

**ATTACHMENT II**  
Revised Application Package



May 21, 2025

City Of Hollywood  
Planning Division  
2600 Hollywood Blvd.  
Hollywood, Fl. 33020

**Re: Proposed Single Family Residence for:  
GNY USA LLC  
908 Tyler Street Hollywood, Fl. 33019**

Dear Board Members,

Attached please find the revised architectural plans for 908 Tyler Street. These updates reflect revisions to the front elevation in response to the discussions and suggestions made during the previous Historical Board meeting.

The most significant change occurs at the stair tower and the second-floor balcony. In the original submittal, the stair tower featured a large glass opening spanning from masonry wall to masonry wall, designed to allow ample natural light. The surrounding wall was intended to be smooth stucco painted in an accent color.

In the revised design, the accent color has been replaced with a wood veneer, introducing a warmer and more natural material palette. Additionally, the stair tower has been inset 12 inches from the primary façade, and the wood veneer is now framed by the masonry walls, creating greater depth and visual interest.

The stair tower window has also been redesigned. It now consists of four separate panels with black frames, offering a striking contrast to the building's main color. The window opening includes 8-inch returns on each side, allowing the wood veneer to wrap continuously around the stair tower without interruption.

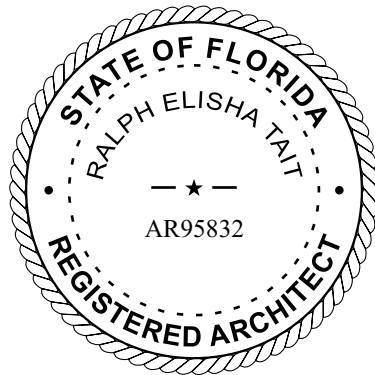
At the base of the stair tower, small-leaf Clusia hedges are specified in the landscape plan. This softens the appearance of the structure at ground level and complements the warmth of the wood veneer.

The second-floor balcony has been updated from a solid wall to an open aluminum railing. This modification, along with the introduction of the wood veneer and landscaping, helps to soften the overall appearance of the front façade. As with the stair tower, small-leaf Clusia hedges are proposed at the base to further mitigate the structure's visual mass.

We believe these revisions enhance the overall design intent and respectfully request the Board's approval of the updated plans.

Sincerely,

Ralph E Tait, R.A.  
AR95832  
President  
Ralph Tait Architect, Inc.





PROPOSED RESIDENCE for:

GNY USA LLC  
908 TYLER STREET  
HOLLYWOOD, FL 33019

SHEET NUMBER	SHEET NAME	ISSUE DATE	REV
1-GENERAL			
T-001	COVER SHEET / SHEET INDEX	07/09/24	
AS-101	ARCHITECTURAL SITE PLAN	07/09/24	3
C-01	CIVIL - EROSION CONTROL PLAN	07/09/24	
C-02	CIVIL PLAN	07/09/24	
C-03	CIVIL PLAN DETAIL	07/09/24	
EX-1	DEMOLITION PLAN	07/09/24	
EX-2	DEMOLITION PLAN - EXISTING BUILDING	07/09/24	
2-ARCHITECTURE			
A-101	FLOOR PLANS AND NOTES	07/09/24	2
A-102	ROOF PLAN AND NOTES	07/09/24	1
A-201	BUILDING ELEVATIONS	07/09/24	3
A-202	BUILDING ELEVATIONS	07/09/24	3
A-204	STREET PROFILE ELEVATION	07/09/24	1
A-303	BUILDING SECTIONS	07/09/24	3
A-304	BUILDING SECTIONS	07/09/24	3
3-LANDSCAPE			
L102	PROPOSED LANDSCAPE PLAN	07/09/24	
Grand total: 15			



1 EXISTING VIEW  
SCALE:NTS

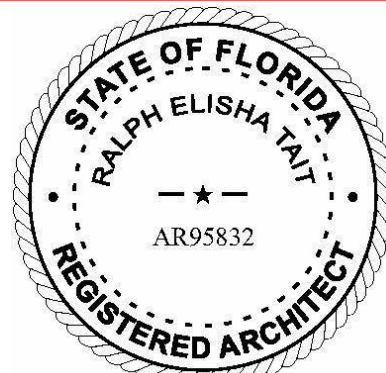


2 PROPOSED VIEW  
SCALE:NTS



ARCHITECT OF RECORD

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RALPH E. TAIT  
AR95832

DATE

ENGINEER OF RECORD

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GNY USA LLC  
908 TYLER STREET,  
HOLLYWOOD, FLORIDA 33019  
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION

DESIGN DELIVERABLE: Historical Board Submittal  
ISSUE DATE: 07/09/24

PROJECT NUMBER: 24-010  
DRAWN BY: JJ  
CHECKED BY: RET

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SHEET TITLE:  
COVER SHEET / SHEET INDEX

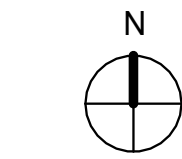
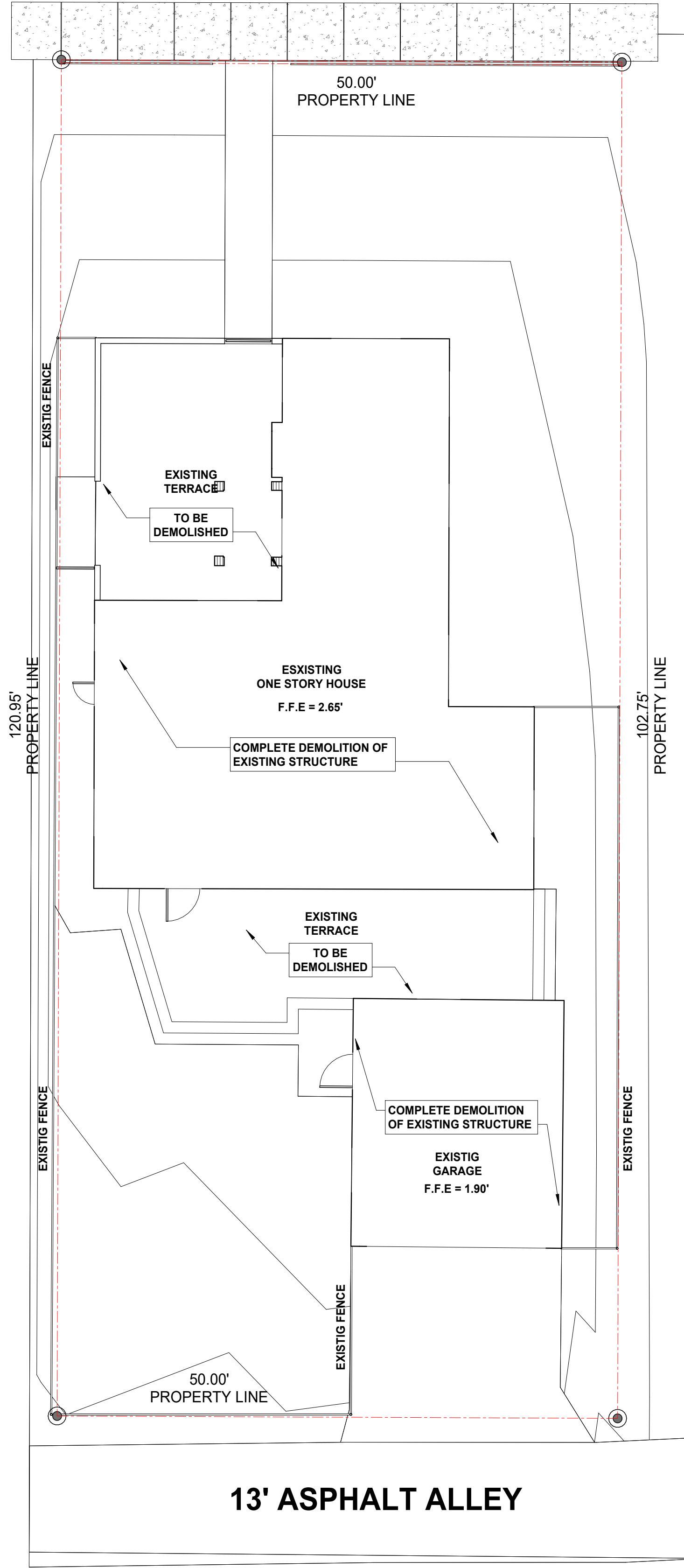
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T-001



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Residence SET 25016.rvt 5/20/2025 6:15:22 PM

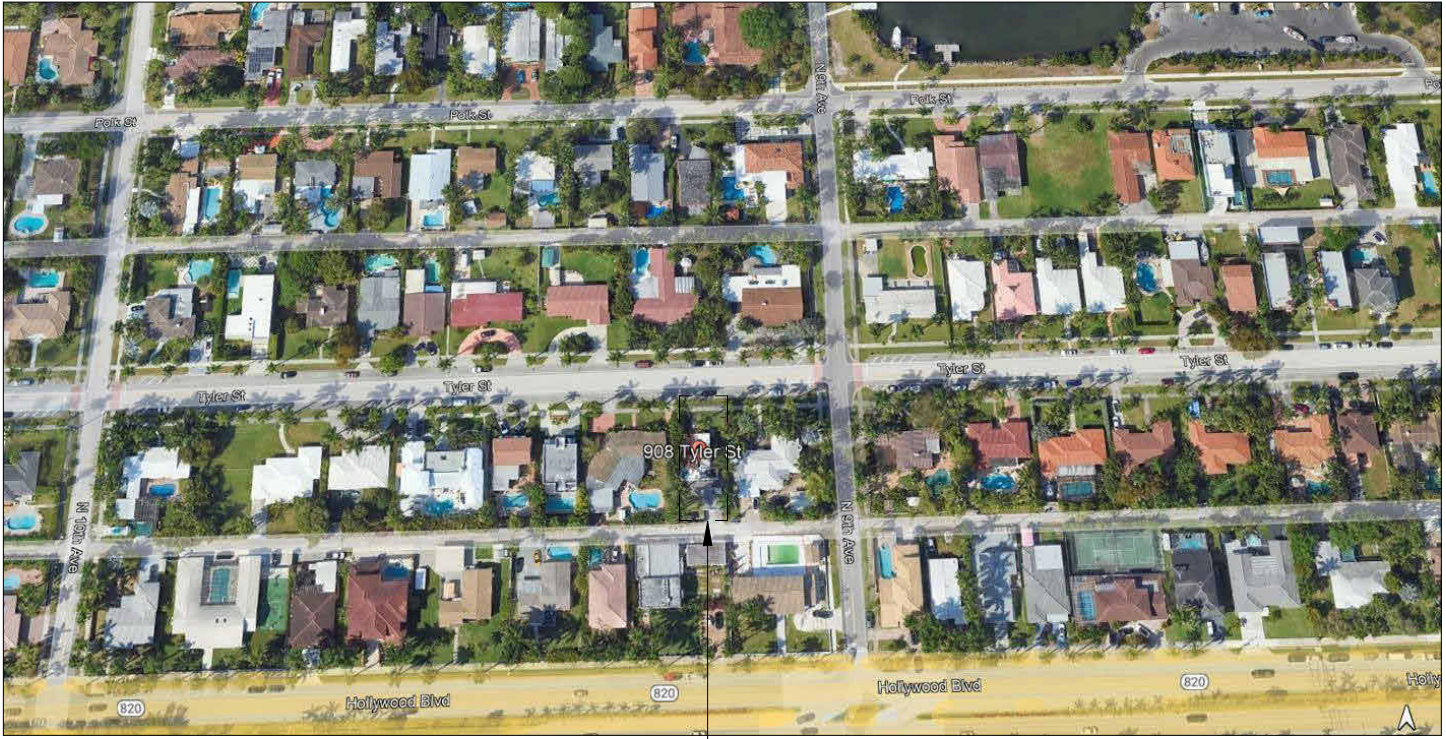
TYLER STREET



1 DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

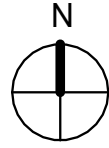
- 1) THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER WORK COINCIDENTAL HERETO. TOGETHER WITH SUCH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM. APPROVAL SHALL BE SECURED FROM THE OWNER/ PRIOR TO CUTTING/DRILLING OF ANY STRUCTURAL SUPPORT.
- 2) ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY PIECE OF EQUIPMENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITION OR AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, SPECIFICATIONS, OR OWNER'S REPRESENTATIVE.
- 3) CONTRACTOR SHALL DEMOLISH ANY INTERIOR FINISHES TO COMPLETE THE NECESSARY AND PROPOSED WORK AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, INTERIOR DESIGN DRAWINGS, SPECIFICATIONS, OR BY OWNER REPRESENTATIVES.
- 4) EXISTING FIXTURES, EQUIPMENT, AND ALL DEBRIS WHICH ARE REQUIRED TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OWNER REPRESENTATIVES PRIOR TO REMOVAL OF SUCH.
- 5) ALL ELECTRICAL AND PLUMBING LINES WHICH REQUIRE REMOVAL OR ALTERATION ARE TO BE DONE SO BY THE CONTRACTOR. LINES TO BE CAPPED AND PREPARED FOR REMOVAL OR REROUTING AS SPECIFIED ON THE PLANS.
- 6) REMOVE ALL UTILITIES IN DEMOLITION AREAS AND CONSTRUCTION AREAS IN A MANNER, AND IN THE TIME, SATISFACTORY TO THE UTILITY COMPANY DESIRED TO EFFECT THE REMOVAL OF THE MATERIALS, THEY SHALL BE PERMITTED TO DO SO.
- 7) COVER ITEMS AS SPECIFIED BY OWNER REPRESENTATIVE TO PROTECT FROM DUST AND DEBRIS.
- 8) SALVAGED MATERIALS SHALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERSHIP OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED.
- 9) WHERE EXISTING WALLS, CEILINGS, AND FIXTURES HAVE BEEN REMOVED, AREAS SHALL BE PATCHED TO MATCH EXISTING FINISHES, OR FINISHES TO BE ADDED AS PER PLANS, OR AS PER OWNER'S REP.
- 10) WHERE EXISTING WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT, OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE REPAIRED OR CLOSED UP TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK, UNLESS OTHERWISE CALLED FOR. WHERE DAMAGE IS UNREPAIRABLE, NEW ITEMS OR EQUIPMENT SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE ALL NECESSARY WATERPROOFING, FIRE STOPPING AND SEALING OF PENETRATIONS LEFT FROM REMOVED EQUIPMENT OR PRODUCED BY THIS WORK.
- 11) INTERRUPTION OF EXISTING SERVICES AND/OR OPERATION OF FACILITIES SHALL BE KEPT TO A MINIMUM. CONTRACTOR SHALL FURNISH ALL MATERIALS REQUIRED WHENEVER TEMPORARY CONNECTIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE. INTERRUPTION OF EXISTING SERVICES, THE INSTALLATION OF TEMPORARY FACILITIES, AND THE WORK OF MAKING FINAL CONNECTIONS TO THE NEW WORK SHALL BE DONE ONLY AT SUCH TIMES PERMITTED AND SCHEDULED IN ADVANCE BY THE ARCHITECT/OWNER WITHOUT ADDITIONAL COST. CARE MUST BE USED IN REMOVING SERVICES TO AREAS BEING DEMOLISHED SO THAT SERVICES TO OTHER AREAS WHICH MIGHT BE SERVED THROUGH THESE AREAS WILL NOT BE INTERRUPTED.
- 12) ALL EXIST. GAS LINES WHICH REQUIRE REMOVAL OR ALTERATION SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR LICENSED BY THE STATE OF FLORIDA TO PERFORM SUCH WORK.

2 GENERAL DEMO NOTE  
SCALE: 1/4" = 1'-0"



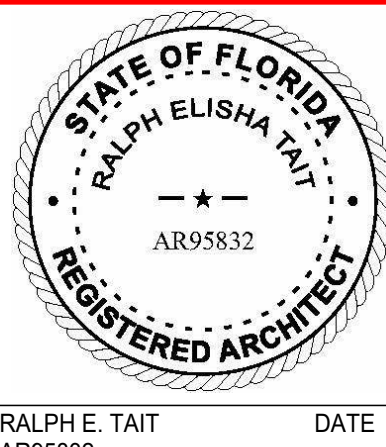
3 LOCATION MAP.  
SCALE: N.T.S.

PROJECT LOCATION



ARCHITECT OF RECORD

11820 Miramar Parkway, Suite 121  
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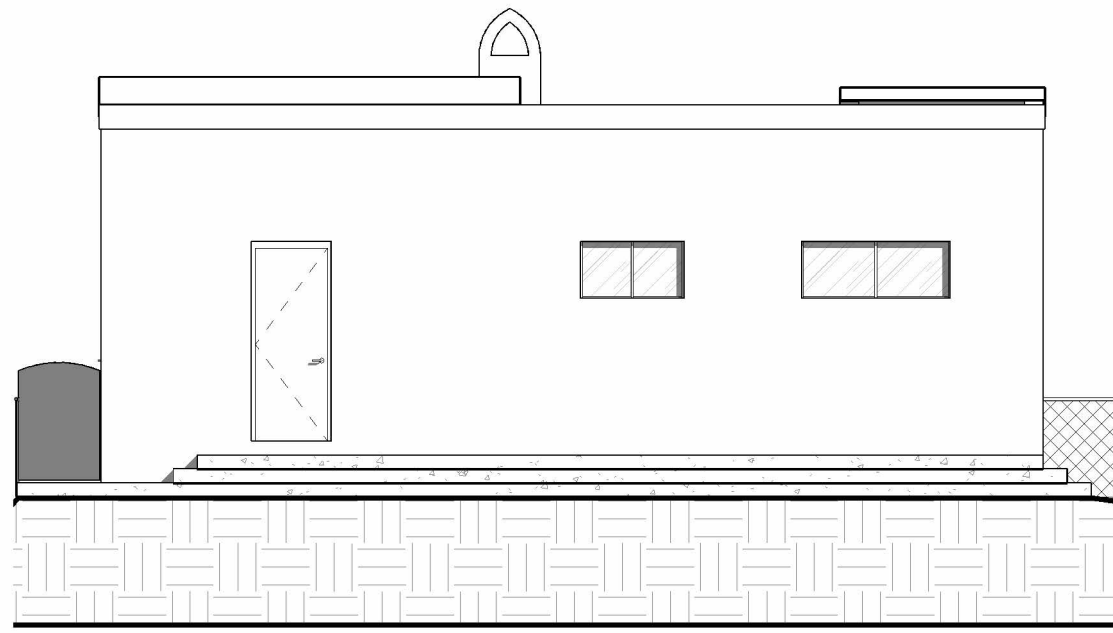
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DEMOLITION  
PLAN

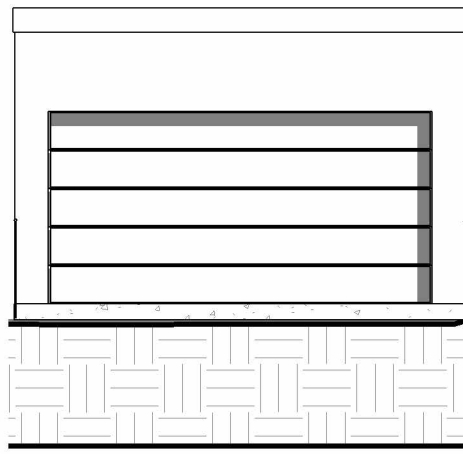
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EX-1

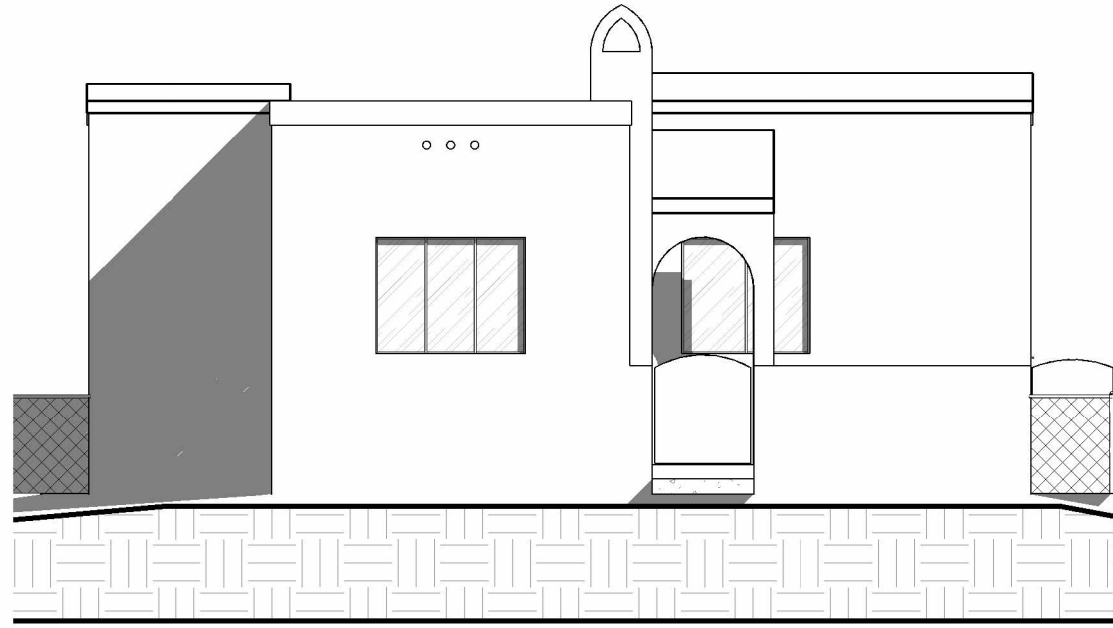




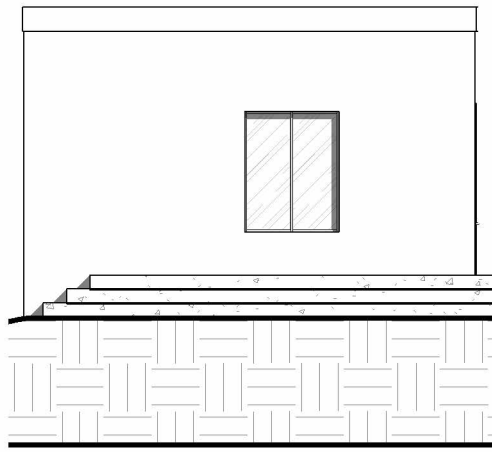
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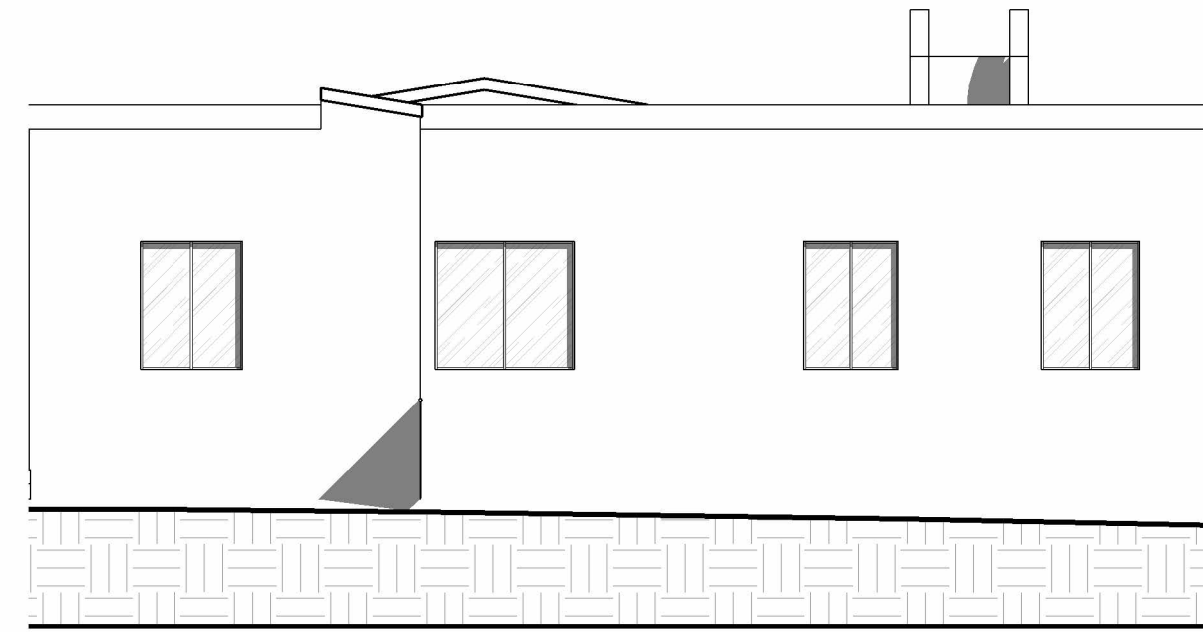
6 EXISTING GARAGE NORTH  
SCALE: 1/8" = 1'-0"



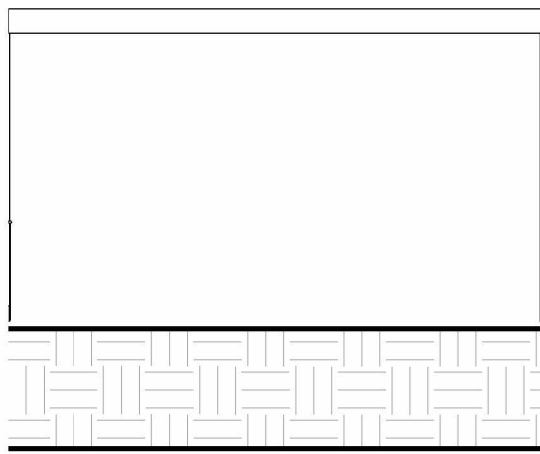
8 EXISTING ELEVATION SOUTH  
SCALE: 1/8" = 1'-0"



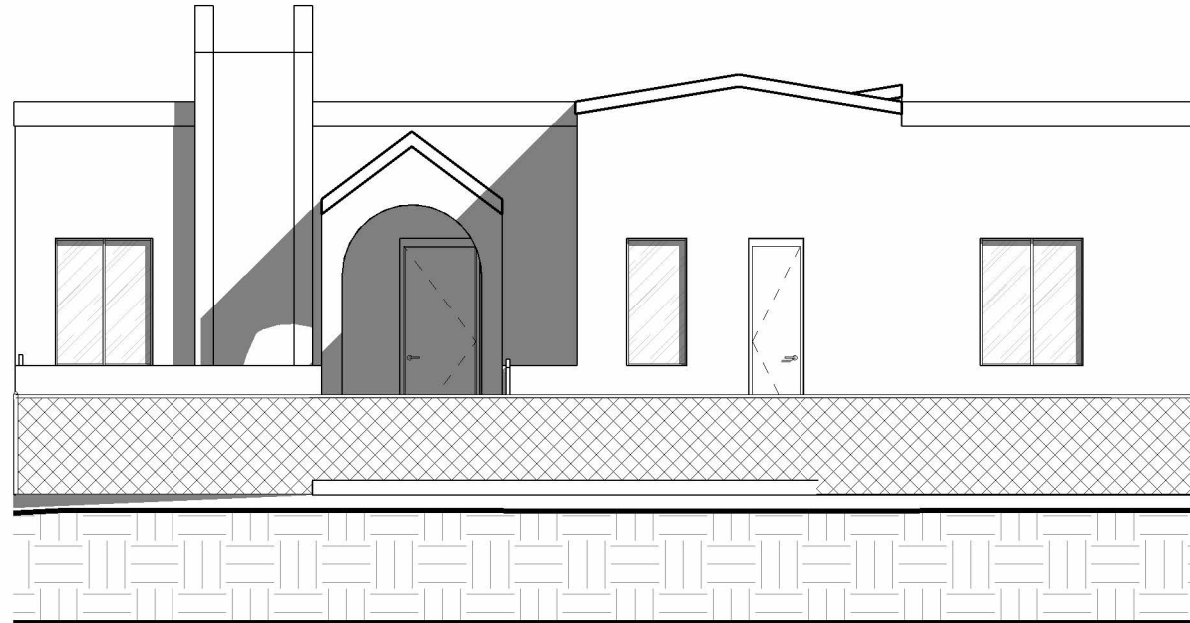
5 EXISTING GARAGE SOUTH  
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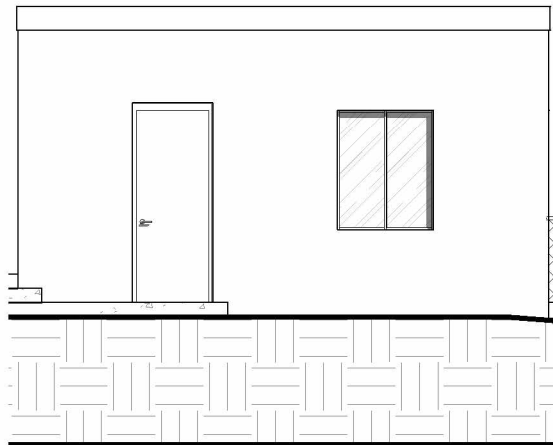
3 EXISTING ELEVATION WEST  
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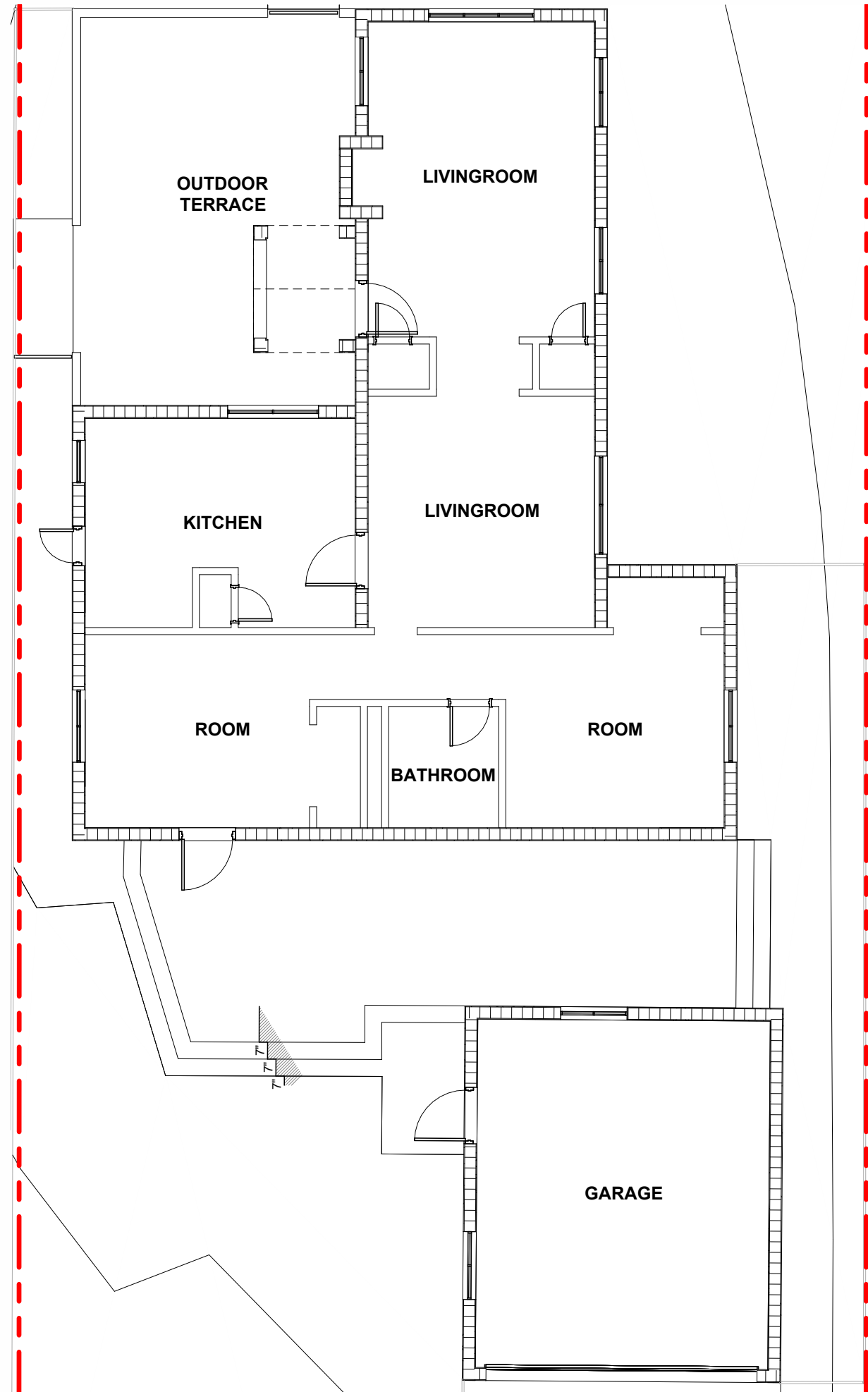
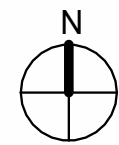
4 EXISTING GARAGE WEST  
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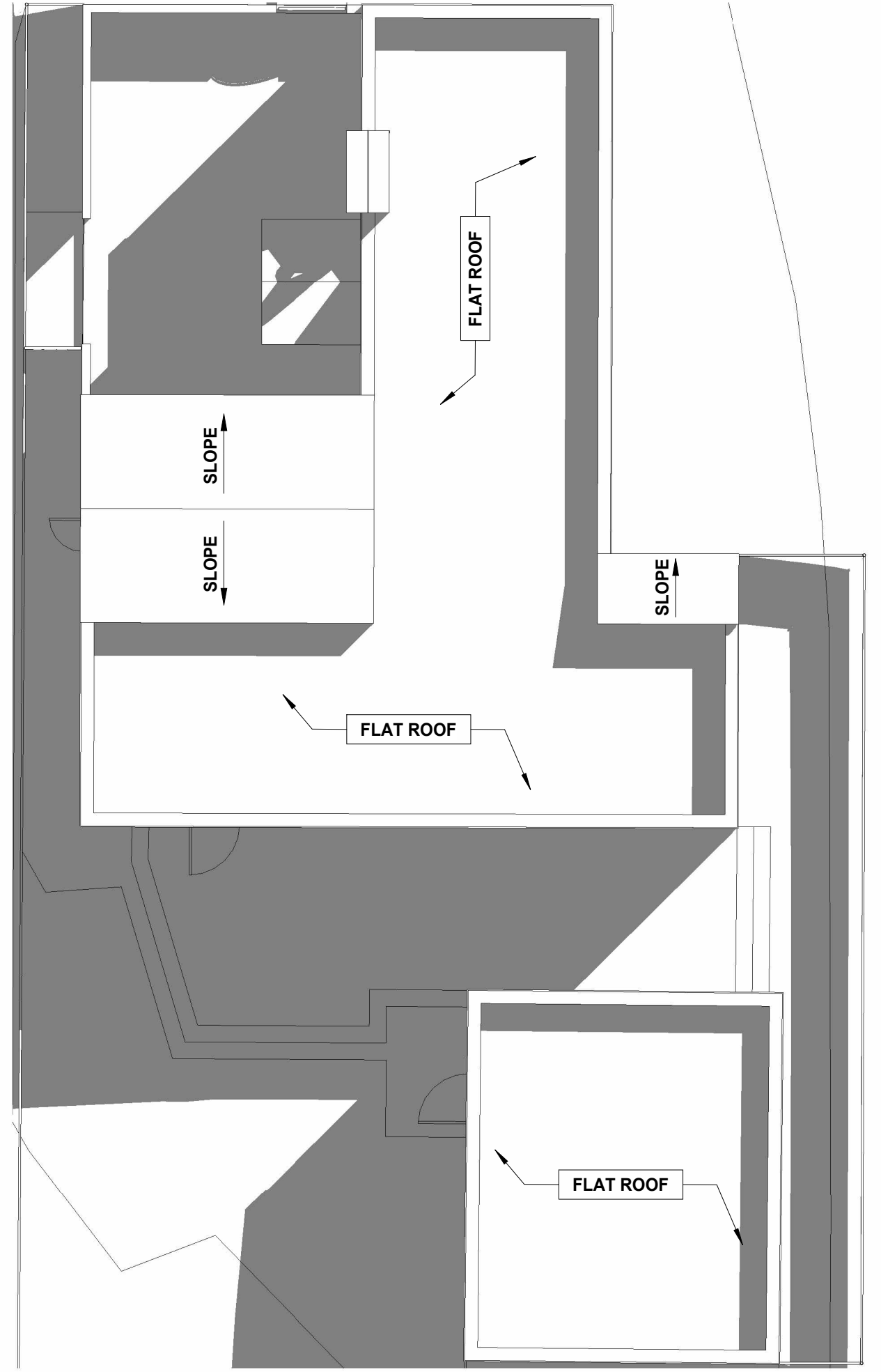
10 EXISTING ELEVATION EAST  
SCALE: 1/8" = 1'-0"



7 EXISTING GARAGE EAST  
SCALE: 1/8" = 1'-0"



2 EXISTING FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 EXISTING ROOF PLAN  
SCALE: 1/8" = 1'-0"

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ARCHITECT OF RECORD

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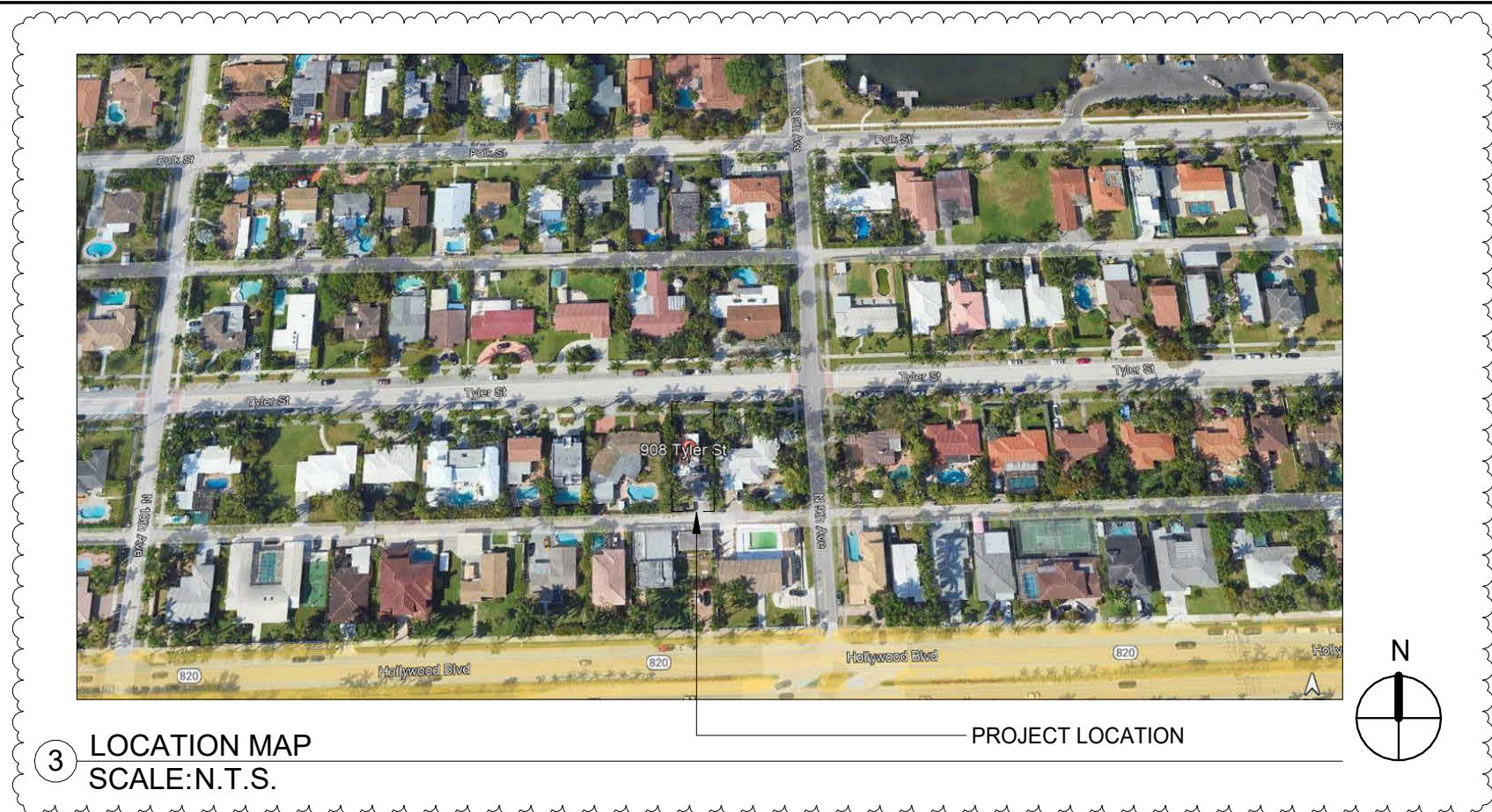
PROPOSED RESIDENCE for:  
GNY USA LLC  
908 TYLER STREET,  
HOLLYWOOD, FLORIDA 33019  
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION

DESIGN DELIVERABLE: Historical Board Submittal  
ISSUE DATE: 07/09/24  
PROJECT NUMBER: 24-010  
DRAWN BY: JS  
CHECKED BY: RET  
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SHEET TITLE:  
**DEMOLITION  
PLAN -  
EXISTING  
BUILDING**  
SHEET NUMBER:  
**EX-2**





LEGAL DESCRIPTION

LOT 18, BLOCK 63, "HOLLYWOOD LAKES SECTION", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, OF BROWARD COUNTY, FLORIDA, SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS:  
908 TYLER STREET HOLLYWOOD, FL 33019

FOLIO NUMBER: 5142 14 02 2570

PROJECT DATA

SCOPE OF WORK:  
DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE FOR PROPOSED TWO-STORY SINGLE FAMILY RESIDENCE.

OCCUPANCY TYPE:  
R-3 (RESIDENTIAL) AS PER F.B.C. - 8TH EDITION 2023 BUILDING

CONSTRUCTION TYPE:  
TYPE V-B AS PER F.B.C. - 8TH EDITION 2023 BUILDING

FLOOD ZONE INFORMATION:

HOLLYWOOD  
BROWARD COUNTY, FLORIDA.  
125113  
ZONE AE  
BASE FLOOD ELEVATION = 7  
PANEL No. 12011 CO 588 J  
FIRM DATE - 07/31/2024

PARKING CALCULATION:

TOTAL A/C AREA: 2,804 SQ. FT.  
FIRST 2,000 S.F. = 2 PARKING SPACES  
REMAINING 804 S.F. = 2 PARKING SPACES  
TOTAL REQ'D PARKING = 4 PARKING SPACES  
TOTAL PROVIDED PARKING = 4 PARKING SPACES

FLOOD VENT CALCULATION

ENCLOSED GARAGE AREA: 365 S.F.  
VENT #1: PROVIDE SMART VENT (INSULATED)  
MODEL # 1540-520  
FLOOD COVERAGE AREA = 200 S.F.  
VENT #2: PROVIDE SMART VENT (INSULATED)  
MODEL # 1540-524  
FLOOD COVERAGE AREA = 200 S.F.  
TOTAL FLOOD COVERAGE AREA PROVIDED BY VENT #1 & #2 400 S.F. > 365 S.F.

THE BOTTOM OF THE VENTS MUST NOT EXCEED 12" ABOVE THE HIGHEST ADJACENT GRADE.

PREVIOUS AREA: 2,528 SQ. FT. OR 41.9%  
IMPERVIOUS AREA: 3,519 SQ. FT. OR 58.1%

BUILDING DATA

FIRST FLOOR A/C SPACE: 1,294 SQ. FT.  
SECOND FLOOR A/C SPACE: 1,510 SQ. FT.  
GARAGE (NON A/C SPACE) 365 SQ. FT.

TOTAL AREA A/C SPACE: 2,804 SQ. FT.  
TOTAL BUILDING AREA: 3,169 SQ. FT.

ENERGY CODE AND GREEN BUILDING COMPLIANCE  
THE FOLLOWING (6) ITEMS ARE INCLUDED TO COMPLY.

- 1- ENERGY EFFICIENT LOW E WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).
- 2- ENERGY EFFICIENT DOORS. ALL EXTERIOR DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.
- 3- PROGRAMMABLE THERMOSTATS.
- 4- DUAL FLUSH TOILETS. THESE TOILETS WHEN FLUSHED USE LESS THAN ONE GALLON TO FLUSH LIQUID, AND 1.6 GALLONS OR LESS FOR SOLIDS (USGBC). PLANS SHALL INDICATE DUAL FLUSH TOILETS. SYSTEM MUST BE VERIFIED BY THE PLUMBING INSPECTOR AT FINAL INSPECTION.
- 5- ALL ENERGY EFFICIENT OUTDOOR LIGHTING LAMPS TO BE LED. ALL ENERGY EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY THE ELECTRICAL INSPECTOR AT FINAL INSPECTION.
- 6- ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE.

ZONING DATA

	REQUIRED/ ALLOWED	PROVIDED
RS-6		
LOT AREA	6,000 SQ. FT. MIN.	6,047 SQ. FT.
LOT WIDTH	60 FT. MIN.	50 FT.
LOT COVERAGE	N/A	2,207 / 6,047.5 SQ FT. OR 36.4% OF S.A.
FLOOR LOT RATIO	N/A	N/A
FRONTAGE AT THE FRONT SETBACK	N/A	N/A
GREEN SPACE	N/A	2,528.5 SQ. FT. OR 41.9% OF S.A.
POOLS / POOL DECK	N/A	626 SQ. FT. / 6,047.5 SQ. FT. = 10.4% OF S.A.
VUA + PEDESTRIAN WALKS	N/A	686 SQ. FT. OR 11.3% OF SITE AREA.
DENSITY	N/A	1 SINGLE FAMILY RESIDENCE

BUILDINGS SETBACK

PRINCIPAL FRONT	25FT MIN.	25 FT
SECONDARY FRONT	N/A	N/A
SIDE	7'-6" FT. MIN.	7'-6"
REAR	15% OF LOT DEPTH 18'-1" MIN.	30'-0" TO GARAGE

BUILDING HEIGHT

PRINCIPAL BUILDING	30 FT OR 2 STORY	23'-0" TOP OF FLAT ROOF DECK
OUTBUILDING	N/A	N/A

PARKING

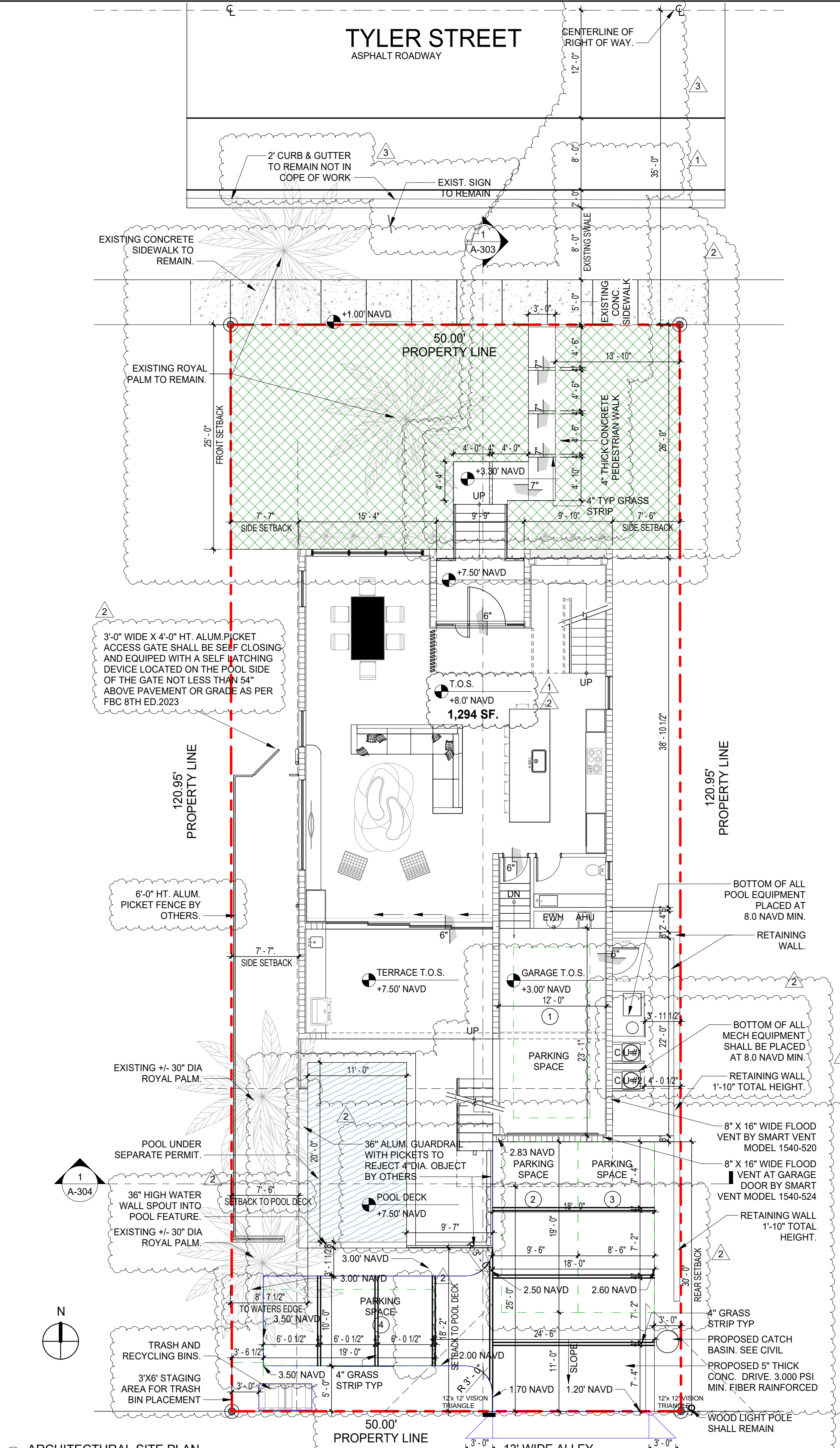
4 PARKING SPACE	4 PARKING SPACE GARAGE & SURFACE
-----------------	----------------------------------

FRONT YARD REQD. GREEN SPACE:

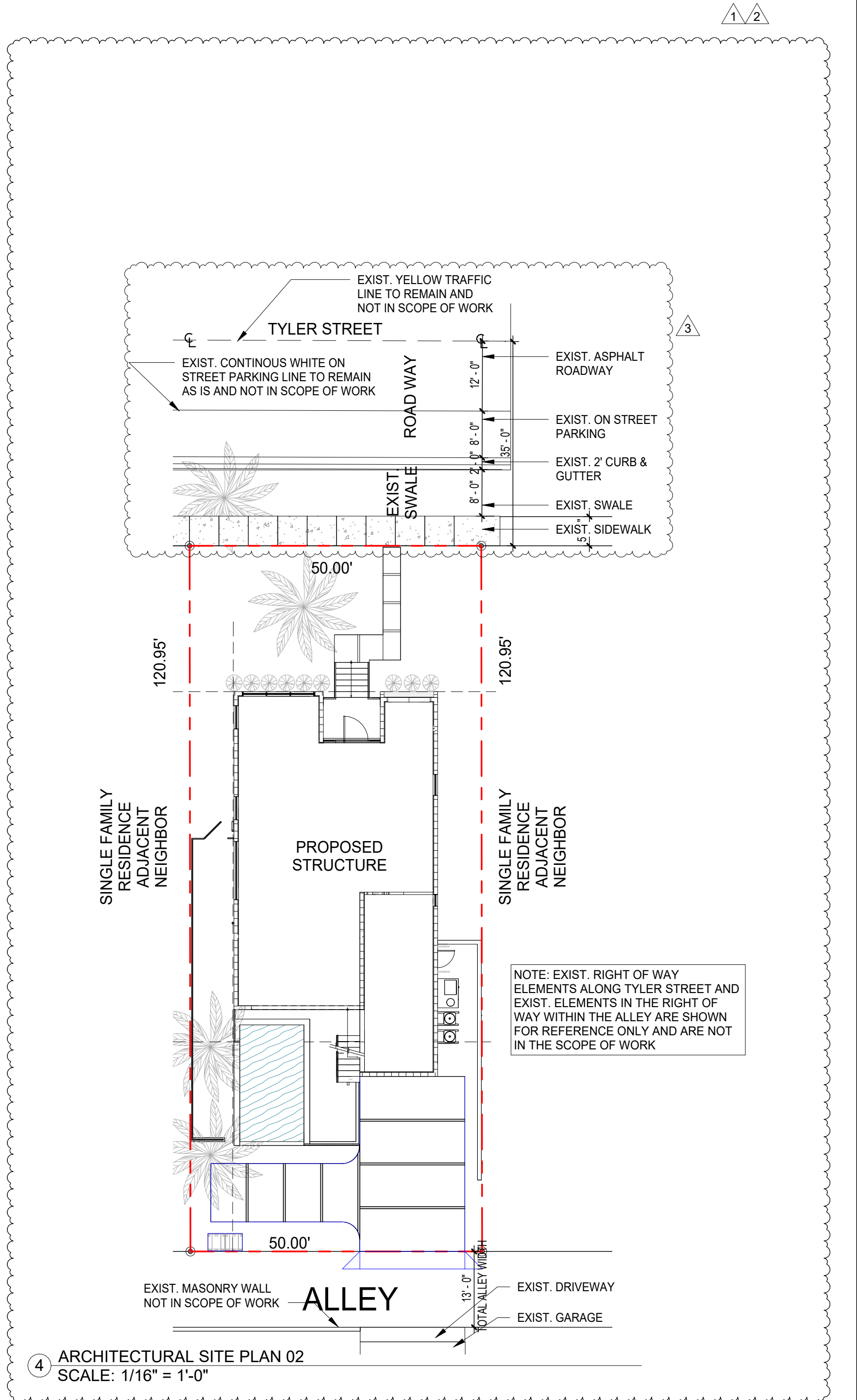
50 FT. x 25 FT. = 1,250 SQ. FT. (20) = 250 SQ. FT. MIN. LANDSCAPE  
PERVIOUS OPEN SPACES REQD.

1,108.42 SQ. FT. OR 88.6% PERVIOUS OPEN SPACE PROVIDED

2 SITE DATA  
SCALE: N.T.S.



1 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"



4 ARCHITECTURAL SITE PLAN 02  
SCALE: 1/16" = 1'-0"

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**ARCHITECT OF RECORD**

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RALPH E. TAIT  
DATE  
AR95832

**ENGINEER OF RECORD**

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**GNY USA LLC**

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**CLIENT: GNY USA LLC**

REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS
2	2/5/25	STAFF COMMENTS
3	4/4/25	STAFF COMMENTS

DESIGN DELIVERABLE: Historical Board Submittal

ISSUE DATE: 07/09/24

PROJECT NUMBER: 24-010

DRAWN BY: JJ

CHECKED BY: RET

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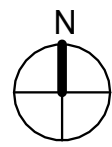
**ARCHITECTURAL  
SITE PLAN**

SHEET NUMBER:  
**AS-101**

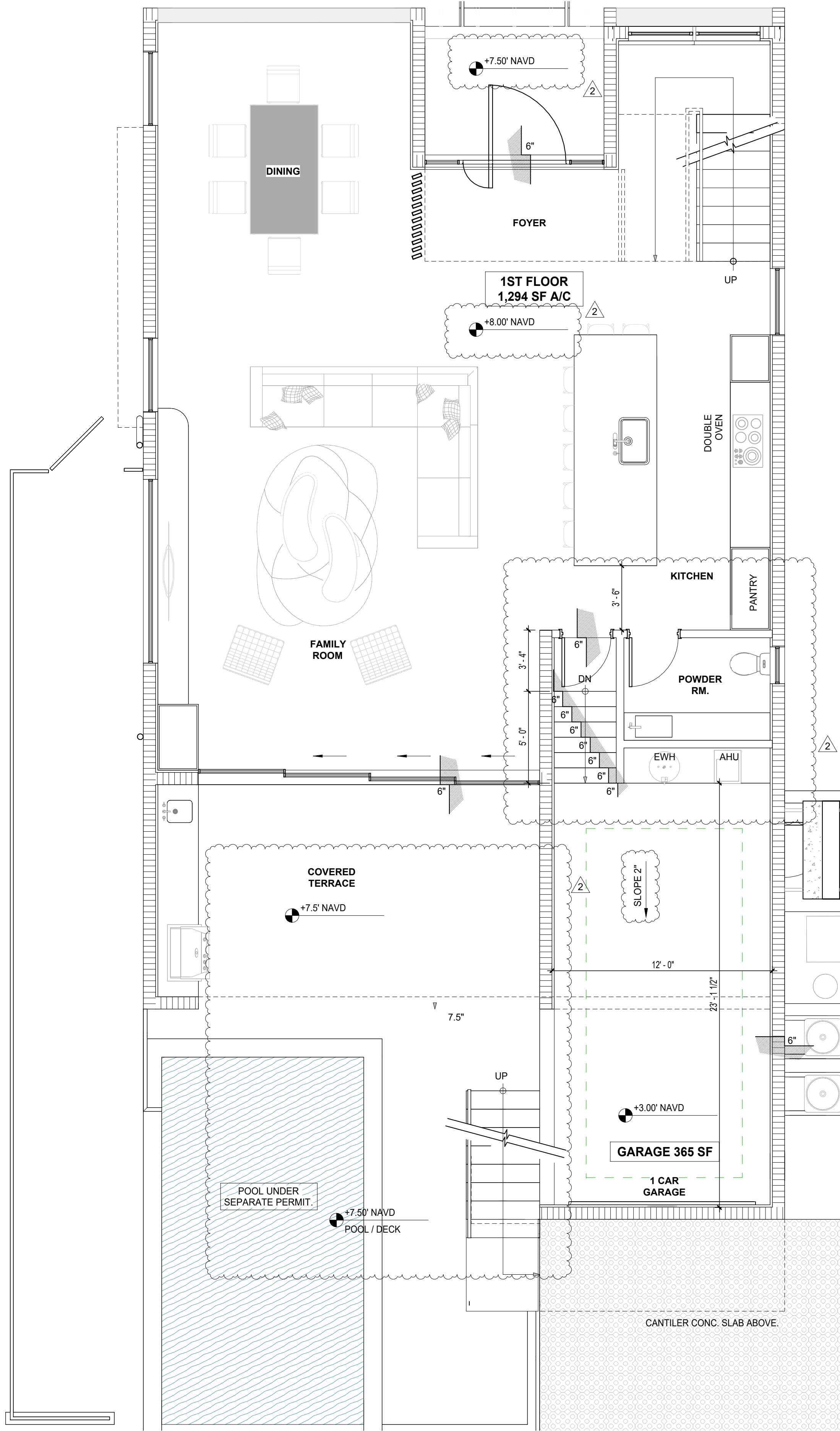


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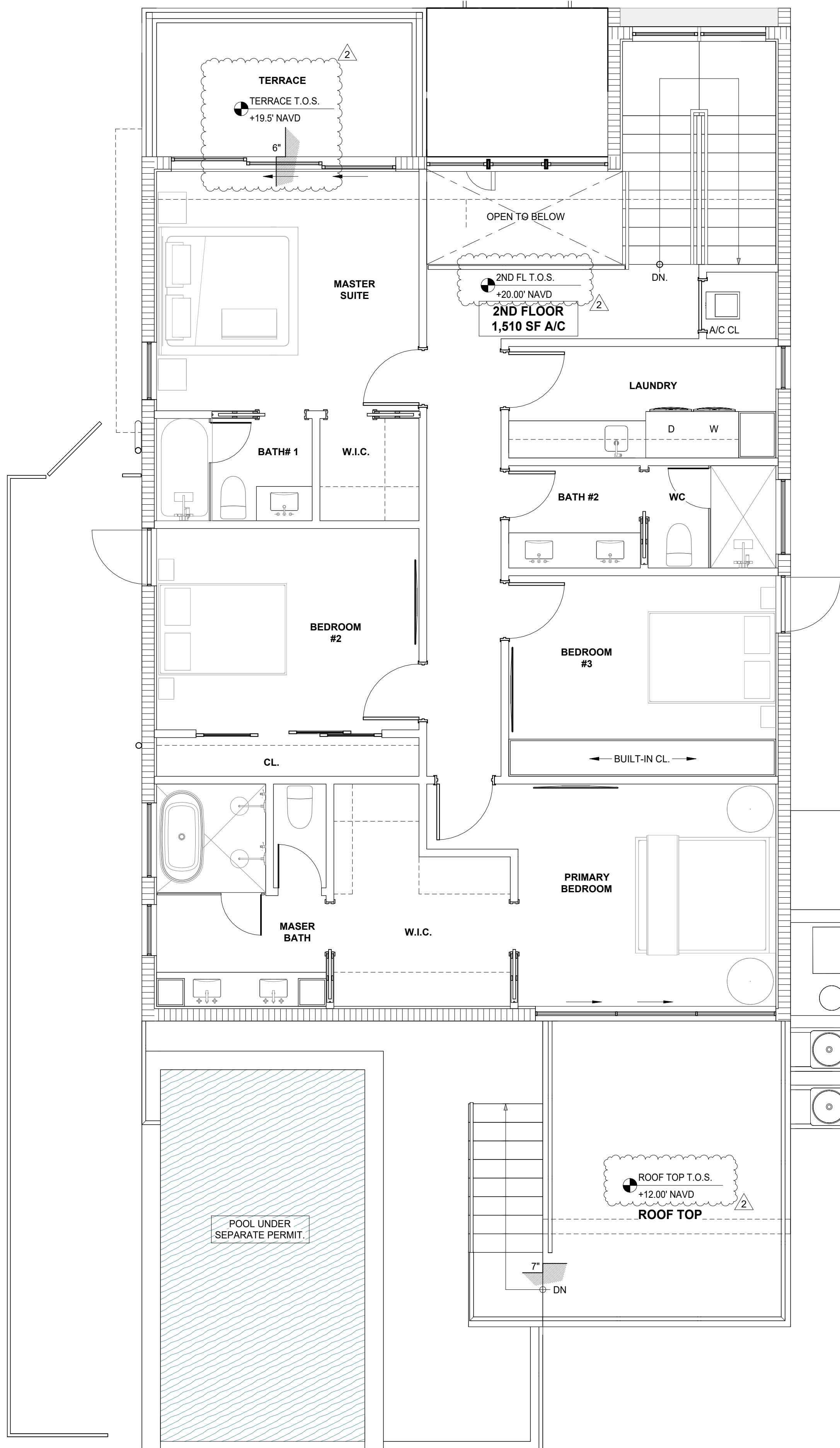
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1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ARCHITECT OF RECORD

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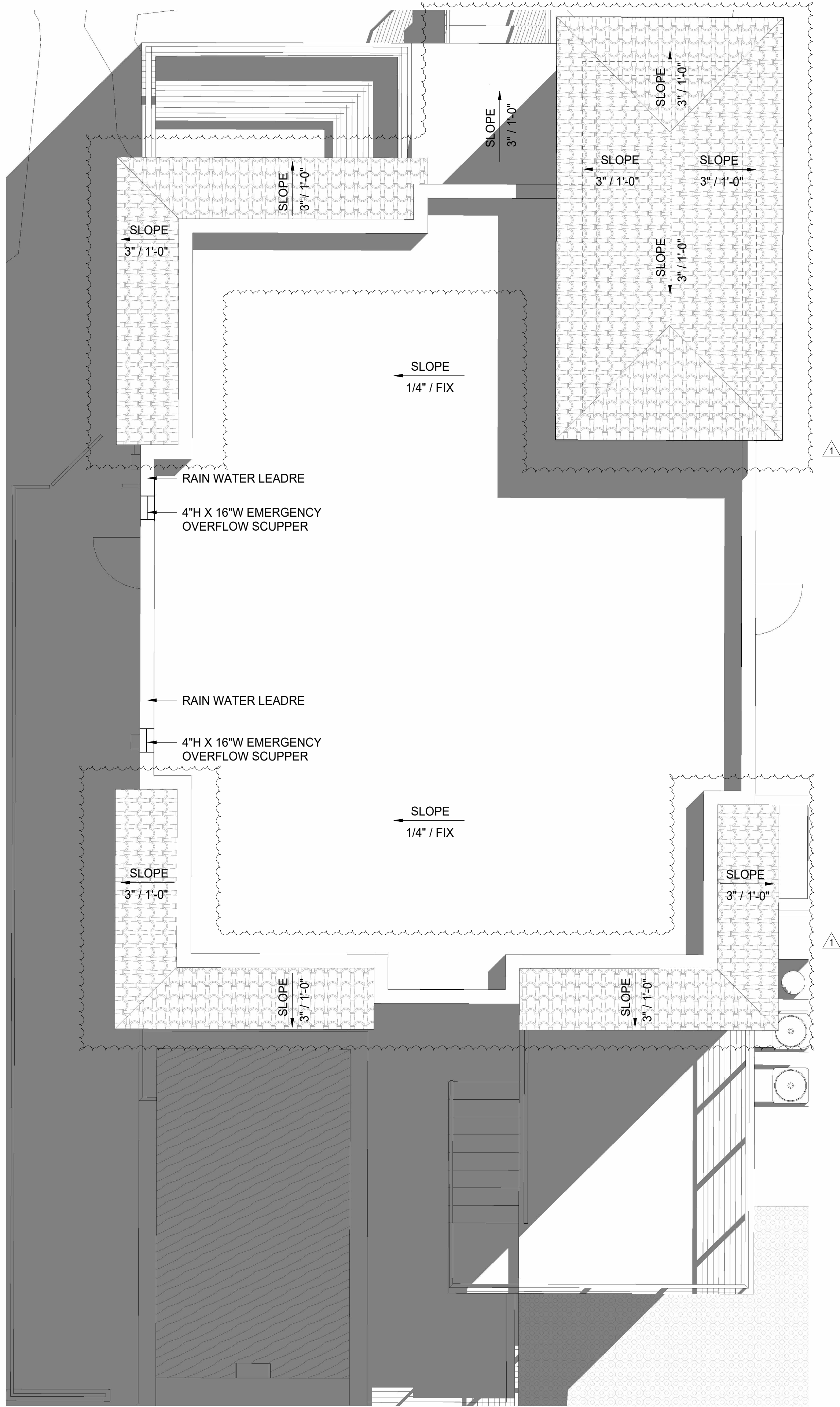
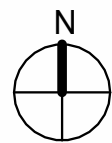
SHEET TITLE:  
FLOOR PLANS  
AND NOTES

SHEET NUMBER:  
A-101



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Residence SET 250516.rvt 5/20/2025 6:15:51 PM



1 ROOF PLAN  
SCALE: 1/4" = 1'-0"



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DRAWN BY: JJ  
CHECKED BY: RET

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SHEET TITLE:  
ROOF PLAN  
AND NOTES

SHEET NUMBER:  
A-102



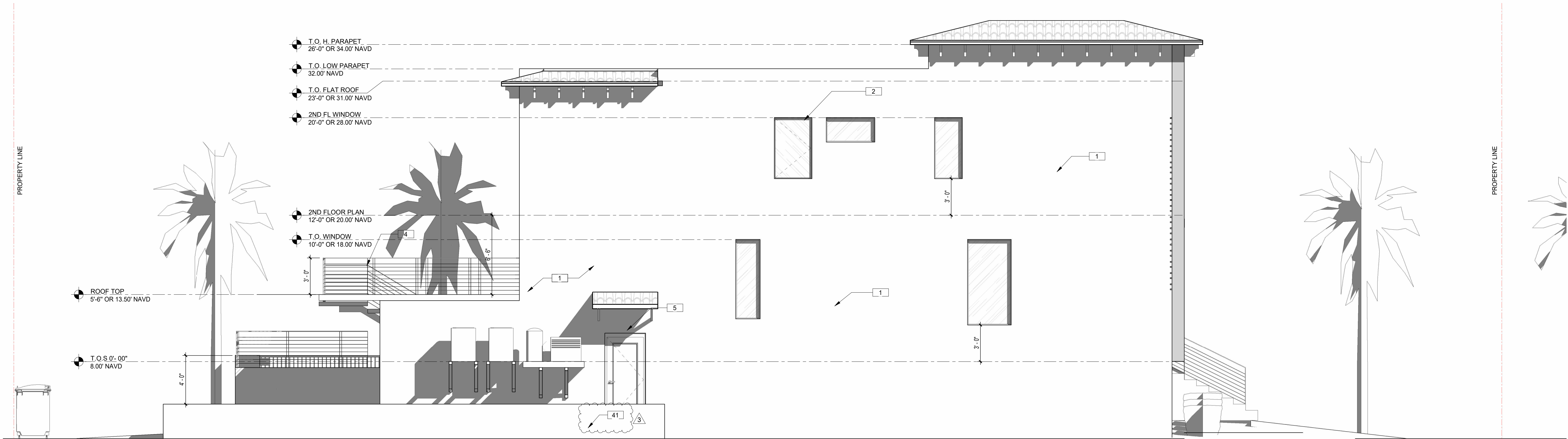


2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

MARK	MODEL	MANUFACTURER	FINISH	LOCATION	REMARKS
A	SW7004 SNOWBOUND	SHERWIN WILLIAMS	EXTERIOR SATIN	ALL SMOOTH STUCCO SURFACES	
B	WOOD VENEER WITH IPE OIL TO SEAL	TBD	MATTE FINISH	STAIR TOWER	
C	HARDWOOD W/ IPE OIL TO SEAL	TBD	MATTE FINISH	UNDERSIDE OF ROOF OVERHANG	
D	ENTRY DOOR	TBD	WOODLIKE ROYAL WALNUT	ENTRY PIVOT DOOR	
E	WINDOWS / DOORS	TBD	BLACK FRAME / CLEAR GLASS	ALL WINDOWS AND DOORS EXCEPT ENTRY DOOR	
F	TILE ROOF	TBD		PITCHED ROOF	
G	ALUMINUM RAILING	CUSTOM	FINISH TO MATCH WINDOW FRAMES BLACK		
H	HARDWOOD W/ IPE OIL TO SEAL	TBD	MATTE FINISH	DECORATIVE WOOD RAFTERS	
I	ALUM. RAIN GUTTERS & DOWNSPOUT	CUSTOM	BLACK PAINT		

MARK	KEYNOTE TEXT
1	5/8" SMOOTH STUCCO ON 8" CMU. FINISH TO BE SELECTED BY OWNER.
2	IMPACT RESISTANT WINDOWS / DOORS (TYP).
4	ALUMINUM RAILING BY OTHERS. BLACK FINISH
5	1X T&G WOOD SOFFIT STAINED.
6	5/8" SMOOTH STUCCO ON 8" CMU. W/1/2" HORIZONTAL STUCCO REVEAL SPACED EQUALLY @ +/- 6.00" O.C BY PLASTIC COMPONENTS OR APPROVED EQUAL.
41	RETAINING WALL 1'-10" TOTAL HEIGHT.

3 FINISH SCHEDULE.  
SCALE: NTS



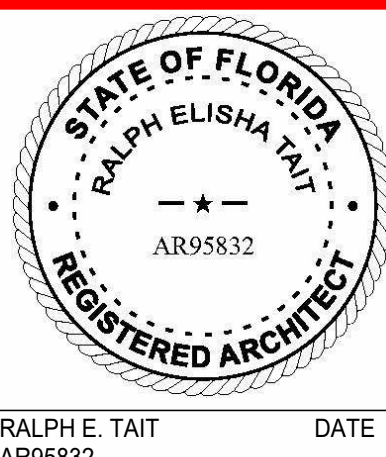
1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

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ARCHITECT OF RECORD

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RALPH E. TAIT  
AR95832  
DATE

ENGINEER OF RECORD

PROPOSED RESIDENCE for:  
GNY USA LLC  
908 TYLER STREET,  
HOLLYWOOD, FLORIDA 33019  
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS
2	2/5/25	STAFF COMMENTS
3	4/4/25	STAFF COMMENTS

DESIGN DELIVERABLE: Historical Board Submittal  
ISSUE DATE: 07/09/24

PROJECT NUMBER: 24-010  
DRAWN BY: JJ  
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SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**A-201**



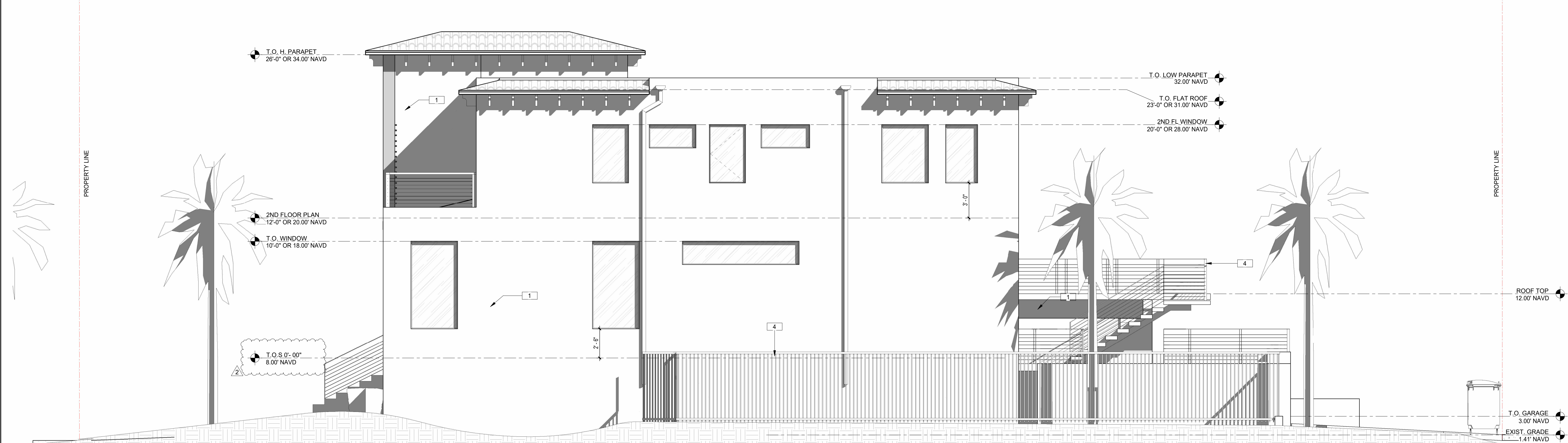


2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

MARK	MODEL	MANUFACTURER	FINISH	LOCATION	REMARKS
A	SW7004 SNOWBOUND	SHERWIN WILLIAMS	EXTERIOR SATIN	ALL SMOOTH STUCCO SURFACES	
B	WOOD VENEER W/ IPE OIL TO SEAL	TBD	MATTE FINISH	STAIR TOWER	
C	HARDWOOD W/ IPE OIL TO SEAL	TBD	MATTE FINISH	UNDERSIDE OF ROOF OVERHANG	
D	ENTRY DOOR	TBD	WOODLIKE ROYAL WALNUT	ENTRY PIVOT DOOR	
E	WINDOWS / DOORS	TBD	BLACK FRAME / CLEAR GLASS	ALL WINDOWS AND DOORS EXCEPT ENTRY DOOR	
F	TILE ROOF	TBD		PITCHED ROOF	
G	ALUMINUM RAILING	CUSTOM	FINISH TO MATCH WINDOW FRAMES BLACK		
H	HARDWOOD W/ IPE OIL TO SEAL	TBD	MATTE FINISH	DECORATIVE WOOD RAFTERS	
I	ALUM. RAIN GUTTERS & DOWNSPOUT	CUSTOM	BLACK PAINT		

3 FINISH SCHEDULE  
SCALE: NTS

MARK	KEYNOTE TEXT
1	5/8" SMOOTH STUCCO ON 8" CMU. FINISH TO BE SELECTED BY OWNER.
2	IMPACT RESISTANT WINDOWS / DOORS (TYP).
3	IMPACT RESISTANT STEEL GARAGE DOOR. TO MATCH BUILDING COLOR. SNOWBOUND COLOR.
4	ALUMINUM RAILING BY OTHERS. BLACK FINISH
41	RETAINING WALL 1'-10" TOTAL HEIGHT.



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



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ENGINEER OF RECORD

**PROPOSED RESIDENCE for:**

GNY USA LLC

**908 TYLER STREET,  
HOLLYWOOD, FLORIDA 33019**

CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS
2	2/5/25	STAFF COMMENTS
3	4/4/25	STAFF COMMENTS

DESIGN DELIVERABLE: Historical Board Submittal

ISSUE DATE: 07/09/24

PROJECT NUMBER: 24-010

DRAWN BY: JJ

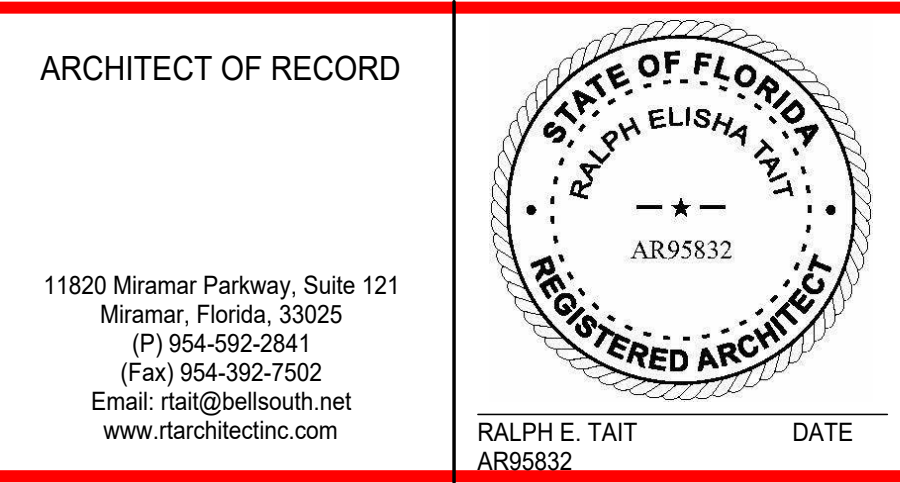
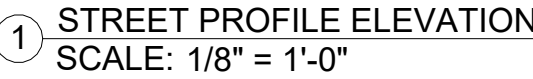
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SHEET TITLE:  
**BUILDING ELEVATIONS**

SHEET NUMBER:  
**A-202**





ENGINEER OF RECORD		
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PROPOSED RESIDENCE for:

GNY USA LLC

**908 TYLER STREET,  
HOLLYWOOD, FLORIDA 33019**

CLIENT: GNY USA LLC

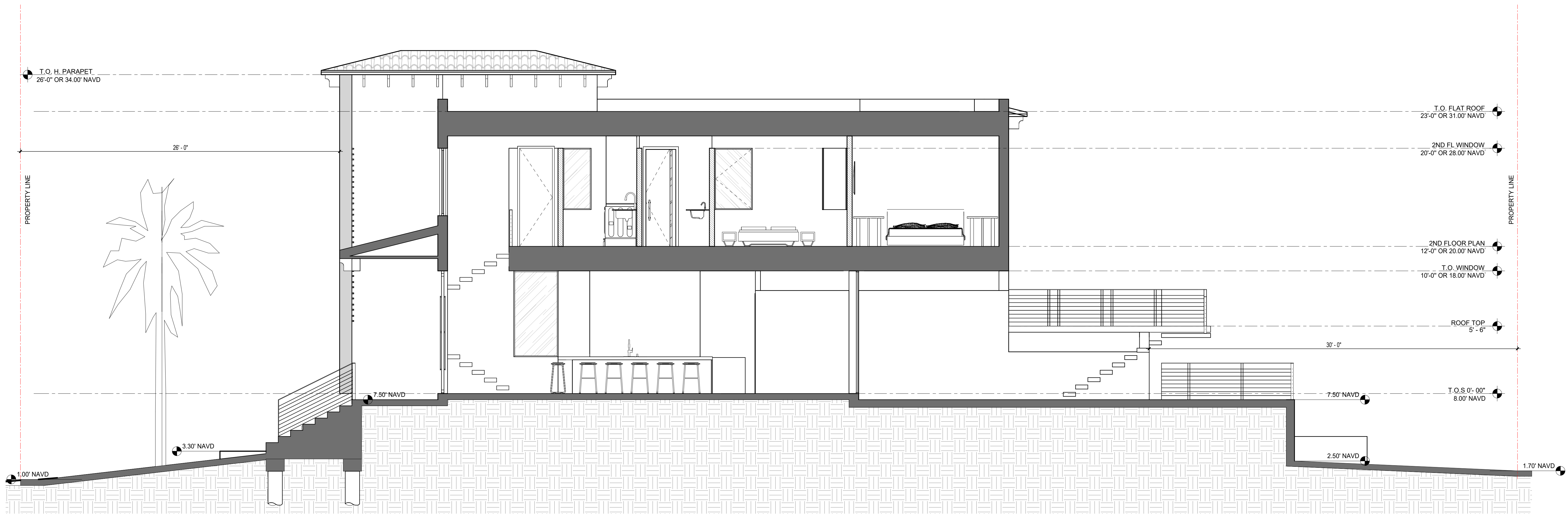
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Residence - SET.rvt 5/20/2025 6:16:23 PM

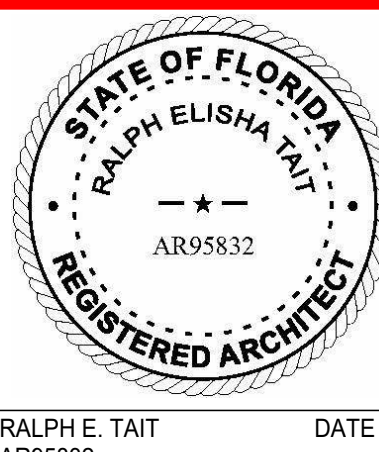


Section 11  
SCALE: 1/4" = 1'-0"



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PROPOSED RESIDENCE for:  
GNY USA LLC  
908 TYLER STREET,  
HOLLYWOOD, FLORIDA 33019  
CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION
3	4/4/25	STAFF COMMENTS

DESIGN DELIVERABLE: Historical Board Submittal  
ISSUE DATE: 07/09/24

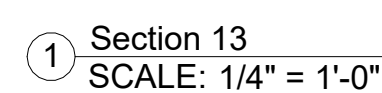
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SHEET TITLE:  
**BUILDING SECTIONS**

SHEET NUMBER:  
**A-303**





RALPH E. TAIT	DATE
AR95832	

ENGINEER OF RECORD

**PROPOSED RESIDENCE for:**  
**GNY USA LLC**  
**908 TYLER STREET,**  
**HOLLYWOOD, FLORIDA 33019**  
 CLIENT: GNY USA LLC

REV	DATE	DESCRIPTION	DESIGN DELIVERABLE:	Historical Board Submittal	SHEET TITLE:  <b>BUILDING SECTIONS</b>
3	4/4/25	STAFF COMMENTS			
			PROJECT NUMBER:	24-010	SHEET NUMBER:  <b>A-304</b>
			DRAWN BY:	Author	
			CHECKED BY:	Checker	
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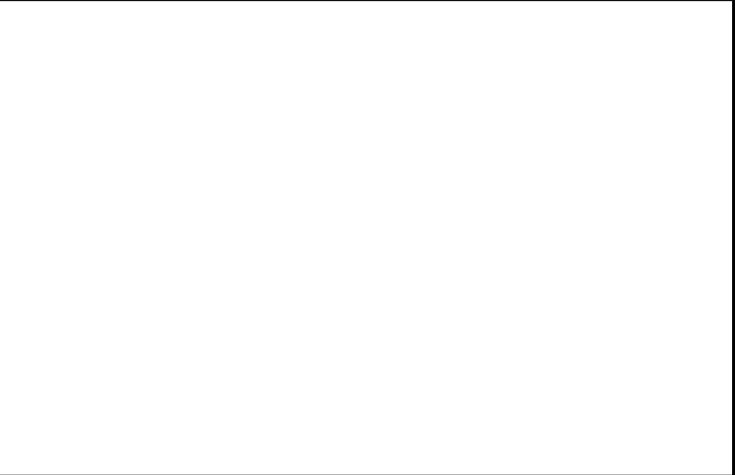
11820 Miramar Parkway, Suite 121  
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RALPH E. TAIT  
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ENGINEER OF RECORD

PROPOSED RESIDENCE for:  
GNY USA LLC  
908 TYLER STREET,  
HOLLYWOOD, FLORIDA 33019  
CLIENT: GNY USA LLC



REV	DATE	DESCRIPTION
1	10/17/24	STAFF COMMENTS

DESIGN DELIVERABLE: Historical Board Submittal

ISSUE DATE: 07/09/24

PROJECT NUMBER: 24-010

DRAWN BY: Author

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SHEET TITLE:  
FRONT VIEW

SHEET NUMBER:  
ID-101