

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: 08-19-2019

Location Address: 1900 S SURF ROAD, HOLLYWOOD, FLORIDA 33019

Lot(s): 1 THR 7-28-29-30 Block(s): 8 Subdivision: ATLANTIC SHORES N BEACH SECTION

Folio Number(s): 514224020350-514224020360-514224020370-514224020380-514224020390

Zoning Classification: RM-25-SCB Land Use Classification: RESIDENTIAL MULTIFAMILY

Existing Property Use: VACANT Sq Ft/Number of Units: 101,893 / 25

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): SETTLEMENT AGREEMENT

- Economic Roundtable
- City Commission
- Technical Advisory Committee
- Planning and Development
- Historic Preservation Board

Explanation of Request: 12 STORIES RESIDENTIAL MULTIFAMILY BUILDING

Number of units/rooms: 25 Sq Ft: 76,511 / UNITS

Value of Improvement: \$21,835,500 Estimated Date of Completion: 12-31-2025

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: GREENBRIAR APARTMENT/MOTEL, INC

Address of Property Owner: 1401 S SURF ROAD, HOLLYWOOD, FLORIDA 33019

Telephone: 305-588-9200 Fax: _____ Email Address: lstabinski@aol.com

Name of Consultant/Representative Tenant (circle one): JOSEPH B KALLER

Address: 2417 HOLLYWOOD BLVD, HOLLYWOOD, FLORIDA 33020 Telephone: 954-920-5764

Fax: _____ Email Address: joseph@kallerarchitects.com

Date of Purchase: 05-30.1991 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: LUIS STABINSKI

Address: 1401 S SURF ROAD, HOLLYWOOD, FLORIDA 33019 Email Address: lstabinski@aol.com

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 8/15/19

PRINT NAME: Luis Stabunski Date: 8/15/19

Signature of Consultant/Representative: [Signature] Date: 8-15-19

PRINT NAME: JOSEPH B. KAUFER Date: 8-15-19

Signature of Tenant: _____ Date: _____

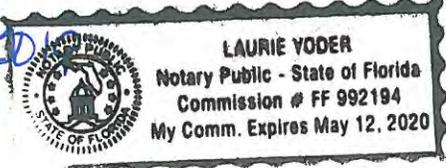
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Technical Advisory Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kauffer to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 15th day of August 2019

[Signature]
Notary Public



[Signature]
Signature of Current Owner

Luis Stabunski
Print Name

State of Florida
My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

91230465

This Quit-Claim Deed, Executed this 30th day of May, A. D. 19 91, by

GERALD MARTIN, a married man and WINNIFRED SMITH, a single person
first party, to GREENBRIAR APARTMENT/MOTEL, INC., a Florida Corporation

whose postoffice address is 1990 South Surf Road, Hollywood, Fl. 33019

second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the said first party, for and in consideration of the sum of \$ 10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claims and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Broward State of Florida to-wit:

Lots 1, 2, 3, 4, 5, 6, 7, 28, 29 and 30, Block 8, ATLANTIC SHORES NORTH BEACH SECTION, according to the Plat thereof recorded in Plat Book 9, Page 36, of the Public Records of Broward County, Florida.

The above described property is not nor ever was the homestead of Gerald Martin, nor is it contiguous thereto.

8250⁰⁰ has been paid in Broward County for Documentary Stamp Tax as required by law. Virginia May Clerk

RECORDED IN THE OFFICIAL RECORDS BOOK OF BROWARD COUNTY, FLORIDA
L. A. HESTER
COUNTY ADMINISTRATOR

To Have and to Hold the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claims whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

[Signature]
.....
[Signature]
.....

[Signature] L.S.
GERALD MARTIN
[Signature] L.S.
WINNIFRED SMITH

STATE OF FLORIDA,
COUNTY OF BROWARD

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared GERALD MARTIN and WINNIFRED SMITH to me known to be the persons described in and who executed the foregoing instrument and they acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 30th day of May A. D. 19 91.

[Signature]
NOTARY PUBLIC
NOTARY PUBLIC, STATE OF FLORIDA.
MY COMMISSION EXPIRES: Jan. 30, 1995.
BONDED THRU NOTARY PUBLIC UNDERWRITERS.

This instrument prepared by: *[Signature]*
Address FREDERIC M. KLEIN, P.A.
4600 Sheridan St. Suite 300
Hollywood, Fl. 33021
Tel: (305) 963 2100

MEMO: Legibility of writing, typing or printing unsatisfactory in this document when microfilmed.

91-JUN17 A9:51

BK18475PG0312

50

The School Board Of Broward County, Florida
Facility Planning and Real Estate Department

Christopher O. Akagbosu, Director

August 19, 2019

Kaller Architecture
2417 Hollywood Blvd.
Hollywood, Florida 33020

Attached is the receipt for the application of the Bell Amare Site Plan that was submitted to The School Board of Broward County, Florida (SBBC) which includes the SBBC project number assigned to your project for a School Capacity Availability Determination (SCAD) letter.

Please use this number in any correspondence or communication with the School Board regarding the project.

If you have any questions, please E-mail Linda Houchins, Operations Specialist IV, Growth Management Department at: linda.houchins@browardschools.com.

Thank you

600 Southeast Third Avenue, 8th Floor
Fort Lauderdale, Florida 33301
Telephone: (754) 321-2162 Fax: (754) 321-2179

Receipt For Development Review

The School Board of Broward County, Florida
Growth Management Section
Facility Planning and Real Estate Department

600 SE 3rd Avenue, 8th Floor, Fort Lauderdale, FL 33301 | Phone (754) 321-2177 Fax (754) 321-2179
www.browardschools.com

Date: 8/19/2019

Receipt Number: A2368546

SBBC Reference Number: SBBC-2737-2019

Issued To: Greenbriar Apartment/Motel Inc.

Project Title: Bell Amare

County Number _____

Municipality Number _____

Type of Submission

<input type="radio"/> Land Use	<input type="radio"/> Rezoning	<input checked="" type="radio"/> Site Plan	<input type="radio"/> Flex/Reserve Allocation
<input type="radio"/> DRI	<input type="radio"/> Plat	<input type="radio"/> Other	<input type="radio"/> Rezoning Non-Residential

<u>Fee Type</u>	<u>Fee Amount</u>	<u>Fee Paid</u>	<u>Check Number</u>	<u>Date Paid</u>
SCAD Letter for Exempt	\$66.00	\$66.00	8056	8/19/2019

Comments:

Signature of person receiving fees: Linda Houchins

Name of person receiving fees: LINDA Houchins

Signature of person paying fees: N/A

Name of person paying fees: _____

Date: 8/19/19

Note: All applications and fees received are subject to review by the Growth Management Department for accuracy.

Receipt For Development Review

The School Board of Broward County, Florida
Facility Planning and Real Estate
Growth Management Department

600 SE 3rd Avenue, 8th Floor, Fort Lauderdale, FL 33301 | Phone (754) 321-2177 Fax (754) 321-2179
www.browardschools.com

Date: 8/19/2019

Receipt Number: A2368546

Project Title: Bell Amare

Type of Submission Land Use DRI Rezoning Plat Site Plan Other
 Flex/Reserve Allocation

<u>Fee Amount</u>	<u>Fee Paid</u>	<u>Check Number</u>	<u>Date Paid</u>
\$66.00	\$66.00	8056	8/19/2019

Comp: BC-40P THE SCHOOL BOARD OF BROWARD COUNTY, FLORIDA

A L 2368546
(STUDENT COPY)

Received From: Greenbriar Apartments (STUDENT NAME) Date: 8/19/19

Explanation -	Amount
<u>Bell Amare SP</u>	\$ <u>66.00</u>
<u>Exempt</u>	
<u>Ch # 8056</u>	
TOTAL	\$ <u>66.00</u>

School: FP & RE

Linda Houchins
Signature

Signature of person receiving fees: Linda Houchins

Name of person receiving fees: LINDA Houchins

Signature of person paying fees: N/A

Name of person paying fees: _____

Date: 8/19/19

Pending Application Review

IN THE CIRCUIT COURT OF THE
17TH JUDICIAL CIRCUIT, IN AND FOR
BROWARD COUNTY, FLORIDA

DUPONT HOLLYWOOD PARTNERSHIP,
et al.,
Plaintiffs,

CASE NO. 06-005035 CA 03
CIVIL DIVISION

v.

CITY OF HOLLYWOOD, FLORIDA,
et al.,

Defendants.

SETTLEMENT AGREEMENT

The Plaintiff/Intervenor, Greenbriar Apartment/Motel, Inc. ("Greenbriar"), Defendant, City of Hollywood, Florida ("City"), and the City of Hollywood, Florida Community Redevelopment Agency ("CRA") (collectively referred to as the "Parties"), set forth their mutual agreement to settle all claims that are or could have been asserted in this matter, and state as follows:

1. Greenbriar owns certain properties located east and west of South Surf Road between Hyacinth Terrace and Greenbriar Terrace in the City of Hollywood, Florida, containing property folio numbers 514224020350, 514224020360, 514224020370, 514224020380, and 514224020390, more generally known as 1900 Surf Road, Hollywood, Broward County, Florida (the "Greenbriar Property").

2. Greenbriar asserts in this litigation that its rights to use and develop the Greenbriar Property have been inordinately burdened by the City's enactment of new zoning regulations where the Greenbriar Property is located that were adopted after Greenbriar purchased the Greenbriar Property. The City denies these allegations.

3. The Parties agree to resolve their dispute as follows:

a. The development of the Greenbriar Property must be in substantial conformity with and be constructed as set forth in the design and rendering provided by Greenbriar to the City on November 20, 2018, which has been amended to conform with the City Commission's approval, a copy of which is attached as Exhibit "A". Greenbriar shall not deviate from the general design and plans attached hereto;

b. The height of the Greenbriar Property may not exceed 130 feet measured from the FEMA Established Grade plus one (1) foot.

c. Greenbriar shall comply with the setbacks set forth in and consistent with the general design and plans attached hereto as Exhibit "A";

d. Density shall be no more than 25 units per acre;

e. The City agrees to allow the re-alignment of Surf Road as set forth in Exhibit "A", which must proceed through the City's vacation process, including City Commission approval. The City agrees that, upon the Commencement of Construction of the Greenbriar project, it shall vacate that portion of Surf Road set forth in Exhibit "A", and, in exchange for such vacation, Greenbriar shall deed to the City the portion of the Greenbriar Property necessary to enable Surf Road to be re-routed around the Greenbriar Property once construction of the development begins. Greenbriar shall pay for and construct the re-alignment, including all infrastructure;

f. Any variances or site plan changes necessitated through the development review process will require further Commission consideration and will be solely the responsible of Greenbriar to seek the requisite approvals.

g. Greenbriar shall submit complete Technical Advisory Committee plans and renderings to the City no later than December 31, 2019. The City shall expedite the review of all submissions including permit applications;

h. Construction, including final inspection and issuance of appropriate certificates of occupancy, must be completed by December 31, 2025. Since time is of the essence with respect to completion of the project, failure of Greenbriar to achieve construction completion as indicated shall result in liquidated damages of \$ 1,200 per day. The parties recognize that the liquidated damages are an estimate of the damages incurred by the City should Greenbriar not complete construction in the time provided, including loss of taxable value and additional building and permitting losses, and is not a penalty; and

i. In all other respects, the development and construction of the Greenbriar Property shall adhere to the City Codes currently in effect, and Greenbriar shall proceed through the appropriate and applicable development review process.

4. The Parties agree and understand that this settlement is based and contingent upon the foregoing terms and that Greenbriar must adhere to the design set forth in the rendering attached as Exhibit "A". In other words, the City and CRA agree to this resolution only if the design set forth in Exhibit "A" is utilized.

5. The Parties agree to execute and deliver mutual releases in the form attached as Exhibit "B".

6. This Settlement Agreement shall constitute a final resolution of all claims which were or could have been asserted by either party in the above-styled civil action, and shall be binding on the Parties, their employees, representatives, successors, heirs

and assigns. Subject to the terms and obligations contained in this Settlement Agreement, this action is dismissed with prejudice, with the Court only retaining jurisdiction to enforce the terms and conditions of and compliance with this Settlement Agreement.

7. Each party shall bear its own fees and costs.

8. Force Majeure. In the event that this Settlement Agreement cannot be performed solely because of a delay caused by hurricane, war, tornado or similar casualty, then all relief set forth in this Settlement Agreement shall be abated to the extent that the Court finds that compliance was prevented by unforeseen circumstances.

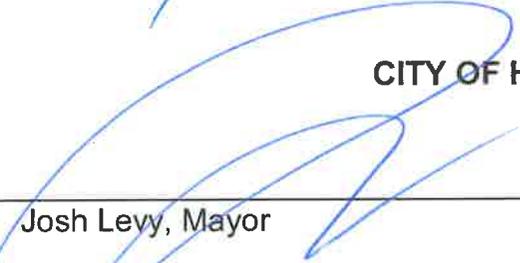
9. The above-named Parties consent to the terms and conditions of this Settlement Agreement as set forth above and consent to the entry of an Order Approving Settlement Agreement.

**GREENBRIAR APARTMENT/MOTEL, INC.
ASSOCIATION, INC.**

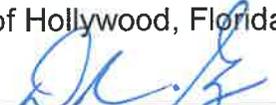
By: 
Luis Stabinski, President

By: 
Keith Poliakoff
Counsel for Greenbriar

CITY OF HOLLYWOOD

By: 
Josh Levy, Mayor

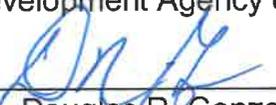
APPROVED AS TO FORM AND LEGAL SUFFICIENCY for the use and reliance of the City of Hollywood, Florida only:

By: 
Douglas R. Gonzales
City Attorney

**CITY OF HOLLYWOOD
COMMUNITY REDEVELOPMENT AGENCY**

By: 
Josh Levy, Chair

APPROVED AS TO FORM AND LEGAL SUFFICIENCY for the use and reliance of the City of Hollywood, Florida Community Redevelopment Agency only.

By:  
Douglas R. Gonzales
General Counsel

SETTLEMENT AGREEMENT

DUPONT HOLLYWOOD PARTNERSHIP,
et al.,
Plaintiffs,

CASE NO. 06-005035 CA 03
CIVIL DIVISION

v.

CITY OF HOLLYWOOD, FLORIDA,
et al.,

Defendants.

CITY OF HOLLYWOOD

ATTEST:

Dated this 3 day of April, 2019.

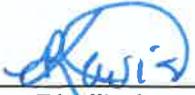
By: 

Patricia A. Cerny, MMC
City Clerk

**CITY OF HOLLYWOOD
COMMUNITY REDEVELOPMENT AGENCY**

ATTEST:

Dated this 3rd day of April, 2019.

By: 

Phyllis Lewis
Board Secretary

MUTUAL FULL AND FINAL RELEASE AGREEMENT

This Mutual Full and Final Release Agreement (“Agreement”) is entered into by and between **GREENBRIAR APARTMENT/MOTEL, INC.**, hereinafter referred to as "**GREENBRIAR**", and **CITY OF HOLLYWOOD**, hereinafter referred to as "**CITY**".

WHEREAS, Greenbriar owns certain properties located in the City of Hollywood, generally known as 1900 Surf Road, Hollywood, Broward County, Florida (the “Greenbriar Property”); and

WHEREAS, Greenbriar and City are currently engaged in litigation over Greenbriar’s rights to use and develop the Greenbriar property, in Broward County Case No. CACE 06-005035 (03) (the “Litigation”); and

WHEREAS, Greenbriar and City now desire to fully compromise, settle, and resolve all claims and disputes among them arising from the Litigation, and have entered into a Settlement Agreement;

NOW, THEREFORE, in consideration of the mutual promises and covenants set forth herein, and for other good and valuable consideration, the parties agree as follows:

1. Greenbriar and City, for themselves, all legal representatives, successors, assigns, and beneficiaries mutually release and discharge each other collectively and individually, their heirs, legal representatives, successors, assigns, and beneficiaries from any and all claims, demands, and actions of any kind, which each now has or may have arisen from the Litigation;

2. The parties acknowledge and agree that the Settlement Agreement sets forth the mutual agreement to settle all claims that are or could have been asserted in the Litigation;

3. No Party hereto shall directly or indirectly disparage, defame, or discredit any other Party, or engage in any activity that would have the effect of disparaging, defaming, or discrediting any other Party; and

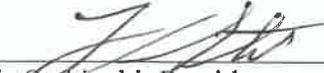
IT IS FURTHER UNDERSTOOD that the foregoing release is to compromise and terminate all claims, demands, actions or causes of action, whether known or unknown, which the parties hereto have or may have against each other arising from the Litigation.

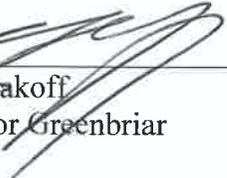
This Agreement contains the entire understanding of the parties with regard to the matters contained herein, and there are no other promises, covenants, representations or agreements other than those expressly set forth herein. This Agreement is intended to be contractual in nature and may not be changed without the prior written consent of the parties. This will acknowledge that the undersigned has had advice of counsel concerning the effect of the signing of, and delivery of this Agreement. An electronic copy shall be deemed to have the same weight and merit as the original.

[Signatures on Following Page]

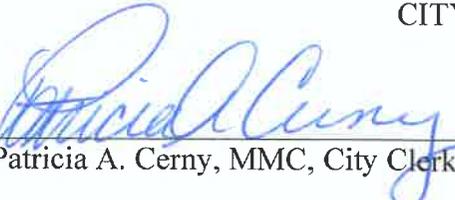
IN WITNESS WHEREOF, the parties hereto have executed this Agreement this 29 day of April, 2019.

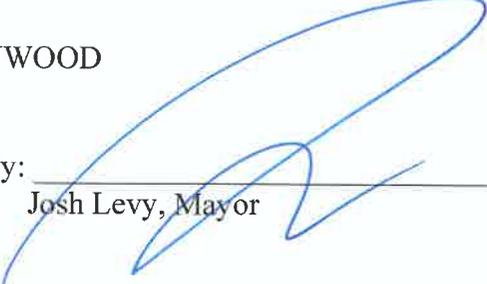
GREENBRIAR APARTMENT/MOTEL, INC.
ASSOCIATION, INC.

By: 
Luis Stabinski, President

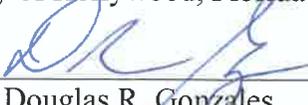
By: 
Keith Poliakoff
Counsel for Greenbriar

CITY OF HOLLYWOOD

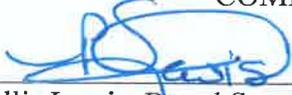
By: 
Patricia A. Cerny, MMC, City Clerk

By: 
Josh Levy, Mayor

APPROVED AS TO FORM AND LEGAL SUFFICIENCY for the use and reliance of the City of Hollywood, Florida only:

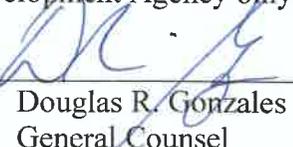
By: 
Douglas R. Gonzales
City Attorney

CITY OF HOLLYWOOD
COMMUNITY REDEVELOPMENT AGENCY

By: 
Phyllis Lewis, Board Secretary

By: 
Josh Levy, Chair

APPROVED AS TO FORM AND LEGAL SUFFICIENCY for the use and reliance of the City of Hollywood, Florida Community Redevelopment Agency only.

By: 
Douglas R. Gonzales
General Counsel

CRUISE #

NEW DEVELOPMENT LOCATED @ 1900 S. SURF ROAD HOLLYWOOD, FL



JOSEPH B. KALLER
ASSOCIATES PA
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 920 5746 phone - (954) 926 2841 fax
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
TITLE SHEET

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

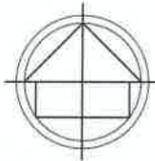
MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
1000 N. W. 10th St., Suite 1000, Ft. Lauderdale, FL 33304
TEL: (954) 574-1111 FAX: (954) 574-1112
WWW.MTSENGINEERING.COM

T-1

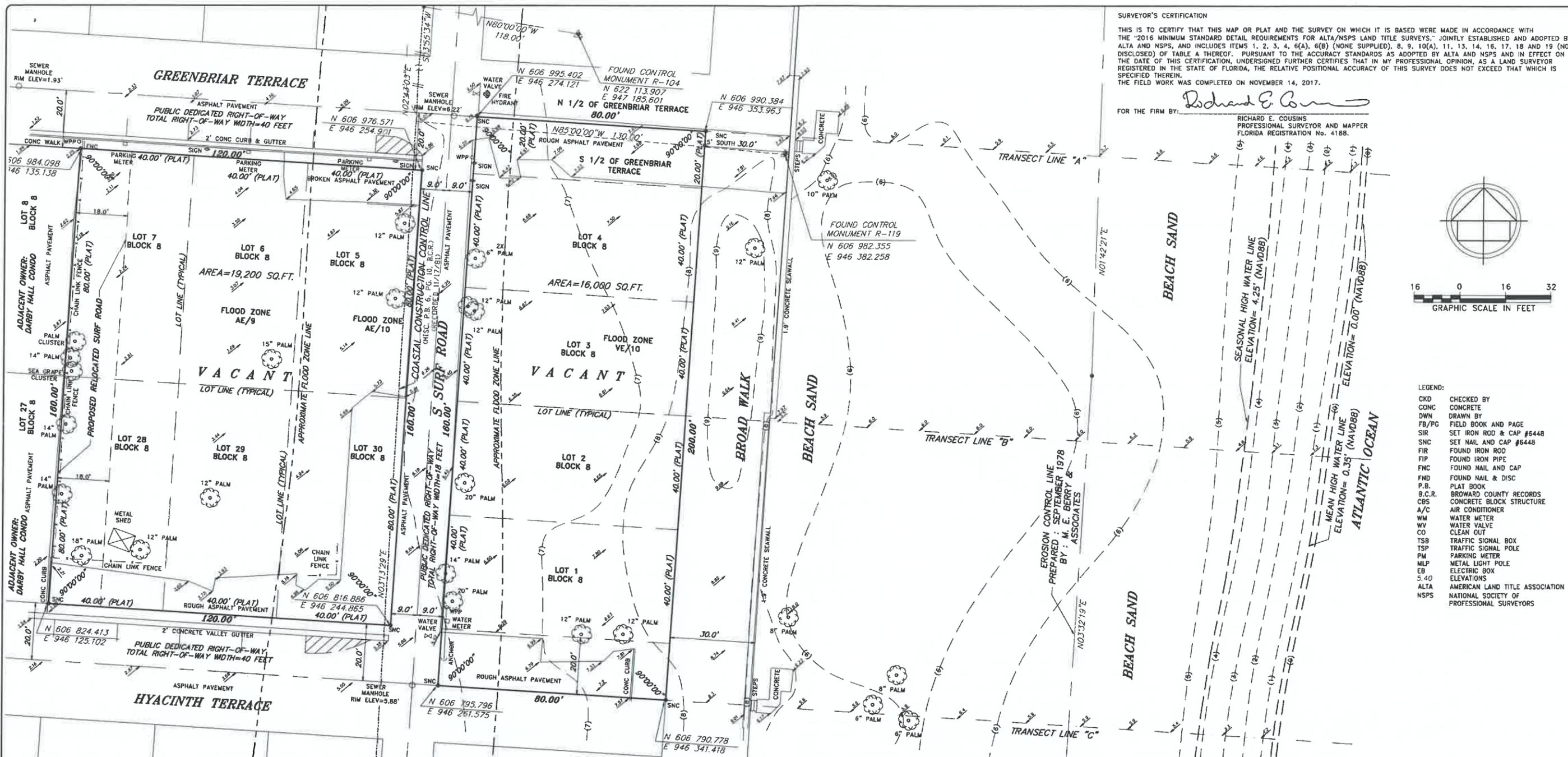
SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 8, 9, 10(A), 11, 13, 14, 16, 17, 18 AND 19 (NONE DISCLOSED) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON NOVEMBER 14, 2017.

FOR THE FIRM BY: *Richard E. Cousins*
 RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION No. 4188.



- LEGEND:**
- CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - SIR SET IRON ROD & CAP #6448
 - SNC SET NAIL AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - FND FOUND NAIL & DISC
 - P.B. PLAT BOOK
 - B.C.R. BROWARD COUNTY RECORDS
 - CBS CONCRETE BLOCK STRUCTURE
 - A/C AIR CONDITIONER
 - WM WATER METER
 - WV WATER VALVE
 - CO CLEAN OUT
 - TSB TRAFFIC SIGNAL BOX
 - TSP TRAFFIC SIGNAL POLE
 - PM PARKING METER
 - MLP METAL LIGHT POLE
 - EB ELECTRIC BOX
 - ELEVATIONS ELEVATIONS
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS



LAND DESCRIPTION:

LOTS 1 THROUGH 7, INCLUSIVE, AND LOTS 28, 29 AND 30, BLOCK 8, OF "ATLANTIC SHORES NORTH BEACH SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 36, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH: THE SOUTH 1/2 OF GREENBRIAR TERRACE (HARRISON COURT), AS SHOWN ON SAID PLAT LYING NORTH OF AND ADJACENT TO SAID LOT 4 AND BOUNDED ON THE EAST BY THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID GREENBRIAR TERRACE (HARRISON COURT) AND BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID GREENBRIAR TERRACE (HARRISON COURT).

ASLO TOGETHER WITH: THE NORTH 1/2 OF HYACINTH TERRACE (TYLER COURT), AS SHOWN ON SAID PLAT LYING SOUTH OF AND ADJACENT TO SAID LOT 1 AND BOUNDED ON THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID HYACINTH TERRACE (TYLER COURT) AND BOUNDED ON THE WEST BY THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID HYACINTH TERRACE (TYLER COURT).

LOCATION MAP (NTS)



NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR TITLE INSURANCE ISSUED BY INSURANCE COMPANY, EFFECTIVE DATE: _____ FILE NO.:
3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEFEAT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1985.
7. BENCHMARK REFERENCE: BROWARD COUNTY BENCHMARK # 3556 ELEVATION=7.65' (NAVD88)
8. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
9. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY INSURANCE COMPANY, ORDER NO. _____ WITH AN EFFECTIVE DATE OF 2017 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
10. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
11. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "AE/9", "AE/10" AND "VE/10" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 0558 H, WITH A DATE OF IDENTIFICATION OF 08/18/14, FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED. (SEE SKETCH OF SURVEY)
12. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
13. THE PROPERTY HAS DIRECT ACCESS TO S SURF ROAD, HYACINTH TERRACE AND GREENBRIAR TERRACE A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 9, PAGE 36, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
14. THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
15. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
16. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
17. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
18. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
19. ZONING: SCB-RM-25
20. THE COASTAL CONSTRUCTION CONTROL LINE WAS DETERMINED FROM MONUMENTS R-104 & R-119
21. BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE HORIZONTAL CONTROL NETWORK NORTH AMERICAN DATUM OF 1983, WITH A SUBSEQUENT READJUSTMENT DONE IN 2007.
22. THE STATE PLANE COORDINATES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 WITH A SUBSEQUENT RE-ADJUSTMENT DONE IN 2007 (NAD 83 (NATIONAL SPATIAL REFERENCE SYSTEM 2007)) UNIFORM TRANSVERSE MERCATOR PROJECTION AS ESTABLISHED FOR THE FLORIDA EAST ZONE COORDINATE SYSTEM. COORDINATES WERE DETERMINED USING THE TOPCON HI-PER SR AND THE TOPCON FC-5000 WITH THE TDS PACKAGE TOGETHER WITH THE "L-NET" ROVER SYSTEM PACKAGE PROVIDED BY LENGEMANN CORPORATION. THE "L-NET" NETWORK (A TOPNET GNSS NETWORK) UTILIZES A NETWORK OF REAL TIME KINEMATIC (RTK) REFERENCE STATIONS. ESTIMATED ACCURACIES: HORIZONTAL ACCURACIES TO 0.04'

	NORTHING	EASTING
R-104	622 113.907	947 185.601
R-119	606 982.355	946 382.258

(COORDINATES SHOWN HEREON ARE BASED ON THE NAD 1983 WITH A SUBSEQUENT READJUSTMENT DONE IN 2007.)

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION: LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7799

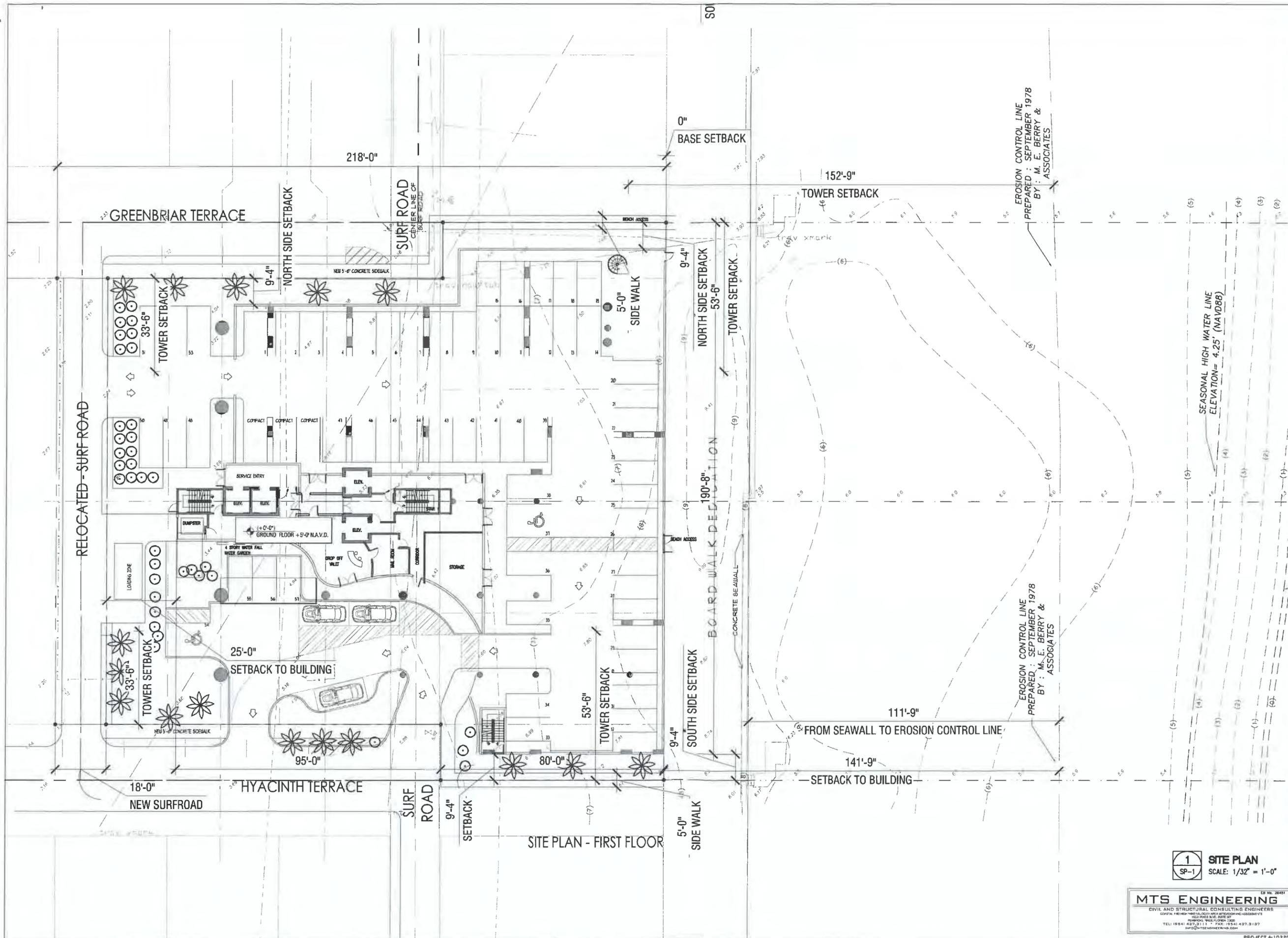
CLIENT: **LUIS STABINSKI**

1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

ALTA/NSPS LAND TITLE SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	11/14/17	SKETCH	AM	REC
ADDED COCL LINE	11/17/17	SKETCH	AM	REC
ADDED PROPOSED RELOCATED SURF ROAD	11/27/17	SKETCH	JD	REC
ADDED FDP REQUIREMENTS	2/01/17	SKETCH	REC	REC

PROJECT NUMBER: 8541-17
 SCALE: 1" = 16'
 SHEET 1 OF 1 SHEET



JOSEPH B. KALLER + ASSOCIATES PA
 AA# 2861212
 2417 Hollywood Blvd. Hollywood, Florida 33020
 (954) 520 5746 phone • (954) 626 2811 fax
 joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SITE PLAN

REVISIONS
 No. DATE DESCRIPTION

1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 03.12.19
 DRAWN BY: GMV
 CHECKED BY: JBK

SHEET

SP-1

1 SITE PLAN
 SP-1 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
 CIVIL AND STRUCTURAL CONSULTING ENGINEERS
 1531 W. PALM BEACH BLVD. SUITE 201
 PALM BEACH, FLORIDA 33480
 TEL: (561) 837-2111 • FAX: (561) 837-3137
 MTS@MTSENGINEERING.COM

PROJECT A-103208

PROPERTY ADDRESS
1900 S SURF ROAD
HOLLYWOOD, FL 33019

SITE INFORMATION/ BUILDING SUMMARY
SITE INFORMATION:

- 1)- **ZONING:** SOUTH CENTRAL BEACH RESIDENTIAL MULTI-FAMILY **RM-25-SCB**
LAND USE DESIGNATION: RESIDENTIAL MULTI-FAMILY
- 2)- **NET LOT AREA:** 35,200 S.F. (0.80 ACRES)
- 3)- **GROSS LOT AREA:** 41,807.3 S.F. (0.96 ACRES)
- 4)- **DENSITY:**

<u>ALLOWED</u>	<u>PROVIDED</u>
25 UNITS PER GROSS ACRE:	25 UNITS
0.96 X 25	
- 5)- **PARKING:**

<u>REQUIRED</u>	<u>PROVIDED</u>
1.5 PER UNIT	56
38	
- 6)- **SETBACKS:**

<u>REQUIRED</u>	<u>PROVIDED</u>
<u>BASE < 25'</u>	<u>BASE < 25'</u>
<u>TOWER > 25'</u>	<u>TOWER > 25'</u>
(a) SURF ROAD	
25'-0"	25'-0"
25'-0"	25'-0"
(b) INTERIOR	
NORTH	9'-4"
20'-0"	33'-6"
SOUTH	9'-4"
20'-0"	33'-6"
(c) OCEAN FRONT	
15'-0"	0'-0"
15'-0"	50'-0"

BUILDING SUMMARY:

- 1)- **BUILDING HEIGHT:** 12 STORIES 130'-0"
- 2)- **UNIT DISTRIBUTION PER FLOOR**
- | | | |
|---------------------------|---|----|
| 1 (ONE) UNIT / 1 FLOOR | = | 1 |
| 2 (TWO) UNITS / 8 FLOORS | = | 16 |
| 4 (FOUR) UNITS / 2 FLOORS | = | 8 |
| TOTAL UNITS | = | 25 |

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE RM-25-SCB ZONING DISTRICT.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

NOTE:
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 10.0' NAVD.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER F.F.P.C. 2014 NFPA 101 SECTION 303.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

GREEN CERTIFICATION:
NATIONAL GREEN BUILDING STANDARD CERTIFICATION

UNITY OF TITLE:
A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

NOTE:
ENCLOSED AREAS THAT ARE IN THE A ZONE SHALL BE LIMITED TO BUILDING ACCESS AREAS, GARAGES AND STORAGE, AND MUST BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND NOT BE FINISHED. ENCLOSED AREAS MUST NOT BE USED FOR HABITABLE OR RECREATIONAL PURPOSES.

NOTE:
ENCLOSED AREAS THAT ARE 300 SF OR MORE IN SIZE SHALL BE ENCLOSED BY COMPLIANT BREAKAWAY WALLS.

NOTE:
AS PER FEMA ELEVATION CERTIFICATE SECTION A9, PROVIDE 1 SQ. INCH PER 1 SQ. FT. OF GARAGE AREA IN FLOOD OPENINGS IN THE WALL AND/OR GARAGE DOOR.

NOTE:
FLOOD VENTS ARE TO BE INSTALLED 12" ABOVE GRADE

FLOOD HAZARD STRUCTURE CLASSIFICATION

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA: PER ASCE 24-09:	STRUCTURE CATEGORY	CATEGORY II	ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	MINIMUM ELEVATION OF UTILITIES AND EQUIPMENT (TABLE 1-1)
		II	BFE +2 OR DFE WHICHEVER IS HIGHER	BFE +1 OR DFE WHICHEVER IS HIGHER
	DRY FLOOD PROOFING OF NON-RESIDENTIAL STRUCTURES (TABLE 6-1)		NOT PERMITTED	

NOTE:
BASE FLOOD ELEVATION (BFE.) = +10.00' NAVD
DESIGN FLOOD ELEVATION (DFE) = +16.20' NAVD (AFTIM COASTAL ENGINEERS)

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CORPORATE OFFICE: 10001 W. UNIVERSITY BLVD., SUITE 1000, WEST PALM BEACH, FL 33411
TEL: 561.837.2111 FAX: 561.837.3197
WWW.MTSENGINEERING.COM



JOSEPH B. KALLER
+
ASSOCIATES PA
2417 Hollywood Blvd. Hollywood, Florida 33020
Tel: 954.526.2800 Fax: 954.526.2801
joseph.kaller@kaller.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SITE DATA

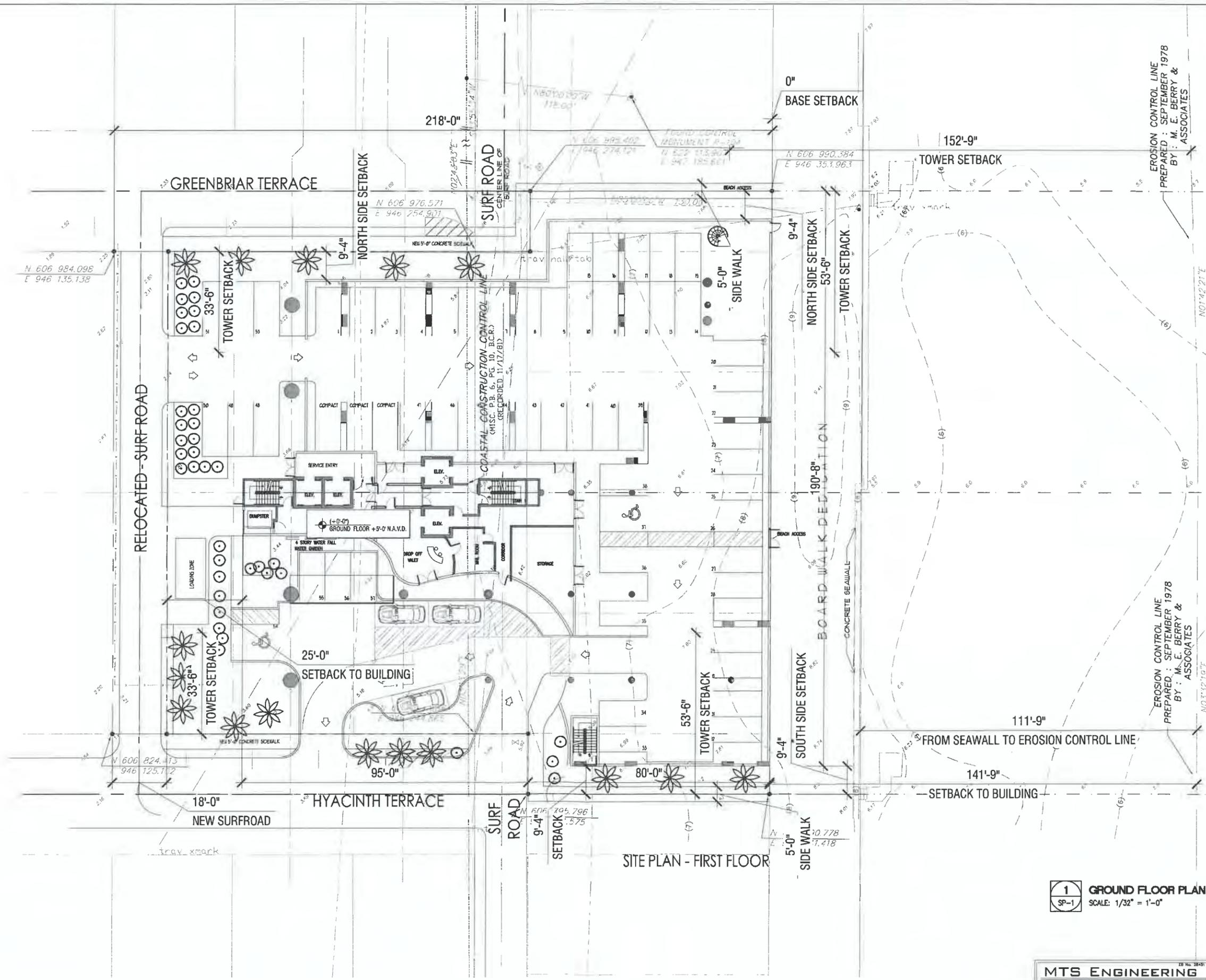
REVISIONS

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

SP-2



EROSION CONTROL LINE
 PREPARED : SEPTEMBER 1978
 BY : M. E. BERRY & ASSOCIATES

EROSION CONTROL LINE
 PREPARED : SEPTEMBER 1978
 BY : M. E. BERRY & ASSOCIATES



JOSEPH B. KALLER
 +
 ASSOCIATES PA
 AA: 2681212
 2417 Hollywood Blvd. Hollywood, Florida 33020
 (954) 920-5746 phone • (954) 920-2844 fax
 josephkallerarchitects.com

SEAL

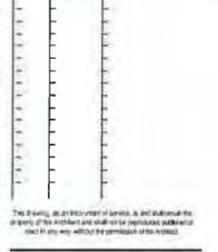
JOSEPH B. KALLER
 FLORIDA R.A. # 0007239

PROJECT TITLE
 NEW CONDOMINIUM DEVELOPMENT
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020

SHEET TITLE
 GROUND FLOOR

REVISIONS

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL



PROJECT NO.: 15202
 DATE: 08.12.19
 DRAWN BY: GMV
 CHECKED BY: J&K

SHEET

1
 SP-1
GROUND FLOOR PLAN
 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
 CIVIL AND STRUCTURAL CONSULTING ENGINEERS
 CAPITAL AND HOUSING DEVELOPMENT AND ASSISTANTS
 1000 W. WINDY HILL ROAD, SUITE 100
 PALM BEACH, FLORIDA 33411
 TEL: 1954 437-3111 FAX: 1954 437-3137
 INFO@MTSENGINEERING.COM

A-0

PROJECT A-102208



JOSEPH B. KALLER
+
ASSOCIATES PA
A/E 2600/212
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 920-5746 phone - (954) 926-2641 fax
joseph.kaller@kaller.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SECOND FLOOR PLAN
1 1

REVISIONS
No. DATE DESCRIPTION

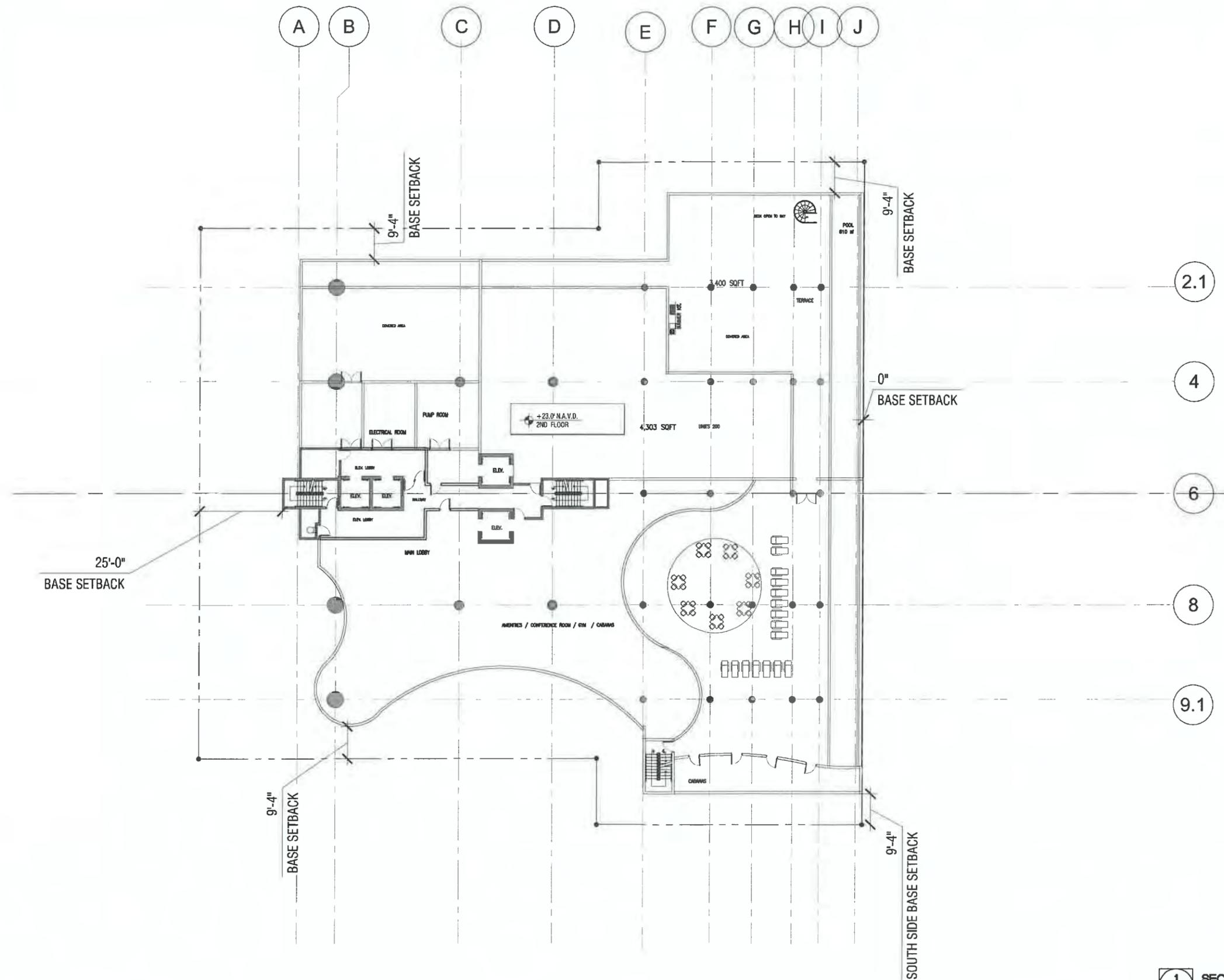
No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

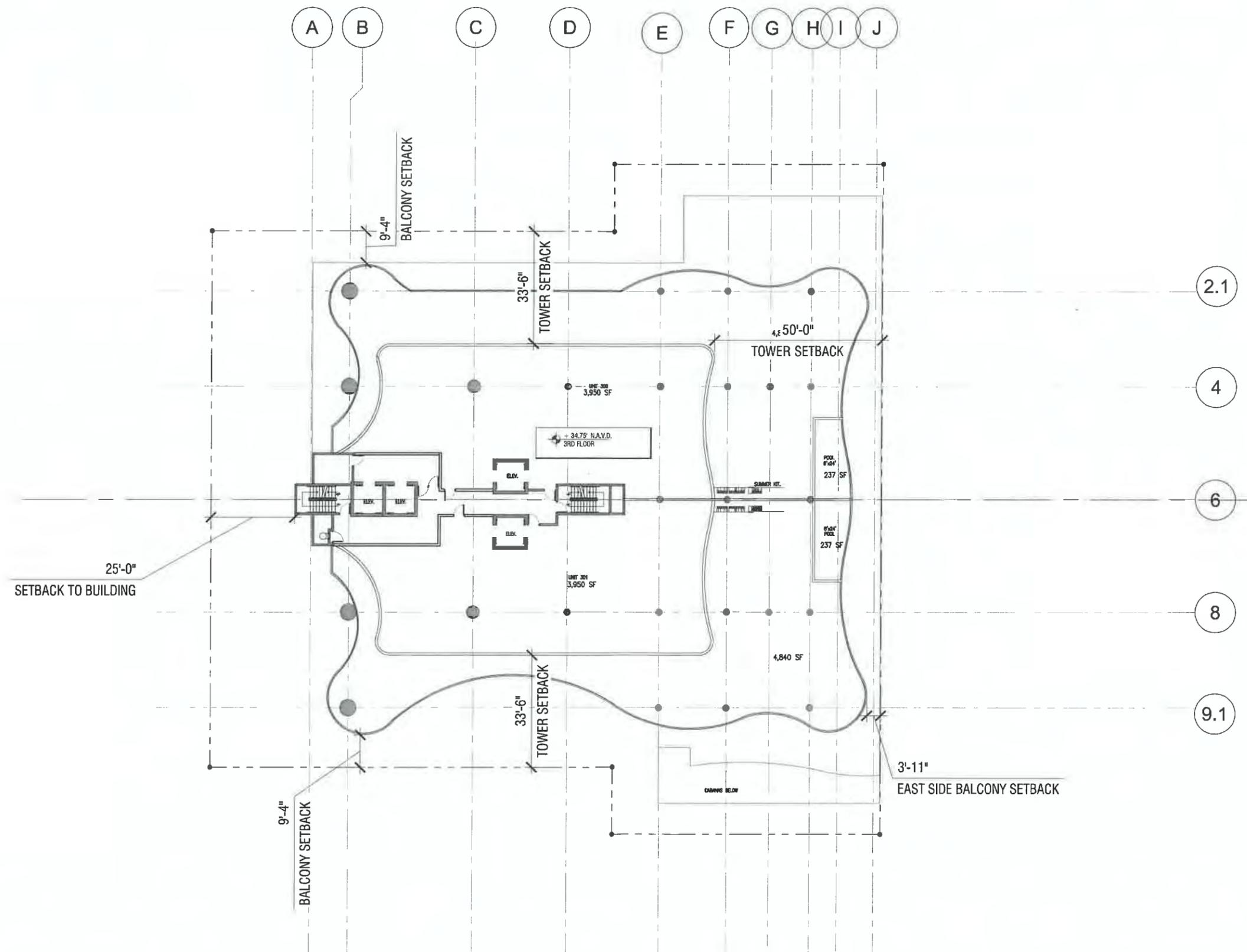
A-1



1 SECOND FLOOR PLAN
A-1 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CORPORATE HEADQUARTERS: 1001 W. UNIVERSITY AVENUE, SUITE 100
HOUSTON, TEXAS 77002
TEL: 281.437.3111 FAX: 281.437.3137
INFO@MTSENGINEERING.COM

PROJECT A-102208



**JOSEPH B. KALLER
+
ASSOCIATES PA**
A.A.F. 26003212
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 920-5746 phone • (954) 926-2511 fax
jbskpb@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
THIRD FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the architect and shall not be reproduced, published or used in any way without the permission of the architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

2.1

4

6

8

9.1

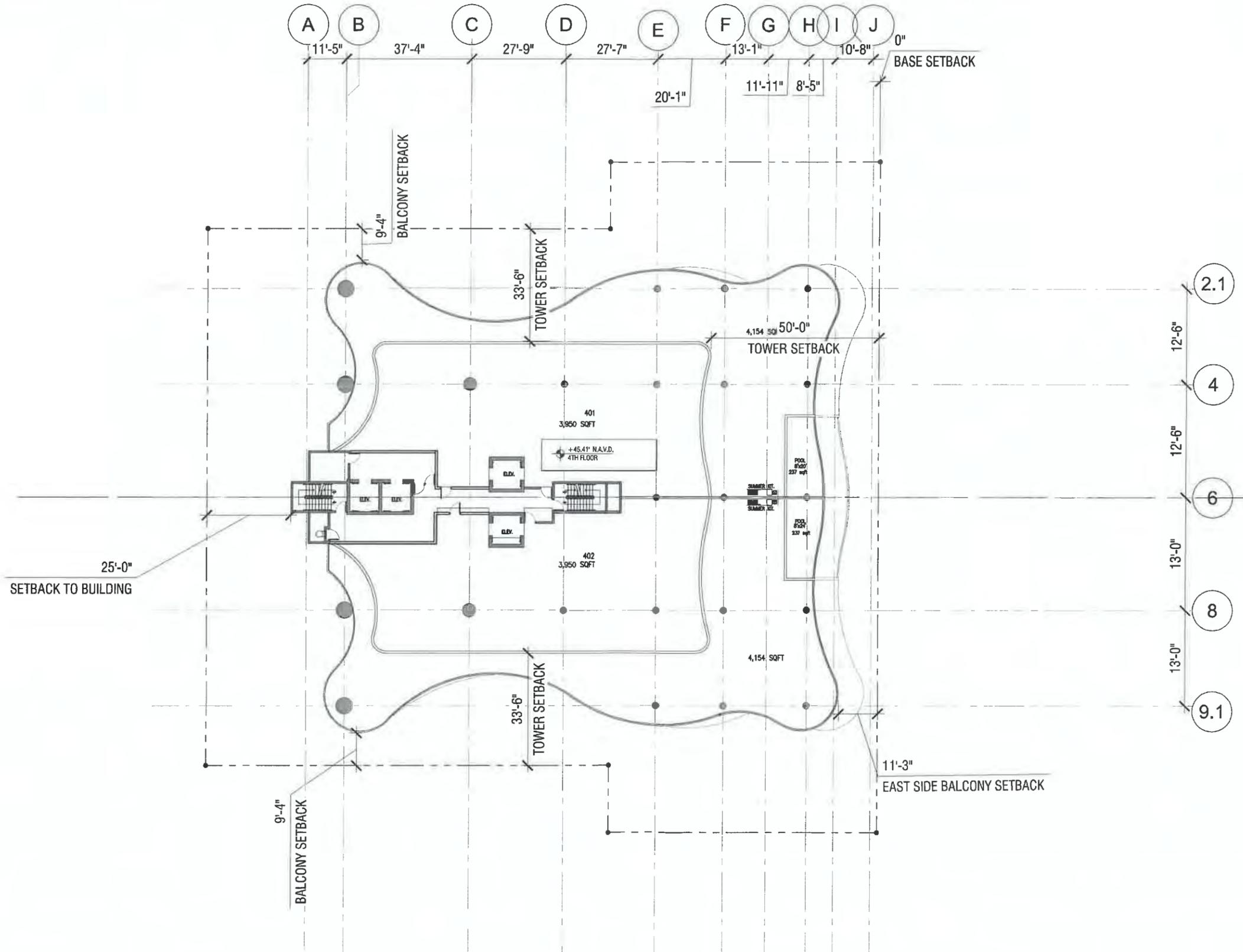
1
A-2

1 THIRD FLOOR PLAN
SCALE: 1/32" = 1'-0"

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CORPORATE HEADQUARTERS: 1001 N. W. 10TH AVENUE, SUITE 1000, MIAMI, FLORIDA 33136
TEL: (305) 437-2111 FAX: (305) 437-2137
INFO@MTSENGINEERING.COM

A-2

PROJECT A-10220B



JOSEPH B. KALLER + ASSOCIATES PA
 AA# 26001212
 2417 Hollywood Blvd., Hollywood, Florida 33020
 (954) 920-5700 phone - (954) 920-2151 fax
 joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020

SHEET TITLE
FOURTH FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

PROJECT No.: 15202
 DATE: 03.12.19
 DRAWN BY: GMV
 CHECKED BY: JBC

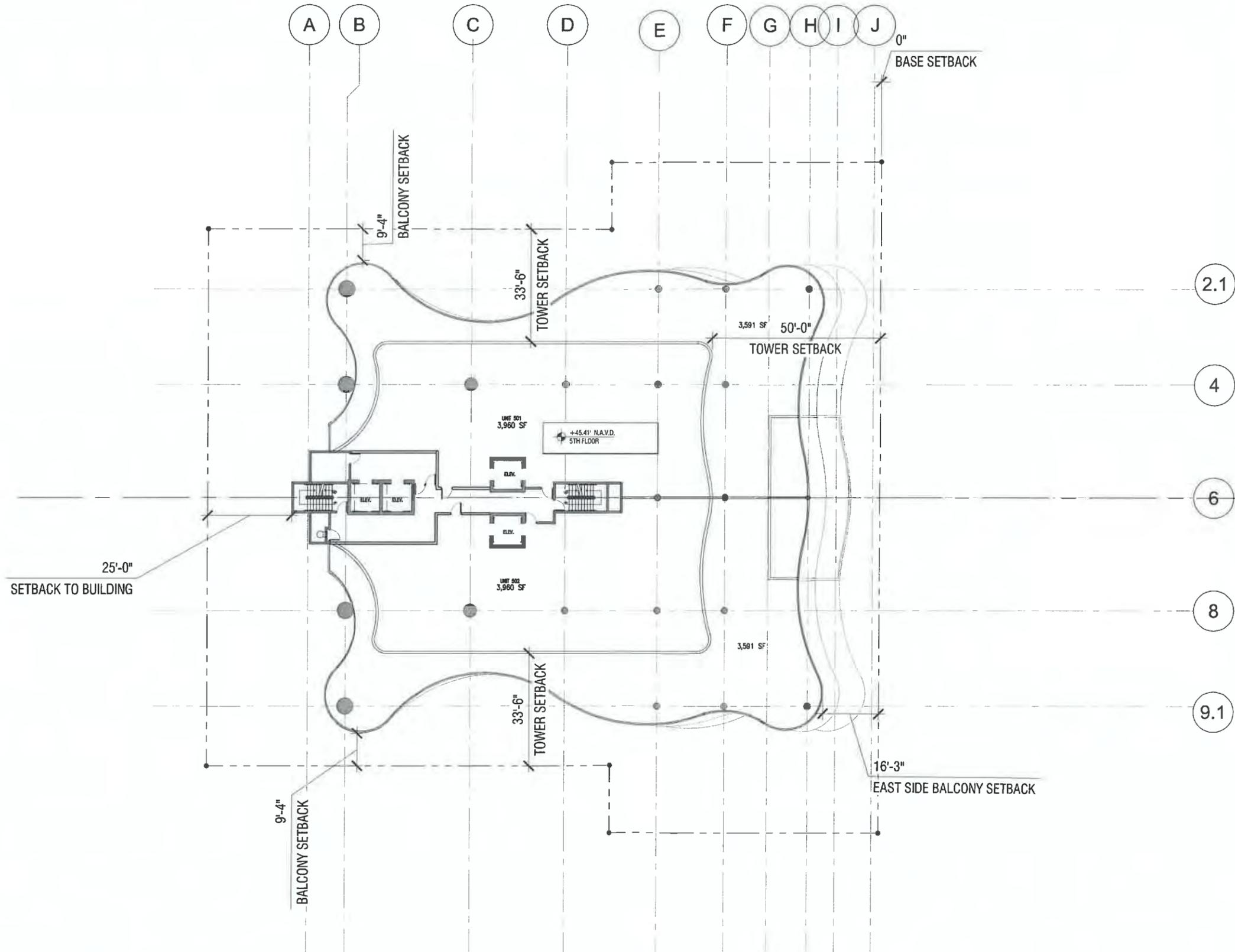
SHEET

1 FOURTH FLOOR PLAN
 A-3 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
 CIVIL AND STRUCTURAL CONSULTING ENGINEERS
 CAPITAL FEDERAL BANK BUILDING, 1000 N. W. 10TH AVENUE, SUITE 1000
 MIAMI, FLORIDA 33136
 TEL: (305) 437-2111 FAX: (305) 437-2137
 MTD@MTSENGR.COM

A-3

PROJECT A-102208



**JOSEPH B. KALLER
+
ASSOCIATES PA**
AA# 2600212
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 920-5766, fax: (954) 420-2811, fax
joseph.kaller@kaller.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
FIFTH FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the licensor and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

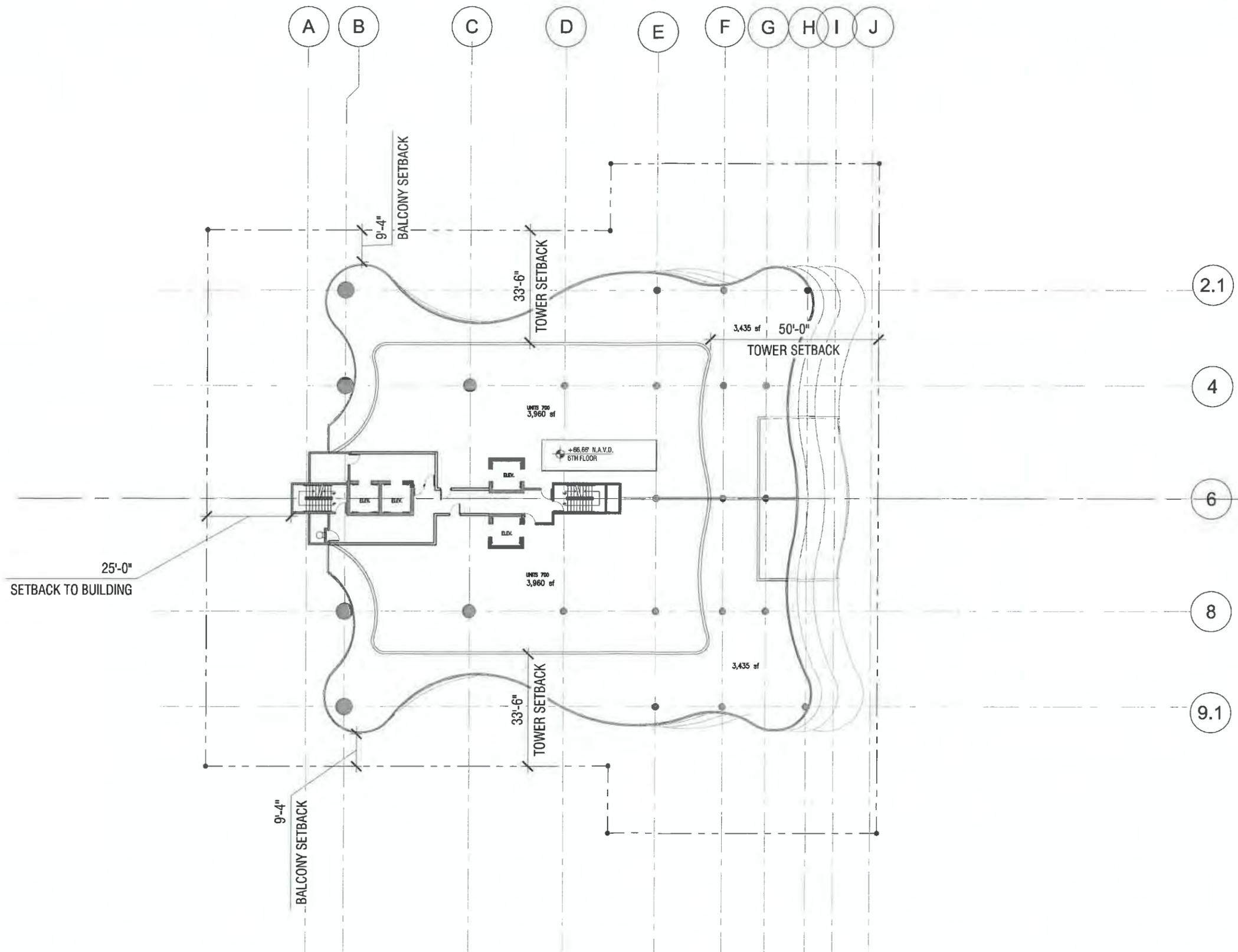
SHEET

1 FIFTH FLOOR PLAN
A-3 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CORPORATE HEADQUARTERS: 10001 W. BOCA RATON BLVD., SUITE 200, BOCA RATON, FLORIDA 33433
TEL: 561-437-3111 • FAX: 561-437-3137
INFO@MTSENGINEERING.COM

A-4

PROJECT A-10220B



JOSEPH B. KALLER
+
ASSOCIATES PA
ARCHITECTS
3407 Hollywood Blvd., Hollywood, Florida 33020
(954) 397-3111 • FAX: (954) 437-3137
jpk@jpkallers.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SIXTH FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

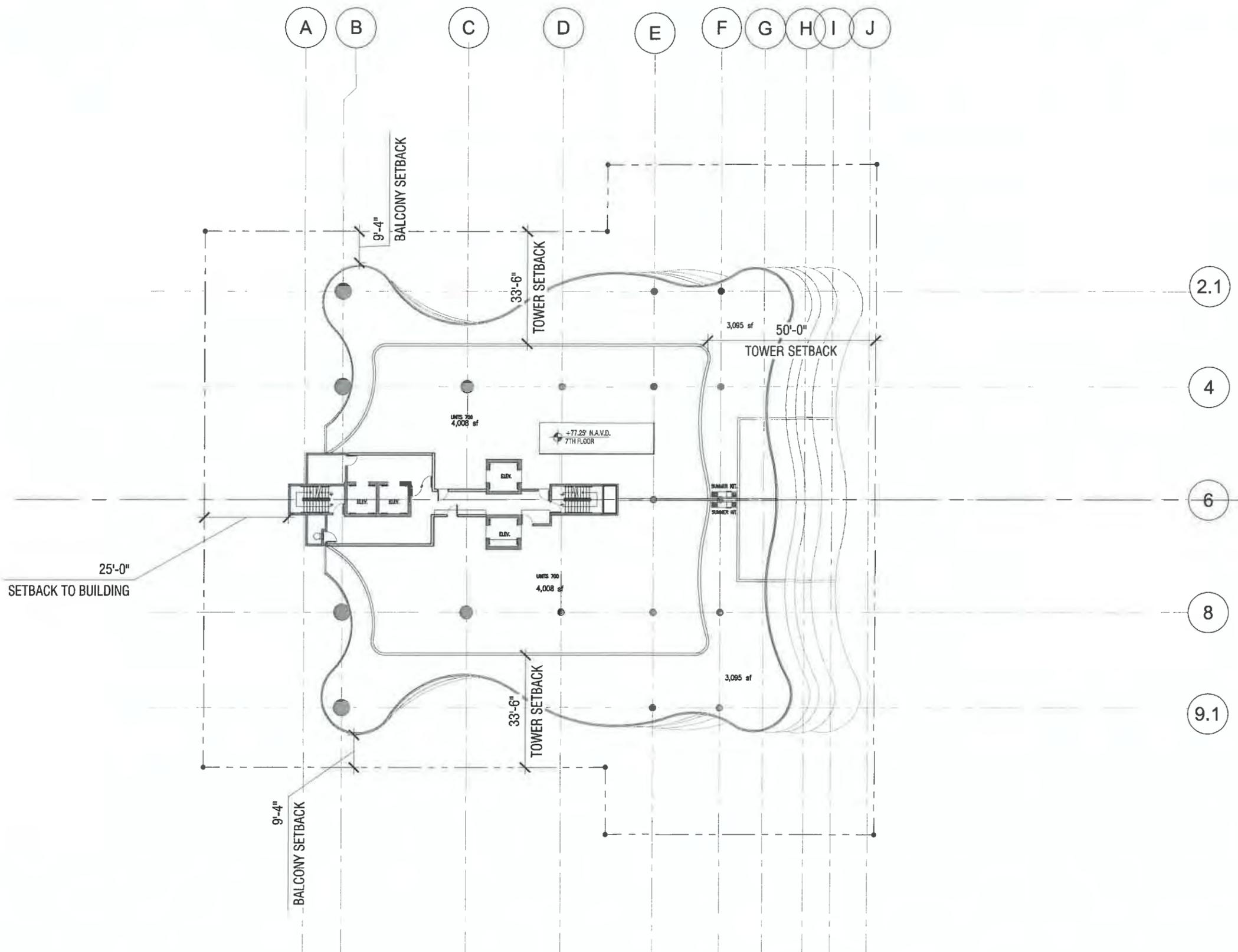
SHEET

1 SIXTH FLOOR PLAN
A-5 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
REG. NO. 28430
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CORPORATE AND HOUSING/COMMUNITY DEVELOPMENT AND ASSISTANTS
1800 W. PALM BEACH BLVD. SUITE 200
PALM BEACH, FLORIDA 33480
TEL: (561) 837-3111 • FAX: (561) 437-3137
INFO@MTSENGINEERING.COM

A-5

PROJECT A-10225M



**JOSEPH B. KALLER
+
ASSOCIATES PA**
Architects
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 975-2111 • Fax: (954) 437-3197
jpk@kallerarchitect.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SEVEN FLOOR PLAN
1 | 1

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

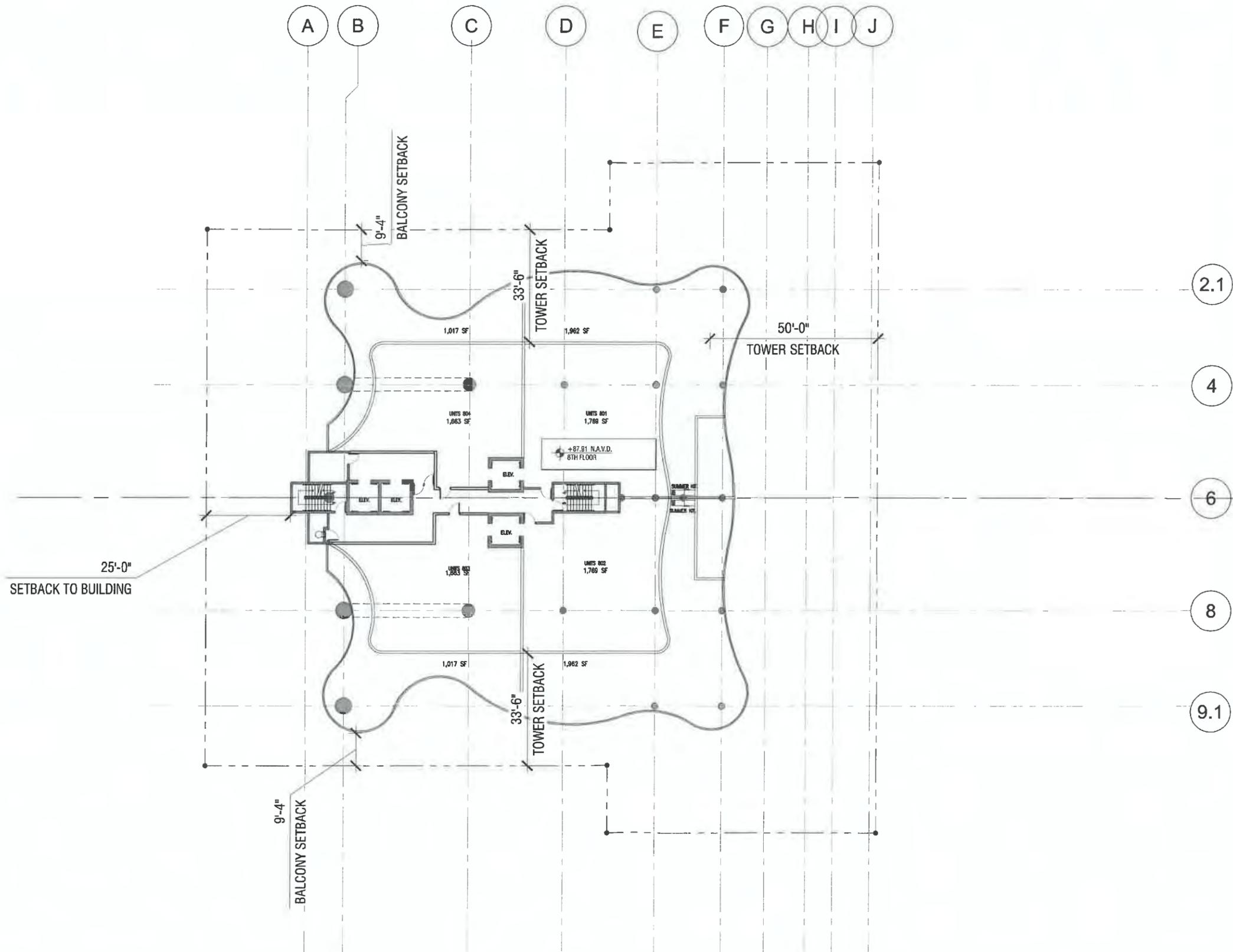
SHEET

A-6

1 SEVEN FLOOR PLAN
A-6 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
Civil and Structural Consulting Engineers
CORPORATE OFFICE: 10000 W. BOCA RATON BLVD., SUITE 200, BOCA RATON, FL 33433
TEL: (561) 437-3111 • FAX: (561) 437-3197
INFO@MTSENGINEERING.COM

PROJECT A-102208



JOSEPH B. KALLER
+
ASSOCIATES PA
AA# 26101212
2417 Hollywood Blvd., Hollywood, Florida 33020
(850) 920-5745 phone • (850) 920-2811 fax
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
EIGHT FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

The drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBC

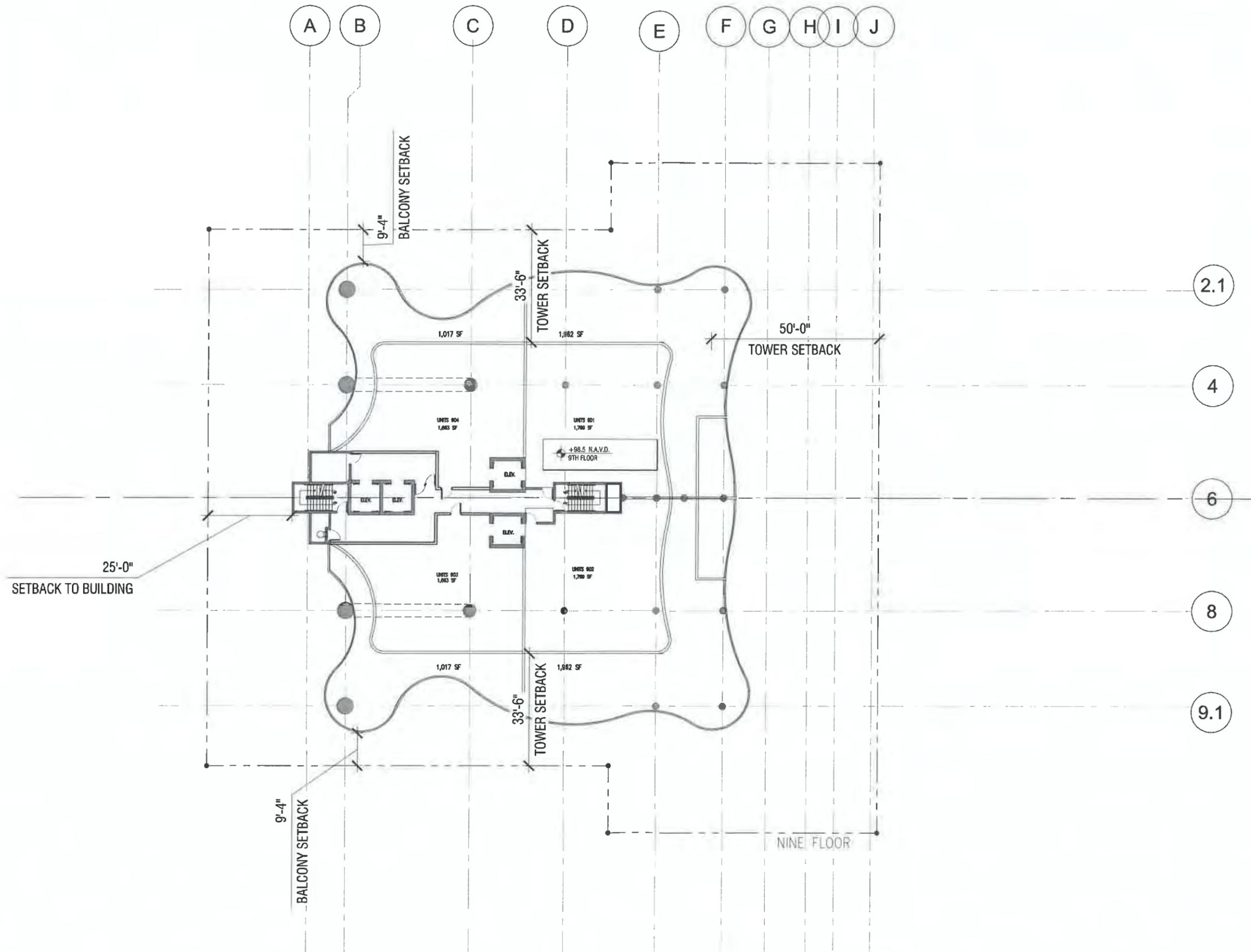
SHEET

1 EIGHT FLOOR PLAN
A-7 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CAPITAL AND HIGH RISE DESIGN / AREA MEASUREMENTS
1000 PINE HAVEN DRIVE
PENSACOLA, FLORIDA 32504
TEL: 10841-437-2111 FAX: 10841-437-2137
MPE@MTSENGINEERING.COM

A-7

PROJECT A-102220B



25'-0"
SETBACK TO BUILDING

2.1

4

6

8

9.1

1
A-8
NINE FLOOR PLAN
SCALE: 1/32" = 1'-0"

MTS ENGINEERING
 CIVIL AND STRUCTURAL CONSULTING ENGINEERS
 CONSULTING ENGINEERS REGISTERED UNDER THE PROFESSIONAL ENGINEERING ACT OF 1947
 1001 MESSENGER SUITE 307
 1001 MESSENGER SUITE 307
 1001 MESSENGER SUITE 307
 TEL: 1954-437-8111 FAX: 1954-437-8137
 info@mtscivil.com



JOSEPH B. KALLER
 +
ASSOCIATES PA
 Lic. 26510212
 2417 Hollywood Blvd., Hollywood, Florida 33021
 954-520-5740 phone - 954-926-2442 fax
 joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
 NEW CONDOMINIUM DEVELOPMENT
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020

SHEET TITLE
 NINE FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the architect and shall not be reproduced, published or used in any way without the permission of the architect.

PROJECT No.: 15202
 DATE: 03.12.19
 DRAWN BY: GMV
 CHECKED BY: JBK

SHEET

A-8

PROJECT A-102208



JOSEPH B. KALLER + ASSOCIATES PA
 AA # 265812-2
 2417 Hollywood Blvd., Hollywood, Florida 33020
 (954) 920-5760 phone • (954) 526-2611 fax
 joseph.kaller@kallerarts.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
 NEW CONDOMINIUM DEVELOPMENT
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020

SHEET TITLE
 TEN FLOOR PLAN

REVISIONS

No. DATE DESCRIPTION

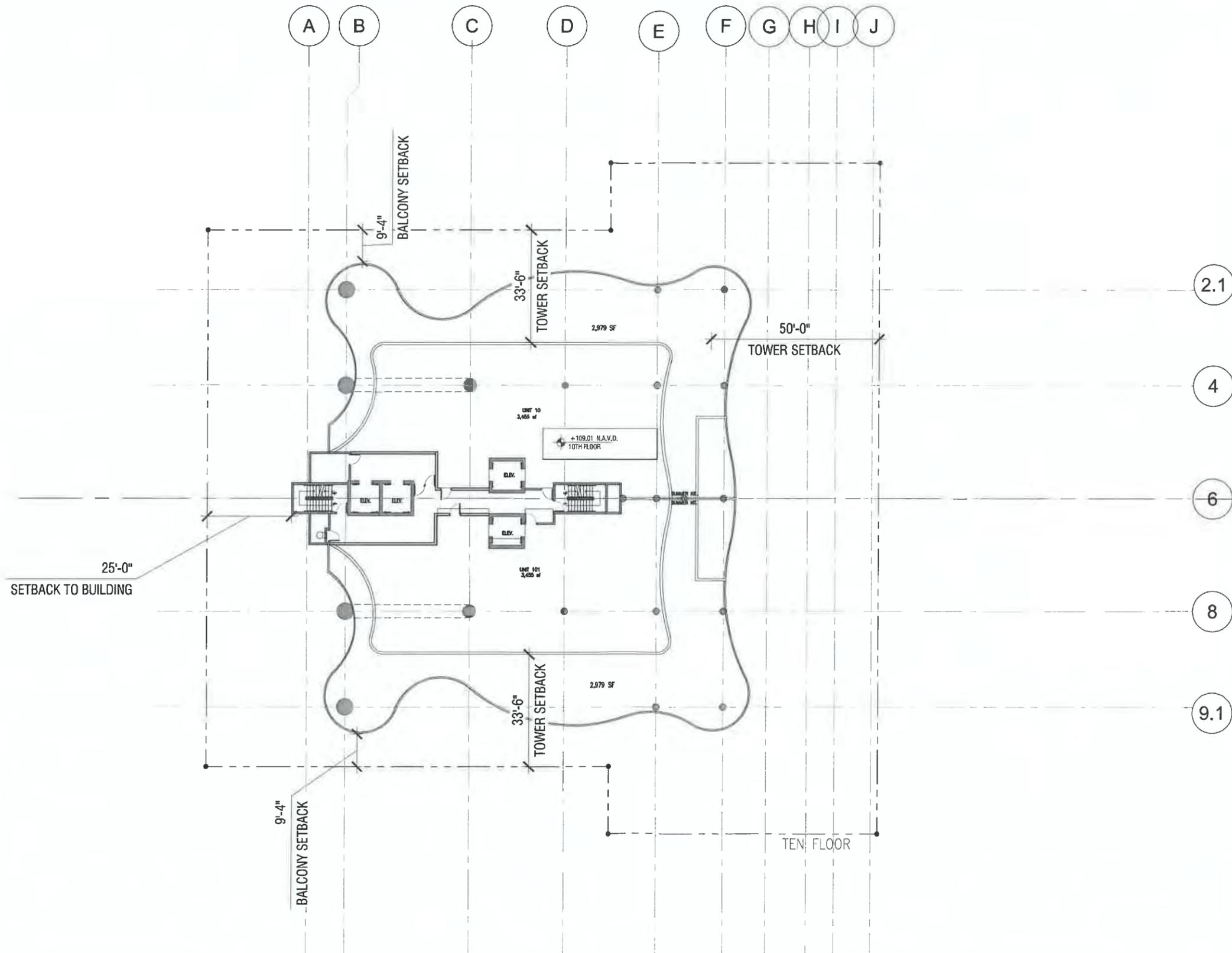
11.04.16 OWNER CHANGE
 01.02.19 OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 03.12.19
 DRAWN BY: GMV
 CHECKED BY: JBK

SHEET

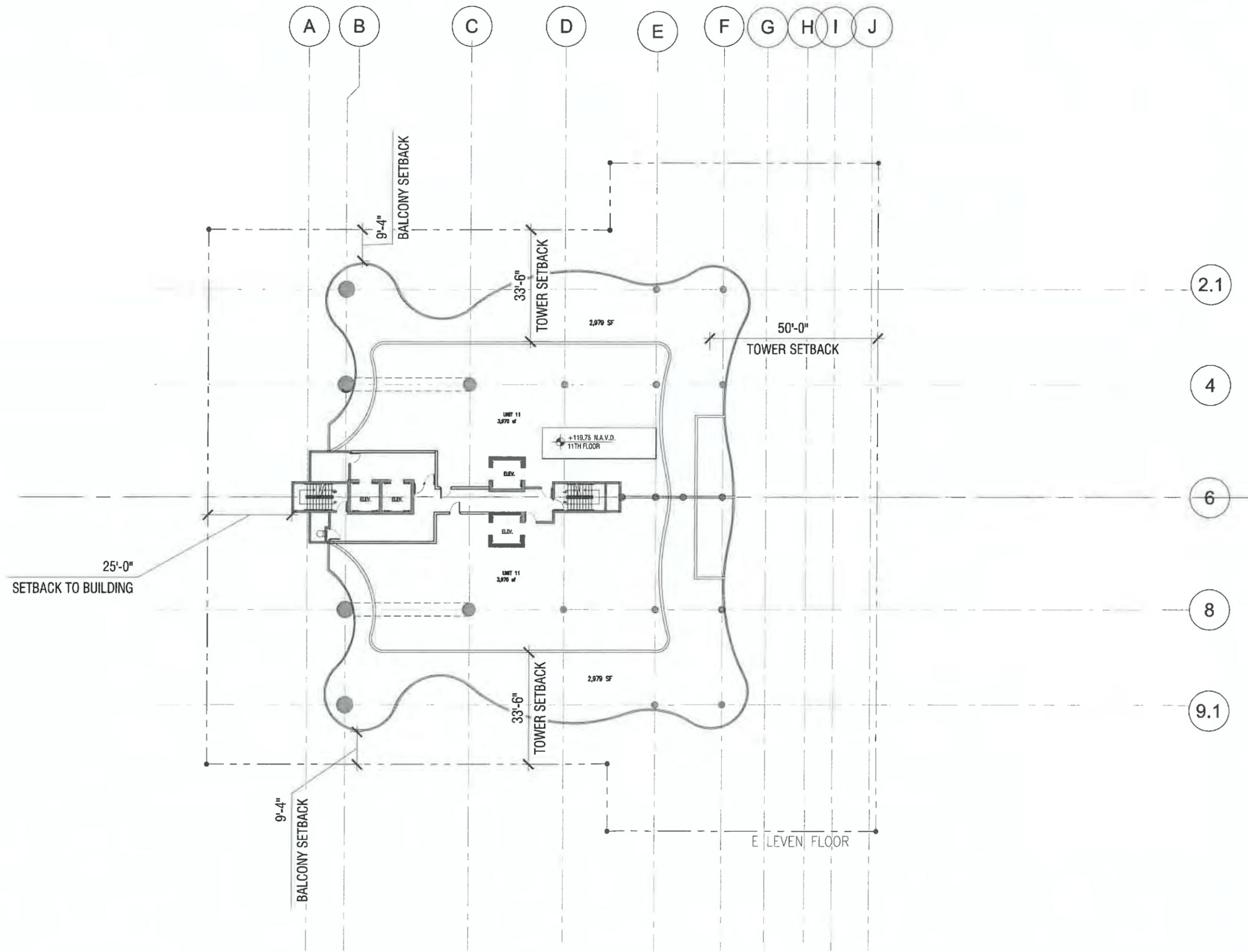
A-9



1 TEN FLOOR PLAN
 A-9 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
 CIVIL AND STRUCTURAL CONSULTING ENGINEERS
 1900 S SURF ROAD, SUITE 1000
 HOLLYWOOD, FLORIDA 33020
 TEL: 954.437.3111 FAX: 954.437.3137
 INFO@MTSENGR.COM

PROJECT A-102208



JOSEPH B. KALLER
+
ASSOCIATES PA

A/E: 2640212
2417 Hollywood Blvd. Hollywood, Florida 33020
(954) 521-5755 phone (954) 927-2411 fax
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
ELEVEN FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

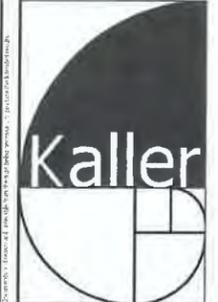
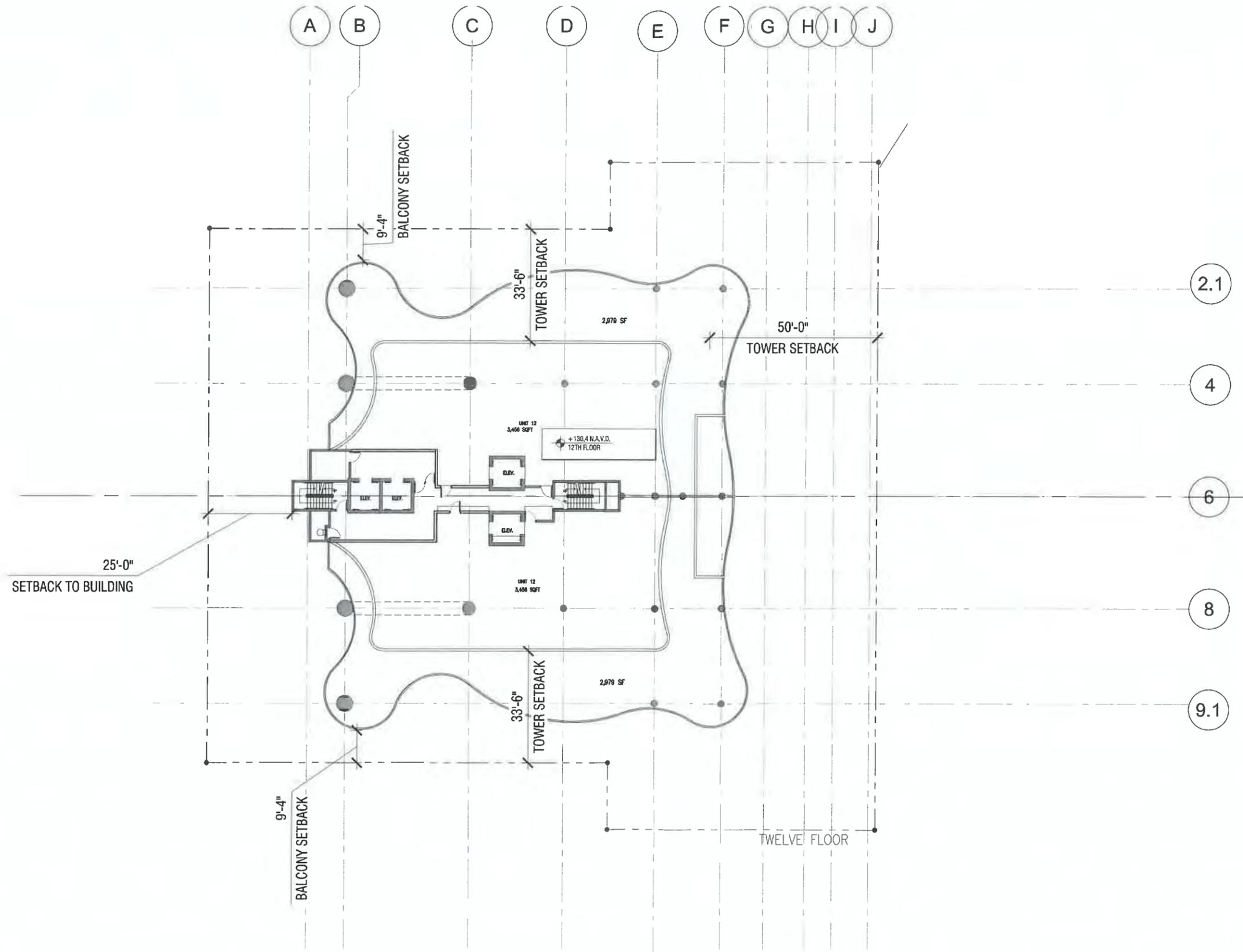
SHEET

1 ELEVEN FLOOR PLAN
A-13 SCALE: 1/32" = 1'-0"

08 No. 2840
MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
COASTAL AND HIGH WIND VELOCITY AREA DESIGN AND ANALYSIS
500 PINEWOOD DRIVE
PALM BEACH, FLORIDA 33408
TEL: 1954-432-2111 FAX: 1954-437-3137
INFO@MTSENGINEERING.COM

A-10

PROJECT A-102208



**JOSEPH B. KALLER
+
ASSOCIATES PA**
444 26401212
2117 Hollywood Blvd., Hollywood, Florida 33021
954-920-5700 phone • 954-920-2811 fax
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
TWELVE FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	10.02.19	OWNER APPROVA

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

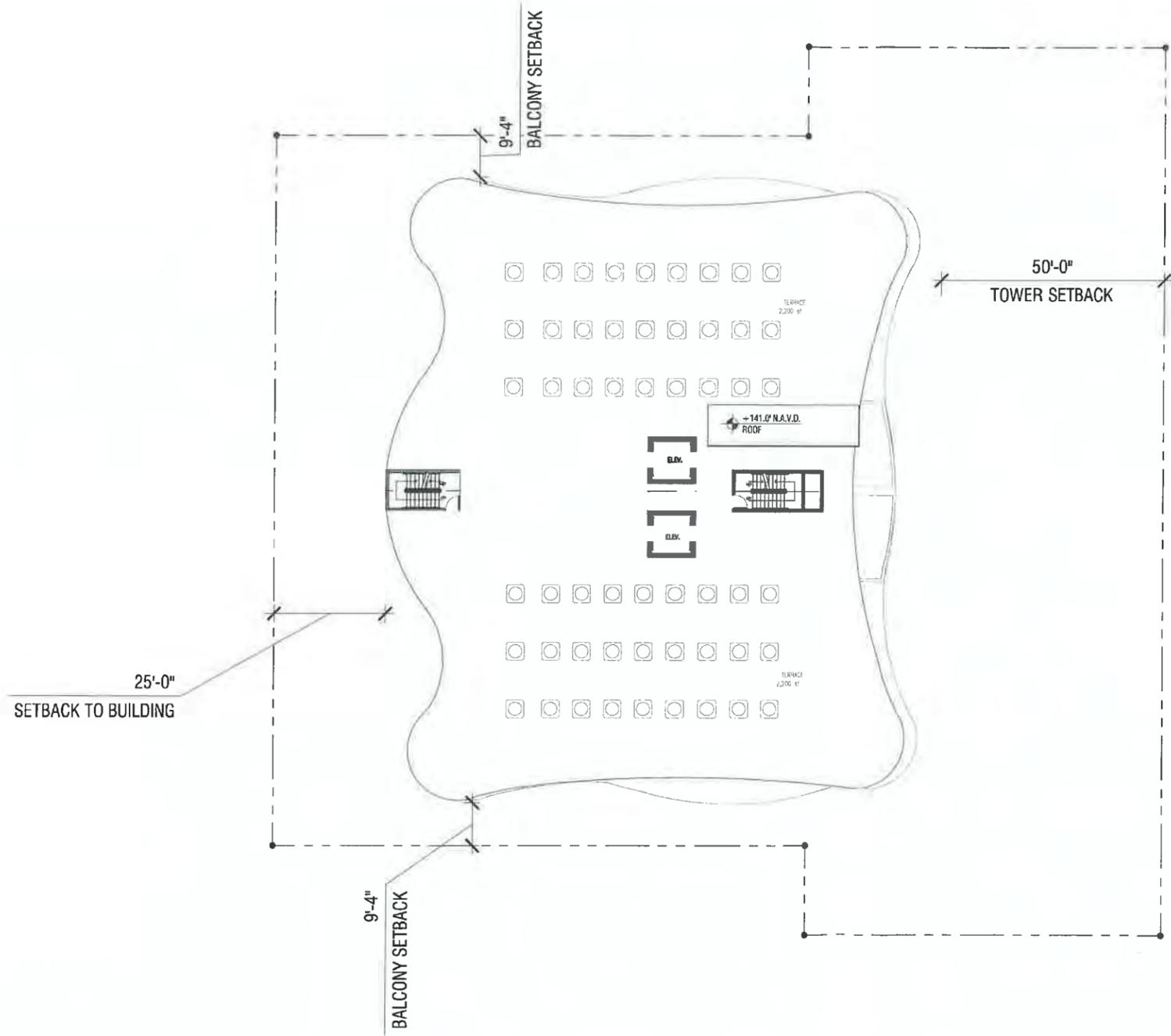
PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

1 TWELVE FLOOR PLAN
A-13 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
2015 W. ANDERSON AVE. SUITE 2000 WILMINGTON, NC 28403
TEL: 757-371-1111 FAX: 757-371-1137
WWW.MTSENGINEERING.COM

A-11



1 ROOF PLAN
A-13 SCALE: 1/32" = 1'-0"

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
2417 HOLLYWOOD BLVD., HOLLYWOOD, FLORIDA 33020
TEL: 954-437-3111 FAX: 954-437-3137
INFO@MTSENGINEERING.COM



JOSEPH B. KALLER
ASSOCIATES PA
2417 HOLLYWOOD BLVD., HOLLYWOOD, FLORIDA 33020
TEL: 954-437-3111 FAX: 954-437-3137
INFO@KALLERASSOCIATES.COM

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
ROOF PLAN

REVISIONS
No. DATE DESCRIPTION

11.04.16 OWNER CHANGE
01.02.19 OWNER APPROVAL

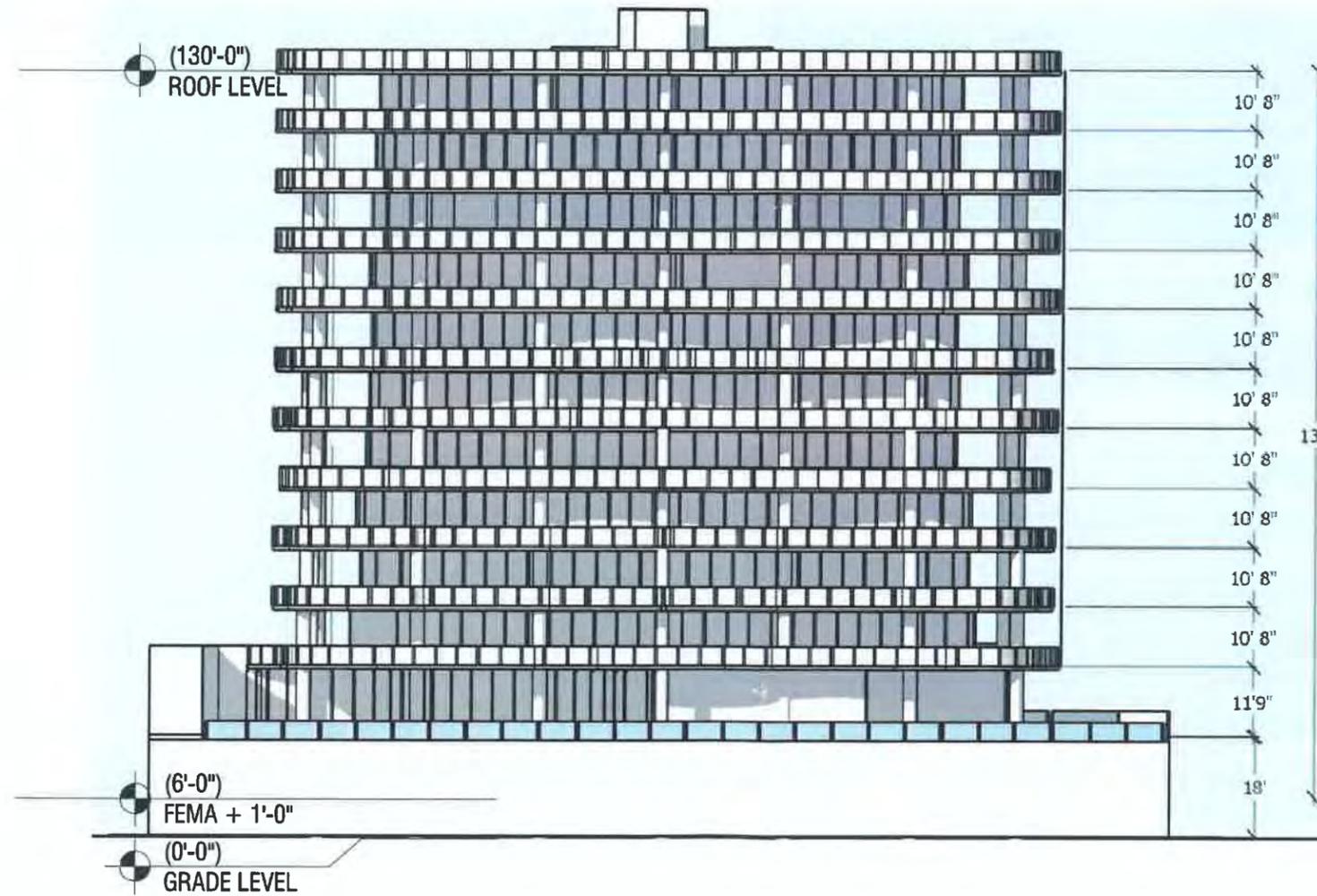
This drawing, as an instrument of service, is the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-12

PROJECT A-102208



JOSEPH B. KALLER
+
ASSOCIATES PA

AAA 2005/2012
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 930-5746 phone • (954) 926-2041 fax
jpk@kallerassociates.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE

EAST ELEVATION

REVISIONS

No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT NO.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: J&K

SHEET

A-13

1 EAST ELEVATION
A-13 SCALE: n.l.s.

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CORPORA FISION 1980 VILLAGE CENTER AVENUE SUITE 100
HOLLYWOOD, FLORIDA 33020
TEL: (954) 457-2111 FAX: (954) 457-0137
INFO@MTSENGINEERING.COM

PROJECT A-102208



1 WEST ELEVATION
A-14 SCALE: n.t.s.

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CORP. AND PROFESSIONAL ENGINEERS AND ARCHITECTS
10000 W. BOULEVARD, SUITE 200
FORT MYERS, FLORIDA 33907
TEL: (888) 457-2111 FAX: (888) 457-2137
INFO@MTSENGINEERING.COM

JOSEPH B. KALLER + ASSOCIATES PA
A/E/C 06001272
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 930-5746 phone • (954) 936-2841 fax
jkaller@kallerassociates.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
WEST ELEVATION

REVISIONS
No. DATE DESCRIPTION

1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

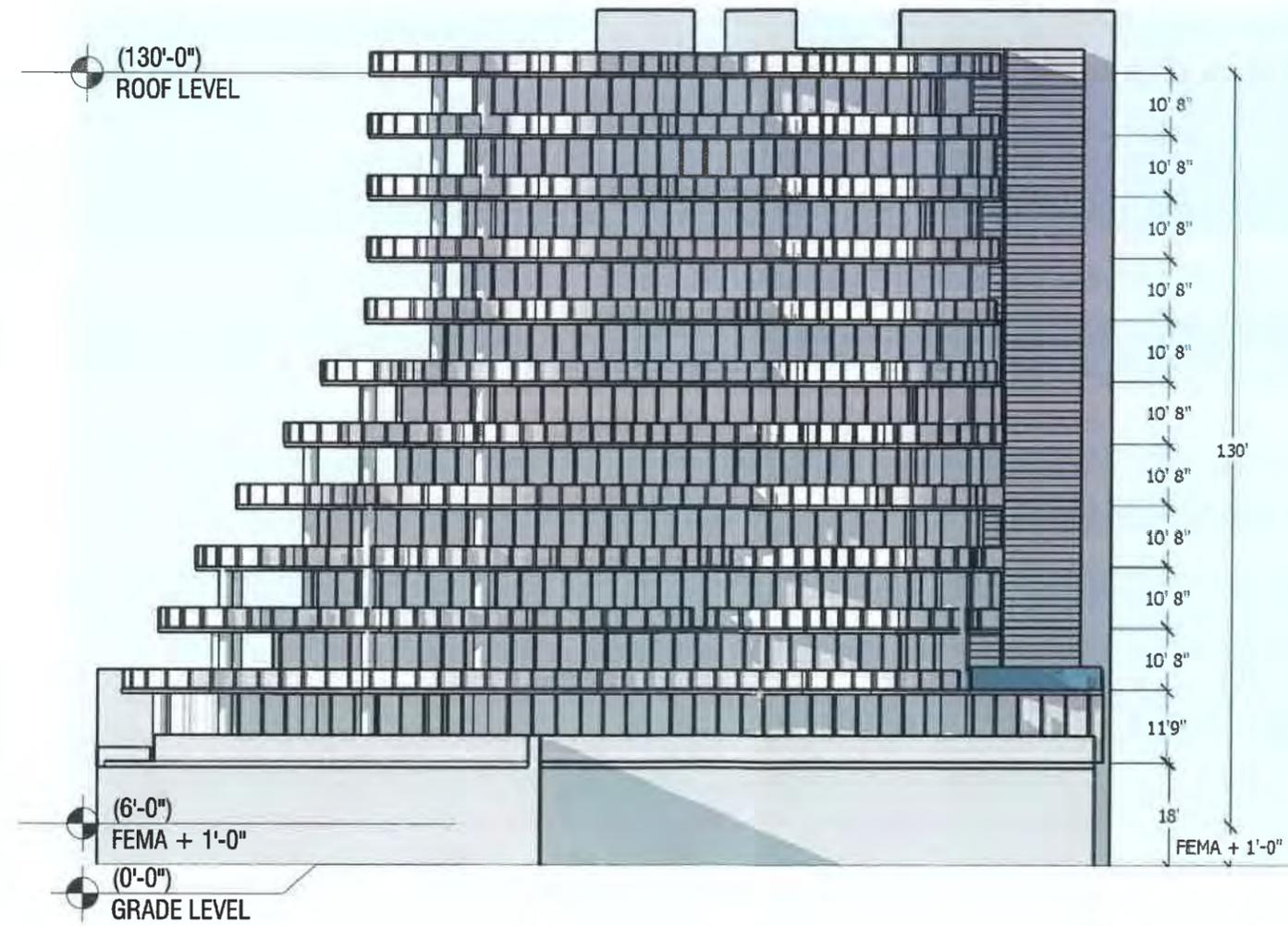
This drawing, as an instrument of service, is and shall remain the property of the architect and shall not be reproduced, published or used in any way without the permission of the architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-14

PROJECT A-102208



1 NORTH ELEVATION
A-15 SCALE: n.t.s.

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
100 W. WASHINGTON AVENUE, SUITE 200
PENSACOLA, FLORIDA 32506
TEL: (904) 437-2111 FAX: (904) 437-3137
INFO@MTSENGINEERING.COM

Kaller
JOSEPH B. KALLER
+ ASSOCIATES PA
AAA 26001212
2417 Hollywood Blvd. Hollywood, Florida 33020
(954) 926 5746 phone (954) 926 2841 fax
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009237

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
NORTH ELEVATION

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

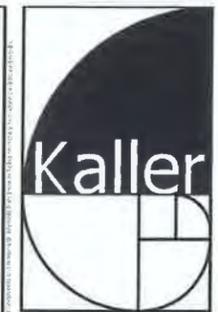
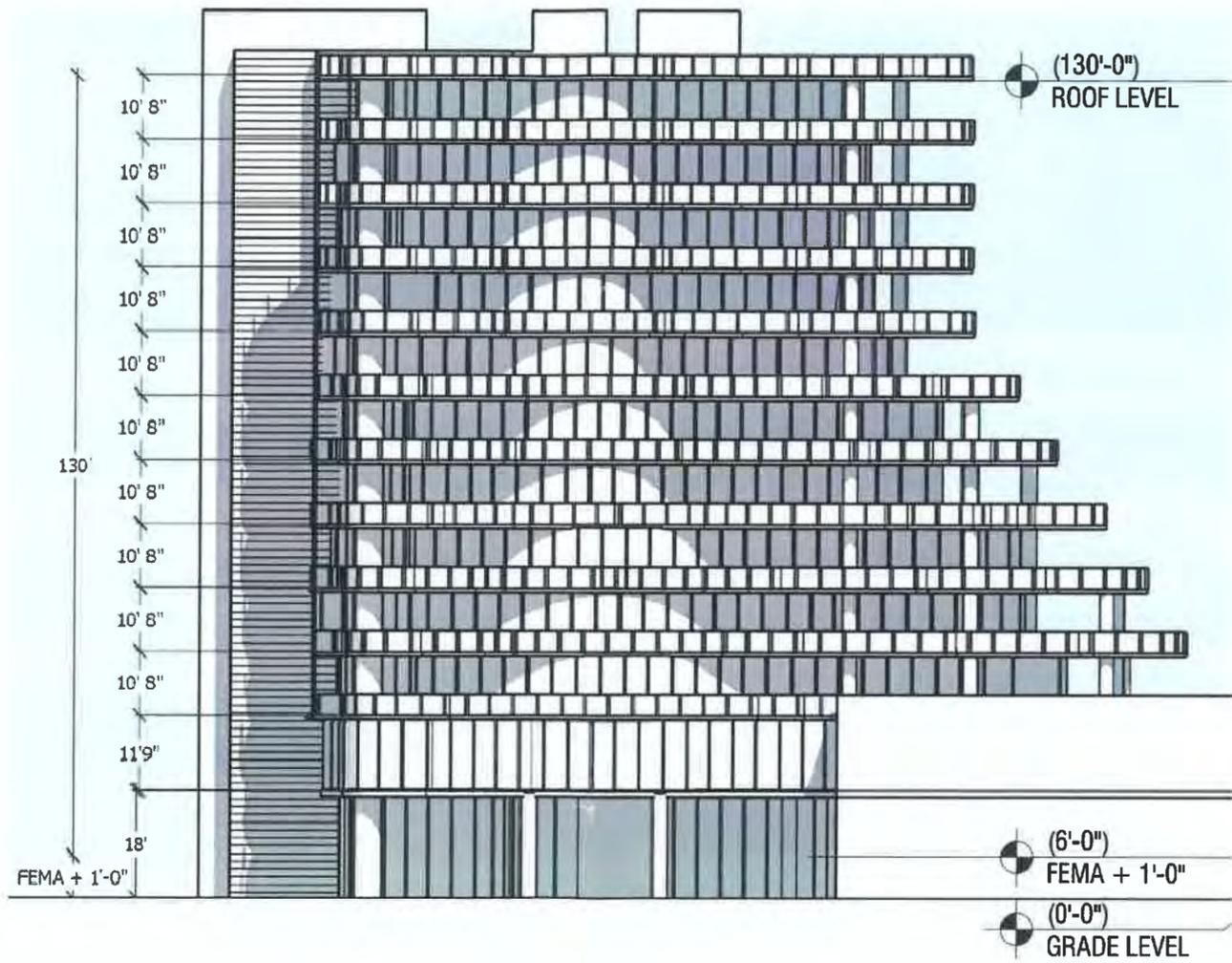
PROJECT No.: 15202
DATE: 03/12/19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-15

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT A-102208



**JOSEPH B. KALLER
+
ASSOCIATES PA**
A.A.P. 26001212
2417 Hollywood Blvd., Hollywood, Florida 33020
(954) 920 5746 phone - (954) 926 2841 fax
joseph@kallerarchitect.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SOUTH ELEVATION

REVISIONS		
No.	DATE	DESCRIPTION
1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: J&K

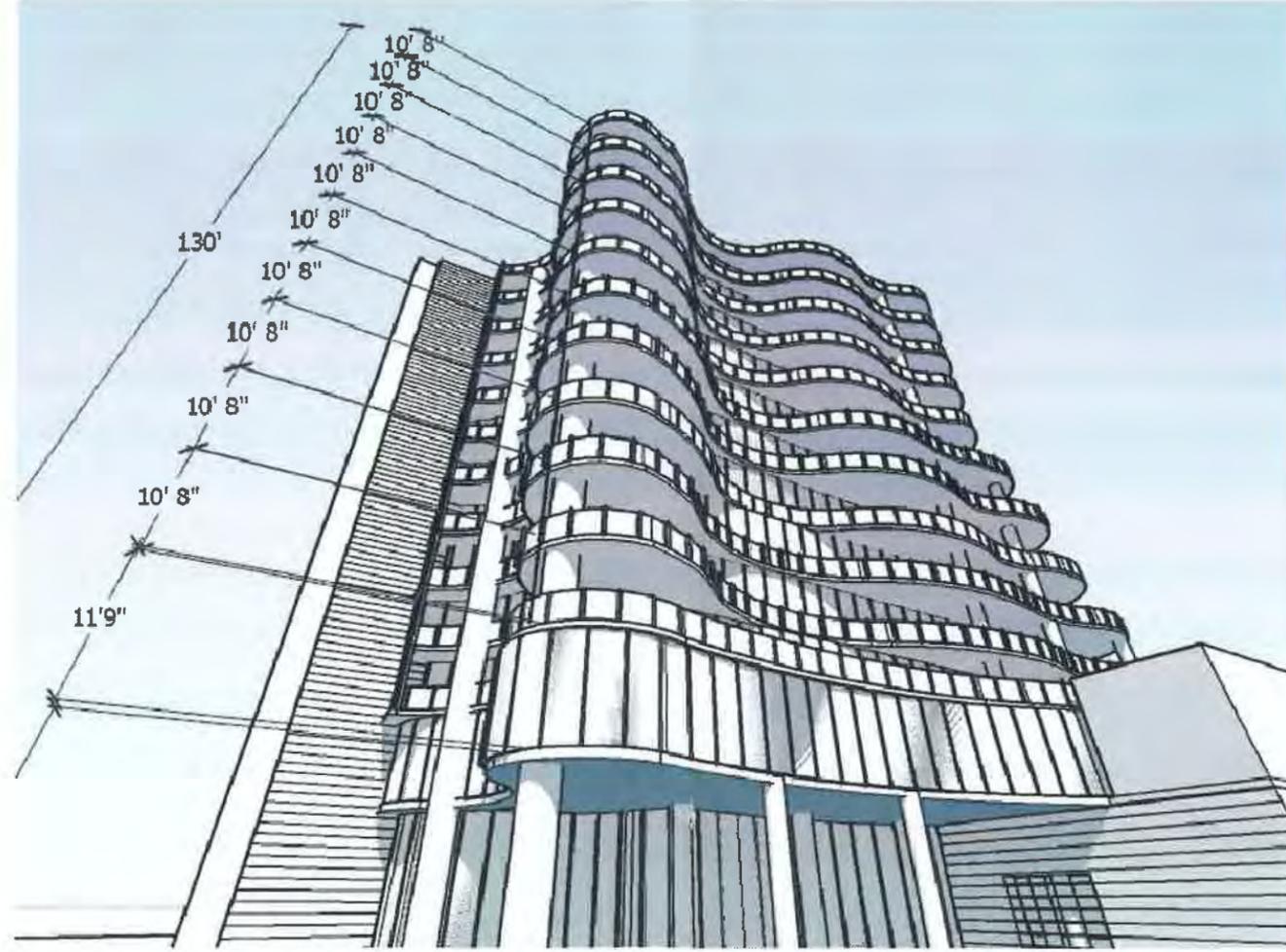
SHEET

1 SOUTH ELEVATION
A-16 SCALE: n.t.a.

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
COSTA MENDOZA ARCHITECTURE AND ASSOCIATES VTS
REGISTERED SOCIETY OF
PROFESSIONAL ENGINEERS
TEL: 1954-437-2111 FAX: 1954-437-3139
INFO@MTSENGR.COM

A-16

PROJECT A-102208



**JOSEPH B. KALLER
+
ASSOCIATES PA**

444 2580212
2417 Hollywood Blvd., Hollywood, Florida, 33021
(954) 920 5746 phone - (954) 928 2641 fax
jpk@kallerpa.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
NEW CONDOMINIUM DEVELOPMENT
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
ENTRANCE PERSPECTIVE

REVISIONS
No. DATE DESCRIPTION

1	11.04.16	OWNER CHANGE
2	01.02.19	OWNER APPROVAL

This drawing, as an instrument of service, is and shall remain the property of the architect and shall not be reproduced, published or used in any way without the permission of the architect.

PROJECT No.: 15202
DATE: 03.12.19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-17

MTS ENGINEERING
CIVIL AND STRUCTURAL CONSULTING ENGINEERS
CAPITAL PROJECTS GROUP, LLC
13015 WINDY HILL ROAD, SUITE 100
PALM BEACH, FLORIDA 33411
TEL: 561.437.3111 FAX: 561.437.3137
info@mtsenr.com

PROJECT A-10220B

**CITY OF HOLLYWOOD
PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT
PARK IMPACT FEE APPLICATION**

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development? Yes No

If YES was selected please provide the following information. In NO was selected please do not complete application.

(PRINT LEGIBLY OR TYPE)

1. Owners Name: Greenbriar Apartment/Motel, Inc.
2. Project Name: Bell Amare
3. Project Address: 1900 South Surf Road
4. Contact person: Joseph B. Kauter
5. Contact number: 954-950-5746
6. Type of unit(s): Single Family Multi-Family Hotel/Motel
7. Total number of residential and/or hotel/motel units: 25 Residential
8. Unit Fee per residential dwelling based on sq. ft.: (6) \$37500 (2) \$252500
(6) \$272500 (8) \$282500
(3) \$290000
9. Unit Fee per hotel/motel room: \$1,250.00
10. Total Park Impact Fee: \$60,950.00 Date: 9/3/19

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts at 954.921.3404 or dvazquez@hollywoodfl.org should there be any questions.



Living Green Wall

To consult with a Living Green Wall professional
call 800.581.9946

Other Living Green Wall Solutions:



SmartWall



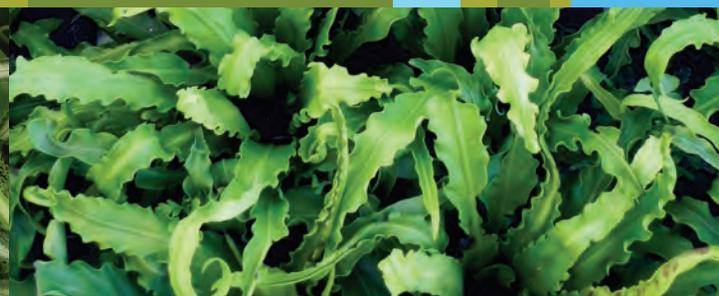
VersaWall

ambius 

ProWall

ambius 

www.ambius.com/green-walls



Why Leave Your Walls Bare?

Create a welcoming environment for your employees, clients, and visitors with a Living Green Wall. **Ambius** is a certified specifier, installer, and service provider of **GSky Plant Systems**, the most widely recognized and respected brand in the industry. They are safe to install on virtually any indoor or outdoor surface.

Why A ProWall?

- Living Green Walls make a dramatic brand statement and show support for green initiatives and the environment.
- Acting as insulation, Living Green Walls reduce heating and cooling costs.
- Help the environment by absorbing carbon dioxide, producing clean oxygen, and reducing noise levels.
- Studies show plants reduce stress and enhance well-being.
- Plants in a workplace are shown to increase employee productivity and can lead to reduction of sick days as much as 15%.

To consult with a Living Green Wall professional call 800.581.9946

Ambius ProWall Services

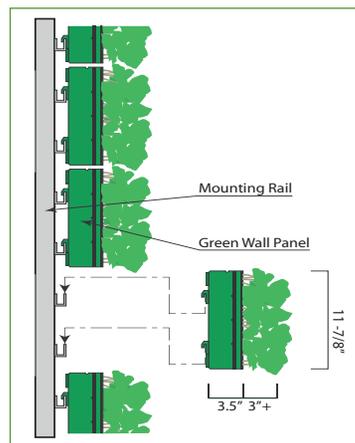
- Consulting & Design
- Plant Growth
- Installation
- Maintenance
- Remote Monitoring

Maintenance & Warranty

A one-year maintenance and warranty program is included with every Living Green Wall installation.



ProWall Panel Detail



ProWall System Components:

- 1 Stainless Steel Mounting Frames:** the frames can be mounted on concrete, CMU, and metal or wood frame structures.
- 2 Stainless Steel Panels:** standard panels are one foot square or panels can be custom sized to fit any design or wall size.
- 3 Non-Soil Structural Growth Medium:** the patent-pending non-eroding growth material promotes strong root structure which ensures plant longevity.
- 4 Plants:** our plants are pre-grown into the panels to ensure health, longevity, and beauty.
- 5 Remote Irrigation/Fertilization System:** the 24/7 remote monitoring system by GSky is a computerized vertical drip irrigation system with temperature, moisture, and freeze-thaw sensors.



SOLAR
PROTECTION
WITH TRESPA
SUNBLINDS

AESTHETIC FREEDOM FOR ENERGY EFFICIENCY

Solar protection solutions are becoming increasingly more relevant in the conceptual and design phases of new and rehabilitated buildings and are essential for regulating thermal and lighting comfort levels.

For over 55 years, Trespa has been using its experience to provide designers, builders and homeowners with solutions on the design and execution of durable façade solutions.

When designing a building and/or undertaking renovation work, both the treatment of energy comfort levels for users and the building energy saving effects are key considerations. These require us to create solar protection solutions that combine efficacy, functionality and aesthetics.

Solutions such as slat systems incorporate energy, economic and environmental savings for practically all types of projects. In most cases these savings are achieved by air conditioning elements thanks to their solar protection function.

There are many different positions and types of systems. Trespas® Meteon® is a perfect solution, since this material has the following principal characteristics:



Los Molinos Building | Tenerife | Spain



1 DESIGN FREEDOM

Trespas® Meteon® brings compelling aesthetics and nearly limitless design possibilities with various colours, rhythms and depths to next-generation architectural solutions.

2 EASY HANDLING

Trespas® Meteon® requires no treatment for edges as there is no risk of delamination.

3 **GUARANTEED PRODUCT QUALITY**

The entire Trespas® Meteon® range has been subjected to durability testing. This enables us to offer a 10-year worldwide limited warranty; *for details about warranty see www.trespa.info.*



Apartments | Zaragoza | Spain

4 **LOW MAINTENANCE AND EASY TO CLEAN**

The closed surface of Trespas® Meteon® practically withstands dirt accumulation, keeping the product smooth and easy to clean.



Duoc San Andres II building | Concepcion | Chile



5 **SUSTAINABLE**

Fibres, most of which originate from managed forests which are recognised by the Programme for the Endorsement of Forest Certification™ (PEFC™) and the Forestry Stewardship Council™ (FSC™). These organisations encourage, among other eco-benefits, that forests are sustainably managed, taking the ecosystem and biodiversity as well as fair labour conditions into consideration.

A VARIETY OF CHOICES



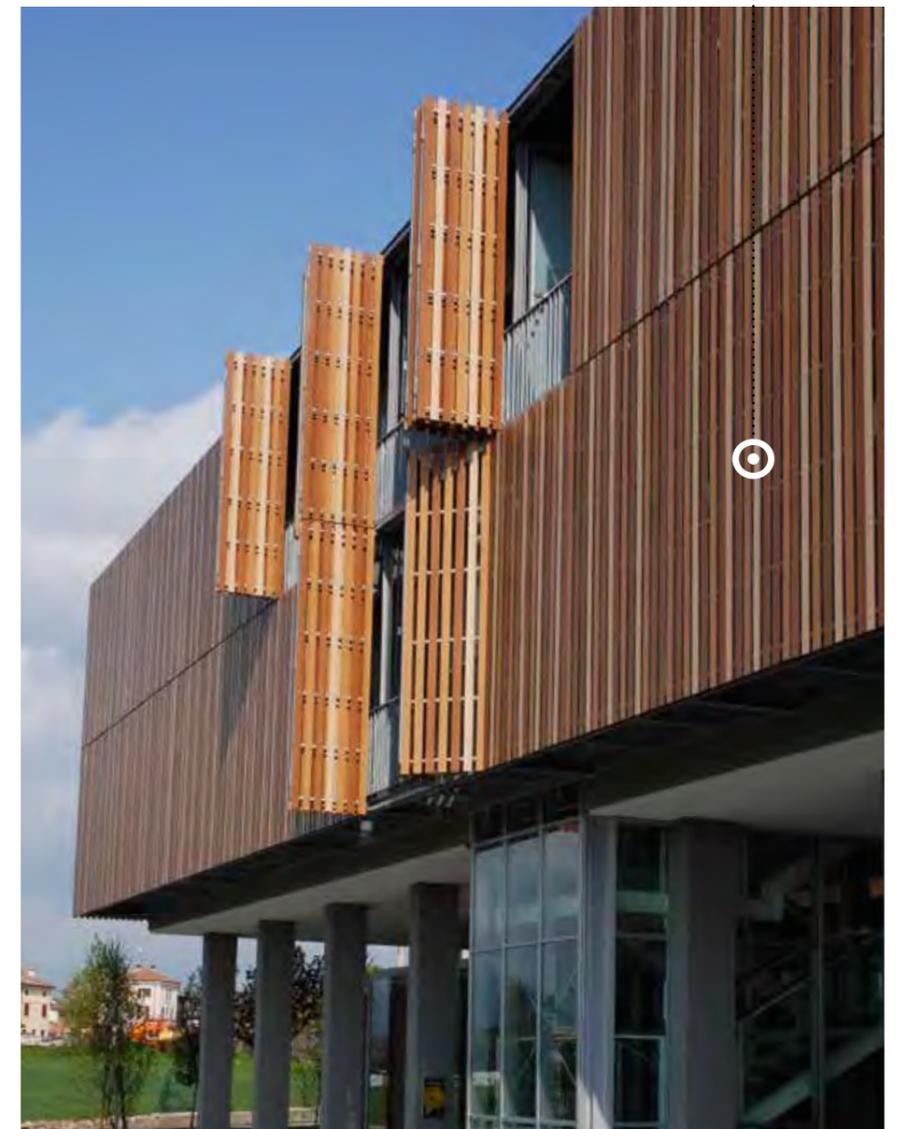
Education Centre | Haßfurt | Germany

MOBILE SYSTEMS

From an energy point of view, these are the most effective solutions as they change the slat orientation angle, depending on the position of the sun during the day. These motorised solutions can be customised on a case-by-case basis.

VERTICAL SOLUTIONS

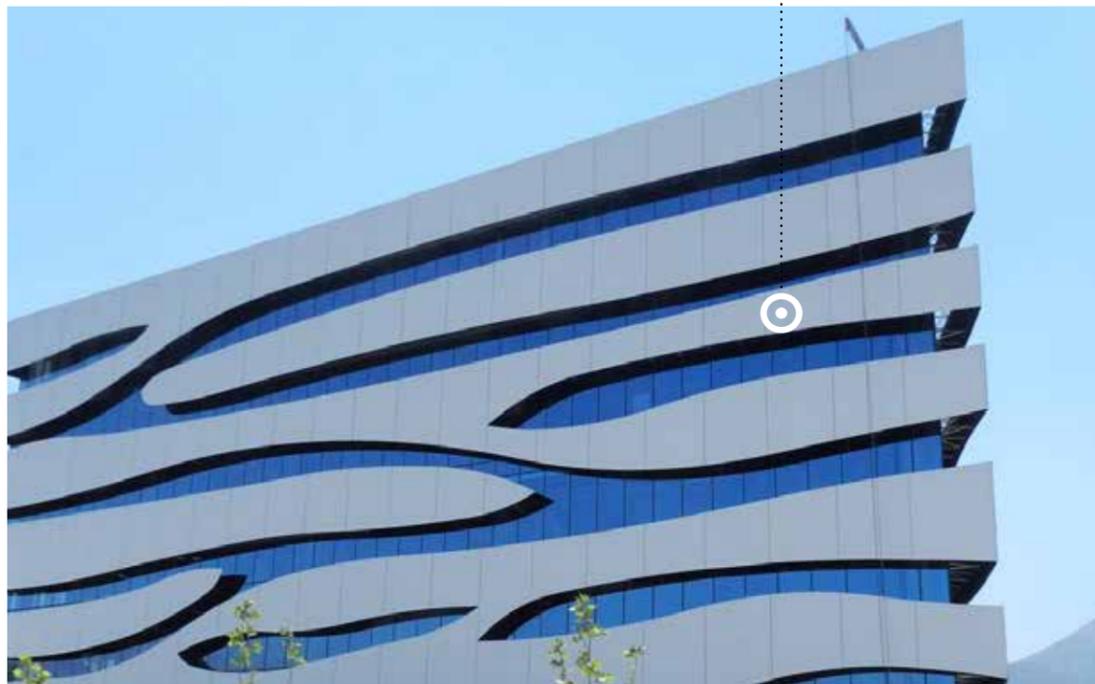
These are the result of a new look applied to buildings, using the maximum length of the slat as an expression of verticality and height.



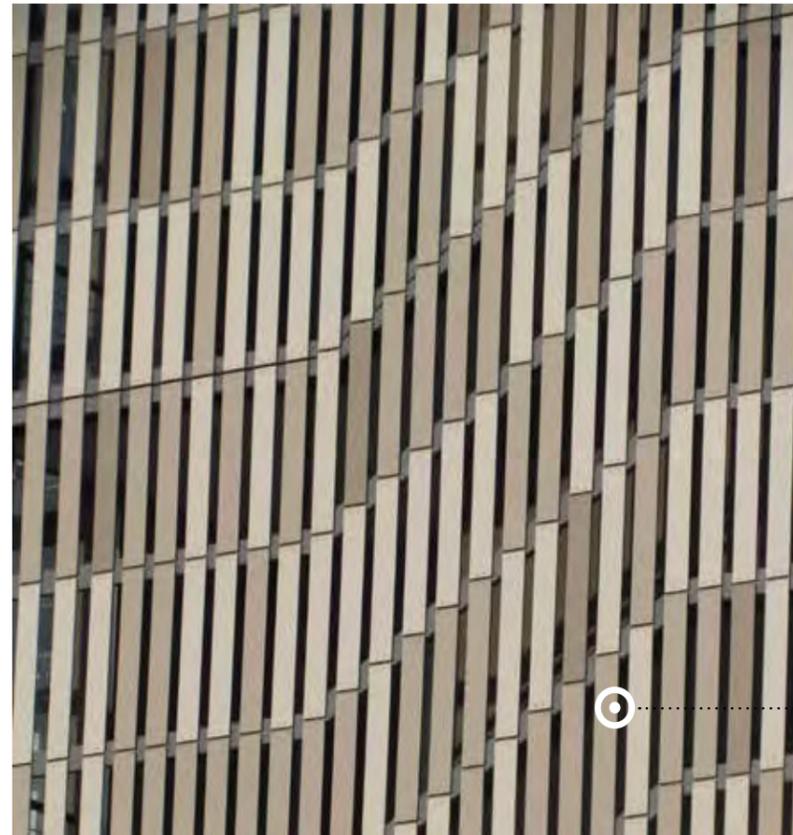
Hotel Mod05 | Castelnova del Garda | Italy

SUPERIMPOSED SOLUTIONS

These are designed with a dual aesthetic and energy comfort function, thus adding an ingenious touch during the design phase which affords the building a unique singularity.



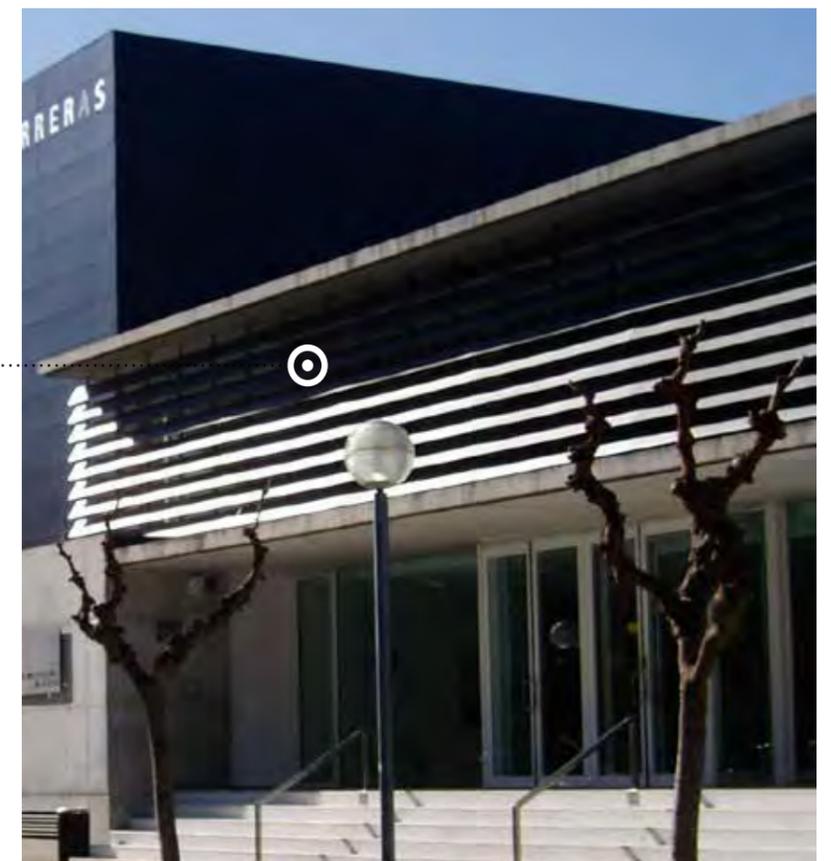
White Vitacura | Santiago | Chile



Vitra building | Santiago | Chile

FIXED SYSTEMS

Following a detailed study of the building's location and orientation, together with the lighting needs, these systems are simple in terms of design and application, whilst maintaining an excellent summer-winter thermal balance.



Auditorium Josep Carreras | Vila Seca | Spain

HORIZONTAL SOLUTIONS

These are the most common and imitate traditional window blinds. Clearly related to more traditional aesthetic concepts, they are somewhat more effective in improving a building's energy efficiency.

CONTACT US

TRESPA INTERNATIONAL B.V.

P.O. Box 110, 6000 AC Weert
Wetering 20, 6002 SM Weert
The Netherlands
www.trespa.com

CUSTOMER SERVICE DESK

EMEA EXPORT

Tel: +31 (0) 495 458 839
Info.Export@Trespa.com

TRESPA UK LTD.

35 Calthorpe Road
Edgbaston
Birmingham, B15 1TS
United Kingdom
Tel: 0808-2340268
Info.UK@Trespa.com

TRESPA NORTH AMERICA LTD.

62 Greene Street (Ground Floor)
New York, NY 10012
United States of America
Tel: +1 800 487 3772
Info.NorthAmerica@Trespa.com

TRESPA CHINA CO. LTD.

Room 2604-05, HuaiHai Plaza
No. 1045 HuaiHai Road (central)
ShangHai 200031
P.R. China
Tel: +86 (0) 21 6288 1299
Info.China@Trespa.com

CUSTOMER SERVICE DESK ASIA/PACIFIC

Tel: +86 (0) 21 5465 8388
Info.APAC@Trespa.com

VISIT US

TRESPA DESIGN CENTRE NEW YORK

62 Greene Street (Ground Floor)
New York, NY 10012
United States of America
Tel: +1 212 334 6888
TDC.NewYork@Trespa.com
www.trespa.com/tdc

TRESPA DESIGN CENTRE WEERT

Wetering 20
6002 SM Weert
The Netherlands
Tel: +31 (0) 495 458 845
TDC.Weert@Trespa.com
www.trespa.com/tdc

TRESPA DESIGN CENTRE BARCELONA

Calle Ribera 5,
08003 Barcelona
Spain
Tel: +34 (0) 93 295 4193
TDC.Barcelona@Trespa.com
www.trespa.com/tdc

TRESPA DESIGN CENTRE SANTIAGO

Eliodoro Yáñez 2831
Torre A - Local 1
Providencia, Santiago
Chile
Tel: +56 2 4069990
TDC.Santiago@Trespa.com
www.trespa.com/tdc

FOLLOW US



DISCLAIMER

GENERAL

These terms apply to the use of this document and such use automatically means that the other party agrees to these terms. The information provided by Trespa International B.V. ("Trespa") in this document is solely indicative. Trespa is unable to warrant the accuracy and completeness of this information. Trespa may change the information included in this document at any time and without further notice. Trespa's customers and third parties must ascertain that they have the most recent document (for the most recent version, please consult: www.trespa.com). No rights can be derived from the information provided; the use of the information is at the other party's risk and responsibility. Trespa does not warrant that the information in this document is suitable for the purpose for which it is consulted by the other party. This document does not contain any design, structural calculation, estimate or other warranty or representation that customers and third parties may rely on. This document does not guarantee any properties of Trespa products. Colours used in Trespa's communications (including but not limited to printed

matter) and in samples of Trespa's products may differ from the colours of the Trespa products to be supplied. Samples are not intended for use in product tests and are not representative of characteristics of the Trespa products. Trespa's products and samples are produced within the specified colour tolerances and the colours (of production batches) may differ, even if the same colour is used. The viewing angle also influences the colour perception. Metallics panels feature a surface whose colour appears to change based on the direction from which it is viewed. The specified colour stability and colour specifications relate only to the decorative surface of the Trespa products, not to the core material and samples of the Trespa products. Trespa products are delivered ex-works with straight, sawn sides. Customers and third parties must have a professional adviser inform them about (the suitability of) the Trespa products for all desired applications and about applicable laws and regulations. Trespa does not warrant the above. The most recent version of the current delivery programme and the Material Properties Datasheet can

be found at www.trespa.info. Only the information in the most recent and valid Material Property Datasheet should be used to select and provide advice regarding Trespa products. Trespa reserves the right to change (the specifications for) its products without prior notice.

LIABILITY

Trespa is not liable (neither contractual nor non-contractual) for any damage arising from or related to the use of this document, except if and to the extent that such damage is the result of wilful misconduct or gross negligence on the part of Trespa and/or its management. The limitation of liability applies to all parties affiliated with Trespa, including but not limited to its officers, directors, employees, affiliated enterprises, suppliers, distributors, agents, and representatives.

GENERAL CONDITIONS

All oral and written statements, offers, quotations, sales, supplies, deliveries and/or agreements and all related activities of Trespa are governed by the Trespa General Terms and Conditions of Sale (*Algemene*

verkoopvoorwaarden Trespa International B.V.) filed with the Chamber of Commerce and Industry for Noord- en Midden- Limburg in Venlo (NL) on February 20th, 2015 under number 24270677, which can be found on and downloaded from the Trespa website, www.trespa.com/documentation. All oral and written statements, offers, quotations, sales, supplies, deliveries and/or agreements and all related work of Trespa North America, Ltd. are governed by the Trespa North America General Terms and Conditions of Sale, which can be found on and downloaded from the Trespa website, www.trespa.com/documentation. A copy of these general conditions of sale will be provided free of charge on request. All general terms and conditions other than the conditions mentioned above are dismissed and do not apply, regardless of whether such terms and conditions are referred to on requests for offers, offer confirmations, stationery and/or other documents of the other party, even if Trespa does not expressly object to such terms and conditions.

INTELLECTUAL PROPERTY

All intellectual property rights and other rights regarding the content of this document (including logos, text and photographs) are owned by Trespa and/or its licensors. Any use of the content of this document, including distribution, reproduction, disclosure, storage in an automated data file or the dispatch of such a file without Trespa's prior written consent is explicitly prohibited. * Trespa, Meteon, Athlon, TopLab, TopLab^{PLUS}, TopLab^{ECO-FIBRE}, TopLab^{VERTICAL}, TopLab^{BASE}, Virtuon, Izeon, Pura NFC, Volkern, Trespa Essentials and Mystic Metallics are registered trademarks of Trespa.

QUESTIONS

Should you have any questions or comments, please do not hesitate to contact Trespa.



WOOD LOUVERS – TRESPA SUNBLINDS



GLASS GUARDRAIL

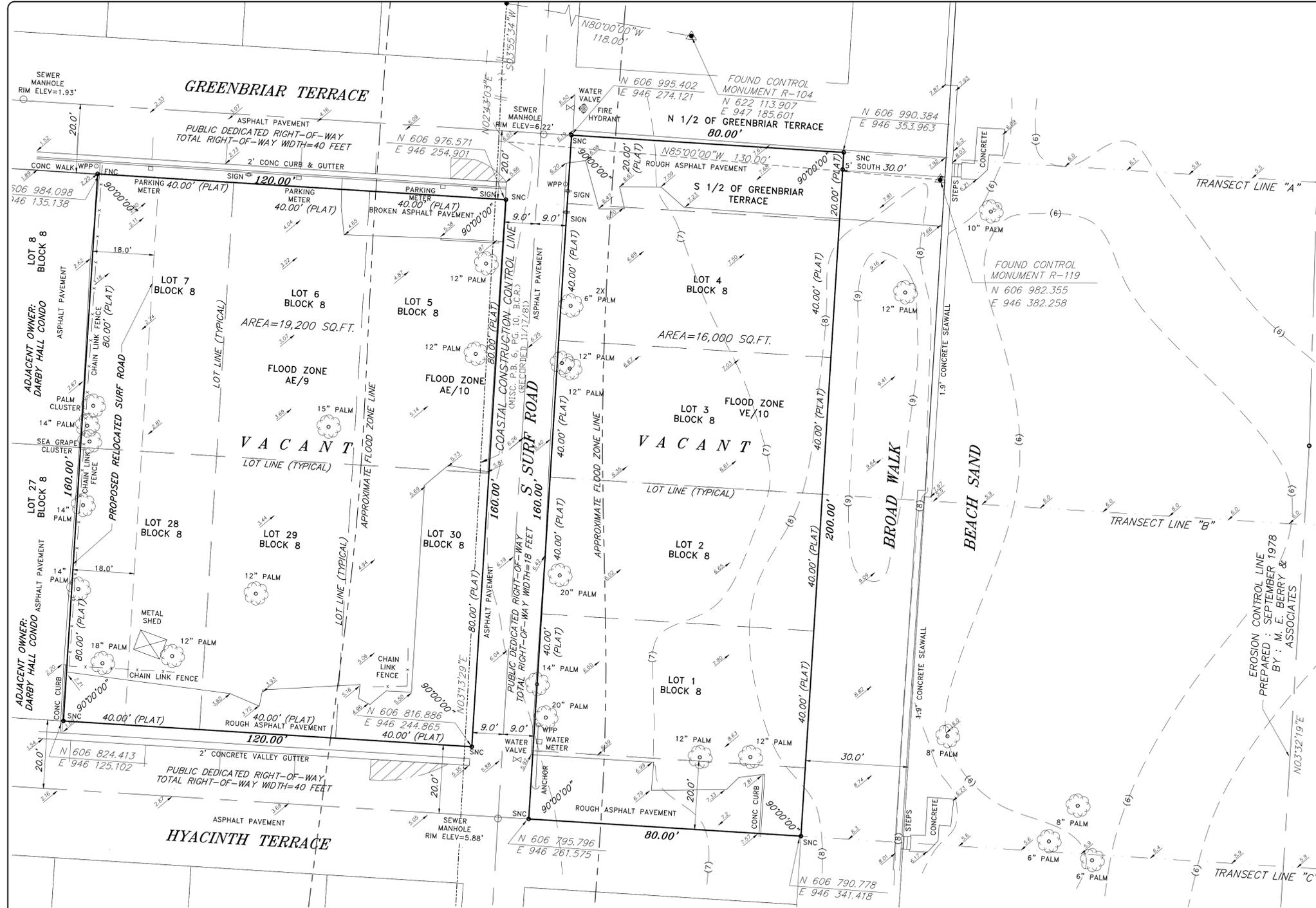


PAINT

BENJAMIN MOORE OC-64

PURE WHITE





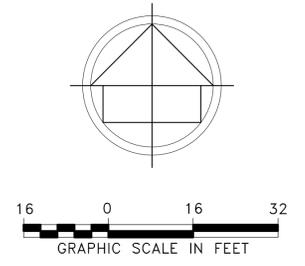
SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 8, 9, 10(A), 11, 13, 14, 16, 17, 18 AND 19 (NONE DISCLOSED) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

THE FIELD WORK WAS COMPLETED ON NOVEMBER 14, 2017.

Richard E. Cousins

FOR THE FIRM BY: **RICHARD E. COUSINS**
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.



- LEGEND:**
- CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - SIR SET IRON ROD & CAP #6448
 - SNC SET NAIL AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - FND FOUND NAIL & DISC
 - P.B. PLAT BOOK
 - B.C.R. BROWARD COUNTY RECORDS
 - CBS CONCRETE BLOCK STRUCTURE
 - A/C AIR CONDITIONER
 - WM WATER METER
 - WV WATER VALVE
 - CO CLEAN OUT
 - TSB TRAFFIC SIGNAL BOX
 - TSP TRAFFIC SIGNAL POLE
 - PM PARKING METER
 - MLP METAL LIGHT POLE
 - EB ELECTRIC BOX
 - ELEVATIONS
 - ALTA AMERICAN LAND TITLE ASSOCIATION
 - NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

LAND DESCRIPTION:

LOTS 1 THROUGH 7, INCLUSIVE, AND LOTS 28, 29 AND 30, BLOCK 8, OF "ATLANTIC SHORES NORTH BEACH SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 36, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH : THE SOUTH 1/2 OF GREENBRIAR TERRACE (HARRISON COURT), AS SHOWN ON SAID PLAT LYING NORTH OF AND ADJACENT TO SAID LOT 4 AND BOUNDED ON THE EAST BY THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID GREENBRIAR TERRACE (HARRISON COURT) AND BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID GREENBRIAR TERRACE (HARRISON COURT).

AS TO TOGETHER WITH : THE NORTH 1/2 OF HYACINTH TERRACE (TYLER COURT), AS SHOWN ON SAID PLAT LYING SOUTH OF AND ADJACENT TO SAID LOT 1 AND BOUNDED ON THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID HYACINTH TERRACE (TYLER COURT) AND BOUNDED ON THE WEST BY THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID HYACINTH TERRACE (TYLER COURT).



- NOTES :**
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR TITLE INSURANCE ISSUED BY _____ FILE NO. : _____
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 - BENCHMARK REFERENCE : BROWARD COUNTY BENCHMARK # 3956 ELEVATION=7.65' (NAVD88)
 - THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
 - THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY INSURANCE COMPANY, ORDER NO. _____ WITH AN EFFECTIVE DATE OF 2017 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
 - ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
 - THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "AE/9", "AE/10" AND "VE/10" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 0558 H, WITH A DATE OF IDENTIFICATION OF 08/18/14, FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED. (SEE SKETCH OF SURVEY)
 - THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
 - THE PROPERTY HAS DIRECT ACCESS TO S SURF ROAD, HYACINTH TERRACE AND GREENBRIAR TERRACE A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 9, PAGE 36, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
 - THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
 - THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
 - THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
 - THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
 - THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
 - ZONING : SCB-RM-25

20. THE COASTAL CONSTRUCTION CONTROL LINE WAS DETERMINED FROM MONUMENTS R-104 & R-119

	NORTHING	EASTING
R-104	622 113.907	947 185.601
R-119	606 982.355	946 382.258

(COORDINATES SHOWN HEREON ARE BASED ON THE NAD 1983 WITH A SUBSEQUENT READJUSTMENT DONE IN 2007.)

- BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE HORIZONTAL CONTROL NETWORK NORTH AMERICAN DATUM OF 1983, WITH A SUBSEQUENT READJUSTMENT DONE IN 2007.
- THE STATE PLANE COORDINATES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 WITH A SUBSEQUENT RE-ADJUSTMENT DONE IN 2007 (NAD 83 (NATIONAL SPATIAL REFERENCE SYSTEM 2007)) UNIFORM TRANSVERSE MERCATOR PROJECTION AS ESTABLISHED FOR THE FLORIDA EAST ZONE COORDINATE SYSTEM. COORDINATES WERE DETERMINED USING THE TOPCON HI-PER SR AND THE TOPCON FC-5000 WITH THE TDS PACKAGE TOGETHER WITH THE "L-NET" ROVER SYSTEM PACKAGE PROVIDED BY LENGEMANN CORPORATION. THE "L-NET" NETWORK (A TOPNET GNSS NETWORK) UTILIZES A NETWORK OF REAL TIME KINEMATIC (RTK) REFERENCE STATIONS. ESTIMATED ACCURACIES: HORIZONTAL ACCURACIES TO 0.04'

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
LUIS STABINSKI

1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33019

ALTA/NSPS LAND TITLE SURVEY

REVISIONS

	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	11/14/17	SKETCH	AM	REC
ADDED CCCL LINE	11/17/17	SKETCH	AM	REC
ADDED PROPOSED RELOCATED SURF ROAD	11/27/17	SKETCH	JD	REC
ADDED FDEP REQUIREMENTS	12/01/17	SKETCH	REC	REC

PROJECT NUMBER : 8541-17

SCALE : 1" = 16'

SHEET 1 OF 1 SHEET

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA:
PER ASCE 24-05:

STRUCTURE CATEGORY	CATEGORY II	
ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	BFE + 2 OR DFE WHICHEVER IS HIGHER	+12.00' N.A.V.D.
DRY FLOOD PROOFING OF NON-RESIDENTIAL STRUCTURES (TABLE 6-1)	NOT PERMITTED	
ELEVATION OF BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER (TABLE 4-1)	DFE	+16.20' N.A.V.D.
MINIMUM ELEVATION OF UTILITIES AND EQUIPMENT (TABLE 7-1)	BFE + 1 OR DFE WHICHEVER IS HIGHER	+16.20' N.A.V.D.

NOTE:
BASE FLOOD ELEVATION (B.F.E.) = +10.00' NAVD
LOWEST STRUCTURAL ELEMENT DESIGN FLOOD ELEVATION (D.F.E.) = +16.20' NAVD (APTIM COASTAL ENGINEERS)

3 FLOOD HAZARD STRUCTURE CLASSIFICATION
NTS

SIGNAGE NOTE:
ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE RMCRA-79 ZONING DISTRICT.

SPRINKLER NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER F.P.C. 5TH EDITION - NFPA 101 SECTION 30.3.4

MECHANICAL EQUIPMENT NOTE:
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

ELECTRIC VEHICLE NOTE:
CITY OF HOLLYWOOD ORDINANCE O-2016-02

§ 151.154 INSTALLATION OF ELECTRIC VEHICLE-CHARGING INFRASTRUCTURE REQUIRED. THE CITY SHALL REQUIRE EACH PERSON OR ENTITY DESIRING TO CONSTRUCT A NEW COMMERCIAL OR RESIDENTIAL STRUCTURE TO CONSTRUCT THE INFRASTRUCTURE NECESSARY FOR FUTURE INSTALLATION OF AN ELECTRIC VEHICLE-CHARGING STATION WITHIN BE INCLUDED IN SUCH PROJECT. MINIMALLY, THE FOLLOWING SHALL BE INSTALLED: AN EMPTY THREE QUARTER INCH RACEWAY FROM THE BRANCH CIRCUIT PANEL BOARD TO A LOCATION IN THE GARAGE OR A DESIGNATED PARKING AREA, WITH A TWO-GANG JUNCTION BOX WITH A BLANK PLATE; OR A FULLY FUNCTIONAL ELECTRIC VEHICLE-CHARGING STATION. (ORD. O-2011-06, PASSED 2-16-11; AM. ORD. 02016-02, PASSED 1-20-16)

POINTS OF IMPACT NOTE:
ALL VEHICLE BARRIERS & WALLS AT END OF PARKING STALLS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD PF 6,000LBS (26,700KN) IN ACCORDANCE WITH SECTION 4.5.3 OF ASCE 7 (PER FBC 5TH ED. 1607.8.3 - VEHICLE BARRIERS)

ACCENT COLOR NOTE:
ACCENT COLORS SHALL NOT EXCEED 30% OF EACH WALL AREA.

CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE REGULATIONS -

SECTION 3.22
G. REVIEW CRITERIA
2. COLOR INTENSITIES GREATER THAN THOSE REPRESENTED ON THE COLOR CHART MAY BE UTILIZED ONLY FOR PURPOSES OF EMPHASIZING TRIM AND ACCENTING ARCHITECTURAL FEATURES OF A BUILDING OR STRUCTURE AND SHALL NOT EXCEED 30% OF EACH WALL AREA.

5 UNIT DATA
NTS

GREEN BUILDING PRACTICES FROM CITY OF HOLLYWOOD ORDINANCE #O-2015-06

§151.158 LARGE DEVELOPMENTS

NEW CONSTRUCTION OF A STAND-ALONE BUILDING (OTHER THAN SINGLE FAMILY DETACHED DWELLING OR DUPLEX) WITH MORE THAN 20,000 SQUARE FEET OF TOTAL FLOOR AREA SHALL BE CERTIFIED UNDER THE LATEST APPLICABLE VERSION OF THE "LEED" GREEN BUILDING RATING SYSTEM OF THE USGBC OR UNDER ANOTHER RECOGNIZED CERTIFICATION PROGRAM APPROVED BY THE CITY MANAGER OF HIS/HER DISNEE AND SHALL COMPLY WITH THE FLORIDA BUILDING CODE.

GREEN CERTIFICATION NOTE

PROJECT TO ACHIEVE NATIONAL GREEN BUILDING STANDARD CERTIFICATION - SILVER LEVEL (2ND TIER CERTIFICATION). DOCUMENTATION WILL BE PROVIDED AT TIME OF BUILDING PERMIT.

ELEMENTS TO BE INCLUDED IN NGBS CERTIFICATION ARE AS FOLLOWS, BUT NOT LIMITED TO:

- ENERGY EFFICIENCY 5% OVER FLORIDA BUILDING CODE
- ENERGY STAR CERTIFIED COOL ROOF
- LIGHT POLLUTION CONTROL
- ELECTRIC CAR CHARGING INFRASTRUCTURE
- USE OF REGIONAL AND RECYCLED MATERIALS
- MOISTURE CONTROL MEASURES
- ENERGY STAR APPLIANCES & LIGHTING
- ENERGY EFFICIENT HVAC SYSTEM DESIGN AND BUILDING ENVELOPE
- WATER-EFFICIENT FIXTURES
- PROGRAMMABLE THERMOSTATS

ADDITIONAL PRACTICES

- 8" REINFORCED CONCRETE ROOF STRUCTURE
- ICYNENE SOY BASED CLOSED CELL SPRAY INSULATION
- ELECTRICAL AND MECHANICAL ROOMS OUTSIDE OF AIR CONDITIONED SPACES.
- DEEP OVERHANGS AT ROOF AND BALCONY LEVELS.

2 GREEN BUILDING PRACTICES
NTS

FLOOD INFORMATION:

- INFORMATION PROVIDED IS BASED ON NEW FIRM MAPS DATED 08/18/2014
- REFERENCE TO FEMA ELEVATIONS IS SHOWN PER THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "AE/B", "AE/10" AND "VE/10" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 0558 H, WITH A DATE OF IDENTIFICATION OF 08/18/14. FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED. (SEE SKETCH OF SURVEY)

4 FLOOD CLASSIFICATION
NTS

FLOOR	UNIT NO.	UNIT TYPE	AREA SF		TOTAL AREA SF		BEDS/BATH	UNIT COUNT
			UNIT/GROSS	TERRACE	UNIT/GROSS	TERRACE		
2ND FLOOR	201	A	4,399	4,998	4,399	4,962	4 / 4.5	1
	301	B	4,137	5,553	7,836	10,825	5 / 4.5	2
	302	C	3,699	5,315			4 / 4.5	3
4TH FLOOR	401	B	4,167	3,417	7,836	6,738	5 / 4.5	4
	402	C	3,699	3,321			4 / 4.5	5
5TH FLOOR	501	D	3,847	3,341	7,286	6,576	5 / 4.5	6
	502	E	3,439	3,235			4 / 4.5	7
6TH FLOOR	601	D	3,847	3,049	7,286	6,012	5 / 4.5	8
	602	E	3,439	2,963			4 / 4.5	9
	701	H	1,685	1,441			2 / 2	10
7TH FLOOR	702	I	2,000	1,554	6,978	5,901	3 / 2.5	11
	703	J	1,508	1,397			2 / 2	12
	704	K	1,785	1,509			2 / 2.5	13
8TH FLOOR	801	H	1,684	1,441	6,978	5,901	2 / 2	14
	802	I	2,012	1,554			3 / 2.5	15
	803	J	1,508	1,397			2 / 2	16
9TH FLOOR	901	F	3,687	2,990	6,978	5,901	5 / 4.5	18
	902	G	3,295	2,903			4 / 4.5	19
10TH FLOOR	1001	F	3,687	2,995	6,978	5,901	5 / 4.5	20
	1002	G	3,295	2,907			4 / 4.5	21
11TH FLOOR	1101	F	3,687	2,990	6,978	5,901	5 / 4.5	22
	1102	G	3,295	2,903			4 / 4.5	23
12TH FLOOR	1101	F	3,687	2,990	6,978	5,901	5 / 4.5	24
	1102	G	3,295	2,903			4 / 4.5	25
TOTAL AREAS					76,511	70,519		

6 UNIT DATA
NTS

BELLAMAR RESIDENCES - FLOOR AREAS

LOCATION	SPACE	AREA SF		TOTAL AREA SF				
		AC	NON AC	AC	NON AC			
1ST FLOOR	LOBBY	849		2,363	19,071			
	ELEVATOR LOBBY 1	540						
	ELEVATOR LOBBY 2	529						
	MAIL STORAGE	84						
	FIRE COMMAND CENTER	361						
	STAIR ENCLOSURES		1,012					
	ELEVATORS		376					
	TRASH / RECYCLING ROOM		229					
	STORAGE		487					
	GARAGE		16,967					
	2ND FLOOR	UNIT	4,399				13,012	12,087
ELEVATOR LOBBY 1		154						
ELEVATOR LOBBY 2		288						
ELEVATOR LOBBY 3		98						
CORRIDOR		1,709						
BUILDING ADMINISTRATION		1,429						
CLUB HOUSE		2,186						
JANITOR		86						
MEN'S ROOM		158						
WOMEN'S ROOM		195						
SAUNA		120						
CABANAS		2,190						
STAIR ENCLOSURES			581					
ELEVATORS			372					
TRASH / RECYCLING ROOM			64					
GENERATOR			154					
ELECTRICAL ROOM			217					
DOMESTIC PUMP			77					
FIRE PUMP			284					
POOL EQUIPMENT			121					
UNIT TERRACE			4,962					
BUILDING TERRACE		4,485						
BUILDING ADMINISTRATION TERRACE		770						
3RD FLOOR	UNIT	7,836		8,676	12,260			
	ELEVATOR LOBBY	245						
	CORRIDOR	595						
	STAIR ENCLOSURES		373					
	ELEVATORS		370					
	ELEVATOR CONTROL ROOM		192					
	TRASH / RECYCLING ROOM		64					
	UNIT TERRACE		10,825					
	CHASE		110					
	PLANTER		326					
	4TH FLOOR	UNIT	7,836				8,676	7,841
ELEVATOR LOBBY		245						
CORRIDOR		595						
STAIR ENCLOSURES			373					
ELEVATORS			370					
ELEVATOR CONTROL ROOM			192					
TRASH / RECYCLING ROOM			64					
UNIT TERRACE		6,738						
CHASE		104						
5TH FLOOR	UNIT	7,286		8,126	7,685			
	ELEVATOR LOBBY	245						
	CORRIDOR	595						
	STAIR ENCLOSURES		373					
	ELEVATORS		370					
	ELEVATOR CONTROL ROOM		192					
	TRASH / RECYCLING ROOM		64					
	UNIT TERRACE		6,576					
	CHASE		110					
	6TH FLOOR	UNIT	7,286				8,126	7,119
		ELEVATOR LOBBY	245					
CORRIDOR		595						
STAIR ENCLOSURES			373					
ELEVATORS			370					
ELEVATOR CONTROL ROOM			192					
TRASH / RECYCLING ROOM			64					
UNIT TERRACE			6,012					
CHASE			108					
7TH FLOOR THRU 12TH FLOOR		UNIT	6,979		8,819	7,004		
		ELEVATOR LOBBY	245					
	CORRIDOR	595						
	STAIR ENCLOSURES		373					
	ELEVATORS		370					
	ELEVATOR CONTROL ROOM		192					
	TRASH / RECYCLING ROOM		64					
	UNIT TERRACE		5,901					
	CHASE		104					

BELLAMAR RESIDENCES - FLOOR AREAS

LOCATION	SPACE	AREA SF		TOTAL AREA SF				
		AC	NON AC	AC	NON AC			
1ST FLOOR	LOBBY	849		2,363	19,071			
	ELEVATOR LOBBY 1	540						
	ELEVATOR LOBBY 2	529						
	MAIL STORAGE	84						
	FIRE COMMAND CENTER	361						
	STAIR ENCLOSURES		1,012					
	ELEVATORS		376					
	TRASH / RECYCLING ROOM		229					
	STORAGE		487					
	GARAGE		16,967					
	2ND FLOOR	UNIT	4,399				13,012	12,087
ELEVATOR LOBBY 1		154						
ELEVATOR LOBBY 2		288						
ELEVATOR LOBBY 3		98						
CORRIDOR		1,709						
BUILDING ADMINISTRATION		1,429						
CLUB HOUSE		2,186						
JANITOR		86						
MEN'S ROOM		158						
WOMEN'S ROOM		195						
SAUNA		120						
CABANAS		2,190						
STAIR ENCLOSURES			581					
ELEVATORS			372					
TRASH / RECYCLING ROOM			64					
GENERATOR			154					
ELECTRICAL ROOM			217					
DOMESTIC PUMP			77					
FIRE PUMP			284					
POOL EQUIPMENT			121					
UNIT TERRACE			4,962					
BUILDING TERRACE		4,485						
BUILDING ADMINISTRATION TERRACE		770						
3RD FLOOR	UNIT	7,836		8,676	12,260			
	ELEVATOR LOBBY	245						
	CORRIDOR	595						
	STAIR ENCLOSURES		373					
	ELEVATORS		370					
	ELEVATOR CONTROL ROOM		192					
	TRASH / RECYCLING ROOM		64					
	UNIT TERRACE		10,825					
	CHASE		110					
	PLANTER		326					
	4TH FLOOR	UNIT	7,836				8,676	7,841
ELEVATOR LOBBY		245						
CORRIDOR		595						
STAIR ENCLOSURES			373					
ELEVATORS			370					
ELEVATOR CONTROL ROOM			192					
TRASH / RECYCLING ROOM			64					
UNIT TERRACE		6,738						
CHASE		104						
5TH FLOOR	UNIT	7,286		8,126	7,685			
	ELEVATOR LOBBY	245						
	CORRIDOR	595						
	STAIR ENCLOSURES		373					
	ELEVATORS		370					
	ELEVATOR CONTROL ROOM		192					
	TRASH / RECYCLING ROOM		64					
	UNIT TERRACE		6,576					
	CHASE		110					
	6TH FLOOR	UNIT	7,286				8,126	7,119
		ELEVATOR LOBBY	245					
CORRIDOR		595						
STAIR ENCLOSURES			373					
ELEVATORS			370					
ELEVATOR CONTROL ROOM			192					
TRASH / RECYCLING ROOM			64					
UNIT TERRACE			6,012					
CHASE			108					
7TH FLOOR THRU 12TH FLOOR		UNIT	6,979		8,819	7,004		
		ELEVATOR LOBBY	245					
	CORRIDOR	595						
	STAIR ENCLOSURES		373					
	ELEVATORS		370					
	ELEVATOR CONTROL ROOM		192					
	TRASH / RECYCLING ROOM		64					
	UNIT TERRACE		5,901					
	CHASE		104					

7 FLOOR AREAS
NTS

VARIANCES:

	REQUIRED	PROVIDED
1. BUILDING HEIGHT	50'-0"	130'-0"
2. INTERIOR NORTH SETBACK (BASE)	20'-0"	9'-4"
3. INTERIOR SOUTH SETBACK (BASE)	20'-0"	9'-4"
4. SETBACK OCEANFRONT (BASE)	15'-0"	0'-0"
5. PARKING SPACES	38 MAX.	51

VARIANCES TO THE DESIGN AND SITE PLAN APPROVED BY SETTLEMENT AGREEMENT CASE NO. 06-005035 CA 03 CIVIL DIVISION.

1 VARIANCES
NTS

BELLAMAR RESIDENCES - SITE DATA

PROPERTY ID
514224020350
514224020360
514224020370
514224020380
514224020390

LEGAL DESCRIPTION
LOTS 1 THROUGH 7, INCLUSIVE, AND LOTS 28, 29 AND 30, BLOCK 8, OF "ATLANTIC SHORES NORTH BEACH SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 36, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
TOGETHER WITH: THE SOUTH 1/2 OF GREENBRIAR TERRACE (HARRISON COURT), AS SHOWN ON SAID PLAT LYING NORTH OF AND ADJACENT TO SAID LOT 4 AND BOUNDED ON THE EAST BY THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID GREENBRIAR TERRACE (HARRISON COURT) AND BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID GREENBRIAR TERRACE (HARRISON COURT).
ALSO TOGETHER WITH: THE NORTH 1/2 OF HYACINTH TERRACE (TYLER COURT), AS SHOWN ON SAID PLAT LYING SOUTH OF AND ADJACENT TO SAID LOT 1 AND BOUNDED ON THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID HYACINTH TERRACE (TYLER COURT) AND BOUNDED ON THE WEST BY THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID HYACINTH TERRACE (TYLER COURT).

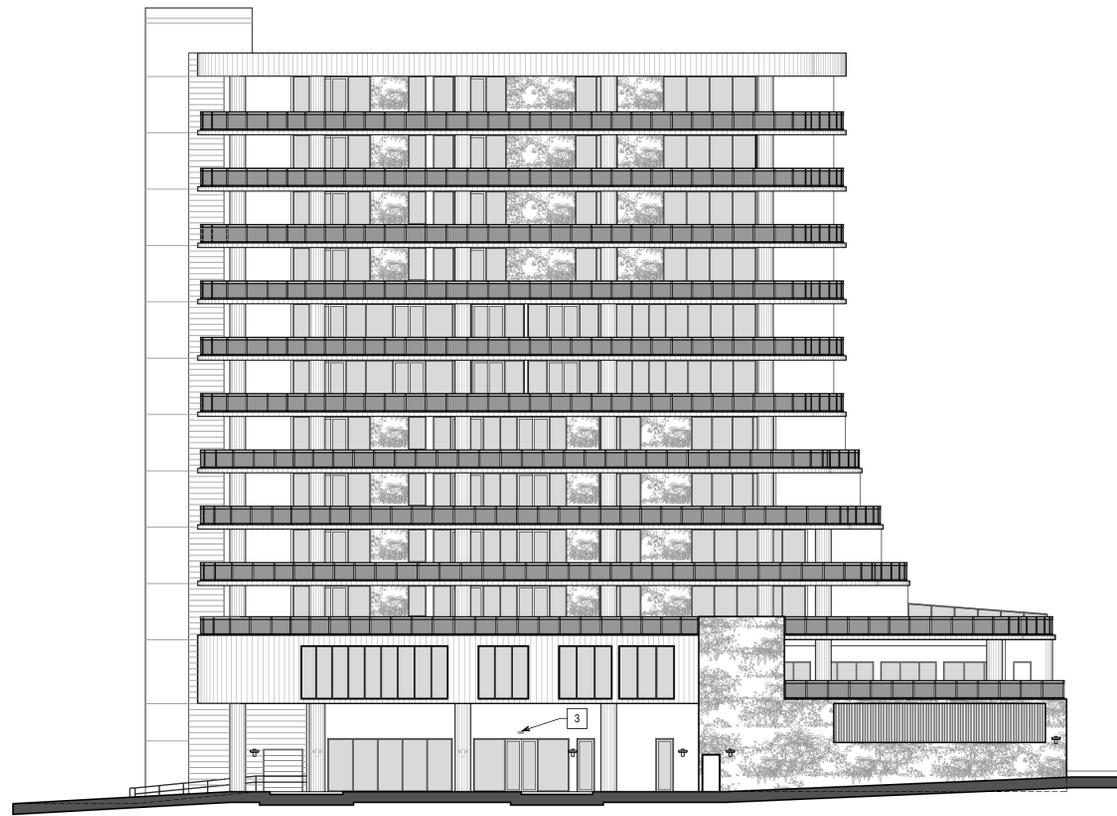
PROPERTY ADDRESS
1900 S SURF ROAD
HOLLYWOOD, FL 33019

SITE INFORMATION

1. ZONING	RM-25-SCB (SOUTH CENTRAL BEACH RESIDENTIAL MULTIFAMILY)			
2. LAND USE DESIGNATION	RESIDENTIAL MULTIFAMILY			
3. EXISTING USE	VACANT			
4. PROPOSED USE	RESIDENTIAL MULTIFAMILY (APARTMENTS)			
5. NET LOT AREA	35,200 SF (0.8080 ACRE)			
6. GROSS LOT AREA	41,807.3 SF (0.9597 ACRE)			
7. PARKING	REQUIRED	PROVIDED		
A. 25 UNITS	25 MIN. - 38 MAX.	51		
B. GUEST	5	5		
8. SETBACKS	REQUIRED	PROVIDED		
A. SURF ROAD	BASE 25'	TOWER 25'	BASE 25'	TOWER 25'
B. INTERIOR NORTH	BASE 20'	TOWER 20'	BASE 9'-4"	TOWER 33'-6"
C. INTERIOR SOUTH	BASE 20'	TOWER 20'	BASE 9'-4"	TOWER 33'-6"
D. OCEAN FRONT	BASE 15'	TOWER 15'	BASE 0'-0"	TOWER 50'

BUILDING SUMMARY

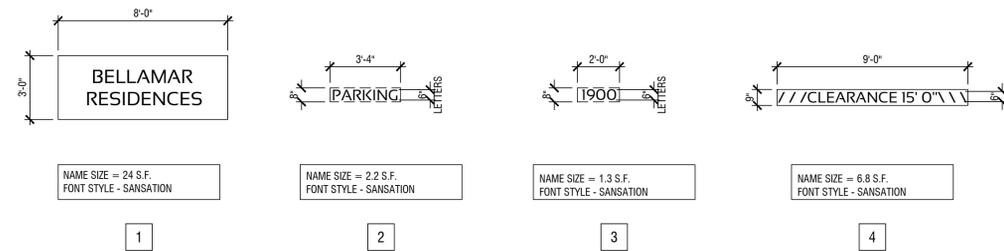
1. BUILDING HEIGHT	ALLOWED	PROVIDED
	50'	12 STORIES - 130'
2. BUILDING AREAS	INTERIOR SF	TERRACES & BALCONIES SF
A. 1ST FLOOR	21,434	0
B. 2ND FLOOR	14,881	10,217
C. 3RD FLOOR	10,113	10,825
E. 4TH FLOOR	9,779	6,738
F. 5TH FLOOR	9,235	6,576
G. 6TH FLOOR	9,233	6,012
H. 7TH FLOOR	8,920	5,901
I. 8TH		



1 SIGN LOCATION SOUTH ELEVATION
NTS



2 SIGN LOCATION WEST ELEVATION
NTS



NAME SIZE = 24 S.F.
FONT STYLE - SANSATION

1

NAME SIZE = 2.2 S.F.
FONT STYLE - SANSATION

2

NAME SIZE = 1.3 S.F.
FONT STYLE - SANSATION

3

NAME SIZE = 6.8 S.F.
FONT STYLE - SANSATION

4

ALL SIGNAGE TO BE "TURTLE FRIENDLY" LED BACK LIT PIN MOUNTED CHANNEL LETTERS

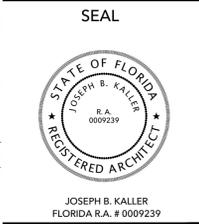
ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE RM-25-SBC ZONING DISTRICT.

NOTE:
1. A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
2. A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

4 SIGN DETAILS
NTS



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com



**BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH**
1900 S SURF ROAD
HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE
SIGN DETAILS

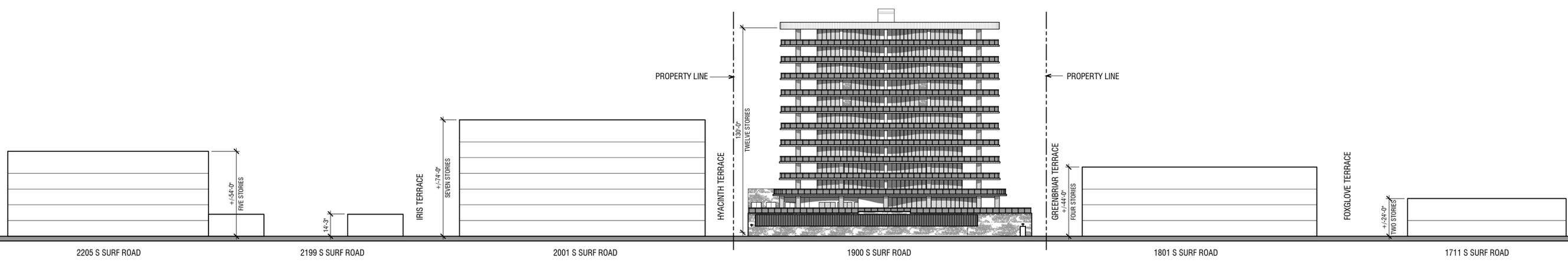
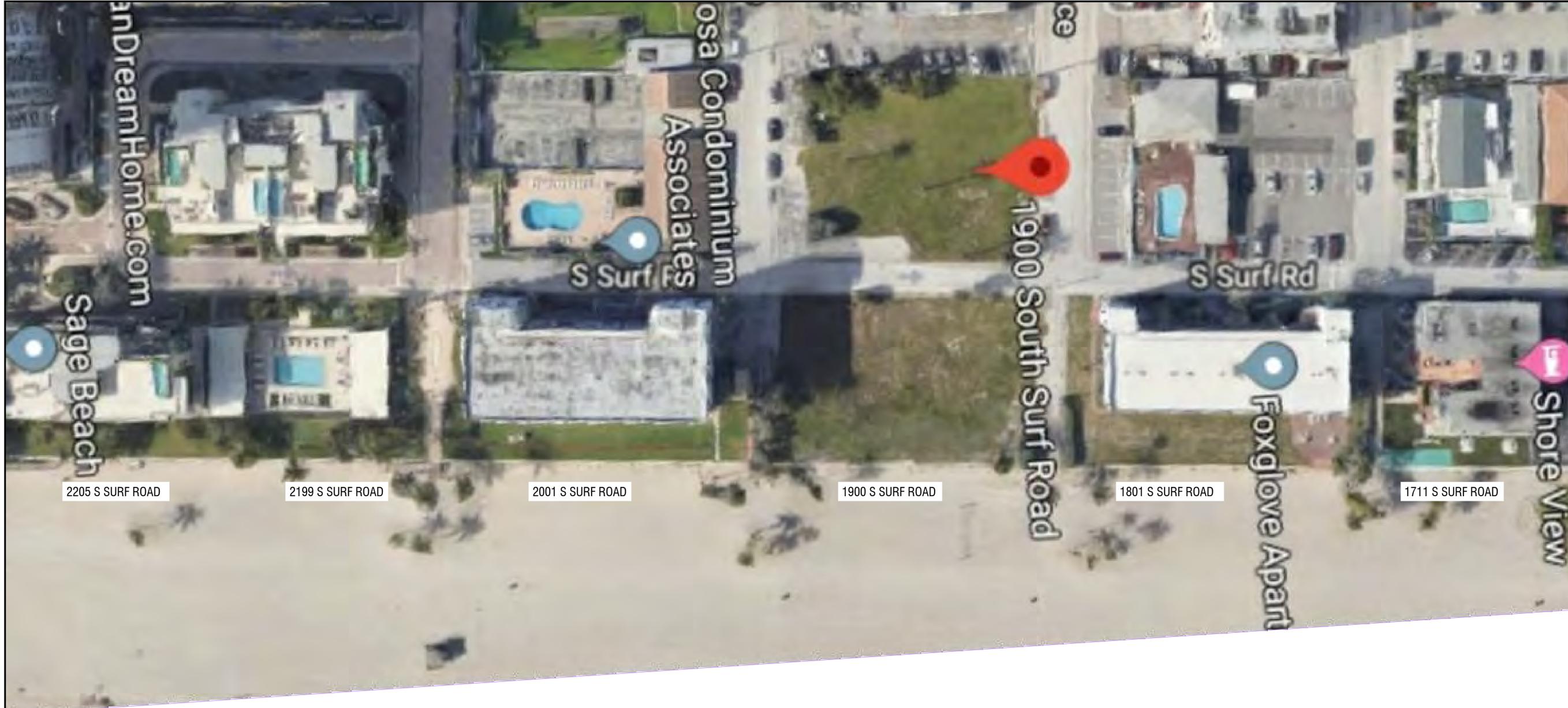
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
DATE: 08.19.2019
DRAWN BY: MJB
CHECKED BY: JBK

SHEET

SP-3

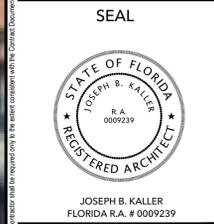


KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018

1 STREET PROFILE
NTS



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



PROJECT TITLE
BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
 STREET PROFILE

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET
SP-4



KallerArchitecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL



JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
 THIRD FLOOR PLAN

REVISIONS

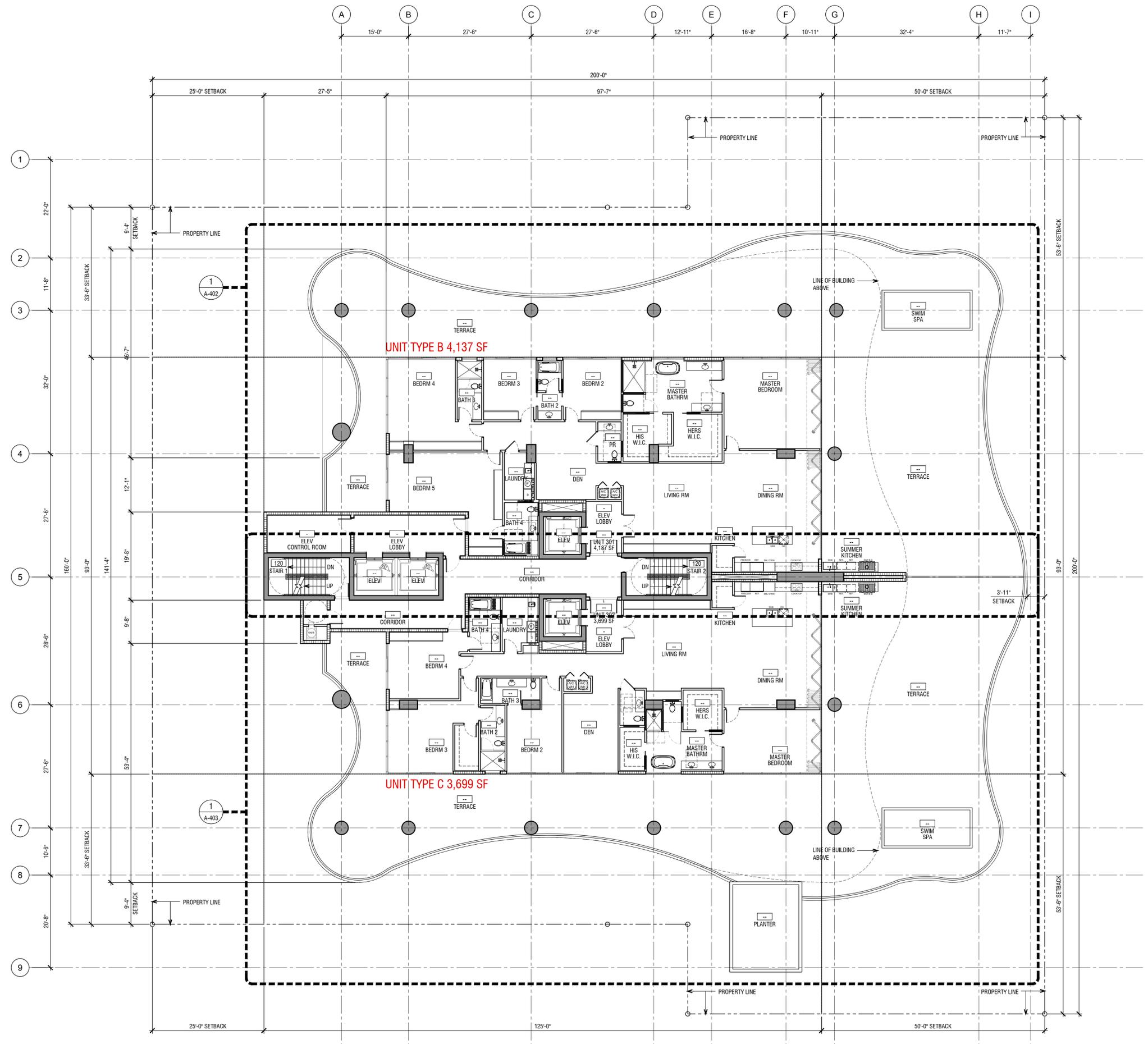
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

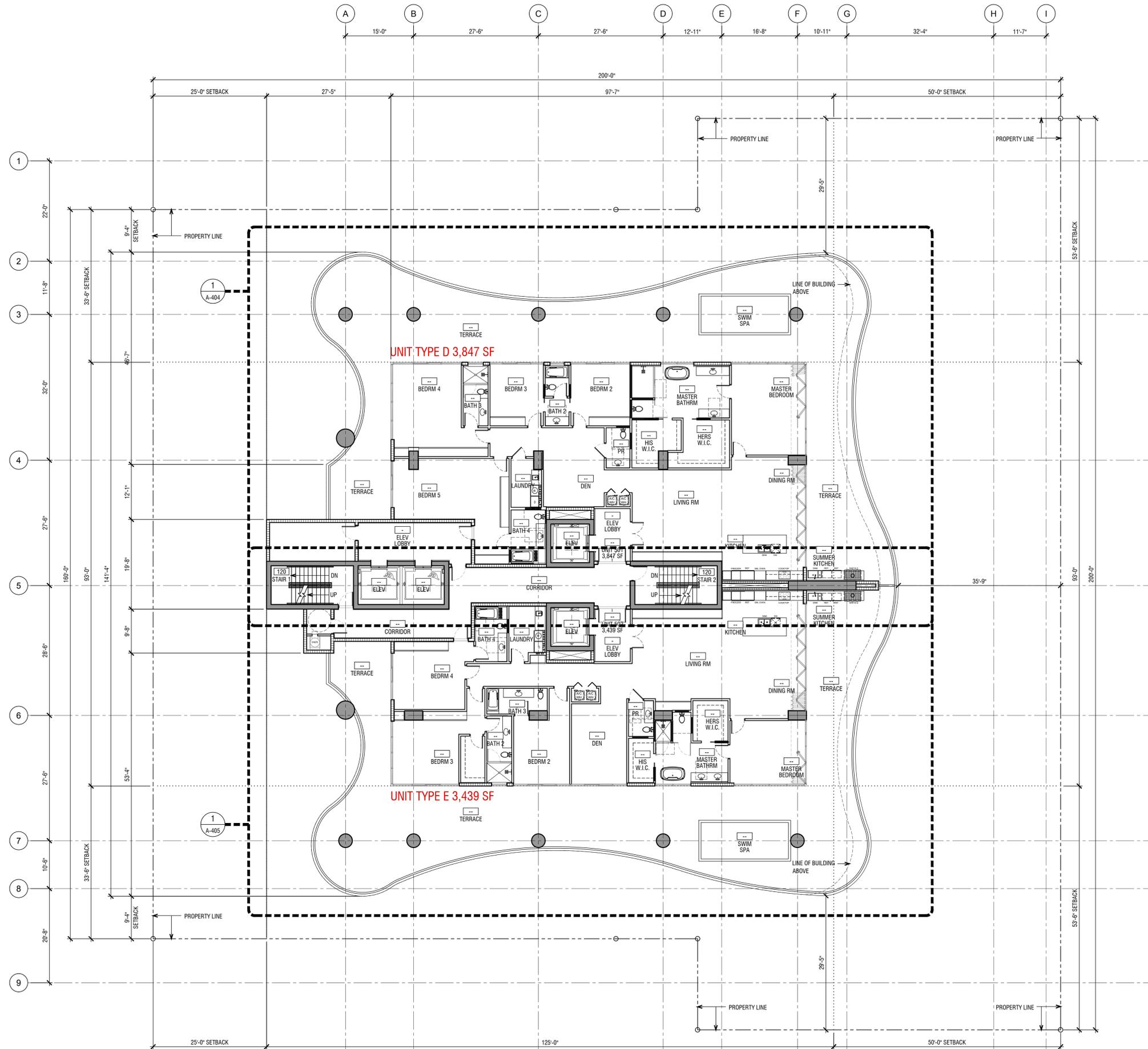
SHEET

A-103

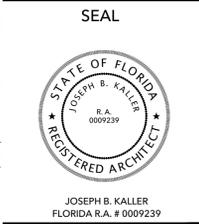


KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018





KallerArchitecture
 A.A.# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



PROJECT TITLE
BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
FIFTH FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK



SHEET
A-105



KallerArchitecture
 A.A.# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL



JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
 SIXTH FLOOR PLAN

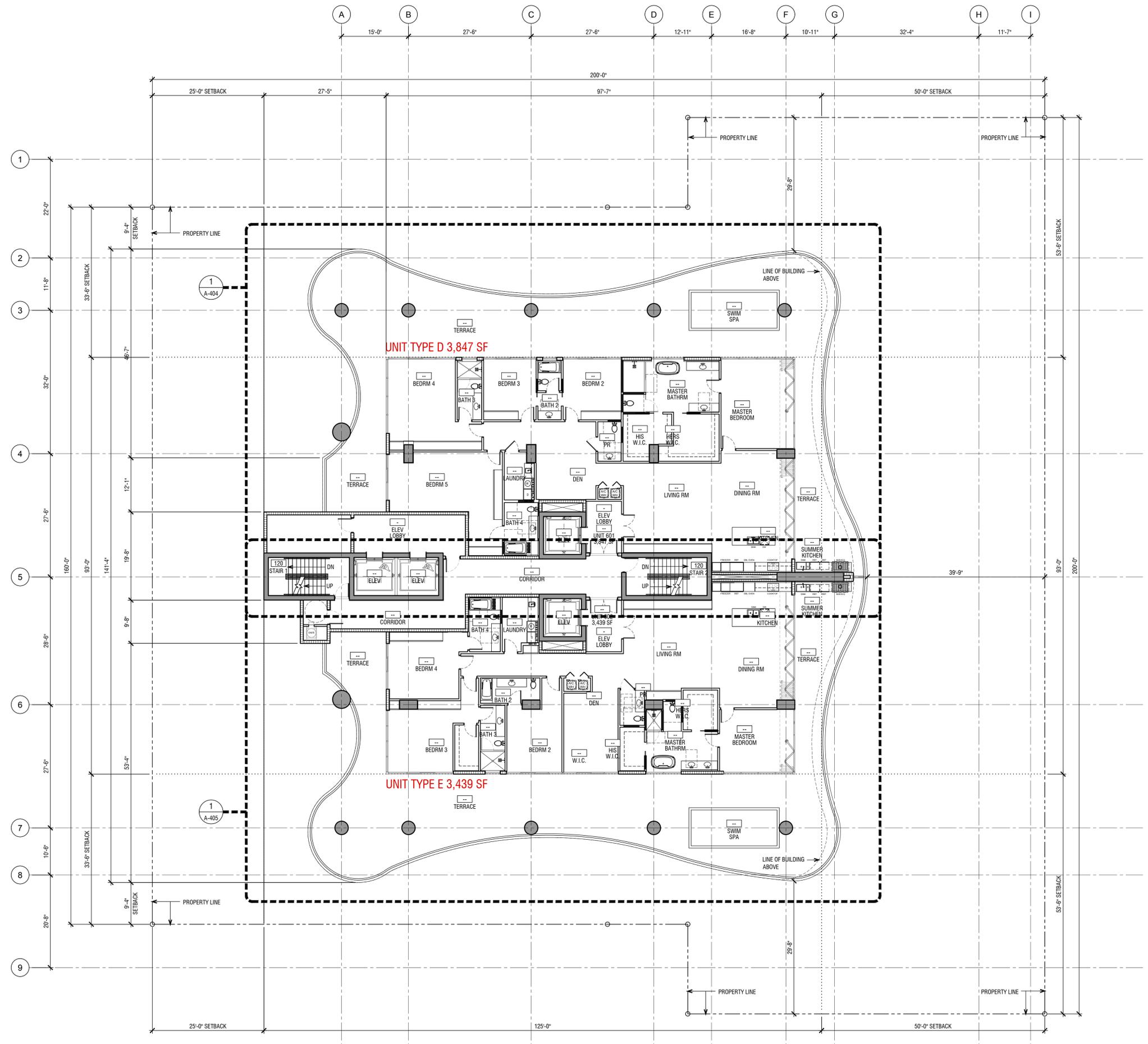
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JKB

SHEET

A-106

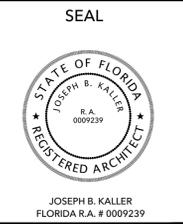


KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018





KallerArchitecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



PROJECT TITLE
**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
 SEVENTH FLOOR PLAN
 EIGHTH FLOOR PLAN

REVISIONS

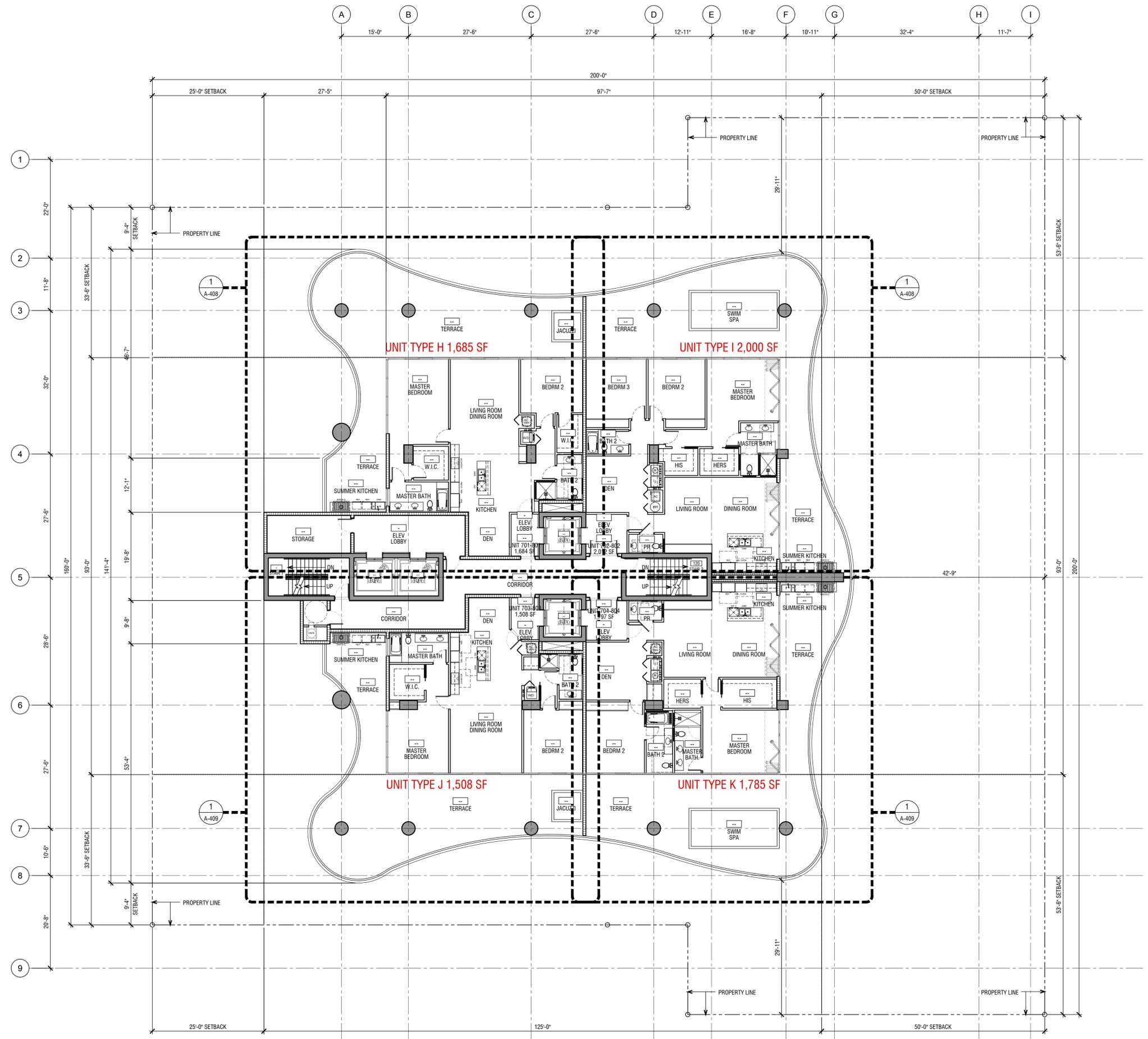
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

A-107

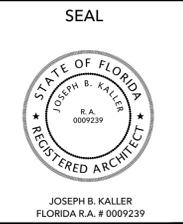


KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018





KallerArchitecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE
 9TH TO 11TH FLOOR PLAN

REVISIONS

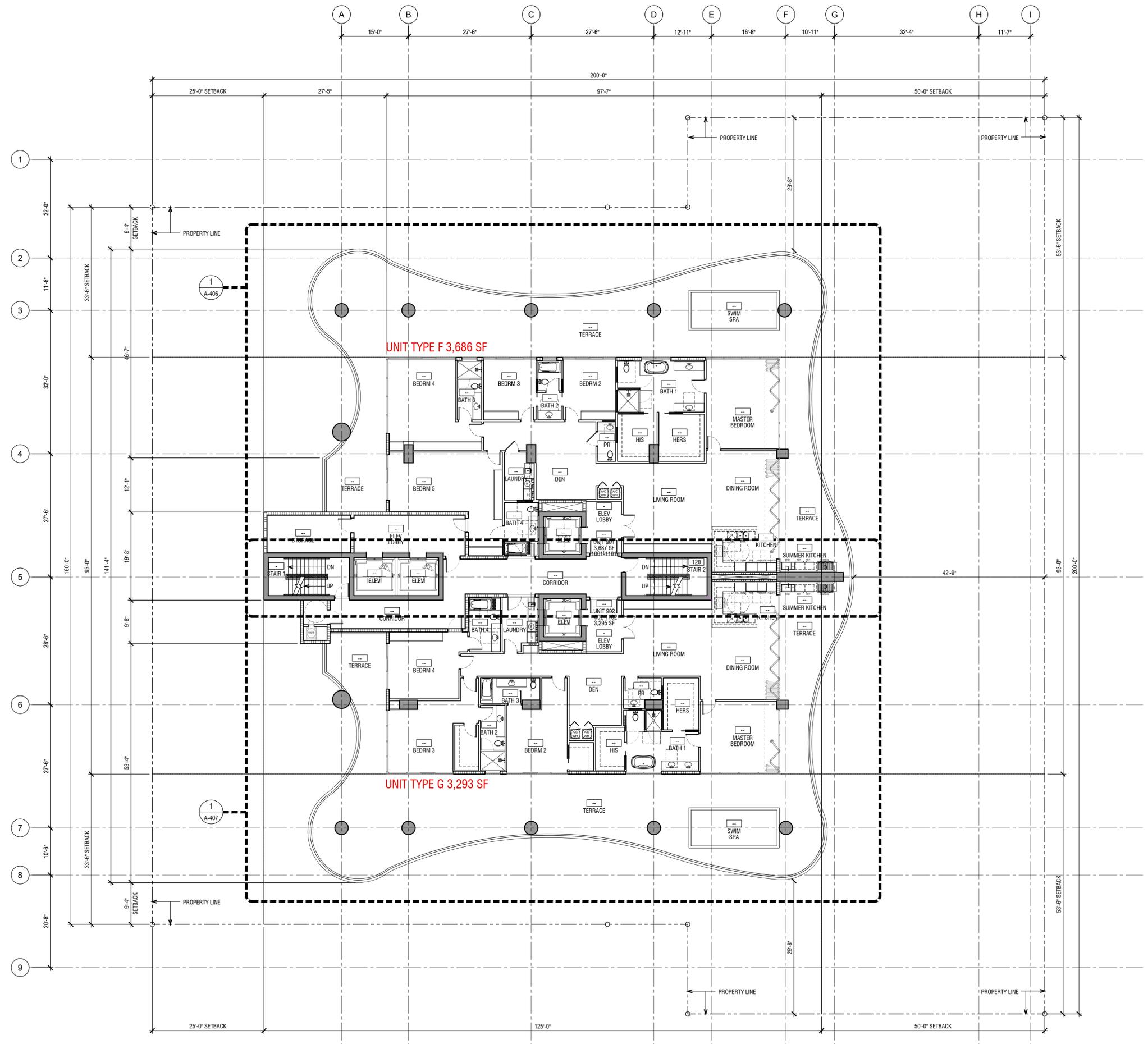
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

A-108

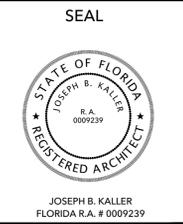


KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018





Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE
TWELFTH FLOOR PLAN

REVISIONS

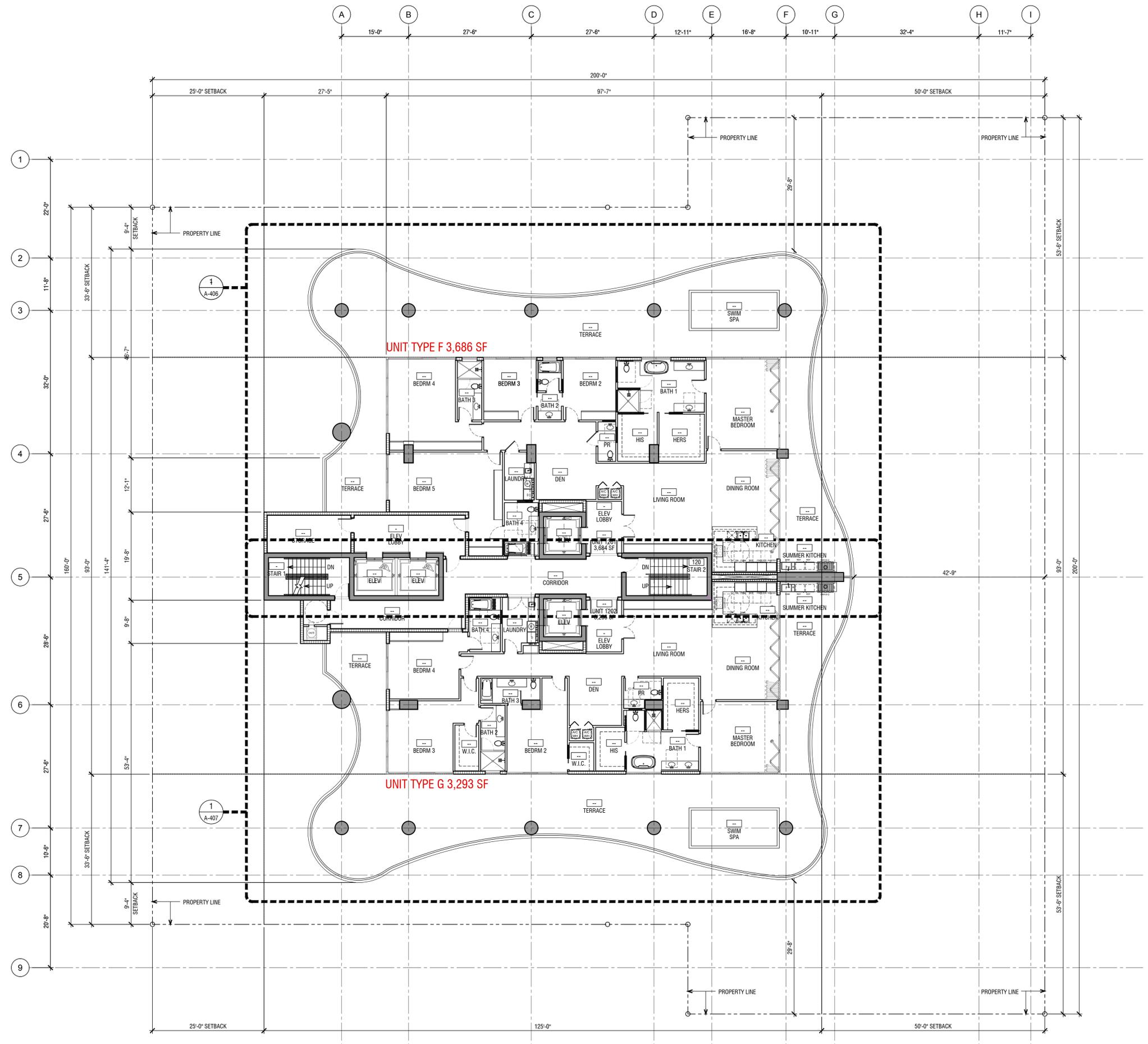
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

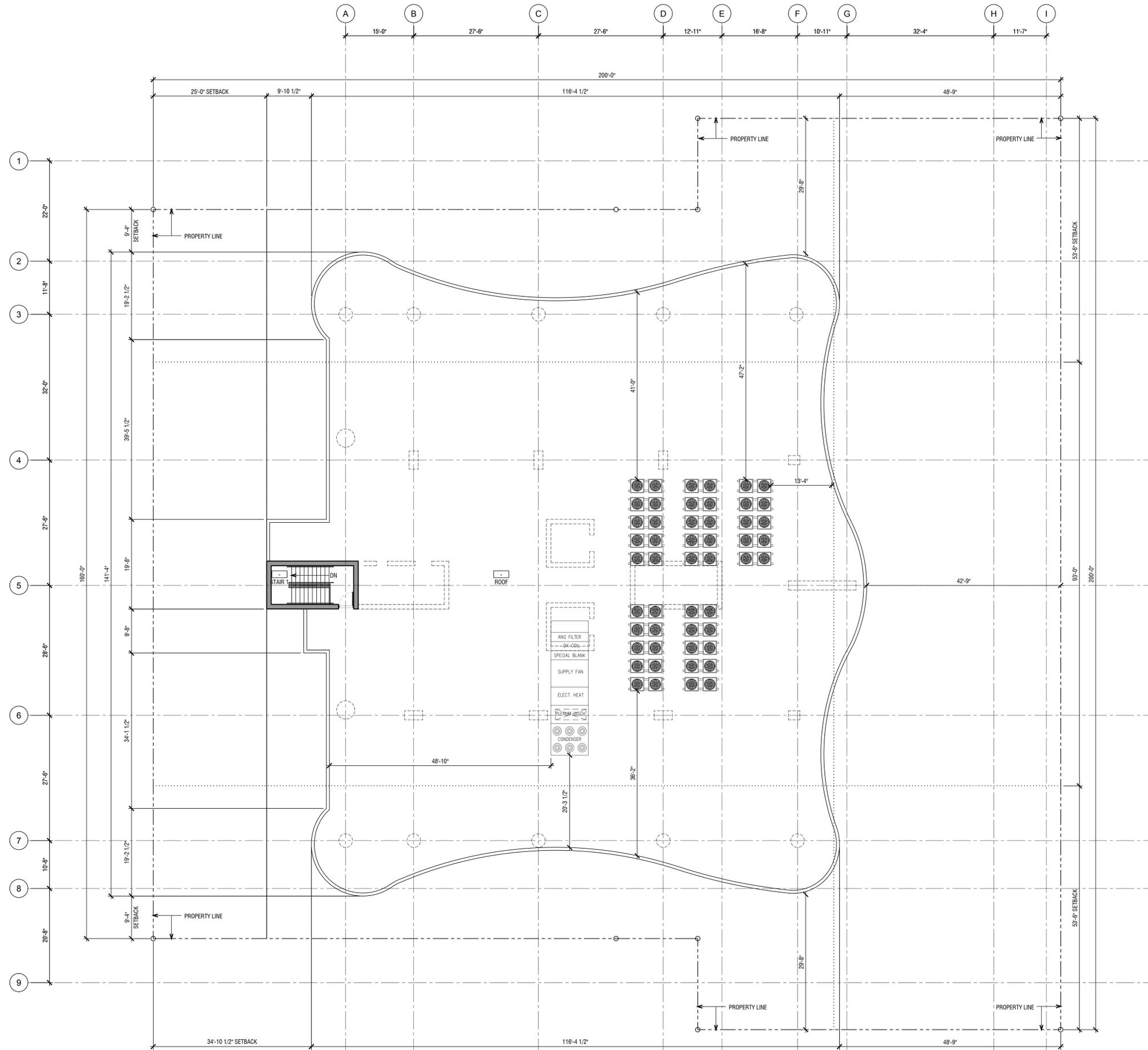
SHEET

A-109



KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018





1 ROOF PLAN
3/32 = 1'-0"



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL



JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
 ROOF PLAN

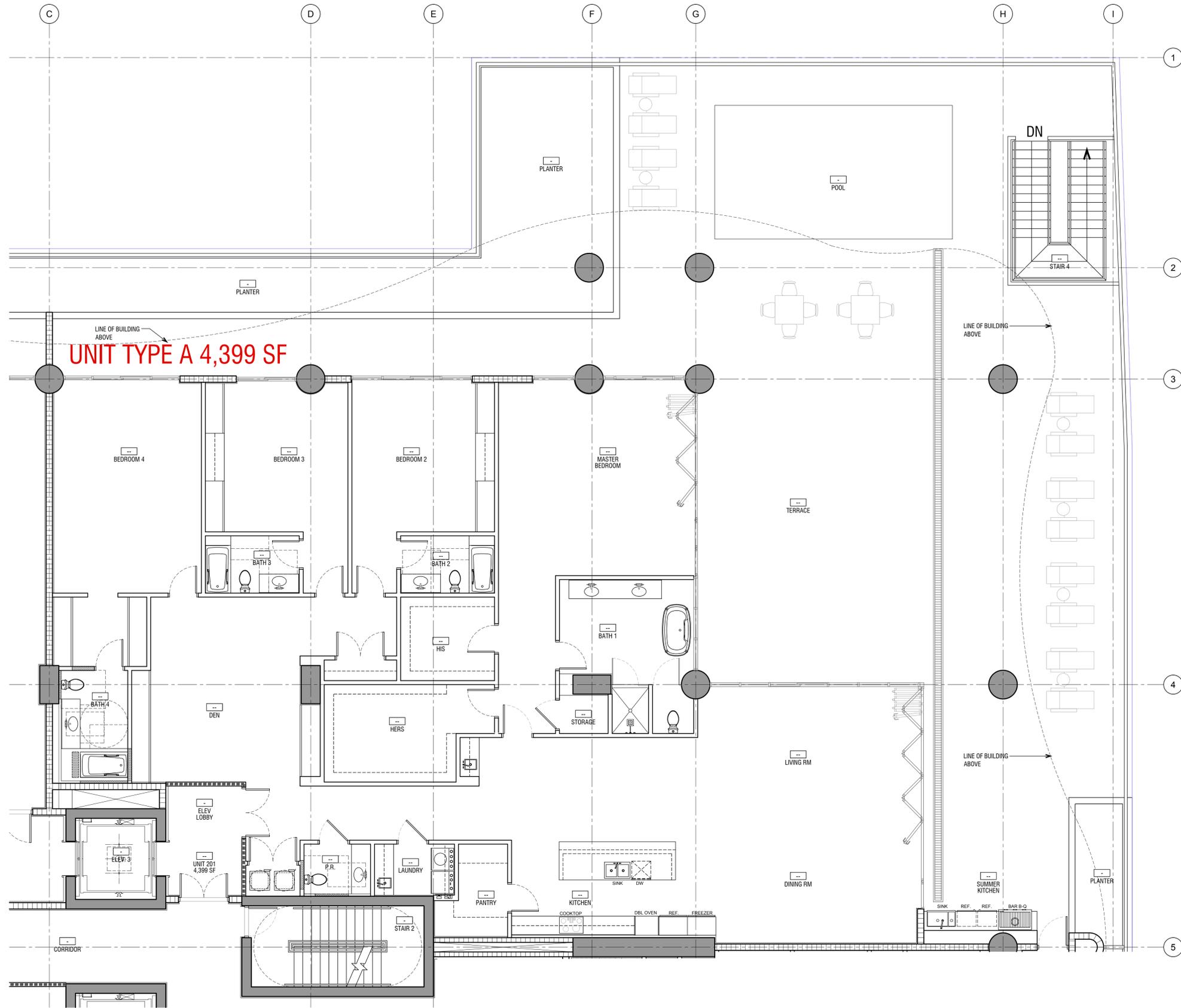
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JKB

SHEET

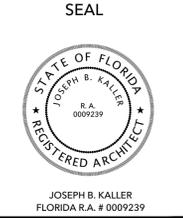
A-110



UNIT TYPE A 4,399 SF



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE
ENLARGED UNIT TYPE A

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK



SHEET
A-401



KallerArchitecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL



JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE
ENLARGED UNIT TYPE B

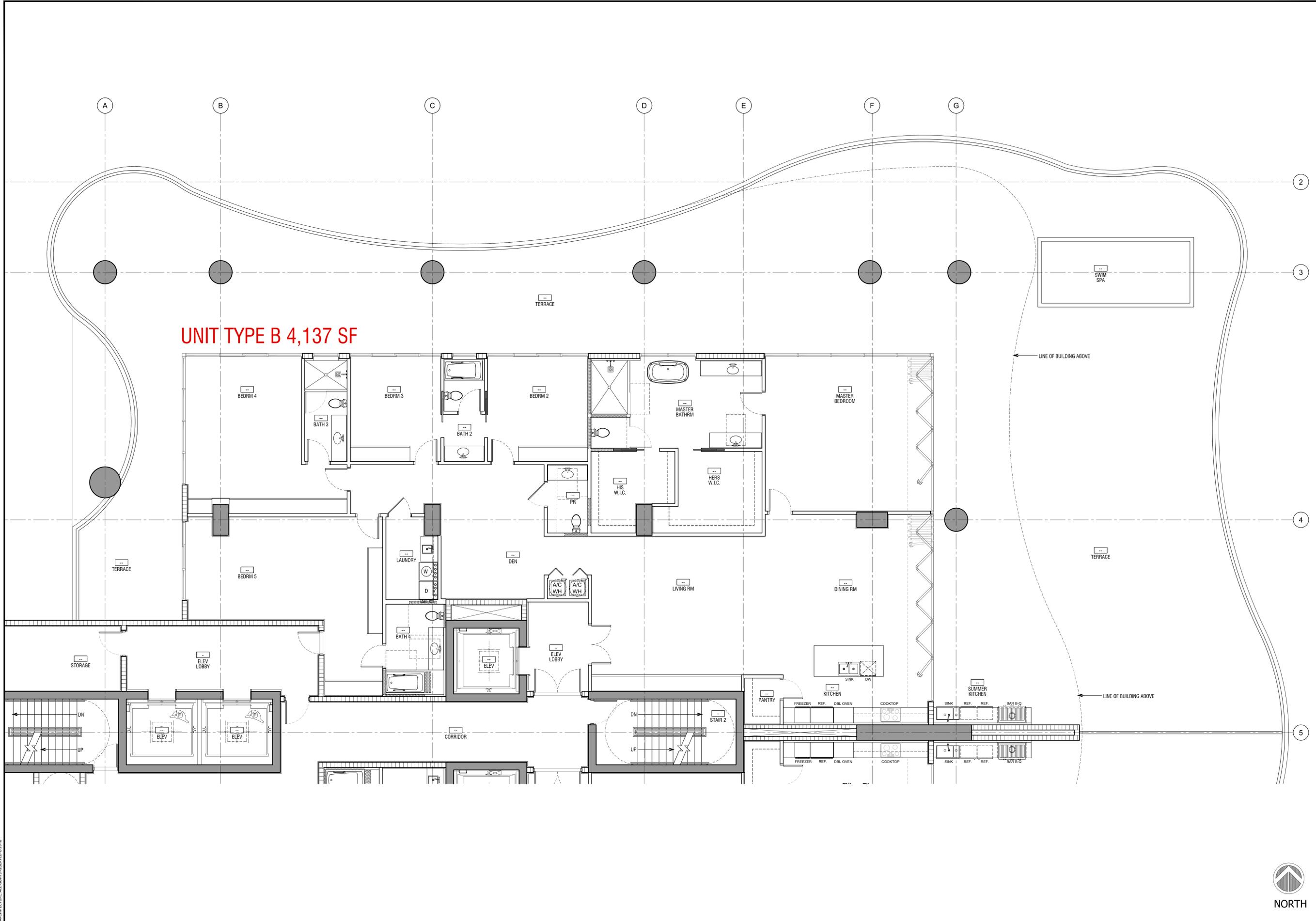
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

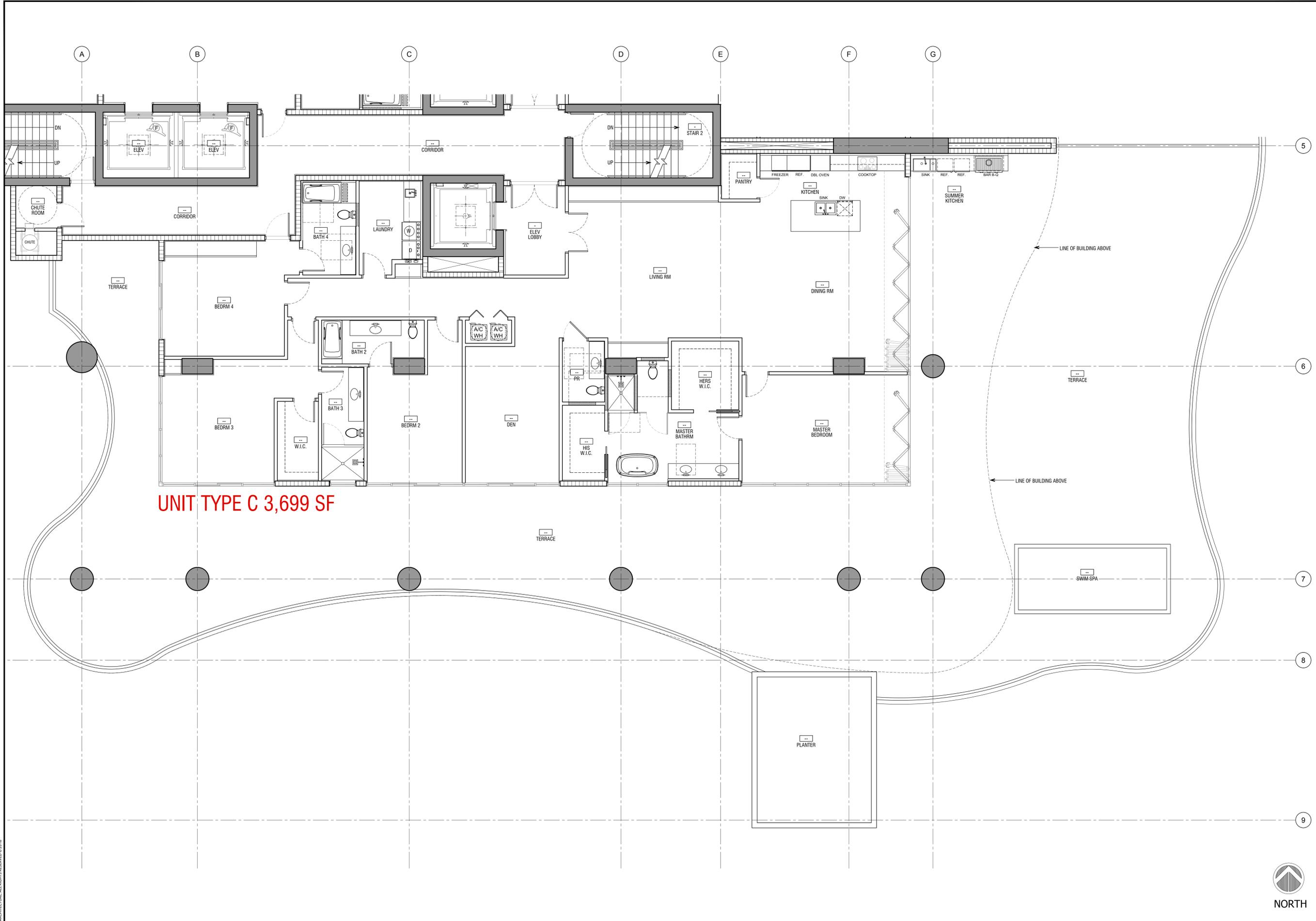
A-402



UNIT TYPE B 4,137 SF

1 ENLARGED UNIT B
 3/16" = 1'-0"

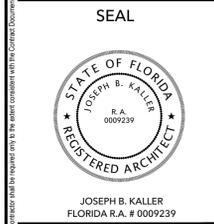
KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018



UNIT TYPE C 3,699 SF



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



PROJECT TITLE
BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
ENLARGED UNIT TYPE C

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK



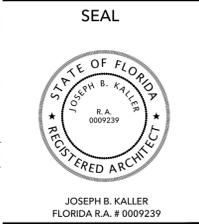
SHEET
A-403

KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018

1 ENLARGED UNIT C
 3/16" = 1'-0"



KallerArchitecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

PROJECT TITLE
 SHEET TITLE

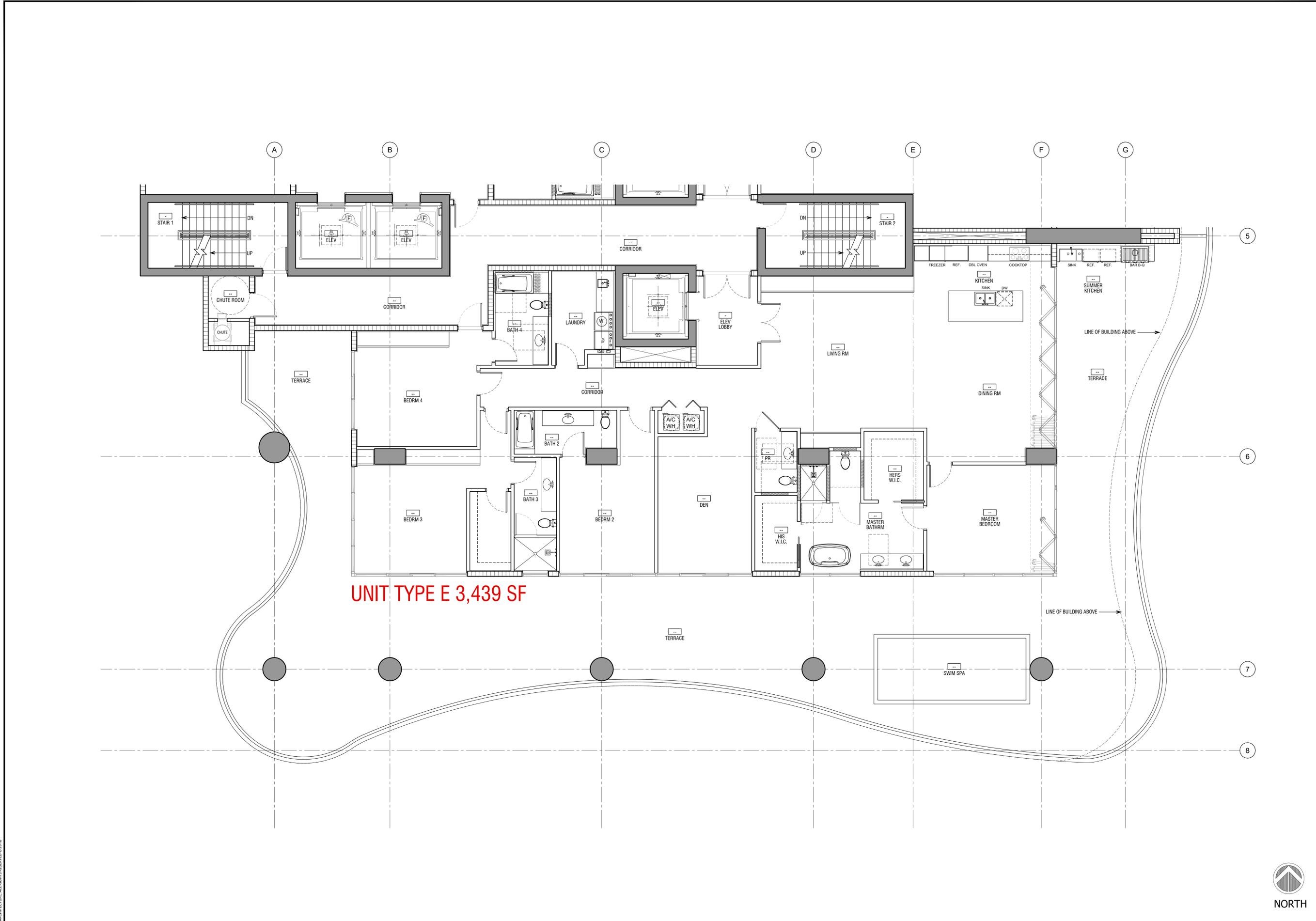
ENLARGED UNIT TYPE E

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET
A-405

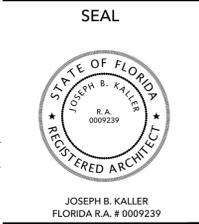


1 ENLARGED UNIT E
 3/16" = 1'-0"

KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



PROJECT TITLE
BELLAMAR RESIDENCES
AT HOLLYWOOD BEACH
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
ENLARGED UNIT TYPE F

REVISIONS

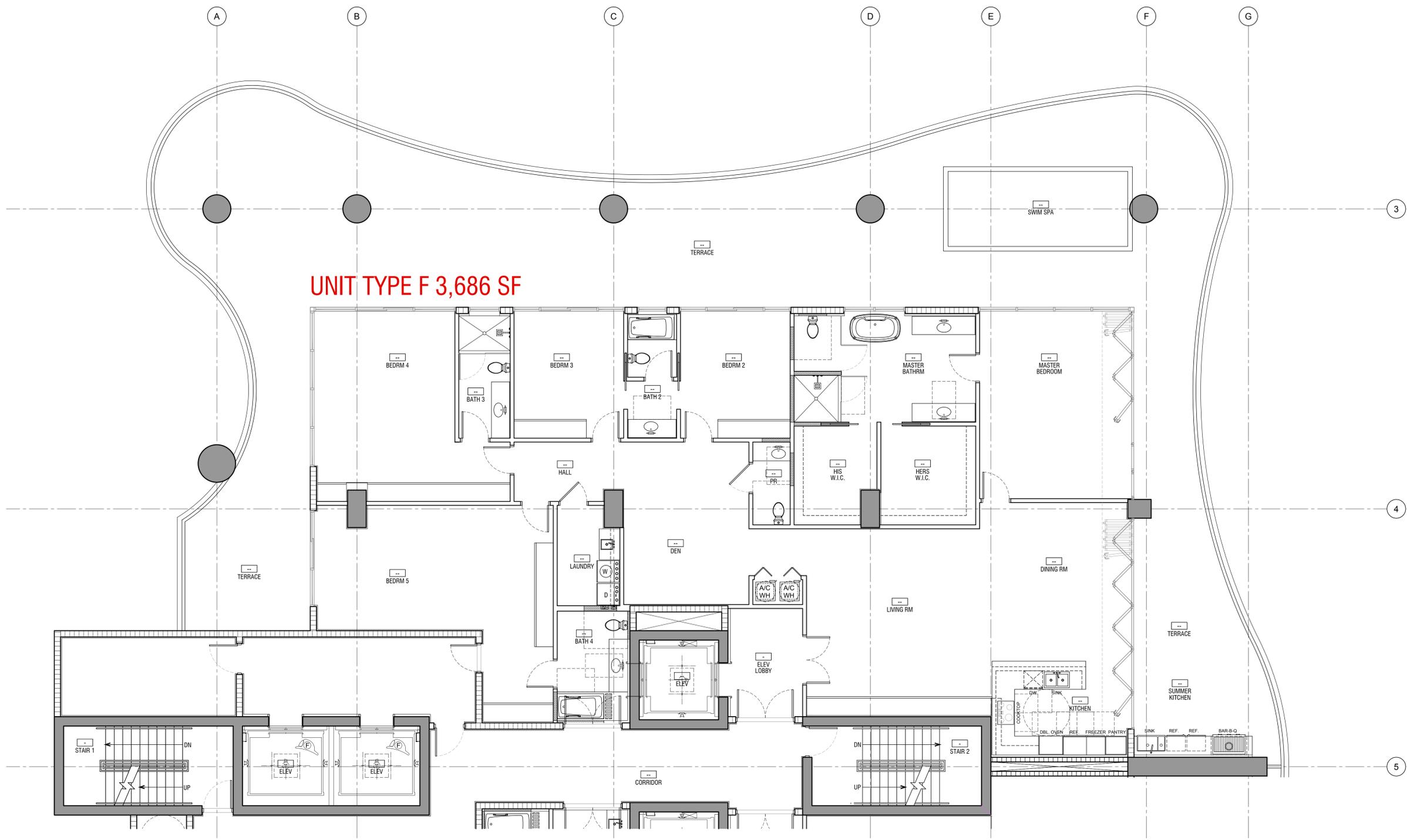
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

A-406



UNIT TYPE F 3,686 SF



KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018

1 ENLARGED UNIT F
 3/16" = 1'-0"



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL



JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE
ENLARGED UNIT TYPE G

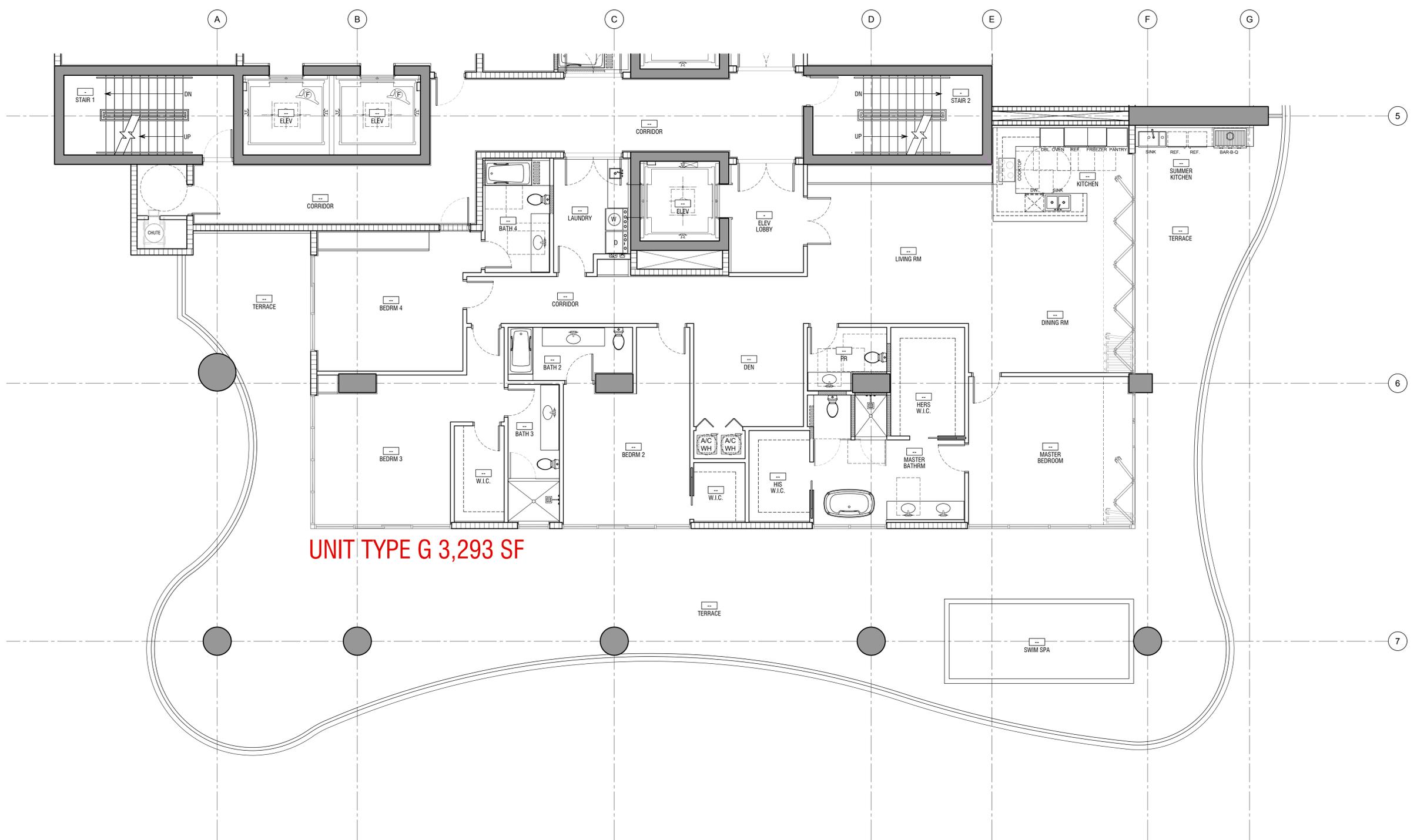
REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

A-407



UNIT TYPE G 3,293 SF

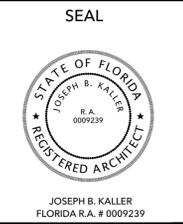


KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018

1 ENLARGED UNIT G
 3/16" = 1'-0"



KallerArchitecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com



PROJECT TITLE
**BELLAMAR RESIDENCES
 AT HOLLYWOOD BEACH**
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33019

SHEET TITLE
ENLARGED UNIT TYPE J & K

REVISIONS

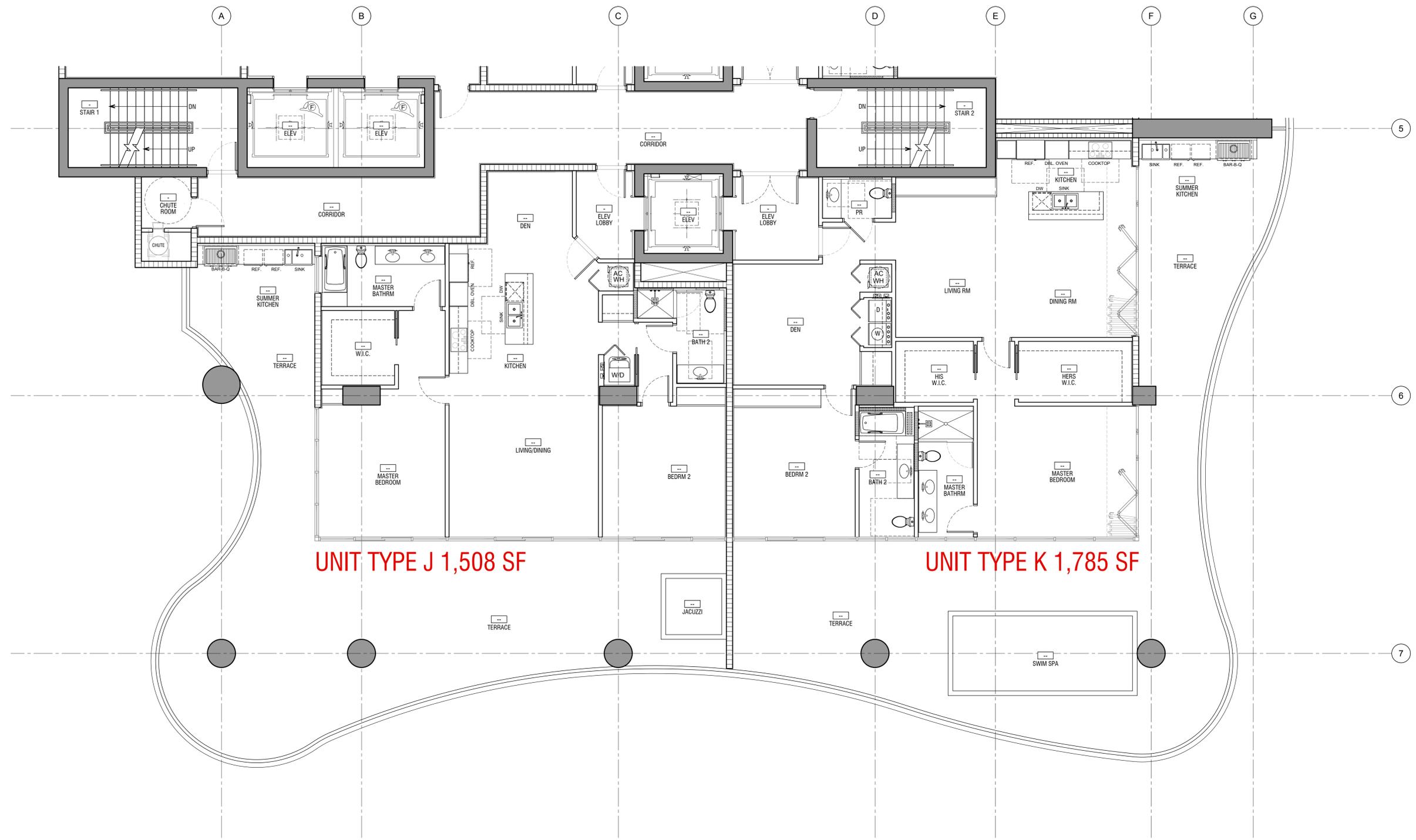
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 15202
 DATE: 08.19.2019
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

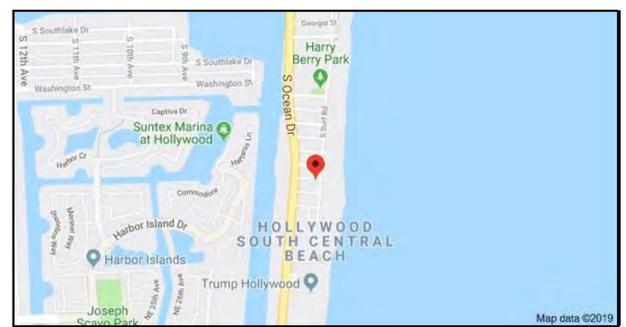
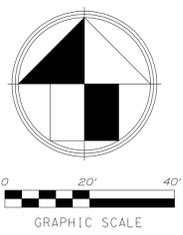
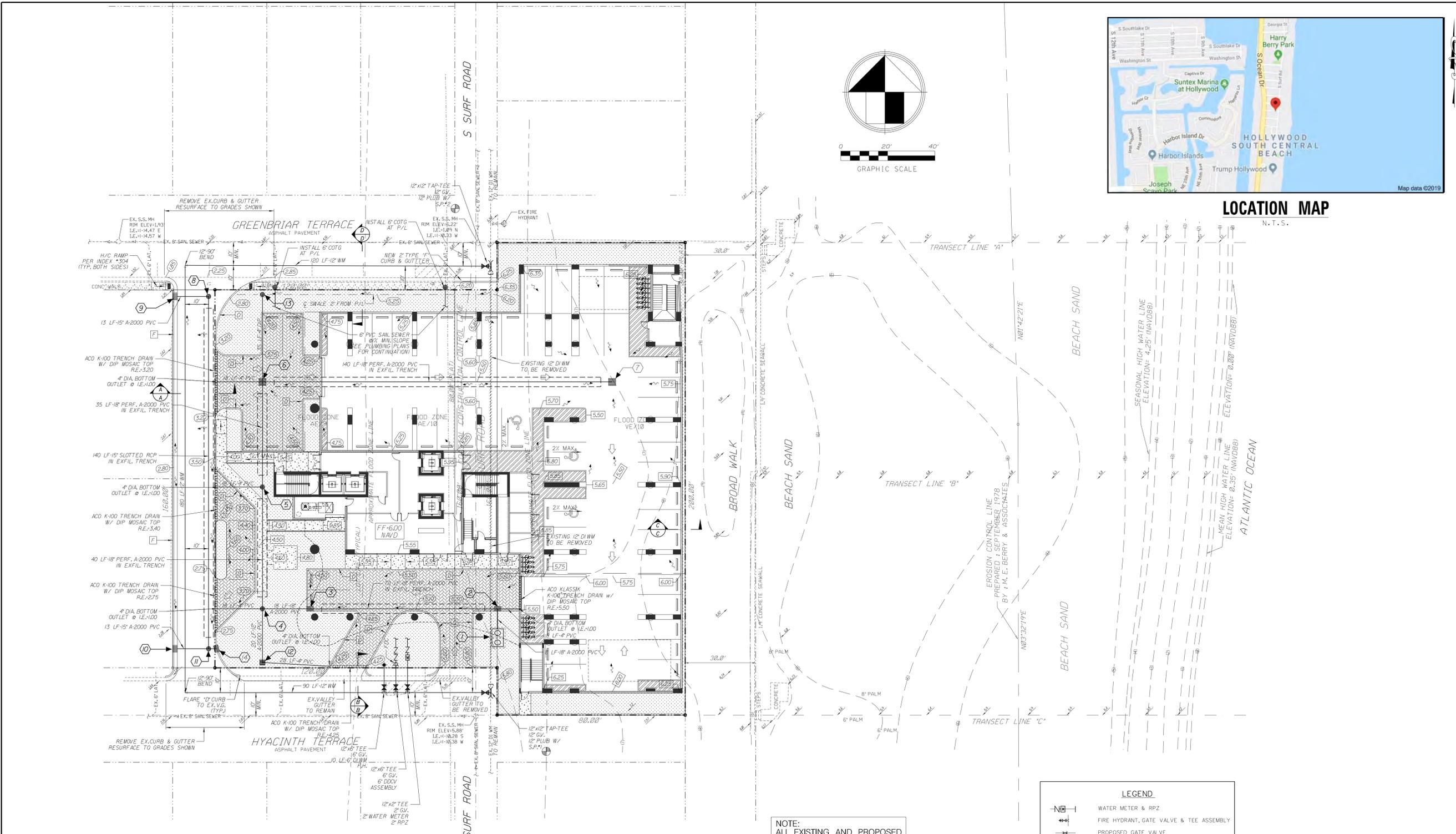
A-409



KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018

1 ENLARGED UNITS J & K
 3/16" = 1'-0"





LOCATION MAP
N.T.S.

REVISIONS:

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

Kaller Architecture
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

Bellamar Residences
HOLLYWOOD
FLORIDA 33020
CIVIL ENGINEERING PLAN

GGB Engineering, Inc.
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 FLORIDA REGISTRATION NO. 8118
 2699 String Road, Suite C-202
 Fort Lauderdale, Florida 33312
 Phone: (954) 986-9899
 Fax: (954) 866-8655

DATE: May 2019
 SCALE: 1"=20'
 DESIGNED BY: G.C.B.
 DRAWN BY: F.M.
 PROJECT NO.: 19-0315
 SHEET: C-1

DRAINAGE STRUCTURE TABLE

STR. No.	DESCRIPTION	RIM ELEVATION	INVERT ELEV. NORTH	INVERT ELEV. SOUTH	INVERT ELEV. EAST	INVERT ELEV. WEST	PRB (POLLUTION RETARDANT BAFFLE)
1	DRAINAGE WELL						See Detail Sheet C-3
2	CURB INLET	5.40		0.25		0.50	Inv. PRB(W) @ 3.00
3	CURB INLET	4.25					
4	4" DIA. MH	4.00	0.50		0.50	0.50	
5	4" DIA. MH	4.25	0.50	0.50		0.50	
6	TYPE 'D' INLET	3.50	0.50	0.50	0.50	0.50	E&S
7	TYPE 'C' INLET	5.25				0.50	
8	4" DIA. MH	2.60		0.00			
9	CURB INLET	2.35				0.10	
10	CURB INLET	2.10				0.10	
11	TYPE 'D' INLET	2.65	0.00				
12	TYPE 'C' INLET	3.00	0.50			0.50	
13	8" NYLOPLAST	3.25		1.25			
14	CURB INLET	2.70				0.60	

- WATER & SEWER UTILITY NOTES:**
- FIRE LINE TO BE C53 D.I.P. WITH POLY-WRAP, OR PVC DR-14 WITH 200 PSIRATING.
 - 2" NIBCO-SCOTT T-133 GATE VALVE (G.V.) REQUIRED FOR ALL NEW 2" WATER SERVICE LINES
 - CONTRACTOR TO FIELD VERIFY SIZE OF EXISTING LATERALS, 6" SEWER LATERAL CHANGE-OUT CAN BE PROVIDED IF EXISTING LINES ARE NOT SIZED AS INDICATED.
 - PAVEMENT RESTORATION PER MINIMUM CITY OF HOLLYWOOD STANDARDS AND REQUIREMENTS.

NOTE: ALL EXISTING AND PROPOSED GRADE ELEVATIONS REFER TO 1988 NAVD DATUM.

NOTE: ALL PROPOSED STORM PIPING TO BE A-2000 PVC PIPING.

NOTE: ALL PROPOSED CLEANOUT TO GRADE (COTG) TO HAVE TRAFFIC BEARING LID.

NOTE: ALL PROPOSED BUILDING AREAS ARE TO BE DRY FLOOD-PROOFED TO 8.00' NAVD ELEVATION IN ACCORDANCE WITH FLORIDA BUILDING CODE AND ASCE 24 STANDARDS.

NOTE: GARAGE CONSTRUCTION AND RIGHT-OF-WAY WORK TO BE COORDINATED WITH CITY CRA STREETSCAPE PROJECT.

LEGEND

	WATER METER & RPZ
	FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
	PROPOSED GATE VALVE
	BACTERIOLOGICAL SAMPLING POINT
	DOUBLE SEWER LATERAL
	SINGLE SEWER LATERAL
	CLEAN OUT TO GRADE
	R.E.
	G.E.
	I.E.
	DIRECTION OF OVERLAND FLOW
	P.R.B.
	F.F.
	EXISTING OR FUTURE UTILITIES
	PROPOSED GRADE
	PROPOSED CONCRETE GRADE
	PROPOSED STRUCTURE NUMBER
	PROPOSED TYPE 'F' CURB & GUTTER
	PROPOSED TYPE 'D' CURB

GENERAL NOTES

1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
2. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	Gas/Cable
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

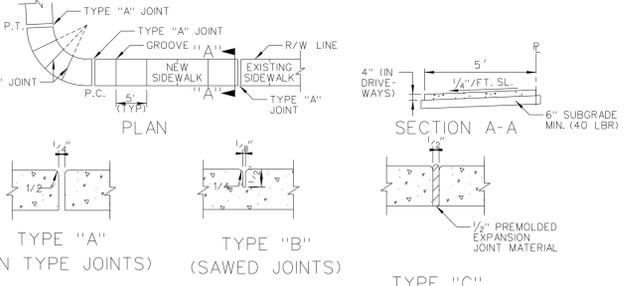
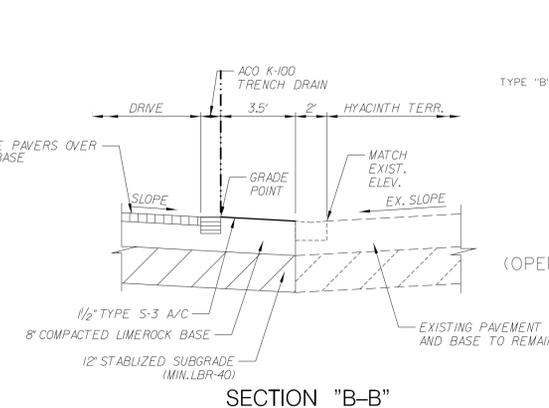
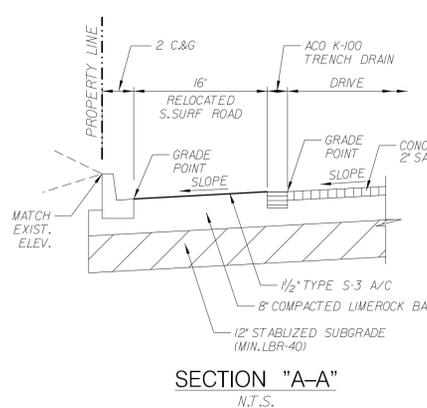
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES:
FLORIDA POWER AND LIGHT COMPANY
BELL SOUTH
COMCAST CATV
CITY OF HOLLYWOOD
4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
5. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO CITY OF HOLLYWOOD FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.
7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FPLM, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.
8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.
10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK.
11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.
12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.

PAVEMENT MARKING AND SIGNING NOTES

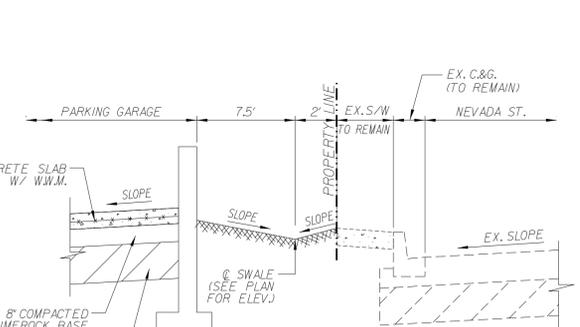
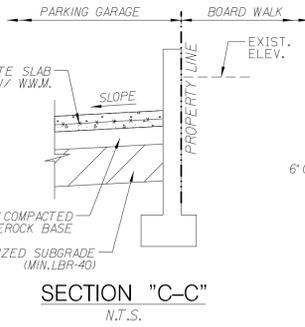
1. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION; SEE SECTION 717-MINIMUM THICKNESS 90 MILS (ALKYD ONLY).
2. ALL MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
3. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT.
4. THESE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
5. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF HOLLYWOOD BEFORE INSTALLATION.
6. REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART.
7. THREE BLUE REFLECTORS SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD AND PARKING LOT AREA SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
3. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
4. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL, NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
6. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLYS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
7. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
8. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
9. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1 FOOT OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN.
10. ALL SUBGRADE SHALL HAVE AN LBR OF 40, UNLESS OTHERWISE NOTED, AND SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
11. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM AND MAGNESIUM, UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMO.
12. ASPHALT SHALL BE OF THE TYPE DESIGNATED ON THE DRAWINGS.
13. PLASTIC FILTER FABRIC SHALL BE MARFIL, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FOOT STANDARD SPECIFICATIONS.
14. CONCRETE SIDEWALK SHALL BE 4 INCHES THICK ON COMPACTED SUBGRADE, WITH 1/2 INCH EXPANSION JOINTS PLACED AT A MAXIMUM OF 75 FEET. CRACK CONTROL JOINTS SHALL BE 5 FEET ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS OTHERWISE SPECIFIED BY LOCAL CODES, OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6 INCHES THICK WITH 6" X 6" (60G) WELDED WIRE MESH REINFORCEMENT.
15. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76, CLASS III, WALL THICKNESS "B", LATEST EDITION.
CMP = CORRUGATED METAL ALUMINUM PIPE, ASTM DESIGNATION M-196 CMP (SMOOTH LINED), ASTM DESIGNATION M-196 (SMOOTH LINES), ASTM DESIGNATION M-196
SCP = SLOTTED CONCRETE PIPE, FOOT SECTIONS 941 AND 942.
PCMP = POLYETHYLENE CORRODE PIPE
PCMP = PERFORATED CMP, FOOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = SMOOTH LINED HIGH DENSITY POLYETHYLENE, AASHTO M 294 TYPE S
16. ASPHALTIC CONCRETE TYPE S-B SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 331-1 THROUGH 331-6 OF F.D.O.T. STANDARD SPECIFICATIONS. ASPHALTIC CONCRETE TYPE S-1 SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF F.D.O.T. STANDARD SPECIFICATIONS.
17. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
18. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
19. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM SPECIFICATION A-615 AND A-305, LATEST REVISION.
20. ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
21. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
22. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2" CEMENT MORTAR.
23. JOINTS IN CORRUGATED ALUMINUM PIPE SHALL EMPLOY CORRUGATED METAL BANDS OF SIMILAR METAL, AND CORRUGATIONS WITH NEOPRENE, RAM-NEK, OR BITUMASTIC GASKETS INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
24. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 OF THE FLORIDA DOT STANDARD SPECIFICATIONS, LATEST REVISION.
25. ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART IV, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
27. JOINTS IN HDPE PIPE SHALL BE ADS PRO LINK ST, HANCOR SURE-LOK OR APPROVED EQUAL.



- NOTES**
1. ALL CONCRETE SHALL BE 3000 PSI 4" THICK 6" THICK (MIN.) AT DRIVEWAYS ONLY.
 2. TYPE "A" JOINT TO BE USED AT P.C. AND PT OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK
 3. TYPE "B" JOINT TO BE USED AT 5'-0" CENTER TO CENTER ON SIDEWALKS.
 4. TYPE "C" JOINT TO BE USED WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
 5. SIDEWALK SLOPES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.).
 6. SIDEWALK SHALL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ULTIMATE SECTION.
 7. ALL MUCK AND / OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACE WITH CLEAN FILL.



Grate	Product	Grate Size	Flow	Flow	Flow
A	10140201 channel	4" round	4.62	117	0.25
B	10140202 channel	4" round	11.92	298	0.43
C	10140203 channel	4" round	4.62	388	0.43
D	10140204 channel	4" round	11.92	298	0.43
E	10140205 channel	4" round	4.62	117	0.27
F	10140206 channel	4" round	11.92	298	0.33
G	10140207 channel	4" round	9.33	230	0.29
H	10140208 channel	4" round	11.92	298	0.29
I	10140209 catch basin	4" round	15.03	220	0.45
J	10140210 catch basin	4" round	24.22	622	1.25
K	10140211 catch basin	4" round	15.03	220	0.45
L	10140212 catch basin	4" round	24.22	220	0.49

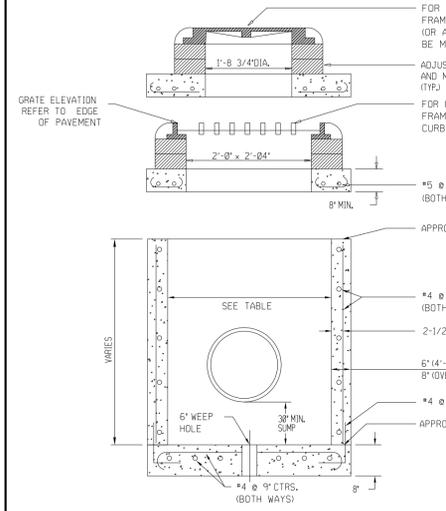
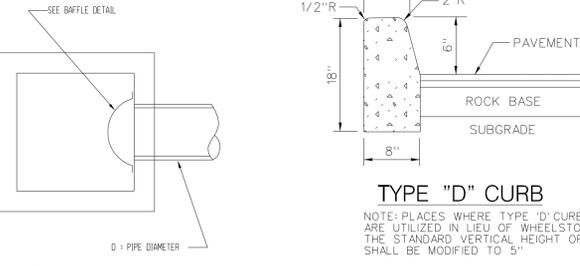
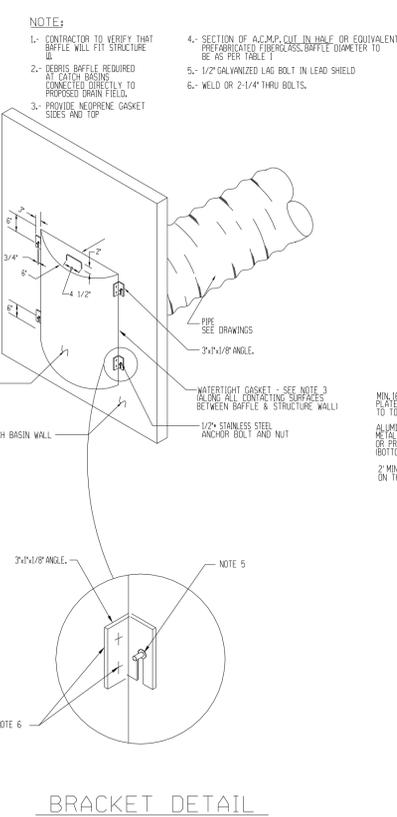


TABLE OF INSIDE DIMENSIONS FOR RECTANGULAR STRUCTURES

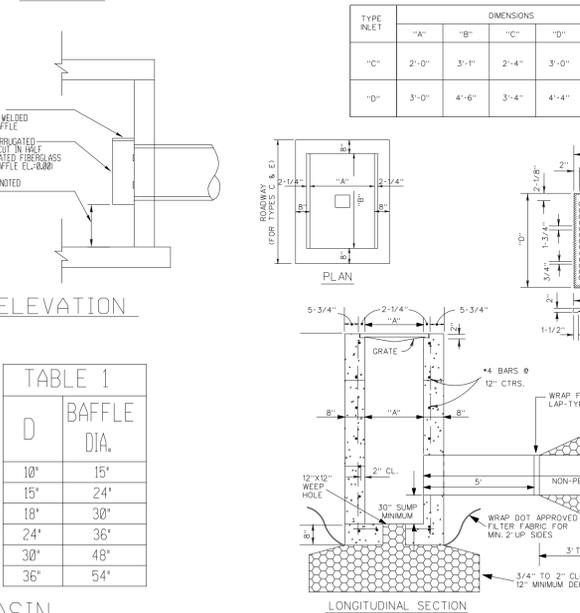
STRUCTURE TYPE	INLET	MANHOLE
B	3'-0" X 3'-0"	3'-0" X 3'-0"
C	3'-0" X 4'-0"	3'-0" X 4'-0"
D	3'-0" X 5'-0"	3'-0" X 5'-0"
F	4'-0" X 4'-0"	4'-0" X 4'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
H	5'-0" X 6'-0"	5'-0" X 6'-0"
J	6'-0" X 6'-0"	6'-0" X 6'-0"
K	4'-0" X 6'-0"	4'-0" X 6'-0"
L	3'-0" X 6'-0"	3'-0" X 6'-0"
M	5'-0" X 5'-0"	5'-0" X 5'-0"



TYPE 'D' CURB

NOTE: PLACES WHERE TYPE 'D' CURB ARE UTILIZED IN LIEU OF WHEELSTOPS, THE STANDARD VERTICAL HEIGHT OF 6" SHALL BE MODIFIED TO 5".

TYPE INLET	"A"	"B"	"C"	"E"	"A"	"B"
"C"	2'-0"	3'-1"	2'-4"	3'-0"	11"	8"
"D"	3'-0"	4'-6"	3'-4"	4'-4"	1'-5"	30"



EXFILTRATION TRENCH

DRAINAGE STRUCTURES SECTION DETAILS

POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL

TABLE 1

D	BAFFLE DIA.
10'	15'
15'	24'
18'	30'
24'	36'
30'	48'
36'	54'

REVISIONS:

1	
2	
3	
4	
5	
6	
7	
8	

CLIENT: Kaller Architecture
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

PROJECT: Bellamar Residences
FLORIDA 33020
HOLLYWOOD

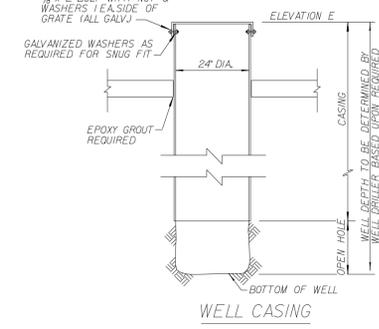
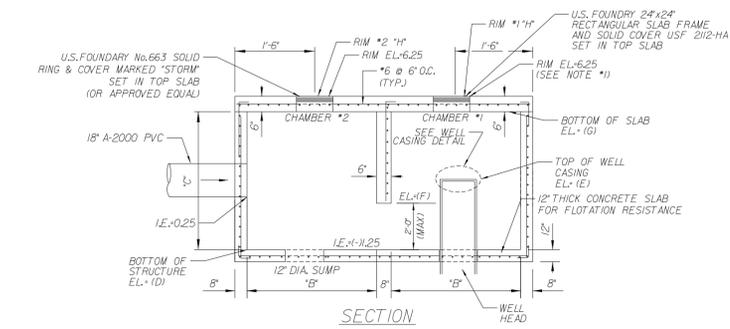
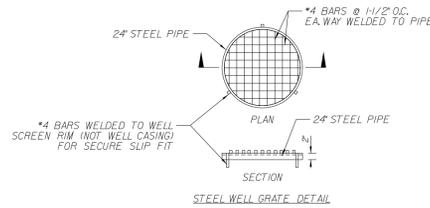
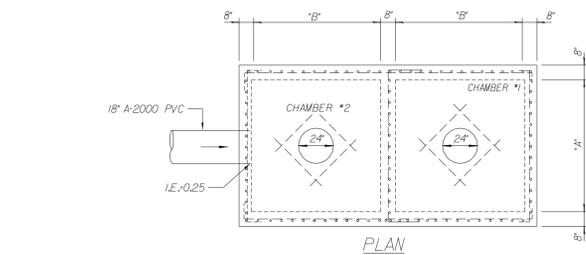
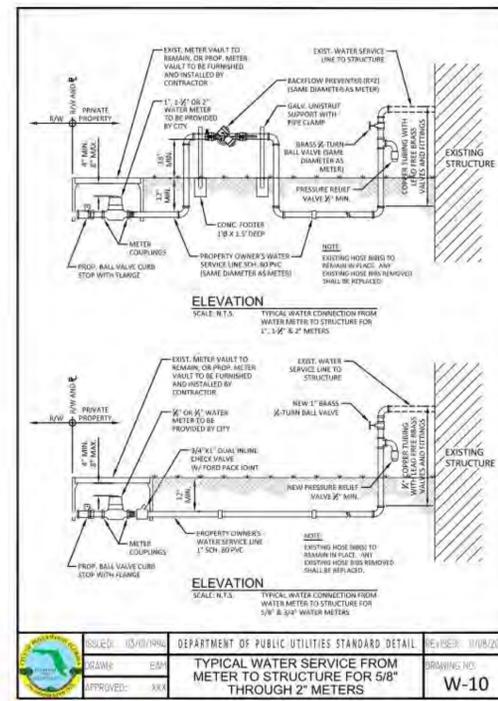
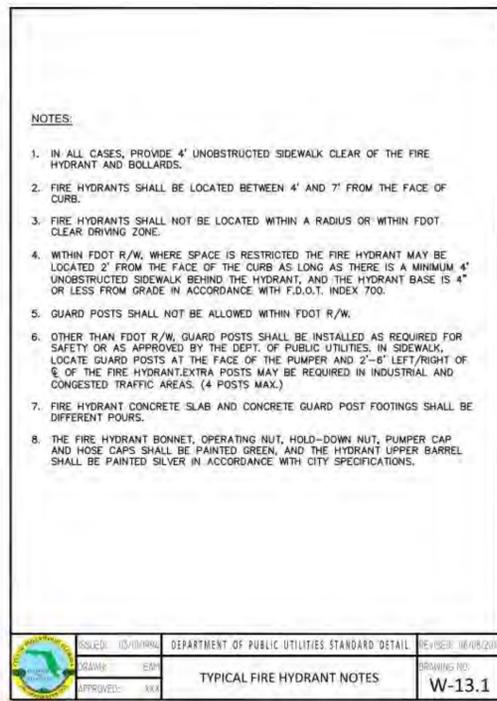
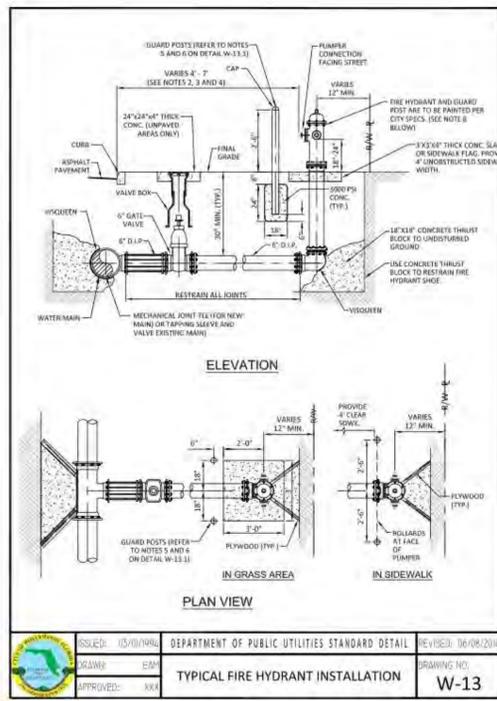
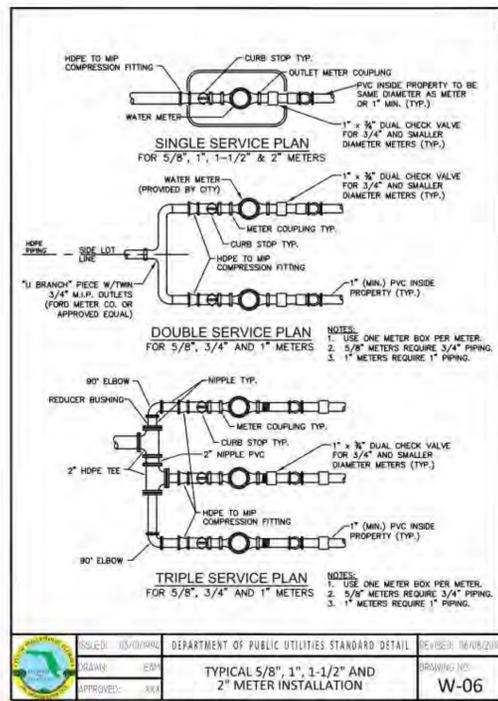
TASK: CONSTRUCTION DETAILS

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
• FLORIDA REGISTRATION NO. 818
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-8625

DATE: May 2019
DESIGNED BY: G.C.B.
SCALE: N.T.S.
DRAWN BY: F.M.

PROJECT NO.: 19-0315
SHEET: C-2

GARY G. BLOOM, P.E.
FLA. LIC. NO. 38832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



STRUCTURE NUMBER	DIMENSION (FT)			ELEVATION N/A/D				CASING DIAMETER (IN)	WEIR CREST EL. (NGVD)
	A	B	C ¹	D	E	F	G		
S-1	5.0'	3.0'	7.00	1.1-25	3.00	0.75	5.75	24	N/A

NOTES:
* WALL HEIGHTS NOTED ARE ONLY APPROXIMATE. FINAL HEIGHT WILL BE BASED ON PLAN DESIGN AND REFLECTED ON PRECAST SHOP DRAWINGS.
** MINIMUM STRUCTURE BOTTOM ELEVATION TO BE AS REQUIRED TO PROVIDE A MINIMUM 2'-0" SUMP BELOW LOWEST PIPE INVERT OR 2'-0" BELOW ELEVATION 'F'.

DRAINAGE WELL LOCATION:
26degrees/00minutes/174 seconds North
80 degrees/07 minutes/0.46 seconds west

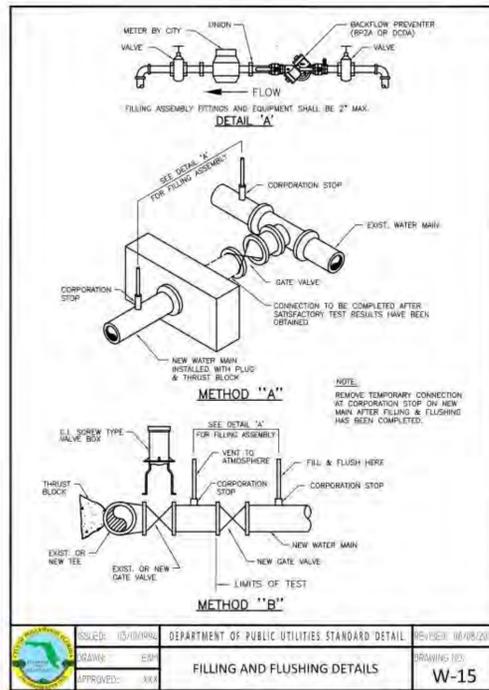
NOTES:

- MIN. DRAINAGE WELL CAPACITY REQUIRED IS 269 GPM PER FOOT OF HEAD.
- A CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH AT WHICH THE WATER CONTAINS A MINIMUM 10000 PPM OF TOTAL DISSOLVED SOLIDS
- WELL DRILLER SHALL OBTAIN A DEP. CLASS V, GROUP 5 PERMIT AND PROVIDE THE ENGINEER WITH COPY OF PERMIT.
- WELL DRILLER SHALL PROVIDE THE ENGINEER WITH CERTIFICATION OF CAPACITY AND COMPLETION OF CONSTRUCTION UPON COMPLETION OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED WELL DEPTH 100' MIN. PROVIDED BY WELL DRILLER WITH AN ADD/DEDUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID.

WELL STRUCTURE NOTES:

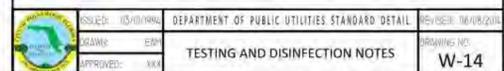
- SEE PLAN FOR RIM OR GRATE ELEVATIONS.
- TOP SLAB OPENINGS TO HAVE ADDITIONAL No.8 BARS AROUND OPENINGS, UNLESS OTHERWISE SPECIFIED BY FABRICATOR.
- PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS DESIGNED ON PLAN. CHAMBERS TO HAVE U.S.F. 663 RING AND AA COVER.
- TOP SLAB OPENINGS SIZES WITHIN EACH CHAMBER SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING & COVER
- STEEL REINFORCEMENT AND SLAB AND WALL THICKNESS SHALL BE RESPONSIBILITY OF STRUCTURE FABRICATOR PER PLAN DESIGN AND LAYOUT CONDITIONS. SITE CONTRACTOR TO PROVIDE STRUCTURE FABRICATOR WITH LOADING CONDITIONS ASSOCIATED WITH CONSTRUCTION EQUIPMENT (TOWER CRANE, BACKHOE/FRONT END LOADER/EC) TO WHICH THESE STRUCTURES MAY BE SUBJECT TO DURING THE DURATION OF CONSTRUCTION.

WELL STRUCTURE DETAIL
LATITUDE: 26°01'32.76"N - LONGITUDE: 80°06'57.96"W



TESTING AND DISINFECTION NOTES:

- NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
 - THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C800 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15095, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:
- $$L = 5 \times D \times W \times P \times S$$
- L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
- THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
 - PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15095, "PIPELINE TESTING AND DISINFECTION".
 - BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSIS SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.335(6), 62-555.340 AND 62-555.335 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
 - THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.



REVISIONS:

CLIENT: **Kaller Architecture**
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

PROJECT: **Bellamar Residences**
FLORIDA 33020
HOLLYWOOD
TASK: **CONSTRUCTION DETAILS**

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-6655

DATE: **May 2019** SCALE: **N.T.S.**
DESIGNED BY: **G.C.B.** DRAWN BY: **F.M.**

PROJECT NO. **19-0315**
SHEET **C-3**

GARY G. BLOOM, P.E.
FLA. LIC. No. 38832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

WATER SYSTEM:

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO STANDARDS OF THE LOCAL MUNICIPALITY AND APPLICABLE DEPARTMENT OF HEALTH AND RECREATION SERVICES STANDARDS. NO PHYSICAL CONNECTION OF NEW WATER MAINS TO ACTIVE WATER MAINS SHALL BE MADE UNTIL SUCH TIME THAT THE NEW MAINS ARE CONFIRMED TO BE BACTERIOLOGICALLY SAFE AND THE HEALTH DEPARTMENT RELEASE HAS BEEN OBTAINED. TEMPORARY CONNECTIONS OF NEW MAINS TO ACTIVE MAINS FOR THE PURPOSE OF FILLING AND FLUSHING SHALL BE MADE BY A METHOD DEEMED ACCEPTABLE TO THE UTILITY PROVIDING SERVICE.

ALL WATER MAINS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI AND HAVE COMPRESSION TYPE BELL AND SPIGOT JOINTS.

THE WATER SYSTEM SHALL BE HYDROSTATICALLY PRESSURE TESTED AND DISINFECTED PER AWWA / ANSI C601/05 AND TESTED FOR A PERIOD OF 2 HOURS AT NOT LESS THAN 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C600-05 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA:

L = S D P^{0.5} / 148,000 WHERE:
L = ALLOWABLE LEAKAGE IN GALLONS / HOUR
S = PIPE LENGTH IN FEET
D = NOMINAL DIAMETER OF PIPE IN INCHES
P = AVERAGE TEST PRESSURE IN PSI

TEST PRESSURE SHALL NOT VARY MORE THAN 5 PSI THROUGHOUT THE TEST. THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE BASED ON A MAXIMUM 2000 FEET WHEN THE LENGTH OF PIPE TESTED EXCEEDS 2000 FEET. THRUST BLOCKS AS SHOWN ON THE DETAIL SHEETS SHALL BE PROVIDED AT ALL BENDS UNLESS OTHERWISE NOTED. IF RESTRAINT JOINT PIPE IS SPECIFIED ON THE PLANS, IT SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF THE PIPE MANUFACTURER AND THE UTILITY DEPARTMENT. NO CONCRETE THRUST BLOCKS WILL BE ALLOWED EXCEPT FOR FIRE HYDRANTS.

BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH AWWA / ANSI C651-05 LATEST REVISION.

PVC WATER MAIN PIPE (BLUE) SHALL MEET THE REQUIREMENTS OF AWWA C-300. 37 POLYETHYLENE CHLORIDE (PE) PRESSURE PIPE, CLASS 150 PIPE SHALL CONFORM TO REQUIREMENT OF SD 18.

PVC PIPE SHALL BE SUITABLE FOR USE AS A PRESSURE CONDUIT. PROVISIONS MUST BE MADE FOR EXPANSION AND CONTRACTION AT EACH JOINT WITH AN ELASTOMERIC RING. THE BELL SHALL CONSIST OF AN INTEGRAL WALL SECTION WITH AN ELASTOMERIC RING WHICH MEETS THE REQUIREMENTS OF ASTM F-477 STANDARD SPECIFICATIONS. FOR ELASTOMERIC SEALS (GASKETS FOR JOINTING PLASTIC PIPE), THE WALL THICKNESS IN THE BELL SECTION SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-3139.

PVC PIPE SHALL BE DELIVERED TO THE JOB SITE FROM THE FACTORY AND STORED AT THE JOB SITE IN PALLETIZED UNITS OR BUNDLES TO PREVENT UNNECESSARY DEFLECTION PRIOR TO INSTALLATION. EACH PALLETIZED UNIT SHALL BE SIZED TO LIMIT THE STACKING OF PIPE NOT MORE THAN SIXTY (60) INCHES HIGH OR AS APPROVED BY THE ENGINEER.

CARE SHALL BE TAKEN DURING THE TRANSPORTING OF THE PIPE TO INSURE THAT THE BINDING AND TIE DOWN METHODS DO NOT DAMAGE OR DEFLECT THE PIPE IN ANY MANNER. PIPE BENT, DEFLECTED, OR OTHERWISE DAMAGED DURING SHIPPING WILL BE REJECTED.

PVC MAINS SHALL BE LAID WITH A MINIMUM OF 36" CLEAR COVER.

FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON PRESSURE CLASS 350 THROUGH 12". ALL FITTINGS SHALL BE CEMENT MORTAR LINED AND SEALED THE SAME AS PIPE IN ACCORDANCE WITH AWWA/ANSI C110/A21.10-03.

PVC AND D.I.P. PIPE SHALL BE DEFLECTED NO MORE THAN ONE HALF (1/2) THE MANUFACTURER'S RECOMMENDATION.

JOINTS FOR BELL AND SPIGOT PVC/DIP PIPE AND FITTINGS SHALL BE MECHANICAL OR RUBBER GASKET (EITHER ON SPIGOT OR IN BELL) COMPRESSION TYPE IN ACCORDANCE WITH AWWA/ANSI STANDARD C111/A21.11-00. SPECIAL FITTINGS AND JOINTS SHALL BE CONSIDERED FOR SPECIFIC INSTALLATION.

ALL WATER MAINS SHALL HAVE CONTINUOUS DETECTOR TAPE 18 INCHES BELOW GRADE ALONG ALL WATER MAINS. DETECTOR TAPE SHALL HAVE BLUE SIDE-UP. A 1/4 GAUGE MULTI STRAND WIRE SHALL BE ATTACHED TO ALL NON-CONDUCTIVE WATER MAIN TO FACILITATE FUTURE LOCATION. AN EXTRA 4" OF WIRE SHALL BE PROVIDED AT BLOWOFFS, FIRE HYDRANTS, ETC.

POLYETHYLENE ENCASEMENT/WRAP SHALL BE INSTALLED ON ALL IRON PIPES INCLUDING VALVES, FITTINGS, SLEEVES, HYDRANTS, ETC. POLYWRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM ANSI/AWWA C105/A21.5-05 STANDARDS.

DUCTILE IRON WATER MAIN SEALCOAT SHALL BE COAL TAR EPOXY OR ASPHALT.

DUCTILE IRON PIPE JOINTS SHALL BE PUSH-ON TYPE AND RESTRAINED A MINIMUM DISTANCE AS SPECIFIED IN RESTRAINED DETAIL ON APPLICABLE DETAIL SHEET. USING MEGA-LUG OR APPROVED EQUAL USING TR-FLEX U.S. PIPE OR FLEX RING BY AMERICAN PIPE.

WATER MAIN STUBS FOR FUTURE EXTENSION INCLUDING ALL FITTINGS BACK TO TEE (IF STUB LENGTHS IS LESS THAN TWO PIPE LENGTHS) WILL BE RESTRAINT JOINT PIPE FOR THE LAST TWO LENGTHS. (AS REQUIRED BY ENGINEER OR UTILITY DEPT.)

DUCTILE IRON PIPE SHALL BE CLASS 350 AND SHALL BE CEMENT LINED AND SEALCOATED IN ACCORDANCE WITH AWWA / ANSI STANDARD C151/A21.51-02. WATER MAINS SHALL BE LAID WITH A MINIMUM 30" CLEAR COVER. DUCTILE IRON FITTINGS SHALL BE CLASS 350 THROUGH 12" AND CLASS 250 IN SIZES 16" AND LARGER. ALL FITTINGS SHALL BE CEMENT LINED AND SEALCOATED THE SAME AS PIPE IN ACCORDANCE WITH AWWA / ANSI STANDARDS C104/A21.4-03 AND C153/A21.53-00. NEOPRENE GASKETS SHALL BE USED.

ALL WATER MAINS SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAILS.

CONTRACTOR IS RESPONSIBLE FOR THE EXISTING ON-SITE WATER SYSTEM UNTIL FINAL INSPECTION, CERTIFICATION AND APPROVAL BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE WHETHER, OR NOT NOTED ON PLANS FOR RAISING OR LOWERING OF EXISTING GATE VALVE BOXES, METER BOXES, ETC. THAT MAY NEED ADJUSTMENT TO MEET PROPOSED FINISH GRADES.

ALL EXISTING WATER MAINS AND COMPONENTS DESIGNATED FOR REMOVAL ARE THE PROPERTY OF THE UTILITY. MATERIALS SHALL BE REMOVED FROM THE GROUND AS CAREFULLY AS POSSIBLE AND SALVAGED FOR UTILITY SHOULD UTILITY REFUSE SAID WATER COMPONENTS. THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR OFF-SITE DISPOSAL.

CONTRACTOR TO REFER TO ARCHITECTURAL (PLUMBING) PLANS TO CONFIRM LOCATIONS AND ELEVATIONS OF ALL WATER FIRE AND SEWER BUILDING CONNECTIONS.

DEVELOPER IS RESPONSIBLE TO DEDICATE UTILITY EASEMENTS TO THE UTILITY FOR ALL PUBLIC WATER MAINS THAT ARE TO BE ULTIMATELY OWNED AND MAINTAINED BY THE UTILITY. EASEMENTS TO BE GRANTED UPON THE CONCLUSION OF THE WORK FROM AS-BUILT PIPE LOCATIONS, UNLESS OTHERWISE REQUIRED BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE TO DELIVER AS-BUILT WATER PLANS, MYLAR, AND COMPUTER DISK TO THE ENGINEER OF RECORD PRIOR TO FINAL CERTIFICATION TO THE UTILITY. AS-BUILTS SHALL BE SIGNED AND SEALED BY A REGISTERED FLORIDA SURVEYOR.

MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS.

LANDSCAPING SHALL NOT BE INSTALLED WITHIN 6' OF ALL WATER MAINS AND SERVICES OR WITHIN A 5' RADIUS OF ALL FIRE HYDRANTS, UNLESS APPROVED BY THE ENGINEER.

WATER MAINS SHALL BE DEFLECTED OVER DRAINAGE AT ALL CONFLICTS.

ALL WATER SERVICES SHALL TERMINATE A MINIMUM OF 5' FROM BUILDING.

UNDERGROUND WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO BUILDING CONSTRUCTION AS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND THE SOUTH FLORIDA BUILDING CODE, LATEST REVISION.

ALL WATER MAIN INSTALLATION SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 FAC.

WATER SERVICE LINES:

WATER SERVICES SHALL BE POLYETHYLENE TUBING (PE 3408) COMPLYING WITH APPLICABLE REQUIREMENTS FOR PE. AWWA C902-02 HIGH MOLECULAR WEIGHT PLASTIC MATERIAL ASTM D-2666, 250 PSI RATING (CTS-00) SDR 9. SERVICE PIPE SHALL BE INSTALLED AS A SINGLE RUN WITHOUT UNIONS.

JOINTS FOR TUBING SHALL BE OF THE COMPRESSION TYPE UTILIZING A TIGHTLY CONFERED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERTS SHALL ALSO BE USED FOR TUBING SERVICES.

SERVICE LINES SHALL BE MARKED WITH 2" x 4" POST PAINTED BLUE.

ALL WATER SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

PIPE DEFLECTION SHALL BE NO MORE THAN ONE HALF OF THE MANUFACTURER'S RECOMMENDATION.

MINIMUM COVER SHALL BE 24".

ALL WATER SERVICE LINES UNDER PAVED AREAS SHALL BE SLEEVED IN SCHEDULE 40 PVC AND SHALL BE OF ONE SINGLE LENGTH WITHOUT UNIONS. FORD STAINLESS INSERTS ARE REQUIRED FOR PLASTIC PIPE.

GATE VALVES:

GATE VALVES 4" AND LARGER SHALL BE MECHANICAL JOINT TYPE AND COMPLY WITH AWWA / ANSI STANDARD C505-01.

MECHANICAL JOINTS SHALL CONFORM TO AWWA / ANSI C111/A21.11-00

ALL GATE VALVES ARE TO BE IRON BODY, BRONZE MOUNTED, DOUBLE DISK, NON-RISING STEM, RESILIENT SEAT TYPE, OPENING LEFT (COUNTER CLOCKWISE) - THE INTERIOR LINING SHALL BE FUSION BONDED EPOXY ACCORDING TO AWWA 550-90 AND AN EXTERIOR EPOXY COAT (BOTH 40 MILLS DFT.)

GATE VALVES 4" TO 12" SHALL HAVE A MAXIMUM WORKING PRESSURE OF 200 PSI AND BE TESTED AT 400 PSI. GATE VALVES SHALL BE RESILIENT SEATED MUELLER, CLOW RESILIENT WEDGE, M & H, OR APPROVED EQUAL, WITH RESTRAINT JOINTS.

GATE VALVES UNDER 4" IN SIZE SHALL BE BRONZE GATE VALVES CONFORMING TO MSS STANDARD PRACTICE SP-37. THEY SHALL BE DOUBLE DISK, NON-RISING STEM, OPEN LEFT (COUNTER CLOCKWISE) WITH OPERATING WHEEL, PEWTER AND POT METAL OPERATING WHEELS SHALL NOT BE PERMITTED. GATE VALVES SHALL MEET AWWA C500-02 STANDARDS.

VALVE BOXES SHALL BE CAST IRON EXTENSION TYPE WITH NOT LESS THAN 5-1/4" DIAMETER SHAFT AND WITH COVERS MARKED "WATER", PAINTED BLUE. USE 1500 OR APPROVED EQUAL.

GATE VALVES 18" AND LARGER WILL BE SUBSTITUTED WITH BUTTERFLY VALVES AS MANUFACTURED BY PRATT, DEZURIK, CLOW, OR APPROVED EQUAL.

BUTTERFLY VALVES ARE TO BE CAST OR DUCTILE IRON BODY; ALLDY CAST IRON OR DUCTILE IRON DISK; BODY MOUNTED ADJUSTABLE SEAT; ONE-PIECE STAINLESS STEEL SHAFT; SHORT OR LONG BODY TYPE; WITH THE VALVE CLASS, SHAFT SIZE AND OTHER SPECIAL REQUIREMENTS SELECTED IN ACCORDANCE WITH THE SPECIFIC DESIGN; AND ARE TO COMPLY WITH THE PROVISIONS OF AWWA C504-00, "RUBBER SEATED BUTTERFLY VALVES."

VALVE OPERATION IS TO BE APPROVED GEAR ACTUATORS, WITH SEALED ENCLOSURES FOR BURIED OR SUBMERGED SERVICE. POSITION INDICATORS WILL BE FURNISHED AS REQUIRED. UNITS ARE TO BE EQUIPPED WITH 2" ACTUATING NUTS, CAST IRON HANDWHEELS, OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION. APPURTENANCES ARE TO BE FURNISHED BY THE VALVE MANUFACTURER.

WATER SERVICE FITTINGS:

METER VALVES (ASTM B-62 LATEST) SHALL BE FORD ANGLE STOPS MODEL #KV43-342W FOR SINGLE SERVICES AND FORD MODEL #WV63-42W FOR DOUBLE SERVICES OR APPROVED EQUAL.

CURB STOPS SHALL BE OF THE INVERTED KEY TYPE WITH TEE-HEAD SHUT OFF. CURB STOPS SHALL BE MADE OF BRASS ALLOY IN ACCORDANCE WITH ASTM SPECIFICATION B62-B2A.

METER VALVES AND CORPORATION STOPS (FORD BALL COPP. NO. FC 202) SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM SPECIFICATION B62-B2A WITH EPOXY COATED DUCTILE IRON BODY STAINLESS STEEL SERVICE SADDLES BY FORD.

INLET THREAD FOR METER VALVES AND CURB STOPS SHALL BE AWWA TAPER THREAD IN ALL SIZES IN ACCORDANCE WITH ANSI / AWWA STANDARD C800-05. OUTLET CONNECTIONS SHALL HAVE A COMPRESSION TYPE FITTING SAME AS VALVES.

CONTRACTOR TO REVIEW WATER DETAILS TO DETERMINE EXTENT OF JURISDICTION OF WATER SERVICE AND METER MATERIALS (METERS, ETC.) SUPPLIED AND INSTALLED BY UTILITY.

FIRE HYDRANTS:

ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA / ANSI STANDARD C502-05 AND THE FOLLOWING DESIGN STANDARDS:

THE FIRE HYDRANTS SHALL BE OF THE COMPRESSION TYPE, OPENING AGAINST THE PRESSURE AND CLOSING WITH THE LINE PRESSURE WITH (1)-5 1/4" VALVE OPENING. THE HYDRANT SHALL BE EQUIPPED WITH (2)-2 1/2" HOSE NOZZLES AND (1)-5 1/4" PUMPER NOZZLE.

FIRE HYDRANTS SHALL BE FURNISHED WITH A SEALED OIL OR GREASE RESERVOIR LOCATED IN THE BONNET SO THAT ALL THREADED AND BEARING SURFACES ARE AUTOMATICALLY LUBRICATED WHEN THE HYDRANT IS OPERATED. THE HYDRANT WILL BE DESIGNED FOR DISASSEMBLY BY USE OF A SHORT DISASSEMBLY WRENCH OR THE HYDRANT SHOE SHALL HAVE INTEGRAL CAST TIE BACK LUGS ON THE MAIN VALVE TO PERMIT THE MAIN VALVE ASSEMBLY AND VALVE SEAT TO BE REMOVED WITHOUT DIGGING EARTH OR DISASSEMBLING THE HYDRANT BARREL.

FIRE HYDRANTS SHALL BE FURNISHED WITH A BREAKABLE FEATURE THAT WILL BREAK CLEANLY UPON IMPACT. THIS SHALL CONSIST OF A TWO PART BREAKABLE SAFETY FLANGE WITH A BREAKABLE STEM COUPLING. THE UPPER AND LOWER BARRELS SHALL BE FLUTED AND RIBBED ABOVE AND BELOW THE SAFETY FLANGE OR HAVE AN EXTRA STRENGTH LOWER BARREL.

THE FIRE HYDRANT INTERNAL VALVE SHALL BE 5/4" MINIMUM. THE PENTAGONAL OPERATING NUTS AND THE CAP NUTS SHALL BE 1 1/2" POINT TO FLAT. DRAIN VALVE OUTLETS FOR THE HYDRANTS SHALL BE PLUGGED OR OMITTED. THE HYDRANTS SHALL OPEN COUNTER CLOCKWISE AND THE DIRECTION OF OPENING SHALL BE CAST ON THE TOP. THE BURY LENGTH, MEASURED FROM THE BOTTOM OF THE CONNECTING PIPE TO THE GROUND LINE, AT THE HYDRANT SHALL BE THREE FEET SIX INCHES (42") MINIMUM OR AS REQUIRED BY PLAN.

THE HYDRANT SHALL BE EQUIPPED WITH A 6" MINIMUM MECHANICAL JOINT BASE INLET UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.

FIRE HYDRANTS SHALL BE MUELLER PAINTED TRAFFIC RED, OR AS OTHERWISE SPECIFIED ON PLANS, OR AS REQUIRED BY THE LOCAL UTILITY COMPANY.

REFER TO WATER DETAILS FOR OTHER REQUIREMENTS / INFORMATION RELATED TO FIRE HYDRANTS.

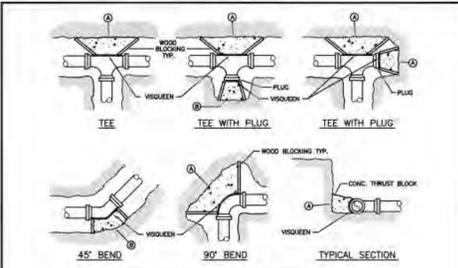


Table: MINIMUM CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL (SQ. FT.)

NOTES:

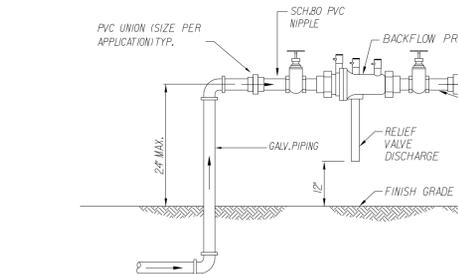
- 1. THRUST BLOCKS ARE TO BE USED IN COMBINATION WITH, AND NOT IN LIEU OF, MECHANICAL JOINT RESTRAINTS AS REQUIRED BY THE CITY. REFER TO THRUST RESTRAINT DESIGN TABLE IN STANDARD DETAIL G-10.
- 2. THE AREAS IN THE TABLE ARE BASED ON POUNDS PER SQUARE FOOT SOIL BEARING AGAINST THE UNDISTURBED TRENCH WALL AND ARE TO REPRESENT THE MINIMUM VERTICAL PROJECTED AREA AT THE THRUST BLOCK IN A PLANE PERPENDICULAR TO THE LINE SELECTING THE INCLUDING ANGLE OF THE FITTING.
- 3. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EVACUATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL WITH RESTRAINT JOINTS.
- 4. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- 5. DO NOT COVER COUPLING OR JOINTS WITH CONCRETE.
- 6. CONCRETE TO BE 2500 P.S.I. MINIMUM 28 DAY STRENGTH.
- 7. TABLE TO BE COMPLETED BY DESIGN ENGINEER.

Table: DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL, REVISED: 10/09/2014, DRAWING NO. G-10

WATER NOTES CONTINUED:

- 9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREEN ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX (6) INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR THE DEPTH OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY FOUR (24) INCHES OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY. VALVE BOXES SHALL BE TYLER BRAND, NO SUBSTITUTES.
- 10. FIRE HYDRANTS - PRESENTLY CITY OF HOLLYWOOD UTILITIES SPECIFICATIONS ALLOW ONLY MANUFACTURERS: MUELLER MODEL SUPER CENTER 200 5/4" SIZE REFERENCE CATALOG NO. A-422 AND AMERICAN DARLING MODEL B-84 5/4" SIZE. ANY DEVIATION FROM REQUIRED SPECIFICATIONS WILL REQUIRE CITY OF HOLLYWOOD UTILITIES APPROVAL.
- 11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 FAC
- 12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C300 LATEST REVISION AND CLASS DR 38. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- 13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- 14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- 15. GATE VALVES 4" AND LARGER SHALL BE RESILIENT SEAT AND SHALL MEET ANSI/AWWA C 509-01 SPECIFICATIONS, LATEST REVISION. VALVES MUST BE MUELLER (O.A.E.) VALVE BOXES SHALL BE TYLER UNION. CONTROL GATE VALVES 3" AND SMALLER SHALL BE MIBCO T-133 UF. NO SUBSTITUTIONS.
- 16. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- 17. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINPECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- 18. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- 19. MINIMUM CLEARANCE BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 2'. AND MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURERS RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- 20. TAPPING SLEEVES SHALL BE MUELLER H-615 (O.A.E.) TAPPING VALVES 4" AND LARGER SHALL BE RESILIENT WEDGE TYPE MEETING ANSI/AWWA C509-01. ALL TAPPING VALVES SHALL HAVE A CAST-IN ALIGNMENT RING AND BE CAPABLE OF ACCEPTING A FULL-SIZE CUTTER.
- 21. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.

Table: DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL, REVISED: 10/09/2014, DRAWING NO. W-01.1



REDUCED PRESSURE ZONE BACKFLOW PREVENTER DETAIL 2" DIAMETER AND SMALLER N.T.S.

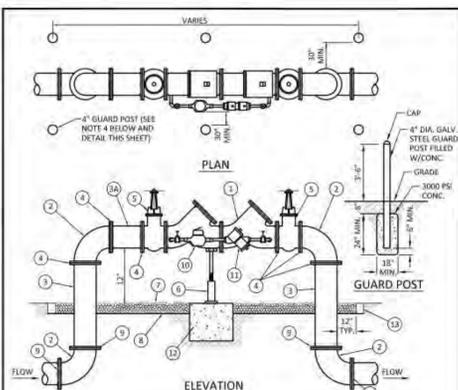


Table: MATERIALS list for typical 4, 6, and 8 inch double check detector assembly.

- NOTES:
1. TEE'S ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.
5. MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.

Table: DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL, REVISED: 10/09/2014, DRAWING NO. W-03

WATER NOTES CONTINUED:

- 22. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA FROM INCL. MFG/ALLOY OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- 23. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

Table: DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL, REVISED: 10/09/2014, DRAWING NO. W-02

WATER NOTES:

- 1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- 2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. (FAC 62-555.33(4)(2), EXCEPTIONS ALLOWED UNDER FAC 62-555.33(4)(3))
- 3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED AND/OR CRUISED BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-630, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-630, F.A.C. (FAC 62-555.33(4)(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.33(4)(3))
- 4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- 5. POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, BODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE A COMPLETELY AIR-TOUGH AND WATER-TIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE. THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- 6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIR-TOUGH AND WATER-TIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE. THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- 7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- 8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WHEEL. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE MIBCO-SART 1-131 LF WITH NO SUBSTITUTIONS ALLOWED. LARGE GATE VALVES OVER 8" THRU 18" IN DIAMETER, MUST BE RESILIENT SEAT AND BI-DIRECTIONAL FLOW ONLY. MANUFACTURERS: MUELLER, AMERICAN DARLING, AVK, OR CITY APPROVED EQUAL. VALVES FOR SPECIAL APPLICATION WILL REQUIRE CITY UTILITY APPROVAL.

Table: DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL, REVISED: 10/09/2014, DRAWING NO. W-01

Project information including client (Bellamar Residences), project name (2417 Hollywood Boulevard), location (Hollywood, Florida 33020), and contact details for GGB Engineering, Inc. (Civil and Forensic Engineers, Land Planners, Construction Managers, Florida Registration No. 8118, 2699 Stirling Road, Suite C-202, Fort Lauderdale, Florida 33312). Includes a revision table and scale information (May 2019, N.T.S.).

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER	3' minimum	3' minimum	3' minimum
STORM WATER FORCE MAIN	3' minimum	3' minimum	3' minimum
RECLAIMED WATER (2)	3' minimum	3' minimum	3' minimum
GRAVITY SANITARY SEWER (3)	3' minimum	3' minimum	3' minimum
ONCE MAIN RECLAIMED WATER	3' minimum	3' minimum	3' minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	3' minimum	3' minimum	3' minimum

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.

2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-030, F.A.C.

3. TOP OF THE GRAVITY SANITARY SEWER.

4. 18" VERTICAL SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.

5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN LINES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

7. MAIN SHALL BE CONSTRUCTED OF DIF AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED).

8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ISSUED: 03/10/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SEPARATION REQUIREMENTS OF F.D.E.P. / F.D.N.R.P.	DRAWING NO: G-01.1
APPROVED: XKA		

DETAIL "A"

FILLING ASSEMBLY FITTINGS AND EQUIPMENT SHALL BE 2" MAX.

METHOD "A"

NOTE: REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON NEW MAIN AFTER FILLING & FLUSHING HAS BEEN COMPLETED.

METHOD "B"

ISSUED: 03/10/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	FILLING AND FLUSHING DETAILS	DRAWING NO: W-15
APPROVED: XKA		

TESTING AND DISINFECTION NOTES:

- NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
- THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{5 \times D \times \sqrt{P}}{148,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
 S = THE LENGTH OF PIPE BEING TESTED.
 D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
 P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
- THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
- PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
- BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
- THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

ISSUED: 03/10/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TESTING AND DISINFECTION NOTES	DRAWING NO: W-14
APPROVED: XKA		

HORIZONTAL BENDS			
PIPE DIA. (INCHES)	BEND (ANGLE)	RESTRAINED LENGTH (RL) (FT)	
		PVC	*DIP
16	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
8	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
6	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
4	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-

TYPICAL MECHANICAL JOINT RESTRAINT (SEE NOTE 3 ON STANDARD DETAIL G-10)

MIN. RESTRAINED LENGTH ALONG RUN (MRL)

TEES AND TAPPING SLEEVES			
RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MIN. LENGTH TO RESTRAIN ALONG BRANCH (FT.)	
		PVC	*DIP
16"	16"	-	-
8"	8"	-	-
8"	6"	-	-
8"	4"	-	-
6"	6"	-	-
4"	4"	-	-

TYPICAL MECHANICAL JOINT RESTRAINT (SEE NOTE 3 ON STANDARD DETAIL G-10)

ISSUED: 03/10/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	JOINT RESTRAINT DESIGN FOR PVC AND DIP HORIZONTAL BENDS AND TEES	DRAWING NO: G-11.1
APPROVED: XKA		

SAMPLING POINT DETAIL

1" COPPER TUBING

180° BEND

1" G.V.

12" MIN.

30" MIN. FOR D.I.P.
36" MIN. FOR P.V.C.

GRADE

3/8" MIN.

CORP. STOP (TO BE CLOSED AND PLUGGED AFTER TEST APPROVAL)

PROPOSED WATER MAIN

DOUBLE STRAP SERVICE SADDLE

NOTES:
SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY HEALTH DEPARTMENT.

ISSUED: 03/10/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SAMPLING POINT DETAIL	DRAWING NO: W-16
APPROVED: XKA		

REVISIONS:

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CLIENT: **Kaller Architecture**
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

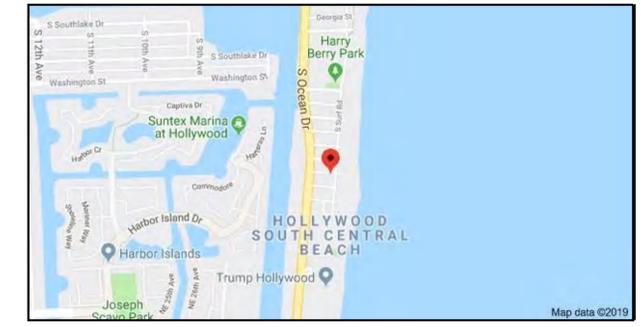
PROJECT: **Bellamar Residences**
FLORIDA 33020
HOLLYWOOD

TASK: **CONSTRUCTION DETAILS**

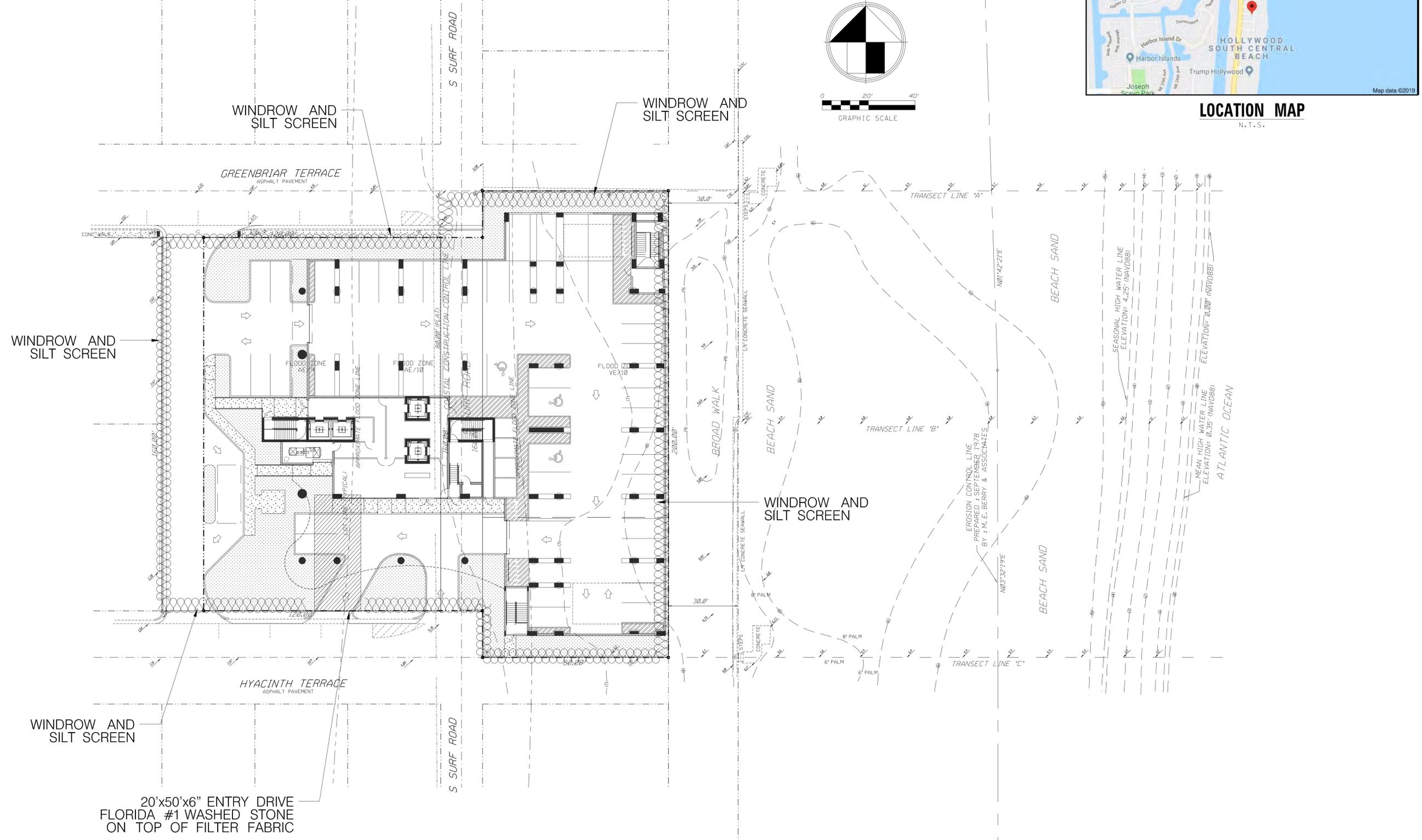
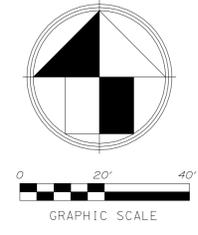
GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-8655

DATE: May 2019	SCALE: 1"=20'
DESIGNED BY: G.C.B.	DRAWN BY: F.M.
PROJECT NO. 19-0315	
SHEET C-5	

GARY G. BLOOM, P.E.
FLA. LIC. No. 38832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



LOCATION MAP
N.T.S.



LEGEND

DENOTES WINDROW AND SILT SCREEN ALONG PROPERTY LINE DURING CONSTRUCTION OF GRADING AND DRAINAGE

20'x50'x6" ENTRY DRIVE
FLORIDA #1 WASHED STONE
ON TOP OF FILTER FABRIC

REVISIONS:

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

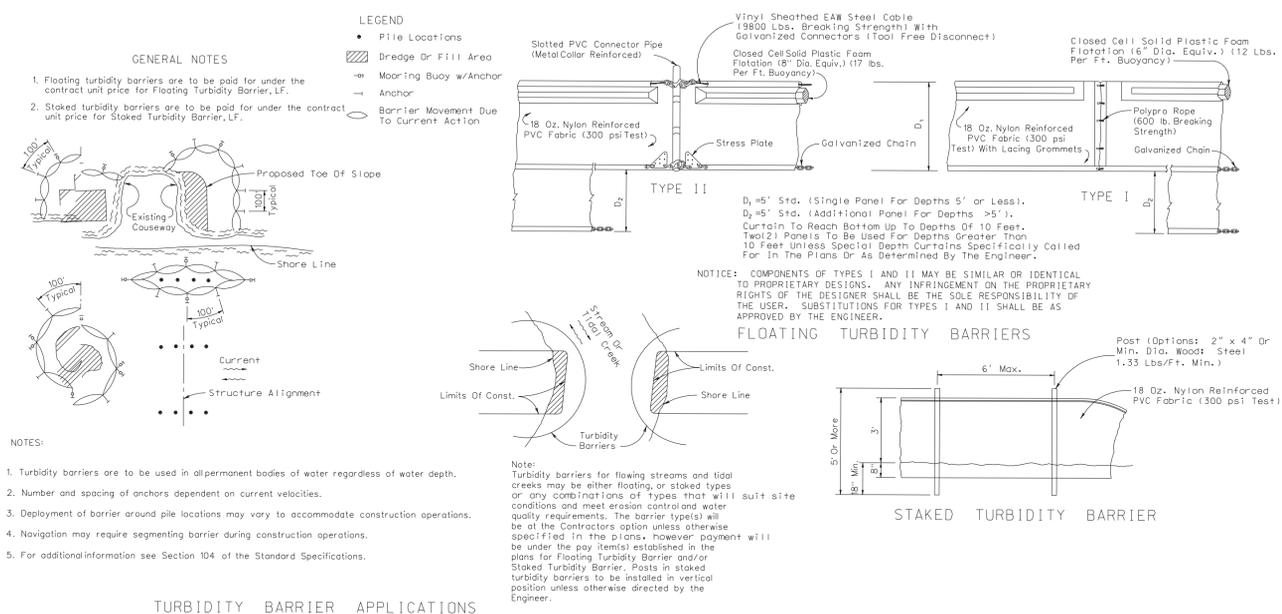
CLIENT:
Kaller Architecture
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

PROJECT:
Bellamar Residences
HOLLYWOOD FLORIDA 33020
TASK:
STORMWATER POLLUTION PREVENTION PLAN

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118
2699 String Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-6655

DATE: May 2019	SCALE: 1"=20'
DESIGNED BY: C.C.B.	DRAWN BY: F.M.
PROJECT NO. 19-0315	
SHEET C-6	

GARY G. BLOOM, P.E.
FLA. LIC. NO. 38832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



TURBIDITY BARRIER APPLICATIONS

TURBIDITY BARRIER DETAILS PER FDOT INDEX NO. 103

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM
TO BE COMPLETED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.25 INCHES OR MORE

DATE: _____

EMERGENCY CONTACTS:

NAME OF ORGANIZATION	PHONE	TO BE CONTACTED IN EMERGENCY?	IF THERE IS CHANGE OF PERSONNEL

MAINTENANCE REQUIRED FOR EMERGENCY CONTACTS:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

STABILIZED CONSTRUCTION ENTRANCE:

INSPECTION AREA	DATE WHEN LAST INSPECTED	DATE OF NEXT INSPECTION	STABILIZED WITH	COMMENTS

MAINTENANCE REQUIRED:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 1 OF 4

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

DATE: _____

EMERGENCY CONTACTS:

NAME OF ORGANIZATION	PHONE	TO BE CONTACTED IN EMERGENCY?	IF THERE IS CHANGE OF PERSONNEL

MAINTENANCE REQUIRED FOR EMERGENCY CONTACTS:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

STABILIZED CONSTRUCTION ENTRANCE:

INSPECTION AREA	DATE WHEN LAST INSPECTED	DATE OF NEXT INSPECTION	STABILIZED WITH	COMMENTS

MAINTENANCE REQUIRED:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 2 OF 4

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

DATE: _____

EMERGENCY CONTACTS:

NAME OF ORGANIZATION	PHONE	TO BE CONTACTED IN EMERGENCY?	IF THERE IS CHANGE OF PERSONNEL

MAINTENANCE REQUIRED FOR EMERGENCY CONTACTS:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

STABILIZED CONSTRUCTION ENTRANCE:

INSPECTION AREA	DATE WHEN LAST INSPECTED	DATE OF NEXT INSPECTION	STABILIZED WITH	COMMENTS

MAINTENANCE REQUIRED:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 3 OF 4

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

DATE: _____

EMERGENCY CONTACTS:

NAME OF ORGANIZATION	PHONE	TO BE CONTACTED IN EMERGENCY?	IF THERE IS CHANGE OF PERSONNEL

MAINTENANCE REQUIRED FOR EMERGENCY CONTACTS:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

STABILIZED CONSTRUCTION ENTRANCE:

INSPECTION AREA	DATE WHEN LAST INSPECTED	DATE OF NEXT INSPECTION	STABILIZED WITH	COMMENTS

MAINTENANCE REQUIRED:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

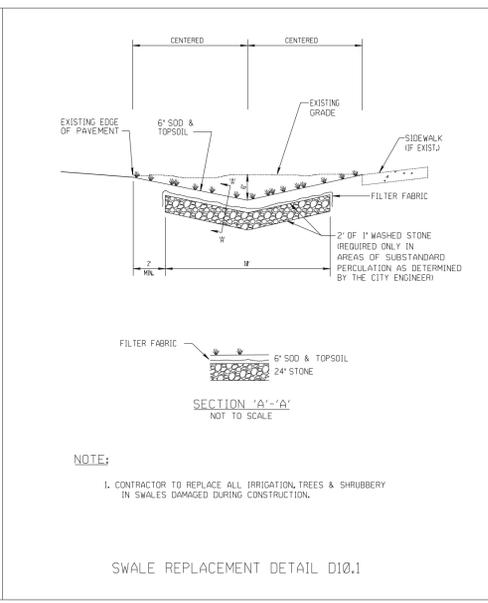
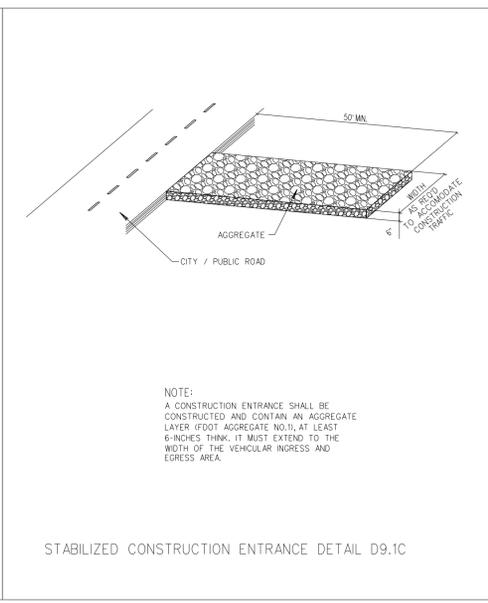
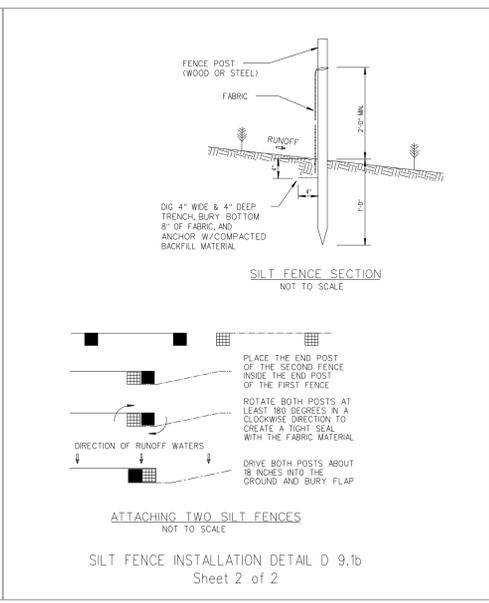
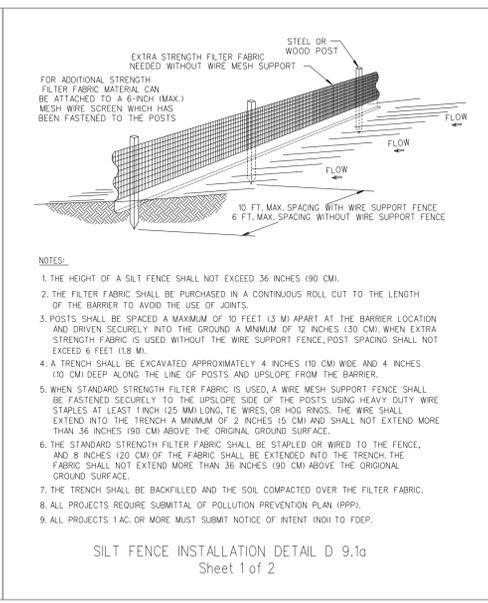
PAGE 4 OF 4

NOTE TO CONTRACTOR:

THIS IS THE CONTRACTOR'S CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 1 ACRE. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.

EROSION CONTROL NOTES DETAIL D9.1

- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTROL SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.



REVISIONS:

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CLIENT:

Bellamar Residences

FLORIDA 33020

HOLLYWOOD

Kaller Architecture

2417 Hollywood Boulevard

Hollywood, Florida 33020-6605

(954) 920-5746

PROJECT:

HOLLYWOOD

FLORIDA 33020

TASK:

STORMWATER POLLUTION PREVENTION PLAN

GGB Engineering, Inc.

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118

2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312

Phone: (954) 986-9899
Fax: (954) 986-8655

DATE: May 2019
DESIGNED BY: G.C.B.
SCALE: N.T.S.
DRAWN BY: F.M.

PROJECT NO.: 19-0315
SHEET: C-7

GARY G. BLOOM, P.E.
FLA. LIC. NO. 38832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

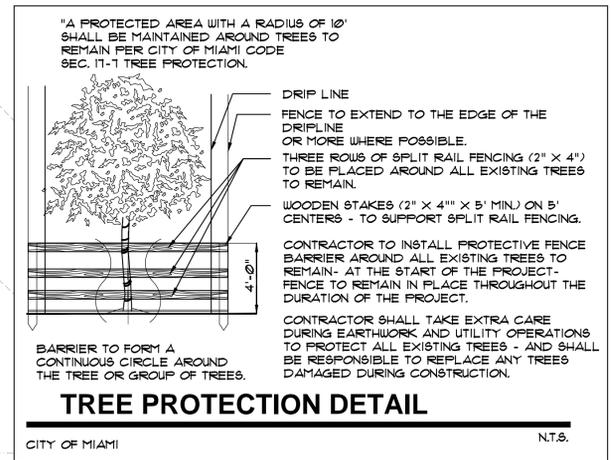
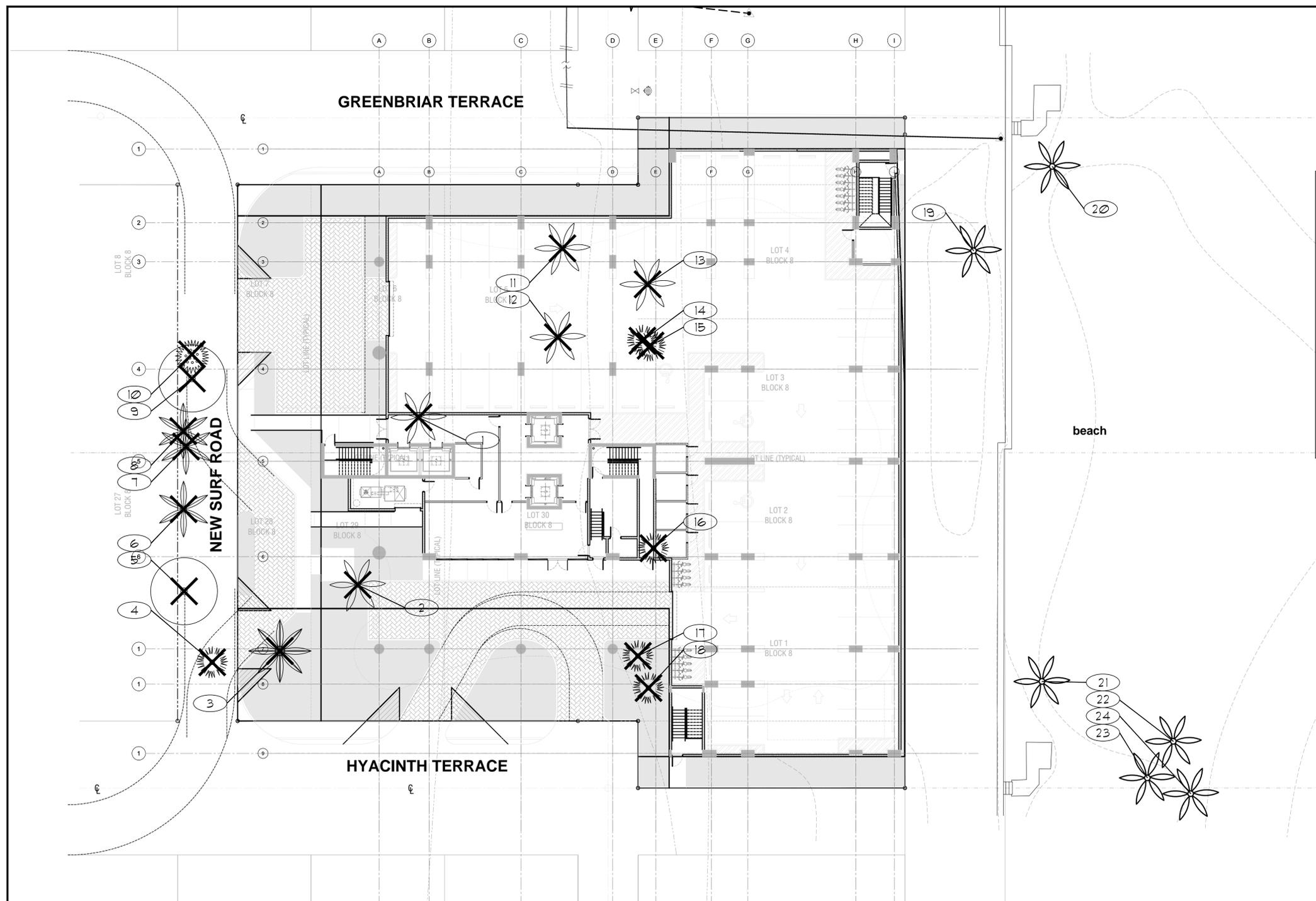
STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION	GENERAL	HAZARDOUS PRODUCTS	OTHER CONTROLS																
<p>THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.</p>	<p>3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.</p> <p>4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.</p> <p>5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.</p> <p>6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE MINIMIZED.</p> <p>7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.</p> <p>8. DUST CONTROL: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL TREATMENT WITHIN 30 DAYS SHALL BE STABILIZED.</p> <p>9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6% THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.</p> <p>10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDRAMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GRASSING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.</p> <p>11. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.</p> <p>12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.</p> <p>13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.</p> <p>14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL AS A MINIMUM BE SEEDDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4% SHALL BE SEEDDED AND MULCHED OR SOODED.</p>	<p>HAZARDOUS PRODUCTS</p> <p>THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.</p> <ul style="list-style-type: none"> PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED, THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED. <p>PRODUCT SPECIFIC PRACTICES</p> <p>THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:</p> <p>PETROLEUM PRODUCTS</p> <p>ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.</p> <p>FERTILIZERS</p> <p>FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.</p> <p>PAINTS</p> <p>ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.</p> <p>CONCRETE TRUCKS</p> <p>CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.</p> <p>SPILL CONTROL PRACTICES</p> <p>IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:</p> <p>MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.</p> <p>MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (1/2-KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.</p> <p>ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.</p> <p>THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.</p> <p>SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.</p> <p>THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.</p>	<p>OTHER CONTROLS</p> <p>WASTE DISPOSAL (IF APPLICABLE):</p> <p>WASTE MATERIALS</p> <p>ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LOADED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAILED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.</p> <p>HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> <p>SANITARY WASTE</p> <p>ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.</p> <p>OFFSITE VEHICLE TRACKING</p> <p>A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.</p> <p>INVENTORY FOR POLLUTION PREVENTION PLAN</p> <p>THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:</p> <table border="0"> <tr> <td><input checked="" type="checkbox"/> Concrete</td> <td><input checked="" type="checkbox"/> Fertilizers</td> <td><input checked="" type="checkbox"/> Wood</td> </tr> <tr> <td><input checked="" type="checkbox"/> Asphalt</td> <td><input checked="" type="checkbox"/> Petroleum Based Products</td> <td><input checked="" type="checkbox"/> Masonry Blocks</td> </tr> <tr> <td><input checked="" type="checkbox"/> Tar</td> <td><input checked="" type="checkbox"/> Cleaning Solvents</td> <td><input checked="" type="checkbox"/> Roofing Materials</td> </tr> <tr> <td><input checked="" type="checkbox"/> Detergents</td> <td><input checked="" type="checkbox"/> Paints</td> <td><input checked="" type="checkbox"/> Metal Studs</td> </tr> <tr> <td><input type="checkbox"/> -----</td> <td><input type="checkbox"/> -----</td> <td><input type="checkbox"/> -----</td> </tr> </table> <p>MATERIAL MANAGEMENT PRACTICES</p> <p>THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.</p> <p>GOOD HOUSEKEEPING</p> <p>THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.</p> <ul style="list-style-type: none"> AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL ORIGINAL MANUFACTURER'S LABEL. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL. 	<input checked="" type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Fertilizers	<input checked="" type="checkbox"/> Wood	<input checked="" type="checkbox"/> Asphalt	<input checked="" type="checkbox"/> Petroleum Based Products	<input checked="" type="checkbox"/> Masonry Blocks	<input checked="" type="checkbox"/> Tar	<input checked="" type="checkbox"/> Cleaning Solvents	<input checked="" type="checkbox"/> Roofing Materials	<input checked="" type="checkbox"/> Detergents	<input checked="" type="checkbox"/> Paints	<input checked="" type="checkbox"/> Metal Studs	<input type="checkbox"/> -----	<input type="checkbox"/> -----	<input type="checkbox"/> -----	
<input checked="" type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Fertilizers	<input checked="" type="checkbox"/> Wood																	
<input checked="" type="checkbox"/> Asphalt	<input checked="" type="checkbox"/> Petroleum Based Products	<input checked="" type="checkbox"/> Masonry Blocks																	
<input checked="" type="checkbox"/> Tar	<input checked="" type="checkbox"/> Cleaning Solvents	<input checked="" type="checkbox"/> Roofing Materials																	
<input checked="" type="checkbox"/> Detergents	<input checked="" type="checkbox"/> Paints	<input checked="" type="checkbox"/> Metal Studs																	
<input type="checkbox"/> -----	<input type="checkbox"/> -----	<input type="checkbox"/> -----																	
<p>CONTROLS</p> <p>THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION CAUSED BY STORM WATER RUN OFF. AN EROSION PROTECTION PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL AND MAINTAIN ALL THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO CONTRACTOR'S RESPONSIBILITY FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.</p> <p>STORM WATER MANAGEMENT</p> <p>DURING CONSTRUCTION, STORM WATER DRAINAGE WILL BE PROVIDED BY UTILIZATION OF THE EXISTING DRAINAGE COLLECTION SYSTEM IN THE STREET RIGHT OF WAY OF POLK STREET AND NORTH 19TH AVENUE. THE EXISTING SYSTEM CONVEYS STORM WATER RUNOFF VIA DRAINAGE PIPES TO THE ATLANTIC OCEAN. AFTER STORM WATER UTILITIES ARE INSTALLED, STORM WATER DRAINAGE WILL BE PROVIDED BY CATCH BASINS, EXFILTRATION TRENCH AND DRAINAGE WELLS. DURING VARIOUS PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE STAKED SILT FENCE AND/OR HAY BALE OR OTHER BEST MANAGEMENT PRACTICES AS NECESSARY TO COMPLY WITH THE REQUIREMENTS SET FORTH BY LOCAL, STATE AND FEDERAL REQUIREMENTS.</p>	<p>SEQUENCE OF MAJOR ACTIVITIES:</p> <p>SEQUENCE OF MAJOR ACTIVITIES:</p> <ol style="list-style-type: none"> INSTALL EROSION AND SEDIMENT CONTROL MEASURES. DEMO AND CLEAR SITE INSTALL UNDERGROUND UTILITIES. COMPLETE FINAL GRADING OPERATIONS. CONTINUE WITH EBS CONTROL MEASURES. START BUILDING FOUNDATION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE BUILDING CONSTRUCTION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE CURB AND SIDEWALK CONSTRUCTION REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM. <p>TIMING OF CONTROLS/MEASURES</p> <p>AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY PORTIONS OF THE SITE. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR MUST BE OBLIGED TO UNINSTALL AND RE-INSTALL PORTIONS OR ALL OF THE SILT FENCE OR HAY BARS OR TAKE OTHER MEASURES NECESSARY TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH ALL REGULATIONS.</p> <p>ENDANGERED SPECIES AND CRITICAL HABITAT</p> <ol style="list-style-type: none"> ARE THERE ENDANGERED SPECIES ON SITE? NO. ARE THERE CRITICAL HABITAT ON SITE? NO. <p>IF YES TO EITHER QUESTION, PLEASE EXPLAIN.</p> <p>CONTROLS</p> <p>IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.</p> <p>EROSION AND SEDIMENT CONTROLS</p> <p>STABILIZATION PRACTICES (IF APPLICABLE):</p> <ol style="list-style-type: none"> HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT. <p>REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BALE BARRIER. ALSO REFER TO THE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION.</p> FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. <p>REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.</p> 	<p>CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>1.</td><td></td></tr> <tr><td>2.</td><td></td></tr> <tr><td>3.</td><td></td></tr> <tr><td>4.</td><td></td></tr> <tr><td>5.</td><td></td></tr> <tr><td>6.</td><td></td></tr> <tr><td>7.</td><td></td></tr> <tr><td>8.</td><td></td></tr> </table>	1.		2.		3.		4.		5.		6.		7.		8.	
1.																			
2.																			
3.																			
4.																			
5.																			
6.																			
7.																			
8.																			
<p>CONTROLS</p> <p>THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION CAUSED BY STORM WATER RUN OFF. AN EROSION PROTECTION PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL AND MAINTAIN ALL THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO CONTRACTOR'S RESPONSIBILITY FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.</p> <p>STORM WATER MANAGEMENT</p> <p>DURING CONSTRUCTION, STORM WATER DRAINAGE WILL BE PROVIDED BY UTILIZATION OF THE EXISTING DRAINAGE COLLECTION SYSTEM IN THE STREET RIGHT OF WAY OF POLK STREET AND NORTH 19TH AVENUE. THE EXISTING SYSTEM CONVEYS STORM WATER RUNOFF VIA DRAINAGE PIPES TO THE ATLANTIC OCEAN. AFTER STORM WATER UTILITIES ARE INSTALLED, STORM WATER DRAINAGE WILL BE PROVIDED BY CATCH BASINS, EXFILTRATION TRENCH AND DRAINAGE WELLS. DURING VARIOUS PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE STAKED SILT FENCE AND/OR HAY BALE OR OTHER BEST MANAGEMENT PRACTICES AS NECESSARY TO COMPLY WITH THE REQUIREMENTS SET FORTH BY LOCAL, STATE AND FEDERAL REQUIREMENTS.</p>	<p>SEQUENCE OF MAJOR ACTIVITIES:</p> <p>SEQUENCE OF MAJOR ACTIVITIES:</p> <ol style="list-style-type: none"> INSTALL EROSION AND SEDIMENT CONTROL MEASURES. DEMO AND CLEAR SITE INSTALL UNDERGROUND UTILITIES. COMPLETE FINAL GRADING OPERATIONS. CONTINUE WITH EBS CONTROL MEASURES. START BUILDING FOUNDATION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE BUILDING CONSTRUCTION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE CURB AND SIDEWALK CONSTRUCTION REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM. <p>TIMING OF CONTROLS/MEASURES</p> <p>AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY PORTIONS OF THE SITE. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR MUST BE OBLIGED TO UNINSTALL AND RE-INSTALL PORTIONS OR ALL OF THE SILT FENCE OR HAY BARS OR TAKE OTHER MEASURES NECESSARY TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH ALL REGULATIONS.</p> <p>ENDANGERED SPECIES AND CRITICAL HABITAT</p> <ol style="list-style-type: none"> ARE THERE ENDANGERED SPECIES ON SITE? NO. ARE THERE CRITICAL HABITAT ON SITE? NO. <p>IF YES TO EITHER QUESTION, PLEASE EXPLAIN.</p> <p>CONTROLS</p> <p>IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.</p> <p>EROSION AND SEDIMENT CONTROLS</p> <p>STABILIZATION PRACTICES (IF APPLICABLE):</p> <ol style="list-style-type: none"> HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT. <p>REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BALE BARRIER. ALSO REFER TO THE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION.</p> FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. <p>REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.</p> 	<p>CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>1.</td><td></td></tr> <tr><td>2.</td><td></td></tr> <tr><td>3.</td><td></td></tr> <tr><td>4.</td><td></td></tr> <tr><td>5.</td><td></td></tr> <tr><td>6.</td><td></td></tr> <tr><td>7.</td><td></td></tr> <tr><td>8.</td><td></td></tr> </table>	1.		2.		3.		4.		5.		6.		7.		8.	
1.																			
2.																			
3.																			
4.																			
5.																			
6.																			
7.																			
8.																			
<p>CONTROLS</p> <p>THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION CAUSED BY STORM WATER RUN OFF. AN EROSION PROTECTION PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL AND MAINTAIN ALL THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO CONTRACTOR'S RESPONSIBILITY FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.</p> <p>STORM WATER MANAGEMENT</p> <p>DURING CONSTRUCTION, STORM WATER DRAINAGE WILL BE PROVIDED BY UTILIZATION OF THE EXISTING DRAINAGE COLLECTION SYSTEM IN THE STREET RIGHT OF WAY OF POLK STREET AND NORTH 19TH AVENUE. THE EXISTING SYSTEM CONVEYS STORM WATER RUNOFF VIA DRAINAGE PIPES TO THE ATLANTIC OCEAN. AFTER STORM WATER UTILITIES ARE INSTALLED, STORM WATER DRAINAGE WILL BE PROVIDED BY CATCH BASINS, EXFILTRATION TRENCH AND DRAINAGE WELLS. DURING VARIOUS PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE STAKED SILT FENCE AND/OR HAY BALE OR OTHER BEST MANAGEMENT PRACTICES AS NECESSARY TO COMPLY WITH THE REQUIREMENTS SET FORTH BY LOCAL, STATE AND FEDERAL REQUIREMENTS.</p>	<p>SEQUENCE OF MAJOR ACTIVITIES:</p> <p>SEQUENCE OF MAJOR ACTIVITIES:</p> <ol style="list-style-type: none"> INSTALL EROSION AND SEDIMENT CONTROL MEASURES. DEMO AND CLEAR SITE INSTALL UNDERGROUND UTILITIES. COMPLETE FINAL GRADING OPERATIONS. CONTINUE WITH EBS CONTROL MEASURES. START BUILDING FOUNDATION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE BUILDING CONSTRUCTION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE CURB AND SIDEWALK CONSTRUCTION REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM. <p>TIMING OF CONTROLS/MEASURES</p> <p>AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY PORTIONS OF THE SITE. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR MUST BE OBLIGED TO UNINSTALL AND RE-INSTALL PORTIONS OR ALL OF THE SILT FENCE OR HAY BARS OR TAKE OTHER MEASURES NECESSARY TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH ALL REGULATIONS.</p> <p>ENDANGERED SPECIES AND CRITICAL HABITAT</p> <ol style="list-style-type: none"> ARE THERE ENDANGERED SPECIES ON SITE? NO. ARE THERE CRITICAL HABITAT ON SITE? NO. <p>IF YES TO EITHER QUESTION, PLEASE EXPLAIN.</p> <p>CONTROLS</p> <p>IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.</p> <p>EROSION AND SEDIMENT CONTROLS</p> <p>STABILIZATION PRACTICES (IF APPLICABLE):</p> <ol style="list-style-type: none"> HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT. <p>REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BALE BARRIER. ALSO REFER TO THE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION.</p> FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. <p>REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.</p> 	<p>CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>1.</td><td></td></tr> <tr><td>2.</td><td></td></tr> <tr><td>3.</td><td></td></tr> <tr><td>4.</td><td></td></tr> <tr><td>5.</td><td></td></tr> <tr><td>6.</td><td></td></tr> <tr><td>7.</td><td></td></tr> <tr><td>8.</td><td></td></tr> </table>	1.		2.		3.		4.		5.		6.		7.		8.	
1.																			
2.																			
3.																			
4.																			
5.																			
6.																			
7.																			
8.																			
<p>CONTROLS</p> <p>THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION CAUSED BY STORM WATER RUN OFF. AN EROSION PROTECTION PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL AND MAINTAIN ALL THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO CONTRACTOR'S RESPONSIBILITY FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.</p> <p>STORM WATER MANAGEMENT</p> <p>DURING CONSTRUCTION, STORM WATER DRAINAGE WILL BE PROVIDED BY UTILIZATION OF THE EXISTING DRAINAGE COLLECTION SYSTEM IN THE STREET RIGHT OF WAY OF POLK STREET AND NORTH 19TH AVENUE. THE EXISTING SYSTEM CONVEYS STORM WATER RUNOFF VIA DRAINAGE PIPES TO THE ATLANTIC OCEAN. AFTER STORM WATER UTILITIES ARE INSTALLED, STORM WATER DRAINAGE WILL BE PROVIDED BY CATCH BASINS, EXFILTRATION TRENCH AND DRAINAGE WELLS. DURING VARIOUS PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE STAKED SILT FENCE AND/OR HAY BALE OR OTHER BEST MANAGEMENT PRACTICES AS NECESSARY TO COMPLY WITH THE REQUIREMENTS SET FORTH BY LOCAL, STATE AND FEDERAL REQUIREMENTS.</p>	<p>SEQUENCE OF MAJOR ACTIVITIES:</p> <p>SEQUENCE OF MAJOR ACTIVITIES:</p> <ol style="list-style-type: none"> INSTALL EROSION AND SEDIMENT CONTROL MEASURES. DEMO AND CLEAR SITE INSTALL UNDERGROUND UTILITIES. COMPLETE FINAL GRADING OPERATIONS. CONTINUE WITH EBS CONTROL MEASURES. START BUILDING FOUNDATION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE BUILDING CONSTRUCTION. CONTINUE WITH EBS CONTROL MEASURES. COMPLETE CURB AND SIDEWALK CONSTRUCTION REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM. <p>TIMING OF CONTROLS/MEASURES</p> <p>AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY PORTIONS OF THE SITE. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR MUST BE OBLIGED TO UNINSTALL AND RE-INSTALL PORTIONS OR ALL OF THE SILT FENCE OR HAY BARS OR TAKE OTHER MEASURES NECESSARY TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH ALL REGULATIONS.</p> <p>ENDANGERED SPECIES AND CRITICAL HABITAT</p> <ol style="list-style-type: none"> ARE THERE ENDANGERED SPECIES ON SITE? NO. ARE THERE CRITICAL HABITAT ON SITE? NO. <p>IF YES TO EITHER QUESTION, PLEASE EXPLAIN.</p> <p>CONTROLS</p> <p>IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.</p> <p>EROSION AND SEDIMENT CONTROLS</p> <p>STABILIZATION PRACTICES (IF APPLICABLE):</p> <ol style="list-style-type: none"> HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT. <p>REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BALE BARRIER. ALSO REFER TO THE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION.</p> FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3%. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. <p>REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.</p> 	<p>CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>1.</td><td></td></tr> <tr><td>2.</td><td></td></tr> <tr><td>3.</td><td></td></tr> <tr><td>4.</td><td></td></tr> <tr><td>5.</td><td></td></tr> <tr><td>6.</td><td></td></tr> <tr><td>7.</td><td></td></tr> <tr><td>8.</td><td></td></tr> </table>	1.		2.		3.		4.		5.		6.		7.		8.	
1.																			
2.																			
3.																			
4.																			
5.																			
6.																			
7.																			
8.																			

<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>1.</td><td></td></tr> <tr><td>2.</td><td></td></tr> <tr><td>3.</td><td></td></tr> <tr><td>4.</td><td></td></tr> <tr><td>5.</td><td></td></tr> <tr><td>6.</td><td></td></tr> <tr><td>7.</td><td></td></tr> <tr><td>8.</td><td></td></tr> </table>	1.		2.		3.		4.		5.		6.		7.		8.		<p>CLIENT:</p> <p>Kaller Architecture 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746</p>	<p>PROJECT:</p> <p>Bellamar Residences FLORIDA 33020 HOLLYWOOD</p>	<p>TASK:</p> <p>STORMWATER POLLUTION PREVENTION PLAN</p>
1.																			
2.																			
3.																			
4.																			
5.																			
6.																			
7.																			
8.																			
<p>DATE:</p> <p>May 2019</p>	<p>SCALE:</p> <p>N.T.S.</p>	<p>DESIGNED BY:</p> <p>G.C.B.</p>	<p>DRAWN BY:</p> <p>F.M.</p>																
<p>PROJECT NO. 19-0315</p> <p>SHEET C-8</p>																			
<p>GARY G. BLOOM, P.E. FLA. LIC. NO. 38830 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER</p>																			

GGB Engineering, Inc.

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 FLORIDA REGISTRATION NO. 8718
 2899 Stirling Road, Suite C-202
 Fort Lauderdale, Florida 33322
 Phone: (954) 986-9899
 Fax: (954) 986-8655

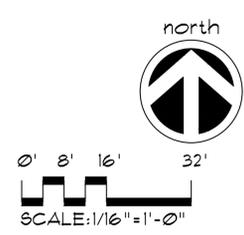


- NOTES:**
- SEE SHEET L-1 FOR PROPOSED TREE AND PALM LOCATIONS.
 - THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (THE CITY OF HOLLYWOOD). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
 - LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE. EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (R.L.S.) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
 - ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY 1 ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.
 - ALL TREES AND PALMS TO BE RELOCATED SHALL BE ROOT PRUNED AND CANOPY PRUNED ACCORDING TO ALL ACCEPTED STANDARDS AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION, AND ALL PRE AND POST-TRANSPLANT OPERATIONS SHALL BE COORDINATED WITH UTMOST CARE TO MINIMIZE DAMAGE AND TRANSPLANT SHOCK. WATERING-IN AND WATERING SCHEDULES SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND APPROVAL PRIOR TO RELOCATION.
 - ALL TREES AND PALMS TO BE RELOCATED SHALL BE STAKED AND BRACED TO INSURE STABILITY AND MINIMIZE ROOT DAMAGE DURING THE PLANT ROOT RECOVERY PERIOD.
 - CONTRACTOR SHALL VERIFY WITH THE PROJECT SUPERINTENDENT THE PROPOSED LANDSCAPE AREAS PRIOR TO TREE AND PALM RELOCATION TO INSURE PROPER RELOCATION AND MINIMIZE ANY FIELD DISCREPANCIES WITH RESPECT TO PROPOSED PAVING, BUILDINGS, AMENITIES, ABOVE AND BELOW GROUND UTILITIES AND LIMITS OF PROPERTY.
 - CONTRACTOR SHALL ESTABLISH AN IRRIGATION SYSTEM TO PROVIDE FOR PRE AND POST-TRANSPLANT IRRIGATION SCHEDULING. TREE AND PALM FERTILIZATION SHALL BE ESTABLISHED CONCURRENTLY WITH IRRIGATION PRE AND POST-FERTILIZATION, THIS PROCEDURE SHALL BE CONDUCTED TO OPTIMIZE PLANT ESTABLISHMENT.
 - CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO PLANT ALL RELOCATED TREES AND PALMS AT THE FINAL GRADE OF SITE.
 - SEE "ROOT PRUNING DETAIL" AND "TREE TRANSPLANT DETAIL AS SHOWN ON THE PLANS.

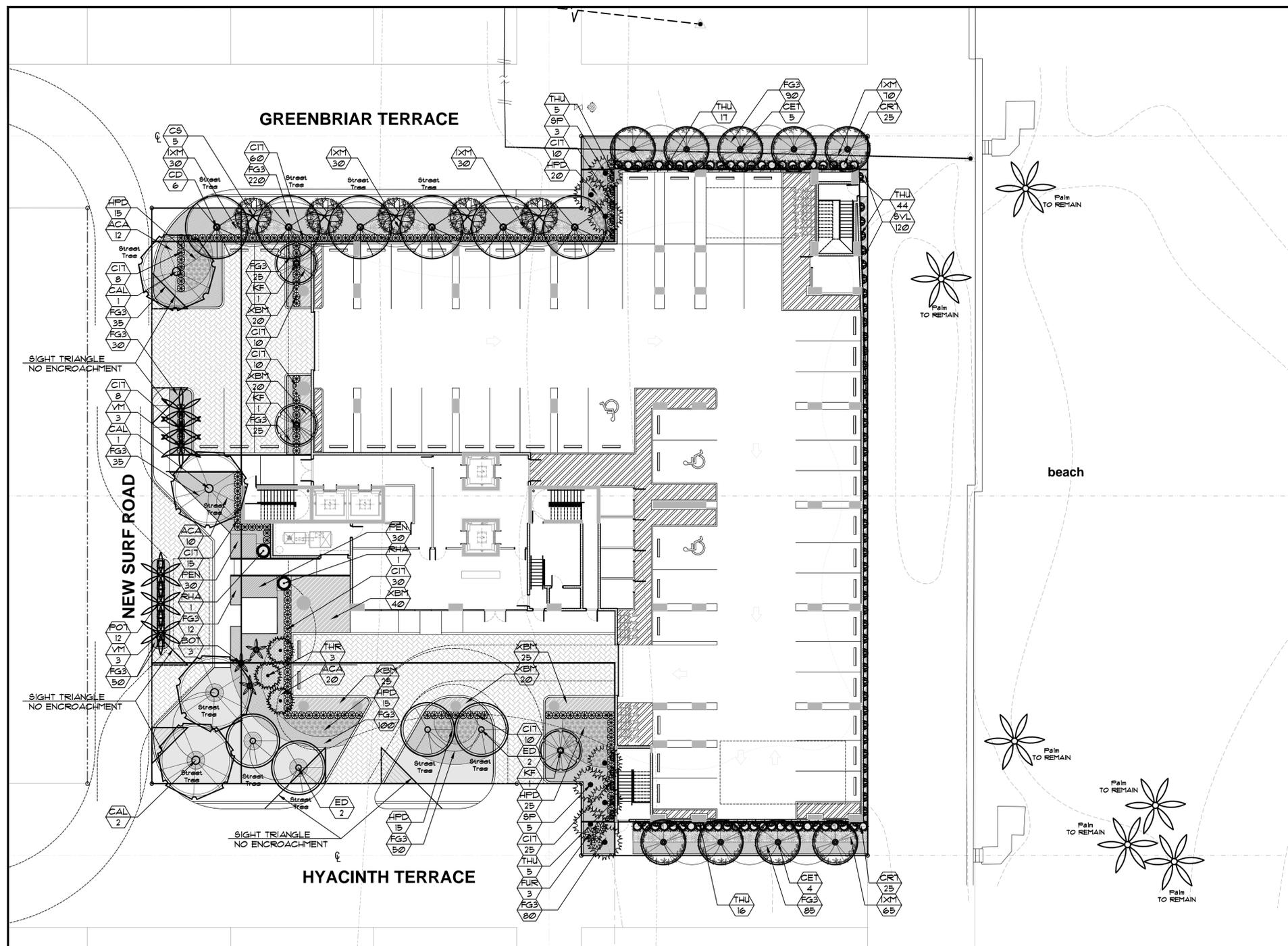
TREE MITIGATION-REPLACEMENT PLANTLIST					
SYM.	NATIVE *	NAME	BOTANICAL NAME	SPECIFICATION	QUANTITY
REMOVAL OF 26" DBH AND 14 PALMS					
(REQUIRED LANDSCAPE TREES ARE NOT INCLUDED IN TREE MITIGATION)					
REPLACEMENT TREES:					
CD	YES	1	PIGEON PLUM	<i>Coccoloba diversifolia</i>	12" x 6'spr, 2 1/2" DBH.
TOTAL NEW REPLACEMENT INCHES: 2.5 INCHES					2.5
MITIGATION DEFICIT: 23.5 INCHES					
TREE MITIGATION COMPENSATION: 1- 2" TREE = \$350.00					
23.5 / 2" = 12 TREES @ \$350 PER TREE = \$4,200					
MITIGATION DEFICIT TO BE A PAYMENT TO THE CITY OF HOLLYWOOD					
REMOVAL OF 14 EXISTING PALMS					
VM		6	MONTGOMERY PALMS	<i>Veitchia montgomeryana</i>	5GL TK, Fg, 14' o.a., full hd.
SP	YES	8	SABAL PALMS	<i>Sabal palmetto</i>	BTD, 16'-20' o.a.
MITIGATION DEFICIT: 0					

19-35-1900 S. SURF ROAD, HOLLYWOOD, FL. 33019												
TREE NUM	SYM	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREA	DBH - INCHES	CONDITI	CLEAR TRUNK	STATU	DBH - LOSS	PALM - LOSS	REMARKS
1	CN	COCONUT PALM	<i>Cocos nucifera</i>	35	20	12	FAIR		REMOVE		1	
2	CN	COCONUT PALM	<i>Cocos nucifera</i>	26	20	10	FAIR		REMOVE		1	
3		DEAD										
4	SP	SABAL PALM	<i>Sabal palmetto</i>	14	10	10	GOOD		REMOVE		1	
5	CV	WEeping BOTTLEBRUSH	<i>Callistemon viminalis</i>	20	20	6.6.6	FAIR		REMOVE	18		
6	RE	ROYAL PALM	<i>Roystonea elata</i>	40	20	16	GOOD		REMOVE		1	
7	RE	ROYAL PALM	<i>Roystonea elata</i>	40	20	16	GOOD		REMOVE		1	
8	RE	ROYAL PALM	<i>Roystonea elata</i>	40	20	16	GOOD		REMOVE		1	
9	CV	WEeping BOTTLEBRUSH	<i>Callistemon viminalis</i>	15	20	4.4	FAIR		REMOVE	8		
10	ARE	ARECA PALM	<i>Dypsis lutescens</i>	15	15	m	FAIR		REMOVE		1	
11	CN	COCONUT PALM	<i>Cocos nucifera</i>	30	20	12	FAIR		REMOVE		1	
12	CN	COCONUT PALM	<i>Cocos nucifera</i>	35	20	10	FAIR		REMOVE		1	
13	AM2	CHRISTMAS PALM	<i>Adonidia merrillii</i>	20	15	5.5	FAIR		REMOVE		1	
14	SP	SABAL PALM	<i>Sabal palmetto</i>	15	10	10	GOOD		REMOVE		1	
15	SP	SABAL PALM	<i>Sabal palmetto</i>	22	12	10	GOOD		REMOVE		1	
16	SP	SABAL PALM	<i>Sabal palmetto</i>	15	12	10	GOOD		REMOVE		1	
17	SP	SABAL PALM	<i>Sabal palmetto</i>	15	12	10	GOOD		REMOVE		1	
18	SP	SABAL PALM	<i>Sabal palmetto</i>	14	12	10	GOOD		REMOVE		1	
19	CN	COCONUT PALM	<i>Cocos nucifera</i>	35	20	10	GOOD		REMAIN			
20	CN	COCONUT PALM	<i>Cocos nucifera</i>	30	20	8	FAIR		REMAIN			
21	CN	COCONUT PALM	<i>Cocos nucifera</i>	30	20	10	FAIR		REMAIN			
22	CN	COCONUT PALM	<i>Cocos nucifera</i>	35	20	10	FAIR		REMAIN			
23	CN	COCONUT PALM	<i>Cocos nucifera</i>	30	20	10	FAIR		REMAIN			
24	CN	COCONUT PALM	<i>Cocos nucifera</i>	25	20	10	FAIR		REMAIN			
TOTALS										26	14	

FIELD INVENTORY CONDUCTED BY JFS DESIGN INC. ON MAY 14, 2019



TREE DISPOSITION PLAN

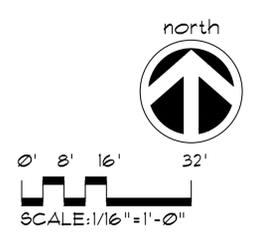


PLANTLIST

SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
EXISTING TREES TO REMAIN				
SEE TREE DISPOSITION PLAN, SHEET TD-1				
* ASTERISK INDICATES PLANT MATERIAL THAT IS ALSO COUNTED FOR THE ABOVE GROUND LEVELS.				
PROPOSED TREES				
CAL	4	BRAZIL BEAUTYLEAF	Calophyllum brasiliense	12' x 6' spr., 2 1/2" DBH.
CD	YES 6	PIGEON PLUM	Coccoloba diversifolia	12' x 6' spr., 2 1/2" DBH.
CET	YES 9	SILVER BUTTWOOD	Conocarpus erect. "Sericeus"	12' x 6', 2" DBH.
CS	YES 5	ORANGE GEIGER	Cordia sebestena	12' x 5', 2" DBH.
KF	YES 3	BLACK IRONWOOD	Krugiodendron ferrugineum	12' x 5', 2" DBH.
ED	4	JAPANESE BLUEBERRY	Elaeocarpus decipiens	9TD, 12' HT., 2" DBH. -BECKER TREE FARM
PALMS				
BOT	3	BOTTLE PALMS	Hyophorbe lagencaulis	25 gal, 6' o.a., full
VM	6	MONTGOMERY PALMS	Veitchia montgomeryana	5GL, TK, FG, 14' o.a., full hd.
SP	YES 8	SABAL PALMS	Sabal palmetto	BTD, 16'-20' o.a.
THR	YES 15	* KEY THATCH PALMS	Thrinax morrisii	25 gal, 8' o.a., DBL TK, full
SHRUBS				
ACA	42	COPPER LEAF ACALYPHA	Acalypha sp.	3 gal, 24" x 24", 24" o.a., full
CIT	YES 290	* COCOPLUM	Chyobalanus laco	1 GAL, 30" x 24", full, 24" o.a.
CRT	YES 50	SMALL-LEAVED CLUSIA	Clusia guttifera	1 GAL, 36" ht., 30" ØC, FTB.
CRO	30	* CROTON "ORANGE"	Codiaeum variegatum	3 gal, 18" x 18", 18" o.a., full
HFD	YES 90	DWARF FIREBUSH	Hamelia nodosa	3 gal, 18" x 18", 24" o.a.
IXM	325	* IXORA "MAUI"	Ixora spp. "Maui"	3 gal, 18" x 18", 18" o.a., full
POT	12	PODOCARPUS HEDGE	Podocarpus spp.	1 gal, 30" x 24", full heavy
ACCENT PLANTS AND GROUNDCOVERS				
BL3	40	* BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal, 12" x 18", 18" o.a., full
FG3	1,132	* "GREEN ISLAND" FIGUS	Ficus "Green Island"	3 gal, 18" x 18", 18" o.a., full
FUR	30	GIANT FALSE AGAVE	Furcraea foetida	15 gal, 4' x 4', full specimen
FEN	60	EGYPTIAN STAR CLUSTER	Feritas lanceolata	1 gal, 10" x 10", 14" o.a., full
XBM	150	PHILODENDRON BURLE MARX	Philo. "Burle Marx"	3 gal, 18" x 12", full, 18" o.a.
RHA	2	LADY PALMS	Rhapis excelsa	5 o.a., FTG, sun acclimated
SVL	120	SANSEVIERIA "LAURENTII"	Sansevieria trifasciata	3 gal, 18" x 12", 18" o.a., full
THU	81	BLUE SKY THUNBERGIA	Thunbergia grandiflora	3 gal, 24" x 18", full, 2 leaders
THU	152	* BLUE SKY THUNBERGIA	Thunbergia grandiflora	3 gal, 24" x 18", full, 2 leaders
(2ND THRU 12TH FLOORS)				
SOD				
SOD	1200 s.f.	"FLORATAM" ST. AUGUSTINE	Stenotaphrum secundatum	SOLID SOD, price per s.f.
SITE: 4300 s.f.				
TOPSOIL:				
		TOPSOIL: SAND MIX	50:50 TOPSOIL: SAND MIX, SPREAD IN PLACE	
		19 C.Y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS	
		8 C.Y.	AREA TO BE SODDED WITH A 2" DEPTH OF TOPSOIL SPREAD IN PLACE	
TOPSOIL:				
		180 c.y.	"2100 MIX" FOR PLANTING-PER ATLAS PEAT AND SOIL FOR PLANTER BOXES	
BASED UPON 8,288 SF. X 3" DEPTH/21 CF. PER C.Y.				
MULCHING:				
		96 C.Y. +/-	"PINE BARK NUGGET" MULCH	3" DEPTH, SPREAD IN PLACE, ATLAS PEAT AND SOIL
PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION				
--- TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.				
INSTALLATION WATERING:				
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED, AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE OWNER.				

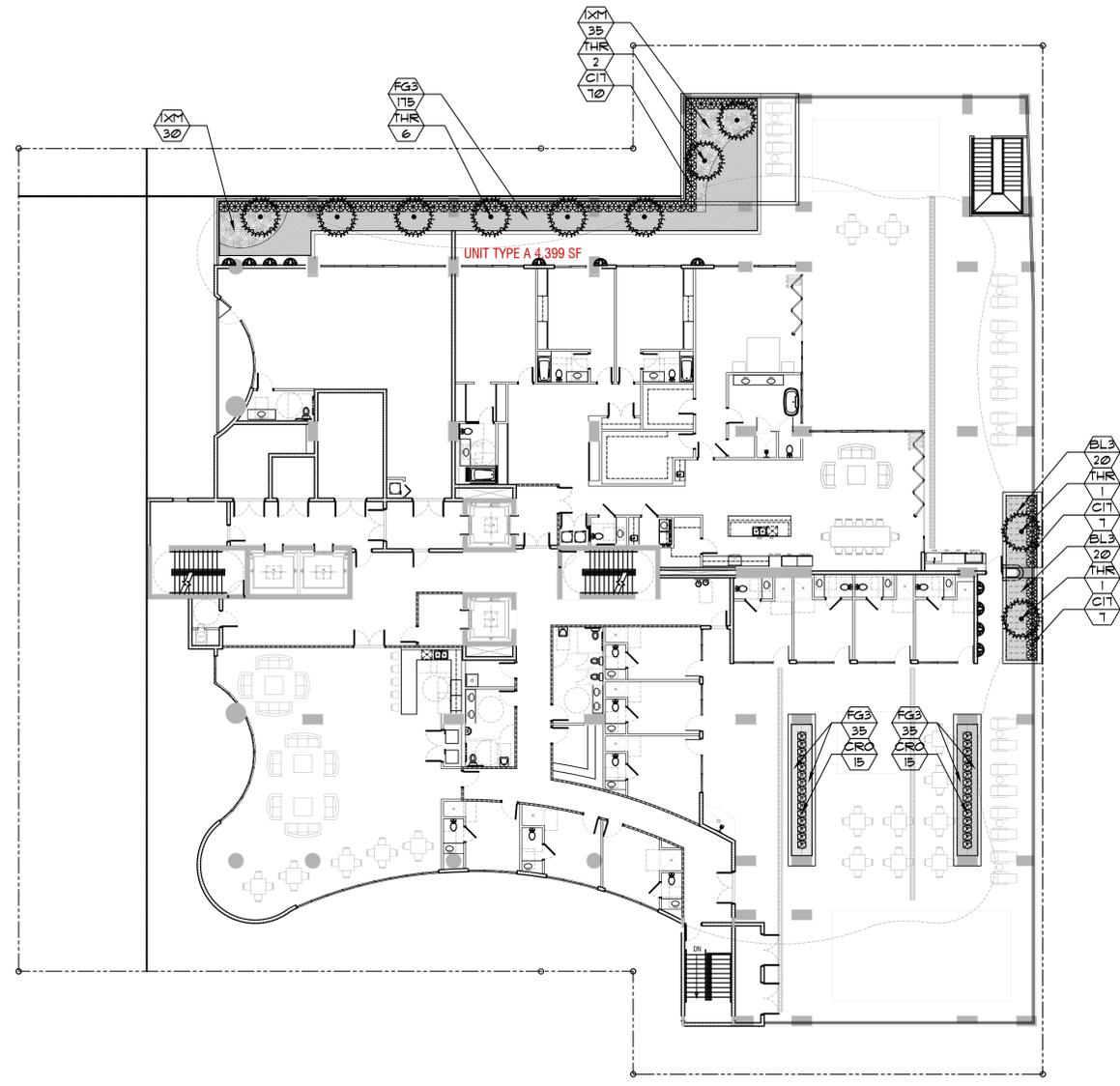
BELLAMAR CONDOMINIUMS, 1900 S. SURF ROAD, HOLLYWOOD, FL. 33020
 LANDSCAPE SITE CALCULATIONS
 8/19/2019

GROSS SITE AREA	0.81 ac.	35,200 s.f.	
NET SITE AREA			
REQUIRED LANDSCAPE AREA	17,800 s.f.	PROVIDED 21,785	
50% OF NET LOT AREA (50% X 35,200)		SEE ARCH. SITE PLAN FOR SPECIFICS	
LANDSCAPE REQUIREMENTS			
Open Space	18	18	
1 tree / 1,000 s.f. pervious area 17,800 sq ft pervious area / 1,000 sq ft = 18 TREES			
Street trees	1 tree / 50 l.f.	12	12
HYACINTH TERRACE	4	4	4 ED
(200 @ 1/50 L.F.)			
GREENBRIAR TERRACE	4	4	4 CD
(200 @ 1/50 L.F.)			
NEW SURF ROAD	4	4	4 CAL
(160 @ 1/50 L.F.)			
TOTAL	30	30	
NATIVE REQUIREMENT			
TREES-60% NATIVE	18	23	
30 REQUIRED TREES X 60% = 18 NATIVE TREES/PALMS			
SHRUBS-50% NATIVE	100	430	
200 X 50% = 100 NATIVE SHRUBS			



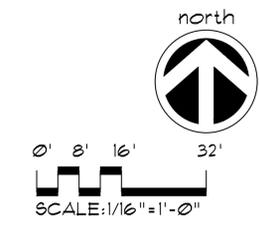
A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.
 SEE SHEET L-2 FOR PLANTLIST, LANDSCAPE DETAILS, NOTES, SPECIFICATIONS, ETC.
 SEE SHEETS L-3 THRU L-11 FOR RESPECTIVE LANDSCAPE PLANS.

SITE LANDSCAPE PLAN

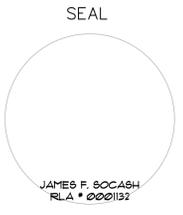


PLANTLIST

SYM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
PALMS					
THR	YES	10	KEY THATCH PALMS	<i>Trinax morrisii</i>	25 gal, 8' o.a., DBL TK, full
SHRUBS					
CIT	YES	84	COCOPLUM	<i>Chyobalanus icaco</i>	1 GAL., 30" x 24" full, 24" o.c.
CRO		30	CROTON "ORANGE"	<i>Codiaeum variegatum</i>	3 gal, 18" x 18", 18" o.c., full
IXM		65	IXORA "MAUI"	<i>Ixora spp. "Maui"</i>	3 gal, 18" x 18", 18" o.c., full
ACCENT PLANTS AND GROUNDCOVERS					
BL3		40	BLUEBERRY FLAX LILY	<i>Dianella tasmanica</i>	3 gal, 12" x 18", 18" o.c., full
FG3		245	"GREEN ISLAND" FIGUS	<i>Ficus "Green Island"</i>	3 gal, 18" x 18", 18" o.c., full
TOPSOIL:					
150 c.y. "200 MIX" FOR PLANTING-PER ATLAS PEAT AND SOIL FOR PLANTER BOXES BASED UPON 1346 SF. X 3' DEPTH/21 CF. PER C.Y.					
MULCHING:					
12 C.Y./V- "PINE BARK" NUGGET MULCH 3" DEPTH, SPREAD IN PLACE, ATLAS PEAT AND SOIL PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION					
--- TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.					
INSTALLATION WATERING:					
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED, AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE OWNER.					



A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.
 SEE LANDSCAPE PLANS FOR PROPOSED PLANTINGS, LANDSCAPE LEGEND, DETAILS, NOTES, ETC.



BELLAMAR RESIDENCES
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020



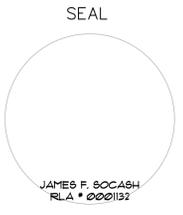
REVISIONS

No.	DATE	DESCRIPTION

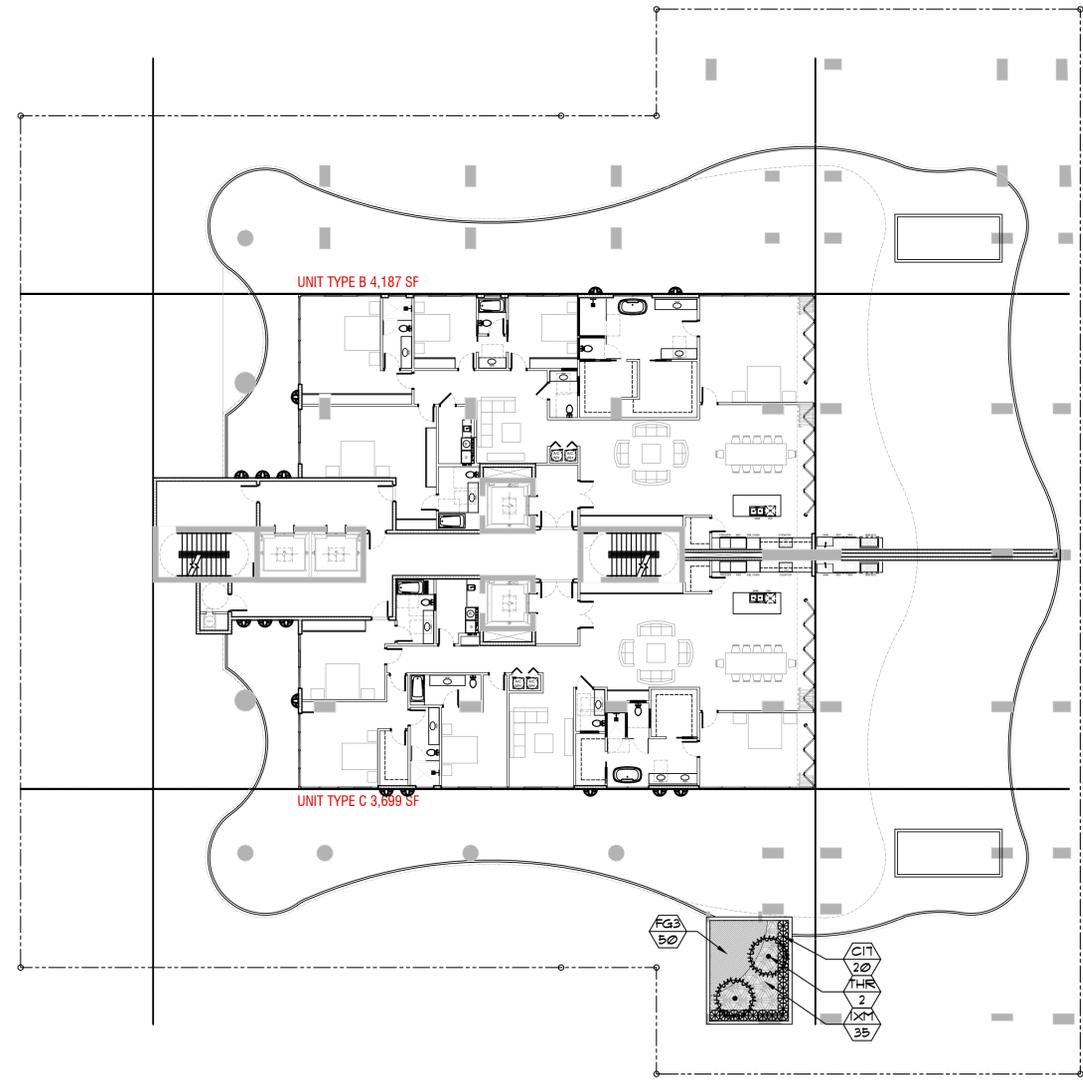
PROJECT No.: 19007
 DATE: 03-08-19
 DRAWN BY: MJB
 CHECKED BY: JBK

**LEVEL 2
 LANDSCAPE PLAN**

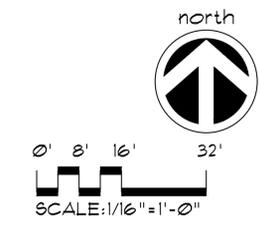
L-2



BELLAMAR
 RESIDENCES
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020



PLANTLIST					
SYM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
PALMS					
THR	YES	2	KEY THATCH PALMS	<i>Thrinax morrisii</i>	25 gal, 8' oa., DBL TK, full
SHRUBS					
C11	YES	20	COCOPLUM	<i>Chrysobalanus icaco</i>	1 GAL., 30" x 24" full, 24" oc.
IXM		35	IXORA "MAUI"	<i>Ixora spp. 'Maui'</i>	3 gal, 18" x 18", 18" oc, full
ACCENT PLANTS AND GROUNDCOVERS					
FG3		50	"GREEN ISLAND" FICUS	<i>Ficus 'Green Island'</i>	3 gal, 18" x 18", 18" oc, full
TOPSOIL:					
30 c.y. "200 MIX" FOR PLANTING-PER ATLAS PEAT AND SOIL FOR PLANTER BOXES BASED UPON 214 SF. X 3' DEPTH/21 CF. PER C.Y.					
MULCHING:					
3 C.Y./V- "PINE BARK" NUGGET MULCH 3" DEPTH, SPREAD IN PLACE, ATLAS PEAT AND SOIL PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION					
--- TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.					
INSTALLATION WATERING:					
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED, AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE OWNER.					



A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.
 SEE LANDSCAPE PLANS FOR PROPOSED PLANTINGS, LANDSCAPE LEGEND, DETAILS, NOTES, ETC.

PROJECT TITLE
 SHEET TITLE

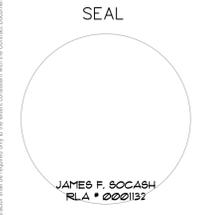
REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 19007
 DATE: 03-08-19
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

LEVEL 3 LANDSCAPE PLAN

L-3



PROJECT TITLE
BELLAMAR RESIDENCES
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020



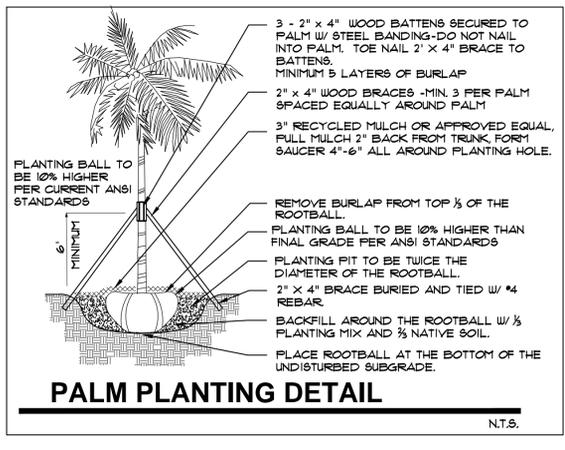
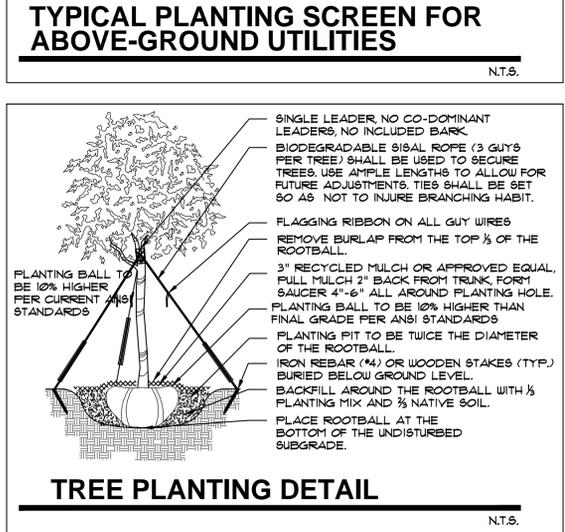
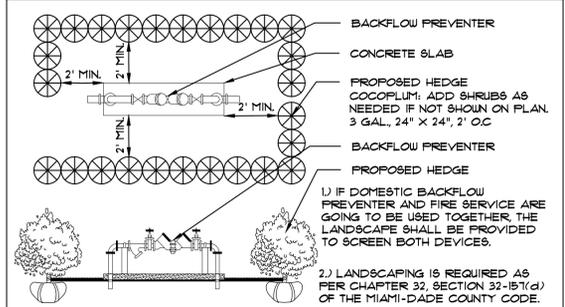
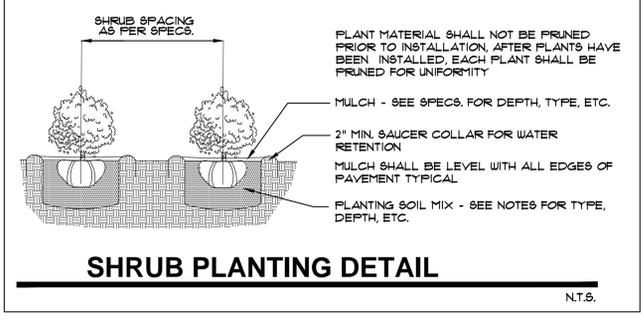
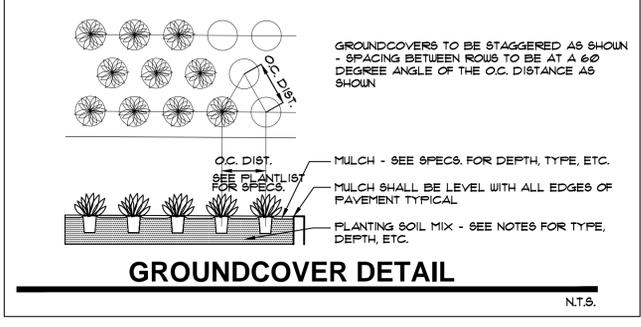
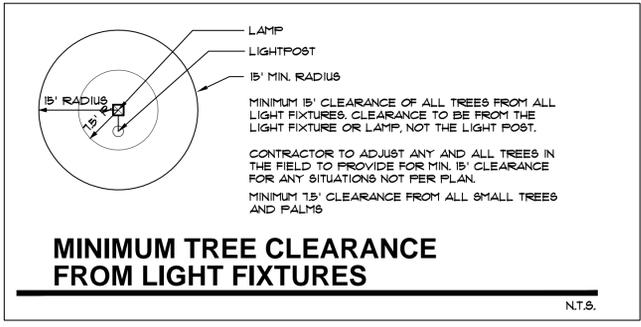
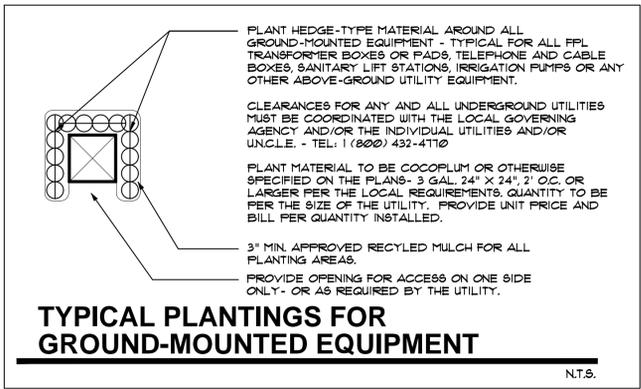
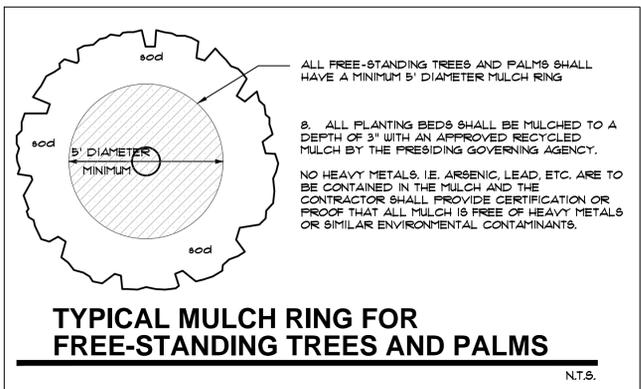
SHEET TITLE
LANDSCAPE DETAILS, SPECIFICATIONS, ETC.

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 19007
 DATE: 03-08-19
 DRAWN BY: MJB
 CHECKED BY: JBK

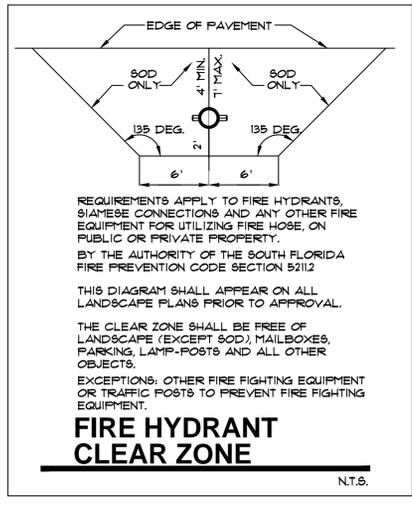
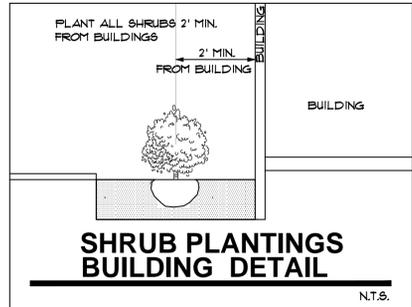
LANDSCAPE NOTES

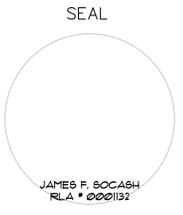
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL: SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERTS AND OTHER LANDSCAPE AREAS.
- SODDED-LAWN AREAS
 2" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
 GROUNDCOVER PLANTING BEDS:
 6" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
 SHRUB AND HEDGE PLANTING AREAS:
 12" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
 TREES, PALMS, SPECIMEN PLANT MATERIAL:
 24" DEPTH PLANTING SOIL SPREAD IN PLACE OR, TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.
 LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:
 EXCAVATE AND REMOVE ALL LIMEROCK, ROCKS, DEBRIS, ETC. TO A DEPTH OF 18" AND BACKFILL W/ 50:50 TOPSOIL: SAND MIX.
 BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL: SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL: SAND APPLICATION AND SUBSEQUENT PAYMENT.
 OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 "NO CUTS" AS REQUIRED BY LAW.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.
- SOD SHALL BE ARGENTINE "BAHIA" OR ST. AUGUSTINE "FLORATAM" AS SHOWN ON THE PLANS. STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FOOT. SOD SHALL CARRY A 5-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP, AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX 1F IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.
- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS "TENAX" PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
- ALL EXISTING TREES AND PALMS SHALL BE "LIFTED AND THINNED" TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
- ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED-IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.



FERTILIZATION:
 ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC - AFEC FERTILIZER 4 CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC # 5231) RATE: 15 LBS/ INCH OF DIA. @ DBH PALMS: 12-04-12 (AFEC # 1216) RATE: 15 LBS/ INCH OF DIA. @ DBH SHRUBS AND GROUNDCOVERS: 12-06-08 AFEC # 5231) RATE: 15 OZ/ FT. OF HEIGHT





BELLAMAR RESIDENCES
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020



PROJECT TITLE
 SHEET TITLE

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 19007
 DATE: 03-08-19
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

L-E-1



EAST ELEVATION

NT.S.

EAST LANDSCAPE ELEVATION

REVISIONS		
No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the

PROJECT No.: 19007
 DATE: 03-08-19
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

L-E-2

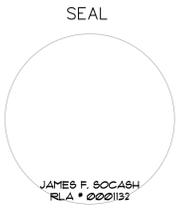


SOUTH ELEVATION

THUNBERGIA VINE ON
 "GREENSCREEN" TRELLIS,
 SEE PLANTLIST FOR
 SPECIFICATIONS.

N.T.S.

SOUTH LANDSCAPE ELEVATION



PROJECT TITLE
BELLAMAR RESIDENCES
 1900 S SURF ROAD
 HOLLYWOOD, FLORIDA 33020



SHEET TITLE

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 19007
 DATE: 03-08-19
 DRAWN BY: MJB
 CHECKED BY: JBK

SHEET

L-E-3

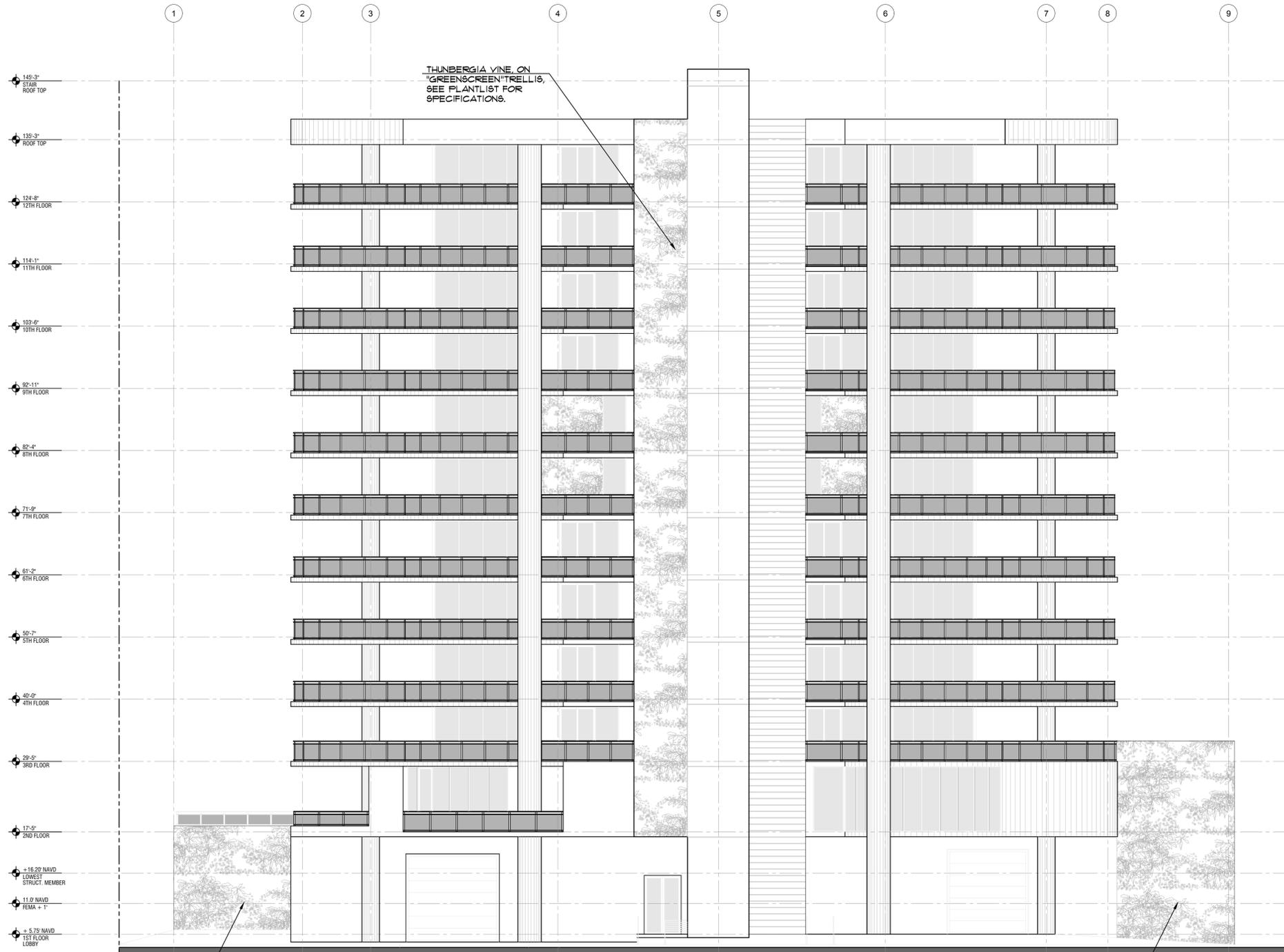


NORTH ELEVATION

NT.S.

NORTH LANDSCAPE ELEVATION

REVISIONS		
No.	DATE	DESCRIPTION



WEST ELEVATION

N.T.S.

WEST LANDSCAPE ELEVATION







