

Planning and Development Board

Tuesday, May 12, 2026

6:00 PM

City of Hollywood



Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Room 219

Thank you for demonstrating an interest in the City of Hollywood Planning and Development Board Meeting. The public may view the meeting either in person, virtually <http://hollywoodfl.org/calendar> or on channel 78 for Comcast, channel 99 for AT&T U-Verse.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so in person:

In-person:

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Board's Clerk prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

To register use the Board Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. Should an item require consideration by multiple Boards, individual forms shall be submitted for each Board. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

<https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal>

Due to the quasi-judicial nature of items, written comments CANNOT be read into the record. Public comment shall be limited to three minutes speaking time maximum. All comments received during the submission period will become part of the public record. Comments left on voicemail machines, emailed, posted to the City's social media accounts or submitted for virtual comment after 6:00 PM on the day prior to the meeting shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. For the hearing and speech impaired at 800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at planningdivision@hollywoodfl.org.

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.

A. Administration

1. Pledge of Allegiance
2. Roll Call
3. Approval of the Previous Meeting Minutes

Attachments: [PDB Minutes 04_14](#)

4. Additions, Deletions, Withdrawals, and Continuances
5. City Attorney Announcements

Attachments: [Witness List P-26-01](#)

Attachments: [Quasi-Judicial Hearing Procedures](#)

B. Applications

ITEM # 1 BELOW IS CONSIDERED QUASI-JUDICIAL

[1. 2026 0512](#)

FILE NO.: 24-DP-78

APPLICANT: 2323 POLK LLC

LOCATION: 2323 Polk Street

REQUEST: Design and Site Plan for approval of a new four (4) story, 27-unit multi-family residential development of approximately 30,600 square feet in the DH-2 Zoning District within the Regional Activity Center (RAC).

Attachments: [2478_PDB Staff Report_0512](#)
[2478 Attachment A Application Package](#)
[2478 Attachment B Land Use and Zoning Map](#)
[2478 Attachment C Public Participation](#)

C. Old Business

D. New Business

1. Review of projects before the Development Review Committee
2. Summary of the City Commission Actions

E. Adjournment

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Any person wishing to appeal any decision made by this Commission with respect to any matter considered at such meeting or hearing will need a record of the proceedings, and for such purposes may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. If an individual is hearing or speech impaired, please call 1-800-955-8771 (V-TDD).



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Agenda Date: 5/12/2026

To: Planning and Development Board

Title:

**SUMMARY OF THE MINUTES
PLANNING AND DEVELOPMENT BOARD**

CITY OF HOLLYWOOD
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020

A. ADMINISTRATIONS

1. Pledge of Allegiance

2. Roll Call

The meeting of the Planning and Development Board was called to order by Board Chair, Joseph Stadlen, on **Tuesday, April 14, 2026, at 6:00 PM** in Room 219, 2600 Hollywood Blvd., Hollywood, Florida, with the following members present:

Joseph Stadlen	Richard Blattner
Bob Glickman	Odalys Delgado
Mena Morgan (arrived at 6:17pm)	Christine Corbo

The following members were absent from the meeting:

Steven Morales
Tara Jafarmadar

Development Services, Division of Planning and Urban Design Staff present:

Andria Wingett	Director
Cameron Palmer	Assistant Director/Chief Planner
Adrian Montoya	Planner II
Urja Modi	Planner II
David Valdelamar	Assistant Planner
Clarissa Ip	Assistant Director
Stephanie Rivera	Development Review Coordinator

Also Present:

Judelande Jeone	Interim City Attorney (Board Attorney)
Farosha Andasheva	Sr. Assistant City Attorney (Board Attorney)
Alicia Lewis	Outside Counsel (Staff Attorney)

[Type here]

1. Approval of the Meeting Minutes

March 10, 2026 - approved.

MOTION WAS MADE BY RICHARD BLATTNER AND SECONDED BY TARA JAFARMADAR TO APPROVE THE MARCH 10,2026 MINUTES. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

4. Additions, Deletions, Withdrawals, and Continuances

None.

5. Sr. Assistant City Attorney Announcements

Judelande Jeone read the Sr. Assistant City Attorney 's proceedings.

B. APPLICATIONS

ITEM #1-3 BELOW ARE CONSIDERED QUASI-JUDICIAL AND MAY BE SUBJECT TO A CRR REGULATION:

1. **FILE NO.:** 26-S-13
APPLICANT: Paul Fluty on behalf of Archdiocese of Miami Nativity Church
LOCATION: 5220 Johnson Street
REQUEST: Special Exception to permit the expansion of a legal non-conforming use, pursuant to Section 3.12 of the Zoning and Land Development Code, to facilitate the addition of an 860-square-foot modular building to an existing school, pursuant to Section 4.22 of the Zoning and Land Development Code, in the RS-5 zoning district.

Joseph Stadlen asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Urja Modi, Planner II, presented the item and answered questions from the Board.

Joseph Stadlen opened the meeting to public comments. No Public Comments were made. Joseph Stadlen closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY CHRISTINE CORBO AND SECONDED BY RICHARD BLATTNER TO APPROVE SPECIAL EXCEPTION WITH STAFF CONDITIONS. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

- 2. FILE NO.:** 26-F-07
APPLICANT: Gramanzini Beach Props III LLC
LOCATION: 1402 North Surf Road
REQUEST: To allocate one (1) Flexibility Unit from the City's Unified Flexibility Zone for the property located at 1402 North Surf Road within the Boardwalk Historic District Commercial (BWK-25-HD-C) zoning district.

Joseph Stadlen asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

Adrian Montoya, Planner II, presented the item and answered questions from the Board.

Joseph Stadlen opened the meeting to public comments. No Public Comments were made. Joseph Stadlen closed the public comment portion.

Board discussion ensued.

MOTION WAS MADE BY CHRISTINE CORBO AND SECONDED BY RICHARD BLATTHER TO FORWARD RECOMMENDATION FOR ONE (1) FLEXIBILITY UNIT TO THE CITY COMMISSION. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

- 3. FILE NO.:** 26-V-04
APPLICANT: Greenspoon Marder LLP / Elizabeth Somerstein, Esq. On behalf of Nova Southeastern University
LOCATION: 8000 N Ocean Drive
REQUEST: Variances from Article 8, section 8.4(A)(7) of the Zoning and Land Development Regulations to permit a 583 square-foot wall sign, whereas 150 square feet is the maximum permitted; and to increase the maximum number of permitted wall signs from 3 to 6 within the Government Use (GU) Zoning District at the NSU Oceanographic Center Campus.

Joseph Stadlen asked Staff, the Applicant, and members of the public if they wished to waive Quasi-Judicial Proceedings. Quasi-Judicial Proceedings were waived.

David Valdelamar, Assistant Planner, presented the item and answered questions from the Board.

Joseph Stadlen opened the meeting to public comments. No Public Comments were made. Joseph Stadlen closed the public comment portion.

Board discussion ensued.

THE CHAIR, JOSEPH STADLEN, CALLED FOR A MOTION TO APPROVE VARIANCE #1 AND VARIANCE #2, WHICH WAS ADOPTED BY ACCLAMATION. MOTION PASSED UNANIMOUSLY BY VOICE VOTE.

C. OLD BUSINESS

D. NEW BUSINESS

E. ADJOURNMENT

The meeting was adjourned at 7:03 P.M.

DRAFT



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Agenda Date: 5/12/2026

To: Planning and Development Board

Title:

**CITY OF HOLLYWOOD
MEMORANDUM
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: April 27, 2026

MEMO NO.: P-26-01

TO: City Clerk

FROM: Andria Wingett, Director of Development Services

SUBJECT: Witness List for Quasi-Judicial Items

EXPLANATION:

Following is a list of Development Review Committee members which may serve as witnesses for all **Planning and Development Board, Historic Preservation Board, and City Commission Quasi-Judicial items.** Resumes and credentials on file with the Office of Human Resources. The City may add additional witness for specific items as necessary in conformance with Quasi-Judicial procedures.

Raelin Storey	City Manager
Donna Biederman	Community Development Coordinator
Liliana Beltran	Housing Inspector
Andria Wingett	Director of Development Services
Clarissa Ip	Assistant Director/ Chief City Engineer
Rick Mitinger	Assistant City Engineer
Lisa Bernstein	External Traffic Consultant
Adam Licht	Engineering Specialist II
Favio Perez	Landscape Inspector/ Plans Examiner
Russell Long	Chief Building Official
Daniel Quintana	Assistant Building Official
James McGuinness	Assistant Building Official
Timothy Jones	Chief Structural Inspector
Angela Kelsheimer	Operations Administrator, Parking and Code
Natnael Jowhar	Compliance Parking Operations
Elaine Franklin	Superintendent Environmental Sustainability
Vincent Morello	Coordinator Director of Public Utilities
Feng Jiang	Assistant Director of Public Utilities
Alicia Vereas-Feria	Utilities Permit Review Manager
Joi Ford	Engineer of Public Utilities

Marcy Hofle	Deputy Fire Marshal / Battalion Chief
Chris O'Brien	Director of Public Safety
Ryan Ostrowsky	Police Lieutenant
Chantel Magrino	Crime Prevention Specialist
Joseph Kroll	Director of Public Works
Rosendo Prieto	Assistant Director of Public Works
Ricky Engle David	Director of Parks, Recreation, and Cultural Arts Assistant
Vazquez	Director of Parks, Recreation, and Cultural Arts
Cameron Palmer	Assistant Director/ Chief Planner
Nicole Moyo	Principal Planner/ Supervisor - Planning and Urban Design
Robert Gooljar	Principal Planner / Supervisor - GIS
Laura Gomez	Planner II
Umar Javed	Planner III
Adrian Montoya	Planner II
Susan Goldberg	Director, Community Redevelopment Agency

Francisco Diaz-Mendez	Project Manager, Community Redevelopment Agency
Christopher Crocitto	Project Manager, Community Redevelopment Agency
Herbert Conde-Parlato	Economic Development Manager



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Agenda Date: 5/12/2026

To: Planning and Development Board

Title:

**QUASI-JUDICIAL HEARING PROCEDURES
AND RULES FOR EX-PARTE COMMUNICATIONS**

I. Scope and Applicability. These procedures shall apply to all quasi-judicial hearings held by the City Commission or by any Board or Committee (hereinafter referred to as "Boards") which holds quasi-judicial hearings. The City Attorney shall determine which matters are quasi-judicial in nature and shall direct the City Clerk or Board liaison to designate specially such matters on the agenda.

II. Proceedings. Mayor, Vice Mayor or other presiding officer (hereafter, the "Presiding Officer") shall conduct the proceedings and maintain order. The City Attorney or legal advisor shall represent the City Commission or Board, rule on all evidentiary and procedural issues and objections, and advise the City Commission or Board as to the applicable law and necessary factual findings. Hearings shall be conducted informally, but with decorum. Formal rules of procedure shall not apply except as set forth herein; however, fundamental due process shall be accorded.

III. Unauthorized Communications. In all quasi-judicial hearings, all rulings must be based only upon the evidence presented at the hearing. In accordance with Section 286.0115(1), Florida Statutes, ex parte communications with City Commissioners or Board members in quasi-judicial matters is permissible and the adherence to the following procedures shall remove the presumption of prejudice arising from ex parte communications with City Commissioners or Board members:

1. The substance of any ex parte communication with a City Commissioner or Board member which relates to a quasi-judicial action pending before the Commission or Board is not presumed prejudicial to the action if the subject of the communication and the identity of the person, group, or entity with whom the communication took place is disclosed and made a part of the record before the final action on the matter.

2. A City Commissioner or Board member may read a written communication from any person. However, a written communication that relates to a quasi-judicial action pending before the Commission or Board shall not be presumed prejudicial to the action, and such written communication shall be made a part of the record before final action on the matter.

3. City Commissioners or Board members may conduct investigations and site visits and may receive expert opinions regarding quasi-judicial action pending before them. Such activities shall not be presumed prejudicial to the action if the existence of the investigation, site visit, or expert opinion is made a part of the record before final action on the matter.

4. Disclosure made pursuant to subparagraphs 1, 2 and 3 must be made before or during the public meeting at which a vote is taken on such matters, so that persons who have opinions contrary to those expressed in the ex parte communication are give a reasonable opportunity to refute or respond to the communication.

IV. Witnesses and Supporting Materials. At least eight City business days before a quasi-judicial hearing.

A. Staff shall prepare a report, recommendation and supporting materials, a copy of which shall be available to the applicant, appellant and to the public at the City Clerk's Office. Included in the supporting materials will be copies of all exhibits and documents upon which staff's recommendation is based.

B. The Applicant and the Appellant, if applicable, shall submit a detailed outline of the argument in support of their application, copies of all exhibits which will be presented at hearing and the names and addresses of all witnesses who will be called to testify in support of the application (including resumes for any witness the party intends to qualify as an expert).

C. The eight City business day deadline is necessary to ensure the Commission or Board members are given sufficient opportunity to review the written submissions prior to the hearing, and shall be strictly observed. Should the eight-day City business day deadline be missed by either staff or the Applicant, the item may be continued at the discretion of the City Commission or Board to the next available agenda.

V. Party Intervenors.

The City Attorney may allow a person to intervene as a Party Intervenor if they meet the following requirements:

A. The person must have an interest in the application, which is different than the public at large.

B. At least ~~eight~~ three days prior to the hearing, the person shall submit a written request to intervene including: a detailed outline of their interest in the application and argument in favor or against it, copies of all exhibits which will be presented at the hearing and the names and addresses of all witnesses who will be called to testify on their behalf (including resumes for any witness the person intends to qualify as an expert).

VI. Conduct of Hearing.

A. The Presiding Officer shall call the proceeding to order and announce that the hearing has begun.

B. The Presiding Officer, City Attorney or legal advisor shall inquire whether all parties, members of the public and Commission or Board members agree to waiving the quasi-judicial hearing.

C. When the quasi-judicial hearing is not waived, the City Attorney, legal advisor or Presiding Officer shall explain the rules concerning procedure, testimony, and admission of evidence.

D. When the quasi-judicial hearing is not waived, the City Clerk or staff liaison shall swear in all witnesses who are to testify at the hearing.

E. The order of proof shall be as follows:

1. A representative of the City's staff (or outside counsel) shall briefly describe the Applicant's request, introduce and review all relevant exhibits and evidence, report staff's recommendation, and present any testimony in support of staff's recommendation. Staff shall have a maximum of 30 minutes to make their full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

2. The Appellant, if applicable, (or his/her representative or counsel) shall present evidence and testimony in support of the application. Appellant shall have a maximum of 30 minutes to make its full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

3. Any Party Intervenor (or his/her representative or counsel) shall present evidence and testimony in support of or opposed to the application. A Party Intervenor shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board Member.

4. The Applicant (or his/her representative or counsel) shall present evidence and testimony in support of the application. Applicant shall have a maximum of 30 minutes to make his/her full presentation, including opening statement and all direct presentation by witnesses, but excluding any cross-examination or questions from the Commission or a Board member.

5. Any other persons present who wish to submit relevant information to the City Commission or Board shall speak next for a maximum of three minutes each (excluding any cross-examination or questions from the Commission or a Board member). Members of the public will be permitted to present their non-expert opinions, but the Commission or board will be expressly advised that public sentiment is not relevant to the decision, which must be based only upon competent and substantial evidence.

6. The Appellant will be permitted to make final comments, if any (maximum of five minutes).

7. The Applicant will be permitted to make final comments, if any (maximum of five minutes).

8. The Party Intervenor will be permitted to make final comments, if any (maximum of five minutes).

9. The City's staff will make final comments, if any (maximum of five minutes).

10. At the discretion of the Presiding Officer, the Applicant may be permitted to respond to the final Party Intervenor and staff comments and recommendations (maximum of three minutes).

G. The City Attorney or legal advisor will advise the City Commission or Board as to the applicable law and the factual findings that must be made to approve or deny the application.

H. The City Commission or Board will conduct open deliberation of the application. The Presiding Officer shall have the discretion to reopen the proceeding for additional testimony or argument by the parties when an outcome substantially different than either the granting or denial of the application is being considered. After deliberations, a vote shall be taken to approve, approve with conditions or deny the application.

VII. Examination by Commissioners and City Attorney or Legal Advisor.

Commissioners, Board members and the City Attorney or Legal Advisor may ask questions of persons presenting testimony or evidence at any time during the proceedings until commencement of deliberation.

VIII. Cross-Examination of Witnesses. After each witness testifies, the City staff representative, the Applicant's representative, Appellant's representative, and/or the Party Intervenor's representative shall be permitted to question the witness, but such cross-examination shall be limited to matters about which the witness testified and shall be limited to five minutes per side. Members of the public will not be permitted to cross-examine witnesses. Cross-examination shall be permitted only as would be permitted in a Florida court of law.

IX. Rules of Evidence.

A. All evidence of a type commonly relied upon by reasonably prudent persons in the conduct of their affairs shall be admissible, whether or not such evidence would be admissible in a court of law in Florida. Irrelevant, immaterial, harassing, defamatory or unduly repetitive evidence shall be excluded.

B. Hearsay evidence may be used for the purposes of supplementing or explaining other evidence, but it shall not be sufficient by itself to support a finding unless it would be admissible over objection in a civil action.

C. Documentary evidence may be presented in the form of a copy or the original. Upon request, parties shall be given an opportunity to compare the copy with the original.

X. Statements of Counsel. Statements of counsel, or any non-attorney representative, shall only be considered as argument and not testimony unless counsel or the representative is sworn in and the testimony is based on actual personal knowledge of the matters which are the subject of the statements.

XI. Continuances and Deferrals. The City Commission or Board shall consider requests for continuances made by City staff, the Applicant, the Appellant or a Party Intervenor and may grant continuances in its sole discretion. If, in the opinion of the City Commission or Board, any testimony or documentary evidence or information presented at the hearing justifies allowing additional research or review in order to properly determine the issue presented, then the City Commission or Board may continue the matter to a time certain to allow for such research or review.

XII. Transcription of hearing.

A. The City Clerk or staff liaison shall preserve the official transcript of the hearing through tape recording and/or video recording.

B. The Applicant, Appellant or Party Intervenor may arrange, at its own expense, for a court reporter to transcribe the hearing.

C. The Applicant, Appellant or Party Intervenor may request that all or a part of the transcript of a hearing be transcribed into verbatim, written form. In such case, the Applicant, Appellant or Party Intervenor requesting the transcript shall be responsible for the cost of production of the transcription and the transcription shall become the official transcript.

XIII. Maintenance of Evidence and Other Documents. The Office of the City Clerk or staff liaison shall retain all of the evidence and documents presented at the hearing unless any such evidence is too large to be stored by the City Clerk or staff liaison. In that event, such evidence will be stored in the Community Planning and Development Department.

XIV. False Testimony. Any willful false swearing on the part of any witness or person giving evidence before the Commission or Board as to any material fact in the proceedings shall be deemed to be perjury and shall be punished in the manner prescribed by law for such offense.

XV. Failure of Applicant to Appear. If the Applicant, the Appellant or Party Intervenor or their representative fails to appear at the time fixed for the hearing, and such absence is not excused by the Commission or Board, the Commission or Board may proceed to hear the evidence and render a decision thereon *in absentia*.

XVI. Subpoena Power. The Applicant, the Appellant or Party Intervenor or City's staff shall be entitled to compel the attendance of witnesses through the use of subpoenas. All such subpoenas shall be issued by the City Clerk at the request of the Applicant, Appellant or City's staff.



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

File Number: 1. 2026_0512

Agenda Date: 5/12/2026

Agenda Number:

To: Planning and Development Board

Title: FILE NO.: 24-DP-78
APPLICANT: 2323 POLK LLC
LOCATION: 2323 Polk Street
REQUEST: Design and Site Plan for approval of a new four (4) story, 27-unit multi-family residential development of approximately 30,600 square feet in the DH-2 Zoning District within the Regional Activity Center (RAC).

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: May 12, 2026 **FILE:** 24-DP-78

TO: Planning and Development Board

VIA: Cameron Palmer, Assistant Director, Chief Planner

FROM: Umar Javed, Planner III

SUBJECT: Leopoldo Bellon, AIA requesting Design and Site Plan approval for a 27-unit multi-family development of approximately 30,600 square feet and four (4) stories (approximately 42 feet in height) in the DH-2 Zoning District within the Regional Activity Center. (2323 Polk Street)

REQUEST:

Design and Site Plan for approval of a new four (4) story, 27-unit multi-family residential development of approximately 30,600 square feet in the DH-2 Zoning District within the Regional Activity Center (RAC).

RECOMMENDATION:

Design: Approval.

Site Plan: Approval, if Design is granted, subject to the following conditions:

1. Prior to issuance of the first building permit, the applicant shall submit a covenant, in a form acceptable to the City Attorney, running with the land that holds the city harmless against any claims arising from accidents as a result of the use of mechanical parking lifts. The covenant shall be recorded in the Public Records of Broward County by the city prior to the issuance of a certificate of occupancy or certificate of completion.
2. The road restoration plan shall be revised. The Applicant shall be responsible for restoration of the full northbound lane along Polk Street, consistent with the limits depicted on Sheet C9 (Water and Sewer Plan). The submitted plans shall be updated to reflect revised restoration limits and corresponding hatching.
3. The Applicant shall coordinate with the Department of Public Utilities regarding any proposed encroachments within utility easements, including but not limited to building projections, bump-outs, masonry walls, and associated footings. Any impacts to existing utilities or easement areas shall be addressed to the satisfaction of Public Utilities.

BACKGROUND

The subject site, located at 2323 Polk Street, comprises approximately 20,500 net square feet (0.47 net acres), is zoned DH-2 in the Zoning and Land Development Regulations (ZLDR), and is located within the Regional Activity Center (RAC). The land is situated on the north side of Polk Street and is surrounded by residential uses to the north, south, east, and west.

The intention of the RAC is to facilitate multi-use and mixed-use development, encourage mass transit, reduce the need for automobile travel, provide incentives for quality development, and give definition to the urban form. Furthermore, the purpose of the RAC is to concentrate density in specific areas, protecting adjacent residential neighborhoods from excessive growth and commercial intrusion while accommodating a diverse range of housing types, heights, and intensities, which is ideal for sustainable growth.

Pursuant to the Broward County Planning Council replatting is not a requirement for redevelopment of this lot.

REQUEST

The Applicant is requesting review and approval of the Design and Site Plan application for a 27-unit multi-family development. The applicant is proposing 3 one-bedroom units (plus den) and 24 two-bedroom units that will equate to a minimum cumulative average size of 881 square feet per unit.

The proposed building is designed with a maximum height of 42 feet, encompassing approximately 30,670 square feet of gross floor area. The proposed development will meet the landscaping and open space requirements of the ZLDRs through the provision of green space at grade.

The applicant proposes a total of 55 parking spaces, 7 of which will be single spaces, 28 will be tandem spaces and 20 through parking lifts that will be allocated for the two-bedroom units. Of the 55 total parking spaces, the applicant is proposing 3 ADA spaces and 3 guest spaces (including one of the ADA spaces), which is compliant with the City's Zoning and Land Development Regulations.

Staff notes that the applicant has fulfilled all public outreach requirements, including a public participation meeting which was held for members of the public on December 23, 2024, for informational purposes.

Staff notes that due to the existing unit capacity limitation of the Regional Activity Center, units requested as part of this development request will be provided through the City's Flexibility Unit allocation pursuant to City Commission action R-2025-253.

The proposed development has completed the Development Review and Site Plan process pursuant to Section 6.19 of the Zoning and Land Development Regulations and has received signoffs from the applicable City departments and divisions that make up the Development Review Committee. Accordingly, the Applicant is seeking approval from the Planning and Development Board.

PROJECT INFORMATION

Owner/Applicant:	Owner: 2323 Polk LLC Applicant: Leopoldo Bellon, AIA
Address/Location:	2323 Polk Street
Net Size of Property:	+/- 20,500 square feet (0.47 acres)
Land Use:	Regional Activity Center (RAC)
Existing Zoning:	Dixie Highway Medium Intensity Multi-Family District (DH-2)
Present Use of Land:	Residential

Gross Floor Area: 30,670 square feet
Parking 55 spaces
Bike Parking: 8 spaces

ADJACENT LAND USE

North: Regional Activity Center (RAC)
South: Regional Activity Center (RAC)
East: Regional Activity Center (RAC)
West: Regional Activity Center (RAC)

ADJACENT ZONING

North: Dixie Highway Medium Intensity Multi-Family District (DH-2)
South: Transitional Core District (TC-1)
East: Dixie Highway Medium Intensity Multi-Family District (DH-2)
West: Dixie Highway Medium Intensity Multi-Family District (DH-2)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Located within the Regional Activity Center, the subject site is surrounded by a mix of low to medium density residential developments. The goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.* The intent of the Regional Activity Center land use designation is to *encourage redevelopment or development of areas that are regionally significant. The major purposes of this designation are to facilitate multi-use and mixed-use development, encourage mass transit, reduce the need for automobile travel, provide incentives for quality development, and give definition to the urban form.* Development of this site enhances the area, encourages redevelopment of the area, and reduces blight within the Regional Activity Center.

Together the architectural elements create a design that is non-intrusive while establishing a strong design tone for the future development of the Regional Activity Center. Furthermore, the design uses landscaping to enhance the property and soften the transition between the building and its context. The landscape plan incorporates an array of native trees, palms, and shrubs while improving the streetscape. The building meets all building and parking setbacks.

The proposed development is consistent with the City of Hollywood Comprehensive Plan, including but not limited to the following Objectives of the Land Use Element:

Land Use Element – Objective 5: *Encourage appropriate infill, redevelopment in blighted areas throughout the City, and economic development in blighted business and tourist areas.*

Land Use Element – Objective 6: *Encourage multi-use areas and mixed uses concentrations of density near existing or planned major employment centers and major transportation routes in order to promote energy conservation and mass transit, preserve air quality, reduce the cost of services, encourage affordable housing, and promote economic development.*

Based on the foregoing, the proposed project is consistent with the goals, objectives, and policies of the City's Comprehensive Plan.

APPLICABLE CRITERIA - DESIGN

Analysis of Criteria and Findings for Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERIA 1: *Architectural and Design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

ANALYSIS: The building features a mix of high-quality materials to enhance visual interest and minimize the visual impact of the structure. The building also incorporates varied architectural elements—such as balconies, overhangs, and vertical articulation—to reinforce human scale and reflect design characteristics found within the neighborhood.

FINDING: Consistent.

CRITERIA 2: *Compatibility.* The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures, and the surrounding neighborhood; and with the established and adopted vision for the area.

ANALYSIS: The proposed development demonstrates compatibility with the evolving character of the area, which includes a mix of residential development. The proposal fits within this context, especially given that is located within the Regional Activity Center. The project's scale, massing, and materials are harmonious with the surrounding community, thereby promoting a unified and vibrant streetscape. The applicant's attempt to screen the parking garage from the public right of way reinforces this compatibility, aligning with the adopted vision for the Regional Activity Center as a walkable, transit-oriented, and architecturally cohesive urban center.

Staff finds the proposal to be compatible with the surrounding area. Under Florida Statutes, compatibility is defined as a condition in which land uses can coexist in relative proximity in a stable fashion over time without one use being unduly negatively impacted by another. Staff notes compatibility does not require that surrounding development be identical in form or character. Rather, staff finds that the proposal can appropriately coexist with the existing and planned character of the area, particularly with the mitigating measures built into the

zoning district, including setbacks, buffering, landscaping, parking, and other site design standards.

FINDING: Consistent.

CRITERIA 3: *Scale/Massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures; and with the established and adopted vision for the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings.

ANALYSIS: The development has been designed to reflect appropriate proportions and massing within the evolving context of the neighborhood. Rising 4 stories in height, the building establishes a moderate urban presence while maintaining a balanced relationship with surrounding structures. The design emphasizes vertical articulation, clean geometries, and material variation to break down the overall scale into a cohesive and legible form. Key architectural features include the balconies for the units as well as vertical massing and design treatments on the building facade.

FINDING: Consistent.

CRITERIA 4: *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The landscape design has been developed to enhance curb appeal, promote sustainability, and create a welcoming environment for residents. At the ground level, a mix of plant species provides shade, softens hardscapes, and activates the pedestrian experience along the walkways. The applicant is proposing green and open space that meets code requirements.

FINDING: Consistent.

SITE PLAN

The Development Review Committee (DRC) found the proposed Site Plan compliant with all regulations as set forth in Article 6 of the Hollywood Zoning and Land Development Regulations. The Development Review Committee has included comments that are to be considered at the time of permitting and conditions to be considered post approval.

The following standards shall be utilized by the Development Committee and the Planning and Development Board in the review, evaluation, and approval of all required plans and exhibits:

- A. *Natural Environment.* All proposed development shall be designed in such a manner as to preserve, perpetuate and improve the existing natural character of the site. Existing trees and

other landscape features shall, to the maximum extent possible, be preserved in their natural state; and additional landscape features shall be provided to enhance architectural features, to relate structural design to the site, and to conceal unattractive uses. In all instances the city's tree protection, landscaping and all other applicable regulations shall be fully complied with as minimum standards.

- B. *Open space.* Adequate landscaped open space shall be provided which meets the particular needs and demands of the proposed development and all specific zoning district requirements. Legal methods assuring the continued preservation and maintenance of required open space shall be submitted to and approved by the City Attorney. The type and distribution of all open space shall be determined by the character, intensity and anticipated residential or user composition of the proposed development.

1. Passive open spaces (those areas not planned for intensive activity) shall be arranged as to enhance internal spatial relationships between proposed structures, to provide buffers between the project and adjacent less intensive uses, to facilitate pedestrian movements within the development, and to improve the overall visual quality of the site.

2. Active open spaces (those areas containing activities such as playgrounds, tennis courts, swimming pools and other active recreational facilities) shall be located so as to permit easy access to all residents or users within a development. Private recreational facilities and activities within specific projects shall, wherever possible, complement, rather than duplicate, nearby public recreational activities.

- C. *Circulation and parking.* All circulation systems and parking facilities within a proposed development shall be designed and located in such a manner as to comply with the following:

1. A clearly defined vehicular circulation system shall be provided which allows free movement within the proposed development while discouraging excessive speeds. Said systems shall be separated insofar as practicable from pedestrian circulation systems. Pavement widths and access points to peripheral streets shall be provided which adequately serve the proposed development and which are compatible and functional with circulation systems outside the development.

2. Whenever possible in proposed residential developments, living units should be located on residential streets or courts which are designed to discourage nonlocal through traffic.

3. Off-street parking areas shall be provided which adequately accommodate maximum vehicle storage demands for the proposed project and are located and designed in such a manner so as to conveniently serve the uses to which they are accessory and not create incompatible visual relationships.

4. Safe and efficient access to all areas of the proposed development shall be provided for emergency and service vehicles, as required by the Florida Building Code in effect in Broward County, Florida, as revised from time to time.

5. Sidewalks shall be provided as required by the city regulations.

6. Handicapped Accessibility shall be provided as required by all applicable regulations.

- D. *Community services and utilities.* All proposed developments shall be designed and located in such a manner as to insure the adequate provision, use and compatibility of necessary community services and utilities.
1. An adequate sanitary sewer collection system including all necessary extensions and connections, shall be provided in accordance with city standards for location and design. Where necessitated by the size of the development and/or by the unavailability of city treatment facilities, sanitary sewage treatment and disposal systems must be provided in accordance with city and state standards and regulations.
 2. An efficient solid waste collection system, including the provisions of an adequate number of properly screened local receptacles in locations which afford maximum use and collection convenience, shall be provided in accordance with all applicable city standards.
 3. A well designed internal system for fire protection, including the provisions of an adequate number of properly located fire hydrants and an efficient access arrangement for emergency fire vehicles, shall be provided to insure the safety of all persons within the project.
- E. *Building and other structures.* All buildings and structures proposed to be located within a development shall be oriented and designed in such a manner as to enhance, rather than detract from, the overall quality of the site and its immediate environment. The following guidelines shall be followed in the review and evaluation of all buildings and structures:
1. Proposed buildings and structures shall be related harmoniously to the terrain, other buildings and the surrounding neighborhood, and shall not create through their location, style, color or texture incompatible physical or visual relationships.
 2. All buildings and structures shall be designed and oriented in a manner insuring maximum privacy of residential uses and related activities both on the site being developed and property adjacent thereto.
 3. All permanent outdoor identification features which are intended to call attention to proposed projects and/or structures shall be designed and located in such a manner as to be an integral part of the total project and/or structural design and shall not exceed a size and scale necessary for the recognition from vehicles moving along adjacent streets at prescribed legal speeds.
- F. *Level of service standards.* For the purpose of the issuance of development orders and permits, the city has adopted level of service standards for public facilities and services which include roads, sanitary sewer, solid waste, drainage, potable water, and parks and recreation. All Applicants are required to prove concurrency pursuant to the City's Comprehensive Plan and F.S. Chapter 163, as amended from time to time.
- G. *Other requirements.* Requirements and recommendations as provided in the city tree and landscape regulations shall be observed as will the requirements of all applicable standards and regulations.

ATTACHMENTS

Attachment A: Application Package
Attachment B: Land Use and Zoning Map
Attachment C: Public Participation

ATTACHMENT A
Application Package

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 2323 POLK STREET

Lot(s): 8 Block(s): 8 Subdivision: Hollywood Little Ranches

Folio Number(s): 514216013510

Zoning Classification: DH-2 Land Use Classification: Rec Activity Center

Existing Property Use: Duplex R Sq Ft/Number of Units: 2

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

DEVELOPMENT PROPOSAL

Explanation of Request: Approval of a new 4-story 27 Apartment units to be developed as a residential comdominium

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="27"/> #Rooms <input type="text" value="54"/>
Proposed Non-Residential Uses	<input type="text" value="0"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="20"/> (Area: <input type="text" value="5,844 (28.5%)"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="57"/>)
Height (# of stories)	(# STORIES) <input type="text" value="4"/> (<input type="text" value="53"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="30,075"/> FT.)

Name of Current Property Owner: 2323 Polk LLC

Address of Property Owner: 4878 SW 74 Court, Miami, FL 33155

Telephone: 786-458-1805 Email Address: sales@mountaincovehomes.com

Applicant Leopoldo Bellon, AIA Consultant Representative Tenant

Address: 12930 SW 128th Street, Suite 203, Miami, FL 33186 Telephone: 305-790-2626

Email Address: leo@bellonglobal.com

Email Address #2: amy@bellonglobal.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

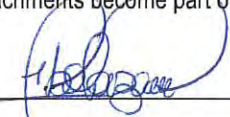
Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

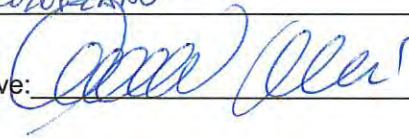
CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 8-22-2024

PRINT NAME: VICTOR F. SOLORZANO Date: _____

Signature of Consultant/Representative:  Date: 8/16/24

PRINT NAME: Leopoldo Bellon, Architect Date: 8/16/2024

Signature of Tenant: _____ Date: _____

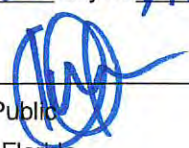
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for zoning process approval to my property, which is hereby made by me or I am hereby authorizing Leopoldo Bellon, AIA to be my legal representative before the TAC (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 22 day of August, 2024

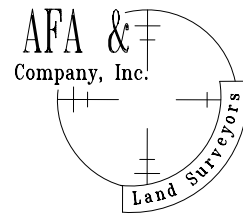

 Signature of Current Owner


 Notary Public
 State of Florida



VICTOR F. SOLORZANO
 Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____



Prepared By:
AFA & COMPANY, INC.
 PROFESSIONAL LAND SURVEYORS AND MAPPERS
 FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498
 13050 SW 133RD COURT
 MIAMI, FLORIDA 33186
 E-MAIL: AFACOB@BELLSOUTH.NET
 PH: 305-234-0588

Graphic Scale
1" = 20'

Abbreviations of Legend

AVE.	-AVENUE	N.T.S.	-NOT TO SCALE
ASPH	-ASPHALT	O.E.	-OVERHEAD ELECTRIC LINE
AW	-ANCHOR WIRE	OL	-ONLINE
A/C	-AIR CONDITIONER	P.C.P.	-PERMANENT CONTROL POINT
BLDG	-BUILDING	P.M.	-PARKING METER
B/COR	-BLOCK CORNER	P.C.	-POINT OF CURVATURE
CAL	-CALCULATED	P.W.	-PARKWAY
CB	-CATCH BASIN	PL	-PLEASTER
CLF	-CHAIN LINK FENCE	P.O.C.	-POINT OF COMMENCEMENT
CNC	-CONCRETE	P.O.B.	-POINT OF BEGINNING
COL	-COLUMN	R	-RADIUS
C.U.P.	-CONCRETE UTILITY POLE	RES	-RESIDENCE
C.L.P.	-CONCRETE LIGHT POLE	R/W	-RIGHT OF WAY
CBS	-CONCRETE BLOCK	S.D.H.	-SET DRILL HOLE
C.M.E.	-CANAL MAINTENANCE EASEMENT	S.I.P.	-SET IRON PIPE
D	-DELTA	SN	-SET NAIL
D/W	-DRIEWAY	SP/WK	-SIDEWALK
D.M.E.	-DRAINAGE & MAINTENANCE EASEMENT	ST	-STREET
ENC	-ENCROACHMENT	T	-TANGENT
E.T.P.	-ELECTRIC TRANSFORMER PAD	U.E.	-UTILITY EASEMENT
F.P.L.	-FLOOD POWER AND LIGHT	WF	-WOOD FENCE
F.H.	-FIRE HYDRANT	W.V.	-WATER VALVE
F.F.P.	-FOUND IRON PIPE	W.U.P.	-WOOD UTILITY POLE
F.F.	-FINISH FLOOR	W.F.	-WOOD FENCE
D.H.F.	-FOUND DRILL HOLE	W.F.	-WOOD FENCE
F.R.	-FOUND REBAR	W.F.	-WOOD FENCE
FD	-FOUND DISC	W.F.	-WOOD FENCE
FN	-FOUND NAIL	W.F.	-WOOD FENCE
IF	-IRON FENCE	W.F.	-WOOD FENCE
L	-LENGTH	W.F.	-WOOD FENCE
L.M.E.	-LAND MAINTENANCE EASEMENT	W.F.	-WOOD FENCE
L.F.E.	-LOWEST FLOOR ELEVATION	W.F.	-WOOD FENCE
L.P.	-LIGHT POLE	W.F.	-WOOD FENCE
MEAS.	-MEASURED	W.F.	-WOOD FENCE
M.L.S.	-MAN HOLE	W.F.	-WOOD FENCE
M.L.	-MONUMENT LINE	W.F.	-WOOD FENCE
M.L.P.	-METAL LIGHT POLE	W.F.	-WOOD FENCE
N.A.G.D.	-NATIONAL GEODETIC VERTICAL DATUM	W.F.	-WOOD FENCE

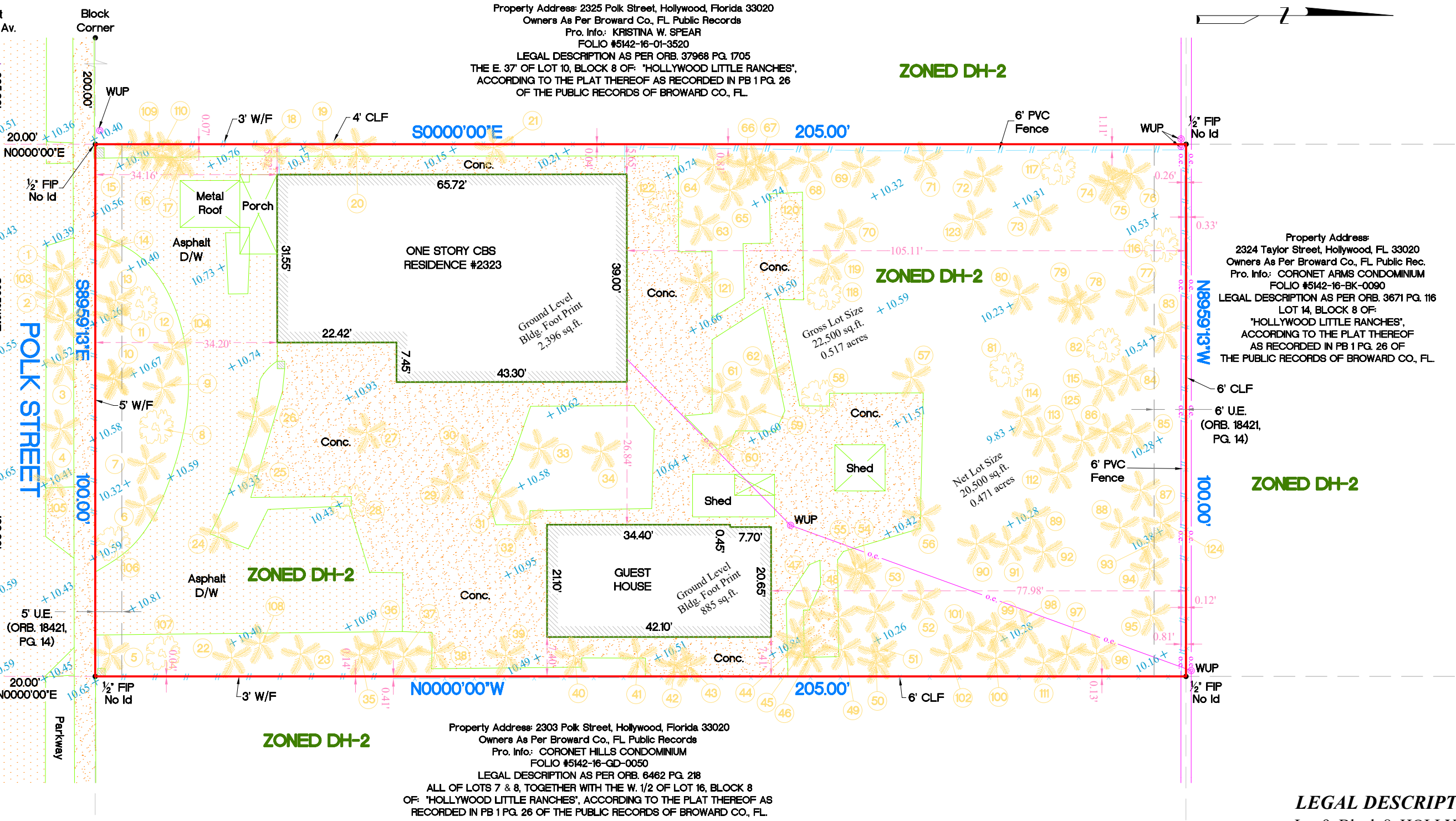
TREE LEGEND :

1, PALM D=0.50', H=25', SP=10'	42, PALM D=0.50', H=25', SP=10'	83, PALM D=0.50', H=25', SP=10'
2, PALM TRI D=0.50', H=25', SP=10'	43, PALM D=0.50', H=25', SP=10'	84, PALM TRI D=0.50', H=25', SP=10'
3, PALM MULTI D=0.50', H=15', SP=10'	44, PALM D=0.50', H=25', SP=10'	85, PALM TRI D=0.50', H=25', SP=10'
4, PALM D=0.50', H=15', SP=10'	45, PALM D=0.50', H=25', SP=10'	86, PALM TRI D=0.50', H=25', SP=10'
5, PALM D=0.50', H=25', SP=10'	46, PALM D=0.50', H=25', SP=10'	87, PALM D=1', H=25', SP=10'
6, PALM MULTI D=0.50', H=15', SP=10'	47, PALM D=0.50', H=25', SP=10'	88, PALM TRI D=0.50', H=25', SP=10'
7, PALM TRI D=0.50', H=25', SP=10'	48, PALM TRI D=0.50', H=25', SP=10'	89, PALM TRI D=0.50', H=15', SP=10'
8, PINE D=0.40', H=30', SP=8'	49, PALM D=0.50', H=25', SP=10'	90, PALM TRI D=0.50', H=15', SP=10'
9, PALM MULTI D=0.50', H=15', SP=10'	50, PALM D=0.50', H=25', SP=10'	91, PALM TRI D=0.50', H=15', SP=10'
10, (2) PALM D=0.50', H=25', SP=10'	51, PALM D=0.50', H=25', SP=10'	92, PALM D=0.50', H=25', SP=10'
11, PALM D=1', H=25', SP=10'	52, PALM D=0.50', H=25', SP=10'	93, PALM TRI D=0.50', H=25', SP=10'
12, PINE D=1.25', H=50', SP=10'	53, PALM TWIN D=0.50', H=15', SP=10'	94, PALM TRI D=0.50', H=25', SP=10'
13, PALM TWIN D=0.50', H=15', SP=10'	54, PALM D=0.50', H=25', SP=10'	95, PALM TRI D=0.50', H=25', SP=10'
14, PALM D=0.50', H=25', SP=10'	55, PALM D=0.50', H=25', SP=10'	96, PALM D=0.50', H=25', SP=10'
15, PALM TWIN D=0.50', H=15', SP=10'	56, PALM D=0.50', H=25', SP=10'	97, PALM TWIN D=0.50', H=15', SP=10'
16, PALM D=0.50', H=25', SP=10'	57, PALM TRI D=0.50', H=25', SP=10'	98, PALM TRI D=0.50', H=25', SP=10'
17, PALM D=0.50', H=25', SP=10'	58, PINE D=1.50', H=75', SP=15'	99, PALM D=0.50', H=25', SP=10'
18, PALM D=0.50', H=25', SP=10'	59, PALM D=0.50', H=15', SP=10'	100, PALM D=0.50', H=25', SP=10'
19, PALM D=0.50', H=25', SP=10'	60, PALM D=0.50', H=25', SP=10'	101, PALM D=0.50', H=25', SP=10'
20, PALM D=0.50', H=25', SP=10'	61, PALM TRI D=0.50', H=25', SP=10'	102, PALM TWIN D=0.50', H=15', SP=10'
21, PALM D=0.50', H=25', SP=10'	62, PALM D=0.50', H=15', SP=10'	103, PALM D=0.50', H=6', SP=4'
22, PALM D=0.50', H=25', SP=10'	63, PALM TRI D=0.50', H=25', SP=10'	104, PALM D=0.50', H=15', SP=10'
23, PALM MULTI D=0.50', H=15', SP=10'	64, PALM D=0.50', H=25', SP=10'	105, PALM D=0.50', H=6', SP=4'
24, PALM MULTI D=0.50', H=15', SP=10'	65, PALM TWIN D=0.50', H=25', SP=10'	106, PINE D=1', H=20', SP=10'
25, PALM TRI D=0.50', H=25', SP=10'	66, PALM D=0.50', H=25', SP=10'	107, DRACAENA FRAGRANS D=0.80', H=15', SP=10'
26, PALM TRI D=0.50', H=25', SP=10'	67, PALM D=0.50', H=25', SP=10'	108, PALM D=0.50', H=6', SP=4'
27, PALM TRI D=0.50', H=25', SP=10'	68, PALM D=0.50', H=25', SP=10'	109, PALM D=0.50', H=25', SP=10'
28, TREE D=0.50', H=30', SP=15'	69, PALM D=0.50', H=25', SP=10'	110, PALM D=0.50', H=25', SP=10'
29, PALM TRI D=0.50', H=25', SP=10'	70, PALM TRI D=0.50', H=15', SP=8'	111, PALM TRI D=0.50', H=10', SP=8'
30, PALM D=0.50', H=25', SP=10'	71, PALM D=0.50', H=25', SP=10'	112, PALM D=0.50', H=16', SP=10'
31, PALM TWIN D=0.50', H=15', SP=10'	72, PALM D=0.50', H=25', SP=10'	113, PALM D=0.50', H=15', SP=10'
32, PALM TRI D=0.50', H=25', SP=10'	73, PALM TRI D=0.50', H=15', SP=10'	114, PALM D=0.50', H=15', SP=10'
33, PALM TWIN D=0.50', H=15', SP=10'	74, PALM D=0.50', H=25', SP=10'	115, PALM D=0.50', H=25', SP=10'
34, PALM TWIN D=0.50', H=25', SP=10'	75, PALM D=0.50', H=25', SP=10'	116, DRACAENA FRAGRANS D=0.80', H=20', SP=12'
35, PALM D=0.50', H=25', SP=10'	76, PALM D=0.50', H=25', SP=10'	117, DRACAENA TARZAN D=0.80', H=15', SP=10'
36, PALM D=0.50', H=25', SP=10'	77, PALM D=0.50', H=25', SP=10'	118, PYGMY DATE PALM D=0.50', H=8', SP=6'
37, PALM TWIN D=0.50', H=15', SP=10'	78, PALM D=0.50', H=25', SP=10'	119, GARCINIA SPICATA D=0.50', H=10', SP=8'
38, PALM D=0.50', H=25', SP=10'	79, PALM D=0.50', H=25', SP=10'	120, PALM D=0.50', H=25', SP=10'
39, PALM D=0.50', H=25', SP=10'	80, PALM D=0.50', H=25', SP=10'	121, PALM D=0.50', H=25', SP=10'
40, PALM D=0.50', H=25', SP=10'	81, MANGO D=2.50', H=60', H=25'	122, DRACAENA FRAGRANS D=0.80', H=15', SP=10'
41, PALM D=0.50', H=25', SP=10'	82, PINE D=0.40', H=30', SP=10'	123, PALM D=0.50', H=25', SP=10'
		124, PALM D=0.50', H= 15', SP= 8'
		125, PALM D=0.50', H=2 0', SP=10'

SITE REQUIREMENT AS PER ZONING MIAMI-DADE PROPERTY APPRAISER
 2323 Polk Street, Hollywood, Florida 33020,
 Prepared for: 2323 Polk, LLC & Old Republic National Title Insurance Company
SITE STATUS
 PROPERTY SIZE 0.471 Acres or 20,500 Sq. Ft.
 CURRENT USE: General / Residential
 CURRENT ZONING: "DH-2" Dixie Highway Medium Intensity Multi-Family District

Building Set-Back	
Minimum Primary Frontage Setback:	15.00 ft
Minimum Secondary Frontage Setback:	N/A
Minimum Side Setback:	10.00 ft
Minimum Rear Setback:	20.00 ft
Minimum Water Setback:	N/A

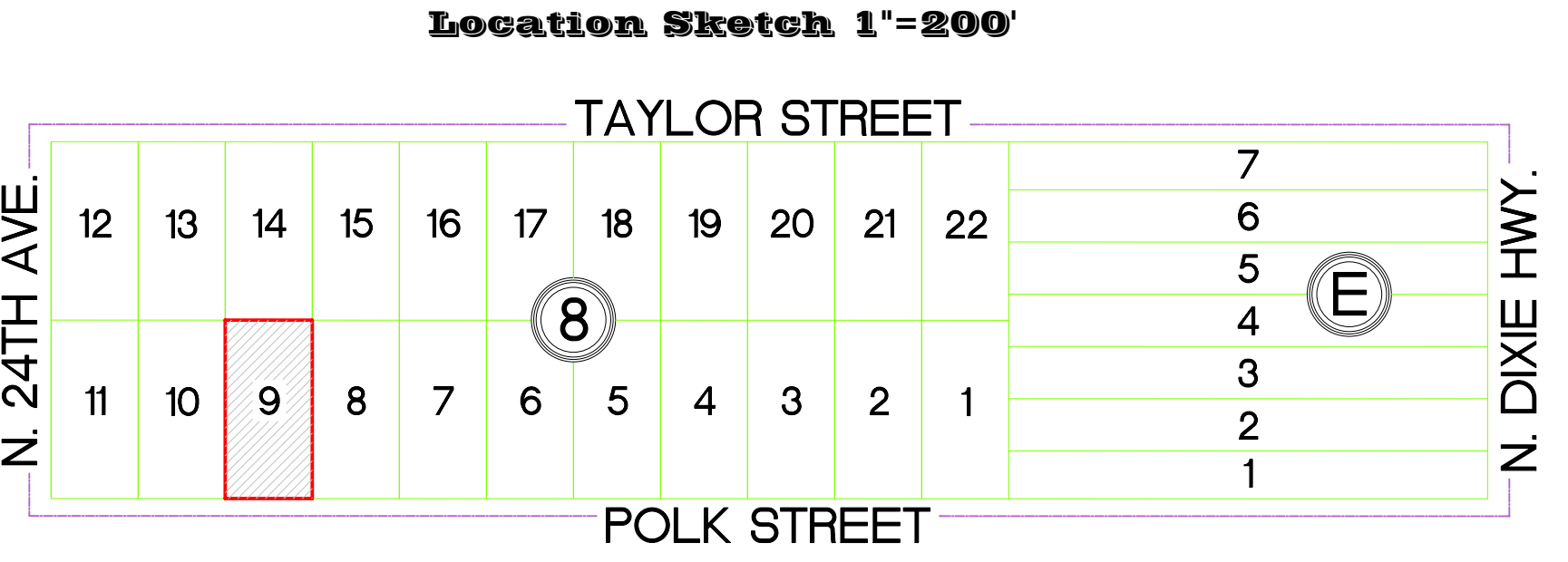
TITLE OF COMMITMENT REVIEW OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY #1512648, Dated 4-05-2024 @ 11:00pm SCHEDULE B-SECTION II ONLY ITEMS NO.
 Item #5, PLAT BOOK 1 PG. 26 of Broward Co. Florida. Does Affect the Property.
 Item #6, ORB. 5073 PG. 405 of Broward Co. Florida. Does NOT Affect the Property. Not Plottable.
 Item #7, ORB. 8136 PG. 244 of Broward Co. Florida. Does Affect the Property. Not Plottable.
 Item #8, ORB. 18421 PG. 14 of Broward Co. Florida. Does Affect the Property. Not Plottable.
 Item #9, ORB. 40082 PG. 1783 of Broward Co. Florida. Does Affect the Property. Not Plottable.
 Item #10, ORB. 40082 PG. 1789 of Broward Co. Florida. Does Affect the Property. Not Plottable.



LEGAL DESCRIPTION:
 Lot 9, Block 8, HOLLYWOOD LITTLE RANCHES, according to the plat thereof as recorded in Plat Book 1, Page 26, Public Records of Broward County, Florida.

I hereby certify to 2323 Polk, LLC, a Florida limited liability company, Ladi Investment Inc., a Florida corporation, AGLAW & Old Republic National Title Insurance Company/ATFS that this is a true and correct survey of 2323 Polk Street, Hollywood, Florida 33020, Broward County, Florida and shows the true and correct location of the buildings and improvements situated on such land and all easements, rights-of-way, setback lines, and similar restrictions of record affecting the property surveyed. The buildings and improvements do not overhang or encroach upon any easements or rights-of-way of others, and there are no encroachments either way across the property lines. The property surveyed contains **0.471 acres** and 0 parking spaces (including 0 handicapped space), and it is located within a flood plain area.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 19 and 20 of Table A thereof. Pursuant to the Accuracy Standards adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that, in my professional opinion as a land surveyor registered in the State of Florida, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.



PROPERTY ADDRESS:
 2323 Polk Street
 Hollywood, Florida 33020

CERTIFIED ONLY TO:
 2323 Polk, LLC, a Florida limited liability company
 Ladi Investment Inc., a Florida corporation
 AGLAW
 Old Republic National Title Insurance Company/ATFS

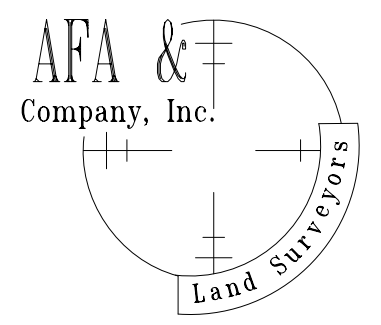
PARKING TABLE
 OBSERVED EVIDENCE
 0 PARKING SPACES
 0 HANDICAP SPACES

ELEVATION INFORMATION
National Flood Insurance Program
FEMA Elev. Reference to NAVD 1988

Comm Panel	125113
Panel #	0569
Firm Zone:	"X"
Date of Firm:	08-18-2014
Base Flood Elev.	N/A
F.Floor Elev.	11.40'
Guest House Elev.	11.22'
Garage Elev.	10.93'
Suffix:	"H"
Elev. Reference to NAVD 1988	

JOB #	24-854
DATE	08-19-2024
PB	1-26 Bro.

Surveyors Notes:
 #1 Land Shown Hereon was abstracted for Old Republic National Title Insurance Company, Case #1512648 Dated 4-5-24 @ 11:00pm. Commitment Schedule B-Section II. Review Only Items #5, 6, 7, 8, 9 & 10.
 #2 Remarks: Broward County Public Works Dept. AD2462; Elev. + 9.07'
 #3 Bearings as Shown hereon are Based upon Polk Street, S89°59'13"E
 #4 Please See Abbreviations
 #5 Drawn By: A. Torres
 #6 Date: 4-2-24; 8-7-24; 8-19-24
 #7 Completed Survey Field Date: 3-28-24; 8-6-24; 8-16-24
 #8 Disc No 2024, Station Surveying Section
 #9 Last Revised:
 #10 Zoned Building setback line not determined



Professional Surveyors & Mappers LB 7498
 13050 S.W. 133rd Court
 Miami Florida, 33186
 E-mail: afaco@bellsouth.net
 Ph: (305) 234-0588

Surveyor's Notes:
 #11 The herein captioned Property was surveyed and described based on the Legal Description Provided by Client, which Legal Description is the same as that which is contained in the Commitment for Title Insurance (Order No. 1512648).
 #12 This Certification is Only for the lands as Described. It is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. ABSTRACT REVIEWED.
 #13 There may be additional Restrictions not Shown on this survey that may be found in the Public Records of Said County Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
 #14 Accuracy: The expected use of land, as classified in the Standards of Practice (51-17.052), is residential. The minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00 feet; the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
 #15 Foundation and/or footing that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
 #16 Not valid without the signature and original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties.
 #17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
 #18 Underground Utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
 #19 Ownership subject to Opinion of Title.
 #20 The location of the Flood Zone lines shown hereon are an approximate, based on the FEMA flood maps website. Confirmation of said Flood Zone lines location must be made with FEMA prior to any design.

DESIGN CRITERIA RESPONSE

Project: 2323 Polk Street Residential Condominium, Hollywood, FL

The proposed development has been carefully designed to comply with the City's Design Guidelines and to ensure compatibility with the surrounding neighborhood. The following outlines how the project meets the applicable design criteria:

1. General Criteria

a. Architectural and Design Components

The proposed four-story residential condominium incorporates a contemporary architectural style that reflects the evolving character of the surrounding area while maintaining a human-scaled design. The building mass is articulated through variation in façade planes, balcony projections, and material transitions, creating visual interest and reducing perceived bulk.

Architectural details are proportionate to the overall building mass and include defined entries, fenestration patterns, and façade modulation. The design emphasizes both aesthetics and functionality by incorporating a clearly defined main lobby entrance, pedestrian walkways, and active ground-level elements that enhance the relationship between residents and the public realm.

The pedestrian experience is further enhanced through the integration of sidewalks, shaded areas, and landscaped edges along Polk Street, promoting walkability and connectivity within the neighborhood.

b. Compatibility

The proposed development is consistent with the established development pattern along Polk Street and within the RAC-DH2 zoning district. The building's scale, density, and residential use are compatible with adjacent multifamily and mixed residential developments.

The project contributes positively to the streetscape by maintaining consistent setbacks, reinforcing the street edge, and aligning with the City's vision for increased residential density in proximity to transit corridors.

Additionally, the architectural language, while contemporary, draws from common neighborhood elements such as stucco finishes, horizontal proportions, and landscaped buffers, ensuring a harmonious relationship with surrounding structures.

c. Scale / Massing

The building is designed at four stories with an overall height of approximately 42 feet, which is within the allowable maximum height of 45 feet and consistent with nearby developments.

The massing is carefully composed to break down the building volume into smaller, legible components. This is achieved through step-backs, façade articulation, and the distribution of units across the structure. The building footprint and proportions are appropriate for the site dimensions and maintain required setbacks on all sides.

The project's Floor Area Ratio (FAR) of 1.48 remains below the permitted maximum of 1.75, further demonstrating that the building scale is appropriate for the site and surrounding context.

d. Landscaping

The landscape design provides a comprehensive and integrated approach that enhances both the aesthetic quality and environmental performance of the site. The project exceeds the minimum required landscaped open space, providing approximately 21.6% of the site as landscaped area.

A diverse palette of native and adapted plant materials is utilized, including species such as Sabal palms, Green Buttonwood, Cocoplum, and Coontie, which are well-suited to the South Florida climate. The landscape plan meets and exceeds native planting requirements, with approximately 94% of tree species being native.

Landscaping is strategically located along the perimeter, within parking areas, and throughout open spaces to soften built elements, provide shade, and enhance privacy. Street trees are provided along Polk Street to reinforce the streetscape and improve pedestrian comfort.

All landscaped areas are supported by an automatic irrigation system and designed in compliance with the City of Hollywood Landscape Manual.

Conclusion

The proposed development at 2323 Polk Street has been thoughtfully designed to meet the City of Hollywood's Design Criteria. The project demonstrates compatibility with the surrounding neighborhood, appropriate scale and massing, high-quality architectural design, and a robust landscaping strategy.

Overall, the design contributes positively to the character of the area while supporting the City's goals for sustainable and context-sensitive residential development.

2323 POLK STREET
A RESIDENTIAL CONDOMINIUM
HOLLYWOOD FLORIDA 33020



BELLON ARCHITECTURE
12930 S.W. 128 Street,
SUITE 203
MIAMI, FL. 33186

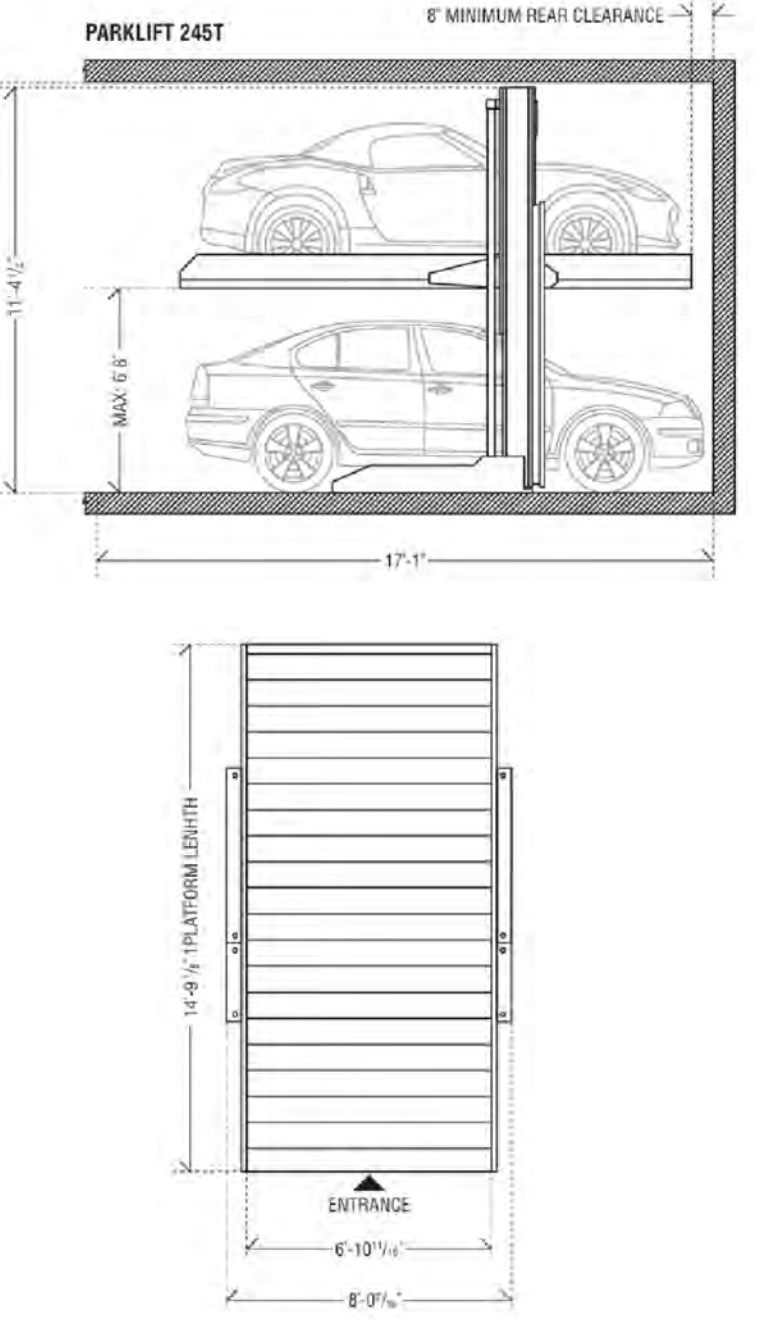
CAPABILITIES	
Working Capacity	6,000 lbs.
Static Capacity	12,000 lbs.
Dynamic Capacity	9,000 lbs.

DIMENSIONS	
Overall Width	96'-7 1/2"
Platform Width	82'-7 1/2"
Drive-thru Width	88"
Overall Platform Length	177'-1/4"
Maximum vehicle wheelbase	146"
Maximum clearance (lower car)	89'-10"
Overall height	245' 10" 5'
	245' 17" 5'

SPEED	
Lifting Speed (seconds)	17 seconds
Lowering Speed (seconds)	15 seconds

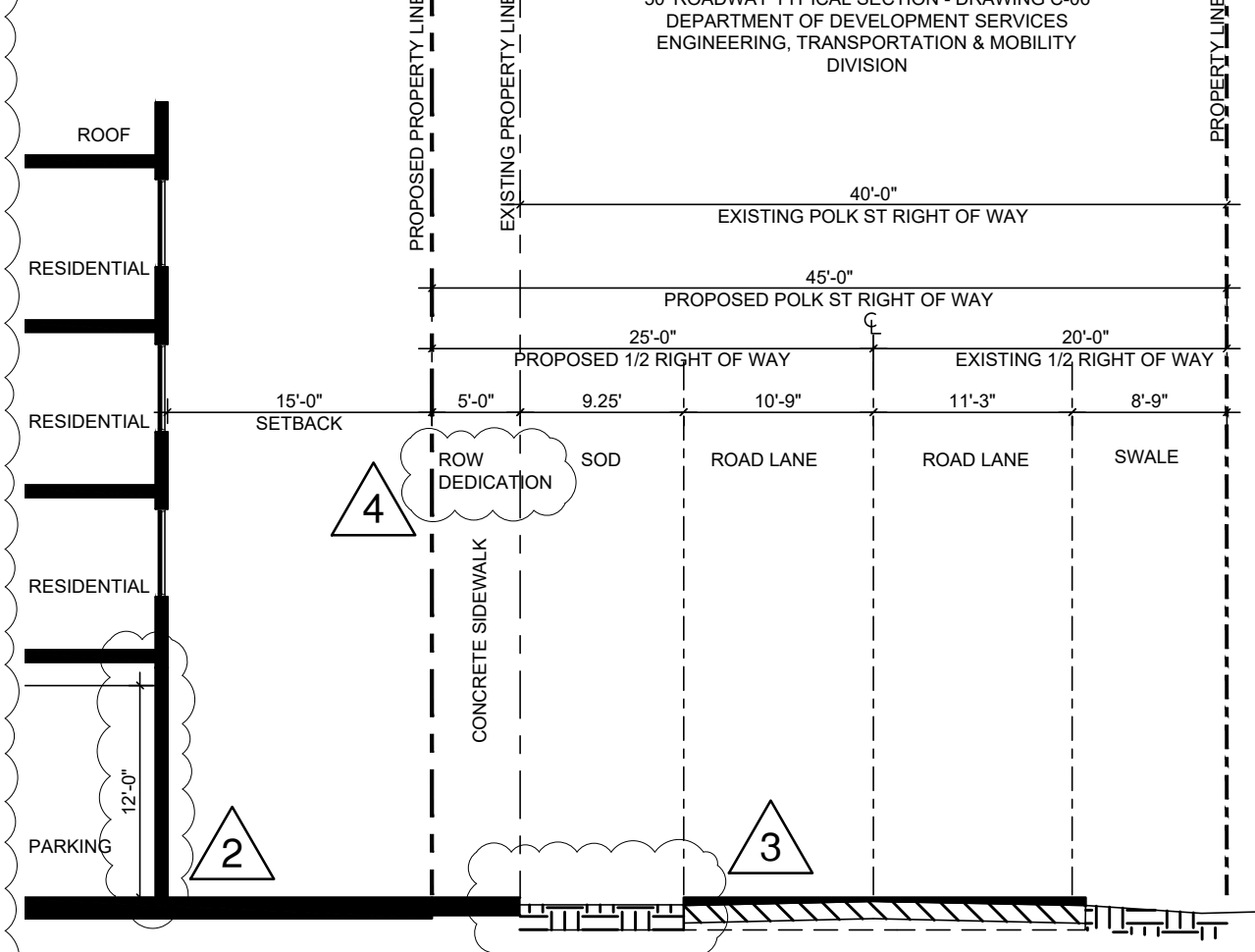
POWER	
Power Requirements	220V 3 Phase 40 amp
220V Single Phase 40 amp	

FEATURES	
Application	Outdoor/Indoor
Surface	Asphalt/Concrete
Material	100% Galvanized Steel
Safety	Steel-on-Steel Locks



MECHANICAL LIFT DETAIL / SPECS

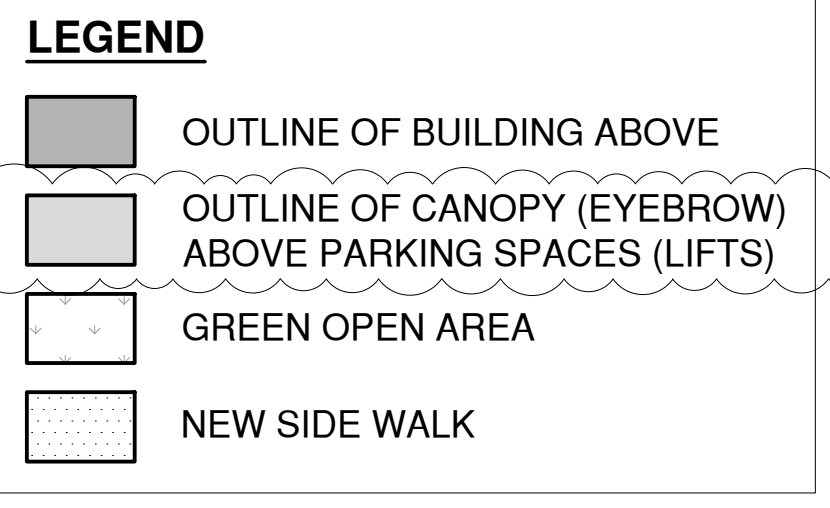
N.T.S.



SECTION A - POLK STREET

SCALE: 3/32" = 1'-0"

REFER TO CIVIL PLAN - SHEET C2 SECTION D-D



ZONING LEGEND		
SITE INFORMATION		
Folio:	514216013510	
Property Address:	2323 Polk Street, Hollywood, FL 33020	
SITE AREA		
Gross Area	22,500.00 sf .52 ac	
Net Area	20,500.00 sf .47 ac	
ZONING DISTRICT		
RAC-DH2		
DENISTY		
ALLOWED	PROVIDED	
N/A	52 du/ac 27 units	
SETBACKS		
TYPE	REQUIRED	PROVIDED
Front	15 ft	15'-0"
Side interior - East	10 ft	12'-3"
Side interior - West	10 ft	10'-0"
Rear	20 ft	20'-0"
SITE CALCULATIONS		
TYPE	REQUIRED	PROVIDED
Maximum FAR	1.75 FAR 35,875 sf	1.48 FAR 30,377 sf
Landscaped Open Space	20% 4,100 sf	21.6% 4,424 sf
Building Height	4 Stories / up to 45ft	4 Stories / 42 FT
BUILDING HEIGHT		
REQUIRED	PROVIDED	
BUILDING HEIGHT	45'-0"	42'-0" (4 STORY)

PARKING CALCULATIONS			
Type		Required	
Units exceeding 1BD	1.5 sp per unit	41.0 sp	
Guest (24 Units)	1 sp per 10 units	3.0 sp	
Total Required	27 units	44.0 sp	1
PARKING SCHEDULE TOTALS			
TYPE	Standard	HC	Total/Level
Standard stalls	4	3	7 sp
Tandem	28	0	28 sp
Parking Lifts	20	0	20 sp
Parallel (On-Street)	TBD		
Grand Total Provided :		55 sp	1
BICYCLE PARKING			
Bicycle Parking		8 sp	
UNIT BREAKDOWN			
Type	Area	Levels 2-4	Total # of Units
B1 (2bd/2bath)	900 sf	6 units	18 units
B2 (1bd + den)	744 sf	1 units	3 units
B3 (2bd/2bath)	893 sf	2 units	6 units
Total		9 units	27 units

GROSS BUILDING SQUARE FOOTAGE			
Type of SF	Level 1	Levels 2-4 (SF/FL)	Total
Apartments		7,956 sf	23,868 sf
Common Areas	380 sf		380 sf
Circulation	606 sf	1,694 sf	5,688 sf
Service	272 sf	154 sf	734 sf
Subtotal			30,670 sf
Other Areas			
Surface Parking	12,452 sf		12,452 sf
Grand Total Gross Area			43,122 sf

LEGAL DESCRIPTION PER SURVEY
Lot 9, Block 8, of: "HOLLYWOOD LITTLE RANCHES",
according to the Plat Records as Recorded in Plat Book 1,
Page 26, of the Public Records of Broward County, Florida.

NOTE:
EXISTING R/W OF 40'
PROPOSED R/W OF 45'



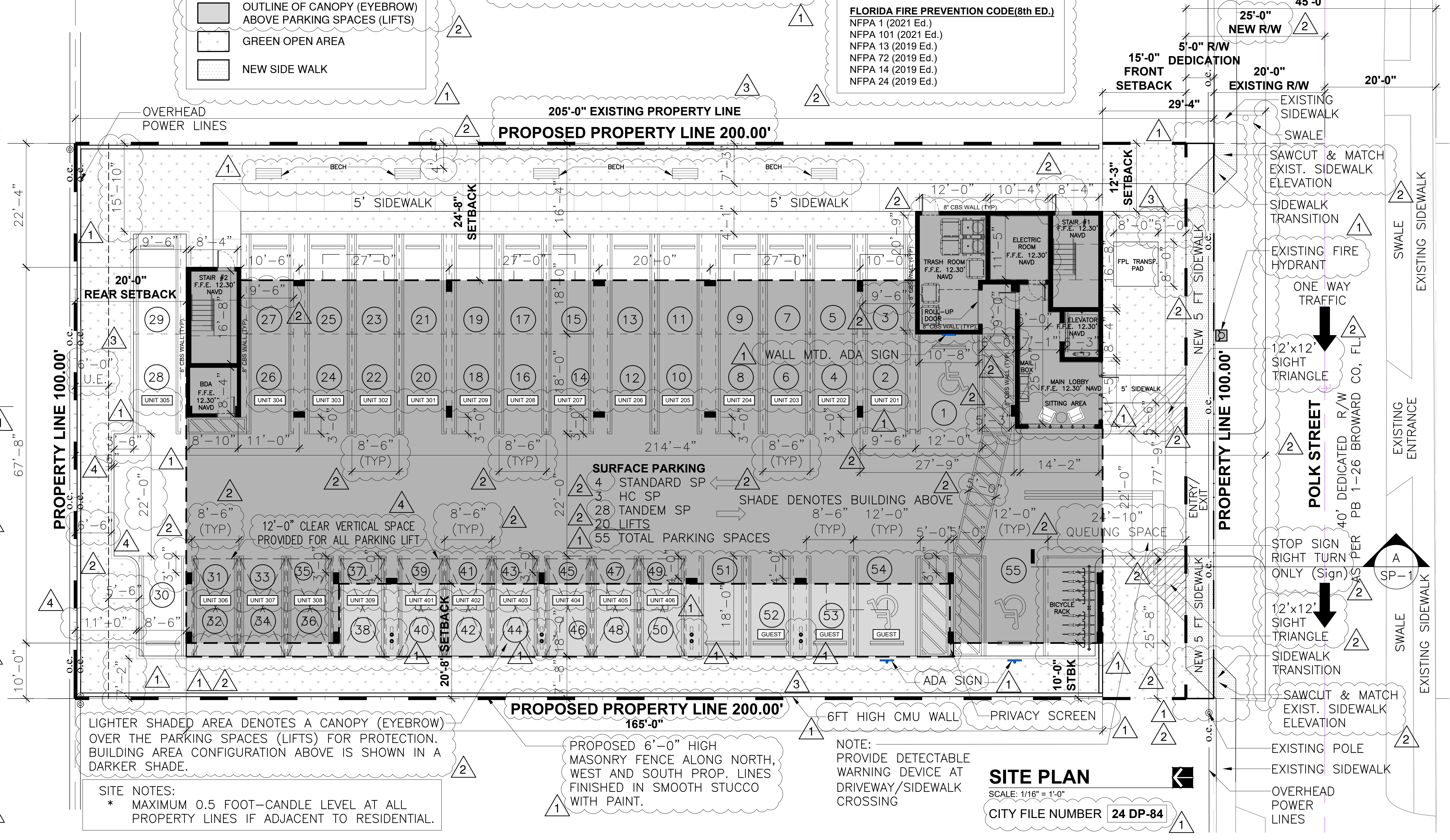
TRANSIT STOP LOCATION

SCALE: N.T.S.

SITE PLAN CHANGES NOTE:
ANY CHANGES TO THIS SITE PLAN WILL BE SUBJECT TO PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

TANDEM PARKING NOTE:
ALL TANDEM PARKING SPACES SHOW ARE TO BE ASSIGNED FOR THE EXCLUSIVE USE OF UNIT OWNERS. TWO SPACES PER UNIT.

SIGNAGE NOTE:
ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BE NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.



LIGHTER SHADED AREA DENOTES A CANOPY (EYEBROW) OVER THE PARKING SPACES (LIFTS) FOR PROTECTION. BUILDING AREA CONFIGURATION ABOVE IS SHOWN IN A DARKER SHADE.

SITE NOTES:
* MAXIMUM 0.5 FOOT-CANDLE LEVEL AT ALL PROPERTY LINES IF ADJACENT TO RESIDENTIAL.

PROPOSED 6'-0" HIGH MASONRY FENCE ALONG NORTH, WEST AND SOUTH PROP. LINES FINISHED IN SMOOTH STUCCO WITH PAINT.

NOTE:
PROVIDE DETECTABLE WARNING DEVICE AT DRIVEWAY/SIDEWALK CROSSING

SITE PLAN

SCALE: 1/16" = 1'-0"
CITY FILE NUMBER 24 DP-84

BELLÓN
architecture

12930 S.W. 128 STREET
SUITE 203
MIAMI, FLORIDA 33106
T. (305) 278-7776
F. (305) 278-7473
WWW.BELLONMILANES.COM
AA-2600261 G

ARCHITECTURE
LAND PLANNING
INTERIORS
CONSTRUCTION MANAGEMENT
CONSULTANTS

2323 POLK BUILDING A RESIDENTIAL CONDOMINIUM

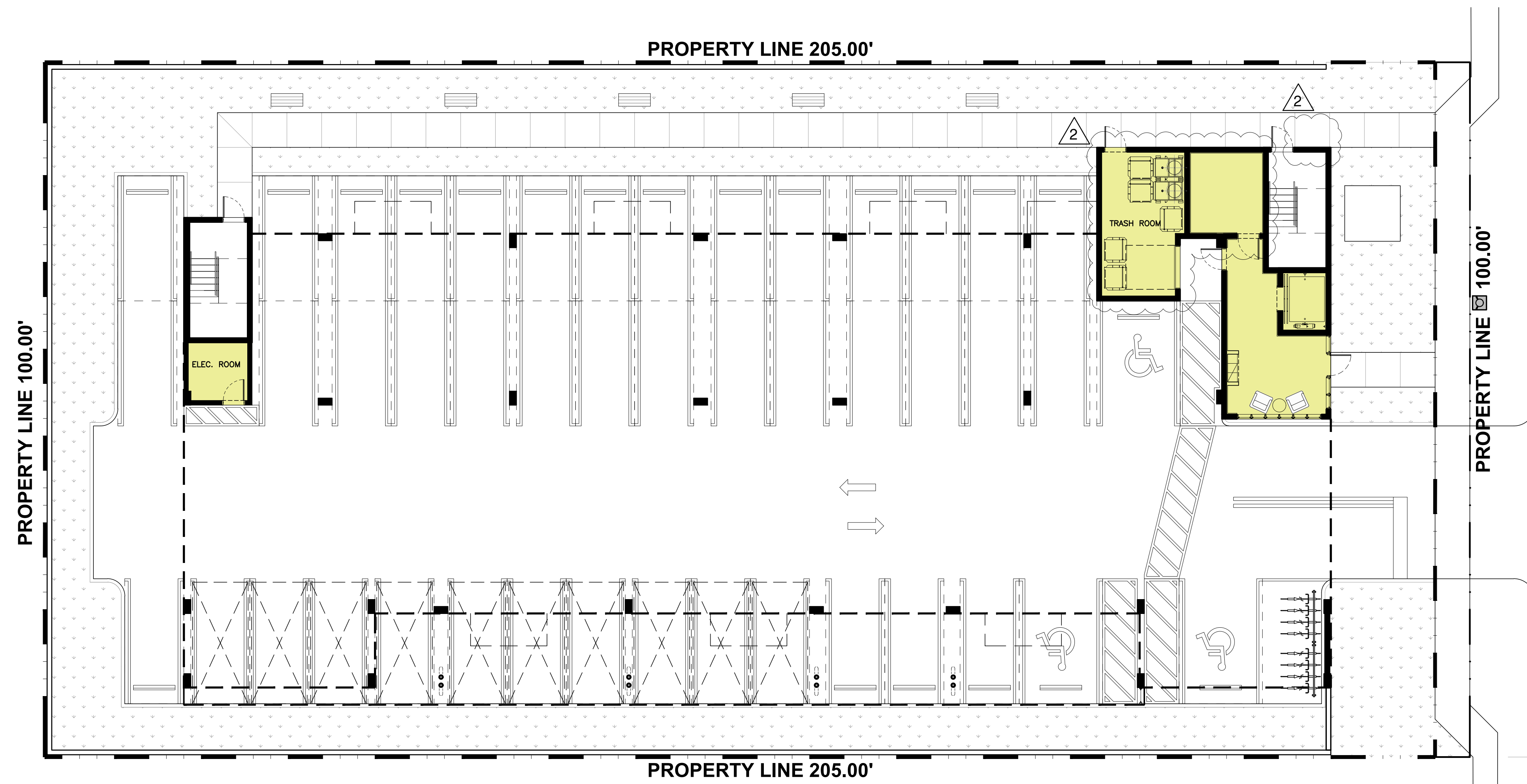
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

MARK	DATE	DESCRIPTION
△	02/10/25	TAC REVIEW
△	08/13/25	TAC REVIEW
△	12/18/25	TAC REVIEW
△	2/24/26	TAC REVIEW

PROJECT No. LB756
DRAWN BY: FM
CHECKED BY: LB
DATE: 06/26/2024

LEOPOLDO BELLÓN, AIA (AR-8737)
SHEET TITLE
SITE PLAN
SP-1.0
SHEET OF

2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020



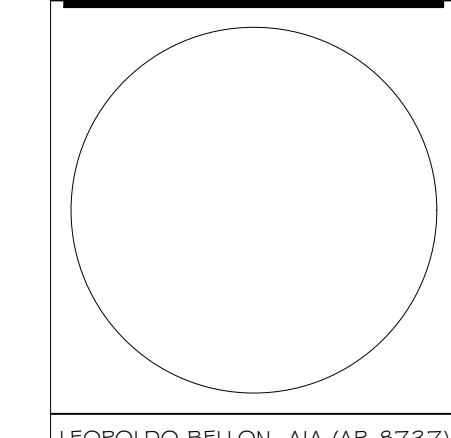
FAR @ GROUND = 860 SF

FAR - LEVEL 1

SCALE: 1" = 10'

MARK	DATE	DESCRIPTION
△	08/13/25	TAC REVIEW

PROJECT No. LB756
DRAWN BY: FM
CHECKED BY: LB
DATE: 06/26/2024



LEOPOLDO BELLÓN, AIA (AR-8737)

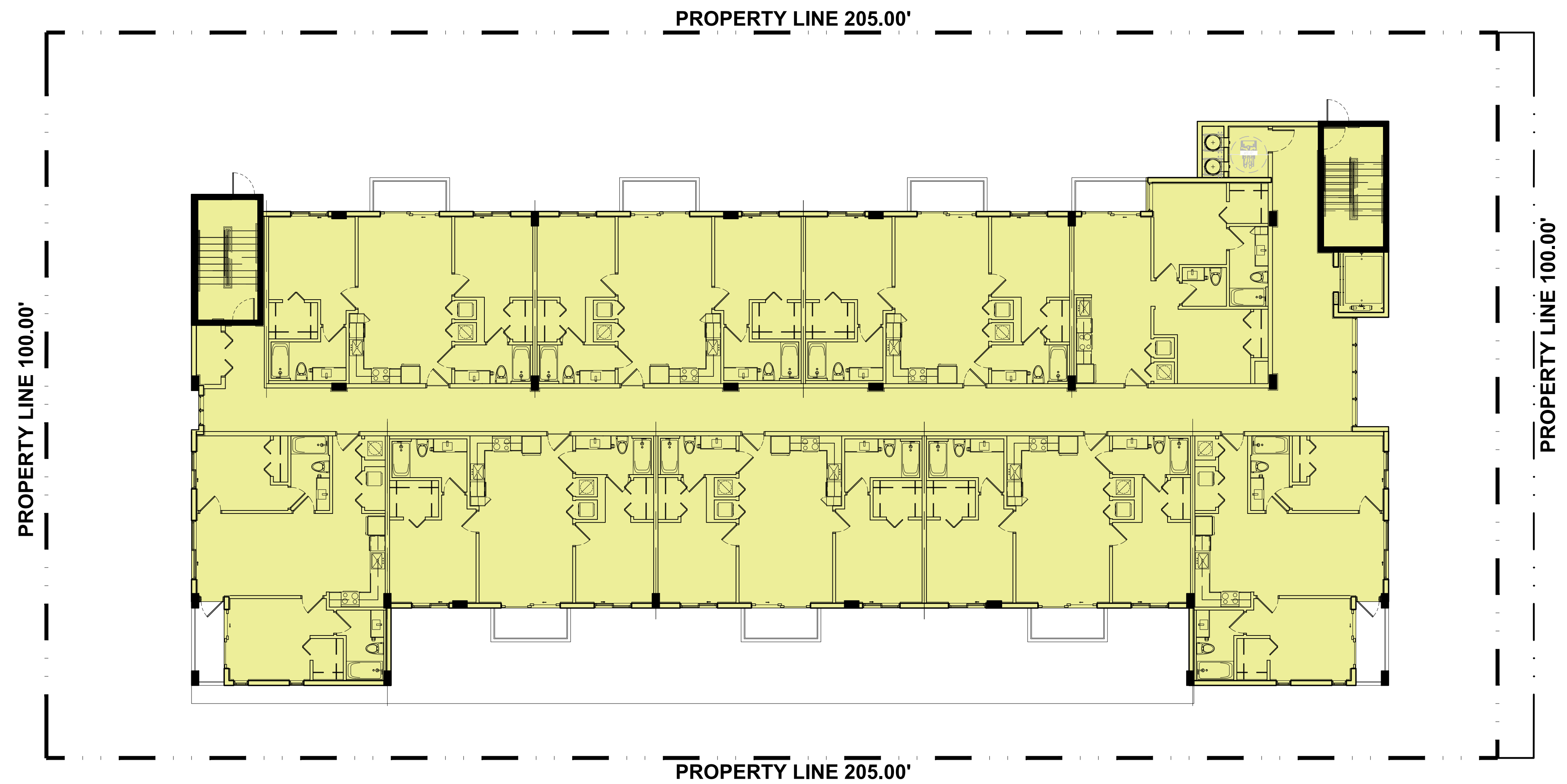
SHEET TITLE

SITE DIAGRAMS

SP-1.1

SHEET OF

**2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM**
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020



FAR @ LEVELS 2-4
9,815 SF/FL x 3 Levels = 29,445 SF

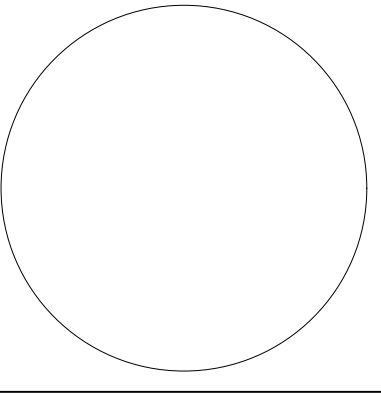
TOTAL FAR PROVIDED
30,305 SF

FAR - LEVELS 2-4

SCALE: 1" = 10'

MARK	DATE	DESCRIPTION

PROJECT No. LB756
DRAWN BY: FM
CHECKED BY: LB
DATE: 06/26/2024



LEOPOLDO BELLÓN, AIA (AR-8737)

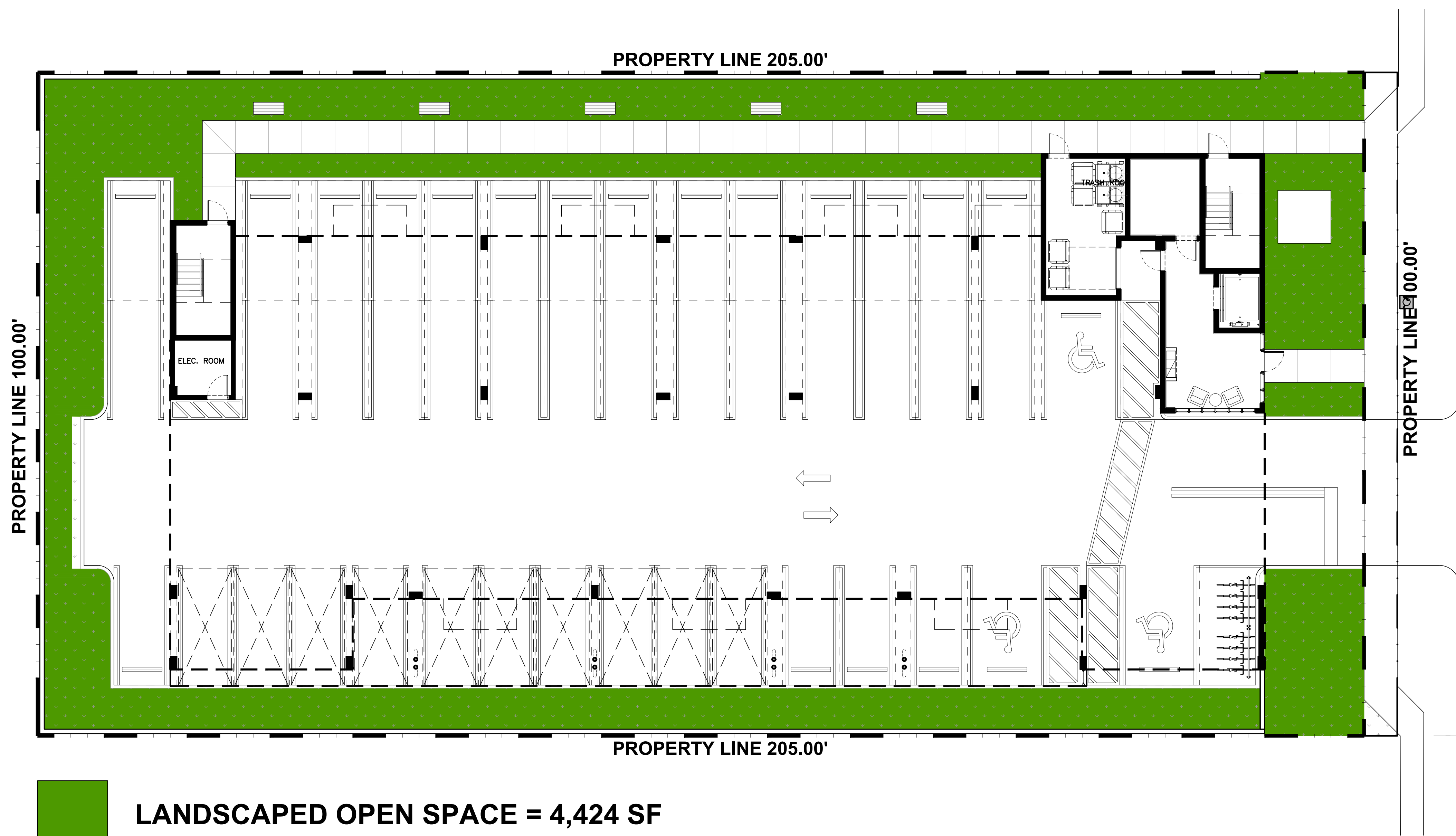
SHEET TITLE

SITE DIAGRAMS

SP-1.2

SHEET OF

2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020



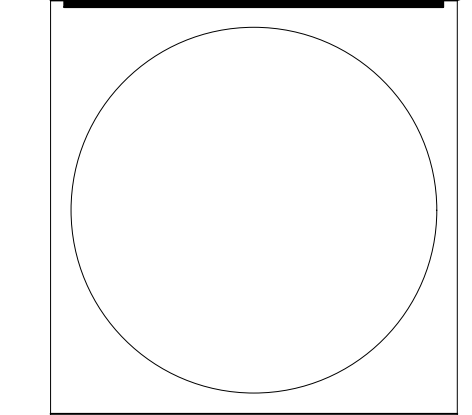
LANDSCAPED OPEN SPACE = 4,424 SF

LANDSCAPED OPEN SPACE

SCALE: 1/16" = 1'-0"

MARK	DATE	DESCRIPTION

PROJECT No. LB756
DRAWN BY: FM
CHECKED BY: LB
DATE: 06/26/2024



LEOPOLDO BELLÓN, AIA (AR-8737)

SHEET TITLE

SITE DIAGRAMS

SP-1.3

SHEET OF

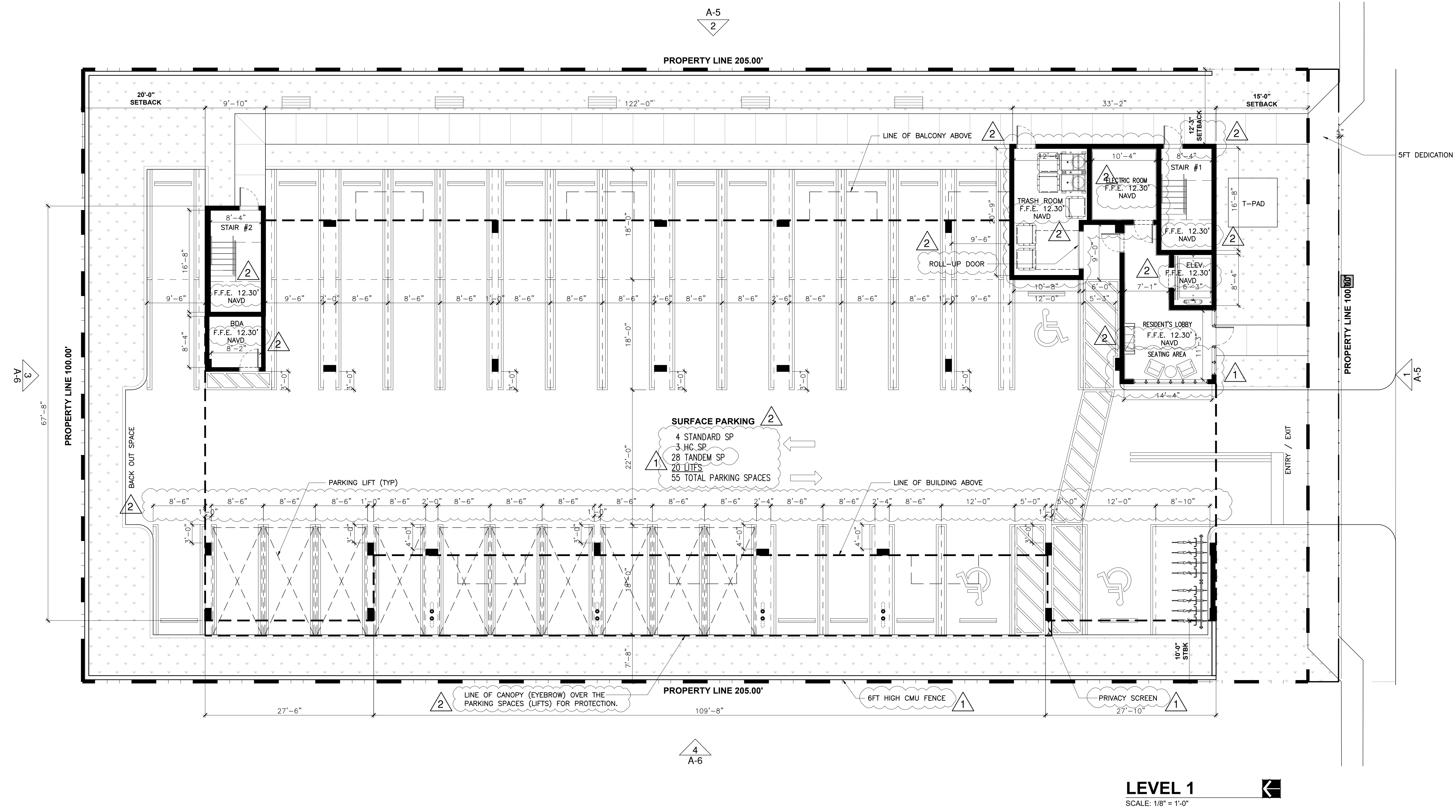
2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

MARK	DATE	DESCRIPTION
△	02/10/25	TAC REVIEW
△	08/13/25	TAC REVIEW

PROJECT No. LB756
DRAWN BY: FM
CHECKED BY: LB
DATE: 06/26/2024

LEOPOLDO BELLÓN, AIA (AR-8737)

SHEET TITLE
LEVEL 1
A-1
SHEET OF



LEVEL 1
SCALE: 1/8" = 1'-0"

SIGNAGE NOTE:
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE
ZONING AND LAND DEVELOPMENT REGULATIONS



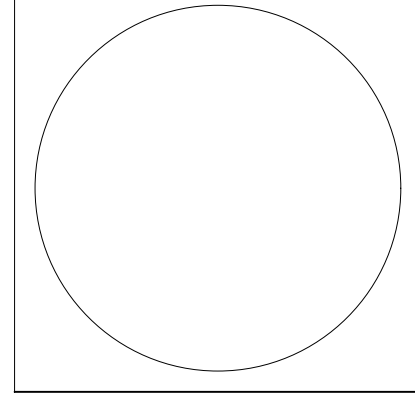
1 FRONT ELEVATION - POLK STREET
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

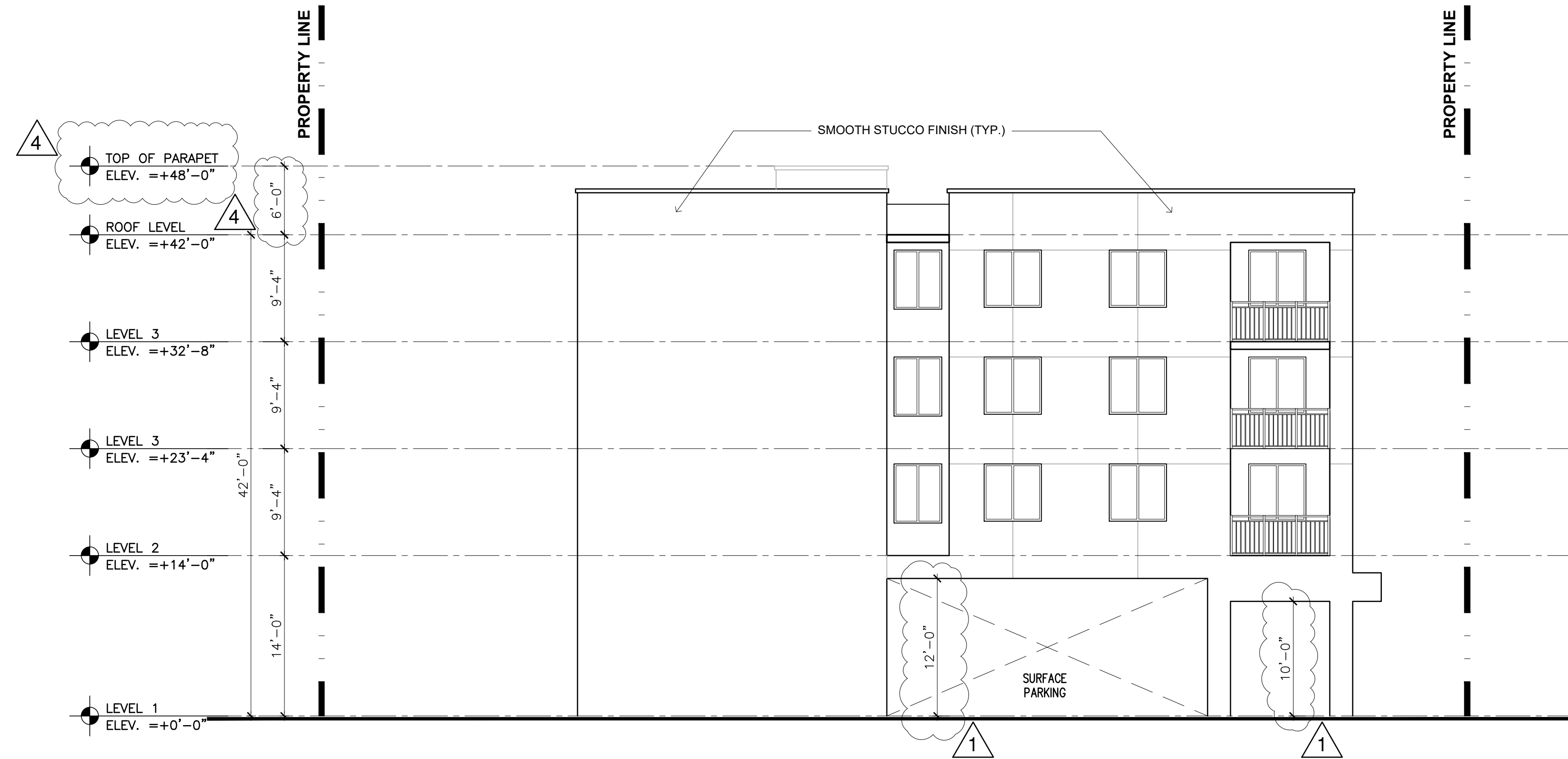
MARK	DATE	DESCRIPTION
△	02/10/25	TAC REVIEW
△	2/24/26	TAC REVIEW

PROJECT No. LB756
DRAWN BY: FM
CHECKED BY: LB
DATE: 06/26/2024



LEOPOLDO BELLON, AIA (AR-8737)
SHEET TITLE

ELEVATIONS
A-5
SHEET OF



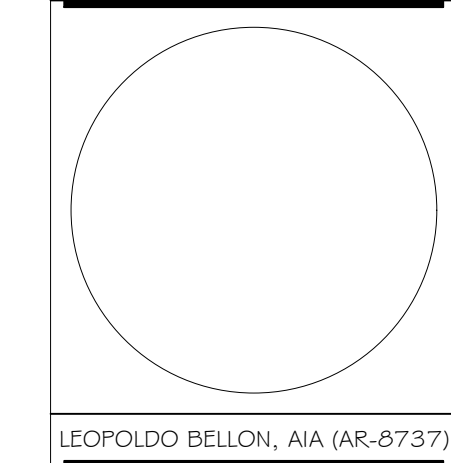
3 REAR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



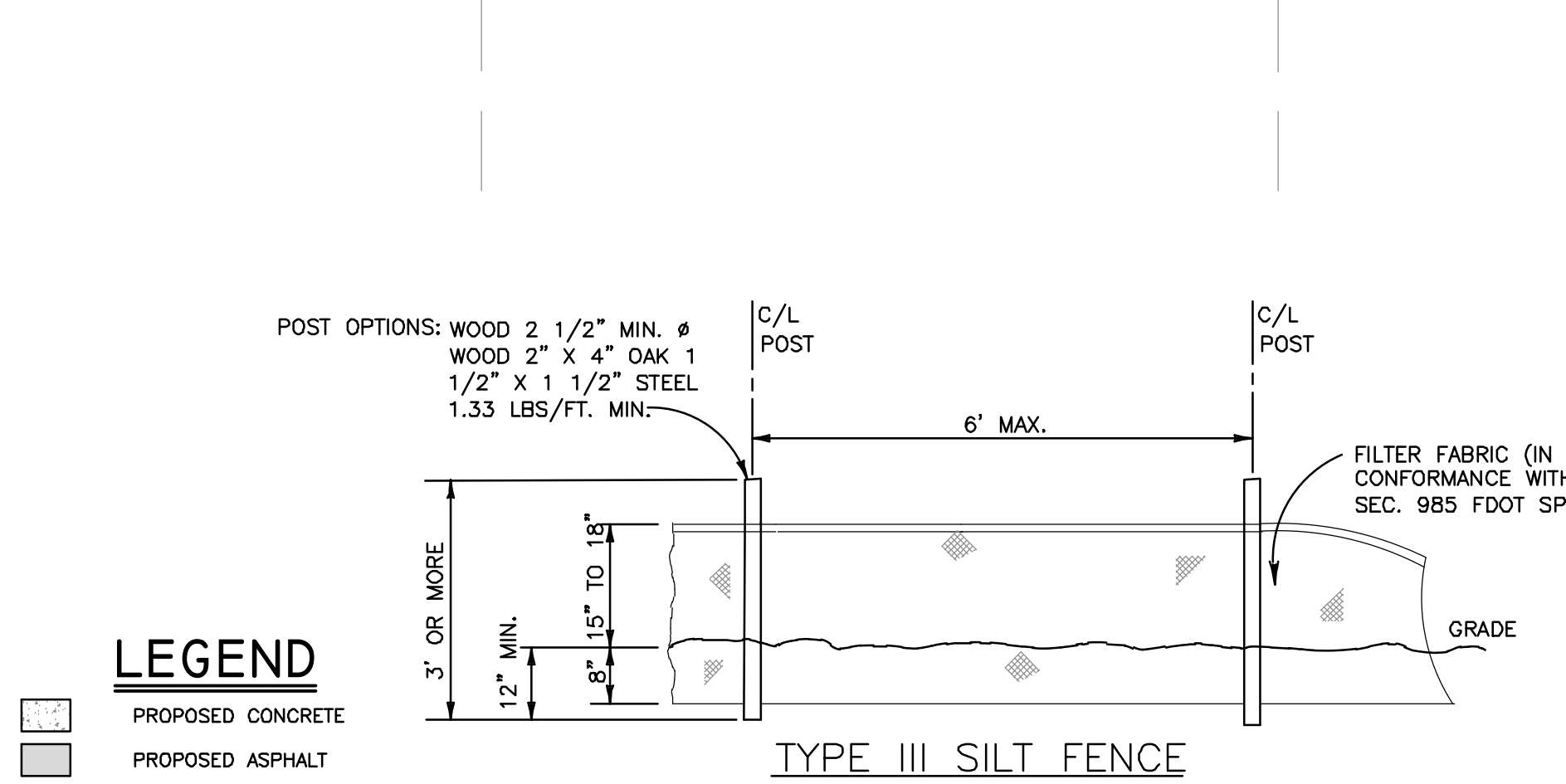
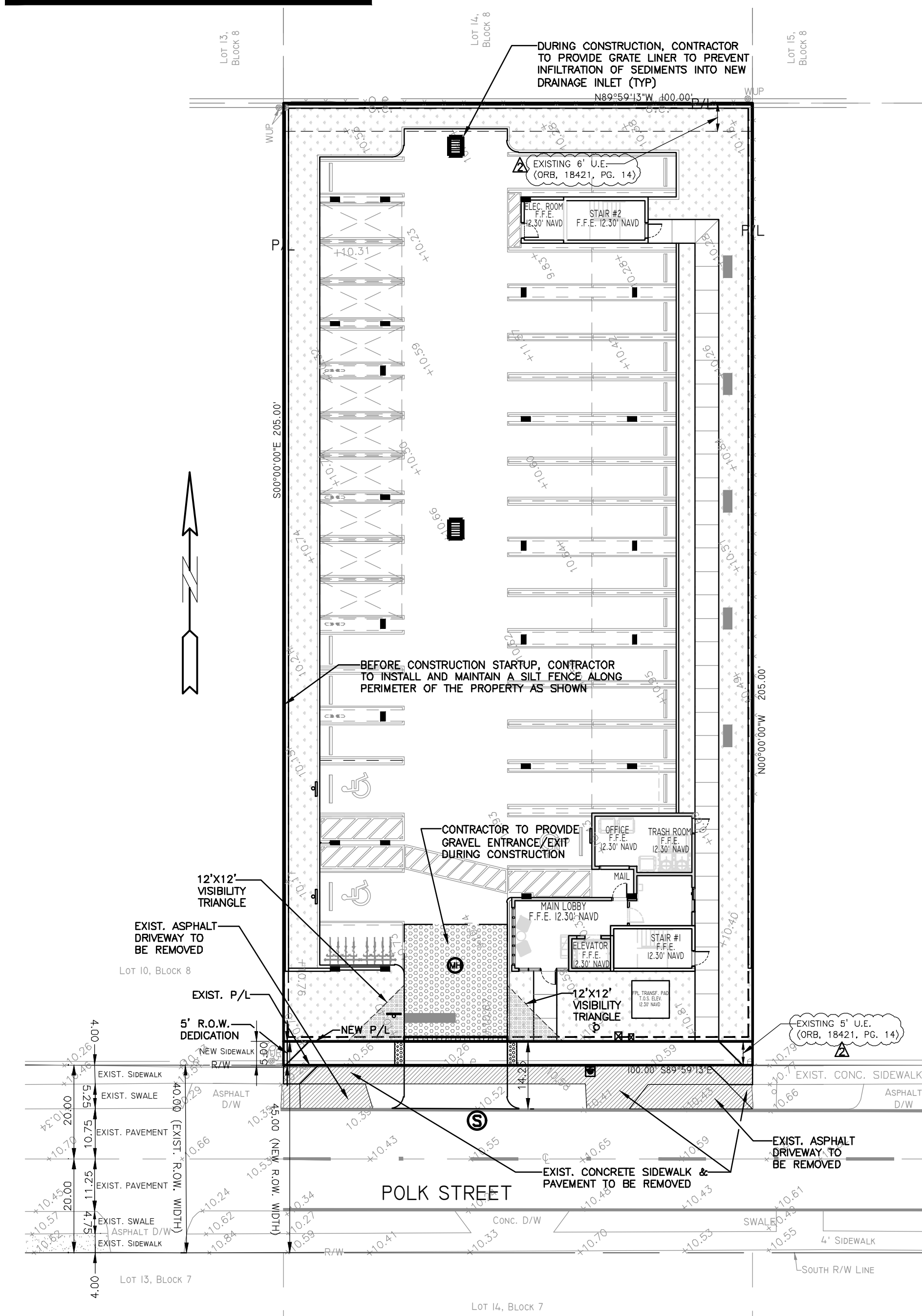
4 SIDE ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
△	02/10/25	TAC REVIEW
△	2/24/26	TAC REVIEW

PROJECT No. LB756
DRAWN BY: FM
CHECKED BY: LB
DATE: 06/26/2024



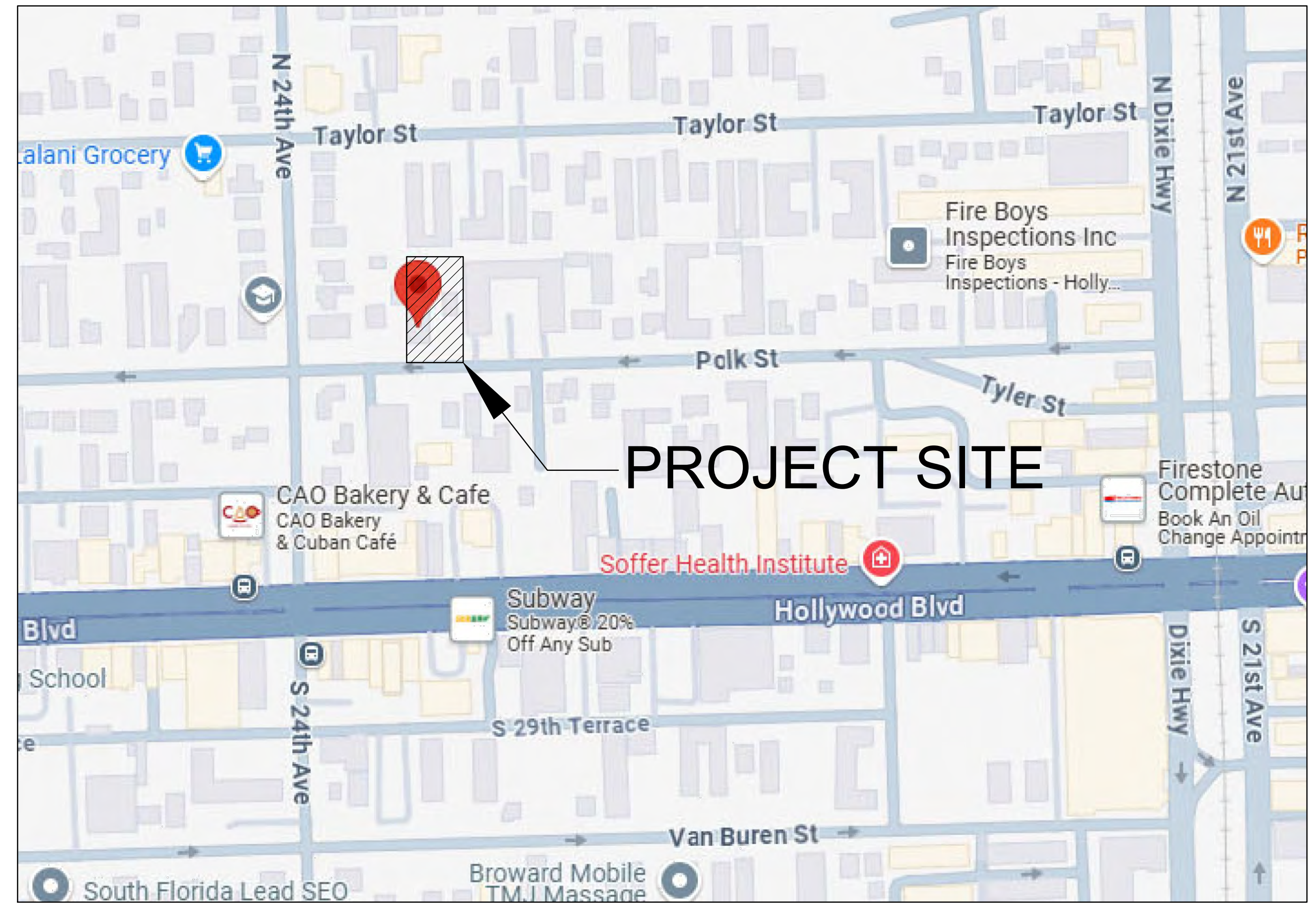
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



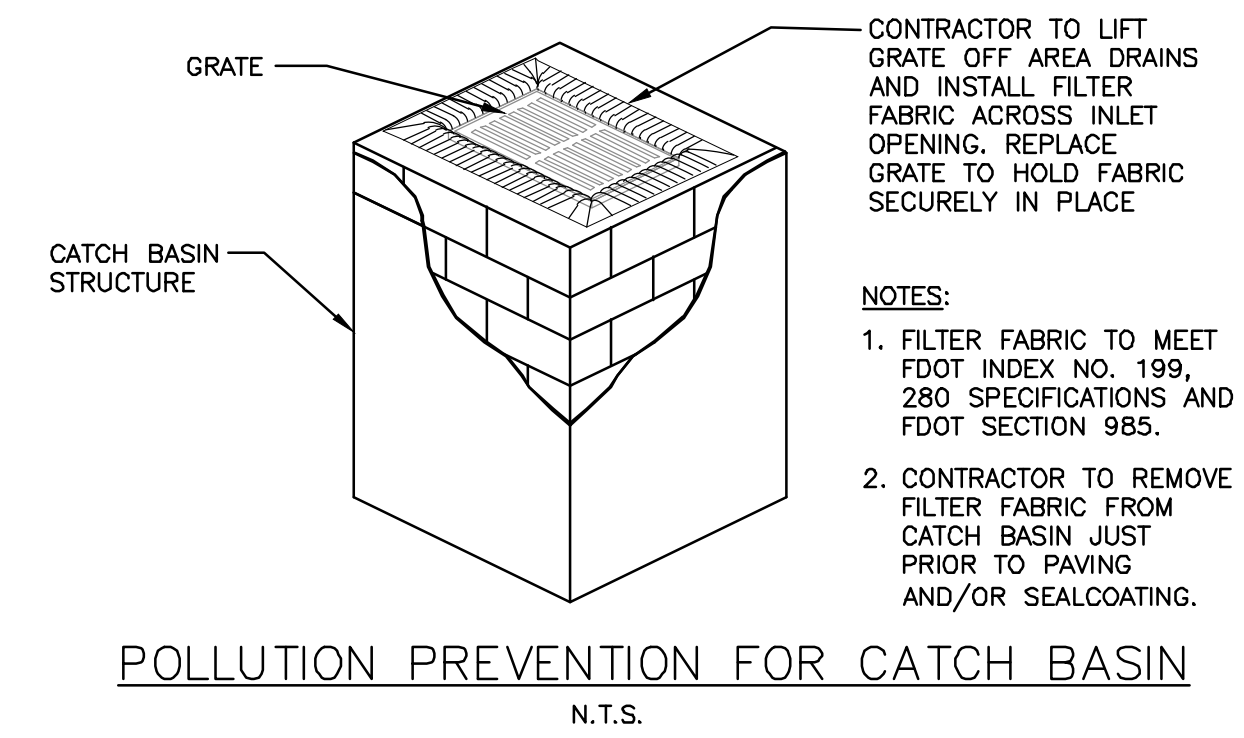
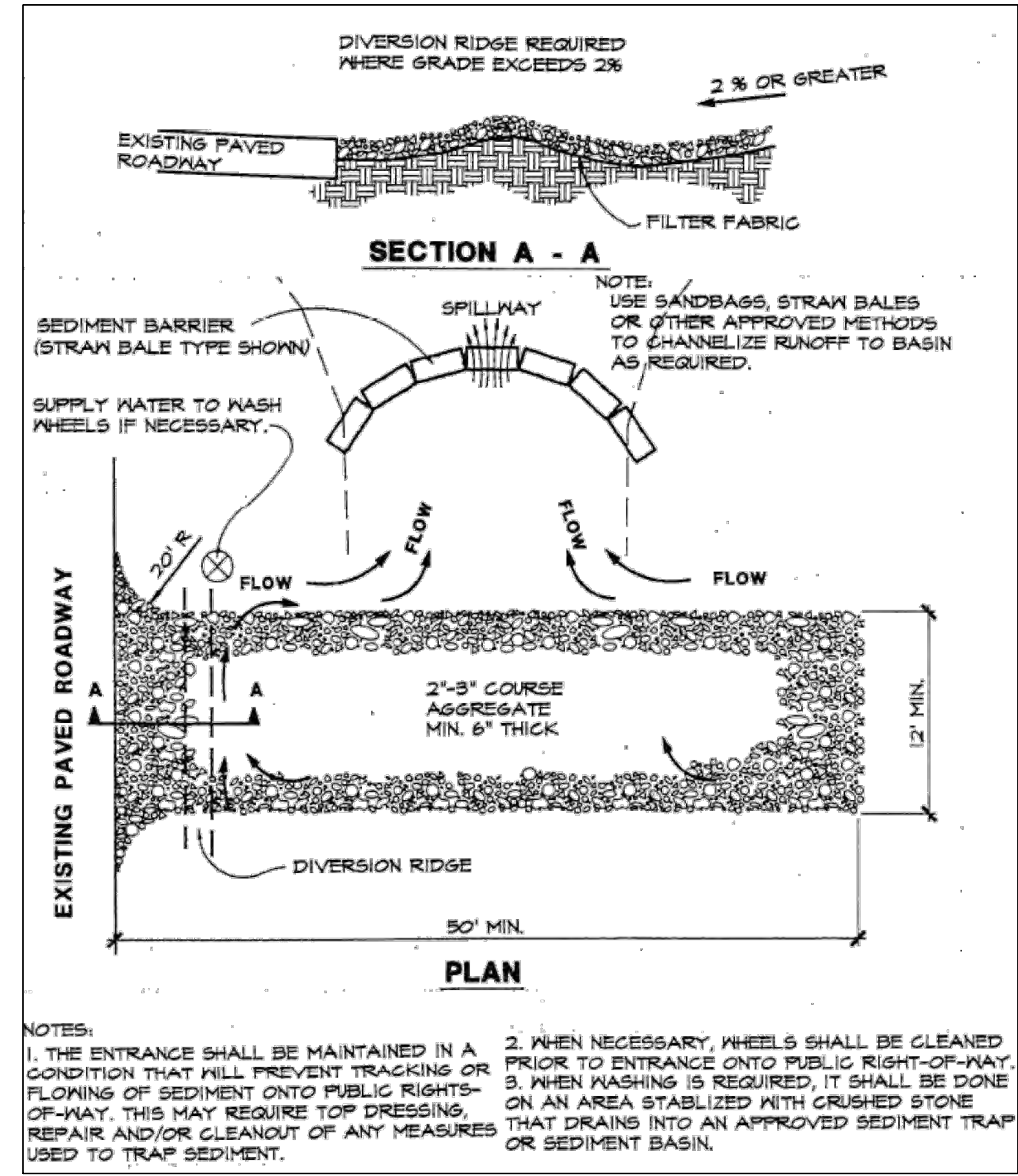
LEGEND

[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED GRADE
[Symbol]	EXISTING ELEVATION
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	EXISTING CATCH BASIN
[Symbol]	PROPOSED WATER METER
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING WATER VALVE
[Symbol]	PROPOSED BFP DEVICE
[Symbol]	EXISTING SAN. SEWER MH
[Symbol]	EXISTING FIRE HYDRANT

- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND CUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



LOCATION MAP
NOT TO SCALE



- NOTES:**
1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
 2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

N.T.S.



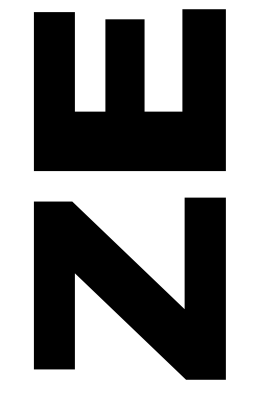
EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=20'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS

NO.	DATE	DESCRIPTION
1	12-4-24	TAC REVIEW COMMENTS
2	12-18-25	TAC REVIEW COMMENTS

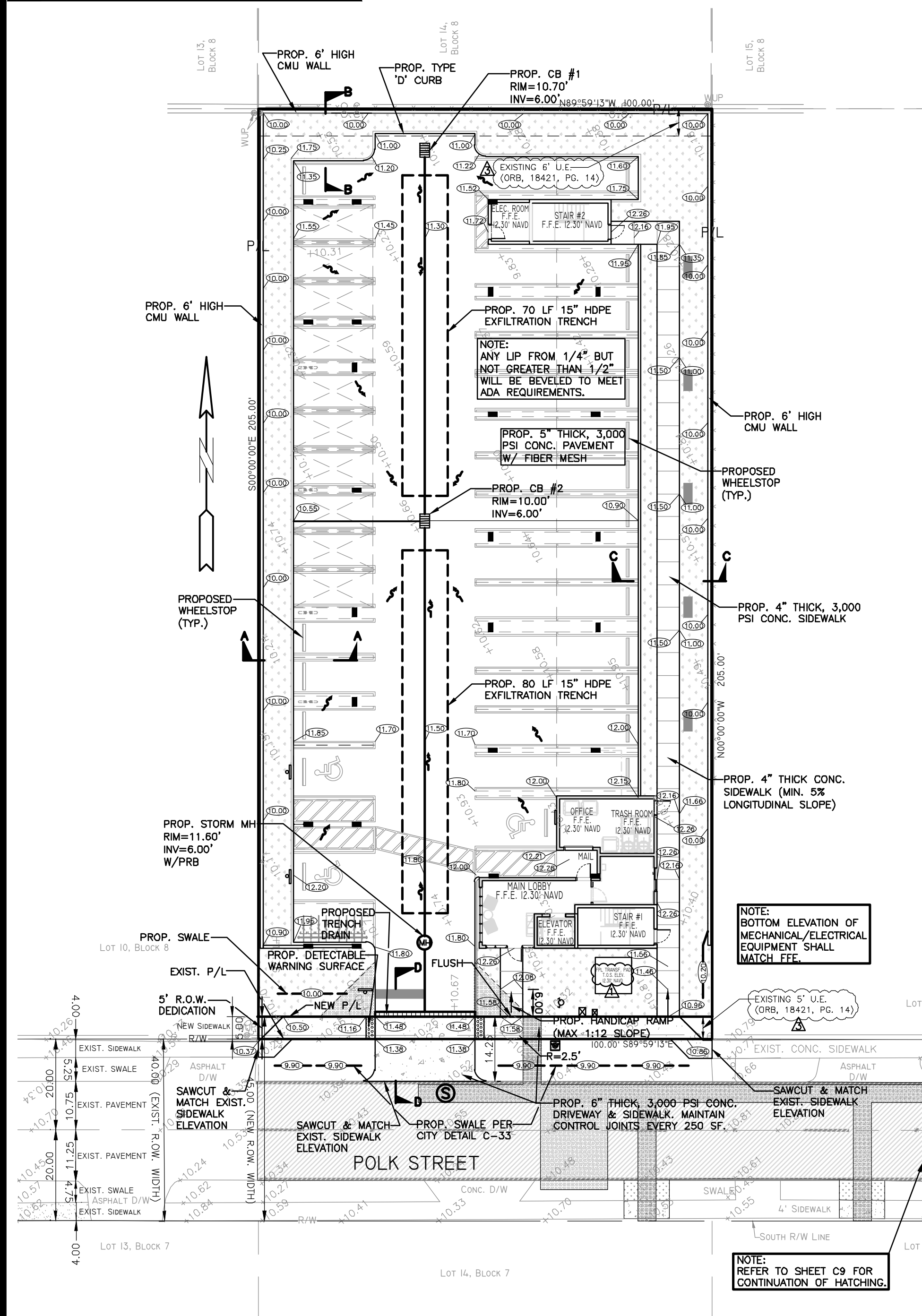
ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@zephyr.com
CA#: 31158



2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

P.E.#: 76036
DATE: 9/03/24
SCALE: 1"=20'
SHEET NO.: **C1**
1 OF 11
PROJECT NO.: 24-36

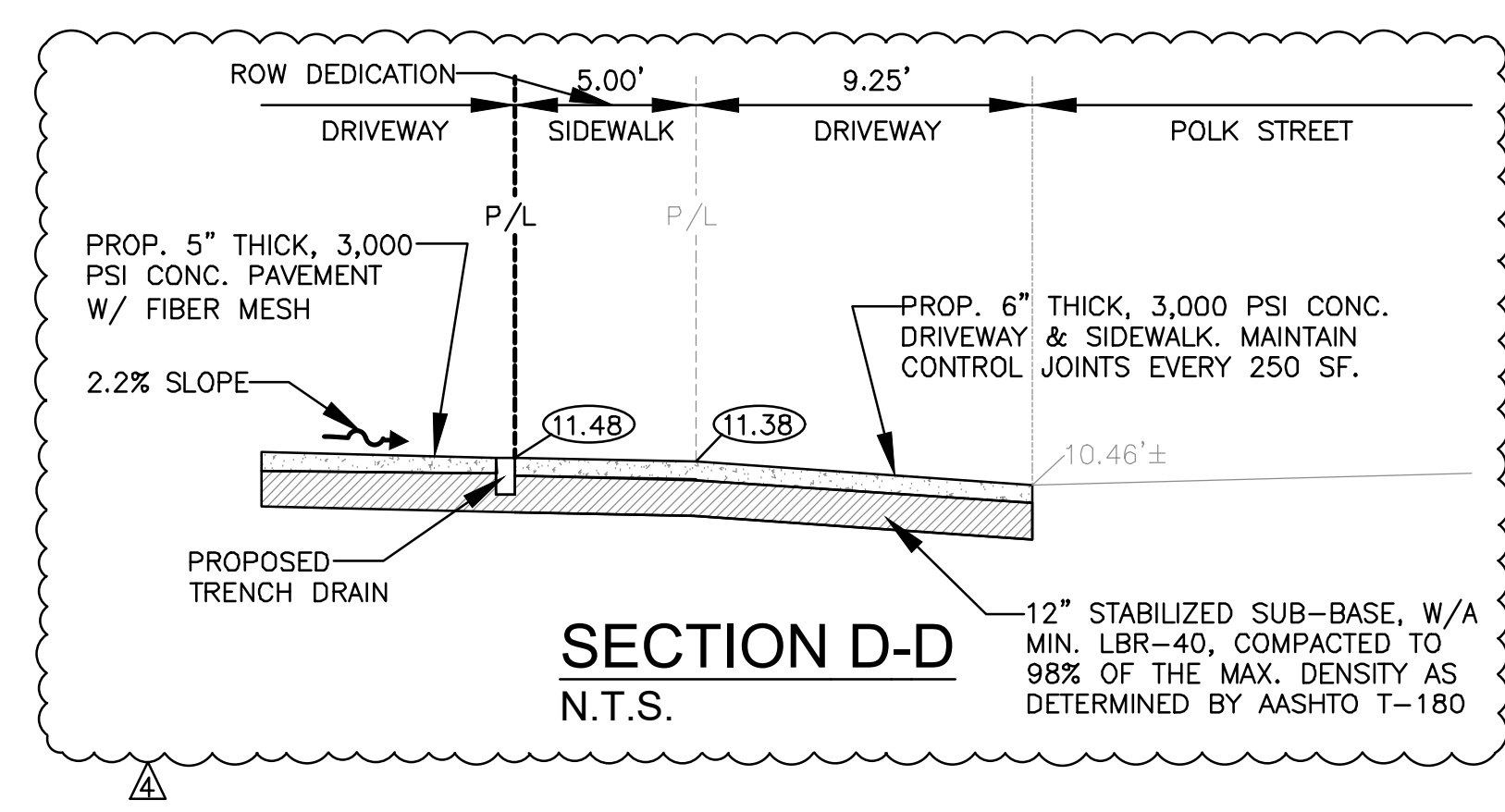
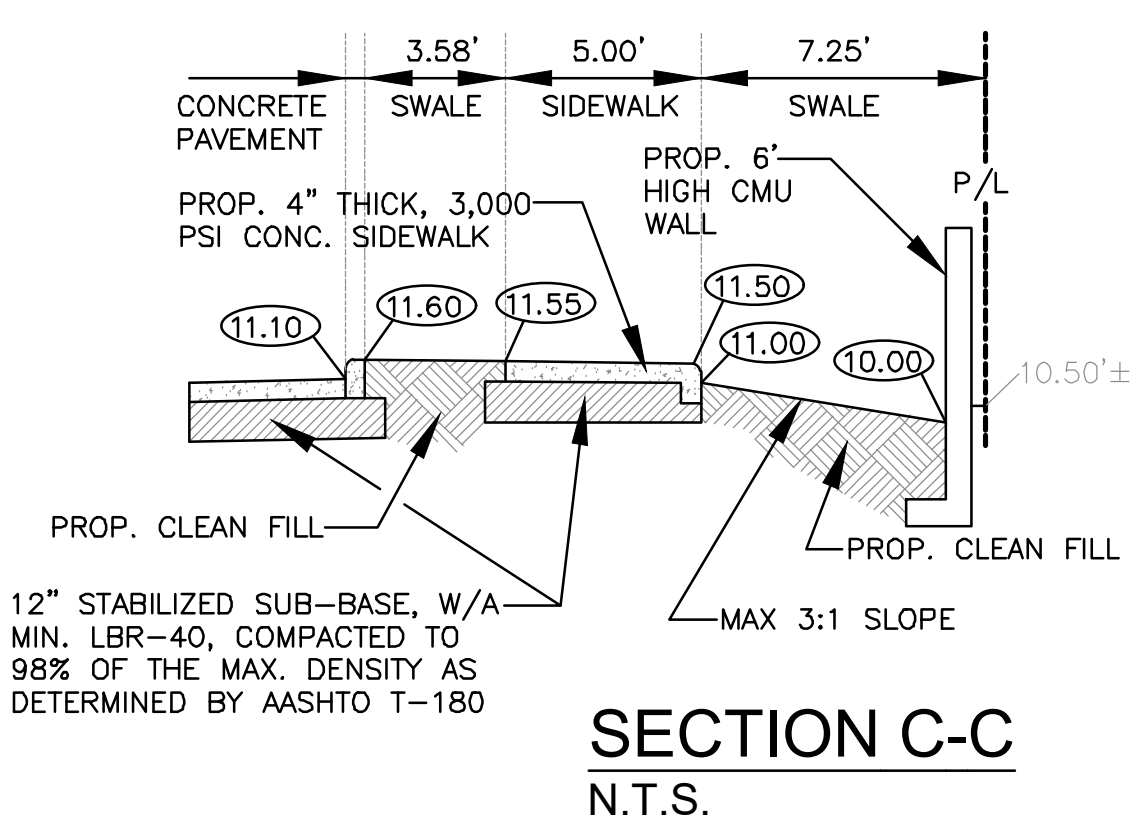
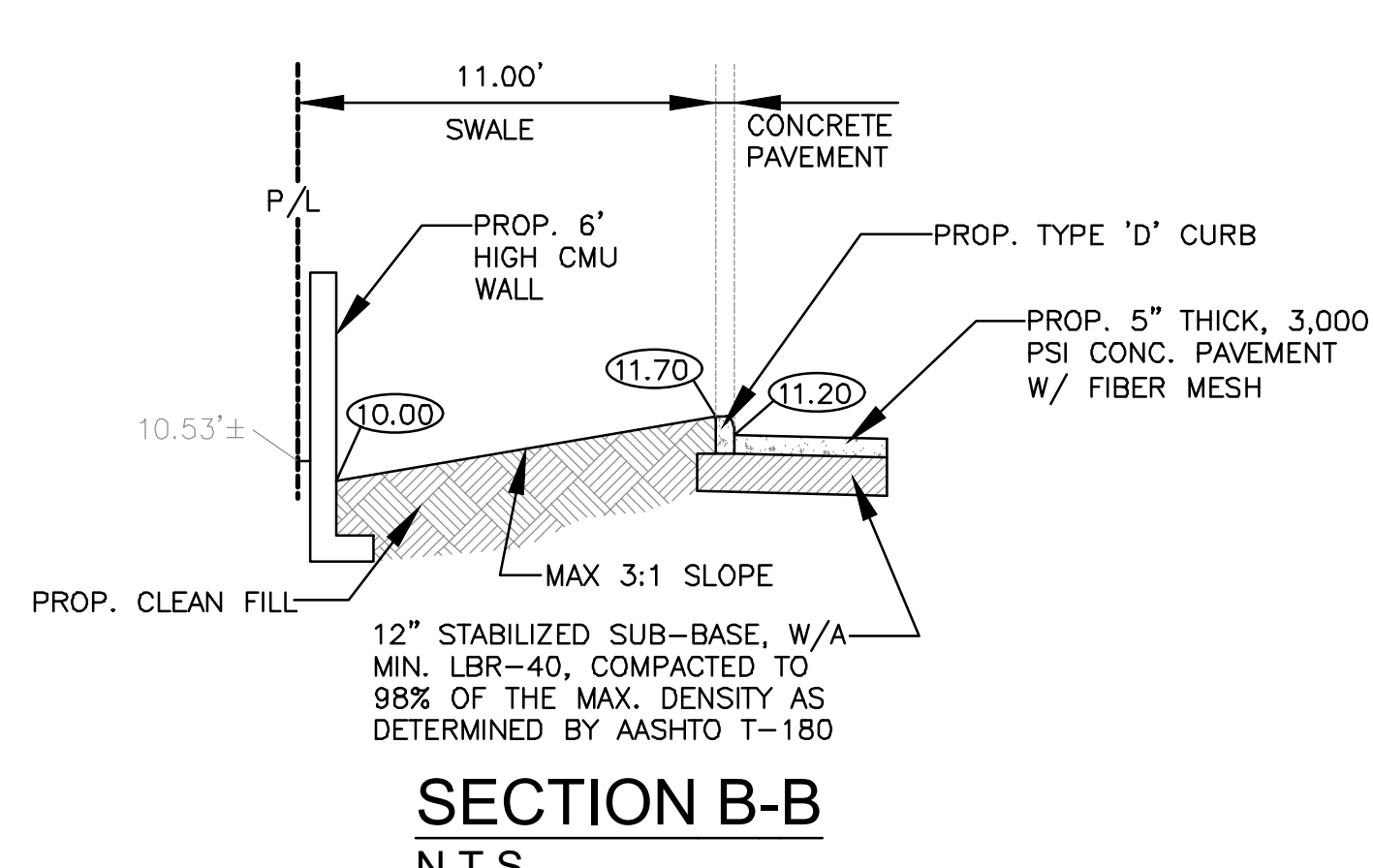
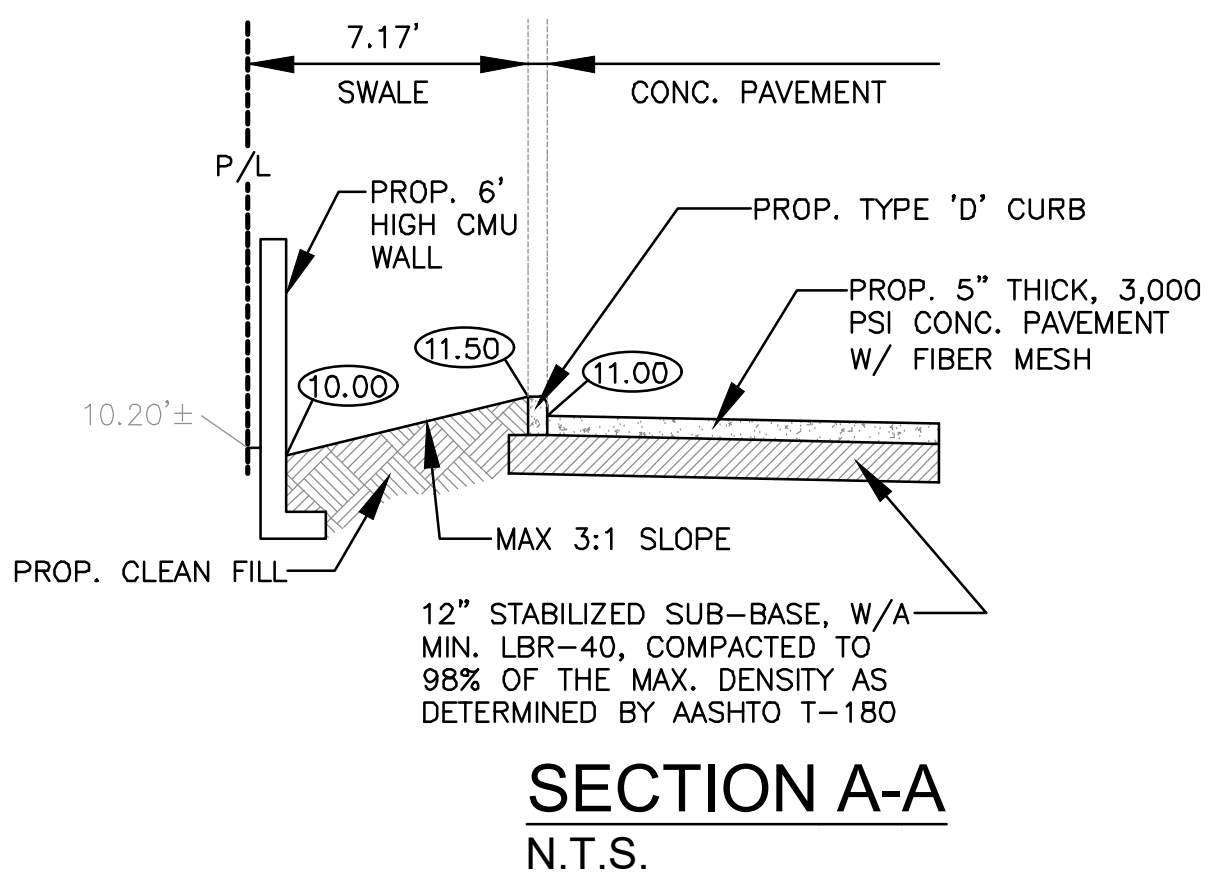
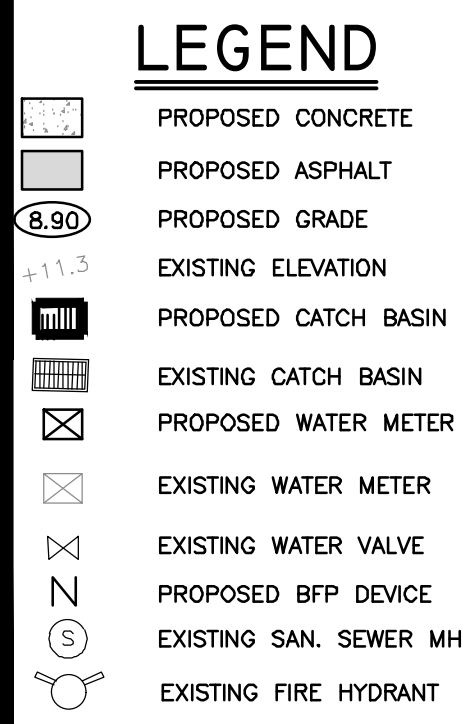
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



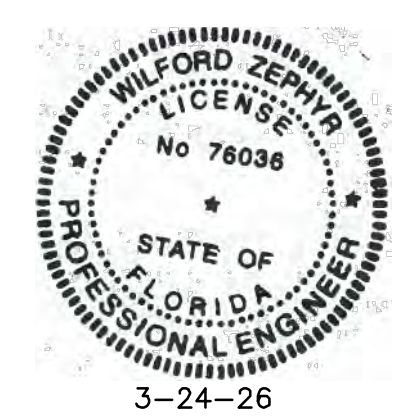
Note:
Full road width pavement mill and resurfacing and/or pavers, will be required for all streets / roadway adjacent to the project site.

CONCRETE:
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ. FT. AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

ALLOWABLE SLOPE NOTE:
1. MAXIMUM ALLOWABLE SLOPES FOR ALL ADA SIDEWALKS AND SURFACES MUST NOT EXCEED 2% IN ANY DIRECTION.
2. ADA RAMPS MUST NOT EXCEED 1:12 LONGITUDINAL SLOPE, & 2% CROSS SLOPE. ADA RAMPS LONGER THAN 6' IN LENGTH MUST INCLUDE ADA COMPLIANT RAILING.



- NOTES:**
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
 - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
 - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
 - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
 - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
 - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
 - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PAVING, GRADING & DRAINAGE PLAN
SCALE: 1"=20'

REVISIONS

NO.	DATE	DESCRIPTION
1	12-4-24	TAC REVIEW COMMENTS
2	8-5-25	TAC REVIEW COMMENTS
3	12-18-25	TAC REVIEW COMMENTS
4	2-24-26	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

P.E.#: 76036
DATE: 9/03/24
SCALE: 1"=20'
SHEET NO.: **C2**
2 OF 11
PROJECT NO.: 24-36

GENERAL CONDITION NOTES :

- THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION BELLSOUTH COMCAST TECO LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
- ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC..
- ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
- WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
- ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
- SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
- ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
- ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
- CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
- PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
- CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
- PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS

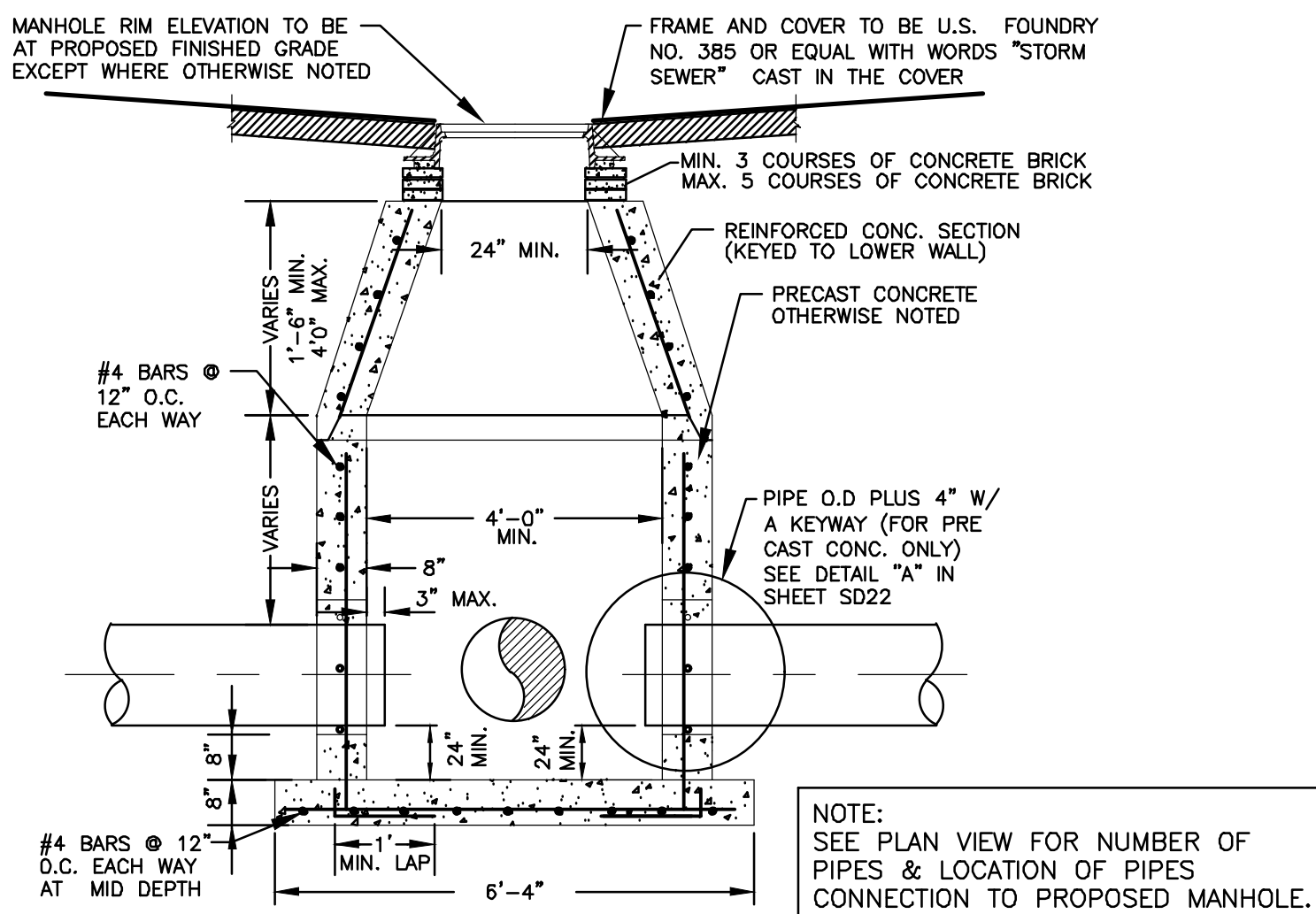
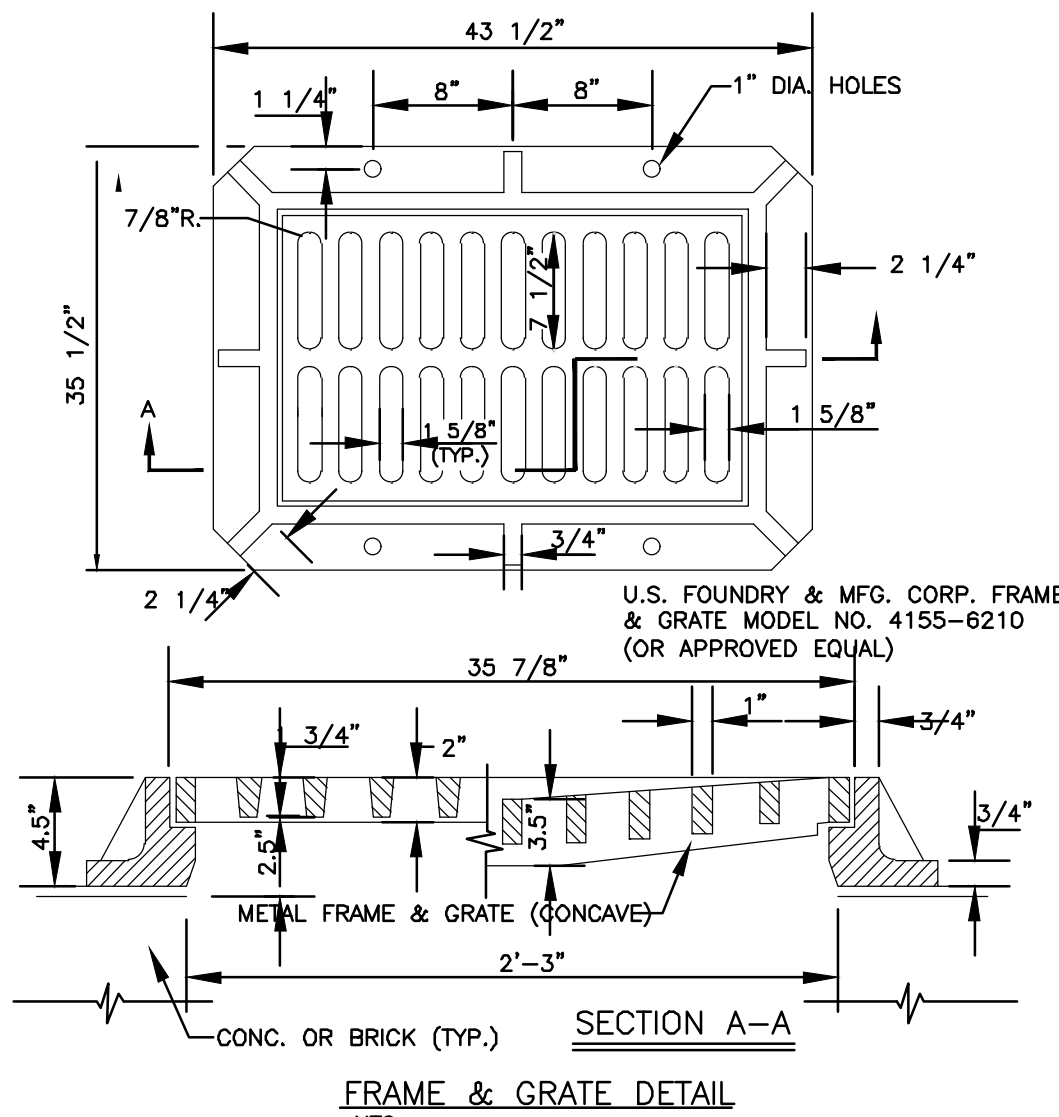
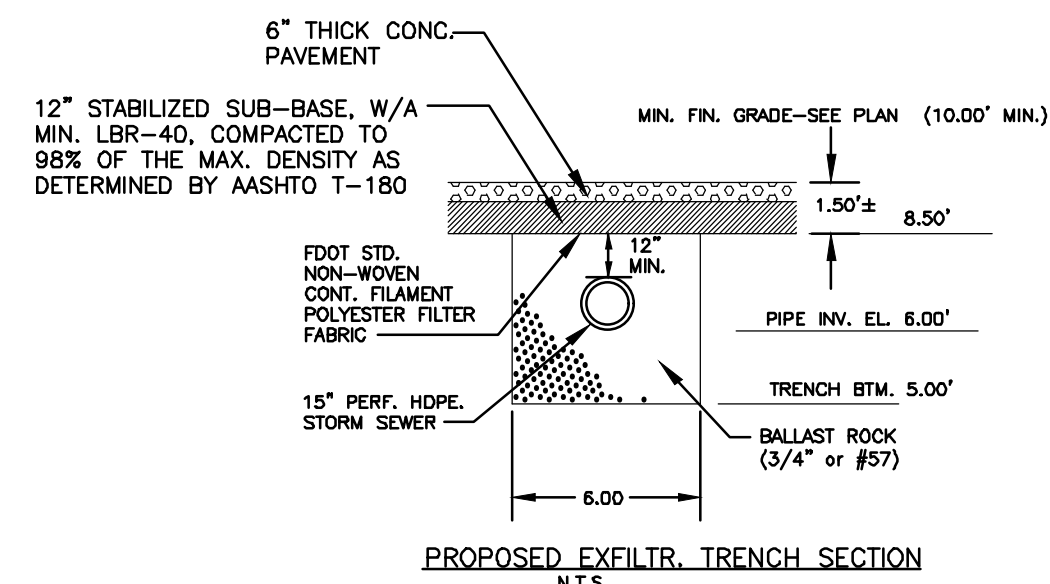
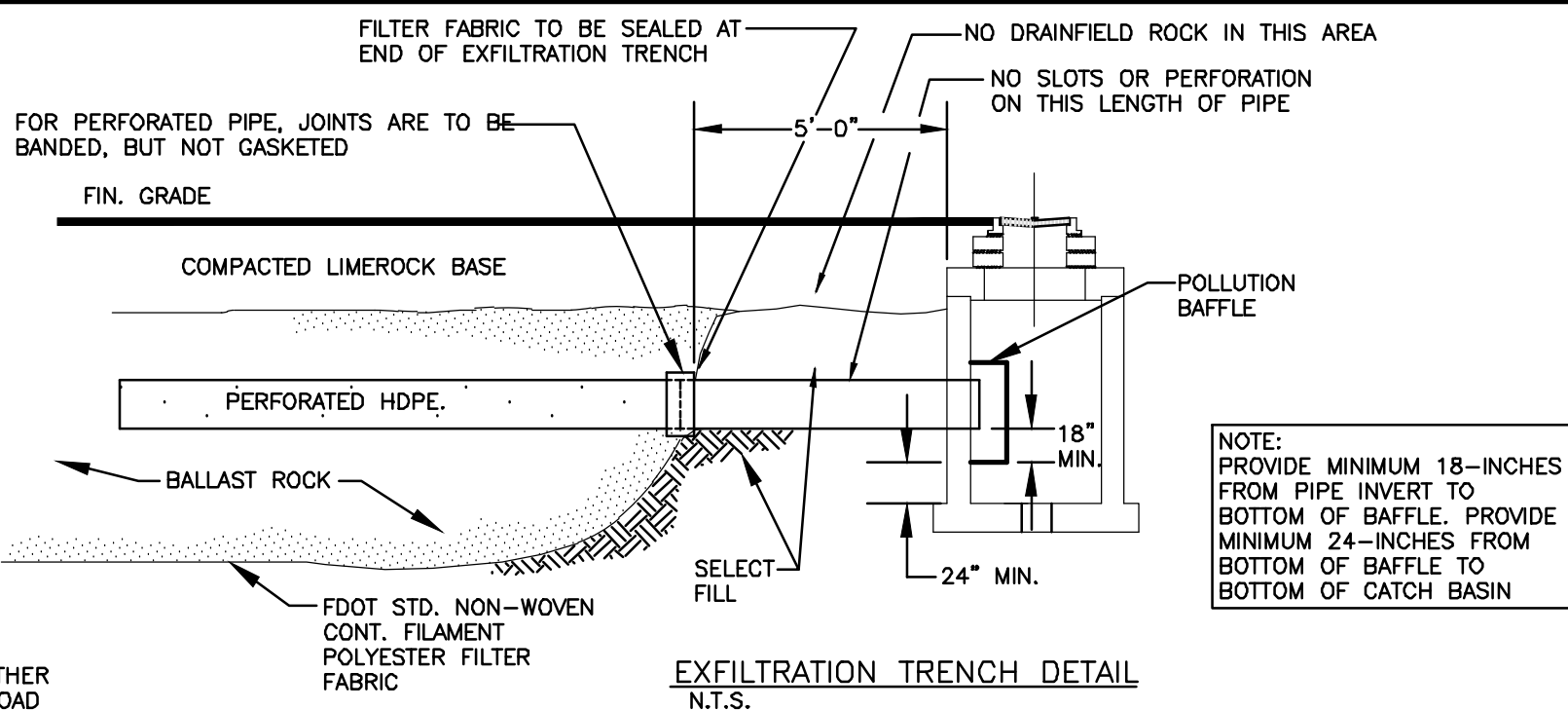
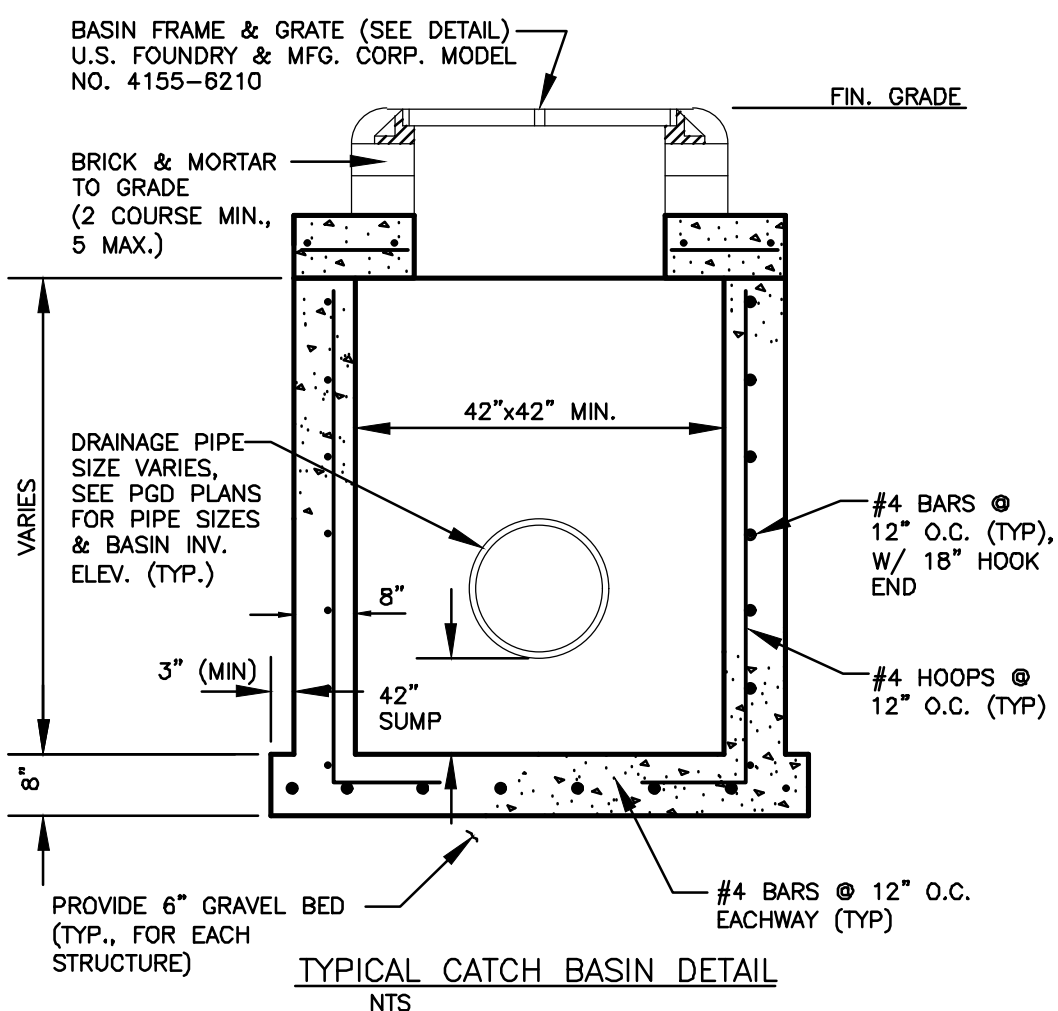
- ROP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
- CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
- CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
- SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
- PVC = POLYVINYLCHLORIDE PIPE
- POMP = PERFORATED CMP, FDOT SECTION 945
- DIP = DUCTILE IRON PIPE
- HDPE = HIGH DENSITY POLYETHYLENE PIPE.

- ASPHALT - BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1. PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

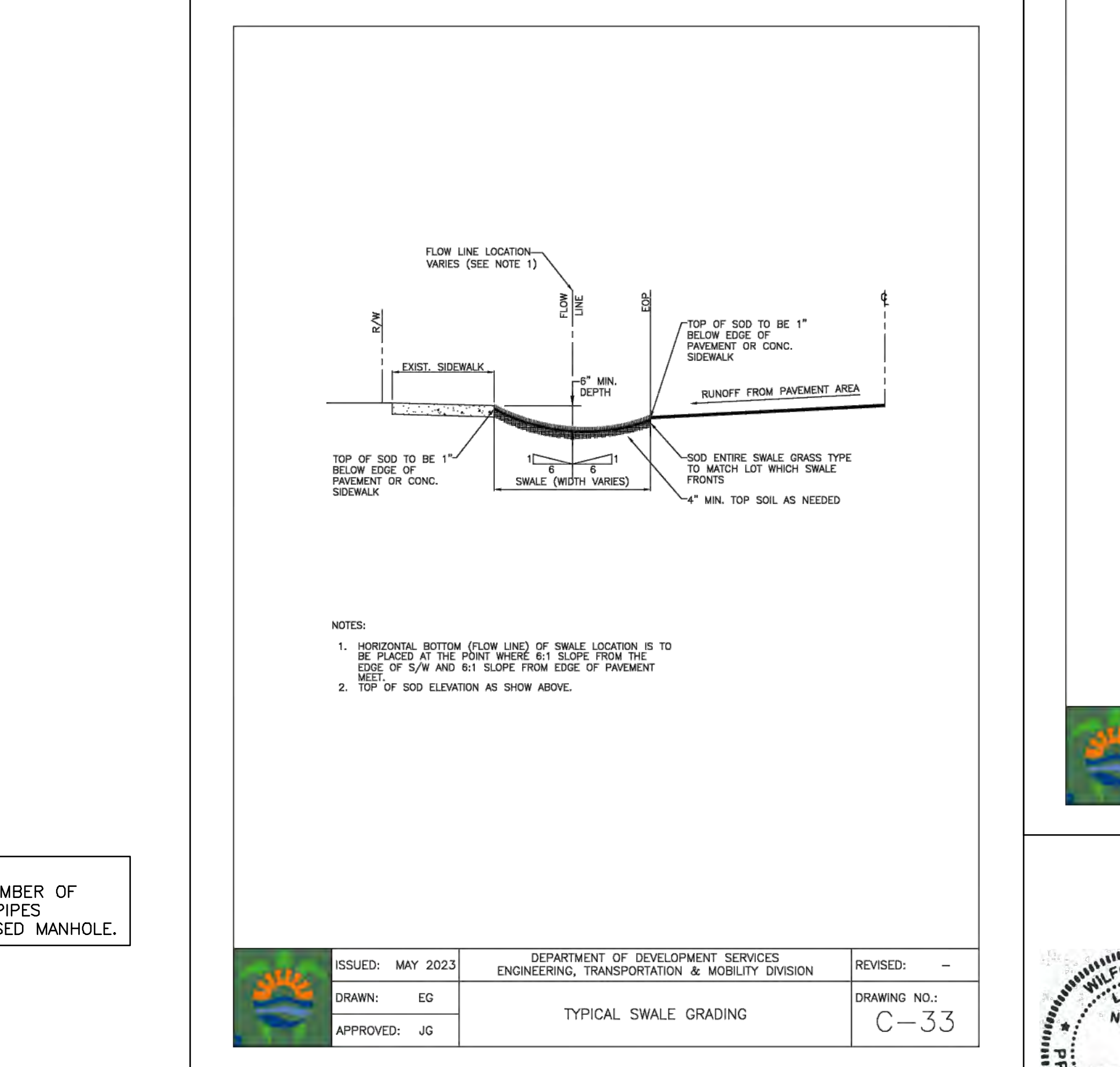
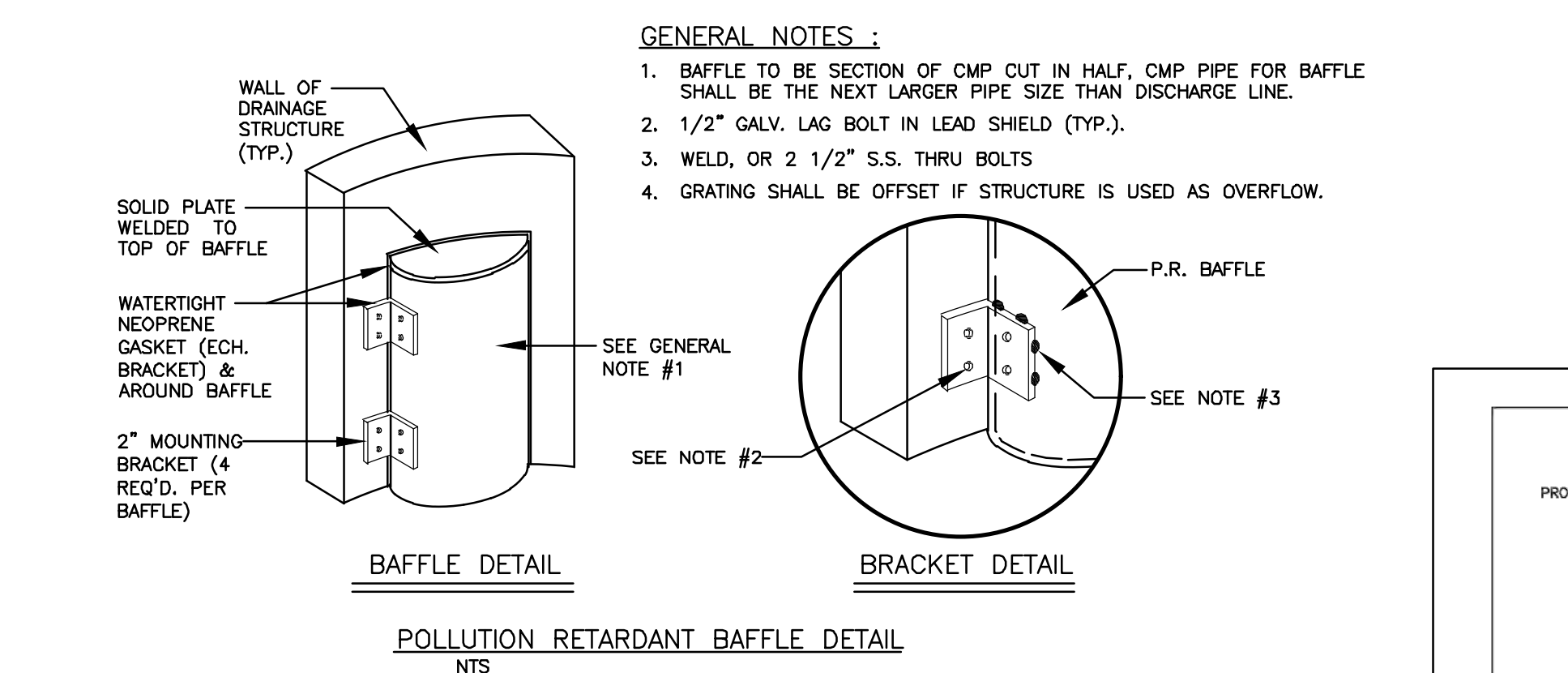
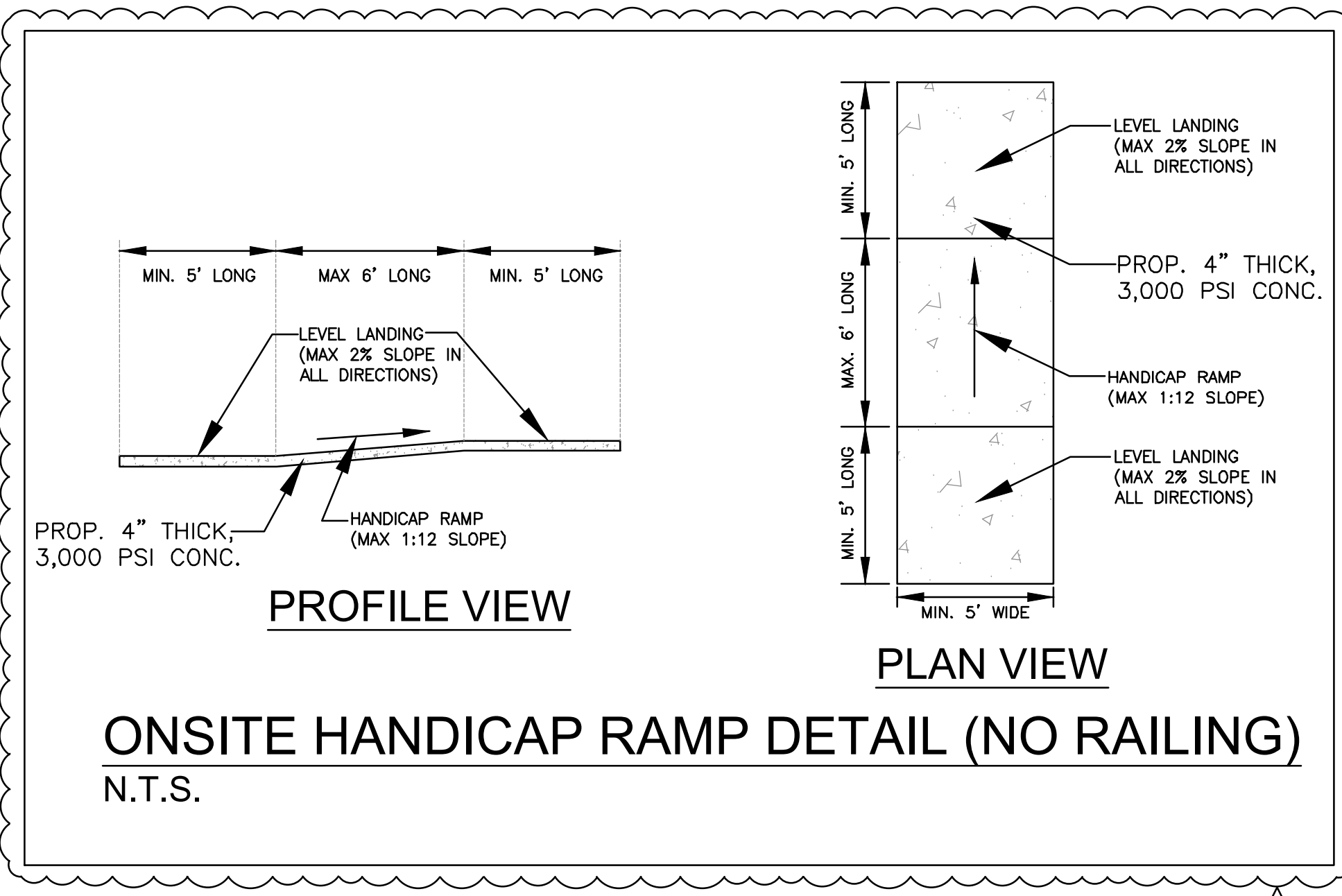
PAVEMENT MARKING & SIGNING STANDARD NOTES :

- STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
- ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
- STOP BARS SHALL BE 24" WHITE.
- ALL SITE PAVEMENT MARKINGS SHALL BE PAINT, (UNLESS INDICATED OTHERWISE)
- ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.

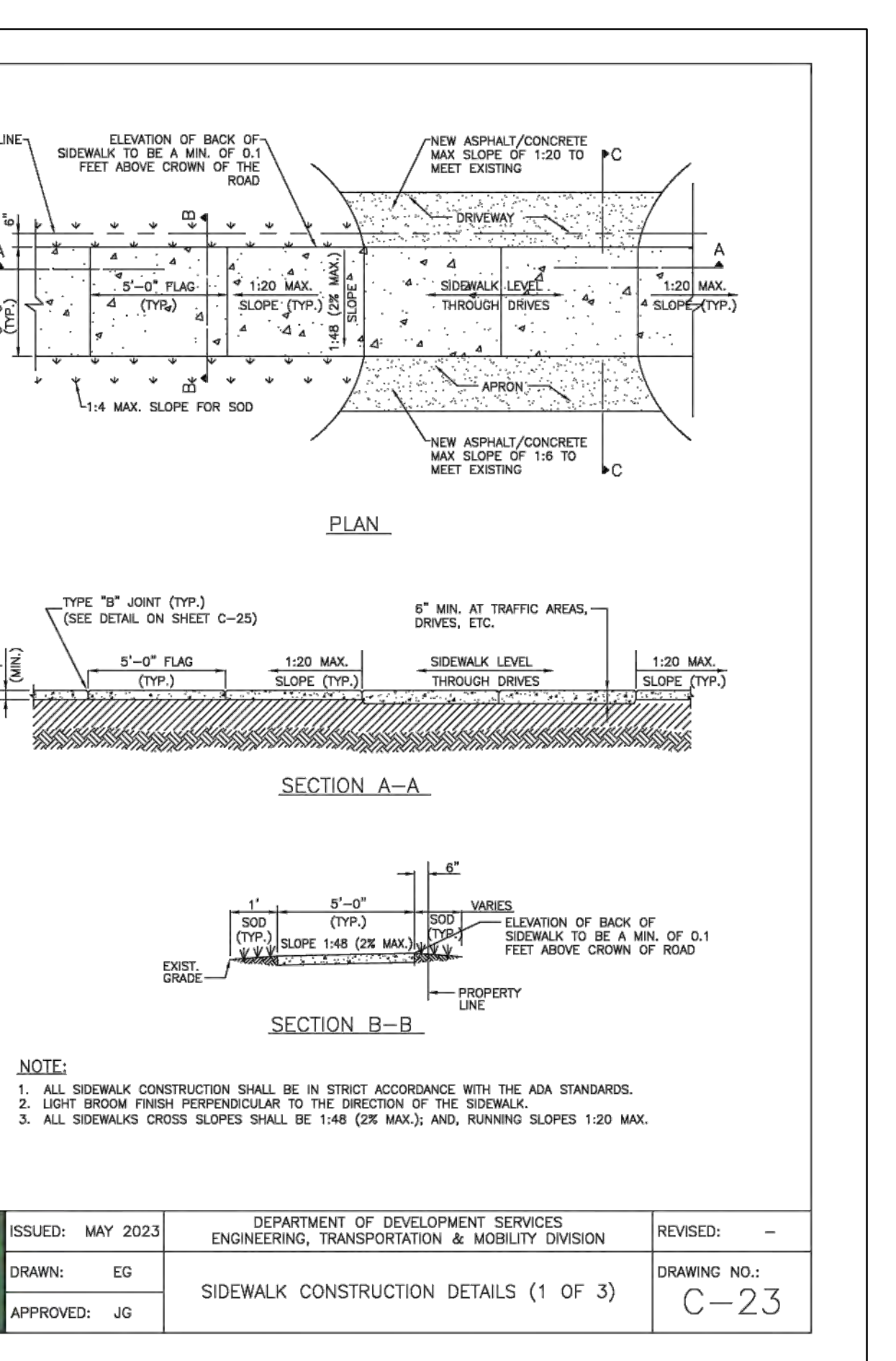
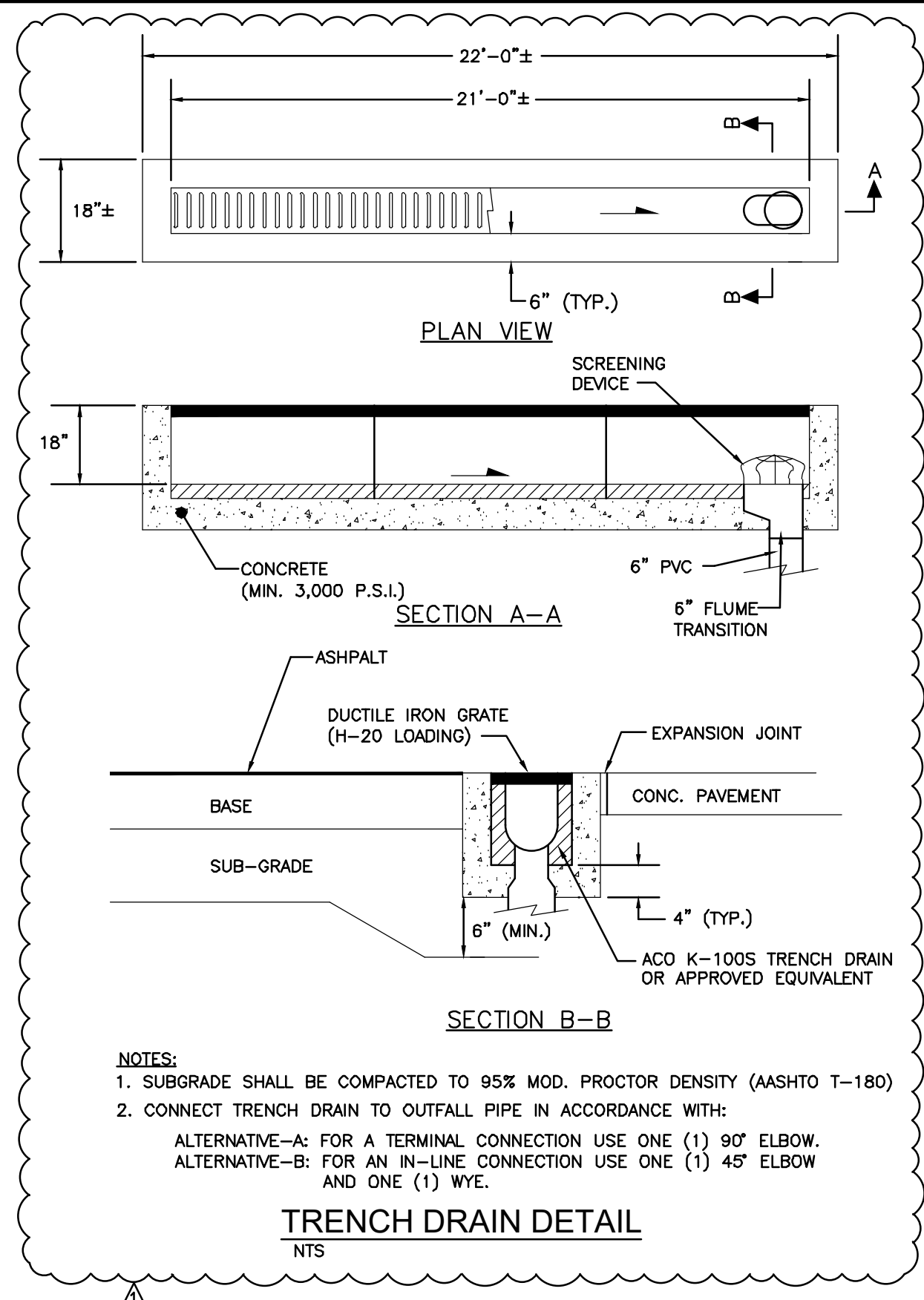


- GENERAL DETAILS:**
- PROVIDE SHOP DRAWINGS OF STRUCTURES.
 - PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478, SHALL BE TYPE II ACID RESISTANT CEMENT AND SHALL MAINTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS.
 - REFER TO FDOT INDEX 200 FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
 - ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60, ALL COVER SHALL BE 3 INCHES MINIMUM.
 - ALL OPENINGS SHALL BE SEALED WITH ELASTOMETRIC GROUT (TYPE 3 CEMENT) SEE DETAIL "A", IN SHEET SD22.

CONCENTRIC PRECAST DRAINAGE MANHOLE (4'-0" MIN. DIA.) DETAIL N.T.S.



ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM CIVIL DETAILS I SCALE: N.T.S.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (1 OF 3)	DRAWING NO.: C-23
APPROVED: JG		

NOTE:
 1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
 2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
 3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.

ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: -
 DRAWN: EG TYPICAL SWALE GRADING DRAWING NO.: C-33
 APPROVED: JG

WILFORD ZEPHYR, P.E. No. 78038 STATE OF FLORIDA PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

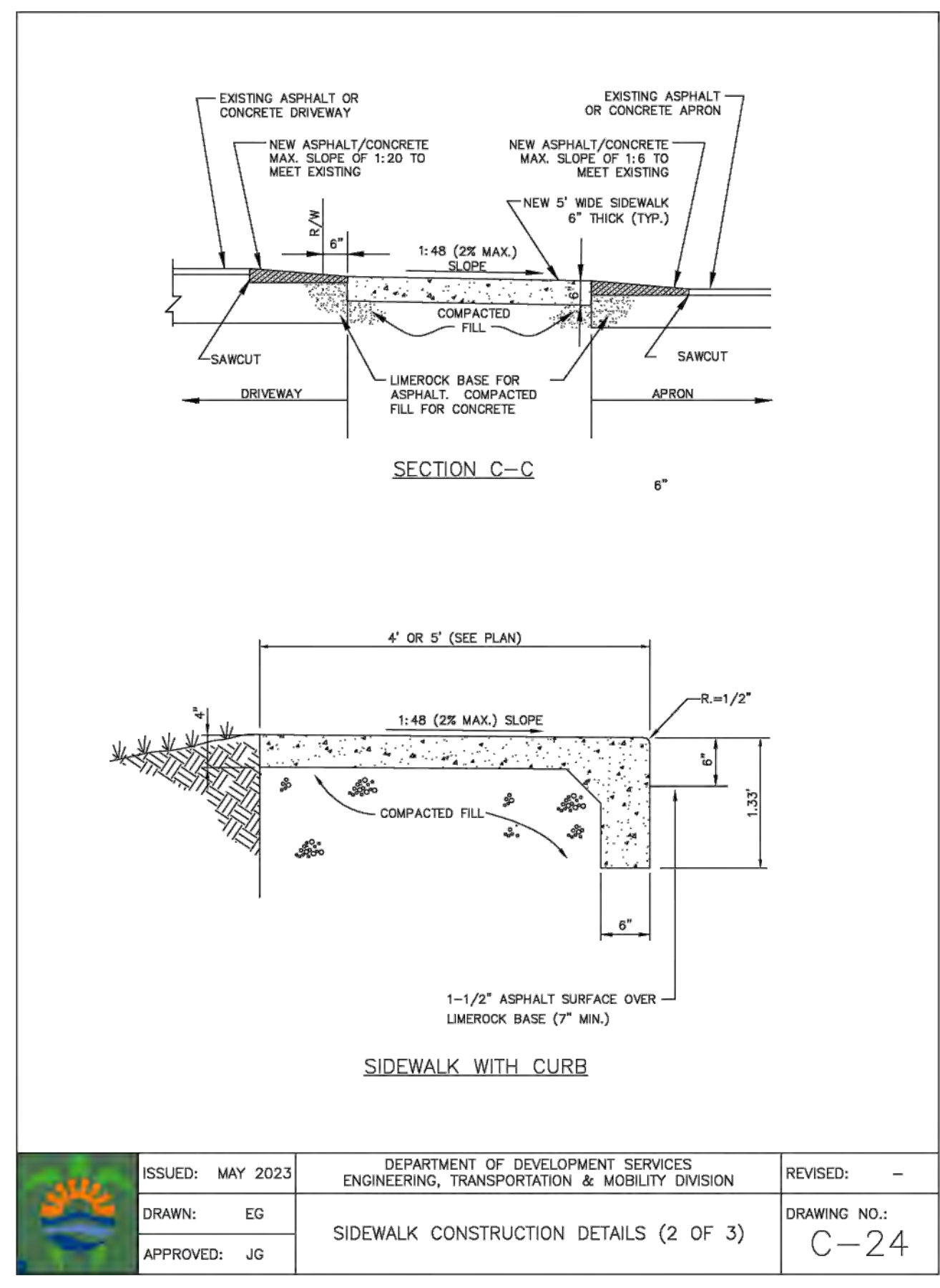
ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyr@engmail.com
 CA#: 31158

REVISIONS

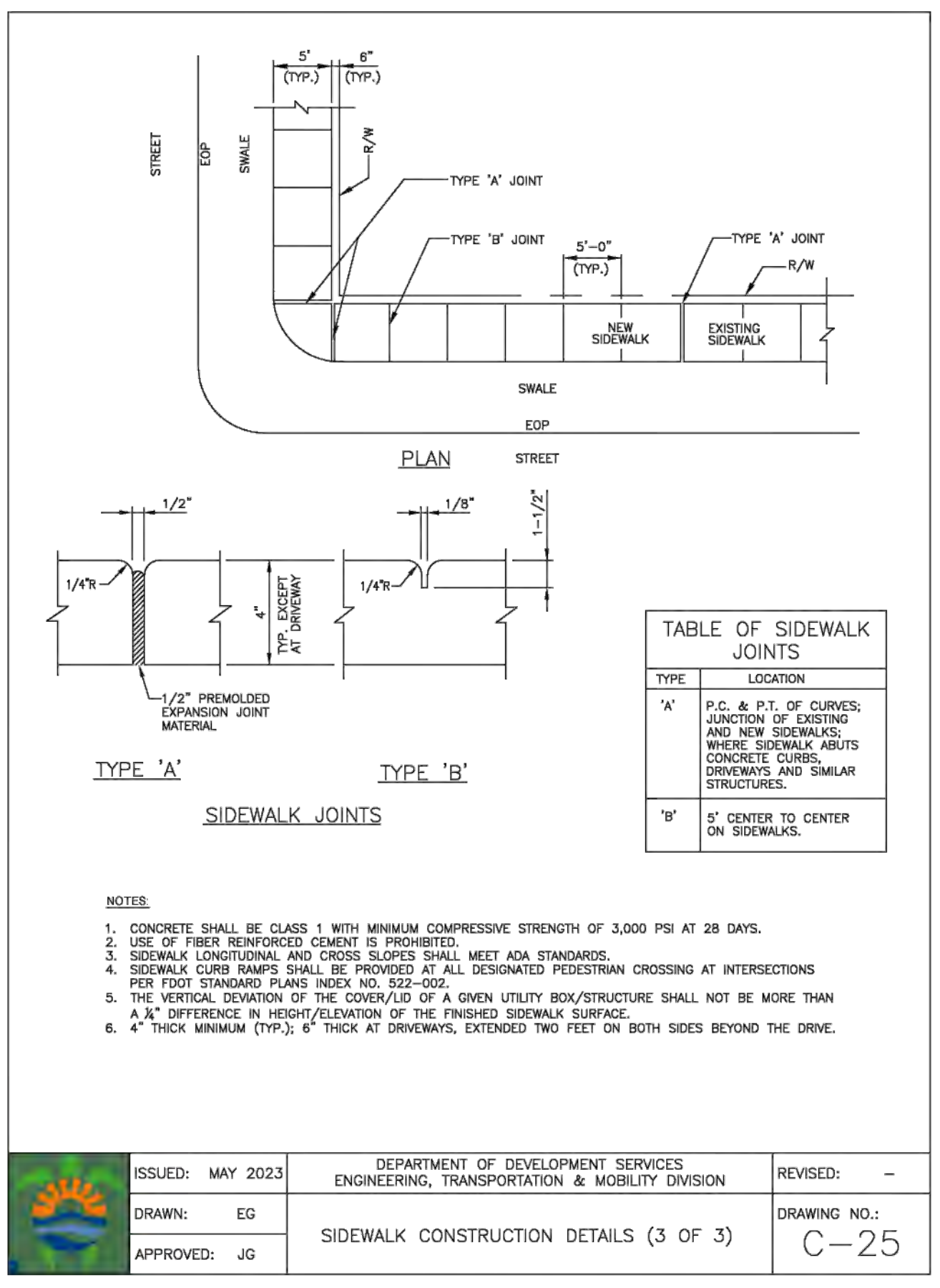
NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	12-4-24		

2323 POLK BUILDING A RESIDENTIAL CONDOMINIUM
 2323 POLK STREET
 HOLLYWOOD, FLORIDA - 33020

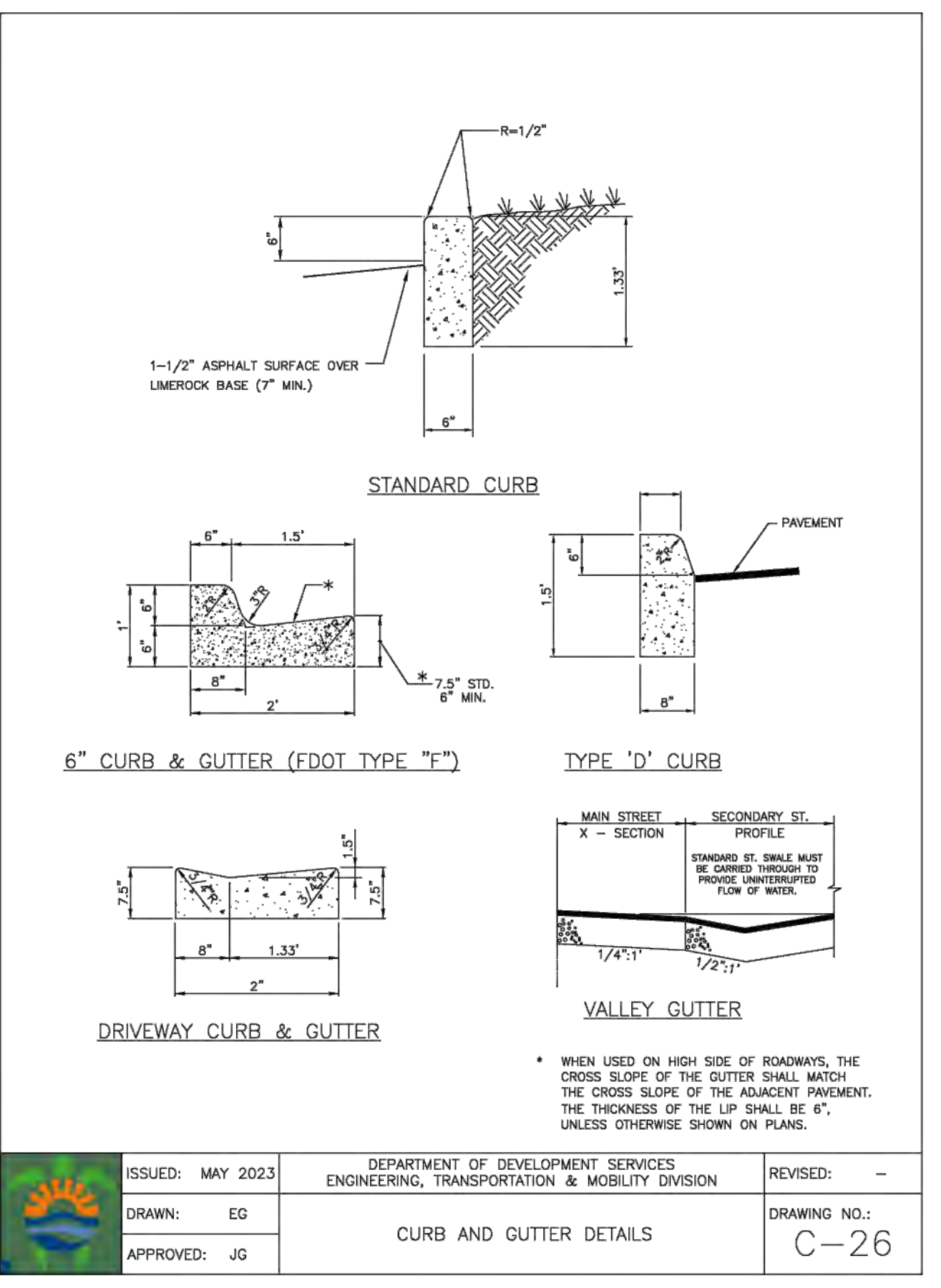
P.E.#:76036
 DATE: 9/03/24
 SCALE: N.T.S.
 SHEET NO.: C3
 3 OF 11
 PROJECT NO.: 24-36



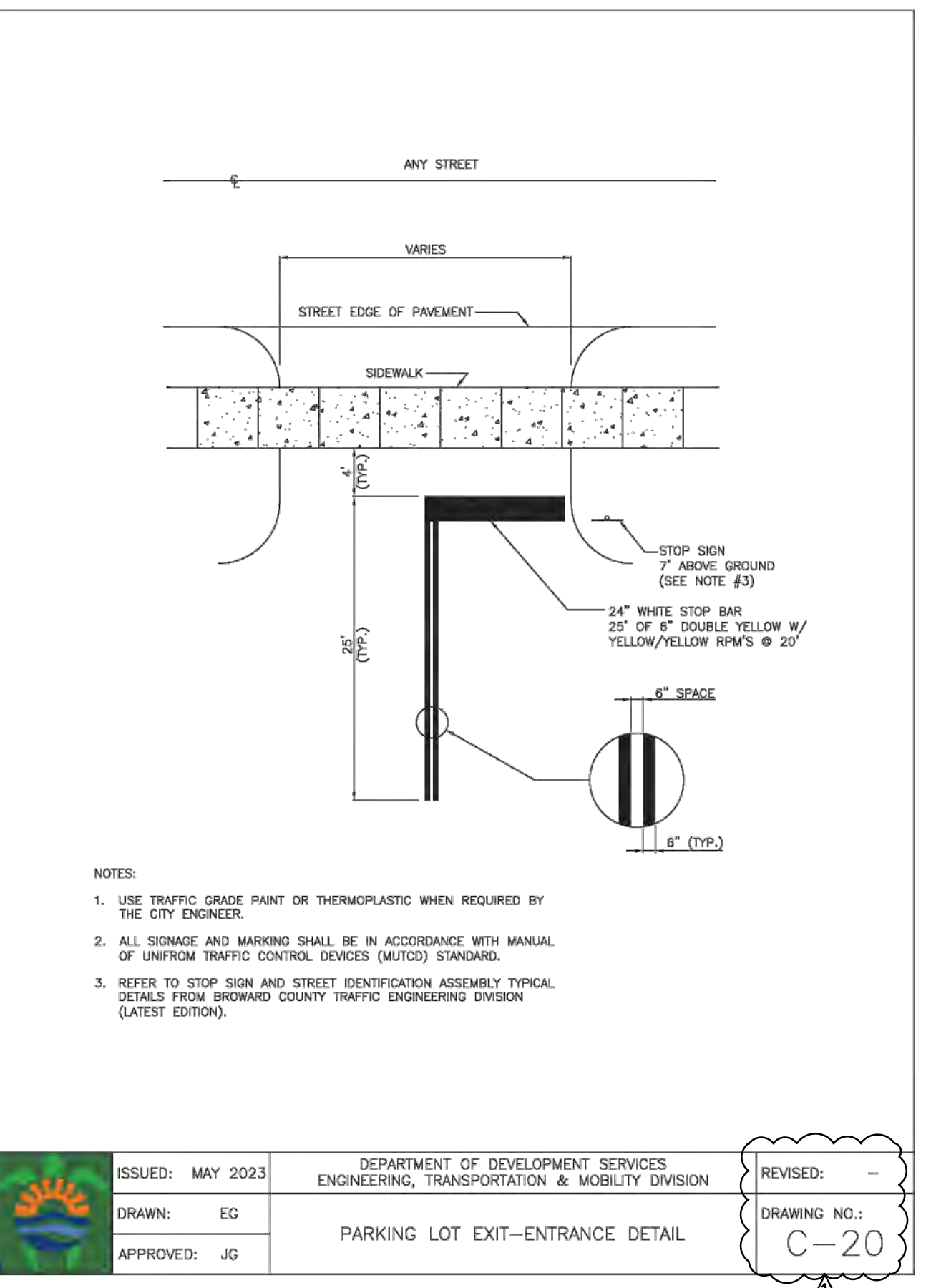
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (2 OF 3)	DRAWING NO.: C-24
APPROVED: JG		



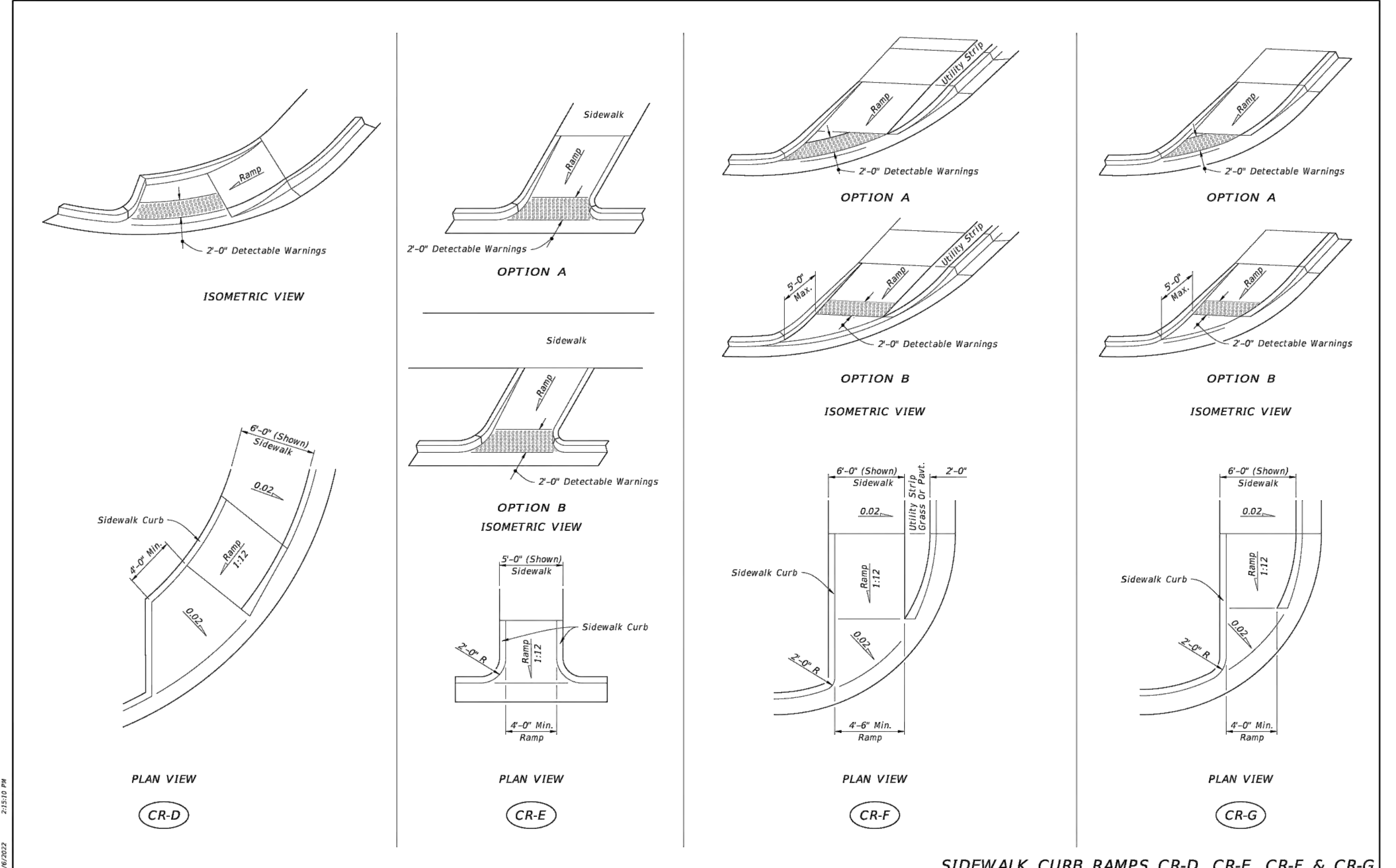
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (3 OF 3)	DRAWING NO.: C-25
APPROVED: JG		



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	CURB AND GUTTER DETAILS	DRAWING NO.: C-26
APPROVED: JG		



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	PARKING LOT EXIT-ENTRANCE DETAIL	DRAWING NO.: C-20
APPROVED: JG		



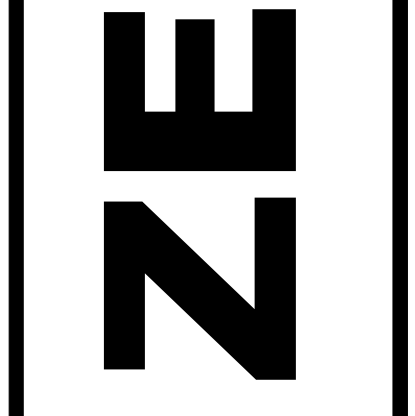
LAST REVISION: 11/01/21	DESCRIPTION:	FDOT	FY 2023-24 STANDARD PLANS	INDEX 522-002	SHEET 4 of 7
-------------------------	--------------	------	------------------------------	------------------	-----------------

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

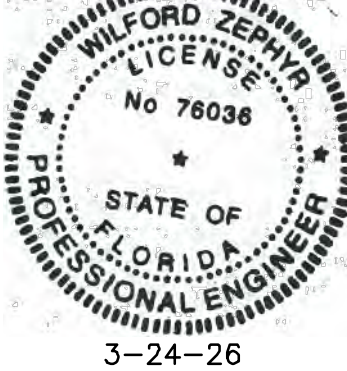
NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	8-5-25		

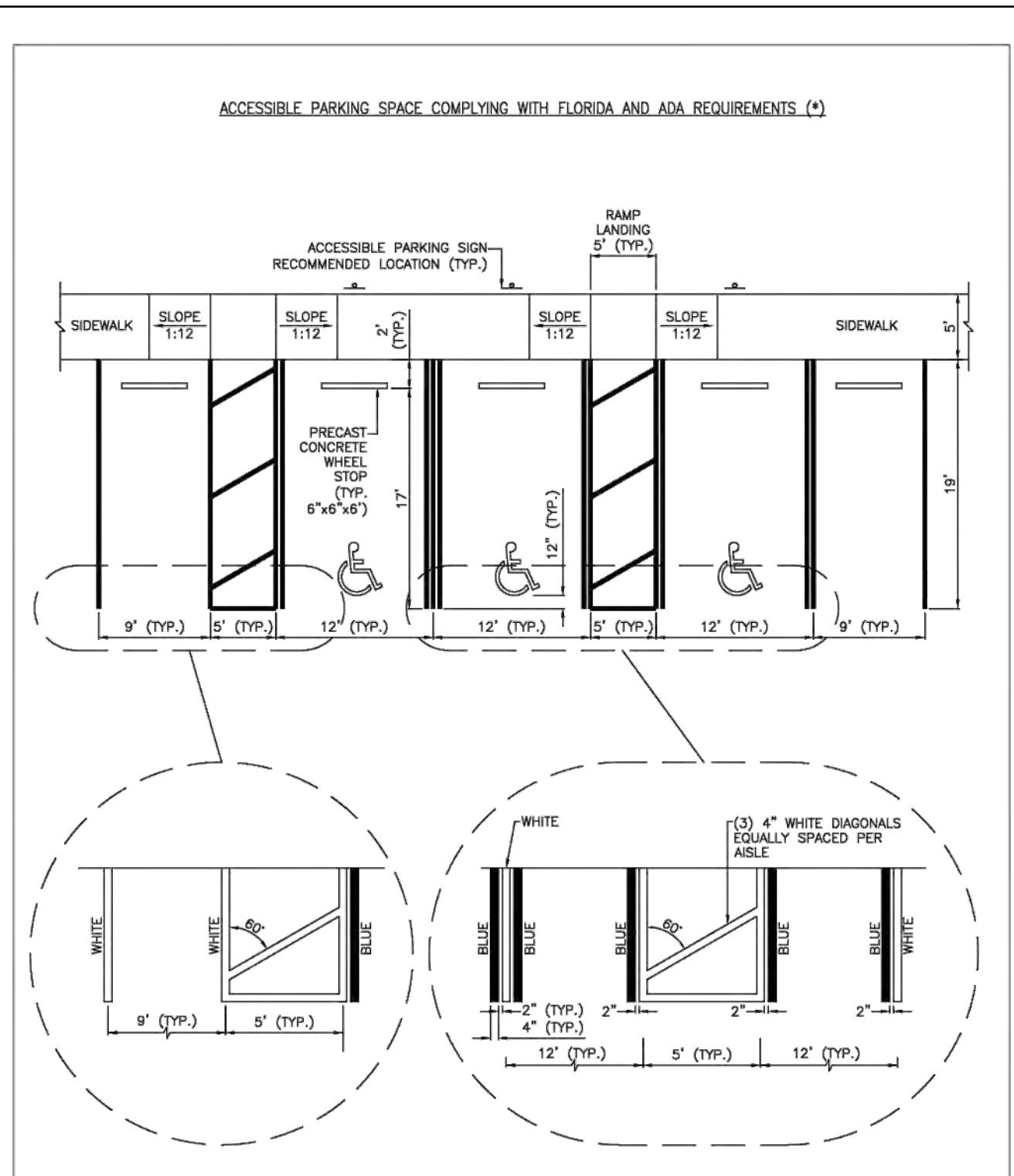
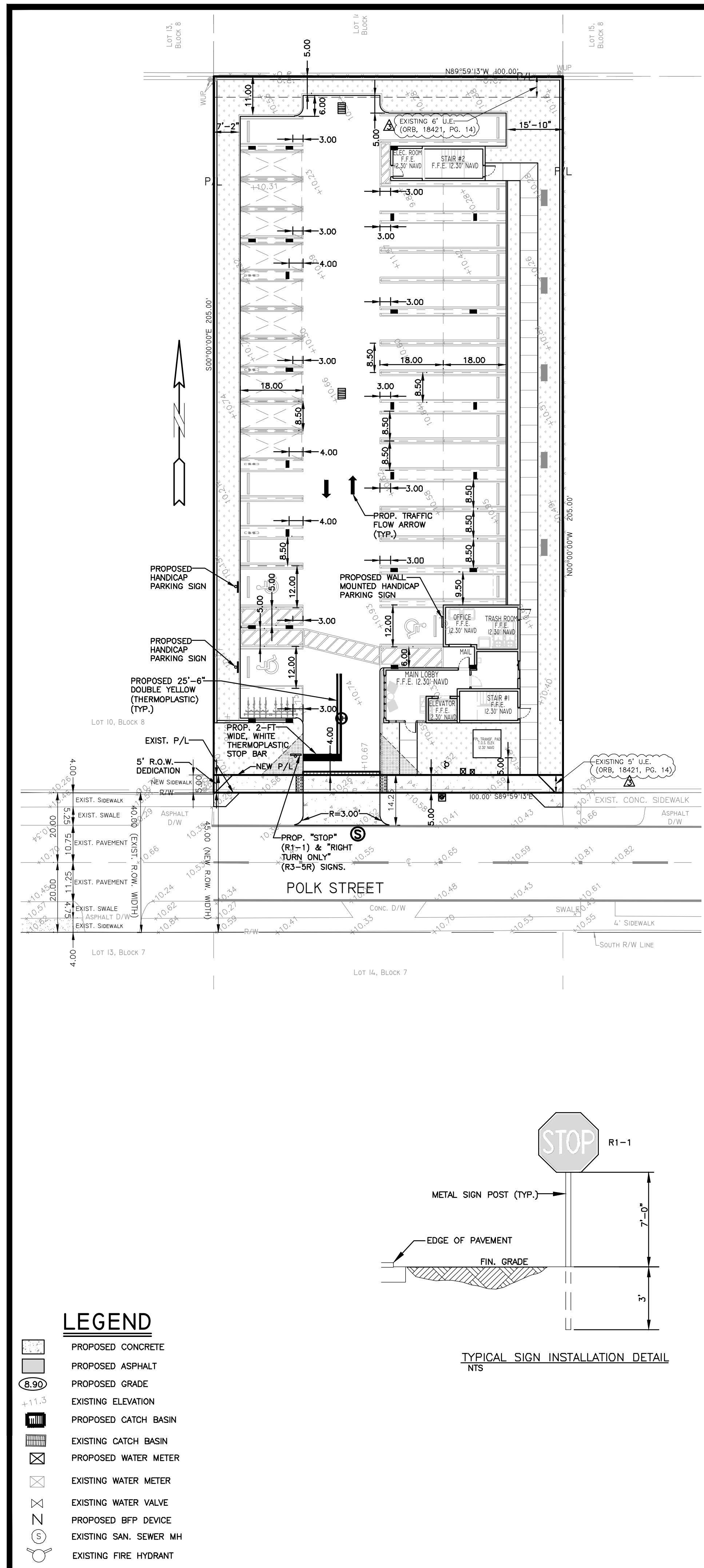
ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyr@gmail.com
 CA#: 31158



2323 POLK BUILDING
 A RESIDENTIAL CONDOMINIUM
 2323 POLK STREET
 HOLLYWOOD, FLORIDA - 33020

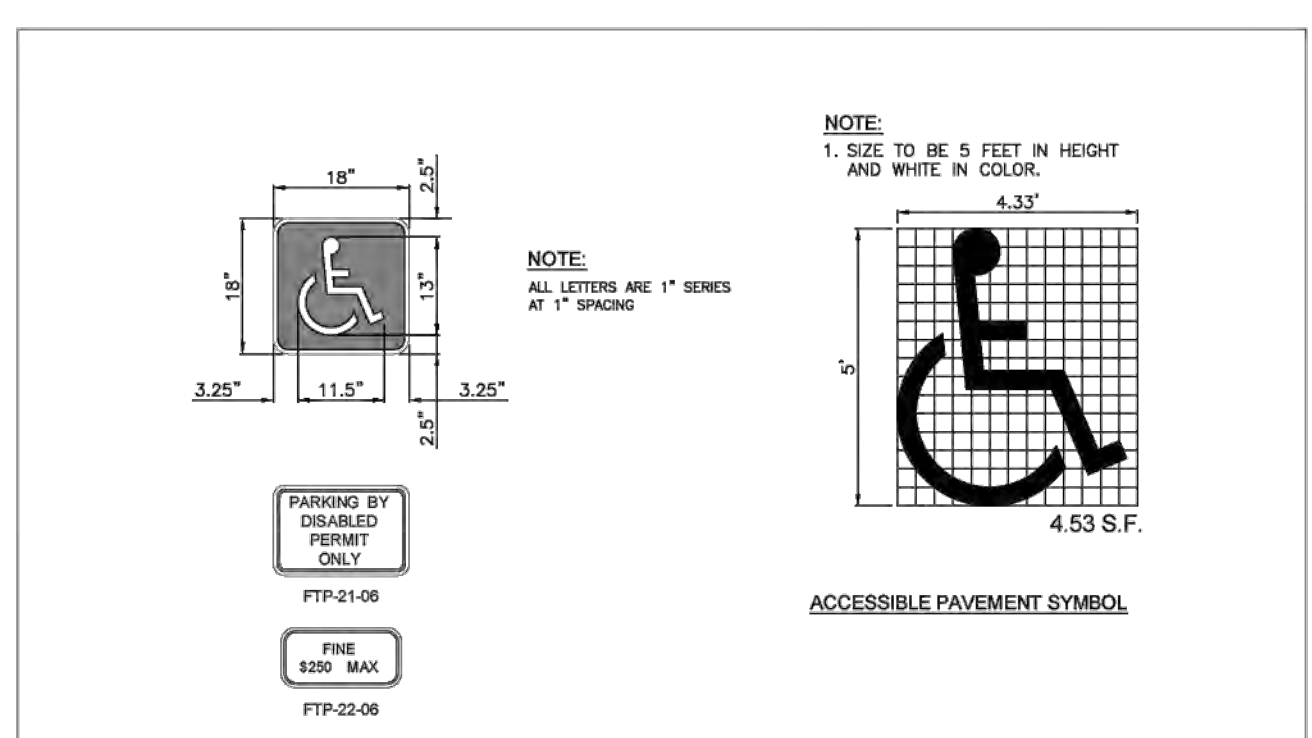
P.E.#: 78036
DATE: 9/03/24
SCALE: N.T.S.
SHEET NO.: C4
4 OF 11
PROJECT NO.: 24-36





(*) IN CASE OF CONFLICT PLANS TO COMPLY WITH ADA 406 & 502, AND FDOT 711-001 (SHEET 11)

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (1 OF 2)	DRAWING NO.: C-21A
APPROVED: JG		



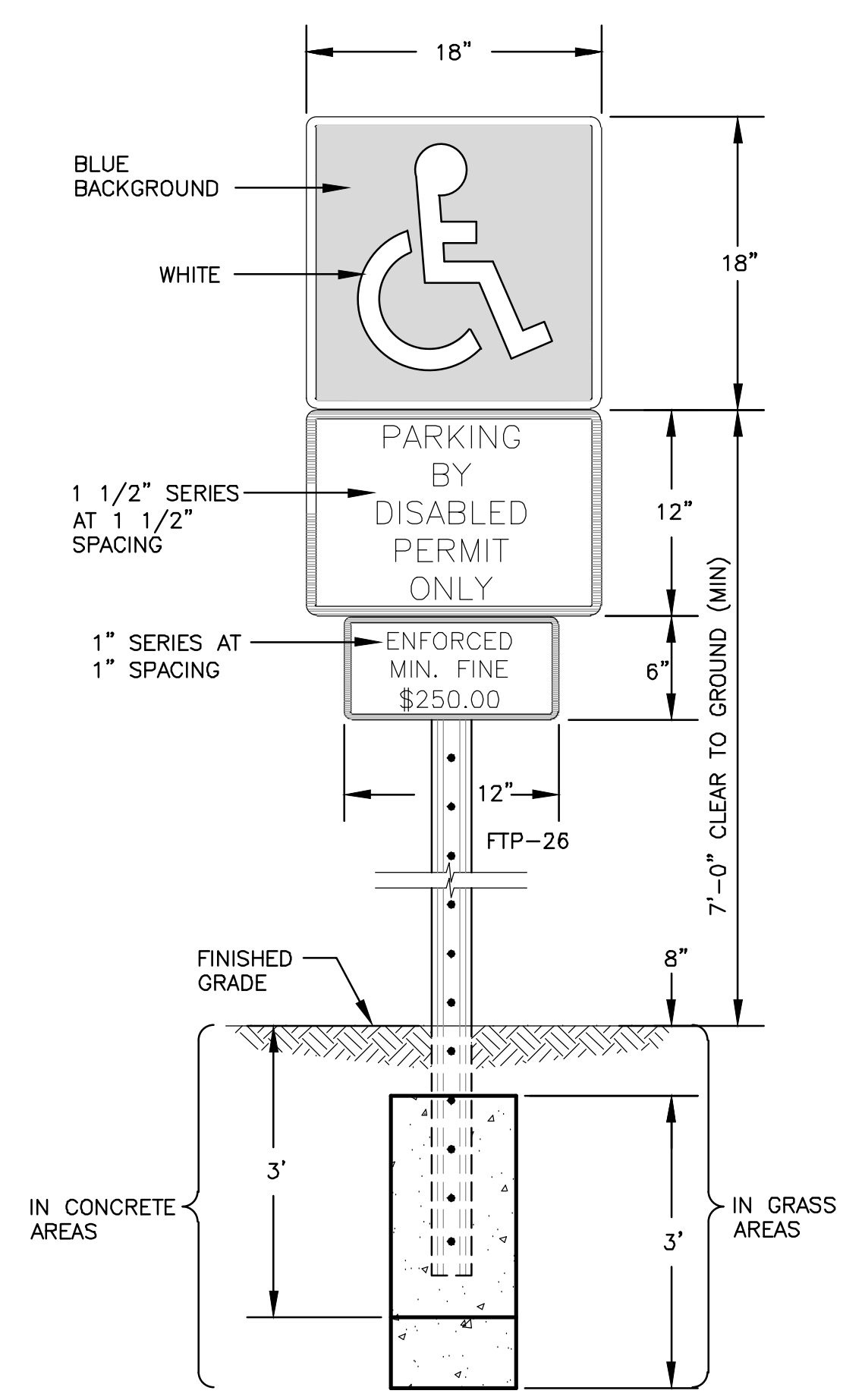
SIGNAGE NOTES:

- FTP-21-06 & FTP-22-06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102.
- SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

NOTES:

- PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
- BLUE MARKINGS SHALL BE SHAVED.
- SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
- ALL RAMP, SIDEWALK, CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
- WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING.
- ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
- ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS.
- ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	ACCESSIBLE PARKING SPACE DETAILS (2 OF 2)	DRAWING NO.: C-21B
APPROVED: JG		

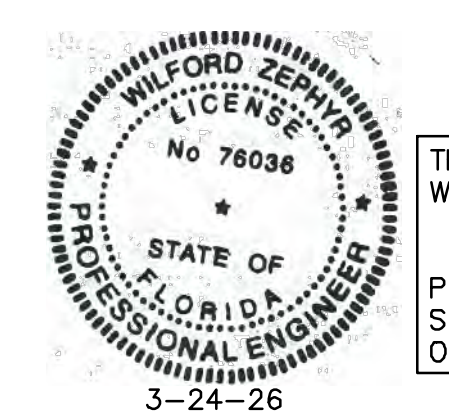
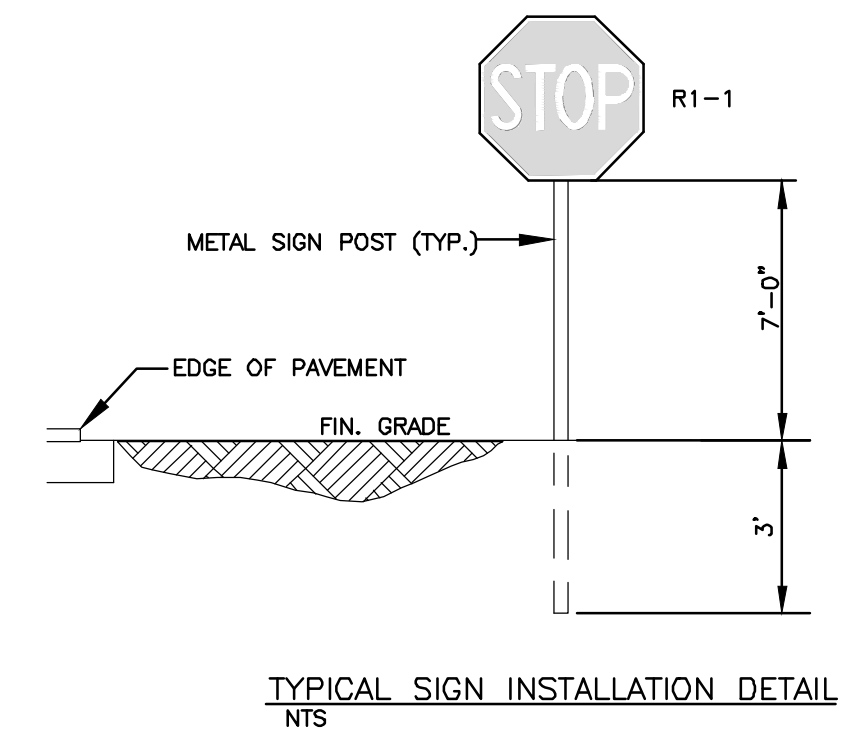


FTP-26 HANDICAP PARKING SIGN WITH SUPPLEMENTAL 12" x 6" "MINIMUM FINE \$250.00" SIGN

NOTES:

- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
- LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

HANDICAP PARKING SIGN DETAIL
NTS



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PAVEMENT MARKINGS & SIGNAGE PLAN
SCALE: 1"=20'

REVISIONS

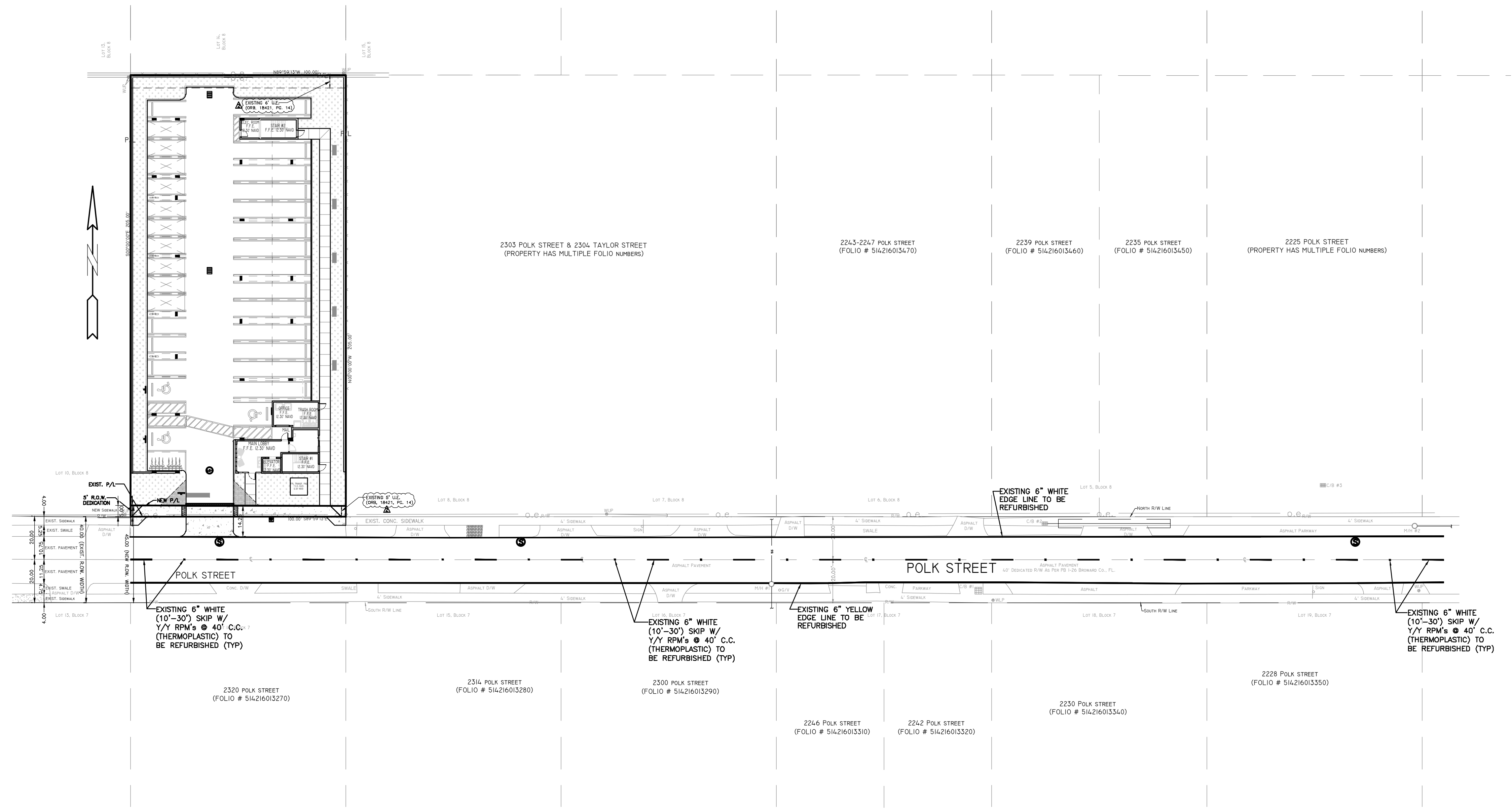
NO.	DATE	DESCRIPTION
1	12-4-24	TAC REVIEW COMMENTS
2	8-5-25	TAC REVIEW COMMENTS
3	12-18-25	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA#: 31158

**2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM**
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

P.E.#: 76036
DATE: 9/03/24
SCALE: 1"=20'
SHEET NO.: C5
5 OF 11
PROJECT NO.: 24-36

NOTE:
 ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED BY CONTRACTOR USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS



NOTE:

- 1) Broward County Traffic Engineering Division's review does not include a review and acceptance of the project's design or operation. These items are to be reviewed and approved by the City Engineer.
- 2) Broward County Traffic Engineering Division does not review and approve, or inspect and accept the following items for maintenance: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.
- 3) The City Engineer is responsible for the review and approval of the design and operation of the project, and for the inspection and acceptance of the following items that will be maintained by the City: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, pavement markings on or adjacent to painted asphalt, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.

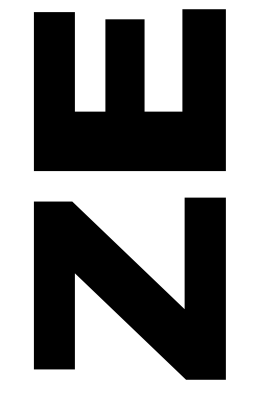
LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

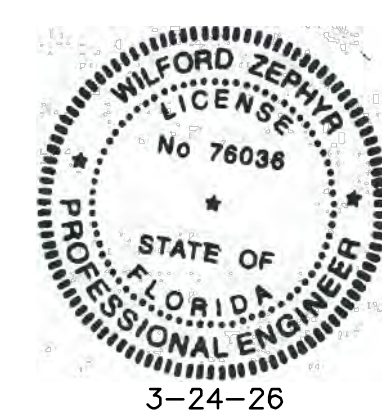
REVISIONS

NO.	DATE	DESCRIPTION
1	12-4-24	TAC REVIEW COMMENTS
2	12-18-25	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158



2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
 2323 POLK STREET
 HOLLYWOOD, FLORIDA - 33020



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

R.O.W. PAVEMENT MARKINGS PLAN & DETAILS

SCALE: 1"=30'

P.E. #: 76036
 DATE: 9/03/24
 SCALE: 1"=30'
 SHEET NO.: C6
 6 OF 11
 PROJECT NO.: 24-36

FOR SIGN ASSEMBLIES WITH MAXIMUM 8.75 SQUARE FOOT PANEL AREA

FOR SIGN ASSEMBLIES WITH GREATER THAN 8.75 SQUARE FOOT PANEL AREA WITH SUPPLEMENTAL SIGN

Typical Details

STREET ID (D3-1) MATERIALS: LETTERS, BORDER, GREEN BACKGROUND, LETTER SIZES, MOUNTING, REGULATORY SIGN, SQUARE TUBE SIGN POST, DETAIL "A", DETAIL "B"

STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS

REVISIONS: DATE, DESCRIPTION, 02-26-2020, 06-25-2021, 02-22-2021

BROWARD COUNTY PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION

DESIGN BY: CARMELO CARATOZZOLO, P.E. SCALE: NTS

DRAWN BY: STEPHON RAMOULTAR

CHECKED BY: CARMELO CARATOZZOLO, P.E.

SHEET NO. 1 OF 1

GUIDE TO USE THIS STANDARD:

- Calculate the Total Panel Area and the centroid 'C' for an individual sign or a sign cluster.
- Determine the height 'H' from the groundline for the individual sign or the cluster.
- Consult the Post Size Table and find the intersection point.
- Design the post and the foundation according to the required Post Size and Assembly Details.

Sign Post with 3" x 7 ga. Square Anchor

Sign Post with Triangular Slip Base

Post Size Table

Total Panel Area (sq ft)	1' Sign Assembly Height (ft)
8	8.5
9	9.5
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20

GROUND SIGN ASSEMBLY DETAILS

REVISIONS: DATE, DESCRIPTION, 03-21-2017, 11-24-2020, 02-05-2021

BROWARD COUNTY PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION

DESIGN BY: YVES DANJOU, P.E. SCALE: NTS

DRAWN BY: STEPHON RAMOULTAR

CHECKED BY: ANDREW SEBO, P.E., PTOE

SHEET NO. 1 OF 1

W11-2 (30"x 30") & SUPPLEMENTAL (24"x 12") SIGN ASSEMBLY

S1-1 (36"x 36") & SUPPLEMENTAL SIGN ASSEMBLY

30" x 30" W11-2

24" x 12" W16-7P OR W16-9P

36" x 36" S1-1

24" x 12" W16-7P OR W16-9P

2-1/2" x 10" x 12 ga. PSST

3" x 3" x 42" 7 ga. heavy duty galvanized anchor

Hardware includes 2 each 3/8" x 3-1/2" GR. 8 Flanged Shoulder Bolt and Flange Nut.

1. SCHOOL ZONE AND PEDESTRIAN SIGNS SHALL BE COMPRISED OF REFLECTIVE FLUORESCENT YELLOW-GREEN SHEETING. (SEE BCTED TECHNICAL POLICY MEMO #TPM-16-001 ON BCTED WEBSITE)

2. NOT FOR USE WITH RECTANGULAR RAPID FLASHING BEACONS

REVISION: 11-15-18

SCALE: NTS

DESIGN BY: YVES DANJOU, P.E.

DRAWN BY: STEPHON RAMOULTAR

CHECKED BY: ANDREW SEBO, P.E., PTOE

SHEET 1 OF 1

NOTE: ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED BY CONTRACTOR USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS

NOTE: 1) Broward County Traffic Engineering Division's review does not include a review and acceptance of the project's design or operation. These items are to be reviewed and approved by the City Engineer.

2) Broward County Traffic Engineering Division does not review and approve, or inspect and accept the following items for maintenance: pavement markings on or adjacent to paver bricks, stamped asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.

3) The City Engineer is responsible for the review and approval of the design and operation of the project, and for the inspection and acceptance of the following items that will be maintained by the City: pavement markings on or adjacent to paver bricks, stamped asphalt, stamped asphalt or pavement markings made of paver bricks, pavement markings on or adjacent to painted asphalt, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work and asphalt work.

REVISION: 11-19-18

SCALE: NTS

DESIGN BY: Yves Danjou, P.E.

DRAWN BY: Stephen Ramoultar

CHECKED BY: Andrew Sebo, P.E., PTOE

SHEET 1 OF 1



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

3-24-26

R.O.W. PAVEMENT MARKINGS DETAILS

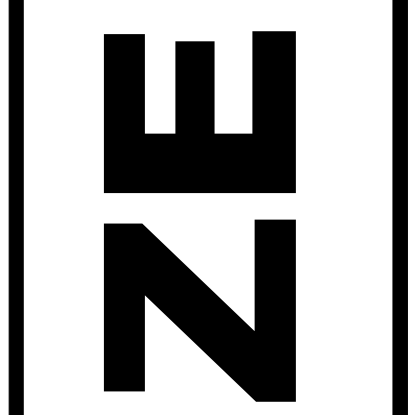
SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@engr.com
CA#: 31158



2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

P.E.#: 76036

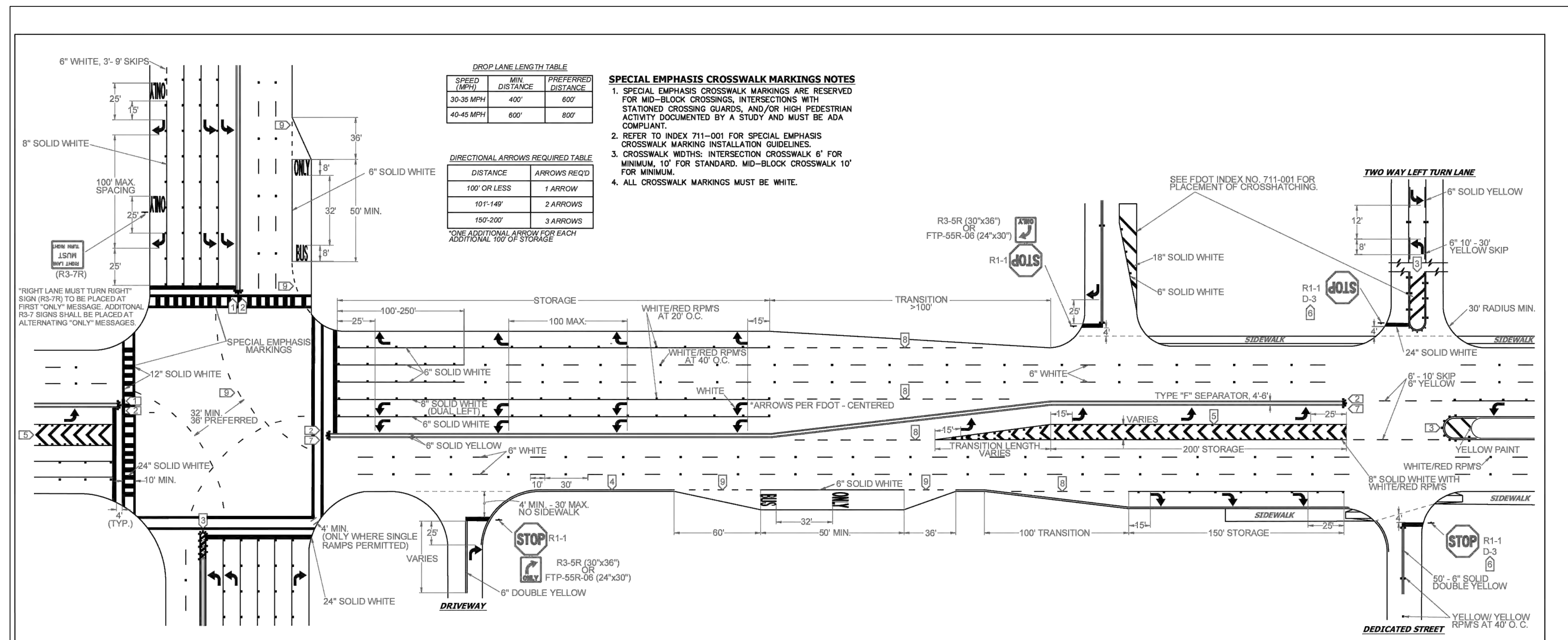
DATE: 9/03/24

SCALE: N.T.S.

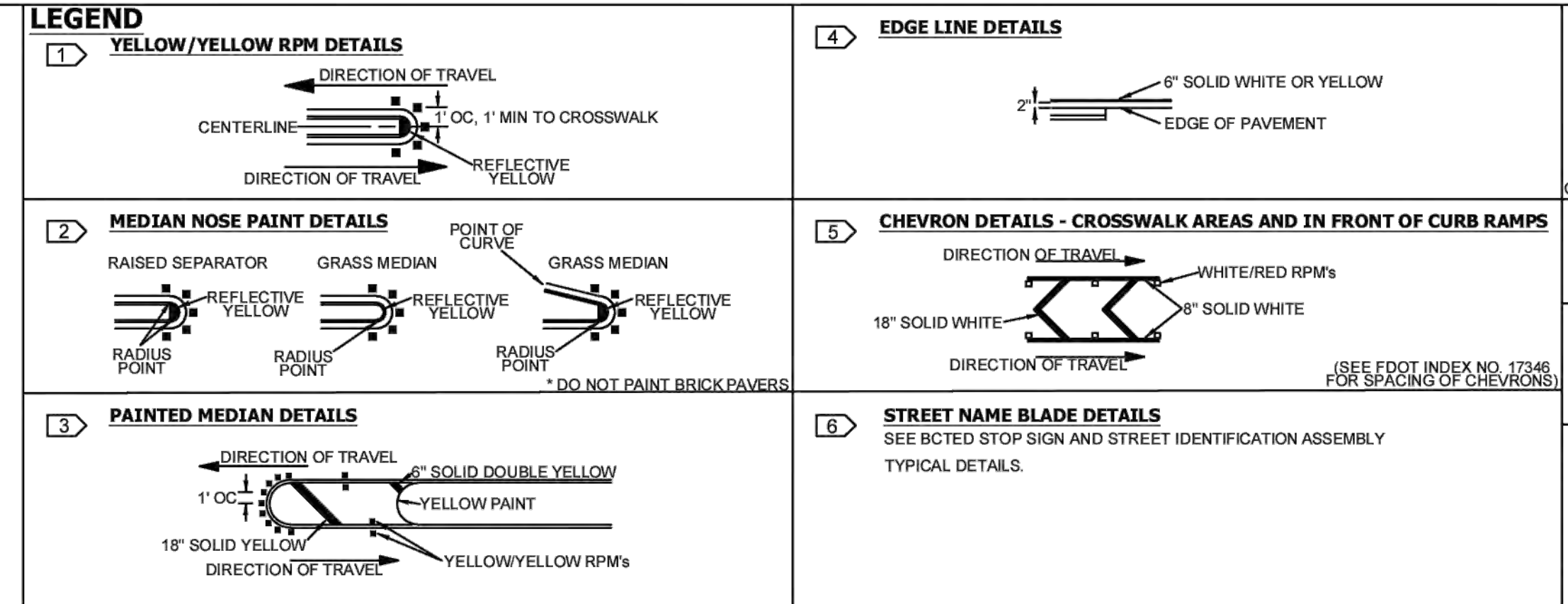
SHEET NO.: C7

7 OF 11

PROJECT NO.: 24-36



- NOTES**
- ALL PAVEMENT MARKINGS SHALL BE ALKYD BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
 - ALL PAVEMENT MARKINGS ON PAVEMENT SYSTEMS SHALL BE 3M 380/381 SERIES TAPE OR EQUIVALENT AND APPLIED WITH P60 ADHESIVE AS PER MANUFACTURERS SPECIFICATIONS.
 - ALL PAVEMENT MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", BCTD STANDARDS, AND FDOT DESIGN STANDARDS.
 - SEE FDOT INDEX NO 706-001 FOR PLACEMENT OF RPM'S (FOR BULLNOSE RPM TREATMENT, SEE LEGEND NO. 1)
 - RPM'S SHALL BE CLASS "B" OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
 - FDOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
 - FOR BIKE LANE DETAILS SEE FDOT INDEX NO. 711-002.
 - EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SAND BLASTING.
 - ALL STOP LINES TO BE 4' BEHIND CROSSWALK OR SIDEWALK.
 - PAVEMENT MARKING REFLECTIVITY SHALL BE UNIFORM ACROSS THE ENTIRE STRIPE AND SHALL HAVE A MINIMUM REFLECTIVITY READING OF 250 MILLICANDELAS FOR WHITE AND 175 MILLICANDELAS FOR YELLOW.
 - ALL PRODUCTS MUST BE ON FDOT'S APPROVED PRODUCTS LIST (APL).
 - RPM'S SHALL NOT BE INSTALLED ADJACENT TO BIKE LANES.
 - LONGITUDINAL CROSSWALK MARKINGS SHALL BE INSTALLED AT ALL CROSS STREETS ON COUNTY ROADS THAT ARE FOUR LANES OR GREATER.



REVISIONS

DATE	DESCRIPTION
11-24-2020	UPDATED NOTES
04-14-2021	UPDATED NOTES
05-06-2022	UPDATED NOTES

BROWARD COUNTY FLORIDA

**PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION**

DESIGN BY: CARMELO CARATTOZZOLO, P.E. SCALE: NTS
DRAWN BY: STEPHON RAMOUTAR
CHECKED BY: CARMELO CARATTOZZOLO, P.E.

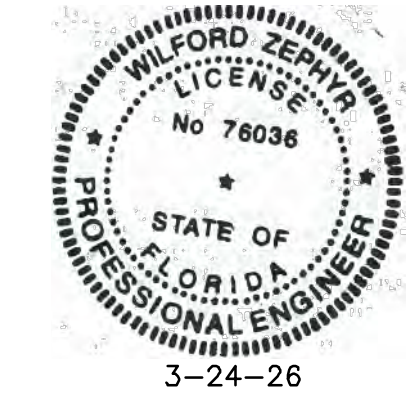
**PAVEMENT MARKINGS
AND SIGNS
DETAILS**

SHEET NO. 1 OF 1

NOTE:
ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED BY CONTRACTOR USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS

NOTE:

- Broward County Traffic Engineering Division's review does not include a review and acceptance of the project's design or operation. These items are to be reviewed and approved by the City Engineer.
- Broward County Traffic Engineering Division does not review and approve, or inspect and accept the following items for maintenance: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work or asphalt work.
- The City Engineer is responsible for the review and approval of the design and operation of the project, and for the inspection and acceptance of the following items that will be maintained by the City: pavement markings on or adjacent to paver bricks, painted asphalt, stamped asphalt or pavement markings made of paver bricks, pavement markings on or adjacent to painted asphalt, raised intersections and related markings and signing, un-warranted mid-block crosswalks and related markings and signing, un-warranted crosswalks and related markings and signing, painted/decorative crosswalks, raised crosswalks and related markings and signing, Advanced Warning pavement markings for Speed Tables, Blinker Signs, Rectangular Rapid Flasher Beacons and related markings and signing, on-street parking and related markings and signing, in-road lighting and related markings and signing, green bike lanes, flexible delineators, decorative signs and decorative sign posts, planters, on-site pavement markings and signing, off-site pavement markings and signing in right-of-way that is not dedicated for public use, sidewalk work and asphalt work.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

R.O.W. PAVEMENT MARKINGS DETAILS II
SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION
1	10-27-23	BCTED REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@zeeng.com
CA#: 31158

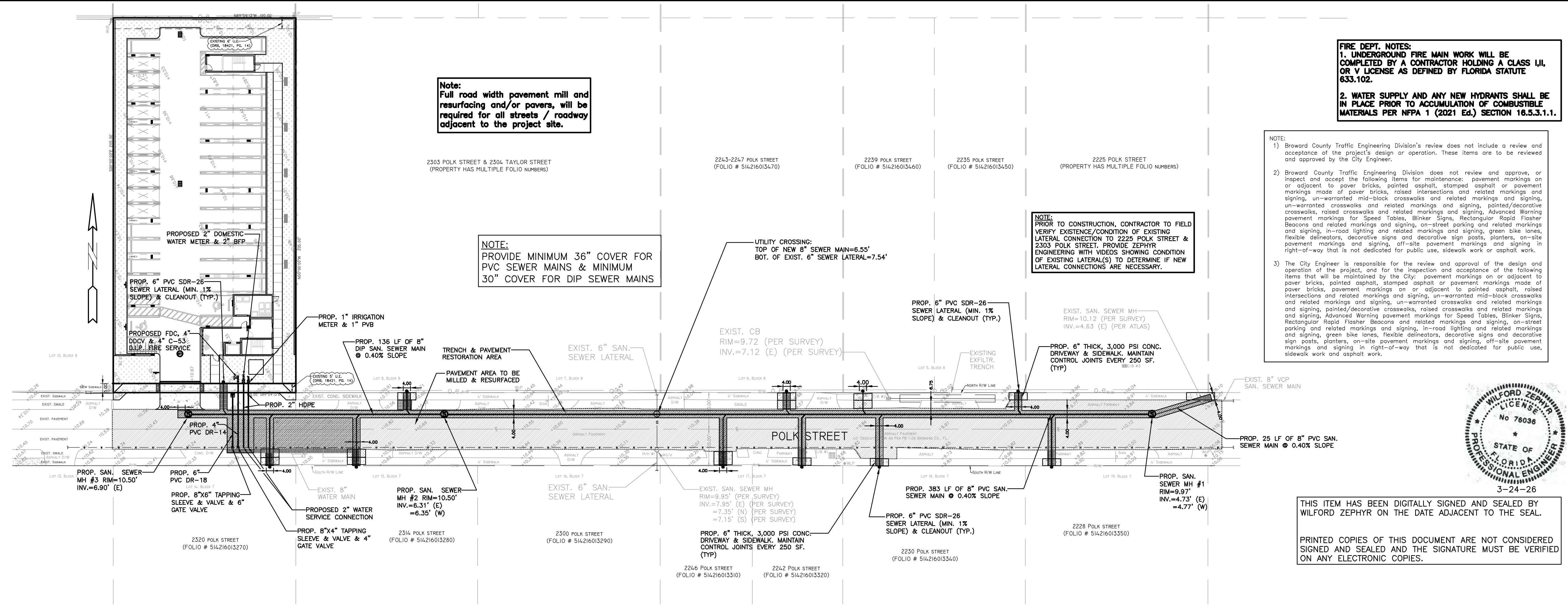
ZE

2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

P.E.#: 76036
9/03/24
SCALE: N.T.S.
SHEET NO.: C8
8 OF 11
PROJECT NO.: 24-36

LEGEND

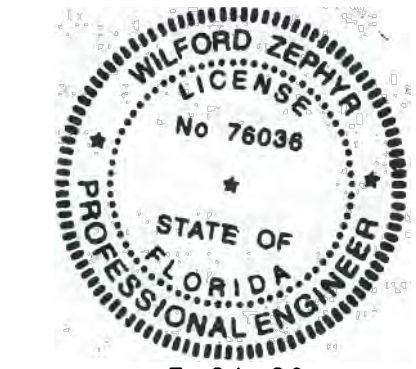
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT
- SOD RESTORATION AREA
- TRENCH RESTORATION AREA
- MILLING & RESURFACING AREA



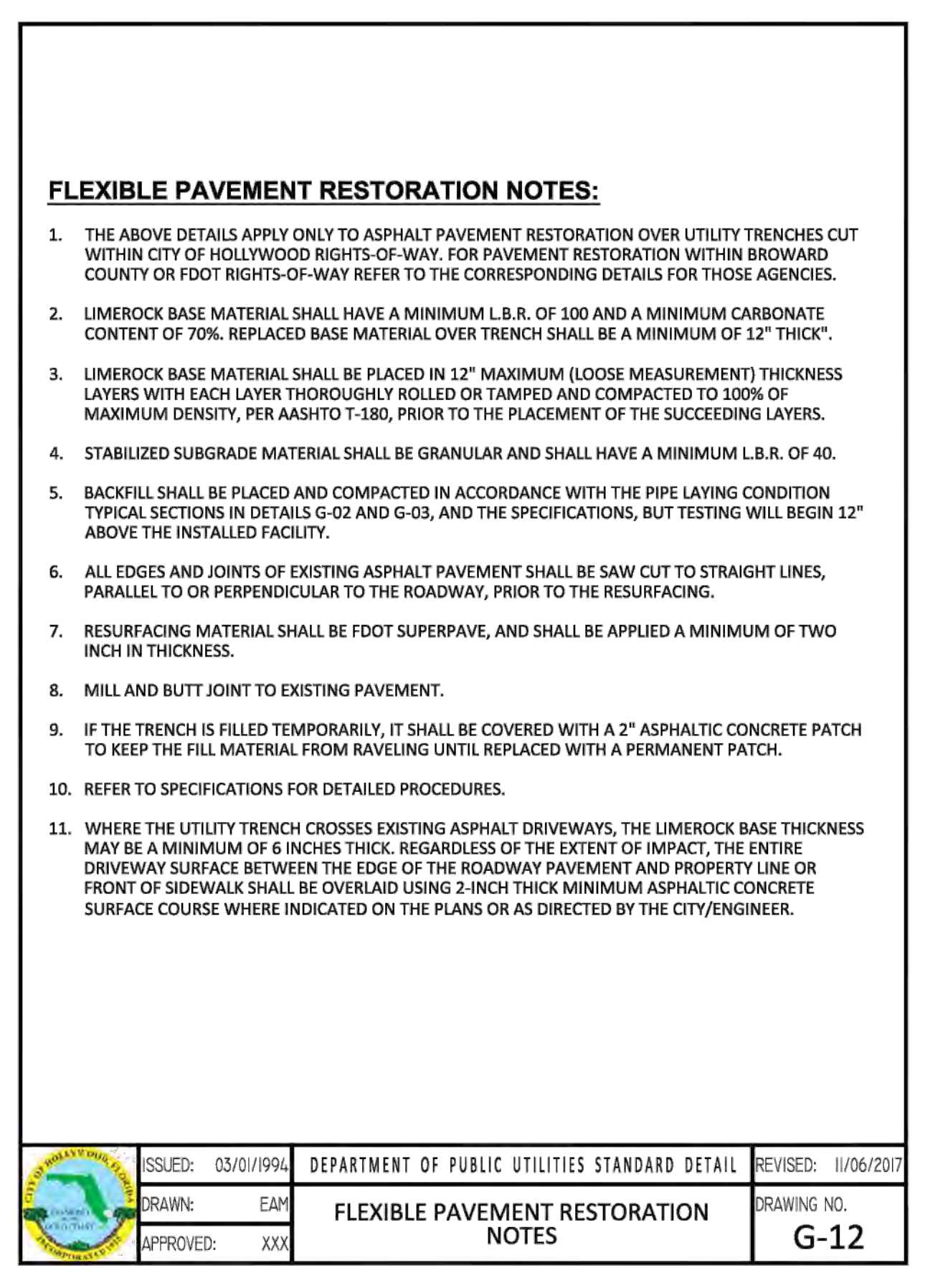
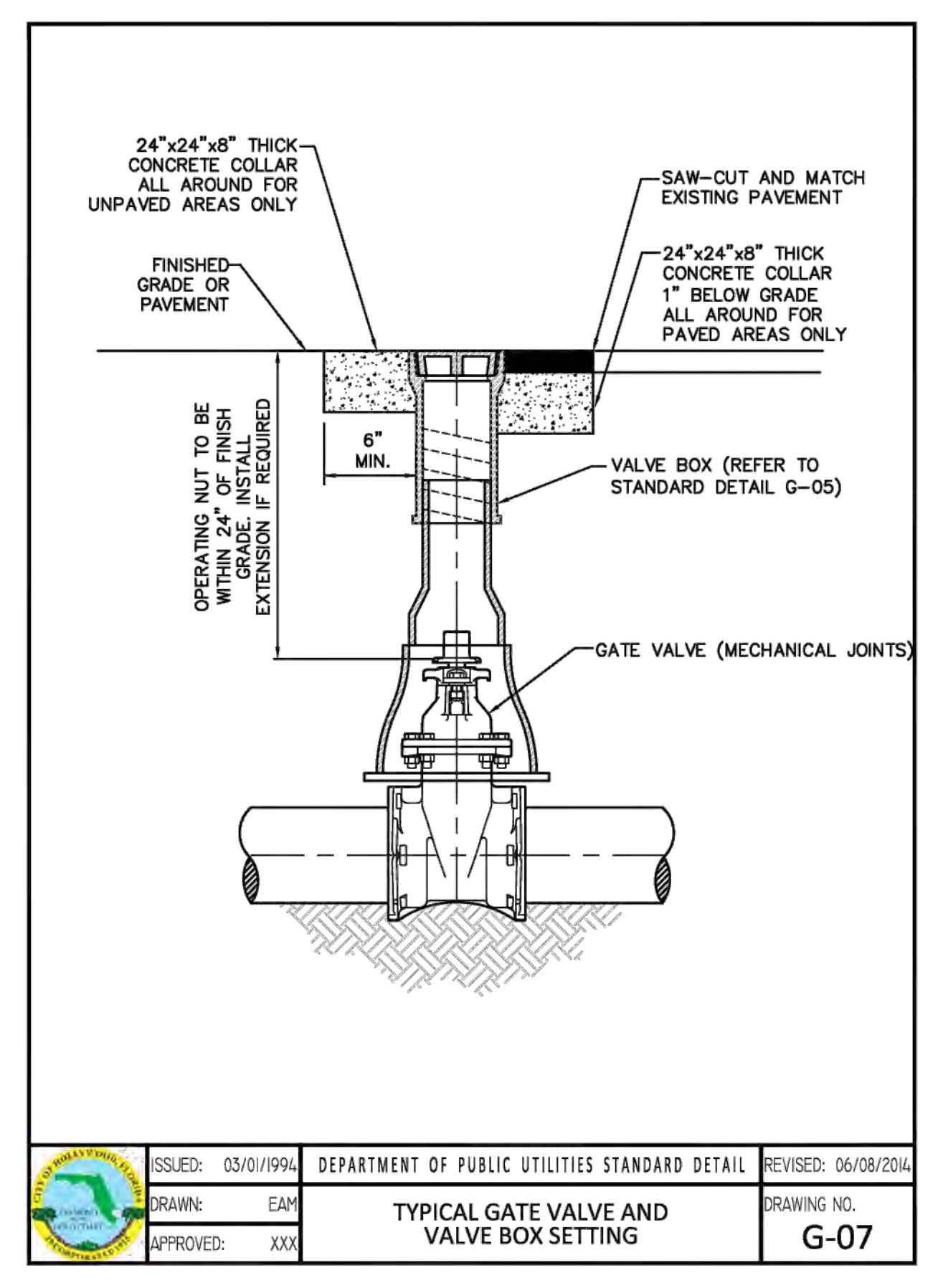
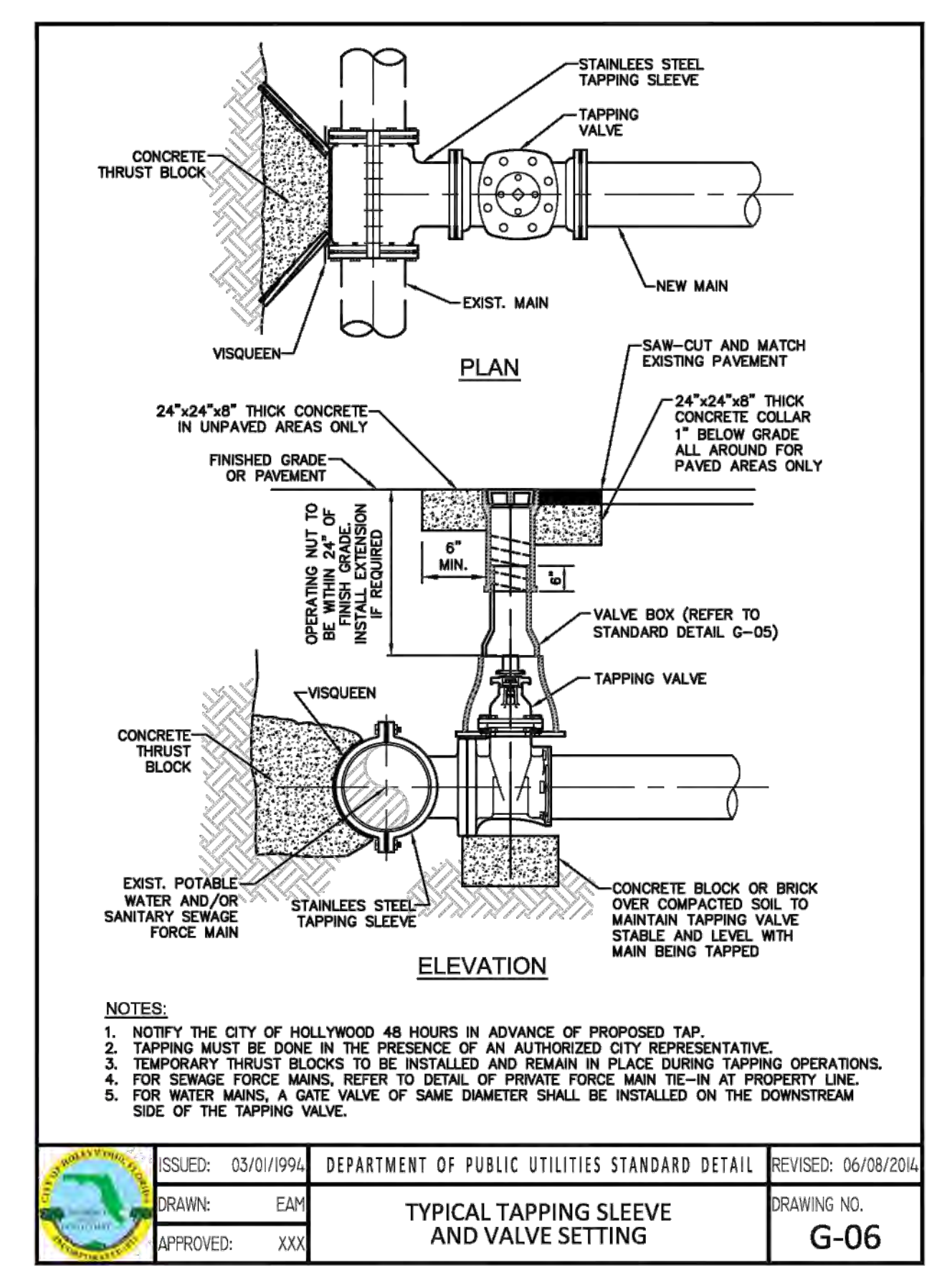
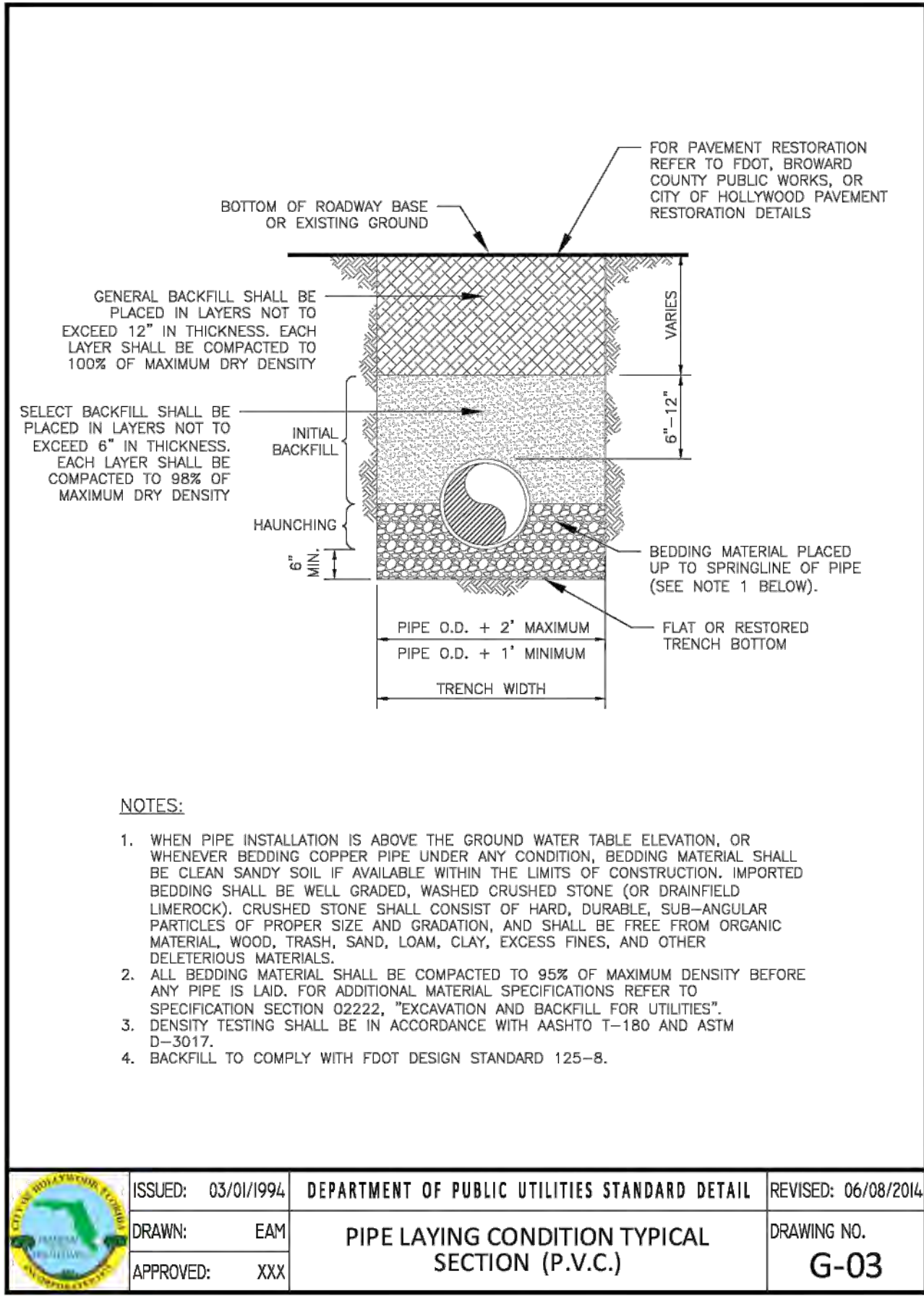
FIRE DEPT. NOTES:
1. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I/II, OR V LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.
2. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE MATERIALS PER NFPA 1 (2021 Ed.) SECTION 16.5.3.1.1.

REVISIONS

NO.	DATE	DESCRIPTION
1	12-4-24	TAC REVIEW COMMENTS
2	12-18-25	TAC REVIEW COMMENTS



ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@zephyr.com
CA#: 31158

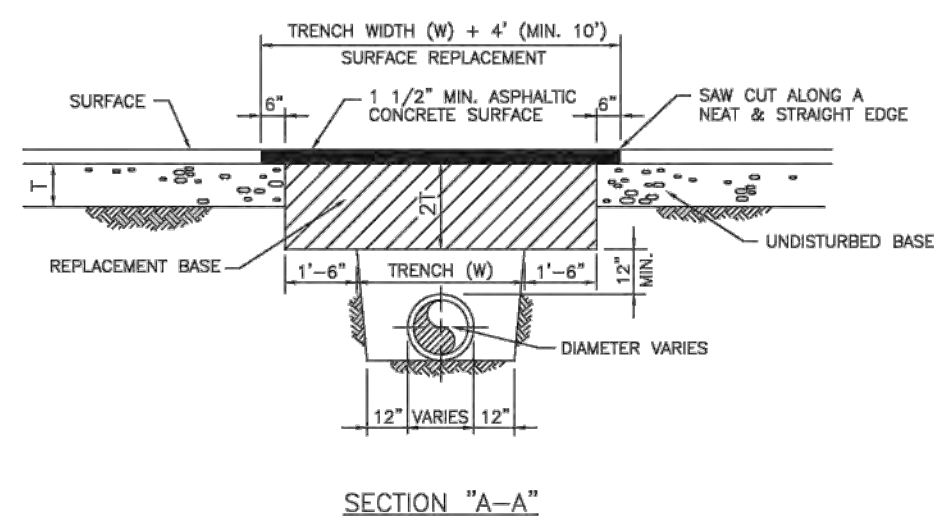
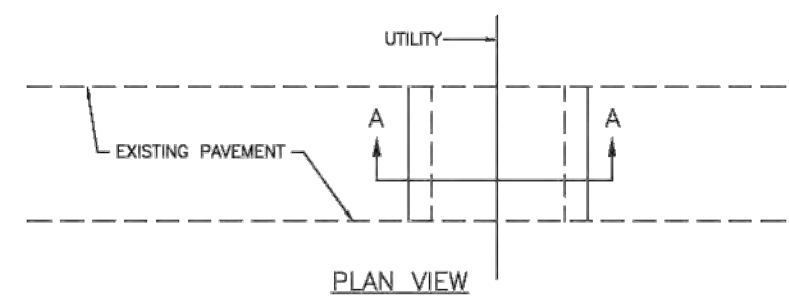


ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

WATER & SEWER PLAN
SCALE: 1"=30'

2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

P.E.#:76036
DATE: 9/03/24
SCALE: 1"=30'
SHEET NO.: C9
9 OF 11
PROJECT NO.: 24-36



NOTES:

1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE. MINIMUM 12" MAXIMUM 14"
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY PER AASHTO T-150.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
6. BASE MATERIAL SHALL HAVE A MINIMUM LER OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
7. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
8. MINIMUM PAVEMENT RESTORATION WIDTH IS 10'.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO. C-31
APPROVED: JG		

SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 30".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN INFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

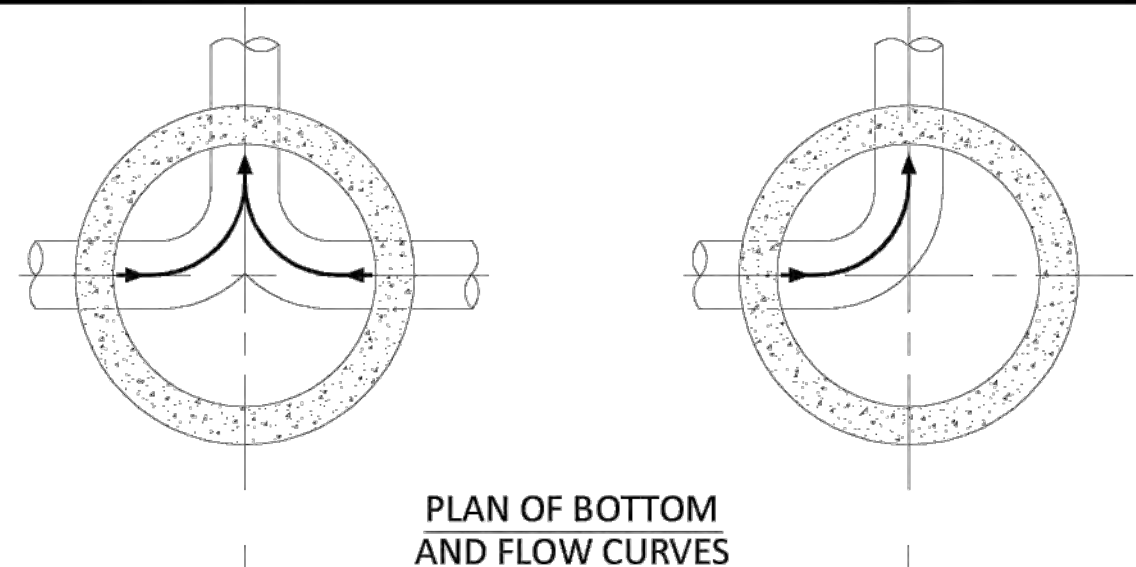
$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

WHERE:

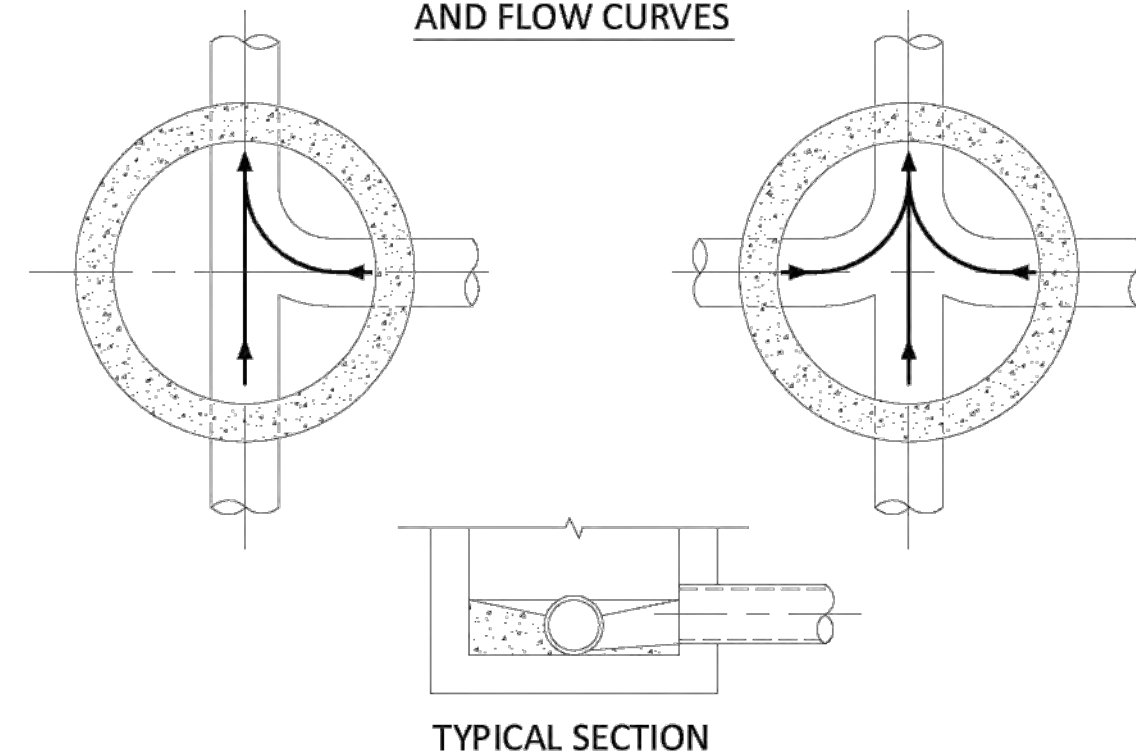
- L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
- D = PIPE DIAMETER IN INCHES
- S = LENGTH OF LINES IN LINEAL FEET
- P = AVERAGE TEST PRESSURE IN PSI

7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SANITARY SEWER MAIN CONSTRUCTION NOTES	DRAWING NO. S-01
APPROVED: XXX		



PLAN OF BOTTOM AND FLOW CURVES

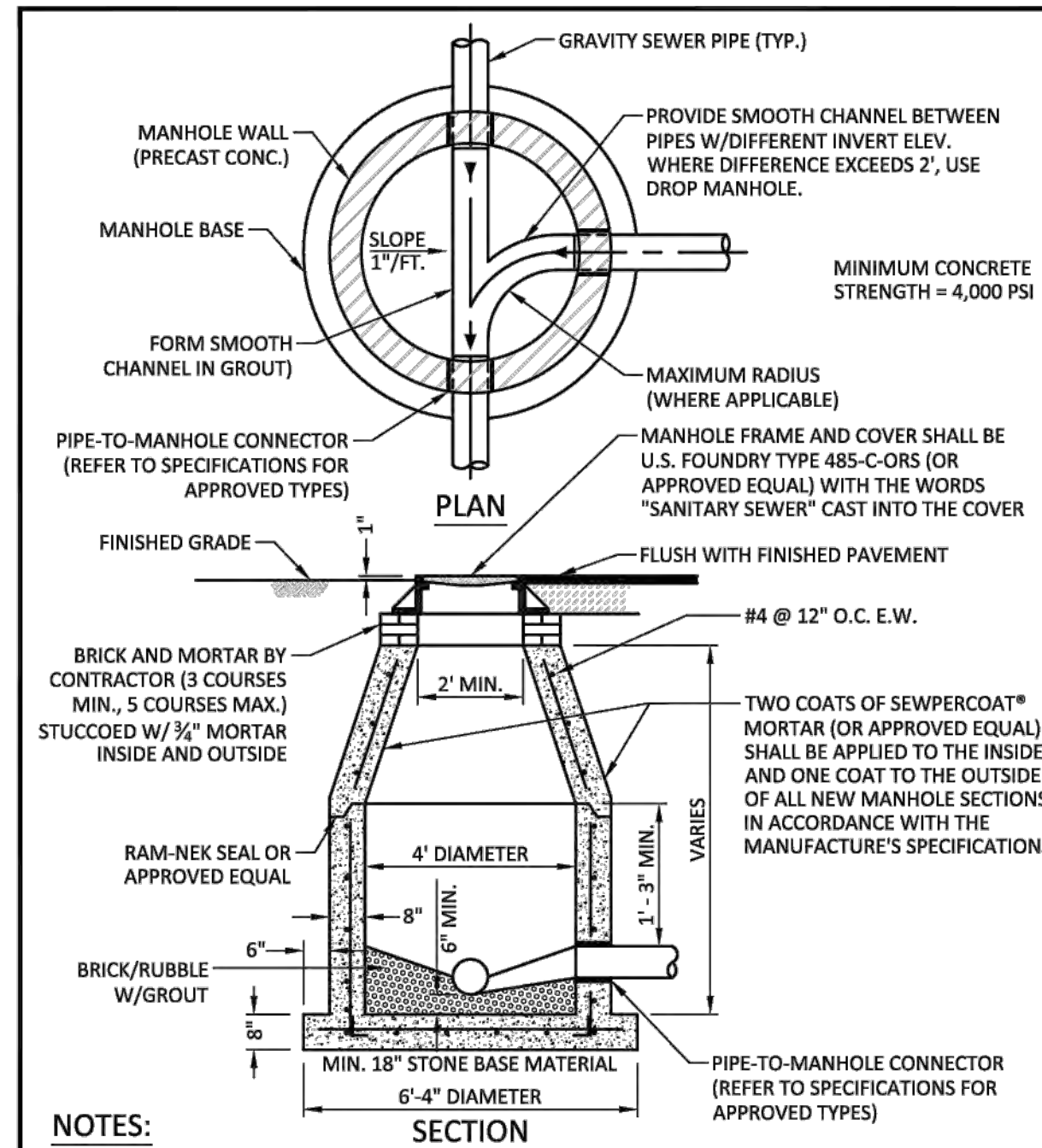


TYPICAL SECTION

NOTES:

1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

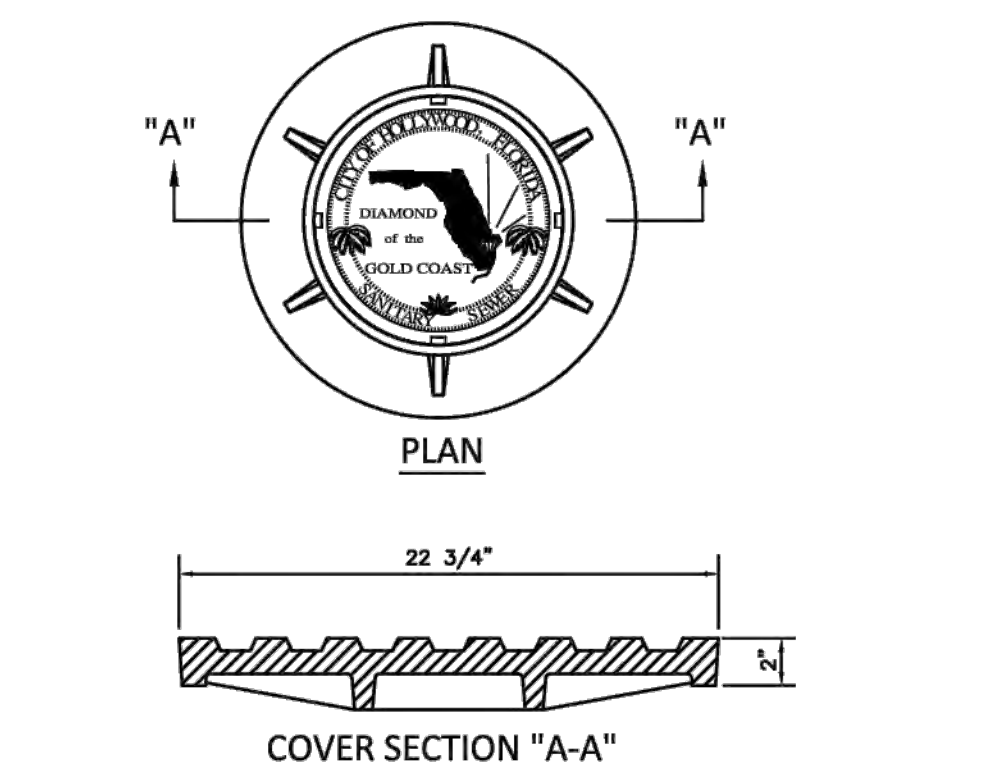
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	MANHOLE FLOW PATTERNS	DRAWING NO. S-02
APPROVED: XXX		



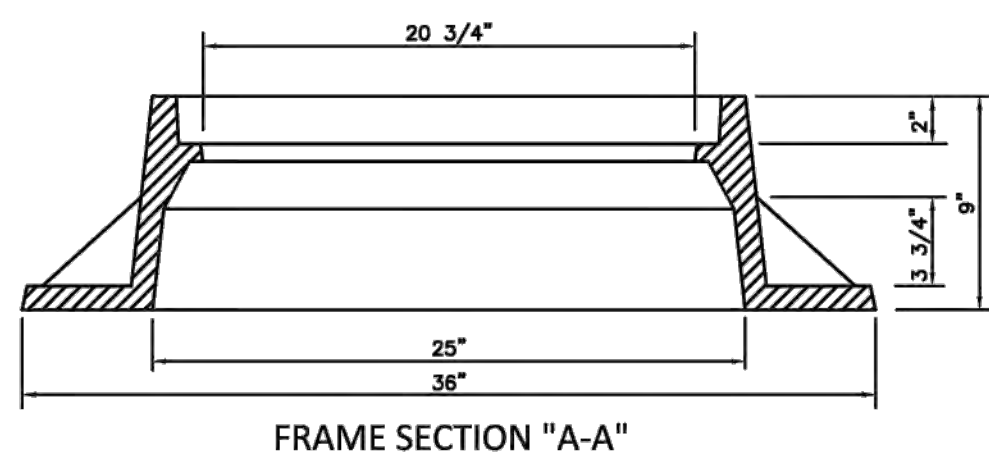
NOTES:

1. SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 3" ABOVE SLAB BASE.
3. NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/18/2018
DRAWN: EAM	STANDARD PRECAST MANHOLE	DRAWING NO. S-03
APPROVED: XXX		



COVER SECTION 'A-A'

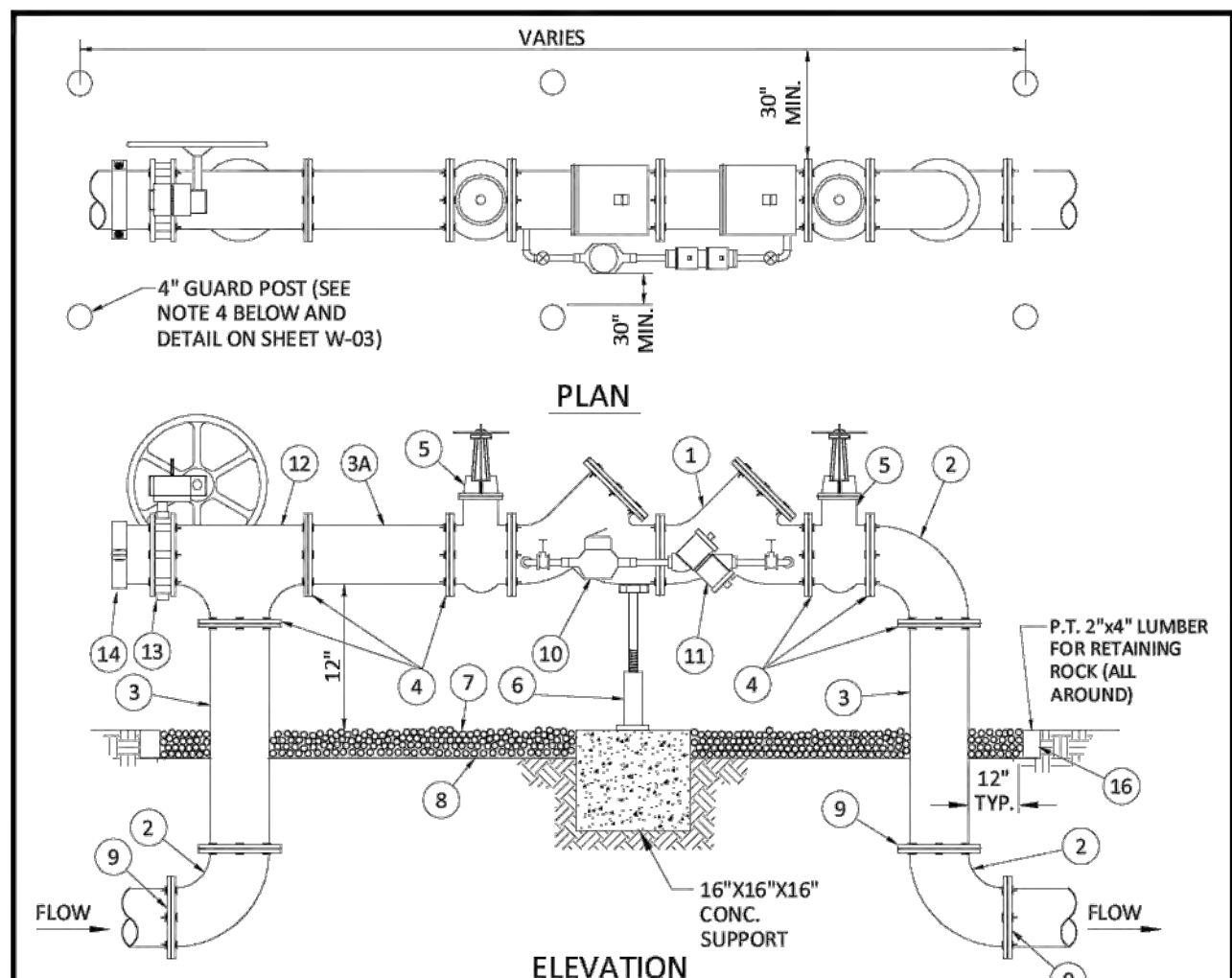


FRAME SECTION 'A-A'

NOTES:

1. LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
2. ALL BEARING SURFACES TO BE MACHINED.
3. MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
4. MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-ORS TYPE EL, WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	MANHOLE FRAME AND COVER CITY OF HOLLYWOOD	DRAWING NO. S-06.1
APPROVED: XXX		

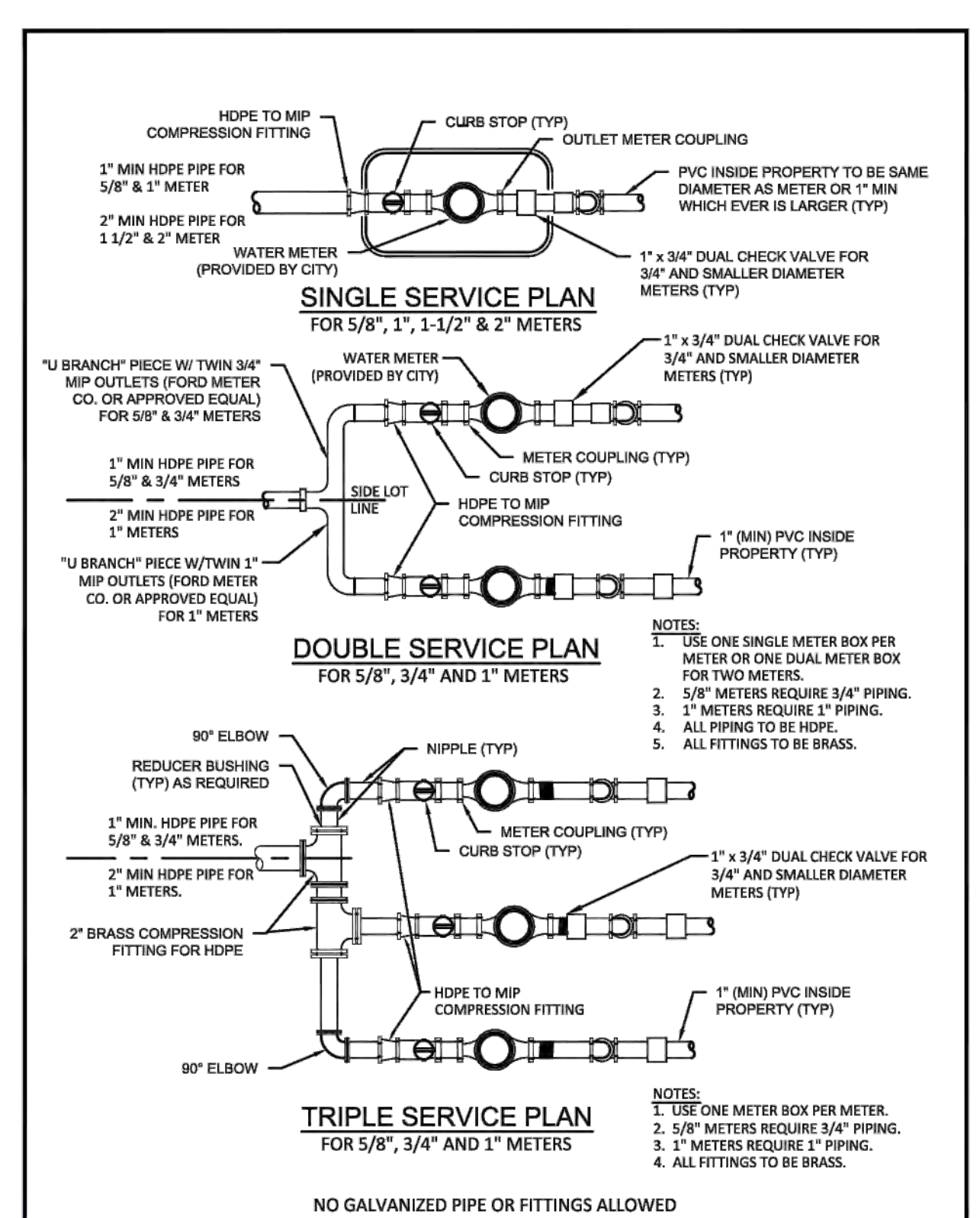


MATERIALS			
ITEM	QTY.	DESCRIPTION	DESCRIPTION
1	1	4", 6", 8" VALVE, DOUBLE CHECK	8 N/A PLASTIC LINER/WEED STOP (5 MILS)
2	4	4", 6", 8" BEND-90°	9 4 RESTRAINED JOINTS
3	2	4", 6", 8" D.I.P. SPOOL PIECE	10 1 LOW FLOW METER
3A	1	4", 6", 8" D.I.P. SPOOL PIECE (24" LONG)	11 1 VALVE, BYPASS DOUBLE CHECK
4	10	4", 6", 8" FLANGE, D.I.P.	12 1 4" 6" 8" TEE
5	2	4", 6", 8" GATE VALVE (SEE NOTE 6)	13 1 4", 6", 8" BUTTERFLY VALVE (SUPERVISED CLOSED), CHAINED AND LOCKED
6	1	SCREW JACK (ANCHORED)	14 1 4", 6", 8" CAP
7	N/A	PEA GRAVEL (4" DEEP)	

NOTES:

1. FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
5. MAY USE 45° BENDS (SEE DETAIL W-05) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR FOR FIRE SPRINKLER SERVICE W/B.V. CONNECTION (90° BENDS)	DRAWING NO. W-04
APPROVED: XXX		



TRIPLE SERVICE PLAN FOR 5/8", 3/4" AND 1" METERS

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO. W-06
APPROVED: XXX		

WATER METER SERVICE NOTES:

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
2. P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
3. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 3/8" OR SINGLE 1" DIAMETER METERS.
4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
5. FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
6. APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
7. FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VALVES AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
8. FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VALVES AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
9. FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - b. FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
12. THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
13. AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
14. FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-07
APPROVED: XXX		

REVISIONS	
NO.	DATE

ZEPHYR ENGINEERING
 WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158

ZE

2323 POLK BUILDING
 A RESIDENTIAL CONDOMINIUM
 2323 POLK STREET
 HOLLYWOOD, FLORIDA - 33020

P.E.#: 76036

DATE: 9/03/24

SCALE: N.T.S.

SHEET NO.:

C10

10 OF 11

PROJECT NO.: 24-36

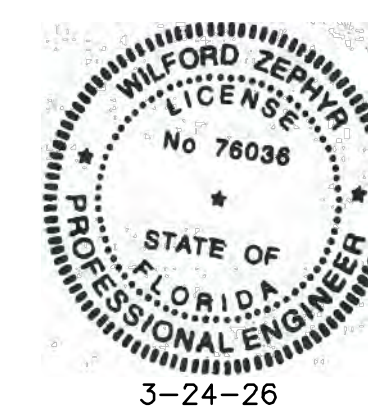
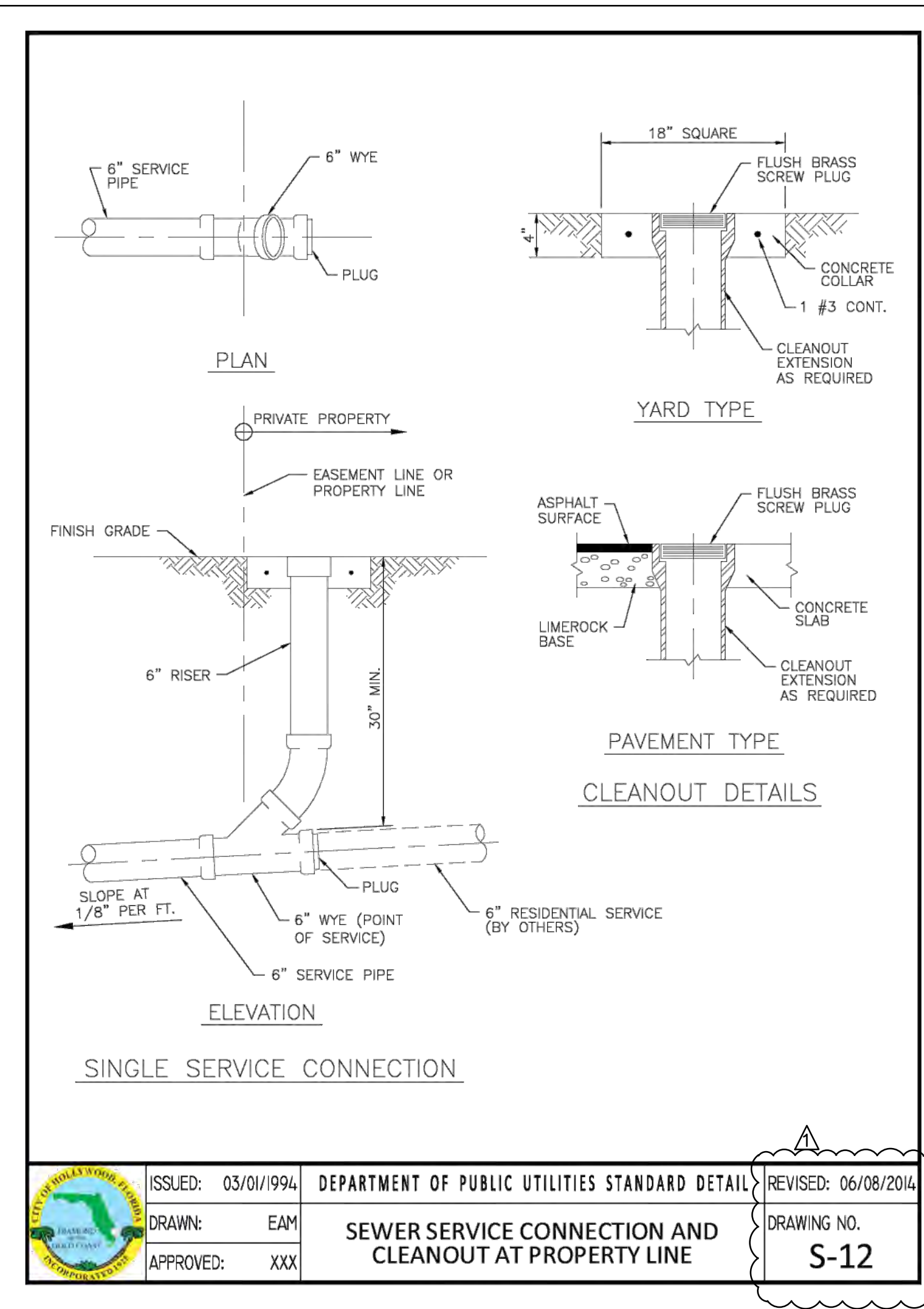
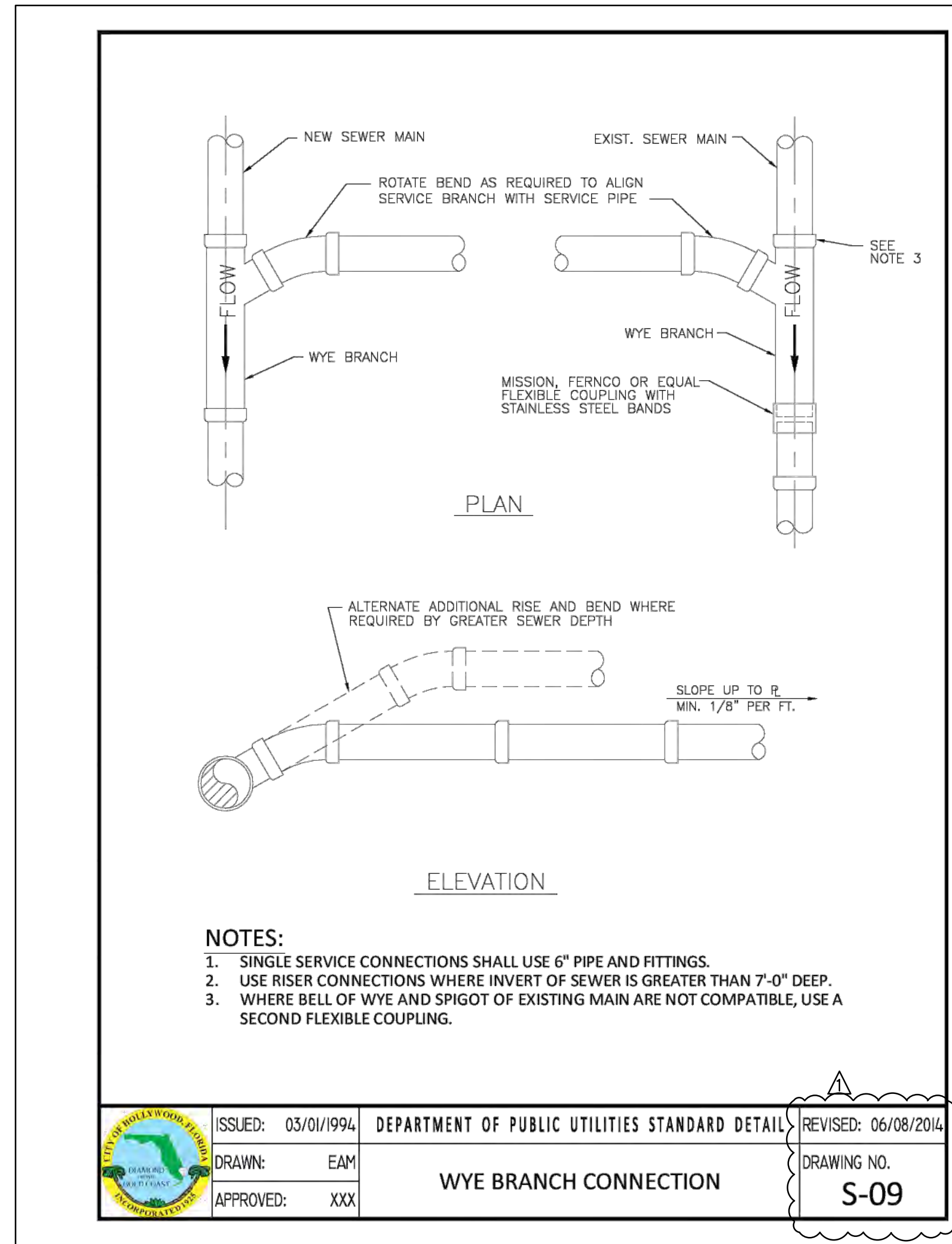


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

UTILITIES DETAILS I

SCALE: N.T.S.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

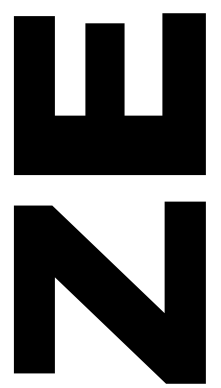
UTILITIES DETAILS II

SCALE: N.T.S.

NO.	DATE	DESCRIPTION
1	12-4-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
 HOLLYWOOD, FL
 (786) 302-7693
 wzephyreng@gmail.com
 CA#: 31158



2323 POLK BUILDING
 A RESIDENTIAL CONDOMINIUM
 2323 POLK STREET
 HOLLYWOOD, FLORIDA - 33020

P.E. #: 76036

DATE: 9/03/24

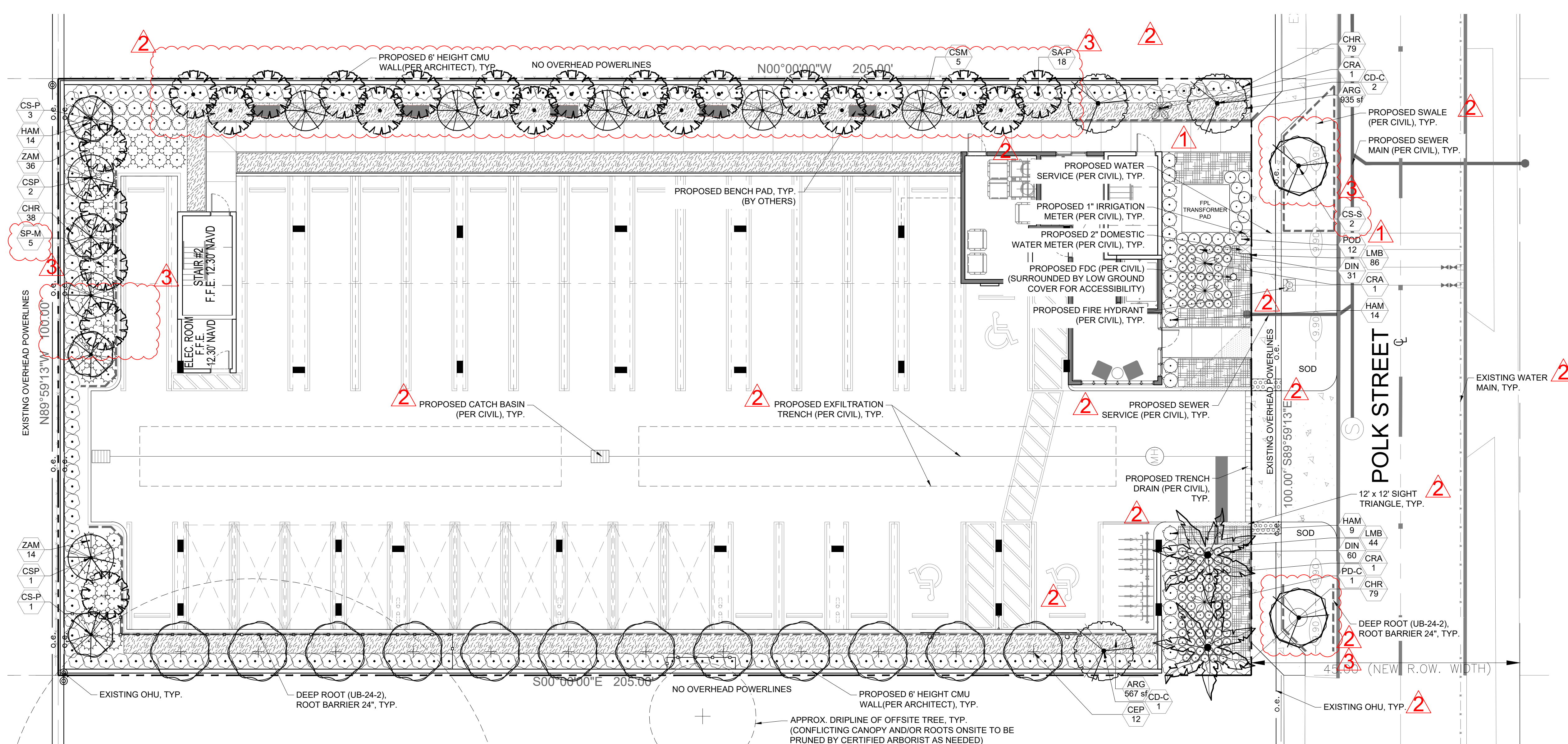
SCALE: N.T.S.

SHEET NO.: C11
 11 OF 11

PROJECT NO.: 24-36

Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- Landscape adjacent to vehicular traffic to be maintained to preserve site line visibility.
- Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.
- Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.
- Contractor to provide minimum 36" height screening hedge for any additional above ground equipment not shown on plan.
- All landscaping shall be warranted for 1 year after final inspection.



Project Team
 Landscape Architect:
LAS LANDSCAPE ARCHITECTURAL SERVICES, LLC
 1708 SE Joy Haven Street
 Fort St. Lucie, FL 34983
 (772) 834-1357 | brandon@las-fl.com
 Architect:
BELLON ARCHITECTURE
 12930 SW 128th Street
 Suite 203
 Miami, FL 33186
 Office: 305-278-7776
 amy@bellonglobal.com

PROPOSED 27-UNIT MULTIFAMILY DEVELOPMENT FOR:
2323 POLK STREET APARTMENTS
 2323 Polk Street, Hollywood, FL 33020
Landscape Plan

Landscape Data:

RAC Zoning - MC-1 (Multi-Family Residential Core)	Required	Provided
Perimeter Landscape One 12' street tree per 30 linear feet, or portion thereof, of street frontage of property wherein said improvements are proposed.	4 Trees (100'/30)	(2) 4" DBH Trees (See Schedule)
Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.	25 Trees (500'/20)	25 Trees (See Schedule)
Interior Landscape for At-Grade Parking Lots and Vehicular Use Area Terminal islands shall be installed at each end of all rows of Vehicular Use Area parking spaces. Each island shall contain a minimum of 190 s.f. of pervious area and shall measure the same length as adjacent parking stall. Each island shall contain at least one tree. Lots with a width of 50 ft. or less: 15% of the total square footage of paved Vehicular Use Area shall be landscaped. Lots with a width of more than 50 ft.: 25% of the total square footage of paved Vehicular Use Area shall be landscaped.	3,113 sf Landscape (12,452 SF x .25)	4,424 sf Landscape
Minimum Open Space A minimum of one (1) tree per 1,000 square feet of pervious area of property; this is in addition to tree requirement for parking lots and paved vehicular use area.	5 Trees (4,424 SF)	5 Trees (See Schedule)
Total Required:	34 Trees	34 Trees
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	21 Trees (60%)	32 Trees (94%)

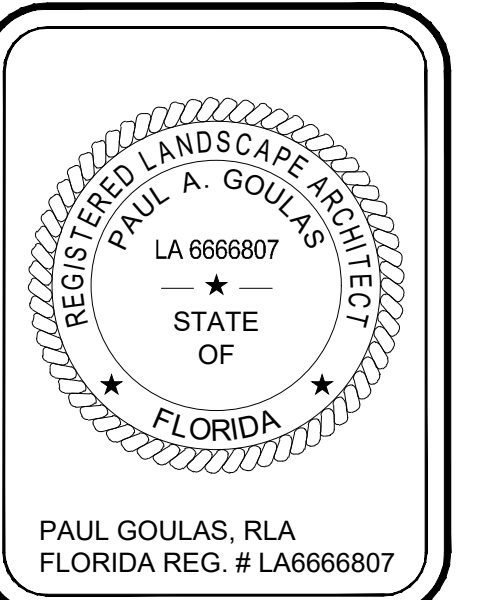
NOTE: PROPOSED LANDSCAPING SHALL NOT OBSTRUCT ONSITE STORM WATER RUNOFF RETENTION.

Overall Plant Schedule:

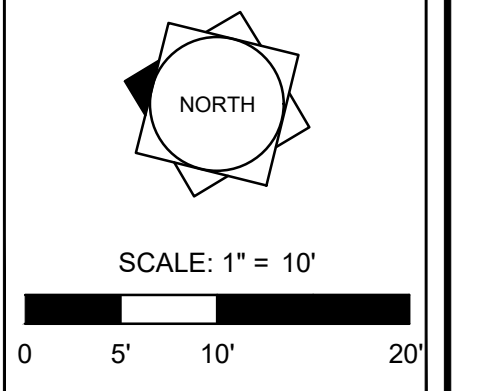
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE
CODE TREES						
	CD-C	3	Coccoloba diversifolia	Pigeon Plum	FG, 12' HT, 6" CT, 2" DBH MIN, STD, SP	Yes
	PD-C	2	Phoenix dactylifera 'Medjool'	Medjool Date Palm	FG, 10' GW, SGL, SP, MATCHING	No
MITIGATION TREES						
	CSM	5	Cordia sebestena	Orange Geiger Tree	CG, 12' HT, 2" DBH MIN, STD, SP	Yes
	SP-M	5	Sabal palmetto	Sabal Palm	FG, 12'-18' CT, HVY C, CV TRK, SP	Yes
PERIMETER TREES						
	CEP	12	Conocarpus erectus	Green Buttonwood	CG, 12' HT x 6" SPR, 2" DBH MIN, SP	Yes
	CS-P	4	Conocarpus erectus 'Sericeus'	Silver Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes
	CSP	3	Cordia sebestena	Orange Geiger Tree	CG, 12' HT, 2" DBH MIN, STD, SP	Yes
	SA-P	18	Sabal palmetto	Sabal Palm	FG, 12'-18' CT, HVY C, CV TRK, SP	Yes
STREET TREES						
	CS-S	2	Conocarpus erectus 'Sericeus'	Silver Buttonwood	FG, 14' HT x 7" SPR, 4" DBH MIN, 4" CT, STD, SP	Yes
SHRUBS						
	CHR	196	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	3G, 24" OA, F	Yes
	CRA	4	Crinum augustum 'Queen Emma'	Queen Emma Crinum	15G, 2'-3" OA, F, SP	No
	DIN	104	Dianella tasmanica	Flax Lily	3G, 18" OA, F	No
	HAM	37	Hamilia patens 'Compacta'	Dwarf Firebush	3G, 24" OA, F	Yes
	POD	13	Podocarpus macrophyllus	Podocarpus	CG, 48" HT x 24" SPR, FTB	No
	ZAM	50	Zamia integrifolia	Coontie	7G, 36" HT, F	Yes
GROUND COVERS						
	ARG	1,502 sf	Arachis glabrata 'Ecoturf'	Perennial Peanut	FG, Sod	No
	LMB	130	Liriope muscari 'Big Blue'	Big Blue Liriope	1G, 12" OA, F, SP	No

Revisions

Date	Init.	Description
11.22.24	DC	Initial Submittal
02.27.25	DC	Revised per Comments
08.06.25	TA	Revised per Comments
09.17.25	TA	Revised per Comments

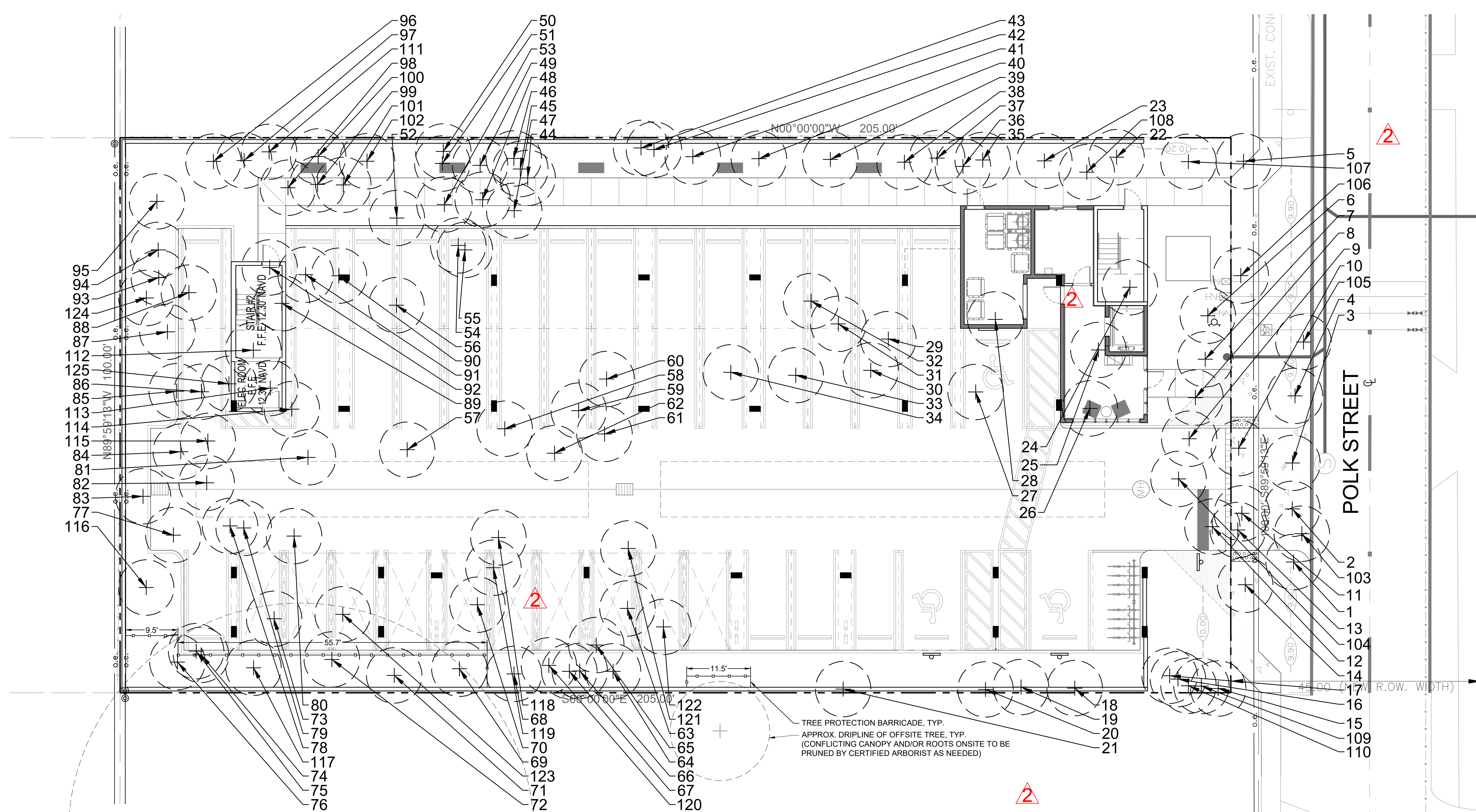


Drawn By: TA
 Checked By: BW
 Municipal Project:
 Scale:



L-01





Existing Trees (All to be Removed):

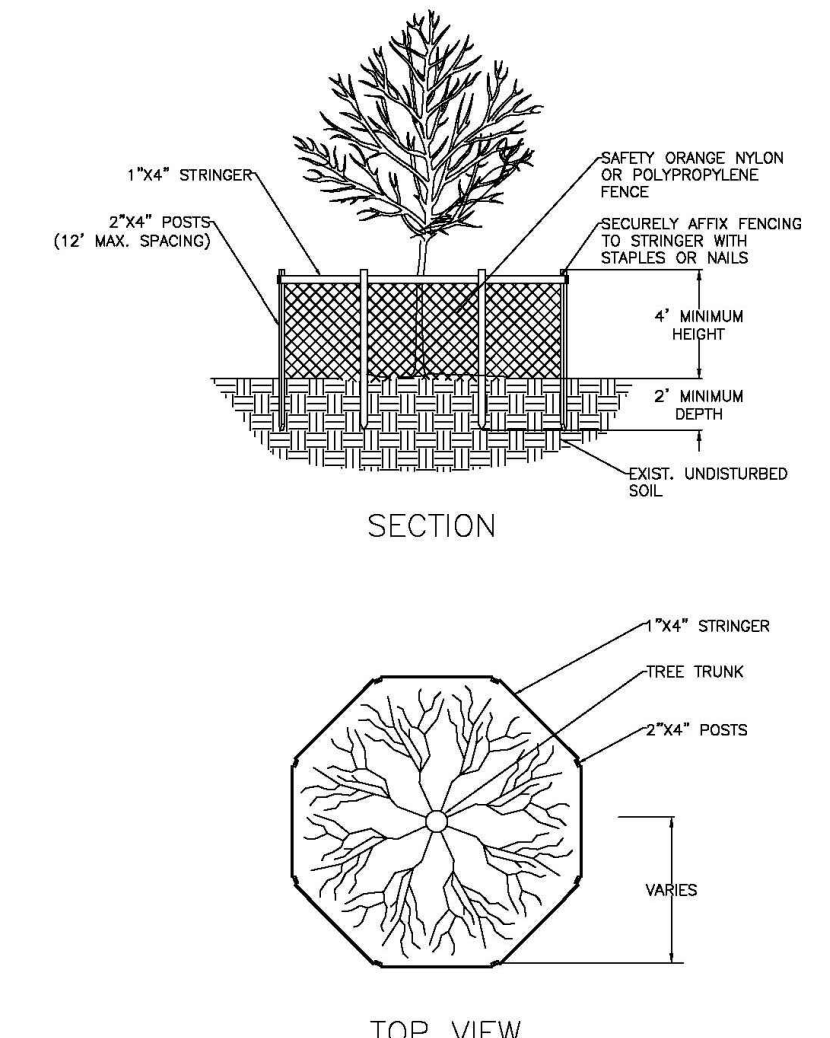
- | | | |
|--|--|---|
| 1, PALM D=0.50', H=25', SP=10' | 42, PALM D=0.50', H=25', SP=10' | 83, PALM D=0.50', H=25', SP=10' |
| 2, PALM TRI D=0.50', H=25', SP=10' | 43, PALM D=0.50', H=25', SP=10' | 84, PALM TRI D=0.50', H=25', SP=10' |
| 3, PALM MULTI D=0.50', H=15', SP=10' | 44, PALM D=0.50', H=25', SP=10' | 85, PALM TRI D=0.50', H=25', SP=10' |
| 4, PALM D=0.50', H=15', SP=10' | 45, PALM D=0.50', H=25', SP=10' | 86, PALM TRI D=0.50', H=25', SP=10' |
| 5, PALM D=0.50', H=25', SP=10' | 46, PALM D=0.50', H=25', SP=10' | 87, PALM TRI D=0.50', H=25', SP=10' |
| 6, PALM MULTI D=0.50', H=15', SP=10' | 47, PALM D=0.50', H=25', SP=10' | 88, PALM TRI D=0.50', H=25', SP=10' |
| 7, PALM TRI D=0.50', H=25', SP=10' | 48, PALM TRI D=0.50', H=25', SP=10' | 89, PALM TRI D=0.50', H=15', SP=10' |
| 8, PINE D=0.40', H=30', SP=8' (Invasive Norfolk) | 49, PALM D=0.50', H=25', SP=10' | 90, PALM TRI D=0.50', H=15', SP=10' |
| 9, PALM MULTI D=0.50', H=15', SP=10' | 50, PALM D=0.50', H=25', SP=10' | 91, PALM TRI D=0.50', H=15', SP=10' |
| 10, (2) PALM D=0.50', H=25', SP=10' | 51, PALM D=0.50', H=25', SP=10' | 92, PALM D=0.50', H=25', SP=10' |
| 11, PALM D=1', H=25', SP=10' | 52, PALM D=0.50', H=25', SP=10' | 93, PALM TRI D=0.50', H=25', SP=10' |
| 12, PINE D=1.25', H=50', SP=10' (Invasive Norfolk) | 53, PALM TWIN D=0.50', H=15', SP=10' | 94, PALM TRI D=0.50', H=25', SP=10' |
| 13, PALM TWIN D=0.50', H=15', SP=10' | 54, PALM D=0.50', H=25', SP=10' | 95, PALM TRI D=0.50', H=25', SP=10' |
| 14, PALM D=0.50', H=25', SP=10' | 55, PALM D=0.50', H=25', SP=10' | 96, PALM D=0.50', H=25', SP=10' |
| 15, PALM TWIN D=0.50', H=15', SP=10' | 56, PALM D=0.50', H=25', SP=10' | 97, PALM TWIN D=0.50', H=15', SP=10' |
| 16, PALM D=0.50', H=25', SP=10' | 57, PALM TRI D=0.50', H=25', SP=10' | 98, PALM TRI D=0.50', H=25', SP=10' |
| 17, PALM D=0.50', H=25', SP=10' | 58, PINE D=1.50', H=75', SP=15' (Invasive Norfolk) | 99, PALM D=0.50', H=25', SP=10' |
| 18, PALM D=0.50', H=25', SP=10' | 59, PALM D=0.50', H=15', SP=10' | 100, PALM D=0.50', H=25', SP=10' |
| 19, PALM D=0.50', H=25', SP=10' | 60, PALM D=0.50', H=25', SP=10' | 101, PALM D=0.50', H=25', SP=10' |
| 20, PALM D=0.50', H=25', SP=10' | 61, PALM TRI D=0.50', H=25', SP=10' | 102, PALM TWIN D=0.50', H=15', SP=10' |
| 21, PALM D=0.50', H=25', SP=10' | 62, PALM D=0.50', H=15', SP=10' | 103, PALM D=0.50', H=6', SP=4' |
| 22, PALM D=0.50', H=25', SP=10' | 63, PALM TRI D=0.50', H=25', SP=10' | 104, PALM D=0.50', H=15', SP=10' |
| 23, PALM MULTI D=0.50', H=15', SP=10' | 64, PALM D=0.50', H=25', SP=10' | 105, PALM D=0.50', H=6', SP=4' |
| 24, PALM MULTI D=0.50', H=15', SP=10' | 65, PALM TWIN D=0.50', H=25', SP=10' | 106, PINE D=1', H=20', SP=10' (Invasive Norfolk) |
| 25, PALM TRI D=0.50', H=25', SP=10' | 66, PALM D=0.50', H=25', SP=10' | 107, DRACAENA FRAGRANS D=0.80', H=15', SP=10' (N/A) |
| 26, PALM TRI D=0.50', H=25', SP=10' | 67, PALM D=0.50', H=25', SP=10' | 108, PALM D=0.50', H=6', SP=4' |
| 27, PALM TRI D=0.50', H=25', SP=10' | 68, PALM D=0.50', H=25', SP=10' | 109, PALM D=0.50', H=25', SP=10' |
| 28, TREE D=0.50', H=30', SP=15' | 69, PALM D=0.50', H=25', SP=10' | 110, PALM D=0.50', H=25', SP=10' |
| 29, PALM TRI D=0.50', H=25', SP=10' | 70, PALM TRI D=0.50', H=25', SP=10' | 111, PALM D=0.50', H=10', SP=8' |
| 30, PALM D=0.50', H=25', SP=10' | 71, PALM D=0.50', H=25', SP=10' | 112, PALM D=0.50', H=16', SP=10' |
| 31, PALM TWIN D=0.50', H=15', SP=10' | 72, PALM D=0.50', H=25', SP=10' | 113, PALM D=0.50', H=15', SP=10' |
| 32, PALM TRI D=0.50', H=25', SP=10' | 73, PALM TRI D=0.50', H=25', SP=10' | 114, PALM D=0.50', H=15', SP=10' |
| 33, PALM TWIN D=0.50', H=15', SP=10' | 74, PALM D=0.50', H=25', SP=10' | 115, PALM D=0.50', H=25', SP=10' |
| 34, PALM TWIN D=0.50', H=15', SP=10' | 75, PALM D=0.50', H=25', SP=10' | 116, DRACAENA FRAGRANS D=0.80', H=20', SP=12' (N/A) |
| 35, PALM D=0.50', H=25', SP=10' | 76, PALM D=0.50', H=25', SP=10' | 117, DRACAENA TARZAN D=0.80', H=15', SP=10' (N/A) |
| 36, PALM D=0.50', H=25', SP=10' | 77, PALM D=0.50', H=25', SP=10' | 118, PYGMY DATE PALM D=0.50', H=8', SP=6' |
| 37, PALM TWIN D=0.50', H=15', SP=10' | 78, PALM D=0.50', H=25', SP=10' | 119, GARCINIA SPICATA D=0.50', H=10', SP=8' |
| 38, PALM D=0.50', H=25', SP=10' | 79, PALM D=0.50', H=25', SP=10' | 120, PALM D=0.50', H=15', SP=10' |
| 39, PALM D=0.50', H=25', SP=10' | 80, PALM D=0.50', H=25', SP=10' | 121, PALM D=0.50', H=25', SP=10' |
| 40, PALM D=0.50', H=25', SP=10' | 81, MANGO D=2.50', H=60', H=25' | 122, DRACAENA FRAGRANS D=0.80', H=15', SP=10' (N/A) |
| 41, PALM D=0.50', H=25', SP=10' | 82, PINE D=0.40', H=30', SP=10' (Invasive Norfolk) | 123, PALM D=0.50', H=25', SP=10' |
| | | 124, PALM D=0.50', H=15', SP=8' |
| | | 125, PALM D=0.50', H=20', SP=10' |

Landscape Tree Mitigation Data:

Total mitigation for trees and palms removed to be provided by payment to City Tree Fund. (114)
 Palms and (42") proposed to be removed; (5) - 8' Clear Trunk Palms and (5) - Orange Gieger
 Trees provided for mitigation; \$350 required for every palm/2" hardwood removed.
\$43,750 Total payment required.

All trees and palms to be identified on Tree Disposition list at time of permitting.

Tree Protection Detail:



NOTES:
 1. BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
 2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.

Project Team
 Landscape Architect:
LAS LANDSCAPE ARCHITECTURAL SERVICES, LLC
 1708 SE Joy Haven Street
 Fort St. Lucie, FL 34983
 (772) 834-1357 | brandon@las-fl.com
 Architect:
BELLON ARCHITECTURE
 12930 SW 128th Street
 Suite 203
 Miami, FL 33186
 Office: 305-278-7776
 amy@bellonglobal.com

PROPOSED 27-UNIT MULTIFAMILY DEVELOPMENT FOR:
2323 POLK STREET APARTMENTS
 2323 Polk Street, Hollywood, FL 33020
Existing Tree Information

Revisions

Date	Init.	Description
11.22.24	DC	Initial Submittal
02.27.25	DC	Revised per Comments
08.06.25	TA	Revised per Comments
09.17.25	TA	Revised per Comments

REGISTERED LANDSCAPE ARCHITECT
 PAUL A. GOULAS
 LA 666807
 STATE OF FLORIDA
 PAUL GOULAS, RLA
 FLORIDA REG. # LA666807

Drawn By: TA
 Checked By: BW
 Municipal Project:
 Scale:

L-02

Landscape Specifications:

PART 1: GENERAL CONDITIONS

1.01 SCOPE:

- The Landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.

1.02 AGENCY STANDARDS:

- Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

1.03 SITE EXAMINATION:

- The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

1.04 ERRORS AND OMISSIONS:

- The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for higher own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

- The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.

- If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

1.05 EXECUTION OF THE WORK:

- The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.

- The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.

- The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

1.06 PROTECTION OF PUBLIC AND PROPERTY:

- The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

1.07 CHANGES AND EXTRAS:

- The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

1.08 GUARANTEE:

- The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and any subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

1.09 CARE AND MAINTENANCE:

- The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.

- The Owner agrees to execute the instructions for such care and maintenance.

1.10 SAFETY:

- It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.

- It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

1.11 CONTRACTOR QUALIFICATION:

- The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
 - A financial statement showing assets and liabilities of the company current to date.
 - A listing of not less than (3) completed projects of similar scope and nature.
 - Permanent name and address of place of business.
 - The number of regular employees of the organization and length of time the organization has been in business under the present name.

1.12 INSURANCE AND BONDING:

- The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

1.13 PERMITS AND CERTIFICATES:

- All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

2.01 PLANT MATERIALS:

- A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.

- Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.

- All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.

- All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.

- Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.

- The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

2.02 INSPECTION:

- The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

2.03 PROTECTION OF PLANT MATERIALS:

- Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

- Plants with broken, damaged or insufficient rootballs will be rejected.

- All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

- Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

2.04 STORAGE:

- All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.

- No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.

- The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.

- All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

2.05 PROTECTION DURING PLANTING:

- Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.

2.06 PLANTING SOIL:

- Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

2.07 FERTILIZER:

- Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes cracked or otherwise damaged shall be rejected.

- Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:

1 gallon container	1 tablet
3 gallon container	2 tablets
5 gallon container	3 tablets
7 gallon	5 tablets

- Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer.

2.08 MULCH:

- Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.

- All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks or as required by local jurisdiction.

PART 3: EXECUTION

3.01 DIGGING:

- The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

3.02 GRADING:

- Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.

- It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, patios, decks, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

3.03 PLANTING:

- Planting shall take place during favorable weather conditions.
- The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

- Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

- Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

- A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.

- Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil):
 - 1 Gallon material (1 gal.): 12" x 12" x 12" min.
 - 3 Gallon material (3 gal.): 20" x 20" x 18" min.
 - Leto material (7 gal.): 30" x 30" x 24" min.
 Field grown material and trees: 1-12 times width of ball and depth of ball plus 12" min.

- No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.

- Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.

- All flagging ribbon shall be removed from trees and shrubs before planting.

- Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.

- All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2) inches deep with topsoil raked and left in a neat, clean manner.

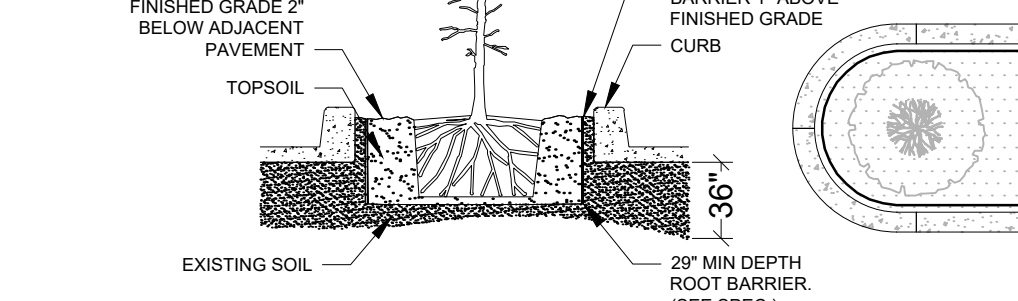
3.04 PRUNING:

- Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.

- Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.

- Trees shall not be poled or topped.

- Remove all trimmings from site.



SPECIAL APPLICATIONS ROOT BARRIER DETAIL
NOT TO SCALE

- NOTES:
 - ROOT BARRIER SHALL BE 180-BARRIER 20" DEPTH OR APPROVED EQUAL.
 - ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

3.05 GUYING:

- All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.

- Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at contact points. Wires shall be fastened in such a manner as to avoid pulling croches apart.

- Stake & Brace all trees larger than 12" oa. See detail. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.

- Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain light guy wires.

3.06 WATER:

- Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.

- See General Notes of Landscape Plan for water source.

3.07 SOD:

- The Landscape Contractor shall sod all areas indicated on the drawings.

- It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.

- The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.

- Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

- 6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.

- Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.

- The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.

- If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

- The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.

- Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.

- Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.

- Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

- CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.

- MAINTENANCE: Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.

- Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

- Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.

- In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.

- Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

- Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.

- Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

- All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.

- After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

- COMPLETION, INSPECTION AND ACCEPTANCE: Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.

- Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

- All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.

- After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:

- DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

- FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

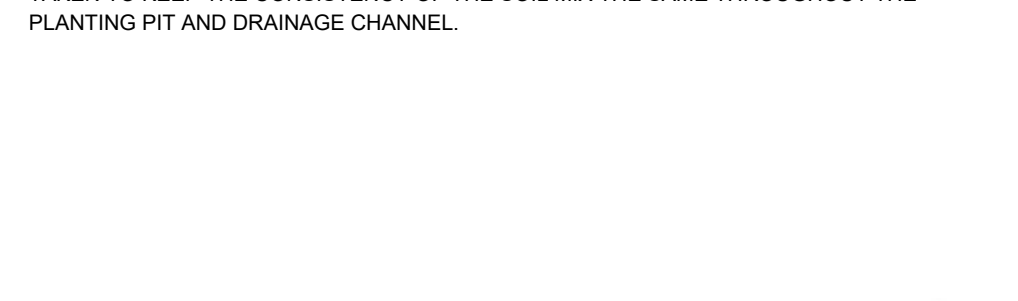
- WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)

- ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.

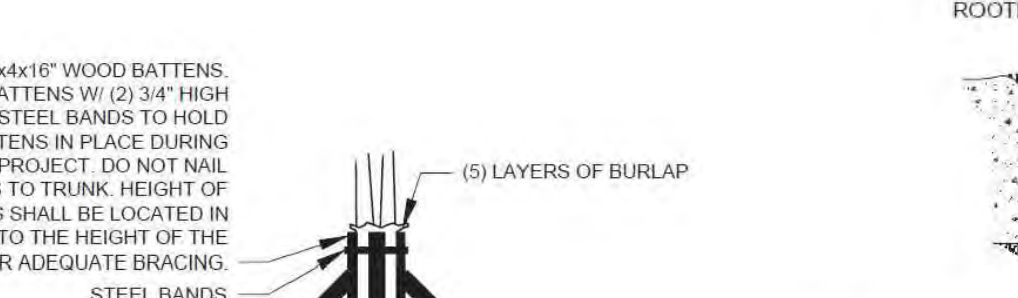
- WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.

TREE PROTECTION DETAIL

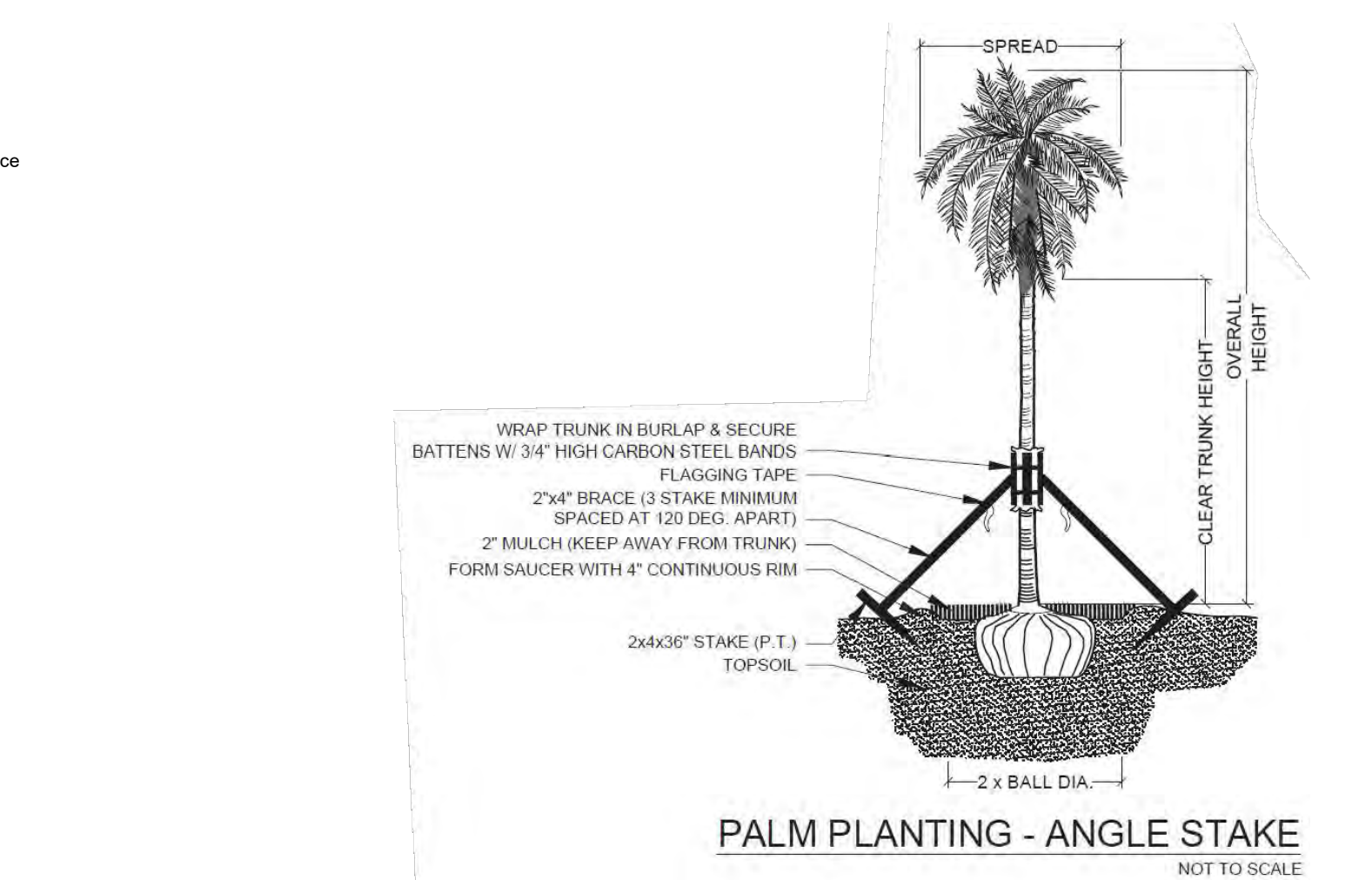
NOT TO SCALE



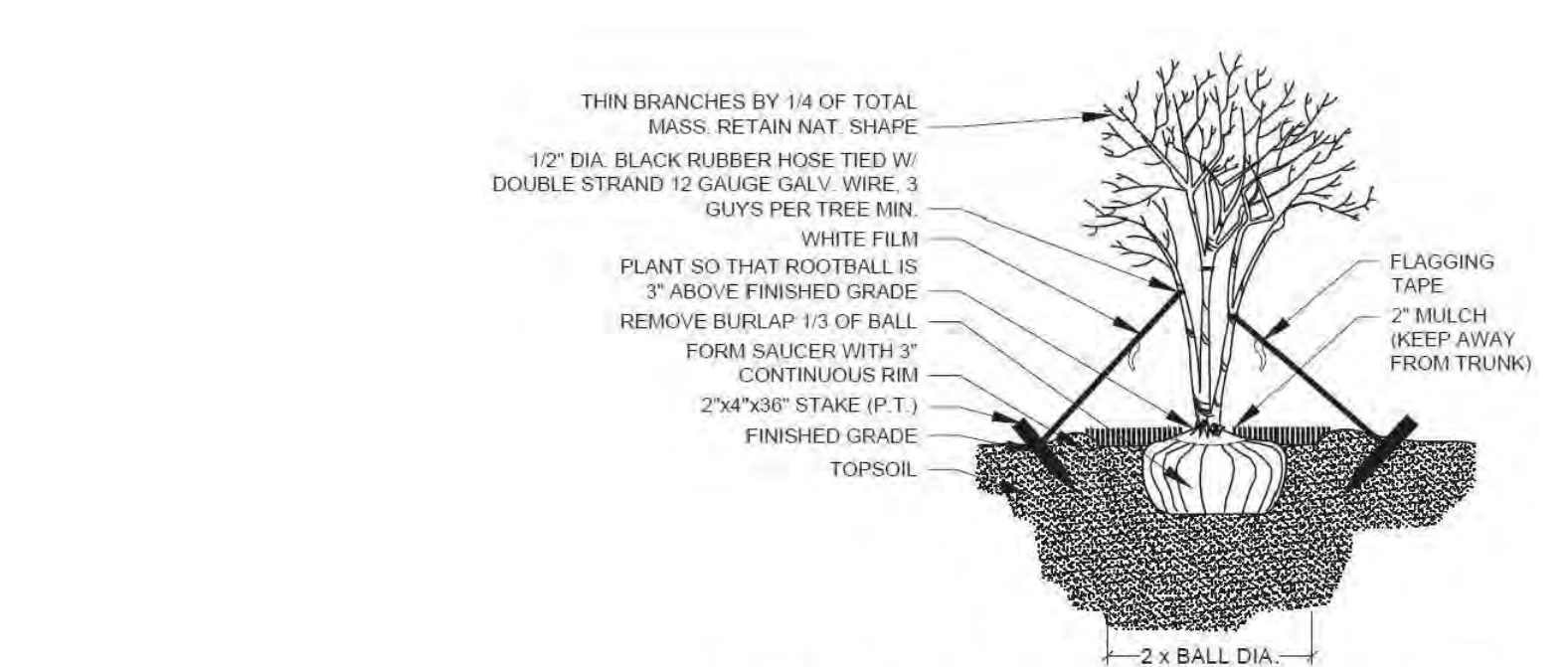
TREE PROTECTION DETAIL
NOT TO SCALE



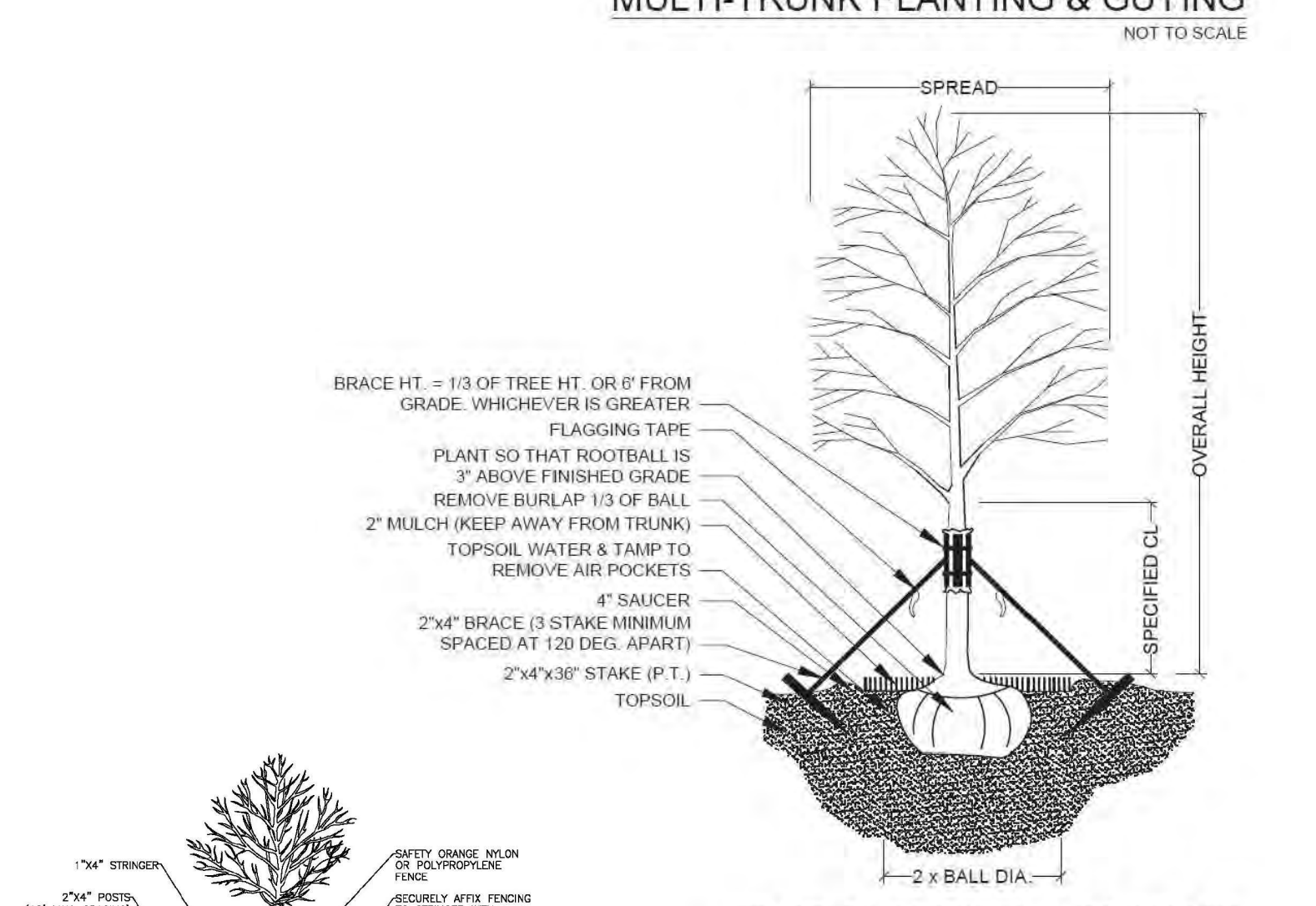
DRAINAGE TESTING DETAIL
NOT TO SCALE



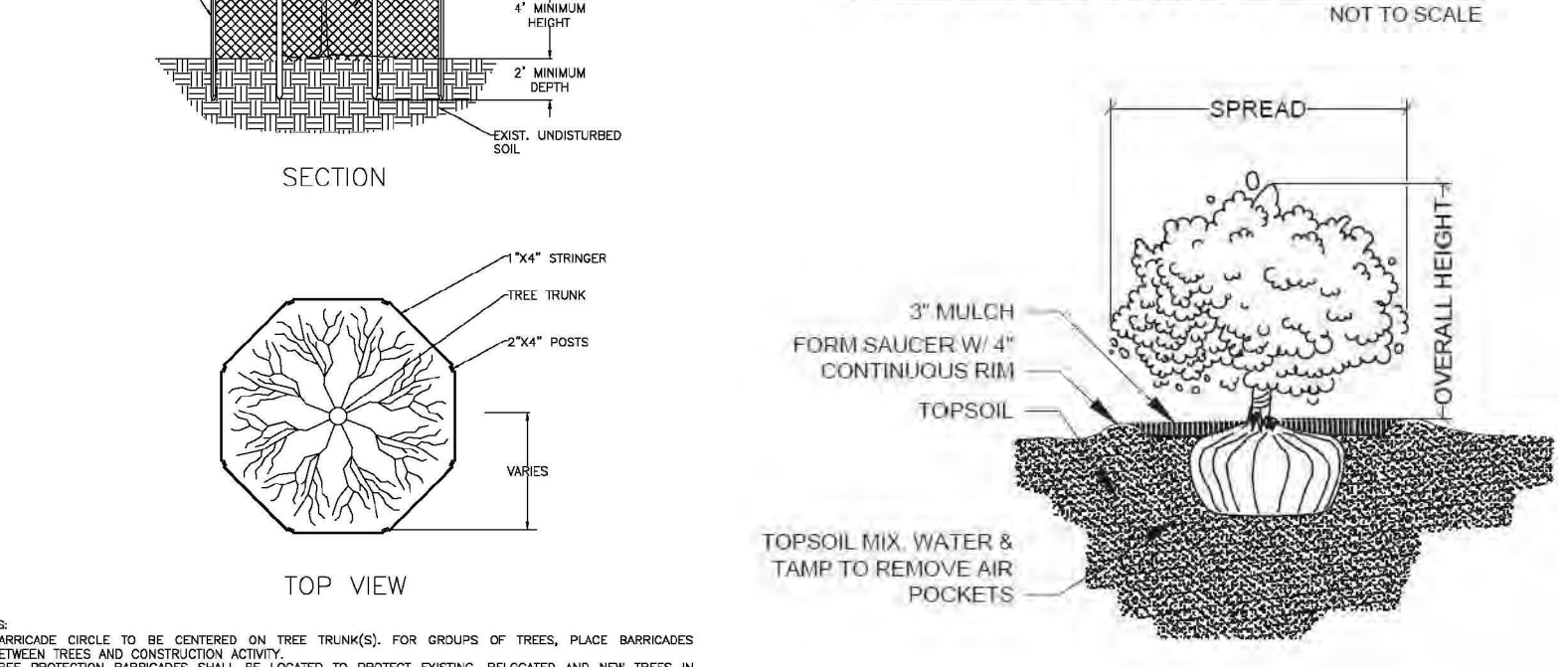
PALM PLANTING - ANGLE STAKE
NOT TO SCALE



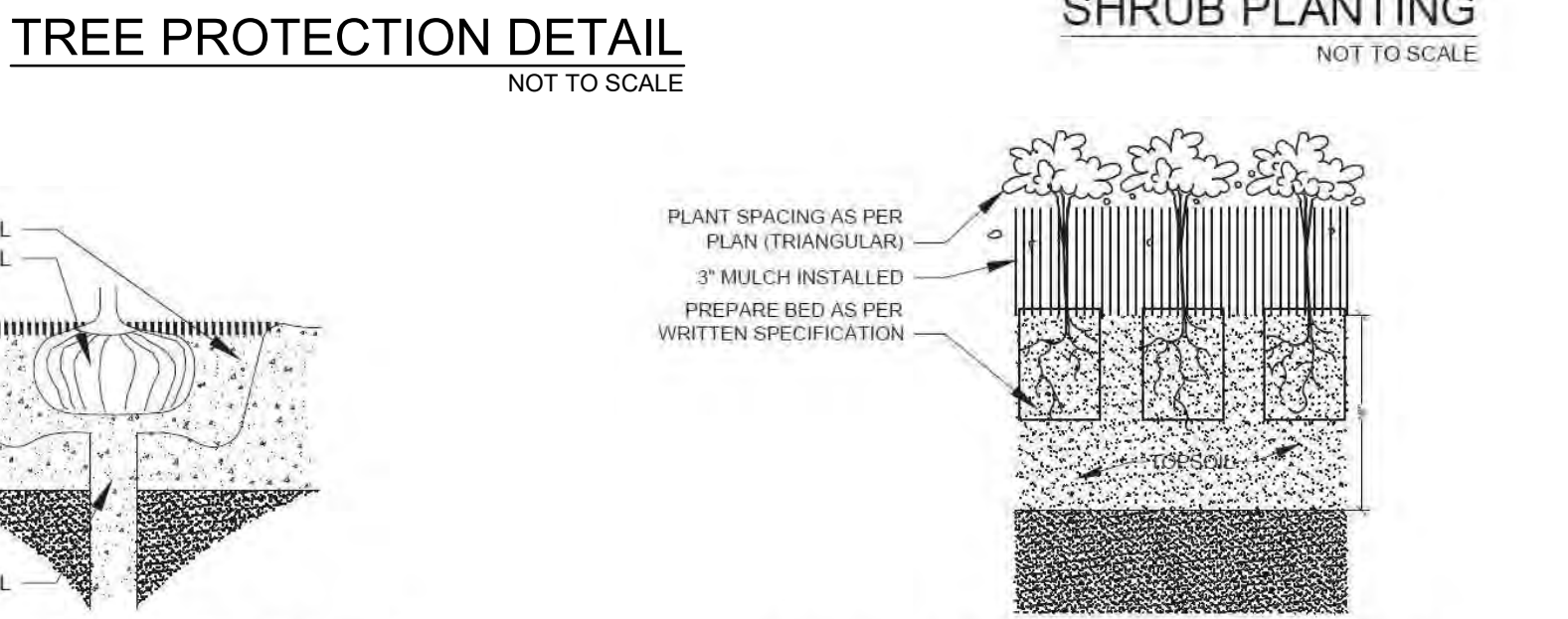
MULTI-TRUNK PLANTING & GUYING
NOT TO SCALE



TREE PLANTING & STAKING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

Project Team
Landscape Architect:
LAS LANDSCAPE ARCHITECTURAL SERVICES, LLC
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1357 | brandon@las-fl.com
Architect:
BELLO ARCHITECTURE
12930 SW 128th Street
Suite 203
Miami, FL 33186
Office: 305-278-7776
amy@bellonglobal.com

PROPOSED 27-UNIT MULTIFAMILY DEVELOPMENT FOR:
2323 POLK STREET APARTMENTS
2323 Polk Street, Hollywood, FL 33020
Landscape Details & Specifications

||
||
||

March 18, 2026

Mr. Juan Alberto Suarez
Soar Realty Corp.
8300 NW 53rd Street
Doral, FL 33166

**Re: 2323 Polk Residences – Hollywood, Florida
Traffic Statement**

Dear Juan:

2323 Polk Residences is a proposed multifamily residential development to be located on the north side of Polk Street approximately 200 feet east of N. 24th Avenue in Hollywood, Broward County, Florida. More specifically, the subject site is located at 2323 Polk Street, and the Parcel ID number is 5142 16 01 3510. The subject site has a total land area of approximately 0.47 acre (+/- 20,515 square feet). Currently, the subject site is developed with two (2) low-rise residential apartment dwelling units. A project location map is presented in Attachment A to this memorandum.

The proposed development plan consists of 27 multifamily residential dwelling units in a four-story (mid-rise) building. Access to the site will be provided by one (1) right-turn in / right-turn out only driveway located on Polk Street. A preliminary site plan, elevations, and renderings are presented in Attachment B to this memorandum. The purpose of this technical memorandum is to document the trip generation characteristics of the existing and proposed residential development on the subject site.

Trip Generation Analysis

Consistent with the foregoing description of the existing and proposed development, a trip generation analysis has been conducted utilizing the trip generation rates and equations contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (12th Edition)*. According to the subject ITE manual, the most appropriate land use categories for this analysis are Land Use #220 – Multifamily Housing (Low-Rise) and Land Use #221 – Multifamily Housing (Mid-Rise). The trip generation rates used to determine the vehicle trips associated with this analysis are presented below.

Multifamily Housing (Low-Rise) – ITE Land Use #220

- Daily: $T = 6.21 (X)$
where T = number of trips and X = number of dwelling units
- AM Peak Hour: $T = 0.41 (X)$ (24% in / 76% out)
- PM Peak Hour: $T = 0.52 (X)$ (62% in / 38% out)

Multifamily Housing (Mid-Rise) – ITE Land Use #221

- Daily: $T = 4.46 (X)$
where T = number of trips and X = number of dwelling units
- AM Peak Hour: $T = 0.38 (X)$ (23% in / 77% out)
- PM Peak Hour: $T = 0.38 (X)$ (64% in / 36% out)

Table 1 below summarizes the trip generation characteristics associated with the proposed 2323 Polk Residences project to be located in Hollywood, Florida. Excerpts from the referenced ITE manual are presented in Attachment C.

Table 1 2323 Polk Residences Trip Generation Summary Hollywood, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Existing</i>								
Multifamily Housing (Low-Rise)	2 DU	12	0	1	1	1	0	1
<i>Proposed</i>								
Multifamily Housing (Mid-Rise)	27 DU	120	2	8	10	6	4	10
Difference (Proposed - Existing)		108	2	7	9	5	4	9

Compiled by: KBP Consulting, Inc. (March 2026).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (12th Edition).

As indicated in Table 1 above, the proposed residential development is estimated to generate 120 daily vehicle trips, 10 AM peak hour vehicle trips (2 inbound and 8 outbound), and 10 PM peak hour vehicle trips (6 inbound and 4 outbound). When compared with the existing development on the subject site, this represents an increase of 108 daily vehicle trips, an increase of 9 AM peak hour vehicle trips, and an increase of 9 PM peak hour vehicle trips.

KBP CONSULTING, INC.

Conclusions

Based upon the trip generation analysis for the 2323 Polk Residences project, it is evident that the number of net new trips to be generated by this site is considered to be minimal or, “de minimis”. If you have any questions or require additional information, please do not hesitate to contact me.

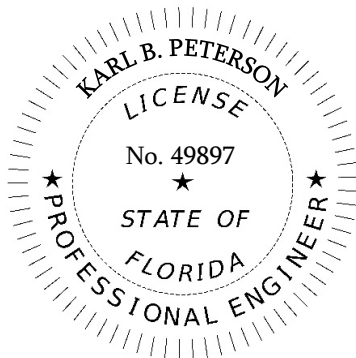
KBP CONSULTING, INC.



Karl B. Peterson, P.E.
Senior Transportation Engineer

APPROVED BY:

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED
AND SEALED BY:



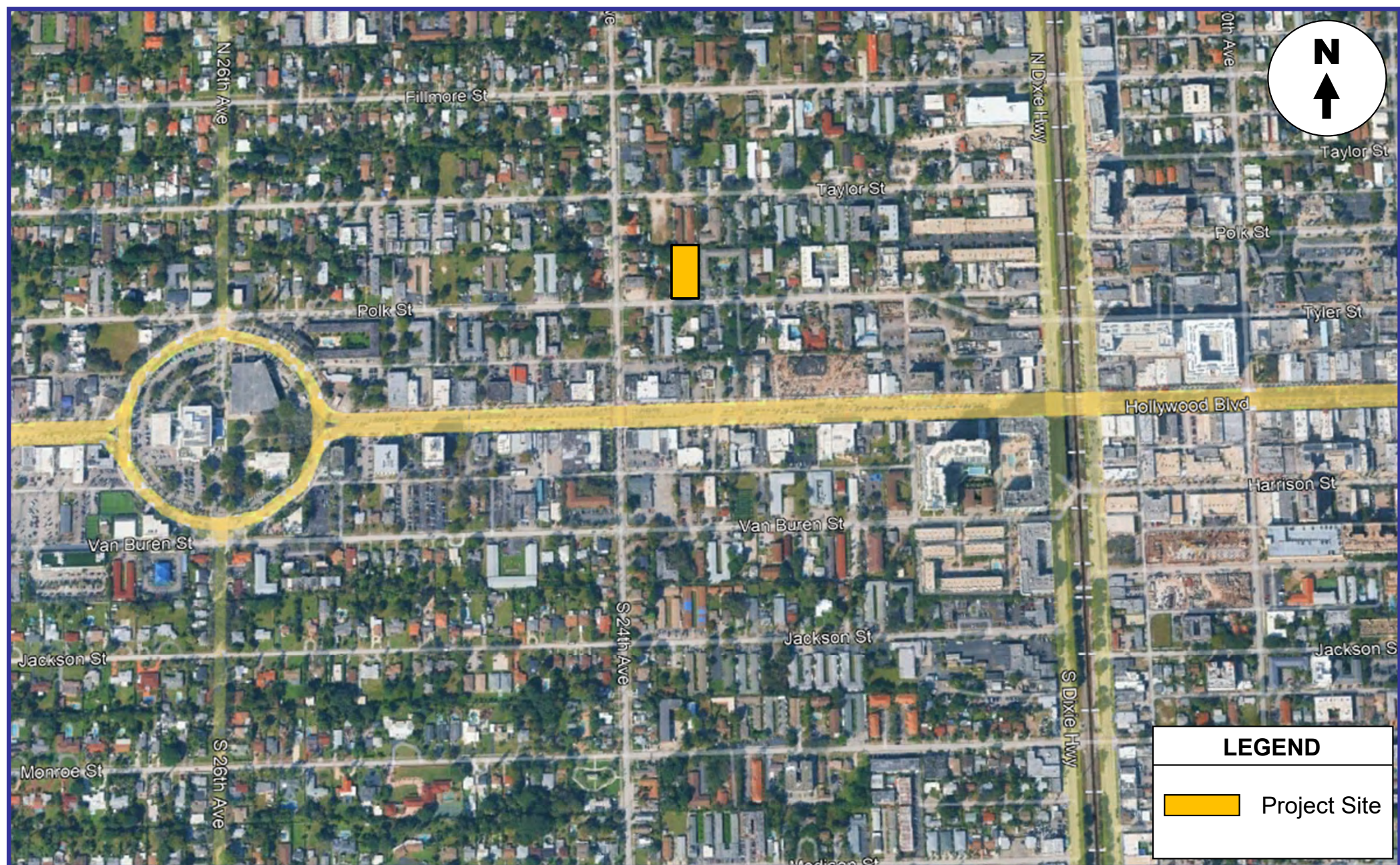
ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST
BE VERIFIED ON ANY ELECTRONIC COPIES.

KBP CONSULTING, INC.
8400 N. UNIVERSITY DRIVE, SUITE 309
TAMARAC, FLORIDA 33321
PH: 954-560-7103
KARL B. PETERSON, P.E. NO. 49897

Attachment A

2323 Polk Residences – Hollywood, Florida

Project Location Map



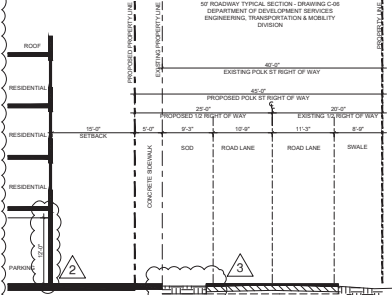
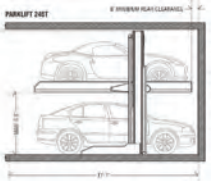
Project Location Map

Attachment B

2323 Polk Residences – Hollywood, Florida

Proposed Site Plan, Elevations, & Renderings

COMPONENTS	
Working Capacity	6,000 lbs
Static Capacity	12,000 lbs
Dynamic Capacity	6,000 lbs
UNIT WEIGHT	
Overall Weight	80 lb
Platform Weight	10 lb
Motor Weight	10 lb
Overall Platform Length	67" 1/2
Maximum velocity (vertical)	100" / min
Maximum (horizontal travel)	100" / min
Overall height	70" 1/2
TIRES	
Lifting Speed (vertical)	10 inches
Lowering Speed (vertical)	10 inches
POWER	
Power Requirements	200V 3 Phase 40 Amp
200V Single Phase 40 Amp	
SAFETY	
Applications	Substation
Surface	Asphalt/Concrete
Material	100% Structural Steel
Delivery	Shrink-on-Steel Locks



SECTION A - POLK STREET
SCALE: 3/32" = 1'-0"

**MECHANICAL LIFT
DETAIL / SPECS**
N.T.S.

LEGEND

- OUTLINE OF BUILDING ABOVE
- OUTLINE OF CANOPY (EYEBROW) ABOVE PARKING SPACES (LIFTS)
- GREEN OPEN AREA
- NEW SIDE WALK

ZONING LEGEND		
SITE INFORMATION		
Parcel:	514216013510	
Property Address:	2323 Polk Street, Hollywood, FL 33020	
SITE AREA		
Gross Area	22,500.00 sf / 52 ac	
Net Area	20,500.00 sf / 47 ac	
ZONING DISTRICT	RAC-DH2	
DENSITY		
ALLOWED	PROVIDED	
N/A	52 du/ac / 27 units	
SETBACKS		
TYPE	REQUIRED	PROVIDED
Front	15 ft	15'-0"
Side Interior - East	10 ft	12'-3"
Side Interior - West	10 ft	10'-0"
Rear	20 ft	20'-0"
SITE CALCULATIONS		
TYPE	REQUIRED	PROVIDED
Maximum FAR	1.75 FAR 35,875 sf	1.48 FAR 30,377 sf
Landscape Open Space	20%	21.6%
Building Height	4 Stories / up to 45ft	4 Stories / 42 FT
BUILDING HEIGHT		
REQUIRED	PROVIDED	
BUILDING HEIGHT	45'-0"	42'-0" (4 STORY)

PARKING CALCULATIONS			
Type	Regulated		
Units exceeding 1BD	1.5 sp per unit	41.0 sp	
Guest (24 Units)	1 sp per 10 units	3.0 sp	
Total Required		27 units	44.0 sp
PARKING SCHEDULE TOTALS			
TYPE	Standard	HC	Total/Level
Standard stalls	4	3	7 sp
Tandem	25	0	25 sp
Parking Lifts	20	0	20 sp
Parallel (On-Street)	TBD		
Grand Total Provided :			55 sp
BICYCLE PARKING			
Bicycle Parking			8 sp
UNIT BREAKDOWN			
Type	Area	Levels 2-4	Total # of Units
B1 (2bd/2bath)	900 sf	6 units	18 units
B2 (1bd + den)	746 sf	1 units	3 units
B3 (2bd/2bath)	893 sf	2 units	6 units
Total		9 units	27 units

GROSS BUILDING SQUARE FOOTAGE			
Type of SF	Level 1	Levels 2-4 (SF/FL)	Total
Apartments		7,956 sf	23,868 sf
Common Areas	380 sf		380 sf
Circulation	606 sf	1,694 sf	5,688 sf
Service	272 sf	154 sf	724 sf
	Subtotal		30,670 sf
Other Areas			
Surface Parking	12,452 sf		12,452 sf
Grand Total Gross Area			43,122 sf

LEGAL DESCRIPTION PER SURVEY
Lot 9, Block 8, of "HOLLYWOOD LITTLE RANCHES", according to the Plat Thereof as Recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida.

NOTE:
EXISTING R/W OF 40'
PROPOSED R/W OF 45'

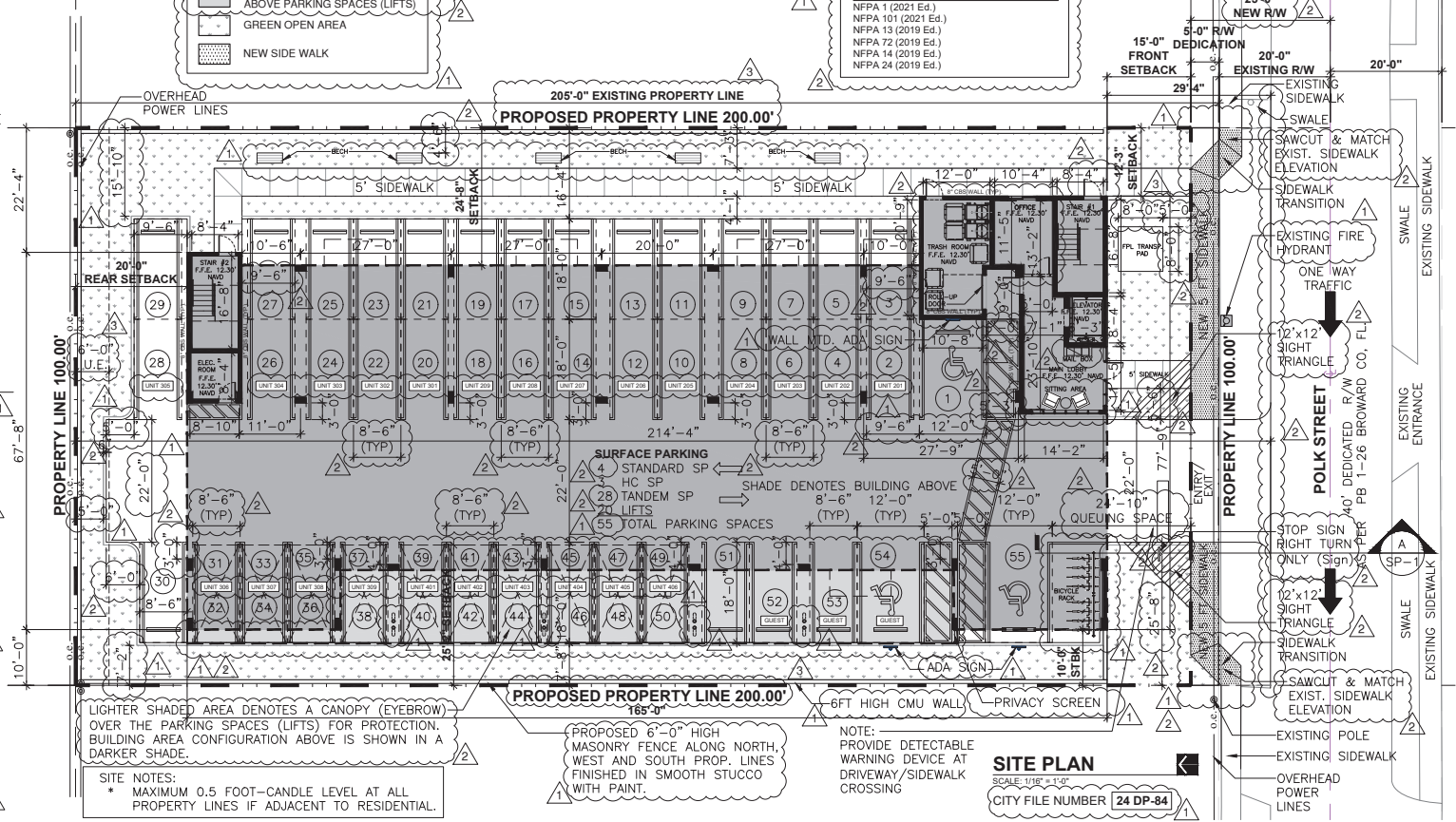


TRANSIT STOP LOCATION
SCALE: N.T.S.

SITE PLAN CHANGES NOTE:
ANY CHANGES TO THIS SITE PLAN WILL BE SUBJECT TO PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

TANDEM PARKING NOTE:
ALL TANDEM PARKING SPACES SHOW ARE TO BE ASSIGNED FOR THE EXCLUSIVE USE OF UNIT OWNERS. TWO SPACES PER UNIT.

SIGNAGE NOTE:
ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.



FLORIDA FIRE PREVENTION CODE(8th Ed.)
NFPA 1 (2021 Ed.)
NFPA 101 (2021 Ed.)
NFPA 13 (2019 Ed.)
NFPA 72 (2019 Ed.)
NFPA 14 (2019 Ed.)
NFPA 24 (2019 Ed.)

SITE NOTES:
* MAXIMUM 0.5 FOOT-CANDLE LEVEL AT ALL PROPERTY LINES IF ADJACENT TO RESIDENTIAL.

PROPOSED 6'-0" HIGH MASONRY FENCE ALONG NORTH, WEST AND SOUTH PROP. LINES FINISHED IN SMOOTH STUCCO WITH PAINT.

NOTE: PROVIDE DETECTABLE WARNING DEVICE AT DRIVEWAY/SIDEWALK CROSSING

SITE PLAN
SCALE: 1/16" = 1'-0"
CITY FILE NUMBER **24 DP-84**

BELLON

12030 S.W. 126 STREET
SUITE 203
MIAMI, FLORIDA 33166
T: (305) 276-7774
F: (305) 276-7473
WWW.BELLONFLORIDA.COM
AA-26002616

ARCHITECTURE
LAND PLANNING
INTERIORS
CONSTRUCTION MANAGEMENT

CONSULTANTS

**2323 POLK BUILDING
A RESIDENTIAL CONDOMINIUM**
2323 POLK STREET
HOLLYWOOD, FLORIDA - 33020

MARK	DATE	DESCRIPTION
▲	03/10/25	TAC REVIEW
▲	08/13/25	TAC REVIEW
▲	12/18/25	TAC REVIEW

PROJECT NO: LB756
DRAWN BY: PFM
CHECKED BY: LB
DATE: 06/26/2024

LEOPOLDO BELLON, AIA (AIA 68-6737)
SHEET TITLE

SITE PLAN
SP-1.0
SHEET OF

Attachment C

2323 Polk Residences – Hollywood, Florida

**Relevant Excerpts from the
*ITE Trip Generation Manual (12th Edition)***

Land Use: 220

Multifamily Housing (Low-Rise)

Description

Low-rise multifamily housing is a residential building with two or three floors (levels) of residences. Various configurations fit this description, including the following:

- Walk-up apartment or multiplex—access to the individual dwelling units is typically internal to the structure and provided through a shared entry, stairway, and hallway.
- Mansion apartment with several dwelling units within what appears from the outside to be a single-family dwelling unit.
- Stacked townhouse designed to match the external appearance of a townhouse, but which has dwelling units that share both floors and walls and with access through a central entry and stairway.

Land Use Subcategory

Data are presented for two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is ½ mile or less.

Additional Data

For the three sites for which both the number of residents and the number of occupied dwelling units were available, there was an average of 2.72 residents per occupied dwelling unit.

For the two sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 96.2 percent of the total dwelling units were occupied.

It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).

The sites were surveyed in the 1990s, the 2000s, the 2010s, and the 2020s in Arizona, British Columbia (CAN), California, Delaware, Florida, Illinois, Maine, Massachusetts, Minnesota, New Jersey, New York, Ontario (CAN), Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Utah, and Washington.

Source Numbers

357, 390, 412, 525, 530, 579, 583, 638, 864, 866, 896, 901, 903, 904, 936, 939, 944, 946, 947, 948, 963, 964, 966, 967, 1012, 1013, 1014, 1036, 1047, 1056, 1071, 1076, 1219, 1236, 1265, 1267

Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

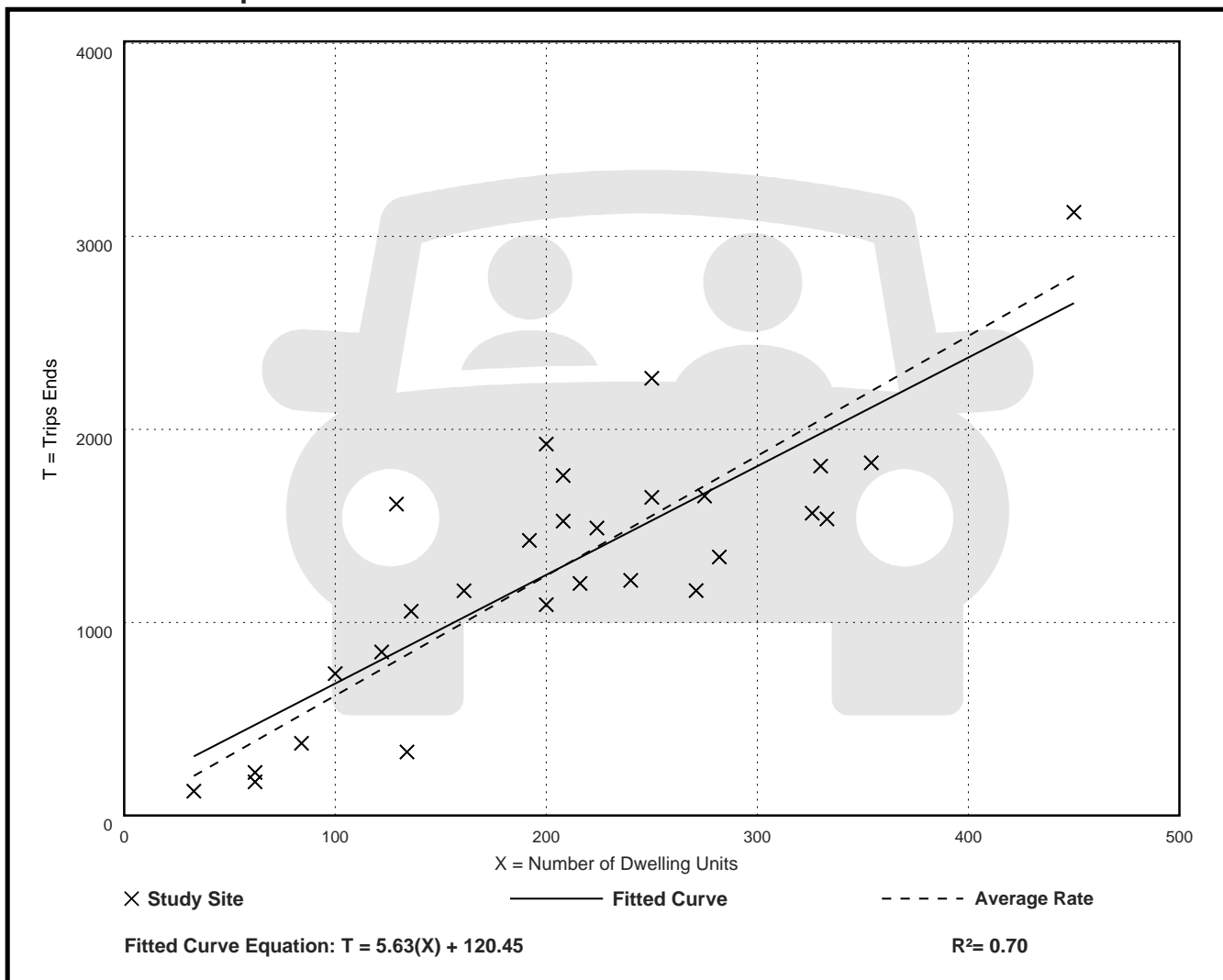
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 28
Avg. Num. of Dwelling Units: 208
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
6.21	2.46 - 12.50	1.87

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 51

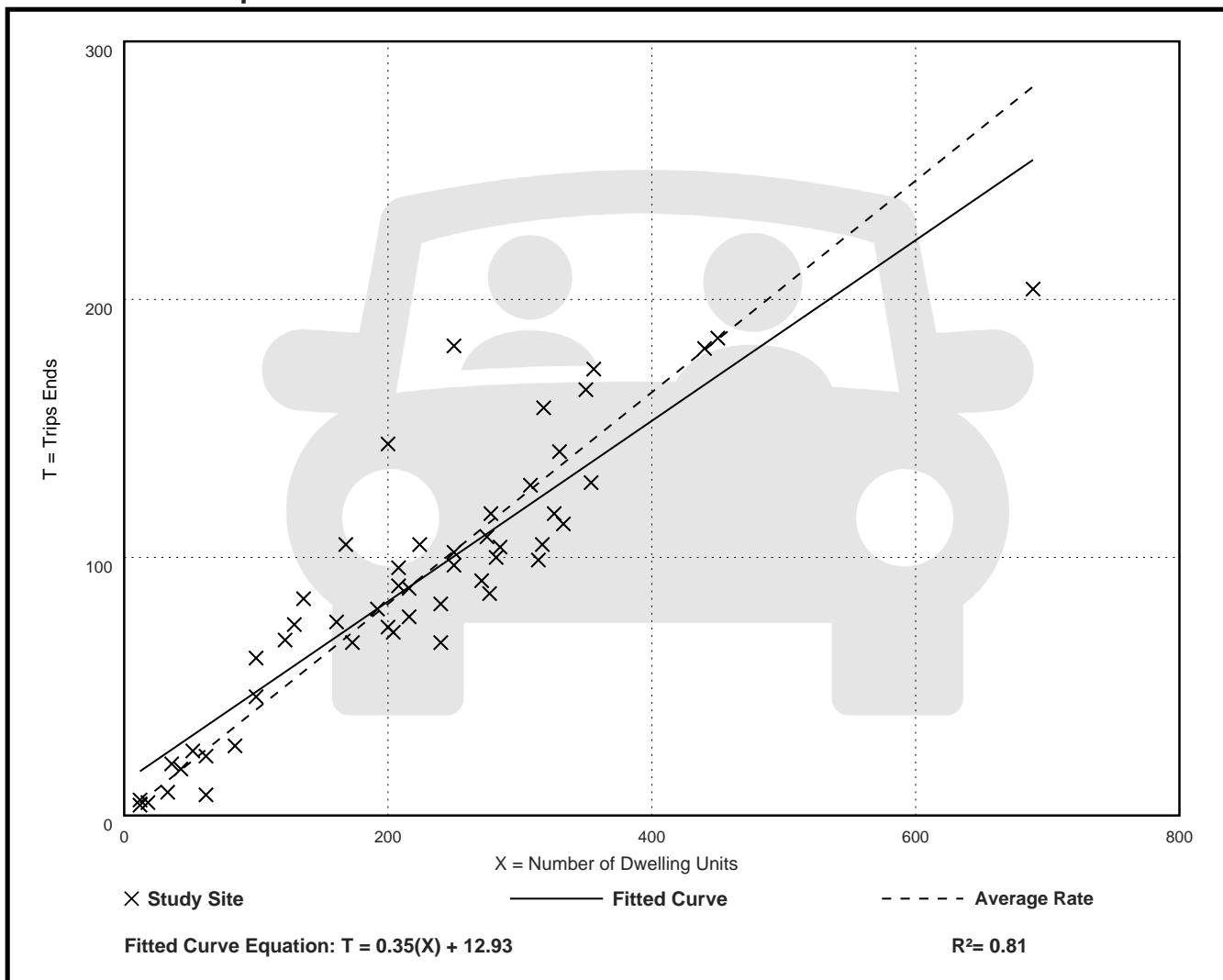
Avg. Num. of Dwelling Units: 219

Directional Distribution: 24% entering, 76% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.41	0.13 - 0.73	0.10

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 61

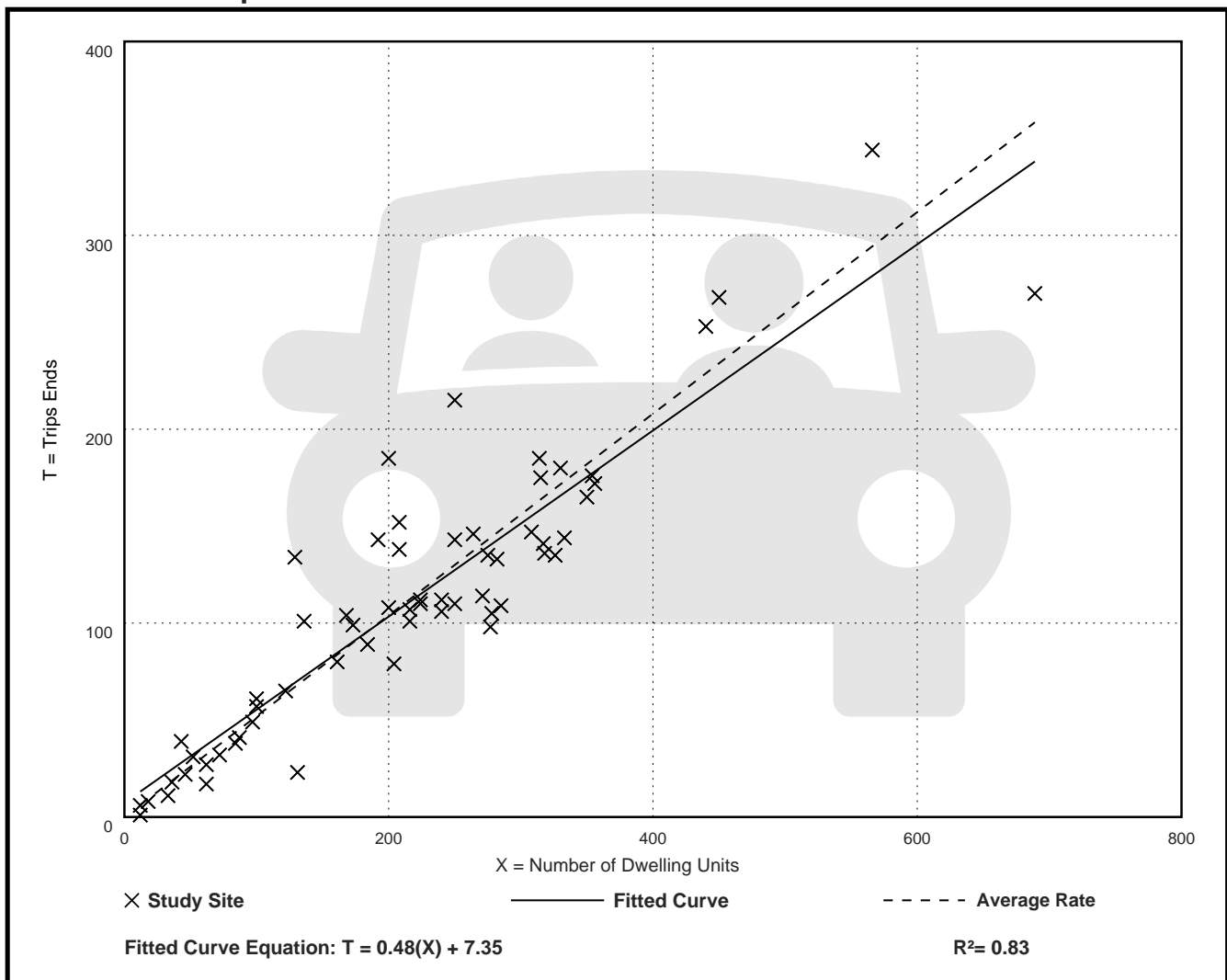
Avg. Num. of Dwelling Units: 215

Directional Distribution: 62% entering, 38% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.52	0.08 - 1.04	0.13

Data Plot and Equation



Land Use: 221

Multifamily Housing (Mid-Rise)

Description

Mid-rise multifamily housing is a residential building with between four and 10 floors of residence. Access to individual dwelling units is through an outside building entrance, a lobby, elevator, and a set of hallways.

Land Use Subcategory

Data are presented for two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is ½ mile or less.

Additional Data

For the six sites for which both the number of residents and the number of occupied dwelling units were available, there was an average of 2.5 residents per occupied dwelling unit.

For the five sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 96 percent of the total dwelling units were occupied.

It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).

The sites were surveyed in the 2000s, the 2010s, and the 2020s in Alberta (CAN), California, District of Columbia, Florida, Georgia, Massachusetts, Minnesota, Montana, New Jersey, New York, Ontario (CAN), Oregon, and Virginia.

Source Numbers

818, 857, 862, 866, 901, 904, 910, 949, 951, 963, 964, 966, 967, 969, 970, 1004, 1014, 1022, 1023, 1025, 1031, 1032, 1035, 1047, 1057, 1058, 1071, 1076, 1219, 1292

Multifamily Housing (Mid-Rise) Not Close to Rail Transit (221)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 7

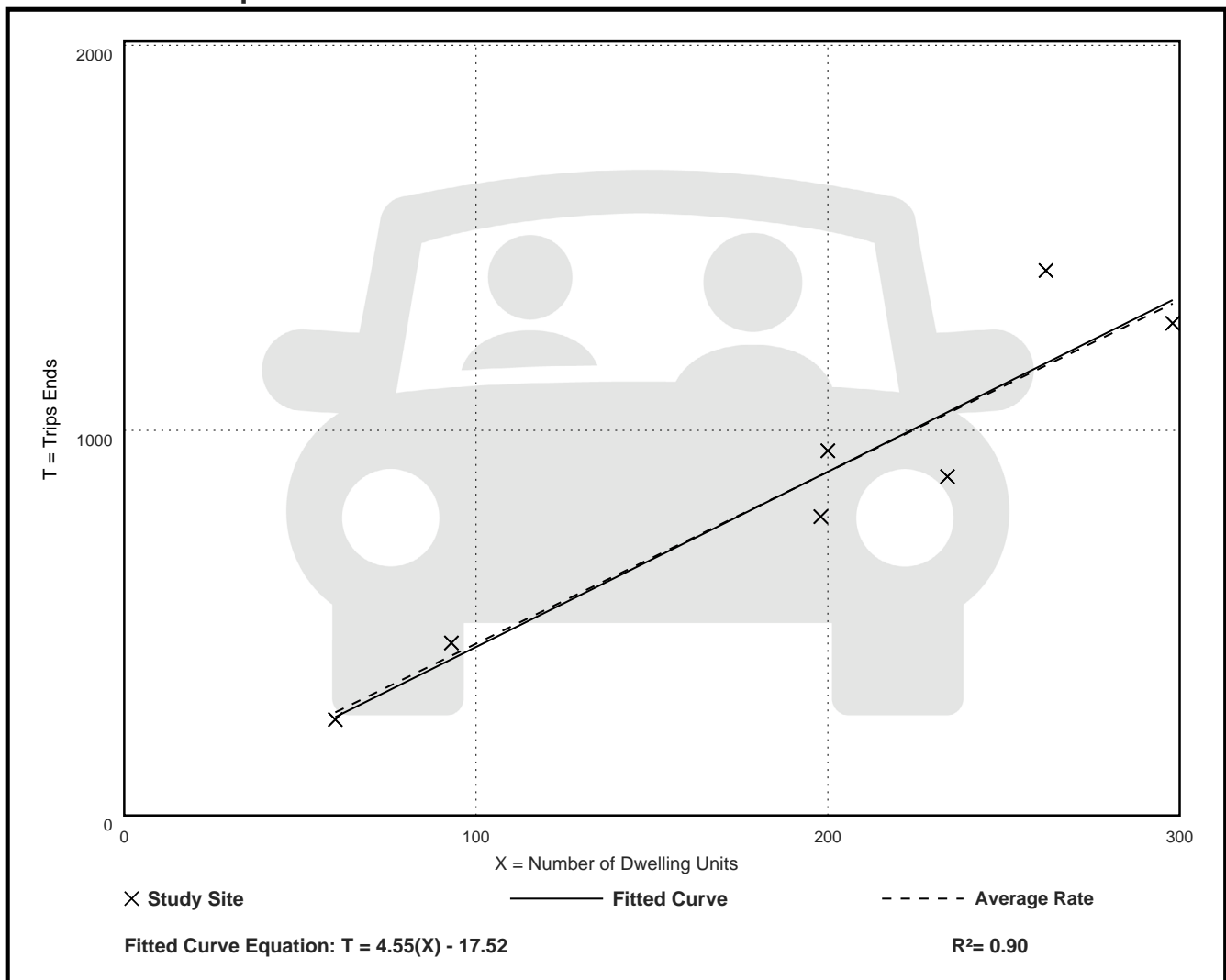
Avg. Num. of Dwelling Units: 192

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
4.46	3.76 - 5.40	0.62

Data Plot and Equation



Multifamily Housing (Mid-Rise) Not Close to Rail Transit (221)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 20

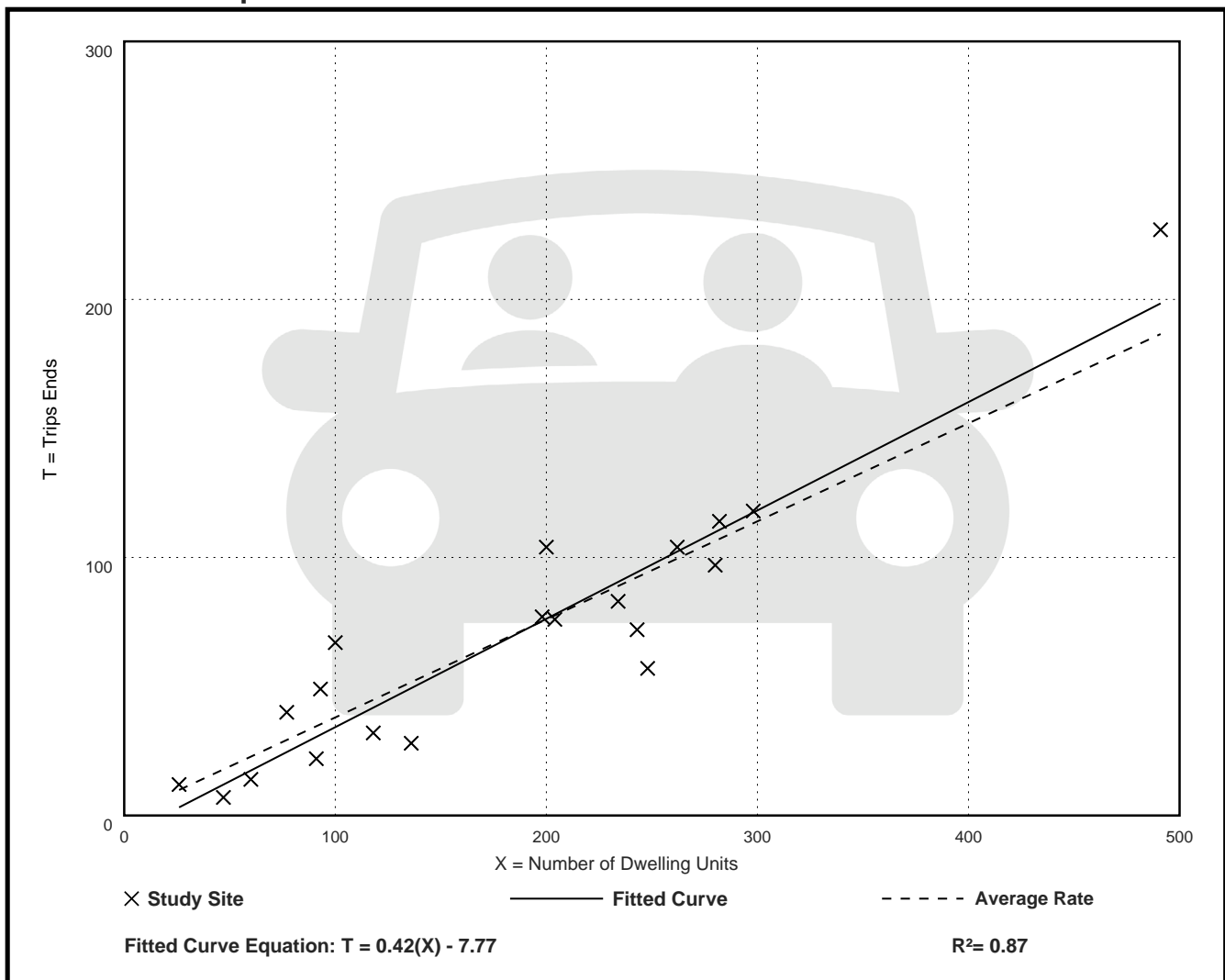
Avg. Num. of Dwelling Units: 184

Directional Distribution: 23% entering, 77% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.38	0.15 - 0.67	0.10

Data Plot and Equation



Multifamily Housing (Mid-Rise) Not Close to Rail Transit (221)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 21

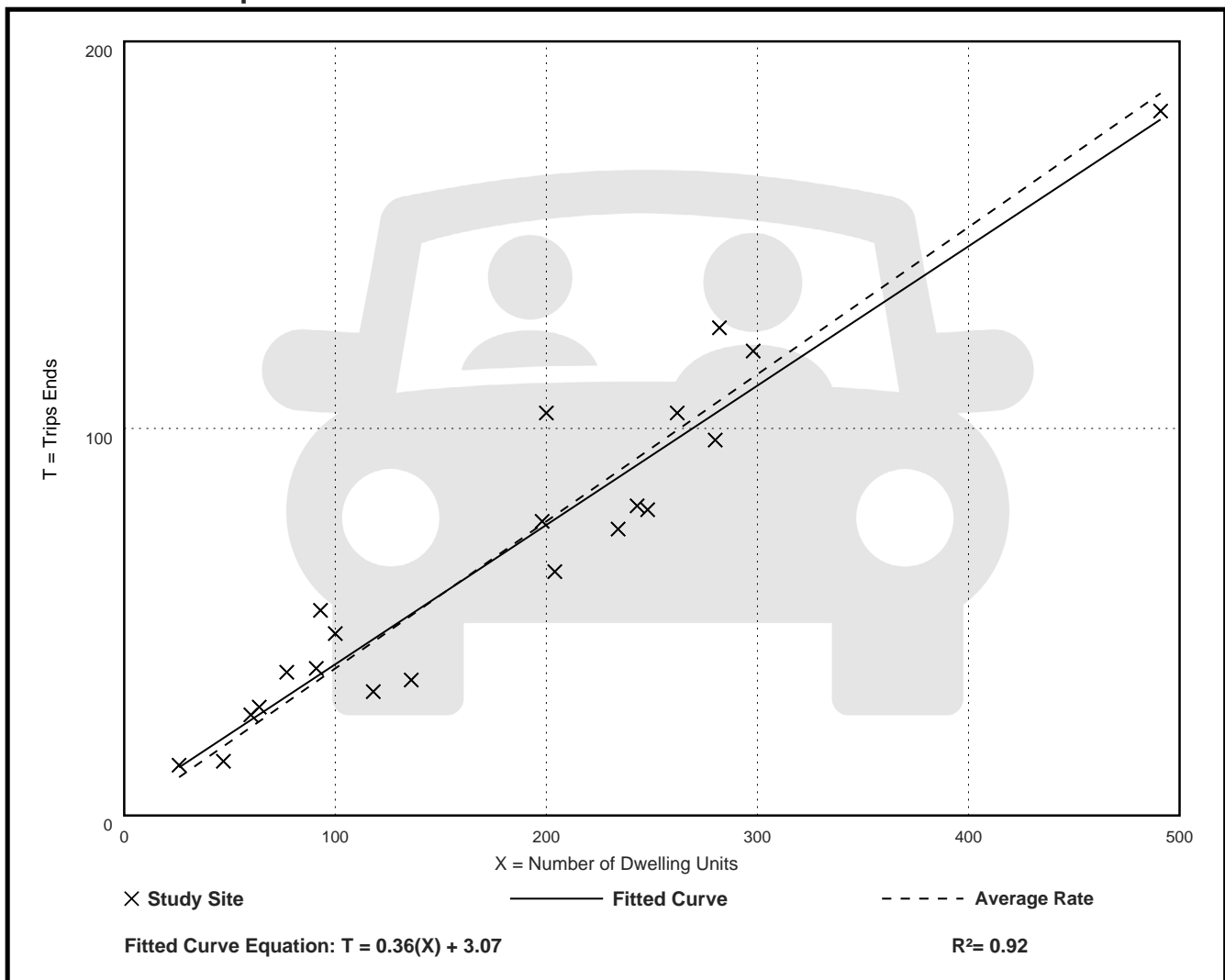
Avg. Num. of Dwelling Units: 179

Directional Distribution: 64% entering, 36% exiting

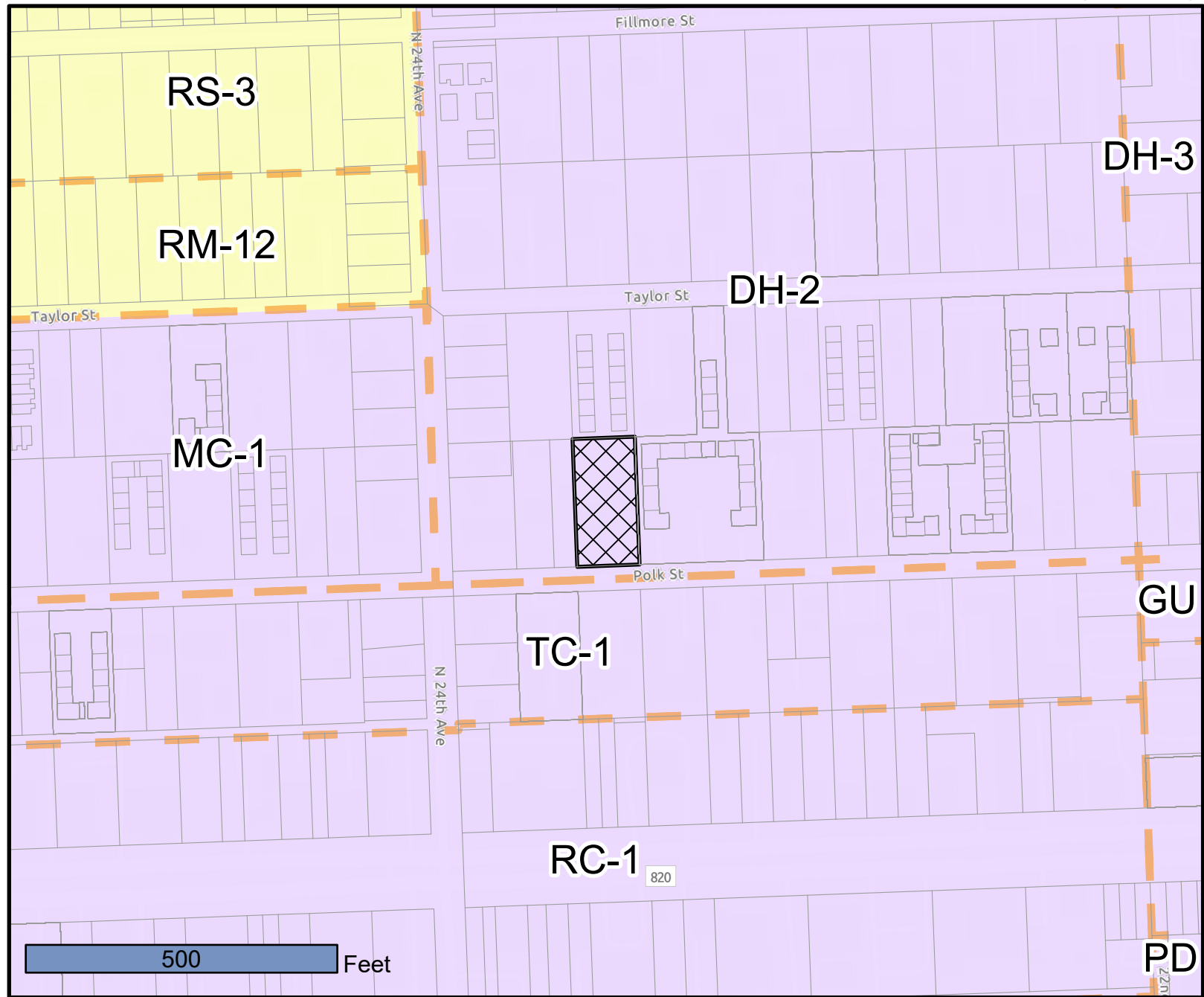
Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.38	0.26 - 0.57	0.07



Data Plot and Equation






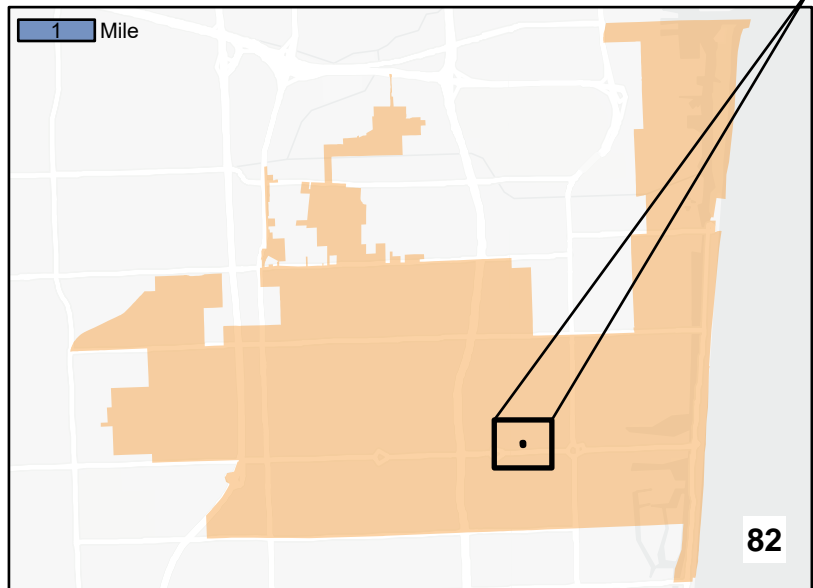
ATTACHMENT B
Land Use and Zoning Map



LEGEND

- LAND USE
-  REGIONAL ACTIVITY CENTER
 -  LOW (5) RESIDENTIAL

-  ZONING
-  PARCELS
-  SUBJECT SITE



ATTACHMENT C
Public Participation



CERTIFICATION LETTER

City of Hollywood

Date: December 6, 2024

Applicant: 2323 Polk LLC

Legal Description: Lot 9 Block 8 of Hollywood Little Ranches Plat as recorded in Plat Book 1 Page 26 of the Public Records of Broward County, Florida.

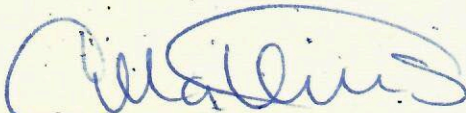
Address or General Location: 2323 Polk Street

This letter certifies that the attached list of property owners within 500 feet from each property line of the subject site was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of November 19, 2024 and the City Commission, Civic Associations within 500 feet, and Planning Department.

This letter also certifies that the attached public hearing notification was sent to the persons on the list of property owners. The notice was mailed December 6, 2024.

Finally, this letter certifies that the site was posted with one public notice sign that meets the City of Hollywood notification regulations. The sign was posted December 6, 2024.

Thank You,



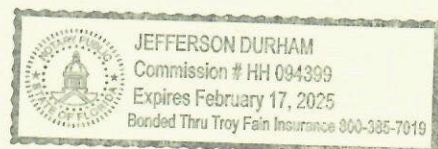
Christina Mathews

Sworn and subscribed before me this 6th day of December, 2024. She is personally known to me.



Signature of Notary

1025 Yale Drive
Hollywood, Florida 33021
954-920-2205
Email: cutroplanning@yahoo.com



COMMUNITY OUTREACH MEETING

PROJECT: 2323 Polk **MEETING DATE:** December 23th, 2024

FACILITATOR: Juan Suarez on Behalf of 2323 Polk LLC **LOCATION:** Zoom Meeting

NAME	PROPERTY ADDRESS	EMAIL
Leonardo Bellon Chief Architect		leo@bellonglobal.com
Amy Bellon Architect		amy@bellonglobal.com
Omar Mesa Developer Representative		2323polk@gmail.com
Juan Suarez Consultant		jasuarez@resaor.com
Patricia Antrican North Central Hollywood Civic Association	2534 Fillmore Street Hollywood, FL 33020	ann2can@bellsouth.net
Donald Sarley	2330 POLK STREET 3, 5, 6, 7, 9 and 10	dsarley@bellsouth.net
Karen Caputo North Central Hollywood Civic Association	2534 Fillmore Street Hollywood, FL 33020	-----
Kiki Bartsocas		kikibart@gmail.com



Meeting summary for Presentation of proposed Residential Building Development at 2323 Polk (12/23/2024)

Meeting started at 6:30 pm / Meeting Adjourned 7:06 pm

Attendees

Leonardo Bellon – Chief architect (Leo)

Amy Bellon – Architect

Juan Suarez – Consultant for the developer (Juan)

Omar Mesa – Developer representative

Donald Sarley (Donald), Kiki Bartsocas (Kiki), Patricia Antrican, Karen Caputo (Karen)

Quick recap

Juan initiated the meeting and addressed some technical issues with the audio connection. Leo Bellon presented a design for a new building in Hollywood, discussing its compliance with city standards, tropical architecture, and parking spaces. The meeting also covered concerns about water and sewer management, restrictions of short-term use of the units the use of mechanical parking, and how the new condo building will comply with city of Hollywood, Florida regulations.

Next steps

- Leo to coordinate with the civil engineer to ensure proper drainage and water retention within the property.
- Leo to confirm with the developer that rental restrictions (minimum 1-year lease) will be included in condo documents.
- Leo to verify the distance of sewer lines from the building and provide accurate information.
- Leo/Developer to consider regular cleaning of nearby sewers during construction to prevent clogging from debris.
- Leo to schedule the next meeting with the Planning and Development board.

Summary

Addressing Audio Issues and Meeting Participants

Juan initiated the meeting and started admitting participants. However, there were some technical issues with the audio connection, causing some participants to loop in the connection process. Despite these issues, Juan confirmed that some participants, including Kiki Bartsokas, Karen Caputo, and Patricia Andrican, had successfully connected. He also mentioned that there were two more participants still trying to connect. Leo was present and agreed to take the lead in the meeting. Amy shared her screen with the audience. The conversation ended with an instruction for participants to write their names and the properties they represent in the chat.

Bellon Architecture Design Presentation

Leo Bellon, the president of Bellon architecture, presented a design for a building on Polk Street in Hollywood. The design, which is compliant with all zoning regulations, features a modern and contemporary tropical architecture style with parking spaces under the building and three floors of apartments. The building will have 27 units, exceeding the required 27 units by code, and will have 56 parking spaces, more than the required 42. The building's height of 49 feet also complies with city standards. The site plan includes a single entrance and exit, a pedestrian entry to the building lobby, and ample landscaping. The building will also have assigned parking spaces for each unit, handicap spaces, and visitor spaces. The design has been approved by the city and is ready to be presented to the final commission meeting after review and approval.

New Hollywood Building Project Discussed

Leo presented a project for a new building in Hollywood, emphasizing its compliance with city standards and its minimal impact on the community. He highlighted the building's tropical architecture, pastel colors, and ample parking space. Patricia pointed out an inaccuracy in the rendering, noting that Polk Street only goes one way. Leo acknowledged this and mentioned future improvements to the street, including a new water line and sidewalk. Karen requested a view of the surrounding buildings, and Leo mentioned that most of them are multifamily units. Kiki and Karen expressed concerns about drainage, to which Leo responded that the project includes open landscape areas, proper drainage systems, and a 6-foot fence to prevent water from spreading to neighboring properties.

South Florida Water Management Issues

Leo, Kiki, and Karen discussed the issue of water management in South Florida, particularly in private homes and condominiums. They also discussed the sales of units in a unique zoning area, which is zoned for both hotel and residential use. Leo clarified that the units are for sale and not for rent, with a minimum rental period of one year. Karen expressed concern about the stipulation be included in the sales agreements, which Leo confirmed. The group also touched on the issue of vacation rentals, which Karen mentioned had been preempted by the state, causing problems for their city.

Mechanical Parking and Building Design

Karen and Leo discussed concerns about the use of mechanical parking and the site plan for a building. Leo clarified that mechanical parking would only be assigned to specific units and would not be used for visitor parking. Karen expressed concerns about the placement of the parking, noting that it should ideally be entirely under the building. Leo explained that the parking would be mostly under the building, with only the front section visible from the front and side. They also discussed the setback requirements for the building, with Leo confirming that the building's setback was 10 feet, as required by code. Karen also noted the importance of safety, particularly in relation to the trash room and stairwell placement. Leo highlighted a feature of the building design that the fire marshal appreciated, which was the 5-foot sidewalk for people to exit directly into the street in case of a fire.

Hollywood Condo Building Plans Discussed

Leo discusses plans for a new condo building in Hollywood, Florida. The building will connect to the city sewer and water lines, with a new 8-inch water line and sewer connection at the property line. Don raises concerns about construction debris clogging sewers during the project and requests a commitment from Leo to coordinate regular cleanings. Don also notes the market shift impacting older condo buildings and indicates the developer may end up renting units if sales are slow. The parking plan includes tandem spaces for some 2-bedroom units.

Gratitude and Holiday Wishes Discussed

Leo expressed gratitude for the meeting and the opportunity to discuss concerns and ideas. Patricia clarified the process for Leo's final tag, stating it would go to the Planning Board, not the commission. Donald and Patricia wished everyone a happy and healthy holiday. Leo thanked everyone for their participation and wished them a good holiday break. Juan also expressed gratitude.

**NOTICE OF
PUBLIC OUTREACH MEETING**

Sponsored by: 2323 Polk LLC & Bellon Architects
Project Name: 2323 Polk Street

FOR VIRTUAL MEETING LOGIN INFORMATION:
2323polk@gmail.com

MEETING DATE & TIME: 12/23/2024 @ 6:30 PM

Posted: 12/06/2024 By: Cutro