ATTACHMENT I

March 14, 2019

Planning and Development Board Staff Report

CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
PLANNING AND URBAN DESIGN DIVISION

DATE: March 14, 2019 **FILE:** 18-DJPVZ-04a

TO: Planning and Development Board / Local Planning Agency

VIA: Leslie A. Del Monte, Planning Manager

FROM: Deandrea Moise, Planning Administrator

SUBJECT: Harwin Tobin 3701, LLC requests Change in Zoning Designation from Planned Unit Development – Residential (PUD-R) to Planned Development (PD), approval of the Master Development Plan, Waiver, Modifications, Variance, Design, and Site Plan for an 18,000 square foot office building located at 3701 Hillcrest Drive (Tobin Offices).

REQUEST

Wavier from the required minimum ten (10) acres for Planned Development (PD).

Change in Zoning Designation from Planned Unit Development – Residential (PUD-R) to Planned Development (PD).

Master Development Plan.

Modification 1: To reduce the required square footage of terminal islands.

Modification 2: To reduce the required percentage of landscaping of the paved vehicular use area.

Variance: To reduce the 25-foot peripheral landscaped setback from all external streets to a minimum of seven feet.

Design and Site Plan.

RECOMMENDATION

Staff recommends the Planning and Development Board, acting as the Local Planning Agency forward this Petition (18-DP-04) to the City Commission with a recommendation as followed:

Waiver: Approval.

Rezoning: Approval, if Waiver is granted.

Master Development Plan:	Approval, if Wavier and Rezoning are granted, with the following conditions: a. Uses shall be limited to (1) Office uses both professional office (including medical office) and general office; (2) Medical-related uses: Research and Diagnostic Facilities, Medical Labs, Physical, Occupational and Speech Therapy Facilities, Sale and Fitting and Fabrication of Durable Medical Equipment and Prosthetic Devices, and Ambulatory Surgical Centers; and (3) Other medical-related and hospital related uses determined by the Director or Designee to be similar in impact to the above-described uses in accordance with Section 3.14 of the Zoning and Land Development Regulations. b. The permitted uses shall not Pain Management Facilities, Social Service Facilities; facilities providing overnight stays, including but not limited ACLFs or shelters; or stand-alone pharmacies. c. Uses shall be subject to all regulations applicable to such uses as outlined in the City of Hollywood Code of Ordinances and Zoning and Land Development Regulations.
Modification 1 - 2:	Approval, if Waiver, Rezoning, and Master Development Plan are granted.
Variance:	Approval, if Waiver, Rezoning, and Master Development Plan and Modifications are granted.
Design:	Approval.
Site Plan:	Approval, if Waiver, Rezoning, and Master Development Plan, Modifications, Variance, and Design are granted.

BACKGROUND

The subject site is located within the Hillcrest Planned Unit Development as approved in 1976 and amended numerous times following the original approval. In 2000, the City of Hollywood City Commission granted approval to amend the Hillcrest PUD to permit the use of office at the subject site and also designated the Land Use as Commercial Flex, to allow for non-residential uses. The Commission also placed a condition that the office be limited to professional offices as defined in the Zoning and Land Development Regulations. At the time when the site was granted approval as an office site, no thresholds were established such as height, and setbacks. As such in 2018, the Applicant came before the Board seeking a recommendation from the Board to City Commission for Design and Site Plan approval, however at this meeting the Applicant advised there were additional uses requested not previously considered before their Board appearance. At this meeting, the Board recommended approval to the City Commission based on the original proposal without the uses mentioned by the

Applicant at the meeting, however the item did not move forward to the City Commission as the Applicant has revised their application to include the full extent of the proposal.

REQUEST

The Applicant requests a change in zoning designation to Planned Development (PD), approval of the Master Development Plan, Waiver, Modifications, Variance, Design, and Site Plan for an 18,000 square foot office building (Tobin Offices).

The Applicant proposes to rezone to PD for the property located at 3701 Hillcrest Drive. The current zoning designation of Planned Unit Development-Residential (PUD-R) as written in the code states that a PUD-R is a district that "permits a development which is comprised primarily of residential uses, but also upon approval, certain minimum nonresidential uses which are of supporting and complementary character." As the uses requested by the Applicant are tailored to complement to the adjacent Hospital community, rather than the residential community, Staff found that the nonresidential uses proposed did not meet the regulations and were more intense than what is permitted and would not be permitted in the PUD-R zoning designation. The PD zoning designation would be better suited in a PD zoning district as it does not have this same restriction which limits non-residential uses. PUD-R and PD are similar in nature as both require requires final approval by the City Commission for uses, and site development. The PD zoning designation simply allows the Applicant flexibility in possible uses that would still require City Commission approval before moving forward. Along with the rezoning to PD, a Master Development Plan approval is required to ensure development will occur according to limitations of land use, site design, building coverage, and improvement standards. Staff recommends the following conditions to ensure that the uses moving forward are consistent with possible future approvals:

a. Uses shall be limited to (1) Office uses both professional office (including medical office) and general office; (2) Medical-related uses: Research and Diagnostic Facilities, Medical Labs, Physical, Occupational and Speech Therapy Facilities, Sale and Fitting and Fabrication of Durable Medical Equipment and Prosthetic Devices, and Ambulatory Surgical Centers; and (3) Other medical-related and hospital related uses determined by the Director or Designee to be similar in impact to the above-described uses in accordance with Section 3.14 of the Zoning and Land Development Regulations.

b. The permitted uses shall not Pain Management Facilities, Social Service Facilities; facilities providing overnight stays, including but not limited ACLFs or shelters; or stand-alone pharmacies.

c. Uses shall be subject to all regulations applicable to such uses as outlined in the City of Hollywood Code of Ordinances and Zoning and Land Development Regulations.

Furthermore, Planned Developments are required to contain a minimum of ten acres of land under unified control. However, this requirement may be waived by the City Commission upon the recommendation of the Planning and Development Board. As the subject site is just under an acre, the Applicant is requesting a waiver of the ten acre minimum requirement.

The three story office building will feature office spaces on the second and third floor with only the lobby located on the ground floor. The Applicant plans to utilize the third floor to act as their corporate offices and lease out the remaining floor. The overall style of the building provides a complementary look to the surrounding structures. Architectural elements of the design, such as medallions, decorative brackets, arches, banding, and decorative railing, come together to create a design that is not intrusive, and enriches the character of the community. The artistic materials and elements, and living green wall, create dynamic and visually appealing façades enhancing the overall design of the site. Furthermore, the design also uses landscaping to enhance and frame the property. The landscape plan incorporates an array of native trees, palms, and shrubs while improving the streetscape along Hillcrest Drive (Ben Tobin Drive). The Applicant has worked carefully with Staff to ensure a Design and Site Plan that was in line with the regulations and cohesive with the character of the community. The proposed Design and Site Plan is no different than what was seen and approved by the Board in 2018.

While PD zoning requires no setbacks for interior yards, there is a required 25 foot landscape setback from all external streets. Given the site's location, this setback is required along Hillcrest Drive and S. 37th Avenue; two street that are within the Hillcrest PUD-R Development. The Applicant is requesting a Variance to reduce this requirement to provide a landscape buffer ranging in width from approximately 7 feet to 12 feet.

The Applicant is also requesting modifications. These modification are the same modification considered and approved by the Board in 2018. As portions of the parking lot is located under the building, the Applicant is requesting the modifications to (1) reduce the square footage requirement for terminal islands; and (2) reduce the required percentage of landscaping of the paved vehicular use area. Due to the configuration of the site and columns to support the structure, there is difficulty in meeting the minimum requirements of the code regulations. Additionally, to mitigate the reduced landscape requirements as it relates to the terminal islands and vehicular use area, the Applicant has proposed permeable concrete material for 25 percent of the site area.

Applicant:	Harwin Tobin 3701, LLC
Address/Location:	3701 Hillcrest Drive (3701 Ben Tobin Drive)
Net Area of Property:	30, 029 square feet (0.896 acres)
Land Use:	Commercial Flex (COMFLEX)
Zoning:	Planned Unit Development – Residential (PUD-R)
Existing Use of Land:	Vacant

ADJACENT LAND USE

North:	Office (OFF)
South:	Medium Residential (MRES)
East:	Open Space Recreation (OSR)
West:	Medium Residential (MRES)

ADJACENT ZONING

North:	Hospital District (HD)
South:	Planned Unit Development – Residential (PUD-R)
East:	Government Use (GU)
West:	Planned Unit Development – Residential (PUD-R)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The goal of the Land Use element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property. The project is consistent with the Land Use element of the Comprehensive Plan.

Objective 4: *Promote improved architectural and streetscape design standards, code enforcement, economic development, neighborhood planning, and public information dissemination to maintain and enhance neighborhoods, businesses, and tourist areas.*

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The project is located in Sub-Area 6, the West-Central Hollywood area, is defined by I-95 to the east, Pembroke Road to the south, Sheridan Street to the north and 56th Avenue to the west. This area is comprised of the residential neighborhoods of Hollywood Hills, Park East and Hillcrest. The proposed request is consistent with City-Wide Master Plan based upon the following:

Guiding Principle: *Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.*

Policy CW.44: *Foster economic development through creative land use, zoning and development regulations, City services and City policies.*

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Rezoning as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION 1: That the petition for a change of zoning district will not result in spot zoning or contract zoning.

ANALYSIS: The Applicant proposes to rezone to PD for the property located at 3701 Hillcrest Drive. The current zoning designation of Planned Unit Development-Residential (PUD-R) as written in the code states that a PUD-R is a district that "permits a development which is comprised primarily of residential uses, but also upon approval, certain minimum nonresidential uses which are of supporting and complementary character." As the uses requested by the Applicant are tailored to complement to the adjacent Hospital community, rather than the residential community, Staff found that the nonresidential uses proposed did not meet the regulations and were more intense than what is permitted and would not be permitted in the PUD-R zoning designation. The PD zoning designation would be better suited in a PD zoning district as it does not have this same restriction which limits non-residential uses. PUD-R and PD are similar in nature as both require requires final approval by the City Commission for uses, and site development. The PD zoning designation simply allows the Applicant flexibility in possible uses that would still require City Commission

approval before moving forward. The Zoning and Land Development Regulations provides and encourages Planned Developments as a tool for flexibility in development for most areas of the City.

FINDING: Consistent.

CRITERION 2: That the proposed change is consistent with, and in furtherance of, the Goals, Objectives and Policies of the City's Comprehensive Plan.

ANALYSIS: Although several approvals for this property has been sought, the site has remained vacant quite some time. Development of this site meets the Goals of the Comprehensive Plan by allowing land owners to maximize the use of their property while simultaneously redeveloping an underutilized portion of the City and development. The proposed change will promote the policies stated in the City Wide Master Plan such as improving infrastructure, and upgrading properties. Furthermore, the proposed uses will assist in better serving the adjacent hospital community.

FINDING: Consistent.

CRITERION 3: That conditions have substantially changed from the date the present zoning district classification was placed on the property, which make the passage of the proposed change necessary.

ANALYSIS: The office and healthcare industry has significantly evolved. As such, the proposed uses were determined to be too intense to be considered a part of the original 1976 Hillcrest PUD-R Development or consistent with the office approval in the year 2000. The proposed rezoning allows the Applicant to maintain the "planned development" character of Hillcrest while permitting flexibility in uses as approved by the City Commission.

FINDING: Consistent.

CRITERION 4: The proposed change will not adversely influence living conditions in the neighborhood.

ANALYSIS: The proposed zoning designation change would allow for the redevelopment of vacant and underutilized lands. As proposed, the scale, massing, building placement, and character of the proposed project is compatible with the surrounding area; it should not adversely influence living conditions in the neighborhood. In addition, the Project will further economic development in the City.

FINDING: Consistent.

CRITERION 5: That the proposed change is compatible with the development(s) within the same district/neighborhood.

ANALYSIS: The subject site is located adjacent to a residential and hospital community. While some the uses proposed are inconsistent with the PUD-R regulations, the uses can prove to be a benefit to the residential community as it will complement the adjacent hospital community and allowing those uses to better serve the residential community.

Planned Developments are required to contain a minimum of ten gross acres of land under unified control. This requirement may be waived by the City Commission upon the recommendation of the Planning and Development Board. The Applicant is requesting a waiver of the ten acre minimum requirement. As the proposed project is compatible with the surrounding area, Staff recommends the Planning and Development Board, acting as the Local Planning Agency, forward a recommendation of approval for the waiver of the minimum requirement.

FINDING: Consistent, if the waiver is granted.

Analysis of Criteria and Findings for Variances as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

VARIANCE 1: To reduce the required 25-foot peripheral landscaped setback from all external streets to a minimum of seven feet.

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: The required 25-foot peripheral landscape setback is intended for larger Planned Developments. Due to its location within the Hillcrest PUD-R at the outskirts, the external streets are the streets that were considered internal to the PUD-R. As such, Staff finds that the proposed project maintains the basic intent of the regulation.

FINDING: Consistent.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The Applicant has shown considerable effort in proposing a sensible project which both protects and enhances the existing community. The project's massing, scale, rhythm, and architectural elements, and site layout are compatible with the adjacent neighborhood. It is a much needed improvement for the overall site. The buffer would not be detrimental to the appearance of the Hillcrest Community.

FINDING: Consistent.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from

time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

ANALYSIS: The goal of the Land Use Element is to *promote a distribution of land uses enhancing and improving the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property*. Furthermore, Objective 4 of the Land Use Element states to *maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted*. The requested Variance will allow the property owners to build an economically feasible development while taking into consideration the surrounding uses and maintaining the basic intent of the regulations. The development of this site will enhance the property's appearance and that of surrounding areas; as well as improve the community.

FINDING: Consistent.

CRITERION 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: The requested variance is not economically based and better serves the intent of the applicable regulations. This Variance is needed to better serve the site as the streets now considered external were once considered internal when the PUD-R was created.

FINDING: Consistent.

CRITERION 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

Analysis of Criteria and Findings for Design as stated in the City of Hollywood Zoning and Land Development Regulations, Article 5.

CRITERIA 1: *Architectural and Design components*. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: The proposed development offers a design that can be seen as a positive addition to the surrounding community. Architectural elements of the design, such as medallions, decorative brackets, arches, banding, and decorative railing come together to create a design that is not intrusive, and enhances the character of the neighborhood. The artistic materials and elements, and living green wall, create dynamic and visually appealing façades that help to enrich the surrounding area.

FINDING: Consistent.

CRITERIA 2: *Compatibility***.** The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

ANALYSIS: The architectural styles and elements of the proposed development do not exhibit architectural features and styles that are insensitive and incompatible to the surrounding neighborhood. The design is not intrusive to the neighborhood and utilizes styles and elements found throughout the neighborhood, and introduces a fresh look to the area that helps to propel the sense of community.

FINDING: Consistent.

CRITERIA 3: *Scale/Massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

ANALYSIS: As there are no established threshold as it relates to regulations such as setbacks and height, the Applicant has carefully worked with Staff to propose a design that is consistent and complementary with the massing and scale of the surrounding area.

FINDING: Consistent.

CRITERIA 4: *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The Applicant has worked with the City Landscape Architect to incorporate a variety of compatible plant types and forms into the design. The proposed landscape helps articulate the property and enhance the design of the proposed building. The landscape plan incorporates an array of native trees, palms, and shrubs while improving the streetscape along the frontage.

FINDING: Consistent.

SITE PLAN

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 6 of the Hollywood Zoning and Land Development Regulations on June 7, 2018. Therefore, staff recommends approval, if the Waiver, Rezoning, Master Development Plan, Modifications, Variance and Design are granted.

ATTACHMENTS

ATTACHMENT A:	Application Package
ATTACHMENT B:	Land Use and Zoning Map

ATTACHMENT A

Application Package

PLANNING DIVISION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CITY OF Hollywood FLORIDA

Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at http://www.hollywoodfl.org/DocumentCenter/Home/View/21

APPLICATION TYPE (CHECK ONE):

☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 1/7/19

Location Address: 3701 Ben Tobin Drive, Hollywood, FL 33021

Lot(s): _____ Block(s): 9 Subdivision: Hillwood Sec Three

Folio Number(s): 5142-19-27-0072 PB69; PG 10

Zoning Classification: PUD-R Land Use Classification: Complex

Existing Property Use: Vacant Lot Sq Ft/Number of Units: _____

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): 18-DP-04

☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: See Attached Letter from Greenberg Traurig

Number of units/rooms: _____ Sq Ft: 18,000

Value of Improvement: $4,625,000.00 Estimated Date of Completion: August 2019

Will Project be Phased? ( ) Yes (X)No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Harwin-Tobin 3701, LLC

Address of Property Owner: 1101 Ben Tobin Drive, Hollywood, FL 33021

Telephone: 954-989-3000 Fax: 954-985-1116 Email Address: jtobin@tobinprop.com

Name of Consultant/Representative/Tenant (circle one): Charles Michelson/Barbara Hall

Address: 3501 Griffin Rd., Ft. Lauderdale, FL 33312 Telephone: 954-266-2700

Fax: _____ Email Address: cmichelson@saltzmichelson.com/hallb@gtlaw.com

Date of Purchase: 1945 Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Robert DeTorres

Address: 1101 Ben Tobin Drive, Hollywood, FL 33021

Email Address: rdetorres@tobinprop.com

PLANNING DIVISION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only):_____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 1-7-19

PRINT NAME: Jason L. Tobin Date: _____

Signature of Consultant/Representative: _____ Date: 1/7/19

PRINT NAME: Charles Michelson Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing Charles Michelson and/or Barbara Hall to be my legal representative before the Planning & Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 7 day of January 2019

_____
Notary Public
State of Florida

CRISTINA DELGADO
MY COMMISSION # FF 952444
EXPIRES: March 16, 2020
Bonded Thru Notary Public Underwriters

_____
Signature of Current Owner

Jason Tobin
Print Name

My Commission Expires:_____(Check One) X Personally known to me; OR ___ Produced Identification _____

GT GreenbergTraurig

Barbara A. Hall
Tel: (954) 768-8236
Fax: (954) 759-5536
Hallb@gtlaw.com

December 31, 2018

Via Email - DMOISE@hollywoodfl.org

Deandrea Moise
Planning Administrator
City of Hollywood
Department of Development Services
2600 Hollywood Blvd, Suite 315
P.O. Box 229045
Hollywood, FL 33022-9045

Re: Request for Planned Development (PD) District Rezoning and other approvals for a Mixed-Use Medical/Office Building – 3701 Ben Tobin Drive, Hollywood, Florida

Dear Ms. Moise:

This letter accompanies a new General Application for a PD Rezoning and requests for other approvals for a property of approximately .9 of an acre at 3701 Ben Tobin Drive, Hollywood, Florida (the "Subject Property"), to be developed with an 18,000-square foot, three-story office building that was recently recommended for approval by the Planning and Development Board.

Following the Planning and Development Board action the pending application for this office building was withdrawn because the uses requested were thought to have been better obtained through a rezoning to PD. We have agreed with that recommendation and are therefore filing this application.

The design of the office building and the site plan have not changed from what was previously approved by the Planning and Development Board.

This rezoning is being done because Tobin Properties wishes to use the proposed high-end office building for its corporate headquarters and to be able to accommodate hospital- related uses in this location adjacent to Memorial Hospital South.

We are therefore proposing that the Subject Property be rezoned to PD with "Permitted Uses" that allow the following.

1) Office uses both professional office (including medical office) and general office;

2) Medical-related uses: Research and Diagnostic Facilities; Medical Labs; Physical, Occupational and Speech Therapy Facilities; Sale and Fitting and Fabrication of Durable Medical Equipment and Prosthetic Devices; Ambulatory Surgical Centers;

3) Other medical-related and hospital related uses determined by the Director to be similar in impact to the above-described uses in accordance with Section 3.14 of the Zoning and Land Development Regulations; and

4) The permitted uses shall not be interpreted to include Pain Clinics, Social Service Facilities, Facilities providing overnight stays including but not limited to ACLFs or Shelters, or Stand-Alone Pharmacies

To allow the Subject Property to be developed in a manner that makes its development possible and viable we are requesting the following approvals.

1. Rezoning from PUD-R to Planned Development (PD).

2. Waiver from the required minimum ten (10) acres for Planned Developments.

3. Modification to reduce the required square footage of terminal island.

4. Reduce the required percentage of landscaping of the paved vehicular use area.

5. Variance to reduce the required 25' peripheral landscaped setback from all external street.

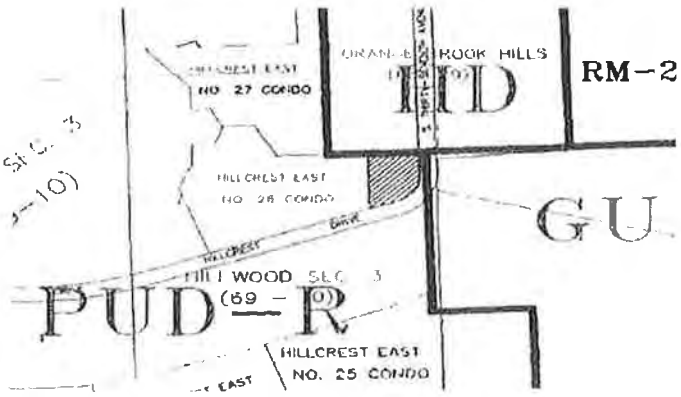
We believe the approvals, if granted, will allow for the development of the Subject Property in a manner that is both consistent with the intent of all applicable land use regulations and is compatible with the surrounding neighborhood. In fact, we believe that when the Subject Property is developed as proposed it will be an important addition to the neighborhood and to the City.

Two of the requested development approvals, the Rezoning and the Variance, are subject to criteria established by the City's Zoning and Land Development Regulations. We have outlined below this application's compliance with the criteria.

A. <u>Rezoning Request</u>:

This application requests a rezoning from PUD-R to PD. Section 5.3.K.2 .of the City's Zoning and Land Development Regulations generally describes the standards for reviewing a request for a change of zoning district as follows.

1. **The requested rezoning will not result in spot or contract zoning.** The rezoning to PD does not create spot zoning and is not contract zoning. Instead this rezoning provides a transition from the PUD-R to the HD districts. The Subject Property has since 2000 been approved as Commercial Flex to allow office uses on the property in recognition of the Subject Property's location straddling the PUD-R and HD districts (as shown highlighted below) and their established uses. The PUD-R district is a planned district for which the development is subject to a Master Plan. Likewise, the PD district is also a planned district subject to a Master Plan but the PD district provide the flexibility to allow uses consistent with the "hospital-related uses" allowed in the HD district.



In adopting a master plan with a 3-story building of 18,000 square feet the development of the Subject Property through a PD Zoning will be compatible with and, in fact, less intense than the adjacent residential uses, but still will also serve the hospital and its uses.

2. **Consistency with the Comprehensive Plan.** The requested rezoning is consistent with and furthers many of the goals, objective and policies of the City's Comprehensive Plan, including, but not limited to, Land Use Element Policy 8.1 that states, in part, "ensure that the City's population is adequately serviced by sufficient amounts of commercial with varying intensities or service areas and to ensure that the potential adverse impacts of commercial land uses on adjacent residential areas are mitigated." The proposed development of the office building will, because of its location, its limited height and square footage and attractive façade mitigate any potential adverse impacts from commercial use adjacent to the PD-R, which is developed with high-density residential uses.

3. **Change of Conditions.** Activity at Memorial South has increased due to the development of an extensive rehabilitation program at the facility. The increase in

activity has resulted in the need for additional medical and hospital related facilities in the vicinity of the hospital. The City has interpreted the PUD-R not to allow a number of the uses that could in fact be housed in the proposed office building without adverse impacts to the neighborhood. A change of zoning to a different planned district has become necessary to accommodate that need.

4. **The requested rezoning will not adversely influence living conditions in the neighborhood**. The neighborhood consists of a hospital, large expanses of parking lots and high rise residential buildings. The proposed development of a 3-story, 18,000 square foot office with medical and hospital uses will create little to no impact in the neighborhood.

5. **The requested rezoning is compatible with the developments within the same district/neighborhood.** As described in the sections above, this is a very low-intensity, low-impact use that will serve both the residential neighborhood and the hospital without adverse impacts in a very attractive building.

B. Variance Request:

This application includes a request for a 25' peripheral landscaped setback from all external streets. Given the size of the parcel and its configuration it is not possible to provide a 25' landscaped setback from the adjacent street, provide the required parking and site have a viable development. Shown below is a rendered site plan which depicts the parcel configuration, parking and landscape buffers. The Property Owner has however designed an attractive site plan that includes 4,700 square feet of pervious concrete paving and a 410-square foot living wall to compensate for the inability to provide a 25-foot landscaped setback.

1. **The requested variance maintains the basic intent and purpose of the subject regulation and does not adversely impact the stability and appearance of the City.** The 25' landscaped setback was designed for a much larger PD. In this case the property is less than an acre and a 25' landscaped setback would make it undevelopable. Nevertheless, the Subject Property will be beautifully landscaped with landscaping surrounding along the entire perimeter of the site to a depth in keeping with the size of the parcel and the building size.

2. **The requested variance is otherwise compatible with the surrounding land uses and is not detrimental to the community.**

   The property is surrounded on two sides with parking lots and on two sides by rights-of-way. Each right of way frontage has included in the right-of-way a 10-foot grassed landscaped strip and a 5-foot sidewalk. The landscape buffer on the property adjacent to those rights-of-way is 10' feet resulting in a 25' setback from the paved portion of the right-of-way. This condition is consistent with the surrounding uses and not detrimental to the community. In addition, the reconfiguration of the intersection of the two adjacent roadways has created a substantial green triangular area that further separates the property from the paved right-of-way.

3. **The requested variance is consistent with and in furtherance of many of the goals, objectives, and policies of the City's Comprehensive Plan.** The requested variance allows an attractive building to be developed on the Subject Property where compliance with the setback criteria would render the site undevelopable in any meaningful way. (see Section A.2. above).

4. **The need for the requested variance is not economically based or self-imposed.** The variance is needed due to the parcel being less than an acre in size and the requirement for a 25' landscape buffer being entirely out of proportion to the size of the parcel. In addition, because the parcel has an irregular curvilinear-shape and fronts on two rights-of- way the landscape buffer requirement becomes that much more onerous in its impact to the Subject Property

5. **The requested variance is necessary to comply with all applicable laws and is the minimum variance necessary to comply with such applicable laws.**

   The requirement to provide required parking and landscaping and have land area left for building development means that with a parcel of less than an acre, complying with a 25' landscape setback cannot be done.

Thank you for your consideration of this application and these requests.

Very truly yours.

Barbara Hall /mmk

Barbara Hall

SALTZ MICHELSON
ARCHITECTS

April 2, 2018

Deandrea Moise, Associate Planner
City of Hollywood Development Services
Planning Division | Hollywood, FL

Re: Design Criteria for
Tobin Office Building
3701 Ben Tobin Drive, Hollywood, FL

Dear Deandrea,

The architectural style for this 3-story, 18,000 SF multi-tenant office building embodies a classic Mediterranean Revival Style, which is common to many municipalities throughout South Florida. The use of sloped Spanish 'S' tile roofs, towers, decorative brackets, arches, stucco walls, medallions, trellises, banding and trim reinforces the Mediterranean Style and creates an array of building elements that are both attractive and interesting.

The main entrance is designed to be a prominent feature, highlighted by a natural copper roof that is reminiscent of the Mediterranean Style. Decorative screen walls have been incorporated at the ground level to help conceal parked cars under the building from view. The use of pastel colors allows the building façade to blend well with the surrounding neighborhood and landscape.

Towers, banding, and fenestrations help break up the massing of the building. Small window openings, keystone veneers and moldings, and decorative railings provide a human scale for pedestrians to relate to. The adjacent medical office building and hospital that are located to the north are six stories in height. In comparison, the proposed office building is only three stories in height, which again stresses the human scale.

The landscaping has been integrated with the building design to emphasize the architectural features and help screen the parking areas from the street. A 'Green Living Wall' has been introduced on the east façade to soften the building lines, similar to vines on a façade. Native trees and ground covers, such as live oaks, satin leafs, foxtail palms and triple solitaire palms are used throughout the landscape design.

Should you have any questions on the above, please feel free to contact us.

Very truly yours,
Saltz Michelson Architects

Scott Willis, RA, LEED AP
Senior Project Manager
SW:jw

3501 GRIFFIN ROAD, FORT LAUDERDALE, FL 33312-5444
(954) 266-2700 FAX: (954) 266-2701

www.saltzmichelson.com • e-mail: sma@saltzmichelson.com

AA-0002897

MARTY KIAR
BROWARD COUNTY
PROPERTY APPRAISER

Site Address	3701 HILLCREST DRIVE, HOLLYWOOD FL 33021	ID #	5142 19 27 0072
Property Owner	HARWIN-TOBIN 3701 LLC	Millage	0513
Mailing Address	1101 BEN TOBIN DR HOLLYWOOD FL 33021	Use	10

Abbreviated Legal Description	HILLWOOD SEC THREE 69-10 B POR BLK 9 DESC AS BEG NE COR BLK 9,S 95.47,SW ALG CUR 151.84,SWLY 111.23,N 242.63,ELY 190 TO POB LESS N 30 FOR RD

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment Values
Click here to see 2017 Exemptions and Taxable Values as reflected on the Nov. 1, 2017 tax bill.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2018	$273,180		$273,180	$273,180	
2017	$273,180		$273,180	$273,180	$5,706.04
2016	$273,180		$273,180	$273,180	$5,825.31

2018 Exemptions and Taxable Values by Taxing Authority

	County	School Board	Municipal	Independent
Just Value	$273,180	$273,180	$273,180	$273,180
Portability	0	0	0	0
Assessed/SOH	$273,180	$273,180	$273,180	$273,180
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	$273,180	$273,180	$273,180	$273,180

Sales History

Date	Type	Price	Book/Page or CIN
7/15/2008	SWD-T	$100	45526 / 1058
9/29/1995	SWD	$5,400	24139 / 251
12/1/1986	D		14026 / 115

Land Calculations

Price	Factor	Type
$7.00	39,025	SF
Adj. Bldg. S.F.		

Special Assessments

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
L								
1								

Holland Engineering, Inc.
3900 Hollywood Blvd., Suite 303
Hollywood, FL 33021

March 26, 2018

FIRE FLOW CALCULATIONS
Tobin Building
A Three Story Commercial Building
3701 Hillcrest Drive, Hollywood

These calculations are for a three (3) story commercial building, with a total ground floor square footage of 1,120 SF. The entire building is non-combustible construction.

Fire Flow Area = 18,000 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total floor area of all floor levels. The total square footage of the three floors is 18,000 square feet.

Per Table 18.4.5.2.1, the fire flow requirement is 1,500 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

1,500 gpm X 75% = 1,125 gpm (fire flow credit)

1,500 gpm – 1,125 gpm = 375 gpm

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm

Prepared by:

_____

Susan C. Holland, P.E.
Lic. No. 41831

Tel (954) 367-0371 • Fax (954) 367-0372 • Email susan@hollandengineering.net

Google

S 37th Ave
Google

S 37th Ave
Google

Google

Google

A New Generation

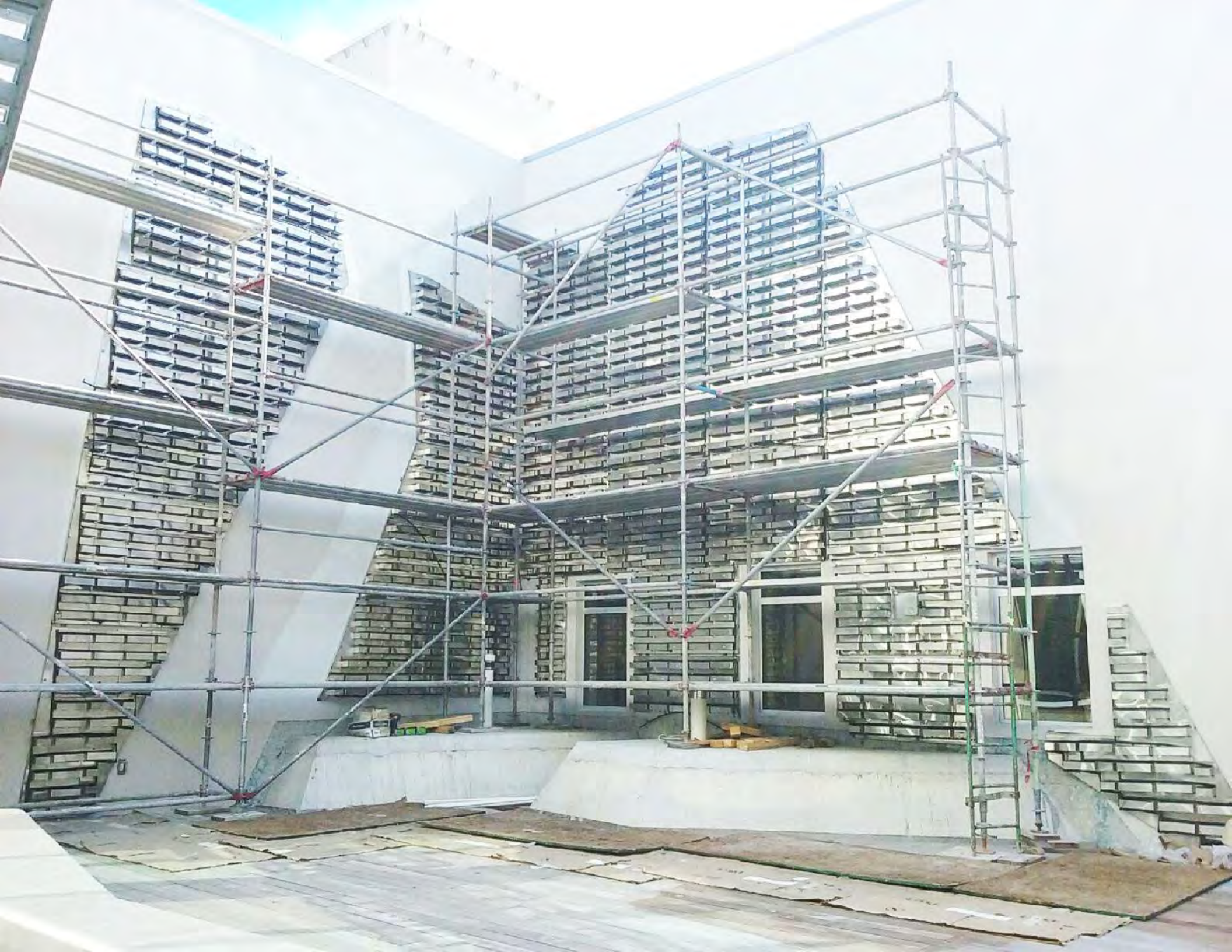
"Green Living"

Get At The Forefront of The Future of Green Building

ANDROMEDA DISTRICT

www.andromedadistrict.com

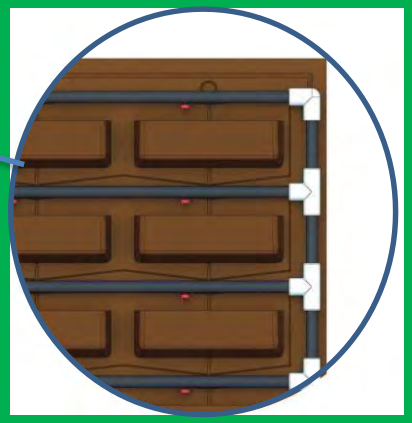
Our mission is to offer first class expertise in the manufacturing and installation of Eco Green Living Walls Systems. All the while promoting sustainability between humanity and the natural environment.



System's Main Features

1. Easy 3 step Installation
2. Automatic programed Irrigation
3. Waterproofed fiber glass Panels
4. Excellent for both Indoor And Outdoor applications

Automatic Irrigation System



DRIP IRRIGATION
TO EACH MODULE

HYDRAULIC PUMP

VALVE

FILTER

WATER SUPPLY

www.andromedadistrict.com

All Plants Are Handpicked From Our Local Nursery

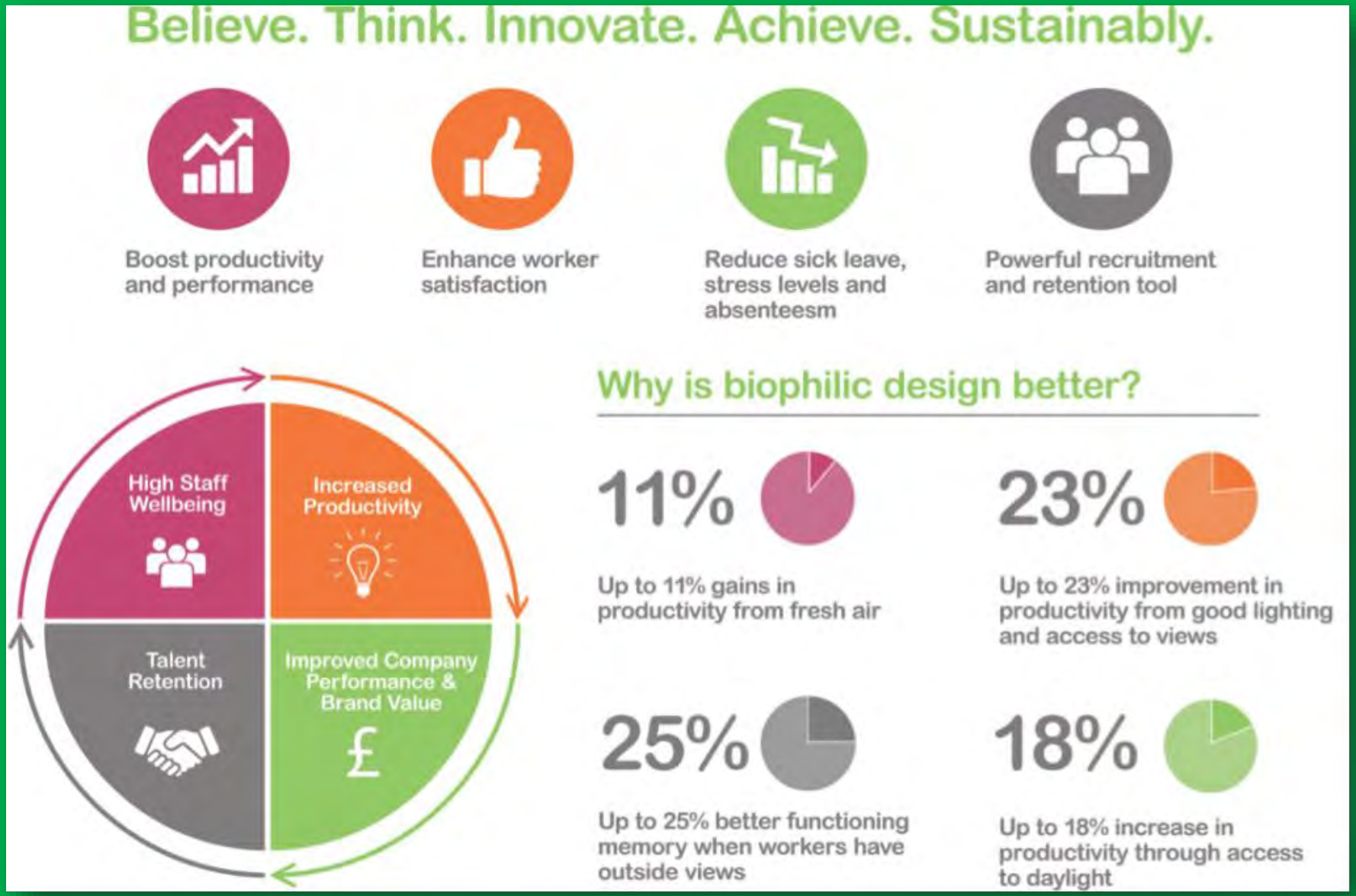
Multiple-Planting Layouts

LEED CERTIFICATION CREDITS AND SOLID R.O.I. FOR ALL APPLICATIONS.

www.andromedadistrict.com

The Return of Investment FOR ALL APPLICATIONS

- A single Green Living Wall can clean as much urban air as 275 trees!
- Green Living Walls improve property value? Up to a 35% increase in value!



www.andromedadistrict.com

Why Is Biophilic Design Relevant Today?

The World Health Organization expects stress related illness, such as mental health disorders and cardio-vascular disease, to be the two largest contributors to disease by 2020. With a diminished connection to nature, the increasing pressure on urban space we have less opportunity to recuperate our mental and physical energy.

Incorporating direct or indirect elements of nature into the built environment have been demonstrated through research to reduce stress, blood pressure levels and heart rates, while increasing productivity, creativity and self reported rates of well-being.

Biophilia Benefits

- Exposure to nature could be used as a way to minimize symptoms of ADD and ADHD in children. This could result in reduced consumption of ADD and ADHD medication. **A 10% reduction in spending on this medication amounts to around $228 million annually in savings** to American families.

Biophilia Benefits

- **Biophilic landscapes reduce crime.** Biophilic landscapes throughout the city could save New York **$1.7 billion** in incarceration costs.

Another pivotal study exploring the relationship between vegetation and crime on a public housing development in Chicago, was conducted by Kuo and Sullivan in 2011. Amazingly, findings from their study revealed that 7 to 8% of all violent and property-related crimes correlated with minimal proximity to vegetation, demonstrating the potentially life changing impacts of plant life on reducing criminal behavior and violence.

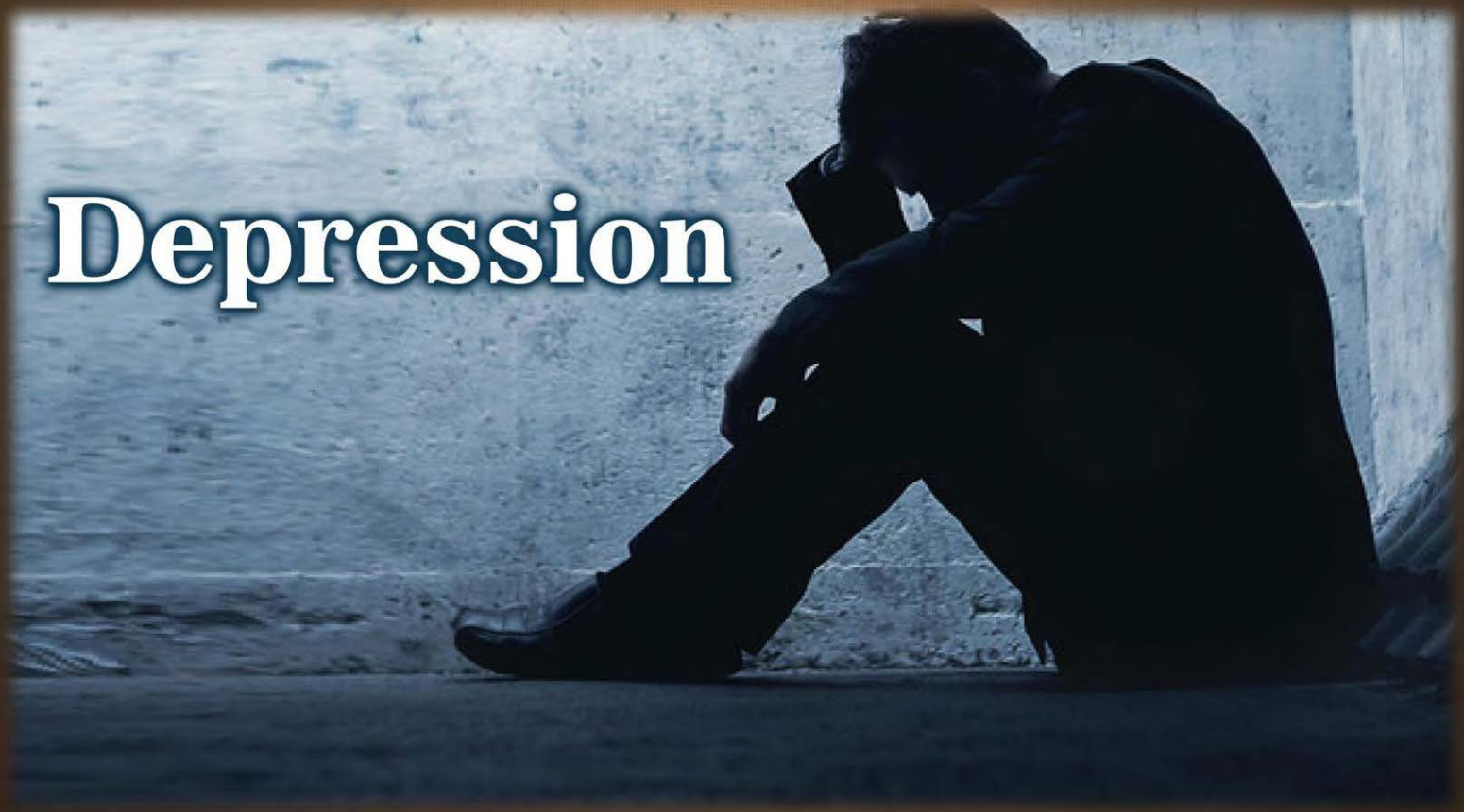
Biophilia Benefits

The Effects On The Memory

- Students at the University of Michigan were given a brief memory test, then divided into two groups. One group took a walk around an arboretum and the other half took a walk down a city street. When the participants returned and did the test again, those who had walked among trees did almost 20% percent better than the first time. The ones who had taken in city sights instead did not consistently improve.

Biophilia Benefits

- One study found that walks in the forest were specifically associated with decreased levels of anxiety and bad moods, and another found that outdoor walks could be "useful clinically as a supplement to existing treatments" for major depressive disorder.



Benefits of Green Walls

Maintenance & Care Options

1. Per Month
2. Per Visit

www.andromedadistrict.com

1 AERIAL

2 GENERAL INFORMATION

SITE ADDRESS	3701 BEN TOBIN DRIVE, HOLLYWOOD, FL 33021
PROPERTY OWNER	HARWIN-TOBIN 3701, LLC.
MAILING ADDRESS	1101 BEN TOBIN DRIVE, HOLLYWOOD, FL 33021
LOT SIZE	39,029 SF NET (0.896 ACRES) FOLIO: 5142-19-27-0072

MASTER DEVELOPMENT PLAN

LEGAL DESCRIPTION	A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 9, RUN SOUTH 00 DEGREES 18 MINUTES 53 SECONDS WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH 37TH AVENUE, 95.47 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A 120.00 FOOT RADIUS CURE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 75 DEGREES 30 MINUTES 00 SECONDS, AN ARC DISTANCE OF 151.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 72 DEGREES 48 MINUTES 53 SECONDS WEST, 111.23 FEET; THENCE NORTH 00 DEGREES 18 MINUTES 53 SECONDS EAST 242.63 FEET TO A POINT ON THE NORTH LINE OF SAID BLOCK 9; THENCE SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 190.00 FEET TO THE POINT OF BEGINNING. CONTAINING 39,029 SQUARE FEET (0.896 ACRES)

DESCRIPTION	VALUE
CURRENT ZONING	PUD-R
CURRENT LAND USE	COMFLEX
PROPOSED ZONING	PD (PLANNED DEVELOPMENT)
CURRENT USE	VACANT
PROPOSED USE	1. OFFICE USES BOTH PROFESSIONAL OFFICE (INCLUDING MEDICAL OFFICE) AND GENERAL OFFICE; 2. MEDICAL-RELATED USES: RESEARCH AND DIAGNOSTIC FACILITIES; MEDICAL LABS; PHYSICAL, OCCUPATIONAL AND SPEECH THERAPY FACILITIES; SALE AND FITTING AND FABRICATION OF DURABLE MEDICAL EQUIPMENT AND PROSTHETIC DEVICES; AMBULATORY SURGICAL CENTERS; 3. OTHER MEDICAL-RELATED AND HOSPITAL RELATED USES DETERMINED BY THE DIRECTOR TO BE SIMILAR IN IMPACT TO THE ABOVE-DESCRIBED USES IN ACCORDANCE WITH SECTION 3.14 OF THE ZONING AND LAND DEVELOPMENT REGULATIONS; AND 4. THE PERMITTED USES SHALL NOT BE INTERPRETED TO INCLUDE PAIN CLINICS, SOCIAL SERVICE FACILITIES, FACILITIES PROVIDING OVERNIGHT STAYS INCLUDING BUT NOT LIMITED TO ACLFS OR SHELTERS, OR STAND-ALONE PHARMACIES.
NET LOT AREA	39,029 SF OR 0.896 ACRES
TOTAL BUILDING FOOTPRINT	9,306 SF (31% OF SITE AREA)
TOTAL VEHICULAR USE AREA	17,379 SF (59% OF SITE AREA)
VUA LANDSCAPE AREA	25% OF 17,379 SF = 4,345 SF REQUIRED 1,669 SF PROVIDED (EXCLUDES LANDSCAPE BUFFERS) (10% OF VUA)
TOTAL IMPERVIOUS AREA	29,781 SF - 4,700 SF OF PERVIOUS CONCRETE = 25,081 SF (64% OF SITE AREA)
TOTAL PERVIOUS AREA	10% OF 39,029 SF = 3,902 SF REQUIRED TOTAL LANDSCAPE AREA PROVIDED: 9,248 SF (24% OF SITE AREA) PERVIOUS CONCRETE PROVIDED: 4,700 SF (12% OF SITE AREA) TOTAL PERVIOUS AREA: 13,948 SF (36% OF SITE AREA)
TOTAL BUILDING AREA	1ST FLOOR AREA COMMON AREA: 482 S.F. OFFICE AREA: 0 S.F. VERTICAL CIRCULATION: 557 S.F. TOTAL: 1,039 S.F. 2ND FLOOR AREA COMMON AREA: 434 S.F. OFFICE AREA: 7,837 S.F. VERTICAL CIRCULATION: 310 S.F. TOTAL: 8,581 S.F. 2ND FLOOR TERRACE 725 S.F. 3RD FLOOR AREA COMMON AREA: 0 S.F. OFFICE AREA: 8,114 S.F. VERTICAL CIRCULATION: 235 S.F. TOTAL: 8,349 S.F. 3RD FLOOR TERRACE 1,166 S.F. TOTAL FLOOR AREA: 18,000 S.F. *NOTE: TERRACES NOT INCLUDED IN TOTAL FLOOR AREA.*

3 SETBACKS

DESCRIPTION	VALUE
REQUIRED	NONE
PROPOSED	FRONT (S.E. SIDE) = 58'-0" EAST SIDE = 75'-5" WEST SIDE = 10'-0" REAR (NORTH SIDE) = 10'-0"

4 HEIGHTS

DESCRIPTION	VALUE
MAXIMUM ALLOWED	UNLIMITED
PROPOSED	HIGHEST POINT OF THE BUILDING (TOP OF THE TOWER ON ROOF = 74'-4") BUILDING IS THREE STORIES 50'-0" TO BUILDING ROOF LINE

5 PARKING

DESCRIPTION	VALUE
REQUIRED FOR OFFICE USE	18,000 SF / 250 SF PER CAR = 72 SPACES
PROVIDED	72 SPACES (3 H.C. SPACES) NOTE: STANDARD PARKING SPACES ARE 8'-6" X 19'-0"

6 PROJECT SUMMARY

SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS & WAIVERS			
RE-ZONING	FROM PUD-R TO PLANNED DEVELOPMENT		
WAIVER	ACREAGE REQUIREMENT FOR PD		
	REQUIRED	PROVIDED	
	10 ACRES	0.896 ACRES	
MODIFICATION	REDUCE SQUARE FOOTAGE OF TERMINAL ISLANDS	REQUIRED	PROVIDED
		190 SF	95 SF MIN.
	REDUCE REQUIRED PERCENTAGE OF LANDSCAPE FOR VUA	REQUIRED	PROVIDED
		25%	10%
VARIANCE	25 FT PERIPHERAL LANDSCAPE BUFFER	REQUIRED	PROVIDED
		25'-0"	10'-0"

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : ZH
Checked By : SW
Date: 02/13/2019

REVISIONS

2/19/2018 2:31:29 PM C:\USERS\ZHAMID\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_ZHAMID.RVT

SP1

TOBIN OFFICE BUILDING

3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

PROJECT TEAM

OWNER:

HARWIN-TOBIN 3701, LLC.
1101 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021
TELEPHONE: (954) 989-3000

LANDSCAPE ARCHITECT:

DAVE BODKER LANDCAPE ARCHITECTURE / PLANNING, INC.
601 N. CONGRESS AVE,
SUITE 105-A
DELRAY BEACH, FL 33445
TELEPHONE: (561) 276-6311

ARCHITECT:

SALTZ MICHELSON ARCHITECTS
3501 GRIFFIN ROAD
FORT LAUDERDALE, FL 33312
TELEPHONE: (954) 266-2700

CIVIL ENGINEER:

HOLLAND ENGINEERING, INC.
3900 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33021
TELEPHONE: (954) 367-0371

INDEX OF DRAWINGS

ARCHITECTURE

T1	COVER SHEET
1	SURVEY
SP1	SITE PLAN
A1.1	GROUND FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS

LANDSCAPE

L-1	LANDSCAPE PLAN
L-2	LANDSCAPE SPECS & NOTES
L-3	VUA CALCS

CIVIL

C-1	PAVING AND DRAINAGE PLAN
C-2	WATER AND SEWER PLAN
C-3	PAVEMENT MARKING AND SIGNAGE PLAN
C-4	STORMWATER POLLUTION PREVENTION PLAN
C5	CIVIL DETAILS

COLOR BOARD ATTACHED FOR REFERENCE

MEETINGS SCHEDULE

TYPE	DATE
PACO	01-22-2018
PRELIMINARY TAC	03-05-2018
FINAL TAC	04-16-2018

SITE LOCATION MAP

SITE ADDRESS:
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

NORTH

1 / T1 **SITE LOCATION MAP**
N.T.S.

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182

Drawn By :
YD, ZH

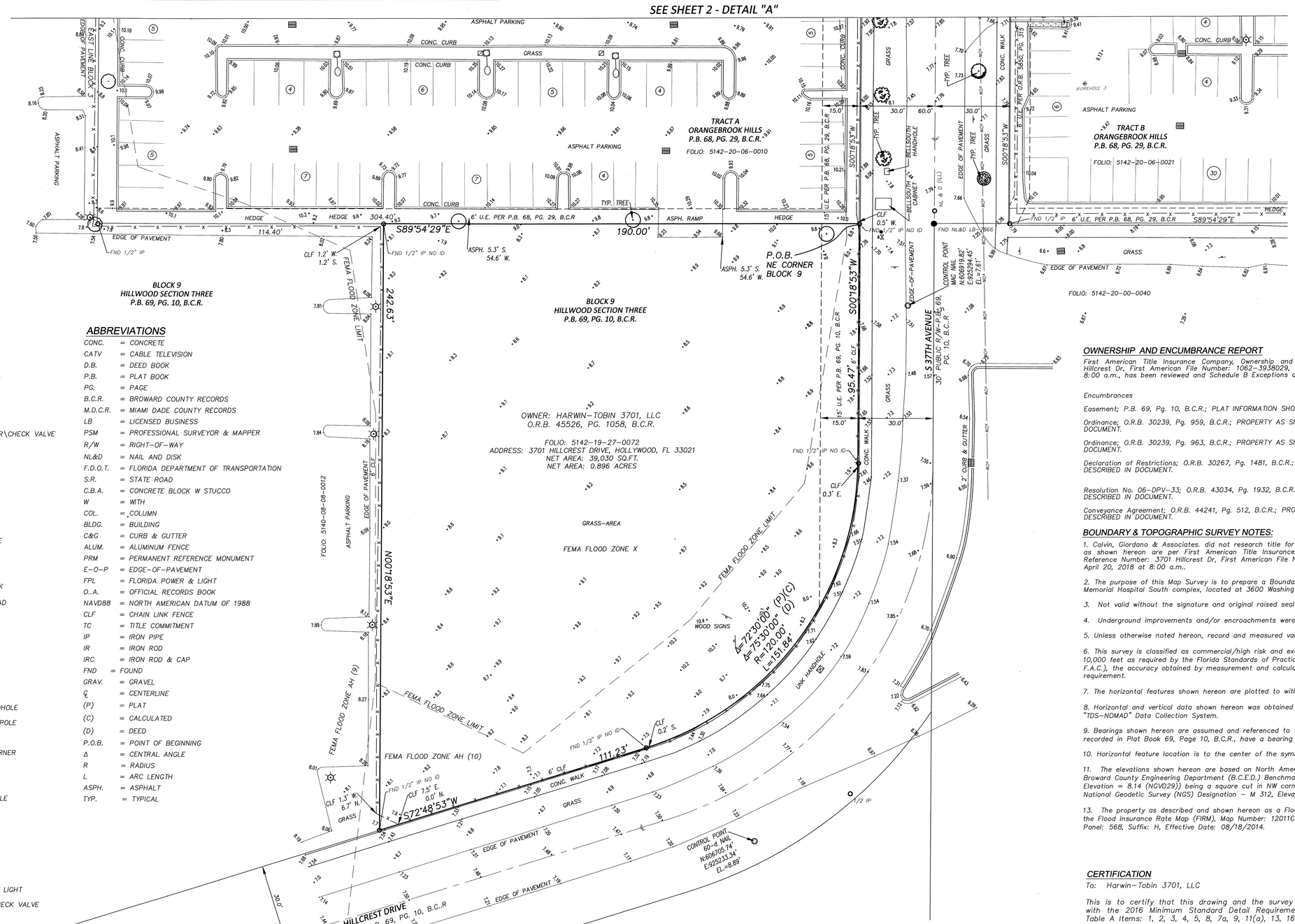
Checked By :
SW

Date:
04/02/2018

REVISIONS

12/14/2018 2:33:26 PM C:\USERS\YDAVIS\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_YDAVIS.RVT

T1



SYMBOL LEGEND

- = SIGN
- = WATER VALVE
- = GAS VALVE
- = IRRIGATION VALVE
- = FIRE HYDRANT
- = WATER METER
- = BACKFLOW PREVENTOR\CHECK VALVE
- = ELECTRIC HANDHOLE
- = WOOD POST
- = SANITARY MANHOLE
- = TRASH CAN
- = WOOD POWER POLE
- = CATCH BASIN
- = TELEPHONE HANDHOLE
- = BOLLARD
- = GAS METER
- = ELECTRIC METER\RACK
- = FPL TRANSFORMER PAD
- = GUY ANCHOR
- = PARKING METER
- = DRAINAGE MANHOLE
- = FLAG POLE
- = MAST ARM
- = BBQ GRILL
- = TRAFFIC SIGNAL HANDHOLE
- = CROSS WALK SIGNAL POLE
- = COLUMN
- = FOUND PROPERTY CORNER
- = CONC. POWER POLE
- = SANITARY VALVE
- = GREASE TRAP\MANHOLE
- = FIBER OPTIC
- = LAMP POST
- = CLEANOUT
- = FENCE
- = OVERHEAD ELECTRIC
- = WOOD POWER POLE W LIGHT
- = DOUBLE DETECTOR CHECK VALVE

ABBREVIATIONS

CONC.	= CONCRETE
CATV	= CABLE TELEVISION
D.B.	= DEED BOOK
P.B.	= PLAT BOOK
PG.	= PAGE
B.C.R.	= BROWARD COUNTY RECORDS
M.D.C.R.	= MIAMI DADE COUNTY RECORDS
LB	= LICENSED BUSINESS
PSM	= PROFESSIONAL SURVEYOR & MAPPER
R/W	= RIGHT-OF-WAY
NL&D	= NAIL AND DISK
F.D.O.T.	= FLORIDA DEPARTMENT OF TRANSPORTATION
S.R.	= STATE ROAD
C.B.A.	= CONCRETE BLOCK W STUCCO
W	= WITH
COL.	= COLUMN
BLDG.	= BUILDING
C&G	= CURB & GUTTER
ALUM.	= ALUMINUM FENCE
PRM	= PERMANENT REFERENCE MONUMENT
E-O-P	= EDGE-OF-PAVEMENT
FPL	= FLORIDA POWER & LIGHT
O..A.	= OFFICIAL RECORDS BOOK
NAVD88	= NORTH AMERICAN DATUM OF 1988
CLF	= CHAIN LINK FENCE
TC	= TITLE COMMITMENT
IP	= IRON PIPE
IR	= IRON ROD
IRC	= IRON ROD & CAP
FND	= FOUND
GRAV.	= GRAVEL
℄	= CENTERLINE
(P)	= PLAT
(C)	= CALCULATED
(D)	= DEED
P.O.B.	= POINT OF BEGINNING
Δ	= CENTRAL ANGLE
R	= RADIUS
L	= ARC LENGTH
ASPH.	= ASPHALT
TYP.	= TYPICAL

OWNERSHIP AND ENCUMBRANCE REPORT

First American Title Insurance Company, Ownership and Encumbrance Report, Customer Reference Number: 3701 Hillcrest Dr, First American File Number: 1062-3938029, Searched from: August 6, 1969 through April 20, 2018 at 8:00 a.m., has been reviewed and Schedule B Exceptions as they pertain to survey matters are as follows:

Encumbrances

Easement; P.B. 69, Pg. 10, B.C.R.; PLAT INFORMATION SHOWN HEREON INCLUDING 15 FT UTILITY EASEMENT.

Ordinance; O.R.B. 30239, Pg. 959, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Ordinance; O.R.B. 30239, Pg. 963, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Declaration of Restrictions; O.R.B. 30267, Pg. 1481, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Resolution No. 06-DPV-33; O.R.B. 43034, Pg. 1932, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Conveyance Agreement; O.R.B. 44241, Pg. 512, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

BOUNDARY & TOPOGRAPHIC SURVEY NOTES:

1. Calvin, Giordano & Associates. did not research title for this property and the plats, rights-of-way, and easements as shown hereon are per First American Title Insurance Company, Ownership and Encumbrance Report, Customer Reference Number: 3701 Hillcrest Dr, First American File Number: 1062-3938029, Searched from: August 6, 1969 to April 20, 2018 at 8:00 a.m..

2. The purpose of this Map Survey is to prepare a Boundary and Topographic Survey of a portion of the Regional Memorial Hospital South complex, located at 3600 Washington Street, Hollywood Florida, 33021.

3. Not valid without the signature and original raised seal of a Florida Professional Surveyor & Mapper.

4. Underground improvements and/or encroachments were not located as part of this survey task.

5. Unless otherwise noted hereon, record and measured values are in substantial agreement.

6. This survey is classified as commercial/high risk and exceeds the minimum relative distance accuracy of 1 foot in 10,000 feet as required by the Florida Standards of Practice requirements (Chapter 5J-17.050 through 5J-17.052 F.A.C.), the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.

7. The horizontal features shown hereon are plotted to within 1/20 of the map scale.

8. Horizontal and vertical data shown hereon was obtained utilizing a "TOPCON ES-105" Total Station and "TDS-NOMAD" Data Collection System.

9. Bearings shown hereon are assumed and referenced to the East line of Block 9, HILLWOOD SECTION THREE, as recorded in Plat Book 69, Page 10, B.C.R., have a bearing of S 00°18'53" W.

10. Horizontal feature location is to the center of the symbol and may be enlarged for clarity.

11. The elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD88) and referenced to Broward County Engineering Department (B.C.E.D.) Benchmark No. 1433., Elevation = 6.54' (NAVD88) (Published as Elevation = 8.14 (NGVD29)) being a square cut in NW corner of concrete sidewalk at #2550 Park Road, and to National Geodetic Survey (NGS) Designation - M 312, Elevation= 13.44' (NAVD88).

13. The property as described and shown hereon as a Flood Zone designation of Zone AH (EL10) and Zone X, per the Flood Insurance Rate Map (FIRM), Map Number: 12011C0568H, Community Number: City of Hollywood 125113, Panel: 568, Suffix: H, Effective Date: 08/18/2014.

LEGAL DESCRIPTION: O.R.B. 45526, PG. 1058, B.C.R.

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 9, RUN SOUTH 00 DEGREES 18 MINUTES 53 SECONDS WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH 37TH AVENUE, 95.47 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A 120.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 75 DEGREES 30 MINUTES 00 SECONDS, AN ARC DISTANCE OF 151.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 72 DEGREES 48 MINUTES 53 SECONDS WEST, 111.23 FEET; THENCE NORTH 00 DEGREES 18 MINUTES 53 SECONDS EAST 242.63 FEET TO A POINT ON THE NORTH LINE OF SAID BLOCK 9; THENCE SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 190.00 FEET TO THE POINT OF BEGINNING. CONTAINING 39,030 SQUARE FEET (0.896 ACRES).

CERTIFICATION

To: Harwin-Tobin 3701, LLC

This is to certify that this drawing and the survey on which it is based upon were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, and includes Table A Items: 1, 2, 3, 4, 5, 8, 7a, 9, 11(a), 13, 16.

I, Steven M. Watts, do hereby state that this Map of Boundary and Topographic Survey was done under my direct supervision and is accurate to the best of my knowledge and belief. I further state that this Map of Boundary and Topographic Survey was completed in accordance with the Standards of Practice requirements for Surveying and Mapping in the State of Florida as stated in Rule 5J-17 of the Florida Administrative Code, pursuant to Florida Statutes Chapter 472.027.

Last Date of Field Survey: March 13, 2018

CALVIN, GIORDANO & ASSOCIATES, INC.

Signature

Steven M. Watts, PSM
Professional Surveyor and Mapper
Florida Registration No. 4588

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY
1	3/27/18	CHANGE SIGNATURE	MMM				
2	3/28/18	SQUARE FEET / ACREAGE	MMM				
3	5/01/18	UPDATE WITH NEW O&E REPORT	SMW				

DESIGNED DATE
DRAWN 03/15/2018 PD
CHECKED 03/15/2018 SMW

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
Phone: 954.921.7781 • Fax: 954.921.8807
Certificate of Authorization 6791

3701 HILLCREST DRIVE
HOLLYWOOD, FL

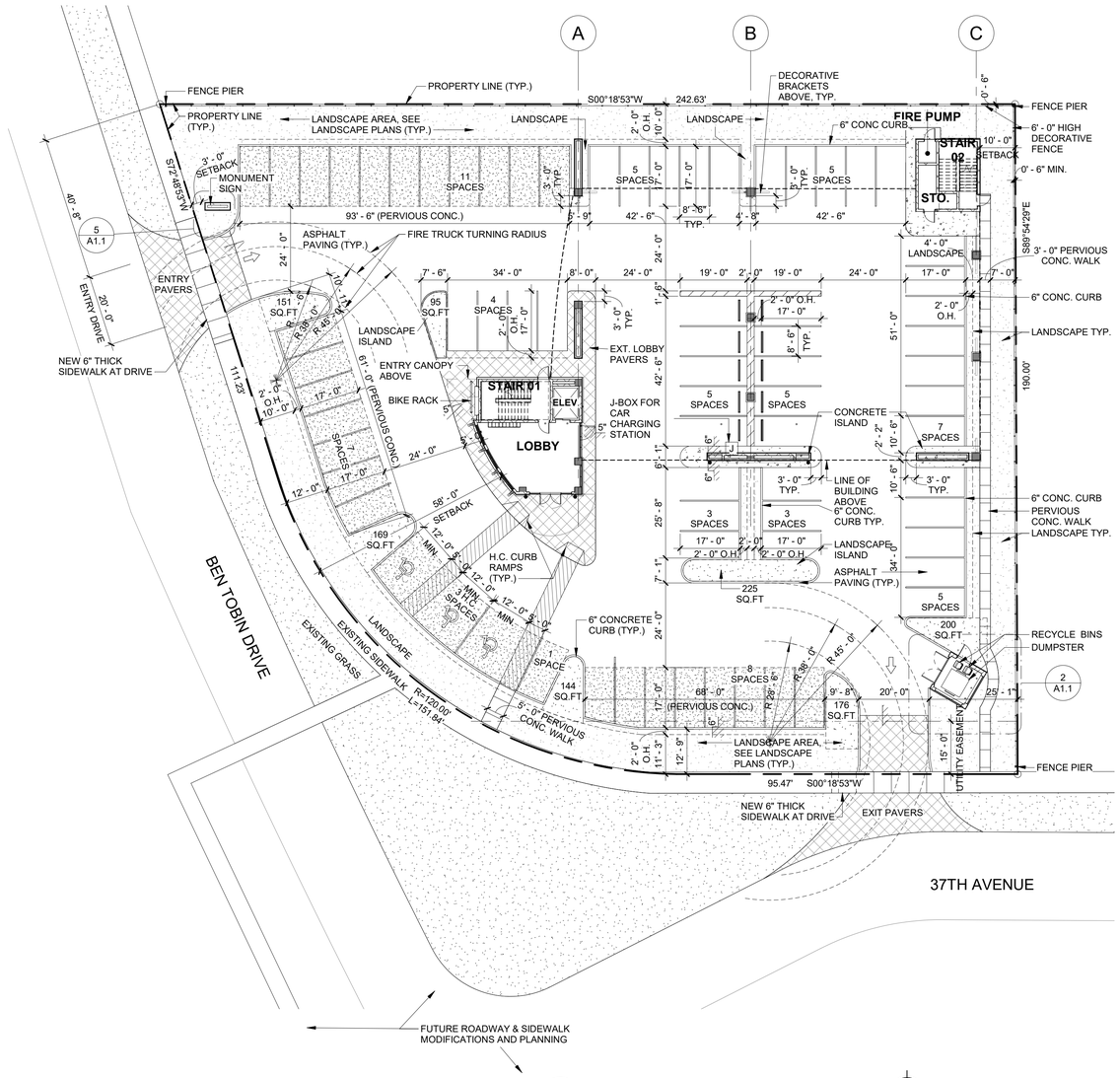
ALTA/NSPA LAND TITLE SURVEY
BOUNDARY & TOPOGRAPHIC SURVEY
TOBIN CONSTRUCTION GROUP, INC.

SEAL
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER
STEVEN M. WATTS
PSM NO. 4588

SCALE 1"= 20'
PROJECT No 16-9004.1
FIELD BOOK 791 & 904B

SHEET: 1 OF 2

File Name: P:\Projects\2016\169004 Memorial Hospital South\Survey\SKETCH\16-9004.1-V-TS-3701 Hillcrest Drive-Tobin.dwg - (Plotted by: Steve Watts on Wednesday, May 2, 2018 7:37:55 AM)



1 SP1 **Site Plan**
1" = 20'-0"

SITE DATA

CURRENT ZONING:
PUD-R

CURRENT LAND USE:
COMFLEX

OCCUPANCY:
BUSINESS (GROUP B) OFFICES

CONSTRUCTION TYPE:
TYPE II B

NET LOT AREA:
39,029 S.F. OR 0.896 ACRES

FLOOR AREA:

1ST FLOOR AREA		
COMMON AREA:	482	S.F.
OFFICE AREA:	0	S.F.
VERTICAL CIRCULATION:	557	S.F.
TOTAL:	1,039	S.F.
2ND FLOOR AREA		
COMMON AREA:	434	S.F.
OFFICE AREA:	7,837	S.F.
VERTICAL CIRCULATION:	310	S.F.
TOTAL:	8,581	S.F.
2ND FLOOR TERRACE:	*725*	*S.F.*
3RD FLOOR AREA		
COMMON AREA:	0	S.F.
OFFICE AREA:	8,114	S.F.
VERTICAL CIRCULATION:	235	S.F.
TOTAL:	8,349	S.F.
3RD FLOOR TERRACE:	*1,166*	*S.F.*
TOTAL FLOOR AREA:	18,000	S.F.

NOTE:
TERRACES NOT INCLUDED IN TOTAL FLOOR AREA

BUILDING SETBACKS
REQUIRED:
NONE

PROPOSED:
FRONT (S.E. SIDE)= 58'-0"
EAST SIDE = 75'-5"
WEST SIDE = 10'-0"
REAR (NORTH SIDE) = 10'-0"

BUILDING HEIGHT
MAXIMUM ALLOWED:
UNLIMITED

PROPOSED:
HIGHEST POINT OF THE BUILDING
(TOP OF TOWER ON ROOF = 74'-4")
BUILDING IS THREE STORIES
50'-0" TO BUILDING ROOF LINE.

PARKING
REQUIRED:
18,000 S.F. / 250 S.F. / CARS = 72 SPACES

PROVIDED:
72 SPACES (3 H.C. SPACES)

NOTE: STANDARD PARKING SPACES ARE 8' - 6" X 19' - 0"

IMPERVIOUS AREA
25,081 S.F.
(64% OF SITE AREA)

PERVIOUS AREA
REQUIRED:
10% MINIMUM PERVIOUS AREA REQUIRED: 3,903 S.F.
LANDSCAPE AREA PROVIDED: 9,248 S.F.
PERVIOUS CONCRETE: 4,700 S.F.
(36% OF SITE AREA)
REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

REFER TO LANDSCAPE DRAWINGS FOR VUA CALCULATIONS

GREEN BUILDING INITIATIVES

A. Central air conditioner of 18 SEER or higher.
B. Radiant barrier – Energy Star qualified – applied to attic or crawlspace.
C. Energy efficient (Low e) windows. All windows shall conform to the Energy Star rating criteria for South Florida as approved by the NFRC (National Fenestration Rating Council).
D. Energy efficient doors. All doors shall conform to the Energy Star rating criteria for South Florida.
E. Energy Star approved roofing materials.
F. Programmable thermostats.
G. Occupancy/vacancy sensors.
H. Dual flush toilets. These toilets when flushed use less than one gallon to flush liquid and 1.6 gallons or less for solids (USGBC). Plans shall indicate dual flush toilet. System must be verified by plumbing inspector at final inspection.
I. All energy-efficient outdoor lighting. Suggested lights for outdoor spaces include fluorescent bulbs and fixtures with electronic ballasts (more efficient than magnetic types), low pressure sodium or mercury vapor, photovoltaic systems, LED lighting and low voltage landscape lights that run on a timer. All energy-efficient outdoor lighting shall be verified by electrical inspector at final inspection.
J. Tankless water heater in lieu of a standard tank water heater. Documentation of energy savings must be provided. Product approvals should be provided with plans and shall indicate total energy demand. Tankless water heater shall be shown on plans and shall pass all required inspections.
K. Electric vehicle-charging-station infrastructure.

SUMMARY OF REQUESTS - VARIANCES, MODIFICATIONS, AND WAIVERS

RE-ZONING	FROM PUD-R TO PLANNED DEVELOPMENT	
WAIVER	ACREAGE REQUIREMENT FOR PD	
	REQUIRED	PROVIDED
	10 ACRES	0.896 ACRES
MODIFICATIONS	REDUCE SQUAREFOOTAGE OF TERMINAL ISLANDS	
	REQUIRED	PROVIDED
	190 SQ.FT	95 SQ.FT MIN.
	REDUCE REQUIRED PERCENTAGE OF LANDSCAPE FOR VUA	
	REQUIRED	PROVIDED
	25%	10%
VARIANCE	25 FEET PERIPHERAL LANDCAPE BUFFER	
	REQUIRED	PROVIDED
	25' - 0"	10' - 0"

LEGAL DESCRIPTION

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 9, RUN SOUTH 00 DEGREES 18 MINUTES 53 SECONDS WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH 37TH AVENUE, 95.47 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A 120.00 FOOT RADIUS CURE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 75 DEGREES 30 MINUTES 00 SECONDS, AN ARC DISTANCE OF 151.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 72 DEGREES 48 MINUTES 53 SECONDS WEST, 111.23 FEET; THENCE NORTH 00 DEGREES 18 MINUTES 53 SECONDS EAST 242.63 FEET TO A POINT ON THE NORTH LINE OF SAID BLOCK 9; THENCE SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 190.00 FEET TO THE POINT OF BEGINNING. CONTAINING 39,029 SQUARE FEET (0.896 ACRES)

GENERAL NOTES

1. BUILDING WILL BE PROVIDED WITH A BI-DIRECTIONAL AMPLIFIER (BDA).
2. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE 1 F.C. AND 0.5 F.C. ADJACAENT TO RESIDENTIAL PROPERTIES.
3. ALL SIGNANGE SHALL COMPLY WITH ZONING AND LAND USE DEVELOPMENT REGULATIONS
4. 2' - 0" CAR OVERHANG IS NOT INCLUDED IN THE PREVIOUS AREA PERENTAGE
5. THRESHOLD FOR OFFICE BUILDING DEVELOPMENT:
   - 18,000 SQ.FT MAX. LEASABLE AREA FOR PROFESSIONAL OFFICES
   - PARKING PERARTICEL 7 FOR PROFESSIONAL OFFICES

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

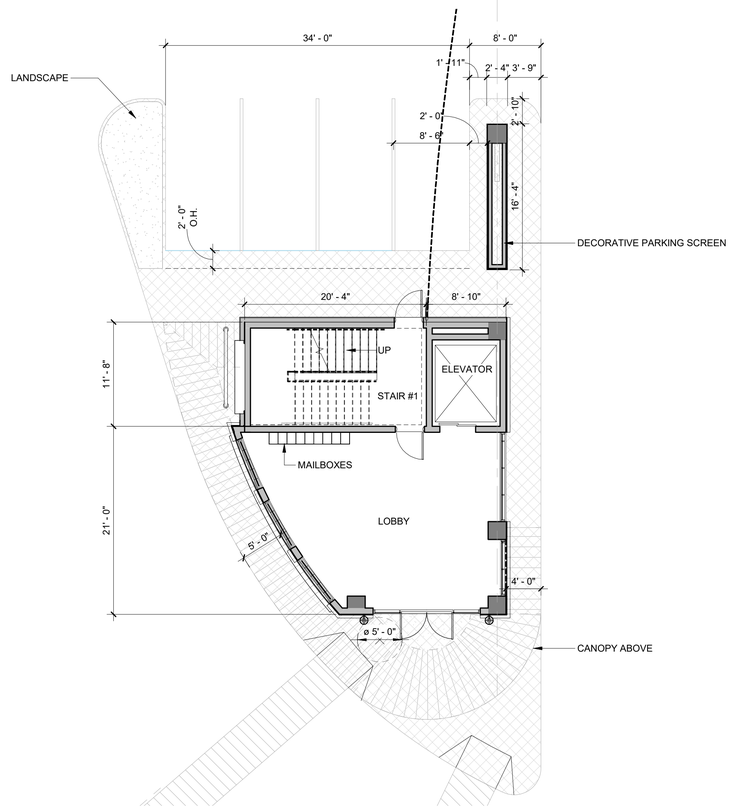
Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : YD, ZH
Checked By : SW
Date: 04/02/2018

REVISIONS

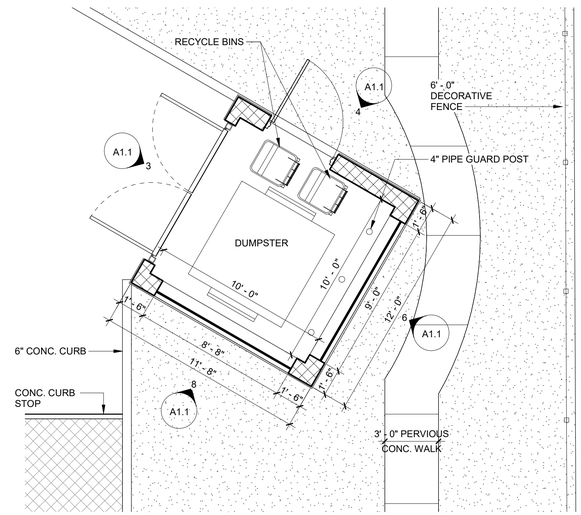
1/10/2019 2:26:49 PM C:\USERS\YDAVIS\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_YDAVIS.RVT

SP1



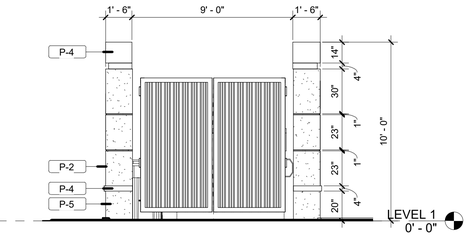
1 A1.1 **GROUND FLOOR PLAN**
1/8" = 1'-0"

NORTH

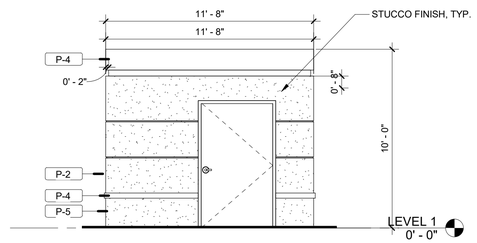


2 A1.1 **Site Plan-Dumpster Enlarged Plan**
1/4" = 1'-0"

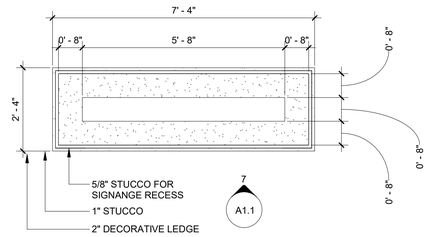
NORTH



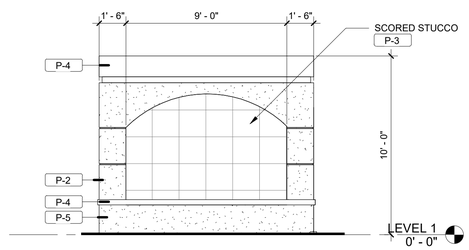
3 A1.1 **DUMPSTER 01 - GATE**
1/4" = 1'-0"



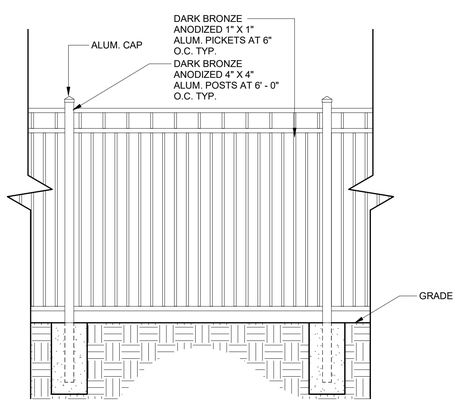
4 A1.1 **DUMPSTER 02 - SIDE**
1/4" = 1'-0"



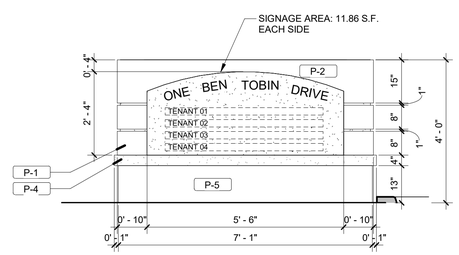
5 A1.1 **MONUMENT SIGN, TYP.**
1/2" = 1'-0"



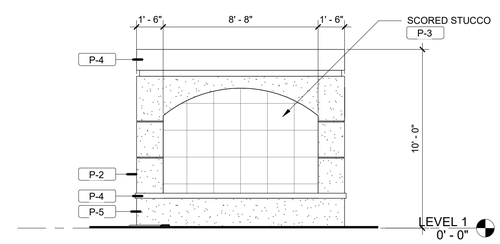
6 A1.1 **DUMPSTER 03 - REAR**
1/4" = 1'-0"



9 A1.1 **PERIMETER FENCE**
1/2" = 1'-0"



7 A1.1 **MONUMENT SIGN**
1/2" = 1'-0"



8 A1.1 **DUMPSTER 04 - SIDE**
1/4" = 1'-0"

COLOR LEGEND

SYMBOL	FINSIH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
B-1	BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RAILINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH

NOTE: REFER TO COLOR BOARD FOR PAINT COLORS

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

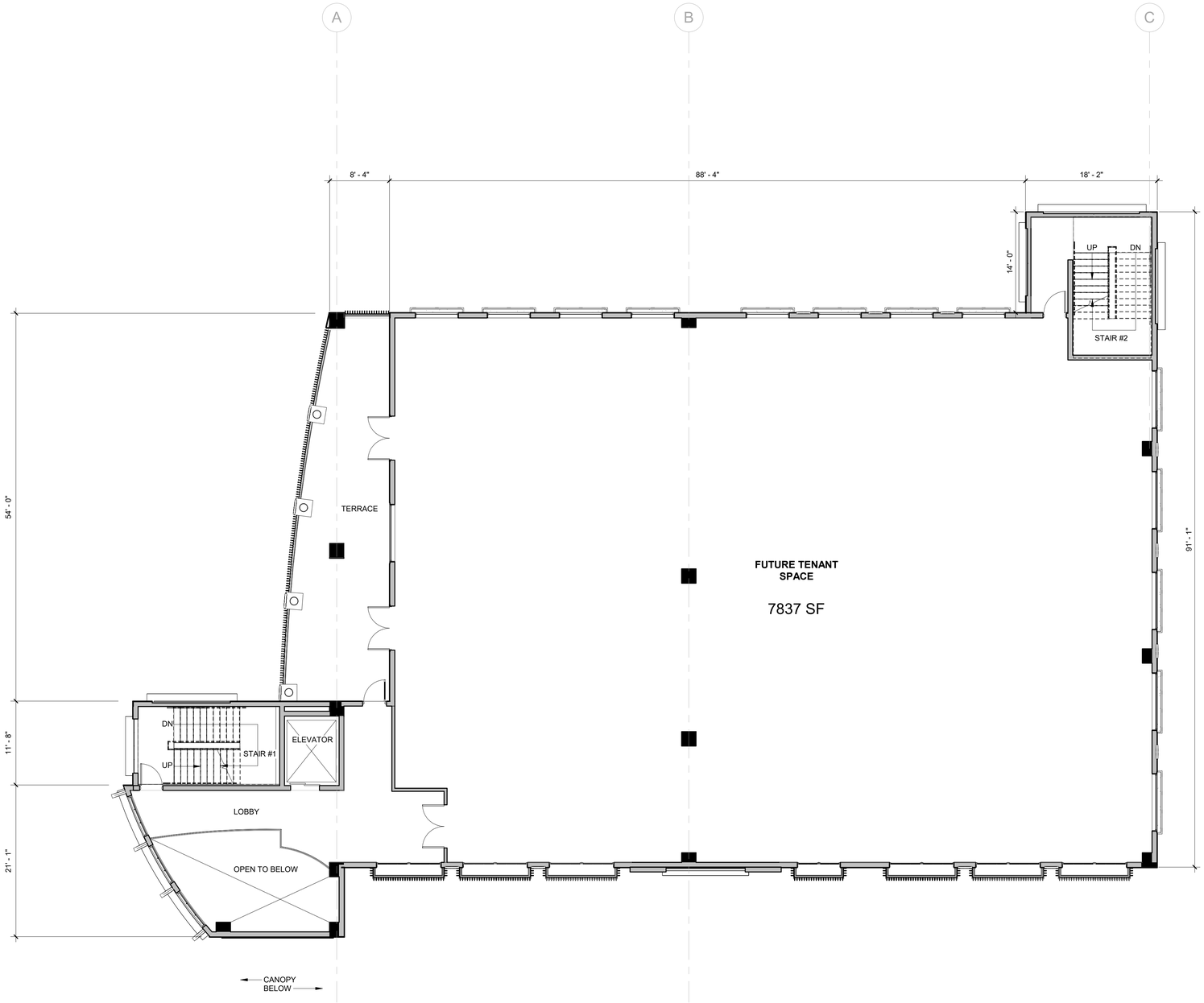
Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : YD, ZH
Checked By : SW
Date: 04/02/2018

REVISIONS

12/14/2018 2:33:05 PM C:\USERS\YDAVIS\DOCUMENTS\17-182_Tobin Building-CENTRAL_YDAVIS.RVT

A1.1



1 / A1.2 **SECOND FLOOR PLAN**
1/8" = 1'-0"

NORTH

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182

Drawn By :
YD, ZH

Checked By :
SW

Date:
04/02/2018

REVISIONS

12/14/2018 2:33:06 PM:\USERS\YDAVIS\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_YDAVIS.RVT

A1.2

1 / A1.3 **THIRD FLOOR PLAN**
1/8" = 1'-0"

NORTH

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182

Drawn By :
YD, ZH

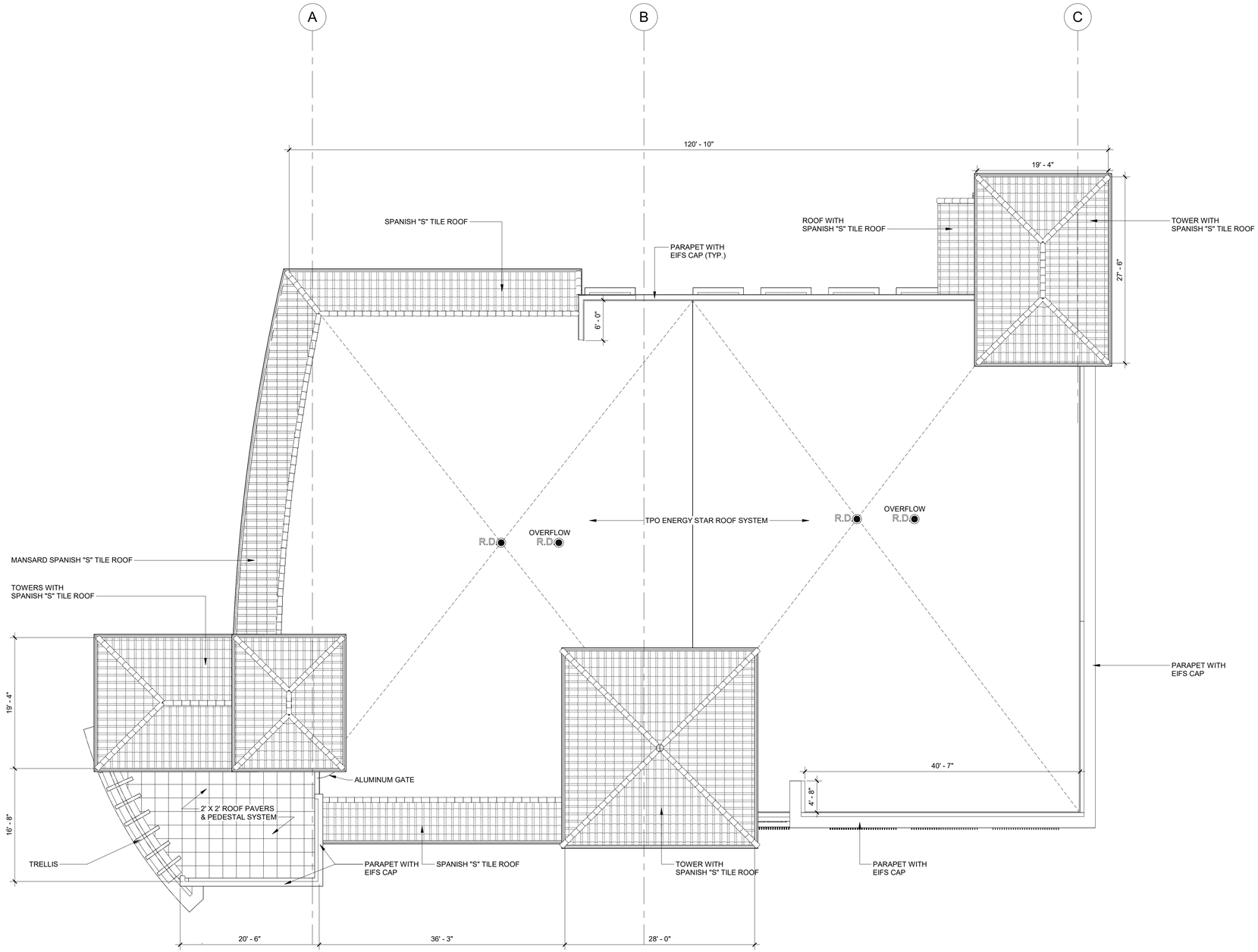
Checked By :
SW

Date:
04/02/2018

REVISIONS

12/14/2018 2:33:09 PM C:\USERS\YDAVIS\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_YDAVIS.RVT

A1.3



1
A1.4
ROOF PLAN
1/8" = 1'-0"

NORTH

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

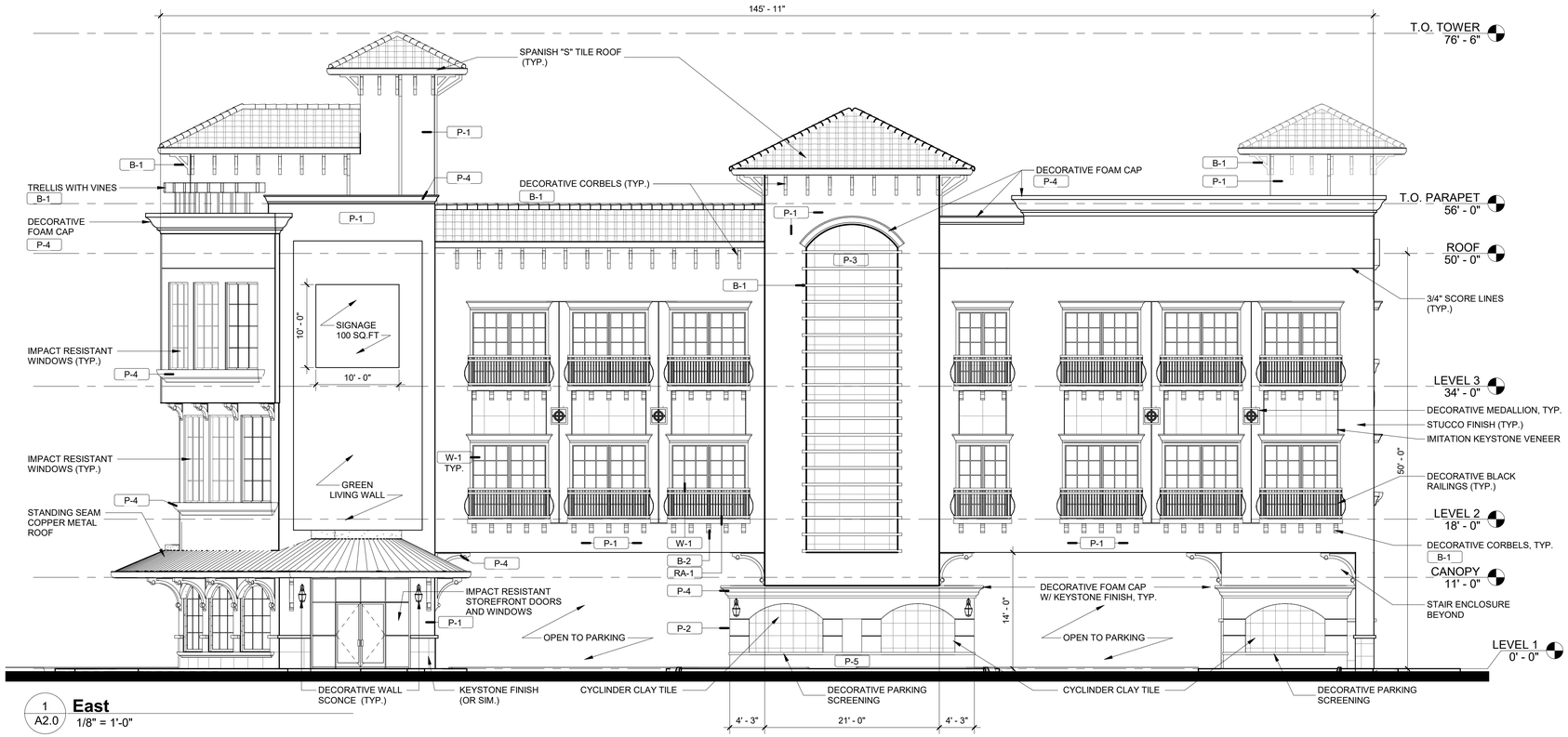
Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
YD, ZH
Checked By :
SW
Date:
04/02/2018

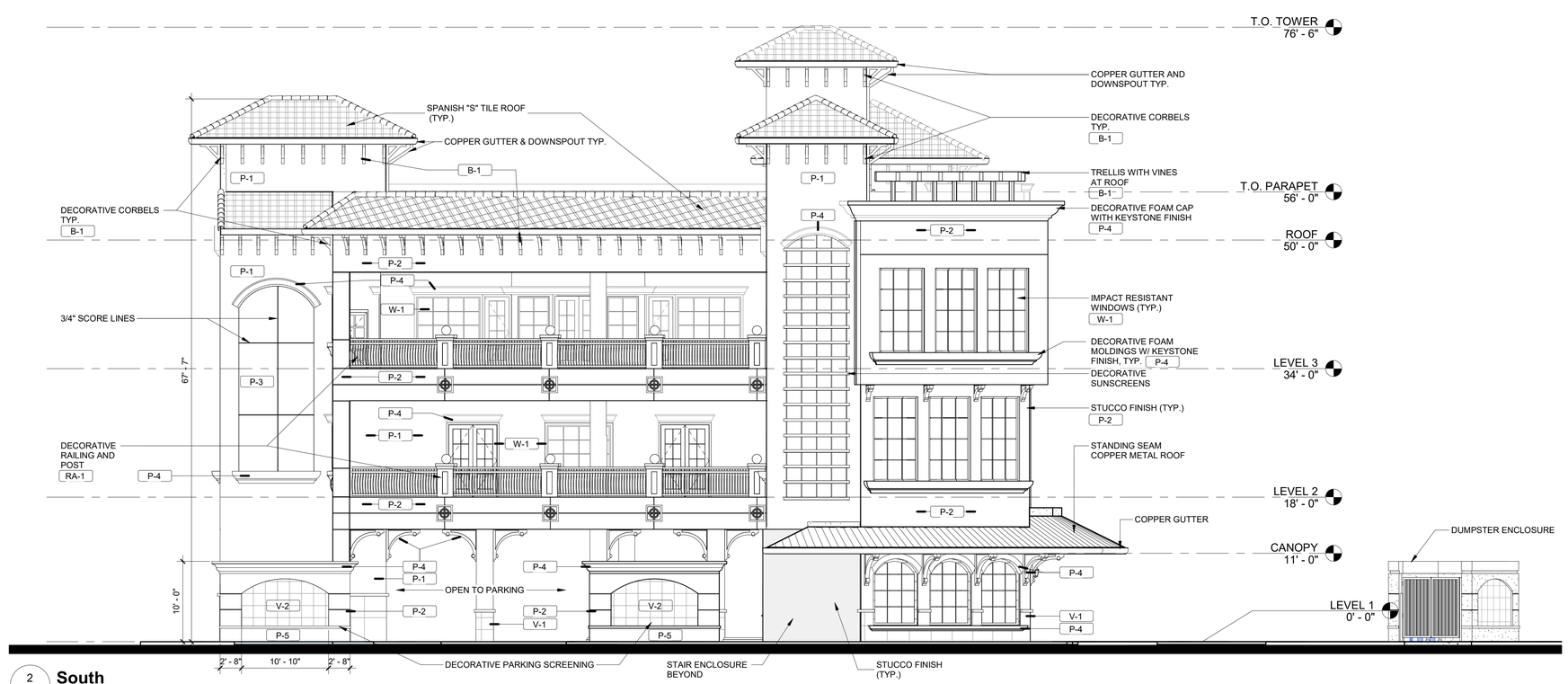
REVISIONS

12/14/2018 2:33:12 PM C:\USERS\YDAVIS\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_YDAVIS.RVT

A1.4



1 A2.0 **East**
1/8" = 1'-0"



2 A2.0 **South**
1/8" = 1'-0"

COLOR LEGEND

SYMBOL	FINSIH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
B-1	BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RAILINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH

NOTE: REFER TO COLOR BOARD FOR PAINT COLORS

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

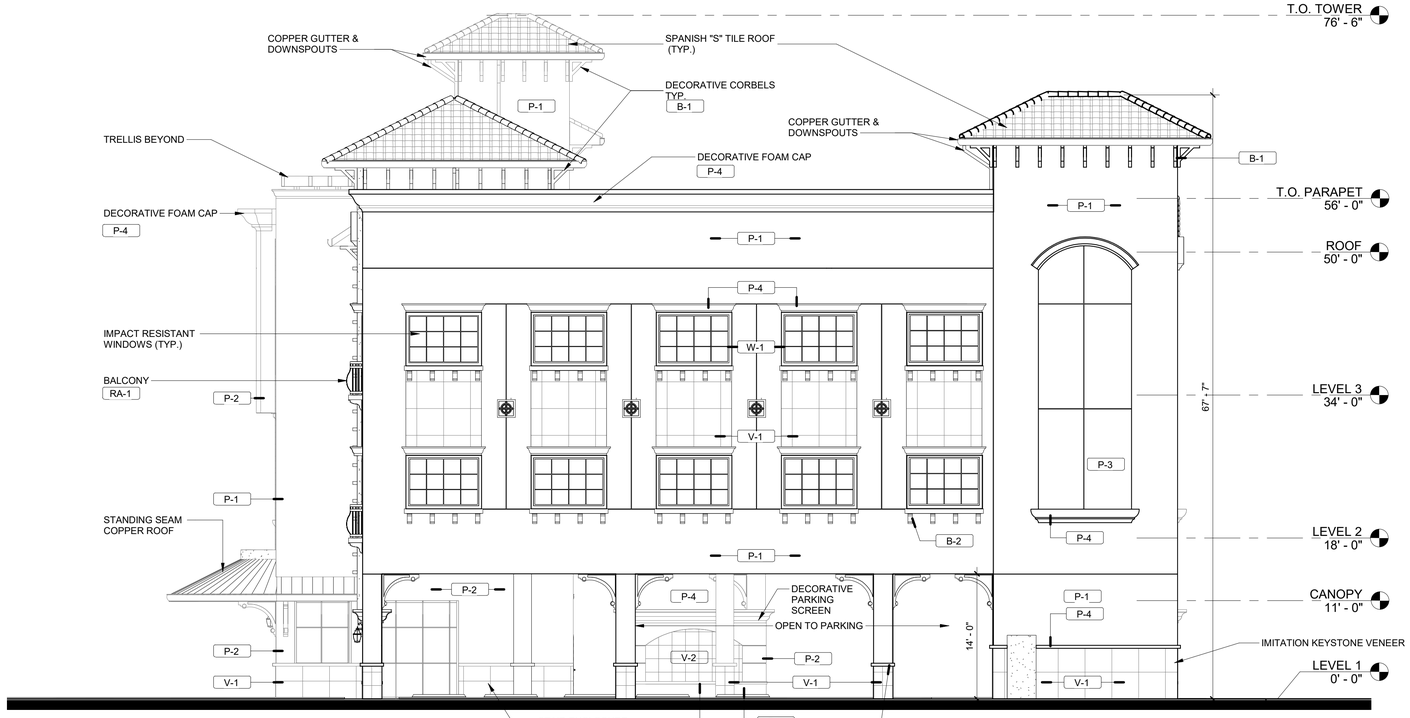
SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897
Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : YD, ZH
Checked By : SW
Date: 04/02/2018

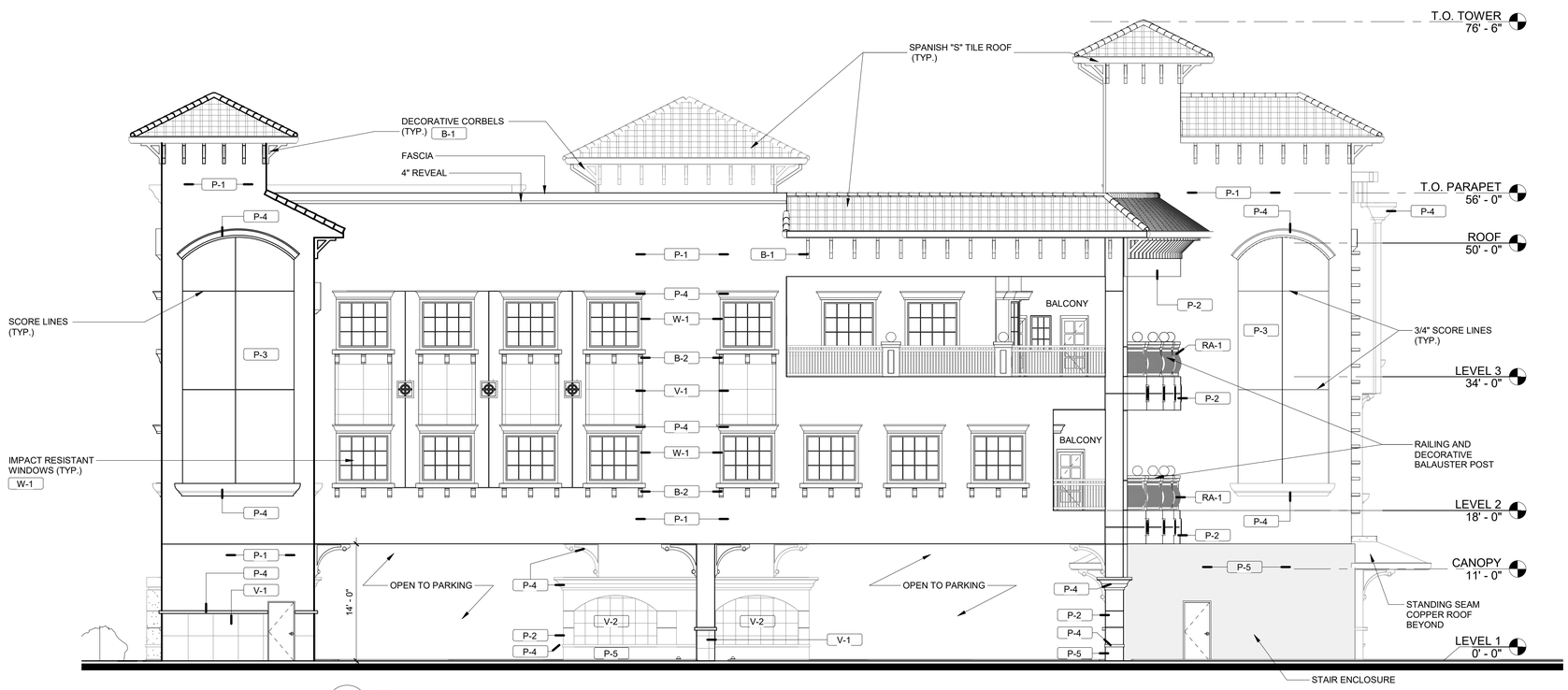
REVISIONS

12/14/2018 2:35:17 PM C:\USERS\YDAVIS\DOCUMENTS\17-182_Tobin Building-CENTRAL_YDAVIS.RVT

A2.0



1 / A2.1 **North**
1/8" = 1'-0"



2 / A2.1 **West**
1/8" = 1'-0"

COLOR LEGEND

SYMBOL	FINSIH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
B-1	BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RAILINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH

NOTE: REFER TO COLOR BOARD FOR PAINT COLORS

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

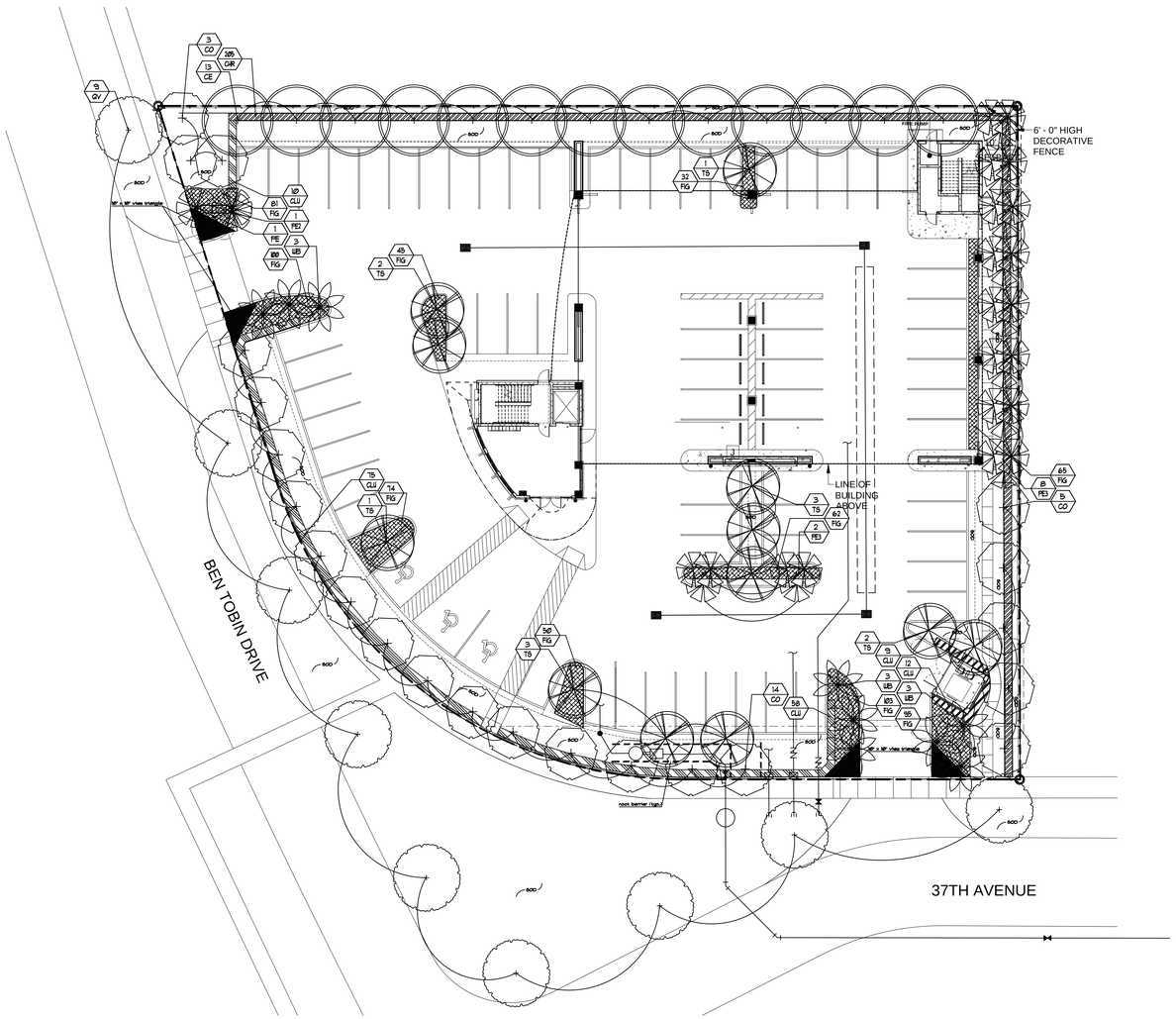
SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897
Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : YD, ZH
Checked By : SW
Date: 04/02/2018

REVISIONS

12/14/2018 2:33:22 PM C:\USERS\YDAVIS\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_YDAVIS.RVT

A2.1



PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIVE
CE	Conocarpus erectus Green Buttonwood	12' ht. x 5' spr., 2" dbh	13	*
CO	Chrysophyllum oliviforme Satinleaf	12' ht. x 5' spr., 2" dbh	22	*
PE	Ptychosperma elegans Solitaire Palm	20' ht., 12' c.t., single trunk	1	
PE2	Ptychosperma elegans Double Solitaire Palm	20' ht., 12' c.t., double trunk	1	
PE3	Ptychosperma elegans Triple Solitaire Palm	20' ht., 12' c.t., triple trunk	10	
QV	Quercus virginiana Live Oak	12' ht. x 5' spr., 2" dbh	9	*
TS	Tecoma stans Yellow Elder	12' ht. x 5' spr., 2" dbh	12	*
WB	Wodyetia bifurcata Foxtail Palm	16' o.a. ht., 6' c.t. min.	9	
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 18" spr., 24" o.c.	205	*
CLU	Clusia guttifera Clusia	24" ht. x 24" spr., 24" o.c.	164	
FIG	Ficus microcarpa Green Island Ficus	12" ht. x 12" spr., 18" o.c.	707	
SOD	Stenotaphrum secundatum St. Augustine 'Floratam'	full, fresh sod	as required	
- - - -	Root Barrier	42" root barrier	as shown	

CODE COMPLIANCE DATA

Perimeter Landscape & Buffer

1. Street trees required 1/50'
   Ben Tobin Dr.:
   426' / 50' = 9
   9 trees required
   9 trees provided

2. Landscape North Property Line (PUD)
   1 Tree/20'
   190' / 20 = 10
   10 trees required
   10 trees provided

3. Landscape West Property Line (PUD)
   1 Tree/20'
   242' / 20 = 13
   13 trees required
   13 trees provided

4. Landscape Buffers South Property Line
   1 Tree/20'
   331' / 20 = 17
   17 trees required
   17 trees provided

5. Terminal Islands
   10 terminal islands
   10 trees required
   10 trees provided

6. 25% of paved VUA shall be landscape area
   (% not to include perimeters)
   17,379 SF of VUA x .25 = 4,345 SF required
   (does not include VUA under bldg) 1,669 SF provided

7. 1 Tree / 1,000 SF of pervious area of property
   (This is in addition to VUA)
   Total pervious area = 6,265 SF
   6,265 SF / 1,000 = 7 trees required
   10 trees provided

   66 Total Trees Required
   69 Total Trees Provided

Minimum number of species required = 6/6 Provided

Tree and Palm Size Requirements
Trees: 12' ht., 2" dbh
Palms: 6' clear wood
Palms: 3:1
Shrubs: 24" ht.

Native Plant Requirements
60% of required trees must be native
Total trees required = 68 x .60 = 41 native trees required
56 native trees provided

Palms
50% of required trees may be palms
Total Trees required = 68 x .50 = 34 palms allowed
14 palms provided

If more than 20% of trees used are palms, all other trees must be shade trees.

Shrub Height
24" ht. except where non-residential abuts residential where the hedge must be 48" ht.

project:
tobin building
3701 ben tobin dr.
hollywood, fl

dave bodker
landscape architecture/planning inc.

601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311

#LA0000999

sheet title:
planting plan

project number: 11017
date: 02/20/2018
scale: 1" = 20'
drawn by: lmb

revisions:
△
△
△
△
△
△

NORTH

sheet:
L-1

Applicable Documents:

A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period.

Scope of Work:

A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident thereto.

B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, grading, fertilizing, mulching, staking and guying where required, watering, pruning where required, sod installation, weeding, cleanup, maintenance and guarantee.

C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary.

D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work. These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive separate, additional compensation for this.

E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The contractor's unit prices shall be the basis for said payment. The final amount of payment may or may not be the total sum of the contract depending on the number of units installed.

F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance.

G. The Landscape Contractor will coordinate his work with all other trades at the job site.

Quality Assurance:

A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architect retains the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory or defective material at any time during the progress of work. The Landscape Contractor shall remove rejected trees or shrubs within 7 days from the project site.

B. Responsibility for Assuring Quality Work:

(1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation, coordination with other contracts or service in the project area and coordination between the nursery and the project.

(2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material on the project.

(3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape materials and work.

C. Grade Standards:

(1) Plant material shall be Florida #1 or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

(2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions, plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. Plant materials which have been cut back from larger grades to meet certain specification requirements will be rejected.

(3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, burns disfiguring roots, sun-scald injuries, abrasion of the bark, plant diseases, insect pest eggs, barers, and all forms of infestations or objectionable disfigurements.

Delivery, Handling and Storage:

A. Delivery and Handling:

(1) Movement of nursery stock shall comply with all Federal, State, and local laws, regulations, ordinances, codes, etc.

(2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and protect while stored at the site.

(3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be covered to prevent wind damage during transit.

B. Sod

(1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting.

Submittals & Approvals

A. Written request for approval to substitute a plant species or a plants designation (B&B, WB&B, CG etc.), type, grade, quality, size, quantity, etc. due to the non-availability of the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is unavailable.

B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the material is delivered and installed on the project.

C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.

D. If requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.

E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered and installed on the project.
sample and analysis of the mulch for approval by the Landscape
H. If requested by the Owner or Landscape Architect, submit a

Architect before the material is delivered and installed on the project.

I. Submit three prints of shop drawing for all staking and guying methods to be used if the ones indicated in these Specifications and on the Plans are not to be implemented. staking and guying methods before they are implemented in the The Landscape Architect will approve all shop drawings of

project.

J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth, or survival, that would affect the guarantee of plant material.

K. Submit in writing any hindrance to the timely completion of the installation.

L. Submit and Certificate of inspection of plant material as may be required by, State , local or Federal Authorities.

Substitutions:

A. When the specifies plant designation (B&B, WB&B, CG etc.), type, grade, quality, size, quantity, etc. of a material is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along with written, documented proof that the plant designation (B&B, WB&B, CG, etc.), type grade, quality, size, quantity, etc. of material is not available. The Landscape Architect shall approve all substitutions before they are delivered and installed. Do not deliver and install any material, which is anticipated to be a substitute, before it has been submitted in writing and approved as a substitute by the Landscape Architect. Also, ant changes, if any, to the contract amount because of an approved substitute, shall be established in writing between the Owner and the Contractor before the material substitute is delivered and installed on the project.

Guarantee:

A. The guarantee shall not begin until the day final written acceptance is given.

B. All plant material, except sod, shall be guaranteed for a minimum of 1 year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final acceptance.

C. The guarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these "Acts of God".

D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the guarantee period.

Replacement:

A. The guaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material within 3 calendar days if it is:

(1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the Specifications.

(2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in t he Specifications.

(3) It is dead.

B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.

C. Size, Quality, and Grade:

(1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original specified plant at its initial planting . The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.

However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally specifies size.

(2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee period shall begin at time of acceptable replacement.

(3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.

Plan and Specification Interpretation:

A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision. In resolving conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications.

Permits and Codes:

A. The Contractor shall procure all necessary permits to accomplish all of the work.

B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal jurisdiction the project is located in.

Changes and Additional Work:

A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for.

"Job Site, "Project Site Etc.":

A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents.

Safety On and Off the Job Site:

A. In performing the scope of work, all safety on of off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or off the job site.

The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

On Site Observations and Inspections:

A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.

B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in advance.

C. An inspections at the growing site does not preclude the right of rejection at the project site.

D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or work omitted, or work performed which is not in accordance with the contract requirements, shall not bar the Landscape Architect from subsequently rejecting such work at a later time.

E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

Plant Material

A. Plant material shall be nursery grown except:

(1) Where specified as collected material

(2) Where approved by the Landscape Architect for such plant material which is only available as a collected item from sources such as residences.

B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida #1, or better, at the time of installation and final acceptance. Existing plant material to remain or to be relocated shall be excluded from this requirement.

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, healthy, vigorous and free from insects, plant diseases and injuries.

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

(1) Trees, Shrubs, and Groundcover:

a. Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part 2" as follows:

CALIPER	MIN. BALL DIA.	MIN. BALL DEPTH
1 - 1.5"	16"	75% of dia.
1.5 - 1.75"	20"	65% of dia.
1.75 - 2"	22"	65% of dia.
2 - 2.5"	24"	65% of dia.
2.5 - 3.5"	26"	65% of dia.
3.5 - 4"	28"	65% of dia.
4 - 4.5"	30"	60% of dia.
4.5 - 5"	32"	60% of dia.
5 - 5.5"	34"	60% of dia.
5.5" or more	increase in proportion	60% of dia. up to 48", then decrease in proportion for larger size diameter.

b. Height: The height of plant material shall be measured from finish grade and continue up to where the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoots, branches, limbs or fronds, which extend out beyond the main mass of the plant.

E. Die-Back and Leaf Drop: plant material showing signs of die-back of leaf-drop will not be accepted and must be removed from the project immediately if so directed by the Landscape Architect. Therefore, any plant material with tendencies toward leaf-drop or die-back must be root pruned early enough to provide a sound network of hair roots prior to relocation

F. Mechanical Destruction of Foliage: Mechanical destruction of foliage resulting from root pruning shall not effect more than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be accepted.

G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists on plant material, it shall be completely removed prior to planting on the project

H. Palms:

(1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling.

(2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying palms shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie Palm fronds to accommodate an owners "grand opening". The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an additional cost to the owner.

(3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.

(4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.

I. Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants".

J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.

K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.

Sod:

A. Sod shall be solid sod and shall be standard quality grade. Note: Quality grade shall be based on the standards of sod quality grades (premium, standard or commercial) as established by the Turf grass Producers Association of Florida Inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch, up to one half inch allowable (uncompressed).
the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The sod shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted.

Planting Soil:

A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand , and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition.

Water:

A. Potable, from municipal water supplies or other sources which are approved by a public health department.

Mulch:

A. Mulch shall be:

(1) "Floramulch" or other approved recycled mulch (approval by Landscape Architect or other governing agency)

Fertilizer:

A. New and existing Trees and Palms:
Fertilize with 8-2-12 palm fertilizer with micronutrients per manufacturer's recommendations.

B. New and existing Shrubs, and Groundcover:
Fertilize with 8-2-12 palm fertilizer with micronutrients at a rate of ½ lb. per 1000 SF of area.

C. Annuals: Fertilize with Osmocote - Sierra blend 14-14-14 or approved equal.

D. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's analysis.

E. All fertilizer shall comply with the State of Florida fertilizer laws.

Staking and Guying:

A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or requirement of staking or guying.

B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in.

EXECUTION

Inspection:

A. Utilities (Above Ground and Underground):

(1) The work area may have existing utilities, such as, but not limited to, irrigation, phone, electrical and storm sewer. The location of some of these existing utilities have been indicated on the Plans.

However, no guarantee is implied that the Plans are accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular location.

(2) The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities or other facilities which are disrupted due to his or her additional outside services which may be necessary to prosecute repairs on a continuous "around the clock" basis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All costs involved in the repairs and restoring disrupted service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.

(3) Should utilities, structures, etc., be encountered which interfere with the work, the Landscape Architect shall be consulted immediately in order for a decision to be made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated.

(4) The Contractor shall not purposefully disrupt or disconnect any type of utility whatsoever without first obtaining the written permission of the Landscape Architect. Requests for disconnection must be in writing and received by the Landscape Architect at least 72 hours prior to the time of the requested interruption.

Grades:

A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas conforms to surrounding grades and is at the proper elevation with relation to walks, paving, drain structures and other site conditions, unless indicated otherwise on the plans.

B. Plant Area Next to Pavement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads, drives, walks, terraces, decks and slabs shall be set so that the TOP OF THE MULCH IS 1 INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans.

Preparation:

A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based on information from the plans.

B. Spacing of Groundcover & Shrubs: The location of a planting bed (shrub or groundcover) next to another bed, walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly without growing into the other bed, walkway, structure, etc.

C. The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting.

D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limerock which may interfere with adequate vertical drainage and/or proper plant survival and growth and therefore removal of this material is part of the scope of work for the project. The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, drilling or rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant survival and growth.

E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered.

F. Excavation of Plant Holes:

(1) General:

a. Excavation of plant holes shall be roughly cylindrical in shape with the sides approximately vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.

b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the Landscape Architect.

Installation:

A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting.

B. Setting of Plants:

(1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tapped in place. When partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots: the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and tapped to grade. Subsoil removed from tree pit shall not be mixed or used in any way with the topsoil mixture.

(2) All sabal and queen palms shall be backfilled with clean thoroughly washed in during the planting operation.

(3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or palm pit and maintained in place.

(4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large for hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks. Girdling, bark slippage, limb breakage and any other damage that might occur by improper handling or negligence.

(5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.

(6) Container grown plant material shall be carefully removed from the container so as not to disturb the root system.

C. Sod:

(1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner:

a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1,000 square feet.

b. Remove stones and foreign matter over two inches in diameter from the top two inches of soil.

c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping.

(2) Placing Sod:

a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.

b. Water sod every day for a period of three weeks.

c. Fertilize sod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1,000 square feet of lawn.

d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State or Federal Department of Agriculture.

(3) Maintenance of Sod:

a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.

b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as necessary.

D. Planting Beds:

(1) Spread six inches of topsoil mixture uniformly over the entire planting area.

(2) Spread 50% organic fertilizer at a rate of 4 pounds per 1,000 square feet uniformly over the groundcover area.

(3) Rotor mix, or by other approved method, to a depth of twelve inches.

(4) Fine grade to remove all trash, rocks, and debris to depth indicated.

(5) Regrade to finish grade before adding two inches mulch.

(6) Thoroughly water and firm the plants into the soil mixture.

E. Mulch:

(1) Areas to be mulched shall have existing weeds and vegetation removed, including root systems, before applying mulch.

(2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material.

(3) The mulch shall be uniformly applied to a depth of approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as indicated on the plans.

F. Watering:

(1) Initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of the root zone. Avoid erosion, puddling, and washing soil away from the roots.

(2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as necessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task. It cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the irrigation system, if there is one hand water during this period.

(3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such means as a water truck or tank.

G. Pruning and Thinning:

(1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations. Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant.

(2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during any pruning and thinning.

H. Weeding:

(1) In the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until final acceptance.

I. Removal of Plant Material:

(1) All plant material to be removed shall be removed completely, including the rootball, from the job or as directed by the Landscape Architect. The remaining hole shall be filled with suitable material or planting soil as directed by the Landscape Architect.

J. Existing Plant Material to be Relocated:

(1) All existing plant material to be relocated shall be root pruned a minimum of 90 days or for a period as determined by the Landscape Architect prior to relocation.

(2) Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with requirements as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part 2", as follows:

CALIPER	MIN. BALL DIA.	MIN. BALL DEPTH
1 - 1.5"	16"	75% of dia.
1.5 - 1.75"	20"	65% of dia.
1.75 - 2"	22"	65% of dia.
2 - 2.5"	24"	65% of dia.
2.5 - 3.5"	26"	65% of dia.
3.5 - 4"	28"	65% of dia.
4 - 4.5"	30"	60% of dia.
4.5 - 5"	32"	60% of dia.
5 - 5.5"	34"	60% of dia.
5.5" or more	increase in proportion	60% of dia. up to 48", then decrease in proportion for larger size diameter.

(3) Root pruning shall be accomplished by digging a trench completely around the plant about 18 inches deep. All exposed roots shall be cut off smoothly.

(4) A mixture of good organic fertilizer and planting soil shall be used to refill the trench.

(5) Plant material which is in soil of a loose texture, which does not readily adhere to the root system, especially in the case of large plants or trees, shall have the rootball wrapped in burlap and then wire, if directed by the Landscape Architect. For wire, hog wire shall be used and it shall be placed around the rootball before before the plant is removed from the hole for relocation. The wire shall be looped and tensioned until the burlapped ball is substantially packaged by the tightened wire netting formed by the hog wire, so as to prevent disturbance of the loose soil around the roots during handling.

Cleanup:

A. Disposal of Trash: All debris and other objectionable material created through planting operation and landscape construction shall be removed completely on a daily basis from the job or as directed by the Landscape Architect. Any paved areas including curbs and sidewalks which have been strewn with soil, sod waste, fertilizer or other debris shall be thoroughly swept.

B. Excess Fill: All excess fill which results from the installation of the project shall remain the property of the Owner and remain on the project at the option of the Owner. All excess fill which the Owner does not want shall be removed and disposed of from the project at no additional cost. No excess fill shall be removed or disposed of from the site until approved by the Owner or Landscape Architect. Excess fill shall be disposed of as directed.

Protection:

A. Responsibility for Protection and Restoration of Property: The Contractor shall be responsible for all damage or injury to person or property.

B. Protection Against Mechanical Damage: The Contractor's responsibility for protection against mechanical damage shall include providing protection from vehicles and providing warning signs and barricades as might be necessary and he or she shall repair, restore and replace all property which becomes damaged as a result of any negligence of the Contractor or his or her employees in complying with these requirements.

Completion and Final Acceptance:

A. Upon written notice from the Contractor of the presumptive completion as defined below, of the entire project, the Landscape Architect, along with other appropriate parties, will make an inspection within 48 hours after the written notice. If all construction provided for and compensated by the contract is found to be completed in accordance with the contract Plans and Specifications, such inspection shall constitute the final inspection. The Contractor shall be notified in writing of final acceptance as of the date of the final inspection.

B. If, however, the inspection mentioned in paragraph A, above, discloses any work, in whole or in part, as being unsatisfactory, final acceptance shall not be given and the Owner and/or Landscape Architect will give the Contractor the necessary instructions or "punch lists". Upon correction of work, another inspection will be made which shall constitute the final inspection, provided the work has been satisfactorily completed. In such event, the Owner or their representative shall make the final acceptance and notify the Contractor in writing of this final acceptance as of the sate on this final inspection.

C. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Plans and Specifications including any and all "punch lists" which may be issued outlining certain items of work which were found unsatisfactory or required completion or corrective action.

D. Final acceptance shall not be given until all construction provided for and contemplated by the contract is inspected and found to be completed in accordance with contract Plans and Specifications.

E. Final acceptance shall not be official until acknowledged in writing by the Owner or their representative.

F. The guarantee shall not begin until the day final acceptance is given.

Certain responsibilities prior to Final Acceptance: The following is a partial list of certain responsibilities. It is not a complete list, but only a summary of certain responsibilities.

A. The Contractor is responsible for the entire project prior to written acceptance.

B. The Contractor is responsible for safety on and off the job site.

C. Maintenance Prior to Final Acceptance:

(1) Maintenance shall begin immediately after each plant is planted and continue until final acceptance.

(2) Plant maintenance shall include watering, mowing, edging, pruning, weeding, cultivating, repair of erosion, mulching, tightening and repairing of guys, stakes, braces, etc., replacement of sick or dead plants, replacement of sod areas which do not become established, resetting plants to proper grades or upright position, maintenance of the watering saucer, litter removal, and all other care needed for proper growth of the plants.

(3) Immediately after planting, each plant shall be watered and the watering period shall continue until final acceptance. Refer to the heading "Watering", which is in Part 3 of these Specifications, for additional requirements.

(4) All plant material shall be weeded once a week. In the event that weeds or other undesirable vegetation becomes prevalent to such as extent that they threaten plant material, the weeds shall be removed as directed by the Landscape Architect. If necessary, the plant material, mulch, sand and/or planting soil shall be replaced as needed to eliminate weeds or undesirable vegetation at the expense of the Contractor.

(5) Edge and mow sod once a week.

(6) Edge and weed all shrubs, groundcover and flower beds once a week.

(7) Remove all litter once a week.

(8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation.

(9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a satisfactory lawn. Damage resulting from erosion, gullies, washouts, or other causes shall be repaired by filling with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense.

(10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or over planting areas or adjacent to plants without proper safeguards and protection.

(11) Keep sidewalks, curbs and gutters, driveways, parking areas, streets, terraces, decks, and pavers free of plant cuttings, debris and stains.

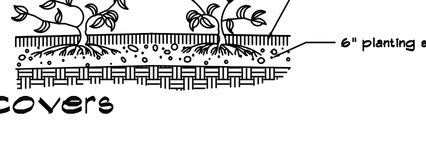
D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled.

E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is installed until final acceptance.

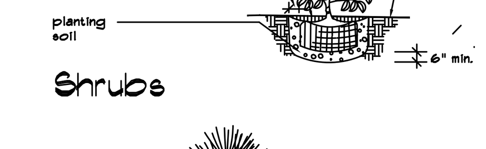
F. Replacement: Replacement of plant material shall be the responsibility of the Contractor including the possible replacement of plant material resulting from removal by theft or vandalism or acts of negligence on the part of others. All plant material shall be alive and in good growing condition for each specific kind of plant at the time of final acceptance.

G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of final acceptance.

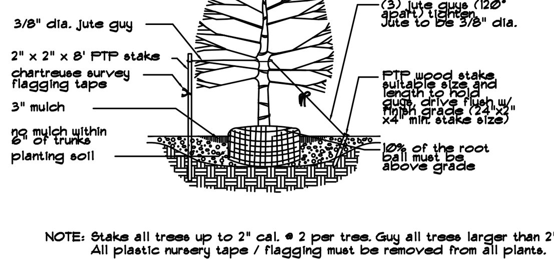
PLANTING DETAILS



Groundcovers

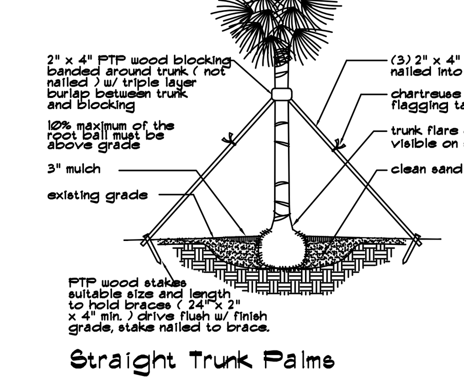


Shrubs



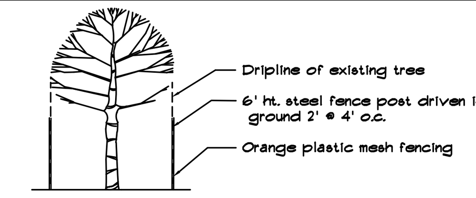
NOTE: Stake all trees up to 2" cal. @ 2 per tree. Guy all trees larger than 2" cal. All plastic nursery tape / flagging must be removed from all plants.

Trees



Straight Trunk Palms

EXISTING TREE PROTECTION BARRIER DETAIL



GENERAL NOTES

1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER.
2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A RAIN SENSOR. IF THE SOURCE OF WATER FOR THE IRRIGATIONH SYSTEM IS NOT POTABLE OR RECLAIM WATER, AND THE WATER STAINS SITE IMPROVEMENTS, SUCH AS BUILDINGS, PAVING, ETC., THE CONTRACTOR WILL NEED TO INSTALL AN INJECTION TYPE RUST CONTROL SYSTEM.
4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT LIST IN ALL CASES. SOD QUANTITY IS TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS GROUNDCOVERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT' S PLANTING PLANS.
7. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE.
8. ALL TREES AND PALMS TO BE STAKED AND GUYED.
9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH", TO A DEPTH OF 3".
10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE.
11. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.
12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATION BEGINS. THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.
13. TREES, PALMS, SHRUBS AND GROUNDCOVERS TO BE GUARANTEED TO BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE.
14. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' ABOVE FINISHED GRADE.
15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY, COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS INCLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE.
16. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.
17. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.
18. ALL PLANTING BEDS THAT ARE ADJACENT TO PAVING ARE TO BE LOWER THAN THE ADJACENT PAVING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAVING.
19. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AND PLANTING AREAS ADJACENT TO THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROWTH, OR OF REPLACEMENT SOIL (50% MUCK, 50% SAND). NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS OR PLANTING AREAS ADJACENT TO PAVED AREAS EXCEPT FOR THE FIRST 12" INTO THE PLANTING AREA AS REQUIRED TO SUPPORT THE CURB.

project
tobin building
3701 ben tobin dr
hollywood, f

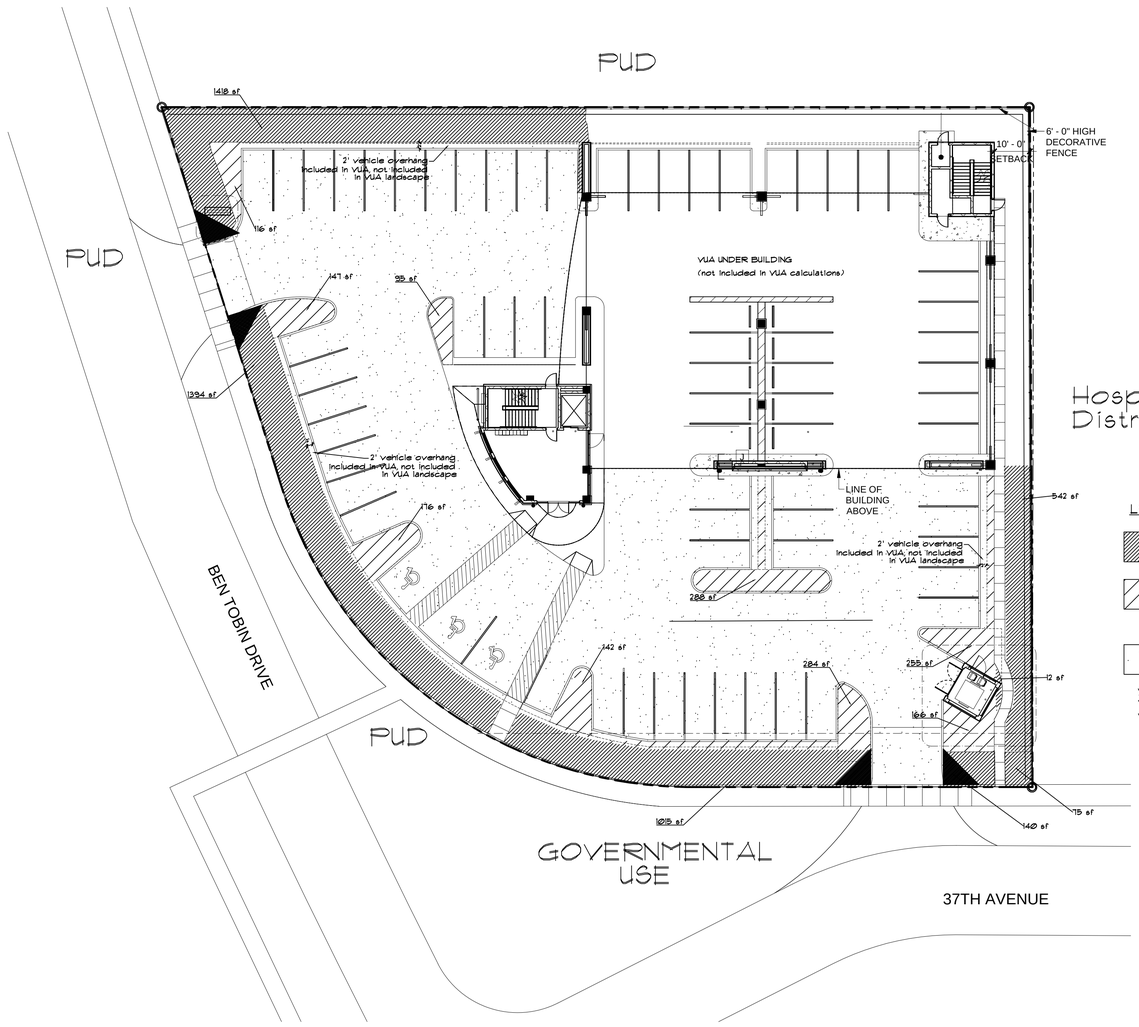
dave bodker
landscape architecture/planning inc.
601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311
#LA000099

sheet title
notes, details, specifications

project number 11017
date: 02/20/2018
scale: n.t.s
drawn by: lmb

revisions
△
△
△
△
△
△

sheet
L-2



LEGEND

10' Landscape Buffer Area = 4,596 sf

VUA Landscape Area = 1,669 sf

Total Landscae Area: 6,265 sf (including buffers)

VUA Area = 17,379 sf

VUA CALCULATIONS:
VUA Area = 17,379 sf x 025 = 4,345 sf (required)
VUA Landscape Area = 1,669 sf (provided) - excluding buffers
10% of VUA area

CODE COMPLIANCE DATA

Perimeter Landscape & Buffer

1. Street trees required 1/50'
   Ben Tobin Dr.
   426' / 50' = 9
   9 trees required
   9 trees provided

2. Landscape North Property Line (PUD)
   1 Tree/20'
   190' / 20 = 10
   10 trees required
   10 trees provided

3. Landscape West Property Line (PUD)
   1 Tree/20'
   242' / 20 = 13
   13 trees required
   13 trees provided

4. Landscape Buffers South Property Line
   1 Tree/20'
   331' / 20 = 17
   17 trees required
   17 trees provided

5. Terminal Islands
   10 terminal islands
   10 trees required
   10 trees provided

6. 25% of paved VUA shall be landscape area
   (% not to include perimeters)
   17,379 SF of VUA x 25 = 4,345 SF required
   (does not include VUA under bldg) 1,669 SF provided

7. 1 Tree / 1000 SF of pervious area of property
   (This is in addition to VUA)
   Total pervious area = 6,265 SF
   6265 SF / 1000 = 7 trees required
   10 trees provided

   66 Total Trees Required
   69 Total Trees Provided

Minimum number of species required = 6/6 Provided

Tree and Palm Size Requirements
Trees: 12' ht., 2" dbh
Palms: 6' clear wood
Palms: 3:1
Shrubs: 24" ht.

Native Plant Requirements
60% of required trees must be native
Total trees required = 68 x 60 = 41 native trees required
56 native trees provided

Palms
50% of required trees may be palms
Total Trees required = 68 x 50 = 34 palms allowed
14 palms provided

If more than 20% of trees used are palms, all other trees must be shade trees.

Shrub Height
24" ht. except where non-residential abuts residential where the hedge must be 48" ht.

project:
tobin building
3701 ben tobin dr.
hollywood, fl

dave bodker
landscape architecture/planning inc.

601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311

#LA0000999

sheet title:
VUA calculations plan

project number: 11017
date: 02/20/2018
scale: 1" = 20'
drawn by: lmb

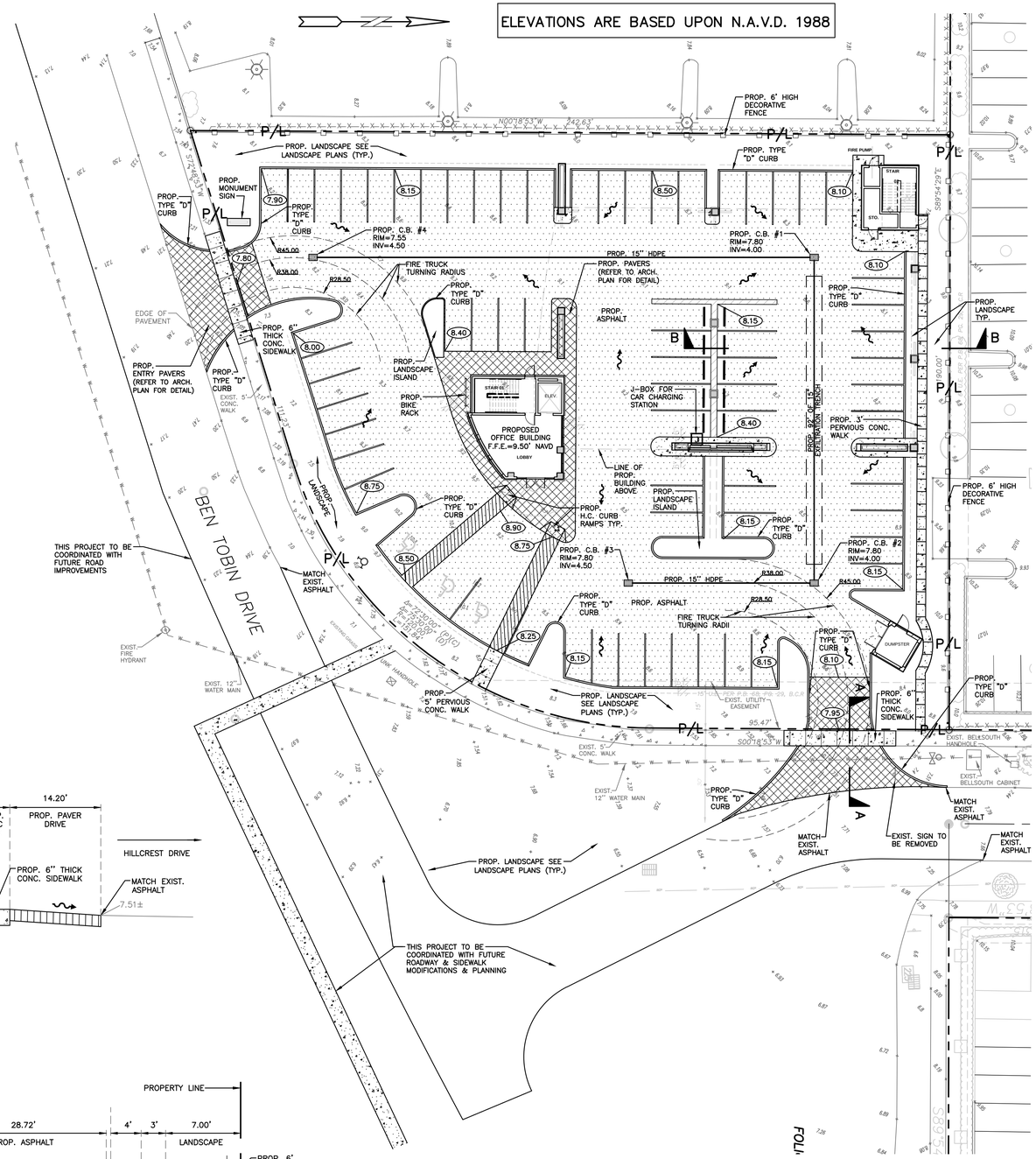
revisions:

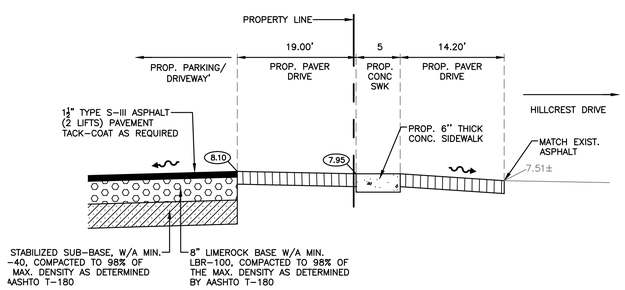
NORTH

sheet:
L-3

3 of 3 sheets

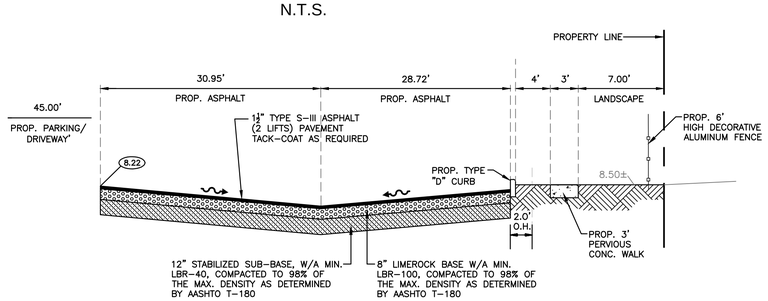
ELEVATIONS ARE BASED UPON N.A.V.D. 1988





SECTION A-A

N.T.S.



SECTION B-B

N.T.S.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

HOLLAND ENGINEERING INC.
civil engineers
3900 HOLLYWOOD BLVD, STE. 303 – HOLLYWOOD – FL – 33021
(954)367-0371 . (954)367-0372 Fax

CA 7325

SUSAN C. HOLLAND, PE
Reg. no. 41831

LOCATION MAP

NOT TO SCALE

LEGAL DESCRIPTION:

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES:

1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
2. 2.MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
13. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

LEGEND

	PROPOSED ASPHALT		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE		PROPOSED PIPING
	PROPOSED PAVERS		EXISTING PIPING AND APPURTENANCES
8.60	PROPOSED ELEVATION	CB	EXISTING CATCH BASIN
	PROPOSED SURFACE FLOW	+ 7.10	EXISTING ELEVATION
SIGN	PROPOSED SIGN (AS INDICATED)	LP	EXISTING CONCRETE LIGHT POLE
CO	PROPOSED CLEANOUT	WM	PROPOSED WATER METER
		X	EXISTING FENCE

PAVING & DRAINAGE PLAN

SCALE: 1"=20'

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : AA
Checked By : SCH
Date: 05/07/18

REVISIONS

C-1

18-01

FIRE FLOW CALCULATIONS
Tobin Building
A Three Story Commercial Building
3701 Hillcrest Drive, Hollywood

These calculations are for a three (3) story commercial building, with a total ground floor square footage of 1,120 SF. The entire building is non-combustible construction.

Fire Flow Area = 18,000 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total floor area of all floor levels. The total square footage of the three floors is 18,000 square feet.

Per Table 18.4.5.2.1, the fire flow requirement is 1,500 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

1,500 gpm X 75% = 1,125 gpm (fire flow credit)

1,500 gpm – 1,125 gpm = 375 gpm

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm

Per the hydrant flow test, 1,100 gpm is available

ELEVATIONS ARE BASED UPON N.A.V.D. 1988

NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENCE PER FS 633.102.

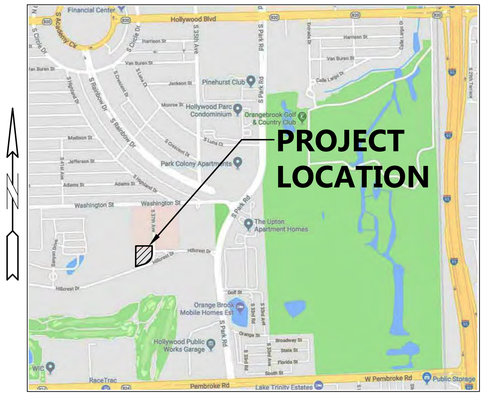
NOTES:

1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.

2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER LATERAL AND CONFIRM DEPTH OF PIPE.

3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.

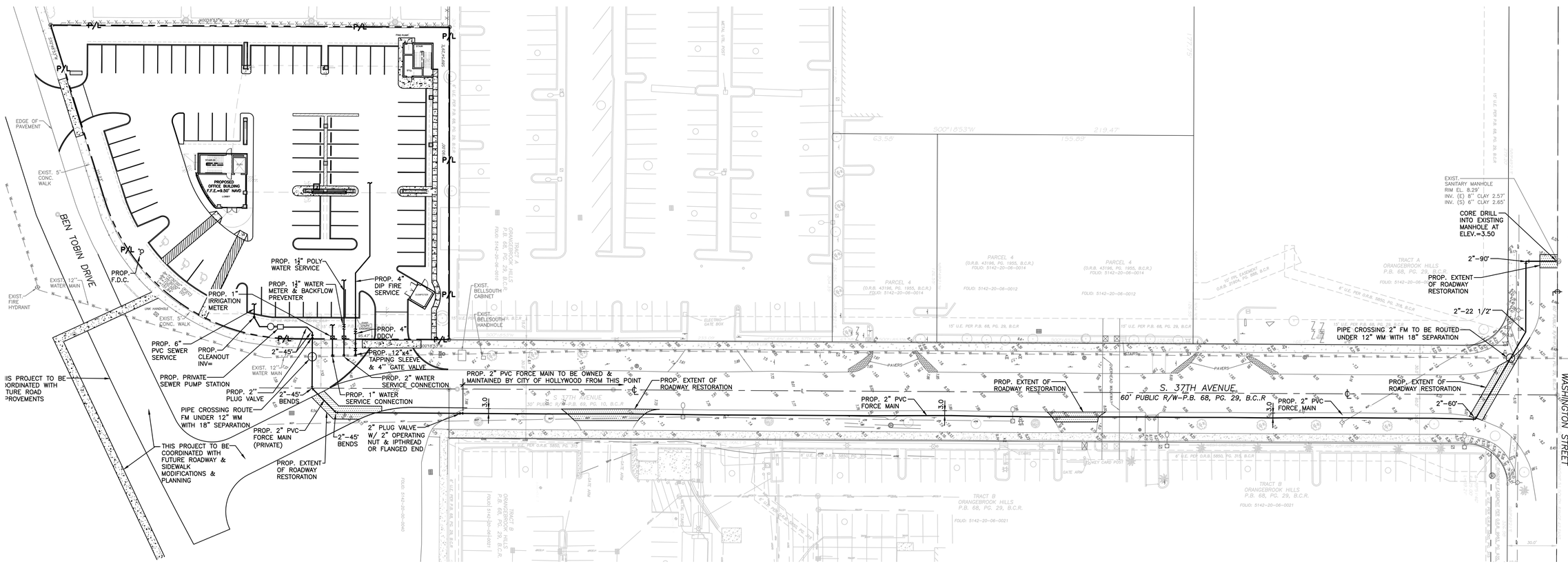
4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021



SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : AA
Checked By : SCH
Date: 05/07/18

REVISIONS

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

WATER AND SEWER DEMAND

18,000 SF OFFICE BUILDING X 0.20 GPD/SF = 3,600 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

HOLLAND ENGINEERING INC.
civil engineers
3900 HOLLYWOOD BLVD, STE. 303 – HOLLYWOOD – FL – 33021
(954)367-0371 . (954)367-0372 Fax

CA 7325

SUSAN C. HOLLAND, PE
Reg. no. 41831

LEGEND

	PROPOSED ROADWAY RESTORATION AREA		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE SIDEWALK		PROPOSED PIPING
			EXISTING PIPING AND APPURTENANCES
8.60	PROPOSED ELEVATION	CB	EXISTING CATCH BASIN
		+ 7.10	EXISTING ELEVATION
	PROPOSED SURFACE FLOW	LP	EXISTING CONCRETE LIGHT POLE
SIGN	PROPOSED SIGN (AS INDICATED)	WM	PROPOSED WATER METER
CO	PROPOSED CLEANOUT	X	EXISTING FENCE

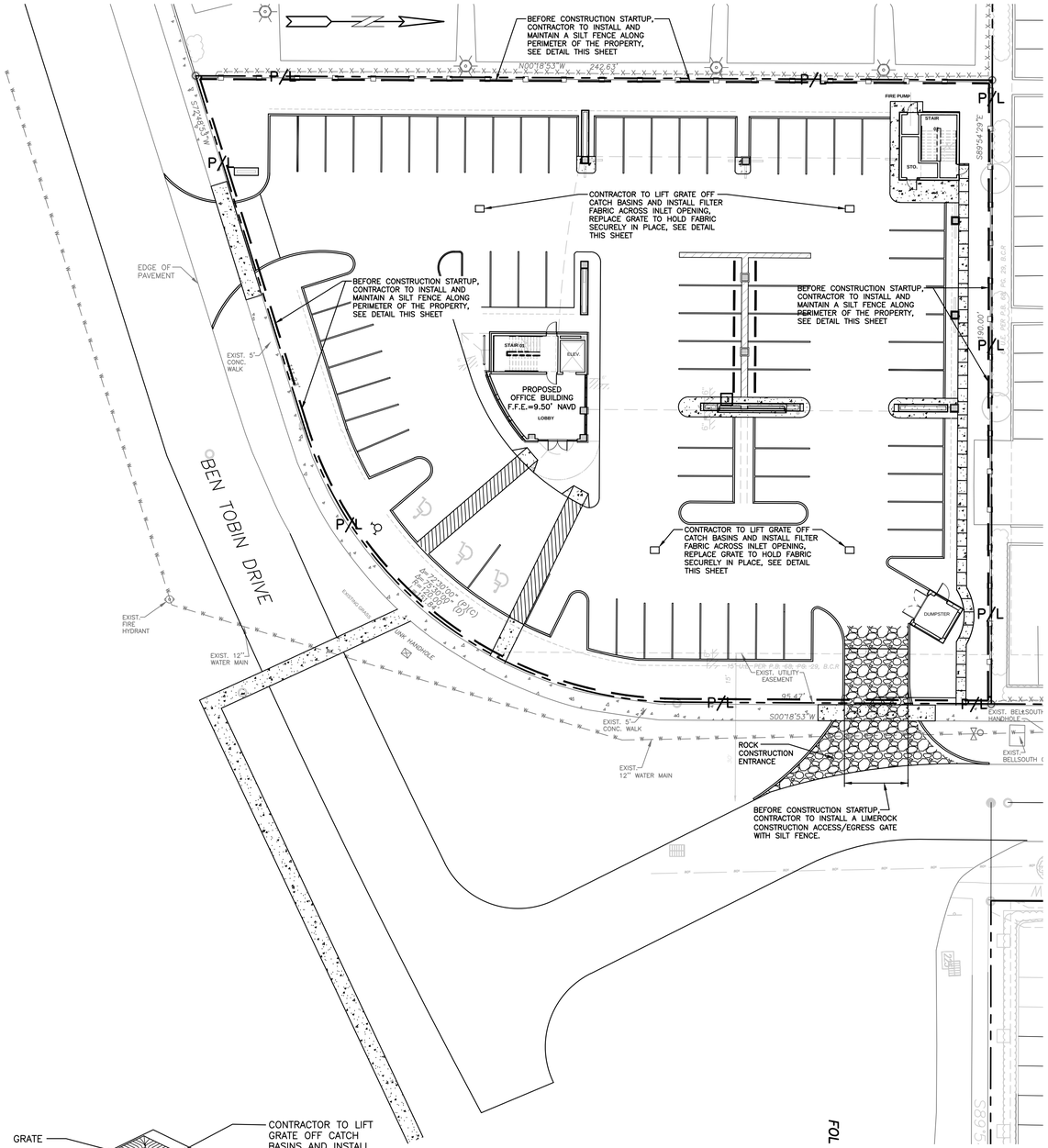
WATER & SEWER PLAN

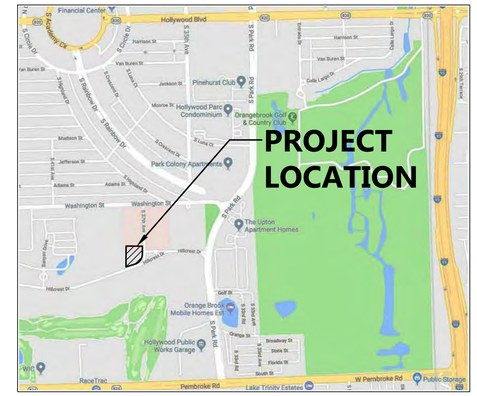
SCALE: 1"=30'

C-2

18-01

ITRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH RK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, ITRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ORS OR OMISSIONS.





LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.

2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT–LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.

5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.

6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

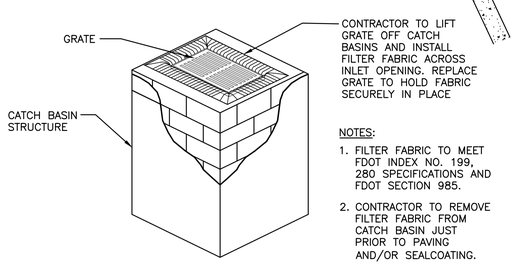
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.

9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.

10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.

11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. TO MEET LEED REQUIREMENTS.

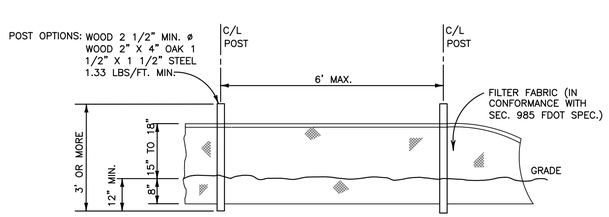
12. PROVIDE SILT FENCE AROUND WORK AREA DURING INSTALLATION OF NEW 8" SANITARY SEWER MAIN.



NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

POLLUTION PREVENTION FOR CATCH BASIN
N.T.S.



TYPE III SILT FENCE
NTS

LEGEND

	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED PAVERS
8.60	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
SIGN	PROPOSED SIGN (AS INDICATED)
CO	PROPOSED CLEANOUT
	EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED PIPING
	EXISTING PIPING AND APPURTENANCES
CB	EXISTING CATCH BASIN
+ 7.10	EXISTING ELEVATION
LP	EXISTING CONCRETE LIGHT POLE
WM	PROPOSED WATER METER
— X —	EXISTING FENCE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1"=20'

HOLLAND ENGINEERING INC.
civil engineers
3900 HOLLYWOOD BLVD, STE. 303 – HOLLYWOOD – FL – 33021
(954)367–0371 . (954)367–0372 Fax
CA 7325
SUSAN C. HOLLAND, PE
Reg. no. 41831

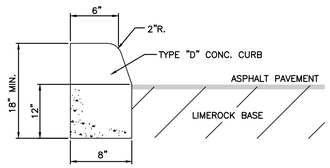
TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897
Mark L. Saltz AR007171

Project No. : 2017-182
Drawn By : ZH
Checked By : SW
Date: 05/07/18

REVISIONS

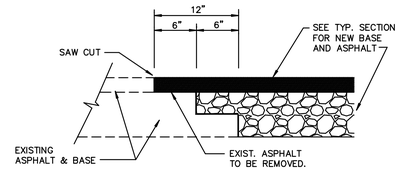
C-4



TYPE "D" CONCRETE CURB

DETAIL

NTS



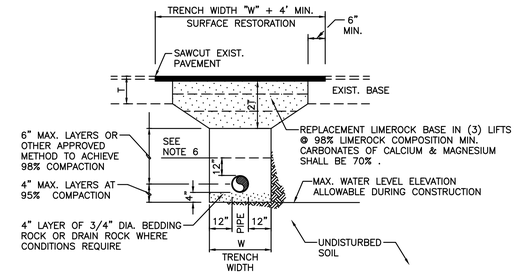
NOTE:

THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.

TYPICAL PAVEMENT JOINT DETAIL

DETAIL

NTS



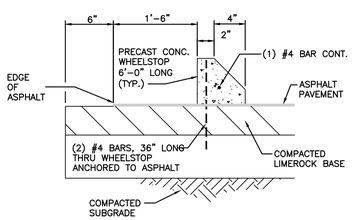
GENERAL NOTES:

1. WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION .
2. SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD .
3. NEW SURFACING MATERIALS SHALL BE CONSISTENT W/ EXIST. & SHALL HAVE BUTT JOINTS (2" MIN. THK.) .
4. COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-180 .
5. ALL ROADWAY RESTORATION SHALL COMPLY W/ THE RESPECTIVE GOVERNING AUTHORITY HAVING JURISDICTION .
6. MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL (SEE DETAIL) .
7. DENSITY TESTS – MIN. 2 PER SUB-BASE, MIN. 2 PER LIMEROCK, PER CUT . CITY ENGINEERING DEPT. RECEIVES 2 COPIES OF RESULTS .

PAVEMENT RESTORATION

DETAIL

NTS



CONCRETE WHEELSTOP

DETAIL

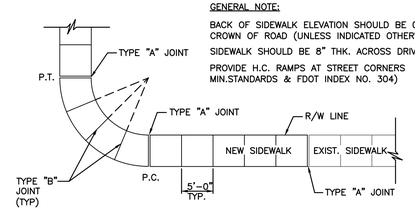
NTS

GENERAL NOTE:

BACK OF SIDEWALK ELEVATION SHOULD BE 0.10' ABOVE CROWN OF ROAD (UNLESS INDICATED OTHERWISE)

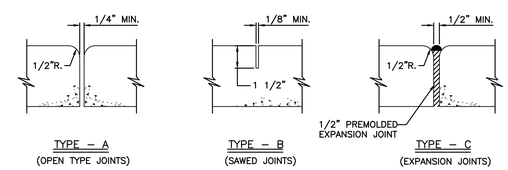
SIDEWALK SHOULD BE 8" THK. ACROSS DRIVEWAYS

PROVIDE H.C. RAMPS AT STREET CORNERS (PER ADA MIN.STANDARDS & FDOT INDEX NO. 304)



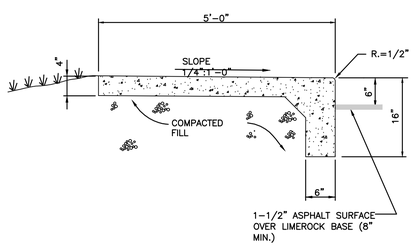
SIDEWALK PLAN

N.T.S.



SIDEWALK JOINTS

N.T.S.



SIDEWALK WITH CURB

DETAIL

NTS

TYPICAL SIDEWALK THICKNESS (T)

LOCATION :	"T"
RESIDENTIAL AREAS	4"
DRIVEWAYS & OTHER	8"

NOTES:

1. EXPANSION JOINTS EVERY 50' O.C.
2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
3. 8" THK. SIDEWALK ACROSS DRIVEWAYS

TABLE OF SIDEWALK JOINTS

TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILIAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

* INSTALLED AT THE DISCRETION OF THE ENGINEER

SIDEWALK DETAIL

DETAIL

NTS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

HOLLAND ENGINEERING INC.
civil engineers
3900 HOLLYWOOD BLVD, STE. 303 – HOLLYWOOD – FL – 33021
(954)367-0371 . (954)367-0372 Fax

CA 7325

SUSAN C. HOLLAND, PE
Reg. no. 41831

CIVIL DETAILS

SCALE: N.T.S.

C-5

18-01

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

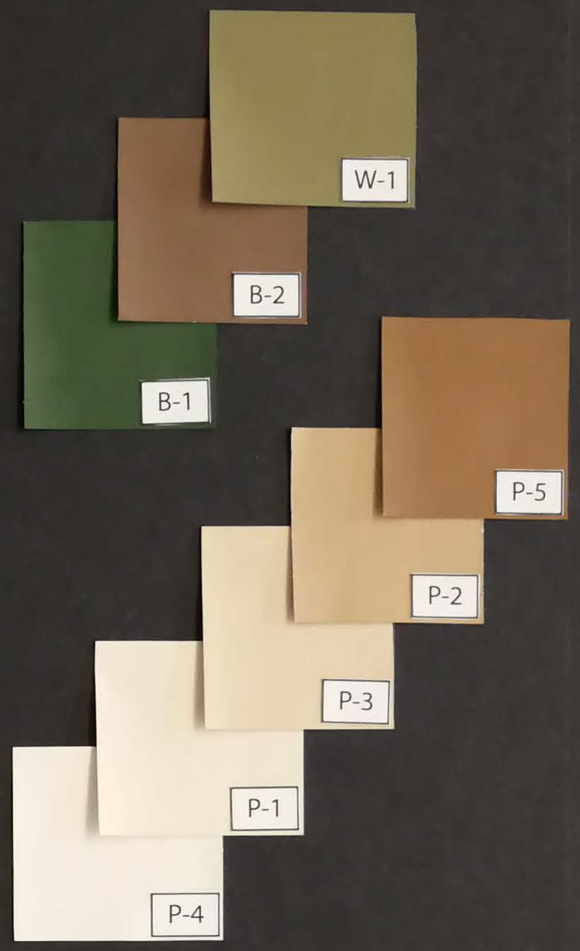
Project No. : 2017-182

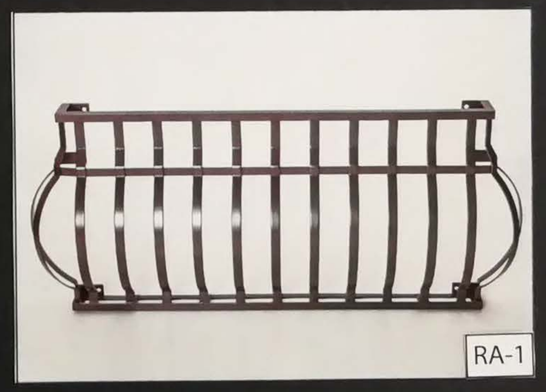
Drawn By : AA

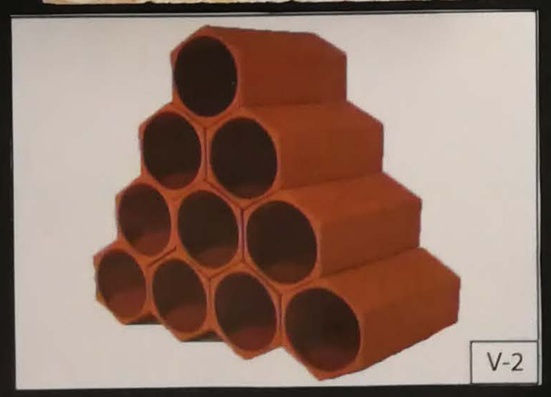
Checked By : SCH

Date: 05/07/18

REVISIONS







SALTZ MICHELSON
ARCHITECTS

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE

1
SP1
Site Plan
1/16" = 1'-0"

NORTH

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com
AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
ZH, YD
Checked By :
SW
Date:
04/02/2018

REVISIONS

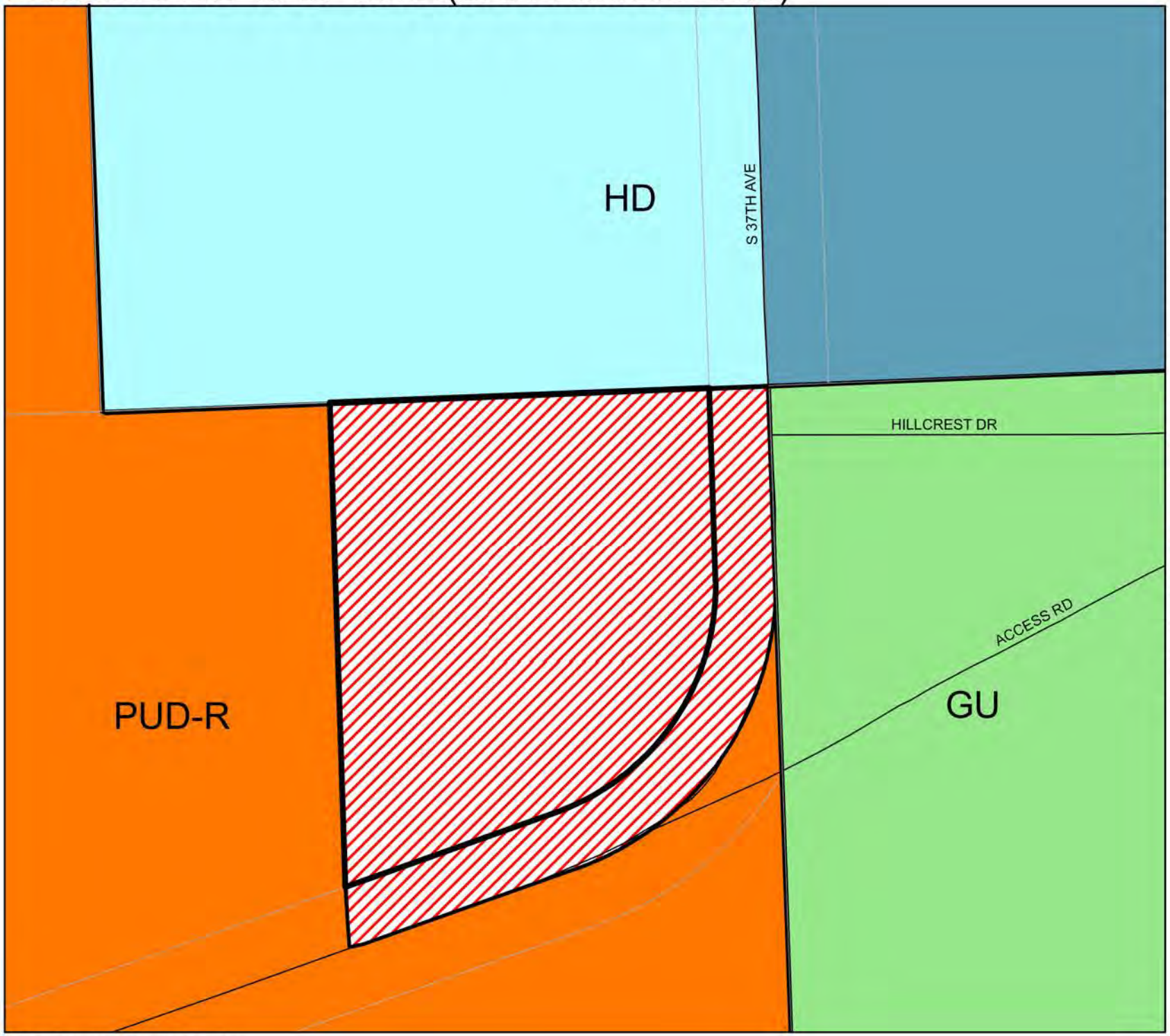
4/2/2018 3:17:32 PM C:\USERS\YSUAREZ\DOCUMENTS\17-182_TOBIN BUILDING-CENTRAL_YDANIS.RVT

SP1

ATTACHMENT B

Land Use & Zoning Map

Folio ID: 5142-19-27-0072 (3701 Hillcrest Drive)



DEVELOPMENT SERVICES
PLANNING

Legend

- Subject Property
- Streets
- Major Roads

LAND USE

- MRES
- COMFAC
- OFF
- OSR
- COMFLEX

ZONING

- GU
- HD
- PUD-R

0 15 30 60 Feet

N

GIS File: H:\GIS Maps\PDFs\Zoning Letter\3701 Hillcrest Drive