

API	PLICATION DATE:				
Ro	00 Hollywood Blvd om 315 llywood, FL 33022		THAT APPLIES): Art in Public Places Committee Historic Preservation Board Administrative Approval	☐ Variance ☐ Special Exception	
	l: (954) 921-3471	PROPERTY INFORMATION			
	nail: Development@				
	lllywoodfl.org	Lot(s):Block	ck(s):S	Subdivision:	
<u>su</u>	BMISSION REQUIREMENTS:	Folio Number(s):			
•	One set of signed & sealed plans (i.e. Architect or Engineer)	Zoning Classification: Existing Property Use:			
•	One electronic combined PDF submission (max. 25mb)	Is the request the result of a violation of the result of a violation of the result of	to the City before? If yes, cl	heck al that apply and p	
•	Completed Application Checklist	., .,			
•	Application fee	DEVELOPMENT PROPOSAL Explanation of Request:			
		Phased Project: Yes ☐ No ☐ Num	nber of Phases:		
		Project	Proposal		
		Units/rooms (# of units)	# UNITS:	#Rooms	
<u>NC</u>	<u>)TE:</u>	Proposed Non-Residential Uses			S.F.)
•	This application must be completed in full	Open Space (% and SQ.FT.)	Required %:	(Area:	S.F.)
	and submitted with all documents to be placed	Parking (# of spaces)	PARK. SP	PACES: (#)
	on a Board or	Height (# of stories)	(# STORIES)	(FT.)
•	Committee's agenda. The applicant is	Gross Floor Area (SQ. FT)	Lot(s) Gro	oss Area (FT.)
	responsible for obtaining the appropriate checklist for each type of application.	Name of Current Property Owner Address of Property Owner: Em			
•	Applicant(s) or their authorized legal agent must be present at all	Applicant			
	Board or Committee meetings.	Address:			
		Email Address: Email Address #2:			
		Date of Purchase:			 1 No □
		If Yes, Attach Copy of the Contract.	o alloro all'option to purollas	and Hopolty: 100 L	, o
CL	ICK HERE FOR	Noticing Agent (FTAC & Board su	bmissions only) :		

E-mail Address:_

MEETING DATES



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

11. (

Signature of Current Owner:	Date:
PRINT NAME: Zebiniso Mirsolieva	Date: 1/15/2024
Signature of Consultant/Representative:	Date:
PRINT NAME: Luis La Rosa	Date: 1/15/2024
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am aware of the Site Plan Review to my property, which is hereby made Luis La Rosa to be my legal representative before the Committee) relative to all matters concerning this application.	ne nature and effect the request for by me or I am hereby authorizing nical Advisory Committe (Board and/or
Sworn to and subscribed before me	Zeh Much
this 15 day of Survey Public - State of Times Commission 5 and April My Comm. Expires 10, 2015 Bonded through National Motary, Assert	gnature of Current Owner
Ze	biniso Mirsolieva
V V	nt Name
State of Florida	
My Commission Expires: (Check One) Fersonally known to me; OR Production	luced Identification



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		Units/rooms (# of units)	# UNITS:	#Rooms	
<u>NC</u>	<u>)TE:</u>	Proposed Non-Residential Uses			S.F.)
•	This application must be completed in full	Open Space (% and SQ.FT.)	Required %:	(Area:	S.F.)
	and submitted with all documents to be placed	Parking (# of spaces)	PARK. SP	PACES: (#)
	on a Board or	Height (# of stories)	(# STORIES)	(FT.)
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	responsible for obtaining the appropriate checklist for each type of application.	Name of Current Property Owner Address of Property Owner: Em			
•	Applicant(s) or their authorized legal agent must be present at all	Applicant			
	Board or Committee meetings.	Address:			
		Email Address: Email Address #2:			
		Date of Purchase:			 1 No □
		If Yes, Attach Copy of the Contract.	o alloro all'option to purollas	and Hopolty: 100 L	, o
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MEETING DATES



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PRINT NAME:	Date:
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am aware of the Site Plan Review to my property, which is hereby made Luis La Rosa to be my legal representative before the Committee) relative to all matters concerning this application.	ne nature and effect the request for by me or I am hereby authorizing nical Advisory Committe (Board and/or
Sworn to and subscribed before me	Zeh Much
this 15 day of Survey Public - State of Times Commission 5 and April My Comm. Expires 10, 2015 Bonded through National Motary, Assert	gnature of Current Owner
Ze	biniso Mirsolieva
V V	nt Name
State of Florida	
My Commission Expires: (Check One) Fersonally known to me; OR Production	luced Identification



January 15, 2025

PLANNING JUSTIFICATIOMN REPORT

The following is a justification report for our project located at the 1715, 1721, 1723 & 1727 Mc Kinley Street. The owner of the property is ZEBI DEVELOPMENT GROUP INC. Managing Partner is Zebiniso Mirsolieva with offices at 8321 E Arizona Place, Denver CO 80247.

We are proposing a Mixed use Multi Family Development on the above referenced site. The site is comprised of 4 parcels situated East of US-1 and on the North side of Mc Kinley Street totaling 33,681 s.f. or .77 acre. All 4 properties are situated in the Regional Activity Center (R.A.C.) The 2 properties closest to US-1, (1727 & 1723 are zoned FH-2 and total 20,209 s.f. or .46 acres). The other 2 properties are zoned FH-1. The surrounding neighborhoods to the East, North and South are primarily single family or low-density multi-family. To the West of 1727 and closest to US-1 we have commercial and multi-family development.

The Regional Activity Center (RAC) Land Use designation and Downtown Redevelopment District are intended to encourage attractive and functional mixed living, working, shopping, education, and recreational activities in areas of regional importance. To this objective, the corresponding RAC Zoning District regulations are intended to:

To facilitate mixed-use development.
Encourage mass transit.
Reduce the need for automobile travel.
Provide incentives for quality development; and
Give definition to the urban form.

The purpose of the RAC Zoning Districts is to concentrate density in specific areas, protecting adjacent residential neighborhoods from excessive growth and commercial intrusion; while accommodating a diverse range of housing types, heights, and intensities, which is ideal for sustainable growth. Recognizing the diversity of the various neighborhoods encompassed in the RAC, the regulations are organized by District to protect, reinforce, and enhance the character of each area. The districts and encompassing Subdistricts facilitate the transition from one District to another and to the adjacent neighborhoods; providing adequate and compatible transitions in scale, character, and uses to adjacent residential neighborhoods. The Regional Activity Center and Downtown Redevelopment District area consists of the following zoning district:

FH-1 & FH-2 are a R.A.C. Core District.

LLR Architects Inc.

9000 Sheridan Street-suite 158 Pembroke Pines, FL 33024

(office) 954-862-2248

e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.



Proposal Description and Context

Our intent is incorporate the Live-Local act as allowed by our mixed-use designation to enhance the already existing intent provided by the Regional Activity Center (R.A.C). Aside from the busy thoroughfare that exists on US-1, there has been significant development throughout the R.A.C. our property is North of Young Circle which

The Live-Local act allows for properties designated as industrial or mixed-use to use the highest density and intensity allowed by the city. One of the requirements is that 40% of the units must be designated affordable and fall within the criteria provided by the Florida Housing Finance Corporation as per 166.04151(7)(a) A municipality must authorize multifamily and mixed-use residential as allowable uses in any area zoned for commercial, industrial, or mixed use if at least 40 percent of the residential units in a proposed multifamily development are rental units that, for a period of at least 30 years, are affordable as defined in s. 420.0004. Notwithstanding any other law, local ordinance, or regulation to the contrary, a municipality may not require a proposed multifamily development to obtain a zoning or land use change, special exception, conditional use approval, variance, or comprehensive plan amendment for the building height, zoning, and densities authorized under this subsection. For mixed-use residential projects, at least 65 percent of the total square footage must be used for residential purposes.

Also, it allows us to match the highest allowable height within 1-mile of our property. Please note that our designated zoning code of FH-2 allows for 140'& 45' feet for FH-1. We are proposing a height 116'-8" to top of roof. The FH-1 portion will remain 45' adjacent to neighbor zoning to the East which is also FH-1. We are respecting the 60' distance separation of 45' within FH-1.

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166.04151(7)(d)1. A municipality may not restrict the height of a proposed development authorized under this subsection below the highest currently allowed height for a commercial or residential building located in its jurisdiction within 1 mile of the proposed development or 3 stories, whichever is higher. For purposes of this paragraph, the term "highest currently allowed height" does not include the height of any building that met the requirements of this subsection or the height of any building that has received any bonus, variance, or other special exception for height provided in the municipality's land development regulations as an incentive for development.

Further, the intensity which is the F.A.R. of a property can be increased up to 150% of the allowable. 166.04151(7)(c) A municipality may not restrict the floor area ratio of a proposed development authorized under this subsection below 150 percent of the highest currently allowed floor area ratio on any land in the municipality where development is allowed under the municipality's land development regulations. For purposes of this paragraph, the term "highest currently allowed floor area ratio" does not include the floor area ratio of any building that met the requirements of this subsection or the floor area ratio of any building that has received any bonus, variance, or other special exception for floor area ratio provided in the municipality's land development regulations as an incentive for development. For purposes of this subsection, the term "floor area ratio" includes floor lot ratio.

We are proposing a 15-story mixed use multi-Family building consisting of 261 units. The allowable F.A.R.= $38,548 \times 6.0 = 231,270 \text{ s.f.}$ We are allowed 150% of 231,270 = 346,905 s.f. Our proposed F.A.R= 233,034 net s.f. The break down per floor is as follows: The maximum F.A.R that we found is YC (young Circle which allows 5.5 F.A.R.). $5.5 \times 1.5 \text{ would}$ equal 8.25 F.A.R allowable. We are proposing only 6.05

- Ground floor, 2nd. floor, 3rd. floor
 - o Parking, Lobby
 - building support spaces
 - o 908 s.f of retail- (ground floor)
 - o 4th. Floor
 - (4) Studios per floor
 - (11) 1-bedroom per floor
 - (9) 2-bedroom per floor
 - 5th Floor- Amenities level:
 - Pool and Deck Area- 2.264 s.f.
 - Fitness Center 1,185 s.f.
 - 6th Floor thru 9th Floor (Typical Floor Plate for each floor of Apartments) Unit Mix as follows:

(office) 954-862-2248

e-mail: llarosa@larosaarchitects.com

- (3) Studios per floor
- (11) 1-bedroom per floor
- (5) 2-bedroom per floor

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9000 Sheridan Street-suite 158 Pembroke Pines, FL 33024



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- o 10th Floor (all- 2 story Apartments)- Unit Mix as follows:
 - (22) 2-bedroom per floor

Total Unit Mix:

- (19) Studios per floor
- (66) 1-bedroom per floor
- (56) 2-bedroom per floor

Our Goal is to provide the required 40% affordable housing based on the quantity of unit type.

Total Unit Mix:

- (19) Studios per floor= 19 x 40% = 8 affordable Studios
- (66) 1-bedroom per floor= 66 x 40% = **26 affordable 1-bedrooms**
- (56) 2-bedroom per floor= 56 x 40% = 23 affordable 2-bedrooms



Ground – 3rd. floor parking



4th Floor plan



5th floor Units/ Amenities Plan



Typical 6th – 9th Floor Plan



10th floor- 2 story Apartment Plan

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The design of the building is bold. The name of the project is SKY Hollywood which fits well perfectly along the US-1 corridor. Our main entrance is off of Mc Kinley Street. We provided a direct entrance to a ramp servicing the 2nd and 3rd floor parking garage. Also, a separate entrance for two-way vehicular parking on the ground floor. The parking garages will be screened with decorative features enhancing the bold design. We anticipate providing art on building façade. Large balconies and glass railings are added features that allow views to this main corridor. The 5th floor has an amenities level, with swimming pool, fitness center, business and other support spaces.



Investigation/Evaluation

• Traffic studies will be provided pending traffic engineers' methodology.

Summary and Conclusions:

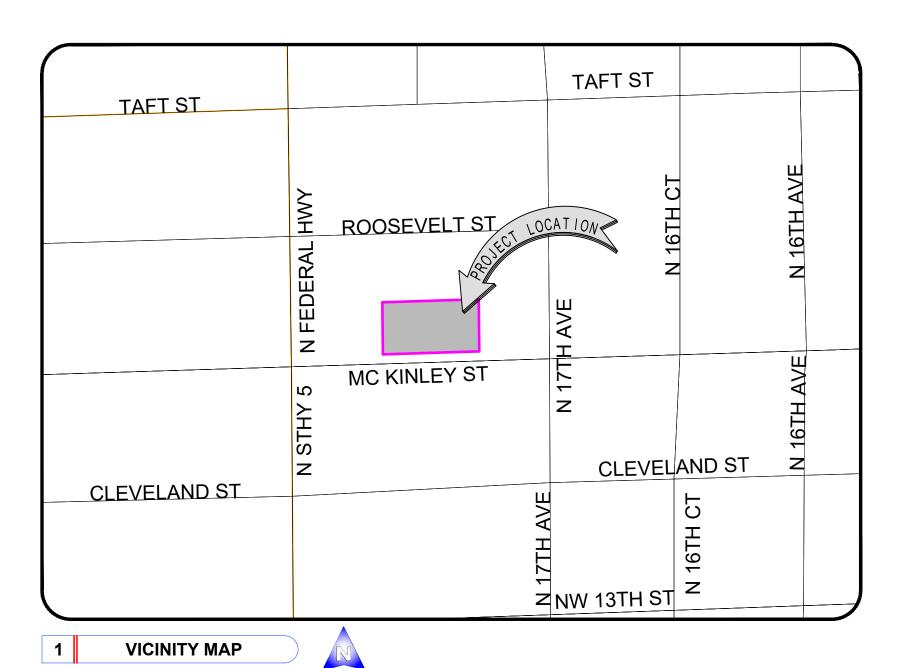
• We feel that our project enhances the original intent of Regional Activity Center The Live-Local acts encouragement of higher intensity/density for additional affordable housing will help provide workforce type housing in a luxury development in an area that is growing into an urban core with more job opportunities and quality living.

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ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND BEING A PORTION OF THE SE 1/4 OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA



2 PROPERTY ADDRESS

Not to Scale

1715 McKinley Street, Hollywood Florida 33020 Parcel ID: 514210120320 1721 McKinley Street, Hollywood Florida 33020 Parcel ID: 514210120330 1723 McKinley Street, Hollywood Florida 33020 Parcel ID: 514210120340 1727 McKinley Street, Hollywood Florida 33020 Parcel ID: 514210120350

3 LEGAL DESCRIPTION

Lot 40, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.

AND

Lot 41, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.

Lot 42, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.

Lots 43 and 44, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.

4 AREA TABULATION

Net Area of subject parcel: 33,743.50 SqFt (+/-0.77 Acres)
Gross Area of subject parcel: 39,993.50 SqFt (+/-0.92 Acres)

5 ZONING INFORMATION

As per City of Hollywood currently published Zoning Map.

Zoning District: FH-1 (Federal Highway Low-Medium Intensity Multi-Family District as per Hollywood Zoning Map) (Lots 40 thru 41)

FH-2 (Federal Highway Medium-High Intensity Mixed-Use District as per Hollywood Zoning Map) (Lots 42 thru 44)

7 CERTIFICATIONS

I hereby certify to: Zebi Development Group, LLC., a Colorado corporation, Zebiniso Mirsolieva, Old Republic National Insurance Company.

That this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5, 7 (a) (1), 8, 9, 11 (utilities by observed aboveground visible evidence), 13, 14, 17, 18 and 19 of Table A thereof.

Date of Plat or Map: December 19th, 2024

Odalys C. Bello-Iznaga

State of Florida

Professional Surveyor & Mapper # 6169

6 SURVEYOR'S REPORT

This Report is not valid without the attached Map of Boundary Survey.

This ALTA/NSPS Survey (ALTA Survey) has been conducted on the ground on December 11th, 2024 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and their relationship to instruments of record investigated are represented herein. This map of an ALTA Survey has been prepared in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, effective February 23, 2021, and jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS).

- 1. This ALTA Survey conforms to the Standards of Practice, as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".
- 2. Values noted as "(D)", "(R)", and/or "(P)" refer to values contained in documents and instruments of record (Plats, Record Maps, Deeds, etc.) used in the preparation of this Survey. Measured distances, directions and angles noted as "(M)" along the lines and courses surveyed represent the distances and angles between the survey monuments and control points recovered and traversed during the field work. Field findings have been carefully analyzed for re-establishing the boundaries of the lands surveyed herein. Measured distances and directions have been compared with corresponding values from records, and have been found in agreement, unless otherwise shown.
- 3. Measured bearings have been determined by GNSS (RTK/GPS) measurements. The basis of bearings is an assumed meridian along a well-established line identified as "BR" on the Map of Survey.
- 4. This ALTA Survey correctly depicts the lands contained within the subject property as legally described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities, apparent uses, and any other relevant matters affecting these lands. Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of, that might affect these lands.
- 5. This surveyor did not attempt to locate underground improvements, buried utilities, and footings. A Quality A and/or B Subsurface Utility Engineering (SUE) effort is necessary for the precise location and designation of the underground utilities.
- 6. At the time of this survey there was no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill, on this lot and/or on the immediately adjoining parcels.
- 7. At the time of this survey there was no observable evidence of recent earth moving work, and/or construction on this site, observed in the process of conducting the field work.
- 8. At the time of this survey there was no observable evidence of wetlands and/or wetland designation on the lands surveyed herein.
- 9. No parking spaces were located within the lands herein surveyed.
- 10. No Common Party walls were identified at the time of this survey.
- 11. This property has access to and from a duly dedicated and accepted public right of ways: McKinley Street and 50' Public Right of Way along the South property line. The undersigned has no knowledge of proposed changes in street right of way lines for these roadways.
- 12. FLOODPLAIN INFORMATION: As scaled from Federal Insurance Rate Map (FIRM) of Community No. 125113 (City of Hollywood), Panel 0569, Suffix J, revised on July 31th, 2024, this real property falls in two Zones. This determination is obtained directly from FEMA the undersigned assumes no responsibility for any flooding occurrence in this area. The two (2) Flood Zones are depicted on the Sketch of Boundary Survey.
- a. Zone "AE". with Base Flood Elevation 6 feet (NAVD 1988). As defined by FEMA, Zone "AE" is high-risk flood zone. Mandatory flood insurance purchase requirements and floodplain management standards apply.
- b. Zone "X". As defined by FEMA, Zone "X" is an Area with 0.2% annual chance flood hazard, areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
- 12. This property is included in the Storm Surge Risk area of storm surge flooding vulnerability, as per NOAA National Hurricane Center Storm Surge Risk Maps.
- 13. HORIZONTAL POSITIONING: The lands surveyed herein had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Precision for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million.
- 14. VERTICAL DATA AND ACCURACY: The elevations as shown are referred to the National American Vertical Datum of 1988 (NAVD'88). Elevations are based on a level loop between the following two (2) official Benchmarks: Bench Mark # 1: National Geodetic Survey Bench Mark P 239, Elevation = 9.25 feet (NAVD 88) and Bench Mark # 2: National Geodetic Survey Bench Mark N 239 Elevation = 9.42 feet (NAVD 88)
- 15. This Survey map and the copies thereof, are not valid without the signature and original raised seal of the undersigning Florida Licensed Land Surveyor & Mapper, unless it is electronically signed. Additions or deletions to this survey map are prohibited.
- 16. The intended plotting scale for this survey map is 1": 20'. Data is expressed in U.S. Survey Foot and decimals thereof.
- 17. This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebiniso Mirsolieva Commitment Number 1377421, dated July 24, 2023 @ 11:00 p.m. (As to Lot 42, **CHATTANOOGA PARK**) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

Items # 1 thru # 5: Not survey-related matters.

Item # 6: All matters contained on the Plat CHATTANOOGA PARK, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.

Item # 7: Ordinance No. 2005-19 recorded in Official Recorded Book 40082, Page 1789, Public Records of Broward County, Florida. **Provisions are of "blanket nature" therefore, "non-plottable"**.

18. This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebiniso Mirsolieva Commitment Number 1378292, dated July 24, 2023 @ 11:00 p.m. (As to Lot 41, **CHATTANOOGA PARK**) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

<u>Items # 1 thru # 4 and Item # 8</u>: Not survey-related matters.

Item # 5: All matters contained on the Plat CHATTANOOGA PARK, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.

Item # 6: Ordinance No. 2005-19 recorded in Official Recorded Book 40082, Page 1783, Public Records of Broward County, Florida. **Provisions are of "blanket nature" therefore, "non-plottable".**

Item # 7: Ordinance No. 2005-19 recorded in Official Recorded Book 40082, Page 1789, Public Records of Broward County, Florida. **Provisions are of "blanket nature" therefore, "non-plottable".**

19. This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebiniso Mirsolieva Commitment Number 1441327, dated August 25, 2023 @ 11:00 p.m. (As to Lot 40, CHATTANOOGA PARK) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

<u>Items # 1 thru # 5</u>: Not survey-related matters.

Item # 6: All matters contained on the Plat CHATTANOOGA PARK, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.

20. This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebi Development Group, Inc., a Colorado corporation Commitment Number 1551187, dated July 17, 2024 @ 11:00 p.m. (As to Lots 43 and 44, CHATTANOOGA PARK) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

Items # 1 thru # 5: Not survey-related matters.

Item # 6: All matters contained on the Plat CHATTANOOGA PARK, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.

<u>Item # 7:</u> Ordinance No. 2005-19 recorded in Official Recorded Book 40082, Page 1789, Public Records of Broward County, Florida. **Provisions are of "blanket nature" therefore, "non-plottable".**

Vicinity Maps
 Property Address and folio number
 Legal Description (Page 1 of 2).
 Area Tabulation
 Zoning Information
 Surveyor's Report (Page 1 of 2)

7. ALTA/NSPS Certification (Page 1 of 2)

9. Map of Boundary Survey (Page 2 of 2)

SURVEY LEGEND

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated

8. Project / Survey Number.

electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

QA/QC BY: OCBI

PIELD DATE: 12/11/2024

UPDATED DATE: N/A

8 PROJECT NUMBER 24386 Page 1 of 2

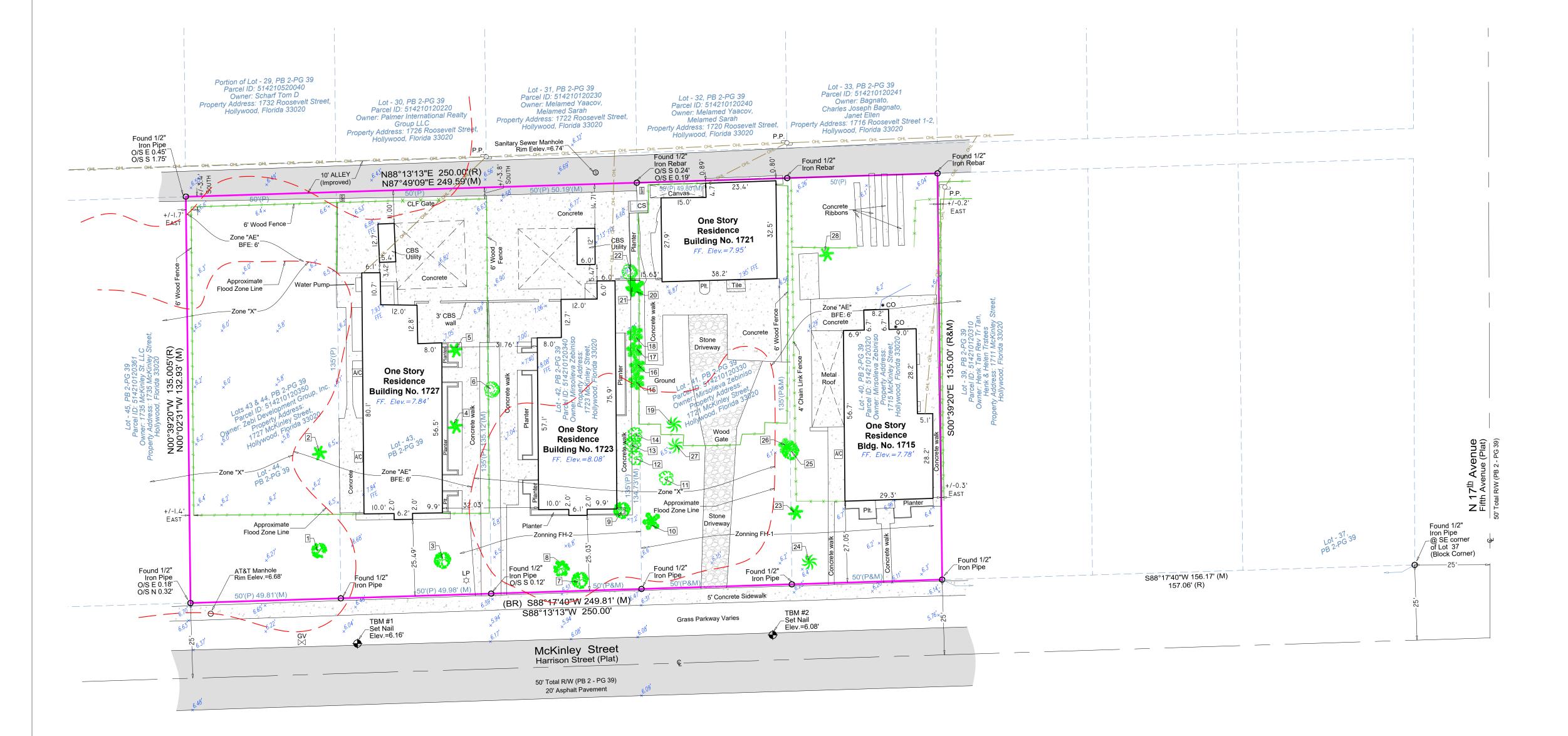


AND 201 -

ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND BEING A PORTION OF THE SE 1/4 OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA





Note: Tree Location Survey has not been performed based on a Certified Arborist Report. Common names and scientific names were determined to the best our knowledge.

were determined to the best our knowledge.					
	TREE CHART				
Tree #	Common Name	Scientific Name	Trunk Diameter at Breast Height DBH(in)	Approximate Height (ft)	Approximate Canopy (ft)
1	Royal Poinciana	Delonix regia	14	40	40
2	Palm	Arecaceae	4	18	12
3	Gumbo Limbo Tree	Bursera simaruba	16	25	30
4	2 Trunk Palms	Arecaceae	36	12	15
5	Palm	Arecaceae	4	20	15
6	Unknown Tree	Unknown	38	20	30
7	Gumbo Limbo Tree	Bursera simaruba	9	25	30
8	Mango Tree	Mangifera Indica	18	25	30
9	Gumbo Limbo Tree	Bursera simaruba	4	15	15
10	Palmetto	Sabal palm	18	15	20
11	Live Oak	Quercus Virginiana	6	20	15
12	Live Oak	Quercus Virginiana	12	30	30
13	Live Oak	Quercus Virginiana	12	30	30
14	Live Oak	Quercus Virginiana	8	20	30
15	Pine Tree	Pinus	6	30	20
16	Pine Tree	Pinus	6	30	20
17	Pine Tree	Pinus	8	38	20
18	Pine Tree	Pinus	8	38	20
19	Coconut Palm	Cocos nucifera	10	25	15
20	Palmetto	Sabal palm	18	20	15
21	Palm	Arecaceae	4	15	15
22	Unknown Tree	Unknown	18	15	15
23	Palm	Arecaceae	4	15	10
24	Coconut Palm	Cocos nucifera	6	25	15
25	Gumbo Limbo Tree	Bursera simaruba	36	30	30
26	Pine Tree	Pinus	28	40	20
27	Coconut Palm	Cocos nucifera	10	25	15
28	Palm	Arecaceae	6	15	15

2 PROPERTY ADDRESS LEGEND, SYMBOLS & ABBREVIATIONS = CONCRETE (CONC.)
= CONC. BLOCK WALL
= WOOD DECK
= COVERED AREA (R) = RECORD
RGE = RANGE
R/W = RIGHT OF WAY
SEC = SECTION
TBM = TEMPORARY BENCH MARK
TWS = TOWNSHIP
BCR = BROWARD COUNTY RECORDS 1715-1721-1723-1727 McKinley Street, Hollywood, Florida 33020 = WATER VALVE = FPL TRANSFORMER

= CATCH BASIN OR INLET

= CATCH BASIN OR INLET

= CATCH BASIN OR INLET

ENCR = ENCROACHMENT

FF ELEV = FINISHED FLOOR ELEVATION

FF ELEV = FINISHED FLOOR ELEVATION

(M) = FIELD MEASURED

ORB = OFFICIAL RECORD BOOK

(P) = PR PLAT FOOK

ORB - PLAT FOOK = POWER POLE - GUY ANCHOR Additions and deletions to this Survey Map are prohibited. This Survey Map and Report WM = WATER METER ☐ = PAVERS SLAB / DRIVEWAY are not valid without the signature and original raised seal or without the authenticated 🗘 = LIGHT POLE (LP) = TILE SLAB / DRIVEWAY W = WELL electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper. = PERMANENT CONTROL POINT PB = PLAT BOOK
PC = POINT OF CURVATURE
PCC = POINT OF COMPOUND CURVE = ASPHALT PAVEMENT A/C = AIR CONDITIONER PAD BBL = BASE BUILDING LINE ■ = ELECTRIC BOX (EB) X = CHAIN LINK FENCE (CLF) DRAWN BY: EO = STREET SIGN QA/QC BY: OCBI BFE BASE FLOOD ELEVATION (PER FEMA) PG = PAGE
BM = BENCH MARK P. = PROPER -//--//- = WOOD FENCE (WF) = SANITARY MANHOLE = DRAINAGE MANHOLE (BR) = BEARING REFERENCE PRC = POINT OF REVERSE CURVE PSM = PROFESSIONAL SURVEYOR AND MAPPER PT = POINT OF TANGENCY FIELD DATE: 12/11/2024 UPDATED DATE: N/A = PLASTIC FENCE (PF) (C) = CALCULATED
CBS = CONCRETE BLOCK STRUCTURE = MANHOLE ----- = METAL FENCE (MF) = FIRE HYDRANT 24386 Page 2 of 2 8 PROJECT NUMBER -OHL-OHL = OVERHEAD UTILITY LINES € = CENTER LINE

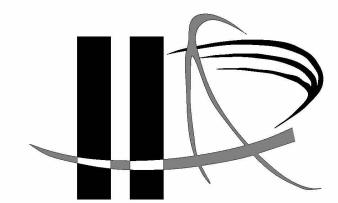
= CABLE BOX (CATV)

SKY HOLLYWOOD

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR: ZEBI DEVELOPMENT GROUP INC.

1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD, FLORIDA 33020





LLR Architects, Inc. ARCHITECTURE & PLANNING 9000 SHERIDAN STREET ST. 158 PEMBROKE PINES, FL 33024

(OFF.) - 305-403-7926 (CELL)- 786-543-0851 E-MAIL: llarosa@larosaarchitectcts.com

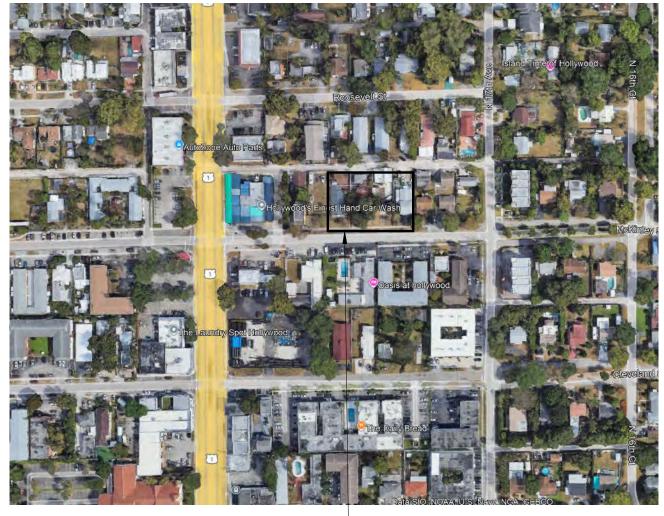
Luis La Rosa-Registered

Architect AR#-0017852

MEETING DATES:

PACO: SEPTEMBER 16, 2024 TAC-1: TAC-2: PUBLIC MEETING: PDB:

Sheet Index	
SHEET NUMBER	SHEET NAME
.A 0.0	COVER SHEET
.GN-1.1	GENERAL NOTES
.GN-1.2	GENERAL NOTES
.SP 1.1	SITE PLAN
.SP 1.2	SITE PLAN DETAILS
.SP 1.3	SITE PLAN ELEVATIONS
.SP 1.4	CAR LIFT SPECIFICATION
A 1.1	1ST FLOOR PARKING
A 1.2	2ND FLOOR PARKING
A 1.3	3RD FLOOR PARKING
A 1.4	4TH FLOOR UNITS
A 1.5	5TH FLOOR UNITS-AMENITIES
A 1.6	TYPE UNITS 6TH TO 9TH FLOOR
A 1.7	10TH FLOOR PLAN TWO STORY UNITS
A 1.8	11TH FLOOR PLAN TWO STORY UNITS
A 1.9	ROOF PLAN
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A 2.2	PROPOSED SOUTH ELEVATION
A 2.3	PROPOSED EAST ELEVATION
A 2.4	PROPOSED NORTH ELEVATION
A 2.5	AXO VIEW



1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD, FLORIDA 33020

LOCATION MAP



1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD, FLORIDA 33020

LOCATION PLAN

- 1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2023-8th . EDITION, FLORIDA FIRE PREVENTION CODE 2023 (8TH EDITION), WITH BROWARD COUNTY AMENDMENTS. NFPA-1 & 101, 2021 EDITION, NFPA 13&13R, 2019 EDITION APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS
- 2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
- 3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
- 5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEED'S OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
- 6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
- 7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
- 8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
- 9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
- 10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NNOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
- 11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
- 12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
- 13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

SITE CALCULATIONS:

TOTAL SITE AREA: NET AREA= 33,750 SF or 0.77 ACRES

BUILDING FOOTPRINT AREA DRIVEWAY CONC. SLAB

TOTAL IMPERVIOUS AREA=

TOTAL PERVIOUS AREA= 5,816 SF (17.2 %)

27,934 SF (82.8 %)

26,460 SF

770 SF

704 SF

FAR CALCULATION

FIRST FLOOR

LOBBY/COMMON AREAS-1,974 SF

LOBBY/COMMON AREAS-

3RD FLOOR LOBBY/COMMON AREAS-

4TH FLOOR

LOBBY/COMMON AREAS-3,287 SF 17,049 SF

UNITS-

5TH FLOOR LOBBY/COMMON AREAS-

2,992 SF AMENITIES-3,449 SF UNITS-13,338 SF

TOTAL-

6TH FLOOR

LOBBY/COMMON AREAS-2,992 SF UNITS-13,338 SF TOTAL-16,330 SF

7TH FLOOR LOBBY/COMMON AREAS-

2.992 SF UNITS-13,338 SF TOTAL-16,330 SF

2,992 SF

13,338 SF

<u>16,330 SF</u>

20,336 SF

<u>19,779 SF</u>

LOBBY/COMMON AREAS-

UNITS-TOTAL-

LOBBY/COMMON AREAS-

13,338 SF TOTAL-<u>16,330 SF</u>

10TH FLOOR(TWO STORY UNITS)

2,518 SF LOBBY/COMMON AREAS-UNITS-

25,807 SF 28,325 SF

TOTAL-

FAR PROVIDED= 136,610 SF

OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE O 2016-02.

ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LEND DEVELOPMENT REGULATION. OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.

MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).

A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 11,10 AND **BROWARD AMENDMENT 118.2** GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.

BIKE RACK TO BE INSTALLED AS SHOWN WHITE ROOF TO REFLECT LIGHT.

GREEN BUILDING PRACTICE THIS PROJECT REQUIRES A GREEN BUILDING CERTIFICATION. WE WILL BE PROVIDING A CERTIFICATIONS THROUGH THE GREEN BUILDING COUNCIL.

PARKING CALCULATIONS:		
	REQUIRED	PROVIDED
(56) 2 BEDROOMS=56x1.5= 84 PARKING SPACE	84	112
(66) 1 BEDROOMS=66x1= 66 PARKING SPACE	66	66
(19) STUDIO=19X1=19	19	19
<u>GUEST PARKING SPACES</u> (1 SPACE FOR EVERY 10 UNITS / 141 UNITS)=	15	15
RETAIL SPACE	3	13
TOTAL PARKING SPACES	184	225

ADA SPACES REQUIRED

AS PER FBC-ACCESSIBILITY 2023 208.2 *PROVIDING 193 SPACES

ADA SPACE REQUIRED AS PER TABLE 208.2-(151-200 SPACES) REQUIRE 6 ADA SPACES

6-(6 REQUIRED/ 6 PROVIDED)

NUMBER OF SINGLE SPACES= 169 NUMBER OF PARKING IN LIFT= 56

2. PARKING IN LIFT IS DESIGNATED TO 2BEDROOM UNITS

3. ADA PARKING SPACES COUNT TOWARDS OVERALL PARKING REQUIREMENTS

MINIMUN & AVERAGE DWELLING UNIT SIZE TABLE

	REQUIRED	PROVIDED
MINIMUN DWELLING UNIT SIZE	400 S.F.	424 S.F.
MINIMUN CUMULATIVE AVERAGE UNIT SIZE	650 S.F.	698 S.F.

HEIGHT CALCULATIONS:		
	ALLOWED	PROVIDED
MAX. HEIGHT ALLOWED:	140"-0"	116'-4" TOP OF ROOF
LAND LISE DESIGNATION: PAC		

LAND. USE DESIGNATION: RAC

ZONING DESIGNATION: VARIES-SEE DETAIL BELOW

1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW & MAY BE SUBJECT TO BOARD APPROVAL.

2. THE MAX LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.

3. REFER TO DETAIL 2 ON SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.

4. ALL STREETS & ALLEYS ADJACENT TO SITE (MONROE STREET, NORTH ALLEY & WEST ALLEY) TO BE MILLED & RESURFACED (FOR FULL WIDTH OF ROAD LENGTH OF PROPERTY).

5. "ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.

SETBACK CALCULATIONS: FH-1		
	REQUIRED	PROVIDED
FRONT	20'	20'-0"
REAR	20'	20'-0"
SIDE	0	N/A
SIDE INTERIOR	10'-0"	10'-0"

SETBACK CALCULATIONS: FH-2		
	REQUIRED	PROVIDED
FRONT	15'	15'-0"
REAR	5'	5'-0"
SIDE	0	5'-0"
SIDE INTERIOR	0	N/A

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Revision # REV DATE BY

> OR **MOO** ĬĹ. **OPMENT** VEL TR $\overline{\mathbf{a}}$ ω ZEF 172 $\overline{}$ $\overline{}$ 2 0 Д SEAL: AR 0017852

> > LUIS LA ROSA

DRAWN: A.G.

CHECKED: L.L.R

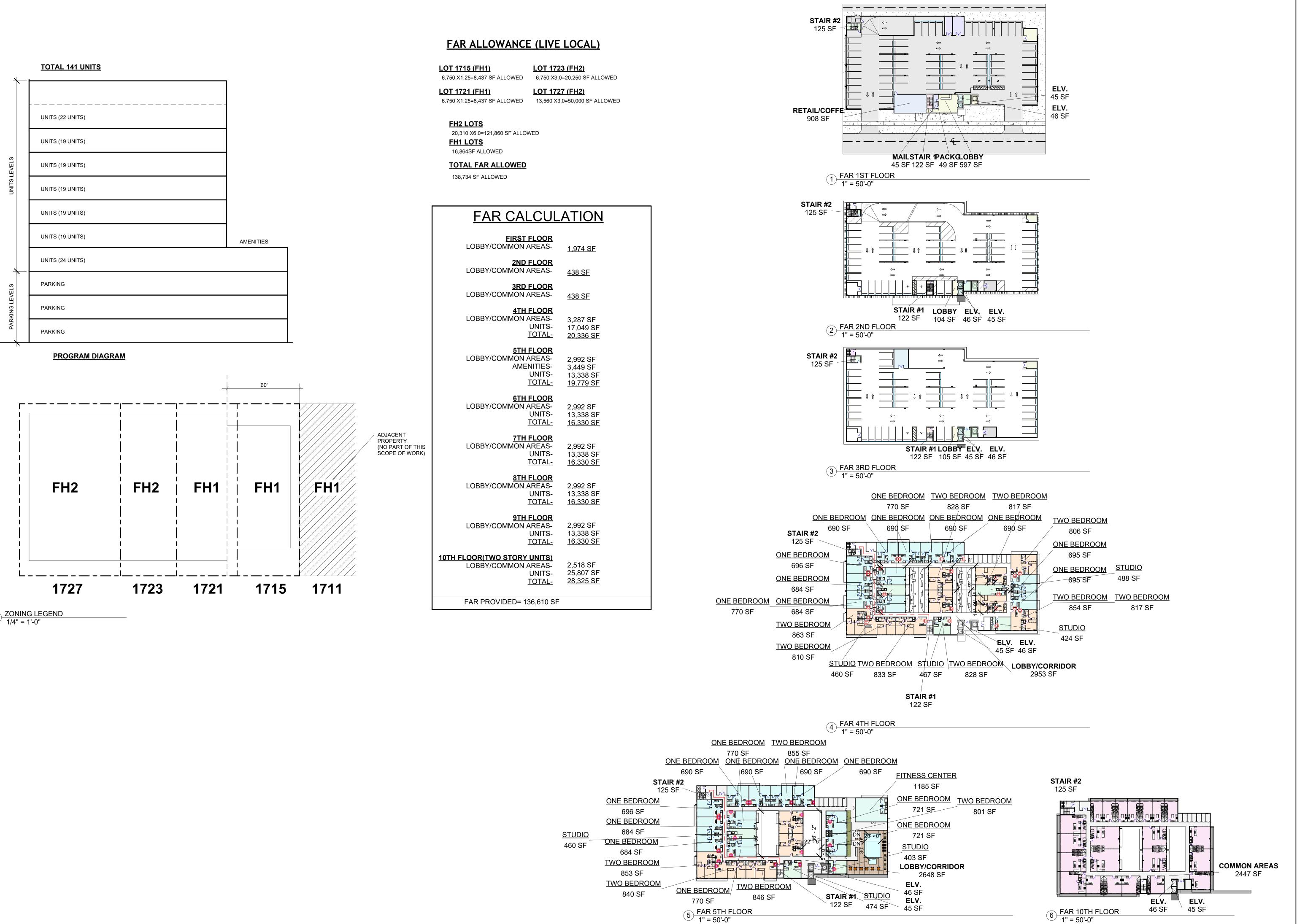
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SHEETS: 2

JOB. NO.: 024-052

SHEET:





Revision

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

DRAWN: A.G.

CHECKED: L.L.R

DATE: 9/5/2024

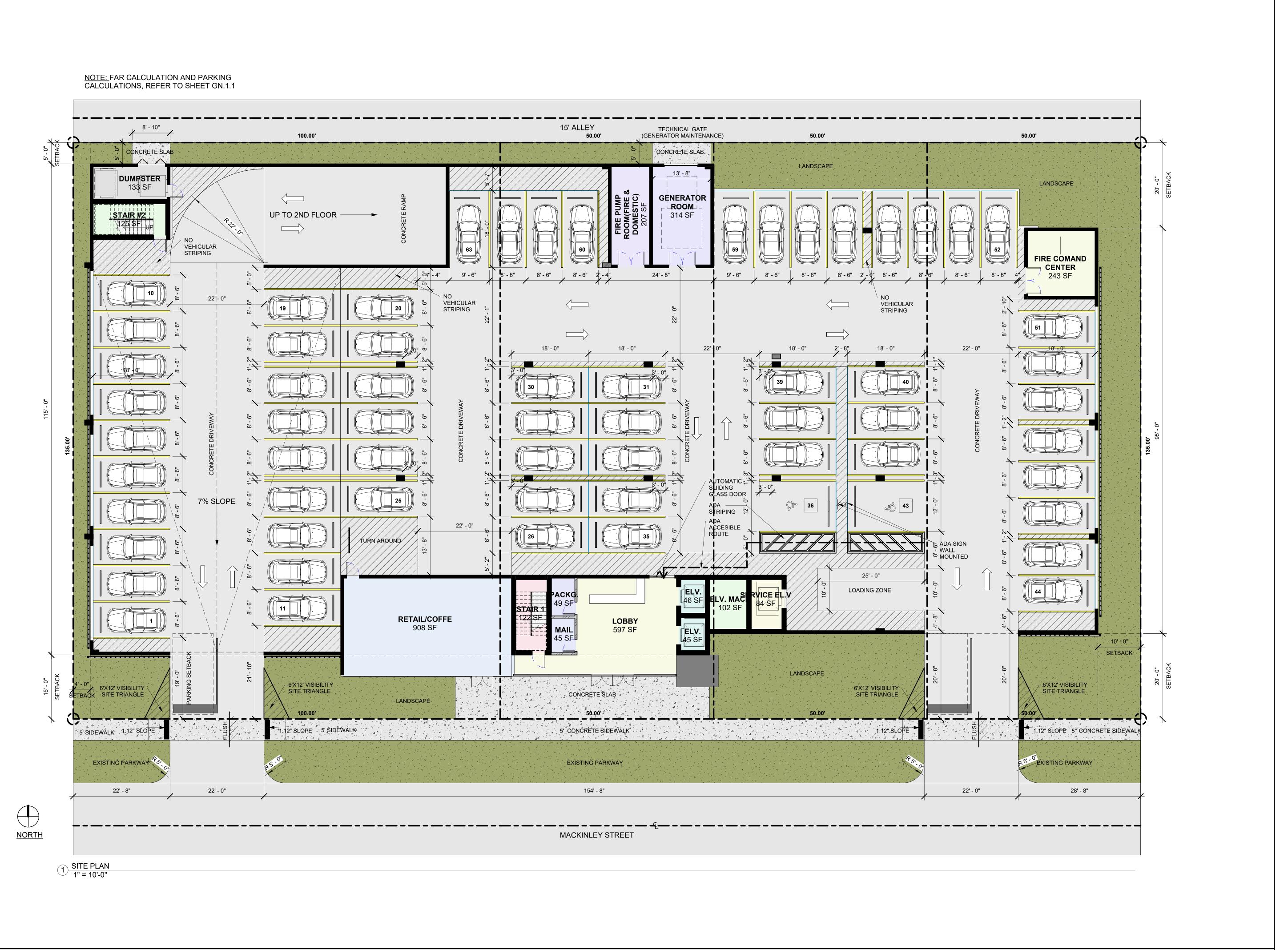
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OF: SHEETS:

SEAL: AR 0017852 LUIS LA ROSA



FOR: DEVELOPMENT ZEBI DEVELOF 1723 & 1727 MC FLOF -UNITS MU 141 PROPOSED 721

15,

SEAL: AR 0017852 LUIS LA ROSA

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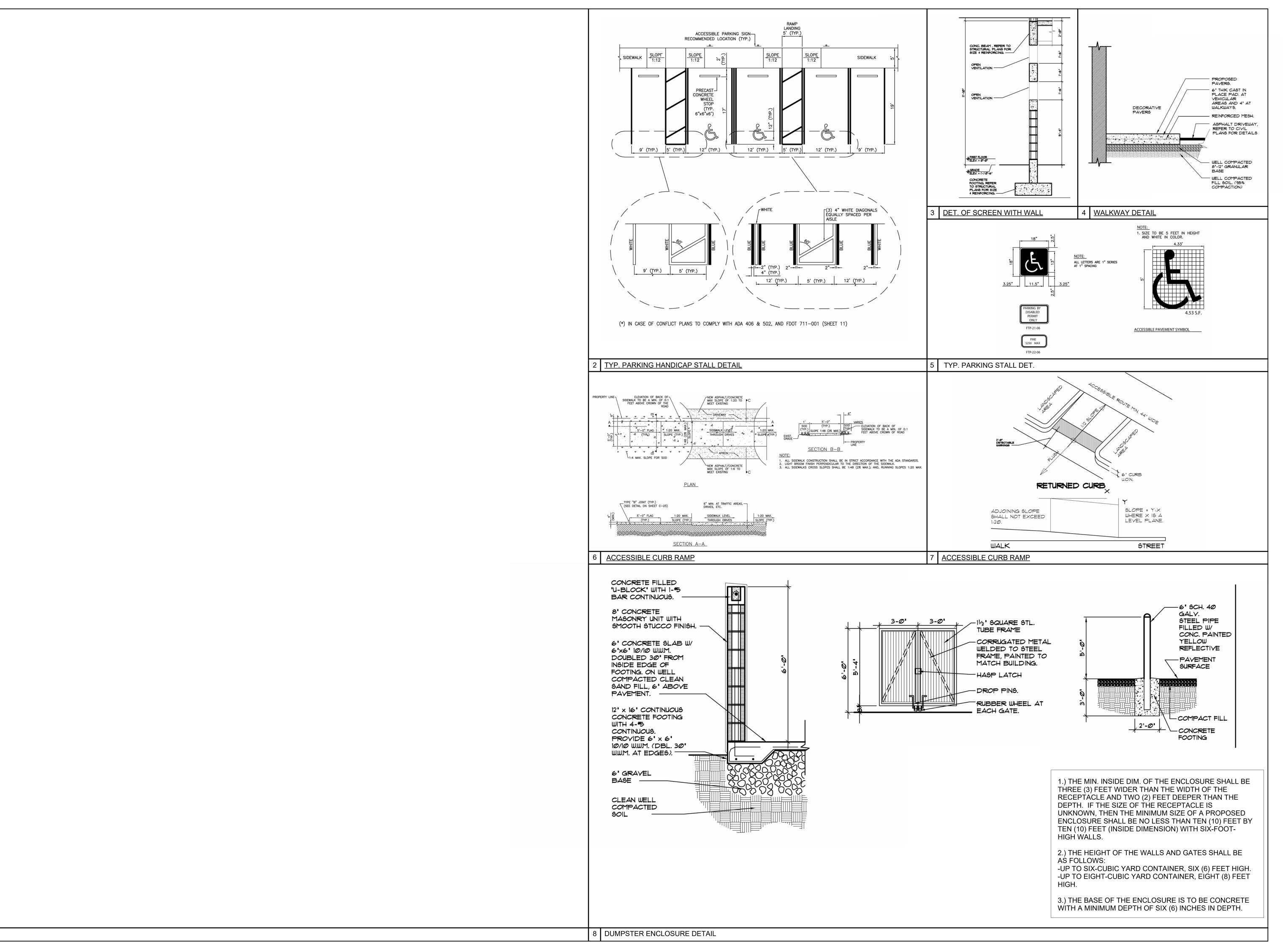
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1" = 10'-0"





Revision

FOR:

YWOOD DEVELOPMENT SROUP IN(STREET I **FAMILY** rs mul Velor 727 mo -UNITS B 8 ZEE 172 $\overline{}$ 4 **— —** Ш \mathcal{O} / 0 OP 5 PR

SEAL: AR 0017852 LUIS LA ROSA

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SHEETS: 2





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PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

DRAWN: A.G.

CHECKED: L.L.R

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CHECKED: L.L.R

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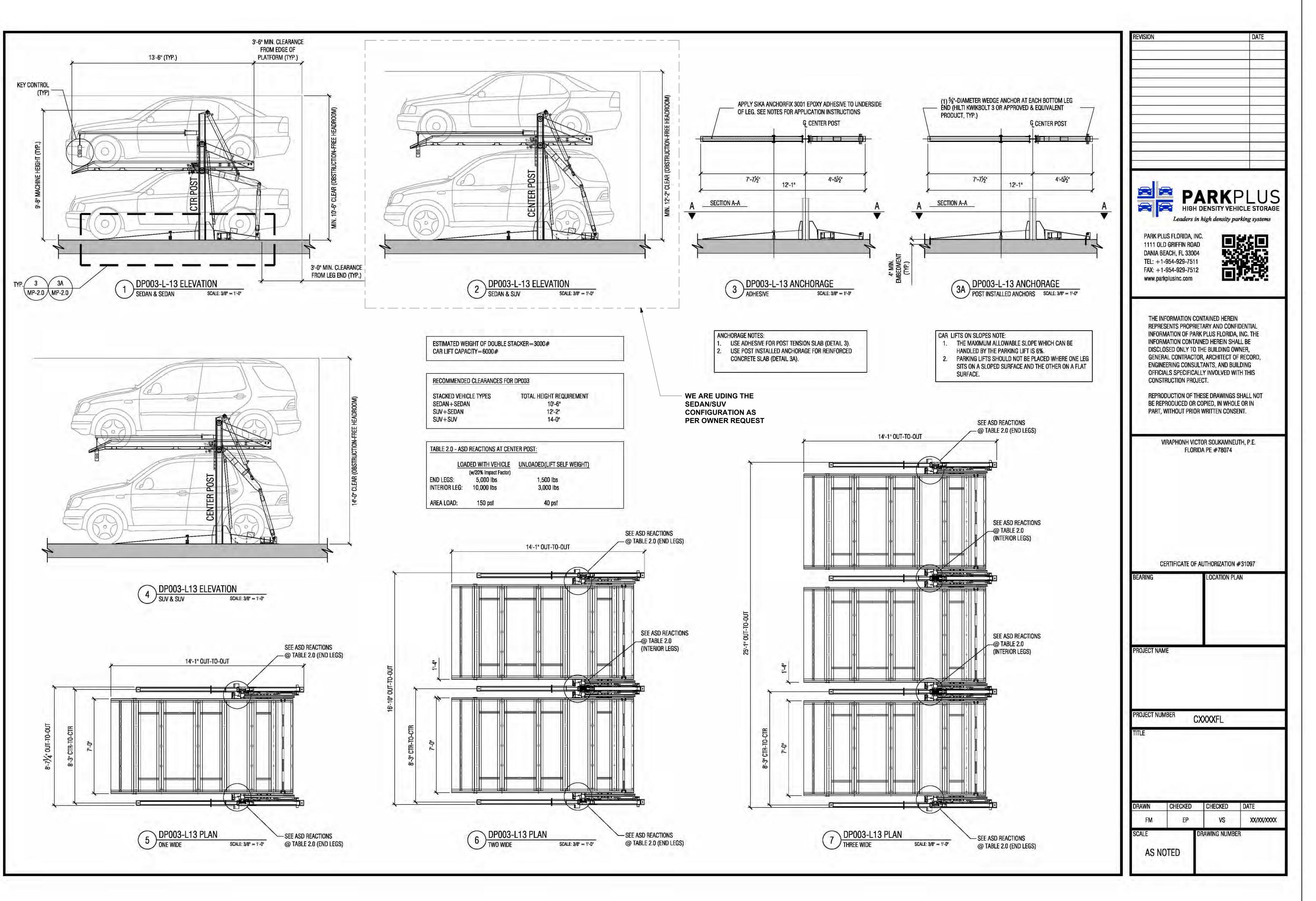
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WA 27:77 4:47:75

1/16" = 1'-0"



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Linis -Registered Architect
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Revision

FOR:

DEVELOPMENT

-UNITS

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SEAL: AR 0017852 LUIS LA ROSA

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DRAWN: A.G.

CHECKED: L.L.R

DATE: 9/5/2024

SCALE: AS NOTED

JOB. NO.: 024-052

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1.4

SHEETS:



FOR: DEVELOPMENT ZEBI DEVELOF 1723 & 1727 MC FLOF 141-UNITS MU PROPOSED 721 15,

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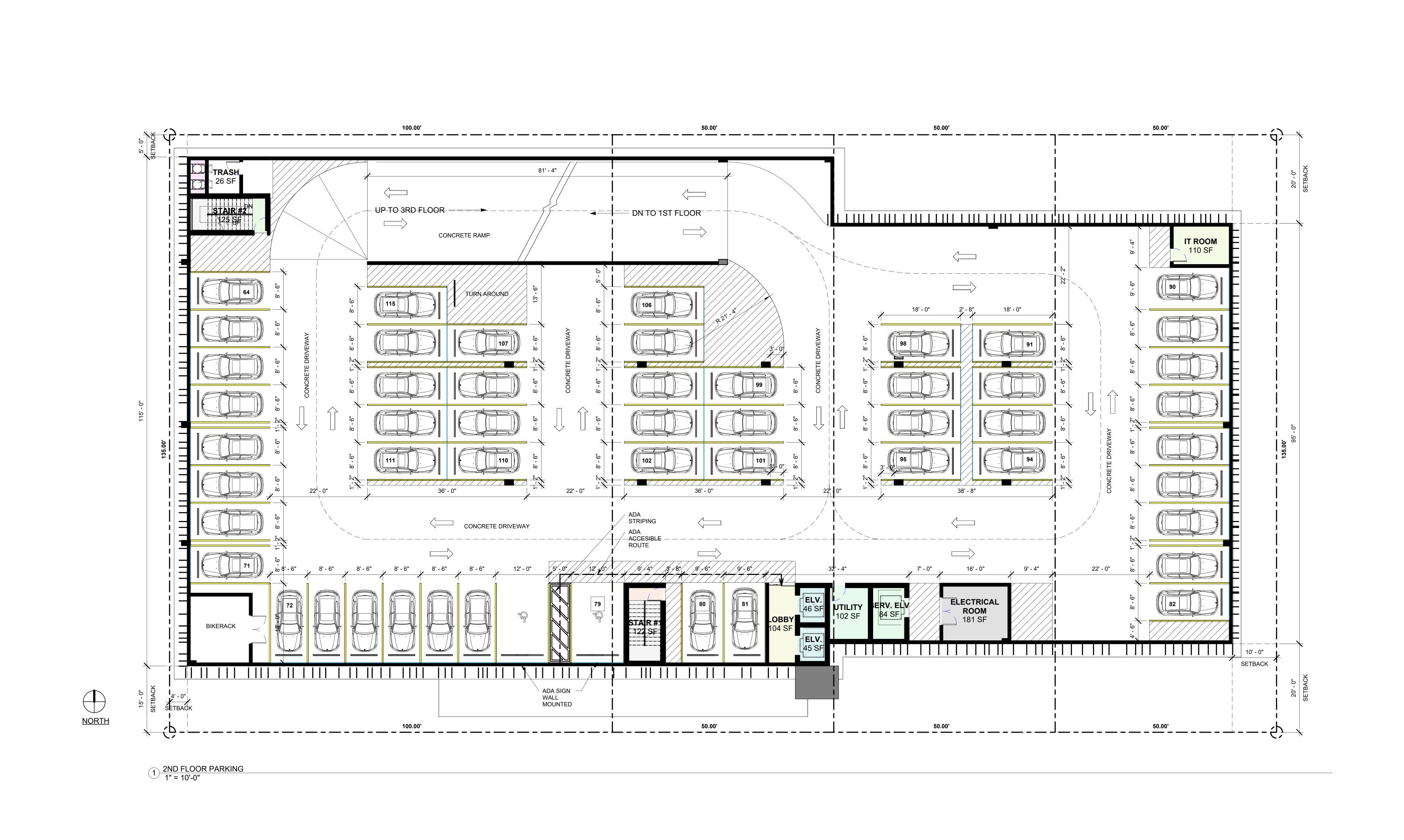
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DATE: 9/5/2024 SCALE: AS NOTED JOB. NO.: 024-052 SHEET: A 1.1

1" = 10'-0"



DEVELOPMENT FOR: INC. ET HOLLYWOOD, 141-UNITS MU ZEBI DEVE 1723 & 1727 PROPOSED 1721 15,

ARCHITECTURE & PLANNING 9000 SHERIDAN STREET ST. 158 PEMBROKE PINES, FL 33024

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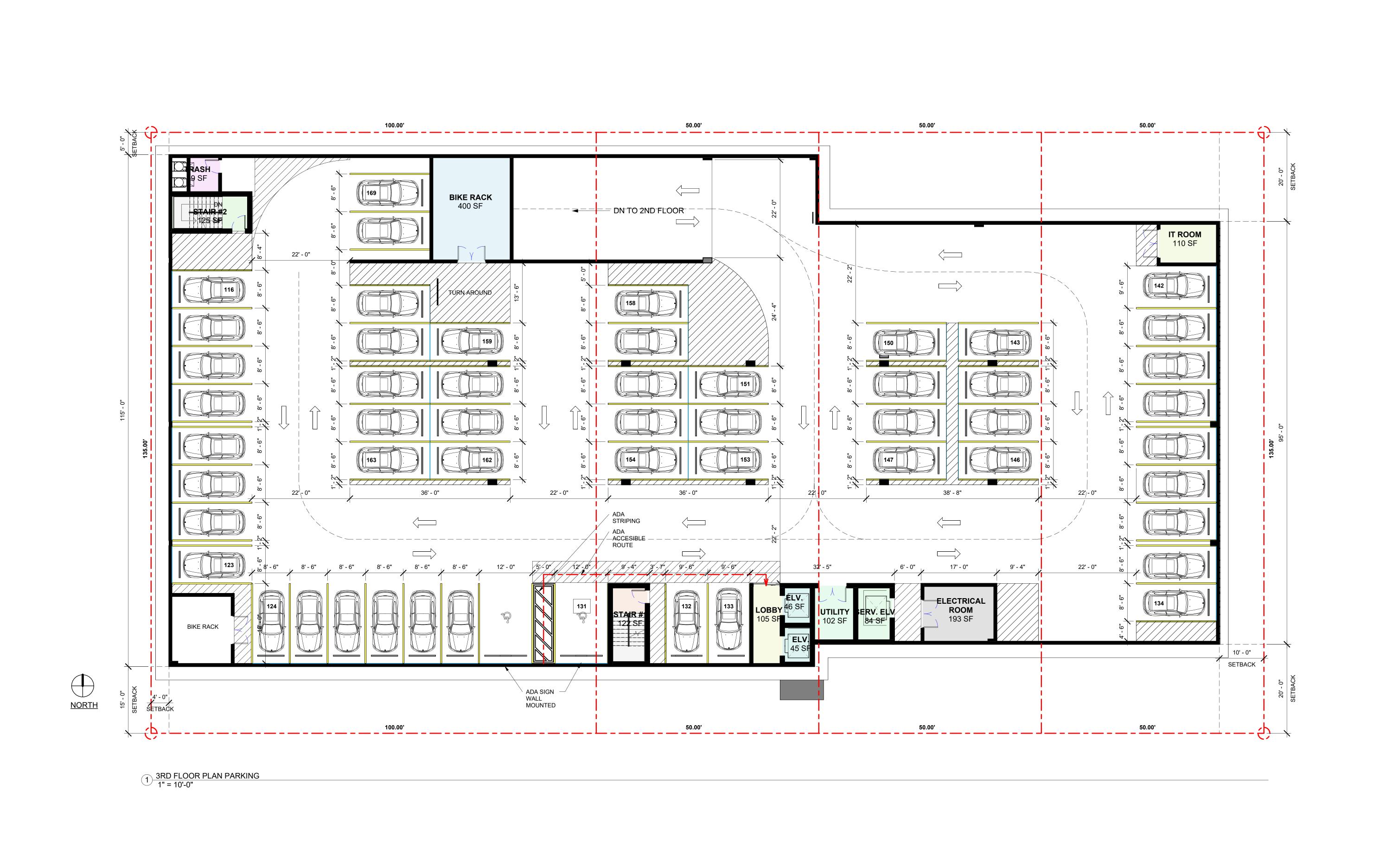
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JOB. NO.: 024-052 SHEET: A 1.2 SHEETS:

1" = 10'-0"



PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

SEAL: AR 0017852 LUIS LA ROSA

DRAWN: Author

CHECKED: Checker

DATE: 9/5/2024

JOB. NO.: 024-052

SHEET:

SCALE: AS NOTED

A 1.3

SHEETS:

1" = 10'-0"

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Luis -Registered Architect AR#-0017852 LaKosa

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FOR: YWOOD DEVELOPMENT SROUP IN(

STREET | I-UNITS MUI ZEBI DEVE 1723 & 1727 141 PROPOSED 721 15,

SEAL: AR 0017852 LUIS LA ROSA

DRAWN: Author

CHECKED: Checker

DATE: 9/5/2024

JOB. NO.: 024-052

SHEET:

SCALE: AS NOTED

A 1.4

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SHEETS:

1" = 10'-0"



PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

SEAL: AR 0017852 LUIS LA ROSA

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DRAWN: Author

CHECKED: Checker

DATE: 9/5/2024

SCALE: AS NOTED

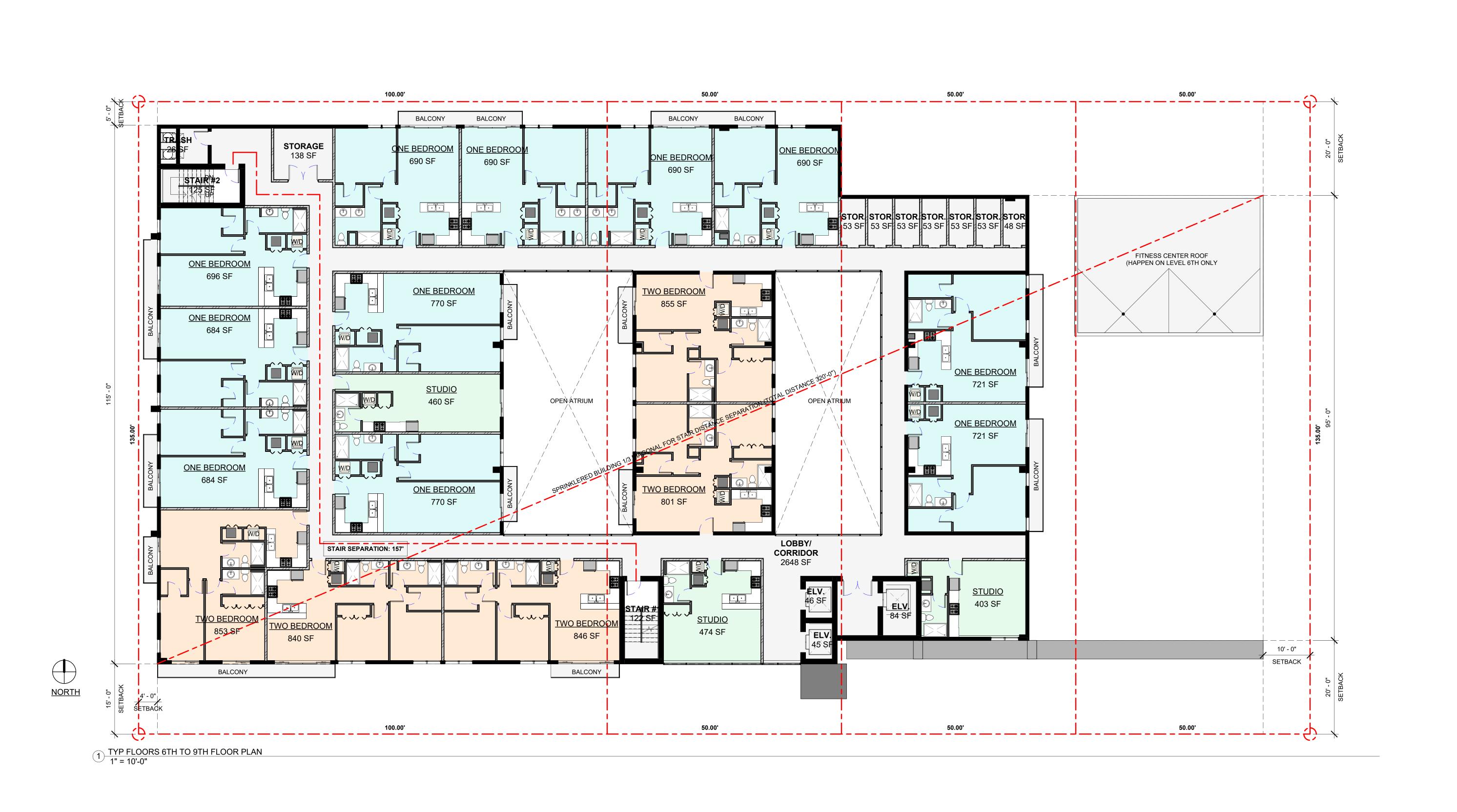
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OF: SHEETS: 71

1" = 10'-0"



PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:

ZEBI DEVELOPMENT GROUP INC.

1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

SEAL: AR 0017852 LUIS LA ROSA

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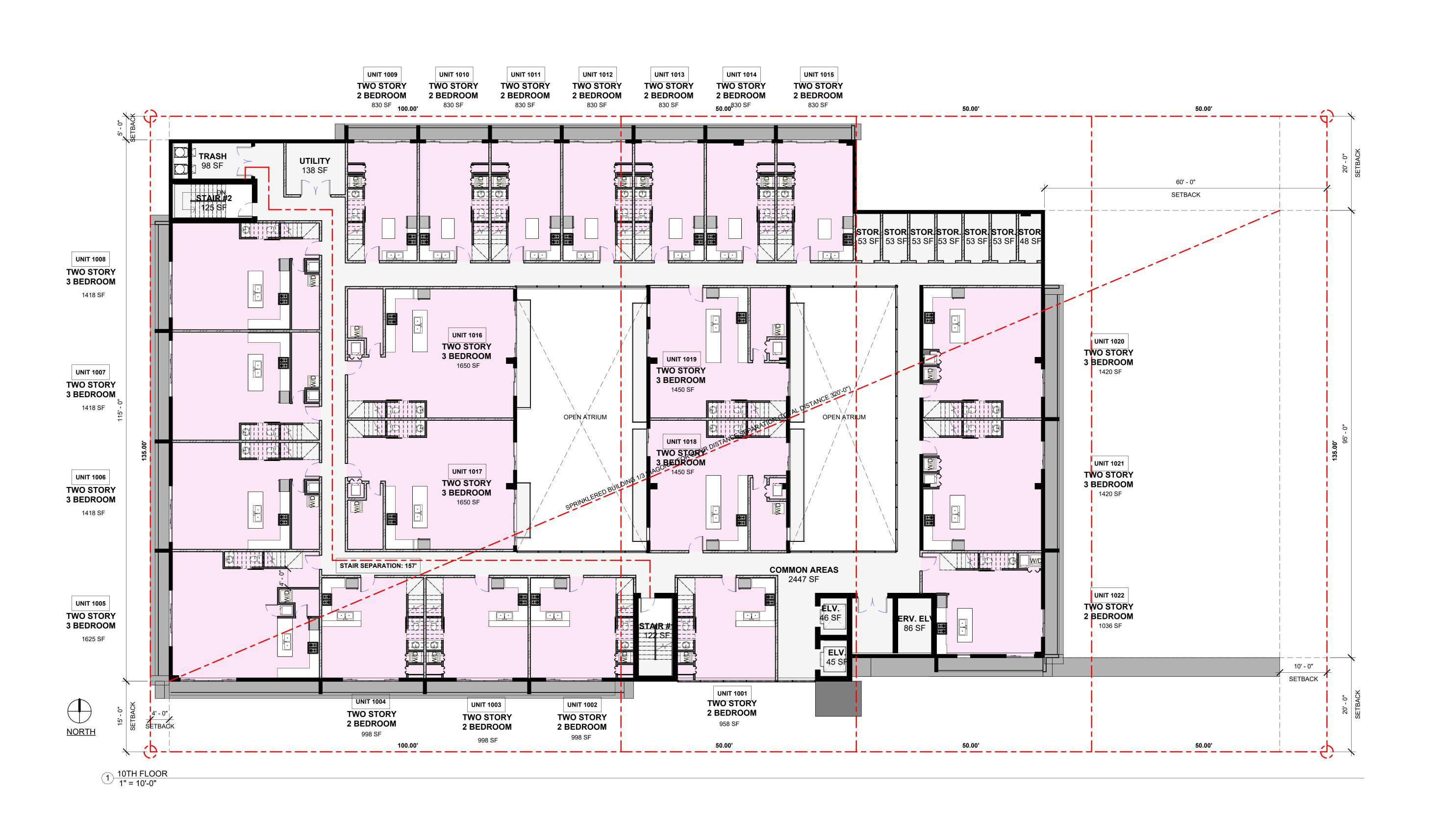
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DEVELOPMENT FOR: PMENT GROUP INC. CKINLEY STREET HOLLYWOOD RIDA 33020 FAMILY F 141-UNITS MU ZEBI DEV 1723 & 17 PROPOSED **—** 72 15,

SEAL: AR 0017852 LUIS LA ROSA

DRAWN: Author

CHECKED: Checker

DATE: 9/5/2024

JOB. NO.: 024-052

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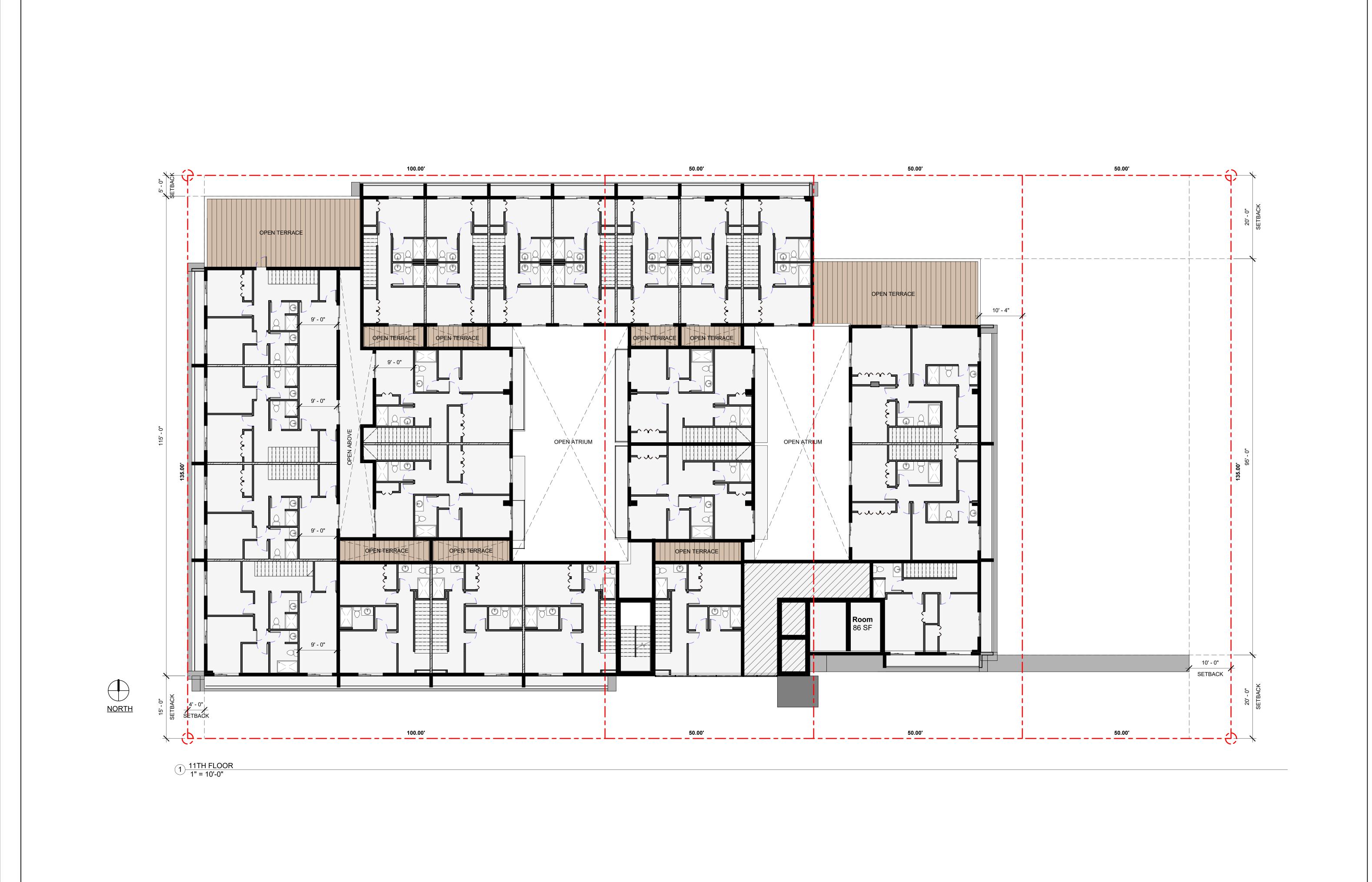
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Luis -Registered Architect AR#-0017852 Lakosa

Revision

REV DATE BY

SHEETS: 1" = 10'-0"



PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

ARCHITECTURE & PLANNING 9000 SHERIDAN STREET ST. 158 PEMBROKE PINES, FL 33024

(OFF.) - 305-403-7926 (CELL)- 786-543-0851 E-MAIL: llarosa@larosaarchitectcts.cc

Luis -Registered Architect AR#-0017852 Lakosa

Revision

REV DATE BY

DRAWN: Author

CHECKED: Checker

DATE: 9/5/2024

SCALE: AS NOTED

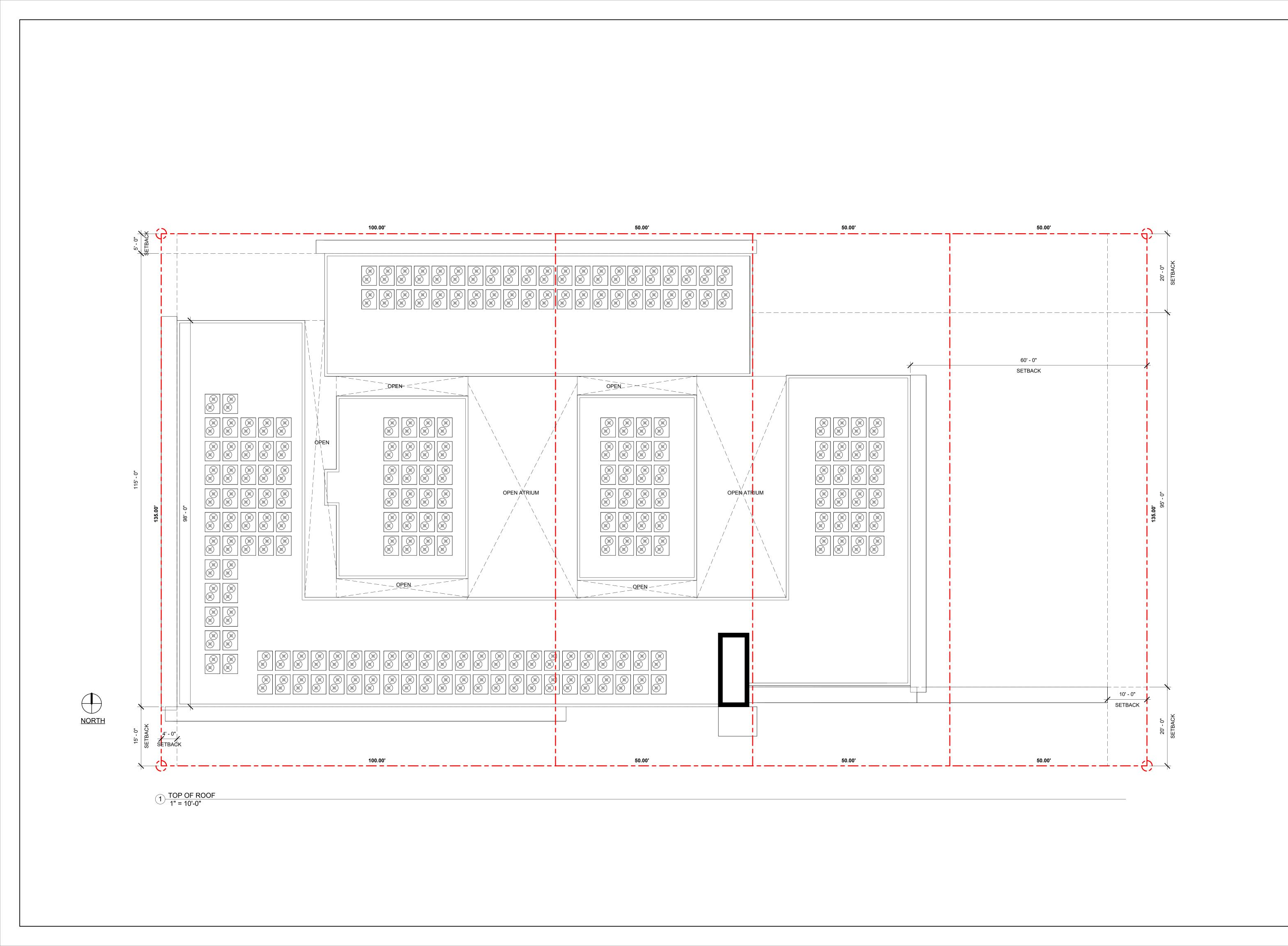
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SEAL: AR 0017852 LUIS LA ROSA

SHEETS: 5



FOR: PMENT GROUP INC. CKINLEY STREET HOLLYWOOD RIDA 33020 DEVELOPMENT FAMILY ZEBI DEVELOF 1723 & 1727 MC FLOF 141-UNITS MU **—** 72 15,

LLRArchitects, Inc.

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ARCHITECTURE & PLANNING 9000 SHERIDAN STREET ST. 158 PEMBROKE PINES, FL 33024

E-MAIL: LLAROSA@LAROSAARCHITECTCTS.C

Lins -Registered Architect AR#-0017852 Lakora

Revision

REV DATE BY

PROPOSED SEAL: AR 0017852 LUIS LA ROSA

DRAWN: Author CHECKED: Checker DATE: 9/5/2024 SCALE: AS NOTED JOB. NO.: 024-052 SHEET: A 1.9 SHEETS:

1" = 10'-0"



LIRArchitects, Inc.

ARCHITECTURE & PLANNING
9000 SHERIDAN STREET ST. 158
PEMBROKE PINES, FL 33024

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Lini -Registered Architect
AR#-0017852

Revision

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

SEAL: AR 0017852 LUIS LA ROSA

DRAWN: Author

CHECKED: Checker

DATE: 9/5/2024

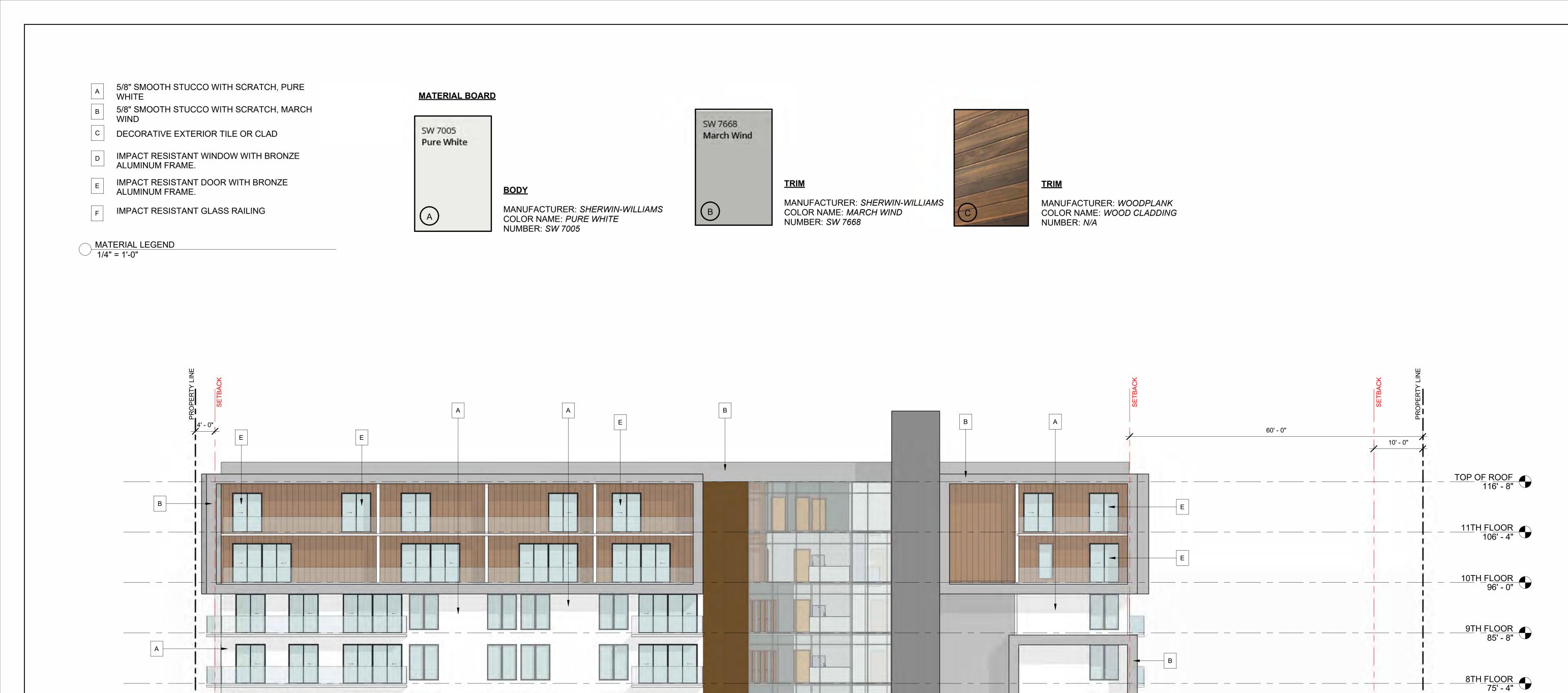
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OF: SHEETS: 71

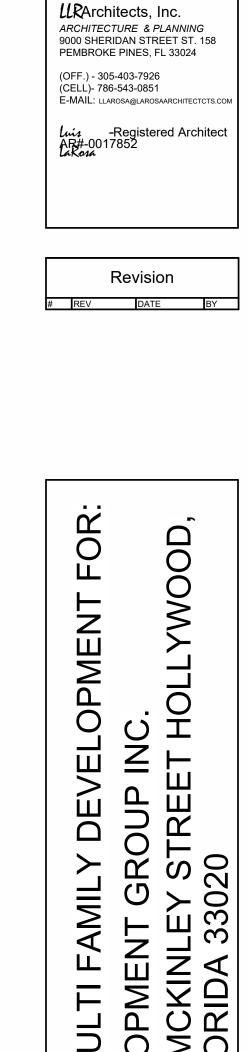


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A —

Α

1 PROPOSED-SOUTH ELEVATION
1" = 10'-0"



LTI FAMILY TEBI DEVELOF 1723 & 1727 MC FLOF PROPOSED $\overline{}$ 172 15, / SEAL: AR 0017852 LUIS LA ROSA

7TH FLOOR 65' - 0"

5TH FLOOR 44' - 4"

4TH_FLOOR 34' - 0"

2ND FLOOR

- PARKING

13' - 4"

1ST FLOOR
PARKING
FIRST FLOCO"
PLAN
-1' - 0"

3RD FLOOR PLAN
PARKING
23' - 8"

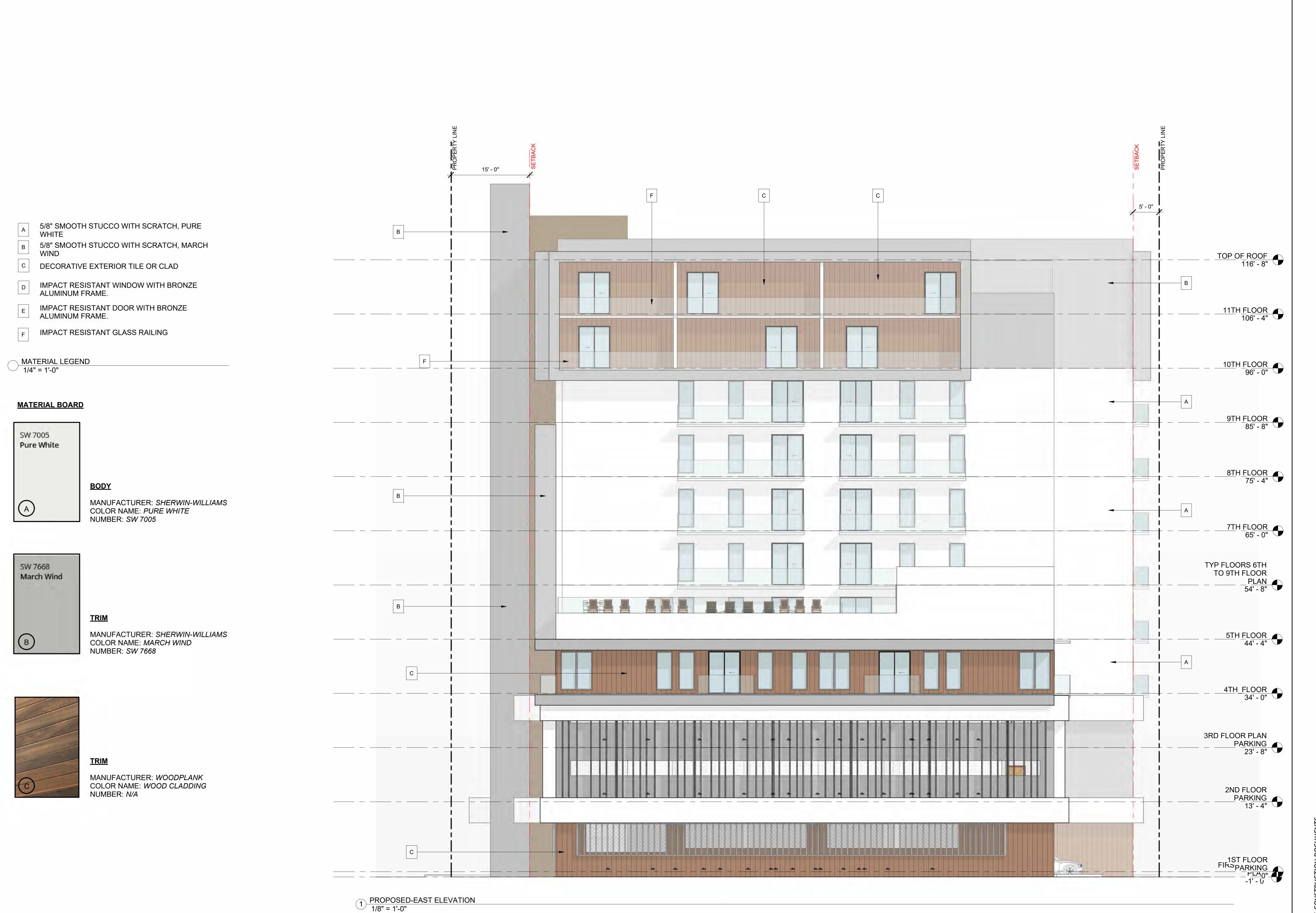
В

PLAN 54' - 8"

TYP FLOORS 6TH TO 9TH FLOOR

DRAWN: Author CHECKED: Checker DATE: 9/5/2024 SCALE: AS NOTED JOB. NO.: 024-052 SHEET: A 2.2

2 SHEETS: 7



ARCHITECTURE & PLANNING 9000 SHERIDAN STREET ST. 158 PEMBROKE PINES, FL 33024 (OFF.) - 305-403-7926 (CELL)- 786-543-0851 E-MAIL: LLAROSA@LAROSAARCHITECTCTS.CI Luis -Registered Architect AR#-0017852 LaKosa

Revision

DEVELOPMENT FOR: PMENT GROUP INC. CKINLEY STREET HOLLYWOOD RIDA 33020 LTI FAMILY 141-UNITS MUL ZEBI DEVELOF 1723 & 1727 MC FLOF

SEAL: AR 0017852 LUIS LA ROSA

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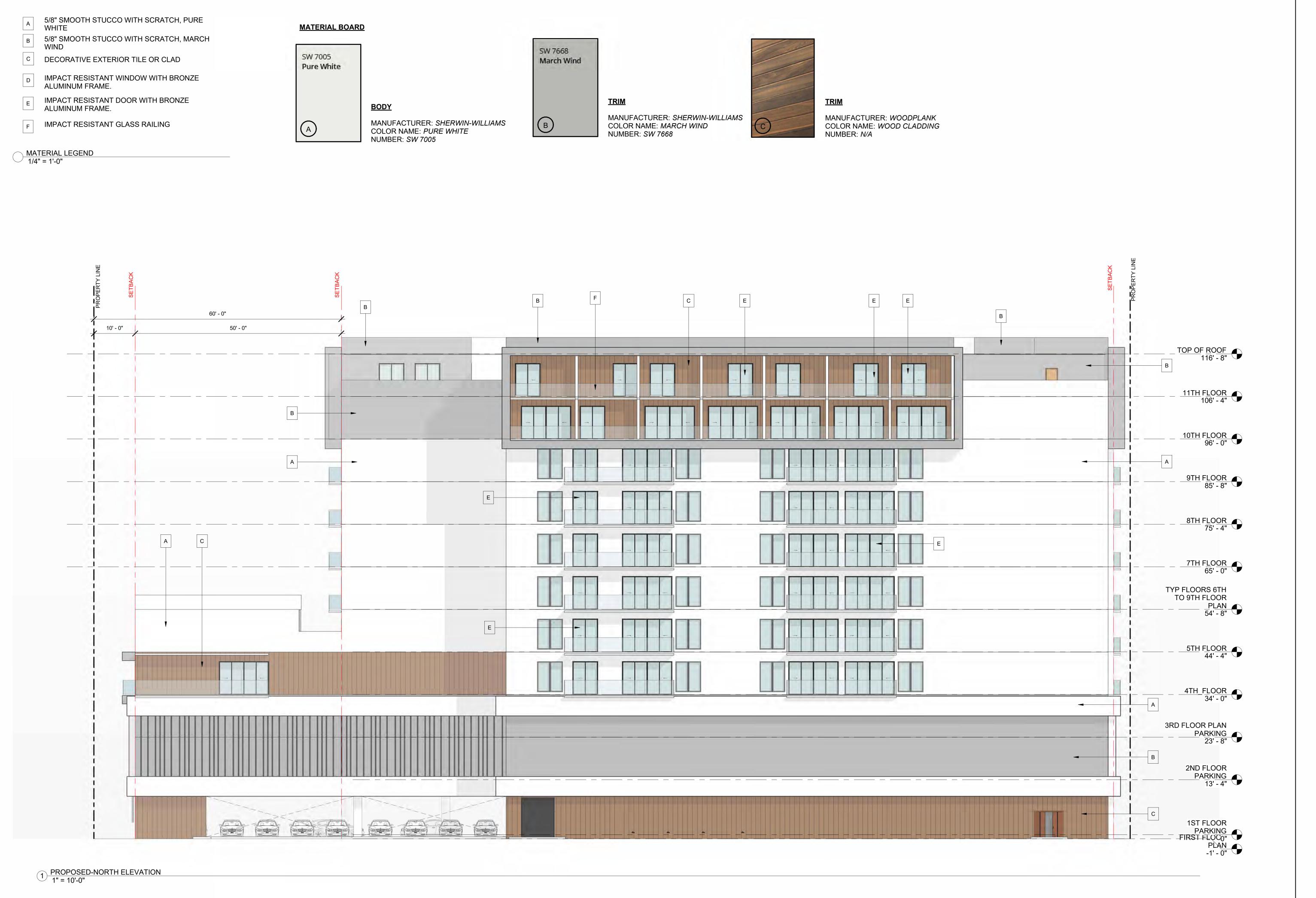
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3 SHEELS: 12/11/2024



LLRArchitects, Inc.

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Lis -Registered Architect
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Revision

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

DATE: 9/5/2024

SCALE: AS NOTED

JOB. NO.: 024-052

SHEET: 42.4

OF: SHEETS: 71

SEAL: AR 0017852 LUIS LA ROSA

DRAWN: Author

CHECKED: Checker



FOR: DEVELOPMENT DPMENT GROUP INCACHINEY STREET PARIDA 33020 LTI FAMILY ZEBI DEVELOF 1723 & 1727 MC FLOF 141-UNITS MU PROPOSED 1721 715,

LLRArchitects, Inc.

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ARCHITECTURE & PLANNING 9000 SHERIDAN STREET ST. 158 PEMBROKE PINES, FL 33024

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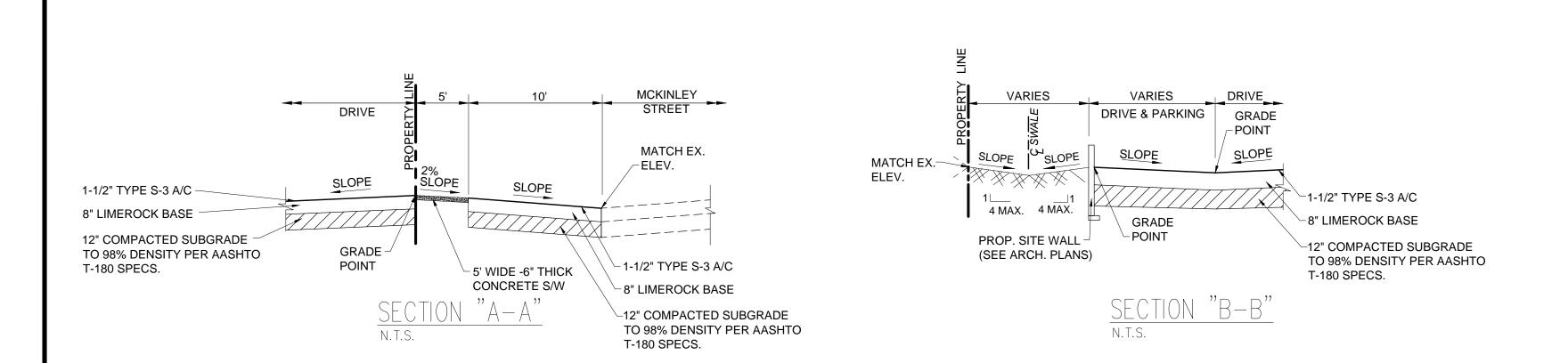
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SEAL: AR 0017852 LUIS LA ROSA DRAWN: Author

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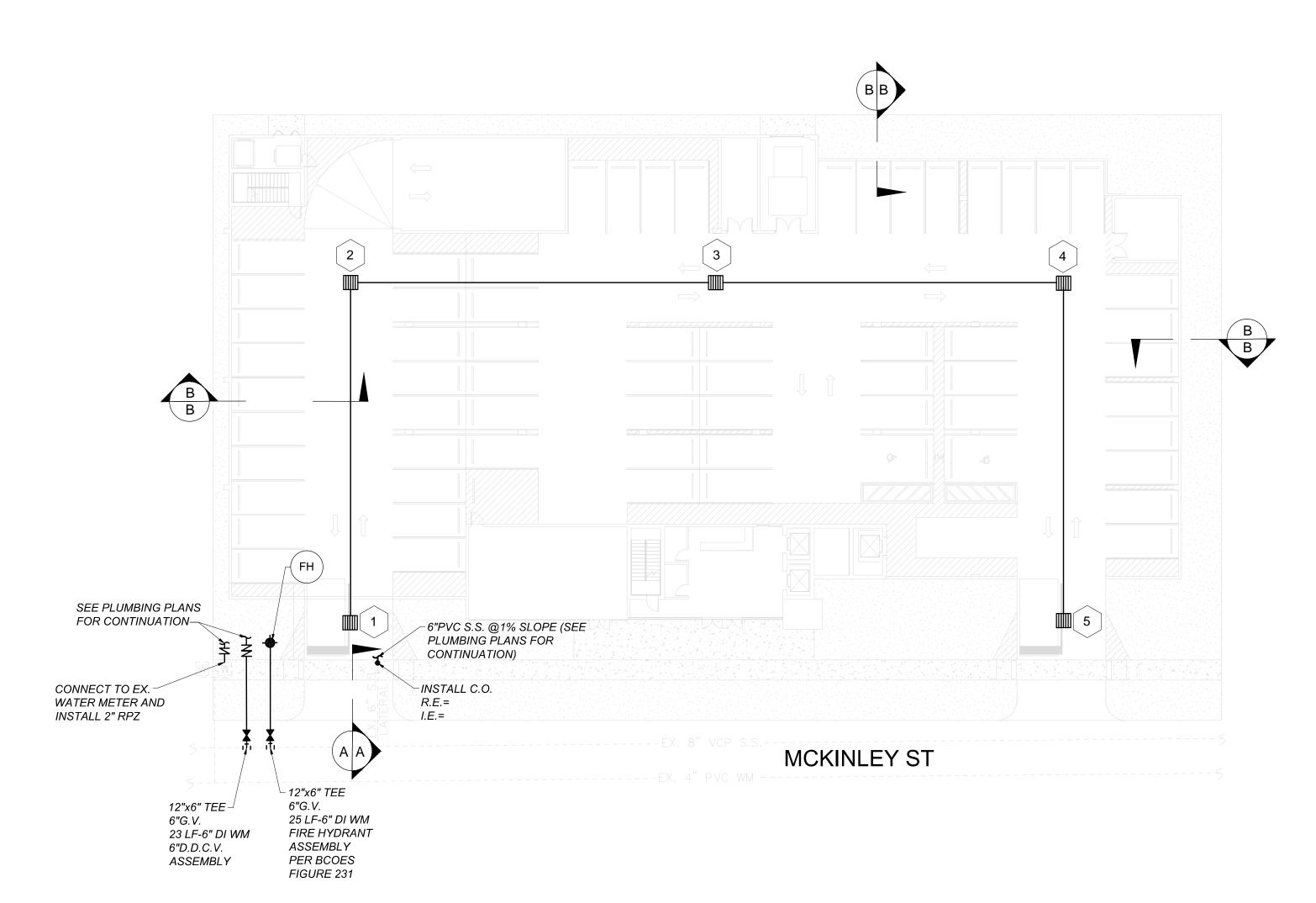
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SHEETS:











261 UNITS x 250 GPD/UNIT=62,250 GPD

1. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II OR V LICENSE AS PER fs

2. NO FIRE PUMP IS REQUIRED.

3. PER NFPA 1, 12.3.2* A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DECIVES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BEIN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

NOTE:

1. ALL STREETS & ALLEYS ADJACENT TO SITE TO BE MILLED & RESURFACED. (FULL WIDTH OF ROAD AT STREET OR ALLEY AND FULL LENGTH OF PROPERTY).

2. THE MAX. LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.

3. REFER TO DETAIL 2 ON SITE PLAN SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.

LEGEND RIM ELEVATION **GRATE ELEVATION** INVERT ELEVATION DIRECTION OF OVERLAND FLOW TOP OF SLAB ELEVATION EXISTING ELEVATIONS PROPOSED ELEVATION PROPOSED CONCRETE ELEVATION EXISTING WATER METER PROPERTY LINE DRAINAGE STRUCTURE NUMBER

FIRE FLOW CALCULATION: CODE: F.F.P.C. 2017 EDITION & NFPA 220

BUILDING TYPE: 1

TOTAL AREA: 32,953 S.F.

TYPE OF OCCUPANCY: APARTMENT BUILDING AS PER SECTION 18.4.5.2. FOR NON-ONE & TWO-FAMILY DWELLING.

TABLE 18.4.5.1.2 - 48,301-59,000 S.F.=2,500 GPM FOR A DURATION OF 2 HOURS A REDUCTION OF 75% SHALL BE PERMITTED TO BE APPLIED. MINIMUM FLOW: 1,000 GPM STANDARD SPRINKLERS OR 600 GPM QUICK

1,500 GPMx.25=375 GPM (USE MINIMUM QUICK RESPONSE=600 GPM@20PSI).

FLOW TEST RESULTS: STATIC = PSI RESIDUAL = PSI

TOTAL FLOW= 1,060+920 GPM = 1,980 GPM

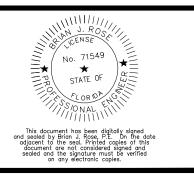
S ARCHITECTS, INC.
SHERIDAN STREET
SUITE 158
BOKE PINES, FL, 330 LLR 9000 LORID/

- 0 M 4 M 0 V 8

MCKINLE Ш 23 OD HOLLYWOO 5-1 CIVIL

Engineer

SCALE: 1"=20' DEC 2024 DESIGNED BY: DRAWN BY: B.J.R. A.R. PROJECT NO. *24-0331* SHEET



The following items are not reviewed or accepted by Broward County:

1. Broward County Traffic Engineering Division's review does not include a review and acceptance of the project's design or operation. These items are to be reviewed and approved by the City Engineer.

2. Broward County Traffic Engineering Division does not review and

approve, or inspect and accept the following items for maintenance: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on—street parking and related markings and signing, in—road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on—site pavement markings—work and asphalt work. and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.

3. The City Engineer is responsible for the review and approval of the design and operation of the project, and for the inspection and acceptance of the following items that will be maintained by the City: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, pavement markings on or adjacent to painted asphalt, raised intersections and related markings and signing, un-warranted mid—block crosswalks and related markings and signing, un—warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on—street parking and related markings and signing, in—road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on—site pavement markings and signing, off—site pavement markings and signing in right—of—way that is not dedicated for public use, sidewalk

> ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA RÉQUIREMENTS.

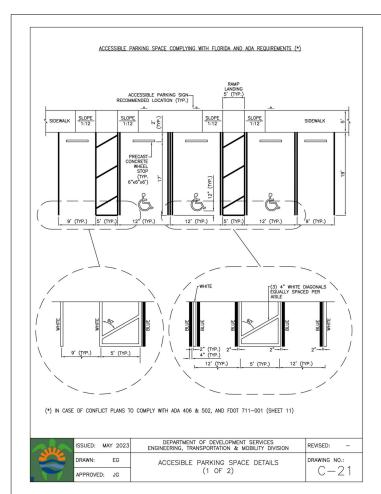


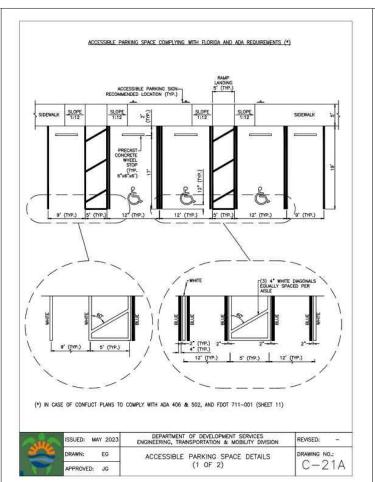
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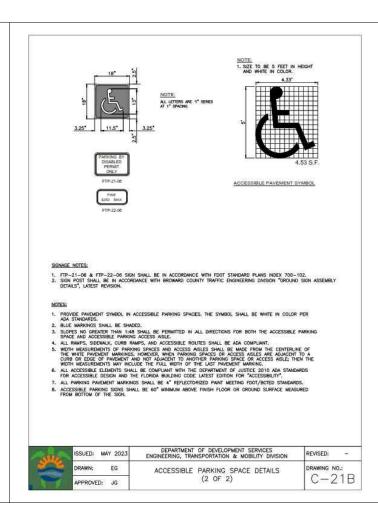


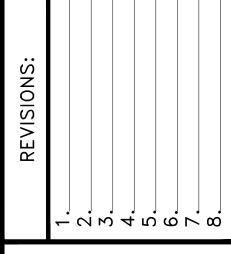
- A = 6" SOLID WHITE
- B = 12" SOLID WHITE CROSSWALK C = 8" SOLID WHITE CHEVRONS
- D = 18" SOLID WHITE
- E = 24" SOLID WHITE
- F = 6" SKIP WHITE TYP (10'- 30') G = 6" SKIP WHITE TYP (6'-10')
- H = 6" SKIP WHITE TYP (2'-4')I = 6" SOLID YELLOW
- J = 18" SOLID YELLOW
- K = 6" DOUBLE YELLOW
- L = AMBER/AMBER RPM's @ 1' C.C.
- M = 6" SKIP YELLOW TYP (6'-10')N = 6" SKIP YELLOW TYP (2'-4')
- P = R3-5R RIGHT TURN ONLY SIGN
- Q = R3-1 NO RIGHT TURN SYMBOL
- R = TYPE 'D' CURB S = TYPE 'F' CURB AND GUTTER
- T = CONCRETE WHEEL STOP
- U = WHITE PAINTED HC SYMBOL
- V = HANDICAP W / VAN ACCESSIBLE (R7-8P)W = WHITE DIRECTIONAL ARROWS
- X = W14-1 DEAD END SIGN
- Y = R5-1 DO NOT ENTER SIGN
- Z = R1-1 STOP SIGN

ADA SYMBOL









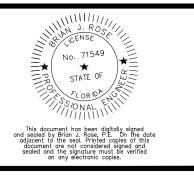
NORTH

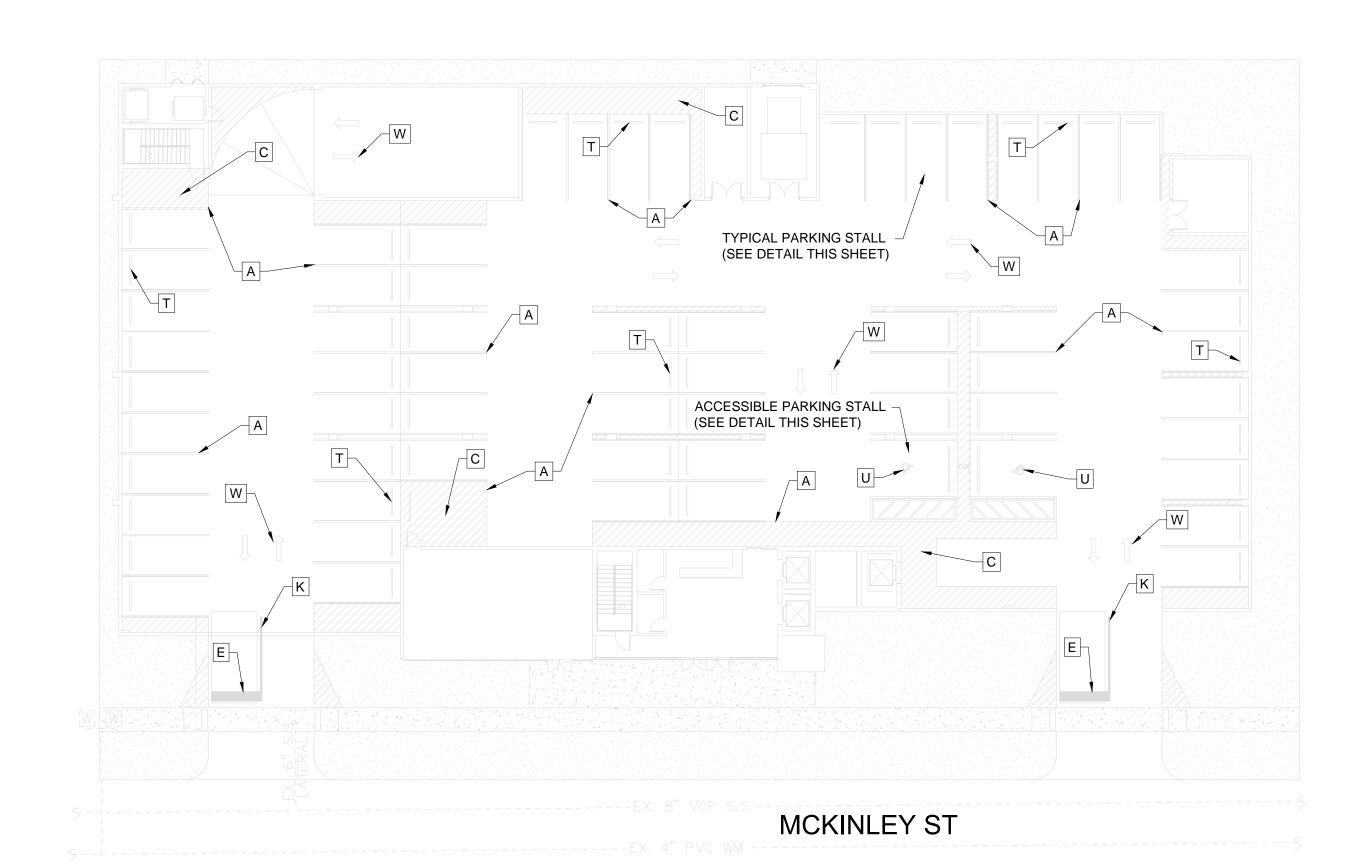
LLR ARCHITECTS, INC. 9000 SHERIDAN STREET SUITE 158 PEMRBOKE PINES, FL, 3302

LORIDA 723 MCKINLEY

00 HOLLYWOO TASK: ЭЈЕСТ: **1715-1**

SCALE: 1"=20' DEC 2024 DRAWN BY DESIGNED BY: B.J.R. A.R. PROJECT NO. *24-0331* SHEET **C-2**





GENERAL NOTES

- 1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRAC-TOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
- 2. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770 . FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

0118211	
RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY

PROPOSED EXCAVATION

FLORIDA POWER AND LIGHT COMPANY BELL SOUTH COMCAST CATV CITY OF HOLLYWOOD

4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

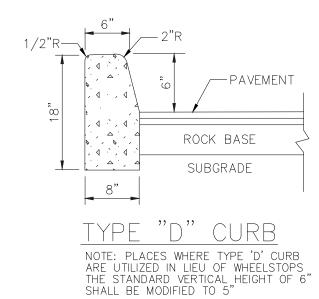
- 5. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO CITY OF HOLLYWOOD FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.
- 7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FP&L, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.

8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.

- 9. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.
- 10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK.
- 11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT
- 12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.

PAVEMENT MARKING AND SIGNING NOTES

- 1. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 711-MINIMUM THICKNESS 90 MILS (ALKYD ONLY).
- 2. ALL MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVISED FOR STREETS AND HIGHWAYS, AND FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
- 3. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT.
- 4. THESE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
- 5. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF HOLLYWOOD BEFORE INSTALLATION.
- 6. REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART.
- 7. THREE BLUE REFLECTORS SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS.



REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 1' LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES. 3. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1

PAVING, GRADING AND DRAINAGE NOTES

PARKING LOT AREA SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND

FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS. 4. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH

AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT

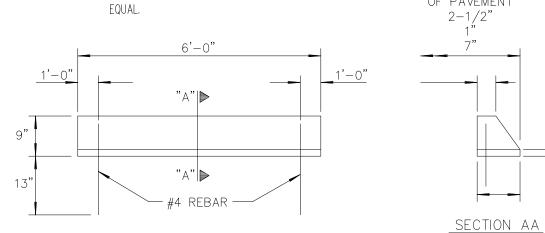
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.

MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.

- 6. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
- 7. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
- 8. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- 9. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1 FOOT OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN.
- 10. ALL SUBGRADE SHALL HAVE AN LBR OF 40, UNLESS OTHERWISE NOTED, AND SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
- 11. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM AND MAGNESIUM, UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
- 12. ASPHALT SHALL BE OF THE TYPE DESIGNATED ON THE DRAWINGS.
- 13. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
- 14. CONCRETE SIDEWALK SHALL BE 4 INCHES THICK ON COMPACTED SUBGRADE, WITH 1/2 INCH EXPANSION JOINTS PLACED AT A MAXIMUM OF 75 FEET. CRACK CONTROL JOINTS SHALL BE 5 FEET ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS OTHERWISE SPECIFIED BY LOCAL CODES, OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6 INCHES THICK WITH 6" X 6" (IOG.) WELDED WIRE MESH REINFORCEMENT.
- 15. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
 - RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76, CLASS III, WALL THICKNESS "B", LATEST EDITION.
 - CMP = CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196 CORRUGATED METAL ALUMINUM PIPI (SMOOTH LINES), ASTM DESIGNATION M-196
 - PVC = POLYVINYLCHLORIDE PIPE PCMP = PERFORATED CMP, FDOT SECTION 945
 - DIP = DUCTILE IRON PIPE
- HDPEP = SMOOTH LINED HIGH DENSITY POLYETHYLENE, AASHTO M 294 TYPE S

SCP = SLOTTED CONÒRETE PIPE, FDOT SECTIONS 941 AND 942.

- 16. ASPHALTIC CONCRETE TYPE S-III SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 331-1 THROUGH 331-6 OF F.D.O.T. STANDARD SPECIFICATIONS. ASPHALTIC CONCRETE TYPE S-1 SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF F.D.O.T. STANDARD SPECIFICATIONS.
- 17. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- 18. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- 19. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM SPECIFICATION A-615 AND A-305, LATEST REVISION.
- 20. ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR NOTE 4 ---DIAMETERS.
- 21. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
- 22. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 CEMENT MORTAR. 23. JOINTS IN CORRUGATED ALUMINUM PIPE SHALL EMPLOY CORRUGATED METAL BANDS OF
- SIMILAR METAL AND CORRUGATIONS WITH NEOPRENE, RAM-NEK, OR BITUMASTIC GASKETS INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- 24. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 OF THE FLORIDA DOT STANDARD SPECIFICATIONS, LATEST REVISION.
- 26. ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
- 27. JOINTS IN HDPE PIPE SHALL BE ADS PRO LINK ST, HANCOR SURE TO PAVEMENT



CONCRETE WHEEL STOP DETAIL

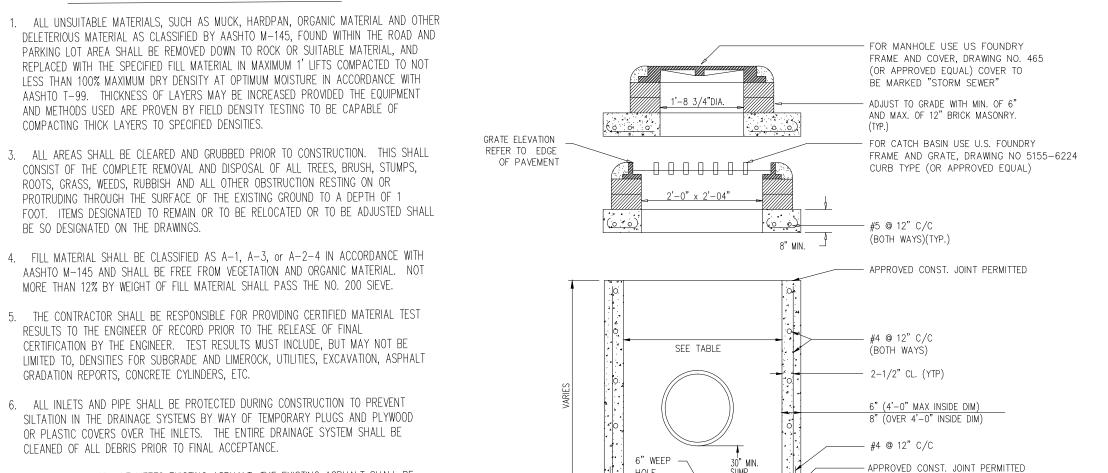
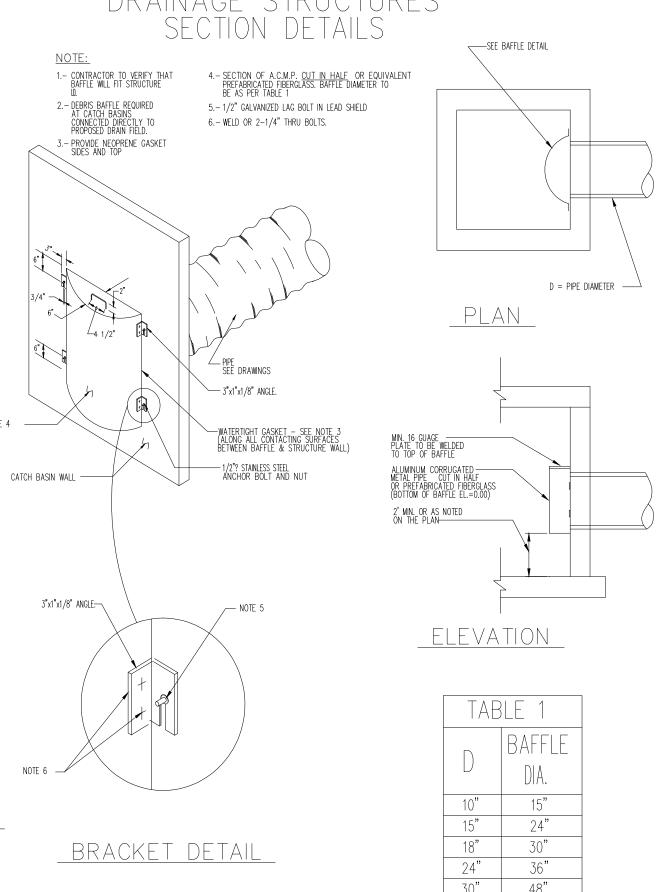
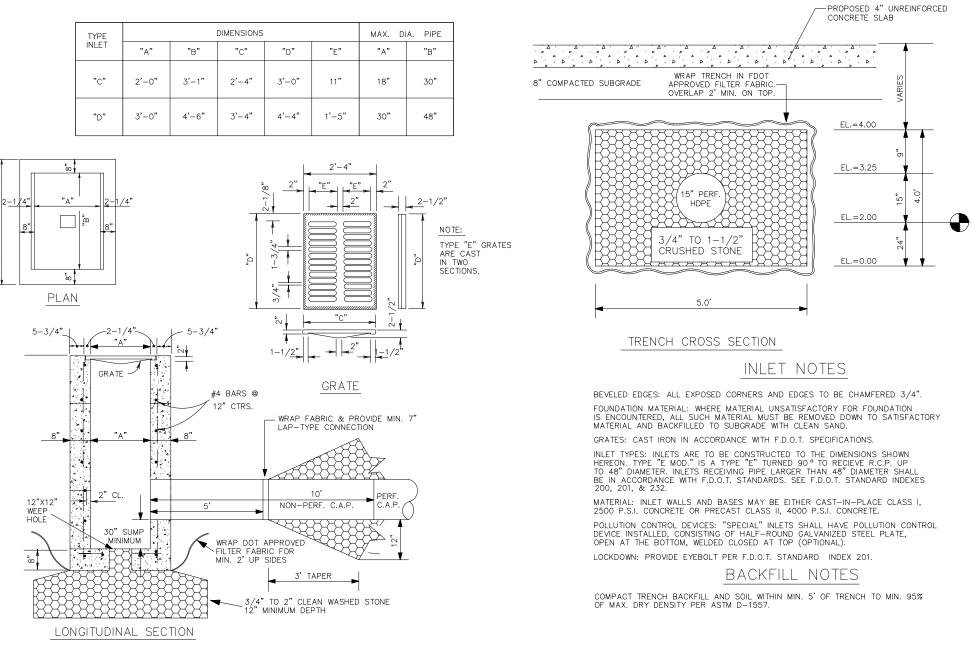


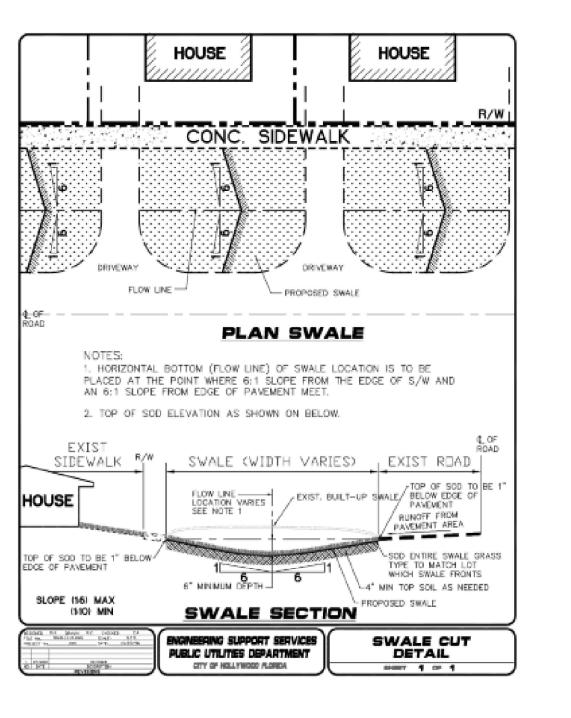
	TABLE OF INSIDE DIME	NSIONS
F F	or rectangular si	TRUCTURES
STRUCTURE TYPE	INLET	MANHOLE
В	3'-0" X 3'-0"	3'-0" X 3'-0"
С	3'-0" X 4'-0"	3'-0" X 4'-0"
D	3'-0" X 5'-0"	3'-0" X 5'-0"
F	4'-0" X 4'-0"	4'-0" X 4'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
Н	5'-0" X 6'-0"	5'-0" X 6'-0"
J	6'-0" X 6'-0"	6'-0" X 6'-0"
K	4'-0" X 6'-0"	4'-0" X 6'-0"
L	3'-0" X 6'-0"	3'-0" X 6'-0"
М	5'-0" X 5'-0"	5'-0" X 5'-0"

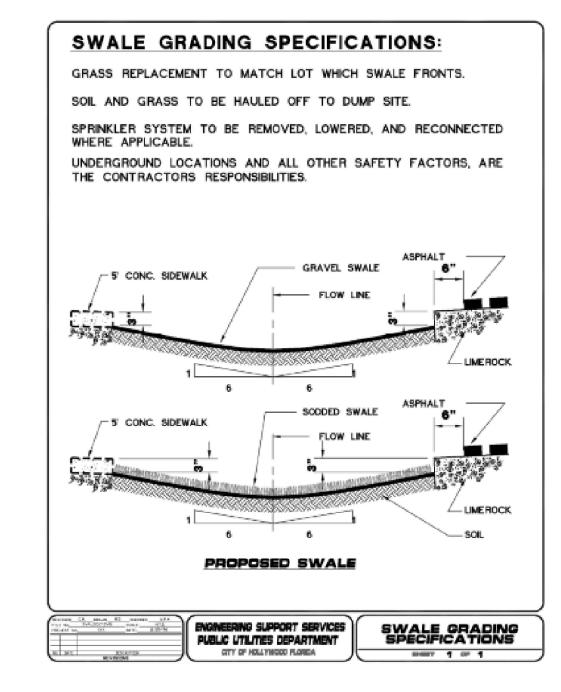


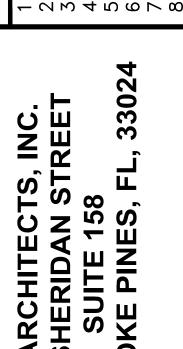
POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL



EXFILTRATION TRENCH







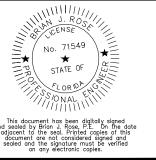
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DATE:	SCALE:		
DEC 2024	N.T.S.		
DESIGNED BY:	DRAWN BY:		
B.J.R.	A.R.		
PROJECT NO.			
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GENERAL NOTES:

- 1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK, THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- 2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES. ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- 3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT, ALSO. THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- 44. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
- 7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- 8. THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- 10. THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

GENERAL NOTES (CONTINUED):

- 12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- 13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- 14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- 15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- 16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY
- 17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
- 18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE
- 19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSD FIELD
- 20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO
- 22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- 23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- 24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSD FIELD ENGINEER.
- 25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC
- 26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSD.

GENERAL NOTES (CONTINUED):

- 27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER, CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- 28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- 29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- 30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
- 32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- 33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- 34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- 35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- 36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- 37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- 38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED. 39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140

GENERAL NOTES (CONTINUED):

40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC. AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.

41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18"

- 42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- 43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION, AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
- a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
- THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE
- THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
- PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
- e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE

LID WITH THE WORD

"WATER" OR "SEWER" CAST

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ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

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DEWATERING.

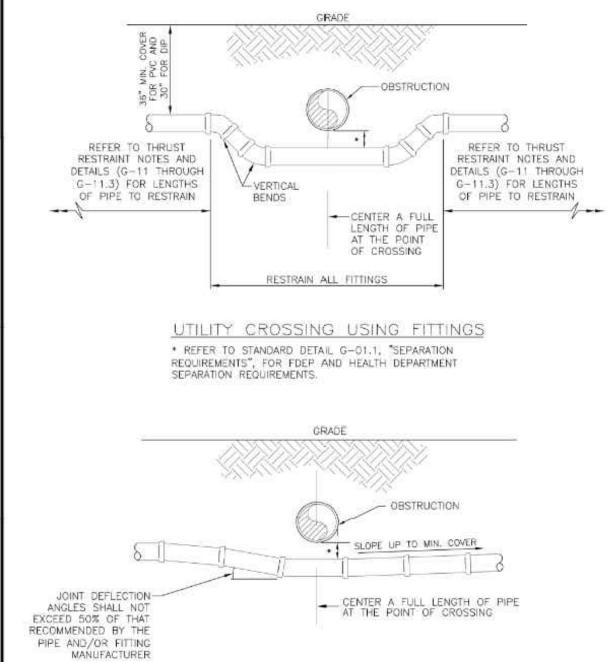
WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	WATER MAIN 3	WATER MAIN 12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inched is preferred	Alternate 3 ft minimum WATER MAIN
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	WATER MAIN 10 ft prefered 6 ft minimum	WATER MAIN 12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inched is preferred	Alternate 6 ft minimum WATER MAIN
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum	% <u></u>	:

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. 3 FT, FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE
- TOP OF THE GRAVITY SANITARY SEWER. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID. IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALY RESTRAINED.

BOTTOM OF ROADWAY OR EXISTING GI	The state of the s	FOR PAVEMENT RESTORATION REFER TO FDOT, BROWARD COUNTY PUBLIC WORKS, OR RIGHT-OF-WAY OWNER'S PAVEMENT RESTORATION DETAILS
GENERAL BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN THICKNESS, EACH LAYER SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY SELECT BACKFILL SHALL BE		12" VARIES
PLACED IN LAYERS NOT TO INITIAL EXCEED 6" IN THICKNESS. BACKFILL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY HAUNCHING		BACKFILL CONSOLIDATED TO CENTERLINE OF PIPE (SEE NOTE 1 BELOW).
BEDDING FOR— UNSUITABLE SOIL ONLY	PIPE O.D. + 2' MAXIMUM PIPE O.D. + 1' MINIMUM TRENCH WIDTH	FLAT OR RESTORED TRENCH BOTTOM

- 1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION, IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS
- 2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR LITILITIES"
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017. 4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.



UTILITY CROSSING USING JOINT DEFLECTIONS

FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

* REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR

-SAW-CUT AND MATCH ALL AROUND FOR EXISTING PAVEMENT UNPAVED AREAS ONLY -24"x24"x8" THICK CONCRETE COLLAR FINISHED-1" BELOW GRADE GRADE OR ALL AROUND FOR PAVEMENT PAVED AREAS ONLY CAST IRON ADJUSTABLE SCREW-ON TYPE VALVE BOX. REFER TO CITY SPECIFICATIONS FOR ACCEPTED MANUFACTURERS AND MODELS -VALVE BODY -VALVE BOX BASE VALVE BOX SHALL NOT-REST DIRECTLY UPON THE BODY OF THE VALVE OR UPON THE PIPE.

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	PIPE LAYING CONDITION TYPICA SECTION (D.I.P.)



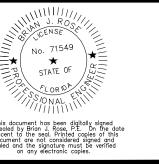
ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL UTILITY CROSSING DETAIL

REVISED: 06/08/2 RAWING NO.

CONCRETE COLLAR

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL TYPICAL VALVE BOX SETTING

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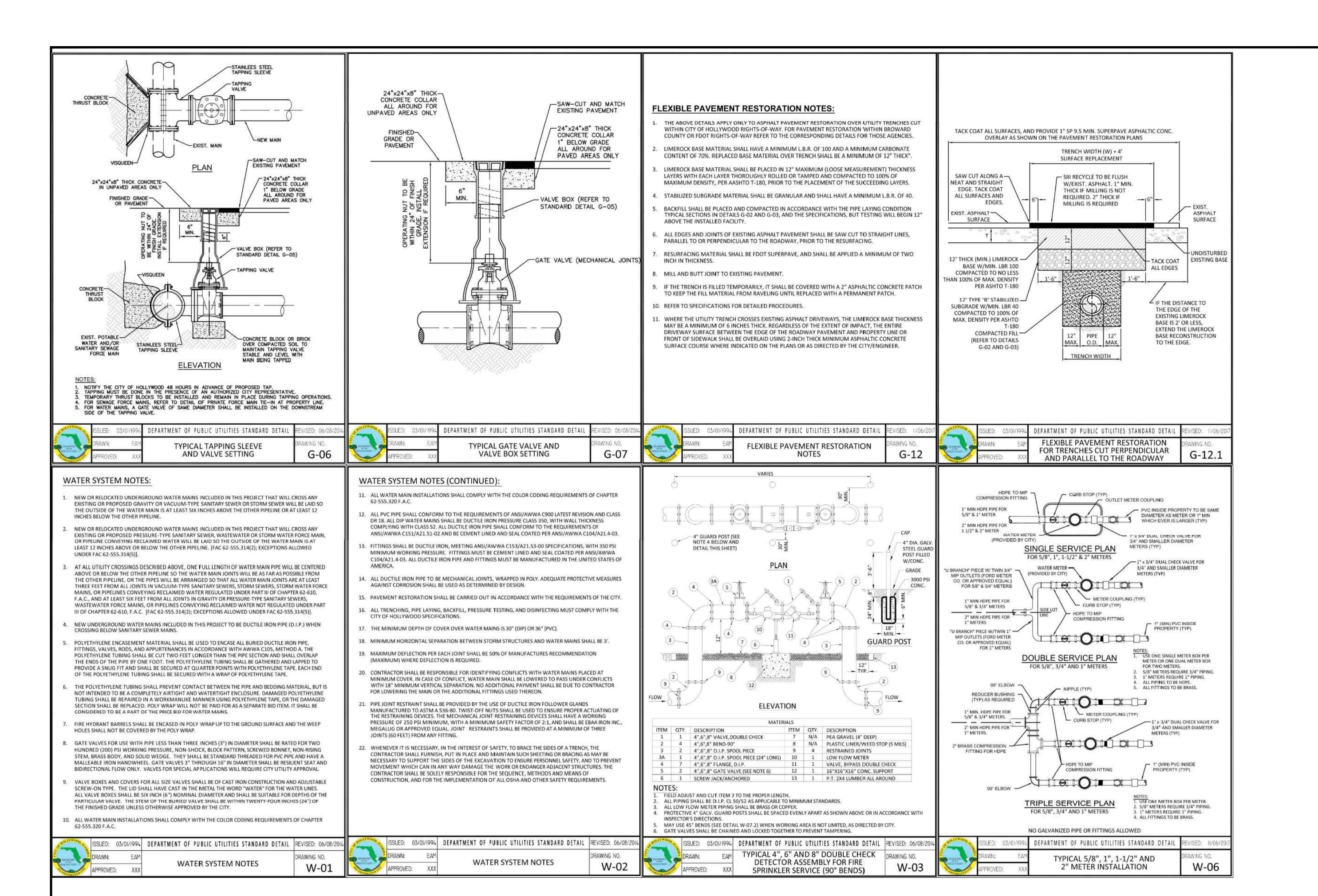
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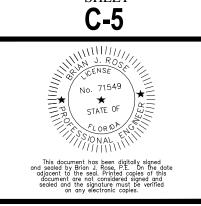
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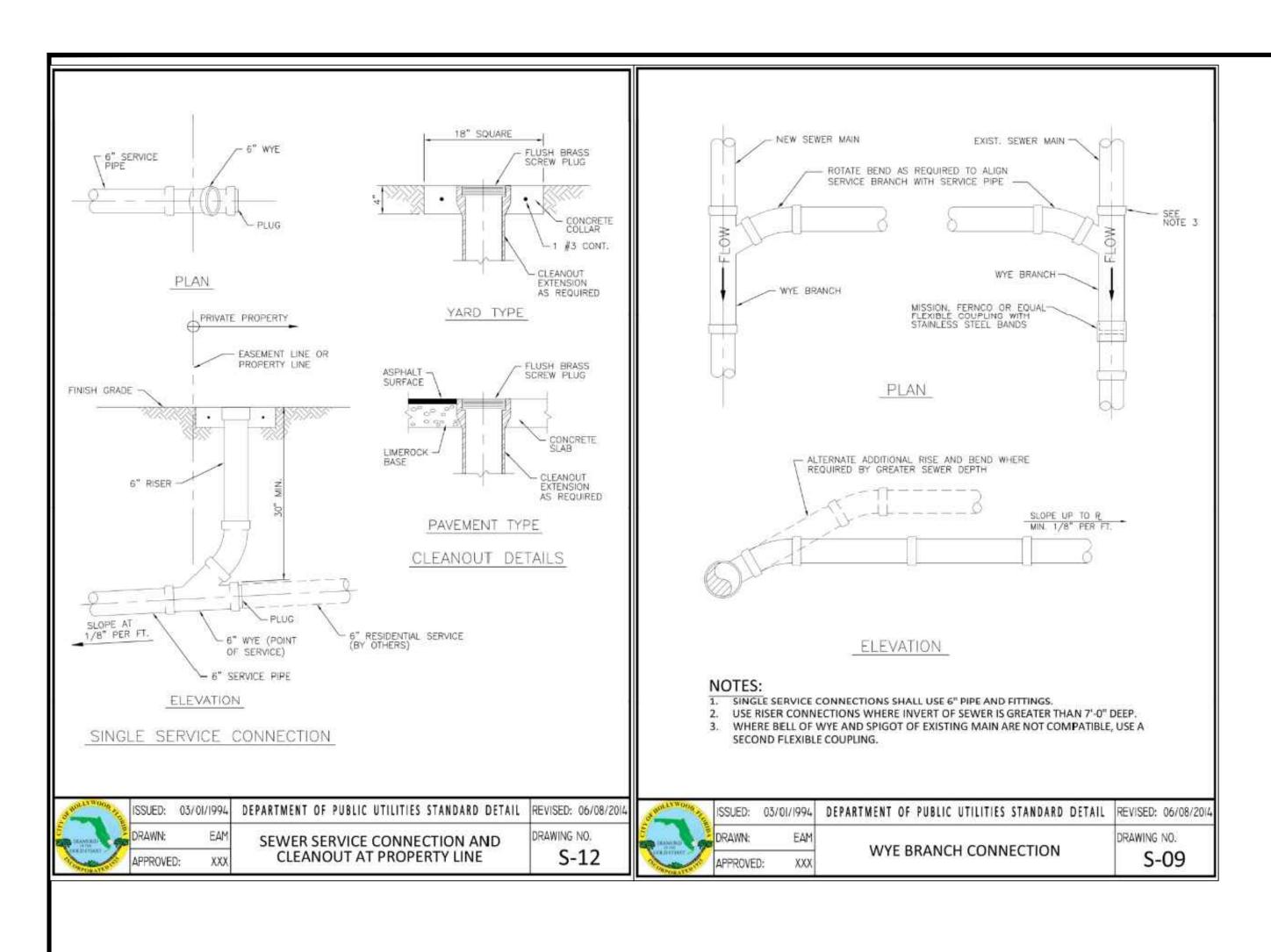
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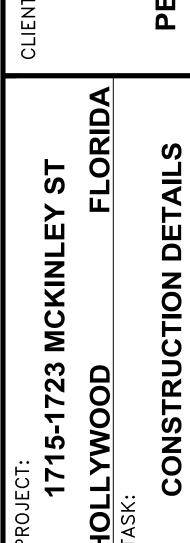
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PROJECT: 1715-1723 | HOLLYWOC TASK:

LLR ARCHITECTS, INC. 9000 SHERIDAN STREET SUITE 158 PEMRBOKE PINES, FL, 3303

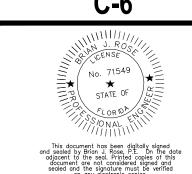
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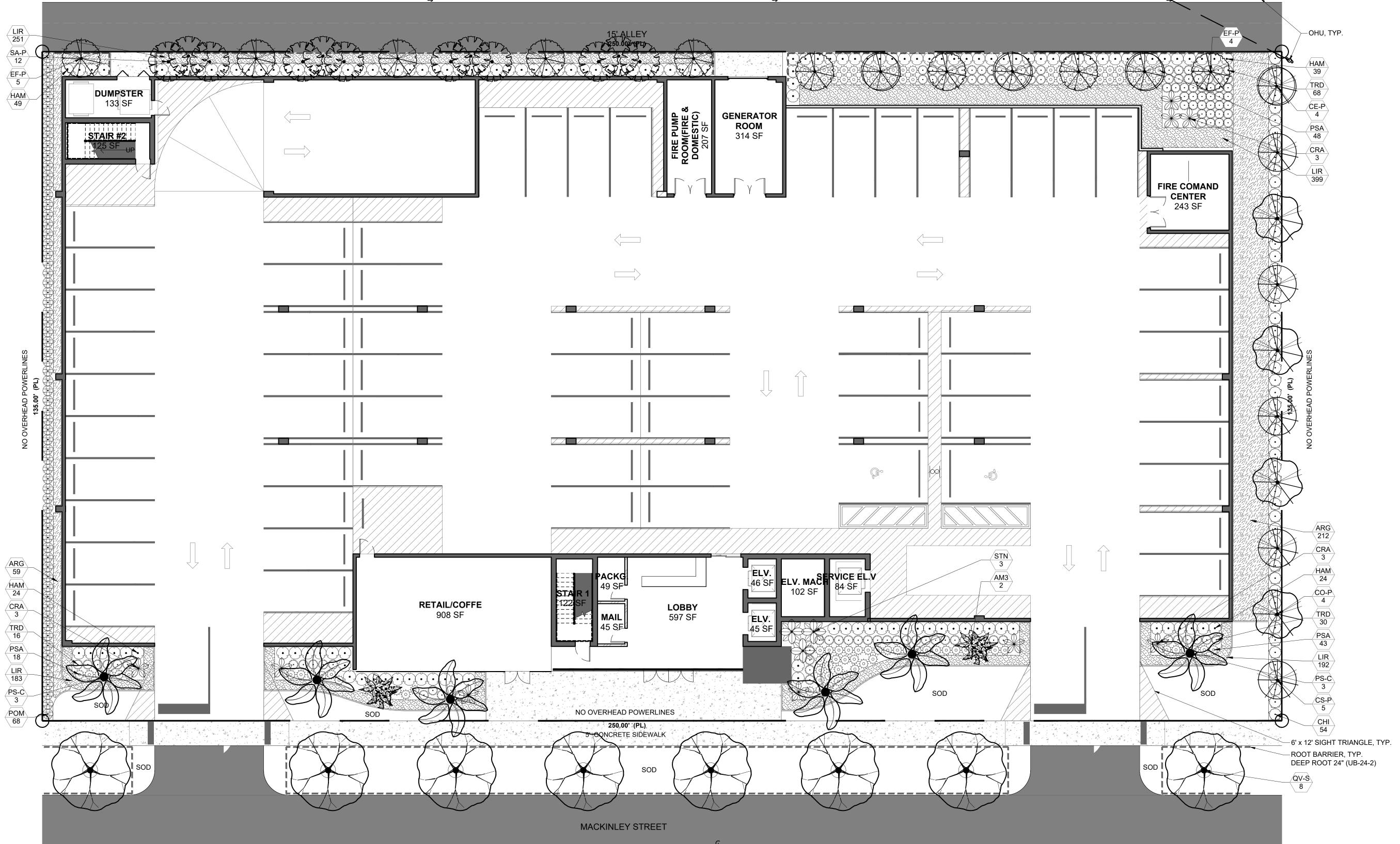
GGB Engineering

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS DATE:
DEC 2024
DESIGNED BY: SCALE: **N.T.S.** DRAWN BY: B.J.R.

PROJECT NO.

24.03.34 24-0331 SHEЕТ **С-6**





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_and	Iscape	Data:

RAC Zoning - FH-1 (Federal Highway Low-Medium Intensity Multi-Family District)	Required	Provided
Perimeter Landscape One 12' street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	8 Trees (250'/30)	8 Trees (See Schedule)
Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.	26 Trees (520'/20)	26 Trees (See Schedule)
Minimum Open Space All pervious areas must be landscaped with grass, ground cover, and/or shrubbery. Minimum of one tree per 1,000 sq. ft. of pervious area.	6 Trees (5,826/1,000)	6 Palms (See Schedule)
Total Required:	40 Trees	40 Trees (See Schedule)
Minimum Tree Sizes Shade trees: 2" DBH/ 12' height. Palm trees: 8' of GW or CT. (Three Palms = 1 Tree Credit)		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	24 Trees 250 Shrubs	34 Trees 304 Shrubs

Plant Schedule:

CODE T PS-C	REES Phoenix dactylifera 'Zahidi'	Zahidi Date Palm	FG, 8° CT, SGL, SP	No	High		6
PALM T	REES Adonidia merrillii	Christmas Palm Triple	FG, 6` OA, TRP, SP	No	Moderate		2
	TER TREES						
СО-Р	Conocarpus erectus	Green Buttonwood	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	High		4
CE-P	Conocarpus erectus 'sericeus'	Silver Buttonwood	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	High		4
CS-P	Cordia sebestena	Orange Geiger Tree	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	High		5
EF-P	Eugenia foetida	Spanish Stopper	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	High		9
SA-P	Sabal palmetto	Sabal Palm	FG, 8' CT, SGL, SP	Yes	High		12
QV-S	TTREES Quercus virginiana	Southern Live Oak	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	High		8
SHRUB: CHI	S Chrysobalanus icaco `Redtip`	Red Tip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC	Yes	High		54
CRA	Crinum augustum 'Queen Emma'	`Queen Emma` Crinum	15G, 2`-3` OA, F, SP	No	High		9
HAM	Hamilia patens 'Compacta'	Dwarf Firebush	3G, 24" HT x 18" SPR, F, 30" OC	Yes	High		136
PSA	Pennisetum setaceum 'Alba'	White Leaved Fountain Grass	3G, 18" OA, F	No	High		109
POM	Podocarpus macrophyllus	Podocarpus	7G, 4` HT, FTB	No	High		68
STN	Strelitzia nicolai	White Bird of Paradise	15G, 5`-6` HT, 5PP, F, SP	No	Moderate		3
TRD	Tripsacum dactyloides	Fakahatchee Grass	3G, 24" OA, F	Yes	High		114
CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	DROUGHT TOLERANCE	SPACING	<u>QTY</u>
	ID COVERS	December Decemb	FO 0-4	NI-	Himb	0411	074
ARG	Arachis glabrata 'Ecoturf'	Perennial Peanut	FG, Sod	No	High	24" o.c.	271
LIR	Liriope muscari 'Big Blue'	Big Blue Liriope	1G, 12" OA, F	No	High	12" o.c.	1,025
SOD	Stenotaphrum secundatum	St. Augustine grass	Sod, Free of Weeds, Pests, & Debris		High		

Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
 No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- Designer/Owner regarding any conflicts.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape

or disconnection of the irrigation system shall be a violation of these regulations.

- All site drainage by others. - Landscape adjacent to vehicular traffic to be maintained to preserve site line visibility. -Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead

or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal

to \$350 per every 2" tree mitigation owed. -Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain

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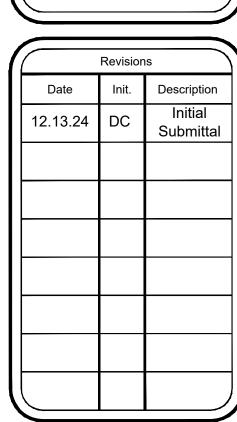


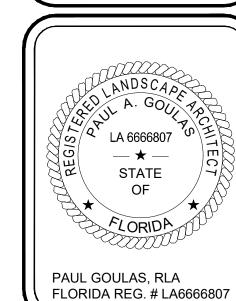
LLR Architects, Inc. ARCHITECTURE & PLANNING 12980 S.W. 52 STREET MIRAMAR, FLORIDA 33027

33020

(OFF.) - 305-403-7926 (CELL)- 786-543-0851 E-MAIL: LLAROSA@LAROSAARCHITECTCTS.CO

> Qpu





Drawn By: Checked By:

Municipal Project:

SCALE: 1" = 10'

10'

L-01

Landscape Specifications

PART 1: GENERAL CONDITIONS

1.01 SCOPE:

A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.

1.02 AGENCY STANDARDS:

A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

1.03 SITE EXAMINATION:

A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

1.04 ERRORS AND OMISSIONS:

A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.

C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

1.05 EXECUTION OF THE WORK:

A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.

B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.

C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

1.06 PROTECTION OF PUBLIC AND PROPERTY:

A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

1.07 CHANGES AND EXTRAS:

A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

1.08 GUARANTEE:

A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive

1.09 CARE AND MAINTENANCE:

 The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.

B. The Owner agrees to execute the instructions for such care and maintenance.

1.10 SAFETY: A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.

B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.)

1.11 CONTRACTOR QUALIFICATION: A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data: A financial statement showing assets and liabilities of the company current to date. A listing of not less than (3) completed projects of similar scope and nature. Permanent name and address of place of business.

The number of regular employees of the organization and length of time the organization has been in business under the present name.

1.12 INSURANCE AND BONDING:

beginning work on the site.

A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before

The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

1.13 PERMITS AND CERTIFICATES: A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

2.01 PLANT MATERIALS: A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.

B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.

C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.

D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.

Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.

F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

2.03 PROTECTION OF PLANT MATERIALS:

Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

B. Plants with broken, damaged or insufficient rootballs will be rejected.

C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or

D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

2.04 STORAGE All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent

B. No plant material shall be stored longer than seventy-two (72) hours unless approved by by Landscape Architect and/or owner.

C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.

D. All rejected material shall be immediately removed from the site and replaced with

2.05 PROTECTION DURING PLANTING:

acceptable material at no cost to the Owner.

A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.

2.06 PLANTING SOIL:

A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or

be detrimental to good growth.

2.07 FERTILIZER: Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.

to each cubic yard of planting soil.

B. Thoroughly mixed 3 lbs. of commercial fertilizer

C. Tabletized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:

> 1 gallon container 1 tablet 3 gallon container 2 tablets 5 gallon container 3 tablets 7 gallon 5 tablets

Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of arger shrub material.

The Landscape Architect reserves the right to inspect and review the application of fertilizer.

2 08 MULCH

A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.

B. All trees and shrub beds shall receive 3" mulch immediately after planting and Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks thoroughly watered. or as required by local jusidiction.

PART 3: EXECUTION 3.01 DIGGING:

A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work

3.02 GRADING: A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.

B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

A. Planting shall take place during favorable weather conditions.

B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods

F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil]; 1 Gallon material (1 gal.): 12" x 12" x 12" min.

3 Gallon material (3 gal.): 20" x 20" x 18" min. Lerio material (7 gal.): 30" x 30" x 24" min.

Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.

H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines. I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.

J. All flagging ribbon shall be removed from trees and shrubs before planting.

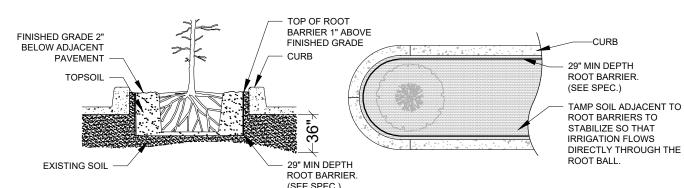
K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to

L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be topdressed two (2") inches deep with topsoil raked and left in a neat, clean manner.

3.04 PRUNING: A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character

B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.

C. Trees shall not be poled or topped. D. Remove all trimmings from site.



SPECIAL APPLICATIONS ROOT BARRIER DETAIL 1- ROOT BARRIER SHALL BE "BIO-BARRIER 29" DEPTH OR APPROVED FOLIAL 2- ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS A. All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands. No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail

B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.

D. Stake & Brace all treess larger than 12' oa. See detail Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.

E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of

adequate size and strength to properly maintain tight guy wires.

A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.

B. See General Notes of Landscape Plan for water source.

3.07 SOD:

A. The Landscape Contractor shall sod all areas indicated on the drawings.

B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.

C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation. fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.

Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.

G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting walks, paving and wood borders to allow for building turf.

H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.

Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions

C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre

D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding. 3.09 CLEANING UP:

A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when

3.10 MAINTENANCE:

operations.

quarantee

Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary

B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly

Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final

D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.

E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane

3.11 COMPLETION, INSPECTION AND ACCEPTANCE: Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor,

B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance. D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to

the time of acceptance. The rating of each plant according to Florida Grades and Standards shall

C. All plant material shall be alive and in good growing condition for each specified kind of plant at

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING

SHALL BE TESTED IN THE FOLLOWING MANNER A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

PLANTING PIT AND DRAINAGE CHANNEL.

(5) 2x4x16" WOOD BATTENS.

BATTENS IN PLACE DURING

SECURE BATTENS W/ (2) 3/4" HIGH

PLANTING PROJECT. DO NOT NAIL

BATTENS TO TRUNK. HEIGHT OF

RELATION TO THE HEIGHT OF THE

BATTENS SHALL BE LOCATED IN

TREE FOR ADEQUATE BRACING

STEEL BANDS

BRACING DETAIL

CARBON STEEL BANDS TO HOLD

B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

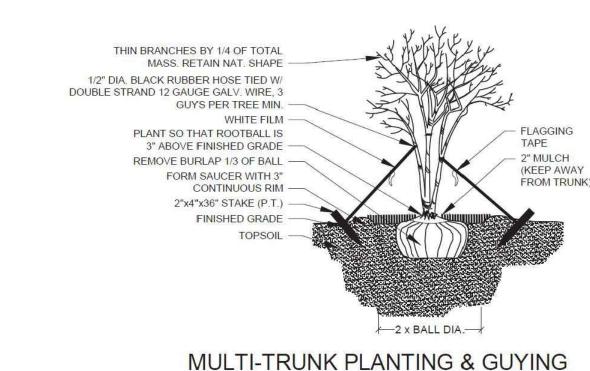
C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)

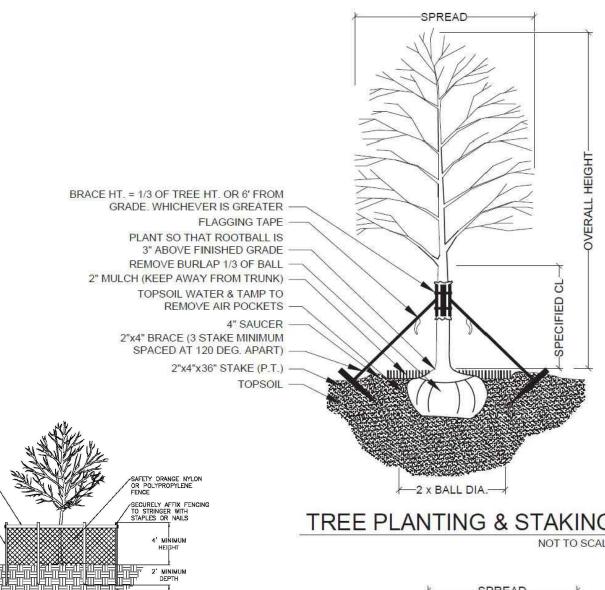
E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE

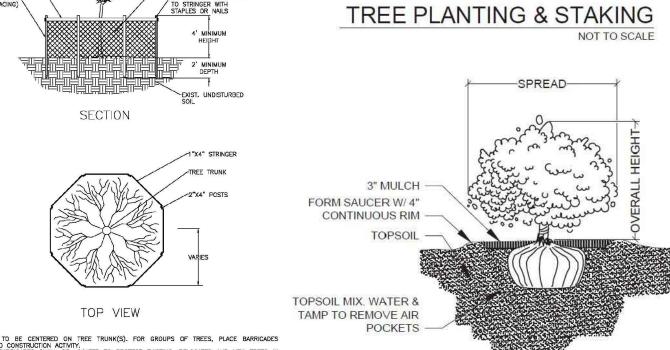
- (5) LAYERS OF BURLAP

D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.

WRAP TRUNK IN BURLAP & SECURE BATTENS W/ 3/4" HIGH CARBON STEEL BANDS FLAGGING TAPE 2"x4" BRACE (3 STAKE MINIMUM SPACED AT 120 DEG. APART) 2" MULCH (KEEP AWAY FROM TRUNK) FORM SAUCER WITH 4" CONTINUOUS RIM 2 x BALL DIA.─ PALM PLANTING - ANGLE STAKE









TOP VIEW

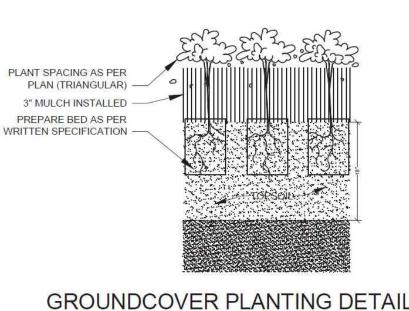
TOPSOIL

DRAINAGE TESTING DETAIL

ROOTBALL

6" DIA. DRAINAGE DETAI

SECTION



STATE OF LORIDA PAUL GOULAS, RLA FLORIDA REG. # LA6666807 DC Drawn B۱ PG SHRUB PLANTING Checked By: Municipal Project: Scale:

NORTH SCALE: 1" = N.T.S.

Landscape Architect:

1708 SE Joy Haven Street

Port St. Lucie, Fl. 34983

772) 834-1357 | brandon@las-fl.co

Architect:

ARCHITECTURE & PLANNING

E-MAIL: LLAROSA@LAROSAARCHITECTCTS.COM

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Description

Initial

Submittal

LLR Architects, Inc.

12980 S.W. 52 STREET

(OFF.) - 305-403-7926

(CELL)- 786-543-0851

OR

MIRAMAR, FLORIDA 33027

LANDSCAPE

ARCHITECTURAL

SERVICES, LLC









