



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES

APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission

Variance/Special Exception Requested

- Administrative Approvals
- Historic Preservation Board
- Planning and Development Board

PROPERTY INFORMATION

Location Address: 3501 Johnson Street (specific project fronts Hospital Drive)

Lot(s): _____ Block(s): 46-48, pts 82-85 Subdivision: Hwd Hills 6-22

Folio Number(s): 5142 07 02 1000

HD

Zoning Classification: HD Land Use Classification: Community Facility

Existing Property Use: Hospital Sq Ft/Number of Units: 1,188,887 sq. ft.

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide

File/Resolution/Ordinance No.: PACO, TAC, Other projects on campus over near

DEVELOPMENT PROPOSAL

Explanation of Request: Expansion of surgical and bed facilities in a new 8
Curbside modification for patient drop off and pick up; hardscape elements

Phased Project: Yes / No Number of Phases: _____

Project	Proposal
Units/rooms (# of units)	(Area: _____ S.F.)
Proposed Non-Residential Uses	Net increase of 292,662 sq. ft. of hospital S.F.
Open Space (% and SQ.FT.)	N/A (Area: _____ S.F.)
Parking (# of spaces)	584 (Area: _____ S.F.)
Height (# of stories)	8 (119.11 FT.)
Gross Floor Area (SQ. FT)	404,492 new construction after 111,830 dem

Name of Current Property Owner: South Broward Hospital District

Address of Property Owner: 3111 Stirling Road, Hollywood, FL 33312-6566

Telephone: 954-265-8670 Email Address: Mgreenspan@mhs.net

Applicant Calvin Giordano & Assoc. A+ Consultant | Representative | Tenant (check one)

Address: 1800 Eller Drive, Suite 600 Telephone: 954-921-7781

Email Address: Hholden@cqasolutions.com; Jmessick@cqasolutions.com

Email Address #2: Mgreenspan@mhs.net; Hcalhoun@miskelbackman.com

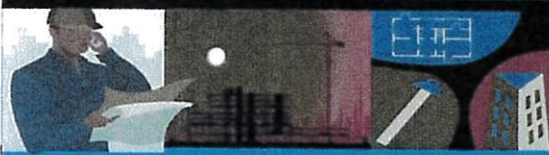
Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only): Christina Matthews of Cutro & A+

E-mail Address: cutroplanning@yahoo.com

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Kim Paez Date: 12/9/24

PRINT NAME: Kim Paez Date: 12/9/24

Signature of Consultant/Representative: [Signature] Date: 12/9/24

PRINT NAME: Jenna Martinetti Date: _____

Signature of Tenant: _____ Date: _____

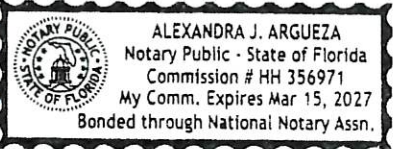
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Calvin Giordano + Assoc. to be my legal representative before the City of Hollywood (Board and/or Committee) relative to all matters concerning this application. PDB

Sworn to and subscribed before me this 9th day of December 2024

Alexandra J. Argueza
Notary Public
State of Florida



Kim Paez
Signature of Current Owner

Kim Paez
Print Name

My Commission Expires: 3/15/27 (Check One) Personally known to me; OR Produced Identification _____

DESIGN CRITERIA

1. Architectural and Design Components:

The architectural details of the Memorial Regional Surgery Tower complement its mass and scale, ensuring visual harmony and refinement. The vertical composition of the façade creates a sense of rhythm and proportion, balancing the building's height while introducing subtle patterns that provide texture and depth. Thoughtful material articulation, such as the interplay of glazing, precast concrete, and metal panels, adds visual interest without being overwhelming. These materials have been selected to ensure elegance and durability with minimal maintenance while enhancing the building's form.

Functionality and aesthetics are seamlessly integrated, with architectural elements that address both user experience and the surrounding environment. The tower's façade detailing promotes natural light and openness while maintaining a human scale at pedestrian levels for better connection. Ground-level design emphasizes accessibility and movement, ensuring smooth transitions between indoor and outdoor spaces while creating an inviting presence for patients and visitors. By focusing on both macro and micro details, the design elevates the tower's architectural quality, reinforcing its role as a modern, functional, and contextually responsive addition to the hospital campus.

2. Compatibility:

Inspired by the original Hollywood city planning principles, the new Surgery Tower aligns on a 45-degree axis radiating from the center of a major street intersection. The design embraces the defined axis while enhancing its prominence as a focal point within the campus providing a clear and intuitive entry point. This deliberate orientation not only reinforces visibility from major approach roads but also connects seamlessly with the hospital's existing circulation networks and adjacent neighborhood streets. By respecting the campus's historical planning logic, the tower creates a natural flow, linking the new structure to the established infrastructure of pathways and driveways that support both vehicular and pedestrian movement.

The architectural style of the tower reflects a modern interpretation of the area's character while complementing the existing hospital campus and surrounding neighborhood. The material palette—precast concrete, expansive glazing, and sleek metal panels—draws inspiration from Hollywood, Florida's defining coastal identity. The glazing evokes the blues of the Atlantic Ocean, while the warm tones and sandy patterns of the precast concrete reference the boardwalk and nearby beaches. These elements ground the building in its local context, creating a harmonious balance between innovation, durability, and a sense of place. The result is a design that feels both contemporary and connected to Hollywood's architectural and natural heritage.

3. Scale/Massing

The Memorial Regional Surgery Tower is proportioned in scale and height to integrate seamlessly with the surrounding campus while establishing itself as a distinct focal point. Slightly taller than the existing Legacy Tower, the new structure enhances the campus skyline without overpowering its context, creating a sense of prominence appropriate for its central role. Its vertical composition and detailing respond thoughtfully to the hospital's existing architecture and the adjacent residential neighborhood, ensuring a balanced and harmonious integration. The design employs vertical patterns and fenestrations that add rhythm and sophistication to the façade, accentuating the tower's height while breaking down its scale to maintain visual cohesion with the campus.

Expansive glazing maximizes opportunities for daylighting and views, while vertical mullions and subtle divisions in the precast concrete panels emphasize the building's height and texture. This balance of verticality and material articulation conveys elegance and modernity. At the ground level, human-scale design elements, such as welcoming pedestrian pathways and transparency through glass, create a seamless interaction between the building and its users. The result is a tower that thoughtfully rises along with the Legacy Tower, enhancing the hospital campus with a timeless and contextually sensitive architectural statement.

4. Landscaping:

The proposed landscape design integrates a thoughtfully selected, diverse palette of native and regionally compatible plant species, such as Coonties, Fakahatchee

Grass, Sand Cordgrass, Muhly Grass, Boston Fern, Cabbage Palms, and Dahoon Hollies. These selections have been made with close attention to their growth habits, tolerance to South Florida's climate, and their ability to create welcoming shaded areas, particularly in zones where pedestrians are most likely to gather. By carefully arranging these plantings in relation to existing buildings, walkways, and paved surfaces, the design achieves a balanced, visually cohesive, and functional outdoor setting.

Equally important is the project's commitment to preserving mature trees and other significant vegetation already present on the site. Only those specimens that directly interfere with proposed improvements will be removed. All others will be protected through detailed measures that include installing sturdy barricades around root zones, requiring the presence of a qualified arborist to oversee any tree-related work, and adhering to strict construction protocols aimed at minimizing disturbances. These concerted efforts ensure that the site's most valuable natural assets will continue to thrive and contribute to the overall landscape character and ecological health of the project.



March 21, 2025

Mr. Cameron Palmer AICP, MCIP-I
**City of Hollywood Development Services
Planning Division**
2600 Hollywood Boulevard
Hollywood, FL 33020

**RE: Memorial Regional Hospital OR Expansion
3501 Johnson Street Hollywood, Florida
TAC File # 24-DP-38
TAC Sign Off Review RAI Response Letter**

Dear Mr. Palmer,

Per comments from February 18, 2025 regarding the above-referenced project, we offer the following responses:

DIVISION OF PLANNING AND URBAN DESIGN, 24-DP-38 (Cameron Palmer, Principal Planner)

1. Denote location of waste management and service/loading areas. Are there changes required to these areas due to the increased floor area?

Response: Location of waste management and service/loading areas were confirmed during discussion with reviewer, this comment has been fulfilled.

2. Dimension the width of sidewalks within pedestrian movement areas along N 37th Ave, Hospital Drive, and N. 35th Street on the Site Plan.

Response: Per memo from reviewer on January 07, 2025, this is an advisory comment that was previously satisfied.

3. Include pedestrian facilities along N 37th Ave, Hospital Drive, and N. 35th Street, such as benches bicycle parking, pedestrian plazas, and covered shelters.

Response: Per memo from reviewer on January 07, 2025, this is an advisory comment that was previously satisfied.

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Code Enforcement
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Fort Lauderdale, FL 33316
Tel: 954.921.7781
Fax: 954.921.8807

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ENGINEERING (Azita Behmardi, Deputy Director Development Services)

- Comments to be provided through a separate memorandum.

Response: Acknowledged. Engineering Comments received from City of Hollywood on August 17th are incorporated into this RAI response letter below.

ENGINEERING, TRANSPORTATION AND MOBILITY DIVISION (Clarissa Ip / Alexander Barr / Adam Licht / Joan Shen)

- ALTA survey provided is only sealed, but not signed. Please provide signed and sealed survey.

Reviewer Response: COMMENT ADDRESSED

- Provide site data table showing site general information, existing and proposed conditions such as but not limited to land use, loading zones requirements and parking requirements. Be sure to show what is required and what is being provided for the project.

Reviewer Response: Comment partially addressed; Table on Site Plan SP-100 does not address Loading Space requirements and references a Resolution 17-DP-39 as the basis for required Parking. Please provide the recorded resolution within the plans. The parking required for the main hospital (Parcel II) per the resolution states a total 2682 with 45 ADA spaces. Sheet SP-100 shows 2680 stalls are provided which is 2 less than what was required. Confirm with Planning and Zoning that this reduction is acceptable.

Additionally, on Sheet SP-100, ADA Parking calculation states 20+1/100 spaces. If so, that translates to 47 required for ADA spaces, not 45 per the resolution. Table per the resolution is below. Please provide clarification.

EXISTING PARKING SPACES				
	REGULAR	SURFACE	HC	TOTAL
EMPLOYEE GARAGE	1408	---	16	1424
SURFACE	---	233	---	233
VISITORS	996	---	25	1021
TOTAL EXISTING	2404	233	41	2682
TOTAL CAMPUS SPACES: 3719				

PARCEL II (MEMORIAL REGIONAL HOSPITAL)				
		PARKING REQUIRED	EXISTING PROVIDED	PROPOSED
BEDS	713 BEDS	713 (1 SPACE PER BED)	---	0
OUTPATIENT AREA	74466 SF	373 (1 SPACE PER 200 SF)	---	0
---ER (50204 SF)				
---OUTPATIENT (8520 SF)				
---TREATMENT AREA (15341 SF)				
MEDICAL OFFICE BUILDING	80000 SF	320 (1 SPACE PER 250 SF)	---	0
TREATMENT AREA	34695 SF	174 (1 SPACE PER 200 SF)	---	0
TOTAL FOR PARCEL II (HAND)		1580 SPACES (25 HC)	2682 (45HC)	0 (0 HC)

PARCEL I (JOE DIMAGGIO CHILDREN'S HOSPITAL)				
		PARKING REQUIRED	EXISTING PROVIDED	PROPOSED
BEDS	58 BEDS	58 (1 SPACE PER BED)	48	0
OUTPATIENT AREA	38335 SF	192 (1 SPACE PER 200 SF)	2	0
ASSEMBLY AREAS	2539 SF	43 (1 SPACE PER 60 SF)	0	0
ADMINISTRATION AREAS	3080 SF	13 (1 SPACE PER 250 SF)	13	0
CONFERENCE CENTER BEDS	40 BEDS	60 (1 SPACE PER 1.5 BEDS)	32	0
SUBTOTAL		366 (3 HC)	103 SPACES (5 HC)	0 (0 HC)
EXECUTIVE OFFICE BUILDING	18389 SF	74 (3 HC) [1 SPACE PER 250 SF]	75 (3 HC)	0 (0 HC)
TOTAL FOR PARCEL I (HAND)		470 SPACES (11 HC)	179 (8 HC)	0 (0 HC)

TOTAL PARKING FOR PARCELS I AND II				
		PARKING REQUIRED	EXISTING PROVIDED	PROPOSED
		2,050 SPACES (32 HC)	3719 SPACES (49 HC)	0 (0 HC)

Response: As requested please find a copy of Resolution 17-DP-39. Per this resolution containing the overall campus parking table within the Joe DiMaggio Vertical Expansion Site Plan, the 2682 spaces reflect existing Parcel II Provided Parking, not Required Parking. The table reflected the inventory of all parking spaces at that time to demonstrate that there was sufficient parking provided on the overall campus to meet the demand of the Joe DiMaggio Vertical Expansion project. SP-100 reflects a reduction of 2 spaces in the Visitors Garage due to the proposed enabling plan circulation pattern, but accounts for the additional demand generated by this current Tower site plan by increasing the Parcel II Required Parking demand from 1580 spaces to 2164 spaces, still well below the Provided Parking of 2680 spaces on Parcel II. The Parking Table format on SP-100 has been tweaked to eliminate the confusion.

As to the ADA count, again the table in the Resolution and the current site plan represents a baseline inventory established for the review and approval of the Joe DiMaggio Vertical Expansion project in 2017 as well as any subsequent expansion projects. Since ADA is based on provided spaces rather than required spaces, and there is no increase in provided spaces, no additional ADA spaces are required or proposed.

As a significant number of patients and visitors who would use ADA spaces use the valet service, the 45 ADA spaces was previously deemed by staff to be acceptable for visitors and patients that self-park. No new loading spaces are proposed. All loading for the campus west of 35th Avenue utilizes the existing central loading area north of Johnson Street, east of 37th Avenue as depicted on Sheet A02.

Reviewer Response: Comment not addressed. Referenced Resolution 17-DP-39 not provided and not found in city record. Unable to complete review of this comment.

Response: Resolution 17-DP-39 referenced in previous responses was inadvertently omitted from the prior upload of documents and is included in this submittal. Further, the parking calculation has been refined on sheet SP-100 to clarify that the provision of 45 ADA parking spaces on Parcel II was established by said resolution. ADA spaces are based on the provided parking, not required parking. As demonstrated in the table, provided parking greatly exceeds the required parking even after the impact of the increased GFA for the proposed project.

Reviewer Response: Please confirm this was addressed.

Response: Please see the Resolution 17-DP-39 included in our resubmittal package.

3. Please label all roadways on all applicable sheets. (i.e. SP-100 to SP-400.)

Reviewer Response: COMMENT ADDRESSED.

4. Please fully dimensions all roadways, intersections, travel individual lanes, landscape islands, crosswalks sidewalks etc. Provide overall dimensions and identify all features proposed within the roadway.

Reviewer Response: Comment partially addressed, please provide dimensions in detail sheets as well and any other applicable sheets to show the changing features of the ROW. Additionally provide the dimension between the bollards along the valet area on Hospital Drive.

Response: Please see revised detail sheets or applicable sheet to show changing features of right of way and dimensions (5'-0" typ.) between bollards on SP-200 along the valet area on hospital drive.

Reviewer Response: Comment not fully addressed. Please note that travel lanes should have the same width from beginning to the end, based on FDOT Standards. Some of them are not correctly marked. Please add dimensions on all pavement markings, including distance between bollards. The sidewalk width should be at least 5 feet, not 4'9" at some locations.

Response: Per discussion with reviewer, plans have been updated showing sidewalk widths as 12'-2" with handicap accessible widths between columns.

Reviewer Response: Comment partially addressed. See marked up Sheet C10.

Response: Please see C10 Comment / Responses on pg.23 of 33 of this comment response letter.

Reviewer Response: Comment partially addressed. Modify Sheets C03 and C10 to move the FDOT curb ramps west, closer to the intersection of Hospital Drive and North 37th Avenue, thereby having only one stop bar for westbound traffic on Hospital Drive. Update Sheet C10 to show new garage openings onto North 37th Avenue and Garfield Street.

Response: A meeting with the reviewer is being requested to review existing field conditions in person. It is the EOR's opinion that by moving the FDOT curb ramps further west it would be creating an unsafe condition. This comment is not required to be addressed for FTAC, but a solution should be agreed upon by all parties.

5. Annotated dimensions on SP-200 do not appear correct. Please fully dimension the intersection and the individual travel lanes.

Reviewer Response: Comment not addressed, annotated dimensions along Hospital Drive do not appear correct. (Applicant calls out a 12-foot-wide travel lane, however there is a concrete island, that has been made part of the travel lane annotation.) Please clarify in plans.

Response: Please see revised sheet SP-200 which as updated annotated dimensions.

Reviewer Response: Comment not fully addressed. Some dimensions are not correctly showing on the plans. Please see attached comments on Sheet SP-200.

Response: Per discussion with reviewer, dimensions shown on SP-200 has been updated to show dimensions as annotated by City in redlined comments.

Reviewer Response: Comment not fully addressed, conflict in lane dimensions between SP- 200 & C10.

Response: Please see attached SP200 and C10 which dimension travel lane widths consistently.

Reviewer Response: COMMENT ADDRESSED.

6. Applicant is creating a new streetscape along the Southside of Hospital Drive, please identify all dimensions for the sidewalk and curb areas being proposed.

Reviewer Response: Comment not addressed, please provide sidewalk dimensions on overall plans and detailed sheets when applicable. If there is a change in the sidewalk width that point of change shall be dimensioned.

Response: Please see revised plan sheets which provide sidewalk dimensions, as requested.

Reviewer Response: Comment not fully addressed. Some locations' measurements are not showing on the plans. Please make sure to add all dimensions.

Response: Per discussion with reviewer, plans have been updated to show sidewalk widths at all sidewalk areas.

Reviewer Response: Comment not fully addressed, provide dimensions on Civil Plans.

Response: Please see attached civil plans sheet C10 which have been updated to show sidewalk widths at all sidewalk areas as requested.

Reviewer Response: Comment not fully addressed, provide dimensions on Civil Plans. See comment 4.

Response: Please see response to comment 4.

7. Applicant has several crosswalks shown on the plans. All crosswalks are to have detectable warnings on both sides where the ramp meets the roadway. Please show existing and proposed detectable warnings. (i.e. cross walk to corner plaza) and provide a standard detail (FDOT) for the proposed detectable warnings.

Reviewer Response: Comment not addressed, applicant has not shown existing and proposed detectable warnings at crosswalks/intersections and driveways.

Response: Please see attached plans showing locations of either existing or proposed detectable warning surface on both sides of crosswalk(s) where ramp meets the roadway. Additionally, please see the requested standard detail (FDOT) for the proposed detectable warning surface.

Reviewer Response: Comments not addressed. For example, east side of ADA ramp does not align with pedestrian crosswalk.

Response: Pedestrian crosswalk updated to align with ADA ramp, per conversation with reviewer.

Reviewer Response: Comment partially addressed. See marked up Sheet C10.

Response: Please see C10 Comment / Responses on pg.24 of 33 this comment response letter.

Reviewer Response: Comment partially addressed. Modify Sheets C03 and C10 to move the FDOT curb ramps west, closer to the intersection of Hospital Drive and North 37th Avenue, thereby having only one stop bar for westbound traffic on Hospital Drive. Update Sheet C10 to show new garage openings onto North 37th Avenue and Garfield Street.

Response: Please see response to comment 4.

8. Please identify the two existing overhead pedestrian bridges on the plans how is this incorporated into the new design of the building. What is the route from the parking garage to the proposed hospital via the existing overhead pedestrian crossings?

Reviewer Response: Comment not addressed; no information provided regarding these overhead existing pedestrian bridges and how they will be incorporated into the new design.

Response: Existing overhead pedestrian bridges will be demolished as part of this project. Pedestrians parking on the upper levels of either parking garage will use the elevators to go down to the ground level and walk across the street following the designated cross paths. Please refer to circulation diagram sheet A02-A for path.

Reviewer Response: COMMENT ADDRESSED on Sheet A02-A.

9. Provide ADA accessible routes are required between accessibility parking and building's Lobby access as well as an accessible route to the sidewalk in the public rights-of-way. For the accessible routes, identify any change in elevation or slopes. If there is no change in elevation, indicate on plans the transition is flush, label as such. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements.

Reviewer Response: Comment not addressed, no accessible routes identified, no note added to plans. Please address comment.

Response: Please see Architectural plans Sheet A02-A showing ADA accessible routes labeled between both proposed building and existing parking, and between proposed building and public rights-of-way. Additionally, see note added to Site Plan sheet SP-100 addressing tripping hazard ADA requirements within the limits of these ADA accessible routes.

Reviewer Response: Comments are not completely addressed. For example, change in elevation or slopes are not identified in the plan.

Response: Please reference sheet A02-A site plan – circulation diagram for added note 'Accessible route max. 5% sloped sidewalk'.

Reviewer Response: Comment not addressed, see previous comments in Blue.

Response: Per discussion with reviewer, ADA accessible route shown on sheet A02-A and note on site plan sheet SP-100 addresses this comment.

Reviewer Response: Comments are not completely addressed. See comment 7 to modify accessible route on Sheet A02-A (and any other appropriate sheets) due to relocated FDOT curb ramps and crosswalk at the intersection of Hospital Drive and North 37th Avenue.

Response: Please see response to comment 4.

10. Please show how ADA compliance is provided for the valet area on plans.

Reviewer Response: COMMENT ADDRESSED.

11. Applicant shows a ramp being proposed at the Employee Entry, please provide a detail of this ramp including but not limited to the slope, clear interior width between railings etc. Please show the ADA required turning radius at all landings.

Reviewer Response: Comment not addressed. Please show on sheet SP-200 where the ramp detail can be found to address the above comment and requested dimensions.

Response: Minimum dimensions and turning radius at landings were added to sheet A02 Architectural Site Plan. Additional clear width between railings is reflected in sheet A03 Level 01 Overall Floor Plan.

Reviewer Response: Comments not addressed. For example, ADA ramp on N 37 Ave is not perpendicularly facing pedestrian crosswalk, ADA ramp slope does not identify on the plan.

Response: Per discussion with reviewer, ADA ramp is acceptable for access to building via ramp. Refer to previous plan sheet references for requested details.

Reviewer Response: Comment sufficiently addressed for TAC sign-off, further review required at the time of permit review.

Response: Acknowledged.

12. Please provide an AutoTurn analysis for the new lane configurations. Include center, exterior and interior turning radii. i.e. Hospital Drive at 37th Avenue. This should accommodate buses.

Reviewer Response: Comment not addressed; No Auto Turn analysis provided for review.

Response: Please see revised Sheet C03, showing center / exterior / interior turning radii for Hospital Drive and 37th Avenue interior turning movement.

Reviewer Response: Comment not addressed; No Auto Turn analysis provided for review.

Response: Exterior (50'-0") and interior (30'-0") turning radii included on C03, as requested by fire department for fire truck are provided.

Reviewer Response: Comment not addressed; No Auto Turn analysis provided for review.

Response: As previously responded, please see sheet C03, which shows exterior / interior turning radii for Hospital Drive and N. 37th Ave turning movements per fire department truck movements.

13. Applicant shows two lanes identified as "Valet" please indicate the number of valet queueing spaces are being provided. Each space should be 8.5'x19'.

Reviewer Response: Comment not addressed, queuing space not shown on plans.

Response: Please see revised plans show number of valet queueing provided in valet lanes, as requested.

Reviewer Response: Comment not addressed. Comment not found to be shown on plans as stated in the applicant comment responses.

Response: Valet queueing spaces are shown on Site Plan sheets SP-100 and SP-200.

Reviewer Response: COMMENT ADDRESSED.

14. Identify all parking available for Valet in the site data table. Provide a Valet operation plan for review.

Reviewer Response: Comment not addressed, valet parking stalls not shown on table and no operation plan provided.

Response: MRH has adequate parking spaces available, and valet will operate as needed to accommodate visitors. All valet cars will park in a safe manner.

Reviewer Response: Comments are not completely addressed. For example, the valet operational plan is not included in the plan.

Response: CGA has been contracted to prepare the enabling plan which will address the issue of the proposed temporary valet area at the NW corner of Johnson & 35th Avenue. It is anticipated that this plan will be submitted by October 14th, 2024.

Reviewer Response: Comment not addressed. Valet operational plan for the hospital expansion built out not provided.

Response: See attached revised traffic study including valet operational plan for built out condition, as requested.

Reviewer Response: COMMENT ADDRESSED based on discussion with the applicant. Front/main entrance to the hospital has been expanded and redesigned to maximize queueing spaces for valet operation on Hospital Drive. Applicant has agree to adjust valet staffing as needed to achieve operational needs.

15. Please provide dimensions for all Back of House areas (i.e. Valet, Chapel, discharge pods etc.

Reviewer Response: Comment not addressed, please provide a plan showing the back of house areas dimensioned.

Response: Please refer to sheet A02 and A03 for level 01 plan dimensions. Additional floor plans with dimensions will be provided as part of the contract documents to be submitted for building permit.

Reviewer Response: Comment not addressed. Applicant comment responses states information shown on Sheet A02 and Sheet A03. However, plans unclear how the back of house area will operate and function to accommodate truck pickups and drop off for services such as garbage, linen, and deliveries. Further details to ensure ADA accessibility at the Main Entrance area, i.e. access and interaction between valet, chapel, and discharge pods area, is necessary.

Response: Per discussion with the reviewer this comment has been addressed.

Reviewer Response: COMMENT ADDRESSED.

16. Please identify if any trash chutes, laundry chutes etc. are to be proposed.

Reviewer Response: COMMENT ADDRESSED.

17. On Pavement Marking and Signage plans, provide a numbering system for all signs.

Reviewer Response: Comment not addressed; no numbering system has been provided on plans.

Response: The Pavement Marking and Signage sheet has been prepared using individual leaders detailing all proposed improvement. Please accept this method of plan preparation for the FTAC. If further clarification or detail is necessary, we can update plan sheets as needed.

Reviewer Response: Comments are not completely addressed. For example, some signs are not showing on the plan.

Response: Per meeting with reviewer, Pavement Marking and Signage Plan has been accepted with signs shown on plans.

Reviewer Response: COMMENT ADDRESSED, per meeting, for TAC sign-off. Further signage details will be required for construction plans at the time of building permit submittal.

18. On Sheet C10, please review double Valet lanes pavement markings, the lane reduction from two lanes to one lane is incorrect. i.e. For the merge arrow at the southern most valet lane please include the "MERGE" pavement marking.

Reviewer Response: Comment not addressed, additionally please dimension the length of this transition/merging area to ensure it meets requirements.

Response: Please see revised Sheet C10 showing "MERGE" pavement marking, as requested.

Reviewer Response: Comments are not completely addressed. For example, some dimensions between pavement markings are not showing on the plan. Please see comments in the attached plan Sheet C10.

Response: C10 has been updated to show dimensions as annotated by City in redlined comments.

Reviewer Response: Comment sufficiently addressed for TAC sign-off, further review required at the time of permit review.

19. Discrepancies exist for pavement markings and signage throughout plans between Sheet C10 and Sheet SP402, i.e. 37th Avenue and Hospital Drive.

Reviewer Response: Comment not addressed; applicant has valet pavement markings on Hospital Drive that are not shown on Site Plans.

Response: Please see updated Site Plan sheets (SP402 and C10) are references of each other and are consistent with regards to valet pavement markings on Hospital Drive.

Reviewer Response: Comments are not completely addressed. For example, valet pavement markings on SP 302, not on SP 402. Both A02 and A02-A need to be updated regarding valet pavement markings.

Response: SP-302 and A02/A02-A are now consistent.

Reviewer Response: Comments are not completely addressed. Pavement messages are shown on SP-302 but not on A02 or A02-A.

Response: See attached A02 and A02-A. Pavement messages match SP-302 as requested.

Reviewer Response: COMMENT ADDRESSED.

20. Pavement marking and traffic circulation needs to be further reviewed for 37th Avenue and Hospital Drive within the proposed work area.

Reviewer Response: Southbound on 37th at garage needs additional striping to clearly identify travel lanes during transition.

Response: Further coordination with reviewer will need to take place and any striping will be included.

Reviewer Response: No responses provided to the City's comments.

Response: C10 has been updated to show dimensions as annotated by City in redlined comments.

Reviewer Response: Comment sufficiently addressed for TAC sign-off, further review required at the time of permit review via enabling plan review and built out review.

21. Parking along the north westbound thru lane has historically been a concern for hospital traffic. Please demonstrate how this will be addressed.

Reviewer Response: Comment not addressed.

Response: No parking signs will be reinstalled, and security will enforce northern westbound thru lane historical concerns.

Reviewer Response: Comment not fully addressed. Applicant response states No Parking signs will be installed and security will enforce no parking signage. This issue should be addressed as part of the redesign of Hospital Drive. No Parking signs previously existed and was not functional for the needs of the hospital and its customers.

Response: No Parking signs will be installed and security enforced. The hospital believes this corridor will be a focus point for enforcement by the Security office and understands the functionality needs for its customers.

Reviewer Response: Comment partially addressed. No Parking signs are continuing to be provided for the referenced area of concern. However, with the proposed new configuration of the main entrance area with expanded pick-up/drop-off spaces, this issue can be monitored, please add note on plans.

Response: Please see note on plan sheet C10 identifying this issue to be monitored. Note states, "Security office shall monitor hospital drive on parking condition to maintain functionality needs for its customers."

Reviewer Response: COMMENT ADDRESSED.

22. Provide separate traffic impact studies to analyze the conditions the proposed temporary relocation of Hospital Main Entrance to 35th Avenue and at project built-out, post hospital expansion. Submit traffic study methodologies for each study for City review and approval prior preparing study.
- Temporary Hospital Main Entrance to 35th Avenue Condition: A methodology has been approved of this traffic study. Please confirm if there will be any modification necessary.

- Built-out, Post Expansion Condition: Provide methodology for review and approval. Traffic analysis should include items such as site access locations, trips generated by the project and all committed trips of future projects, trip distribution and impact to the roadway network. Provide a review of existing and future multimodal transportation impacts and needs. Include a review of existing and future transportation related improvements and amenities such as street and pedestrian lighting, bus shelter, bike facility and/or sidewalks. Include comparison of existing conditions and post expansion of added traffic and/or employees to the facility. Include review and analysis of hospital peak hours in addition to typical peak hours if applicable, i.e. 5am-5pm and 7am- 7pm shifts.
- Review the potential need for a traffic signal at the intersection of Johnson Street and access to the parking garages with the proposed expansion.
- Review overall campus pedestrian connectivity between garages, employee entrance and main entrance, i.e. sidewalk adjacent to oxygen farm is being used as access from newest garage to the main building. This requires review with architectural plans building access locations and traffic study for pedestrian connectivity and vehicular traffic circulation.

Traffic study reviews are done on a cost recovery basis by a City’s traffic engineering consultant. Please see information below.

CONSULTANT COST RECOVERY FEE TABLE

Traffic Transportation Related Cost Recovery Fees Table			
a) Administrative Processing Fee: 5% of Initial Deposit			
b) Initial Deposit and Minimum Balance:			
Project Size	Initial Deposit	Minimum Account Balance	Administrative Fee
Less than 10 Acres	\$5,000	\$1,000	\$250
10 Acres to Less than 30 Acres	\$8,000	\$1,600	\$400
30 Acres & Over	\$12,000	\$2,400	\$600

*Resolution R-2015-209.

A minimum payment of \$5,250 can be made to begin the review upon receipt of the study. Payments can be made online via link at <https://apps.hollywoodfl.org/PaymentCenter/EngineeringPayment.aspx>.

Here is information to be inputted when an online payment is made.

Application Type = Others

Permit # = Site Address

Payments to the Engineering, Transportation & Mobility Division

Questions about payments for Engineering, Transportation & Mobility services? Please call Customer Service at (954) 921-3900 for assistance.

On this page, you can make a one time credit card payment for Engineering, Transportation & Mobility services.

The screenshot shows a web form for making a payment. The first section, titled "Payment Amount", contains a label "Amount" followed by a dollar sign and a red rectangular input field. The second section, titled "Payment Details", contains three fields: "Application Type" with a dropdown menu showing "-- Select One --", "Permit #", and "Notes", each with a corresponding input field.

Notes = Traffic Review Cost Recovery Fee

Reviewer Response: Pending. Traffic study received. Please submit payment for traffic engineering consultant to begin review. Traffic study received at Final TAC was not signed and sealed by the engineer. Engineer signed and sealed traffic study will be required.

Response: Payment was remitted on 07/26.

Reviewer Response: Traffic study received. However, above comments have not been addressed and payment for third party traffic study review has not been received. Additional traffic study comments attached.

Response:

Reviewer Response: Comments are not addressed. No traffic study (for proposed expansion built-out and temporary/enabling) and no valet operation plan (Comment 14) were submitted with this submittal. No temporary/enabling and valet operation plan were ever received. Built-out traffic study comments were provided on August 6, 2024, please address comments and resubmit.

Response: Please see the attached traffic study for enabling phase of project.

Reviewer Response: Comments are not addressed. No traffic study (for proposed expansion built-out).

Response: OR Expansion Tower Traffic Study provided to City and attached for reference, as requested.

23. Provide anticipated construction schedule with construction phasing/operation plan and staging location/plan. In each phase, please indicate items such as but not limited to estimated duration of each phase, location of construction work zones/areas that will be closed off, construction fence location, vehicular traffic access areas, pedestrian access areas/sidewalks, construction truck routes and location of covered pedestrian walk paths/sidewalks.

Reviewer Response: Comment not addressed.

Response: Please see attached schedule and construction operational plan.

Reviewer Response: Comments are not completely addressed. For example, pedestrian access areas/sidewalks, and construction truck routes are missing.

Response: Construction schedule of phasing/operation plans will be prepared by the Contractor. It is anticipated that this schedule will be submitted by October 14th, 2024.

Reviewer Response: Comment not addressed. Construction schedule of phasing/operation has not been provided.

Response: See attached Memorial Site Logitics plan provided by the contractor, Robins & Morton.

Reviewer Response: COMMENT ADDRESSED.

24. In previous discussions, traffic circle at Garfield Street and 35th Avenue will be removed temporarily during construction, please provide plans to show a) current existing traffic circle, b) after removal of traffic circle/temporary layout and c) full traffic circle reconstruction. Please include all stormwater inlets protection and pavement marking plans for each phase.

Reviewer Response: Comment not addressed.

Response: Garfield St. and N 35th Ave. improvements will be submitted under separate cover and restored to existing conditions. All SWPPP and PMS associated with temporary traffic circle will be included in a separate package.

Reviewer Response: Comment not addressed. Documents indicated in applicant's response letter were not found in the submittal.

Response: CGA has been contracted to prepare a separate Enabling Plan that will address this issue and will be submitted by October 14th, 2024.

Reviewer Response: Comment not addressed.

Response: Please see attached enabling plans showing current existing traffic circle and removal/temporary layout for project. Full traffic circle reconstruction plan shall be provided in subsequent submittal prior to PDB approval.

Reviewer Response: Comment not addressed. Full Traffic Circle Reconstruction Plans required prior to TAC sign-off

Response: OR Expansion Enabling Plans showing traffic circle restoration plans provided to City and attached for reference, as requested.

25. Public outreach to be held in advance for residents' feedback regarding traffic and neighborhood impacts will be required. Timing to be determined based on project construction schedule.

Reviewer Response: To be provided.

Response: Public outreach meeting was held on June 25, 2024. The residents in attendance seemed to understand the project. No major objections were raised. Proposed traffic pattern during expansion was explained. An additional meeting can be held if needed.

Reviewer Response: Please provide documentation, i.e. sign-in sheet, for the June 25, 2024, public outreach event referenced in the applicant's response letter.

Response: Documentation provided to reviewer by legal counsel on 8/19/24.

Reviewer Response: COMMENT ADDRESSED, continued impact to the public will be required to be provided.

26. Maintenance of Traffic (MOT) plans will be required.

Reviewer Response: To be provided.

Response: Maintenance of Traffic (MOT) plan will be submitted by the Contractor following project award.

Reviewer Response: To be provided.

Response: Acknowledged.

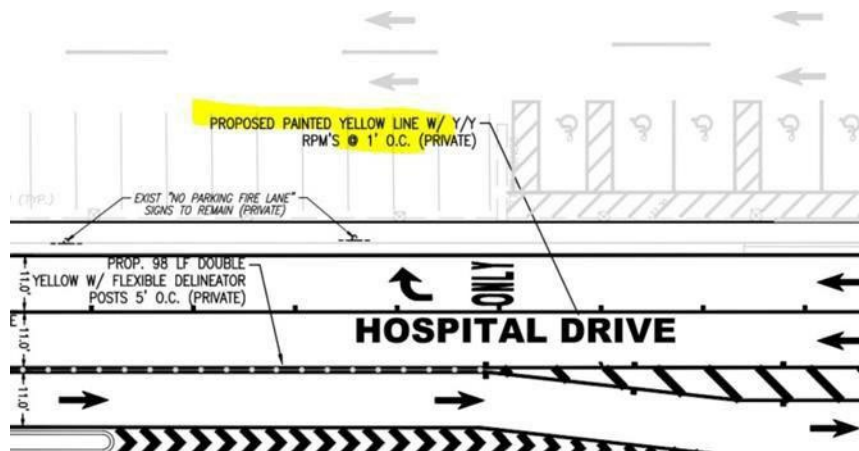
Reviewer Response: To be provided.

Response: Acknowledged.

27. Provide index sheet for the plan set.

Reviewer Response: COMMENT ADDRESSED.

28. Sheet C10, please remove call out for yellow pavement marking on Hospital Drive.



Reviewer Response: Comment not addressed; additionally this line has two call outs, one call out claiming to be painted white with RPM @ 20' O.C. while another calls out for the same line to be painted yellow line with RPM @ 1' O.C.. Please clarify in plan and ensure these call outs are pointing to the correct lines.

Response: Please see revised plan sheet C10 showing correct call outs for the corrected lines.

Reviewer Response: Comment not fully addressed. Please see markups and comments on attached plan Sheet C10.

Response: C10 has been updated to show dimensions as annotated by City in redlined comments.

Reviewer Response: Comment sufficiently addressed for TAC sign-off, further review required at the time of permit review.

29. On Sheet C02, Demolition Plan, please include curbing on the north side of Hospital Drive as new F curbing are shown to be constructed on paving and drainage plan. In addition, detail out the demolition required for the pedestrian ramp to the garage.

Reviewer Response: COMMENT ADDRESSED.

30. All outside agency permits must be obtained prior to issuance of City building permit.

Reviewer Response: To be provided.

Response: Acknowledged. Broward County SWM Modification and Sewer Collection / Transmission permits will be provide to City of Hollywood prior to City building permit

issuance.

Reviewer Response: To be provided.

Response: Acknowledged.

Reviewer Response: To be provided.

Response: Acknowledged.

- 31.** All pavement marking, signage, and traffic control devices within City rights-of-way requires review and approval from Broward County Traffic Engineering Division.

Reviewer Response: To be provided.

Response: Please see attached email from Carmello Caratozzolo at Broward County Traffic Engineering Division (BCTED), stating that due to the project pavement marking, signage and traffic control devices being installed only within private property, BCTED will not approve plans for private developments.

Reviewer Response: To be provided.

Response: Acknowledged.

Reviewer Response: See attached BCTED Acceptance Letter for the Enabling Phase ROW improvements.

- 32.** This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

Reviewer Response: COMMENT ADDRESSED per applicant response.

More comments may follow upon review of the requested information.

***** JUNE 30, 2024 FINAL TAC NEW COMMENTS*****

- 33.** Please clarify on plans if any work is proposed in the Existing parking garage. Plans indicate all garage entrance/exists are existing, however these entrances do not match what is existing today, additionally the pavement markings on the east side of the garage and the circulation for the garage appears to have been changed; however, this is not included in the limits of work or the pavement marking plans. Please clarify and provide an accurate plan to what exists today or increase the scope of work to be inclusive of these additional changes to the existing garage.

Response: No work is being proposed for the Existing parking garage as a part of this expansion. Plans have been updated to remove indications of any work proposed.

Reviewer Response: Comment not fully addressed. Per applicant, no work is being proposed for the existing parking garage as part of this expansion. However, for example, Sheet C02, Demolition Plan, show existing ramps at existing garage connecting to Hospital Drive to be remove. With the new Hospital Drive redesign, improvements at the existing garage are necessary. Sheet C03 currently shows improvements appears to be ramps on Hospital Drive that conflicts with existing parking in the garage. All areas along the redesigned Hospital Drive should be reviewed for compatibility with existing conditions to the north and all surrounding areas.

Response: While the site plan does not include the guest parking garage, CGA has been contracted to prepare and submit an Enabling Plan to the city engineer which will address the off modifications during the next few years. It is anticipated that this enabling plan will be submitted by October 14th, 2024.

Reviewer Response: Comment not addressed.

Response: Please see attached OR Expansion Enabling plans showing improvements to parking garage and pavement markings prior to the closure of hospital drive and construction of the tower.

Reviewer Response: COMMENT ADDRESSED in Enabling Package, which will be completed prior to the issuance of the Vertical Building Permit.

34. Please see the revision procedure comment at the start of this document. Please follow these procedures on the next submittal.

Reviewer Response: Applicant acknowledged.

35. On Sheet C10, applicant does not show the bus stop pavement markings, it appears the bus stop near the Main Entrance has been removed. Please confirm the bus stop was for employee shuttles only (not Broward County Transit related) and indicate the new bus stop location. Please provide full dimension for the proposed bus stop area on plans and types of buses will be stopping at the location to ensure adequate space for a bus to safely be parked for passenger drop-off/pick up. Please provide supporting information (i.e. Auto turn).

Reviewer Response: COMMENT ADDRESSED on Sheet C03.

TRAFFIC (Joaquin E. Vargas, Traf Tech Engineering, Inc. Reviewer)

1. Please provide a response-to-comments letter with the revised report.

Response: Acknowledged.

2. Figure 2 – The northbound and southbound approaches of the intersection of N Park Road/Garfield Street should be revised to include one shared left-turn/through lane plus one shared through/right-turn lane. The left-turn movement is missing, and it is an allowed movement.

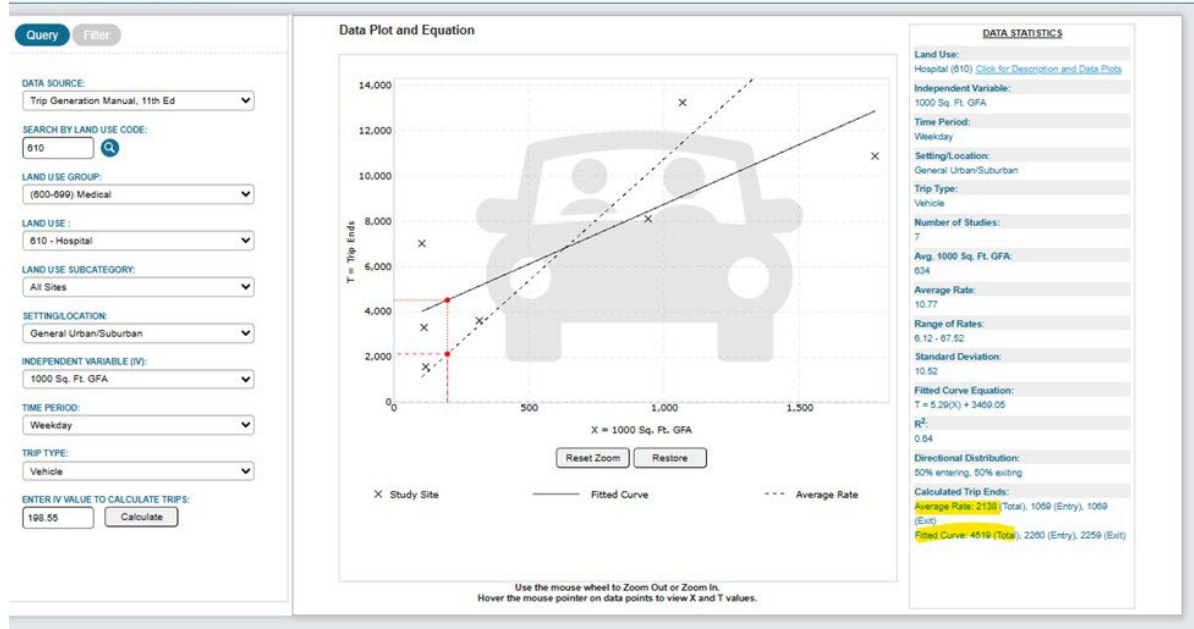
Response: Revised. See updated Traffic Study attached.

3. The statement in the report “24-hour turning movement counts” should be replaced with “8-hour turning movement counts (6AM-10AM and 4PM to 8PM)”.

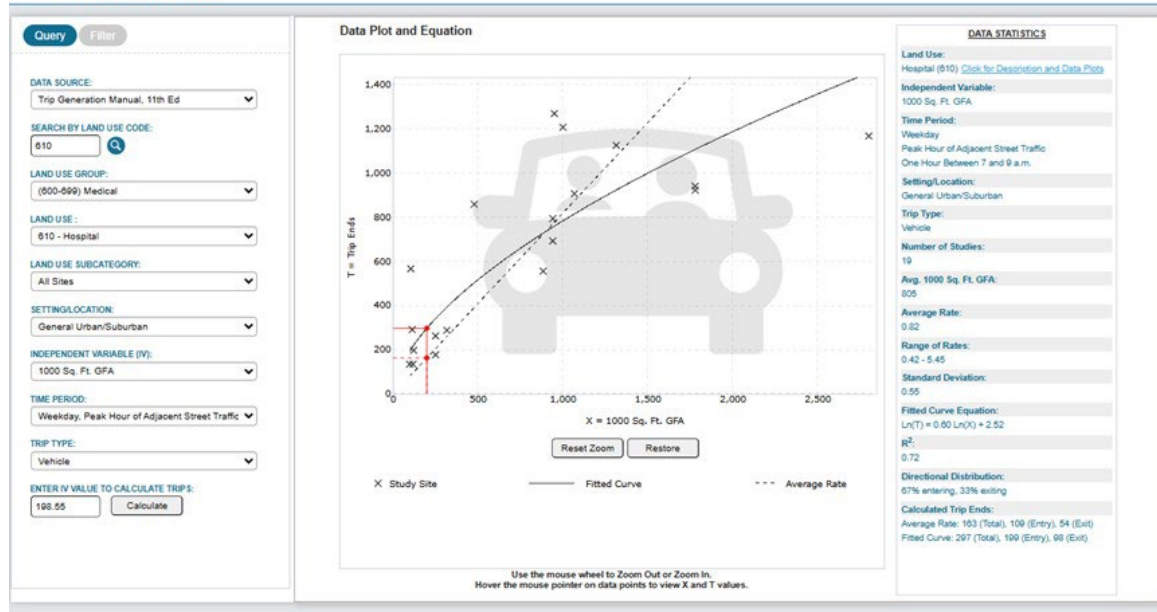
Response: Revised. See updated Traffic Study attached.

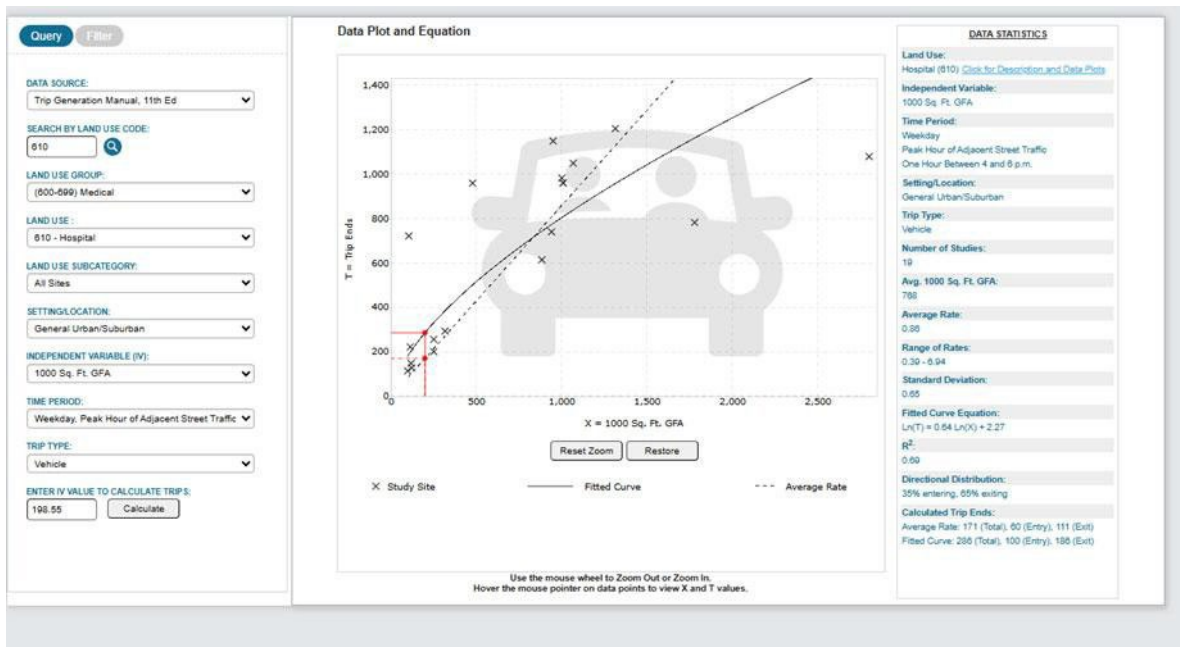
4. Table 1 – Trip Generation: The trip rate was used to calculate the trips associated with the proposed hospital expansion. Please explain why the rate was selected as opposed to the fitted curve equation. Refer to daily, AM and PM peak hour comparison graphs:

Graph Look Up



Graph Look Up





Response: According to ITE Trip Generation Handbook, 3rd Edition (p. 26): “Use Average rate when: The data plot has at least three data points and the R2 value for the fitted curve is less than 0.75”. All three R2 values for daily, AM and PM peak are below 0.75, hence we have used the average rate.

5. Please include a figure showing project trip distribution within the transportation network. Inbound and outbound trips.

Response: Please see attached revised Traffic Study, which has been modified to include requested figure showing project trip distribution within the transportation network as Appendix H of the report.

6. Appendix E – The worksheets associated with the PM peak hour have the wrong label (AM), change to “PM” (pdf Pages 103 to 106).

Response: Revised. See updated Traffic Study attached.

7. The traffic study only evaluated the traffic impacts associated with the proposed expansion of 198,550 square feet. The following items have not been addressed:

- a) Temporary Hospital Main Entrance to 35th Avenue.

Response: A separate study is being prepared for the Temporary Main Entrance and will be submitted once the entrance is permitted.

- b) Analysis of hospital peak hours in addition to typical peak hours if applicable, i.e. 5am-5pm and 7am-7pm shifts.

Response: Following our meeting with the City officials and the agreed-upon methodology (attached in Appendix A), the data collection timing for the traffic count was established.

- c) Evaluation of the need for a traffic signal at the intersection of Johnson Street and access to the parking garages with the proposed expansion.

Response: A separate study is being prepared to evaluate the need for a traffic signal at the intersection of Johnson Street and the access to the parking garages in relation to the proposed expansion.

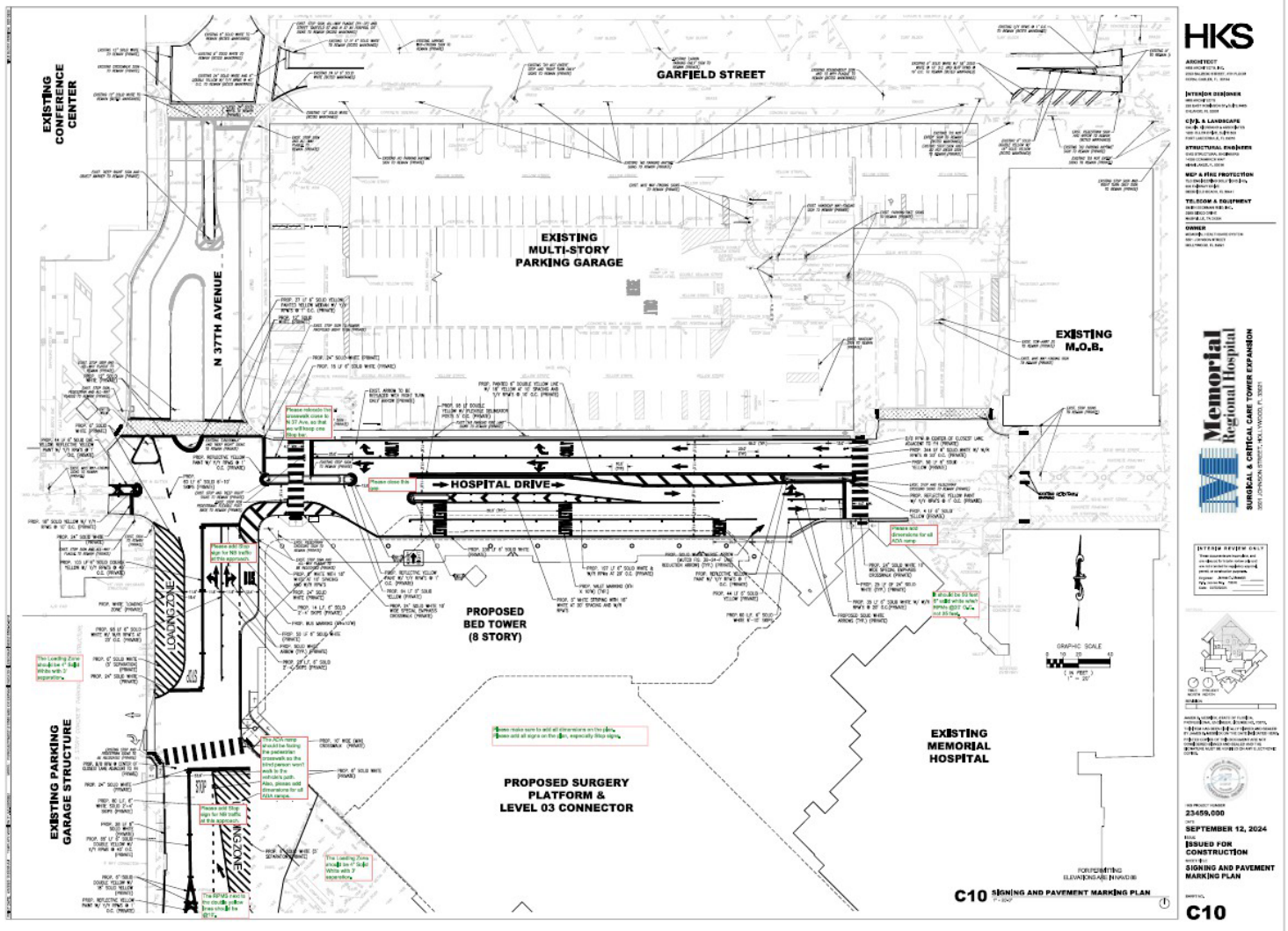
- d) Documentation of overall campus pedestrian connectivity between garages, employee entrance and main entrance, etc.

Response: The documentation of overall campus pedestrian connectivity, including the pathways between garages, employee entrances, main entrances, and other key areas, is not included within the current scope of work for the traffic engineering services. The architect has prepared a circulation diagram (A-02A), attached with document.

- e) Existing and future transportation related improvements and amenities such as street and pedestrian lighting, bus shelter, bike facility and/or sidewalks.

Response: The Interlocal Agreement (ILA) establishes these improvements in the 'Summary of Transportation Related Improvements by Phase', which was last revised in the 2009 1st Amendment. MRH has completed ALL improvements listed and is not proposing to amend the ILA to add any other transportation related improvements this time (2009 modification to ILA attached).

FOR REFERENCE – December 3, 2024 Review Comments

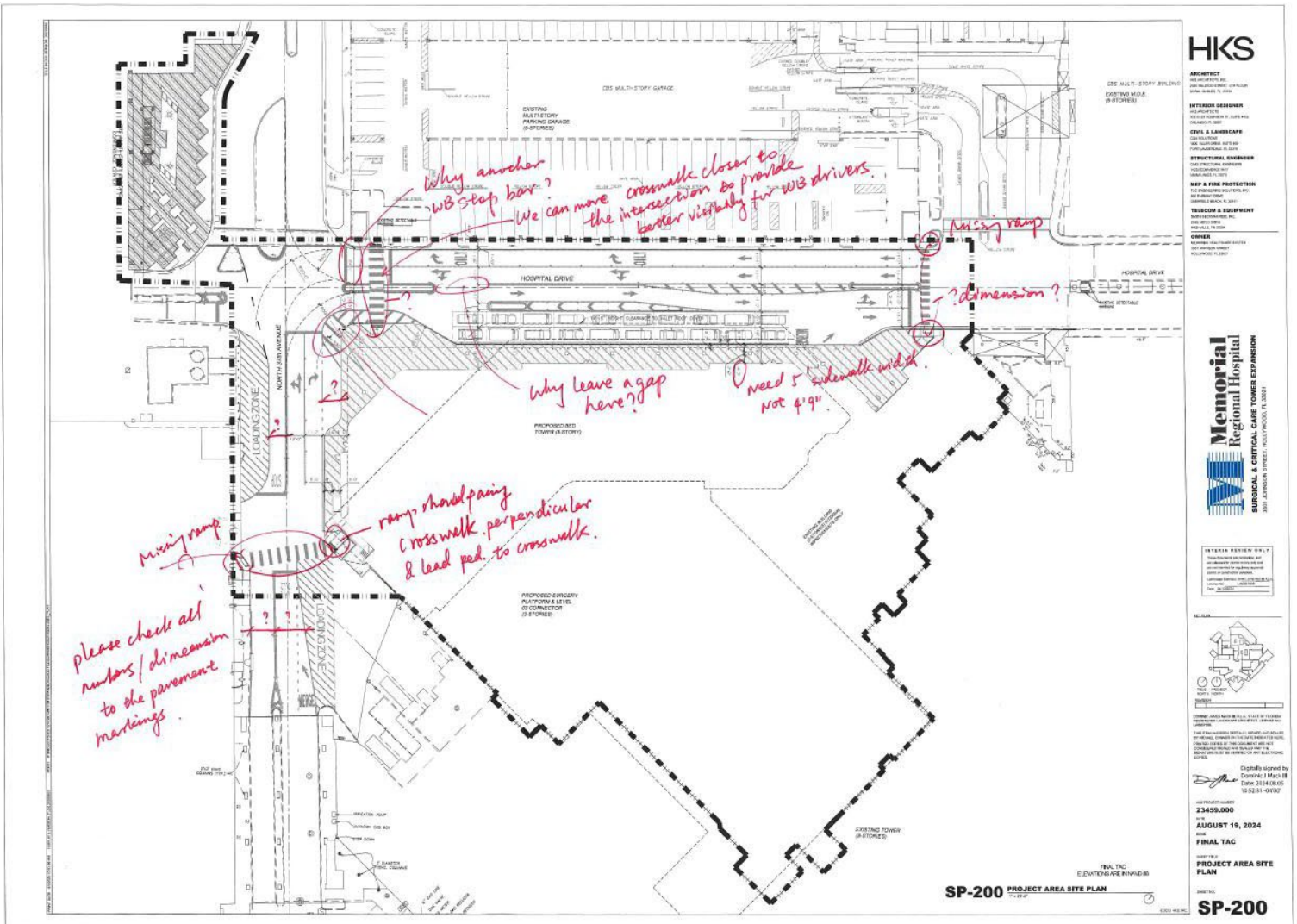


C10 Comment & Responses:

1. Please relocate the crosswalk close to N 37 Ave, so that we will keep one stop bar.
CGA Response 12/18/2024: Please note that moving the crosswalk closer to N 37 Avenue wouldn't allow to meet ADA requirements as the space available between the curb and the parking building does not allow to accommodate the ramp and the landing with the appropriate slope. Additionally, the stop bar closer to the crossing is 44 ft away from the travel way along N 37 Ave, removing the stop bar closer to the intersection might result in unsafe conditions for users.
2. Please close this gap.
CGA Response 12/18/2024: Please clarify which gap the comment refers to.

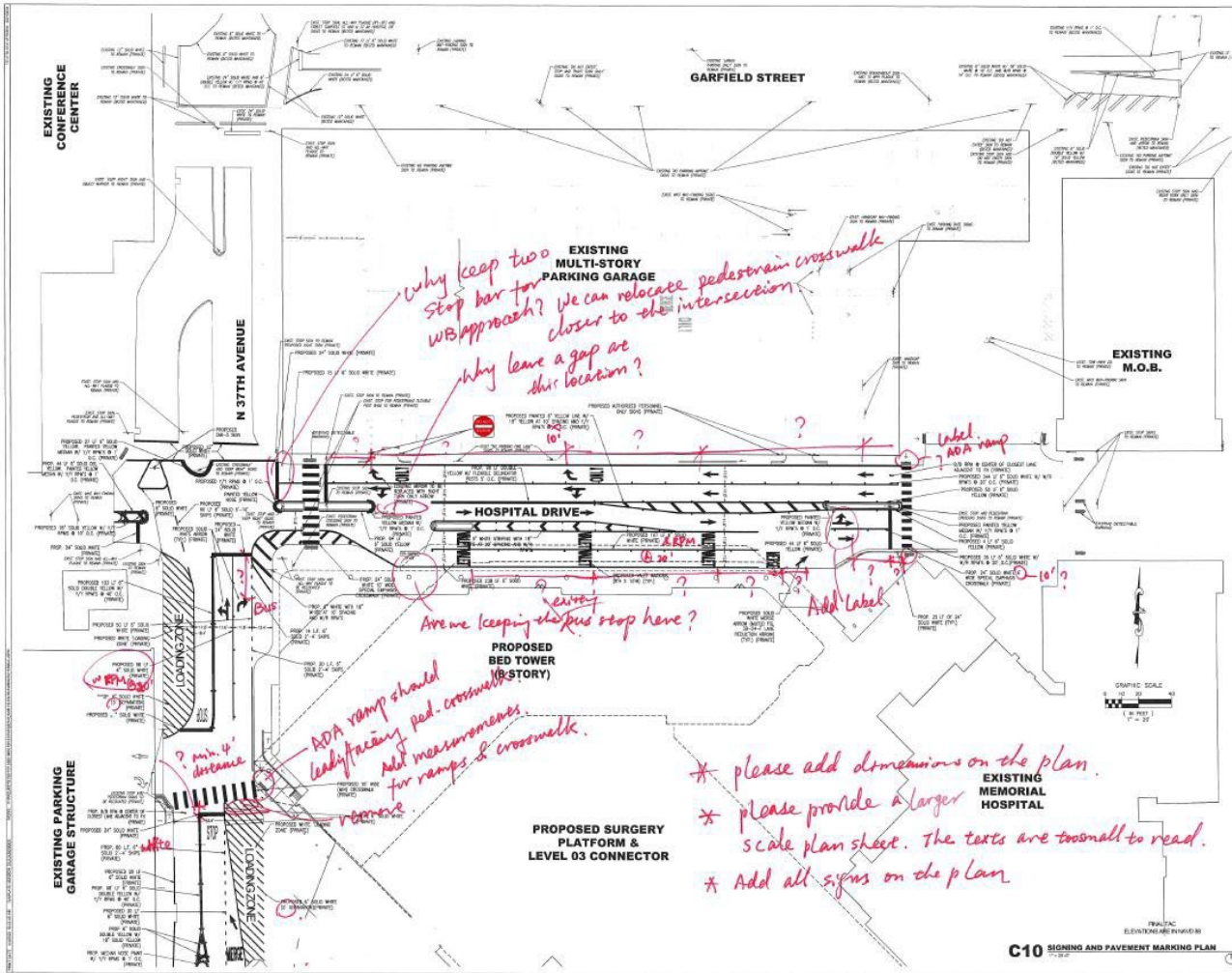
3. Please add dimensions for all ADA ramps.
CGA Response 12/18/2024: Noted. Dimensions will be added to the ramps.
4. It should be 50 feet 6'' solid white w/w/r RPMs @ 20' O.C., not 35 feet. **CGA Response 12/18/2024: Please note that a 50' lane would interfere with the operation of the merging lanes from the valet.**
5. Please add Stop sign for the NB traffic at this approach.
CGA Response 12/18/2024: Please note that the existing stop sign, and supplemental plaque will be relocated. Please see 'Exist. Stop Sign and All-Way Plaque to be relocated (Private)' callout.
6. The Loading Zone should be 4'' Solid White with 3' separation.
CGA Response 12/18/2024: Noted. Pavement Markings for the Loading Zone will be changed to 4'' Solid White with 3' separation.
7. The ADA ramp should be facing the pedestrian crosswalk so the blind person won't walk to the vehicle's path. Also, please add dimensions for all ADA ramps.
CGA Response 12/18/2024: Please note that modifying the landing orientation of the ramp would result in an impediment into loading area's egress lane. Truncated domes of detectable warnings will align with pedestrian crosswalk orientation to meet ADA requirements. Dimensions will be added to the ramps.
8. Please add Stop sign for NB traffic at this approach.
CGA Response 12/18/2024: Please note that the configuration of the lane and the adjacent loading zone do not allow the installation of a stop sign near the stop bar. As such, a R1-6a sign (STOP FOR PEDESTRIANS WITHIN CROSSWALK) will be added.
9. The Loading Zone should be 4'' Solid White with 3' separation.
CGA Response 12/18/2024: Noted. Pavement Markings for the Loading Zone will be changed to 4'' Solid White with 3' separation.
10. The RPMs next to the double yellow lines should be @ 10'.
CGA Response 12/18/2024: Please note that FDOT Index 700-001 requires RPMs to be spaced at 40' for double solid lines. A 10' spacing is used for traffic separators.
11. Please make sure to add all dimensions of the plan. Please add all signs on the plan, especially Stop signs.
CGA Response 12/18/2024: Noted. Dimensions and signs will be added to the plans.

FOR REFERENCE



FOR REFERENCE

Phase VII



HKS

ARCHITECT
INTERIOR DESIGNER
CIVIL & LANDSCAPE
STRUCTURAL ENGINEER
MCP & FIRE PROTECTION
TELEPHONE & EQUIPMENT
OWNER

Memorial Regional Hospital
SURGICAL & CRITICAL CARE TOWER EXPANSION

EXTERIOR REVIEW ONLY



23450-000
AUGUST 19, 2024
FINAL TAC

SIGNING AND PAVEMENT MARKING PLAN

C10 SIGNING AND PAVEMENT MARKING PLAN

C10

LANDSCAPING (Favio Perez, Landscape Reviewer)

**** NEW COMMENTS 3/03/25 – Pending Sign Off****

1. Provide root barriers for Oak trees #01 and #03 to be relocated.

Response: See attached plan sheet L-401, which shows root barriers and Oak trees #01 and #03 in their new locations, as requested.

2. Relocate Oak trees #10 and/or #23 to planting area on East corner in lieu of new proposed tree. Provide root barriers as needed.

Response: See attached plan sheets LD-002 and L-100 which show the relocation of Oak tree #10 to planting area on east corner in lieu of new proposed tree. Root barriers have also been provided, as requested.

3. Adjust mitigation calculations as needed after adding relocation.

Response: See updated mitigation calculations on sheet LD-001 showing updates per requested plan revisions.

**** OLD COMMENTS****

1. Revise mitigation chart as follows: Jatropha is undersize, no mitigation required. Pygmy palm does not require mitigation. There are (8) sabal palms marked on list, change disposition to relocate and show in open spaces/ around parking garage as available.

Reviewer Response: COMMENT SATISFIED

2. Provide relocation notes/details for sabal palms.

Reviewer Response: COMMENT SATISFIED

3. Provide DBH specifications for the proposed Dahoon Holly on plant list.

Reviewer Response: COMMENT SATISFIED

4. Relocate two of the proposed Live Oaks for removal into the new proposed plaza instead of new oak trees, adjust the proposed benches as needed for the relocated trees. Recommend T1, T3, T6, T10 or T23 depending on condition. Provide relocation notes/details as needed.

Reviewer Response: COMMENT SATISFIED

5. On sheet L-100, adjust viewport to show all landscape areas planned. Shift plan to the right in order to show plaza area.

Reviewer Response: COMMENT SATISFIED

6. On landscape plan show all easements and underground utility lines.

Reviewer Response: COMMENT SATISFIED

7. Revise mitigation calculations on sheet LD-001 as per city code.

Reviewer Response: COMMENT SATISFIED

8. Mitigation calculations for payment chart are not adding up. Review units and cost totals.

Response: Mitigation calculations updated.

Reviewer Response: COMMENT SATISFIED

9. Removed 'no trees' for relocation note, #1 on sheet LD-001.

Response: Note added to LD-001.

Reviewer Response: COMMENT SATISFIED

10. Plant list and landscape plans are not matching, see sheet L-401.

Response: See attached Landscape Plans which have been corrected, as requested.

Reviewer Response: COMMENT SATISFIED

11. Revise plant list on sheet L-001 to match the proposed landscape plans. More comments may follow upon review of the requested information.

Response: See attached Landscape Plans which have been corrected, as requested.

Reviewer Response: COMMENT SATISFIED

12. More comments may follow upon review of the requested information.

Response: Acknowledged.

Reviewer Response: COMMENT SATISFIED

UTILITIES (Alicia Vereas-Feria, Floodplain Development Review Administrator)

**** OLD COMMENTS ****

1. Include water and sewer demand calculations on Utilities Plan.

*Reviewer Response: COMMENT PARTIALLY ADDRESSED: Note added onto Utility Plan Sheet C06 states 'Water and Sewer demands for this project have been calculated by the MEP Engineer to be 430 GPM', but no calculations were shown to substantiate. Please clarify if this is only for the addition. Verify $430 \text{ GPM} = 619,200 \text{ GPD}$. ***

Response: Building expansion water consumption is estimated at an average of 450 gallons per minute. Calculation is based on plumbing fixture units accounting for usage diversity. The building expansion air conditioning is estimated to increase cooling tower make up water consumption by approximately 50 gallons per minute. Combined average consumption increase is estimated at 500 gallons per minute. See attached Building Expansion Water Consumption Calculations to substantiate demand calculations.

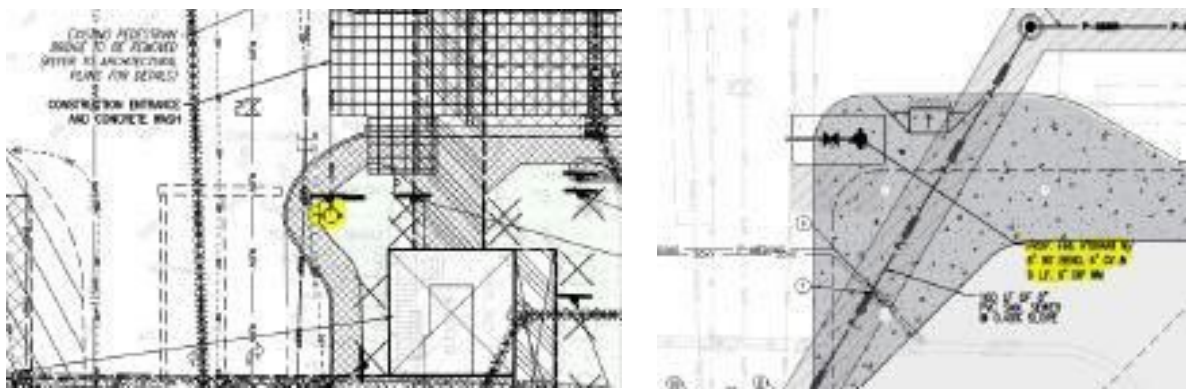
Reviewer Response: COMMENT PARTIALLY ADDRESSED. Revised note on Utility Plan Sheet C06 states 'Water and Sewer demands for this project have been calculated by the MEP Engineer to be 500 GPM.' Please provide calculations in GPD-gallons per day based on usage.

Response: Please see attached C06 with updated demand calculation note of 104 GPM, which is based on Broward County sewer flow demand for the applicable use of the project.

Reviewer Response: COMMENT PARTIALLY ADDRESSED. Revised note on Utility Plan Sheet C06 states 'PEAK WATER AND SEWER DEMANDS FOR THIS PROJECT HAVE BEEN CALCULATED TO BE 104 GPM.' Please provide calculations in GPD-gallons per day based on usage type.

Response: Please see attached Utility Plan sheet C06 which has been updated to provide calculations in GPD as requested based on the hospital per bed usage type per Broward County Code of Ordinance Chapter 27 Sec. 27-201.- Design Flow Table: Hospitals and nursing homes, which indicates a sewer flow of 210 GPD per bed space. $210 \text{ GPD/bed} * 150 \text{ beds} * 4 \text{ (peaking factor)} = 126,000 \text{ GPD}$.

2. Clarify if existing fire hydrant shown on Sheet C02 is being removed since a new hydrant is proposed on Sheet C06.



Reviewer Response: COMMENT ADDRESSED. Revised Utility Plan Sheet C06 states that existing Fire Hydrant is to be removed. The proposed Fire Hydrant that was shown on original Utility Plan Sheet C06 has been relocated next to Existing Parking Garage Structure.

3. Provide labels, rim and invert elevations for the three new private sanitary sewer manholes shown on Sheet C06.

Reviewer Response: COMMENT ADDRESSED.

4. Verify the proposed Finished Floor Elevations (FFE). Sheet A02 shows Popo. FFE = 12.90' NAVD88. Sheet C03 indicates Prop. FFE = 12.60' NAVD88. Please revise to match.

Reviewer Response: COMMENT ADDRESSED. Both sheets show proposed FFE = 12.75' NAVD88.

5. Clarify Finished Floor Elevation (FFE) for all enclosed areas on the ground floor on Sheet A03.

Reviewer Response: COMMENT NOT ADDRESSED

Response: All enclosed areas on the ground floor are at 12.75' NAVD designated in the drawings as 100'-0". For reference we added an elevation mark at all entry doors and general note number 01. Please refer to sheet A03.

6. Provide perimeter cross-section across project limits across N 37 Ave and Hospital Blvd to show stormwater runoff will remain onsite and transition areas will match adjacent property grades.

Reviewer Response: COMMENT NOT ADDRESSED

Response: Please see attached plan sheet C5B, showing proposed cross-sections across N 37th Avenue and Hospital Drive to how stormwater runoff will remain onsite and match adjacent property grades.

7. Refer to Sheet C05 for Exfiltration Trench Details, not Sheet C04.

Reviewer Response: COMMENT ADDRESSED.

8. Specify material for perforated pipe within exfiltration trenches.

Reviewer Response: COMMENT PARTIALLY ADDRESSED: Exfiltration Trench detail on sheet C05 shows 18” perforated HP for pipe material, but plans show proposed 24” perforated RCP. Ensure detail matches what is shown on plan.

Response: Please see updated detail on sheet C05, which is now consistent with Paving, Grading and Drainage Plan sheet C03, as requested.

9. Provide preliminary drainage calculations including pre and post development ensuring all stormwater is retained onsite.

Reviewer Response: COMMENT PARTIALLY ADDRESSED: PLEASE PROVIDE SIGNED/SEALED DRAINAGE CALCULATIONS.

Response: See attached drainage calculations including Pre-vs-post stages ensuring all stormwater is retained on site.

10. Indicate how roof drainage will be collected and connected to the on-site drainage system.

Reviewer Response: COMMENT NOT ADDRESSED

Response: Please see sheet C03 showing two (2) proposed rainwater leader connections to proposed building and reference to MEP Plans for continuation.

Reviewer Response: COMMENT PARTIALLY ADDRESSED. Although 18” HP storm pipes are shown on plans, please add note indicating connection to roof drain.

Response: See sheet C03 indicating connection to roof drain on both 18” HP storm pipe leaders.

11. Permit approval from outside agencies will be required.

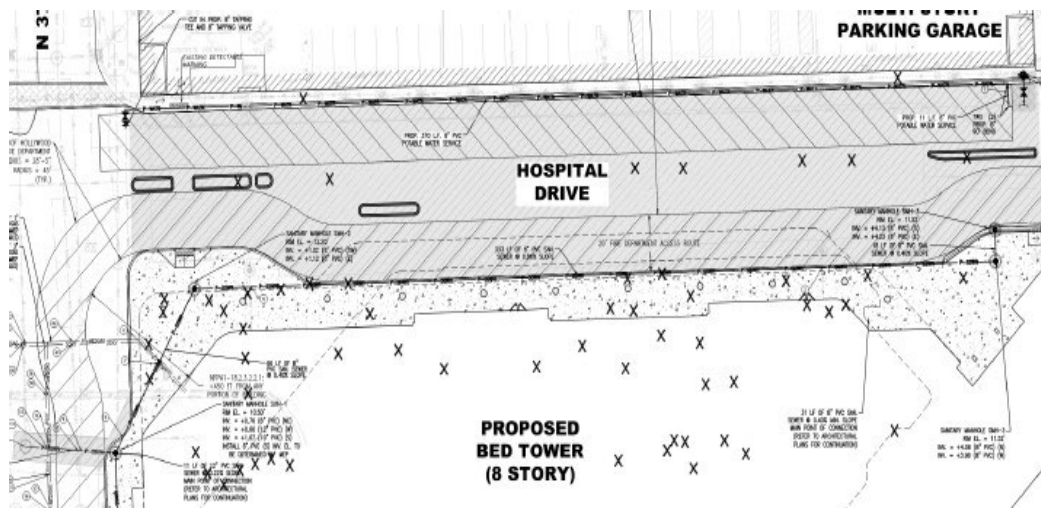
Response: Acknowledged.

12. Additional comments may follow upon further review of requested items.

Response: Acknowledged.

**** NEW COMMENTS ****

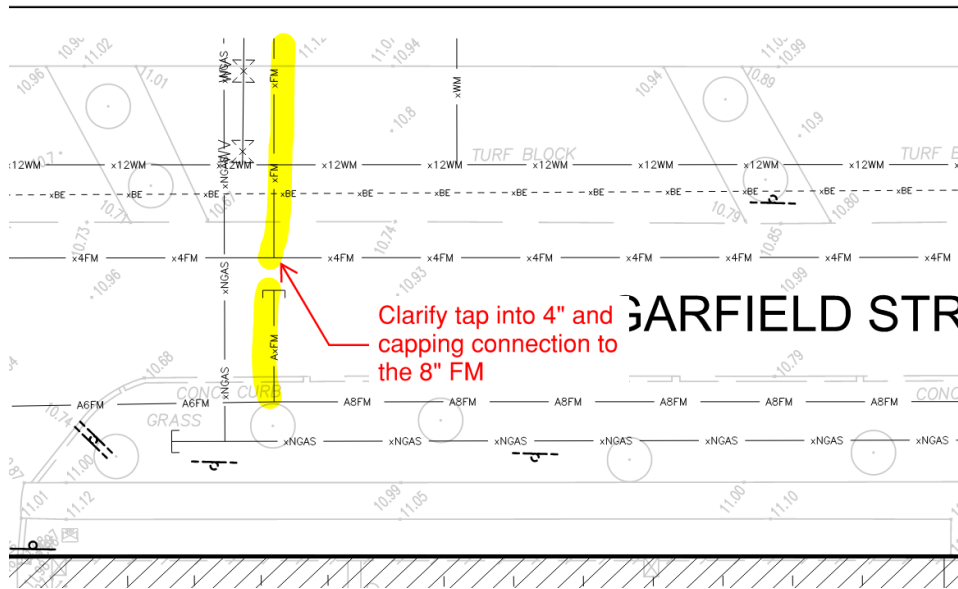
1. Sheet C-6: Verify layers to be displayed.



We are available to discuss further, at your convenience, should you have any questions, comments or concerns.

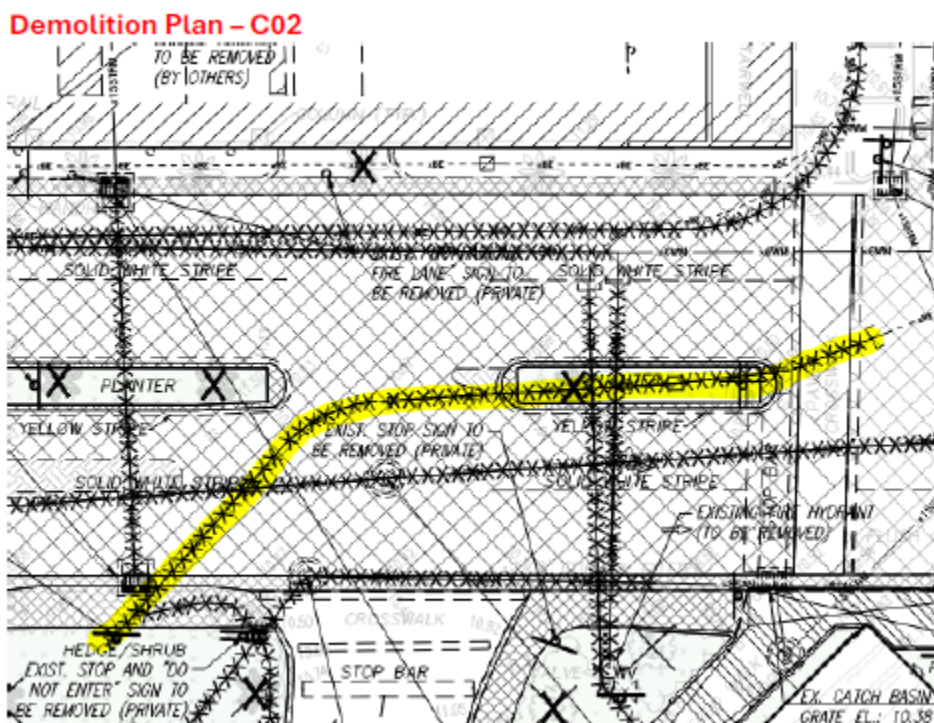
Response: See sheet C06 which has been revised to clean up layer issue.

A. Sheet C-02: Clarify FM capping along Garfield Street per snapshot below.

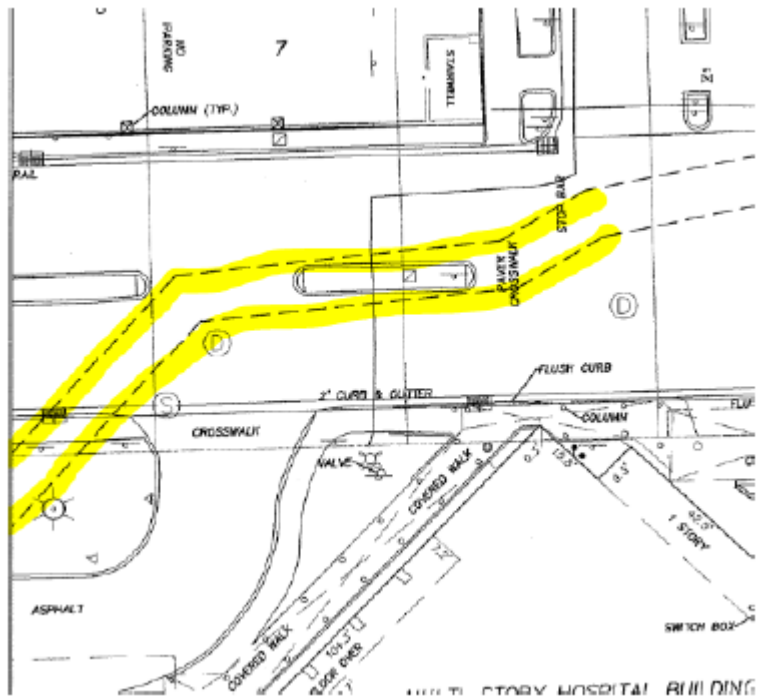


Response: Please see sheet C02 which now shows existing sewers service connection to existing 6" FM based on existing conditions.

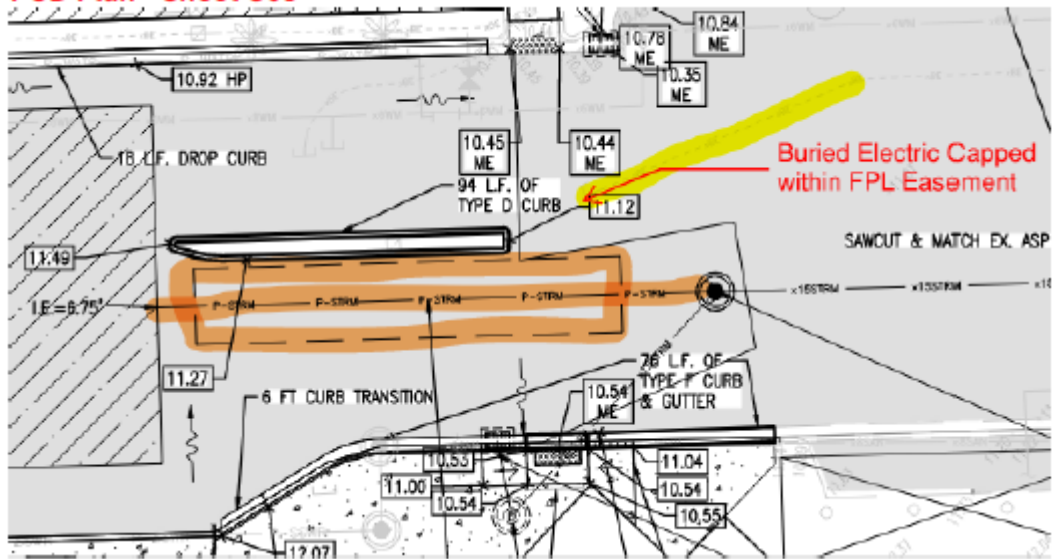
B. Based on review of the Alta Survey and Civil Plans, there is an existing FPL easement along Hospital Drive on Alta Survey Sheets S-4 and S-5. It appears that the existing FPL underground service line is capped as shown on the Demolition Plan Sheet C02. Sheet C03 shows proposed drainage traversing the existing FPL easement. Clarify if FPL easement is being vacated.



Survey – Sheet S-5



PGD Plan – Sheet C03



Response: The applicant MEP engineer has been reviewing the electrical needs with the FPL service planners during review of construction plans. Any construction that requires relocating existing FPL facilities are being addressed during the construction plan review period to avoid premature releases and dedications. During this time FPL will instruct the applicant of the method and timing of releasing existing easements and the dedication of new easements, which may occur before, during or after construction (as-built release and dedications). Since the subject easement is a direct easement with FPL, FPL will provide the applicant the necessary documents to execute, and the applicant or FPL will provide the necessary sketch and descriptions for recording said release and dedication(s). The release and dedication of direct FPL easements does not

require a vacation process through the City of Hollywood or Broward County; however the City Utilities Division can be kept abreast of the issue during this review and construction process. The underground line cited above is expected to require said release as part of FPL's overall review of existing easements, relocations and new dedications.

BUILDING (James McGuinness EI, CBO, CFM, MCP, LEED AP BD+C, Assistant Building Official)

1. The proposed new Surgical and Critical Care Tower is a Threshold Building by definition. A Threshold Inspection Plan (Structural Inspection Plan), prepared by Florida Registered Professional Engineer in compliance with F.S. 553.79 is required and requested to be submitted at time of building permit application.

Response: Please reference separate Building Permit (permit ref #B25-100064) package, being submitted under separate cover, structural sheet S-003 has the Threshold Inspection Plan (Structure Inspection Plan) being prepared by FL PE per F.S. 553.79

2. Amend Cover Sheet A01 Building Summary section to show compliance with the 2023 Florida Building Code(s) 8th Edition: Building, Mechanical, Plumbing, Accessibility and Energy.

Response: Please see attached update sheet A01

3. Please note: A full plans review by Building will be performed when a completed application and a digital set of signed and sealed for construction Architectural, Structural, Mechanical, Electrical, Plumbing, Energy and Life Safety Plans are submitted to the Building Department.

Response: Acknowledged. Issued for construction drawings have been submitted by the contractor.

FIRE (Chris Clinton, Fire Marshal)

1. Fire Application 24-DP-38 is considered by Fire to be substantially compliant at this time. - A full architectural review will be completed when an application and a full set of architectural plans are submitted to the third floor building dept.

PUBLIC WORKS (Joseph S. Kroll, Public Works Director)

1. No comments received.

PARKS, RECREATION AND CULTURAL ARTS (David Vazquez, Assistant Director)

1. Not applicable. Substantially compliant.

COMMUNITY DEVELOPMENT (Ryon Coote, Community Development Director)

1. No comments received.

ECONOMIC DEVELOPMENT (Joann Hussey, Interim Director)

1. Project is compliant and Economic Development provides sign-off.

POLICE DEPARTMENT (Chantel Magrino, Police)

1. Application is substantially compliant. Memorandum Attached.

DOWNTOWN AND BEACH CRA (Jorge Camejo, Executive Director)

1. Not applicable.

PARKING (Jovan Douglas, Parking Director)

1. No comments received.

Please feel free to contact me with any questions you may have regarding this matter. I can be reached via telephone at (954) 766-2789 or email at jmessick@cgasolutions.com

Sincerely,

CALVIN, GIORDANO & ASSOCIATES, INC.

James Messick, P.E.
Senior Project Manager

CITY OF HOLLYWOOD
PLANNING AND DEVELOPMENT BOARD
RESOLUTION NO. 17-DP-39

A RESOLUTION OF THE CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD CONSIDERING A REQUEST FOR DESIGN AND SITE PLAN APPROVAL, FOR AN APPROXIMATE 156,000 SQ. FT. VERTICAL FOUR STORY ADDITION TO THE EXISTING JOE DIMAGGIO CHILDREN'S HOSPITAL LOCATED AT 3501 JOHNSON STREET, PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Planning and Development Board (the "Board") is charged with, among other things, the responsibility of considering requests for variances, design, special exceptions and site plan approval; and

WHEREAS, the Board is duly empowered to grant variances, special exceptions, and design approvals in accordance with the guidelines and procedures found in Section 5.3 of the City's Zoning and Land Development Regulations and site plan approval pursuant to Article 6 of the Zoning and Land Development Regulations; and

WHEREAS, the South Broward Hospital District ("Applicant"), has applied for Design and Site Plan approval for the construction of an approximate 156,000 sq. ft. vertical four story addition to the existing Joe DiMaggio Children's Hospital located at 3501 Johnson Street, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference; and

WHEREAS, the Planning Manager and Principal Planner, following analysis of the application and its associated documents, has determined that the proposed request for Design approval meets the applicable criteria set forth in Section 5.3.1.4. of the Zoning and Land Development Regulations and have therefore recommend approval of the Design; and

WHEREAS, the Technical Advisory Committee, following an analysis of the application and its associated documents, have determined that the proposed request for Site Plan approval does meet the review standards set forth in Article 6 of the Zoning and Land Development Regulations and have therefore recommended approval; and

WHEREAS, on March 8, 2018, the Board met and held an advertised public hearing to consider the Applicant's requests; and

WHEREAS, the Board reviewed the application and the Department of Development Services Planning Division staff report and recommendations for the Design approval, considered the following criteria pursuant to Section 5.3.1.4.a. (1) through (4) of the City's Zoning and Land Development Regulations and have determined that the following criteria have been met:

- 1) The Architectural details are commensurate with the building mass. Design of the building(s) considered aesthetics and functionality, including the relationship of the pedestrian with the built environment;
 - 2) Compatibility. There is an appropriate relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. The Building contains architectural details that are characteristic of the surrounding neighborhood;
 - 3) Scale/Massing. The Building is proportionate in scale, with a height which is consistent with the surrounding structures. The Building mass reflects a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. The Architectural details include, but are not limited to, banding, molding, and fenestration; and
 - 4) Landscaping. The Landscaped areas contain a variety of native and other compatible plant types and forms, and are carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site have been preserved.
- ; and

WHEREAS, the Board reviewed the application and the Department of Development Services Planning Division staff report and the Technical Advisory Committee's recommendation for the Site Plan approval, and considered the Site Plan review standards set forth in Article 6 of the Zoning and Land Developments and found that the Site Plan requirements have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND DEVELOPMENT BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the foregoing "WHEREAS" clauses are ratified and confirmed as being true and correct and are incorporated in this Resolution.

Section 2: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Design criteria set forth herein, the Board finds that the necessary criteria have been met, and the Design is hereby **approved**.

CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD RESOLUTION 17-DP-39 South Broward Hospital District (Joe DiMaggio Children's Hospital).

Section 3: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Site Plan review standards set forth in Article 6 of the Zoning and Land Development Regulations, the Board finds that the necessary review standards have been met, and Site Plan is hereby **approved**.

Section 4: That the Applicant shall have up to 24 months from the date of this Design approval to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the require time period shall render all approvals null and void.

Section 5: That the Applicant shall have up to 24 months from the date of Site Plan approval to apply for a valid construction permit. Failure to submit an application within the require time period shall render all approvals null and void.

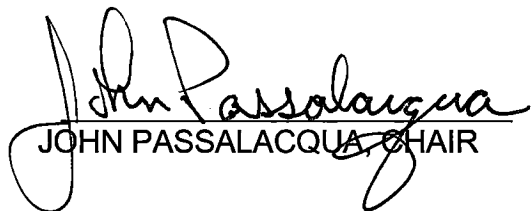
Section 6: That the Department of Development Services Planning Division is hereby directed to forward a copy of this resolution to the Applicant/Owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the Public Records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 8th DAY OF MARCH, 2018.

RENDERED THIS 15 DAY OF MAR, 2018.

ATTEST:


DIANA PITARELLI, SECRETARY


JOHN PASSALACQUA, CHAIR

APPROVED AS TO FORM & LEGAL SUFFICIENCY for the use reliance of the Planning and Development Board of the City of Hollywood, Florida, only.

Debra-Ann Reese
DEBRA-ANN REESE, BOARD COUNSEL

EXHIBIT "A"
LEGAL DESCRIPTION

PARCEL I:

THE EAST 40 FEET OF LOT 3 AND ALL OF LOTS 4 THROUGH 6 AND 31 THROUGH 35 INCLUSIVE, BLOCK 15; TOGETHER WITH THE PORTION OF THE ADJOINING 15 FOOT ALLEY IN SAID BLOCK 15 AND LYING BETWEEN THE NORTHERLY PROJECTION OF THE WEST LINE OF SAID EAST 40 FEET OF LOT 3 AND THE SOUTHERLY PROJECTION OF THE EAST LINE OF SAID LOT 33; TOGETHER WITH ALL OF LOTS 1 THROUGH 5 AND 33 THROUGH 37 INCLUSIVE AND THE ADJOINING 15 FOOT ALLEY ALL IN BLOCK 16; TOGETHER WITH ALL OF LOTS 1 THROUGH 5 AND 33 THROUGH 37 INCLUSIVE AND THE ADJOINING 15 FOOT ALLEY ALL IN BLOCK 17; TOGETHER WITH PORTIONS OF THE ADJOINING RIGHTS-OF-WAY FOR GRANT STREET AND HAYES STREET, ALL AS SHOWN ON "HOLLYWOOD HILLS" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LANDS LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING A TOTAL NET AREA OF 219,654 SQUARE FEET (5.04 ACRES) MORE OR LESS.

EXHIBIT "B" DESIGN



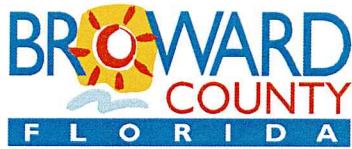
Joe Dimaggio
AT MEMORIAL
Children's Hospital

JOE DIMAGGIO CHILDREN'S HOSPITAL BED TOWER VERTICAL EXPANSION / RELOCATION

CONCEPTUAL RENDERING

FEBRUARY 20 2018

HKS



Public Works Department

TRAFFIC ENGINEERING DIVISION

2300 W. Commercial Boulevard • Fort Lauderdale, Florida 33309 • 954-847-2600

March 20, 2025

Sebastian Soria, PE
Calvin, Giordano & Associates, Inc.
1800 Eller Drive, Suite 600
Fort Lauderdale, FL 33316

**Re: Memorial Regional Hospital - O.R. Expansion
Signing & Pavement Markings Plan - BCTED Review
City of Hollywood
BCTED Reference No. 250123060**

Dear Sebastian,

Broward County Traffic Engineering Division has reviewed the above referenced plan and finds the pavement marking and signing plan on public streets maintained by the BCTED to be acceptable. There are no school/pedestrian, signal design, fiber optic communication/interconnect or copper communication/interconnect comments.

A copy of *Pavement Marking and Signing Inspection Procedure* and a copy of *Specifications for Retro-Reflective Sign Materials* are attached for your use.

Please submit two signed and sealed plan sets (11" x 17") to me, Raj Shanmugam, at the Broward County Traffic Engineering Division, for sign-off.

If you have any questions, contact me by e-mail at RShanmugam@broward.org or call me at 954-847-2721.

Sincerely,

A handwritten signature in blue ink, appearing to read "Raj Shanmugam", is written over the word "Sincerely,".

Raj Shanmugam, PE



PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION

2300 W. Commercial Boulevard • Fort Lauderdale, Florida 33309 • 954-847-2600

Broward County Traffic Engineering Division
Pavement Marking and Signing Inspection Request Procedure
(Effective Date: October 1, 2009)

- 1) The Broward County Traffic Engineering Division (BCTED) limits inspections to final inspections only. Inspections are limited to work/projects in the public right-of-way or connections to the public right-of-way.
- 2) Traffic Engineering Division staff's contact for a project is the Engineer-of-Record (EOR) only. The EOR is expected to resolve any issues/questions raised by the pavement marking and signing Contractor(s) or Sub-Contractor(s).
- 3) It is the responsibility of the EOR to insure that the project is completed in conformance with the approved plan, prior to requesting a pavement marking and signing inspection. The EOR is to inspect the project and generate a punch list, as needed. The EOR will be responsible for making sure that the Contractor or Subcontractor correct the deficiencies listed in the punch list generated by the EOR.
- 4) After the EOR determines that the completed project conforms to the approved plans, the EOR shall take photographs to document the conformance. The photographs should be compared with the approved plans and be identified by station number. The photographs should show, but, not be limited to:
 - (a) RPM's - four-corner coverage, correct spacing and location.
 - (b) Signs - correct location, correct sign as shown on approved plan.
 - (c) Messages on Pavement - correct location, spelling and size.
 - (d) Arrows - correct location, shape and size, centered in lane.
 - (e) Edge Lines and Lane Lines - correct color and correct width.
 - (f) Stop Bar - correct location and width.
 - (g) Reflectivity of Thermoplastic markings - even distribution of glass beads.
- 5) After all deficiencies have been satisfactorily corrected, the EOR will be able to submit a final inspection/acceptance request to BCTED.
- 6) The EOR shall submit a written request for pavement marking and signing inspections to BCTEDInspections@broward.org. The complete inspection request shall include:

Broward County Board of County Commissioners

Mark D. Bogen • Alexandra P. Davis • Lamar P. Fisher • Beam Furr • Steve Geller • Robert McKinzie • Nan H. Rich • Hazelle P. Rogers • Michael Udine
broward.org

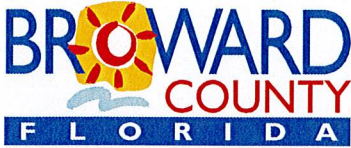
- (a) A signed and sealed letter requesting the inspection and certifying that the project conforms to the approved plans, and that the EOR has personally inspected the completed project for conformance with the approved plan.
- (b) Photographs which document that the completed project conforms to the approved plan.
- (c) Copies of the Broward County Certificate of Competency, issued by the Broward County Permitting, Licensing and Consumer Protection Division, for each contractor and/or sub-contractor that worked on the pavement marking and signing portion of the project.

7) Upon receipt of the certification letter and photographs, BCTED staff will examine the photographs within one week of receipt of a completed request. If a review of the photographs reveals deficiencies in the project, the EOR will be notified in writing by US Mail or by E-Mail, that the photographs indicate that the project is not ready for a final inspection. No field inspection will be performed and no punch list will be issued by BCTED. The EOR will be asked to repeat the certification and inspection request procedure, detailed in paragraphs 4 through 6, after the project deficiencies have been corrected.

8) If a BCTED staff review of the photographs does not show major deficiencies, a field inspection will be performed and the results will be provided to the EOR within four weeks of receipt of the completed certification package. If the project is accepted, an acceptance letter will be sent to the EOR, via US Mail or by E-mail. If, however, several deficiencies are identified during the field inspection, the inspection will be terminated and the EOR will be notified of the termination by US Mail or by E-mail. No punch list will be issued by BCTED. The Engineer-of-Record will be instructed to repeat the certification and inspection request procedure, detailed in paragraphs 4 through 6, after the project deficiencies have been corrected.

9) Items that will result in the termination of an inspection include, but are not limited to:

- (a) A lack of uniformity of glass bead coverage, at multiple locations.
- (b) A lack of reflectivity of the Thermoplastic markings, at multiple locations.
- (c) Incorrect application of materials, not in conformance with manufacturer's instructions.
- (d) Incorrect color or thickness of Thermoplastic markings.
- (e) Signs that are missing, incorrectly spelled, or that are not to current standards.
- (f) A lack of four-corner coverage on multiple RPM's.



Public Works Department

TRAFFIC ENGINEERING DIVISION

2300 W. Commercial Boulevard • Fort Lauderdale, Florida 33309 • 954-847-2600

TO: Public Works Department/Traffic Engineering Division Personnel
FROM: Scott Brunner, P.E., Director, Traffic Engineering Division
DATE: February 8, 2023
SUBJECT: Traffic Engineering Division Technical Policy Memo No. TPM-23-001
Specifications for Retroreflective Traffic Sign Materials
EFFECTIVE: February 8, 2023
EXPIRES: December 23, 2025 unless superseded upon release of new MUTCD
PRIOR EFFECTIVE: November 4, 2020, through December 22, 2022

In response to recent directives established by the Federal Highway Administration (FHWA), and in accordance with Section 2A.08 of the [2009 Manual on Uniform Traffic Control Devices \(MUTCD\)](#), pertaining to minimum standards of retroreflectivity for roadway traffic signs, it shall be the policy of the Traffic Engineering Division to fabricate, install, and maintain all traffic control signs under its jurisdiction with the highest grade of retroreflective materials available in the industry. The use of the highest quality materials will ensure optimal levels of retroreflectivity throughout the life of the subject traffic control signs, reduce field maintenance and life-cycle replacement, and improve overall safety for system users.

Therefore, effective January 31, 2023, the Traffic Engineering Division shall continue to only install and approve traffic control signs that meet all of the following:

1. Meet the criteria outlined in Section 2A.08 of the 2009 MUTCD.
2. Meet the specifications outlined in Section 700 and 994 of the [2021 Standard Specifications of the Florida Department of Transportation \(FDOT\)](#).
3. Consist of sheeting materials certified to meet the reflective sheeting requirements outlined in the 2019 version of ASTM D4956 for Type XI (FDOT Type XI) retroreflective sheeting materials made with prisms; except for school zone, pedestrian, and shared

use path signs which shall be comprised of reflective fluorescent yellow-green sheeting certified to meet ASTM D4956 Type IV (FDOT Type IV) reflective sheeting requirements.

4. Consist of retroreflective sheeting materials that have a valid FDOT Approved Product List certification for Specification 700 Highway Signing for FDOT Sheeting Type XI (or Type IV for school zone, pedestrian, and shared use path signs), approved for jobs let after February 8, 2023.
5. Consist of ink screen printing and/or overlay film (acrylic, electronic cuttable vinyl) signs materials only. Digital printing, including inkjet printing, will not be accepted.


These specifications shall be applied to all County, municipal and privately-installed traffic control signs to be maintained by the Traffic Engineering Division and shall be applicable to all sign types and colors, except fluorescent pink emergency management signs that shall be covered by a future policy memorandum.

Traffic Engineering Division Technical Policy Memo # TPM-23-001 Specifications for Retroreflective Traffic Sign Materials

EFFECTIVE DATE

This policy shall be in effect through December 31, 2025, unless superseded by an updated technical policy memorandum.

APPROVED



Scott Brunner, P.E.
Director

2.8.2023

Date

- C. Andrew G. Sebo, P.E., Assistant Director, Traffic Engineering Division
Carmelo Caratozzolo, P.E., Traffic Operations Engineer, Traffic Engineering Division
Ron Delello, Signs and Pavement Marking Superintendent, Traffic Engineering Division