

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at <http://www.hollywoodfl.org/DocumentCenter/Home/View/21>

APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 04/02/2018

RECEIVED

APR 4 2018

Location Address: 1812 ROOSEVELT HOLLYWOOD, FL
Lot(s): 10 & 11 Block(s): 1 Subdivision: BUS B LOTS 30,31,32 BLK 1

Folio Number(s): 5142 10 25 0090

Zoning Classification: FH-2 Land Use Classification: G

Existing Property Use: VACANT HOME Sq Ft/Number of Units: 36,000 / 20 UNITS

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s):

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: New 4 story apartment building

Number of units/rooms: 19 Sq Ft: 20,691

Value of Improvement: 1,700,000 Estimated Date of Completion: JUNE 2019

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: XLT INVESTMENT CORP

Address of Property Owner: 16450 NE 35 AVE MIAMI FL 33160

Telephone: 305-680-2800 Fax: _____ Email Address: maribona1000@gmail.com

Name of Consultant/Representative/Tenant (circle one): Bernie Maribona

Address: 2011 NE 137 St NMB FL 33181 Telephone: 305-680-2800

Fax: _____ Email Address: maribona1000@gmail.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: _____

Email Address: _____

PLANNING DIVISION



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2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 3/30/2018

PRINT NAME: Luis Torrens

Date: _____

Signature of Consultant/Representative: _____

Date: 3/30/2018

PRINT NAME: Bernice Haribong

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

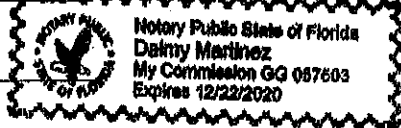
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Luis Torrens to my property, which is hereby made by me or I am hereby authorizing Bernice Haribong to be my legal representative before the T.A.C. (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 31 day of March 2018

Notary Public
State of Florida



My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

Signature of Current Owner

Print Name

Luis Torrens



Luis La Rosa Architects, Inc.

June 4, 2018

XLT Investment Corp.
16450 NE 35 Ave.
North Miami Beach, FL

FILE NUMBER: 18-DP-22

SUBJECT: Site Plan Review for a 20 unit residential development (Roosevelt Apartments).

SITE DATA

Owner/Applicant: XLT Investment Corp.
Address/Location: 1812 Roosevelt Street
Gross Area of Property: TBD
Net Area of Property: TBD
Land Use: Regional Activity Center
Zoning: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
Existing Use of Land: Commercial Use

ADJACENT LAND USE

North: Regional Activity Center
South: Regional Activity Center
East: Regional Activity Center
West: Regional Activity Center

ADJACENT ZONING

North: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
South: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
East: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
West: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).



Luis LaRosa Architects, Inc.

A. APPLICATION SUBMITTAL

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Provide drawing Cover Sheet including:

- a. Name of development.
- b. Page index.
- c. Location map.
- d. Names and contact information for all consultants.

Response: Refer to new Cover Sheet

2. Indicate meeting dates (not submittal dates), and subsequent revision dates on Cover Sheet and Title Blocks on all sheets.

Response: Revised accordingly

3. Ensure digital survey provided is the full ALTA survey.

Response: OK

4. Provide net area on survey (not specifically indicated).

Response: Revised accordingly

5. Ensure Ownership & Encumbrance Report shall be revised as follows:

- a. Indicate O&E Report was searched from time of platting or 1953, whichever is earliest. Indicate on survey.
- b. Legal Description of Property (as reflected on the survey).
- c. Ensure O&E Report is reflected on survey and site plan, e.g. utilities/overhead lines, easements, etc.
- d. Provide listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or play book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.).

Response: Revised accordingly

6. Survey shall be based on the current title work (O&E), dated within 30 days of submittal. Such date shall be noted on the survey document.

Response: Revised accordingly

7. Ensure that O&E Report, Survey, and Site Plan are consistent.

Response: Revised accordingly

8. Work with the Engineering Division to ensure the survey includes the appropriate elements such as, abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet are included.

Response: Revised accordingly



Luis La Rosa Architects, Inc.

9. Site Data:

- a. Legal Descriptions including subdivision name, plat book, page number, lot and block or metes and bounds.
- b. Current Land Use designation.
- c. Coordinate the Net & Gross property size in S.F. & acres to match the survey.
- d. Allowed and proposed heights.
- e. Amount of dwelling units per floor, total of each and total floor area of each type of unit including a breakdown of air-conditioned & non-air-conditioned space (balconies, garages, terraces, restrooms, power equipment rooms, meter rooms, etc.)

Response: Revised Accordingly

10. Work with the Engineering Division to ensure the survey includes the appropriate elements such as, abutting and internal streets and their widths, including existing curbs-cuts/driveways to surrounding properties within 100 feet are included.

Response: O.K.

11. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

Response: O.K.

12. Provide details and height of all proposed walls, fences, and gates. All fencing shall be decorative. This includes balconies.

Response: No walls or fences provided other than building walls. Height of railings and balconies on elevation sheets.

13. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Website:

http://www.broward.k12.fl.us/propertygmt/Growth_Management/meetings/Docs/Public_SchoolImpact_Application.pdf

Response: Application has been submitted

14. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal.

Response: OK

15. Additional comments may be forthcoming.

Response: OK

16. Provide written responses to all comments with next submittal.

Response: Provided



Luis LaRosa Architects, Inc.

B. ZONING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016- 02.

Response: Refer to note on sheet SP-1.1

2. What is the purpose of the second entry door in Unit #4 on the 2nd thru 4th floors?

Response: Removed, refer to floor plans.

3. Provide Balcony setback dimensions on Site Plan.

Response: Revised, refer to sheet SP-1.1

4. On site calculation table, revise the required setback to 5' not 0'.

Response: Refer to note on sheet SP-1.1

5. How is the dumpster being rolled out? Will pick-up occur inside the building?

Response: Dumpster roll out to Alley and will be picked up.

C. ARCHITECTURE AND URBAN DESIGN

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Provide volumetric shifts on the front façade.

Response: Revised, refer to elevation sheet

Terrence Comiskey A.I.A., Architect (tcomiskey@hollywoodfl.org) 954-921-3900

1. Sheet SP-1.1: How is recycling being done in the building? Is there a special trash chute that can switch between recycling and regular trash? (Typical)

Response: Refer to A-1.2 showing trash and recycling chute. Garbage and recycling containers will be wheeled out to front of property for pick

2. Sheet SP-1.1: Is there paving material under the bike rack?

Response: Refer to Sheet SP-1.1 extended pavers

3. I don't see anything in the floor plans to accommodate a Janitor's Closet and mop sink. Where are cleaning supplies stored?

Response: Refer to Sheet A-1.2 and A-1.3



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4. Sheet A-2.1: Stucco control joints should be shown (Typical for all elevations).
Response: Refer to elevation sheets
5. Please provide more information on the ground level “Decorative Screen”.
Response: Decorative screen is aluminum with 2” x”2 opening as a back drop from landscape and more than 50 % open.
6. Sheet A-1.3: Do both stairs go to the roof? It appears so in the floor plan.
Response: Refer to roof plan. Only one roof scuttle has been provided
7. A Roof Plan was not included. Will all equipment be properly screened?
Response: Refer to Sheet A-1.4
8. How are you meeting the City’s Green Building requirements?
Response: Refer to notes on Sheet SP-1.1

D. SIGNAGE

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided.
Response: No signage on building only street number
2. Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.
Response: Revised, refer to sheet SP-1.1
3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.
Response: OK

E. LIGHTING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential).
Response: Refer to note on Sheet SP-1.1

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Submittal shall indicate compliance with Green Building Ordinance (O-2011-06). Include a list with a minimum of ten (10) green building practices.
Response: Refer to note SP-1.1



Luis LaRosa Architects, Inc.

2. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

Response: Refer to notes on Sheet SP-1.1

3. Building Department may request copies of appropriate/preferred green building registration with next submittal.

Response: OK

G. ENGINEERING

Luis Lopez, City Engineer (llopez@hollywoodfl.org) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915

1. Provide site data to show the number of residential units and size being proposed.

Response: Refer to Sheet SP-1.1

2. Verify lot dimensions as per survey.

Response: OK

3. Indicate on plans ground cover material(s) on the property outside of the decorative paver areas.

Response: Refer to Landscape Plans

4. The minimum required width of parking spaces which are adjacent to a wall or physical obstruction on one side shall be 9.5 ft.

Response: Revised, refer to sheet SP-1.1

5. It appears curbing is being proposed along the driveway opening. Provide curb ramp with detectable warning at sidewalk as necessary.

Response: Refer to Sheet SP-1.1

6. Indicate on plans for corner setback requirement to be met. Corner setback area is the area lying adjacent to a street or alley as delineated by a line connecting points measured 25 feet distant along the property lines from the intersection of a street or six feet along the property lines at the intersection of an alley and a street. Corner chord at the intersection of the two alleys may be required.

Response: Provided



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7. Provide civil plans for the proposed work. Include items such as drainage improvements, water and sewer connections, curbing, all vehicle turning radii (provide sufficient vehicle turning radii for trash trucks at the alleys), sight triangles and details as well as change in elevations to show that handicap accessibility has been met. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. With the level of construction activities necessary for the proposed development, full road width pavement resurfacing abutting to the site (adjacent alleys Roosevelt Street) will be necessary, please indicate on civil plans.

Response: Refer to Sheet C-1

8. Extend pavers at the dumpster additional five feet to the south.

Response: Provided

9. Park impact fees will be required prior to issuance of Building Permit.

Response: OK

10. All outside agency permits must be obtained prior to issuance of City building permit.

Response: OK

11. More comments may follow upon review of the requested information.

Response: OK

H. LANDSCAPING

Jill Cohen, Landscape Architect (lclark@hollywoodfl.org) 954-921-3900

1. No comments received.

Response: Refer to New Landscape plans

I. UTILITIES

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org)

954-924-2985 James Rusnak, Engineer

(jrusnak@hollywoodfl.org) 954-921-3302

1. Provide plans showing how water & sewer services will be provided. Plans must include water & sewer demand calculations.

Response: Refer to New Civil plans

2. Provide Paving, Grading & Drainage plans showing how storm water storage will be provided.

Response: Refer to New Civil plans



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J. BUILDING

Philip Sauer, Chief Building Official (psauer@hollywoodfl.org) 954-921-3025

1. Application is substantially compliant.

Response: OK

K. FIRE

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

1. TAC review is limited to water supply for firefighting purposes and fire dept. access. A full architectural review will be completed when an application and plans are submitted to the third-floor building dept.

Response: OK, building will be sprinklerd and will have fire alarm.

2. Water supply must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements.

Response: Fire flow provided

3. As a result of that test, show any existing and new fire hydrants on civil drawings. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

Response: OK

4. A fire sprinkler system is required for all new apartments per NFPA 101, 30.3.5. Provide a note as such on the plans.

Response: Added note

5. A fire alarm system is required per NFPA 101, 30.3.4.

Response: OK

6. Provide a note on civil drawings that underground fire main work will be completed by a contractor holding a Class I, II, or V license per FS 633.102.

Response: Provided

7. show the location of the fire dept. connection, fire line and size up to the building on civil drawings.

Response: OK



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L. PUBLIC WORKS

Charles Lassiter, Environmental Services Supervisor (klassiter@hollywoodfl.org) 954-967-4207

1. No comments received.

Response: Provided

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application is required.

Response: Provided

N. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Are units for rent or sale?

Response: rental

2. Are any units affordable to households making less than 80% of the Area Median Income? (\$48,850 for household of 2; \$69,950 for household of 4)

Response: owner will provide info

3. Sheet SP-1.1

- a. Is project gated? Show details of decorative fence.
- b. Is there an access gate to the dumpster? Include recycling.

Response: No gate, yes to dumpster and recycling

4. Sheet A-1.2 & A-1.3 – what is the purpose of the doorway from the great room of unit #4 into the common hall?

Response: Removed

5. Sheet A-2.1 – Recommend a treatment on the stucco wall to break up the plane.

Response: Provided

6. Sheet A-2.1 - 2.4 – Show details of decorative screen at garage elevations. It looks like a cage in the drawing.

Response: Provided

7. Sheet A-2.3 – What is the “C.J.” label?

Response: control joint



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8. How is roof accessed? Where is mechanical equipment?

Response: roof scuttle through stair

O. ECONOMIC DEVELOPMENT

Brian Rademacher, Corridor Redevelopment Manager (brademacher@hollywoodfl.org) 954-924-2922

1. Is parking ingress/egress only on Roosevelt or available via alley on south end?

Response: yes

2. This building is a good addition to N. Federal Highway in the RAC. Since visible from N. Federal would be good to add articulations or design that adds style & texture to corridor (on all visible elevations).

Response: OK

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org)

954-967-4371 Steven Bolger, Police

(sbolger@hollywoodfl.org) 954-967-4500 Doreen

Avitabile, Police (davitabile@hollywoodfl.org) 954-964371

1. No comments received.

Response: Provided

DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-

2980 Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-

924-2980 Not applicable

Q. PARKING AND INTERGOVERNMENTAL AFFAIRS

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

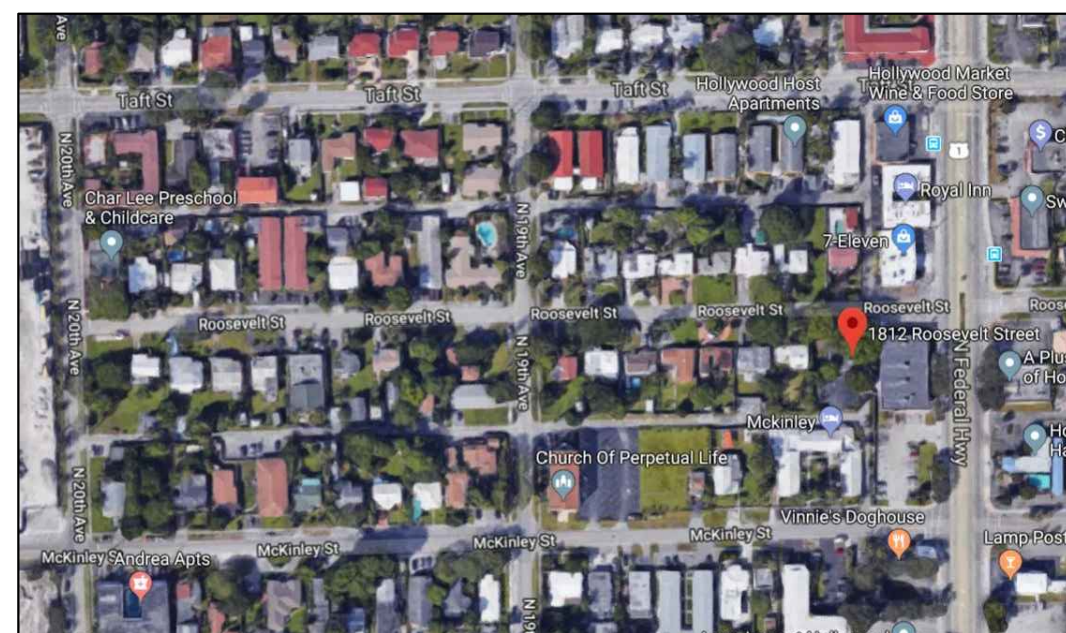
1. Application is substantially compliant.

R. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

PROPOSED 20 UNIT MULTI-FAMILY DEVELOPMENT FOR:
 XLT INVESTMENT CORP.
 16450 NE 35 AVE.
 NORTH MIAMI BEACH, FLORIDA.

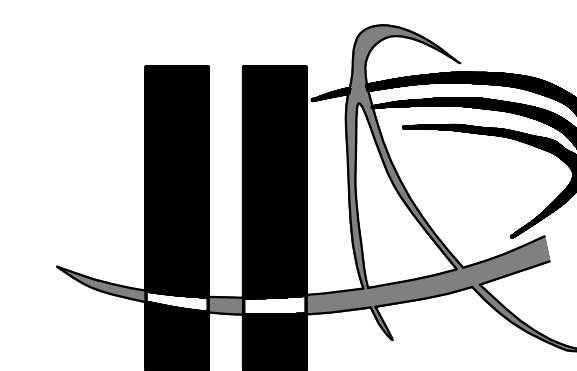


LOCATION MAP
 JOB ADDRESS: 16450 ROOSEVELT STREET

SHEET INDEX

COVER SHEET
 SURVEY
 SP-1.1 SITE PLAN
 SITE DATA
 BUILDING CALCULATION
 GENERAL NOTES
 D-1.1 DEMOLITION PLAN
 A-1.1 FIRST FLOOR PLAN
 A-1.2 SECOND & THIRD FLOOR PLAN
 A-1.3 FOURTH FLOOR PLAN
 A-1.4 ROOF PLAN
 A-2.1 EAST ELEVATION
 A-2.2 NORTH ELEVATION
 A-2.3 WEST ELEVATION
 A-2.4 SOUTH ELEVATION
 C-1 PAVING & DRAINAGE PLAN
 WATER & SEWER PLAN
 L-1 LANDSCAPE PLAN
 L-2 TREE MITIGATION PLAN
 L-3 LANDSCAPE DETAILS

SUBMITTAL DATE: 06/04/2018
 MEETING DATE: 06/18/2018



LLR Architects, Inc.

ARCHITECTURE & PLANNING

12980 SW 52 STREET
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 E-MAIL: LLAROSA@LAROSAARCHITECTS.COM

AYLWARD ENGINEERING
 CIVIL ENGINEERING

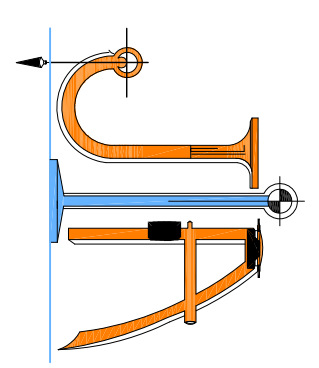
3222 RIDGE TRACE
 DAVIE, FLORIDA 33328

(O)- 954-424-5852
 E-MAIL: AYLWARDENGINEER@GMAIL.COM

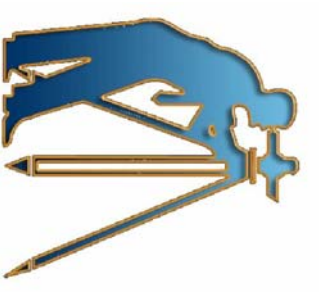
MLA GROUP
 SCOTT MC CLURE RLA
 LANDSCAPE ARCHITECTURE

1016 NE 45TH STREET
 OAKLAND, FLORIDA 33334

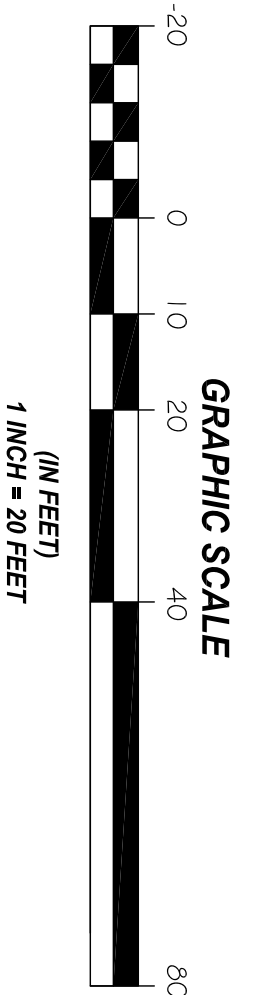
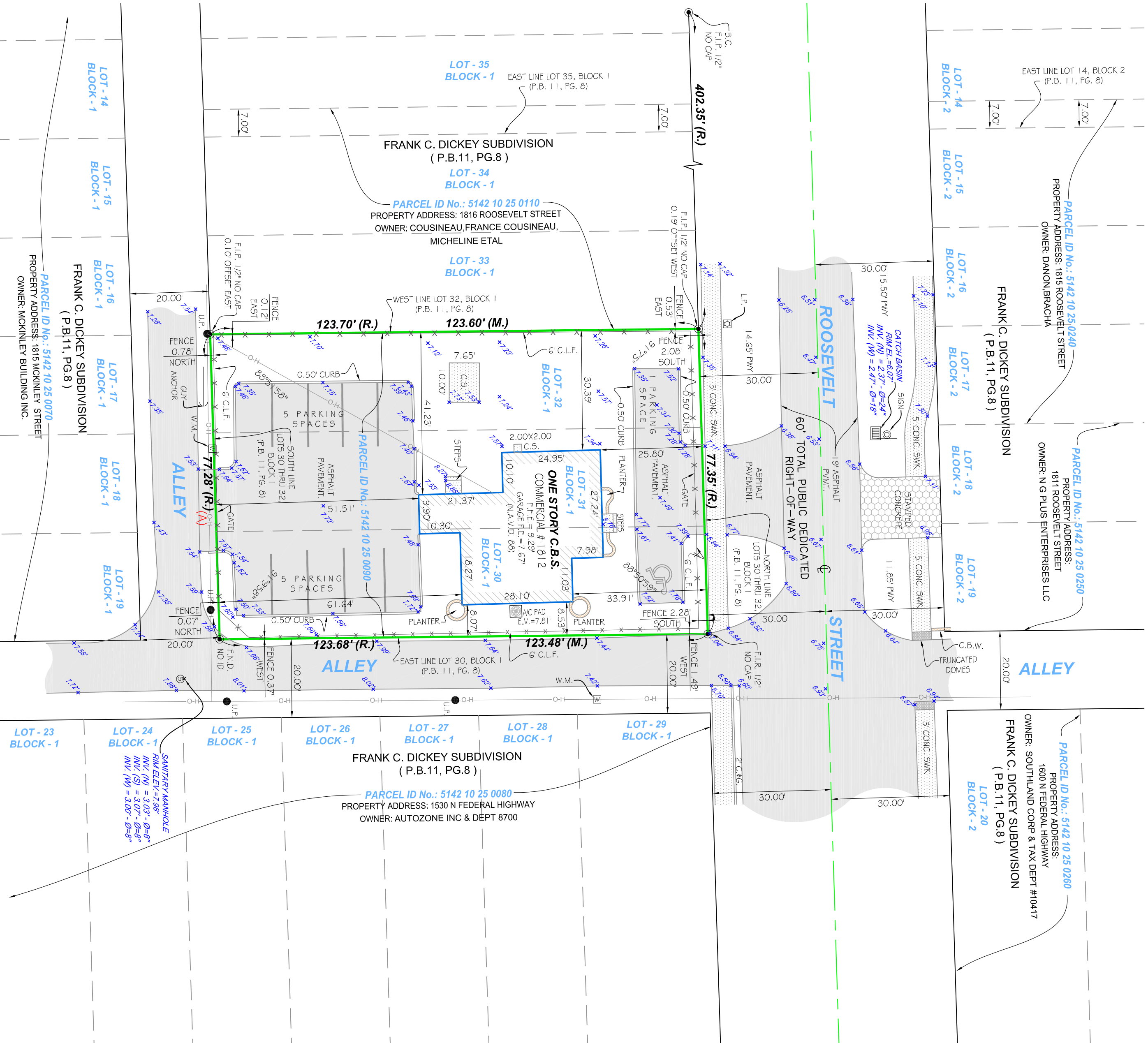
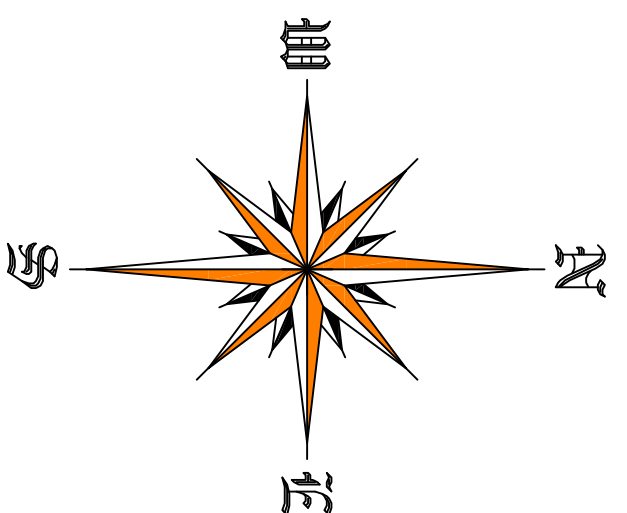
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WWW.IBARRALANDSURVEYORS.COM
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MIAMI, FLORIDA 33126
PH: (305) 282-0400
FAX: (305) 282-0401



ALTA/MNSPS Land Title Survey



ABBREVIATIONS

- A = AIR CONDITIONER PAD
- A/E = ARCHER EASEMENT
- A/S = AT-TOWNHOMES SHED
- ASPH = ASPHALT
- B/C = BLOCK CORNER
- B/C/R = BROWARD COUNTY RECORDS
- B/C/S = BROWARD COUNTY SURVEY
- B/C/T = BROWARD COUNTY TITLE
- C/B = CANTON BARRIS
- C/B/M = CONCRETE BLOCK WALL
- C/O = CONCRETE
- C/S = CONCRETE SLAB
- C/W = CONCRETE WALK
- D/E = DRAINAGE EASEMENT
- D/E/S = DRAINAGE EASEMENT SURVEY
- D/R = DRIVEWAY
- D/S = DEGREE SWAY
- E/T/P = ELECTRIC TRANSFORMER PAD
- ELEV = ELEVATION
- ENCL = ENCROACHMENT
- F.P. = FOUNDATION
- F.I.P. = FOUNDATION IRON PIPE
- F/T = FOUNDATION TIE
- F/T/E = FOUNDATION TIE ELEVATION
- F/W = FEET
- F/W/V = FEET VERTICALLY
- F/M = FEDERAL NATIONAL INSURANCE PROGRAM
- H/A = HIGH OR HEIGHT
- H/C = HIGH OR CLEARANCE
- I/C/S = INTEREST IN COMMON SURVEY
- L/B = LICENSED BUSINESS
- L/P = LIGHT POLE
- L/T = LOT
- L/T/E = LOT ELEVATION
- M = MINUTES
- M/S = MANSION
- M/S/V = MANSION VERTICAL SURVEY
- N/S = NORTH TO SCALE
- N/S/V = NORTH VERTICAL SURVEY
- O/H = OVERHEAD UTILITY LINES
- O/V = OVERHANG
- O/W = OVERLAND
- P/ = PLANTER
- P/L = PLANTER LINE
- P/C = POINT OF CURVATURE
- P/C/C = POINT OF COMMENCEMENT
- P/O = POINT OF BEGINNING
- P/R/C = POINT OF REVERSE CURVATURE
- P/R/M = PERMANENT REFERENCE MONUMENT
- P/S = PROFESSIONAL LAND SURVEYOR
- P/S/S = PROFESSIONAL SURVEY SIGNATURE
- P/P = POWER POLE
- P/P/S = PUBLIC UTILITY SERVICE
- R/W = RECORD DISTANCE
- R/S = RESIDENCE
- R/O = RIGHT-OF-WAY
- R/O/S = ROAD OR RADIAL
- R/O/S/O = ROAD OVERHANG EASEMENT
- R/S/ = ROAD SURVEY
- S/P = SET POINT
- S/S = SET POINT SURVEY
- S/V = SEVER VALUE
- T = TANGENT
- T/B = TANGENT BENCHMARK
- T/S = TRAFFIC SIGNAL PAD
- T/S/B = TECHNOLOGY UTILITY EASEMENT
- T/S/P = TOWNSHIP
- U/L = UTILITY
- U/L/E = UTILITY EASEMENT
- U/P = UTILITY POLE
- W/M = WOOD METEER
- W/F = WOOD FENCE
- W/R = WOOD ROOF
- W/V = WATER VALVE
- W/V/S = WATER VALVE SURVEY
- DEL = DELTA

SURVEYOR'S CERTIFICATE:

1A. THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THIS SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE. 1B. THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE MINIMUM ANGLE DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALIENS AND TITLE SURVEYS, OR CALCULATED. 1C. PROPER FIELD PROCEDURES, INSTRUMENTATION AND ADEQUATE SURVEYING WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OBTAINED IN MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALIENS AND TITLE SURVEYS. 2. THE LOCATION OF THE SUBJECT PROPERTY IS IN ZONE RM-18, MULTIFAMILY DISTRICT. SETBACKS ARE AS PER CITY OF HOLLWOOD. 3. THE PROPERTY HAS DIRECT PROFESSIONAL ACCESS TO AND FROM PUBLICLY USED AND MAINTAINED STREETS OR HIGHWAYS KNOWN AS ROOSEVELT STREET. 4. MUNICIPAL WATER, MANHOLE, STORM SEWER AND MUNICIPAL STREETS/FACILITIES, TELEPHONE, AND ELECTRIC SERVICES OF PUBLIC UTILITIES ARE AVAILABLE AT THE EDGEBODY OF THE PROPERTY IN THE LOCATIONS AS SHOWN ON THIS SURVEY. 5. THE SUBJECT PROPERTY DOES NOT HAVE ANY OTHER STRUCTURES, UTILITIES, STRUCTURAL SUPPORT OR DAMAGE TO STRUCTURES, VISIBLE WATER COURSES, UTILITIES, STRUCTURAL SUPPORT OR INGRESS & EGRESS. 6. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT HAVE ANY SPECIAL, EROSION HAZARDOUS, OR OTHER HAZARDOUS AREAS WITHIN THE 10% FLOOD INSURANCE RATE MAP DESIGNATED PROPERTY LESS THAN ONE (1%) OF THE FLOOD INSURANCE RATE MAP DESIGNATED PROPERTY. 7. THE LAND AREA OF THE SUBJECT PROPERTY IS 11,711.84 SQ. FEET. 8. THE TOTAL BUILDING AREA (BASED UPON EXTERIOR FOOTPRINT OF BUILDING ON GROUND SURFACE) AND INTERIOR USABLE FLOOR SPACE IS 1,822 SQUARE FEET. 9. THERE ARE 11 REGULAR PARKING SPACES AND 1 MARKED HANDICAPPED PARKING SPACES ON THE SUBJECT PROPERTY. 10. ELEVATIONS ARE REFERRED TO BROWARD COUNTY BENCHMARK W. 8200 BT 1885. ELEVATION 11.00 FEET OF PL.G.D. OF 1920 CONVERTED TO A.L.D. 1988 BY USING VERTICUM HELIX ON THE SURVEY AND THE ELEVATION IS 3.07 FEET ON A.L.D. 1988. LOCATED AT 1497 STREET & DOLLE HIGHWAY. 11. THE PARTIES LISTED ABOVE AND THEIR SUCCESSORS AND ASSORS ARE ENTITLED TO RELY ON THE SURVEY AND THE DATA HEREON AS BEING TRUE AND ACCURATE. 12. FLOOR ELEVATION OF EXISTING BUILDING IS 9.24 FEET A.Y.D. 1988. 13. THERE IS NO VISIBLE OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS. 14. THERE IS NO VISIBLE OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

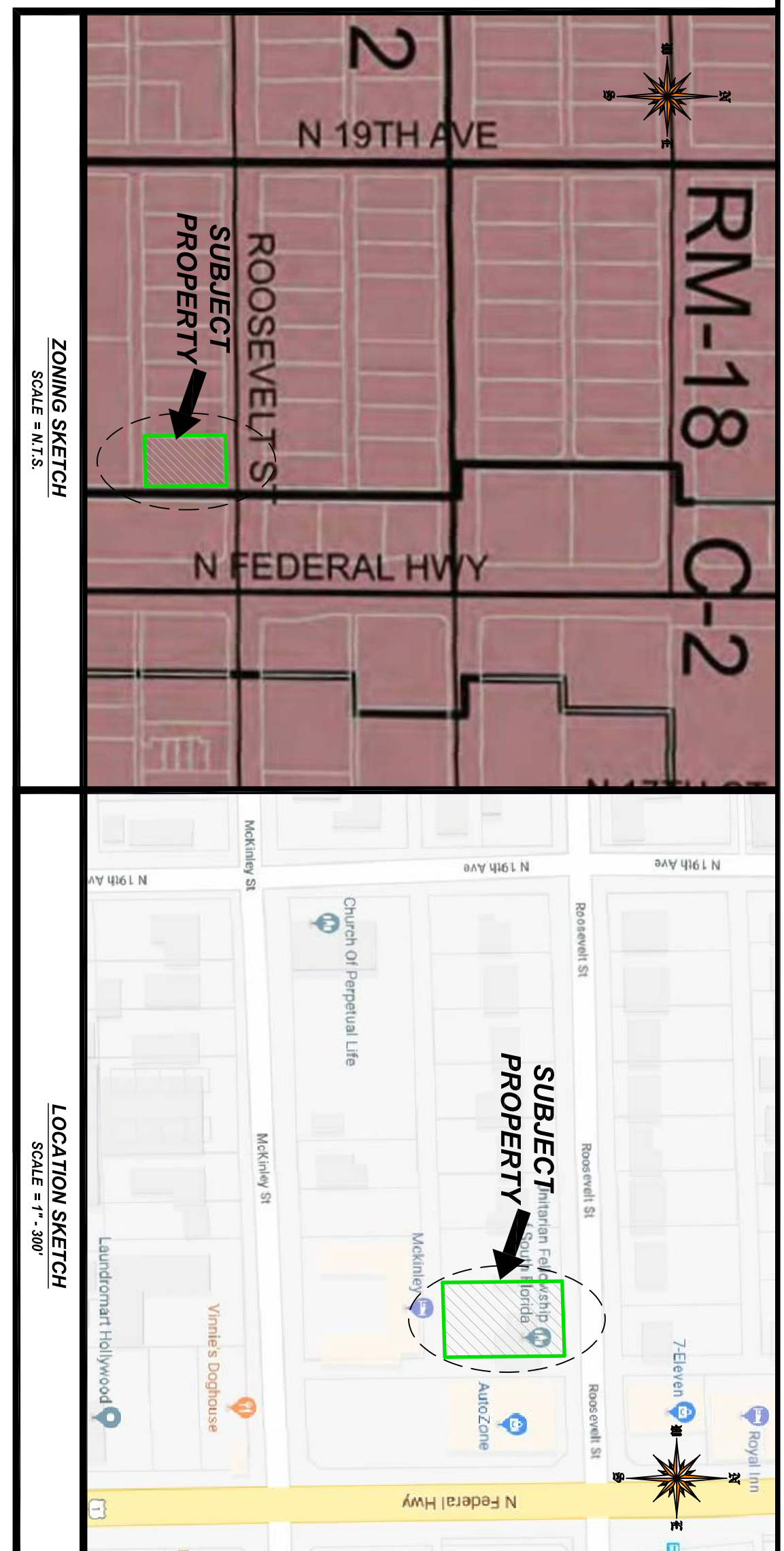
LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS: LOTS 30, 31 AND 32, OF BLOCK 1, FRANK C. DICKEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, S RECORDED IN PLAT BOOK 11, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THE TERMS OF THIS SURVEY ARE TO BE USED IN CONNECTION WITH THE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES. THE SURVEY SHALL BE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS. FOUNDATIONS ARE A DRAWING AND/OR A GRADE REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD. THEY COULD BE GRAVEN AT A SHOWN SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE ENLARGED FOR CLARITY PURPOSES.

TITLE COMMENT NOTES:

THAT I HAVE REVIEWED THE COMMENT AND ALL ITEMS ARE SHOWN ON THIS SURVEY. THE ITEMS SHOWN HERE FORTH ARE REFERRED TO IN THE SURVEY INSURANCE COMPANY, COMMENT THE NUMBER 80983. ISSUING OFFICE FILE NUMBER 17277, DATED SEPTEMBER 28, 2017, AT 11:00 PM. ITEM 8. ALL MATTERS COVENANTED ON THE PLAT OF FRANK C. DICKEY SUBDIVISION AS RECORDED IN PLAT BOOK 11, PAGE 8, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES APPEAR IN ANY MANNER WHICH MAY BE DETRACTED BY THIS SURVEY HEREON.

ENCROACHMENT NOTES:
A SOUTH SIDE OF THE SUBJECT PROPERTY, PARKING ASPHALT PAVEMENT IS ENCRUCHING INTO THE RIGHT OF WAY OF ALLEY



LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS: LOTS 30, 31 AND 32, OF BLOCK 1, FRANK C. DICKEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, S RECORDED IN PLAT BOOK 11, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. THE TERMS OF THIS SURVEY ARE TO BE USED IN CONNECTION WITH THE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES. UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS. FOUNDATIONS ARE A DRAWING AND/OR A GRADE REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD. THEY COULD BE GRAVEN AT A SHOWN SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE ENLARGED FOR CLARITY PURPOSES.

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LEGEND

- = OVERLAND UTILITY LINES
- = CONCRETE BLOCK WALL
- = CHAIN LINK FENCE
- = IRON FENCE
- = BUILDING SETBACK LINE
- = LIMITED ACCESS RW
- = NON-PERMITTED ACCESS RW
- = ENCROACHMENT
- = ELEVATION

* 0.00

Legend

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* 0.00

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- = IRON FENCE
- = BUILDING SETBACK LINE
- = LIMITED ACCESS RW
- = NON-PERMITTED ACCESS RW
- = ENCROACHMENT
- = ELEVATION

* 0.00

Project Address:
1812 ROOSEVELT STREET,
HOLLWOOD, FL. 33020

Project Location: BROWARD COUNTY

SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST

PARCEL ID NO.: 5142 10 25 0090

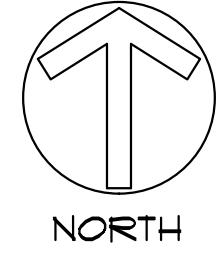
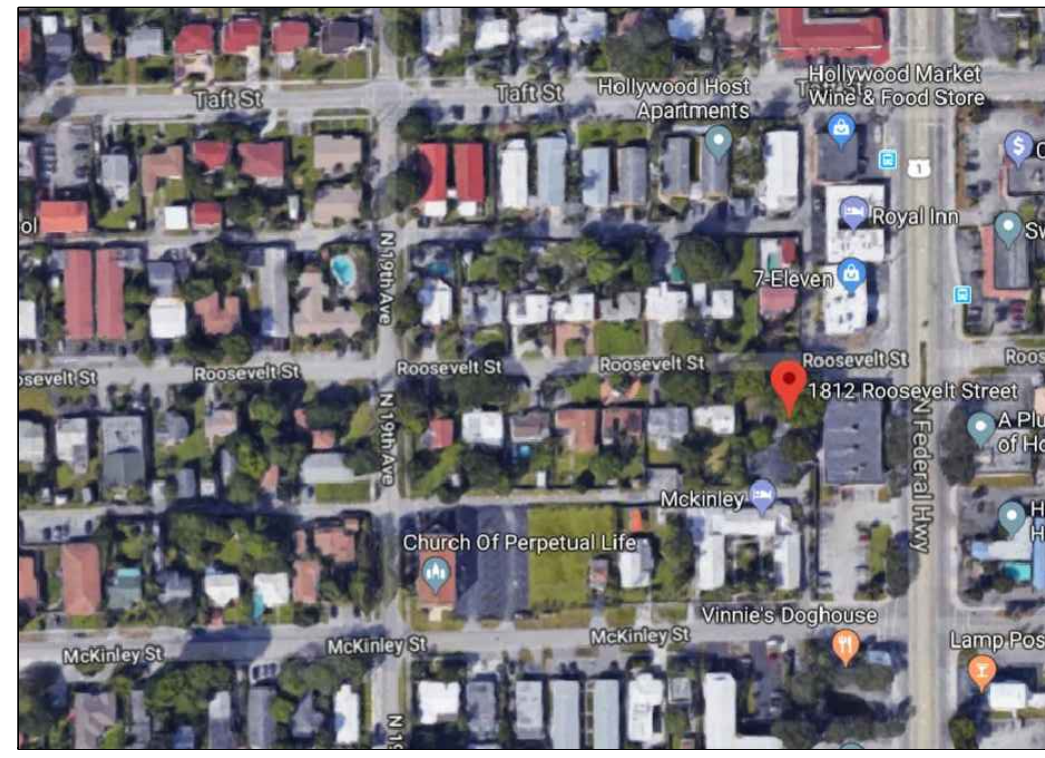
DRAWN BY: PP

Job Number: 18-001358-1

777 N.W. 72nd AVENUE SUITE3025
MIAMI, FLORIDA 33126
TELEPHONE: (305) 262-0400 FAX (305) 262-0401
WWW.IBARRALANDSURVEYORS.COM

JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors
777 N.W. 72nd AVENUE SUITE 3025
MIAMI, FLORIDA 33126
TELEPHONE: (305) 262-0400 FAX (305) 262-0401
WWW.IBARRALANDSURVEYORS.COM

L.S.# 7806



1 LOCATION PLAN
SCALE: N.T.S.

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017-EDITION, ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, NATIONAL
2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS, CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

LOT 30-31, IN BLOCK 1, OF 'FRANK C. DICKEY SUBDIVISION', ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11 AT PAGE 8 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

3 LEGAL DESCRIPTION

SITE CALCULATIONS:

TOTAL SITE AREA:	9,551 S.F. OR 21
BUILDING COMMON AREA	511 S.F.
DRIVEWAY	6,240 S.F.
CONC. SLAB	130 S.F.
TOTAL IMPERVIOUS AREA*	7,001 S.F. (73.4%)
TOTAL PERVIOUS AREA*	2,550 S.F. (26.6%)

TOTAL IMPERVIOUS AREA*	7,001 S.F. (73.4%)
BUILDING FOOTPRINT AREA	7,132 S.F.
TOTAL PERVIOUS AREA*	2,550 S.F. (26.6%)

F.A.R. CALCULATIONS:

TOTAL SITE AREA:	9,551 S.F. X 3.0 =	28,671 S.F.
GROUND FLOOR (NOT TRASH ROOM)	529 S.F.	
2ND. FLOOR PLAN (NOT TRASH ROOM, ELEC. ROOM + BALCONY)	6,780 S.F.	
3RD. FLOOR PLAN (NOT TRASH ROOM, ELEC. ROOM + BALCONY)	6,780 S.F.	
4TH. FLOOR PLAN (NOT TRASH ROOM, ELEC. ROOM, BALCONY + STAIRS)	6,480 S.F.	
F.A.R. PROVIDED	20,569 S.F.	
F.A.R. ALLOWED	28,671 S.F.	

1. OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE 02016-02.
2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATION.
3. OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
4. MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
5. A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 110 AND BROWARD AMENDMENT 182
6. GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
7. BIKE RACK TO BE INSTALLED AS SHOWN
8. WHITE ROOF TO REFLECT LIGHT.

4 SITE DATA

PARKING CALCULATIONS:

	REQUIRED	PROVIDED
1 PARKING SPACE PER UNIT	20	
1 GUEST PARKING SPACES PER 10 UNITS	2	
TOTAL PARKING SPACES	22	22

SETBACK CALCULATIONS:

	REQUIRED	PROVIDED
FRONT	15'	15'
REAR	5'	5'-0"
ALLEY	5'	5'-0"
INT-SIDE	0'	0'

HEIGHT CALCULATIONS:

	REQUIRED	PROVIDED
MAX. HEIGHT ALLOWED:	10 STORIES OR 140'	50'-0"
LAND USE DESIGNATION:	FH-2	

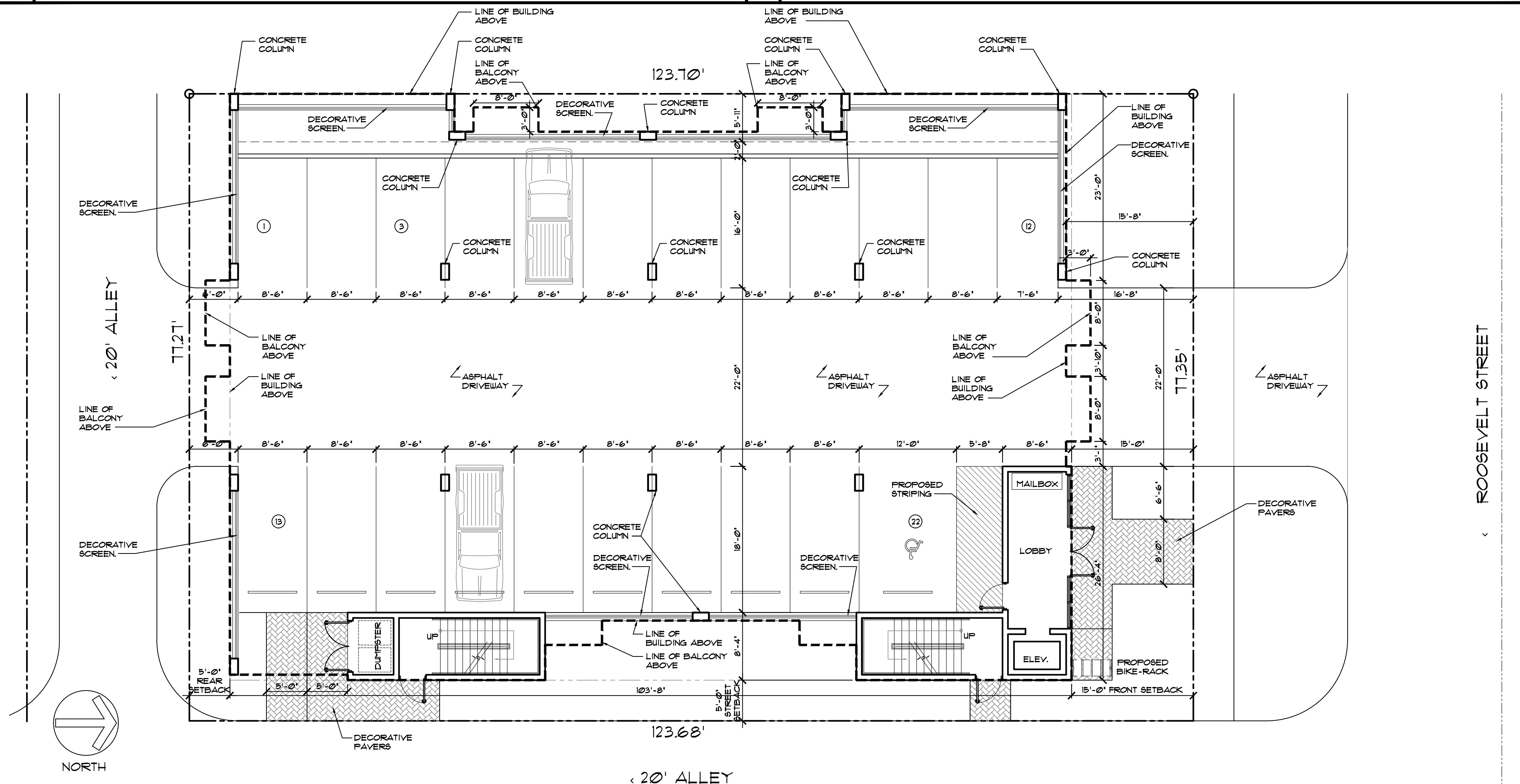
- GREEN BUILDING PRACTICE**
- (E) ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.
 - (H) PROGRAMMABLE THERMOSTATS.
 - (N) DUAL FLUSH TOILETS.
 - (P) AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION).
 - (Q) ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
 - (R) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THEN STANDARD ESTABLISHED BY ASHRAE (LATEST EDITION)
 - (T) ALL HOT WATER PIPES INSULATED.
 - (U) MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT.
 - (V) TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER.
 - (W) ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE.

BUILDING CALCULATION

	LOBBY	UNIT # 1 (TWO BED.)	UNIT # 2 (ONE BED.)	UNIT # 3 (ONE BED.)	UNIT # 4 (TWO BED.)	UNIT # 5 (TWO BED.)	UNIT # 6 (ONE BED.)	UNIT # 6A (THREE BED.)	UNIT # 7 (ONE BED.)	
1ST. FLOOR COMMON AREA =	511 S.F.	-	-	-	-	-	-	-	-	511 S.F.
2ND. FLOOR LIVING AREA =	-	898 S.F.	664 S.F.	664 S.F.	1,049 S.F.	886 S.F.	656 S.F.	-	656 S.F.	5,473 S.F.
COVERED BALCONY AREA =	-	24 S.F.	24 S.F.	24 S.F.	85 S.F.	24 S.F.	24 S.F.	-	24 S.F.	229 S.F.
TOTAL UNIT AREA =	-	922 S.F.	688 S.F.	688 S.F.	1,134 S.F.	910 S.F.	680 S.F.	-	680 S.F.	5,702 S.F.
COMMON AREA =	-	-	-	-	-	-	-	-	-	1,430 S.F.
TOTAL GROSS AREA =	-	-	-	-	-	-	-	-	-	7,132 S.F.
3RD. FLOOR LIVING AREA =	-	898 S.F.	664 S.F.	664 S.F.	1,049 S.F.	886 S.F.	656 S.F.	-	656 S.F.	5,473 S.F.
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COVERED BALCONY AREA =	-	24 S.F.	24 S.F.	24 S.F.	85 S.F.	24 S.F.	-	48 S.F.	-	229 S.F.
TOTAL UNIT AREA =	-	922 S.F.	688 S.F.	688 S.F.	1,134 S.F.	910 S.F.	-	1,360 S.F.	-	5,702 S.F.
COMMON AREA =	-	-	-	-	-	-	-	-	-	1,430 S.F.
TOTAL GROSS AREA =	-	-	-	-	-	-	-	-	-	7,132 S.F.
TOTAL GROSS AREA =										21,913 S.F.

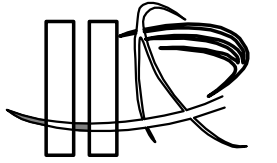
2ND. FLOOR	3RD. FLOOR	4TH. FLOOR	TOTAL UNITS
4 UNITS (1 BED.)	4 UNITS (1 BED.)	2 UNITS (1 BED.)	10 UNITS (1 BED.)
3 UNITS (2 BED.)	3 UNITS (2 BED.)	3 UNITS (2 BED.)	9 UNITS (2 BED.)
0 UNITS (3 BED.)	0 UNITS (3 BED.)	1 UNITS (3 BED.)	1 UNIT (3 BED.)
1 UNITS	1 UNITS	6 UNITS	20 UNITS

5 BUILDING CALCULATION



6 PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"



LLR Architects, Inc.

ARCHITECTURE & PLANNING

12980 SW 52 STREET
MIRAMAR, FLORIDA 33027

(P) 305-403-7926
(O) 305-403-7928
E-MAIL: LLAROSA@LLAROSAARCHITECTS.COM

REVISION:	BY:
1	6/18/2018 T.A.C.
2	CC

PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.

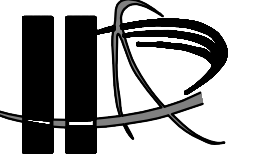
1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR.
DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	018-008
SHEET	

SP-1.1

OF SHEETS



LLR Architects, Inc.

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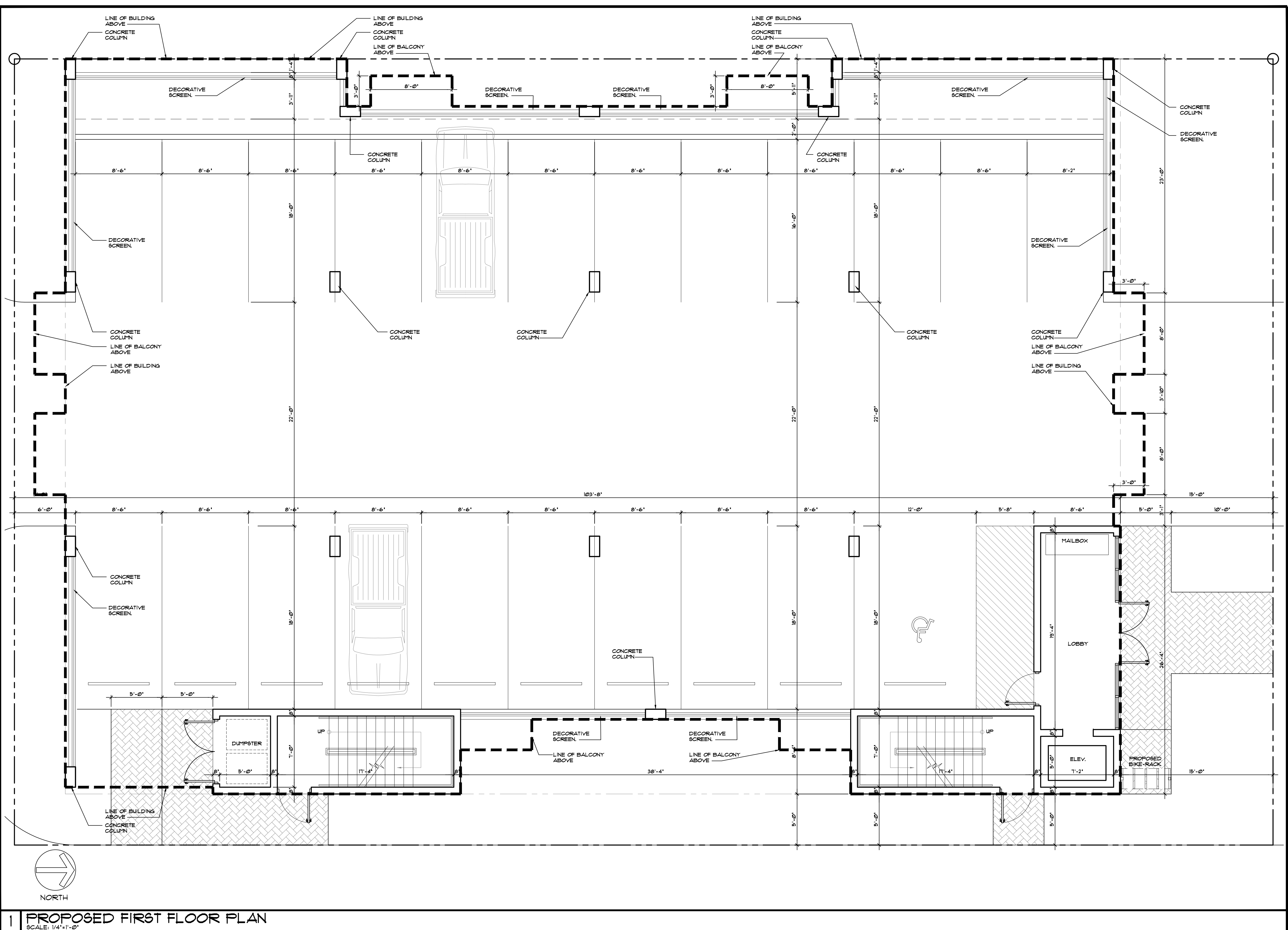
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XLT INVESTMENT CORP.
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HOLLYWOOD, FL 33020

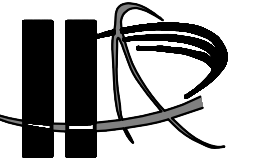
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LUIS LA ROSA

DRAWN	CC
CHECKED	LLR
DATE	03/27/18
SCALE	AS NOTED
JOB. NO.	018-008
SHEET	

A-1.1
OF SHEETS



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



LLR Architects, Inc.

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12989 SW 52 STREET
MIAMI, FLORIDA 33027
(305) 403-7926
(305) 403-7928
E-MAIL: LLR@LLRARCHITECTS.COM

REVISION: BY:

1	6/18/2018	T.A.C.	CC
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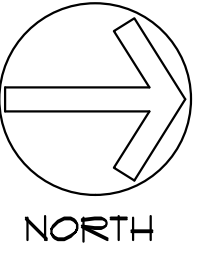
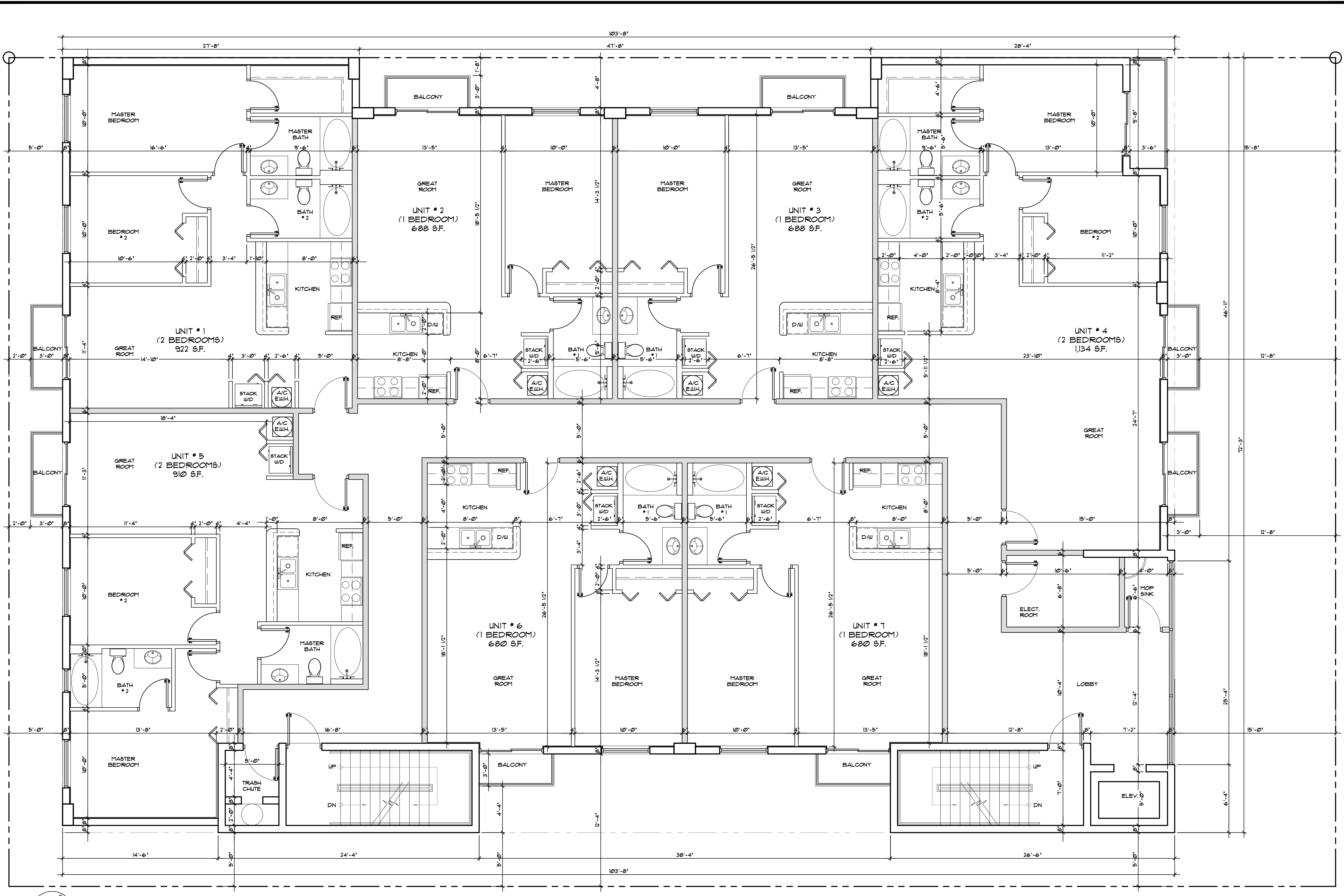
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XLT INVESTMENT CORP.

1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

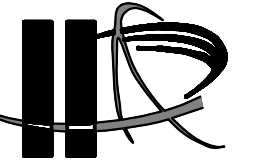
SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC
CHECKED	LLR
DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	018-008
SHEET	

A-12
OF SHEETS



1 PROPOSED TYP. FLOOR PLAN (2ND. & 3RD)
SCALE: 1/4"=1'-0"



LLR Architects, Inc.

ARCHITECTURE & PLANNING

12989 SW 52 STREET
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E-MAIL: LLR@LLRARCHITECTS.COM

REVISION:	BY:
1	6/18/2018
2	T.A.C.
	CC

PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.

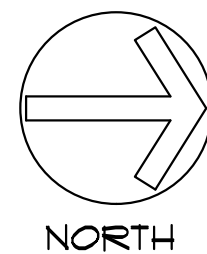
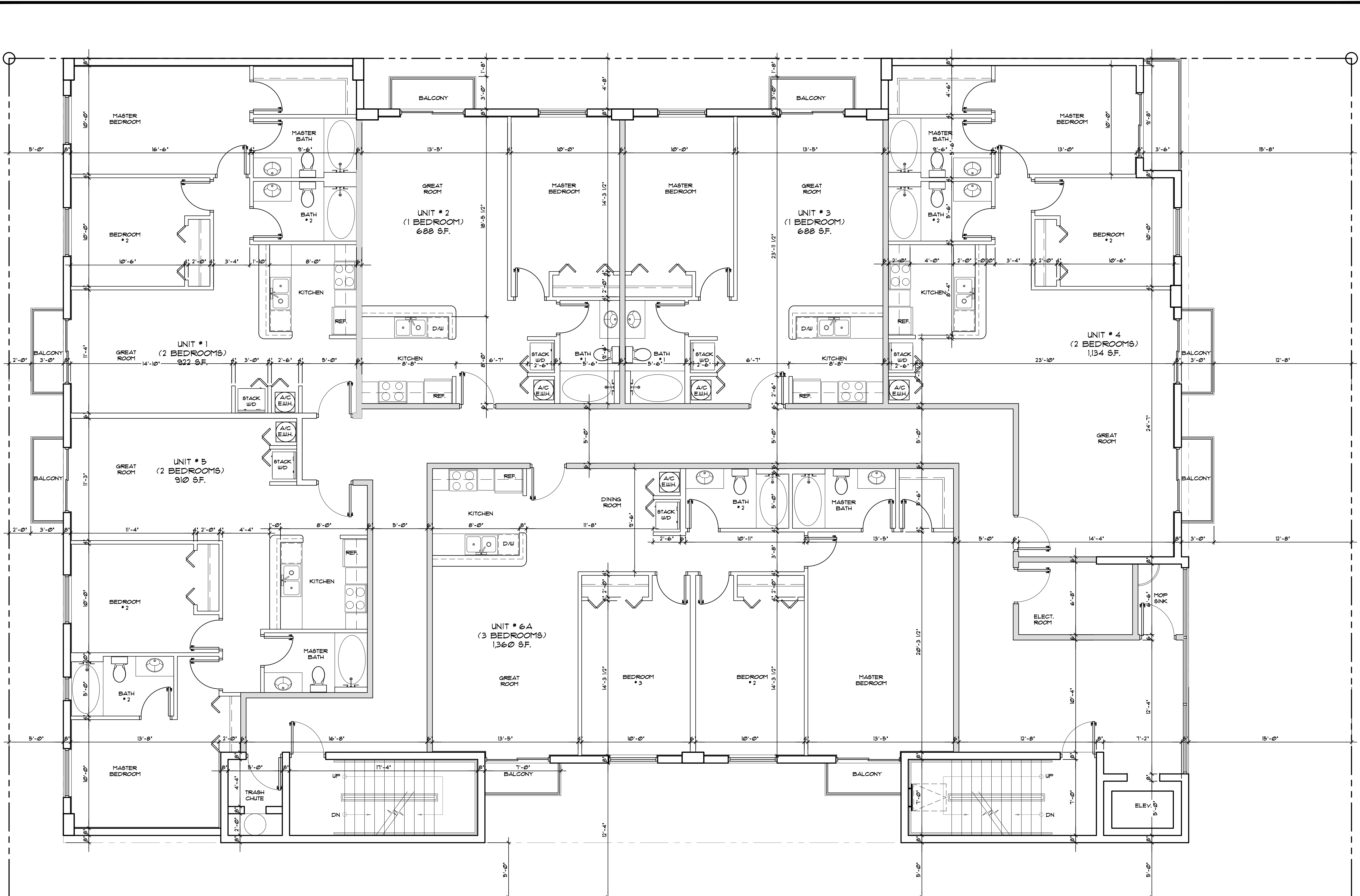
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HOLLYWOOD, FL 33020

SEAL: AR 0017852
LUIS LA ROSA

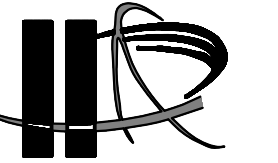
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JOB. NO.	018-008
SHEET	

A-1.3

OF SHEETS



1 PROPOSED TYP. FLOOR PLAN (4TH)
SCALE: 1/4"=1'-0"



LLR Architects, Inc.

ARCHITECTURE & PLANNING

12980 SW 52 STREET
MIAMI, FLORIDA 33027
(305) 403-7926
(305) 403-7928
E-MAIL: LLR@LLRARCHITECTS.COM

REVISION:	BY:
1	
2	6/18/2018 T.A.C.
	CC

PROPOSED MULTI FAMILY DEVELOPMENT FOR:

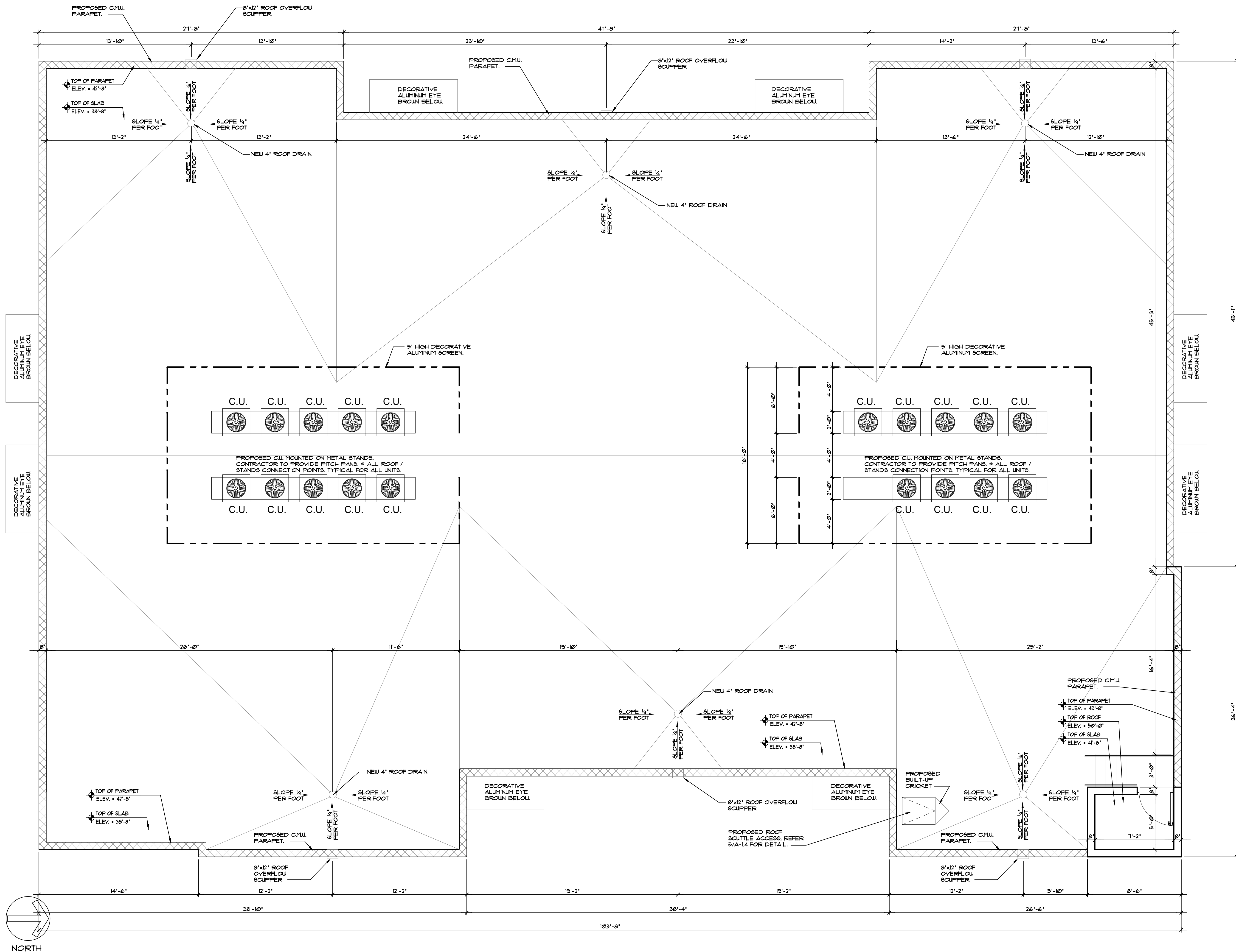
XLT INVESTMENT CORP.

1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

SEAL: AR 0017852
LUIS LA ROSA

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DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	018-008
SHEET	

A-1.4
OF SHEETS



1 PROPOSED TYP. FLOOR PLAN (4TH)
SCALE: 1/4"=1'-0"



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REVISION:	BY:
1	6/18/2018 T.A.C.
2	CC

PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.

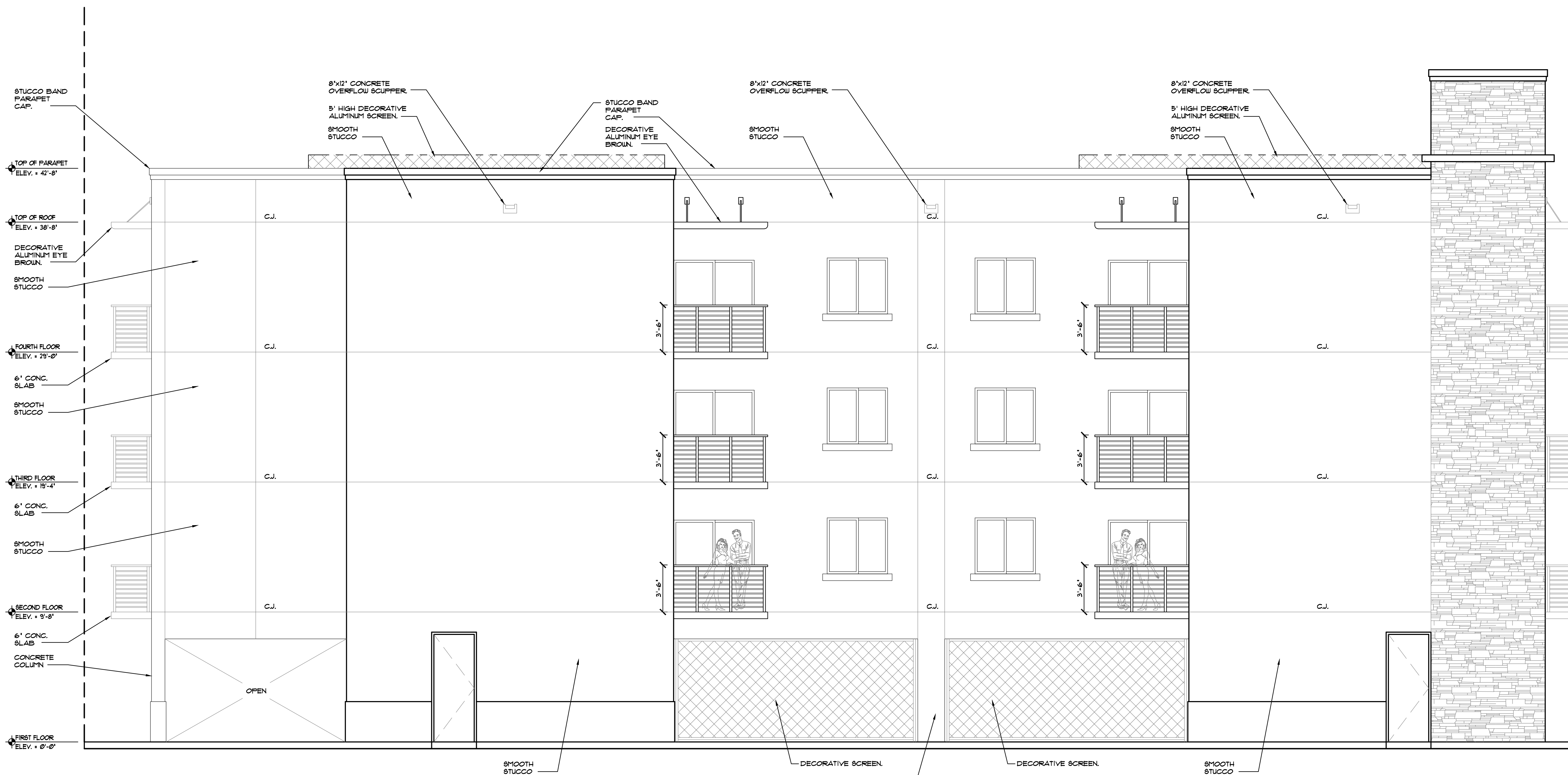
1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

SEAL: AR 0017852
LUIS LA ROSA

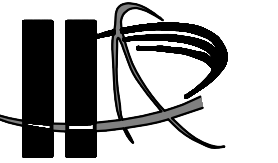
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SCALE	AS NOTED
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SHEET	

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OF SHEETS



1 EAST ELEVATION (ALLEY STREET)
SCALE: 1/4"=1'-0"



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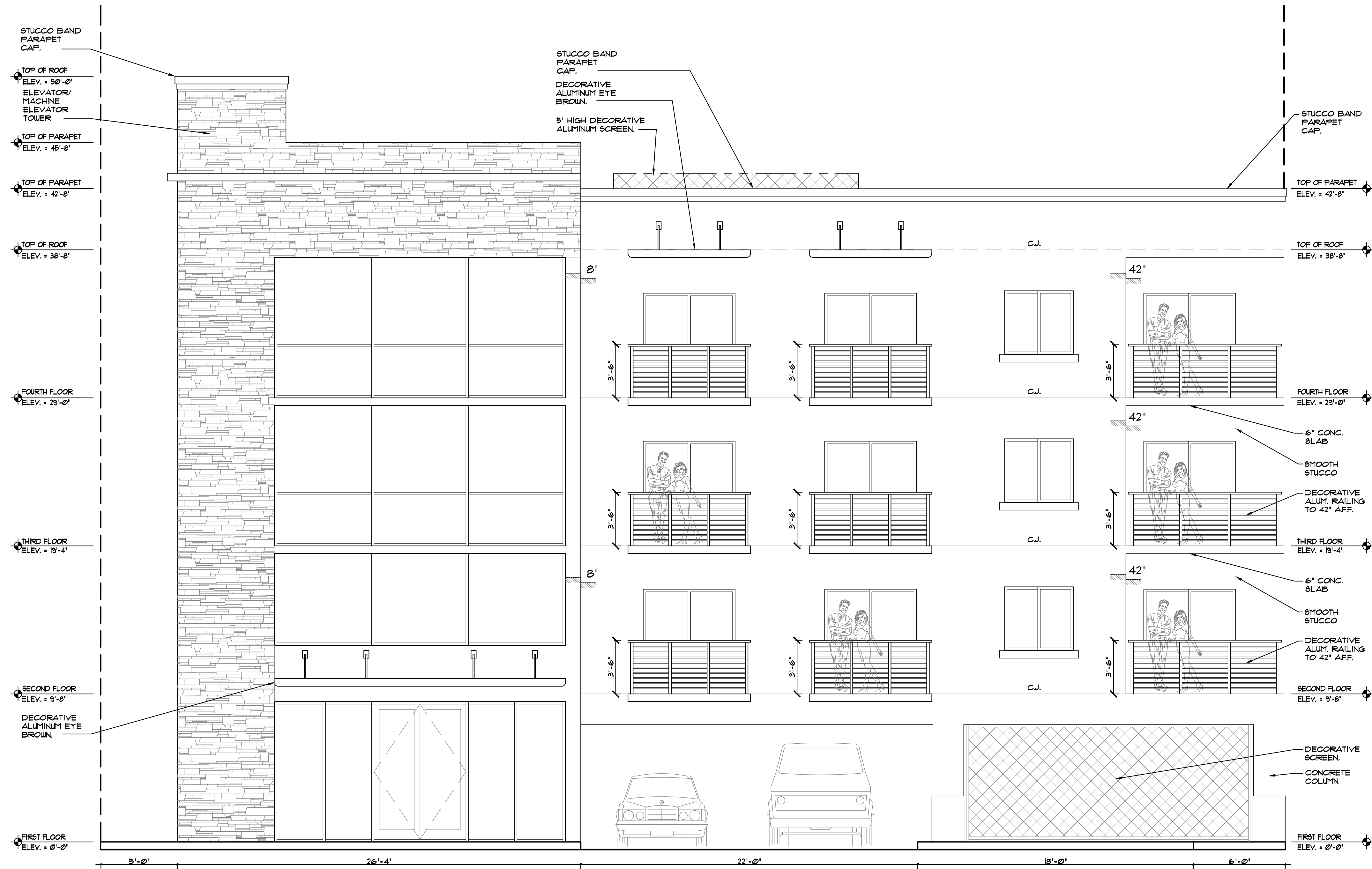
REVISION:	BY:
1	6/18/2018
2	T.A.C.
	CC

PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.
1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

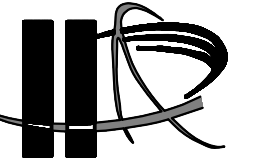
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OF SHEETS



1 NORTH ELEVATION (ROOSEVELT STREET)
SCALE: 1/4"=1'-0"



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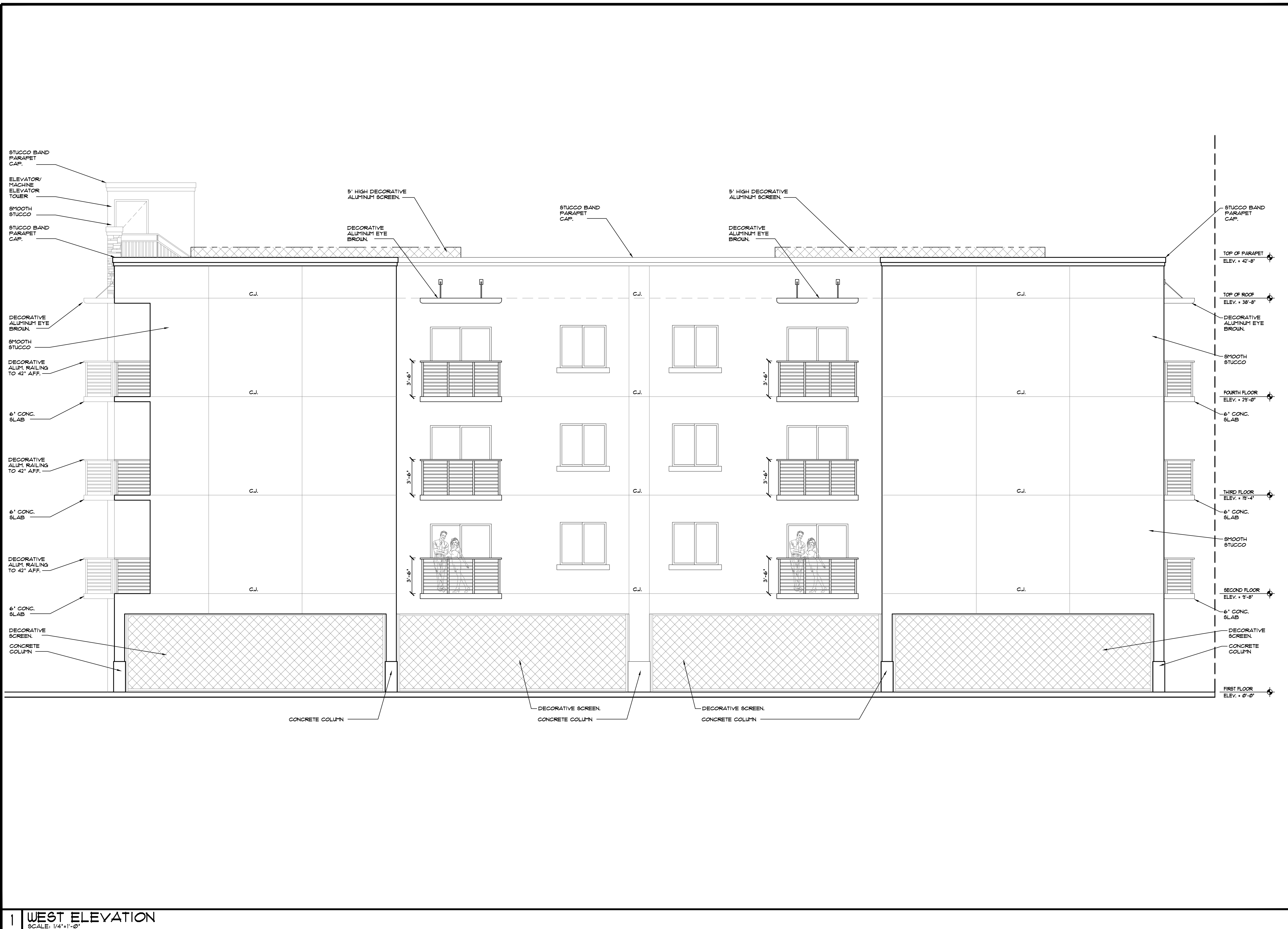
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PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.
1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

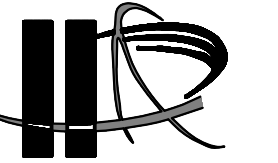
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DATE	03/21/18
SCALE	AS NOTED
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SHEET	

A-2.3
OF SHEETS



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



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1	6/18/2018 T.A.C.
2	CC

PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.

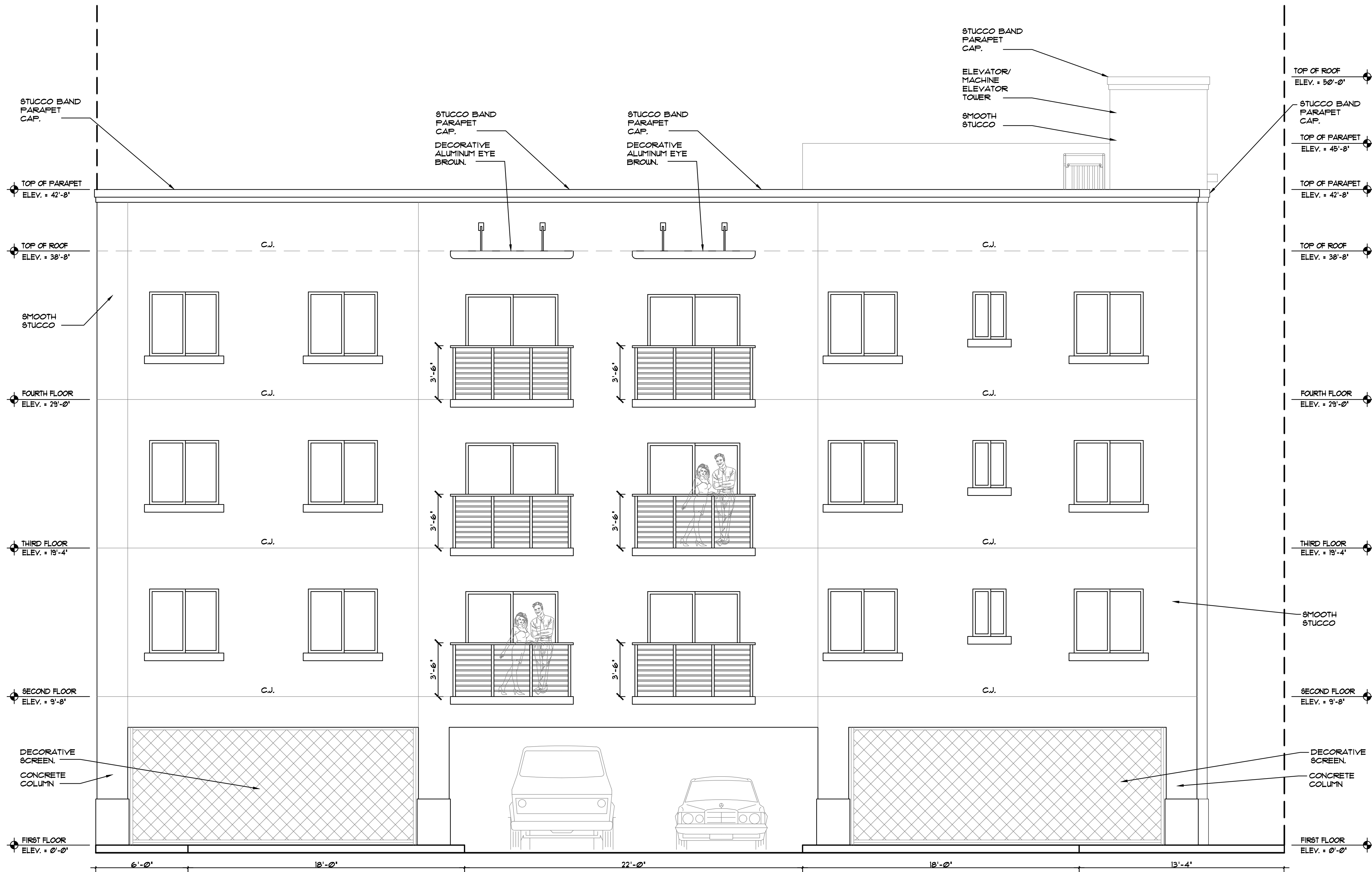
1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

SEAL: AR 0017852
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CHECKED	LLR
DATE	03/27/18
SCALE	AS NOTED
JOB. NO.	018-008
SHEET	

A-2.4

OF SHEETS



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



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REVISION:	BY:
1	CC
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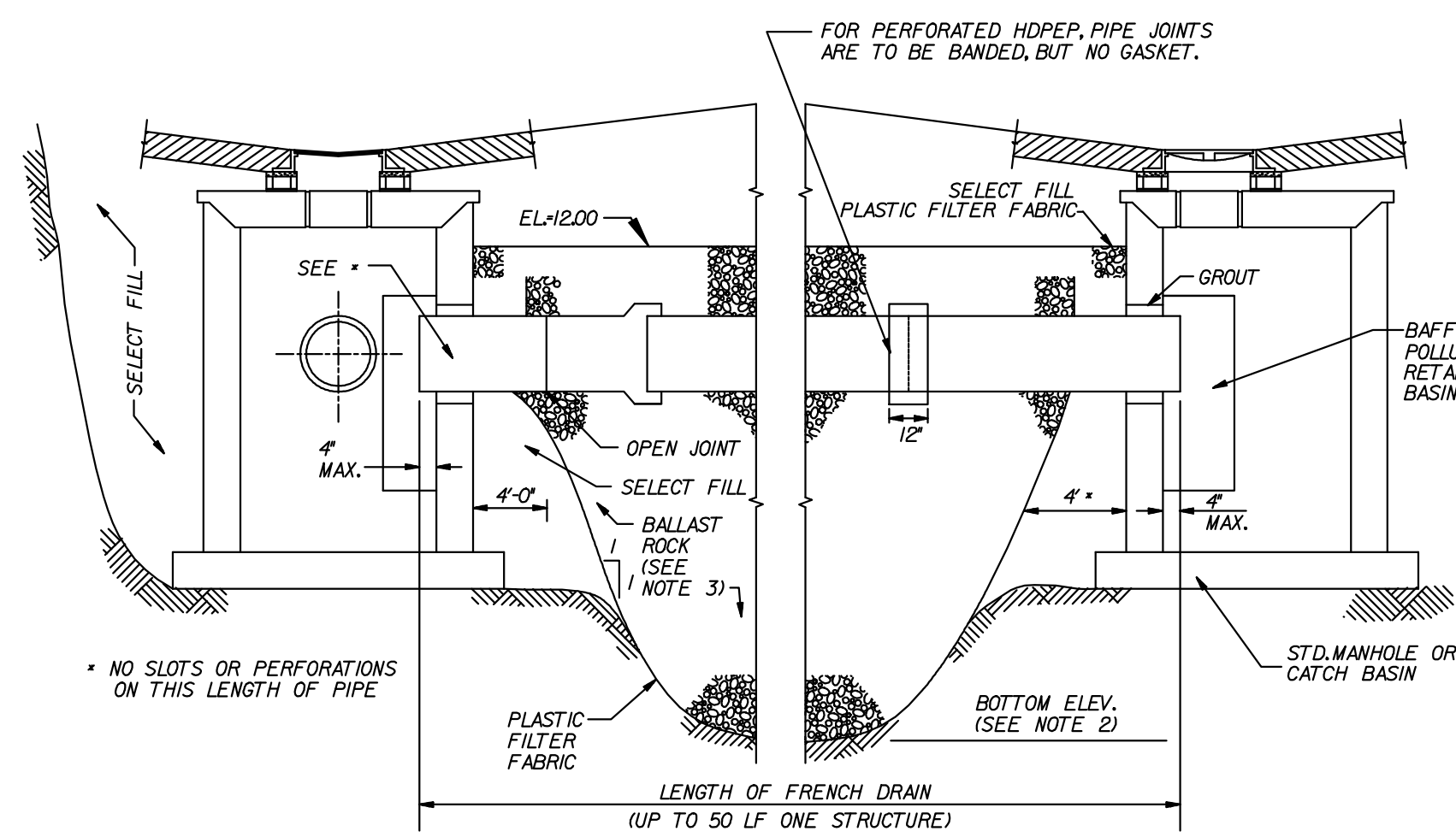
PROPOSED MULTI FAMILY DEVELOPMENT FOR:
 XLT INVESTMENT CORP.
 1812 ROOSEVELT STREET
 HOLLYWOOD, FL 33020

SEAL: AR 0017852
 LUIS LA ROSA

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C-1.1

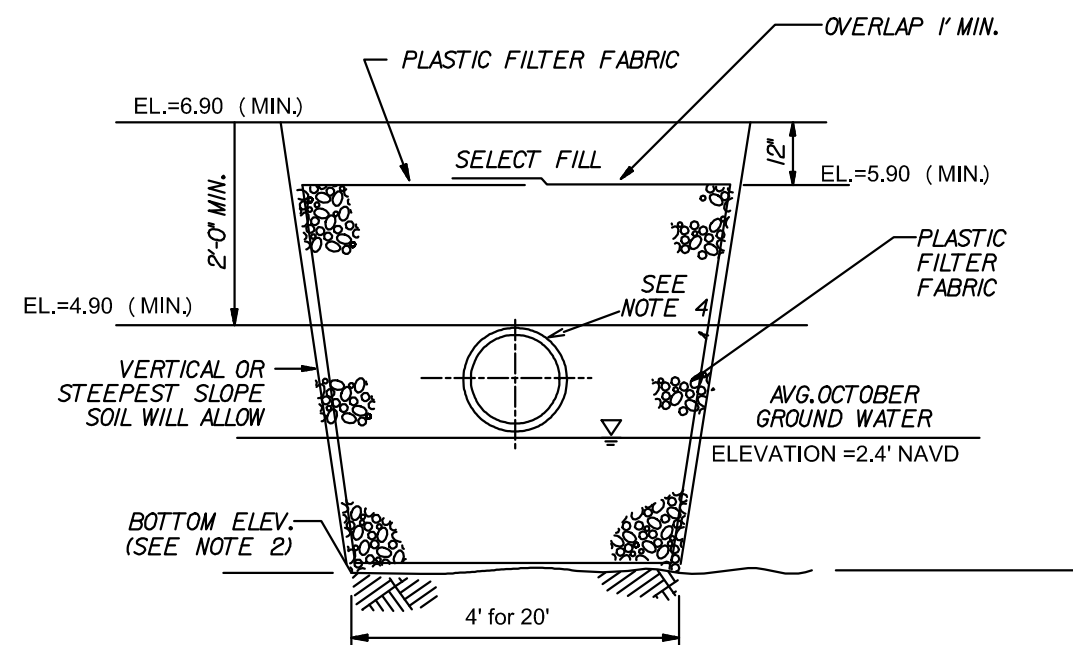
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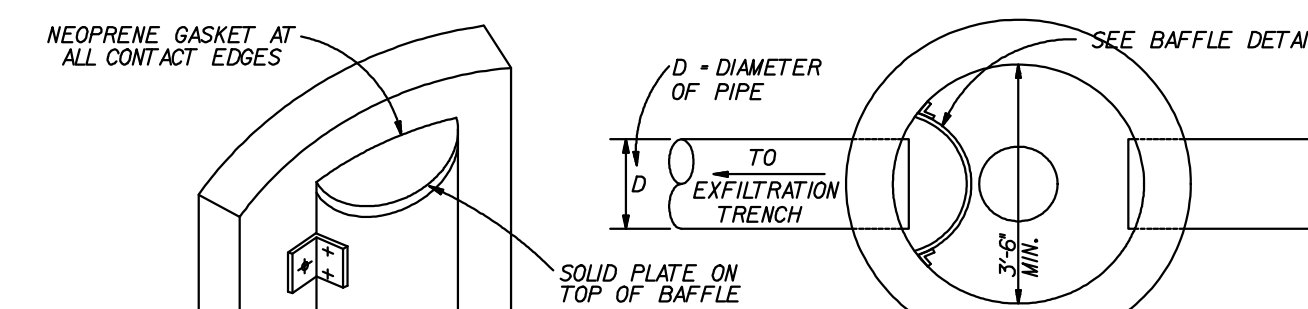
LONGITUDINAL SECTION

NOTES:

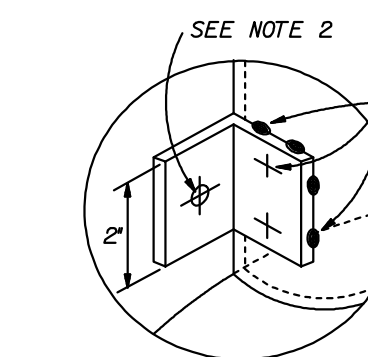
1. PLASTIC FILTER FABRIC (AT EACH TOP & BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
 2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 4. INVERT ELEVATION TO BE ABOVE AVERAGE OCTOBER GROUND WATER LEVEL OF 2.00' NAVD AS SHOWN IN W.C.2.2.
 5. PLUG STUB PIPES WITH 1/2" GALV. STEEL MESH OR ALUM. WIRE MESH (OVER END OF PIPE)
- NOTE: IF THIS DETAIL IS TO BE USED FOR PRETREATMENT OF STORMWATER RUN-OFF, THE INVERT OF PIPE TO BE AS SHOWN IN W.C.2.2; IF PRETREATMENT HAS BEEN PROVIDED THROUGH OTHER MEANS, THE INVERT OF PIPE CAN BE LOWER THAN SHOWN IN W.C.2.2.



TRANSVERSE SECTION



BAFFLE DETAIL



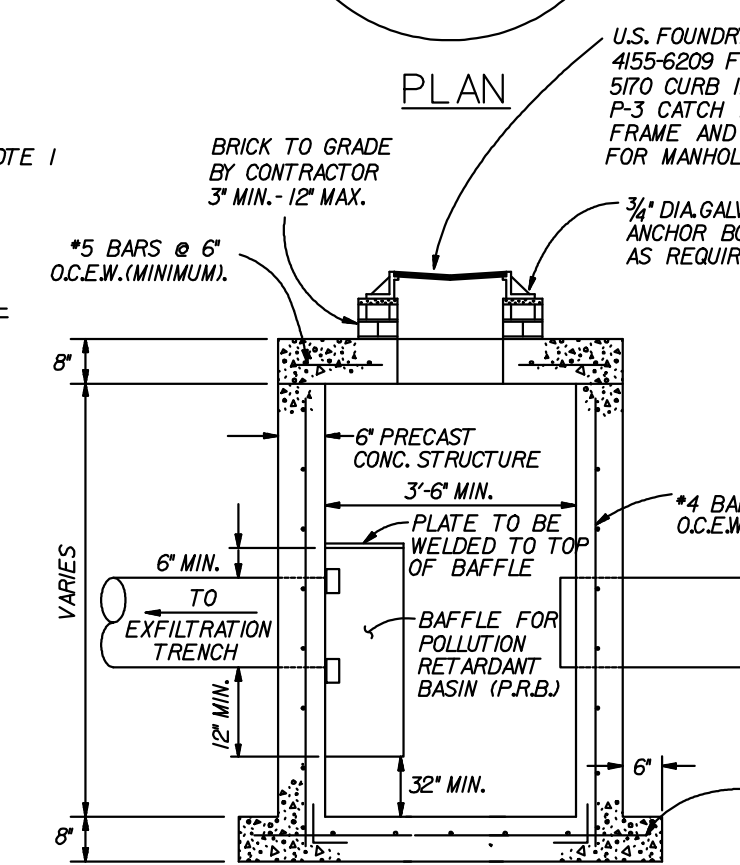
BRACKET DETAIL

NOTES FOR P.R.B. BASIN

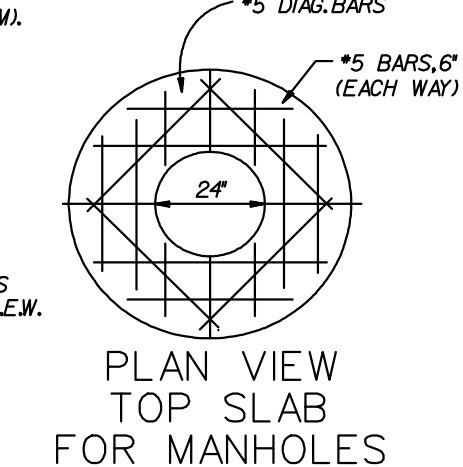
1. BAFFLE TO BE A SECTION OF CMP CUT IN HALF. CMP PIPE FOR BAFFLE SHALL BE TWICE THE SIZE OF THE OUTFALL PIPE.
2. 1/2" GALVANIZED LAG BOLT IN LEAD SHIELD (TYP)
3. WELD OR 2 - 1/2" THRU BOLTS (ISS.)
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.

NOTES:

1. CAST TOP SLAB TO FIT WALL WIDTH.
2. PIPES MAY EXTEND INTO CATCH BASIN A MAXIMUM OF 4'.
3. MAXIMUM OPENING FOR PIPE SHALL BE MAX. REQUIRED O.D. - 6'.
4. USE 4000 PSI CONCRETE (MINIMUM)
5. FOR CATCH BASINS WITH TWO BAFFLES, USE A MINIMUM 54" ROUND OR SQUARE STRUCTURE WITH 8" THICK WALLS.



PLAN VIEW TOP SLAB FOR CATCH BASIN



PLAN VIEW TOP SLAB FOR MANHOLES

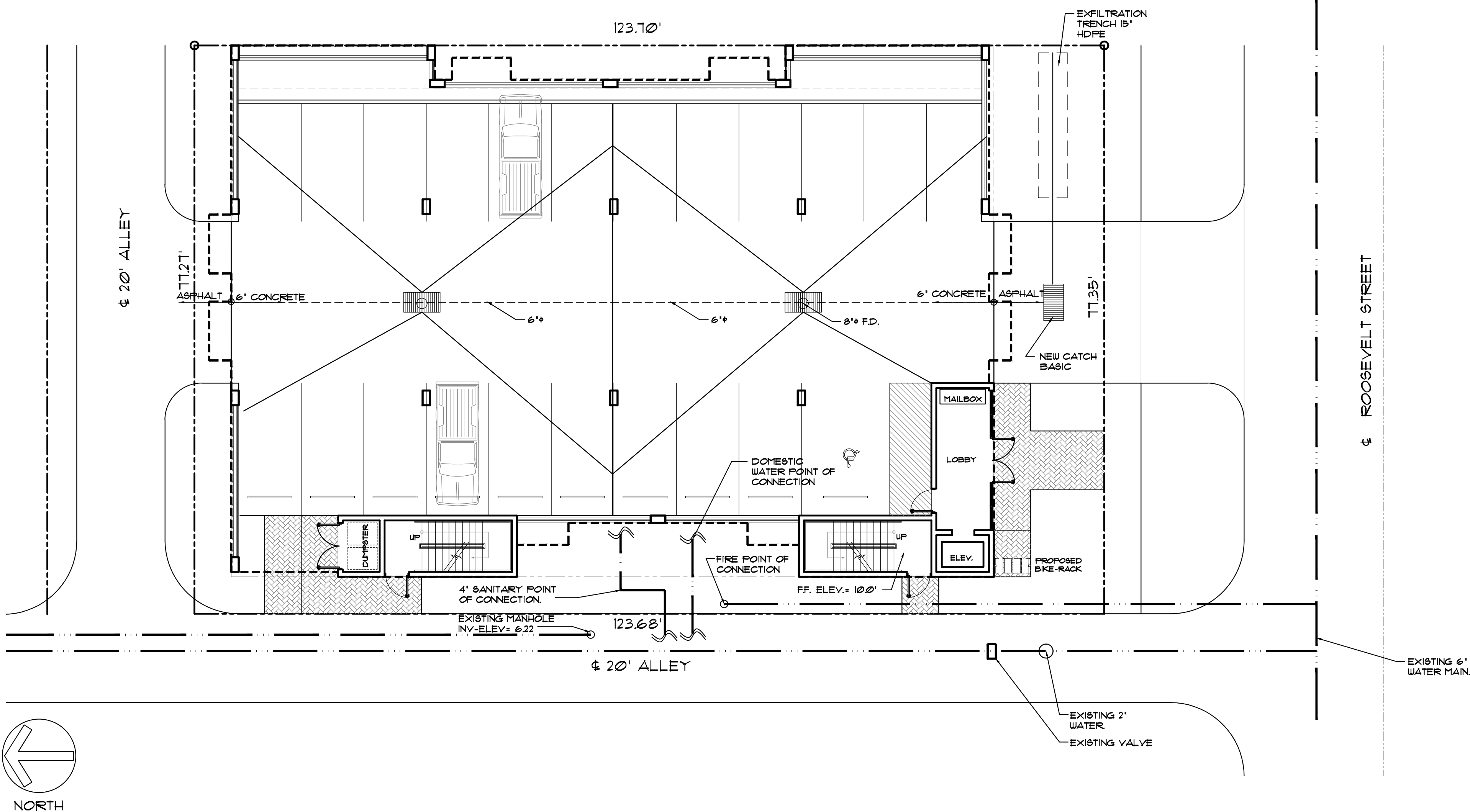
GENERAL NOTES

1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES. PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS, THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
2. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES:
 - FLORIDA POWER AND LIGHT COMPANY
 - BELL SOUTH
 - MIAMI-DADE WATER & SEWER DEPARTMENT
 - MIAMI TCI CABLEVISION
 - PEOPLE'S GAS SYSTEM, INC.
 - MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT
 - FLORIDA DEPARTMENT OF TRANSPORTATION
4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929
5. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO WASH AND DADE COUNTY FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.
7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FPPL, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.
8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.
10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE DADE COUNTY PRIOR TO COMMENCING WORK.
11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.
12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.



1 PROPOSED PAVING, GRADING, WATER & SEWER PLAN
 SCALE: 1"=10'-0"

ZONING DISTRICTS PR-MIXED USE
 LOT AREA = 9,557 SF. .21 ACRES
 PERVIOUS AREA PROVIDED = 2,550 SF. (26.6%)
 VUA = 1,056 SF.
 TOTAL IMPERVIOUS 7,007 SF. (73.4%)

LANDSCAPE REQUIREMENTS:
 LOTS WITH A WIDTH GREATER THAN 50' SHALL PROVIDE
 25% OF THE VUA IN LANDSCAPING
 6,240 SF. OF VUA X .25 = 1,560 SF. REQUIRED
 PROVIDED = 1,560 SF

PERIMETER LANDSCAPE:
 (1) STREET TREE PER 30LF.
 ROOSEVELT ST. 78/30 = 3 REQUIRED
 EXISTING = 2

BUFFERS:
 5' WIDE (1) TREE PER 20 LF.
 NORTH: 78/20 = 4 REQUIRED
 PROPOSED = 4
 SOUTH: 78/20 = 4 REQUIRED
 PROPOSED = 4
 WEST: N/A
 EAST: 124/20 = 6 REQUIRED
 PROPOSED = 3

ON LOT REQUIREMENTS:
 (1) TREE PER 1,000 SF. OF PERVIOUS LOT AREA
 PERVIOUS AREA 2,550 /1,000 = 3 TREES REQUIRED
 PROPOSED = 2

TOTAL TREES REQUIRED ON SITE = 20
 PROPOSED = 15 TREES/PALMS
 NATIVES TREES REQUIRED 60% = 12
 PROPOSED NATIVES = 4

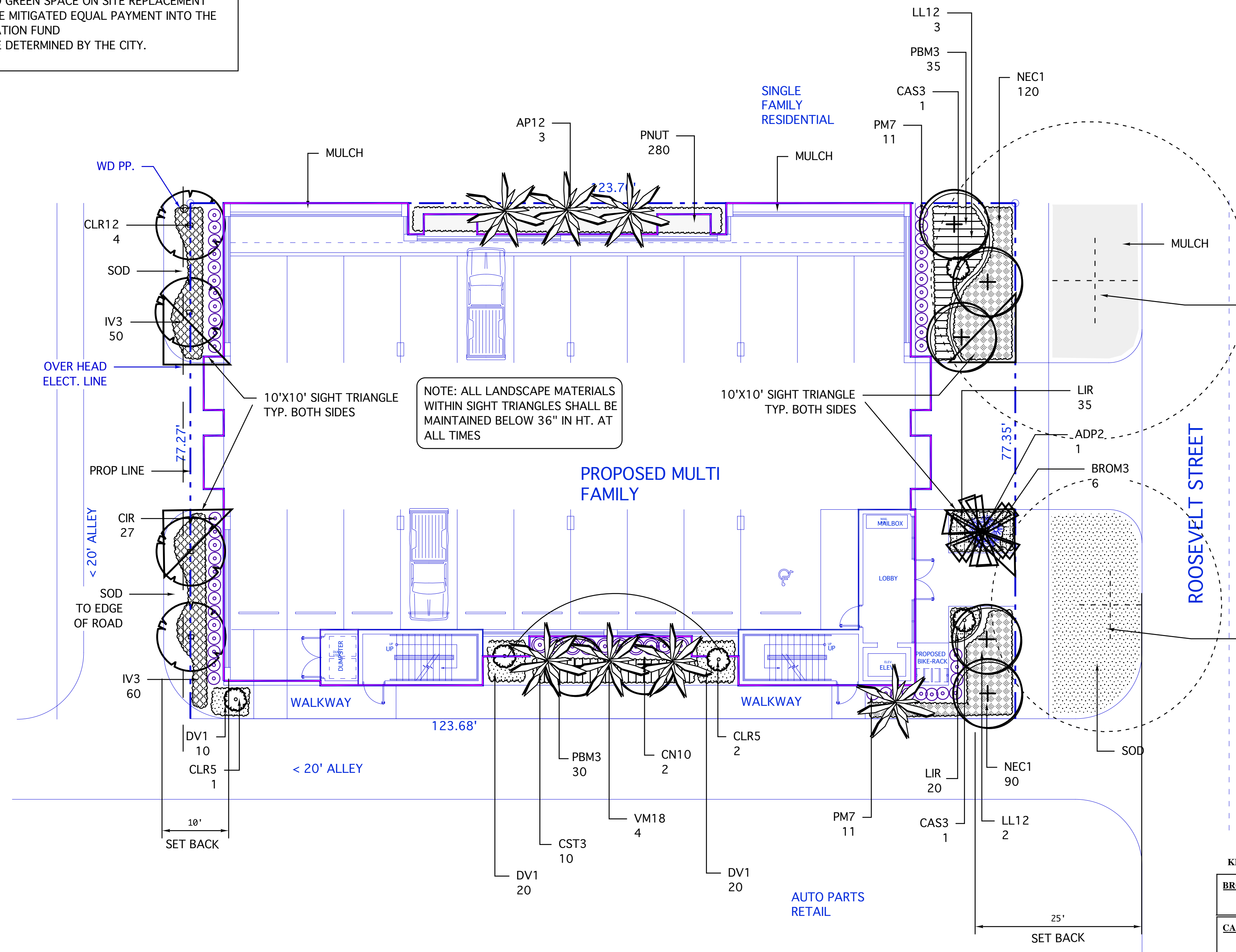
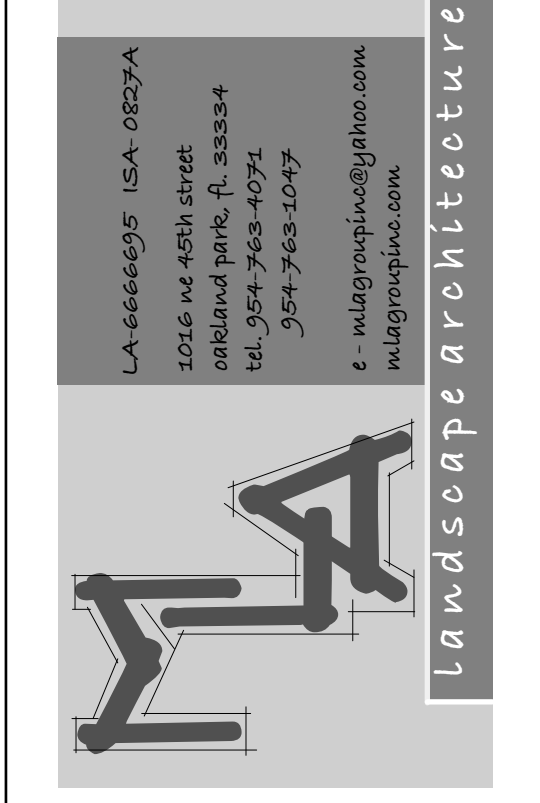
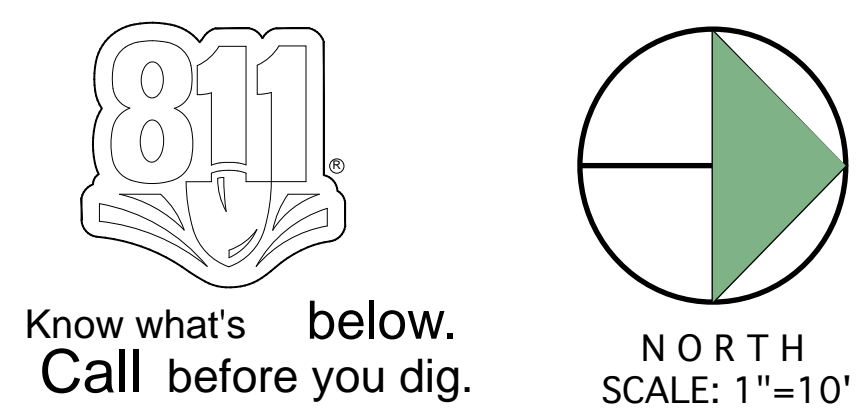
TOTAL SHRUBS PROVIDED = 693
 NATIVE SHRUBS REQUIRED 346 (50%)
 PROPOSED NATIVE SHRUBS = 350

NOTE: AN IRRIGATION PLAN SHALL BE PROVIDED AT TIME OF PERMIT SUBMITTAL.

TREE MITIGATION DATA:

TREES REMOVED = 7 (164")

DUE TO LIMITED GREEN SPACE ON SITE REPLACEMENT TREES SHALL BE MITIGATED EQUAL PAYMENT INTO THE TREE PRESERVATION FUND VALUE SHALL BE DETERMINED BY THE CITY.



HEAVY SURFACE ROOT ZONE MULCH ONLY

MULCH ONLY OVER LARGE SURFACE ROOTS

EXISTING TREES TO REMAIN SHALL BE CORRECTIVELY PRUNED PER ANSI-300 STD'S. ALL PRUNING SHALL BE SUPERVISED BY A CERTIFIED ARBORIST

MASTER PLANT LIST

KEY	PLANT NAME	SPECIFICATION	QUANTITY
BROM3	BROMELIADS IMPERIALIS	7 GAL. SUN OR SHADE, AS NEEDED HIGH DROUGHT TOLERANCE	6
CAS3	CRINUM ASIATICUM CRINUM LILLY, QUEEN EMMA PURPLE	36" X 30" O.A. 5 PPP MIN. HIGH DROUGHT TOLERANCE	2
CIR	CHRYSOBALANUS ICACO COCOPLOM HEDGE	24" X 24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	27
CLR6	CLUSIA ROSEA PITCH APPLE	6' X 4' SPR. ACCENT SHRUB NATIVE HIGH DROUGHT TOLERANCE	2
CST3	CODIAEUM SHOESTRING CROTON	36" X 24" 24" O.C. HIGH DROUGHT TOLERANCE	10
DV1	DIETES IRIDIODES AFRICAN IRIS	12" FULL TO POT 15" O.C. HIGH DROUGHT TOLERANCE	50
LIR	LIRIOPE MUSCARI GREEN LIRIOPE	1 GAL FULL 6-SBIBS MIN 9" O.C. MED DROUGHT TOLERANT	55
NEC1	NEPHROLEPIS EXALTATA "COMPACTA" BOSTON FERN	1 GAL. 12" X 12" 12"-15" O.C. NATIVE LOW DROUGHT TOLERANCE	210
PBM3	PHILODENDRON SELLOUM BURLE MARX	12" X 15" 18" O.C. MEDIUM DROUGHT TOLERANCE	65
PM7	PODOCARPUS MACROPHYLLA YEW PODOCARPUS	36" X 24" SPR. 24" O.C. HIGH DROUGHT TOLERANCE	22
PNTUT	ARACHIS GLABRATA BENTH PERENNIAL PEANUT	1 GAL. SPACE 6-8" O.C. HIGH DROUGHT TOLERANCE	280
SOD	ST. AUGUSTINE FLORITAM	CONTRACTOR TO VERIFY QUANTITY SHADE/SUN	
IV3	ILEX SCHELLINGS DWF ILEX	10" X 10" 12"-15" O.C. NATIVE, HIGH DROUGHT TOLERANCE	110

MASTER PLANT LIST

KEY	PLANT NAME	SPECIFICATION	QUANTITY
LL12	LIGUSTRUM LUCIDUM TREE LIGUSTRUM	12' X 6' SPR. B&B MULTI-STEM-MIN. MATCHED 5' CT. NO CROSSING BRANCHES HIGH DROUGHT TOLERANCE	5
AP12	PTYCHOSPERMA ELEGANS ALEXANDRA PALM	8' CT., 3" DBH. MIN. MATCH HTS. B&B HIGH DROUGHT TOLERANCE	3
CLR12	CLUSIA ROSEA PITCH APPLE / SIGNATURE TREE	12' X 6' SPR. B&B 2.5" DBH. 4.5' CT. NATIVE, HIGH DROUGHT TOLERANCE	4
ADP2	VEITCHIA MERILLII ADONIDIA PALM	6'-8' CT DBL. TRUNKS 3" DBH. MIN. HIGH DROUGHT TOLERANCE	1
VM18	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	5'-10' CT. STAGGER HTS. SINGLE TRUNK, B&B, FG HIGH DROUGHT TOLERANCE	4
CN10	CASSIA NEMOPHOLIA DESERT CASSIA	10' X 5' SPR. 1.5" CAL. 4' CT. HIGH DROUGHT TOLERANCE	2

CONTRACTOR SHALL DO TAKE OFF FROM PLANTING PLANS.
 CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS OR CHANGES IN DESIGN.

NOTES:

MULCH ALL LANDSCAPE AREAS WITH GRADE B OR BETTER NON CYPRESS NON COLORED BLEND MULCH. ALL EXISTING LANDSCAPE MATERIALS IN POOR CONDITION OR MISSING AT TIME OF C.O. SHALL BE REPLACED WITH SAME SPECIES AND SIZE.

REFER TO SHEET L-3 FOR LANDSCAPE DETAILS AND SPECIFICATIONS
 REFER TO SHEET L-2 FOR EXISTING TREE INVENTORY

CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST SHOULD A DISCREPANCY OCCUR.

CONTRACTOR SHALL NOTIFY THE CITY LANDSCAPE REVIEWER PRIOR TO ANY CHANGES IN APPROVED LANDSCAPE MATERIALS

ALL LANDSCAPE WORK SHALL MEET THE MIN. REQUIREMENTS PER THE CITY OF HOLLYWOOD LANDSCAPE CODE.

IRRIGATION DESIGN AND SPECIFICATIONS SHALL BE PROVIDED AT TIME OF PERMIT.

REVISIONS:

SHEET TITLE:
LANDSCAPE PLAN

PROJECT:
MULTIFAMILY DEVELOPMENT
 XLT INVESTMENT CORP.
 1812 ROOSEVELT ST. HOLLYWOOD, FL.

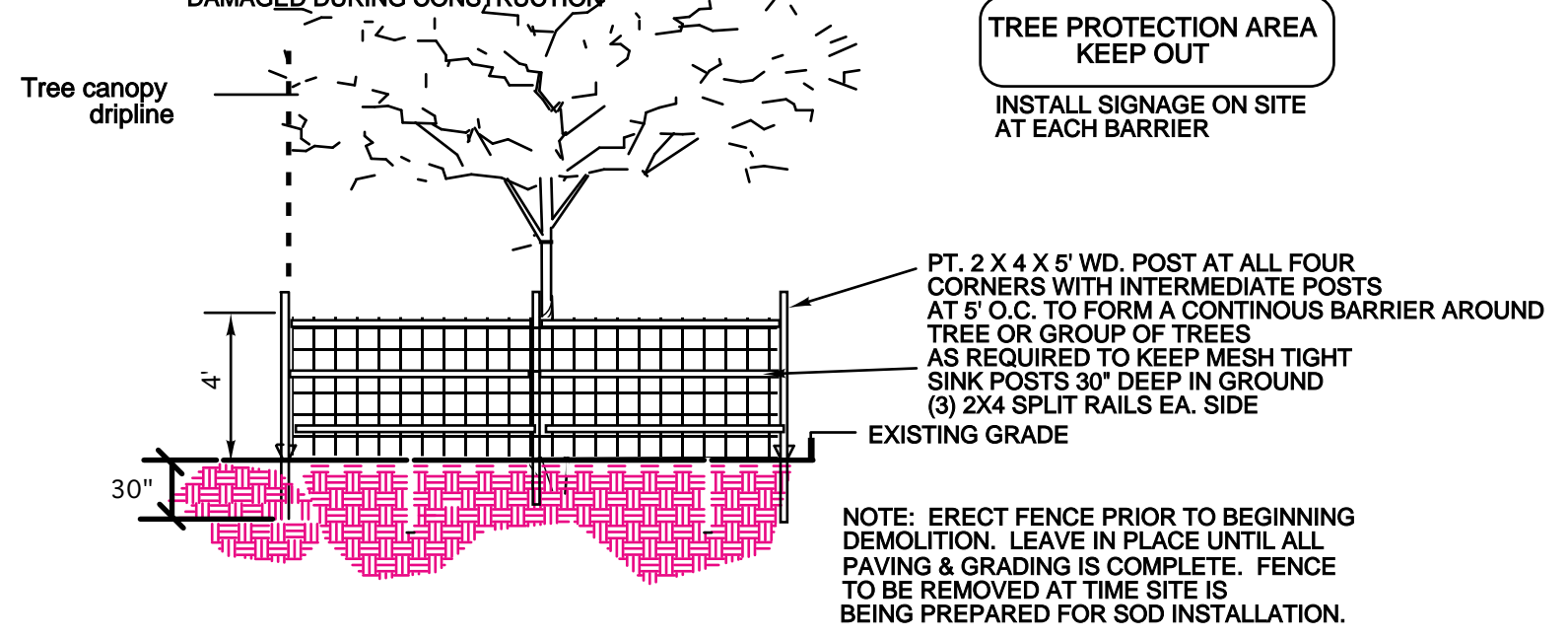
TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF M&A Group, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME. © M&A Group Inc.

SCALE: 1"=10'

DATE DRAWN: 5-30-18

SHEET NO.
L-1
 of-3

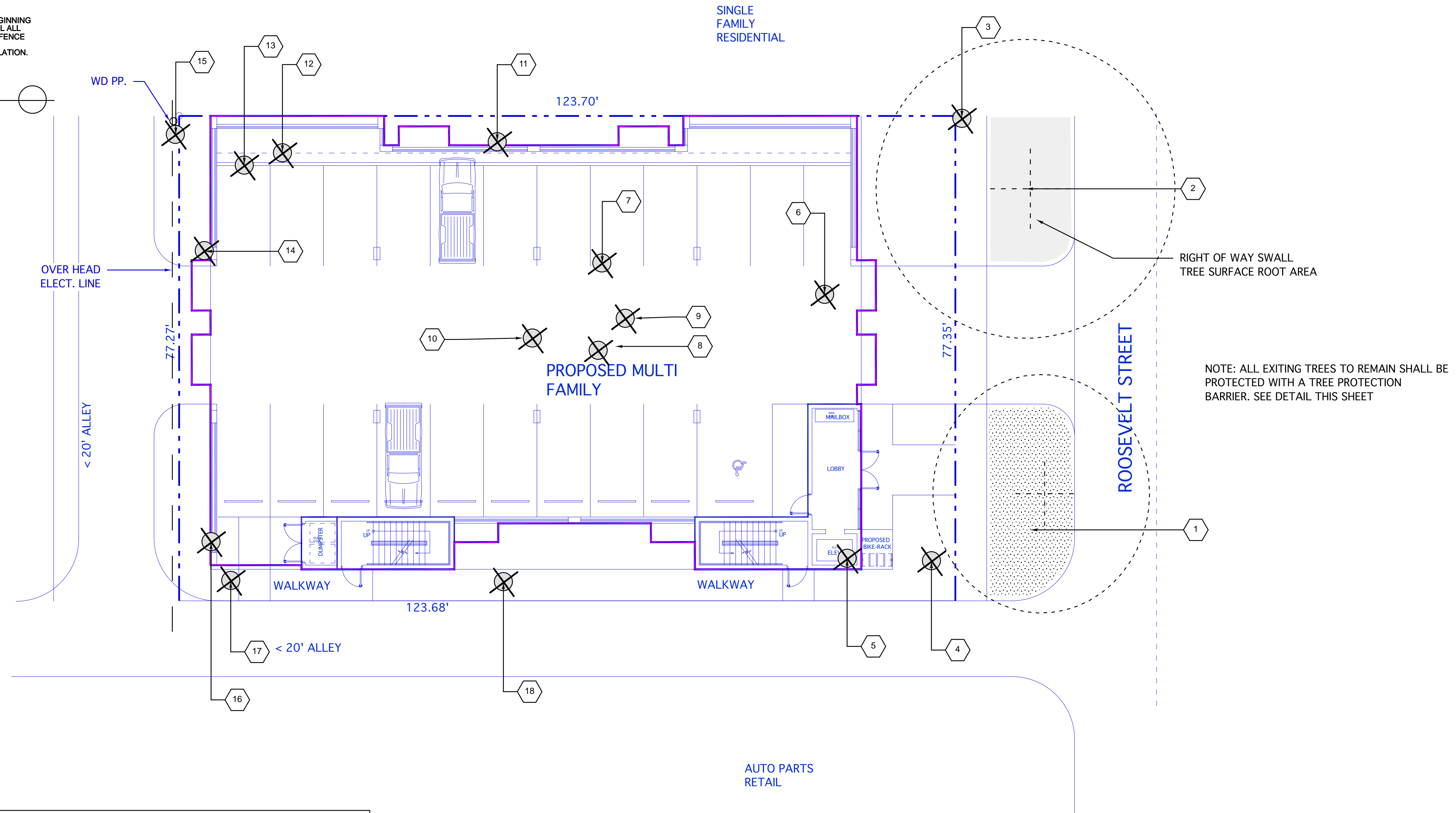
NOTE: TREE PROTECTION BARRIER SHALL BE INSTALLED ON ALL TREES TO REMAIN ON SITE. PRIOR TO STARTING WORK ON SITE. BARRIER SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED. CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.



TREE PROTECTION AREA KEEP OUT
INSTALL SIGNAGE ON SITE AT EACH BARRIER

NOTE: ERECT FENCE PRIOR TO BEGINNING DEMOLITION. LEAVE IN PLACE UNTIL ALL PAVING & GRADING IS COMPLETE. FENCE TO BE REMOVED AT TIME SITE IS BEING PREPARED FOR SOD INSTALLATION.

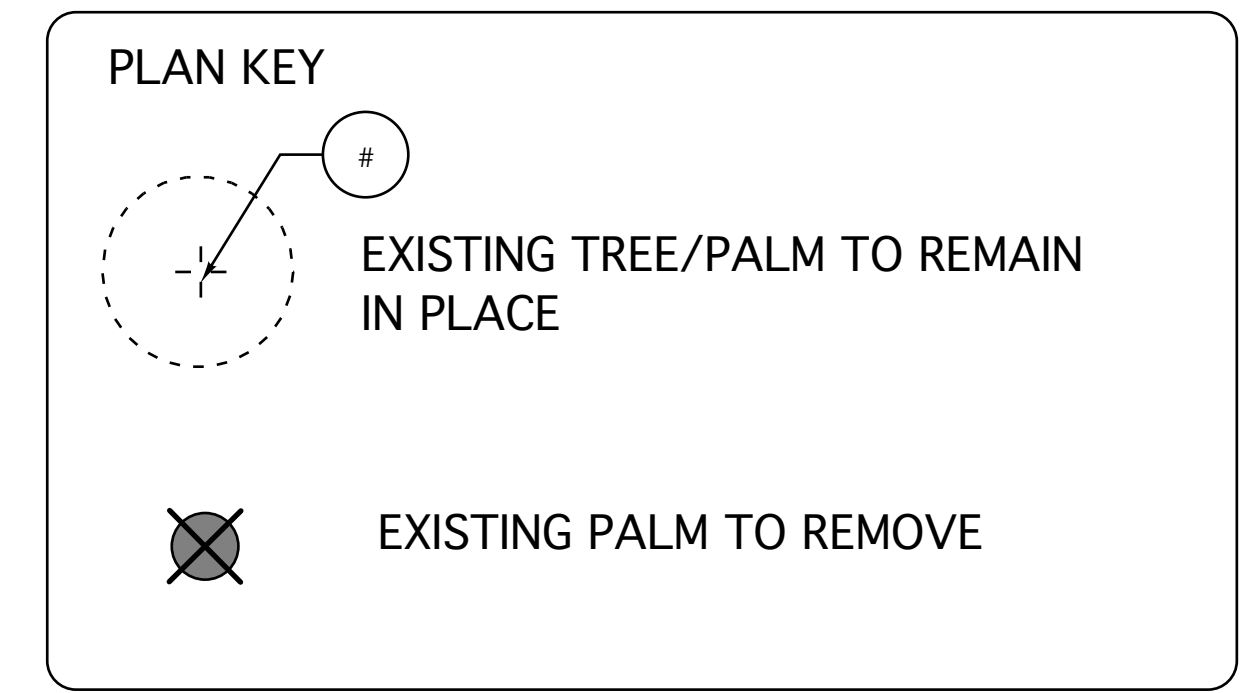
TREE PROTECTION/TEMPORARY BARRIER DETAIL
NOT TO SCALE



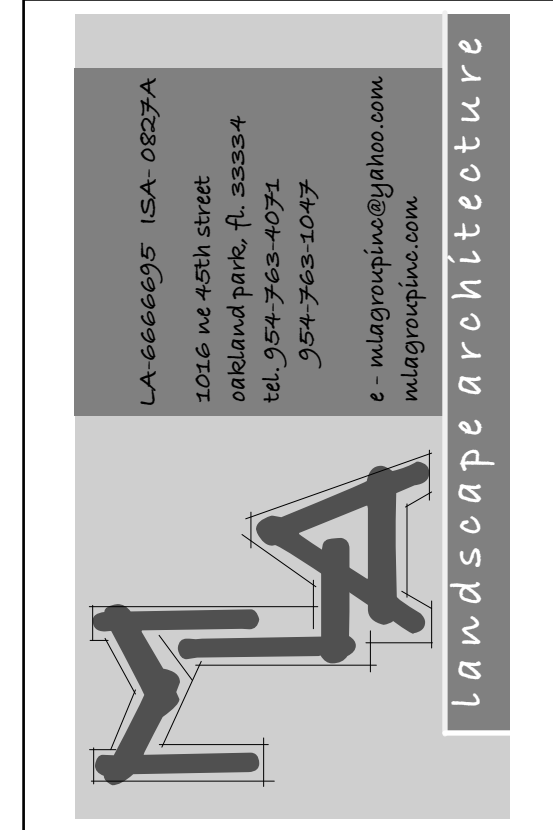
NOTE: ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH A TREE PROTECTION BARRIER. SEE DETAIL THIS SHEET

EXISTING TREE INVENTORY LIST				
TREE NO.	BOTANICAL NAME	COMMON NAME	SIZE (DBH. HT.X SPR.)	DISPOSITION
1.	BUCIDA BUSERAS	BLACK OLIVE	22" DBH. 35'X42'	70% REMAIN IN RIGHT OF WAY
2.	BUCIDA BUSERAS	BLACK OLIVE	36" DBH. 40'X45'	74% REMAIN IN RIGHT OF WAY
3.	VEITCHIA MERELLII	CHRISTMAS PALM	12' CT. LEANING	65% REMOVE /MITIGATE
4.	BUCIDA BUSERAS	BLACK OLIVE	16" DBH. 30'X35'	60% REMOVE/MITIGATE
5.	BUCIDA BUSERAS	BLACK OLIVE	34" DBH. 30'X45'	68% REMOVE/MITIGATE
6.	BURSERIA SIMARUBA	GUMBO LIMBO	16" DBH. 25'X25'	75% REMOVE/MITIGATE
7.	BURSERIA SIMARUBA	GUMBO LIMBO	24" DBH. 40'X35'	68% REMOVE/MITIGATE
8.	VEITCHIA MERELLII	CHRISTMAS PALM	12'-16' CT. CLUSTER	78% REMOVE/MITIGATE
9.	VEITCHIA MERELLII	CHRISTMAS PALM	14' CT.	78% REMOVE/MITIGATE
10.	VEITCHIA MERELLII	CHRISTMAS PALM	14' CT.	78% REMOVE/MITIGATE
11.	AVACADO SPP.	AVACADO	28" DBH.	60% REMOVE
12.	BURSERIA SIMARUBA	GUMBO LIMBO	8" 18'X12'	80% REMOVE/MITIGATE
13.	DYPSIS LUTESCENS	ARECA PALM	10' OA. CLUMP	78% REMOVE
14.	SABAL PALMETTO	CABBAGE PALM	3' CT. 10' OA.	70% REMOVE
15.	BURSERIA SIMARUBA	GUMBO LIMBO	4" DBH. 14'X10'	60% REMOVE/MITIGATE
16.	SCHEFFLERA	UMBRELLA TREE	3" DBH. 12'X9'	65% REMOVE
17.	BURSERIA SIMARUBA	GUMBO LIMBO	10" DBH. 14'X15'	80% REMOVE/MITIGATE
18.	SWIETENIA MACROPHYLLA	MAHOGANY	24" DBH. 40'X35'	55% REMOVE/MITIGATE

TREE MITIGATION DATA:
TREES REMOVED =7 (164")
DUE TO LIMITED GREEN SPACE ON SITE REPLACEMENT TREES SHALL BE MITIGATED EQUAL PAYMENT INTO THE TREE PRESERVATION FUND VALUE SHAL BE DETERMINED BY THE CITY.



NOTE: NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT ISSUED BY THE CITY OF HOLLYWOOD



REVISIONS:

SHEET TITLE:
EXISTING TREE DISPOSITION PLAN

PROJECT:
PROPOSED 4 UNIT TOWNHOMES FOR MADISON STREET LLC
MADISON STREET LLC
1700 MADISON STREET
HOLLYWOOD, FLORIDA

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SEAL:

SCALE: 1"=10'

DATE DRAWN: 5-30-18

SHEET NO.

L-2

