

ATTACHMENT A
Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 11/7/22

Location Address: 500 S State Road 7

Lot(s): 5 Block(s): NA Subdivision: SW 1/4 of Section 13

Folio Number(s): Tract A, Grants Farm, PB 112, PG 31, Public Records of Broward County

Zoning Classification: S-MU Land Use Classification: Transit Oriented Corridor

Existing Property Use: Self-storage Sq Ft/Number of Units: 53,451

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 22-DPS-34

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: Request for site plan approval for the expansion of approx. 64,600 SF of additional self-storage and RV/vehicle parking

Number of units/rooms: Approx 201 Sq Ft: 64,600

Value of Improvement: TBD Estimated Date of Completion: 12/23

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: UTXIII Miami Hollywood LLC (owner), UTEX Storage Partners (applicant)

Address of Property Owner: 65 East Wadsworth Park Dr, Suite 220, Draper, UT 84020

Telephone: 801-694-1474 Fax: N/A Email Address: jbarnes@utexstorage.com

Name of Consultant/Representative/Tenant (circle one): Stantec Consulting Services Inc.

Address: 800 Fairway Dr, Ste 195, Deerfield Beach, FL 33441 Telephone: 954-481-2812

Fax: N/A Email Address: shehab.bata@stantec.com

Date of Purchase: 6/8/22 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

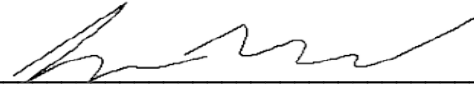
2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  **Managing Partner** Date: 11/7/22

PRINT NAME: UTXIII Miami Hollywood LLC Date: 11/7/22

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public

Print Name

State of Florida

My Commission Expires: _____ (Check One) ___ Personally known to me; OR ___ Produced Identification _____

Hollywood Self-Storage Community Outreach Meeting

July 27, 2022

Meeting Start Time: 6 p.m.

Meeting Duration: 30 Minutes

500 S State Rd 7, Hollywood, FL

Attendance/Sign-in Sheet:

- Jodie Perez
- David Jake Jacobsen
- Jake Wyckoff
- Scott Wyckoff
- Magaly Viezcas
- Justin Barnes

Summary of Meeting:

- Who we are:
 - We went through our facilities and our UTEX development team
- Current condition:
 - We analyzed the condition of the property
 - Looked through pictures of existing property
- Our Goals:
 - Talked about what we want to accomplish with this facility
 - Enhance appearance, security, customer experience, and bring value to the community
- Proposed Expansion:
 - Layout
 - Elevations
 - Entrance
- How this Benefits the Community:
 - Improved physical appearance
 - Improved security
 - Raises property standards
- Timeline:
 - Delivering summer 2023
- Questions:
 - Is delivery too optimistic?
 - We have contractors lined up and believe timeline is attainable

- Comments
 - Jodie – super excited about this property because of great potential
- Other topics discussed
 - Placement of signage on expansion
 - Suggestions for moving existing monument sign to north street corner.
Also talked about putting signage on the building instead.



Valued Neighbor,

On behalf of UTEX Storage Partners I would like to introduce our company to the neighborhood. We have recently purchased the self-storage facility at 500 S State Rd 7, Hollywood, FL.

As part of the purchase, we plan to update the current facility as well as expand and enhance its street presence, making the site cleaner, better looking and safer. UTEX Storage Partners is committed to becoming a valued part of this great community. With that end in mind, I am reaching out to formally invite you to our public participation meeting.

The meeting is scheduled to take place on Wednesday the 27th of July 2022 at 6 p.m. at 500 S State Rd 7, Hollywood, FL. A virtual link is provided if you cannot attend in person. We are excited to hear your feedback and show you how we plan to enhance this site to your community standards.

We look forward to working with you and becoming a part of the community.

Sincerely,

Justin Barnes – Executive Vice President of Development- UTEX Storage Partners

801-597-9312

jbarnes@utexstorage.com

Jake Wyckoff – Development Manager – UTEX Storage Partners

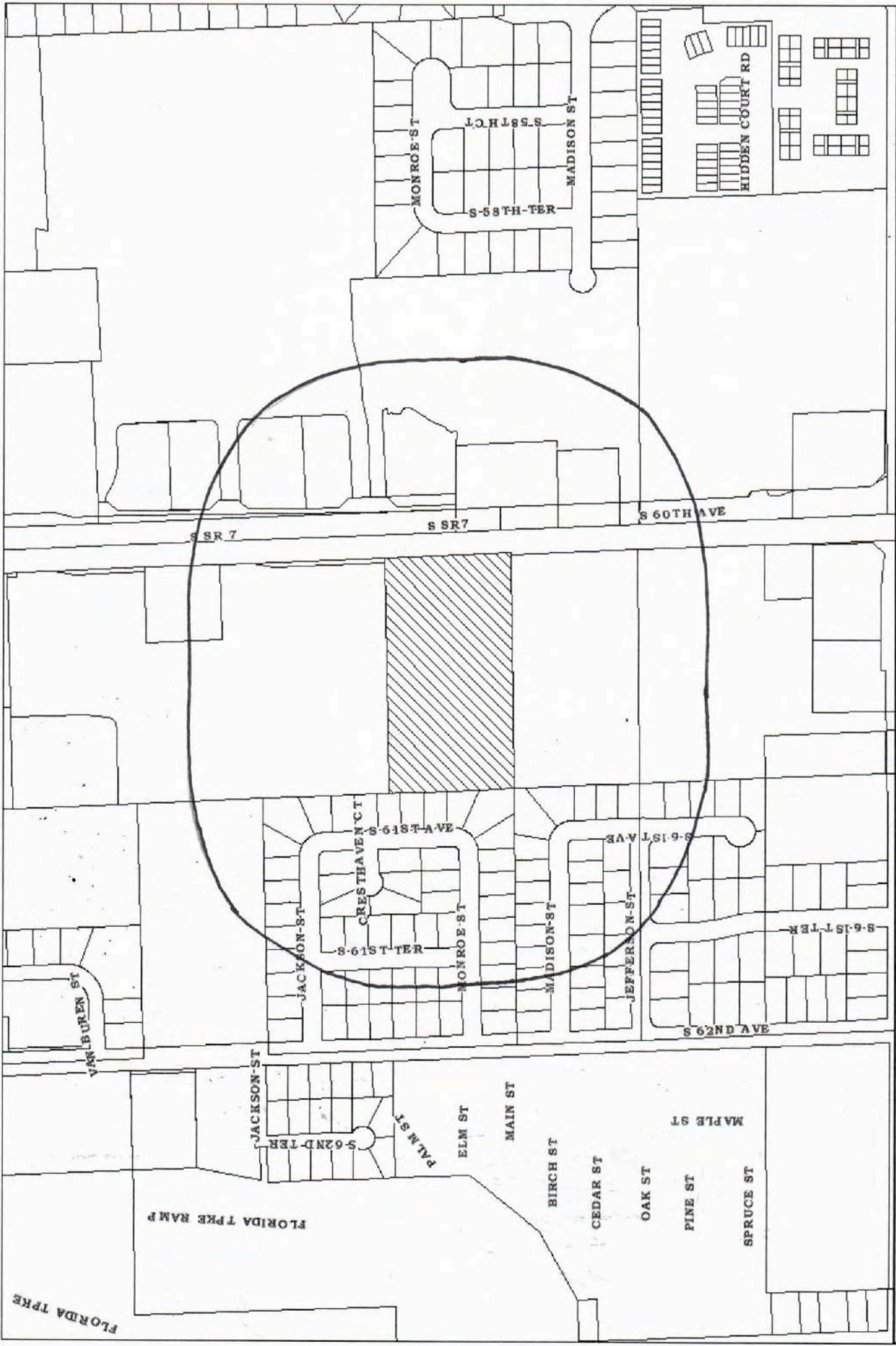
801-403-0226

jwyckoff@utexstorage.com

Meeting Place: 500 S State Rd 7

Meeting Time: 6 P.M.

Virtual Link: Microsoft Teams. **Meeting ID:** 263 421 860 730 **Passcode:** SoDbjn



500 S ST RD 7
 DATE OF PRINT: 06/30/2022

MARTY KIAR
 BROWARD COUNTY

MARTY KIAR
 BROWARD COUNTY PROPERTY APPRAISER

0 62.5125 250 375 500 Feet



CERTIFICATION LETTER

City of Hollywood

Date: July 8, 2022

Applicant: UTEX Storage Partners

Legal Description: Tract A of Grant's Farm Plat of as recorded in Plat Book 112 Page 31 of het Public Records of Broward County Florida.

Address or General Location: 500 S. State Road 7

This letter certifies that the attached list of property owners was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of June 30, 2022. This list includes all properties and Civic Associations within 500 feet from each property line of the subject site and the Planning Department and City Commission in regulations.

This letter also certifies that the attached notification was sent to the persons on the list of property owners. The notice was mailed July 8, 2022.

Finally, this letter certifies that the site was posted with 1 notice sign that meets the City of Hollywood notification regulations. The sign was posted July 8, 2022.

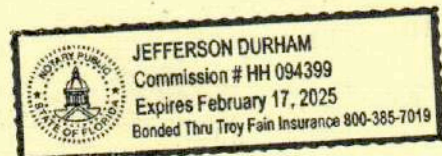
Thank You,

A handwritten signature in blue ink, appearing to read "Christina Mathews", is written over a horizontal line.

Christina Mathews

Sworn and subscribed before me this 8th day of July, 2022. She is personally known to me.

Signature of Notary



1025 Yale Drive
Hollywood, Florida 33021
954-920-2205
Email: cutroplanning@yahoo.com



Public Participation Outreach Meeting

July 27th, 2022



AGENDA

- Introduction
- Who we are
- Property overview
- Primary goals with Property
- Renderings
- Timeline
- Summary
- Open Discussion/Q&A



INTRODUCTION

- Meeting is to discuss the redevelopment of the Life Storage (former USA Storage) located at 500 S State Rd 7

WHO WE ARE

- UTEX Storage Partners is a real estate development and acquisition company with offices in Salt Lake City and Dallas.
- We use our expertise to develop and acquire self-storage facilities nationwide.
- Our goal is to partner with communities to create clean, safe, and high-quality facilities.



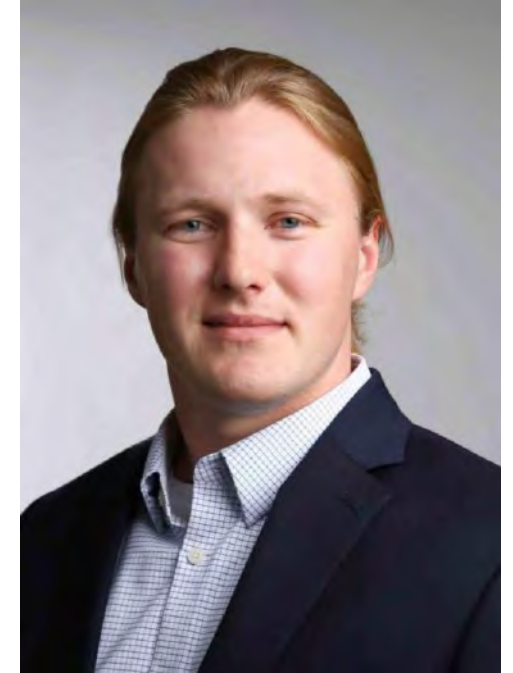
MEET OUR TEAM



Scott Wyckoff
Managing Principle



Justin Barnes
EVP of Development

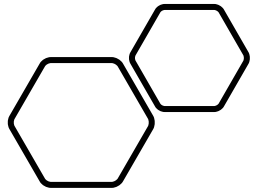


Jake Wyckoff
Development Manager



Property Overview

500 S State Rd 7, Hollywood, FL

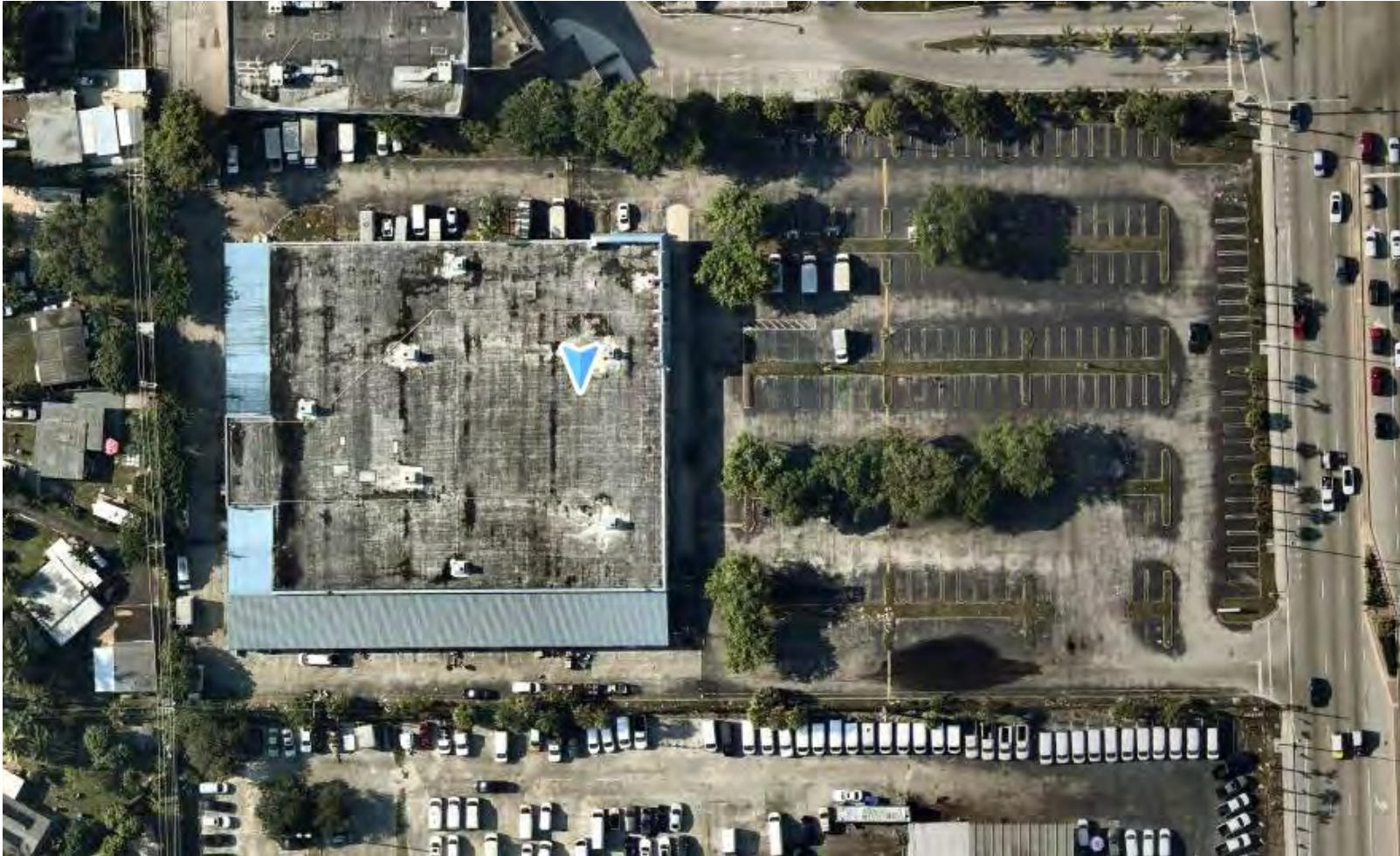


Current Condition



Presentation title



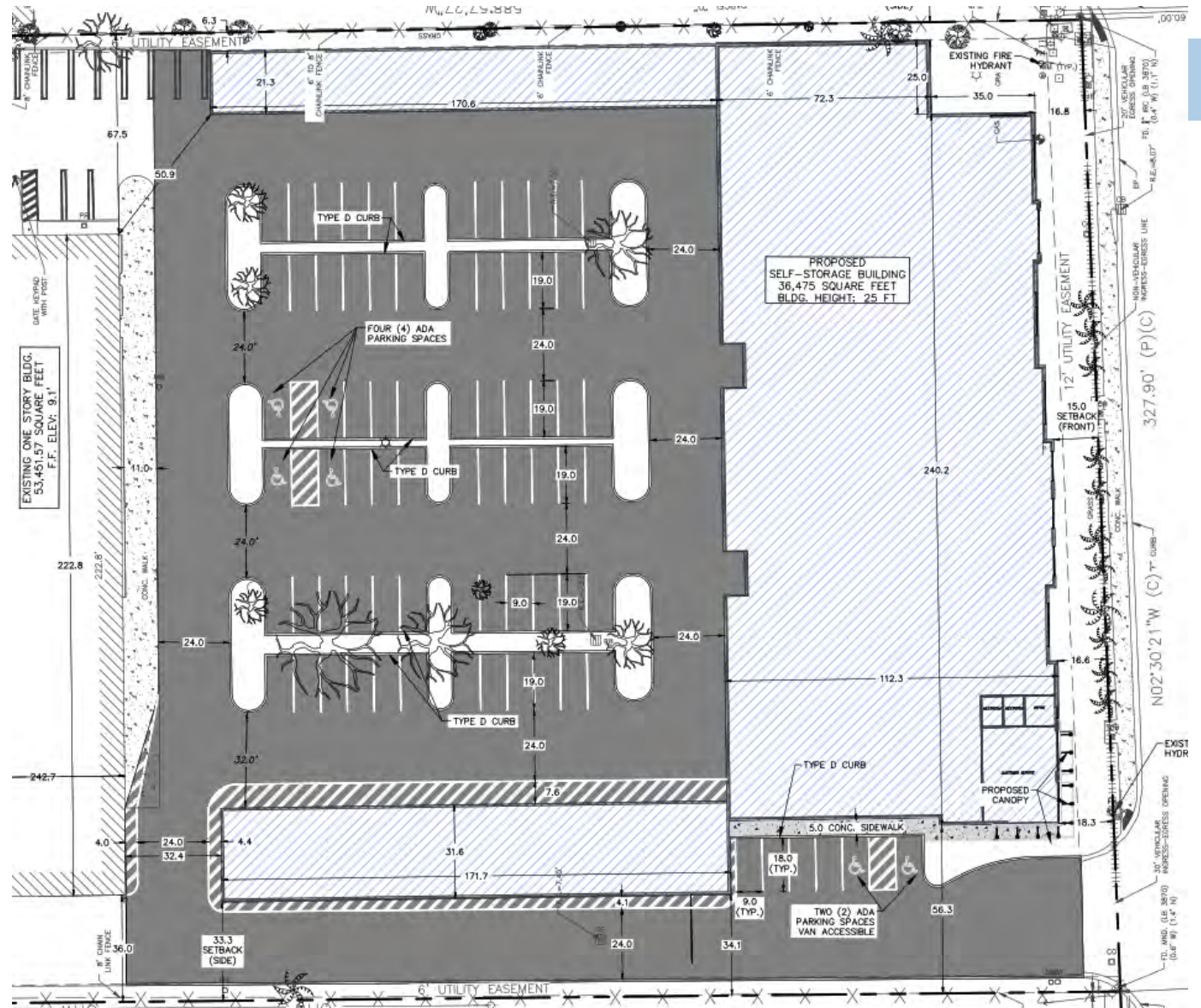


Current Condition (cont.)

Our Goal for the Site

- Enhance and Improve the overall appearance
- Improve security and management
- Improve customer experience and efficiency
- Coordinate with neighborhood to ensure that the property will add value to the community

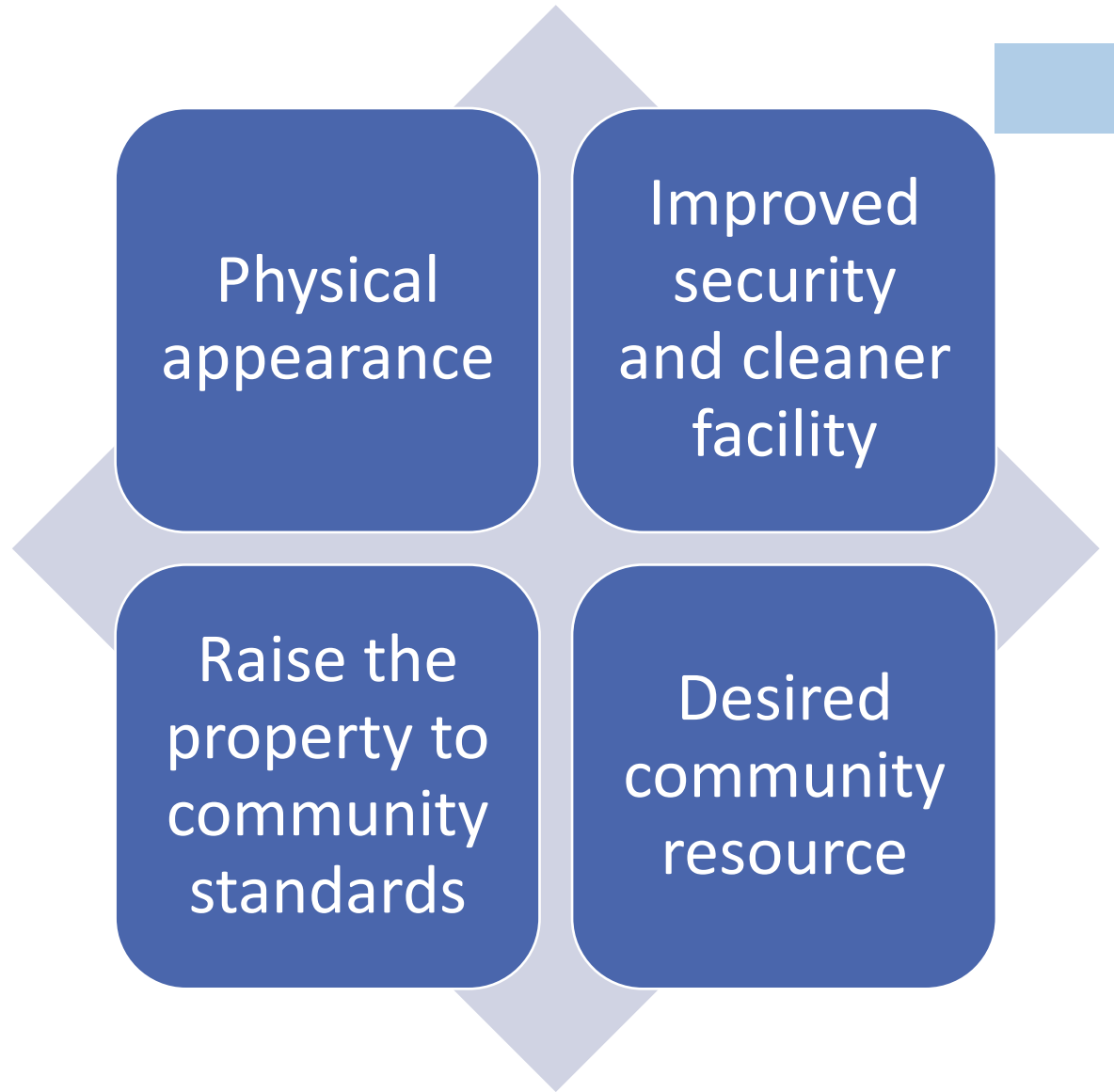
Proposed Site Layout



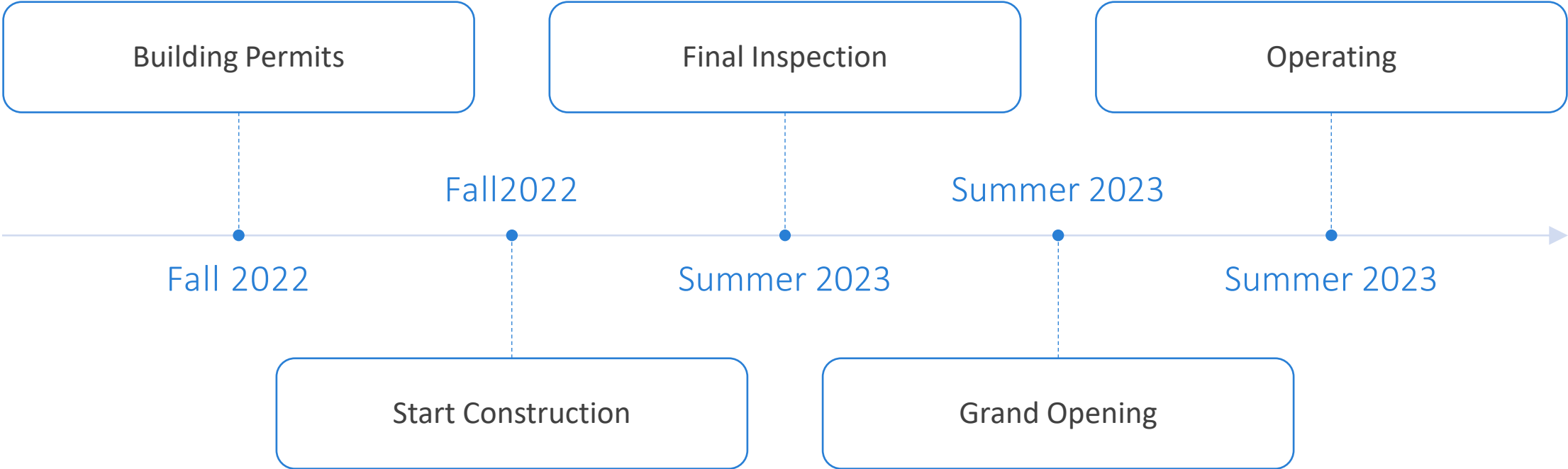


Proposed Street View

How this
will benefit
your
community



TIMELINE





THANK YOU

Justin Barnes

jbarnes@utexstorage.com

utexstorage.com

Any Questions?



Contact Information

Justin Barnes

EVP

jbarnes@utexstorage.com

Jake Wyckoff

Development Manager

jwyckoff@utexstorage.com

NOTICE OF PUBLIC OUTREACH MEETING

Sponsored by: UTEX Storage Partners

Project Name: 500 S. State Road 7

MEETING DATE & TIME: 7/27/2022 @ 6:00 PM

MEETING LOCATION: 500 S. State Road 7

Virtual link: Microsoft Teams

Meeting ID: 263 421 860 730

Passcode: SoDbjn

FOR ADDITIONAL INFORMATION: jbarnes@utexstorage.com

Posted: 5/27/2022 By: Cutro



January 13, 2023

Carmen Diaz
Planning Administrator
City of Hollywood
2600 Hollywood Blvd, Room 315
Hollywood, FL 33021

RE: Criteria Statement for 22-DP-34 500 S. State Road 7 Self-Storage Special Exception Application

Dear Carmen Diaz:

Please allow this letter to serve as the Criteria Statement for the Special Exception Application for project 22-DP-34. Our application includes one special exception request:

- Expansion of of a Legal Nonconforming Use pursuant to Section 3.12.G of the Development Zoning and Land Development Regulations: The property is currently operating as a self-storage facility with RV and vehicle parking which was a permitted use at the time the facility began operating.

The property is located within the S-MU zone which allows self-storage as a Main Permitted Use with the exception of being located north of Washington Street. The property also allows Outdoor Storage as and Accessory Use with the exception of locations located north of Washington Street. The property does not fall within the boundaries of any historic district or Community Redevelopment Agency jurisdiction.

The property currently contains a one-story building approximately 53,450 SF of interior and drive-up storage that is located towards the rear of the property. The front of the property is a large parking lot that contains approximately 259 parking spaces. The property was originally built in 1983 and operated as a Toys R Us retail store. The property was converted to a self-storage facility circa 2002. The property currently operates as a legal nonconforming use due to the exception added to the code in recent years that prohibits self-storage and outdoor storage north of Washington Street.

The subject property has a Future Land Use designation of Transit Oriented Corridor, and is zoned South Mixed-Use District. The South Districts are intended to encourage and orient the higher intensity and ground floor commercial uses towards State Road 7 to enhance the corridor, creating a more urban environment with buildings on the street edge, continuous sidewalks, and active uses which promote pedestrian activity.

Section 5.3G of the Hollywood Zoning and Land Development Regulations includes the standards for the granting of special exceptions. The applicant has been working diligently with Hollywood city staff to achieve to the greatest extent possible, compliance with City Regulations in section 5.3:



1. The proposed use must be consistent with the principles of the City's Comprehensive Plan:
 - a. **As noted above, one of the key elements of the applicant's proposal is to create a safer, cleaner and more manageable site. The application is consistent with the desires and intent of the City's Comprehensive Plan by "promoting the public health, safety, order, convenience, comfort and general welfare" to the community through economic development.**
2. The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.
 - a. **The intent of the S-MU zone within the TOD overlay is to "orient higher intensity and ground floor commercial uses towards State Road 7...create a more urban environment with buildings on the street edge, continuous sidewalks, and active uses which promote pedestrian activity". The application has achieved this to the greatest extent possible by locating the new building along State Road 7. The application has also demonstrated the desire to adhere to the City Regulations by designing the building to include ground floor "active uses" consistent with the development code. The retail activities are currently located towards the rear of the property, the proposal relocates such activities to the front of the property near the entrance, greatly enhancing the active uses of the property along State Road 7.**
3. That there will be provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.
 - a. **The application improves the existing traffic condition substantially. The internal traffic flow of the facility is awkward and cumbersome to the daily operations. The applicant has worked with city staff to ensure that the vehicle and pedestrian traffic to the property and within the property function properly.**
4. That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.
 - a. **The application adheres to the setback and buffering requirements of the code. As noted earlier, the property currently operates RV and vehicle parking rentals, which are not currently buffered. The application provides a buffer building to this activity which completely buffers the activity from view of State Road 7, which exceeds the code requirements. The building setbacks and height requirements are also compliant, which the existing use does not achieve.**
5. The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.
 - a. **The proposal is not detrimental to the adjacent uses. The applicant has worked with various city staff to ensure compliance with current codes and regulations as well as the overall enhancement of the aesthetics of the property.**
6. The subject parcel must be adequate in shape and size to accommodate the proposed use.
 - a. **The subject parcel is adequate in shape and size for the proposed expansion. As noted above, the applicant has worked with staff and consultants to ensure compliance to current setbacks, buffers, height restrictions, etc.**
7. The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.
 - a. **The proposed use is consistent with the Special Exception Criteria as shown above in response to section 3.12.G.**



In addition to the standards noted above, Section 3.12.G of the Hollywood Development Zoning and Land Development Regulations includes the standards for granting special exceptions for the expansion of a lawful non-conforming use:

1. The approval of the application is necessary for the preservation and enjoyment of substantial property rights of the applicant.
 - a. **The applicant has worked closely with various city staff in order to adhere to the intent of the Comprehensive Plan. The proposed project will promote active uses along State Road 7, improve site security and functionality, promote economic development, and contribute to the surrounding vicinity by enhancing the aesthetics of the current facility.**
2. The approval will not, under any circumstances of the particular case, be detrimental to the health and safety and general welfare of persons working or residing within the vicinity.
 - a. **The current expansion proposal will not adversely affect the health, safety and general welfare of persons within the vicinity. The proposal includes the following enhancements that will improve the health, safety and general welfare of persons within the vicinity: Site security enhancements, site lighting improvements, active uses to be located along State Road 7, and restricted and monitored access to the facility.**
3. The approval will not be detrimental or injurious to property and improvements in the vicinity or to the general welfare of the City.
 - a. **The current proposal will have a positive impact in the vicinity and to the general welfare of the City. The proposed expansion will allow the property to enhance the esthetics, improve security and contribute to the vision of the General Comprehensive Plan of the City of Hollywood through the significant economic investment into the community.**
4. The approval will, to the maximum extent possible, bring the use or building and the site upon which it is located into compliance with City Regulations.
 - a. **The applicant has been working with Hollywood city staff for the past several months to achieve to the greatest extent possible, compliance with City Regulations in section 5.3, including achieving compliant building setbacks, building heights, architectural compliance, active use adherence, and many other applicable standards.**

We are pleased to present this application as we consider our efforts to adhere to the General Comprehensive Plan and the Zoning and Land Development Regulations. We have worked closely with the Hollywood staff to ensure that the proposal will enhance not only the property, but also the surrounding community. We look forward to adding to the community and continuing our partnership with the City of Hollywood.

Sincerely,

Justin Barnes

A handwritten signature in black ink, appearing to read "Justin Barnes", written over a light blue horizontal line.

UTEX Storage Partners



Adjacent property to the North:



Adjacent property to the South:



Adjacent property to the East on the other side of State Rd 7:



Adjacent residential neighborhood West of subject property:



Subject Property: 500 S State Rd 7

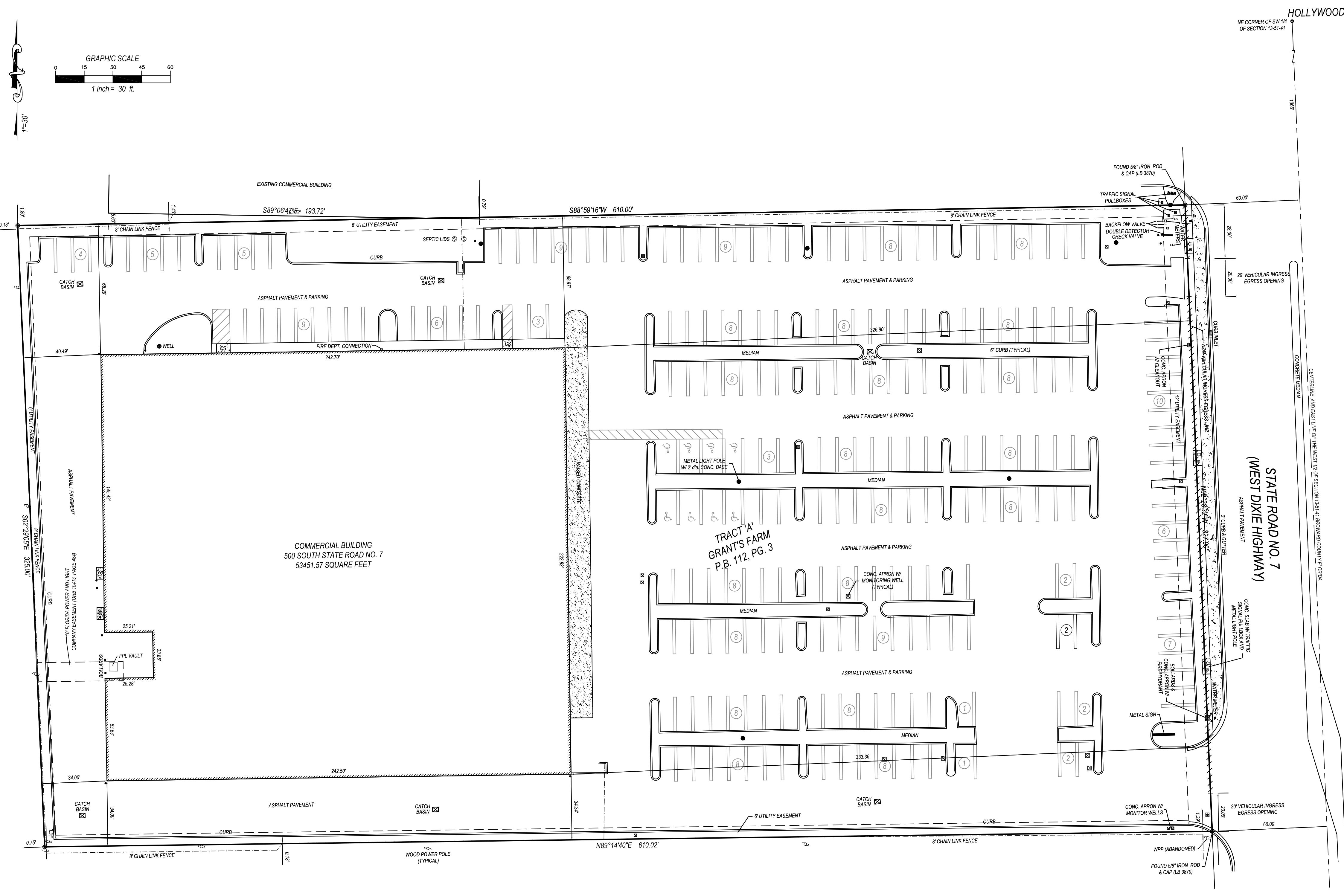
Old existing building pre-renovation:





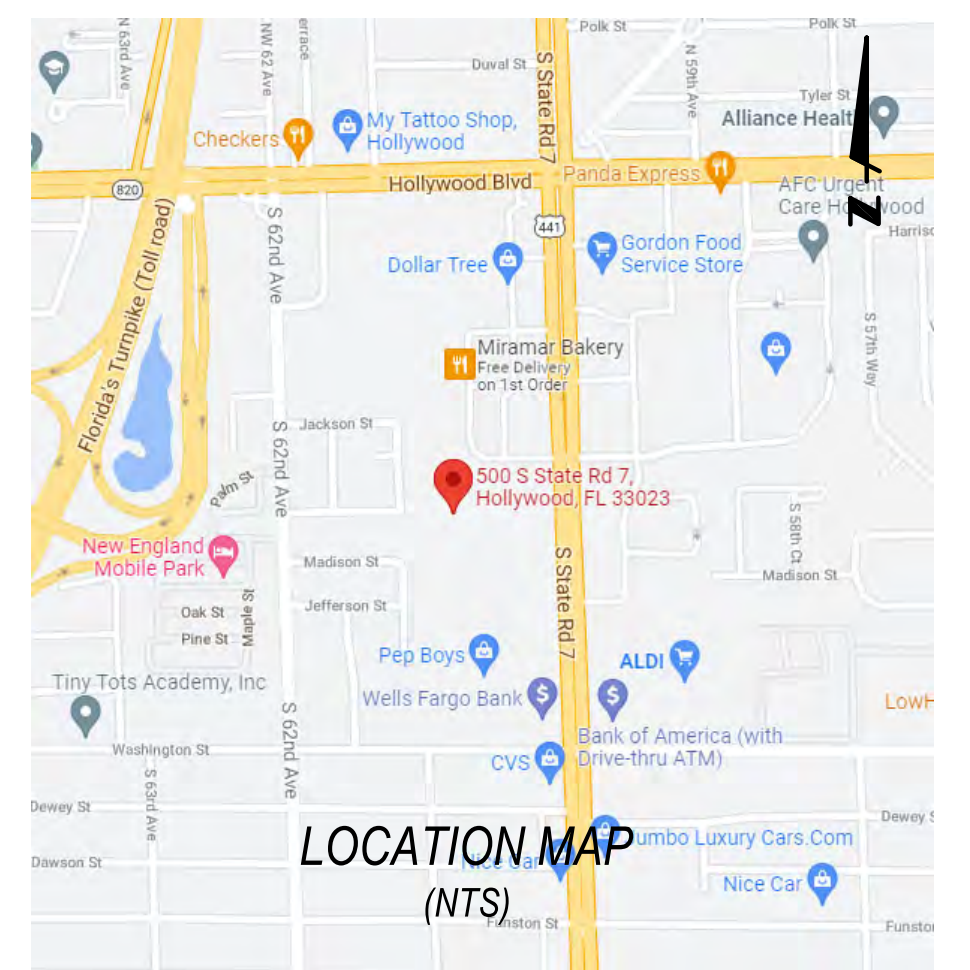
Existing building post-renovation:





PROPERTY ADDRESS:
500 S STATE ROAD 7
HOLLYWOOD, FL 33023

FLOOD ZONE: X AND AH 9"
Panel No.: 12011C 0564H
Date: AUGUST 18, 2014



CERTIFIED TO:
1. WASATCH STORAGE PARTNERS II, LLC
2. FIRST AMERICAN TITLE INSURANCE COMPANY

LEGAL DESCRIPTION:
TRACT A, GRANT'S FARM, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 112, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA CONTAINING 199,108 SQUARE FEET OR 4.57 ACRES±.

- SURVEYOR'S NOTES:**
1. I HEREBY CERTIFY THIS SURVEY MEETS STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.050-.052, OF THE FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES.
 2. THE SURVEY MAP AND REPORT AND THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR VERIFIED ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 3. UNDERGROUND OR OBSCURED IMPROVEMENTS WERE NOT LOCATED.
 4. DIMENSIONS ARE RECORD AND FIELD UNLESS OTHERWISE NOTED.
 5. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 6. THIS FIRM'S CERTIFICATE OF AUTHORIZATION NUMBER IS LB 8261.
 7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 8. SURVEY SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD. (SEE TITLE REVIEW).
 9. LOCATION MAP IS GLEANED FROM ONLINE MAPPING SITES AND AND IS ONLY APPROXIMATE.
 10. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD'88)

TITLE REVIEW:
A REVIEW OF THE OWNERSHIP AND ENCUMBRANCE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-1105669A-HOU1, DATED SEPTEMBER 20, 2022, IN SUPPORT OF THE SCHEDULE B-II REFERENCED BELOW, UPDATED AND REVISED 05/19/2022, DATED MAY 13, 2022 @ 7:30 AM, WAS REVIEWED BY THIS OFFICE. SCHEDULE B EXCEPTIONS ARE AS FOLLOWS:
EXCEPTIONS 1-9 ARE GENERAL EXCEPTIONS AND ARE NOT DEPICTED
EXCEPTION 10, PLAT BOOK 112, PAGE 31, DEPICTED
EXCEPTION 11, ORB 10279, PAGE 371, ORB 10704, PAGE 413, AFFECTS UNPLOTTABLE
EXCEPTION 12, ORB 10413, PAGE 484, ORB 46523, PAGE 1369, ORB 47031, PAGE 1981, PLOTTED
EXCEPTION 13, ORB 10704, PAGE 417, AFFECTS UNPLOTTABLE (BLANKET)
EXCEPTIONS 14-17, AFFECTS UNPLOTTABLE, RESOLUTIONS

DATE	BY	REVISION
11-02-22	DW	UPDATE O & E REPORT
08-10-22	JH	UPDATE O & E REPORT
05-20-22	JH	REVISED TITLE
05-20-22	JH	UPDATE
05-06-22	JH	ZONING REPORT/ALTA
03-28-22	JH	BOUNDARY SURVEY
01-17-22	DPK	DRAFT

JOB# 521-1274

ALTA / NSPS LAND TITLE SURVEY

THE PLANNING & ZONING RESOURCE COMPANY
1300 South Meridian Avenue, Suite 400 • Oklahoma City, Oklahoma 73109
Telephone (405) 840-4344 • Fax (405) 840-2608

ZONING AND SITE REQUIREMENTS SUMMARY

I. Property Location and Size

1. Jurisdiction:	City of Hollywood, Florida
2. Name:	500 South State Road 7
3. Address:	500 South State Road 7
4. Size:	Per Survey, 4.57 Acres or 199,108 Square Feet ±

II. Existing Land Use and Zoning

1. Date of Existing Ordinance:	Passed January 15, 2020
2. Existing Zoning Designation:	"S-MU" South Mixed-Use a State Road 7 Transit Oriented Corridor District
3. Adjacent Zoning Designation and or Use if Applicable:	North, South and East: S-MU West: RS-8 Single Family
4. Existing Land Use:	Self-Storage Facility with parking spaces to store vehicles (NS)

III. Zoning Regulations

1. Are copies of zoning regulations available for this site?	Yes, Attached
2. If any aspect of the property is not in conformance with current zoning, does the municipality provide ordinances dealing with non-conforming use?	Yes, Attached

IV. Property Specification

1. Building Set-Back Lines	Required	Existing
a. State Road 7:	Minimum 10 Feet Maximum 30 Feet	326.90 Feet to 333.36 Feet (Per Survey)
b. Side abutting Nonresidential:	None Required	Not Applicable as none is required
c. Rear abutting Residential:	Minimum 20 Feet	34 Feet (Per Survey)
d. Separation between Self-Storage from another Self-Storage Facility:	0.25 Mile	Per Aerial Imagery, exceeds 0.25 from another self-storage facility
Parking Setbacks		
a. Front:	Minimum 10 Feet	Minimum 5 Feet (Per Scale of Survey)
b. Side, Rear, Alley:	Minimum 5 Feet	Minimum 4 Feet (Per Scale of Survey)

Is The Existing Building in Conformance? No. See Section "VI" (See Section 4.6.D, 3.23.H for Code reference)

2. Building Size

a. Maximum Building Height or Stories:	45 Feet when within 100 Feet of a Residential District. (Rear property line abuts RS-8 District. Per Survey, Building is 24 Feet from the property line). For portions of the building which exceed 100 Feet from the Residential District, 65 Feet Permitted.
b. Existing Building Height or Stories:	1 Story (Per Aerial Imagery) 12 Feet (Estimated at 12 Feet per Story)
c. Building Site Area Requirements:	Minimum Open Space: 5% Existing: 5% (Per Scale of Survey and Aerial Imagery) Minimum Active Uses on the Ground Floor on State Road 7: 60% Existing: None (Per Aerial Imagery) Minimum Lot Area for Self-Storage Facilities: 1 Acre Existing: 4.57 Acres (Per Survey)

Is The Existing Building in Conformance? No. See Section "VI" (See Section 4.6.D, 4.22.U for Code reference)

3. Density

a. Building Density Formula:	None Specified
b. Approximate Building Footprint:	53,451.57 Square Feet (Per Survey)
c. Approximate Gross Floor Area:	54,380 Square Feet (Per Assessor's Record)

Is The Building Coverage in Conformance? Yes (See Section 4.6.D for Code reference)

4. Parking

a. Parking Space Formula:	Minimum - Self-Storage Facility: 1 Space per 10,000 Square Feet (64,360 / 10,000 = 6.4) Maximum in the S-MU District - 20% the required minimum (6.4 x 0.20 = 1.28)
b. Parking Spaces Required:	Minimum 5 Total Parking Spaces Maximum 7 Total Parking Spaces
c. Existing Parking Spaces:	258 Total Parking Spaces including 8 Handicap Parking Spaces (Per Count of Survey)

Is The Existing Parking in Conformance? No. See Section "VI" (See Section 4.6.D, 7.2 for Code reference)

I hereby certify to Texas Capital Bank, its successors and/or assigns, UTXIII Miami Hollywood, LLC, a Delaware limited liability company, and First American Title Company that this map or plat and the survey on which it is based were made in accordance with the 2011 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19, 20 and 21 of Table A thereof.

The field work was completed on 01-07-22

SIGNED: DOUG WALKER
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 7211

DATE: 11-02-22

PRINCIPAL MERIDIAN SURVEYING, Inc.
LICENSED BUSINESS NO. 8261
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
OFFICE 561-478-7764

SELF - STORAGE 500 S. STATE ROAD 7 HOLLYWOOD, FLORIDA

CITY OF HOLLYWOOD MEETING DATES:
PRELIMINARY TAC MEETING: JUNE 20, 2022
FINAL TAC MEETING: SEPTEMBER 6, 2022

DEVELOPED FOR:
UTEX STORAGE PARTNERS



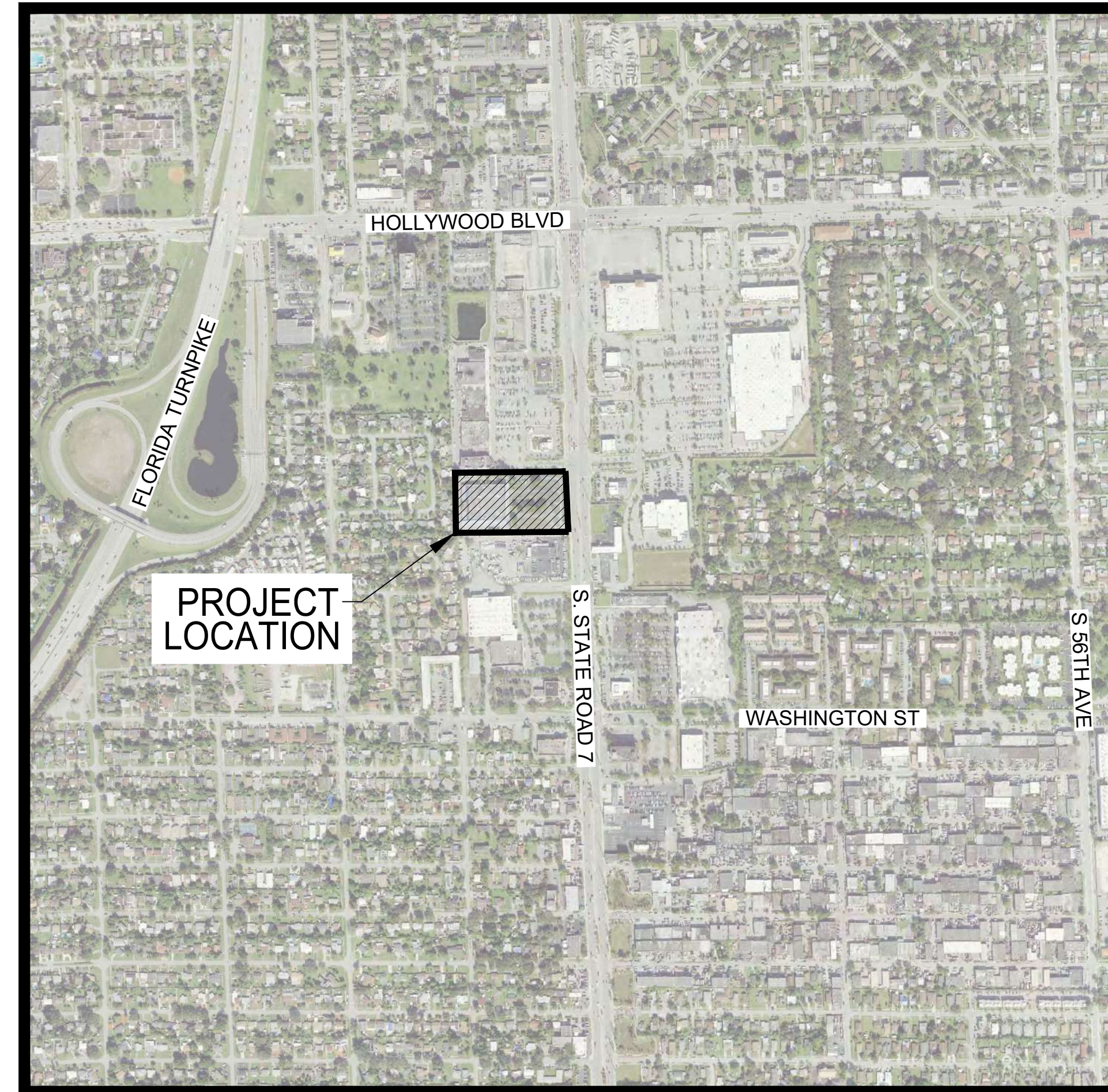
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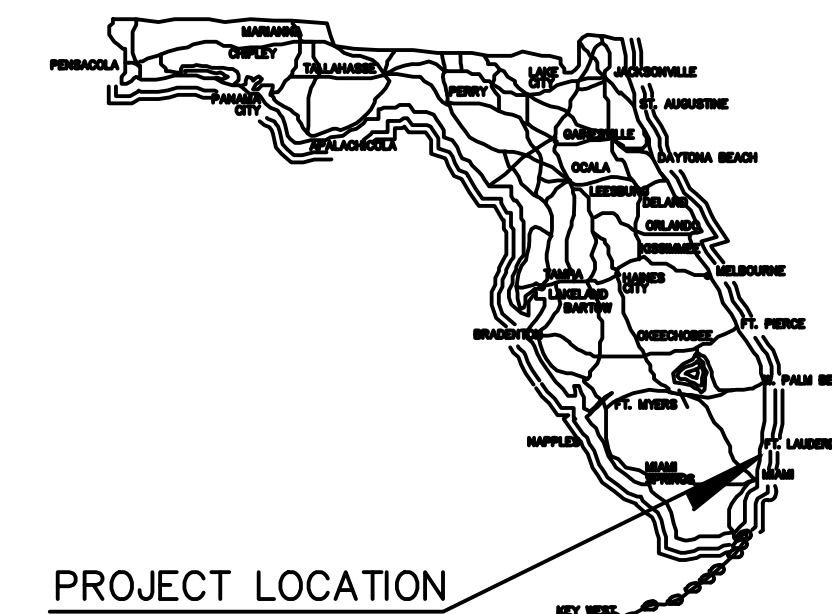
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LOCATION SKETCH
SECTION: 13 TWN: 51 RANGE: 41E
Scale: 1" = 600'



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JANUARY, 2023

APPROVALS			
AGENCY	SUBMITTAL DATE	APPROVAL DATE	PERMIT NUMBER



**PERMIT SET
NOT FOR CONSTRUCTION**

SHEHAB BATA, P.E.
REGISTERED ENGINEER NO. 85007
STATE OF FLORIDA

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHEHAB BATA ON THE DATE ADJACENT TO THE SEAL.
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GENERAL NOTES

- ALL WORK SHALL BE ACCOMPLISHED ACCORDING TO APPLICABLE STATE, COUNTY, MUNICIPAL, AND LOCAL CODES.
- WORK IN CONNECTION WITH UTILITY OWNED BY BROWARD (COUNTY) SHALL BE IN CONFORMANCE WITH THE COUNTY'S LATEST TECHNICAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, AND APPROVED MATERIALS LIST(AML).
- CONTRACTOR WILL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES FOR LOCATION OF THEIR EXISTING FACILITIES. IT WILL THEN BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE THESE FACILITIES FOR THE EXACT LOCATIONS. CONTACT SUNSHINE "811" NOT LESS THAN 2 FULL BUSINESS DAYS AND NO MORE THAN 5 BUSINESS DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT/ LOCATE OTHER UTILITIES NOT SUBSCRIBING TO "SUNSHINE" ONE CALL "811."
- CONTRACTOR MUST ABIDE BY "UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT," CHAPTER 556, FLORIDA STATUTES (F.S.); OTHER LAWS MAY ALSO AFFECT EXCAVATIONS SUCH AS, "TRENCH SAFETY ACT," PART III, CHAPTER 553, F.S.; "THE GAS SAFETY LAW OF 1967," PART 1, CHAPTER 368, F.S.; THE FEDERAL PIPELINE SAFETY ACT; AND OSHA STANDARD 1926.651.
- LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF THESE UTILITIES PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY OTHER UTILITIES (NOT SHOWN ON THE PLANS) WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE ANY UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY AND NOTIFY THE RESPECTIVE OWNERS TO RESOLVE UTILITY CONFLICTS AND UTILITY ADJUSTMENTS, AS REQUIRED.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN OR AROUND EXISTING COUNTY-OWNED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY AT LEAST 2 BUSINESS DAYS IN ADVANCE OF ANY EXCAVATION WITHIN TEN (10) FEET OF COUNTY-OWNED UTILITY SO THAT A COUNTY REPRESENTATIVE MAY BE PRESENT.
- CONTRACTOR WILL ASSUME LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE CONTRACTOR'S OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER AND THE APPROPRIATE UTILITY COMPANIES WHEN THEIR EXISTING FACILITIES CONFLICT WITH THE CONSTRUCTION.
- NO SUBSURFACE EXPLORATORY INVESTIGATION OF COUNTY UTILITIES WAS PERFORMED.
- EXISTING COUNTY-OWNED UTILITIES WITHIN THE LIMITS OF CONSTRUCTION ARE TO REMAIN, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUBMIT APPLICATION FOR WORK WITHIN R.O.W. ALONG WITH THE PLANS FOR MAINTENANCE OF TRAFFIC AT THE PRE-CONSTRUCTION MEETING. BROWARD COUNTY APPROVAL IS REQUIRED PRIOR TO IMPLEMENTATION. BARRICADES AND LIGHTING FOR TRAFFIC CONTROL SHALL CONFORM TO CURRENT EDITION OF F.D.O.T. MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES.
- CONTRACTOR SHALL SUBMIT ALL REQUIRED SHOP DRAWINGS FOR COUNTY APPROVAL PRIOR TO ORDERING OF MATERIALS AND/OR INSTALLATION. THE LATEST EDITION OF COUNTY APPROVED MATERIALS LIST (AML) IS INCLUDED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR PROPOSING SUBSTITUTION OF SPECIFIED MATERIALS AFTER AWARD OF BID SHALL BE DIRECTED TO ENGINEER-OF-RECORD AND ACCOMPANIED WITH MANUFACTURER'S DRAWINGS, SPECIFICATION AND PERTINENT DATA TO ESTABLISH EQUIVALENCY OF THE PROPOSED SUBSTITUTION. AT THE COUNTY'S OPTION, A SIGNED AND SEALED CERTIFICATION BY A FLORIDA LICENSED ENGINEER MAY BE REQUIRED. THERE IS NO GUARANTEE THAT APPROVAL OF SUBSTITUTE MATERIALS PROPOSED WILL BE GRANTED.
- EXISTING GAS SERVICE LINES WITHIN THE PROJECT LIMITS SHALL REMAIN UNDISTURBED. CONTRACTOR SHALL PROTECT THE EXISTING GAS SERVICE MAIN TO THE MAXIMUM EXTENT POSSIBLE, AND SHALL CONTACT FLORIDA PUBLIC UTILITIES (FPUC) IN ADVANCE PRIOR TO WORK INVOLVING THE POTENTIAL FOR RELOCATION OR ADJUSTMENT REQUIRED BY FPUC.
- WHEN DEWATERING IS REQUIRED, DEWATERING PUMPS SHALL BE POWERED BY ELECTRIC DRIVEN MOTORS ONLY. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH FLORIDA POWER & LIGHT (FPL) TO PROVIDE THE TEMPORARY ELECTRIC SERVICE POINTS FOR THE DEWATERING OPERATION.
- DEWATERING SHALL BE INCLUDED IN THE COST OF UTILITY PAY ITEMS.
- SANITARY SEWER PAY ITEMS SHALL INCLUDE SEWAGE FLOW BYPASS PUMPING, ENVIRONMENTAL PROTECTION, AND PROPER HANDLING OF SEWAGE DISCHARGE.
- CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND/OR REMOVAL, STORAGE AND REINSTALLATION OF EXISTING ITEMS TO BE ADJUSTED BUT NOT REPLACED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER-OF-RECORD PRIOR TO COMMENCING CONSTRUCTION IF SAID ITEMS ARE DAMAGED, MISSING, OR IN A DETERIORATED CONDITION.
- ALL EXISTING COUNTY UTILITY MARKERS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED, STORED, AND REINSTALLED BY THE CONTRACTOR. LOCATION TO BE DETERMINED BY THE COUNTY. CONTRACTOR SHALL EXERCISE CAUTION DURING THE REMOVAL OF EXISTING COUNTY UTILITY MARKERS TO PREVENT ANY UNNECESSARY DAMAGE. UTILITY MARKERS DAMAGED BEYOND USE, AS DETERMINED BY THE COUNTY REPRESENTATIVE, SHALL BE REPLACED BY CONTRACTOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROJECT AND SUPPORT EXISTING UTILITIES AND MAINTAIN CONTINUOUS SERVICE OF ALL UTILITIES. SPECIFICALLY WATER AND DAMAGE. FOR SCHEDULED TIE-INS/SERVICE CONNECTIONS, THE CONTRACTOR SHALL COORDINATE WITH PRIVATE PROPERTY OWNERS OR THEIR REPRESENTATIVE AT LEAST 7 CALENDAR DAYS PRIOR TO ANY SERVICE INTERRUPTIONS. SCHEDULED TIE-INS/ SERVICE CONNECTIONS SHALL BE SCHEDULED FOR AFTER HOURS OR NIGHT TIME DURING LOW DEMANDS (BETWEEN 10:00 P.M. AND 6:00 A.M.) AS REQUIRED BY THE COUNTY.
- TRENCH RESTORATION AND BACKFILL SHALL BE IN CONFORMANCE WITH COUNTY REQUIREMENTS. ASSOCIATED COST SHALL BE INCLUDED IN THE UTILITY PAY ITEMS.
- UNLESS OTHERWISE SPECIFIED IN THE PLANS OR SPECIFICATION, THE FOLLOWING REQUIREMENTS SHALL APPLY:
 - COMPACTION OF BACKFILL SHALL BE ACCORDING TO ASTM D1557 AND SHALL BE 98% WITHIN RIGHT OF WAY OR UNDER STRUCTURES; 95% ALL OTHER BACKFILL. ALL FAILED DENSITY TESTS MUST BE IMMEDIATELY REPORTED TO THE COUNTY.
 - UNLESS OTHERWISE SPECIFIED, FURNISH CONCRETE WITH TYPE II PORTLAND CEMENT ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 4000 PSI FOR WALKS, CURBS, GUTTERS, DRIVEWAYS AND SIMILAR CONSTRUCTION; 4000 PSI FOR ALL OTHER WORK. UNLESS OTHERWISE SPECIFIED, MAXIMUM SLUMP SHALL BE 5" CYLINDER TEST AND PAYMENT THEREFORE SHALL BE AS INDICATED IN THE SPECIFICATIONS.
 - CAST-IN-PLACE CONCRETE SHALL CONFORM TO PERTINENT STANDARDS OF THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM).
 - SOILS USED TO BACKFILL UTILITY EXCAVATIONS SHOULD CONSIST OF RELATIVELY CLEAN SANDS HAVING NO MATERIALS LARGER THAN TWO INCHES IN SIZE, NOT MORE THAN 12 PERCENT PASSING THE U.S. STANDARD NO. 200 SIEVE. SUCH BACKFILL SHALL NOT CONTAIN MORE THAN 3 PERCENT ORGANICS OR OTHER DELETERIOUS MATERIALS BY WEIGHT IN ACCORDANCE WITH SECTION 125 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. AREAS/SOILS OF CONCERN, IF EXPOSED DURING FORCE MAIN INSTALLATION, SHOULD BE EXAMINED AND TESTED DURING CONSTRUCTION. SHOULD HIGH SILT CONTENT, ORGANIC, OR OTHER DELETERIOUS MATERIALS BE ENCOUNTERED AT OR BELOW THE PIPE INVERT, SUCH SOILS SHALL MAY BE CONSIDERED COMPRESSIBLE AND UNSUITABLE FOR PIPE SUPPORT AND SHOULD BE EXCAVATED AND REMOVED. THESE SOILS SHOULD BE REPLACED WITH COMPACTED CLEAN COARSER SAND

- OR FDOT NO. 57 COARSE AGGREGATE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. WELDED WIRE MESH SHALL CONFORM TO ASTM A185. BENDS AND PLACEMENT SHALL CONFORM TO PERTINENT STANDARDS OF ACI AND ASTM.
 - ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A MINIMUM 3/4" CHAMFER.
 - ALL STORM, SANITARY, WATER OR FORCE MAIN PIPE SHALL BE LAID IN A CLEAN, DRY TRENCH. DEWATERING AS REQUIRED SHALL BE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL MAKE ALL INSTALLATION PURSUANT TO THE FLORIDA TRENCH ACT. DISCHARGE WATER SHALL NOT BE DIRECTED THROUGH THE PIPE BEING LAID.

DISPOSITION OF EXCAVATED MATERIALS

- BROKEN PAVEMENT AND OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL, UNLESS OTHERWISE DIRECTED BY THE ENGINEERING SERVICES DEPARTMENT. EXCAVATED MATERIALS SHALL NOT BE STOCKPILED IN THE RIGHT-OF-WAY DURING CONSTRUCTION WITHOUT SPECIFIC APPROVAL OF THE ENGINEERING SERVICES DEPARTMENT. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE WORK SITE AND DISPOSED OF LEGALLY BY THE PERMITEE AT THEIR OWN EXPENSE.

IDENTIFICATION AND COLOR OF PIPE & FITTINGS

A. POTABLE WATER MAINS

- ALL WATER MAIN PIPE AND FITTINGS SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE. SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO OR APPLIED TO, THE EXTERNAL PIPE WALL.
- UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 180-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE. THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINT THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG BOTH SIDES. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.
- BLUE WARNING TAPE WITH "WATER" PRINTED ON THE TAPE SHALL BE PLACED IN THE TRENCH DURING BACKFILL OF THE WATER PIPE, A VERTICAL DISTANCE OF 18" ABOVE THE CROWN OF THE PIPE.
- ABOVE GROUND PIPE AT DRINKING WATER TREATMENT PLANTS AND PUMP STATIONS SHALL BE COLOR CODED AND LABELED IN ACCORDANCE WITH SUBSECTION 62-555 320(10), F.A.C.
- INSTALL METALLIC TRACING WIRE OR LOCATING TAPE ON THE TOP OF ALL PVC OR ANY OTHER NON-METAL PIPE FOR FUTURE LOCATING PURPOSES.

INSPECTIONS

- ALL AS BUILT MEASUREMENTS & ELEVATIONS TO BE MADE BY A FLORIDA REGISTERED AND LICENSED LAND SURVEYOR.
- CONTRACTOR SHALL PROVIDE ALL AS-BUILTS WITH FP&L POWER SUPPLY SHOWN, FROM SOURCE TO METER.
- WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE COUNTY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING WARRANTY PERIOD, THE AFFECTED PART, PARTS OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO EXPENSE TO THE COUNTY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE COUNTY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL PREPARE AND PROVIDE ALL AS-BUILT RECORD DRAWINGS (PARTIAL & FINAL) AS REQUIRED FOR RELEASE AND ACCEPTANCE OF NEW SYSTEM BY THE PBC HEALTH DEPARTMENT AND AS SPECIFIED PER CONTRACT DOCUMENTS. AS-BUILT DRAWINGS, SIGNED AND SEALED BY EITHER A CERTIFIED REGISTERED LAND SURVEYOR OR LICENSED PROFESSIONAL ENGINEER.
- FINAL ACCEPTANCE OF COUNTY WATER AND SEWER INSTALLATION SHALL BE PREDICATED UPON RECEIPT OF AS-BUILT DRAWINGS, SIGNED AND SEALED BY EITHER A FLORIDA CERTIFIED REGISTERED LAND SURVEYOR OR FLORIDA LICENSED PROFESSIONAL ENGINEER. RECORD DRAWING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.
- PRESSURE AND LEAKAGE TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE OR AN APPOINTED REPRESENTATIVE. CONTRACTOR WILL PROVIDE ALL NECESSARY APPARATUS INCLUDING PUMP, MEASURING DEVICE, PIPING CONNECTIONS, FITTINGS AND THE NECESSARY LABOR TO CONDUCT THE TEST. THE TEST SHALL BE A MINIMUM 2 HOUR DURATION. DURING THE TEST, THE PIPE BEING TESTED SHALL BE MAINTAINED AT A PRESSURE OF NOT LESS THAN 150 PSI FOR WATER MAINS AND 100 PSI FOR FORCE MAINS. THERE SHALL NOT BE A LOSS OR GAIN OF MORE THAN 5 PSI DURING THE TEST. FOR WATER MAIN, LEAKAGE IS DEFINED AS THE QUANTITY OF WATER ADDED TO THE PIPE AFTER THE TESTING PERIOD. NO PIPE INSTALLATION WILL BE ACCEPTED IF THE LEAKAGE EXCEEDS THE QUANTITIES SPECIFIED IN AWWA C-600 SECTION 5.2.
- CONTRACTOR SHALL SUBMIT TO THE ENGINEER THE PROPOSED TESTING PATTERN TO FOLLOW. THIS SHALL BE SUBMITTED FOR APPROVAL BY THE ENGINEER TO THE COUNTY PRIOR TO TESTING. UNLESS APPROVED BY THE ENGINEER, THE CONTRACTOR SHALL NOT TEST MORE THAN 1,500' OF PIPE IN A SINGLE TEST, AND ALL SERVICES MUST BE INSTALLED.
- BROWARD COUNTY SHALL BE GIVEN A MINIMUM OF 48 HOURS NOTICE TO ENABLE THE UTILITY DEPARTMENT'S REPRESENTATIVE TO BE PRESENT FOR OBSERVATIONS.

PIPE HANDLING AND STORAGE

- HANDLING:** PIPE, FITTINGS AND ACCESSORIES SHALL BE CAREFULLY INSPECTED BEFORE AND AFTER INSTALLATION. PIPE AND FITTINGS SHALL BE FREE FROM FINNS AND BURRS. ITEMS FOUND TO BE DEFECTIVE SHALL BE REJECTED. PIPE SEGMENTS SHALL BE CAREFULLY LOWERED INTO TRENCHES WITH THE PROPER EQUIPMENT. PIPE, FITTINGS AND ACCESSORIES SHALL NOT BE DROPPED OR DUMPED INTO TRENCHES UNDER ANY CIRCUMSTANCES.
- STORAGE:** PIPE SHOULD BE STORED AT THE JOB SITE IN UNIT PACKAGES PROVIDED BY THE MANUFACTURER. CAUTION SHOULD BE EXERCISED TO AVOID COMPRESSION DAMAGE OR DEFORMATION TO BELL ENDS OF THE PIPE. PIPE SHOULD BE STORED IN SUCH A WAY AS TO PREVENT SAGGING OR BENDING AND PROTECTED FROM EXPOSURE TO DIRECT SUNLIGHT BY COVERING WITH AN OPAQUE MATERIAL THAT PERMITS ADEQUATE AIR CIRCULATION ABOVE AND AROUND THE PIPE. GASKETS SHOULD BE STORED IN A COOL, DARK PLACE OUT OF THE DIRECT RAYS OF THE SUN, IN THE ORIGINAL PACKAGING.

SURVEY INFORMATION

- TOPOGRAPHIC SURVEY INFORMATION WAS OBTAINED FROM PLANS TITLED "MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY, 500 SOUTH STATE ROAD 7, HOLLYWOOD, FLORIDA", DONE BY CRAIG A. SMITH & ASSOCIATES DATED MARCH 24th, 2022.
- HORIZONTAL INFORMATION SHOWN IS RELATIVE TO THE STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983(NAD 83) -2011 ADJUSTMENT.
- ALL ELEVATIONS HERON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88)
- VERTICAL DATUM CONVERSION FACTOR FOR THE PROJECT LOCATION IS NGVD29 = NAVD88 + 1.52'

SUBMITTALS:

- CONTRACTOR SHALL SUBMIT FLUSHING, PIGGING AND SAMPLING PLAN TO THE COUNTY FOR APPROVAL.
- CONTRACTOR SHALL COMPLY WITH ALL SUBMITTAL REQUIREMENTS AS DEFINED IN THE CONSTRUCTION SPECIFICATIONS.

CONSTRUCTION HOURS

- THE DAYS AND HOURS OF CONSTRUCTION ARE AS FOLLOWS:
NORMAL CONSTRUCTION HOURS SHALL BE 7:00 AM TO 7:00 PM ON MONDAY THROUGH FRIDAY AND SHALL BE LIMITED TO 8:00 AM TO 8:00 PM ON SATURDAY AND SUNDAY. CONSTRUCTION WORK OR OTHER WORK RESULTING IN NOISE, VIBRATIONS OR DUST TENDING TO DISTURB THE PEOPLE OR THE PROPERTY WITHIN THE VICINITY THEREOF SHALL NOT BEGIN UNTIL THE HOUR OF 9:00 A.M. AND SHALL BE COORDINATED WITH THE COUNTY 48 HOURS IN ADVANCE. ANY WORK PERFORMED ON HOLIDAYS MUST BE APPROVED BY THE COUNTY 48 HOURS IN ADVANCE.

REMOVAL OF PAVEMENT, DRIVES, SIDEWALKS, CURBS AND GUTTERS

- EDGES OF PERMANENT TYPE PAVEMENT SHALL BE PRE-CUT STRAIGHT, CLEAN AND SQUARE BEYOND ANY DAMAGED BASE AREA. WHEN THE REMOVAL OF SIDEWALKS, CURBS OR GUTTERS IS NECESSARY FOR CONSTRUCTION, THEY SHALL BE REMOVED IN FULL SECTIONS OR A MINIMUM OF FIVE FEET IN LENGTH, AND ALL BROKEN EDGES CUT SMOOTH BY USE OF A SUITABLE POWER SAW OR OTHER APPROPRIATE MEANS.
- SAWCUT THE EXISTING PAVEMENT TO ENCOMPASS THE ENTIRE EXCAVATION IN ONE UNIFORM RECTANGLE WITH 1 FOOT MINIMUM OFFSET FROM THE OUTERMOST POINT OF THE EXCAVATION EDGE. THE SAWCUT RECTANGLE SHALL BE PARALLEL TO THE CURB.
- THE JOINTS FORMED BY THE REPAIR AT THE SAWCUT LINES SHALL BE SEALED WITH A BITUMINOUS SEALANT AFTER PAVEMENT INSTALLATION. BITUMINOUS SEALANT AND TACK COAT SHALL BE IN ACCORDANCE WITH THE PALM BEACH COUNTY SPECIFICATIONS.
- EXISTING PAVEMENT MARKINGS SHALL BE REPLACED IN-KIND AFTER REPAIR IS COMPLETE.

JOB-SITE SAFETY

- ALL PERMITTED WORK IN RIGHTS-OF-WAY MUST BE DONE IN STRICT ACCORDANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, AND ALL OTHER APPLICABLE CODES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB-SITE SAFETY.

MAINTENANCE OF TRAFFIC:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE AND SAFE CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC AT ALL TIMES FOR THE DURATION OF CONSTRUCTION ACTIVITIES. DETAILED MAINTENANCE OF TRAFFIC PLANS FOR ALL PHASES OF THE WORK SHALL BE SUBMITTED TO THE OWNER/ENGINEER PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES.

LEGEND			
SET IR/C "BROWN & PHILLIPS"	●	WOOD POWER POLE	☼
FOUND C.M.	□	PALM TREE	✿
BENCHMARK	⊕	PINE TREE	☀
BACKFLOW PREVENTER	⊖	UNKNOWN TREE	⊙
CATCH BASIN	⊞	VALLEY GUTTER	≡≡≡
CONCRETE LIGHT POLE	⊞	U/G LOCATES-BLUE PAINT	—B—B—
FIRE HYDRANT	⊕	U/G LOCATES-GREEN PAINT	—G—G—
MAILBOX	⊞	U/G LOCATES-ORANGE PAINT	—O—O—
SIGN	⊞	ASPHALT	▬
WATER VALVE	⊞	CONCRETE	▬

ABBREVIATIONS:
P.B. - PLAT BOOK
ORB - OFFICIAL RECORD BOOK
D.B. - DEED BOOK
PG. - PAGE
R/W - RIGHT-OF-WAY
U.E. - UTILITY EASEMENT
D.E. - DRAINAGE EASEMENT
(P) - PLAT DIMENSION
(M) - MEASURED DIMENSION
WM - WATER MAIN
TOW - TOP OF WALL
INV - INVERT
C - CENTERLINE
IR - IRON ROD
IR/C - IRON ROD WITH CAP AS NOTED C.M. - 4"x4" CONCRETE MONUMENT
MN/D - MAG NAIL & DISK
PK/D - PARKER KALON NAIL & DISK
N/D - NAIL & DISK
NAD - NORTH AMERICAN DATUM
LB - LICENSED BUSINESS
DIP - DUCTILE IRON PIPE
PVC - POLYVINYL CHLORIDE PIPE
CMP - CORRUGATED METAL PIPE
RCP - REINFORCED CONCRETE PIPE
HDPE - HIGH DENSITY POLYETHYLENE PIPE
EL. - ELEVATION
INV. - INVERT
BTM - BOTTOM

PBC AMENDMENTS:

PBC ZONING STAMP

V:\2155\ACTIVE\215617459\DRAWINGS\GENERAL NOTES.DWG 1/13/2022 2:53 PM

Revision	By	Appd.	YYMMDD

Permit-Seal

SHEHAB BATA, P.E.
REGISTERED ENGINEER NO. 85007
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Client/Project

SELF-STORAGE
500 S. STATE ROAD 7
HOLLYWOOD, FLORIDA

File Name: GeneralNotes.dwg

KVM	SHB	SMB	22/08/10
Dwn.	Chkd.	Dgn.	YYMMDD

Title

GENERAL NOTES

Project No. 215617459


Scale AS SHOWN

Drawing No. Sheet Revision

C-01


GENERAL NOTES:

- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED OTHERWISE BY THE UTILITY OWNER.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	GENERAL NOTES	DRAWING NO. G-00
	APPROVED: XXX		


GENERAL NOTES (CONTINUED):

- CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
- SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
- ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
- THE CONTRACTOR SHALL NOT ENCRoACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
- MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.1
	APPROVED: XXX		

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
- ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02340 DEWATERING.


	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.2
	APPROVED: XXX		

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



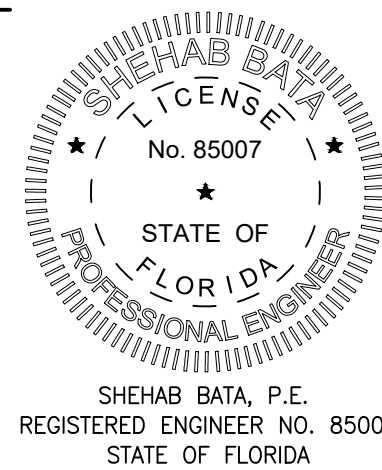
- WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
	DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.3
	APPROVED: XXX		

PBC AMENDMENTS:

PBC ZONING STAMP

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Client/Project

SELF-STORAGE
500 S. STATE ROAD 7
HOLLYWOOD, FLORIDA

File Name: GeneralNotes.dwg

KYM SMB 22/08/10
Dwn. Chkd. Dsgn. YY.MM.DD

Title

GENERAL NOTES

Project No.
215617459

Scale
AS SHOWN

Drawing No.
C-02

Sheet
Revision

Revision _____ By _____ Appd. YY.MM.DD



Scale 1"=40' (Half Size)

STATE ROAD 7

NOTES:
 1. EXISTING SITE FEATURES AND BOUNDARY INFORMATION WAS OBTAINED FROM A SURVEY PREPARED BY CRAIG A. SMITH & ASSOCIATES DATED 04/21.

PBC AMENDMENTS:

PBC ZONING STAMP

Revision	By	Appd.	YY.MM.DD

Permit-Seal

SHEHAB BATA, P.E.
 REGISTERED ENGINEER, NO. 85007
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Client/Project

SELF-STORAGE
 500 S. STATE ROAD 7
 HOLLYWOOD, FLORIDA

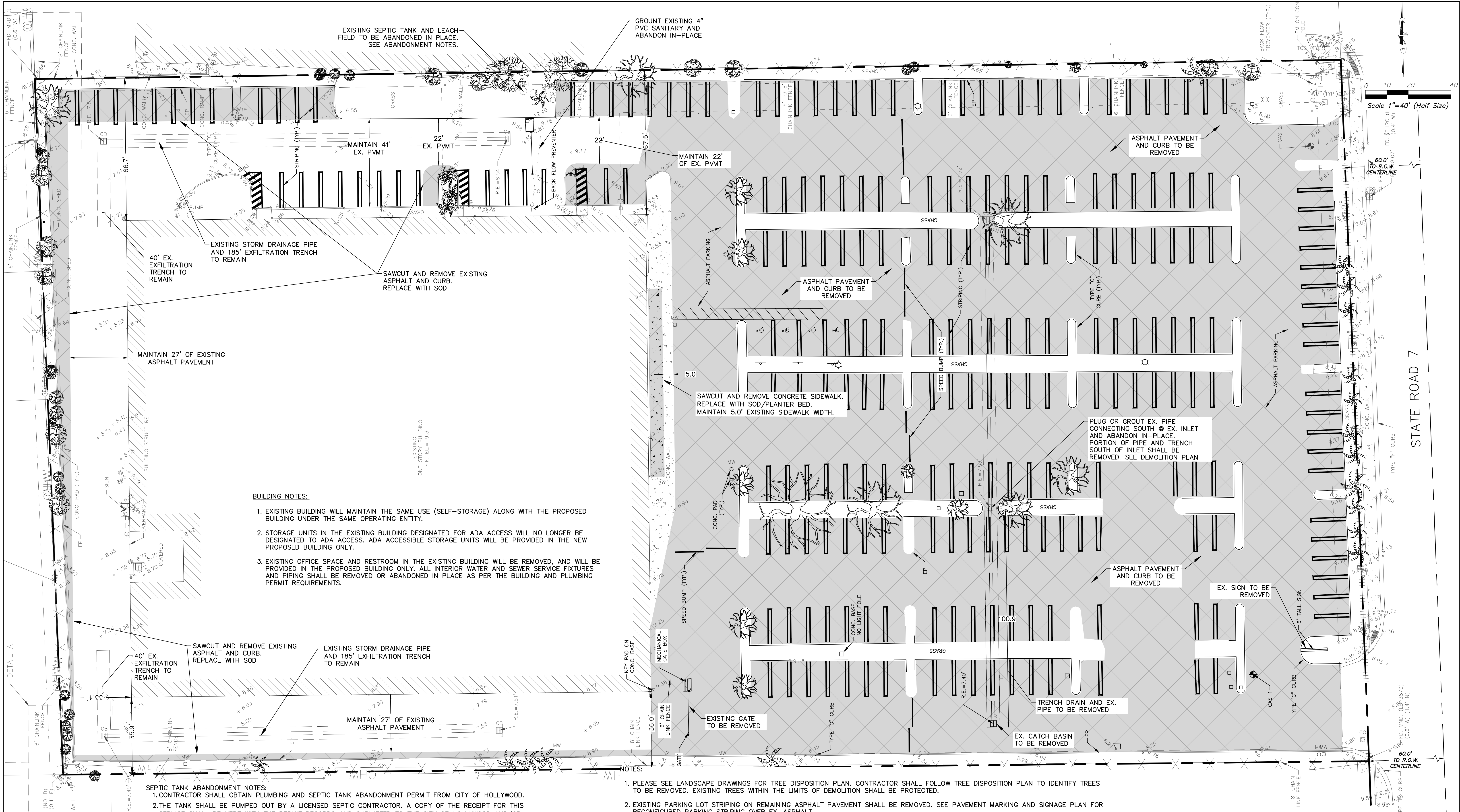
File Name: Existing Conditions.dwg

KVM	SHB	SMB	22/08/10
Dwn.	Chk.	Dgn.	YY.MM.DD

Title

EXISTING CONDITIONS

Project No.	Scale	
215617459	AS SHOWN	
Drawing No.	Sheet	Revision
C-03		



- BUILDING NOTES:**
- EXISTING BUILDING WILL MAINTAIN THE SAME USE (SELF-STORAGE) ALONG WITH THE PROPOSED BUILDING UNDER THE SAME OPERATING ENTITY.
 - STORAGE UNITS IN THE EXISTING BUILDING DESIGNATED FOR ADA ACCESS WILL NO LONGER BE DESIGNATED TO ADA ACCESS. ADA ACCESSIBLE STORAGE UNITS WILL BE PROVIDED IN THE NEW PROPOSED BUILDING ONLY.
 - EXISTING OFFICE SPACE AND RESTROOM IN THE EXISTING BUILDING WILL BE REMOVED, AND WILL BE PROVIDED IN THE PROPOSED BUILDING ONLY. ALL INTERIOR WATER AND SEWER SERVICE FIXTURES AND PIPING SHALL BE REMOVED OR ABANDONED IN PLACE AS PER THE BUILDING AND PLUMBING PERMIT REQUIREMENTS.

- SEPTIC TANK ABANDONMENT NOTES:**
- CONTRACTOR SHALL OBTAIN PLUMBING AND SEPTIC TANK ABANDONMENT PERMIT FROM CITY OF HOLLYWOOD.
 - THE TANK SHALL BE PUMPED OUT BY A LICENSED SEPTIC CONTRACTOR. A COPY OF THE RECEIPT FOR THIS SERVICE SHALL BE KEPT WITH THE PERMIT RECORDS AND SUBMITTED TO THE CITY OF HOLLYWOOD AND/OR FLOOD INSPECTOR.
 - CRUSH OR COLLAPSE THE TANK IN A MANNER THAT WILL PREVENT THE VESSEL FROM HOLDING WATER, EITHER BY PUNCHING A HOLE IN THE BOTTOM OF THE TANK OR COLLAPSING ITS SIDE WALLS.
 - FILL THE REMAINING HOLE WITH CLEAN SAND OR OTHER SUITABLE MATERIAL TO PREVENT A SAFETY HAZARD, THEN GRADE AND STAKE THE TANK SITE.

- NOTES:**
- PLEASE SEE LANDSCAPE DRAWINGS FOR TREE DISPOSITION PLAN. CONTRACTOR SHALL FOLLOW TREE DISPOSITION PLAN TO IDENTIFY TREES TO BE REMOVED. EXISTING TREES WITHIN THE LIMITS OF DEMOLITION SHALL BE PROTECTED.
 - EXISTING PARKING LOT STRIPING ON REMAINING ASPHALT PAVEMENT SHALL BE REMOVED. SEE PAVEMENT MARKING AND SIGNAGE PLAN FOR RECONFIGURED PARKING STRIPING OVER EX. ASPHALT.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING FEATURES ON SITE TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES AND FEATURES ON-SITE BEYOND NATURAL CAUSES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE REPLACED IN-KIND AT THE CONTRACTOR'S EXPENSE.
 - REMOVE EX. MONITORING WELLS IN ACCORDANCE WITH THE REQUIREMENTS OF BROWARD COUNTY ENVIRONMENTAL PERMITTING DIVISION.

PBC AMENDMENTS:

PBC ZONING STAMP

Revision	By	Appd.	YYMMDD

Permit-Seal

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Client/Project

SELF-STORAGE
500 S. STATE ROAD 7
HOLLYWOOD, FLORIDA

File Name: Demolition Plan.dwg

KVM	SHB	SMB	22/08/10
Dwn.	Chkd.	Dsgn.	YYMMDD

Title

DEMOLITION PLAN

Project No. 215617459

Drawing No. C-04

Scale AS SHOWN

Sheet

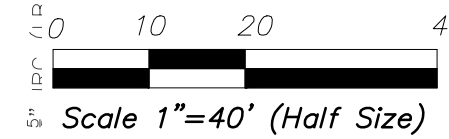
Revision

V:\215617459\215617459\DRAWINGS\DEMOLITION PLAN.DWG 7/3/2022 2:52 PM ORIGINAL SHEET - ARCH-D

FLORIDA GREEN BUILDING COALITION (FGBC) REGISTRATION:
THE PROJECT HAS BEEN REGISTERED AS A FGBC GREEN COMMERCIAL BUILDING
(DATED 9/21/2022)

NOTE: ENCLOSURE HEIGHT SHALL BE 12 INCHES GREATER THAN THE HIGHEST PART OF ANY DUMPSTER OR CONTAINER
15' X 10' WOODEN DUMPSTER ENCLOSURE CITY OF HOLLYWOOD (TYPE C) SEE DETAIL SHEET
10' SWING GATE

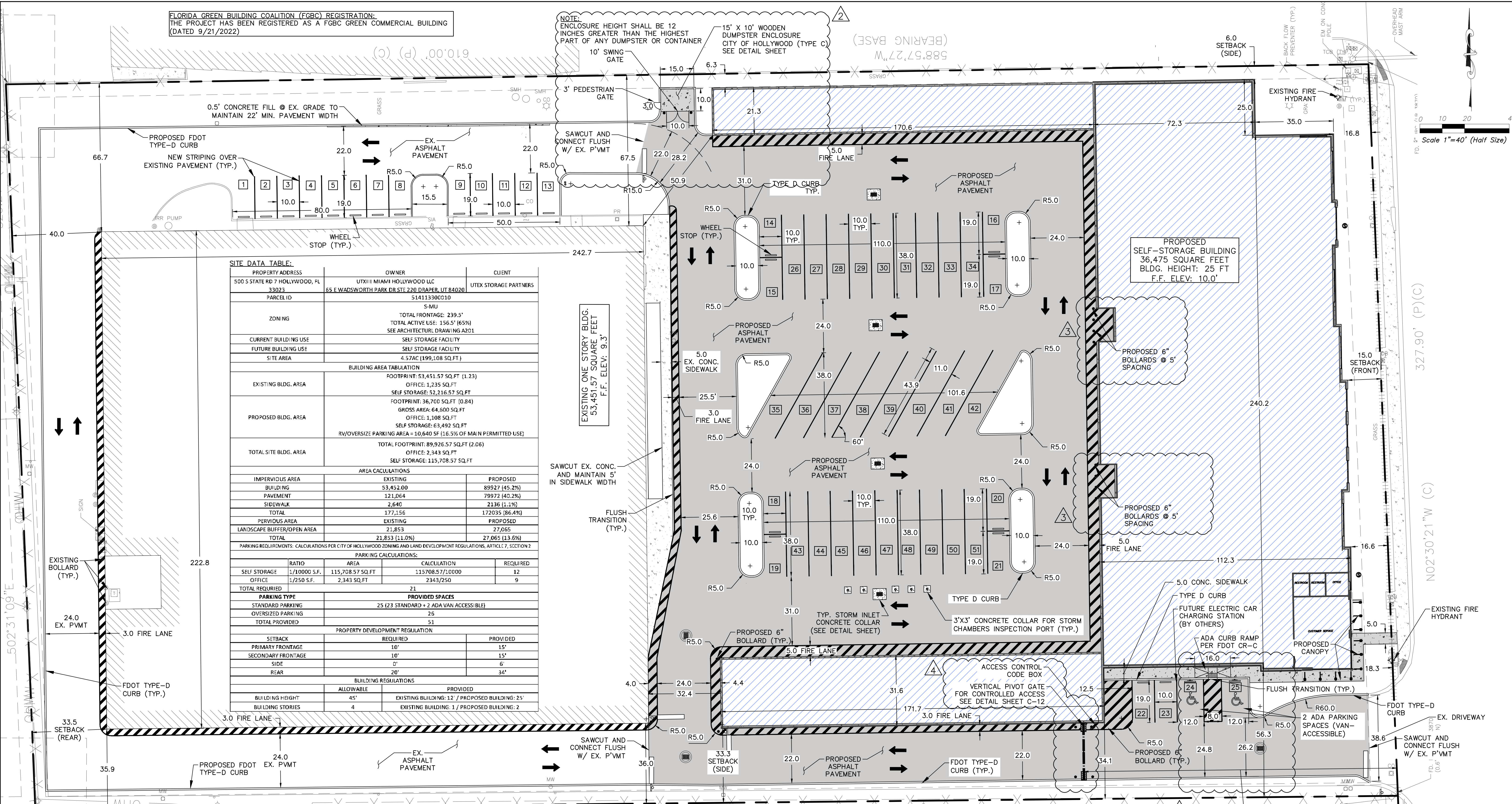
588.57, 27.27 W (BEARING BASE)



SITE DATA TABLE			
PROPERTY ADDRESS	OWNER	CLIENT	
500 S STATE RD 7 HOLLYWOOD, FL 33023	UTX II MIAMI HOLLYWOOD LLC	UTEX STORAGE PARTNERS	
PARCEL ID	65 E WADSWORTH PARK DR STE 220 DRAPEL, LIT 84020	514113300010	
ZONING	S-MU	TOTAL FRONTAGE: 239.5'	
CURRENT BUILDING USE	SELF STORAGE FACILITY	TOTAL ACTIVE USE: 1,563.5' (65%)	
FUTURE BUILDING USE	SELF STORAGE FACILITY	SEE ARCHITECTURAL DRAWING A201	
SITE AREA	4.57AC (199,108 SQ.FT.)	BUILDING AREA TABULATION	
EXISTING BLDG. AREA	FOOTPRINT: 53,451.57 SQ.FT (1.23)	OFFICE: 1,235 SQ.FT	
PROPOSED BLDG. AREA	FOOTPRINT: 36,700 SQ.FT (0.84)	SELF STORAGE: 52,216.57 SQ.FT	
TOTAL SITE BLDG. AREA	FOOTPRINT: 89,926.57 SQ.FT (2.06)	GROSS AREA: 64,600 SQ.FT	
	OFFICE: 2,343 SQ.FT	OFFICE: 1,108 SQ.FT	
	SELF STORAGE: 115,708.57 SQ.FT	RV/OVERSIZE PARKING AREA = 10,640 SF (16.5% OF MAIN PERMITTED USE)	
AREA CALCULATIONS			
IMPERVIOUS AREA	EXISTING	PROPOSED	
BUILDING	53,452.00	89,927 (45.2%)	
PAVEMENT	121,064	79,972 (40.2%)	
SIDEWALK	2,640	2136 (1.1%)	
TOTAL	177,156	172,035 (86.4%)	
PERVIOUS AREA	EXISTING	PROPOSED	
LANDSCAPE BUFFER/OPEN AREA	21,853	27,065	
TOTAL	21,853 (11.0%)	27,065 (13.6%)	
PARKING REQUIREMENTS: CALCULATIONS PER CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS, ARTICLE 17, SECTION 2			
PARKING CALCULATIONS:			
	RATIO	AREA	REQUIRED
SELF STORAGE	1/10000 S.F.	115,708.57 SQ.FT	12
OFFICE	1/250 S.F.	2,343 SQ.FT	9
TOTAL REQUIRED			21
PARKING TYPE PROVIDED SPACES			
STANDARD PARKING	25 (23 STANDARD + 2 ADA VAN ACCESSIBLE)		
OVERSIZED PARKING	25		
TOTAL PROVIDED	51		
PROPERTY DEVELOPMENT REGULATION			
SETBACK	REQUIRED	PROVIDED	
PRIMARY FRONTAGE	10'	15'	
SECONDARY FRONTAGE	10'	15'	
SIDE	0'	6'	
REAR	20'	34'	
BUILDING REGULATIONS			
	ALLOWABLE	PROVIDED	
BUILDING HEIGHT	45'	EXISTING BUILDING: 12' / PROPOSED BUILDING: 25'	
BUILDING STORIES	4	EXISTING BUILDING: 1 / PROPOSED BUILDING: 2	

EXISTING ONE STORY BLDG.
53,451.57 SQUARE FEET
F.F. ELEV. 9.3'

SAWCUT EX. CONC. AND MAINTAIN 5' IN SIDEWALK WIDTH



LANDSCAPE AREA REQUIREMENT:
LOTS WITH A WIDTH OF MORE THAN 50 FEET: 25 PERCENT OF THE TOTAL SQUARE FOOTAGE OF THE PAVED VEHICULAR USE AREA SHALL BE LANDSCAPED. LANDSCAPE BUFFERS SHALL NOT BE INCLUDED ON THE CALCULATIONS.

PAVED VEHICULAR USE AREA USED IN THIS CALCULATION IS BASED ON THE NEW/RESURFACED PAVEMENT ONLY. ADDITIONAL LANDSCAPE AREAS HAVE BEEN PROVIDED BY REMOVING EXISTING IMPERVIOUS SURFACE AROUND THE BUILDING PERIMETER:

NEW ASPHALT DRIVE AISLE	40,409 SQ.FT.	0.93 Ac. (56.5%)
PROPOSED PARKING AREAS	13,266 SQ.FT.	0.30 Ac. (18.5%)
PARKING LANDSCAPE	17,801 SQ.FT.	0.41 Ac. (25.0%)

- NOTES:
- THIS PROJECT DOES NOT PROPOSE WORK WITHIN THE ROW.
 - ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
 - ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS I, II OR V LICENSE PER FS 633.102
 - ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
 - MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE 0.5
 - THIS PROJECT SHALL OBTAIN FLORIDA GREEN BUILDING COALITION CERTIFICATION AS PER THE CITY OF HOLLYWOOD GREEN BUILDING ORDINANCE.
 - ANY LIP FROM 1/2" BUT NOT GREATER THAN 1/2" SHALL BE BEVELED TO MEET ADA REQUIREMENTS.

LEGAL DESCRIPTION:
TRACT "A", "GRANT'S FARM", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 112, PAGE 31, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

ALTA SURVEY:
THIS PLAN REFERENCES AN ALTA/NSPS LAND TITLE SURVEY, PREPARED BY PRINCIPAL MERIDIAN SURVEYING, INC.

PBC AMENDMENTS:
PBC ZONING STAMP

Revision	By	Appd.	YYMMDD

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Client/Project

SELF-STORAGE
500 S. STATE ROAD 7
HOLLYWOOD, FLORIDA

File Name: Site Plan.dwg

EVM	SKB	SMB	22/08/10
Dwn.	Chkd.	Dgn.	YYMMDD

Title

SITE PLAN

Project No. 215617459

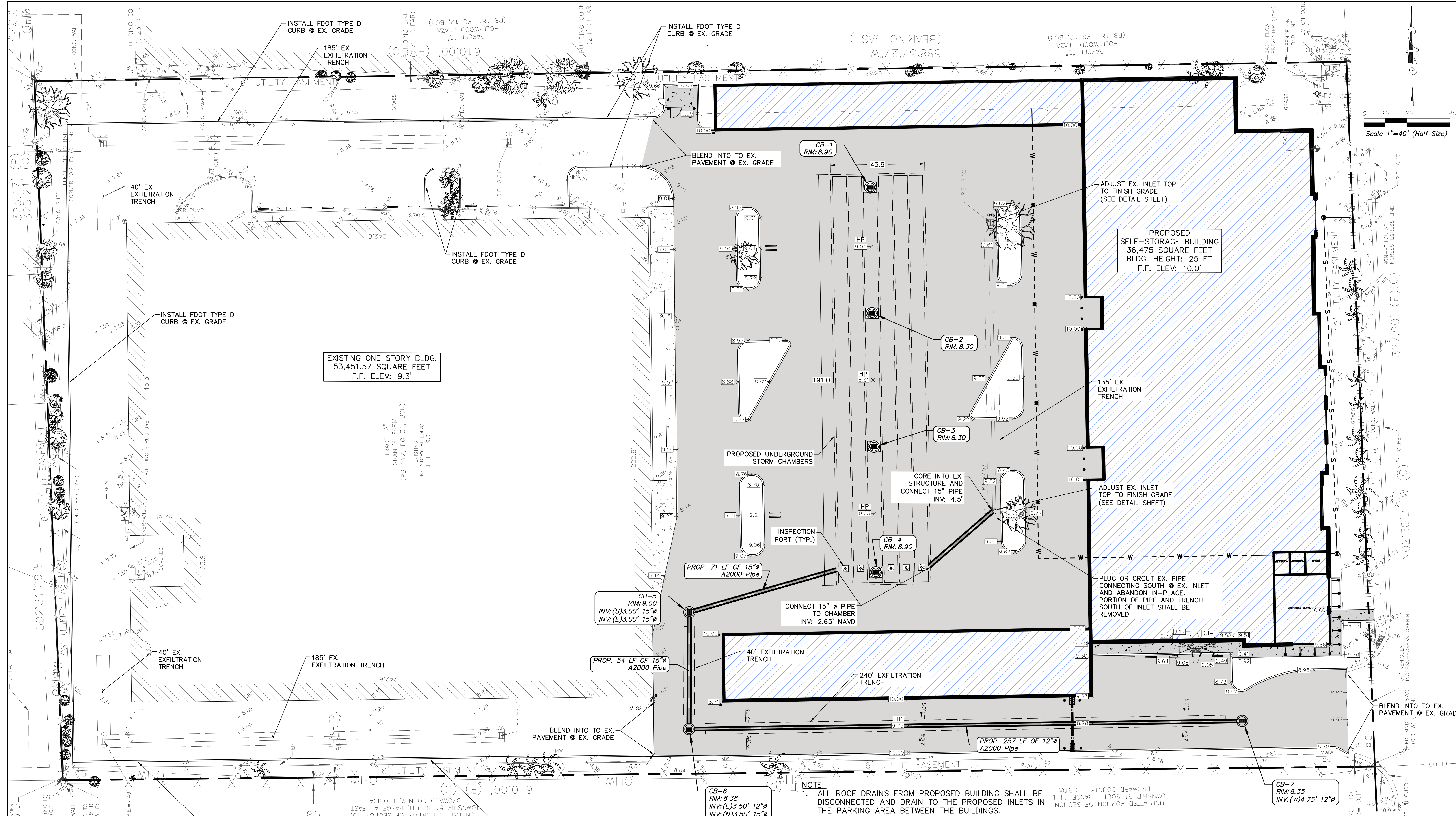
Drawing No. C-05

Scale AS SHOWN

Sheet

Revision

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Scale 1"=40' (Half Size)

NOTE:
 1. ALL ROOF DRAINS FROM PROPOSED BUILDING SHALL BE DISCONNECTED AND DRAIN TO THE PROPOSED INLETS IN THE PARKING AREA BETWEEN THE BUILDINGS.
 2. ALL PROPOSED EXFILTRATION TRENCH DIMENSIONS SHALL BE:
 5' WIDTH
 TOP OF TRENCH ELEVATION = 6' NAVD
 BOTTOM OF TRENCH ELEVATION = 1' NAVD

PBC AMENDMENTS:
 PBC ZONING STAMP

Revision	By	Appd.	YY.MM.DD

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Client/Project
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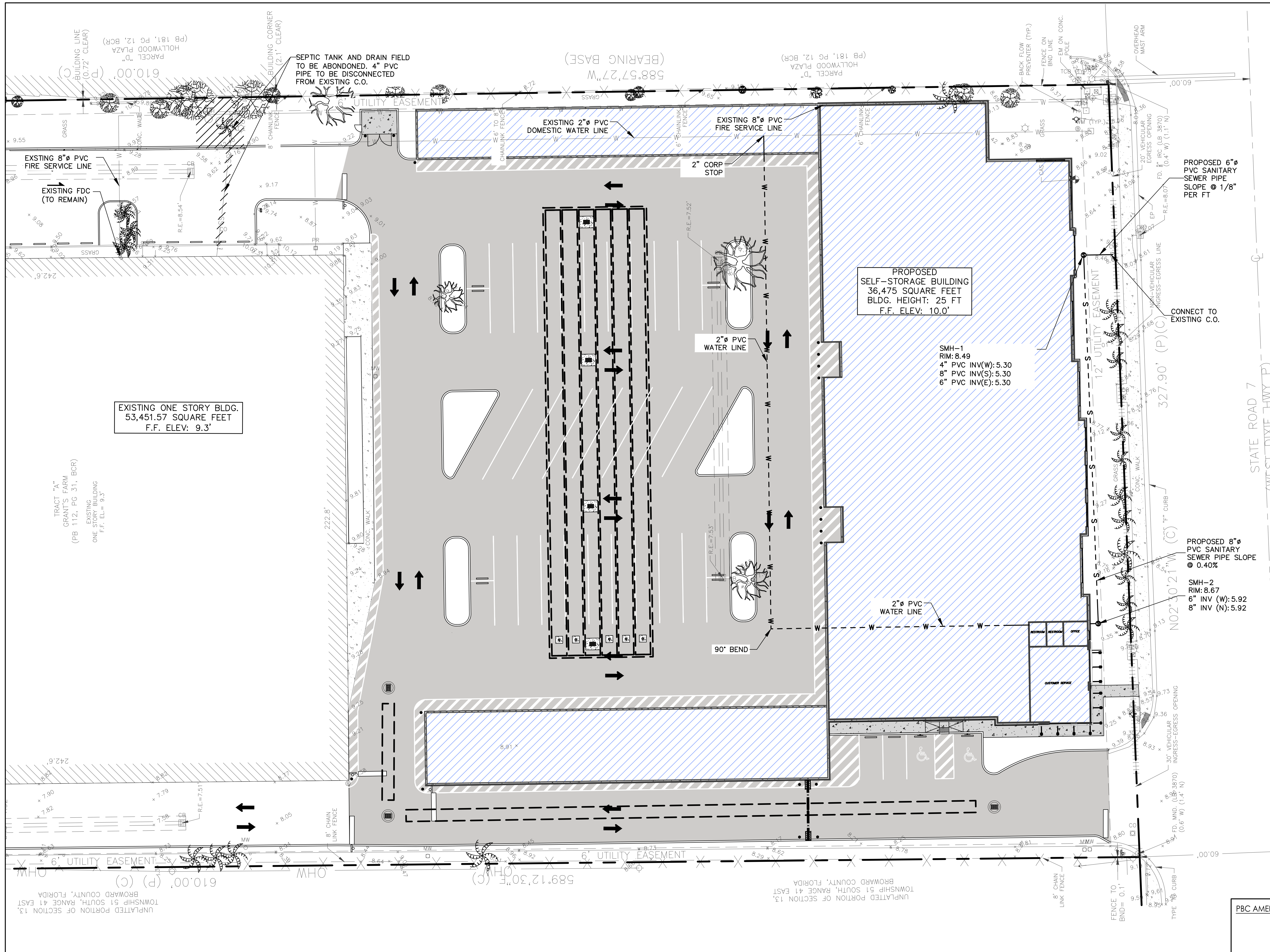
File Name: Grading and Drainage.dwg
 EVM Dwn. SHB Chkd. SM8 Dsgn. 22/08/10
 YY.MM.DD

Title
 GRADING AND DRAINAGE

Project No. 215617459
 Scale AS SHOWN

Drawing No. C-06
 Sheet Revision

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 ORIGINAL SHEET - ARCH-D



WATER/SEWER DEMAND CALCULATIONS

WATER

SELF SERVICE STORAGE
95,892 SF X 9 GPD/1000 SF = 863 GPD

OFFICE
2,343 SF X 42 GPD/1000 SF = 99 GPD

TOTAL = 862 GPD

WASTEWATER

SELF SERVICE STORAGE
95,892 SF X 7 GPD/1000 SF = 671 GPD

OFFICE
2,343 SF X 34 GPD/1000 SF = 80 GPD

TOTAL = 751 GPD

*CALCULATIONS ARE BASED ON BROWARD COUNTY GUIDELINES FOR DETERMINING ABILITY TO PROVIDE POTABLE WATER AND WASTEWATER SERVICE, 4, 2012

FIRE FLOW

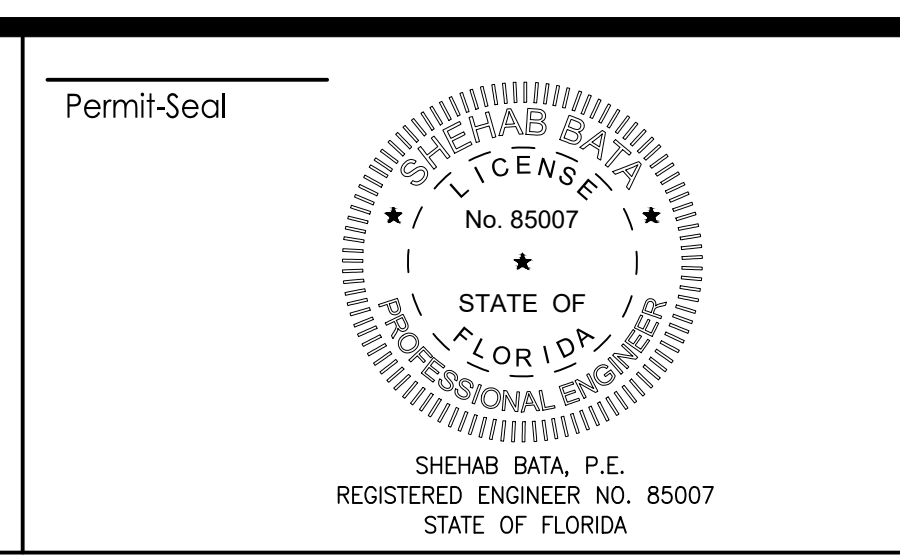
MINIMUM FIRE FLOW REQUIRED PER NFPA 1, CHAPTER 18, TABLE 18.4.5.2.1 FOR A TYPE II BUILDING DESIGNATION IS: 3,500 GPM (3-HR FLOW DURATION)

- NOTES:**
- EXISTING SITE FEATURES AND BOUNDARY INFORMATION WAS OBTAINED FROM A SURVEY PREPARED BY CRAIG A. SMITH & ASSOCIATES DATED 04/21.
 - ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
 - ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS I, II OR V LICENSE PER FS 633.102

PBC AMENDMENTS:

PBC ZONING STAMP

Revision	By	Appd.	YY.MM.DD



Client/Project

SELF-STORAGE
500 S. STATE ROAD 7
HOLLYWOOD, FLORIDA

File Name: Utility Plan.dwg

KVM Dwn. SMH Chk'd. SMH Dsgn. 22/08/10 YY.MM.DD

Title

UTILITY PLAN

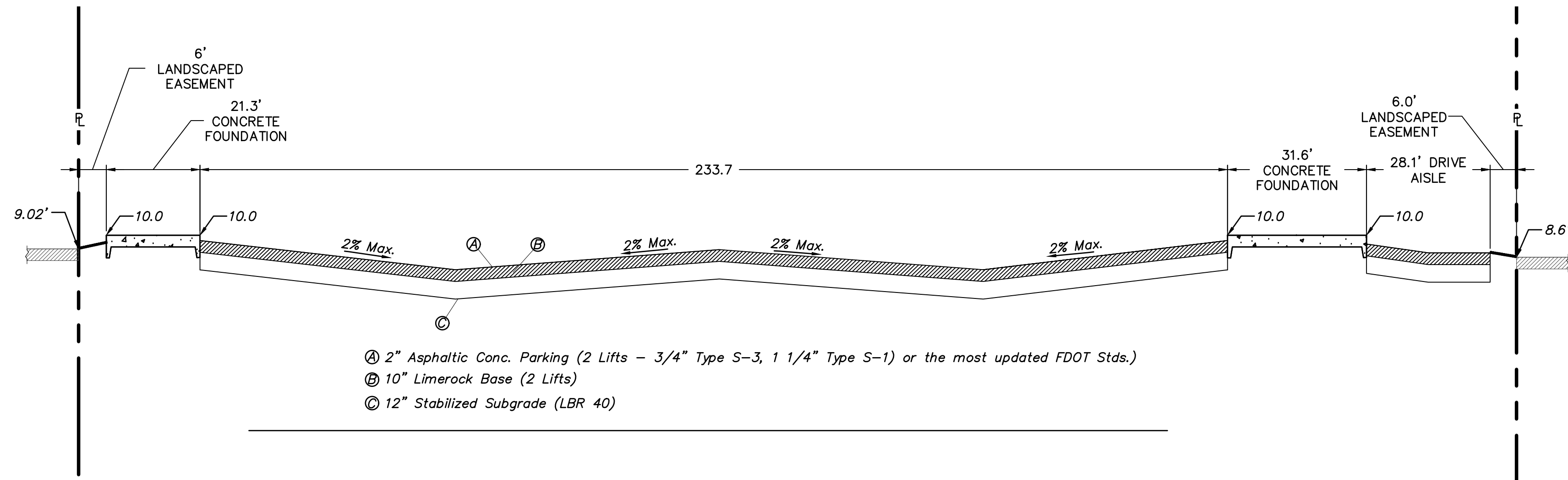
Project No. 215617459

Drawing No. C-07

Scale AS SHOWN

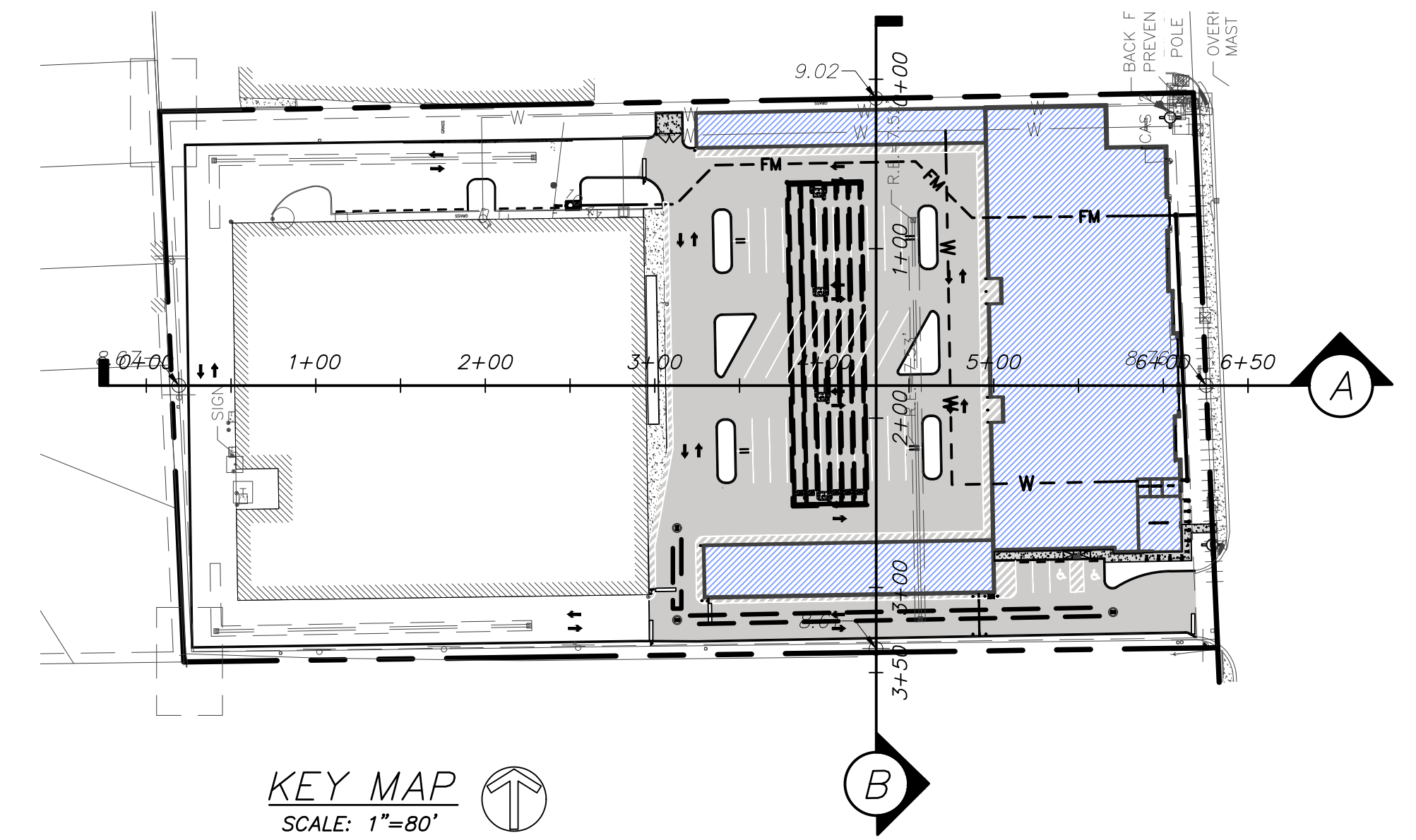
Sheet

Revision

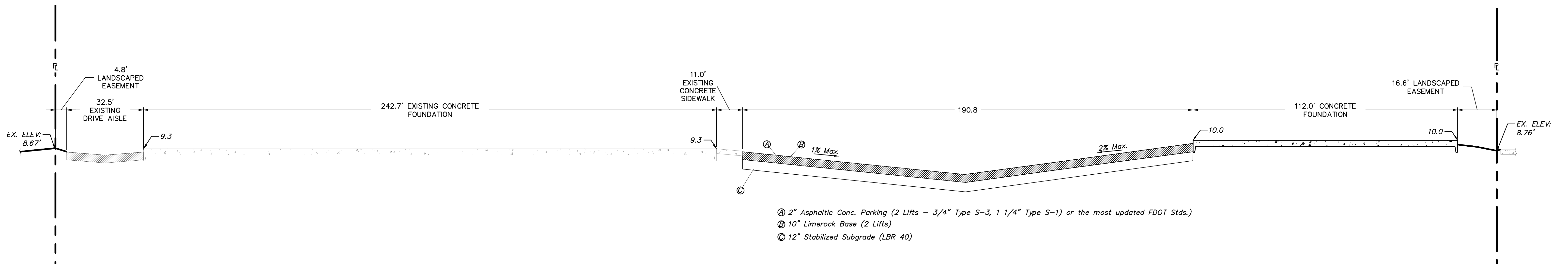


- Ⓐ 2" Asphaltic Conc. Parking (2 Lifts - 3/4" Type S-3, 1 1/4" Type S-1) or the most updated FDOT Stds.)
- Ⓑ 10" Limerock Base (2 Lifts)
- Ⓒ 12" Stabilized Subgrade (LBR 40)

B PROPOSED SECTION
SCALE: HORIZ 1"=20', VERT 1"=4'



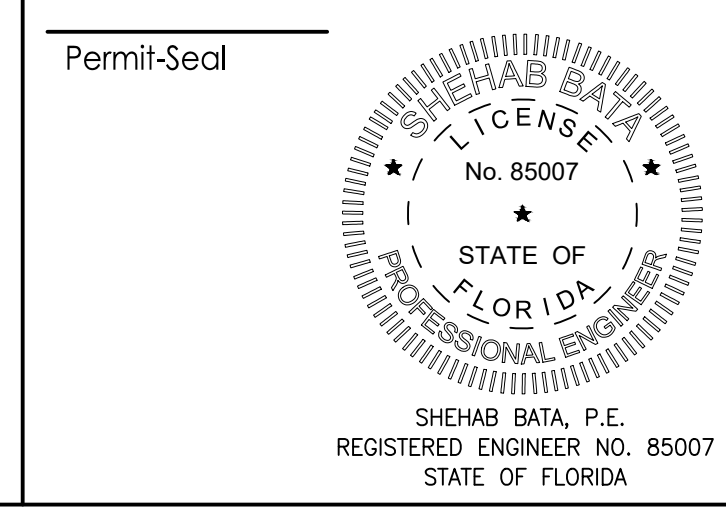
KEY MAP
SCALE: 1"=80'



- Ⓐ 2" Asphaltic Conc. Parking (2 Lifts - 3/4" Type S-3, 1 1/4" Type S-1) or the most updated FDOT Stds.)
- Ⓑ 10" Limerock Base (2 Lifts)
- Ⓒ 12" Stabilized Subgrade (LBR 40)

A PROPOSED SECTION
SCALE: HORIZ 1"=20', VERT 1"=4'

PBC AMENDMENTS:	PBC ZONING STAMP

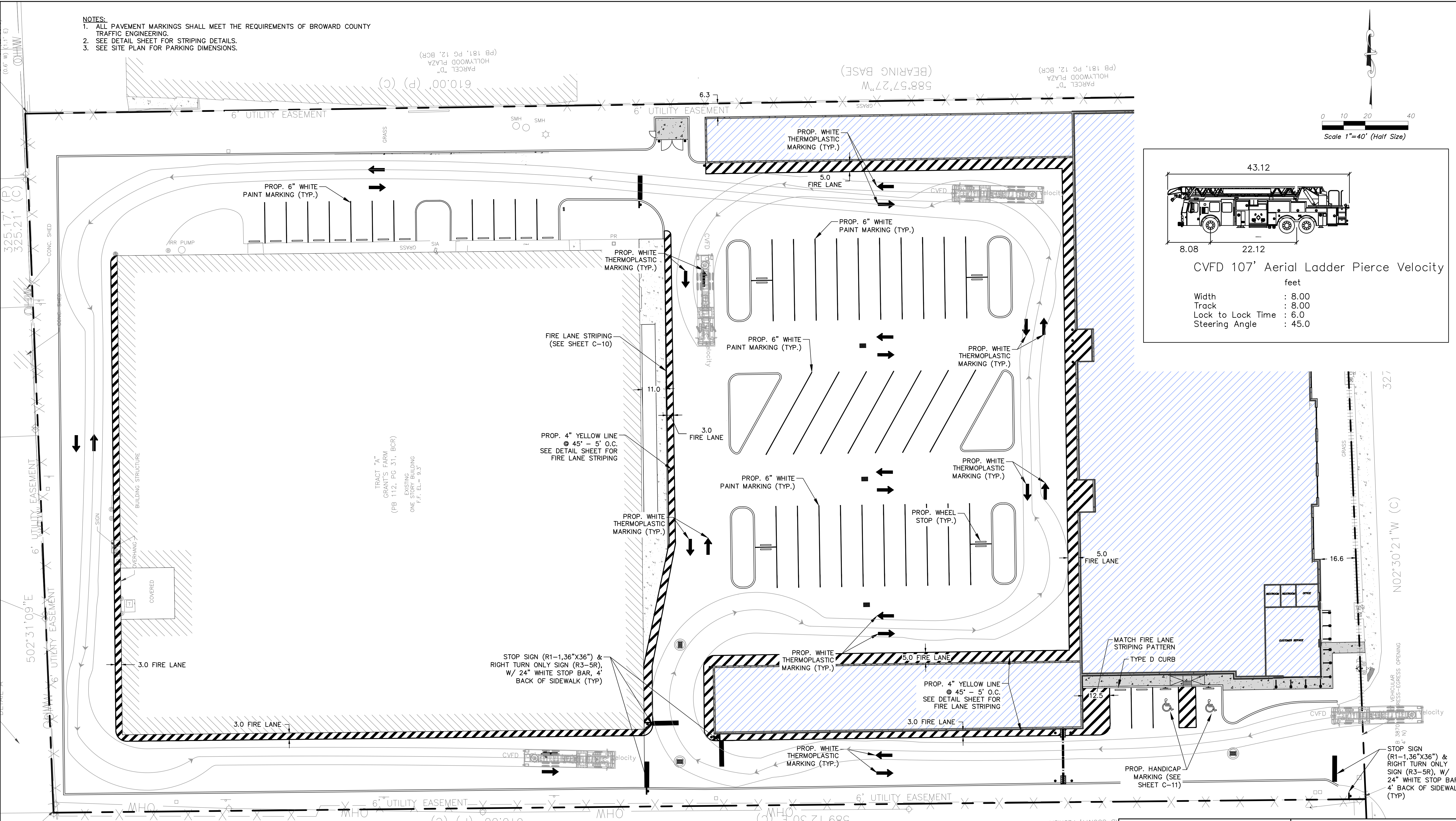
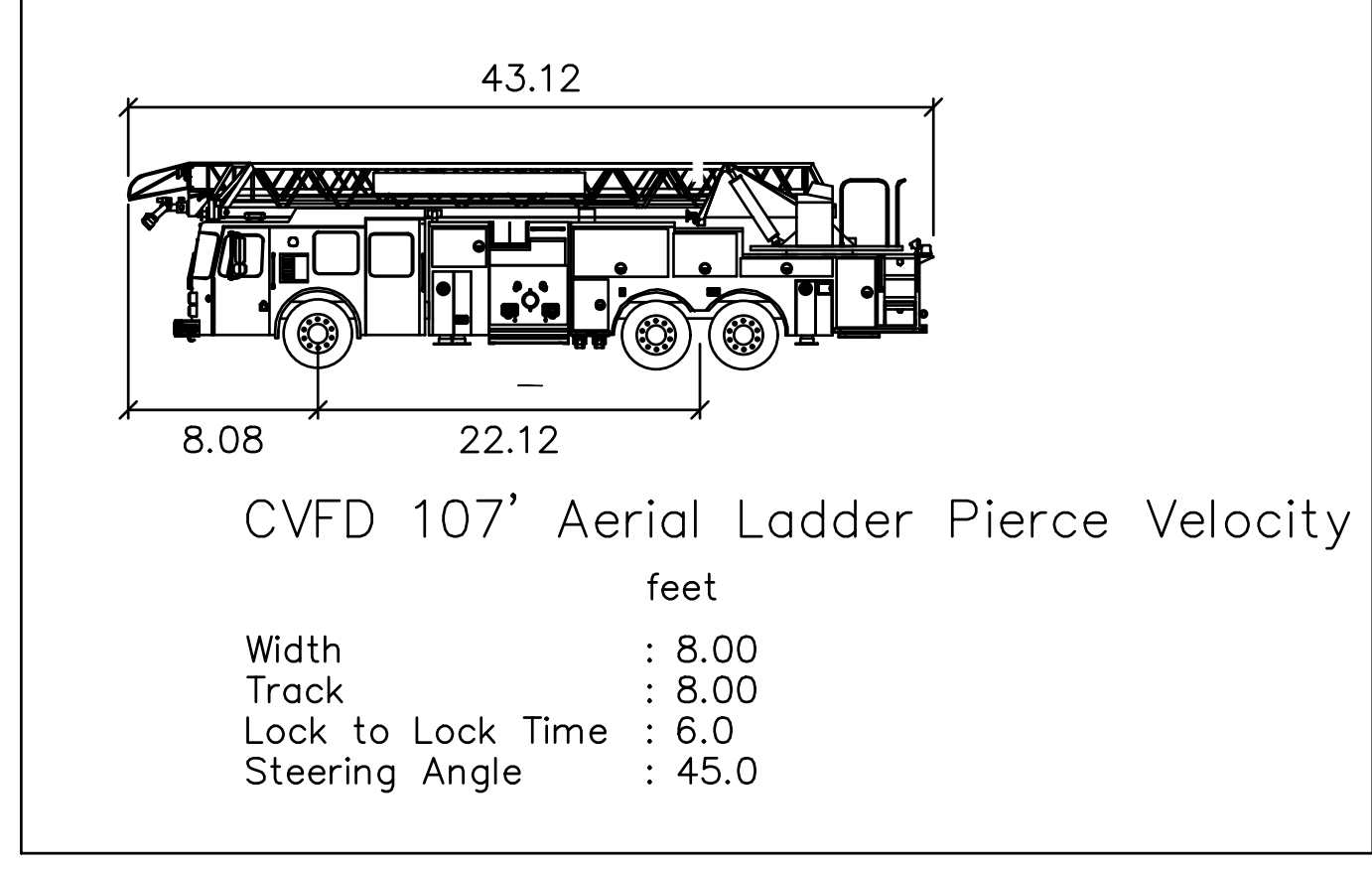
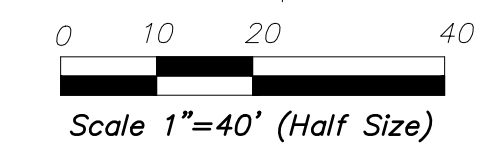


Client/Project	SELF-STORAGE 500 S. STATE ROAD 7 HOLLYWOOD, FLORIDA
File Name:	Profile.dwg
KVM	SM8
Dwn	Chkd
22/08/10	YY.MM.DD

Title	CROSS SECTIONS
Project No.	215617459
Scale	AS SHOWN
Drawing No.	C-100
Sheet	
Revision	

V:\215617459\ACTIVE\215617459\DRAWINGS\PROFILE.DWG 1/26/2022 10:00 AM ORIGINAL SHEET - ARCH'D

- NOTES:**
1. ALL PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF BROWARD COUNTY TRAFFIC ENGINEERING.
 2. SEE DETAIL SHEET FOR STRIPING DETAILS.
 3. SEE SITE PLAN FOR PARKING DIMENSIONS.



V:\2156\ACTIVE\215617459\DRAWINGS\PAVEMENT MARKING AND SIGNAGE.DWG 7/13/2023 3:52 PM

Revision	By	Appd.	YY.MM.DD

Permit-Seal

SHEHAB BATA, P.E.
REGISTERED ENGINEER, NO. 85007
STATE OF FLORIDA

Stantec

800 Fairway Drive, Suite 195
Deerfield Beach, FL 33441
www.stantec.com
(561) 491-2912

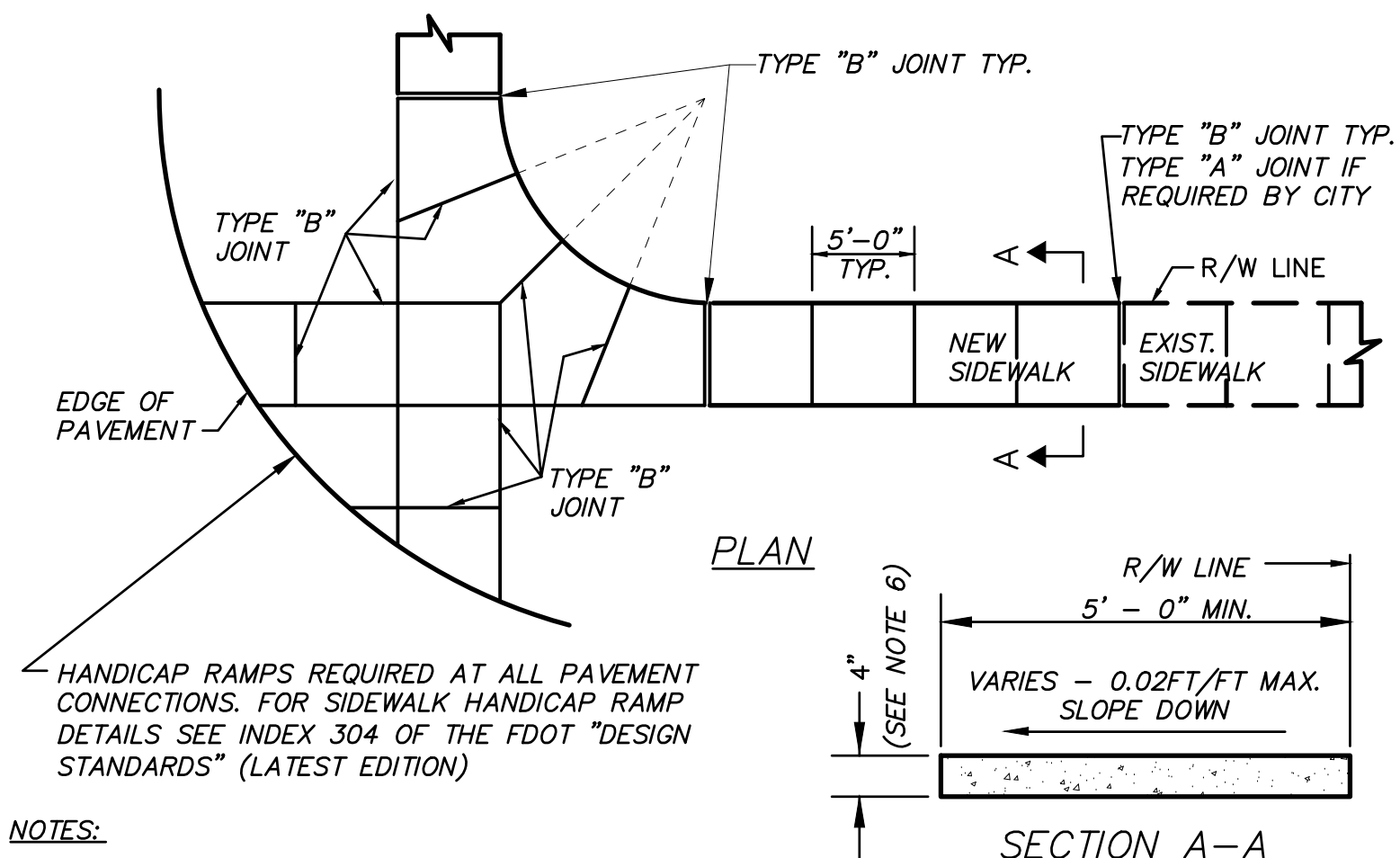
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Client/Project	
SELF-STORAGE 500 S. STATE ROAD 7 HOLLYWOOD, FLORIDA	
Title	
PAVEMENT MARKING AND SIGNAGE	
Project No.	Scale
215617459	AS SHOWN
Drawing No.	Sheet
C-09	

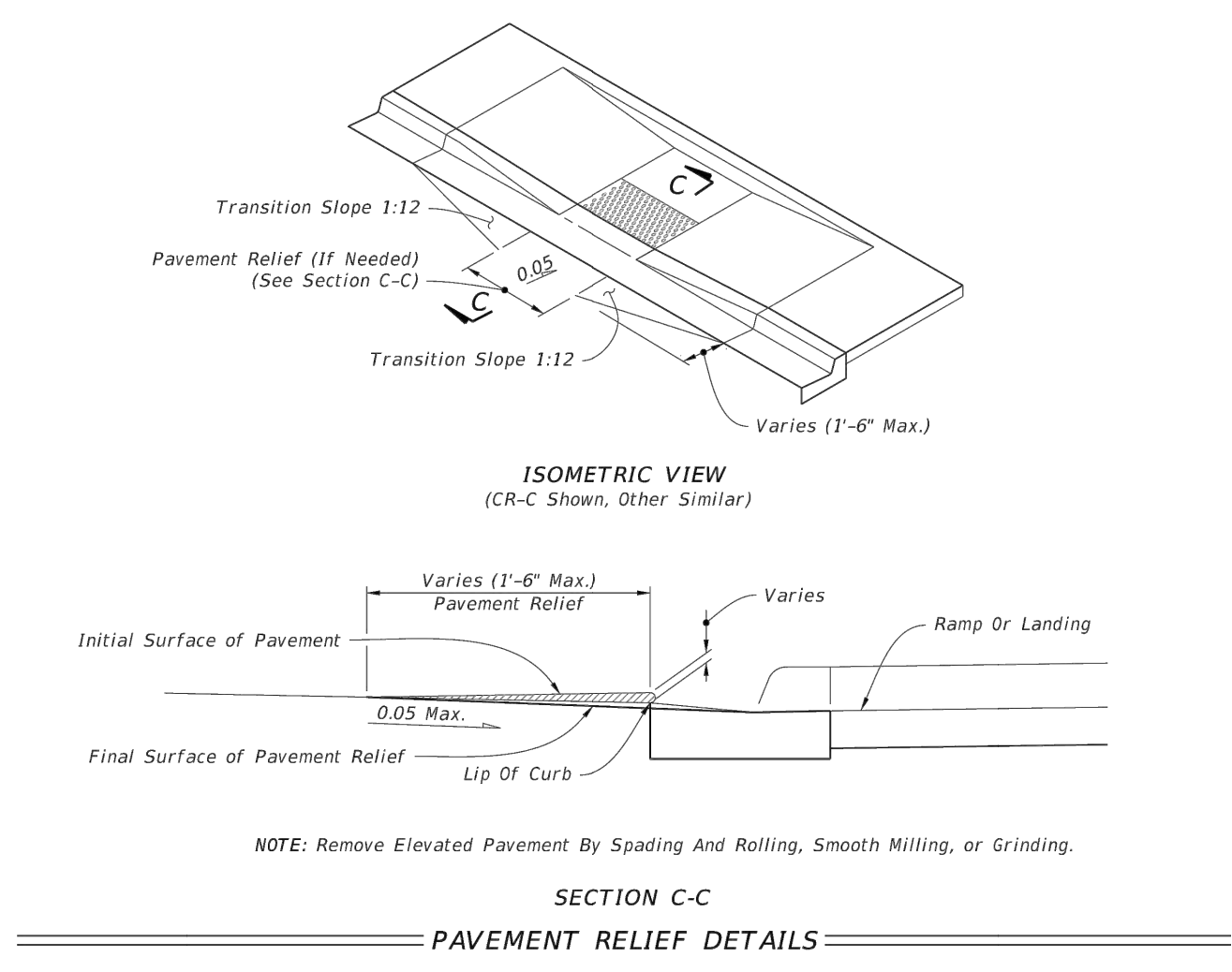
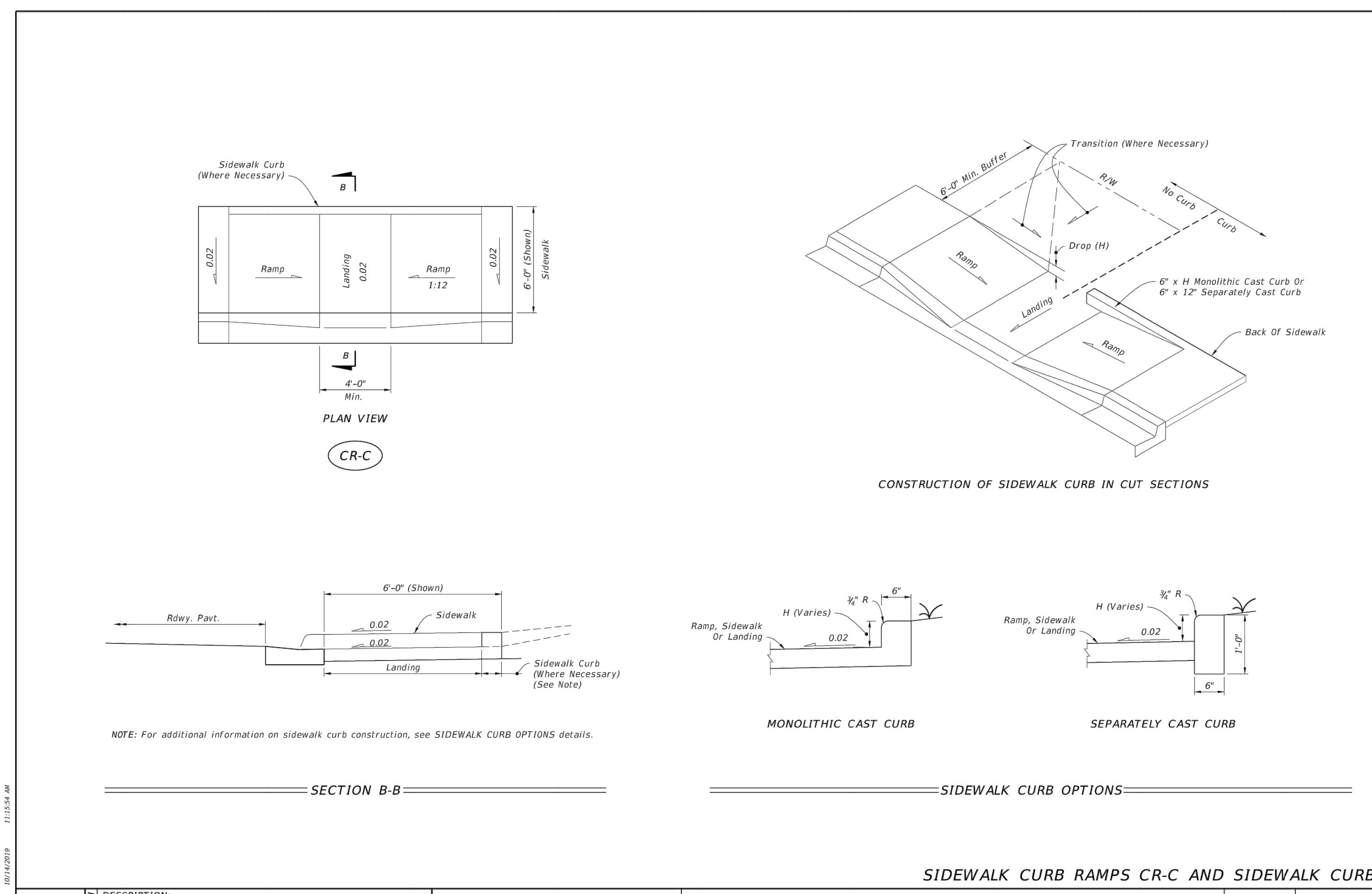
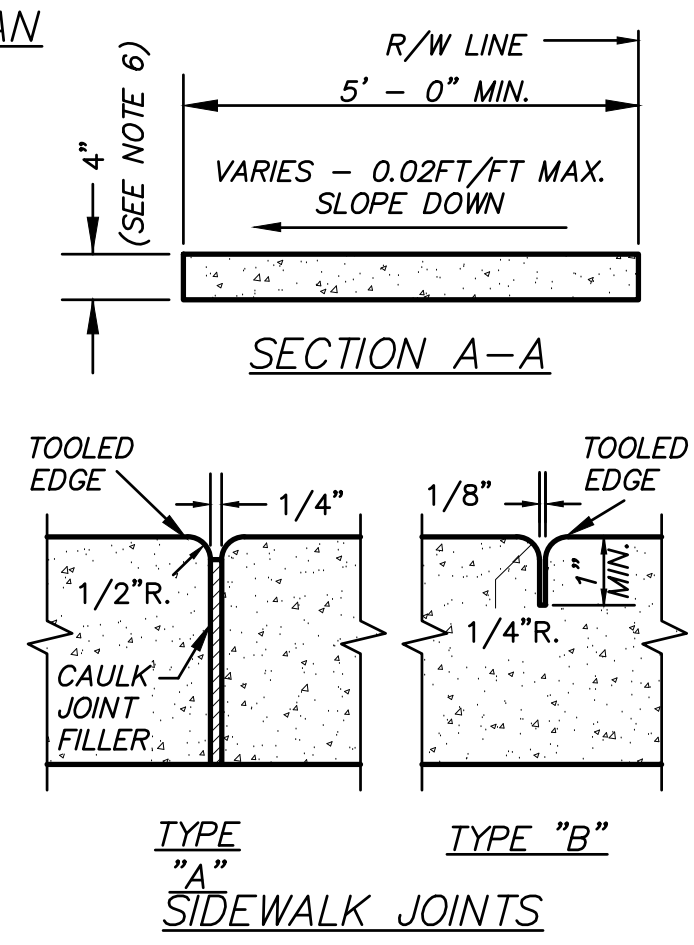
File Name:	Pavement Marking and Signage.dwg	KVM	SMH	SMH	22/08/10
Dwn.					YY.MM.DD
Chkd.					
Dsgn.					

PBC AMENDMENTS:

PBC ZONING STAMP



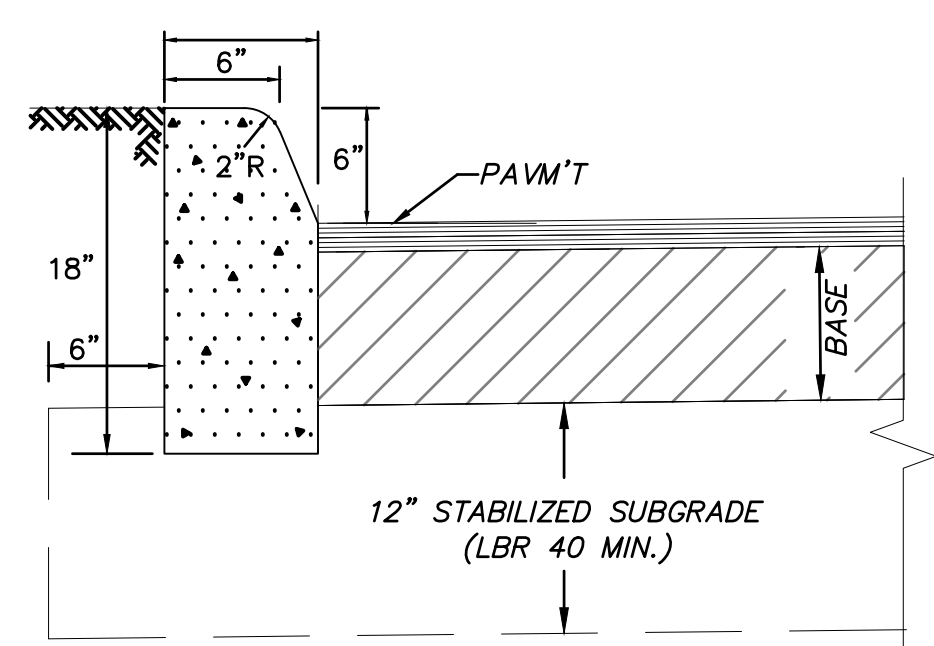
- NOTES:**
- FOR NEW SIDEWALK LOCATIONS SUBGRADE BELOW SIDEWALK SHALL BE A MIN. L.B.R. -40 COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-180.
 - CONCRETE TO BE 3,000 P.S.I. @ 28 DAYS
 - ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOOLED. NO SAWCUT JOINTS ARE PERMITTED IN NEW SIDEWALK.
 - THE USE OF WIRE MESH REINFORCEMENT IN SIDEWALK WILL NOT BE PERMITTED
 - SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT". CROSS SLOPES SHALL NOT EXCEED 0.02'/FT (2.0%).
 - ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAY CROSSINGS AND OTHER VEHICULAR CROSSING AREAS WHERE THE SIDEWALK SHALL BE A MINIMUM OF 6" THICK.
 - FOR TYPE "A" EXPANSION JOINTS PRE-MOULDED EXPANSION MATERIAL IS NOT PERMITTED. EXPANSION JOINTS TO BE USED ONLY IF APPROVED BY THE ENGINEER AND SHALL BE SEALED WITH APPROVED FLEXIBLE RUBBERIZED CAULK.
 - SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH.



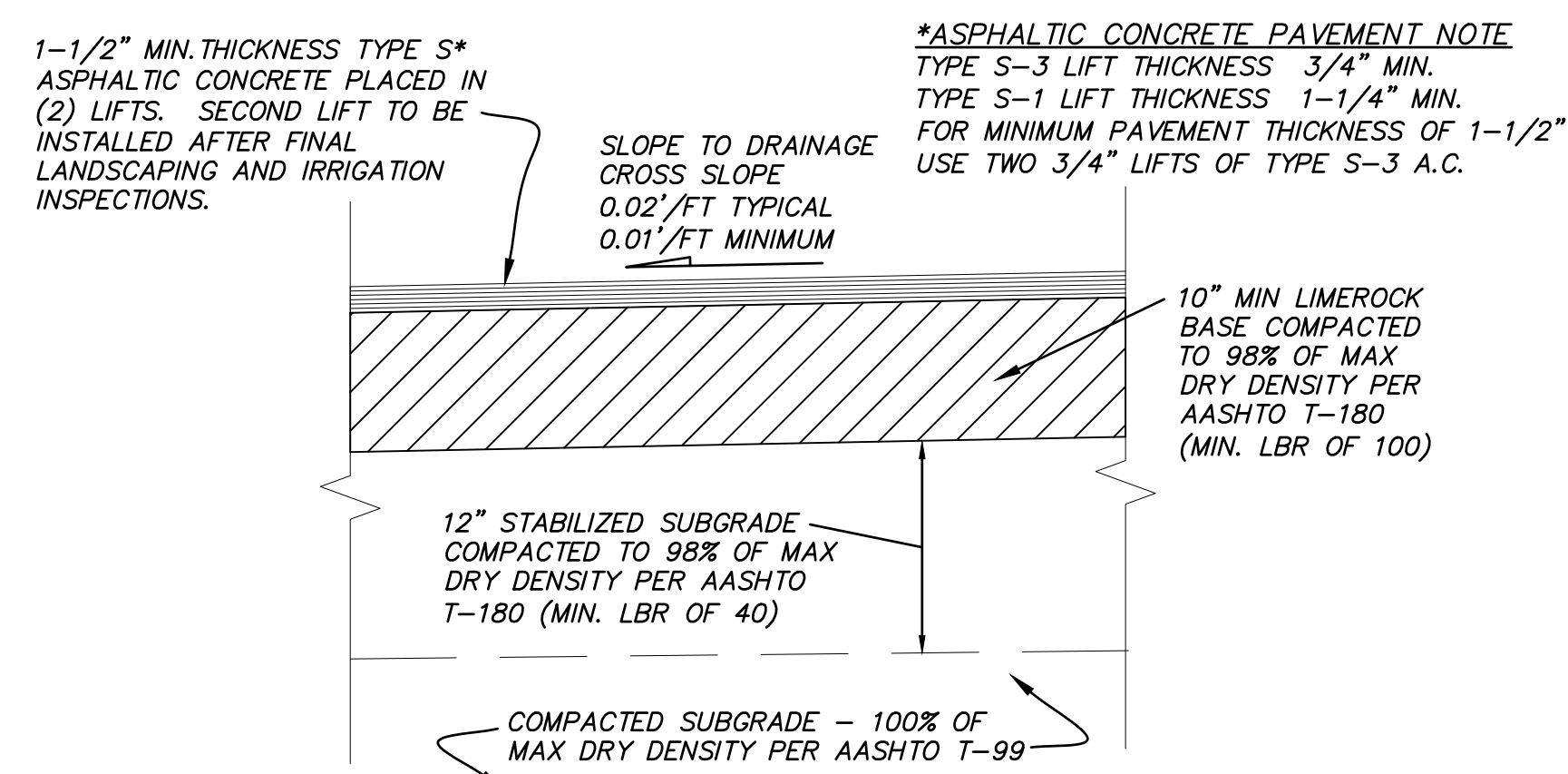
- CROSS SLOPES AND GRADES:**
- SIDEWALK, RAMP, AND LANDING SLOPES (I.E. 0.02, 0.05, AND 1:12) SHOWN IN THIS INDEX ARE MAXIMUMS. WITH APPROVAL OF THE ENGINEER, PROVIDE THE MINIMUM FEASIBLE SLOPE WHERE THE REQUIREMENTS CANNOT BE MET.
 - LANDINGS MUST HAVE CROSS-SLOPES LESS THAN OR EQUAL TO 0.02 IN ANY DIRECTION.
 - MAINTAIN A SINGLE LONGITUDINAL SLOPE ALONG EACH SIDE OF THE CURB RAMP. RAMP SLOPES ARE NOT REQUIRED TO EXCEED 15 FEET IN LENGTH.
 - JOINTS PERMITTED AT THE LOCATION OF SLOPE BREAKS. OTHERWISE LOCATE JOINTS IN ACCORDANCE WITH FDOT INDEX 522-001. NO JOINTS ARE PERMITTED WITHIN THE RAMP PORTION OF THE CURB RAMP.
- DETECTABLE WARNINGS:**
- INSTALL DETECTABLE WARNINGS IN ACCORDANCE WITH FDOT SPECIFICATION 527.
 - PLACE DETECTABLE WARNINGS ACROSS THE FULL WIDTH OF THE RAMP OR LANDING, TO A MINIMUM DEPTH OF 2 FEET MEASURED PERPENDICULAR TO THE CURB LINE AND NO GREATER THAN 5 FEET FROM THE BACK OF THE CURB OR EDGE OF PAVEMENT.
 - TRUNCATED DOMES SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR TRANSPORTATION FACILITIES, SECTION 705.

SIDEWALK CONSTRUCTION DETAILS N.T.S.

LAST REVISION 11/01/18	DESCRIPTION: REVISION	FDOT	FY 2020-21 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX 522-002	SHEET 3 of 8
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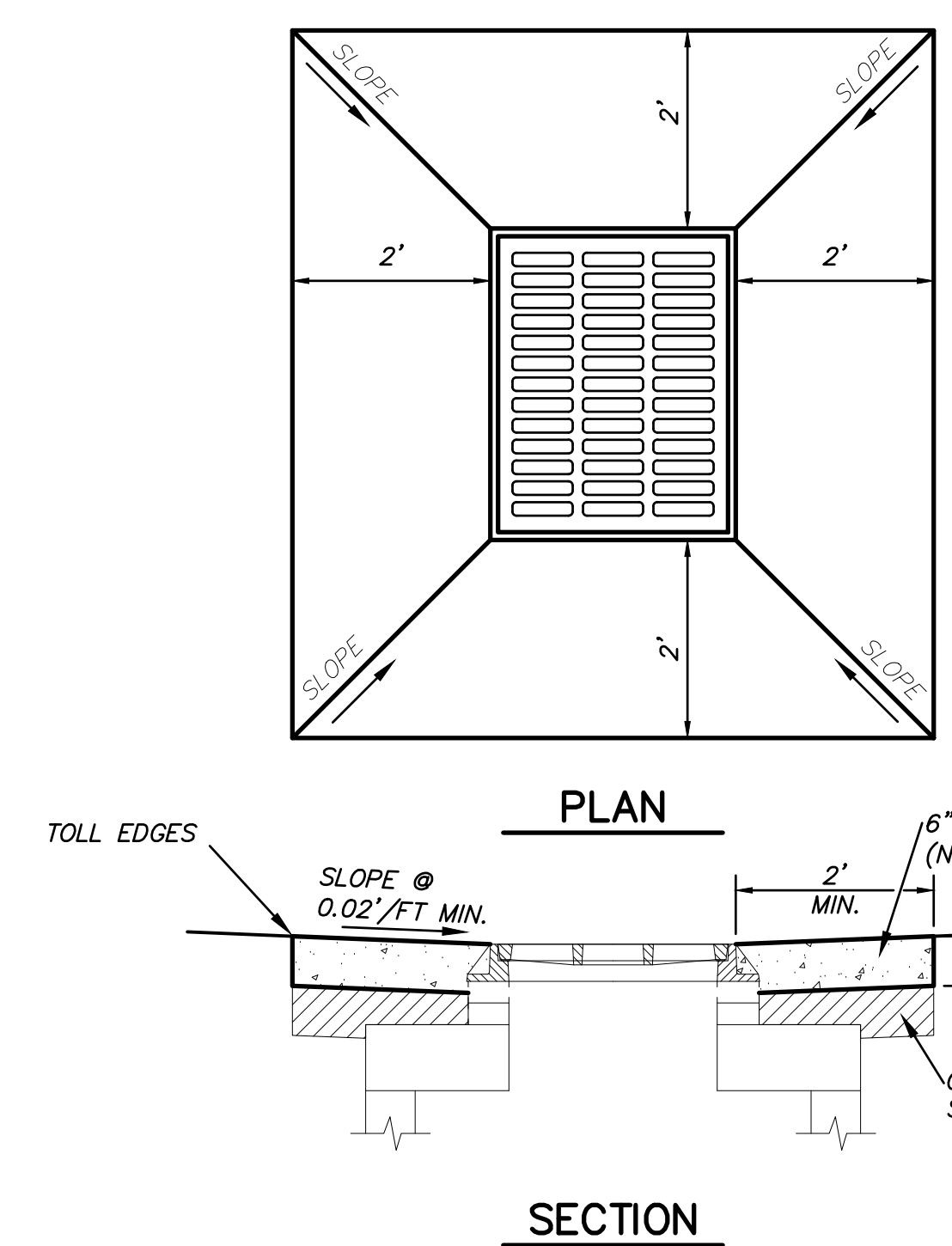


- CURB NOTES:**
- PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 - CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 - TYPE "D" CURB FOR PARKING LOTS MAY BE INSTALLED AS "TRENCHED" D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION.
 - AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50' WITH THE CONTRACTION JOINTS AT 10' INTERVALS BETWEEN.
 - EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.



- NOTES:**
- STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF LIMEROCK BASE. AREAS BELOW DESIGN GRADE MAY BE CORRECTED BY PLACEMENT OF ADDITIONAL LIMEROCK MATERIAL. AREAS ABOVE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO LIMEROCK PLACEMENT.
 - LIMEROCK BASE FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 8" SHALL BE PLACED IN EQUAL LIFTS NOT EXCEEDING 6".
 - PRIME COAT SHALL BE APPLIED TO ALL FINISHED LIMEROCK BASE SURFACES AFTER BOARDING AND DENSITY INSPECTIONS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 - TACK COAT SHALL BE PLACED AS REQUIRED ON EXISTING ASPHALT SURFACES BEFORE APPLICATION OF AN OVERBUILD LAYER AND TO NEW SURFACES BETWEEN LIFTS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 - FINAL PAVEMENT LIFT CANNOT BE PLACED UNTIL ALL PROJECT LANDSCAPING IS IN PLACE AND THE IRRIGATION SYSTEM IS INSTALLED AND APPROVED.

ASPHALTIC CONCRETE PAVEMENT DETAIL MINOR ROADWAYS AND PARKING LOTS N.T.S.



- NOTES:**
- CONSTRUCT 2' WIDE (MIN.) APRON AROUND INLET (4 SIDES).
 - APRON AROUND CATCH BASIN SHALL BE 6" THICK CONCRETE ON COMPACTED SUBGRADE.
 - CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 - SLOPE OF APRON SHALL MATCH EXISTING GROUND SLOPE OR 2% MINIMUM.
 - PROVIDE LIGHT BROOM FINISH ON CONCRETE SURFACE AND TOOL ALL EXPOSED EDGES.

PBC AMENDMENTS:	PBC ZONING STAMP
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V:\2156\ACTIVE\215617459\DRAWINGS\GENERAL DETAILS.DWG 7/3/2023 3:07 PM

Revision	By	Appd.	YY.MM.DD

Permit-Seal

SHEHAB BATA, P.E.
REGISTERED ENGINEER NO. 85007
STATE OF FLORIDA

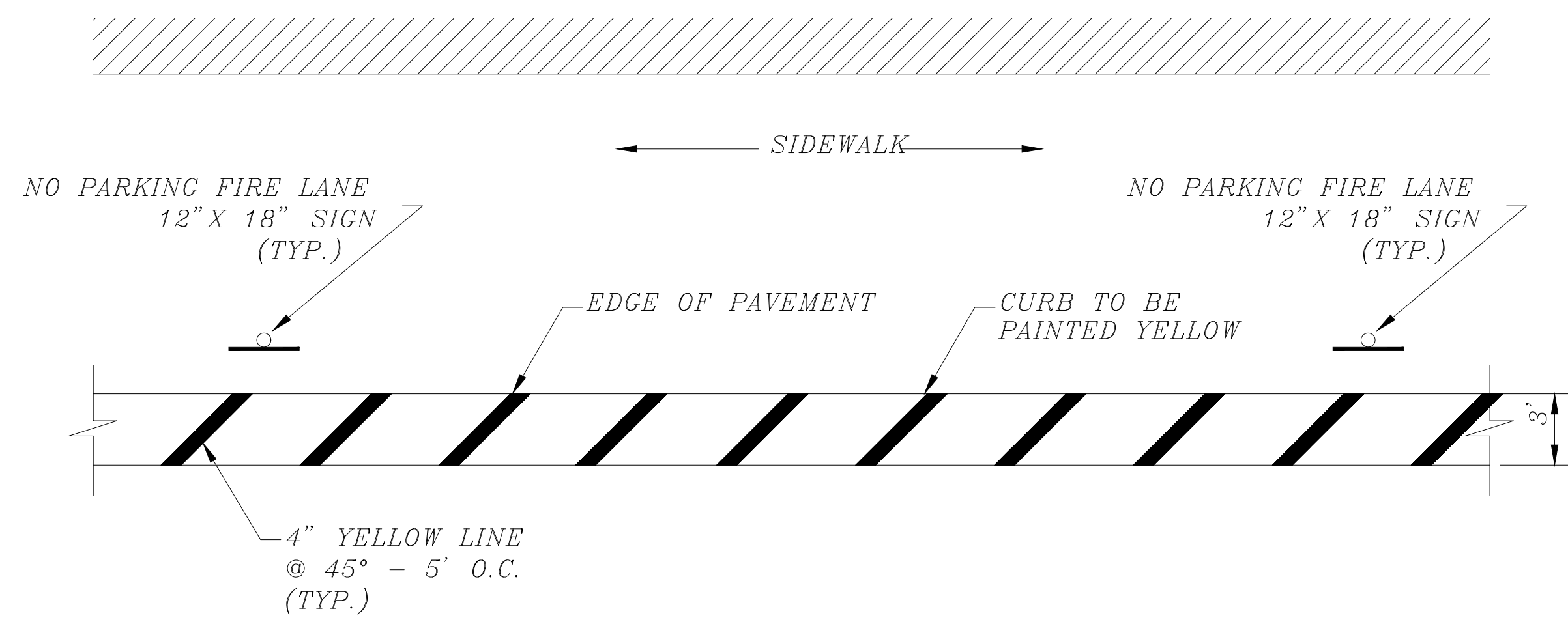
Stantec
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Deerfield Beach, FL 33441
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(561) 481-2812

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Client/Project	SELF-STORAGE 500 S. STATE ROAD 7 HOLLYWOOD, FLORIDA
File Name:	General Details.dwg
KVM	22/08/10
Dwn.	YY.MM.DD
SHB	
SMB	
Chkd.	
Dsgn.	

Title	GENERAL DETAILS I
Project No.	215617459
Scale	AS SHOWN
Drawing No.	C-10
Sheet	
Revision	

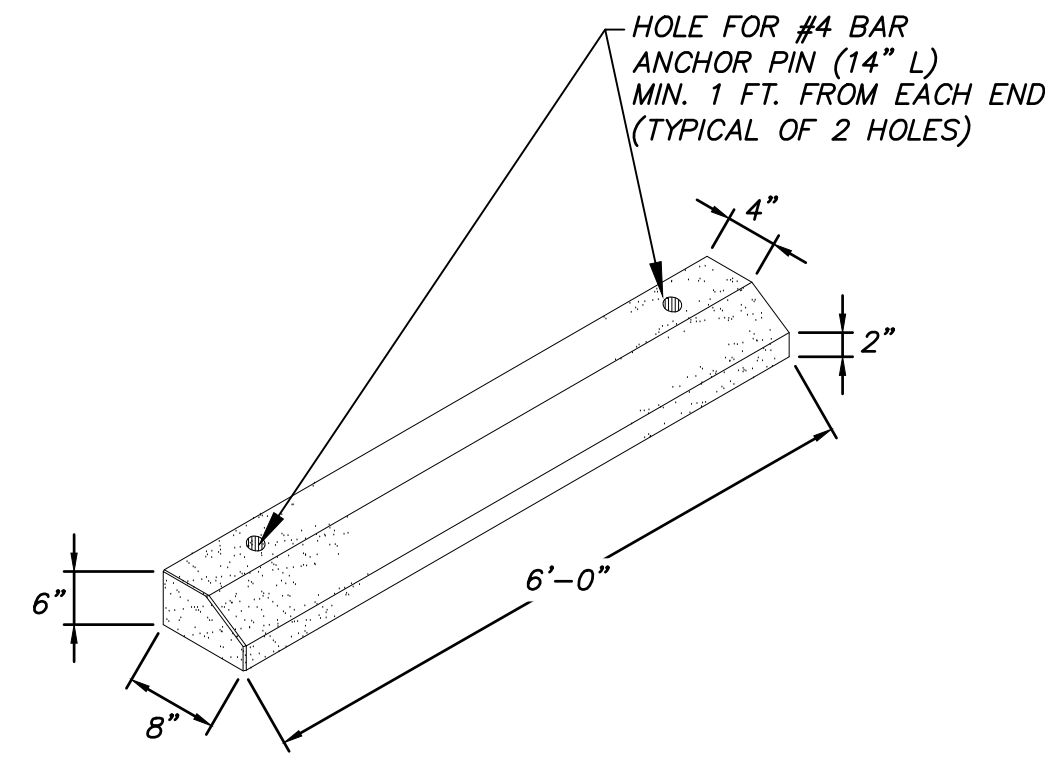
BUILDING



NOTES:

- The pavement shall be painted with parallel four-inch-wide yellow strip lines every 5' on center extending at least 3' from edge of the pavement.

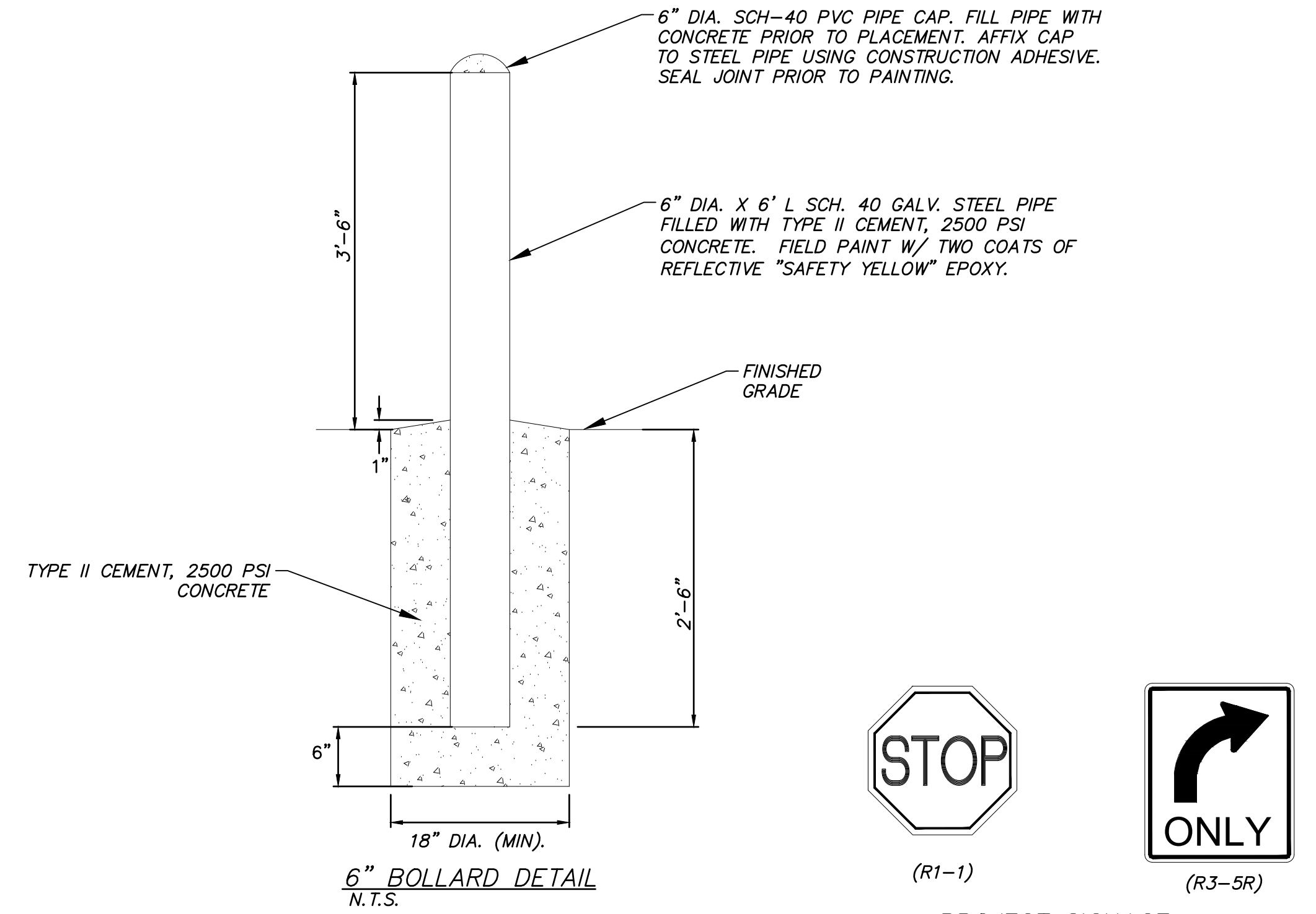
FIRE LANE DETAIL
N.T.S.



6' PRECAST WHEEL STOP DETAIL
N.T.S.

NOTES:

- CONTRACTOR TO PROVIDE 6' PRECAST CONCRETE WHEEL STOP/PARKING CURB TO EOR FOR REVIEW AND APPROVAL.



6\"/>



PROJECT SIGNAGE
N.T.S.

NOTES:

- ALL R1-1, R1-2 AND R5-1 SIGNING SHALL BE FABRICATED USING DIAMOND GRADE SHEETING AS PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARD, (CURRENT EDITION)
- ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION SHALL BE REPLACED USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.
- ALL MARKING PAINT TO BE REFLECTIVE.
- ALL PAVEMENT MARKING AT PROPERTY LINE SHALL BE THERMOPLASTIC APPLIED ACCORDING TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS WITH 100% REFLECTIVE COVERAGE.

FOR SIGN ASSEMBLIES WITH MAXIMUM 8.75 SQUARE FOOT PANEL AREA

FOR SIGN ASSEMBLIES WITH GREATER THAN 8.75 SQUARE FOOT PANEL AREA WITH SUPPLEMENTAL SIGN

Typical Details

STREET ID (D3-1) MATERIALS:

LETTERS
WHITE TYPE XI SHEETING
LETTERING OF STREET NAME SIGNS SHALL BE COMPOSED OF A COMBINATION OF LOWERCASE LETTERS WITH INITIAL UPPERCASE LETTERS

BORDER
BORDER WIDTHS WILL VARY BASED ON LETTER HEIGHTS

LETTER HEIGHTS - BORDER WIDTHS
4 INCH LETTER = 0.375 INCH BORDER WIDTH
6 INCH LETTER = 0.500 INCH BORDER WIDTH
8 INCH LETTER = 0.750 INCH BORDER WIDTH

GREEN BACKGROUND
GREEN TRANSLUCENT INK SILK-SCREENED CLEAR-COATED OR ELECTRO-OUT (EC) FILM OR EQUIVALENT

LETTER SIZES
SEE MUTCD TABLE 2D-2 (PG 163) FOR MINIMUM LETTER HEIGHTS
LENGTH VARIES BY STREET NAME

HARDWARE
BOLTS - #18 HEX HEAD STAINLESS STEEL 5/16\"/>

REGULATORY SIGN
WHEN NO STREET ID IS PRESENT THE STOP SIGN SHALL BE MOUNTED FLUSH TO THE TOP OF THE POST WHILE MAINTAINING 7 FEET MIN. CLEARANCE BETWEEN BOTTOM OF SIGN AND GROUND LEVEL. ANY SIGN INSTALLED BACK TO BACK WITH THE STOP SIGN SHALL BE SMALLER THAN THE STOP SIGN

STOP, DO NOT ENTER OR YIELD
WHITE TYPE XI SHEETING
PRESSURE-SENSITIVE RED TRANSLUCENT INK SILK-SCREENED CLEAR-COATED OR ELECTRO-OUT (EC) FILM OR EQUIVALENT.

HARDWARE
FRONT: #18 HEX HEAD STAINLESS STEEL 5/16\"/>

NOTES:
1. ALL TYPE XI SHEETING UTILIZED MUST BE ON THE FOOT PLIST.
2. SEE BCTD TECHNICAL POLICY MEMO #TRM-16-001 - SPECIFICATIONS FOR RETROREFLECTIVE TRAFFIC SIGN MATERIALS.

SQUARE TUBE SIGN POST
The Square Tube Sign Post shall consist of a 2.5\"/>

Notes:
1. Dimensions and certain details for the parts used to assemble the slip base connections are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and interims.
2. For standard ground sign installation, see detail entitled "Ground Sign Assembly Details".

REVISIONS

DATE	DESCRIPTION
04-09-2019	UPDATED MATERIAL NOTES
02-28-2020	ADDED ISOMETRIC VIEW
02-05-2021	UPDATED POST BASE HEIGHT

BROWARD COUNTY FLORIDA

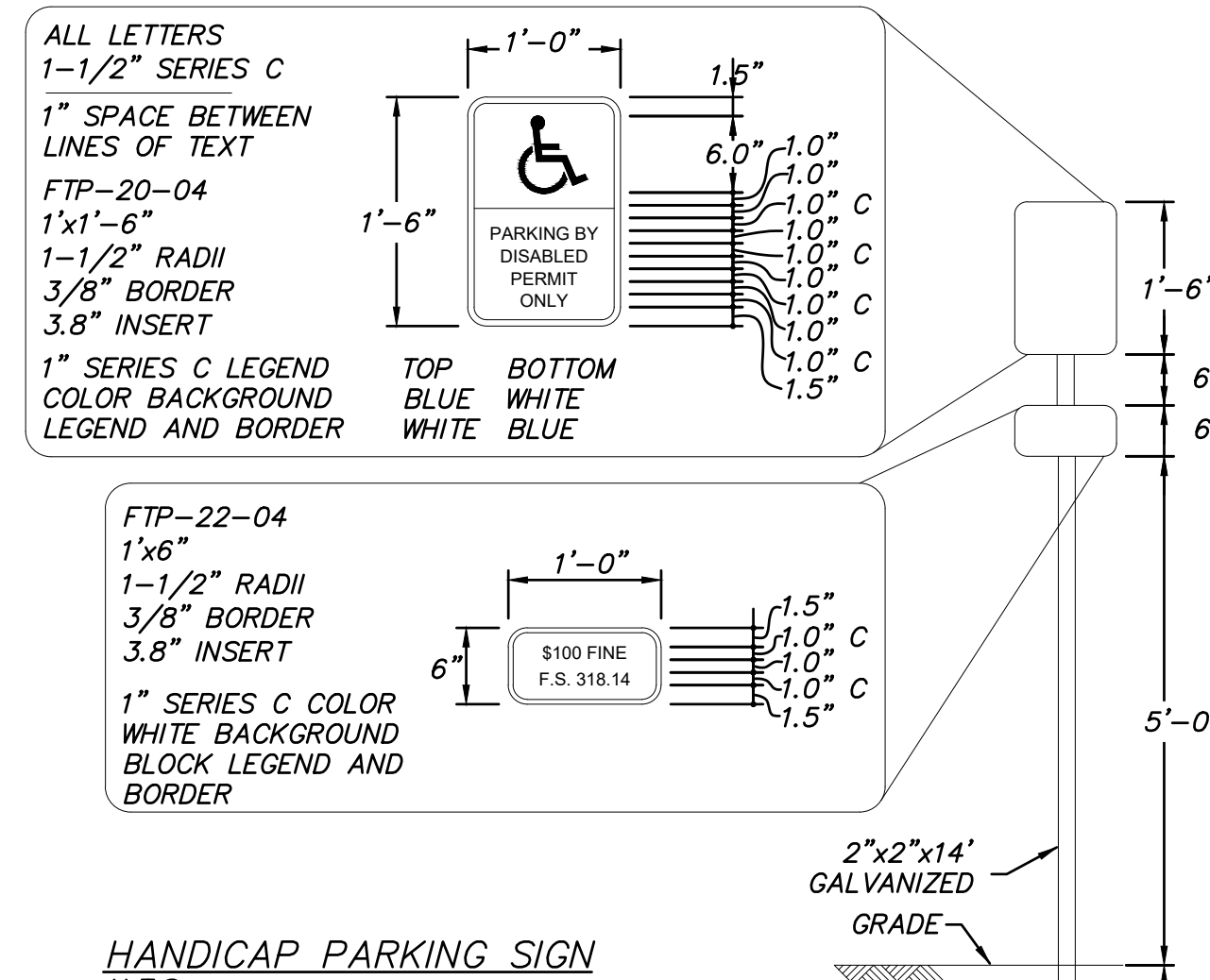
PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION

DESIGN BY: CARMELO CARATTOZZOLO, P.E.
DRAWN BY: STEPHON RAMCOUTAR
CHECKED BY: ANDREW SEBO, P.E., PTOE

SCALE: NTS

STOP SIGN AND STREET IDENTIFICATION ASSEMBLY
TYPICAL DETAILS

SHEET NO. 1 OF 1



HANDICAP PARKING SIGN
N.T.S.

ALL LETTERS

1-1/2\"/>

1\"/>

1\"/>

1\"/>

1\"/>

1\"/>

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1\"/>

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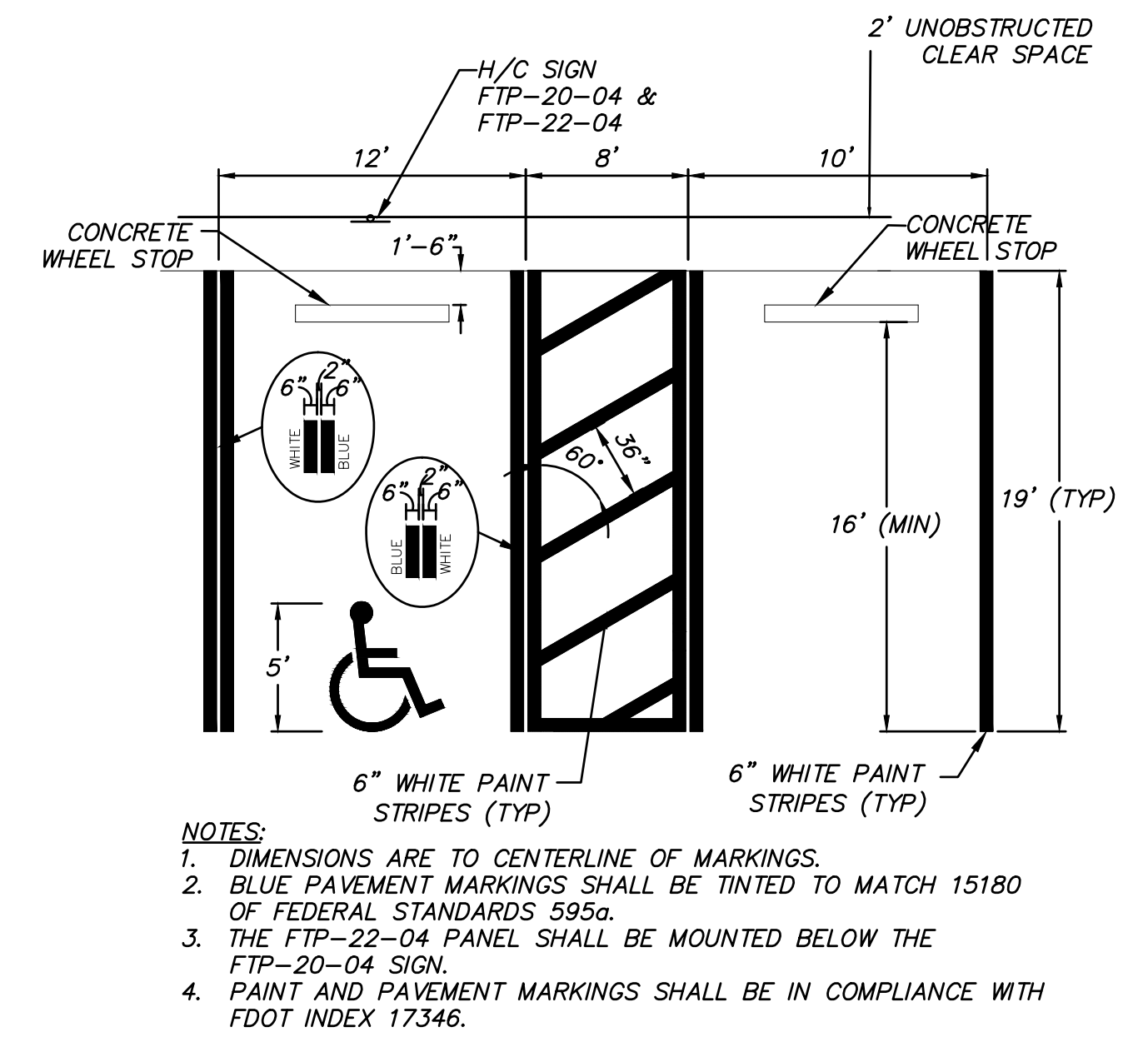
1\"/>

1\"/>

1\"/>

1\"/>

ALL PAVEMENT MARKINGS AND SIGNING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARD (CURRENT EDITION)

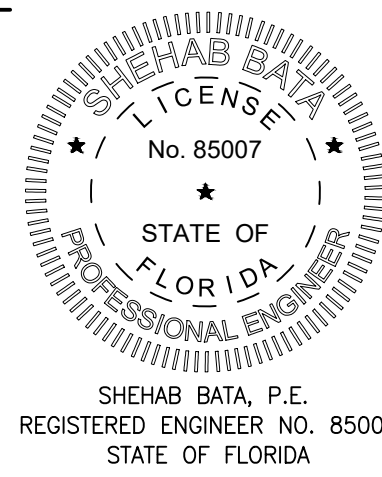


NOTES:

- DIMENSIONS ARE TO CENTERLINE OF MARKINGS.
- BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH 15180 OF FEDERAL STANDARDS 595a.
- THE FTP-22-04 PANEL SHALL BE MOUNTED BELOW THE FTP-20-04 SIGN.
- PAINT AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH FDOT INDEX 17346.

TYPICAL PARKING SPACE
N.T.S. (REGULAR & HANDICAP)

Permit-Seal



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Client/Project

SELF-STORAGE
500 S. STATE ROAD 7
HOLLYWOOD, FLORIDA

File Name: General Details.dwg

KVM Dwn. SHB Chkd. SMB Dgn. 22/08/10 YY.MM.DD

Title

GENERAL DETAILS II

Project No.

215617459

Scale

AS SHOWN

Drawing No.

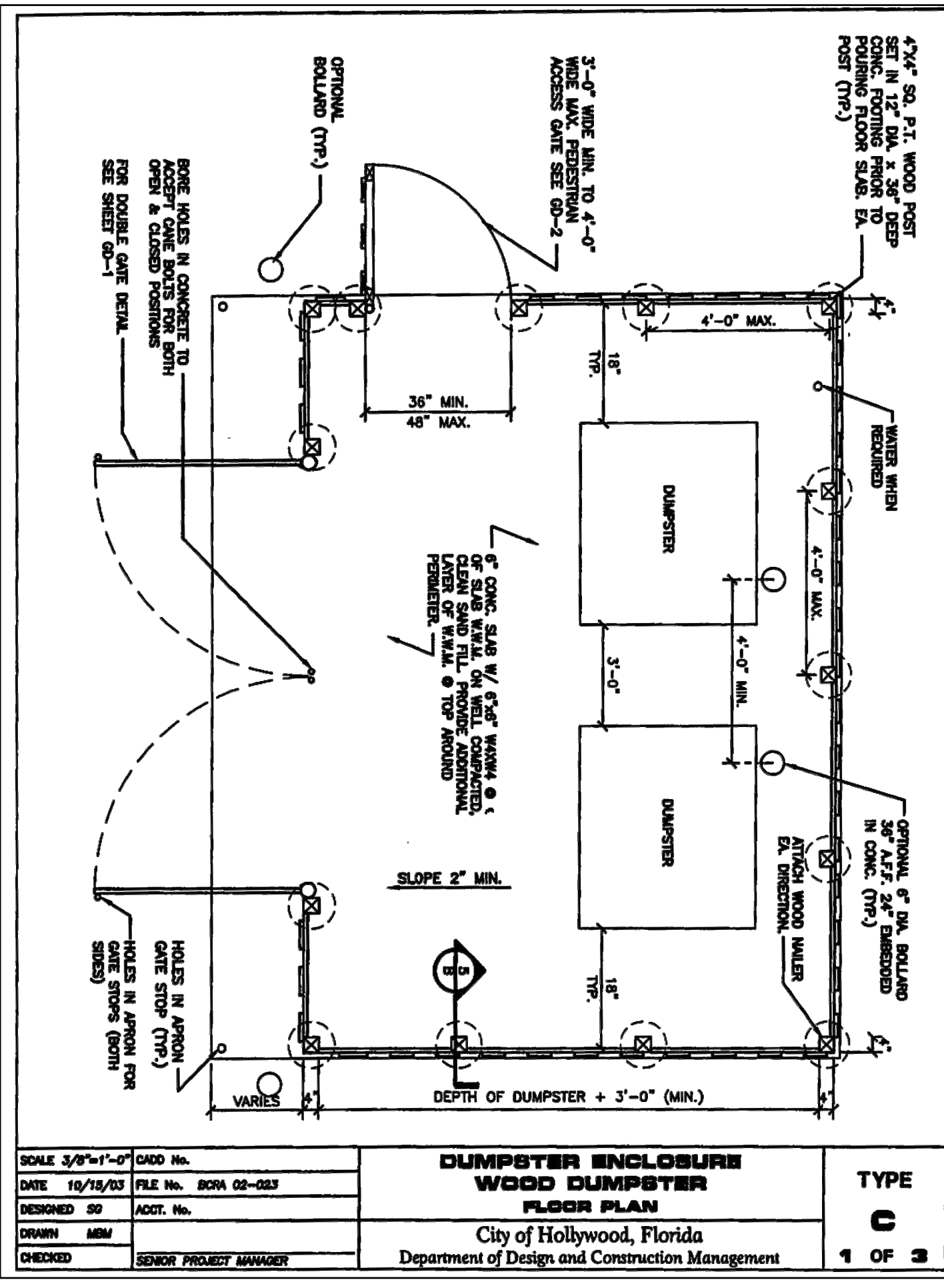
C-11

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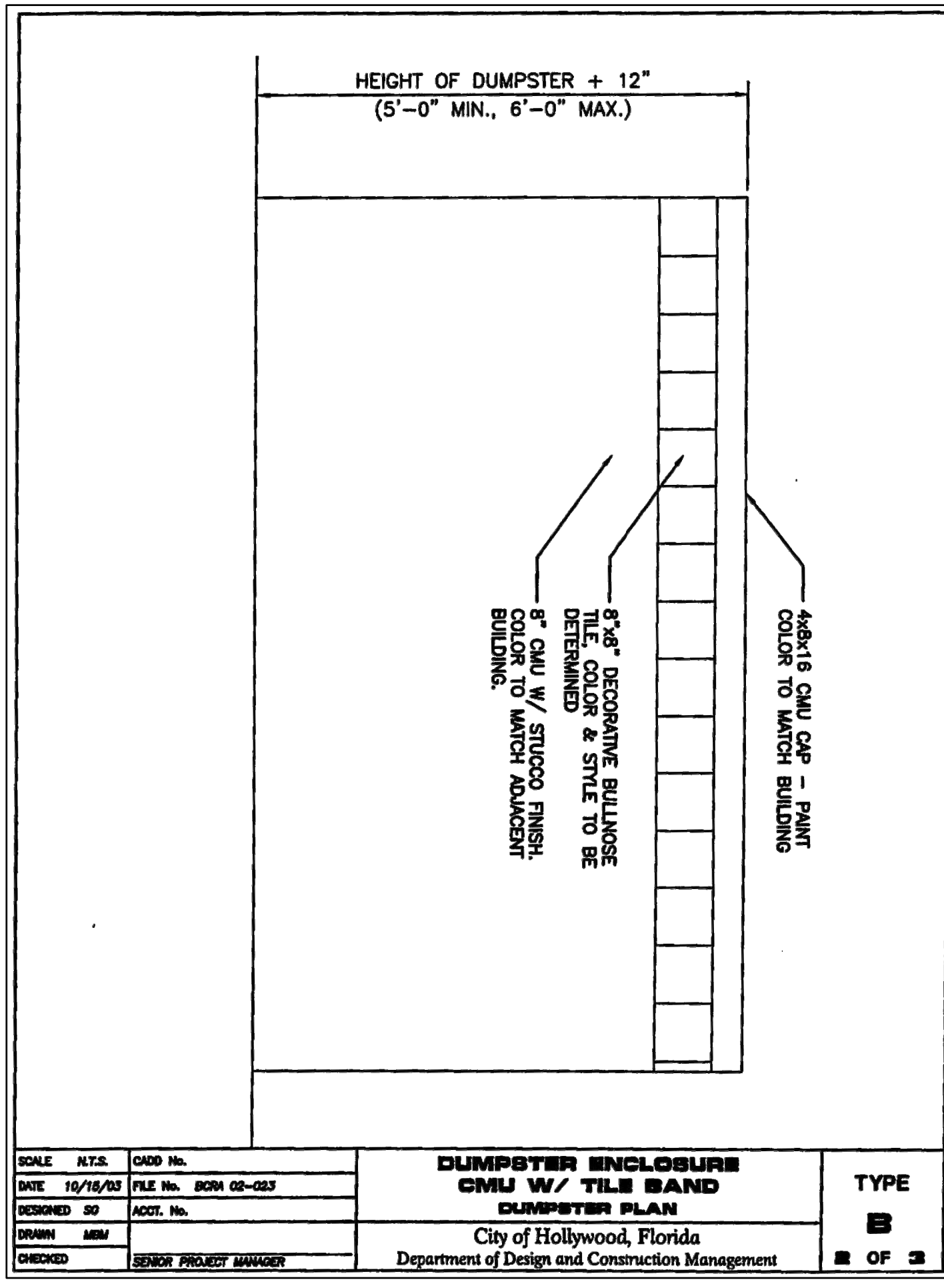
Revision

PBC AMENDMENTS:

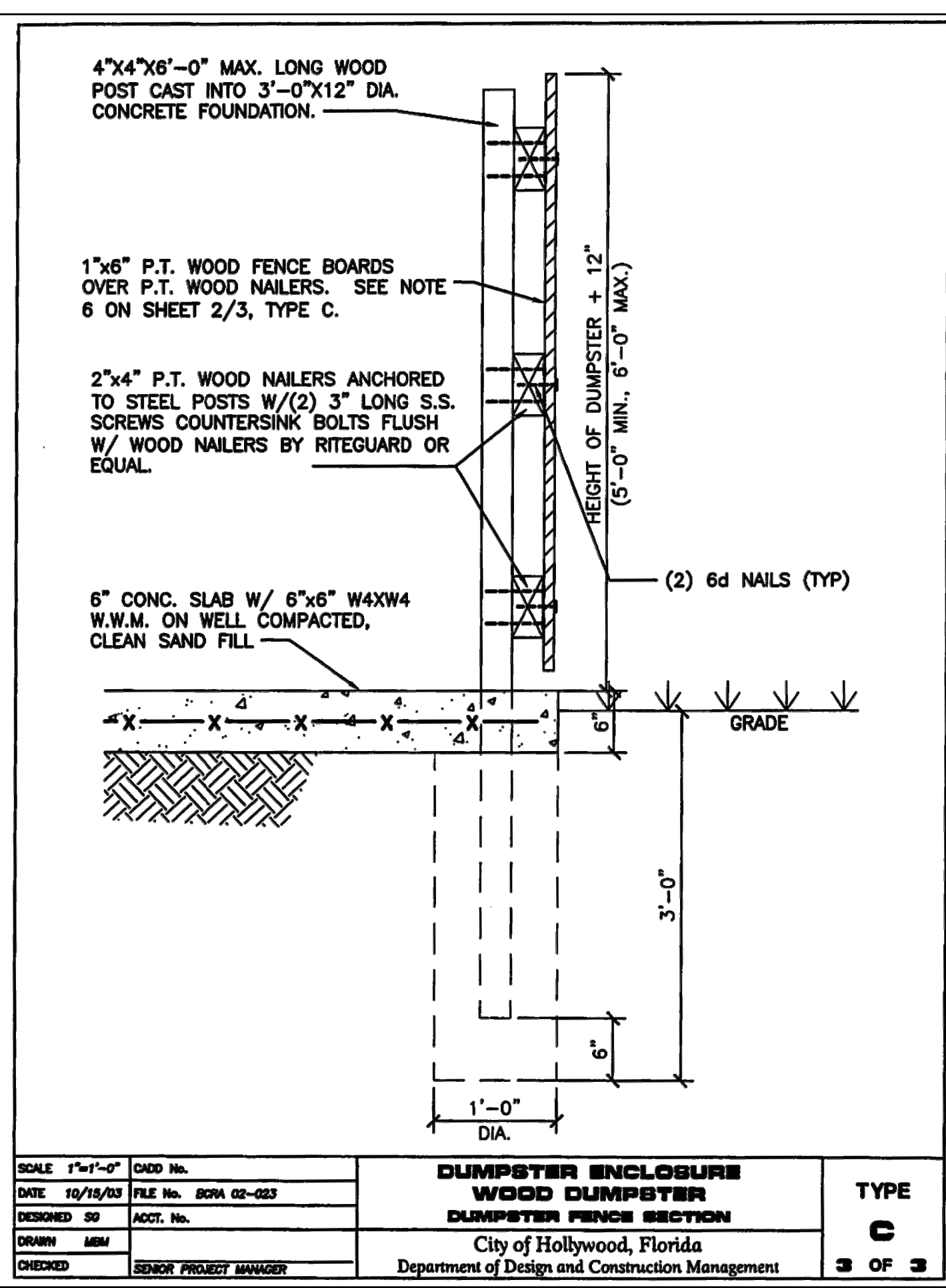
PBC ZONING STAMP



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DATE	10/15/03	FILE No.	BOVA 02-033
DESIGNED BY	ACCT. No.		
DRAWN	MMW		
CHECKED	SENIOR PROJECT MANAGER		
DUMPSTER ENCLOSURE			
WOOD DUMPSTER			
FLOOR PLAN			
City of Hollywood, Florida			
Department of Design and Construction Management			
	TYPE	C	1 OF 3

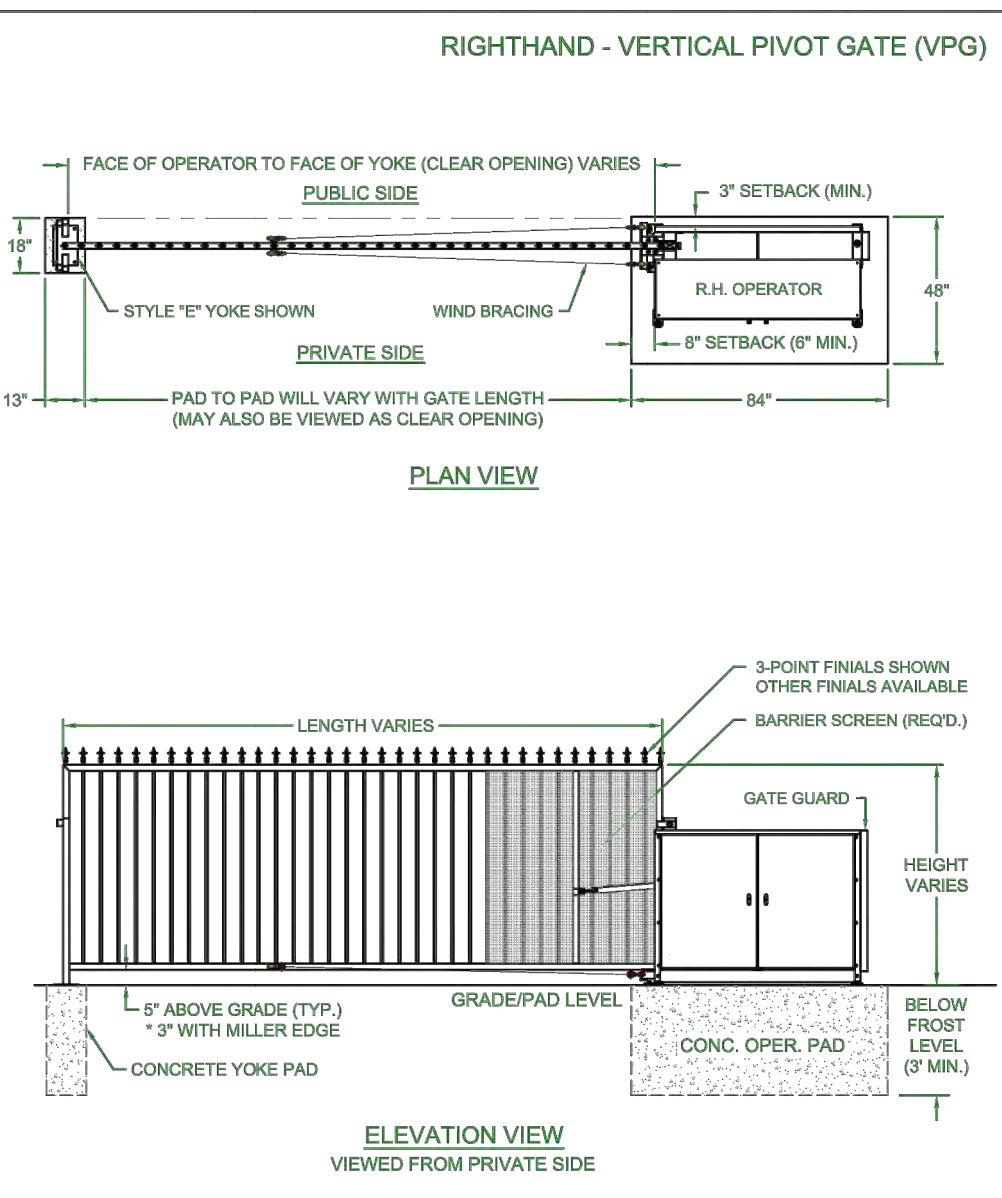
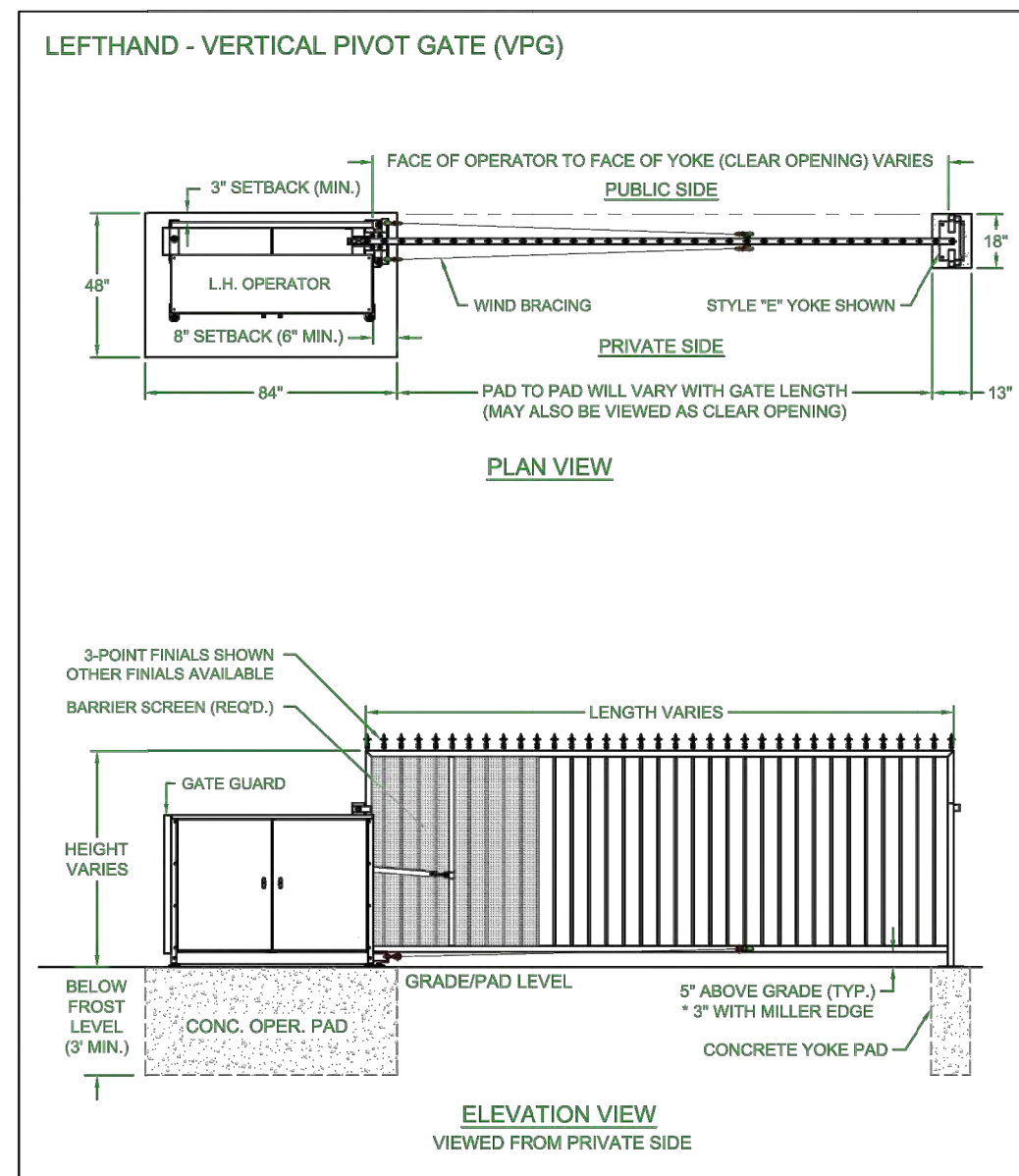


SCALE	N.T.S.	CADD No.	
DATE	10/15/03	FILE No.	BOVA 02-033
DESIGNED BY	ACCT. No.		
DRAWN	MMW		
CHECKED	SENIOR PROJECT MANAGER		
DUMPSTER ENCLOSURE			
CMU W/ TILE BAND			
DUMPSTER PLAN			
City of Hollywood, Florida			
Department of Design and Construction Management			
	TYPE	B	2 OF 3



SCALE	1/2"=1'-0"	CADD No.	
DATE	10/15/03	FILE No.	BOVA 02-033
DESIGNED BY	ACCT. No.		
DRAWN	MMW		
CHECKED	SENIOR PROJECT MANAGER		
DUMPSTER ENCLOSURE			
WOOD DUMPSTER			
DUMPSTER FENCE SECTION			
City of Hollywood, Florida			
Department of Design and Construction Management			
	TYPE	C	3 OF 3

- NOTE:
- DUMPSTER ENCLOSURE DIMENSIONS SHALL BE AS SHOWN ON SITE PLAN SHEET
 - SEE ARCHITECTURAL DRAWINGS FOR WOOD FINISH.



NOTES:

- ALL OF OUR GATES ARE TYPICALLY DRAWN FROM THE PRIVATE SIDE LOOKING OUT.
- LENGTH AND HEIGHT VARIES, CONSULT WITH AUTOGATE SALES FOR MORE INFORMATION.
- SHOWN WITH STANDARD "E" STYLE "E" YOKE. SEE DRAWING #105 FOR YOKE STYLES.
- CONTOURS AND CURBS WILL REQUIRE CUSTOM DRAWINGS. (CONSULT WITH AUTOGATE).

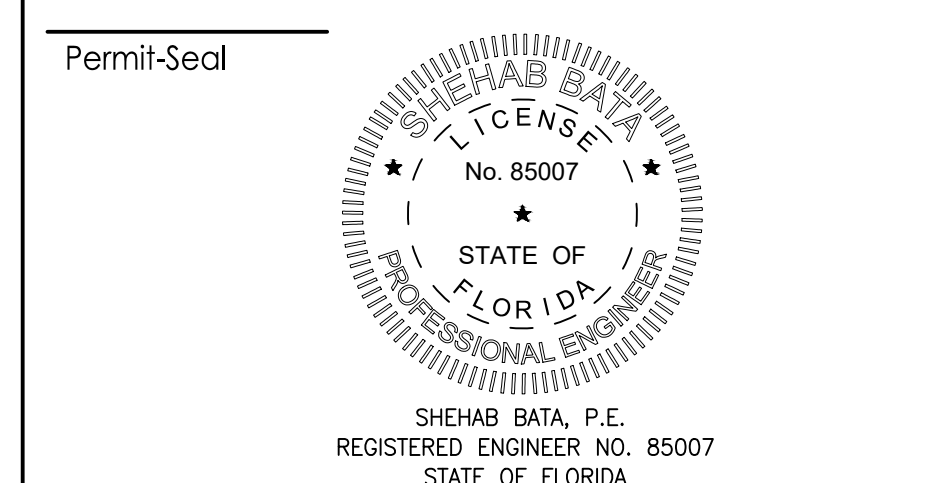
Rev.	Description	Date	DO NOT SCALE	Date:	4/19/07
C	COMBINED LEFT AND RIGHT HAND GATES ON ONE PRINT	07/23/04		DRN. BY:	MKS
B	VPG WAS VPL & INCREASED BARRIER SCREEN COVERAGE	04/29/04		CHK. BY:	DMR
A	UPDATED PRINT - OPERATOR SHOWN MORE ACCURATELY	03/04/03		Dwg:	500 Buckeye VPG
				Title:	500 Buckeye Vertical Pivot Gate (VPG)

AG AutoGate
Gate Entry Systems
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Deerfield Beach, FL 33441
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(754) 481-2812

VERTICAL PIVOT GATE DETAIL
N.T.S.

PBC AMENDMENTS:

PBC ZONING STAMP



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EVM Dwn. KVM Chkd. SHB Dsgn. SMH

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Title

GENERAL DETAILS III

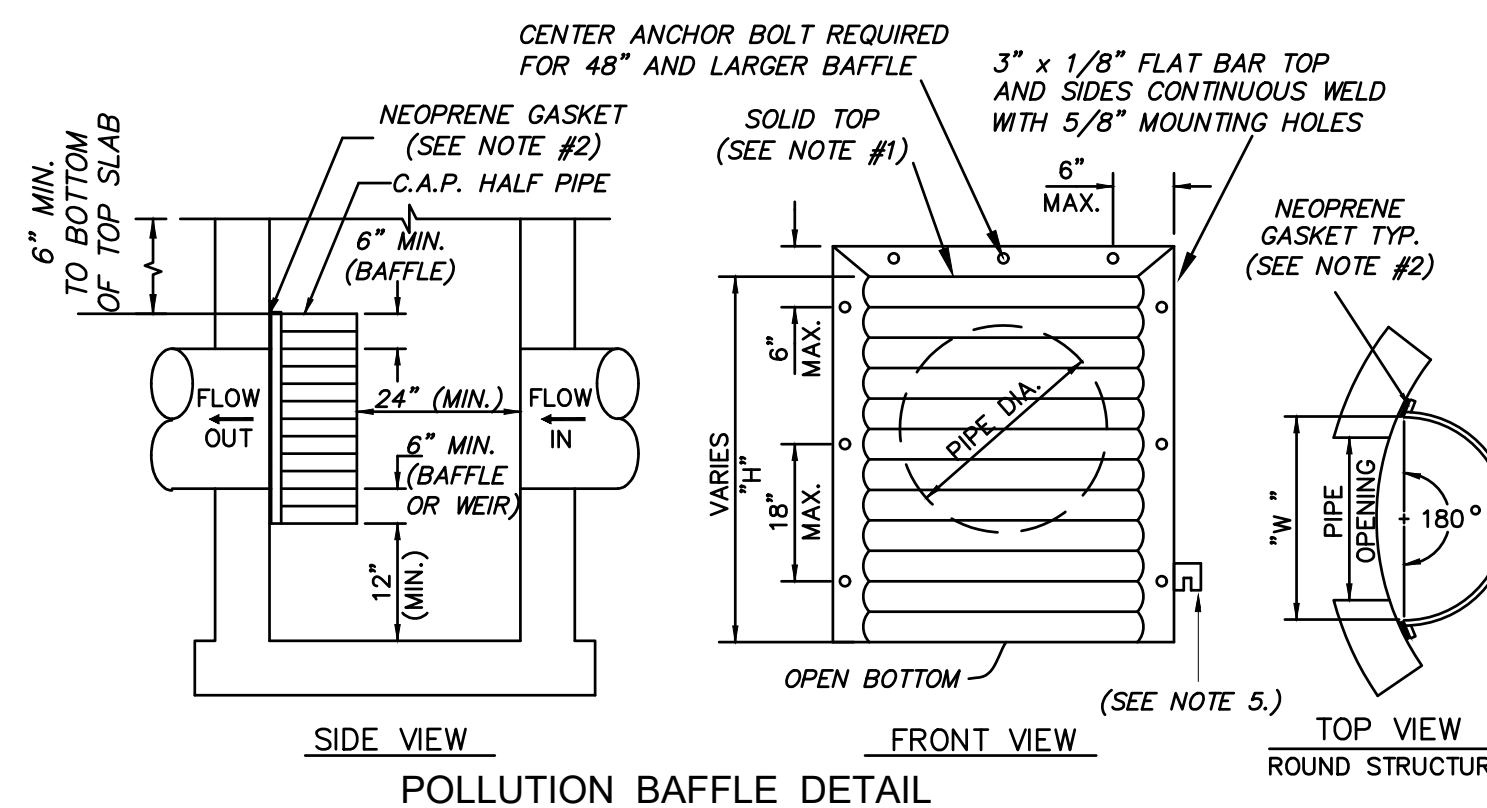
Project No. 215617459

Scale AS SHOWN

Drawing No. C-12

Sheet

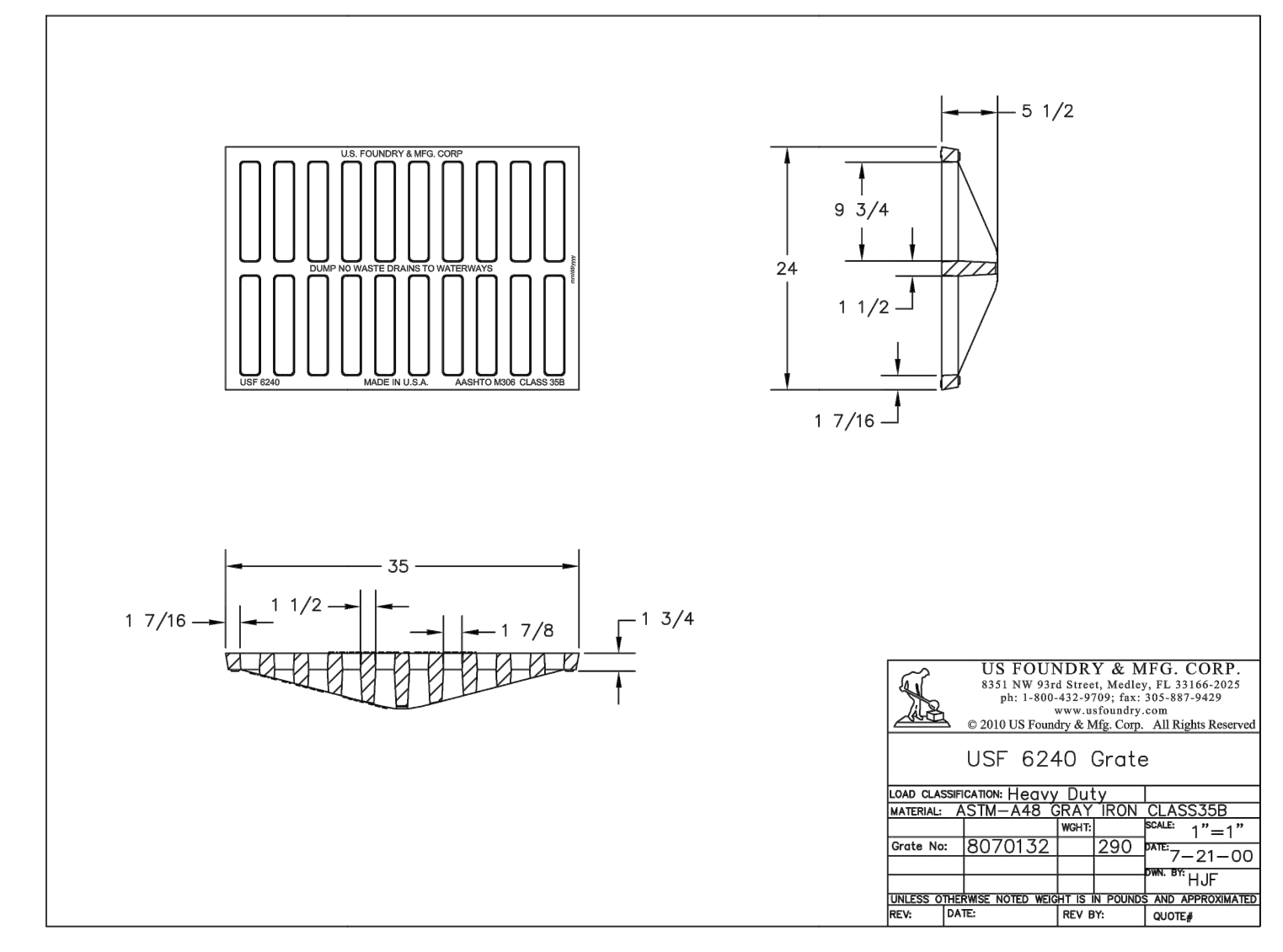
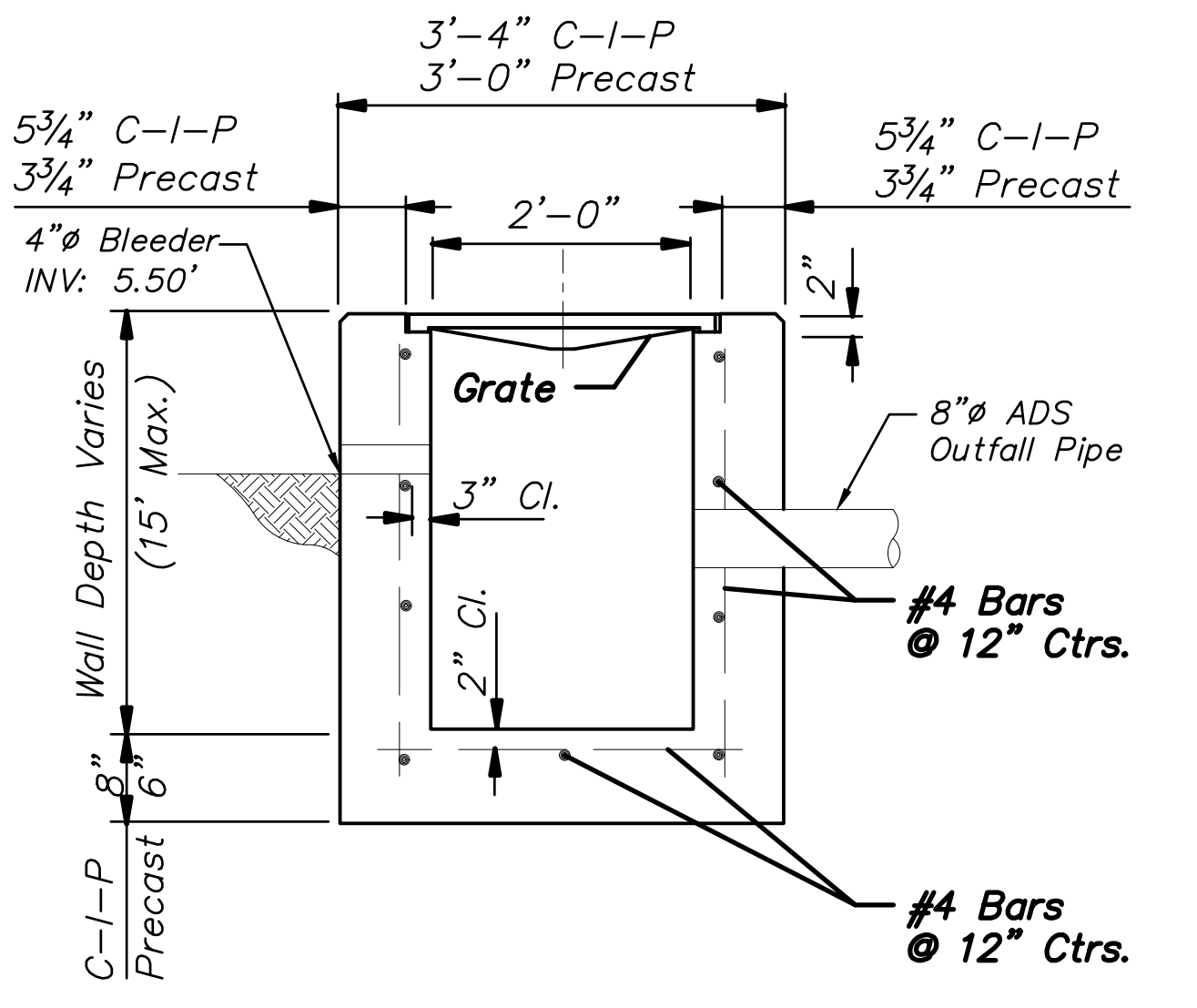
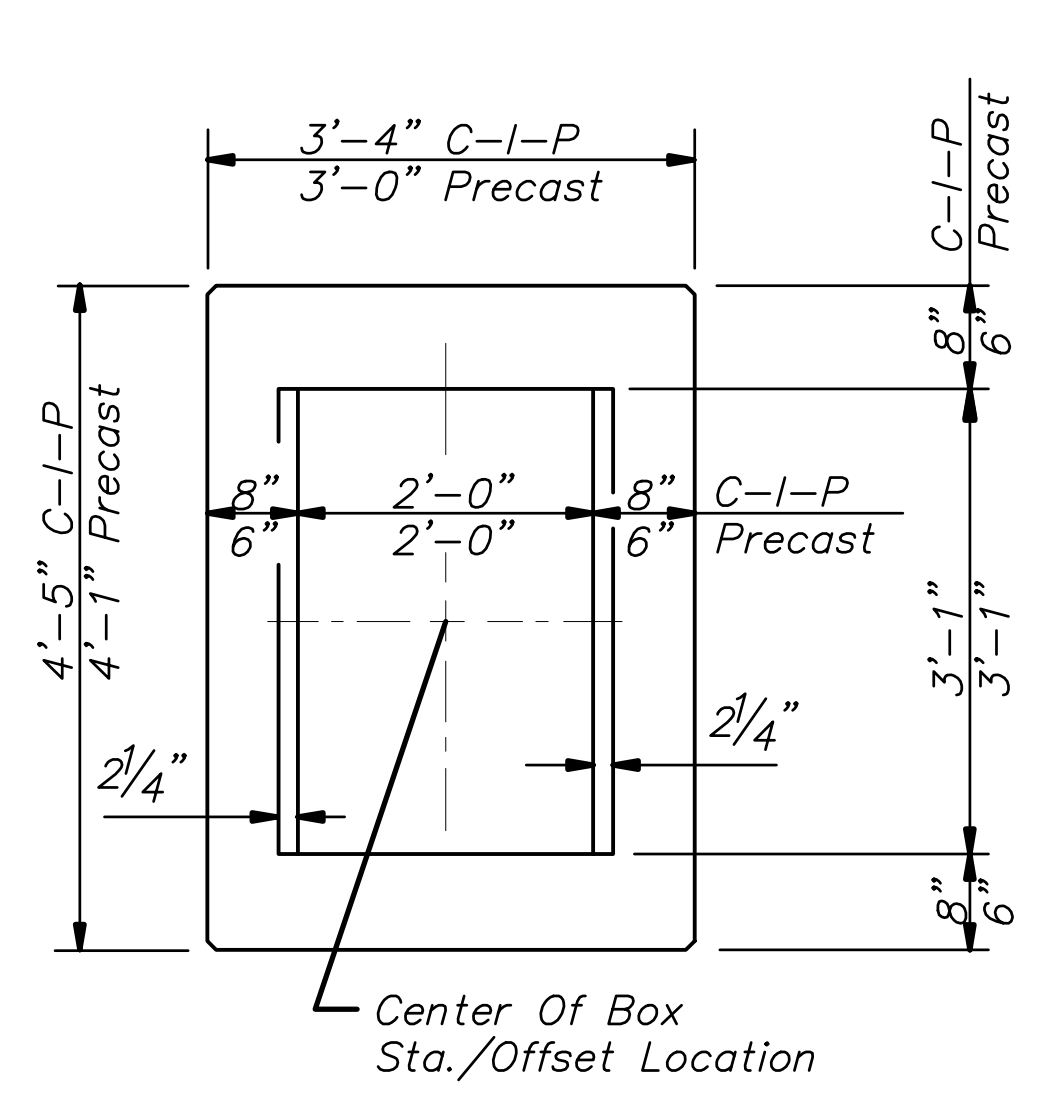
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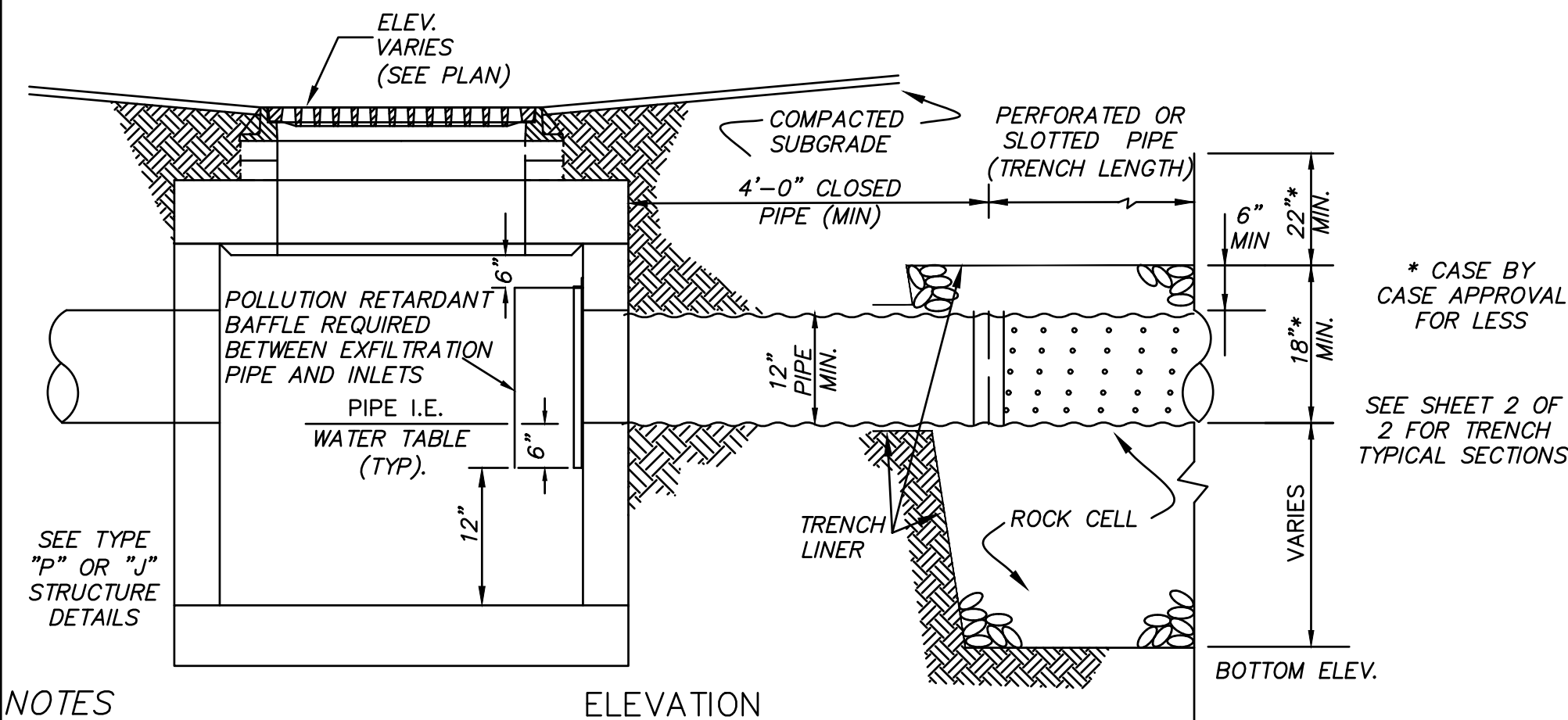
PIPE DIA.	W (IN)	T (GAUGE)	H (IN)
15"	21"	16	VARIES
18"	24"	16	VARIES
21"	30"	16	VARIES
24"	36"	16	VARIES
30"	42"	14	VARIES
36"	48"	14	VARIES
42"	54"	14	VARIES
48"	60"	14	VARIES
54"	66"	14	VARIES
60"	72"	14	VARIES

RECTANGULAR OR ROUND STRUCTURE

- NOTES:
- ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP OR BOTTOM.
 - NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 2") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES AND BOTTOM OF ALL WEIRS.
 - POLLUTION RETARDANT BAFFLE AND WEIR TO BE FASTENED IN PLACE WITH 1/2" x 4" STAINLESS STEEL "RED HEAD" ANCHORS, OR APPROVED EQUAL. ALL MOUNTING HARDWARE TO BE STAINLESS STEEL.
 - FIBERGLASS BAFFLES ARE NOT PERMITTED.
 - BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.
 - PIPE CORRUGATION SHALL BE ANNULAR.

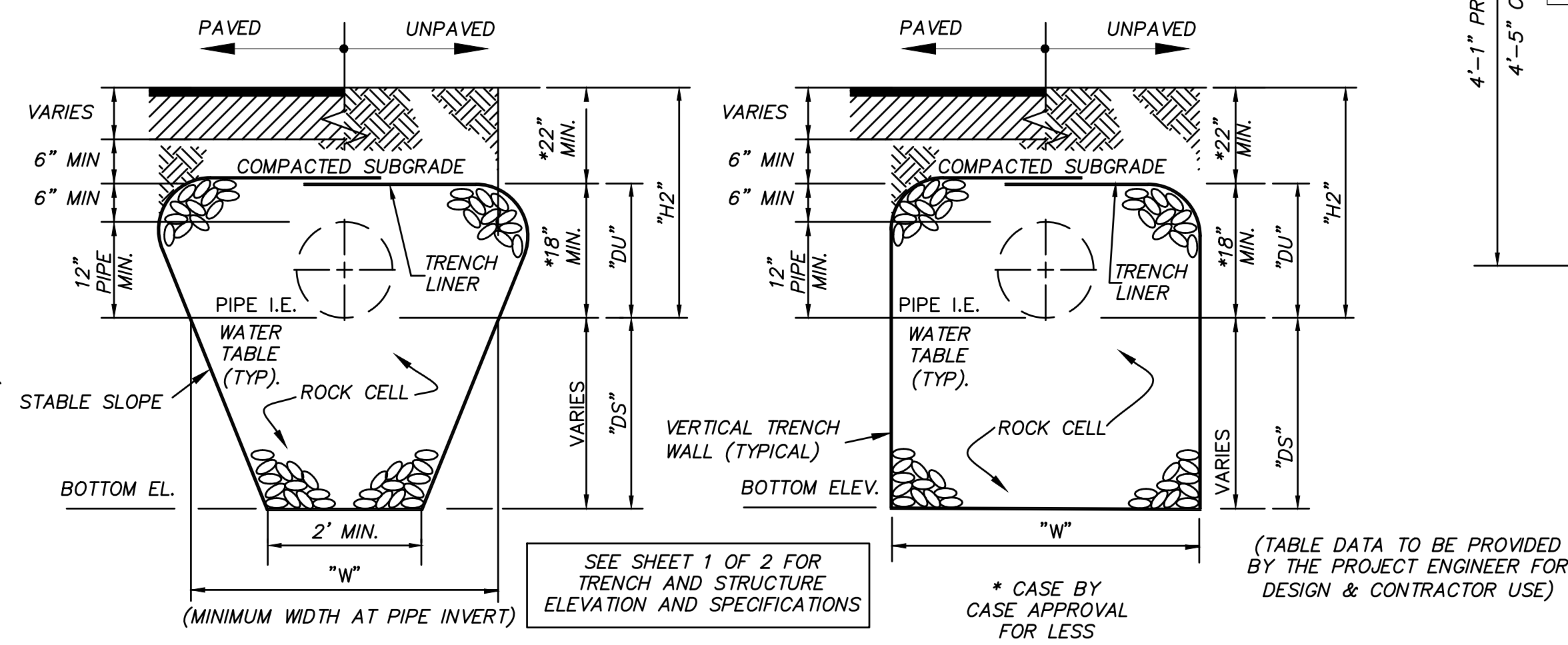


POLLUTION RETARDANT BAFFLE DETAILS
NOT TO SCALE (D-10)



- NOTES:
- EXFILTRATION PIPE SHALL BE A-2000 PVC CORRUGATED PIPE, HDPE CORRUGATED PIPE, ALUMINUM CORRUGATED METAL PIPE OR SLOTTED REINFORCED CONCRETE PIPE, OR OTHER MATERIALS AS APPROVED BY THE CITY OF SUNRISE. ALL PIPE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. PROVIDE GASKETS FOR RCP & PVC PIPE. GASKETS ARE OPTIONAL FOR CMP & HDPE PIPE WITHIN THE ROCK CELL. ALL EXFILTRATION SYSTEM PIPE SHALL BE LAID WITH 0.0% SLOPE.
 - ROCK FOR THE EXFILTRATION TRENCH SHALL CONSIST OF FDOT #4 AGGREGATE AND SHALL BE FROM FRESH WATER WASHED FREE OF DELETERIOUS MATTER. #57 STONE AGGREGATE IS NOT TO BE USED IN TRENCH. TRENCH LENGTH IS MEASURED BY THE LENGTH OF PERFORATED PIPE ONLY. ALL PIPES SHALL CONNECT TO STRUCTURES - NO DEAD END EXFILTRATION PIPE IS ALLOWED.
 - SIDES AND TOP OF TRENCH SHALL BE LINED WITH ONE LAYER OF WOVEN OR NON-WOVEN PLASTIC TYPE FILTER CLOTH. OVERLAP TRENCH LINING MATERIAL A MINIMUM OF TWO FEET AT TOP OF TRENCH AND WRAP PIPE AT TRENCH ENDS. CLOSE FABRIC ENDS AT PIPE WITH A STAINLESS STEEL STRAP AROUND PIPE. ALL MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 - BIO-BARRIER SHALL BE INSTALLED ADJACENT TO EXFILTRATION TRENCH WHEN EXISTING OR PROPOSED TREES ARE LOCATED WITHIN 10 FEET OF THE CENTERLINE OF PIPE. INSTALLATION OF BIO-BARRIER SHALL BE IN ACCORDANCE WITH CITY LANDSCAPE DETAILS.
 - DESIGN CALCULATIONS FOR EXFILTRATION TRENCH SHALL COMPLY WITH THE CRITERIA ESTABLISHED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT. SEE SHEET 2 OF 2 FOR DESIGN CONSIDERATIONS.

EXFILTRATION TRENCH CONSTRUCTION DETAILS
SHEET 1 OF 2
NOT TO SCALE



- NOTES:
- EXFILTRATION TRENCH PARAMETERS FOR DESIGN
 "W" = TRENCH WIDTH
 "D5" = SATURATED TRENCH BELOW WATER TABLE (FROM WATER CONTROL ELEVATION TO BOTTOM OF TRENCH)
 "DU" = UNSATURATED TRENCH ABOVE WATER TABLE (FROM WATER CONTROL ELEVATION TO TOP OF TRENCH)
 "H2" = DISTANCE OF GROUND SURFACE TO WATER TABLE
 - NOTE THAT FOR EXFILTRATION TRENCHES THAT DISCHARGE TO A CONTROL WEIR H2 AND DU WILL BE LIMITED IN THE DESIGN TO THE DISTANCE FROM THE CREST OF THE WEIR TO THE WATER TABLE.
 - FOR DESIGN OF TRENCH SEE SOUTH FLORIDA WATER MANAGEMENT DISTRICT "PERMIT INFORMATION MANUAL VOLUME IV," SURFACE WATER DESIGN AIDS SECTION, FIGURE "E-4"
 - NO CONFLICT PIPES WILL BE PERMITTED WITHIN THE EXFILTRATION TRENCH ROCK. FOR ALL UTILITY CONFLICT CROSSINGS FOR EXFILTRATION TRENCH PROVIDE A 15' GAP IN THE TRENCH AND PROVIDE NON-PERFORATED DRAINAGE PIPE. CENTER CONFLICTING UTILITY PIPE CROSSING IN THE NON-PERFORATED PIPE SECTION.
 - AVERAGE CROSS SECTIONAL AREA FOR TRENCH CONSTRUCTION IN SAND CONDITIONS SHALL AT MINIMUM MATCH IDEAL VERTICAL SIDE TRENCH AREA CROSS SECTIONAL AREA.

EXFILTRATION TRENCH CONSTRUCTION DETAILS
SHEET 2 OF 2
NOT TO SCALE

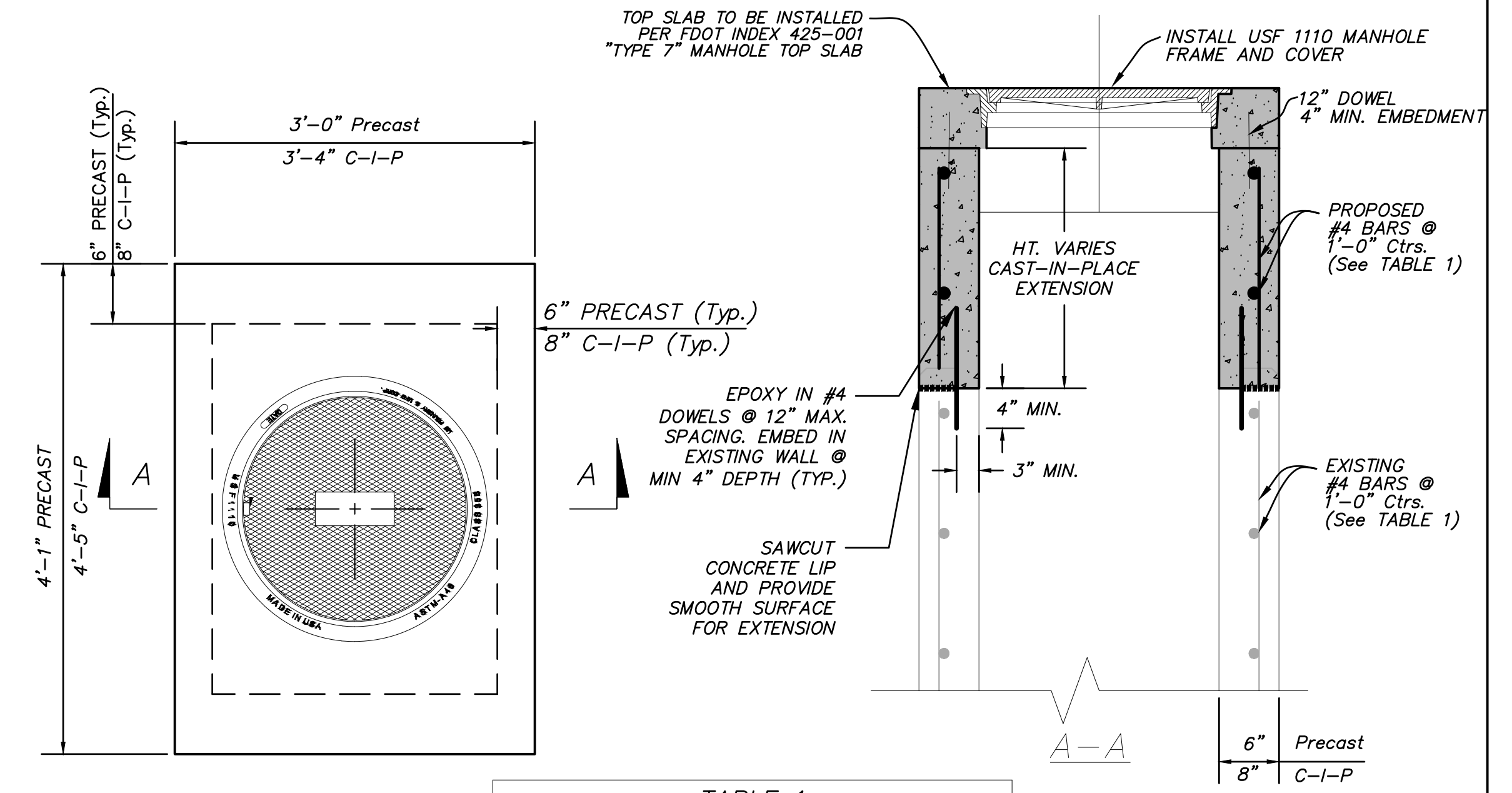


TABLE 1
HORIZONTAL WALL REINFORCING SCHEDULE

WALL DEPTH	SCHEDULE	AREA (in. ² /ft.)	MAX. SPACING	
			BARS	WWF
0'-15'	A12	0.20	12"	8"

- NOTES:
- FRAMES CAN BE ADJUSTED A MAXIMUM 12" HEIGHT WITH BRICK OR PRECAST ASTM C478 GRADE RINGS.
 - ALL GROUTED JOINTS ARE TO HAVE A MAXIMUM THICKNESS OF 1".
 - JOINT DOWELS ARE TO BE #4 BARS, 12" LONG WITH A MINIMUM OF 6 BARS PER JOINT APPROXIMATELY EVENLY SPACED FOR CIRCULAR STRUCTURES OR AT MAXIMUM 12" SPACING FOR RECTANGULAR STRUCTURES. BARS MAY BE EITHER ADHESIVE BONDED DOWELS IN ACCORDANCE WITH FDOT SPECIFICATION 416, OR PLACED APPROXIMATELY 6" INTO FRESH CONCRETE LEAVING THE REMAINDER TO EXTEND INTO THE SECONDARY CAST.
 - MINIMUM COVER ON DOWEL REINFORCING BARS IS 2" TO OUTSIDE FACE OF STRUCTURE.
 - SEAL JOINTS BETWEEN WALL SEGMENTS AND BETWEEN WALL SEGMENTS AND TOP OR BOTTOM SLABS WITH PREFORMED PLASTIC GASKET MATERIAL IN ACCORDANCE WITH FDOT SPECIFICATION 430 OR NON-SHRINK GROUT IN ACCORDANCE WITH FDOT SPECIFICATION 934.
 - REFER TO FDOT SPECIFICATION 425 - CONCRETE STRUCTURES FOR CAST-IN-PLACE CONCRETE MATERIAL.
 - DESIGN AND CONSTRUCT WOOD OR METAL FORMS SO THAT THEY MAY BE REMOVED WITHOUT DAMAGING THE CONCRETE. BUILD FORMS TRUE TO LINE AND GRADE AND BRACE THEM IN A SUBSTANTIAL AND UNYIELDING MANNER. OBTAIN THE ENGINEER'S APPROVAL BEFORE FILLING THEM WITH CONCRETE.

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DRAINAGE DETAILS I

Project No. 215617459

Scale AS SHOWN

Drawing No. C-13

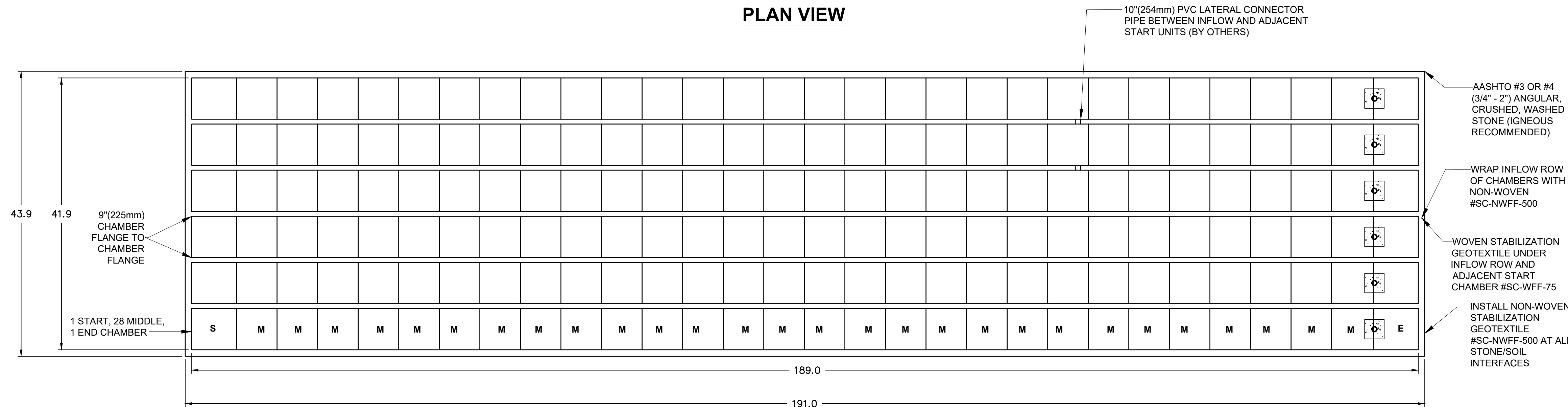
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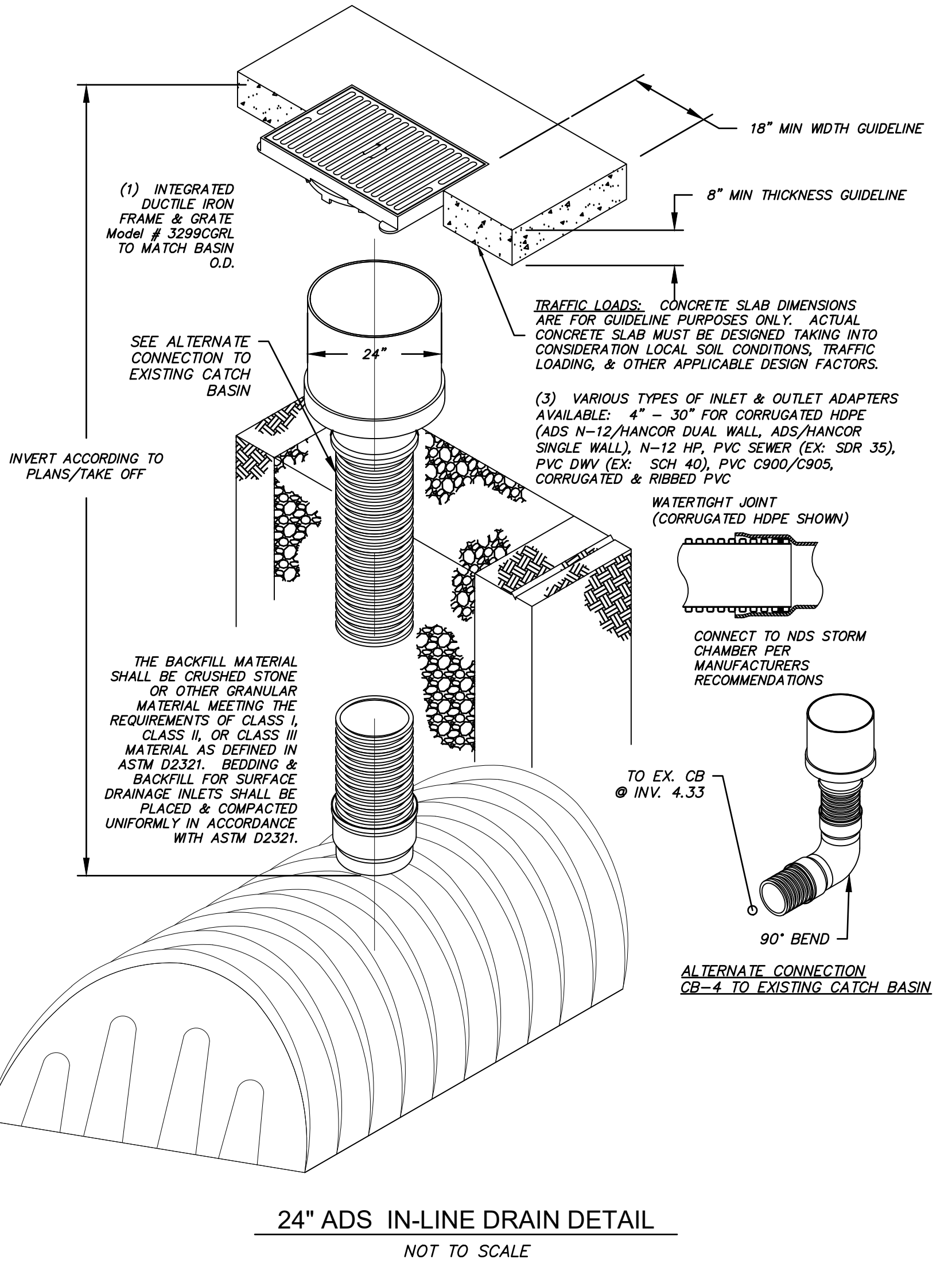
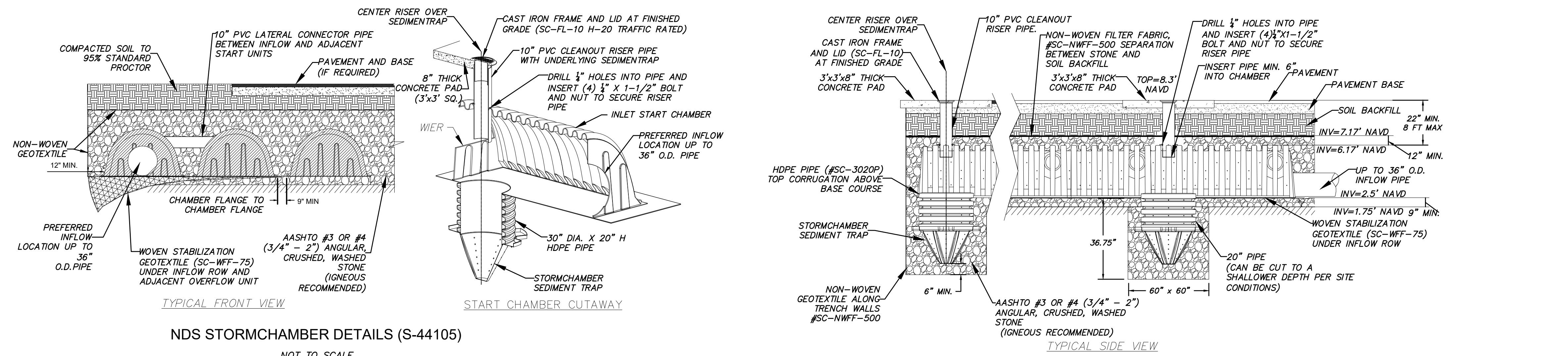
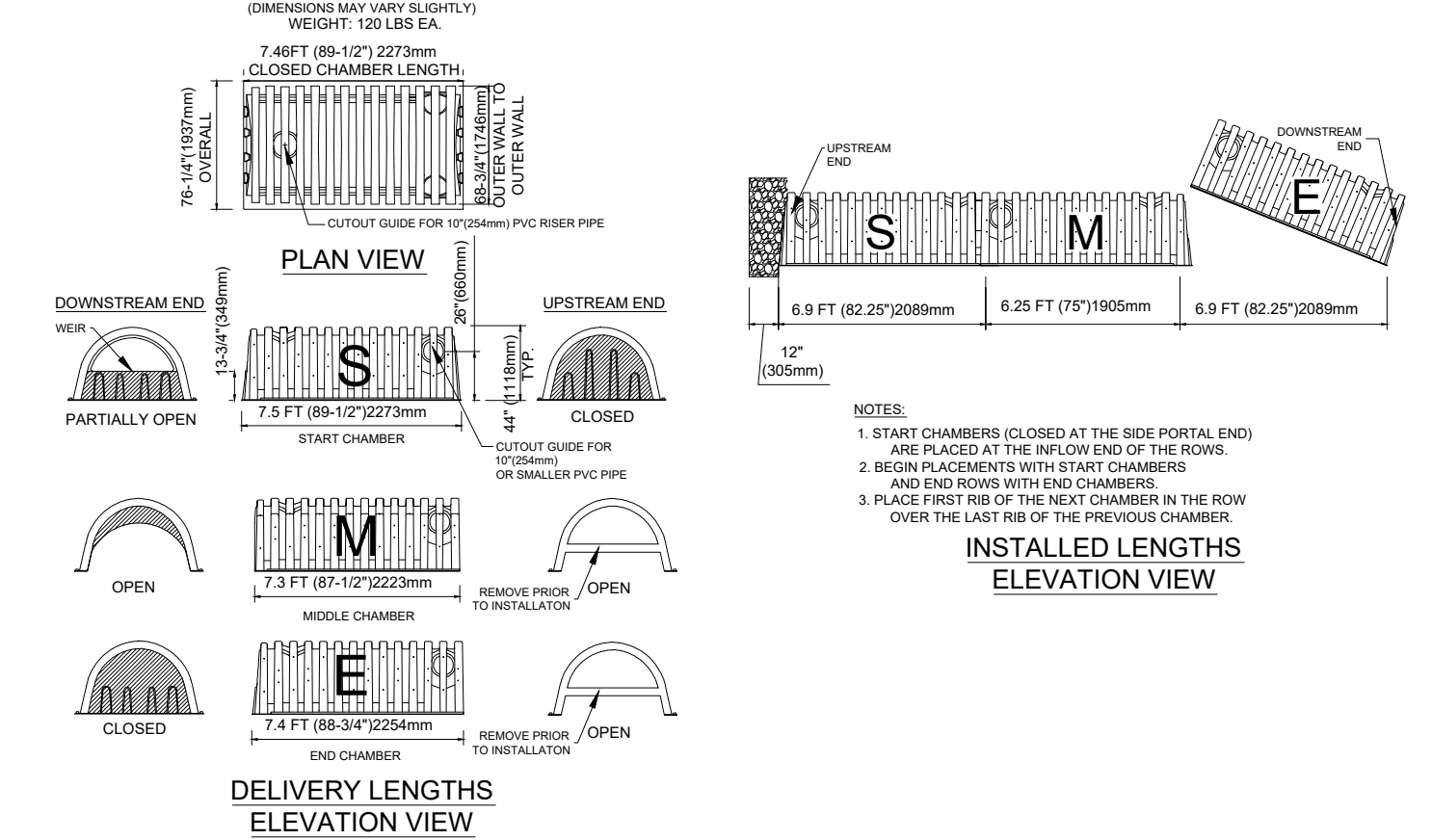
PBC AMENDMENTS:

PBC ZONING STAMP

PLAN VIEW



SC-44105 DIMENSIONS



PIPE CONNECTION INSTRUCTIONS:
(PER THE NDS STORMCHAMBER INSTALLATION MANUAL)

- CUT OUT THE INFLOW PORTAL HOLE(S)
CUT A HOLE IN THE INFLOW CHAMBER ACCORDING TO THE LOCATION SPECIFIED IN THE CONSTRUCTIONS DRAWINGS. THE HOLE SHOULD BE SIZED TO MATCH THE INFLOW PIPE BEING USED.
 - INSERT INFLOW PIPES*
INSTALL THE INFLOW PIPE INTO THE INFLOW HOLE.
 - CUT OUT THE SIDE PORTAL HOLES
AFTER PLACING THE START CHAMBERS, CUT OPEN THE SIDE PORTALS ALONG THE INDENTION GUIDES FOR THE LATERAL CONNECTING PIPES, AS SPECIFIED IN THE CONSTRUCTION DRAWINGS.
 - INSERT ROW CONNECTING PIPES*
MARK THE PIPE 6" FROM EACH END. SLIDE THE PIPE INTO EACH CHAMBER SO THAT THE MARKS ARE NO LONGER VISIBLE. THE CONNECTING PIPES MUST BE INSERTED ABOUT 6" INTO EACH CHAMBER. THE CONNECTOR PIPE SHOULD BE 3FT FOR THE SC-18 CHAMBER, 4FT FOR THE SC-34 CHAMBER AND 5FT FOR THE SC-44 CHAMBER.
 - CUT HOLE FOR RISER PIPES*
CUT OUT THE TOP PORTALS ALONG THE INDENTION GUIDES AS SPECIFIED IN THE CONSTRUCTION DRAWINGS. **
 - INSTALL CLEANOUT RISERS*
WHEN INSTALLING THE 10" PVC CLEANOUT RISER PIPES, MARK THE PIPE TO ALLOW FOR 6 INCHES OF PIPE TO ENTER THE CHAMBER FROM THE VALLEY OF THE CHAMBER RIB. DRILL HOLES AND INSTALL AT LEAST 4 BOLTS ALONG THE MARKINGS. (2 BOLTS AT RIB PEAK AND 2 IN THE VALLEY, ONE BOLT ON EACH SIDE OF THE PIPE.) WHEN INSTALLING THE PIPE, THE BOLTS SHOULD REST ON TOP OF THE CHAMBER TO HOLD THE PIPE IN PLACE. THE FRAMES AND LIDS MAY BE INSTALLED AT THE SAME TIME AS THE RISER PIPE OR AS PART OF THE BACKFILLING PROCESS.
 - CUT THE OUTFLOW PORTAL HOLE(S)
CUT A HOLE IN THE OUTFLOW CHAMBER ACCORDING TO THE LOCATION SPECIFIED IN THE CONSTRUCTIONS DRAWINGS. THE HOLE SHOULD BE SIZED TO MATCH THE OUTFLOW PIPE BEING USED.
 - INSERT OUTFLOW PIPES*
INSTALL THE OUTFLOW PIPE INTO THE OUTFLOW HOLE.
- *IF THERE'S MORE THAN 1/8 INCH GAP BETWEEN THE PIPE-HOLE AND THE PIPE, CUT A "X" SHAPED HOLE, SIZED JUST SHORT OF THE HOLE DIAMETER IN ONE OR MORE PIECES OF FILTER FABRIC AND PLACE IT OVER THE PIPE HOLE BEFORE INSERTING THE PIPE. KEEP REPEATING THIS PROCESS UNTIL THE GAP IS FILLED AND A TIGHT SEAL IS ACHIEVED.
- **SC-44 AND THE SC-18 LACK A DEFINED TOP PORTAL. THE HOLE SHOULD BE CENTERED OVER THE SEDIMENTTRAP™ AND SIZED FOR THE RISER PIPE.
- ***A PIPE PENETRATION BOOT OR NON-SHRINK GROUT COULD BE USED TO PROVIDE A TIGHT SEAL BETWEEN THE PIPES AND THE STORM CHAMBER. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER AND CITY PRIOR TO USE OF ANY PRODUCTS NOT LISTED IN THE MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE OF STORMCHAMBER SYSTEMS

- PRE-TREATMENT DEVICES.
UNDER NORMAL CIRCUMSTANCES, A PRE-TREATMENT DEVICE IS NOT NECESSARY. HOWEVER, UNDER CERTAIN CONDITIONS, OR LOCAL REQUIREMENTS, PRE-TREATMENT DEVICES CAN BE USEFUL. FILTERING, SWIRL CONCENTRATORS, OR OTHER TYPES OF PRE-TREATMENT DEVICES CAN BE INSTALLED UP-STREAM OF THE STORMCHAMBER SYSTEM FOR REMOVAL OF SEDIMENT, FLOATABLES, OIL AND GREASE, ETC. THEIR USE IS PARTICULARLY HELPFUL FOR STORMWATER "HOT SPOT" AREAS, SUCH AS AUTOMOBILE REPAIR SHOPS, WHERE ABNORMALLY HIGH CONCENTRATIONS OF POLLUTANTS SUCH AS OIL AND GREASE CAN BE EXPECTED.
- VACUUM TRUCK TUBE THROUGH 10 INCH CLEAN-OUT RISER.
THE STORMCHAMBERS ARE DESIGNED WITH A DEFINED TOP PORTAL AREA AT THE "DOWN-FLOW" END OF THE CHAMBER THAT CAN BE CUT OUT TO ACCEPT UP TO A 10 INCH DIAMETER RISER PIPE (SEE DRAWINGS IN THIS SECTION). THE 10 INCH RISER CAN BE USED AS AN OBSERVATION WELL AND FOR ACCESS OF A VACUUM TRUCK TUBE THAT CAN BE USED TO REMOVE SEDIMENT. THE "DOWN-FLOW" ENDS OF THE STORMCHAMBERS HAVE END WALLS THAT ARE CLOSED ON THE BOTTOM (SEE ENCLOSED DRAWINGS). THE CLOSED BOTTOM FUNCTIONS SIMILAR TO A COFFER DAM, WITH MOST OF THE SEDIMENT DEPOSITING PRIOR TO FLOWING INTO THE NEXT CHAMBER, FACILITATING ITS REMOVAL THROUGH THE RISER PIPE, WHICH IS POSITIONED DIRECTLY ABOVE THIS AREA. IT IS RECOMMENDED, AT A MINIMUM, THAT CLEAN-OUT RISERS BE PLACED AT THE LAST CHAMBER OF EACH ROW OF STORMCHAMBERS WHICH RECEIVE THE FLOW FROM THE STORMWATER INLET(S).
- SACRIFICIAL STORMCHAMBER ROW (IN ACCOMMODATION OF THE COMMONLY UTILIZED MANAGEMENT PRACTICE OF BENIGN NEGLECT).
AN ADDITIONAL ROW OF STORMCHAMBER CAN BE ADDED FOR ACCUMULATION OF SEDIMENT WITH MINIMAL EFFECT ON THE STORMWATER STORAGE REQUIREMENTS OF THE SYSTEM. THIS WOULD BE UTILIZED AS THE "FIRST ROW" OF CHAMBERS - THE ROW THAT ACCEPTS THE STORMWATER FLOW FROM THE INLET STRUCTURES. BECAUSE THE FLOW FROM THE FIRST ROW OF CHAMBERS WILL HAVE TO MAKE 90 DEGREE TURNS THROUGH CONNECTING PIPES INTO THE ADJACENT ROW, VELOCITY OF FLOW WILL DECREASE AND MOST OF THE TRANSPORTED SEDIMENT LOAD DEPOSITS WITHIN THE FIRST ROW OF STORMCHAMBERS.
- GRADED INLET STRUCTURES.
THE USE OF FULLY GRADED INLET STRUCTURES WILL KEEP THE VAST MAJORITY OF DEBRIS OUT OF THE STORMCHAMBER SYSTEM. (IT IS SUGGESTED THAT THESE BE PLACED NEAR THE ENTRANCE TO THE ESTABLISHMENT BEING CONSTRUCTED AS AN INCENTIVE FOR OWNER MAINTENANCE).
- INLET STRUCTURES WITH SUMPS.
THE USE OF FULLY GRADED INLET STRUCTURES WITH A 2-4 FOOT SUMP IS RECOMMENDED. THIS WILL ALLOW FOR ADDITIONAL CAPTURE OF SEDIMENT THAT CAN EASILY BE REMOVED WITH A VACUUM TRUCK OR OTHER DEVICE BEFORE IT GETS INTO THE STORMCHAMBER SYSTEM. A SUMPED INLET STRUCTURE PLACED AT BOTH ENDS OF THE FIRST ROW OF STORMCHAMBERS CAN ALSO BE USED TO FACILITATE SEDIMENT REMOVAL WITHIN THE STORMCHAMBER SYSTEM. UNDER THIS ALTERNATIVE, ONE OR MORE ADDITIONAL CHAMBER(S) IS ADDED TO THE BEGINNING AND END OF THE FIRST ROW, THE END OF EACH BEING INSERTED DIRECTLY INTO THE SUMPED INLET STRUCTURES. THIS PROVIDES FOR PHYSICAL ACCESS INTO THE FIRST ROW FOR MAINTENANCE (SEE "EXAMPLE CONFIGURATIONS" SECTION).
- PROTECTED STORMWATER INLETS DURING CONSTRUCTION.
IT IS HIGHLY RECOMMENDED THAT, UNDER ANY OF THE ABOVE ALTERNATIVES, THE STORMCHAMBER SYSTEM NOT BE OPENED TO RECEIVE STORMWATER FLOWS UNTIL CONSTRUCTION OF THE SITE HAS BEEN COMPLETED. EVEN THEN, ALL STORMWATER INLETS MUST BE PROTECTED FROM SEDIMENT LOADING UNTIL THE SITE IS COMPLETELY STABILIZED. COMPLETE STABILIZATION IMPLIES THAT THE CONSTRUCTION SITE HAS BEEN CLEARED OF CONSTRUCTION-RELATED DEBRIS AND HAS INCURRED AT LEAST TWO STORM EVENTS SUFFICIENT TO WASH MOST SOIL AND OTHER PARTICULATE MATTER OFF IMPERVIOUS SURFACES.

INSPECTION AND MAINTENANCE SCHEDULE

- INSPECT THROUGH THE RISERS QUARTERLY AND AFTER EACH LARGE STORM EVENT.
- IT IS RECOMMENDED THAT A LOGBOOK BE MAINTAINED SHOWING THE DEPTH OF WATER IN THE STORMCHAMBER AT EACH OBSERVATION IN ORDER TO DETERMINE THE RATE AT WHICH THE STORMCHAMBER SYSTEM DEWATERS AFTER RUNOFF PRODUCING STORM EVENTS.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE STORMCHAMBER HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS, UNLESS THE PERFORMANCE DATA SUGGESTS THAT A MORE FREQUENT SCHEDULE IS REQUIRED.
- SEDIMENT SHOULD BE REMOVED WHEN DEPOSITS APPROACH WITHIN SIX INCHES OF THE INVERT HEIGHTS OF CONNECTING PIPES BETWEEN STORMCHAMBER ROWS, OR IN SUMPED INLET STRUCTURES.

Revision	By	Appd.	YY.MM.DD

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Title

DRAINAGE DETAILS II

Project No. 215617459

Scale AS SHOWN

Drawing No. C-14

Sheet

Revision

PBC AMENDMENTS:

PBC ZONING STAMP

WATER SYSTEM NOTES:

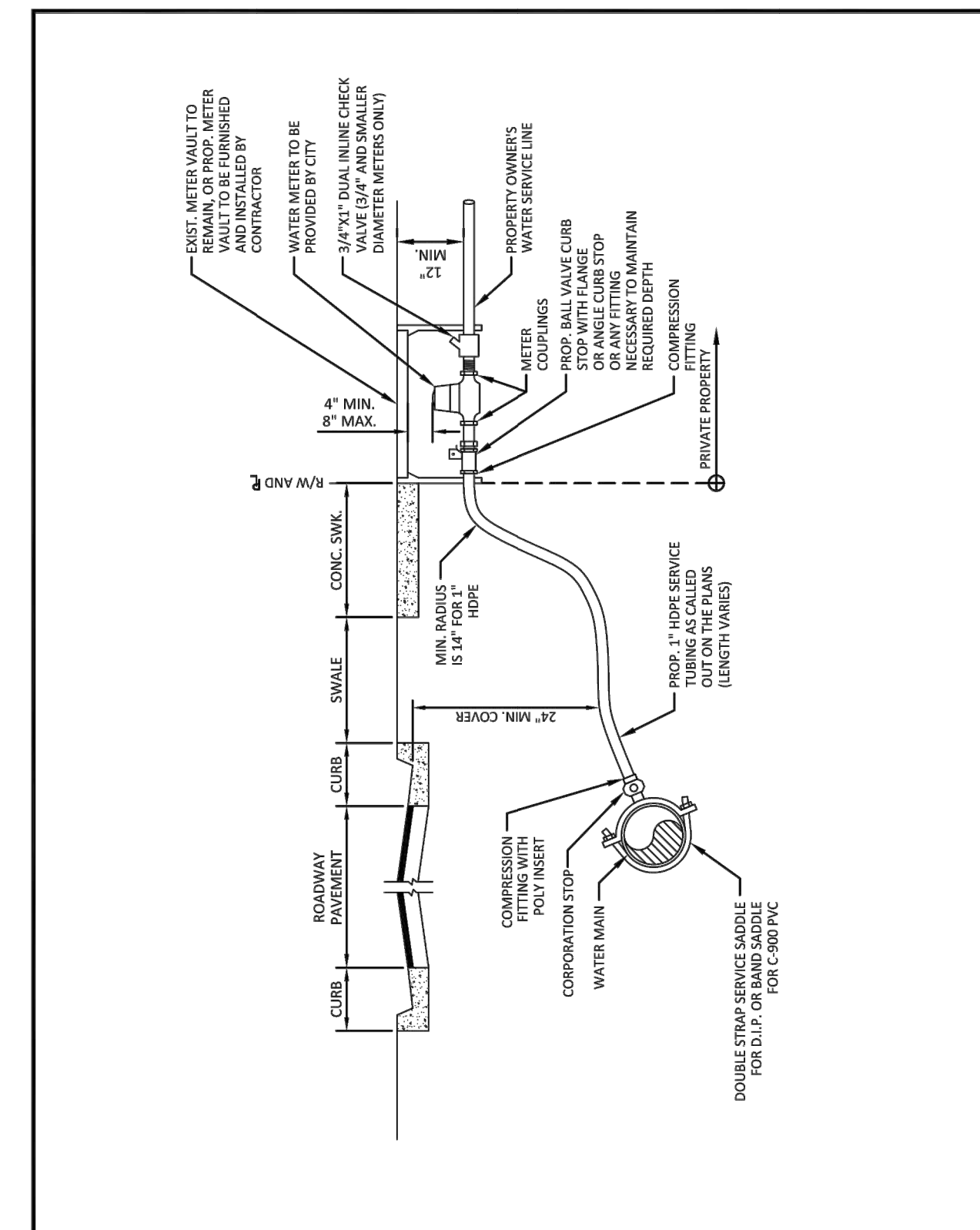
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SLAG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND DAMAGING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERPROOF ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM WATER SYSTEM NOTES DRAWING NO. W-01
 APPROVED: XXX

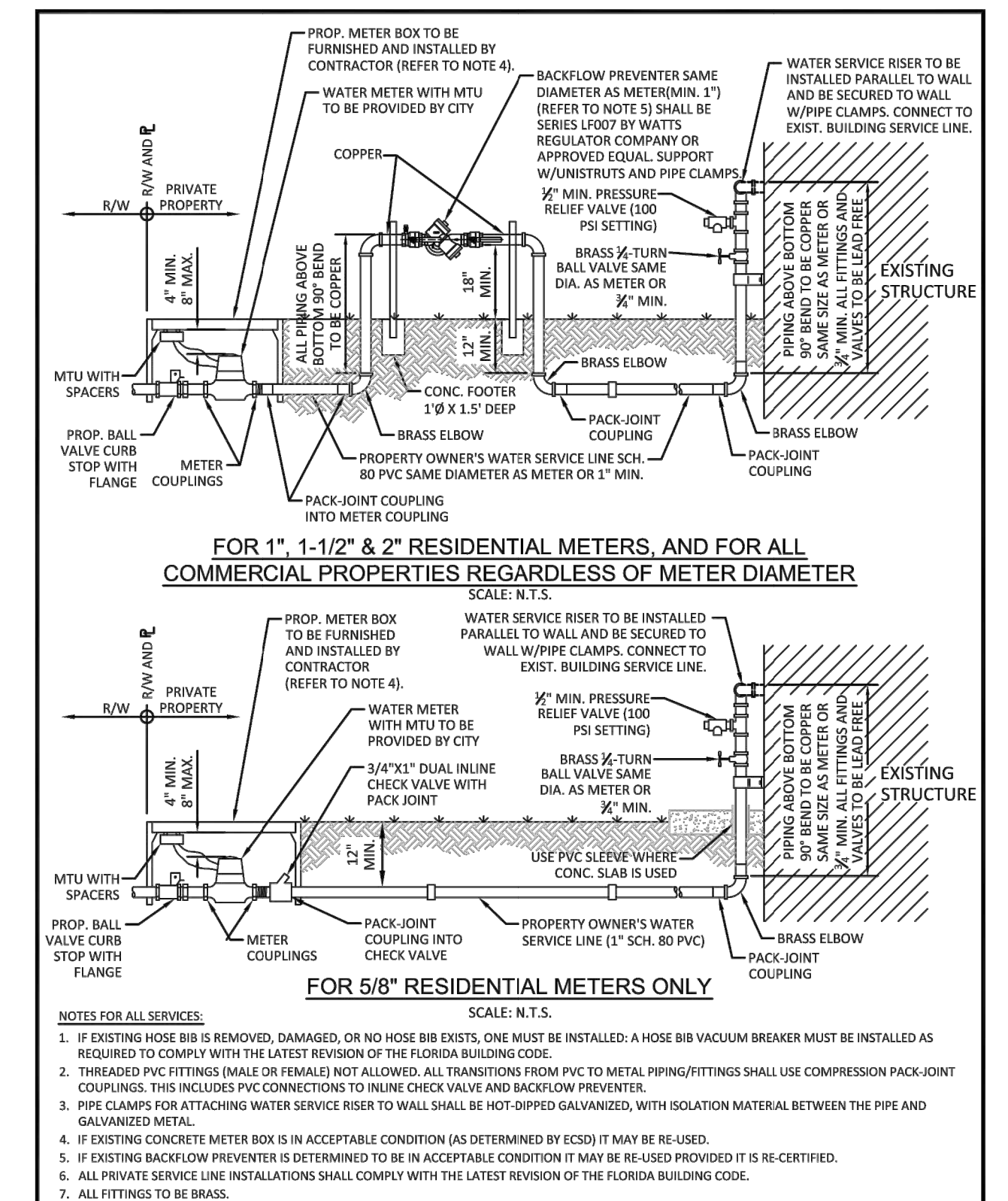
WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANS/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURER'S RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM WATER SYSTEM NOTES DRAWING NO. W-02
 APPROVED: XXX



ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM TYPICAL 1" HDPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS DRAWING NO. W-08
 APPROVED: XXX



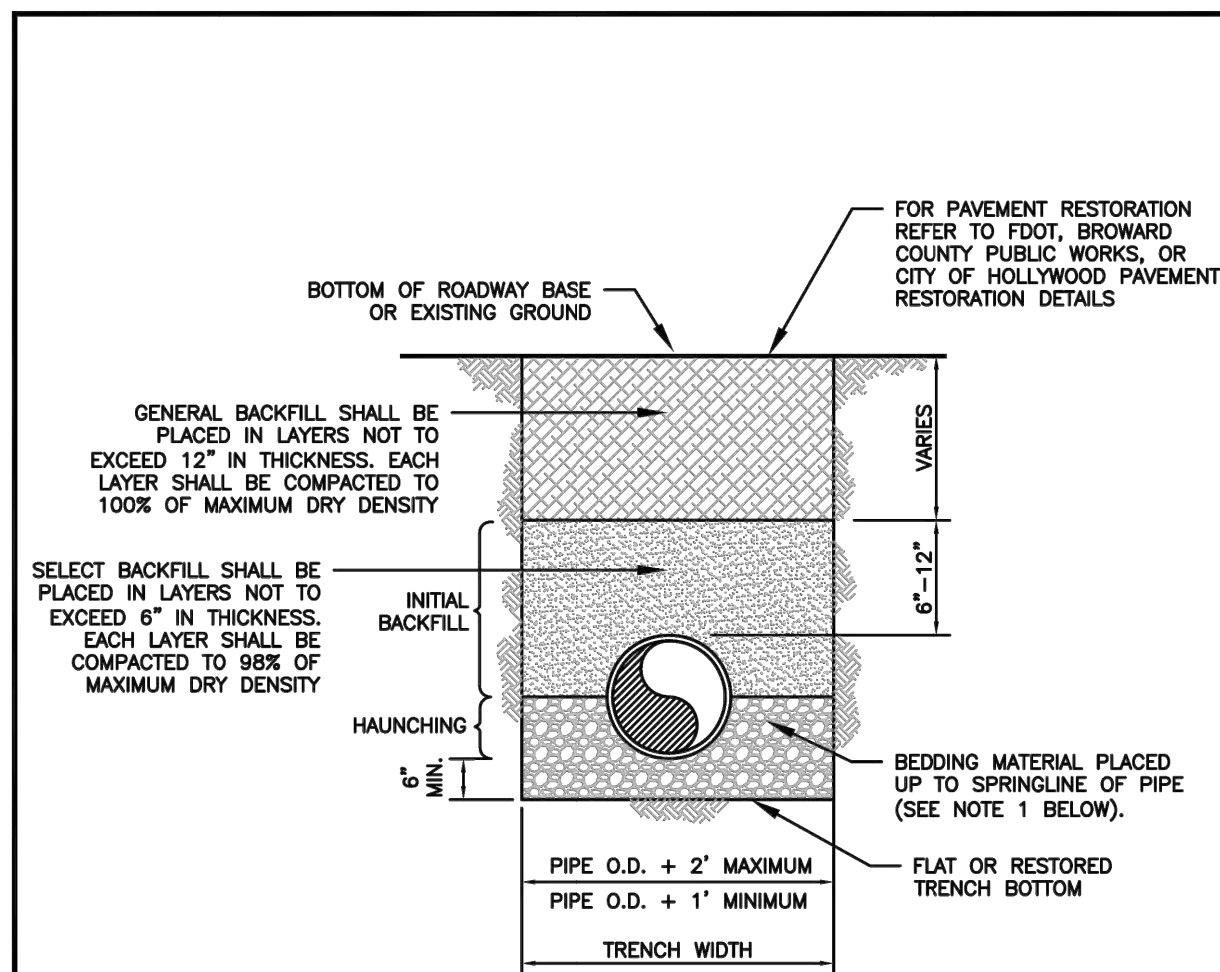
ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 02/14/2018
 DRAWN: EAM TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS DRAWING NO. W-10
 APPROVED: XXX

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	3 ft minimum	12 inches is the minimum spacing for storm sewers, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft minimum
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	10 ft preferred 6 ft minimum	12 inches is the minimum spacing for gravity sewers, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		

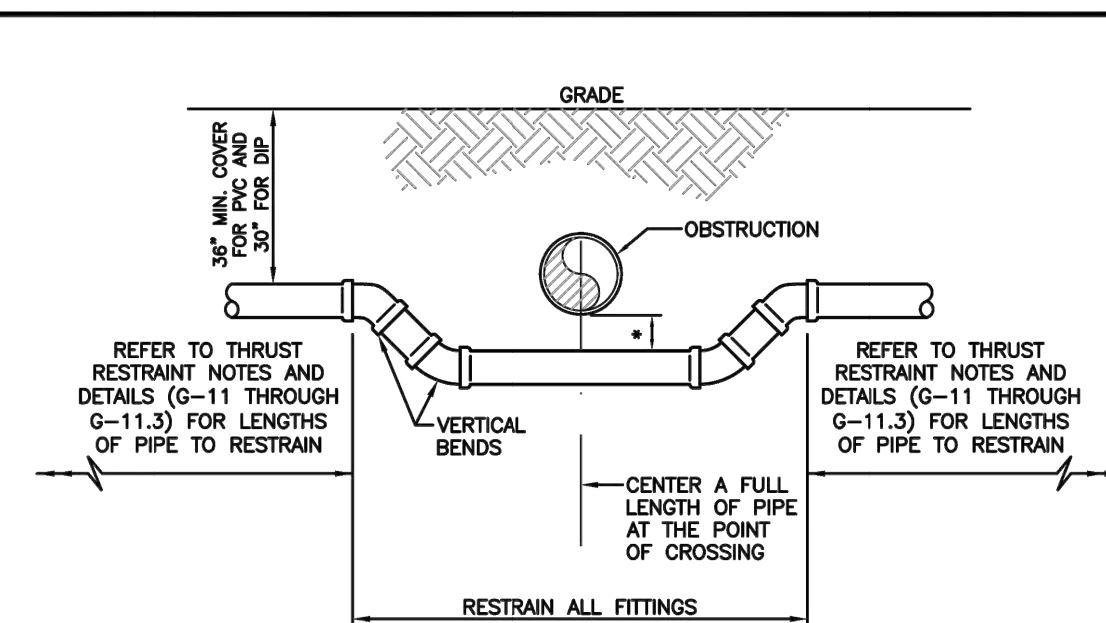
- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
- A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATION, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWN: EAM SEPARATION REQUIREMENTS OF F.D.E.P. DRAWING NO. G-01.1
 APPROVED: XXX

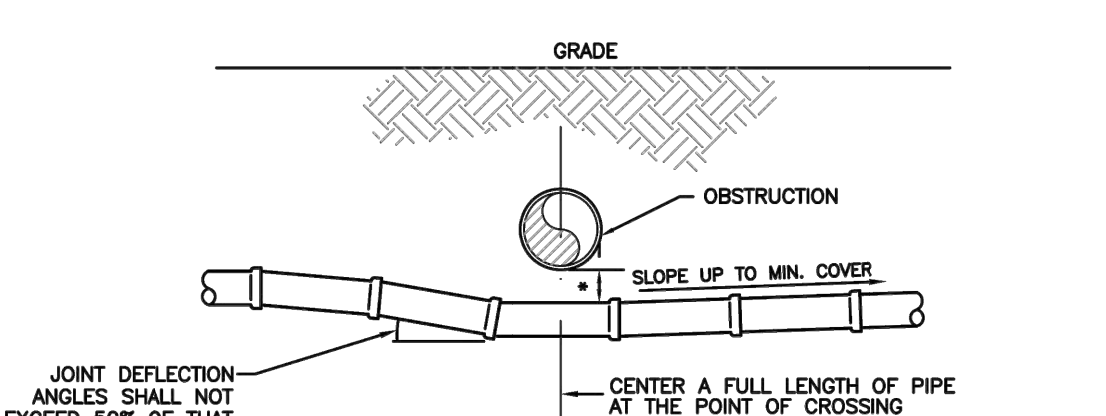


- NOTES:**
- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
 - ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
 - DENSITY TESTING SHALL BE IN ACCORDANCE WITH ASTM T-180 AND ASTM D-593.
 - BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.) DRAWING NO. G-03
 APPROVED: XXX

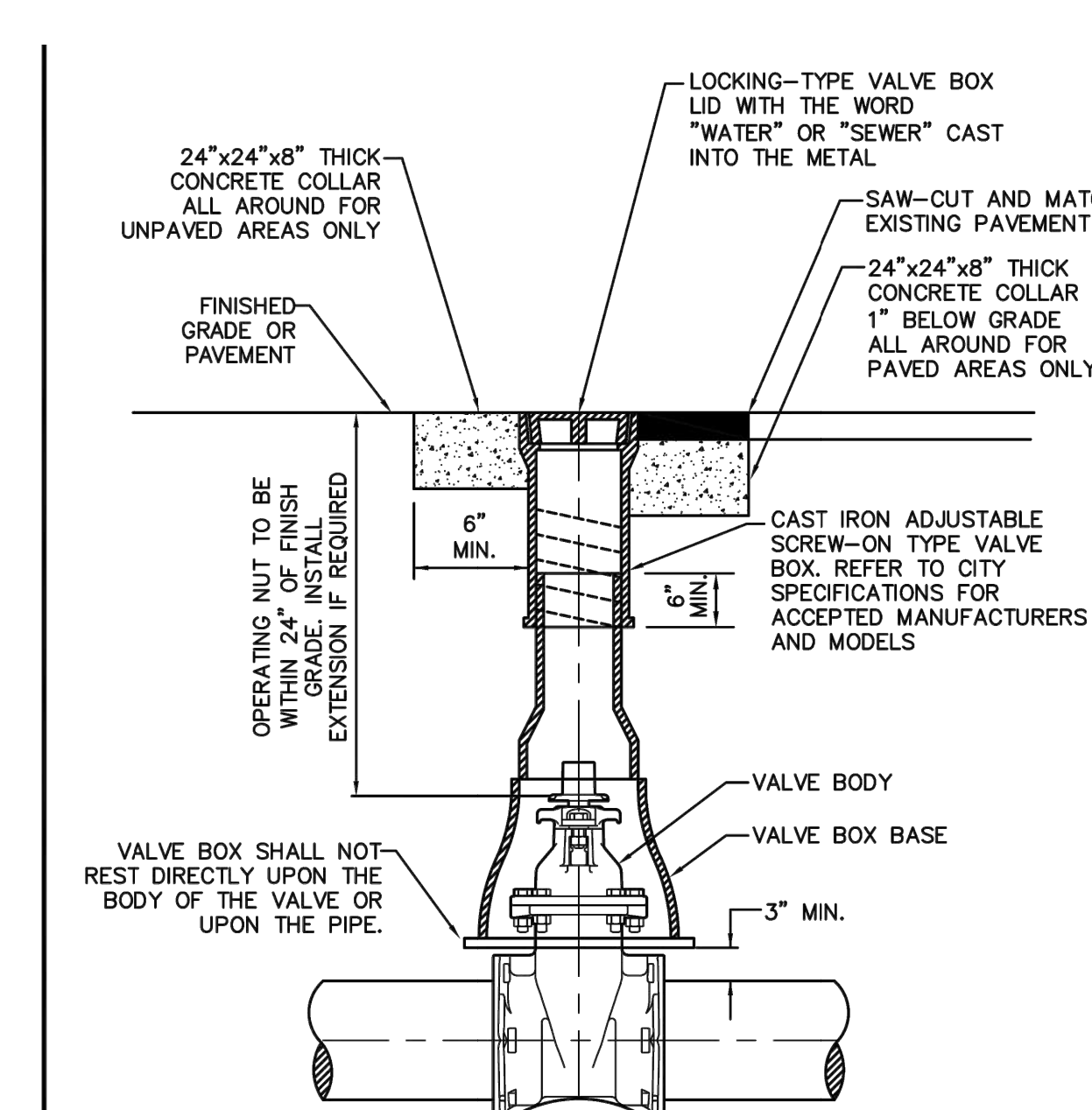


UTILITY CROSSING USING FITTINGS
 * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.



UTILITY CROSSING USING JOINT DEFLECTIONS
 * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM UTILITY CROSSING DETAIL DRAWING NO. G-04
 APPROVED: XXX



TYPICAL VALVE BOX SETTING

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWN: EAM TYPICAL VALVE BOX SETTING DRAWING NO. G-05
 APPROVED: XXX

PBC AMENDMENTS: PBC ZONING STAMP

Revision	By	Appd.	YYMMDD

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Client/Project: SELF-STORAGE 500 S. STATE ROAD 7 HOLLYWOOD, FLORIDA

Title: WATER DETAILS

Project No.: 215617459 Scale: AS SHOWN

Drawing No.: C-15 Sheet: Revision:

File Name: General Details.dwg EYM SHB SMB 22/08/10
 Dwn. Chkd. Dgn. YYMMDD

Revision

By

Appd.

YYMMDD

SEWER NOTES:

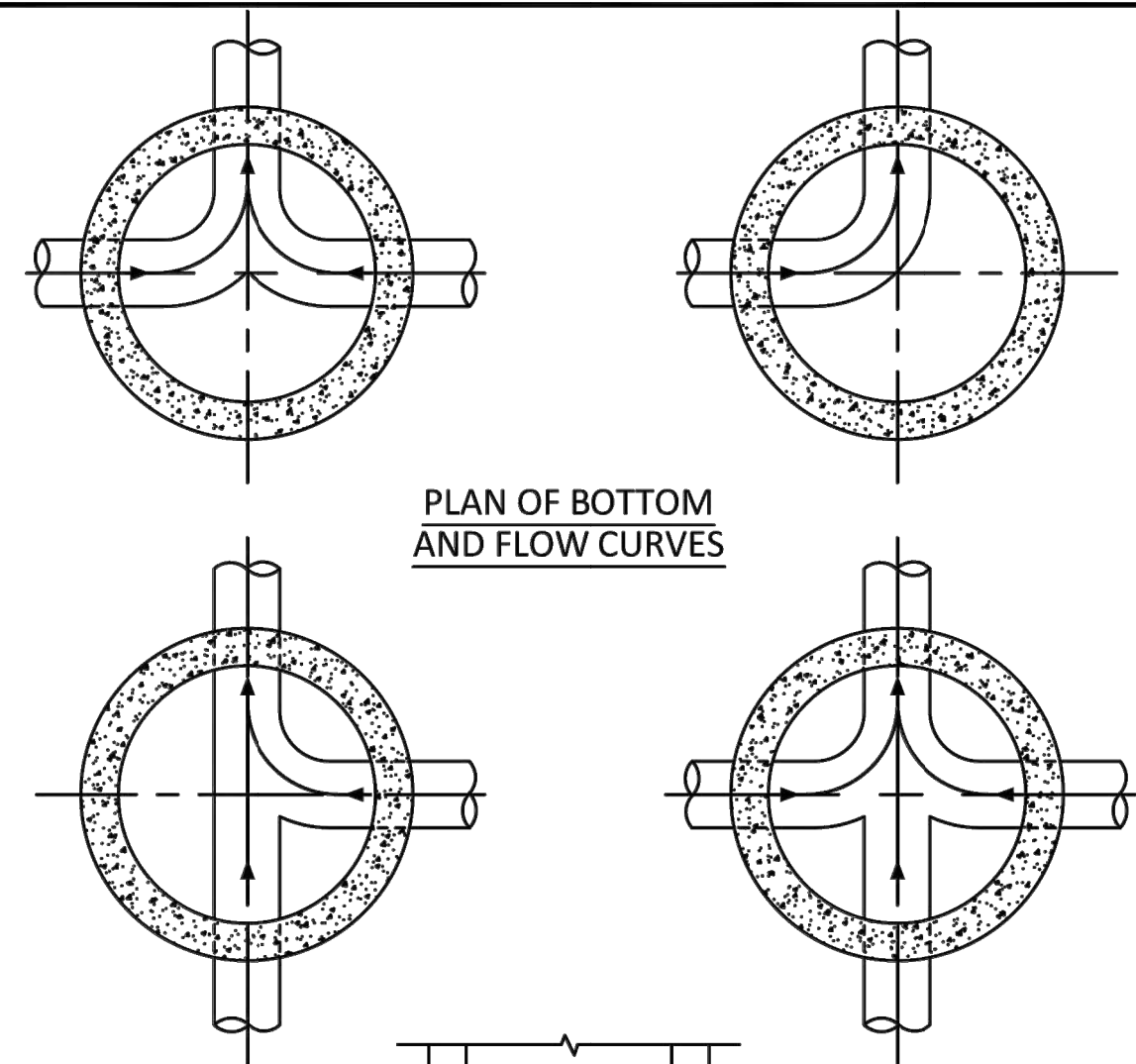
- THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
- LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
- FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{5 \times D \times \sqrt{P}}{148,000}$$

WHERE:
 L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
 D = PIPE DIAMETER IN INCHES
 S = LENGTH OF LINES IN LINEAL FEET
 P = AVERAGE TEST PRESSURE IN PSI

- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SANITARY SEWER MAIN CONSTRUCTION NOTES	DRAWING NO. S-01
APPROVED: XXX		



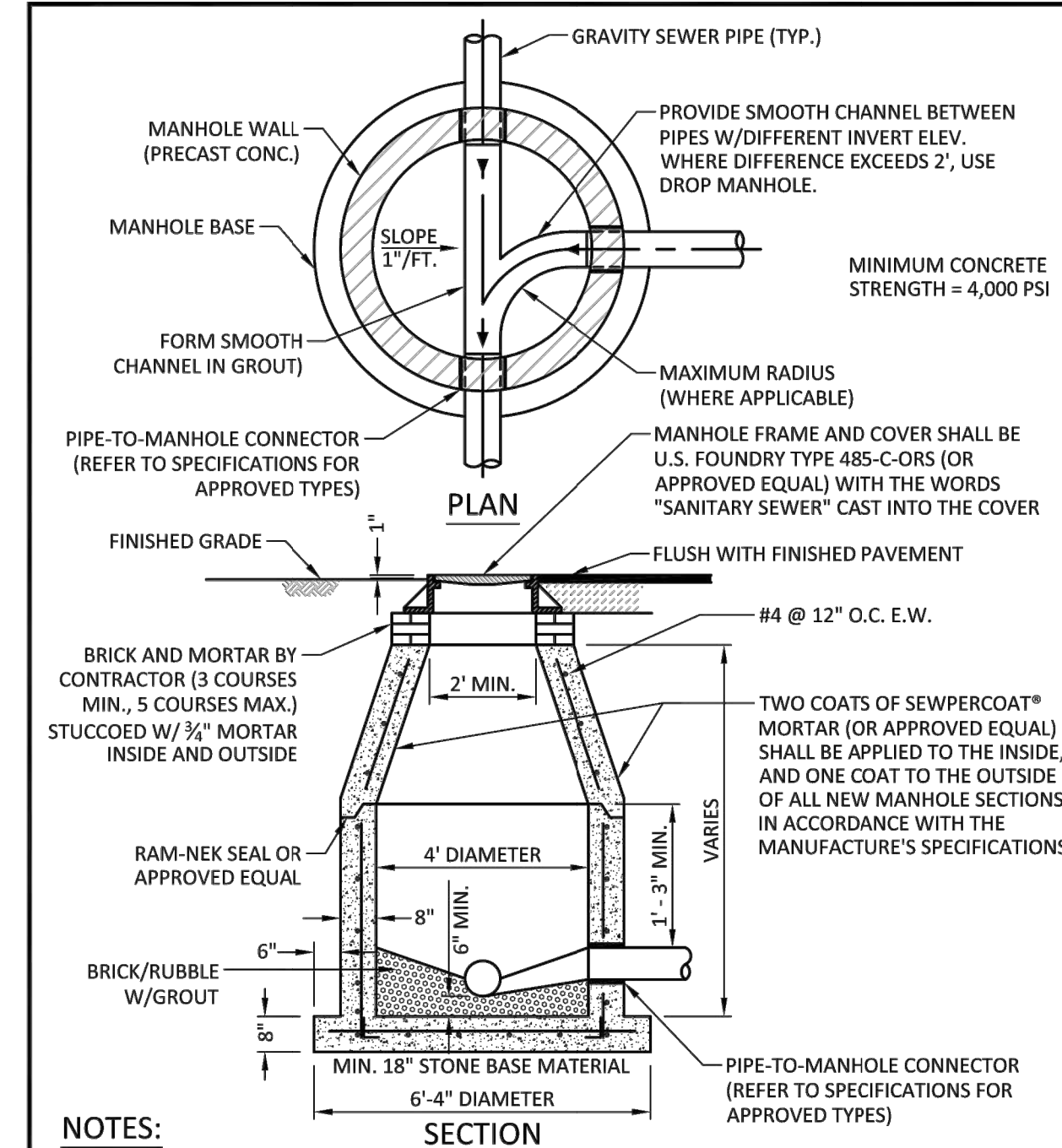
PLAN OF BOTTOM AND FLOW CURVES

TYPICAL SECTION

NOTES:

- INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
- SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
- CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
- WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	MANHOLE FLOW PATTERNS	DRAWING NO. S-02
APPROVED: XXX		



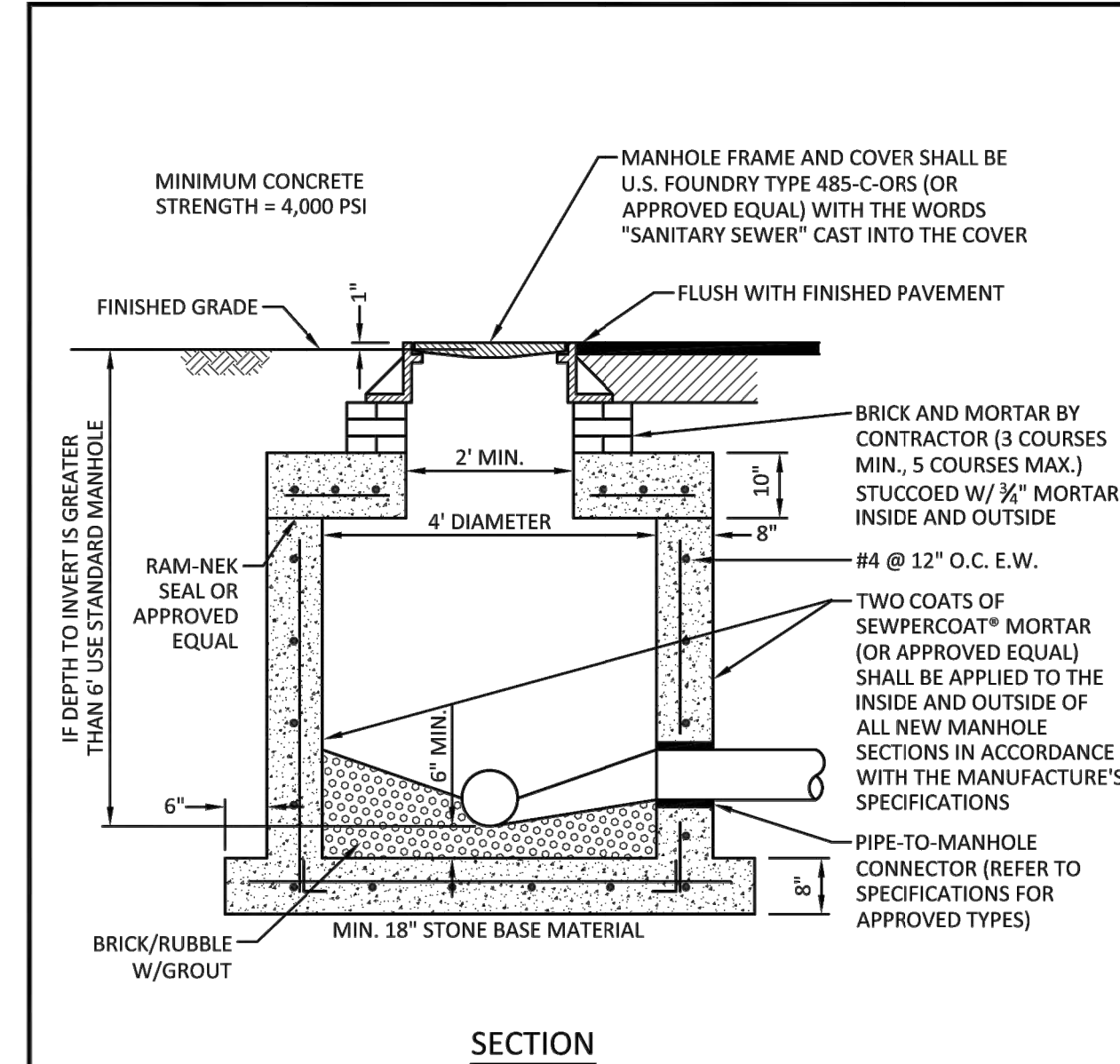
PLAN

SECTION

NOTES:

- SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3" ABOVE SLAB BASE.
- NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/18/2018
DRAWN: EAM	STANDARD PRECAST MANHOLE	DRAWING NO. S-03
APPROVED: XXX		

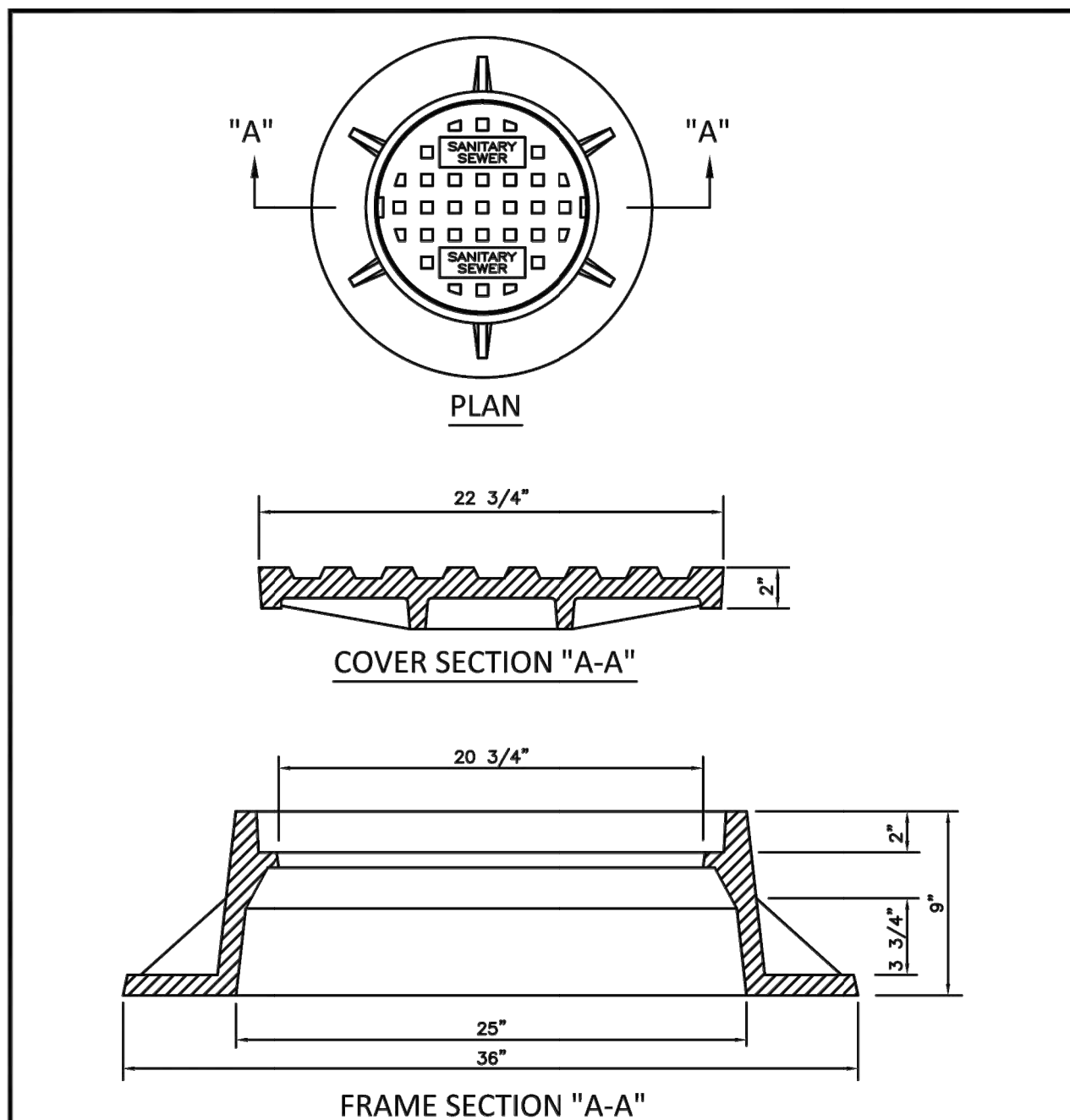


SECTION

NOTES:

- SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3" ABOVE SLAB BASE.
- NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/18/2018
DRAWN: EAM	SHALLOW MANHOLE	DRAWING NO. S-05
APPROVED: XXX		



PLAN

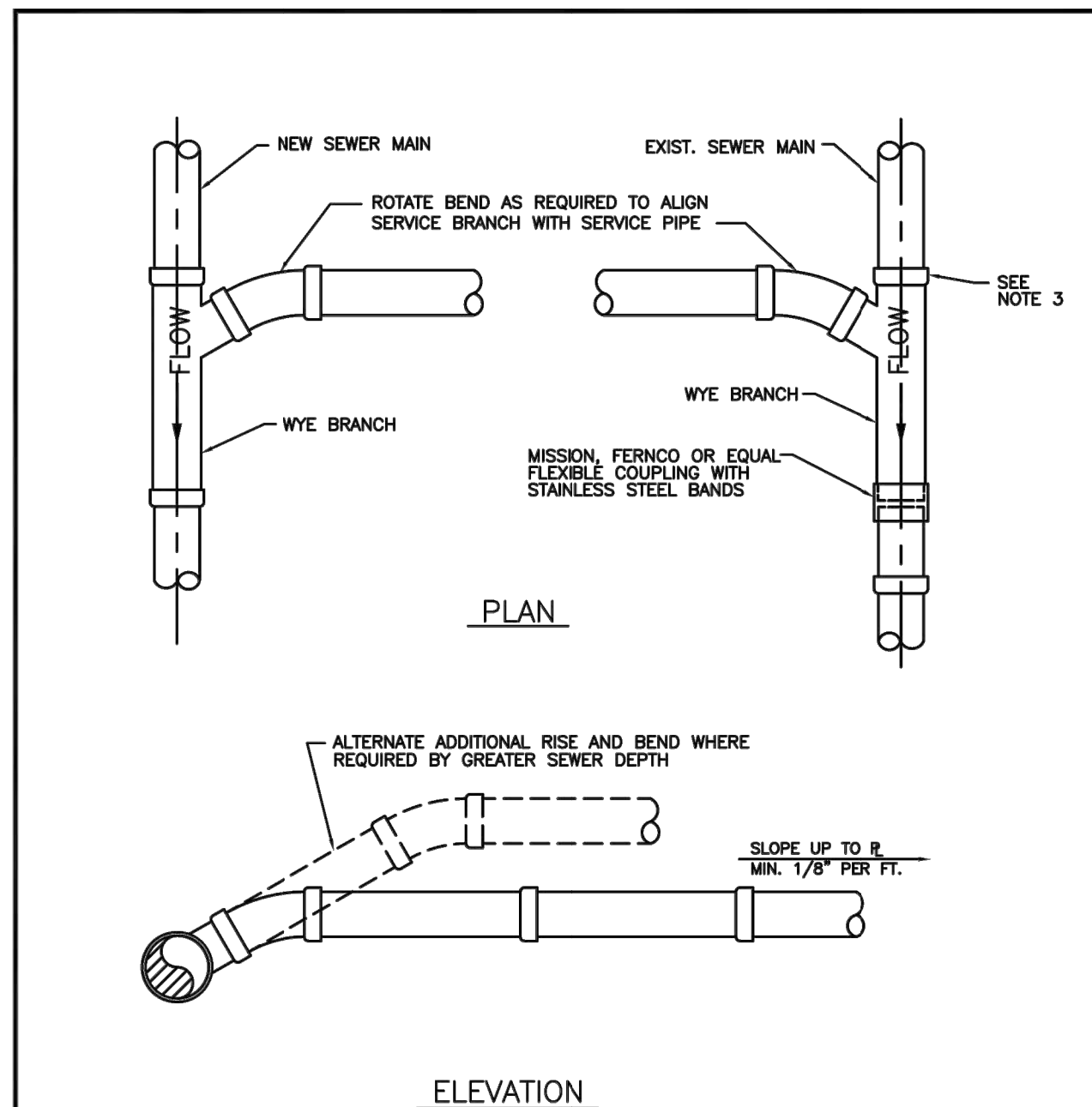
COVER SECTION "A-A"

FRAME SECTION "A-A"

NOTES:

- LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
- ALL BEARING SURFACES TO BE MACHINED.
- MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
- MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	MANHOLE FRAME AND COVER	DRAWING NO. S-06
APPROVED: XXX		



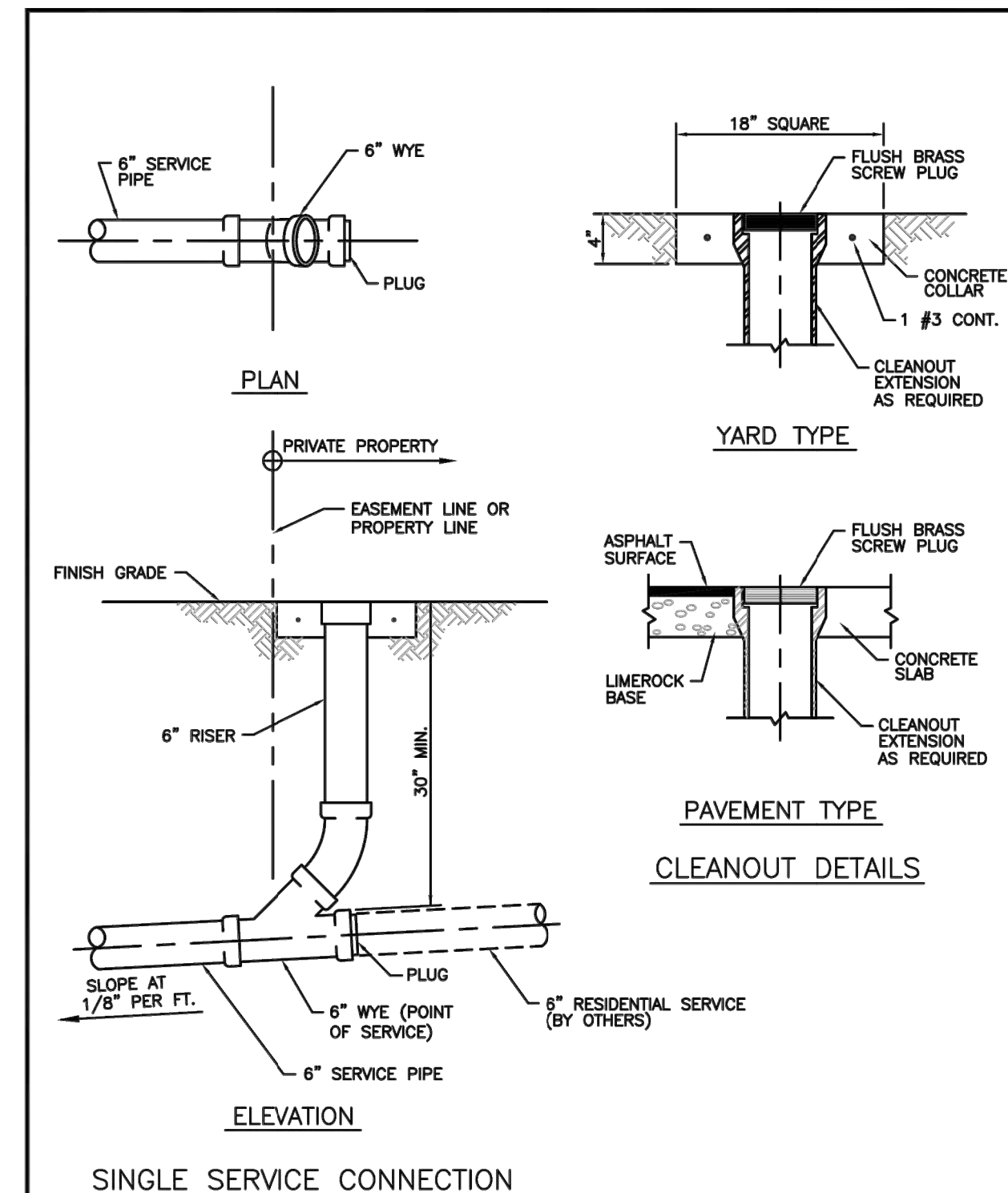
PLAN

ELEVATION

NOTES:

- SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
- USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
- WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO. S-09
APPROVED: XXX		



PLAN

ELEVATION

SINGLE SERVICE CONNECTION

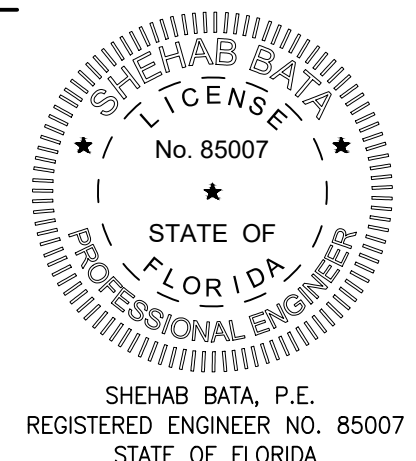
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
APPROVED: XXX		

PBC AMENDMENTS: _____ PBC ZONING STAMP _____

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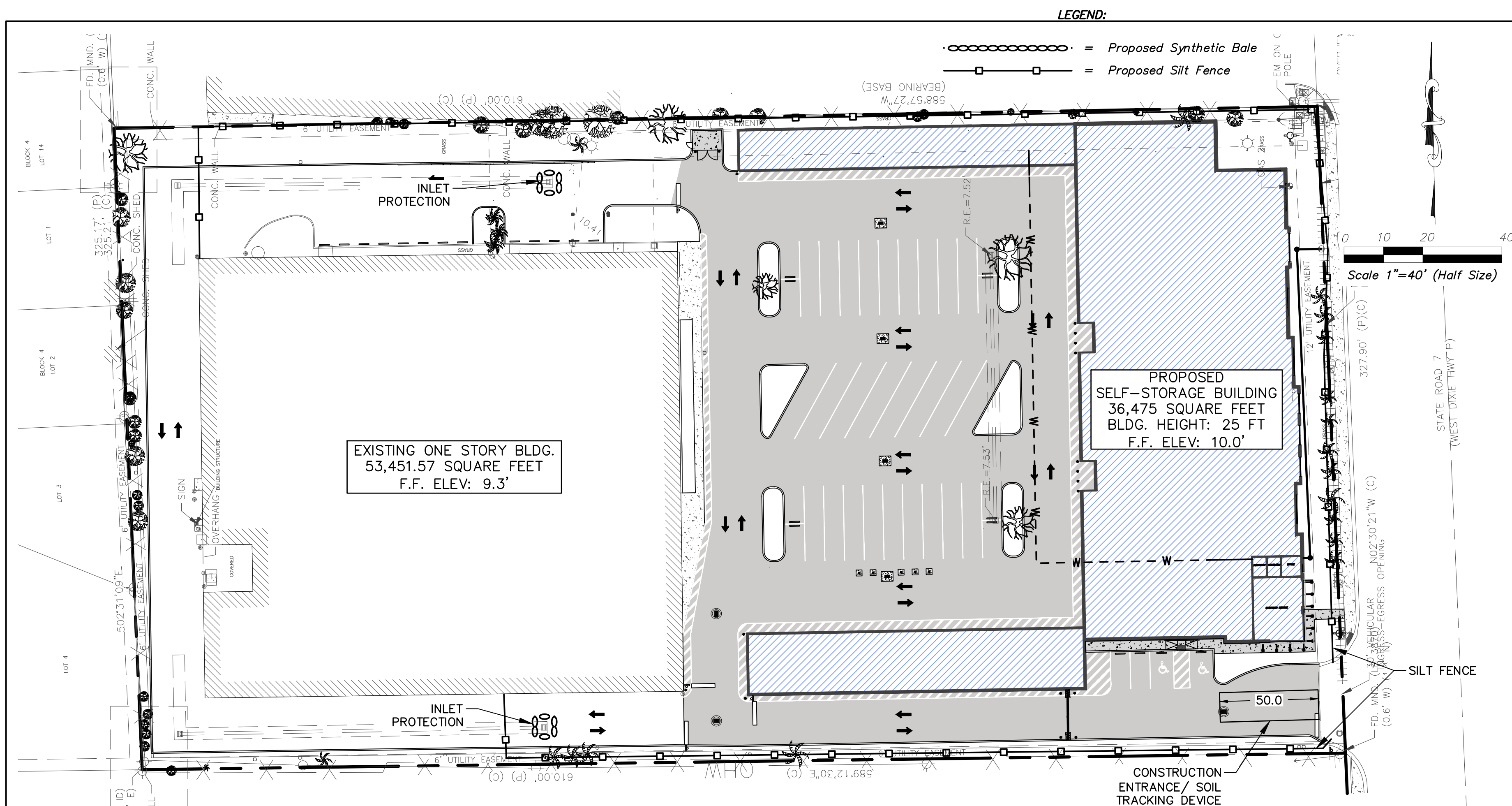
Client/Project
 SELF-STORAGE
 500 S. STATE ROAD 7
 HOLLYWOOD, FLORIDA

File Name: General Details.dwg
 KVM Dwn. SHB Chkd. SMB Dsgn. 22/08/10 YYMMDD

Title
SANITARY SEWER DETAILS

Project No. 215617459 Scale AS SHOWN

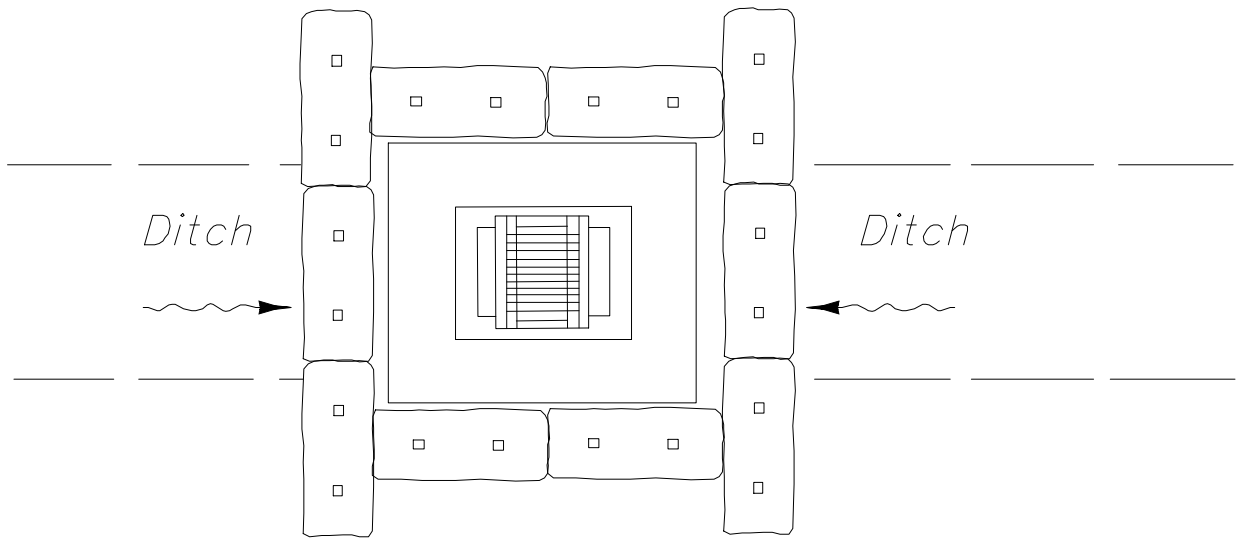
Drawing No. C-16 Sheet _____ Revision _____



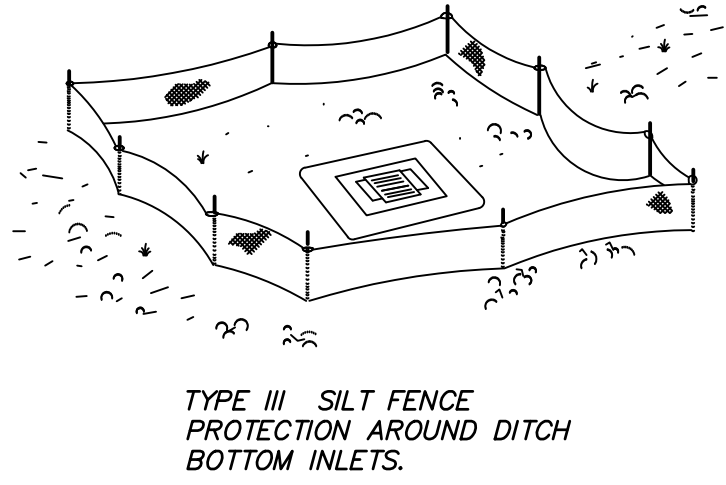
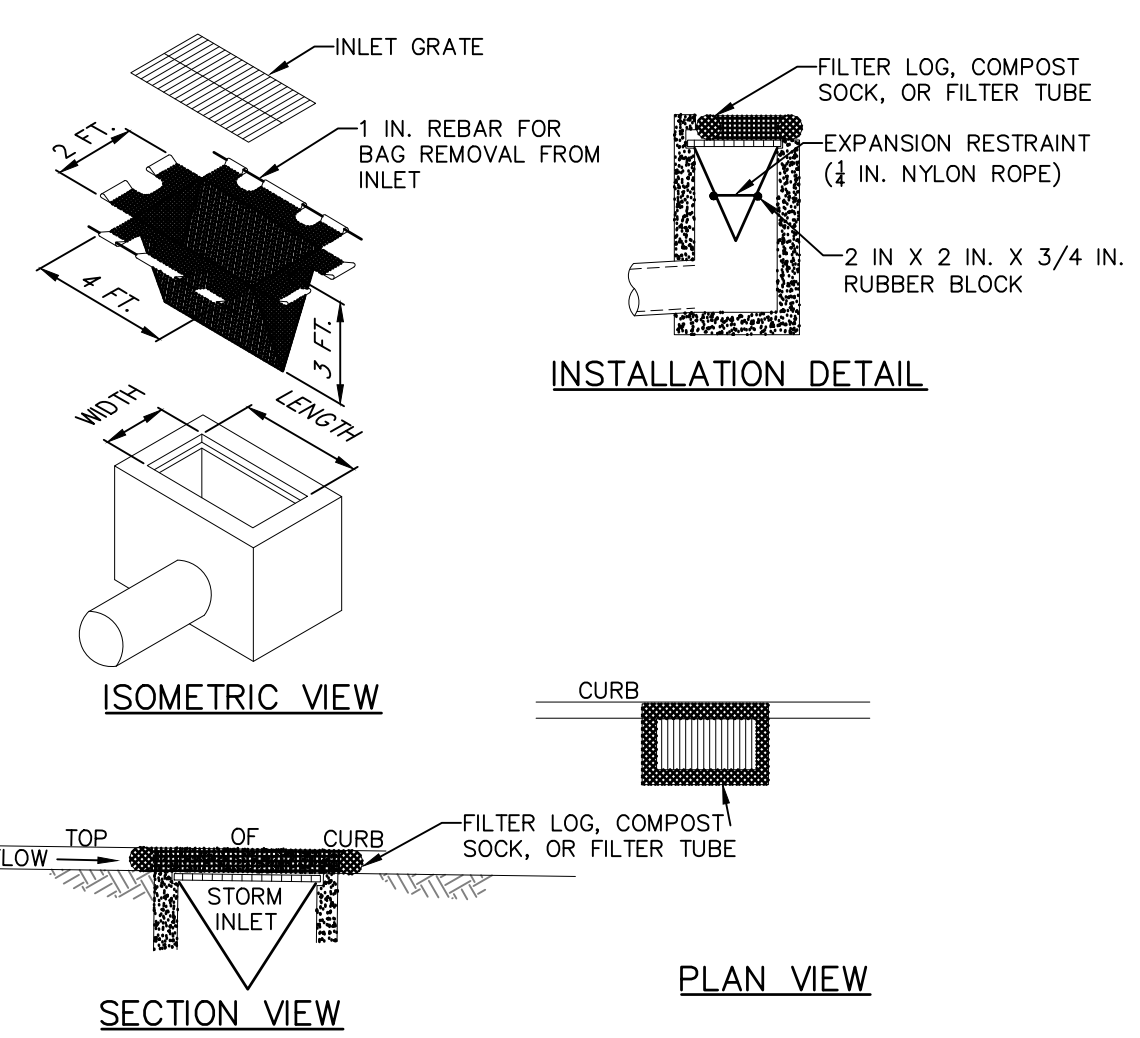
- ### NPDES STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
- THE CONTRACTOR IS REQUIRED TO ADHERE TO THE REQUIREMENT OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES). THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
 - PRIOR TO CONSTRUCTION, A SILT FENCE IN ACCORDANCE WITH FDOT INDEX 102 (LATEST VERSION) TYPE III SILT FENCE WILL BE ERECTED ALONG THE PERIMETER OF THE CONSTRUCTION SITE AS SHOWN.
 - ALL EXISTING AND PROPOSED CATCH BASINS WILL HAVE THEIR INLETS PROTECTED BY THE INSTALLATION OF FILTER FABRIC INTO THE FRAME AND GRATE.
 - THIS SILT FENCING AND FILTER FABRIC WILL REMAIN IN PLACE DURING THE ENTIRE DURATION OF CONSTRUCTION.
 - CONTRACTOR WILL BRACE ALL EXISTING LANDSCAPING TO REMAIN PRIOR TO BEGINNING ANY WORK AND WILL ENSURE THEIR STABILIZATION THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EXISTING SOD DISTURBED BY CONSTRUCTION THAT IS NOT AFFECTED BY PROPOSED GRADING WILL BE RESTORED TO ITS ORIGINAL STATE UPON COMPLETION OF CONSTRUCTION. SLOTTED SLOPES STEEPER THAN 4 HORIZONTAL TO 1 VERTICAL WILL BE PEGGED.
 - ALL WASTE GENERATED FROM THE CONSTRUCTION SHALL BE DISCARDED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS. CONTRACTOR IS TO OBTAIN ALL APPLICABLE CODES AND BECOME FAMILIAR WITH STATE, LOCAL AND FEDERAL REGULATIONS PRIOR TO BEGINNING CONSTRUCTION. REGULATIONS CAN BE FOUND, BUT NOT LIMITED TO, DEPARTMENT OF ENVIRONMENTAL RESOURCE MANAGEMENT AND DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 - TO ENSURE THAT OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST IS MINIMIZED, CONTRACTOR IS TO PUT INTO PRACTICE THE METHODS DETAILED IN FDOT INDEX 106 (LATEST VERSION) OR DEVICES APPROVED BY THE CITY / ENGINEER OF RECORD. ALL VEHICULAR TRAFFIC TO AND FROM THE GATED ENTRY TO THE TREATMENT PLANT. NO ACCESS ALLOWED THROUGH EXTERIOR PARCEL BOUNDARIES UNLESS APPROVED IN ADVANCE BY THE CITY.
 - DUST GENERATED FROM CONSTRUCTION WILL BE MINIMIZED.
 - AT ANY TIME DURING CONSTRUCTION THAT THE SILT FENCING IS DISTURBED, THE SILT FENCING WILL BE RESTORED TO ITS ORIGINAL STATE WITHIN 24 HOURS. AT NO TIME DURING CONSTRUCTION SHALL WORK BE PERFORMED WITHOUT THE INTEGRITY OF THE SILT FENCING SECURED.
 - A QUALIFIED INSPECTOR, PROVIDED BY THE CITY, SHALL INSPECT ALL POINTS OF DISCHARGE INTO SURFACE WATER. THE INSPECTION WILL OCCUR AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER. INSPECTION INCLUDES THE WRITTEN RECORDING OF THE CONDITION OF ALL DISCHARGE POINTS, INTEGRITY OF SILT FENCING, DAILY DUST CONTROL MEASURES, VEHICULAR TRAFFIC AND CONSTRUCTION MATERIAL STORAGE AND DISPOSAL. WRITTEN RECORD OF ALL INSPECTIONS WILL BE STORED BY THE CITY DURING CONSTRUCTION.
 - THE INSPECTION REPORT WILL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING INFORMATION: NAME AND QUALIFICATION OF PERSONNEL MAKING THE INSPECTION, DATE OF INSPECTION, RAINFALL DATA, MAJOR OBSERVATIONS RELATING TO THE SWPPP, ACTIONS TAKEN BY CONTRACTOR AND ANY INCIDENT OF NONCOMPLIANCE WITH PERMIT. WHERE AN INSPECTION DOES NOT IDENTIFY ANY INCIDENT OF NONCOMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE PERMIT.
 - THE PERMITTEE SHALL RETAIN A COPY OF THE SWPPP AND ALL REPORTS, RECORDS AND DOCUMENTATION REQUIRED BY THE PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION. THE PERMITTEE SHALL RETAIN COPIES OF SWPPP AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THE PERMIT, FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

NOTES FOR SYNTHETIC BALES OR BALE TYPE BARRIERS

- TYPE I & II SYNTHETIC BARRIER SHOULD BE IN ACCORDANCE WITH FDOT STANDARDS
- BALES SHALL BE ANCHORED WITH 2-1"x2" (OR 1"x4") X 4' WOOD STAKES. STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
- RAILS AND POSTS SHALL BE 2" X 4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.
- ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER.
- WHERE USED IN CONJUNCTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

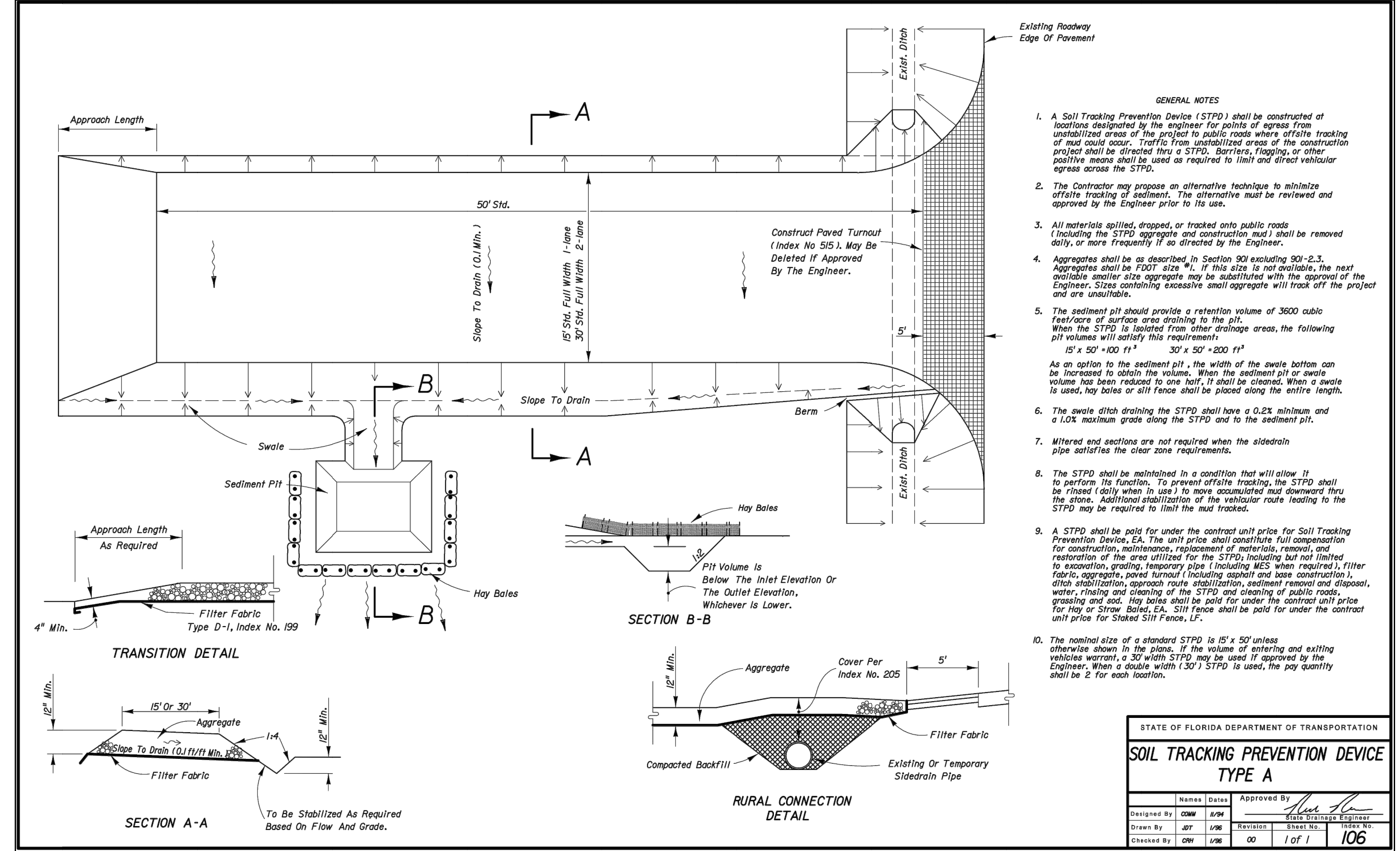
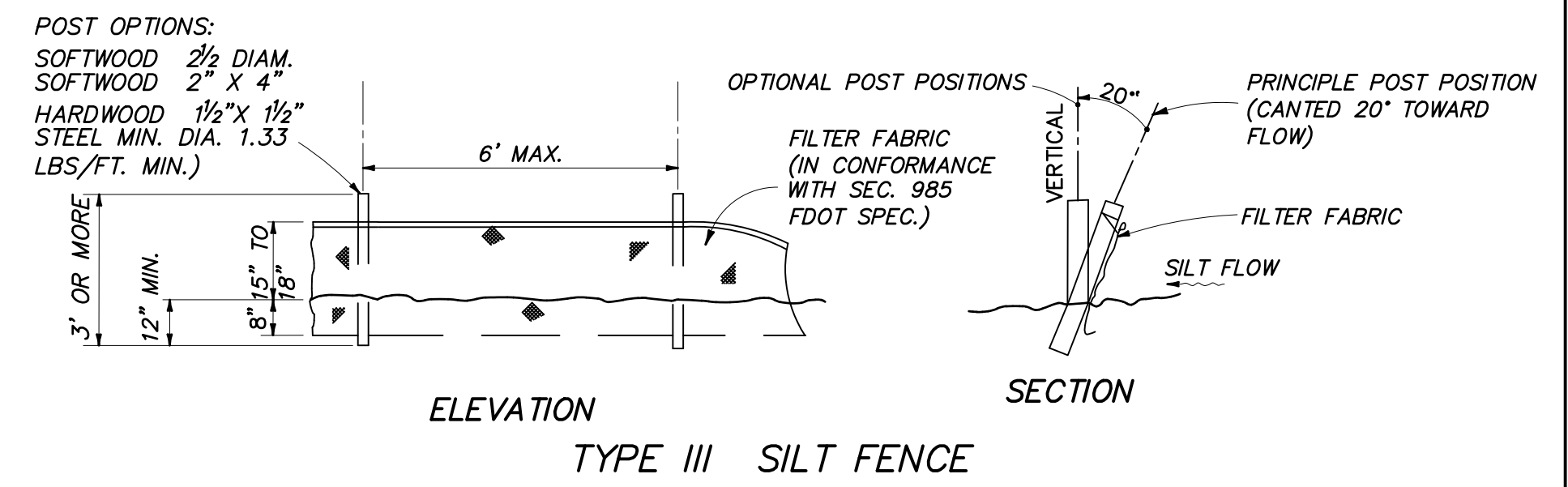


SYNTHETIC BALE BARRIER DITCH BOTTOM INLET



DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			
SOIL TRACKING PREVENTION DEVICE TYPE A			
Name	Date	Approved By	Date
Designed By	05/19/10	[Signature]	05/19/10
Drawn By	JT	1/6/10	1/6/10
Checked By	05/19/10	00	1 of 1
106			

NOTES:

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

FILTER BAG INLET PROTECTION

NOT TO SCALE

V:\2156\ACTIVE\215617459\DRAWINGS\EROSION CONTROL PLAN.DWG 1/19/2010 3:10 PM

Revision	By	Appd.	YYMMDD

Permit-Seal

SHEHAB BATA, P.E.
 REGISTERED ENGINEER NO. 85007
 STATE OF FLORIDA

Stantec

800 Fairway Drive, Suite 195
 Deerfield Beach, FL 33441
 www.stantec.com
 (954) 481-2812

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
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Client/Project		Title	
SELF-STORAGE 500 S. STATE ROAD 7 HOLLYWOOD, FLORIDA		EROSION CONTROL PLAN	
Project No.	Scale	Revision	
215617459	AS SHOWN	C-17	
Drawing No.	Sheet	Revision	

File Name	EVM	SHB	SMB	Date
Erosion Control Plan.dwg	Dwn	Chk	Dgn	22/08/10

PBC AMENDMENTS:	PBC ZONING STAMP



② Level 2
1/16" = 1'-0"



① Level 1
1/16" = 1'-0"

UNIT MIX - LEVEL 1

UNIT SIZE	SQ.FT.	INTERIOR		DRIVE UP		TOTAL		% of Mix QTY	% of Mix SF
		QTY	SQ.FT.	QTY	SQ.FT.	QTY	SQ.FT.		
5 X 5	25	5	125	0	0	5	125	2%	0%
5 X 10	50	45	2250	2	100	47	2,350	22%	8%
7.5 X 10	75	19	1425	1	75	20	1,500	10%	5%
10 X 10	100	23	2300	7	700	30	3,000	14%	11%
10 X 15	150	43	6450	10	1500	53	7,950	25%	28%
10 X 20	200	14	2800	17	3400	31	6,200	15%	22%
10 X 30	300	7	2100	17	5100	24	7,200	11%	25%
TOTAL		156	17,450	54	10,875	210	28,325	100%	100%
Efficiency / Gross Building		48%	36,700	29.6%	36,700	77%	36,700		
Average Unit Size		112		201		135			

UNIT MIX - LEVEL 2

UNIT SIZE	SQ.FT.	INTERIOR		DRIVE UP		TOTAL		% of Mix QTY	% of Mix SF
		QTY	SQ.FT.	QTY	SQ.FT.	QTY	SQ.FT.		
5 X 5	25	69	1725			69	1,725	25%	9%
5 X 10	50	69	3450			69	3,450	25%	18%
7.5 X 10	75	33	2475			33	2,475	12%	13%
10 X 10	100	87	8700			87	8,700	31%	45%
10 X 15	150	18	2700			18	2,700	6%	14%
10 X 20	200	2	400			2	400	1%	2%
10 X 30	300	0	0			0	-	0%	0%
TOTAL		278	19,450	-	-	278	19,450	100%	100%
Efficiency / Gross Building		70%	27,900			70%	27,900		
Average Unit Size		70				70			

TOTAL UNIT MIX

UNIT SIZE	SQ.FT.	INTERIOR		DRIVE UP		TOTAL		% of Mix QTY	% of Mix SF
		QTY	SQ.FT.	QTY	SQ.FT.	QTY	SQ.FT.		
5 X 5	25	74	1850	0	0	74	1,850	15%	4%
5 X 10	50	114	5700	2	100	116	5,800	24%	12%
7.5 X 10	75	52	3900	1	75	53	3,975	11%	8%
10 X 10	100	110	11000	7	700	117	11,700	24%	24%
10 X 15	150	61	9150	10	1500	71	10,650	15%	22%
10 X 20	200	16	3200	17	3400	33	6,600	7%	14%
10 X 30	300	7	2100	17	5100	24	7,200	5%	15%
TOTAL		434	36,900	54	10,875	488	47,775	100%	100%
Efficiency / Gross Building		57%	64,600	29.6%	36,700	74%	64,600		
Average Unit Size		85		201		98			

HEAL ARCHITECTS
 2350 N 930 E
 PROVO, UT 84640
 469-920-0123
 lance@healdesigngroup.com
 Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Florida.
FL LIC # AR99521
 LIC EXP DATE: 2/28/2023
 PLEASE BE ADVISED: THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION UNLESS THEY HAVE BEEN SIGNED AND SEALED BY
 STANLEY LANCE HEAL, ARCHITECT.

Project Information

SELF-STORAGE
 500 S STATE ROAD 7
 HOLLYWOOD, FL

Client

UTEX STORAGE PARTNERS
 65 E WADSWORTH DRIVE
 SUITE 220
 DRAPER, UT 84020
 P. 801-692-1474

No.	Description	Date
1	ISSUE DATE	11/1/2022

Sheet Title

PRELIMINARY FLOOR PLANS

DWG BY:
 CHK BY:
 DATE:
 PROJECT NO:

DWG NO.
A101



ARCHITECTS

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lance@healdesigngroup.com

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Project Information

SELF-STORAGE

500 S STATE ROAD 7
HOLLYWOOD, FL

Client

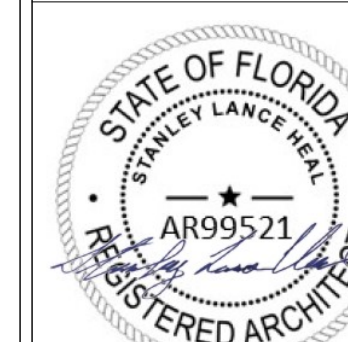


65 E WADSWORTH DRIVE
SUITE 220
DRAPER, UT 84020
P. 801-692-1474

No.	Description	Date
	ISSUE DATE	11/11/2022

Sheet Title

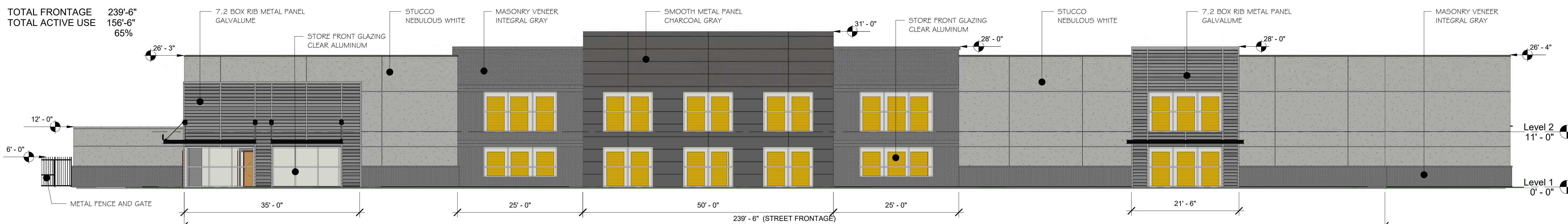
PROPOSED
BUILDING
EXTERIOR
ELEVATIONS



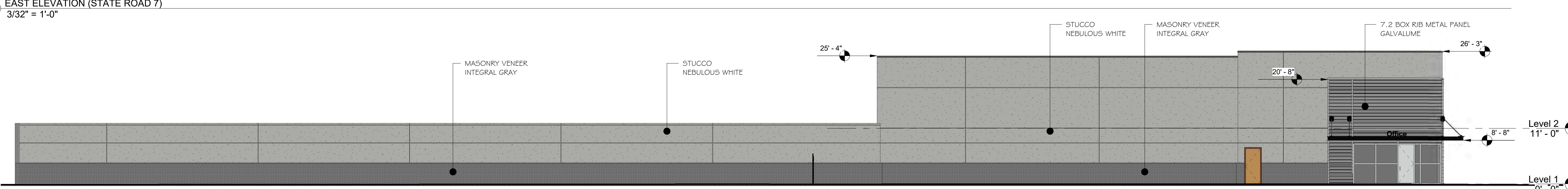
DWG BY:
CHK BY:
DATE:
PROJECT NO:

DWG NO.

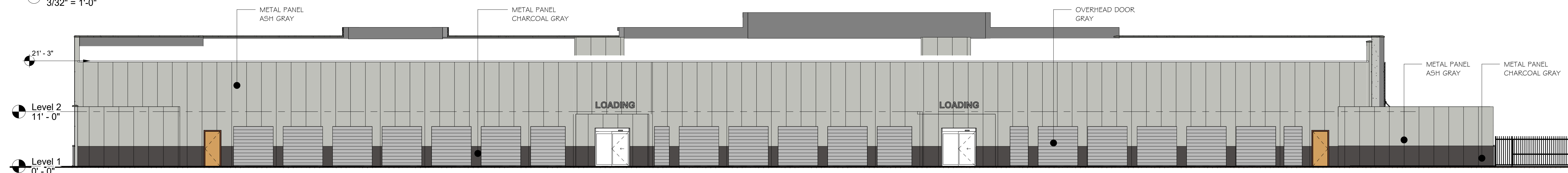
A201



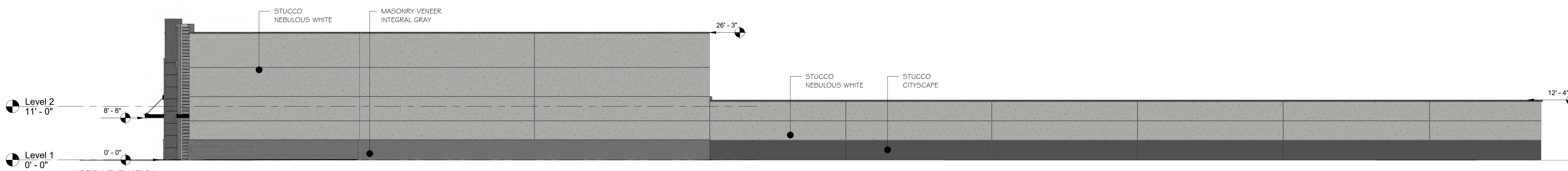
① EAST ELEVATION (STATE ROAD 7)
3/32" = 1'-0"



② SOUTH ELEVATION
3/32" = 1'-0"



③ WEST ELEVATION
3/32" = 1'-0"



④ NORTH ELEVATION
3/32" = 1'-0"



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 lance@healdesigngroup.com

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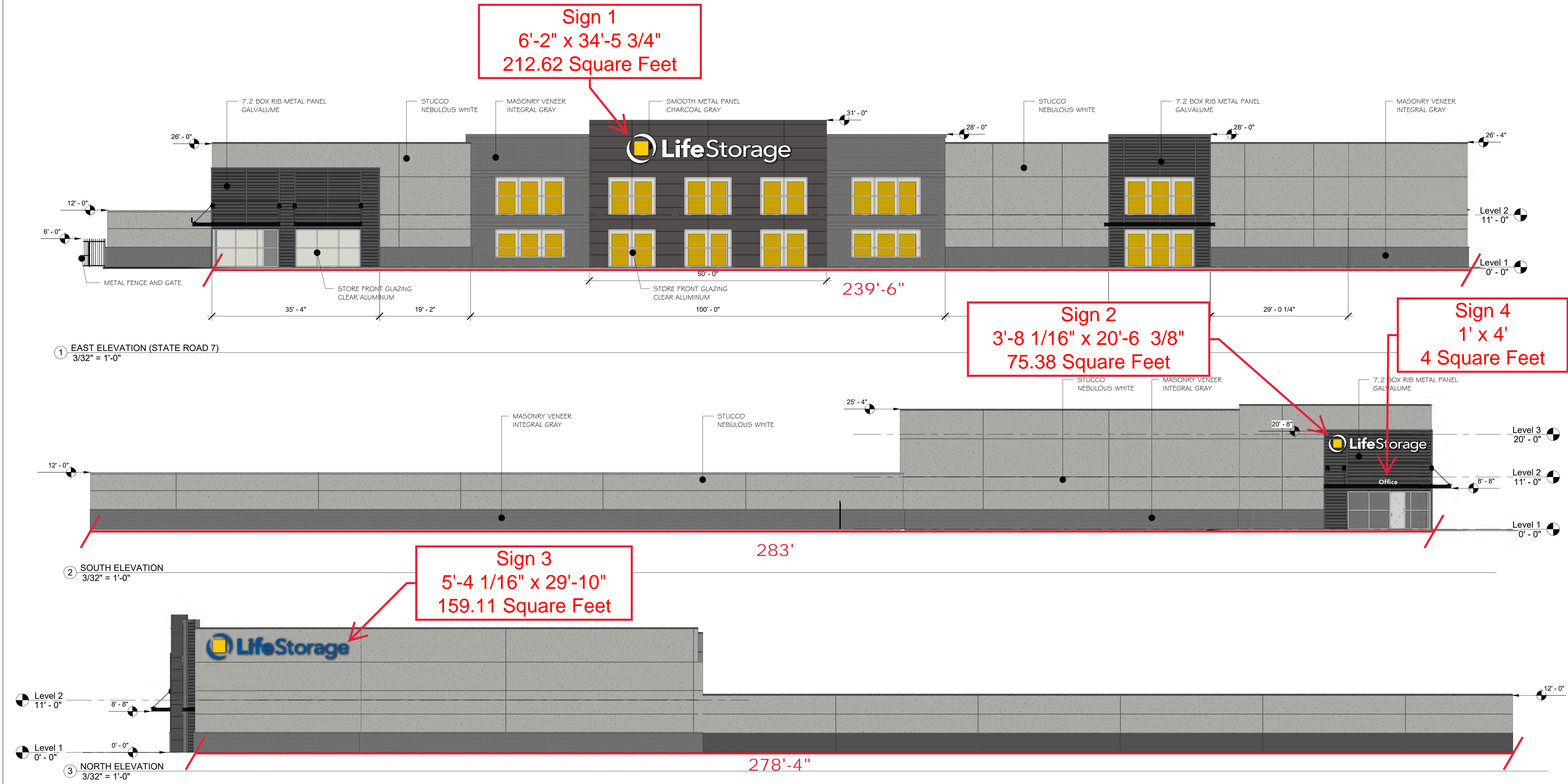
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 STANLEY LANCE HEAL, ARCHITECT.

Project Information

SELF-STORAGE
 500 S STATE ROAD 7
 HOLLYWOOD, FL

Client

65 E WADSWORTH DRIVE
 SUITE 220
 DRAPER, UT 84020
 P. 801-692-1474



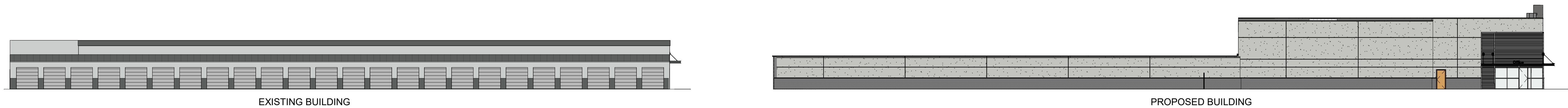
No.	Description	Date
1	ISSUE DATE	5/23/2022

Sheet Title

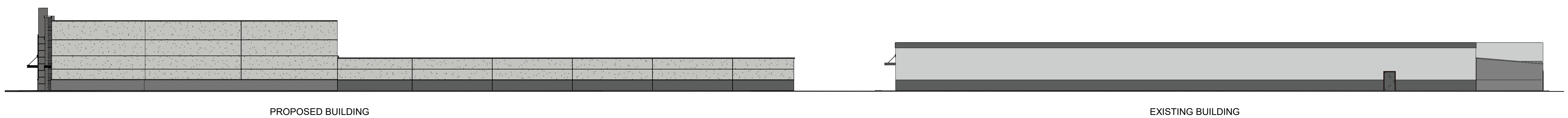
EXTERIOR ELEVATIONS

DWG BY:
 CHK BY:
 DATE:
 PROJECT NO:

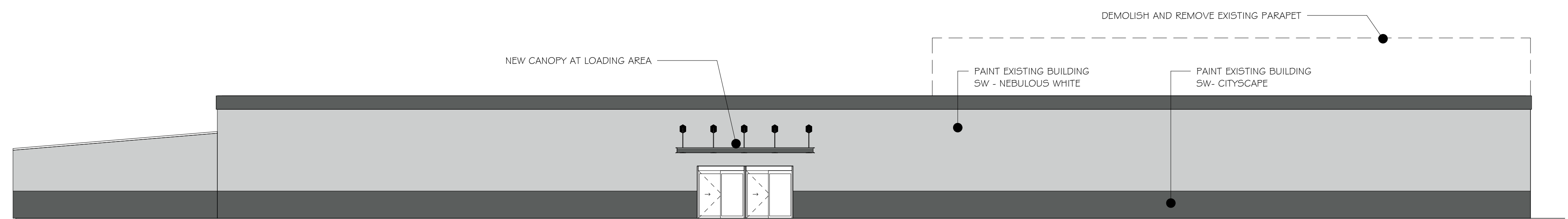
DWG NO.
A201



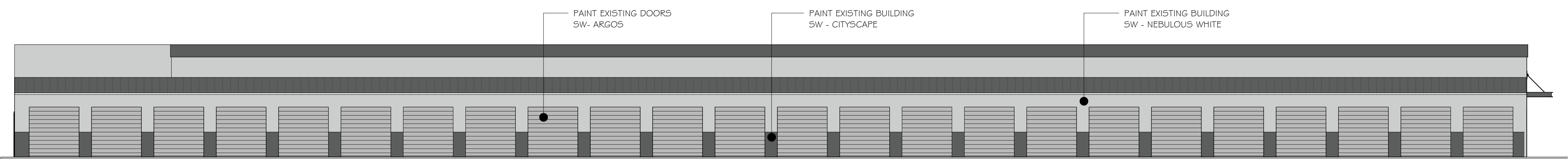
⑤ OVERALL SOUTH ELEVATION
1" = 20'-0"



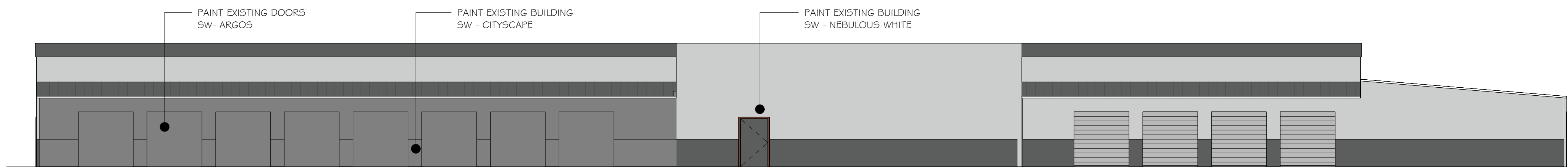
⑥ OVERALL NORTH ELEVATION
1" = 20'-0"



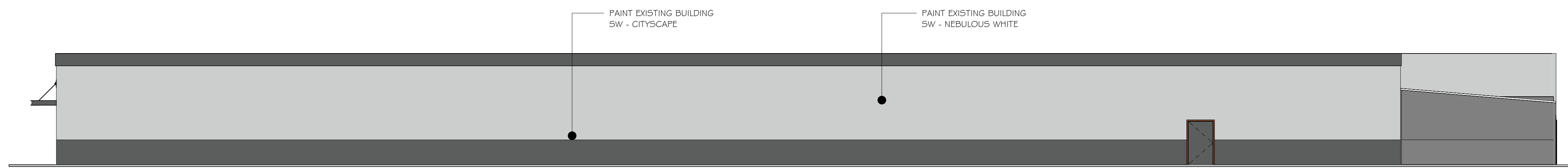
① EAST ELEVATION - EXISTING BUILDING
3/32" = 1'-0"



② SOUTH ELEVATION - EXISTING BUILDING
3/32" = 1'-0"



③ WEST ELEVATION - EXISTING BUILDING
3/32" = 1'-0"



④ NORTH ELEVATION - EXISTING BUILDING
3/32" = 1'-0"

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 469-920-0123
 lance@healdesigngroup.com
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Project Information

SELF-STORAGE

500 S STATE ROAD 7
 HOLLYWOOD, FL

Client



65 E WADSWORTH DRIVE
 SUITE 220
 DRAPER, UT 84020
 P. 801-692-1474

No.	Description	Date
	ISSUE DATE	11/1/2022

Sheet Title

EXISTING BUILDING ELEVATIONS

STATE OF FLORIDA
 STANLEY LANCE HEAL
 AR99521
 REGISTERED ARCHITECT

DWG BY:
 CHK BY:
 DATE:
 PROJECT NO:

DWG NO.
A202



A E B C C D E E C B A E B C

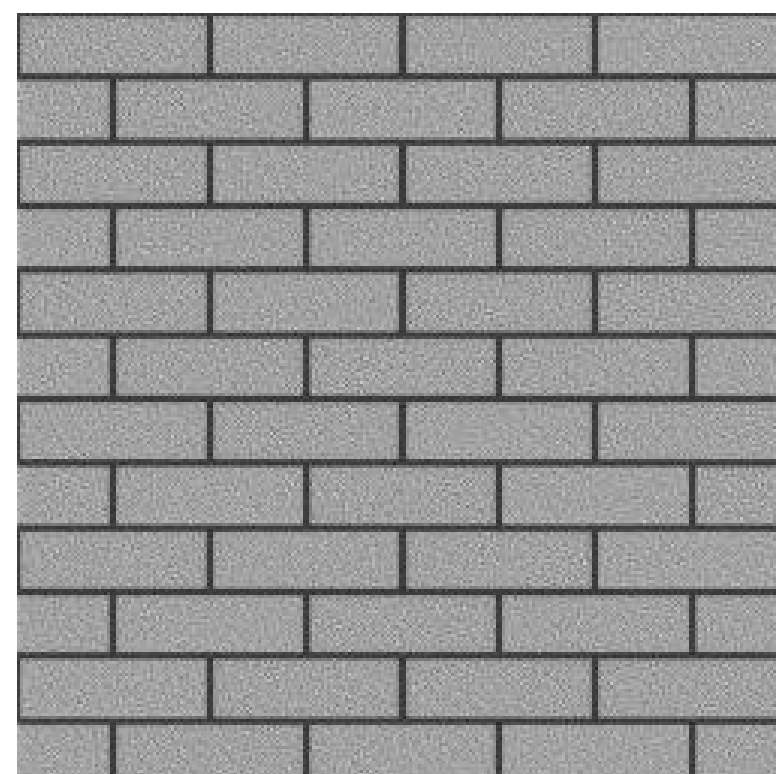
1 FRONT ELEVATION - COLOR BOARD
12" = 1'-0"



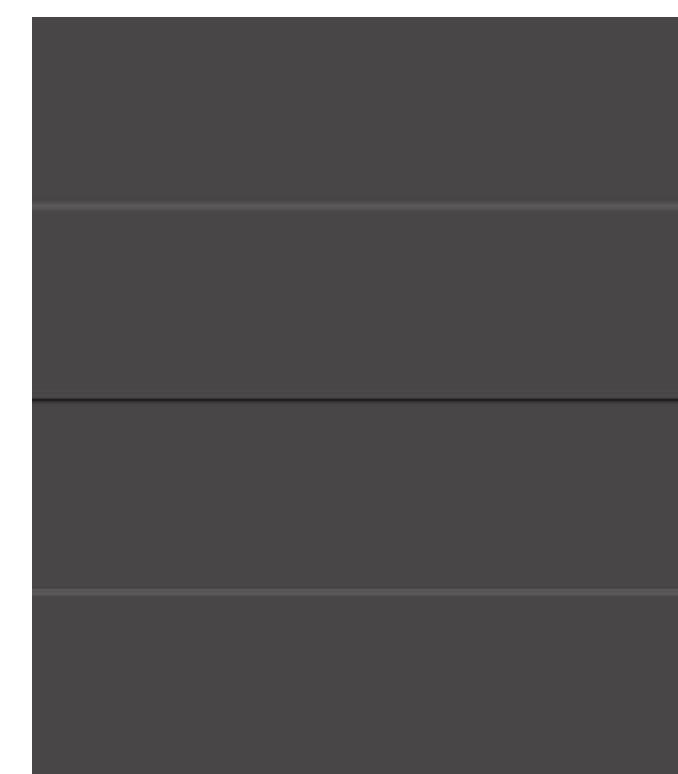
A ACCENT WALL
(MTL PANEL - GALVALUME OR SIMILAR)
12" = 1'-0"



B MASS WALL
(STUCCO - GREY MIST, OR SIMILAR)
NOT TO SCALE



C MASS WALL
(GREY CMU, BRICK, OR SIMILAR)
NOT TO SCALE



D MASS WALL
(SMOOTH METAL PANEL, CHARCOAL GRAY)
12" = 1'-0"



E ALUMINUM STORE FRONT - CLEAR
ANODIZED ALUMINUM STORE FRONT
12" = 1'-0"

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Project Information

SELF-STORAGE
 500 S STATE ROAD 7
 HOLLYWOOD, FL

Client

UTEX STORAGE PARTNERS
 65 E WADSWORTH DRIVE
 SUITE 220
 DRAPER, UT 84020
 P. 801-692-1474

No.	Description	Date
	ISSUE DATE	11/1/2022

Sheet Title

EXTERIOR COLOR BOARD

DWG BY:
 CHK BY:
 DATE:
 PROJECT NO:

DWG NO.
A203

**STANLEY LANCE HEAL
ARCHITECT**

FL LIC # AR99521
LIC EXP DATE: 2/28/2021
15758 GROVE CREST DR.
FRISCO, TX 75035
469-920-0123
lance@healdesigngroup.com

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These pages are confidential.
The information is intended for the use by
WASATCH STORAGE PARTNERS

Project Information

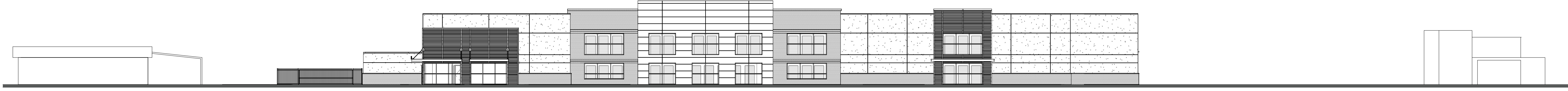
SELF-STORAGE

500 S STATE ROAD 7
HOLLYWOOD, FL

Client



65 E WADSWORTH DRIVE
SUITE 220
DRAPER, UT 84020
P. 801-692-1474



JUMBO AUTO

SUBJECT PROPERTY

WENDYS

STATE ROAD 7 LOOKING WEST

① **STREET PROFILE ELEVATION**
1" = 20'-0"

No.	Description	Date
	ISSUE DATE	1/20/2023

**STREET PROFILE
ELEVATION**

DWG BY:
CHK BY:
DATE:
PROJECT NO:

DWG NO:
A204

Landscape Data:

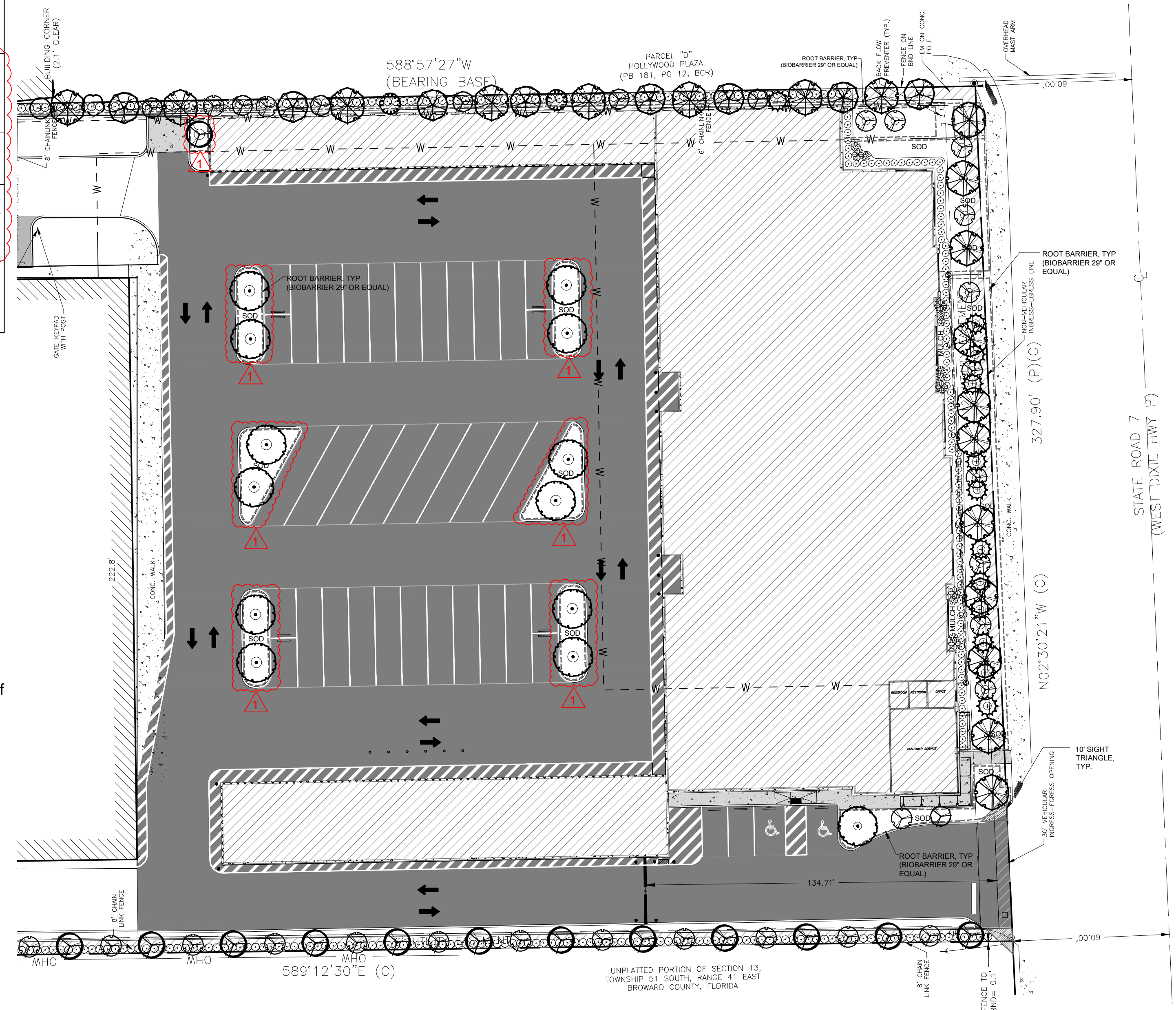
Zoning - South Mixed-Use District (S-MU)	Required	Provided
Perimeter Landscape One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	11 Trees (328'/30')	11 Trees
A five (5) foot landscape buffer including a landscape element of at least 42 inches in height shall be provided along the perimeter. The landscape buffer may be included within required setback areas.	1,080'	1,080' 330 Shrubs
Open Space All pervious areas must be landscaped with grass, ground cover, and/or shrubbery. Minimum of one tree per 1,000 sq. ft. of pervious area. Add'l to Parking Tree Requirements.	12 Trees (Minimum) (12,200/1000)	5 Existing Trees + 7 Proposed
A minimum of 5 percent of the total site area shall be landscaped open space including landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks, etc.	6,146 sf (122,930 X 5%)	12,200 sf
Vehicular Use Area One 12' Tree Required per Terminal Island.	14 Trees	14 Trees
Lots with a width of more than 50', 25% of the total square footage of the paved Vehicular Use Area shall be landscaped.	13,671 sf (54,685 X 25%)	12,200 sf
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	22 Native Trees (36 X 60%) 165 Native Shrubs (330 X 50%)	81 Native Trees (100%) 330 Native Shrubs (100%)

Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- City assumes liability and maintenance of trees placed outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
- Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.
- Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Plant Schedule:

EXISTING TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	QTY
	BB-E	Bucida buceras	Existing Black Olive Tree	Existing to Remain	No	Yes	High	1
	FB-E	Ficus benjamina	Existing Ficus Tree	Existing to Remain	No	Yes	High	1
	SA-E	Sabal palmetto	Existing Sabal Palm	Existing to Remain	Yes	Yes	High	12
INTERIOR VUA TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	QTY
	CD-V	Coccoloba diversifolia	Pigeon Plum	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	1
	QV-V	Quercus virginiana	Southern Live Oak	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	13
CODE TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	QTY
	CE-C	Conocarpus erectus 'Sericeus'	Silver Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	7
MITIGATION TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	QTY
	CD-M	Coccoloba diversifolia	Pigeon Plum	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	12
	CE-M	Conocarpus erectus	Green Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	8
	CS-M	Conocarpus erectus 'Sericeus'	Silver Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	25
	SP-M	Sabal palmetto	Sabal Palm	FG, 8'-12' CT, HVY C, SP	Yes	Yes	High	2
	TC-M	Tabebuia caraiba	Silver Trumpet	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	8
STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	QTY
	CE-S	Conocarpus erectus	Green Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	Yes	High	11
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	FLORIDA FRIENDLY	DROUGHT TOLERANCE	QTY
	CHR	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	7G, 42" HT, FTB, SP	Yes	Yes	High	98
	COE	Conocarpus erectus	Green Buttonwood	7G, 42" HT, FTB, SP	Yes	Yes	High	232
	CAL	Cordyline fruticosa 'Auntie Lou'	TI Plant	7G, 4' HT x 3' SPR, 3PP, SP, AS	No	Yes	High	8
	STN	Strelitzia nicolai	White Bird of Paradise	15G, 5'-6' HT, 5PP, F, SP	No	Yes	High	5



Sheet Index:

Overall Landscape Plan.....	L-01
Plant Schedule.....	L-01
Detail Landscape Plan.....	L-02
Tree Disposition Plan.....	L-03
Landscape Details & Specifications.....	L-04



Project Team
 Landscape Architect:
LAS LANDSCAPE ARCHITECTURAL SERVICES, LLC
 Brandon White | Owner
 772-834-1357 | brandon@las-fl.com
 Paul Goulas | Owner
 772-631-8400 | paul@las-fl.com
 1708 SE Jay Haven Street
 Fort St. Lucie, FL 34983
 Owner / Applicant:
UTEX STORAGE PARTNERS
 65 East Wadsworth Park Dr.,
 Suite 220
 Draper, UT 84020
 Attn: Justin Barnes
 EVP of Development
 jbarnes@utextstorage.com

Proposed Storage
 500 South State Road 7, Hollywood, FL 33023
Overall Landscape Plan

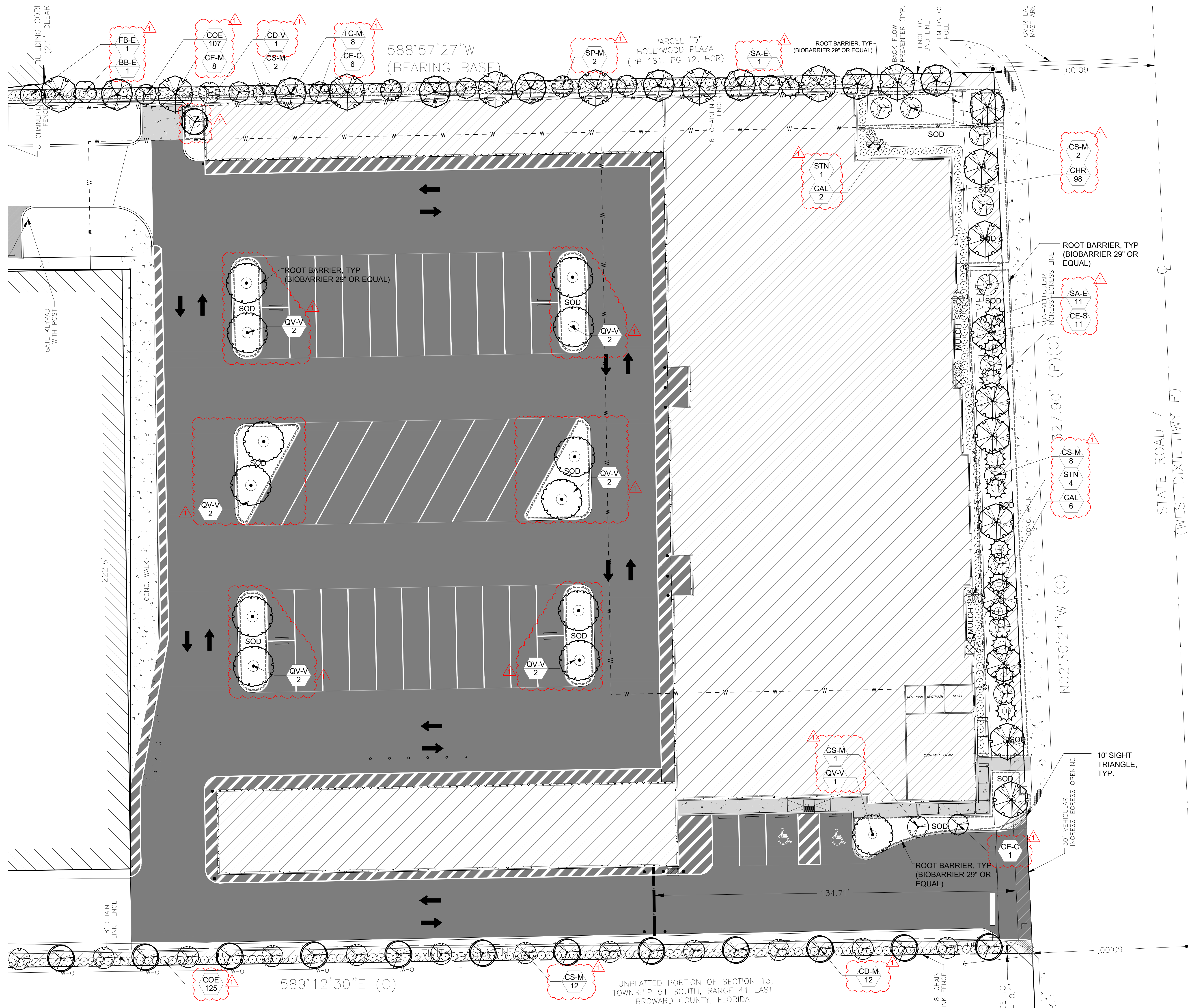
Revisions

Date	Init.	Description
08.17.22	DC	Initial Submittal
11.21.22	BW	Revised per Comments

REGISTERED LANDSCAPE ARCHITECT
 PAUL A. GOULAS
 LA 6666807
 STATE OF FLORIDA
 PAUL GOULAS, RLA
 FLORIDA REG. # LA6666807

Drawn By: DC
 Checked By: PG
 Municipal Project:
 Scale:

L-01



Project Team

Landscape Architect:

LAS LANDSCAPE ARCHITECTURAL SERVICES, LLC

Brandon White | Owner
772-834-1357 | brandon@las-fl.com

Paul Goulas | Owner
772-631-8400 | paul@las-fl.com
1708 SE Jay Haven Street
Port St. Lucie, FL 34983

Owner / Applicant:

UTEX STORAGE PARTNERS
65 East Wadsworth Park Dr.,
Suite 220
Draper, UT 84020
Attn: Justin Barnes
EVP of Development
jbarnes@utexstorage.com

Proposed Storage

500 South State Road 7, Hollywood, FL 33023

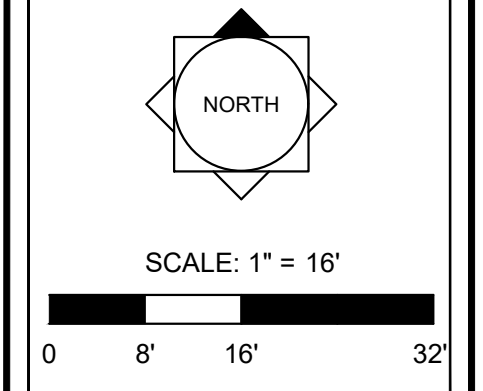
Detail Landscape Plan

Revisions

Date	Init.	Description
08.17.22	DC	Initial Submittal
11.21.22	BW	Revised per Comments



Drawn By: DC
Checked By: PG
Municipal Project:
Scale:



L-02



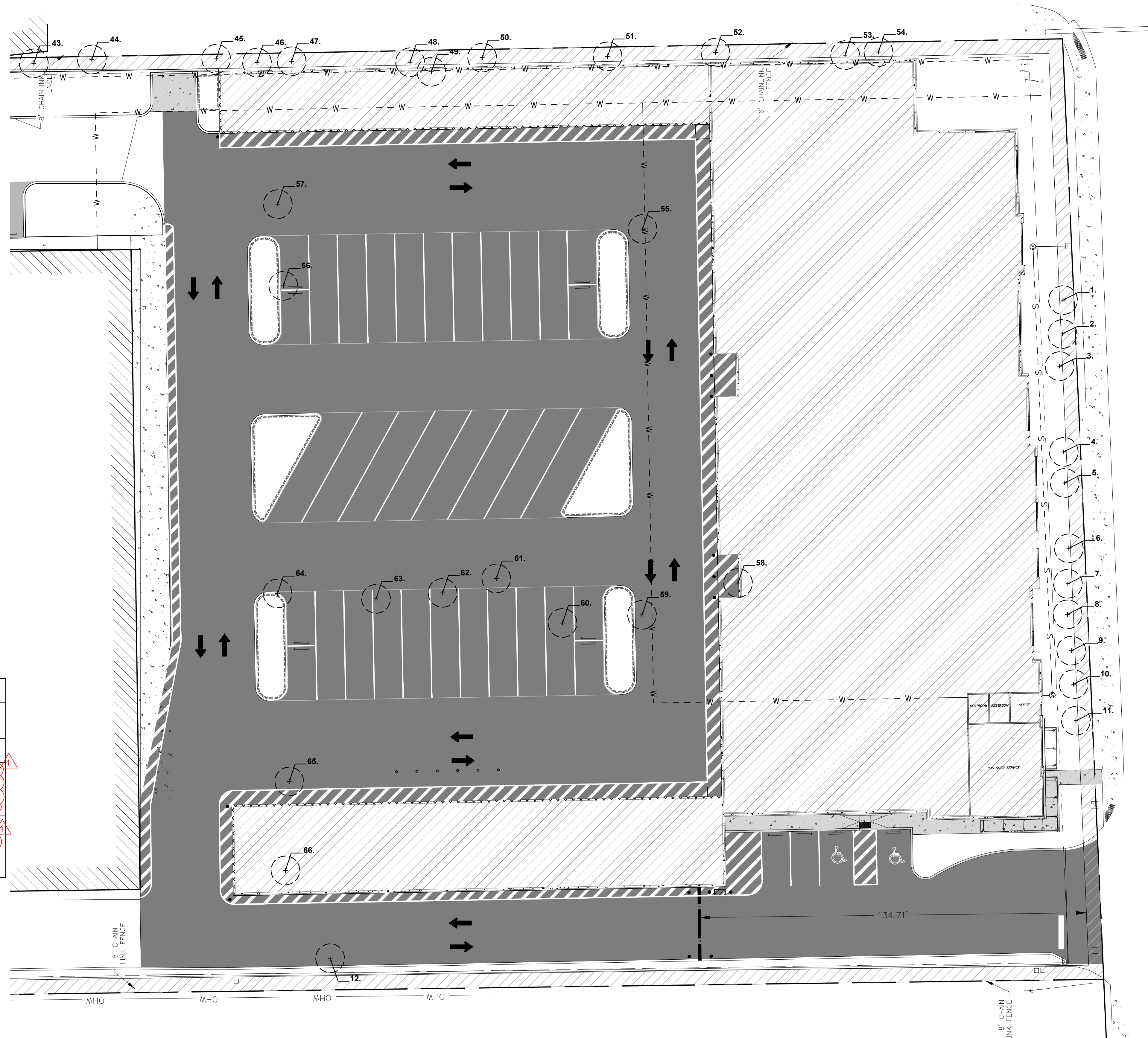
Existing Tree Data:

TREE ID#	BOTANICAL NAME	COMMON NAME	DBH/in.	HEIGHT/ft.	SPREAD/FT.	CONDITION	DISPOSITION
1	Sabal palmetto	Sabal Palm	13	10 CT	8	80%	Remain
2	Sabal palmetto	Sabal Palm	14	12 CT	8	80%	Remain
3	Sabal palmetto	Sabal Palm	12	11 CT	4	40%	Remain
4	Sabal palmetto	Sabal Palm	13	10 CT	8	80%	Remain
5	Sabal palmetto	Sabal Palm	13	15 CT	6	50%	Remain
6	Sabal palmetto	Sabal Palm	14	6 CT	8	50%	Remain
7	Sabal palmetto	Sabal Palm	13	10 CT	6	60%	Remain
8	Sabal palmetto	Sabal Palm	14	6 CT	8	40%	Remain
9	Sabal palmetto	Sabal Palm	12	10 CT	8	75%	Remain
10	Sabal palmetto	Sabal Palm	12	12 CT	8	75%	Remain
11	Sabal palmetto	Sabal Palm	13	10 CT	8	75%	Remain
12	Sabal palmetto	Sabal Palm	15	6 CT	10	80%	Remove
43	Ficus benjamina	Weeping Fig	18	35	30	70%	Remain
44	Olea europaea	Black Olive	26	45	30	75%	Remain
45	Ficus benjamina	Weeping Fig	6	15	10	70%	Remove
46	Ficus benjamina	Weeping Fig	2	15	15	70%	Remove
47	Ficus benjamina	Weeping Fig	2	10	10	60%	Remove
48	Ficus benjamina	Weeping Fig	2	10	8	60%	Remove
49	Sabal palmetto	Sabal Palm	12	8	6	60%	Remove
50	Ficus benjamina	Weeping Fig	2	14	10	60%	Remove
51	Olea europaea	Black Olive	8	15	20	80%	Remove
52	Ficus benjamina	Weeping Fig	3	12	8	60%	Remove
53	Sabal palmetto	Sabal Palm	15	12	8	85%	Remain
54	Bursera simaruba	Gumbo Limbo	8	15	20	80%	Remove
55	Swientenia mahagoni	Mahogany	29	25	30	50%	Remove
56	Olea europaea	Black Olive	15	25	25	75%	Remove
57	Olea europaea	Black Olive	12	25	20	75%	Remove
58	Olea europaea	Black Olive	15	20	30	70%	Remove
59	Swientenia mahagoni	Mahogany	20	25	25	75%	Remove
60	Olea europaea	Black Olive	19	30	40	75%	Remove
61	Swientenia mahagoni	Mahogany	8	15	10	60%	Remove
62	Swientenia mahagoni	Mahogany	20	30	30	75%	Remove
63	Swientenia mahagoni	Mahogany	18	25	25	75%	Remove
64	Olea europaea	Black Olive	14	25	20	75%	Remove
65	Olea europaea	Black Olive	12	25	25	60%	Remove
66	Olea europaea	Black Olive	12	20	20	70%	Remove

Landscape Tree Mitigation Data:

Palms Removed	Replacement Required	Replacement Provided
Two (2) Total Palms Removed	Two (2) Palms or \$700 Payment	(2) 8' CT Palm Trees Planted Onsite (See Mitigation Trees, Sheet L-01)
Trees Removed	Replacement Required	Replacement Provided
Twenty (20) Trees, (227") DBH Total Removed	(114) 2" DBH Trees or \$39,900 Payment	(53) 2" DBH Tree Planted Onsite + \$21,350 Payment Contribution to City Tree Fund (See Mitigation Trees, Sheet L-01)
A total of (53) 2" Hardwood Trees and (2) Palm Trees Planted on site to satisfy required tree mitigation. Remaining mitigation (121" DBH) to be satisfied via Tree Trust Fund Contribution. 121" remaining owed equivalent to \$21,350 Total Tree Fund Contribution (\$350 per 2" DBH owed). See Mitigation Trees listed in Plant Schedule, Sheet 1.		

*Note: All replacement trees minimum of twelve (12) feet in height when planted on private property and twelve (12) feet when planted on swales and commercial properties. Palms minimum 8' clear trunk.



Project Team
 Landscape Architect:
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 jbarnes@utexstorage.com

Proposed Storage
 500 South State Road 7, Hollywood, FL 33023
Tree Disposition Plan

Revisions

Date	Init.	Description
08.17.22	DC	Initial Submittal
11.21.22	BW	Revised per Comments

REGISTERED LANDSCAPE ARCHITECT
 PAUL A. GOULAS
 LA 666807
 STATE OF FLORIDA
 PAUL GOULAS, RLA
 FLORIDA REG. # LA666807

Drawn By: DC
 Checked By: PG
 Municipal Project:
 Scale:

 SCALE: 1" = 20'

L-03

