

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 8-23-21

Location Address: 2037 JACKSON ST.

Lot(s): 8,9 Block(s): 6 Subdivision: HOLLYWOOD

Folio Number(s): 5142-15-01-1030

Zoning Classification: DH-3 Land Use Classification: RAC

Existing Property Use: VACANT Sq Ft/Number of Units: —

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: SITE PLAN APPROVAL FOR A 22 UNIT, 4 STORY APARTMENT BUILDING

Number of units/rooms: 22 Sq Ft: 720 SF AVG.

Value of Improvement: 4.5 MIL Estimated Date of Completion: DEC 2022

Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: CB JACKSON LLC

Address of Property Owner: 2250 SW 3 AVE., SUITE 100, MIAMI FL 33129

Telephone: 305 392 1441 Fax: _____ Email Address: ebosch@blkgroup.com

Name of Consultant Representative/Tenant (circle one): JOSEPH KALLER

Address: 2417 HOLLYWOOD BLVD. Telephone: 954 920 5746

Fax: _____ Email Address: joseph@kullerarchitects.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: GASTON CORRADI (OWNER)

Address: as above
Email Address: gaston@corradi-group.com

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 8-17-21

PRINT NAME: ERSTON CUREN Date: 8-17-21

Signature of Consultant/Representative: _____ Date: 8-20-21

PRINT NAME: JOSEPH B. KALLER Date: 8-20-21

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 17 day of AUGUST 2021

Notary Public
State of Florida



Signature of Current Owner
ERSTON CUREN
Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 8-17-21

PRINT NAME: Ashley Bosch Date: 8-17-21

Signature of Consultant/Representative: [Signature] Date: 8-20-21

PRINT NAME: JOSEPH B. KALLER Date: 8-20-21

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

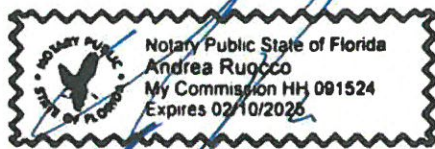
I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 17 day of August 2021

[Signature]
Signature of Current Owner

Ashley Bosch
Print Name

[Signature]
Notary Public
State of Florida



My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____



2037 JACKSON STREET
HOLLYWOOD, FL 33020

PROJECT INFO:

4 STORY, 22 UNIT RESIDENTIAL
APARTMENT BUILDING

LAND DESCRIPTION:

Lots 8 and 9, Block 6, HOLLYWOOD, according to the plat thereof, as recorded in Plat Book 1, Page 21, of the Public Records of Broward County, Florida.



Site Address	2037 JACKSON STREET, HOLLYWOOD FL 33020	ID #	5142 15 01 1030
Property Owner	CB JACKSON LLC	Millage	0513
Mailing Address	2037 JACKSON ST HOLLYWOOD FL 33020	Use	00
Abbr Legal Description	HOLLYWOOD 1-21 B LOT 8 & LOT 9 BLK 6		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2021 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2021*	\$107,510		\$107,510	\$107,510	
2020	\$107,510		\$107,510	\$82,780	\$1,897.47
2019	\$75,260		\$75,260	\$75,260	\$1,599.78

2021* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$107,510	\$107,510	\$107,510	\$107,510
Portability	0	0	0	0
Assessed/SOH	\$107,510	\$107,510	\$107,510	\$107,510
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$107,510	\$107,510	\$107,510	\$107,510

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
12/18/2020	WD-Q	\$540,000	116948308	\$10.00	10,751	SF
11/16/2004	TD	\$735,000	38647 / 1899			
8/6/2004	TD	\$100	38046 / 1914			
12/18/1996	QCD	\$100	26060 / 462			
				Adj. Bldg. S.F.		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
L								
1								

Detail by Entity Name

Florida Limited Liability Company
CB JACKSON LLC

Filing Information

Document Number L20000342067
FEI/EIN Number NONE
Date Filed 11/06/2020
State FL
Status ACTIVE
Last Event LC AMENDMENT
Event Date Filed 02/05/2021
Event Effective Date NONE

Principal Address

2250 SW 3RD AVE., STE 100
MIAMI, FL 33129

Mailing Address

2250 SW 3RD AVE., STE 100
MIAMI, FL 33129

Registered Agent Name & Address

GASTON CORRADI
2250 SW 3RD AVE., STE 100
MIAMI, FL 33129

Authorized Person(s) Detail

Name & Address

Title MGR

CB GROUP DEVELOPMENT LLC
2250 SW 3RD AVE., STE 100
MIAMI, FL 33129

Annual Reports

No Annual Reports Filed

Document Images

[02/05/2021 -- LC Amendment](#)

[View image in PDF format](#)

[11/06/2020 -- Florida Limited Liability](#)

[View image in PDF format](#)



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
CB GROUP DEVELOPMENT LLC

Filing Information

Document Number	L20000049088
FEI/EIN Number	84-5127148
Date Filed	02/18/2020
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	02/23/2021
Event Effective Date	NONE

Principal Address

2250 SW 3 AVE, STE 100
MIAMI, FL 33139

Mailing Address

2250 SW 3 AVE, STE 100
MIAMI, FL 33139

Registered Agent Name & Address

CORRADI, GASTON
2250 SW 3 AVE, STE 100
MIAMI, FL 33139

Authorized Person(s) Detail

Name & Address

Title AMBR

BLOK GROUP, LLC
9830 SW 62 STREET
MIAMI, FL 33173

Title AMBR

GEC GROUP LLC
2250 SW 3 AVE, STE 100
MIAMI, FL 33139

Annual Reports

Report Year	Filed Date
2021	04/19/2021

Document Images

[04/19/2021 -- ANNUAL REPORT](#)

View image in PDF format

[02/23/2021 -- LC Amendment](#)

View image in PDF format

[02/18/2020 -- Florida Limited Liability](#)

View image in PDF format



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
BLOK GROUP, LLC

Filing Information

Document Number	L06000086075
FEI/EIN Number	20-5550170
Date Filed	08/31/2006
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	07/27/2012

Principal Address

9830 SW 62 STREET
MIAMI, FL 33173

Changed: 07/27/2012

Mailing Address

9830 SW 62 STREET
MIAMI, FL 33173

Changed: 07/27/2012

Registered Agent Name & Address

BOSCH, ASHLEY
9830 SW 62 STREET
MIAMI, FL 33173

Name Changed: 11/15/2010

Address Changed: 07/27/2012

Authorized Person(s) Detail

Name & Address

Title MGRM

BOSCH, ASHLEY
9830 SW 62 STREET
MIAMI, FL 33173

Annual Reports

Report Year	Filed Date
2019	04/30/2019
2020	06/30/2020
2021	04/22/2021

Document Images

04/22/2021 -- ANNUAL REPORT	View image in PDF format
06/30/2020 -- ANNUAL REPORT	View image in PDF format
04/30/2019 -- ANNUAL REPORT	View image in PDF format
04/30/2018 -- ANNUAL REPORT	View image in PDF format
04/24/2017 -- ANNUAL REPORT	View image in PDF format
04/26/2016 -- ANNUAL REPORT	View image in PDF format
09/25/2015 -- ANNUAL REPORT	View image in PDF format
04/28/2014 -- ANNUAL REPORT	View image in PDF format
04/04/2013 -- ANNUAL REPORT	View image in PDF format
07/27/2012 -- REINSTATEMENT	View image in PDF format
11/15/2010 -- REINSTATEMENT	View image in PDF format
04/30/2008 -- ANNUAL REPORT	View image in PDF format
04/30/2007 -- ANNUAL REPORT	View image in PDF format
08/31/2006 -- Florida Limited Liability	View image in PDF format

**CITY OF HOLLYWOOD
PARKS, RECREATION AND CULTURAL ARTS DEPARTMENT
PARK IMPACT FEE APPLICATION**

Pursuant to Chapter 161.07 (G)(1) of the City's Zoning and Land Development Regulations, all persons platting or subdividing land for residential purposes or for hotel/motel purposes or who are required to obtain site plan approval for a residential, hotel or motel development shall be required to pay a park impact fee. This fee is to be used for parks (passive or active open space or recreational facilities) to meet the needs created by the development.

Is this a residential or hotel/motel development? Yes No

If YES was selected please provide the following information. In NO was selected please do not complete application.

(PRINT LEGIBLY OR TYPE)

1. Owners Name: CB JACKSON LLC
2. Project Name: THE WESLEY AT JACKSON
3. Project Address: 2037 JACKSON ST.
4. Contact person: JOSEPH B. KALLER / KALLER ARCHITECTURE
5. Contact number: 954 920 5746
6. Type of unit(s): Single Family Multi-Family Hotel/Motel
7. Total number of residential and/or hotel/motel units: _____
20 @ \$1875.00
8. Unit Fee per residential dwelling based on sq. ft.: _____
2 @ \$2175.00
9. Unit Fee per hotel/motel room: \$1,250.00
10. Total Park Impact Fee: 41,850 Date: 4-5-21

The Park Impact Fee shall be paid in full prior to issuance of a building permit unless the project is to be completed in phases. This application provides an approximate Park Impact Fee however the final Park Impact Fee will be calculated and paid at time of building permit request.

This application (if applicable) should be submitted to the Technical Advisory Committee to obtain Parks, Recreation and Cultural Arts Department approval.

Please contact David Vazquez, Department of Parks, Recreation and Cultural Arts at 954.921.3404 or dvazquez@hollywoodfl.org should there be any questions.



Wesley

NGBS Green Building Certification - Project ID: 877GLD

lmarchman@homeinnovation.com <lmarchman@homeinnovation.com>

Thu 8/19/2021 3:55 PM

To: Jason Biondi <jbiondi@ecsgllc.com>; abosch@blokgroup.com <abosch@blokgroup.com>

Cc: ProjectRegistration@homeinnovation.com <ProjectRegistration@homeinnovation.com>; mfoster@homeinnovation.com <mfoster@homeinnovation.com>; Jason Biondi <jbiondi@ecsgllc.com>

Dear: Jason Biondi,

Congratulations!

You have successfully registered the project below for certification to the ICC 700 National Green Building Standard.

Your Project ID:

877GLD

Be sure to keep this Project ID in a safe place as you will need it throughout the certification process.

Builders can find more information about the NGBS Green certification process at:

www.HomeInnovation.com/BRG

PLEASE NOTE: You cannot notify Home Innovation Research Labs of a rough inspection for this project until the Project Information Form (referenced below) is submitted. Once the form is submitted, please allow one business day for the project information to get into our system before attempting to schedule a rough inspection.

Verifier Name: Jason Biondi
Verifier Organization: Energy Cost Solutions Group, LLC
Standard Selected: 2015 NGBS
Scoring Path Selected: 2015 MF New Construction
Anticipated Certification Level: Silver
Project Name: Wesley at Jackson Apts
Project Unit Count: 22
Project Building Count: 1
Project Address/Lot: 2037 Jackson St
Project City: Hollywood
Project State: Florida
Project Zip code: 33020
Project County: Broward

Project Hud Disaster Case Number:

Accessory Structure: No
Accessory Description:
Contact First Name: Ashley
Contact Last Name: Bosch
Contact Email: abosch@blokgroup.com
Responsible Application Packet: Developer
Party Named On Certificate: Developer
Community Name On Certificate: Yes

PROJECT INFORMATION FORM: Please complete or have someone from the Project Team complete the Project Information Form that will be emailed to you shortly. This information is necessary to earn the NGBS Green certification and will be used to market your project on www.NGBS.com. Verifiers cannot notify Home Innovation of the rough inspection date without this information complete.

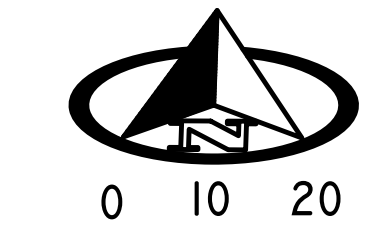
MARKETING: Builders with Home Innovation agreements in place should receive an NGBS Green *Insider Update* with a link to our program style guide and logos/marks that can be used through the certification process – if the builder for this project has not received that message, please have them email info@HomeInnovation.com. Additional marketing materials can be found online at www.HomeInnovation.com/marketgreencertified.

We look forward to working with you as an NGBS Green Partner. If you have any questions about the certification process, please [contact us](#).

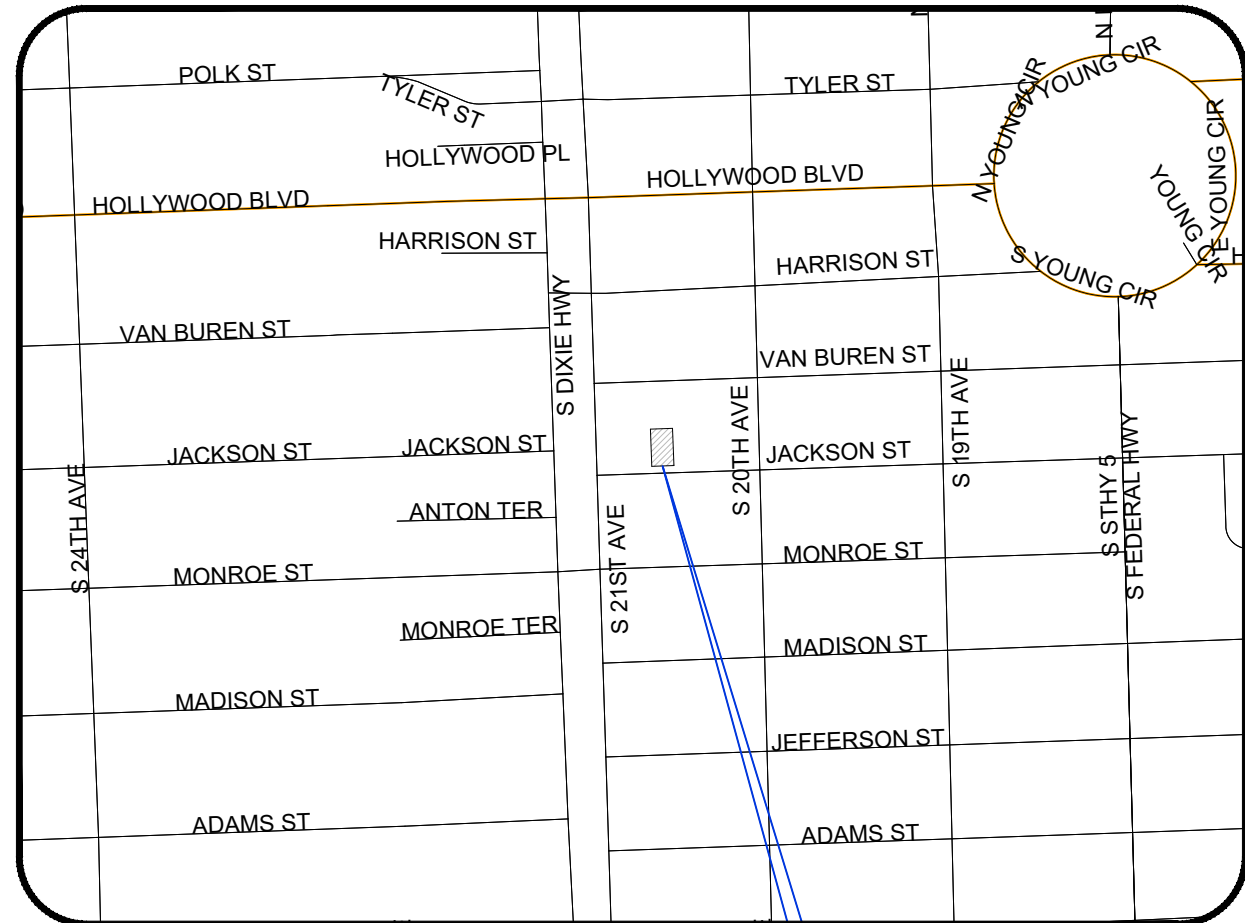
If you did not submit this project for registration please [let us know](#).

ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND LYING AND BEING A PORTION OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA



SCALE: 1" = 20'



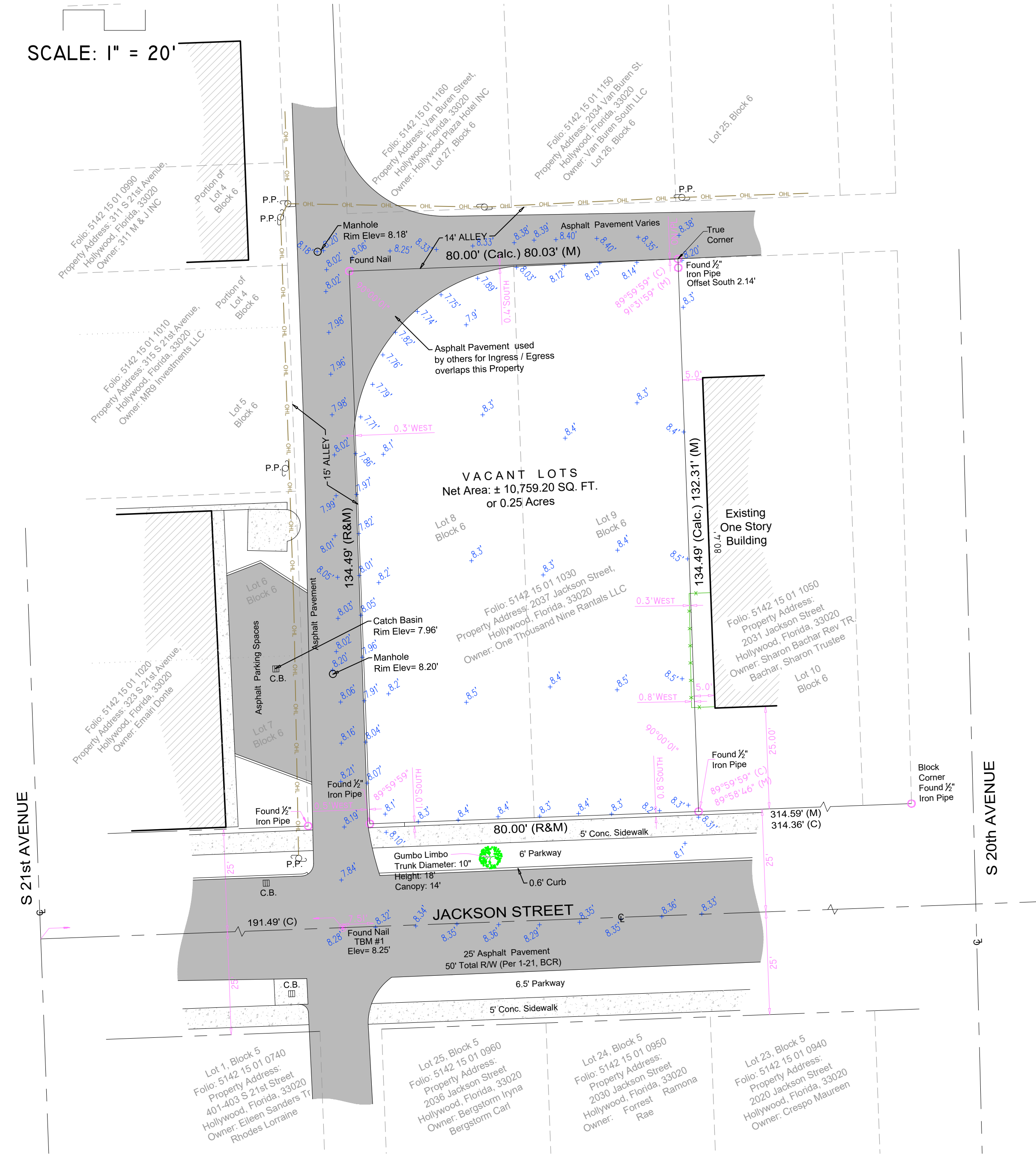
1 VICINITY MAP
Not to Scale

2 PROPERTY ADDRESS
2037 N.W. Jackson Street, Hollywood, Florida 33020

3 LEGAL DESCRIPTION
Lots 8 and 9, Block 6, HOLLYWOOD, according to the plat thereof, as recorded in Plat Book 1, Page 21, of the Public Records of Broward County, Florida.

4 AREA TABULATION
Net Area of subject parcel: 10,759.20 SqFt (+/-0.25 Acres)

6 ZONING INFORMATION
Zoning District: DH-3 (Dixie Highway High Intensity Mixed-Use District as per City of Hollywood, Florida Zoning Map)



5 SURVEYOR'S REPORT

- This ALTA/NSPS Survey has been made on the ground on December 7th, 2020 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of an ALTA Survey has been prepared in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23, 2016.
- This ALTA Survey correctly depicts the lands contained within the subject property as herein described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities and any other relevant matters affecting these lands. Underground utilities and footings have not been located. Existing trees have not been located. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered and traversed during the field site work are in consistency with distances and directions from records.
- Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways. Excavation and/or a private utility locate request might be necessary for a detailed location of underground utilities. Note that this survey depicts an Asphalt Pavement overlapping this property being used by others for Ingress/Egress.
- There is no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from a duly dedicated and accepted public Right of Way: Jackson Street - along the South property line. The undersigned has no knowledge of proposed changes in street right of way lines for these roadways.
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- No evidence of wetland field designations were present at the time of the survey.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 125113 (City of Hollywood), Panel 0569, Suffix H, recorded on August 18th, 2014, this real property falls in Zone "X". As defined by FEMA, Zone "X" is an area of minimal flood hazard, outside the Special Flood Hazard Area (SFHA) and higher than the elevation of the 0.2-percent-annual-chance flood. Mandatory flood insurance purchase requirements and floodplain management standards apply. This determination is obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.
- HORIZONTAL LOCATION AND ACCURACY:** The lands surveyed had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Precision for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million. The accuracy obtained by field measurements (redundant measurements) and office calculations meets and exceeds the customary minimum horizontal feature accuracy (linear) for an urban area being equal to 1 foot in 7,500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988). Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.51 feet or (minus 1.51 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: Broward County Engineering Department Bench Mark 1896, Elevation = 10.932 (NGVD'29); Section 15-51S-42E; Stamp P 239 1965
Description A C & GS ditch about 0.1 mile south along the Florida East Coast railway from the station at Fort Lauderdale, 0.35 mile north of milepost 349, 223' south-west of the southwest corner of the station, 24' southeast corner of an outside waiting room, 25.5 feet east of the east rail of the northbound track 5' south of the extended centerline of Polk Street 6-1/2' west of the west curb of north 21 Avenue, 1' below the level of the track and set in the top of a concrete post flush with the ground.
Bench Mark # 2: National Geodetic Survey (NGS) Bench Mark P 239, Elevation = 9.07 (NAVD'88)
At Hollywood, 0.1 mile north along the Florida East Coast Railway from the crossing of State Highway 820 (Hollywood Blvd), 43.2 feet west of the center line of 21st Avenue, 19.3 feet north of the south end of a metal guard railing, 25.5 feet east of the east rail, 5 feet south of the extended center line of Polk Street, directly under a metal guard railing, 1 foot below the level of the track and set in the top of a concrete post flush with the ground; Section 15, Township 51S, Range 42 East.
- This ALTA Survey meets and exceeds the minimum Standards of Practice as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".
- This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1" = 20'. Data is expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Commitment for Title Insurance provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Miami-Dade County, unless otherwise shown.
- North arrow direction is based on an assumed Meridian.
- This survey has been made based on and upon an examination of said Commitment for Title Insurance (the Title Commitment) issued by Old Republic National Title Insurance Company, Commitment Number 980999, Dated November 23, 2020 @ 11:00 PM. Upon review and examination of instruments of record on Schedule B PART II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affects these lands have been noted and/or represented on this survey and the following applies:

Items # 1 thru Item # 4 and Item #12: Not survey related matters.
Item # 5: All matters contained on the Plat of Hollywood; as recorded in Plat Book 1, Page 21, Public Records of Broward County, Florida; (addressed and depicted on survey).
Item # 6: Ordinance No. 2005-18 recorded July 15, 2005, in O.R. Book 40082, Page 1783, Public Records of Broward County, Florida. (Does not apply)
Item # 7: Ordinance No. 2005-19 recorded July 15, 2005, in O.R. Book 40082, Page 1789, Public Records of Broward County, Florida. (applies, but not plottable)
Item # 8: Resolution No. 06-DV-101 recorded August 14, 2007, in O.R. Book 44474, Page 1871, Public Records of Broward County, Florida. (applies, but not plottable)
Item # 9: Resolution No. 15-DY-04 recorded December 1, 2015, in Instrument Number 113374394, Public Records of Broward County, Florida. (a applies, but not plottable)
Item #10: Unity of Title recorded in Instrument Number 112919220, Public Records of Broward County, Florida. (applies, but not plottable)
Item # 11: Ordinance recorded in O.R. Book 9637, Page 836, Public Records of Broward County, Florida. (The documents dated June 21st, 1981 but now the Zoning area has changed according to the GIS zoning of the City of Hollywood)

7 CERTIFICATIONS

I hereby certify to: CB Jackson, LLC, a Florida limited liability company; Nelson A. Rodriguez-Varela, P.A.; Old Republic National Title Insurance Company
That this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5, 6 (a) (as per County website, zoning report not provided), 7, 11 (utilities by observed aboveground visible evidence), 13, and 14 of Table A thereof.
Date of Plat or Map: December 22nd, 2020
Revised Date: March 10th, 2021 (To add Elevation and tree survey)
Revised Date: May 25th, 2021 (To add OWNERSHIP AND ENCUMBRANCE REPORT)
Alta Survey Revised: August 25th, 2021 (to add OWNERSHIP AND ENCUMBRANCE REPORT Update)

Odalys C. Bello-Iznaga
Professional Surveyor & Mapper # 6169
State of Florida

This survey has been updated based on and upon an examination of a OWNERSHIP AND ENCUMBRANCE REPORT (O&E) issued by Fidelity National Title Insurance Company, File Number 9441383 (Update), with a search between September 14, 1921 @ 6:00 AM, to August 16, 2021 @ 11:00 PM. Upon review and examination of said report, the following applies:
Owner of Record as per Warranty Deed filed December 23, 2020, recorded under Instrument No. 116948308 is CB Jackson, LLC, a Florida limited liability.
Other Instruments of Records listed on said O&E have been investigated by this surveyor and its applicability is listed on the surveyor's report attached herein. (Refer to Note No. 17)

LEGEND & ABBREVIATIONS	
[Symbol]	CONCRETE (CONC.)
[Symbol]	CONC. BLOCK WALL
[Symbol]	WOOD DECK
[Symbol]	COVERED AREA
[Symbol]	PAVERS SLAB / DRIVEWAY
[Symbol]	FILE SLAB / DRIVEWAY
[Symbol]	ASPHALT
[Symbol]	CHAIN LINK FENCE (CLF)
[Symbol]	WOOD FENCE (WF)
[Symbol]	IRON METAL BARS FENCE (IF)
[Symbol]	PLASTIC FENCE (PF)
[Symbol]	OVERHEAD UTILITY LINES
[Symbol]	WATER VALVE
[Symbol]	POWER POLE
[Symbol]	GUY ANCHOR
[Symbol]	WATER METER
[Symbol]	CONC. LIGHT POLE
[Symbol]	WELL
[Symbol]	STREET SIGN
[Symbol]	SANITARY MANHOLE
[Symbol]	DRAINAGE MANHOLE
[Symbol]	MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	CABLE BOX (CATV)
[Symbol]	P.F. TRANSFORMER
[Symbol]	CATCH BASIN OR INLET
[Symbol]	EXISTING ELEVATION
[Symbol]	PERMANENT REFERENCE MONUMENT
[Symbol]	PROPERTY CORNER
[Symbol]	PERMANENT CONTROL POINT
P.T.	POINT OF TANGENCY
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVE
P.R.C.	POINT OF REVERSE CURVE
B.M.	BENCH MARK
B.R.	BEARING REFERENCE
T.B.M.	TEMPORARY BENCH MARK (R) = RECORD / (P) = PER PLAT
C.L.	CENTER LINE
E	PROPERTY LINE
ENCR.	ENCROACHMENT
F.F. ELEV.	FINISHED FLOOR ELEVATION
P.B.	PLAT BOOK
T	TOWNSHIP
(CMA X-4)	CITY OF MIAMI MUNICIPAL ATLAS X-X
PG	PAGE
ORB	OFFICIAL RECORD BOOK
CS	CONCRETE BLOCK STRUCTURE
R/W	RIGHT OF WAY
ELEV.	ELEVATION
SEC.	SECTION
R	RANGE
(R)	RECORD

8 PROJECT NUMBER
21171 SHEET 1 OF 1

BELLO & BELLO LAND SURVEYING
12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186
LB#7262 • Phone: 305.251.9606 • Fax: 305.251.6057
e-mail: info@belloland.com • www.bellolandsurveying.com

Wesley

AT JACKSON

2037 JACKSON STREET HOLLYWOOD FLORIDA



P.A.C.O. - MARCH 22, 2021

PROJECT TEAM

ARCHITECT
 JOSEPH B. KALLER AND ASSOCIATES, P.A.
 CONTACT: MR. JOSEPH B. KALLER
 ADDRESS: 2411 HOLLYWOOD BLVD.
 HOLLYWOOD, FL 33020
 (354) 920-5746
 PHONE: (354) 920-5746
 FAX: (954) 926-2841
 EMAIL: joseph@kallerarchitects.com

OWNER
 CB JACKSON LLC
 CONTACT: ASHLEY BOBCH
 ADDRESS: 2250 SW 3RD AVENUE 1100
 MIAMI, FL 33129
 (305) 392-1441
 CELL: (305) 392-1441
 EMAIL: abobch@cbjgroup.com

SURVEYOR
 BELLO AND BELLO LAND SURVEYING
 CONTACT: ODALYS BELLO-INAGA
 ADDRESS: 12330 SW 131 AVE, SUITE 201
 MIAMI, FL 33186
 (305) 251-9606
 PHONE: (305) 251-9606
 EMAIL: info@belloand.com

PROJECT DATA

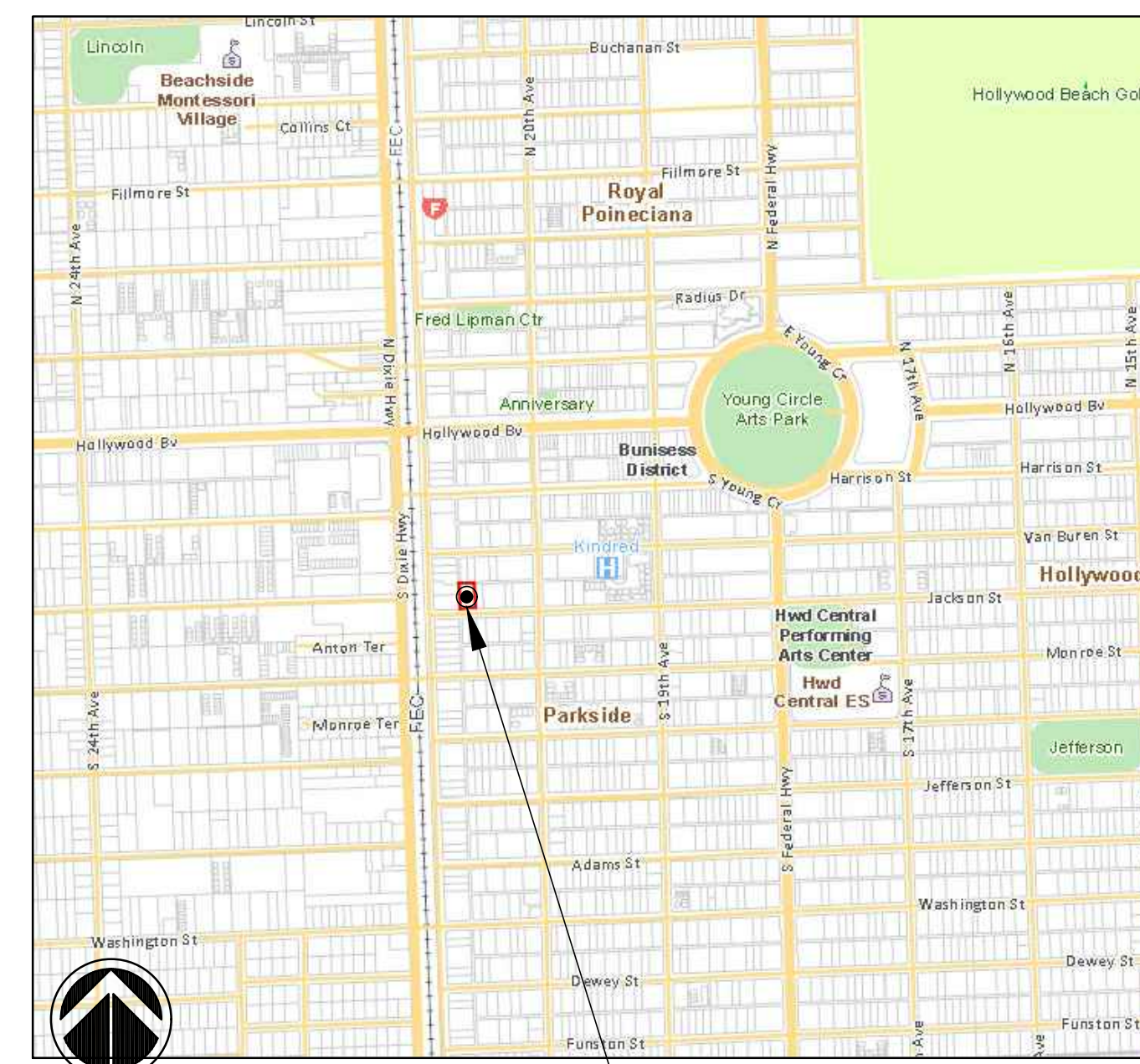
CODES:
 FLORIDA BUILDING CODE, 11TH EDITION 2020
 FLORIDA FIRE PREVENTION CODE, 11TH EDITION
 FLORIDA ADMINISTRATIVE CODE 69A-40

JURISDICTION:
 CITY OF HOLLYWOOD
 BROWARD COUNTY
 STATE OF FLORIDA

DRAWING INDEX

- | | |
|--------|--------------------------------|
| T-1 | COVER SHEET |
| SURVEY | SURVEY |
| SP-0 | SITE NOTES AND BUILDING DATA |
| SP-1 | SITE PLAN AND FIRST FLOOR PLAN |
| SP-2 | SITE DETAILS |
| A-1 | FIRST FLOOR PLAN |
| A-2 | SECOND FLOOR PLAN |
| A-3 | THIRD FLOOR PLAN |
| A-4 | FOURTH FLOOR PLAN |
| A-5 | ROOF AMENITY PLAN |
| A-6 | BUILDING ELEVATION |
| A-7 | BUILDING ELEVATION |
| A-8 | BUILDING ELEVATION |
| A-9 | BUILDING ELEVATION |
| A-10 | CONTEXTUAL STREET ELEVATIONS |
| A-11 | UNIT BLOW UP PLANS |
| A-12 | UNIT BLOW UP PLANS |
| A-13 | SITE PICTURES |
| A-14 | MATERIAL SAMPLES |

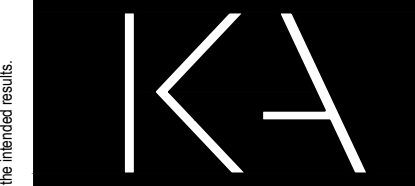
LOCATION MAP



AERIAL



SITE



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON ST
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

TITLE PAGE
 PRELIMINARY TAC

SHEET TITLE

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT NO.: 21013
 DATE: 3-6-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

T-1

SHEET 1 OF 1

Bello and Bello Land Surveying, Inc. is a Florida Registered Professional Surveying Firm. The Surveyor's name and registration number are shown on this drawing. The Surveyor's name and registration number are shown on this drawing. The Surveyor's name and registration number are shown on this drawing.

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE DH-3 ZONING DISTRICT.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

TWO WAY RADIO COMPLIANCE:
BUILDING WILL BE IN COMPLIANCE WITH N.F.P.A. 1, 1110 AND BROWARD COUNTY CODE AMENDMENT 118.2 FOR TWO WAY RADIO COMMUNICATION.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE REGARDLESS OF PROXIMITY TO RESIDENTIALLY ZONED AREAS.

EXTERNAL LIGHTS TO BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER F.F.P.C. 1TH EDITION BROWARD AMENDMENTS, NFPA 101 SECTION 30.3.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

UNITY OF TITLE:
A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

ORDINANCE 2016-02
The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle-charging station within be included in such project. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate or a fully functional electric vehicle-charging station.

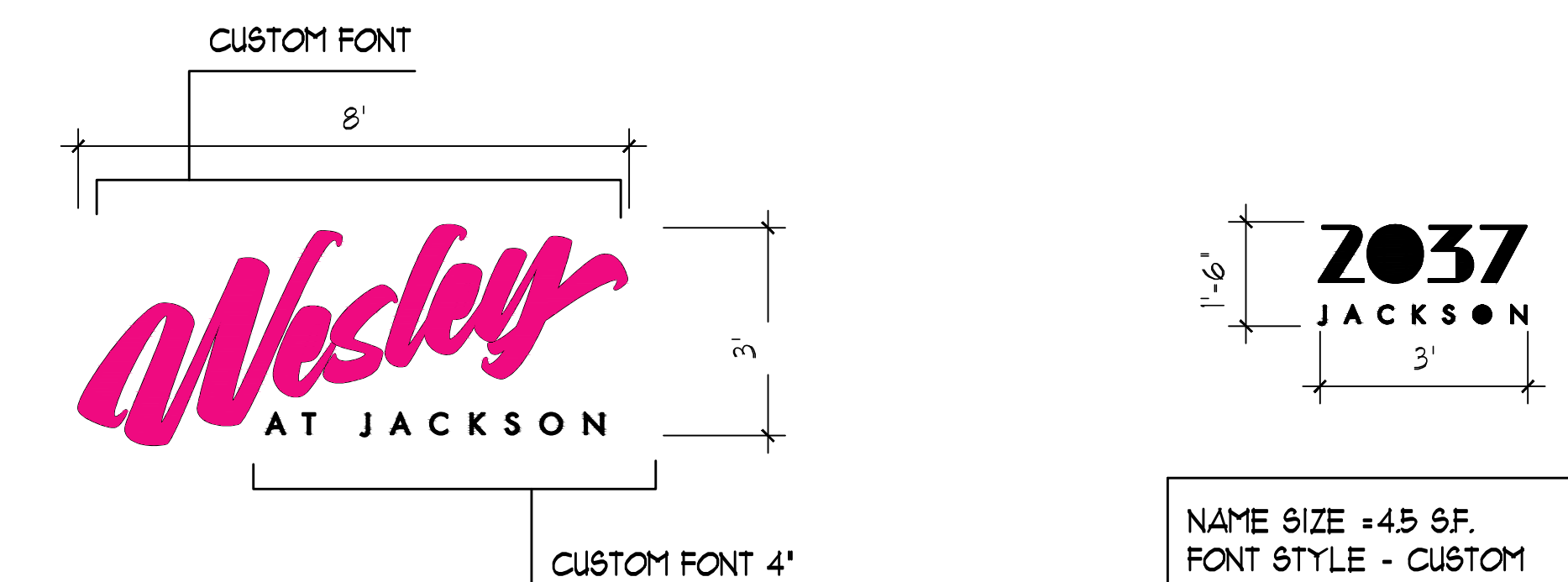
GREEN CERTIFICATION:
GREEN BUILDING CERTIFICATION PATH IS INTENDED FOR THIS PROJECT. NATIONAL GREEN BUILDING STANDARDS

NOTE:
ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW MAY BE SUBJECT TO BOARD APPROVAL.

NFPA 1 (1TH ed) CHAPTER 12.3.2
A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FRO THE DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1. AND 12.3.2.2

	SPACE	AREA		GROSS AREA		AREA FAR
		AC	NON AC	AC	NON AC	
1ST FL	LOB./ OFF./ MTG. RM	234		334	7884	697
	TRASH ROOM		77			
	STAIRWELLS		287			
	ELEVATORS	100				
	PUMP ROOM		76			
	GARAGE		7444			
2ND FL	CORRIDOR	734		6603	1428	6890
	UNITS	5769				
	STAIRWELLS		287			
	ELEVATOR	100				
BALCONIES		1141				
3RD FL	CORRIDOR	734		6603	786.5	6890
	UNITS	5769				
	STAIRWELLS		287			
	ELEVATOR	100				
BALCONIES		496				
4TH FL	CORRIDOR	734		6603	658	6890
	UNITS	5769				
	STAIRWELLS		287			
	ELEVATOR	100				
BALCONIES		371				
ROOF	STAIRWELLS		287	100	3341	387
	ELEVATOR	100				
	MECH. RM.		59			
	ROOF DECK		2995			
				20243	14094	
TOTAL GROSS AREA				34,337 SF		
TOTAL FAR AREA						21754

LOCATION	UNIT #	UNIT TYPE	AREA		NET AREA	
			AC	TERRACE/ BALCONY	AC	BALCONY
2ND FLOOR	201	1/1	140	129	5769	1147
	202	1/1	140	129		
	203	1/1	629	91		
	204	1/1	133	185		
	205	1/1	113	180		
	206	1/1	113	180		
	207	2/2	855	185		
	208	1/1	646	62		
3RD FLOOR	301	1/1	140	62.5	5769	496
	302	1/1	140	62.5		
	303	1/1	629	59		
	304	1/1	133	62.5		
	305	1/1	113	62.5		
	306	1/1	113	62.5		
	307	2/2	855	62.5		
	308	1/1	646	62		
4TH FLOOR	401	1/1	140	62.5	5769	371
	402	1/1	140	62.5		
	403	3/2	1192	59		
	404	2/2	883	62.5		
	405	2/2	883	62.5		
	406	3/2	1331	62		
TOTAL NET AREA					17307	2008



NAME SIZE = 24 SF.

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE DH-3 ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

1 SITE NOTES AND BUILDING DATA

2 SIGNAGE DETAILS AND NOTES



KallerArchitecture
AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

The WESLEY
at JACKSON
2037 JACKSON STREET
HOLLYWOOD FLORIDA 33020

PROJECT TITLE

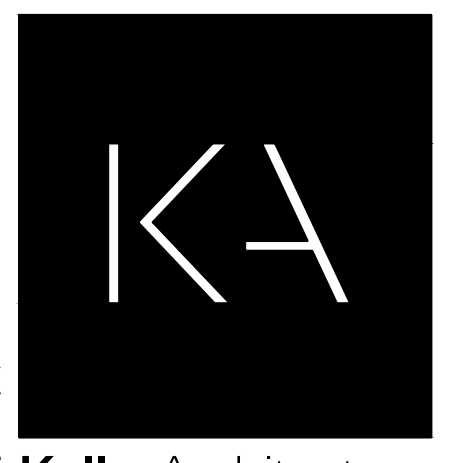
SHEET TITLE
SITE NOTES AND BUILDING DATA

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 21013
DATE: 2-26-21
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
SP-0
SHEET 1 OF 1

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL
 JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

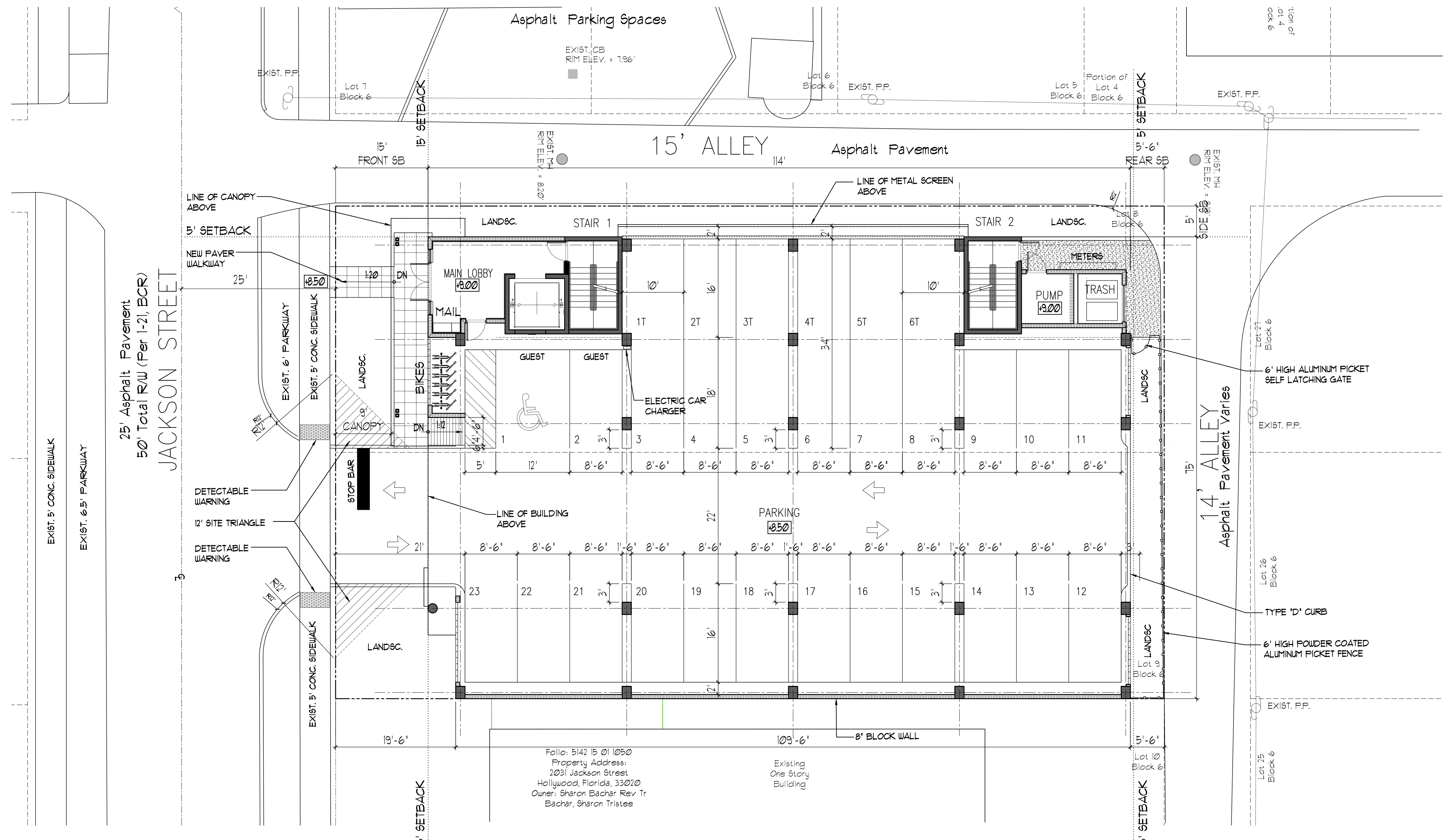
SHEET TITLE
 SITE PLAN AND DATA

REVISIONS

No.	DATE	DESCRIPTION

PROJECT No.: 21013
 DATE: 3-3-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET
SP-1
 SHEET 1 OF 1



FOLIO
 # 5142-15-01-1030

PROPERTY ADDRESSES
 2037 JACKSON STREET
 HOLLYWOOD, FL 33020

SITE INFORMATION
 EXISTING ZONING: DIXIE HIGHWAY HIGH INTENSITY MIXED-USE DISTRICT (DH-3)
 LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER
 NET LOT AREA: 10,760.0 SQUARE FEET
 FAR: 3.00
 ALLOWED: 21,754.0 SF
 PROVIDED: 32,280.0 SF
 BUILDABLE AREA:
 PROPOSED NO. OF UNITS: 22 UNITS

PARKING:		REQUIRED	PROVIDED
UNITS	1 PER (18) 1 BED UNIT	= 18 SPACES	
	1.5 PER (4) 2 BED UNIT	= 6 SPACES	
	1.5 PER (2) 3 BED UNIT	= 3 SPACES	
GUESTS	1 PER 10 UNITS MIN.	= 2 SPACES	
TOTAL		= 29 SPACES	
		REQUIRED	PROVIDED
	SINGLE SPACES	= 17 SPACES	
	TANDEM SPACES = 6 X 2	= 12 SPACES	
TOTAL		= 29 SPACES	
LOADING:		REQUIRED	PROVIDED
UNITS	NOT REQ. LESS THAN 50 UNITS		0 SPACE

SETBACKS:	REQUIRED	PROVIDED	
(a) FRONTAGE (JACKSON ST)	15'-0"	15'-0"	
(b) SIDE INTERIOR (EAST)	0'-0"	0'-0"	
(c) ALLEY (WEST)	5'-0"	5'-0"	
(d) ALLEY (NORTH)	5'-0"	5'-6"	
BUILDING SUMMARY		ALLOWED	PROVIDED
BUILDING HEIGHT:	10 STORIES/ 140'-0"		4 STORIES/ 45'-0"

2 SITE DATA



1 SITE PLAN
 SCALE: 1/16" = 1'-0"

KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2019



KallerArchitecture
 AIA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL
 JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

SHEET TITLE
FLOOR PLANS

REVISIONS

No.	DATE	DESCRIPTION

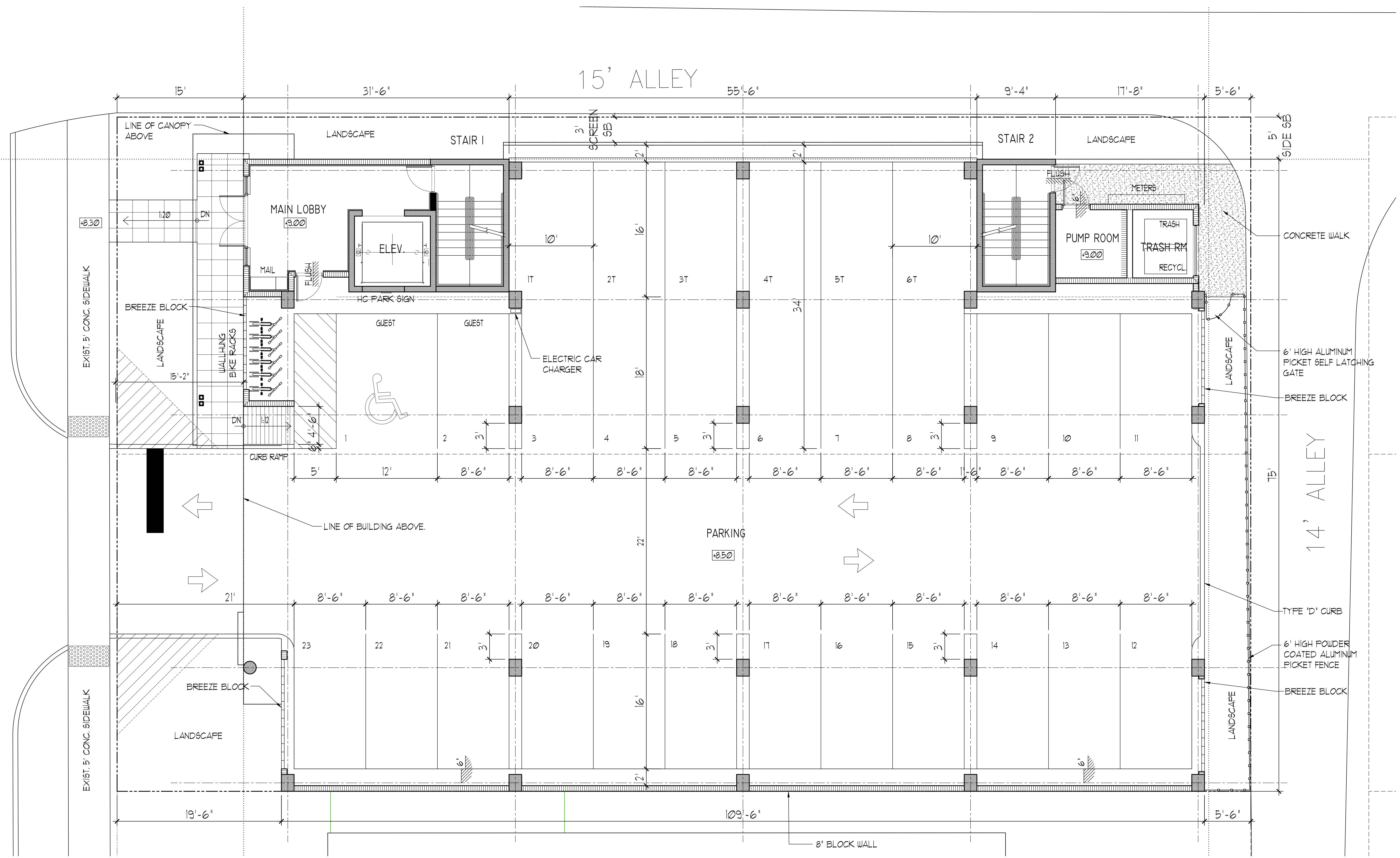
This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 20137
 DATE: 2-26-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

A-1

SHEET 1 OF 1



1 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018



Kaller Architecture
 AAR 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

FLOOR PLANS

SHEET TITLE

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 21013
 DATE: 3-3-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

A-2

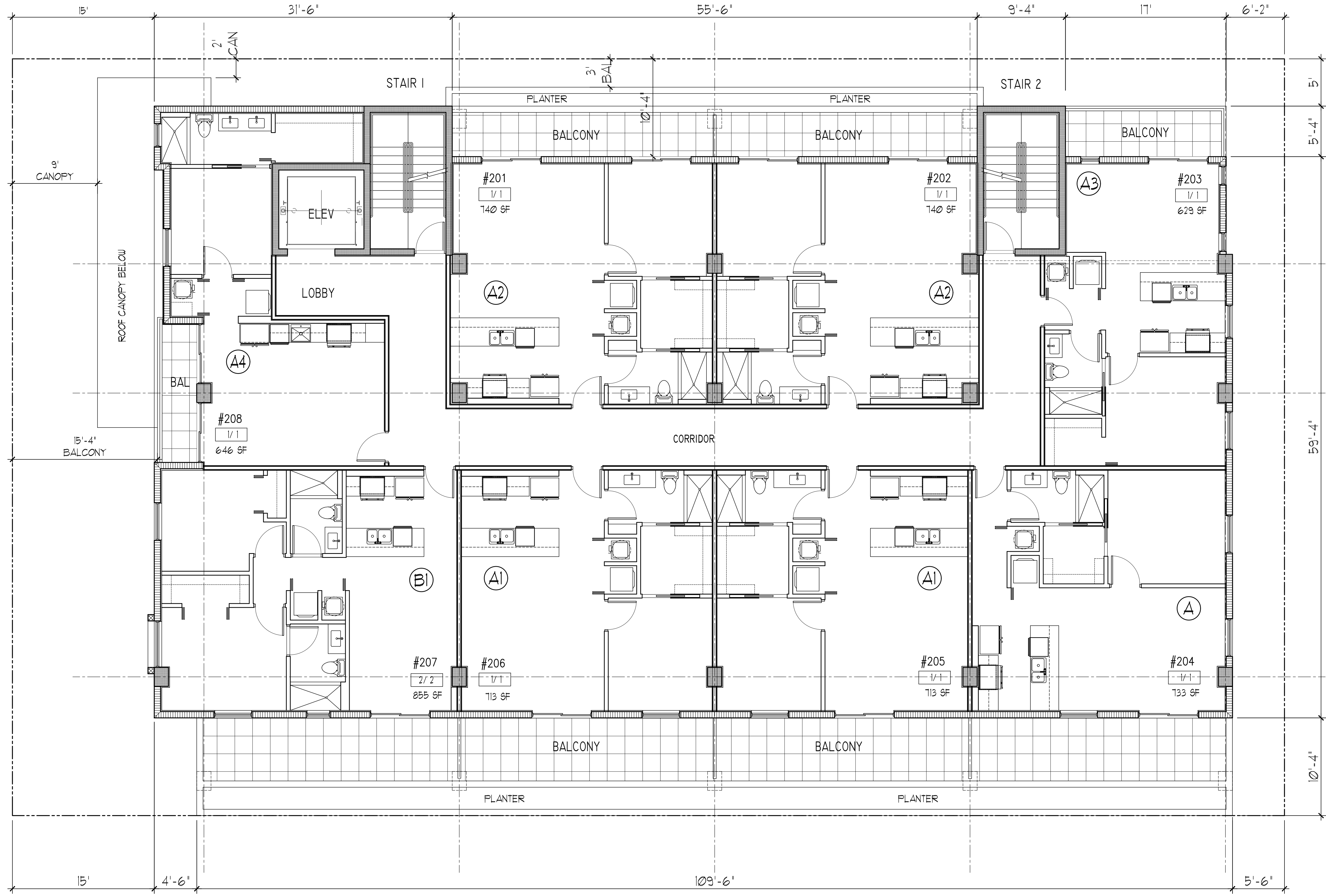
SHEET 1 OF 1



NORTH

1 SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"





KallerArchitecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

SHEET TITLE

FLOOR PLANS

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

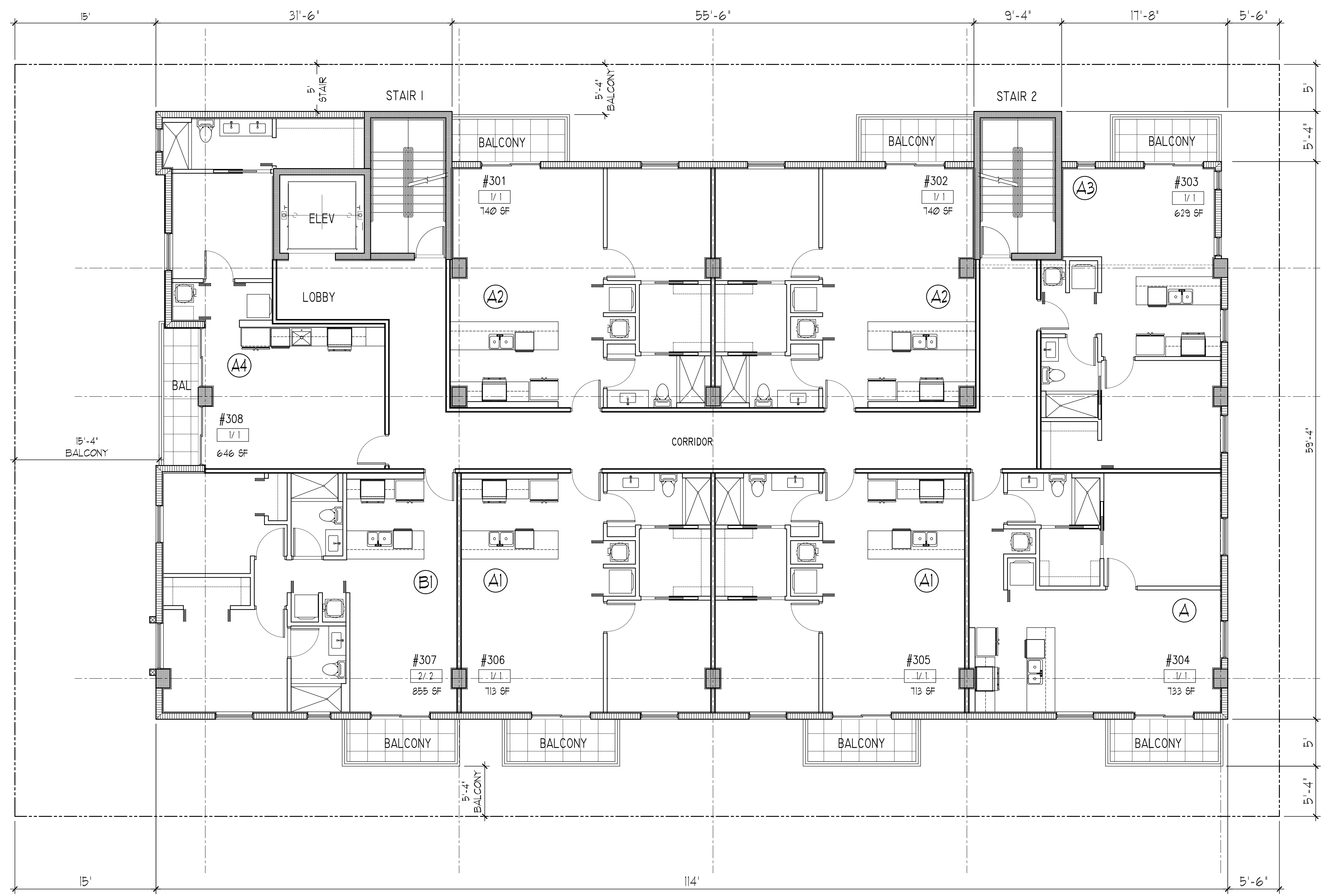
This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 21013
 DATE: 3-3-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

A-3

SHEET 1 OF 1



1 THIRD FLOOR PLAN
 SCALE: 3/16" = 1'-0"

KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018



KallerArchitecture
 AAR 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
The WESLEY
at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

SHEET TITLE
FLOOR PLANS

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

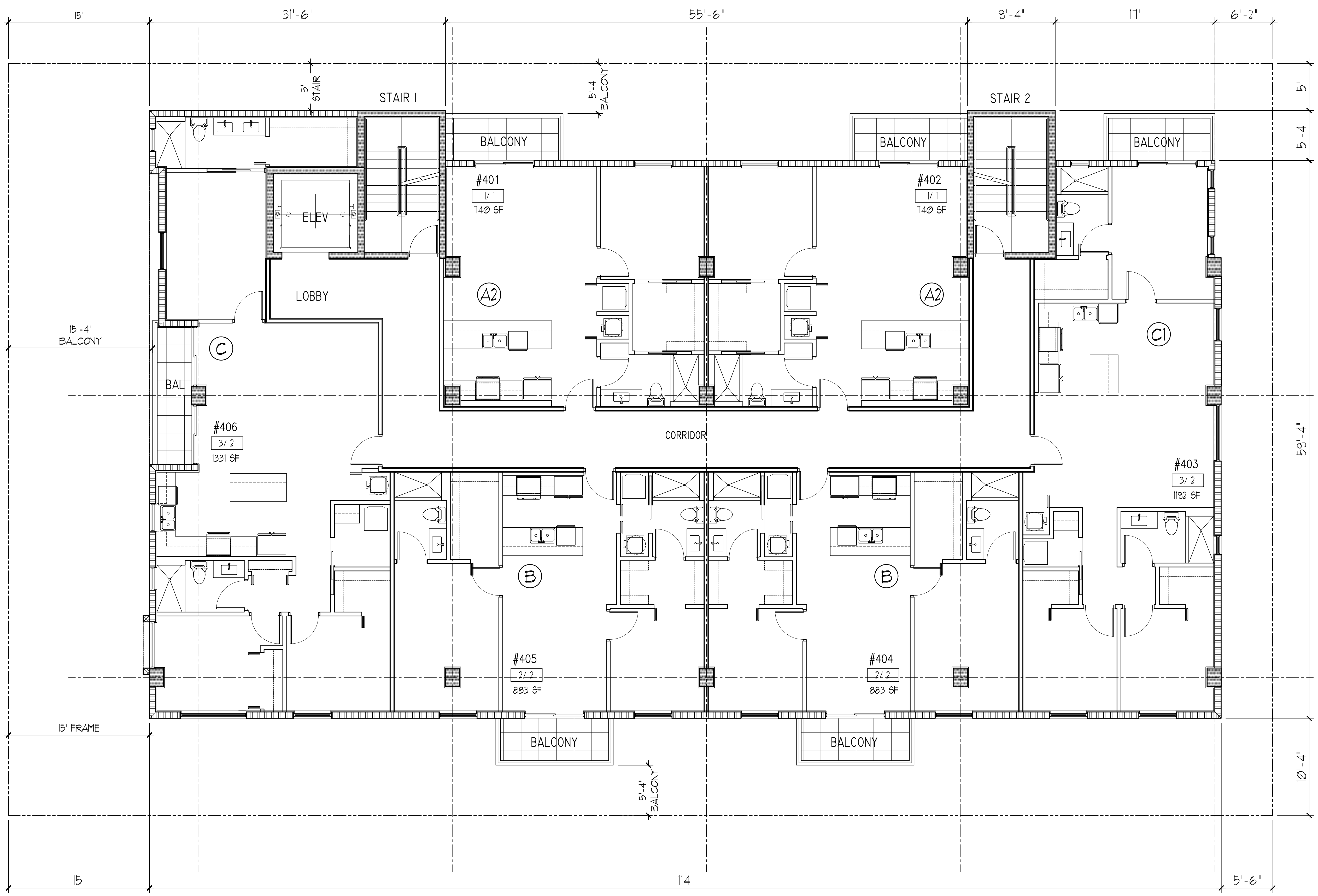
This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 21013
 DATE: 3-3-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

A-4

SHEET 1 OF 1



1 FOURTH FLOOR PLAN
 SCALE: 3/16" = 1'-0"



KallerArchitecture
 AAR 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL
 JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

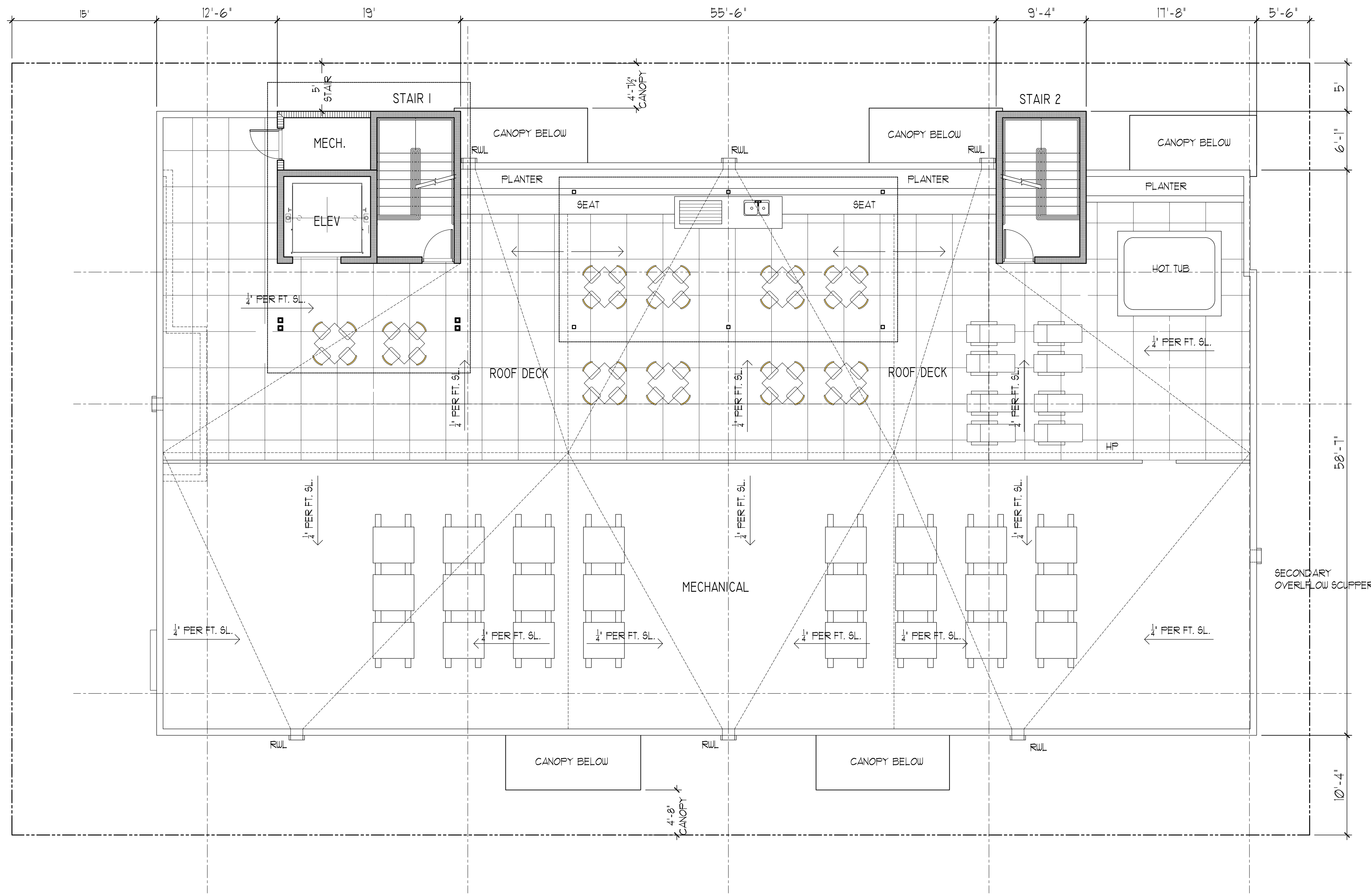
SHEET TITLE
FLOOR PLANS

REVISIONS

No.	DATE	DESCRIPTION

PROJECT No.: 21013
 DATE: 3-3-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET
A-5
 SHEET 1 OF 1



1 ROOF PLAN
 SCALE: 3/16" = 1'-0"



KallerArchitecture
 A# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

ELEVATIONS

SHEET TITLE

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

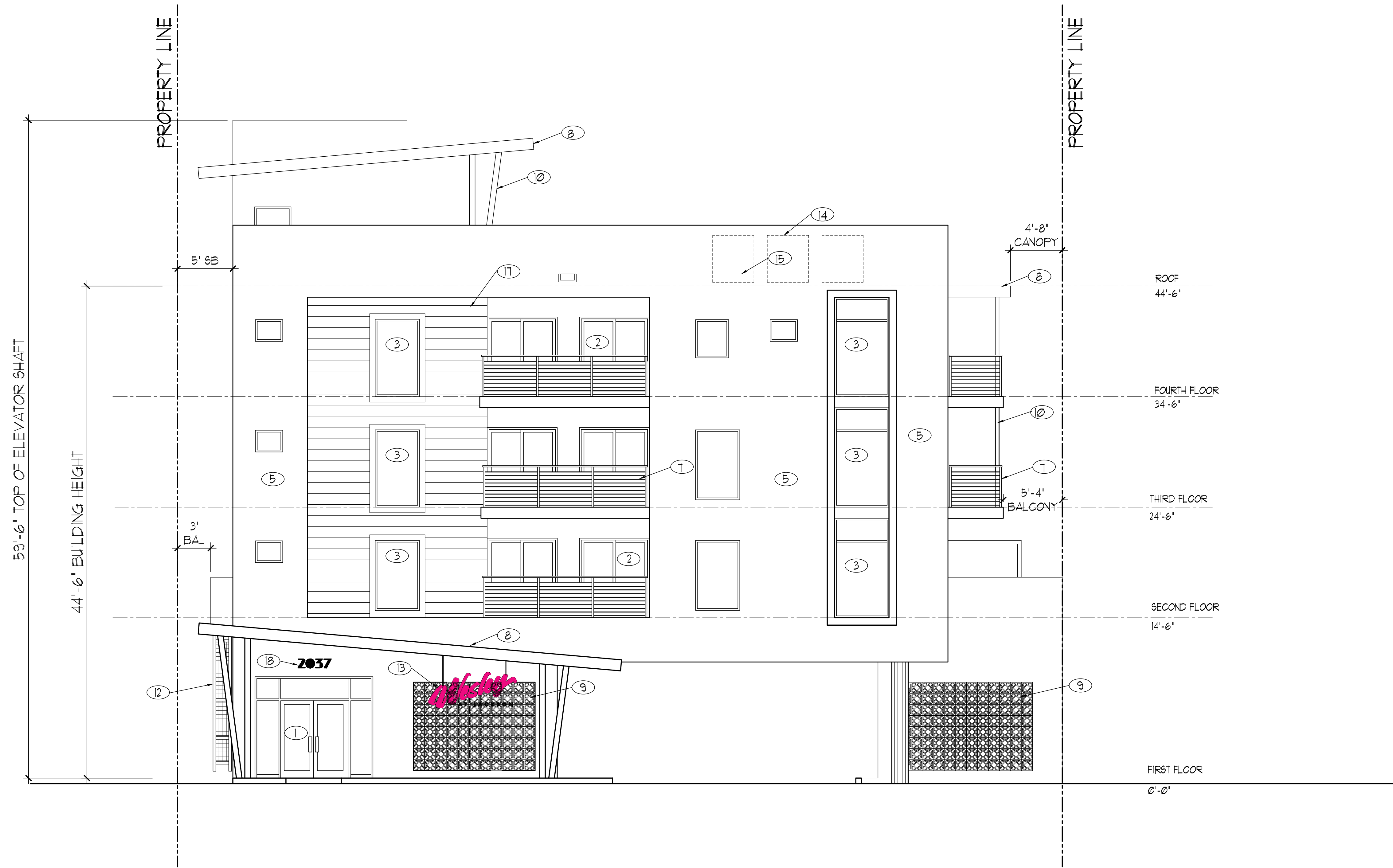
This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 21013
 DATE: 3-3-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

A-6

SHEET 1 OF 1



- 1. TINTED IMPACT RESISTANT STOREFRONT
- 2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
- 3. TINTED IMPACT RESISTANT WINDOWS
- 4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 5. SMOOTH STUCCO WALL FINISH
- 6. NOT USED
- 7. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
- 8. CONCRETE CANOPY
- 9. PAINTED CONCRETE BREEZE BLOCK
- 10. POWDER COATED METAL COLUMN
- 11. HORIZONTAL AND VERTICAL STUCCO SCORING
- 12. POWDER COATED ALUMINUM GARAGE SCREEN
- 13. THREE DIMENSIONAL CEILING HUNG SIGNAGE
- 14. CONDENSING UNITS BEYOND
- 15. SECONDARY OVERFLOW SCUPPER
- 16. RAIN WATER LEADER
- 17. COMPOSITE WOOD SIDING
- 18. WALL MOUNTED THREE DIMENSIONAL SIGNAGE
- 19. POWDER COATED IMPACT RESISTANT ROLL-UP DOOR

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



Kaller Architecture
 AA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

ELEVATIONS

SHEET TITLE

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

PROJECT No.: 21013
 DATE: 2-26-21
 DRAWN BY: TMS
 CHECKED BY: JBK

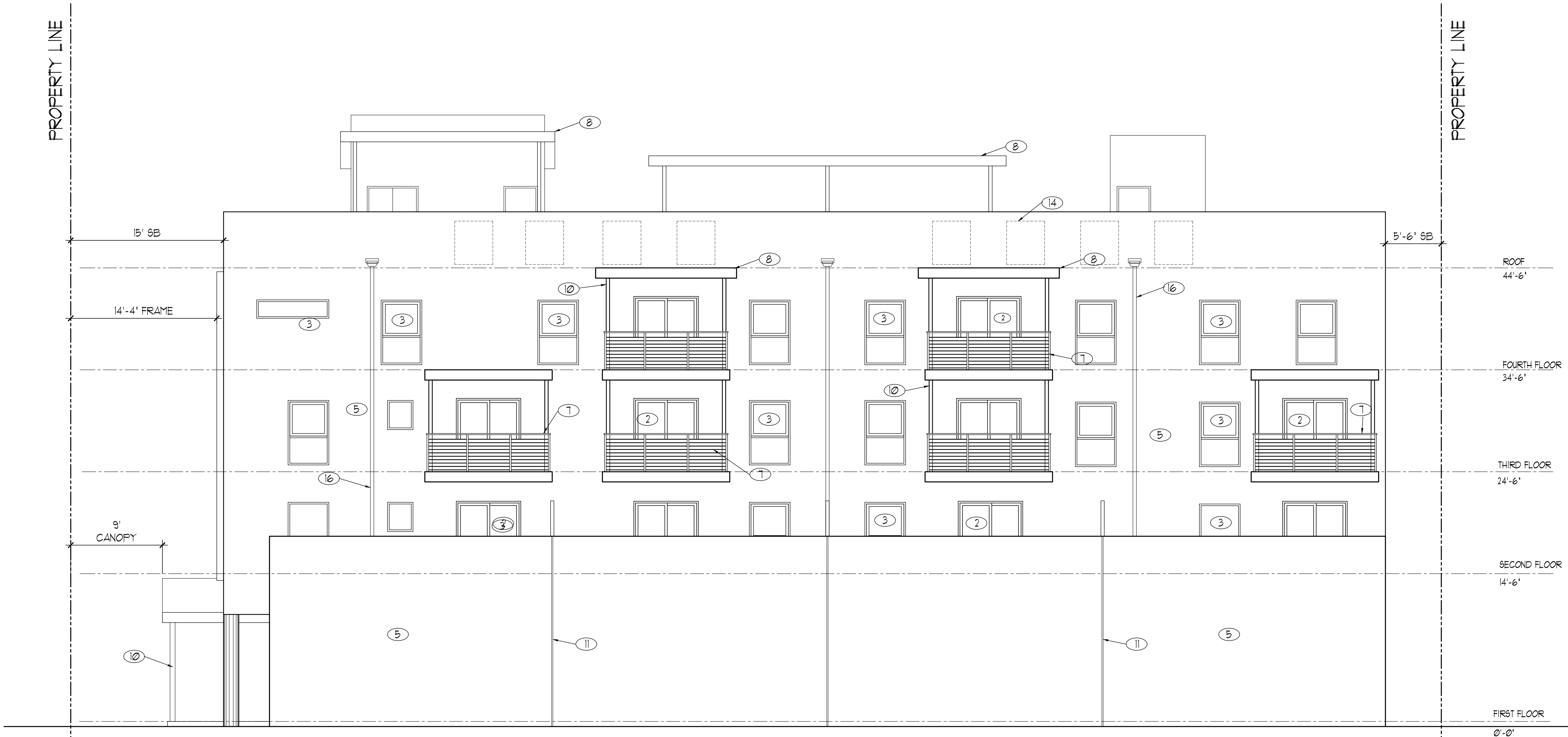
SHEET

A-7

SHEET 1 OF 1

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

Kaller Architecture is the sole author of the design and shall retain all rights in the design. The Contractor shall be responsible for the proper execution and completion of the work. The Contractor shall be responsible for the proper execution and completion of the work. The Contractor shall be responsible for the proper execution and completion of the work. The Contractor shall be responsible for the proper execution and completion of the work.



- 1. TINTED IMPACT RESISTANT STOREFRONT
- 2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
- 3. TINTED IMPACT RESISTANT WINDOWS
- 4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 5. SMOOTH STUCCO WALL FINISH
- 6. NOT USED
- 7. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
- 8. CONCRETE CANOPY
- 9. PAINTED CONCRETE BREEZE BLOCK
- 10. POWDER COATED METAL COLUMN
- 11. HORIZONTAL AND VERTICAL STUCCO SCORING
- 12. POWDER COATED ALUMINUM GARAGE SCREEN
- 13. THREE DIMENSIONAL CEILING HUNG SIGNAGE
- 14. CONDENSING UNITS BEYOND
- 15. SECONDARY OVERFLOW SCUPPER
- 16. RAIN WATER LEADER
- 17. COMPOSITE WOOD SIDING
- 18. WALL MOUNTED THREE DIMENSIONAL SIGNAGE
- 19. POWDER COATED IMPACT RESISTANT ROLL-UP DOOR

EAST ELEVATION

SCALE: 3/16" = 1'-0"



KallerArchitecture
 A#F 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

SHEET TITLE
ELEVATIONS

SHEET TITLE

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

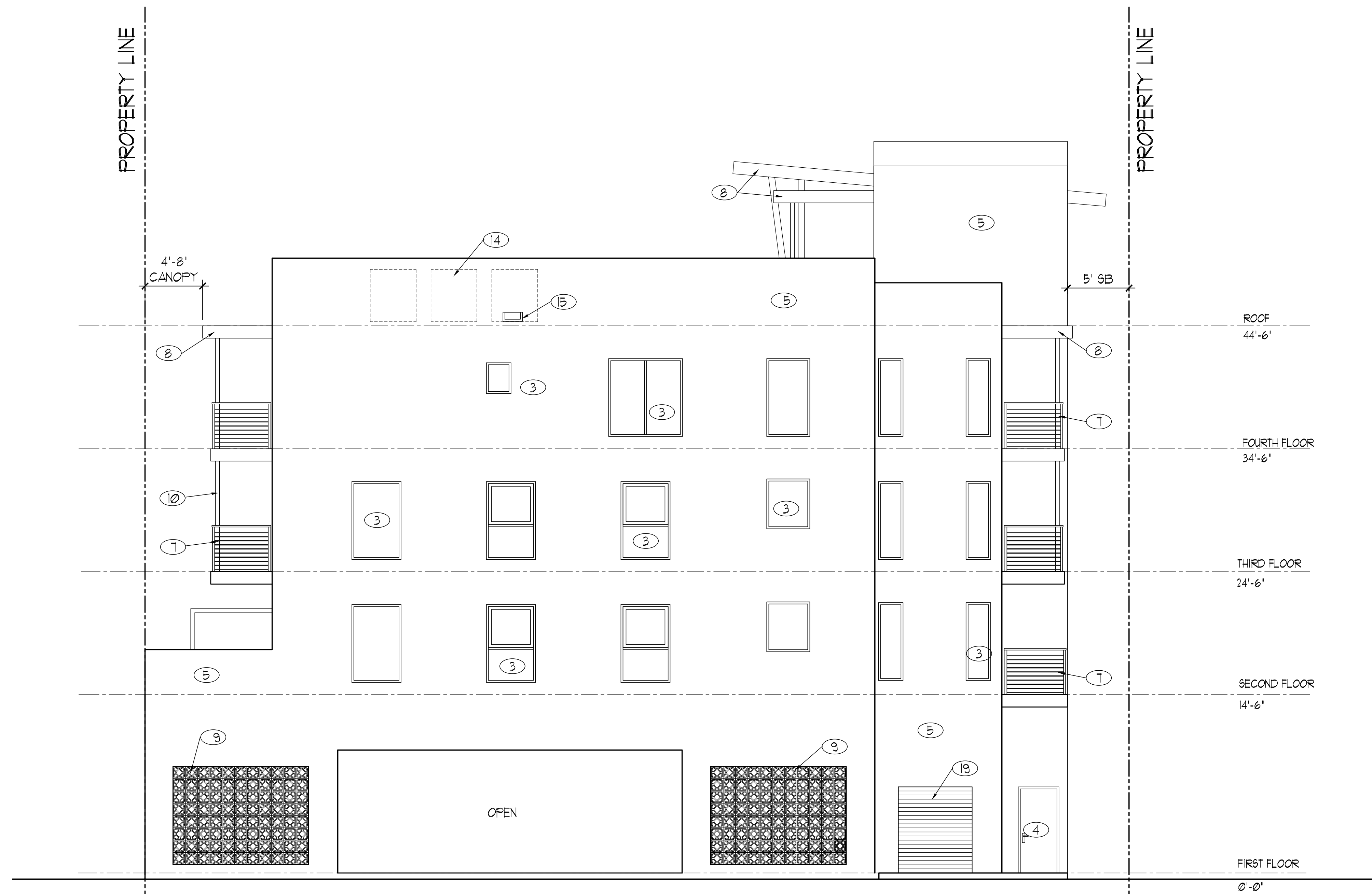
This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 21013
 DATE: 2-26-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

A-8

SHEET 1 OF 1



- 1. TINTED IMPACT RESISTANT STOREFRONT
- 2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
- 3. TINTED IMPACT RESISTANT WINDOWS
- 4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 5. SMOOTH STUCCO WALL FINISH
- 6. NOT USED
- 7. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
- 8. CONCRETE CANOPY
- 9. PAINTED CONCRETE BREEZE BLOCK
- 10. POWDER COATED METAL COLUMN
- 11. HORIZONTAL AND VERTICAL STUCCO SCORING
- 12. POWDER COATED ALUMINUM GARAGE SCREEN
- 13. THREE DIMENSIONAL CEILING HUNG SIGNAGE
- 14. CONDENSING UNITS BEYOND
- 15. SECONDARY OVERFLOW SCUPPER
- 16. RAIN WATER LEADER
- 17. COMPOSITE WOOD SIDING
- 18. WALL MOUNTED THREE DIMENSIONAL SIGNAGE
- 19. POWDER COATED IMPACT RESISTANT ROLL-UP DOOR

NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



KallerArchitecture
 A# 2601212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

SHEET TITLE
ELEVATIONS

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 21013
 DATE: 2-26-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET

A-9

SHEET 1 OF 1

PROPERTY LINE

PROPERTY LINE



- 1. TINTED IMPACT RESISTANT STOREFRONT
- 2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
- 3. TINTED IMPACT RESISTANT WINDOWS
- 4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 5. SMOOTH STUCCO WALL FINISH
- 6. NOT USED
- 7. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
- 8. CONCRETE CANOPY
- 9. PAINTED CONCRETE BREEZE BLOCK
- 10. POWDER COATED METAL COLUMN
- 11. HORIZONTAL AND VERTICAL STUCCO SCORING
- 12. POWDER COATED ALUMINUM GARAGE SCREEN
- 13. THREE DIMENSIONAL CEILING HUNG SIGNAGE
- 14. CONDENSING UNITS BEYOND
- 15. SECONDARY OVERFLOW SCUPPER
- 16. RAIN WATER LEADER
- 17. COMPOSITE WOOD SIDING
- 18. WALL MOUNTED THREE DIMENSIONAL SIGNAGE
- 19. POWDER COATED IMPACT RESISTANT ROLL-UP DOOR

WEST ELEVATION
 SCALE: 3/16" = 1'-0"

Kaller Architecture is a registered professional engineering firm in the state of Florida. The drawing shall be used only for the project and site shown. Kaller Architecture is not responsible for any errors or omissions in this drawing. The drawing is the property of Kaller Architecture and shall not be reproduced, published or used in any way without the permission of the Architect.



KallerArchitecture
 AIA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

 JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

SHEET TITLE
 CONTEXTUAL STREET
 ELEVATIONS

SHEET TITLE

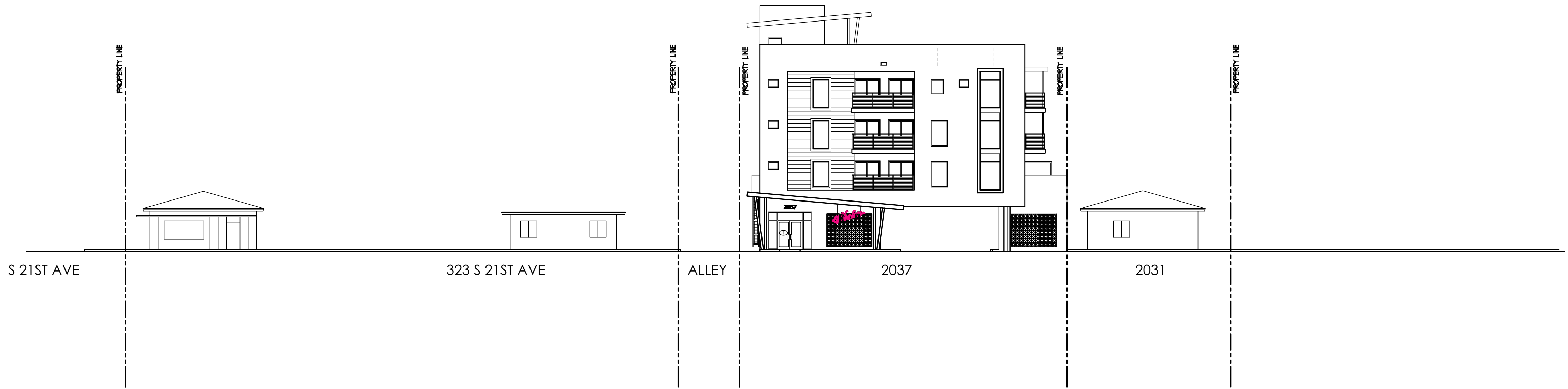
REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

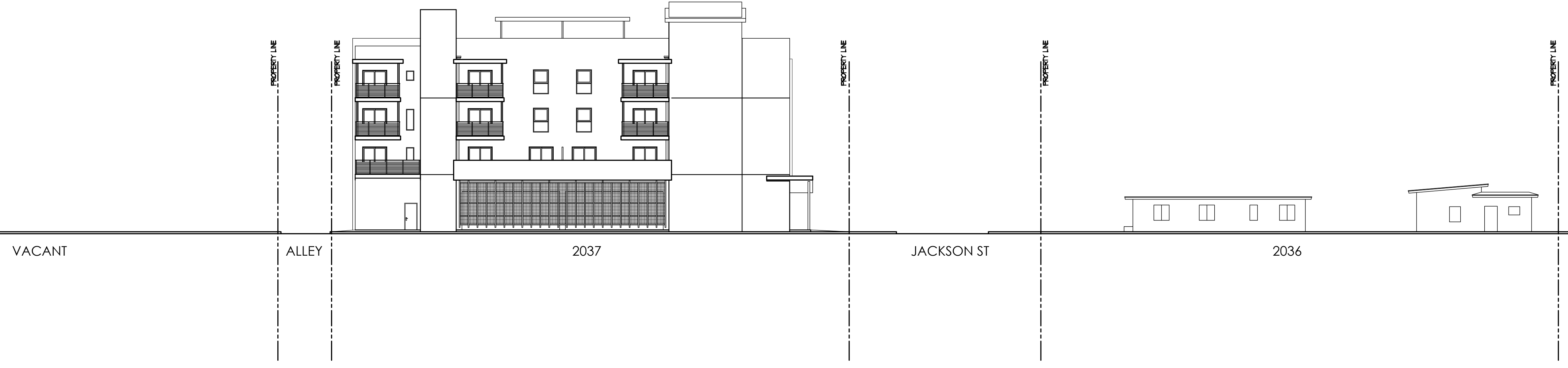
This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 21013
 DATE: 2-26-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET
 A-10
 SHEET 1 OF 1



JACKSON STREET LOOKING NORTH



15' ALLEY LOOKING EAST

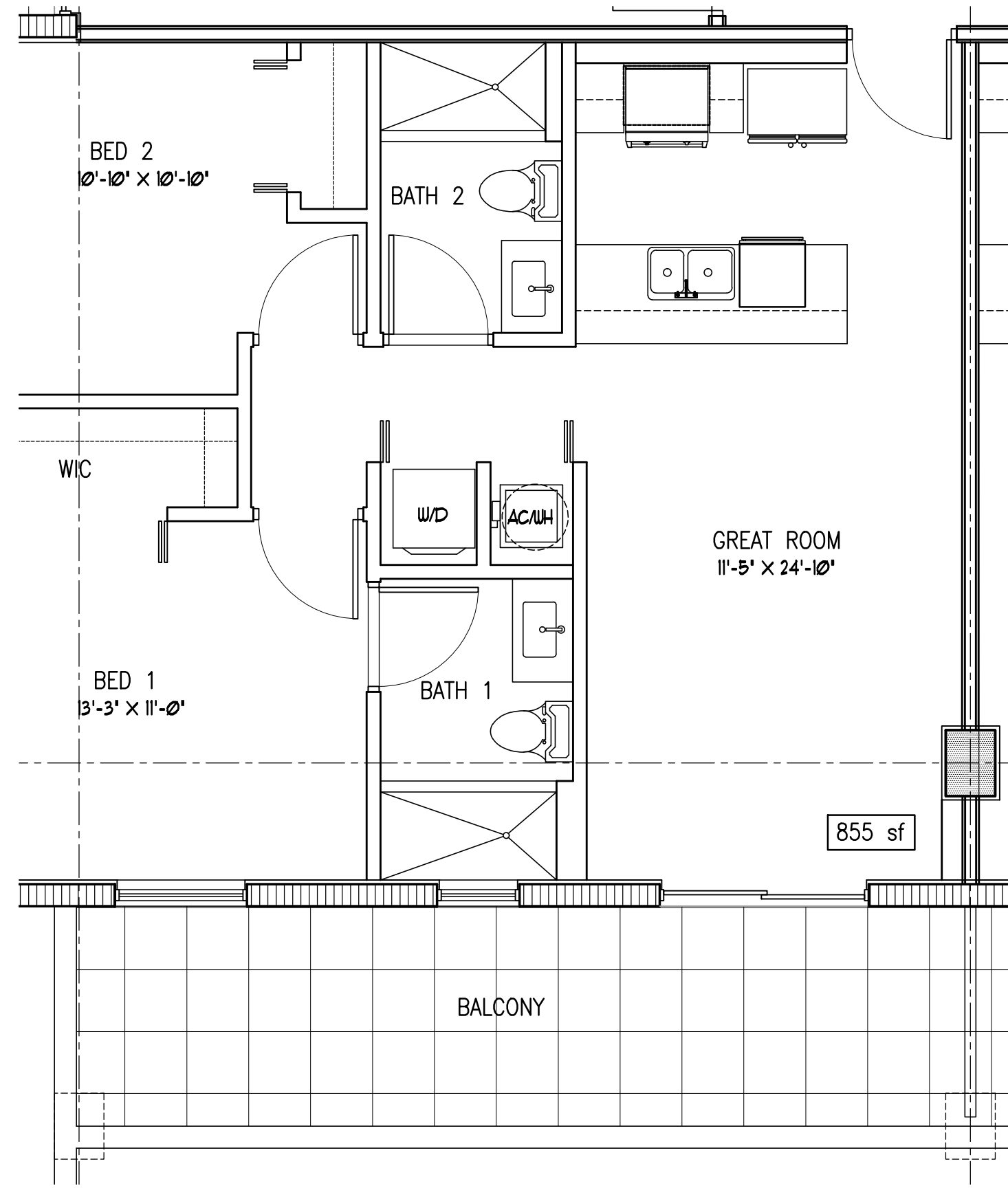
CONTEXTUAL STREET ELEVATIONS

SCALE: 1/16" = 1'-0"

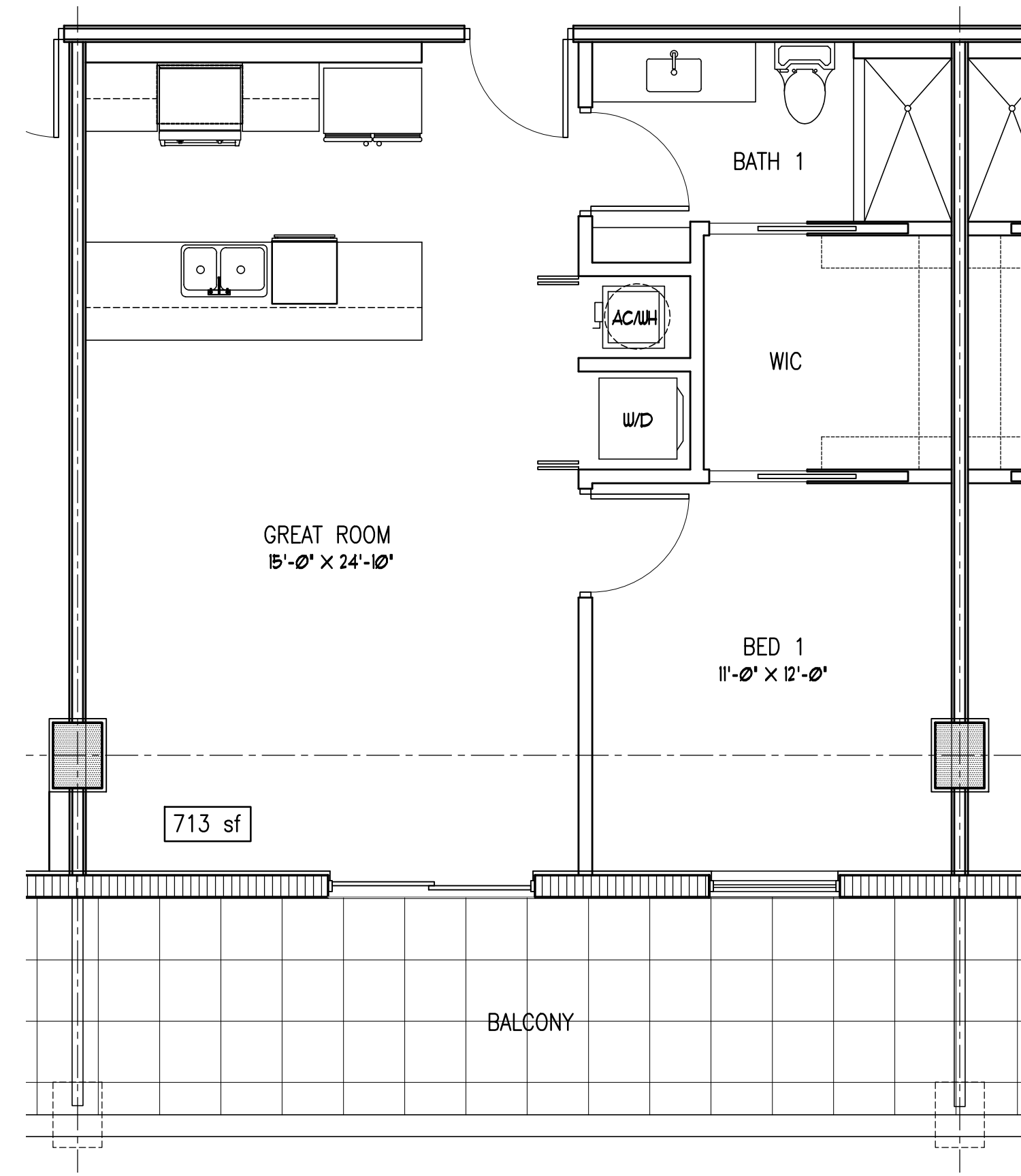
KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018

No.	DATE	DESCRIPTION

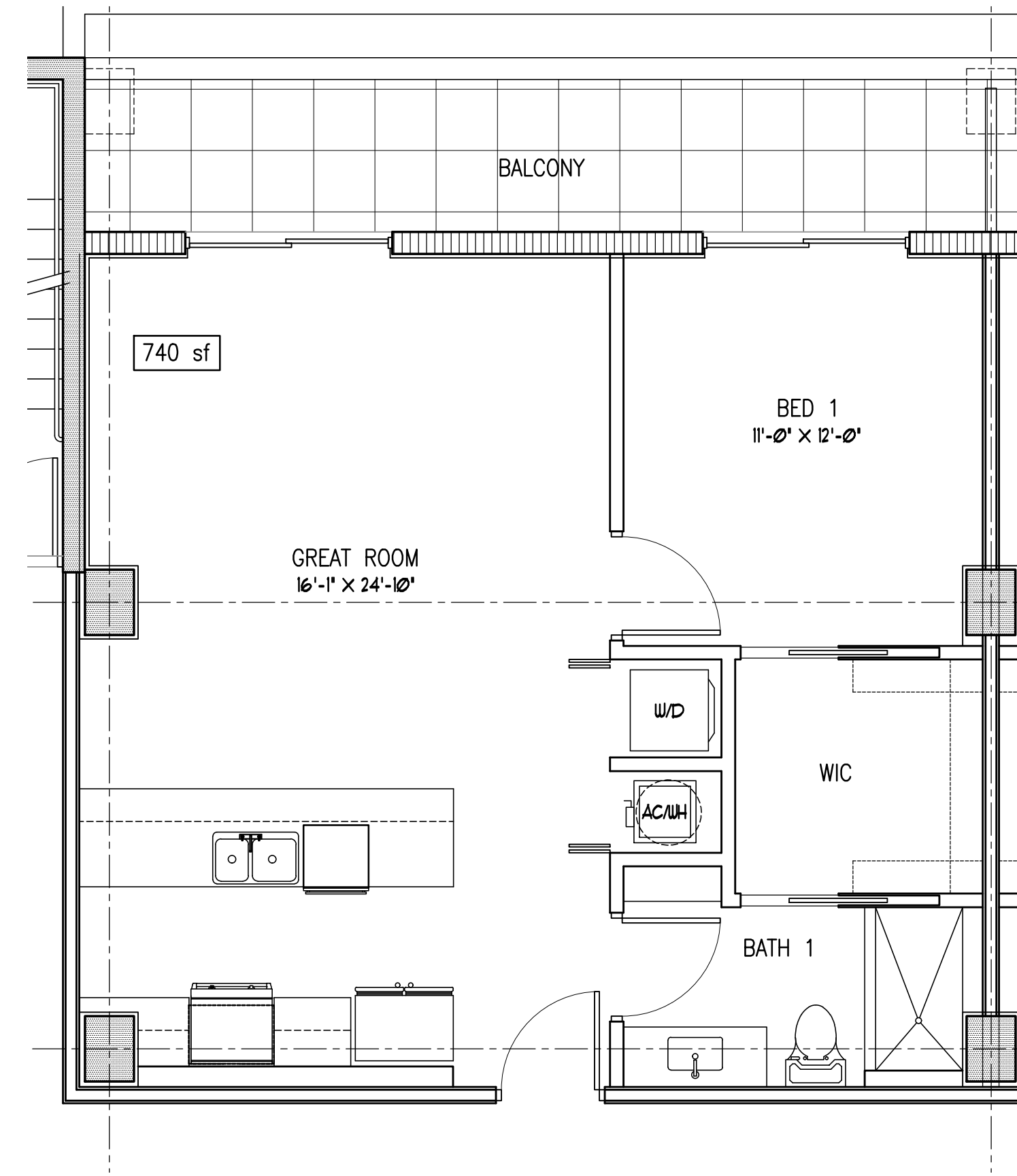
This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.



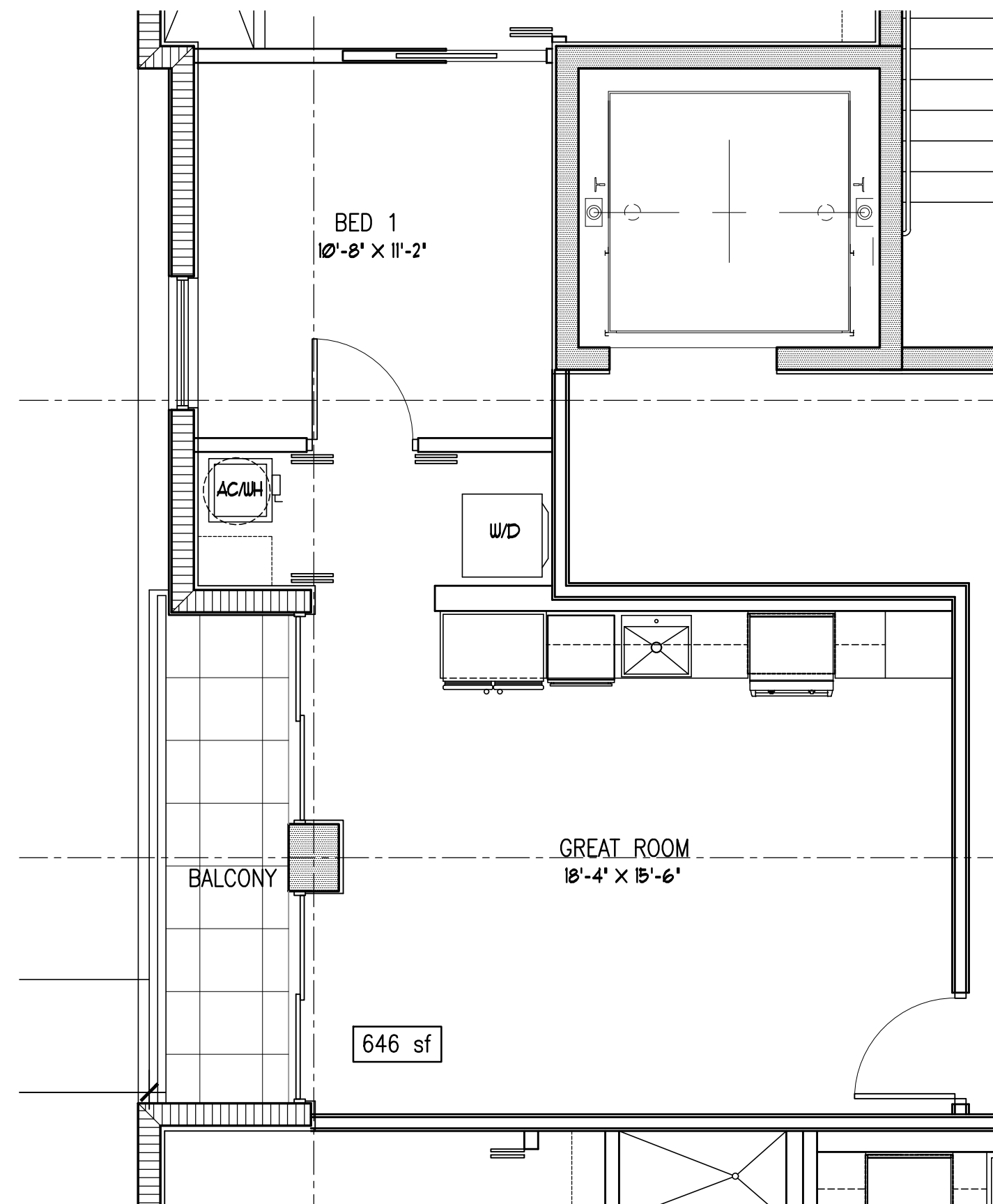
UNIT TYPE A



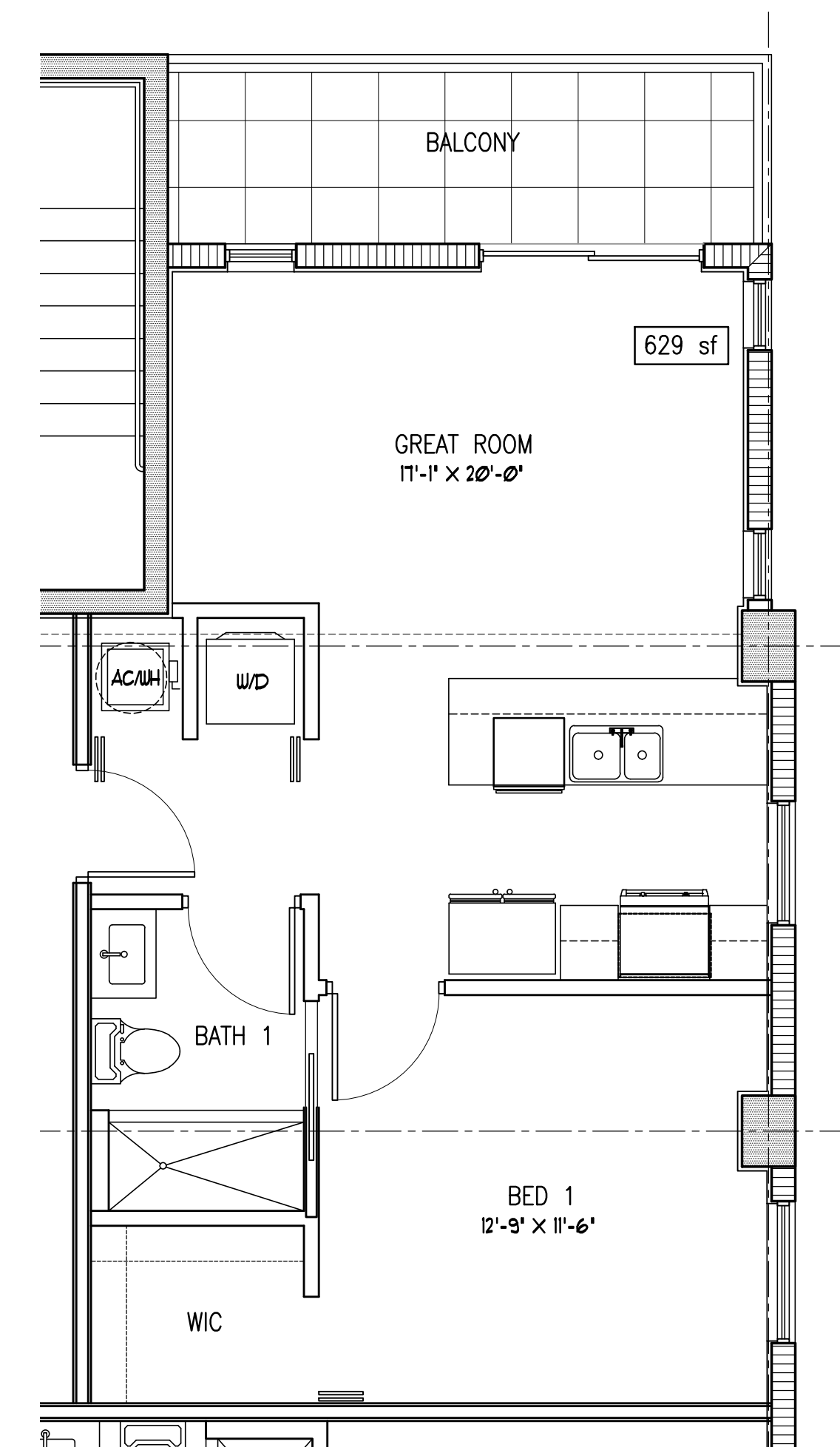
UNIT TYPE A1



UNIT TYPE A2



UNIT TYPE A4



UNIT TYPE A3

UNIT TYPE BLOW UP PLANS

SCALE: 1/4" = 1'-0"



KallerArchitecture
 AIA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com

www.kallerarchitects.com
 SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

PROJECT TITLE

SHEET TITLE
 UNIT TYPE BLOW UP PLANS

REVISIONS
 No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

PROJECT No.: 21013
 DATE: 2-26-21
 DRAWN BY: TMS
 CHECKED BY: JBK

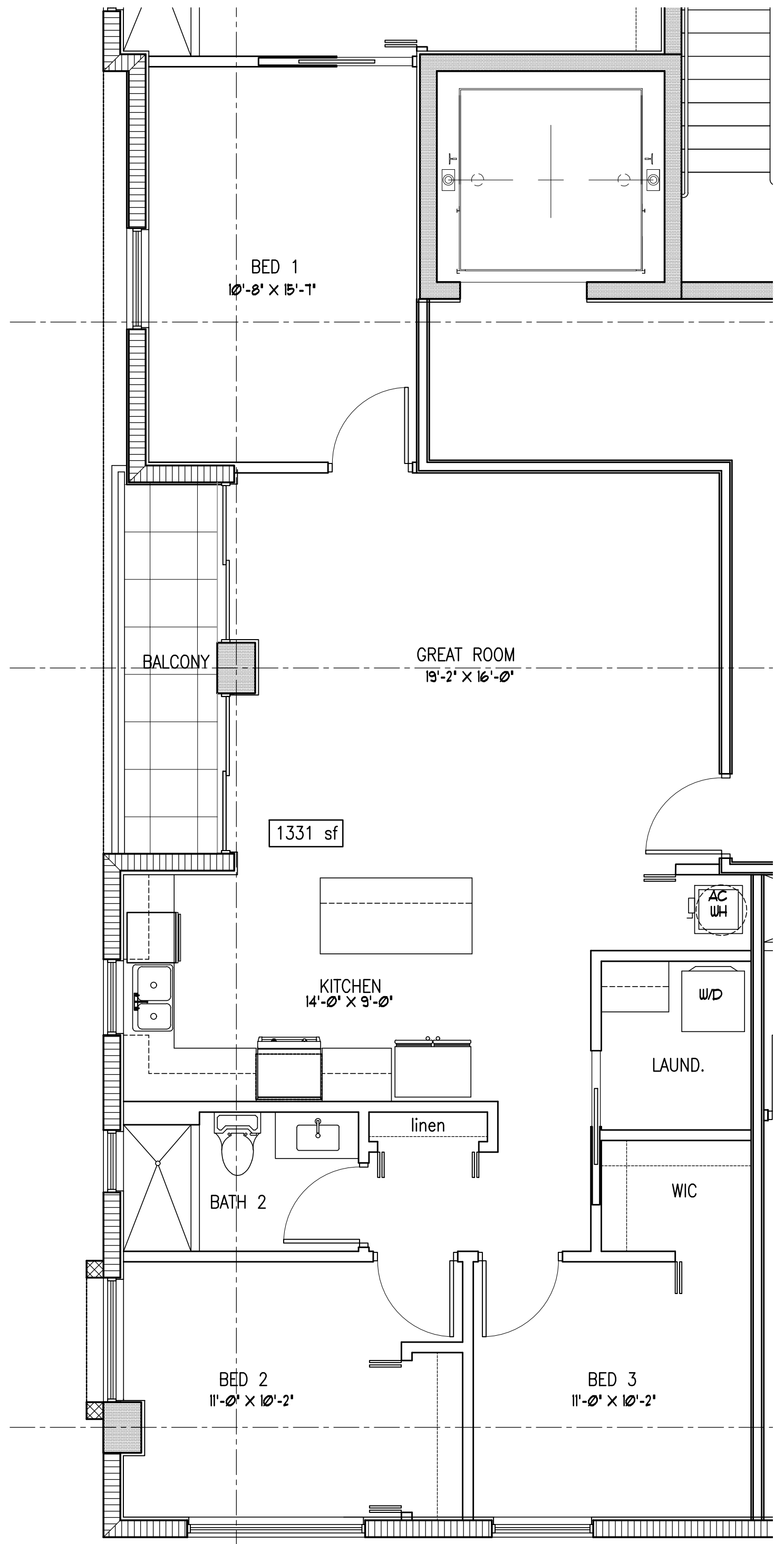
SHEET

A-12

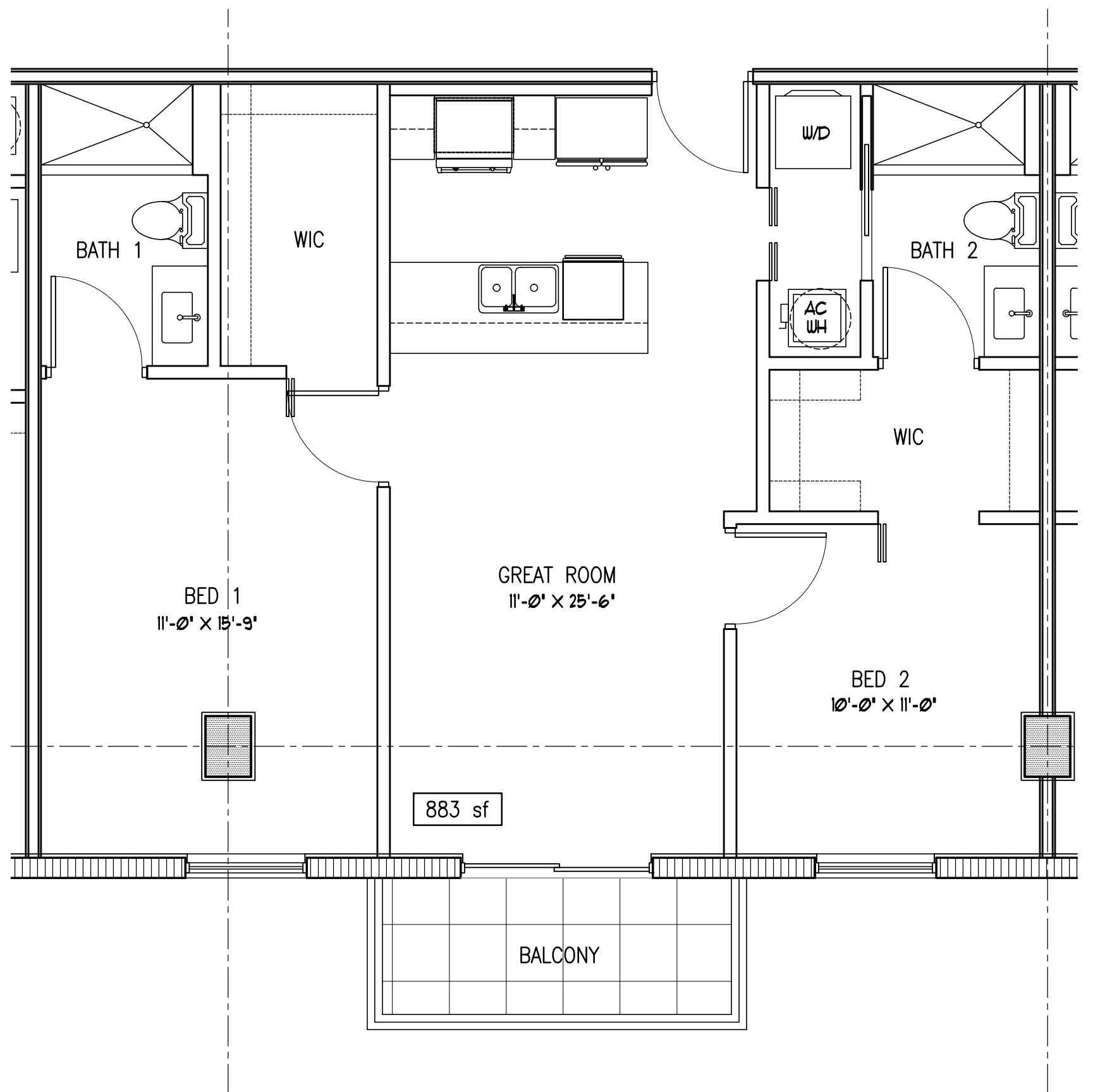
SHEET 1 OF 1

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

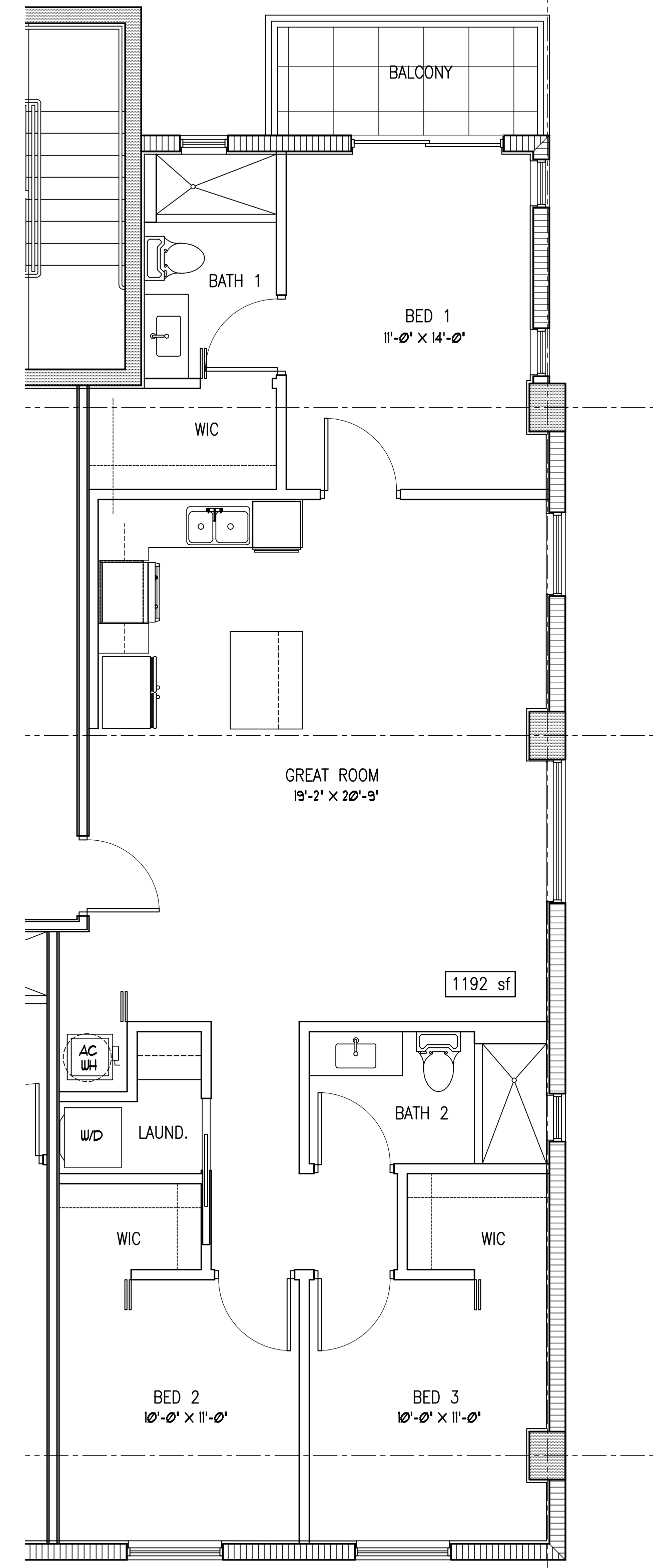
Blowers that use compressed air of Building Documents in preparing, submitting, or publishing, shall, under the "Blowers" section of the Building Documents, be responsible for the proper selection and completion of the work by the Contractor. The Contractor Documents are a contract, and shall be read and completed by the Contractor. The Contractor shall be held responsible for the proper selection and completion of the work by the Contractor. The Contractor Documents are a contract, and shall be read and completed by the Contractor. The Contractor shall be held responsible for the proper selection and completion of the work by the Contractor.



UNIT TYPE C



UNIT TYPE B



UNIT TYPE C1

UNIT TYPE BLOW UP PLANS
 SCALE: 1/4" = 1'-0"



KallerArchitecture
 AIA# 26001212
 2417 Hollywood Blvd.
 Hollywood Florida 33020
 954.920.5746
 joseph@kallerarchitects.com
 www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA R.A. # 0009239

PROJECT TITLE
The WESLEY
 at JACKSON
 2037 JACKSON STREET
 HOLLYWOOD FLORIDA 33020

SHEET TITLE
 SITE AND SURROUNDING
 SITE PICTURES

REVISIONS		
No.	DATE	DESCRIPTION

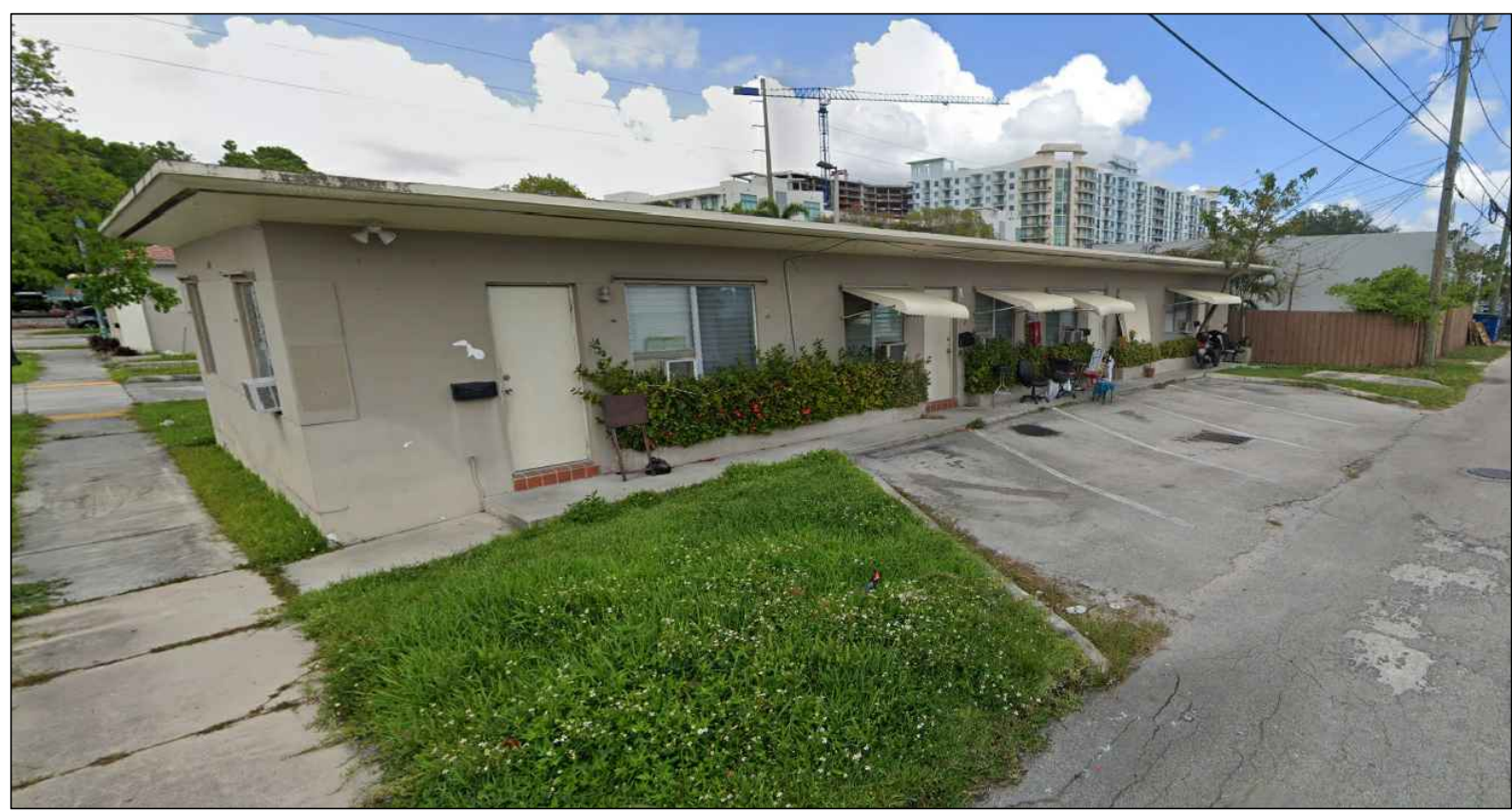
PROJECT No.: 21013
 DATE: 2-26-21
 DRAWN BY: TMS
 CHECKED BY: JBK

SHEET
A-13
 SHEET 1 OF 1

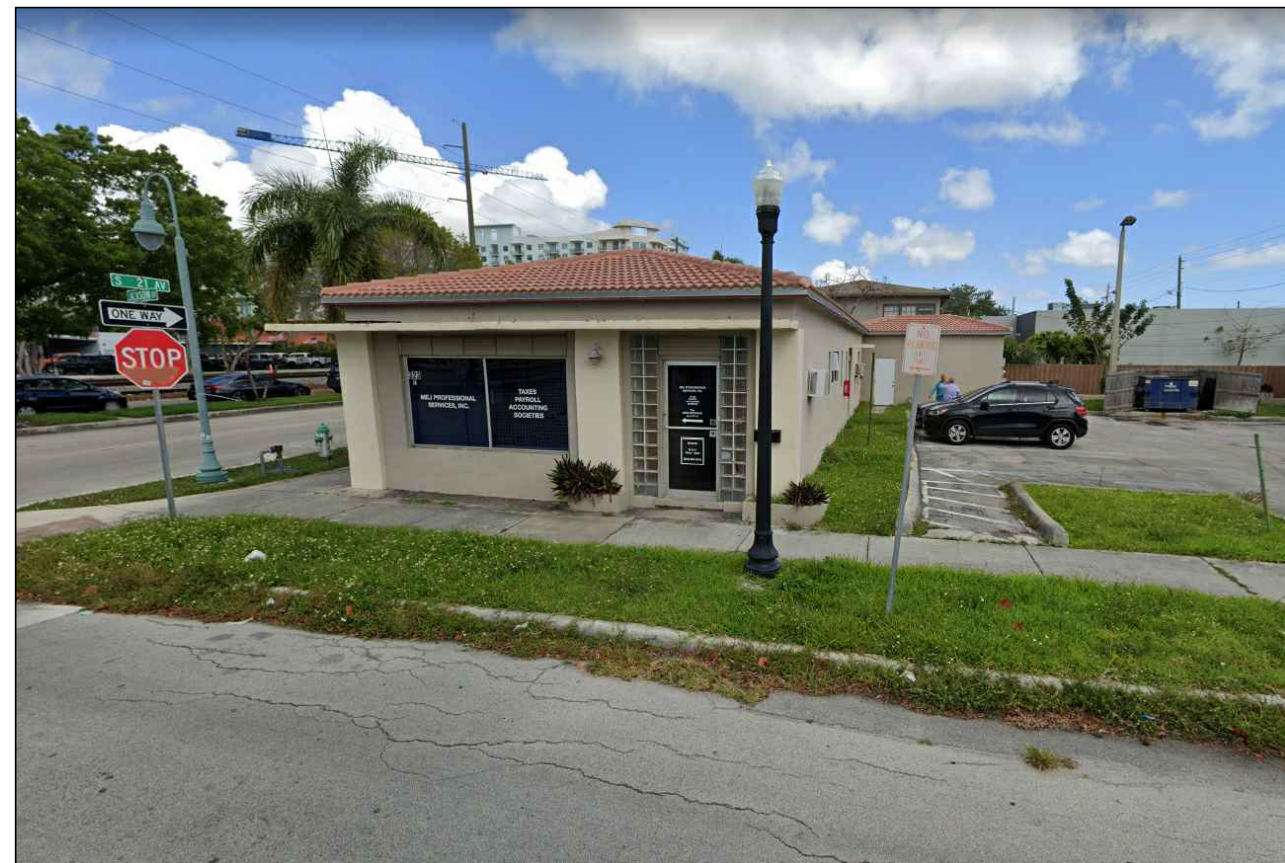


2037 JACKSON STREET THE SITE

PICTURE OF THE SITE



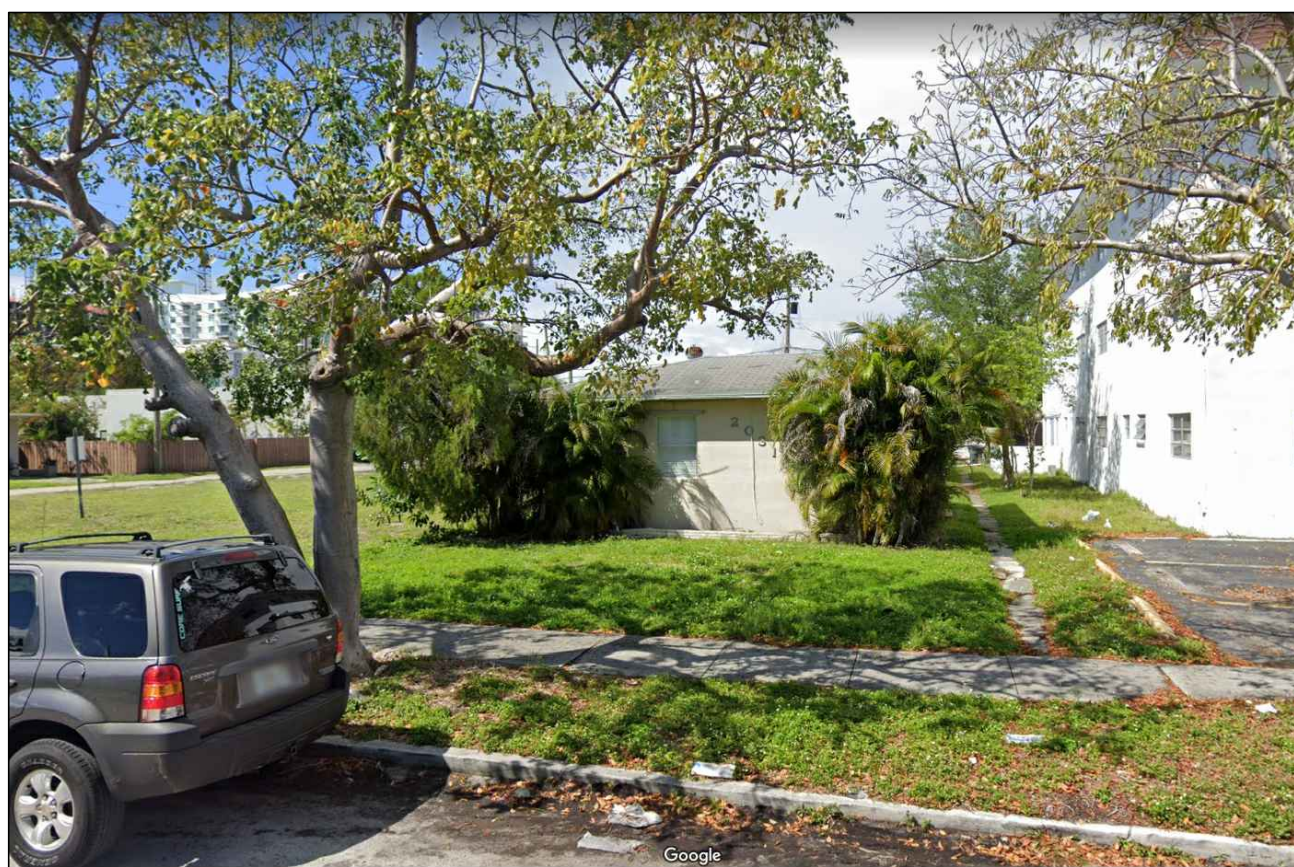
323 S 21ST AVE EAST BUILDING



323 S 21ST AVE WEST BUILDING



2030 JACKSON STREET



2031 JACKSON STREET



2036 JACKSON STREET

PICTURES OF THE SURROUNDING SITES

SITE PICTURES

KALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018

BIDDERS SHALL USE COMPLETE SET OF BUILDING DOCUMENTS IN PREPARING BIDS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION FOR THE PROJECT AND FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE ARCHITECT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES.

main building color
benjamin moore
white dove OC-17



accent colors
benjamin moore
wish AF-680

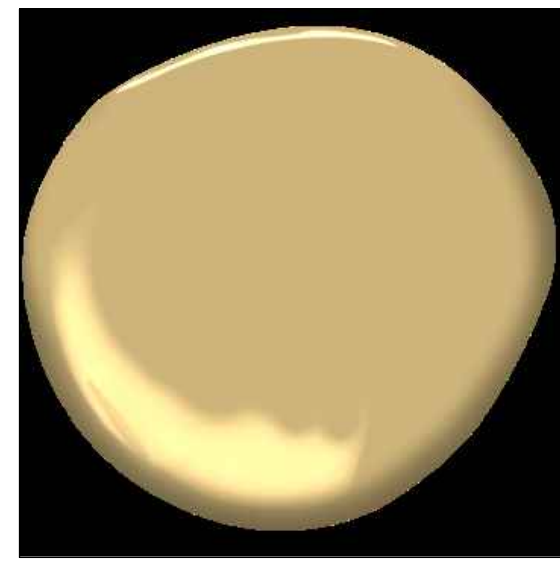


delray gray 1614



12"X 12"X4"
breeze block
LA FIESTA

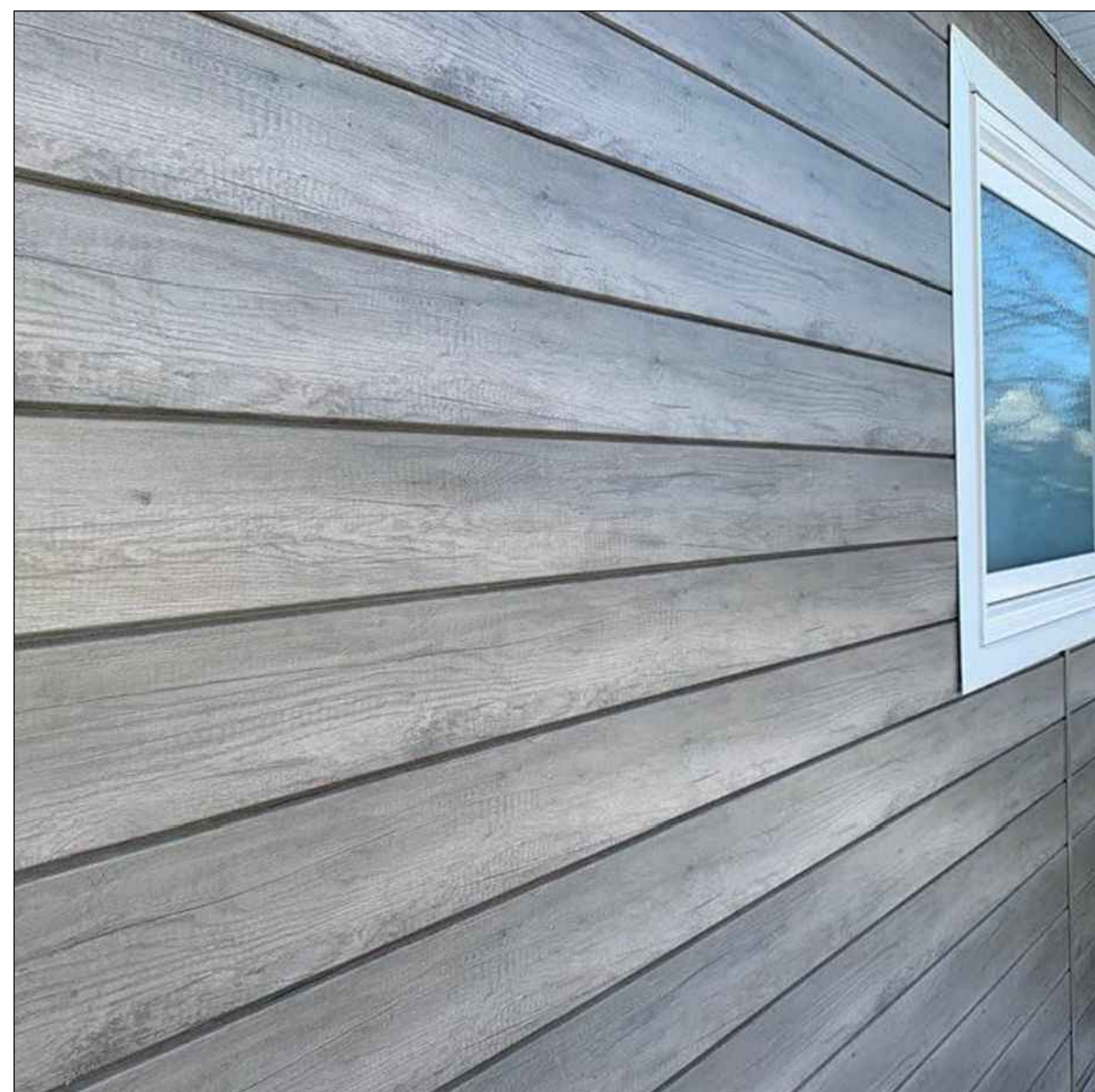
mustard seed 222



white storefront



white window slider



composite wood siding



mail center



garage screen



metal picket balcony railing



metal picket fence

MATERIAL SAMPLES



KallerArchitecture
AIA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com
www.kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
The WESLEY
at JACKSON
2037 JACKSON STREET
HOLLYWOOD FLORIDA 33020

SHEET TITLE
MATERIAL SAMPLES

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION

PROJECT No.: 21013
DATE: 2-26-21
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-14

SHEET 1 OF 1