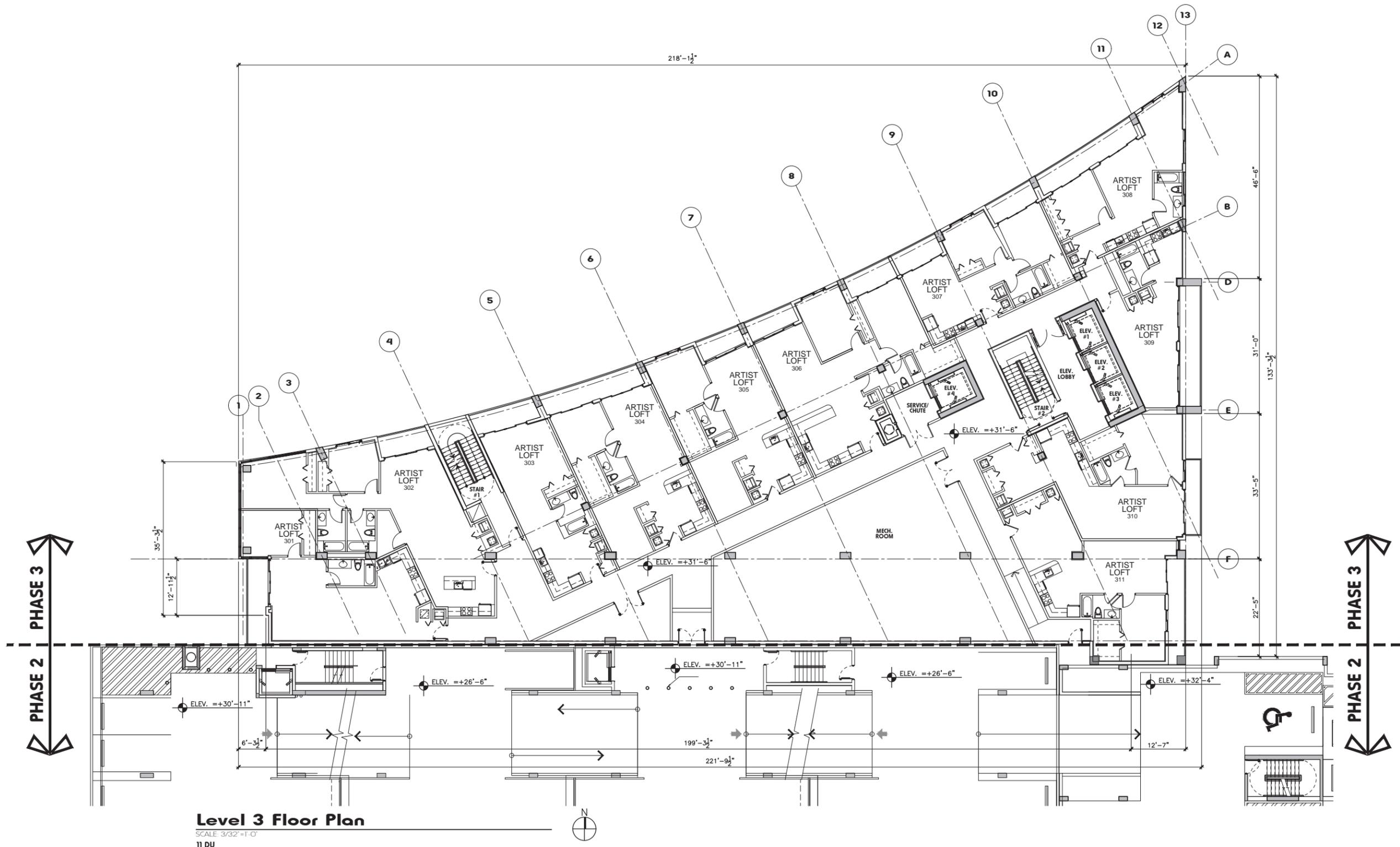


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**Level 3 Floor Plan**  
SCALE: 3/32"=1'-0"  
11 DU

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seal :  
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93293

revisions :


drawing data :  
**PHASE 3  
 NORTH TOWER  
 LEVEL 3**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number : **A3.03**

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**Level 23 Floor Plan**

SCALE 3/32"=1'-0"

12 DU



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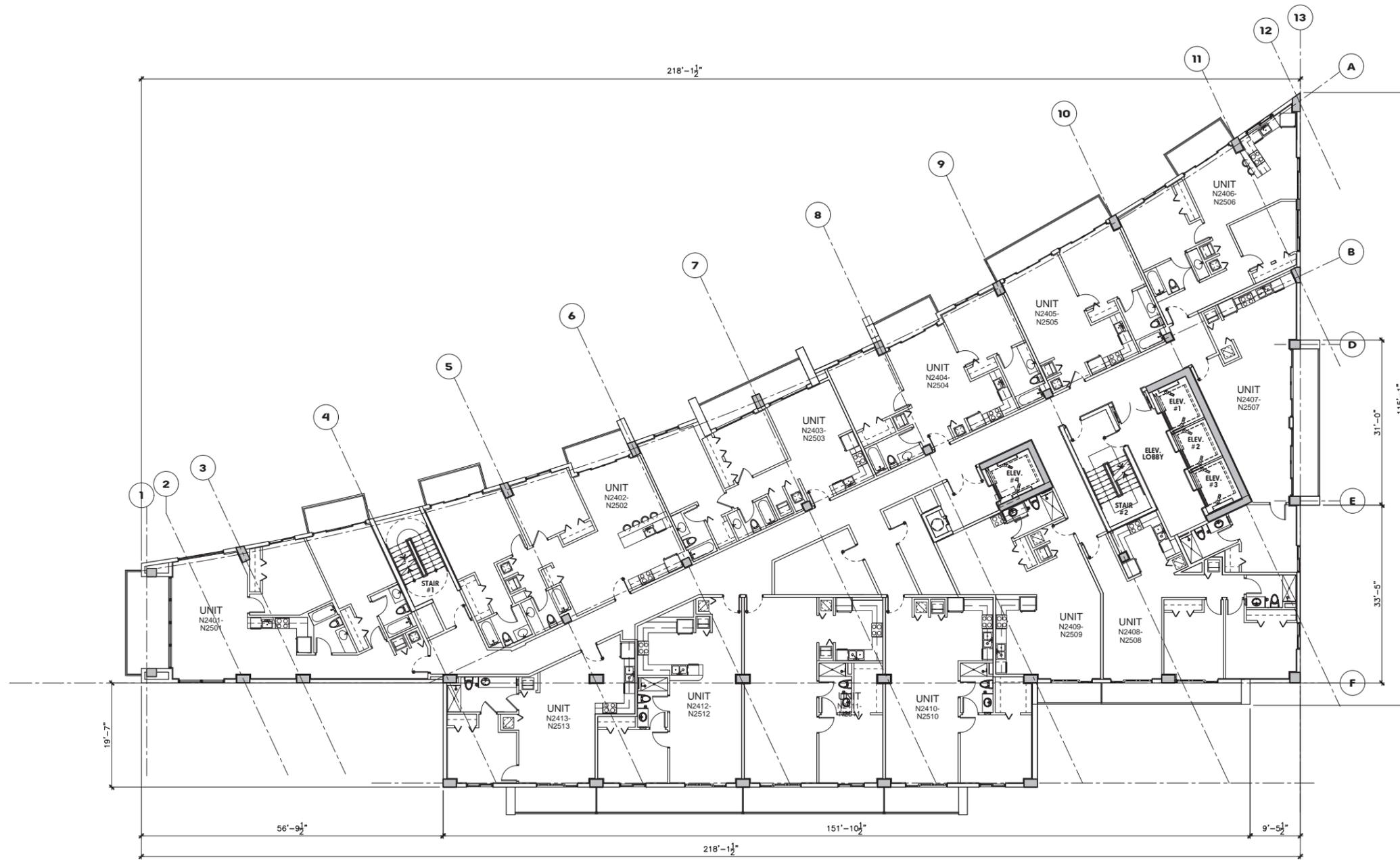
seal :  
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93329

revisions :


drawing data :

<b>PHASE 3 NORTH TOWER LEVEL 23</b>
project number : #15197
drawing scale : As Shown
drawing date : 04/26/2018
phase : Final TAC
sheet number : <b>A3.08</b>

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**Level 24-25 Floor Plan**

SCALE: 3/32" = 1'-0"

13 DU X 2 FLRS = 26 DU



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 FLORIDA REGISTERED ARCHITECT # AR 93329

revisions :

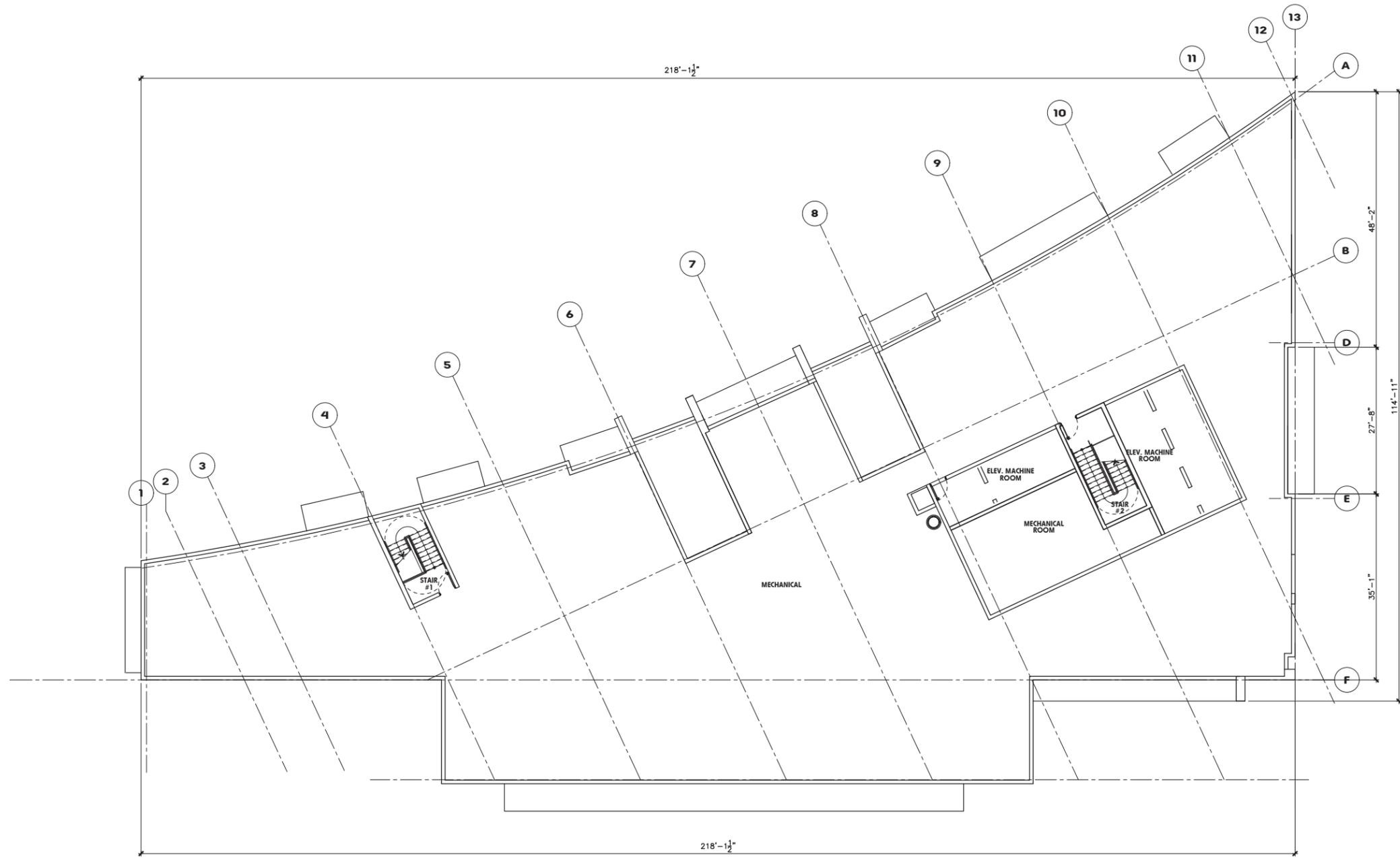

drawing data :

**PHASE 3  
 NORTH TOWER  
 LEVELS 24-25**

project number :	#15197
drawing scale :	As Shown
drawing date :	04/26/2018
phase :	Final TAC
sheet number :	<b>A3.09</b>

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**Roof Level Floor Plan**  
SCALE: 3/32"=1'-0"



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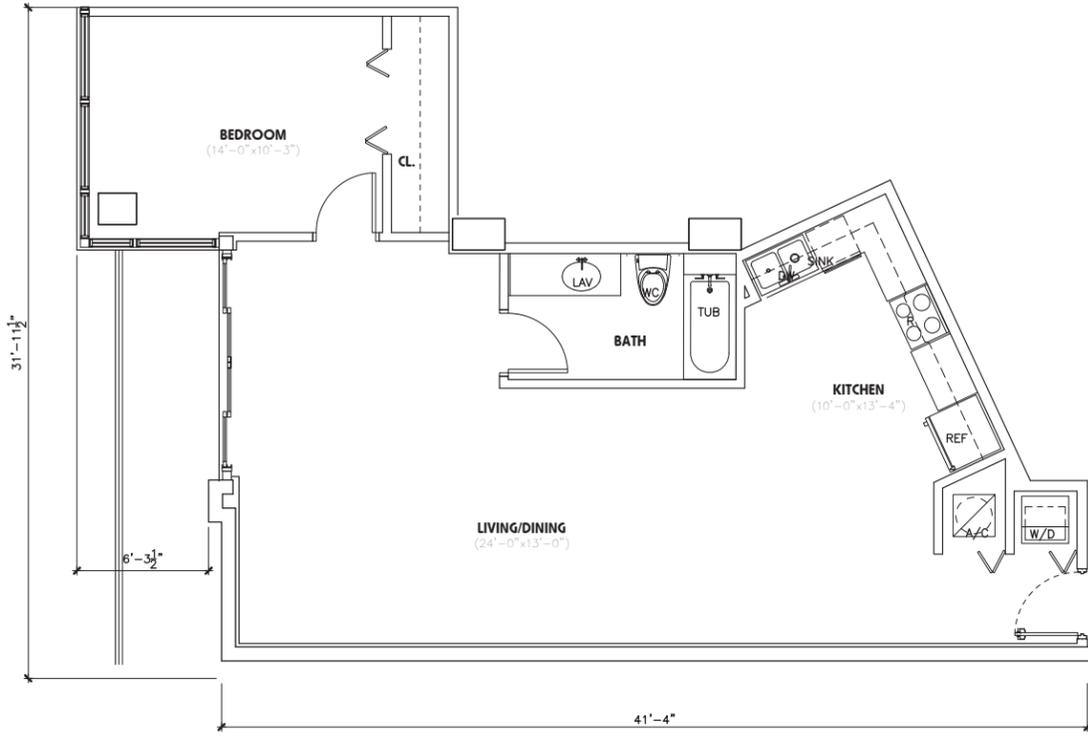
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 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93329

revisions :


drawing data :  
**PHASE 3**  
**NORTH TOWER**  
**ROOF LEVEL**

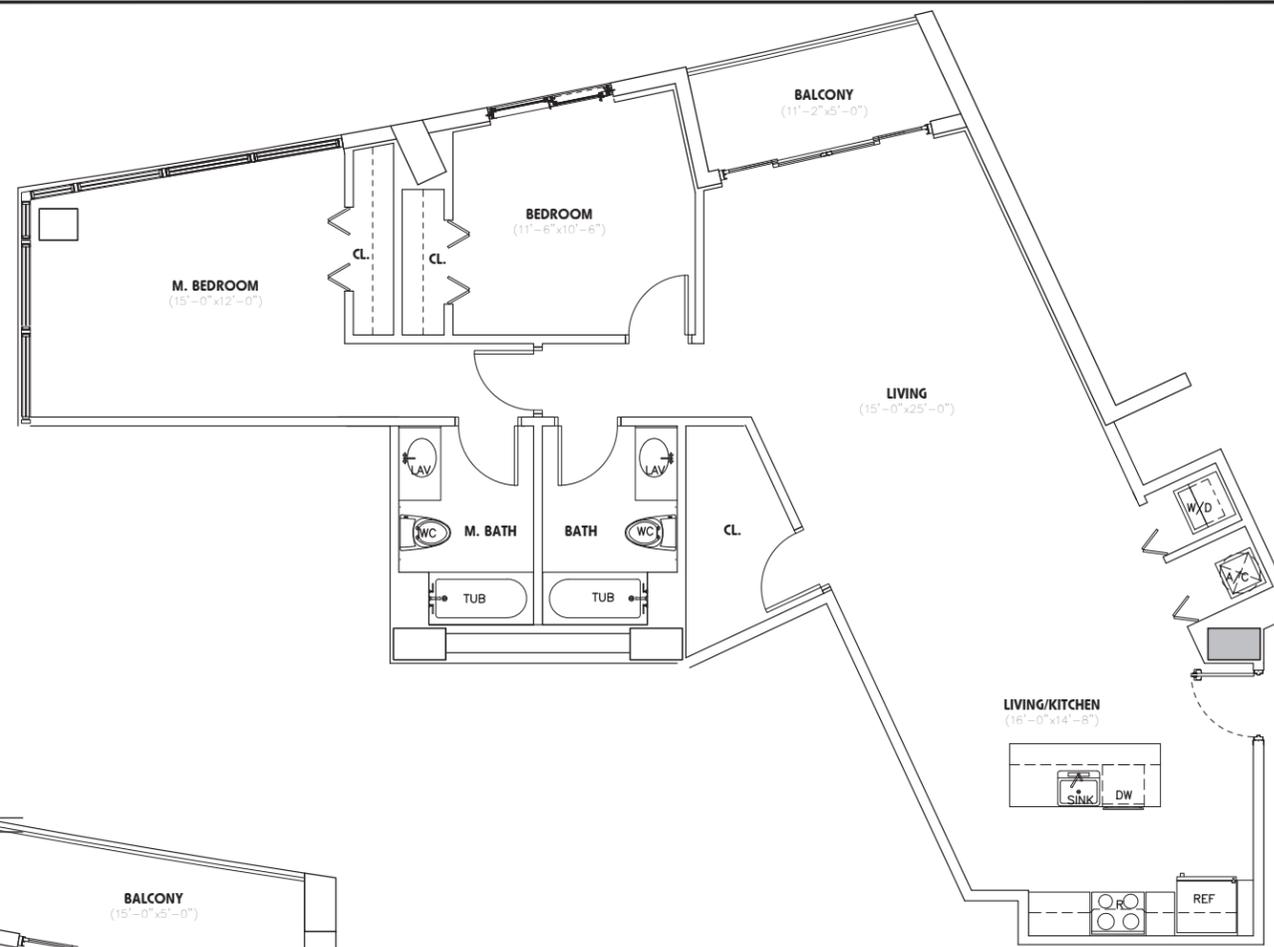
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 phase : Final TAC  
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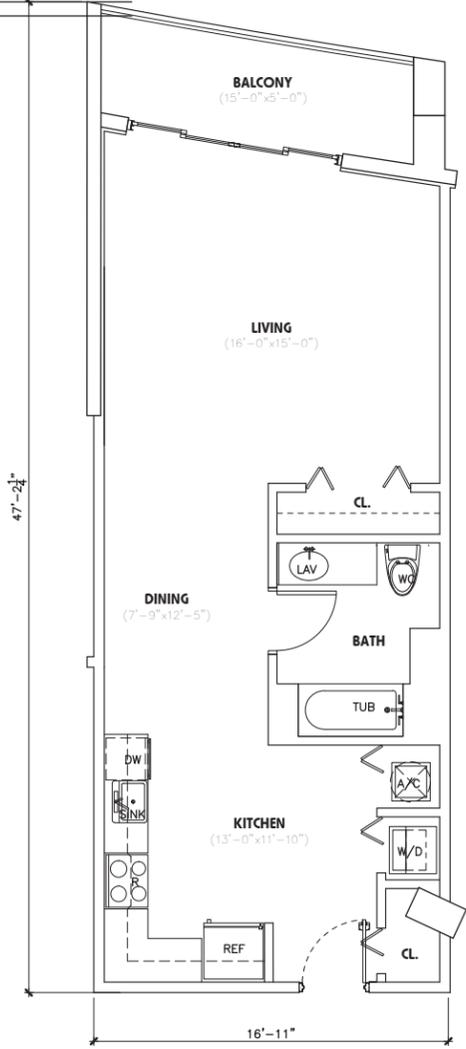
**Artist Loft-01**  
SCALE: 1/4" = 1'-0"

18D/7B  
1,003 SF



**Artist Loft-02**  
SCALE: 1/4" = 1'-0"

28D/28  
1,317 SF



**Artist Loft-03**  
SCALE: 1/4" = 1'-0"

STUDIO  
682 SF

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seal :  
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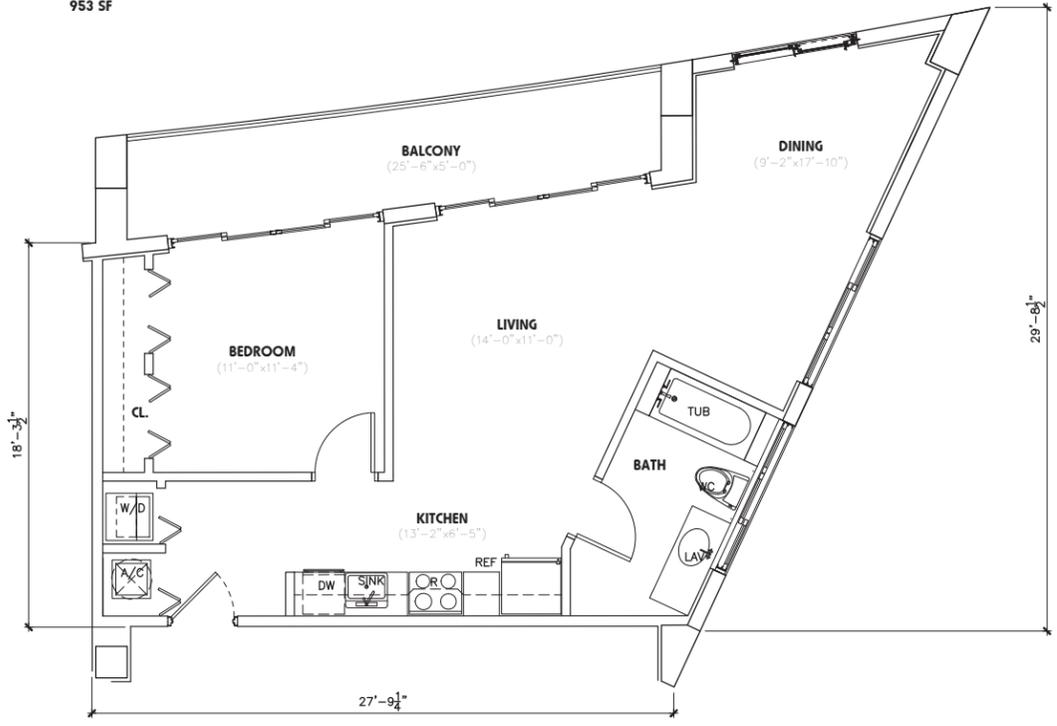
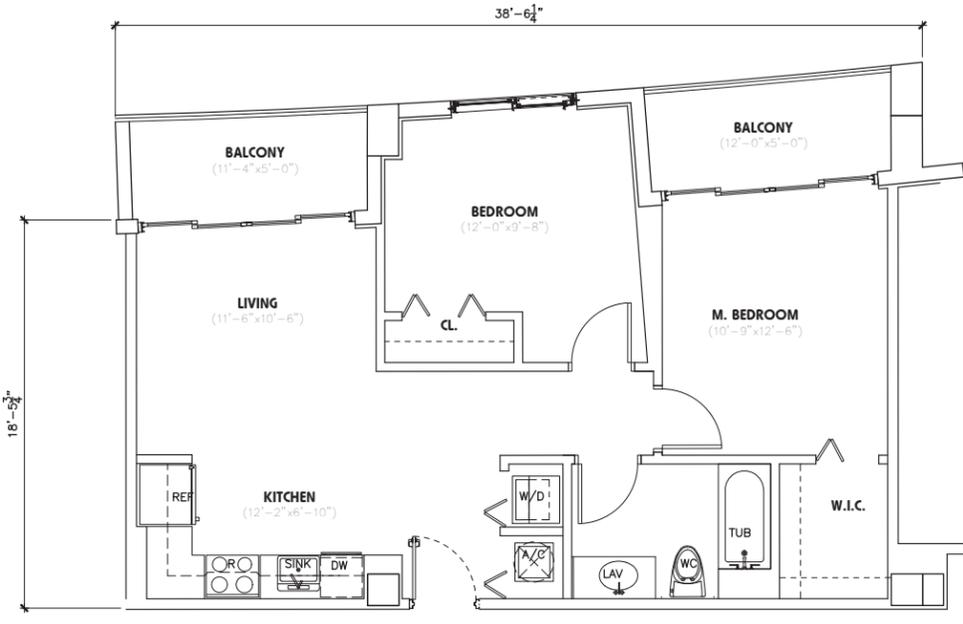
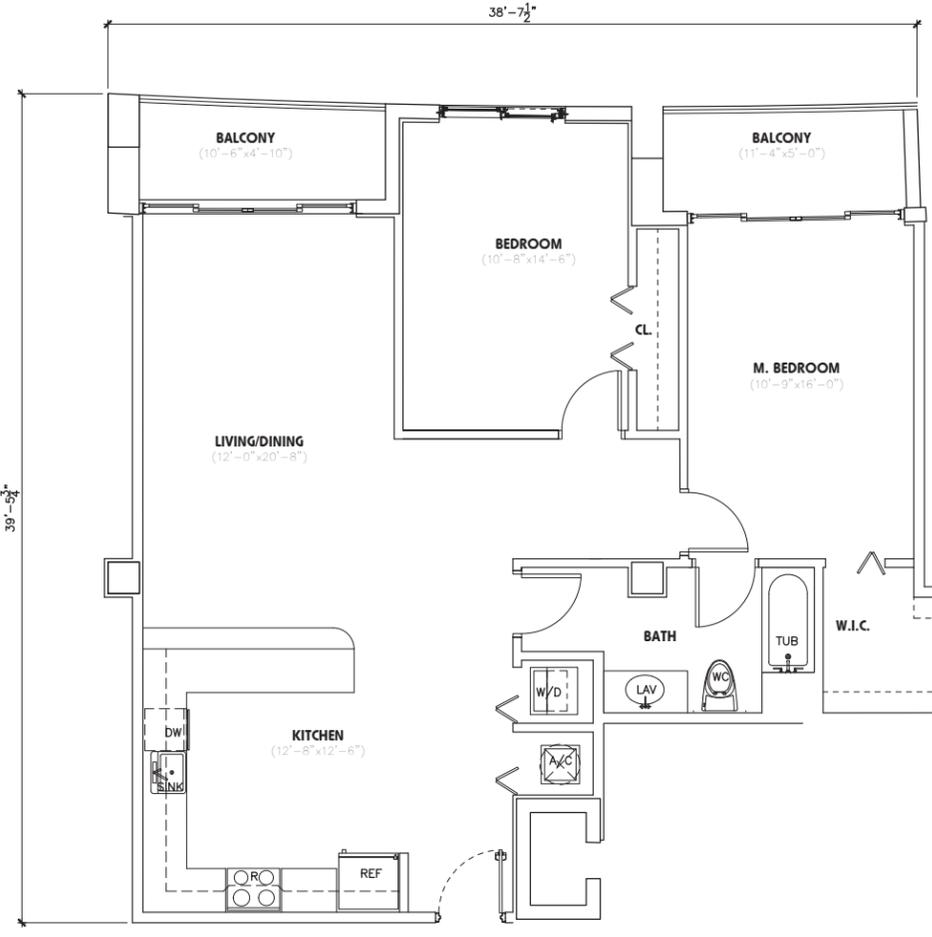
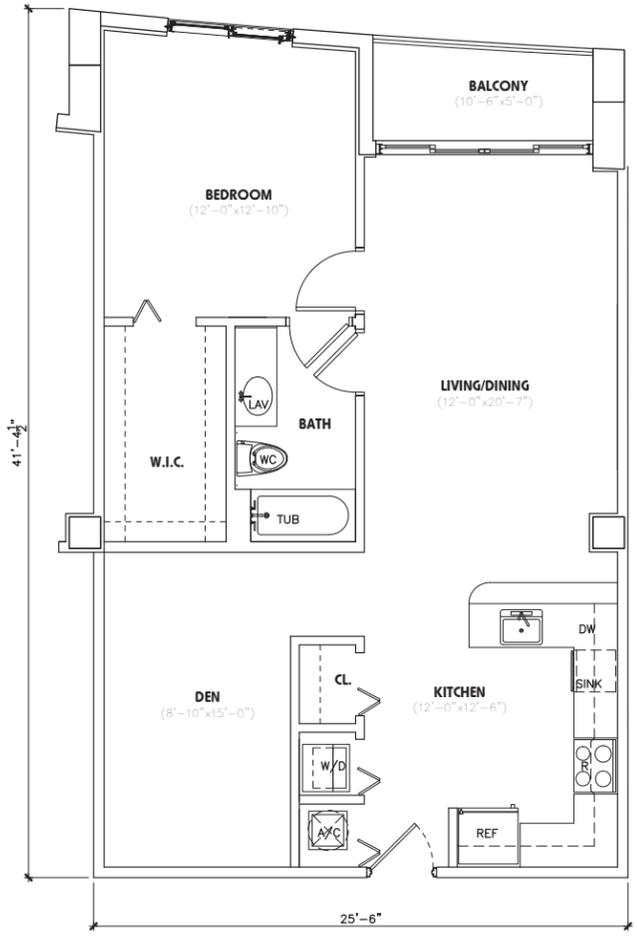
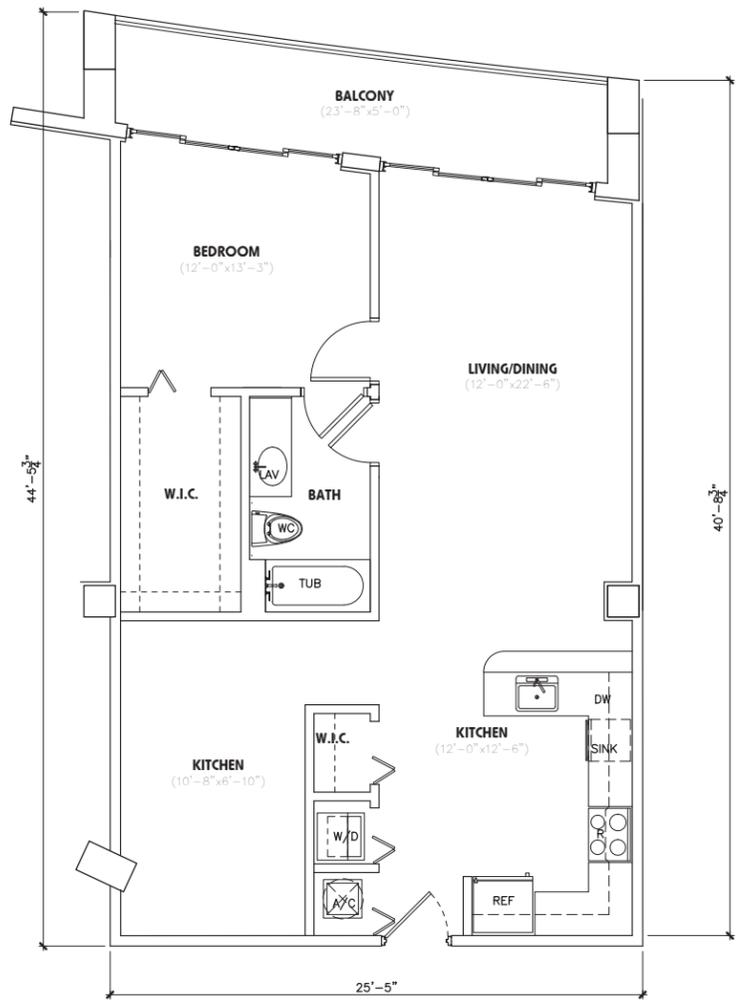
revisions :


drawing data :  
**PHASE 3**  
**NORTH TOWER**  
**ARTIST LOFT**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number : A3.11

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**North Towers**  
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 Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**

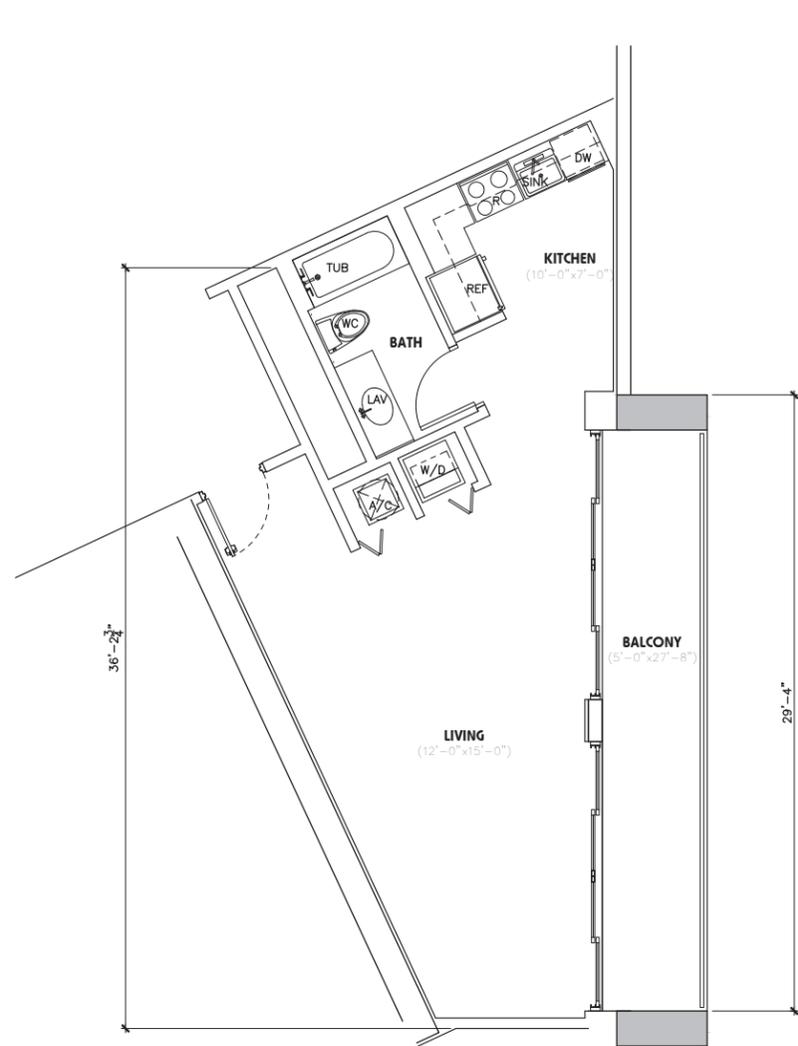
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**NORTH TOWER**  
**ARTIST LOFT**

**project number :** #15197  
**drawing scale :** As Shown  
**drawing date :** 04/26/2018  
**phase :** Final TAC  
**sheet number :** A3.12

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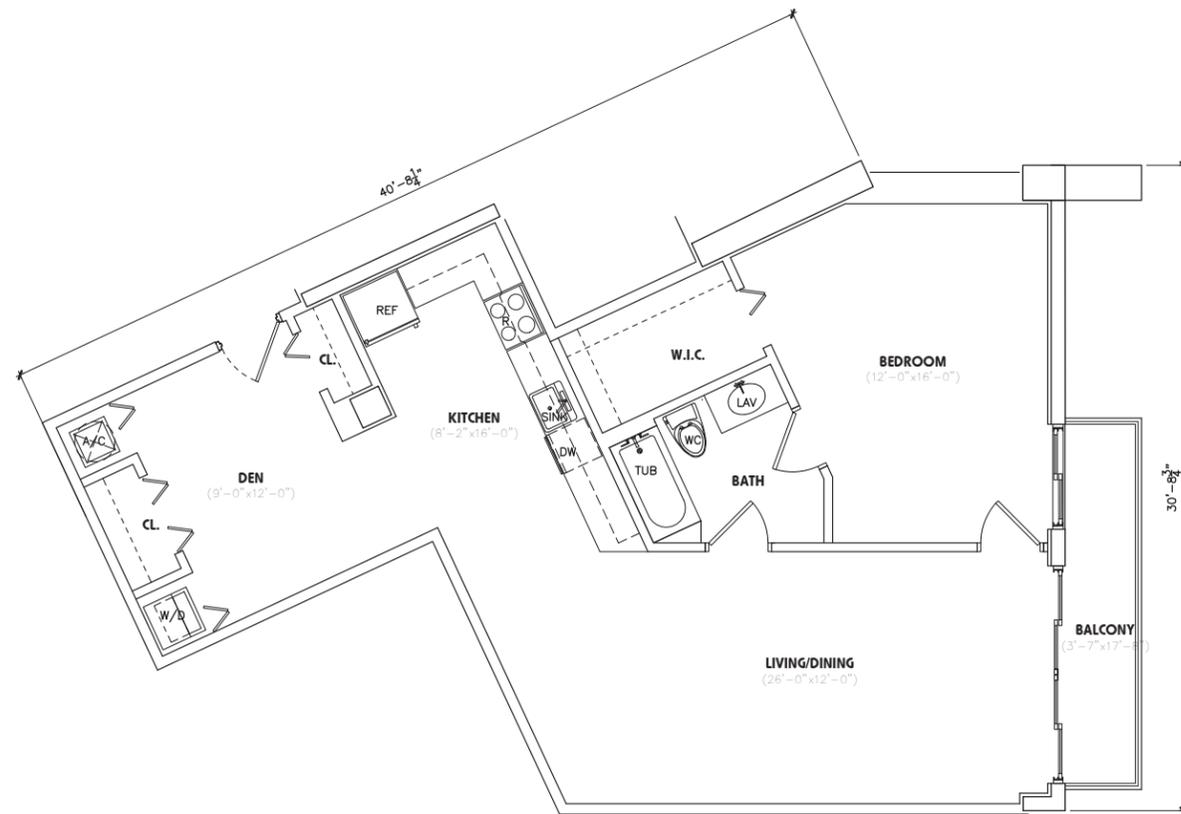
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**Artist Loft-09**

SCALE: 1/4"=1'-0"

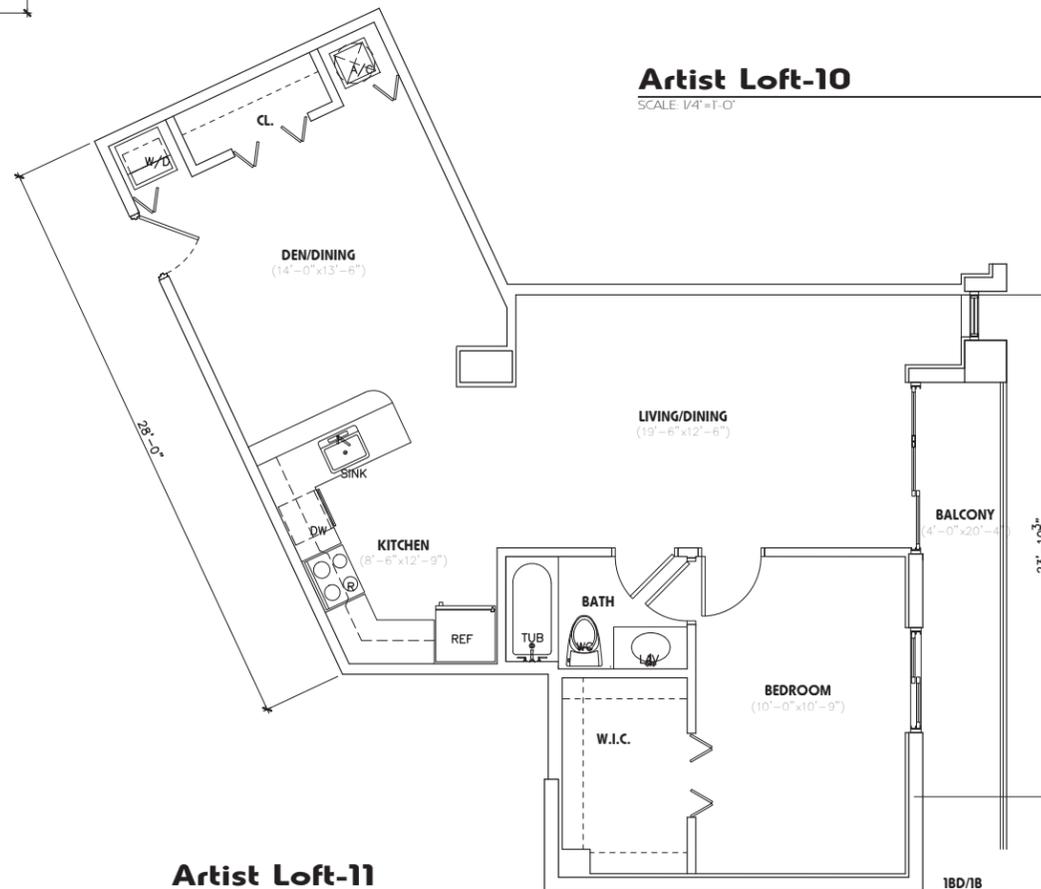
STUDIO  
585 SF



**Artist Loft-10**

SCALE: 1/4"=1'-0"

18D/18  
1,005 SF



**Artist Loft-11**

SCALE: 1/4"=1'-0"

18D/18  
876 SF



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FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

**PHASE 3  
NORTH TOWER  
ARTIST LOFT**

project number :

#15197

drawing scale :

As Shown

drawing date :

04/26/2018

phase :

Final TAC

sheet number :

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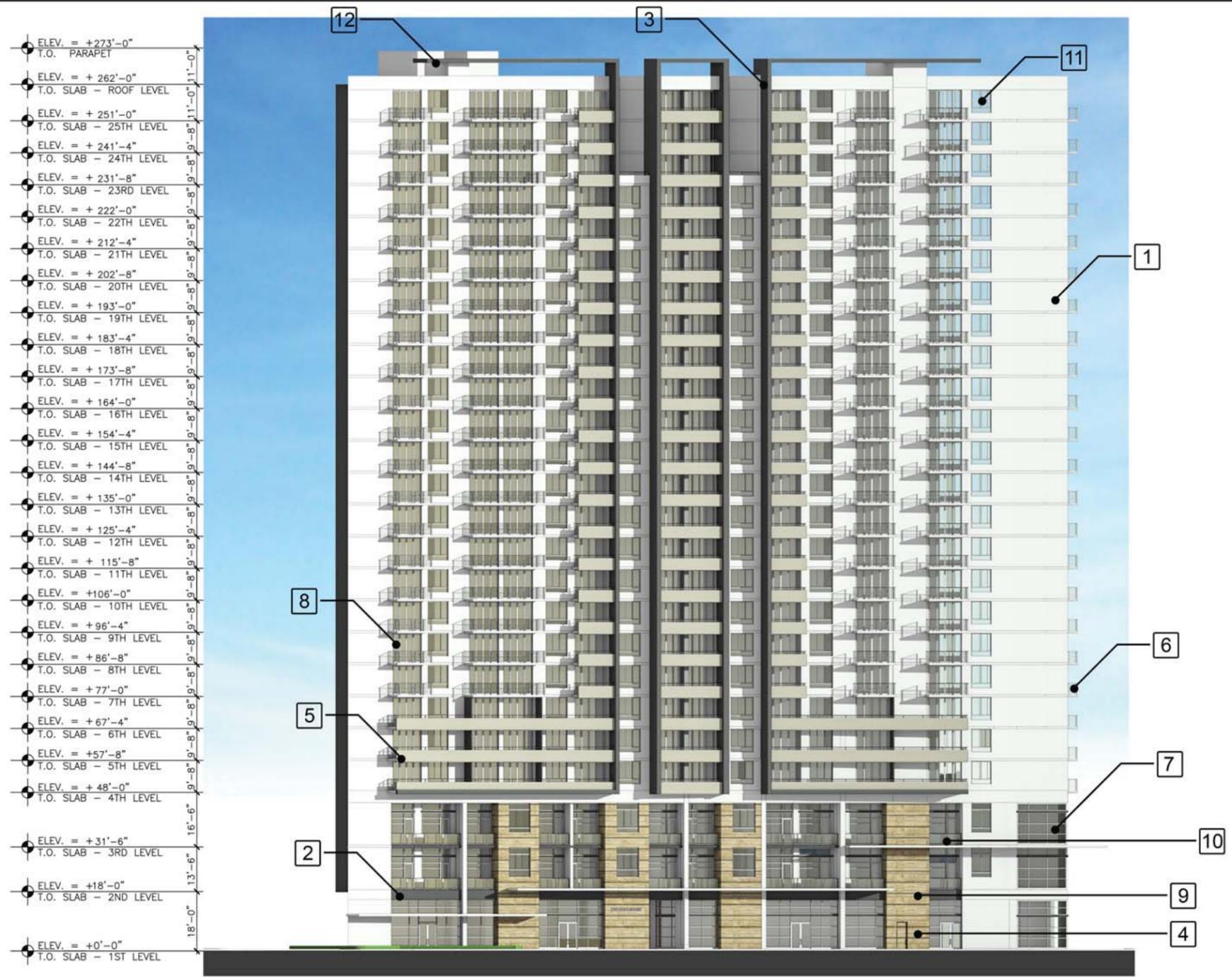
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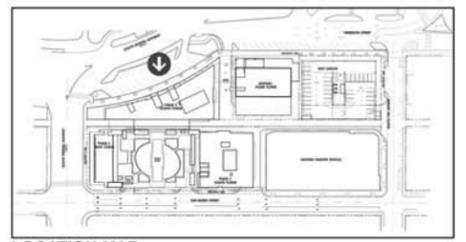


**PHASE 3: SOUTH ELEVATION**

**ELEVATION KEYNOTES:**

 <p>1</p>	 <p>2</p>	 <p>3</p>	 <p>4</p>	 <p>5</p>	 <p>6</p>	 <p>7</p>	 <p>8</p>	 <p>9</p>	 <p>10</p>	 <p>11</p>	 <p>12</p>
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WILL BE UNDER SEPARATE PERMIT  
AND WILL MEET ZONING AND  
LAND DEVELOPMENT REGULATIONS.



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**revisions :**


**drawing data :**

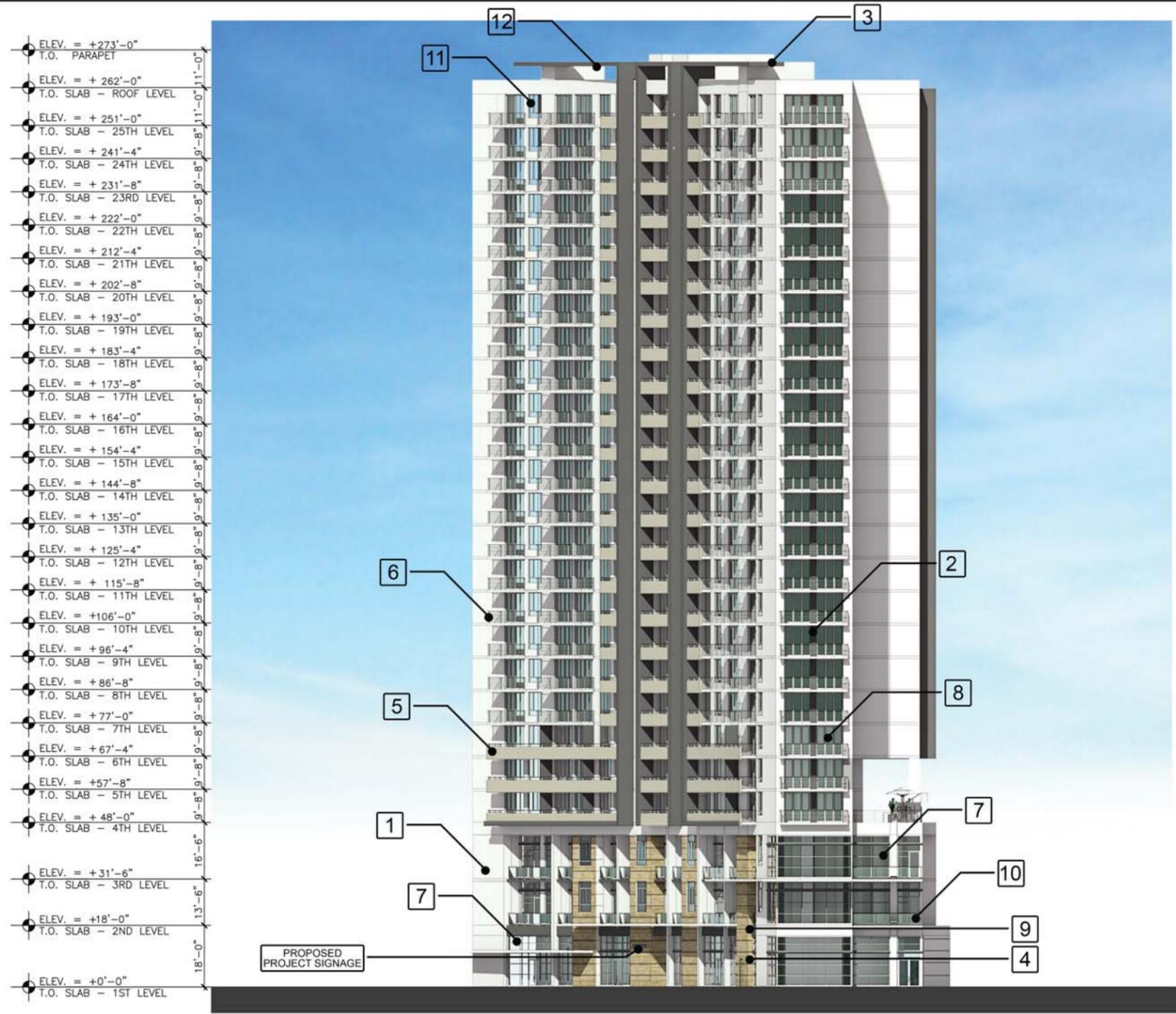
**PHASE 3  
NORTH TOWER  
SOUTH  
ELEVATION**

**project number :** #15197  
**drawing scale :** As Shown  
**drawing date :** 04/26/2018  
**phase :** Final TAC  
**sheet number :** **A3.18**

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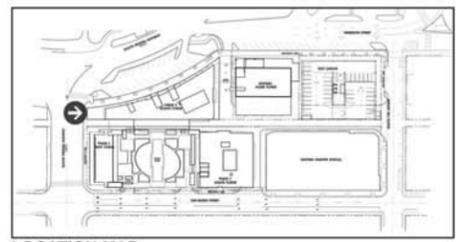
ELEV. = +273'-0"	T.O. PARAPET
ELEV. = +262'-0"	T.O. SLAB - ROOF LEVEL
ELEV. = +251'-0"	T.O. SLAB - 25TH LEVEL
ELEV. = +241'-4"	T.O. SLAB - 24TH LEVEL
ELEV. = +231'-8"	T.O. SLAB - 23RD LEVEL
ELEV. = +222'-0"	T.O. SLAB - 22TH LEVEL
ELEV. = +212'-4"	T.O. SLAB - 21TH LEVEL
ELEV. = +202'-8"	T.O. SLAB - 20TH LEVEL
ELEV. = +193'-0"	T.O. SLAB - 19TH LEVEL
ELEV. = +183'-4"	T.O. SLAB - 18TH LEVEL
ELEV. = +173'-8"	T.O. SLAB - 17TH LEVEL
ELEV. = +164'-0"	T.O. SLAB - 16TH LEVEL
ELEV. = +154'-4"	T.O. SLAB - 15TH LEVEL
ELEV. = +144'-8"	T.O. SLAB - 14TH LEVEL
ELEV. = +135'-0"	T.O. SLAB - 13TH LEVEL
ELEV. = +125'-4"	T.O. SLAB - 12TH LEVEL
ELEV. = +115'-8"	T.O. SLAB - 11TH LEVEL
ELEV. = +106'-0"	T.O. SLAB - 10TH LEVEL
ELEV. = +96'-4"	T.O. SLAB - 9TH LEVEL
ELEV. = +86'-8"	T.O. SLAB - 8TH LEVEL
ELEV. = +77'-0"	T.O. SLAB - 7TH LEVEL
ELEV. = +67'-4"	T.O. SLAB - 6TH LEVEL
ELEV. = +57'-8"	T.O. SLAB - 5TH LEVEL
ELEV. = +48'-0"	T.O. SLAB - 4TH LEVEL
ELEV. = +31'-6"	T.O. SLAB - 3RD LEVEL
ELEV. = +18'-0"	T.O. SLAB - 2ND LEVEL
ELEV. = +0'-0"	T.O. SLAB - 1ST LEVEL

**PHASE 3: WEST ELEVATION**

**ELEVATION KEYNOTES:**

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**LOCATION MAP**  
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**seal :**  
 ROBERT K. MORSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AB 93259

**revisions :**


**drawing data :**  
**PHASE 3**  
**NORTH TOWER**  
**WEST**  
**ELEVATION**

**project number :** #15197  
**drawing scale :** As Shown  
**drawing date :** 04/26/2018  
**phase :** Final TAC  
**sheet number :** **A3.20**

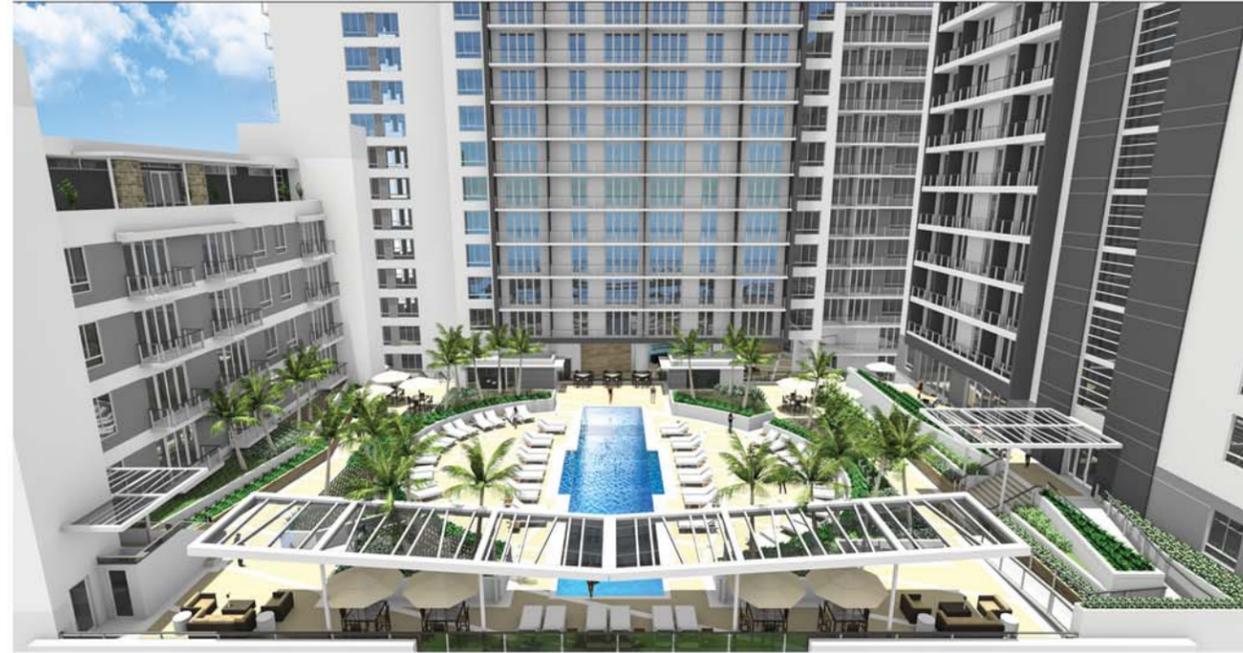
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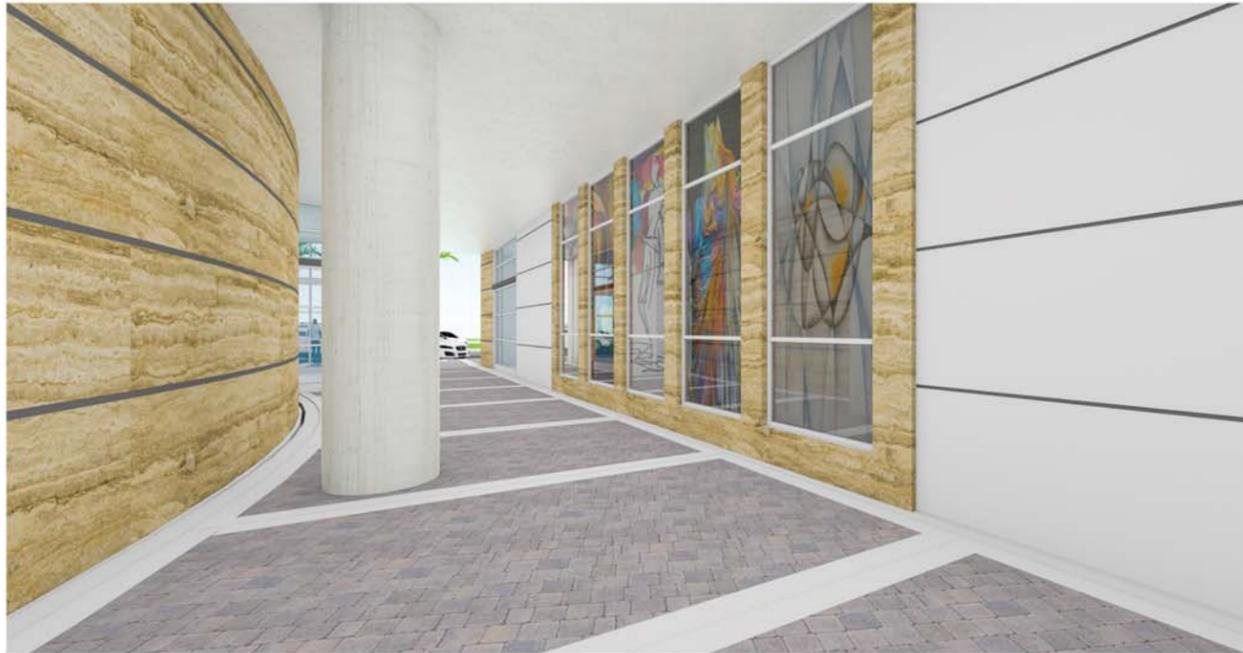




1 PARC PLACE NORTH | AERIAL VIEW ALONG SOUTH YOUNG CIRCLE AND HARRISON STREET



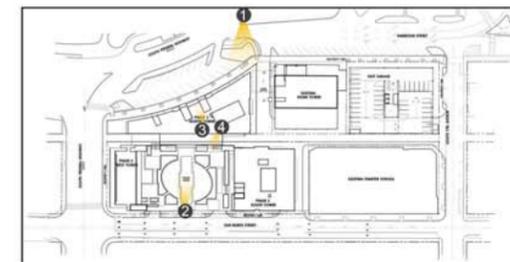
2 PARC PLACE NORTH | VIEW OF POOL DECK



3 PARC PLACE NORTH | VIEW OF PUBLIC GALLERY TO GARAGE



4 PARC PLACE NORTH | VIEW OF NORTH TOWER ENTRANCE TO POOL DECK



LOCATION MAP  
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project info :  
**Parc Place  
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 North Towers**  
 1740-1760 South Young Cir.  
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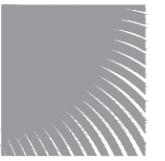
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 ROBERT K. MORSETTE, AIA, NCARB, LEED AP BD+C, CPF  
 FLORIDA REGISTERED ARCHITECT # AB 93259

revisions :  
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drawing data :  
**PHASE 3  
 NORTH TOWER  
 RENDERINGS**  
 project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number : **A3.22**

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**PARC PLACE  
HOLLYWOOD, FLORIDA  
OVERALL HARDSCAPE PLAN**

REVISIONS:

04-26-2018  
DATE  
J.R.  
DRAWN BY:  
M.J.  
APPROVED BY:

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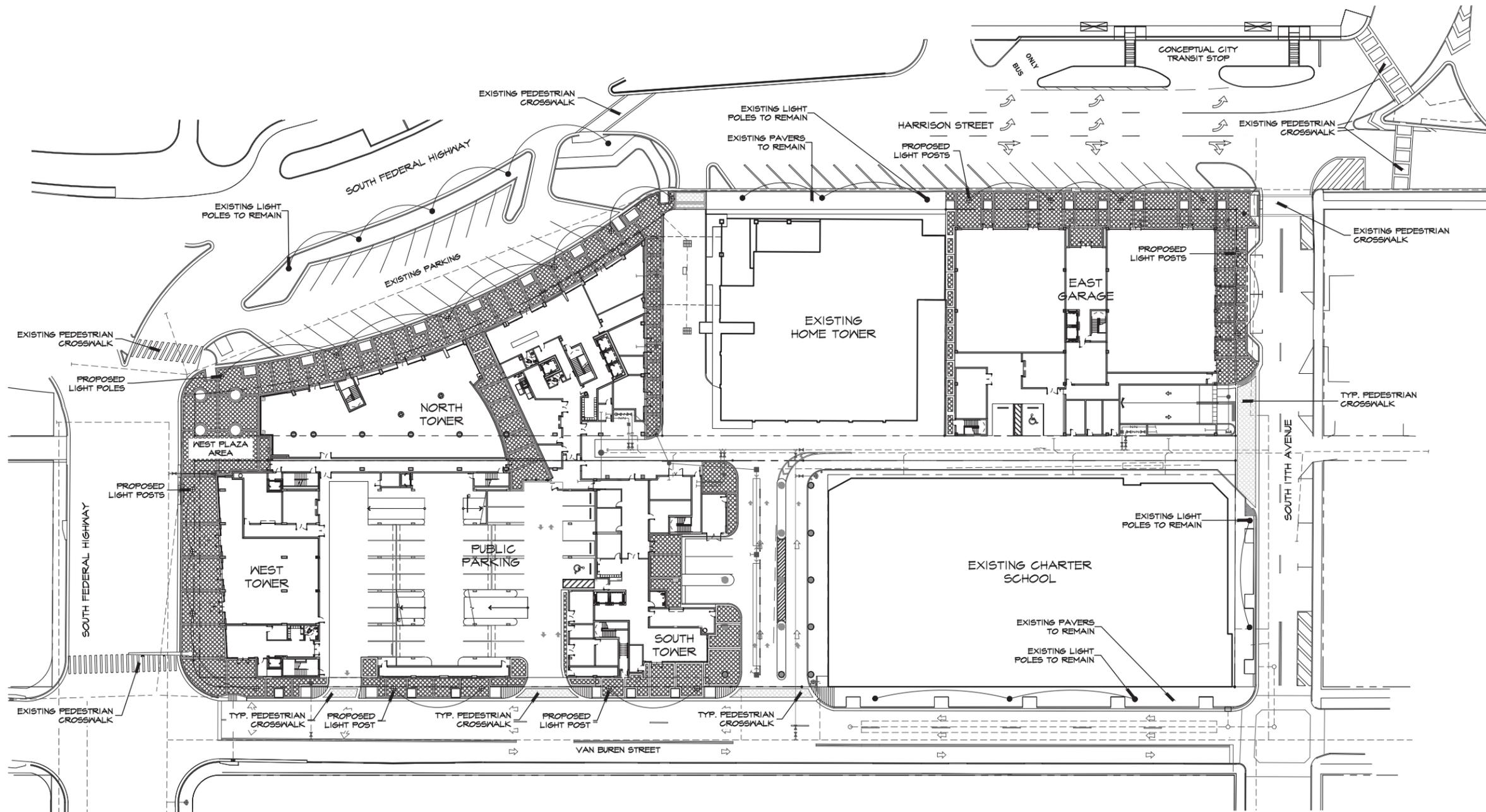
SHEET

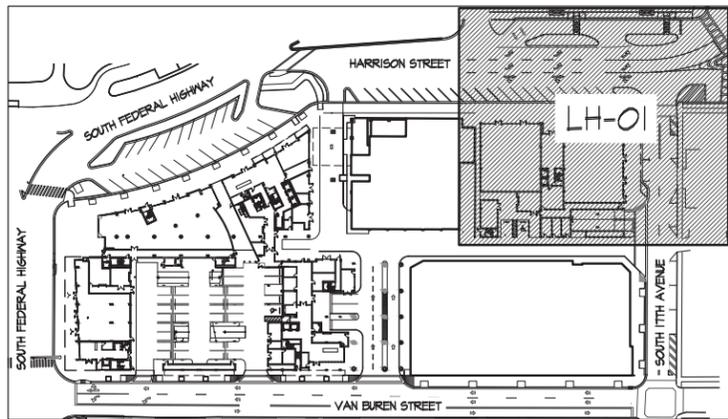
**LH-00**

SITE PLAN  
APPROVAL

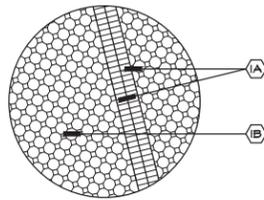


SCALE: 1" = 30'- 0"





LOCATION MAP  
N.T.S.

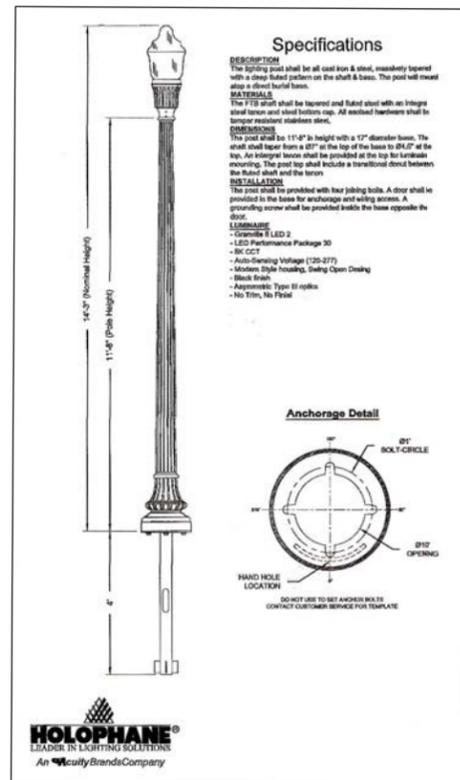


① SIDEWALKS  
N.T.S. (SAND SET PAVERS)

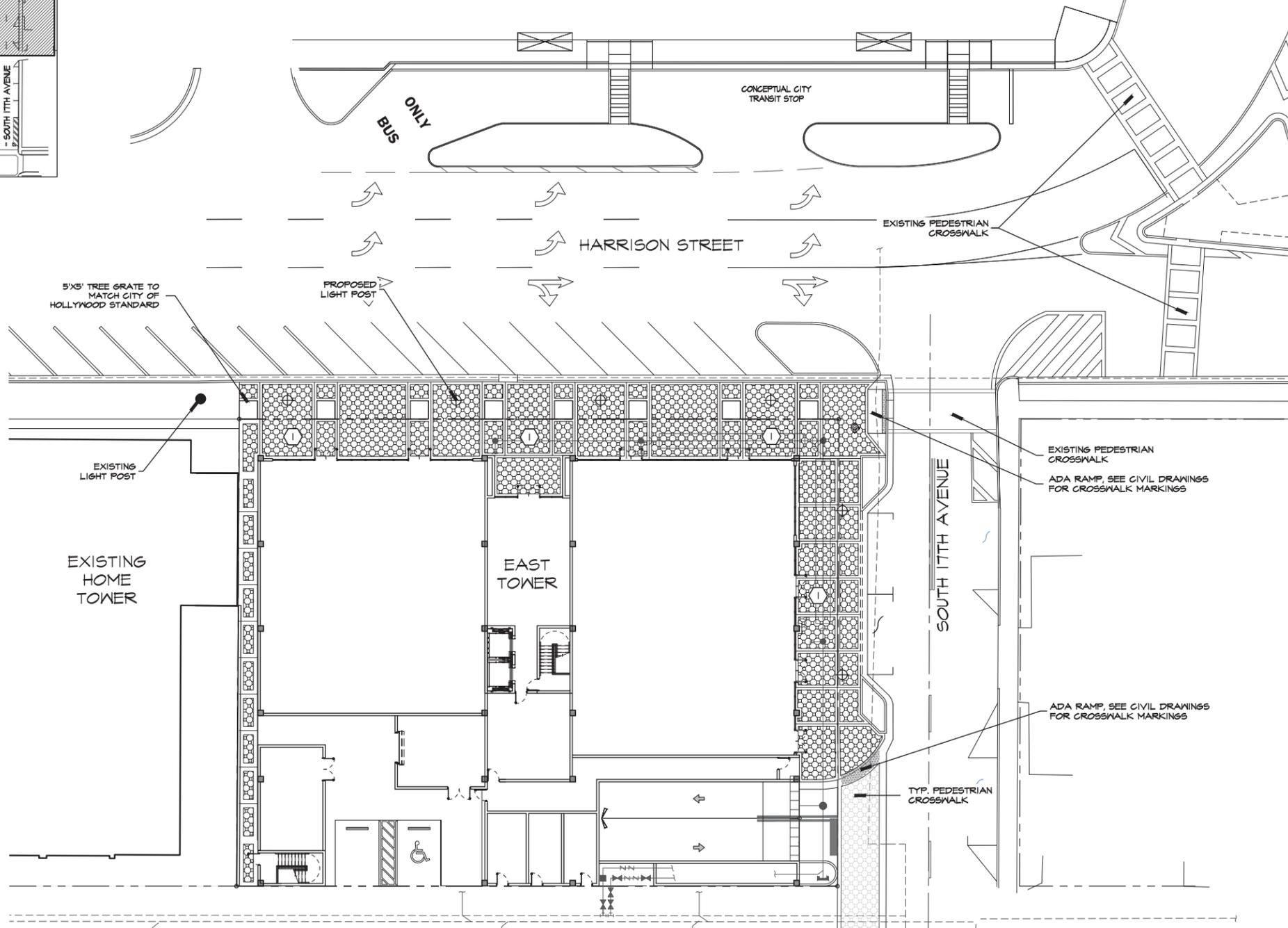
- (A) BORDER: 4"x 8" PAVER SINGLE 8" ROWLOCK  
COLOR: MATCH CITY OF HOLLYWOOD  
STREETSCAPE.
- (B) FIELD: UNI-DECOR PAVER  
COLOR: MATCH CITY OF HOLLYWOOD  
STREETSCAPE.

NOTE: ALL PAVER 2 3/8" THICKNESS ON COMPACTED SAN BED

LIGHTING MATERIAL SCHEDULE:			
SYM	QTY	FIXTURE DESCRIPTION	DESCRIPTION
⊕	6	HOLOPHANE STREET LIGHT 6VD2-PB0-50K-AS-M-BK-3-N-N-U	STREET LIGHT
●	1	EXISTING STREET LIGHT TO REMAIN	



HOLOPHANE STREET LIGHT  
SCALE: N.T.S.



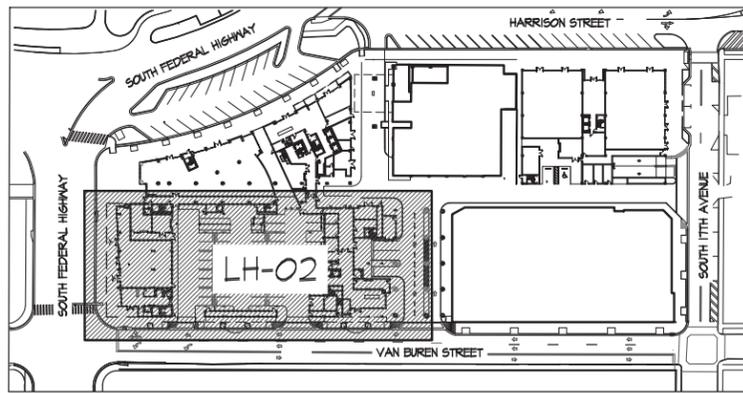
SCALE: 1/16" = 1'- 0"

**PARC PLACE**  
**HOLLYWOOD, FLORIDA**  
PHASE I-EAST TOWER GROUND FLOOR HARDSCAPE & LIGHTING PLAN

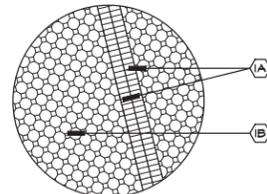
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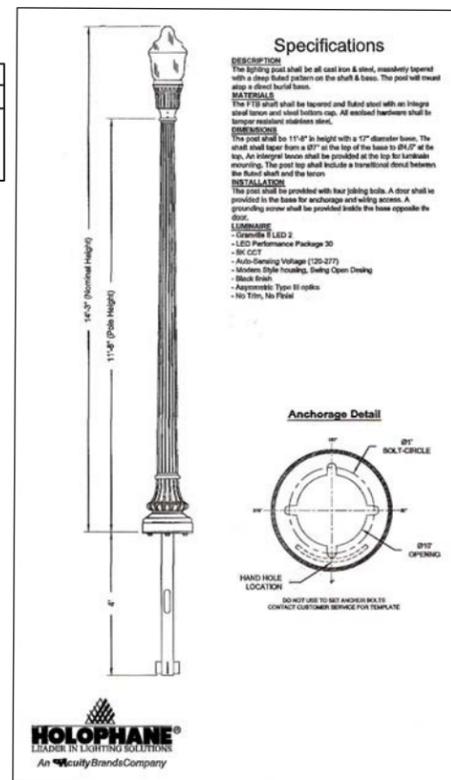
LOCATION MAP  
N.T.S.



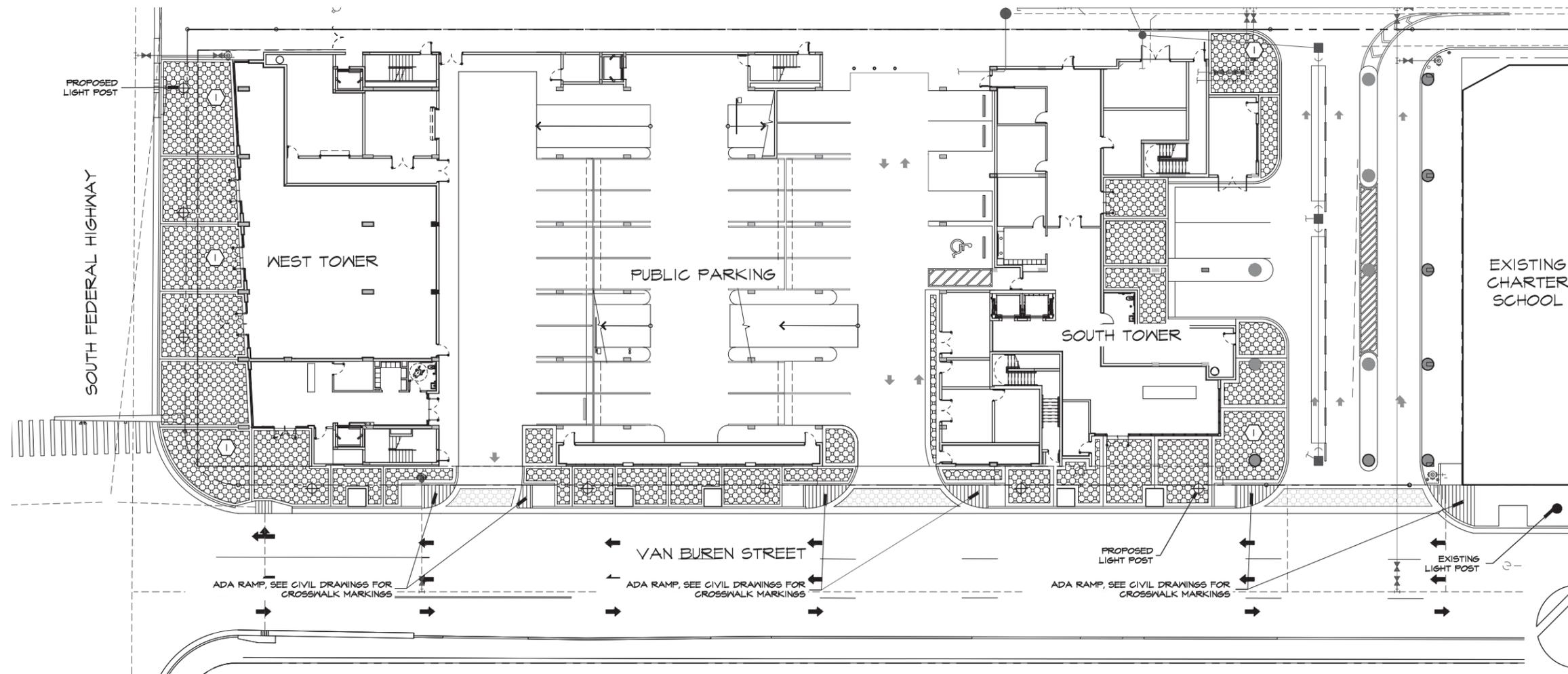
- ① SIDEWALKS  
N.T.S. (SAND SET PAVERS)
- ①A BORDER: 4" X 8" PAVER SINGLE 8" ROWLOCK  
COLOR: MATCH CITY OF HOLLYWOOD STREETSCAPE.
  - ①B FIELD: UNI-DECOR PAVER  
COLOR: MATCH CITY OF HOLLYWOOD STREETSCAPE.

NOTE: ALL PAVER 2 3/8" THICKNESS ON COMPACTED SAN BED

LIGHTING MATERIAL SCHEDULE:			
SYM	QTY	FIXTURE DESCRIPTION	DESCRIPTION
⊕	8	HOLOPHANE STREET LIGHT GVD2-P30-3AK-AS-M-BK-3-N-N-U	STREET LIGHT
●	1	EXISTING STREET LIGHT TO REMAIN	



HOLOPHANE STREET LIGHT  
SCALE: N.T.S.



SCALE: 1/16" = 1'-0"

REVISIONS:

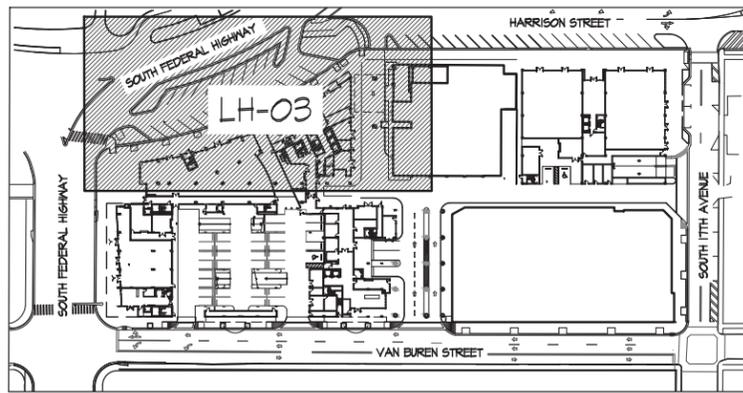

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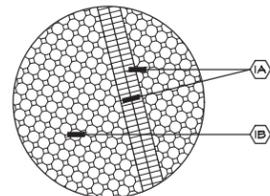
SHEET

**LH-02**

SITE PLAN  
APPROVAL



LOCATION MAP  
N.T.S.



- ① SIDEWALKS  
N.T.S. (SAND SET PAVERS)
- (A) BORDER: 4" X 8" PAVER SINGLE 8" ROWLOCK  
COLOR: MATCH CITY OF HOLLYWOOD  
STREETSCAPE.
- (B) FIELD: UNI-DECOR PAVER  
COLOR: MATCH CITY OF HOLLYWOOD  
STREETSCAPE.
- NOTE: ALL PAVER 2 3/8" THICKNESS ON COMPACTED SAND BED

LIGHTING MATERIAL SCHEDULE:			
SYM	QTY	FIXTURE DESCRIPTION	DESCRIPTION
⊕	6	HOLOPHANE STREET LIGHT 6VD2-P30-3AK-AS-M-BK-3-N-N-U	STREET LIGHT
●	7	EXISTING STREET LIGHT TO REMAIN	

**Specifications**

**DESCRIPTION**  
The lighting post shall be all cast iron & steel, masterly tapered with a clear fluted pattern on the shaft & base. The post will mount atop a direct burial base.

**MATERIALS**  
The FTB shall be tapered and fluted steel with an integral steel base and steel bottom cap. All welded hardware shall be longer resistant stainless steel.

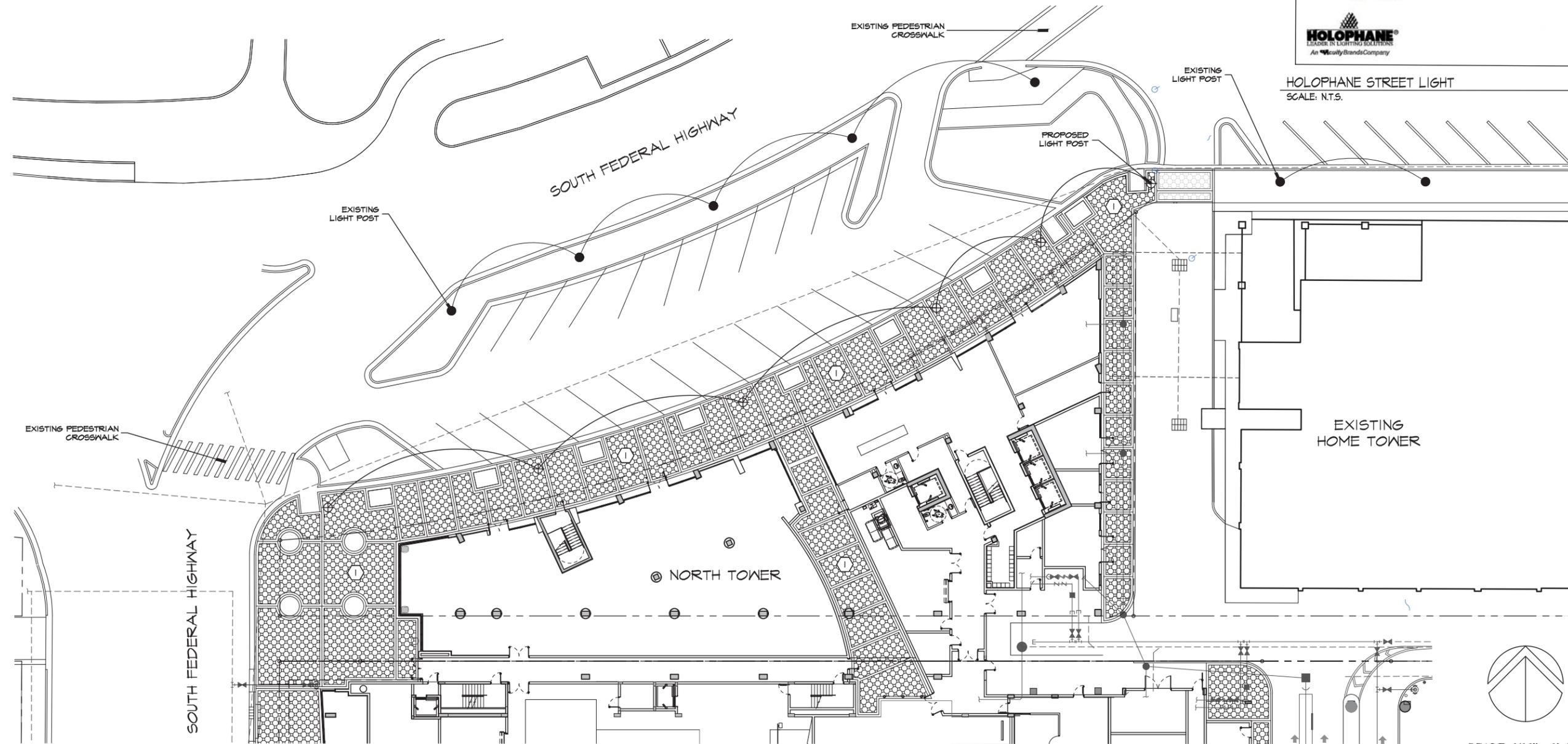
**FINISHES**  
The post shall be 11'4" in height with a 17" diameter base. The shaft shall taper from a 67" at the top of the base to 24.5" at the top. An integral base shall be provided at the top for landscape mounting. The post top shall include a transitional dome between the fluted shaft and the lantern.

**INSTALLATION**  
The post shall be provided with four jacking bolts. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.

**LED LIGHTS**  
- Luminaire: T LED 2  
- LED Performance Package 30  
- 8W CCT  
- Auto Sensing Voltage (20-277)  
- Maximum Output: 100lm/W, 100lm/W Open Circuit  
- Black Finish  
- Approximate: Type III output  
- No Trim, No Fix

**Anchorage Detail**

**HOLOPHANE**  
LEADING IN LIGHTING SOLUTIONS  
An Eculty Brands Company



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**PARC PLACE  
HOLLYWOOD, FLORIDA**

PHASE 3-NORTH TOWER GROUND FLOOR HARDSCAPE & LIGHTING PLAN

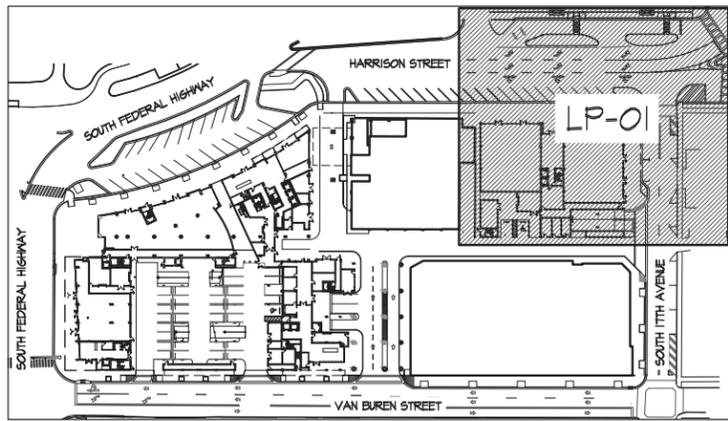
REVISIONS:


04-26-2018  
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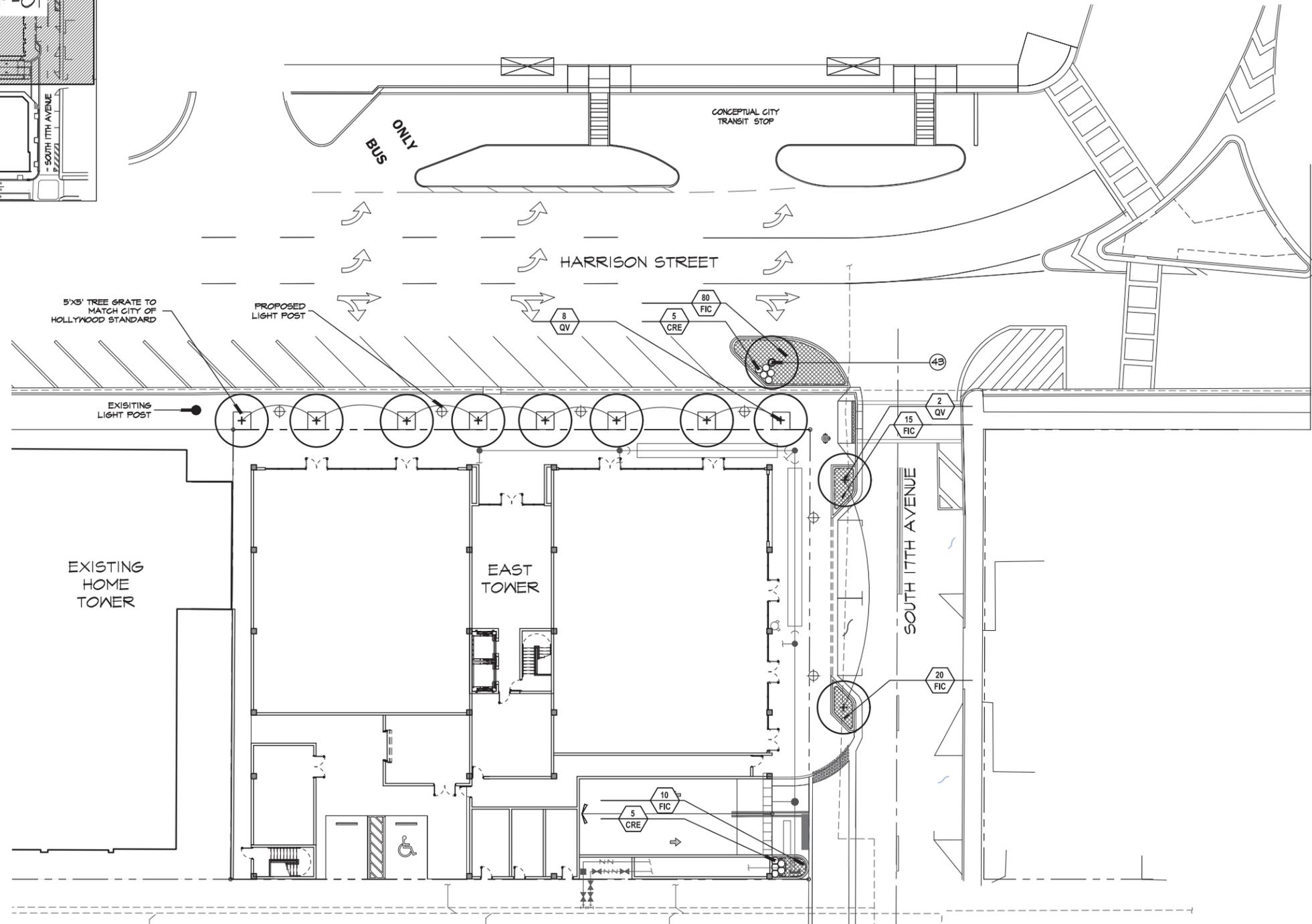
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SHEET  
**LH-03**  
SITE PLAN  
APPROVAL

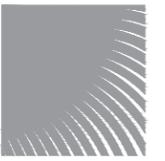
SCALE: 1/16" = 1'-0"



LOCATION MAP  
N.T.S.



SCALE: 1/16" = 1'- 0"



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**PARC PLACE  
HOLLYWOOD, FLORIDA  
PHASE 1-EAST TOWER GROUND FLOOR PLANTING PLAN**

REVISIONS:  
04-19-2018

04-26-2018  
DATE

J.R.  
DRAWN BY:

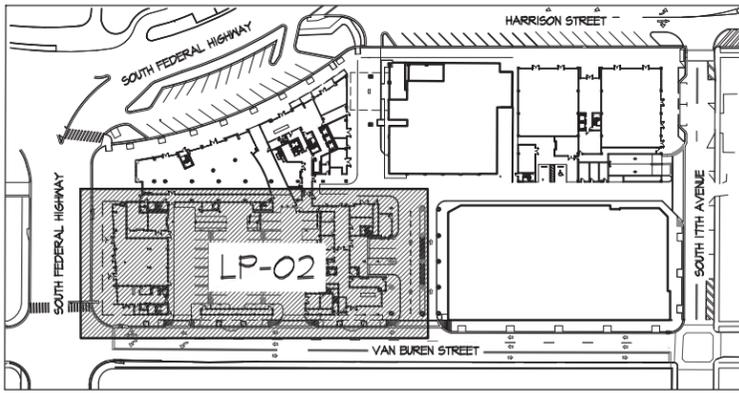
M.J.  
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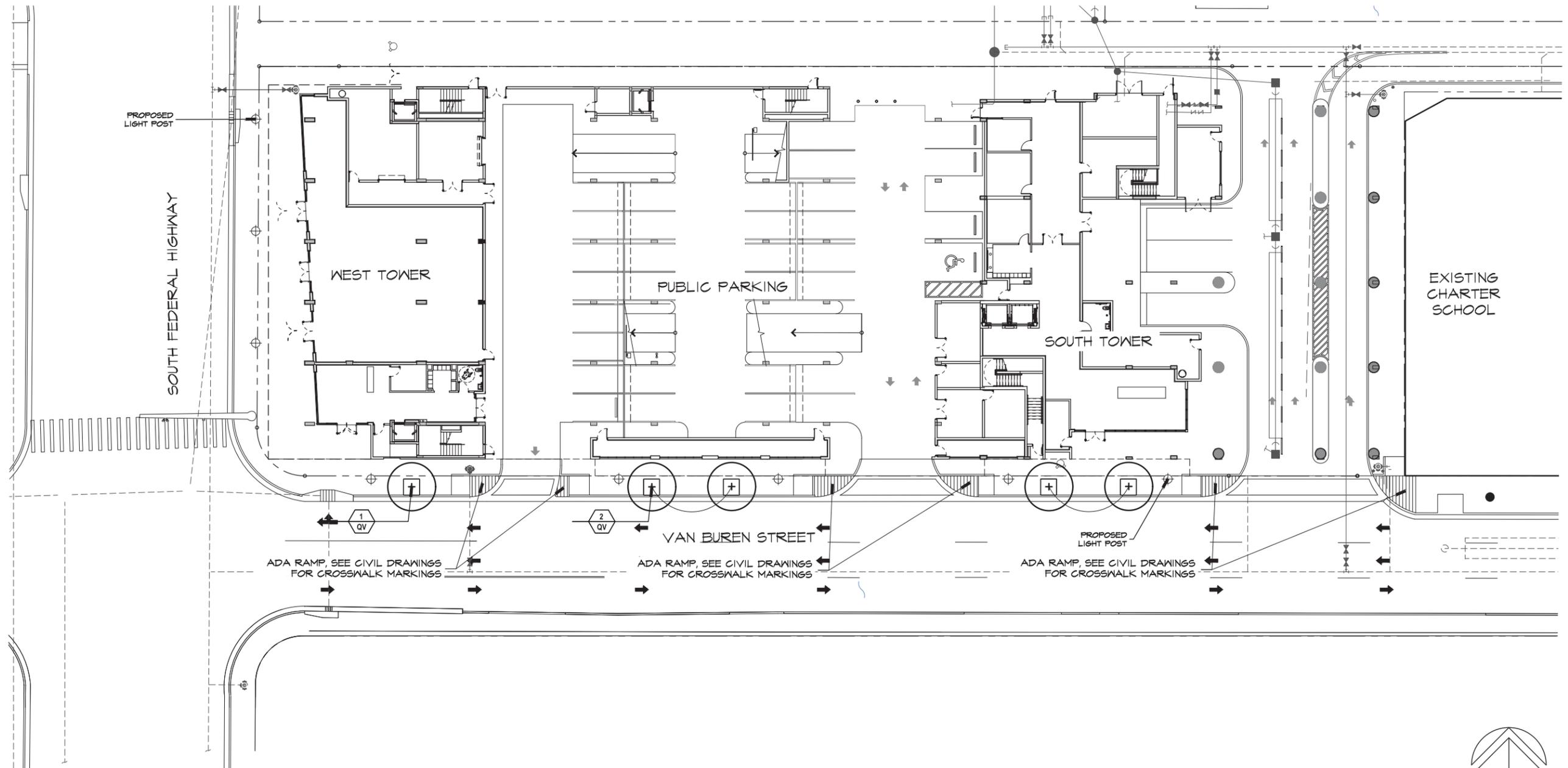
SHEET

**LP-01**

SITE PLAN  
APPROVAL



LOCATION MAP  
N.T.S.



SCALE: 1/16" = 1'-0"



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**PARC PLACE**  
**HOLLYWOOD, FLORIDA**  
PHASE 2-SOUTH & WEST TOWER GROUND FLOOR PLANTING PLAN

REVISIONS:

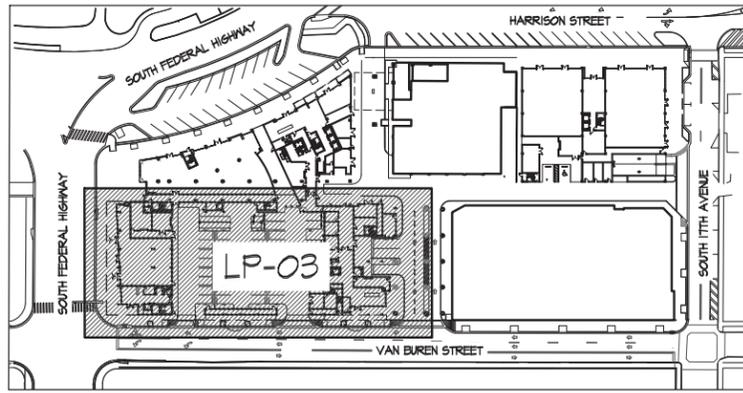
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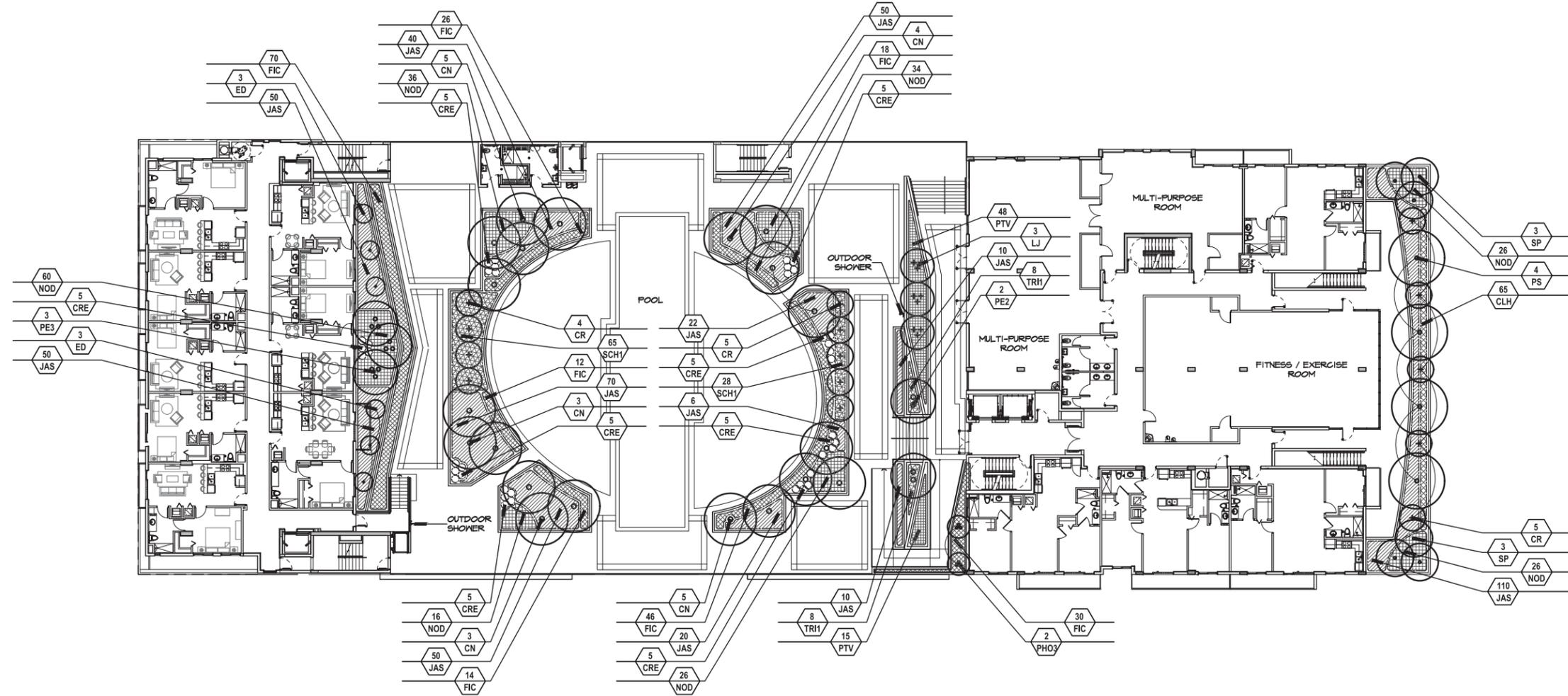
SHEET

**LP-02**

SITE PLAN  
APPROVAL



LOCATION MAP  
N.T.S.



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**PARC PLACE  
HOLLYWOOD, FLORIDA  
PHASE 2-SOUTH & WEST TOWER LEVEL 7 PLANTING PLAN**

REVISIONS:

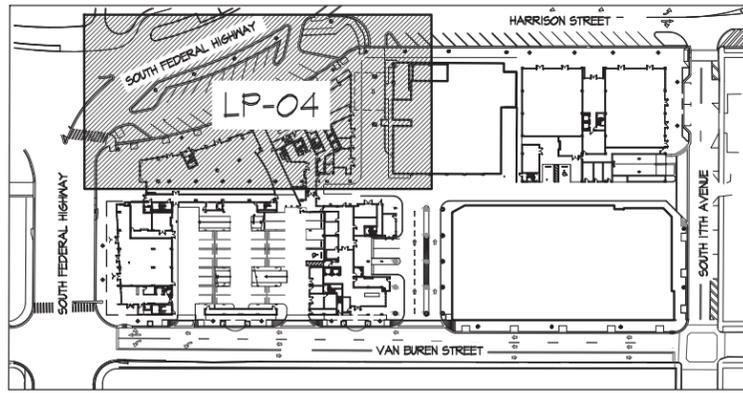

04-26-2018  
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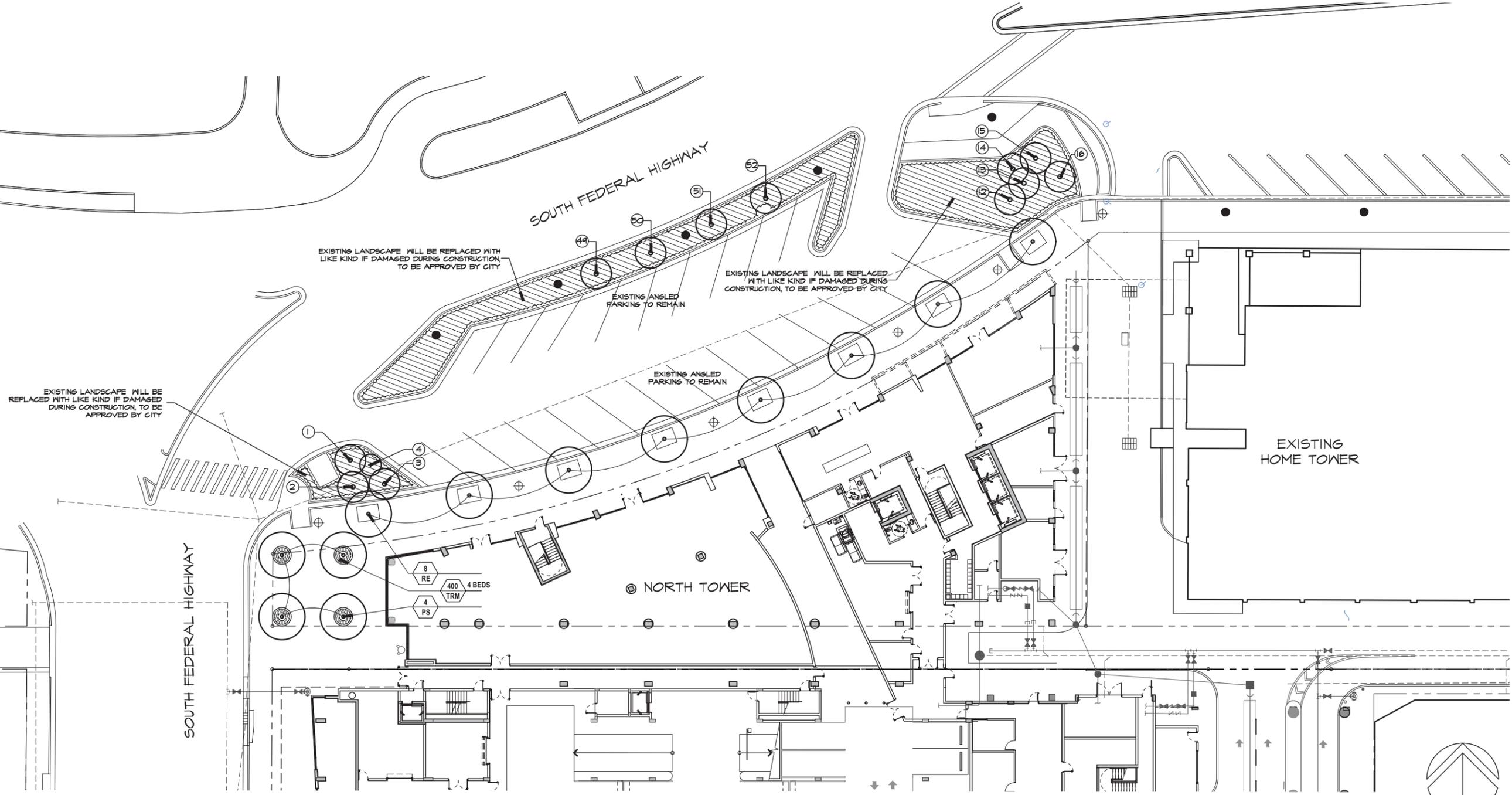


SCALE: 1/16" = 1'- 0"

SHEET  
**LP-03**  
SITE PLAN  
APPROVAL



LOCATION MAP  
N.T.S.



SCALE: 1/16" = 1'-0"



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**PARC PLACE  
HOLLYWOOD, FLORIDA  
PHASE 3-NORTH TOWER GROUND FLOOR PLANTING PLAN**

REVISIONS:


04-26-2018  
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SHEET  
**LP-04**  
SITE PLAN  
APPROVAL

PLANT LIST											
TREES AND PALMS											
KEY	QTY. TOTAL	LP-1	LP-2	LP-3	LP-4	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK	SPA	REMARKS
ON	20	-	-	20	-	Cocos nucifera 'Green Malay' Green Malayan Coconut Palm	8'-15' of wood				
OR	13	-	-	13	-	Clusia Rosea Pitch Apple	12-14'	5-6'	5-6'		Full canopy
ED	6	-	-	6	-	Elaeocarpus decipiens Japanese Blueberry	10-12'	4-5'			
LJ	3	-	-	3	-	Ligustrum japonicum Wax Privet	8-9'	7-8'			Full Canopy Multi-trunk
PE2	2	-	-	2	-	Ptychosperma elegans 'Double' Double Alexander Palms	16-18'				Full Heads Double
PE3	3	-	-	3	-	Ptychosperma elegans 'Triple' Triple Alexander Palms	16-18'				Full Heads Triple
PS	8	-	-	4	4	Phoenix sylvestris Date Palm			10' c.t.		Full Heads
QA	15	10	5	-	-	Quercus virginiana 'High Rise' Live Oak	16-18'	8-9'	6-7'		200 gallon, Full canopy
RE*	8	-	-	-	8	Roystonea elata Florida Royal Palm	12' O.W.				Full Heads Matched O.A. lts.
SA*	6	-	-	6	-	Sabal palmetto Cabbage Palm			12-16'		Stagg ht. groups, booted
WM	0	-	-	-	-	Wetelia montgomeryana Wetelia Palm	24-26' o.a.				Triple trunk full heads
SHRUBS AND GROUP QTY. TOTAL											
KEY	QTY. TOTAL	LP-1	LP-2	LP-3	LP-4	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK	SPA	REMARKS
ASP	24	-	-	24	-	Asparagus densiflorus Foxtail Fern	10-12"	16-18"		18" o.c.	Full cont.
BOU	77	-	-	77	-	Bougainvillea 'Purple' Purple Bougainvillea	4-5' Long Runners				Trellis Grown
CLH	65	-	-	65	-	Clusia rosea 'Hedge' Dwarf Pitch Apple Hedge	4'	20-22"		2' o.c.	Full to base
CRE	50	10	-	40	-	Crinum augustum 'Queen Emma' Crinum Lily	30"	30"			
FIC	399	141	-	258	-	Ficus microcarpa 'Green Island' Green Island Ficus	16"	16"		2' o.c.	Full cont.
JAS	488	-	-	488	-	Jasminum volubile Waxleaf Jasmine	18"	18"		2' o.c.	Full cont.
NOD	224	-	-	224	-	Nerium oleander 'Dwarf' Dwarf Oleander	18"	18"		2' o.c.	Full cont.
PHO3	7	1	-	6	-	Phoenix roebelinii 'Triple' Pygmy Date Palm		5-6'	3-5' of wood		Triple Trunk, full heads
PTV	63	-	-	63	-	Pittosporum T. 'variegata' Variegated Pittosporum	18"	18"		2' o.c.	Full cont.
SCH1	93	-	-	93	-	Schefflera arboricola 'variegata' Variegated Schefflera	18"	18"		2' o.c.	Full cont.
TR1*	16	-	-	16	-	Tripsacum dactyloides Fakahatchee Grass	24"	24"		3' o.c.	Full clump
TRM	400	-	-	400	-	Trachelospermum asiaticum 'Minima' Asian Jasmine	4-6"	4-6"		6" o.c.	1 Gal cont.

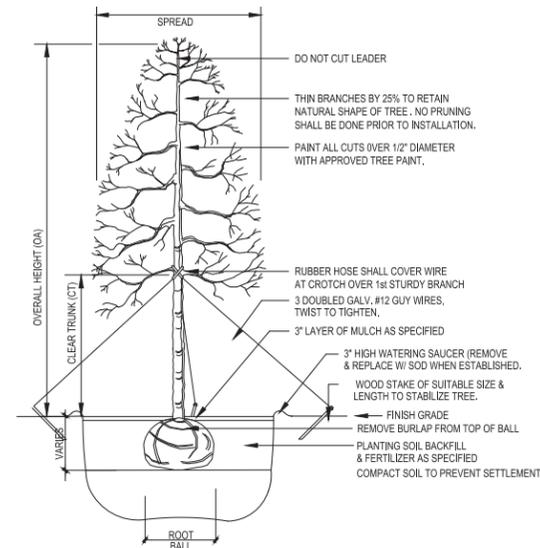
**MISCELLANEOUS**

- Sod to be St. Augustine sod.
- Planting soil - 1/2 cu. yd. per tree and 4" depth at all hedges and mass planting beds.
- Sand - Palms to be planted in clean sand; 1/2 cu. yd. per palm.
- Mulch - 2" depth of shredded mulch or pine straw at all hedges and mass planting beds.

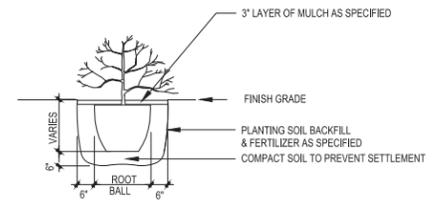
**GENERAL NOTES**

- \* Indicates plant material native to Florida
- All sod to be Stenotaphrum secundatum 'Flor-tam', St. Augustine solid sod.
- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", State of Florida Department of Agriculture, Tallahassee, or thereto. Refer to the latest edition
- All trees shall be properly guyed and staked at the time of planting to ensure proper establishment.
- The planting soil for all planting areas shall be composed of a minimum of 30% muck or horticulturally acceptable organic material. The minimum soil depth shall be four inches in all hedges and mass planting beds and 1/2 cu. yd. per tree. Palms to be planted in clean sand.
- Two inches minimum of shredded mulch or pine straw shall be installed around each tree and palm and throughout mass planting beds.
- Irrigation system to provide 100% coverage to landscaped areas with 50% overlap. Irrigation to be an automatic system with a rain gauge/moisture sensor or shut-off.
- In case of discrepancies, planting plan takes precedence over plant list.
- Landscape contractor is responsible for his own quantity take-offs.
- Overall height of palms used cannot be less than 10' feet tall

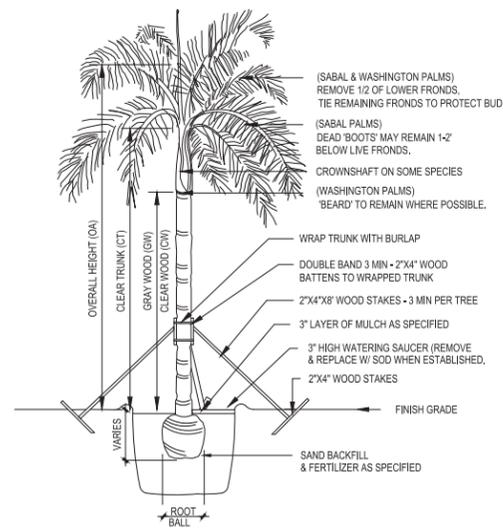
NOTE: ROOT BARRIER TO BE USED FOR THE INSTALLATION OF ALL CANOPY TREES THAT ARE WITHIN 5 FEET OF SIDEWALKS, ROADWAY AND UTILITIES.



TYPICAL TREE PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL



TYPICAL PALM PLANTING DETAIL

REVISIONS:


04-26-2018

DATE

J.R.

DRAWN BY:

M.J.

APPROVED BY:

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**GENERAL PLANTING SPECIFICATIONS:**

**1. Scope:**

The work includes furnishing all plants, materials, equipment and labor necessary for planting of plant materials indicated on the drawings and in these specifications. A list of plants is attached to these specifications.

**2. Plant Materials & Protection:**

- A. All plant materials shall be nursery grown unless otherwise noted.
  - **Spread (or Spr):** Indicates average spread to midpoint of current season's growth.
  - **Height (or O.A.):** Indicates overall height from top of ball to midpoint of current season's growth.
  - **C.T.:** Indicates clear trunk measurement from top of ball to first branching (see tree & Palm Planting Diagrams)
  - **Meter of Wood (or Meter of Hard Grey Wood):** Indicates measurement of Palms from top of ball to top of solid trunk before start of frond stalks or green'boots'. (See Palm Planting Diagram)
- B. **Quantities:**  
All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of his responsibility to do a comprehensive plant take off. Should a discrepancy occur between the bidder's take off and the plant list quantity, the Architect/Landscape Architect is to be notified for clarification prior to the submission of bids.
- C. **Quality and Sizes:**  
Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured with branches in normal position. Pruning (Section IV.J) should not reduce acceptable size and shape of tree, and should be done after acceptance of Architect/Landscape Architect.  
Requirements for measurements, branching, grading, quality, balling and burlapping of plants in the plant list generally follow the code of standards currently recommended by the American Association of Nurserymen, Inc., in the American Standard for Nursery Stock. Plant materials shall be graded Fancy No.1 or better as outlined under U.A.E. Grades & Standards for nursery plants. Plants that meet the requirements specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted. All plant material to be healthy, pest and disease free.
- D. **Substitution:**  
Plant substitution requests by the Contractor will be considered by the Architect/Landscape Architect only upon submission of proof that any plant is not obtainable in the type or size specified. The Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without approval of the Owner.
- E. **Protection of Plants:**

**1. Root Protection**

- A. Balled and Burlapped Plants (B & B) shall be dug with natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap or similar materials and bound with twine, cord, or wire mesh. All collected plants shall be balled and burlapped.
- B. Container Grown Plants: Plants grown in containers will be accepted as B & B, providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the plans, and shall not be governed by container sizes. Minimum root balls or container grown material shall be no more than 25% less proportionately in size than that stated in "Grades & Standards" for nursery plants. These plants shall have been grown in the container for a maximum of two years prior to installation and shall exhibit a fully developed root system when removed from the container.

**2. Protection During Transporting:**

All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

**3. Protection After Delivery:**

Plants which cannot be planted immediately upon delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until accepted. Storage period shall not exceed seventy-two (72) hours.

**4. Protection of Palms:**

Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. Clear trunk (C.T.) shall be as specified after the minimum of fronds have been removed. Coconut palms shall be "hard" trees grown in soil or sand. Cabbage palm buds shall be tied with a biodegradable cord to be left in place until the tree is well established in its new location. All palms shall be triple braced and staked with new, clean lumber at least 6' in length to resist tree displacement.

**5. Protection During Planting:**

Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of other approved methods.

**3. Materials:**

- A. **Commercial Fertilizer:** Commercial fertilizer shall be organic fertilizer containing nitrogen, phosphoric acid and potash in equal percentages, 6-6-6 with micro nutrients.  
Nitrogen shall be not less than 50 % from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall not be acceptable.  
The following shall be sterilized, certified and free of seeds:
- B. **Peat:** Peat shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition, free from lumps.
- C. **Planting Soil:** Planting soil for all plantings shall be sandy loam and shall contain a 25% minimum amount of decomposed organic matter. There must be a slight acid reaction to the soil with no excess of calcium carbonate. Planting soil shall be free from clay, stones, plants, roots, and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth and shall be delivered in a loose friable condition and applied in accordance with the planting specifications and details.
- D. **Mulch:** Mulch material to be shredded Maleleuca mulch B grade or better, moistened at time of installation to prevent wind displacement. Alternate mulch material may be noted elsewhere in these drawings.
- E. **Drainage Stone (when applicable):** Drainage stone shall be gravel or crushed stone reasonably free of sharp edges - 3/4"-1 1/2" in diameter - as required in the bottom of raised planters.
- F. **Filter Fabric (when applicable):** Filter fabric, as required between gravel and soil in planters to be Dewitt "Filter-fabric" (800)888-9669 or equal.

**4. Planting Operations:**

- A. **Soil Preparation:**  
All existing soil and new fill/biems shall be treated with an approved weed killer such as "Round Up" according to manufacturer's specifications.
  - B. **Layout:**  
Location for plants and outlines of areas to be planted are indicated on the drawings. All plant locations shall be staked in the field by the Contractor, to the satisfaction of the Architect/Landscape Architect. Where construction or utilities below ground or overhead are encountered or where changes have been made in the construction, necessary adjustments will be approved by the Architect/ Landscape Architect.
  - C. **Excavation for Planting:**  
Excavation of holes shall extend to the required sub-grades as specified hereunder. Plant pits shall be circular in outline and shall have a profile which conforms to the "Typical Tree & Palm Planting Details"(attached). The minimum depth of plant pits specified below shall be measured from the finishing grade. Shrub planting beds shall be "bed-prepared" and not "pit-prepared".
  - D. **Balled and Burlapped Plants:**  
After final setting, loosen wrappings of balled and burlapped plants and roll wrappings back from top of ball, leaving ball unbroken. Cut off excessive amounts of burlap and remove in sufficient quantity to eliminate creation of voids upon decomposition.
  - E. **Container Grown Plants:**  
Container grown plants shall, when delivered, have sufficient root growth to hold earth intact when removed from container. They shall not be root bound. Containers shall be removed to prevent damage to plant or root system according to diagrams (attached). Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of root balls.
  - F. **Pit Sizes:**  
Minimum diameter (Width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:  
-Diameter-Trees: 18" greater than diameter of ball or spread of roots.  
-Diameter-Shrubs: 6" greater than diameter of ball or spread of roots.  
-Depth-Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill under the root ball. (Large, heavy trees and shrubs shall sit directly on excavated pit bottom to prevent settlement)  
-Depth-Vines and Ground Covers: Pits shall be large enough for adequate planting.
  - G. **Backfilling:**  
When pit has been excavated as specified in Paragraph IV-C, the pit shall be backfilled with material as specified in Paragraph III. A, B, C, D, and IV. B and shown in the Typical Tree and Shrub diagrams (attached).
  - H. **Setting Trees and Shrubs:**  
Unless otherwise specified, all trees and shrubs shall be planted in pits, centered and set on four inches (4") of compacted topsoil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. No burlap shall be pulled out from under the balls. Platforms, wire and surplus binding from top and sides of the balls shall be removed. All broken or frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly avoiding injury and shall be settled by watering. No filling around trunks will be permitted. After the ground settles, additional soil shall be filled in, to the level of the finished grade, allowing for two inches (2") of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit.
  - I. **Setting Palms:**  
All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two inches (2") deep with topsoil raked and left in a neat, clean manner.
  - J. **Pruning - Non Plant Material:**  
Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as is practicable. Make all cuts with sharp instrument flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs."Headback" cuts at right angles to line of growth will not be permitted. Trees shall not be poled or topped. Remove trimmings from site.
  - K. **Guying Trees:**  
(See "Typical Tree Planting Diagram" included herein.) Guy all trees 1 1/2 inches in caliper and greater, in three directions with two strands of No. 12 galvanized wire attached to approved anchors driven below grade. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place guys not less than 1/3 of the height of tree above finished grade and above substantial limbs (one inch (1") in diameter or more), if possible. All hoses shall be interlocked around tree trunk. Place anchors so that guys are equally spaced and at 45 degree angles to horizon. Keep guys tight until project completion.
  - L. **Mulching:**  
All trees and shrub beds shall be mulched immediately after planting to a two inch (3") depth. Prevent wind displacement of mulch by thoroughly wetting down.
  - M. **Excess Excavated Soil:**  
Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner, at Owner's discretion.
  - N. **Relocated Material (when applicable):**  
Existing material shown on the plan to be relocated shall be root-pruned as far ahead of time as necessary to move them safely, and shall be protected and treated as new material, as previously specified. Planting shall be in accord with these specifications.
  - O. **Disposition of Existing Material:**  
All existing plant material not shown as remaining or relocated shall be removed from the site at no additional cost to the Owner, at Owner's discretion.
- 5. Sod**
- A. **Sod:**  
The Landscape Contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1"), to all areas receiving sod. (The use of this one inch (1") of soil shall be at the discretion of the Architect/Landscape Architect after evaluation of the existing soil on the site.)
  - B. **Grades:**  
It shall be the responsibility of the Landscape Contractor to finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Architect/Landscape Architect.
  - C. **The sod shall be as called for on the landscape plans. Sod shall be of firm tough texture, having a compact growth of grass with good root development, and shall contain no weeds or any other objectionable vegetation. The soil embedded in the sod shall be good earth, free from stones and debris and all sod shall be free from fungus, vermin and other diseases.**
  - D. **Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.**
  - E. **Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. If, in the opinion of the Architect/Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in.**

**6. Clean-up:**

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly keeping these areas clean as the work progresses. Upon completion of the planting, all excess soil, stones and debris which has not been previously cleaned up shall be removed from the site or disposed of as directed by the Architect/Landscape Architect.

**7. Maintenance:**

- A. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance by the Owner. Maintenance shall include watering, weeding, cultivating, removal of dead materials, resetting plants to proper grades or upright position and restoration of the planting saucer and any other necessary operations. Proper protection to lawn areas and existing plant materials shall be provided and any damage resulting from planting operations shall be repaired promptly.
- B. The Contractor shall deep-water all trees and shrubs for a period of ninety (90) days after planting. In the event an irrigation system is operable, Contractor shall see that adequate water is supplied for that period.

**8. Inspection and Acceptance:**

- A. **Inspection:**  
Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the written request of the Contractor.
- B. **Acceptance:**  
After inspection, the Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

**9. Guarantee and Replacement:**

- A. **Guarantee:**  
The Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, for a period specified in the General Conditions of Project Specifications. All plant materials shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of guaranteed period. Where vandalism is agreed by the Architect/Landscape Architect as the cause for replacement, the Contractor shall not be responsible for replacement during the guarantee after final acceptance. See General Conditions of Project Specifications for additional guarantee information.
- B. **Replacement:**  
During guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Architect/Landscape Architect, shall be replaced within two weeks of notification by the Architect/Landscape Architect. The Contractor shall be responsible for the full replacement cost of plant materials.
- C. **Material and Operations:**  
All replacements shall be plants of the same kind and size as specified in the plant list. They shall be furnished and planted as specified herein.

**10. Care and Maintenance Schedule:**

- A. The Contractor shall furnish the Owner's Maintenance staff with a written and detailed description for the care and maintenance of all plant materials and irrigation systems at the time of final inspection. Contractor will also provide a one year "Landscape Maintenance Contract, to take affect after Substantial Completion of the project. It will be in the Owner's discretion to accept or reject this contract.

**11. Permits and Regulations:**

- A. The Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of this work as drawn and specified.

**12. Protection of Work and Property:**

- A. The Contractor shall continuously maintain adequate protection of all his work from damage and shall protect the Owner's property from injury and loss arising in connection with this contract, making good any such loss or injury or damage except where caused by Owner or his agents. He shall adequately provide and maintain passageways, guard fences, lights and other protections required by public authority according to State, Federal and local ordinances.
- B. The Contractor shall provide protection for existing trees and other plant material as designated by drawings, by Owner's representative or by local authorities. Such protection shall consist of fencing or such devices as will prevent harm to material from excavation, breakage, chemical or other types of damage.
- C. A competent superintendent, foreman or workman capable of reading drawings and acting on behalf of the Contractor shall be kept on the work during its progress.

**13. Changes in The Work:**

- A. The Contractor shall conduct a soil survey of the site to determine the need for any additives to overcome severe conditions not met by normal planting soil requirements. A report of any problems shall be submitted to the Owner and the Architect/Landscape Architect for approval prior to installation, along with a cost break-down of additional services needed.
- B. The Contractor shall advise the Owner and Landscape Architect of any special site conditions (high water table, light or soil conditions, etc.) that might require change of plant material or adjustment to finish elevation shown. The Owner will approve any changes thus determined.
- C. Any changes made to the approved landscape plans shall required written permission from the city

**14. Landscape Architect:**

- A. The Landscape Architect is the author of the design and agents for its execution. When his services are used by the Owner for supervision, he shall act impartially between the Owner and Contractor and shall have authority to reject all work and materials which do not conform to the contract. All decisions of the Landscape Architect shall be final.

The Contractor shall remove from the site all materials considered not up to specifications by the Landscape Architect and replace with suitable materials.

**15. Obstructions:**

- A. The Contractor shall acquaint himself with the existence and location of all surface and subsurface structures, utilities and installations before commencing any work, and shall avoid any disturbance or damage to them throughout the course of the work. Repairs to any utilities, subsurface structures and installations and surface obstructions damaged by the Contractor shall be at the Contractor's own time and expense.



**DSBOCA**  
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landscape architect  
and planners

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Fax: 561.362.4749  
email: landscapearchitect@dsboca.com

**PARC PLACE  
HOLLYWOOD, FLORIDA  
PLANTING SPECIFICATIONS**

REVISIONS:

04-26-2018  
DATE  
J.R.  
DRAWN BY:  
M.J.  
APPROVED BY:

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SHEET

**LP-06**

SITE PLAN  
APPROVAL

**PARC PLACE  
HOLLYWOOD, FLORIDA  
TREE DISPOSITION PLAN**

REVISIONS:

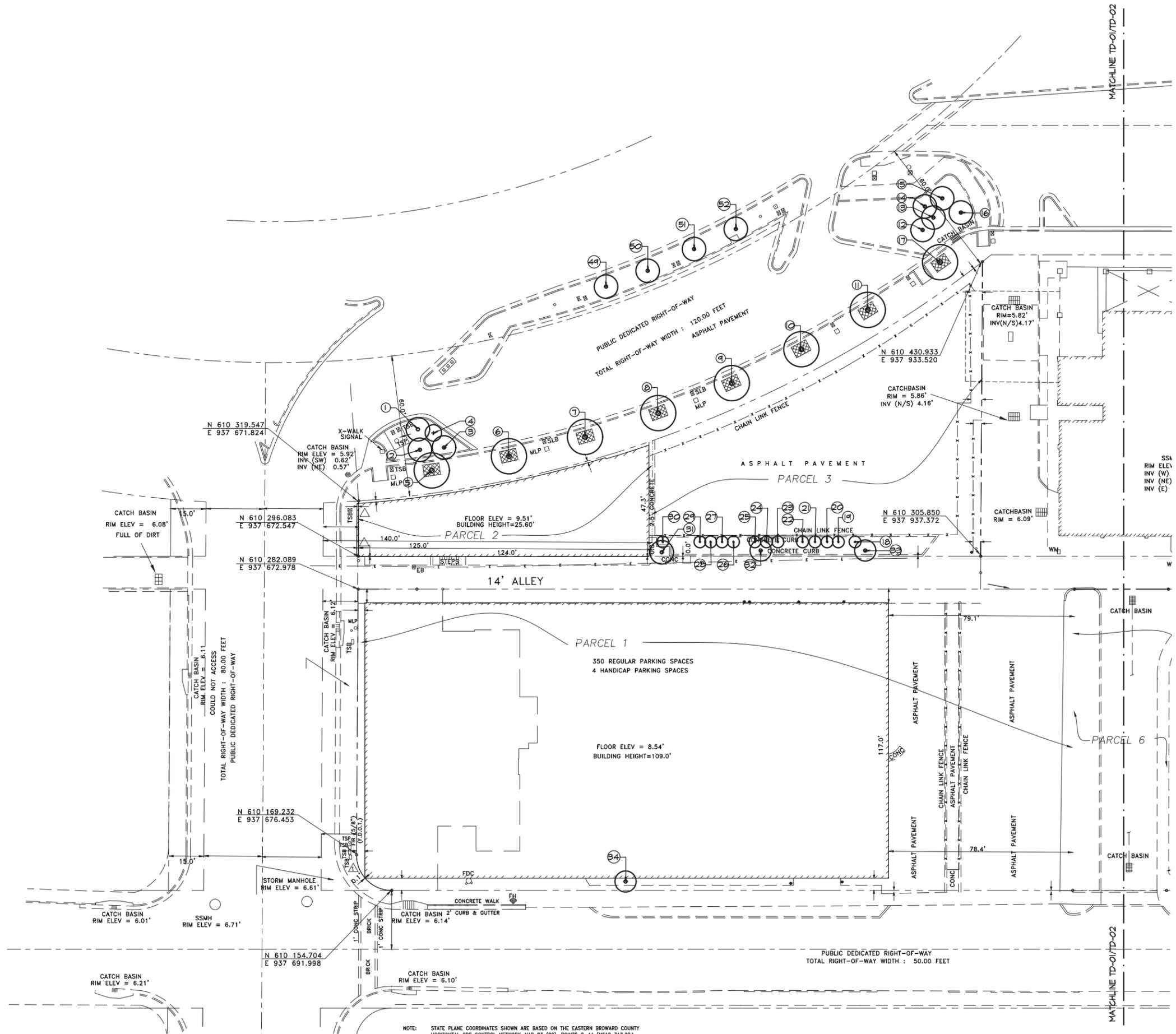

04-26-2018  
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SHEET

**TD-01**

SITE PLAN  
APPROVAL



NOTE: STATE PLANE COORDINATES SHOWN ARE BASED ON THE EASTERN BROWARD COUNTY

**PARC PLACE  
HOLLYWOOD, FLORIDA  
TREE DISPOSITION PLAN & TABLE**

TREE DISPOSITION TABLE

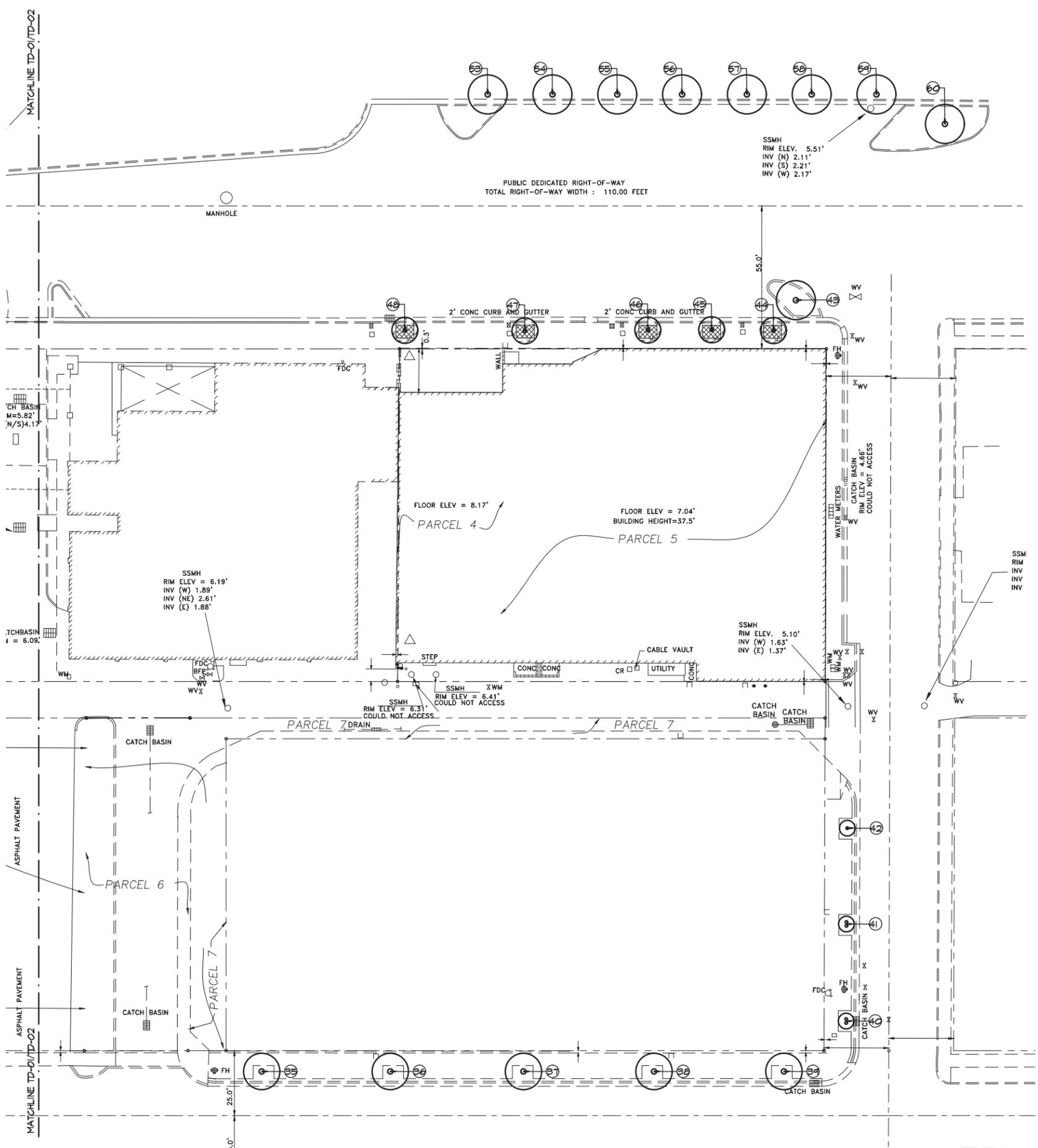
NUMBER	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	CANOPY S.F.	CONDITION	DISPOSITION	REMARKS
1	Foxtail Palm	Wodyetia bifurcata	22' O.A.	10'		FAIR	Remain	
2	Foxtail Palm	Wodyetia bifurcata	22' O.A.	10'		FAIR	Remain	
3	Foxtail Palm	Wodyetia bifurcata	22' O.A.	10'		FAIR	Remain	
4	Wax Privet	Ligustrum japonicum	8-9'	2-8'		FAIR	Remain	
5	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
6	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
7	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
8	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
9	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
10	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
11	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
12	Foxtail Palm	Wodyetia bifurcata	20' O.A.	10'		FAIR	Remain	
13	Foxtail Palm	Wodyetia bifurcata	20' O.A.	10'		FAIR	Remain	
14	Foxtail Palm	Wodyetia bifurcata	20' O.A.	10'		FAIR	Remain	
15	Foxtail Palm	Wodyetia bifurcata	20' O.A.	10'		FAIR	Remain	
16	Foxtail Palm	Wodyetia bifurcata	20' O.A.	10'		FAIR	Remain	
17	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
18	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
19	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
20	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
21	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
22	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
23	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
24	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
25	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
26	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
27	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
28	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
29	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
30	Gumbo Limbo	Bursera simaruba	16' O.A.	5'	20	FAIR	Remove	Volunteers
31	Cabbage Palm	Sabal palmetto	20' O.A.	10'	79	FAIR	Remove	
32	Alexander Palm	Ptychopsera elegans	22' O.A.	9'	64	POOR	Remove	
33	Alexander Palm	Ptychopsera elegans	22' O.A.	9'	64	POOR	Remove	
34	Alexander Palm	Ptychopsera elegans	25' O.A.	9'	64	POOR	Remove	
35	Date Palm	Phoenix sylvestris	20' O.A.	14'		GOOD	Remain	
36	Date Palm	Phoenix sylvestris	20' O.A.	14'		GOOD	Remain	
37	Date Palm	Phoenix sylvestris	20' O.A.	14'		GOOD	Remain	
38	Date Palm	Phoenix sylvestris	20' O.A.	14'		GOOD	Remain	
39	Date Palm	Phoenix sylvestris	20' O.A.	14'		GOOD	Remain	
40	Alexander Palm	Ptychopsera elegans	16' O.A.	6'		FAIR	Remove	Double
41	Alexander Palm	Ptychopsera elegans	16' O.A.	6'		FAIR	Remove	Double
42	Alexander Palm	Ptychopsera elegans	16' O.A.	6'		FAIR	Remove	
43	Date Palm	Phoenix sylvestris	20' O.A.	6'		GOOD	Remain	
44	Alexander Palm	Ptychopsera elegans	16' O.A.	15'	177	POOR	Remove	
45	Alexander Palm	Ptychopsera elegans	20' O.A.	10'	79	FAIR	Remove	
46	Alexander Palm	Ptychopsera elegans	20' O.A.	10'	79	FAIR	Remove	
47	Alexander Palm	Ptychopsera elegans	20' O.A.	10'	79	FAIR	Remove	
48	Alexander Palm	Ptychopsera elegans	20' O.A.	10'	79	FAIR	Remove	
49	Velichia Palm	Veitchia montgomeryana	25' O.A.	10'		FAIR	Remain	
50	Velichia Palm	Veitchia montgomeryana	25' O.A.	10'		FAIR	Remain	
51	Velichia Palm	Veitchia montgomeryana	25' O.A.	10'		FAIR	Remain	
52	Velichia Palm	Veitchia montgomeryana	25' O.A.	10'		FAIR	Remain	
53	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
54	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
55	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
56	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
57	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
58	Florida Royal Palm	Roystonea elata	18' GW	10'	79	GOOD	Remove	
59	Florida Royal Palm	Roystonea elata	22' GW	15'	177	GOOD	Remove	
60	Date Palm	Phoenix sylvestris	20' O.A.	6'	29	GOOD	Remain	
TOTAL CANOPY REMOVED:						3610		

MITIGATION REQUIREMENTS/CALCULATIONS: OVERALL SITE

TOTAL S.F. CANOPY REMOVED: 3610 S.F.

1. REQUIRED MITIGATION: 3610 S.F.

2. PROVIDED MITIGATION : 3900 S.F. (13 Category One Tree x 300 S.F. = 1800 S.F.)



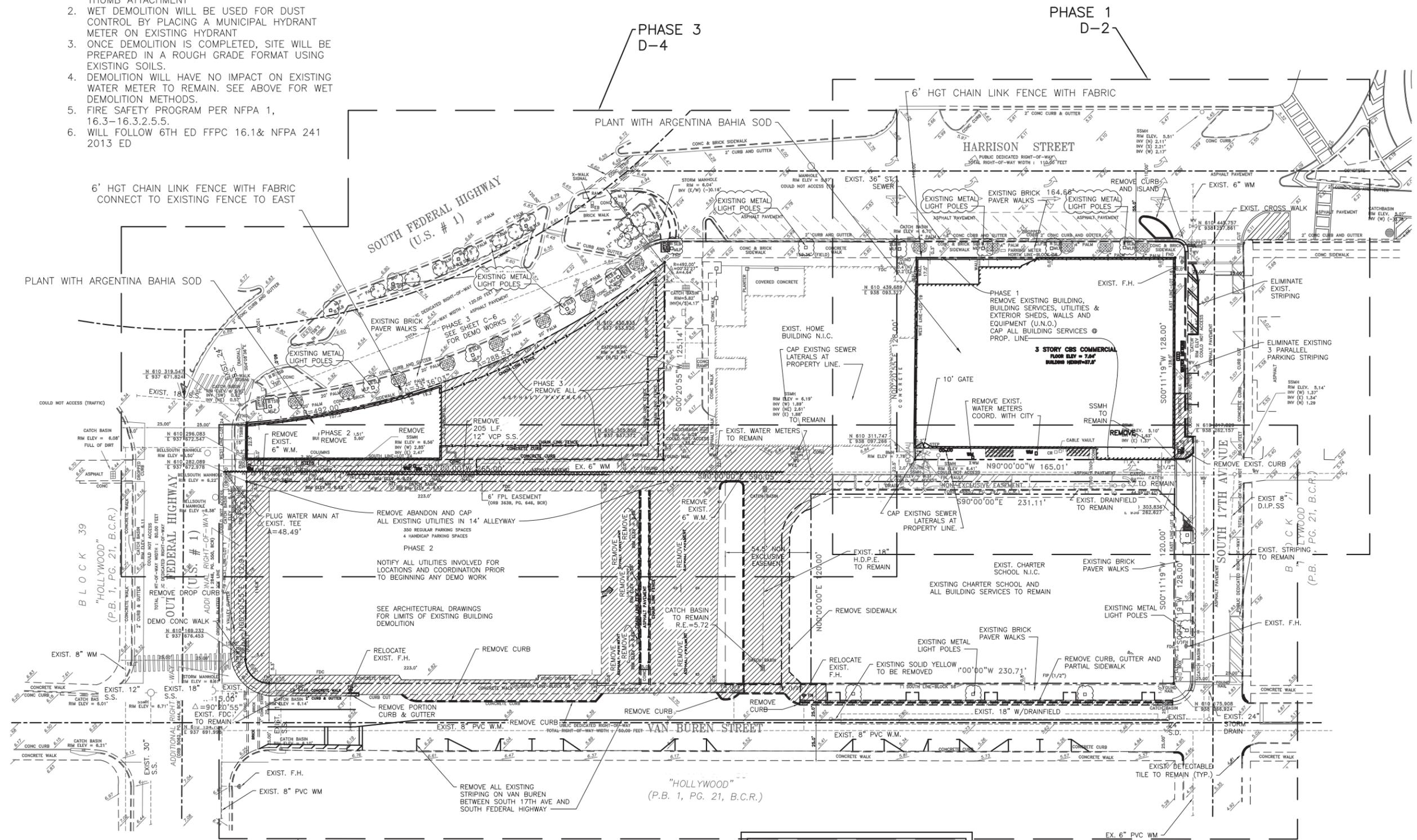
SCALE: 1" = 20'- 0"

REVISIONS:


04-26-2018  
DATE  
J.R.  
DRAWN BY:  
M.J.  
APPROVED BY:

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- DEMOLITION NARRATIVE
- STRUCTURES WILL BE RAZED USING AN EXCAVATOR MACHINE WITH A BUCKET AND THUMB ATTACHMENT
  - WET DEMOLITION WILL BE USED FOR DUST CONTROL BY PLACING A MUNICIPAL HYDRANT METER ON EXISTING HYDRANT
  - ONCE DEMOLITION IS COMPLETED, SITE WILL BE PREPARED IN A ROUGH GRADE FORMAT USING EXISTING SOILS.
  - DEMOLITION WILL HAVE NO IMPACT ON EXISTING WATER METER TO REMAIN. SEE ABOVE FOR WET DEMOLITION METHODS.
  - FIRE SAFETY PROGRAM PER NFPA 1, 16.3-16.3.2.5.5.
  - WILL FOLLOW 6TH ED FFPC 16.1& NFPA 241 2013 ED



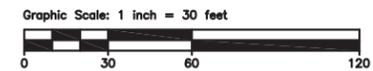
**OVERALL DEMOLITION PLAN**

SCALE 1"=30'

REFER TO SHEETS D-2 THROUGH D-4 FOR ADDITIONAL DEMOLITION INFORMATION.

**LEGEND**

	EXIST. MANHOLE		P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE		H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT		EXIST. PIPE
	ASSEMBLY CATCH BASIN		PROP. PIPE
	PROP. CATCH BASIN		PROP. ELEVATION
	EXIST. CATCH BASIN		SURFACE FLOW LINE
	PROP. ELEVATION		REINFORCED CONC. PIPE
	EXIST. ELEVATION		DRAINFIELD
	NEW OR RESTORED PAVEMENT		UTILITY EASEMENT
	PAVEMENT TO BE REMOVED		RLM ELEVATION AND DIRECTION
	NEW CONCRETE SIDEWALK		THERMOPLASTIC PAINT
	EXISTING		BACTERIOLOGICAL SAMPLING POINT
	W.M. WATER MAIN/WATER METER		STORM DRAIN



**Louis Berger**  
 LAND PLANNING • CIVIL • STRUCTURAL  
 ENVIRONMENT • ELECTRICAL • MECHANICAL  
 470 S. ANDERSON AVENUE  
 POMPANO BEACH, FLORIDA 33069  
 PH: 954-770-0000  
 CERTIFICATE OF AUTHORIZATION # 4888

**RODRIGO MAZUERA, P.E.**  
 LICENSED ENGINEER NO. 08490  
 STATE OF FLORIDA

DATE:  
 LOUIS BERGER Job # 2042049

**project info :**

**Parc Place**  
 Phase 1,2,3  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**

**OVERALL PLAN DEMOLITION**

project number : #15197

drawing scale : As Shown

drawing date : 04/26/2018

phase : Final TAC

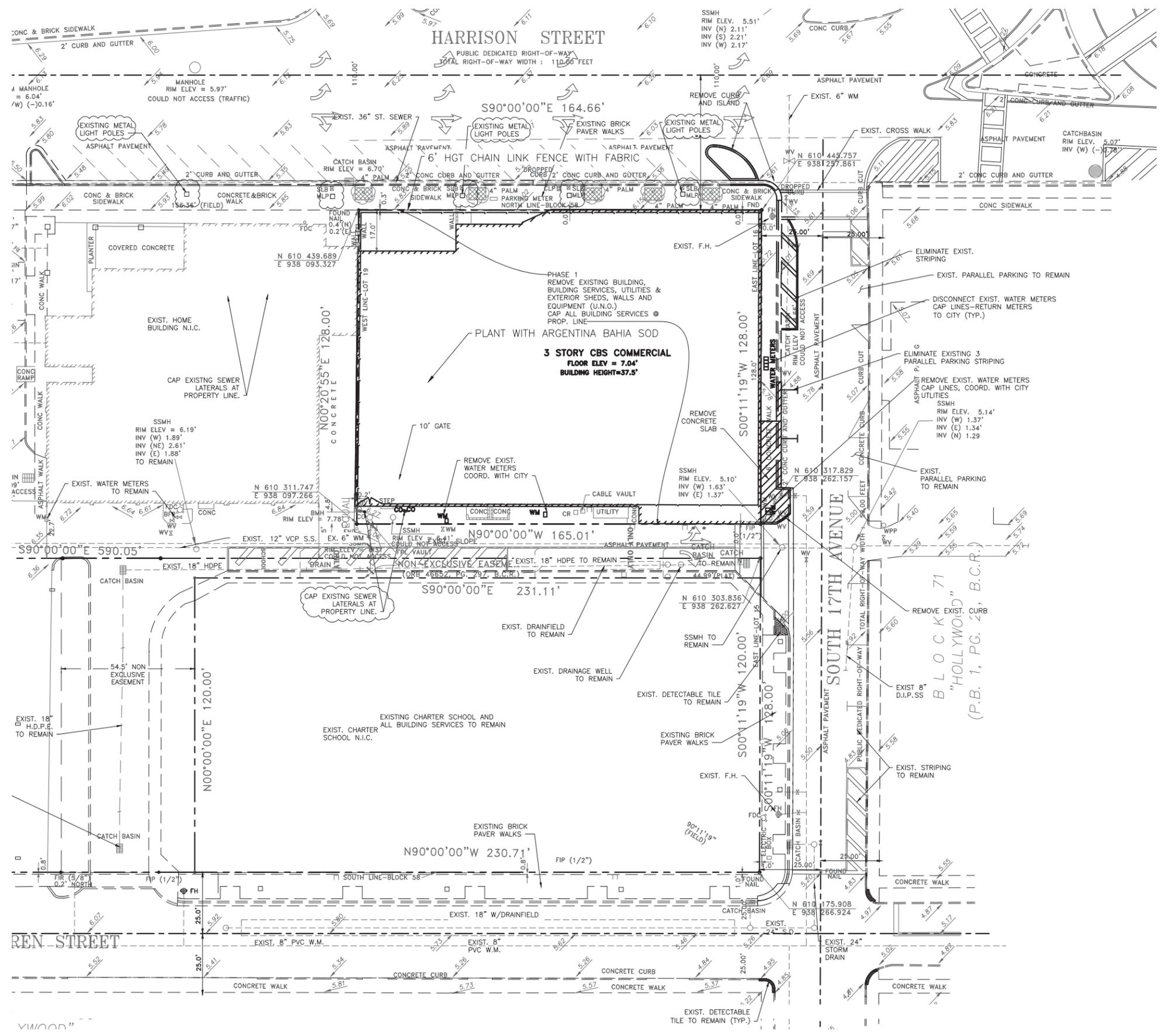
sheet number : **D-1**

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LEGEND		
	EXIST. MANHOLE	P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE	H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY	EXIST. PIPE
	PROP. CATCH BASIN	PROP. PIPE
	EXIST. CATCH BASIN	SURFACE FLOW LINE
	PROP. ELEVATION	R.C.P. REINFORCED CONC. PIPE
	EXIST. ELEVATION	D.F. DRAINFIELD
	NEW OR RESTORED PAVEMENT	U.E. UTILITY EASEMENT
	PAVEMENT TO BE REMOVED	S.S. SANITARY SEWER
	NEW CONCRETE SIDEWALK	R.E. RIM ELEVATION
	EXIST.	I.E. INVERT ELEVATION AND DIRECTION
	WM. WATER MAIN/WATER METER	(T) THERMOPLASTIC PAINT
		BSF BACTERIOLOGICAL SAMPLING POINT
		S.D. STORM DRAIN

REFER TO SHEETS D-1 THROUGH D-4 FOR ADDITIONAL DEMOLITION INFORMATION.

**DEMOLITION PLAN PHASE 1**  
 SCALE 1"=20'



**Louis Berger**  
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DATE:  
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**project info :**

**Parc Place**  
**Phase 1**  
**East Tower**  
 1700-1716 Harrison Street  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**

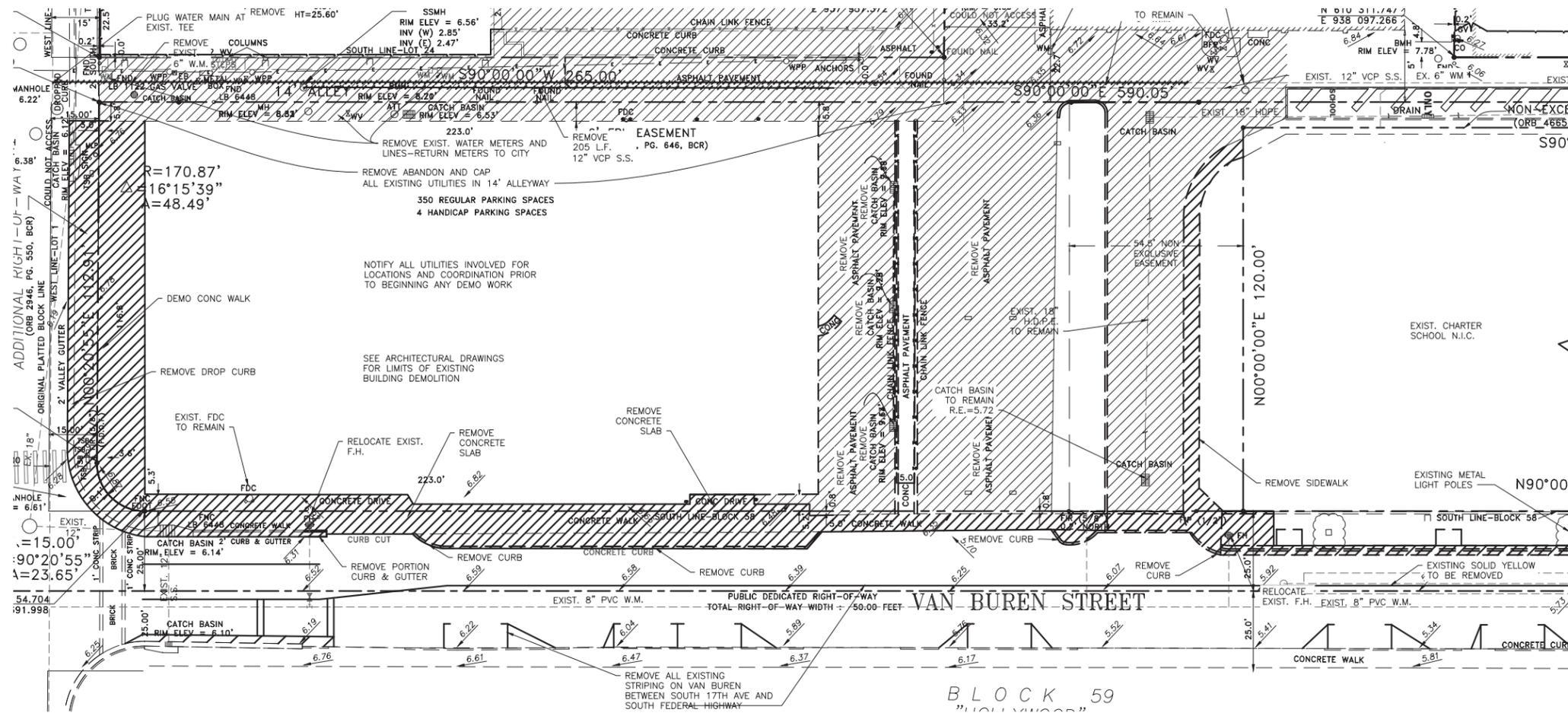

**drawing data :**

**PHASE 1**  
**EAST TOWER**  
**SITE DEMOLITION**

**project number :** #15197  
**drawing scale :** As Shown  
**drawing date :** 04/26/2018  
**phase :** Final TAC  
**sheet number :** D-2

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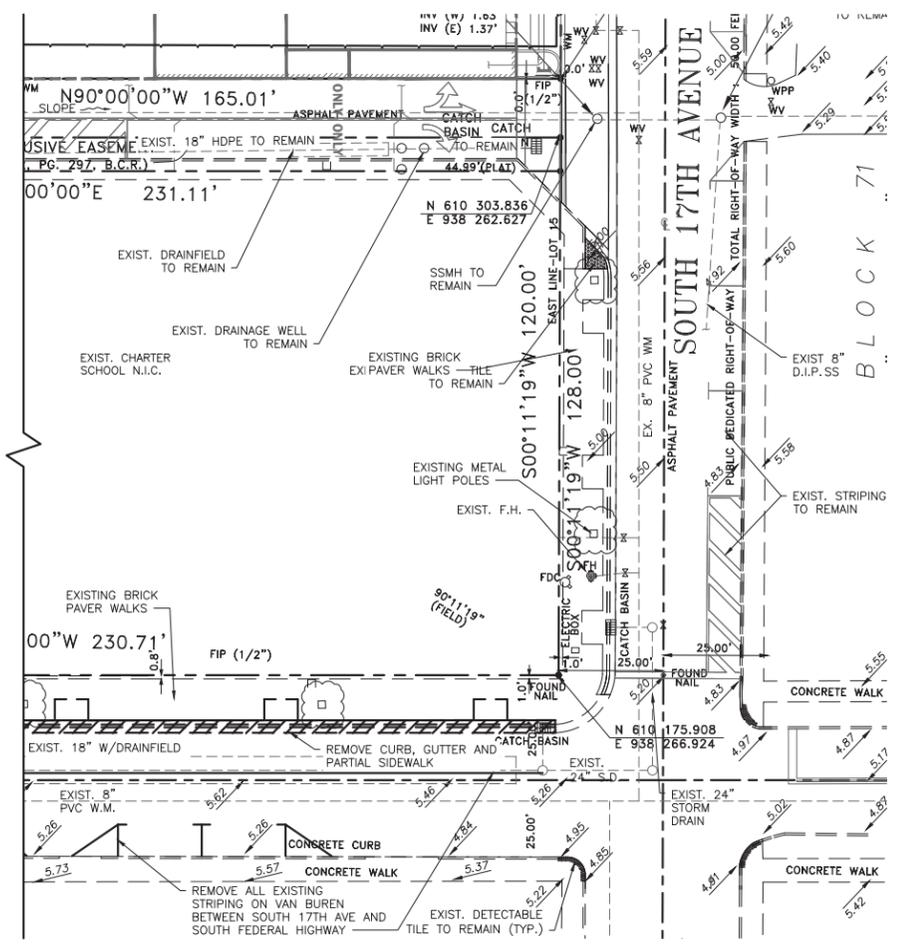
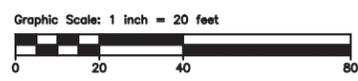


LEGEND		
	EXIST. MANHOLE	P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE	H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY	--- EXIST. PIPE
	PROP. CATCH BASIN	--- PROP. PIPE
	EXIST. CATCH BASIN	--- SURFACE FLOW LINE
	PROP. ELEVATION	--- R.C.P. REINFORCED CONG. PIPE
	EXIST. ELEVATION	--- D.F. DRAINFIELD
	NEW OR RESTORED PAVEMENT	--- U.E. UTILITY EASEMENT
	PAVEMENT TO BE REMOVED	--- R.E. RIM ELEVATION
	NEW CONCRETE SIDEWALK	--- I.E. INVERT ELEVATION AND DIRECTION
	EXIST.	--- (T) THERMOPLASTIC PAINT
		--- B.S.P. BACTERIOLOGICAL SAMPLING POINT

**DEMOLITION PLAN PHASE 2**

SCALE 1"=20'

REFER TO SHEETS D-1 THROUGH D-4 FOR ADDITIONAL DEMOLITION INFORMATION.



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**Parc Place**  
 Phase 2  
 South - West Towers  
 1727-1745 Van Buren Street  
 (First floor retail frontage on west)  
 201 South Federal Highway  
 City of Hollywood, Florida

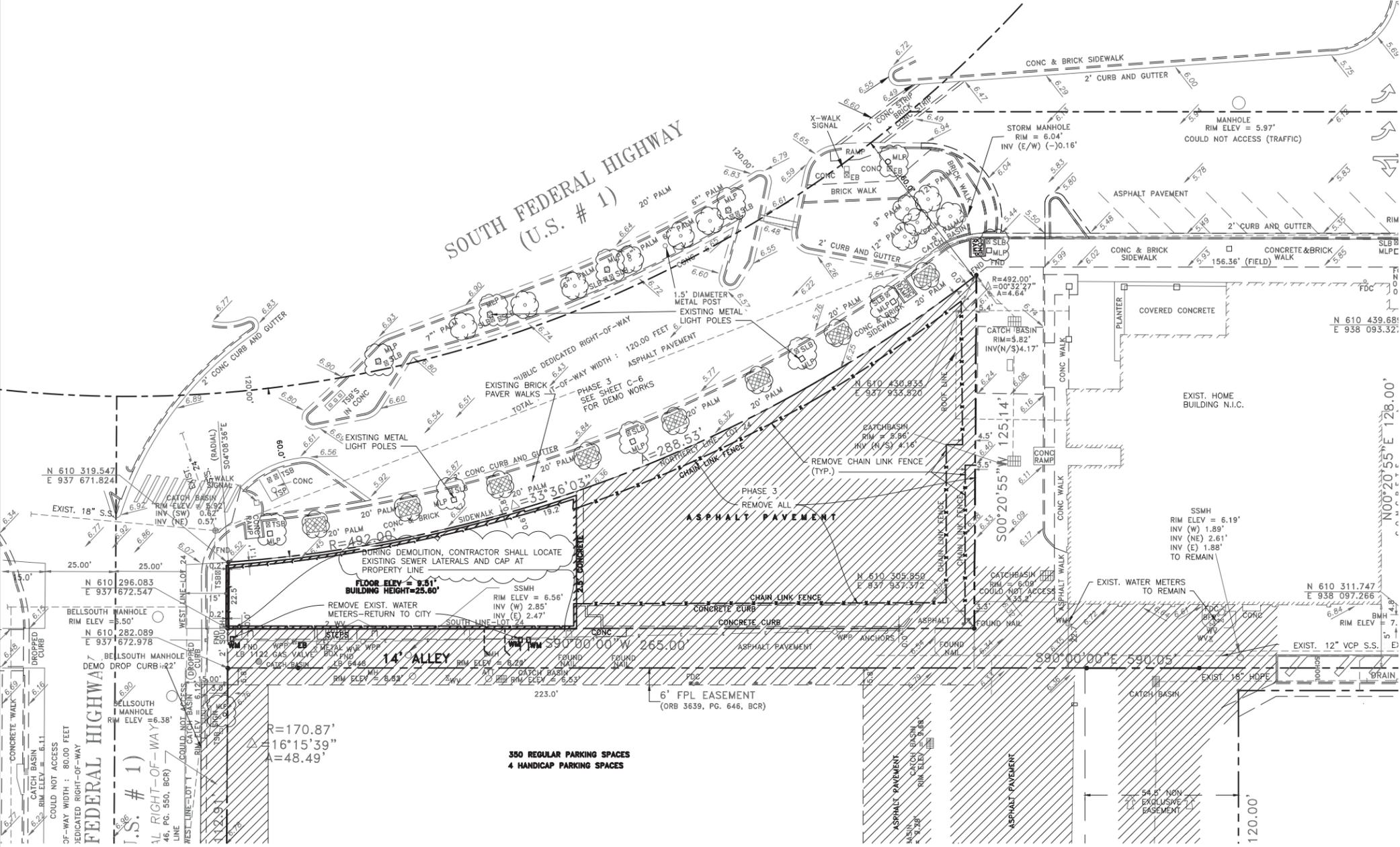
seal:  
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions:  
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 \_\_\_\_\_  
 \_\_\_\_\_

drawing data:  
**PHASE 2**  
**SOUTH & WEST**  
**TOWERS**  
**SITE DEMOLITION**

project number: #15197  
 drawing scale: As Shown  
 drawing date: 04/26/2018  
 phase: Final TAC  
 sheet number: D-3

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**DEMOLITION PHASE 3**  
 SCALE 1"=20'  
 REFER TO SHEETS D-1 THROUGH D-4 FOR  
 ADDITIONAL DEMOLITION INFORMATION.

**LEGEND**

	EXIST. MANHOLE	P.V.C.	POLYVINYL CHLORIDE
	EXIST. GATE VALVE	H.D.P.E.	HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY	---	EXIST. PIPE
	PROP. CATCH BASIN	---	PROP. PIPE
	EXIST. CATCH BASIN	---	SURFACE FLOW LINE
	PROP. ELEVATION	R.C.P.	REINFORCED CONC. PIPE
	EXIST. ELEVATION	D.F.	DRAINFIELD
	NEW OR RESTORED PAVEMENT	U.E.	UTILITY EASEMENT
	PAVEMENT TO BE REMOVED	S.S.	SANITARY SEWER
	NEW CONCRETE SIDEWALK	R.E.	RIM ELEVATION
	EXIST.	I.E.	INVERT ELEVATION AND DIRECTION
	W.M.	(T)	THERMOPLASTIC PAINT
		BSF	BACTERIOLOGICAL SAMPLING POINT
		S.D.	STORM DRAIN

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 North Tower**  
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 City of Hollywood, Florida

**seal :**

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 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**

**PHASE 3  
 NORTH TOWER  
 SITE DEMOLITION**

**project number :** #15197  
**drawing scale :** As Shown  
**drawing date :** 04/26/2018  
**phase :** Final TAC  
**sheet number :** D-4

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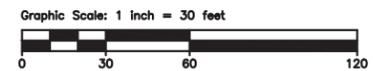
PHASE 3  
C-6, C-7

PHASE 1  
C-2, C-3

PHASE 2  
C-4, C-5

**OVERALL PLAN**

SCALE 1"=30'



LEGEND		
	EXIST. MANHOLE	P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE	H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY	EXIST. PIPE
	PROP. CATCH BASIN	PROP. PIPE
	EXIST. CATCH BASIN	SURFACE FLOW LINE
	PROP. ELEVATION	R.C.P. REINFORCED CONC. PIPE
	EXIST. ELEVATION	D.F. DRAINFIELD
	NEW OR RESTORED PAVEMENT	U.E. UTILITY EASEMENT
	PAVEMENT TO BE REMOVED	S.S. SANITARY SEWER
	NEW CONCRETE SIDEWALK	R.E. RIM ELEVATION
	EXIST.	I.E. INVERT ELEVATION AND DIRECTION
		(T) THERMOPLASTIC PAINT
		BSP BACTERIOLOGICAL SAMPLING POINT

**Louis Berger**  
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CERTIFICATE OF AUTHORIZATION # 4886

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**project info :**

**Parc Place**  
Phase 1, 2, 3  
City of Hollywood, Florida

**seal :**

**revisions :**

**drawing data :**

**OVERALL PLAN  
SITE CIVIL**

**project number :** #15197

**drawing scale :** As Shown

**drawing date :** 04/26/2018

**phase :** Final TAC

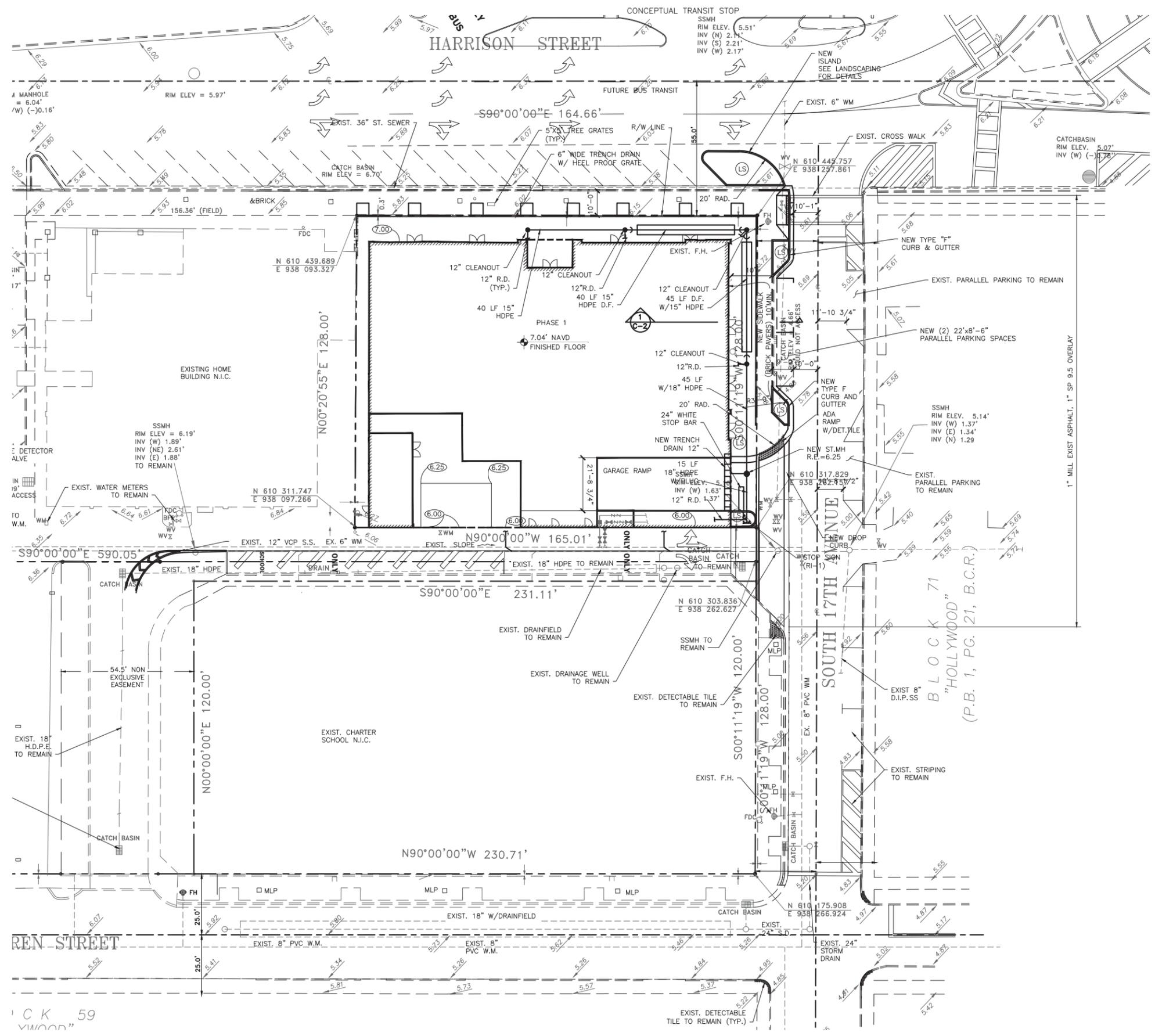
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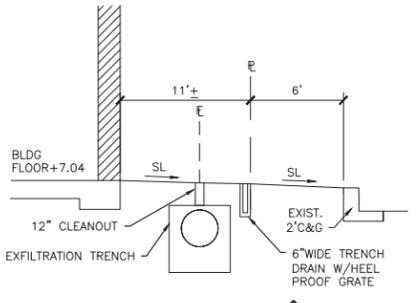


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**WATER QUALITY CALCULATION**  
 0.49 ACRE SITE 1" = 0.49 AC.IN.  
 0.49 AC.IN = 0.04 A.F. REQUIRED  
 DRAINFIELDS DESIGN FOR 0.06 A.F. STORAGE

**NOTE:**  
 BROWARD COUNTY DEPARTMENT OF GROWTH  
 MANAGEMENT AND ENVIRONMENTAL PROTECTION  
 REQUIRES WATER QUALITY CALCULATIONS ONLY  
 FOR SITES LESS THAN 1.0 ACRE IMPERVIOUS.  
 80% OF SITE IS COVERED BY BUILDING. ROOF  
 RUNOFF IS DIRECTED UNDERGROUND TO  
 EXFILTRATION TRENCHES.  
 THE EXISTING SITE DRAINS 100% INTO PUBLIC  
 R/W.



**LEGEND**

	EXIST. MANHOLE		P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE		H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT		EXIST. PIPE
	ASSEMBLY		PROP. PIPE
	PROP. CATCH BASIN		SURFACE FLOW LINE
	PROP. CATCH BASIN		PROP. ELEVATION
	PROP. ELEVATION		REINFORCED CONC. PIPE
	EXIST. ELEVATION		D.F. DRAINFIELD
	LANDSCAPED		U.E. UTILITY EASEMENT
	NEW OR RESTORED PAVEMENT		S.S. SANITARY SEWER
	PAVEMENT TO BE REMOVED		R.E. RIM ELEVATION
	NEW CONCRETE SIDEWALK		I.E. INVERT ELEVATION AND DIRECTION
	EXIST.		(T) THERMOPLASTIC PAINT
			BSP BACTERIOLOGICAL SAMPLING POINT

**modis architects**

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**project info :**

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 Phase 1  
 East Tower**  
 1700-1716 Harrison Street  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

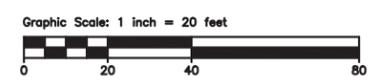
**revisions :**


**drawing data :**

**PHASE 1  
 EAST TOWER  
 PAVING,  
 GRADING AND  
 DRAINAGE PLAN**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number : C-2

**PAVING, GRADING AND DRAINAGE PLAN - PHASE 1**  
 SCALE 1"=20'



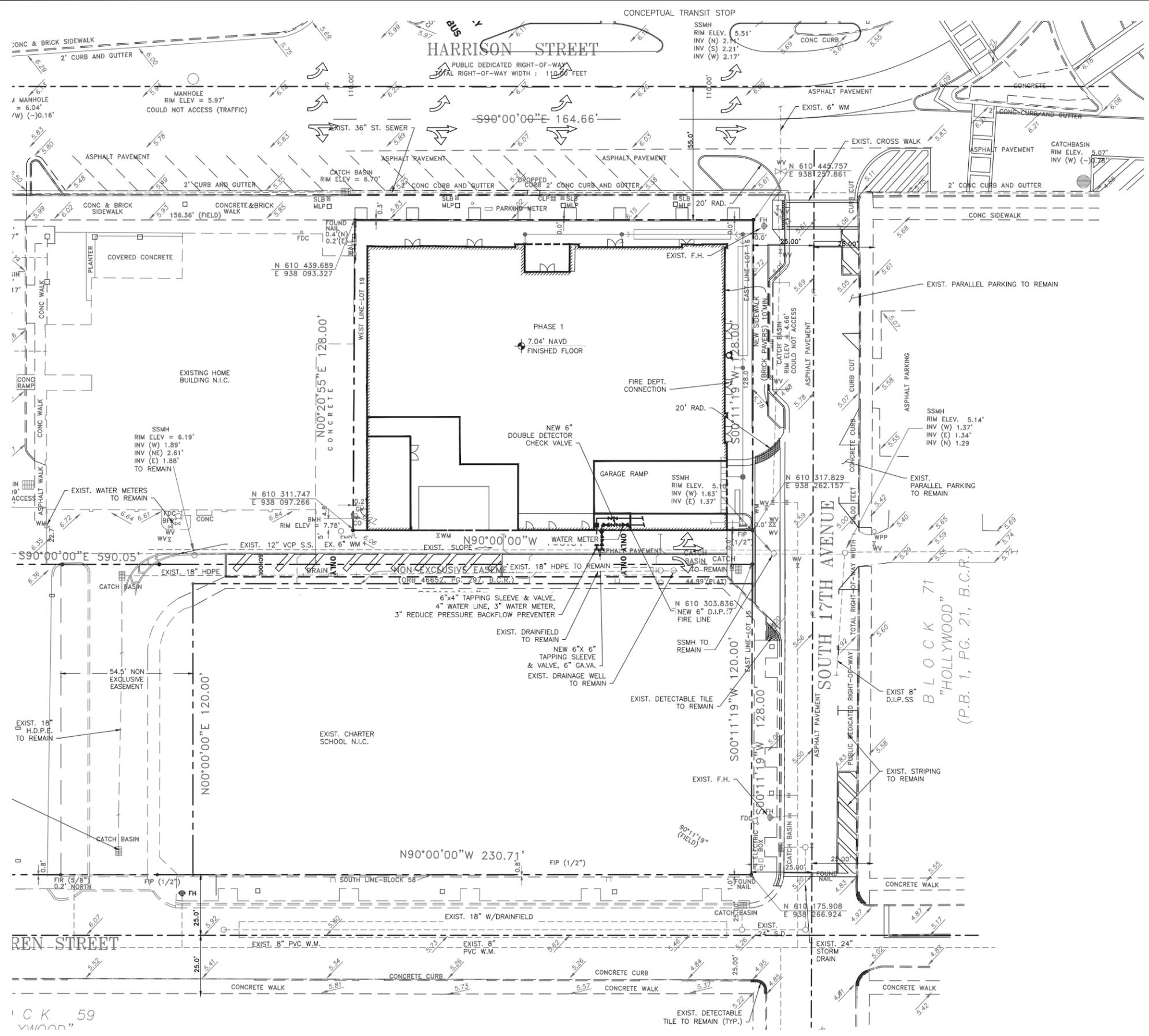
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 850 948-7708  
 CERTIFICATE OF AUTHORIZATION # 4886

**RODRIGO MAZUERA, P.E.**  
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 STATE OF FLORIDA

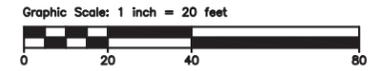
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 LOUIS BERGER Job # 2042249

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**WATER AND SEWER PLAN - PHASE 1**  
 SCALE 1"=20'



**FIRE FLOW CALCULATIONS-NFPA I**  
 1. TYPE OF CONSTRUCTION-NONCOMBUSTIBLE TYPEII(222)  
 2. NUMBER OF STORIES, 3 CONSECUTIVE  
 3. FLOOR AREA = 17,326 X 3=51,978  
 4. FIREFLOW=2,500 GPM  
 5. 75% CREDIT FOR FIRE SPRINKLER: 1,875  
 6. TOTAL REQUIRED FIRE FLOW= 2,500-1,875=625 GPM  
 MINIMUM FLOW PER NFPA 18.4.5.1.2=1,000 GPM

**WATER AND SEWER DEMAND CALCULATION**  
 1. 67 ONE BEDROOM APARTMENTS: 250 GAL/DAY  
 25 TWO BEDROOM APARTMENTS: 250 GAL/DAY  
 2. 7,391 S.F. RETAIL: 0.2 GAL/DAY/S.F.  
 3. TOTAL FLOW = 23,000 + 1,478 = 24,478 GPD  
 4. 24,478 = 70 E.R.C.S.

**LEGEND**

	EXIST. MANHOLE		P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE		H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY		EXIST. PIPE
	PROP. CATCH BASIN		PROP. PIPE
	EXIST. CATCH BASIN		SURFACE FLOW LINE
	PROP. ELEVATION		R.C.P. REINFORCED CONC. PIPE
	EXIST. ELEVATION		D.F. DRAINFIELD
	LANDSCAPED		U.E. UTILITY EASEMENT
	NEW OR RESTORED PAVEMENT		S.S. SANITARY SEWER
	PAVEMENT TO BE REMOVED		R.E. RIM ELEVATION
	NEW CONCRETE SIDEWALK		I.E. INVERT ELEVATION AND DIRECTION
	EXIST.		(T) THERMOPLASTIC PAINT
			BSP BACTERIOLOGICAL SAMPLING POINT

**Louis Berger**  
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 CERTIFICATE OF AUTHORIZATION # 4386

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 STATE OF FLORIDA

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**project info :**

**Parc Place Phase 1 East Tower**  
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 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**

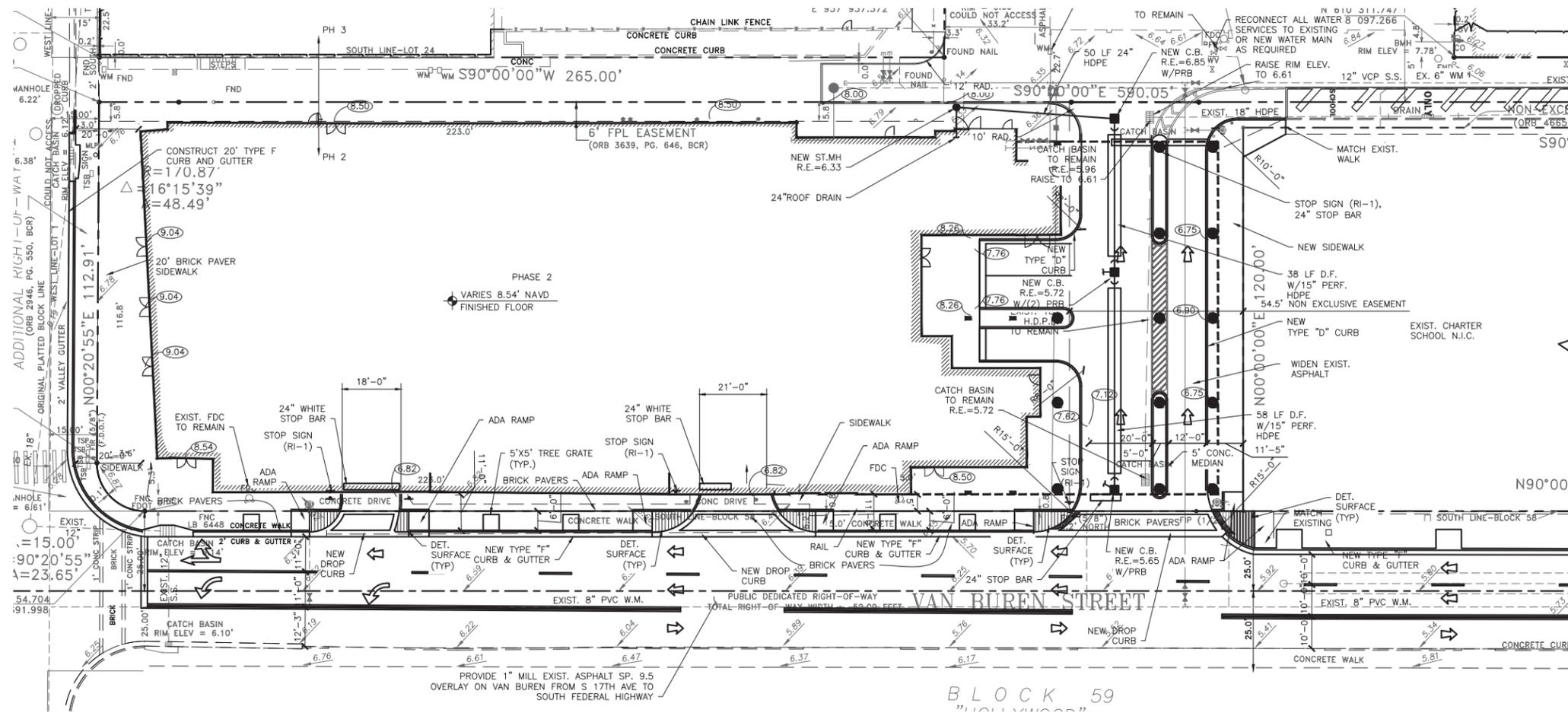

**drawing data :**

**PHASE 1 EAST TOWER WATER AND SEWER PLAN**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number : C-3

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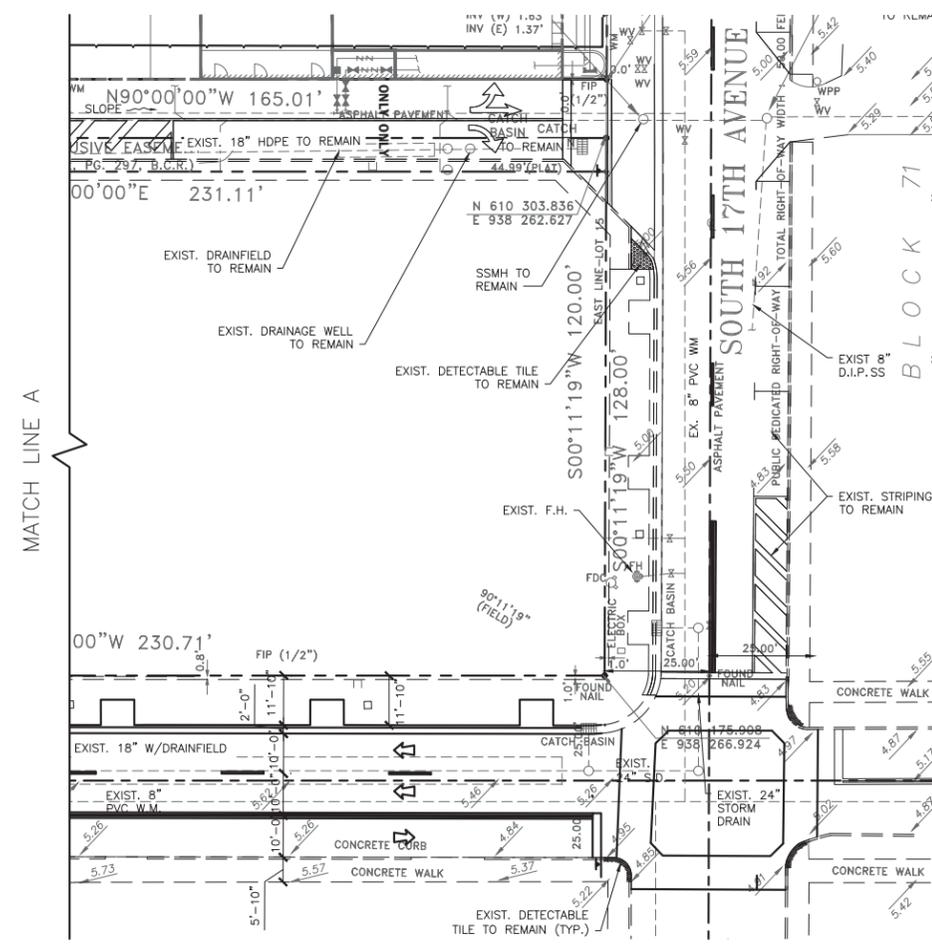
**WATER QUALITY CALCULATION**  
 0.93 ACRE SITE 1" = 0.93 AC.IN.  
 0.93 AC.IN = 0.08 A.F. REQUIRED  
 DRAINFIELDS DESIGN FOR 0.10 A.F. STORAGE

**NOTE:**  
 BROWARD COUNTY DEPARTMENT OF GROWTH MANAGEMENT AND ENVIRONMENTAL PROTECTION REQUIRES WATER QUALITY CALCULATIONS ONLY FOR SITES LESS THAN 1.0 ACRE IMPERVIOUS. 95% OF SITE IS COVERED BY PROPOSED ROOF. ROOF RUNOFF IS DIRECTED TO UNDERGROUND EXFILTRATION TENTS. SITE INVESTIGATION INDICATES, OVER 80% OF THE EXISTING BUILDING ROOF DRAINS DIRECTLY INTO PUBLIC R/W.

LEGEND			
	EXIST. MANHOLE		P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE		H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY		EXIST. PIPE
	PROP. CATCH BASIN		PROP. PIPE
	EXIST. CATCH BASIN		SURFACE FLOW LINE
	PROP. ELEVATION		R.C.P. REINFORCED CONC. PIPE
	EXIST. ELEVATION		DRAINFIELD
	LANDSCAPED		U.E. UTILITY EASEMENT
	NEW OR RESTORED PAVEMENT		S.S. SANITARY SEWER
	PAVEMENT TO BE REMOVED		R.E. RIM ELEVATION
	NEW CONCRETE SIDEWALK		I.E. INVERT ELEVATION AND DIRECTION
	EXIST.		(T) THERMOPLASTIC PAINT
			BSP BACTERIOLOGICAL SAMPLING POINT

**PAVING, GRADING AND DRAINAGE PLAN - PHASE 2**

SCALE 1"=20'



**Louis Berger**  
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**RODRIGO MAZUERA, P.E.**  
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**project info :**

**Parc Place**  
 Phase 2  
 South - West Towers  
 1727-1745 Van Buren Street  
 (First floor retail frontage on west)  
 201 South Federal Highway  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, COP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**

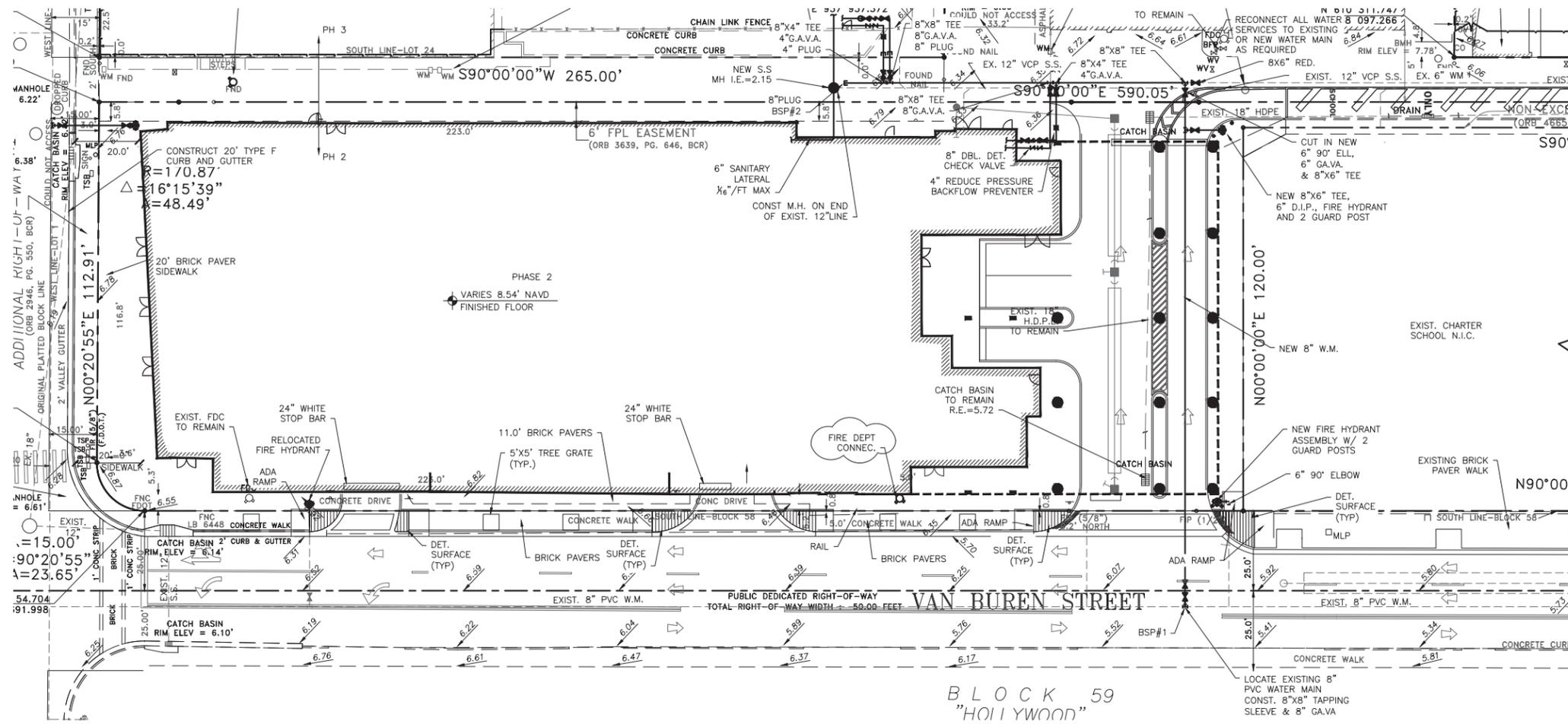

**drawing data :**

**PHASE 2 SOUTH & WEST TOWERS PAVING, GRADING & DRAINAGE**

**project number :** #15197  
**drawing scale :** As Shown  
**drawing date :** 04/26/2018  
**phase :** Final TAC  
**sheet number :** C-4

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LEGEND			
	EXIST. MANHOLE		P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE		H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY		EXIST. PIPE
	EXIST. CATCH BASIN		PROP. PIPE
	EXIST. CATCH BASIN		SURFACE FLOW LINE
	PROP. ELEVATION		R.C.P. REINFORCED CONC. PIPE
	EXIST. ELEVATION		D.F. DRAINFIELD
	LANDSCAPED		U.E. UTILITY EASEMENT
	NEW OR RESTORED PAVEMENT		S.S. SANITARY SEWER
	PAVEMENT TO BE REMOVED		R.E. RIM ELEVATION
	NEW CONCRETE SIDEWALK		I.E. INVERT ELEVATION AND DIRECTION
	EX. EXISTING		(T) THERMOPLASTIC PAINT
			BSP BACTERIOLOGICAL SAMPLING POINT

**WATER AND SEWER PLAN - PHASE 2**  
 SCALE 1"=20'

**FIRE FLOW CALCULATIONS PER N.F.P.A. I**  
 1. TYPE OF CONSTRUCTION: NONCOMBUSTIBLE, TYPE II (222)  
 2. NUMBER OF STORIES, 3 CONSECUTIVE  
 3. FLOOR AREA = 39,060(PH 2) + 15,559(PH 3)=54,619 X 3 = 163,857 S.F.  
 4. FIREFLOW=4,250 GPM  
 5. 75% CREDIT FOR FIRE SPRINKLER: 3,188  
 6. TOTAL REQUIRED FIRE FLOW= 4,250-3,188=1,063 GPM  
 SAY 1,100 GPM

**WATER AND SEWER DEMAND CALCULATION**  
 1. 26 STUDIO BEDROOM APARTMENTS: 150 GAL/DAY  
 37 ONE BEDROOMS APARTMENTS: 250 GAL/DAY  
 21 TWO BEDROOMS APARTMENTS: 250 GAL/DAY  
 2. 3,645 S.F. RETAIL: 0.2 GAL/DAY/S.F.  
 3,645 X 0.2 = 729 GPD FLOW  
 3. TOTAL FLOW = 21,000 + 729 = 21,729 GPD  
 4. 21,729 = 62 E.R.C.S.

**Louis Berger**  
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 ENVIRONMENT • ELECTRICAL • MECHANICAL  
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 POMPANO BEACH, FLORIDA 33069  
 954 948-7708  
 CERTIFICATE OF AUTHORIZATION # 4266

---

**RODRIGO MAZUERA, P.E.**  
 LICENSED ENGINEER NO. 68430  
 STATE OF FLORIDA

DATE:  
 LOUIS BERGER Job # 2042049

**modis architects**  
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 Miami, Florida 33155  
 Florida Corp. AA#26001777  
 e. MODIS@MODISarchitects.com  
 t. 786.879.8882  
 f. 786.350.1515

**project info :**  
**Parc Place**  
**Phase 2**  
**South - West Towers**  
 1727-1745 Van Buren Street  
 (First floor retail frontage on west)  
 201 South Federal Highway  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

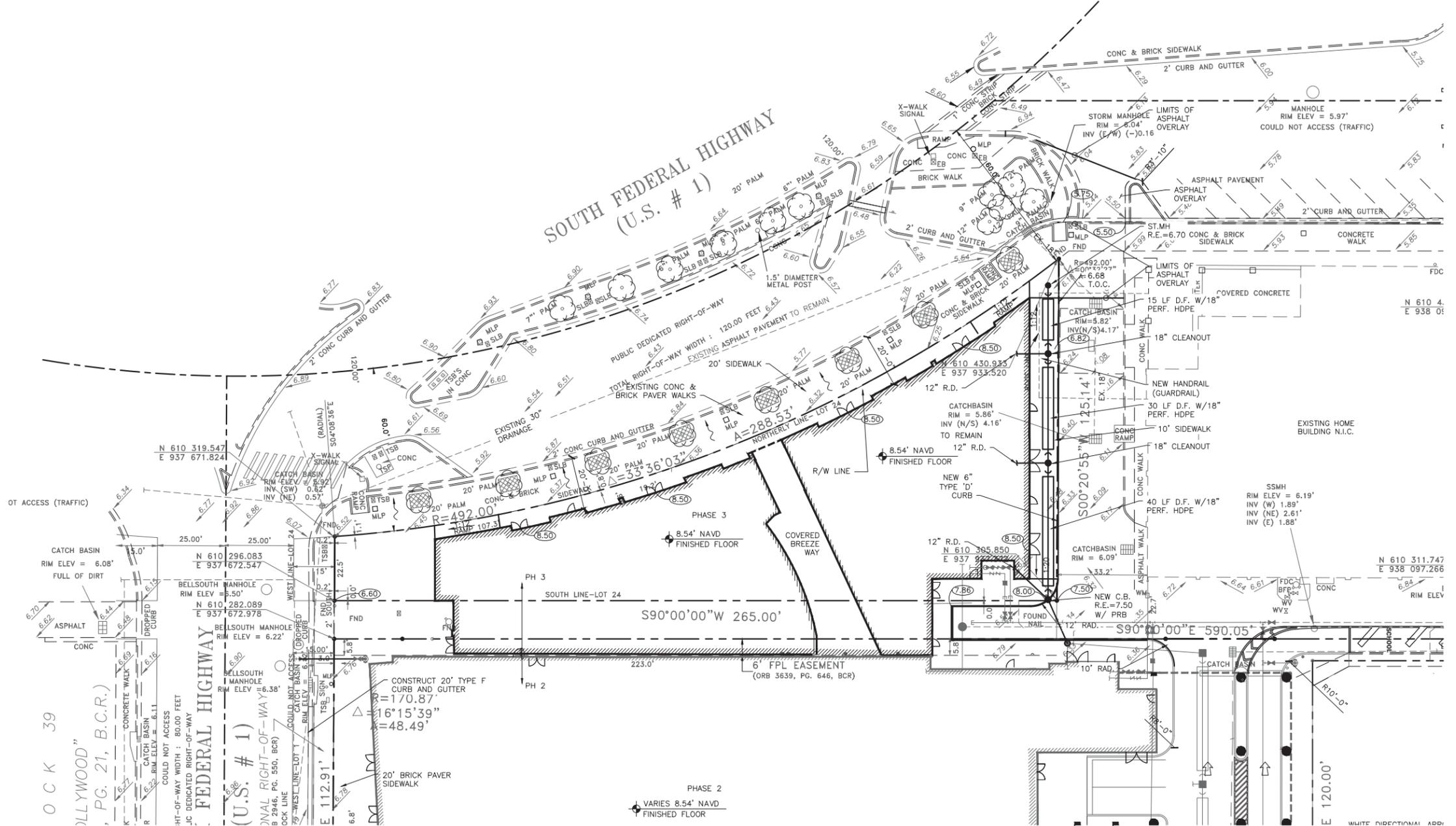
**revisions :**


**drawing data :**  
**PHASE 2**  
**SOUTH & WEST**  
**TOWERS**  
**WATER AND**  
**SEWER PLAN**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number : C-5

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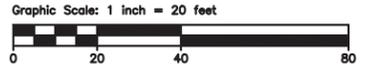


**WATER QUALITY CALCULATION**  
 0.85 ACRE SITE 1" = 0.85 AC.IN.  
 0.93 AC.IN X 12 = 0.07 A.F. REQUIRED  
 DRAINFIELDS DESIGN FOR 0.8 A.F. STORAGE

NOTE:  
 BROWARD COUNTY DEPARTMENT OF GROWTH  
 MANAGEMENT AND ENVIRONMENTAL PROTECTION  
 REQUIRES WATER QUALITY CALCULATIONS ONLY  
 FOR SITES LESS THAN 1.0 ACRE IMPERVIOUS.  
 90% OF PROPOSED ROOF AREA DRAINS  
 UNDERGROUND TO INFILTRATION TRENCHES.  
 100% OF EXISTING ROOF AND ASPHALT  
 PAVEMENT DISCHARGES DIRECTLY INTO PUBLIC  
 R/W.

**PAVING, GRADING AND DRAINAGE PLAN - PHASE 3**  
 SCALE 1"=20'

LEGEND	
	EXIST. MANHOLE
	EXIST. GATE VALVE
	EXIST. FIRE HYDRANT ASSEMBLY
	PROP. CATCH BASIN
	EXIST. CATCH BASIN
	PROP. ELEVATION
	EXIST. ELEVATION
	LANDSCAPED
	NEW OR RESTORED PAVEMENT
	PAVEMENT TO BE REMOVED
	NEW CONCRETE SIDEWALK
	EXISTING
	P.V.C.
	H.D.P.E.
	EXIST. PIPE
	PROP. PIPE
	SURFACE FLOW LINE
	R.C.P.
	D.F.
	UTILITY EASEMENT
	SANITARY SEWER
	RIM ELEVATION
	INVERT ELEVATION AND DIRECTION
	THERMOPLASTIC PAINT
	BACTERIOLOGICAL SAMPLING POINT
	POLYVINYL CHLORIDE
	HIGH DENSITY POLYETHYLENE PIPE



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 3041 948-7708  
 CERTIFICATE OF AUTHORIZATION # 4266

---

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DATE:  
 LOUIS BERGER Job # 2024249

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 AA#26001777  
 e. MODIS@MODISarchitects.com

**project info :**  
**Parc Place**  
**Phase 3**  
**North Tower**  
 1740-1760 South Young Circle  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**  
**PHASE 3**  
**NORTH TOWER**  
**PAVING,**  
**GRADING AND**  
**DRAINAGE PLAN**

**project number :**  
 #15197

**drawing scale :**  
 As Shown

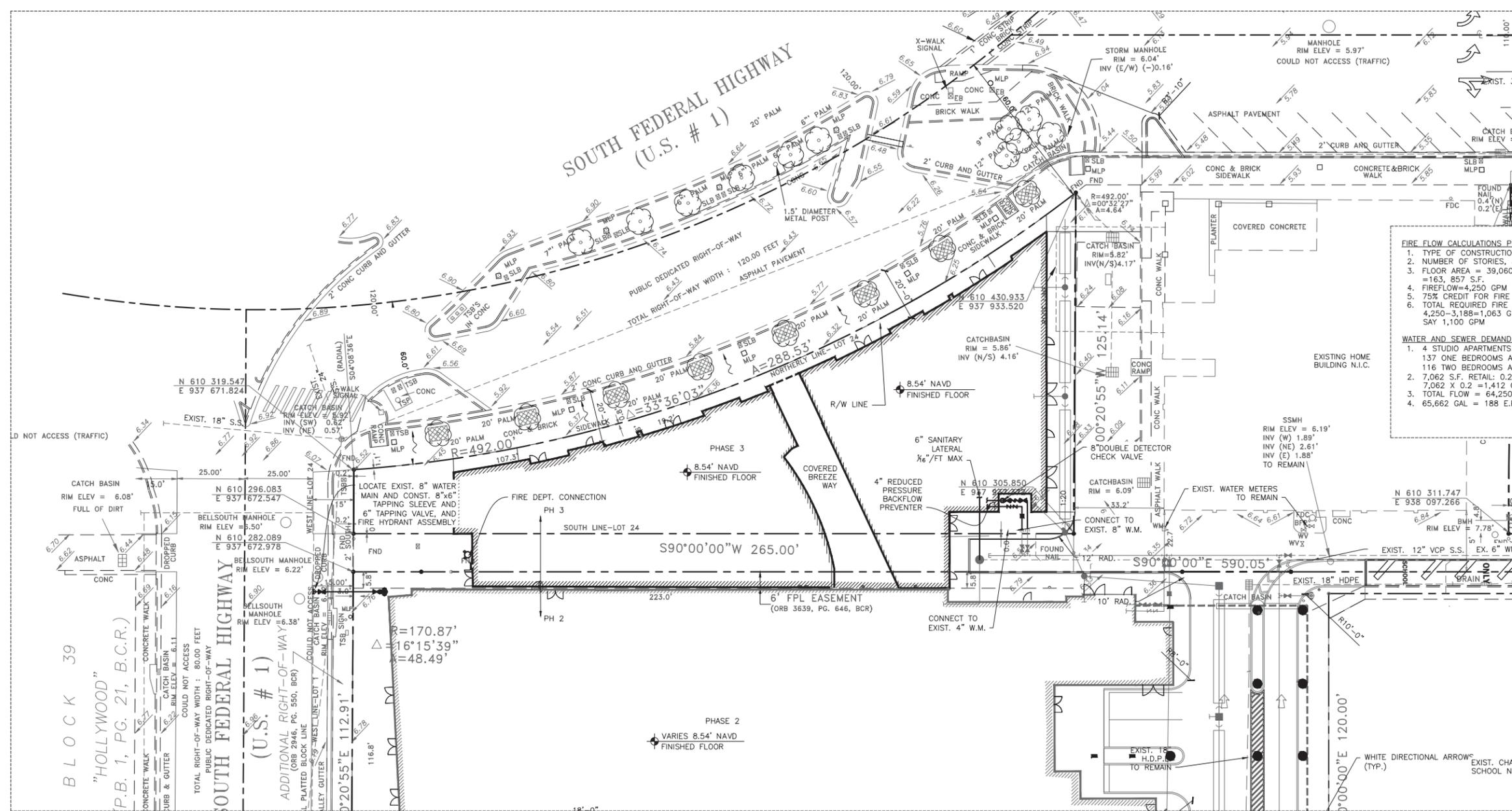
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 04/26/2018

**phase :**  
 Final TAC

**sheet number :**  
 C-6

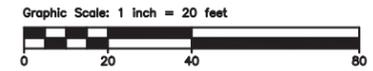
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**WATER AND SEWER PLAN - PHASE 3**  
 SCALE 1"=20'

LEGEND			
(Symbol)	EXIST. MANHOLE	(Symbol)	P.V.C. POLYVINYL CHLORIDE
(Symbol)	EXIST. GATE VALVE	(Symbol)	H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
(Symbol)	EXIST. FIRE HYDRANT ASSEMBLY	(Symbol)	EXIST. PIPE
(Symbol)	PROP. CATCH BASIN	(Symbol)	PROP. PIPE
(Symbol)	EXIST. CATCH BASIN	(Symbol)	SURFACE FLOW LINE
(Symbol)	PROP. ELEVATION	(Symbol)	REINFORCED CONC. PIPE
(Symbol)	EXIST. ELEVATION	(Symbol)	R.C.P. REINFORCED CONC. PIPE
(Symbol)	LANDSCAPED	(Symbol)	D.F. DRAINFIELD
(Symbol)	NEW OR RESTORED PAVEMENT	(Symbol)	U.E. UTILITY EASEMENT
(Symbol)	PAVEMENT TO BE REMOVED	(Symbol)	S.S. SANITARY SEWER
(Symbol)	NEW CONCRETE SIDEWALK	(Symbol)	R.E. RIM ELEVATION
(Symbol)	EX. EXISTING	(Symbol)	I.E. INVERT ELEVATION AND DIRECTION
		(Symbol)	(T) THERMOPLASTIC PAINT
		(Symbol)	BS* BACTERIOLOGICAL SAMPLING POINT



- FIRE FLOW CALCULATIONS PER N.F.P.A. 1**
1. TYPE OF CONSTRUCTION: NONCOMBUSTIBLE, TYPE II (222)
  2. NUMBER OF STORIES, 3 CONSECUTIVE
  3. FLOOR AREA = 39,060(PH 2)+ 15,559(PH 3)=54,619 X 3 =163,857 S.F.
  4. FIREFLOW=4,250 GPM
  5. 75% CREDIT FOR FIRE SPRINKLER: 3,188
  6. TOTAL REQUIRED FIRE FLOW= 4,250-3,188=1,063 GPM SAY 1,100 GPM
- WATER AND SEWER DEMAND CALCULATION**
1. 4 STUDIO APARTMENTS: 250 GAL/DAY
  - 137 ONE BEDROOMS APARTMENTS: 250 GAL/DAY
  - 116 TWO BEDROOMS APARTMENTS: 250 GAL/DAY
  - 7,062 S.F. RETAIL: 0.2 GAL/DAY/S.F.
  - 7,062 X 0.2 = 1,412 GPD FLOW
  3. TOTAL FLOW = 64,250+ 1,412 = 65,662 GPD
  4. 65,662 GAL = 188 E.R.C.'S

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**project info :**

**Parc Place  
 Phase 3  
 North Tower**  
 1740-1760 South Young Circle  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**

**PHASE 3  
 NORTH TOWER  
 WATER AND  
 SEWER PLAN**

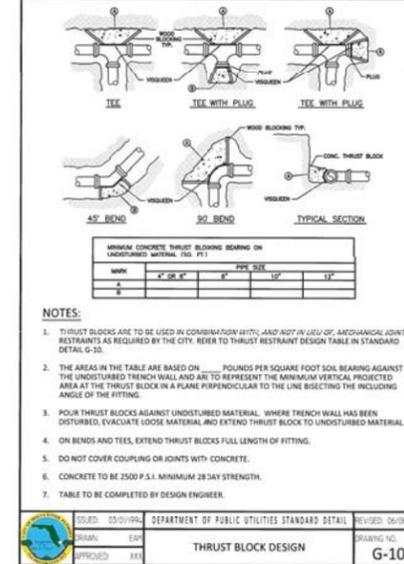
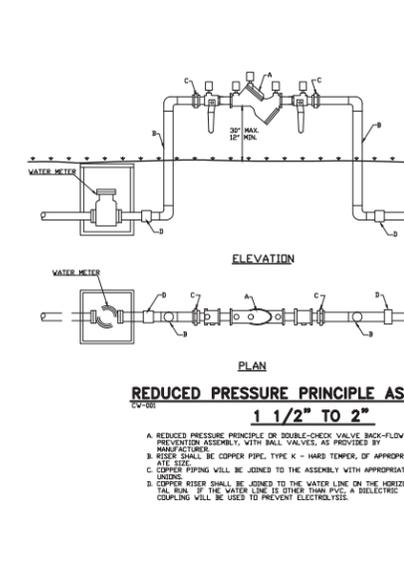
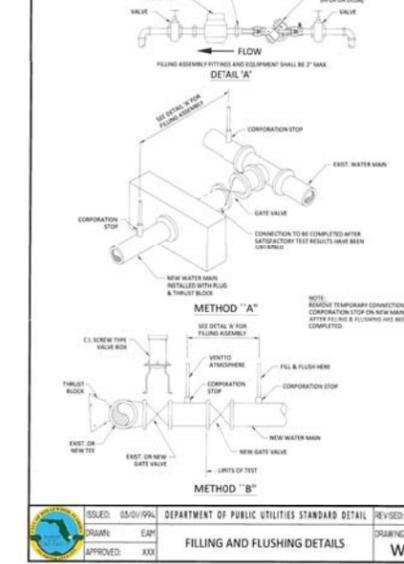
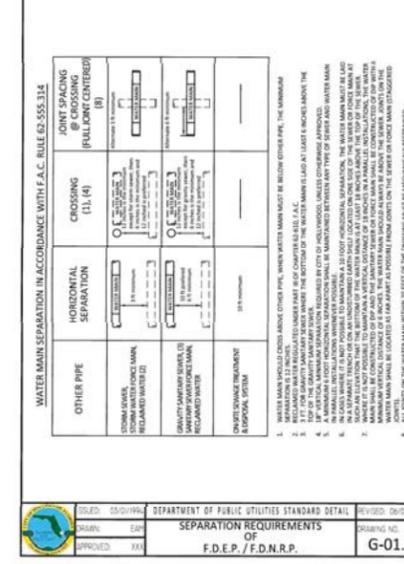
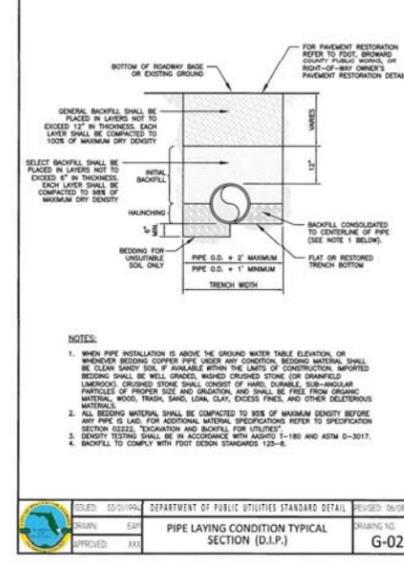
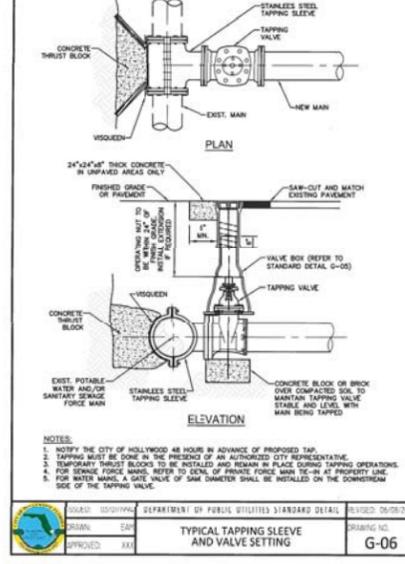
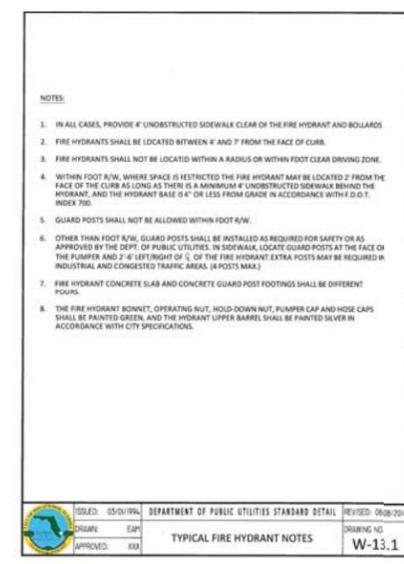
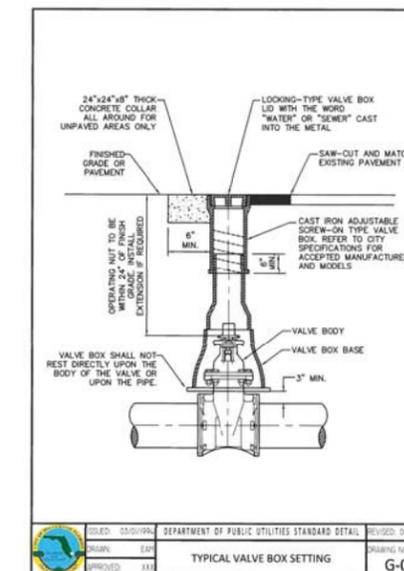
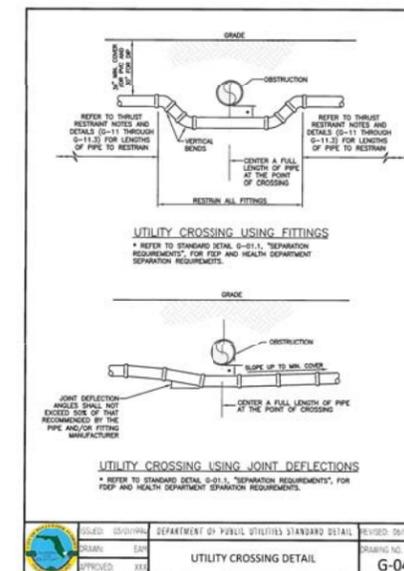
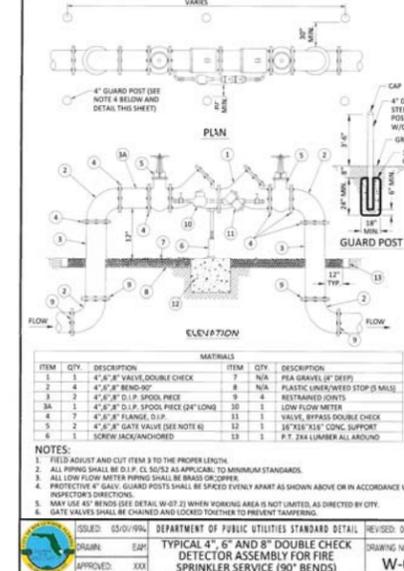
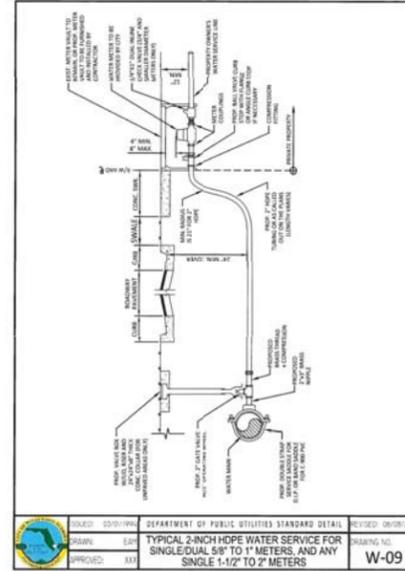
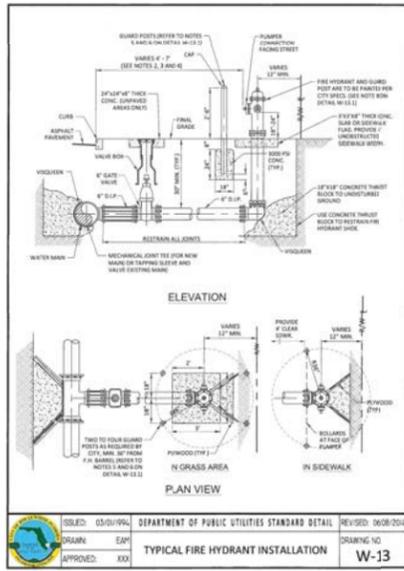
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**drawing date :** 04/26/2018  
**phase :** Final TAC  
**sheet number :** C-7

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 850-948-7708  
 CERTIFICATE OF AUTHORIZATION # 4266

**RODRIGO MAZUERA, P.E.**  
 LICENSED ENGINEER NO. 68430  
 STATE OF FLORIDA

DATE:  
 LOUIS BERGER Job # 20162409

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 f. 786.350.1515

**project info :**

**Parc Place**  
 Phase 1,2,3  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, COP  
 FLORIDA REGISTERED ARCHITECT #A 93259

**revisions :**


**drawing data :**

**WATER DETAILS**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number : C-8

**Louis Berger**

LEAD PLANNING & CIVIL & STRUCTURAL  
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 POMPAHO BEACH, FLORIDA 32069  
 850 948-7708  
 CERTIFICATE OF AUTHORIZATION # 4886

**RODRIGO MAZUERA, P.E.**  
 LICENSED ENGINEER NO. 68430  
 STATE OF FLORIDA

DATE: LOUIS BERGER JUNE 9 2024/2019

**WATER DETAILS**  
 SCALE: N.T.S.

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project info :

**Parc Place**  
 Phase 1,2,3  
 City of Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

**PAVING,  
 GRADING AND  
 DRAINAGE  
 DETAILS**

project number : #15197

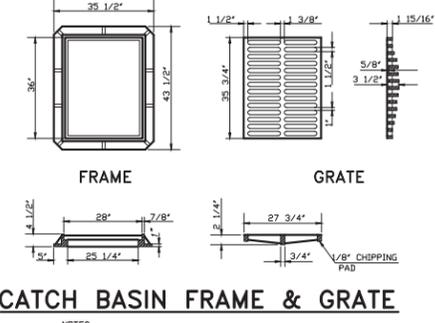
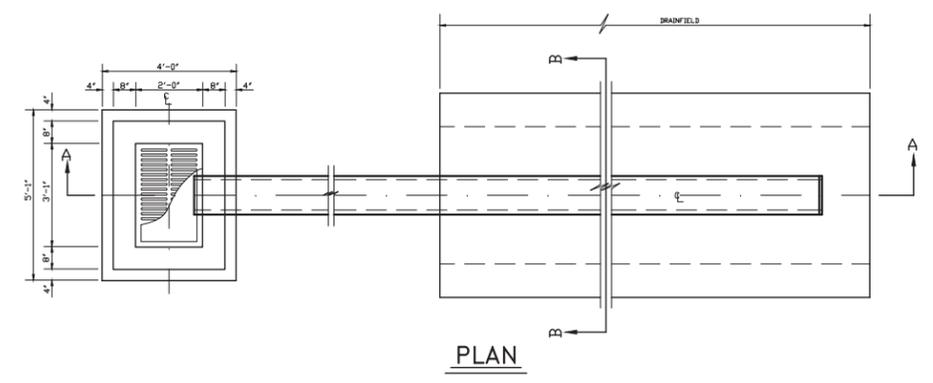
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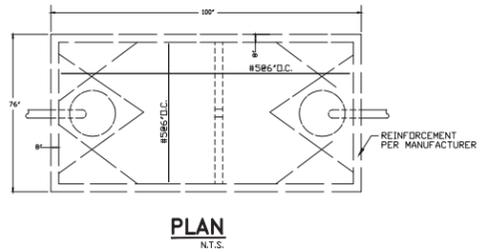
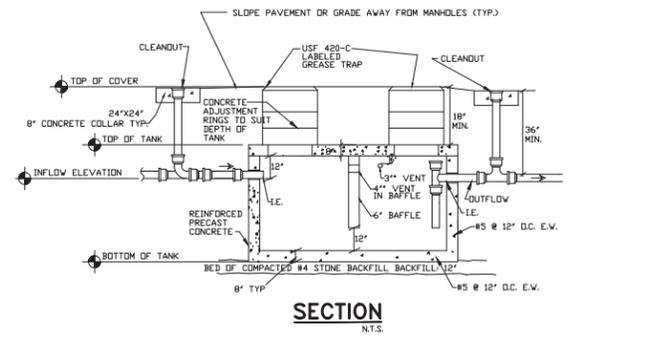
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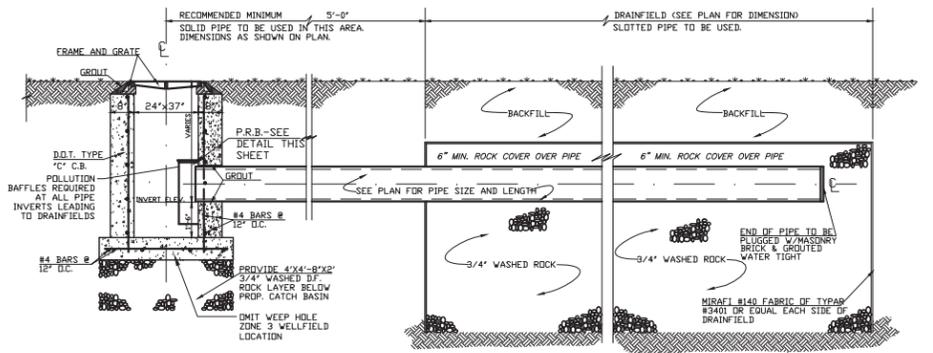
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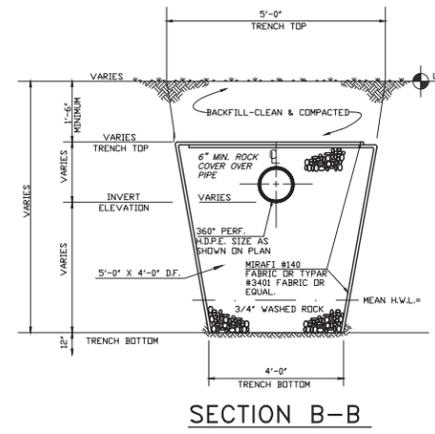
- NOTES:  
 1. MIN. FRAME WEIGHT 335 POUNDS.  
 2. MIN. GRATE WEIGHT 250 POUNDS.  
 3. U.S. FOUNDRY DRAWING #4155-#210 OR EQUIVALENT.  
 4. MIN. WHEEL LOAD CAPACITY = 16000 LBS.



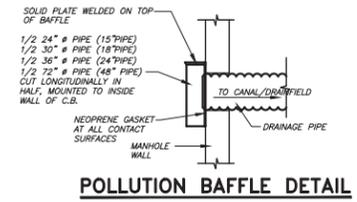
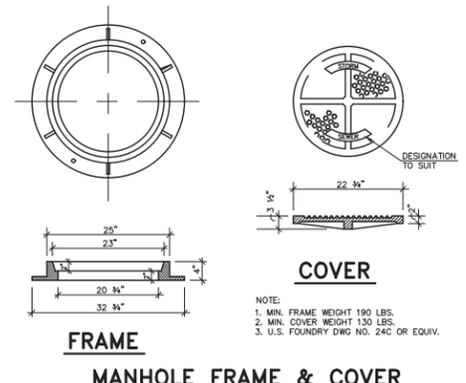
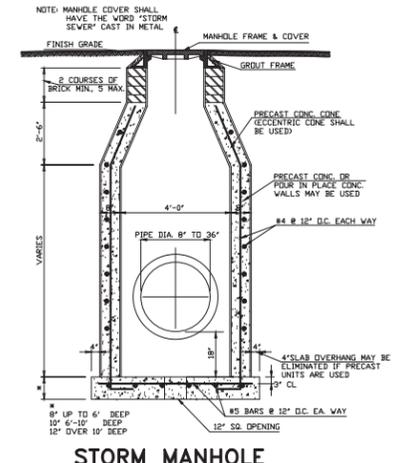
**PRECAST 1,000 GALLON CONCRETE OIL & SAND SEPARATOR**  
 N.T.S.



**TYPICAL CATCH BASIN WITH DRAINFIELD**

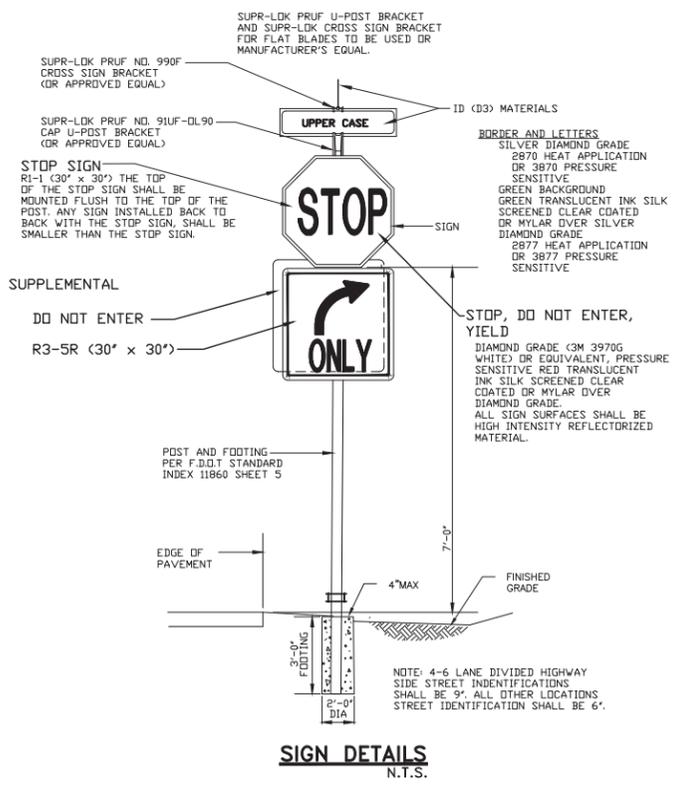


**SECTION B-B**



**POLLUTION BAFFLE DETAIL**

- NOTE:  
 1. MIN. FRAME WEIGHT 190 LBS.  
 2. MIN. COVER WEIGHT 130 LBS.  
 3. U.S. FOUNDRY DWG NO. 24C OR EQUIV.



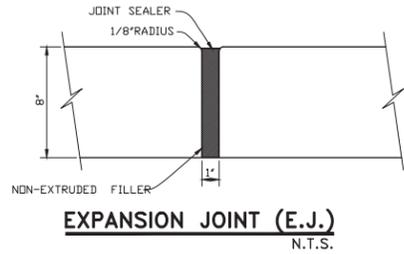
**PAVING, GRADING AND DRAINAGE DETAILS**

SCALE N.T.S.

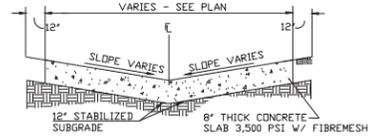
**Louis Berger**  
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 ENVIRONMENT • ELECTRICAL • MECHANICAL  
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 850 948-7708  
 CERTIFICATE OF AUTHORIZATION # 4266

**RODRIGO MAZUERA, P.E.**  
 LICENSED ENGINEER NO. 68430  
 STATE OF FLORIDA

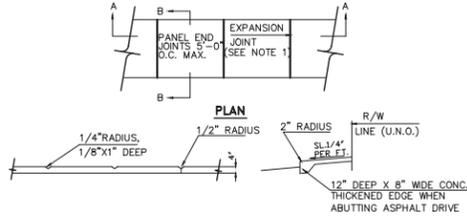
DATE:  
 LOUIS BERGER Job # 2042049



**EXPANSION JOINT (E.J.)**  
N.T.S.



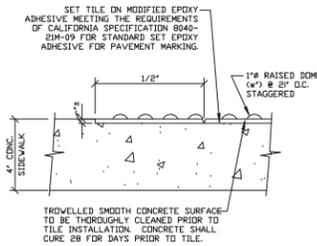
**TYPICAL CONCRETE PAVING SECTION**  
ALL CONCRETE PAVEMENT SHALL CONTAIN A SRI VALUE OF 29, MIN. PER LEED REQUIREMENTS N.T.S.



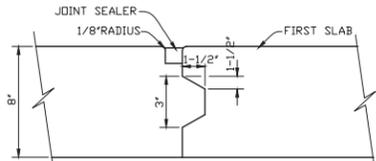
**SECTION A-A** **SECTION B-B**

**SIDEWALK DETAILS**  
N.T.S.

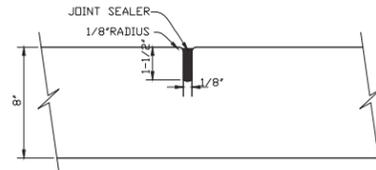
- NOTES:
1. EXPANSION JOINT SHALL BE 1/2" WITH NON RISING PRE-MOLDED MASTIC TO RUN THE FULL DEPTH OF SLAB, 30'-0" O.C.(MAX.) AND AT EXISTING CONCRETE. (N.A.)
  2. CONCRETE IS TO HAVE TRANSVERSE BROOM FINISH.
  3. 2500 P.S.I., 28 DAY MINIMUM CURE TO BE USED.
  4. TOP OF EXPANSION JOINT SHALL BE DEPRESSED 1/2" FROM GRADE OF ABUTTING CONCRETE.
  5. SIDEWALK TO BE 6" THICK AT DRIVEWAYS.



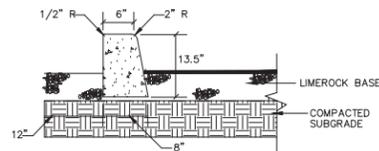
**SECTION A-A**  
SCALE: 3/4"=1'-0"



**LONGITUDINAL JOINT (L.J.)**  
N.T.S.

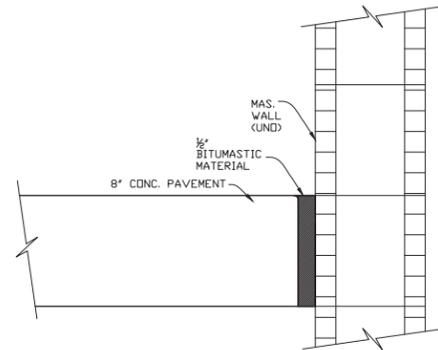


**CONTRACTION JOINT (C.J.)**  
N.T.S.

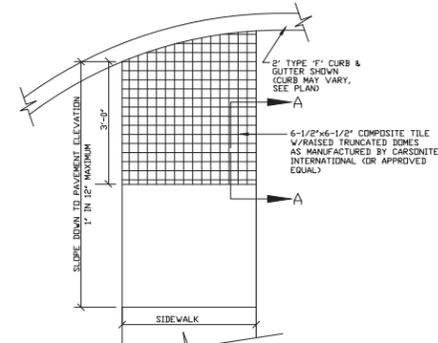


**TYPE 'D' CURB DETAIL**  
N.T.S.

1. ALL CURBING SHALL BE D.O.T. TYPE 'D' INDEX 300 WITH 10" O.C. CONTROL JOINTS & 3000 P.S.I. CONCRETE.



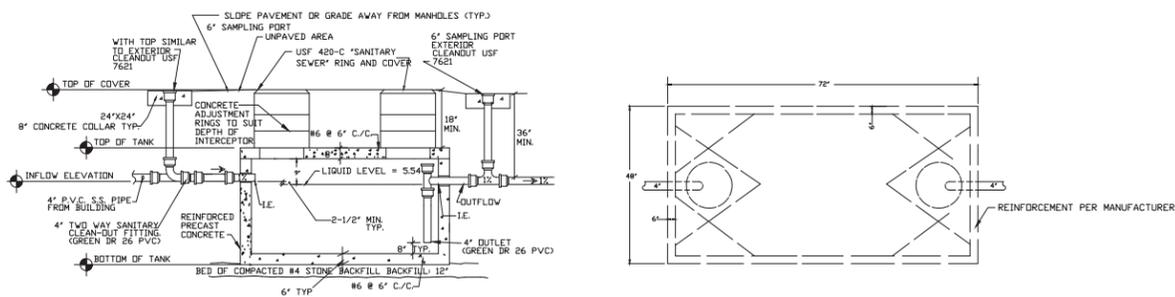
**BUTT JOINT (B.J.)**  
N.T.S.



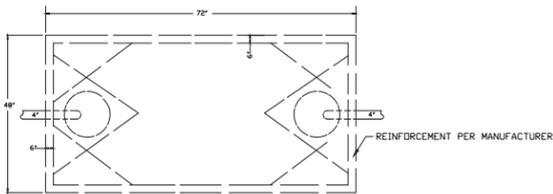
**DETECTABLE WARNING DEVICE DETAIL**  
SCALE: 1/4"=1'-0"

- NOTES:
1. TILE TO BE D.O.T. STYLE AND MANUFACTURE YELLOW IN COLOR.
  2. CONTRACTOR SHALL FOLLOW MANUFACTURERS GUIDE LINES FOR INSTALLATION.
  3. TILE SHALL BE A FIBER REINFORCED POLYMER BONDED COMPOSIT CAPABLE OF WITHSTANDING TRAFFIC LOADING.

**H.C. DETECTABLE WARNING SIDEWALK DETAIL**



**SECTION**  
N.T.S.

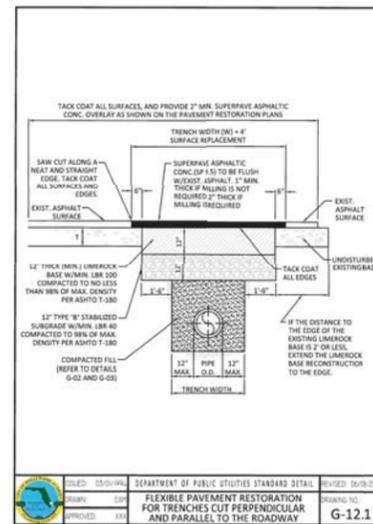


**PLAN**  
N.T.S.

**PRECAST 750 GALLON CONCRETE GREASE INTERCEPTOR TANK**

CATEGORY 4, 750 GAL. TANK  
6" THICK WALLS, 6" HUBS, WITH 6" LID AS MANUFACTURED BY FLORIDA SEPTIC, INC.

CONTRACTOR SHALL SUBMIT PROPOSED GREASE INTERCEPTOR INSTALLATION PLANS AND SPECIFICATIONS TO LOCAL AUTHORITIES FOR THEIR APPROVAL BEFORE ACQUISITION OF INTERCEPTOR. PROVIDE INTERCEPTOR WITH ADEQUATE STRUCTURAL STRENGTH TO ACCOMMODATE VEHICULAR TRAFFIC AT INSTALLATION LOCATION. PROVIDE TANK WITH MINIMUM 1850 GALLON CAPACITY OR LARGER IF REQUIRED BY LOCAL AUTHORITIES - VERIFY.



**RESTORATION OF PAVEMENT**  
N.T.S.

DATE: 05/01/14	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 04/05/2014
DESIGNED: EJA	FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY	DRAWING NO: G-12.1
APPROVED: EJA		

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 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT #AR 93259

**revisions :**

**drawing data :**

**PAVING, GRADING AND DRAINAGE DETAILS**

**project number :** #15197

**drawing scale :** As Shown

**drawing date :** 04/26/2018

**phase :** Final TAC

**sheet number :** C-10

**Louis Berger**  
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 LICENSED ENGINEER NO. 68490  
 STATE OF FLORIDA

DATE: LOUIS BERGER Job # 2042049

**PAVING, GRADING AND DRAINAGE DETAILS**

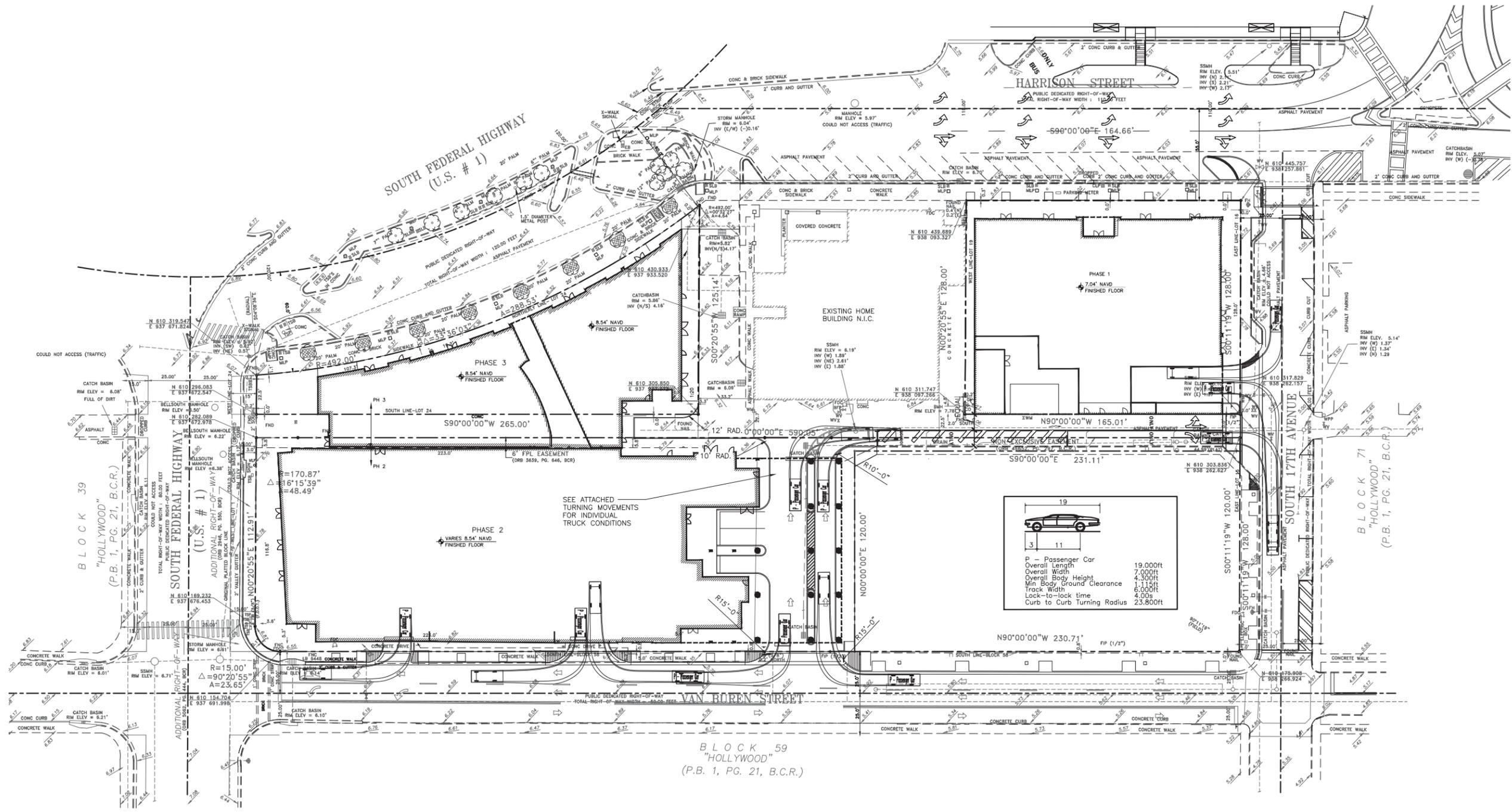
SCALE: N.T.S.

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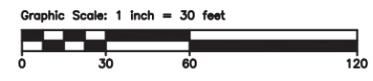
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**PASSENGER CAR SIMULATION**  
 SCALE 1"=30'



**LEGEND**

	EXIST. MANHOLE		P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE		H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY		EXIST. PIPE
	PROP. CATCH BASIN		PROP. PIPE
	EXIST. CATCH BASIN		SURFACE FLOW LINE
	PROP. ELEVATION		R.C.P. REINFORCED CONC. PIPE
	EXIST. ELEVATION		D.F. DRAINFIELD
	LANDSCAPED		U.E. UTILITY EASEMENT
	NEW OR RESTORED PAVEMENT		S.S. SANITARY SEWER
	PAVEMENT TO BE REMOVED		R.E. RIM ELEVATION AND DIRECTION
	NEW CONCRETE SIDEWALK		I.E. INVERT ELEVATION AND DIRECTION
	EX. EXISTING		T. THERMOPLASTIC PAINT
			B.S.P. BACTERIOLOGICAL SAMPLING POINT

**Louis Berger**  
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 9541 948-7708  
 CERTIFICATE OF AUTHORIZATION # 4886

**RODRIGO MAZUERA, P.E.**  
 LICENSED ENGINEER NO. 68480  
 STATE OF FLORIDA

DATE:  
 LOUIS BERGER Job # 2042349

**project info :**

**Parc Place**  
 Phase 1,2,3  
 City of Hollywood, Florida

**seal :**

**revisions :**

**drawing data :**

**PASSENGER CAR SIMULATION**

**project number :** #15197

**drawing scale :** As Shown

**drawing date :** 04/26/2018

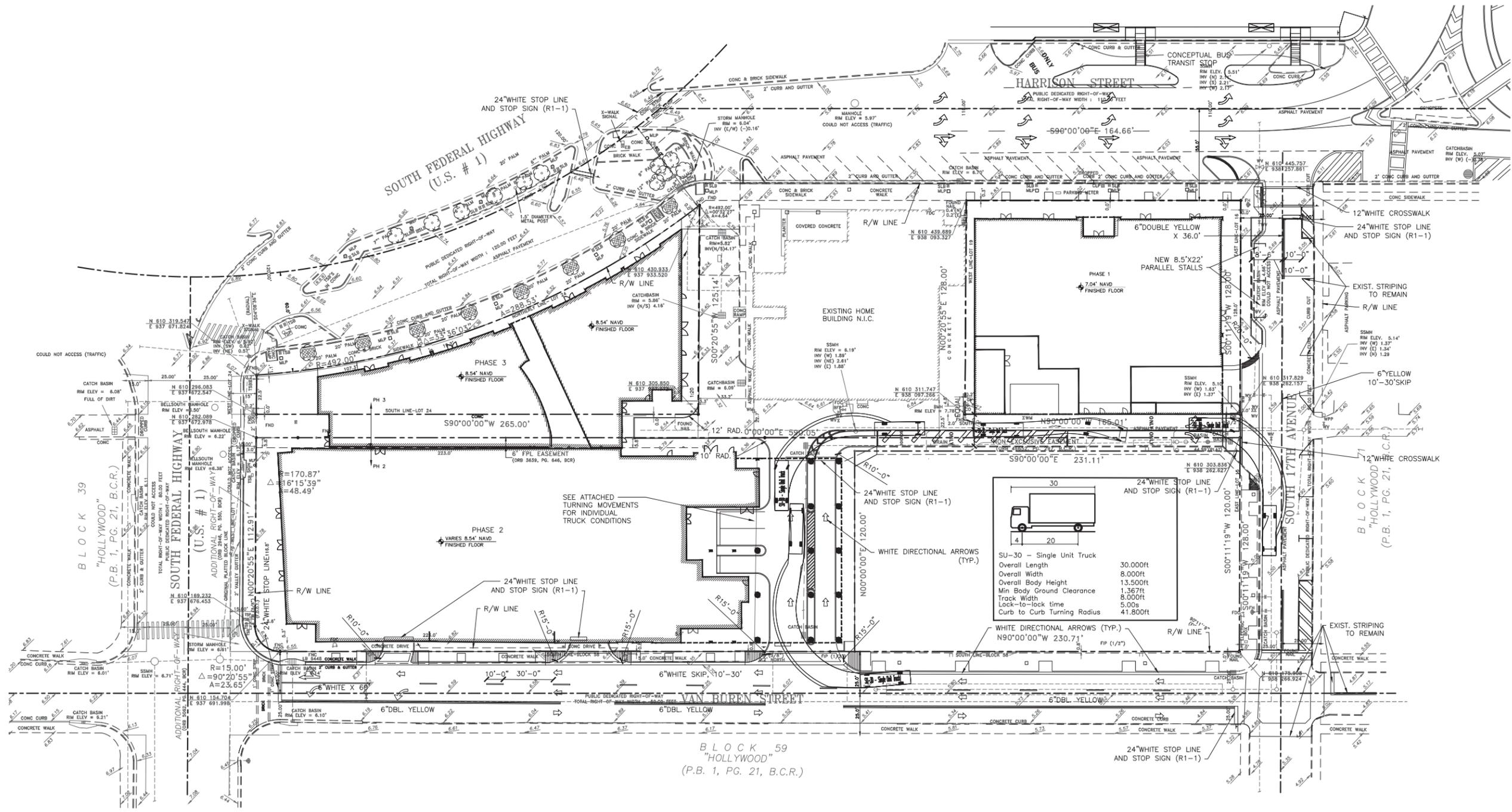
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**sheet number :** C-12

**modis** architects

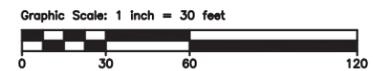
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**PAVEMENT MARKING AND SIGNAGE**  
**SU30 TRUCK SIMULATION**

SCALE 1"=30'



**LEGEND**

	EXIST. MANHOLE	P.V.C.	POLYVINYL CHLORIDE
	EXIST. GATE VALVE	H.D.P.E.	HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY	---	EXIST. PIPE
	PROP. CATCH BASIN	---	PROP. PIPE
	EXIST. CATCH BASIN	---	SURFACE FLOW LINE
	PROP. ELEVATION	R.C.P.	REINFORCED CONC. PIPE
	EXIST. ELEVATION	D.F.	DRAINFIELD
	LANDSCAPED	U.E.	UTILITY EASEMENT
	NEW OR RESTORED PAVEMENT	S.S.	SANITARY SEWER
	PAVEMENT TO BE REMOVED	R.E.	RIM ELEVATION
	NEW CONCRETE SIDEWALK	I.E.	INVERT ELEVATION AND DIRECTION
	EXIST.	(T)	THERMOPLASTIC PAINT
		BSP	BACTERIOLOGICAL SAMPLING POINT

**Louis Berger**  
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 850 948-7708  
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**RODRIGO MAZUERA, P.E.**  
 LICENSED ENGINEER NO. 68430  
 STATE OF FLORIDA

DATE:  
 LOUIS BERGER Job # 2042049

**project info :**

**Parc Place**  
 Phase 1, 2, 3  
 City of Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**

**SU-30 TRUCK SIMULATION**

**project number :** #15197

**drawing scale :** As Shown

**drawing date :** 04/26/2018

**phase :** Final TAC

**sheet number :** C-13

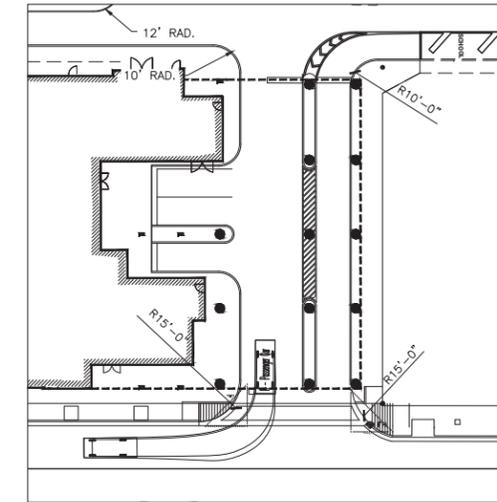
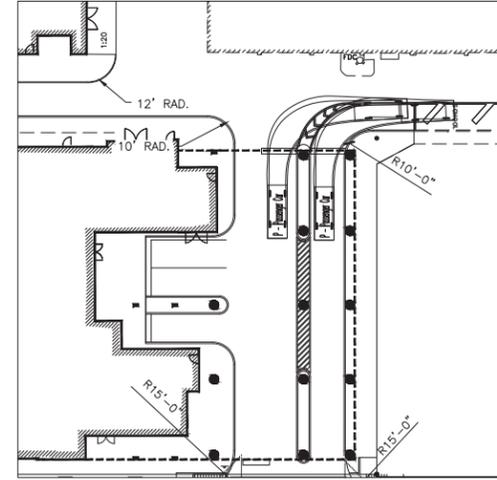
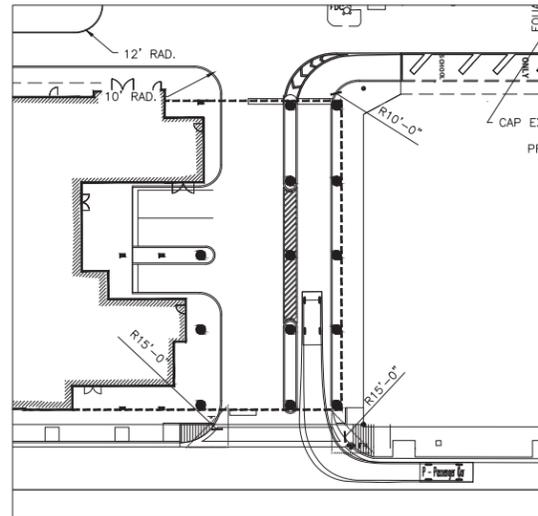
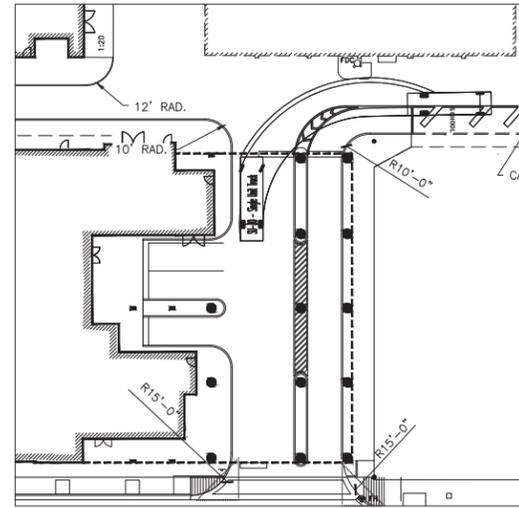
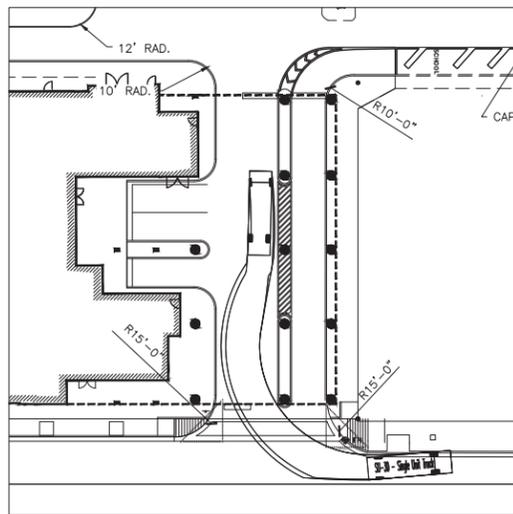
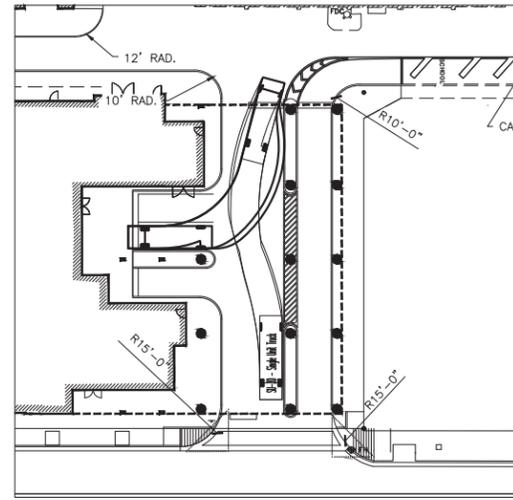
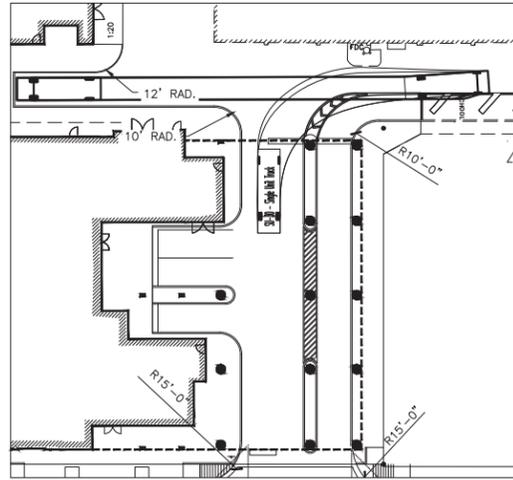
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### SU30 TRUCK SIMULATION

SCALE 1"=30'



Graphic Scale: 1 inch = 30 feet



LEGEND		
	EXIST. MANHOLE	P.V.C. POLYVINYL CHLORIDE
	EXIST. GATE VALVE	H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE
	EXIST. FIRE HYDRANT ASSEMBLY	--- EXIST. PIPE
	PROP. CATCH BASIN	--- PROP. PIPE
	EXIST. CATCH BASIN	--- SURFACE FLOW LINE
	PROP. ELEVATION	R.C.P. REINFORCED CONC. PIPE
	EXIST. ELEVATION	D.F. DRAINFIELD
	LANDSCAPED	U.E. UTILITY EASEMENT
	NEW OR RESTORED PAVEMENT	S.S. SANITARY SEWER
	PAVEMENT TO BE REMOVED	R.E. RIM ELEVATION
	NEW CONCRETE SIDEWALK	I.E. INVERT ELEVATION AND DIRECTION
	EX. EXISTING	(T) THERMOPLASTIC PAINT
		BSP BACTERIOLOGICAL SAMPLING POINT

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 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :


drawing data :  
**SU-30 TRUCK SIMULATION**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 04/26/2018  
 phase : Final TAC  
 sheet number :

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