

**CITY OF HOLLYWOOD, FLORIDA
MEMORANDUM
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING**

DATE: October 25, 2016 **FILE:** 16-CV-64

TO: Historic Preservation Board

VIA: Leslie A. Del Monte, Planning Manager

FROM: Deandrea Moise, Assistant Planner

SUBJECT: Monarch Development Inc., request a Variance and Certificate of Appropriateness for Design for an addition and exterior renovations of a single-family home located at 1239 Jackson Street within the Lakes Area Multiple Resource Historic District.

APPLICANT'S REQUEST

Certificate of Appropriateness for Design for an addition and exterior renovations of a single-family home located within the Lakes Area Multiple Resource Historic District.

Variance: Extension of structure with nonconforming setbacks on the west side of the property.

STAFF'S RECOMMENDATION

Variance: Approval.

Certificate of Appropriateness for Design: Approval, with the condition a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of Building Permits, and recorded by the City of Hollywood, in the Broward County Public Records prior to Certificate of Completion (C/C) or Certificate of Occupancy (C/O).

BACKGROUND

The existing one-story home was constructed in 1949 (based on Broward County records) on an approximate 0.30 acre lot located at 1239 Jackson Street. The home exhibits Post War Modern Ranch style architectural characteristics such as, low pitched roof, rectangular sliding windows, and limited ornamentation. The Design Guidelines states that ranch homes were erected in mass to home a wave of new residents. This style popular with builders were relatively inexpensive, and used simple materials. The modern evolution of the style was commonly seen after World War II, these homes were built in order to provide functionality and durability.

REQUEST

The Applicant is requesting a Variance and Certificate of Appropriateness for Design to an existing one-story single-family home located at 1239 Jackson Street. The proposal calls for a new foyer addition to the front façade creating a pronounced entrance, an extension of the garage along the west setback to allow for added space for a home gym, and laundry room, while still maintaining requirements for a garage, and extending the existing bedroom in the front to create a larger bedroom and office space. The proposed design would add an approximate 1,000 square feet, bringing the total square footage to about

3,980 square feet. This would require five parking spaces, which are demonstrated on the plans through a combination of existing and proposed areas.

The proposed design of the addition on the front façade provides floor to ceiling windows with decorative mullions that are consistent among the existing windows. Planters, columns, and new brownstone veneer enhances the simple materials common in the mass erection of Post War Modern Ranch Style Homes. The design of the extension in the rear of the home will maintain its consistency with the home.

Due to location of the home within the Historic District, the extension of the structure with nonconforming setbacks along the west side of the property cannot be approved through an Administrative Variance, but must be a part of the request for a Certificate of Appropriateness for Design. The existing non-conforming setback, as demonstrated in the survey, is original to the home and not a circumstance that was created by the Applicant. The Applicant wishes to continue along this building line to allow for an extension north and south (front and rear façade).

Overall, the design proposal to the addition does not detract from its existing architectural unity and offers compatible architectural and site elements. Furthermore, the addition complies with all Zoning regulations (excluding the request for continuing along a non-conforming setback), including the pervious area requirement (approximately 48%).

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the district. The design of the proposed home is consistent with the character of Lakes Area Historic Multiple Resource Listing District. As proposed, the design maintains the spatial relationship with surrounding properties in its scale and massing.

SITE BACKGROUND

Applicant/Owner:	Monarch Development Inc.
Address/Location:	1239 Jackson Street
Size of Property:	13,450 sq. ft. (0.30 acres)
Present Zoning:	Single-Family District (RS-6) Lakes Area Historic Multiple Resource Listing District (HMPRLD-1)
Present Use of Land:	Single-Family Home
Year Built:	1949

ADJACENT ZONING

North:	Single-Family Residential District (RS-6) Lakes Area Historic Multiple Resource Listing District (HMPRLD-1)
South:	Single-Family Residential District (RS-6) Lakes Area Historic Multiple Resource Listing District (HMPRLD-1)
East:	Single-Family Residential District (RS-6) Lakes Area Historic Multiple Resource Listing District (HMPRLD-1)
West:	Single-Family Residential District (RS-6) Lakes Area Historic Multiple Resource Listing District (HMPRLD-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.* The proposed design is consistent with the scale and massing of the adjacent neighborhood; while allowing the Applicant to maximize the use of their property. The proposed addition and exterior renovations allows the Applicant improve the existing

lot, thus accomplishing the desired reinvestment within the Lakes Area Historic Multiple Resource Listing District as set forth by the City.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed home is sensitive to the character of the Historic Lakes Section through its design which is similar to existing structures in the surrounding neighborhood.

Policy 2.46: *Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

Policy CW.15: *Place a priority on protecting, preserving and enhancing residential neighborhoods.*

The CWMP also states *the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements.*

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

The Applicant's proposal contributes to the overall enhancement of this neighborhood. The design is sensitive in scale of the existing structure and the neighborhood. The proposed design does not adversely affect the integrity of the Historic District.

APPLICABLE CRITERIA

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The Historic Design Guidelines recommend maintaining *consistent spacing and setbacks and further state new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale, and rhythm reflect architectural style as well as the richness of the historic district.* The Applicant has demonstrated that the proposed addition respects and contributes to the neighborhood's historic value. Because the home is located on two lots, Staff recommends **a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of a Building Permit and recorded in the Broward County Public Records, by the City of Hollywood, prior to the issuance of Certificate of Occupancy (C/O) or Certificate of Completion (C/C).**

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: The Historic Design Guidelines state *in accordance with the Secretary of the Interior's Standards, new construction should be appropriate to its historically and architecturally significant surroundings.* It further recommends...*massing, scale and rhythm reflect architectural style as well as the richness of the historic district. These elements create a link between the old and the new in a historic district.* The proposed design enhances the simple materials common in in the mass erection of Post War Modern Ranch Style

Homes, and maintains consistency with the existing architecture creating a link between the standing design and the new design. The additions and exterior renovations are compatible with the character of the neighborhood with regard to scale, materials, texture, and color

FINDING: Consistent.

CRITERION: SETTING

ANALYSIS: As stated in the Design Guidelines, "...setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood." The addition as proposed demonstrates the compatibility between the existing home and neighborhood and does not disrupt the relationship. Spatial relationships with surrounding properties are harmonized by a formal landscape plan.

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Furthermore, materials are compatible in quality, color, texture, finish, and dimension to those that are in the historic district should be used. The materials used mostly resemble what exists at the property today, such as the stucco finishes, and decorative mullions; however, the design does introduce new architectural elements such as floor to ceiling windows, stone veneers, and columns. Despite the introduction of new architectural elements that are not present on the site, these elements complement the existing materials.

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: According to the National Register, workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be based on common traditions or innovative period techniques. The design of the proposed addition for the single-family home is consistent with current workmanship styles and methods. In this case, the proposed home is attempting to be both relevant to the district and the time period. Materials of the home are compatible with surrounding properties, and the existing conditions of the home.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district.* Meeting all applicable code requirements (excluding the setback on the west side), the proposed design is consistent with the scale and massing of the adjacent neighborhood. This project maintains the streetscape elements of the existing residence and the neighbors." Although the Applicant is requesting a Variance for non-conforming setbacks they are still maintaining the west setback as it exists today.

FINDING: Consistent.

Analysis of criteria and finding for Variances as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

Variance 1: Extension of structure with nonconforming setbacks on west side of property.

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and

CRITERIA 4: That the need for the requested Variance is not economically based or selfimposed; or

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Due to location of the home within the Historic Lakes District, the extension of the structure with nonconforming setbacks along the west cannot be approved through an Administrative Variance, but must be a part of the request for a Certificate of Appropriateness for Design for additions and exterior renovations. The existing non-conforming setback, as demonstrated in the survey, is original to the home and not a circumstance that was created by the applicant. The applicant wishes to continue along this building line to allow for an extension along the west (front and rear façade).

RECOMMENDATION

Variance: Approval.

Certificate of Appropriateness for Design: Approval, with the condition a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of Building Permits, and recorded by the City of Hollywood, in the Broward County Public Records prior to Certificate of Completion (C/C) or Certificate of Occupancy (C/O).

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Aerial Photograph

ATTACHMENT A
Application Package

DEPARTMENT OF PLANNING



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at <http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 08/22/16

Location Address: 1239 JACKSON STREET

Lot(s): 5/6 Block(s): 27 Subdivision: HOLLYWOOD LAKES

Folio Number(s): 5142-K-01-4600

Zoning Classification: RS-6 Land Use Classification: _____

Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: 2,635/1

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: _____

Number of units/rooms: _____ Sq Ft: _____

Value of Improvement: _____ Estimated Date of Completion: _____

Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: MONARCH DEVELOPMENT INC

Address of Property Owner: 1239 JACKSON ST.

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): DANIEL DIESENDRUK

Address: 20214 WE 34TH CT Telephone: 305.792.9822

Fax: 305.792.9823 Email Address: DANDIESEN@YAHOO.COM

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)

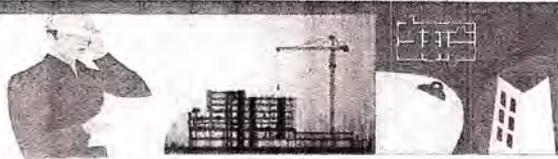
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Natal Wlosicka Date: _____

PRINT NAME: MONARCH DEVELOPMENT INC Date: _____

Signature of Consultant/Representative: Daniel Diezendorf Date: 08/19/16

PRINT NAME: DANIEL DIEZENDORF Date: 08/19/16

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) _____ to my property, which is hereby made by me or I am hereby authorizing (name of the representative) NATANIEL WLOSICKA to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 20 day of AUGUST, 2016

[Signature]

Notary Public State of Florida

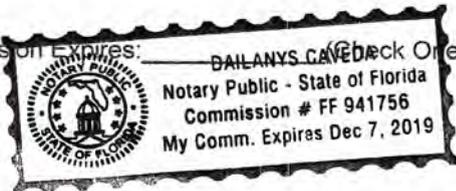
Natal Wlosicka

SIGNATURE OF CURRENT OWNER

MONARCH DEVELOPMENT INC

PRINT NAME

My Commission Expires: BAILANYS CAVEDA (ack Or e) _____ Personally known to me; OR DRIVEN LICENS



BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Select One Trade: Building Electrical Plumbing Mechanical Other _____

Application Number: _____ Application Date: _____

1	Job Address: <u>1239 JACKSON ST.</u>	Unit: _____	City: <u>HOLLYWOOD</u>
	Tax Folio No.: <u>542-14-01-4600</u>	Flood Zn: _____	BFE: _____ Floor Area: _____ Job Value: _____
	Building Use: <u>RESIDENTIAL</u>	Construction Type: <u>CBS</u>	Occupancy Group: _____
	Present Use: <u>RESIDENTIAL</u>	Proposed Used: <u>RESIDENTIAL</u>	
	Description of Work: <input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/> Revision <input type="checkbox"/> Other: _____		
	Legal Description: <u>HOLLYWOOD LAKES SECT. 1-32B LOT 5, 6 BLK 27</u>		<input type="checkbox"/> Attachment
2	Property Owner: <u>MONARCH DEVELOPMENT</u>	Phone: _____	Email: _____
	Owner's Address: <u>1239 JACKSON ST</u>	City: <u>HOLLYWOOD</u>	State: <u>FL</u> Zip: <u>33019</u>
3	Contracting Co.: _____	Phone: _____	Email: _____
	Company Address: _____	City: _____	State: _____ Zip: _____
	Qualifier's Name: _____	Owner-Builder: <input type="checkbox"/>	License Number: _____
4	Architect/Engineer's Name: <u>KETER CONSULTING</u>	Phone: <u>305.332.3023</u>	Email: <u>JANLIESEN@YAHOO.COM</u>
	Architect/Engineer's Address: _____	City: _____	State: _____ Zip: _____
	Bonding Company: _____		
	Bonding Company Address: _____	City: _____	State: _____ Zip: _____
	Fee Simple Titleholder's name (if other than owner): _____		
	Fee Simple Titleholder's Address (if other than owner): _____	City: _____	State: _____ Zip: _____
	Mortgage Lender's Name: _____		
	Mortgage Lender's Address: _____	City: _____	State: _____ Zip: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]
 Signature of Property Owner or Agent

STATE OF FLORIDA
 COUNTY OF BROWARD

Sworn to (or affirmed) and subscribed before me this 16th day of August, 2010 by _____



Annett Mena
 (Type / Print Property Owner or Agent Name)
 My Comm. Expires 11/17/2014
 NOTARY'S SIGNATURE as to Owner or Agent's Signature
 Notary Name Annett Mena
 (Print, Type or Stamp Notary's Name)

Personally Known _____ or Produced Identification X
 Type of Identification Produced FL Drivers License

X _____
 Signature of Qualifier

STATE OF FLORIDA
 COUNTY OF BROWARD

Sworn to (or affirmed) and subscribed before me this _____ day of _____, 20____ by _____

 (Type / Print Qualifier's Name)
 NOTARY'S SIGNATURE as to Qualifier's Signature
 Notary Name _____
 (Print, Type or Stamp Notary's Name)

Personally Known _____ or Produced Identification _____
 Type of Identification Produced _____

APPROVED BY: _____ Permit Officer Issue Date: _____ Code in Effect: _____

A jurisdiction may use a supplemental page requesting additional information and citing other conditions, please inquire.
 Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.

ELEVATION CERTIFICATE

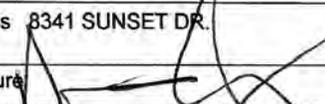
Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name NATANIEL WOLOSKER	Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1239 JACKSON STREET	Company NAIC Number:
City HOLLYWOOD State FL. ZIP Code 33019	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) HOLLYWOOD LAKES SECTION 1-32 B LOT 5,6 BLK 27; BROWARD COUNTY, FL. FOLIO # 5142 14 01 4600	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>	
A5. Latitude/Longitude: Lat. 26° 0'33.52"N Long. 80° 7'54.15"W Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number 1-A	
A8. For a building with a crawlspace or enclosure(s):	A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft	a) Square footage of attached garage <u>429</u> sq ft
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>	b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>
c) Total net area of flood openings in A8.b <u>N/A</u> sq in	c) Total net area of flood openings in A9.b <u>N/A</u> sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF HOLLYWOOD 125113		B2. County Name BROWARD		B3. State FLORIDA	
B4. Map/Panel Number 12086 C 0569	B5. Suffix H	B6. FIRM Index Date 08/18/2014	B7. FIRM Panel Effective/Revised Date 08/18/2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 4.49'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: <u>C.H. ELEV.=3.73' (EXTENDED)</u> Vertical Datum: <u>NAVD 1988</u> Indicate elevation datum used for the elevations in items a) through h) below. <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____ Datum used for building elevations must be the same as that used for the BFE.	
	Check the measurement used.
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>4.37</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<u>N/A</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>2.87</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>3.12</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>2.9</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>3.4</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.			
<input checked="" type="checkbox"/> Check here if comments are provided on back of form.		Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Check here if attachments.			
Certifier's Name NARCISO J. RAMIREZ	License Number 2779		
Title PROFESSIONAL LAND SURVEYOR & MAPPER	Company Name NARCISO J. RAMIREZ, P.S.M.		
Address 8341 SUNSET DR.	City MIAMI	State FL	ZIP Code 33143
Signature 	Date APRIL 20, 2016	Telephone (305) 596-0888	

PSM # 2779
 APRIL 20, 2016

ELEVATION CERTIFICATE, page 2

IMPORTANT: In these spaces, copy the corresponding information from Section A.		FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1239 JACKSON STREET		Policy Number:
City HOLLYWOOD	State FL. ZIP Code 33019	Company NAIC Number:

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments: C.O.R. ELEV.= 2.47' ; A6. THE LONGITUD & LATITUDE WAS OBTAINED BY GOOGLE EARTH;

Signature

Date APRIL 20, 2016

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments Check here if attachments.**SECTION G – COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: feet meters Datum _____
- G10. Community's design flood elevation: feet meters Datum _____

Local Official's Name Title

Community Name Telephone

Signature Date

Comments Check here if attachments.

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1239 JACKSON STREET

City
HOLLYWOOD

State
FL.

ZIP Code
33019

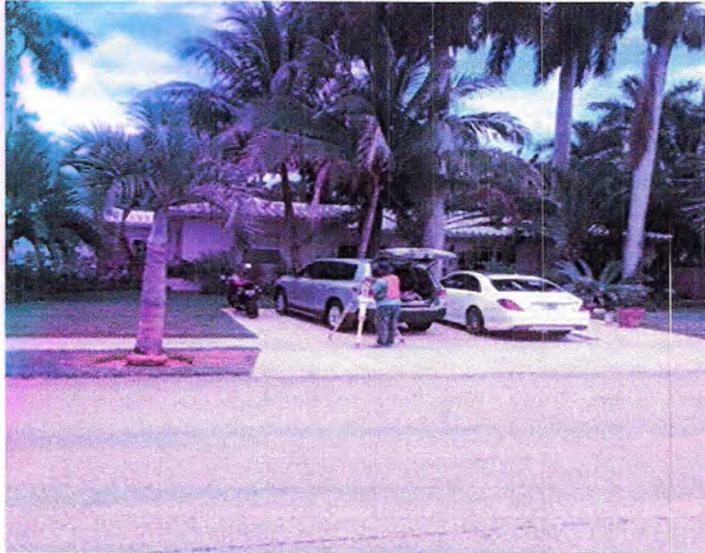
FOR INSURANCE COMPANY USE

Policy Number:

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

FRONT VIEW APRIL 20, 2016



FRONT SIDE VIEW APRIL 20, 2016



REAR VIEW APRIL 20, 2016



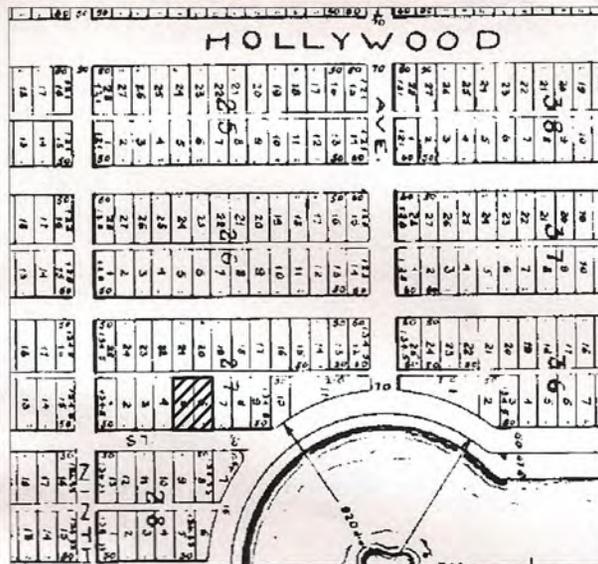
REAR VIEW APRIL 20, 2016



LOT-19
BLOCK-7

1/2"
= 10' D.

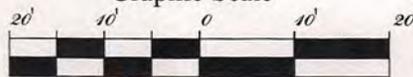
0.5'



LOCATION MAP
(NOT TO SCALE)



Graphic Scale



1" = 20'

LOT-7
BLOCK-7

1/2"
= 10' D.

LEGAL DESCRIPTION:

Lots 5 and 6, in Block 27, of HOLLYWOOD LAKES SECTION, according to the Plat thereof, as recorded in Plat Book 1, at Page 32, of the Public Records of Broward County, Florida.

FLOOD ZONE: WITHIN ZONE: AE ELEVATION: 6.00' COMMUNITY: 1205113 PANEL No.: 0569 SUFFIX: H DATE: 08/18/2014	ORDER NO.: M-10669 FIELD BOOK: "FILE" DATE: APRIL 20, 2016 UPDATE: UPDATE:
--	---

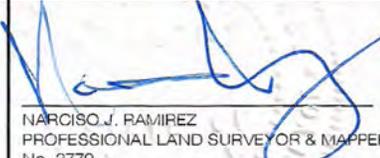
PROPERTY ADDRESS: 1239 Jackson Street Hollywood, FL. 33019
FOR: Nataniel Wolosker

I HEREBY CERTIFY: THAT THIS DRAWING REPRESENTS THE RESULT OF A SURVEY OF THE WITHIN DESCRIBED PROPERTY AND THIS DRAWING AND SAID SURVEY WERE PREPARED BY ME OR UNDER MY DIRECTION.
THERE ARE NO ENCROACHMENTS UNLESS SHOWN THEREON.

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

NOTES:

- * THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
- * EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS.
- * LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- * UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT AN ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS.
- * NOT VISIBLE ENCROACHMENTS WERE FOUND ON THE PROPERTY, UNLESS SHOWN.
- * IF SHOWN ELEVATIONS ARE REFERRED TO N.A.V.D. 1988
- * BENCH MARK USED No. C.H., WITH ELEVATION: 3.73'

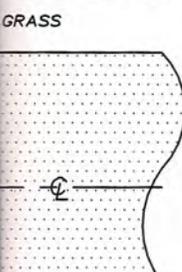

NARCISO J. RAMIREZ
PROFESSIONAL LAND SURVEYOR & MAPPER
No. 2779
STATE OF FLORIDA

8341 SUNSET DRIVE
MIAMI, FL. 33143
TEL: (305) 596-0888 & (305) 596-0990
E-MAIL: atlantic@bellsouth.net

LEGEND OF SURVEY ABBREVIATIONS

- A/C = AIR CONDITIONING
- B = ARC DISTANCE
- BLDG = BUILDING
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CH. = CHORD DISTANCE
- CL. = CLEAR
- C/L. = CENTER LINE
- C.L.F. = CHAIN LINK FENCE
- CONC. = CONCRETE
- D = CENTRAL ANGLE
- F.H. = FIRE HYDRANT
- F.N. = FOUND NAIL
- F.I.P. = FOUND IRON PIPE
- FN&D = FOUND NAIL&DISC
- F.R. = FOUND REBAR
- PH = MANN HOLE
- L.P. = LIGHT POLE
- (M) = MEASURED
- (R) = RECORD
- F.D.H. = FOUND DRILL HOLE
- M/L = MONUMENT LINE
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- B.C. = BLOCK CORNER
- O/L = ON LINE
- P.C. = POINT OF CURVATURE
- P.T. = POINT OF TANGENCY
- P.B. = PLAT BOOK
- P.C.P. = PERMANENT CONTROL POINT
- FG. = PAGE
- B/C = BLOCK CORNER
- P/L = PROPERTY LINE
- N.T.S. = NOT TO SCALE
- R = RADIUS
- RES. = RESIDENTIAL
- R&M = RECORD & MEASURE
- R/W = RIGHT OF WAY
- SEC. = SECTION
- S.I.P. = SET IRON PIPE No 503A
- STY. = STORY
- SWK. = SIDEWALK
- U.E. = UTILITY EASEMENT
- W.F. = WOOD FENCE
- OVERHEAD ELECTRIC
- WOOD FENCE
- CHAIN LINK FENCE
- CONCRETE
- C.B.S. WALL
- ASPHALT PAVEMENT
- BELLSOUTH BOX
- CABLE BOX
- POWER POLE
- LIGHT POLE
- CLEAN-OUT
- GAS TANK
- FIRE HYDRANT
- SAN. MANHOLE
- WATER VALVE
- ELEVATIONS
- CATCH BASIN
- WATER METER
- ELECTRIC METER

1/2"
= 10' D.



BOUNDARY SURVEY

LOT-22
BLOCK-7

LOT-21
BLOCK-7

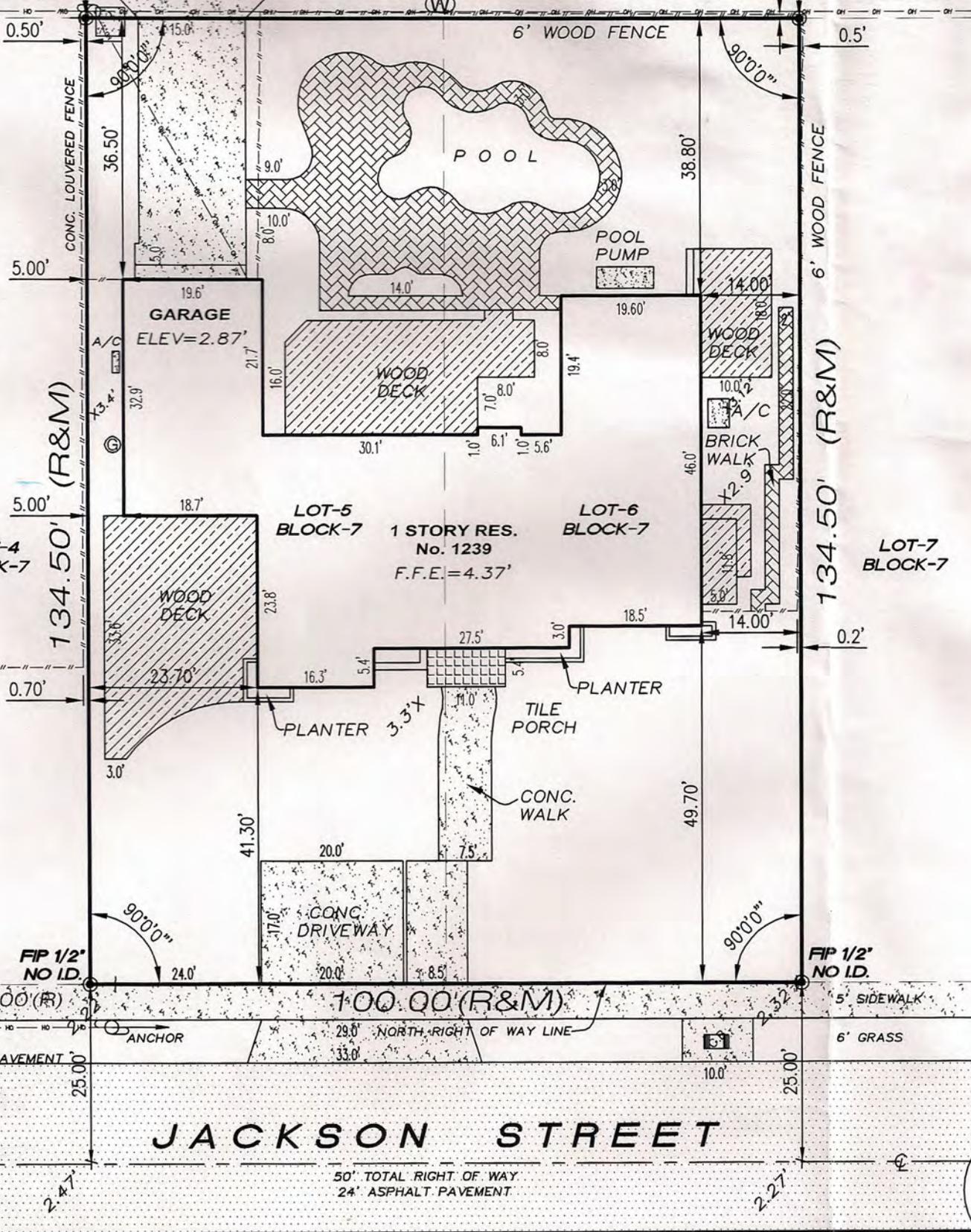
LOT-20
BLOCK-7

LOT-19
BLOCK-7

14' ALLEY
14' PAVEMENT
100.00' (R&M)

FP 1/2'
NO ID.

FP 1/2'
NO ID.



Permit Search Results

[Search](#) > Properties located at/on/near '...1239 jackson...'

10 permits were found for

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B14-102409	WINDOW &/OR DOOR REPLACEMENT	5/16/2014	6/3/2014
Details		B11-103258	REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE	8/22/2011	8/29/2011
Details	50513	P0300702	PLUMBING WORK	6/4/2003	6/4/2003
Details	49864	P0300650	POOL PIPING AND FILTER EQUIPMENT	5/19/2003	5/21/2003
Details	49863	E0301251	POOL/SPA ELECTRICAL	5/19/2003	5/21/2003
Details	49862	E0301250	LOW VOLTAGE	5/19/2003	5/21/2003
Details	49861	B0302664	DECK - WITHOUT ROOF	5/19/2003	5/21/2003
Details	49739	B0302663	POOL - RESIDENTIAL	5/19/2003	5/21/2003
Details		E9203270	ENERGY MGMT SYSTEM FOR FPL DISCOUNT		11/18/1992
Details		P8900946	PLUMBING WORK		11/14/1989

1239 JACKSON ST

Process #:	Permit #: B14-102409	Master Permit: B14-102409
Status: CLOSED		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST	Folio#: 514214014600	
Sub-division: HOLLYWOOD LAKES SECTION 1-32 B ,	Value: \$25,000.00	
Lot: 5,6	Block: 27	Sq Ft: 0
Permit Information		
Application Type: WINDOW &/OR DOOR REPLACEMENT - REPLACE 18 WINDOWS & 6 DOORS	Application Date: 5/16/2014	
Job Name:	Permit Date: 6/3/2014	
Film Number:	CO/CC Date: N/A	
	Permit Fee: \$630.36	
Applicant / Contact Information		
Name: 1 AWESOME SERVICE LLC		
Address: 16668 GOLFVIEW DR WESTON, FL		
Property Owner Information		
Name: ROTHMAN, HOWARD H/E ROTHMAN, KRISTINE		
Address: 1239 JACKSON ST HOLLYWOOD, FL 33019		

Process #:	Permit #: B11-103258	Master Permit: B11-103258
Status: CLOSED		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST	Folio#: 514214014600	
Sub-division: HOLLYWOOD LAKES SECTION 1-32 B ,	Value: \$22,000.00	
Lot: 5,6	Block: 27	Sq Ft: 0
Permit Information		
Application Type: REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE	Application Date: 8/22/2011	
Job Name:	Permit Date: 8/29/2011	
Film Number:	CO/CC Date: N/A	
	Permit Fee: \$595.40	
Applicant / Contact Information		
Name: PAUL BANGE ROOFING INC		
Address: 7000 S W 21 PL DAVIE, FL		
Property Owner Information		
Name: ROTHMAN,HOWARD H/E ROTHMAN,KRISTINE		
Address: 1239 JACKSON ST HOLLYWOOD, FL 33019		

Process #: 50513	Permit #: P0300702	Master Permit: P0300702
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST	Folio#: 514214014600	
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$1,000.00	
Lot: 5	Block: 27	Sq Ft: 0
Permit Information		
Application Type: PLUMBING WORK	Application Date: 06/04/03	
Job Name: RUDOLPH	Permit Date: 06/04/03	
Film Number: 0307967	CO/CC Date:	
	Permit Fee: \$45.35	
Applicant / Contact Information		
Name: SILVEY JEFFREY L		
Address: 1917N 44 AVE HOLLYWOOD, FL		
Property Owner Information		
Name: ROTHMAN,HOWARD H/E ROTHMAN,KRISTINE		
Address: 1239 JACKSON ST HOLLYWOOD FL 33019-1519		

Process #: 49864	Permit #: P0300650	Master Permit: B0302663
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST Sub-division: HOLLYWOOD LAKES SECTION Lot: 5 Block: 27	Folio#: 514214014600 Value: \$900.00 Sq Ft: 0	
Permit Information		
Application Type: POOL PIPING AND FILTER EQUIPMENT Job Name: RUDOLPH Film Number: 0307806	Application Date: 05/19/03 Permit Date: 05/21/03 CO/CC Date: Permit Fee: \$45.35	
Applicant / Contact Information		
Name: ESSIG POOLS INC Address: 1800 NE 151 ST NORTH MIAMI BCH, FL		
Property Owner Information		
Name: ROTHMAN,HOWARD H/E ROTHMAN,KRISTINE Address: 1239 JACKSON ST HOLLYWOOD FL 33019-1519		

Process #: 49863	Permit #: E0301251	Master Permit: B0302663
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST Sub-division: HOLLYWOOD LAKES SECTION Lot: 5 Block: 27	Folio#: 514214014600 Value: \$750.00 Sq Ft: 0	
Permit Information		
Application Type: POOL/SPA ELECTRICAL Job Name: RUDOLPH Film Number: 0307806	Application Date: 05/19/03 Permit Date: 05/21/03 CO/CC Date: Permit Fee: \$45.35	
Applicant / Contact Information		
Name: SHINE MAINTENANCE ELECTRICAL Address: 1401 S W 1 ST #202 MIAMI, FL		
Property Owner Information		
Name: ROTHMAN,HOWARD H/E ROTHMAN,KRISTINE Address: 1239 JACKSON ST HOLLYWOOD FL 33019-1519		

Process #: 49862	Permit #: E0301250	Master Permit: B0302663
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST Sub-division: HOLLYWOOD LAKES SECTION Lot: 5	Block: 27	Folio#: 514214014600 Value: \$250.00 Sq Ft: 0
Permit Information		
Application Type: LOW VOLTAGE Job Name: RUDOLPH Film Number: 0307806	Application Date: 05/19/03 Permit Date: 05/21/03 CO/CC Date: Permit Fee: \$45.35	
Applicant / Contact Information		
Name: SHINE MAINTENANCE ELECTRIAL Address: 1401 S W 1 ST #202 MIAMI, FL		
Property Owner Information		
Name: ROTHMAN,HOWARD H/E ROTHMAN,KRISTINE Address: 1239 JACKSON ST HOLLYWOOD FL 33019-1519		

Process #: 49861	Permit #: B0302664	Master Permit: B0302663
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST Sub-division: HOLLYWOOD LAKES SECTION Lot: 5	Block: 27	Folio#: 514214014600 Value: \$3,144.00 Sq Ft: 0
Permit Information		
Application Type: DECK - WITHOUT ROOF Job Name: RUDOLPH Film Number: 0307806	Application Date: 05/19/03 Permit Date: 05/21/03 CO/CC Date: Permit Fee: \$89.28	
Applicant / Contact Information		
Name: ESSIG POOLS INC Address: 1800 NE 151 ST NORTH MIAMI BCH, FL		
Property Owner Information		
Name: ROTHMAN,HOWARD H/E ROTHMAN,KRISTINE Address: 1239 JACKSON ST HOLLYWOOD FL 33019-1519		

Process #: 49739	Permit #: B0302663	Master Permit: B0302663
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST	Folio#: 514214014600	
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$16,000.00	
Lot: 5	Block: 27	Sq Ft: 0
Permit Information		
Application Type: POOL - RESIDENTIAL	Application Date: 05/19/03	
Job Name: RUDOLPH	Permit Date: 05/21/03	
Film Number: 0307806	CO/CC Date:	
	Permit Fee: \$350.60	
Applicant / Contact Information		
Name: ESSIG POOLS INC		
Address: 1800 NE 151 ST NORTH MIAMI BCH, FL		
Property Owner Information		
Name: ROTHMAN,HOWARD H/E ROTHMAN,KRISTINE		
Address: 1239 JACKSON ST HOLLYWOOD FL 33019-1519		

Process #:	Permit #: E9203270	Master Permit: E9203270
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST	Folio#: 514214014600	
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$100.00	
Lot: 5	Block: 27	Sq Ft: 0
Permit Information		
Application Type: ENERGY MGMT SYSTEM FOR FPL DISCOUNT	Application Date: 00/00/00	
Job Name: WAITE,JOSETTE T	Permit Date: 11/18/92	
Film Number: 9406220	CO/CC Date:	
	Permit Fee: \$30.35	
Applicant / Contact Information		
Name: MELI ELECTRICAL SERVICE		
Address: 10174 NW 47TH STREET SUNRISE, FL		
Property Owner Information		
Name: WAITE,JOSETTE T		
Address:		

Process #:	Permit #: P8900946	Master Permit: P8900946
Status: Closed		
Show Master Permit List All Subpermits		
Site Information		
Address: 1239 JACKSON ST	Folio#: 514214014600	
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$350.00	
Lot: 5	Block: 27	Sq Ft: 0
Permit Information		
Application Type: PLUMBING WORK	Application Date: 00/00/00	
Job Name: WAITE,T & JOSETTE T	Permit Date: 11/14/89	
Film Number: F893932	CO/CC Date:	
	Permit Fee: \$30.35	
Applicant / Contact Information		
Name: FACTORY SERVICE CO		
Address: 11240 INTERCHANGE CIRCLE N MIRAMAR, FL		
Property Owner Information		
Name: WAITE,T & JOSETTE T		
Address:		

CRITERIA STATEMENT

Owner: **Monarch Development, Inc**
Address: **1239 Jackson Street**
Zoning: **RS-6 Single Family Residence**
District: **HMPRLOD - 1 Lakes Area Historic Multiple Resource Listing District**
Lot Size: **13,491 s.f. (per BCPA)**

Request consistent with the City of Hollywood's Zoning and Land Development Regulations Article 5, no Variance requested.

The proposed addition to the residence located at 1239 Jackson Street tries to simultaneously preserve the Hollywood Lakes Neighborhood by maintaining the character and integrity of the existing residence and enhancing and increasing value to this and the adjoining properties.

The residence is surrounded by other similar properties on all 4 sides, all within the same zoning, RS-6, Single-Family Residential District, HMPRLOD-1, Lakes Area Multiple Resource Listing District.

The proposed design is consistent with the existing structure and finishes, and does not require any variances. The roof lines will be maintained and similar materials will be used for the additions.

The façade will suffer some additional improvements with stone veneer and new paint consistent with the requirements. The additions will also promote a new layout to the interior of the home and create some needed enhancements due to the existing, outdated distribution.

The additional areas and changes proposed are:

1. A new Foyer / entrance to enhance the front elevation, facing the street.
2. An addition on the West side, removing an existing wood deck with the creation of a new suite and an office.
3. An addition to the back of the property by recreating a Garage and a Gym.
4. Other interior modifications to better the layout and create a Master Bedroom / Master Bath, Family Room, Powder Room.

The existing landscape will be preserved with minor relocation of about 3 palm clusters, some portions of the existing wood decks are being eliminated to maintain the lot coverage and green/pervious areas similar to the existing.

The existing parking for the home are a single-width and a double-wide driveway at the front and a 2-car garage in the back, with 2 additional car spaces behind it allowing sufficient parking for the Owners and guests.

VARIANCE REQUEST

Owner: **Monarch Development, Inc**
Address: **1239 Jackson Street**
Zoning: **RS-6 Single Family Residence**
District: **HMPRL0D - 1 Lakes Area Historic Multiple Resource Listing District**
Lot Size: **13,491 s.f. (per BCPA)**

SEP 21 '16 PM 3:08

This variance request was required by the Historic Preservation Board in order to satisfy an existing, legal, non-conforming condition at the East setback. A variance is required to continue the building line along the existing, conforming setback on the West setback for the proposed additions.

These additions include a bedroom and a den in the front and a gym and garage addition in the back, both on the West side of the property.

The requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Design Guidelines for Historic Properties and Districts and Resolutions, particularly as it affects the stability and appearance of the city.

The requested Variance is compatible with the surrounding land uses and would not be detrimental to the community.

The requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

The need for the requested Variance is not economically based or self-imposed.

This variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

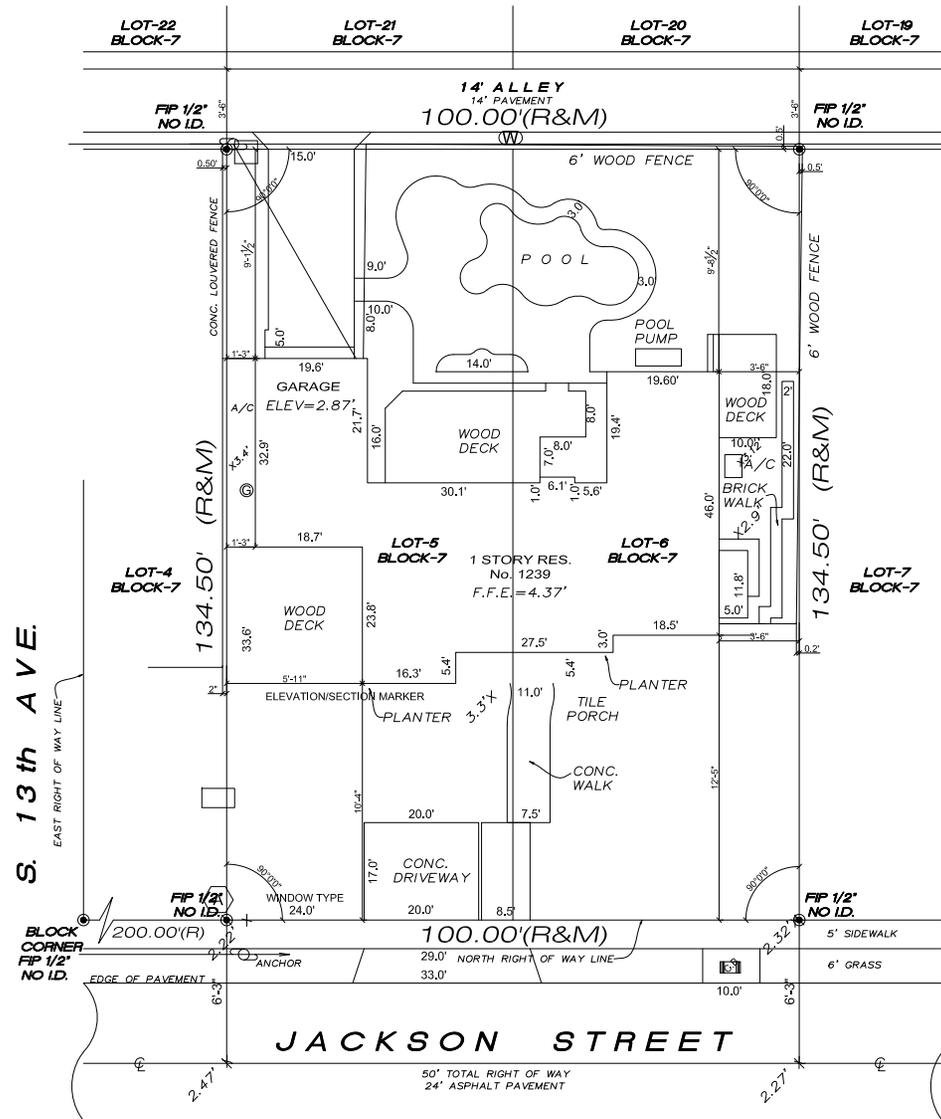
Permit # _____

Date: 08/22/16

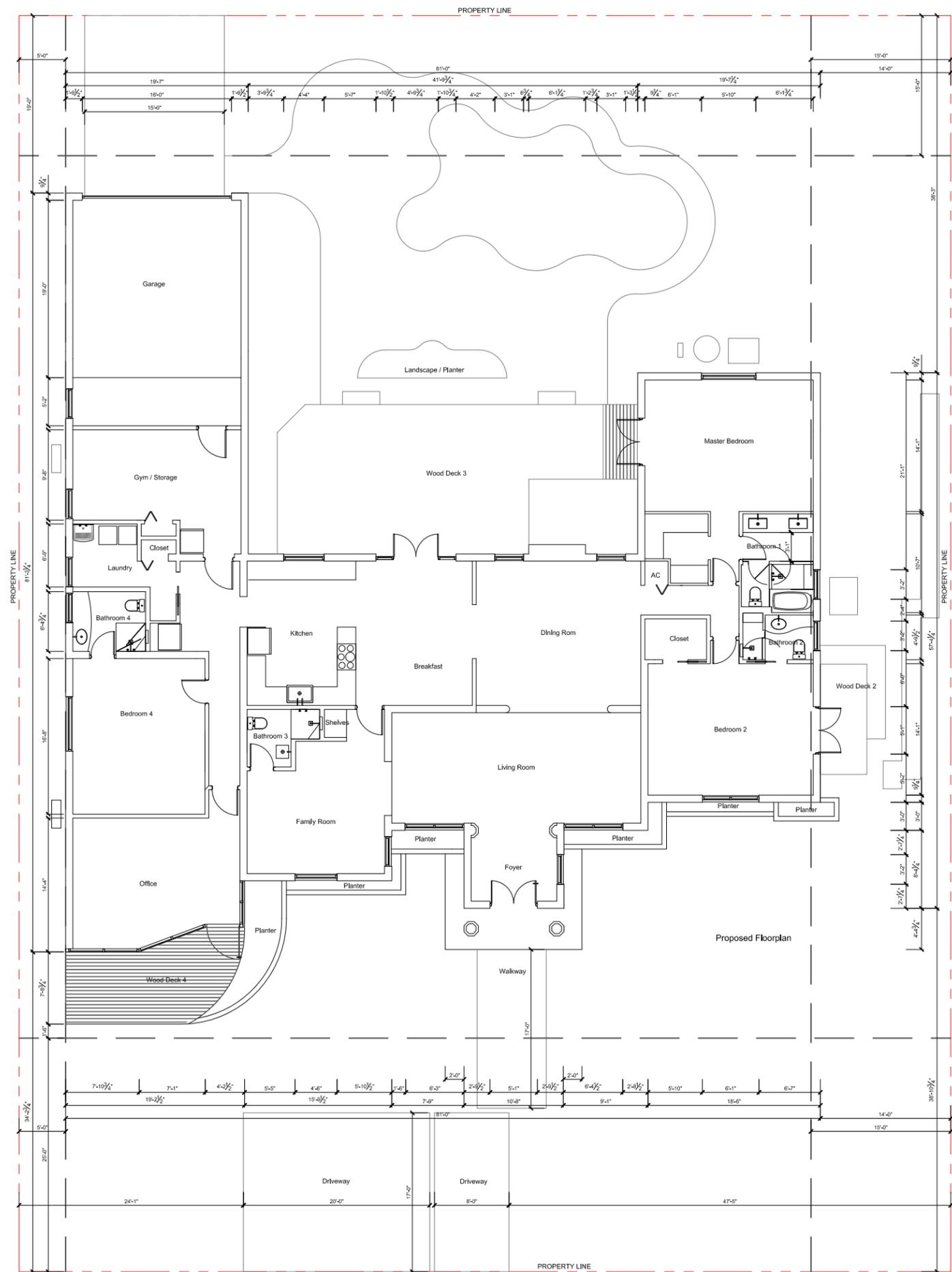
LOT COVERAGE INFORMATION

If you are the applicant for a building permit for a SINGLE FAMILY RESIDENCE, please be aware that the following information is needed in order to process your request for any additions or accessory structures, including pools, decks, and the like:

1. 13,491 (100' x 134.91') SQUARE FEET OF YOUR LOT (length x width)
2. 2,898 SQUARE FEET OF YOUR HOUSE
3. 3,916 SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.)
4. 1,081 SQUARE FEET OF THE ADDITION, AND OR...
5. -918 SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECKS, ETC.
6. 6,977 TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT (Add Nos. 2 + 3+ 4+ 5)...
7. 51.7% PERCENTAGE OF IMPERVIOUS LOT COVERAGE (Divide No.6 by No. 1)



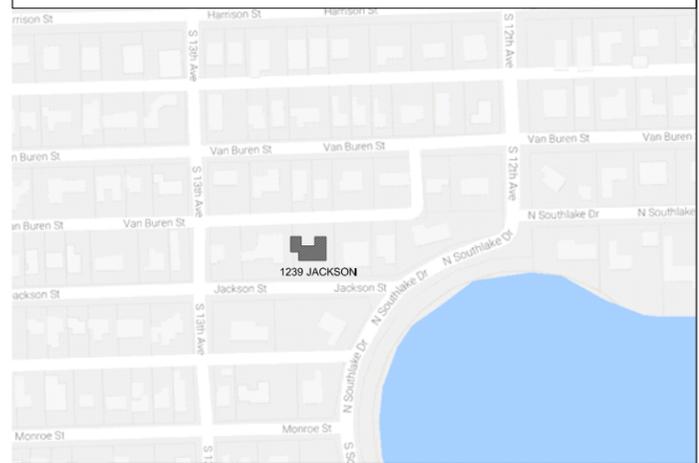
EXISTING 1-STORY
SINGLE RESIDENCE
1239 JACKSON ST.
HOLLYWOOD, FL 33019



PARCEL INFORMATION

Folio Number:	5142 14 01 4600
Owner:	MONARCH DEVELOPMENT INC.
Site Address:	1239 JACKSON ST HOLLYWOOD FL 33019-1519
Legal Description:	HOLLYWOOD LAKES SECTION 1-32 B LOT 5, 6 BLK 27
Use Code:	01 SINGLE FAMILY
Zoning:	RS-6
Neighborhood:	E63
Lot Size:	13,491 SF
Adj. Bldg.:	EXISTING 2,635 SF PROPOSED 3,734 SF
No. Bedrooms:	4
No. Baths:	4
No. Units:	1
No. Stories:	1
No. Buildings:	1

LOCATION MAP



AERIAL PHOTO



DRAWING LIST

A-0.0	COVER SHEET
A-0.1	EXISTING SITE, FLOORPLAN AND SURVEY
A-1.0	DEMOLITION PLAN
A-1.1	ADDITIONS SKETCH
A-1.1	PROPOSED FLOORPLAN
A-1.2	ROOF PLANS AND DETAILS
A-2.1	NORTH AND SOUTH ELEVATIONS
A-2.2	EAST AND WEST ELEVATIONS
S-1.1	STRUCTURAL PLANS - FOUNDATION PLAN AND DETAILS
S-1.2	STRUCTURAL PLANS - ROOF PLAN AND DETAILS
M-1.0	MECHANICAL PLAN AND DETAILS
E-1.0	ELECTRICAL PLAN AND DETAILS
P-1.0	PLUMBING PLAN AND DETAILS

GENERAL NOTES

- APPLICABLE CODES AND STANDARDS SHALL INCLUDE ALL STATE LAWS, LOCAL ORDINANCES, UTILITY COMPANY REGULATIONS AND THE APPLICABLE REQUIREMENTS OF THE FOLLOWING ACCEPTED CODES AND STANDARDS, WITHOUT LIMITING THE NUMBER, THE FOLLOWING:
- DERM - DEPT. OF ENVIRONMENTAL REGULATION MANAGEMENT
 - EPA - ENVIRONMENTAL PROTECTION AGENCY
 - FLORIDA ACCESSIBILITY POLICY
 - FLORIDA BUILDING CODE, 2014
 - FLORIDA MECHANICAL CODE, 2014
 - FLORIDA PLUMBING CODE, 2014
 - FLORIDA FIRE PREVENTION CODE, 2014
 - LIFE SAFETY CODE, 90 A B
 - NEC - NATIONAL ELECTRICAL CODE, 2011
 - NFPA CODES: 1, 13 AND 101
- WORK TO BE PERFORMED IS CLASSIFIED AS A LEVEL 2 ALTERATION AS DEFINED BY THE FBCEI CHAPTERS 6 AND 7 AND COMPLIES WITH ALL NECESSARY REQUIREMENTS OF SUCH LEVEL AND THAT OF LEVEL 1 AS DEFINED BY THE CODE.
 - SCOPE OF WORK TO INCLUDE MINOR ALTERATIONS OF INTERIOR PARTITIONS, RELOCATION OF LAUNDRY, CONSTRUCTION OF NEW FOYER, OFFICE, GYM AND GARAGE.
 - CONTRACTOR AGREES THAT HE WILL HOLD OWNER, ARCHITECT, ENGINEERS, AND/OR ANY OF THEIR EMPLOYEES OR AGENTS, HARMLESS FROM ANY AND ALL DAMAGE AND CLAIMS WHICH MAY ARISE BY REASON OF ANY NEGLIGENCE ON THE PART OF THE CONTRACTOR, OR ANY OF HIS SUBCONTRACTORS, OR ANY MATERIAL AND EQUIPMENT SUPPLIERS, AND/OR ANY OF THEIR EMPLOYEES OR AGENTS, IN THE PERFORMANCE OF THIS CONTRACT.
 - IN CASE ANY ACTION IS BROUGHT AGAINST THE OWNER, OR ARCHITECT, OR ENGINEER, OR ANY OF THEIR EMPLOYEES OR AGENTS, CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DEFENSE THEREOF, TO THE FULL SATISFACTION OF THE LATTER PARTY.
 - IT IS THE INTENT OF THE ARCHITECT THAT THE WORK DESCRIBED IN THESE DRAWINGS TO BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE LATEST EDITION OF THE FLORIDA BUILDING CODES AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES, AMENDMENTS, LAWS, ORDERS, ETC. AND ALL OTHER APPLICABLE BUILDING CODES.
 - THE CONTRACTOR SHALL PERFORM THE WORK IN COMPLIANCE WITH THESE DOCUMENTS AND THE REQUIREMENTS SET FORTH IN ALL APPLICABLE CODES AND REGULATIONS.
 - THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO WORK ALL INSERTS, ANCHORS, SLEEVES, OPENINGS, AND DEPRESSIONS AND PITCHES AS REQUIRED TO ACCOMMODATE WORK.
 - THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY SPECIFIC ARRANGEMENTS AS NEEDED DURING DEMOLITION AND CONSTRUCTION.
 - ALL HARDWARE, BATHROOM & LIGHTING FIXTURES, CASEWORK, AND FINISH MATERIALS SPECIFICATIONS OMITTED IN THESE DRAWINGS ARE SUBJECT TO THE OWNER'S SELECTION.
 - THE CONTRACTOR SHALL MAKE AND HIGHLIGHT THE PROPER ALLOWANCES, AND COORDINATE WITH THE OWNER FOR PURCHASING AND DELIVERY.
 - THE CONTRACTOR MUST ENSURE TO PROTECT AND MAINTAIN ACTIVE ALL LIFE SAFETY CONDITIONS DURING ENTIRE CONSTRUCTION.
 - ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS 'A' OR 'B'. FLAME SPREAD INDEX 0-25 FOR 'A' FINISHES, 26-75 FOR 'B' FINISHES, SMOKE DEVELOPED INDEX 0-450 AS PER NFPA ANNEX A 10.2.2.
 - INSULATION IN CONCEALED SPACES SHALL BEAR FLAME SPREAD RATING OF NOT MORE THAN 25 AND SMOKE DEVELOPED INDEX OF NOT MORE THAN 450.
 - WHERE REQUIRED BY THE AUTHORITY HAVING JURISDICTION FOR NEW CONSTRUCTION, MODIFICATION, OR REHABILITATION, CONSTRUCTION DOCUMENTS AND SHOP DRAWINGS SHALL BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO START OF WORK.
 - CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, COMMENCEMENT OF NEW WORK SHALL MEAN ACCEPTANCE OF THESE CONDITIONS.
 - REVIEW AND APPROVAL OF THE CONSTRUCTION DOCUMENTS BY THE AHJ DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THE CODE.
 - ALL WORK PERFORMED UNDER THIS PERMIT SHALL BE IN ACCORDANCE TO THE FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE GOVERNING CODES AND REGULATIONS BY AUTHORITIES HAVING JURISDICTION.
 - FIELD VERIFY ALL DIMENSIONS AND NOTIFY OWNER OF DISCREPANCIES BEFORE INCURRING IN ANY ADDITIONAL WORK.
 - VERIFY ALL SYSTEMS ARE DISCONNECTED OR SAFED OFF AS REQUIRED, DO NOT PROCEED IF CONDITIONS ARE UNSAFE, NOTIFY OWNER OR ARCHITECT OF ANY ISSUES.
 - ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL WORKMANLIKE MANNER AND ACCORDANCE TO BEST INDUSTRY PRACTICES; ANY WORK NOT CONFORMING TO THESE STANDARDS SHALL BE REJECTED BY THE ARCHITECT AND CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO OWNER.
 - ALL MATERIALS FURNISHED BY CONTRACTOR SHALL BE NEW AND SHALL BE STORED IN A MANNER PROTECTED FROM DAMAGE AND FROM THE ELEMENTS.
 - NO ADDITIONAL WORK WILL BE APPROVED WITHOUT WRITTEN AUTHORIZATION BY OWNER OR ARCHITECT.
 - PROVIDE ALL VERTICAL AND HORIZONTAL TRANSPORTATION OF MATERIALS, COORDINATE USE OF SITE AND FACILITIES WITH OWNER OR ARCHITECT THROUGHOUT THE PROJECT, INCLUDING MACHINERY OR EQUIPMENT REQUIRED FOR PREPARATION, CONVEYING OR ERECTION OF THE WORK.
 - WHERE REQUIRED, PROVIDE AND LATER REMOVE TEMPORARY PROTECTION AFTER WORK IS COMPLETE, DAILY AND FINAL CLEANING AND THE SAFE DISPOSAL OF DEBRIS AND/OR ANY EXCESS BUILDING MATERIAL IS ALSO EXPECTED.
- UNLESS DIRECTED OTHERWISE BY THESE DRAWINGS, ALL EXISTING ELEMENTS INCLUDING STRUCTURE, WALLS, ELECTRICAL INSTALLATION, MECHANICAL EQUIPMENT AND DEVICES, AND FIXTURES ARE TO REMAIN. RESIDENCE COMPLIES WITH CODE REQUIREMENTS, EXISTING LIFE SAFETY EQUIPMENT IS AND SHALL REMAIN FUNCTIONAL DURING ENTIRE CONSTRUCTION ACTIVITIES, INCLUDING FIRE / SMOKE ALARMS. THESE ITEMS MAY BE ADDRESSED BY THE INSPECTORS AT THE TIME OF INSPECTIONS.

TYPICAL NOTES

- CELLULOSE LOOSE-FILL INSULATION SHALL MEET ONLY SMOKE DEVELOPED INDEX OF NOT MORE THAN 450.
- ALL DEMO SURFACE SHALL BE PATCHED AND PREPARED FOR PAINT COATING.
- ALL WALLS SHALL BE REFINISHED AND PREPARED FOR PAINT.
- HARD CEILING TON BE INSTALLED IN LIVING ROOM AND DEN.
- ALL WALL SWITCHES AND WALL OUTLETS TO BE CLEANED AND REPLACED AT THEIR PROPER LOCATION.
- WINDOWS TO BE REPAIRED, GASKET & ROLLERS ON BALCONY SLIDING GLASS DOORS TO BE REPLACES AS NEEDED FOR PROPER OPERATION.
- ALL EXISTING BATHROOM FIXTURES TO BE REMOVED AND REPLACED WITH NEW. SHOWER DOORS TO BE REPLACED WITH NEW CLEAR. SHOWER DOOR.
- PORCELAIN FLOOR TILES PROVIDED BY OWNER TO BE INSTALLED.
- NEW WOOD BASE TO BE INSTALLED THROUGHOUT.
- THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF PROPOSED INSTALLATION.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT WRITTEN APPROVAL BY ARCHITECT PRIOR TO TAKING RELATED ACTION.
- FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
- CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, BEGINNING OF NEW WORK SHALL MEAN ACCEPTANCE OF EXISTING CONDITIONS.
- IN CASE OF VARIATIONS OR IF DISCREPANCIES ARE FOUND IN THE FIELD DUE TO LACK OF DIMENSIONS OR OTHER INFORMATION, CONSULT WITH ARCHITECT PRIOR TO TAKING ACTION.
- NO ADDITIONAL WORK WILL BE APPROVED WITHOUT PREVIOUS WRITTEN AUTHORIZATION AND AGREED TO BY THE OWNER AND THE GENERAL CONTRACTOR.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION AND FINAL ACCEPTANCE BY THE OWNER.
- SUBMIT SUBMITTALS, SHOP DRAWINGS, CUT SHEETS, SPECIFICATIONS FOR ALL MATERIALS PROVIDED UNDER THIS SCOPE OF WORK AND AS SHOWN ON THE DRAWINGS.
- IF DISCREPANCIES EXIST, SUBCONTRACTOR MUST NOTIFY AND OBTAIN WRITTEN APPROVAL BY ARCHITECT PRIOR TO TAKING ACTION.



KETER CONSULTING, INC.
2024 NE 34TH CT.
AVENTURA, FL 33180

SEAL

REVISIONS

REMODELING PLANS
MONARCH DEVELOPMENT
1239 JACKSON STREET
HOLLYWOOD, FL 33019

PLAN

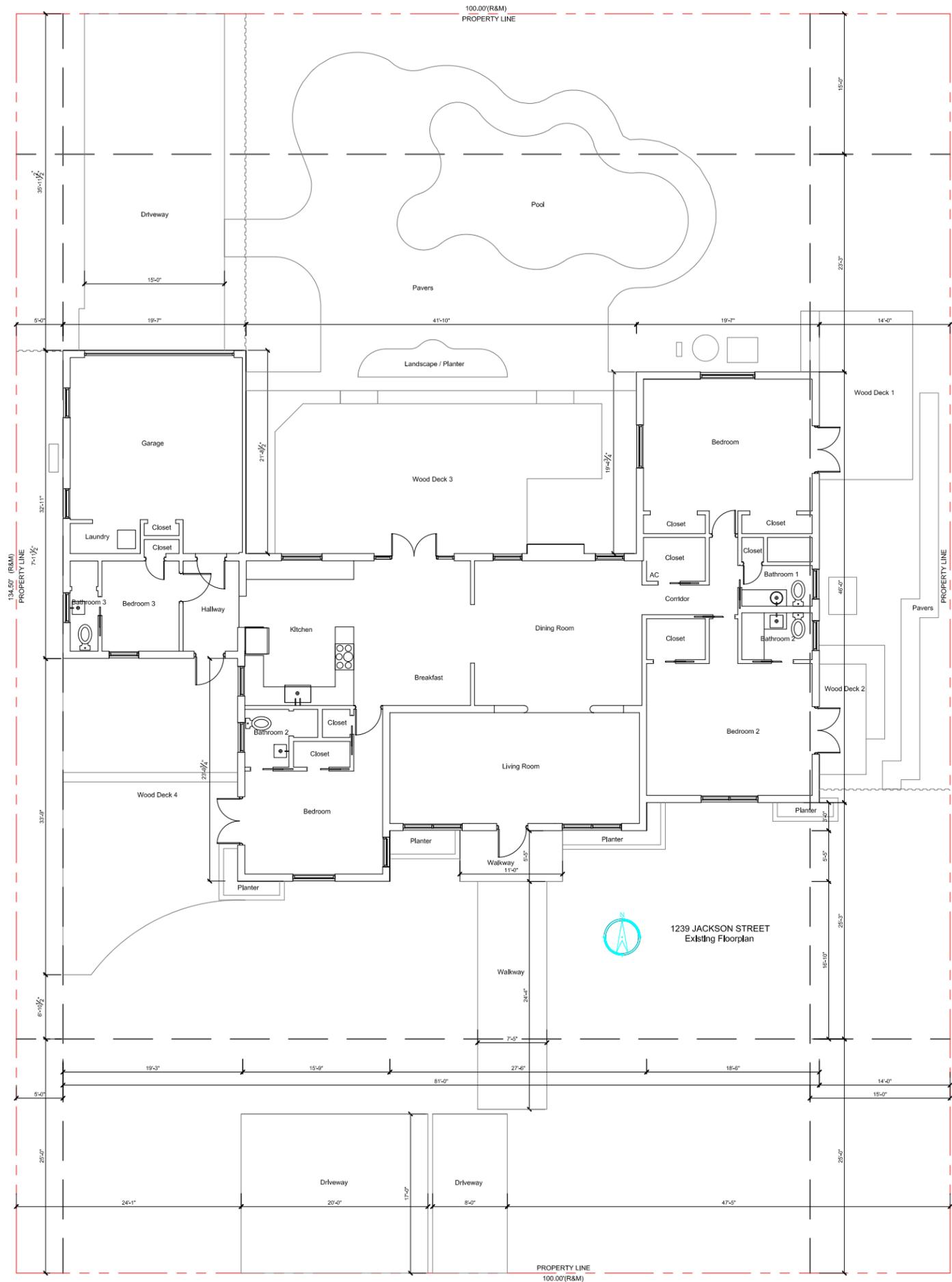
COVER SHEET

These drawings, plans, specs and design are prepared by KETER CONSULTING, INC. in the USA and shall not be reproduced, changed or copied without written authorization by Keter Consulting, Inc. This document is prepared for the specific uses described only. Keter Consulting cannot assume any responsibility for use in any other way.

DATE: APR 26, 2016
SCALE: AS NOTED
DRAWN: Mjg/ad
JOB NO.: 201604200

A-0.0

SHEET NO.:



LOT COVERAGE INFORMATION

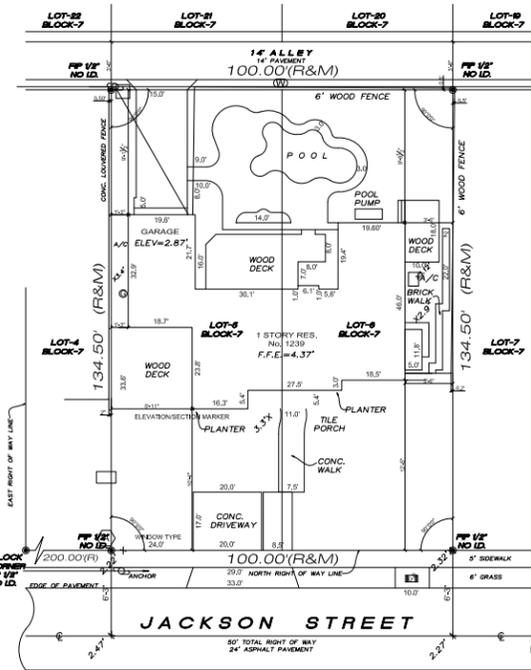
- SQUARE FEET OF LOT (107' x 134.91') 13,491
- SQUARE FEET OF EXISTING HOUSE 2,898
- SQUARE FEET OF IMPERVIOUS SURFACES (EX. 3,916) 2,998

	Existing	Proposed
Driveways	1,018	761
Walkways	240	126
Pavers	998	983
Pool	349	349
Wood Decks	1,312	779
- SQUARE FEET OF THE ADDITION 1,081
- SQUARE FEET OF PROPOSED ACCESSORY STRUCTURES 0
- TOTAL SQUARE FEET OF IMPERVIOUS AREA 6,977
- PERCENTAGE OF IMPERVIOUS LOT COVERAGE 51.7%

LOT COVERAGE CALCULATIONS:

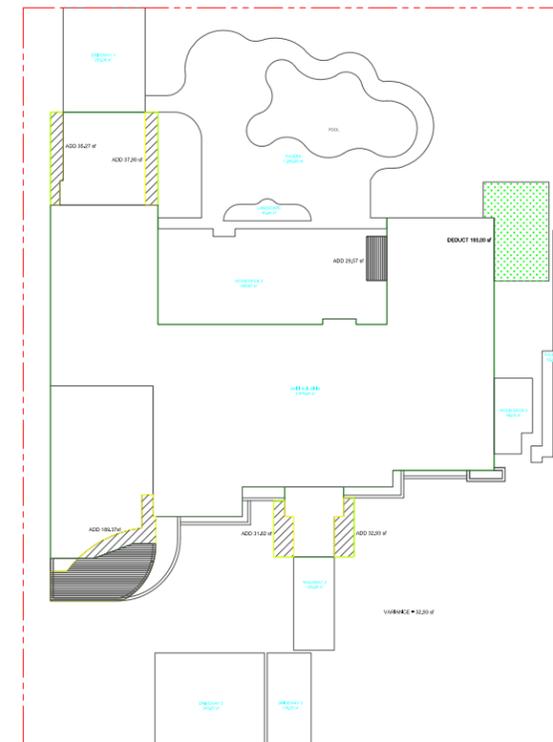
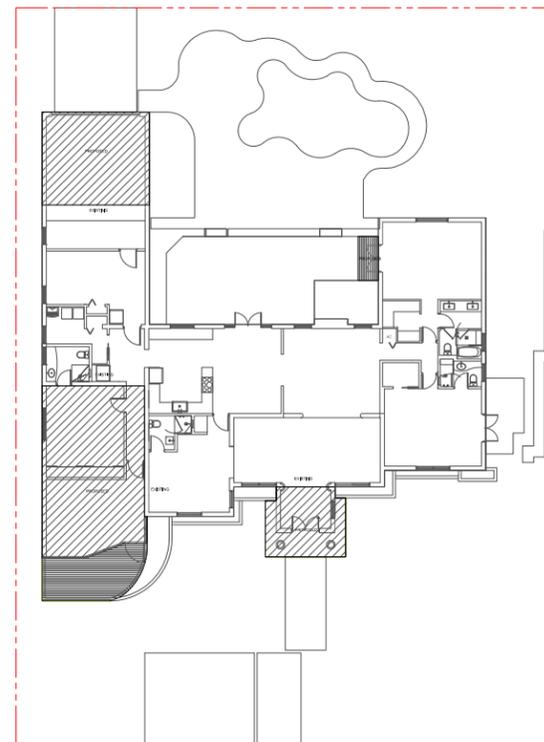
Lot Area	13,491	square feet
Zoning RS-6		
	Required	Provided
Perimeter Landscaping	2	4
Front Yard Landscape	500	1,958
Trees	2	15
Setbacks		
Front	25	34
Rear	15	19
Sides	20	19
Impervious surfaces	Existing	Proposed
Driveway 1	542	285
Driveway 2	340	340
Driveway 3	136	136
House	2,898	3,979
Pavers 1	1,254	1,239
Pavers 2	93	93
Walkway 1	59	-
Walkway 2	181	126
Wood Deck 1	193	-
Wood Deck 2	89	89
Wood Deck 3	497	533
Wood Deck 4	533	158
Total	6,814	6,977
% of lot coverage	50.5%	51.7%
Total Landscaped / Pervious Areas:	48.3%	

SURVEY:



**EXISTING 1-STORY
SINGLE RESIDENCE
1239 JACKSON ST.
HOLLYWOOD, FL 33019**

LOT COVERAGE GRAPHICS:



KETER CONSULTING, INC.
20214 NE 34TH CT.
AVENTURA, FL 33180

SEAL

REVISIONS

NO.	DESCRIPTION

**REMODELING PLANS
MONARCH DEVELOPMENT
1239 JACKSON STREET
HOLLYWOOD, FL 33019**

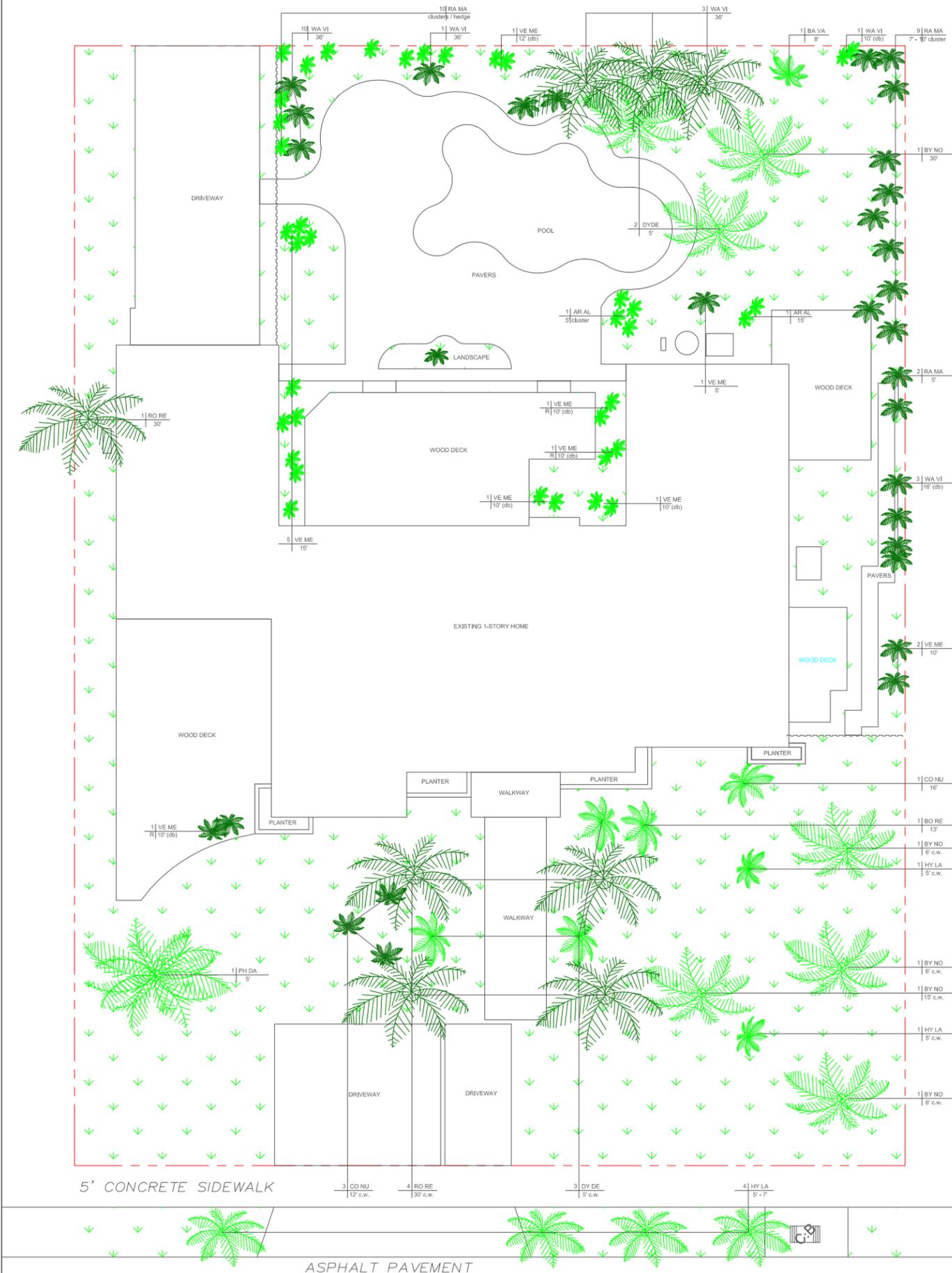
**EXISTING SITE,
FLOORPLAN
AND SURVEY**

DATE: APRIL 28, 2016
SCALE: AS NOTED
DRAWN: Mjg/ad
JOB NO.: 201604-200

A-0.1

SHEET NO.:

These drawings, plans, bills and design shall not be reproduced, changed or copied without the written authorization of Keter Consulting, Inc. This document is prepared for the specific uses described only. Keter Consulting cannot assume any responsibility if used for any other use.



LANDSCAPE SCHEDULE

TREE TABLE - Existing (E) and Relocation (R)

ITEM	KEY	(E) / (R)	COMMON NAME	SCIENTIFIC NAME	UNITS	HEIGHT	CALIPER	NOTES
001	AR AL	E	Alexander Palm	Archontophoenix alexandrae	1	15'	4"	
002	BA VA	E	Orchid Tree	Bauhinia variegata	1	8'	2"	
003	BE RE	E	Ponytail Palm / Elephant's foot	Beaucarnea recurvata	1	13'	3" - 5"	multiple
004	BY NO	E	Bismarc Palm	Bismarkia nobilis	1	30'	19"	
005	BY NO	E	Bismarc Palm	Bismarkia nobilis	3	6'		cluster
006	CA MI	E	Fishtail Palm	Caryota mitis	1	30'		
007	CO NU	E	Coconut Palm	Coccus nucifera	1	15'		
008	CO NU	E	Coconut Palm	Coccus nucifera	3	12'		
009	DY DE	E	Triangle Palm	Dypsis decaryi	3	5'	14"	
010	HY LA	E	Bottle Palm	Hyophorbe lagenicaulis	5	5' - 7'		
011	PH DA	E	Date Palm	Phoenix dactylifera	1	5'	14"	
012	RA MA	E	Traveler's Palm	Ravenala madagascariensis	18	7' - 10'		
013	RO RE	E	Royal Palm	Roystonea regia	4	30'	18"	
014	VE ME	E	Christmas Palm	Veitchia merrillii	1	12'	5"	
015	VE ME	E/R	Christmas Palm	Veitchia merrillii	2	13'	4" - 5"	
016	VE ME	E/R	Christmas Palm	Veitchia merrillii	5	15'	4"	
017	WA RO	E	Washingtonia Palm	Washingtonia robusta	4	10'	12"	
018	WA RO	E	Washingtonia Palm	Washingtonia robusta	4	5'	2" - 3"	
019	WA RO	E	Washingtonia Palm	Washingtonia robusta	3	36"		
020	WA RO	E/R	Washingtonia Palm	Washingtonia robusta	1	5'	2"	
TOTAL					63			

LANDSCAPE PHOTOS



KETER CONSULTING, INC.
20214 NE 34TH CT.
AVENTURA, FL 33180

SEAL

REVISIONS

REMODELING PLANS
MONARCH DEVELOPMENT
1239 JACKSON STREET
HOLLYWOOD, FL 33019

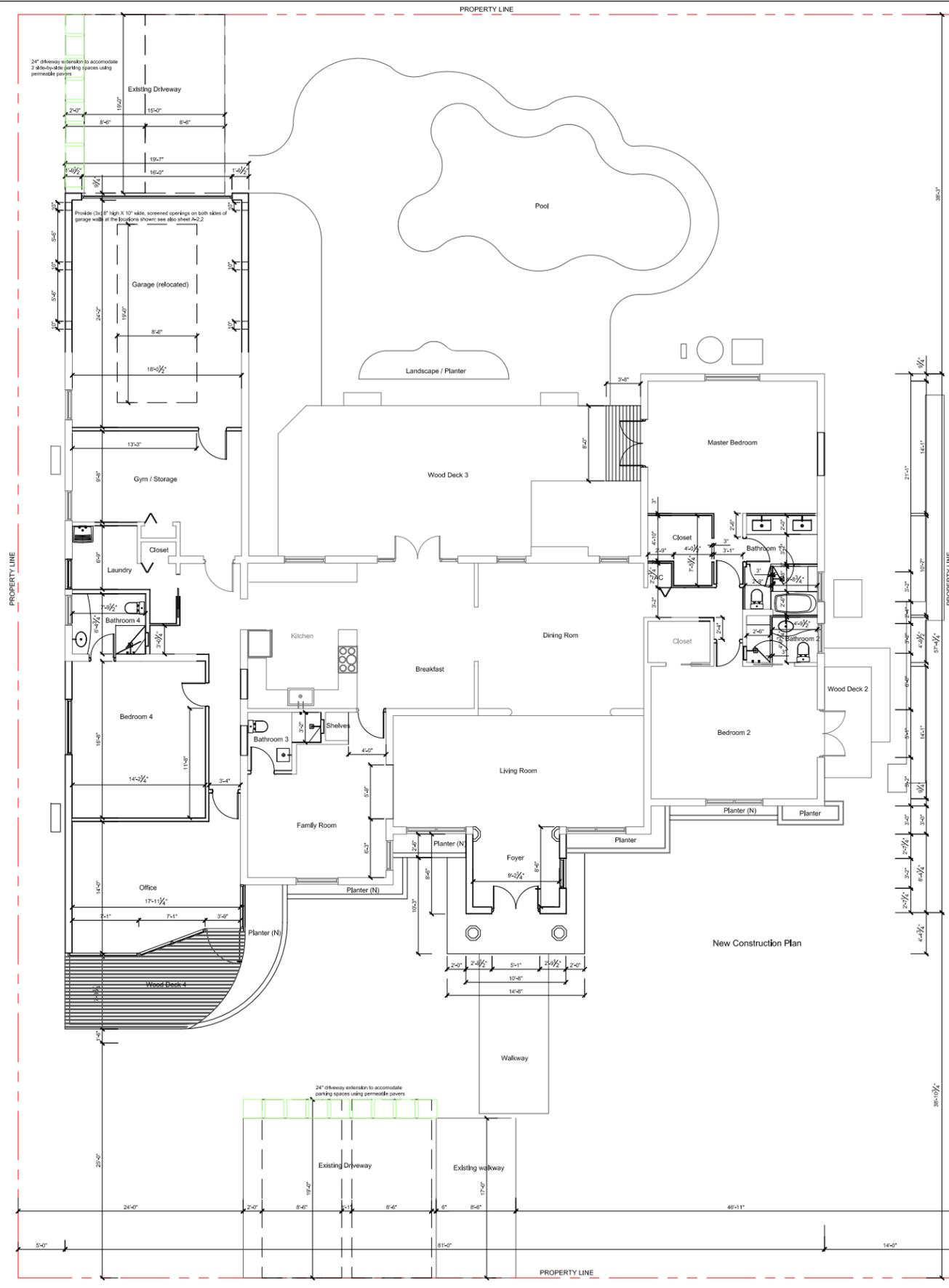
LANDSCAPING
PLAN

These drawings, plans, bills and design are prepared by the firm of KETER CONSULTING, INC. and shall not be reproduced, changed or copied without written authorization by KETER CONSULTING, INC. The documents prepared for the specific uses described only. KETER CONSULTING cannot assume any responsibility for use in any other way.

DATE: APRIL 26, 2016
SCALE: AS NOTED
DRAWN: MJP/ad
JOB NO.: 201604-200

A-0.2

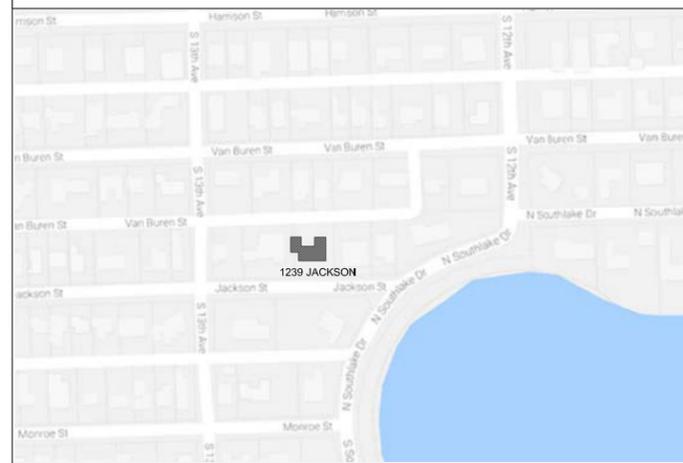
SHEET NO.:



PARCEL INFORMATION

Folio Number:	5142 14 01 4600
Owner:	MONARCH DEVELOPMENT INC.
Site Address:	1239 JACKSON ST HOLLYWOOD FL 33019-1519
Legal Description:	HOLLYWOOD LAKES SECTION 1-32 B LOT 5, 6 BLK 27
Use Code:	01 SINGLE FAMILY
Zoning:	RS-6
Neighborhood:	E63
Lot Size:	13,491 SF
Adj. Bldg.:	EXISTING 2,635 SF
No. Bedrooms:	4
No. Baths:	4
No. Units:	1
No. Stories:	1
No. Buildings:	1
	PROPOSED 3,734 SF

LOCATION MAP



AERIAL PHOTO



HISTORIC PRESERVATION BOARD NOTES

- DEN, HALLWAY, BEDROOM, BATHROOM, GYM, LAUNDRY, GARAGE, AND FOYER TO HAVE THEIR FFE RAISED TO MATCH ADJACENT, EXISTING ELEVATIONS.
- PROVIDE (3) HYDROSTATIC FLOOD VENTS ON EACH SIDE OF THE GARAGE WALLS AS INDICATED IN THE ELEVATIONS, SHEET A-2.2.
- (5) PARKING SPACES PROVIDED, (2) AT DRIVEWAYS ON THE SOUTH ELEVATION FACING JACKSON STREET, (1) AT THE GARAGE, AND (2) ADDITIONAL PARKING SPACES AT THE DRIVEWAY, NORTH ELEVATION, FACING BACK ALLEY.
- 1-CAR GARAGE PROVIDED MEASURING 18'-0" x 24'-2".
- ALL PARKING SPACES ARE A MINIMUM OF 8'-6" x 19'-0".
- MATERIALS FOR NEW, PROPOSED PLANTERS WILL BE DEFINED BY THE TIME OF BUILDING PERMIT APPLICATION, AS REQUIRED, ALL MATERIALS TO BE WITH APPROVED RECOMMENDED NATIVE SPECIES AS DESCRIBED WITHIN THE CITY OF HOLLYWOOD'S LANDSCAPE MANUAL.
- PROPOSED FACADE COLOR TO BE SHERWIN WILLIAMS PISTACCHIO SW-1429, AS PER APPROVED CITY OF HOLLYWOOD'S COLOR CHART.
- ANY OTHER COMMENTS / REVISIONS SHALL BE INCORPORATED TO THE FINAL PLANS, AS NEEDED, PRIOR TO THE SUBMISSION OF THE FULL PERMIT SET TO CITY OF HOLLYWOOD'S BUILDING DEPARTMENT.

DRAWING LIST

A-0.0	COVER SHEET
A-0.1	EXISTING SITE, FLOORPLAN AND SURVEY
A-0.2	LANDSCAPE PLAN
A-1.0	DEMOLITION PLAN
A-1.1	PROPOSED CONSTRUCTION PLAN
A-1.2	ROOF PLANS AND DETAILS
A-2.1	NORTH AND SOUTH ELEVATIONS
A-2.2	EAST AND WEST ELEVATIONS
A-3.0	WALL & PARTITIONS TYPES AND DETAILS
A-3.1	ENLARGED PLANS AND DETAILS
A-3.2	ENLARGED PLANS AND DETAILS
A-3.3	ENLARGED PLANS AND DETAILS
S-1.1	STRUCTURAL PLANS - FOUNDATION PLAN AND DETAILS
S-1.2	STRUCTURAL PLANS - ROOF PLAN AND DETAILS
M-1.0	MECHANICAL PLAN AND DETAILS
E-1.0	ELECTRICAL PLAN AND DETAILS
P-1.0	PLUMBING PLAN AND DETAILS



KETER CONSULTING, INC.
2024 NE 34TH CT.
AVENTURA, FL 33180

SEAL

REVISIONS

REMODELING PLANS
MONARCH DEVELOPMENT
1239 JACKSON STREET
HOLLYWOOD, FL 33019

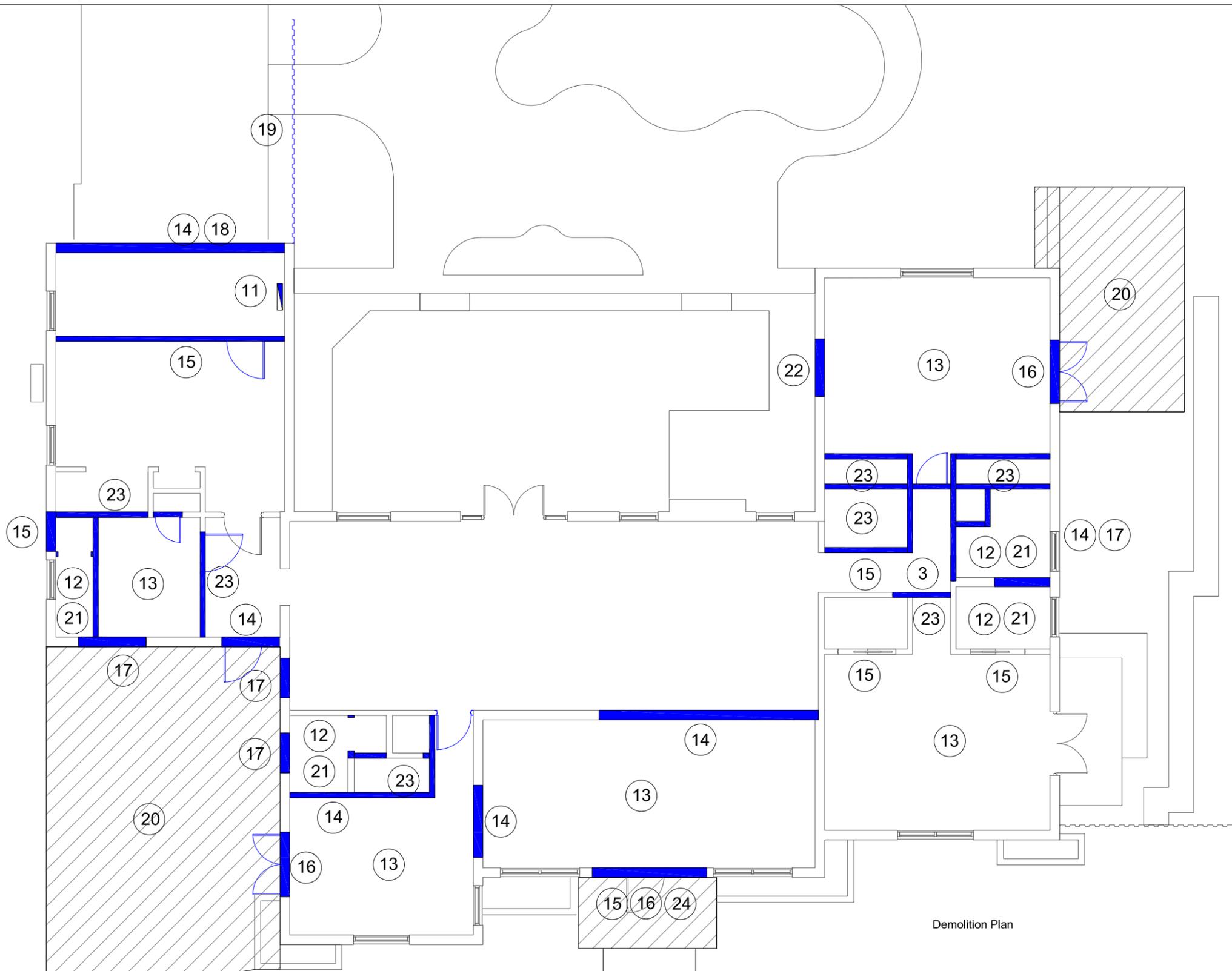
PLAN
HPB COMMENTS
HPB COMMENTS
PLAN

These drawings, plans, bills and design are prepared by our staff based on the USA and shall not be reproduced, changed or copied without written authorization by Keter Consulting, Inc. This document is prepared for the specific uses described only. Keter Consulting cannot assume any responsibility if used in any other way.

DATE: APRIL 26, 2016
SCALE: AS NOTED
DRAWN: Mjg/af
JOB NO.: 201604200

A-0.3

SHEET NO.:



UNLESS DIRECTED OTHERWISE BY THESE DRAWINGS, ALL OTHER ELEMENTS INCLUDING, COLUMNS, WALLS, EQUIPMENT, ELECTRICAL OUTLETS, MECHANICAL VENTS, AND FIXTURES ARE EXISTING TO REMAIN. APARTMENT COMPLIES WITH CODE REQUIREMENTS, ALL NECESSARY LIFE SAFETY EQUIPMENT IS EXISTING AND FUNCTIONING, INCLUDING SMOKE ALARMS, FIRE ALARM ANNUNCIATORS, AND FIRE SPRINKLERS. THESE ITEMS ARE BEING OMITTED FROM THESE DRAWINGS AND ARE NOT BEING AFFECTED BY THE SCOPE OF WORK IN THIS PROJECT. THESE ITEMS MAY BE ADDRESSED BY THE INSPECTORS AT THE TIME OF INSPECTIONS.

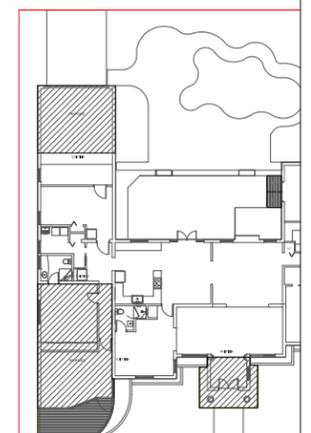
DEMOLITION NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL OF THE NECESSARY RESOURCES INCLUDING LABOR, MATERIALS, EQUIPMENT, ETC. FOR THE COMPLETION OF ALL DEMOLITION WORK, AS INDICATED OR IMPLIED BY THE DRAWINGS.
2. THE CONTRACTOR SHALL CONFIRM WITH THE OWNER ITEMS TO SALVAGE PRIOR TO DEMOLITION. PROPER REMOVAL AND DISPOSING REQUIRED, UNLESS OTHERWISE DIRECTED BY THE OWNER.
3. THE CONTRACTOR SHALL PROTECT EXISTING AREAS TO REMAIN WHICH ARE NOT PART OF THE WORK. THE DEMOLITION CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCEMENT.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES DURING THE DEMOLITION WORK AND SHALL INSURE THAT UTILITIES ARE PROTECTED FROM DAMAGE, CAPPED AND ABANDONED OR RE-ROUTED.
5. NO UTILITY SHALL BE DISCONNECTED WITHOUT CONSENT FROM THE OWNER OR ITS AUTHORIZED REPRESENTATIVE.
6. CONTRACTOR SHALL CONTROL AMOUNT OF DUST RESULTING FROM DEMOLITION AND/OR CONSTRUCTION OR TO PREVENT SPREAD OF DUST TO OTHER BUILDING AREAS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE ALLOWED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS.
7. CONDUCT REMOVAL OPERATIONS TO MAINTAIN TRAFFIC ALONG EXISTING STREETS AND SIDEWALKS. KEEP PAVED STREETS AND COMMON AREAS AND SIDEWALKS FREE OF DEBRIS. REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES IMMEDIATELY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, DEBRIS, AND DUST RESULTING FROM DEMOLITION. DISPOSE OF DEBRIS LEGALLY ON OR OFF SITE. USE ONLY APPROVED METHODS. NOTIFY OWNER AND/OR ARCHITECT FOR ANY UNFORESEEN CONDITIONS OR DEVIATIONS FROM THESE PLANS.
9. ALL DEMOED SURFACES SHALL BE PATCHED AS NEEDED AND PREPARED FOR FINAL PAINT COATING.

Demolition Keys:

11. SAFE OFF EXISTING ELECTRICAL INSTALLATION
12. CAP-OFF EXISTING WATER AND SEWER LINES TO BE MODIFIED AND/OR ABANDONED
13. DEMO EXISTING FLOOR FINISHES
14. DEMO FOR NEW WALL OPENING
15. DEMO EXISTING WALLS, DOOR AND/OR WINDOW
16. REMOVE EXISTING DOOR, SALVAGE FOR REUSE AND BLOCK WALL
17. REMOVE EXISTING WINDOW, SALVAGE FOR REUSE AND BLOCK WALL
18. REMOVE EXISTING ROLL UP DOOR, TRACKS AND MOTOR, SLAVAGE FOR REUSE
19. CAREFULLY REMOVE PORTION OF EXISTING PAVERS AND WOOD FENCE FOR REUSE ON NEW CONSTRUCTION
20. DEMO EXISTING WOOD DECK, SALVAGE MATERIALS FOR REUSE
21. DEMO ALL FLOOR AND WALL FINISHES AND FIXTURES, CAP-OFF EXISTING PLUMBING LINES
22. DEMO WALL TO ALLOW FOR THE INSTALLATION OF RELOCATED FRENCH DOORS
23. DEMO WALL TO ALLOW FOR NEW LAYOUT
24. REMOVE EXISTING STONE FINISH ON WALL AND FLOOR

CONSTRUCTION KEY PLAN



KETER CONSULTING, INC.
20214 NE 34TH CT.
AVENTURA, FL 33180

SEAL

REVISIONS

REMODELING PLANS
MONARCH DEVELOPMENT
1239 JACKSON STREET
HOLLYWOOD, FL 33019

PLAN
DEMOLITION PLAN
AND DETAILS

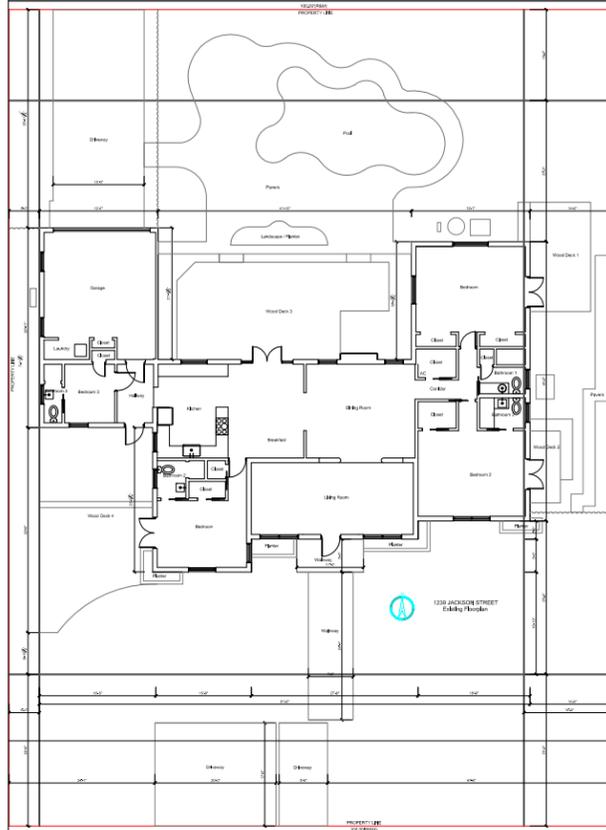
These drawings, plans, keys and details are prepared by our firm in accordance with the laws and regulations of the State of Florida and shall not be reproduced, changed or copied without written authorization by Keter Consulting, Inc. This document is provided for the specific use described only. Keter Consulting cannot assume any responsibility if used for any other use.

DATE: APRIL 26, 2016
SCALE: AS NOTED
DRAWN: MJP/af
JOB NO.: 201604-200

A-1.0

SHEET NO.:

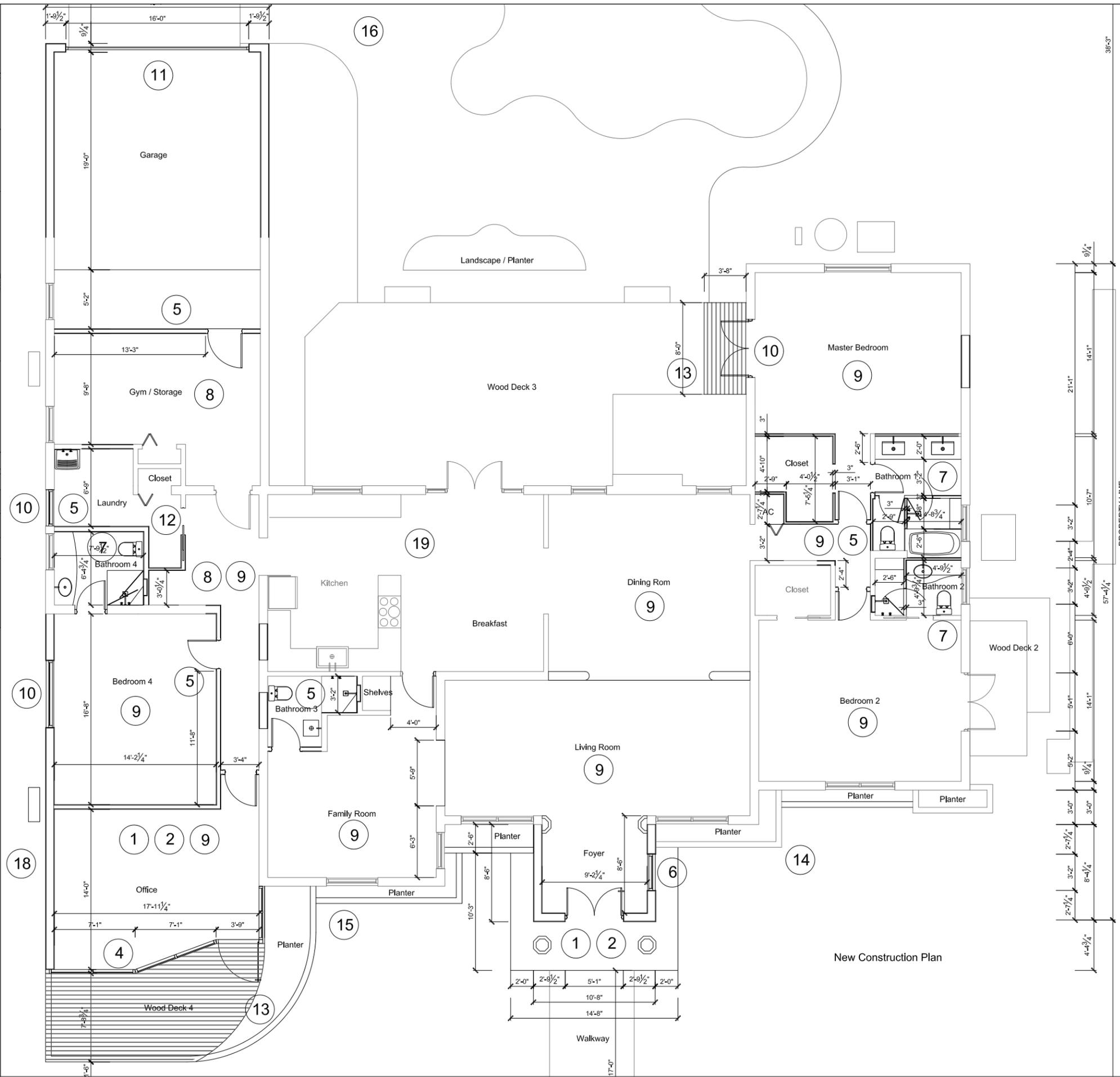
EXISTING PLAN



SCOPE OF WORK SUMMARY

- New Construction**
- BUILD NEW SLAB-ON-GRADE. MATCH ADJACENT SLAB ELEVATION
 - BUILD NEW WALLS, COLUMNS AND TIE BEAMS
 - INSTALL NEW FLAT ROOFS
 - INSTALL NEW STOREFRONT WINDOWS AND DOOR
 - BUILD NEW PARTITIONS AND INSTALL DOORS AS PER NEW LAYOUT
 - INSTALL NEW DOORS AND WINDOWS AS PER NEW LAYOUT
 - INSTALL NEW WATER AND SEWER PIPING AND FIXTURES
 - RAISE UP FLOOR LEVEL TO MATCH KITCHEN F.F.E.
 - INSTALL NEW FLOOR FINISH AND BASE
 - INSTALL SALVAGED WINDOW
 - INSTALL SALVAGED ROLLUP DOOR, TRACKS AND MOTOR
 - INSTALL SALVAGED POCKET DOOR
 - BUILD NEW WOOD DECK USING SALVAGED MATERIALS
 - INSTALL NEW WINDOW MOLDINGS
 - BUILD NEW WATERPROOF PLANTERS
 - RELOCATE PAVERS TO NEW LAYOUT
 - RELOCATE EXISTING GATE
 - INSTALL NEW WOOD FENCE AND GATE MATCHING EXISTING
 - NO WORK IN THIS AREA
 - PAINT WALLS AND CEILING THROUGHOUT

THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF PROPOSED INSTALLATION. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT WRITTEN APPROVAL BY ARCHITECT PRIOR TO TAKING RELATED ACTION. FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES. CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. BEGINNING OF NEW WORK SHALL MEAN ACCEPTANCE OF EXISTING CONDITIONS. IN CASE OF VARIATIONS OR IF DISCREPANCIES ARE FOUND IN THE FIELD DUE TO LACK OF DIMENSIONS OR OTHER INFORMATION, CONSULT WITH ARCHITECT PRIOR TO TAKING ACTION. NO ADDITIONAL WORK WILL BE APPROVED WITHOUT PREVIOUS WRITTEN AUTHORIZATION AND AGREED TO BY THE OWNER AND THE GENERAL CONTRACTOR. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION AND FINAL ACCEPTANCE BY THE OWNER. SUBMIT SUBMITTALS, SHOP DRAWINGS, CUT SHEETS, SPECIFICATIONS FOR ALL MATERIALS PROVIDED UNDER THIS SCOPE OF WORK AND AS SHOW ON THE DRAWINGS. IF DISCREPANCIES EXIST, SUBCONTRACTOR MUST NOTIFY AND OBTAIN WRITTEN APPROVAL BY ARCHITECT PRIOR TO TAKING ACTION.



New Construction Plan



KETER CONSULTING, INC.
20214 NE 34TH CT.
AVENTURA, FL 33180

SEAL

REVISIONS

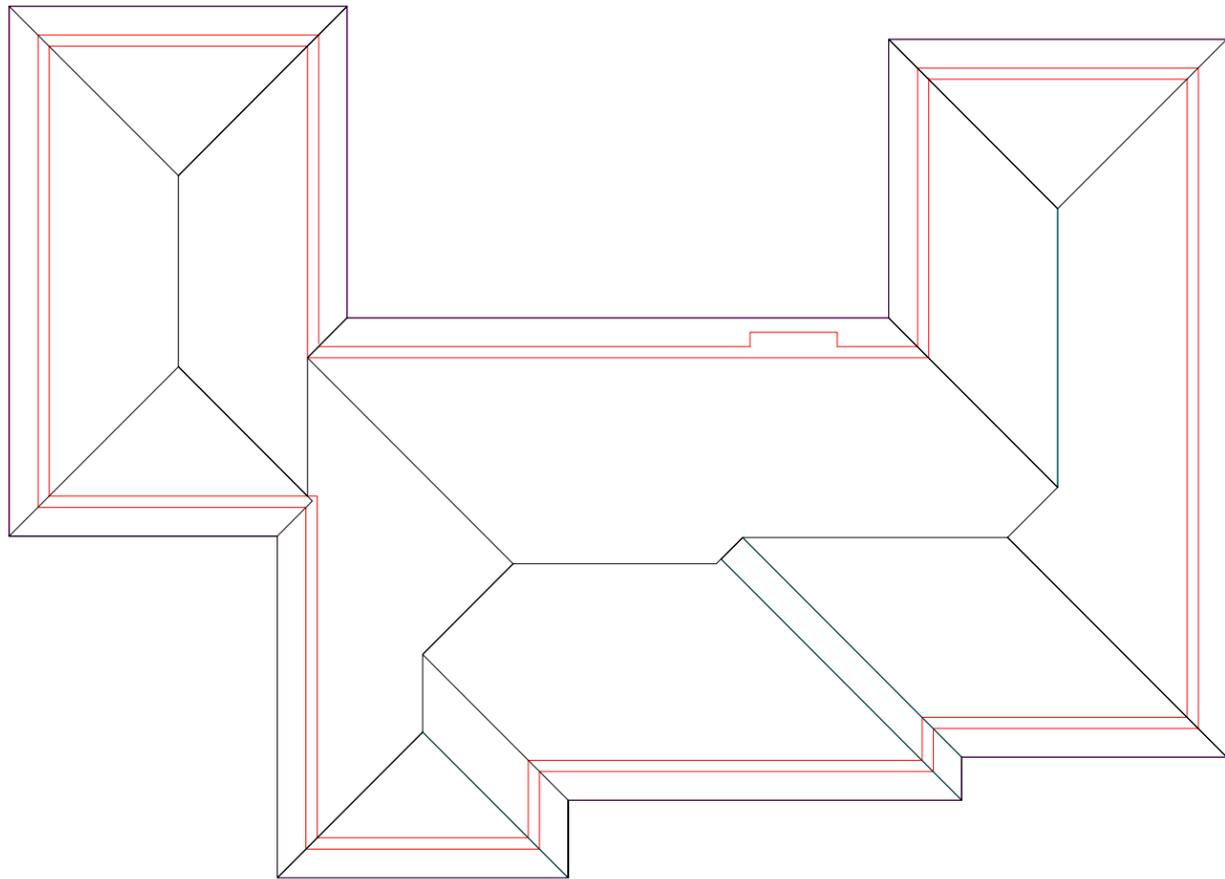
REMODELING PLANS
MONARCH DEVELOPMENT
1239 JACKSON STREET
HOLLYWOOD, FL 33019

PROPOSED CONSTRUCTION PLAN

DATE: APR 26, 2016
SCALE: AS NOTED
DRAWN: MJP/td
JOB NO.: 201604200

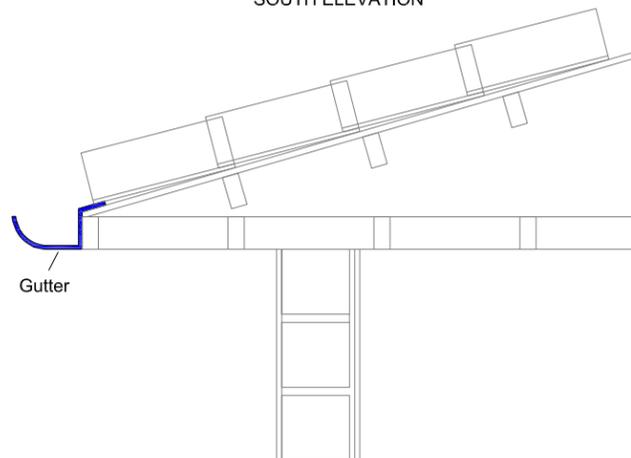
A-1.1

SHEET NO.:

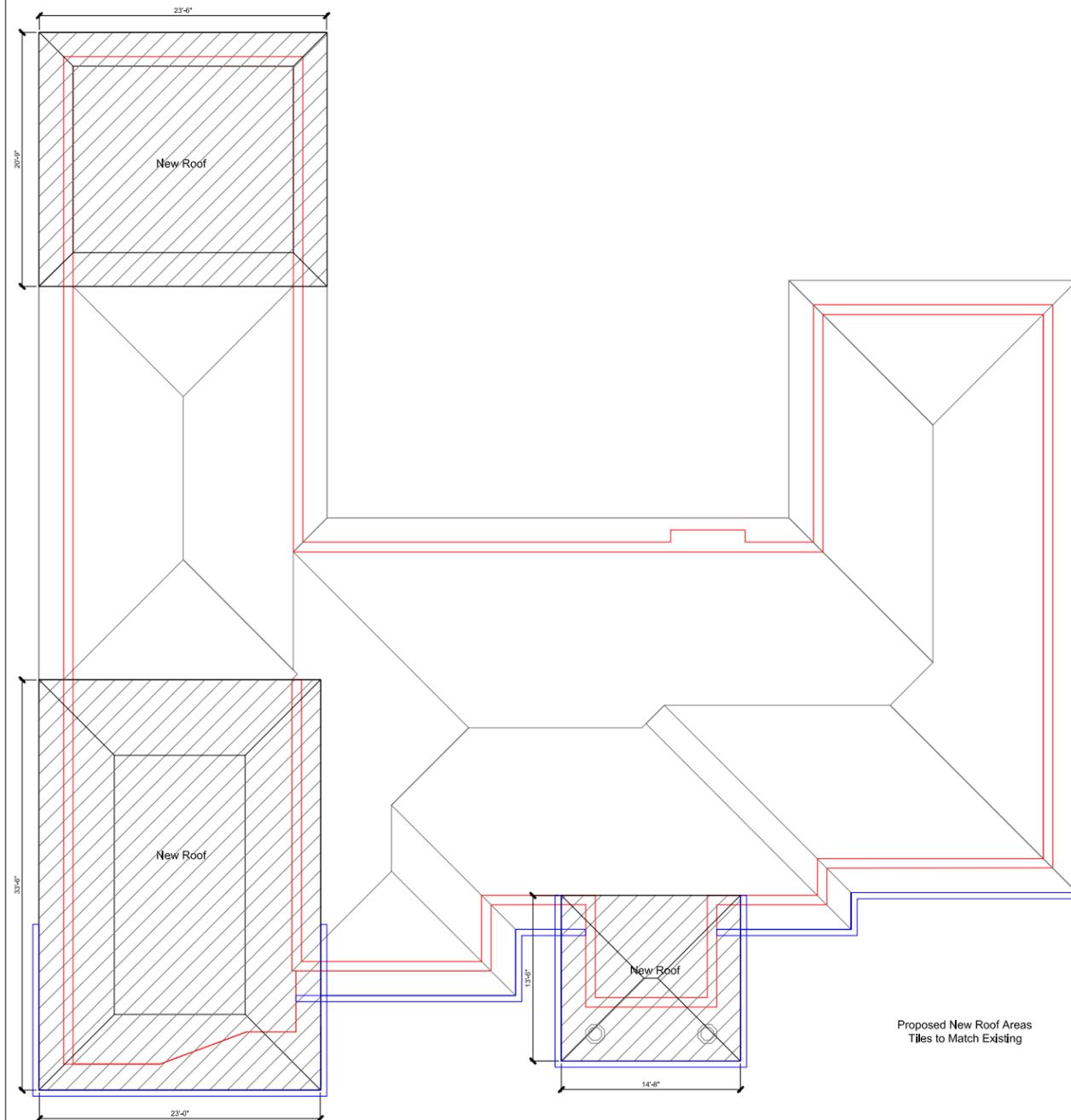


EXISTING TILE ROOF

NEW GUTTER DETAIL
AT NEW AND
EXISTING ROOFS,
SOUTH ELEVATION



Gutter



Proposed New Roof Areas
Tiles to Match Existing

ROOFING NOTES

- COORDINATE ALL WORK IN THE FIELD WITH SUPERINTENDANT PRIOR TO START CONSTRUCTION.
- PROVIDE SUBMITTALS, CUT SHEETS, SPECIFICATIONS FOR ALL MATERIALS PROVIDED UNDER THIS SCOPE OF WORK AND AS SHOW ON THE DRAWINGS.
- VERIFY WIND LOADS SHOWN ON STRUCTURAL DRAWINGS - ADJUST IF NEEDED.
- PROVIDE SIGNED AND SEALED ENGINEERED SHOP DRAWINGS
- APPLY FOR AND OBTAIN A PERMIT FOR THIS SCOPE, AS REQUIRED BY A.H.J.
- MODIFY EXISTING ROOF TRUSSES AND ADJUST TILES FOR NEW FLAT ROOFS AS NEEDED.
- SAVE EXISTING ROOF TILES FROM MODIFIED AREAS, REUSE AT FRONT (SOUTH) ELEVATION FOR THE NEW ROOFS.
- VERIFY LOCATIONS, ADD OR RELOCATE GUTTERS AND DEVICES AS NEEDED TO CONFORM TO NEW LAYOUT.
- NOTIFY OWNER/ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION; OWNER SHALL NOT INCUR IN ANY ADDITIONAL COSTS.
- PROVIDE ALL LABOR, NEW MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE ROOF INSTALLATION IN ACCORDANCE WITH THESE DRAWINGS.
- FURNISH AND INSTALL NEW ROOF TILES MATCHING MATERIAL, COLOR AND SHAPE OF EXISTING.
- FURNISH AND INSTALL NEW GUTTERS AS SHOWN ON ELEVATIONS.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF COMPLETION AND FINAL INSPECTIONS.



KETER CONSULTING, INC.
20214 NE 34TH CT.
AVENTURA, FL 33180

SEAL

REVISIONS

REMODELING PLANS
MONARCH DEVELOPMENT
1239 JACKSON STREET
HOLLYWOOD, FL 33019

PLAN

ROOF PLANS
AND DETAILS

These drawings, plans, notes and design are prepared by KETER CONSULTING, INC. and shall not be reproduced, changed or copied without the written authorization of KETER CONSULTING, INC. The documents are provided for the specific use described only. KETER CONSULTING cannot assume any responsibility if used for any other use.

DATE: APRIL 20, 2016

SCALE: AS NOTED

DRAWN: MJD

SHEET NO.: 201604.200

A-1.2

SHEET NO.:

SEAL

REVISIONS

REMODELING PLANS
 MONARCH DEVELOPMENT
 1239 JACKSON STREET
 HOLLYWOOD, FL 33019

PLAN

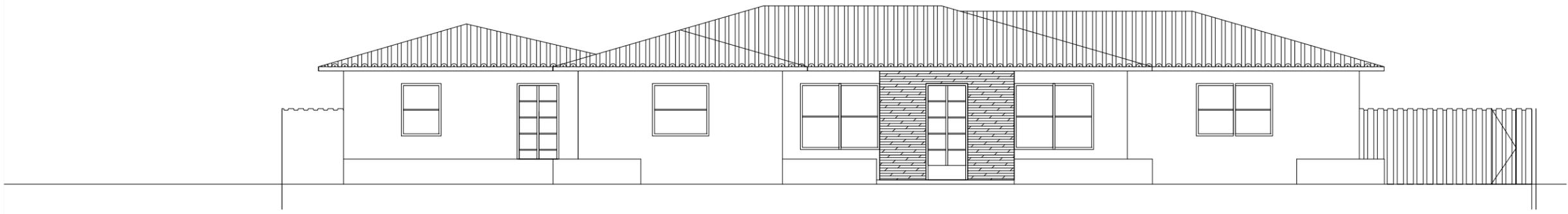
ELEVATIONS

These drawings, plans, specs and design are prepared by our firm in accordance with the standards of the AIA and shall not be reproduced, changed or copied without written authorization by Keter Consulting, Inc. This document is intended for the specific case described only. Keter Consulting cannot assume any responsibility if used for any other use.

DATE: APRIL 28, 2016
 SCALE: AS NOTED
 DRAWN: Mjg/ad
 JOB NO.: 201.604.200

A-2.1

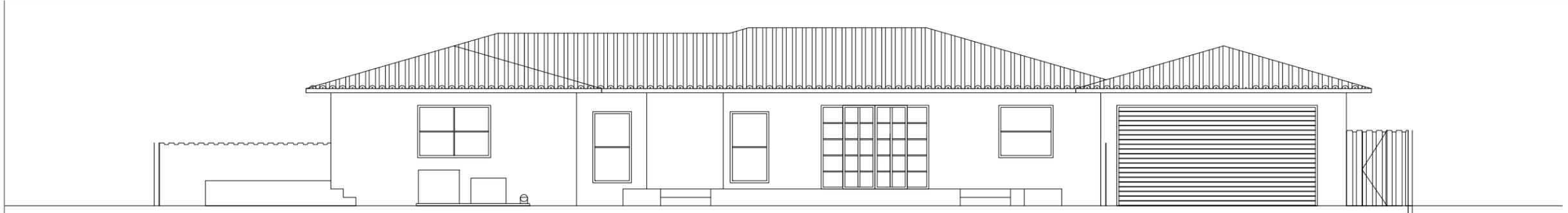
SHEET NO.:



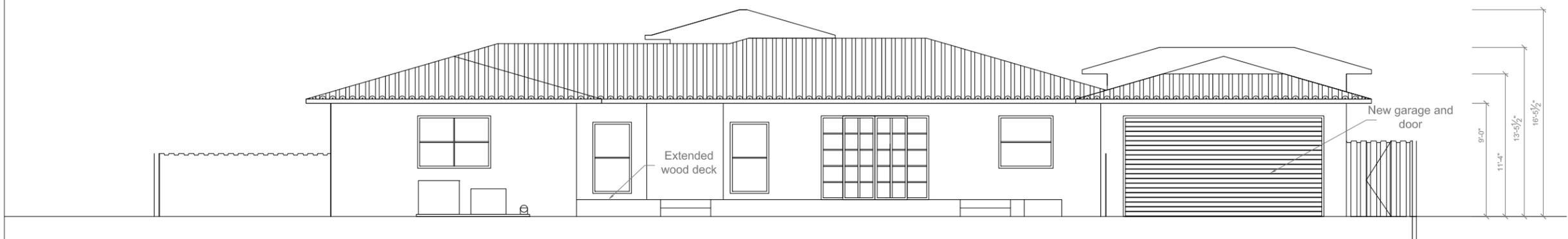
1239 JACKSON STREET - HOLLYWOOD
 Existing South Elevation (FRONT)



1239 JACKSON STREET - HOLLYWOOD
 Proposed South Elevation



1239 JACKSON STREET - HOLLYWOOD
 Existing North Elevation (REAR)



1239 JACKSON STREET - HOLLYWOOD
 Proposed North Elevation

SEAL

REVISIONS

REMODELING PLANS
 MONARCH DEVELOPMENT
 1239 JACKSON STREET
 HOLLYWOOD, FL 33019

PLAN

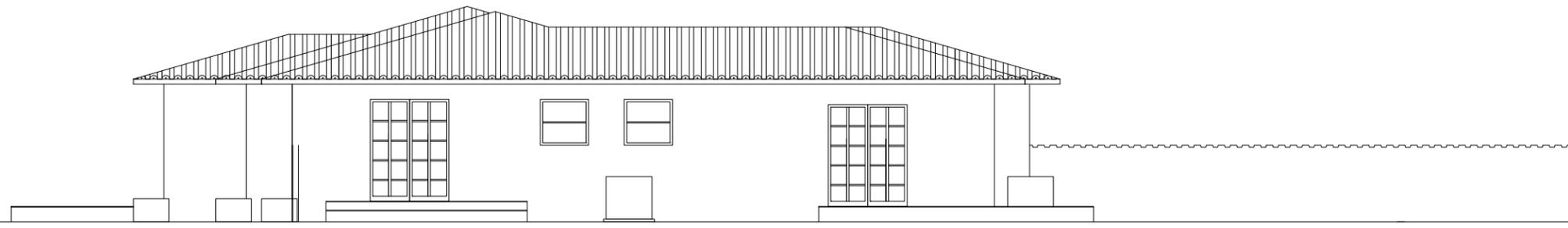
ELEVATIONS

These drawings, plans, specs and design are prepared by Keter Consulting, Inc. and shall not be reproduced, changed or copied without written authorization by Keter Consulting, Inc. The documents provided for the specific uses described only. Keter Consulting cannot assume any responsibility if used for any other use.

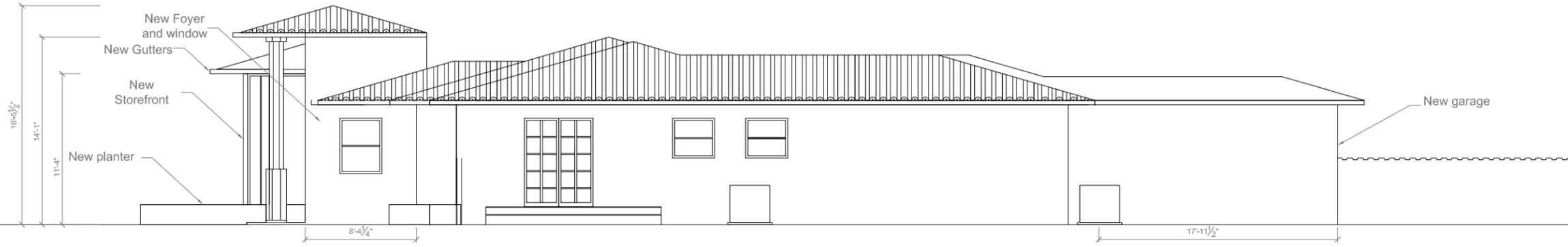
DATE: APRIL 26, 2016
 SCALE: AS NOTED
 DRAWN: MJD
 JOB NO.: 201.604.200

A-2.2

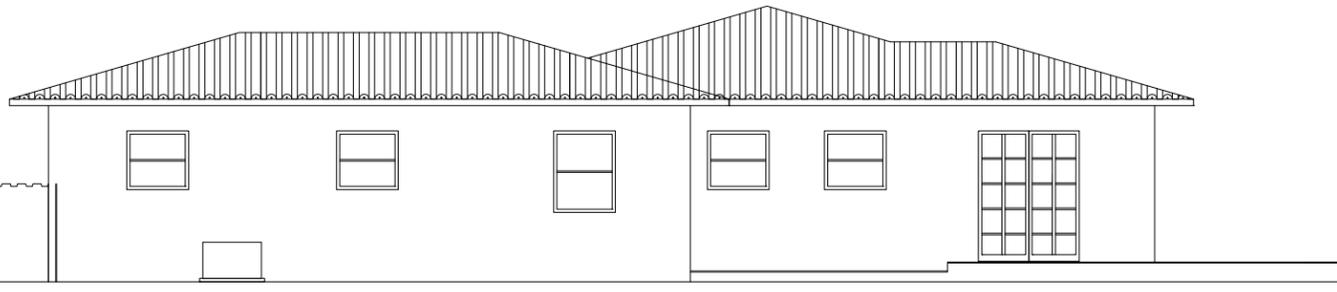
SHEET NO.:



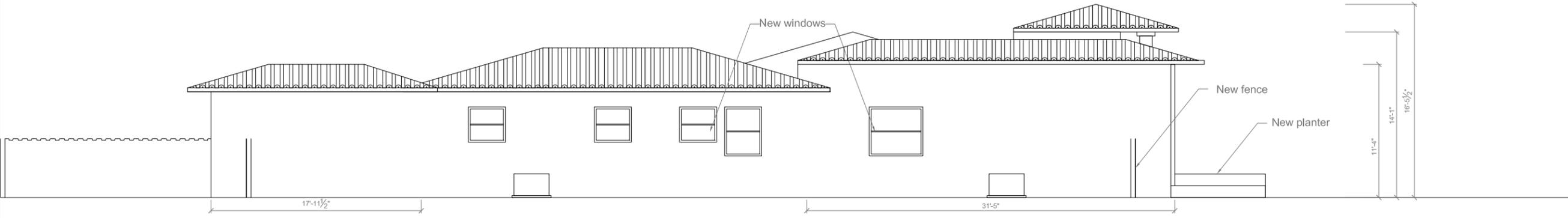
1239 JACKSON STREET - HOLLYWOOD
 Existing East Elevation (SIDE)



1239 JACKSON STREET - HOLLYWOOD
 Proposed East Elevation



1239 JACKSON STREET - HOLLYWOOD
 Existing West Elevation (SIDE)



1239 JACKSON STREET - HOLLYWOOD
 Proposed West Elevation



CROWN OF ROAD - ASPHALT PAVEMENT

1239 JACKSON STREET - HOLLYWOOD
Street Profile

F.F.E. = +4.37'

N.G.V.D. = 0.00

Adjacent 1-story
Residence

Adjacent 2-story
Residence

Attachment B
Aerial Photograph

1239 Jackson Street

