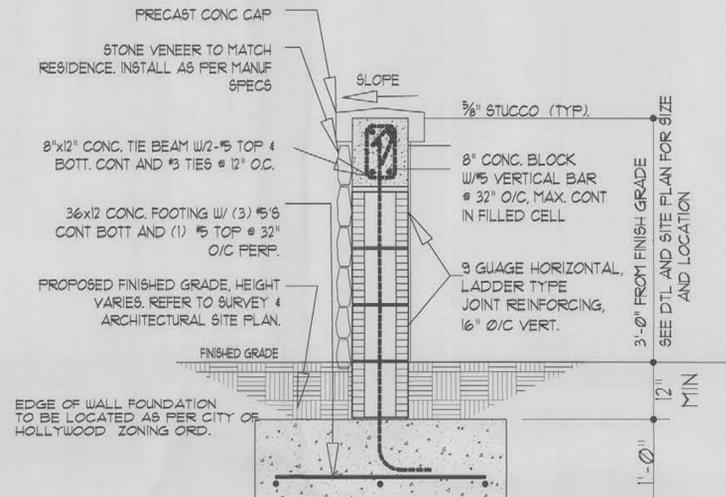
4 SYMBOLS

5 SHOP DRAWING SCHEDULE

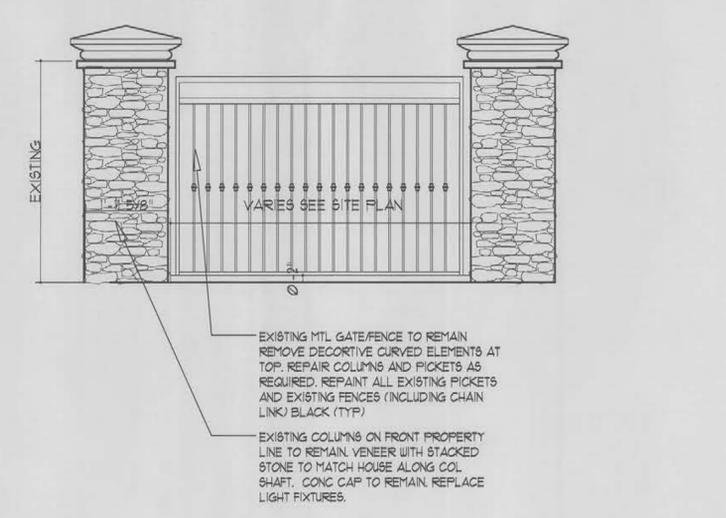
WET FACE)



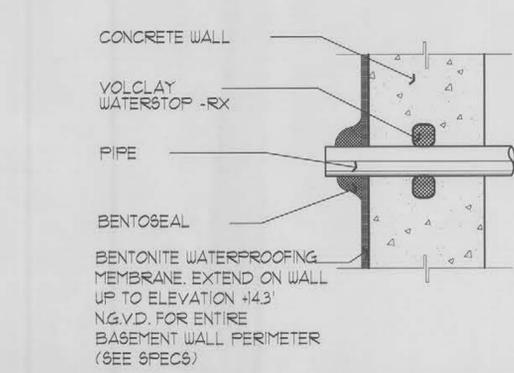
1 NEW PLANTER PLAN
SCALE : 1/8" = 1'-0"



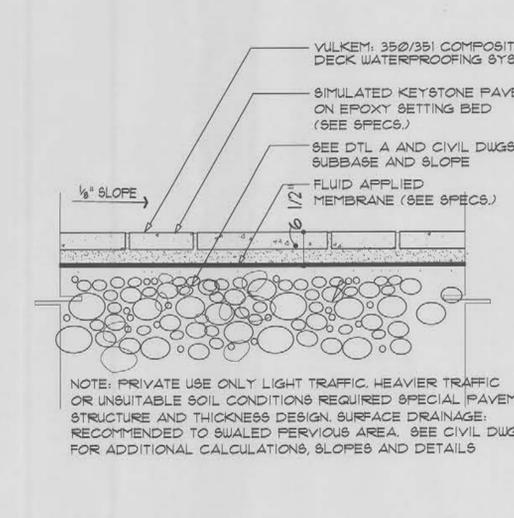
2 PLANTER DTL
SCALE : 1" = 1'-0"



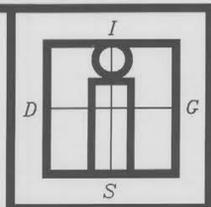
3 EXISTING LOW WALL ELEVATION
SCALE : 1/2" = 1'-0"



3 WEEP HOLE DTL AT PLANTER
SCALE : 1" = 1'-0"



4 PAVER DETAIL
SCALE : 3/4" = 1'-0"



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SAMUEL R. UCCELLO

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SEAL
STATE OF FLORIDA LICENSE NO. AP-0015997

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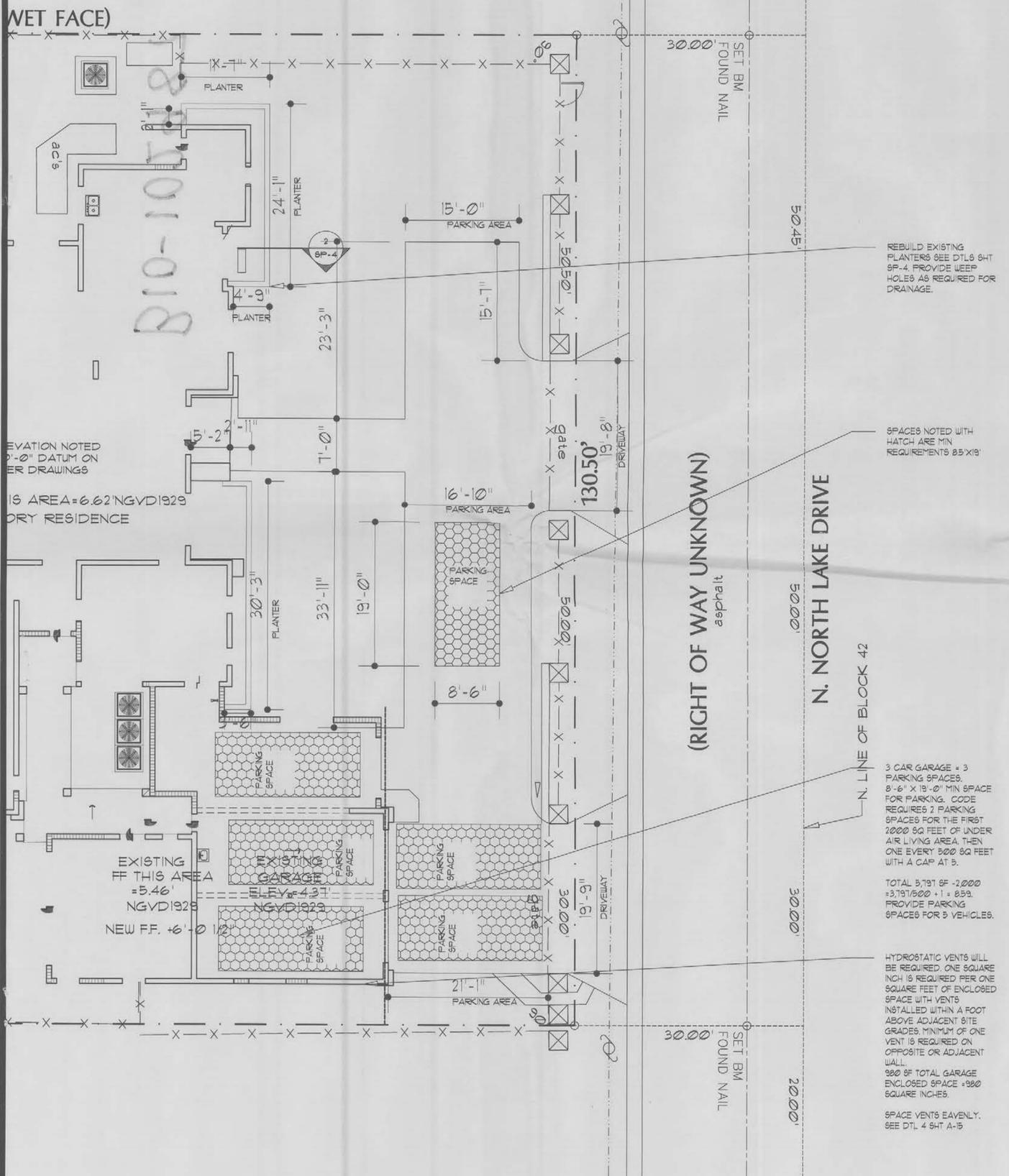
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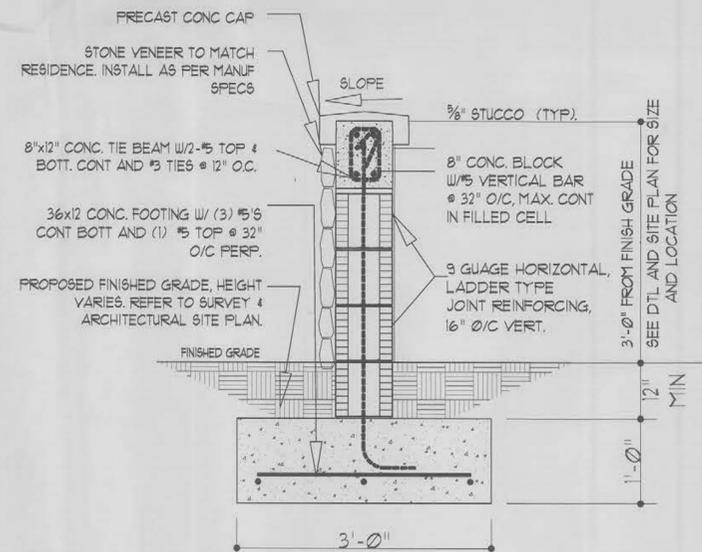
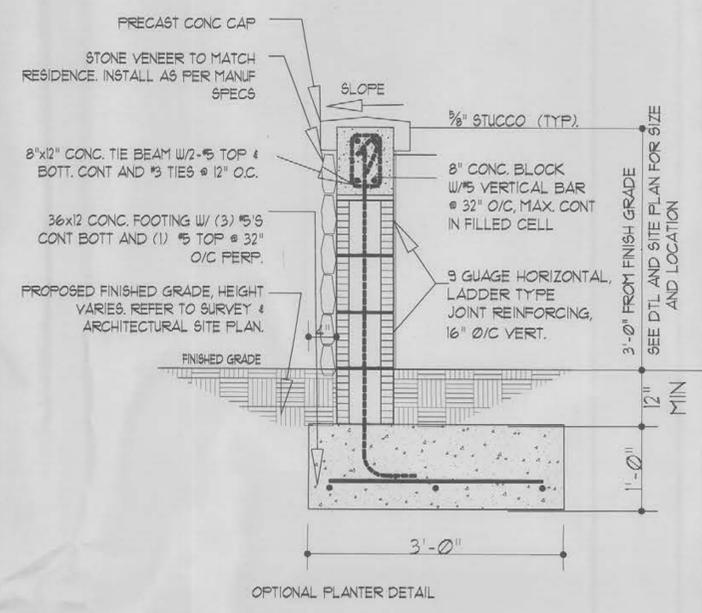
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SITE DETAILS
SP-4

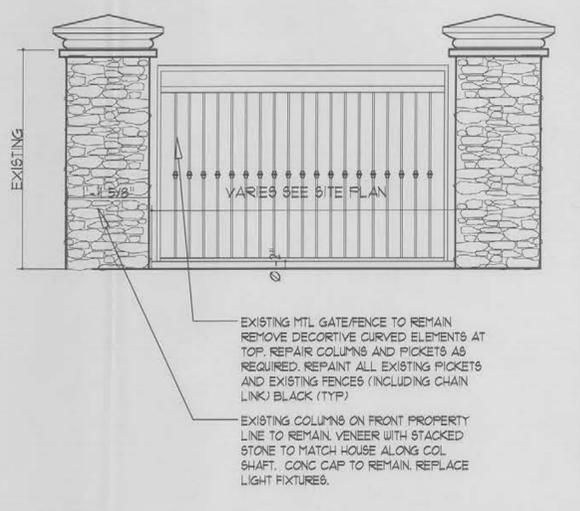


1 NEW PLANTER AND PARKING PLAN
SCALE: 1/8" = 1'-0"

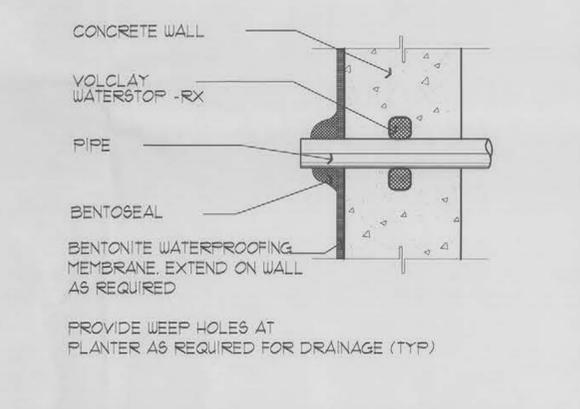


NOTES:
 1. EDGE OF WALL FOUNDATION TO BE LOCATED AS PER CITY ZONING ORD. VERIFY SEE SITE PLAN SHEET SP-1 FOR LOCATION OF WALL.
 2. CONC FOR FOUNDATION TO BE 2500 PSI 6" SLUMP
 3. GROUT TO BE 3000 PSI COARSE GROUT, 8" SLUMP MIN.
 4. ALL STEEL TO BE GRADE 60 KSI
 5. WORK TO BE DONE IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH ACI 530-02 AND ACI 530.1-02

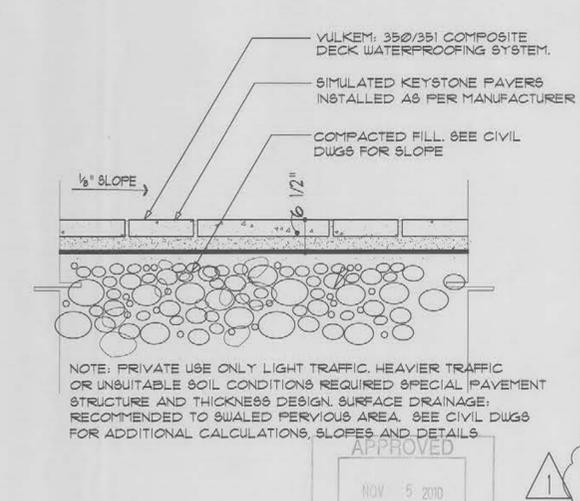
2 PLANTER DTL
SCALE: 1" = 1'-0"



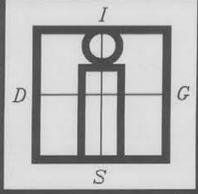
3 EXISTING LOW WALL ELEVATION
SCALE: 1/2" = 1'-0"



4 WEEP HOLE DTL AT PLANTER
SCALE: 1" = 1'-0"



5 PAVER DETAIL
SCALE: 3/4" = 1'-0"



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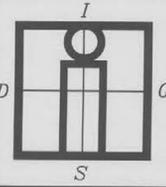
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 PERMIT REVISION
 JULY-30-10

Date of Issue
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SITE DETAILS
SP-4



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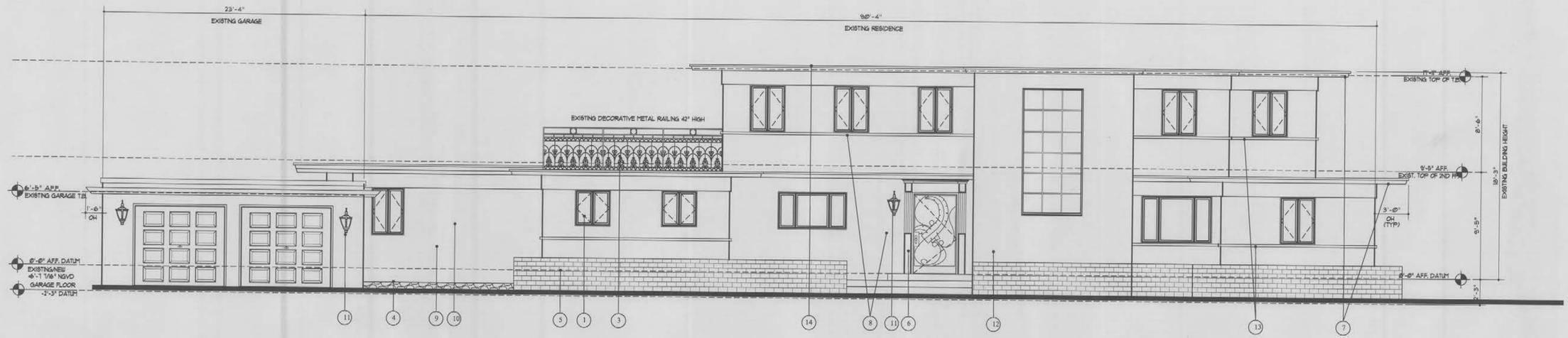
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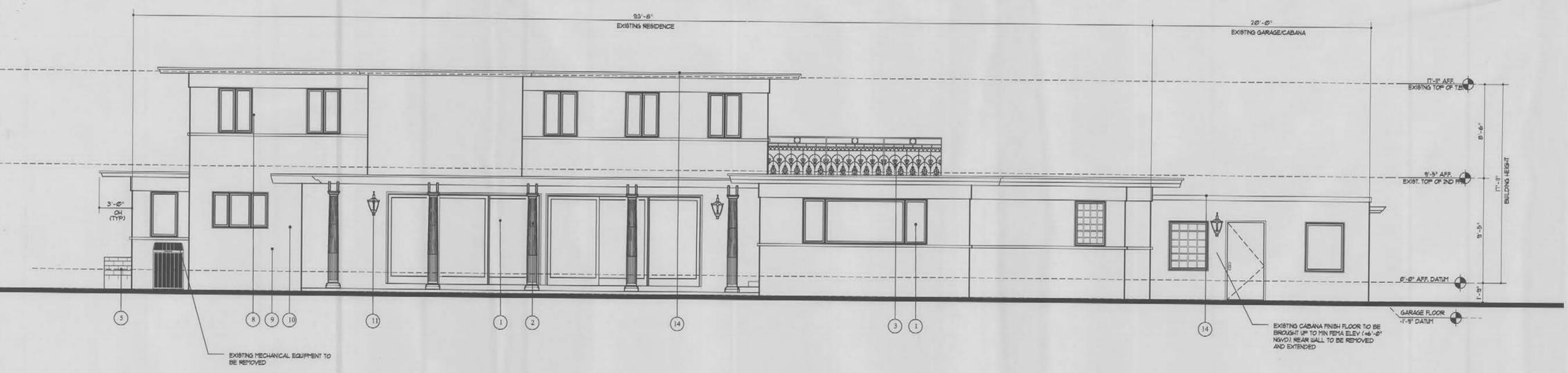
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EXISTING
 ELEVATIONS
A-1



1 EXISTING FRONT ELEVATION (NORTH)
 SCALE = 3/16" = 1'-0"

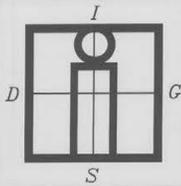


2 EXISTING REAR ELEVATION (SOUTH)
 SCALE = 3/16" = 1'-0"

- KEY NOTES:**
1. ALL EXISTING EXTERIOR DOORS, WINDOWS AND GLASS BLOCK TO BE REMOVED AND REPLACED. VERIFY NEW OPENING WINDOW AND WINDOW SCHEDULE AND MANUFACTURER PATCH STUCCO AS REQUIRED. SEE SHT A-6 AND A-1 FOR ADDITIONAL DEMOLITION NOTES.
 2. EXISTING DORIC FLUTED COLUMNS AND PERGOLA TO BE REMOVED.
 3. EXISTING METAL RAILING AT ROOF LINE TO BE REMOVED.
 4. EXISTING STONE BASE ALONG EXTERIOR PERIMETER OF HOUSE TO BE REMOVED. PATCH AND REPAIR STUCCO AS REQUIRED.
 5. EXISTING BRICK PLANTERS TO BE REMOVED AND REBUILT. SEE FLOOR PLAN AND NEW ELEVATIONS FOR LOCATION.
 6. EXISTING PILASTER TO BE REMOVED. PATCH AND REPAIR AS REQUIRED.
 7. EXISTING ANGLED FACIA TO BE REMOVED AND REPLACED WITH FLUSH FACIA TO MATCH NEW OH. (TYP) SEE WALL SECTIONS.
 8. SEE FLOOR PLAN FOR LOCATION OF NEW OPENINGS AND SIZES.
 9. EXISTING EXTERIOR STUCCO TO BE REPAIRED. RESTUCCO EXTERIOR AS REQUIRED.
 10. EXTERIOR TO BE REPAINTED. PAINT COLOR TO BE SELECTED BY ARCHITECT.
 11. ALL EXISTING EXTERIOR LIGHT FIXTURES TO BE REPLACED. SEE ELEC PLAN FOR DTL'S.
 12. ALL EXISTING EXPOSED EXTERIOR MECHANICAL DUCTS TO BE REMOVED.
 13. STUCCO BAND TO REMAIN. SEE NEW ELEVATIONS FOR DTL'S.
 14. ROOF TO BE REMOVED WHERE NOTED ON SHT A-6 A-1 AND STRUCTURAL DWGS.



3 DEMOLITION NOTES



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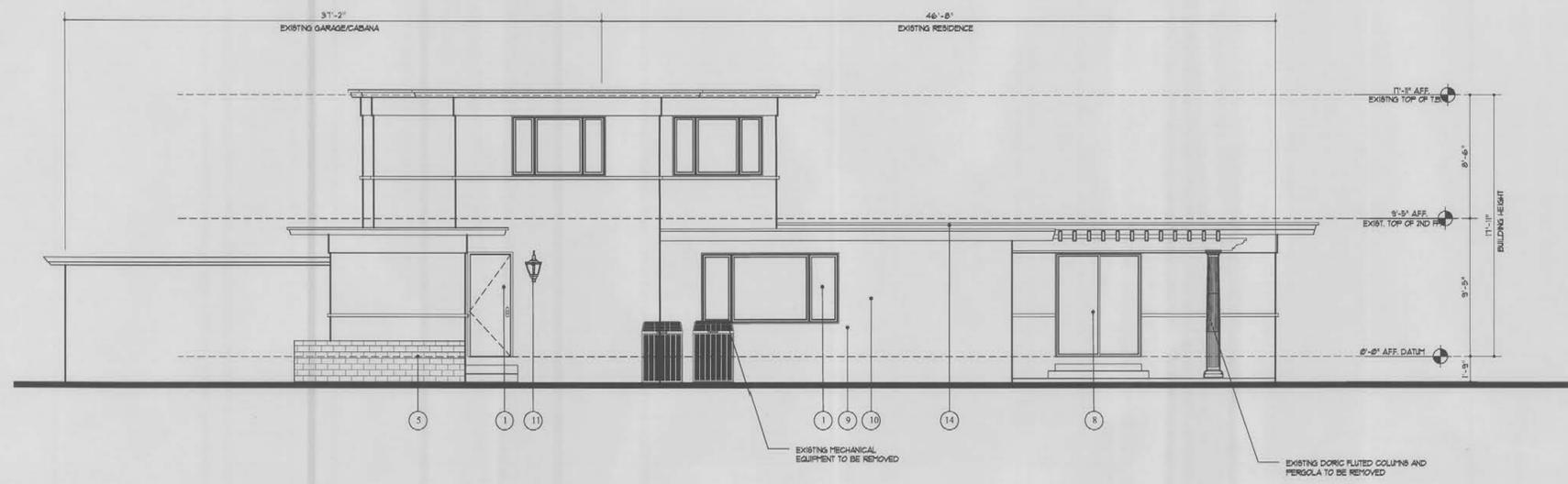
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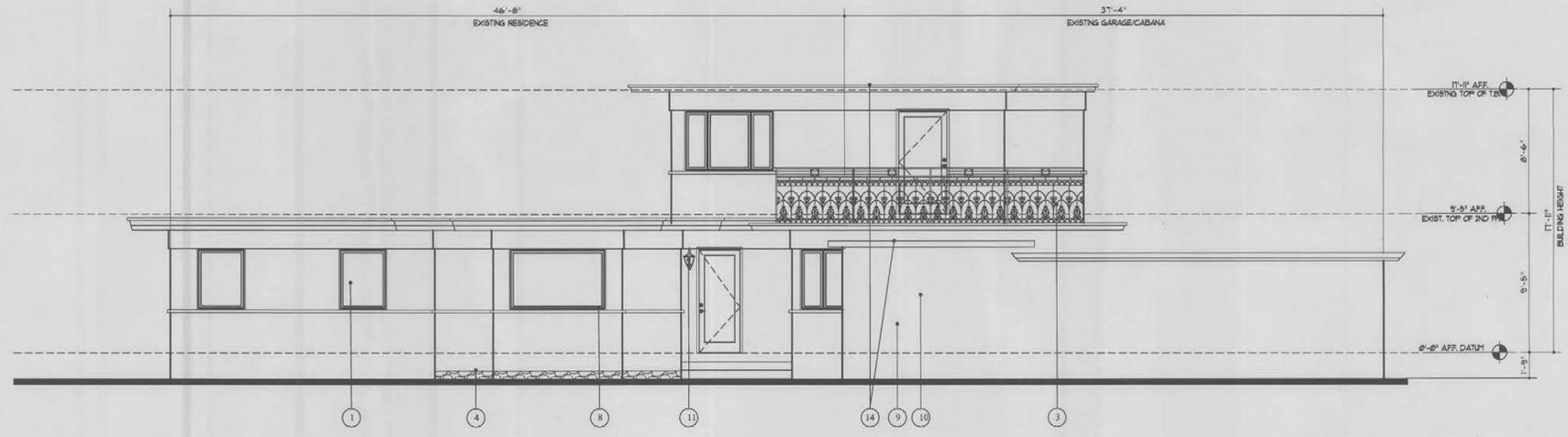
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Date Of Issue
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EXISTING
ELEVATIONS
A-2



1 EXISTING SIDE ELEVATION (WEST)
SCALE = 3/16" = 1'-0"

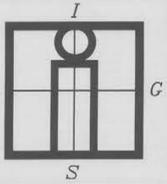


2 EXISTING SIDE ELEVATION (EAST)
SCALE = 3/16" = 1'-0"

3 DEMOLITION NOTES

- KEY NOTES:**
1. ALL EXISTING EXTERIOR DOORS, WINDOWS AND GLASS BLOCK TO BE REMOVED AND REPLACED. VERIFY NEW OPENING WINDOW AND WINDOW SCHEDULE AND MANUFACTURER. PATCH STUCCO AS REQUIRED. SEE SHT A-6 AND A-1 FOR ADDITIONAL DEMOLITION NOTES.
 2. EXISTING DORIC FLUTED COLUMNS AND PERGOLA TO BE REMOVED.
 3. EXISTING METAL RAILING AT ROOF LINE TO BE REMOVED.
 4. EXISTING STONE BASE ALONG EXTERIOR PERIMETER OF HOUSE TO BE REMOVED. PATCH AND REPAIR STUCCO AS REQUIRED.
 5. EXISTING BRICK FLANTERS TO BE REMOVED AND REBUILT. SEE FLOOR PLAN AND NEW ELEVATIONS FOR LOCATION.
 6. EXISTING PILASTER TO BE REMOVED. PATCH AND REPAIR AS REQUIRED.
 7. EXISTING ANGLED FACIA TO BE REMOVED AND REPLACED W/FLUSH FACIA TO MATCH NEW OH. (TYP) SEE WALL SECTIONS.
 8. SEE FLOOR PLAN FOR LOCATION OF NEW OPENINGS AND SIZES.
 9. EXISTING EXTERIOR STUCCO TO BE REPAIRED. RESTUCCO EXTERIOR AS REQUIRED.
 10. EXTERIOR TO BE REPAINTED. PAINT COLOR TO BE SELECTED BY ARCHITECT.
 11. ALL EXISTING EXTERIOR LIGHT FIXTURES TO BE REPLACED. SEE ELEC PLAN FOR DTL8.
 12. ALL EXISTING EXPOSED EXTERIOR MECHANICAL DUCTS TO BE REMOVED.
 13. STUCCO BAND TO REMAIN. SEE NEW ELEVATIONS FOR DTL8.
 14. ROOF TO BE REMOVED WHERE NOTED ON SHT A-6 A-1 AND STRUCTURAL DLGS.





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STATE OF FLORIDA LICENSE NO. AR-001997

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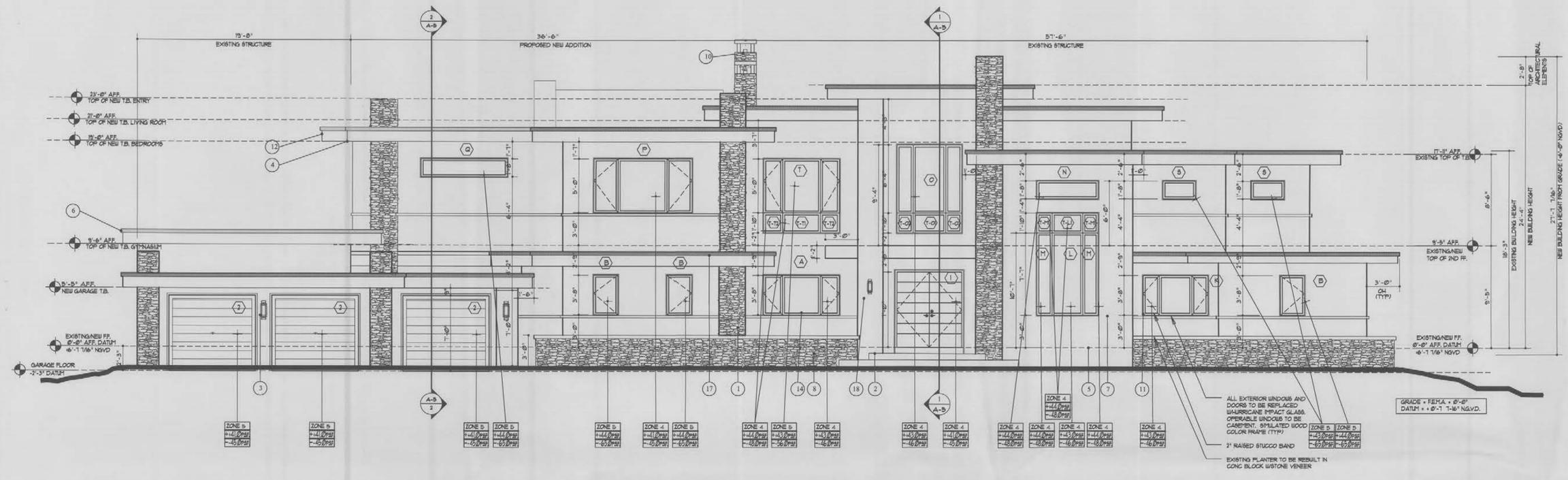
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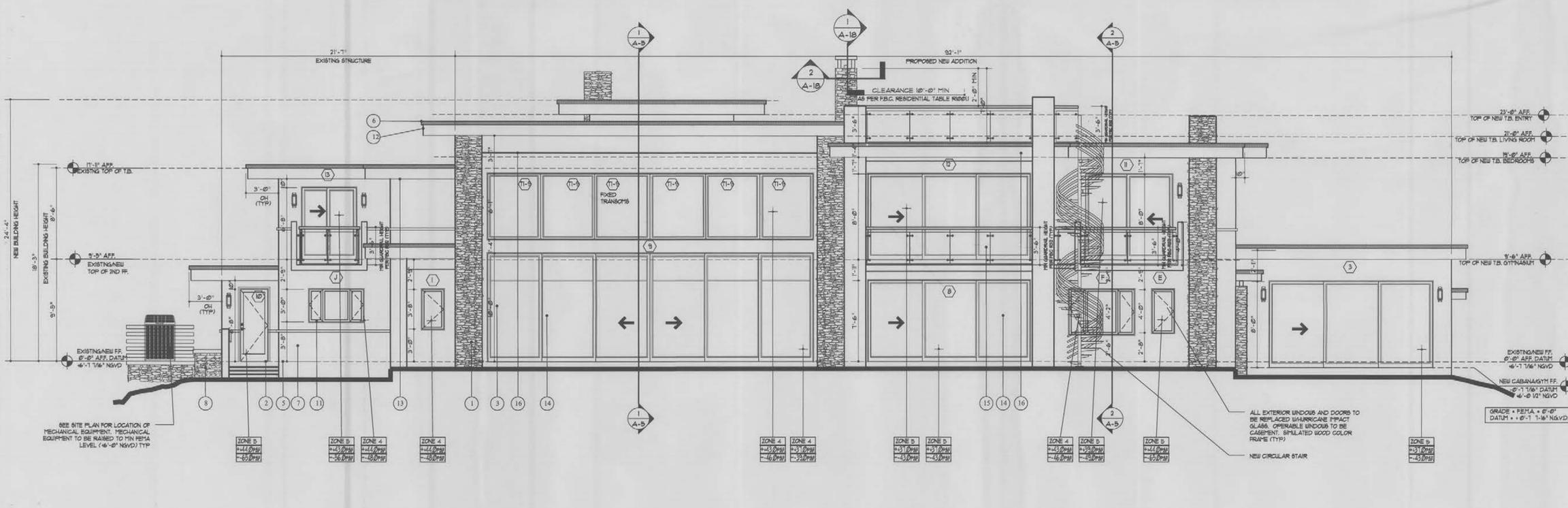
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NEW ELEVATIONS
A-3



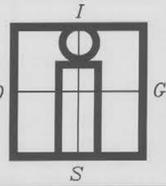
1 NEW FRONT ELEVATION (NORTH)
SCALE = 3/16" = 1'-0"



2 NEW REAR ELEVATION (SOUTH)
SCALE = 3/16" = 1'-0"

- KEY NOTES:**
1. COLUMN W/EL DORADO STACKED STONE VENEER IN ALDERWOOD COLOR. CONTRACTOR TO PROVIDE SAMPLE OF STONE AND MORTAR COLOR PRIOR TO FINAL APPROVAL BY ARCHITECT. STONE WILL BE PLACED WHERE NOTED ON ELEVATIONS
 2. NEW STEPS TOTAL HEIGHT NOT TO EXCEED 30", OTHERWISE PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/FBC R311.5.6
 3. NEW EXTERIOR GRADE LIGHT FIXTURE - SEE ELECT DUGS FOR DTL'S
 4. LINE OF TB. SEE STRUCT DUGS
 5. LINE OF CONCRETE SLAB
 6. NEW FLAT ROOF. SEE DTL'S SHT A-16
 7. BUILDING TO BE RESTITUCED NEW TEXTURE SHALL BE LIGHT. RESIDENCE TO BE PAINTED. PAINT COLOR TO BE SELECTED BY ARCHITECT. STUCCO SHALL BE #1 AND SHALL BE INSTALLED AS PER ASTM C326 EXCLUDING TABLE 4
 8. NEW CONC 3'-0" HIGH PLANTER W/STONE VENEER AND PRECAST CONC CAP. SEE SP-4 FOR DTL'S
 9. STUCCO TRIM BAND TO MATCH AND ALIGN W/EXISTING
 10. NEW FIREPLACE AND MANTEL TO BE SELECTED BY OWNER. SEE CHIMNEY DTL'S SHT A-18
 11. NEW EXTERIOR IMPACT WINDOW/DOORS SEE SCHEDULE A-11 FOR DTL'S
 12. NEW OVERHANG W/STRAIGHT FASCIA SEE DTL'S SHT A-16
 13. CONTRACTOR TO PROVIDE ALUMN GUTTERS AT OVERHANG AS REQUIRED FOR DRAINAGE
 14. ALIGN UPPER AND LOWER WINDOW AND/OR DOORS W/ WINDOW DIVISIONS
 15. 42" HIGH TEMP GLASS GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION. PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC R311 AND R313
 16. RECESS IN BEAM AT TERRACES
 17. NEW DECORATIVE EYEBROW TO MATCH OVERHANG
 18. SITE ADDRESS SHALL BE PROVIDED IN ACCORDANCE W/F.B.C. R321
- NOTE:**
- DIMENSIONS SHOWN ARE FROM TOP OF FF. SEE ELEVATIONS AND STRUCT DUGS FOR TB HEIGHT AND DEPTH
- SEE SHT A-11 FOR WINDOW AND DOOR SCHEDULE
- SHEETS ARE BOUND BY THE REQUIREMENTS ON SHT SP-3
- NOTE:**
ALL WORK TO BE DONE IN ACCORDANCE W/THE 2007 FLORIDA BUILDING CODE AND 2009 AMENDMENTS (TYP)
- GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING, AND LOW V.O.C. PAINTS.

3 ELEVATION KEY NOTES



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STATE OF FLORIDA LICENSE No AR-0016997

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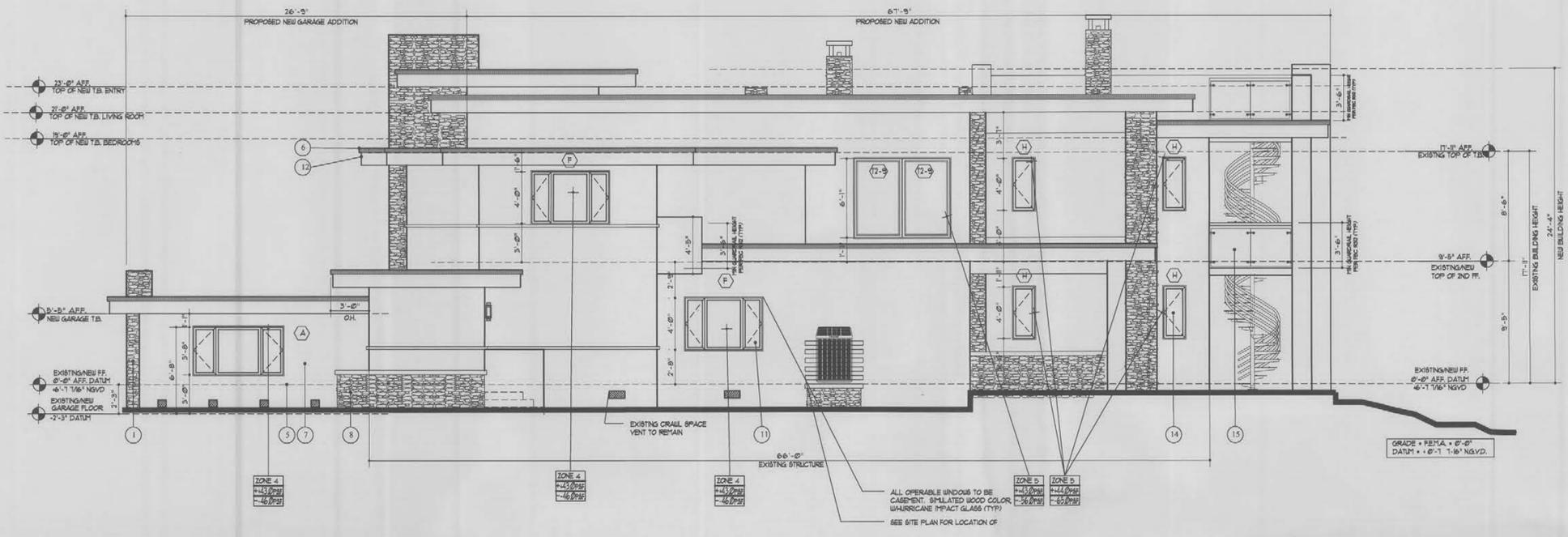
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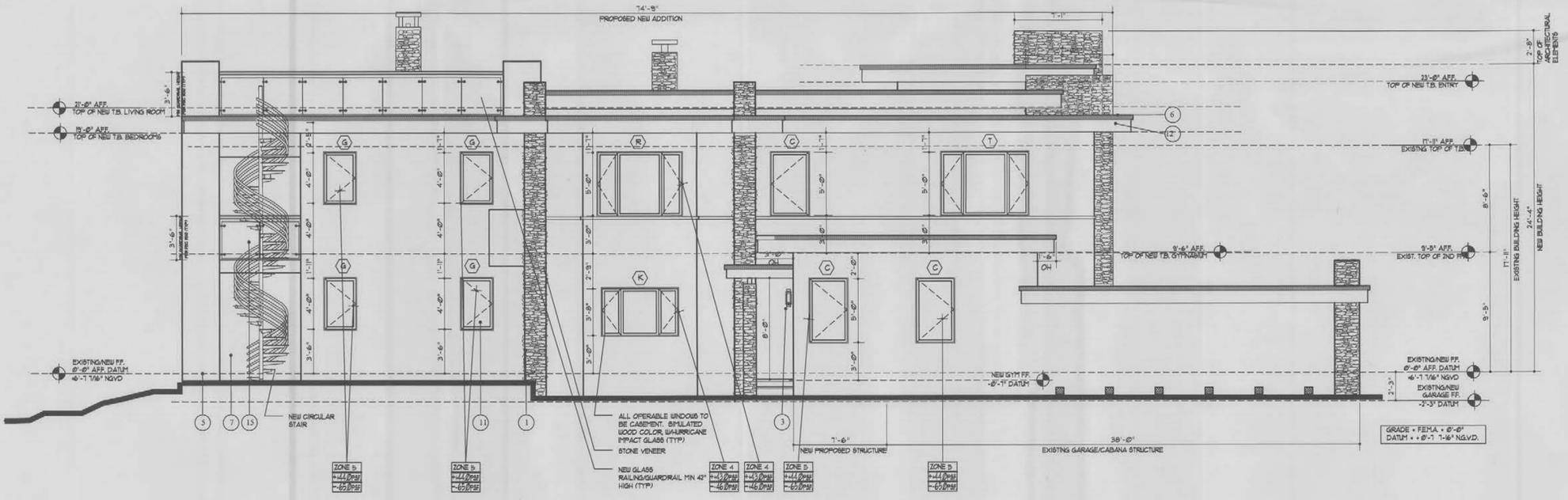
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NEW ELEVATIONS
A-4



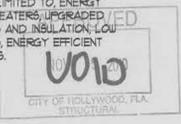
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SCALE = 3/16" = 1'-0"

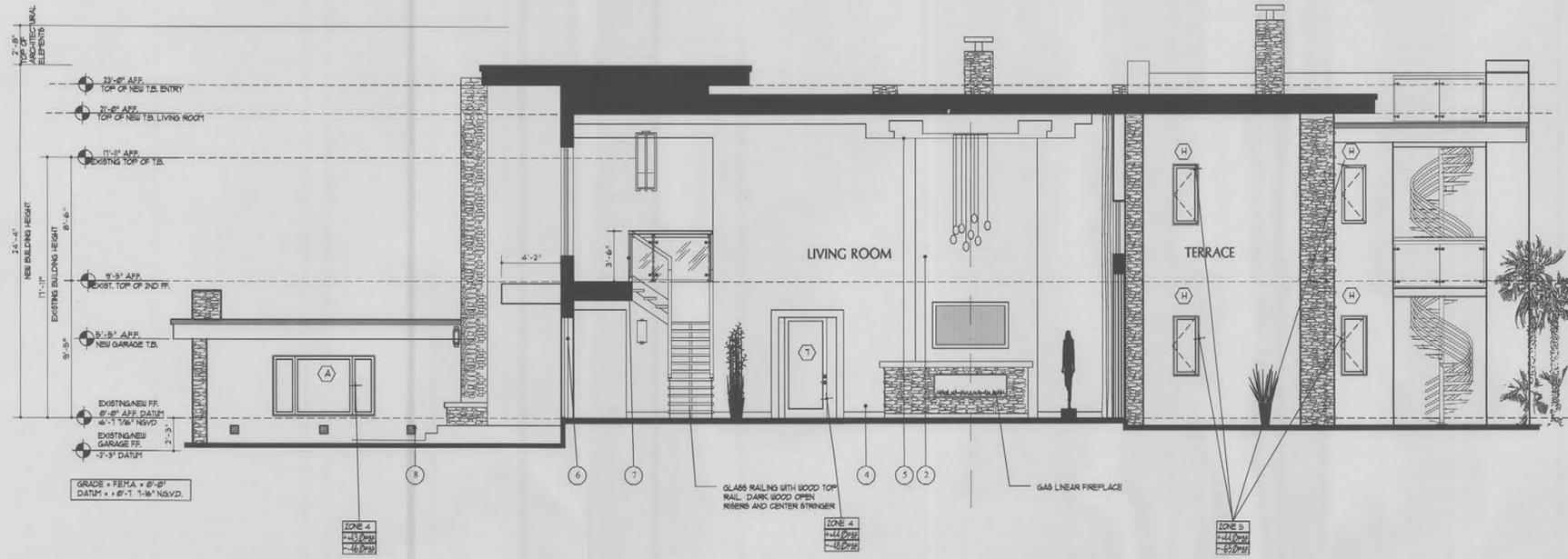


2 NEW SIDE ELEVATION (EAST)
SCALE = 3/16" = 1'-0"

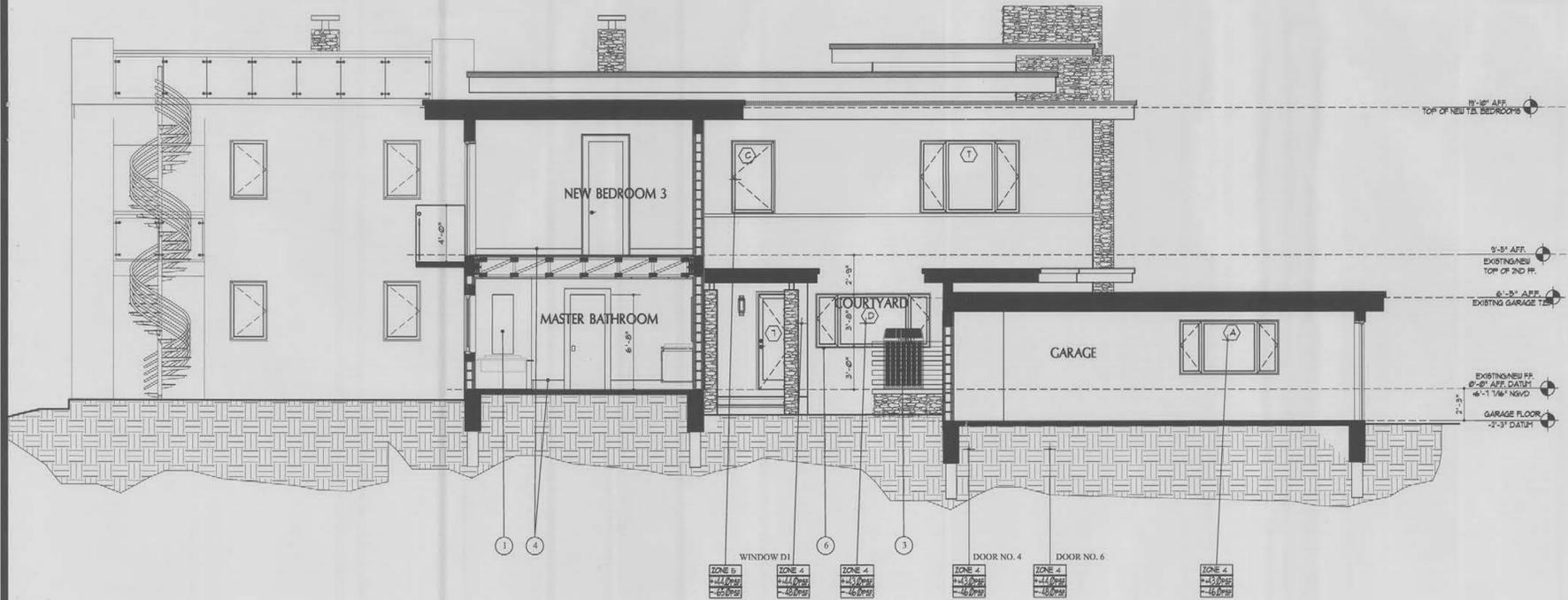
- KEY NOTES:**
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 - NEW STEPS TOTAL HEIGHT NOT TO EXCEED 30". OTHERWISE PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/FBC R315.6
 - NEW EXTERIOR GRADE LIGHT FIXTURE. SEE ELECT DUGS FOR DTLS
 - LINE OF TB. SEE STRUCT DUGS
 - LINE OF CONCRETE SLAB
 - NEW FLAT ROOF. SEE DTLS SHT A-16
 - BUILDING TO BE RESTUCCOED NEW TEXTURE. SHALL BE LIGHT. RESIDENCE TO BE PAINTED. PAINT COLOR TO BE SELECTED BY ARCHITECT. STUCCO SHALL BE 1" AND SHALL BE INSTALLED AS PER ASTM C926 EXCLUDING TABLE 4
 - NEW CONC 3'-0" HIGH PLANTER W/STONE VENEER AND PRECAST CONC CAP. SEE SP-4 FOR DTLS
 - NEW FIREPLACE AND MANTEL TO BE SELECTED BY OWNER. SEE CHIMNEY DTLS SHT A-18
 - NEW EXTERIOR IMPACT WINDOW/DOORS SEE SCHEDULE A-II FOR DTLS
 - NEW OVERHANG W/STRAIGHT FASCIA SEE DTLS SHT A-16
 - CONTRACTOR TO PROVIDE ALUMN GUTTERS AT OVERHANG AS REQUIRED FOR DRAINAGE
 - ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOW DIVISIONS
 - 42" HIGH TEMP GLASS GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION. PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC R311 AND R313
 - RECESS IN BEAM AT TERRACES
 - NEW DECORATIVE EYEBROW TO MATCH OVERHANG
 - SITE ADDRESS SHALL BE PROVIDED IN ACCORDANCE W/FBC. R321
- NOTE:**
- DIMENSIONS SHOWN ARE FROM TOP OF FF. SEE ELEVATIONS AND STRUCT DUGS FOR TB HEIGHT AND DEPTH
 - SEE SHT A-II FOR WINDOW AND DOOR SCHEDULE
 - SHEETS ARE BOUND BY THE REQUIREMENTS ON SHT SP-3
- NOTE:**
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3 ELEVATION KEY NOTES





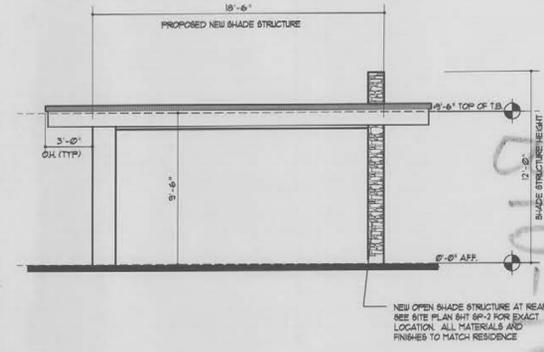
1 BUILDING SECTION
SCALE = 3/16" = 1'-0"



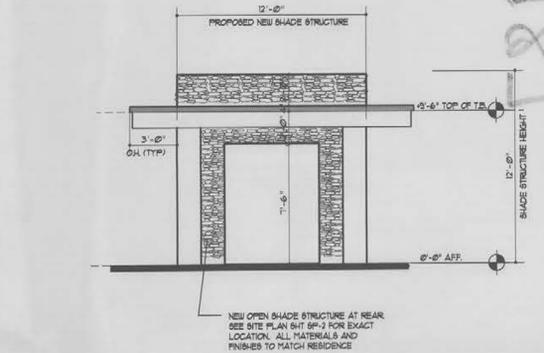
2 BUILDING SECTION
SCALE = 3/16" = 1'-0"

- KEY NOTES:**
- 4" - 6" DEEP DECORATIVE NICHE/RECESS IN PARTITION, TOP TO ALIGN WINDOW AND/OR DOORS (TYP), CENTER W/TUB
 - FIREPLACE WALL TO BE VENEERED W/DARK WOOD, BOTTOM PORTION/BASE TO BE VENEERED IN STONE TO MATCH RESIDENCE. STONE SLAB AT TOP, PREFAB GAS LINEAR FIREPLACE TO HAVE ULLISTINGS TO COMPLY W/FBC RESIDENTIAL CHAPTER 10, SEE CHIMNEY DTLS SHT A-18, HEARTH OF NON-COMBUSTIBLE MATERIALS AS PER FBC R301. CENTER FIREPLACE AT LIVING ROOM WALL
 - RAISE A/C CONDENSERS TO MIN FEMA 16'-0" NGVD
 - BASEBOARD AND INTERIOR MOLDINGS TO BE SELECTED BY OWNER
 - SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS AND DTLS
 - NEW EXTERIOR IMPACT WINDOW/DOORS SEE SCHEDULE FOR DTLS
 - 42" HIGH TEMP GLASS GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION, PICKETS TO REFLECT A 41" DIA OBJECT, GUARDRAIL TO COMPLY W/FBC R311 AND R313
 - 8" X 8" SQUARE VENT AS REQUIRED AT GARAGE SEE DTL 4 SHT A-15 GARAGE VENTS SHALL COMPLY W/IFMA TECHNICAL BULLETIN 1-93 PAGE 9 HAVING A TOTAL NET AREA OF NOT LESS THAN ONE SQ INCH FOR EVERY SF OF ENCLOSED AREA SUBJECT TO FLOODING SHALL BE PROVIDED.

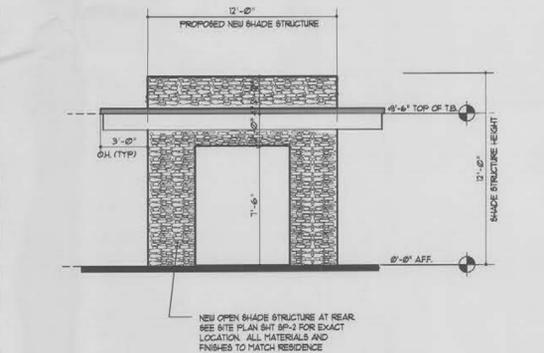
3 SECTION KEY NOTES



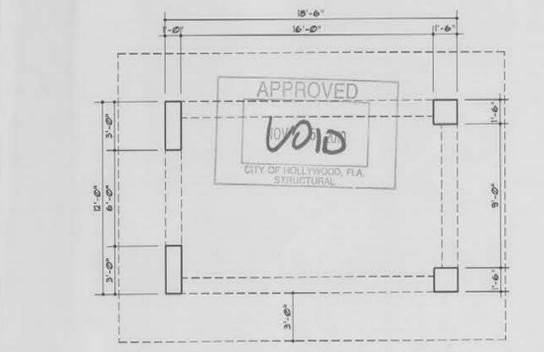
4 NEW SHADE STRUCTURE EAST ELEVATION
SCALE = 3/16" = 1'-0"



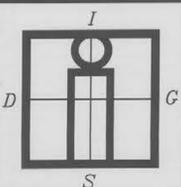
5 NEW SHADE STRUCTURE SOUTH ELEVATION
SCALE = 3/16" = 1'-0"



6 NEW SHADE STRUCTURE NORTH ELEVATION
SCALE = 3/16" = 1'-0"



7 NEW SHADE STRUCTURE PLAN
SCALE = 3/16" = 1'-0"



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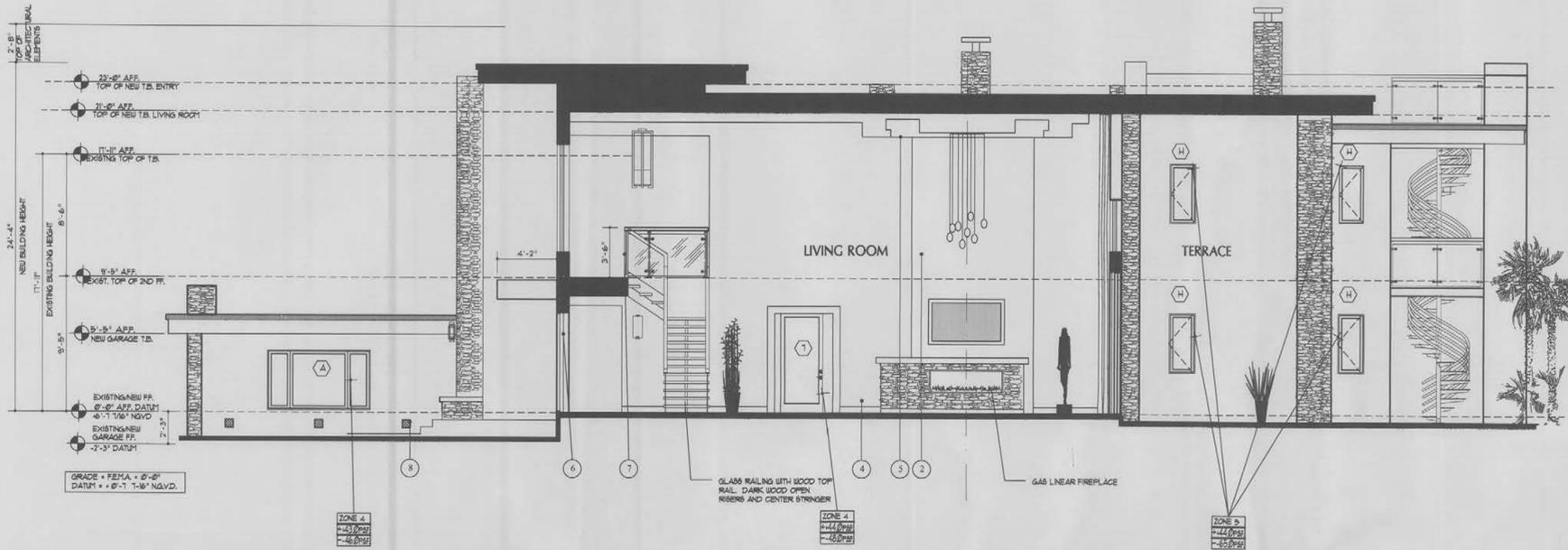
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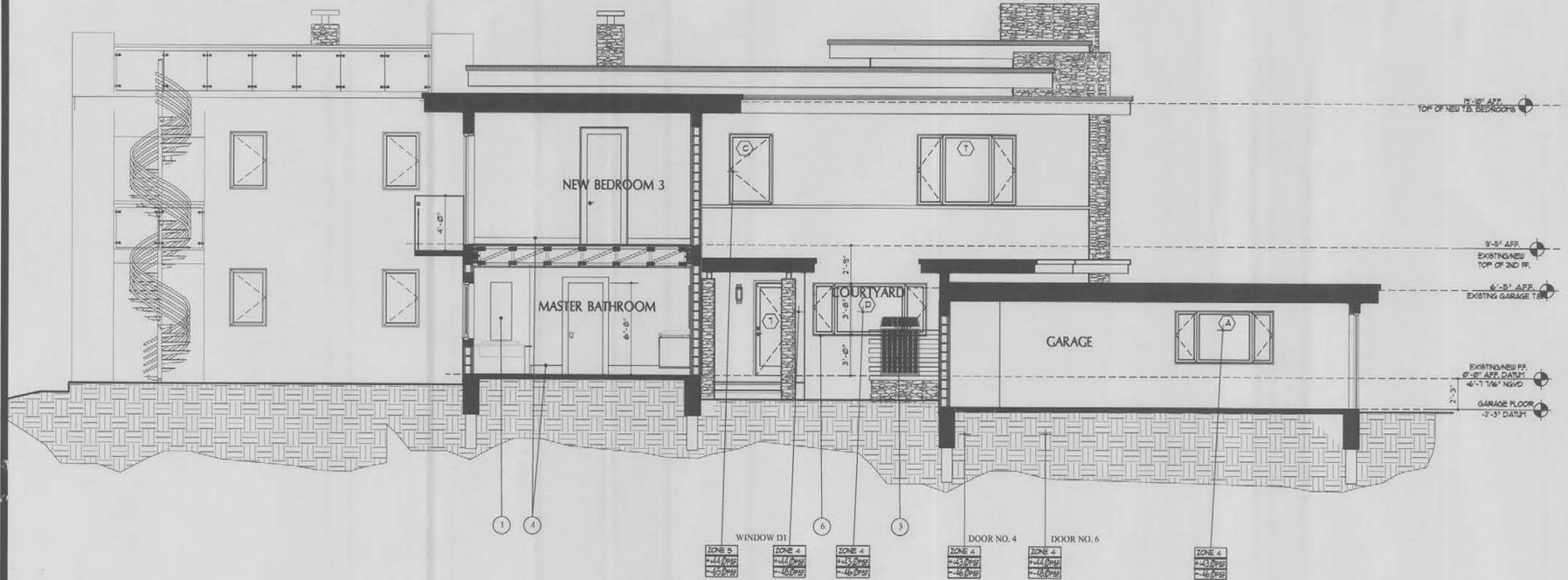
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SECTIONS & GAZEBO
A-5



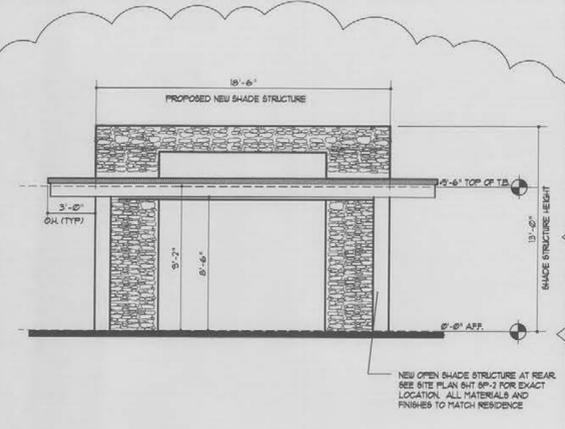
1 BUILDING SECTION
SCALE = 3/16" = 1'-0"



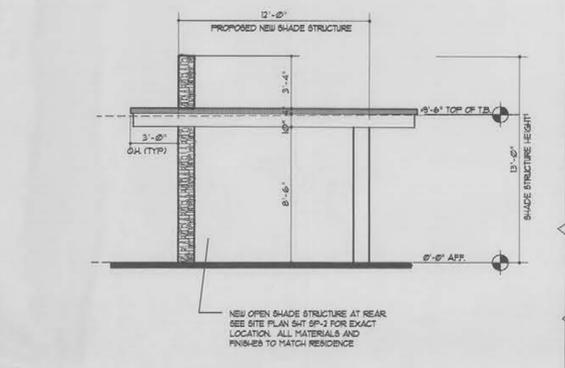
2 BUILDING SECTION
SCALE = 3/16" = 1'-0"

- KEY NOTES:**
1. 4" - 6" DEEP DECORATIVE NICHE/RECESS IN PARTITION. TOP TO ALIGN WINDOW AND/OR DOORS (TYP), CENTER W/TUB.
 2. FIREPLACE WALL TO BE VENEERED W/DARK WOOD. BOTTOM PORTION/BASE TO BE VENEERED IN STONE TO MATCH RESIDENCE. STONE SLAB AT TOP, PREFAB GAS LINEAR FIREPLACE TO HAVE ULLISTING TO COMPLY W/ FBC RESIDENTIAL CHAPTER 10. SEE CHIMNEY DTLS SHT 4-18. HEARTH OF NON-COMBUSTIBLE MATERIALS AS PER FBC R901. CENTER FIREPLACE AT LIVING ROOM WALL.
 3. RAISE A/C CONDENSERS TO MIN FEMA 4'-0" NGVD
 4. BASEBOARD AND INTERIOR MOLDINGS TO BE SELECTED BY OWNER
 5. SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS AND DTLS
 6. NEW EXTERIOR IMPACT WINDOW/DOORS SEE SCHEDULE FOR DTLS
 7. 42" HIGH TEMP GLASS GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION. PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC R311 AND R313
 8. 8"X8" SQUARE VENT AS REQUIRED AT GARAGE SEE DTL 4 SHT A-15 GARAGE VENTS SHALL COMPLY W/FEMA TECHNICAL BULLETIN 1-93 PAGE 5 HAVING A TOTAL NET AREA OF NOT LESS THAN ONE SQ INCH FOR EVERY SF OF ENCLOSED AREA SUBJECT TO FLOODING SHALL BE PROVIDED.

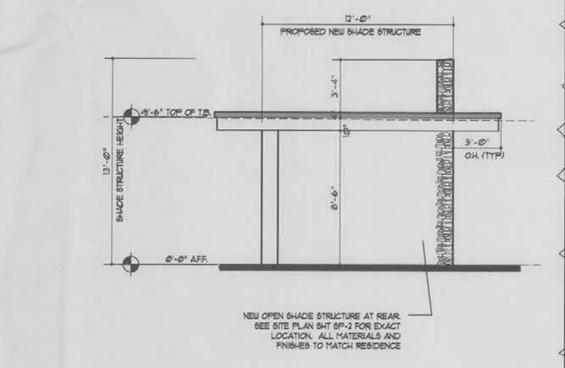
3 SECTION KEY NOTES



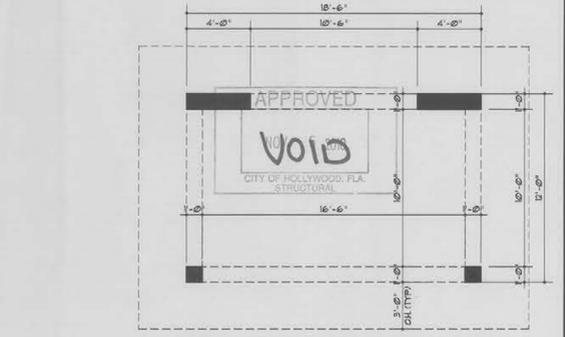
4 NEW SHADE STRUCTURE EAST ELEVATION
SCALE = 3/16" = 1'-0"



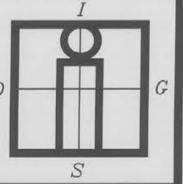
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7 NEW SHADE STRUCTURE PLAN
SCALE = 3/16" = 1'-0"



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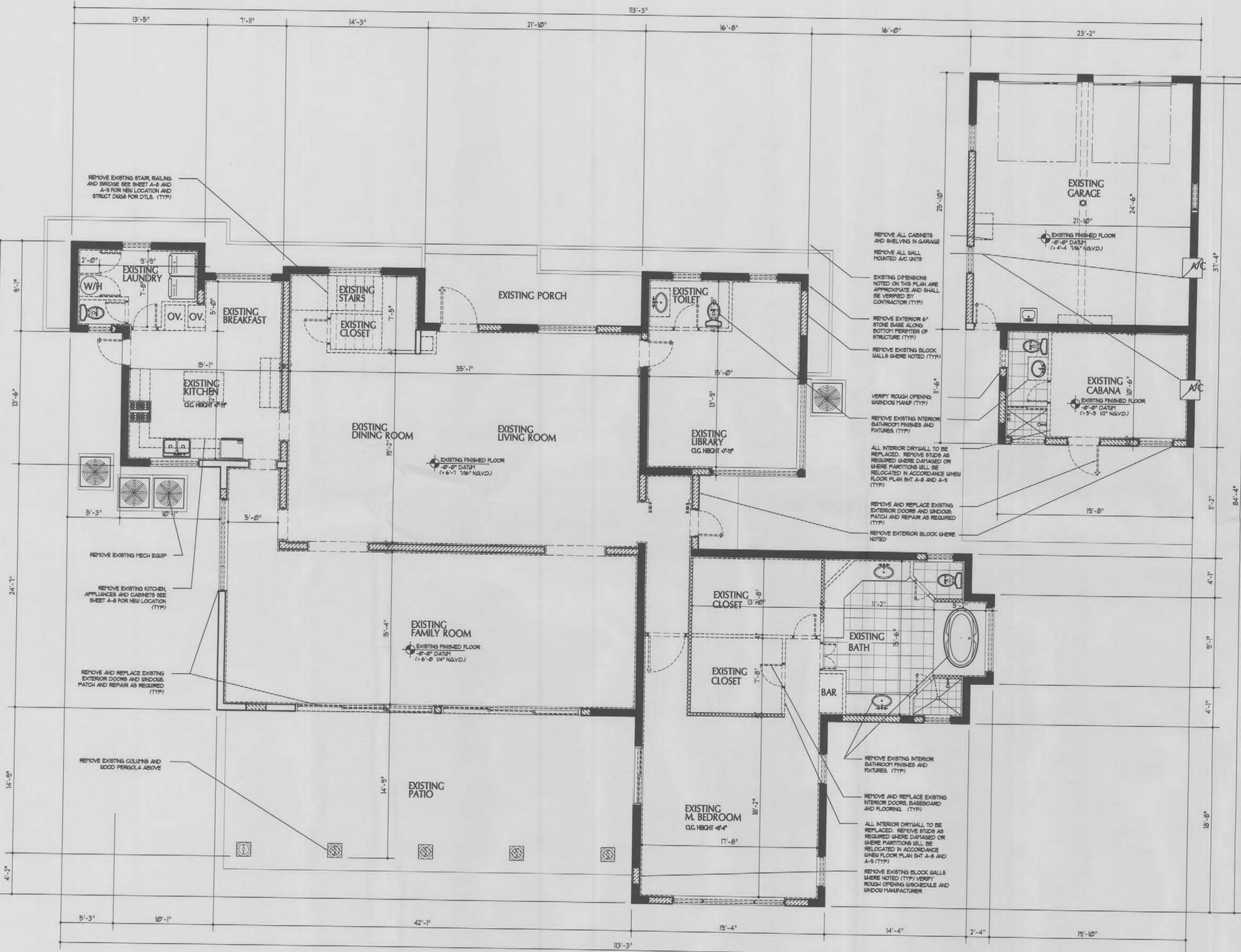
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1 PERMIT REVISION
JULY-30-10

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JULY 12-10

**SECTIONS &
GAZEBO
A-5**



DEMOLITION NOTES

- DEMOLITION FOR REMODELING
- PROTECTION**
DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. CEASE OPERATIONS AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT EXISTING STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
 - EXISTING SERVICES**
ARRANGE AND PAY FOR DISCONNECTING, REMOVAL AND CAPPING UTILITY SERVICES WITHIN AREA OF DEMOLITION. DISCONNECT AND STUB-OFF AS REQUIRED. IF CONNECTED TO AREA WHERE OWNER WILL CONTINUE USE DURING CONSTRUCTION, CONTRACTOR SHALL ADVISE OWNER OF INTERRUPTION IN UTILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR USE AND SERVICE DISCONNECT AS REQUIRED.
 - PREPARATION**
REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES. CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO OWNER AND TO ADJACENT OCCUPIED BUILDING AREAS AS POSSIBLE. ALL DEMOLISHED MATERIALS AND OTHER DEBRIS SHALL BE REMOVED FROM SITE.
 - DEMOLITION**
DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT, AT NO COST TO OWNER. SEAL OFF AREAS THAT ARE NOT UNDER CONSTRUCTION SO THAT DEBRIS DOES NOT ENTER INTERIOR. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN A MANNER AS TO INTERFERE AS LITTLE AS POSSIBLE WITH FUNCTIONS AND NORMAL OPERATIONS OF THE EXISTING BUILDING AND WITH SAFETY AND PRIVACY OF THOSE RESIDING AND/OR WORKING IN AND ABOUT PREMISES. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP BOTH OF CONSTRUCTION SITE AS WELL AS ANY AREAS WHICH BECOME EFFECTED BY CONSTRUCTION DEBRIS.
 - EXISTING**
PRIOR TO REMOVING EXISTING CONSTRUCTION, CONTRACTOR SHALL PROVIDE BRACING AND SUPPORT TO ANY STRUCTURAL MEMBERS BEING SUPPORTED BY THE REMOVED CONSTRUCTION. EXISTING MASONRY WALLS SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. SHOULD BEARING BLOCK, CONCRETE OR STRUCTURAL WALLS, BEAMS AND/OR COLUMNS BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON PLANS, CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY.
 - SUPERVISION**
SUPERVISIONS OF CONTRACTORS: THE GENERAL CONTRACTOR OR HIS QUALIFIED REPRESENTATIVE SHALL BE PRESENT WHEN SUBCONTRACTORS ARE ON THE JOB.
 - PROTECTION OF LANDSCAPING**
THE CONTRACTOR SHALL PROTECT FROM DAMAGE, WITHOUT LIMITING THE SCOPE THEREOF, EXISTING LANDSCAPING, GROUND-COVERS, GRASS, SHRUBS, PLANTS AND TREES, UNLESS SUCH LANDSCAPING SHALL BE INDICATED AS TO BE REMOVED ON THE LANDSCAPE PLAN. ALL LANDSCAPING SHALL REMAIN UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN. NOTIFY OWNER IF LANDSCAPING SHALL BE EFFECTED IN ANY WAY.
 - WORKMANSHIP**
ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADES HIGHEST LEVEL OF WORKMANSHIP SHALL BE REJECTED. ANY WORK REJECTED SHALL BE DONE AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN 5 DAYS AFTER NOTICE IS GIVEN TO THE CONTRACTOR AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED.
 - PROTECTION OF PERSONS AND PROPERTY**
SAFETY PRECAUTIONS AND PROGRAMS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN ACCORDANCE WITH THE WORK.

SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR SHALL TAKE ALL REASONABLE PROTECTION TO PREVENT DAMAGE INJURY OR LOSS TO ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED.
 - ASBESTOS AND LEAD BASED PAINT**
ANY AND ALL ASBESTOS AND/OR LEAD PAINT DISCOVERED DURING DEMOLITION OR CONSTRUCTION MUST BE REPORTED TO ARCHITECT AND OWNER IMMEDIATELY.

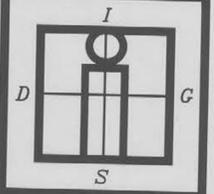
2 DEMOLITION NOTES

- EXISTING CBS WALLS TO REMAIN
 - NEW INTERIOR PARTITION SEE DTL6
 - PARTITION WALLS TO BE REMOVED
 - BLOCK WALLS TO BE REMOVED
 - NEW EXTERIOR BLOCK WALL SEE WALL SECTIONS AND STRUCT DUGS FOR DTL6
 - EXISTING INTERIOR PARTITION STUDS TO REMAIN. NEW DRYWALL, PLASTER AND PAINT AS REQUIRED
- VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLUMNS AND PLUMBING LINES

3 LEGEND

- VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS, COLUMNS, AND PLUMBING.
- THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET 8P-1, AND GENERAL NOTES.
- SHOULD EXTERIOR BLOCK, CONCRETE, STRUCTURAL WALLS, COLUMNS, OR PLUMBING OR ELECTRICAL BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

4 GENERAL NOTES



IN-SITE DESIGN GROUP INC

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FAX 954 921 6769
PROJECT COORDINATOR:
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CGC 1511058
ARCHITECT
SAMUEL R. UCCELLO

Samuel R. Uccello
7-7-10
SEAL

STATE OF FLORIDA LICENSE No AR-0015997

PROJECT:
SULLIVAN RESIDENCE

ADDRESS:
1128 N. NORTHLAKE DR.
HOLLYWOOD, FL 33019

DISTRIBUTION
APRIL-16-2010
HISTORIC BOARD
SUBMITTAL
PETITION NO: 10-C-17
VARIANCE SUBMITTAL

JULY-12-2010
PERMIT SUBMITTAL

REVISIONS

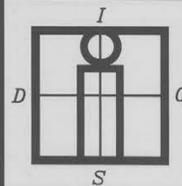


Date Of Issue
JULY 12 - 10

DEMO
FLOOR PLAN
A-6

ING/DEMOLITION FIRST FLOOR PLAN
E = 3/16" = 1'-0"





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GROUP, INC. AND MAY NOT BE REPRODUCED
EXCEPT WITH SPECIFIC WRITTEN CONSENT OF
THE COMPANY. THE CONTRACTOR MUST CHECK
AND VERIFY ALL DIMENSIONS OF THE JOB AND
BE RESPONSIBLE FOR ANY ERRORS. REPORTING ANY
DISCREPANCIES TO THE ARCHITECT BEFORE
COMMENCEMENT OF WORK. DRAWINGS ARE NOT
TO BE SCALED.

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REVISIONS

APPROVED
UCC
CITY OF HOLLYWOOD, FLA.
STRUCTURAL

Date Of Issue
JULY 12 -10

DEMO
FLOOR PLAN

A-7

DEMOLITION NOTES

DEMOLITION FOR REMODELING

- PROTECTION**
DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. CEASE OPERATIONS AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT EXISTING STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- EXISTING SERVICES**
ARRANGE AND PAY FOR DISCONNECTING, REMOVAL AND CAPPING UTILITY SERVICES WITHIN AREA OF DEMOLITION. DISCONNECT AND STUB-OFF AS REQUIRED. IF CONNECTED TO AREA WHERE OWNER WILL CONTINUE USE DURING CONSTRUCTION, CONTRACTOR SHALL ADVISE OWNER OF INTERRUPTION IN UTILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR USE AND SERVICE DISCONNECT AS REQUIRED.
- PREPARATION**
REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES. CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO OWNER AND TO ADJACENT OCCUPIED BUILDING AREAS AS POSSIBLE. ALL DEMOLISHED MATERIALS AND OTHER DEBRIS SHALL BE REMOVED FROM SITE.
DEMOLITION
DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT, AT NO COST TO OWNER. SEAL OFF AREAS THAT ARE NOT UNDER CONSTRUCTION SO THAT DEBRIS DOES NOT ENTER INTERIOR. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN A MANNER AS TO INTERFERE AS LITTLE AS POSSIBLE WITH FUNCTIONS AND NORMAL OPERATIONS OF THE EXISTING BUILDING AND WITH SAFETY AND PRIVACY OF THOSE RESIDING AND/OR WORKING IN AND ABOUT PREMISES. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP BOTH OF CONSTRUCTION SITE AS WELL AS ANY AREAS WHICH BECOME EFFECTED BY CONSTRUCTION DEBRIS.
EXISTING
PRIOR TO REMOVING EXISTING CONSTRUCTION, CONTRACTOR SHALL PROVIDE BRACING AND SUPPORT TO ANY STRUCTURAL MEMBERS BEING SUPPORTED BY THE REMOVED CONSTRUCTION. EXISTING MASONRY WALLS SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. SHOULD BEARING BLOCK, CONCRETE OR STRUCTURAL WALLS, BEAMS AND/OR COLUMNS BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON PLANS, CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY.
- SUPERVISION**
SUPERVISION OF CONTRACTORS: THE GENERAL CONTRACTOR OR HIS QUALIFIED REPRESENTATIVE SHALL BE PRESENT WHEN SUBCONTRACTORS ARE ON THE JOB.
- PROTECTION OF LANDSCAPING**
THE CONTRACTOR SHALL PROTECT FROM DAMAGE, WITHOUT LIMITING THE SCOPE THEREOF, EXISTING LANDSCAPING, GROUND-COVERS, GRASS, SHRUBS, PLANTS AND TREES, UNLESS SUCH LANDSCAPING SHALL BE INDICATED AS TO BE REMOVED ON THE LANDSCAPE PLAN. ALL LANDSCAPING SHALL REMAIN UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN. NOTIFY OWNER IF LANDSCAPING SHALL BE EFFECTED IN ANY WAY.
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2 DEMOLITION NOTES

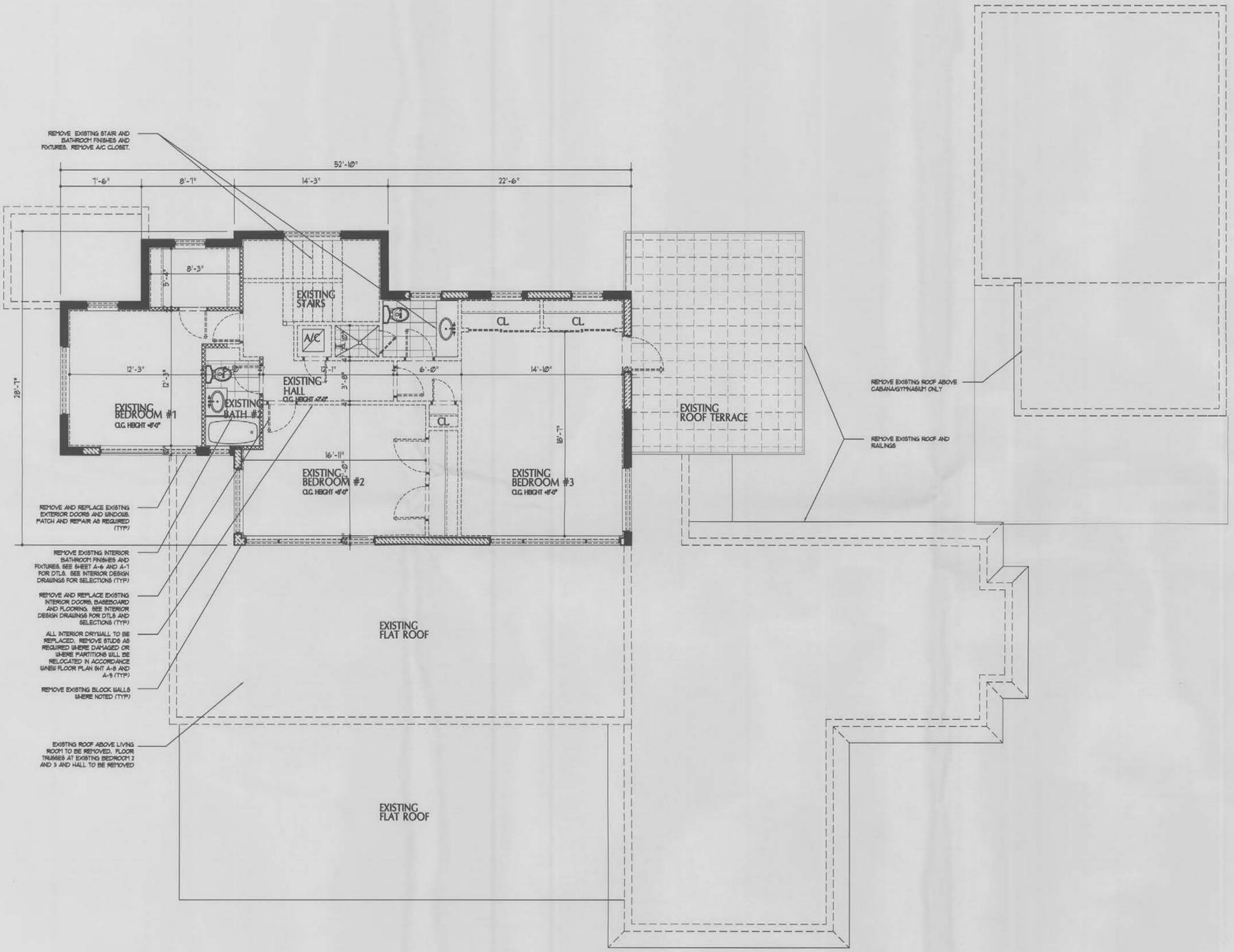
- EXISTING CBS WALLS TO REMAIN
 - NEW INTERIOR PARTITION SEE DTL'S
 - PARTITION WALLS TO BE REMOVED
 - BLOCK WALLS TO BE REMOVED
 - NEW EXTERIOR BLOCK WALL SEE WALL SECTIONS AND STRUCT DIGGS FOR DTL'S
 - EXISTING INTERIOR PARTITION STUDS TO REMAIN. NEW DRYWALL, PLASTER AND PAINT AS REQUIRED
- VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLUMNS AND PLUMBING LINES

3 LEGEND

APPROVED
UCC
CITY OF HOLLYWOOD, FLA.
STRUCTURAL

- VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS, COLUMNS, AND PLUMBING.
- THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET 6P-1, AND GENERAL NOTES.
- SHOULD EXTERIOR BLOCK CONCRETE, STRUCTURAL WALLS, COLUMNS, OR PLUMBING OR ELECTRICAL BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

4 GENERAL NOTES

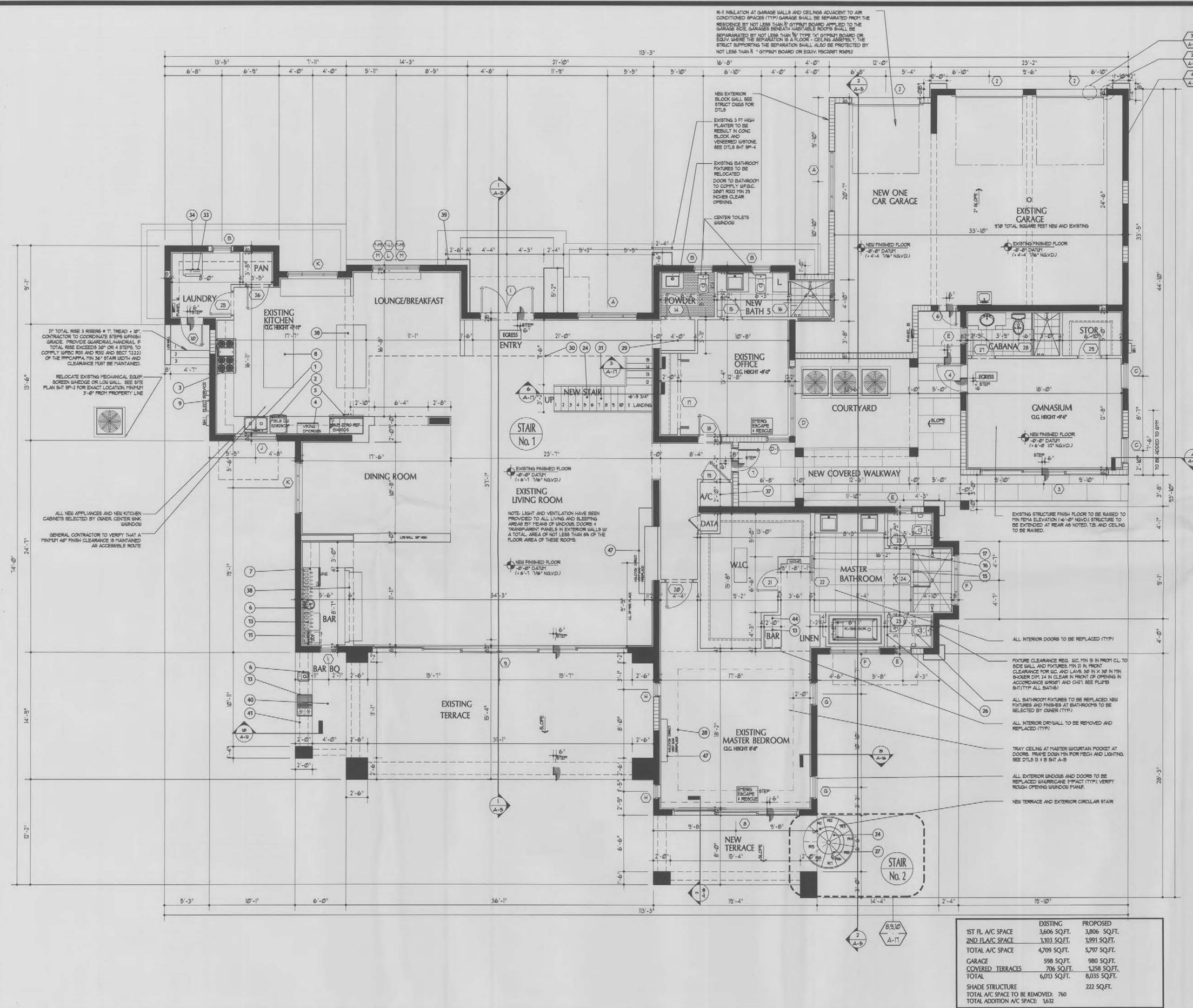


1 DEMOLITION/SECOND FLOOR PLAN

SCALE = 3/16" = 1'-0"



4



1. UNDERCOUNTER 8.6 GAC W/ GARAGE DISPOSAL. SEE NOTES
2. FINISH 4" PATHEL DOUBLE DRAWER COORDINATION
3. 48" W/ 4.68 RANGE W/ FINNERS AND CIRCULAR COUNTER WITH WOLF 48"X24" 8.6 WALL HOOD ABOVE. SEE NOTE 5 AND MECH DUGS FOR DTL. EXTERIOR BIRD CHIMNEY.
4. SHARP MICROVAIVE 1800 W/ 86 PRO3665
5. 48" SINKER DUAL IN RETRO - 86-4800PH. SEE NOTE 5 (PROVIDE COLD WATER STUB-OUT)
6. BIAN 86K - STAINLESS 87L
7. 1.5" STAINLESS MARVEL 24" W/ 2" BROWER STAINLESS 87L. SEE NOTE 5
8. COUNTER TOPS AND CABINETS TO BE SELECTED BY OWNER. SEE DTL 9 84T A-B
9. GAS TANKLESS WATER HEATER SEE PLUMB DUGS FOR DTL
10. BEACH SHOWER SEE PLUMB DUGS FOR DTL
11. SCOTTISH 8" ICEMAKER W/ 11"X11"X11" 1000PSI/1000GPM UNDER COUNTER/AND
12. MARVEL REF. 1.4 84R-84R
13. 36" BUILT IN BAR 86 ALFRESCO 8.6 MAGBOILER-N AND MIBO ALFRESCO 30" DEL. ACCESS DOOR BELOW
14. BUILT IN EXPRESS COFFEE MAKER. SEE NOTE 5
15. BROWER ENCLOSURE TO BE SAFETY TIGHT GLASS BOTTOM OF HEADER 48-6" AFF TOP OF TEMP GLASS AT 1'-4" AFF
16. SHOWER CONTROL (TYP) ALL CONTROLS TO BE LOCATED FOR EASY ACCESS FROM SHOWER/ENTRY
17. SHOWER HEAD 4" 1"-8" FROM FF TO CL
18. 27"X24" MIN ATTIC ACCESS TO COMPLY W/ FBC 2305.60 SEE DETAIL 94 84T A-B
19. MEDICINE CABINET
20. 42" HIGH MIRROR (TYP)
21. KNEE SPACE (36" WIDE)
22. TOILET PAPER HOLDER (TYP)
23. 24" WIDE TOWER BAR (TYP)
24. 34"-38" HANDRAIL TO COMPLY W/ 2007 IBC 803.6 OF THE 2007 IBC RESIDENTIAL (TYP) ALL HANDRAILS TO BE 3/4" DIA 304 STAINLESS STEEL. HANDRAILS MUST RETURN TO WALL OR RETURN TO FLOOR UNLESS POSTS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT.
25. 47" GUARDRAIL WITH PICKETS TO COMPLY W/ SECTION R01 AND R02 OF THE 2007 IBC RESIDENTIAL. PICKETS TO RESIST A 4" DIA OBJECT (TYP)
26. MOTOR ACCESS PANEL. LOCATION WHEN WHIRLPOOL OPTION SELECTED.
27. NEW CONCRETE OR STL. SPIRAL STAIR. SEE 84T A- FOR DTL STAIR TO COMPLY W/ FBC 807.3
28. TRAY COVERED CEILING. SEE DTL 84T A-B AND RCP
29. ACCESS ROUTE TO BATHROOM AND DOOR TO COMPLY SECT R02 MIN 7'-8" CLEAR OPENING
30. LINE OF BRIDGE ABOVE
31. NEW STAIR W/ CENTER STRINGER. TOTAL STAIR RISE 83" (VERIFY) FROM FF TO FF. RISER HEIGHT = 7" 1/8" EACH. TOTAL W/ RISERS STAIR TO COMPLY W/ FBC 807.3 MIN 36" STAIR WIDTH AND CLEARANCE MUST BE MAINTAINED.
32. SHOWER STEAM UNIT-DOORS TO COMPLY W/ MANUF SPECS
33. 27" BOSS GAS FL. VISION DRINKER. W/ 1/2"X3/8"X3/8" W/ 1/2" RESISTAL
34. 27" BOSS W/ 1/2"X3/8"X3/8" W/ 1/2" RESISTAL
35. LAUNDRY BASK
36. GASED OPENING. SEE CASING DTL 84T A-B AND HEADER 84R RCP
37. AIR HANDLING UNIT. (SEE MECH DUGS FOR SIZE)
38. KNEE WALL. MIN 36" W/ 4" DIA 304 STAINLESS STEEL
39. CONG BLOCK COL. W/ DECORATIVE SIMULATED STONE COL. VENEER AND PRECAST CONG CAP. SEE ELEV FOR 87L
40. 1" G BOOD CEILING AT EXTERIOR TERRACES
41. BEAM ABOVE SEE STRUCT DUGS FOR SIZE
42. VENTILATED SHELVING
43. WALL MOUNTED NON-A-WAY A-42 INSTALLED BETWEEN STUDS
44. MORNING BAR W/ CABINETS
45. R-11 INSULATION (TYP)
46. CRITICAL SPLIT FOR MECH DUCTS SEE DTL RCP
47. PREPARED GAS LINEAR FIREPLACE TO HAVE ILLUMINATING TO COMPLY W/ FBC RESIDENTIAL CHAPTER 10. SEE CHIMNEY DTL 84T A-11. BEACH-OR NON-COMBUSTIBLE MATERIALS AS PER FBC R01. CENTER FIREPLACE AT LIVING ROOM WALL
48. CHIEF AND INTERIOR 87L1818 THROUGHOUT

NOTES TO BUILDERS
 BUILDER IS RESPONSIBLE FOR PROVIDING FINAL TRUM ENGINEERING PRIOR TO CONSTRUCTION TO ARCHITECT.
 CONTRACTOR TO PROVIDE COUNTY W/ CERTIFIED COMPACTION REPORT BEFORE INSPECTION AS PER FBC 1802.09 AND 1802

A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB

SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT. FROM A NATIONAL PEST CONTROL. ANNO. AND CONCRETE CAN BE POURED. FBC 1801 BUILDERS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT AS PER FBC 1801.1

OWNER TO SELECT ALL APPLIANCES FINISHES AND FIXTURES. ITEMS NOTED ARE SUGGESTED AND SHOULD BE CONFIRMED PRIOR TO PURCHASE OR INSTALLATION (TYP)

EXTERIOR DOORS AND WINDOWS LABELED EMERGENCY ESCAPE AND RESCUE MUST COMPLY W/ FBC SECT R01

NOTES CONTRACTOR TO VERIFY LOCATION AND SIZE OF ALL EXISTING OPENINGS. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER 84T 84T SP-1 AND SP-2 AND GENERAL NOTES. SHOULD EXISTING BLOCK, CONCRETE OR STRUCTURAL WALLS AND/OR COLLUMS BE DISCOVERED DURING CONSTRUCTION WHICH ARE NOT NOTED ON PLANS, CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY. WINDOWS AND DOORS LABELED 'E' ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE AND 2009 AMENDMENTS (TYP)

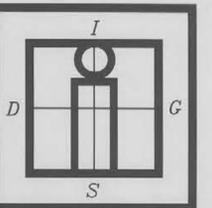
GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO: ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING AND LOW VOC PAINTS.

- ### 2 KEY NOTES
- EXISTING CBS WALLS TO REMAIN
 - NEW INTERIOR PARTITION SEE DTL'S
 - PARTITION WALLS TO BE REMOVED
 - BLOCK WALLS TO BE REMOVED
 - NEW EXTERIOR BLOCK WALL SEE WALL SECTIONS AND STRUCT DUGS FOR DTL'S
 - EXISTING INTERIOR PARTITION STUDS TO REMAIN. NEW DRYWALL, PLASTER AND PAINT AS REQUIRED
- VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLLUMS AND LABEL 'E'.



4 AREAS TO BE ADDED

	EXISTING	PROPOSED
1ST FL. A/C SPACE	3,606 SQ.FT.	3,806 SQ.FT.
2ND FL. A/C SPACE	1,103 SQ.FT.	1,991 SQ.FT.
TOTAL A/C SPACE	4,709 SQ.FT.	5,797 SQ.FT.
GARAGE	598 SQ.FT.	980 SQ.FT.
COVERED TERRACES	706 SQ.FT.	1,258 SQ.FT.
TOTAL	6,013 SQ.FT.	8,035 SQ.FT.
SHADE STRUCTURE		222 SQ.FT.
TOTAL A/C SPACE TO BE REMOVED	760	
TOTAL ADDITION A/C SPACE	1,632	



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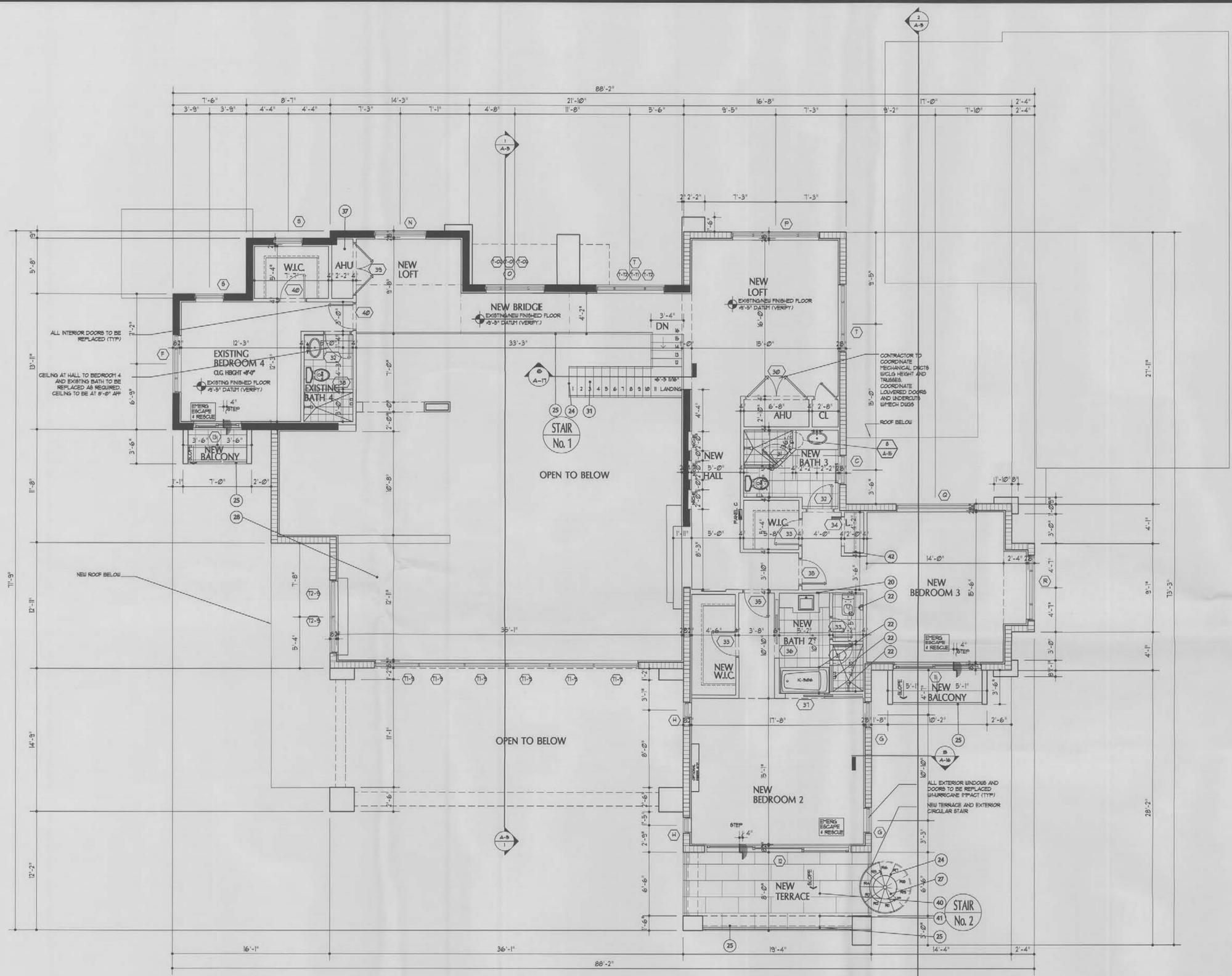
REVISIONS

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NEW FLOOR PLAN
A-8

1 NEW FIRST FLOOR PLAN
 SCALE = 3/16" = 1'-0"





	EXISTING	PROPOSED
1ST FL. A/C SPACE	3,606 SQ.FT.	3,806 SQ.FT.
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TOTAL A/C SPACE TO BE REMOVED	760	
TOTAL ADDITION A/C SPACE	1,632	

- UNDERCUT 88 BANK UNDERLIEGE DISPOSAL. SEE NOTES
- FISHER 4 PAYKEL DOUBLE DIAMONDAIR D24DC276
- 40" WOLF GAS RANGE W/ BURNERS AND GRIDDLER
- FRANKS W/ WOLF 48"X24" S.S. WALL HOOD ABOVE
- 1008333 SEE NOTE 5 AND MECH DUGS FOR DTL'S
- EXTERIOR BRUSH CITY ELKOR
- SHOWER ENCLOSURE SEE DTL'S
- 48" RUBBERO BUILT IN REFROG - RSI-4805PH SEE NOTE B
- PRODUCE COLD WATER STRIP-DW7
- BAR SINK - STAINLESS STL
- LINE STORAGE MARVEL 24" 600CFM80GR STAINLESS STL
- SEE NOTE 5
- COUNTER TOPS AND CABINETS TO BE SELECTED BY OWNER SEE DTL'S
- GAS TANKER WATER HEATER SEE PLUMB DUGS FOR DTL'S
- BEACH SHOWER SEE PLUMB DUGS FOR DTL'S
- SCOTSMAN 8" ICE/MAKER W/PLUMBER'S CONNECTION UNDER COUNTER/SINK
- MARVEL SEE LH 614R-0501
- 30" BUILT IN BAR DG ALFRESCO 8.5 14002008-N AND 14002 ALFRESCO 30" DEL. ACCESS DOOR BELOW
- BUILT-IN EXPRESSO/COFFEE MAKER SEE NOTE 5
- SHOWER ENCLOSURE TO BE SAFETY TEMP GLASS BOTTOM OF HEADERS 88"X44" AIR TOP OF TEMP GLASS AT 11-4" AFF
- SHOWER CONTROL (TYP) ALL CONTROLS TO BE LOCATED FOR EASY ACCESS FROM BATHROOM ENTRY
- SHOWER HEAD 4" 7-0" FROM FF TO CL
- 22"X26" MIN ATTIC ACCESS TO COMPLY W/ FBC 2209.6.0 SEE DETAIL 04 SHIT A-9
- MEDICINE CABINET
- 47" HIGH MIRROR (TYP)
- KNEE SPACE (N/A) UNDER
- TOILET PAPER HOLDER (TYP)
- 24" WIDE TOWEL BAR (TYP)
- 34"X30" HANDRAIL TO COMPLY W/ SECT R03.6.6 OF THE 2007 FBC RESIDENTIAL (TYP ALL HANDRAILS) SEE DTL'S
- SHIT A-9 HANDRAIL MUST RETURN TO WALL OR RETURN TO FLOOR WHEEL POSTS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF STAIRS OR FLIGHT.
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- MOTOR ACCESS PANEL LOCATION WHEN SHIRLPOOL OPTION SELECTED.
- NEW CONCRETE OR STL SPIRAL STAIR. SEE SHIT A- FOR DTL'S SHAIR TO COMPLY W/ FBC SEC 0807.3
- TRAY COVERED CEILING SEE DTL'S A-9 AND RCP
- ACCESS ROUTE TO BATHROOM AND DOOR TO COMPLY WITH SEC 102 MIN 5'-8" CLEAR OPENING
- LINE OF BRIDGE ABOVE
- NEW STAIR W/ CENTER STRINGER TOTAL STAIR RISE 15' VARY 1" FROM FF TO FF RISE HEIGHT = 1 W/ EACH TOTAL W/ RISERS STAIR TO COMPLY W/ FBC 0807.3 MIN 36" STAIR BATH AND CLEARANCE MUST BE MAINTAINED.
- SHOWER STRAY UNIT-DOORS TO COMPLY W/ MANUF SPECS
- 21" BOSCH GAS FL VISION DRILLER W/ VIBRATION W/ RESISTAL
- 27" BOSCH WASHER-VISION 500 SER 31VC3480UC
- LAUNDRY SINK
- CASED OPENING. SEE
- CASING DTL'S SHIT A-4 AND HEADER SCH. RCP.
- AIR HANDLING UNIT. (SEE MECH DUGS FOR SIZE)
- KNEE WALL W/ BAR SEE DTL'S 9 AND 8 SHIT A-14
- COND BLOCK COL W/ OPERATIVE INSULATED STONE COL VENER AND PRECAST CONC CAP SEE ELEV FOR STYLE
- 14 G WOOD CEILING AT EXTERIOR TERRACES
- BEAM ABOVE SEE STRUCT DUGS FOR SIZE
- VENTILATED SHELVING
- WALL MOUNTED NON-A-LAY A-42 INSTALLED BETWEEN STUDS
- MORNING BAR CABINETS
- R-4 INSULATION (TYP)
- DRYWALL SOFFIT FOR MECH DUCTS SEE DTL. RCP
- PRECAST GAS LINE FINELACE TO HAVE LISTINGS TO COMPLY W/ FBC RESIDENTIAL CHAPTER 10. SEE CHARTER DTL'S SHIT A-1. SEARCH FOR NON-COMBUSTIBLE MATERIALS AS PER FBC R0801 CENTER FIREPLACE AT LIVING ROOM WALL
- CH-PE AND INTERCOM SYSTEM THROUGHOUT

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 CONTRACTOR TO PROVIDE COUNTY W/ CERTIFIED CONTRACT REPORT BEFORE INSPECTION AS PER FBC 1802.019 AND 1803
 A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB
 SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT. FROM A NATIONAL PEST CONTROL AGENCY BEFORE CONCRETE CAN BE PLACED. SEC. FBC 1804 BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT AS PER FBC 1806.1
 OWNER TO SELECT ALL APPLIANCES FINISHES AND FIXTURES. ITEMS NOTED ARE SUGGESTED AND SHOULD BE CONFIRMED BY OWNER PRIOR TO PURCHASE OR INSTALLATION (TYP)
 EXTERIOR DOORS AND WINDOWS LABELED EMERGENCY ESCAPE AND RESCUE MUST COMPLY W/ FBC SEC R310

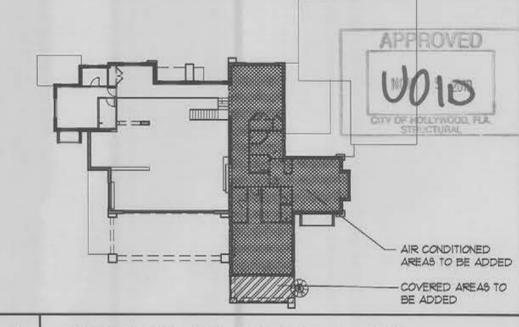
NOTES: CONTRACTOR TO VERIFY LOCATION AND SIZE OF ALL EXISTING OPENINGS. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHIT 847, SHIT 8P-1 AND 8P-2 AND GENERAL NOTES. SHOULD EXTERIOR BLOCK, CONCRETE OR STRUCTURAL WALLS AND/OR COLLARS BE DISCOVERED DURING DEMOLITION WORK ARE NOT NOTED ON PLANS, CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY. WINDOWS AND DOORS LABELED "E" ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE AND 2009 AMENDMENTS (TYP)
 GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING AND LOW VOC PAINTS.

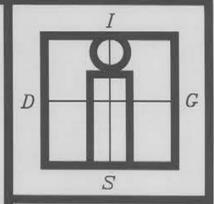
2 KEY NOTES

- EXISTING CBS WALLS TO REMAIN
- NEW INTERIOR PARTITION SEE DTL'S
- PARTITION WALLS TO BE REMOVED
- BLOCK WALLS TO BE REMOVED
- NEW EXTERIOR BLOCK WALL SEE WALL SECTIONS AND STRUCT DUGS FOR DTL'S
- EXISTING INTERIOR PARTITION STUDS TO REMAIN NEW DRYWALL, PLASTER AND PAINT AS REQUIRED
- VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLUMNS AND PLUMBING LINES

3 LEGEND



4 AREAS TO BE ADDED 2nd FL



IN-SITE DESIGN GROUP INC

1609 RODMAN STREET
 HOLLYWOOD, FLORIDA 33020
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 954 921 5333
 FAX 954 921 6769
 PROJECT COORDINATOR:
 ANNIE GARRUTHERS
 CGC 1511058
 ARCHITECT
 SAMUEL R. UCCELLO

Seal
 7.9.10
 SEAL
 STATE OF FLORIDA LICENSE NO. AR-0015977

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PROJECT:
 SULLIVAN RESIDENCE

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 1128 N. NORTHLAKE DR.
 HOLLYWOOD, FL 33019

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 PETITION NO: 10-C-17
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JULY-12-2010
 PERMIT SUBMITTAL

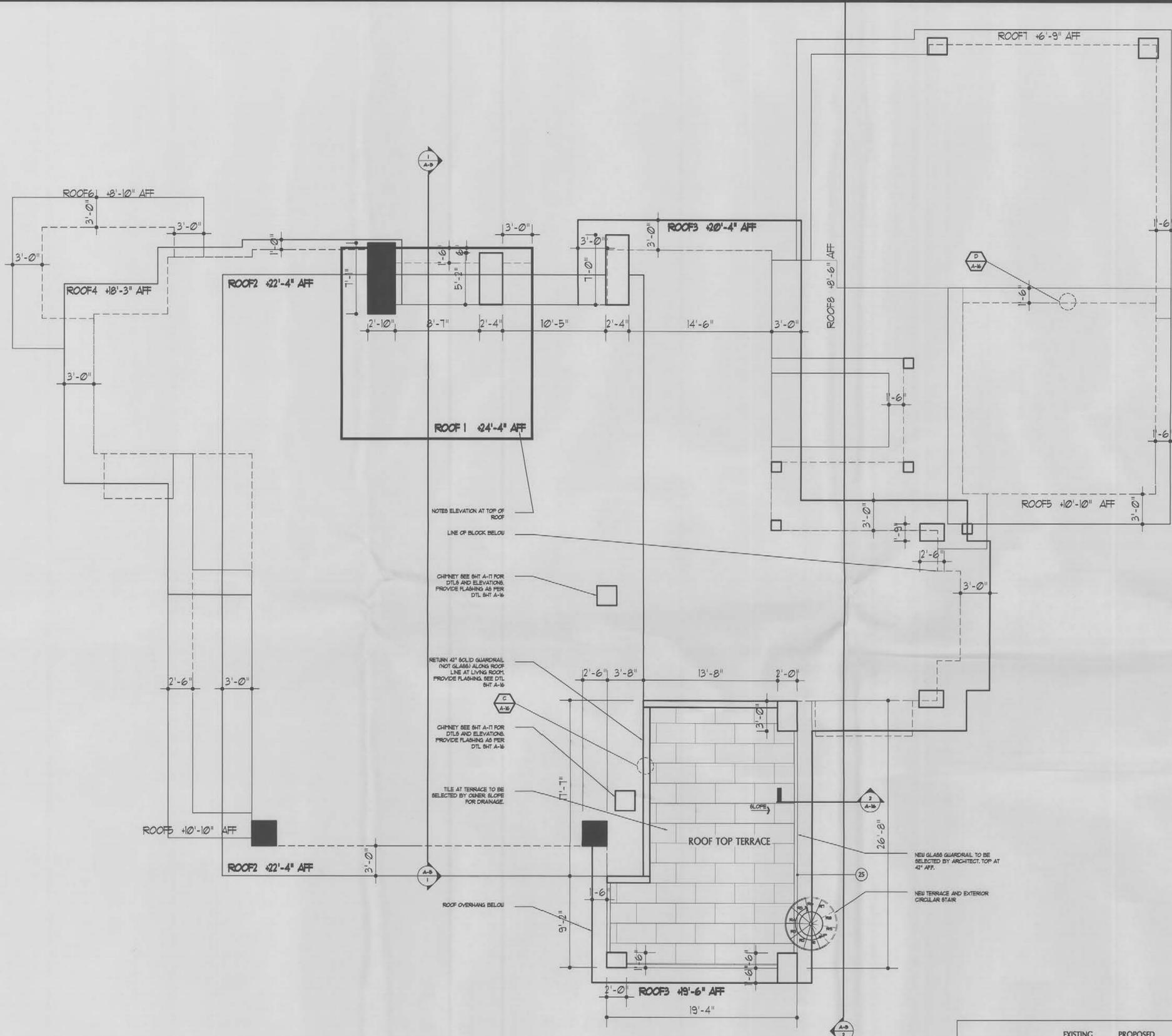
REVISIONS

Date Of Issue
 JULY 12-10

NEW FLOOR PLAN A-9

1 NEW SECOND FLOOR PLAN SCALE = 3/16" = 1'-0"





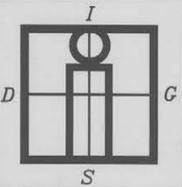
	EXISTING	PROPOSED
1ST FL. A/C SPACE	3,606 SQ.FT.	3,806 SQ.FT.
2ND FL. A/C SPACE	1,103 SQ.FT.	1,991 SQ.FT.
TOTAL A/C SPACE	4,709 SQ.FT.	5,797 SQ.FT.
GARAGE	598 SQ.FT.	980 SQ.FT.
COVERED TERRACES	706 SQ.FT.	1,258 SQ.FT.
TOTAL	6,013 SQ.FT.	8,035 SQ.FT.
SHADE STRUCTURE		222 SQ.FT.
TOTAL A/C SPACE TO BE REMOVED:	760	
TOTAL ADDITION A/C SPACE:	1,632	

- UNDERPOINT BA RINK SHARPSHAGE DISPOSAL SEE NOTES
- FIXED 4 PATKEL DOUBLE DISHWASHER DD44CCT69
- 40\"/>

NOTES TO BUILDER:
 BUILDER IS RESPONSIBLE FOR PROVIDING FINAL TRUSS ENGINEERING PRIOR TO CONSTRUCTION TO ARCHITECT.
 CONTRACTOR TO PROVIDE COUNTY W/ CERTIFIED COXPACT REPORT BEFORE INSPECTION AS PER F.B.C. 198
 AND 199
 A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB
 SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT FROM A NATION
 PEST CONTROL ASSOC. BEFORE CONCRETE CAN BE POURED SEC. F.B.C. 198J BUILDINGS SHALL HAVE
 PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERNEAN TERMITES IN ACCORDANCE WITH THE RULES
 AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. A CERTIFICATE
 OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY
 PERFORMING THE TREATMENT AS PER F.B.C. 198J.1
 OWNER TO SELECT ALL APPLIANCES FINISHES AND FIXTURES. ITEMS NOTED ARE SUGGESTED AND SHOULD BE
 CONFIRMED SOONER PRIOR TO PURCHASE OR INSTALLATION (TYP)
 EXTERIOR DOORS AND WINDOWS LABELED EMERGENCY ESCAPE AND RESCUE MUST COMPLY W/ F.B.C. SECT 905

NOTES: CONTRACTOR TO VERIFY LOCATION AND SIZE OF ALL EXISTING OPENINGS. THIS SHEET IS BOUND BY THE
 REQUIREMENTS ON COVER SHEET 841-841-A AND 841-841-B AND GENERAL NOTES. SHOULD EXTERIOR BLOCK CONCRETE
 STRUCTURAL WALLS AND/OR COLUMNS BE DISCOVERED DURING EXCAVATION WHICH ARE NOT NOTED ON PLAN, THE
 CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY. WINDOWS AND DOORS LABELED "E"
 EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

ALL WORK TO BE DONE IN ACCORDANCE WITH 2001 FLORIDA BUILDING CODE AND 2009 AMENDMENTS (TYP).
 GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO ENERGY STAR
 APPLIANCES, TANKLESS WATER HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW
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 7.9.10
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STATE OF FLORIDA LICENSE No. AR-0015997

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REVISIONS

Date Of Issue
 JULY 12-10

**NEW
 THRID FLOOR/
 ROOF PLAN
 A-10**