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PROJECT TITLE

OM RESIDENTIAL

MIXED USE

2007 & 2115 N. OCEAN DR. 309, 333 & 341 OKLAHOMA ST.
2012 S. SURF RD. 320 & 324 MCKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.
HOLLYWOOD FL 33019

PROJECT TITLE

SHEET TITLE
 FIFTH FLOOR PLAN
 SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

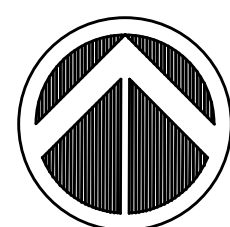
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PROJECT No.: 22107
DATE: 2-27-23
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

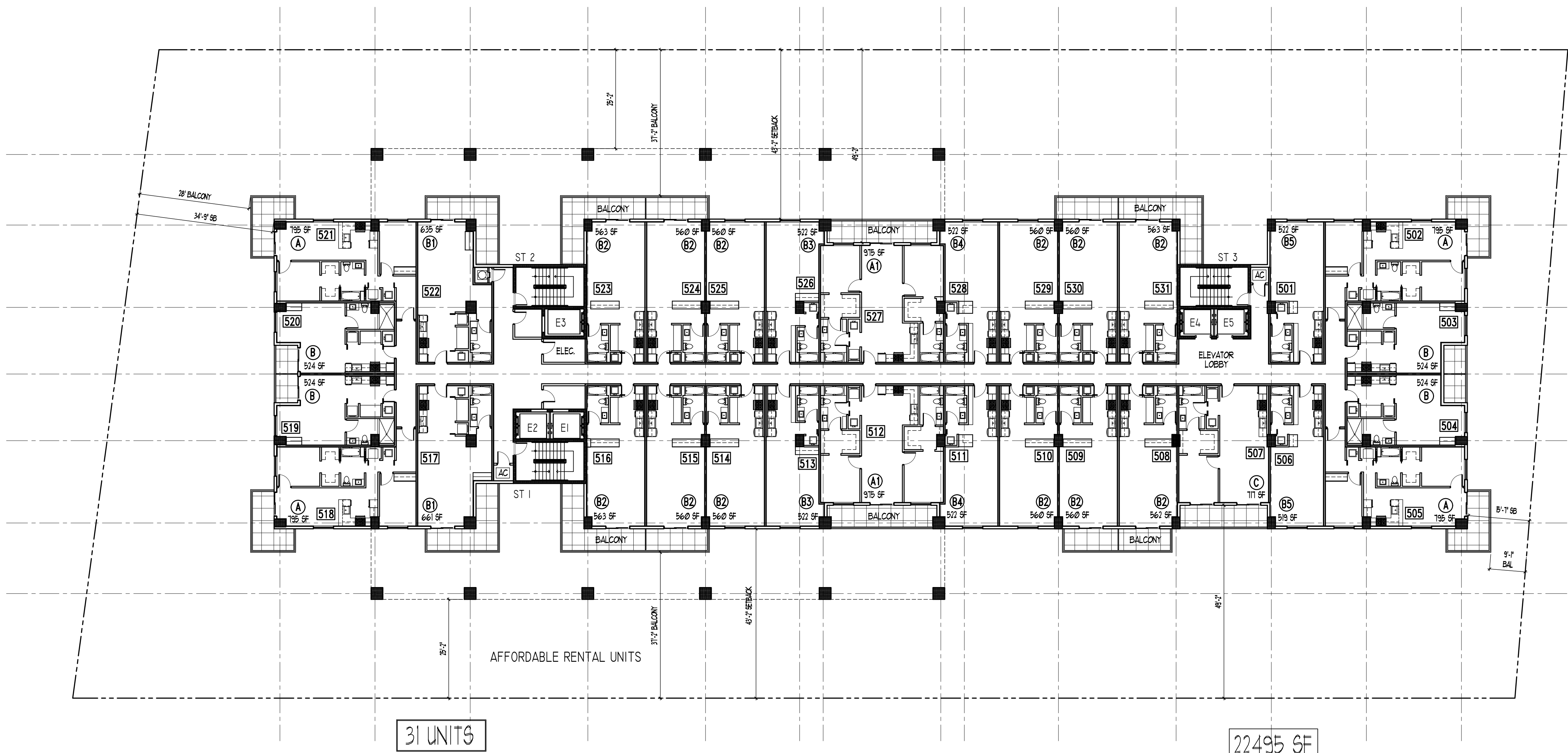
A-5

SHEET 6 OF 36



NORTH

1 FIFTH FLOOR PLAN





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PROJECT TITLE **OM RESIDENTIAL** MIXED USE
 2007 & 2115 N. OCEAN DR. 309, 333 & 341 OKLAHOMA ST.
 2012 S. SURF RD. 320 & 324 MCINLEY ST.
 320, 322, 324 & 326 NEBRASKA ST.
 HOLLYWOOD FL 33019

PROJECT TITLE

HEET TITLE
SIXTH FLOOR PLAN
SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

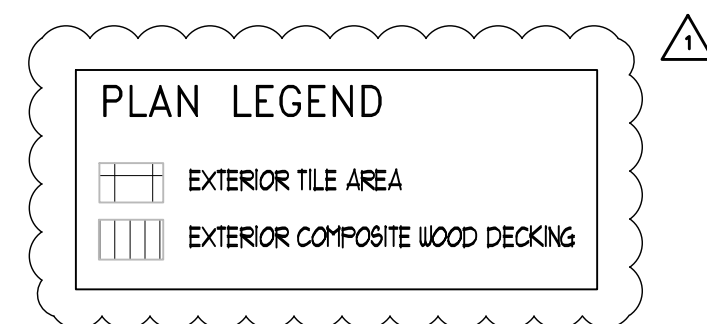
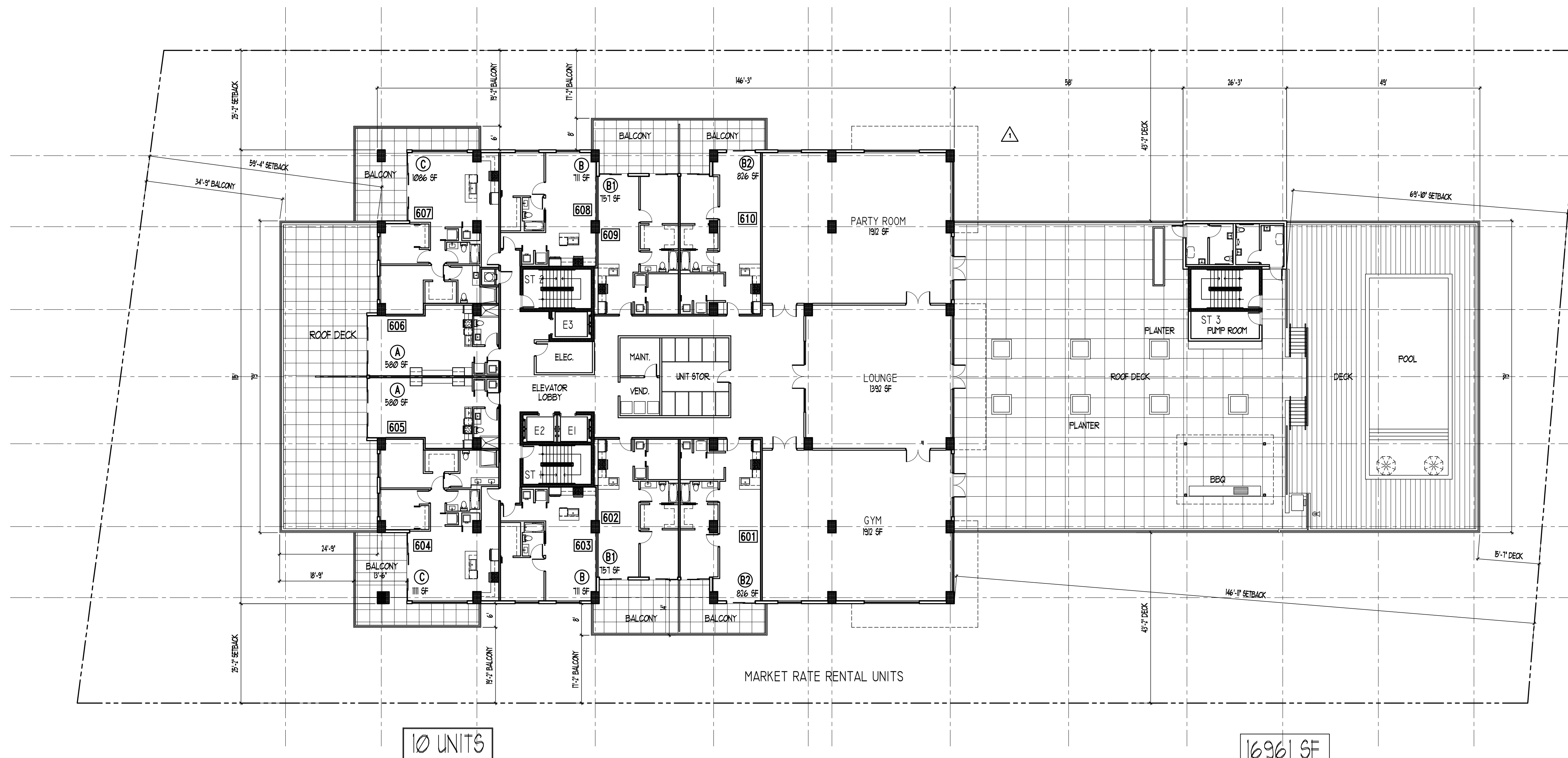
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DATE: 2-27-23
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SHEET

A-6

SHEET 7 OF 36

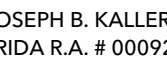


1 SIXTH FLOOR PLAN



AA# 26001212
2417 Hollywood Blvd.
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joseph@kallerarchitects.com

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PROJECT TITLE
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MIXED USE

2007 & 2115 N. OCEAN DR. 309, 333 & 341 OKLAHOMA ST.
2012 S. SURF RD. 320 & 324 MCKINLEY ST.
320, 322, 324 & 326 NEBRASKA ST.

PROJECT TITLE

SEVENTH FLOOR PLAN
SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

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DATE: 2-27-23
DRAWN BY: TMS
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HEET

A-7

SHEET 8 OF 36



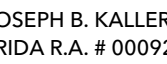
SEVENTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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2417 Hollywood Blvd.
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2012 S. SURF RD. 320 & 324 MCKINLEY ST.
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PROJECT TITLE

**EIGHTH FLOOR PLAN
SITE 1**

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

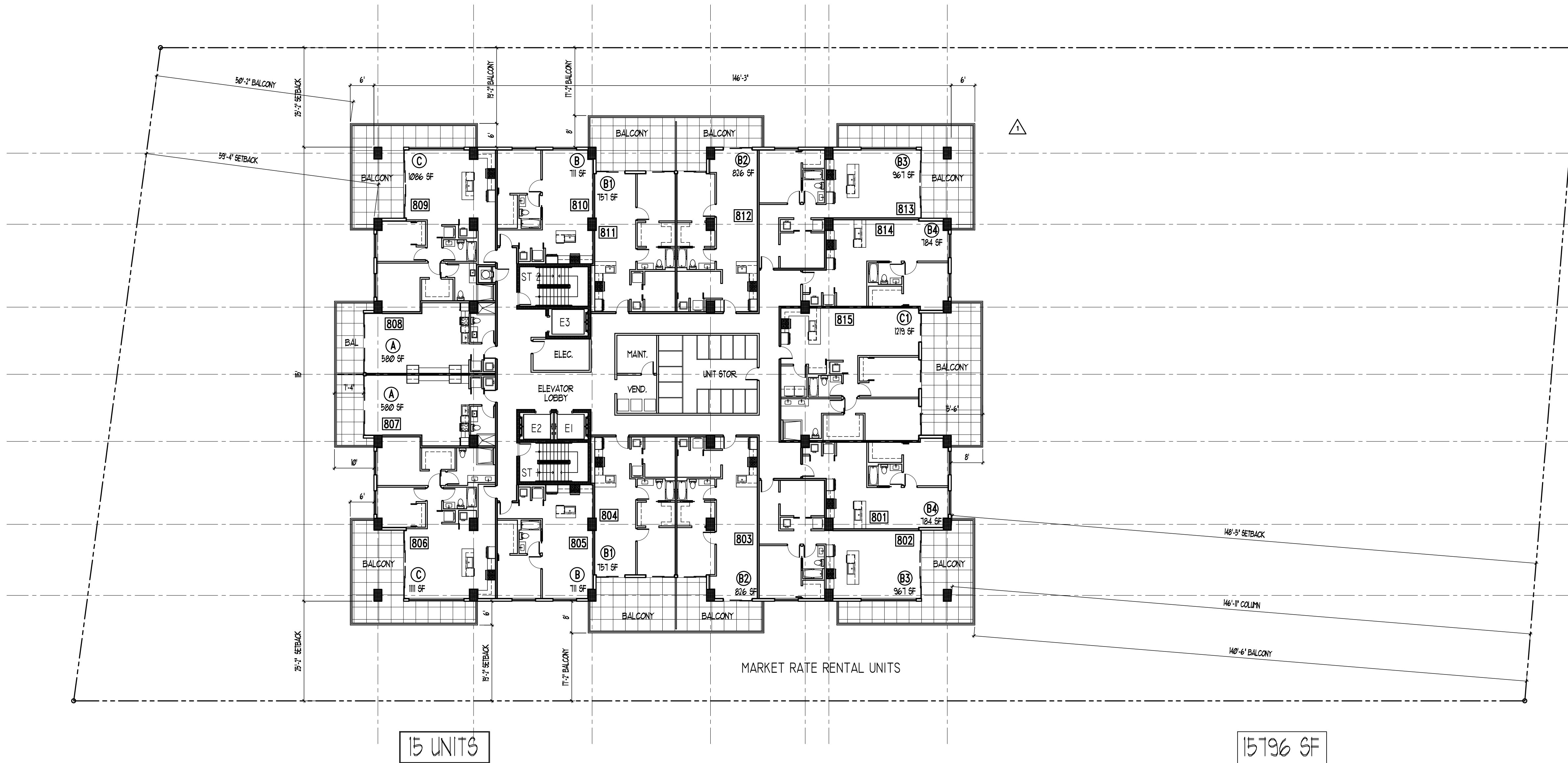
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DATE: 2-27-23
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SHEET

A-8

SHEET 9 OF 36



1 EIGHTH FLOOR PLAN

EIGHTH FLOOR PLAN



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 2012 S. SURF RD. 320 & 324 MCKINLEY ST.
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 HOLLYWOOD FL 33019

PROJECT TITLE

HEET TITLE
NINETH FLOOR PLAN
SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

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DATE: 2-27-23
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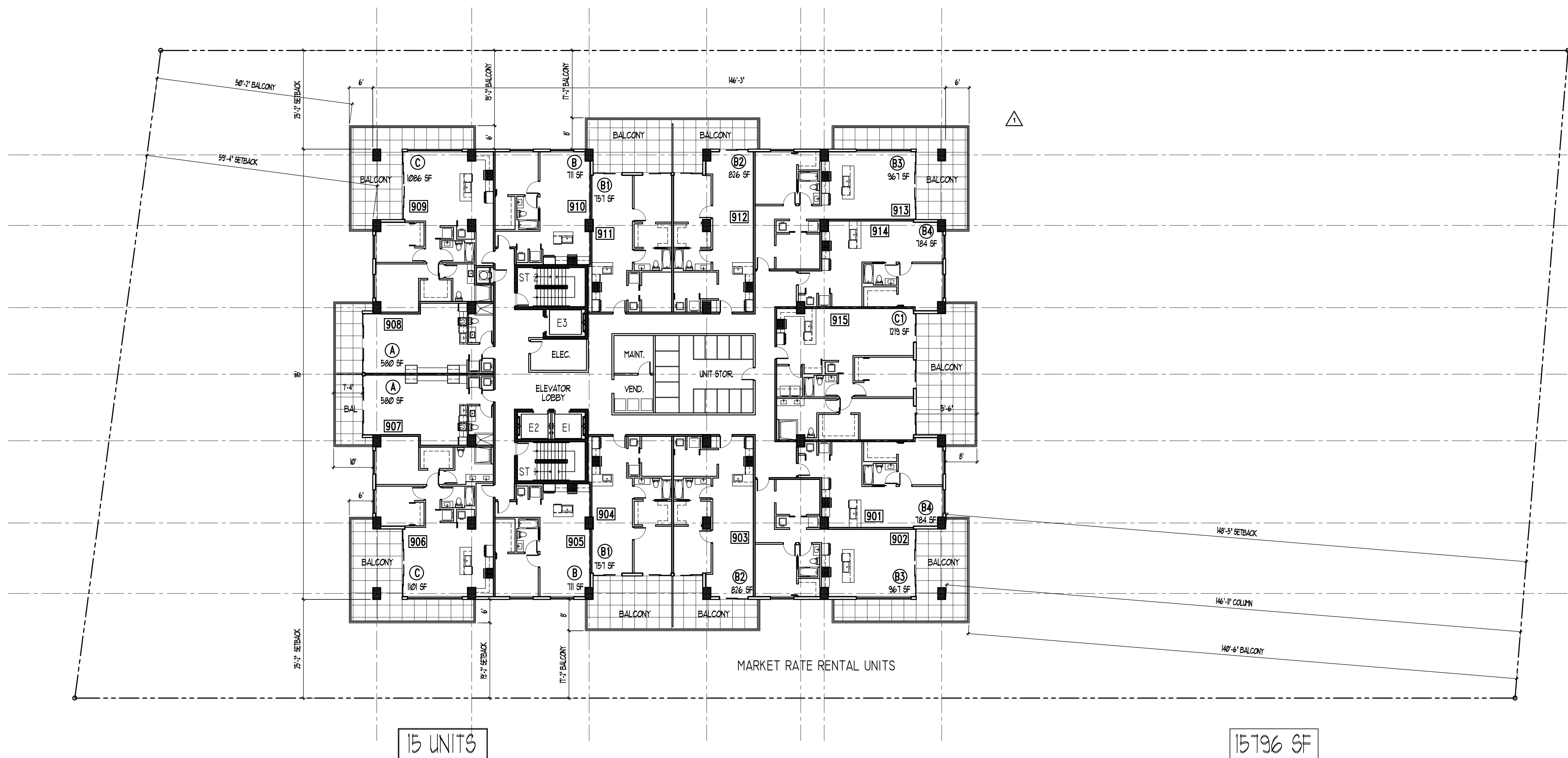
SHEET

A-9

SHEET 10 OF 38



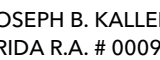
1 NINETH FLOOR PLAN





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2012 S. SURF RD. 320 & 324 MCKINLEY ST.
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PROJECT TITLE

TENTH FLOOR PLAN
SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

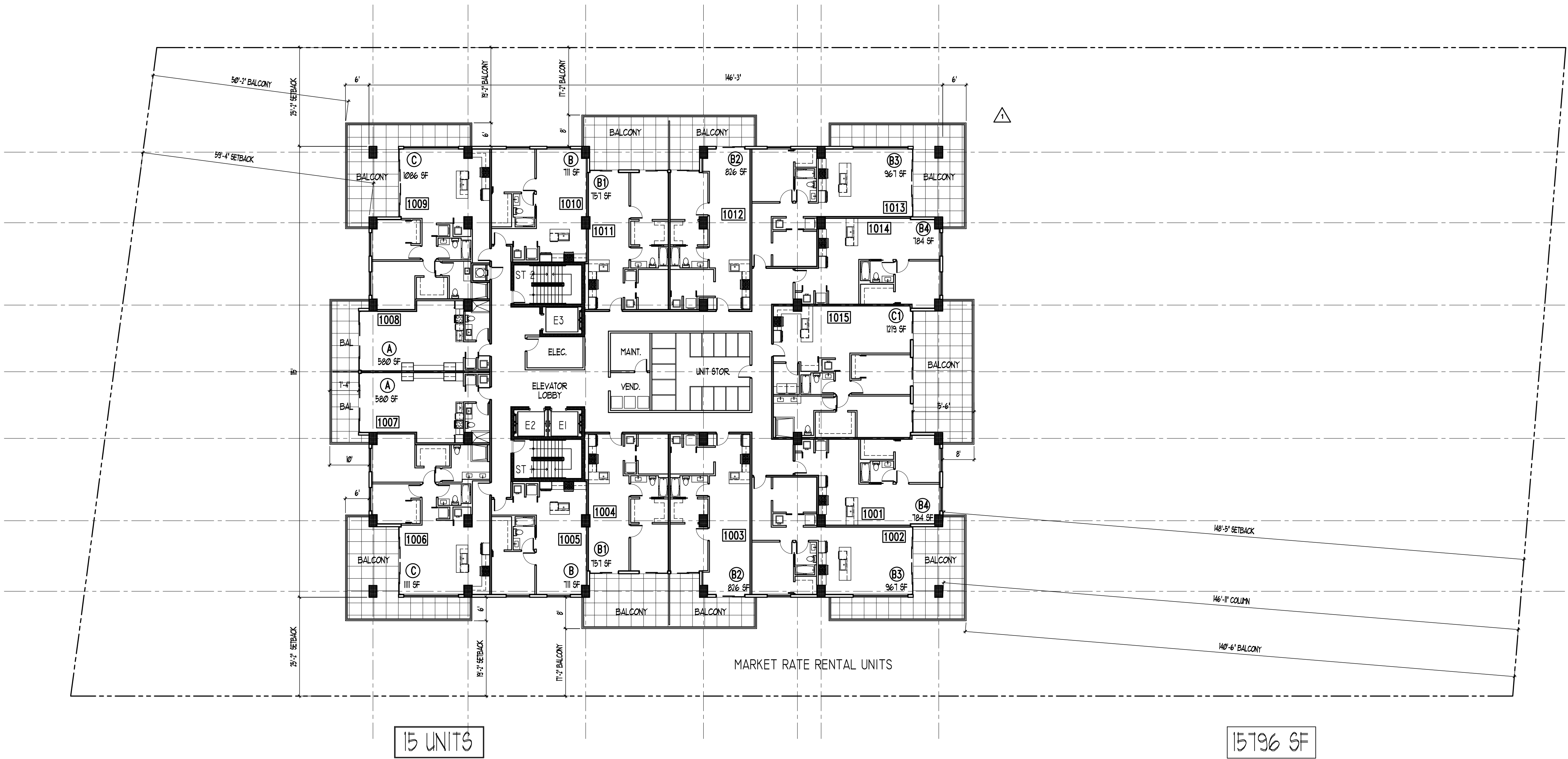
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DATE: 2-27-23
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SHEET

A-10

SHEET 11 OF 36



1 TENTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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OBJECT TITLE

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HOLLYWOOD BL 33019

PROJECT TITLE

SHEET TITLE
ELEVENTH FLOOR PLAN
SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

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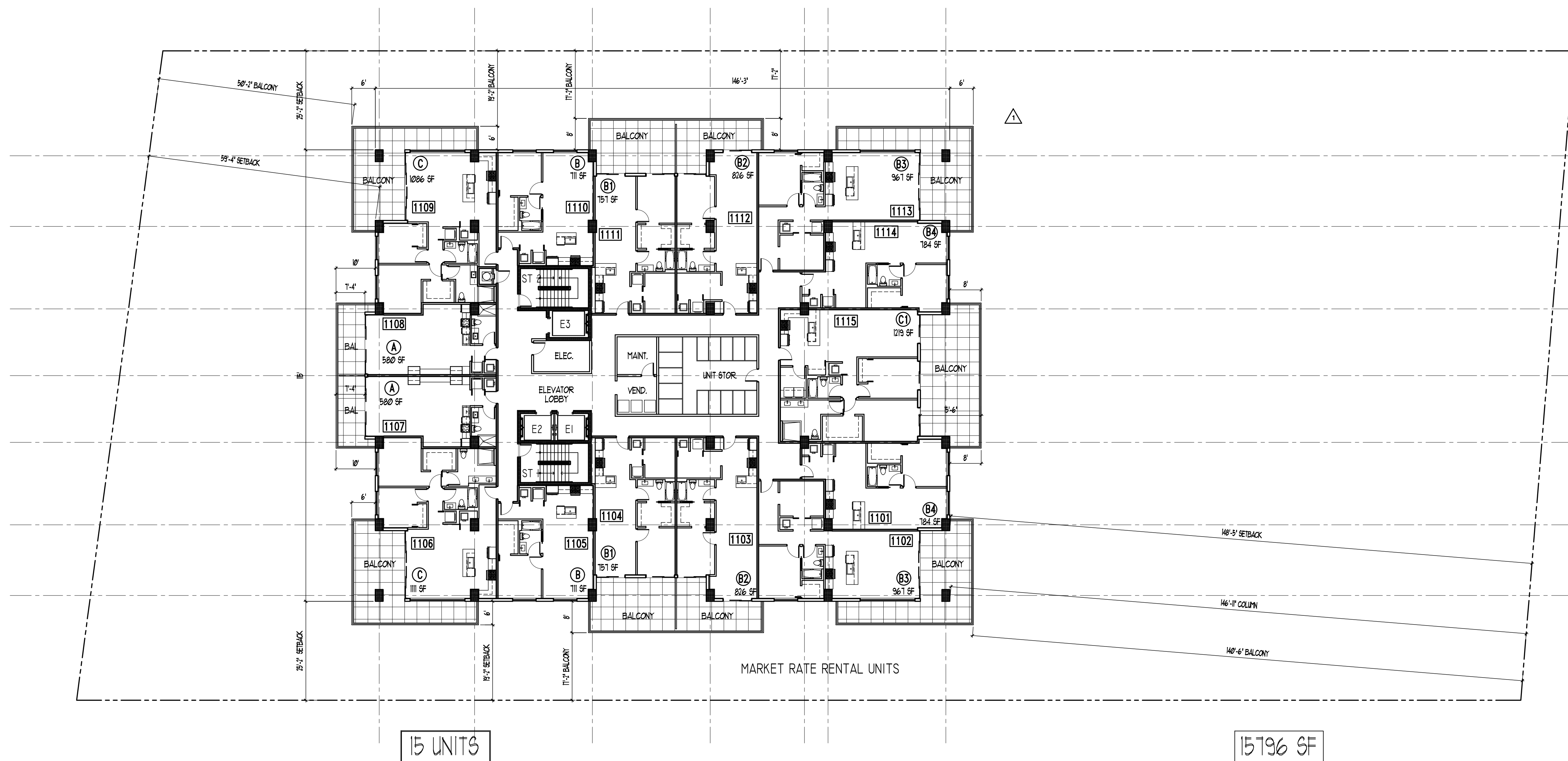
SHEET

A-11

SHEET 12 OF 36



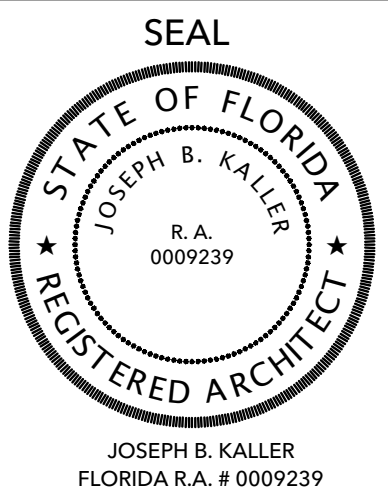
1 ELEVENTH FLOOR PLAN





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PROJECT TITLE

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HOLLYWOOD FL 33019

PROJECT TITLE

TWELVETH FLOOR PLAN
SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

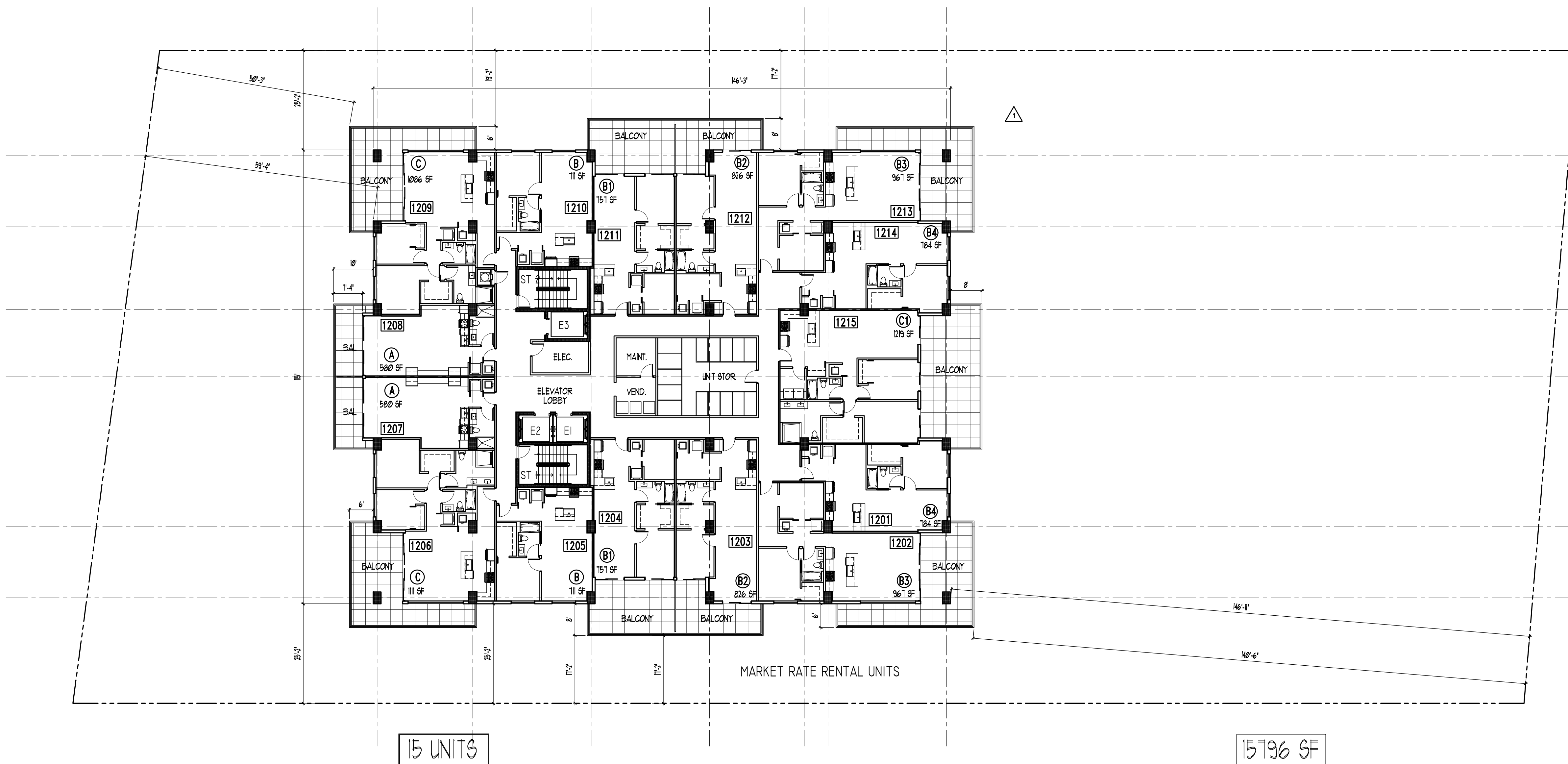
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SHEET

A-12

SHEET 13 OF 36



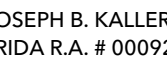
1 TWELVETH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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PROJECT TITLE

THIRTEENTH FLOOR PLAN

SLIDE 1

EVISIONS

[illegible]

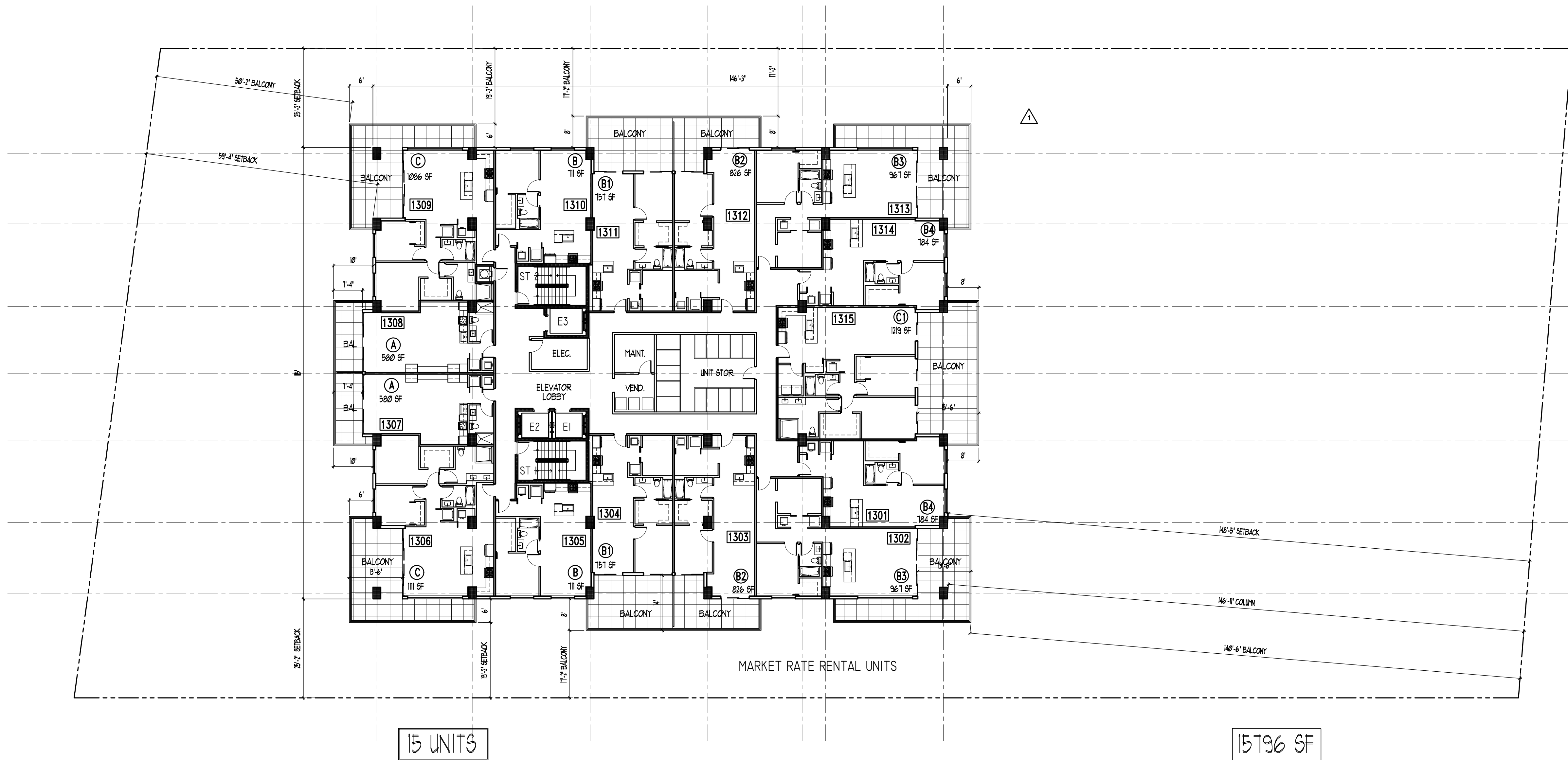
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DATE: 2-27-2
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SHEET

A-13

SHEET 14 OF 36



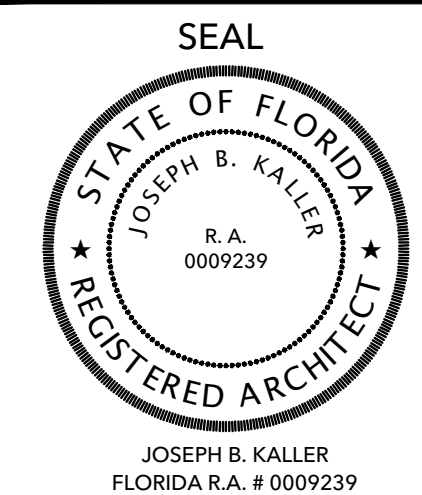
NORTH

THIRTEENTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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OBJECT TITLE

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SHEET TITLE

FOURTEENTH FLOOR PLAN

SITE 1

[illegible]

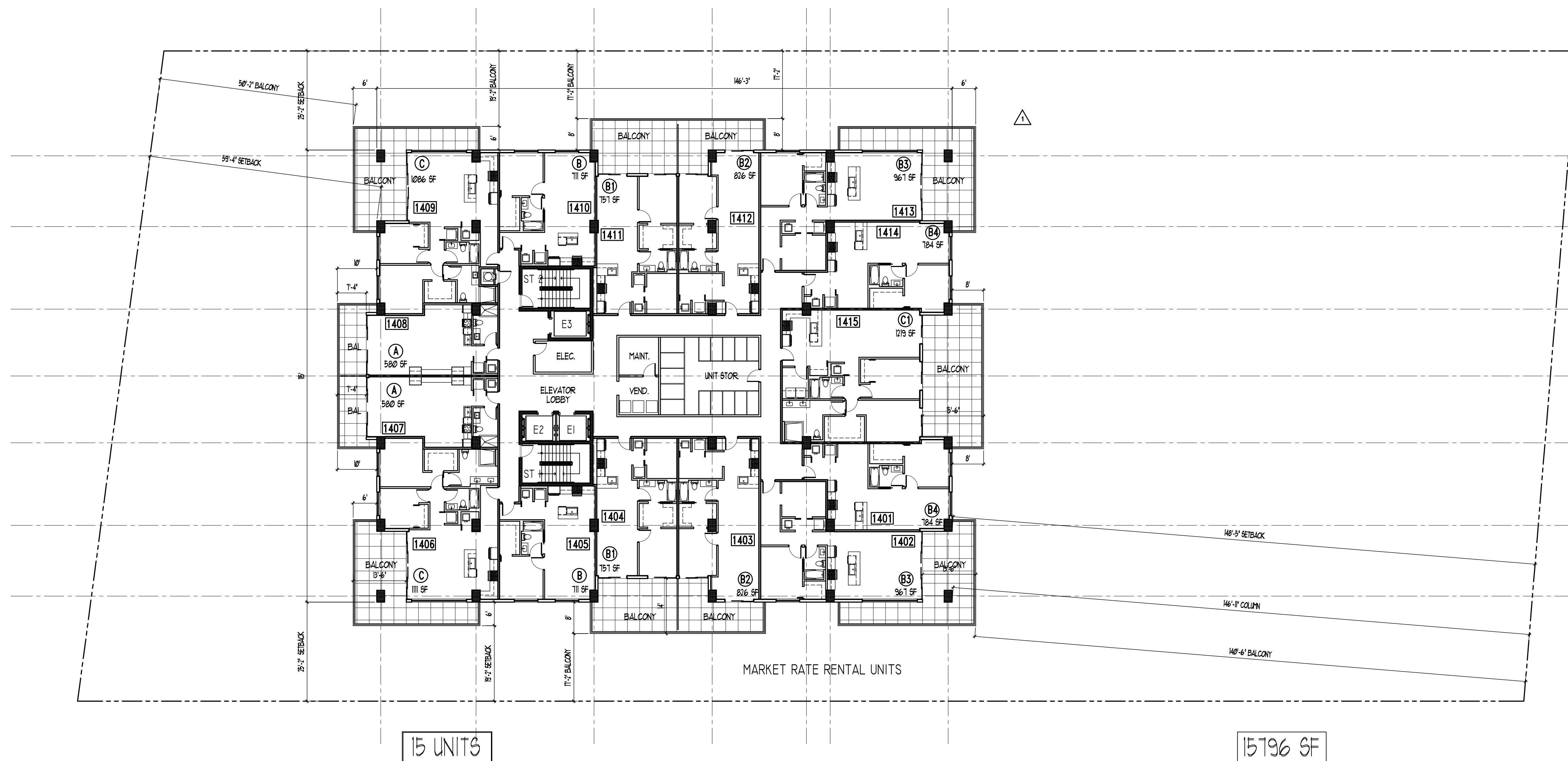
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SHEET

A-14

SHEET 15 OF 36



1 FOURTEENTH FLOOR PLAN



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PROJECT TITLE

SHEET TITLE
FIFTEENTH FLOOR PLAN
SITE 1

SHEET TITLE

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

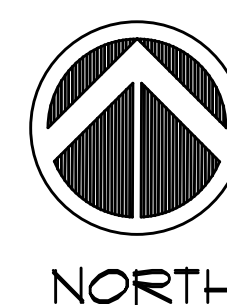
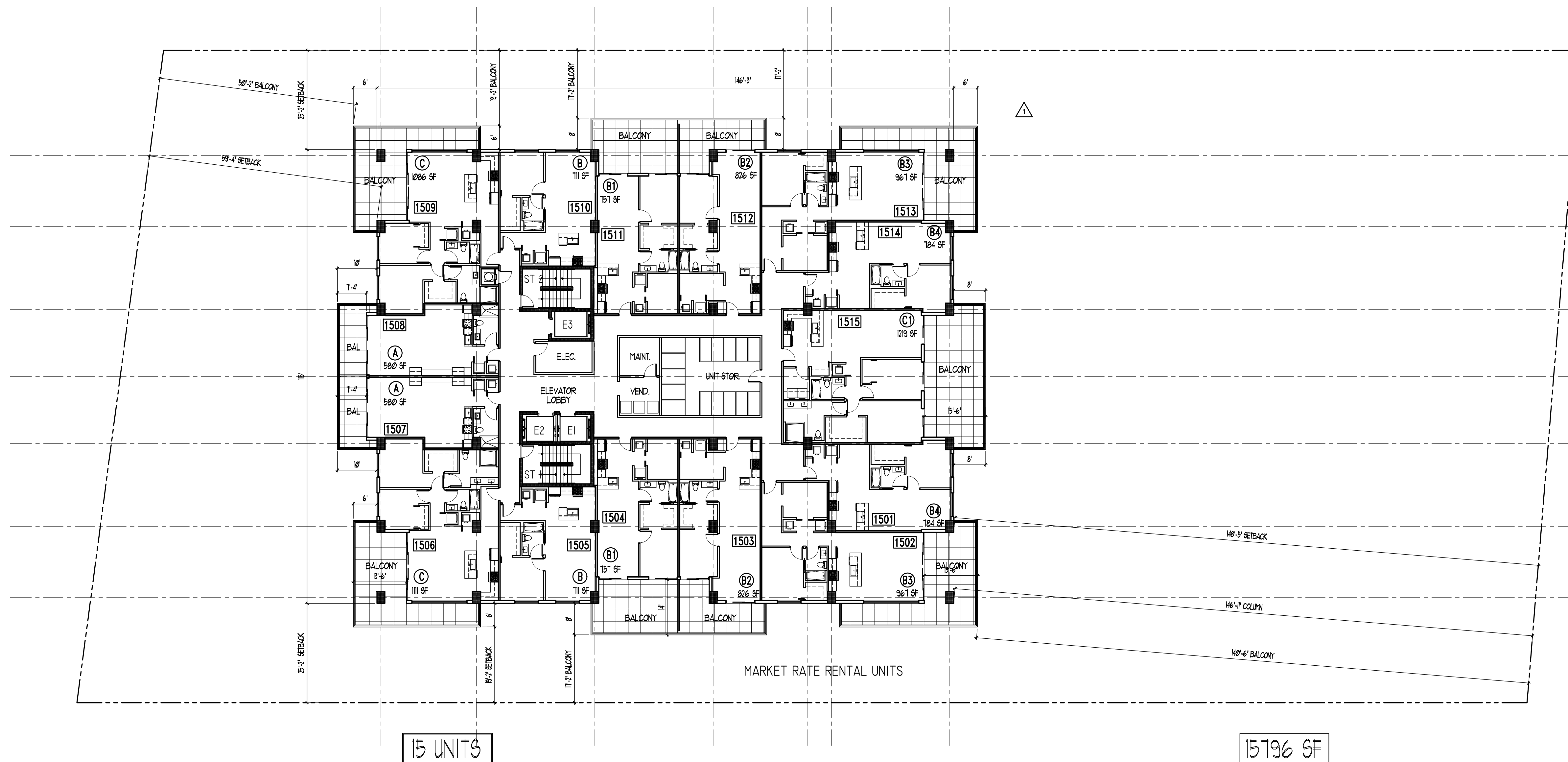
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SHEET

A-15

SHEET 16 OF 36



1 FIFTEENTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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PROJECT TITLE

SHEET TITLE
SIXTEENTH FLOOR PLAN
SITE 1

[illegible]

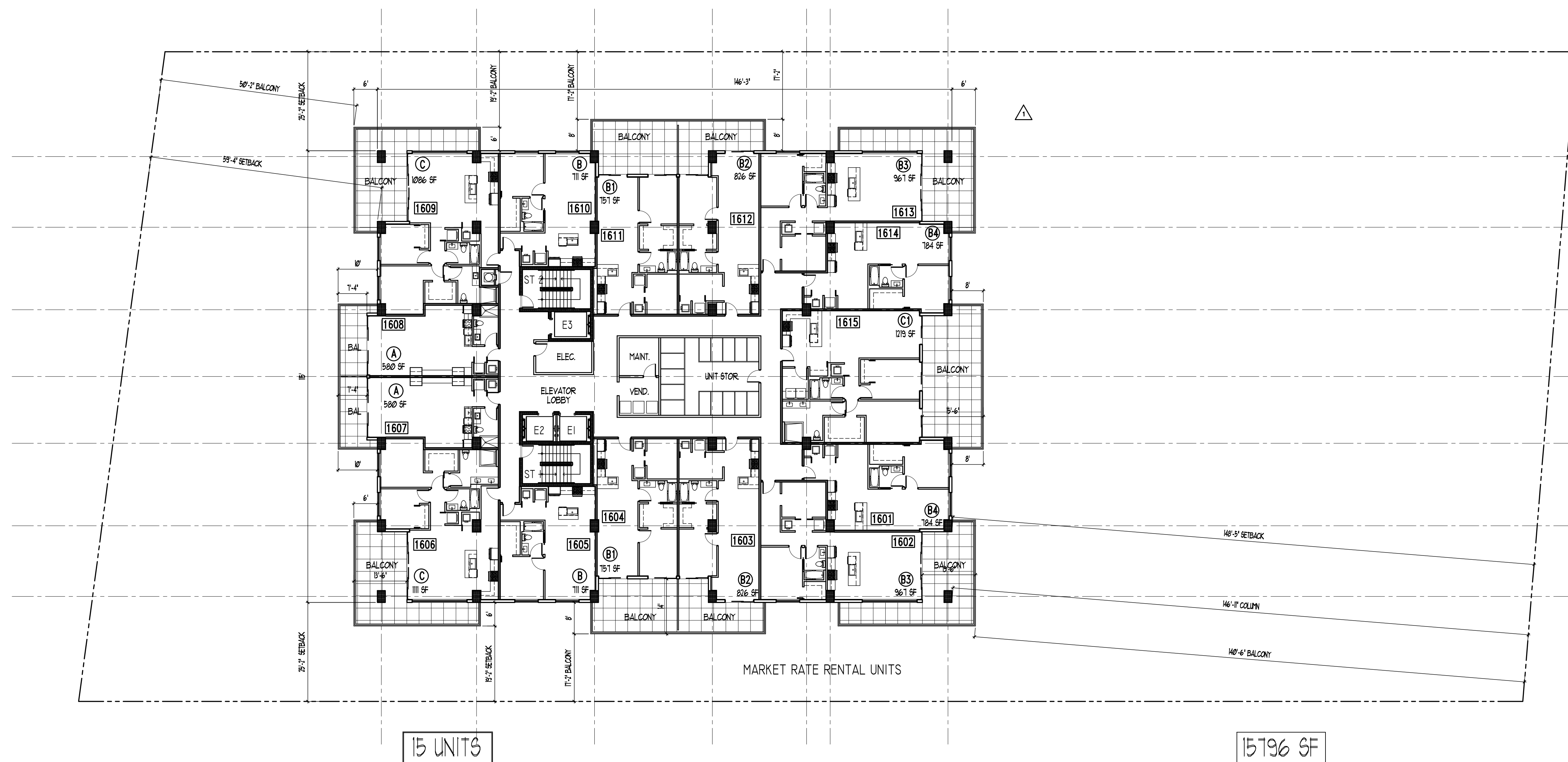
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SHEET

A-16

SHEET 17 OF 36



1 SIXTEENTH FLOOR PLAN



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SEVENTEENTH FLOOR PLAN

SHEET TITLE

SITE 1

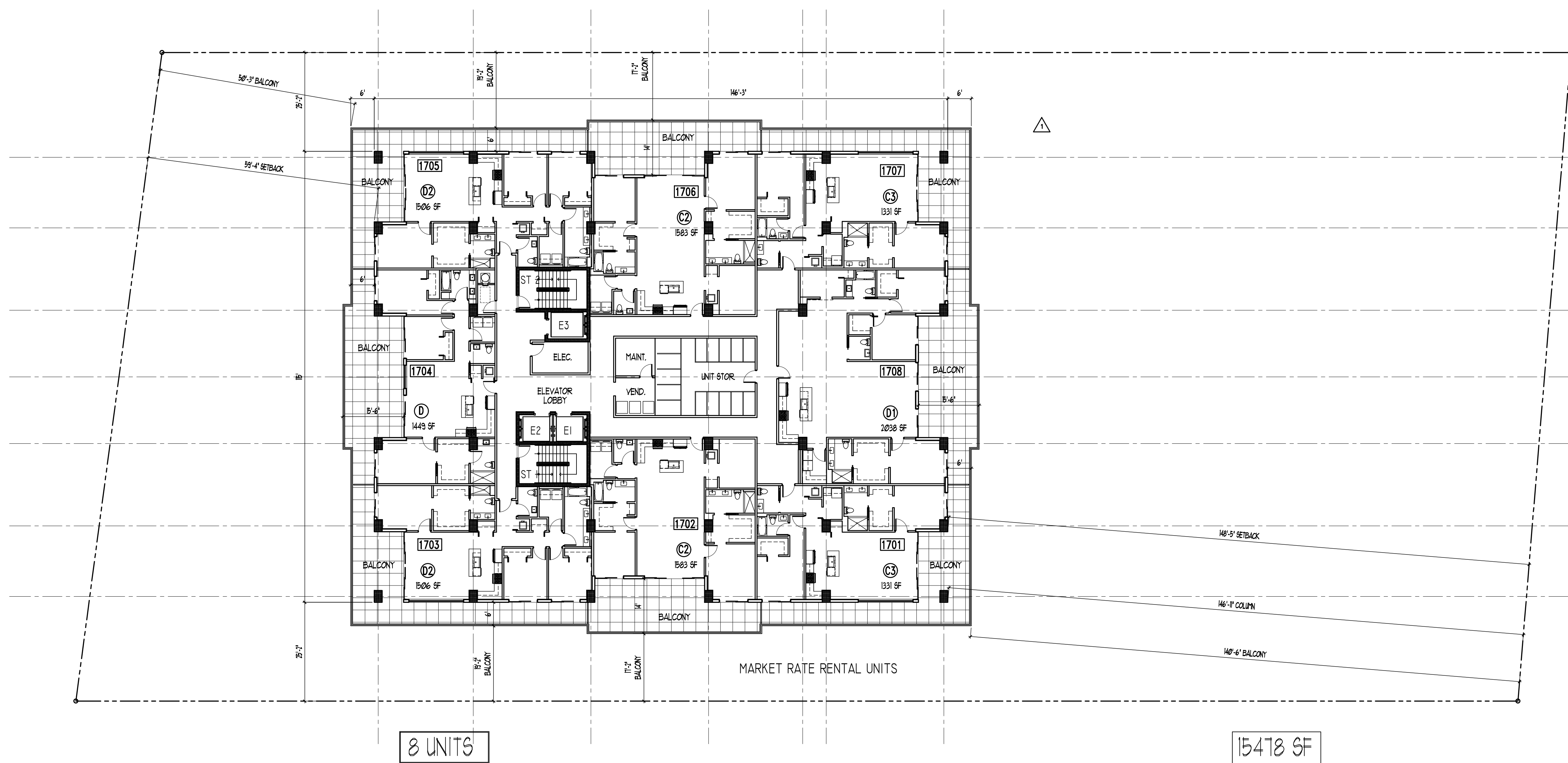
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DATE: 2-27-23
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SHEET

A-17

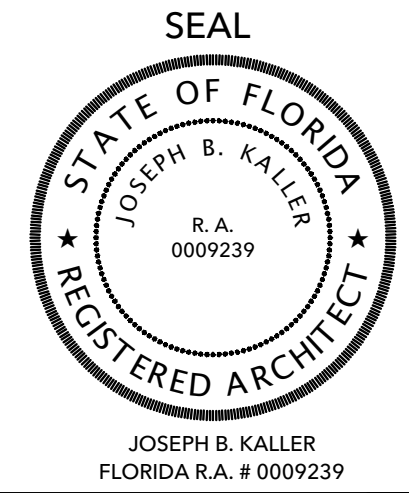


1 SEVENTEENTH FLOOR PLAN



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PROJECT TITLE

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2012 S. SURF RD. 320 & 324 MCKINLEY ST.
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PROJECT TITLE

HEET TITLE
ROOF PLAN
SITE 1

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

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DATE: 2-27-23
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SHEET

A-18

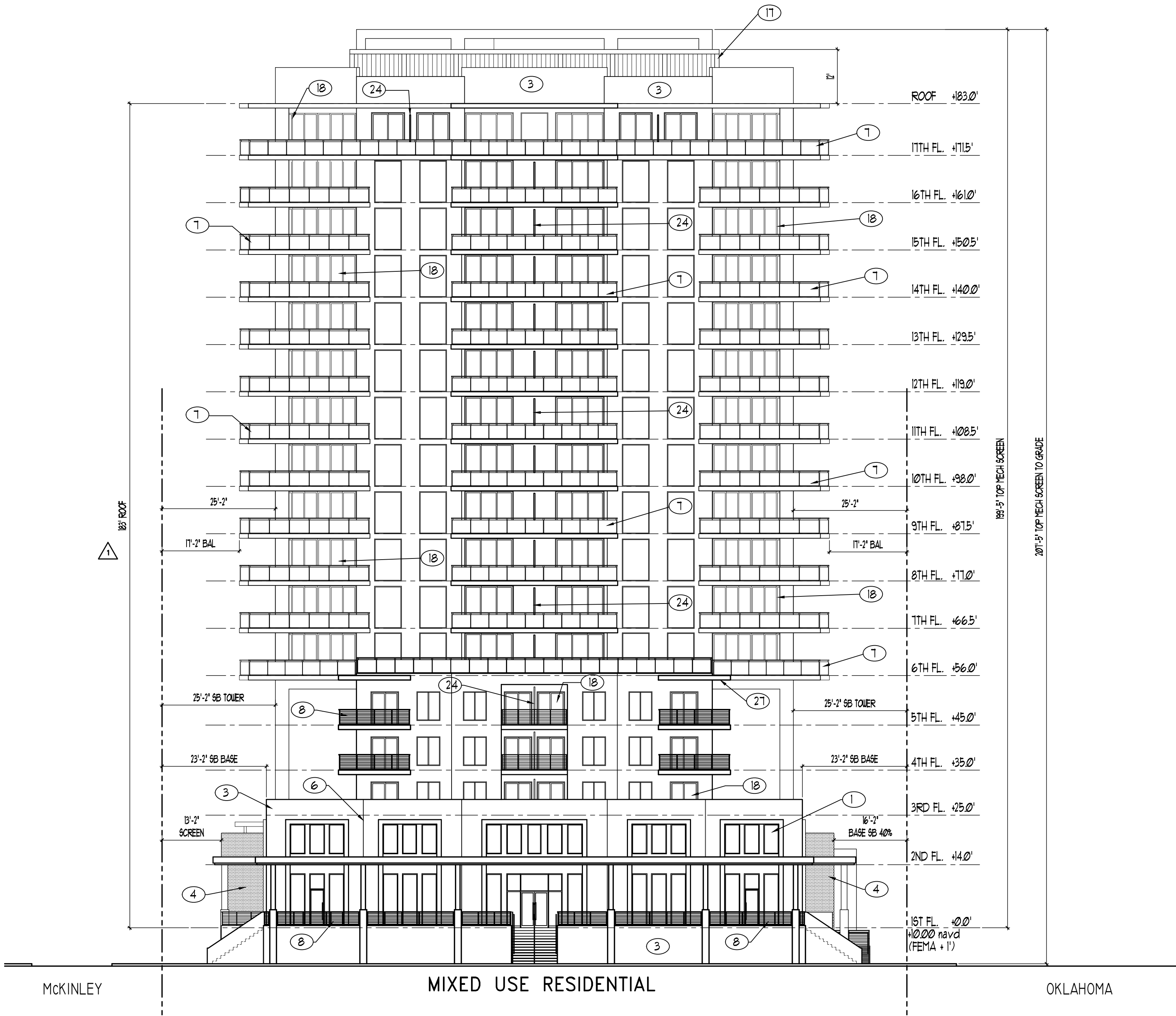
SHEET 19 OF 36



NORTH

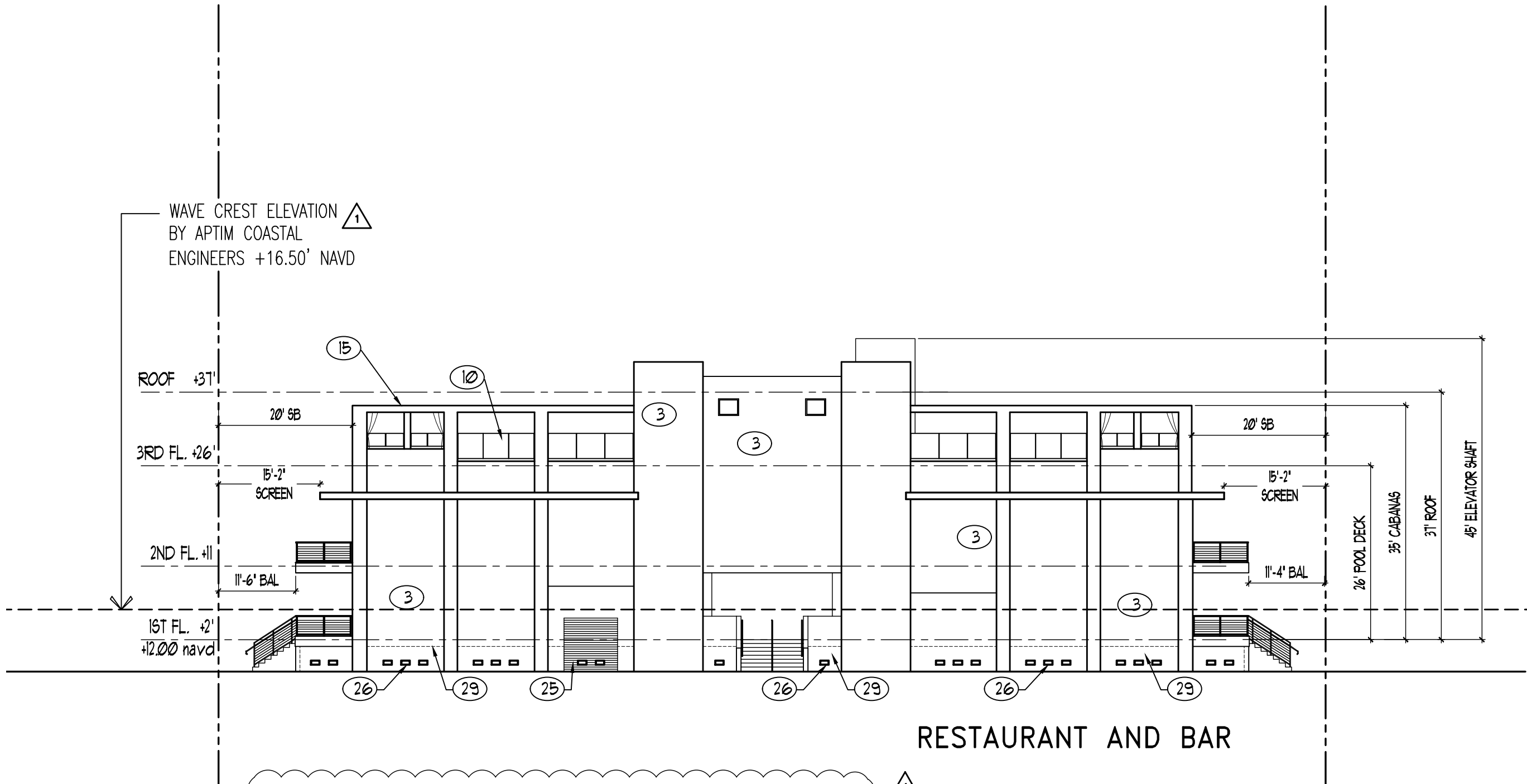
1 ROOF PLAN

SCALE: 1/16" = 1'-0"



NOTE:
PROPERTY LINES ARE NOT SHOWN ON
THE NORTH AND SOUTH ELEVATION
DRAWINGS BECAUSE THE LINES ARE
NOT PERPENDICULAR TO THE R.O.W.
AND THEREFORE CANNOT BE
ACURATELY REPRESENTED IN THE
ILLUSTRATION.

1. TURTLE FRIENDLY IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. WALL IVY ON TEXTURE STUCCO WALL FINISH
5. PRECAST CONCRETE EMBOSSED PANEL
6. 1' WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
7. 42' HIGH MIN. POWDER COATED GLASS AND ALUMINUM GUARD RAILING
8. 42' HIGH MIN. POWDER COATED ALUMINUM PICKET GUARD RAIL
9. 42' HIGH MIN. POWDER COATED METAL GUARD RAIL
10. 48' HIGH MIN. FRAMELESS IMPACT RESISTANT GLASS WIND SCREEN
11. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
12. POWDER COATED VERTICAL METAL SLAT SCREEN
13. CONCRETE COLUMN
14. POWDER COATED GALVANIZED STEEL COLUMN
15. CONCRETE COLUMNS WITH POWDER COATED GALVANIZED METAL TRELLIS
16. APPROVED MECHANICAL EQUIPMENT SCREEN
17. PIN MOUNTED METAL SIGN
18. TURTLE FRIENDLY IMPACT RESISTANT WINDOWS AND SLIDING DOORS
19. TURTLE FRIENDLY IMPACT RESISTANT GLASS AND METAL SECTIONAL RAIL AND STILE DOOR
20. TURTLE FRIENDLY IMPACT RESISTANT FOLDING GLASS DOORS
21. POWDER COATED GALVANIZED ROLL UP GRILLE GATE (FOR FLOOD WATER PASS THRU')
22. EXTERIOR TURTLE LIGHTING
23. LANDSCAPE BERM
24. APPROVED BALCONY DIVIDERS
25. POWDER COATED GALVANIZED METAL ROLL UP DOOR
26. FLOOD VENTS
27. POWDER COATED GALVANIZED METAL GATE
28. IMPACT RESISTANT POWDER COATED METAL ROLL UP DOOR
29. BREAKAWAY WALL AREA



BUILDING DESIGN TO MEET THE REQUIREMENTS OF ASCE 24-05 FLOOD
RESISTANT DESIGN AND CONSTRUCTION.

FLOOD PROOFING NOTE:
ALL AREAS OF BUILDING TO BE 'NET' FLOOD PROOFED

NOTE:
ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND FIXTURE
SHALL BE INSTALLED ABOVE THE WAVE CREST ELEVATION OF
+16.50' NAVD.

NOTE:
ELEVATION OF LOWEST OCCUPABLE FLOOR IS SUBJECT TO CHANGE
BASED ON FEMA BASE FLOOD ELEVATIONS AND WAVE CREST
ELEVATIONS REQUIRED FOR THE VE FLOOD ZONE.

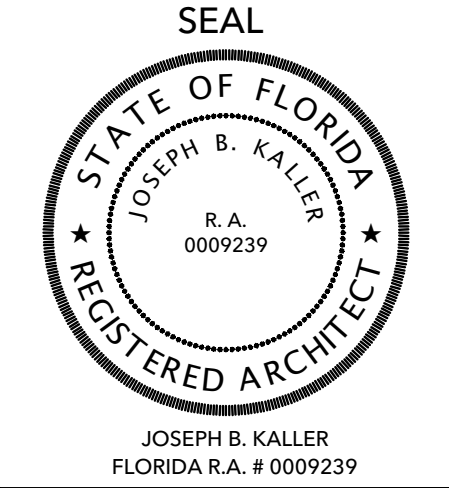
NOTE:
SMART VENTS 540-510 ARE PROVIDED IN SOLID WALL AREA OF THE
GARAGE. ALL OTHER AREA ARE EITHER OPEN OR SCREEN WHERE
WATER CAN PASS THRU'.

NOTE:
SMART VENTS 540-510 ARE PROVIDED IN THE ENCLOSED BUILDING
ACCESS AREA. BUILDING ACCESS AREA IS 111 SF. FOUR 540-510
VENTS OF 100 SL EACH PROVIDED.

NOTE:
WALL VET VENT OPENINGS OF 1 SL PER 1 SF
ARE TO BE PROVIDED.



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HOLLYWOOD FL 33019

SHEET TITLE
**ELEVATIONS
SITE 1**

REVISIONS		
No.	DATE	DESCRIPTION
1	10-2-23	PRELIM TAC

PROJECT No.: 22107
DATE: 2-27-23
DRAWN BY: TMS
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NOTE:
PROPERTY LINES ARE NOT SHOWN ON
THE NORTH AND SOUTH ELEVATION
DRAWINGS BECAUSE THE LINES ARE
NOT PERPENDICULAR TO THE R.O.W.
AND THEREFORE CANNOT BE
ACURATELY REPRESENTED IN THE
ILLUSTRATION.

- 1. TURTLE FRIENDLY IMPACT RESISTANT STOREFRONT
- 2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 3. SMOOTH STUCCO WALL FINISH
- 4. WALL IVY ON TEXTURE STUCCO WALL FINISH
- 5. PRECAST CONCRETE EMBOSSED PANEL
- 6. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
- 7. 42" HIGH MIN. POWDER COATED GLASS AND ALUMINUM GUARD RAILING
- 8. 42" HIGH MIN. POWDER COATED ALUMINUM PICKET GUARD RAIL
- 9. 42" HIGH MIN. POWDER COATED METAL GUARD RAIL
- 10. 48" HIGH MIN. FRAMELESS IMPACT RESISTANT GLASS WIND SCREEN
- 11. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
- 12. POWDER COATED VERTICAL METAL SLAT SCREEN
- 13. CONCRETE COLUMN
- 14. POWDER COATED GALVANIZED STEEL COLUMN
- 15. CONCRETE COLUMNS WITH POWDER COATED GALVANIZED METAL TRELLIS
- 16. APPROVED MECHANICAL EQUIPMENT SCREEN
- 17. PIN MOUNTED METAL SIGN
- 18. TURTLE FRIENDLY IMPACT RESISTANT WINDOWS AND SLIDING DOORS
- 19. TURTLE FRIENDLY IMPACT RESISTANT GLASS AND METAL SECTIONAL RAIL AND STILE DOOR
- 20. TURTLE FRIENDLY IMPACT RESISTANT FOLDING GLASS DOORS
- 21. POWDER COATED GALVANIZED ROLL UP GRILLE GATE (FOR FLOOD WATER PASS THRU').
- 22. EXTERIOR TURTLE LIGHTING
- 23. LANDSCAPE BERM
- 24. APPROVED BALCONY DIVIDERS
- 25. POWDER COATED GALVANIZED METAL ROLL UP DOOR
- 26. FLOOD VENTS
- 27. POWDER COATED GALVANIZED METAL GATE
- 28. IMPACT RESISTANT POWDER COATED METAL ROLL UP DOOR
- 29. BREAKAWAY WALL AREA

BUILDING DESIGN TO MEET THE REQUIREMENTS OF ASCE 24-05 FLOOD RESISTANT DESIGN AND CONSTRUCTION.

FLOOD PROOFING NOTE:
ALL AREAS OF BUILDING TO BE "NET" FLOOD PROOFED

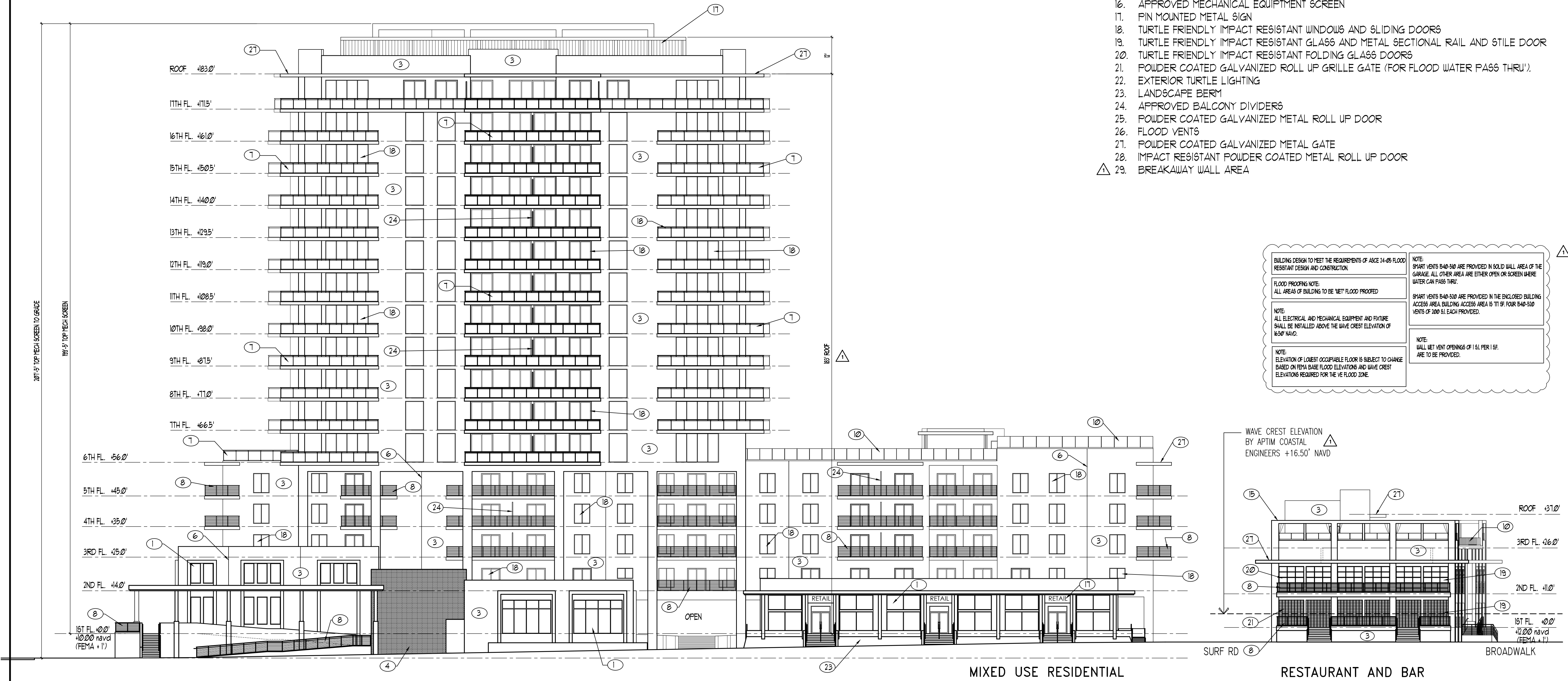
NOTE:
ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND FIXTURE SHALL BE INSTALLED ABOVE THE WAVE CREST ELEVATION OF 16.50' NAVD.

NOTE:
ELEVATION OF LOWEST OCCUPABLE FLOOR IS SUBJECT TO CHANGE BASED ON FEMA BASE FLOOD ELEVATIONS AND WAVE CREST ELEVATIONS REQUIRED FOR THE VE FLOOD ZONE.

NOTE:
SMART VENTS 840-510 ARE PROVIDED IN SOLID WALL AREA OF THE GARAGE. ALL OTHER AREA ARE EITHER OPEN OR SCREEN WHERE WATER CAN PASS THRU.

NOTE:
SMART VENTS 840-510 ARE PROVIDED IN THE ENCLOSED BUILDING ACCESS AREA. BUILDING ACCESS AREA IS 711 SF. FOUR 840-510 VENTS OF 200 SL EACH PROVIDED.

NOTE:
WALL NET VENT OPENINGS OF 1.51 PER 1 SF ARE TO BE PROVIDED.

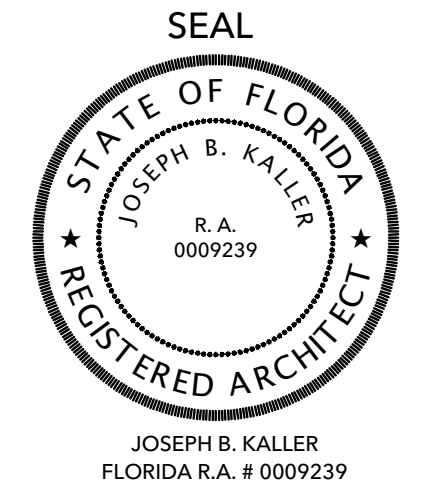


OKLAHOMA ST

1 SOUTH ELEVATION
SCALE: 1/16"= 1'-0"



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ELEVATIONS
SITE 1 AND 3

REVISIONS		
No.	DATE	DESCRIPTION
1	10-2-23	PRELIM TAC

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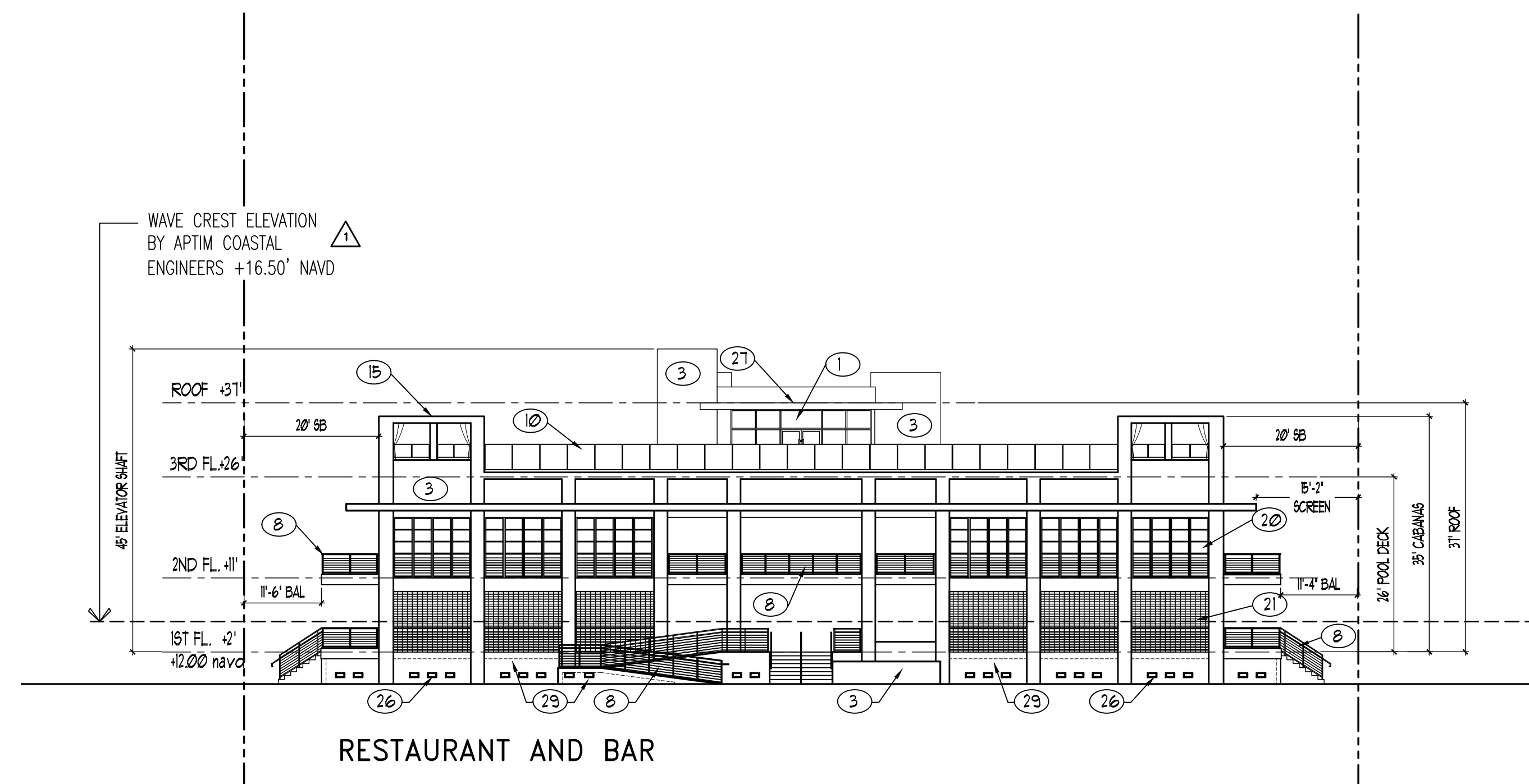
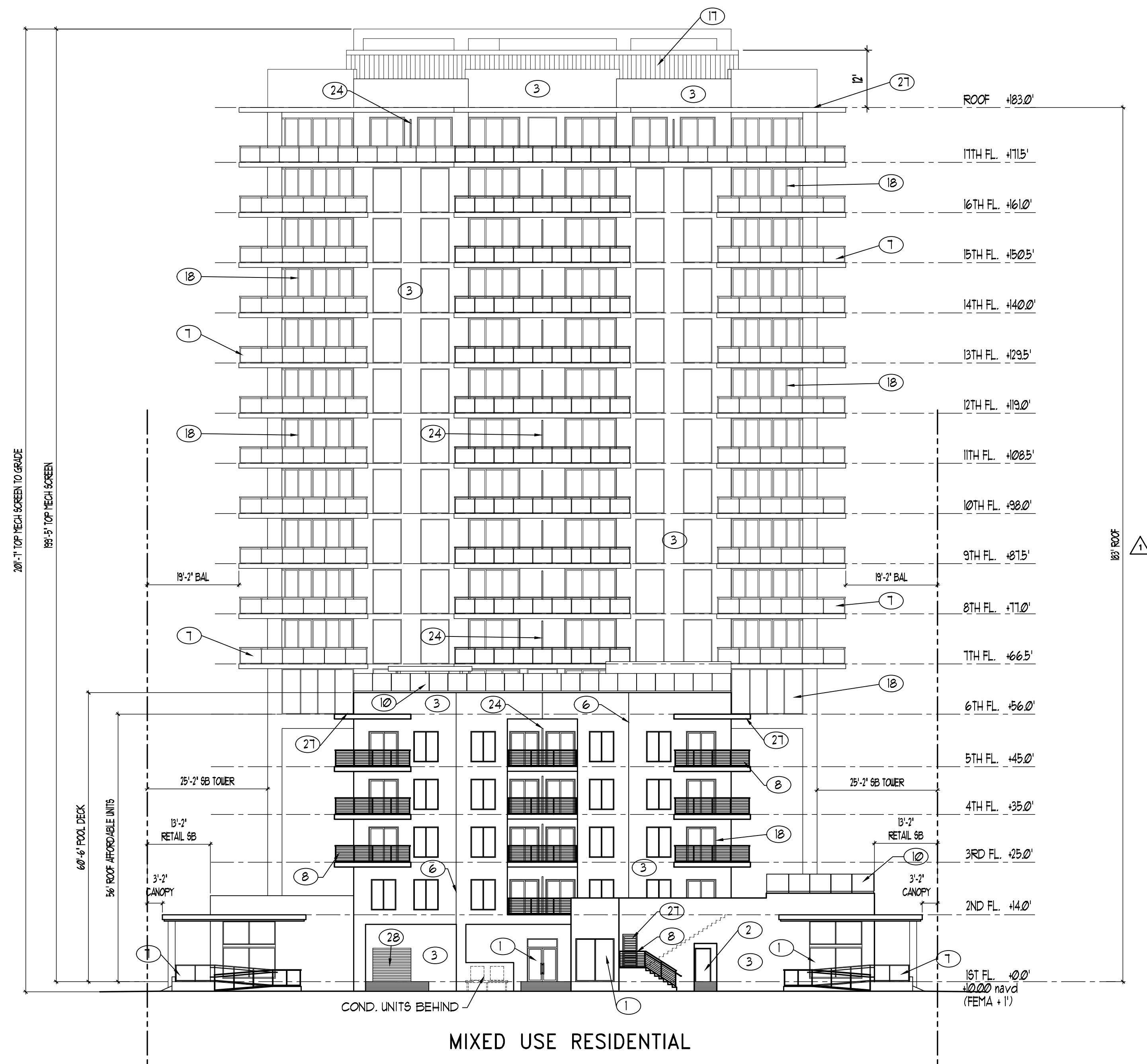
SHEET

A-21

SHEET 22 OF 36

NOTE:
PROPERTY LINES ARE NOT SHOWN ON
THE NORTH AND SOUTH ELEVATION
DRAWINGS BECAUSE THE LINES ARE
NOT PERPENDICULAR TO THE R.O.W.
AND THEREFORE CANNOT BE
ACURATELY REPRESENTED IN THE
ILLUSTRATION.

1. TURTLE FRIENDLY IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. WALL IVY ON TEXTURE STUCCO WALL FINISH
5. PRECAST CONCRETE EMBOSSED PANEL
6. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
7. 42" HIGH MIN. POWDER COATED GLASS AND ALUMINUM GUARD RAILING
8. 42" HIGH MIN. POWDER COATED ALUMINUM PICKET GUARD RAIL
9. 42" HIGH MIN. POWDER COATED METAL GUARD RAIL
10. 48" HIGH MIN. FRAMELESS IMPACT RESISTANT GLASS WIND SCREEN
11. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
12. POWDER COATED VERTICAL METAL SLAT SCREEN
13. CONCRETE COLUMN
14. POWDER COATED GALVANIZED STEEL COLUMN
15. CONCRETE COLUMNS WITH POWDER COATED GALVANIZED METAL TRELLIS
16. APPROVED MECHANICAL EQUIPMENT SCREEN
17. PIN MOUNTED METAL SIGN
18. TURTLE FRIENDLY IMPACT RESISTANT WINDOWS AND SLIDING DOORS
19. TURTLE FRIENDLY IMPACT RESISTANT GLASS AND METAL SECTIONAL RAIL AND STILE DOOR
20. TURTLE FRIENDLY IMPACT RESISTANT FOLDING GLASS DOORS
21. POWDER COATED GALVANIZED ROLL UP GRILLE GATE (FOR FLOOD WATER PASS THRU).
22. EXTERIOR TURTLE LIGHTING
23. LANDSCAPE BERM
24. APPROVED BALCONY DIVIDERS
25. POWDER COATED GALVANIZED METAL ROLL UP DOOR
26. FLOOD VENTS
27. POWDER COATED GALVANIZED METAL GATE
28. IMPACT RESISTANT POWDER COATED METAL ROLL UP DOOR
29. BREAKAWAY WALL AREA



BUILDING DESIGN TO MEET THE REQUIREMENTS OF ASCE 24-05 FLOOD
RESISTANT DESIGN AND CONSTRUCTION.

BROADWALK

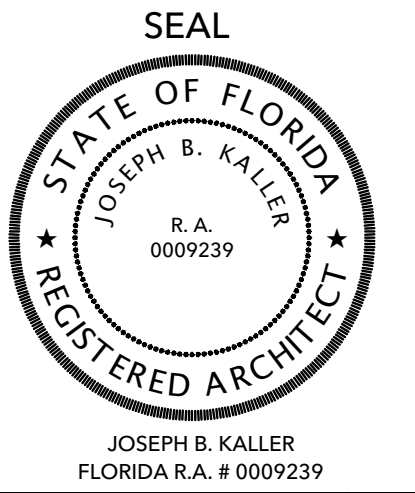
1 EAST ELEVATIONS

KA

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HEET TITLE
ELEVATIONS
SITE 1 AND 3

[illegible]

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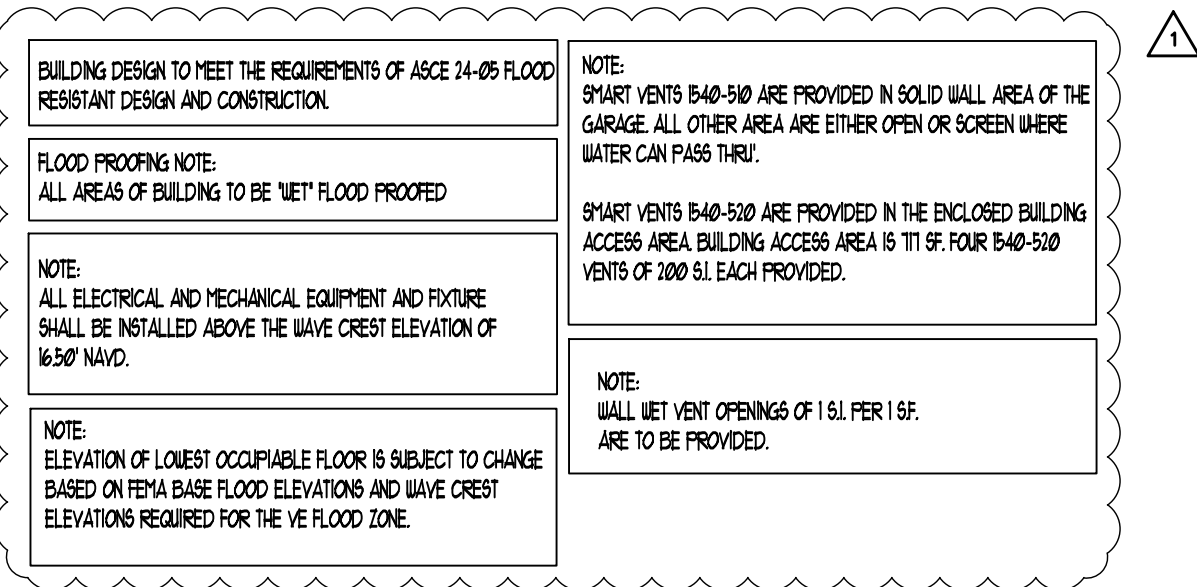
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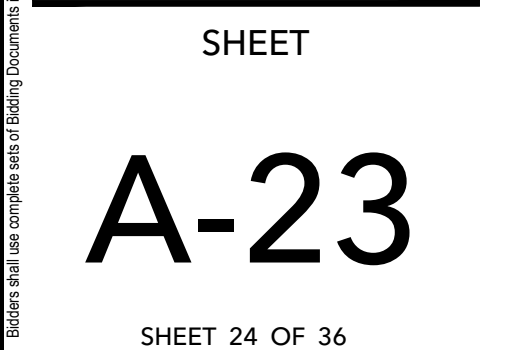
A-22

SHEET 23 OF 36

- NOTE:
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ILLUSTRATION.

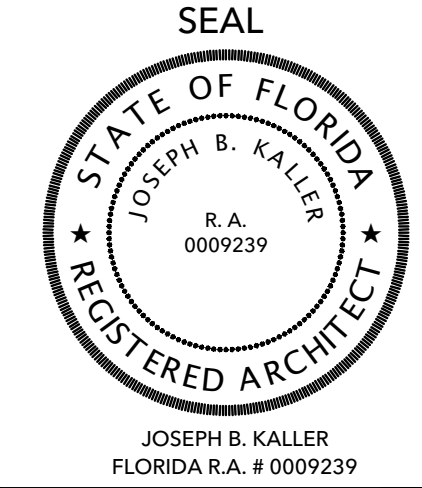


1 NORTH ELEVATIONS





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SHEET TITLE
FIRST FLOOR PLAN
SITE 2 - GARAGE/RETAIL

REVISIONS		
No.	DATE	DESCRIPTION
1	10-2-23	PRELIM TAC

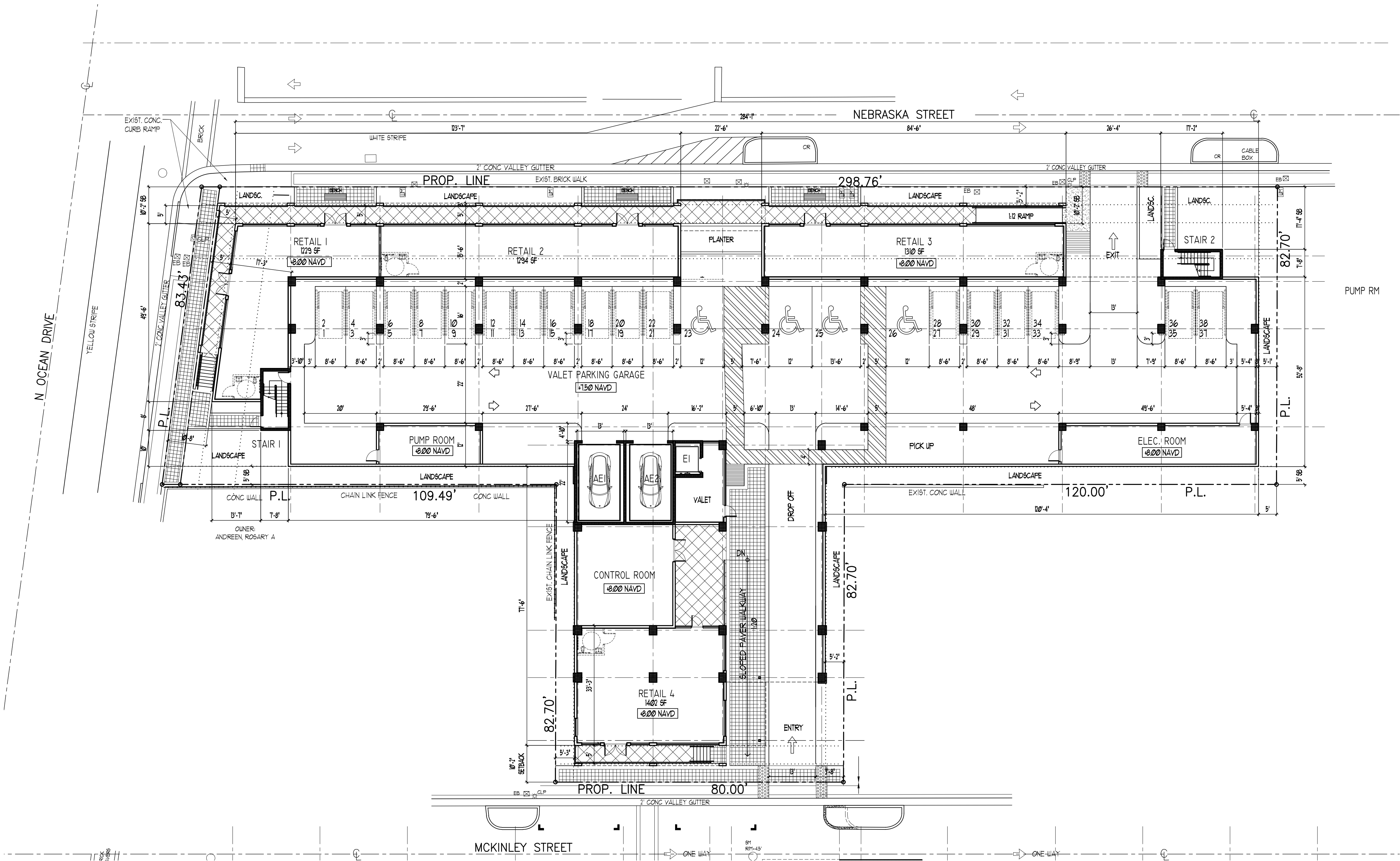
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SHEET

A-24

SHEET 25 OF 36



PLAN LEGEND

CONCRETE PAVERS TO MATCH EXISTING

EXTERIOR TILE AREA

EXTERIOR PAVES AREA

PAVEMENT STRIPING

NEW CONCRETE WALKWAY

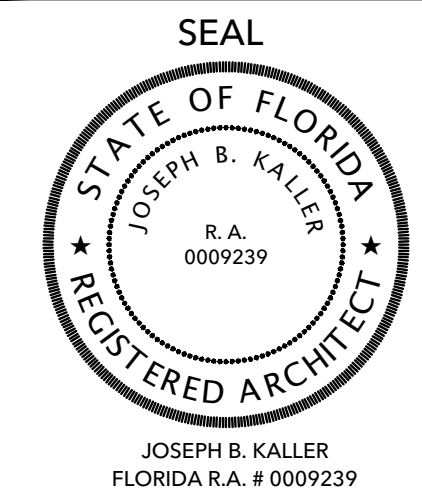
HC CURB RAMP

DETECTABLE WARNING

LINE OF ROOF/CANOPY OR BALCONY ABOVE



1 FIRST FLOOR PLAN
SCALE: 1/16"= 1'-0"



PROJECT TITLE

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HEET TITLE

SECOND FLOOR PLAN

SITE 2

[illegible]

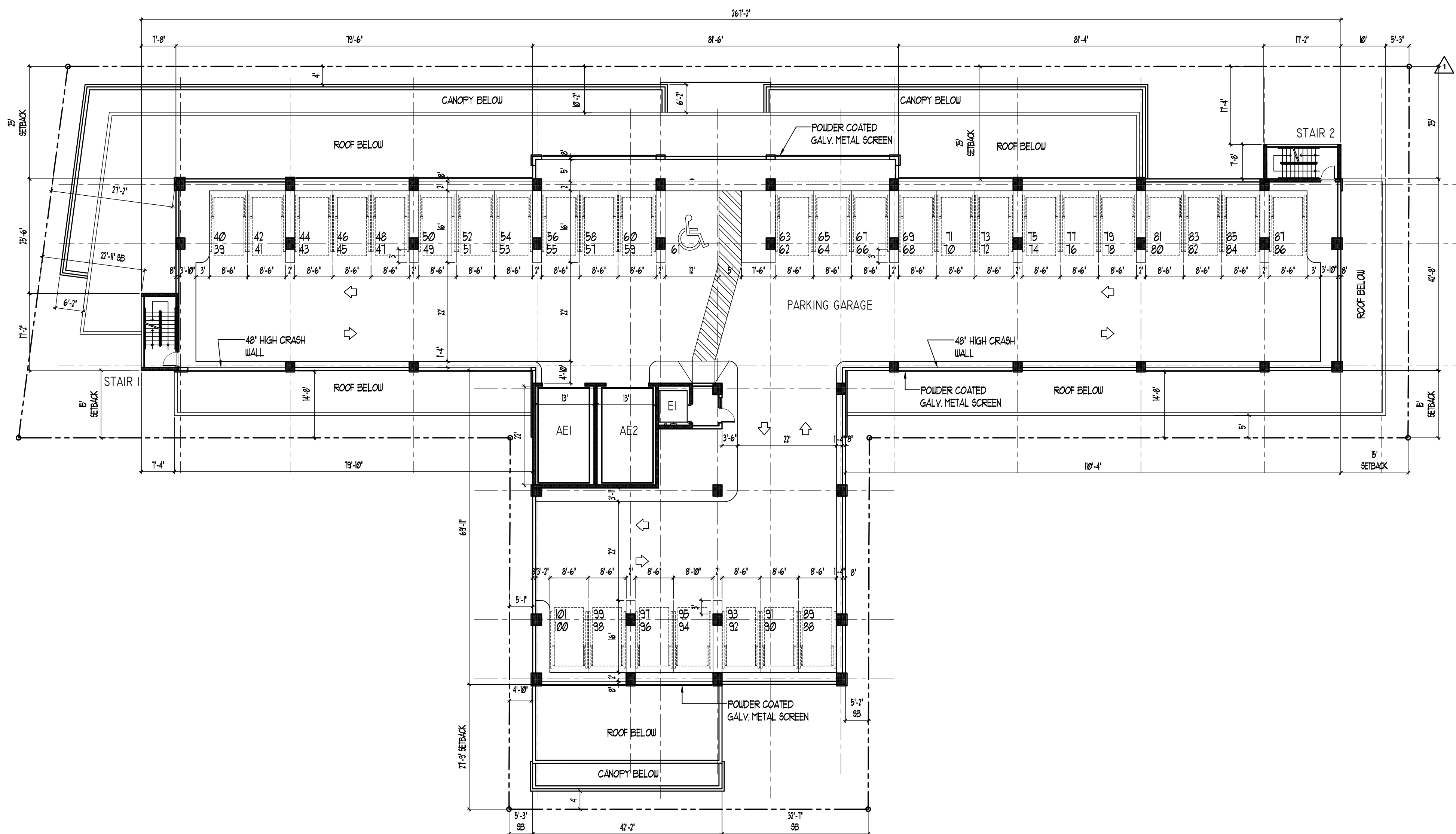
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SHEET

A-25

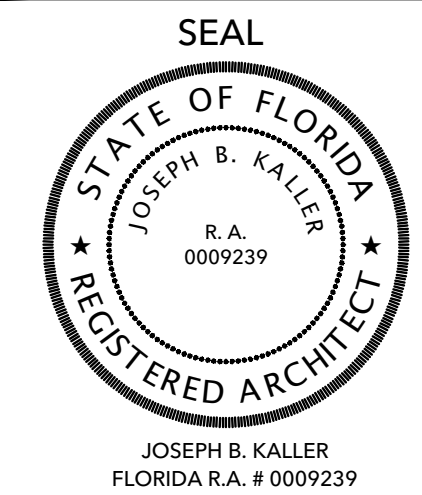
SHEET 26 OF 36



1 SECOND FLOOR PLAN



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THIRD FLOOR PLAN
SITE 2

[illegible]

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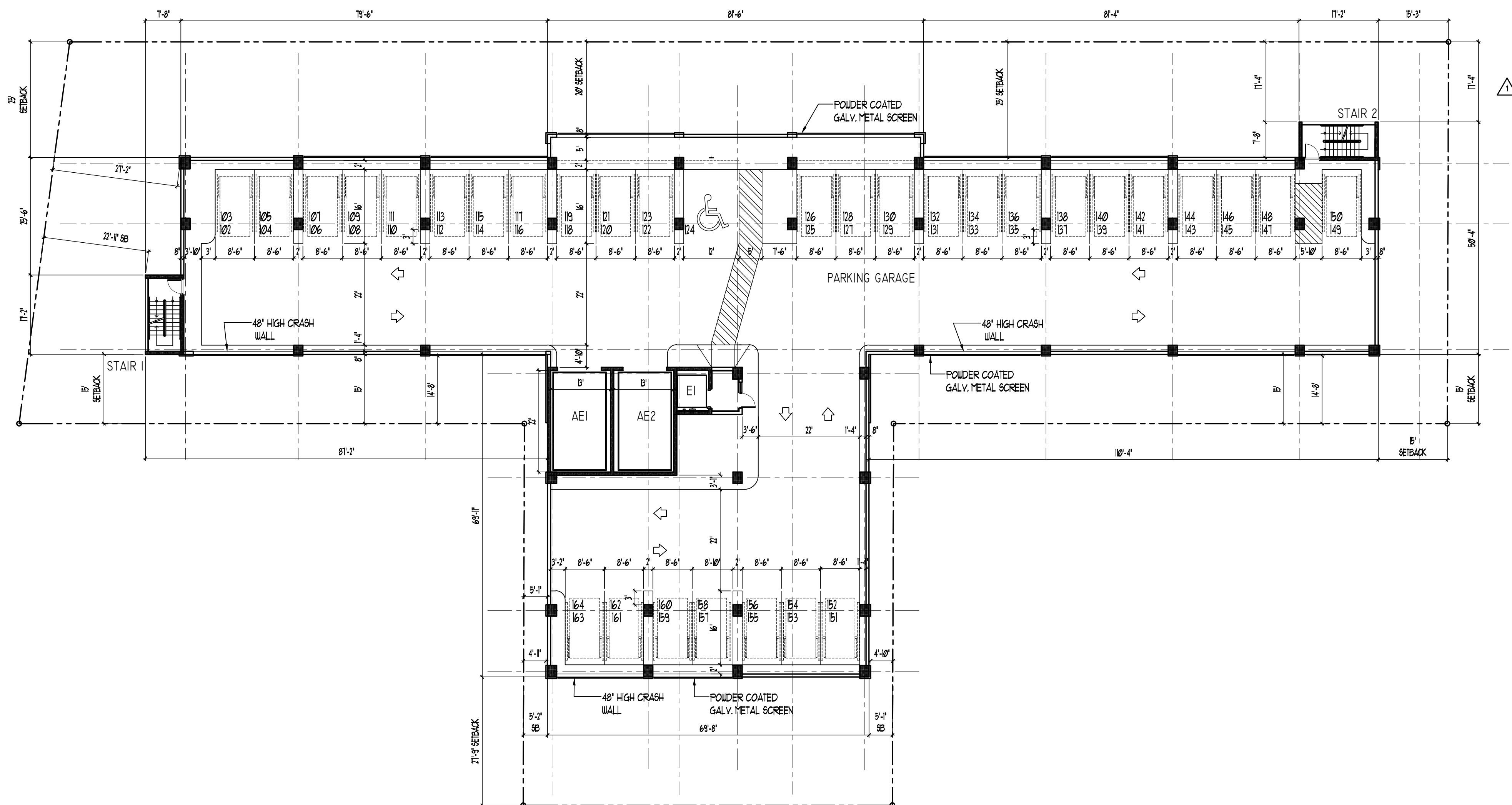
SHEET

A-26

SHEET 27 OF 36



1 THIRD FLOOR PLAN





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PROJECT TITLE

HEET TITLE

FOURTH FLOOR PLAN

SITE 2

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

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SHEET

A-27

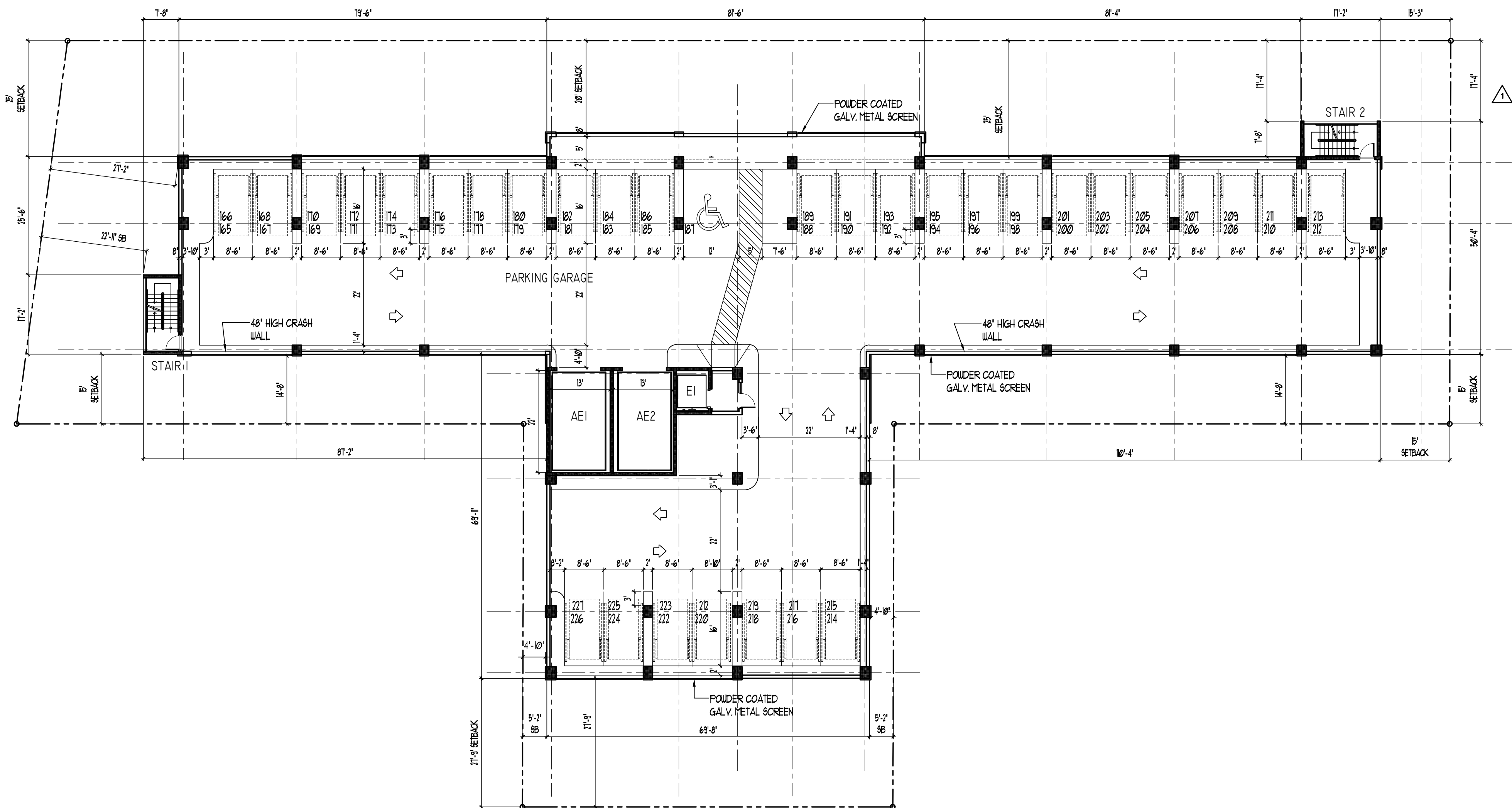
SHEET 28 OF 36



NORTH

1 FOURTH FLOOR PLAN

SCALE: 1/16" = 1'-0"





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PROJECT TITLE

SHEET TITLE
FIFTH FLOOR PLAN
SITE 2

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

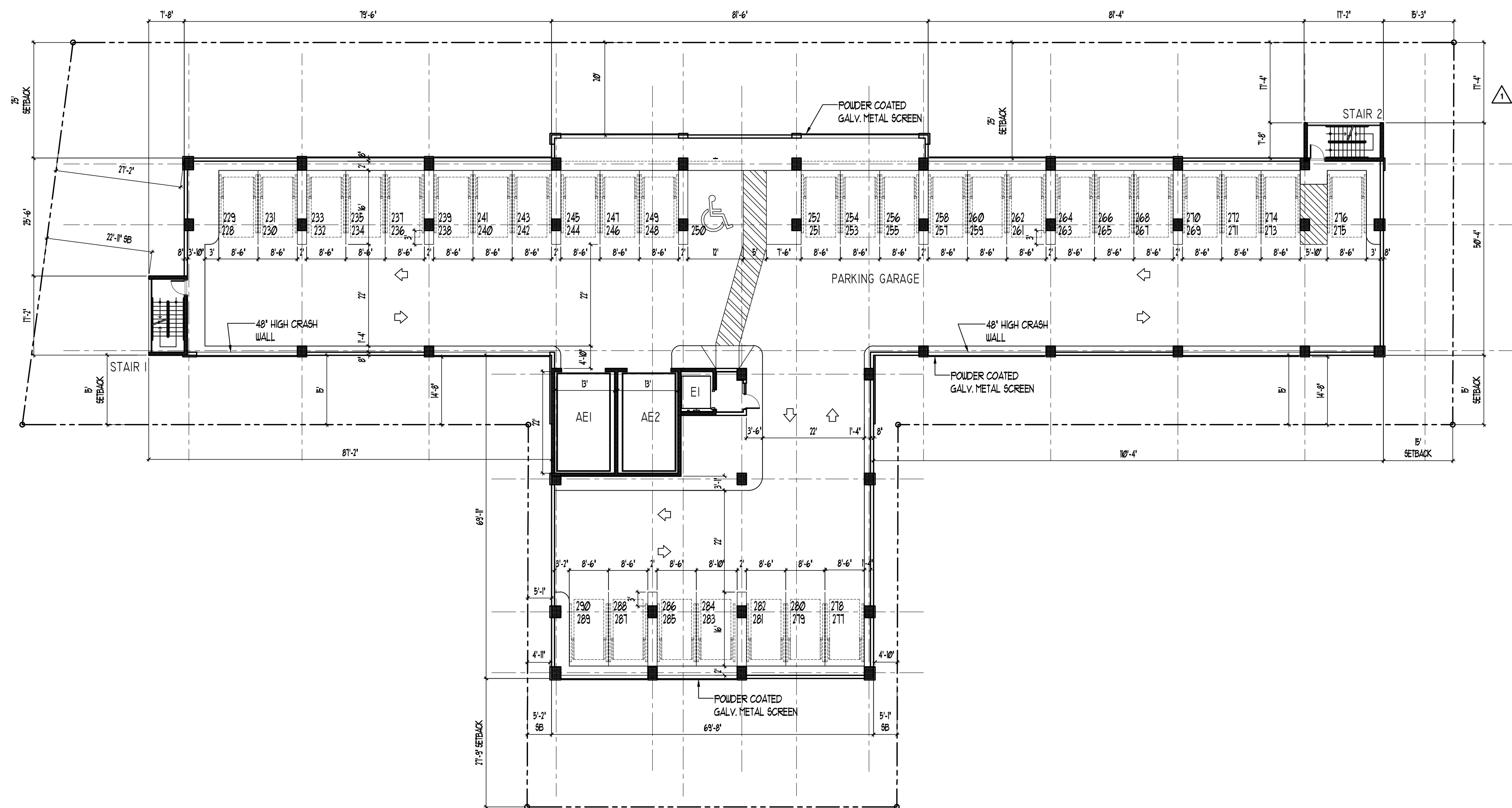
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DATE: 2-27-23
DRAWN BY: TMS
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SHEET

A-28

SHEET 29 OF 36



1 FIFTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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PROJECT TITLE

SHEET TITLE

SHEET TITLE
SIXTH FLOOR PLAN
SITE 2

REVISIONS		
No.	DATE	DESCRIPTION

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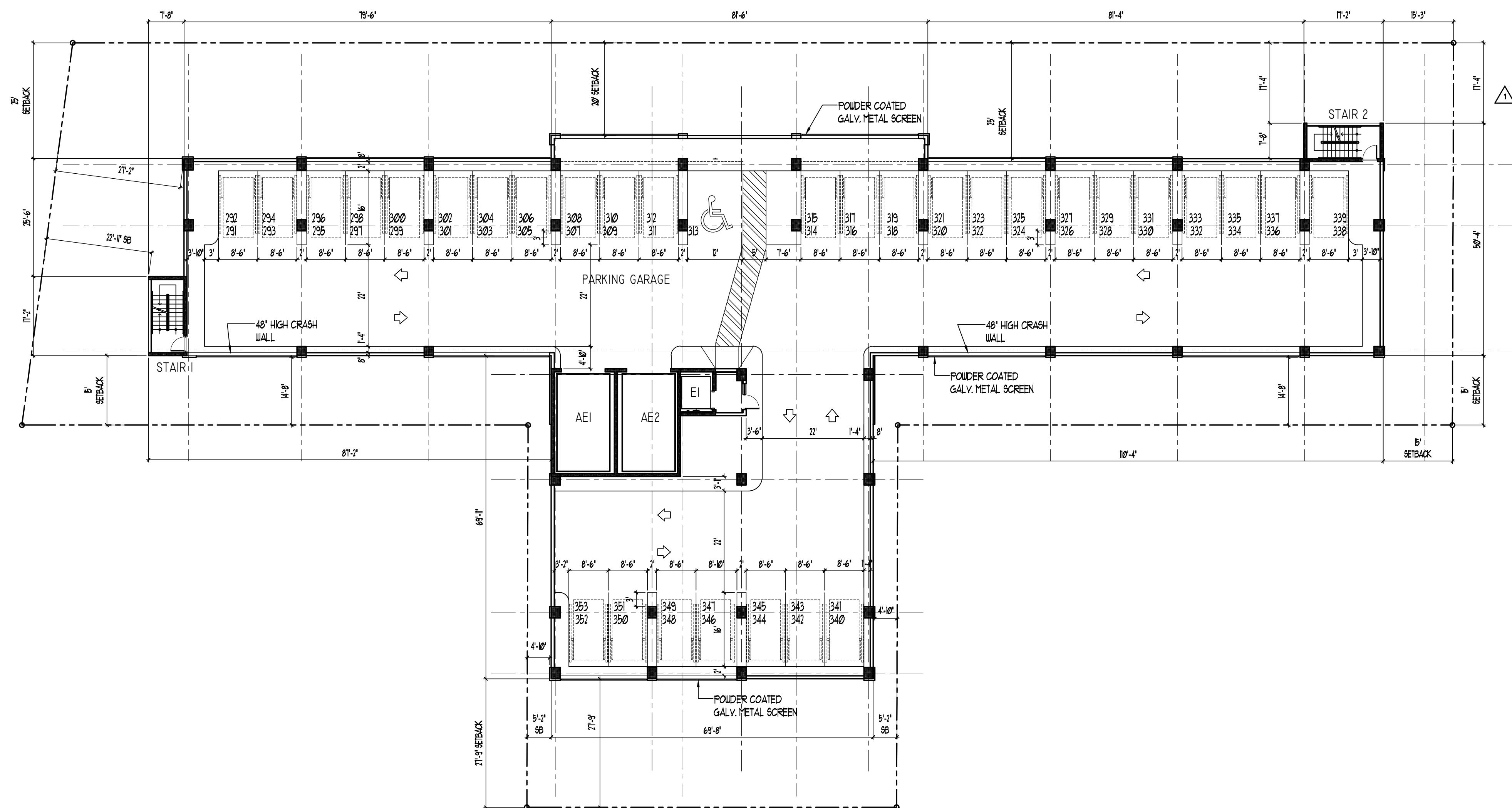
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SHEET

A-29

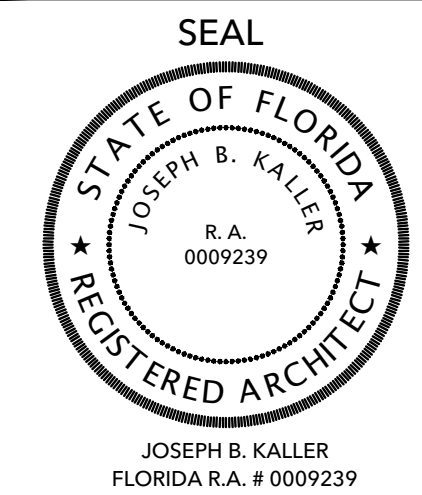
SHEET 30 OF 36



1 SIXTH FLOOR PLAN



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PROJECT TITLE

HEET TITLE

ROOF PLAN

SITE 2

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

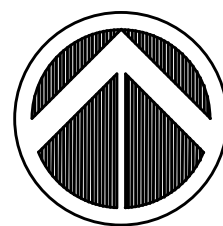
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DATE: 2-27-23
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SHEET

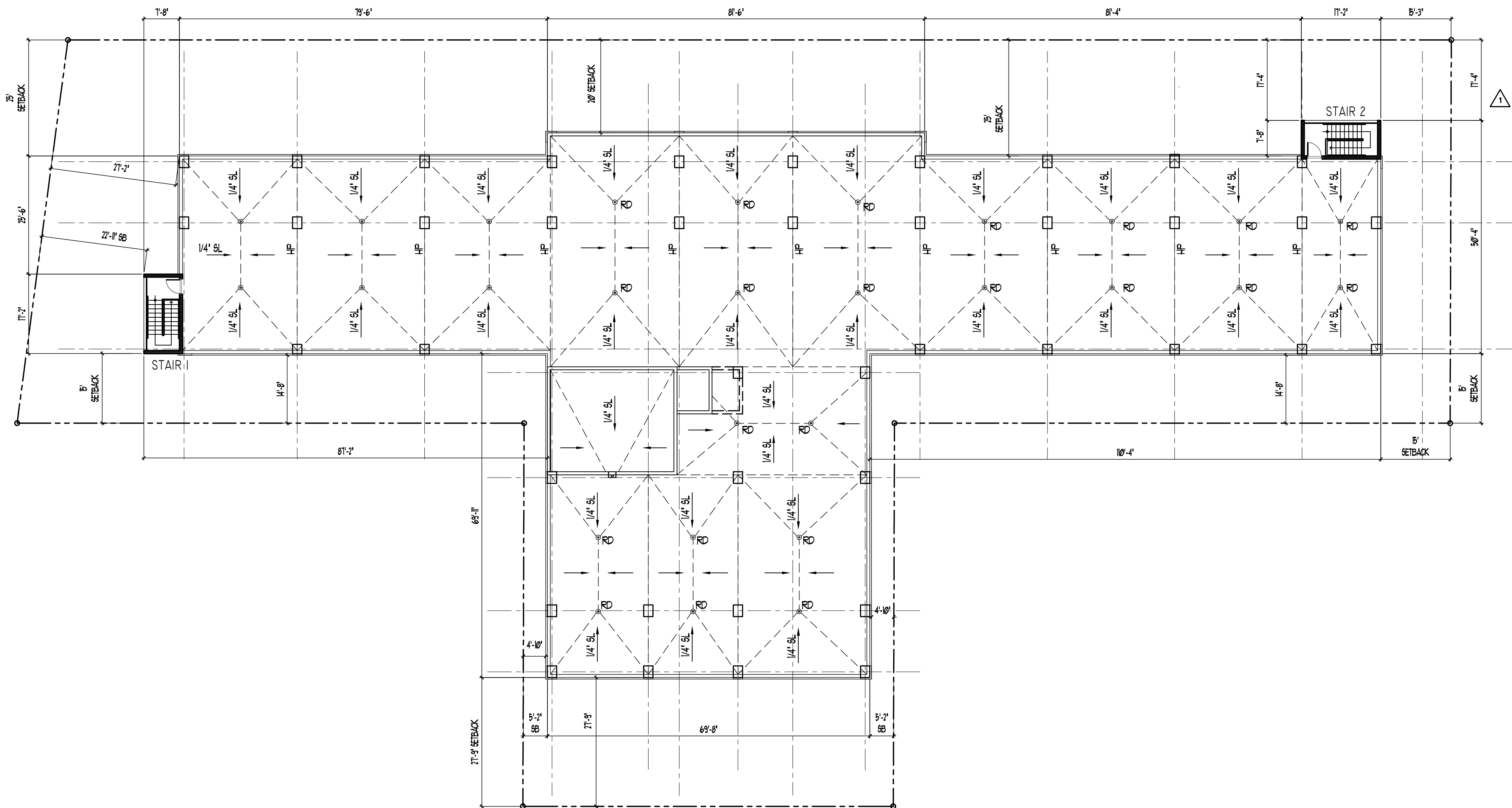
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SHEET 31 OF 36



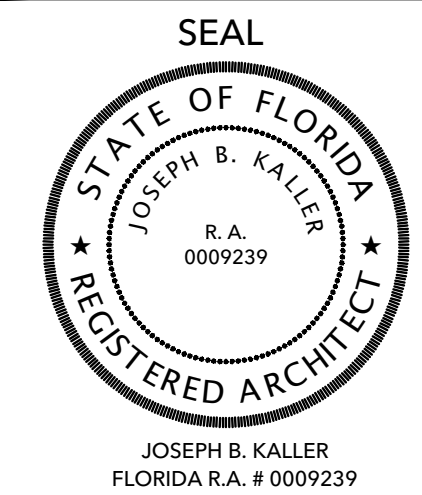
NORTH

1 ROOF PLAN





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HEET TITLE
UPPER ROOF PLAN
SITE 2

[illegible]

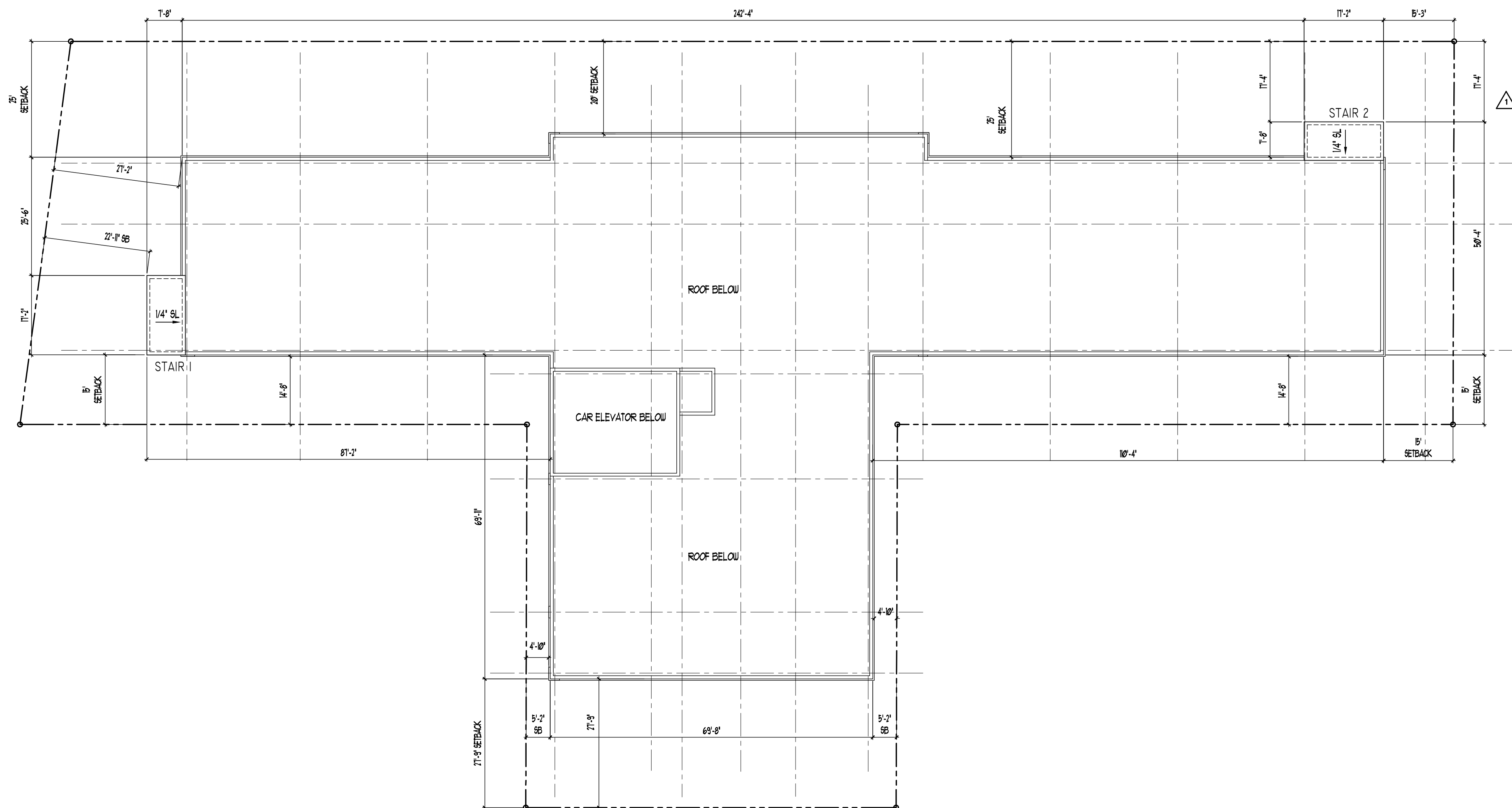
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DATE: 2-27-23
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SHEET

A-31

SHEET 32 OF 36



1 UPPER ROOF PLAN



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ELEVATIONS
SITE 2

[illegible]

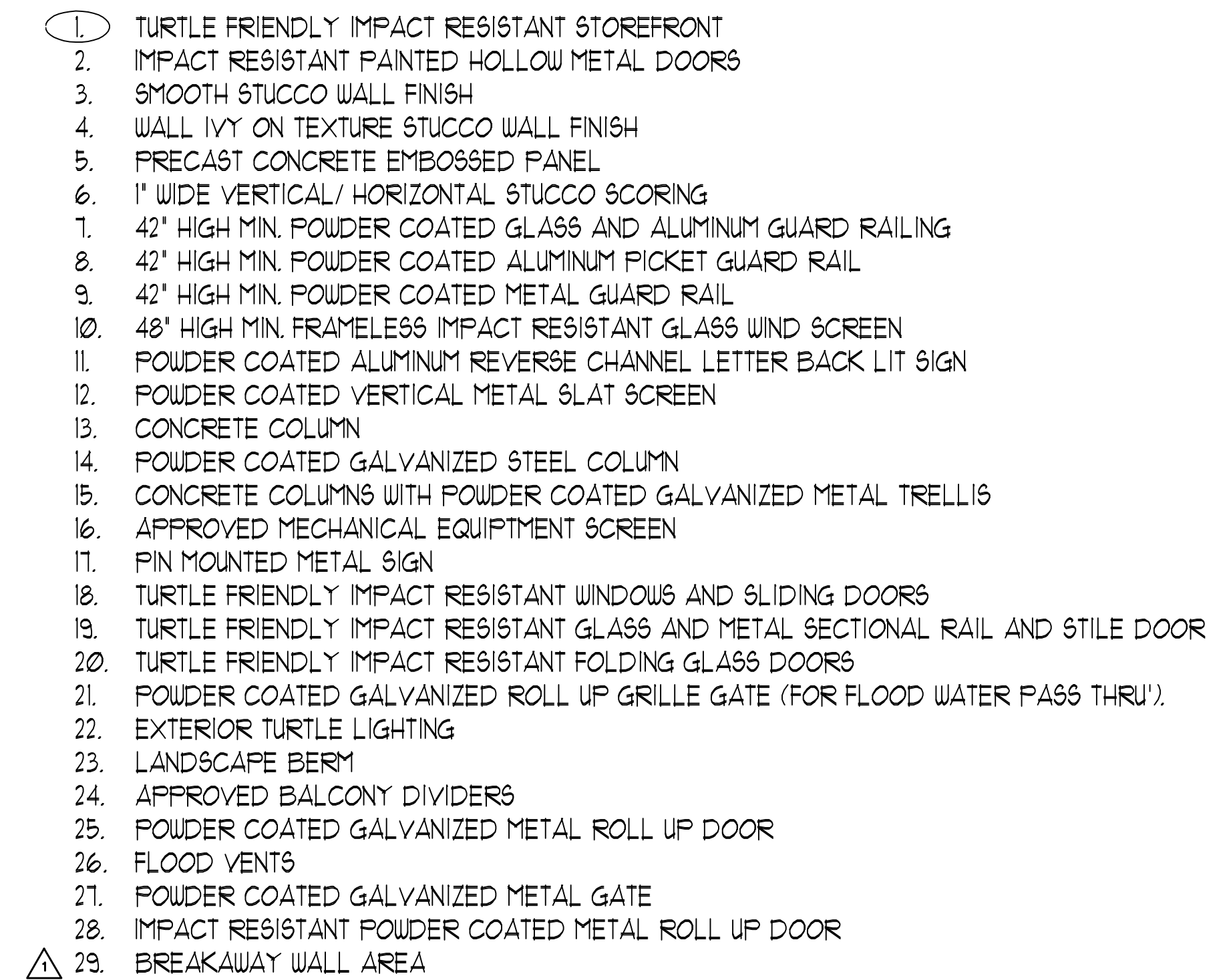
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SHEET

A-33

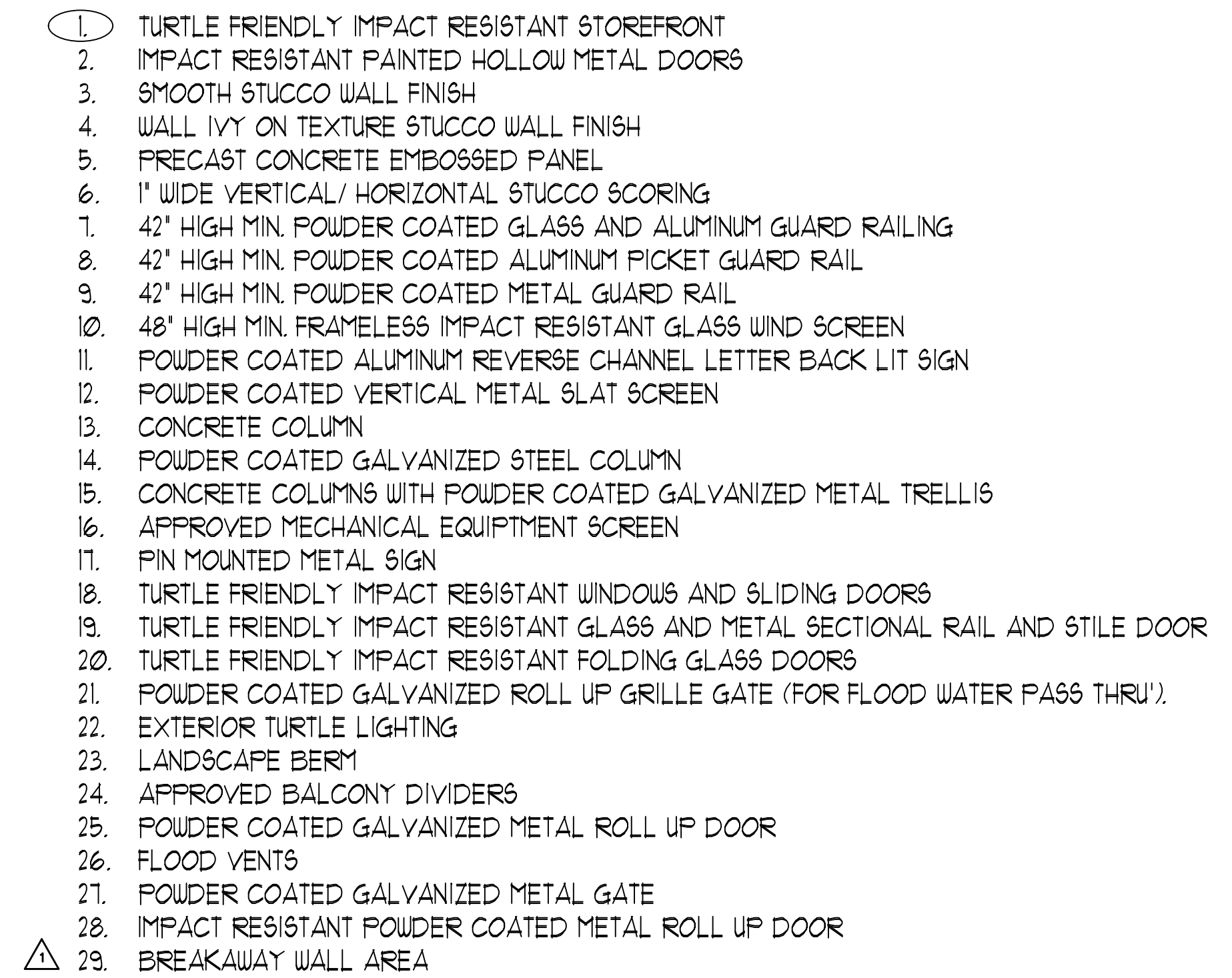
SHEET 34 OF 36



1 WEST ELEVATION



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



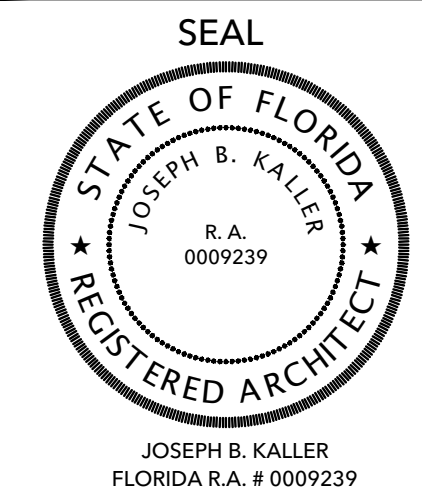
SCALE: 1/16" = 1'-0"



2 NORTH
SCALE: 1/16" = 1'-0"



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SHEET TITLE

CONTEXTUAL STREET
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

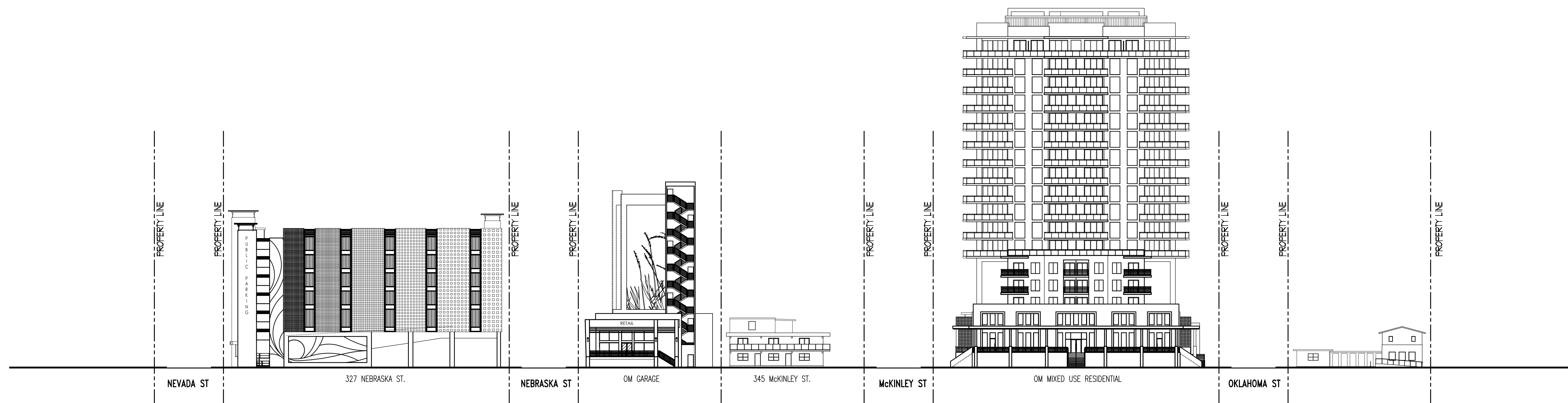
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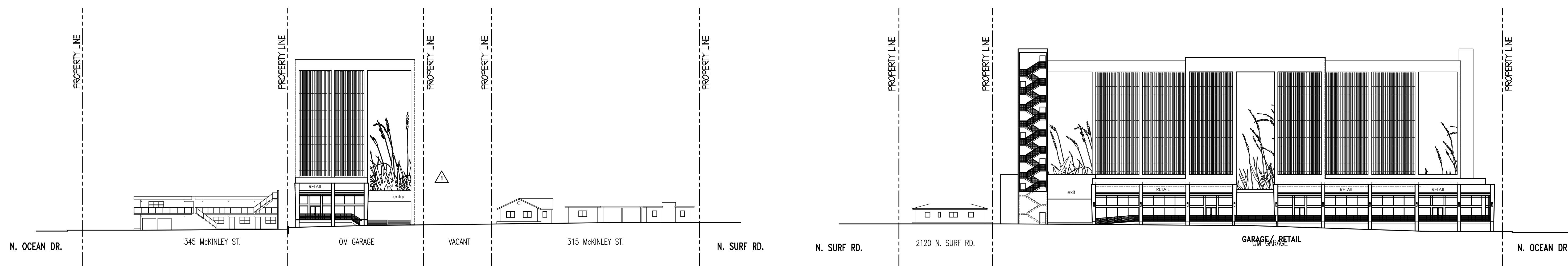
SHEET

A-35

SHEET 36 OF 36

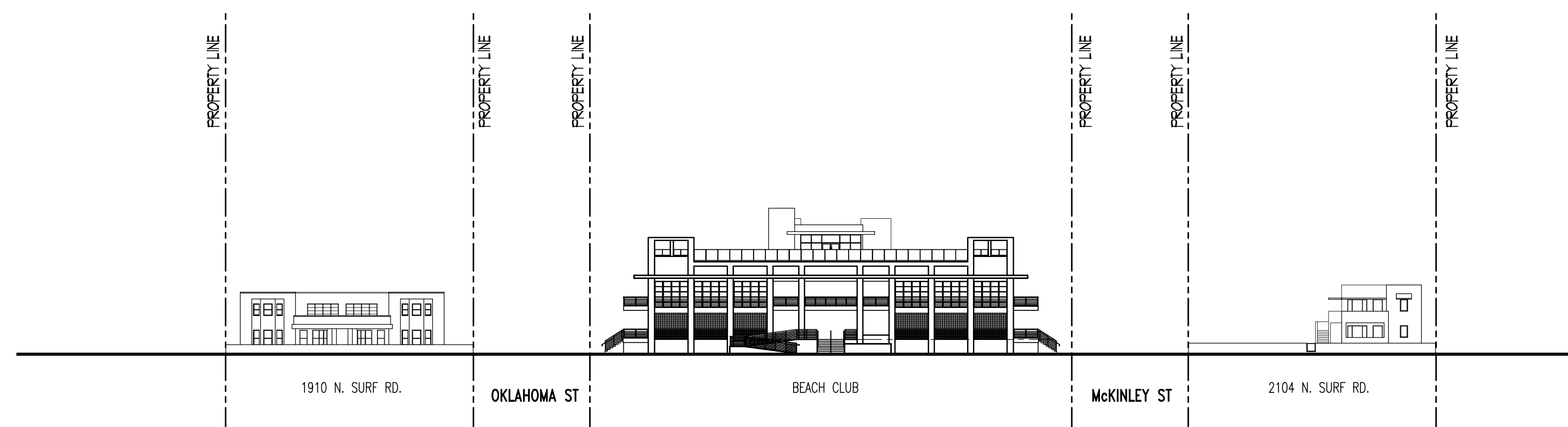


ON NORTH OCEAN DRIVE LOOKING EAST



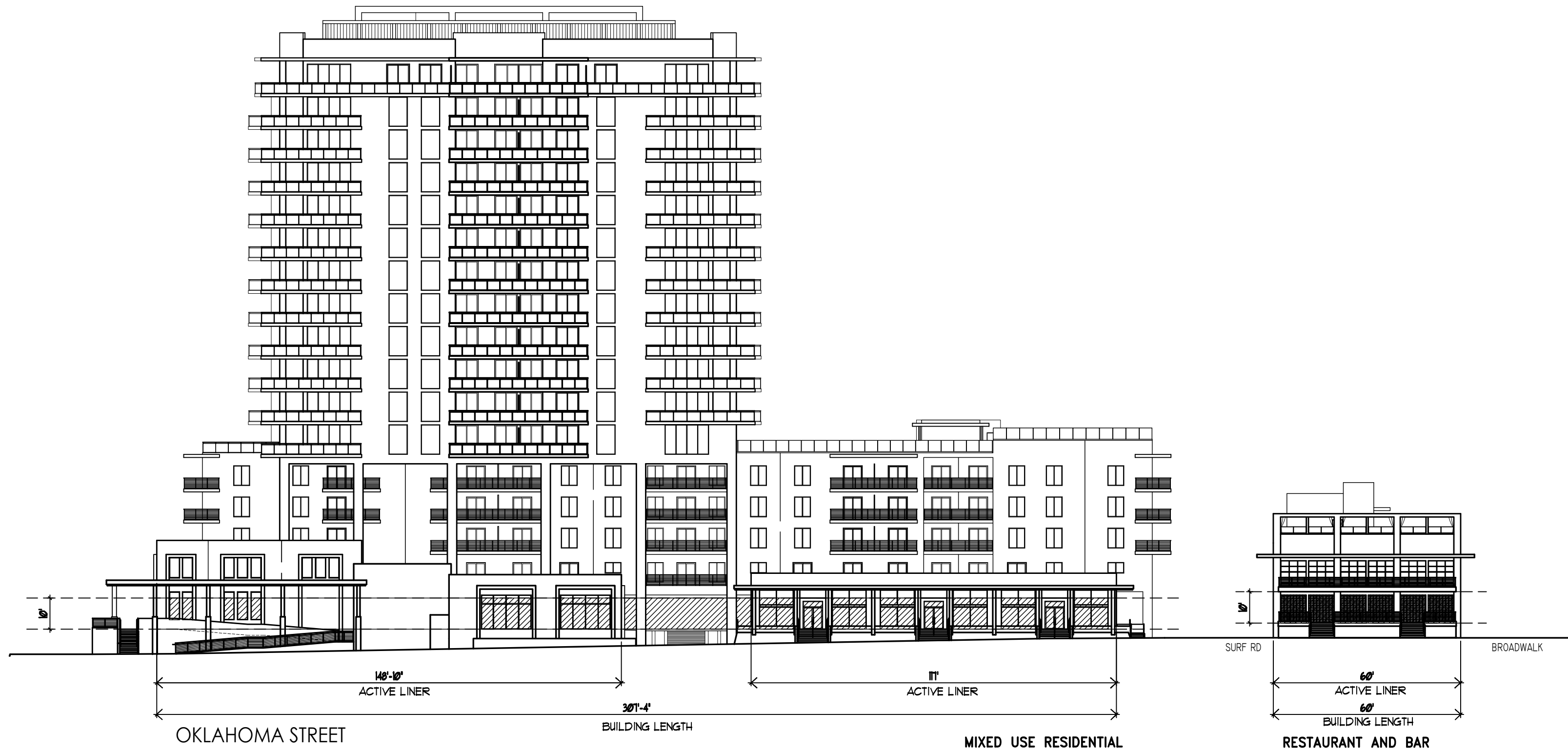
ON McKINLEY ST. LOOKING NORTH

ON NEBRASKA ST. LOOKING SOUTH



ON THE BROADWALK LOOKING WEST

1 CONTEXUAL STREET ELEVATIONS

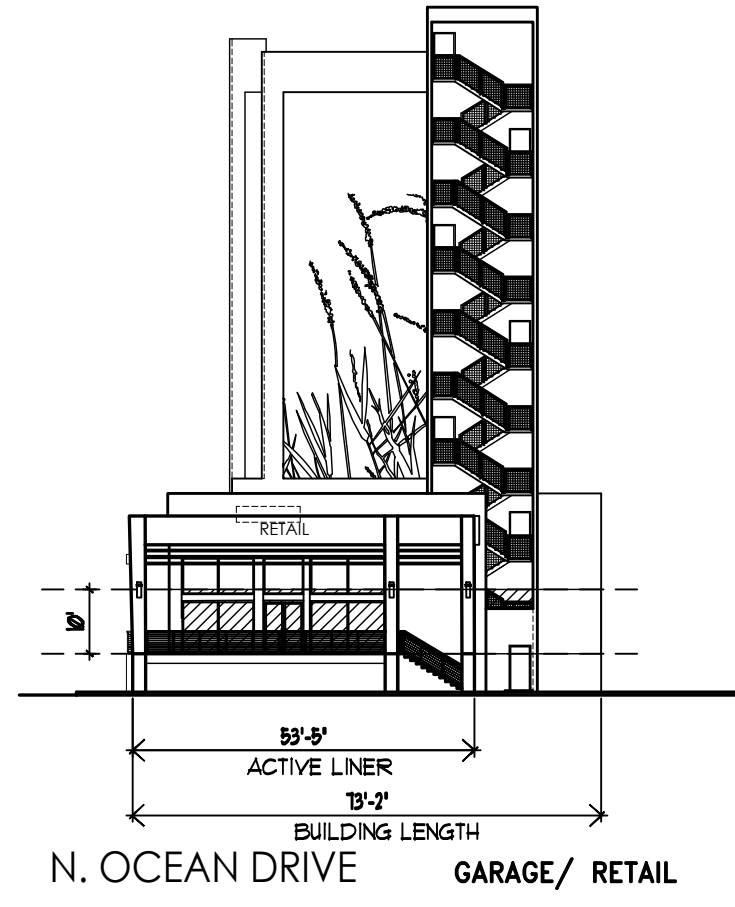


LENGTH OF BUILDING ADJACENT TO OKLAHOMA ST = 307'-4"
ACTIVE USE REQUIRED = 60% X 129'-8" = 184'-5"
ACTIVE USE PROVIDED = 265'-10" (86.5%)

ACTIVE USE LINER SQUARE FOOTAGE = 3073 SF
TRANSPARENCY REQUIRED = 50% X 3073 SF = 1536.5 SF
TRANSPARENCY PROVIDED = 1612 SF [Hatched]

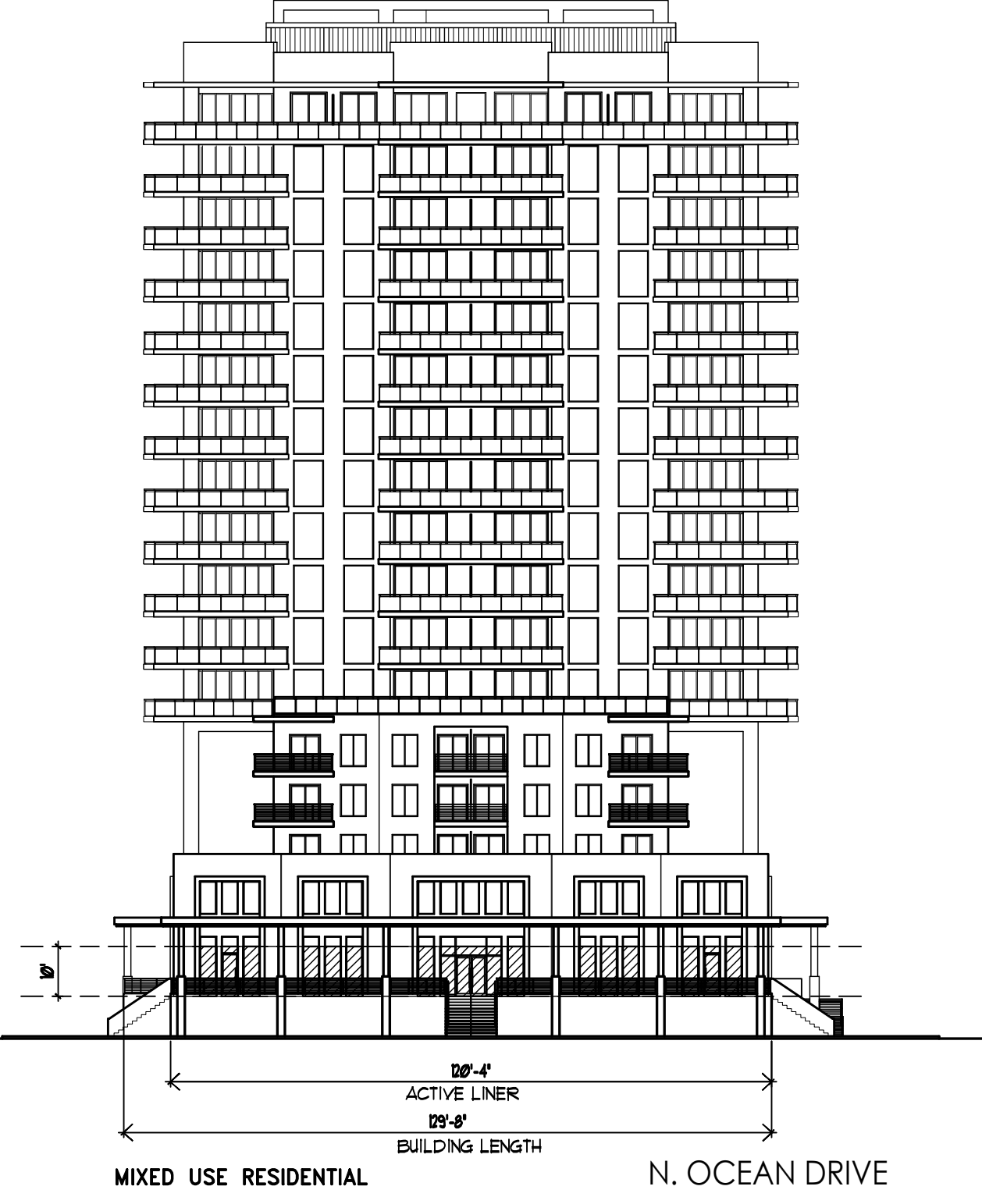
LENGTH OF BUILDING ADJACENT OT 441 = 60'-0"
ACTIVE USE REQUIRED = 60% X 60'-0" = 36'-0"
ACTIVE USE PROVIDED = 60'-0" (100%)

ACTIVE USE LINER SQUARE FOOTAGE = 600 SF
TRANSPARENCY REQUIRED = 50% X 600 SF = 300 SF
TRANSPARENCY PROVIDED = 444 SF [Hatched]



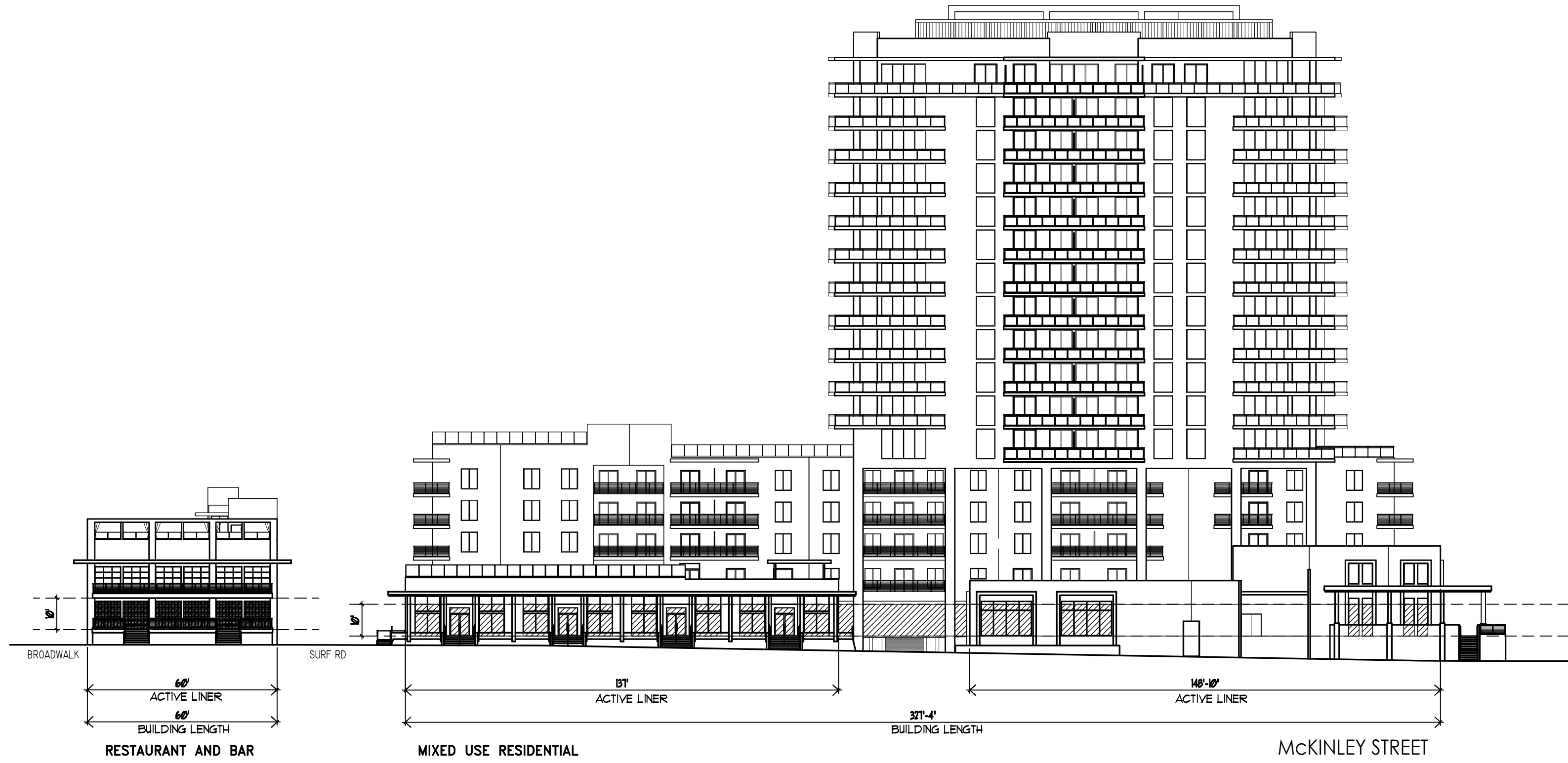
LENGTH OF BUILDING ADJACENT OT 441 = 73'-2"
ACTIVE USE REQUIRED = 60% X 73'-2" = 44'-0"
ACTIVE USE PROVIDED = 53'-5" (73%)

ACTIVE USE LINER SQUARE FOOTAGE = 675 SF
TRANSPARENCY REQUIRED = 50% X 675 SF = 337.5 SF
TRANSPARENCY PROVIDED = 341 SF [Hatched]



LENGTH OF BUILDING ADJACENT OT 441 = 129'-8"
ACTIVE USE REQUIRED = 60% X 129'-8" = 77'-10"
ACTIVE USE PROVIDED = 120'-4" (92.7%)

ACTIVE USE LINER SQUARE FOOTAGE = 1190 SF
TRANSPARENCY REQUIRED = 50% X 1190 SF = 595 SF
TRANSPARENCY PROVIDED = 553 SF [Hatched]

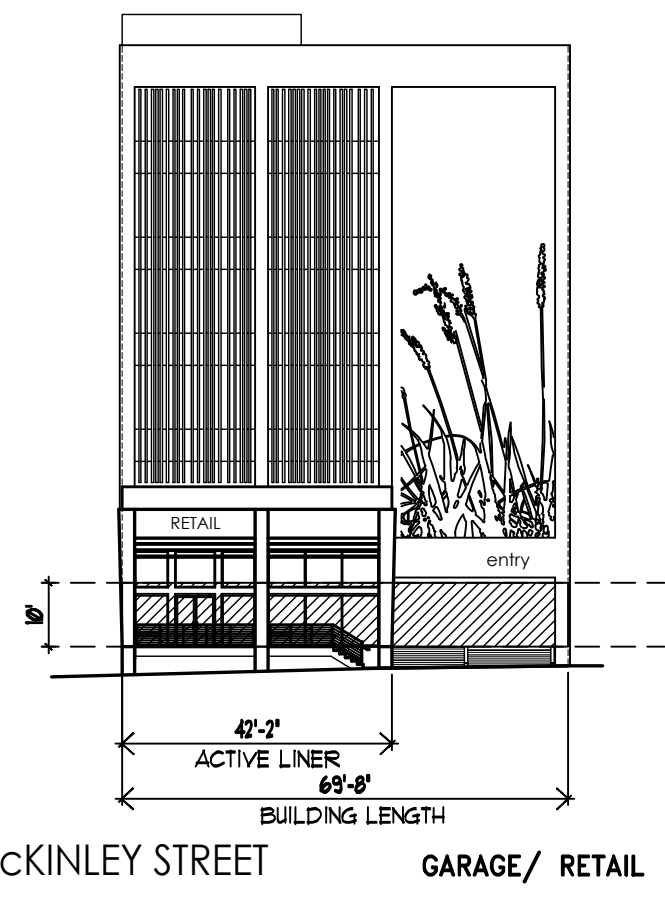


LENGTH OF BUILDING ADJACENT OT 441 = 60'-0"
ACTIVE USE REQUIRED = 60% X 60'-0" = 36'-0"
ACTIVE USE PROVIDED = 60'-0" (100%)

ACTIVE USE LINER SQUARE FOOTAGE = 600 SF
TRANSPARENCY REQUIRED = 50% X 600 SF = 300 SF
TRANSPARENCY PROVIDED = 444 SF [Hatched]

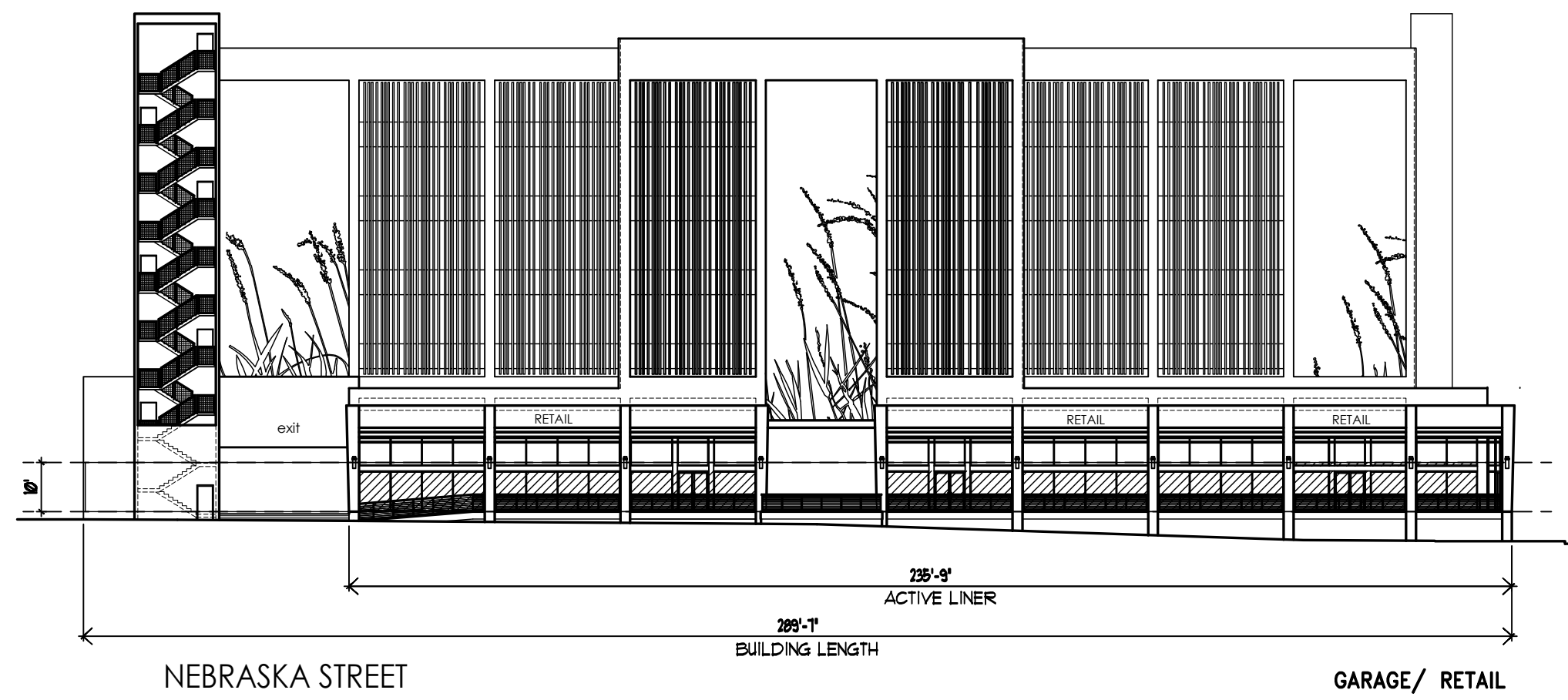
LENGTH OF BUILDING ADJACENT OT 441 = 321'-4"
ACTIVE USE REQUIRED = 60% X 321'-4" = 196'-4"
ACTIVE USE PROVIDED = 285'-10" (87%)

ACTIVE USE LINER SQUARE FOOTAGE = 3273 SF
TRANSPARENCY REQUIRED = 50% X 3273 SF = 1636.5 SF
TRANSPARENCY PROVIDED = 1666 SF [Hatched]



LENGTH OF BUILDING ADJACENT OT 441 = 42'-2"
ACTIVE USE REQUIRED = 60% X 69'-8" = 41'-10"
ACTIVE USE PROVIDED = 42'-2" (60.5%)

ACTIVE USE LINER SQUARE FOOTAGE = 697 SF
TRANSPARENCY REQUIRED = 50% X 697 SF = 348.5 SF
TRANSPARENCY PROVIDED = 579 SF [Hatched]



LENGTH OF BUILDING ADJACENT OT 441 = 289'-3"
ACTIVE USE REQUIRED = 60% X 289'-3" = 173'-1"
ACTIVE USE PROVIDED = 235'-9" (81%)

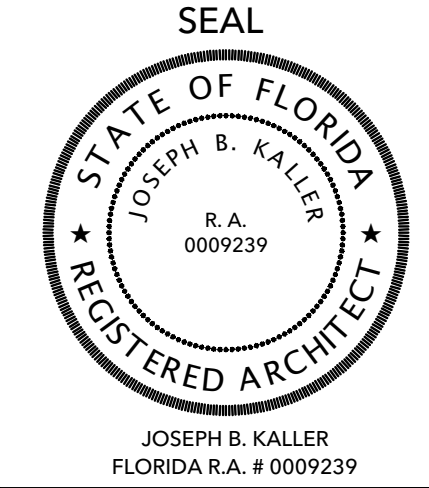
ACTIVE USE LINER SQUARE FOOTAGE = 2843 SF
TRANSPARENCY REQUIRED = 50% X 2843 SF = 1421.5 SF
TRANSPARENCY PROVIDED = 1691 SF [Hatched]

1 ACTIVE USE AND TRANSPARENCY

SCALE: 1"= 30'-0"



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SHEET TITLE
CONTEXTUAL STREET ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	10-2-23	PRELIM TAC

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SHEET

A-36

SHEET 36 OF 36







