



CITY OF
Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission *(max. 25mb)*
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: _____

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): _____

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: _____

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: _____

Phased Project: Yes No Number of Phases: _____

Project	Proposal	
Units/rooms (# of units)	# UNITS:	#Rooms
Proposed Non-Residential Uses		S.F.)
Open Space (% and SQ.FT.)	Required %:	(Area: S.F.)
Parking (# of spaces)	PARK. SPACES:	(#)
Height (# of stories)	(# STORIES)	(FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (FT.)

Name of Current Property Owner: _____

Address of Property Owner: _____

Telephone: _____ Email Address: _____

Applicant _____ Consultant Representative Tenant

Address: _____ Telephone: _____

Email Address: _____

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Zebin Mirsolieva Date: _____

PRINT NAME: Zebiniso Mirsolieva Date: 1/15/2024

Signature of Consultant/Representative: Luis La Rosa Date: _____

PRINT NAME: Luis La Rosa Date: 1/15/2024

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

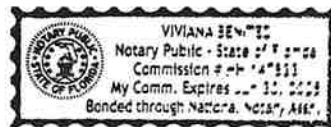
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Review to my property, which is hereby made by me or I am hereby authorizing Luis La Rosa to be my legal representative before the Technical Advisory Committee (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 15 day of January

[Signature]

Notary Public
 State of Florida



Zebin Mirsolieva

Signature of Current Owner

Zebiniso Mirsolieva

Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____



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Signature of Current Owner: *Zebin Mirsolieva* Date: _____

PRINT NAME: Zebiniso Mirsolieva Date: 1/15/2024

Signature of Consultant/Representative: *Luis La Rosa* Date: _____

PRINT NAME: Luis La Rosa Date: 1/15/2024

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

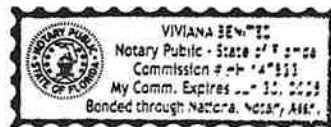
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Sworn to and subscribed before me this 15 day of January

[Signature]

Notary Public
 State of Florida



Zebin Mirsolieva

Signature of Current Owner

Zebiniso Mirsolieva

Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____



LLR Architects Inc.

January 15, 2025

PLANNING JUSTIFICATION REPORT

The following is a justification report for our project located at the 1715, 1721, 1723 & 1727 Mc Kinley Street. The owner of the property is ZEBI DEVELOPMENT GROUP INC. Managing Partner is Zebiniso Mirsolieva with offices at 8321 E Arizona Place, Denver CO 80247.

We are proposing a Mixed use Multi Family Development on the above referenced site. The site is comprised of 4 parcels situated East of US-1 and on the North side of Mc Kinley Street totaling 33,681 s.f. or .77 acre. All 4 properties are situated in the Regional Activity Center (R.A.C.) The 2 properties closest to US-1, (1727 & 1723 are zoned FH-2 and total 20,209 s.f. or .46 acres). The other 2 properties are zoned FH-1. The surrounding neighborhoods to the East, North and South are primarily single family or low-density multi-family. To the West of 1727 and closest to US-1 we have commercial and multi-family development.

The Regional Activity Center (RAC) Land Use designation and Downtown Redevelopment District are intended to encourage attractive and functional mixed living, working, shopping, education, and recreational activities in areas of regional importance. To this objective, the corresponding RAC Zoning District regulations are intended to:

To facilitate mixed-use development.

Encourage mass transit.

Reduce the need for automobile travel.

Provide incentives for quality development; and

Give definition to the urban form.

The purpose of the RAC Zoning Districts is to concentrate density in specific areas, protecting adjacent residential neighborhoods from excessive growth and commercial intrusion; while accommodating a diverse range of housing types, heights, and intensities, which is ideal for sustainable growth. Recognizing the diversity of the various neighborhoods encompassed in the RAC, the regulations are organized by District to protect, reinforce, and enhance the character of each area. The districts and encompassing Subdistricts facilitate the transition from one District to another and to the adjacent neighborhoods; providing adequate and compatible transitions in scale, character, and uses to adjacent residential neighborhoods. The Regional Activity Center and Downtown Redevelopment District area consists of the following zoning district:

FH-1 & FH-2 are a R.A.C. Core District.

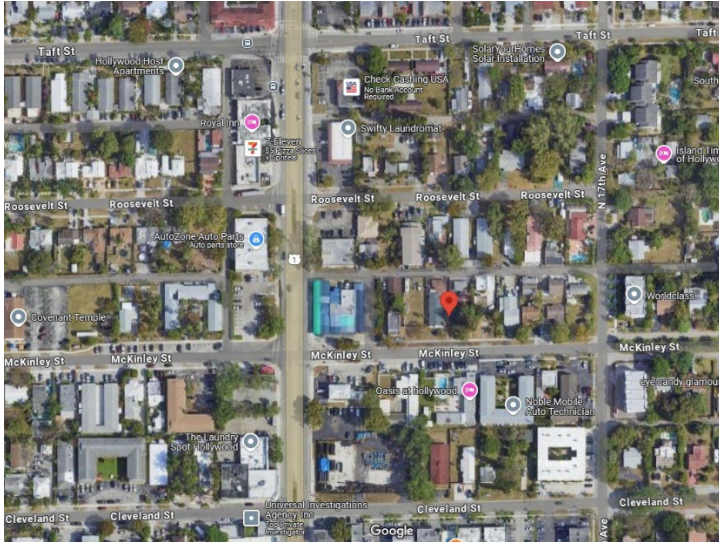
LLR Architects Inc.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@llarosaarchitects.com



LLR Architects Inc.



Proposal Description and Context

Our intent is incorporate the Live-Local act as allowed by our mixed-use designation to enhance the already existing intent provided by the Regional Activity Center (R.A.C). Aside from the busy thoroughfare that exists on US-1, there has been significant development throughout the R.A.C. our property is North of Young Circle which

The Live-Local act allows for properties designated as industrial or mixed-use to use the highest density and intensity allowed by the city. One of the requirements is that 40% of the units must be designated affordable and fall within the criteria provided by the Florida Housing Finance Corporation as per 166.04151(7)(a) *A municipality must authorize multifamily and mixed-use residential as allowable uses in any area zoned for commercial, industrial, or mixed use if at least 40 percent of the residential units in a proposed multifamily development are rental units that, for a period of at least 30 years, are affordable as defined in s. 420.0004. Notwithstanding any other law, local ordinance, or regulation to the contrary, a municipality may not require a proposed multifamily development to obtain a zoning or land use change, special exception, conditional use approval, variance, or comprehensive plan amendment for the building height, zoning, and densities authorized under this subsection. For mixed-use residential projects, at least 65 percent of the total square footage must be used for residential purposes.*

Also, it allows us to match the highest allowable height within 1-mile of our property. Please note that our designated zoning code of FH-2 allows for 140' & 45' feet for FH-1. We are proposing a height 116'-8" to top of roof. The FH-1 portion will remain 45' adjacent to neighbor zoning to the East which is also FH-1. We are respecting the 60' distance separation of 45' within FH-1.

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166.04151(7)(d)1. A municipality may not restrict the height of a proposed development authorized under this subsection below the highest currently allowed height for a commercial or residential building located in its jurisdiction within 1 mile of the proposed development or 3 stories, whichever is higher. For purposes of this paragraph, the term “highest currently allowed height” does not include the height of any building that met the requirements of this subsection or the height of any building that has received any bonus, variance, or other special exception for height provided in the municipality’s land development regulations as an incentive for development.

Further, the intensity which is the F.A.R. of a property can be increased up to 150% of the allowable. *166.04151(7)(c) A municipality may not restrict the floor area ratio of a proposed development authorized under this subsection below 150 percent of the highest currently allowed floor area ratio on any land in the municipality where development is allowed under the municipality’s land development regulations. For purposes of this paragraph, the term “highest currently allowed floor area ratio” does not include the floor area ratio of any building that met the requirements of this subsection or the floor area ratio of any building that has received any bonus, variance, or other special exception for floor area ratio provided in the municipality’s land development regulations as an incentive for development. For purposes of this subsection, the term “floor area ratio” includes floor lot ratio.*

We are proposing a 15-story mixed use multi-Family building consisting of 261 units. The allowable F.A.R.= $38,548 \times 6.0 = 231,270$ s.f We are allowed 150% of $231,270 = 346,905$ s.f. Our proposed F.A.R= 233,034 net s.f. The break down per floor is as follows:
The maximum F.A.R that we found is YC (young Circle which allows 5.5 F.A.R.). 5.5×1.5 would equal 8.25 F.A.R allowable. We are proposing only 6.05

- Ground floor, 2nd. floor, 3rd. floor
 - Parking, Lobby
 - building support spaces
 - 908 s.f of retail- (ground floor)
 - 4th. Floor
 - (4) Studios per floor
 - (11) 1-bedroom per floor
 - (9) 2-bedroom per floor
 - 5th Floor- Amenities level:
 - Pool and Deck Area- 2,264 s.f.
 - Fitness Center - 1,185 s.f.
 - 6th Floor thru 9th Floor (Typical Floor Plate for each floor of Apartments) Unit Mix as follows:
 - (3) Studios per floor
 - (11) 1-bedroom per floor
 - (5) 2-bedroom per floor

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- 10th Floor (all- 2 story Apartments)- Unit Mix as follows:
 - (22) 2-bedroom per floor

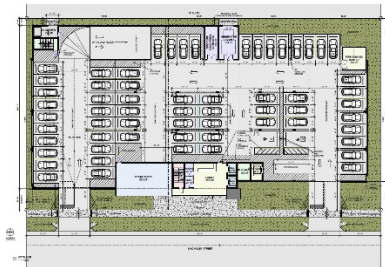
Total Unit Mix:

- (19) Studios per floor
- (66) 1-bedroom per floor
- (56) 2-bedroom per floor

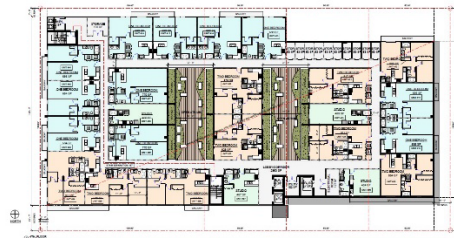
Our Goal is to provide the required 40% affordable housing based on the quantity of unit type.

Total Unit Mix:

- (19) Studios per floor= 19 x 40% = **8 affordable Studios**
- (66) 1-bedroom per floor= 66 x 40% = **26 affordable 1-bedrooms**
- (56) 2-bedroom per floor= 56 x 40% = **23 affordable 2-bedrooms**



Ground – 3rd. floor parking



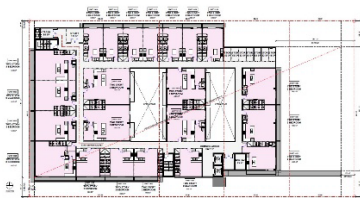
4th Floor plan



5th floor Units/ Amenities Plan



Typical 6th – 9th Floor Plan



10th floor- 2 story Apartment Plan

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The design of the building is bold. The name of the project is SKY Hollywood which fits well perfectly along the US-1 corridor. Our main entrance is off of Mc Kinley Street. We provided a direct entrance to a ramp servicing the 2nd and 3rd floor parking garage. Also, a separate entrance for two-way vehicular parking on the ground floor. The parking garages will be screened with decorative features enhancing the bold design. We anticipate providing art on building façade. Large balconies and glass railings are added features that allow views to this main corridor. The 5th floor has an amenities level, with swimming pool, fitness center, business and other support spaces.



Investigation/Evaluation

- Traffic studies will be provided pending traffic engineers' methodology.

Summary and Conclusions:

- We feel that our project enhances the original intent of Regional Activity Center The Live-Local acts encouragement of higher intensity/density for additional affordable housing will help provide workforce type housing in a luxury development in an area that is growing into an urban core with more job opportunities and quality living.

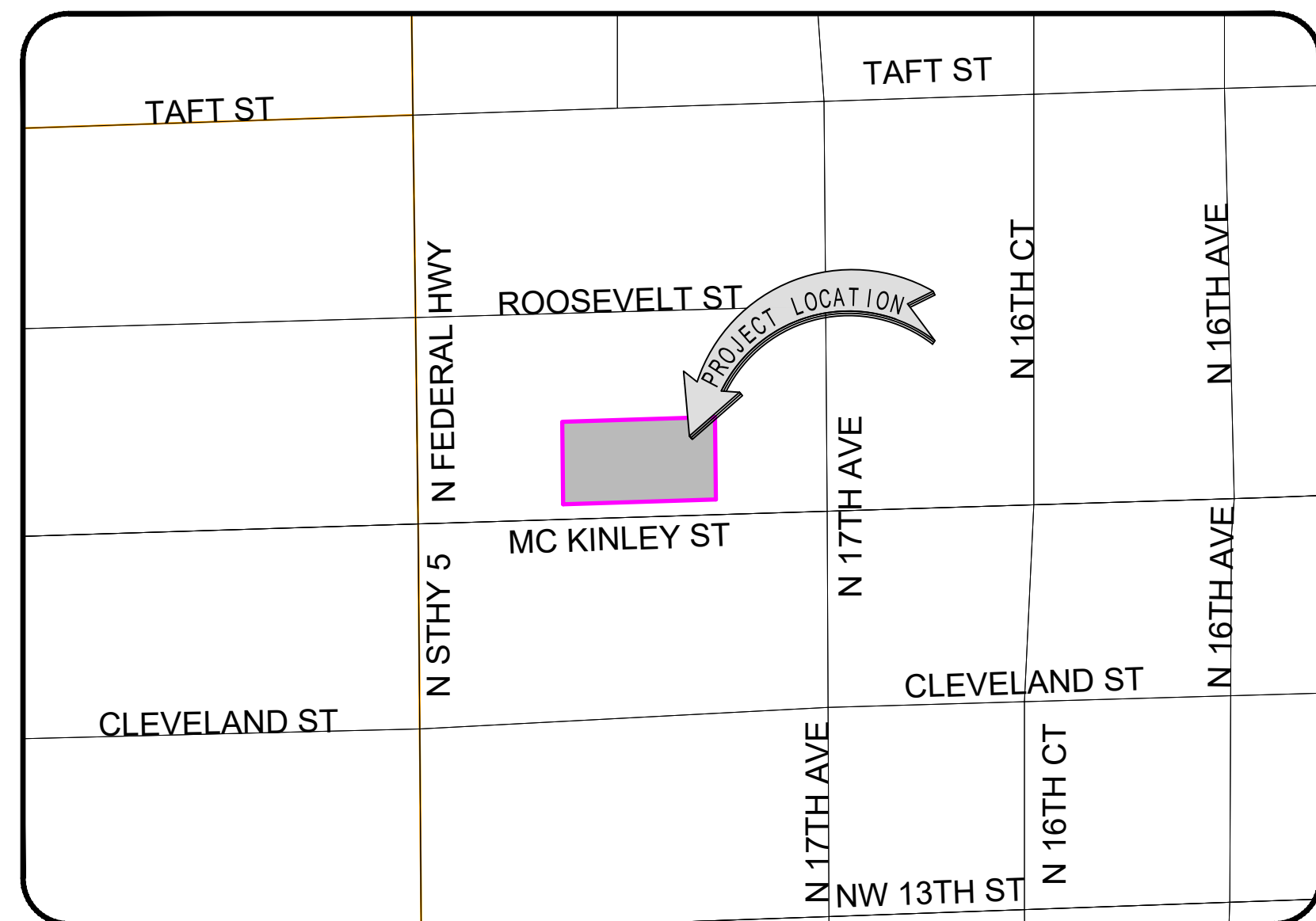
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ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND BEING A PORTION OF THE SE 1/4 OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA



1 VICINITY MAP

Not to Scale

2 PROPERTY ADDRESS

1715 McKinley Street, Hollywood Florida 33020
Parcel ID: 514210120320
1721 McKinley Street, Hollywood Florida 33020
Parcel ID: 514210120330
1723 McKinley Street, Hollywood Florida 33020
Parcel ID: 514210120340
1727 McKinley Street, Hollywood Florida 33020
Parcel ID: 514210120350

3 LEGAL DESCRIPTION

Lot 40, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.
AND
Lot 41, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.
AND
Lot 42, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.
AND
Lots 43 and 44, **CHATTANOOGA PARK**, according to the plat thereof, as recorded in Plat Book 2, Page 39, of the Public Records of Broward County, Florida.

4 AREA TABULATION

Net Area of subject parcel: 33,743.50 SqFt (+/-0.77 Acres)
Gross Area of subject parcel: 39,993.50 SqFt (+/-0.92 Acres)

5 ZONING INFORMATION

As per City of Hollywood currently published Zoning Map.
Zoning District: FH-1 (Federal Highway Low-Medium Intensity Multi-Family District as per Hollywood Zoning Map) (Lots 40 thru 41)
FH-2 (Federal Highway Medium-High Intensity Mixed-Use District as per Hollywood Zoning Map) (Lots 42 thru 44)

7 CERTIFICATIONS

I hereby certify to: Zebi Development Group, LLC., a Colorado corporation, Zebiniso Mirsolieva, Old Republic National Insurance Company.
That this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5, 7 (a) (1), 8, 9, 11 (utilities by observed aboveground visible evidence), 13, 14, 17, 18 and 19 of Table A thereof.

Date of Plat or Map: December 19th, 2024

Odalys C. Bello-Iznaga
Professional Surveyor & Mapper # 6169
State of Florida

6 SURVEYOR'S REPORT

This Report is not valid without the attached Map of Boundary Survey.

This ALTA/NSPS Survey (ALTA Survey) has been conducted on the ground on December 11th, 2024 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and their relationship to instruments of record investigated are represented herein. This map of an ALTA Survey has been prepared in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, effective February 23, 2021, and jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS).

- This ALTA Survey conforms to the Standards of Practice, as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".
- Values noted as "(D)", "(R)", and/or "(P)" refer to values contained in documents and instruments of record (Plats, Record Maps, Deeds, etc.) used in the preparation of this Survey. Measured distances, directions and angles noted as "(M)" along the lines and courses surveyed represent the distances and angles between the survey monuments and control points recovered and traversed during the field work. Field findings have been carefully analyzed for re-establishing the boundaries of the lands surveyed herein. Measured distances and directions have been compared with corresponding values from records, and have been found in agreement, unless otherwise shown.
- Measured bearings have been determined by GNSS (RTK/GPS) measurements. The basis of bearings is an assumed meridian along a well-established line identified as "BR" on the Map of Survey.
- This ALTA Survey depicts the lands contained within the subject property as legally described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities, apparent uses, and any other relevant matters affecting these lands. Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of, that might affect these lands.
- This surveyor did not attempt to locate underground improvements, buried utilities, and footings. A Quality A and/or B Subsurface Utility Engineering (SUE) effort is necessary for the precise location and designation of the underground utilities.
- At the time of this survey there was no observable evidence of site usage as solid waste dump, swamp and/or sanitary landfill, on this lot and/or on the immediately adjoining parcels.
- At the time of this survey there was no observable evidence of recent earth moving work, and/or construction on this site, observed in the process of conducting the field work.
- At the time of this survey there was no observable evidence of wetlands and/or wetland designation on the lands surveyed herein.
- No parking spaces were located within the lands herein surveyed.
- No Common Party walls were identified at the time of this survey.
- This property has access to and from a duly dedicated and accepted public right of ways: McKinley Street and 50' Public Right of Way along the South property line. The undersigned has no knowledge of proposed changes in street right of way lines for these roadways.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 125113 (City of Hollywood), Panel 0569, Suffix J, revised on July 31st, 2024, this real property falls in two Zones. This determination is obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area. The two (2) Flood Zones are depicted on the Sketch of Boundary Survey.
 - Zone "AE". with Base Flood Elevation 6 feet (NAVD 1988). As defined by FEMA, Zone "AE" is high-risk flood zone. Mandatory flood insurance purchase requirements and floodplain management standards apply.
 - Zone "X". As defined by FEMA, Zone "X" is an Area with 0.2% annual chance flood hazard, areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile.
- This property is included in the Storm Surge Risk area of storm surge flooding vulnerability, as per NOAA National Hurricane Center Storm Surge Risk Maps.
- HORIZONTAL POSITIONING:** The lands surveyed herein had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Accuracy for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million.
- VERTICAL DATA AND ACCURACY:** The elevations as shown are referred to the National American Vertical Datum of 1988 (NAVD'88). Elevations are based on a level loop between the following two (2) official Benchmarks: Bench Mark # 1: National Geodetic Survey Bench Mark P 239, Elevation = 9.25 feet (NAVD 88) and Bench Mark # 2: National Geodetic Survey Bench Mark N 239 Elevation = 9.42 feet (NAVD 88)
- This Survey map and the copies thereof, are not valid without the signature and original raised seal of the undersigning Florida Licensed Land Surveyor & Mapper, unless it is electronically signed. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1" = 20'. Data is expressed in U.S. Survey Foot and decimals thereof.
- This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebiniso Mirsolieva Commitment Number 1377421, dated July 24, 2023 @ 11:00 p.m. (As to Lot 42, **CHATTANOOGA PARK**) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

Items # 1 thru # 5: Not survey-related matters.
Item # 6: All matters contained on the Plat **CHATTANOOGA PARK**, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.
Item # 7: Ordinance No. 2005-19 recorded in Official Recorded Book 40082, Page 1789, Public Records of Broward County, Florida. Provisions are of "blanket nature" therefore, "non-plottable".

- This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebiniso Mirsolieva Commitment Number 1378292, dated July 24, 2023 @ 11:00 p.m. (As to Lot 41, **CHATTANOOGA PARK**) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

Items # 1 thru # 4 and Item # 8: Not survey-related matters.
Item # 5: All matters contained on the Plat **CHATTANOOGA PARK**, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.
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- This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebiniso Mirsolieva Commitment Number 1441327, dated August 25, 2023 @ 11:00 p.m. (As to Lot 40, **CHATTANOOGA PARK**) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

Items # 1 thru # 5: Not survey-related matters.
Item # 6: All matters contained on the Plat **CHATTANOOGA PARK**, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.
Item # 7: Ordinance No. 2005-19 recorded in Official Recorded Book 40082, Page 1789, Public Records of Broward County, Florida. Provisions are of "blanket nature" therefore, "non-plottable".

- This survey has been made based on and upon an examination of said Old Republic National Title Insurance Company Commitment for Title Insurance (the Title Commitment) issued by Zebi Development Group, Inc., a Colorado corporation Commitment Number 1551187, dated July 17, 2024 @ 11:00 p.m. (As to Lots 43 and 44, **CHATTANOOGA PARK**) Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey, and the following applies:

Items # 1 thru # 5: Not survey-related matters.
Item # 6: All matters contained on the Plat **CHATTANOOGA PARK**, as recorded in Plat Book 2, Page 39, Public Records of Broward County, Florida. Refer to Sketch of Survey for geometry, lot configuration, and right of ways.
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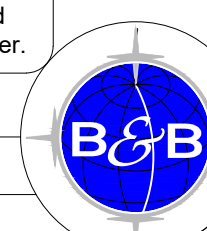
SURVEY LEGEND

- Vicinity Maps
- Property Address and folio number
- Legal Description (Page 1 of 2)
- Area Tabulation
- Zoning Information
- Surveyor's Report (Page 1 of 2)
- ALTA/NSPS Certification (Page 1 of 2)
- Project / Survey Number
- Map of Boundary Survey (Page 2 of 2)

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

QA/QC BY: OCBI	DRAWN BY: EO
FIELD DATE: 12/11/2024	UPDATED DATE: N/A
8 PROJECT NUMBER	24386 Page 1 of 2

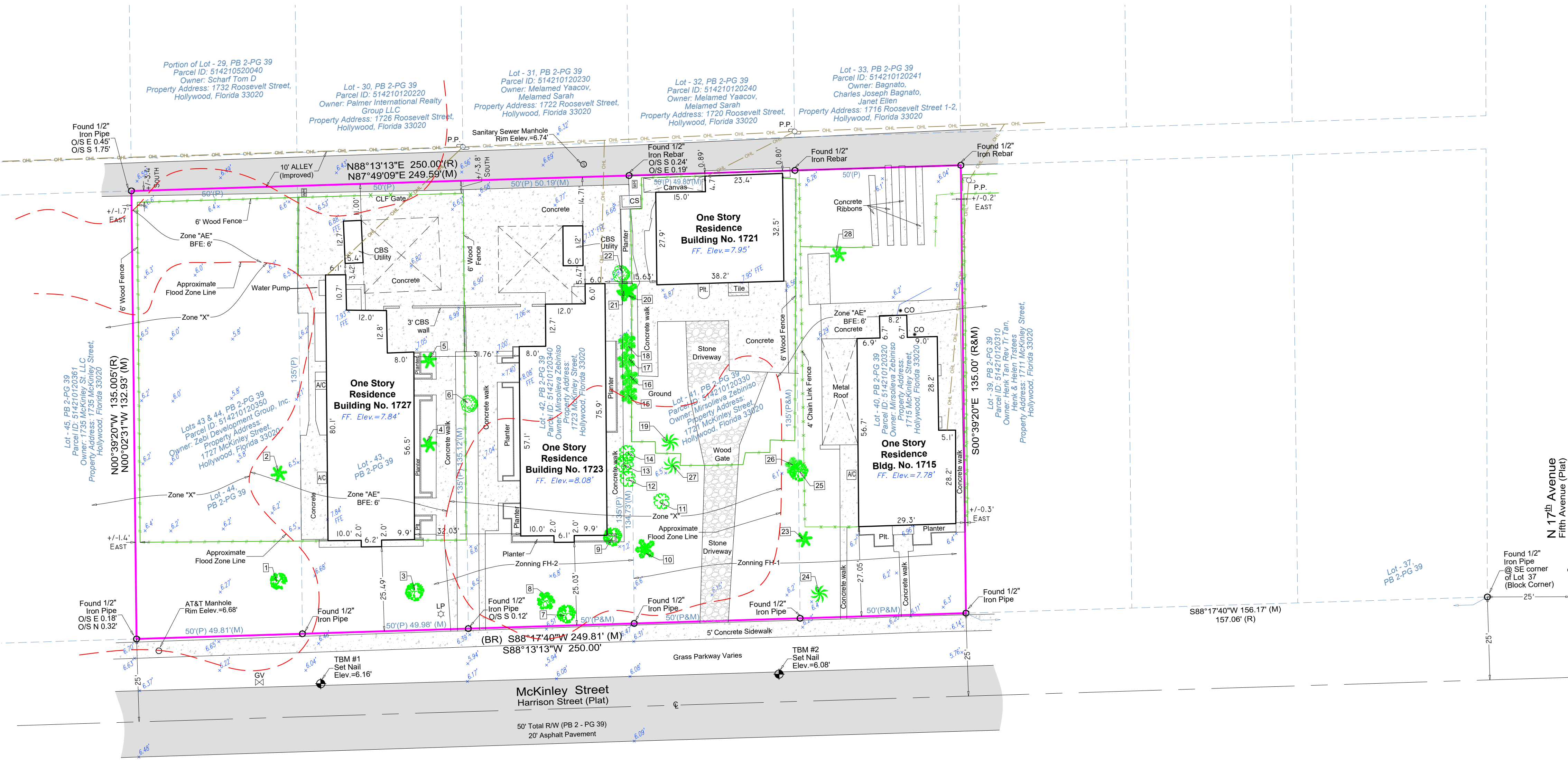
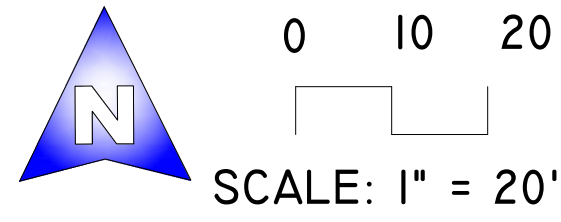
BELLO & BELLO LAND SURVEYING
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LBH7262 • Phone: 305.251.9606 • Fax: 305.251.6057
e-mail: info@belloland.com • www.bellolandsurveying.com



ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND BEING A PORTION OF THE SE 1/4 OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

9 MAP OF BOUNDARY SURVEY



Note: Tree Location Survey has not been performed based on a Certified Arborist Report. Common names and scientific names were determined to the best of our knowledge.

TREE CHART					
Tree #	Common Name	Scientific Name	Trunk Diameter at Breast Height DBH(in)	Approximate Height (ft)	Approximate Canopy (ft)
1	Royal Poinciana	Delonix regia	14	40	40
2	Palm	Areaceae	4	18	12
3	Gumbo Limbo Tree	Bursera simaruba	16	25	30
4	2 Trunk Palms	Areaceae	36	12	15
5	Palm	Areaceae	4	20	15
6	Unknown Tree	Unknown	38	20	30
7	Gumbo Limbo Tree	Bursera simaruba	9	25	30
8	Mango Tree	Mangifera indica	18	25	30
9	Gumbo Limbo Tree	Bursera simaruba	4	15	15
10	Palmetto	Sabal palm	18	15	20
11	Live Oak	Quercus virginiana	6	20	15
12	Live Oak	Quercus virginiana	12	30	30
13	Live Oak	Quercus virginiana	12	30	30
14	Live Oak	Quercus virginiana	8	20	30
15	Pine Tree	Pinus	6	30	20
16	Pine Tree	Pinus	6	30	20
17	Pine Tree	Pinus	8	38	20
18	Pine Tree	Pinus	8	38	20
19	Coconut Palm	Cocos nucifera	10	25	15
20	Palmetto	Sabal palm	18	20	15
21	Palm	Areaceae	4	15	15
22	Unknown Tree	Unknown	18	15	15
23	Palm	Areaceae	4	15	10
24	Coconut Palm	Cocos nucifera	6	25	15
25	Gumbo Limbo Tree	Bursera simaruba	36	30	30
26	Pine Tree	Pinus	28	40	20
27	Coconut Palm	Cocos nucifera	10	25	15
28	Palm	Areaceae	6	15	15

LEGEND, SYMBOLS & ABBREVIATIONS

<ul style="list-style-type: none"> CONCRETE (CONC.) CONC. BLOCK WALL WOOD DECK COVERED AREA PAVERS SLAB / DRIVEWAY TILE SLAB / DRIVEWAY ASPHALT PAVEMENT CHAIN LINK FENCE (CLF) WOOD FENCE (WF) IRON METAL BARS FENCE (IF) PLASTIC FENCE (PF) METAL FENCE (MF) OVERHEAD UTILITY LINES 	<ul style="list-style-type: none"> WATER VALVE POWER POLE GLY ANCHOR WATER METER GLY ANCHOR WELL ELECTRIC BOX (EB) STREET SIGN SANITARY MANHOLE DRAINAGE MANHOLE MANHOLE FIRE HYDRANT CABLE BOX (CATV) 	<ul style="list-style-type: none"> PPL TRANSFORMER CATCH BASIN OR INLET EXISTING ELEVATION PERMANENT REFERENCE MONUMENT PROPERTY CORNER PERMANENT CONTROL POINT AIR CONDITIONER PAD BASE BUILDING LINE BASE FLOOD ELEVATION (PER FEMA) BEARING REFERENCE MANHOLE CONCRETE BLOCK STRUCTURE CENTER LINE 	<ul style="list-style-type: none"> ELEVATION ENCROACHMENT FINISHED FLOOR ELEVATION FIELD MEASUREMENT OFFICIAL RECORD BOOK PER PLAT OF RECORD PLAT BOOK POINT OF CURVATURE POINT OF REVERSE CURVE PAGE PROPERTY LINE PROFESSIONAL SURVEYOR AND MAPPER POINT OF TANGENCY 	<ul style="list-style-type: none"> RECORD RANGE RIGHT OF WAY SECTION FIELD MEASUREMENT TEMPORARY BENCH MARK TOWNSHIP BROWARD COUNTY RECORDS
--	---	--	---	---

2 PROPERTY ADDRESS

1715-1721-1723-1727 McKinley Street, Hollywood, Florida 33020

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigned Florida licensed Surveyor and Mapper.

QA/QC BY: OCBI
FIELD DATE: 12/11/2024

DRAWN BY: EO
UPDATED DATE: N/A

8 PROJECT NUMBER 24386 Page 2 of 2

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LBH7262 • Phone: 305.251.9606 • Fax: 305.251.6057
e-mail: info@belloland.com • www.bellolandsurveying.com



SKY HOLLYWOOD

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR: ZEBI DEVELOPMENT GROUP INC.

1715, 1721, 1723 & 1727 MCKINLEY STREET
HOLLYWOOD, FLORIDA 33020



LLR Architects, Inc.
ARCHITECTURE & PLANNING
9000 SHERIDAN STREET ST. 158
PEMBROKE PINES, FL 33024

(OFF.) – 305-403-7926
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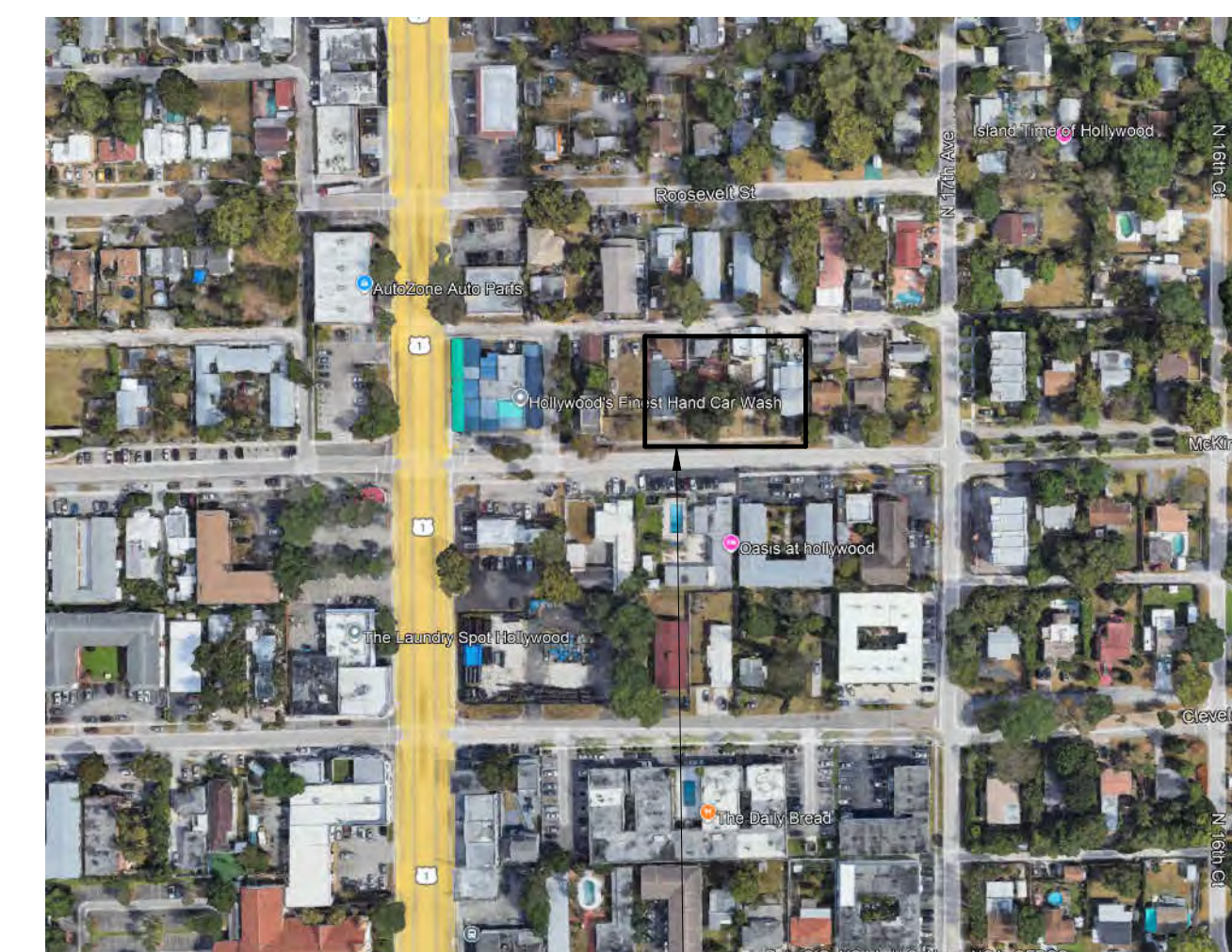
Luis LaRosa-Registered
Architect
AR#-0017852



MEETING DATES:

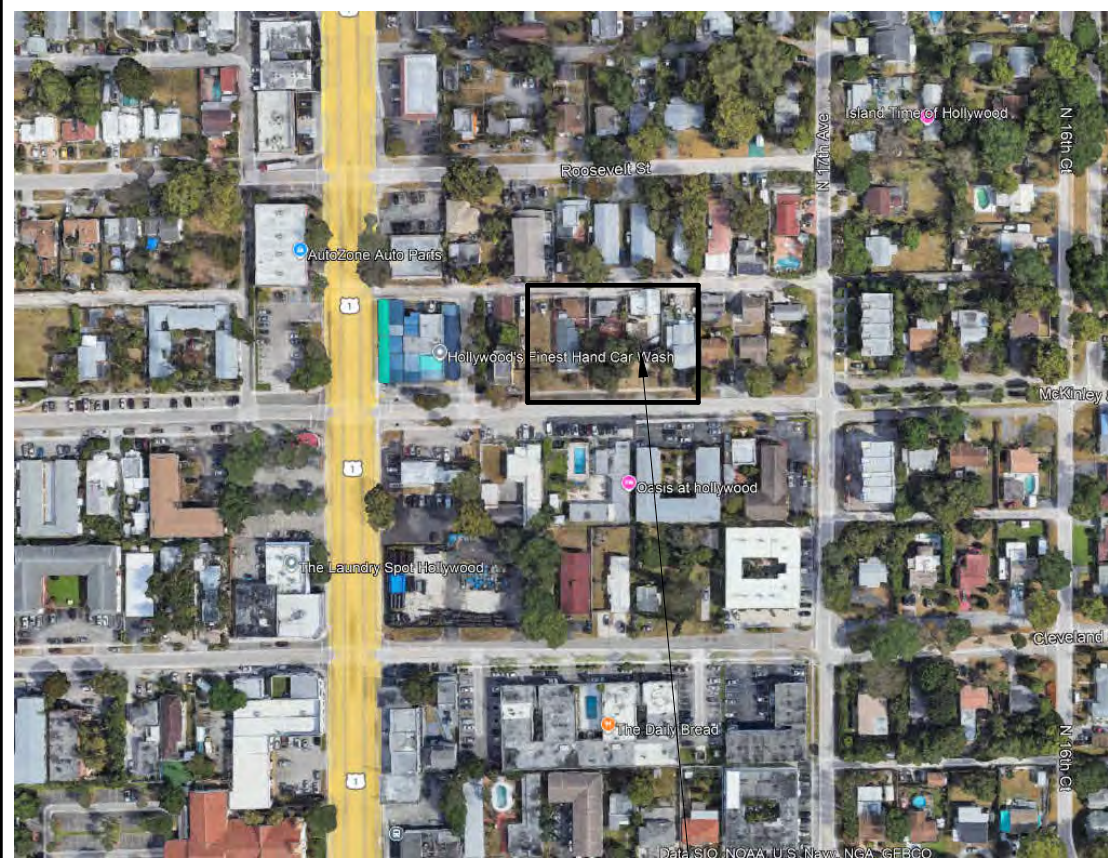
PACO: SEPTEMBER 16, 2024
TAC-1:
TAC-2:
PUBLIC MEETING:
PDB:

Sheet Index	
SHEET NUMBER	SHEET NAME
A 0.0	COVER SHEET
GN-1.1	GENERAL NOTES
GN-1.2	GENERAL NOTES
SP 1.1	SITE PLAN
SP 1.2	SITE PLAN DETAILS
SP 1.3	SITE PLAN ELEVATIONS
SP 1.4	CAR LIFT SPECIFICATION
A 1.1	1ST FLOOR PARKING
A 1.2	2ND FLOOR PARKING
A 1.3	3RD FLOOR PARKING
A 1.4	4TH FLOOR UNITS
A 1.5	5TH FLOOR UNITS-AMENITIES
A 1.6	TYPE UNITS 6TH TO 9TH FLOOR
A 1.7	10TH FLOOR PLAN TWO STORY UNITS
A 1.8	11TH FLOOR PLAN TWO STORY UNITS
A 1.9	ROOF PLAN
A 2.1	PROPOSED WEST ELEVATION
A 2.2	PROPOSED SOUTH ELEVATION
A 2.3	PROPOSED EAST ELEVATION
A 2.4	PROPOSED NORTH ELEVATION
A 2.5	AXO VIEW



1715, 1721, 1723 & 1727 MCKINLEY
STREET HOLLYWOOD, FLORIDA 33020

LOCATION MAP



1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD, FLORIDA 33020

1 LOCATION PLAN

- WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2023-8th . EDITION, FLORIDA FIRE PREVENTION CODE 2023 (8TH EDITION), WITH BROWARD COUNTY AMENDMENTS. NFPA-1 & 101, 2021 EDITION, NFPA 13&13R, 2019 EDITION APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS
- THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
- TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
- ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
- ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
- BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
- ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
- THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NNOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
- ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
- CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
- SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

SITE CALCULATIONS:

TOTAL SITE AREA:
NET AREA= 33,750 SF or 0.77 ACRES

BUILDING FOOTPRINT AREA	26,460 SF
DRIVEWAY	770 SF
CONC. SLAB	704 SF
TOTAL IMPERVIOUS AREA=	27,934 SF (82.8 %)
TOTAL PERVIOUS AREA=	5,816 SF (17.2 %)

FAR CALCULATION

FIRST FLOOR	
LOBBY/Common AREAS-	1,974 SF
2ND FLOOR	
LOBBY/Common AREAS-	438 SF
3RD FLOOR	
LOBBY/Common AREAS-	438 SF
4TH FLOOR	
LOBBY/Common AREAS-	3,287 SF
UNITS-	17,049 SF
TOTAL-	20,336 SF
5TH FLOOR	
LOBBY/Common AREAS-	2,992 SF
AMENITIES-	3,449 SF
UNITS-	13,338 SF
TOTAL-	19,779 SF
6TH FLOOR	
LOBBY/Common AREAS-	2,992 SF
UNITS-	13,338 SF
TOTAL-	16,330 SF
7TH FLOOR	
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UNITS-	13,338 SF
TOTAL-	16,330 SF
10TH FLOOR(TWO STORY UNITS)	
LOBBY/Common AREAS-	2,518 SF
UNITS-	25,807 SF
TOTAL-	28,325 SF
FAR PROVIDED= 136,610 SF	

- OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE O 2016-02.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LEND DEVELOPMENT REGULATION.
- OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
- MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
- A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 11.10 AND BROWARD AMENDMENT 118.2
- GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
- BIKE RACK TO BE INSTALLED AS SHOWN
- WHITE ROOF TO REFLECT LIGHT.

GREEN BUILDING PRACTICE

THIS PROJECT REQUIRES A GREEN BUILDING CERTIFICATION. WE WILL BE PROVIDING A CERTIFICATIONS THROUGH THE GREEN BUILDING COUNCIL.

PARKING CALCULATIONS:

	REQUIRED	PROVIDED
(56) 2 BEDROOMS=56x1.5= 84 PARKING SPACE	84	112
(66) 1 BEDROOMS=66x1= 66 PARKING SPACE	66	66
(19) STUDIO=19X1=19	19	19
GUEST PARKING SPACES (1 SPACE FOR EVERY 10 UNITS / 141 UNITS)=	15	15
RETAIL SPACE	3	13
TOTAL PARKING SPACES	184	225

ADA SPACES REQUIRED

AS PER FBC-ACCESSIBILITY 2023 208.2
*PROVIDING 193 SPACES

ADA SPACE REQUIRED AS PER TABLE 208.2-(151-200 SPACES) REQUIRE 6 ADA SPACES

6-(6 REQUIRED/ 6 PROVIDED)

NOTE:

- NUMBER OF SINGLE SPACES= 169
NUMBER OF PARKING IN LIFT= 56
- PARKING IN LIFT IS DESIGNATED TO 2BEDROOM UNITS
- ADA PARKING SPACES COUNT TOWARDS OVERALL PARKING REQUIREMENTS

MINIMUM & AVERAGE DWELLING UNIT SIZE TABLE

	REQUIRED	PROVIDED
MINIMUM DWELLING UNIT SIZE	400 S.F.	424 S.F.
MINIMUM CUMULATIVE AVERAGE UNIT SIZE	650 S.F.	698 S.F.

HEIGHT CALCULATIONS:

	ALLOWED	PROVIDED
MAX. HEIGHT ALLOWED:	140'-0"	116'-4" TOP OF ROOF

LAND. USE DESIGNATION: RAC
ZONING DESIGNATION: VARIES-SEE DETAIL BELOW

NOTE:

- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW & MAY BE SUBJECT TO BOARD APPROVAL.
- THE MAX LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.
- REFER TO DETAIL 2 ON SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.
- ALL STREETS & ALLEYS ADJACENT TO SITE (MONROE STREET, NORTH ALLEY & WEST ALLEY) TO BE MILLED & RESURFACED (FOR FULL WIDTH OF ROAD LENGTH OF PROPERTY).
- "ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN. "

SETBACK CALCULATIONS: FH-1

	REQUIRED	PROVIDED
FRONT	20'	20'-0"
REAR	20'	20'-0"
SIDE	0	N/A
SIDE INTERIOR	10'-0"	10'-0"

SETBACK CALCULATIONS: FH-2

	REQUIRED	PROVIDED
FRONT	15'	15'-0"
REAR	5'	5'-0"
SIDE	0	5'-0"
SIDE INTERIOR	0	N/A



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Luis Lopez - Registered Architect
AR 0017852

Revision		
NO.	DATE	BY

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

100% CONSTRUCTION DOCUMENTS

DRAWN:	A.G.
CHECKED:	L.L.R
DATE:	9/5/2024
SCALE:	AS NOTED
JOB. NO.:	024-052
SHEET:	
.GN-1.1	
OF:	SHEETS:

Revision		
REV	DATE	BY

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
 ZEBI DEVELOPMENT GROUP INC.
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 FLORIDA 33020

SEAL: AR 0017852
 LUIS LA ROSA

DRAWN: A.G.
 CHECKED: L.L.R.
 DATE: 9/5/2024
 SCALE: AS NOTED
 JOB NO.: 024-052
 SHEET:
 OF: SHEETS:
 .GN-1.2

FAR ALLOWANCE (LIVE LOCAL)

LOT 1715 (FH1) 6,750 X1.25=8,437 SF ALLOWED	LOT 1723 (FH2) 6,750 X3.0=20,250 SF ALLOWED
LOT 1721 (FH1) 6,750 X1.25=8,437 SF ALLOWED	LOT 1727 (FH2) 13,560 X3.0=50,000 SF ALLOWED

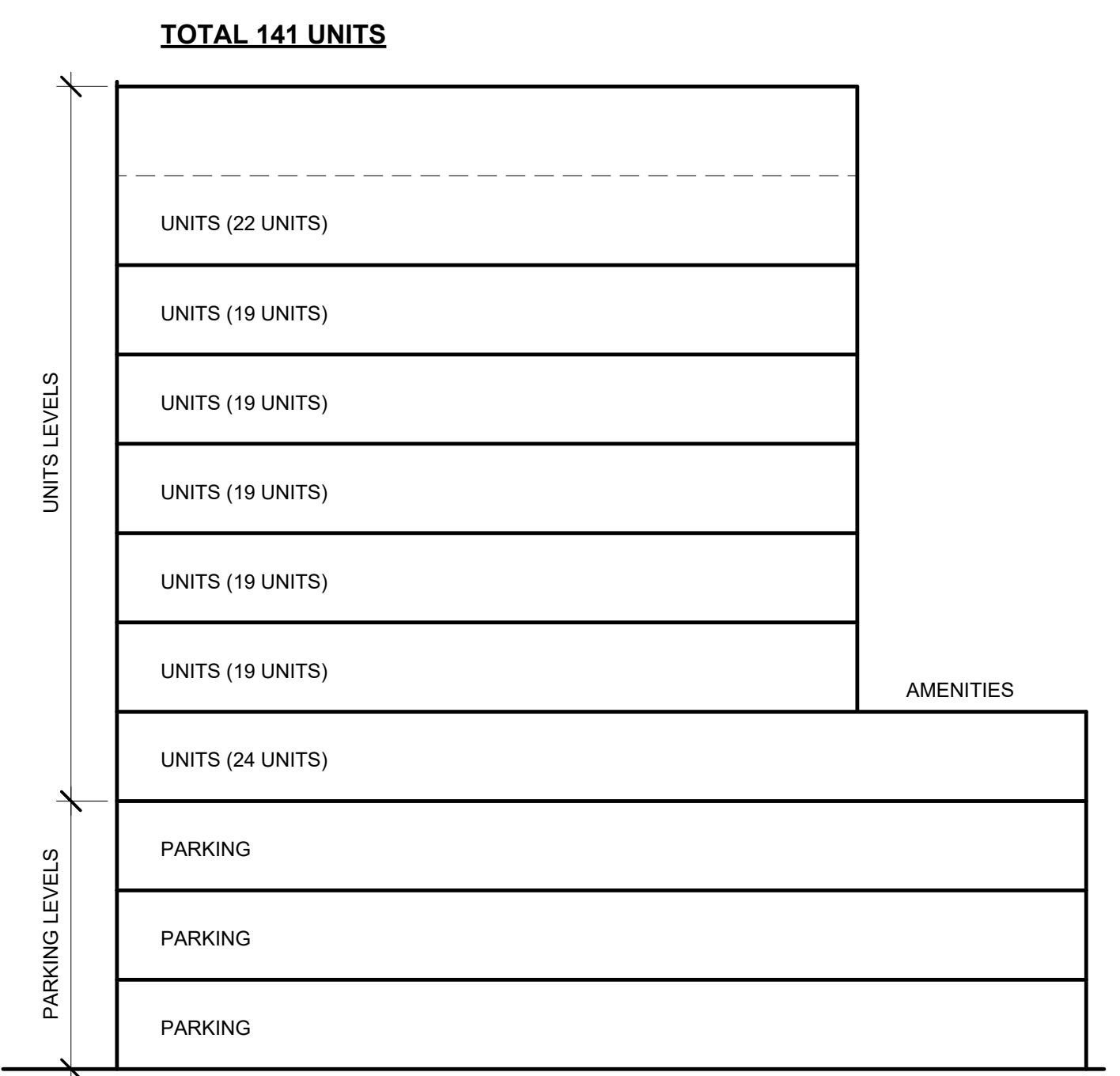
FH2 LOTS
20,310 X6.0=121,860 SF ALLOWED
FH1 LOTS
16,864SF ALLOWED

TOTAL FAR ALLOWED
138,734 SF ALLOWED

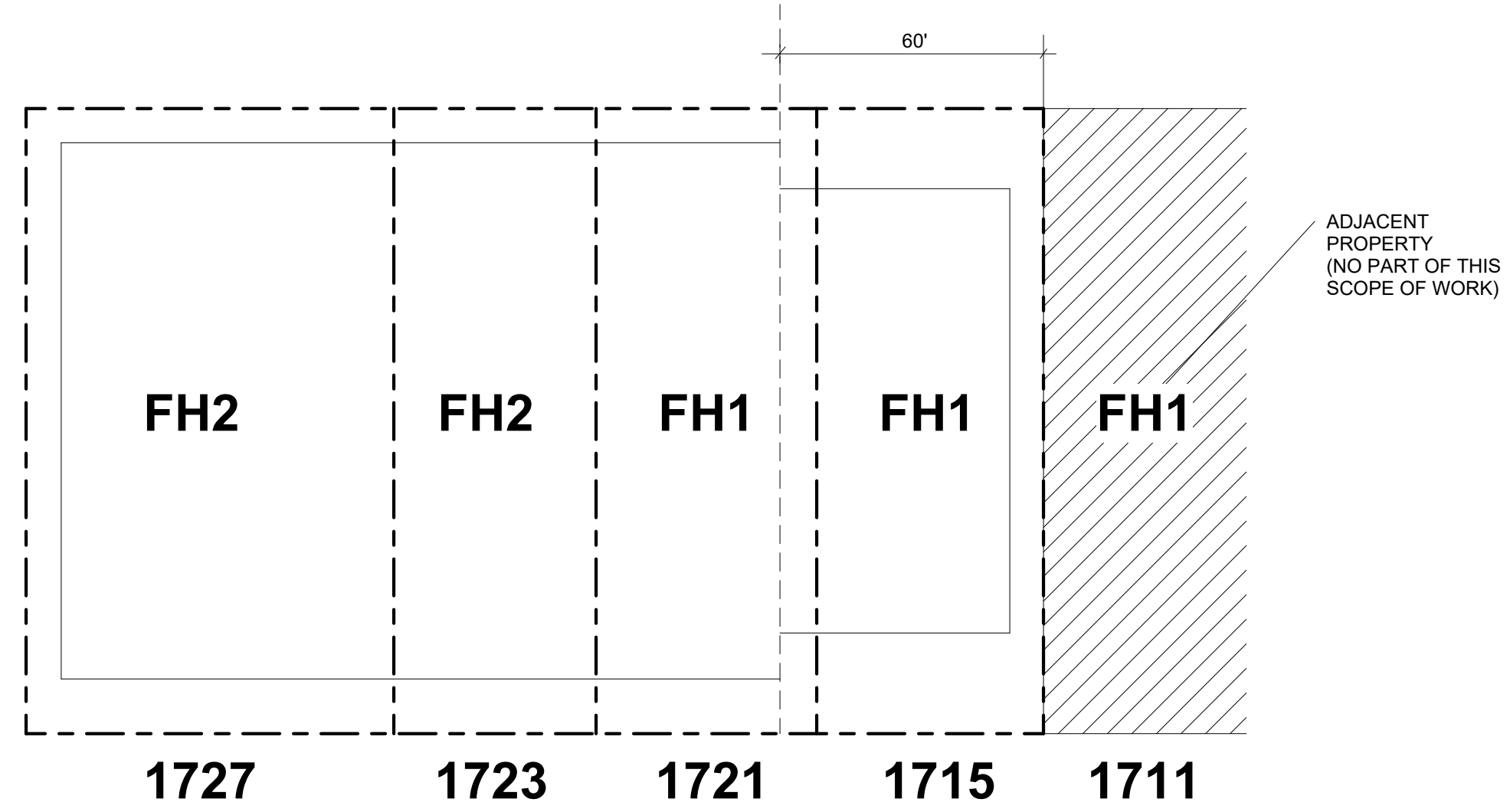
FAR CALCULATION

FIRST FLOOR	
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2ND FLOOR	
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3RD FLOOR	
LOBBY/Common Areas-	438 SF
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AMENITIES-	3,449 SF
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UNITS-	13,338 SF
TOTAL-	16,330 SF
8TH FLOOR	
LOBBY/Common Areas-	2,992 SF
UNITS-	13,338 SF
TOTAL-	16,330 SF
9TH FLOOR	
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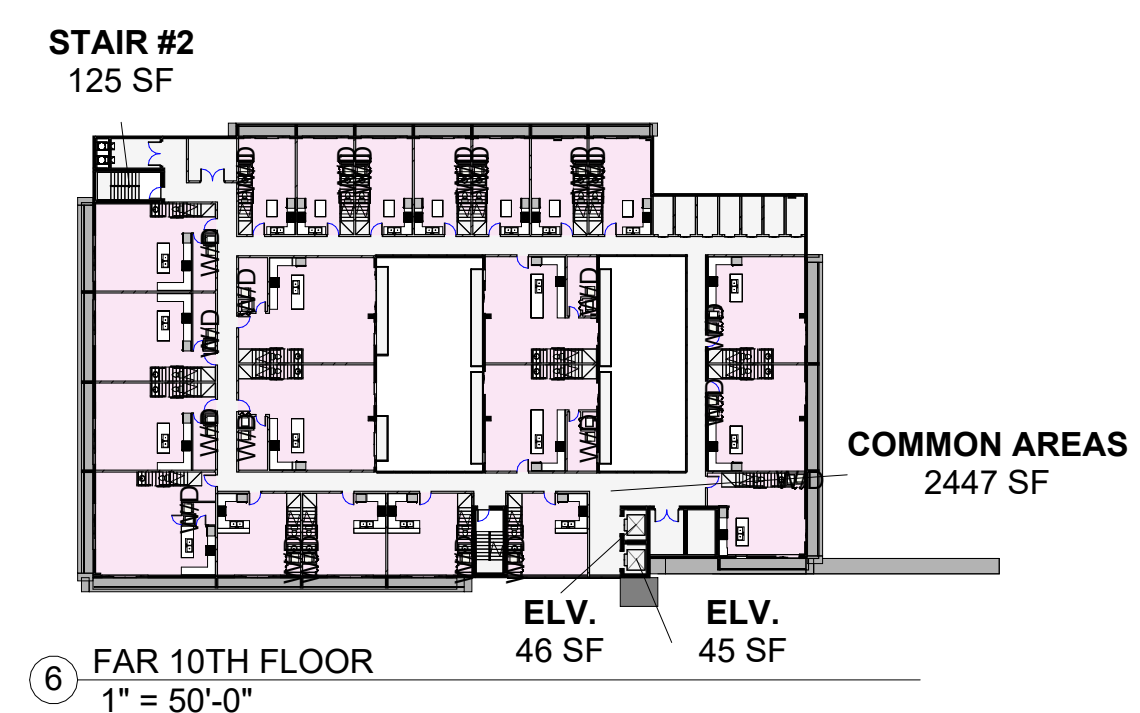
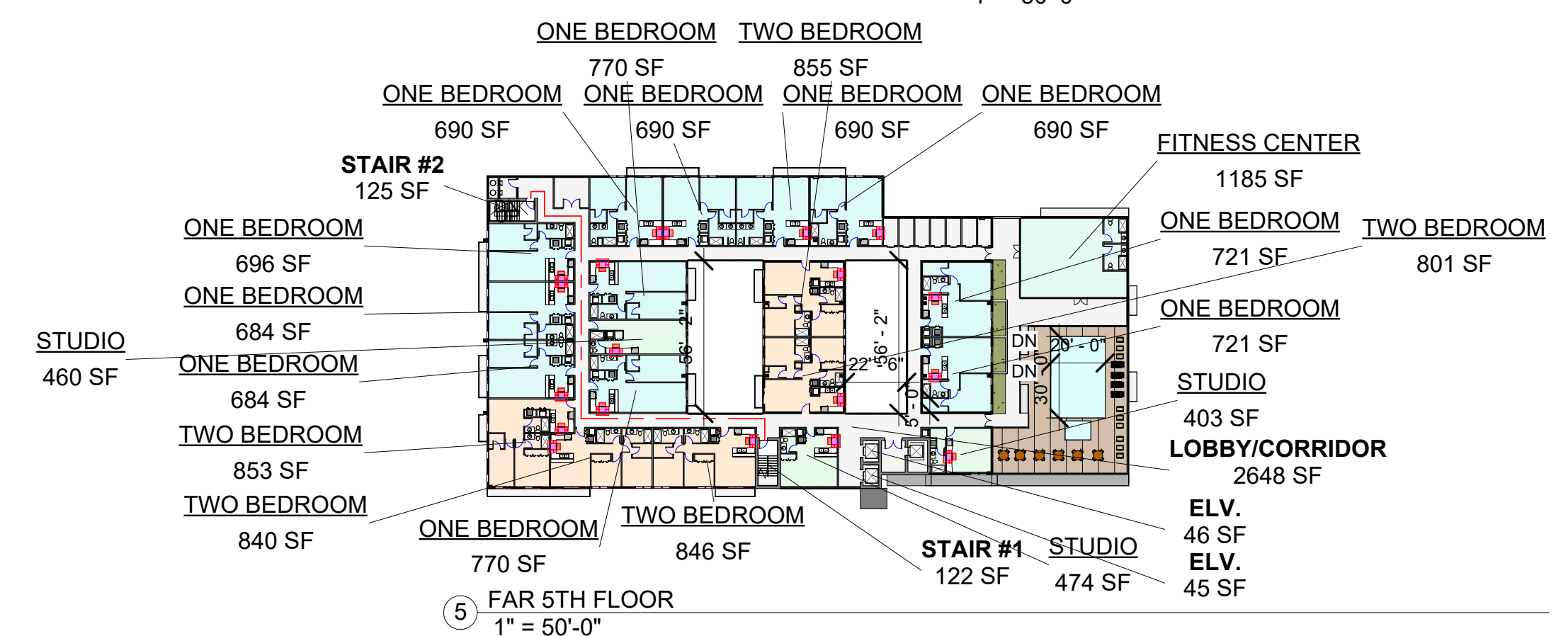
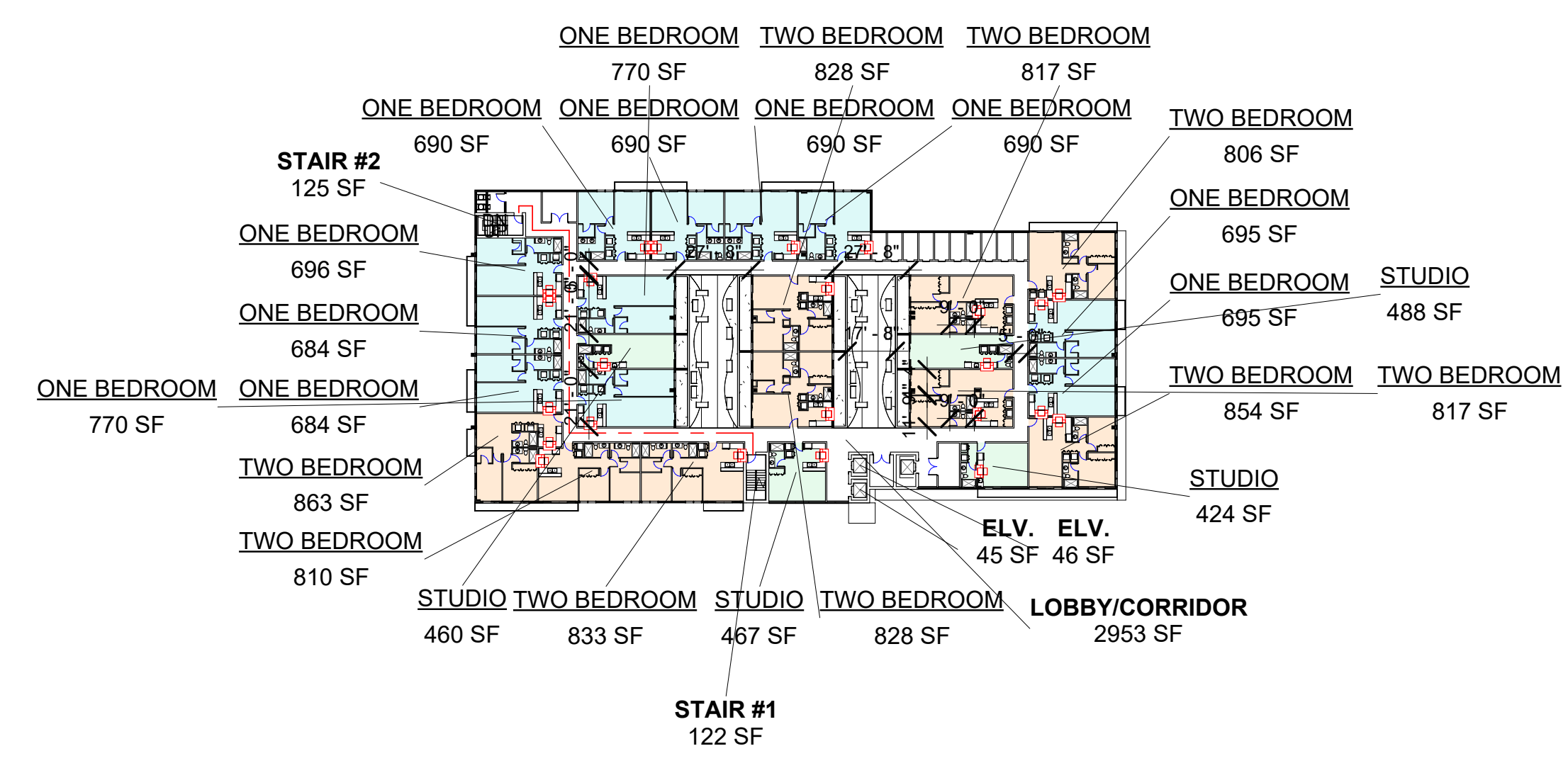
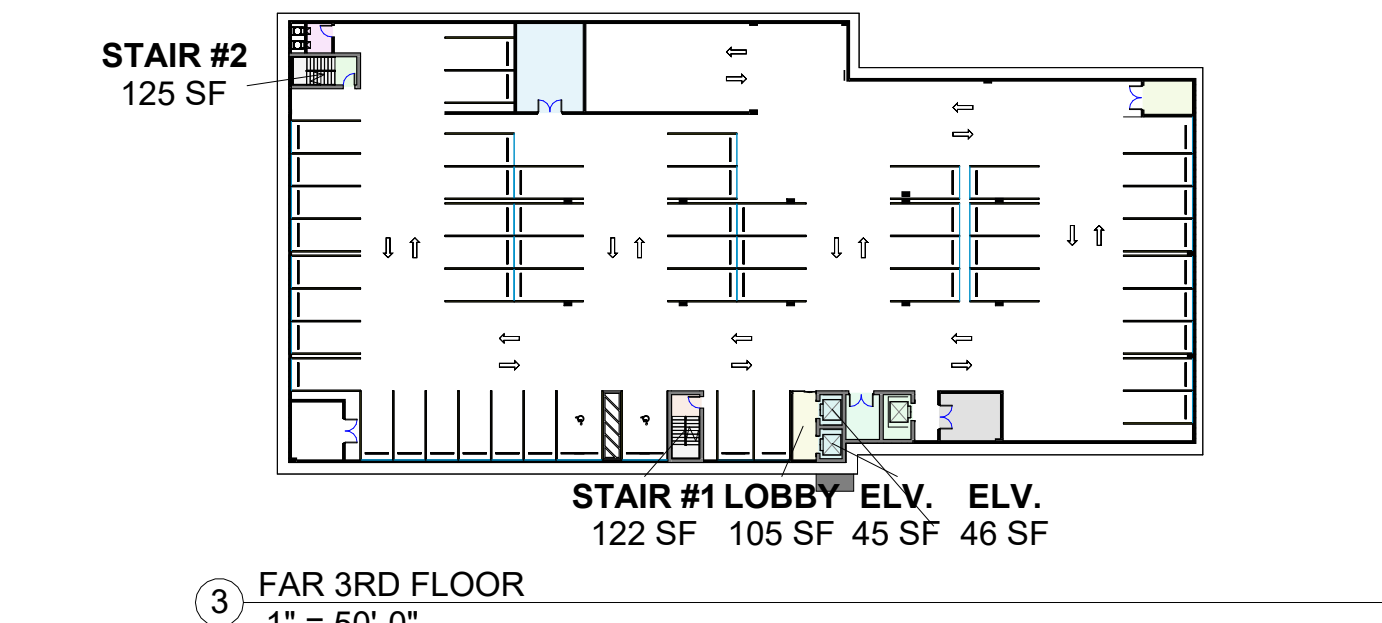
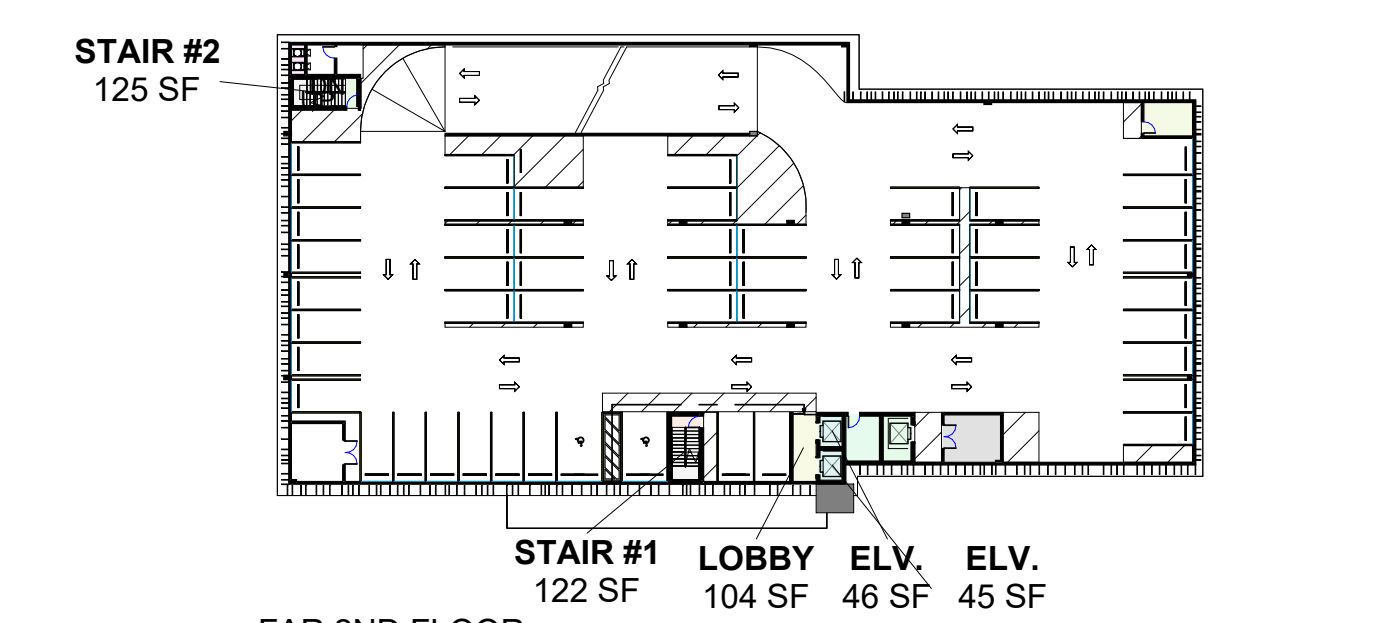
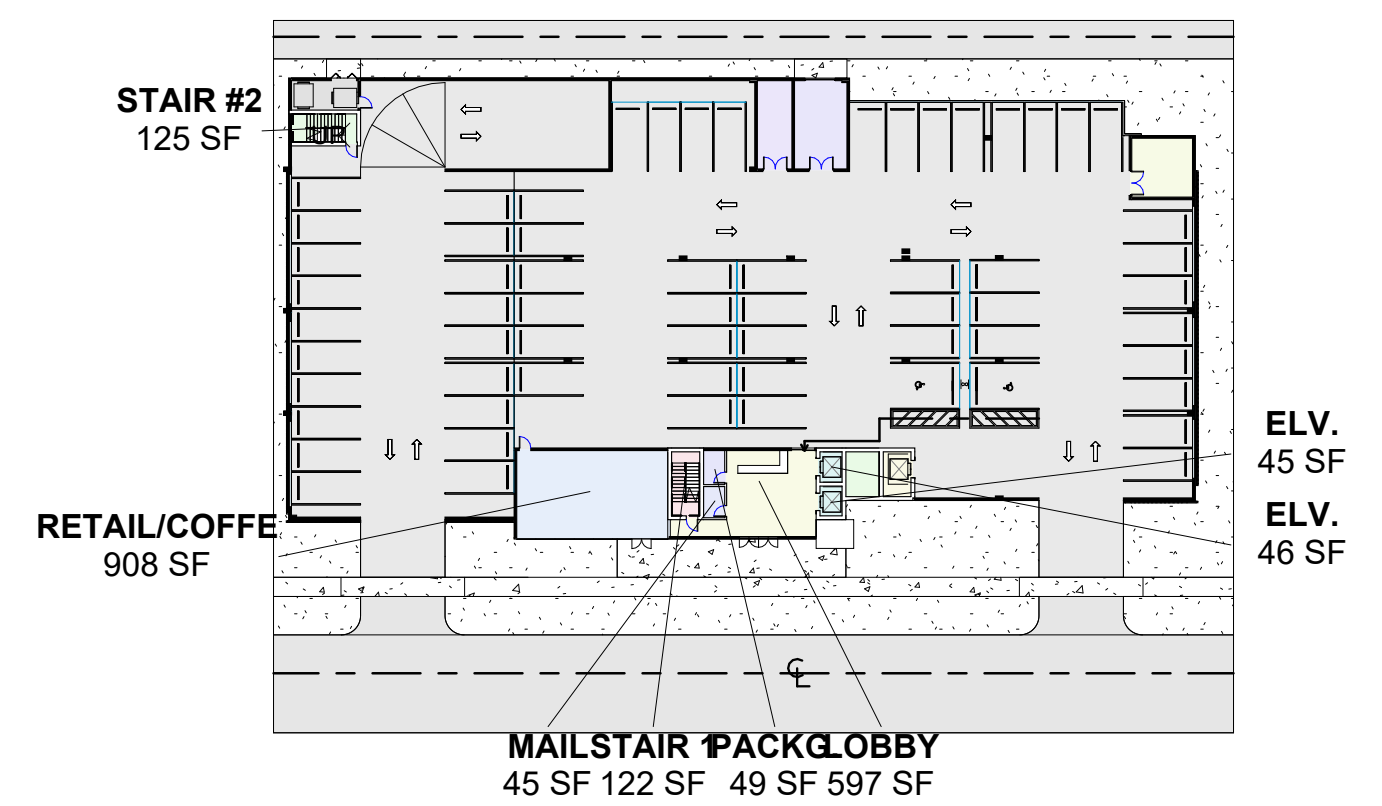
FAR PROVIDED= 136,610 SF



PROGRAM DIAGRAM



ZONING LEGEND
 1/4" = 1'-0"



100% CONSTRUCTION DOCUMENTS

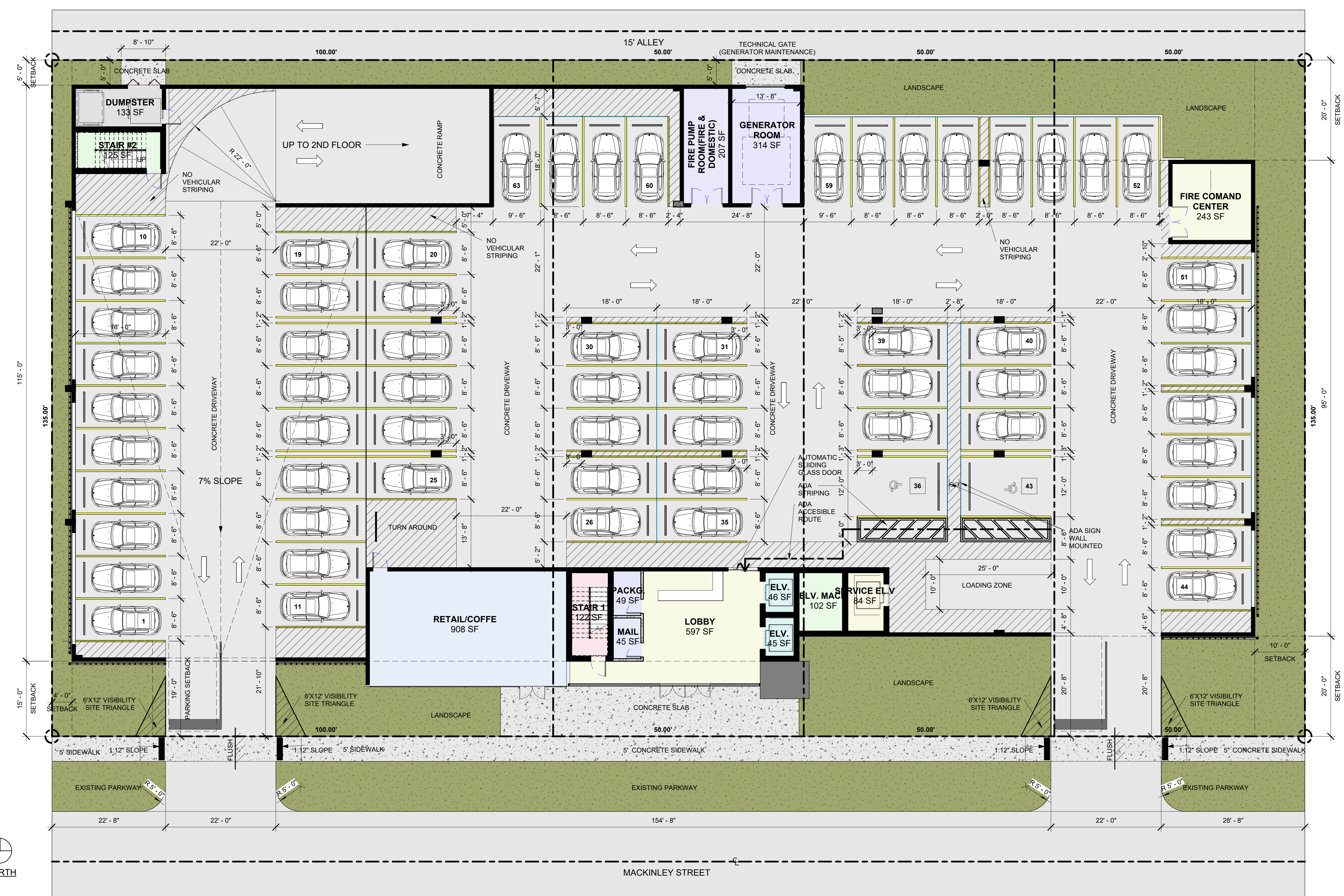
Revision		
REV	DATE	BY

**PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
 ZEBI DEVELOPMENT GROUP INC.
 1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
 FLORIDA 33020**

SEAL: AR 0017852
 LUIS LA ROSA

DRAWN:	A.G.
CHECKED:	L.L.R.
DATE:	9/5/2024
SCALE:	AS NOTED
JOB NO.:	024-052
SHEET:	
OF:	SHEETS:

NOTE: FAR CALCULATION AND PARKING CALCULATIONS, REFER TO SHEET GN.1.1



1 SITE PLAN
 1" = 10'-0"



100% CONSTRUCTION DOCUMENTS

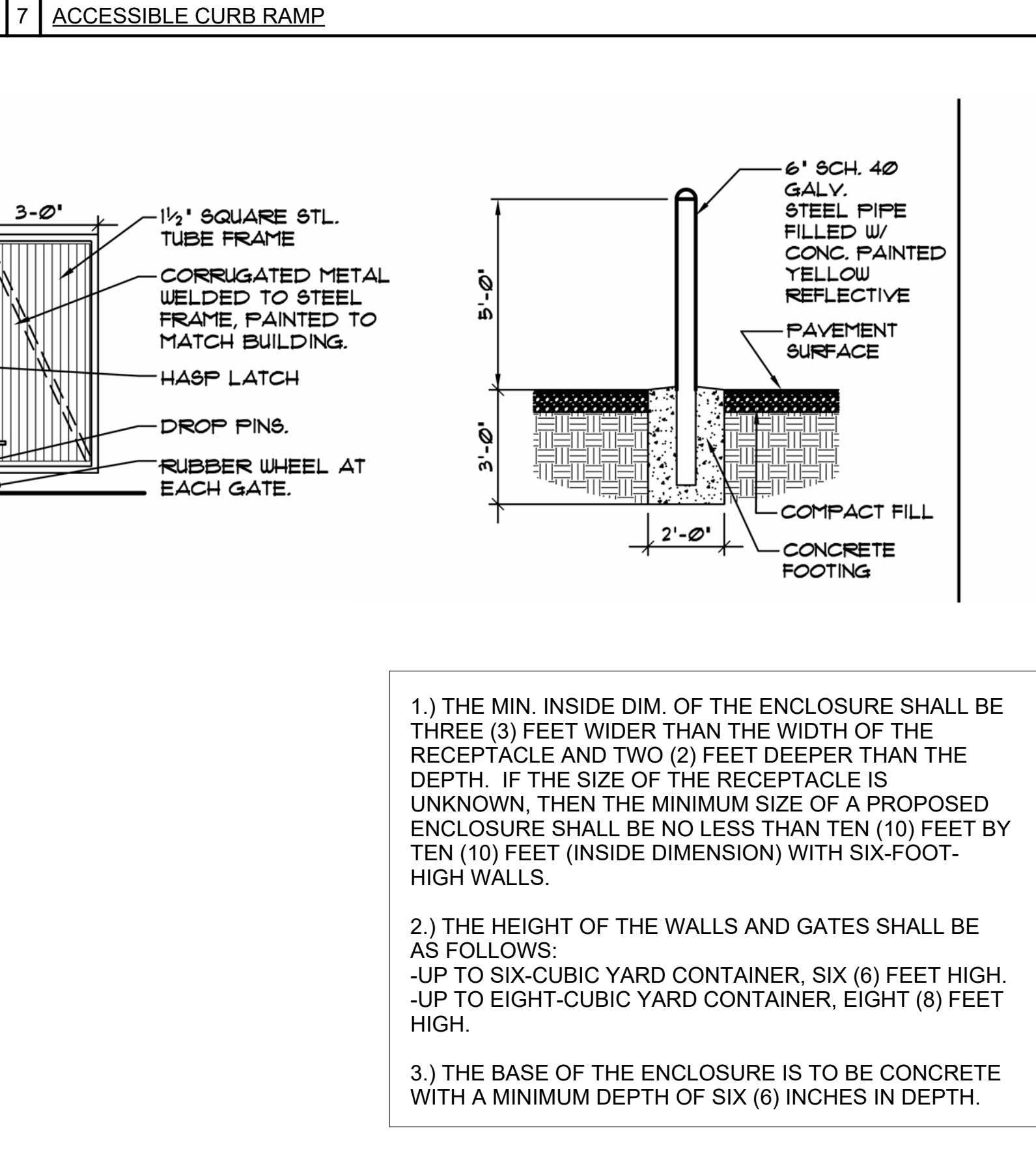
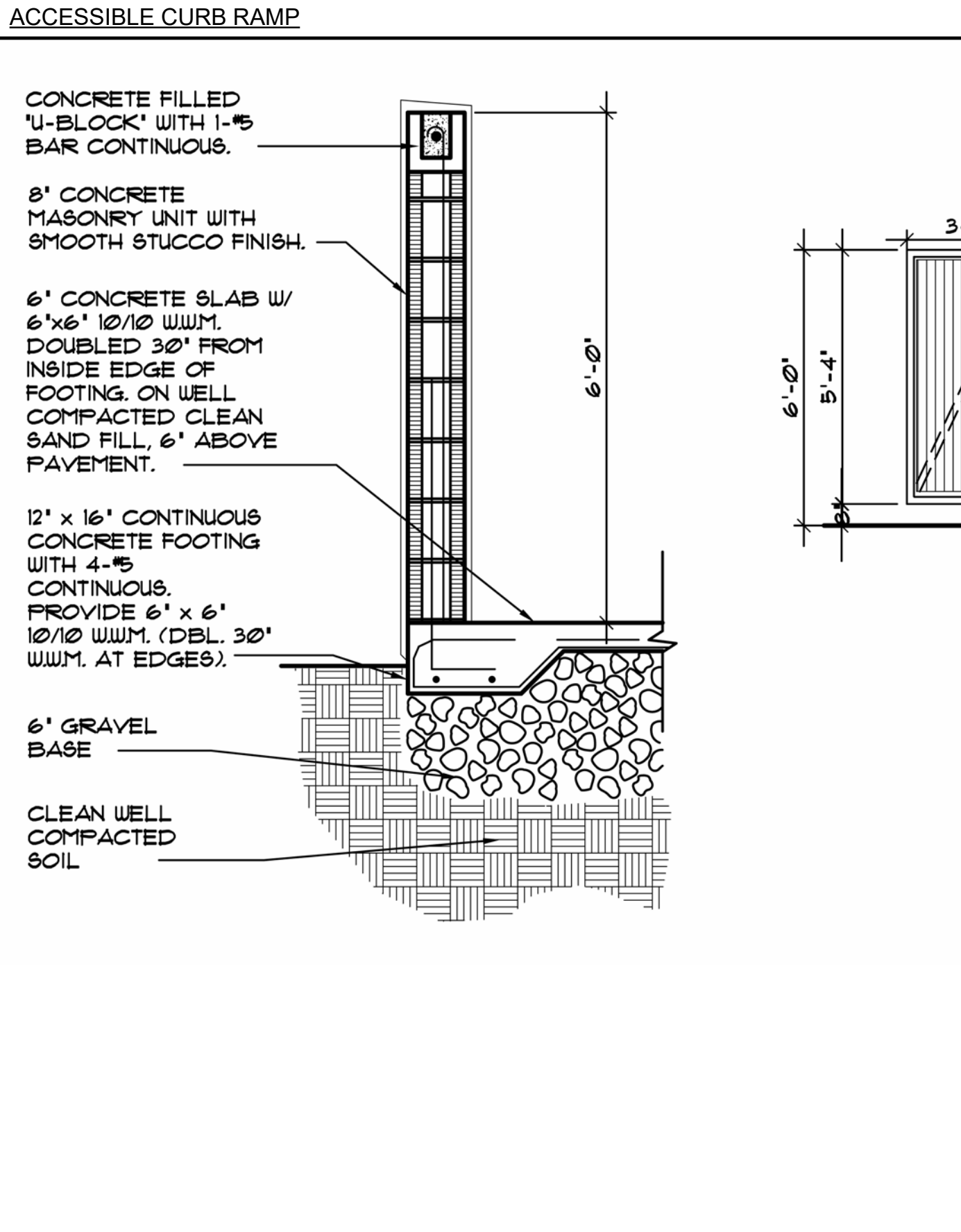
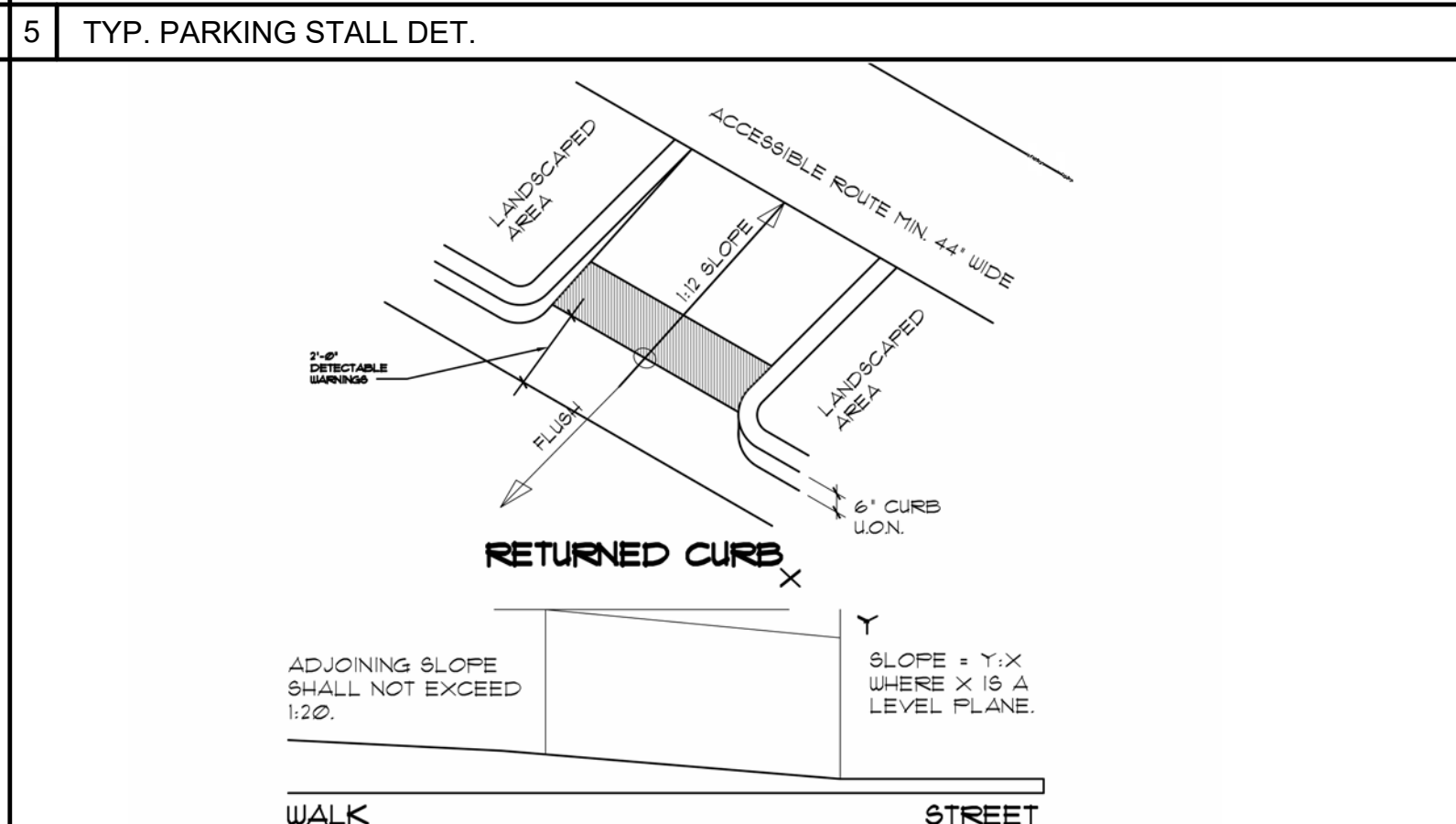
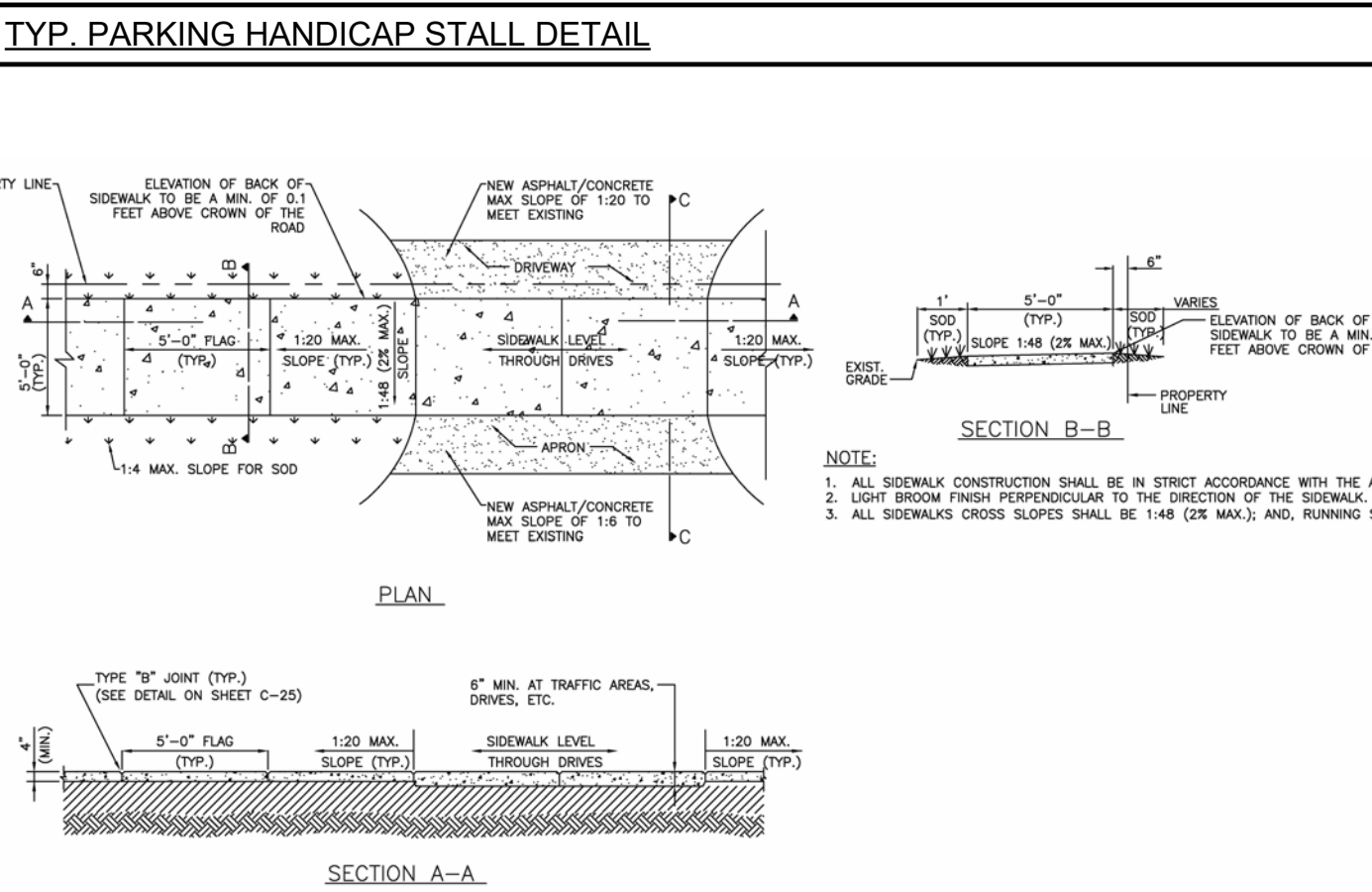
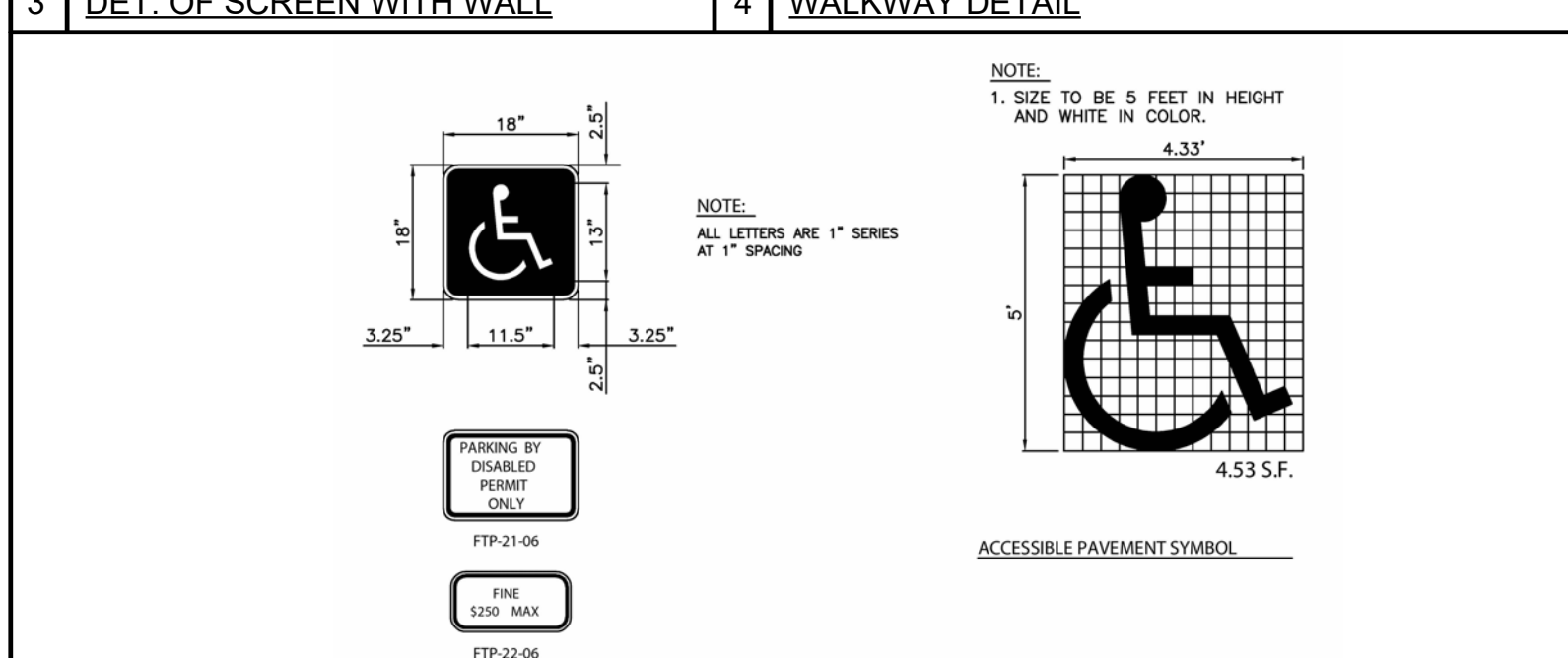
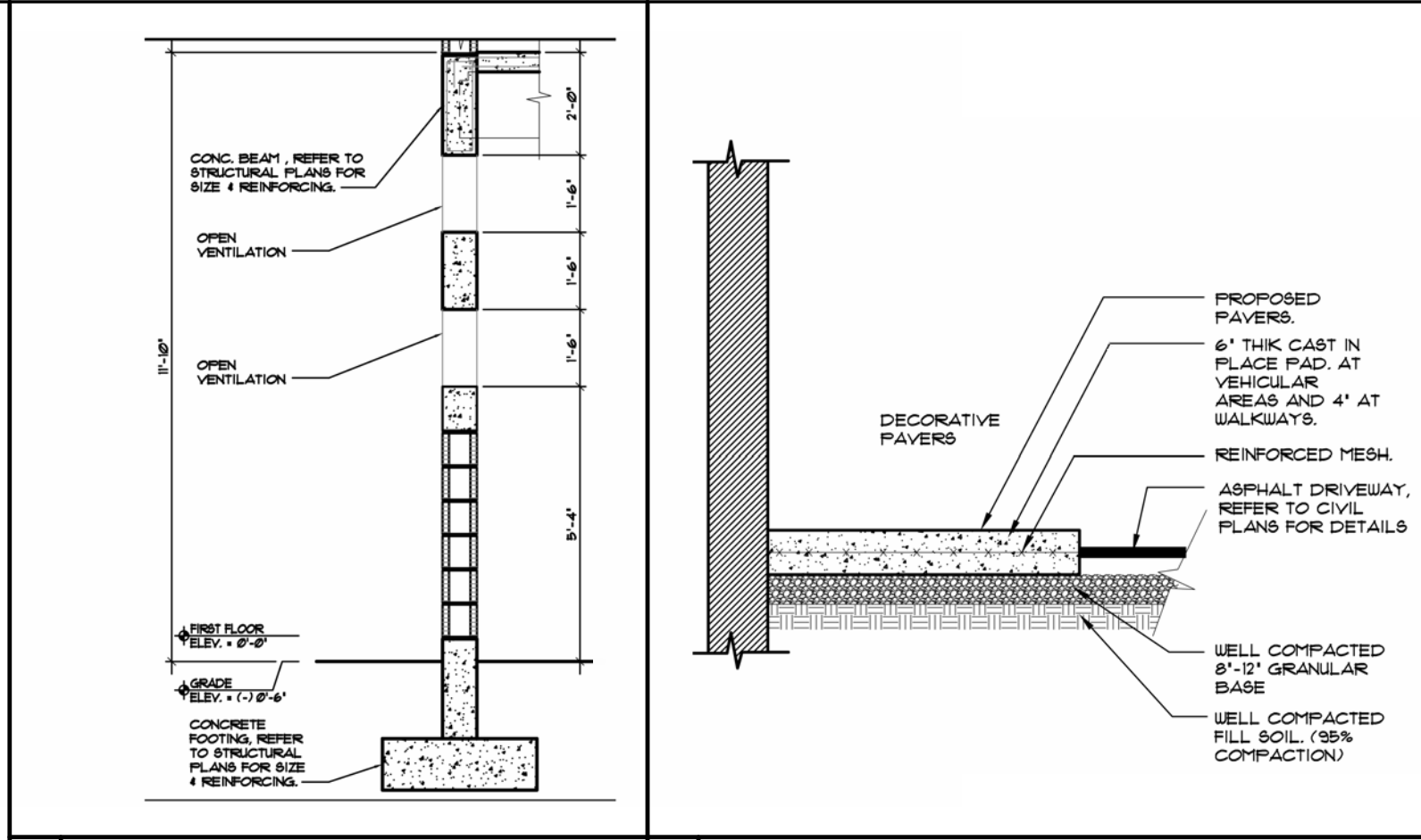
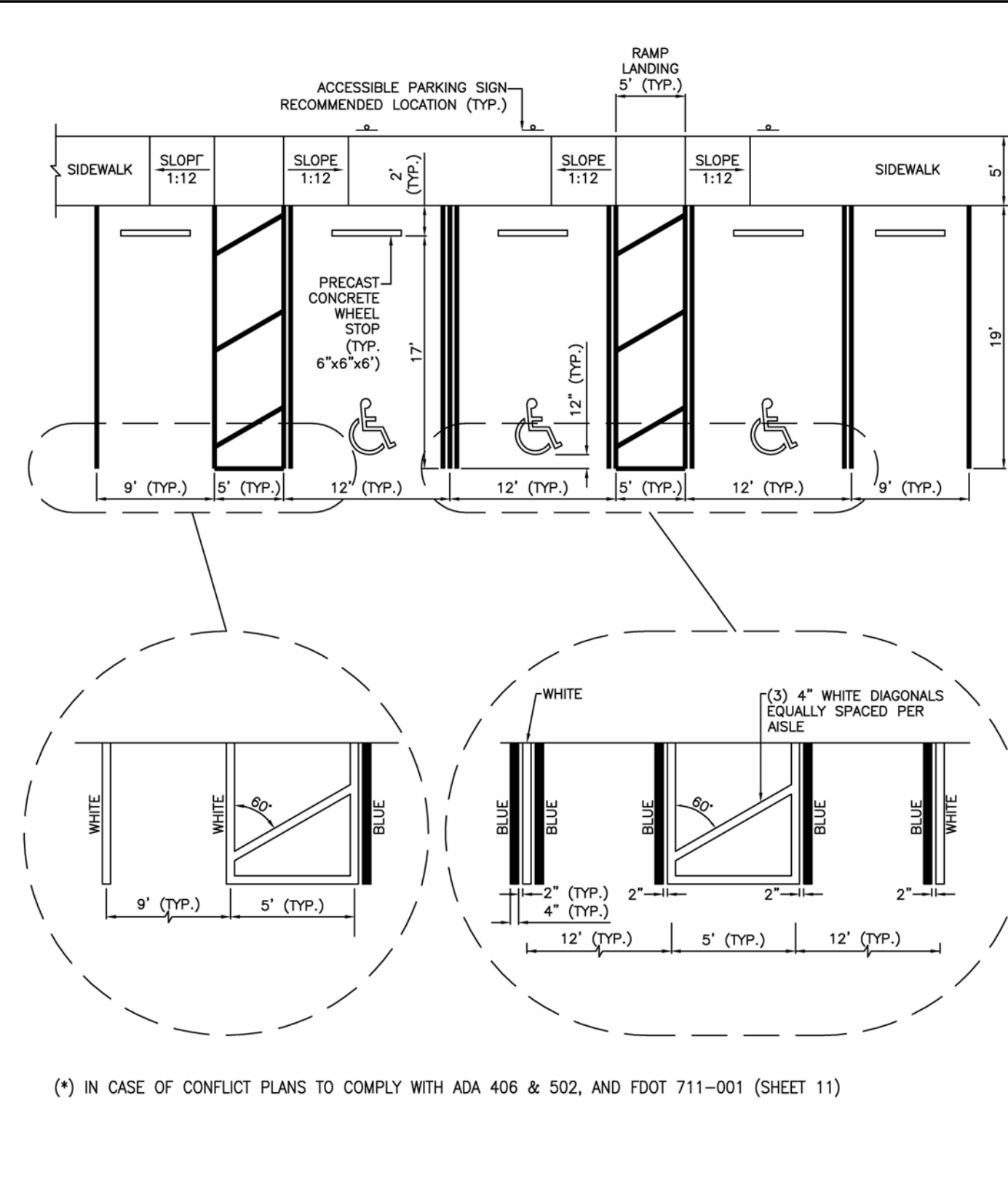
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 APR-0017852
 LARA

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- 1.) THE MIN. INSIDE DIM. OF THE ENCLOSURE SHALL BE THREE (3) FEET WIDER THAN THE WIDTH OF THE RECEPTACLE AND TWO (2) FEET DEEPER THAN THE DEPTH. IF THE SIZE OF THE RECEPTACLE IS UNKNOWN, THEN THE MINIMUM SIZE OF A PROPOSED ENCLOSURE SHALL BE NO LESS THAN TEN (10) FEET BY TEN (10) FEET (INSIDE DIMENSION) WITH SIX-FOOT-HIGH WALLS.
- 2.) THE HEIGHT OF THE WALLS AND GATES SHALL BE AS FOLLOWS:
 -UP TO SIX-CUBIC YARD CONTAINER, SIX (6) FEET HIGH.
 -UP TO EIGHT-CUBIC YARD CONTAINER, EIGHT (8) FEET HIGH.
- 3.) THE BASE OF THE ENCLOSURE IS TO BE CONCRETE WITH A MINIMUM DEPTH OF SIX (6) INCHES IN DEPTH.

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
 ZEBI DEVELOPMENT GROUP INC.
 1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
 FLORIDA 33020

SEAL: APR 0017852
 LUIS LA ROSA

DRAWN:	A.G.
CHECKED:	L.L.R.
DATE:	9/5/2024
SCALE:	AS NOTED
JOB NO.:	024-052
SHEET:	

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1/16" = 1'-0"



① SOUTH SITE ELEVATION
 1/16" = 1'-0"



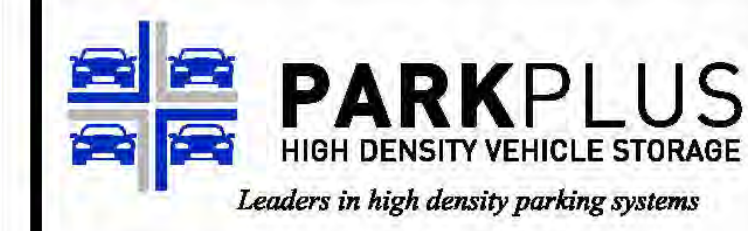
② SITE EAST ELEVATION
 1/16" = 1'-0"



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Registered Architect
Luis La Rosa

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REVISION	DATE



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1111 OLD GRIFFIN ROAD
DANIA BEACH, FL 33004
TEL: +1-954-929-7511
FAX: +1-954-929-7512
www.parkplusinc.com



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VIRAPHONH VICTOR SOUKAMNEUTH, P.E.
FLORIDA PE #78074

CERTIFICATE OF AUTHORIZATION #31097

BEARING	LOCATION PLAN
---------	---------------

PROJECT NAME

PROJECT NUMBER CXXXXFL

TITLE

DRAWN	CHECKED	CHECKED	DATE
FM	EP	VS	XX/XX/XXXX

SCALE AS NOTED

DRAWING NUMBER

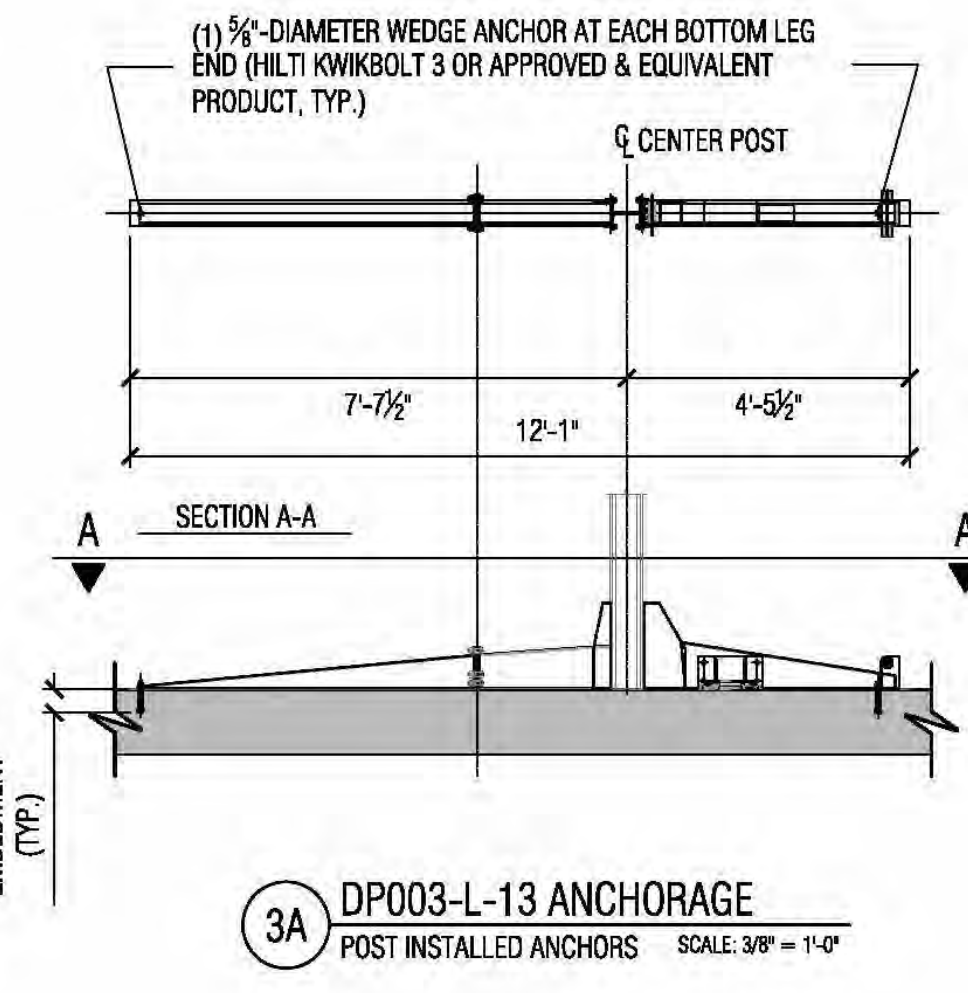
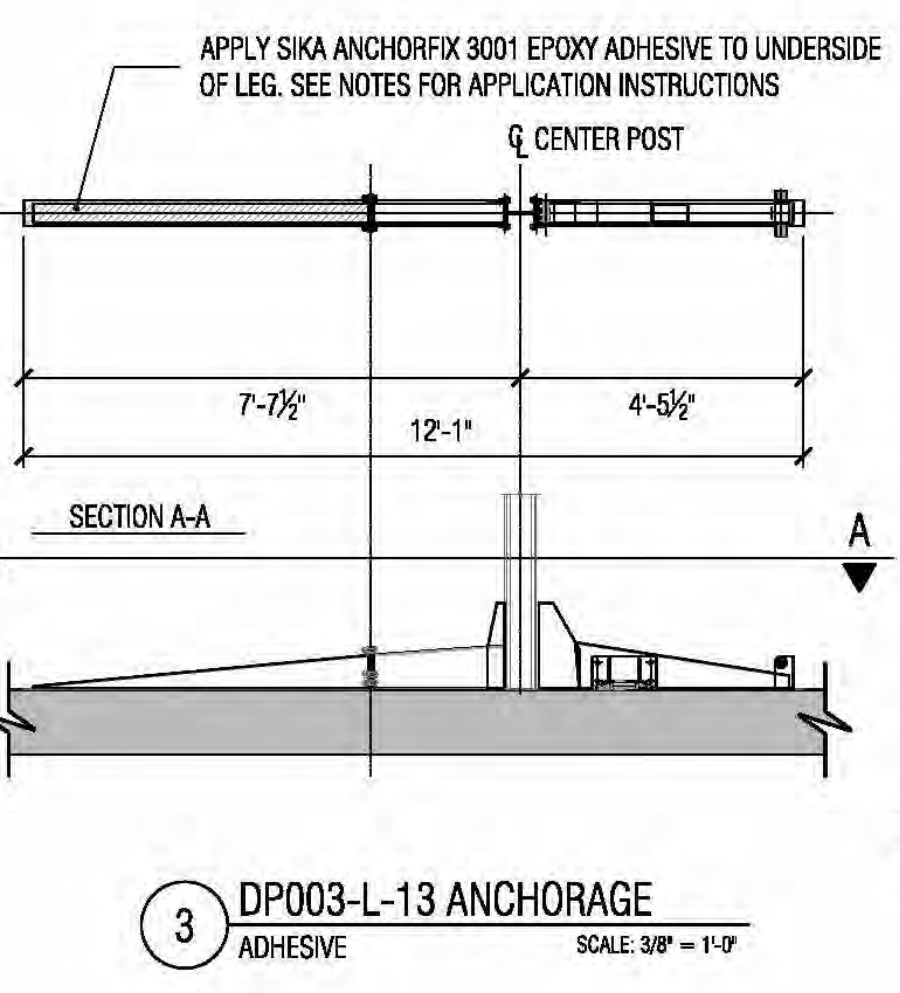
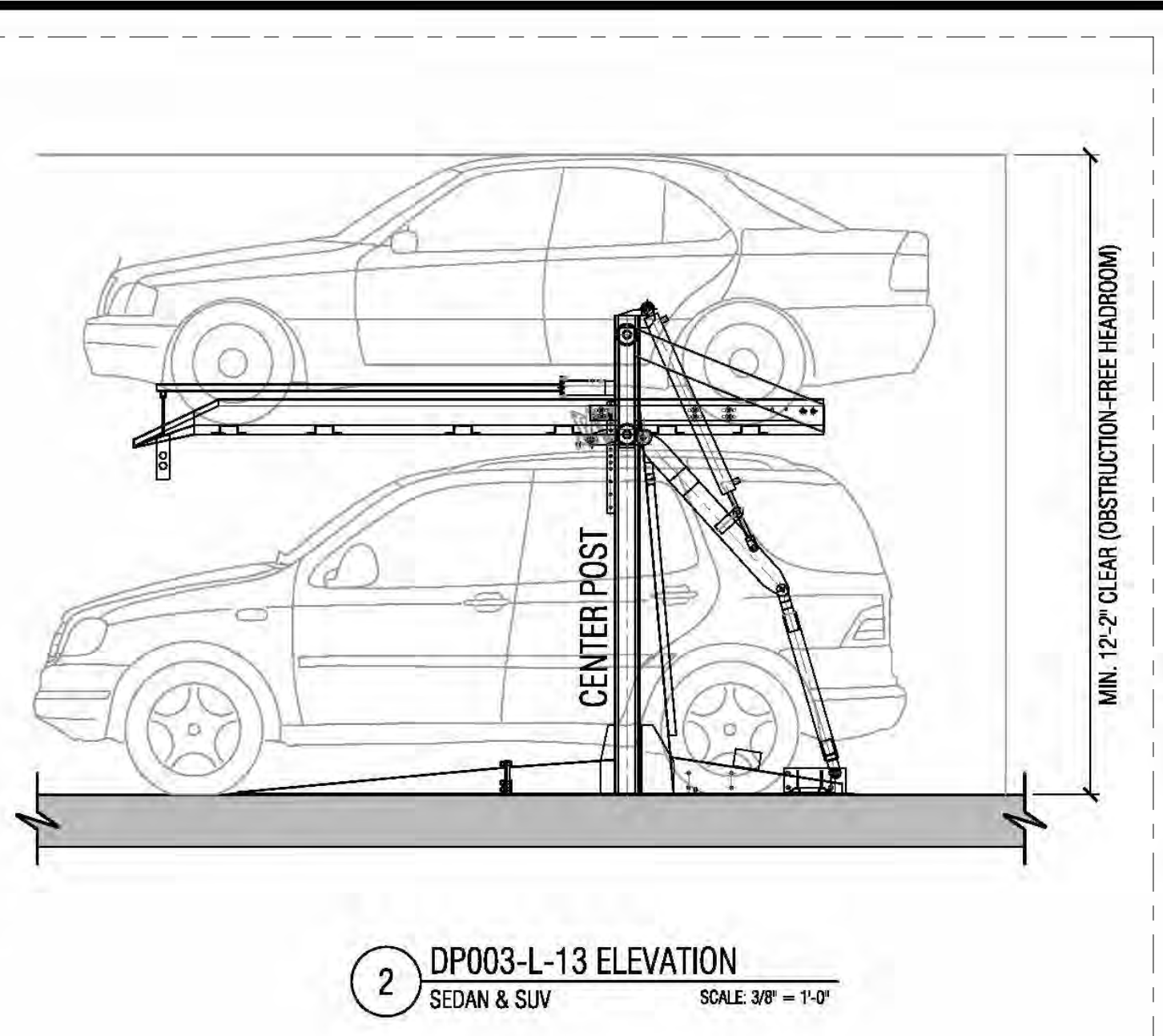
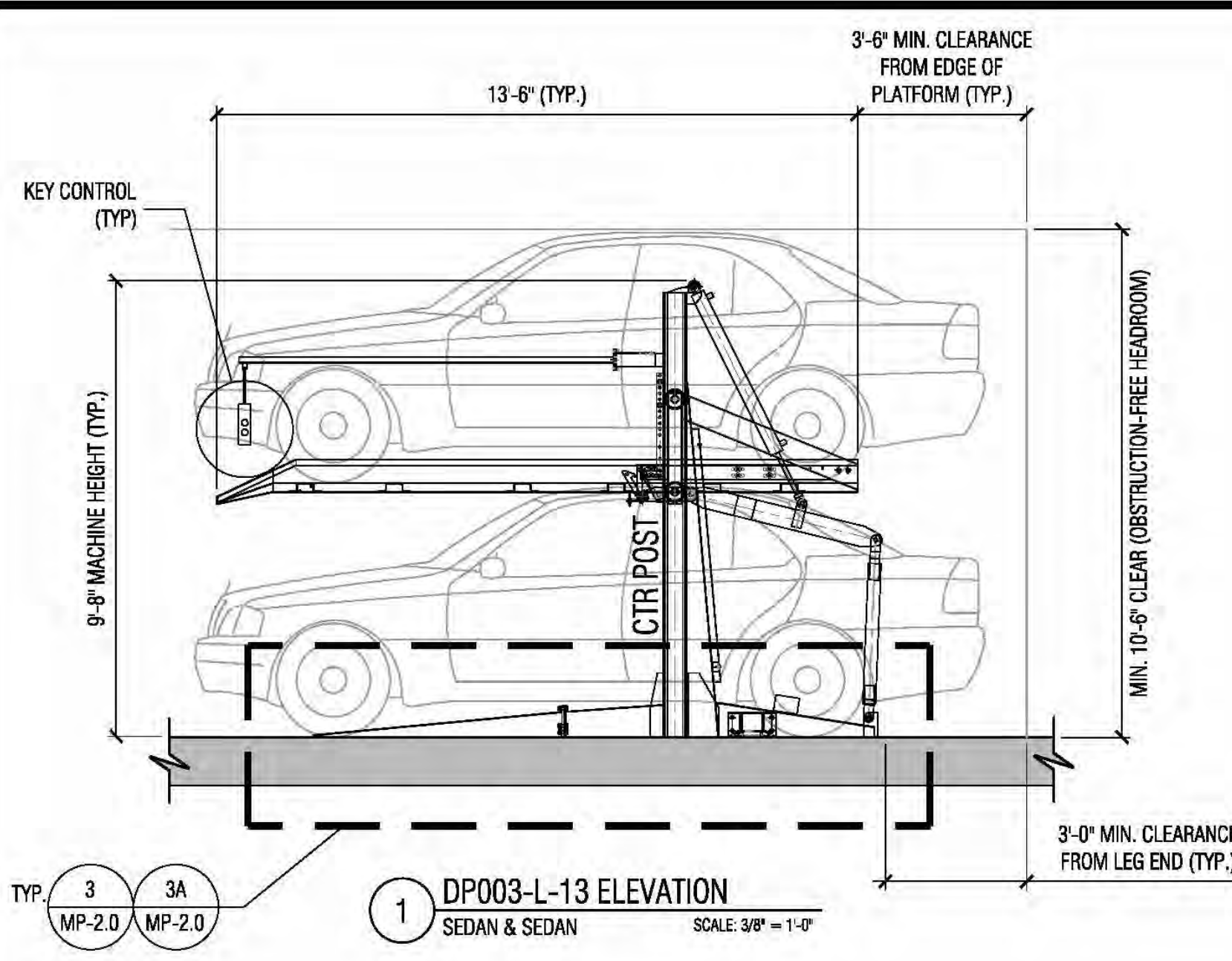
PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN: A.G.
CHECKED: L.L.R.
DATE: 9/5/2024
SCALE: AS NOTED
JOB NO.: 024-052
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ESTIMATED WEIGHT OF DOUBLE STACKER=3000#
CAR LIFT CAPACITY=6000#

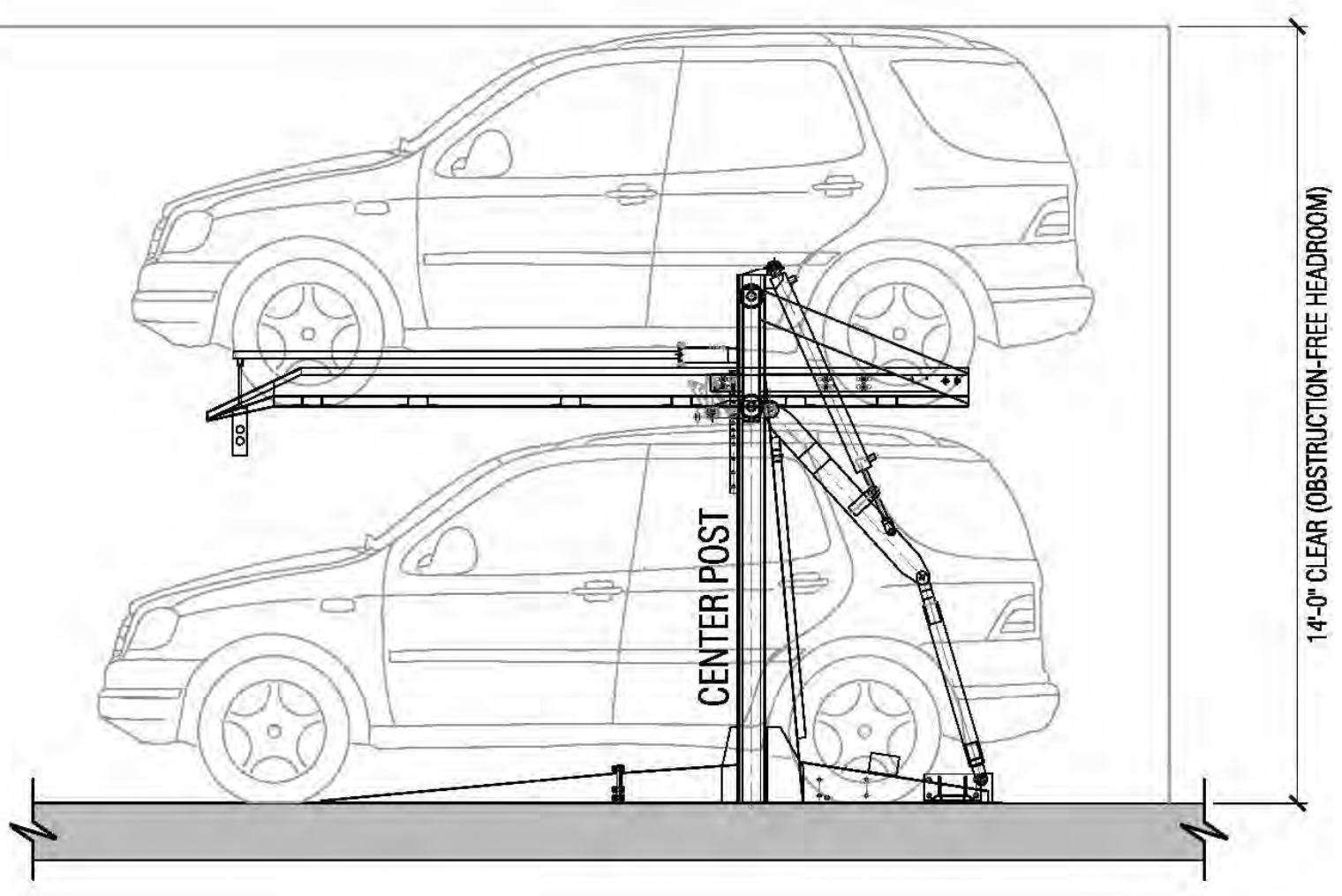
RECOMMENDED CLEARANCES FOR DP003	
STACKED VEHICLE TYPES	TOTAL HEIGHT REQUIREMENT
SEDAN + SEDAN	10'-6"
SUV + SEDAN	12'-2"
SUV + SUV	14'-0"

TABLE 2.0 - ASD REACTIONS AT CENTER POST:		
	LOADED WITH VEHICLE (w/20% Impact Factor)	UNLOADED(LIFT SELF WEIGHT)
END LEGS:	5,000 lbs	1,500 lbs
INTERIOR LEG:	10,000 lbs	3,000 lbs
AREA LOAD:	150 psf	40 psf

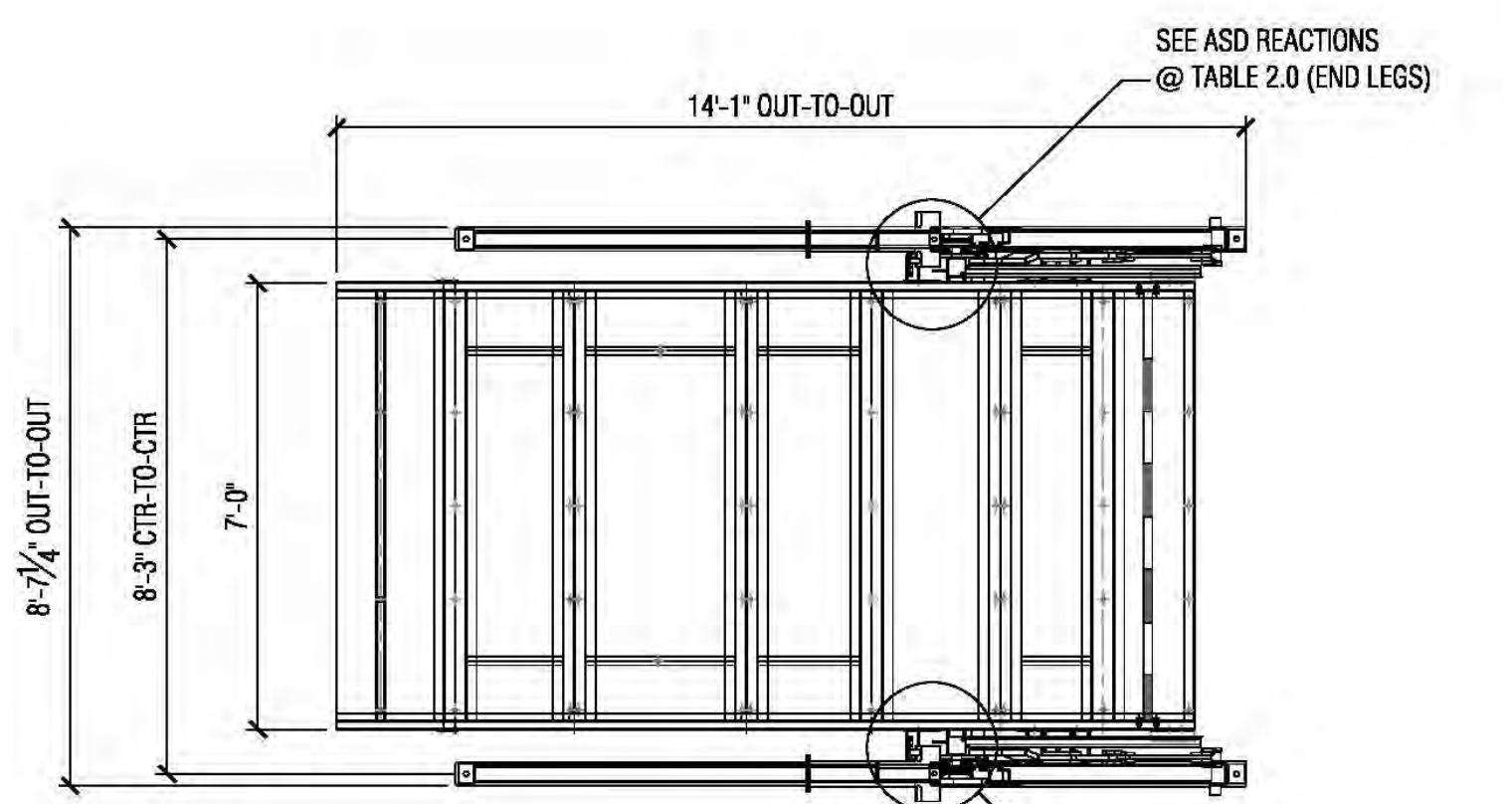
ANCHORAGE NOTES:
1. USE ADHESIVE FOR POST TENSION SLAB (DETAIL 3).
2. USE POST INSTALLED ANCHORAGE FOR REINFORCED CONCRETE SLAB (DETAIL 3A).

CAR LIFTS ON SLOPES NOTE:
1. THE MAXIMUM ALLOWABLE SLOPE WHICH CAN BE HANDLED BY THE PARKING LIFT IS 6%.
2. PARKING LIFTS SHOULD NOT BE PLACED WHERE ONE LEG SITS ON A SLOPED SURFACE AND THE OTHER ON A FLAT SURFACE.

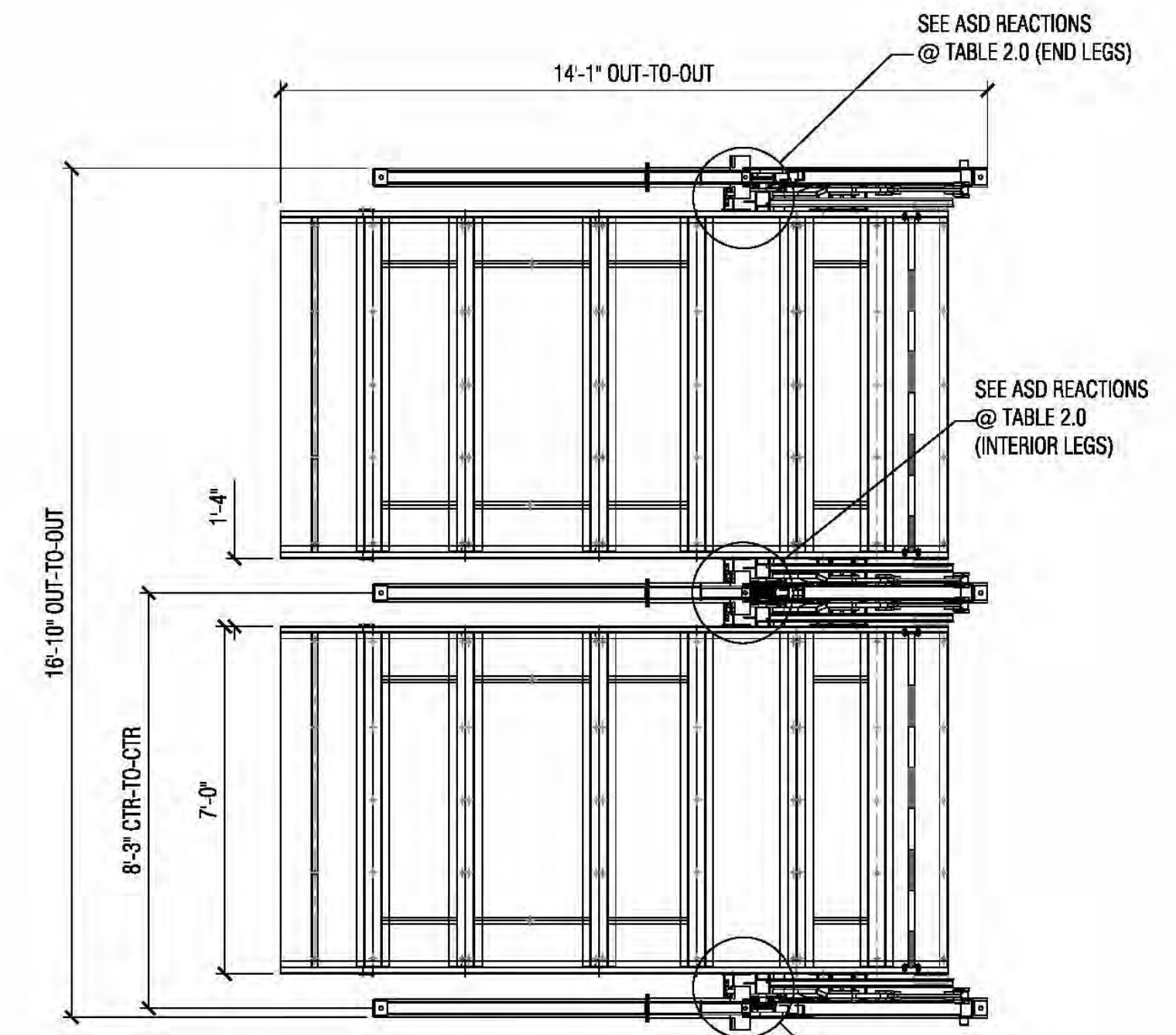
WE ARE USING THE SEDAN/SUV CONFIGURATION AS PER OWNER REQUEST



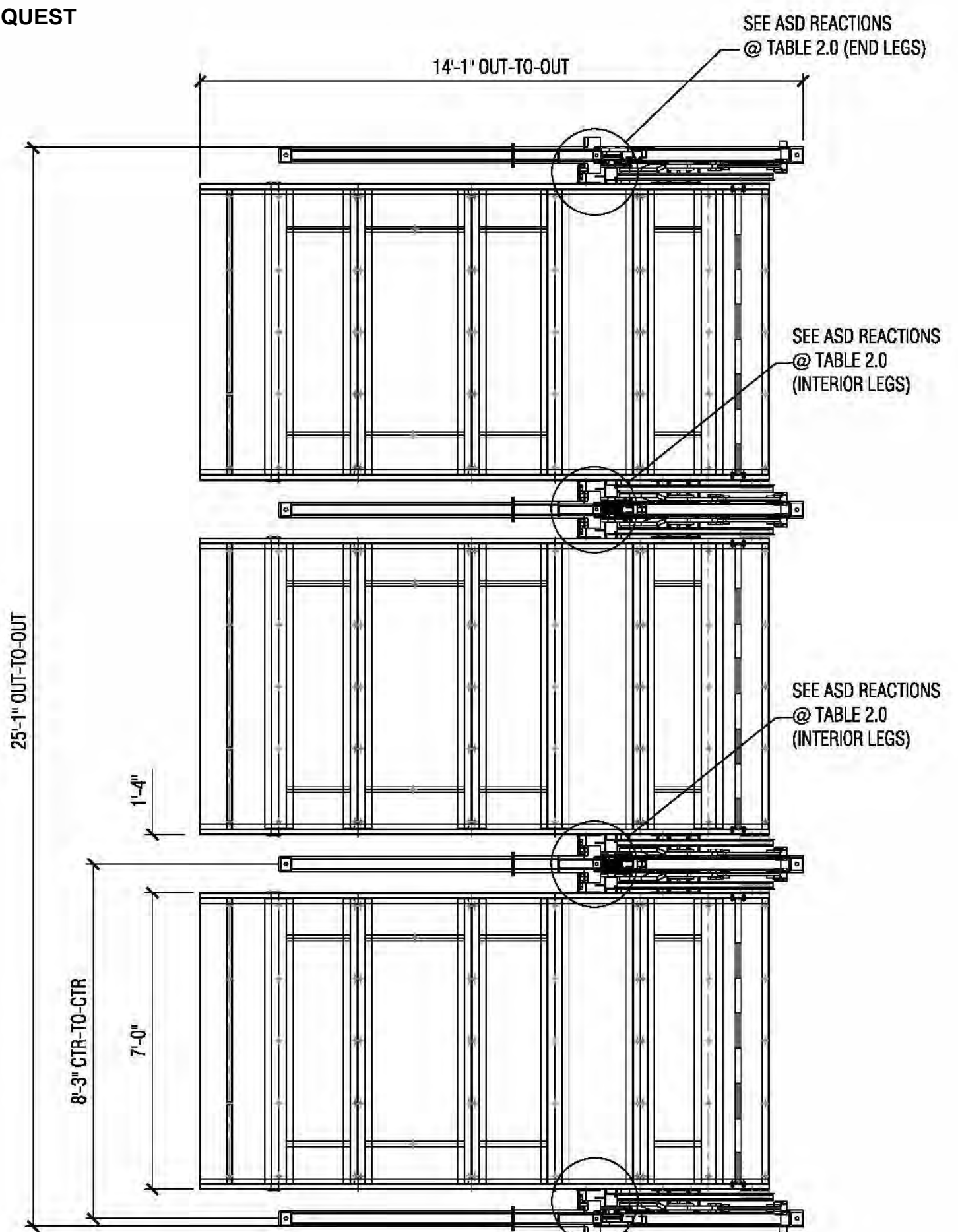
4 DP003-L-13 ELEVATION SUV & SUV SCALE: 3/8" = 1'-0"



5 DP003-L-13 PLAN ONE WIDE SCALE: 3/8" = 1'-0"



6 DP003-L-13 PLAN TWO WIDE SCALE: 3/8" = 1'-0"



7 DP003-L-13 PLAN THREE WIDE SCALE: 3/8" = 1'-0"

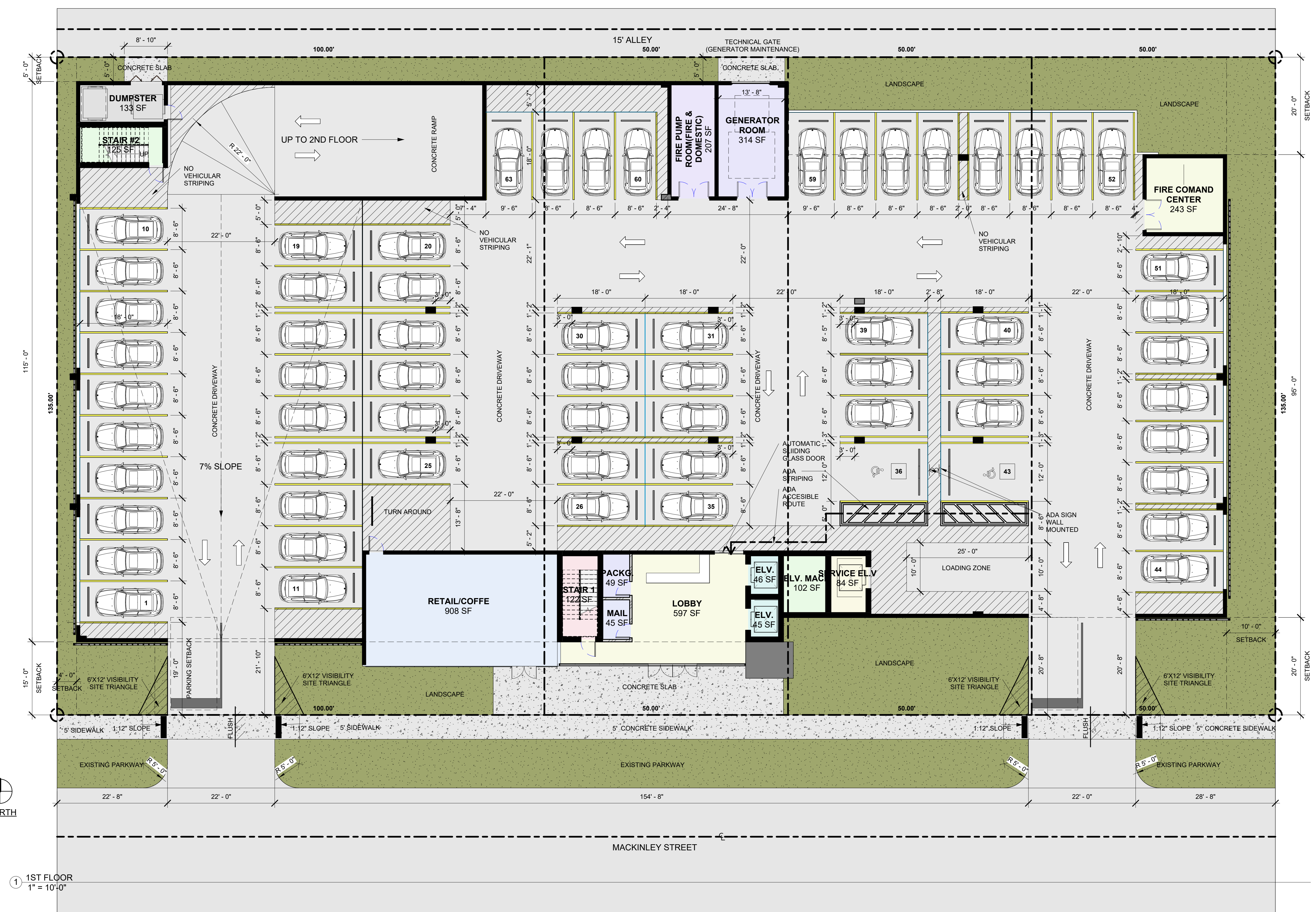
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1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
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 LUIS LA ROSA

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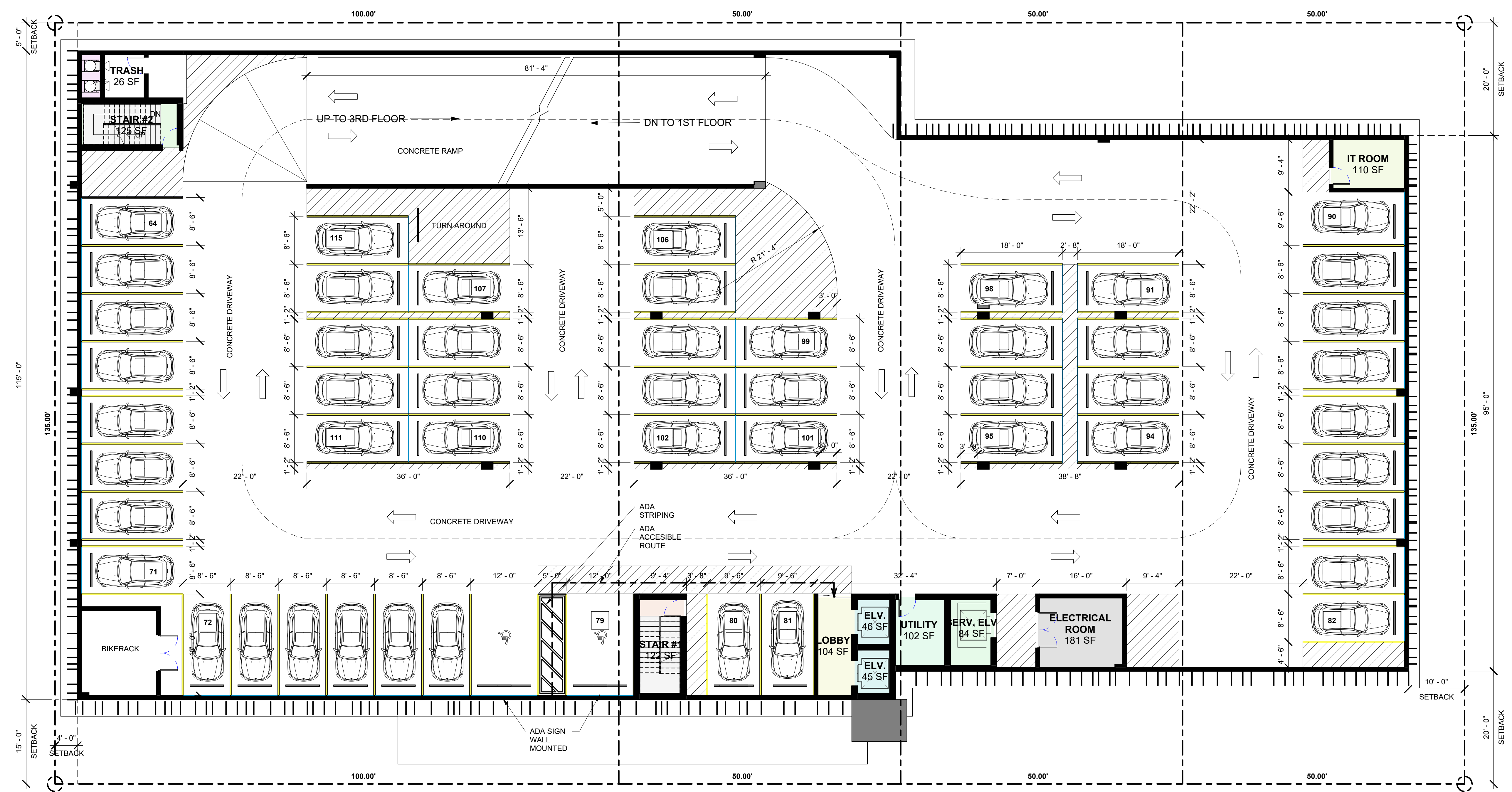
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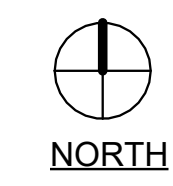
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 1" = 10'-0"



1 2ND FLOOR PARKING
 1" = 10'-0"





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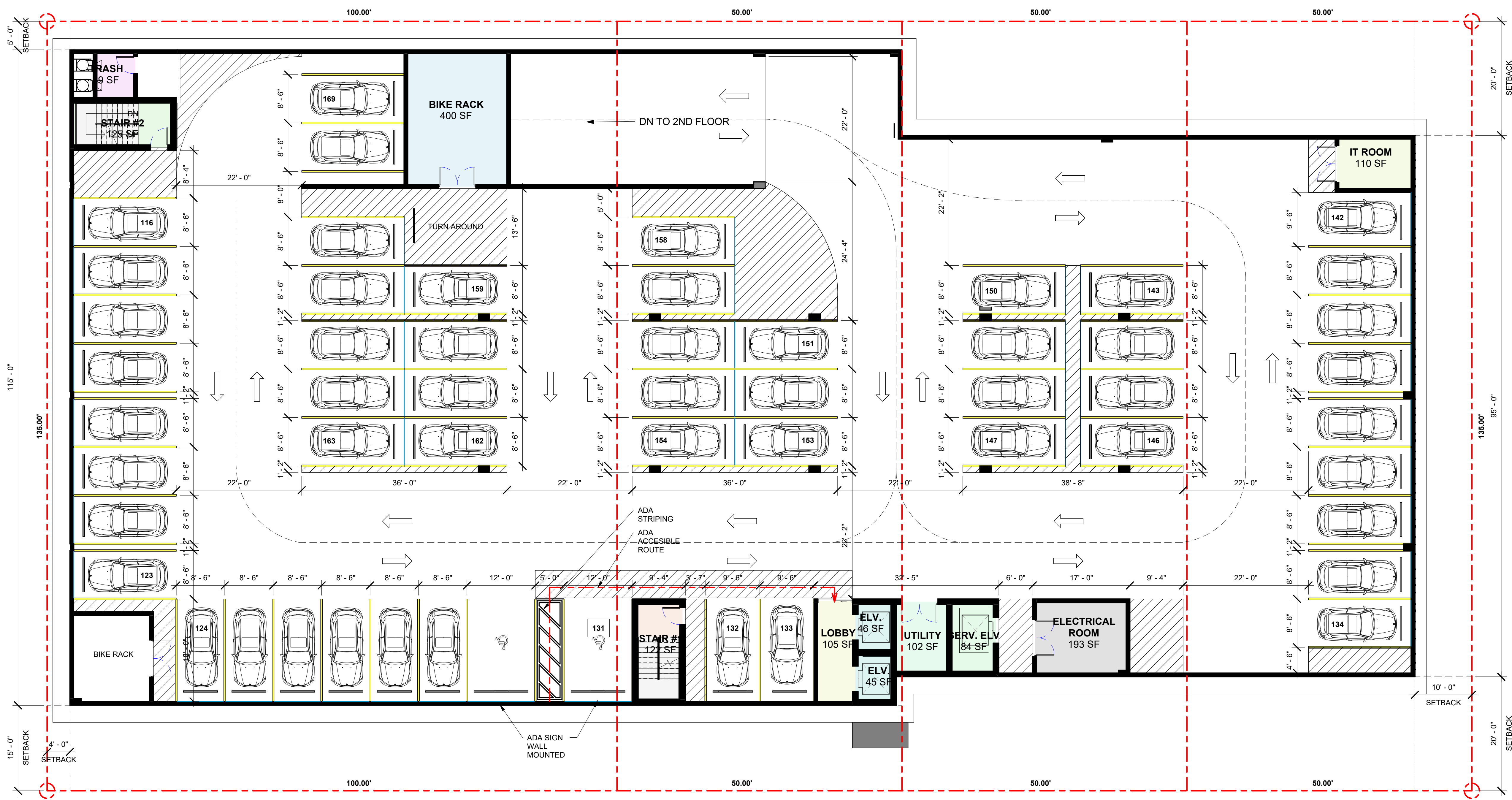
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 FLORIDA 33020**

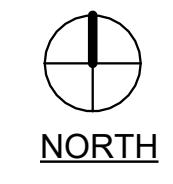
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 1" = 10'-0"



1 3RD FLOOR PLAN PARKING
 1" = 10'-0"





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① 4TH FLOOR
1" = 10'-0"

1" = 10'-0"



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1" = 10'-0"



① 5TH FLOOR
 1" = 10'-0"



NORTH

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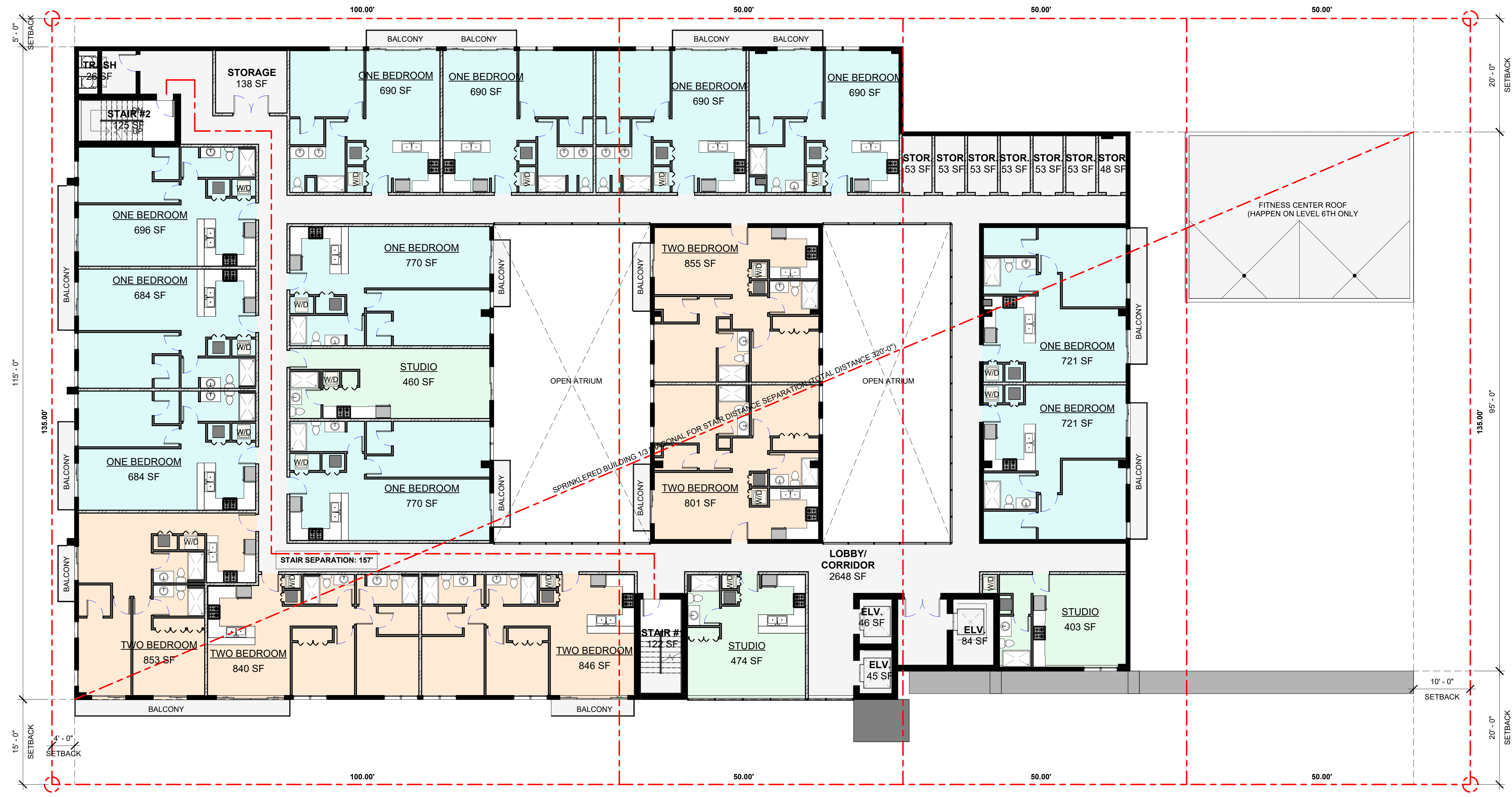
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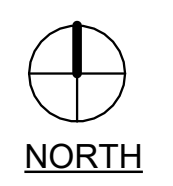
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1" = 10'-0"



① TYP FLOORS 6TH TO 9TH FLOOR PLAN
 1" = 10'-0"



NORTH



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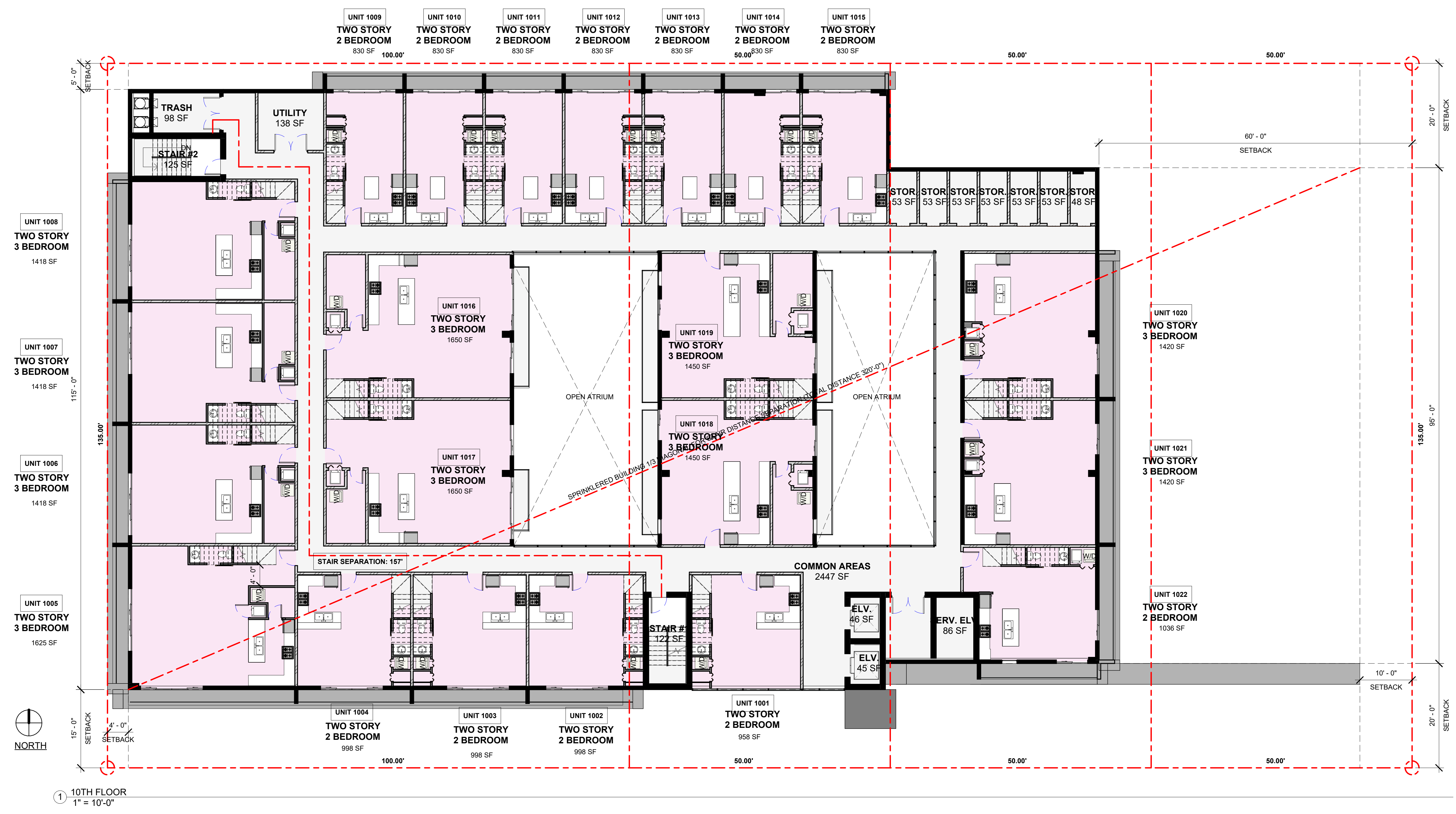
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1" = 10'-0"



1 10TH FLOOR
 1" = 10'-0"



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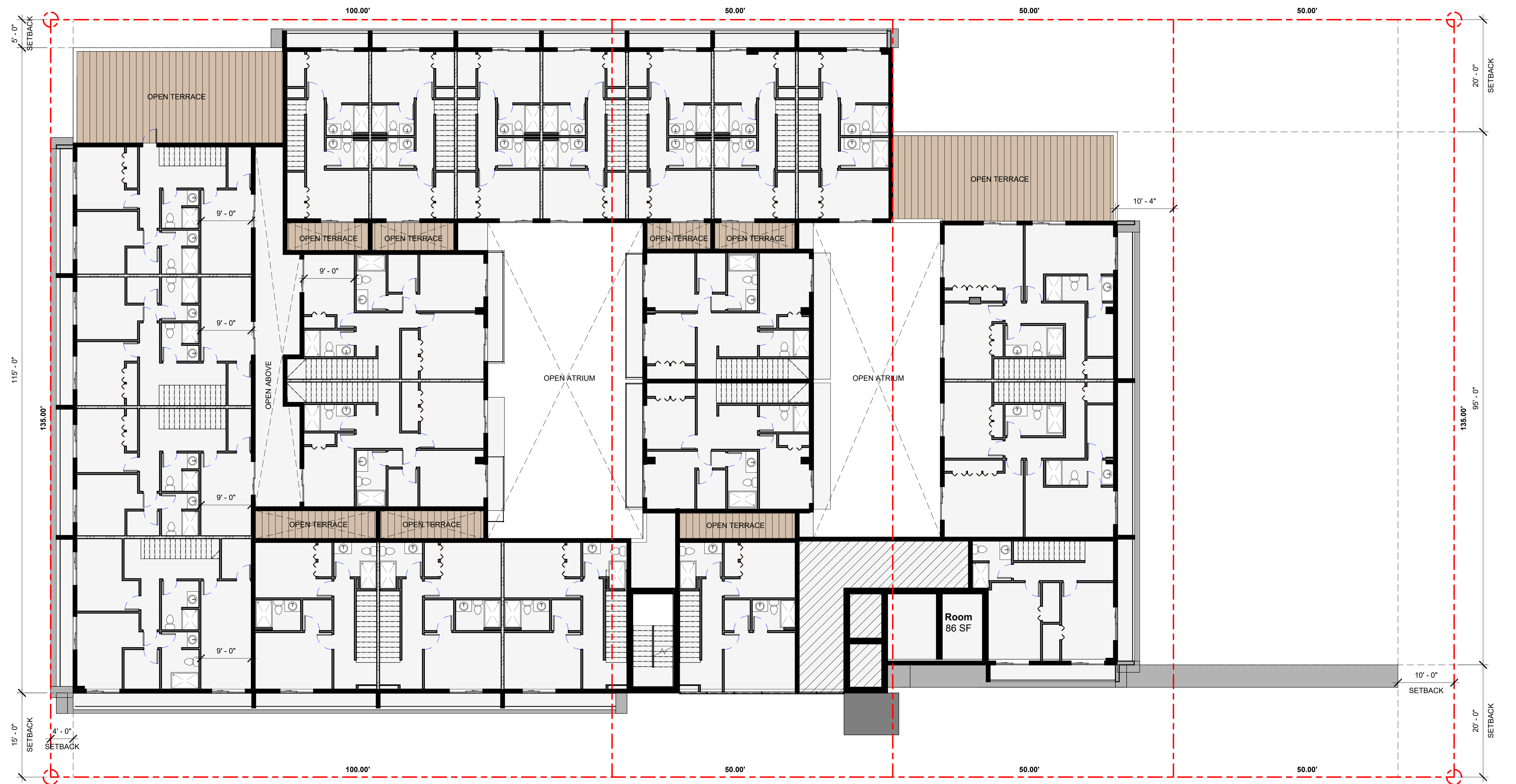
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1" = 10'-0"



① 11TH FLOOR
 1" = 10'-0"



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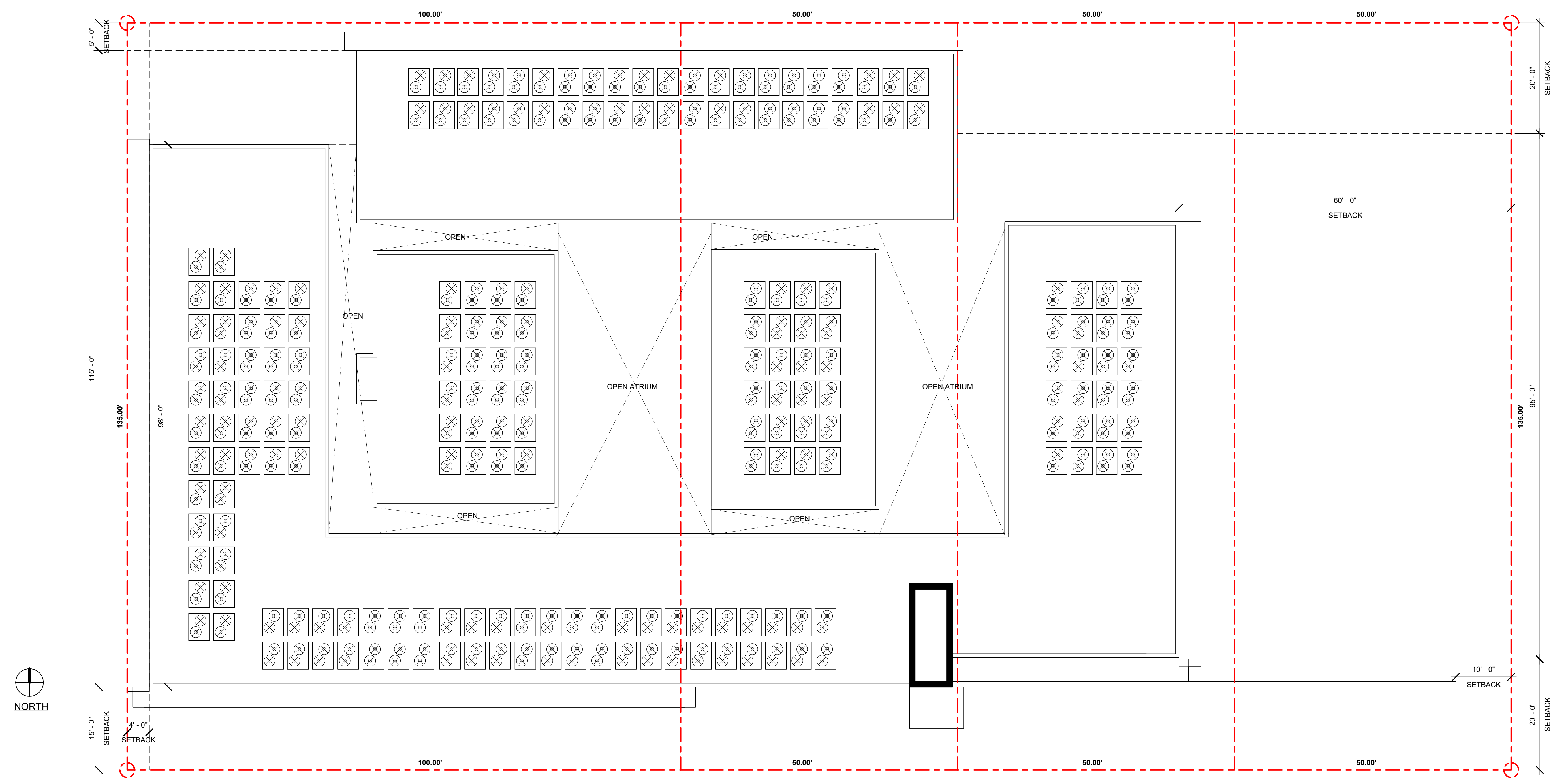
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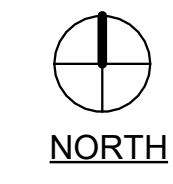
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1" = 10'-0"



1 TOP OF ROOF
 1" = 10'-0"



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- MATERIAL LEGEND**
1/4" = 1'-0"
- A 5/8" SMOOTH STUCCO WITH SCRATCH, PURE WHITE
 - B 5/8" SMOOTH STUCCO WITH SCRATCH, MARCH WIND
 - C DECORATIVE EXTERIOR TILE OR CLAD
 - D IMPACT RESISTANT WINDOW WITH BRONZE ALUMINUM FRAME.
 - E IMPACT RESISTANT DOOR WITH BRONZE ALUMINUM FRAME.
 - F IMPACT RESISTANT GLASS RAILING

MATERIAL BOARD

SW 7005
Pure White

BODY

MANUFACTURER: SHERWIN-WILLIAMS
COLOR NAME: PURE WHITE
NUMBER: SW 7005

SW 7668
March Wind

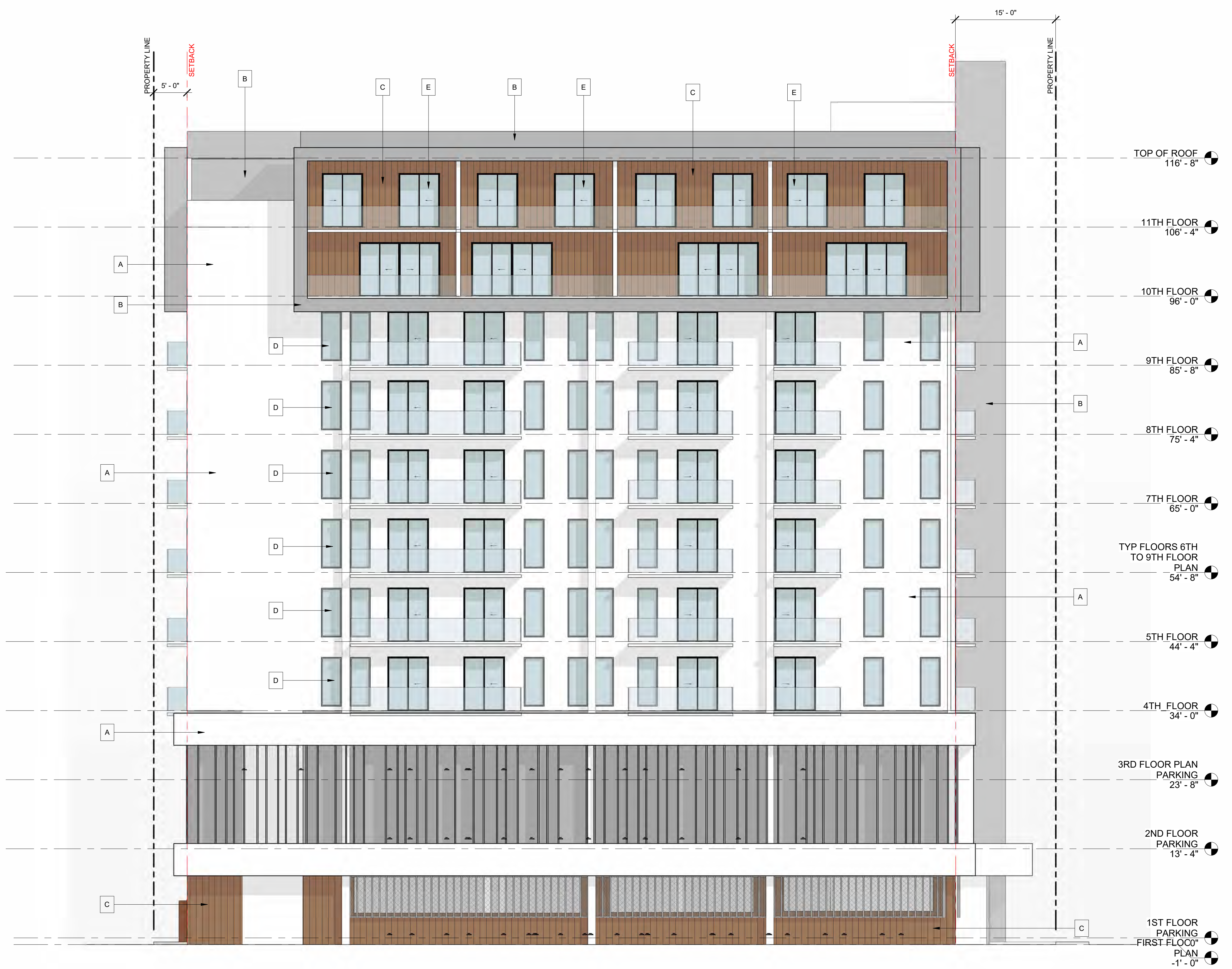
TRIM

MANUFACTURER: SHERWIN-WILLIAMS
COLOR NAME: MARCH WIND
NUMBER: SW 7668



TRIM

MANUFACTURER: WOODPLANK
COLOR NAME: WOOD CLADDING
NUMBER: N/A



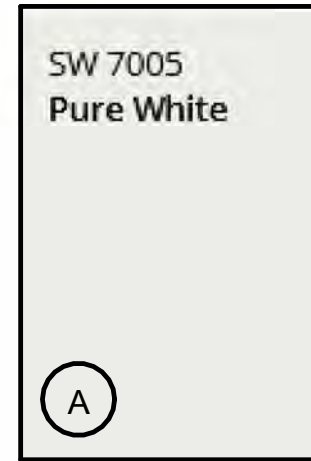
1 PROPOSED-WEST ELEVATION
 1/8" = 1'-0"

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- A 5/8" SMOOTH STUCCO WITH SCRATCH, PURE WHITE
- B 5/8" SMOOTH STUCCO WITH SCRATCH, MARCH WIND
- C DECORATIVE EXTERIOR TILE OR CLAD
- D IMPACT RESISTANT WINDOW WITH BRONZE ALUMINUM FRAME.
- E IMPACT RESISTANT DOOR WITH BRONZE ALUMINUM FRAME.
- F IMPACT RESISTANT GLASS RAILING

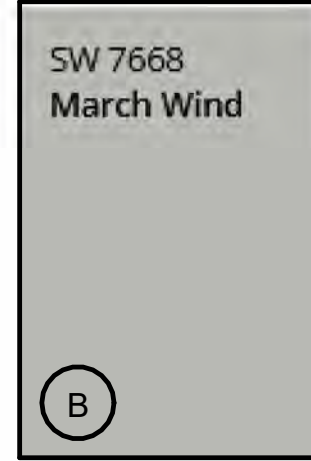
MATERIAL LEGEND
1/4" = 1'-0"

MATERIAL BOARD



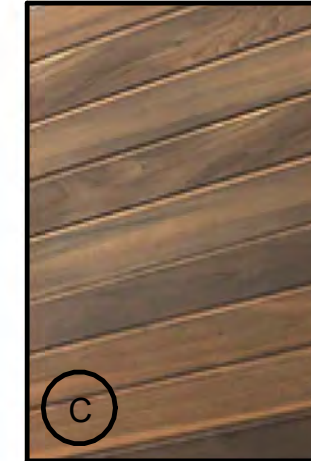
BODY

MANUFACTURER: SHERWIN-WILLIAMS
COLOR NAME: PURE WHITE
NUMBER: SW 7005



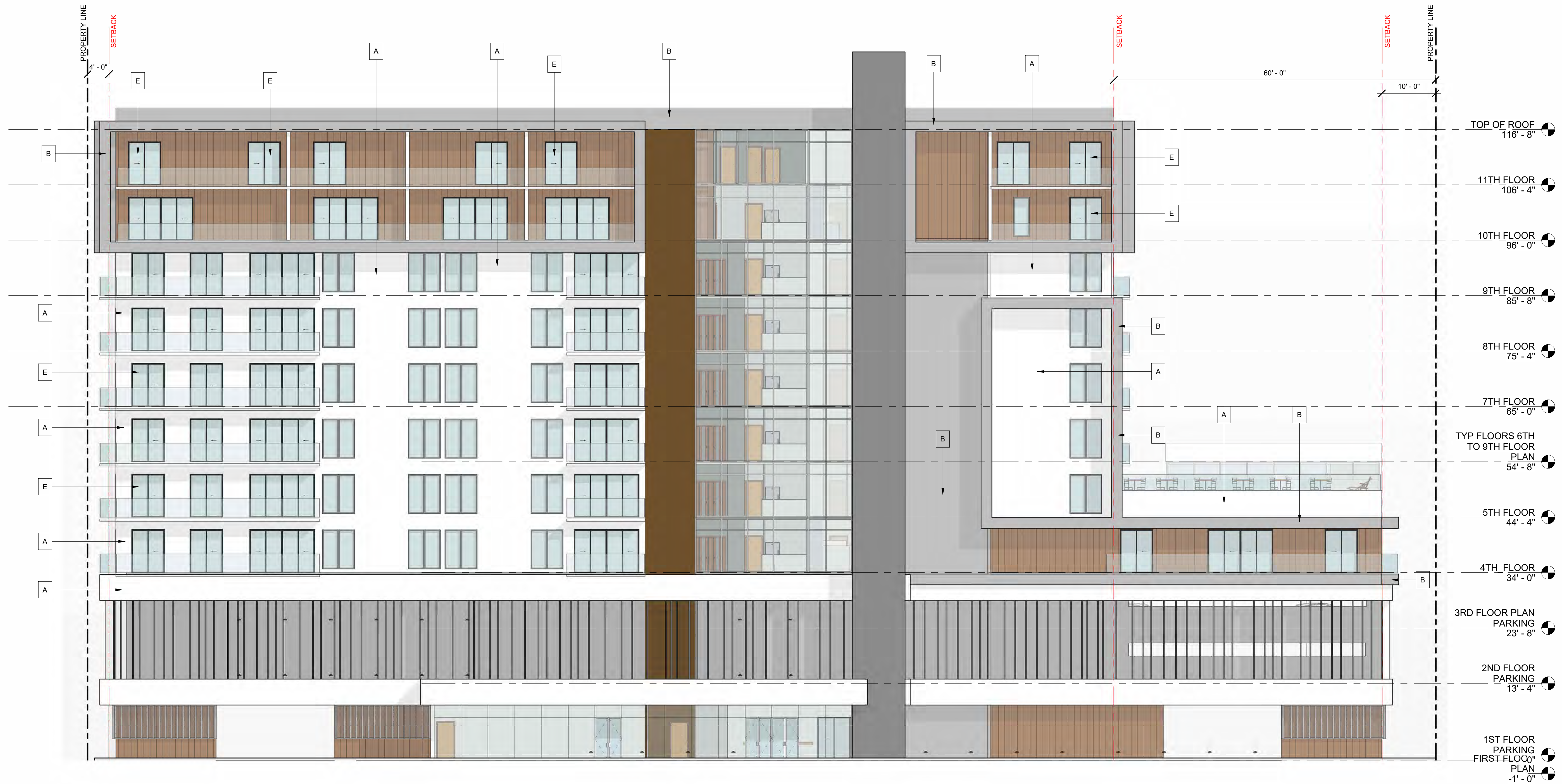
TRIM

MANUFACTURER: SHERWIN-WILLIAMS
COLOR NAME: MARCH WIND
NUMBER: SW 7668



TRIM

MANUFACTURER: WOODPLANK
COLOR NAME: WOOD CLADDING
NUMBER: N/A



1 PROPOSED-SOUTH ELEVATION
1" = 10'-0"

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DRAWN:	Author
CHECKED:	Checker
DATE:	9/5/2024
SCALE:	AS NOTED
JOB. NO.:	024-052
SHEET:	
OF:	SHEETS:

- A 5/8" SMOOTH STUCCO WITH SCRATCH, PURE WHITE
- B 5/8" SMOOTH STUCCO WITH SCRATCH, MARCH WIND
- C DECORATIVE EXTERIOR TILE OR CLAD
- D IMPACT RESISTANT WINDOW WITH BRONZE ALUMINUM FRAME.
- E IMPACT RESISTANT DOOR WITH BRONZE ALUMINUM FRAME.
- F IMPACT RESISTANT GLASS RAILING

MATERIAL LEGEND
 1/4" = 1'-0"

MATERIAL BOARD

SW 7005
 Pure White

BODY

MANUFACTURER: SHERWIN-WILLIAMS
 COLOR NAME: PURE WHITE
 NUMBER: SW 7005

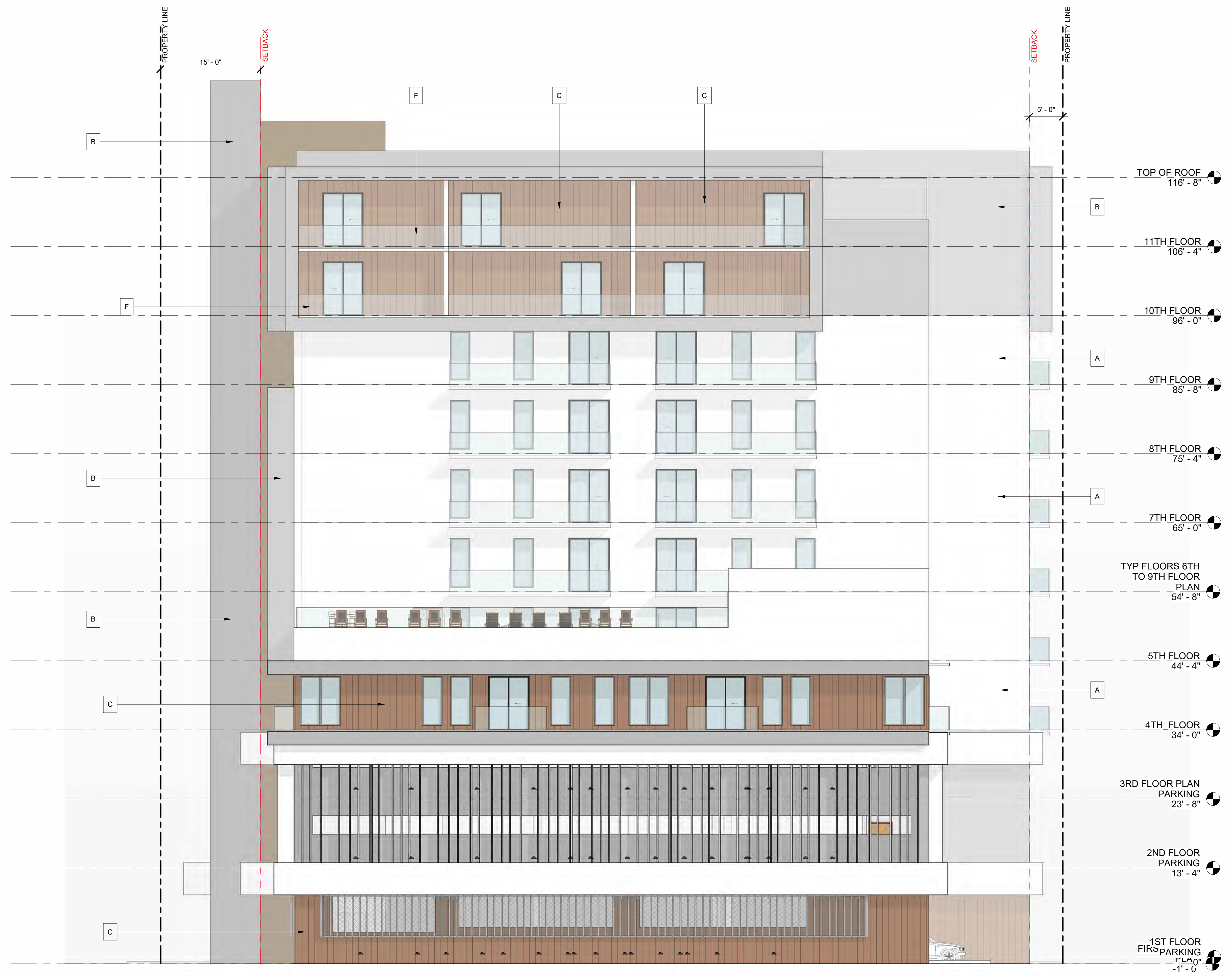
SW 7668
 March Wind

TRIM

MANUFACTURER: SHERWIN-WILLIAMS
 COLOR NAME: MARCH WIND
 NUMBER: SW 7668

TRIM

MANUFACTURER: WOODPLANK
 COLOR NAME: WOOD CLADDING
 NUMBER: N/A

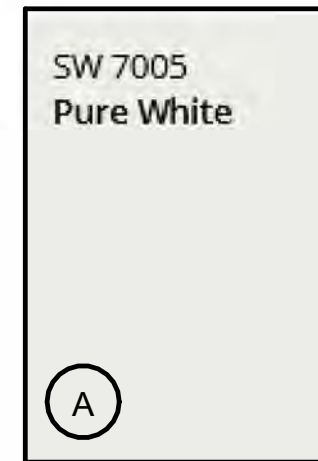


1 PROPOSED-EAST ELEVATION
 1/8" = 1'-0"

- A 5/8" SMOOTH STUCCO WITH SCRATCH, PURE WHITE
- B 5/8" SMOOTH STUCCO WITH SCRATCH, MARCH WIND
- C DECORATIVE EXTERIOR TILE OR CLAD
- D IMPACT RESISTANT WINDOW WITH BRONZE ALUMINUM FRAME.
- E IMPACT RESISTANT DOOR WITH BRONZE ALUMINUM FRAME.
- F IMPACT RESISTANT GLASS RAILING

○ MATERIAL LEGEND
1/4" = 1'-0"

MATERIAL BOARD



BODY

MANUFACTURER: SHERWIN-WILLIAMS
COLOR NAME: PURE WHITE
NUMBER: SW 7005



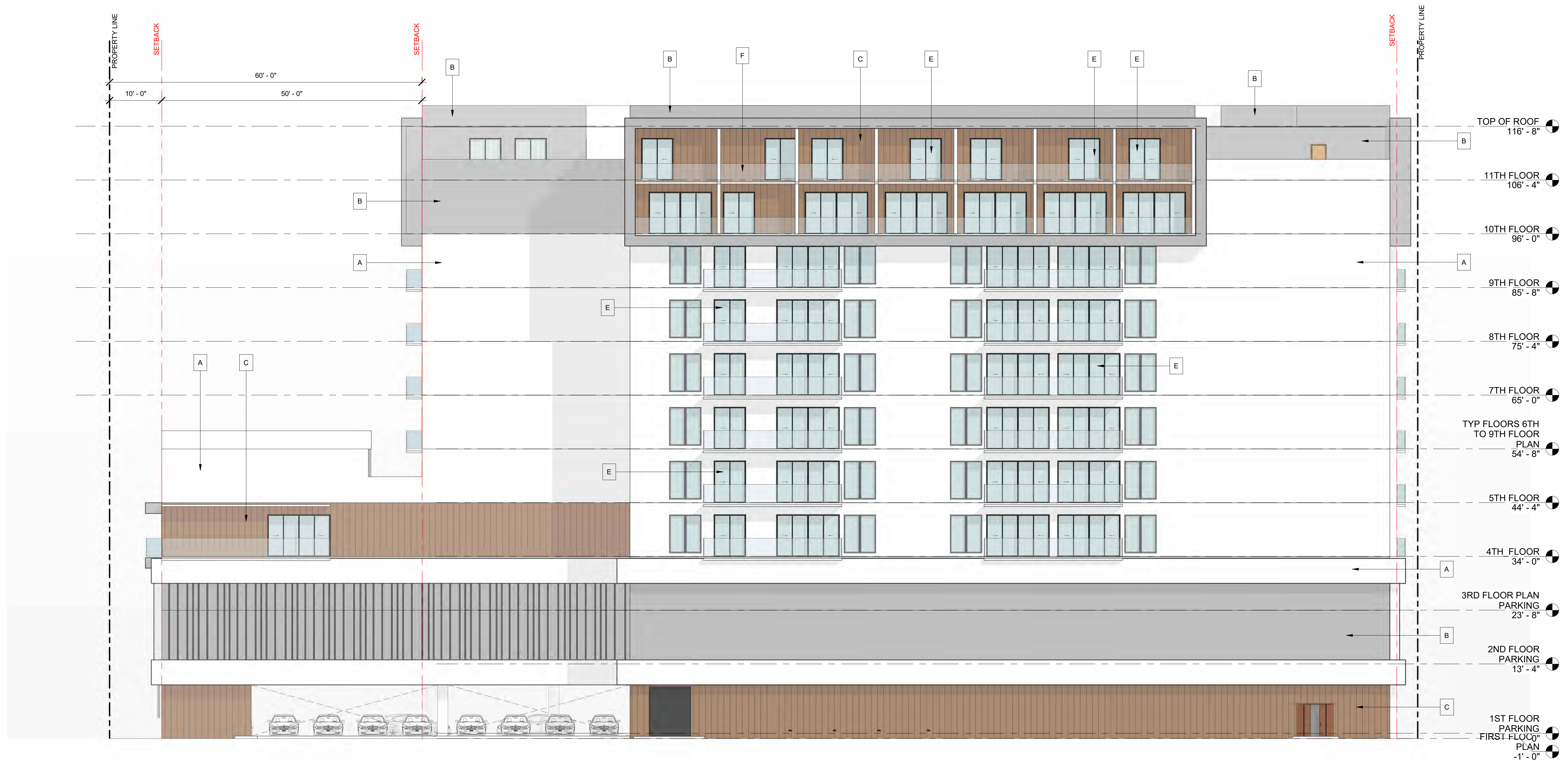
TRIM

MANUFACTURER: SHERWIN-WILLIAMS
COLOR NAME: MARCH WIND
NUMBER: SW 7668



TRIM

MANUFACTURER: WOODPLANK
COLOR NAME: WOOD CLADDING
NUMBER: N/A



① PROPOSED-NORTH ELEVATION
1" = 10'-0"

Revision		
REV	DATE	BY

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

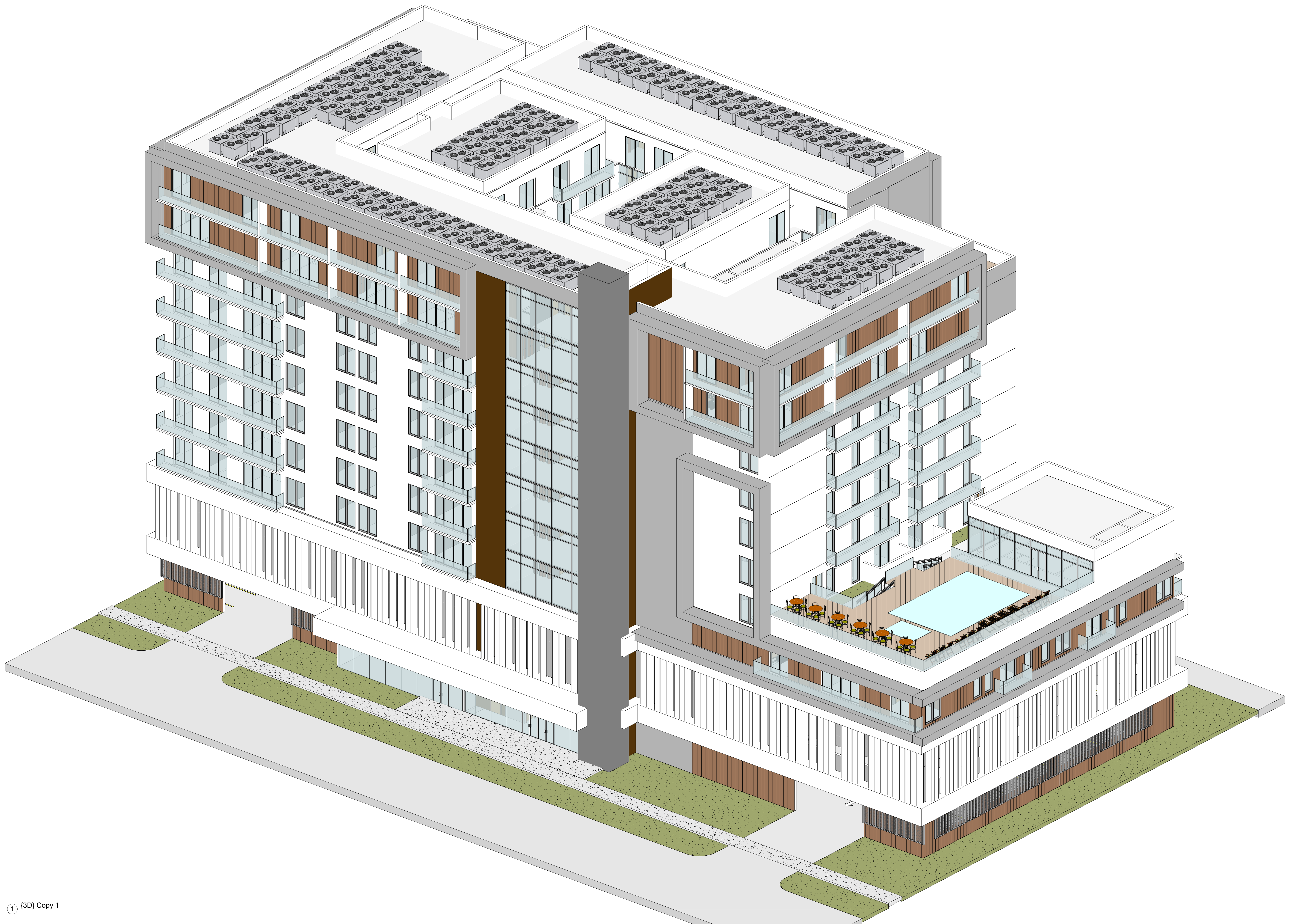
SEAL: AR 0017852
LUIS LA ROSA

DRAWN:	Author
CHECKED:	Checker
DATE:	9/5/2024
SCALE:	AS NOTED
JOB NO.:	024-052
SHEET:	

OF: SHEETS:
A 2.4

100% CONSTRUCTION DOCUMENTS

12/11/2024 4:48:27 PM




LLR Architects, Inc.
 ARCHITECTURE & PLANNING
 9000 SHERIDAN STREET ST. 158
 PEMBROKE PINES, FL 33024
 (OFF.) - 305-403-7926
 (CELL) - 786-543-0851
 E-MAIL: L.L.R.A@LLRARCHITECTS.COM
 Luis La Rosa - Registered Architect
 AR# 0017852

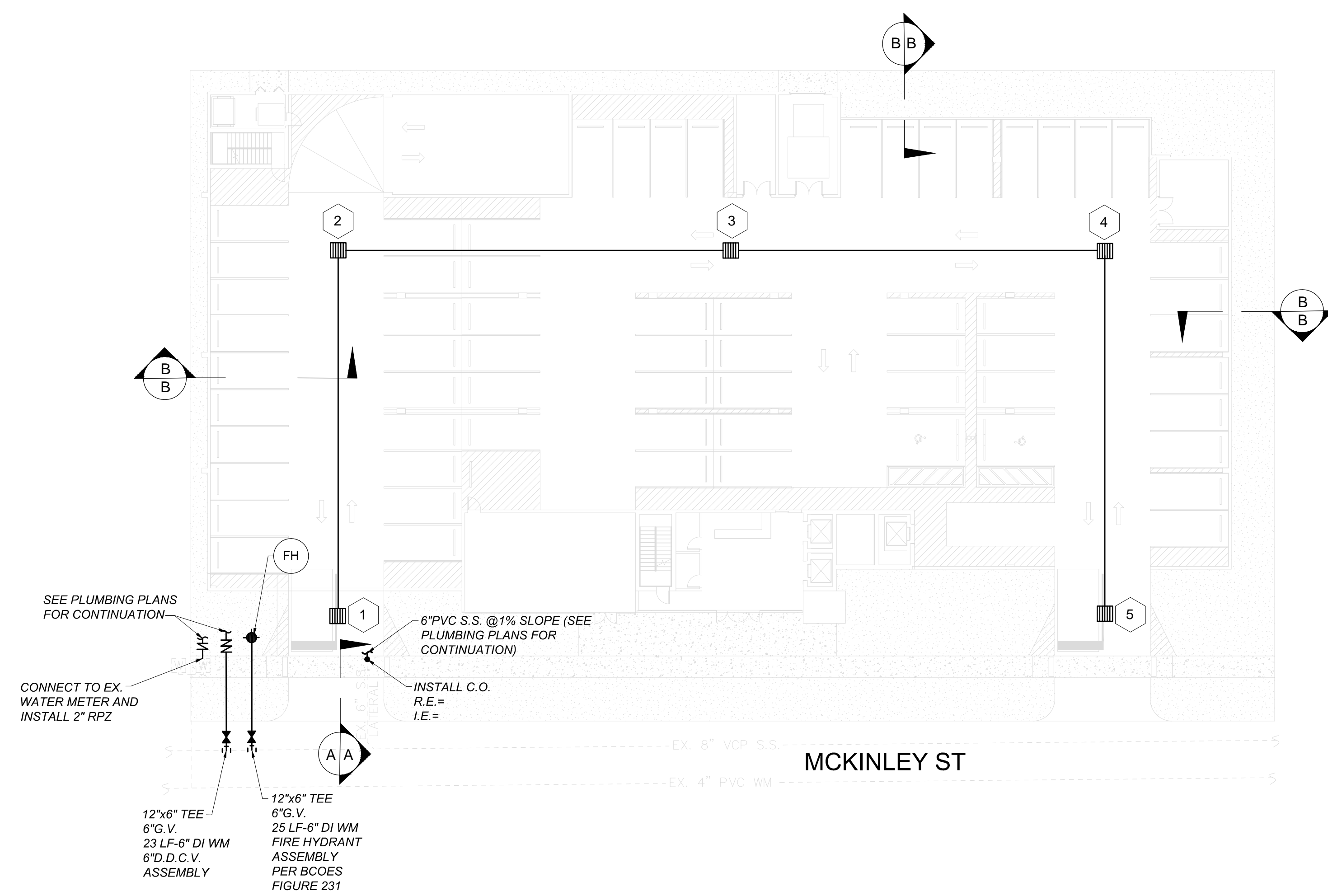
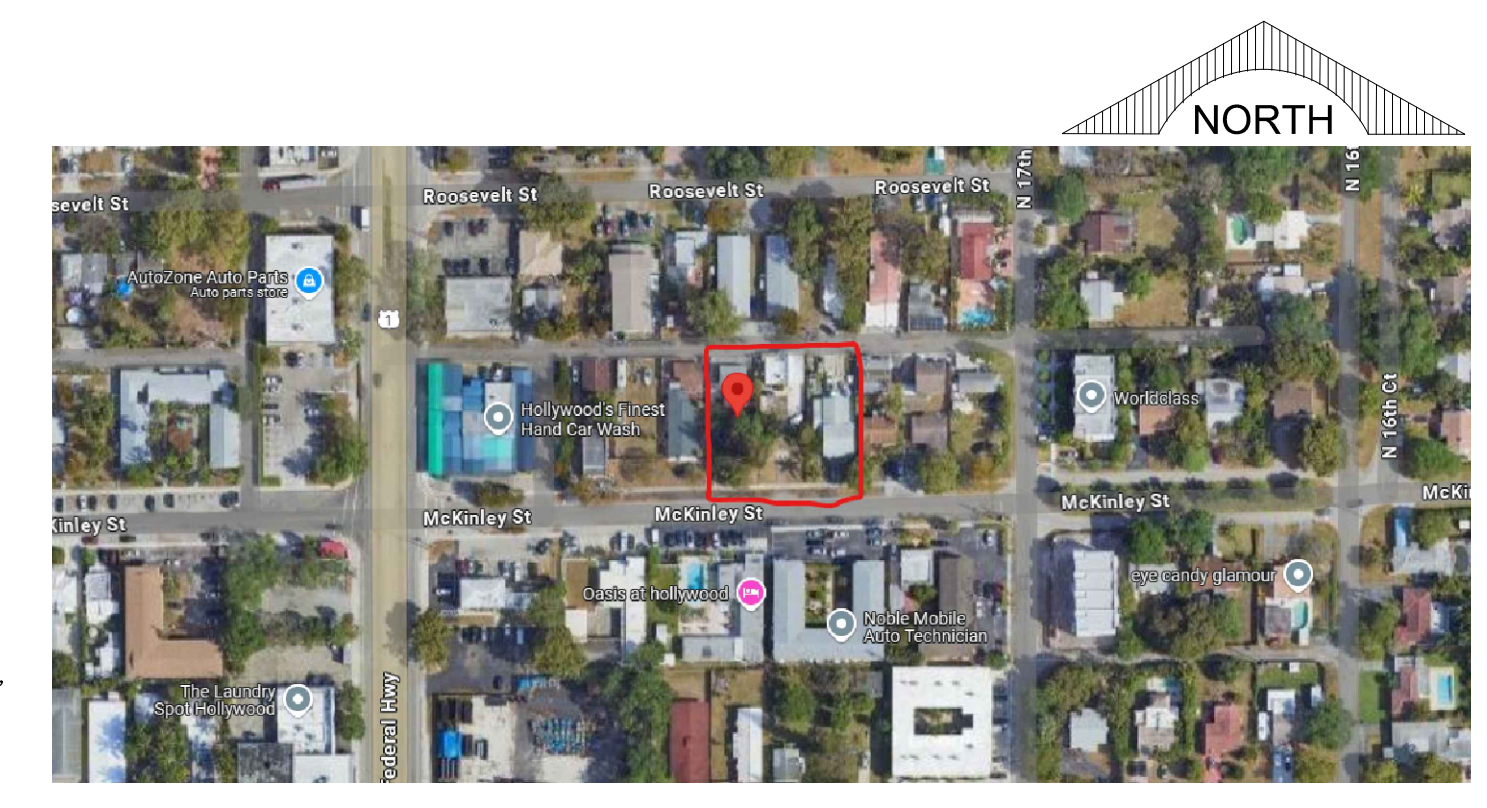
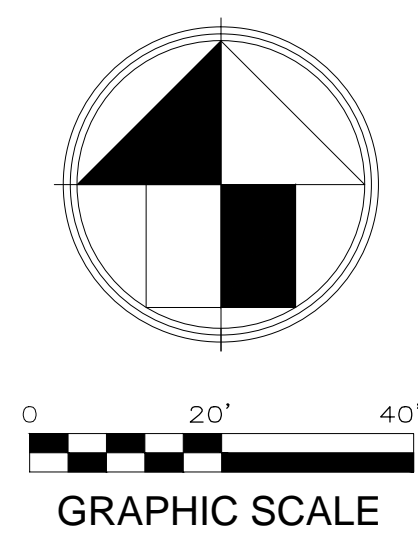
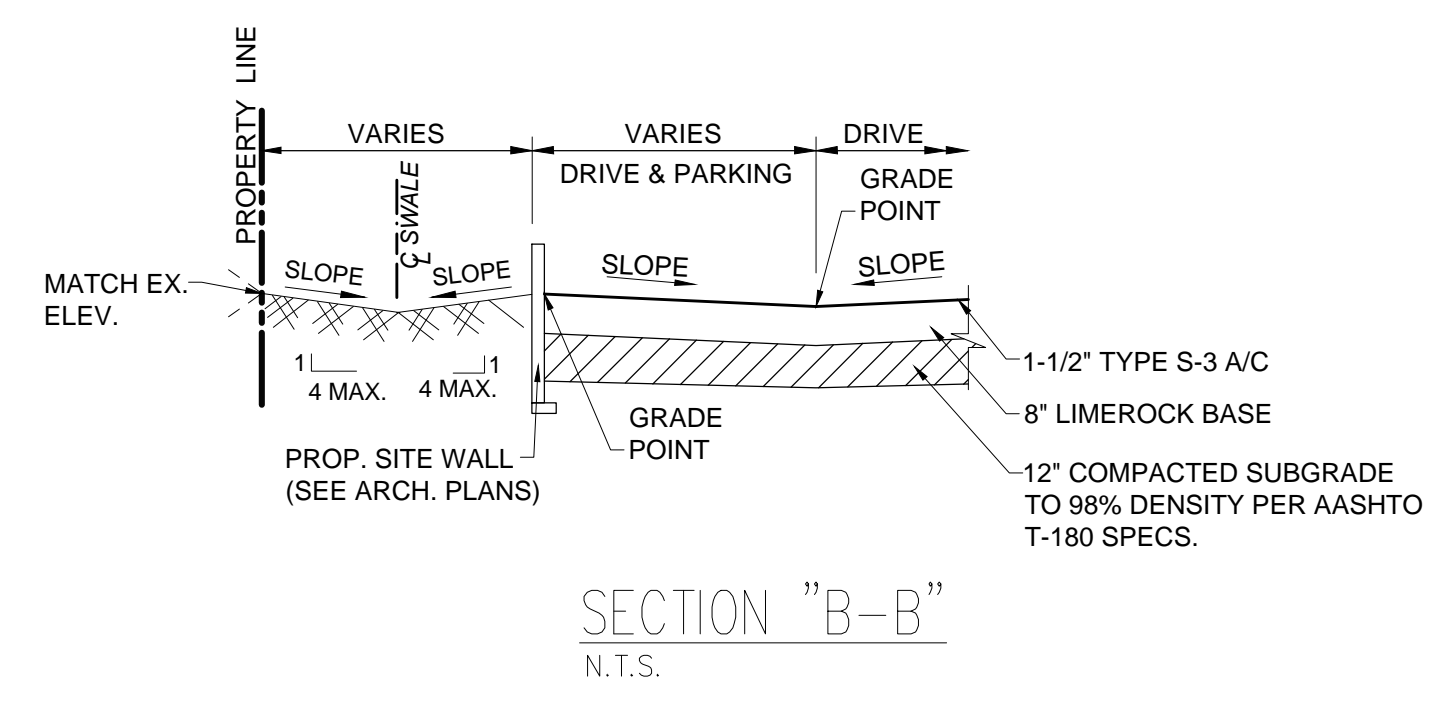
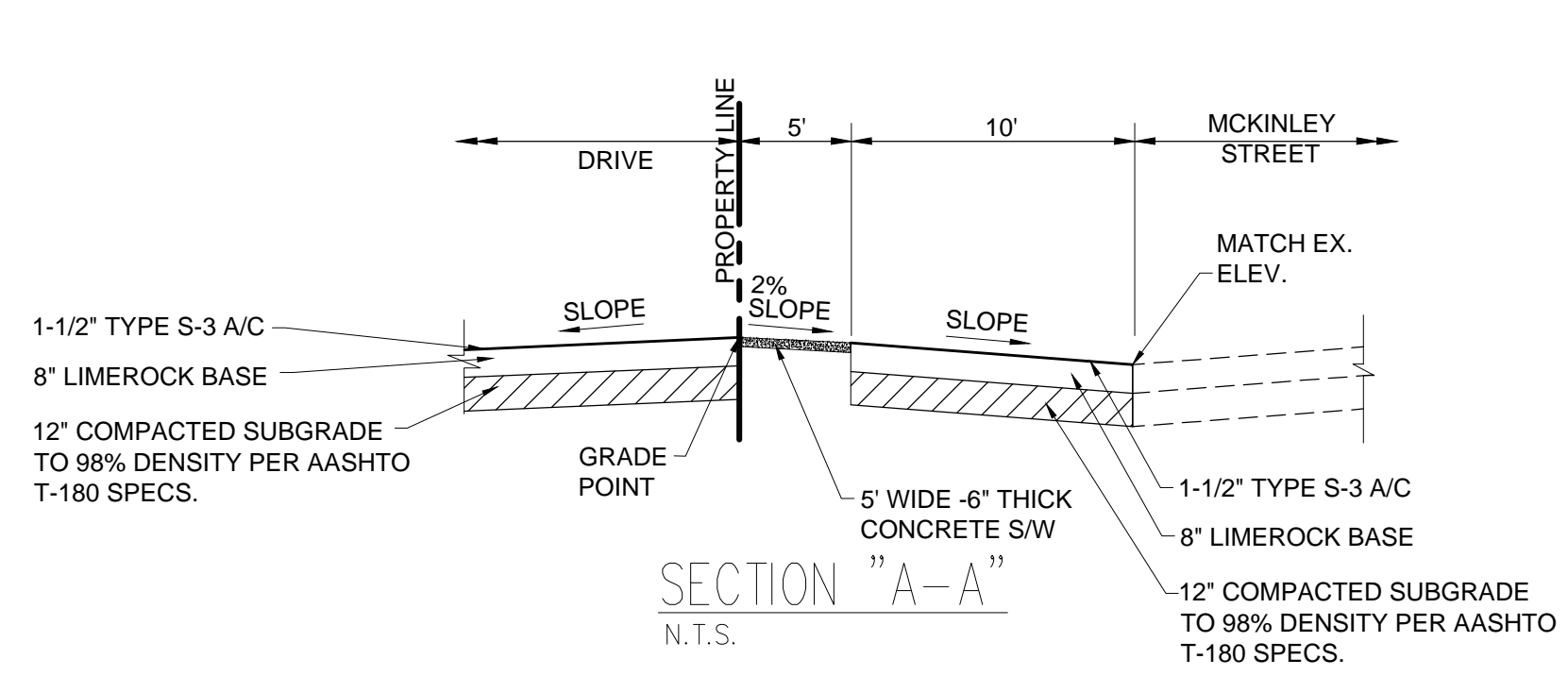
Revision		
REV	DATE	BY

PROPOSED 141-UNITS MULTI FAMILY DEVELOPMENT FOR:
ZEBI DEVELOPMENT GROUP INC.
1715, 1721, 1723 & 1727 MCKINLEY STREET HOLLYWOOD,
FLORIDA 33020

SEAL: AR 0017852
 LUIS LA ROSA

DRAWN: Author
 CHECKED: Checker
 DATE: 9/5/2024
 SCALE: AS NOTED
 JOB. NO.: 024-052
 SHEET:

A 2.5
 OF: SHEETS:



LEGEND	
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
	DIRECTION OF OVERLAND FLOW
TOS=	TOP OF SLAB ELEVATION
	EXISTING ELEVATIONS
	PROPOSED ELEVATION
	PROPOSED CONCRETE ELEVATION
	EXISTING WATER METER
	PROPERTY LINE
	DRAINAGE STRUCTURE NUMBER
	FIRE HYDRANT

WATER AND SEWER DEMAND
261 UNITS x 250 GPD/UNIT=65,250 GPD

FIRE NOTES:
1. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II OR V LICENSE AS PER FS 633.102
2. NO FIRE PUMP IS REQUIRED.
3. PER NFPA 1, 12.3.2: A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

NOTE:
1. ALL STREETS & ALLEYS ADJACENT TO SITE TO BE MILLED & RESURFACED. (FULL WIDTH OF ROAD AT STREET OR ALLEY AND FULL LENGTH OF PROPERTY).
2. THE MAX. LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.
3. REFER TO DETAIL 2 ON SITE PLAN SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.

FIRE FLOW CALCULATION:
CODE: F.F.P.C. 2017 EDITION & NFPA 220

BUILDING TYPE: 1
TOTAL AREA: 32,953 S.F.
TYPE OF OCCUPANCY: APARTMENT BUILDING
AS PER SECTION 18.4.5.2. FOR NON-ONE & TWO-FAMILY DWELLING.

TABLE 18.4.5.1.2 - 48,301-59,000 S.F.=2,500 GPM FOR A DURATION OF 2 HOURS A REDUCTION OF 75% SHALL BE PERMITTED TO BE APPLIED. MINIMUM FLOW: 1,000 GPM STANDARD SPRINKLERS OR 600 GPM QUICK RESPONSE.

1,500 GPM x .25 = 375 GPM (USE MINIMUM QUICK RESPONSE=600 GPM @ 20 PSI).

FLOW TEST RESULTS:
STATIC = PSI
RESIDUAL = PSI

TOTAL FLOW= 1,060+920 GPM = 1,980 GPM

REVISIONS:
1
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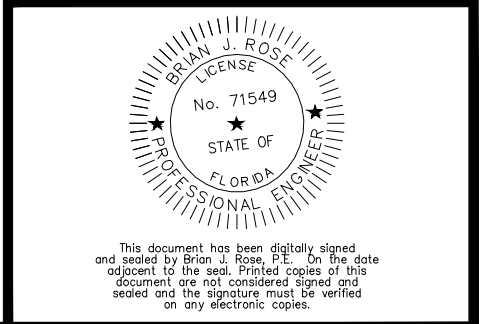
CLIENT:
LLR ARCHITECTS, INC.
9000 SHERIDAN STREET
SUITE 158
PEMBROKE PINES, FL, 33024

PROJECT: 1715-1723 MCKINLEY ST
HOLLYWOOD FLORIDA
TASK: CIVIL ENGINEERING PLAN

GGB Engineering
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899

DATE: DEC 2024
SCALE: 1"=20'
DESIGNED BY: B.J.R.
DRAWN BY: A.R.

PROJECT NO. 24-0331
SHEET C-1

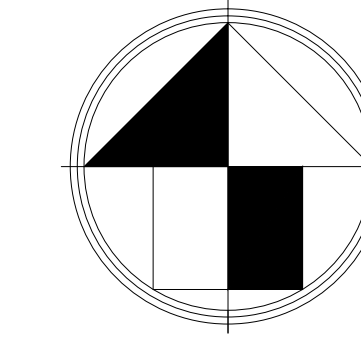


This document has been digitally signed and is a true and correct copy of the original. It is the responsibility of the user to verify the signature and the date of the document. The user should not rely on this document if the signature is not visible on any electronic copies.

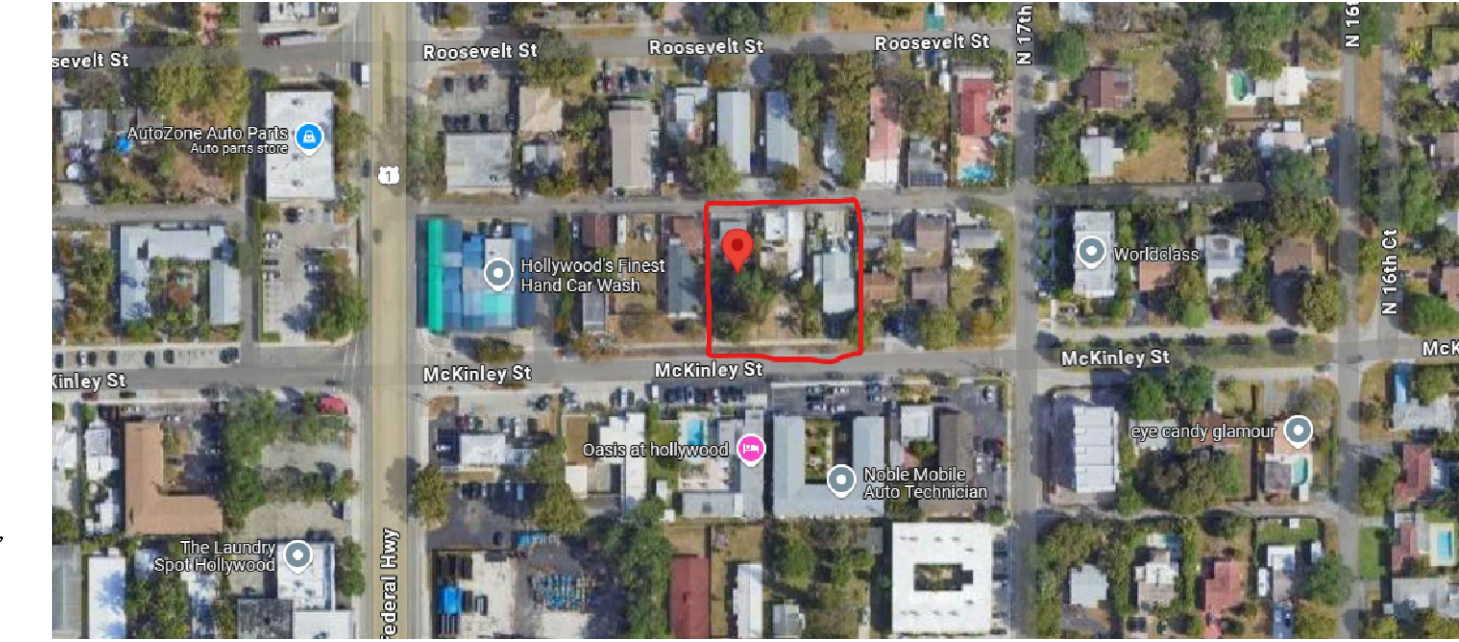
The following items are not reviewed or accepted by Broward County:

- Broward County Traffic Engineering Division's review does not include a review and acceptance of the project's design or operation. These items are to be reviewed and approved by the City Engineer.
- Broward County Traffic Engineering Division does not review and approve, or inspect and accept the following items for maintenance: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.

- The City Engineer is responsible for the review and approval of the design and operation of the project, and for the inspection and acceptance of the following items that will be maintained by the City: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work and asphalt work.



0 20' 40'
SCALE 1"=20'

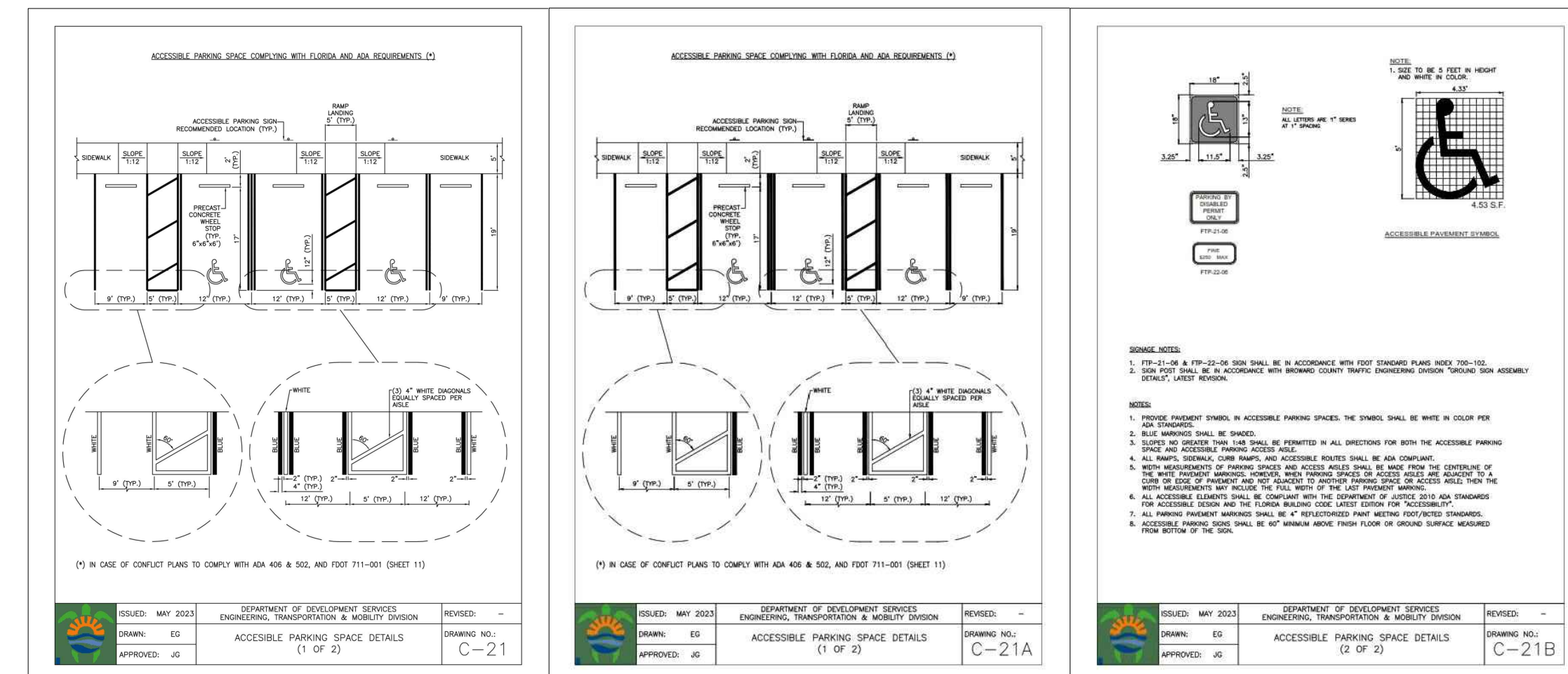
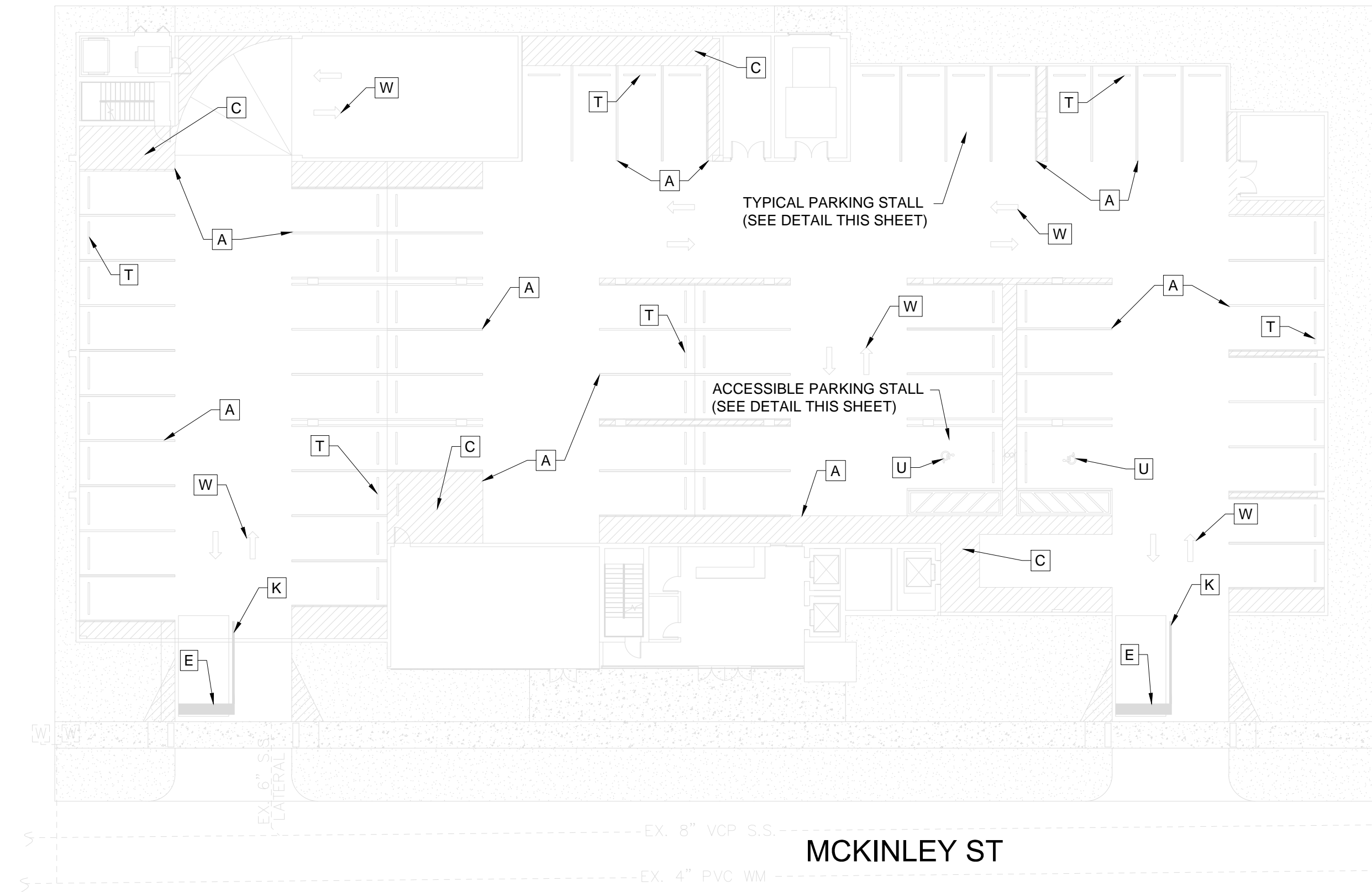


LOCATION MAP
N.T.S.

NOTE:
ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

LEGEND AND STRIPING KEY

- A = 6" SOLID WHITE
- B = 12" SOLID WHITE CROSSWALK
- C = 8" SOLID WHITE CHEVRONS
- D = 18" SOLID WHITE
- E = 24" SOLID WHITE
- F = 6" SKIP WHITE TYP (10' - 30')
- G = 6" SKIP WHITE TYP (6' - 10')
- H = 6" SKIP WHITE TYP (2' - 4')
- I = 6" SOLID YELLOW
- J = 18" SOLID YELLOW
- K = 6" DOUBLE YELLOW
- L = AMBER/AMBER RPM'S @ 1' C.C.
- M = 6" SKIP YELLOW TYP (6' - 10')
- N = 6" SKIP YELLOW TYP (2' - 4')
- P = R3-SR RIGHT TURN ONLY SIGN
- Q = R3-1 NO RIGHT TURN SYMBOL
- R = TYPE 'D' CURB
- S = TYPE 'F' CURB AND GUTTER
- T = CONCRETE WHEEL STOP
- U = WHITE PAINTED HC SYMBOL
- V = HANDICAP W/ VAN ACCESSIBLE (R7-8P)
- W = WHITE DIRECTIONAL ARROWS
- X = W14-1 DEAD END SIGN
- Y = R5-1 DO NOT ENTER SIGN
- Z = R1-1 STOP SIGN
- ADA SYMBOL



REVISIONS:

1	
2	
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7	
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CLIENT:
LLR ARCHITECTS, INC.
9000 SHERIDAN STREET
SUITE 158
PEMROBE PINES, FL, 33024

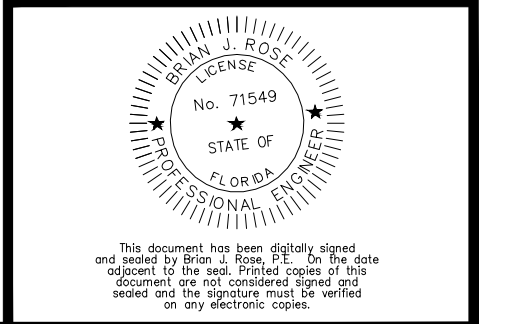
PROJECT:
1715-1723 MCKINLEY ST
HOLLYWOOD
FLORIDA

TASK:
PAVEMENT MARKINGS & SIGNAGE PLAN

GGB Engineering
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899

DATE: DEC 2024
DESIGNED BY: B.J.R.
DRAWN BY: A.R.

SCALE: 1"=20'
PROJECT NO. 24-0331
SHEET C-2



GENERAL NOTES:

- 1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK...

GENERAL NOTES (CONTINUED):

- 12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.

GENERAL NOTES (CONTINUED):

- 27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS...

GENERAL NOTES (CONTINUED):

- 40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE - CALL OF FLORIDA).



ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014 DRAWING NO. G-00

ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017 DRAWING NO. G-00.1

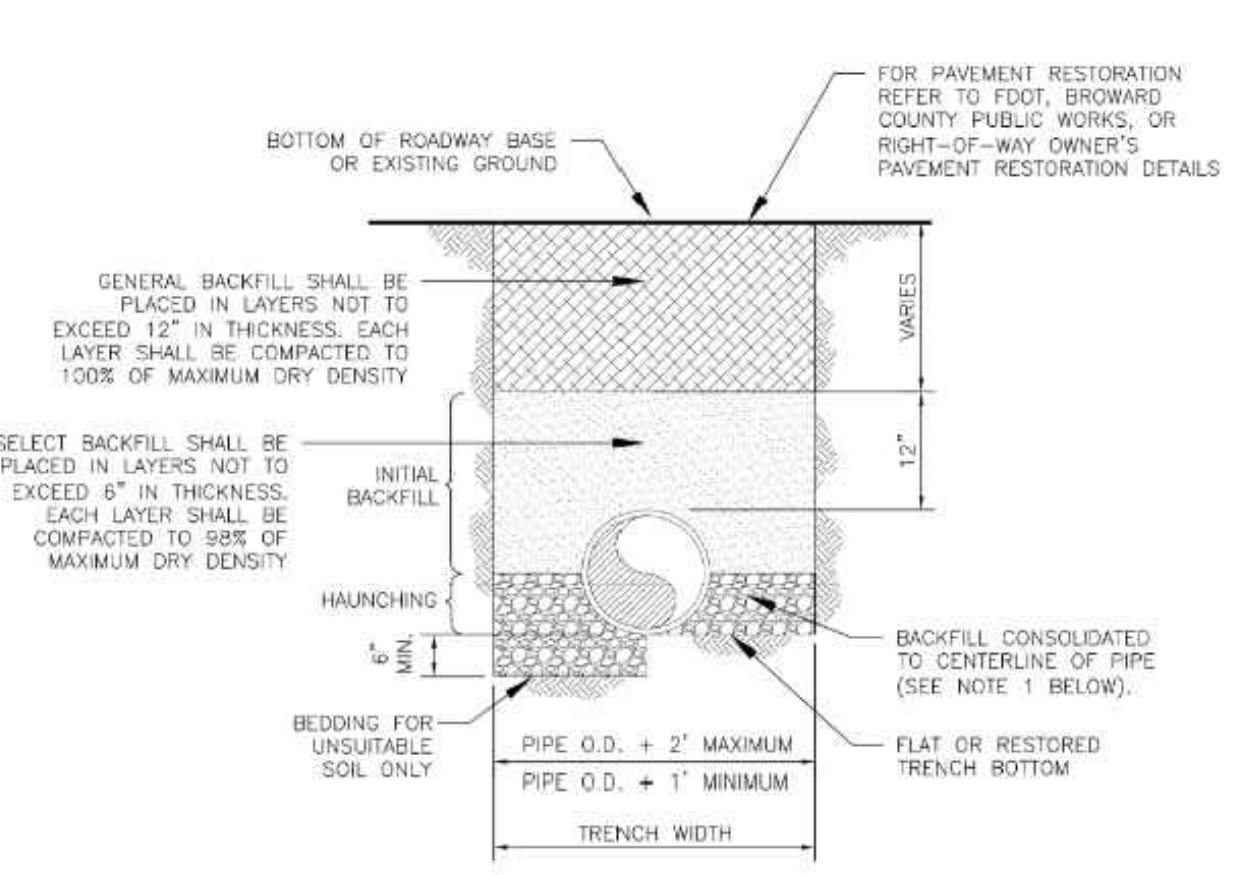
ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017 DRAWING NO. G-00.2

ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017 DRAWING NO. G-00.3

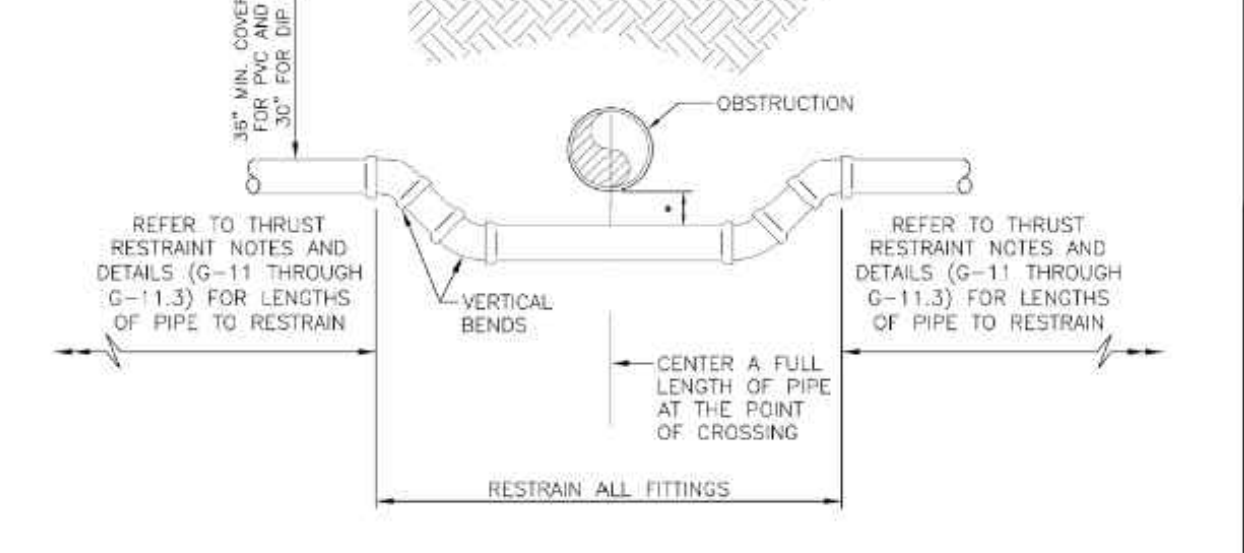
WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Table with 4 columns: OTHER PIPE, HORIZONTAL SEPARATION, CROSSING (1), (4), JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8). Rows include Storm Sewer, Gravity Sanitary Sewer, and On-site Sewage Treatment & Disposal System.

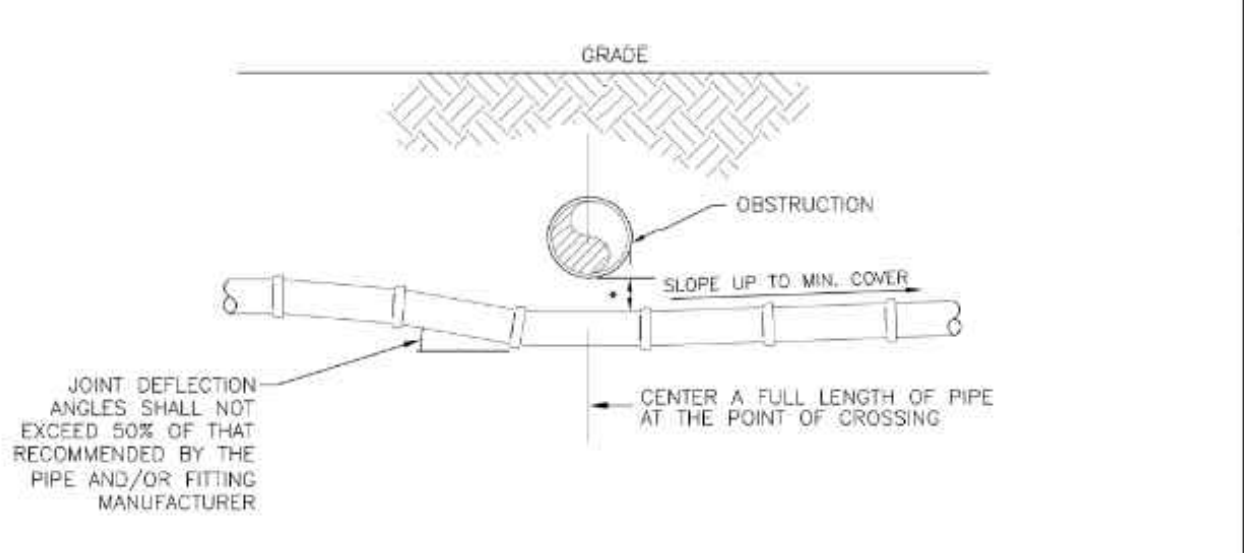
- 1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.



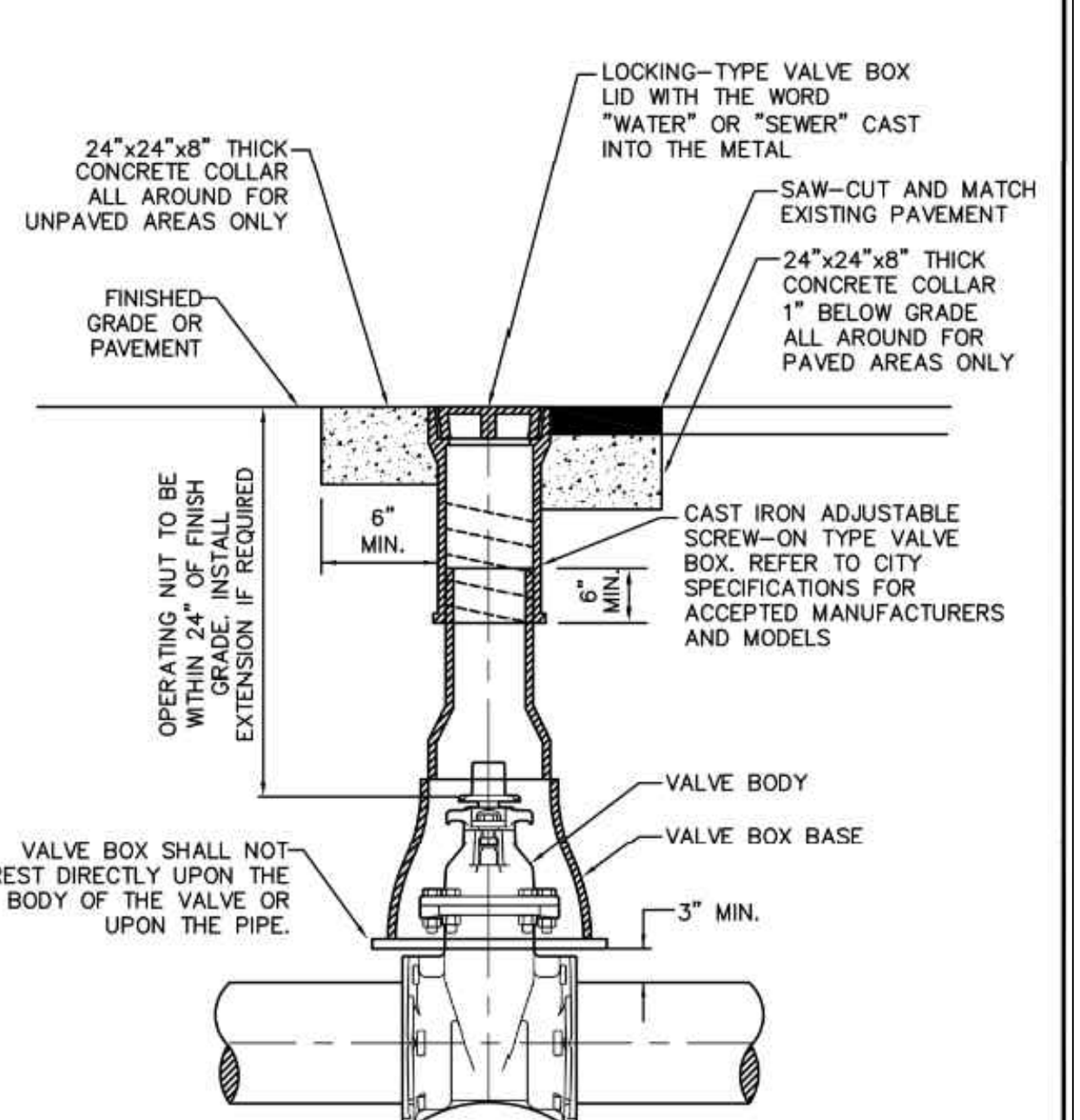
- NOTES: 1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL...



UTILITY CROSSING USING FITTINGS



UTILITY CROSSING USING JOINT DEFLECTIONS



TYPICAL VALVE BOX SETTING

ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017 DRAWING NO. G-01.1

ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014 DRAWING NO. G-02

ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014 DRAWING NO. G-04

ISSUED: 03/01/99A DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014 DRAWING NO. G-05

REVISIONS table with columns for revision number and description.

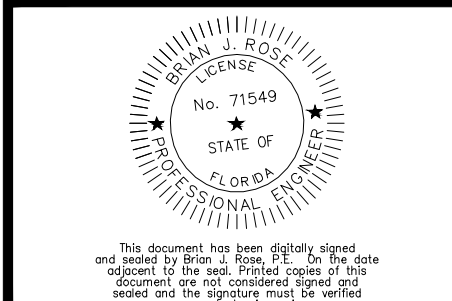
CLIENT: LLR ARCHITECTS, INC. 9000 SHERIDAN STREET SUITE 158 PEMRBOKE PINES, FL, 33024

PROJECT: 1715-1723 MCKINLEY ST HOLLYWOOD FLORIDA TASK: CONSTRUCTION DETAILS

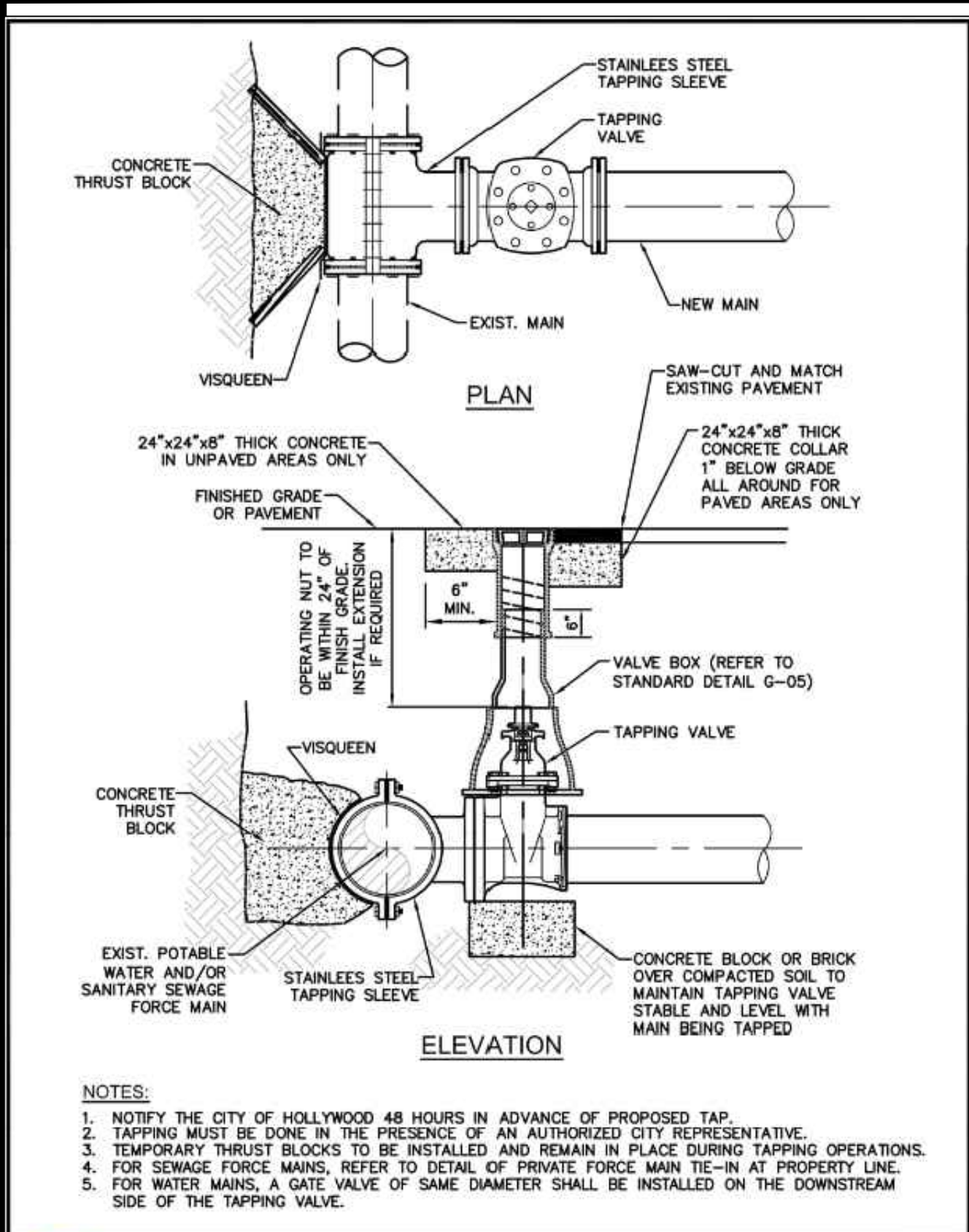
GGB Engineering logo and contact information: 2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312

DATE: DEC 2024 DESIGNED BY: B.J.R.

SCALE: N.T.S. DRAWN BY: A.R.



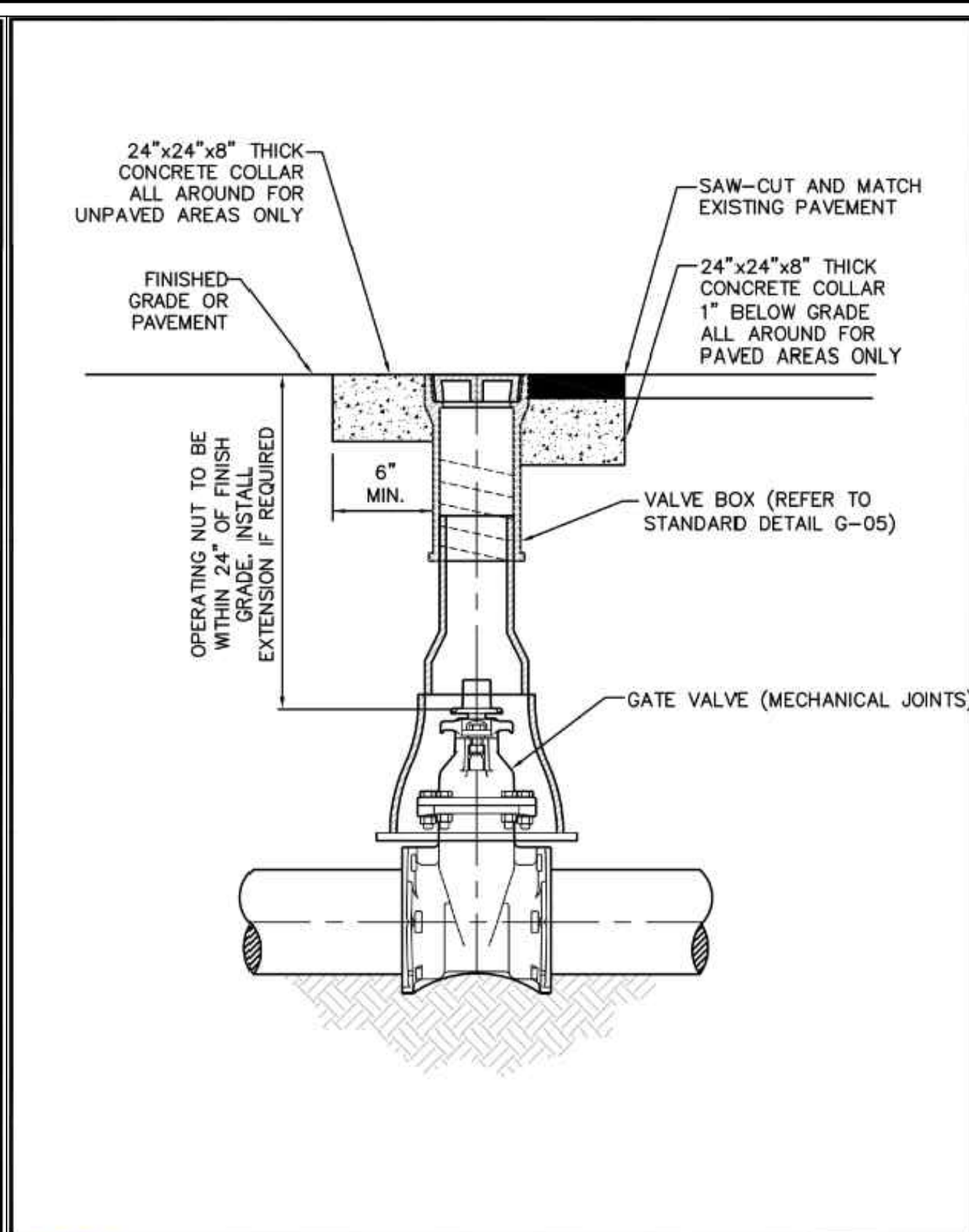
PROJECT NO. 24-0331 SHEET C-4



NOTES:

1. NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
2. TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.
3. TEMPORARY THRUST BLOCKS TO BE INSTALLED AND REMAIN IN PLACE DURING TAPPING OPERATIONS.
4. FOR SEWAGE FORCE MAINS, REFER TO DETAIL OF PRIVATE FORCE MAIN TIE-IN AT PROPERTY LINE.
5. FOR WATER MAINS, A GATE VALVE OF SAME DIAMETER SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF THE TAPPING VALVE.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL TAPPING SLEEVE AND VALVE SETTING	DRAWING NO. G-06
APPROVED: XXX		

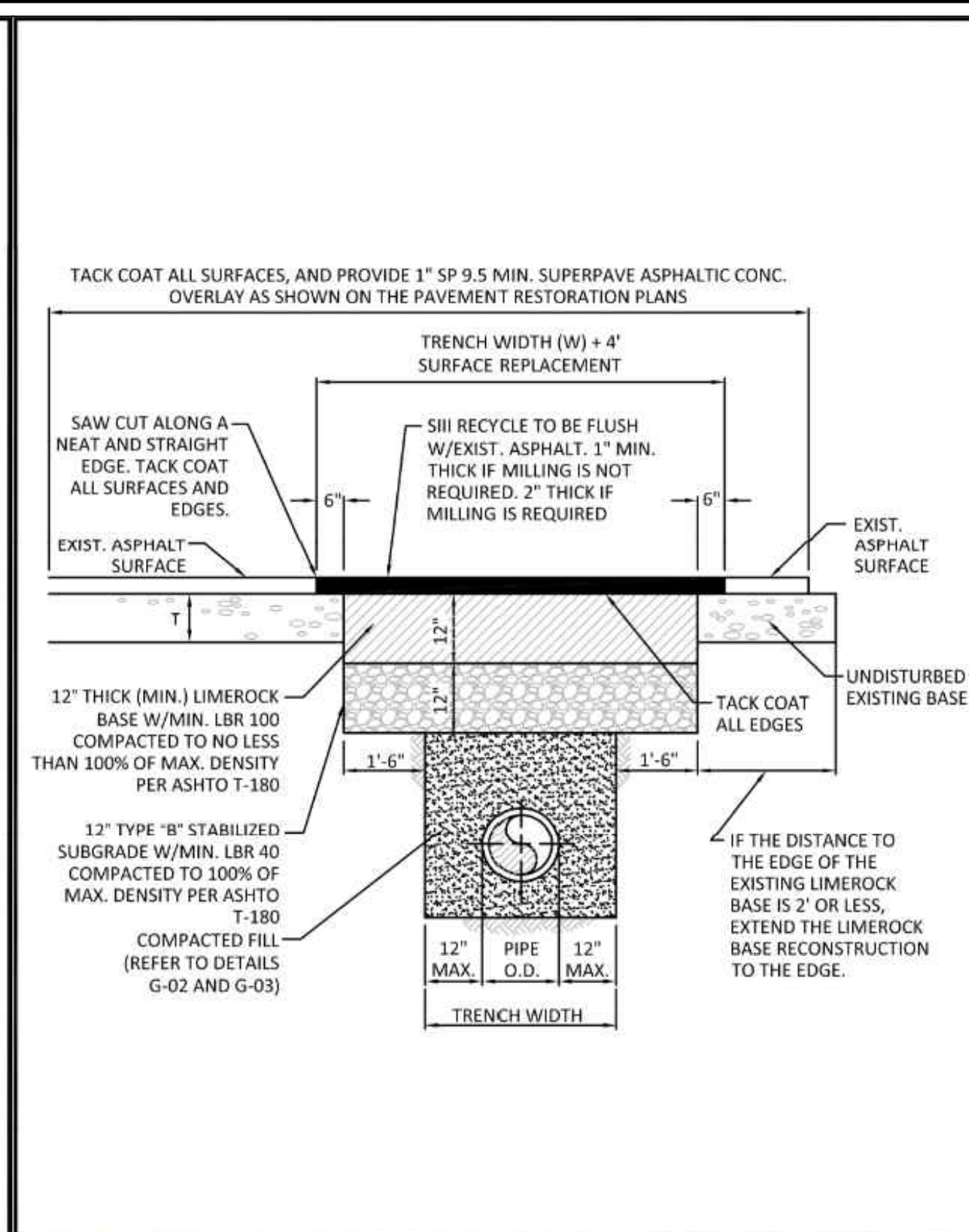


ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL GATE VALVE AND VALVE BOX SETTING	DRAWING NO. G-07
APPROVED: XXX		

FLEXIBLE PAVEMENT RESTORATION NOTES:

1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
2. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
5. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
6. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
7. RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.
9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
11. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK. REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION NOTES	DRAWING NO. G-12
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY	DRAWING NO. G-12.1
APPROVED: XXX		

WATER SYSTEM NOTES:

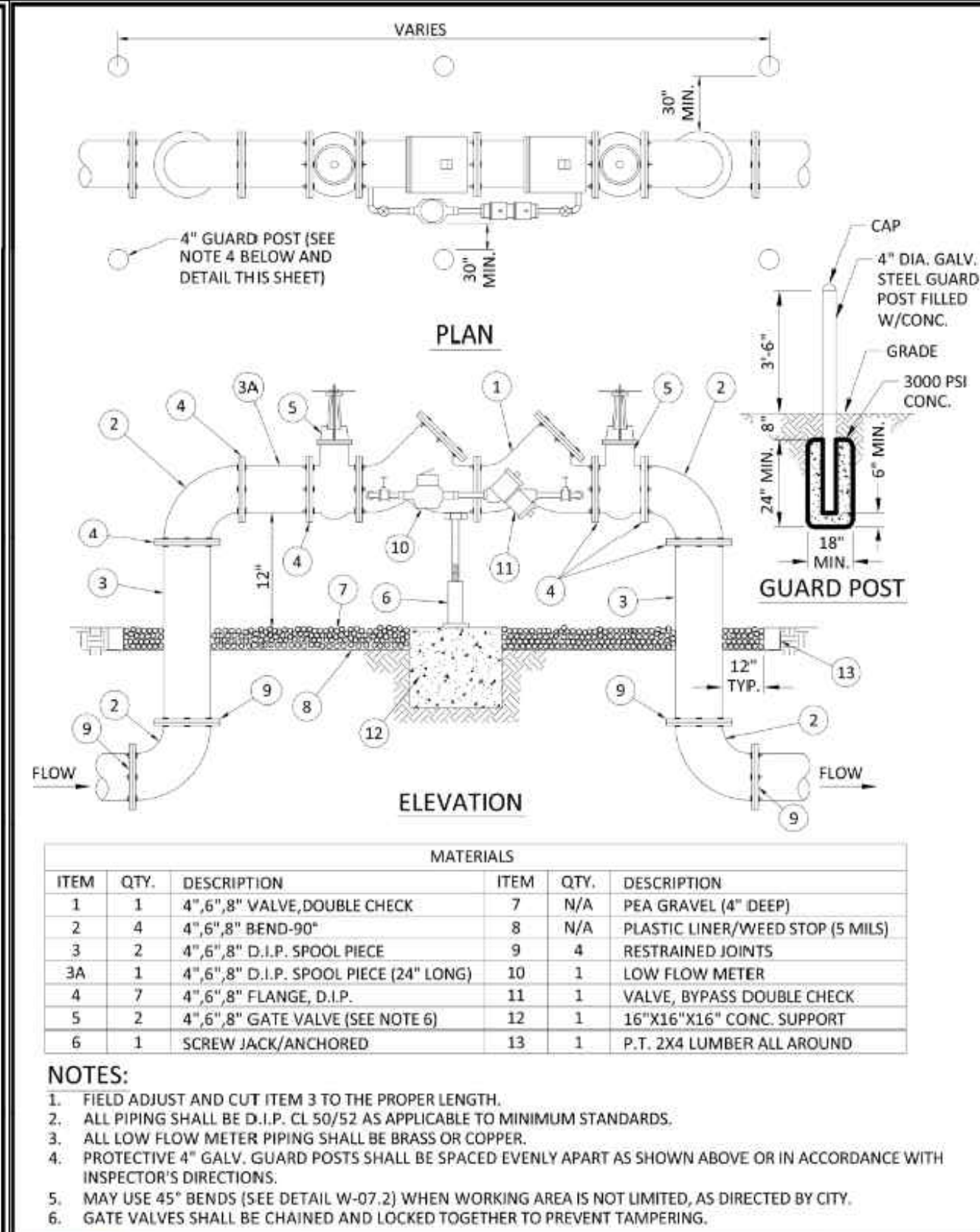
1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2)]; EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2)]; EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO. W-01
APPROVED: XXX		

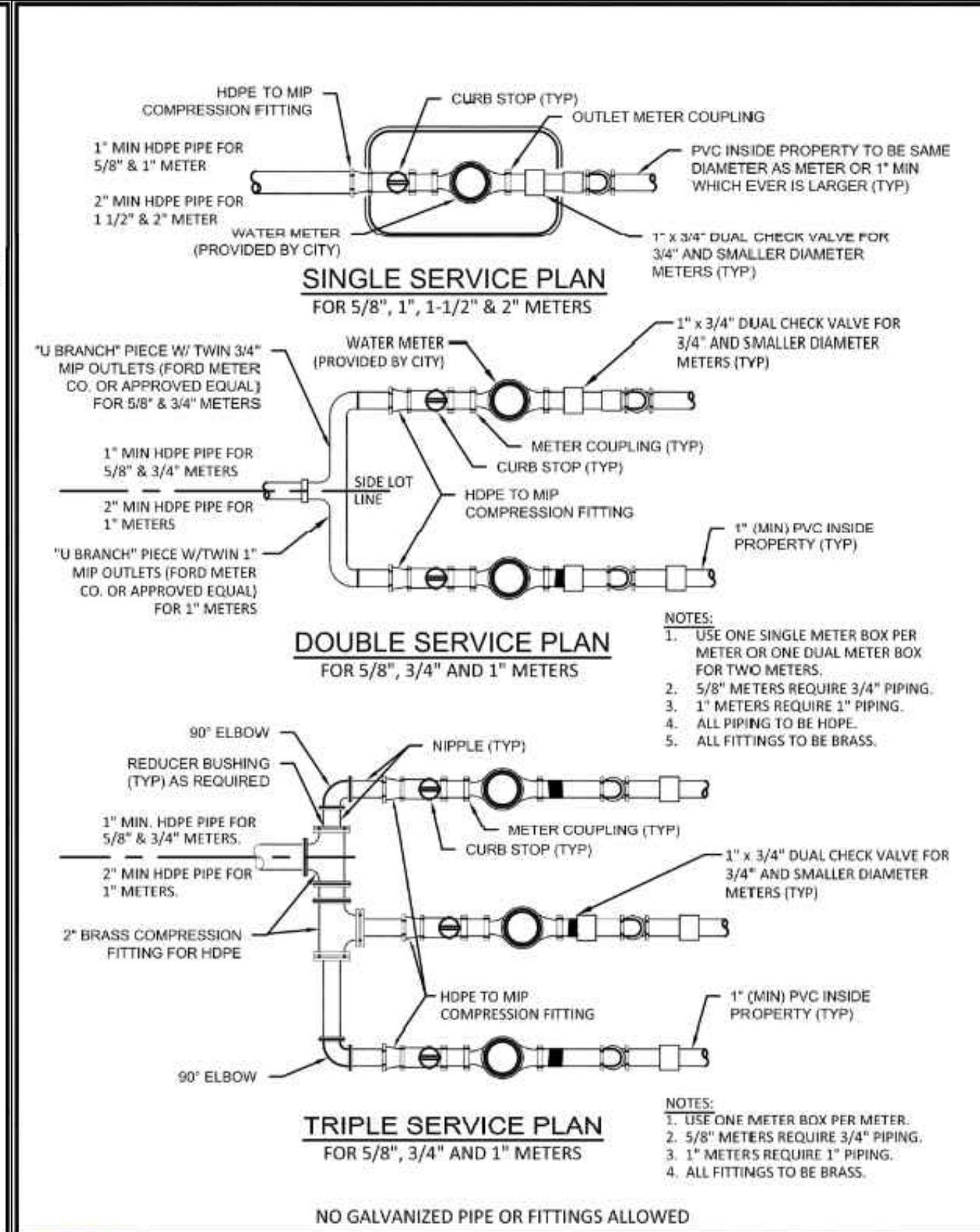
WATER SYSTEM NOTES (CONTINUED):

11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS S2. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANS/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURER'S RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO. W-02
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)	DRAWING NO. W-03
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO. W-06
APPROVED: XXX		

REVISIONS:

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CLIENT: **LLR ARCHITECTS, INC.**
9000 SHERIDAN STREET
SUITE 158
PEMBROKE PINES, FL, 33024

PROJECT: **1715-1723 MCKINLEY ST**
HOLLYWOOD
FLORIDA

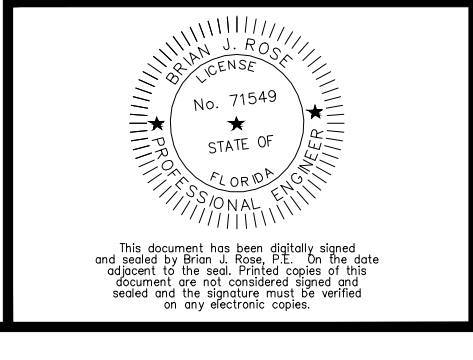
TASK: **CONSTRUCTION DETAILS**

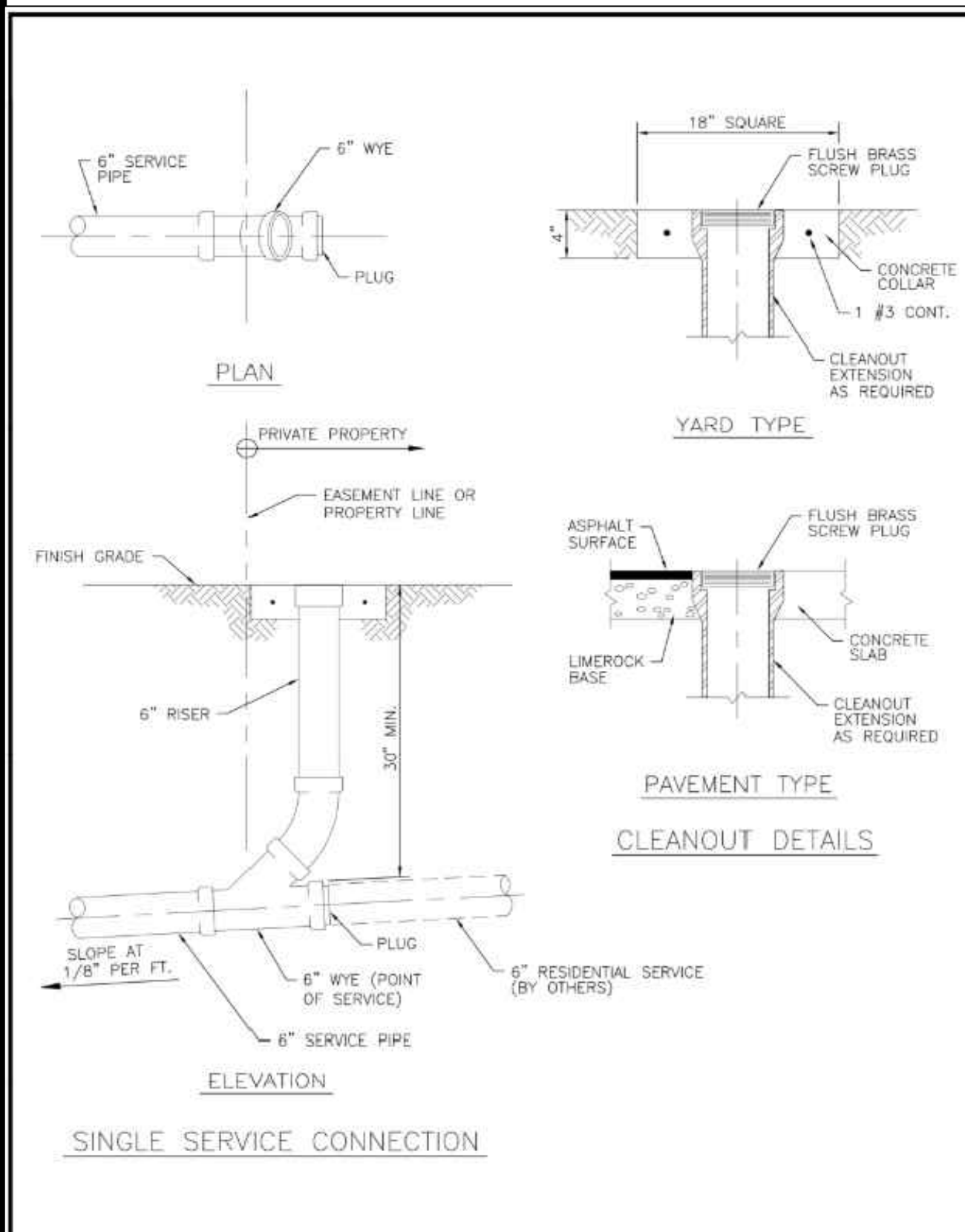
GGB Engineering
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8718
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-6655
Fax: (954) 986-9899

DATE: **DEC 2024**
DESIGNED BY: **B.J.R.**

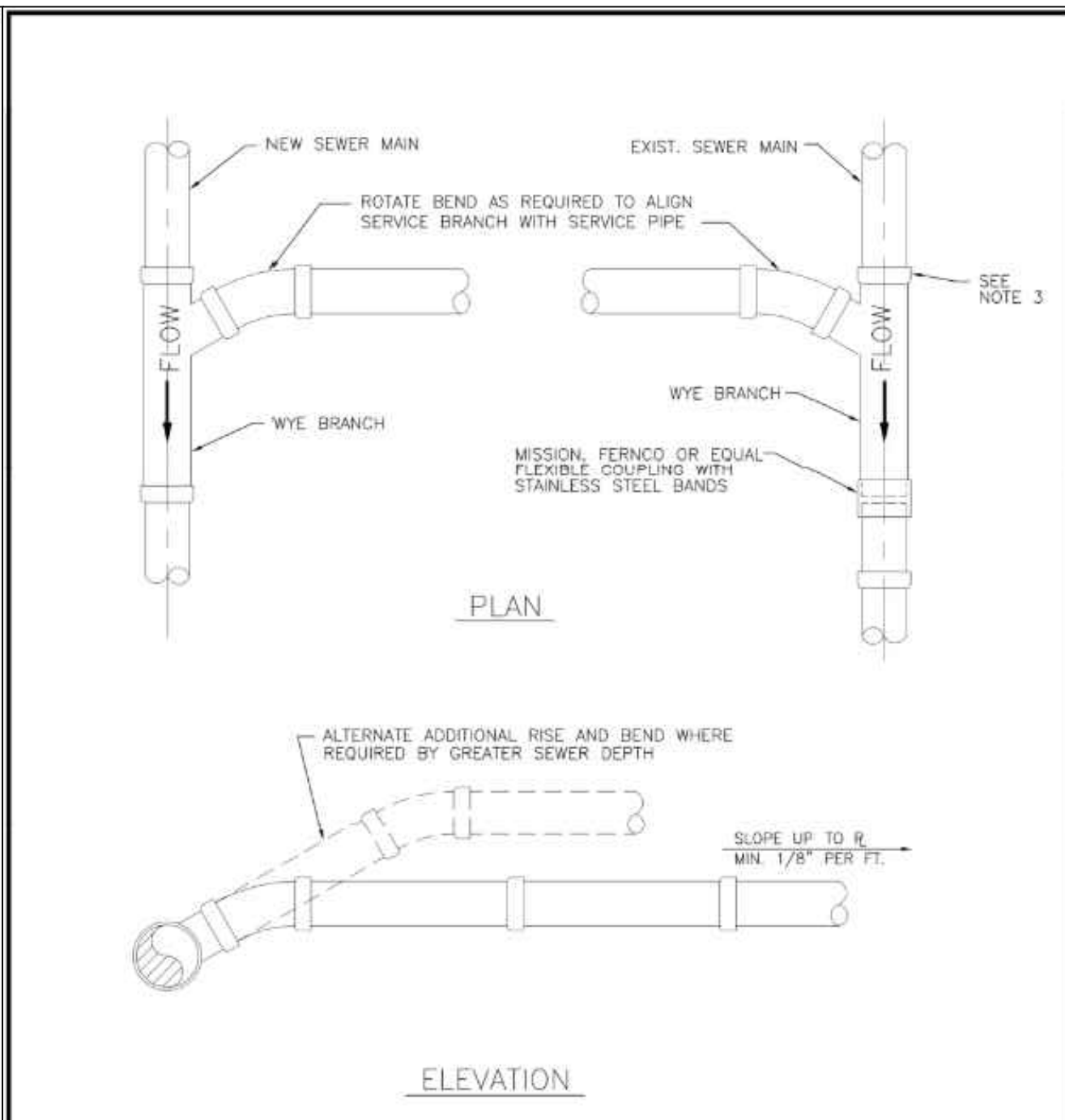
SCALE: **N.T.S.**
DRAWN BY: **A.R.**

PROJECT NO. **24-0331**
SHEET **C-5**





	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
	APPROVED: XXX		



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO. S-09
	APPROVED: XXX		

- NOTES:**
1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
 2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
 3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

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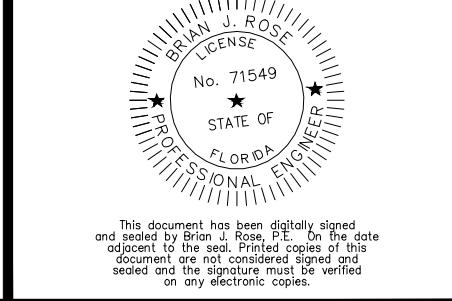
CLIENT:
LLR ARCHITECTS, INC.
 9000 SHERIDAN STREET
 SUITE 158
 PEMBERKE PINES, FL, 33024

PROJECT:
1715-1723 MCKINLEY ST
HOLLYWOOD FLORIDA
 TASK:
CONSTRUCTION DETAILS

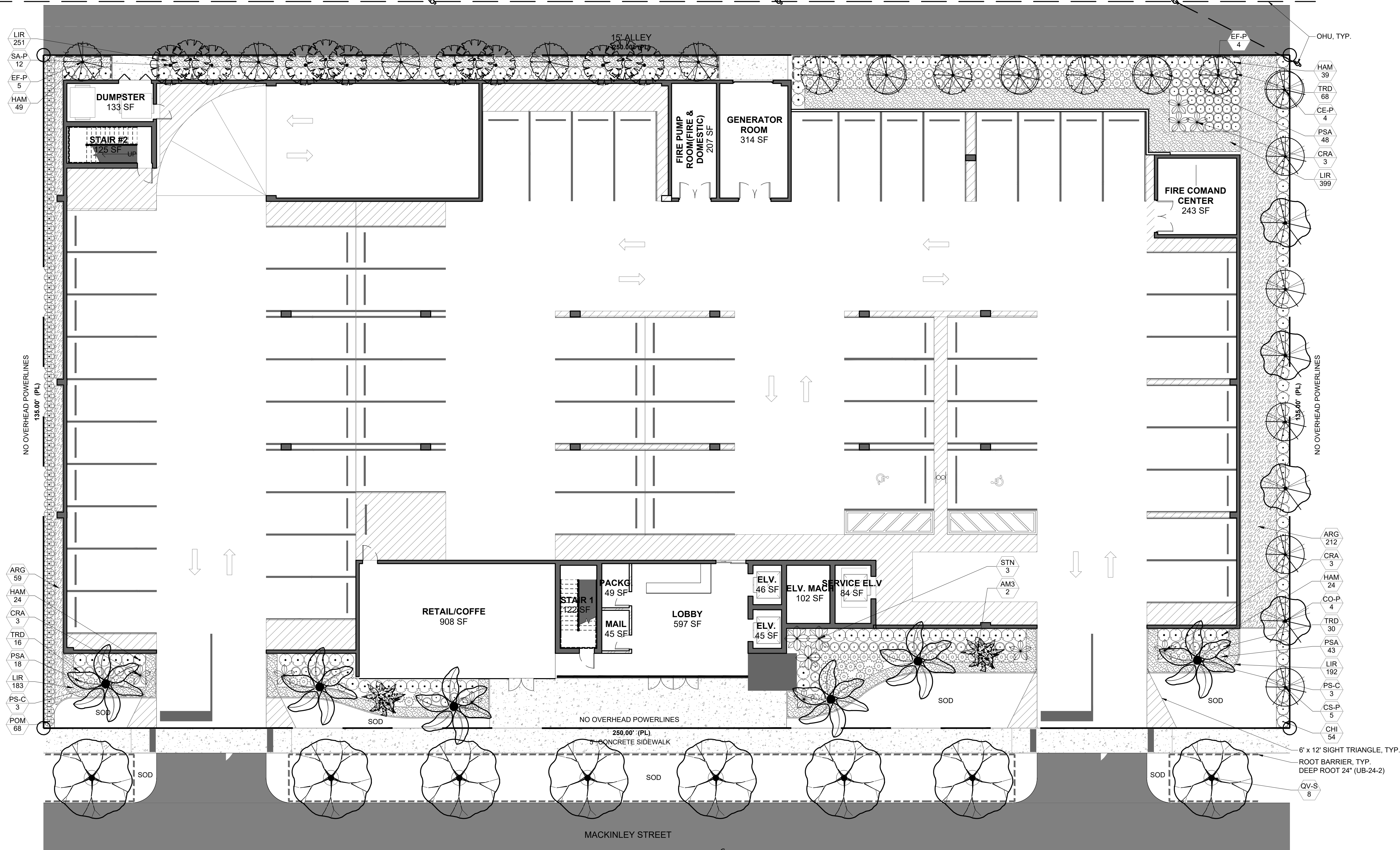
GGB Engineering
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 FLORIDA REGISTRATION No. 8118
 2699 Stirling Road, Suite C-202
 Fort Lauderdale, Florida 33312
 Phone: (954) 986-6655

DATE: DEC 2024	SCALE: N.T.S.
DESIGNED BY: B.J.R.	DRAWN BY: A.R.

PROJECT NO.
24-0331
 SHEET
C-6



This document has been digitally signed and sealed by the State of Florida. It is the property of the seal holder and its use is restricted to the project and location specified on the electronic seal.

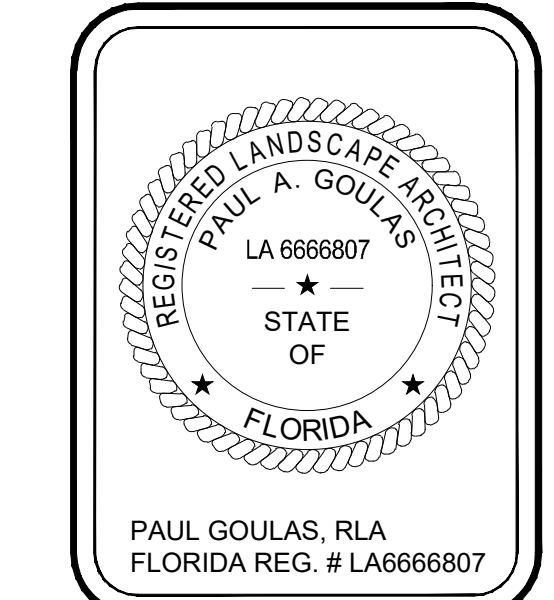


Project Team
 Landscape Architect:
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 1708 SE Joy Haven Street
 Fort St. Lucie, FL 34983
 (772) 834-1357 | brandon@las-fl.com
 Architect:
 LIR Architects, Inc.
 ARCHITECTURE & PLANNING
 12980 S.W. 52 STREET
 MIRAMAR, FLORIDA 33027
 (OFF.) - 305-403-7926
 (CELL) - 786-543-0851
 E-MAIL: LLANDAS@LANDARCHITECTS.COM

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
 1715 - 1721 McKinley Street, Hollywood, FL 33020
Landscape Plan

Revisions

Date	Init.	Description
12.13.24	DC	Initial Submittal



Landscape Data:

RAC Zoning - FH-1 (Federal Highway Low-Medium Intensity Multi-Family District)	Required	Provided
Perimeter Landscape One 12' street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	8 Trees (250/30)	8 Trees (See Schedule)
Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.	26 Trees (520/20)	26 Trees (See Schedule)
Minimum Open Space All pervious areas must be landscaped with grass, ground cover, and/or shrubbery. Minimum of one tree per 1,000 sq. ft. of pervious area.	6 Trees (5,826/1,000)	6 Palms (See Schedule)
Total Required:	40 Trees	40 Trees (See Schedule)
Minimum Tree Sizes Shade trees: 2" DBH/ 12' height. Palm trees: 8" of GW or CT. (Three Palms = 1 Tree Credit)		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	24 Trees 250 Shrubs	34 Trees 304 Shrubs

Plant Schedule:

CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	DROUGHT TOLERANCE	SPACING	QTY
CODE TREES							
PS-C	Phoenix dactylifera 'Zahid'	Zahid Date Palm	FG, 8' CT, SGL, SP	No	High		6
PALM TREES							
AM3	Adonidia merrillii	Christmas Palm Triple	FG, 6' OA, TRP, SP	No	Moderate		2
PERIMETER TREES							
CO-P	Conocarpus erectus	Green Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	High		4
CE-P	Conocarpus erectus 'sericeus'	Silver Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	High		4
CS-P	Cordia sebestena	Orange Geiger Tree	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	High		5
EF-P	Eugenia foetida	Spanish Stopper	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	High		9
SA-P	Sabal palmetto	Sabal Palm	FG, 8' CT, SGL, SP	Yes	High		12
STREET TREES							
QV-S	Quercus virginiana	Southern Live Oak	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	High		8
SHRUBS							
CH	Chrysobalanus icaco 'Redtip'	Red Tip Coccoloba	3G, 24" HT x 18" SPR, F, 30" OC	Yes	High		54
CRA	Crinum augustum 'Queen Emma'	'Queen Emma' Crinum	15G, 2'-3" OA, F, SP	No	High		9
HAM	Hamelia patens 'Compacta'	Dwarf Firebush	3G, 24" HT x 18" SPR, F, 30" OC	Yes	High		136
PSA	Pennisetum setaceum 'Alba'	White Leaved Fountain Grass	3G, 18" OA, F	No	High		109
POM	Podocarpus macrophyllus	Podocarpus	7G, 4" HT, FTB	No	High		88
STN	Stralitzia nicotiana	White Bird of Paradise	15G, 5'-6" HT, 6PP, F, SP	No	Moderate		3
TRD	Tripsacum dactyloides	Fakahatchee Grass	3G, 24" OA, F	Yes	High		114
GROUND COVERS							
ARG	Arachis glabrata 'Ecoturf'	Perennial Peanut	FG, Sod	No	High	24" o.c.	271
LIR	Liriope muscari 'Big Blue'	Big Blue Liriope	1G, 12" OA, F	No	High	12" o.c.	271
SOD	Stenotaphrum secundatum	St. Augustine grass	Sod, Free of Weeds, Pests, & Debris	No	High		1,025

Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- Landscape adjacent to vehicular traffic to be maintained to preserve site line visibility.
- Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.
- Irrigation Note: Per Article 9. 9.4(4); Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Drawn By: DC
 Checked By: PG
 Municipal Project:
 Scale:

L-01











