

SEWER NOTES:

- THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 30".
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
- LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXPIRATION OR INFLTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
- FORCE MAINS SHALL BE TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

$$L = 5.0 \frac{D \sqrt{P}}{148.00}$$

WHERE:
 L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
 D = PIPE DIAMETER IN INCHES
 S = LENGTH OF LINES IN LINEAL FEET
 P = AVERAGE TEST PRESSURE IN PSI

- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWING NO. SANITARY SEWER MAIN CONSTRUCTION NOTES DRAWING NO. S-01
 APPROVED: XXX

SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWING NO. SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE DRAWING NO. S-12
 APPROVED: XXX

WATER SYSTEM NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. (FAC 62-555.314(2)); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5).
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-600, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-600, F.A.C. (FAC 62-555.314(2)); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5).
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH ANWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERNS, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BILATERAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWING NO. WATER SYSTEM NOTES DRAWING NO. W-01
 APPROVED: XXX

WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL D.I.P. WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESSES COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANS/AWWA C151/A21.53-00 SPECIFICATIONS, WITH 150 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3".
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURERS RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FLOWLON Glands MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2.1, AND SHALL BE EBA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWING NO. WATER SYSTEM NOTES DRAWING NO. W-02
 APPROVED: XXX

TYPICAL TAPPING SLEEVE AND VALVE SETTING

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWING NO. TYPICAL TAPPING SLEEVE AND VALVE SETTING DRAWING NO. W-03
 APPROVED: XXX

SINGLE SERVICE PLAN
 FOR 5/8", 1", 1-1/2" & 2" METERS

DOUBLE SERVICE PLAN
 FOR 5/8", 3/4" AND 1" METERS

TRIPLE SERVICE PLAN
 FOR 5/8", 3/4" AND 1" METERS

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017
 DRAWING NO. TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION DRAWING NO. W-06
 APPROVED: XXX

TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 02/14/2018
 DRAWING NO. TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS DRAWING NO. W-10
 APPROVED: XXX

FILLING AND FLUSHING DETAILS

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWING NO. FILLING AND FLUSHING DETAILS DRAWING NO. W-15
 APPROVED: XXX

TYPICAL TAPPING SLEEVE AND VALVE SETTING

ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014
 DRAWING NO. TYPICAL TAPPING SLEEVE AND VALVE SETTING DRAWING NO. G-06
 APPROVED: XXX

UTILITY TRENCHING AND PAVING

ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: -
 DRAWING NO. FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION DRAWING NO. C-31
 APPROVED: JG

Fire Flow Calculations for 2327 Lincoln Street Townhomes

SITE DATA

Proposed is the construction of fifteen (15) Class IB townhome units on a lot located at 2327 Lincoln Street in Hollywood, Florida, Broward County. The existing land uses surrounding the site are residential to the North, South, East and West.

DESIGN CRITERIA

The proposed building shall have an approved automatic sprinkler system.

Per NFPA-1 18.4.4.2 Type I (443), Type I (332), and Type II (222) Construction fire flow area shall be the area of the three largest successive floors. Fire flow area: 10,019 X 3 = 30,057 sf

Per NFPA-1 Table 18.4.5.2.1 the required fire flow for a 30,057 sf Type I Building is 1,750 gpm with a flow duration of 2 hours.

Per NFPA-1, 18.4.5.3.2, that the required fire flow, as established in Table 18.4.5.2.1 shall be reduced by 75%, with a fire flow no less than 1,000 gpm when the building is provided with an approved automatic sprinkler system.

REQUIRED FIRE FLOW

1,750 X 0.25 = 438 GPM (1,000 gpm Min)

Hydrant Flow Test Result on for this project shall be provided when it becomes available.

2327 Lincoln Street Townhomes

Waste Water Generation				
Use	Quantity	Generation Rate*	ERU	Demand
Proposed Residential Townhomes	15 Units	300 GPD	14.3	4,500 GPD
Pool	15 person capacity	2 gal/person	0.1	30 GPD
Total Proposed			14.4 ERU @ 315 GPD	4,530 GPD

Potable Water Consumption			
Use	Quantity	Generation Rate*	Demand
Proposed Residential Townhomes	15 Units		14.3
Pool	15 person capacity		0.1
			35 GPD
Total Proposed			14.4 ERU @ 350 GPD

* As per the Florida Administrative Code: Chapter 64E-6.008 Table I for System Design, ESTIMATED SEWAGE FLOW. ERU = Equivalent Residential Unit and the Broward County Code of Ordinances Section 27-201

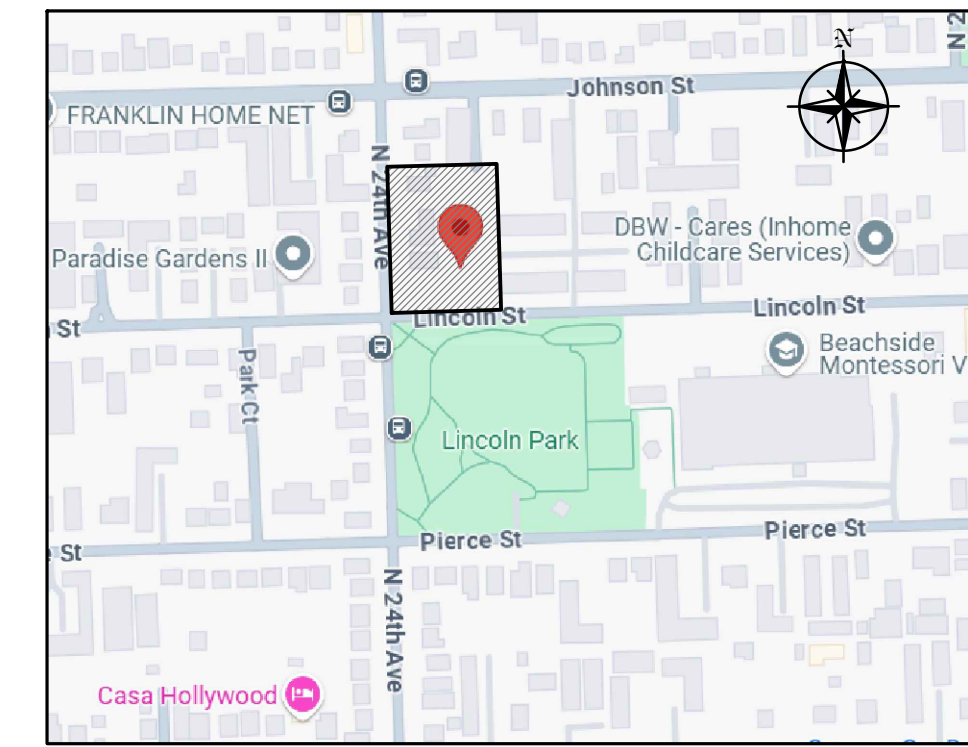
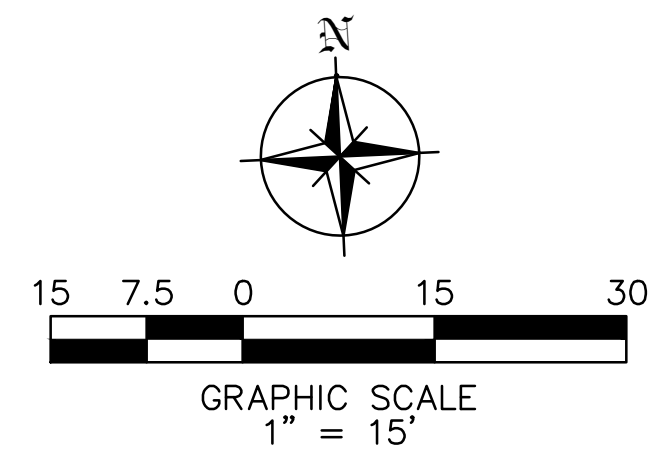
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 7251 W Palmetto Park Road Suite 100
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 Phone: (561) 716-0159
 Certificate of Authorization Number 30129

Client: TOWNHOMES
 Project: TOWNHOMES
 2327-2339 Lincoln Street Hollywood, FLORIDA 33020

Utilities Details

Drawn by: J. JANSE
 Revised & Sealed: JORGE M. SZAUDER
 Date: DEC. 2024
 Scale: AS SHOWN
 Job #: C-04A
 Sheet: 2 of 2 Sheets



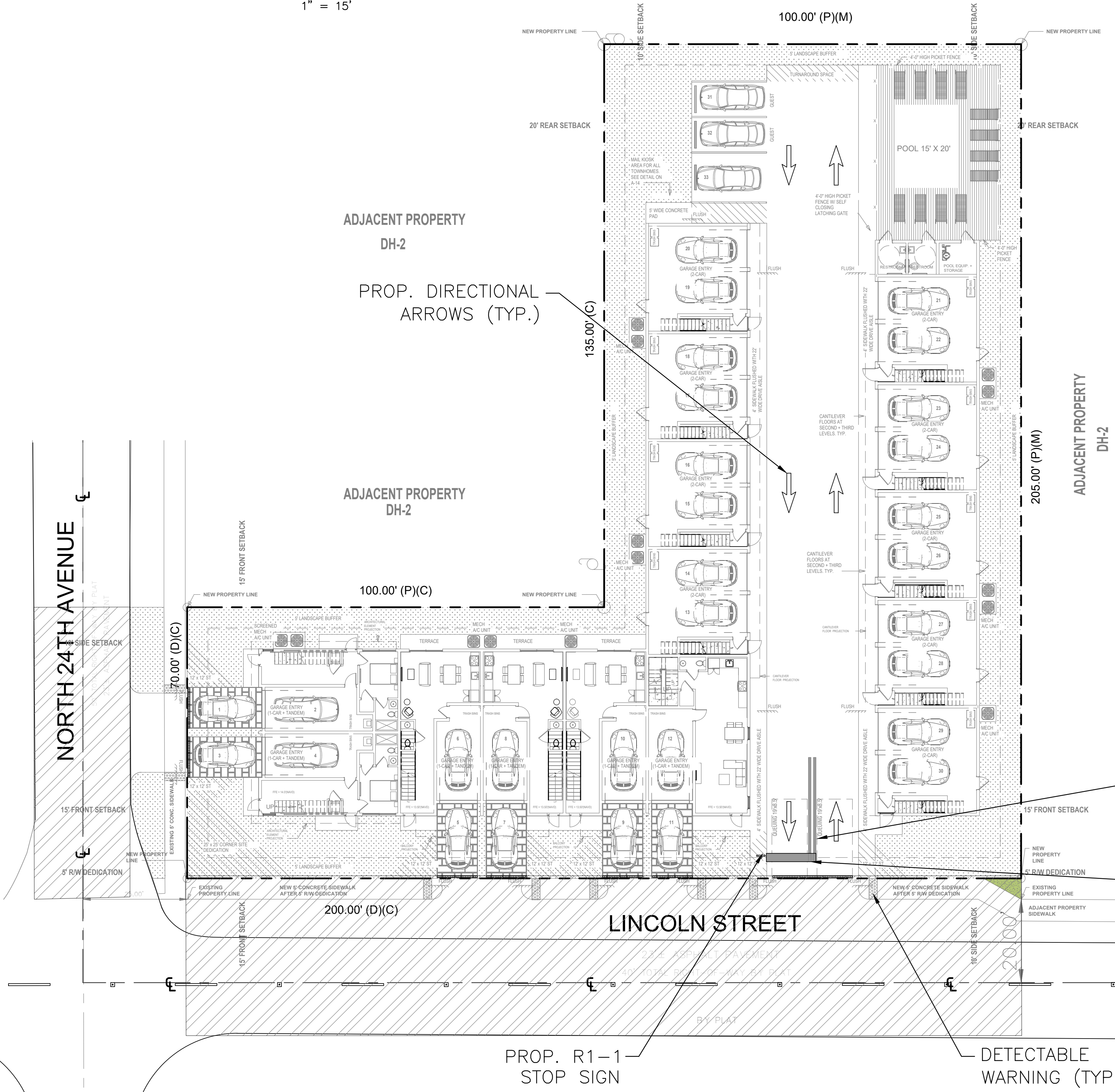
LOCATION MAP
N.T.S.

NOTE:

- LINCOLN ST & NORTH 24TH AVE SHALL BE FULLY MILLED & RESURFACED MINIMUM 1" ALONG THE ENTIRE PROPERTY
- ROW PAVEMENT MARKING SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER PER BROWARD COUNTY PW DEPARTMENT TRAFFIC ENGINEERING DIVISION

LEGEND

- PROPERTY LINE
- GRASS
- CONCRETE
- MILL&RESURFACE
- PROP. 24" WHITE STOP BAR
- PROP. R1-1, 4' FROM EDGE OF PAVEMENT



PROP. SOLID 25 LF OF 6" DOUBLE YELLOW

PROP. 24" WHITE STOP BAR

PROP. R1-1 STOP SIGN

DETECTABLE WARNING (TYP.)

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Reviews:

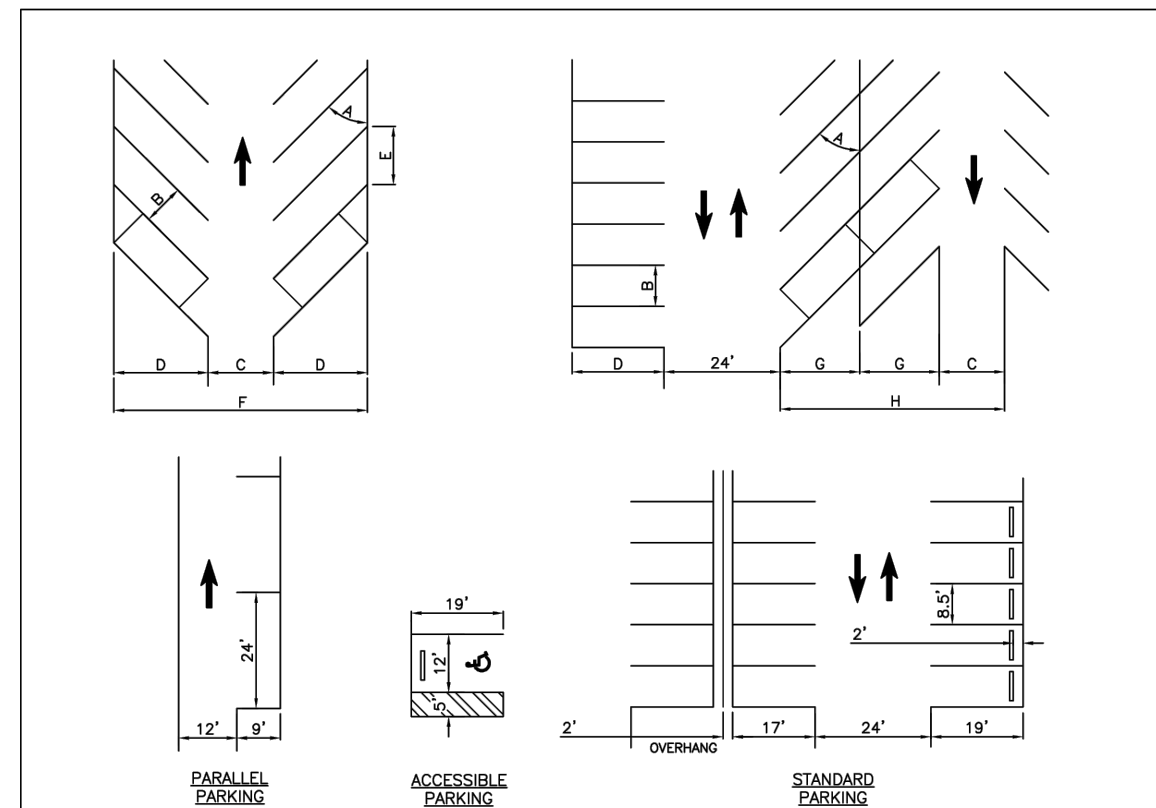
Client: **TOWNHOMES**
Project: **TOWNHOMES**
2327-2339 Lincoln Street Hollywood, FL 33020

Plan Description: **STREET PAVING**

Seal: **JORGE SZAUDER**
FLA. REG. P.E. # 62579

Designed by: **JORGE M. SZAUDER**
Drawn by: **J. JANSE**
Reviewed & Sealed: **JORGE M. SZAUDER**
Date: **DEC. 2024**
Scale: **AS SHOWN**
Job No:

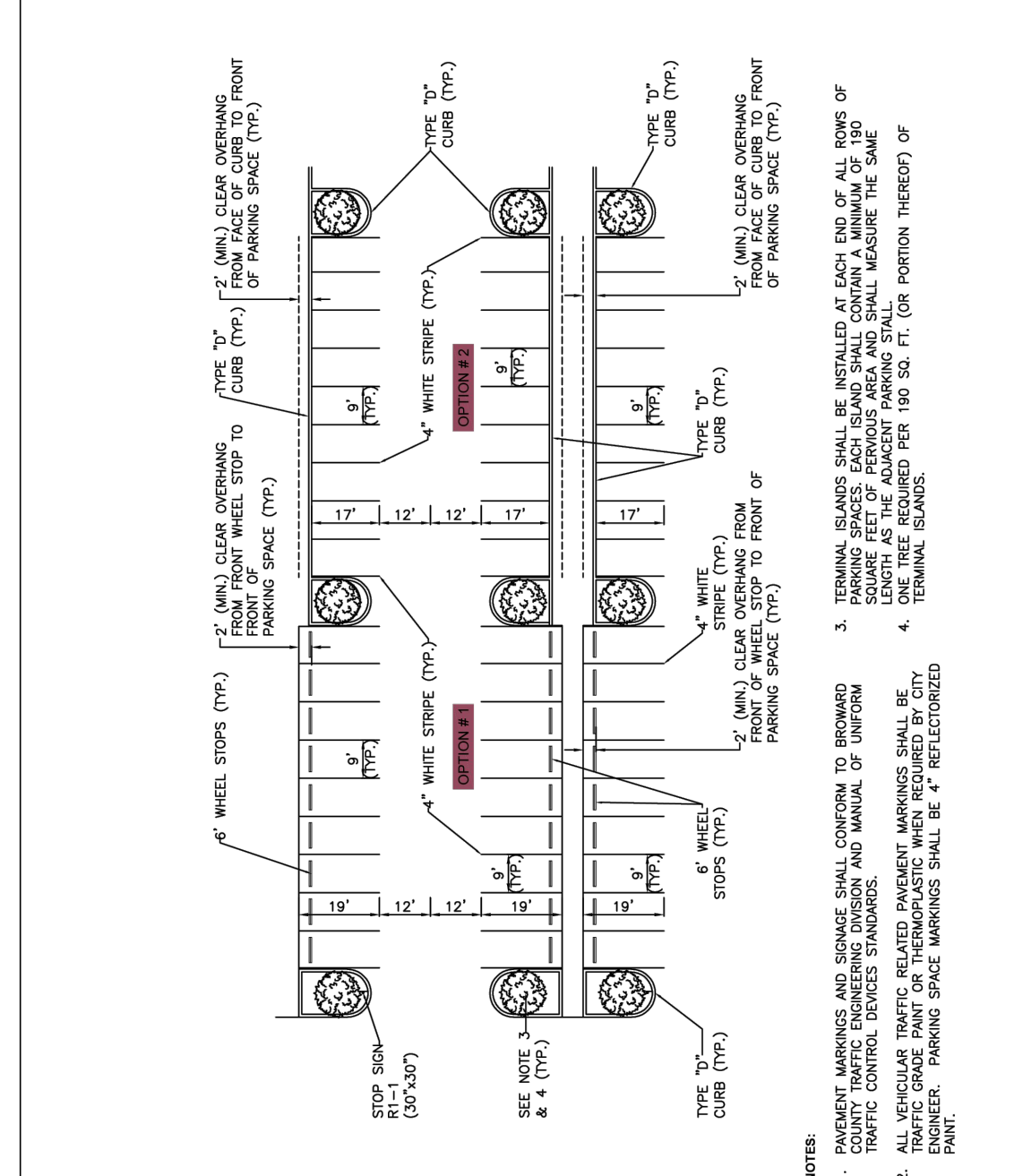
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1 of 2 Sheets



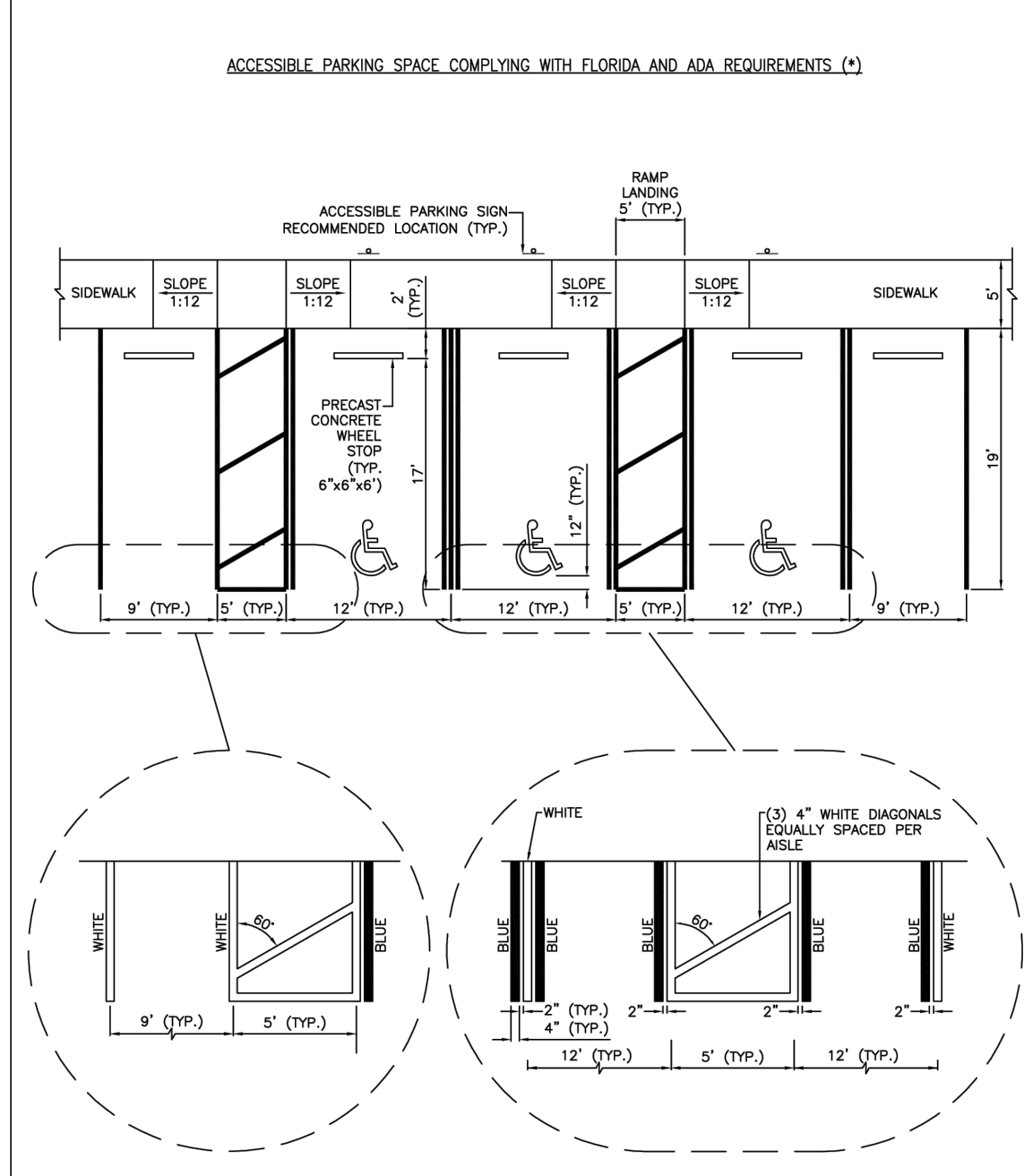
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A	B	C	D	E	F	G	H	I	J
30'	8.5'	12'	16.9'	17'	45.8'	13.2'	38.4'		
30'	9'	12'	17.3'	18'	46.2'	13.4'	38.8'		
45'	8.5'	13.5'	19.5'	12'	52.4'	15.4'	46.4'		
45'	9'	13.5'	19.8'	12.75'	53.1'	16.6'	46.7'		
60'	8.5'	18.5'	20.7'	9.8'	59.9'	18.6'	55.7'		
60'	9'	18.5'	21'	10.4'	60.5'	18.7'	55.9'		
90'	8.5'	24'	19'	9'	62'	19'	62'		
90'	9'	24'	19'	9'	62'	19'	62'		

STANDARD STALL IS 8.5' x 19', PREFERRED IS 9' x 19'.
 ACCESSIBLE SPACE IS 12' x 19', WITH 5' ACCESS AISLE CLEARLY MARKED.
 PARALLEL PARKING IS 9' x 24'.
 LANDSCAPE ISLANDS ARE FOR TREE PLANTING, NOT FOR LIGHT POLES.
 DRIVEWAY WIDTH AT PROPERTY LINE IS NOT TO EXCEED AISLE WIDTH.

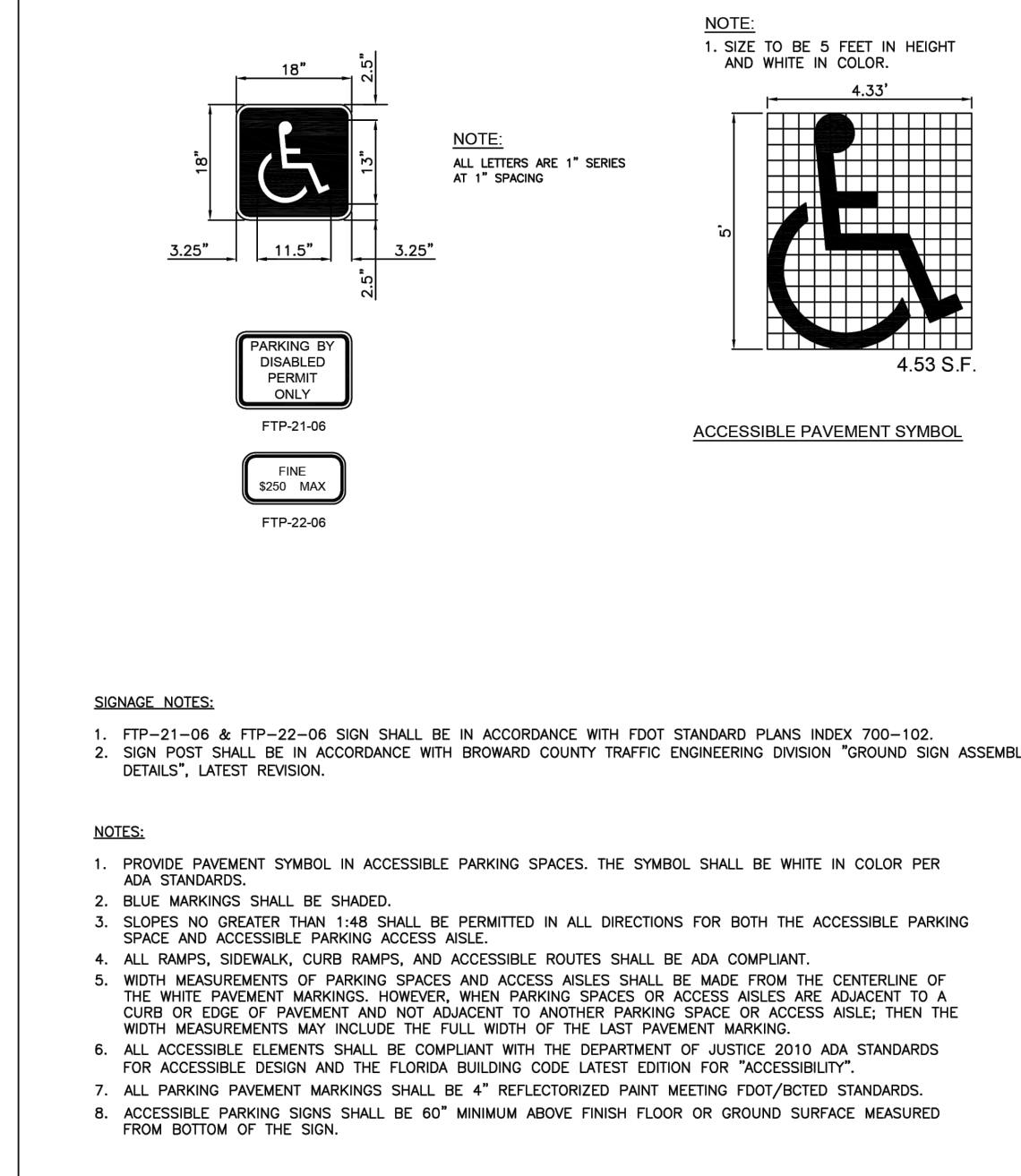
ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: -
 DRAWN: EG STANDARD PARKING GEOMETRICS DRAWING NO.: C-16
 APPROVED: JG



ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: -
 DRAWN: EG TYPICAL PARKING LOT LAYOUT DRAWING NO.: C-17
 APPROVED: JG



ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: -
 DRAWN: EG ACCESSIBLE PARKING SPACE DETAILS (1 OF 2) DRAWING NO.: C-21
 APPROVED: JG



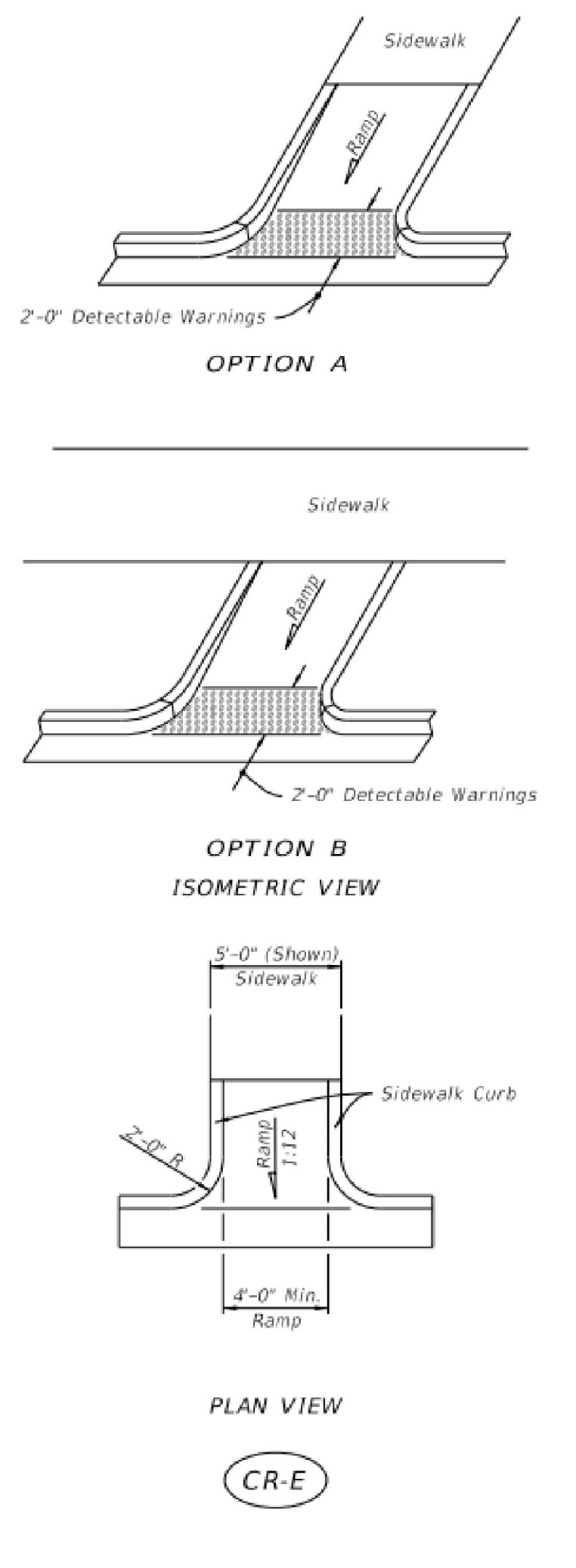
ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: -
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 APPROVED: JG

GENERAL NOTES:

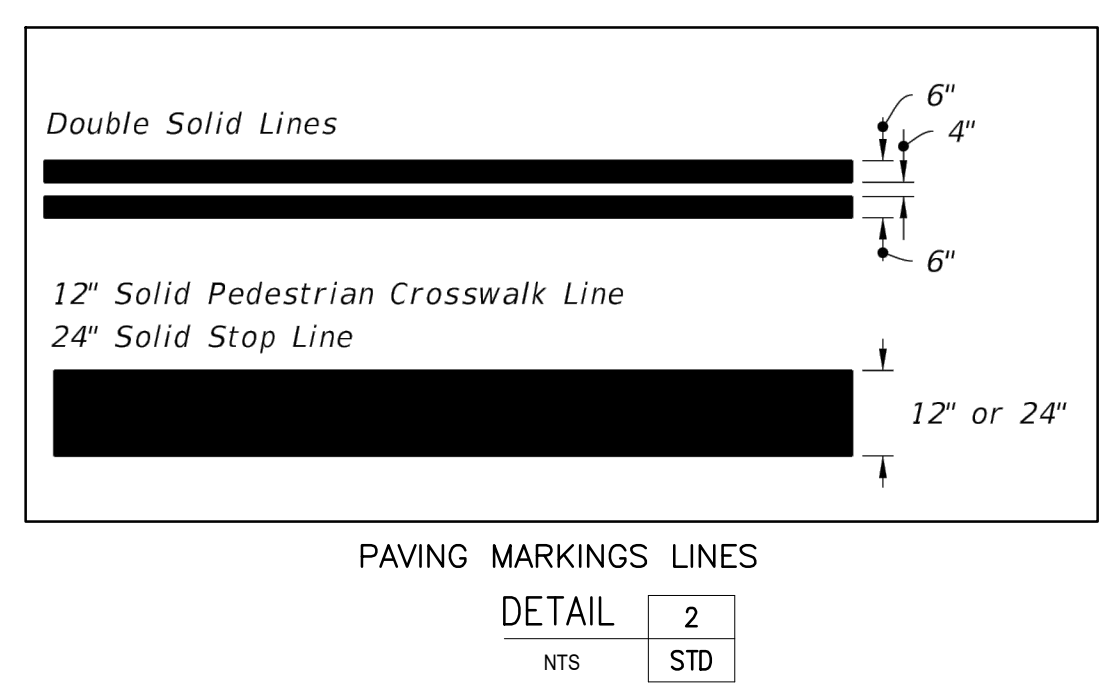
- Cross Slopes and Grades:
 - Sidewalk, ramp, and landing slopes (i.e. 0.02, 0.05, and 1:12) shown in this Index are minimums. With approval of the Engineer, provide the minimum feasible slope where the requirements cannot be met.
 - Landings must have cross-slopes less than or equal to 0.02 in any direction.
 - Maintain a single longitudinal slope along each side of the curb ramp. Ramp slopes are not required to exceed 15 feet in length.
 - Joints permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Index 522-001. No joints are permitted within the ramp portion of the Curb Ramp.
- Curb, Curb and Gutter and/or Sidewalk:
 - Refer to Index 522-001 for concrete thickness and sidewalk details.
 - Remove any existing curb, curb and gutter, or sidewalk to the nearest joint beyond the curb transition or to the extent that no remaining section is less than 5 feet long.
 - Width of Curb Ramp is 4'-0" minimum. Match sidewalk or Shared Use Path width as shown in the Plans.
- Curb Ramp Alpha-Identification:
 - Sidewalk curb ramp alpha-identifications (e.g. CR-A) are provided for reference purposes in the Plans.
 - Alpha-identifications CR-1 and CR-J are intentionally omitted.
- Detectable Warnings:
 - Install detectable warnings in accordance with Specification 527.
 - Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 5 feet from the back of the curb or edge of pavement.
 - If detectable warnings are shown in the Plans on slopes greater than 5%, align the truncated domes with the centerline of the ramp; otherwise, the truncated domes are not required to be aligned.

CURB RAMP NOMENCLATURE

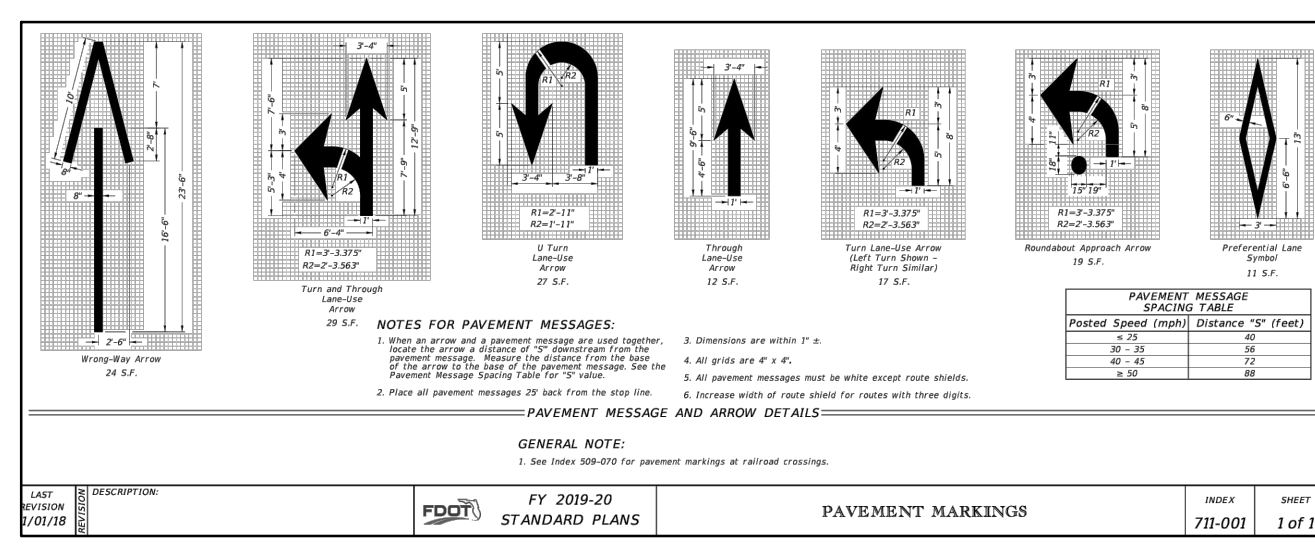
INDEX SHEET
 522-002 1 of 7



DETECTABLE WARNINGS DETAIL
 DETAIL 1
 NTS STD



PAVING MARKINGS LINES
 DETAIL 2
 NTS STD



DIRECTIONAL ARROWS
 DETAIL 3
 NTS STD

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Reviews:

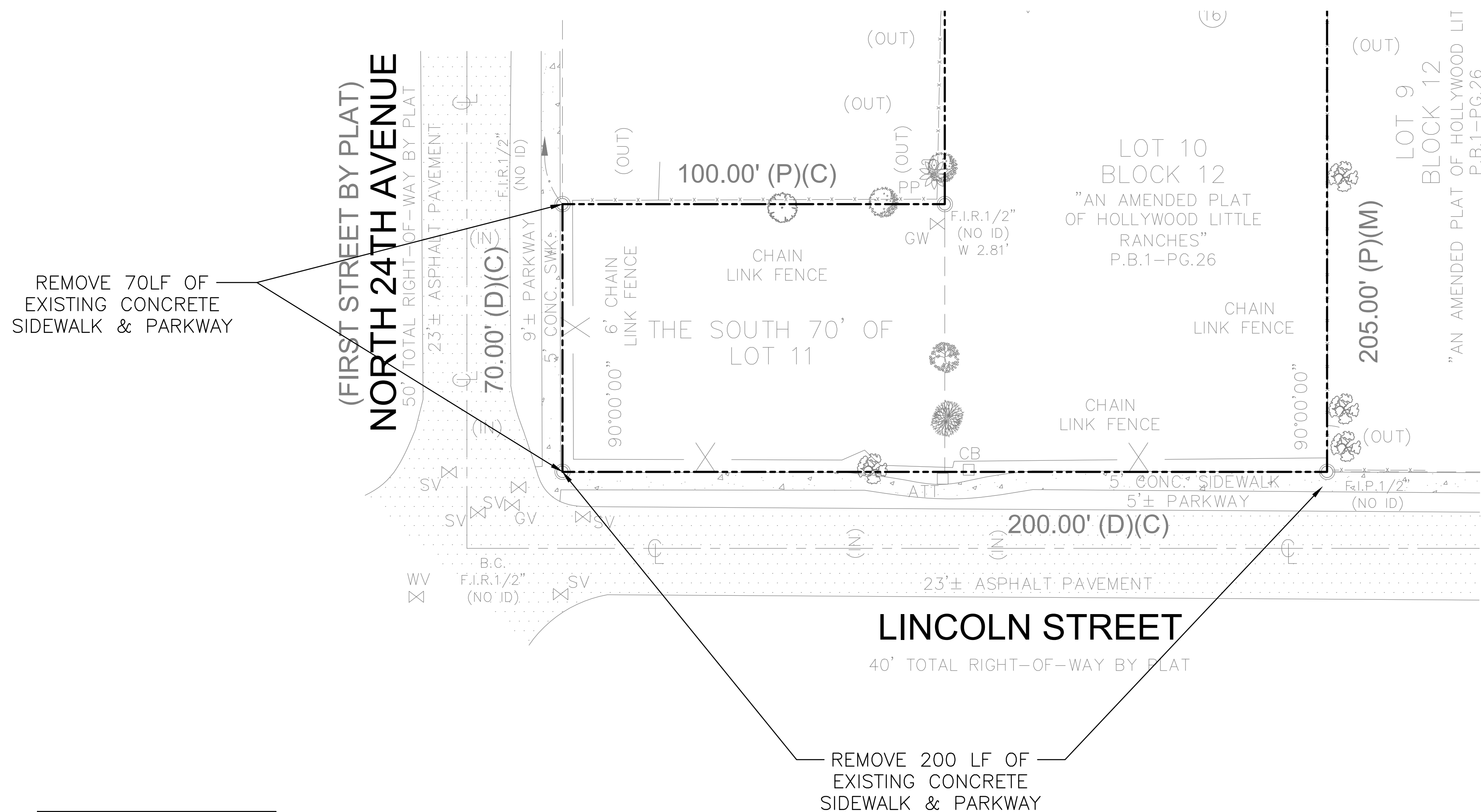
Client: TOWNHOMES
 Project: TOWNHOMES
 2327-2339 Lincoln Street Hollywood, FLORIDA 33020

Plan Description:
PAVEMENT MARKINGS & SIGNAGE PLAN

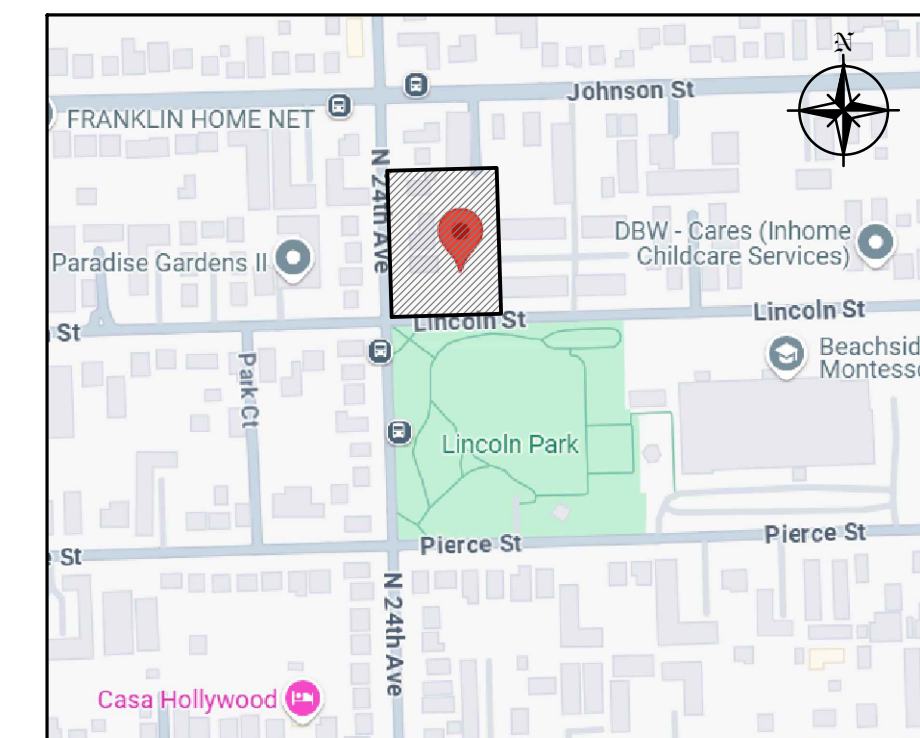
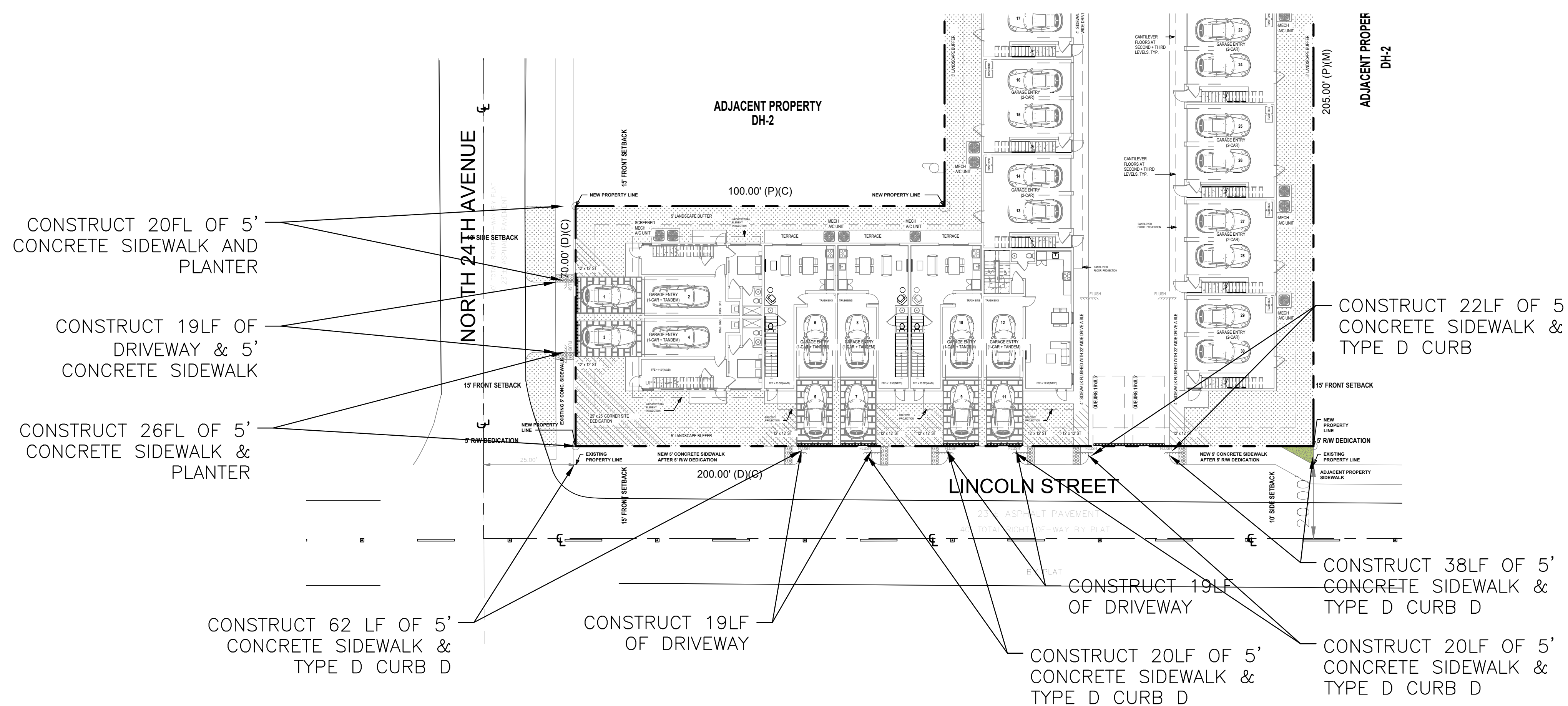
Seal:
 JORGE SZAUDER
 FLA. REG. P.E. # 62579
 Designed by: JORGE M. SZAUDER
 Drawn by: J. JANSE
 Revised & Sealed: JORGE M. SZAUDER
 Date: DEC. 2024
 Scale: AS SHOWN
 Job No.:

Sheet:
C-05A
 of Sheets

EXISTING



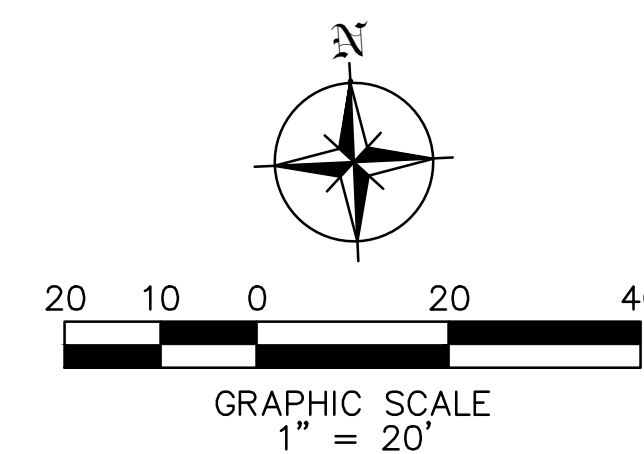
PROPOSED



LOCATION MAP
N.T.S.

LEGEND

- PROPERTY LINE
- GRASS
- CONCRETE



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Certificate of Authorization Number 30129

Reviews:

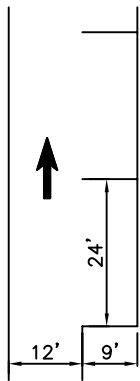
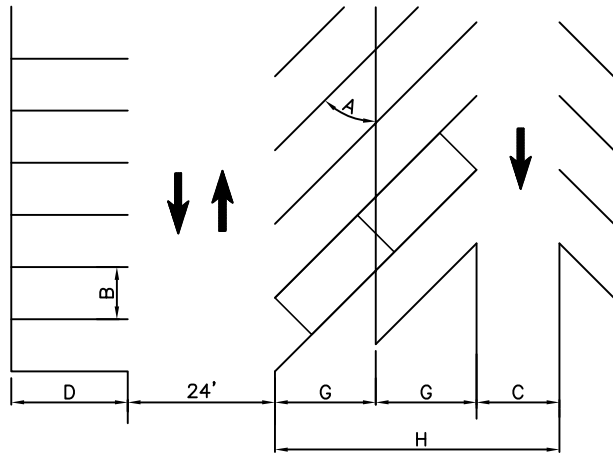
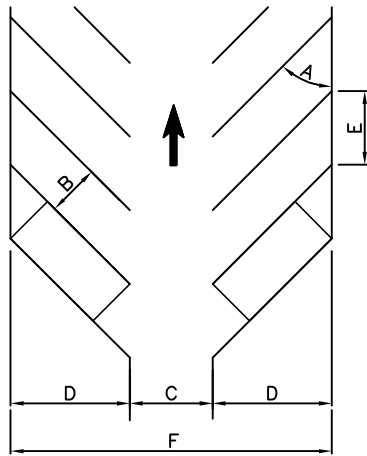
Client: **TOWNHOMES**
Project: **TOWNHOMES**
2327-2339 Lincoln Street Hollywood, Florida 33020

Plan Description: **ROW PLAN**

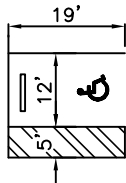
Seal: **JORGE SZAUDER**
FLA. REG. P.E. # 62579

Designed by: **JORGE M. SZAUDER**
Drawn by: **J. JANSE**
Reviewed & Sealed: **JORGE M. SZAUDER**
Date: **DEC. 2024**
Scale: **AS SHOWN**
Job No:

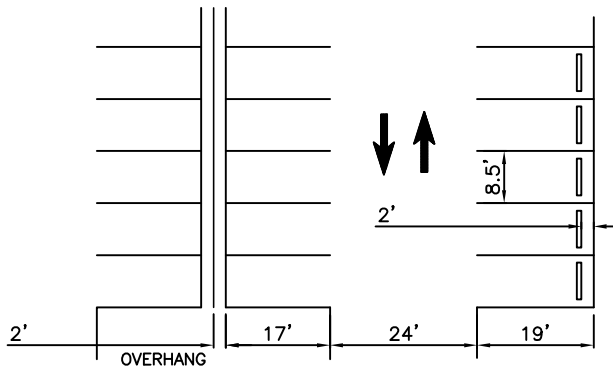
Sheet: **C-06**
of Sheets



PARALLEL
PARKING



ACCESSIBLE
PARKING



STANDARD
PARKING

A	B	C	D	E	F	G	H
PARKING ANGLE	STALL WIDTH	AISLE WIDTH	STALL LENGTH	CURB DEPTH	OVERALL LENGTH	BACK TO BACK STALL LENGTH	OVERALL BACK TO BACK LENGTH
30°	8.5'	12'	16.9'	17'	45.8'	13.2'	38.4'
30°	9'	12'	17.3'	18'	46.6'	13.4'	38.8'
45°	8.5'	13.5'	19.5'	12'	52.4'	16.4'	46.4'
45°	9'	13.5'	19.8'	12.75'	53.1'	16.6'	46.7'
60°	8.5'	18.5'	20.7'	9.8'	59.9'	18.6'	55.7'
60°	9'	18.5'	21'	10.4'	60.5'	18.7'	55.9'
90°	8.5'	24'	19'	9'	62'	19'	62'
90°	9'	24'	19'	9'	62'	19'	62'

STANDARD STALL IS 8.5' x 19', PREFERRED IS 9' x 19'.
 ACCESSIBLE SPACE IS 12' x 19', WITH 5' ACCESS AISLE CLEARLY MARKED.
 PARALLEL PARKING IS 9' x 24'.
 LANDSCAPE ISLANDS ARE FOR TREE PLANTING, NOT FOR LIGHT POLES.
 DRIVEWAY WIDTH AT PROPERTY LINE IS NOT TO EXCEED AISLE WIDTH.



ISSUED: MAY 2023

DRAWN: EG

APPROVED: JG

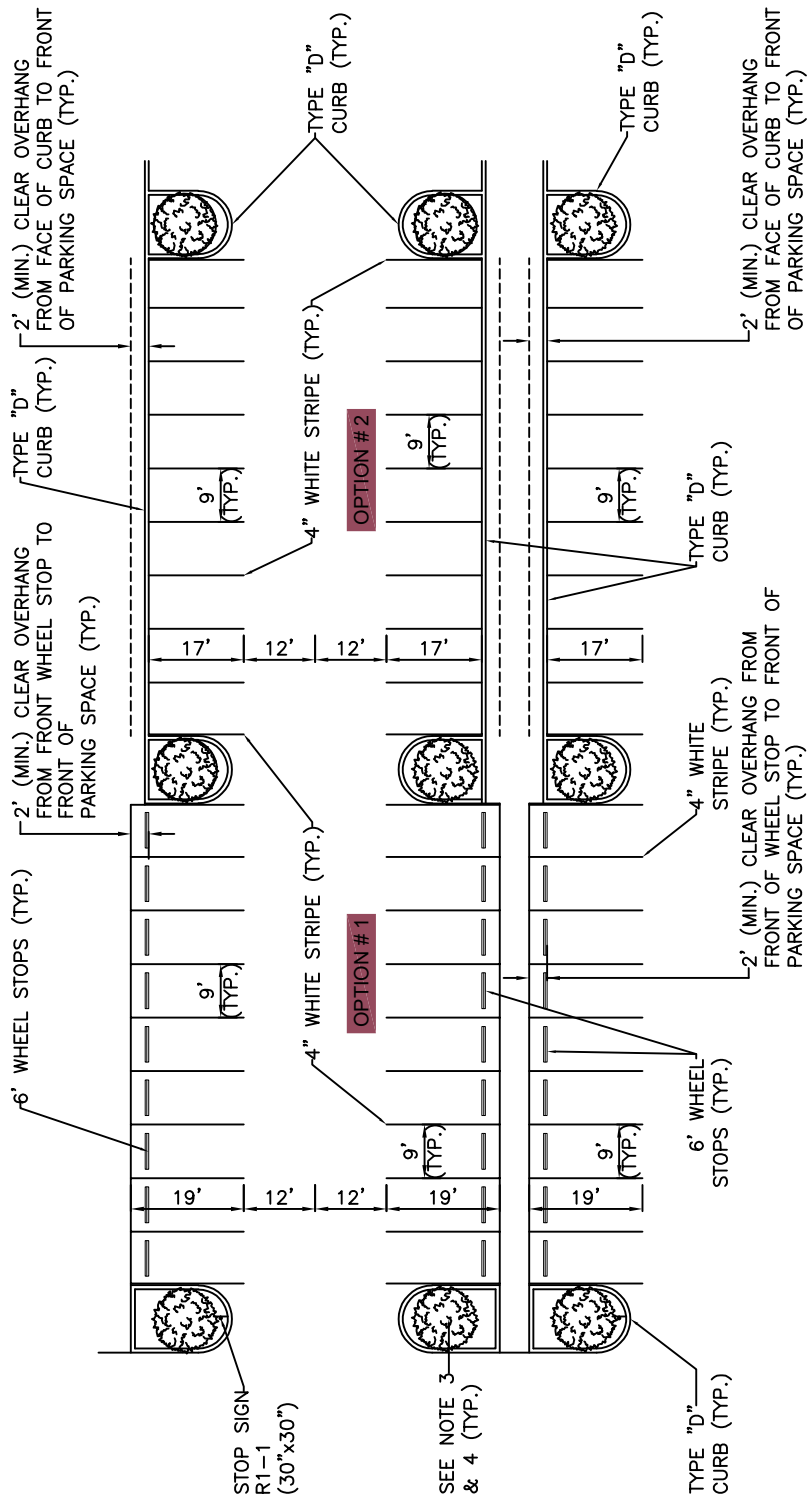
DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

STANDARD PARKING GEOMETRICS

REVISED: -

DRAWING NO.:

C-16



NOTES:

1. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS.
2. ALL VEHICULAR TRAFFIC RELATED PAVEMENT MARKINGS SHALL BE TRAFFIC GRADE PAINT OR THERMOPLASTIC WHEN REQUIRED BY CITY ENGINEER. PARKING SPACE MARKINGS SHALL BE 4" REFLECTORIZED PAINT.
3. TERMINAL ISLANDS SHALL BE INSTALLED AT EACH END OF ALL ROWS OF PARKING SPACES. EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 SQUARE FEET OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL.
4. ONE TREE REQUIRED PER 190 SQ. FT. (OR PORTION THEREOF) OF TERMINAL ISLANDS.



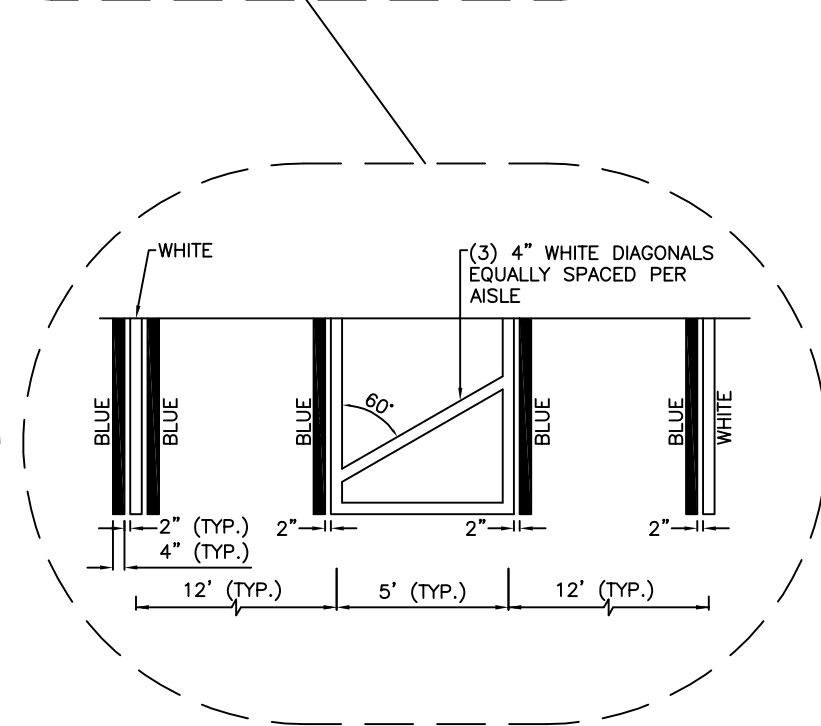
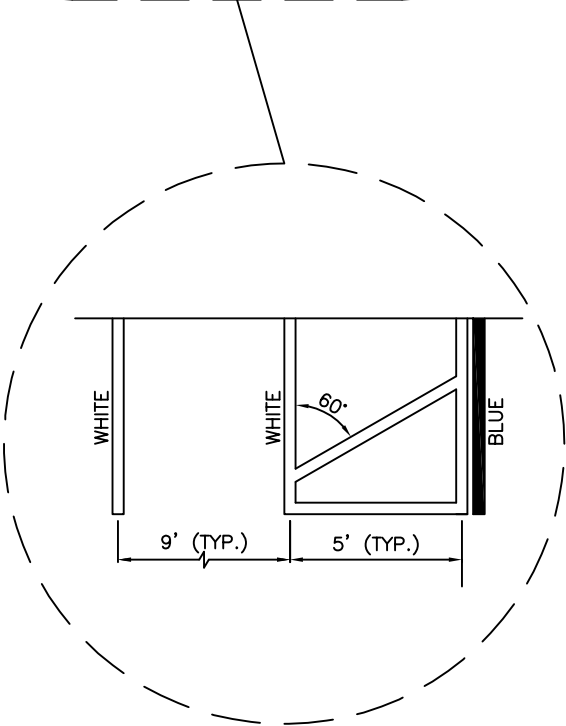
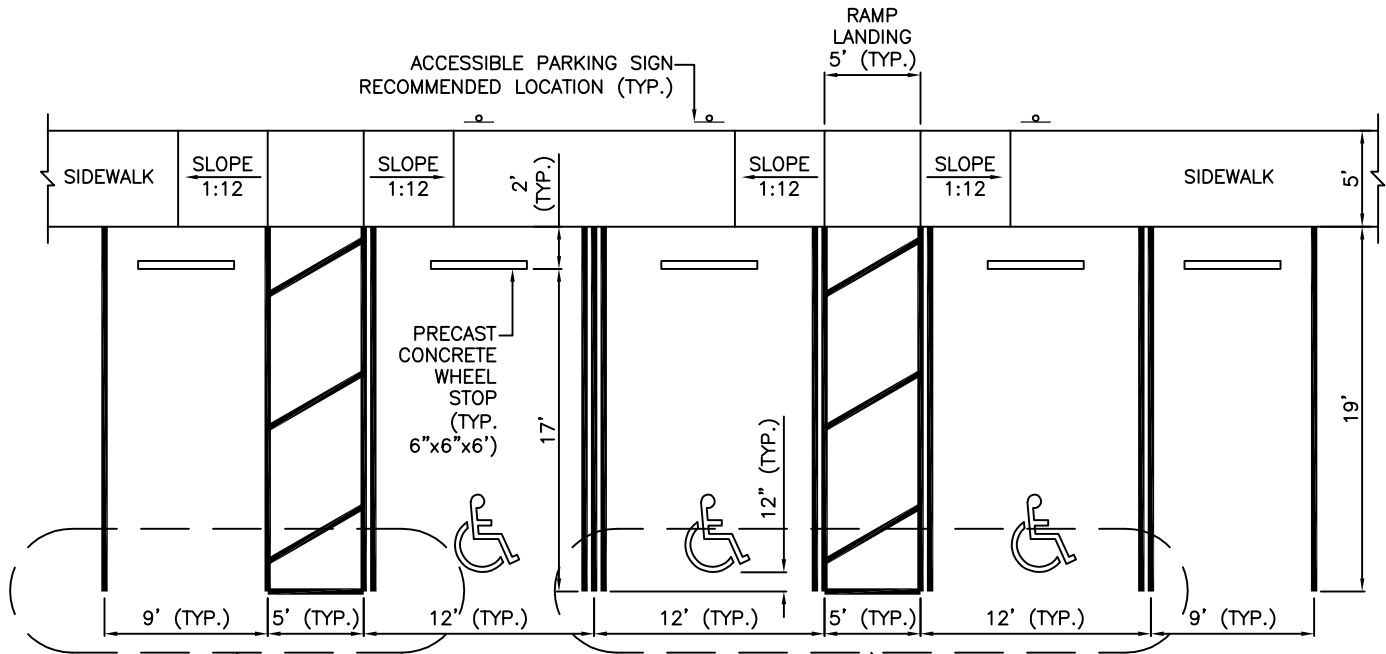
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DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

TYPICAL PARKING LOT LAYOUT

REVISED: -
 DRAWING NO.:
 C-17

ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS (*)



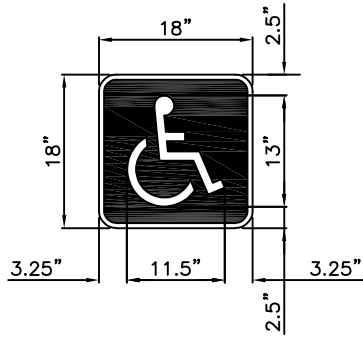
(*) IN CASE OF CONFLICT PLANS TO COMPLY WITH ADA 406 & 502, AND FDOT 711-001 (SHEET 11)



ISSUED: MAY 2023
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DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION
 ACCESSIBLE PARKING SPACE DETAILS
 (1 OF 2)

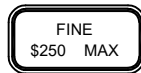
REVISED: -
 DRAWING NO.:
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NOTE:
ALL LETTERS ARE 1" SERIES
AT 1" SPACING



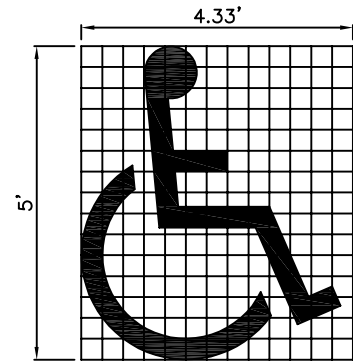
FTP-21-06



FTP-22-06

NOTE:

1. SIZE TO BE 5 FEET IN HEIGHT AND WHITE IN COLOR.



4.53 S.F.

ACCESSIBLE PAVEMENT SYMBOL

SIGNAGE NOTES:

1. FTP-21-06 & FTP-22-06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102.
2. SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

NOTES:

1. PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
2. BLUE MARKINGS SHALL BE SHADED.
3. SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
4. ALL RAMPS, SIDEWALK, CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
5. WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE; THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING.
6. ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
7. ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS.
8. ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.



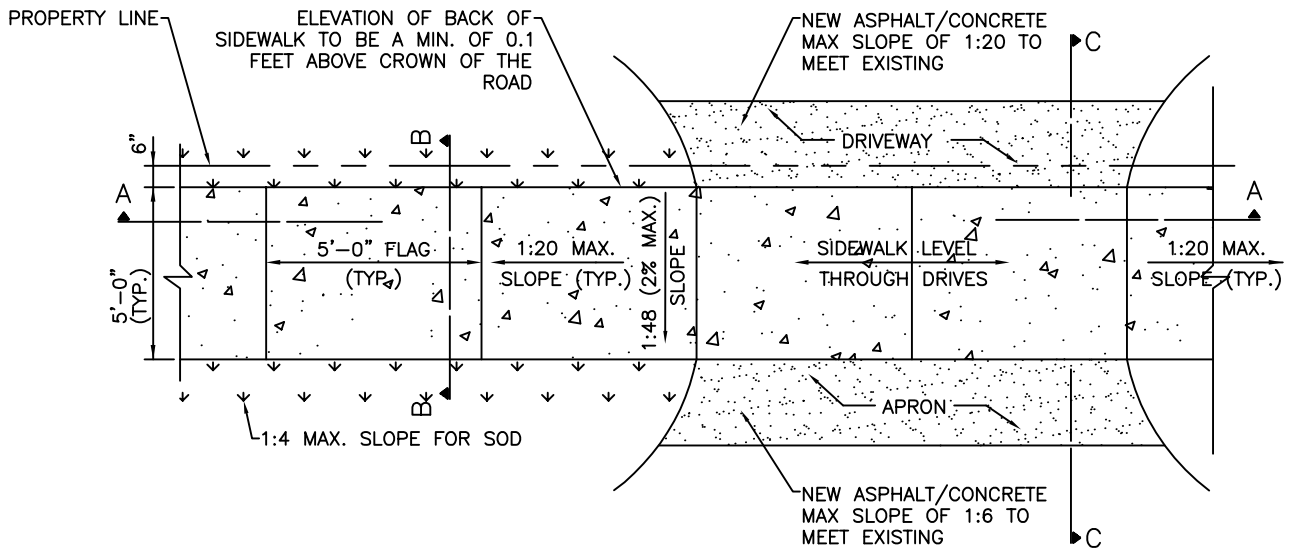
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ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

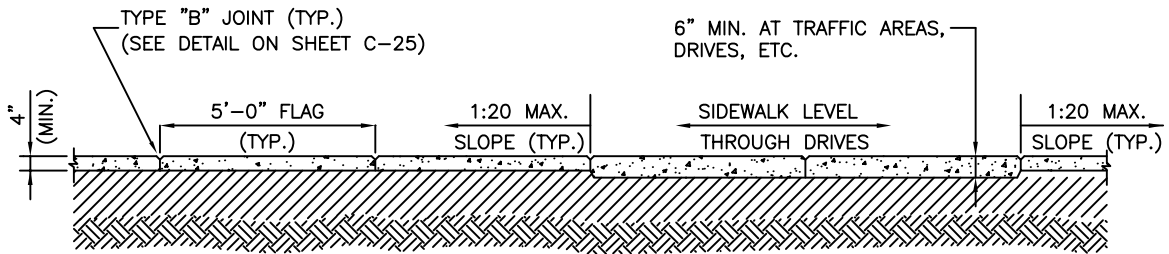
ACCESSIBLE PARKING SPACE DETAILS
(2 OF 2)

REVISED: -

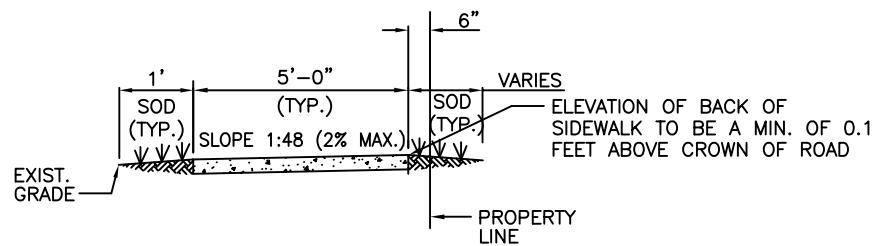
DRAWING NO.:
C-22



PLAN



SECTION A-A



SECTION B-B

NOTE:

1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.



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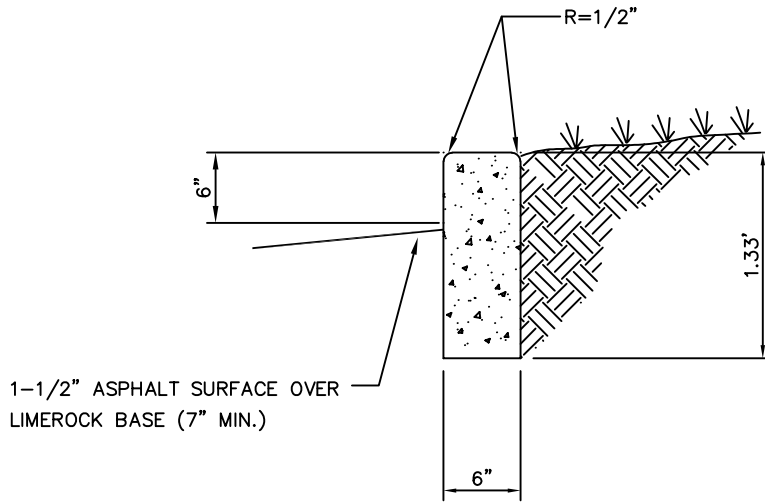
DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

SIDEWALK CONSTRUCTION DETAILS (1 OF 3)

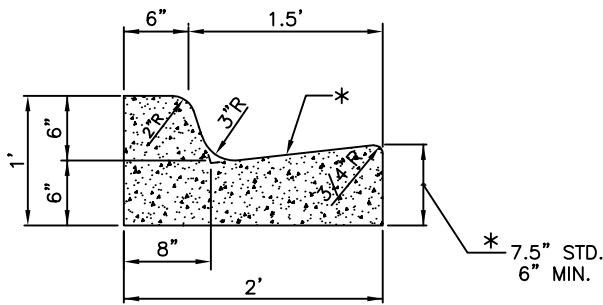
REVISED: -

DRAWING NO.:

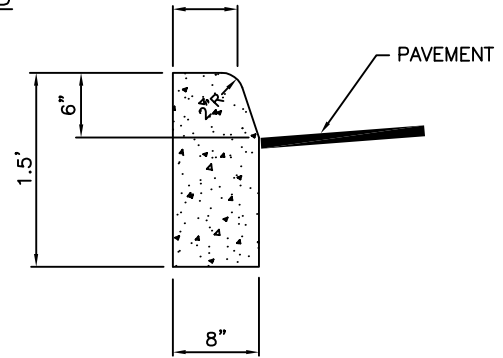
C-23



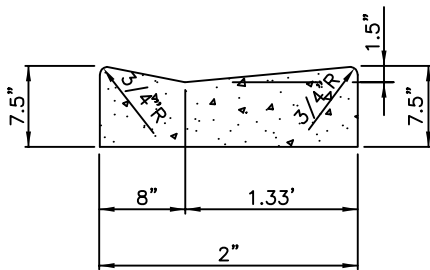
STANDARD CURB



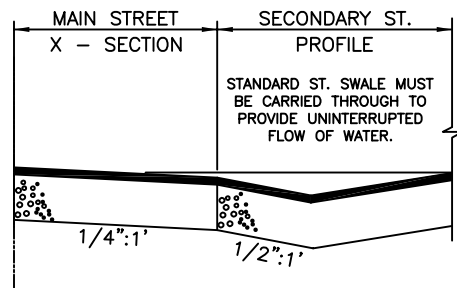
6" CURB & GUTTER (FDOT TYPE "F")



TYPE 'D' CURB



DRIVEWAY CURB & GUTTER



VALLEY GUTTER

* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

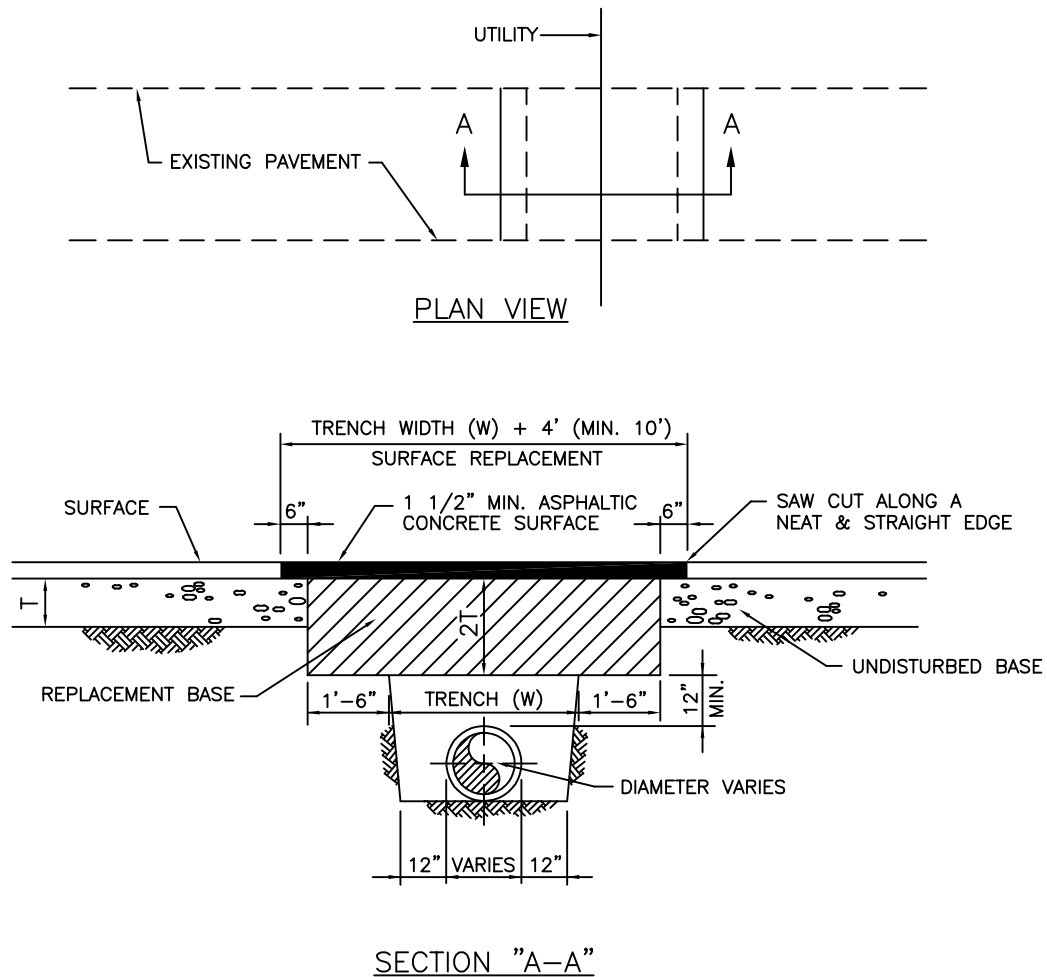


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 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

CURB AND GUTTER DETAILS

REVISED: -
 DRAWING NO.:
 C-26

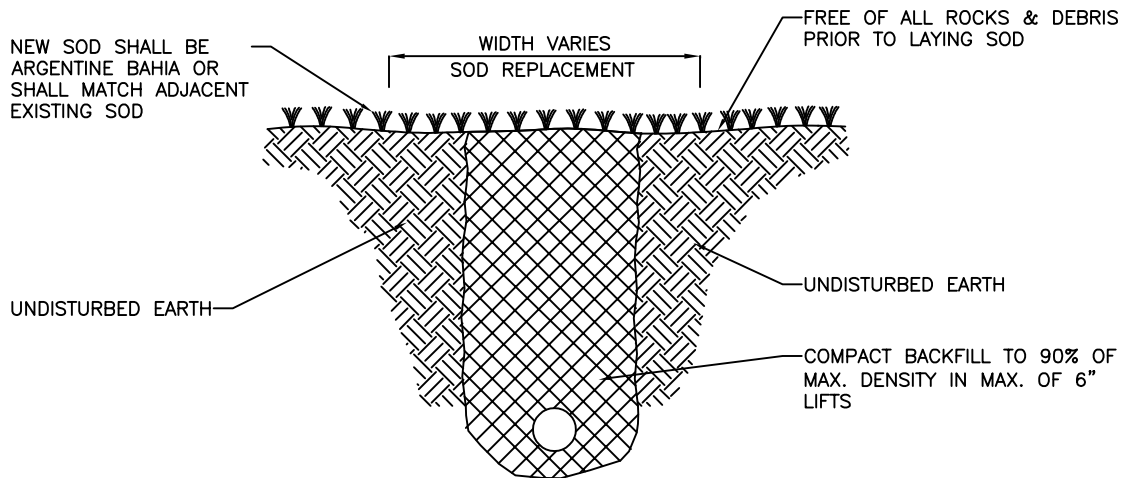


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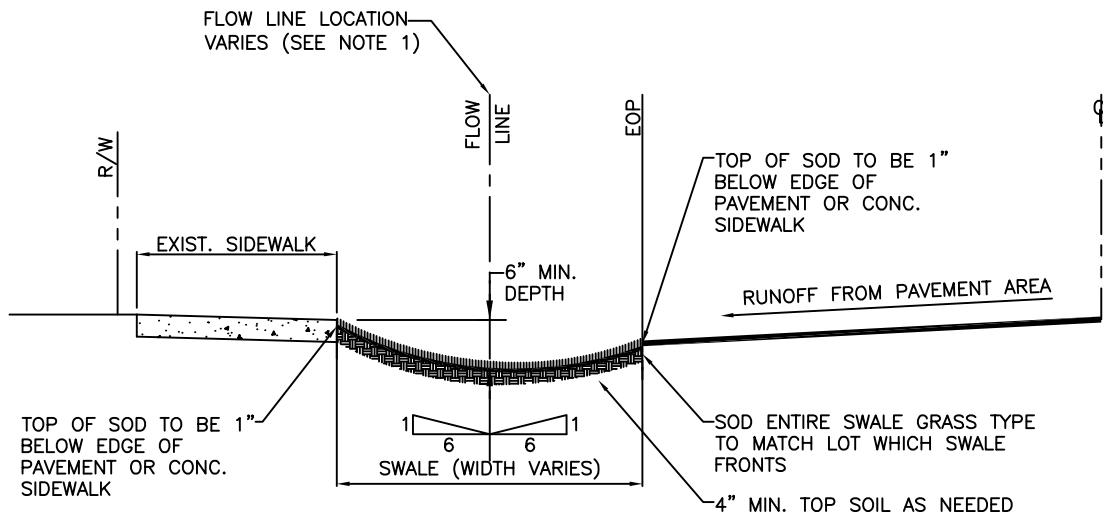
1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
6. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
7. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
8. MINIMUM PAVEMENT RESTORATION WIDTH IS 10'.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO.:
APPROVED: JG		C-31



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	TURF RESTORATION DETAIL	DRAWING NO.: C-32
APPROVED: JG		



NOTES:

1. HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE 6:1 SLOPE FROM THE EDGE OF S/W AND 6:1 SLOPE FROM EDGE OF PAVEMENT MEET.
2. TOP OF SOD ELEVATION AS SHOW ABOVE.



ISSUED: MAY 2023 DRAWN: EG APPROVED: JG	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
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	DRAWING NO.: C-33	

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DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

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CITY OF HOLLYWOOD
DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

STANDARD DETAILS



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	COVER	DRAWING NO.:
APPROVED: JG		COVER

GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES, ENGINEERING, TRANSPORTATION & MOBILITY DIVISION, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY PUBLIC UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
7. ELEVATIONS SHALL BE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
8. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING/STORAGE AREA. CONTRACTOR SHALL SECURE STAGING/STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
9. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
10. CONTRACTOR SHALL CLEAN/SWEEP THE ROAD AT LEAST ONCE A DAY OR AS REQUIRED BY THE ENGINEER.
11. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN/ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
12. CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
13. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
14. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF DEVELOPMENT SERVICES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
17. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	GENERAL NOTES (1 OF 2)	DRAWING NO.:
APPROVED: JG		C-01

18. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION, AND CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES STANDARDS.
19. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
20. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
21. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS/REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CITY ENGINEER.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
23. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
24. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN/VEHICULAR TRAFFIC.
25. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
26. ALL RAMPS, SIDEWALK CURB RAMPS, AND, ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT AND SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION.
27. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
29. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
30. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
31. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
32. THE CITY PREFERS THAT IT'S OWN POLICE OFFICERS PROVIDE TRAFFIC CONTROL TO ENSURE SAFE AND EFFICIENT INTERSECTION OPERATIONS IS MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION, THEREFORE, PLEASE CONTACT MR. JANEL DIXON TO ARRANGE FOR A DETAIL TO PROVIDE THIS SERVICE. HE MAY BE REACHED AT 954-967-4500 OR VIA EMAIL AT jdixon@hollywoodfl.org.
33. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED, REFER TO BCTED, PAVING MARKINGS AND SIGNS DETAILS PLAN, LATEST EDITION.
34. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



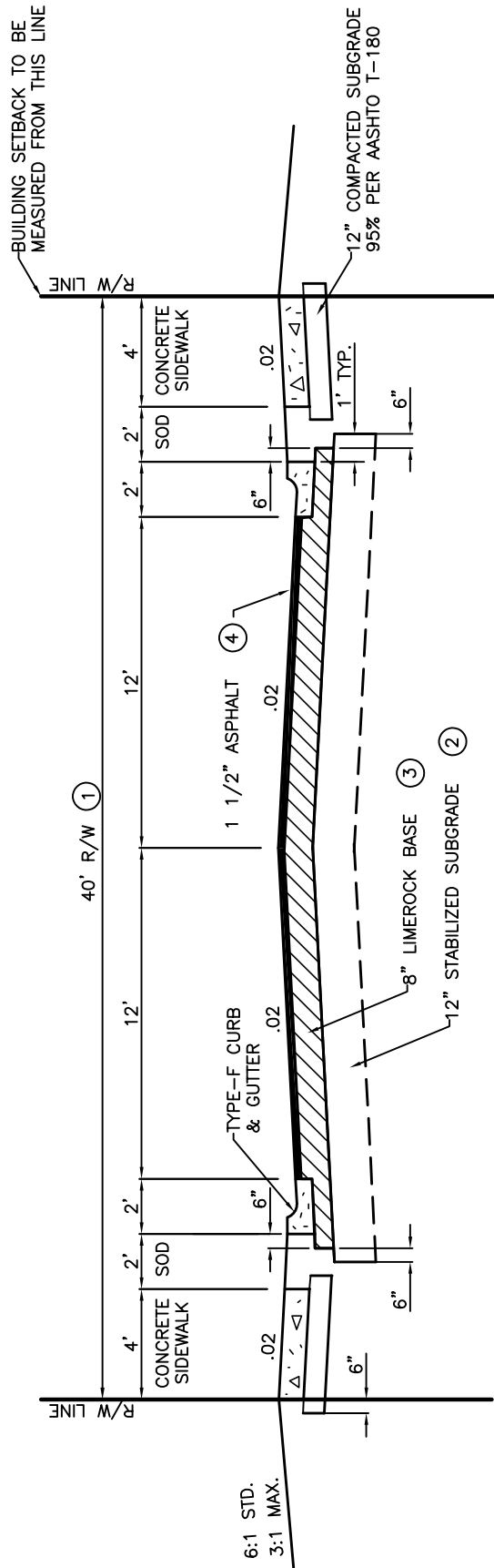
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION		REVISED: -
	DRAWN: EG		DRAWING NO.:
	APPROVED: JG		C-02
GENERAL NOTES (2 OF 2)			

STANDARD PROCEDURE FOR ROW PERMITS:

1. ENGINEERING DIVISION WILL NOT ISSUE R.O.W. PERMITS UNTIL THE UTILITY COMPANY SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING.
2. A REPRESENTATIVE FROM THE UTILITY COMPANY MUST ATTEND THE PRE-CONSTRUCTION MEETING, ALONG WITH THE CONTRACTOR AND/OR SUB-CONTRACTOR ACTUALLY PERFORMING THE WORK. CONTACT INFORMATION FOR THE UTILITY COMPANY REPRESENTATIVE AND THE CONTRACTOR PERFORMING THE WORK MUST BE PROVIDED FOR EACH PROJECT DURING THE PRE-CONSTRUCTION MEETING.
3. PERMITS WILL BE ISSUED FOR A DEFINED PERIOD OF TIME, AND ARE ONLY VALID DURING THE SPECIFIED TIME. THE PERMIT DURATION WILL BE DETERMINED DURING PLAN REVIEW AND WILL BE BASED ON THE SCOPE OF WORK. THE PERMIT WILL ONLY BE VALID DURING THE TIME PERIOD STATED ON THE APPROVED PLANS.
4. WHEN CROSSING OF THE CITY'S CRITICAL OPERATIONAL INFRASTRUCTURE, WHICH IS GENERALLY ANY UTILITY PIPE SIZES 12" AND GREATER, UTILITY COMPANY MUST SUBMIT A SIGNED LETTER FROM AN AUTHORIZED PERSON FROM THE COMPANY, ACKNOWLEDGING THAT THE PROJECT PROPOSES TO CROSS SUCH INFRASTRUCTURE. THIS LETTER SHOULD BE SUBMITTED DURING INITIAL PERMIT SUBMITTAL TO PREVENT DELAYS IN ISSUANCE OF R.O.W. PERMIT. THE LETTER SHALL BE ACCOMPANIED BY A MAP SHOWING THE LOCATION OF ALL SUCH CRITICAL INFRASTRUCTURE BEING CROSSED AND SUCH MAP SHALL BE ON THE COVER PAGE OF THE PERMIT PLAN SET.
5. PERMITS MUST BE ONSITE DURING CONSTRUCTION. ANY CITY EMPLOYEE WITH PROPER IDENTIFICATION CAN STOP AND ASK A CONTRACTOR FOR THEIR PERMITTED SET OF PLANS, AND STOP WORK FOR ANY CONTRACTOR WHO DO NOT PRESENT A VALID PERMITTED SET OF PLANS. A CONTRACTOR WORKING OUTSIDE OF THE PERMIT ISSUANCE WINDOW IS CONSIDERED TO BE WORKING WITHOUT A PERMIT, AND WILL BE SUBJECT TO ISSUANCE OF A VIOLATION FOR DOING WORK WITHOUT A PERMIT. VIOLATIONS FOR WORK WITHOUT A PERMIT CAN RESULT IN SUSPENSION OF A CONTRACTOR'S ABILITY TO OBTAIN PERMITS TO WORK WITHIN THE CITY.
6. WHEN A PROPOSED UTILITY CROSSES AN EXISTING CITY GRAVITY SANITARY SEWER OR DRAINAGE PIPE, THE UTILITY COMPANY MUST TELEWISE THE PIPE, AND PROVIDE VIDEO AT THE POINT OF CROSSING. A CLEAR SKETCH WITH DIMENSIONS MUST BE PROVIDED IDENTIFYING THE CROSSING POINT. THIS HAS TO BE DONE PRIOR TO SCHEDULING FINAL INSPECTION.
7. WHENEVER A PROPOSED UTILITY CROSSES EXISTING CITY UTILITIES, THE DEPTH OF THE EXISTING CITY UTILITIES MUST BE FIELD VERIFIED VIA SOFT DIGS, OR OTHER ACCEPTABLE METHODS THAT CAN ACCURATELY DETERMINE THE TRUE DEPTH OF THE EXISTING UTILITY. IF A METHOD OTHER THAN SOFT DIG IS UTILIZED TO IDENTIFY THE DEPTH OF EXISTING UTILITIES, THE PERMITTEE MUST NOTIFY THE CITY OF THE METHOD, AND PROVIDE INFORMATION ATTESTING TO THE ACCURACY OF THE METHOD. MINIMUM VERTICAL AND HORIZONTAL SEPARATIONS NOTED ON THE APPROVED PLANS MUST BE PROVIDED.
8. PRIOR TO FINAL INSPECTION, AN AS-BUILT PLAN AND BORE LOG MUST BE SUBMITTED TO THE CITY FOR REVIEW. THE AS-BUILT PLAN MUST CLEARLY IDENTIFY THE DEPTH OF THE CITY'S EXISTING UTILITY AT THE POINT WHERE THE NEWLY INSTALLED UTILITY CROSSES IT, AND THE DEPTH AT WHICH THE NEW UTILITY WAS INSTALLED. THIS IS TO VERIFY THAT PROPER SEPARATION DISTANCES HAVE BEEN PROVIDED.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	ROW PERMITS STANDARD PROCEDURE	DRAWING NO.:
APPROVED: JG		C-03



- NOTES:
1. THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE DEMUCKED.
 2. STABILIZED SUBGRADE, MIN. LBR OF 40, COMPACTED AT 95% MAXIMUM DENSITY PER AASHTO T-180.
 3. LIMEROCK BASE, MIN. LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180 AND PRIMED.
 4. ASPHALTIC CONCRETE TYPE S-III MODIFIED MIN. 1 1/2" COMPACTED - FDOT DESIGN MIX - IN TWO 3/4" LIFTS.
 5. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC.
 6. ALL DIMENSIONS SHOWN ARE MINIMUM REQUIREMENTS.
 7. SIDEWALK SLOPE TO BE 12:1 MAX.

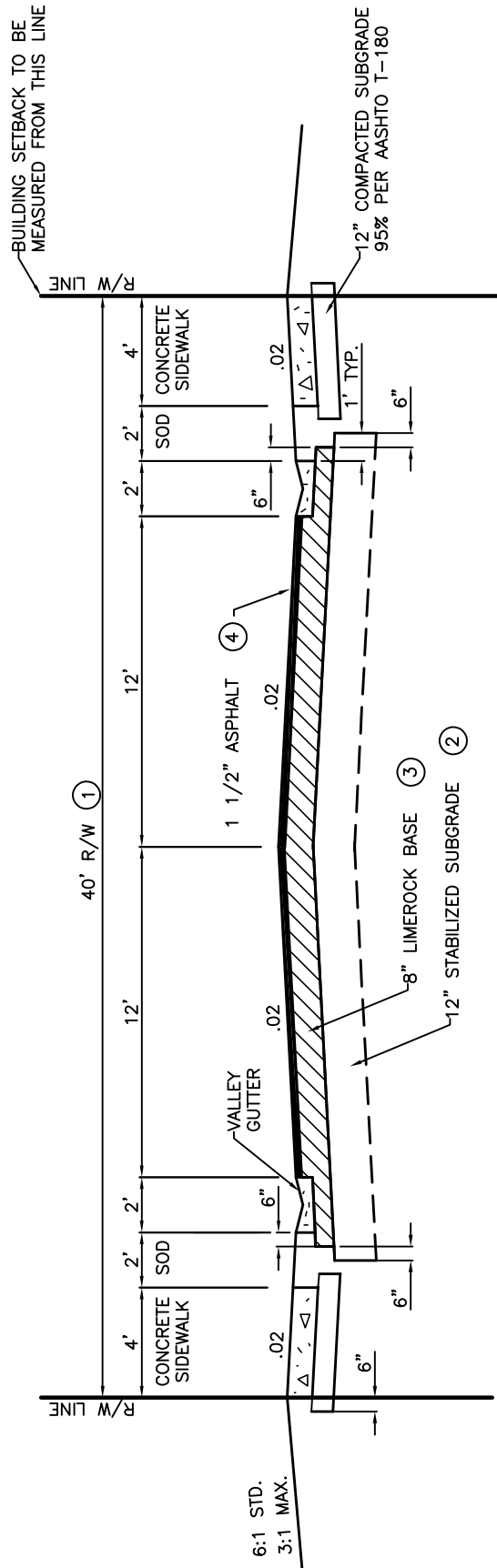


ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

40' ROADWAY TYPICAL SECTION

REVISED: -
 DRAWING NO.:
 C-04



- NOTES:
1. THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE DEMUCKED.
 2. STABILIZED SUBGRADE, MIN. LBR OF 40, COMPACTED AT 95% MAXIMUM DENSITY PER AASHTO T-180.
 3. LIMEROCK BASE, MIN. LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180 AND PRIMED.
 4. ASPHALTIC CONCRETE TYPE S-III MODIFIED MIN. 1 1/2" COMPACTED - FDOT DESIGN MIX - IN TWO 3/4" LIFTS.
 5. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC.
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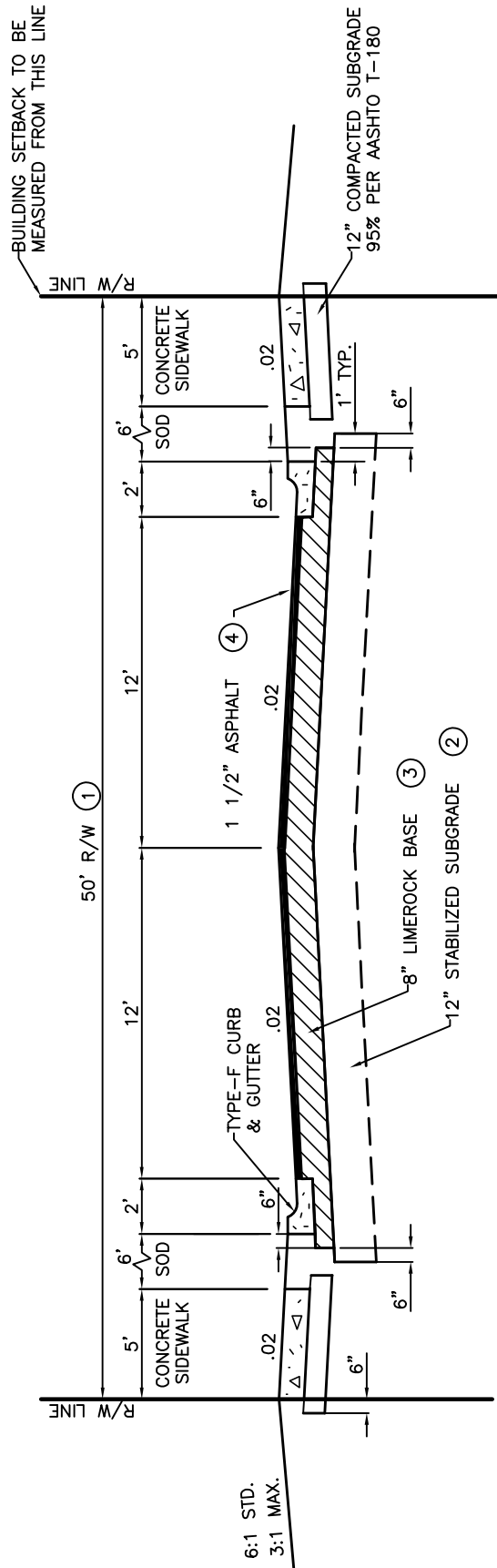
ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

40' ROADWAY TYPICAL SECTION W
 VALLEY GUTTER

REVISED: -

DRAWING NO.:
 C-05



- NOTES:
1. THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE DEMUCKED.
 2. STABILIZED SUBGRADE, MIN. LBR OF 40, COMPACTED AT 95% MAXIMUM DENSITY PER AASHTO T-180.
 3. LIMEROCK BASE, MIN. LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180 AND PRIMED.
 4. ASPHALTIC CONCRETE TYPE S-III MODIFIED MIN. 1 1/2" COMPACTED - FDOT DESIGN MIX - IN TWO 3/4" LIFTS.
 5. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC.
 6. ALL DIMENSIONS SHOWN ARE MINIMUM REQUIREMENTS.
 7. SIDEWALK SLOPE TO BE 12:1 MAX.

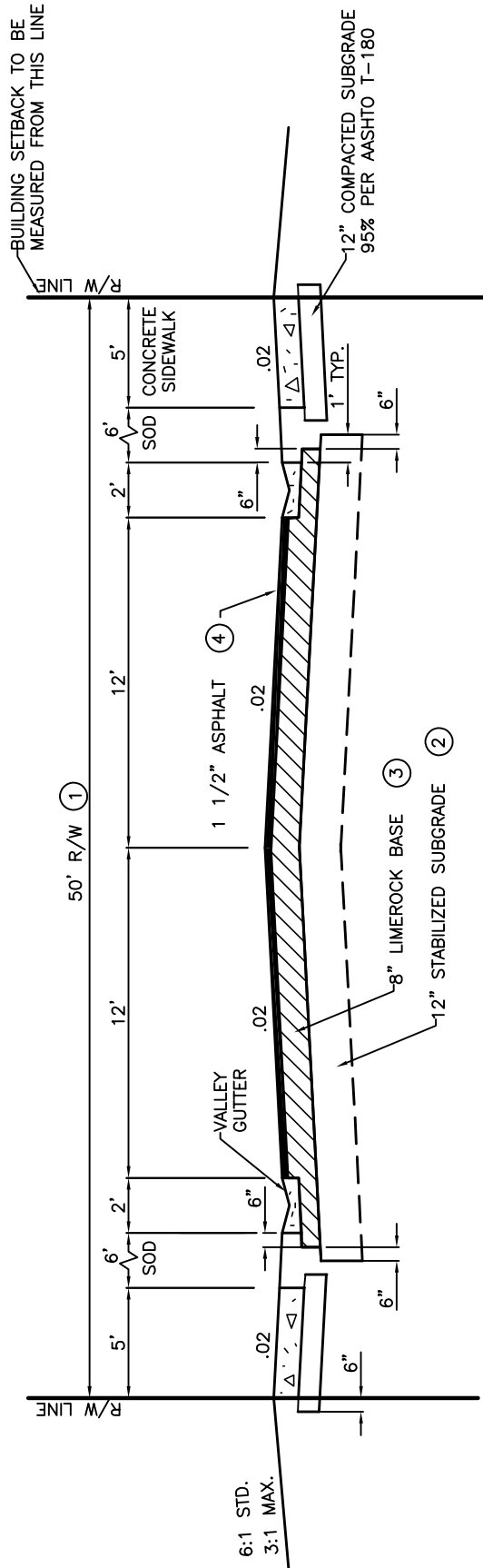


ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

50' ROADWAY TYPICAL SECTION

REVISED: -
 DRAWING NO.:
 C-06



- NOTES:
1. THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE DEMUCKED.
 2. STABILIZED SUBGRADE, MIN. LBR OF 40, COMPACTED AT 95% MAXIMUM DENSITY PER AASHTO T-180.
 3. LIMEROCK BASE, MIN. LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180 AND PRIMED.
 4. ASPHALTIC CONCRETE TYPE S-III MODIFIED MIN. 1 1/2" COMPACTED - FDOT DESIGN MIX - IN TWO 3/4" LIFTS.
 5. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC.
 6. ALL DIMENSIONS SHOWN ARE MINIMUM REQUIREMENTS.
 7. SIDEWALK SLOPE TO BE 12:1 MAX.



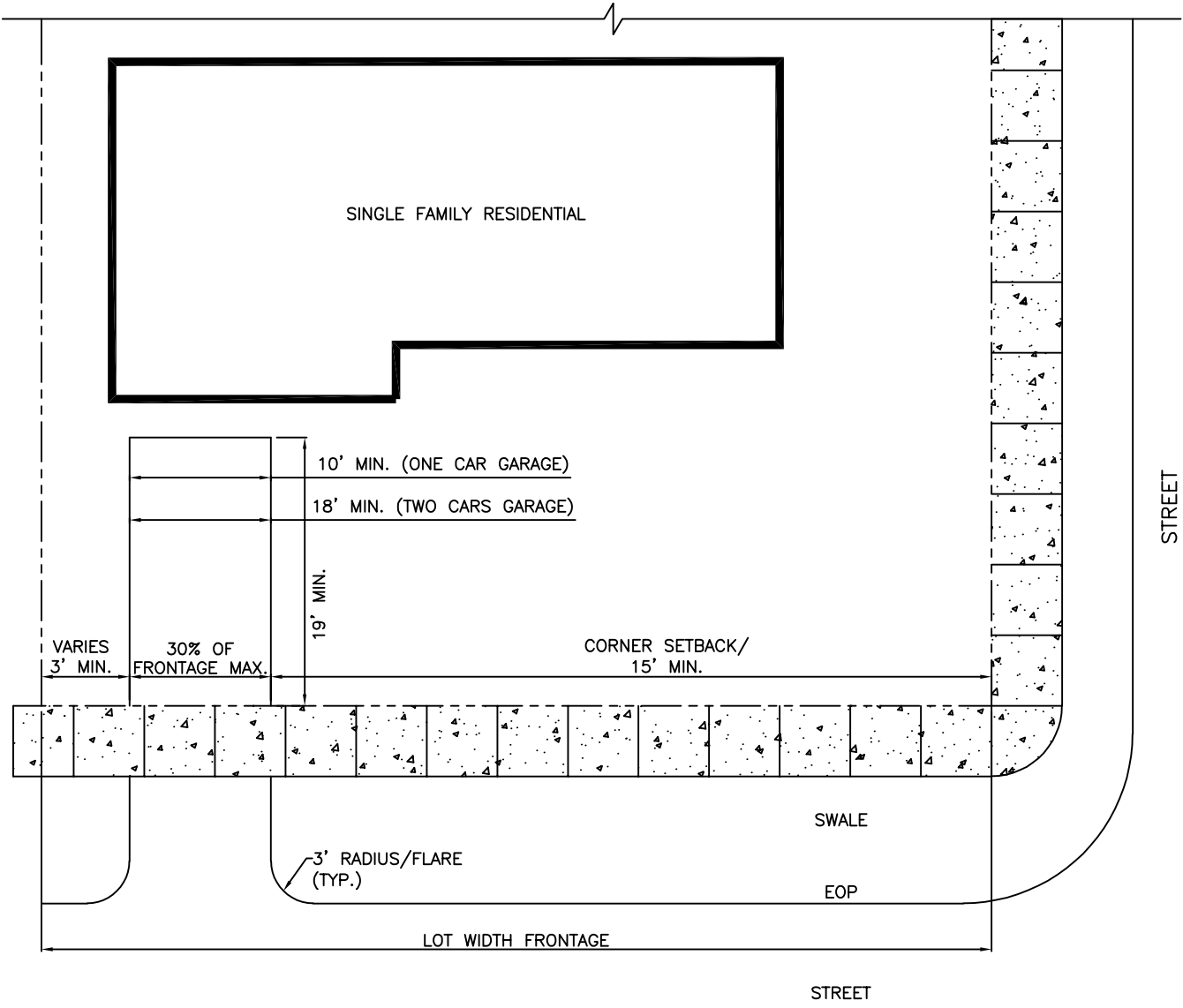
ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

50' ROADWAY TYPICAL SECTION
W VALLEY GUTTER

REVISED: -

DRAWING NO.:
C-07

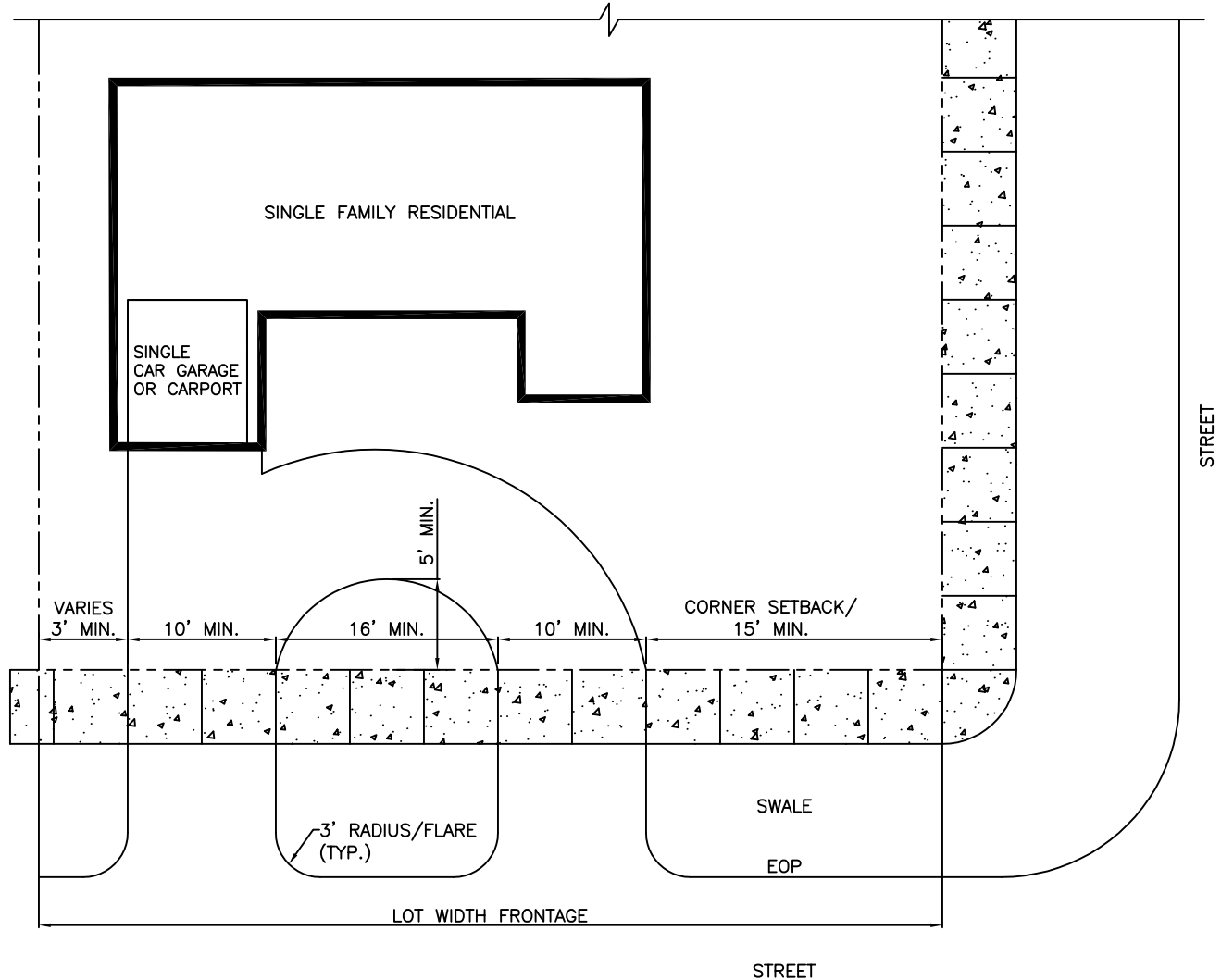


NOTES:

1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
2. CURB CUTS IN RESIDENTIAL DISTRICTS SHALL NOT EXCEED A MAXIMUM TOTAL WIDTH OF 30% OF THE LOT DIMENSION WHERE THE CURB CUT IS PROPOSED AND MAY NOT EXCEED A WIDTH OF 24 FEET EXCEPT AS SET FORTH BELOW:
 - 2.1. A MINIMUM OF ONE 18 FOOT CURB CUT OR TWO TEN FOOT CURB CUTS MAY BE PERMITTED ON ALL RESIDENTIAL LOTS OR A MINIMUM OF ONE TEN FOOT AND ONE 18 FOOT CURB CUT FOR A RESIDENTIAL LOT SERVING A TWO CAR GARAGE/CARPORT.
 - 2.2. RESIDENTIAL DEVELOPMENTS OF FOUR UNITS OR LESS, PROVIDING ENCLOSED GARAGE FACILITIES, SHALL BE PERMITTED A MINIMUM CURB CUT OF NINE FEET SERVING A ONE CAR GARAGE AND 18 FEET SERVING A TWO CAR GARAGE, WITH A MINIMUM SIX FOOT SEPARATION BETWEEN CURB CUTS.
 - 2.3. CURB CUTS SERVING THREE CAR GARAGE FACILITIES MAY BE A MAXIMUM WIDTH OF 27 FEET SUBJECT TO COMPLIANCE WITH THE 30% TOTAL WIDTH CRITERIA.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SINGLE FAMILY RESIDENTIAL SINGLE DRIVEWAY	DRAWING NO.:
APPROVED: JG		C-08

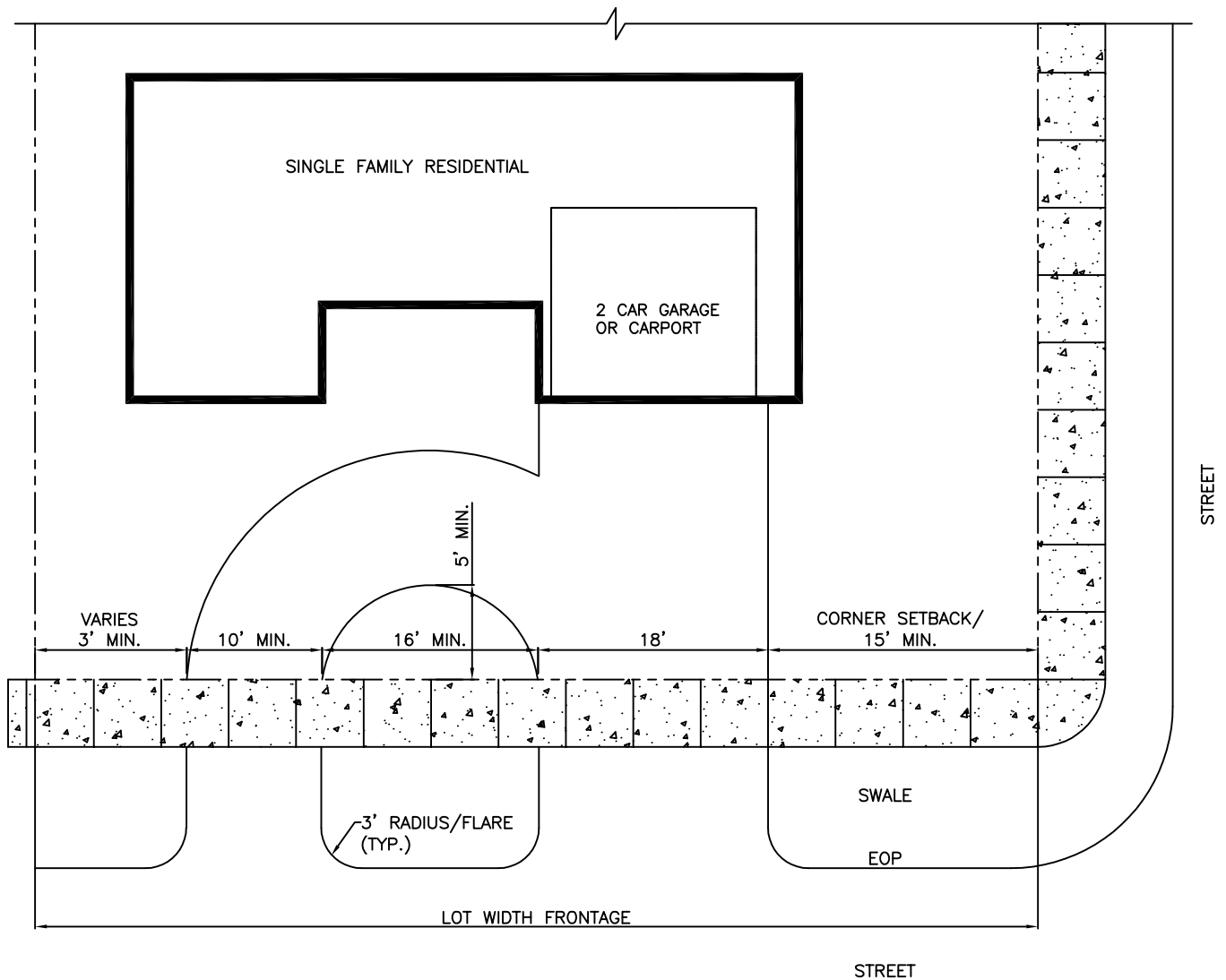


NOTES:

1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
2. CURB CUTS IN RESIDENTIAL DISTRICTS SHALL NOT EXCEED A MAXIMUM TOTAL WIDTH OF 30% OF THE LOT DIMENSION WHERE THE CURB CUT IS PROPOSED AND MAY NOT EXCEED A WIDTH OF 24 FEET EXCEPT AS SET FORTH BELOW:
 - 2.1. A MINIMUM OF ONE 18 FOOT CURB CUT OR TWO TEN FOOT CURB CUTS MAY BE PERMITTED ON ALL RESIDENTIAL LOTS OR A MINIMUM OF ONE TEN FOOT AND ONE 18 FOOT CURB CUT FOR A RESIDENTIAL LOT SERVING A TWO CAR GARAGE/CARPORT.
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 - 2.3. CURB CUTS SERVING THREE CAR GARAGE FACILITIES MAY BE A MAXIMUM WIDTH OF 27 FEET SUBJECT TO COMPLIANCE WITH THE 30% TOTAL WIDTH CRITERIA.
3. FOR RESIDENTIAL PROPERTIES, CURB CUTS FOR CIRCULAR DRIVES SHALL BE SEPARATED BY A MINIMUM DISTANCE OF 16 FEET.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SINGLE FAMILY RES. CIRCULAR DRIVEWAY FOR ONE CAR GARAGE	DRAWING NO.:
APPROVED: JG		C-09



NOTES:

1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
2. CURB CUTS IN RESIDENTIAL DISTRICTS SHALL NOT EXCEED A MAXIMUM TOTAL WIDTH OF 30% OF THE LOT DIMENSION WHERE THE CURB CUT IS PROPOSED AND MAY NOT EXCEED A WIDTH OF 24 FEET EXCEPT AS SET FORTH BELOW:
 - 2.1. A MINIMUM OF ONE 18 FOOT CURB CUT OR TWO TEN FOOT CURB CUTS MAY BE PERMITTED ON ALL RESIDENTIAL LOTS OR A MINIMUM OF ONE TEN FOOT AND ONE 18 FOOT CURB CUT FOR A RESIDENTIAL LOT SERVING A TWO CAR GARAGE/CARPORT.
 - 2.2. RESIDENTIAL DEVELOPMENTS OF FOUR UNITS OR LESS, PROVIDING ENCLOSED GARAGE FACILITIES, SHALL BE PERMITTED A MINIMUM CURB CUT OF NINE FEET SERVING A ONE CAR GARAGE AND 18 FEET SERVING A TWO CAR GARAGE, WITH A MINIMUM SIX FOOT SEPARATION BETWEEN CURB CUTS.
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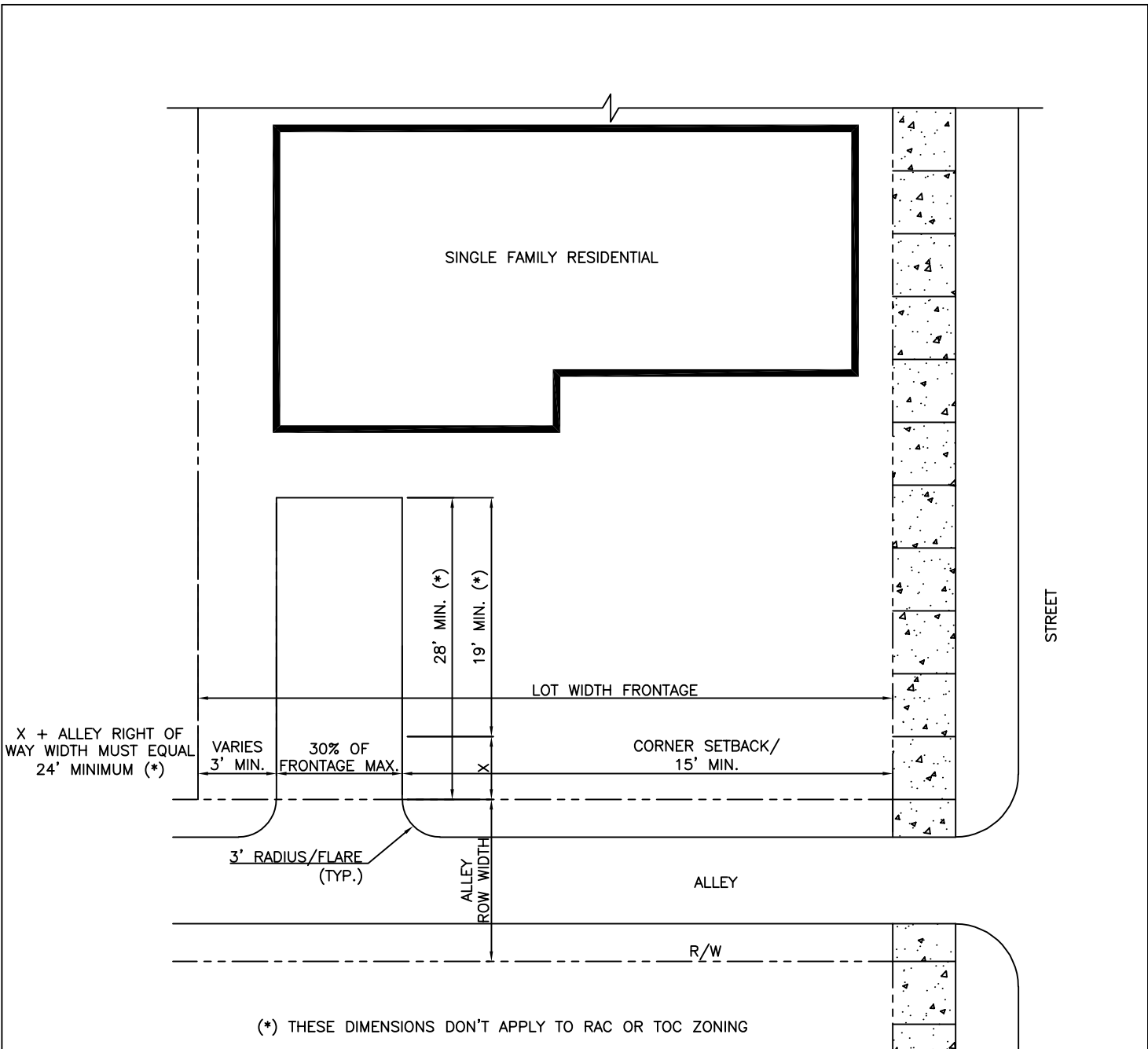


ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

SINGLE FAMILY RES.
 CIRCULAR DRIVEWAY FOR
 TWO CAR GARAGE

REVISED: -
 DRAWING NO.:
 C-10

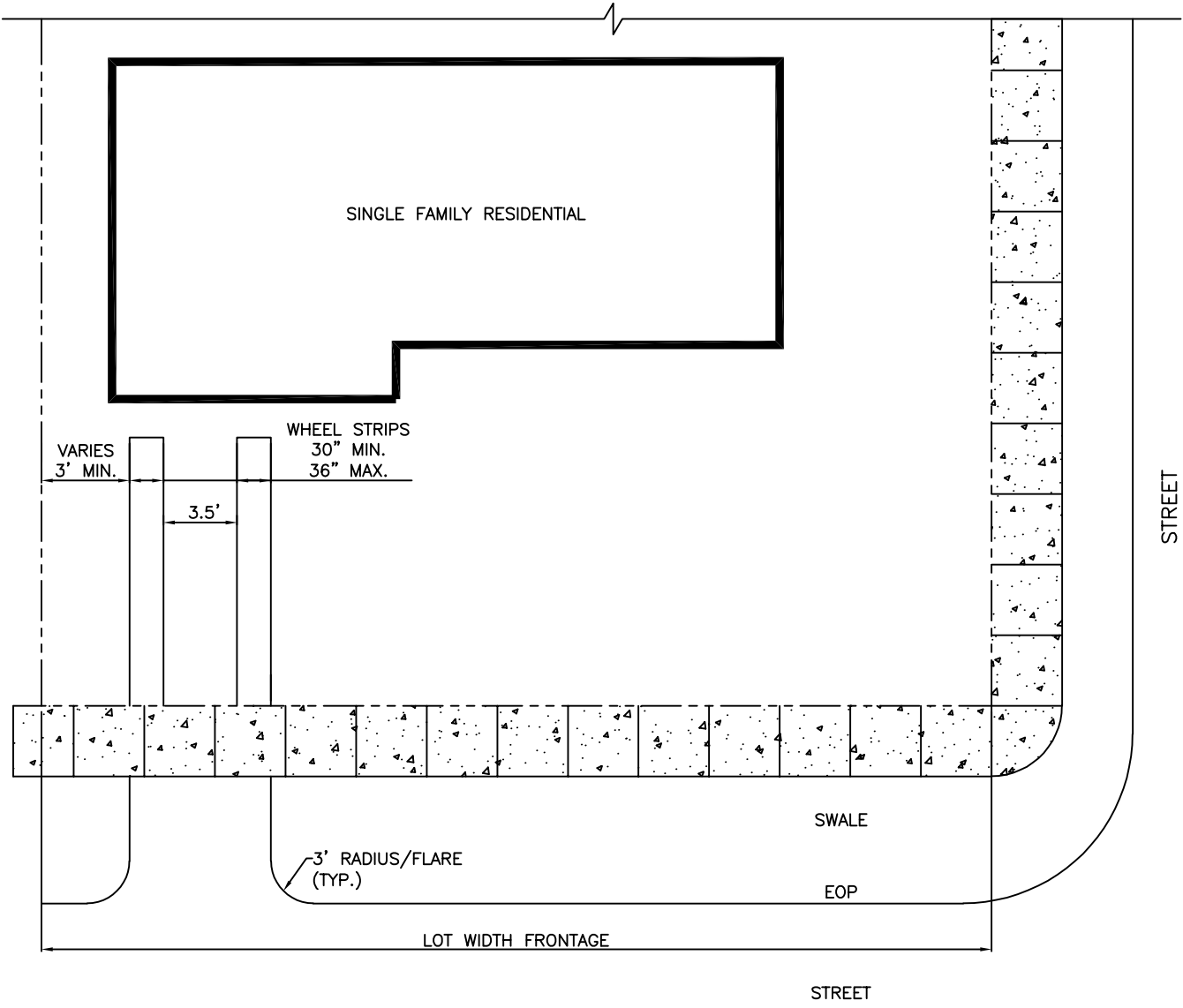


NOTES:

1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
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 - 2.3. CURB CUTS SERVING THREE CAR GARAGE FACILITIES MAY BE A MAXIMUM WIDTH OF 27 FEET SUBJECT TO COMPLIANCE WITH THE 30% TOTAL WIDTH CRITERIA.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SINGLE FAMILY RESIDENTIAL DRIVEWAY ADJACENT TO ALLEY	DRAWING NO.:
APPROVED: JG		C-11

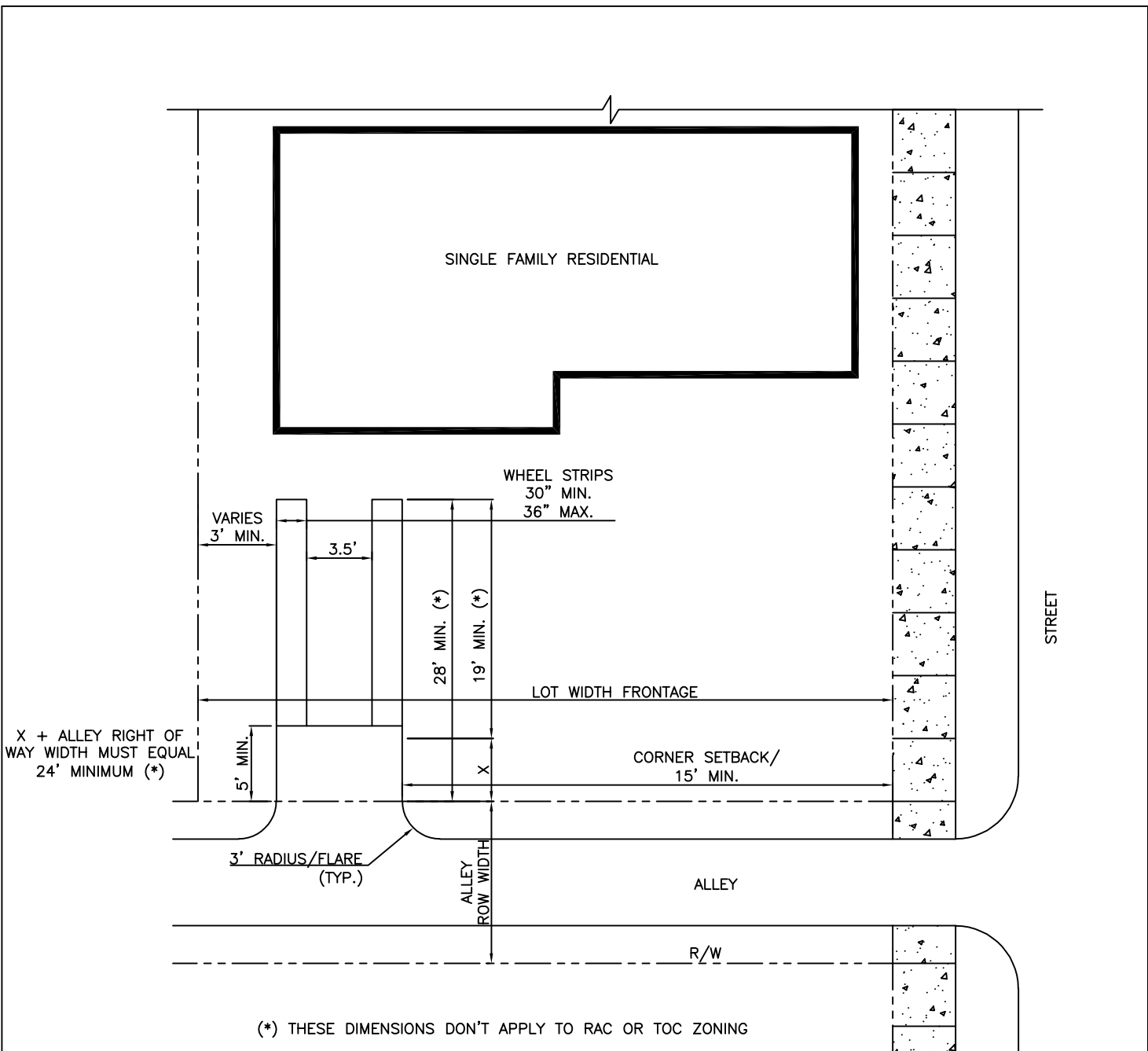


NOTES:

1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
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ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SINGLE FAMILY RES. TWO STRIP DRIVEWAY	DRAWING NO.:
APPROVED: JG		C-12

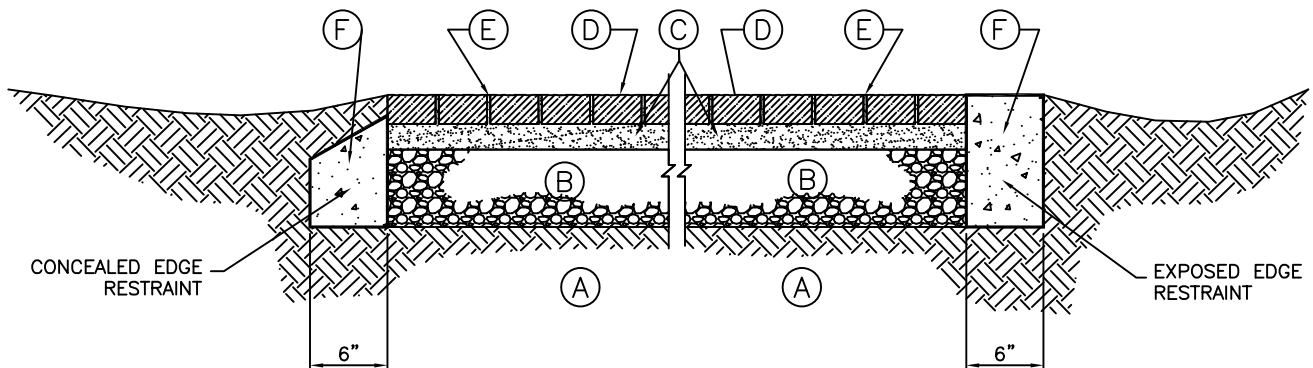


NOTES:

1. ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
2. CURB CUTS IN RESIDENTIAL DISTRICTS SHALL NOT EXCEED A MAXIMUM TOTAL WIDTH OF 30% OF THE LOT DIMENSION WHERE THE CURB CUT IS PROPOSED AND MAY NOT EXCEED A WIDTH OF 24 FEET EXCEPT AS SET FORTH BELOW:
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 - 2.2. RESIDENTIAL DEVELOPMENTS OF FOUR UNITS OR LESS, PROVIDING ENCLOSED GARAGE FACILITIES, SHALL BE PERMITTED A MINIMUM CURB CUT OF NINE FEET SERVING A ONE CAR GARAGE AND 18 FEET SERVING A TWO CAR GARAGE, WITH A MINIMUM SIX FOOT SEPARATION BETWEEN CURB CUTS.
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ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SINGLE FAMILY RES. TWO STRIP DRIVEWAY ADJACENT TO ALLEY	DRAWING NO.:
APPROVED: JG		C-13



LEGEND:

- (A) SUITABLE SUBGRADE (SEE NOTE No. 1)
- (B) LIMEROCK BASE COMPACTED TO A MIN. OF 98% OF MAX. DENSITY AS DETERMINED BY AASHTO T-180
MINIMUM THICKNESS REQUIRED:
6" IN THE PUBLIC RIGHT OF WAY
4" ON PRIVATE PROPERTY
- (C) SAND BEDDING COURSE, 2" TYPICAL.
- (D) CONCRETE SEGMENTAL PAVING UNITS
- (E) JOINT-FILLING SAND
- (F) 3,000PSI CONCRETE @ CONTINUOUS EXPOSED EDGE RESTRAINT REQUIRED IN THE PUBLIC RIGHT-OF-WAY.

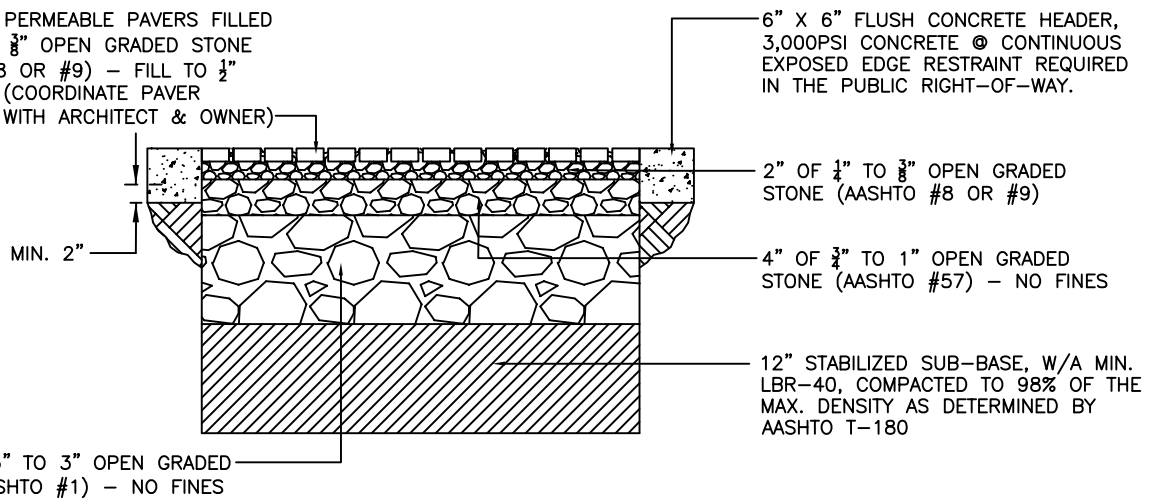
LIMITATIONS:

1. LIGHT TRAFFIC AND DOMESTIC USE ONLY. HEAVIER TRAFFIC OR UNSUITABLE SOIL CONDITIONS REQUIRE SPECIAL PAVEMENT STRUCTURE AND THICKNESS DESIGN.
2. SURFACE DRAINAGE: RECOMMENDED MINIMUM GRADE OF 2% TO SWALE PERVIOUS AREA.
3. THIS IS A NON-STANDARD TYPE OF DRIVEWAY CONSTRUCTION AND AN AFFIDAVIT IS REQUIRED FROM THE OWNER FOR WORK IN PUBLIC RIGHT-OF-WAY OR EASEMENT.

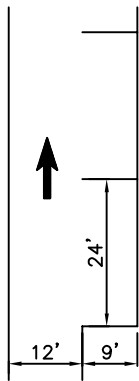
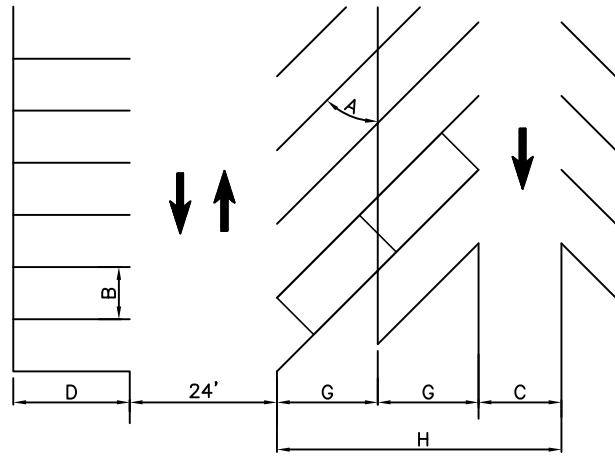
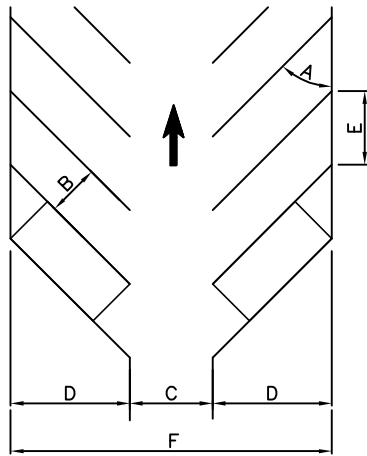


ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	CONCRETE PAVERS DETAIL	DRAWING NO.:
APPROVED: JG		C-14

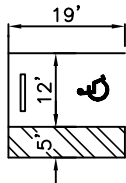
PROPOSED PERMEABLE PAVERS FILLED WITH $\frac{1}{4}$ " TO $\frac{3}{8}$ " OPEN GRADED STONE (AASHTO #8 OR #9) - FILL TO $\frac{1}{2}$ " FROM TOP (COORDINATE PAVER SELECTION WITH ARCHITECT & OWNER)



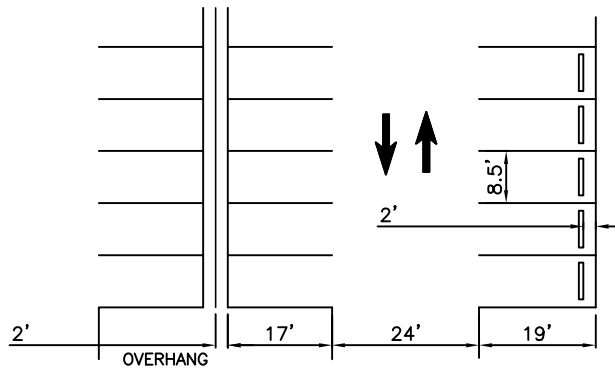
<p>ISSUED: MAY 2023</p> <p>DRAWN: EG</p> <p>APPROVED: JG</p>	<p>DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION</p>	<p>REVISED: -</p>
	<p>PERMEABLE PAVERS DETAIL</p>	
	<p>DRAWING NO.: C-15</p>	



PARALLEL
PARKING



ACCESSIBLE
PARKING



STANDARD
PARKING

A	B	C	D	E	F	G	H
PARKING ANGLE	STALL WIDTH	AISLE WIDTH	STALL LENGTH	CURB DEPTH	OVERALL LENGTH	BACK TO BACK STALL LENGTH	OVERALL BACK TO BACK LENGTH
30°	8.5'	12'	16.9'	17'	45.8'	13.2'	38.4'
30°	9'	12'	17.3'	18'	46.6'	13.4'	38.8'
45°	8.5'	13.5'	19.5'	12'	52.4'	16.4'	46.4'
45°	9'	13.5'	19.8'	12.75'	53.1'	16.6'	46.7'
60°	8.5'	18.5'	20.7'	9.8'	59.9'	18.6'	55.7'
60°	9'	18.5'	21'	10.4'	60.5'	18.7'	55.9'
90°	8.5'	24'	19'	9'	62'	19'	62'
90°	9'	24'	19'	9'	62'	19'	62'

STANDARD STALL IS 8.5' x 19', PREFERRED IS 9' x 19'.
 ACCESSIBLE SPACE IS 12' x 19', WITH 5' ACCESS AISLE CLEARLY MARKED.
 PARALLEL PARKING IS 9' x 24'.
 LANDSCAPE ISLANDS ARE FOR TREE PLANTING, NOT FOR LIGHT POLES.
 DRIVEWAY WIDTH AT PROPERTY LINE IS NOT TO EXCEED AISLE WIDTH.



ISSUED: MAY 2023

DRAWN: EG

APPROVED: JG

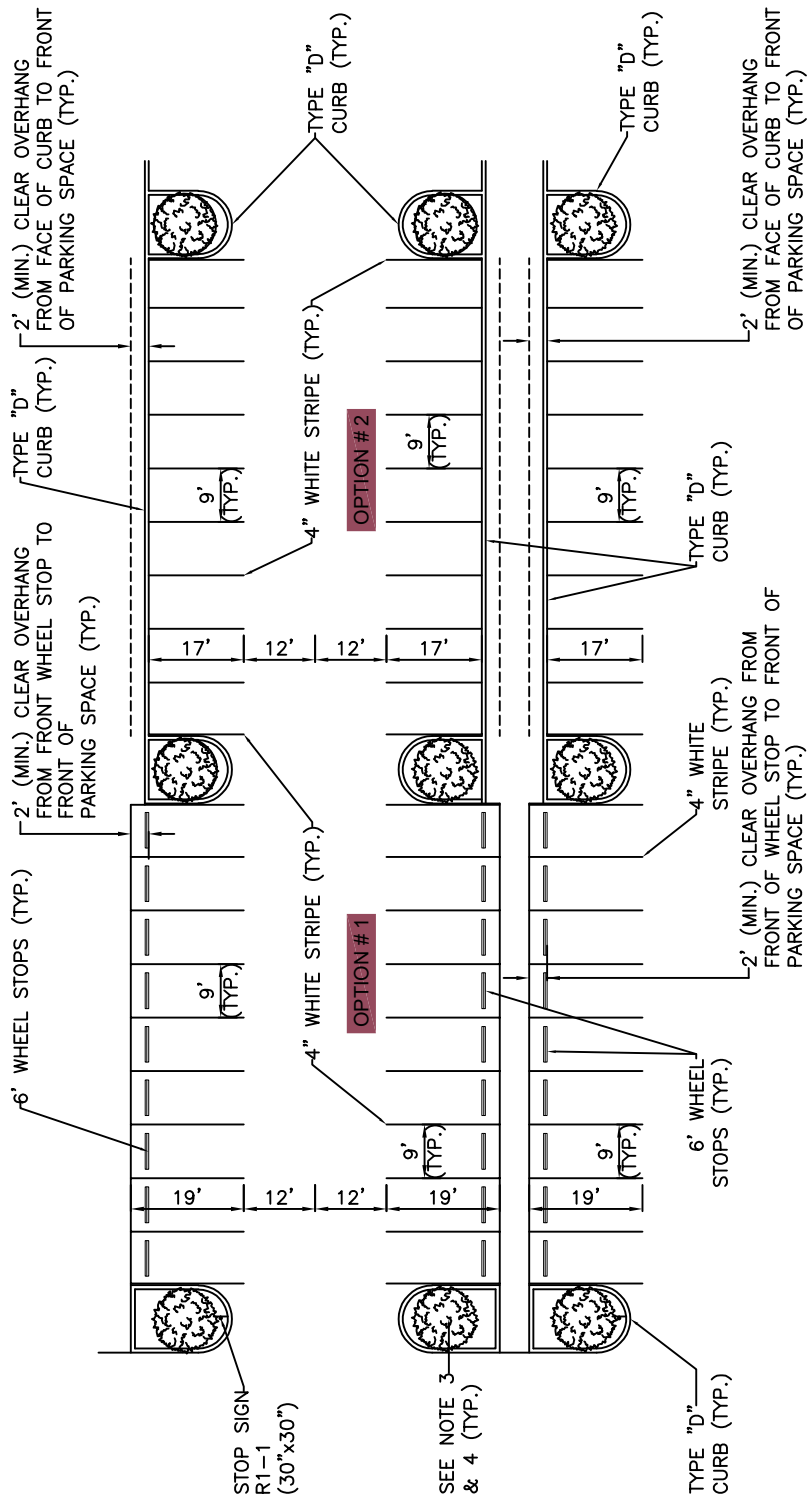
DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

STANDARD PARKING GEOMETRICS

REVISED: -

DRAWING NO.:

C-16



NOTES:

1. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS.
2. ALL VEHICULAR TRAFFIC RELATED PAVEMENT MARKINGS SHALL BE TRAFFIC GRADE PAINT OR THERMOPLASTIC WHEN REQUIRED BY CITY ENGINEER. PARKING SPACE MARKINGS SHALL BE 4" REFLECTORIZED PAINT.
3. TERMINAL ISLANDS SHALL BE INSTALLED AT EACH END OF ALL ROWS OF PARKING SPACES. EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 SQUARE FEET OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL.
4. ONE TREE REQUIRED PER 190 SQ. FT. (OR PORTION THEREOF) OF TERMINAL ISLANDS.

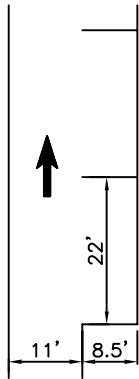
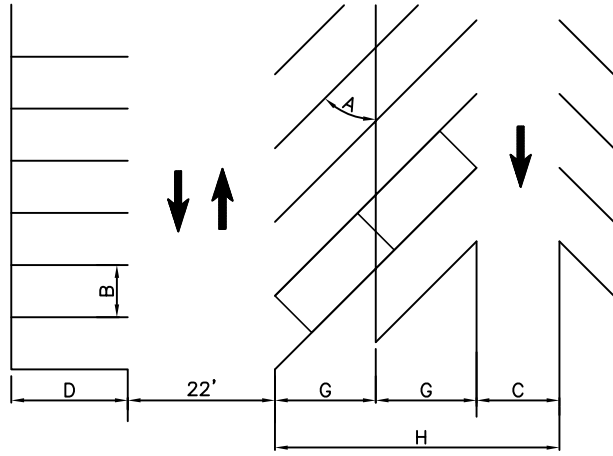
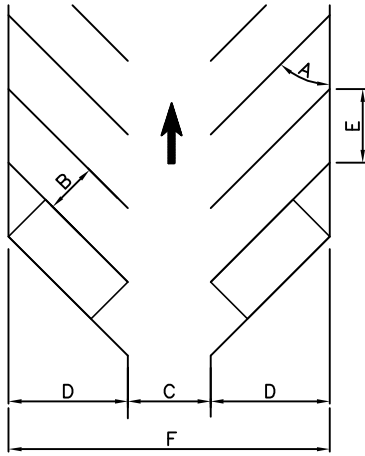


ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

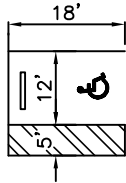
DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

TYPICAL PARKING LOT LAYOUT

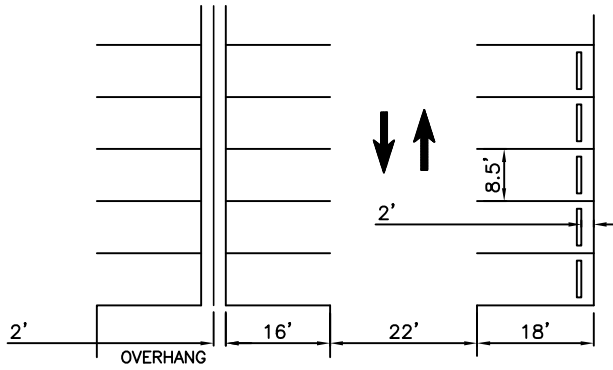
REVISED: -
 DRAWING NO.:
 C-17



PARALLEL
PARKING



ACCESSIBLE
PARKING



STANDARD
PARKING

A	B	C	D	E	F	G	H
PARKING ANGLE	STALL WIDTH	AISLE WIDTH	STALL LENGTH	CURB DEPTH	OVERALL LENGTH	BACK TO BACK STALL LENGTH	OVERALL BACK TO BACK LENGTH
30°	8.5'	11'	16.9'	17'	44.8'	13.2'	37.4'
30°	9'	11'	17.3'	18'	45.6'	13.4'	37.8'
45°	8.5'	12.5'	19.5'	12'	51.4'	16.4'	45.4'
45°	9'	12.5'	19.8'	12.75'	52.1'	16.6'	45.7'
60°	8.5'	17.5'	20.7'	9.8'	58.9'	18.6'	54.7'
60°	9'	17.5'	21'	10.4'	59.5'	18.7'	54.9'
90°	8.5'	22'	18'	8.5'	61'	19'	61'
90°	9'	22'	18'	8.5'	61'	19'	61'

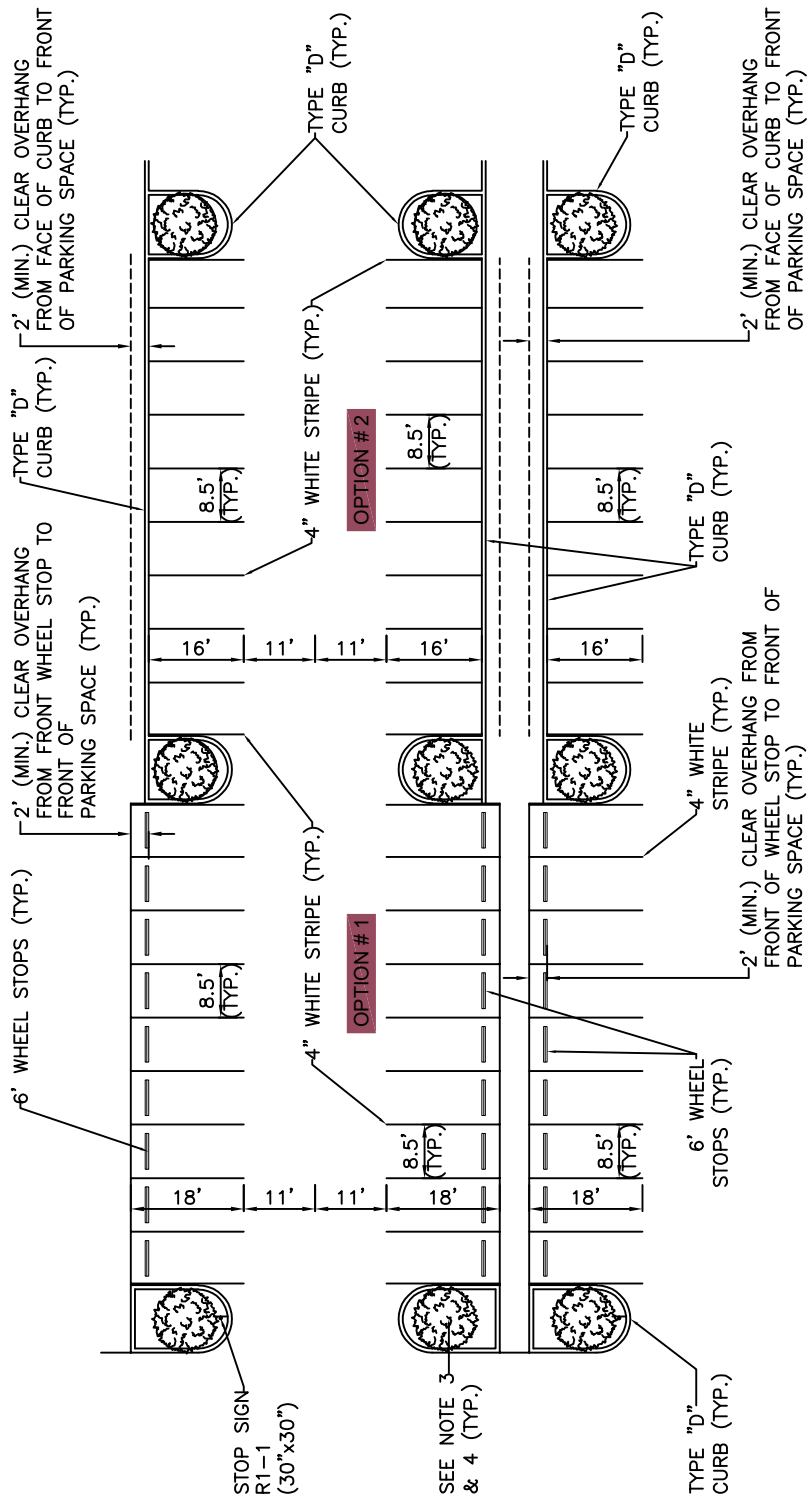
STANDARD STALL IS 8.5' x 18'
 ACCESSIBLE SPACE IS 12' x 18', WITH 5' ACCESS AISLE CLEARLY MARKED.
 PARALLEL PARKING IS 8.5' x 22'.
 LANDSCAPE ISLANDS ARE FOR TREE PLANTING, NOT FOR LIGHT POLES.
 DRIVEWAY WIDTH AT PROPERTY LINE IS NOT TO EXCEED AISLE WIDTH.



ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION
 STANDARD PARKING GEOMETRICS
 WITHIN THE RAC AREA

REVISED: -
 DRAWING NO.:
 C-18



NOTES:

1. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO BROWARD COUNTY TRAFFIC ENGINEERING DIVISION AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS.
2. ALL VEHICULAR TRAFFIC RELATED PAVEMENT MARKINGS SHALL BE TRAFFIC GRADE PAINT OR THERMOPLASTIC WHEN REQUIRED BY CITY ENGINEER. PARKING SPACE MARKINGS SHALL BE 4" REFLECTORIZED PAINT.
3. TERMINAL ISLANDS SHALL BE INSTALLED AT EACH END OF ALL ROWS OF PARKING SPACES. EACH ISLAND SHALL CONTAIN A MINIMUM OF 190 SQUARE FEET OF PERVIOUS AREA AND SHALL MEASURE THE SAME LENGTH AS THE ADJACENT PARKING STALL.
4. ONE TREE REQUIRED PER 190 SQ. FT. (OR PORTION THEREOF) OF TERMINAL ISLANDS.



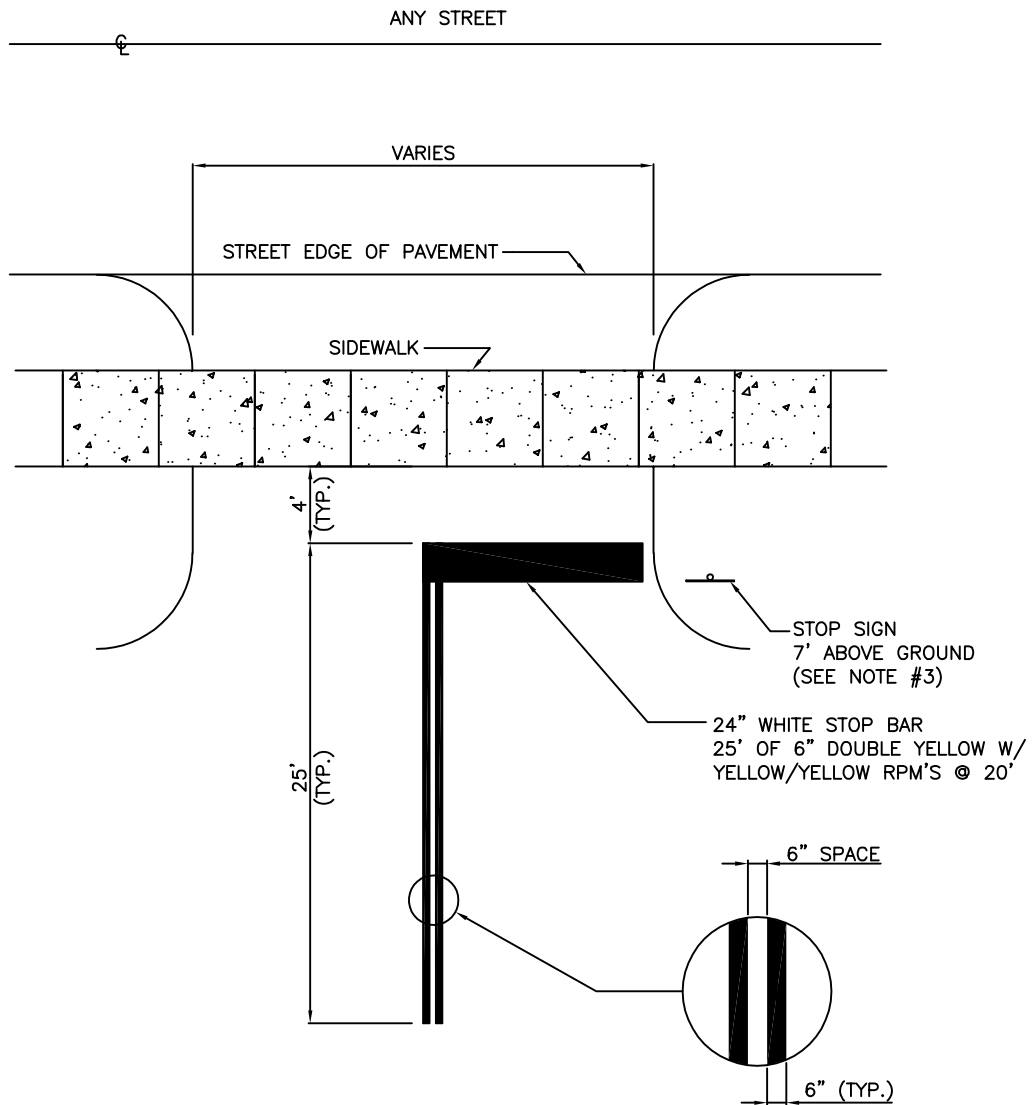
ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

TYPICAL PARKING LOT LAYOUT WITHIN
 THE RAC AREA

REVISED: -

DRAWING NO.:
 C-19



NOTES:

1. USE TRAFFIC GRADE PAINT OR THERMOPLASTIC WHEN REQUIRED BY THE CITY ENGINEER.
2. ALL SIGNAGE AND MARKING SHALL BE IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARD.
3. REFER TO STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS FROM BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (LATEST EDITION).



ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

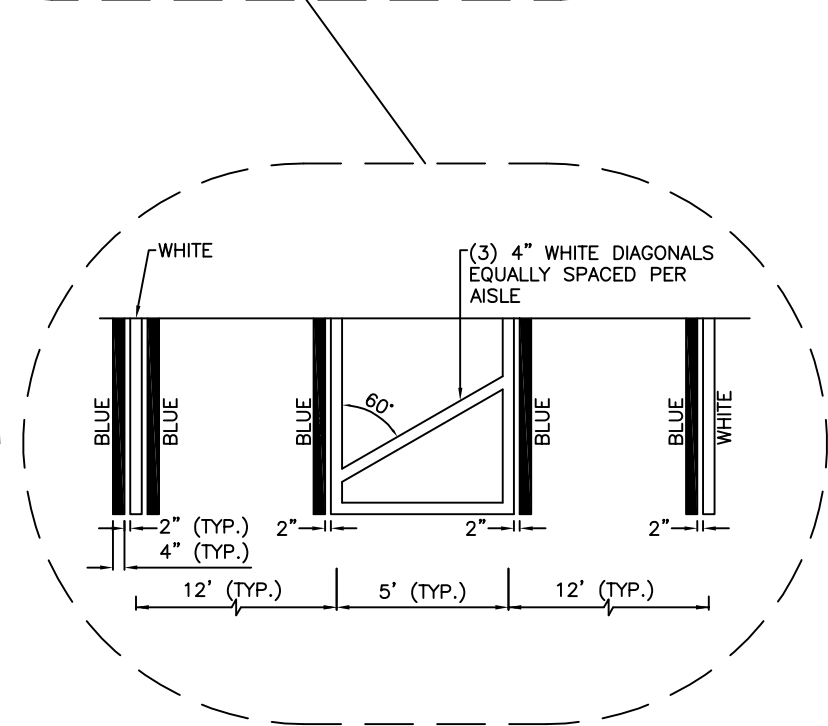
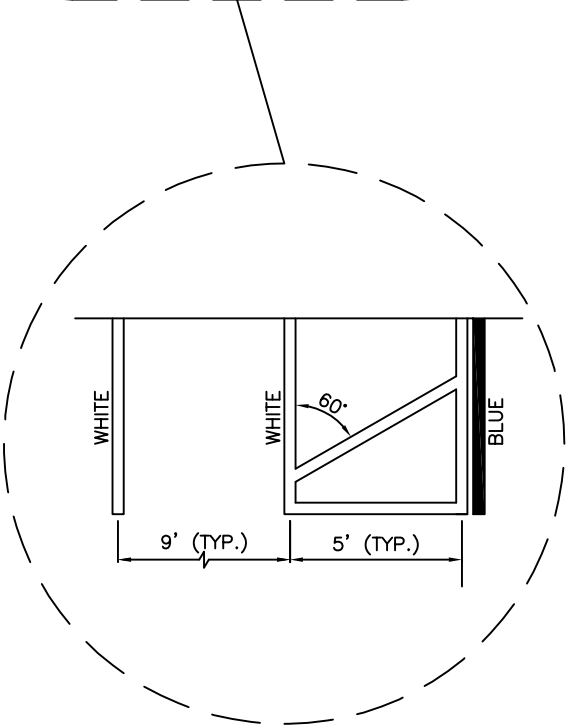
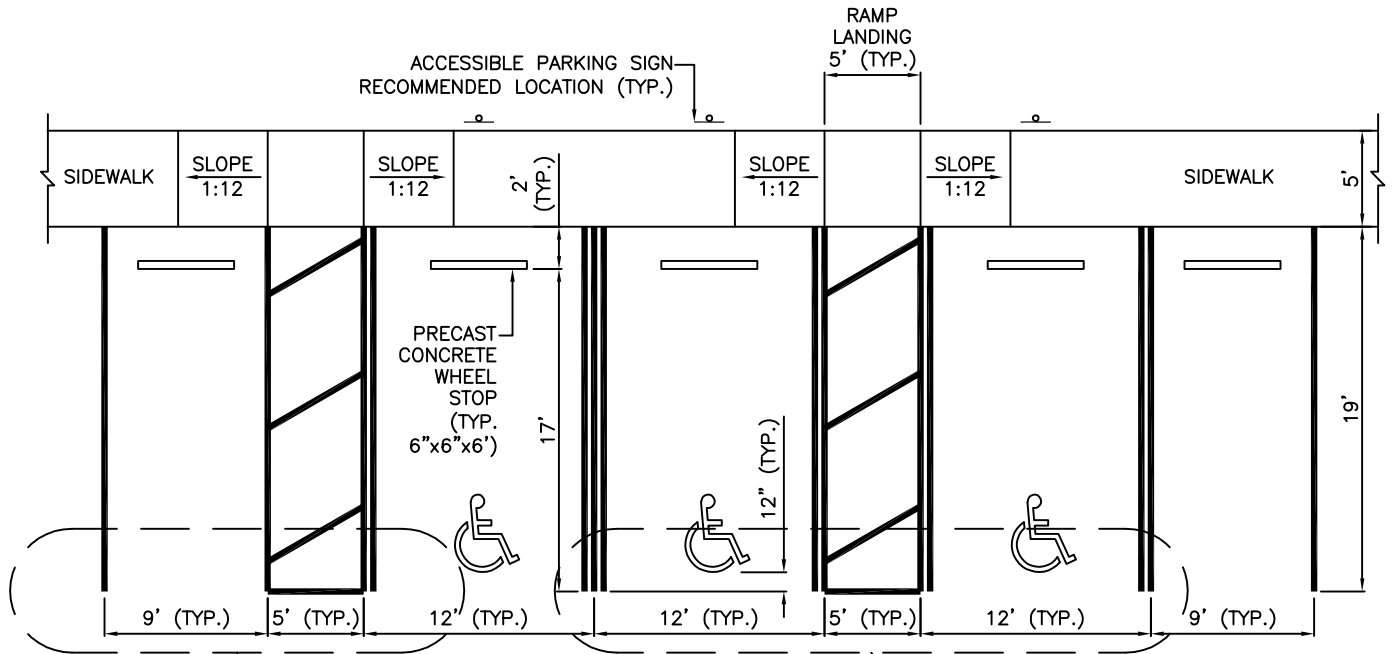
DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

PARKING LOT EXIT-ENTRANCE DETAIL

REVISED: -

DRAWING NO.:
 C-20

ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS (*)



(*) IN CASE OF CONFLICT PLANS TO COMPLY WITH ADA 406 & 502, AND FDOT 711-001 (SHEET 11)

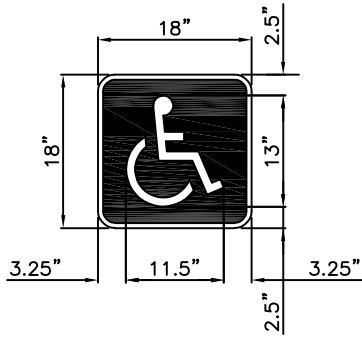


ISSUED: MAY 2023
 DRAWN: EG
 APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
 ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

ACCESIBLE PARKING SPACE DETAILS
 (1 OF 2)

REVISED: -
 DRAWING NO.:
 C-21



NOTE:
ALL LETTERS ARE 1" SERIES
AT 1" SPACING



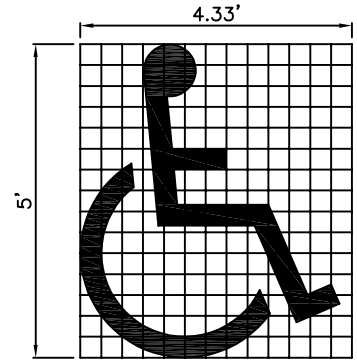
FTP-21-06



FTP-22-06

NOTE:

1. SIZE TO BE 5 FEET IN HEIGHT AND WHITE IN COLOR.



4.53 S.F.

ACCESSIBLE PAVEMENT SYMBOL

SIGNAGE NOTES:

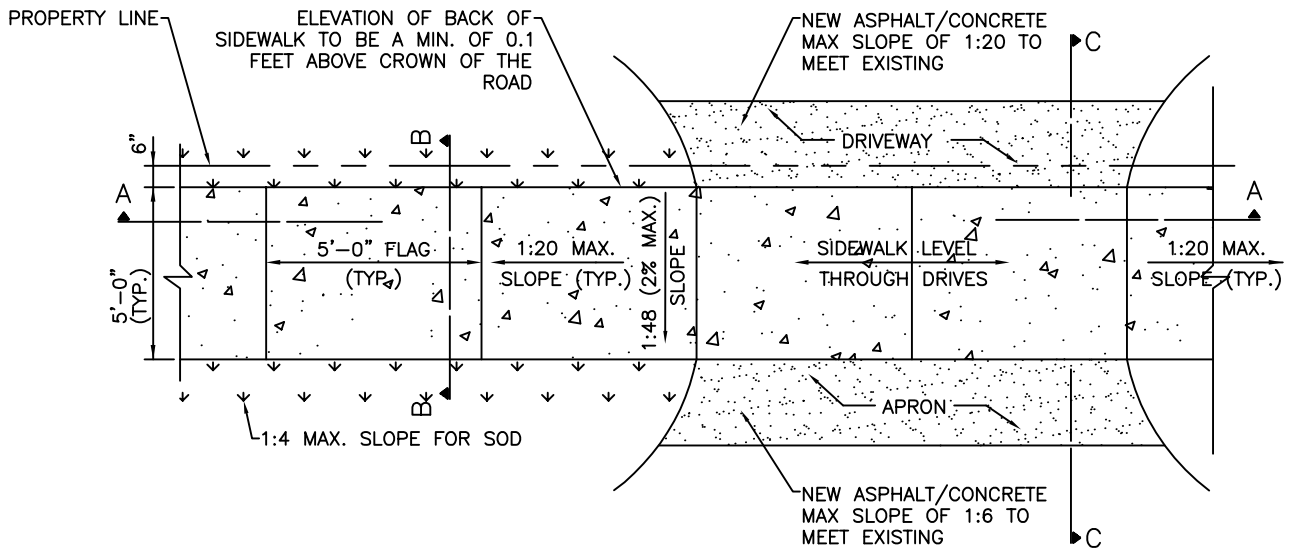
1. FTP-21-06 & FTP-22-06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102.
2. SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

NOTES:

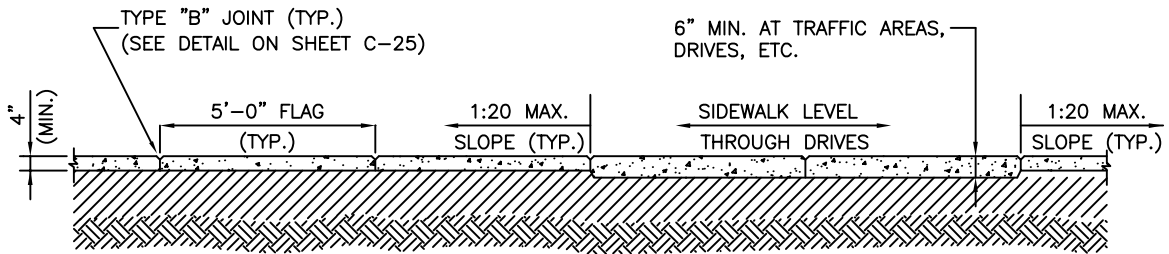
1. PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
2. BLUE MARKINGS SHALL BE SHADED.
3. SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
4. ALL RAMPS, SIDEWALK, CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
5. WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A CURB OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE; THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING.
6. ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
7. ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS.
8. ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.



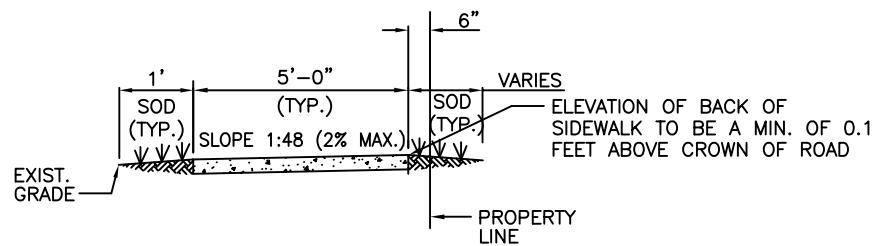
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	DRAWN: EG	DRAWING NO.:
	APPROVED: JG	C-22



PLAN



SECTION A-A



SECTION B-B

NOTE:

1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.



ISSUED: MAY 2023

DRAWN: EG

APPROVED: JG

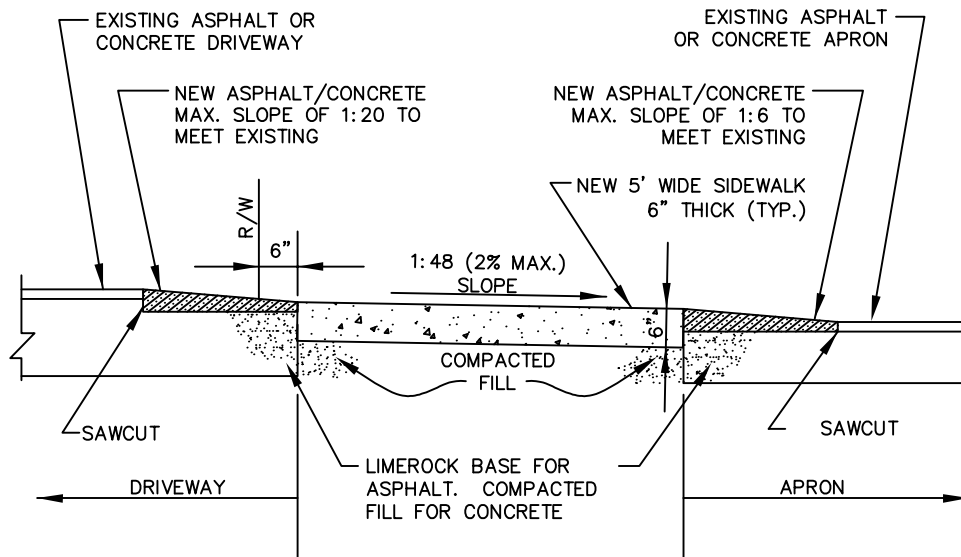
DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

SIDEWALK CONSTRUCTION DETAILS (1 OF 3)

REVISED: -

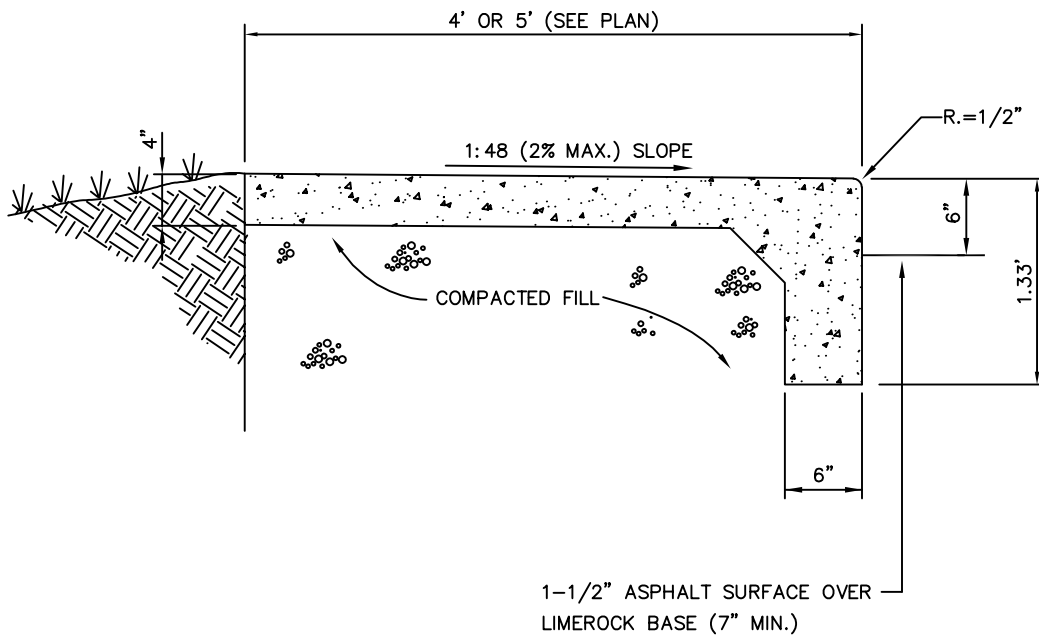
DRAWING NO.:

C-23



SECTION C-C

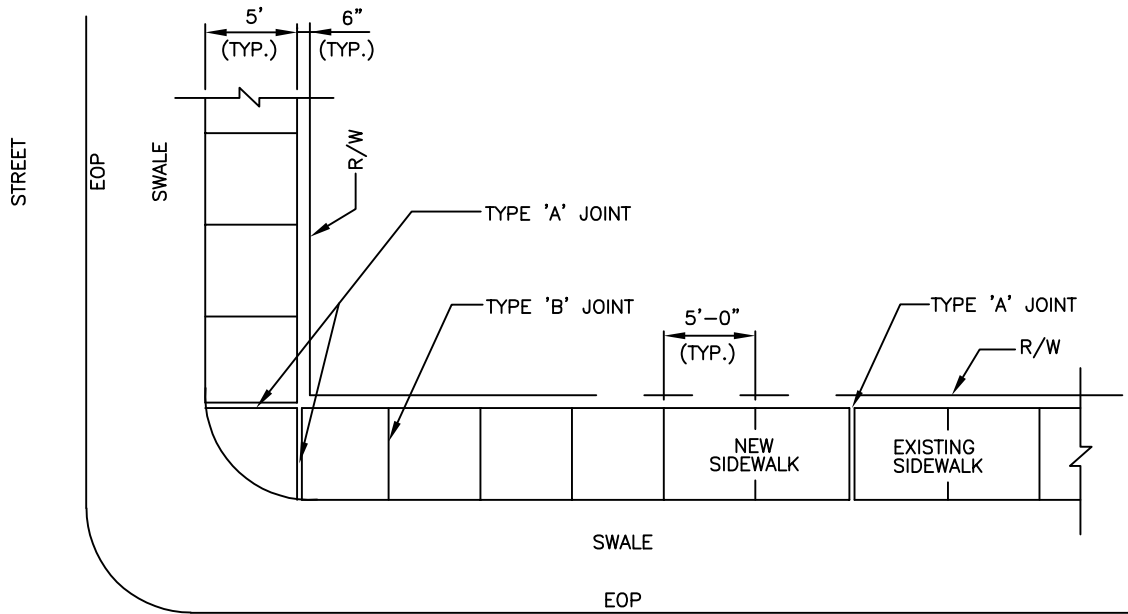
6"



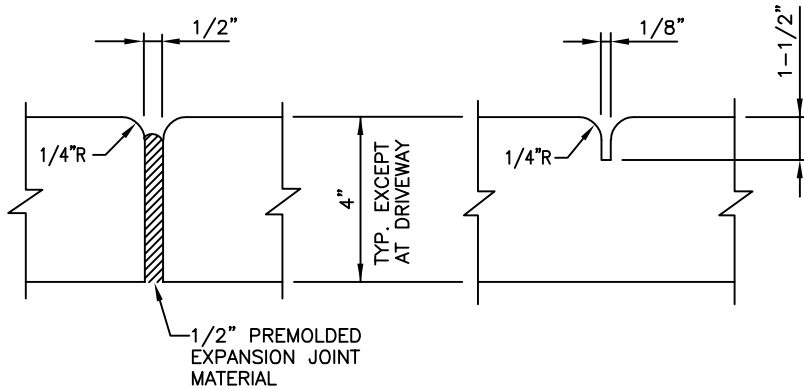
SIDEWALK WITH CURB



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (2 OF 3)	DRAWING NO.:
APPROVED: JG		C-24



PLAN STREET



TYPE 'A'

TYPE 'B'

SIDEWALK JOINTS

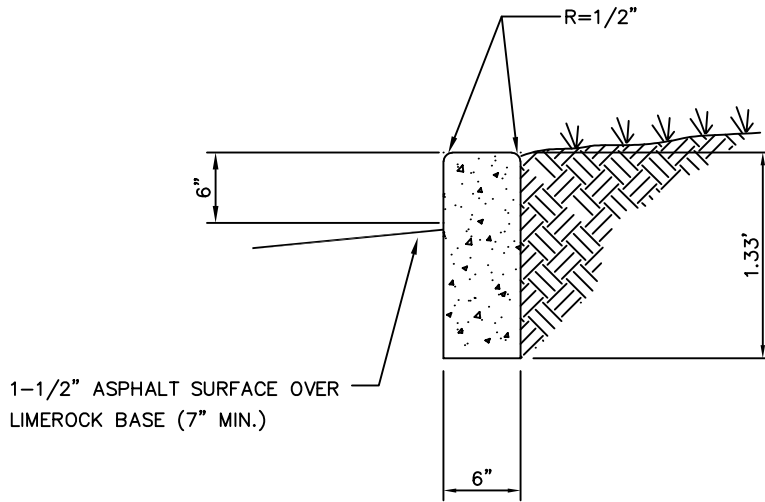
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.
'B'	5' CENTER TO CENTER ON SIDEWALKS.

NOTES:

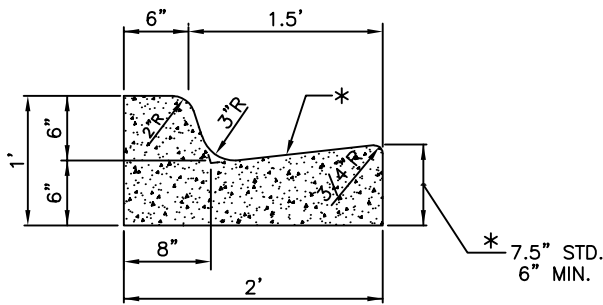
1. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
2. USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
3. SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
4. SIDEWALK CURB RAMPS SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522-002.
5. THE VERTICAL DEVIATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A 1/4" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
6. 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE.



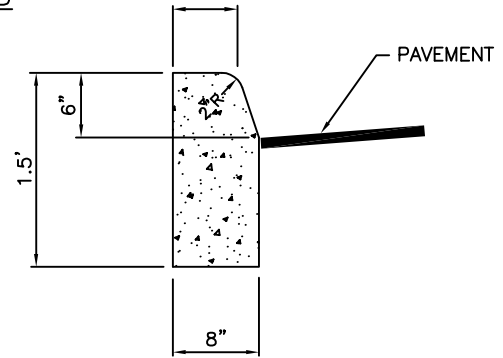
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (3 OF 3)	DRAWING NO.:
APPROVED: JG		C-25



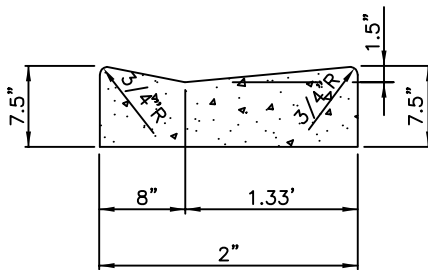
STANDARD CURB



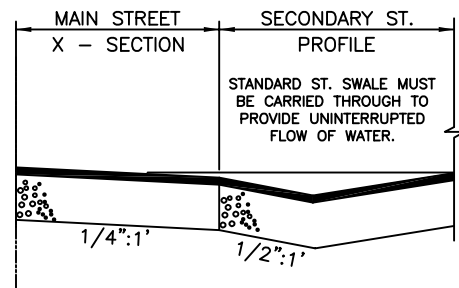
6" CURB & GUTTER (FDOT TYPE "F")



TYPE 'D' CURB



DRIVEWAY CURB & GUTTER



VALLEY GUTTER

* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.



ISSUED: MAY 2023

DRAWN: EG

APPROVED: JG

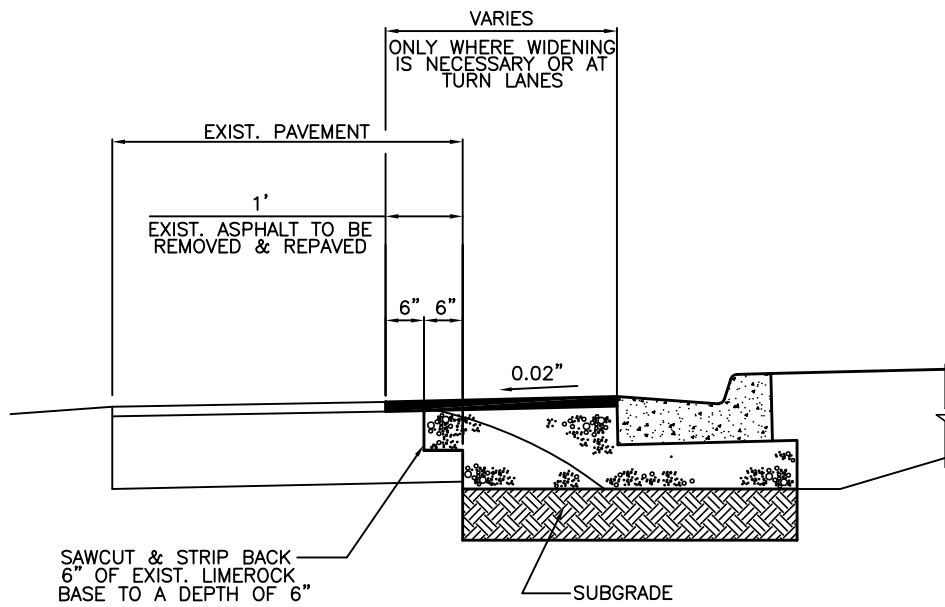
DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

CURB AND GUTTER DETAILS

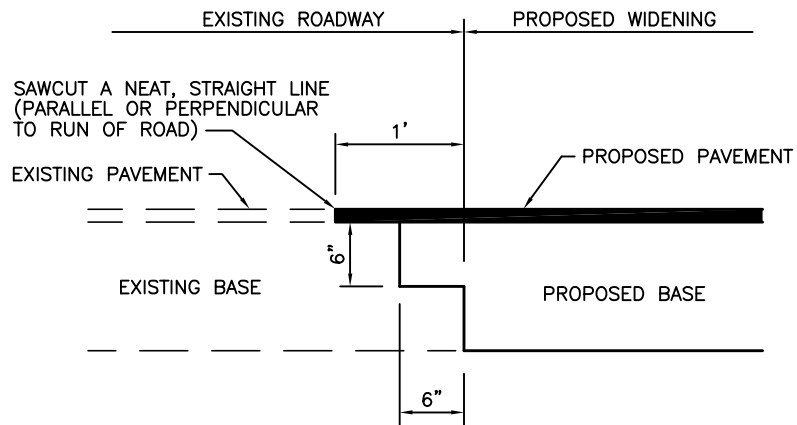
REVISED: -

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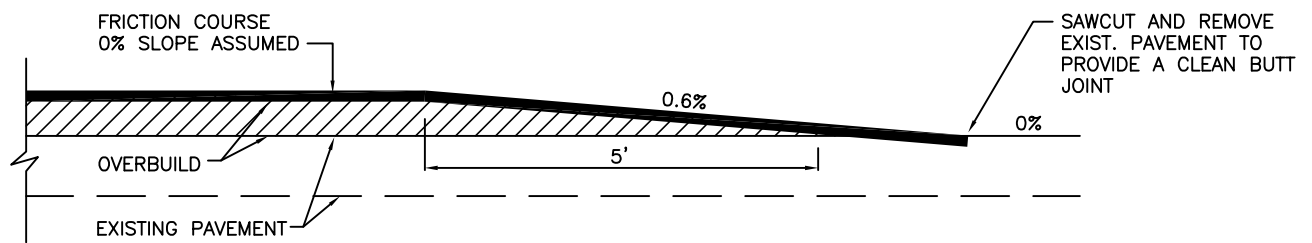
C-26



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	WIDENING DETAIL	DRAWING NO.:
APPROVED: JG		C-27



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SAWCUT DETAIL	DRAWING NO.:
APPROVED: JG		C-28



ISSUED: MAY 2023

DRAWN: EG

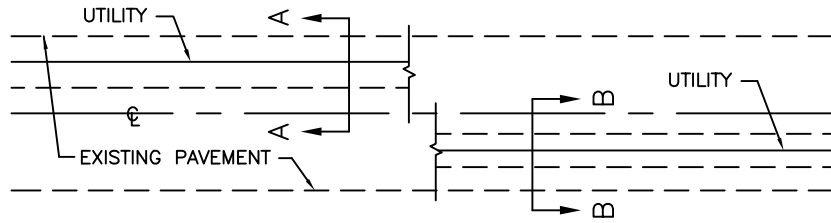
APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

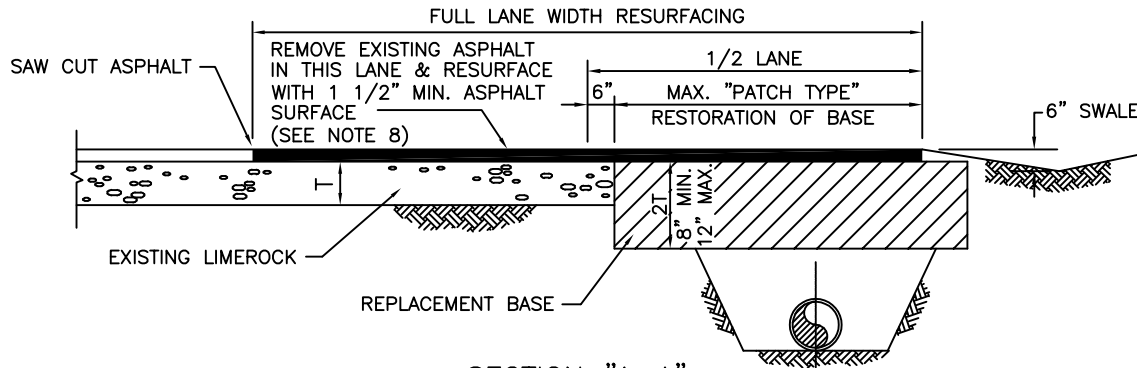
FEATHERING DETAIL

REVISED: -

DRAWING NO.:
C-29

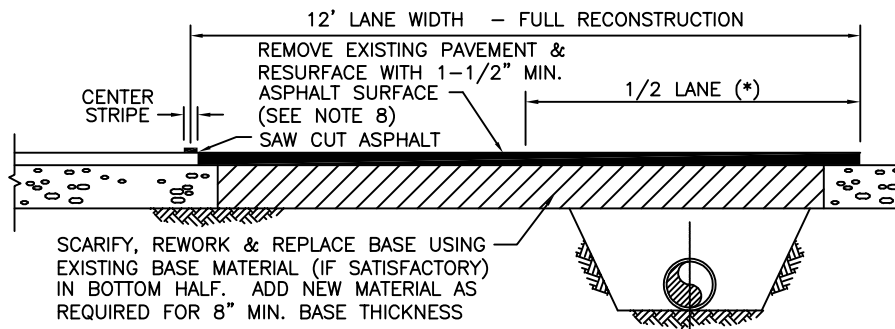


PLAN VIEW



SECTION "A-A"

TYPICAL RESTORATION OF LESS THAN 1/2 LANE OF ROCK BASE



SECTION "B-B"

TYPICAL RESTORATION OF 1/2 LANE OR MORE OF ROCK BASE

FLEXIBLE PAVEMENT RESTORATION
PARALLEL UTILITY INSTALLATION

(*) IF TRENCH IMPACTS MORE THAN 1/2 A LANE WIDTH SECTION B-B SHALL BE USED.

NOTES:

1. BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM THICKNESS LAYERS WITH EACH LAYER COMPACTED AS REQUIRED AND TESTED PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
3. SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
4. BACKFILL SHALL BE PLACED AND COMPACTED IN 8" LAYERS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
5. ALL EDGES OF EXISTING ASPHALT PAVEMENT WHERE RESURFACING WILL ABUT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
6. RESURFACING MATERIAL SHALL BE OF THE SAME MIX AS THE EXISTING SURFACE AND SHALL BE APPLIED A MINIMUM OF 1-1/2" INCHES IN THICKNESS.
7. FULL ROAD WIDTH RESURFACING MAY BE REQUIRED. SEE PLANS.

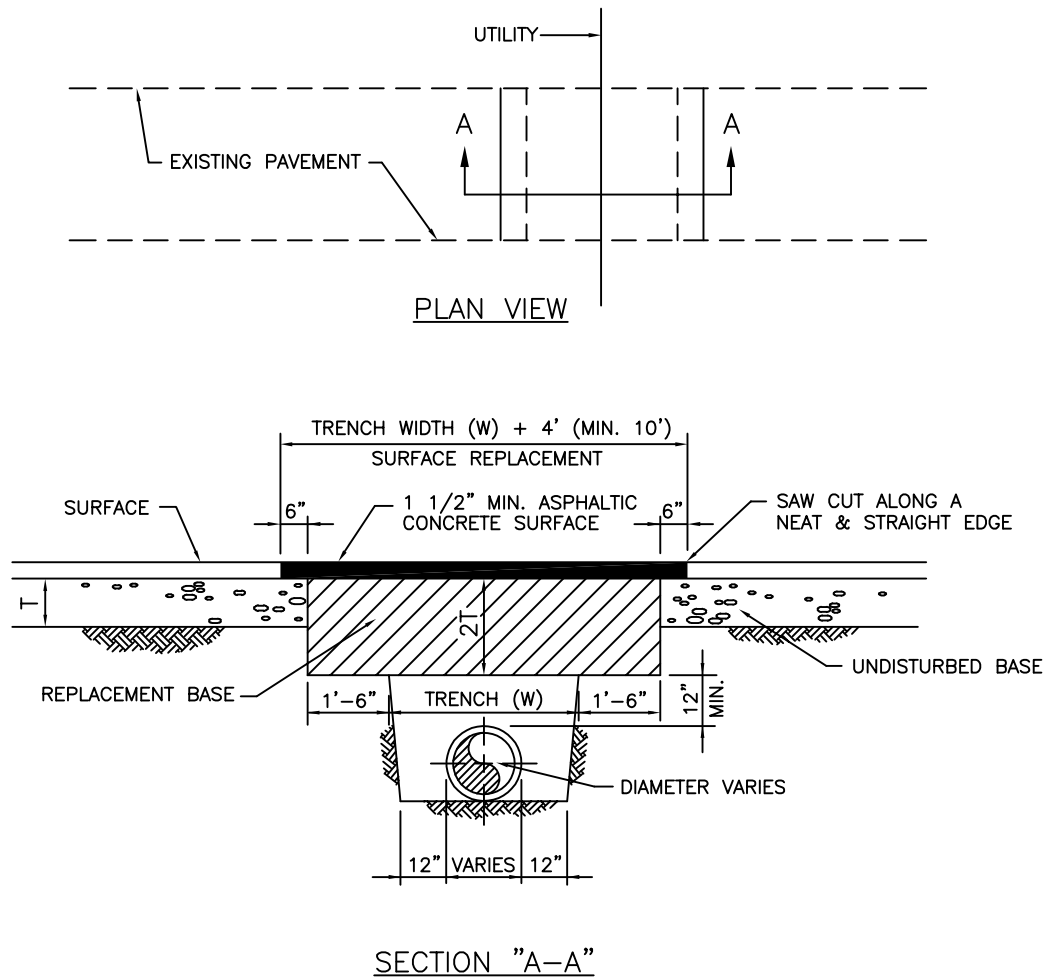


ISSUED: MAY 2023
DRAWN: EG
APPROVED: JG

DEPARTMENT OF DEVELOPMENT SERVICES
ENGINEERING, TRANSPORTATION & MOBILITY DIVISION

FLEXIBLE PAVEMENT RESTORATION
PARALLEL UTILITY INSTALLATION

REVISED: -
DRAWING NO.:
C-30

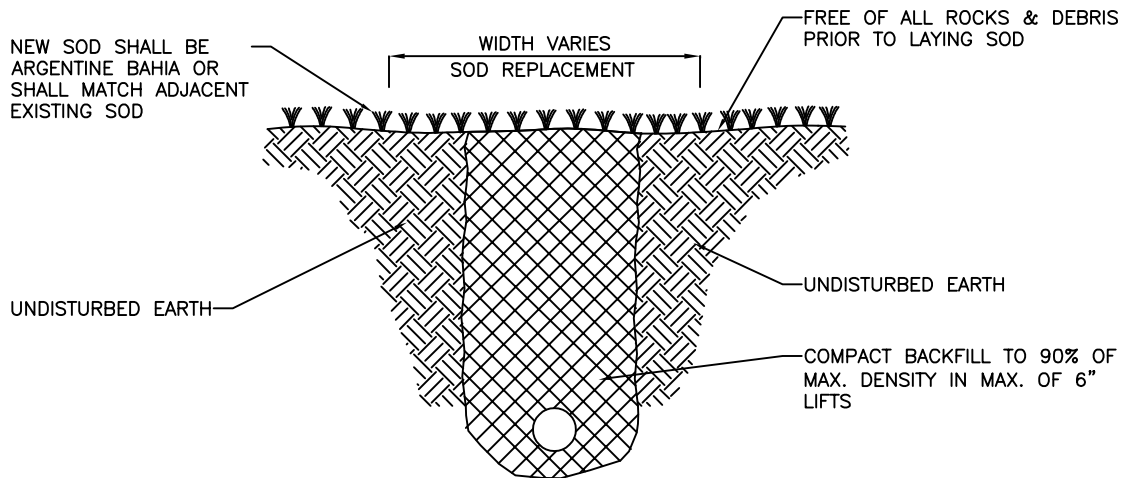


NOTES:

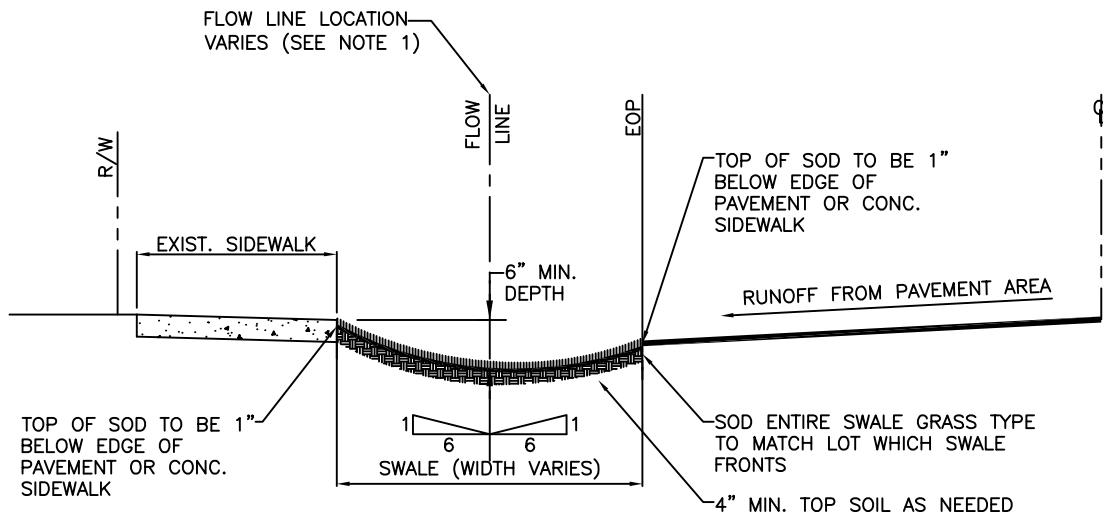
1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
6. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
7. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
8. MINIMUM PAVEMENT RESTORATION WIDTH IS 10'.



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO.:
APPROVED: JG		C-31



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	TURF RESTORATION DETAIL	DRAWING NO.:
APPROVED: JG		C-32



NOTES:

1. HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE 6:1 SLOPE FROM THE EDGE OF S/W AND 6:1 SLOPE FROM EDGE OF PAVEMENT MEET.
2. TOP OF SOD ELEVATION AS SHOW ABOVE.



ISSUED: MAY 2023 DRAWN: EG APPROVED: JG	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
	TYPICAL SWALE GRADING	
	DRAWING NO.: C-33	

GENERAL PROVISIONS

- 1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL APPLICABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
2. ALL CONSTRUCTION PROJECTS OR WORK AREAS TO BE DISCHARGED TO OFFSITE AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL WARE AND CONSTRUCTION ACTIVITIES. IN ORDER TO MEET THESE REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP), IMPLEMENTING, INSPECTING, MAINTAINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING AN ADVERSE IMPACT STATEMENT AND A PLAN TO PREVENT OR MINIMIZE ANY ADVERSE IMPACTS TO ADJACENT PROPERTIES. THE CONTRACTOR IS STILL RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING DRAINAGE AND SEDIMENT CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING AT THE TIME OF SUBMISSION OF CHANGES TO THE DRAWINGS OR APPROVED IN WRITING BY THE ENGINEER.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING AT THE TIME OF SUBMISSION OF CHANGES TO THE DRAWINGS OR APPROVED IN WRITING BY THE ENGINEER.

SITE PREPARATION

- 1. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF-WAY, AND EASEMENTS AS INDICATED ON THE DRAWINGS.
2. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY BENCH MARKS, BATTER BOARDS, CENTRALS, SNAELES, AND REFERENCE POINTS FOR THE WORK.
3. PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER RESERVED PROPERTIES.
4. AREA TO RECEIVE CLEANING AND DRUBRING SHALL INCLUDE ALL AREAS TO BE OCCUPIED BY THE PROPOSED IMPROVEMENTS, AREAS FOR FILL AND SITE GRADING, AND BORROW SITES.
5. CLEARING SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE AND SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE.

GRADING

- 1. GRADING SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE AND SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE.
2. FINISHED SURFACES AT INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTH, TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BENDS OR SPIRES.
3. FINISHED SURFACES SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTH, TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BENDS OR SPIRES.
4. SLOPE GRADIENTS SHALL BE MAINTAINED AS CLOSE TO THE ORIGINAL GRADIENT AS PRACTICABLE AND TO THE MINIMUM REQUIRED TO PREPARE THE SITE.

UTILITY GENERAL NOTES

- 1. THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
2. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMISSION TO CROSS OR CROSS UNDER THE UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELATIONS OF THESE UTILITIES WITH THE UTILITY.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

EXCAVATION, TRENCHING, AND FILL

- 1. THE CONTRACTOR SHALL OBSERVE AND ABIDE BY ALL OSHA CONSTRUCTION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT, FS 329.50-51.00.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
3. EXCAVATION SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE AND SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE.
4. EXCAVATION SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE AND SHALL BE LIMITED TO THE MINIMUM REQUIRED TO PREPARE THE SITE.

AS-BUILT DRAWING REQUIREMENTS

- 1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER THREE WEEKS PRIOR TO FINAL INSPECTION.
2. AT THE COMPLETION OF THE WORK, DELIVER THE DRAWINGS DOCUMENTING AS-BUILT INFORMATION, MEASURED BY A LICENSED SURVIVOR, TO THE ENGINEER.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

UTILITY SEPARATION REQUIREMENTS

- 1. THE HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER, STORM SEWER, WASTEWATER FORCE MAINS, STORMWATER FORCE MAINS, RECLAIMED WATER MAINS AND ORIGIN SERVICE TREATMENT AND DISPOSAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
2. THE HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER, STORM SEWER, WASTEWATER FORCE MAINS, STORMWATER FORCE MAINS, RECLAIMED WATER MAINS AND ORIGIN SERVICE TREATMENT AND DISPOSAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
3. THE HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER, STORM SEWER, WASTEWATER FORCE MAINS, STORMWATER FORCE MAINS, RECLAIMED WATER MAINS AND ORIGIN SERVICE TREATMENT AND DISPOSAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

EROSION AND SEDIMENT CONTROL

- 1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

PROPOSED PROTECTION SYSTEMS

- 1. CONSTRUCTIVE PROTECTION SYSTEMS SHALL BE PROVIDED TO PREVENT EROSION AND SEDIMENTATION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

TRAFFIC CONTROL

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

WATER AND RECLAIMED WATER DISTRIBUTION SYSTEMS

- 1. THE DESIGN THAT WILL OPERATE AND MAINTAIN THE WATER SYSTEMS SHOWN ON THESE PLANS IS THE CITY OF HOLLYWOOD.
2. ALL WATER AND RECLAIMED MAIN PIPE SHALL BE EITHER DUCTILE IRON PIPE OR PVC UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
3. INSTALL ALL WATER AND RECLAIMED MAINS AT A MINIMUM 36 INCHES OF COVER.
4. BURIED DUCTILE IRON PIPE SHALL CONFORM WITH ANSI/AWWA C900/12 AND A151/141.
5. EXPOSED PIPE OF 4" AND LARGER SHALL BE UNCLE RICH PIPING AND SHALL CONFORM WITH ANSI/AWWA C150/140.
6. DUCTILE IRON PIPE AND FITTINGS WITHIN 10 FEET OF GAS MAINS SHALL HAVE A 1/4" POLYETHYLENE WRAP.
7. PVC PIPE 12" AND LARGER SHALL BE UNCLE RICH PIPING AND SHALL CONFORM WITH ANSI/AWWA C150/140.
8. PVC PIPE 12" AND LARGER SHALL BE UNCLE RICH PIPING AND SHALL CONFORM WITH ANSI/AWWA C150/140.

PRECAST STRUCTURES AND APPURTENANCES

- 1. ALL MANHOLES SHALL BE PRECAST CONSTRUCTION.
2. BASES SHALL BE ONE-PRECAST PRECAST BASE SECTIONS CONSTRUCTED OF INTERLOCKING CAST BAS.
3. RISERS SHALL BE PRECAST REINFORCED CONCRETE PER ASTM C44.
4. GASKETS FOR SEALING PRECAST SECTIONS SHALL BE COLD ADHESIVE PREFORMED PLASTIC GASKETS CONFORMING TO FOOT SPECIFICATION 4-2.
5. UNLESS OTHERWISE INDICATED, COVER TOP SECTIONS SHALL BE PRECAST ECCENTRIC TYPE WITH 4 INCH DIAMETER TOP OPENING CONFORMING TO ASTM C64.
6. UNLESS OTHERWISE INDICATED, COVER TOP SECTIONS SHALL BE PRECAST ECCENTRIC TYPE WITH 4 INCH DIAMETER TOP OPENING CONFORMING TO ASTM C64.

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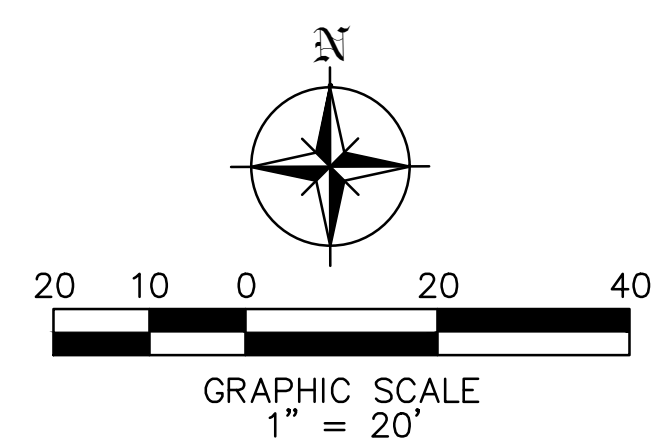
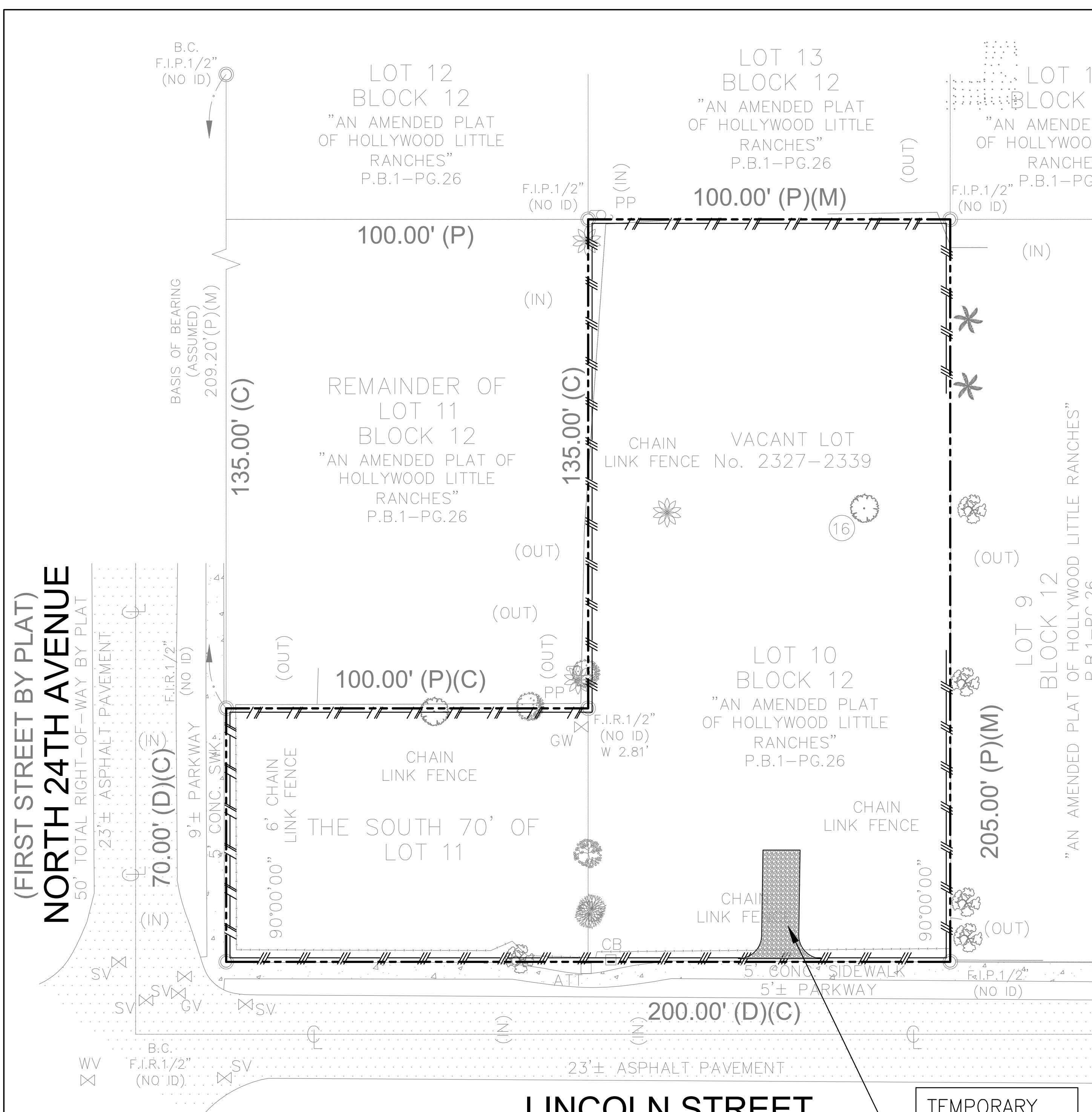
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Project: TOWNHOMES
2327-3339 Lincoln Street, Hollywood, FL 33020

Plan Description: [Text]
Scale: [Text]
Date: [Text]

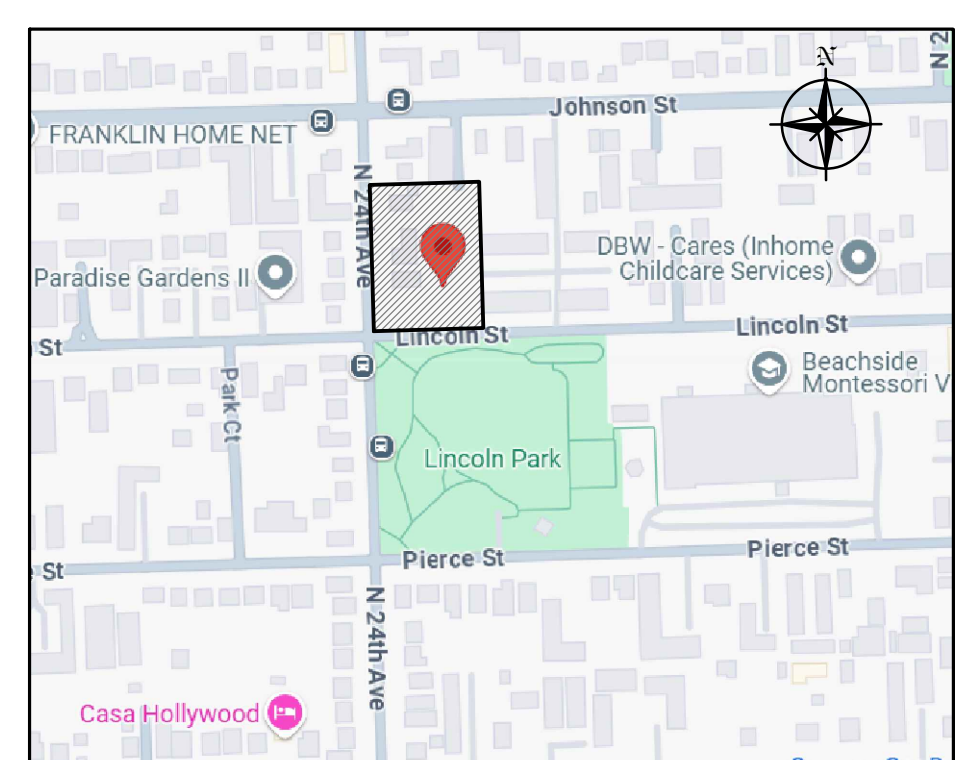
Designed by: JORGE M. SZAUER
Drawn by: J. JANSE
Reviewed & Sealed: JORGE M. SZAUER
Date: DEC. 2024
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Job No.:

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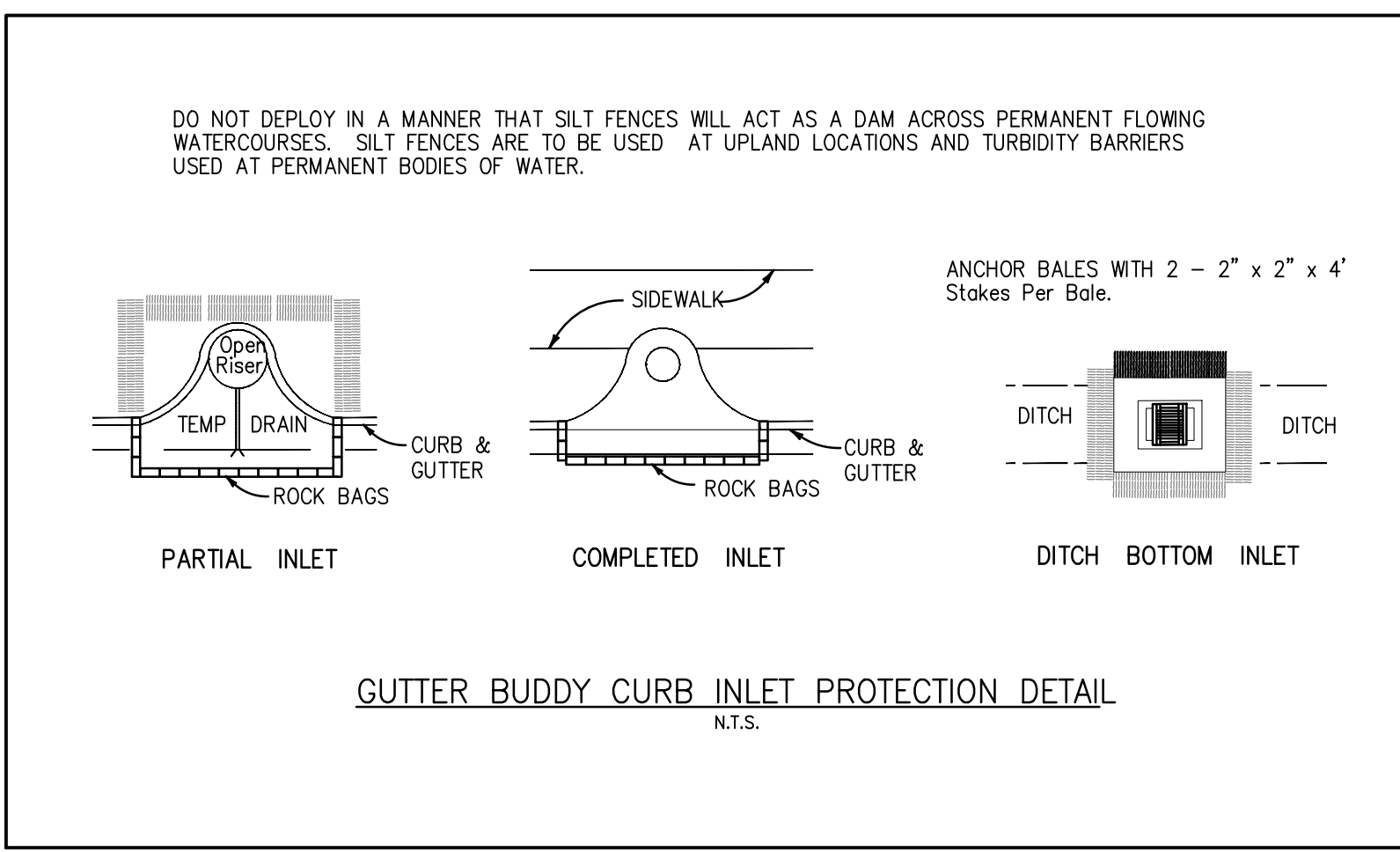
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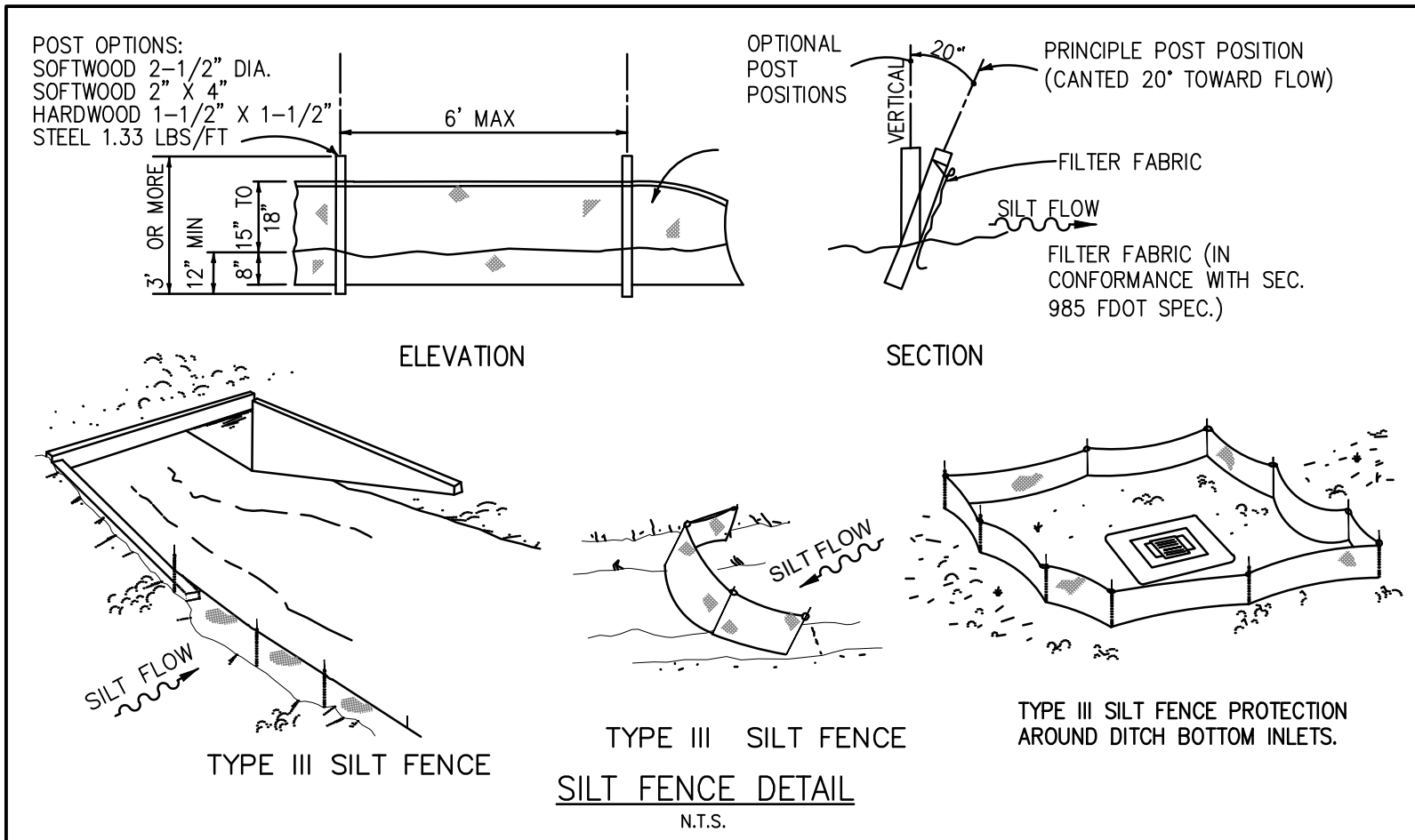
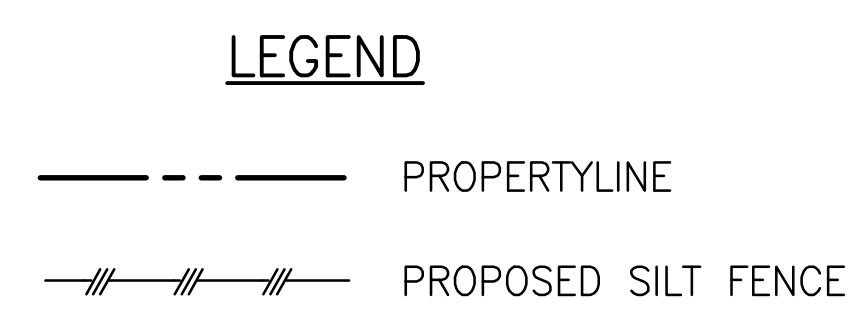
CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT INTRUSION INTO STORM WATER INLETS DURING CONSTRUCTION, WHEN APPLICABLE.



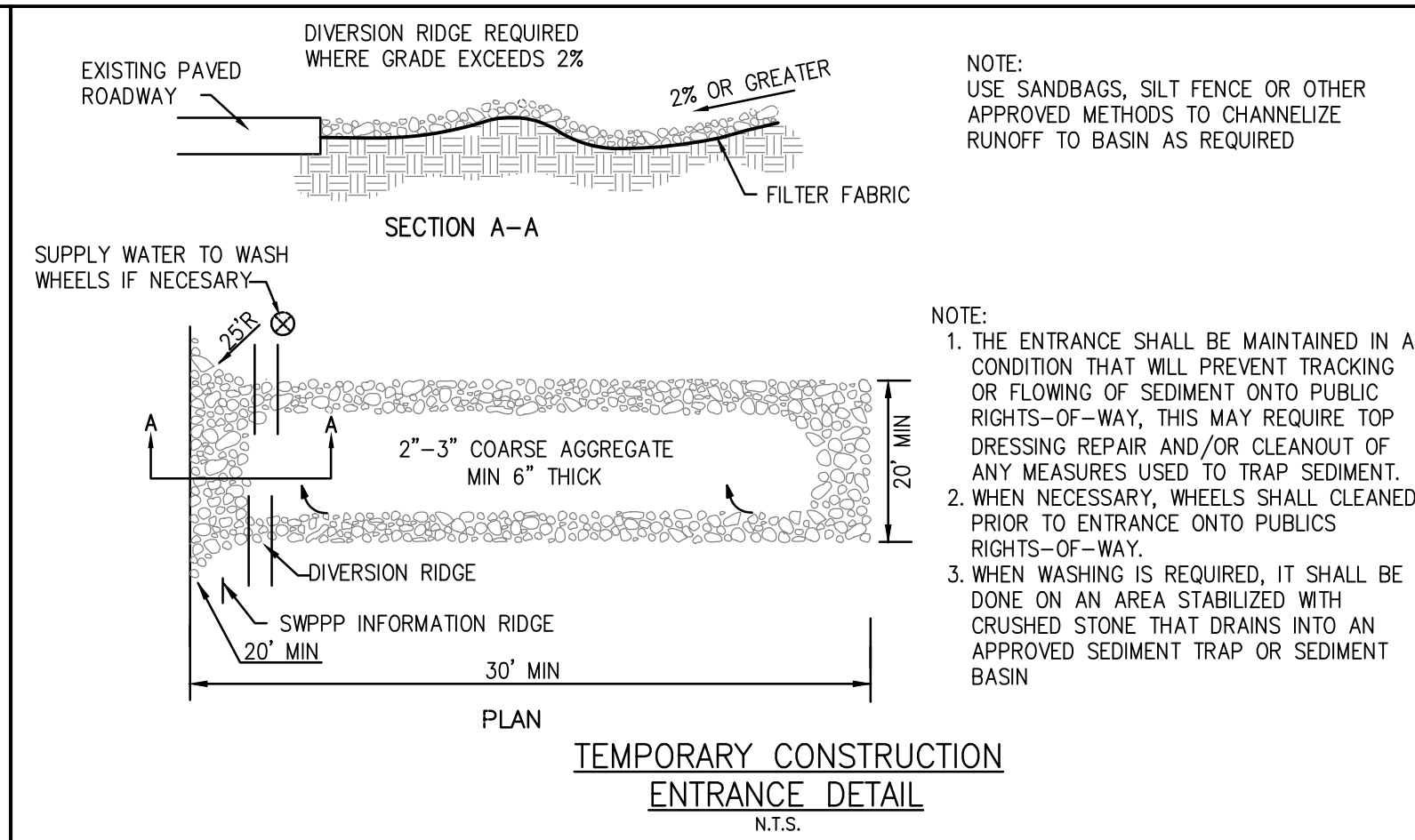
LOCATION MAP
N.T.S.



GUTTER BUDDY CURB INLET PROTECTION DETAIL
N.T.S.



TYPE III SILT FENCE
SILT FENCE DETAIL
N.T.S.



TEMPORARY CONSTRUCTION
ENTRANCE DETAIL
N.T.S.

- GENERAL EROSION & SEDIMENTATION CONTROL NOTES**
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 - SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
 - CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND / OR GRADING SHALL BE PERMITTED.
 - GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES.
 - ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
 - SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
 - DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 - RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 - ALL DENUDED / BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS / GRAIN VARIETIES, STRAW / HAY MULCH WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
 - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND / OR VEGETATED IMMEDIATELY, AND NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND / OR LANDSCAPE PLAN.
 - IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS / EGRESS LOCATIONS AS PROVIDED.
 - ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 - CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
 - ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA

- LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
 - DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
 - GENERAL CONTRACTOR IS TO DESIGNATE / IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
 - WHEN INSTALLATION OF SILT FENCE IS PERFORMED, THE CONTRACTOR SHALL STABILIZE THE DISTURBED AREA ALONG THE DOWNWARD SLOPE BY SEEDING OR MULCHING AS CONDITIONS WARRANT.
- BMP MAINTENANCE EROSION NOTES**
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - ALL SEEDED / SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED / RESODDED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
 - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
 - OUTLET STRUCTURES SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
 - PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. AND DEBRIS AND / OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.
- WASHING AREAS**
- VEHICLES SUCH AS CEMENT OR DUMP TRUCKS AND OTHER CONSTRUCTION EQUIPMENT SHOULD NOT BE WASHED AT LOCATIONS WHERE THE RUNOFF WILL FLOW DIRECTLY INTO A WATERCOURSE OR STORMWATER CONVEYANCE SYSTEM. SPECIAL AREAS SHOULD BE DESIGNATED FOR WASHING VEHICLES. THESE AREAS SHOULD BE LOCATED WHERE THE WASH WATER WILL SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND, OR WHERE RUNOFF CAN BE COLLECTED IN A TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHOULD HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.

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Reviews:

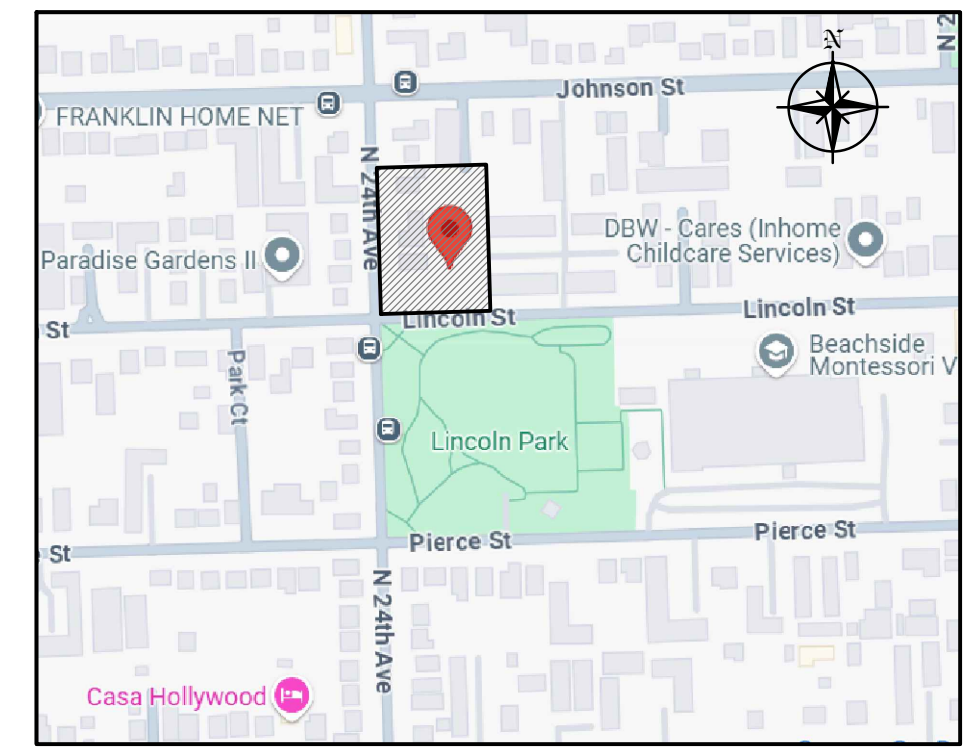
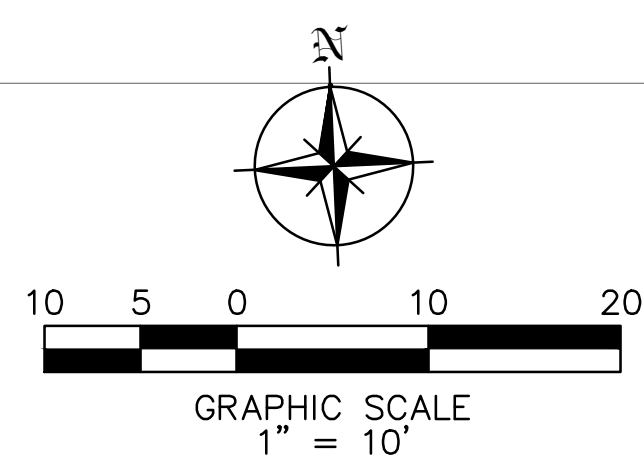
Client: **TOWNHOMES**
Project: **TOWNHOMES**
2327-2339 Lincoln Street Hollywood, FL 33020

Plan Description: **EROSION CONTROL PLAN**

Seal: **JORGE SZAUDER**
FLA. REG. P.E. # 62579
Designed by: **JORGE M. SZAUDER**
Drawn by: **J. JANSE**
Reviewed & Sealed: **JORGE M. SZAUDER**
Date: **DEC. 2024**
Scale: **AS SHOWN**
Job #: **C-02**

Sheet: **C-02**
of Sheets

NOTE:
ROOF DRAIN TO BE CONNECTED TO PROPOSED STORMWATER DRAINAGE SYSTEM



LOCATION MAP
N.T.S.

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Reviews:

NOTE:
ANY LIP FROM 1/4" BUT NO GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS

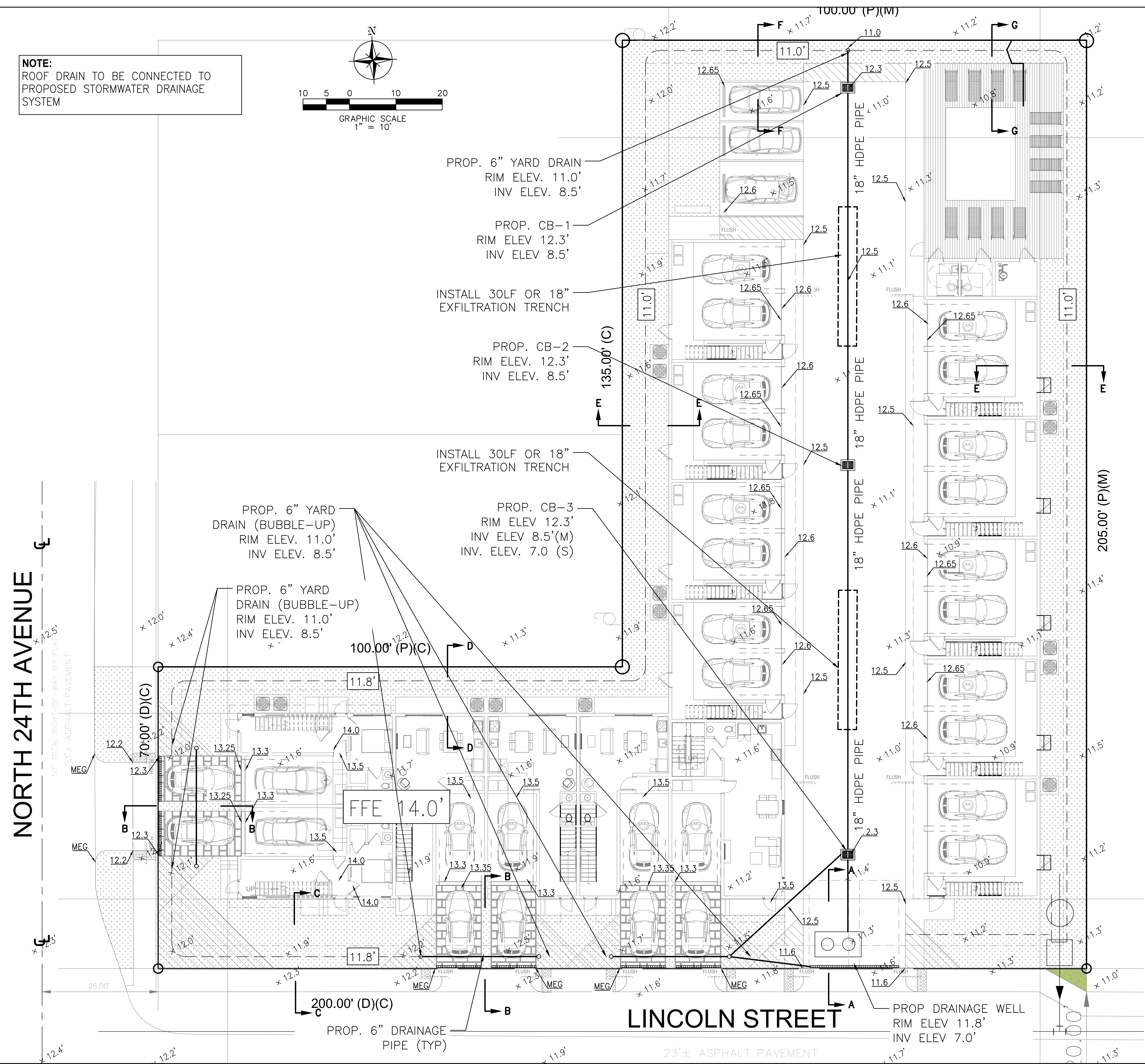
ALL ELEVATIONS ARE RELATIVE TO THE NAVD 88 DATUM

LEGEND

- PROPERTY LINE
- +11.3' EXISTING ELEVATION
- 7.50 PROP. GRADING ELEVATION
- MEG MATCH EXISTING GRADE
- GRASS
- 5' ROW DEDICATION

NORTH 24TH AVENUE

LINCOLN STREET



Client: **TOWNHOMES**

Plan Description: **PAVING, GRADING & DRAINAGE**

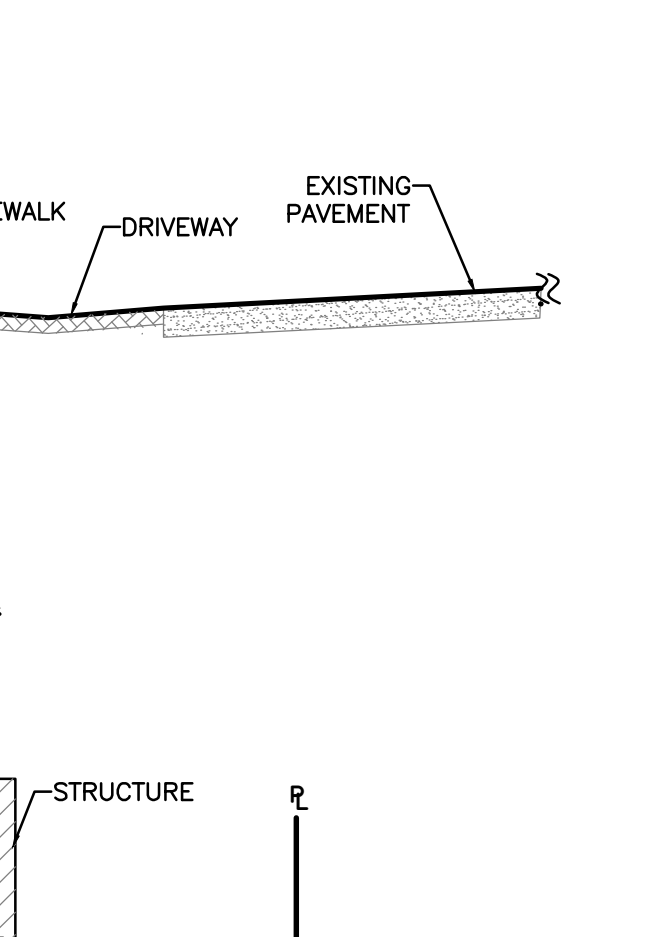
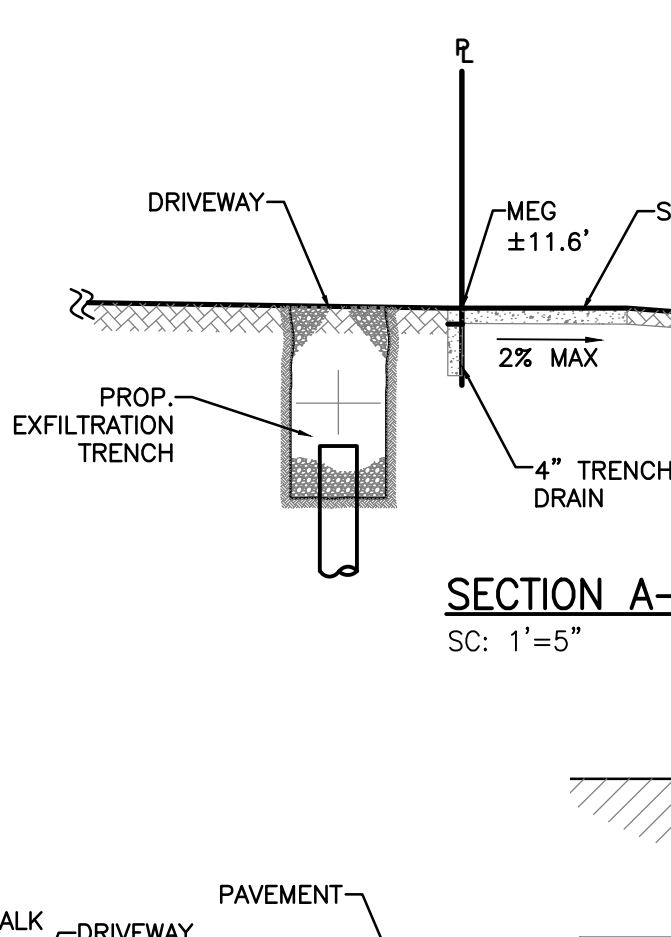
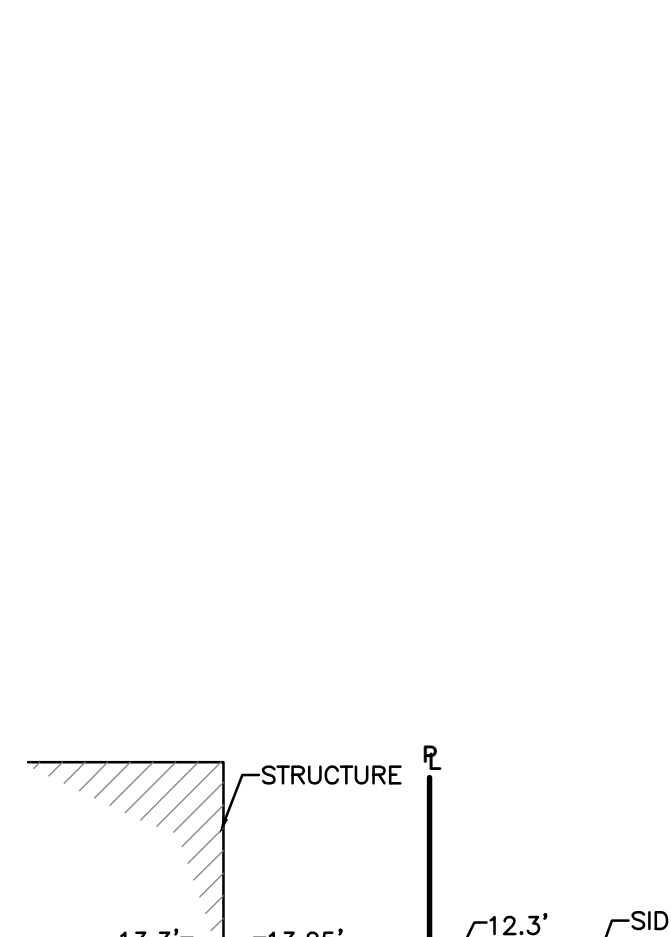
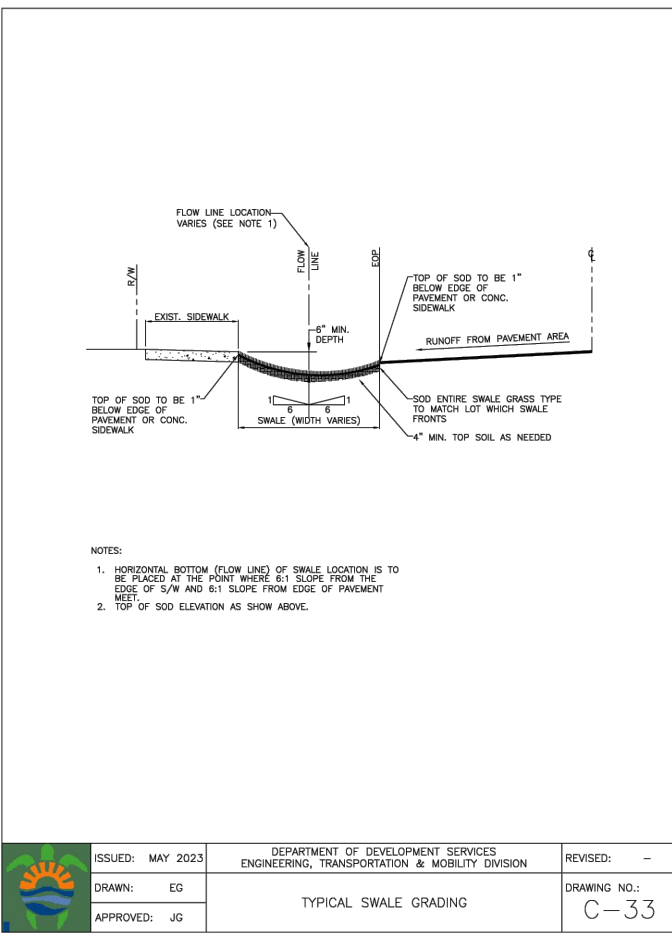
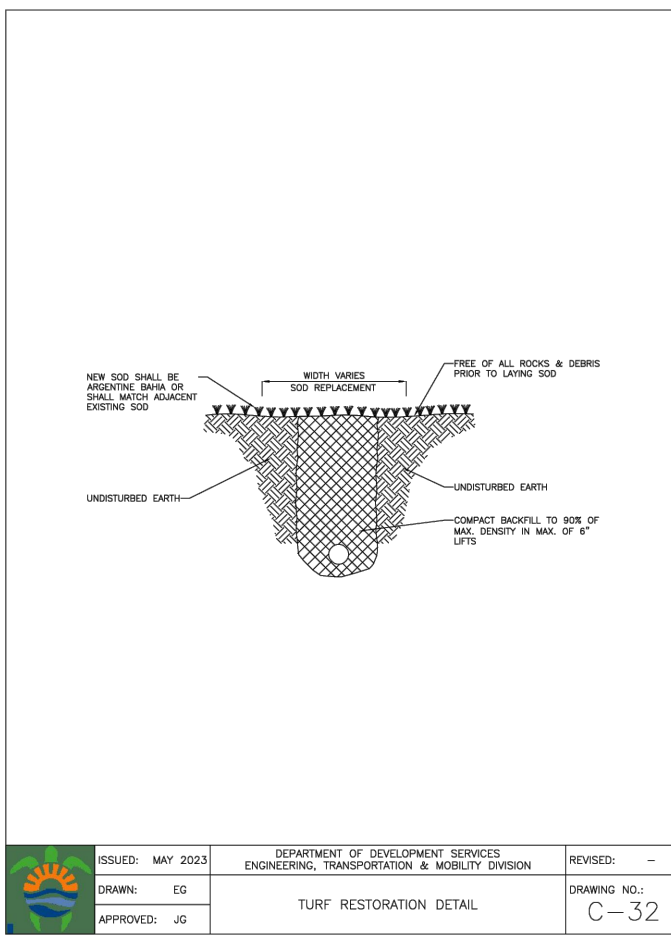
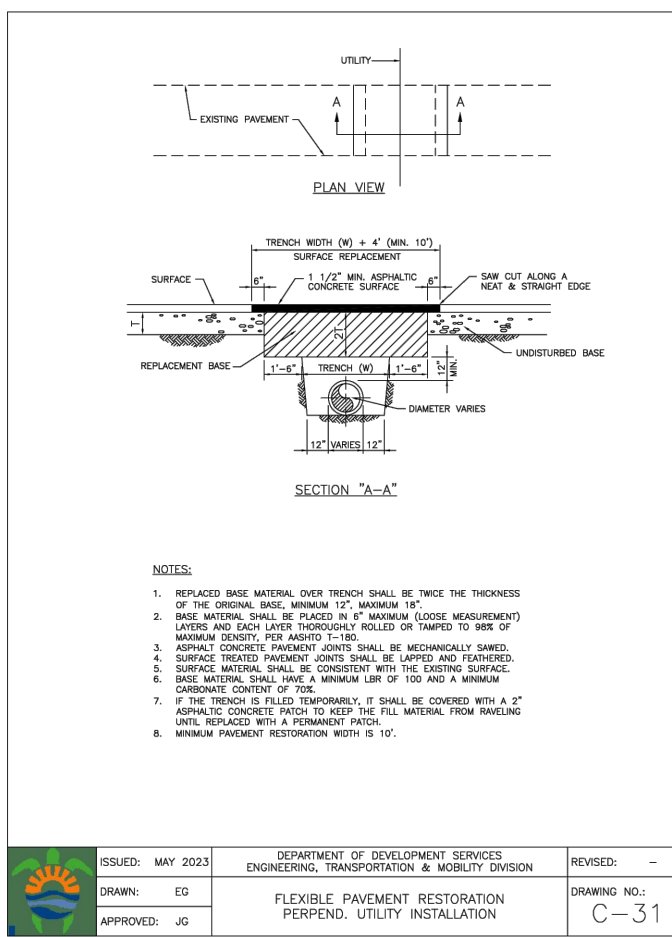
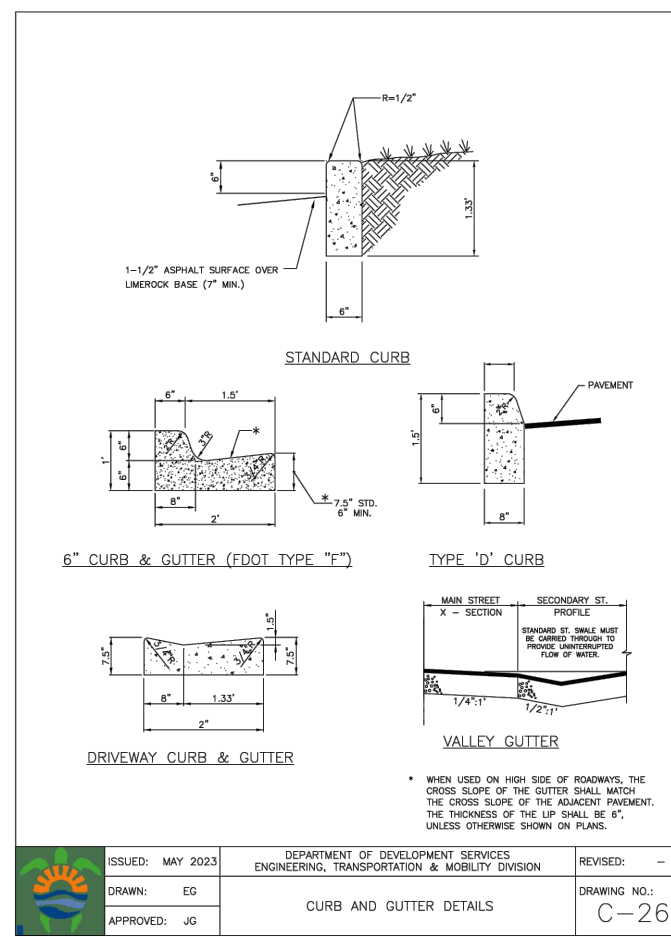
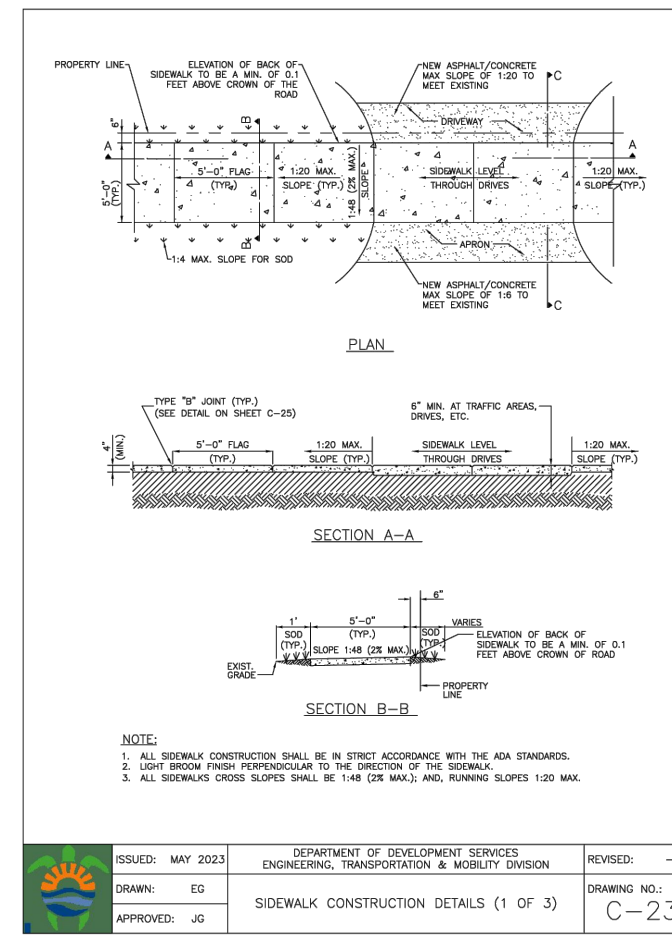
Seal: **JORGE SZAUER**
FLA. REG. P.E. # 62579

Designed by: **JORGE M. SZAUER**
Drawn by: **J. JANSE**
Reviewed & Sealed: **JORGE M. SZAUER**
Date: **DEC. 2024**
Scale: **AS SHOWN**
Job No.:

Sheet: **C-03**
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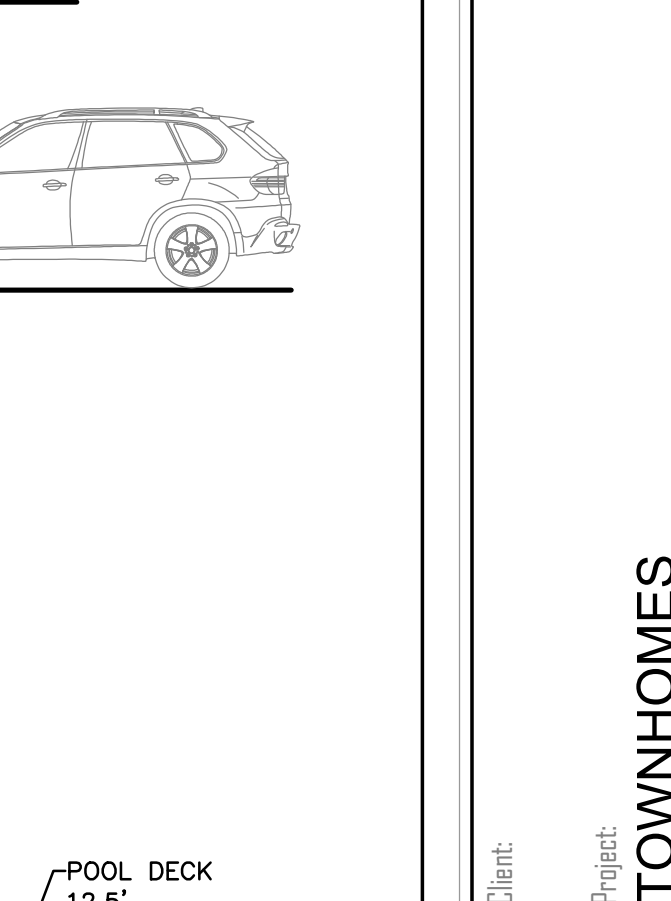
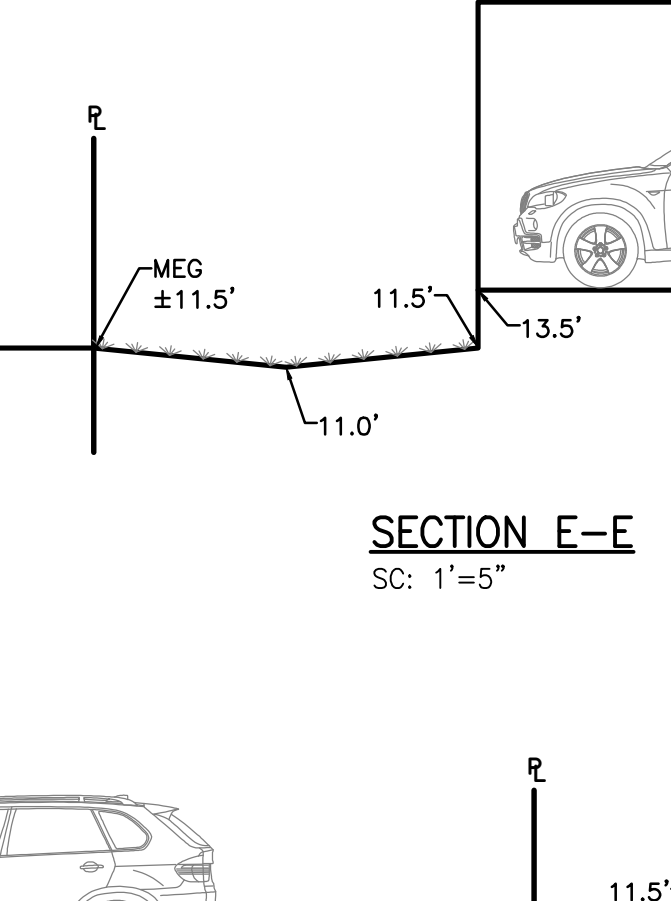
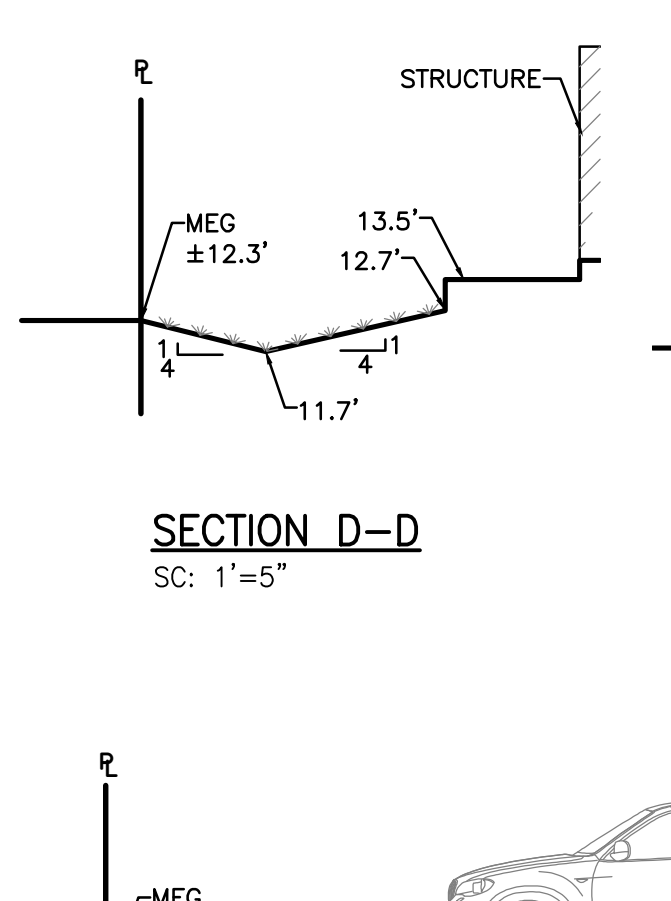
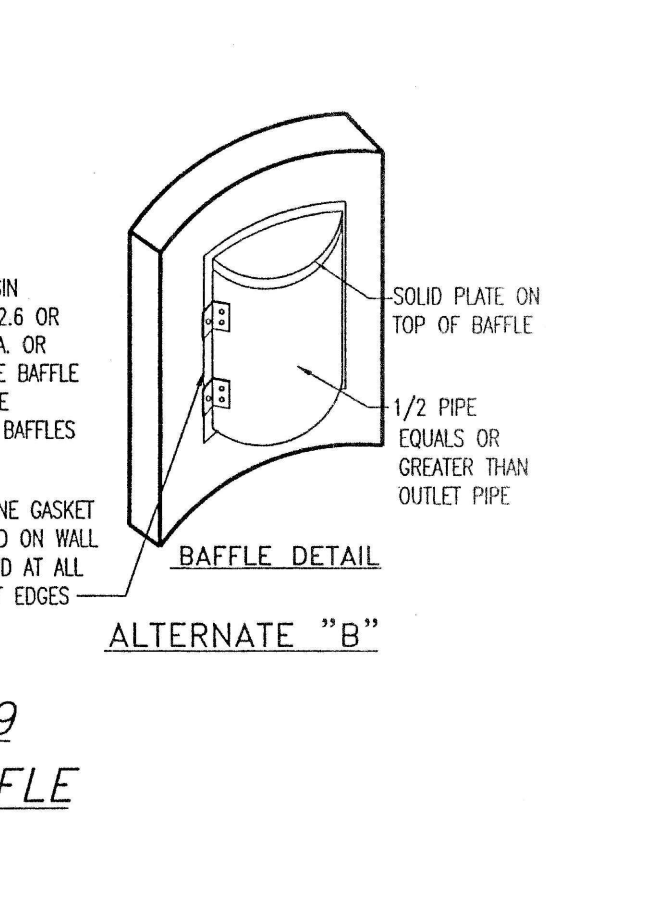
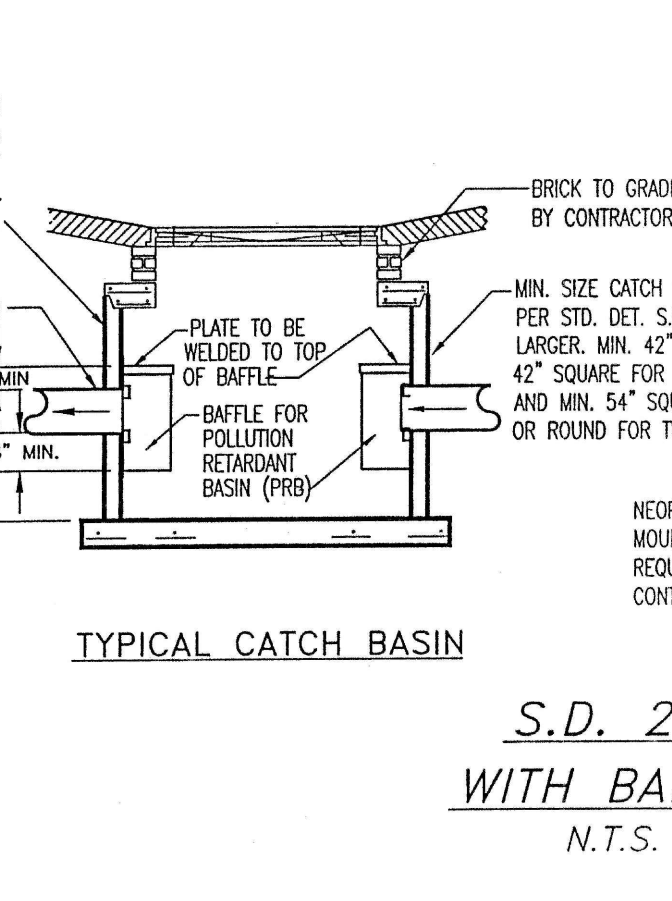
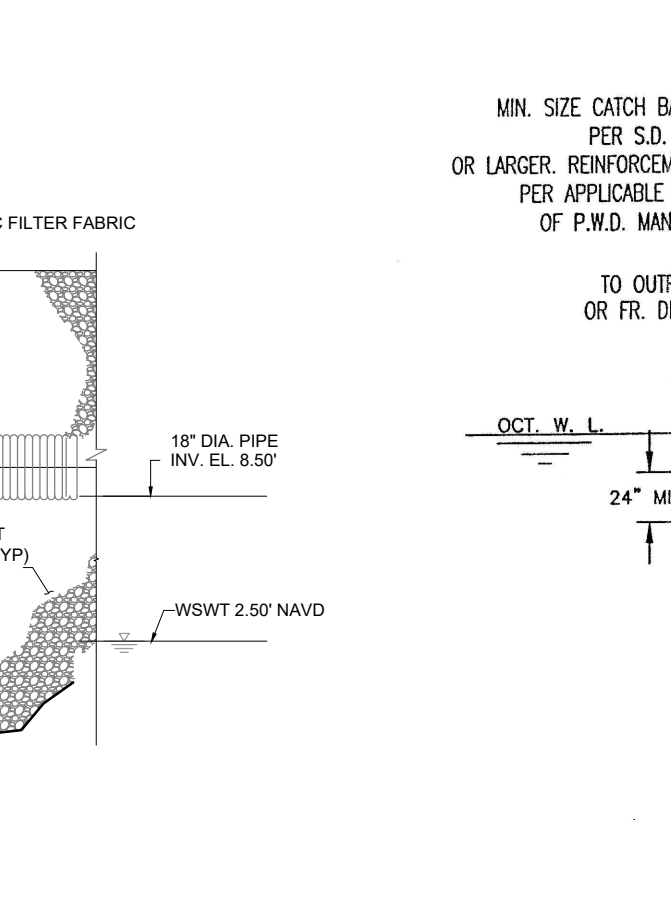
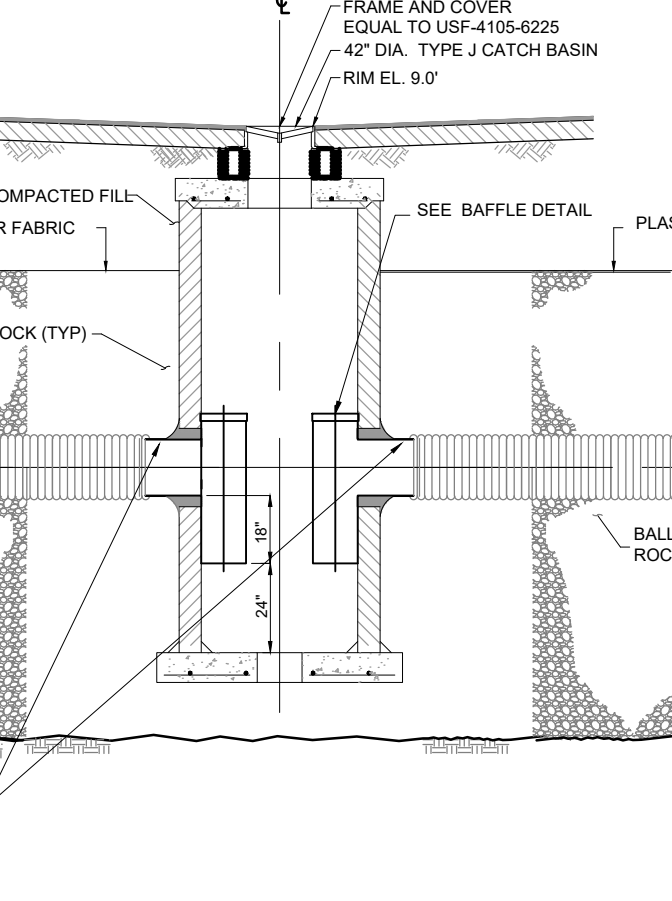
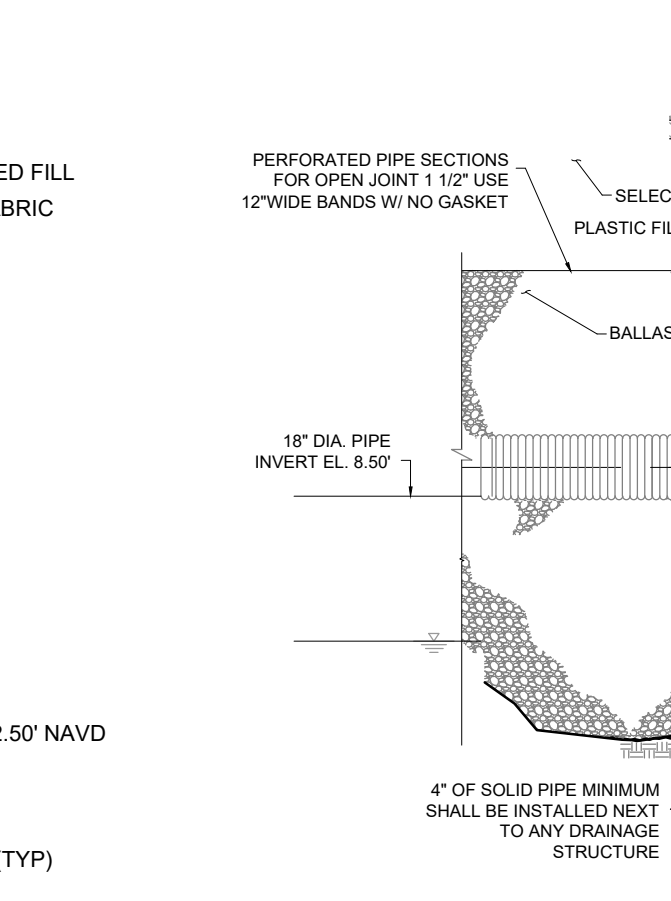
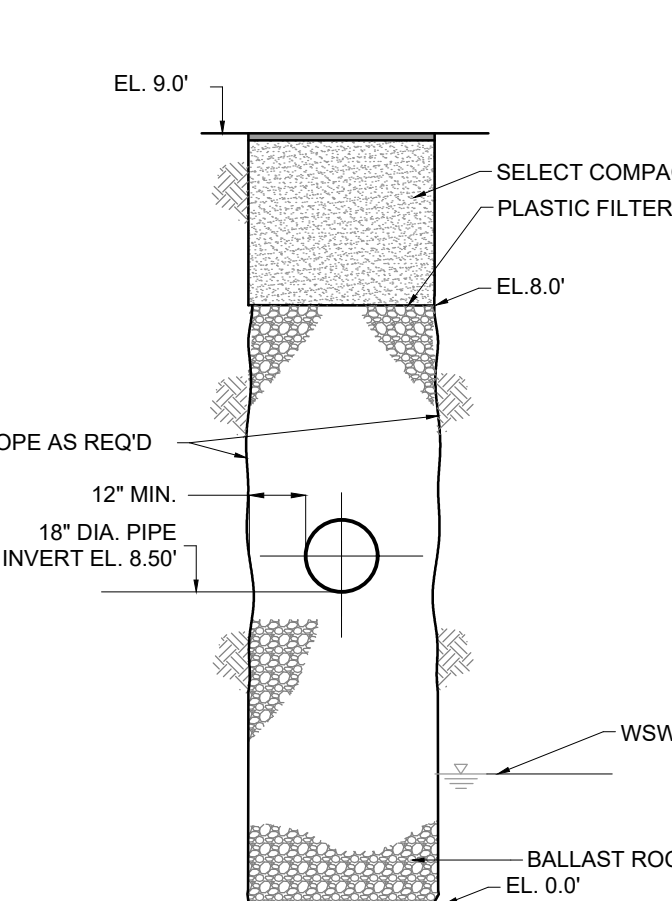
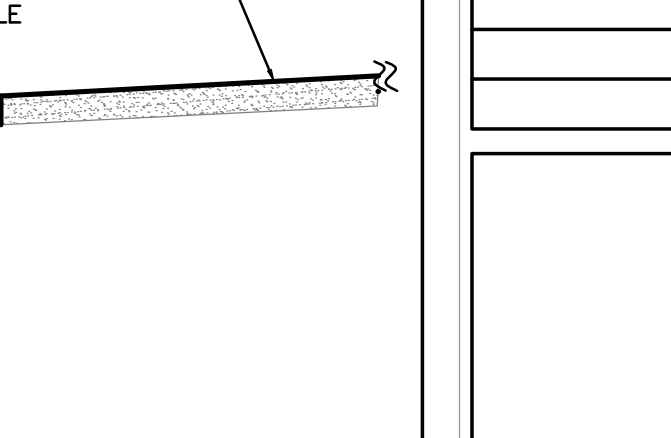
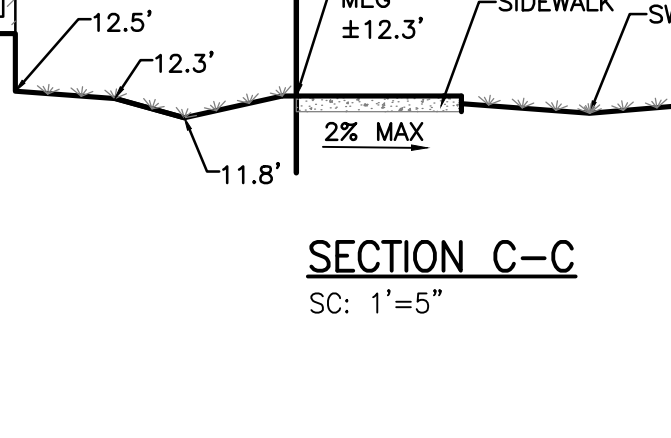
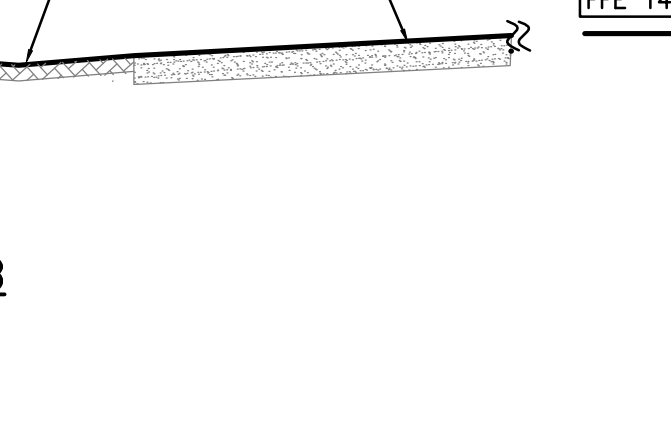
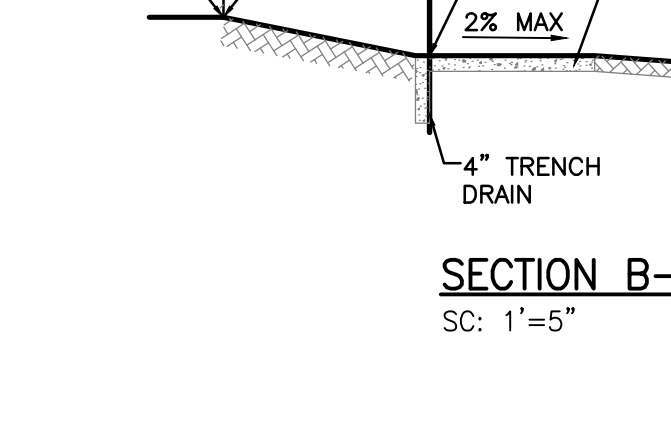
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES	ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISION:
DRAWN: ES	SECTIONAL CONSTRUCTION DETAILS (1 OF 3)	DRAWING NO. C-23	
APPROVED: JS			

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES	ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISION:
DRAWN: ES	CURB AND GUTTER DETAILS	DRAWING NO. C-26	
APPROVED: JS			

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES	ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISION:
DRAWN: ES	FLEXIBLE PAVEMENT RESTORATION PERPENDICULAR UTILITY INSTALLATION	DRAWING NO. C-31	
APPROVED: JS			

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES	ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISION:
DRAWN: ES	TURF RESTORATION DETAIL	DRAWING NO. C-32	
APPROVED: JS			

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES	ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISION:
DRAWN: ES	TYPICAL SMALL GRADING	DRAWING NO. C-33	
APPROVED: JS			



DETAIL	1
NTS	STD

DETAIL	2
NTS	STD

DETAIL	3
NTS	STD

DETAIL	4
NTS	STD

DETAIL	1
NTS	STD

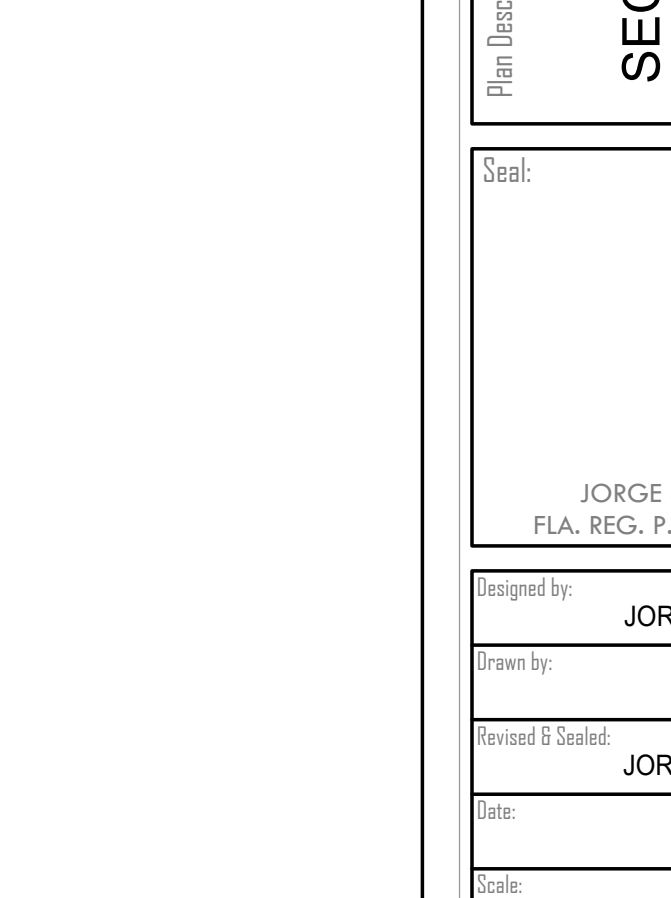
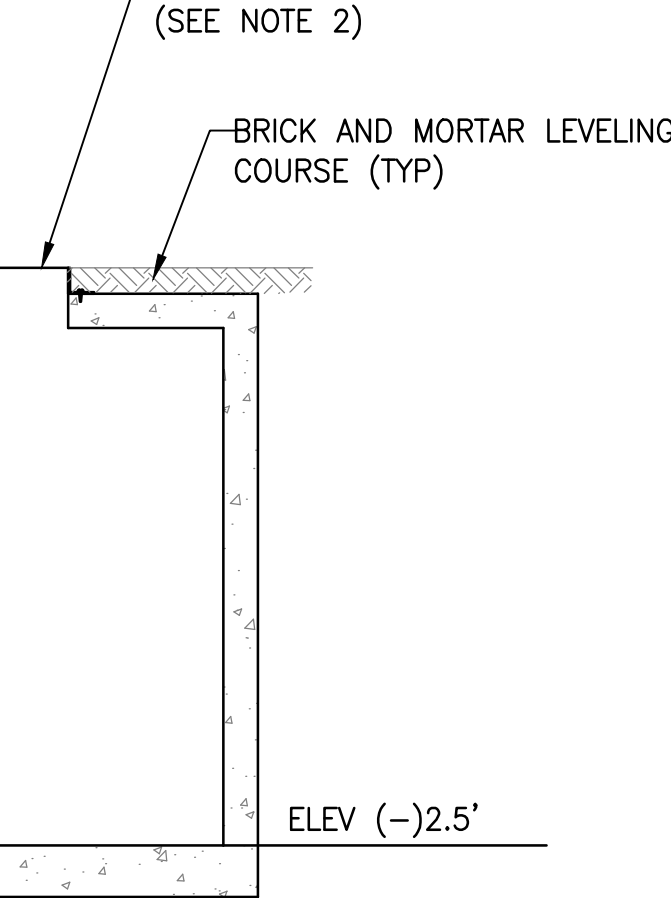
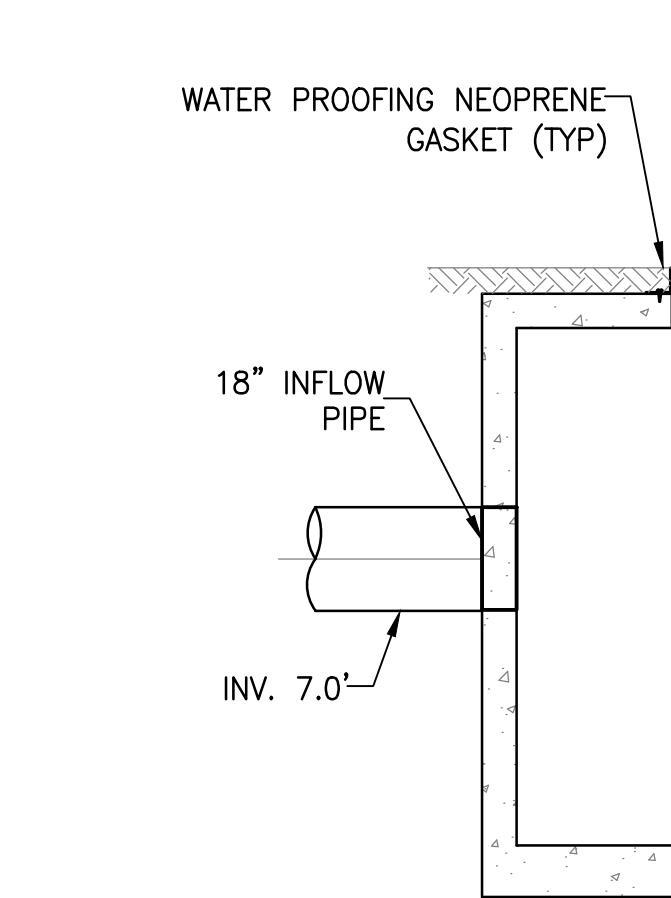
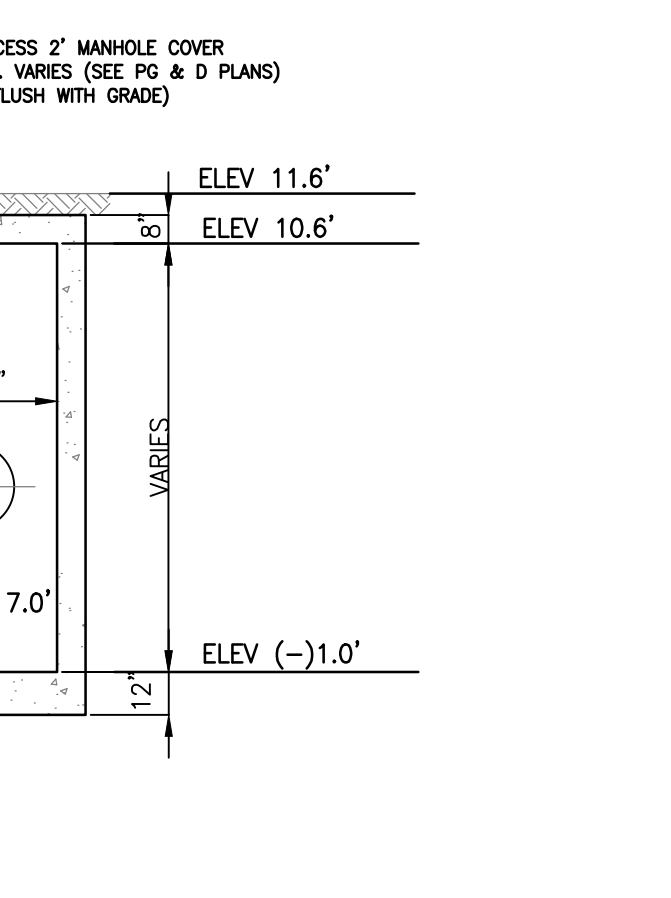
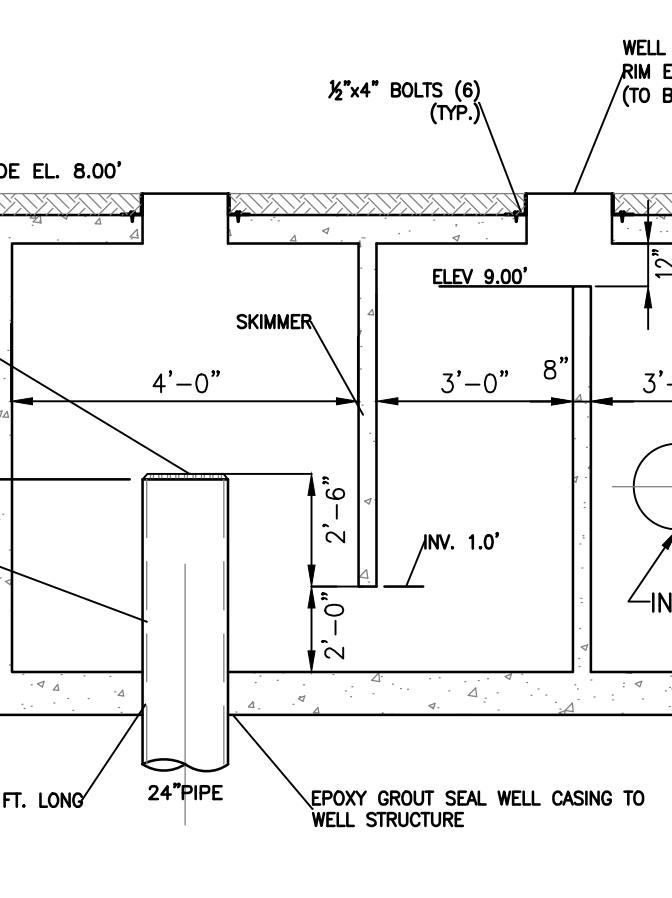
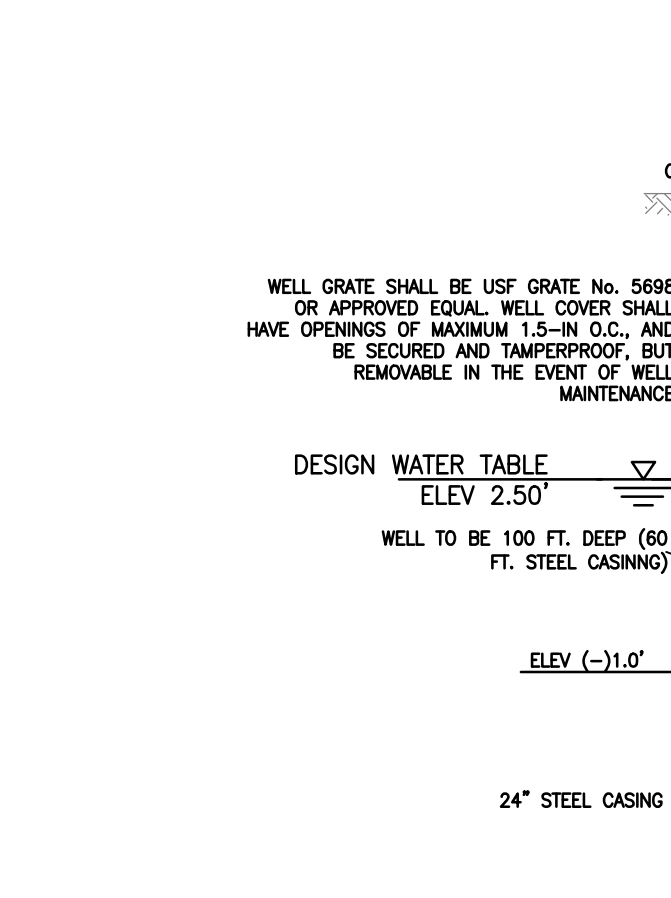
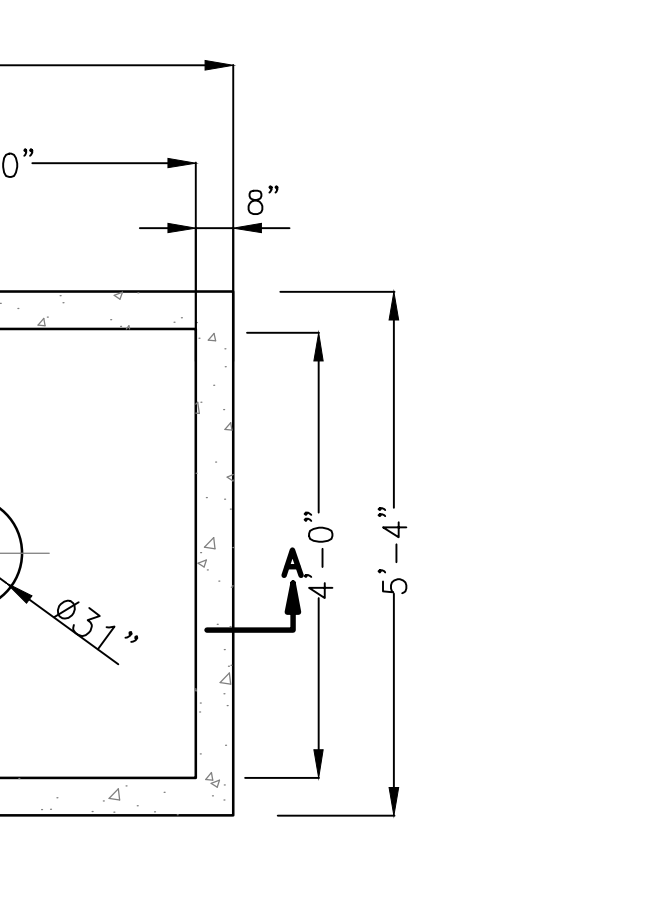
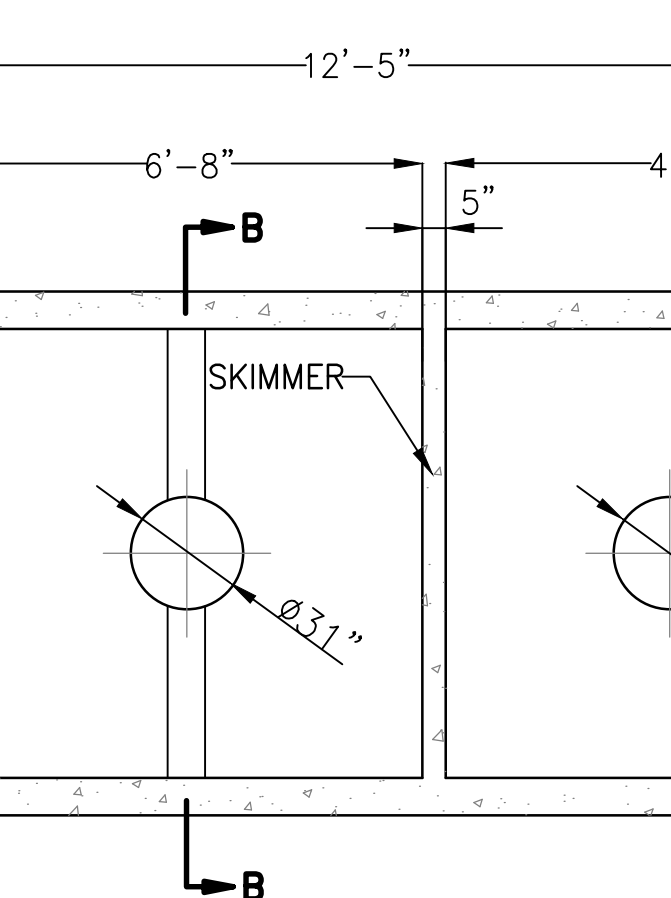
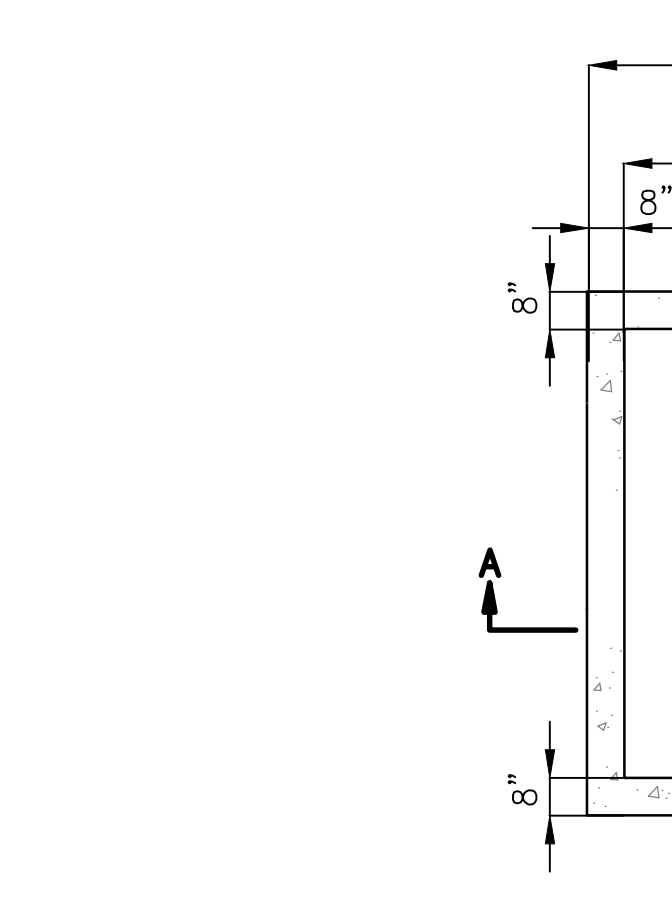
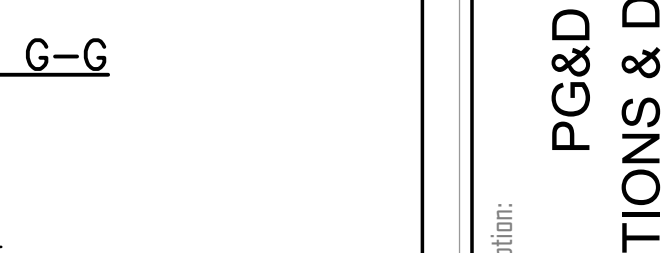
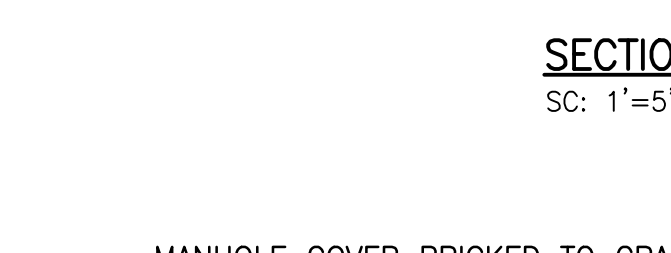
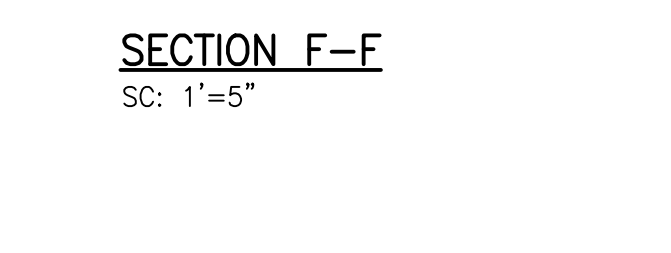
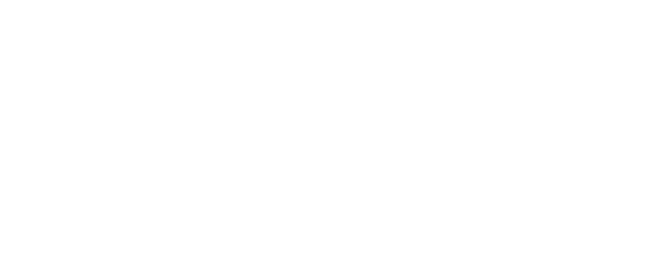
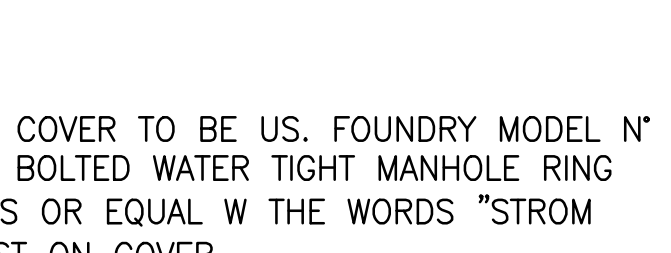
DETAIL	2
NTS	STD

DETAIL	3
NTS	STD

DETAIL	4
NTS	STD

DETAIL	5
NTS	STD

FRAME AND COVER TO BE US. FOUNDRY MODEL N° 195-EBWTL BOLTED WATER TIGHT MANHOLE RING AND COVERS OR EQUAL W THE WORDS "STROM SEWER" CAST ON COVER



DETAIL	4
NTS	STD

DETAIL	5
NTS	STD

DETAIL	6
NTS	STD

DETAIL	7
NTS	STD

DETAIL	8
NTS	STD

DETAIL	9
NTS	STD

DETAIL	10
NTS	STD

DETAIL	11
NTS	STD

DETAIL	12
NTS	STD

SECTION A-A
N.T.S.

SECTION B-B
N.T.S.

SECTION C-C
N.T.S.

SECTION D-D
N.T.S.

SECTION E-E
N.T.S.

SECTION F-F
N.T.S.

SECTION G-G
N.T.S.

SECTION H-H
N.T.S.

SECTION I-I
N.T.S.

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Szauer Engineering
Civil Engineers
7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number 30129

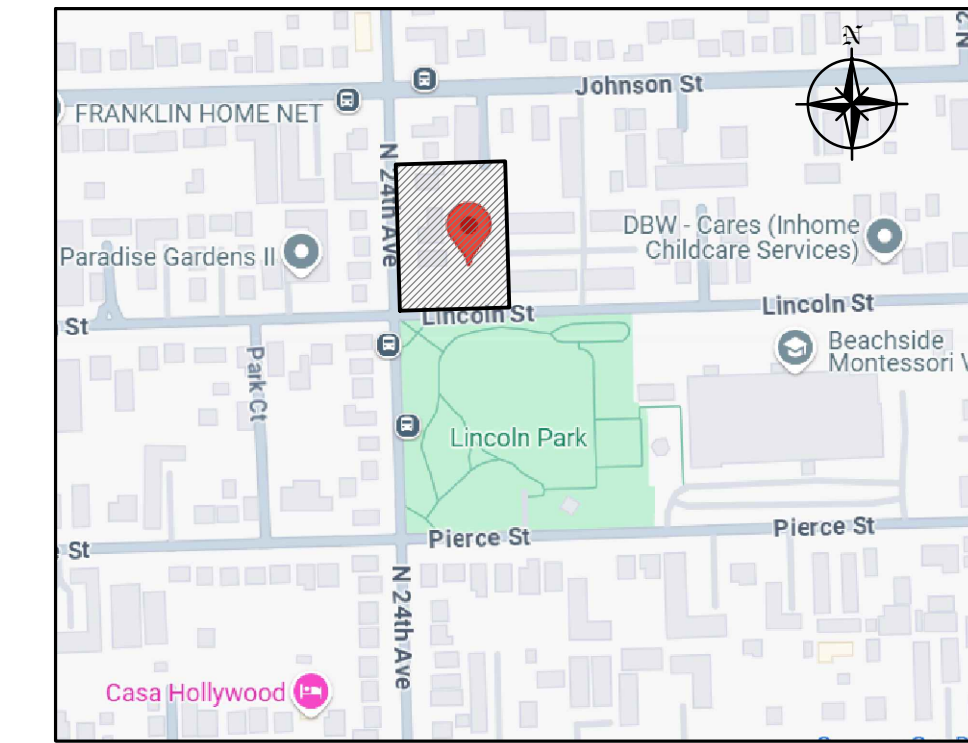
Reviews:

Client: TOWNHOMES
Project: TOWNHOMES
2327-2339 Lincoln Street Hollywood, FL 33020

PG&D
SECTIONS & DETAILS

Designed by:	JORGE M. SZAUER
Drawn by:	J. JANSE
Reviewed & Sealed:	JORGE M. SZAUER
Date:	DEC. 2024
Scale:	AS SHOWN
Job No.:	

Sheet:
C-03A



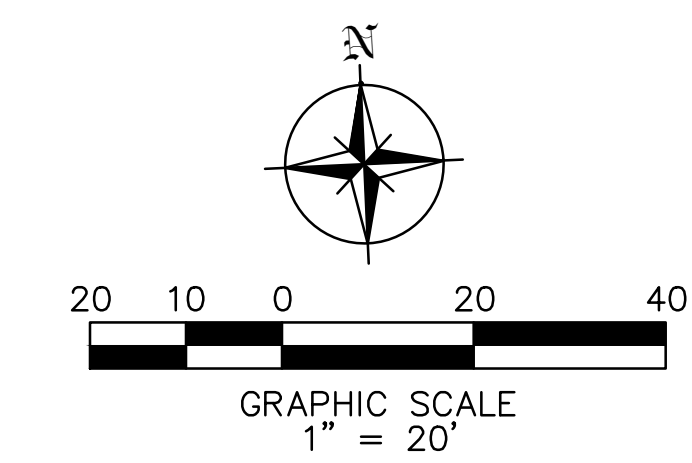
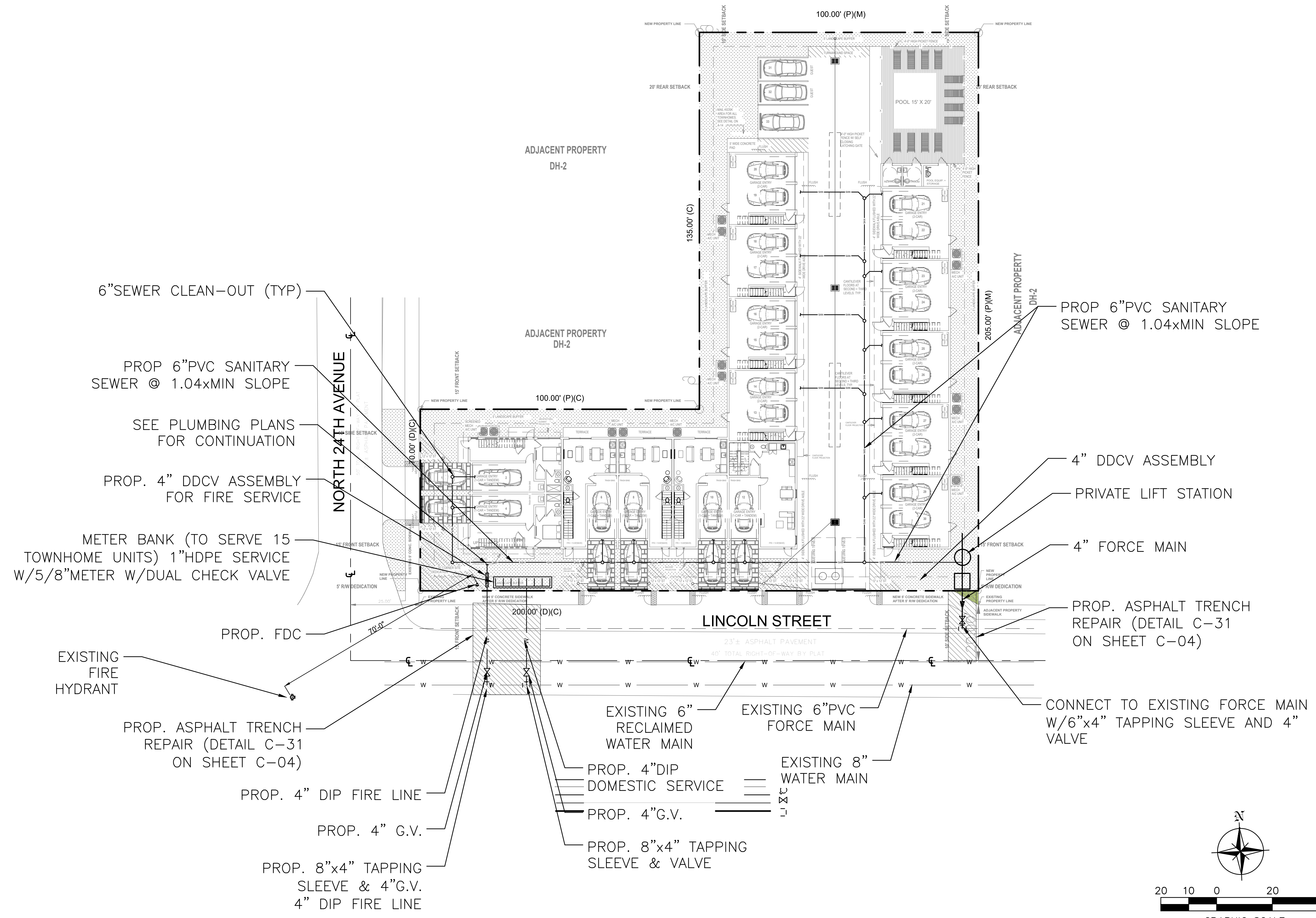
LOCATION MAP
N.T.S.

LEGEND

- PROPERTY LINE
- GRASS
- CONCRETE
- PAVEMENT RESTORATION

NOTE:
ALL UNDERGROUND FIRE MAIN WORK
MUST BE COMPLETED BY FIRE PROTECTION
CONTRACTOR HOLDING A CLASS I, II OR V
LICENSE PER F.S. 633.102

ALL ELEVATIONS ARE RELATIVE
TO THE NAVD 88 DATUM



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Szauer Engineering
Civil Engineers
7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number 30129

Reviews:

Client: **TOWNHOMES**
Project: **TOWNHOMES**
2327-2339 Lincoln Street Hollywood, FLORIDA 33020

Plan Description: **UTILITIES**

Seal:
JORGE SZAUER
FLA. REG. P.E. # 62579

Designed by: **JORGE M. SZAUER**
Drawn by: **J. JANSE**
Reviewed & Sealed: **JORGE M. SZAUER**
Date: **DEC. 2024**
Scale: **AS SHOWN**
Job No.:

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C-04
1 of 2 Sheets