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CITY OF HOLLYWOOD  
PLANNING AND DEVELOPMENT BOARD  
RESOLUTION NO. 19-CDPVM-61

A RESOLUTION OF THE CITY OF HOLLYWOOD PLANNING AND DEVELOPMENT BOARD CONSIDERING A REQUEST FOR VARIANCES, DESIGN AND SITE PLAN APPROVAL, FOR A MIXED-USE DEVELOPMENT CONSISTING OF 324 RESIDENTIAL UNITS AND APPROXIMATELY 30,000 SQUARE FEET OF RETAIL SPACE (SOLESTE) FOR THE PROPERTY LOCATED AT 2001 HOLLYWOOD BOULEVARD AS MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A", PURSUANT TO THE PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Planning and Development Board (the "Board") is charged with, among other things, the responsibility of considering requests for variances, design, special exceptions and site plan approval; and

WHEREAS, the Board is duly empowered to grant variances, special exceptions, and design approvals in accordance with the guidelines and procedures found in Section 5.3 of the City's Zoning and Land Development Regulations and site plan approval pursuant to Article 6 of the Zoning and Land Development Regulations; and

WHEREAS, The Estate Companies, SunTrust Office Building, LLC. and Suntrust Office Parking Lot, LLC. (collectively "Applicants"), have applied for Variances, Design and Site Plan approval for a mixed-use development consisting of 324 residential units and approximately 30,000 square feet of retail space located at 2001 Hollywood Boulevard, as more particularly described in the attached Exhibit "A"; and

WHEREAS, the Planning Manager and Principal Planner ("Staff"), following an analysis of the application and its associated documents have determined that the proposed request for a Variance for the waiver of seven feet of the required 10 feet setback on the north façade to allow for a 3 foot setback along Tyler Street which will allow for an arcade which will tie into the existing sidewalk allowing or an open pedestrian walkway, does meet the criteria set forth in Section 5.3 F.1. a. through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variance be approved; and

WHEREAS, the Planning Manager and Principal Planner ("Staff"), following an analysis of the application and its associated documents have determined that the proposed request for a Variance for the waiver of five feet of the required 5 foot setback at the south alley to allow for a 0 foot setback, does meet the criteria set forth in Section 5.3 F.1. a. through d. of the Zoning and Land Development Regulations, criteria e. is not applicable, and have therefore recommended that the Variance be approved; and

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WHEREAS, the Planning Manager and Principal Planner, following analysis of the application and its associated documents, has determined that the proposed request for Design approval meets the applicable criteria set forth in Section 5.3.1.4. of the Zoning and Land Development Regulations and have therefore recommended approval of the Design; and

WHEREAS, the Technical Advisory Committee, following an analysis of the application and its associated documents, have determined that the proposed request for Site Plan approval does meet the review standards set forth in Article 6 of the Zoning and Land Development Regulations and have therefore recommended approval with the following conditions:

(1) That, the Applicants shall submit a Unity of Title or Unity of Control, in a form acceptable to the City Attorney, prior to the issuance of permits and recorded by the City in the Public Records of Broward County prior to the issuance of a Certificate of Occupancy or Certificate of Completion; and

(2) That, the Applicants shall ensure that all plumbing, mechanical and electrical fixtures and equipment, including backflow preventer, are screened from the public right-of-way; and

(3) That, the Applicants shall continue to work with the Engineering Division on the alley vacation, specifically, the area shown on the vacation and easements plan provided during TAC and establishing easements of such area along with a corner radius for trash trucks turning movements.

; and

WHEREAS, on June 8, 2021, the Board met and held an advertised public hearing to consider the Applicants' requests; and

WHEREAS, the Board reviewed the application for the two Variances and determined the following:

(1) As to the Variance request to waive seven feet of the required 10 feet setback on the north façade to allow for a 3 foot along Tyler Street to allow an arcade which will tie into the existing sidewalk allowing for an open pedestrian walkway, the Variance request does meet the criteria set forth in Section 5.3.F.1. of the Zoning and Land Development Regulation and made the following findings:

- a) That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as they affect the stability and appearance of the City;

- b) That the requested Variance is otherwise compatible with the surrounding land uses and would be detrimental to the community;
- c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City;
- d) That the need for the requested Variance is not economically based or self-imposed; and
- e) Since the Board finds that criteria a. through d. have been met, then criteria e. is not applicable.

(2) As to the Variance request to waive 5 feet of the required 5 foot setback to allow for a 0 foot setback at the south alley, the Variance request does meet the criteria set forth in Section 5.3.F.1. of the Zoning and Land Development Regulation and made the following findings:

- a) That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as they affect the stability and appearance of the City;
- b) That the requested Variance is otherwise compatible with the surrounding land uses and would be detrimental to the community;
- c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City;
- d) That the need for the requested Variance is not economically based or self-imposed; and
- e) Since the Board finds that criteria a. through d. have been met, then criteria e. is not applicable.

; and

WHEREAS, the Board reviewed the application and the Department of Development Services Planning and Urban Design Division staff report and recommendations for the Design approval, considered the following criteria pursuant to

Section 5.3.1.4.a. (1) through (4) of the City's Zoning and Land Development Regulations and have determined that the following criteria have been met:

- (1) The Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The Design should consider architectural elements that are characteristic of the surrounding neighborhood.
- (2) Compatibility. The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.
- (3) Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings.
- (4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

; and

WHEREAS, the Board reviewed the application and the Department of Development Services Planning and Urban Design Division staff report and the Technical Advisory Committee's recommendation for the Site Plan approval with conditions, and considered the Site Plan review standards set forth in Article 6 of the Zoning and Land Developments and found that the Site Plan requirements have been met.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND DEVELOPMENT BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the foregoing "WHEREAS" clauses are ratified and confirmed as being true and correct and are incorporated in this Resolution.

Section 2: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing, and the consideration of the criteria listed herein for approving/denying the requested Variance for the property located at 2001 Hollywood Boulevard as more specifically described in the attached Exhibit "A", to waive

seven feet of the required 10 foot setback of the subject property to allow for a 3 foot setback along Tyler Street, the Board finds that the necessary criteria have been met, and the requested Variance is hereby **approved**.

Section 3: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, and all submitted written and oral testimony received during the public hearing, and the consideration of the criteria listed herein for approving/denying the requested Variance for the property located at 2001 Hollywood Boulevard as more specifically described in the attached Exhibit "A", to waive 5 feet of the required 5 foot setback on the south alley of the subject property, the Board finds that the necessary criteria have been met, and the requested Variance is hereby **approved**.

Section 4: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Design criteria set forth herein for approving/denying the requested Design for the mixed-used development consisting of 324 residential units and 30,000 sq. ft. of retail space for the property located at 2001 Hollywood Boulevard, the Board finds that the necessary criteria have been met, and the Design is hereby **approved**.

Section 5: That, following review of the Staff Summary Report, the Applicant's application and supporting documents and materials, all submitted written and oral testimony received during the public hearing from all parties and speakers, and the consideration of the Site Plan review standards set forth in Article 6 of the Zoning and Land Development Regulations, the Board finds that the necessary review standards have been met, and Site Plan is hereby **approved with the following conditions:**

(a) That, the Applicants shall submit a Unity of Title or Unity of Control in a form acceptable to the City Attorney, prior to the issuance of building permits and recorded in the Public Records of Broward County by the City, prior to the issuance of a Certificate of Occupancy or a Certificate of Completion; and

(b) That, the Applicants shall ensure that all plumbing, mechanical and electrical fixtures and equipment, including backflow preventer, are screened from the public right-of-way; and

(c) That, the Applicants shall continue to work with the Engineering Division on the alley vacation, specifically, the area shown on the vacation and easements plan provided during TAC and establishing easements of such area along with a corner radius for trash trucks turning movements.

Section 6: That all Variances shall become null and void unless the Applicants have applied for all applicable building or other permits(s) or license(s) within 24 months of the Board's approval. Said 24 months shall commence upon passage and adoption of this Resolution.

Section 7: That the Applicants shall have up to 24 months from the date of this Design approval to apply for all necessary building permits required to proceed with construction. Failure to submit an application within the require time period shall render all approvals null and void.

Section 8: That the Applicants shall have up to 24 months from the date of Site Plan approval to apply for a valid construction permit. Failure to submit an application within the require time period shall render all approvals null and void.

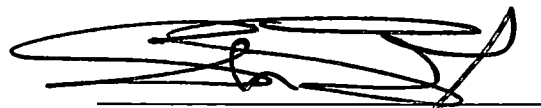
Section 9: That the Department of Development Services Planning and Urban Design Division is hereby directed to forward a copy of this resolution to the Applicant/Owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the Public Records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 8th DAY OF JUNE, 2021.

RENDERED THIS 28<sup>th</sup> DAY OF JUNE, 2021.

ATTEST:

  
KENNETH CRAWFORD, SECRETARY

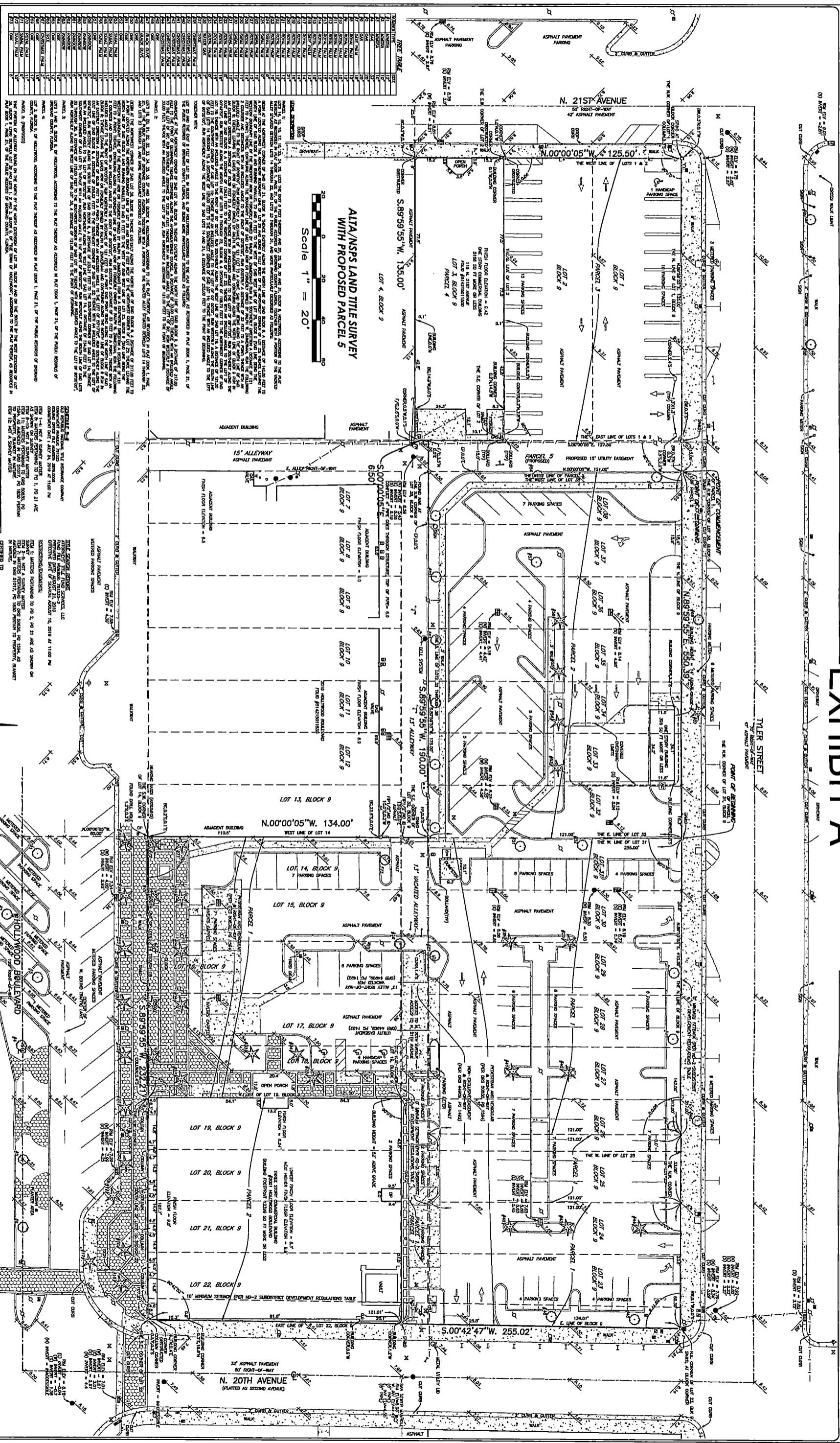
  
SHANNON STOUGH, CHAIR

APPROVED AS TO FORM & LEGAL SUFFICIENCY for the use reliance of the Planning and Development Board of the City of Hollywood, Florida, only.

  
DEBRA- ANN REESE, BOARD COUNSEL



EXHIBIT A



NO.	DESCRIPTION	AREA	REMARKS
1	LOT 1, BLOCK 9	125.50' x 135.00'	...
2	LOT 2, BLOCK 9	125.50' x 135.00'	...
3	LOT 3, BLOCK 9	125.50' x 135.00'	...
4	LOT 4, BLOCK 9	125.50' x 135.00'	...
5	LOT 5, BLOCK 9	125.50' x 135.00'	...
6	LOT 6, BLOCK 9	125.50' x 135.00'	...
7	LOT 7, BLOCK 9	125.50' x 135.00'	...
8	LOT 8, BLOCK 9	125.50' x 135.00'	...
9	LOT 9, BLOCK 9	125.50' x 135.00'	...
10	LOT 10, BLOCK 9	125.50' x 135.00'	...
11	LOT 11, BLOCK 9	125.50' x 135.00'	...
12	LOT 12, BLOCK 9	125.50' x 135.00'	...
13	LOT 13, BLOCK 9	125.50' x 135.00'	...
14	LOT 14, BLOCK 9	125.50' x 135.00'	...
15	LOT 15, BLOCK 9	125.50' x 135.00'	...
16	LOT 16, BLOCK 9	125.50' x 135.00'	...
17	LOT 17, BLOCK 9	125.50' x 135.00'	...
18	LOT 18, BLOCK 9	125.50' x 135.00'	...
19	LOT 19, BLOCK 9	125.50' x 135.00'	...
20	LOT 20, BLOCK 9	125.50' x 135.00'	...
21	LOT 21, BLOCK 9	125.50' x 135.00'	...
22	LOT 22, BLOCK 9	125.50' x 135.00'	...
23	LOT 23, BLOCK 9	125.50' x 135.00'	...
24	LOT 24, BLOCK 9	125.50' x 135.00'	...
25	LOT 25, BLOCK 9	125.50' x 135.00'	...
26	LOT 26, BLOCK 9	125.50' x 135.00'	...
27	LOT 27, BLOCK 9	125.50' x 135.00'	...
28	LOT 28, BLOCK 9	125.50' x 135.00'	...
29	LOT 29, BLOCK 9	125.50' x 135.00'	...
30	LOT 30, BLOCK 9	125.50' x 135.00'	...
31	LOT 31, BLOCK 9	125.50' x 135.00'	...
32	LOT 32, BLOCK 9	125.50' x 135.00'	...

**ALTA/NPSR LAND TITLE SURVEY WITH PROPOSED PARCEL 5**

Scale 1" = 20'

**THE SPECIAL AGENT:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]

**THE RECORDING COMPANY:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]

**THE SURVEYOR:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]

**THE ENGINEER:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]

**THE ARCHITECT:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]

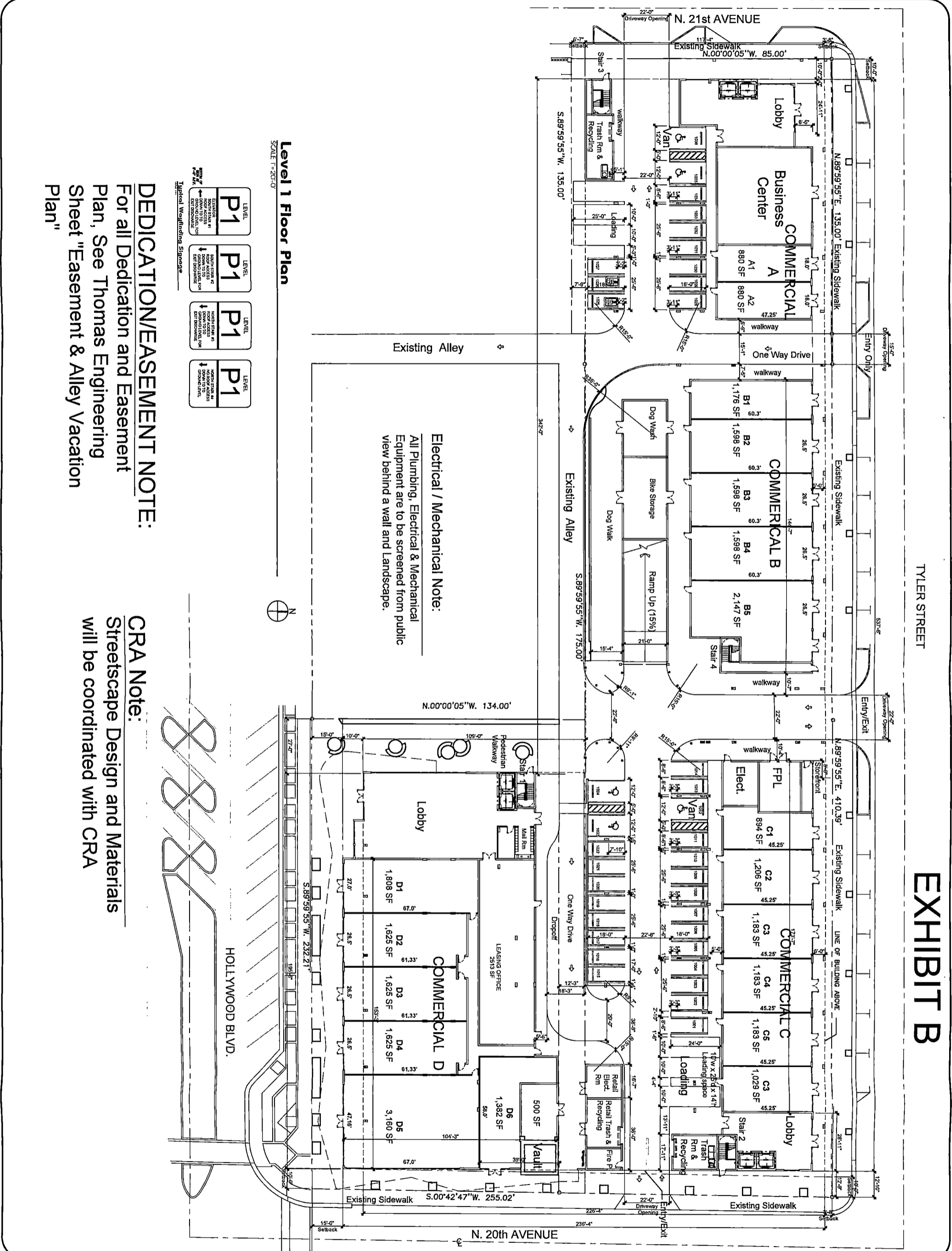
**THE TITLE INSURANCE COMPANY:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]

**THE COUNTY CLERK:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]

**THE RECORDING OFFICE:**  
 ALTA/NPSR LAND TITLE SURVEY, LLC  
 11111 ALLEYWAY, SUITE 100  
 HOUSTON, TEXAS 77036  
 DATE: 08/21/2018  
 BY: [Signature]



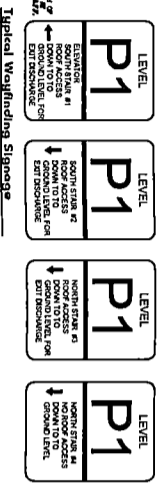
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TYLER STREET

EXHIBIT B

**Level 1 Floor Plan**  
SCALE 1" = 20'-0"



**Electrical / Mechanical Note:**  
All Plumbing, Electrical & Mechanical Equipment are to be screened from public view behind a wall and Landscape.

**DEDICATION/EASEMENT NOTE:**

For all Dedication and Easement Plan, See Thomas Engineering Sheet "Easement & Alley Vacation Plan"

**CRA Note:**

Streetscape Design and Materials will be coordinated with CRA

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**LEVEL 1 FLOOR PLAN**

drawing data:

project number: 419024

drawing scale: As Shown

drawing date: 01/07/2021

phase: Final TAC

sheet number: **A1.00**

revisions:

Updating Units: 01.07.2021

Resubmit: 04.01.2021

ROBERTA M. WORTZELLE, AIA, NCMA, LEED AP BD+C, CEM  
LEASING REPRESENTATIVE | 786.350.1515

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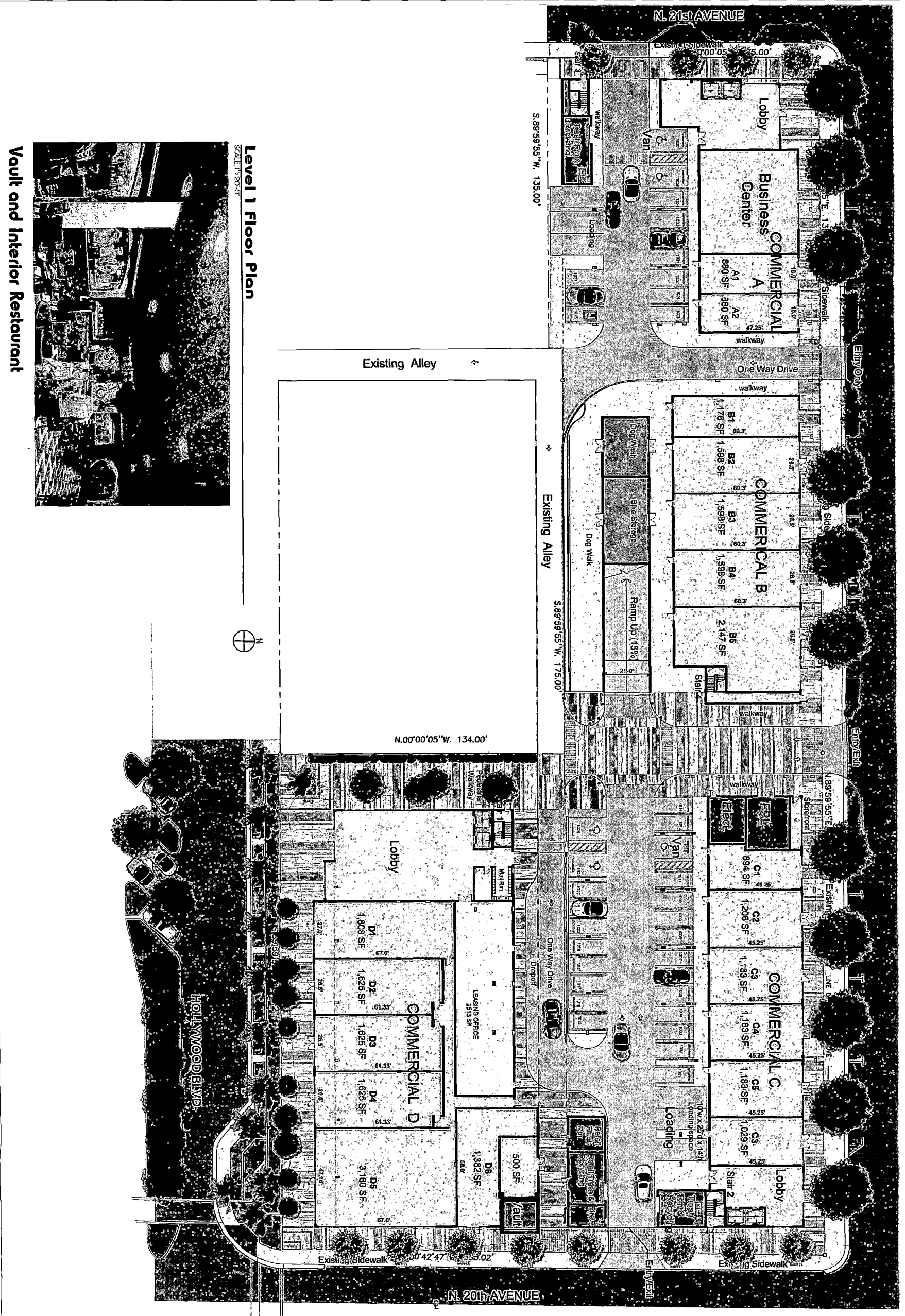
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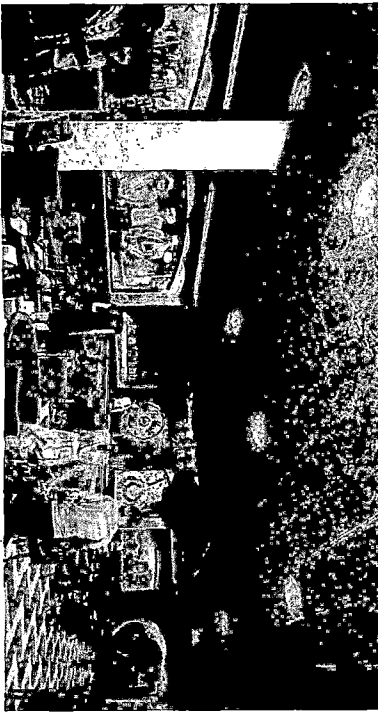
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**EXHIBIT B**



**Level 1 Floor Plan**

SCALE: 1"=20'-0"



**Vault and Interior Restaurant**

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drawing data:

**COLOR SITE PLAN LEVEL 1**

project number: #19024

drawing scale: As Shown

drawing date: 04/20/2020

phase: Final TAC

sheet number: **A1.01c**

revisions:


seal:

ROBERT A. ROBERTS, AIA, NCARB, LEED AP BD+C, CDP  
FLORIDA REGISTERED ARCHITECT # AS 9329

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Description	Required/ Permitted	Proposed
Property Zoning:	ND-3 & RC-2	
Future Land Use	Regional Activity Center	
Lot Area	147,399 sf	3.28 Acres
Gross Lot Area	99,822 sf	2.29 Acres
Net Lot Area	147,399 sf	3.28 Acres
Density		324 Units
FAIR		Proposed
Gross Lot Area	Max F.A.R. (3) 120,233 sf	360,699
RC-2	Max F.A.R. (3) 27,166 sf	81,498
Total		349,331
Imperious & Pervious		37.50%
Imperious	56,278 sf	6.09%
Pervious	8,878 sf	56.41%
Building Area	83,143 sf	100.00%
Total Gross Lot Area	147,399 sf	
Building Height	Max Height 140'-0"	74'-0"
Setbacks	Number of Stories 10 Story	8 Story
Hollywood Blvd	10'-0"	15'-0"
20th Ave	10'-0"	10'-0"
Tyler Street	10'-0"	3'-6"
N. 21st Avenue	10'-0"	10'-0"
Side Interior	0'-0"	26'-6"
Alley	5'-0"	0'-0"

Parking Requirements		Required	Provided
Total Units	324 DU	324 spaces	347 spaces
Visitor	1 sp / 10 Units	32 spaces	35 spaces
Retail	0 SP/DU	0 spaces	87 spaces
Extra Spaces assign to 2 BD Units			
<b>Total Parking</b>		<b>356 Spaces</b>	<b>469 Spaces</b>
<b>Max. Parking Space per Unit</b>		<b>2.5 Space per Unit</b>	<b>1.45 Space per Unit</b>
<b>Parking Per Level</b>			
	Standard	HC	Tandem
Level 1	31	5 (2 Van)	0
Level 2	167	2	28
Level 3	215	2	19
Total Parking Provided	413	9	47
<b>Total Parking Provided</b>		<b>449 Spaces</b>	
<b>Required Loading</b>			
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance			
<b>Retail</b>	25,000 - 59,999 sf = (2) 10'w x 25'L x 14' clear height		
<b>Units</b>	Tower- 50-100 Units + 1 for each addl 100 Units or major Fraction		
Provided:	Retail Space - 29,839 sf = (2)10'w x 25'L x 14' clear height Tower - 347 units - (4)10'w x 25'L x 14' clear height	2 spaces	4 spaces
	<b>Total Loading Space Provided</b>	<b>6 spaces</b>	

Levels	Non-FAR			Total Non-FAR			FAR			Total FAR	Total Gross Area
	Garage	FPL, Elect, Rm, Trash	Amenity Deck	Unit Area	Circulation	Mech/Elect.	Amenities	Retail	Total		
Level 1	27,167 sf	4,505 sf		0 sf	22,269 sf	0 sf	0 sf	29,203 sf	51,471 sf	83,143 sf	
Level 2	69,967 sf	0 sf		9,696 sf	4,823 sf	110 sf	0 sf	0 sf	14,429 sf	84,396 sf	
Level 3	69,967 sf	0 sf		9,696 sf	4,823 sf	110 sf	0 sf	0 sf	14,429 sf	84,396 sf	
Level 4	0 sf	0 sf	30,399 sf	35,723 sf	8,690 sf	795 sf	0 sf	0 sf	54,007 sf	84,396 sf	
Level 5	0 sf	0 sf	0 sf	44,442 sf	8,690 sf	1,090 sf	0 sf	0 sf	54,222 sf	54,185 sf	
Level 6	0 sf	0 sf	0 sf	44,442 sf	8,690 sf	1,090 sf	0 sf	0 sf	54,222 sf	54,185 sf	
Level 7	0 sf	0 sf	1,856 sf	42,549 sf	8,690 sf	1,090 sf	0 sf	0 sf	52,329 sf	54,185 sf	
Level 8	0 sf	0 sf	1,856 sf	42,549 sf	8,690 sf	1,090 sf	0 sf	0 sf	52,329 sf	54,185 sf	
<b>Total</b>	<b>167,101 sf</b>	<b>4,505 sf</b>	<b>4,505 sf</b>	<b>99,557 sf</b>	<b>74,964 sf</b>	<b>2,095 sf</b>	<b>8,809 sf</b>	<b>29,203 sf</b>	<b>349,331 sf</b>	<b>553,071 sf</b>	

Leasable Area	Tower 1 Unit Area Calculation								Total Units in Tower 1
	Studio	A1 (1bd)	A3 (1bd)	A4 (1-bd+Den)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	B4 (2 bd+Den)	
Balc./Terr.	399 sf	591 sf	608 sf	753 sf	828 sf	1,232 sf	957 sf	1,074 sf	0
Level 1	0	0	0	0	0	0	0	0	14
Level 2	0	8	0	0	6	0	0	0	14
Level 3	0	0	0	0	0	0	0	0	37
Level 4	2	14	4	2	14	1	0	0	39
Level 5	2	16	4	2	14	1	0	0	39
Level 6	2	16	4	2	14	1	0	0	39
Level 7	2	16	4	2	14	1	0	0	39
Level 8	2	17	4	2	11	1	0	0	37
<b>Sub Total</b>	<b>10 Units</b>	<b>95 Units</b>	<b>20 Units</b>	<b>10 Units</b>	<b>79 Units</b>	<b>5 Units</b>	<b>0 Units</b>	<b>0 Units</b>	<b>219 Units</b>

Leasable Area	Tower 2 Unit Area Calculation								Total Units per Floor	Total Area Floor Plate Above 55'0"
	Studio	A1 (1bd)	A3 (1bd)	A4 (1-bd+Den)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	B4 (2 bd+Den)		
Balc./Terr.	414 sf	621 sf	608 sf	753 sf	828 sf	1,210 sf	957 sf	1,074 sf	0	
Level 1	0	0	0	0	0	0	0	0	0	
Level 2	0	0	0	0	0	0	0	0	0	
Level 3	0	0	0	0	0	0	0	0	0	
Level 4	1	4	0	0	6	1	1	1	13	
Level 5	2	6	1	1	10	1	1	1	23	
Level 6	2	6	1	1	10	1	1	1	23	
Level 7	2	6	1	1	10	1	1	1	23	
Level 8	2	6	1	1	10	1	1	1	23	
<b>Sub Total</b>	<b>9 Units</b>	<b>28 Units</b>	<b>4 Units</b>	<b>4 Units</b>	<b>46 Units</b>	<b>4 Units</b>	<b>5 Units</b>	<b>5 Units</b>	<b>105</b>	

Variance	
Required	10'-0"
Proposed	3'-8"
Required	5'-0"
Proposed	0'-0"

# EXHIBIT B

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Florida Corp.  
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**ZONING DATA**

Revisions:  
Updating Units: 01.07.2021  
Resubmit: 324 Units: 04.01.2021

drawing data:  
drawing scale: As Shown  
drawing date: 01/07/2021  
phase: Final TAC  
sheet number: A1.02

# EXHIBIT B

## GENERAL NOTES:

- SEE ENHANCED PLANS FOR FURTHER DIDS AND NOTES.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED UNDER SEPARATE PERMIT AND WILL MEET ZONING AND LAND DEVELOPMENT REGULATIONS.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED UNDER SEPARATE PERMIT AND WILL MEET THE MINIMUM TWO-WAY RADIO COMMUNICATION SIGNAL REQUIREMENTS.
- CONCRETE AND GROUT FLOOR SHALL BE FLUSH WITH SIDEWALK ELEVATION.

## SITE LIGHTING NOTE:

- SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR OVERLY ZONED AREAS. LIGHTS SHALL BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.
- TURN-PIECE LIGHTING ORDNANCE - N/A
- ALL PROPERTY LINES (MINIMUM 0.5)

## GREEN BUILDING PRACTICES:

- PROJECT TO ACHIEVE LEED CERTIFICATION OR GREEN GLOBE CERTIFICATION.
- DOORS INSULATED AND FIRE RATED.
- PROGRAMMABLE THERMOSTATS.
- ENERGY STAR APPLIANCES.
- NEWLY & A/C FILTERS ON ALL A/C UNITS.
- AIR ENERGY EFFICIENT OUTDOOR LIGHTING.
- ALL HOT WATER PIPE INSULATED.
- ONE LOW FLOW SHOWERHEAD.
- SEPARATE ROOM STORAGE AND RESTROOM/CHANGING ROOM.
- SEPARATE RECYCLE CHARGING STATION.
- ROOFING MATERIAL IS ENERGY STAR (COOL ROOF) POSSIBLE 901.9 & 901.10 - THE USE OF LOW-VOC MATERIALS.
- RECYCLE MATERIALS FROM DEMOLITION OF EXISTING STRUCTURES TO THE GREATEST EXTENT POSSIBLE. RECYCLE 60% OF THE GROSS AREA - RECYCLING THE OLD WASTE SHOULD BE SPECIFIED AND REQUIRED BY THE BUILDER. NOBS PRACTICE WE WILL TRACK IT AS REQUIRED BY THE THAT OWNERS CAN WASTE MANAGEMENT.
- OWNERS WILL PROVIDE SHAPE UNDER SINK FOR RECYCLE BIN.

## ELECTRIC VEHICLE CHARGING STATION:

- IN COMPLIANCE WITH CITY ORDINANCES, ELECTRIC CHARGING STATION SHALL BE INSTALLED IN SOUTH/WEST TOWER.
- MINIMALLY THE FOLLOWING SHALL BE INSTALLED:  
 1. ENERGY STAR RATED CHARGING STATION PANEL BOARD TO A LOCATION IN THE GARAGE OR PARKING AREA WITH FULLY FUNCTIONING ELECTRIC VEHICLE CHARGING STATION MAY BE INSTALLED.  
 2. SEE SHEET A1.02

## LEGAL DESCRIPTION

PARCEL 1: LOTS 14, 15, 16, 17, 18, 23, 24, 26, LESS THE EAST 8 FEET THEREOF, AND LOTS 27, 28, 29, 30, AND 31, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT RECORDED IN PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: LOTS 14 THROUGH 31, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGIN AT THE NORTHWEST CORNER OF SAID LOT 15; BLOCK 9; THENCE EASTLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 142.00 FEET TO A POINT WEST OF THE NORTHWEST CORNER OF LOT 25; THENCE LEAVING THE NORTH LINE OF SAID BLOCK 9 AND RUNNING PARALLEL TO AND 8 FEET TO THE WEST OF SAID WEST LINE OF LOT 25; BLOCK 9 (SAID LINE BEING THE WESTERN BOUNDARY OF SAID BLOCK 9, THE NORTH LINE OF SAID BLOCK 9, AND THE WESTERN BOUNDARY OF SAID LOT 25); THENCE CONTINUING ALONG THE BOUNDARY LINE OF SAID LAND NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN, RUN THE FOLLOWING 2 COURSES AND DISTANCES: WITH AN INCLUDED ANGLE TO THE RIGHT OF 87.0700° RUN TO A POINT SOUTH OF SAID POINT BEING ALONG THE NORTH LINE OF SAID BLOCK 9; THENCE LEAVING THE LANDS NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN IN AN EASTERLY DIRECTION A DISTANCE OF 60.38 FEET TO A POINT; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 87.1700° RUN SOUTHERLY ALONG THE EAST LINE OF SAID BLOCK 9, A DISTANCE OF 121.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 22; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 87.0700° RUN 00 FEET TO THE NORTHWEST CORNER OF SAID LOT 15; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 87.0700° RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 14 THROUGH 18, A DISTANCE OF 125.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 14; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 87.0700° OF 255.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:  
 LOT 25 AND THE EAST 8 FEET OF LOT 26, BLOCK 9, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, DESCRIBED AS FOLLOWS:  
 BEGIN AT THE NORTHWEST CORNER OF SAID LOT 26, BLOCK 9; THENCE EASTLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 517.00 FEET TO THE POINT OF BEGINNING.

PARCEL 2: LOTS 19, 20, 21, 22, 23, 24, 25, 35, 36, 37 AND 38, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, DESCRIBED AS FOLLOWS:  
 BEGIN AT THE NORTHWEST CORNER OF SAID LOT 20, BLOCK 9; THENCE EASTLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 517.00 FEET TO THE POINT OF BEGINNING.

PARCEL 3: LOTS 19, 20, 21, 22, 23, 24, 25, 35, 36, 37 AND 38, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, DESCRIBED AS FOLLOWS:  
 BEGIN AT THE NORTHWEST CORNER OF SAID LOT 20, BLOCK 9; THENCE EASTLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 517.00 FEET TO THE POINT OF BEGINNING.

PARCEL 4: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 5: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 6: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

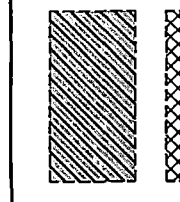
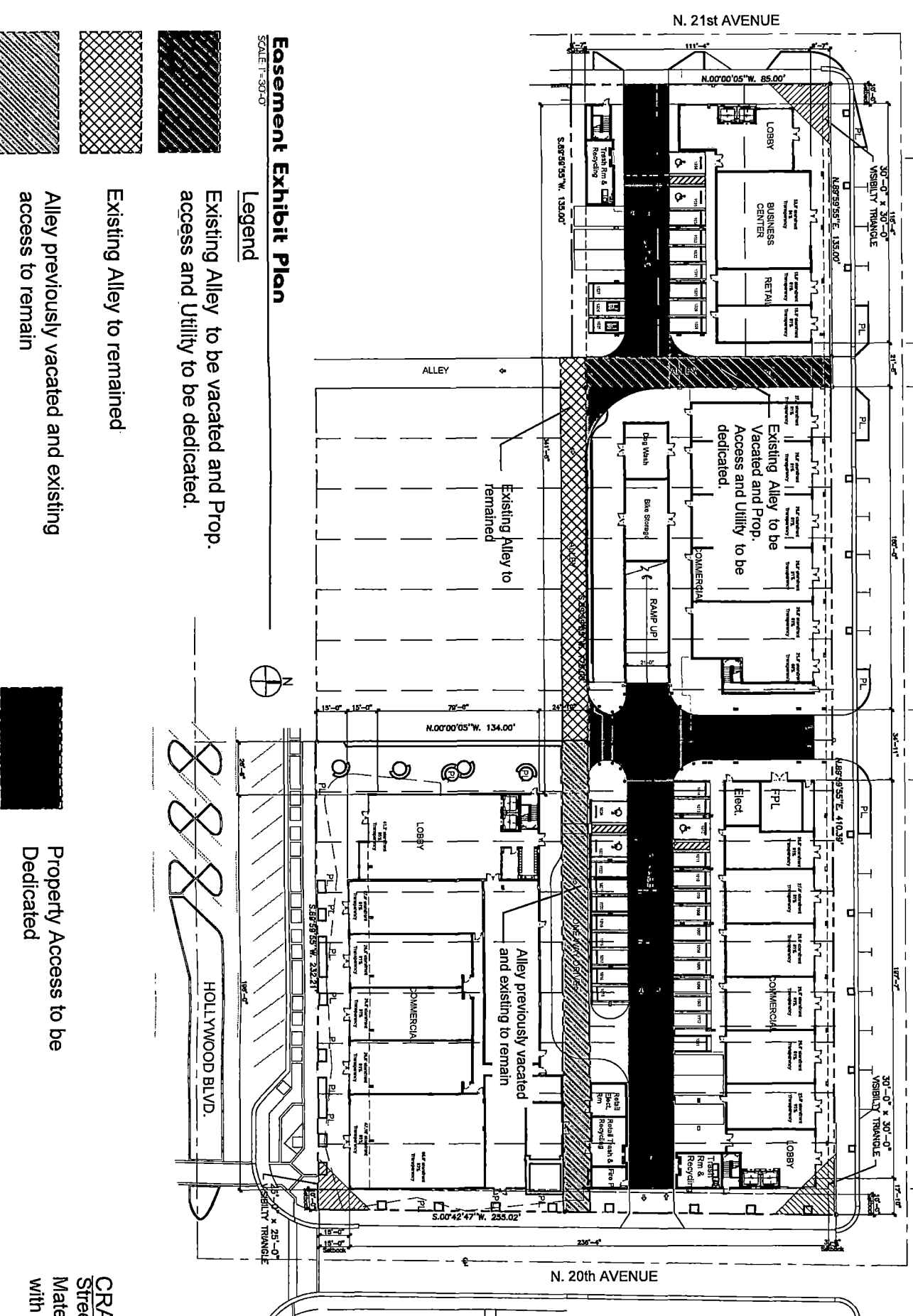
PARCEL 7: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 8: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 9: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 10: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 11: LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



**Easement Exhibit Plan**  
 SCALE 1"=30'-0"

**Legend**

- Existing Alley to be vacated and Prop. access and Utility to be dedicated.
- Existing Alley to remain
- Alley previously vacated and existing access to remain

**CRA Note:**  
 Streetscape Design and Materials will be coordinated with CRA

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**Project Info:**

Project number: #19024

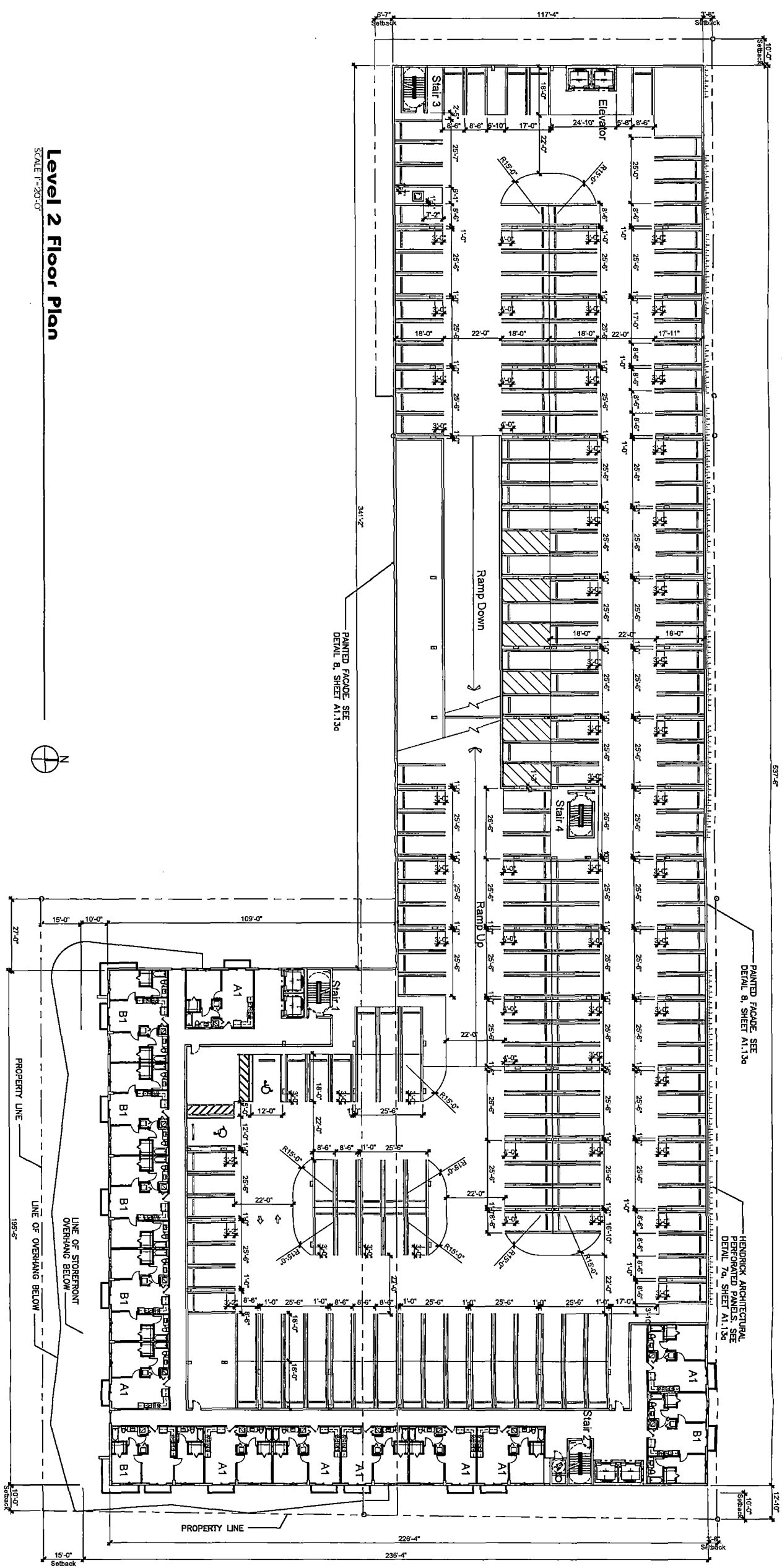
drawing scale: As Shown

drawing date: 01/07/2021

phase: Final TAC

sheet number: **A1.03**

# EXHIBIT B



**Level 2 Floor Plan**  
SCALE 1"=20'-0"

Tower 1 Unit Area Calculation										Tower 2 Unit Area Calculation																																																																																																																																																																																																																																																																																														
Unit Type	Count	Area (sq ft)	Unit Type	Count	Area (sq ft)	Unit Type	Count	Area (sq ft)	Unit Type	Count	Area (sq ft)	Unit Type	Count	Area (sq ft)	Unit Type	Count	Area (sq ft)	Unit Type	Count	Area (sq ft)																																																																																																																																																																																																																																																																																				
Studio	238	2784	A1 (1bh)	81	810	A3 (1bh)	60	600	A4 (1-bd+bn)	70	700	B1 (2-bd)	82	820	B2 (2-bd+bn)	1,222	1,222	B3 (2-bd)	82	820	B4 (2-bd+bn)	1,074	1,074	Total Units per Floor	219	Total Area Floor Plate Above 85'	31,272																																																																																																																																																																																																																																																																													
Level 1	0	0	Level 2	0	0	Level 3	0	0	Level 4	0	0	Level 5	0	0	Level 6	0	0	Level 7	0	0	Level 8	0	0	Sub Total	219	Total Units for Tower 1 & Tower 2	324 DU	Total Area Floor Plate Above 85'	31,272																																																																																																																																																																																																																																																																											
Level 2	0	0	Level 3	0	0	Level 4	0	0	Level 5	0	0	Level 6	0	0	Level 7	0	0	Level 8	0	0	Level 9	0	0	Level 10	0	0	Level 11	0	0	Level 12	0	0	Level 13	0	0	Level 14	0	0	Level 15	0	0	Level 16	0	0	Level 17	0	0	Level 18	0	0	Level 19	0	0	Level 20	0	0	Level 21	0	0	Level 22	0	0	Level 23	0	0	Level 24	0	0	Level 25	0	0	Level 26	0	0	Level 27	0	0	Level 28	0	0	Level 29	0	0	Level 30	0	0	Level 31	0	0	Level 32	0	0	Level 33	0	0	Level 34	0	0	Level 35	0	0	Level 36	0	0	Level 37	0	0	Level 38	0	0	Level 39	0	0	Level 40	0	0	Level 41	0	0	Level 42	0	0	Level 43	0	0	Level 44	0	0	Level 45	0	0	Level 46	0	0	Level 47	0	0	Level 48	0	0	Level 49	0	0	Level 50	0	0	Level 51	0	0	Level 52	0	0	Level 53	0	0	Level 54	0	0	Level 55	0	0	Level 56	0	0	Level 57	0	0	Level 58	0	0	Level 59	0	0	Level 60	0	0	Level 61	0	0	Level 62	0	0	Level 63	0	0	Level 64	0	0	Level 65	0	0	Level 66	0	0	Level 67	0	0	Level 68	0	0	Level 69	0	0	Level 70	0	0	Level 71	0	0	Level 72	0	0	Level 73	0	0	Level 74	0	0	Level 75	0	0	Level 76	0	0	Level 77	0	0	Level 78	0	0	Level 79	0	0	Level 80	0	0	Level 81	0	0	Level 82	0	0	Level 83	0	0	Level 84	0	0	Level 85	0	0	Level 86	0	0	Level 87	0	0	Level 88	0	0	Level 89	0	0	Level 90	0	0	Level 91	0	0	Level 92	0	0	Level 93	0	0	Level 94	0	0	Level 95	0	0	Level 96	0	0	Level 97	0	0	Level 98	0	0	Level 99	0	0	Level 100	0	0

**LEVEL 2 FLOOR PLAN**

drawing date :  
01/07/2021

project number :  
#19024

drawing scale :  
As Shown

drawing date :  
01/07/2021

phase :  
Final TAC

sheet number :  
**A1.05**

**REVISIONS :**

Updating Units : 01/07/2021

Revised: 324 Units 04-01-2021

ROBERTA MOSCETTI, AIA, NCMA, LEED AP BD+C, CAP  
ARCHITECT, REGISTERED ARCHITECT #16359

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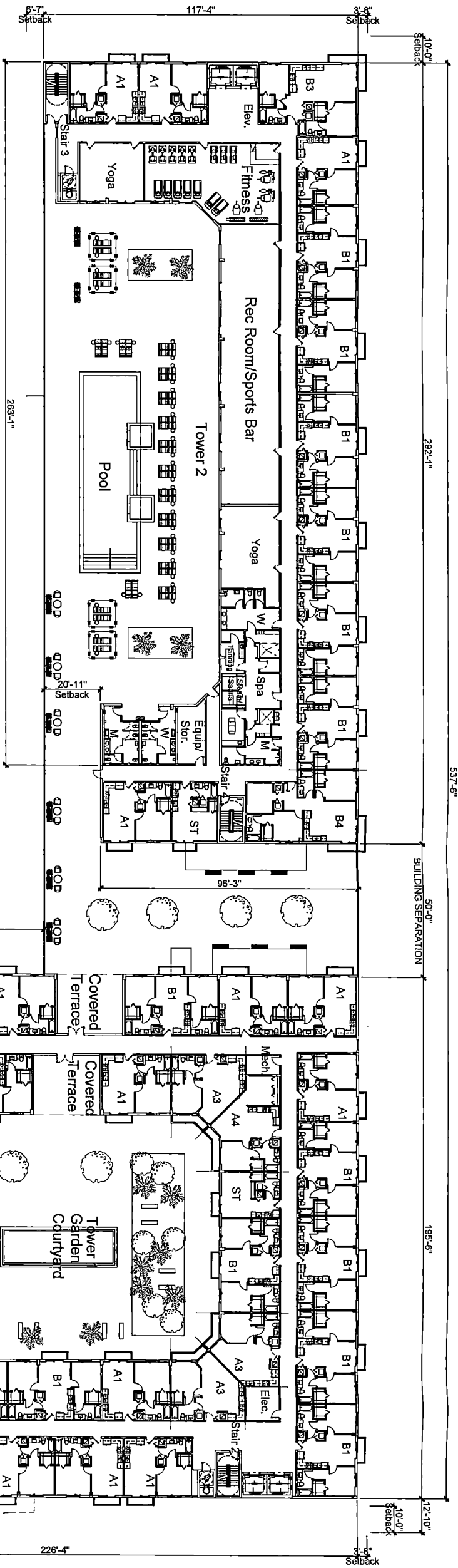
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# EXHIBIT B

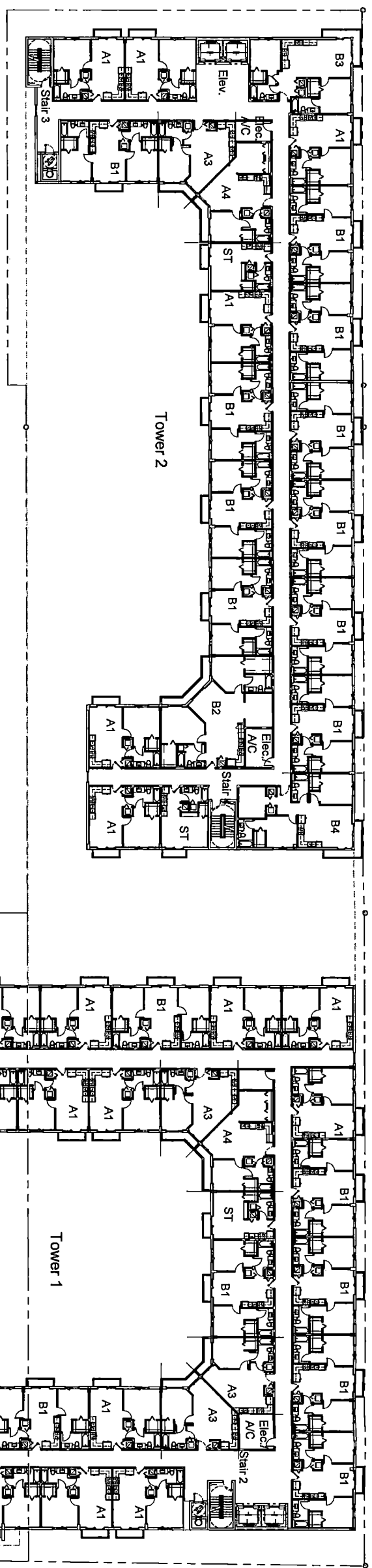
## Level 4 Floor Plan

SCALE 1"=20'-0"

Tower 1 Unit Area Calculation															Tower 2 Unit Area Calculation														
Level	Unit	Area (sq-ft)	Count	Total Area (sq-ft)	Area (sq-ft)	Count	Total Area (sq-ft)	Area (sq-ft)	Count	Total Area (sq-ft)	Area (sq-ft)	Count	Total Area (sq-ft)	Area (sq-ft)	Count	Total Area (sq-ft)	Area (sq-ft)	Count	Total Area (sq-ft)										
Level 4	Studio	280	1	280	410	1	410	410	1	410	410	1	410	410	1	410	410	1	410										
Level 4	A1 (1br)	551	1	551	424	1	424	424	1	424	424	1	424	424	1	424	424	1	424										
Level 4	A1 (2br)	608	1	608	726	1	726	726	1	726	726	1	726	726	1	726	726	1	726										
Level 4	A1 (3br)	728	1	728	824	1	824	824	1	824	824	1	824	824	1	824	824	1	824										
Level 4	A1 (4br)	824	1	824	922	1	922	922	1	922	922	1	922	922	1	922	922	1	922										
Level 4	A1 (5br)	922	1	922	1020	1	1020	1020	1	1020	1020	1	1020	1020	1	1020	1020	1	1020										
Level 4	A1 (6br)	1020	1	1020	1118	1	1118	1118	1	1118	1118	1	1118	1118	1	1118	1118	1	1118										
Level 4	A1 (7br)	1118	1	1118	1216	1	1216	1216	1	1216	1216	1	1216	1216	1	1216	1216	1	1216										
Level 4	A1 (8br)	1216	1	1216	1314	1	1314	1314	1	1314	1314	1	1314	1314	1	1314	1314	1	1314										
Level 4	A1 (9br)	1314	1	1314	1412	1	1412	1412	1	1412	1412	1	1412	1412	1	1412	1412	1	1412										
Level 4	A1 (10br)	1412	1	1412	1510	1	1510	1510	1	1510	1510	1	1510	1510	1	1510	1510	1	1510										
Level 4	A1 (11br)	1510	1	1510	1608	1	1608	1608	1	1608	1608	1	1608	1608	1	1608	1608	1	1608										
Level 4	A1 (12br)	1608	1	1608	1706	1	1706	1706	1	1706	1706	1	1706	1706	1	1706	1706	1	1706										
Level 4	A1 (13br)	1706	1	1706	1804	1	1804	1804	1	1804	1804	1	1804	1804	1	1804	1804	1	1804										
Level 4	A1 (14br)	1804	1	1804	1902	1	1902	1902	1	1902	1902	1	1902	1902	1	1902	1902	1	1902										
Level 4	A1 (15br)	1902	1	1902	2000	1	2000	2000	1	2000	2000	1	2000	2000	1	2000	2000	1	2000										
Level 4	A1 (16br)	2000	1	2000	2098	1	2098	2098	1	2098	2098	1	2098	2098	1	2098	2098	1	2098										
Level 4	A1 (17br)	2098	1	2098	2196	1	2196	2196	1	2196	2196	1	2196	2196	1	2196	2196	1	2196										
Level 4	A1 (18br)	2196	1	2196	2294	1	2294	2294	1	2294	2294	1	2294	2294	1	2294	2294	1	2294										
Level 4	A1 (19br)	2294	1	2294	2392	1	2392	2392	1	2392	2392	1	2392	2392	1	2392	2392	1	2392										
Level 4	A1 (20br)	2392	1	2392	2490	1	2490	2490	1	2490	2490	1	2490	2490	1	2490	2490	1	2490										
Level 4	A1 (21br)	2490	1	2490	2588	1	2588	2588	1	2588	2588	1	2588	2588	1	2588	2588	1	2588										
Level 4	A1 (22br)	2588	1	2588	2686	1	2686	2686	1	2686	2686	1	2686	2686	1	2686	2686	1	2686										
Level 4	A1 (23br)	2686	1	2686	2784	1	2784	2784	1	2784	2784	1	2784	2784	1	2784	2784	1	2784										
Level 4	A1 (24br)	2784	1	2784	2882	1	2882	2882	1	2882	2882	1	2882	2882	1	2882	2882	1	2882										
Level 4	A1 (25br)	2882	1	2882	2980	1	2980	2980	1	2980	2980	1	2980	2980	1	2980	2980	1	2980										
Level 4	A1 (26br)	2980	1	2980	3078	1	3078	3078	1	3078	3078	1	3078	3078	1	3078	3078	1	3078										
Level 4	A1 (27br)	3078	1	3078	3176	1	3176	3176	1	3176	3176	1	3176	3176	1	3176	3176	1	3176										
Level 4	A1 (28br)	3176	1	3176	3274	1	3274	3274	1	3274	3274	1	3274	3274	1	3274	3274	1	3274										
Level 4	A1 (29br)	3274	1	3274	3372	1	3372	3372	1	3372	3372	1	3372	3372	1	3372	3372	1	3372										
Level 4	A1 (30br)	3372	1	3372	3470	1	3470	3470	1	3470	3470	1	3470	3470	1	3470	3470	1	3470										
Level 4	A1 (31br)	3470	1	3470	3568	1	3568	3568	1	3568	3568	1	3568	3568	1	3568	3568	1	3568										
Level 4	A1 (32br)	3568	1	3568	3666	1	3666	3666	1	3666	3666	1	3666	3666	1	3666	3666	1	3666										
Level 4	A1 (33br)	3666	1	3666	3764	1	3764	3764	1	3764	3764	1	3764	3764	1	3764	3764	1	3764										
Level 4	A1 (34br)	3764	1	3764	3862	1	3862	3862	1	3862	3862	1	3862	3862	1	3862	3862	1	3862										
Level 4	A1 (35br)	3862	1	3862	3960	1	3960	3960	1	3960	3960	1	3960	3960	1	3960	3960	1	3960										
Level 4	A1 (36br)	3960	1	3960	4058	1	4058	4058	1	4058	4058	1	4058	4058	1	4058	4058	1	4058										
Level 4	A1 (37br)	4058	1	4058	4156	1	4156	4156	1	4156	4156	1	4156	4156	1	4156	4156	1	4156										
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Level 4	A1 (40br)	4352	1	4352	4450	1	4450	4450	1	4450	4450	1	4450	4450	1	4450	4450	1	4450										
Level 4	A1 (41br)	4450	1	4450	4548	1	4548	4548	1	4548	4548	1	4548	4548	1	4548	4548	1	4548										
Level 4	A1 (42br)	4548	1	4548	4646	1	4646	4646	1	4646	4646	1	4646	4646	1	4646	4646	1	4646										
Level 4	A1 (43br)	4646	1	4646	4744	1	4744	4744	1	4744	4744	1	4744	4744	1	4744	4744	1	4744										
Level 4	A1 (44br)	4744	1	4744	4842	1	4842	4842	1	4842	4842	1	4842	4842	1	4842	4842	1	4842										
Level 4	A1 (45br)	4842	1	4842	4940	1	4940	4940	1	4940	4940	1	4940	4940	1	4940	4940	1	4940										
Level 4	A1 (46br)	4940	1	4940	5038	1	5038	5038	1	5038	5038	1	5038	5038	1	5038	5038	1	5038										
Level 4	A1 (47br)	5038	1	5038	5136	1	5136	5136	1	5136	5136	1	5136	5136	1	5136	5136	1	5136										
Level 4	A1 (48br)	5136	1	5136	5234	1	5234	5234	1	5234	5234	1	5234	5234	1	5234	5234	1	5234										
Level 4	A1 (49br)	5234	1	5234	5332	1	5332	5332	1	5332	5332	1	5332	5332	1	5332	5332	1	5332										
Level 4	A1 (50br)	5332	1	5332	5430	1	5430	5430	1	5430	5430	1	5430	5430	1	5430	5430	1	5430										
Level 4	A1 (51br)	5430	1	5430	5528	1	5528	5528	1	5528	5528	1	5528	5528	1	5528	5528	1	5528										
Level 4	A1 (52br)	5528	1	5528	5626	1	5626	5626	1	5626	5626	1	5626	5626	1	5626	5626	1	5626										
Level 4	A1 (53br)	5626	1	5626	5724	1	5724	5724	1	5724	5724	1	5724	5724	1	5724	5724	1	5724										
Level 4	A1 (54br)	5724	1	5724	5822	1	5822	5822	1	5822	5822	1	5822	5822	1	5822	5822	1	5822										
Level 4	A1 (55br)	5822	1	5822	5920	1	5920	5920	1	5920	5920	1	5920	5920	1	5920	5920	1	5920										
Level 4	A1 (56br)	5920	1	5920	6018	1	6018	6018	1	6018	6018	1	6018	6018	1	6018	6018	1	6018										
Level 4	A1 (57br)	6018	1	6018	6116	1	6116	6116	1	6116	6116	1	6116	6116	1	6116	6116	1	6116										
Level 4	A1 (58br)	6116	1	6116	6214	1	6214	6214	1	6214	6214	1	6214	6214	1	6214	6214	1	6214										
Level 4	A1 (59br)	6214	1	6214	6312	1	6312	6312	1	6312	6312	1	6312	6312	1	6312	6312	1	6312										
Level 4	A1 (60br)	6312	1	6312	6410	1	6410	6410	1	6410	6410	1	6410	6410	1	6410	6410	1	6410										
Level 4	A1 (61br)	6410	1	6410	6508	1	6508	6508	1	6508	6508	1	6508	6508	1	6508	6508	1	6508										
Level 4	A1 (62br)	6508	1	6508	6606	1	6606	6606	1																				

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# EXHIBIT B



**Level 5-7 Floor Plan**  
SCALE: 1"=20'-0"



Level	Tower 1 Unit Area Calculation										Tower 2 Unit Area Calculation										
	Subtotal	A1 (100)	A1 (150)	A1 (150)	A1 (150)	B1 (100)	B1 (100)	B1 (100)	B1 (100)	B1 (100)	Subtotal	A1 (100)	A1 (150)	A1 (150)	A1 (150)	B1 (100)	B1 (100)	B1 (100)	B1 (100)	B1 (100)	
Level 5	290 SF	290 SF	0	0	0	0	0	0	0	0	414 SF	414 SF	0	0	0	0	0	0	0	0	
Level 6	274 SF	274 SF	0	0	0	0	0	0	0	0	72 SF	72 SF	0	0	0	0	0	0	0	0	
Level 7	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 8	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 9	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 10	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 11	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 12	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 13	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 14	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 15	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 16	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 17	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 18	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 19	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Level 20	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Sub Total	564 SF	564 SF	0	0	0	0	0	0	0	0	414 SF	414 SF	0	0	0	0	0	0	0	0	
Total Units per Floor		0		0		0		0		0		0		0		0		0		0	
Total Area Floor Plate Above		0 SF		0 SF		0 SF		0 SF		0 SF		0 SF		0 SF		0 SF		0 SF		0 SF	

**LEVEL 5-7 FLOOR PLAN**

drawing data:

revisions:

Updating Units: 01.07.2021

Resubmit: 264 Units: 04-01-2021

**Soleste**

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AA#26001777

project info:

sheet:

phase: Final TAC

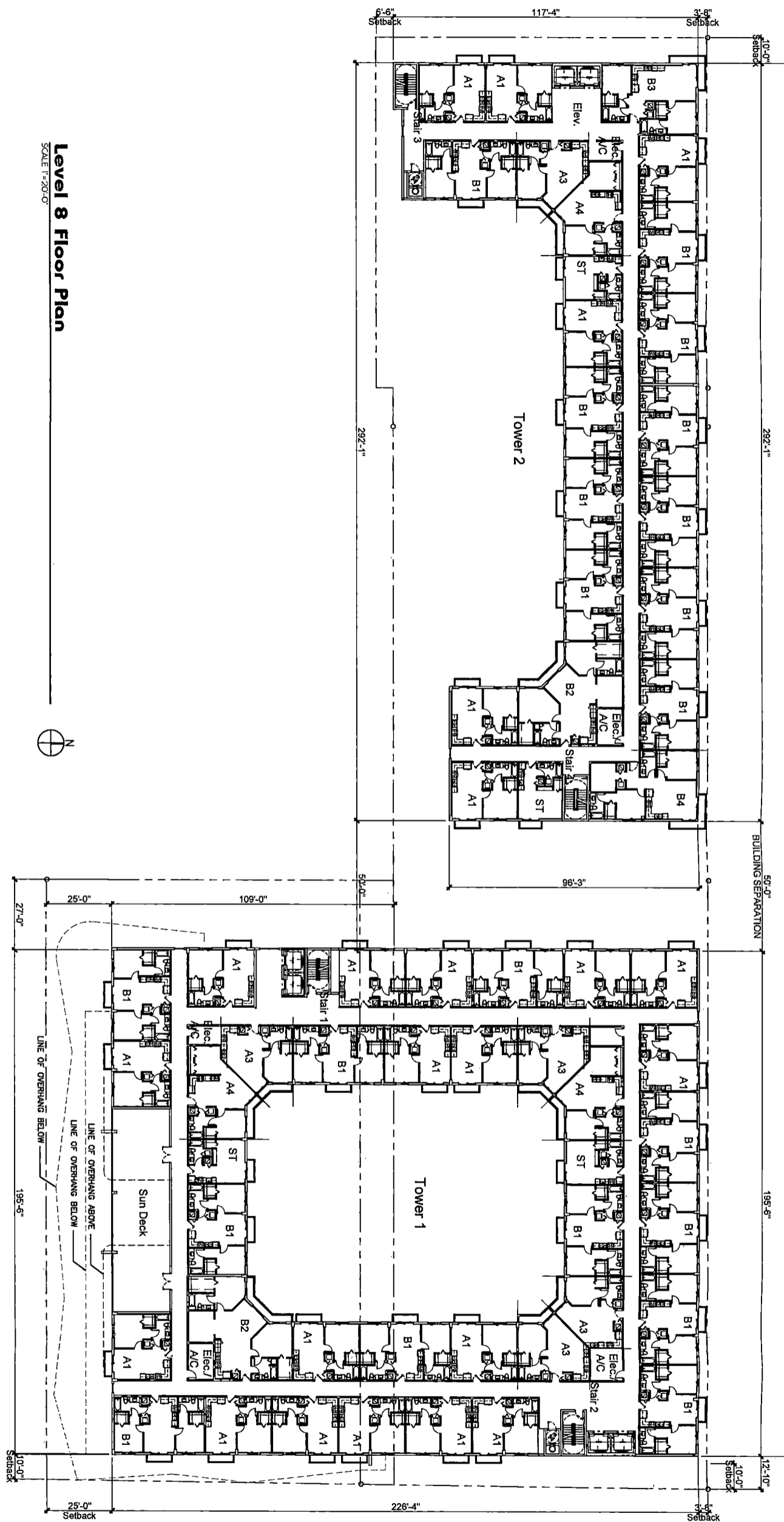
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# EXHIBIT B



**Level 8 Floor Plan**  
SCALE 1"=20'-0"

Tower 1 Unit Area Calculation	Tower 2 Unit Area Calculation											
	Studio	A1 (1b-d)	A1 (1b-d)	A2 (1b-d)	A3 (1b-d)	B1 (2b-d)	B2 (2b-d)	B3 (2b-d)	B4 (2b-d)	Total Units in Tower 1	Total Units in Tower 2	
Level 8	329 SF	581 SF	402 SF	733 SF	829 SF	1333 SF	847 SF	577 SF	1577 SF	10 Units	48 Units	
Level 7	274 SF	334 SF	424 SF	733 SF	829 SF	1333 SF	847 SF	577 SF	1577 SF	8 Units	40 Units	
Level 6	0	0	0	0	0	0	0	0	0	0	0	
Level 5	0	0	0	0	0	0	0	0	0	0	0	
Level 4	0	0	0	0	0	0	0	0	0	0	0	
Level 3	0	0	0	0	0	0	0	0	0	0	0	
Level 2	0	0	0	0	0	0	0	0	0	0	0	
Level 1	0	0	0	0	0	0	0	0	0	0	0	
Sub Total	603 Units	915 Units	826 Units	1466 Units	1658 Units	2670 Units	1724 Units	1154 Units	3154 Units	18 Units	88 Units	
Total Units in Tower 1											218 Units	
Total Units in Tower 2											324 Units	
Total Units in Tower 1 & Tower 2											542 Units	

**LEVEL 8 FLOOR PLAN**

Project number: #19024

drawing scale: AS SHOWN

drawing date: 01/07/2021

phase: Final TAC

sheet number: **A1.09**

revisions:

Updating Units: 01.07.2021

Resubmit: 324 Units 04.01.2021

CONCEPT ARCHITECTS, AN AFFILIATE OF MODIS ARCHITECTS, LLC

REGISTERED ARCHITECT #A93929

Seal:

**Soleste**

Hollywood Blvd.

2001 Hollywood Blvd.

Hollywood, Florida

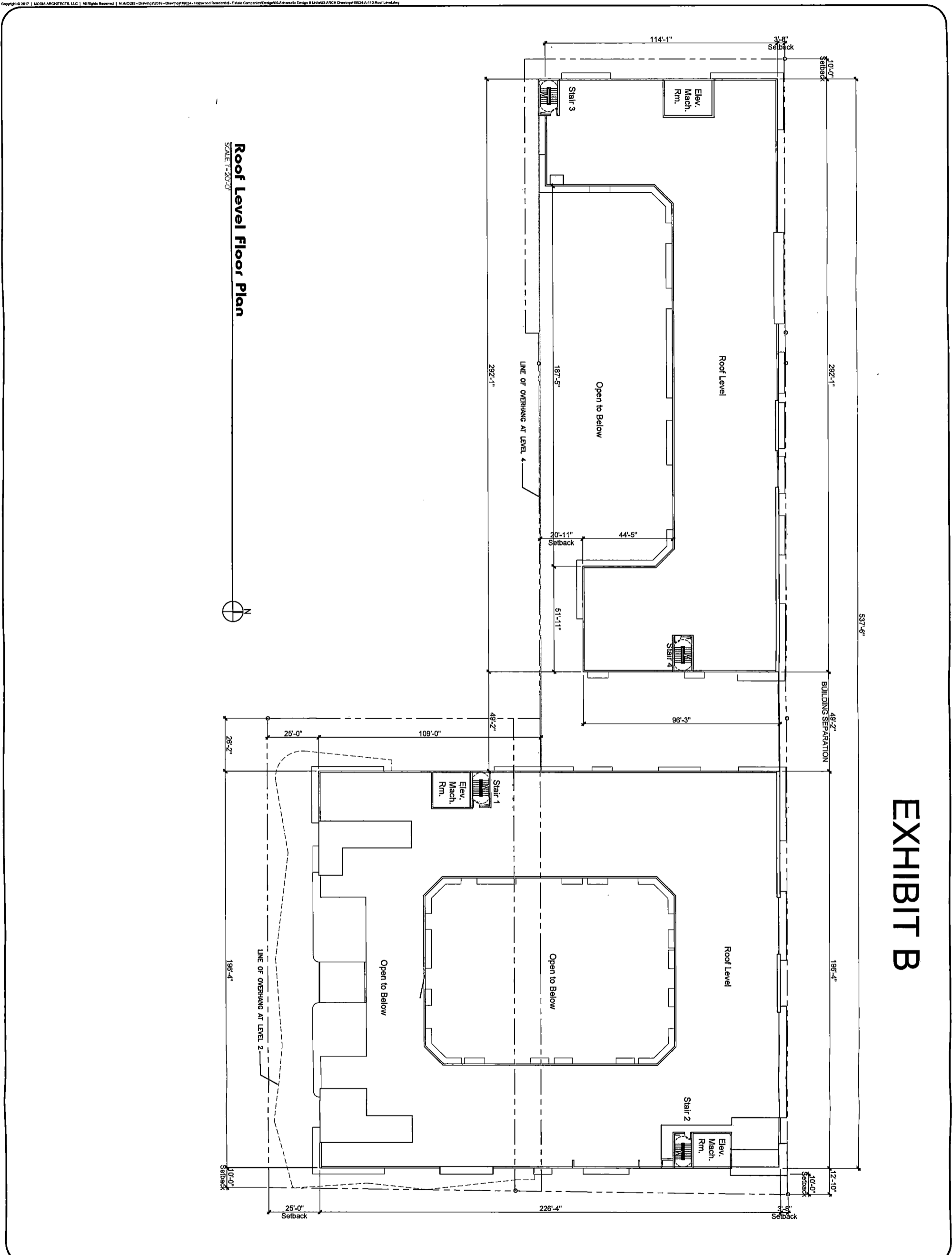
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**Roof Level Floor Plan**  
SCALE: 1"=20'-0"

**EXHIBIT B**

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drawing data:  
**LEVEL 8 FLOOR PLAN**  
 project number: #13024  
 drawing scale: As Shown  
 drawing date: 01/07/2021  
 phase: Final TAC  
 sheet number: **A1.10**

revisions:

Updating Units	01.07.2021
Resubmit	04-01*2021

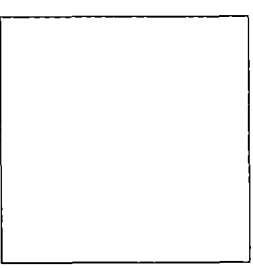
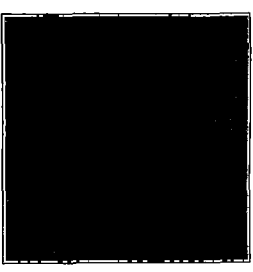
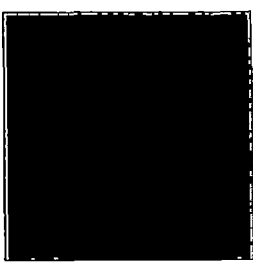
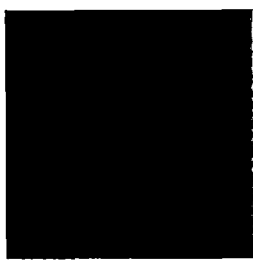

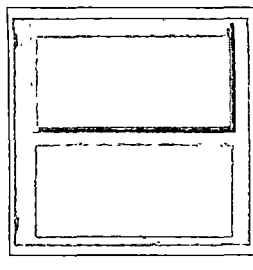

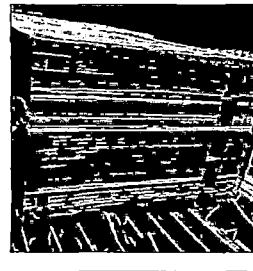
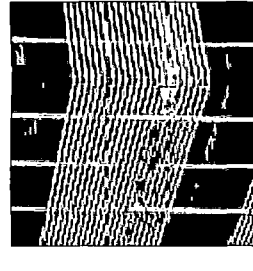
ROBERT K. MORSETTE, AIA, NCARB, LEED AP, RIBC, CDP  
 FASHION REGISTERED ARCHITECT # 18329

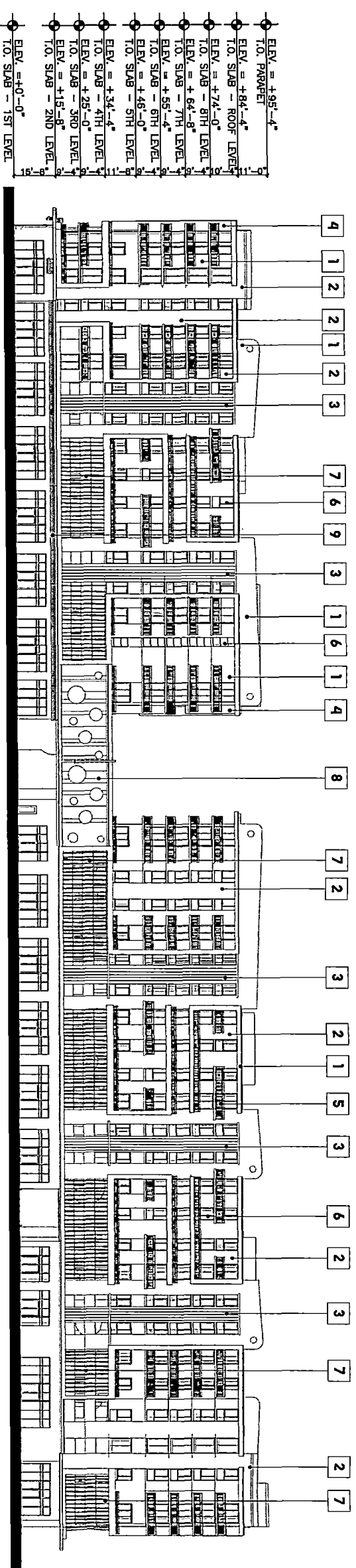
Seal:  
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# EXHIBIT B

-  1 WHITE CHRISTMAS 872  
BENJAMIN MOORE
-  2 MARINA GRAY 1599  
BENJAMIN MOORE
-  3 BLUE JEAN 2062-50  
BENJAMIN MOORE
-  4 PALM COAST TEAL 733  
BENJAMIN MOORE
-  5 MESH RAILING
-  6 IMPACT GLASS  
DOOR & WINDOW
-  7 PERFORATED PANELS  
HENDRICK ARCHITECTURAL
-  8 PAINTED FACADE GARAGE
-  9 HORIZONTAL LOUVERS



## 01 Proposed North Elevation

SCALE: 1/32" = 1'-0"

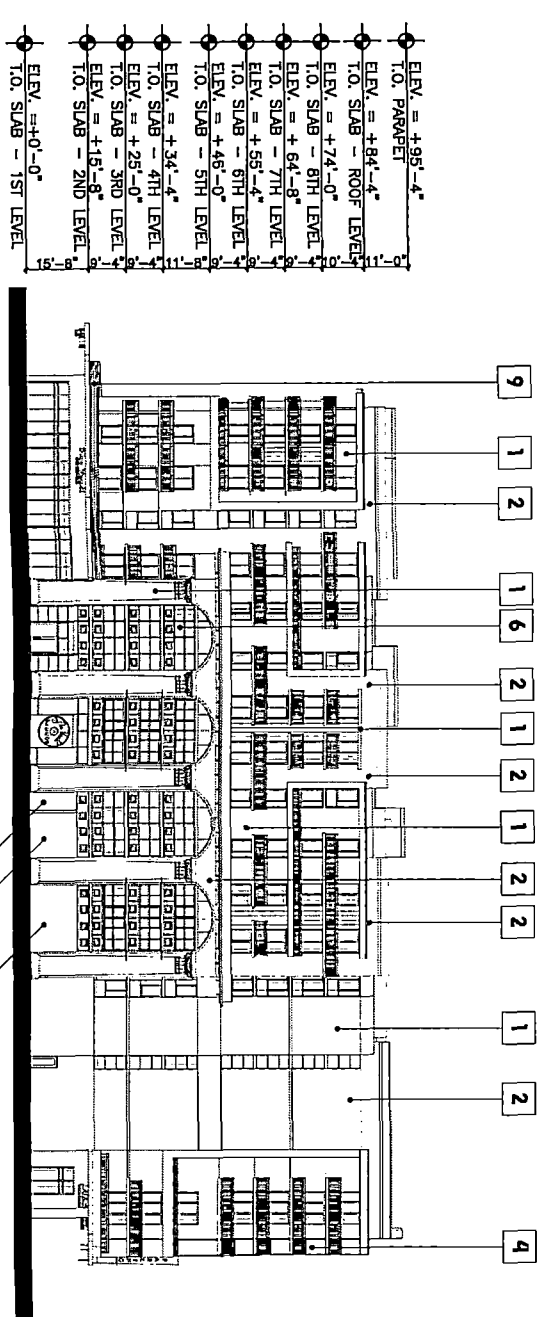


60 PERFORATED PANELS  
HENDRICK ARCHITECTURAL

- Aluminum panel thickness of .125" or .190"
- Standard panel widths of 36", 42" or 48"
- Standard panel lengths of 72", 96" or 120"
- 12 standard round perforated patterns with open areas ranging from 23% to 77%
- Designed to withstand sustained winds up to 165 mph (Category 5)
- Multiple finish options offered to ensure the highest quality finish for your project
- Finish warranty options are available up to 20 years
- Concealed fastener panel system design
- All hardware supplied is solid stainless steel

## 02 Proposed East Elevation

SCALE: 1/32" = 1'-0"



GARAGE ENTRY/EXIT  
MECHANICAL/ELECTRICAL  
BEHIND WALL  
PEDESTRIAN WALKWAY

drawing data:

**NORTH AND EAST ELEVATIONS**

project number: #19024

drawing scale: As Shown

drawing date: 04/20/2020

phase: Final TAC

sheet number: **A1.13a**

revisions:

NO.	DATE	DESCRIPTION

seal:

**Soleste**  
Hollywood Blvd.  
2001 Hollywood Blvd.  
Hollywood, Florida

project info:

**modis** architects

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AA#26001777

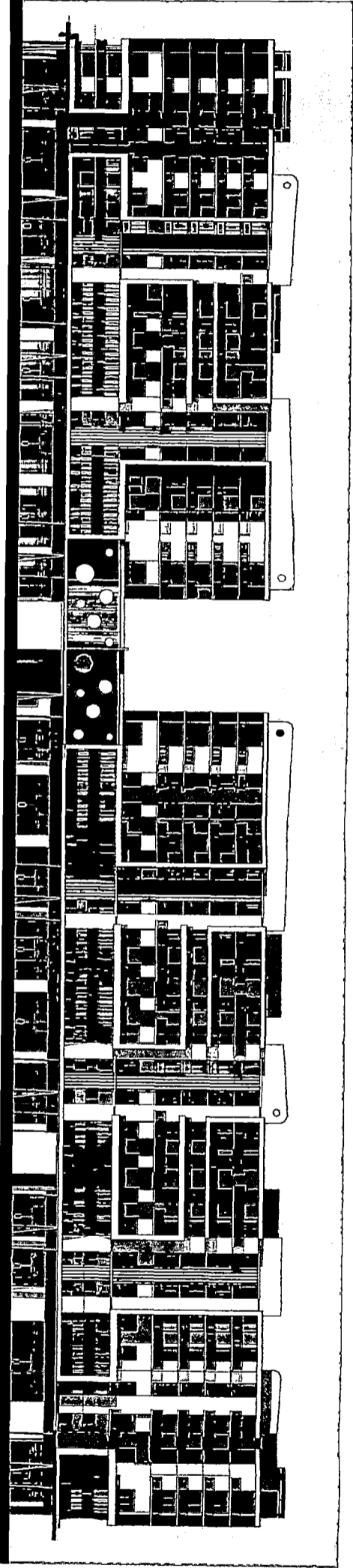
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# EXHIBIT B

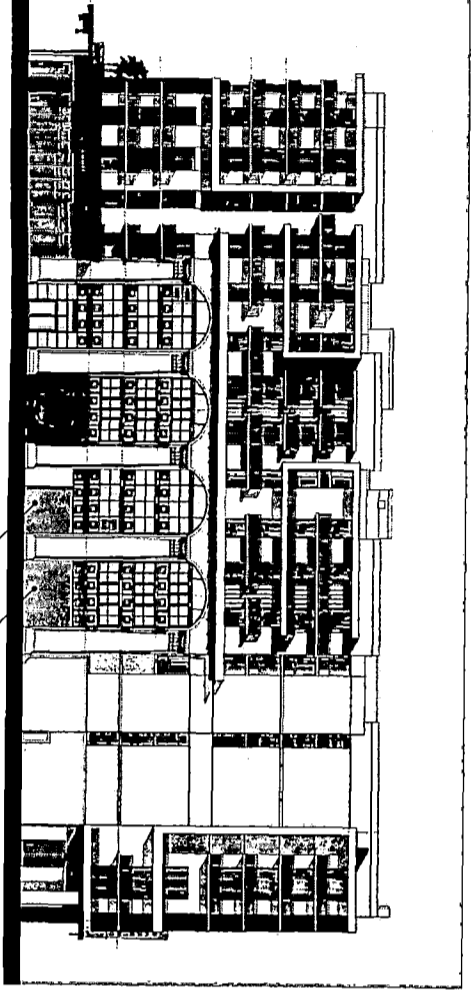
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- ELEV. = +84'-4"
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- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +48'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL

**01 Proposed North Elevation**  
SCALE: 1/32" = 1'-0"



- ELEV. = +95'-4"
- T.O. PARAPET
- ELEV. = +84'-4"
- T.O. SLAB - ROOF LEVEL
- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +48'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL

**02 Proposed East Elevation**  
SCALE: 1/32" = 1'-0"

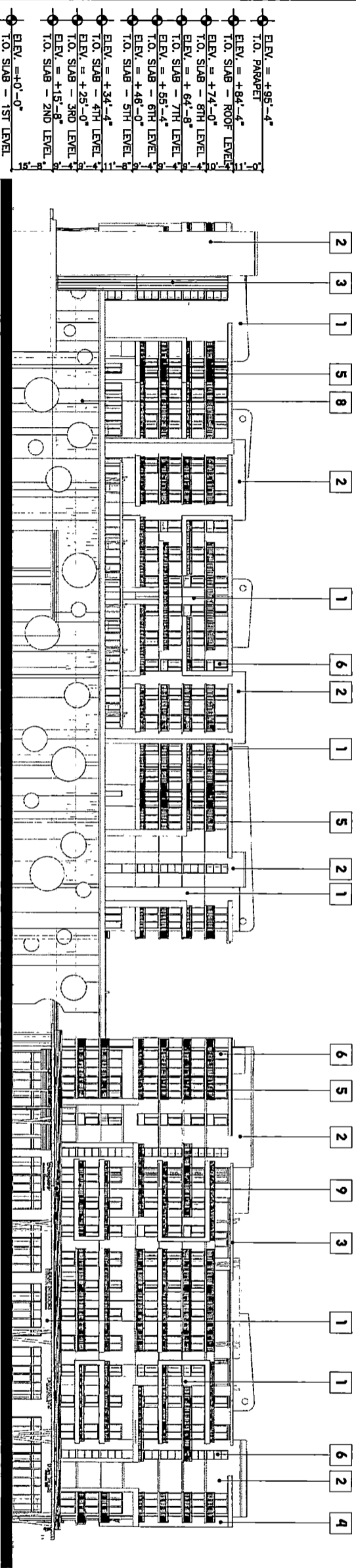


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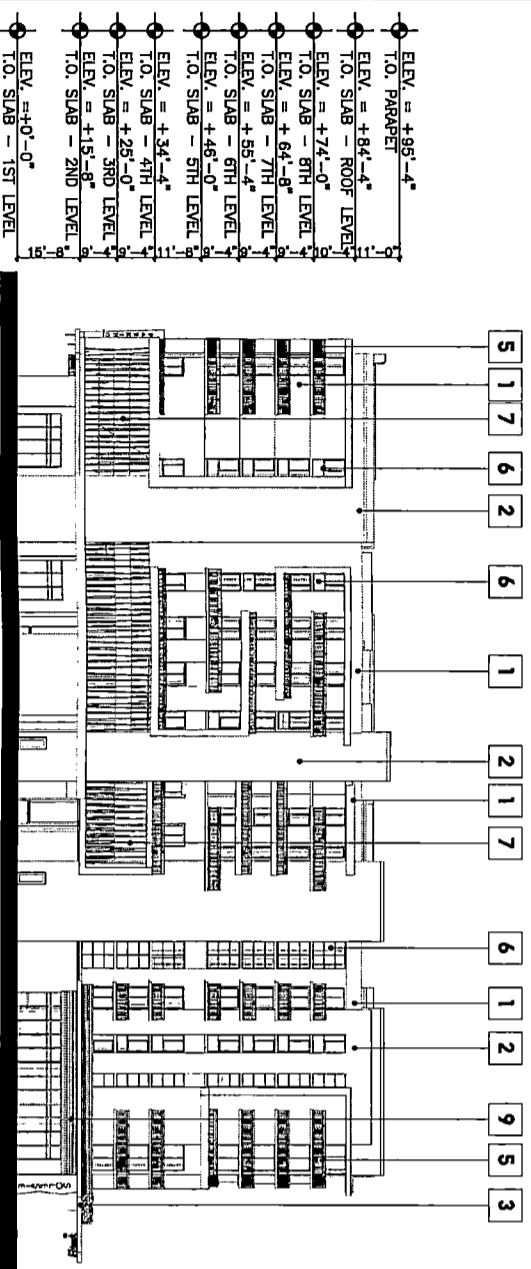
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<p>project number: #19024</p> <p>drawing scale: As Shown</p> <p>drawing date: 04/20/2020</p> <p>phase: Final TAC</p> <p>sheet number: A1.13</p>			

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- 1 WHITE CHRISTMAS 872  
BENJAMIN MOORE
- 2 MARINA GRAY 1599  
BENJAMIN MOORE
- 3 BLUE JEAN 2062-50  
BENJAMIN MOORE
- 4 PALM COAST TEAL 733  
BENJAMIN MOORE
- 5 MESH RAILING
- 6 IMPACT GLASS  
DOOR & WINDOW
- 7 PERFORATED PANELS  
HENDRICK ARCHITECTURAL
- 8 PAINTED FACADE GARAGE
- 9 HORIZONTAL LOUVERS



**03 Proposed South Elevation**  
SCALE: 1/32" = 1'-0"



**04 Proposed West Elevation**  
SCALE: 1/32" = 1'-0"

**EXHIBIT B**

drawing data:

**SOUTH AND WEST ELEVATIONS**

project number: #19024

drawing scale: As Shown

drawing date: 04/20/2020

phase: Final TAC

sheet number: **A1.14a**

revisions:


seal:

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2001 Hollywood Blvd.  
Hollywood, Florida

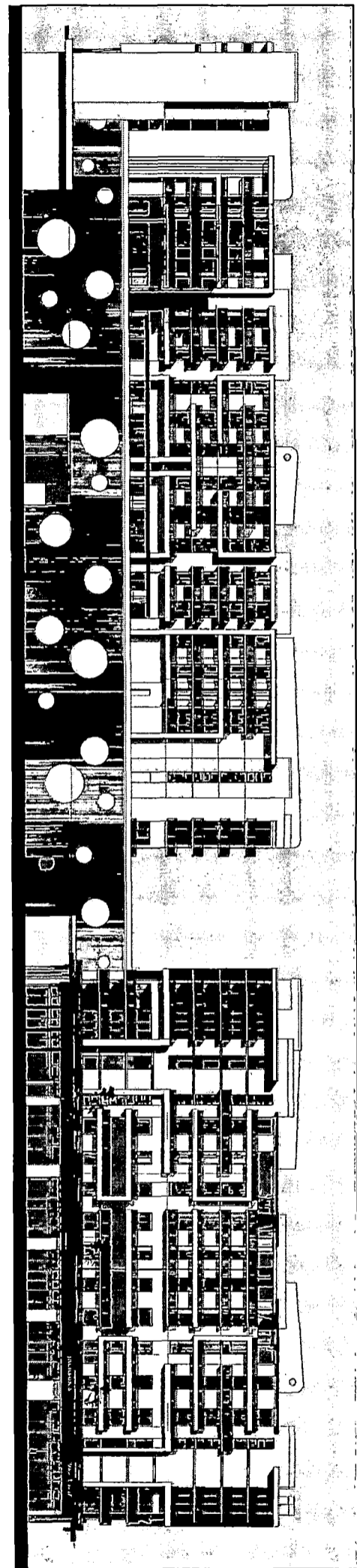
project info:

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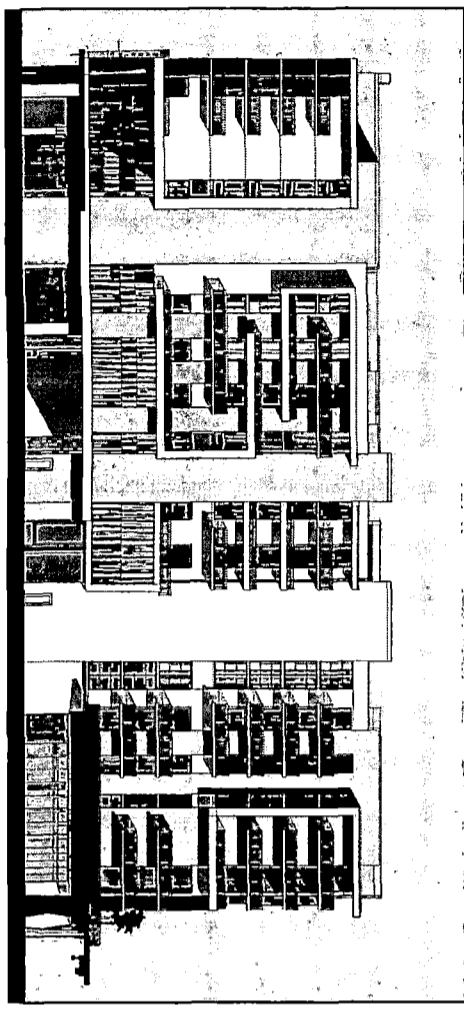
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- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +48'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL



### 03 Proposed South Elevation

SCALE: 1/32"=1'-0"

- ELEV. = +95'-4"
- T.O. PARAPET
- ELEV. = +84'-4"
- T.O. SLAB - ROOF LEVEL
- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +48'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL



### 04 Proposed West Elevation

SCALE: 1/32"=1'-0"

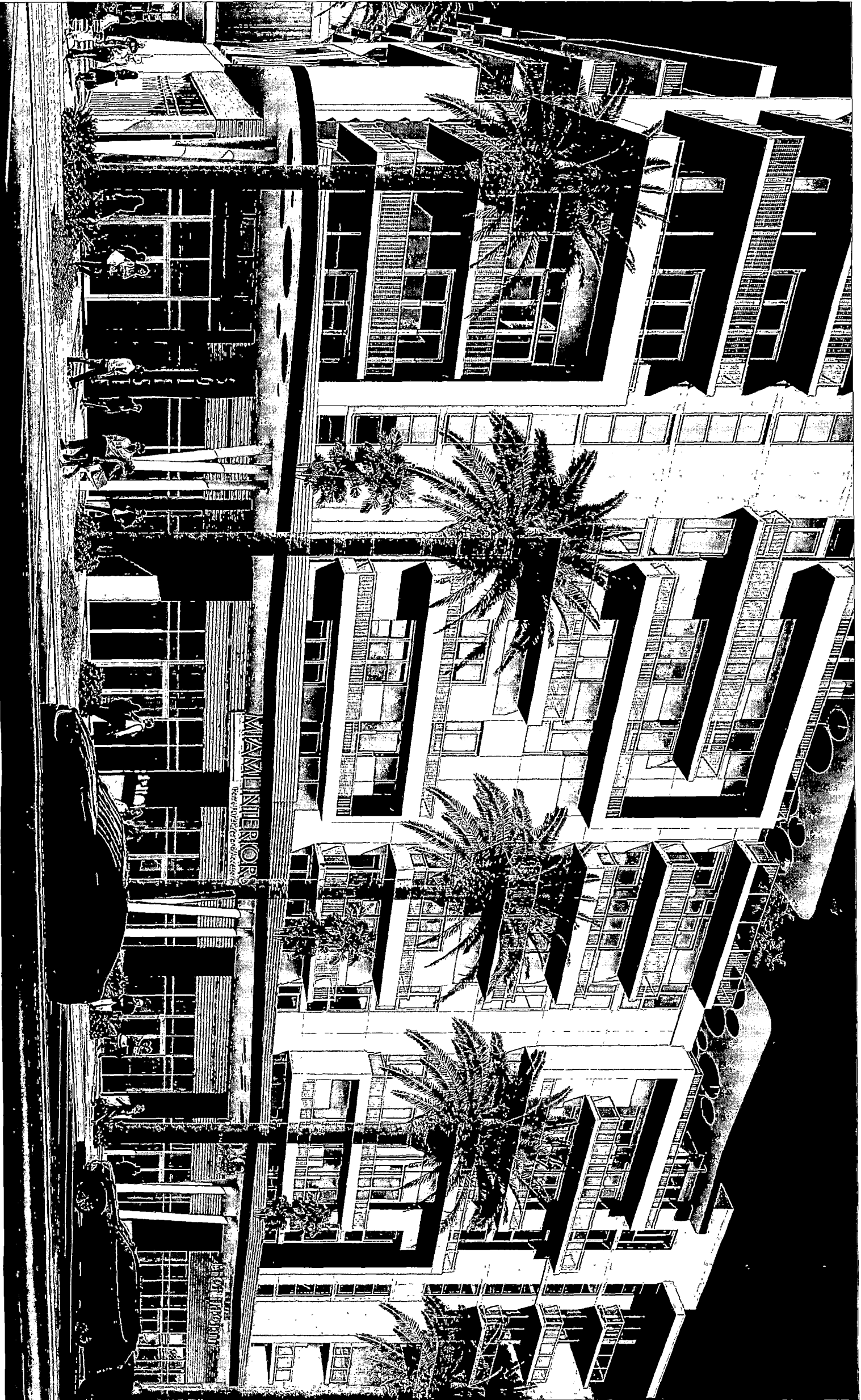
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<p>drawing data:</p> <p><b>SOUTH AND WEST ELEVATIONS</b></p>	<p>revisions:</p>	<p>project info:</p> <p><b>Robert A. Modis, AA, NCARB, LEED AP, AIA, CFP</b> MODIS ARCHITECTS, INC. REGISTERED ARCHITECT # 443229</p>	<p>project info:</p> <p><b>Soleste</b> Hollywood Blvd. 2001 Hollywood Blvd. Hollywood, Florida</p>	<p><b>modis</b> architects</p> <p>4955 SW 75th Avenue t. 786.879.8882 Miami, Florida 33155 f. 786.350.1515 Florida Corp. AA#26001777 e. MODIS@MODISarchitects.com</p>
<p>project number: #19024</p> <p>drawing scale: As Shown</p> <p>drawing date: 04/20/2020</p> <p>phase: Final TAC</p> <p>sheet number: A1.14</p>				

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# EXHIBIT B




**01** View from Hollywood Blvd. Walkway  
 SCALE: 1/32"=1'-0"

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drawing date : <b>3D MODEL</b>	revisions : <small>ROBERT K. MORSE/ITTE, AIA, NCMA, LEED AP, P.E., C.D.P.          FLORIDA REGISTERED ARCHITECT # 248 92339</small>	seal :   	project info :  
project number : #19024	drawing scale : As Shown	drawing date : 04/20/2020	phase : Final TAC
sheet number : <b>A1.15</b>			

**Soleste**  
 Hollywood Blvd.  
 2001 Hollywood Blvd.  
 Hollywood, Florida

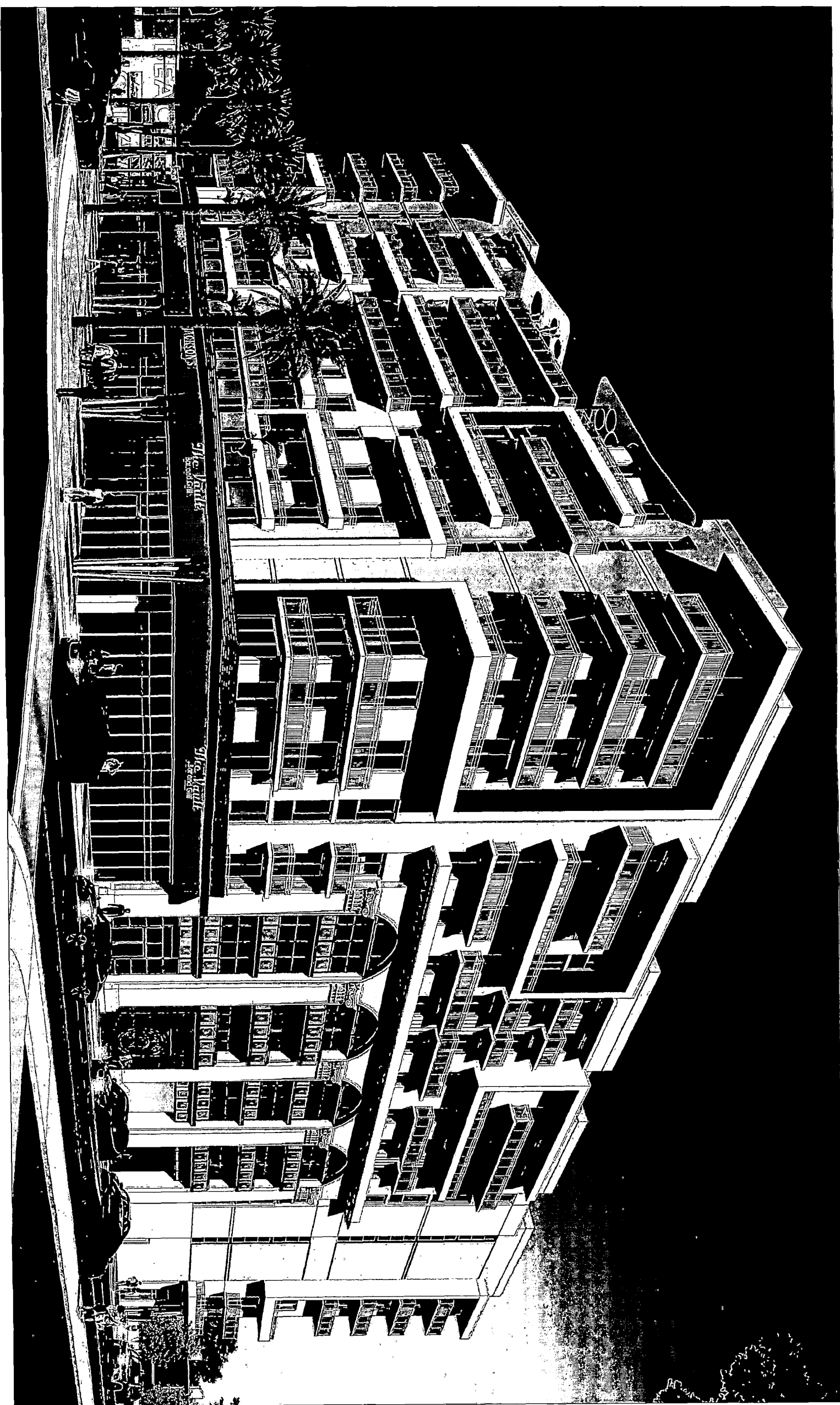


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# EXHIBIT B



**02** **View from Hollywood Blvd. & N. 20th Avenue**  
 SCALE: 1/32" = 1'-0"

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**3D MODEL**  
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 project number : #19024  
 drawing scale : As Shown  
 drawing date : 04/20/2020  
 phase : Final TAC  
 sheet number : **A1.16**

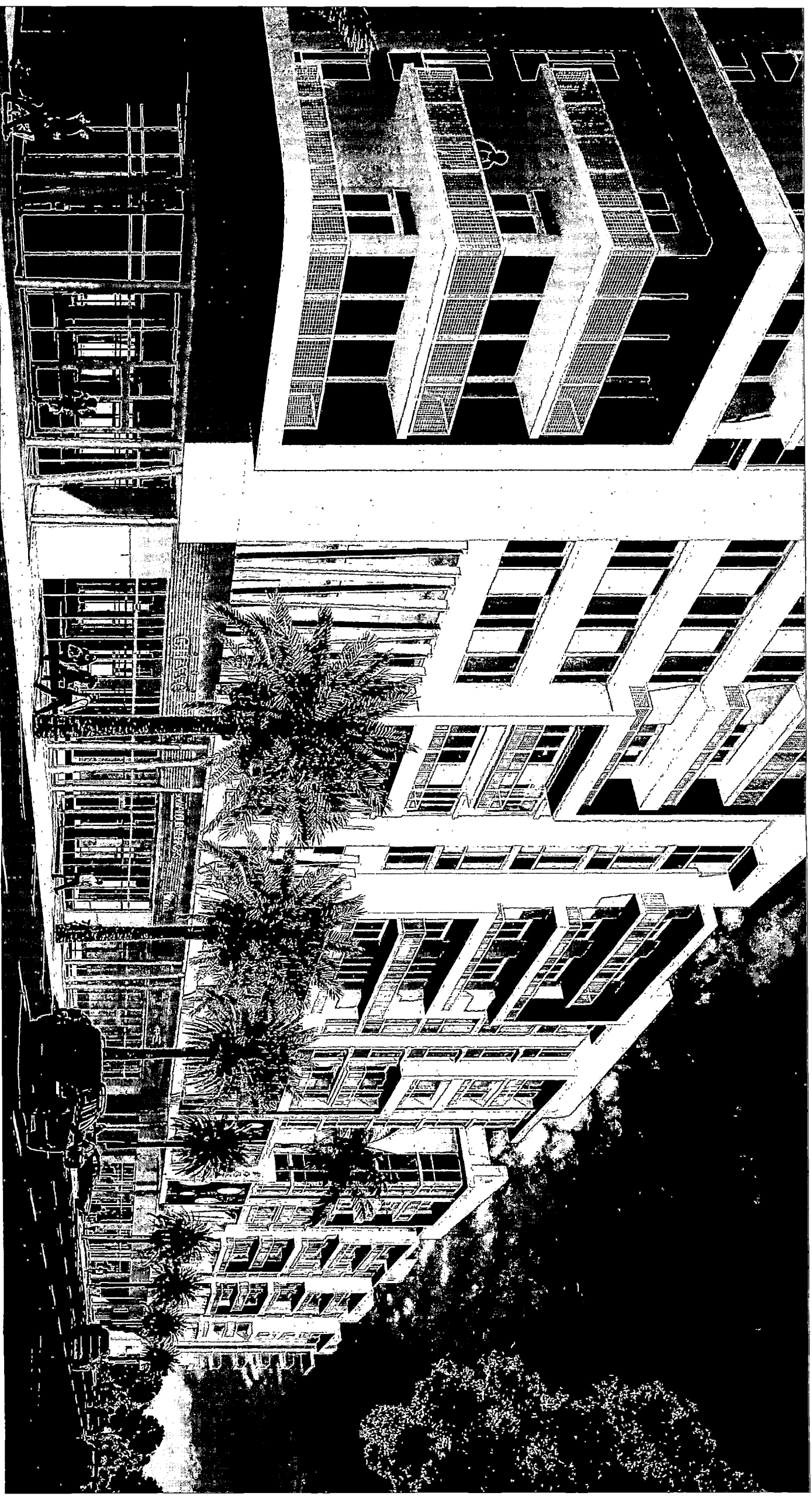
revisions :  
 seal :  
 ROBERT A. MODIS, AIA, NCARB, LEED AP BD+C, CPH  
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**03 View from Tyler Street**  
 SCALE: 1/32"=1'-0"

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**3D MODEL**

drawing data:

project number: #19024

drawing scale: As Shown

drawing date: 04/20/2020

phase: Final TAC

sheet number: A1.17

revisions:


seal:

ROBERT A. HORNETTE, AIA, NCARB, LEED AP, AIA-PIC, CPD  
 FLORIDA REGISTERED ARCHITECT #A63939

project info:

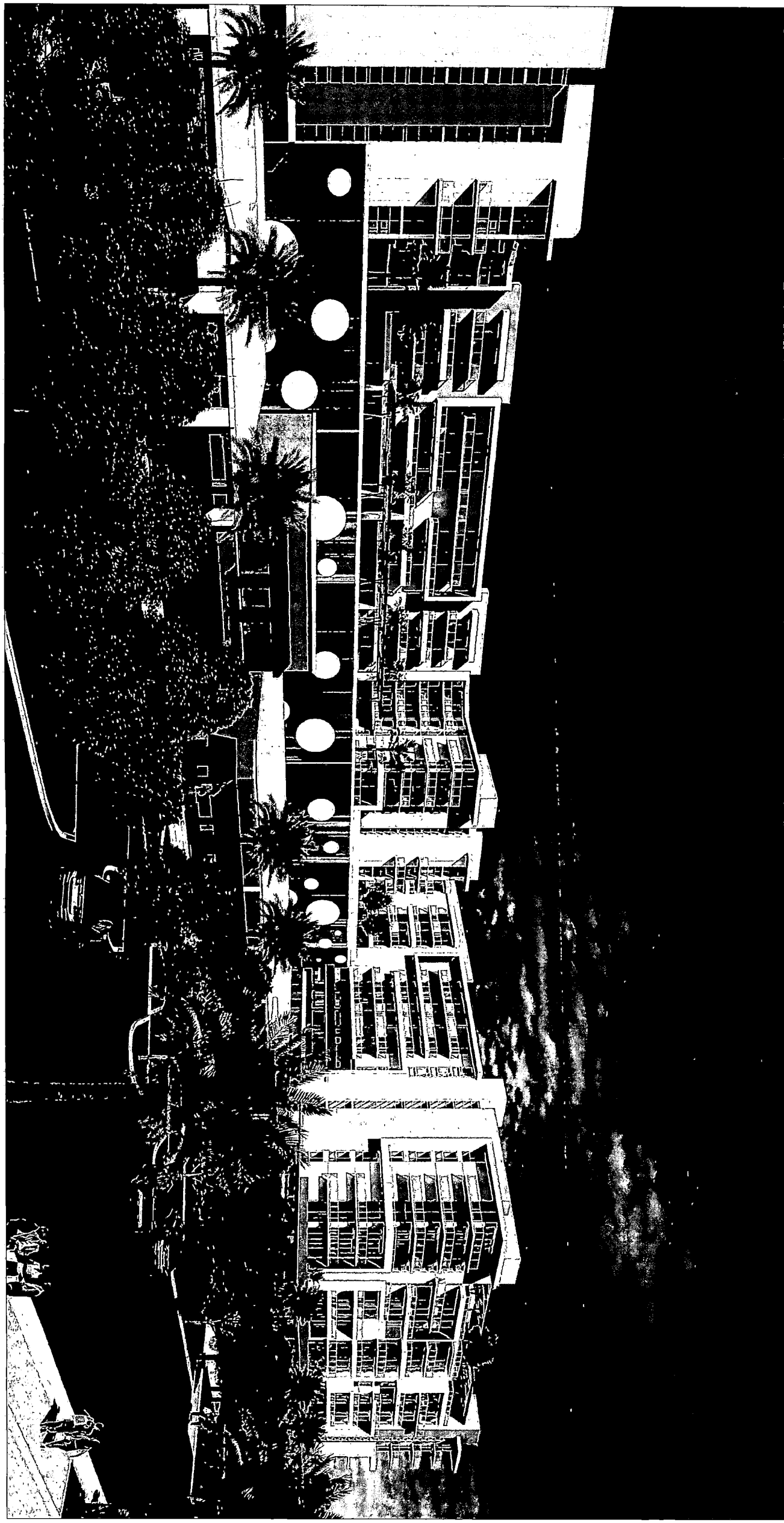
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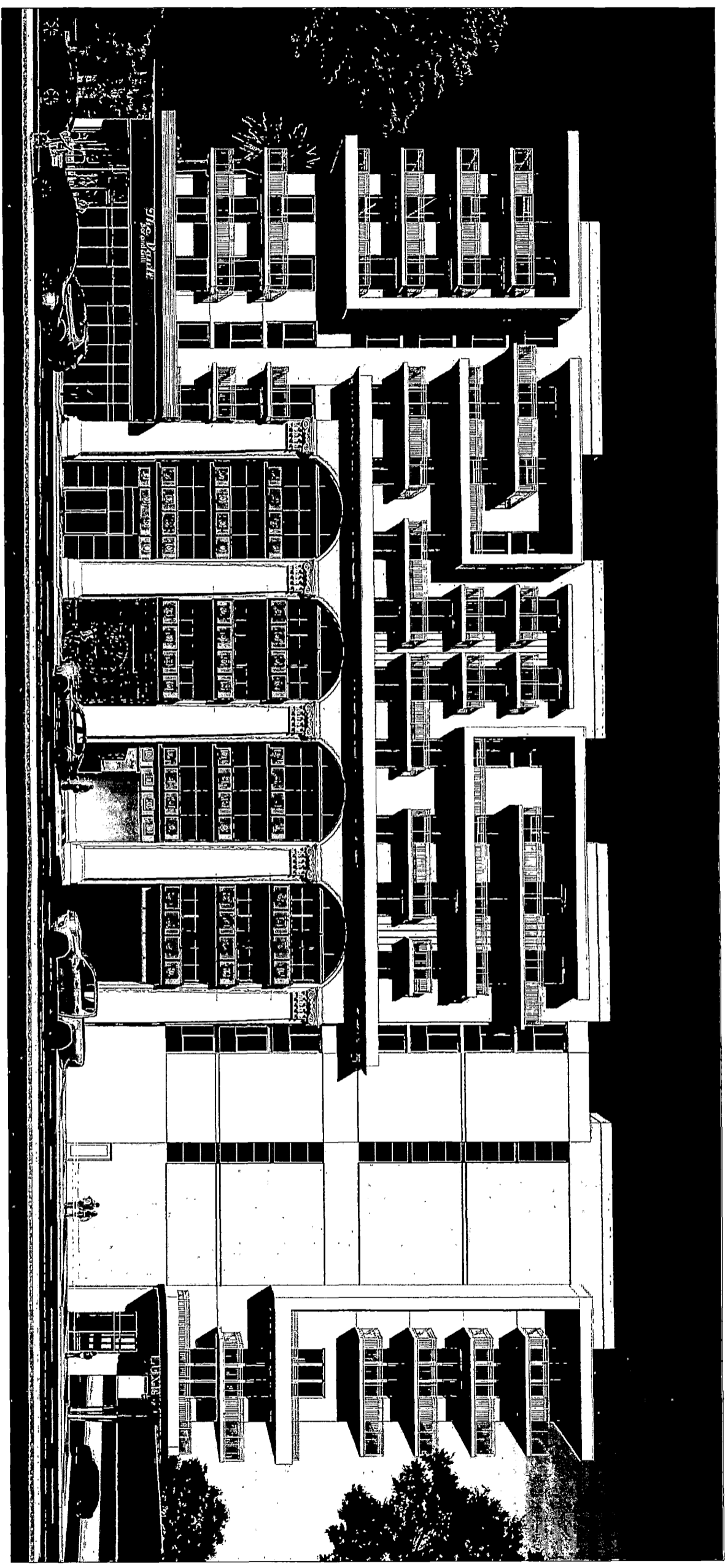
**04** View from Hollywood Blvd.  
SCALE: 1/32" = 1'-0"

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<p><b>3D MODEL</b></p> <p>drawing data :</p>	<p>revisions :</p>	<p>project info :</p>	<p><b>modis</b> architects</p> <p>4955 SW 75th Avenue t. 786.879.8882 Miami, Florida 33155 f. 786.350.1515 Florida Corp. AA#26001777 e. MODIS@MODISarchitects.com</p>
<p>Project number : #19024</p> <p>Drawing scale : As Shown</p> <p>Drawing date : 04/20/2020</p> <p>Phase : Final TAC</p> <p>Sheet number : <b>A1.18</b></p>	<p>Robert A. Koberg, AIA, NCMA, LEED AP, NCBC, CMAA Florida Registered Architect #A 93293</p>	<p><b>Soleste</b> Hollywood Blvd. 2001 Hollywood Blvd. Hollywood, Florida</p>	

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## 05 East Facade (Historic Facade)

SCALE: 1/32"=1'-0"

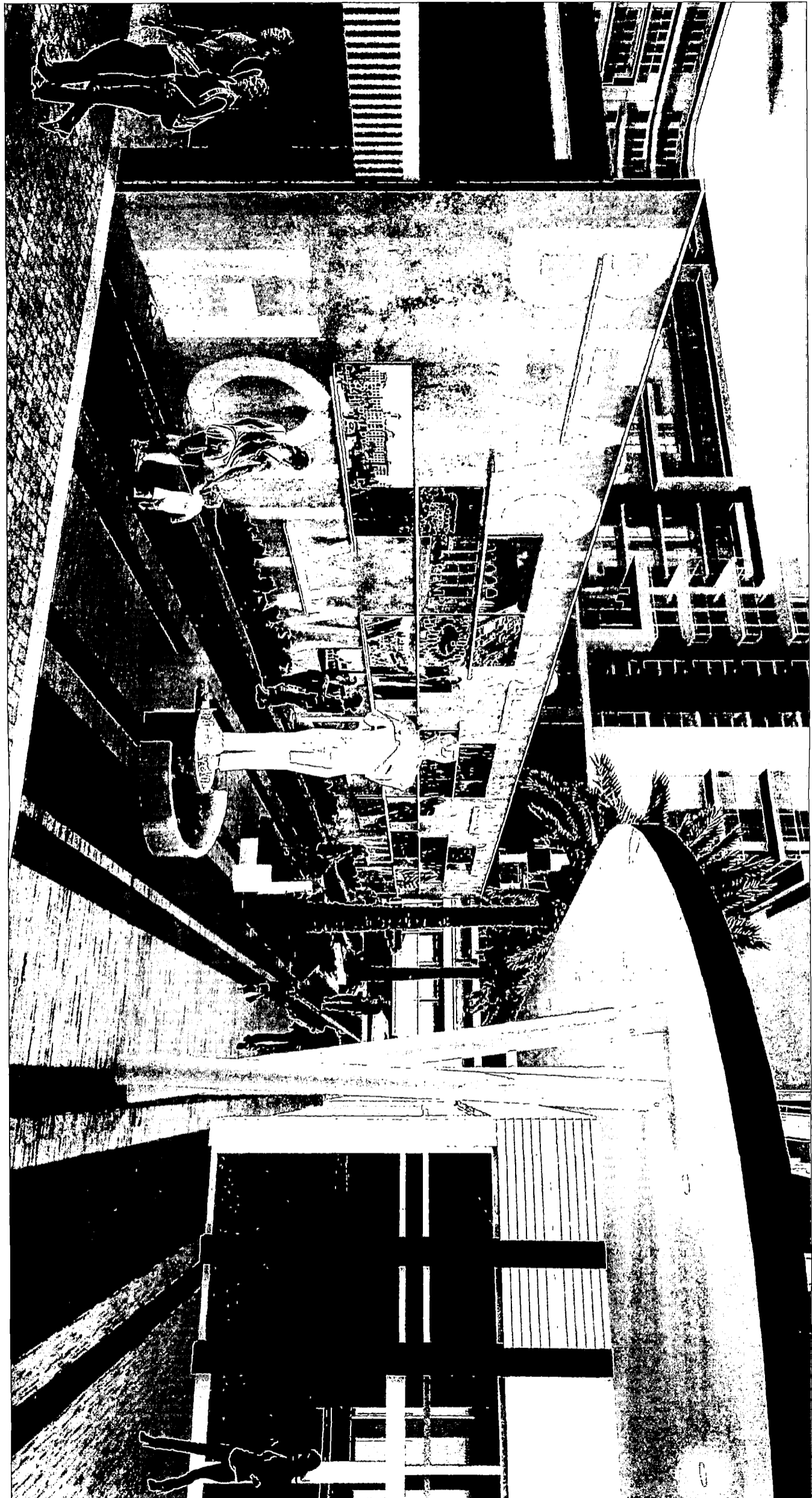
<p><b>3D MODEL</b></p> <p>drawing data :</p> <p>project number : #19024</p> <p>drawing scale : As shown</p> <p>drawing date : 04/20/2020</p> <p>phase : Final TAC</p> <p>sheet number : <b>A1.19</b></p>	<p>SEAL :</p> <p>ROBERT K. MORRIS, AIA, NCARB, LEED AP/BD+C, CFP</p> <p>FLORIDA REGISTERED ARCHITECT #A81928</p> <p>revisions :</p>	<p>project info :</p> <p><b>Soleste</b>  <b>Hollywood Blvd.</b>          2001 Hollywood Blvd.          Hollywood, Florida</p>	<p><b>modis</b>          architects</p> <p>4955 SW 75th Avenue t. 786.879.8882          Miami, Florida 33155 f. 786.350.1515          Florida Corp. AA#26001777          e. MODIS@MODISarchitects.com</p>
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# 06 Pedestrian Walk

SCALE: 1/32"=1'-0"



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**3D MODEL**

project number : #19024

drawing scale : As Shown

drawing date : 04/20/2020

phase : Final TAC

sheet number : **A1.20**

revisions :

ROBERT A. JOHNSON, AIA, NCARB, LEED AP-B+C-DM  
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