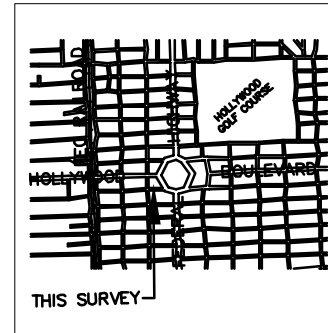
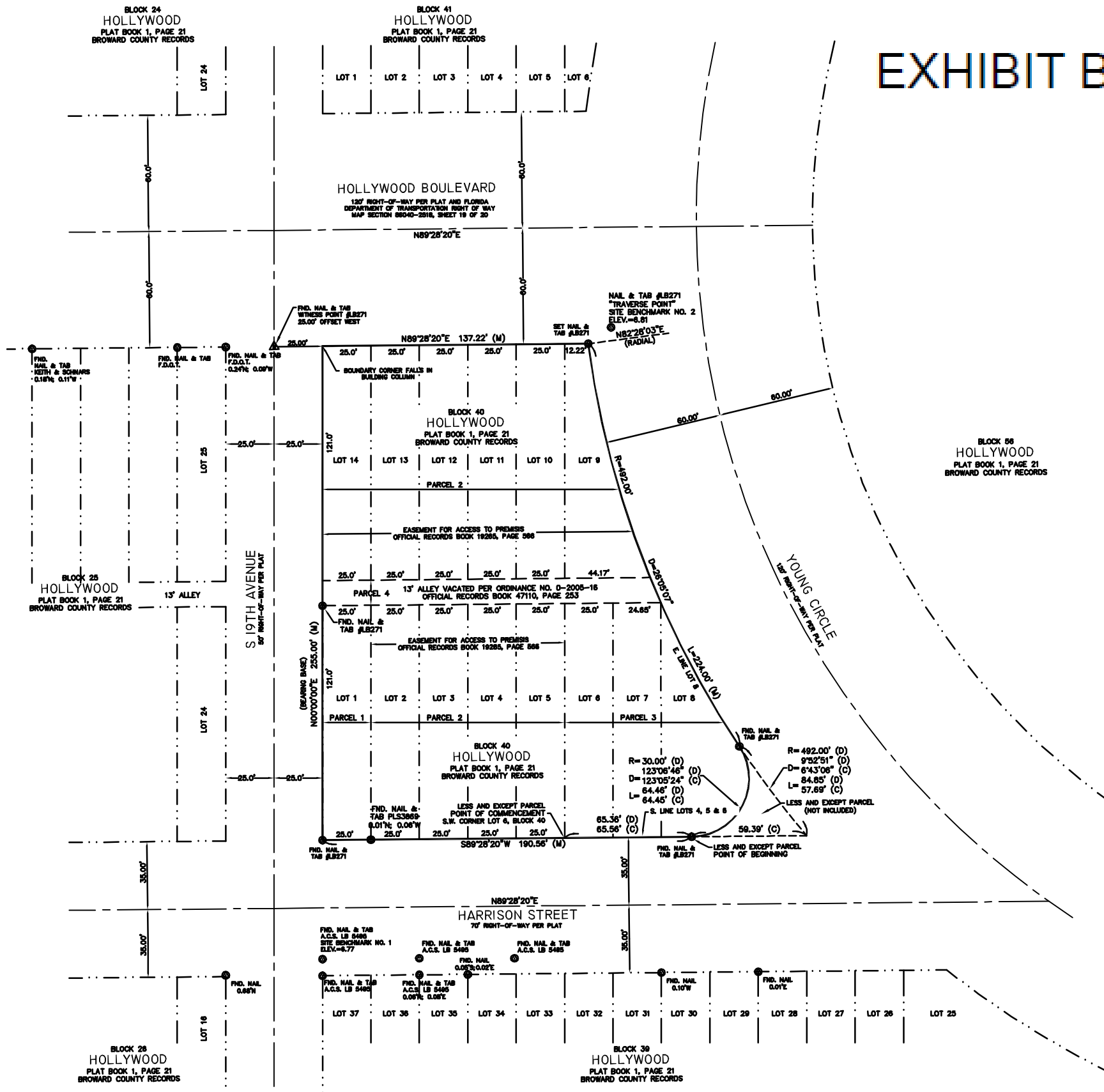
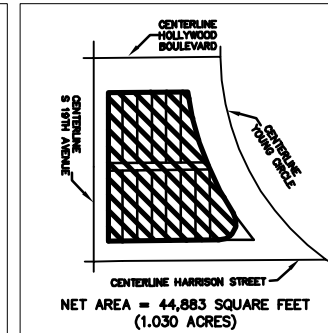


# ALTA/ACSM LAND TITLE SURVEY

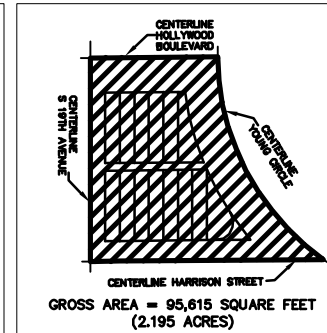
## EXHIBIT B



LOCATION MAP  
NOT TO SCALE



NET AREA DETAIL  
NOT TO SCALE



GROSS AREA DETAIL  
NOT TO SCALE

### DESCRIPTION:

PARCEL 1:  
LOT 1, OF BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:  
LOTS 2, 3, 4, 5, 9, 10, 11, 12, 13 AND 14, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:  
LOTS 6, 7 AND 8, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPTING THEREFROM:  
COMMENCING AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 40, OF THE SUBDIVISION OF THE TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1, AT PAGE 21, IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; RUN EAST ON AND ALONG THE SOUTH LINE OF LOTS 6, 7 AND 8 FOR A DISTANCE OF 65.38 FEET TO THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING THE FOLLOWING PROPERTIES: RADIUS=30.00 FEET, DELTA=123°06'46", ARC LENGTH=64.48 FEET; THENCE RUN NORTHEASTERLY ON SAID CURVE FOR A DISTANCE OF 64.48 FEET TO THE POINT OF INTERSECTION WITH THE EAST PROPERTY LINE OF LOT 6 OF SAID BLOCK 40; THENCE RUN SOUTHEASTERLY ON THE EAST LINE OF LOT 6, SAID EAST LINE BEING A CURVE HAVING THE FOLLOWING PROPERTIES: RADIUS=492.00 FEET, DELTA=09°52'51", ARC LENGTH=84.85 FEET, EXTENDED TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF LOTS 6, 7 AND 8 EXTENDED EASTERLY; THENCE RUN WESTERLY ON AND ALONG THE EXTENSION OF LOTS 6, 7 AND 8 TO THE POINT OF BEGINNING.

PARCEL 4:  
THAT CERTAIN 13.00 FOOT ALLEY LYING IN BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AS VACATED BY CITY ORDINANCE NO. 0-2005-16, RECORDED MAY 25, 2010, IN OFFICIAL RECORDS BOOK 47110, PAGE 253.

SAID LANDS SITUATE IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAIN 44,883 SQUARE FEET ( 1.034 ACRES) MORE OR LESS.

### SURVEYOR'S NOTES:

- THE BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN, WITH THE WEST LINE OF BLOCK 40 BEARING NORTH 00°00'00" EAST AS SHOWN ON THE PLAT OF HOLLYWOOD, PLAT BOOK 1, PAGE 21.
- THE LEGAL DESCRIPTION SHOWN HEREON WAS FURNISHED TO THIS OFFICE BY THE CLIENT.
- THIS SURVEY MEETS AND EXCEEDS THE LINEAR CLOSURE OF 1 IN 10,000 FEET FOR COMMERCIAL/HIGH RISK SURVEYS AS DEFINED IN THE FLORIDA MINIMUM TECHNICAL STANDARDS (6J-17.001 AND 6J-17.002, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- BUILDING TIES ARE PERPENDICULAR OR RADIAL TO THE BOUNDARY LINES UNLESS OTHERWISE NOTED. ALL BUILDING TIES AND DIMENSIONS ARE SHOWN TO THE NEAREST 0.1 OF A FOOT.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
- THE TOPOGRAPHICAL MEASUREMENTS SHOWN HEREON WERE OBTAINED USING A LEICA TC-700 SERIES TOTAL STATION AND TDS DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
- THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF BLOCK 40, LLC FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT WITH THE AFORESAID CLIENT FOR THIS PROJECT. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- SHEET S-1 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30' OR SMALLER. SHEET S-2 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=20' OR SMALLER. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY AND MAY NOT REPRESENT THE ACTUAL SIZE OR SHAPE OF THE FEATURE.
- ADDITIONS AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE UNDERSIGNED. THIS DOCUMENT CONSISTS OF 2 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.
- TREE TYPES ARE DETERMINED TO THE BEST OF OUR KNOWLEDGE. EXACT SPECIES SHOULD BE DETERMINED BY A LICENSED BOTANIST, DENDROLOGIST OR OTHER PROFESSIONAL WITH SUCH CAPACITY.
- THE ELEVATIONS SHOWN HEREON ARE FOR THE PURPOSE OF INDICATING THE GROUND ELEVATION ONLY AT THE POSITION SHOWN AND IN NO WAY INDICATE ELEVATIONS AT ANY OTHER POINT THAN THAT SHOWN HEREON AND DO NOT DETERMINE SUBSURFACE CONDITIONS.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND REFERENCED TO THE FOLLOWING BENCHMARK, NATIONAL GEODETIC SURVEY BENCHMARK NO. M312, A BRASS DISC SET ON TOP OF A RETAINING WALL, 17.4 FEET SE OF THE NE CORNER OF THE CITY HALL BUILDING, AND 8 FEET E OF THE E WALL OF THE BUILDING. ELEVATION = 13.44.
- FLOOD ELEVATION INFORMATION:  
A) COMMUNITY NUMBER 125113  
B) DATE OF FIRM INDEX OCTOBER 2, 1997  
C) DATE OF FIRM MAP JULY 21, 1995  
D) FIRM ZONE X  
E) PANEL NUMBER 0317  
F) SUFFIX 9  
G) BASE FLOOD ELEVATION N/A

### TITLE NOTES:

- THE TITLE INFORMATION SHOWN HEREON IS BASED ON A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 3897721, REVISION B, EFFECTIVE DATE MAY 8, 2013 AT 8:00 A.M. AND IS SUBJECT TO ALL DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, APPEARING IN THE PUBLIC RECORDS OR ATTACHED SUBSEQUENT TO THE EFFECTIVE DATE THEREOF.
- SUBJECT TO ITEM #2: TAXES AND ASSESSMENTS FOR THE YEAR 2013 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.
- SUBJECT TO ITEM #3: GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 19285, PAGE 566, (AS TO LOTS 2-5, 9-14) (PLOTTED).
- SUBJECT TO ITEM #4: TERMS, CONDITIONS AND PROVISIONS OF DEVELOPERS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 38372, PAGE 953, AS AFFECTED BY ASSIGNMENT OF DEVELOPERS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 46829, PAGE 1110, (NOT PLOTTED).
- SUBJECT TO ITEM #5: RESOLUTION NO. 02-COMPV-160(A) RECORDED IN OFFICIAL RECORDS BOOK 40229, PAGE 1924; TOGETHER WITH RESOLUTION NO. 02-COMPV-160(A) RECORDED IN OFFICIAL RECORDS BOOK 40229, PAGE 1928; AND TOGETHER WITH RESOLUTION NO. 02-COMPV-160(A) RECORDED IN OFFICIAL RECORDS BOOK 40858, PAGE 1257, (NOT PLOTTED).
- SUBJECT TO ITEM #7: QUIT CLAIM DEED OF FACADE PRESERVATION EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 40864, PAGE 78, (AS TO LOTS 9 & 10) (NOT PLOTTED).
- SUBJECT TO ITEM #8: TERMS, PROVISIONS AND CONDITIONS OF ORDINANCE NO. 0-2005-16 RECORDED IN OFFICIAL RECORDS BOOK 47110, PAGE 253 WHICH INCLUDES OBLIGATIONS UNDER AN AGREEMENT FOR PUBLIC IMPROVEMENTS AND AN ESCROW AGREEMENT ATTACHED THERETO, (NOT PLOTTED).
- SUBJECT TO ITEM #9: TERMS, CONDITIONS AND PROVISIONS OF THAT UNRECORDED AMENDED AND RESTATED DEVELOPERS AGREEMENT DATED AS OF MAY 2012, (NOT PLOTTED).
- ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA UNLESS OTHERWISE NOTED.

### SURVEYOR'S CERTIFICATE:

TO BLOCK 40, LLC; CHICAGO TITLE INSURANCE COMPANY; AND GREENBERG TRAUER, P.A.: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, 11(a), 11(b), 14, 18 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 10, 2014.

CRAVEN THOMPSON & ASSOCIATES, INC.  
CERTIFICATE OF AUTHORIZATION NO. L8271

FIELD BOOK REFERENCES:

F.B. 1826	PGS. 39-59
F.B. 1938	PGS. 01, 52
F.B. 2102	PGS. 52, 53
F.B. 2801	PGS. 11-22, 38-51, 57
F.B. 2817	PGS. 68

DATE:	12/05/02
SCALE:	AS SHOWN
DRAWN BY:	JVN
CHECKED BY:	JVN
FIELD BOOK:	1928
PAGE(S):	39-59

CRAVEN THOMPSON AND ASSOCIATES, INC.  
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TEL: (954) 739-6400  
FAX: (954) 739-6400

FLORIDA LICENSED SURVEYING & MAPPING BUSINESS NO. 271  
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 020014

STATE OF FLORIDA  
THOMAS C. SHAHAN, REGISTERED PROFESSIONAL SURVEYOR  
A MEMBER OF THE SURVEYING AND MAPPING BOARD

**YOUNG CIRCLE COMMONS**  
PREPARED FOR:  
**Block 40, LLC**

**BOUNDARY SURVEY SHEET**

PROJECT NO.  
**02-0108-002**

**S-1**

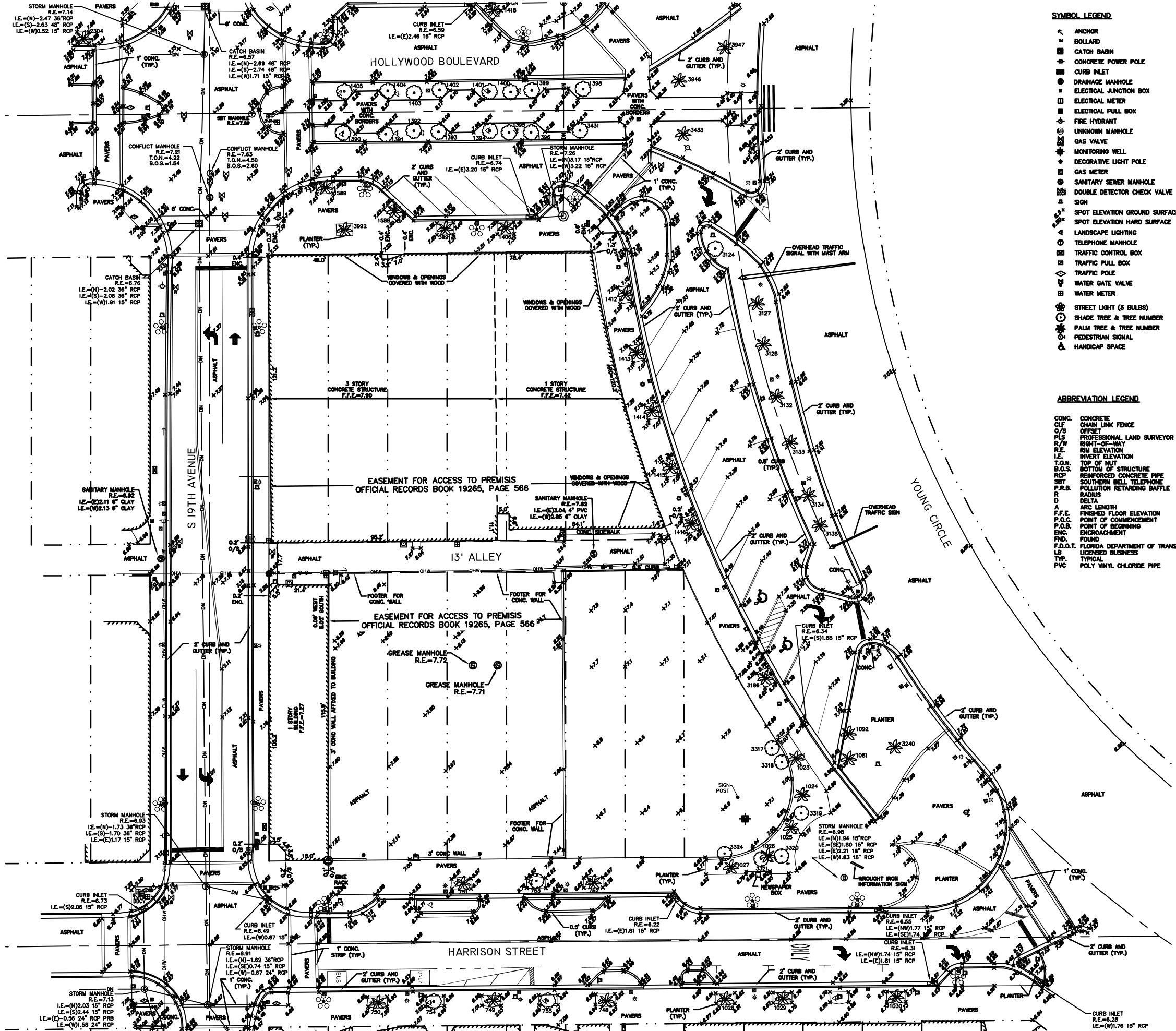
SHEET 1 OF 2



# ALTA/ACSM LAND TITLE SURVEY

### TREE LIST

NO	SIZE	TYPE	BUD HEIGHT
748	14"	ROYAL PALM	18'
749	14"	ROYAL PALM	18'
750	14"	ROYAL PALM	18'
751	16"	ROYAL PALM	24'
752	16"	ROYAL PALM	24'
753	6"	LYGISTRUM	28'
754	4"	UNKNOWN TREE	18'
755	4"	UNKNOWN TREE	18'
1023	14"	ROYAL PALM	18'
1024	20"	ROYAL PALM	26'
1025	18"	ROYAL PALM	24'
1026	18"	ROYAL PALM	24'
1027	16"	ROYAL PALM	22'
1028	14"	ROYAL PALM	18'
1029	14"	ROYAL PALM	18'
1030	14"	ROYAL PALM	18'
1081	7"	ROYAL PALM	8'
1082	6"	ROYAL PALM	8'
1390	4"	UNKNOWN TREE	18'
1391	4"	UNKNOWN TREE	18'
1392	4"	UNKNOWN TREE	18'
1393	4"	UNKNOWN TREE	18'
1394	4"	UNKNOWN TREE	18'
1395	4"	UNKNOWN TREE	18'
1396	4"	UNKNOWN TREE	18'
1397	4"	UNKNOWN TREE	18'
1398	4"	UNKNOWN TREE	18'
1399	4"	UNKNOWN TREE	18'
1400	4"	UNKNOWN TREE	18'
1401	4"	UNKNOWN TREE	18'
1402	4"	UNKNOWN TREE	18'
1403	4"	UNKNOWN TREE	18'
1404	4"	UNKNOWN TREE	18'
1405	4"	UNKNOWN TREE	18'
1406	15"	ROYAL PALM	27'
1412	16"	ROYAL PALM	30'
1413	14"	ROYAL PALM	28'
1414	16"	ROYAL PALM	24'
1415	16"	ROYAL PALM	24'
1416	16"	ROYAL PALM	24'
1418	14"	ROYAL PALM	18'
1588	14"	ROYAL PALM	28'
1589	14"	ROYAL PALM	28'
2304	14"	ROYAL PALM	18'
3124	8"	LYGISTRUM	25'
3127	8"	CHRISTMAS PALM	25'
3128	6"	CHRISTMAS PALM	25'
3132	8"	CHRISTMAS PALM	25'
3133	8"	CHRISTMAS PALM	25'
3134	8"	CHRISTMAS PALM	25'
3136	8"	CHRISTMAS PALM	25'
3186	15"	ROYAL PALM	28'
3240	12"	PALM	12'
3317	10"	GUMBO LIMBO	30'
3318	8"	GUMBO LIMBO	30'
3319	8"	GUMBO LIMBO	30'
3320	8"	GUMBO LIMBO	30'
3321	2"	GUMBO LIMBO	30'
3324	5"	CARROTWOOD	30'
3431	8"	LYGISTRUM	35'
3433	15"	ROYAL PALM	35'
3448	15"	ROYAL PALM	35'
3647	15"	ROYAL PALM	40'
3691	15"	ROYAL PALM	28'
3692	15"	ROYAL PALM	28'



### SYMBOL LEGEND

- ANCHOR
- BOLLARD
- CATCH BASIN
- CONCRETE POWER POLE
- CURB INLET
- DRAINAGE MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL METER
- ELECTRICAL PULL BOX
- FIRE HYDRANT
- UNKNOWN MANHOLE
- GAS VALVE
- MONITORING WELL
- DECORATIVE LIGHT POLE
- GAS METER
- SANITARY SEWER MANHOLE
- DOUBLE DETECTOR CHECK VALVE
- SIGN
- SPOT ELEVATION GROUND SURFACE
- SPOT ELEVATION HARD SURFACE
- LANDSCAPE LIGHTING
- TELEPHONE MANHOLE
- TRAFFIC CONTROL BOX
- TRAFFIC PULL BOX
- TRAFFIC POLE
- WATER GATE VALVE
- WATER METER
- STREET LIGHT (5 BULBS)
- SHADE TREE & TREE NUMBER
- PALM TREE & TREE NUMBER
- PEDESTRIAN SIGNAL
- HANDICAP SPACE

### ABBREVIATION LEGEND

- CONC. CONCRETE
- CLF CHAIN LINK FENCE
- O/S OFFICE
- PLS PROFESSIONAL LAND SURVEYOR
- R/W RIGHT-OF-WAY
- R/E RISE ELEVATION
- I.E. INVERT ELEVATION
- T.O.M. TOP OF MUD
- B.O.S. BOTTOM OF STRUCTURE
- RCP REINFORCED CONCRETE PIPE
- SBT SOUTHERN BELL TELEPHONE
- P.R.B. POLLUTION RETARDING Baffle
- R RADIUS
- Δ DELTA
- A ARC LENGTH
- F.F.E. FINISHED FLOOR ELEVATION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- ENC. ENCROACHMENT
- FND. FOUND
- F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
- LB LICENSED BUSINESS
- TYP. TYPICAL
- PVC POLY VINYL CHLORIDE PIPE

THE ELEVATIONS SHOWN  
HEREON ARE BASED ON THE  
NORTH AMERICAN VERTICAL DATUM OF 1988.

DATE	SCALE	AS SHOWN
12/05/02	1"=100'	DATE
7	1"=100'	T.S.
8	1"=100'	JAN 4/29/03
9	1"=100'	JAN 1/27/05
10	1"=100'	JAN 9/25/03
11	1"=100'	JAN 2/25/03
12	1"=100'	JAN 1/29/03
13	1"=100'	JAN 1/29/03
14	1"=100'	JAN 1/29/03
15	1"=100'	JAN 1/29/03
16	1"=100'	JAN 1/29/03
17	1"=100'	JAN 1/29/03
18	1"=100'	JAN 1/29/03
19	1"=100'	JAN 1/29/03
20	1"=100'	JAN 1/29/03
21	1"=100'	JAN 1/29/03
22	1"=100'	JAN 1/29/03
23	1"=100'	JAN 1/29/03
24	1"=100'	JAN 1/29/03
25	1"=100'	JAN 1/29/03
26	1"=100'	JAN 1/29/03
27	1"=100'	JAN 1/29/03
28	1"=100'	JAN 1/29/03
29	1"=100'	JAN 1/29/03
30	1"=100'	JAN 1/29/03
31	1"=100'	JAN 1/29/03
32	1"=100'	JAN 1/29/03
33	1"=100'	JAN 1/29/03
34	1"=100'	JAN 1/29/03
35	1"=100'	JAN 1/29/03
36	1"=100'	JAN 1/29/03
37	1"=100'	JAN 1/29/03
38	1"=100'	JAN 1/29/03
39	1"=100'	JAN 1/29/03
40	1"=100'	JAN 1/29/03

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FLORIDA LICENSED ENGINEERING SURVEYING & MAPPING BUSINESS NO. 271  
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000114  
A MEMBER COMPANY - THOMPSON & ASSOCIATES, INC. (MEMBER OF THE CRAVEN GROUP)  
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**YOUNG CIRCLE COMMONS**  
PREPARED FOR:  
**Block 40, LLC**  
**TOPOGRAPHIC SURVEY SHEET**

PROJECT NO.  
**02-0108-002**  
**9-2**  
SHEET 2 OF 2

G:\2002\020108-002 Young Circle Commons\Alta\ALTA\_SOS\_9-13.dwg [S-2] Mar 26, 2015 2:34pm TSHAHAN

OFF-STREET PARKING SPACES REQUIRED (2004 vs 2016)

PARKING REQUIREMENTS CCC-2 ZONING				
USE	No OF SPACES RATIO	TOTAL CONDO/HOTEL	REQUIRED	PROVIDED
APARTMENT UNITS	1.5 per UNITS (249 TOTAL)	166	282	288
	1 per 5 GUEST (33 TOTAL)			
HOTEL	1 per UNIT	103	103	103
OFFICE RESTAURANT RETAIL	CCC-2 zoning districts, where there is no required parking for any retail, commercial or office use which is located on the <b>FIRST &amp; SECOND FLOOR</b> of a building			
<b>TOTAL PARKING COMPARISON</b>			<b>385</b>	<b>391</b>
LOADING	Multiple Family or Apt/Hotel Bldg: 50-100 Units - 1 space + 1 space for each additional 100 units or major fraction.		3	3

SITE PLAN APPROVED 2005		SITE PLAN PROPOSED 2016	
LEVEL	PARKING SPACES	LEVEL	PARKING SPACES
1	3	1	3
2	45	2	45
3	70	3	67
4	68	4	69
5	68	5	69
6	68	6	69
7	74	7	72
TOTAL PARKING SPACES	<b>393</b>	TOTAL PARKING SPACES	<b>394</b> <sup>1</sup>

1. TOTAL PARKING SPACES PROPOSED ON REVISED SITE PLAN (2016) INCLUDES LOADING PARKING SPACES REQUIRED..

SITE DATA

OWNER / APPLICANT: BLOCK 40, LLC  
 ADDRESS / LOCATION: LOTS 1-14, BLOCK 40 GENERALLY LOCATED SOUTH OF HOLLYWOOD BOULEVARD, WEST OF YOUNG CIRCLE, NORTH OF HARRISON STREET, AND EAST OF 19TH AVENUE.  
 NET AREA OF PROP: 44,883 SQUARE FEET (1.030 ACRES)  
 GROSS AREA OF PROP: 95,615 SQUARE FEET (2.196 ACRES)  
 LAND USE: REGIONAL ACTIVITY CENTER (RAC)  
 ZONING: YOUNG CIRCLE DISTRICT (YC-B40); PREVIOUSLY CCC-2  
 EXISTING LAND USE: VACANT / PORTION OF HISTORIC FACADE.

PREVIOUS SITE PLAN APPROVED

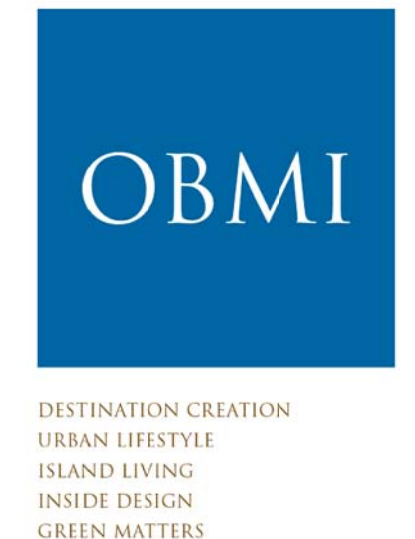
NO CHANGES FOR REFERENCE ONLY

**SET BACKS:**

A. PEDESTAL: REQUIRED PROPOSED(+/-)  
 FRONT (N) (Hollywood Blvd) 25' or 0' For Retail 45' (Existing Bldg) 0' (Levels 1-8)  
 FRONT (S) (Harrison St.) 25' or 0' For Retail 0' (Levels 1-8)  
 SIDE STREET (E) (Young Circle S.) 0' (1-2 Stories & above 20' (Levels 1-8)  
 SIDE STREET (W) (19 Ave.) 25' or 0' For Retail 0' (Existing Bldg) 0' (Levels 1-8)

B. TOWER: REQUIRED PROPOSED(+/-)  
 FRONT (N) (Hollywood Blvd) 50' 15' or 0'  
 FRONT (S) (Harrison St.) 50' 15' or 0'  
 SIDE STREET (E) (Young Circle S.) 50' 15' or 0'  
 SIDE STREET (W) (19 Ave.) 50' 15' or 0'  
 \* Refer to Variances below

**VARIANCES:**  
 1. WAIVE THE REQUIRED 25 FOOT PEDESTAL FRONT SETBACK (HARRISON STREET) TO PROVIDE ZERO SETBACK.  
 2. WAIVE THE REQUIRED 20 FOOT PEDESTAL SIDE STREET SETBACK (YOUNG CIRCLE) TO PROVIDE ZERO SETBACK.  
 3. WAIVE THE REQUIRED 20 FOOT PEDESTAL SIDE STREET SETBACK (19TH AVENUE) TO PROVIDE ZERO SETBACK.  
 4. WAIVE THE REQUIRED 50 FOOT TOWER FRONT SETBACK (HARRISON STREET) TO PROVIDE ZERO SETBACK.  
 5. WAIVE THE REQUIRED 50 FOOT TOWER FRONT SETBACK (HOLLYWOOD BOULEVARD) TO PROVIDE 36 FOOT SETBACK.  
 6. WAIVE THE REQUIRED 50 FOOT TOWER SIDE STREET SETBACK (YOUNG CIRCLE) TO PROVIDE ZERO SETBACK.  
 7. WAIVE THE REQUIRED 50 FOOT TOWER SIDE STREET SETBACK (19TH AVENUE) TO PROVIDE ZERO SETBACK.  
 8. WAIVE THE REQUIRED MAXIMUM BUILDING HEIGHT (150 FEET/15 STORIES) TO PROVIDE A BUILDING HEIGHT OF 198.5 FEET/19 STORIES.



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 F 305 445 0997  
 Lic. # AA0003112

Antigua  
 Bermuda  
 British Virgin Islands  
 Cayman Islands  
 Miami  
 Trinidad & Tobago

DATE: REVISION:

08/31/2016 TAC COMMENTS  
 08/22/2016 TAC COMMENTS  
 05/20/2016 TAC COMMENTS  
 06/23/2016 TAC COMMENTS  
 03/21/2016 TAC FINAL SITE PLAN REVIEW  
 04/04/2016 TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
 DOUGLAS A. KULIG  
 AR 10807

PROJECT:

BLOCK 40  
 CITY of  
 HOLLYWOOD  
 FLORIDA

DRAWING:

TABLES AND  
 GENERAL NOTES

DRAWN BY:	PROJECT #:
CHECKED BY:	SCALE:
DRAWING #:	NTS
A-001	

TAC SITE PLAN REVIEW

BUILDING TOTAL AREA - NET (2004 vs 2016)

RESIDENTIAL BUILDING SITE PLAN APPROVED 2005					
LEVEL	RETAIL	SERVICE	RES	AMENITY	OFFICE
	SQ/FT				
1	24,916	2,539	0		
HIST. BLDG. LOFT			4,656		
HIST. BLDG. OFF.					3,974
3-4		2,197			
2-7		12,492	46,728		
8		2,209	16,575	4,875	
9-19		30,525	184,778		
SUB-TOTAL	24,916	49,962	252,737	4,875	3,974
<b>TOTAL AREA</b>	<b>336,464<sup>1,2</sup> (NET)</b>				

1. TOTAL AREA DOES NOT INCLUDES BALCONIES  
 2. TOTAL BUILDING AREA NOT INCLUDING PARKING GARAGE

RESIDENTIAL AND HOTEL UNITS AREA (2004 vs 2016)

RESIDENTIAL BUILDING (APARTMENTS UNITS ONLY) SITE PLAN APPROVED 2005 (NET)		
LEVEL	APARTMENTS	AREA
	AMOUNT SQ/FT	
1	0	0
2	8	7,772
3	12	12,428
4-7	32	31,088
8	12	16,575
9-19	165	184,778 <sup>2</sup>
<b>TOTAL</b>	<b>229<sup>1</sup></b>	<b>252,641</b>

1. PER CITY OF HOLLYWOOD DEVELOPMENT REVIEW BOARD RECORDED ON 10/05/05 [RESOLUTION NO 02-CDMPV-160(A) - 231 CONDOMINIUM UNITS WERE APPROVED.  
 2. TOTAL AREA DOES INCLUDE BALCONIES.

RESIDENTIAL UNITS AREA (2016)

LEVELS	UNIT TYPE	RESIDENTIAL UNIT BREAKDOWN		
		B/B	SQ/FT	TOTAL UNITS
8	L-A1		890.20	1
	L-A5		1,046.21	1
	L-B1		1,416.83	1
	L-B1R		1,428.32	1
	L-B2		1,390.70	1
	L-B3		1,453.00	1
	L-B5		1,666.98	1
<b>SUB-TOTAL</b>			<b>9,292.24</b>	<b>7</b>
9-18	A1	1/1.5	775.86	10
	A3	1/1.5	838.12	10
	A4	1/1.5	745.72	10
	A6	1/1.5	883.29	10
	A7	2/2	897.75	10
	B1	2/2	1,030.50	10
	B2	2/2	1,104.72	10
	B2-REV	2/2	1,133.94	10
	B3	2/2	1,089.15	10
	B4	2/2	1,045.88	10
	B5	2/2	1,113.94	10
	B6	2/2.5	1,118.85	10
B7	2/2	1,187.43	10	
B9	2/2	1,295.75	10	
C1	2/2.5	1,410.53	10	
<b>SUB-TOTAL</b>			<b>15,671.43</b>	
<b>TOTAL LEVEL 9-18</b>			<b>156,714.30</b>	<b>150</b>
19	P1	3/3	2,926.50	1
	P2	3/3	2,273.90	1
	P3	3/3	2,157.84	1
	P4	3/3	2,299.13	1
	P5	3/3	2,236.57	1
	P6		730.38	1
	P7	2/2.5	1,486.51	1
	P8	2/2.5	1,060.26	1
	P9		579.84	1
<b>SUB-TOTAL</b>			<b>15,750.93</b>	<b>9</b>
<b>TOTAL</b>			<b>181,757.47<sup>1</sup> (GROSS)</b>	<b>166</b>

1. TOTAL AREA DOES NOT INCLUDES BALCONIES.

GROSS AND NET LOT DENSITY AREA (2004 vs 2016)

SITE PLAN APPROVED 2005			
LAND AREA	SQ/FT		
	95,614		44,883
F.A.R. BY NET			
<b>332,780</b>	<b>SQ/FT</b>	<b>/</b>	<b>44,883</b>
F.A.R. BY GROSS			
<b>332,780</b>	<b>SQ/FT</b>	<b>/</b>	<b>95,614</b>
<b>3.48</b>			

1. TOTAL GROSS AND NET SITE AREAS ARE BASED ON APPROVED SITE PLAN 2004.

SITE PLAN PROPOSED 2016			
LAND AREA	SQ/FT		
	95,615		44,883
F.A.R. BY NET			
<b>332,297</b>	<b>SQ/FT</b>	<b>/</b>	<b>44,883</b>
F.A.R. BY GROSS			
<b>359,241</b>	<b>SQ/FT</b>	<b>/</b>	<b>95,615</b>
<b>3.76</b>			

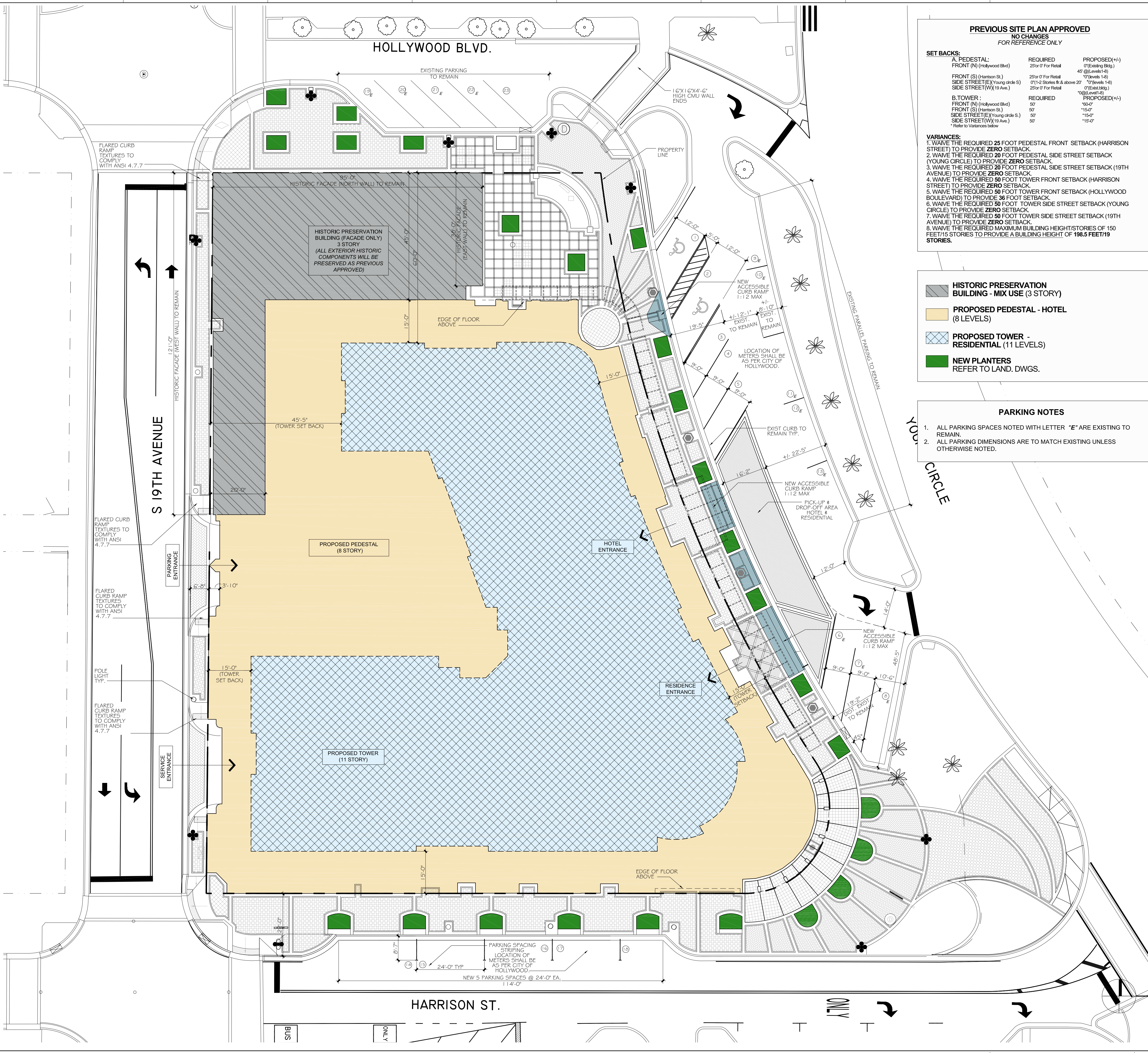
1. TOTAL GROSS AND NET SITE AREAS ARE BASED ON CURRENT SURVEY.

HOTEL & RESIDENTIAL PROPOSED 2016						
LEVEL	RETAIL	OFFICE	SERVICE	RESIDENTIAL	HOTEL	PARKING
	SQ/FT					
1	11,920		11,176	1,176	13,661	821
2	0	4,504	662	662	11,093	24,912
3	0		529	662	15,569	24,620
4	0		529	662	10,032	24,961
5	0		529	662	10,032	24,961
6	0		529	662	10,032	24,961
7	0		529	662	10,032	24,961
8	0		1,717	13,250	6,113	0
9-18	0		0	202,920	0	0
19	0		0	20,292	0	0
<b>TOTAL</b>	<b>11,920</b>	<b>4,504</b>	<b>16,068</b>	<b>241,610</b>	<b>86,564</b>	<b>150,198</b>
<b>360,666<sup>1,2</sup></b>						
<b>TOTAL AREA w/PARKING AREA</b>						
<b>510,864<sup>3</sup></b>						
<b>TOTAL AREA w/PARKING INCLUDED</b>						

1. TOTAL AREA INCLUDES BALCONIES  
 2. TOTAL BUILDING AREA NOT INCLUDING PARKING GARAGE  
 3. TOTAL BUILDING AREA INCLUDING PARKING GARAGE  
 4. TOTAL NET AREA = 332,297 SQ/FT  
 5. TOTAL FOOTPRINT = 526,875 SQ/FT

HOTEL & RESIDENTIAL PROPOSED (UNITS ONLY) 2016				
LEVEL	HOTEL	AREA	APARTMENTS	AREA
	AMOUNT SQ/FT			
1	0		0	
2	16	7,870.8	0	
3	23	11,909.7	0	
4	16	7,666.2	0	
5	16	7,666.2	0	
6	16	7,666.2	0	
7	16	7,666.2	0	
8	0		7	9,292.2
9-18	0		150	156,714.3
19	0		9	15,750.9
<b>TOTAL</b>	<b>103</b>	<b>50,445.2<sup>1</sup></b>	<b>166</b>	<b>181,757.5<sup>1</sup></b>

1. TOTAL GROSS AREA. TOTAL AREA DOES NOT INCLUDES BALCONIES.  
 2. TOTAL AREA HOTEL + APARTMENTS = 232,202.7 SQ/FT



**PREVIOUS SITE PLAN APPROVED**  
NO CHANGES FOR REFERENCE ONLY

SET BACKS:	REQUIRED	PROPOSED(+/-)
<b>A. PEDESTAL:</b>		
FRONT (N) (Hollywood Blvd)	25' or 0' For Retail	45' (Existing Bldg.)
FRONT (S) (Harrison St.)	25' or 0' For Retail	0' (Levels 1-8)
SIDE STREET (E) (Young Circle S)	0' (1-2 Stories R. & above 20'	0' (Levels 1-8)
SIDE STREET (W) (19 Ave.)	25' or 0' For Retail	0' (Level 1-8)
<b>B. TOWER:</b>		
FRONT (N) (Hollywood Blvd)	50'	100'-0"
FRONT (S) (Harrison St.)	50'	150'-0"
SIDE STREET (E) (Young Circle S)	50'	15'-0"
SIDE STREET (W) (19 Ave.)	50'	15'-0"

**VARIANCES:**

1. WAIVE THE REQUIRED 25 FOOT PEDESTAL FRONT SETBACK (HARRISON STREET) TO PROVIDE ZERO SETBACK.
2. WAIVE THE REQUIRED 20 FOOT PEDESTAL SIDE STREET SETBACK (YOUNG CIRCLE) TO PROVIDE ZERO SETBACK.
3. WAIVE THE REQUIRED 20 FOOT PEDESTAL SIDE STREET SETBACK (19TH AVENUE) TO PROVIDE ZERO SETBACK.
4. WAIVE THE REQUIRED 50 FOOT TOWER FRONT SETBACK (HARRISON STREET) TO PROVIDE ZERO SETBACK.
5. WAIVE THE REQUIRED 50 FOOT TOWER FRONT SETBACK (HOLLYWOOD BOULEVARD) TO PROVIDE 36 FOOT SETBACK.
6. WAIVE THE REQUIRED 50 FOOT TOWER SIDE STREET SETBACK (YOUNG CIRCLE) TO PROVIDE ZERO SETBACK.
7. WAIVE THE REQUIRED 50 FOOT TOWER SIDE STREET SETBACK (19TH AVENUE) TO PROVIDE ZERO SETBACK.
8. WAIVE THE REQUIRED MAXIMUM BUILDING HEIGHT/STORIES OF 150 FEET/15 STORIES TO PROVIDE A BUILDING HEIGHT OF 198.5 FEET/19 STORIES.

**LEGAL DESCRIPTION**

**PARCEL 1**  
LOT 1, OF BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 2**  
LOTS 2, 3, 4, 5, 9, 10, 11, 12, 13 AND 14, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 3**  
LOTS 6, 7 AND 8, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPTING THEREFROM COMMENCING AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 40, OF THE SUBDIVISION OF THE TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1, AT PAGE 21, IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; RUN EAST ON AND ALONG THE SOUTH LINE OF LOTS 6, 7 AND 8 FOR A DISTANCE OF 65.36 FEET TO THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING THE FOLLOWING PROPERTIES: RADIUS=30.00 FEET, DELTA=123.0646°, ARC LENGTH=64.46 FEET; THENCE RUN NORTHEASTERLY ON SAID CURVE FOR A DISTANCE OF 64.46 FEET TO THE POINT OF INTERSECTION WITH THE EAST PROPERTY LINE OF LOT 8 OF SAID BLOCK 40; THENCE RUN SOUTHEASTERLY ON THE EAST LINE OF LOT 8, SAID EAST LINE BEING A CURVE HAVING THE FOLLOWING PROPERTIES: RADIUS=482.00 FEET, DELTA=09.5251°, ARC LENGTH=84.85 FEET, EXTENDED TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF LOTS 6, 7 AND 8 EXTENDED EASTERLY; THENCE RUN WESTERLY ON AND ALONG THE EXTENSION OF LOTS 6, 7 AND 8 TO THE POINT OF BEGINNING.

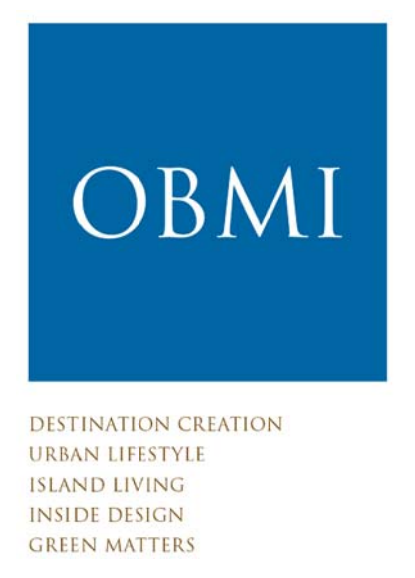
**PARCEL 4**  
THAT CERTAIN 13.00 FOOT ALLEY LYING IN BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AS VACATED BY CITY ORDINANCE NO. 0-2005-16, RECORDED MAY 26, 2010, IN OFFICIAL RECORDS BOOK 47110, PAGE 253.

SAID LANDS SITUATE IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAIN 44,883 SQUARE FEET (1.034 ACRES) MORE OR LESS.

- HISTORIC PRESERVATION BUILDING - MIX USE (3 STORY)
- PROPOSED PEDESTAL - HOTEL (8 LEVELS)
- PROPOSED TOWER - RESIDENTIAL (11 LEVELS)
- NEW PLANTERS REFER TO LAND DWGS.

- PARKING NOTES**
1. ALL PARKING SPACES NOTED WITH LETTER "E" ARE EXISTING TO REMAIN.
  2. ALL PARKING DIMENSIONS ARE TO MATCH EXISTING UNLESS OTHERWISE NOTED.

- GENERAL NOTES**
1. ALL ASPECTS AND ELEMENTS OF THE HISTORIC FACADES BEING PRESERVED ARE IN ACCORDANCE WITH THE PREVIOUS APPROVAL.
  2. PROPOSED SIGNAGE WILL BE SUBMITTED UNDER SEPARATE APPLICATION AND IN ACCORDANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS - ANY VARIANCE WILL BE APPLIED FOR UNDER THE ZONING AND LAND DEVELOPMENT REGULATIONS.
  3. THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES WILL BE MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
  4. ALL EXISTING PALMS AND TREES TO BE RELOCATED BY OWNER TO SITE UNDER DIRECTION OF CITY LANDSCAPE, IF REQUIRED.
  5. PLANTERS, LIGHTS, PAVERS, ETC. IN THE RIGHTS-OF-WAY WILL BE CONSISTENT WITH DOWNTOWN DESIGN AND COORDINATED WITH CRA.
  6. WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE.
  7. NFPA 1, 11.10 IN BUILDING PUBLIC SAFETY RADIO ENHANCEMENT WILL BE REQUIRED PER THE 2010 EDITION OF THE FLORIDA PREVENTION CODE.
  8. PARKING LOTS, VEHICLE ROADWAYS, PEDESTRIAN WALKWAYS AND BUILDING ENTRYWAYS WILL HAVE ADEQUATE LEVELS OF ILLUMINATION. THE AMERICAN CRIME PREVENTION INSTITUTE RECOMMENDS THE FOLLOWING LEVELS OF EXTERNAL ILLUMINATION:
    - A. PARKING LOTS 3-5 FOOT CANDLES
    - B. WALKING SURFACES 3 FOOT CANDLES
    - C. RECREATIONAL AREAS 2-3 FOOT CANDLES
    - D. BUILDING ENTRYWAYS 5 FOOT CANDLES.
  9. LED ENERGY SAVINGS LIGHTING TO BE INCORPORATED.
  10. EXTERIOR LIGHTING FIXTURE LENSES WILL BE FABRICATED FROM POLYCARBONATE, BREAK-RESISTANT MATERIALS.
  11. LIGHT FIXTURES BELOW 10 FEET IN GRADE WILL BE DESIGN TO MAKE ACCESS TO INTERNAL PARTS DIFFICULT. (I.E. SECURITY SCREWS, LOCKED ACCESS PANELS).
  12. PLANT MATERIALS, PARTICULARLY TREE FOLIAGE, WILL NOT INTERFERE WITH OR OBSCURE LIGHTING.
  13. CORRIDORS WILL BE WELL-LIGHTED WITH NO DARK AREAS.
  14. WROUGHT IRON FENCING PROVIDES FOR NATURAL SURVEILLANCE WITHIN AND ONTO THE PROPERTY.
  15. BUILDING SIGNAGE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH CODES.
  16. AS REQUIRED OWNER WILL INSTALL CCTV SYSTEM IN ACCORDANCE CODES AND BEST PRACTICES.
  17. PROVISIONS FOR RECYCLING WILL BE INCLUDED IN THIS PROJECT.
  18. PROJECT SHALL BE IN COMPLIANCE WITH THE TURTLE LIGHTING ORDINANCE.
  19. PROJECT SHALL BE IN COMPLIANCE WITH THE CITY OF HOLLYWOOD DEFINITION OF HOTEL / CONDO WHERE APPLICABLE.
  20. THE FDC SHALL BE WITHIN 100 FEET OF THE CLOSEST FIRE HYDRANT PER NFPA14.
  21. THE FIRE FLOW SHALL BE IN COMPLIANCE WITH NFPA 1, 18.4.5.2.2.
  22. ADEQUATE AND SAFE ACCESS WILL BE PROVIDED FOR GARBAGE TRUCK TO ACCESS GARBAGE AND RECYCLING AREA.
  23. REQUIRED MAINTENANCE FOR STREETSCAPE IMPROVEMENTS WITHIN THE PUBLIC RIGHTS-OF-WAY, INCLUDING THE SWALE, SIDEWALK AND CURB, IS THE RESPONSIBILITY OF THE ABUTTING PROPERTY OWNER. PLEASE REFER TO CITY ORDINANCE CHAPTER 155.



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- Antigua
- Bermuda
- British Virgin Islands
- Cayman Islands
- Miami
- Trinidad & Tobago

DATE:	REVISION:
08/31/2016	TAC COMMENTS
08/22/2016	TAC COMMENTS
05/20/2016	TAC COMMENTS
06/23/2016	TAC COMMENTS
03/21/2016	TAC FINAL SITE PLAN REVIEW
04/04/2016	TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:  
**BLOCK 40**  
CITY of  
HOLLYWOOD  
FLORIDA

DRAWING:  
**DIAGRAMATIC**  
SITE PLAN

DRAWN BY:	PROJECT #:
CHECKED BY:	SCALE:
DRAWING #:	
<b>A-100</b>	

**DIAGRAMATIC SITE PLAN**

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



### LEGEND

FOR ADDITIONAL INFORMATION REFER TO LANDSCAPE PLANS.

- PAVERS WAUSAU GRANITEX HERRING- BONE PATTERN
- PAVER GRANITEX BY WAUSAU PATTERN
- PAVER EXISTING UNIDECOR
- PAVERS NOT TUMBLER
- PAVER 4" BAND COLOR MIX
- 4" CONCRETE SLAB
- PLANTER

### PROJECT DATA

**OWNER / APPLICANT:** BLOCK 40, LLC

**ADDRESS / LOCATION:** LOTS 1-14, BLOCK 40 GENERALLY LOCATED SOUTH OF HOLLYWOOD BOULEVARD, WEST OF YOUNG CIRCLE, NORTH OF HARRISON STREET, AND EAST OF 19TH AVENUE.

**ZONING:** YOUNG CIRCLE DISTRICT (YC-B40); PREVIOUSLY CCC-2

**EXISTING LAND USE:** VACANT / PORTION OF HISTORIC FACADE.

**LAND USE:** REGIONAL ACTIVITY CENTER (RAC)

**GROSS LOT AREA OF PROP:** 95,615 SQUARE FEET (2.195 ACRES)  
**NET LOT AREA OF PROP:** 44,883 SQUARE FEET (1.030 ACRES)

**GROSS BUILDING (INCLUDING BALCONIES):** 360,666 SQ/FT  
**PARKING GARAGE:** 150,198 SQ/FT

**DENSITY HEIGHT:** 19 STORIES/ 198.5'  
 1 STOREY (GROUND FLOOR) (SERVICE, HOTEL AND RESIDENTIAL)  
 6 STORIES (LEVEL 2 TO 7) (HOTEL GUESTROOMS)  
 1 STOREY (LEVEL 8) (HOTEL AND RESIDENTIAL AMMENITIES AND RESIDENTIAL APARTMENTS)  
 10 STORIES (LEVEL 9 TO 18) (RESIDENTIAL APARTMENTS)  
 1 STOREY (LEVEL 19) (PENTHOUSE APARTMENTS)

**PERVIOUS AREA:** 3,578.96 SQ/FT OR 0.09 ACRES @ GRADE (7.97 % OF THE TOTAL SITE AT GRADE)  
**IMPERVIOUS AREA:** 41307.53 SQ/FT OR 0.94 ACRES 2 GRADE (92.03 % OF THE TOTAL SITE @ GRADE)

- ### GENERAL NOTES
- ALL ASPECTS AND ELEMENTS OF THE HISTORIC FACADES BEING PRESERVED ARE IN ACCORDANCE WITH THE PREVIOUS APPROVAL.
  - PROPOSED SIGNAGE WILL BE SUBMITTED UNDER SEPARATE APPLICATION AND IN ACCORDANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS - ANY VARIANCE WILL BE APPLIED FOR UNDER THE ZONING AND LAND DEVELOPMENT REGULATIONS.
  - THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES WILL BE MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL.
  - ALL EXISTING PALMS AND TREES TO BE RELOCATED BY OWNER TO SITE UNDER DIRECTION OF CITY LANDSCAPE, IF REQUIRED.
  - PLANTERS, LIGHTS, PAVERS, ETC. IN THE RIGHTS-OF-THE-WAY WILL BE CONSISTENT WITH DOWNTOWN DESIGN AND COORDINATED WITH CRA.
  - WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE.
  - NFPA 1, 11-10 IN BUILDING PUBLIC SAFETY RADIO ENHANCEMENT WILL BE REQUIRED PER THE 2010 EDITION OF THE FLORIDA PREVENTION CODE.
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    - C. RECREATIONAL AREAS 2-3 FOOT CANDLES
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  - LED/ ENERGY SAVINGS LIGHTING TO BE INCORPORATED.
  - EXTERIOR LIGHTING FIXTURE LENSES WILL BE FABRICATED FROM POLYCARBONATE. BREAK-RESISTANT MATERIALS.
  - LIGHT FIXTURES BELOW 10 FEET IN GRADE WILL BE DESIGN TO MAKE ACCESS TO INTERNAL PARTS DIFFICULT. (I.E. SECURITY SCREWS, LOCKED ACCESS PANELS).
  - PLANT MATERIALS, PARTICULARLY TREE FOLIAGE, WILL NOT INTERFERE WITH OR OBSCURE LIGHTING.
  - CORRIDORS WILL BE WELL-LIGHTED WITH NO DARK AREAS.
  - WROUGHT IRON FENCING PROVIDES FOR NATURAL SURVEILLANCE WITHIN AND ONTO THE PROPERTY.
  - BUILDING SIGNAGE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH CODES.
  - AS REQUIRED OWNER WILL INSTALL CCTV SYSTEM IN ACCORDANCE WITH BEST PRACTICES.
  - PROVISIONS FOR RECYCLING WILL BE INCLUDED IN THIS PROJECT.
  - PROJECT SHALL BE IN COMPLIANCE WITH THE TURTLE LIGHTING ORDINANCE.
  - PROJECT SHALL BE IN COMPLIANCE WITH THE CITY OF HOLLYWOOD DEFINITION OF HOTEL / CONDO WHERE APPLICABLE.
  - THE FDC SHALL BE WITHIN 100 FEET OF THE CLOSEST FIRE HYDRANT PER NFPA14.
  - THE FIRE FLOW SHALL BE IN COMPLIANCE WITH NFPA 1.18.4.5.2.2.
  - ADEQUATE AND SAFE ACCESS WILL BE PROVIDED FOR GARBAGE TRUCK TO ACCESS GARBAGE AND RECYCLING AREA.
  - REQUIRED MAINTENANCE FOR STREETScape IMPROVEMENTS WITHIN THE PUBLIC RIGHTS-OF-WAY, INCLUDING THE SWALE, SIDEWALK AND CURB, IS THE RESPONSIBILITY OF THE ADJUTING PROPERTY OWNER. PLEASE REFER TO CITY ORDINANCE CHAPTER 155

### PROJECT DATA

**OFF STREET PARKING REQUIRED:**

CCC-2 ZONING				
USE	No OF SPACES RATIO	TOTAL CONDO/HOTEL	REQUIRED	PROVIDED
APARTMENT UNITS	1.5 per UNITS (249 TOTAL)	166	282	288
HOTEL	1 per 5 GUEST (33 TOTAL)	103	103	103
OFFICE RESTAURANT RETAIL	CCC-2 zoning districts, where there is no required parking for any retail, commercial or office use which is located on the FIRST & SECOND FLOOR of a building			
<b>TOTAL PARKING COMPARISON</b>			385	391
LOADING	Multiple Family or Apt/Hotel Bldg: 50-100 Units - 1 space + 1 space for each additional 100 units or major fraction.		3	3

**OFF STREET PARKING PROVIDED:**

LEVEL	REG	LOADING	HP	VALET	TOTAL
LEVEL 1	0	3	0	0	3
LEVEL 2	44	0	0	1	45
LEVEL 3	66	0	0	1	67
LEVEL 4	57	0	2	10	69
LEVEL 5	57	0	2	10	69
LEVEL 6	57	0	2	10	69
LEVEL 7	60	0	2	10	72
<b>341</b>					<b>391</b>

**REQUIRED HANDICAP SPACES: 8 SPACES ON STREET PARKING**

EXISTING: 24  
 PROVIDED: 23

**TOTAL NUMBER OF RESIDENTIAL CONDOS AND HOTEL UNITS**

### HOTEL & RESIDENTIAL PROPOSED (UNITS ONLY) 2016

LEVEL	HOTEL		APARTMENTS	
	AMOUNT	AREA SQ/FT	AMOUNT	AREA SQ/FT
1	0	0	0	0
2	16	7,870.8	0	0
3	23	11,909.7	0	0
4	16	7,666.2	0	0
5	16	7,666.2	0	0
6	16	7,666.2	0	0
7	16	7,666.2	0	0
8	0	0	7	9,292.2
9-18	0	0	150	156,714.3
19	0	0	9	15,750.9
<b>TOTAL</b>	<b>103</b>	<b>50,445.2</b>	<b>166</b>	<b>181,757.5</b>

AVERAGE RESIDENTIAL CONDO UNIT: 1,095 SQ/FT  
 AVERAGE HOTEL GUESTROOM UNIT: 490 SQ/FT

### RESIDENTIAL UNIT BREAKDOWN (GROSS) (INCLUDING BALCONIES)

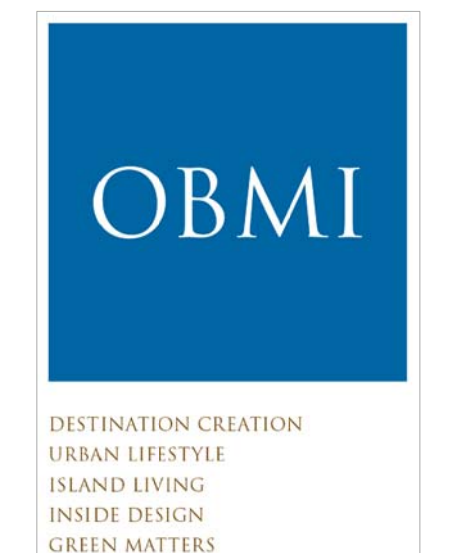
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	L-A5		1,046.21	1
	L-B1		1,416.83	1
	L-B1R		1,428.32	1
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	A3	1/1.5	838.12	10
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	B4	2/2	1,045.88	10
B5	2/2	1,113.94	10	
B6	2/2.5	1,118.85	10	
B7	2/2	1,187.43	10	
B9	2/2	1,295.75	10	
C1	2/2.5	1,410.53	10	
<b>SUB-TOTAL</b>			<b>15,671.43</b>	<b>150</b>
<b>TOTAL LEVEL 9-18</b>			<b>156,714.30</b>	<b>150</b>
19	P1	3/3	2,926.50	1
	P2	3/3	2,273.90	1
	P3	3/3	2,157.84	1
	P4	3/3	2,299.13	1
	P5	3/3	2,236.57	1
	P6		730.38	1
	P7	2/2.5	1,486.51	1
	P8	2/2.5	1,060.26	1
	P9		579.84	1
<b>SUB-TOTAL</b>			<b>15,750.93</b>	<b>9</b>
<b>TOTAL</b>			<b>181,757.47</b>	<b>166</b>

## SITE PLAN

ELEVATION +0'-0" (+9'-6" N.G.V.D.) = (+8.0' NAVD)

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



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DATE:	REVISION:
08/31/2016	TAC COMMENTS
09/22/2016	TAC COMMENTS
05/20/2016	TAC COMMENTS
08/23/2016	TAC COMMENTS
03/21/2016	TAC FINAL SITE PLAN REVIEW
04/04/2016	TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
 DOUGLAS A. KULIG  
 AR 10807

PROJECT:  
**BLOCK 40**  
**CITY of**  
**HOLLYWOOD**  
**FLORIDA**

DRAWING:  
**SITE PLAN**

DRAWN BY:	PROJECT #:
CHECKED BY:	MA15008
DRAWING #:	SCALE:
	1/16"=1'-0"
	A-100.1



DESTINATION CREATION  
URBAN LIFESTYLE  
ISLAND LIVING  
INSIDE DESIGN  
GREEN MATTERS

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DATE: ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:

**BLOCK 40  
CITY of  
HOLLYWOOD  
FLORIDA**

DRAWING:

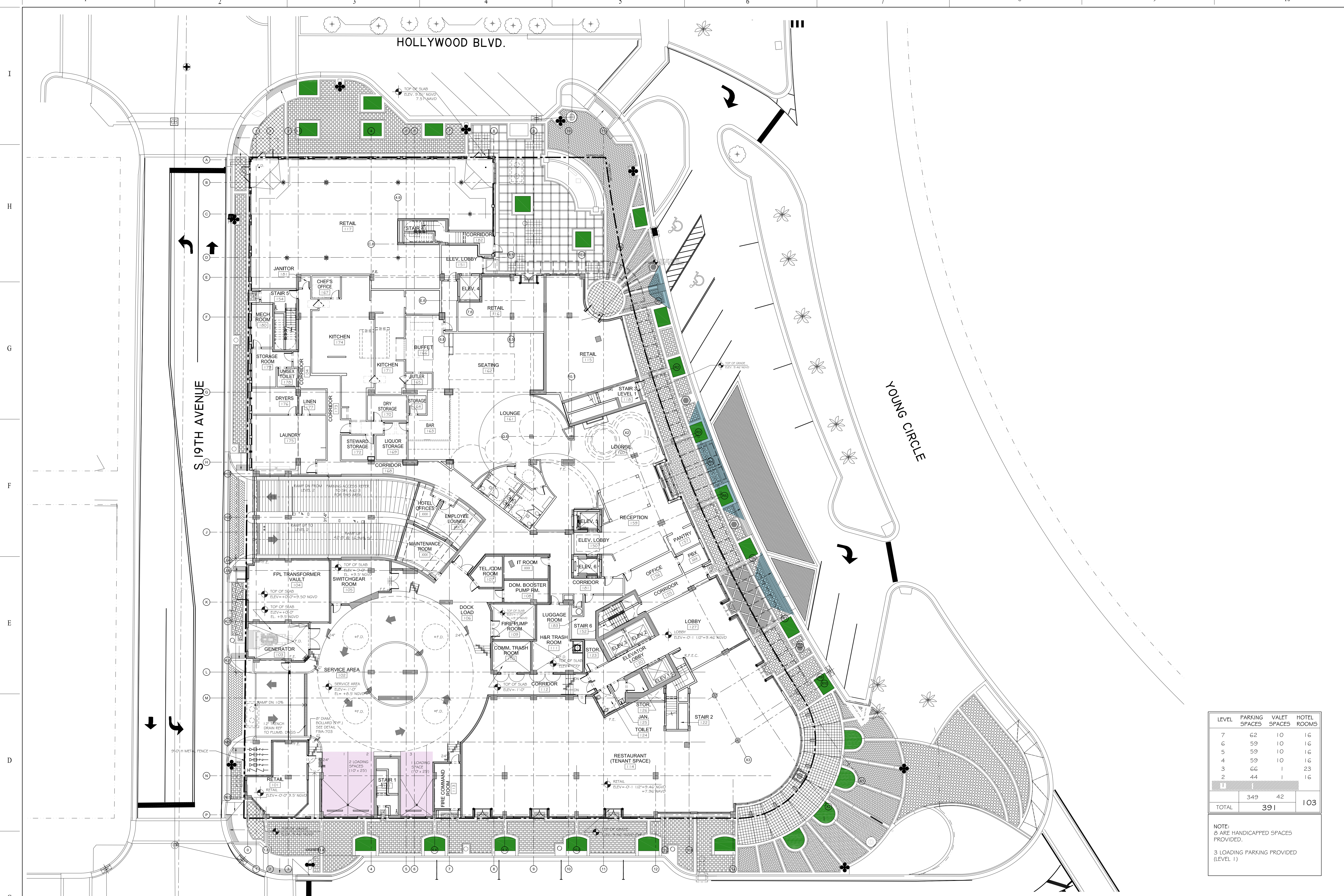
**LEVEL 1  
FLOOR PLAN**

DRAWN BY: PROJECT #:  
MA15008

CHECKED BY: SCALE:  
1/16"=1'-0"

DRAWING #:

**A-101**



LEVEL	PARKING SPACES	VALET SPACES	HOTEL ROOMS
7	62	10	16
6	59	10	16
5	59	10	16
4	59	10	16
3	66	1	23
2	44	1	16
TOTAL		349	42
		391	103

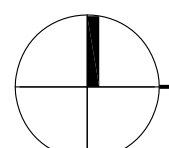
NOTE:  
Ø ARE HANDICAPPED SPACES PROVIDED.  
3 LOADING PARKING PROVIDED (LEVEL 1)

**LEVEL 1 FLOOR PLAN**

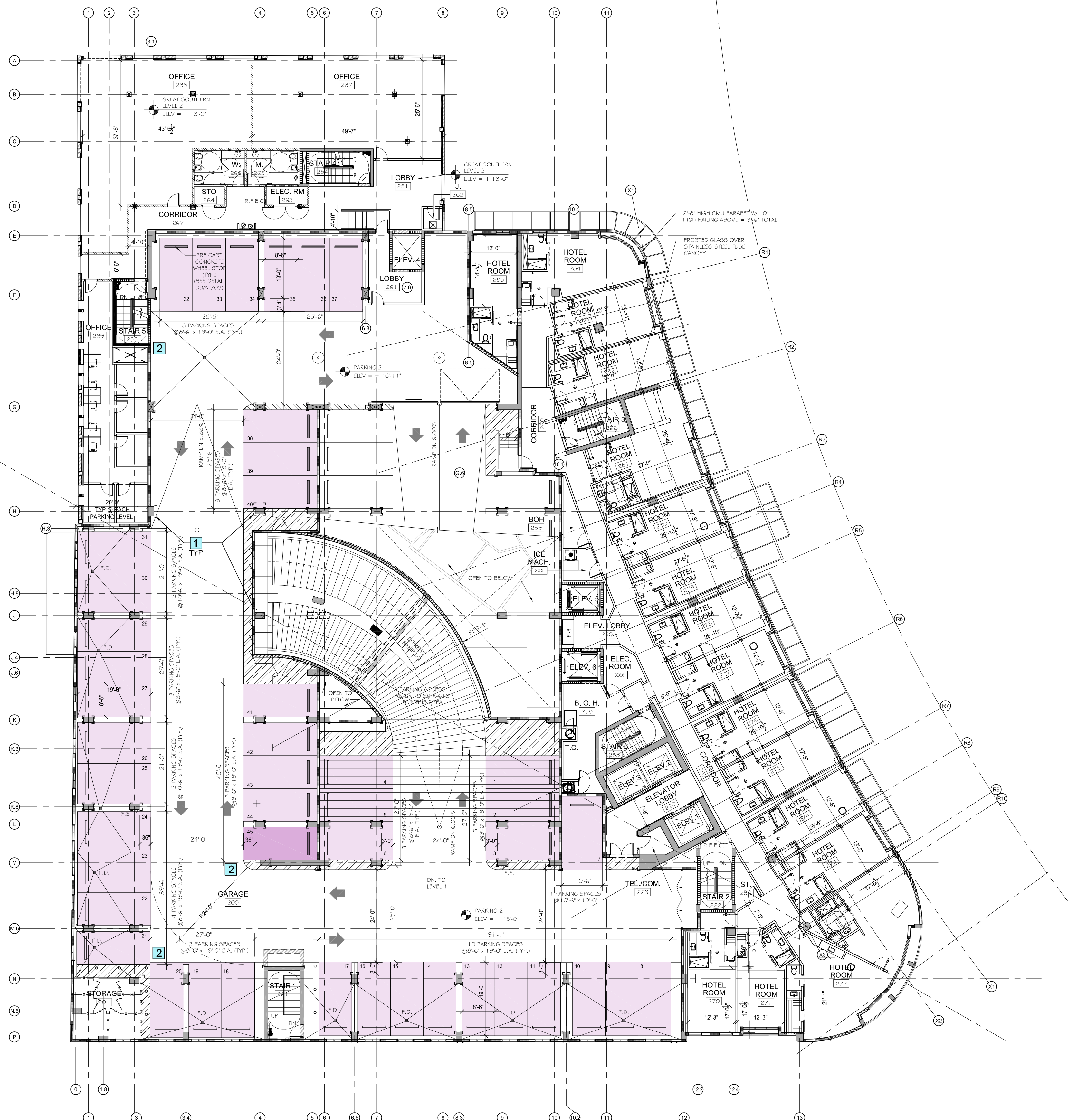
ELEVATION +0'-0" (+9'-6" N.G.V.D.) = +8.0' NAVD

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



ONLY



LEVEL	PARKING SPACES	VALET SPACES	HOTEL ROOMS
7	62	10	16
6	59	10	16
5	59	10	16
4	59	10	16
3	66	1	23
2	44	1	16
1			
<b>TOTAL</b>	<b>349</b>	<b>42</b>	<b>103</b>

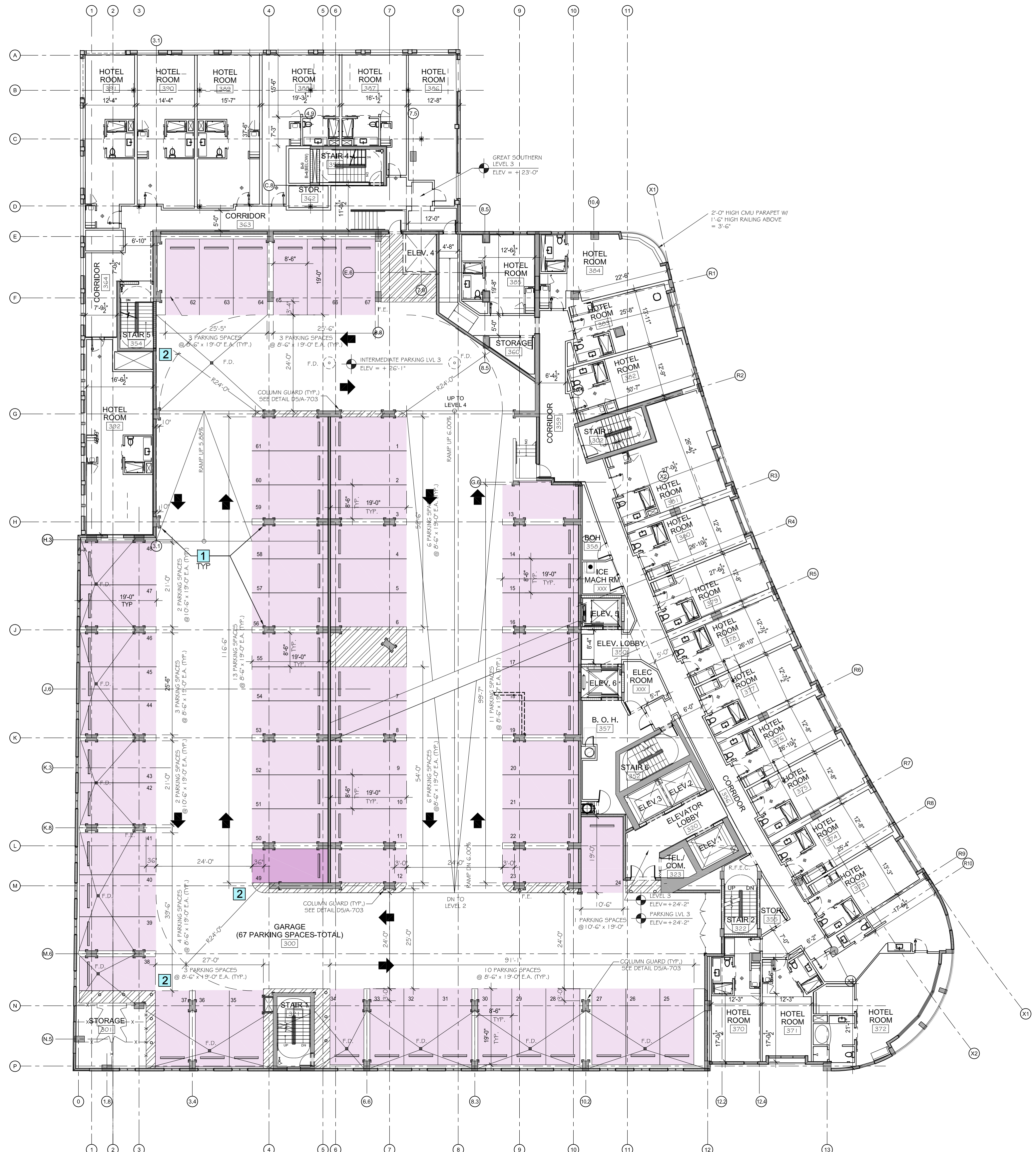
NOTE:  
Ø ARE HANDICAPPED SPACES PROVIDED.  
3 LOADING PARKING PROVIDED @ (LEVEL 1)

**LEGEND**  
DESIGNATED VALET PARKING STALLS. "VALET ONLY"

**KEY NOTES**  
1 HEAVY DUTY COLUMN GUARDS (1/4" THICK STEEL PLATES ) THAT WITHSTAND HEAVY COLLISIONS SHALL BE INSTALLED @ ALL CONCRETE COLUMNS (FOUR (4) CORNERS) & EXPOSED WALLS CORNERS TO PARKING GARAGE DRIVEWAY & PARKING STALLS.  
2 ALL REQUIRED TRAFFIC CONTROL SYSTEMS AND SAFETY DEVICES (EXAMPLE: HEAVY DUTY CONVEX SECURITY MIRRORS, SPEED BUMBERS) WILL BE INSTALLED, WHERE REQUIRED, TO ENSURE SAFETY VEHICULAR TRAFFIC @ ALL TIMES.

**LEVEL 2 FLOOR PLAN**  
ELEVATION +15'-0"  
SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



LEVEL	PARKING SPACES	VALET SPACES	HOTEL ROOMS
7	62	10	16
6	59	10	16
5	59	10	16
4	59	10	16
3	66	1	23
2	44	-	16
1	-	-	-
<b>TOTAL</b>	<b>349</b>	<b>42</b>	<b>103</b>

NOTE:  
5 ARE HANDICAPPED SPACES PROVIDED.  
3 LOADING PARKING PROVIDED (LEVEL 1)

**LEGEND**  
DESIGNATED VALET PARKING STALLS, "VALET ONLY"

**KEY NOTES**  
1 HEAVY DUTY COLUMN GUARDS (1/4" THICK STEEL PLATES) THAT WITHSTAND HEAVY COLLISIONS SHALL BE INSTALLED @ ALL CONCRETE COLUMNS (FOUR (4) CORNERS) # EXPOSED WALLS CORNERS TO PARKING GARAGE DRIVEWAY # PARKING STALLS.  
2 ALL REQUIRED TRAFFIC CONTROL SYSTEMS AND SAFETY DEVICES (EXAMPLE: HEAVY DUTY CONVEX SECURITY MIRRORS, SPEED BUMPERS) WILL BE INSTALLED, WHERE REQUIRED, TO ENSURE SAFETY VEHICULAR TRAFFIC @ ALL TIMES.

**LEVEL 3 FLOOR PLAN**

ELEVATION +24'-2"

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW





LEVEL	PARKING SPACES	VALET SPACES	HOTEL ROOMS
7	62	10	16
6	59	10	16
5	59	10	16
4	59	10	16
3	66	1	23
2	44	1	16
1	-	-	-
TOTAL	349	42	103

NOTE:  
8 ARE HANDICAPPED SPACES PROVIDED.  
3 LOADING PARKING PROVIDED (LEVEL 1)

**LEGEND**  
DESIGNATED VALET PARKING STALLS. "VALET ONLY"

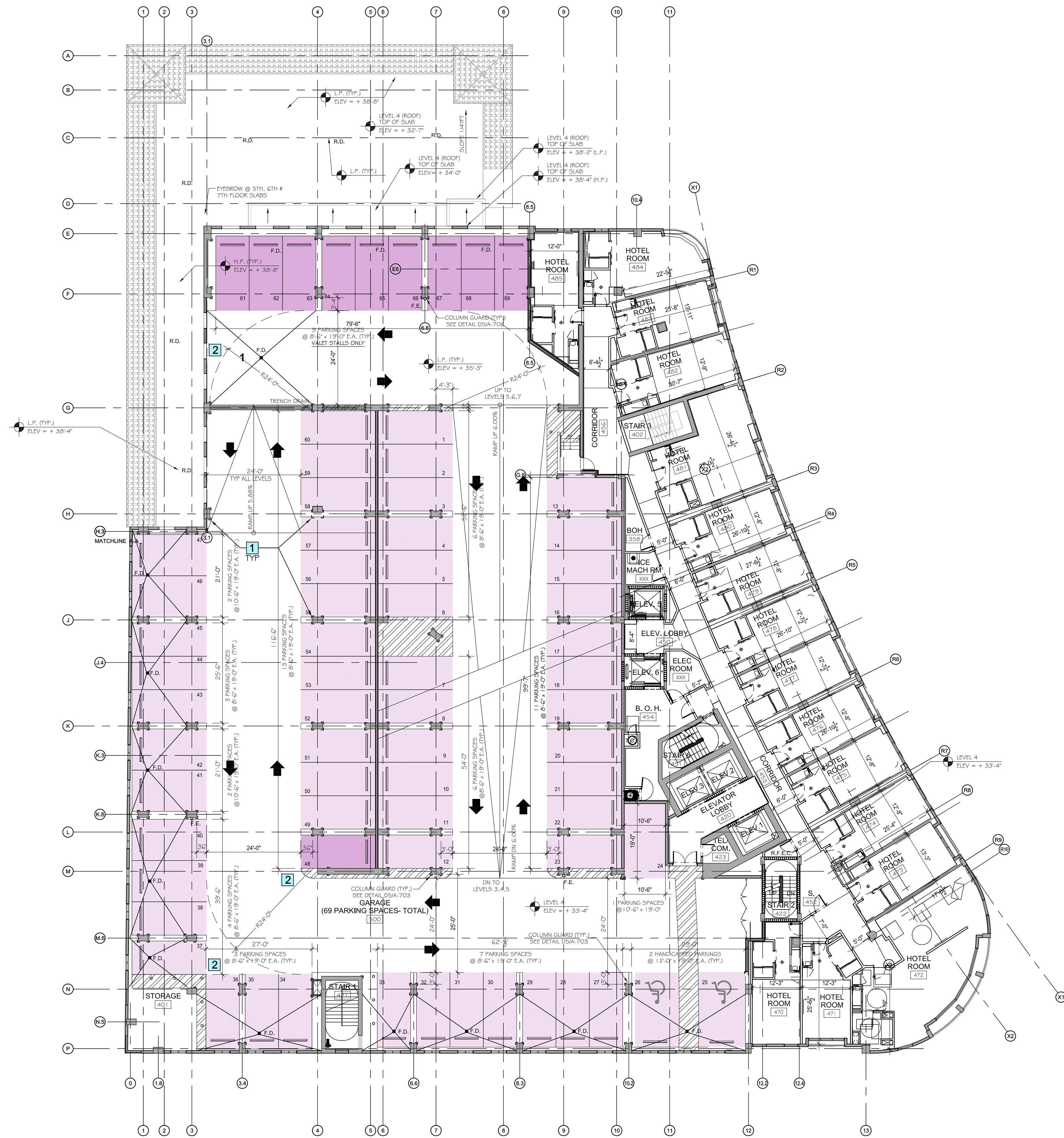
**KEY NOTES**  
1 HEAVY DUTY COLUMN GUARDS (1/4" THICK STEEL PLATES) THAT WITHSTAND HEAVY COLLISIONS SHALL BE INSTALLED @ ALL CONCRETE COLUMNS (FOUR (4) CORNERS) & EXPOSED WALLS CORNERS TO PARKING GARAGE DRIVEWAY & PARKING STALLS.  
2 ALL REQUIRED TRAFFIC CONTROL SYSTEMS AND SAFETY DEVICES (EXAMPLE: HEAVY DUTY CONVEX SECURITY MIRRORS, SPEED BUMPERS) WILL BE INSTALLED, WHERE REQUIRED, TO ENSURE SAFETY VEHICULAR TRAFFIC @ ALL TIMES.

LEVELS 4 FLOOR PLAN

ELEVATION +33'-4"

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



LEVEL	PARKING SPACES	VALET SPACES	HOTEL ROOMS
7	62	10	16
6	59	10	16
5	53	10	16
4	59	10	16
3	66	1	23
2	44	-	16
1	-	-	-
TOTAL	349	42	103

NOTE:  
 1 ARE HANDICAPPED SPACES PROVIDED.  
 3 LOADING PARKING PROVIDED (LEVEL 1)

**LEGEND**  
 DESIGNATED VALET PARKING STALLS - "VALET ONLY"

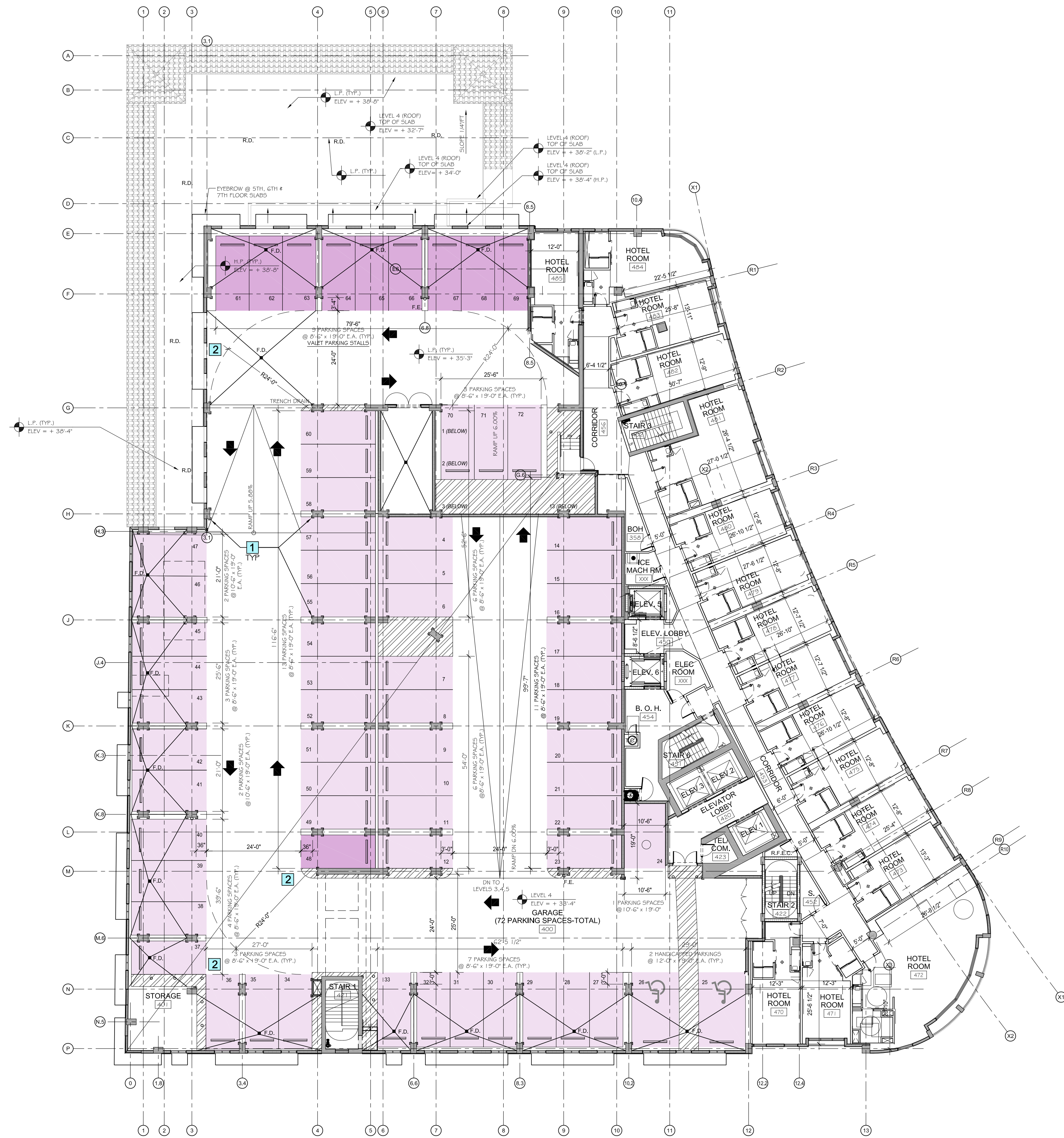
**KEY NOTES**  
 1 HEAVY DUTY COLUMN GUARDS (1/4" THICK STEEL PLATES) THAT WITHSTAND HEAVY COLLISIONS SHALL BE INSTALLED @ ALL CONCRETE COLUMNS (FOUR (4) CORNERS) & EXPOSED WALLS CORNERS TO PARKING GARAGE DRIVEWAY & PARKING STALLS.  
 2 ALL REQUIRED TRAFFIC CONTROL SYSTEMS AND SAFETY DEVICES (EXAMPLE: HEAVY DUTY CONVEX SECURITY MIRRORS, SPEED BUMPERS) WILL BE INSTALLED, WHERE REQUIRED, TO ENSURE SAFETY VEHICULAR TRAFFIC @ ALL TIMES.

**LEVELS 5-6 FLOOR PLAN**

ELEVATION +33'-4"

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



LEVEL	PARKING SPACES	VALET SPACES	HOTEL ROOMS
7	62	10	16
6	59	10	16
5	59	10	16
4	59	10	16
3	66	1	23
2	44	-	16
1	-	-	-
TOTAL	349	42	103

NOTE:  
8 ARE HANDICAPPED SPACES PROVIDED.  
3 LOADING PARKING PROVIDED (LEVEL 1)

**LEGEND**  
DESIGNATED VALET PARKING STALLS, "VALET ONLY"

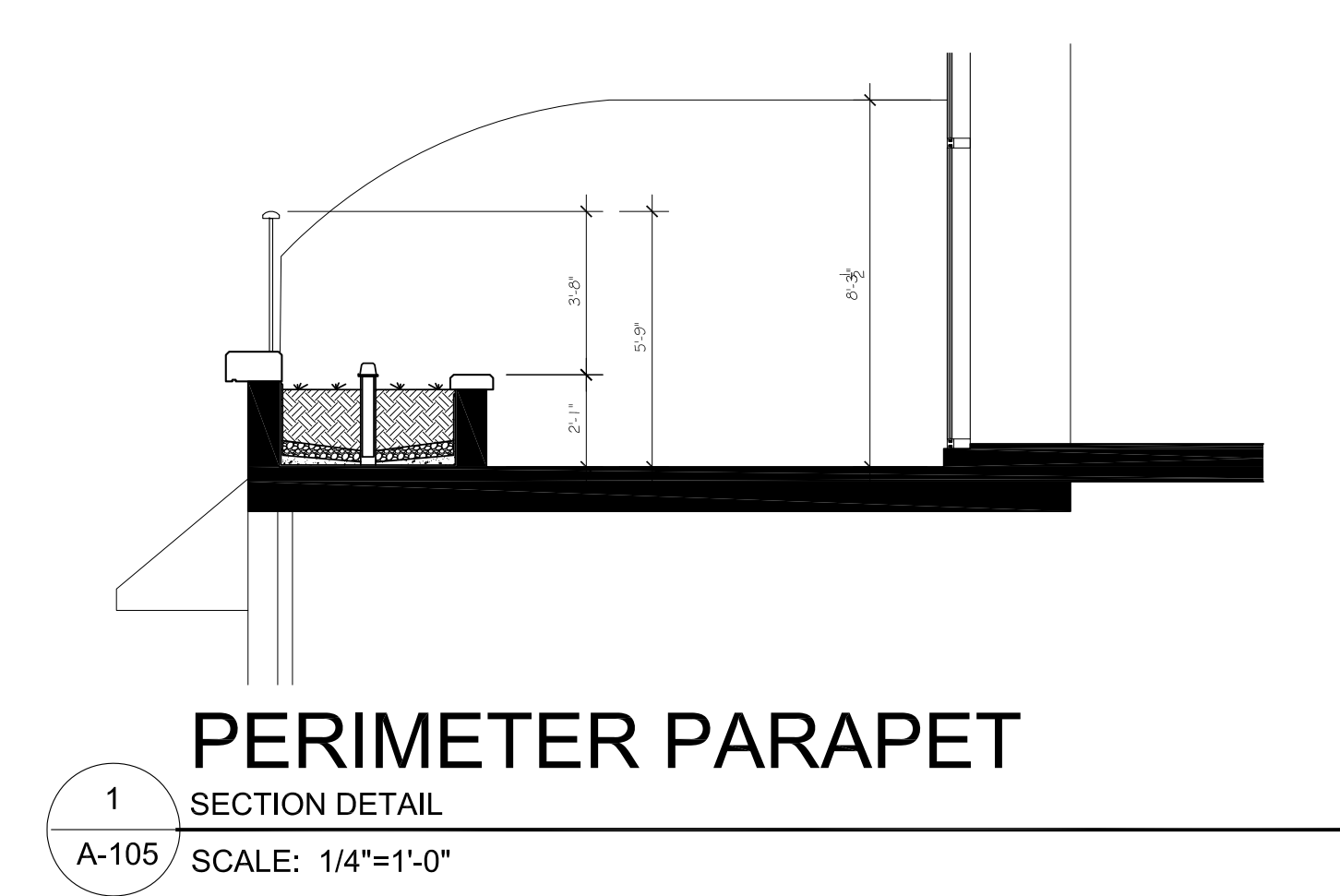
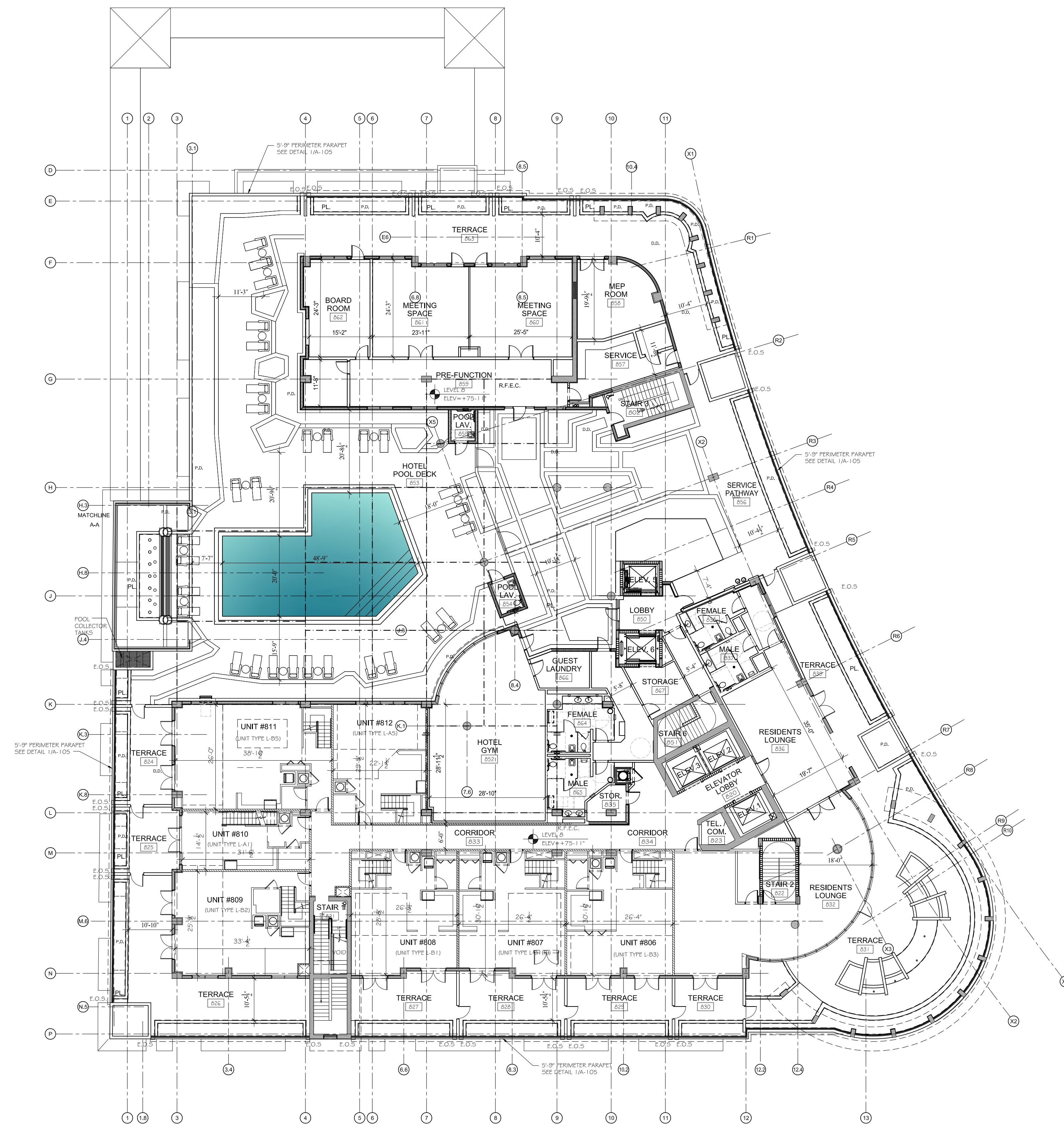
**KEY NOTES**  
1 HEAVY DUTY COLUMN GUARDS (1/4" THICK STEEL PLATES) THAT WITHSTAND HEAVY COLLISIONS SHALL BE INSTALLED @ ALL CONCRETE COLUMNS (FOUR (4) CORNERS) & EXPOSED WALLS CORNERS TO PARKING GARAGE DRIVEWAY & PARKING STALLS.  
2 ALL REQUIRED TRAFFIC CONTROL SYSTEMS AND SAFETY DEVICES (EXAMPLE: HEAVY DUTY CONVEX SECURITY MIRRORS, SPEED BUMBERS) WILL BE INSTALLED, WHERE REQUIRED, TO ENSURE SAFETY VEHICULAR TRAFFIC @ ALL TIMES.

LEVEL 7 FLOOR PLAN

ELEVATION +33'-4"

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



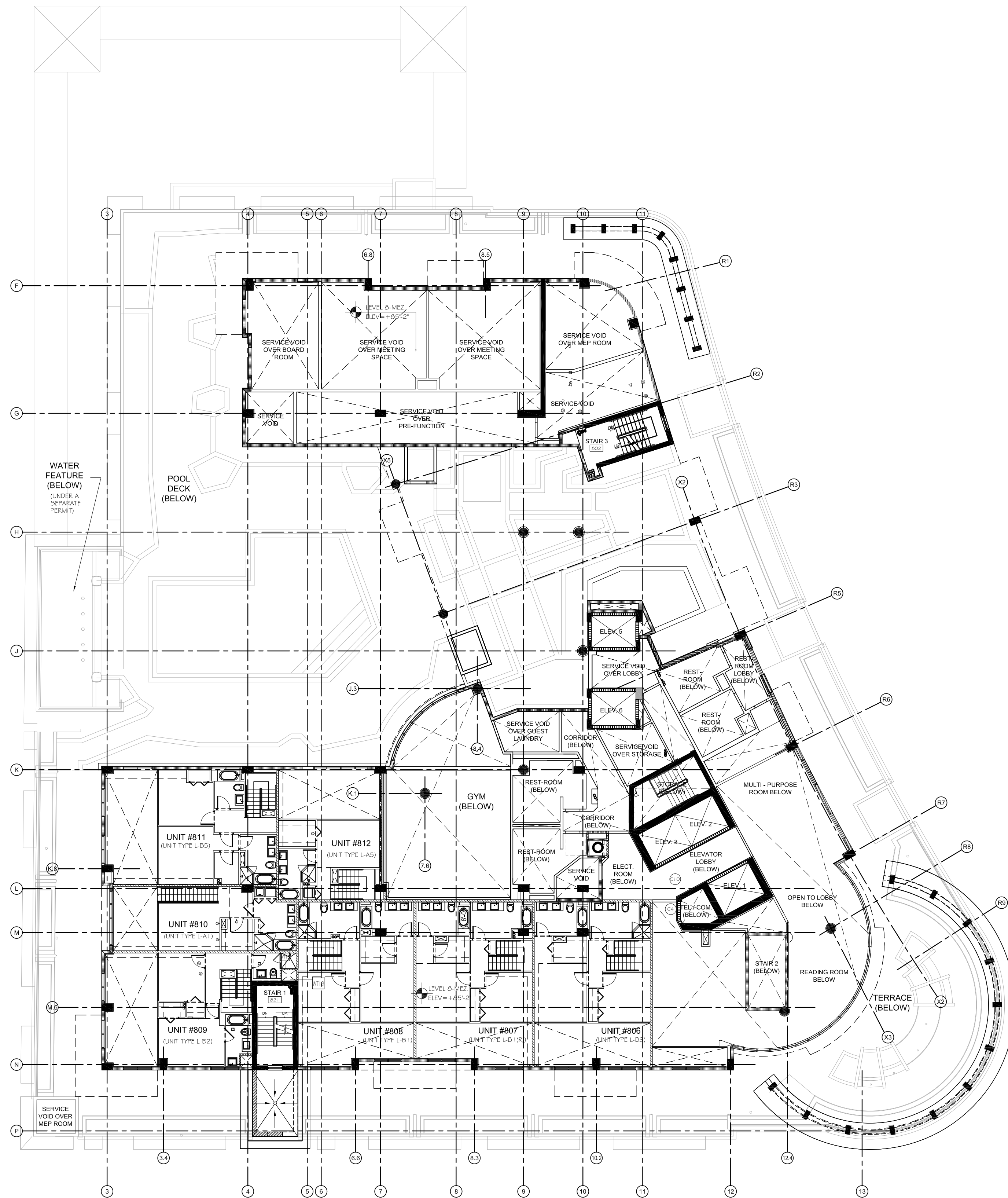
**PERIMETER PARAPET**  
1 SECTION DETAIL  
A-105 SCALE: 1/4"=1'-0"

LEVEL	RESIDENTIAL UNITS
19	9
18	15
17	15
16	15
15	15
14	15
13	15
12	15
11	15
10	15
9	15
8	7
<b>TOTAL</b>	<b>166</b>

**LEVEL 8 FLOOR PLAN**  
ELEVATION +75'-11"  
SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW

08/31/2016	TAC COMMENTS
08/22/2016	TAC COMMENTS
05/20/2016	TAC COMMENTS
08/23/2016	TAC COMMENTS
03/21/2016	TAC FINAL SITE PLAN REVIEW
04/04/2016	TAC REVIEW



LEVEL	RESIDENTIAL UNITS
19	9
18	15
17	15
16	15
15	15
14	15
13	15
12	15
11	15
10	15
9	15
8	7
<b>TOTAL</b>	<b>166</b>

LEVEL 8 MEZZANINE  
FLOOR PLAN

ELEVATION +85'-2"

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW

DATE: REVISION:

08/31/2016 TAC COMMENTS  
08/22/2016 TAC COMMENTS  
05/20/2016 TAC COMMENTS  
08/23/2016 TAC COMMENTS  
03/21/2016 TAC FINAL SITE  
PLAN REVIEW  
04/04/2016 TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:

**BLOCK 40  
CITY of  
HOLLYWOOD  
FLORIDA**

DRAWING:

**LEVEL 9-18  
FLOOR PLAN**

DRAWN BY: PROJECT #:

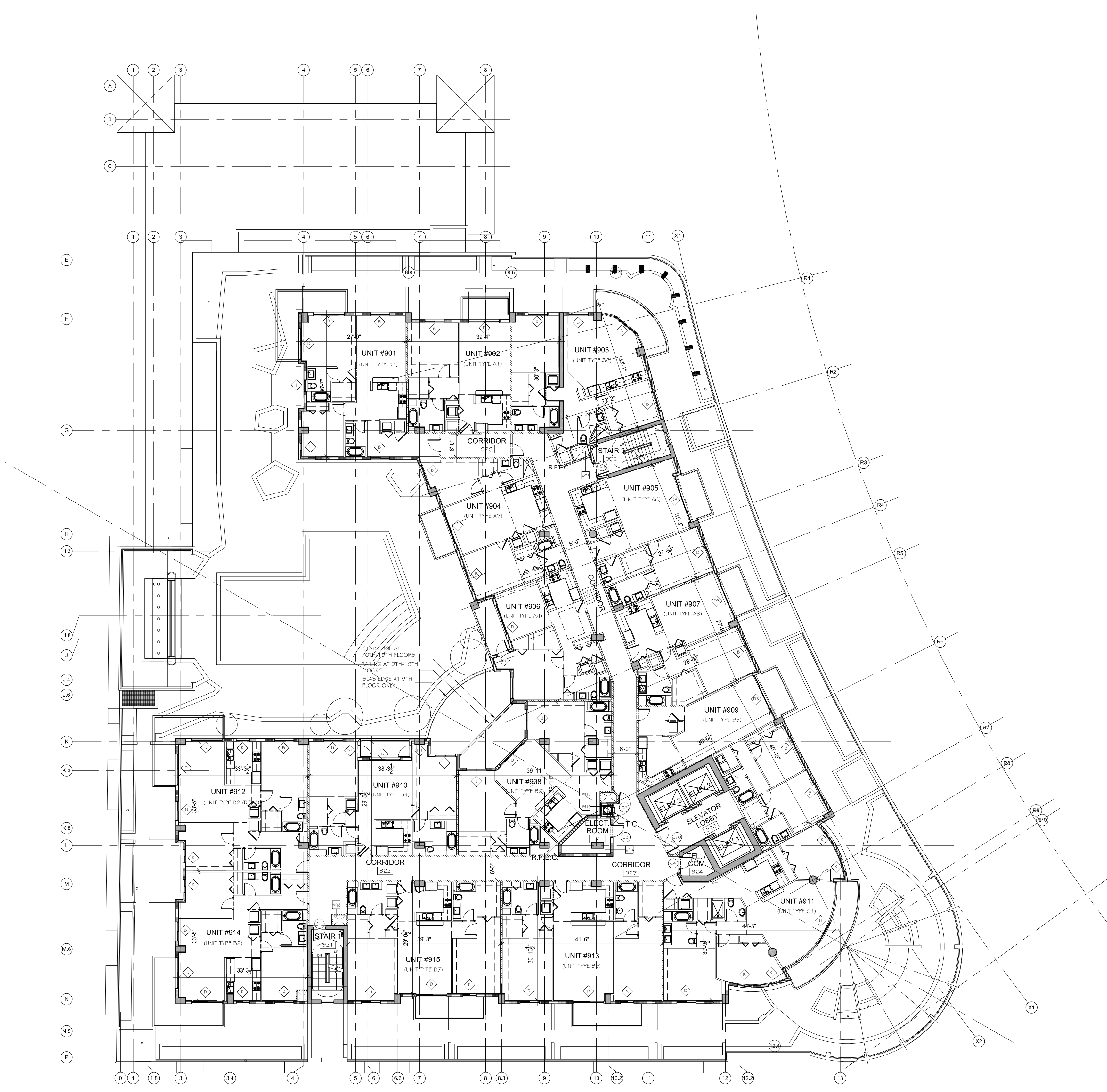
MIAT5008

CHECKED BY: SCALE:

1/16"=1'-0"

DRAWING #:

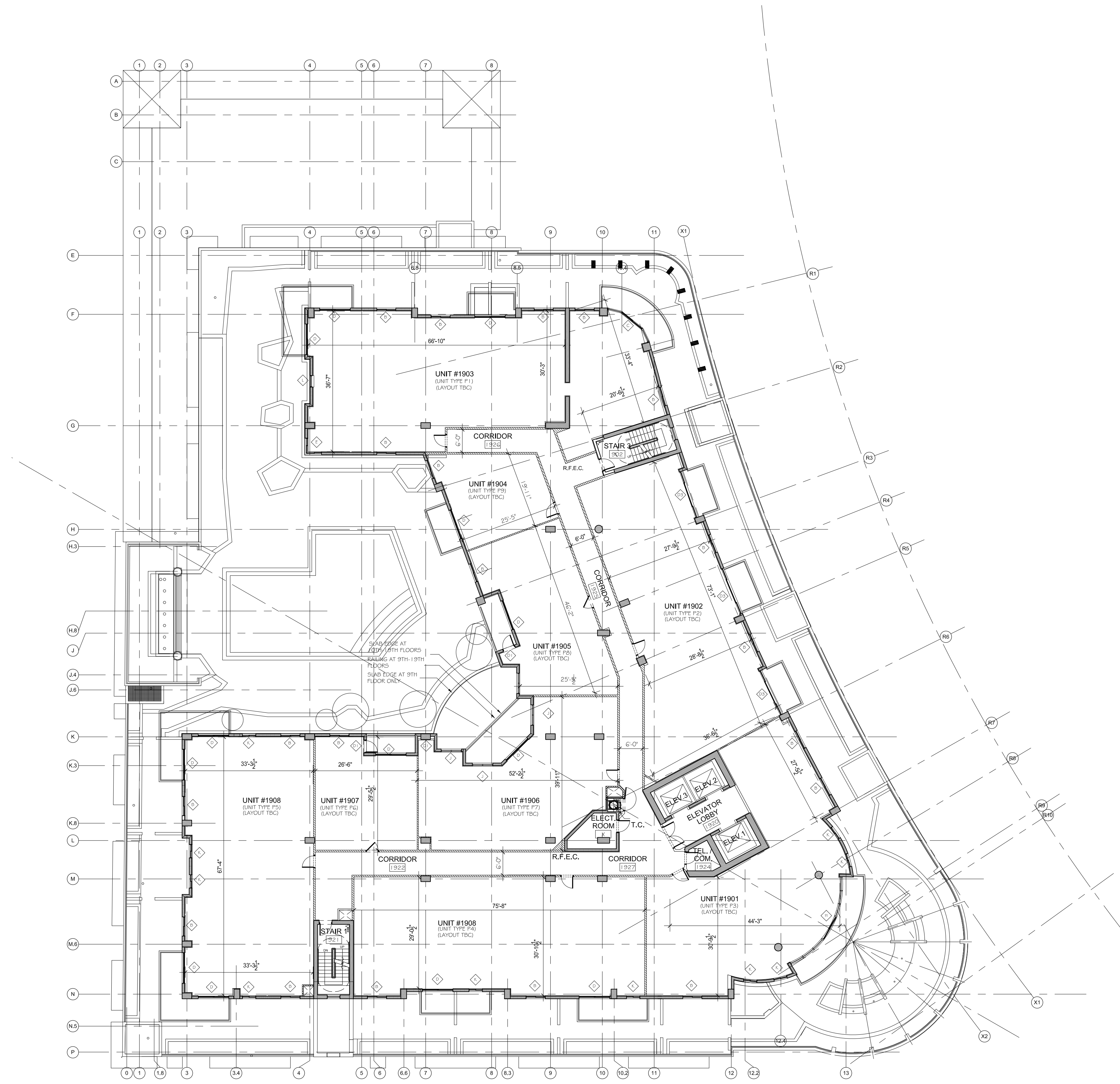
**A-108**



LEVEL	RESIDENTIAL UNITS
19	9
18	15
17	15
16	15
15	15
14	15
13	15
12	15
11	15
10	15
9	15
8	7
TOTAL	166

**TYPICAL 9-18 FLOOR PLAN**  
ELEVATION +94'-5"  
SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



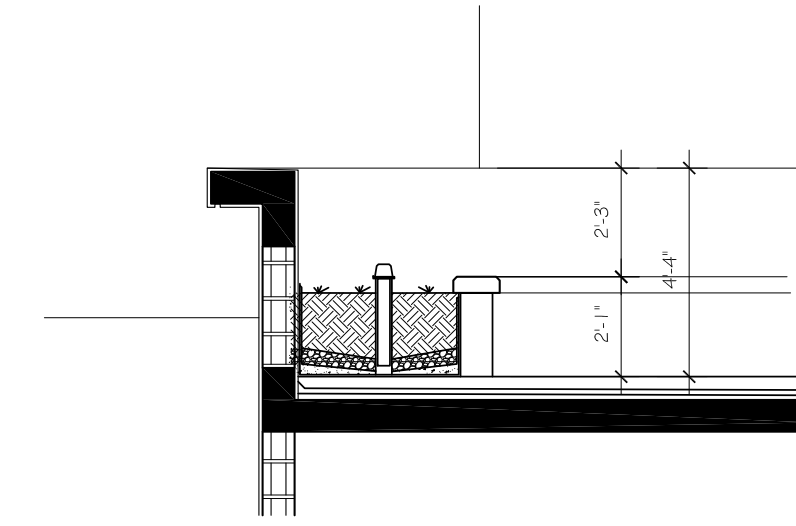
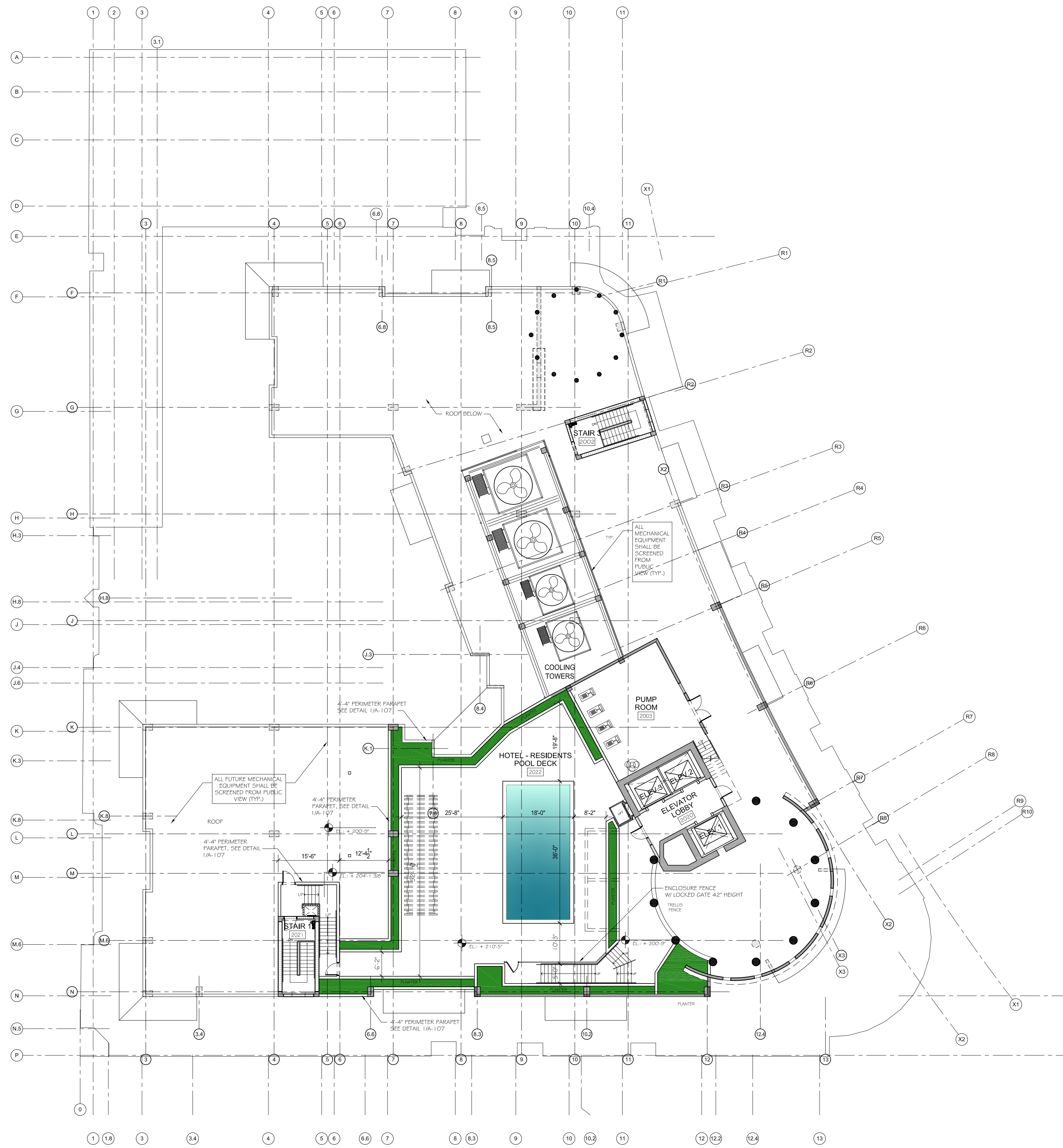
LEVEL	RESIDENCIAL UNITS
19	9
18	15
17	15
16	15
15	15
14	15
13	15
12	15
11	15
10	15
9	15
8	7
TOTAL	166

LEVEL 19 FLOOR PLAN

ELEVATION +94'-5"

SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



### PERIMETER PARAPET

1 LEVEL 20  
A-107 SCALE: 1/4"=1'-0"

### ROOF DECK

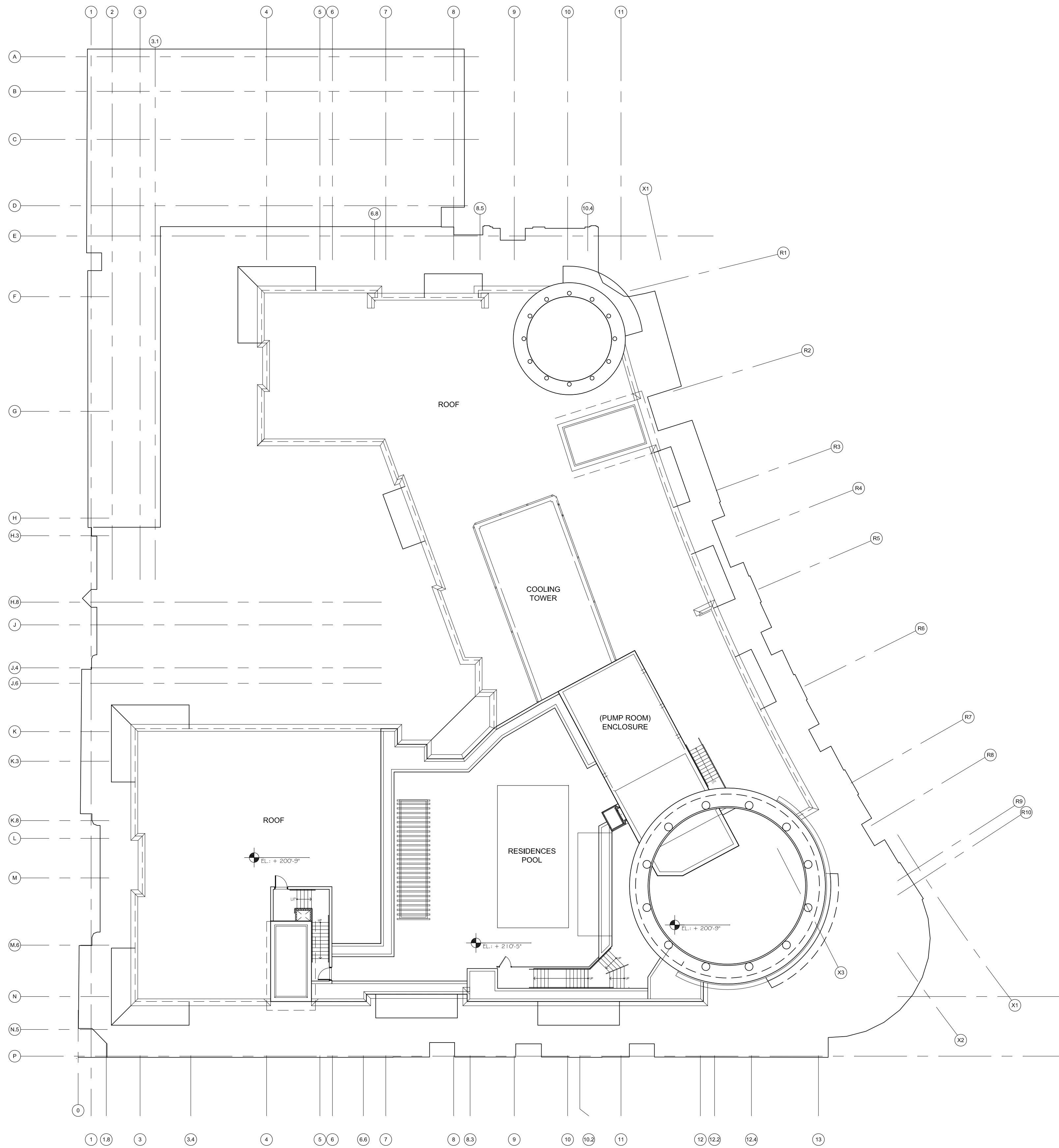
ELEVATION +200'-9"  
SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW



08/31/2016	TAC COMMENTS
08/22/2016	TAC COMMENTS
05/20/2016 08/23/2016	TAC COMMENTS
03/21/2016	TAC FINAL SITE PLAN REVIEW
04/04/2016	TAC REVIEW

DRAWN BY:	PROJECT #:
CHECKED BY:	SCALE:
DRAWING #:	



**ROOF PLAN**  
ELEVATION (VARIES)  
SCALE: 1/16"=1'-0"

TAC SITE PLAN REVIEW

**GENERAL NOTES**

1. ALL ASPECTS AND ELEMENTS OF THE HISTORIC FACADES BEING PRESERVED ARE IN ACCORDANCE WITH THE PREVIOUS APPROVAL.
2. PROPOSED SIGNAGE WILL BE SUBMITTED UNDER SEPARATE APPLICATION AND IN ACCORDANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS - ANY VARIANCE WILL BE APPLIED FOR UNDER THE ZONING AND LAND DEVELOPMENT REGULATIONS.
3. PROJECT SHALL BE IN COMPLIANCE WITH THE CITY OF HOLLYWOOD DEFINITION OF HOTEL / CONDO WHERE APPLICABLE.
4. THE FDC SHALL BE WITHIN 100 FEET OF THE CLOSEST FIRE HYDRANT PER NFPA14.

**GENERAL STUCCO NOTES:**

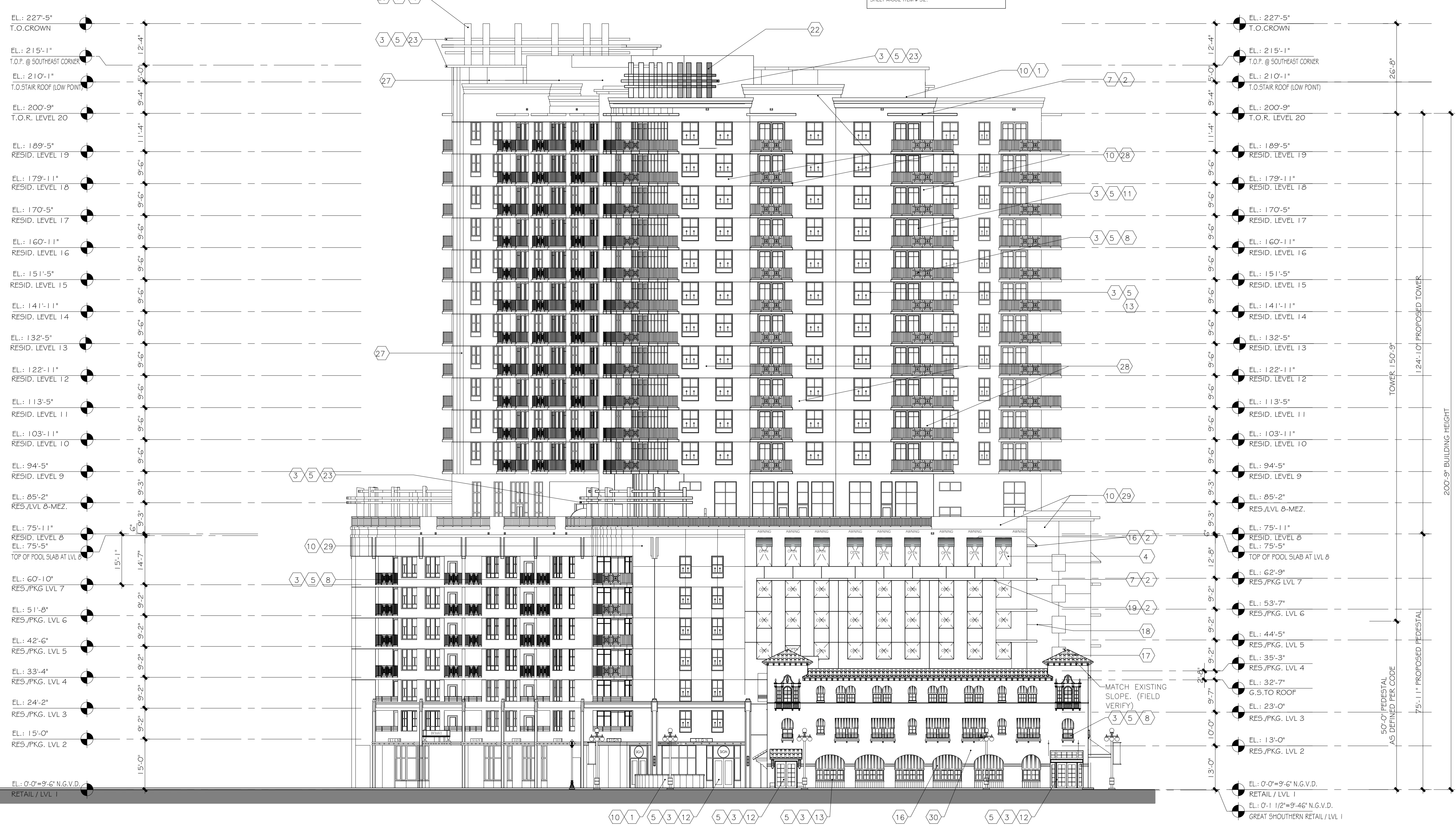
-ALL STUCCO INSTALLATION SHALL BE GOVERNED BY ASTM C 932, C 932 AND 1063 (TYPICAL) PROVIDE A COMPLETE SET OF CONTROL JOINT THROUGHOUT PROJECT IN STUCCO SUBMITTAL G.C. TO PROVIDE ELEVATIONS REFLECTING ALL CONTROL JOINTS FOR THE PROJECT FOR APPROVAL.  
-ADDITIONAL CONTROL JOINTS IF REQUIRED WILL BE ILLUSTRATED IN SUBMITTAL FOR APPROVAL BY THE ARCHITECTS.  
-WINDOWS WILL BE DESIGNED TO WITHSTAND HURRICANE FORCES AS PER FLORIDA BUILDING CODE.  
-THE LOWEST 30' OF THE BUILDING WILL HAVE LARGE MISSILE IMPACT GLASS AND THE UPPER FLOORS WILL HAVE SMALLER MISSILE IMPACT GLASS.  
-COLORS ARE AS PER BENJAMIN MOORE COMPANY COLOR SCHEME.

**LEGEND**

- |  |   |   |
|--|---|---|
| 1 BENJAMIN MOORE SUPER WHITE             | 14 ROLL UP DOOR                                   | 27 BENJAMIN MOORE BRUSHED RADIANCE FT-300 |
| 2 BENJAMIN MOORE WHIPPLE BLUE HC-152     | 15 LOUVER DOOR                                    | 28 BENJAMIN MOORE 2140-60 MOONSHINE       |
| 3 BRUSHED SILVER METALLIC                | 16 FABRIC AWNING                                  | 29 BENJAMIN MOORE 2140-50 GRAY HORSE      |
| 4 OFF WHITE                              | 17 BARREL TILE                                    | 30 BENJAMIN MOORE HC-31 WATER BURY CREAM  |
| 5 ALUMINUM                               | 18 CONTROL JOINT                                  |   |
| 6 FRAME                                  | 19 FROSTED GLASS OVER STAINLESS STEEL TUBE CANOPY |   |
| 7 CONCRETE EYEBROW                       | 20 STAINLESS STEEL CABLE                          |   |
| 8 RAILING                                | 21 MESH   |   |
| 9 GRILLE                                 | 22 PLEXIGLAS LIGHTING COLUMN                      |   |
| 10 3/4" SMOOTH STUCCO FINISH             | 23 CLAD COV. CONC. RING                           |   |
| 11 IMPACT RESISTANT SLIDING GLASS DOORS  | 24 PROJECTOR LIGHTS                               |   |
| 12 IMPACT RESISTANT DOORS                | 25 ROUND CONCRETE COLUMN                          |   |
| 13 IMPACT RESISTANT TINTED GLASS WINDOWS | 26 LOUVERS  |   |

**NOTES**

EYEBROWS TO BE PROTECTED WITH A WATERPROOFING MEMBRANE REFER TO WATERPROOFING NOTES ON SHEET A-002 ITEM # 32.



**NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"

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05/18/2016 TAC COMMENTS  
03/21/2016 TAC FINAL SITE PLAN REVIEW  
04/04/2016 TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:  
**BLOCK 40  
CITY of  
HOLLYWOOD  
FLORIDA**

DRAWING:  
**NORTH  
ELEVATION**

DRAWN BY: PROJECT #:  
MIA15008  
CHECKED BY: SCALE:  
1/16"=1'-0"  
DRAWING #:  
**A-201**

**GENERAL NOTES**

- ALL ASPECTS AND ELEMENTS OF THE HISTORIC FACADES BEING PRESERVED ARE IN ACCORDANCE WITH THE PREVIOUS APPROVAL. PROPOSED SIGNAGE WILL BE SUBMITTED UNDER SEPARATE APPLICATION AND IN ACCORDANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS - ANY VARIANCE WILL BE APPLIED FOR UNDER THE ZONING AND LAND DEVELOPMENT REGULATIONS.
- PROJECT SHALL BE IN COMPLIANCE WITH THE CITY OF HOLLYWOOD DEFINITION OF HOTEL / CONDO WHERE APPLICABLE.
- THE FDC SHALL BE WITHIN 100 FEET OF THE CLOSEST FIRE HYDRANT PER NFPA14.

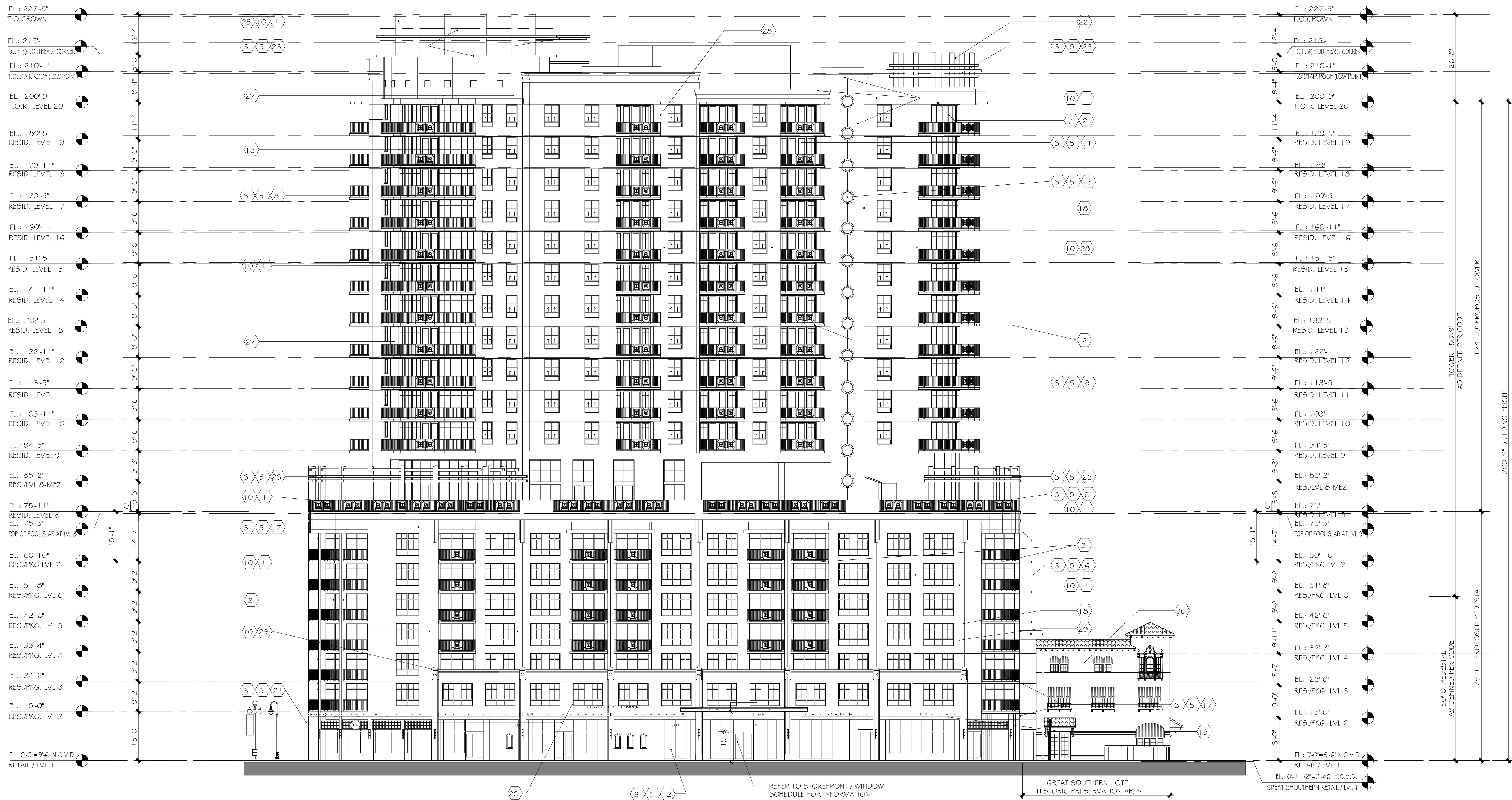
**GENERAL STUCCO NOTES:**

-ALL STUCCO INSTALLATION SHALL BE GOVERNED BY ASTM C 932, C 936 AND 1063 (TYPICAL) PROVIDE A COMPLETE SET OF CONTROL JOINT THROUGHOUT PROJECT IN STUCCO SUBMITTAL G.C. TO PROVIDE ELEVATIONS REFLECTING ALL CONTROL JOINTS FOR THE PROJECT FOR APPROVAL.  
 -ADDITIONAL CONTROL JOINTS IF REQUIRED WILL BE ILLUSTRATED IN SUBMITTAL FOR APPROVAL BY THE ARCHITECTS.  
 -WINDOWS WILL BE DESIGNED TO WITHSTAND HURRICANE FORCES AS PER FLORIDA BUILDING CODE.  
 -THE LOWEST 30' OF THE BUILDING WILL HAVE LARGE MISSILE IMPACT GLASS AND THE UPPER FLOORS WILL HAVE SMALLER MISSILE IMPACT GLASS.  
 -COLORS ARE AS PER BENJAMIN MOORE COMPANY COLOR SCHEME.

**LEGEND**

- |  |   |   |
|--|---|---|
| 1 BENJAMIN MOORE SUPER WHITE             | 14 ROLL UP DOOR                                   | 27 BENJAMIN MOORE BRUSHED RADIANCE FT-300 |
| 2 BENJAMIN MOORE WHIPPLE BLUE HC-152     | 15 LOUVER DOOR                                    | 28 BENJAMIN MOORE 2140-60 MOONSHINE       |
| 3 BRUSHED SILVER METALLIC                | 16 FABRIC AWNING                                  | 29 BENJAMIN MOORE 2140-60 GRAY HORSE      |
| 4 OFF WHITE                              | 17 BARREL TILE                                    | 30 BENJAMIN MOORE HC-31 WATER BURY CREAM  |
| 5 ALUMINUM                               | 18 CONTROL JOINT                                  |   |
| 6 FRAME                                  | 19 FROSTED GLASS OVER STAINLESS STEEL TUBE CANOPY |   |
| 7 CONCRETE EYEBROW                       | 20 STAINLESS STEEL CABLE                          |   |
| 8 RAILING                                | 21 MESH   |   |
| 9 GRILLE                                 | 22 FLEXIGLAS LIGHTING COLUMN                      |   |
| 10 3/4" SMOOTH STUCCO FINISH             | 23 CLAD COV. CONC. RING                           |   |
| 11 IMPACT RESISTANT SLIDING GLASS DOORS  | 24 PROJECTOR LIGHTS                               |   |
| 12 IMPACT RESISTANT DOORS                | 25 ROUND CONCRETE COLUMN                          |   |
| 13 IMPACT RESISTANT TINTED GLASS WINDOWS | 26 LOUVERS  |   |

**NOTES:**  
 EYEBROWS TO BE PROTECTED WITH A WATERPROOFING MEMBRANE REFER TO WATERPROOFING NOTES ON SHEET A-002 ITEM # 32.



**HISTORIC PRESERVATION BUILDING (FACADE ONLY) 3 STORY**  
 (ALL EXTERIOR HISTORIC COMPONENTS WILL BE PRESERVED OR REPLICATED AS PREVIOUS APPROVED)

**EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"

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DATE: REVISION:

05/18/2016 TAC COMMENTS  
 03/21/2016 TAC FINAL SITE PLAN REVIEW  
 04/04/2016 TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
 DOUGLAS A. KULIG  
 AR 10807

PROJECT:  
**BLOCK 40**  
 CITY of  
**HOLLYWOOD**  
 FLORIDA

DRAWING:  
**EAST**  
**ELEVATION**

DRAWN BY: PROJECT #:  
 MIA15008  
 CHECKED BY: SCALE:  
 1/16" = 1'-0"  
 DRAWING #:

**A-202**

**GENERAL NOTES**

1. ALL ASPECTS AND ELEMENTS OF THE HISTORIC FACADES BEING PRESERVED ARE IN ACCORDANCE WITH THE PREVIOUS APPROVAL.
2. PROPOSED SIGNAGE WILL BE SUBMITTED UNDER SEPARATE APPLICATION AND IN ACCORDANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS - ANY VARIANCE WILL BE APPLIED FOR UNDER THE ZONING AND LAND DEVELOPMENT REGULATIONS.
3. PROJECT SHALL BE IN COMPLIANCE WITH THE CITY OF HOLLYWOOD DEFINITION OF HOTEL / CONDO WHERE APPLICABLE.
4. THE FDC SHALL BE WITHIN 100 FEET OF THE CLOSEST FIRE HYDRANT PER NFPA14.

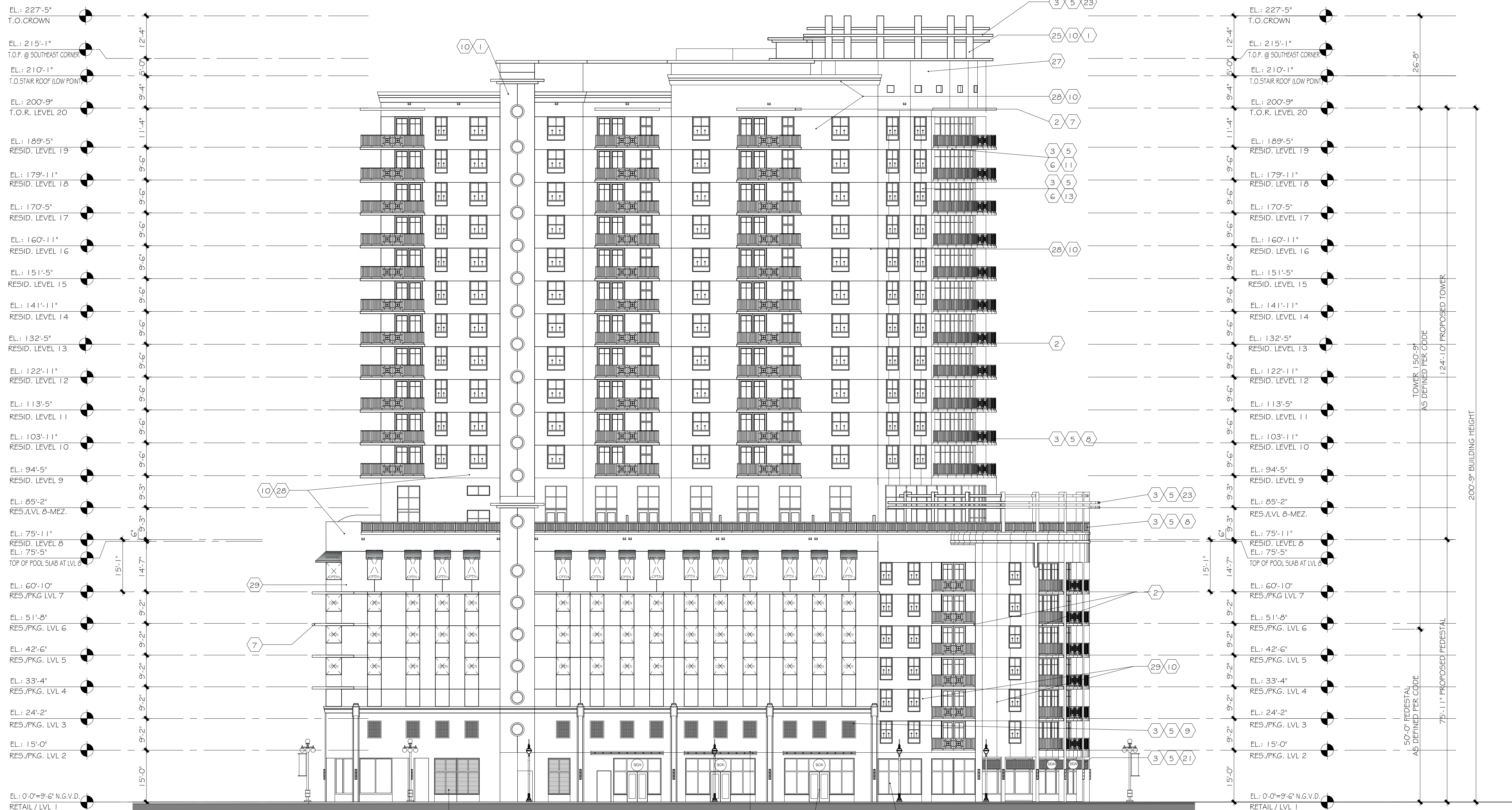
**GENERAL STUCCO NOTES:**

ALL STUCCO INSTALLATION SHALL BE GOVERNED BY ASTM C 926, C 926 AND 1063 (TYPICAL) PROVIDE A COMPLETE SET OF CONTROL JOINT THROUGHOUT PROJECT IN STUCCO SUBMITTAL G.C. TO PROVIDE ELEVATIONS REFLECTING ALL CONTROL JOINTS FOR THE PROJECT FOR APPROVAL.  
 ADDITIONAL CONTROL JOINTS IF REQUIRED WILL BE ILLUSTRATED IN SUBMITTAL FOR APPROVAL BY THE ARCHITECTS.  
 WINDOWS WILL BE DESIGNED TO WITHSTAND HURRICANE FORCES AS PER FLORIDA BUILDING CODE.  
 THE LOWEST 30' OF THE BUILDING WILL HAVE LARGE MISSILE IMPACT GLASS AND THE UPPER FLOORS WILL HAVE SMALLER MISSILE IMPACT GLASS.  
 COLORS ARE AS PER BENJAMIN MOORE COMPANY COLOR SCHEME.

**LEGEND**

- |  |   |   |
|--|---|---|
| 1 BENJAMIN MOORE SUPER WHITE             | 14 ROLL UP DOOR                                   | 27 BENJAMIN MOORE BRUSHED RADIANCE PF-300 |
| 2 BENJAMIN MOORE WHIFFLE BLUE HC-152     | 15 LOUVER DOOR                                    | 28 BENJAMIN MOORE 2140-60 MOONSHINE       |
| 3 BRUSHED SILVER METALLIC                | 16 FABRIC AWNING                                  | 29 BENJAMIN MOORE 2140-50 GRAY HORSE      |
| 4 OFF WHITE                              | 17 BARREL TILE                                    | 30 BENJAMIN MOORE HC-31 WATER BURY CREAM  |
| 5 ALUMINUM                               | 18 CONTROL JOINT                                  |   |
| 6 FRAME                                  | 19 FROSTED GLASS OVER STAINLESS STEEL TUBE CANOPY |   |
| 7 CONCRETE EYEBROW                       | 20 STAINLESS STEEL CABLE                          |   |
| 8 RAILING                                | 21 MESH   |   |
| 9 GRILLE                                 | 22 FLEXIGLAS LIGHTING COLUMN                      |   |
| 10 3/4" SMOOTH STUCCO FINISH             | 23 GLAD COV. CONC. RING                           |   |
| 11 IMPACT RESISTANT SLIDING GLASS DOORS  | 24 PROJECTOR LIGHTS                               |   |
| 12 IMPACT RESISTANT DOORS                | 25 ROUND CONCRETE COLUMN                          |   |
| 13 IMPACT RESISTANT TINTED GLASS WINDOWS | 26 LOUVERS  |   |

**NOTES**  
 EYEBROWS TO BE PROTECTED WITH A WATERPROOFING MEMBRANE REFER TO WATERPROOFING NOTES ON SHEET A-000 ITEM # 22.



**SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"

TAC SITE PLAN REVIEW



DESTINATION CREATION  
 URBAN LIFESTYLE  
 ISLAND LIVING  
 INSIDE DESIGN  
 GREEN MATTERS

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DATE: REVISION:

06/18/2016 TAC COMMENTS

03/21/2016 TAC FINAL SITE PLAN REVIEW

04/04/2016 TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
 DOUGLAS A. KULIG  
 AR 10807

PROJECT:

**BLOCK 40**  
 CITY of  
 HOLLYWOOD  
 FLORIDA

DRAWING:

**SOUTH ELEVATION**

DRAWN BY: PROJECT #:

MI15008

CHECKED BY: SCALE:

1/16" = 1'-0"

DRAWING #:

**A-203**

**GENERAL NOTES**

1. ALL ASPECTS AND ELEMENTS OF THE HISTORIC FACADES BEING PRESERVED ARE IN ACCORDANCE WITH THE PREVIOUS APPROVAL. PROPOSED SIGNAGE WILL BE SUBMITTED UNDER SEPARATE APPLICATION AND IN ACCORDANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS - ANY VARIANCE WILL BE APPLIED FOR UNDER THE ZONING AND LAND DEVELOPMENT REGULATIONS.
2. PROJECT SHALL BE IN COMPLIANCE WITH THE CITY OF HOLLYWOOD DEFINITION OF HOTEL / CONDO WHERE APPLICABLE.
3. THE FDC SHALL BE WITHIN 100 FEET OF THE CLOSEST FIRE HYDRANT PER NFPA14.

**GENERAL STUCCO NOTES:**

- ALL STUCCO INSTALLATION SHALL BE GOVERNED BY ASTM C 922, C 926 AND (063) (TYPE) CONTROL JOINTS FOR THE PROJECT FOR APPROVAL.

- PROVIDE A COMPLETE SET OF CONTROL JOINT THROUGHOUT PROJECT IN STUCCO SUBMITTAL G.C. TO PROVIDE ELEVATIONS REFLECTING ALL CONTROL JOINTS.

- ADDITIONAL CONTROL JOINTS IF REQUIRED WILL BE ILLUSTRATED IN SUBMITTAL FOR APPROVAL BY THE ARCHITECTS.

- WINDOWS WILL BE DESIGNED TO WITHSTAND HURRICANE FORCES AS PER FLORIDA BUILDING CODE.

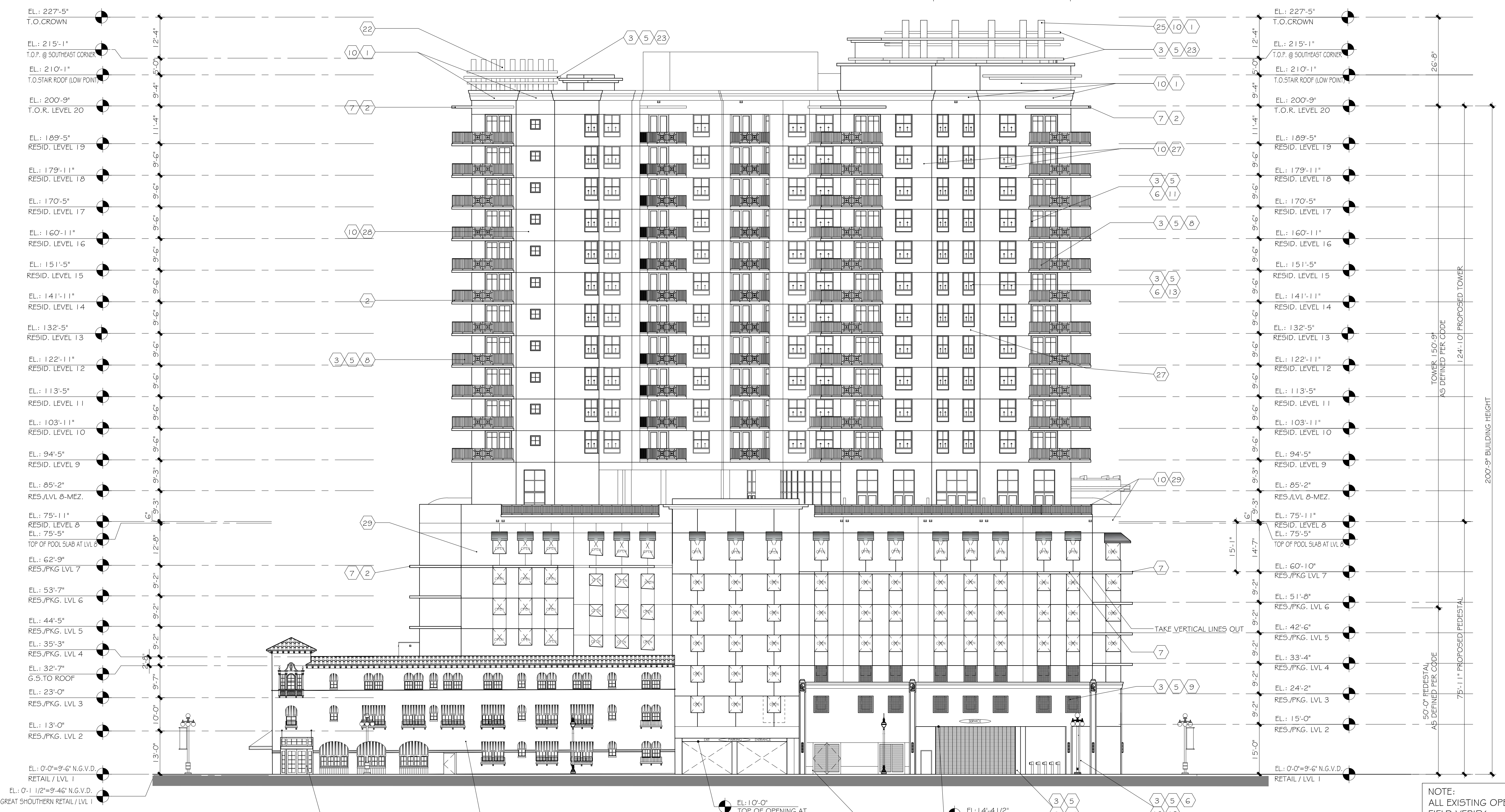
- THE LOWEST 30' OF THE BUILDING WILL HAVE LARGE MISSILE IMPACT GLASS AND THE UPPER FLOORS WILL HAVE SMALLER MISSILE IMPACT GLASS. COLORS ARE AS PER BENJAMIN MOORE COMPANY COLOR SCHEME.

**LEGEND**

1 BENJAMIN MOORE SUPER WHITE	14 ROLL UP DOOR	27 BENJAMIN MOORE BRUSHED RADIANCE PT-300
2 BENJAMIN MOORE WHIPPLE BLUE HC-152	15 LOUVER DOOR	28 BENJAMIN MOORE 2140-60 MOONSHINE
3 BRUSHED SILVER METALLIC	16 FABRIC AWNING	29 BENJAMIN MOORE 2140-50 GRAY HORSE
4 OFF WHITE	17 BARREL TILE	30 BENJAMIN MOORE HC-31 WATER BURY CREAM
5 ALUMINUM	18 CONTROL JOINT	
6 FRAME	19 FROSTED GLASS OVER STAINLESS STEEL TUBE CANOPY	
7 CONCRETE EYEBROW	20 STAINLESS STEEL CABLE	
8 RAILING	21 MESH	
9 GRILLE	22 PLEXIGLAS LIGHTING COLUMN	
10 3/4" SMOOTH STUCCO FINISH	23 CLAD COV. CONC. RING	
11 IMPACT RESISTANT SLIDING GLASS DOORS	24 PROJECTOR LIGHTS	
12 IMPACT RESISTANT DOORS	25 ROUND CONCRETE COLUMN	
13 IMPACT RESISTANT TINTED GLASS WINDOWS	26 LOUVERS	

**NOTES:**

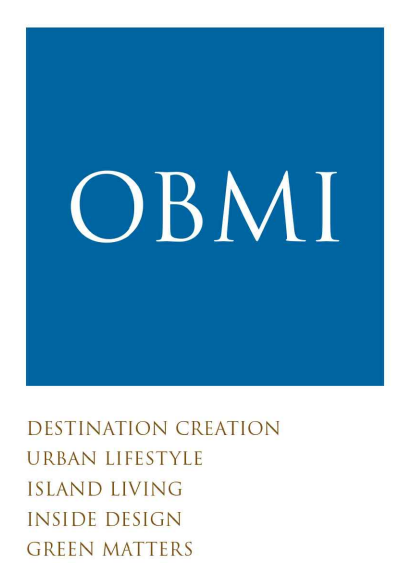
EYEBROWS TO BE PROTECTED WITH A WATERPROOFING MEMBRANE REFER TO WATERPROOFING NOTES ON SHEET A-002 ITEM # 32.



**WEST ELEVATION**

SCALE: 1/16" = 1'-0"

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04/04/2016	TAC REVIEW
DATE:	ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:  
**BLOCK 40  
CITY of  
HOLLYWOOD  
FLORIDA**

DRAWING:  
**WEST  
ELEVATION**

DRAWN BY:	PROJECT #:
CHECKED BY:	SCALE:
DRAWING #:	1/16" = 1'-0"

**A-204**



HOLLYWOOD BLVD. AERIAL VIEW



S 19TH AVENUE AERIAL VIEW



N YOUNG CIRCLE AERIAL VIEW



SOUTH EAST AERIAL VIEW



DESTINATION CREATION  
URBAN LIFESTYLE  
ISLAND LIVING  
INSIDE DESIGN  
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DATE: ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:

**BLOCK 40  
CITY of  
HOLLYWOOD  
FLORIDA**

DRAWING:

**COLOR  
RENDERINGS  
AERIAL**

DRAWN BY: PROJECT #:  
MIA15008

CHECKED BY: SCALE:

DRAWING #:

**A-301**

TAC SITE PLAN REVIEW

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DATE:	ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:  
**BLOCK 40**  
CITY of  
HOLLYWOOD  
FLORIDA

DRAWING:  
**COLOR  
RENDERINGS**

DRAWN BY:	PROJECT #:
CHECKED BY:	SCALE:
DRAWING #:	<b>A-302</b>



SOUTH WEST ELEVATION



EAST ELEVATION - S YOUNG CIRCLE



NORTH EAST ELEVATION - HOLLYWOOD BLVD.



SOUTH WEST ELEVATION



EAST ELEVATION - S YOUNG CIRCLE



NORTH EAST ELEVATION - HOLLYWOOD BLVD.





DISTINATION CREATION  
URBAN LIFESTYLE  
ISLAND LIVING  
INSIDE DESIGN  
GREEN MATTERS

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04/04/2016 TAC REVIEW

DATE: ISSUE:

ARCHITECT:  
DOUGLAS A. KULIG  
AR 10807

PROJECT:

**BLOCK 40  
CITY of  
HOLLYWOOD  
FLORIDA**

DRAWING:

**STREET  
PROFILE**

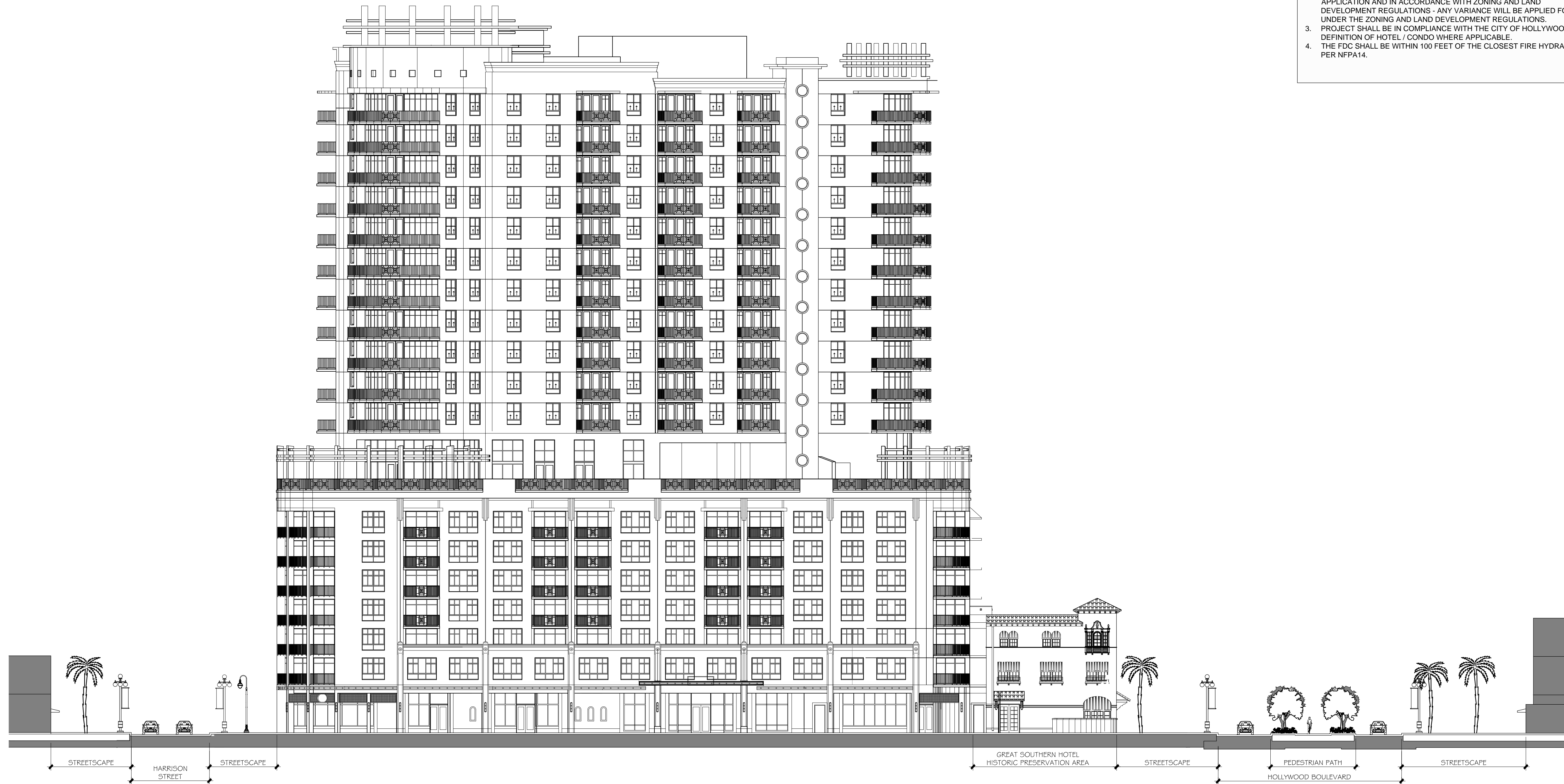
DRAWN BY: PROJECT #:  
CHECKED BY: MIA15008  
SCALE:

DRAWING #:

**A-401**

**GENERAL NOTES**

1. ALL ASPECTS AND ELEMENTS OF THE HISTORIC FACADES BEING PRESERVED ARE IN ACCORDANCE WITH THE PREVIOUS APPROVAL.
2. PROPOSED SIGNAGE WILL BE SUBMITTED UNDER SEPARATE APPLICATION AND IN ACCORDANCE WITH ZONING AND LAND DEVELOPMENT REGULATIONS - ANY VARIANCE WILL BE APPLIED FOR UNDER THE ZONING AND LAND DEVELOPMENT REGULATIONS.
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4. THE FDC SHALL BE WITHIN 100 FEET OF THE CLOSEST FIRE HYDRANT PER NFPA14.



**STREET PROFILE**  
*S YOUNG CIRCLE*

SCALE: N.T.S.

TAC SITE PLAN REVIEW