

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development Board

Date of Application: 08/24/2020

Location Address: 2455 POLK ST, HOLLYWOOD, FL 33020

Lot(s): 7 Block(s): 17 Subdivision: HOLLYWOOD LITTLE

Folio Number(s): 51-42-16-01-6470 RAHC

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: 8 UNITS, 9,600 SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File

Number(s) and Resolution(s): FILE NUMBER: 20-PP-27

- Economic Roundtable Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development

Explanation of Request: P-TAC SUBMITTAL

Number of units/rooms: 8 UNITS, 24 ROOMS Sq Ft: 9,600 SF

Value of Improvement: \$1,200,000 Estimated Date of Completion: 1st Q 2022

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: DTD 190, LLC

Address of Property Owner: 2719 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020

Telephone: 305-788-4079 Fax: _____ Email Address: ROY@DREAMTEAMDEVELOPER.COM

Name of Consultant/Representative/Tenant (circle one): ELIAS BENAIM

Address: 2719 HOLLYWOOD BLVD Telephone: 1-954-610-4637

Fax: _____ Email Address: ebenaim@yahoo.com

Date of Purchase: 02/06/2020 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: LEON ROY HAUSMANN

Address: 2719 HOLLYWOOD BLVD

HOLLYWOOD, FL 33020 Email Address: _____

ROY@DREAMTEAMDEVELOPER.COM

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CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 08-24-2010

PRINT NAME: LEON ROY HAUSMANN Date: 08-24-2010

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Notary Public
State of Florida

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

Signature of Current Owner

Print Name



August 24TH, 2020

Technical Advisory Board Committee
Room 315 of City Hall and at the Broward County
Hollywood Branch Library located at 2600 Hollywood Boulevard.

FILE NUMBER: 20-DP-27

SUBJECT: Preliminary Site Plan review for an 8-unit residential development.

SITE DATA

Owner/Applicant: DTD 190, LLC.
Address/Location: 2455 Polk Street, Hollywood, FL 33020
Gross Size of Property: XXX
Net Size of Property: 20,500 sq. ft. (0.47 acres)
Land Use: Regional Activity Center (RAC)
Zoning: Multi-family Residential Core District (MC-1) Single Family Residential
Present Use of Land: Year Built: 1950/1940

ADJACENT LAND USE

North: Regional Activity Center (RAC)
South: Regional Activity Center (RAC)
East: Regional Activity Center (RAC)
West: Regional Activity Center (RAC)

ADJACENT ZONING

North: Multi-family Residential Core District (MC-1)
South: Transitional Core District (TC-1)
East: Multi-family Residential Core District (MC-1)
West: Multi-family Residential Core District (MC-1)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

DTD 190, LLC
2719 Hollywood Blvd, Hollywood, FL 33020
E: roy@dreamteamdeveloper.com

CRH



A. APPLICATION SUBMITTAL

Carmen Diaz, Associate Planner (cdiaz@hollywoodfl.org) 954-921-3471

1. Ownership & Encumbrance Report (O&E):

- a) Shall indicate it was searched from 1953 or time of platting (earliest of the two).

Please Refer to revised O&E.

1953; Plat was recorded in 1978.

- b) Provide listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access lines, etc.)

Please Refer to revised O&E.

Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of HOLLYWOOD LITTLE RANCHES, as recorded in Plat Book 1, Page(s) 26, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).

- c) Provide a listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so).

None. Please Refer to revised O&E.

- d) Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.

Please Refer to revised O&E. LOT SIZE – 20,500 SQFT.

- e) O&E, Survey and General application shall match owner's information and be updated. Public records show a new owner's name.

NO COMMENTS ALL MATCH NO ISSUE

2. Alta Survey:

- a) Shall be based on and dated after O&E. Ensure that O&E reports are specifically referenced.

Revised ALTA survey is dated August 20th, which is one day after of the revised O&E, which was signed in August 19th.

DTD 190, LLC

2719 Hollywood Blvd, Hollywood, FL 33020

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LDH



- b) Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Done.

3. **Cover Sheet: (RESPONSIBLE PARTY MS. MOIRA DOUGLAS)**

- a) Provide index of drawings.
PLEASE REFER TO THE ENCLOSED REVISED PLANS , SHEET "C"
- b) Indicate current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.
PLEASE REFER TO THE ENCLOSED REVISED PLANS , SHEET "C"
- c) Provide a clear location of project on location map.
PLEASE REFER TO THE ENCLOSED REVISED PLANS , SHEET "C"
- d) Provide project name and address on cover sheet.
PLEASE REFER TO THE ENCLOSED REVISED PLANS , SHEET "C"

4. **Site Plan:**

- a) Buildings shall have a recognizable entrance facing rights of way. Entrances shall be visible to pedestrians and vehicular traffic. Entrances to units shall have a connection to the sidewalk.
ALL BUILDINGS HAVE ENTRANCE FRONTING THE RIGHT OF WAY. ALL ENTRANCES ARE VISIBLE TO VEHICULAR AND PEDRESTIAN TRAFFIC. PLEASE REFER TO SHEET SP1.
- b) Site data shall be along with Site Plan on sheet SP.1
COMPLIES. PLEASE REFER TO SHEET SP1.
- c) Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval.
INCLUDED. PLEASE REFER TO SHEET SP1.
- d) Provide total floor area of each type of unit/room including a breakdown of air-conditioned and non-air-conditioned space (balconies, garages, terraces, landscape area, etc).
INCLUDED. PLEASE REFER TO SHEET A1 & A2.
- e) Provide the number of dwelling units/rooms on each floor including the number of bedrooms/ bathrooms for each unit type.
INCLUDED. PLEASE REFER TO SHEET A1 & A2.
- f) Provide required and provided setbacks on site data.
WE COMPLY. PLEASE REFER TO SHEET SP1.
- g) Provide required and provided pervious and impervious areas including their percentages on site data.
WE COMPLY. PLEASE REFER TO SHEET SP1.
- h) Site plan shall illustrate planned right of way/swale improvements, including sidewalk, curb cuts, street trees, etc.
INCLUDED. PLEASE REFER TO SHEET SP1 FOR SIDEWALK, PLEASE REFER TO CIVIL DRAWINGS FOR SWALE & CURB CUTS AND PLEASE REFER TO LANDSCAPING PLANS SHEET L2 FOR STREET TREES.
- i) Provide curbing "D" or "F" for all vehicular impact points. If provided, indicate on Site Plan.
PLEASE REFER TO CIVIL DRAWINGS SHEET C-502 DETAIL B "CURB DETAILS"

DTD 190, LLC

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- j) Ensure that legal description and lot size match Alta Survey and O&E exactly.
THEY MATCH
- k) How do residents access the dumpster area?
PLEASE REFER TO REVISED SP1 WHICH SHOWS CONTINUOUS SIDEWALK ALONG THE PROJECT.
- l) Include all projections above and dimensions on Site Plan.
PLEASE REFER TO SHEET SP1
- 5. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Website:
<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication.pdf>
WILL DO ONCE THE TAC SUBMITTAL IS APPROVED
- 6. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.
PLEASE REFER TO ENCLOSED PLAT
- 8. A public participation outreach meeting is required as per zoning in progress. Coordinate with all civic/neighborhood association(s) within 500 feet of the proposed project and provide written notice to the applicable association(s) of the date, time and place of the public participation outreach meeting. Prior to submittal of an application to the applicable Board or City Commission, Applicants shall provide to the Division of Planning and Urban Design, with copy to applicable associations, a letter certifying the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion, including comments expressed during the meeting(s). Additional comments may be forthcoming.

OWNER HAS ALREADY CONTACTED MS. LILIANA BELTRAN ON 08-19-2020 AND SENT EMAIL WITH REQUESTED INFORMATION TO MS. PATRICIA ANTRICAN FROM NORTH CENTRAL CIVIC ASSOCIATION.
- 9. Provide written responses to all comments with next submittal.

DONE.

B. ZONING

Carmen Diaz, Associate Planner (cdiaz@hollywoodfl.org) 954-921-3471

- 1. Revise Site Plan, parking calculations, required and provided. Zoning in progress to revise parking in the RAC as follows: Units of one bedroom or less: 1 space per unit;
Units exceeding one bedroom (including dens):

1.5 space per unit;
plus 1 space per 10 units for guest parking

COMPLIES

DTD 190, LLC
2719 Hollywood Blvd, Hollywood, FL 33020
E: roy@dreamteamdeveloper.com

L.R.H



2. New residential projects require ten green building practices. See Code of Ordinances 151.153. Provide this information on Site Plan.

PLEASE REFER TO REVISED SHEET "SP1", WHICH INCLUDES THE 10 GREEN BUILDING PRACTICES.

3. Provide a roof plan with next submittal.

PLEASE REFER TO SHEET SP1. THEY ARE A FLAT ROOF & ELEVATIONS SHEETS A3 & A4.

4. Work with the City's Landscape Reviewer to ensure that all landscape requirements are met. There are a number of existing trees on site. Coordinate appropriate mitigation strategy.

DONE.

C. ARCHITECTURE AND URBAN DESIGN

Carmen Diaz, Associate Planner (cdiaz@hollywoodfl.org) 954-921-3471

1. Provide a complete west and east elevations, and you can also provide front and rear elevations separately.

PLEASE REFER TO SHEETS A3 & A4.

2. Stairs shall indicate starting point and end point on floor plans.

PLEASE REFER TO SHEETS A1 & A2

3. Renderings do not match elevations. Revise accordingly.

PLEASE REFER TO REVISED 3D RENDERS (3 VIEWS)

4. Provide color samples with future submittals.

WILL DO

D. SIGNAGE

Carmen Diaz, Associate Planner (cdiaz@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan, all signage shall be in compliance with the Zoning and Land Development Regulations.

NOTE INCLUDED. PLEASE REFER TO SP1 & SP2 FOR COMPLIANCE SIGNAGE DETAILS.

2. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

NOT APPLICABLE

E. LIGHTING

Carmen Diaz, Associate Planner (cdiaz@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

DTD 190, LLC

2719 Hollywood Blvd, Hollywood, FL 33020

E: roy@dreamteamdeveloper.com

Handwritten initials: L & H



NOTE INCLUDED, PLEASE REFER TO SHEET ON SP1.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Elaine Franklin, Environmental Sustainability Coordinator (efranklin@hollywoodfl.org) 954-921-3201

1. No comments received.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915 Jose Garcia, Engineer, (jgarcia@hollywoodfl.org) 954-921-3900

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. Show on plans how ADA accessibility requirements are met. ADA accessible route is required between accessibility parking and building access also looks like access from parking stall 46 to the lobby is blocked by a wall.

COMMENT ADDRESSED, PLEASE REFER TO SHEET SP1.

2. Provide plans to clearly show access to the site. Label and show all roads with lane configuration that provides the site with connectivity to the roadway network.

PLEASE REFER TO SP1

3. Civil plans for the proposed work. Provide an indicate items such as but not limited to drainage improvements, curbing, all vehicle turning radii, sight triangles, pavement marking and signage plans and details as well as change in elevations to show that handicap accessibility has been met. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way.

PLEASE REFER TO ENCLOSED CIVIL DRAWINGS

4. Minimum two-way driveway is 22 ft.

PLEASE REFER TO SP1. WE KEPT THE DRIVEWAY AS 20 FT WIDE AS PER CONVERSATION WITH MR. CHARLES LASSITER & JOSE GARCIA FROM PUBLIC WORKS DEPARTMENT AT THE CITY OF HOLLYWOOD, BECAUSE DRIVEWAY IS NOT ADJACENT TO PARKING.

5. Dumpster location inside garage. Provide 14' vertical clearance at the garage entrance for garbage truck access or add note in plans about how the dumpster will be service.

THIS COMMENT DOES NOT APPLY. WE DO NOT HAVE A GARAGE, BUT OPEN PARKING.

6. Provide civil engineering streetscape pans and plan details, showing proposed sidewalks, curbs along Polk Street.

DTD 190, LLC

2719 Hollywood Blvd, Hollywood, FL 33020

E: roy@dreamteamdeveloper.com

U.R.H



PLEASE SEE ENCLOSED CIVIL DRAWINGS

7. Certified MOT plans required at the time of City Building Permit review.

THIS TASK WILL BE PERFORMED DURING CONSTRUCTION PHASE.

8. Park impact fees requirements will be required to be satisfied at the time of City building permit.

NOTED

9. Provide curb ramp with detectable warnings at all accessible crossing. Provide detail for detectable warnings.

PLEASE SEE ENCLOSED CIVIL DRAWINGS

10. More comments may follow up on review of the requested information.

H. LANDSCAPING

Guillermo Salazar, Landscape Reviewer (gsalazar@hollywoodfl.org) 954-921-3900

1. Provide a revised tree disposition plan L-1 as per reviewer calculation as provided table calculation showing total tree DBH to be a total of one hundred and forty inches of DBH and five (5) palms at 1:1 removed clearly show as part of L-1 if deficiency mitigation will be donated as tree trust fund contribution for a total of seventy five (75) miscellaneous trees owed at \$350 per each tree and provide clear total tree trust fund contribution or donation of trees to public property as part of final tree mitigation calculation table.

DONE. PLEASE REFER TO LANDSCAPING PLANS SHEET L-1. ADDITIONAL TREES AND PLAMS HAVE SLATED TO BE RELOCATED, WHICH MAKES THE NEW TOTAL CALIPER TO BE REMOVED EQUAL TO 95".

2. Provide a revised L-2 that clarifies which trees account for code required nineteen (19) trees and which if any account for owed tree mitigation as per L-1. Substitute proposed six (6) Veitchias palms at 3:1 if accounted for code requirements to be of City of Hollywood approved species for new construction code to be any of the qualifying species: Coconuts, Sables, Phoenix Sylvester or equivalent, Foxtails, Royals. If not accounted for code required nineteen (19) trees, proposed Veitchias can remain as provided.

PLEASE REFER TO LANDSCAPING PLANS SHEET L-2. ADDITIONAL TREES TOTALING 98" CALIPER INCHES OVER THE REUIRED 18 CODE TREES HAVE BEEN ADDED TO THE PLAN AS LISTED ON BOTH THE PLANT LIST AND THE MITIGATION PLAN LIST.

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L.R.H



3. Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.

DONE. PLEASE REFER TO SHEET L-3.

4. Provide additional standard landscape architectural diagram and notes for landscape contractor to follow in regard to tree protection and relocation to include root pruning preparation for proposed tree and palm relocation as per proposed 12 trees to be relocated on site especially for large hardwood trees.

RELOCATION AND ROOT PRUNING REQUIREMENTS LISTED ON SHEET L-1.

5. Additional comments may be forthcoming at Building permit submittal.

I. UTILITIES

Alicia Vereza-Feria, Engineer (avereza-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed water, sewer and drainage for initial reviews.

PLEASE REFER TO ENCLOSED P&D AND W&S DRAWINGS (CIVIL DRAWINGS)

2. Show Water and Sewer demand calculations on proposed utilities plans.
PLEASE REFER TO TABLE IN CIVIL DRAWINGS SHEET C-203

3. This site resides within FEMA Flood Zone X. The Finished Floor Elevations (FFE) shall conform with section 154.50 of the City's Code of Ordinances where the minimum FFE for residential shall be, at a minimum, 18- inches above the highest adjacent crown of the road elevation.

NOTED.

4. Indicate FFE for all enclosed areas on ground floor.

PLEASE REFER TO CIVIL DRAWINGS SHEET C-200 & ARCHITECTURAL DRAWINGS SP-1

5. Show perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

PLEASE REFER TO P&D SUBMITTAL PLANS.

6. Ensure all stormwater is retained onsite.

ALL STORM WATER WILL BE RETAINED ON SITE. PLEASE REFER TO P&D SUBMITTAL PLANS.



7. Indicate how roof drainage will be collected and connected to the on-site drainage system.

PLEASE REFER TO P&D SUBMITTAL PLANS.

8. Provide preliminary drainage calculations.

PLEASE REFER TO ENCLOSED DRAINAGE CALCULATIONS

9. Permit approval from outside agencies will be required.

NOTED.

10. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

DONE.

11. Additional comments may follow up on further review of requested items.

J. BUILDING

Russell Long, Assistant Building Official (rlong@hollywoodfl.org) 954-921-3490

1. No comments received.

K. FIRE

Jorge Castano, Deputy Fire Marshal / Battalion Chief (jcastano@hollywoodfl.org) 954-967-4404

Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department.

1. Water supply must meet NFPA 1, 18.4.5.3. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2 showing that the project meets the minimum fire flow requirements for the building prior to TAC approval.

FIRE FLOW HYDRANT TEST REQUEST AND PAYMENT SUBMITTED 08-20-2020

2. Provide a note on civil drawings all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

DTD 190, LLC
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E: roy@dreamteamdeveloper.com

L.B.H



PLEASE REFER TO W&S SUBMITTAL PLANS.

3. No civil drawings were turned in for the underground fire main. Provide such including location of fire department connection, DDCV, and size of fire line from water supply. Check with our water department engineer for city requirements in addition to fire. Ensure plans that there is a fire hydrant within 100 feet of fire department connections.

PLEASE REFER TO W&S SUBMITTAL PLANS.

4. Per NFPA 1, 12.3.2* a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the registered design professional responsible for design. Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. Provide a note on the plan regarding NFPA 1, 12.3.2*.

THE PROPOSED STRUCTURES ARE 2 STORIES; THEREFORE, THIS REQUEST DOES NOT APPLY.

5. Be advised that NFPA 1 (2015 edition) Chapter 11.10 requires that minimum radio signal strength for fire department communications be maintained at a level determined by the AHJ for all new and existing buildings including complying with NFPA 72 (2013 edition). A BDA system may be required.

NOTED.

L. PUBLIC WORKS

Charles Lassiter, Assistant Public Works Director (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Submit Park Impact Fee Application. **OWNER HAS ALREADY CONTACTED MR. DAVID VAZQUEZ BY EMAIL 07-23-2020. OWNER TO SUBMIT APPLICATION PRIOR TO PDB SUBMITTAL.**

N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing Inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. Recommend presenting proposed construction to local civic association as noted below: North Central Civic Association, Patricia Antrican, President ann2can@bellsouth.net if association has cancelled personal



meetings, we recommend to schedule a virtual meeting or phone conference in order to do a project presentation.

OWNER HAS ALREADY CONTACTED MS. LILIANA BELTRAN ON 08-19-2020 AND SENT EMAIL WITH REQUESTED INFORMATION TO MS. PATRCIA ANTRICAN FROM NORTH CENTRAL CIVIC ASSOCIATION.

O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

1. What is the estimated value and date of completion for this project?

DONE.

2. We encourage applicants to meet with the neighborhood/civic association in the area of this project to inform and answer questions. Please indicate if you have done this.

3. **OWNER HAS ALREADY CONTACTED MS. LILIANA BELTRAN ON 08-19-2020 AND SENT EMAIL WITH REQUESTED INFORMATION TO MS. PATRCIA ANTRICAN FROM NORTH CENTRAL CIVIC ASSOCIATION.**

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371 Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500 Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371

1. No comments received.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980 Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. Not applicable

R. PARKING

Hal King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

1. Application is substantially compliant.

S. ADDITIONAL COMMENTS

Carmen Diaz, Associate Planner (cdiaz@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee does not find this application substantially compliant with all applicable regulations, therefore the Applicant must resubmit for TAC review.

DTD 190, LLC
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E: roy@dreamteamdeveloper.com

L.R.H



Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations. Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.
Sincerely,

A handwritten signature in blue ink, appearing to read "L. Hausmann", with a horizontal line drawn through it.

LEON ROY HAUSMANN
OWNER
DTD 190, LLC



August 21st, 2020

Barbara Blake Boy
Executive Director
Broward County Planning Council
115 South Andrews Avenue, Room 307
Fort Lauderdale, FL 33301

SUBJECT: WRITTEN REQUEST FOR A PLATTING DETERMINATION:

Dear Ms. Barbara Blake,

Please accept this letter as a formal request for a Platting determination for our project located at: 2455 Polk ST, Hollywood, FL 33020. Currently there is an existing abandoned 1 story single-family home and detached concrete shed (submitting demolition application soon). We are planning the construction of 8 residential units (3B & 2B) within 4 duplex structures 2 stories each. Each unit will be 1,200 SF each and will provide an amazing living experience for 8 different families in Hollywood Florida, with 13 parking spaces and beautiful landscaping.

SITE DATA

Owner/Applicant: DTD 190, LLC.
Owner/Applicant Address: 2719 Hollywood Blvd, Hollywood, FL 33020
Owner/Applicant Representative: Leon Roy Hausmann/ Owner
Parcel ID: 514216016470
Address/Location: 2455 Polk Street, Hollywood, FL 33020
County: Broward County
Municipality: City of Hollywood
Legal Description: Lot 7, in Block 17, of HOLLYWOOD LITTLE RANCHES, being a subdivision of all of section 16, Township 51 South, Range 42 East, and block 96 of the original Plat of Hollywood, according to the amended Plat of HOLLYWOOD LITTLE RANCHES, as recorded in Plat Book 1, Page 26 of the Public Records of Broward County, Florida.
Net Size of Property: 20,500 sq. ft. (0.47 acres)
Land Use: Regional Activity Center (RAC)
Zoning: Multi-family Residential Core District (MC-1) Single Family Residential
Present Use of Land: Year Built: 1950/1940

Please find enclosed the following documentation:

1. Warranty Deed
2. Signed O&E
3. Signed and Sealed Boundary Survey
4. Payment (check) for the fee of USD 414.00 for unplatted properties or properties platted before June 4, 1953 as this property was platted in 1922.

DTD 190, LLC
2719 Hollywood Blvd, Hollywood, FL 33020
E: roy@dreamteamdeveloper.com

Images of current conditions:



DTD 190, LLC
2719 Hollywood Blvd, Hollywood, FL 33020
E: roy@dreamteamdeveloper.com

3D Renders for Proposed Project:



DTD 190, LLC
2719 Hollywood Blvd, Hollywood, FL 33020
E: roy@dreamteamdeveloper.com



Thank you, in advanced for your time and acceptance of our request.

Sincerely,

Leon Roy Hausmann
Owner/Director
DTD 190, LLC

DTD 190, LLC
2719 Hollywood Blvd, Hollywood, FL 33020
E: roy@dreamteamdeveloper.com



Fire Hydrant Flow Test Request
Underground Utilities Division
Department of Public Utilities

Date: 07-27-2020

When sending requests:

- ✓ Indicate hydrants closest to the location and associated water main(s).
- ✓ Static/Residual hydrant should be located as close to the location as possible (preferably off same main as to provide future water source).
- ✓ Flow hydrant(s) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- ✓ **THREE (3) fire hydrants per flow test are required** to obtain accurate flows. Please provide a **Utility Atlas Maplet** (one can be obtained from Mike Zaske at 954-921-3930) + **NO HAND DRAWN OR GOOGLE MAPS PLEASE - IT WILL NOT BE ACCEPTED!** ✓
- ✓ **Specify hydrant location(s) in relation to the address associated with the flow test by circling them on the map. Also, specify the location of the property on the map and mark the water line you intend to tap into.** Adjustments will be made if needed.

\$250.00 per flow test

Please allow 7 to 14 business days for processing once a request is submitted. **DO NOT MAKE PAYMENT UNTIL EMAILED TO DO SO AFTER WE REVIEW PAPERWORK.**

PLEASE BRING TWO COPIES OF THIS FORM WITH YOU WHEN MAKING PAYMENT, TELL CASHIER TO USE CASH CODE 1502. AFTER RECEIVING THE OK FROM US TO MAKE PAYMENT, GO TO 2600 HOLLYWOOD BLVD, ROOM 103

A copy of the paid receipt should be emailed to underground@hollywoodfl.org. Once proof of payment has been received, the flow test(s) will be scheduled and performed. Flow tests can generally be completed within one week of receipt of proof of payment.

Company / Customer: DTD 190, LLC

Contact Person & Phone #: LEON ROY NAUSMANN 1305-788-4079

Property address: 2455 POLK ST, HOLLYWOOD, FL 33020

Number of flow tests required: _____

Location(s) to be tested: _____

Requests can be emailed to:
underground@hollywoodfl.org

or faxed to:
City of Hollywood, Underground Utilities Division
FAX #: 954-967-4574; Phone #: 954-921-3046



LEGEND



Brine Disposal

- bdElevation Point
 - bdElevation Point
- bdFitting
 - bdFitting
- bdControl Valve
 - bdControl Valve
 - Air Release
 - Combination
 - Other
 - Reduced Pressure Zone
- bdSystem Valve
 - bdSystem Valve
 - Ball
 - Butterfly
 - Gate
- bdPump
 - bdPump
- bdManhole
 - bdManhole
- bdMain
 - Active
 - Abandoned
- bdCasing
 - bdCasing

Raw Water

- rwElevation Point
 - rwElevation Point
- rwFitting
 - rwFitting
- rwControl Valve
 - rwControl Valve
 - Air Release
 - Airlock
 - Atmospheric Vacuum
 - Backflow Control
 - Blowoff
 - Simple Check
 - Other
- rwSystem Valve
 - rwSystem Valve
 - Butterfly
 - Gate
 - Tapping
 - Unknown Type
- rwPump
 - rwPump
- rwManhole
 - rwManhole
- rwMain
 - Backline Active
 - Backline Decommissioned
 - Flooded Active
 - Flooded Decommissioned
 - Flooded Proposed
- rwMains
 - Backline Aquifer
 - Flooded Aquifer
 - Treated Water
 - Abandoned
- rwCasing
 - rwCasing

Reclaim Water

- reElevation Point
 - reElevation Point
- reFitting
 - reFitting
- reControl Valve
 - reControl Valve
 - Air Release
 - Backflow Control
 - Double Check
 - Single Check
- reSystem Valve
 - reSystem Valve
 - Ball
 - Butterfly
 - Gate
 - Tapping
 - Unknown Type
- reMeters
 - reMeters
- rePump
 - rePump
- reManhole
 - reManhole
- reMain
 - reMain
- reCasing
 - reCasing
- reStorage Area
 - reStorage Area
- reIrrigation Area
 - reIrrigation Area

Potable Water

- peElevation Point
 - peElevation Point
- peFitting
 - peFitting
- peControl Valve
 - peControl Valve
 - Air Release
 - Airlock
 - Backflow Control
 - Blowoff
 - Combination
 - Double Check
 - Pressure Vacuum
 - Reduced Pressure Zone
 - Simple Check
 - Surge Relief
 - Other
 - Abandoned
 - Wardrobe Valve
- peSystem Valve
 - peSystem Valve
 - Ball
 - Butterfly Valve
 - Gate Valve
 - Hydrant Valve
 - Plug
 - Tapping Valve
 - Other
 - Unknown Type
 - Abandoned
- peService Connection
 - peService Connection
- peWaste Connection
 - peWaste Connection
- peHydrant
 - Active
 - Abandoned
- peLUM Connection
 - peLUM Connection
- peStorage Tank
 - peStorage Tank
- peLateral Line
 - Domestic
 - Commercial
 - Hydrant
 - Fire
 - Industrial
 - Irrigation
 - Other
 - Abandoned
 - Transmission
 - Distribution
 - Abandoned
- peCasing
 - peCasing

Sanitary Sewer

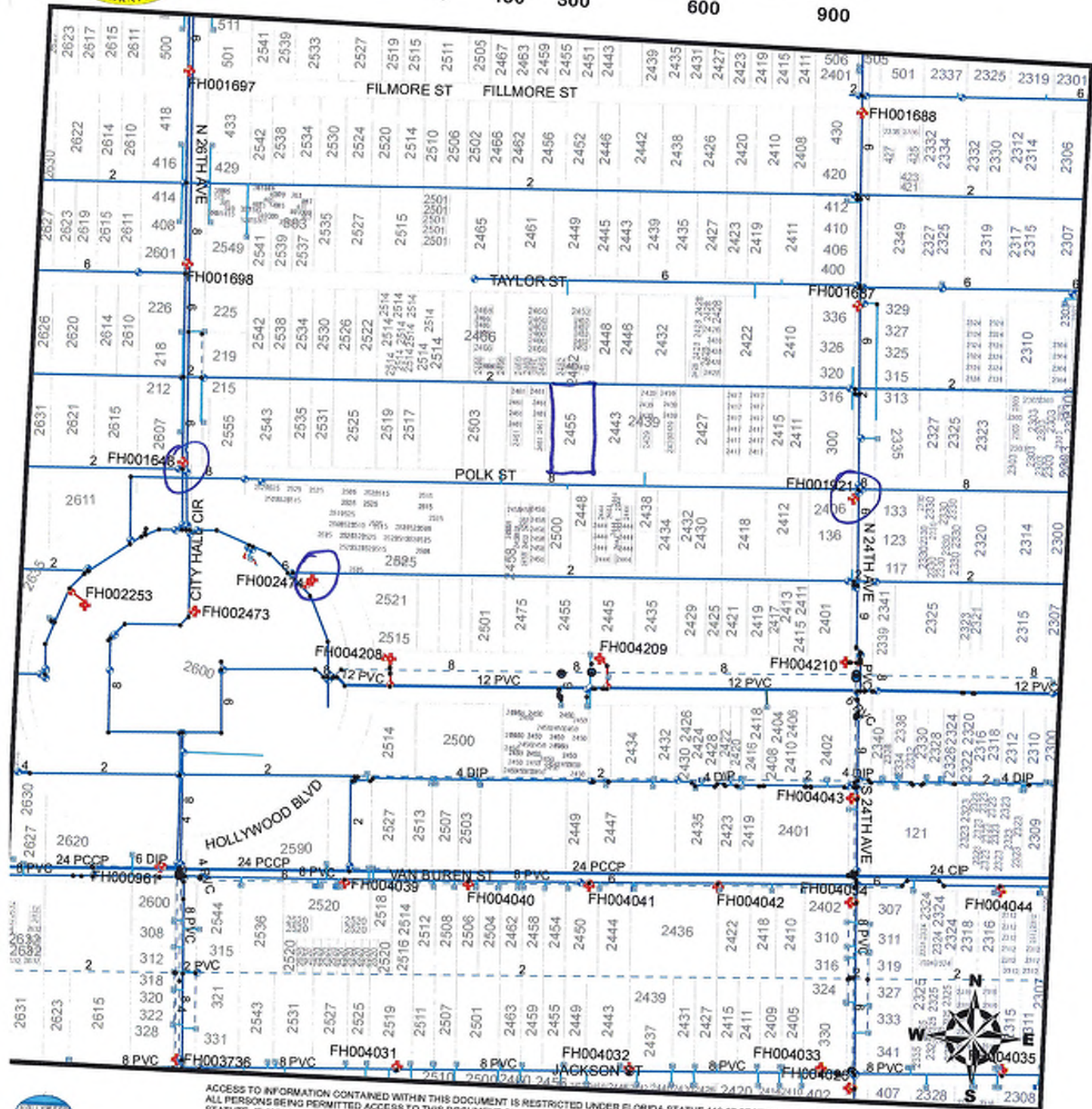
- ssElevation Point
 - ssElevation Point
- ssFitting
 - ssFitting
- ssClean Out
 - ssClean Out
- ssControl Valve
 - ssControl Valve
 - Air Release
 - Airlock
 - Blowoff
 - Simple Check
 - Abandoned
- ssSystem Valve
 - ssSystem Valve
 - Ball
 - Butterfly
 - Cone
 - Gate
 - Plug
 - Tapping
 - Unknown
 - Other, Active
 - Abandoned
- ssLateral Line
 - ssLateral Line
- ssLUM Connection
 - ssLUM Connection
- ssGrease Trap
 - ssGrease Trap
- ssManhole
 - Hollywood Standard
 - Hollywood Drisp
 - Hollywood Conflat
 - Hollywood Junction Box
 - Hollywood Other
 - Private Standard
 - Private Pollution Control
 - Private Drisp
 - Private Other
 - Abandoned
- ssDischarge Point
 - Injection Well
 - Ocean Outfall
- ssPump
 - ssPump
- ssLIT Station
 - Hollywood
 - Hollywood, Proposed
 - Broward County
 - Federal
 - Florida
 - Other Municipality
 - Private
 - School
 - Seminole
- ssGravity Main
 - Waste Water Effluent
 - Hollywood
 - Private
 - Central Plant Drain
 - Abandoned
- ssPressurized Main
 - Effluent Waste Water
 - Active
 - Active Private
 - Treated Waste Water
 - Non-Potable
 - Filter Backwash / Overflow
 - Abandoned
- ssCasing
 - ssCasing

Storm Water

- stElevation Point
 - stElevation Point
- stFitting
 - stFitting
- stControl Valve
 - stControl Valve
 - Flap Gate
 - Simple Check
 - Wound
- stSystem Valve
 - stSystem Valve
 - Abandoned
- stCleanout
 - stCleanout
- stInlet Structure
 - stInlet Structure
 - Hollywood
 - Florida
 - Other
 - Private
 - Seminole
 - Abandoned
- stWell
 - stWell
- stInlet
 - Area Drain
 - Catchbasin
 - Conflict Inlet
 - Curb Inlet
 - Ditch Bottom Inlet
 - Pollution Control
 - Rear Inlet
 - Roof
 - Tidal Control
 - Other
 - Abandoned
- stManhole
 - Standard
 - Conflict
 - Pollution Control
 - Junction Box
 - Tidal Control
 - Other
 - Abandoned
- stPump
 - stPump
- stPump Station
 - Hollywood
 - State
- stGravity Main
 - Hollywood
 - Private
 - Abandoned
- stPressure Pipe
 - Hollywood
 - Private
- stCasing
 - stCasing
- stCulvert
 - stCulvert
- stDetention
 - stDetention
- stDrainfield - Line
 - stDrainfield - Line
- stOpen Drain
 - stOpen Drain



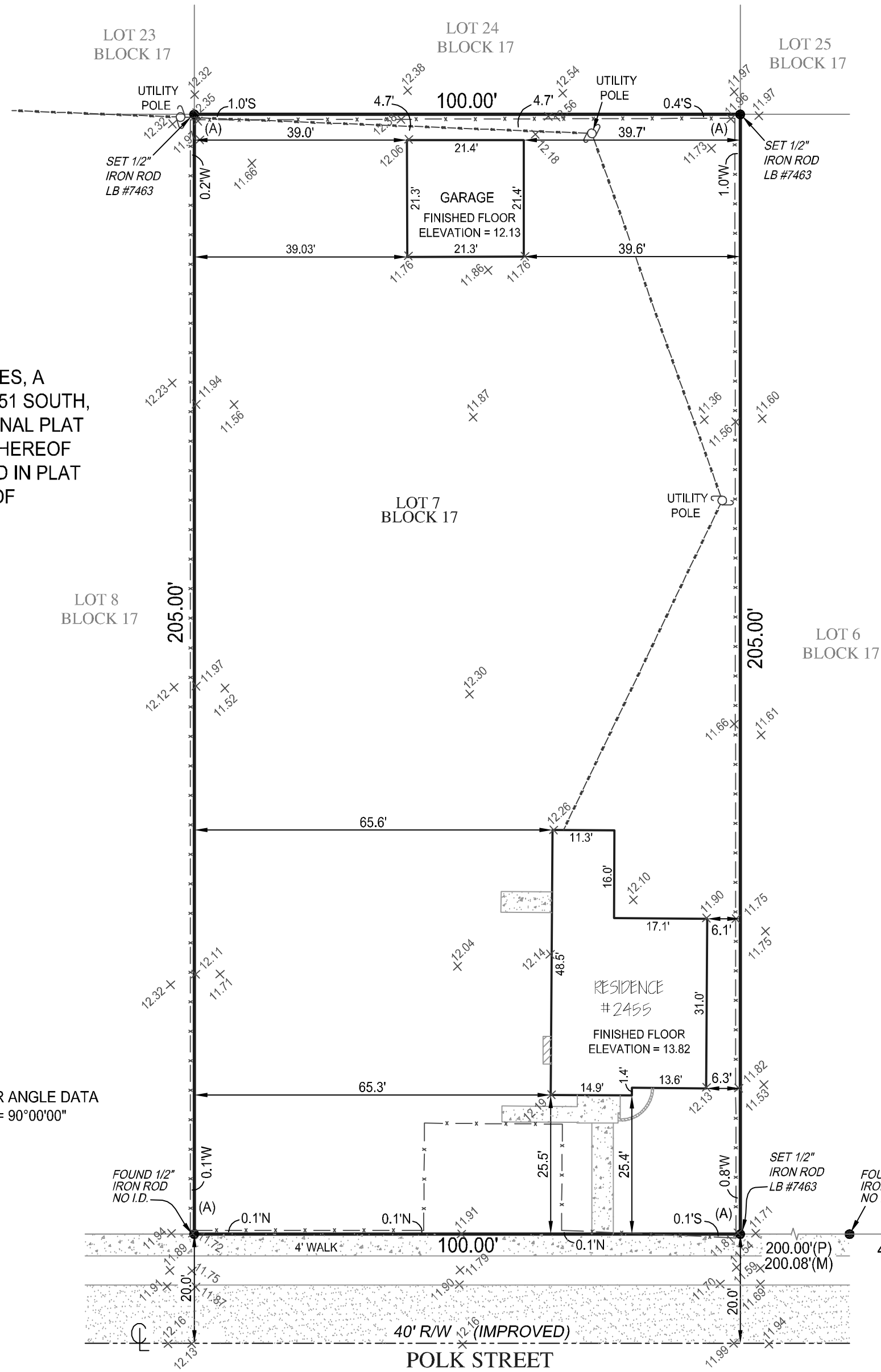
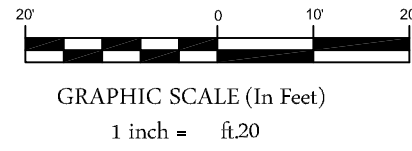
UTILITY ATLAS MAPLET



ACCESS TO INFORMATION CONTAINED WITHIN THIS DOCUMENT IS RESTRICTED UNDER FLORIDA STATUTE 119.07 SECTION 1 PARAGRAPH (EE) SUBSECTION (3). ALL PERSONS BEING PERMITTED ACCESS TO THIS DOCUMENT SHALL RESTRICT ACCESS TO OTHERS IN ACCORDANCE WITH THE ABOVE REFERENCED STATUTE. IF ANY QUESTION AS TO THE DISSEMINATION OF THIS INFORMATION EXISTS, IT SHALL BE FORWARDED TO THE DIRECTOR OF PUBLIC UTILITIES, CITY OF HOLLYWOOD FLORIDA FOR FINAL DETERMINATION.

INFORMATION PROVIDED IN THIS DOCUMENT, REGARDING SITE CONDITIONS, EXISTING STRUCTURES, AND EXISTING UNDERGROUND UTILITIES IS OFFERED SOLELY AS SUPPLEMENTAL INFORMATION. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE ALL DATA IS FIELD VERIFIED AS TO ELEVATION, SIZE, AND LOCATION.





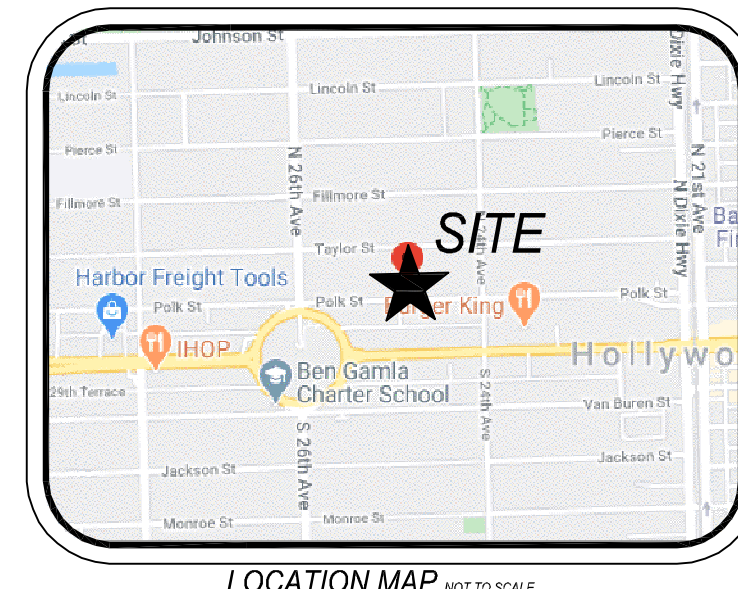
LEGAL DESCRIPTION:

LOT 7, BLOCK 17, HOLLYWOOD LITTLE RANCHES, A SUBDIVISION OF ALL SECTION 16, TOWNSHIP 51 SOUTH, RANGE 42 EAST, AND BLOCK 96 OF THE ORIGINAL PLAT OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF HOLLYWOOD LITTLE RANCHES, AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FLOOD ZONE: X
COMMUNITY NUMBER: 125113
PANEL: 12011C0568
SUFFIX: H

ORIGINAL FIELD WORK
COMPLETED BY:
TARGET SURVEYING, LLC
DATED: 06/28/2017
SURVEY #296528

CORNER ANGLE DATA
(A) = 90°00'00"



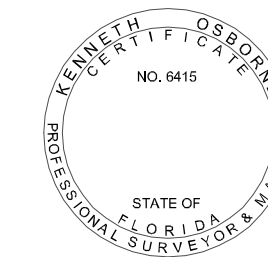
LOCATION MAP NOT TO SCALE

ABBREVIATION DESCRIPTION:

A/C	AIR CONDITIONER
C/L	CENTERLINE
I.D.	IDENTIFICATION
LB	LICENSED BUSINESS
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
P	PLAT
M	MEASURED
R/W	RIGHT OF WAY
XxxX	TOPOGRAPHIC ELEVATION

ORIGINATION BENCHMARK

BROWARD COUNTY BRASS DISK
"1944"
N.A.V.D. 1988 ELEVATION = 13.44



(SIGNED) *Kenneth Osborne*

KENNETH OSBORNE, PROFESSIONAL SURVEYOR AND MAPPER #6415

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

BOUNDARY SURVEY WITH TOPOGRAPHIC ELEVATIONS OF

2455 POLK STREET
HOLLYWOOD, FL, 33020
PREPARED FOR
DTD 190, LLC

Project C-18828	Sheet
Date 03-05-2020	1 OF 1
Scale 1" = 20'	

6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE: 561.640.4800
FAX: 561.640.0576
LB #7463

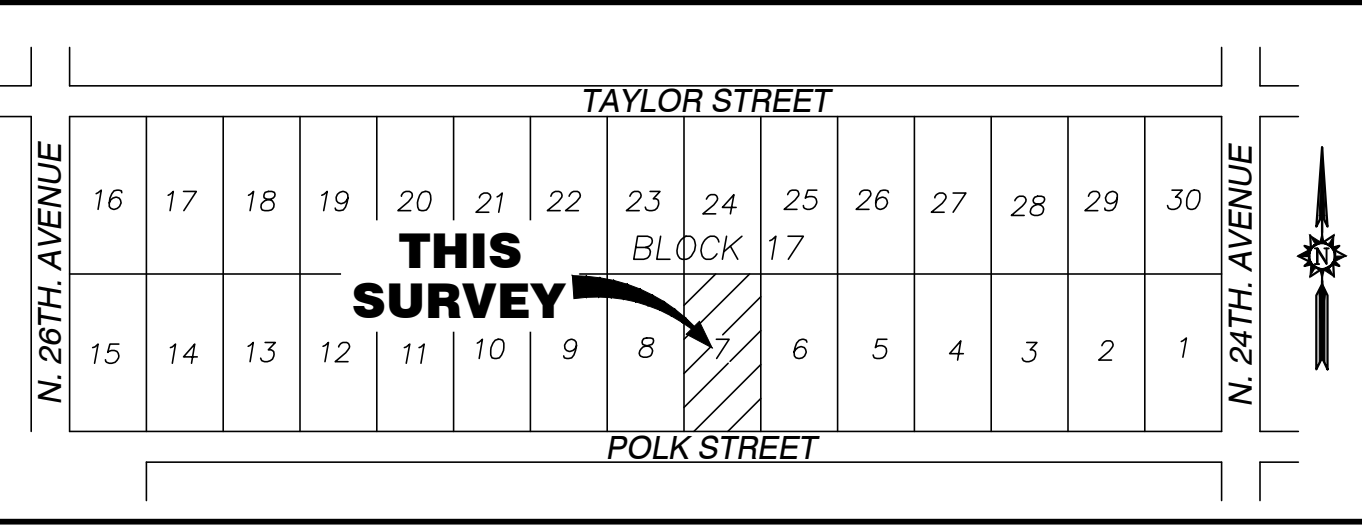


WWW.COMPASSSURVEYING.NET

NOTES:

- LEGAL DESCRIPTION PROVIDED BY CLIENT
- NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
- NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SKETCH OF ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP
NOT TO SCALE

CURRENT ZONING CLASSIFICATIONS AND APPLICABLE REQUIREMENTS AND RESTRICTIONS:

THIS SITE IS ZONED MC-1, BASED ON THE CITY OF HOLLYWOOD, FLORIDA ZONING MAP. A ZONING REPORT MAP WAS NOT PROVIDED BY THE CLIENT. ALL INFORMATION RELATING TO ZONING AND LAND USE SHOULD BE CONFIRMED BY CONTACTING THE APPROPRIATE CITY OF HOLLYWOOD, FLORIDA GOVERNMENTAL DEPARTMENT.

PARKING SPACES:

REGULAR: NO STRIPED SPACES
HANDICAP: NO STRIPED SPACES

SURVEYOR'S REFERENCES:

- THE PLAT OF HOLLYWOOD LITTLE RANCHES, RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- WARRANTY DEED RECORDED IN INSTRUMENT No. 116339677, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- FIRST AMERICAN TITLE INSURANCE COMPANY, POLICY No. 5011412-0684488E AND CITY OF HOLLYWOOD OWNERSHIP AND ENCUMBRANCES REPORT, PREPARED BY SNYDER INTERNATIONAL LAW GROUP, DATED JULY 9TH, 2020.
- CITY OF HOLLYWOOD OWNERSHIP & ENCUMBRANCES REPORT BY WFG NATIONAL TITLE INSURANCE COMPANY SEARCH OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA AS CONTAINED IN THE CLERK OF THE CIRCUIT COURT OF SAID COUNTY, FROM FEBRUARY 5, 2020 THROUGH JULY 2, 2020 OF THE PROPERTY DESCRIBED HEREON.

MISCELLANEOUS NOTES:

- (P) DENOTES DATA BASED ON THE PLAT OF RECORD.
- (M) DENOTES DATA BASED ON FIELD MEASUREMENTS.
- (C) DENOTES DATA BASED ON COMPUTATIONS AND/OR CALCULATIONS.
- (R) DENOTES DATA BASED ON INFORMATION RECORDED IN THE PUBLIC RECORDS.

ENCROACHMENTS:

NONE NOTED.

EASEMENTS OF RECORD:

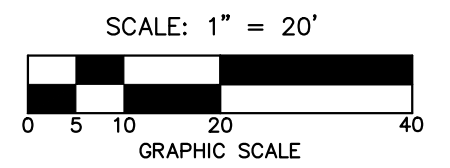
NO EASEMENTS NOTED BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY, POLICY No. 5011412-0684488E AND CITY OF HOLLYWOOD OWNERSHIP AND ENCUMBRANCES REPORT, PREPARED BY SNYDER INTERNATIONAL LAW GROUP, DATED JULY 9TH, 2020 AND CITY OF HOLLYWOOD OWNERSHIP & ENCUMBRANCES REPORT BY WFG NATIONAL TITLE INSURANCE COMPANY SEARCH OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA AS CONTAINED IN THE CLERK OF THE CIRCUIT COURT OF SAID COUNTY, FROM FEBRUARY 5, 2020 THROUGH JULY 2, 2020 OF THE PROPERTY DESCRIBED HEREON.

LEGEND

- BACK FLOW PREVENTER
- CLEANOUT
- CONCRETE POWER POLE
- WOOD POWER POLE
- GAS VALVE
- SEWER VALVE
- WATER VALVE
- ELECTRIC WIRE FULL BOX
- WATER METER
- ELECTRIC METER
- CHAIN LINK FENCE
- OVERHEAD WIRES
- BREAK IN LINE SCALE

ABBREVIATIONS

- A ARC LENGTH
- B.C.R. BROWARD COUNTY RECORDS
- (C) CALCULATED
- C.B.S. CONCRETE BLOCK STRUCTURE
- CL CENTER LINE
- E ELEVATION
- F.F.E. FINISHED FLOOR ELEVATION
- LB LICENSED BUSINESS
- (M) MEASURED
- O.R.B. OFFICIAL RECORDS BOOK
- (P) PLAT
- P.B. PLAT BOOK
- P.C. PAGE
- P.T. POINT



LEGAL DESCRIPTION:

LOT 7, IN BLOCK 17, OF HOLLYWOOD LITTLE RANCHES, BEING A SUBDIVISION OF ALL OF SECTION 16, TOWNSHIP 51 SOUTH, RANGE 42 EAST, AND BLOCK 96 OF THE ORIGINAL PLAT OF HOLLYWOOD, ACCORDING TO THE AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, AS RECORDED IN PLAT BOOK 1, PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEY NOTES:

- THIS SKETCH OF BOUNDARY SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR SURVEYING ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY WAS ALSO PREPARED IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE LEGAL DESCRIPTION FOR THE PROPERTY SHOWN IS HEREON BASED ON EXHIBIT A, AS SHOWN IN FIRST AMERICAN TITLE INSURANCE COMPANY, POLICY No. 5011412-0684488E AND CITY OF HOLLYWOOD OWNERSHIP AND ENCUMBRANCES REPORT, PREPARED BY SNYDER INTERNATIONAL LAW GROUP, DATED JULY 9TH, 2020. SAID PROPERTY ALSO DESCRIBED IN CITY OF HOLLYWOOD OWNERSHIP & ENCUMBRANCES REPORT BY WFG NATIONAL TITLE INSURANCE COMPANY SEARCH OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA AS CONTAINED IN THE CLERK OF THE CIRCUIT COURT OF SAID COUNTY, FROM FEBRUARY 5, 2020 THROUGH JULY 2, 2020 OF THE PROPERTY DESCRIBED HEREON.
- A SEARCH OF THE PUBLIC RECORDS FOR OWNERSHIP, EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS OF RECORD WAS NOT PERFORMED BY STONER & ASSOCIATES, INC. THERE MAY BE ADDITIONAL INFORMATION RECORDED IN THE PUBLIC RECORDS THAT IS NOT SHOWN HEREON.
- THE BEARINGS SHOWN HEREON ARE BASED ON N.87°54'22"E, ALONG THE SOUTH LINE OF LOT 7, BLOCK 17, AS SHOWN ON THE PLAT OF HOLLYWOOD LITTLE RANCHES, RECORDED IN PLAT BOOK 1, AT PAGES 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88), ESTABLISHED FROM BROWARD COUNTY ENGINEERING BENCHMARK No. 1944, ELEVATION = 13.44'.
- THE PROPERTY SHOWN HEREON HAS THE FOLLOWING FLOOD ZONE DESIGNATION:
 - NFP COMMUNITY NAME & COMMUNITY NUMBER: 125113 CITY OF HOLLYWOOD
 - COUNTY NAME: BROWARD COUNTY
 - STATE OF FLORIDA
 - MAP/PANEL NUMBER: 12011C0568
 - SUFFIX: H
 - FIRM INDEX DATE: 8/18/2014
 - FIRM PANEL EFFECTIVE/REVISED DATE: 8/18/2014
 - FLOOD ZONE: X
 - BASE FLOOD ELEVATION: N/A

- THE FLOOD ZONE INFORMATION SHOWN HEREON IS BASED UPON THE CURRENT PUBLISHED FLOOD INSURANCE RATE MAP (FIRM) ON THE DATE THIS SURVEY WAS PREPARED. THE DATA CONTAINED IN THE FIRM MAP IS SUBJECT TO CHANGE WITHOUT NOTICE. THE FLOOD ZONE BOUNDARIES (WHEN SHOWN) ARE APPROXIMATE, BASED ON DIGITAL FIRM PANEL MAP IMAGE. FOR THE LATEST FLOOD ZONE INFORMATION CONSULT THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) OR YOUR LOCAL GOVERNMENTAL BUILDING DEPARTMENT.
- CERTAIN FEATURES ARE REPRESENTED BY THE SYMBOLS REFLECTED IN THIS MAP. THE LEGEND OF FEATURES MAY HAVE BEEN ENLARGED FOR CLARITY AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE. THE SYMBOLS HAVE BEEN PLOTTED AT THE APPROXIMATE CENTER OF THE FEATURE BASED UPON THE FIELD LOCATION.
- THIS SKETCH IS INTENDED TO BE DISPLAYED AT A HORIZONTAL SCALE OF 1 INCH = 20 FEET.
- THE HORIZONTAL ACCURACY FOR WELL DEFINED IMPROVEMENTS DEPICTED ON THIS SKETCH IS ONE-TENTH (0.1' ±) OF A FOOT, PLUS OR MINUS.
- TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPE FEATURES ARE NOT SHOWN HEREON, UNLESS OTHERWISE NOTED.
- IRRIGATION FEATURES, SUCH AS SPRINKLERS, ARE NOT SHOWN HEREON.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF FENCES AND WALLS.
- SUBSURFACE FEATURES ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION, OR EXCAVATION CONTACT 811 AND/OR THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- THE EXTERIOR BUILDING DIMENSIONS SHOWN HEREON REPRESENT THE OVERALL SIZE OF THE BUILDING (FOOTPRINT). SUBSURFACE BUILDING FOOTINGS AND SUPPORTS WERE NOT LOCATED. CERTAIN ARCHITECTURAL FEATURES MAY NOT BE SHOWN ON THE SURVEY. ROOF OVERHANGS ARE NOT SHOWN UNLESS OTHERWISE NOTED. BUILDING DIMENSIONS AND BUILDING SETBACKS ARE SHOWN ROUNDED TO THE NEAREST ONE-TENTH (0.1') OF A FOOT. BEFORE DESIGN OF IMPROVEMENTS CRITICAL DIMENSIONS SHOWN BE CONFIRMED.
- THE DIMENSIONS SHOWN HEREON ARE BASED UPON U.S. SURVEY FEET AND FRACTIONAL PARTS THEREOF.
- AREA COMPUTATIONS, WHEN SHOWN IN ACRES, ARE ROUNDED TO THE NEAREST ONE-HUNDREDTH OF AN ACRE, AND WHEN SHOWN IN SQUARE FEET ARE ROUNDED TO THE NEAREST SQUARE FOOT. THE AREA FIGURES SHOWN HEREON SHOULD NOT BE UTILIZED AS THE BASIS OF PURCHASE PRICE FOR A REAL ESTATE CLOSING, WITHOUT PRIOR VERIFICATION OF THE AREA FIGURES, IN WRITING FROM THE SIGNING SURVEYOR.
- THE SURVEYOR DID NOT INSPECT THIS PROPERTY FOR ENVIRONMENTAL HAZARDS.
- THE INFORMATION DEPICTED ON THIS SKETCH OF SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED ON THE BORDER OF THE DRAWING AND CAN ONLY BE CONSIDERED VALID FOR THIS DATE AND INDICATES THE GENERAL CONDITIONS EXISTING AT THE TIME OF THE FIELD SURVEY.
- THIS SKETCH OF SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THOSE PERSONS OR ENTITIES IDENTIFIED TO HEREON. ADDITIONS OR DELETIONS TO THIS SURVEY AND/OR REPORTS BY PEOPLE OR PERSONS OTHER THAN THE SIGNING PARTIES ARE PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY STONER & ASSOCIATES, INC. (S&A). S&A HAS TAKEN PRECAUTIONS TO ENSURE THE ACCURACY OF THIS DOCUMENT AND THE DATA REFLECTED HEREON. S&A CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE TO THE DATA CONTAINED IN THIS DOCUMENT BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. S&A MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT S&A FOR VERIFICATION OF ACCURACY.
- PROPERTY OWNER, ADDRESS AND PARCEL IDENTIFICATION NUMBERS SHOWN HEREON ARE PER BROWARD COUNTY PROPERTY APPRAISER'S OFFICE AT THE TIME OF THE SURVEY.

CERTIFIED TO:

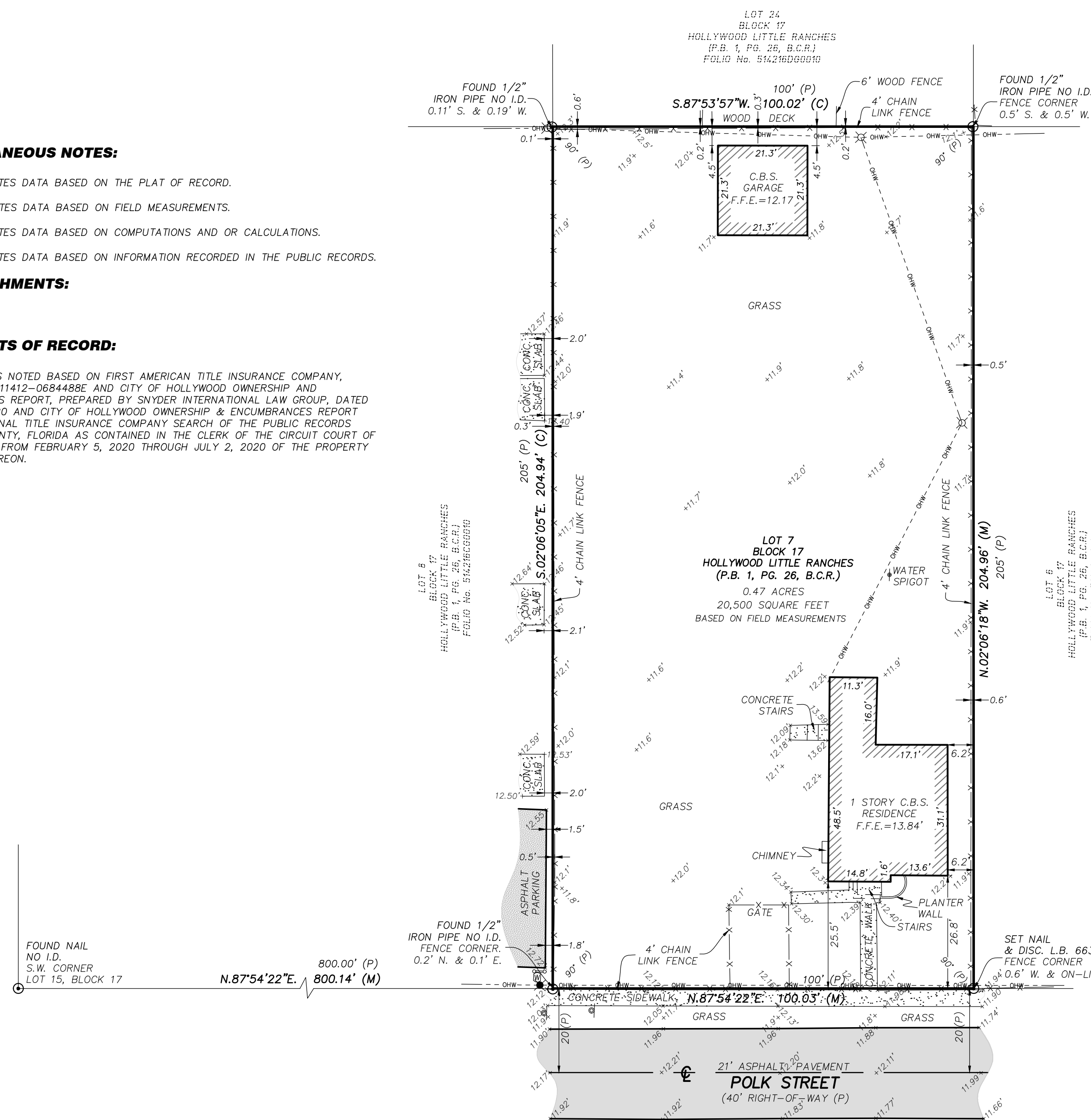
DTD 190, LLC AND SNYDER INTERNATIONAL LAW GROUP, P.A.

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 8, 9, 11 (OBSERVED EVIDENCE ONLY), 13, 16, AND 20 OF TABLE A THEREOF.

DATE OF PLAT OR MAP: REVISED 8/20/2020
DATE OF SIGNATURE: 8/20/2020

JAMES D. STONER
PROFESSIONAL SURVEYOR AND MAPPER NO. 4039
STATE OF FLORIDA
STONER AND ASSOCIATES, INC. L.B. 6633
jstoner@stonersurveyors.com



N. 26th Avenue

FOUND NAIL NO. I.D. IRON PIPE NO. I.D. FENCE CORNER. 0.2' N. & 0.1' E. 800.00' (P) 800.14' (M)

BENCHMARK SET NAIL & DISC. TRAV. PT. L.B. 6633 N: 81.090241 E: 93.3177469 EL: 11.94'

FIRST AMERICAN TITLE INSURANCE COMPANY POLICY No. 5011412-0684488E, FILE No. 20-1003					
SCHEDULE B EXCEPTIONS FROM COVERAGE					
No.	Instrument Type	Description	Recording Data	Affects	Plotted
1		Deleted			
2		Deleted			
3		Deleted			
4		Deleted			
5		Deleted			
6		Deleted			
7	Standard Exception	Taxes and assessments for the year 2020 and subsequent years, which are not sue and payable.		Not Addressed	Not a Matter of Survey
8	Plat	Plat of HOLLYWOOD LITTLE RANCHES	P.B. 1, Pg. 26		
9	Standard Exception	Any easements or claims of easements not shown by the public records		Not Addressed	Not a Matter of Survey
10	Standard Exception	Encroachments, overlaps, overhangs, unrecorded easements, violated restrictive covenants, deficiency in quality of ground, lack of access, violated plat building lines, or any matters not of record, which would be disclosed by an accurate survey and inspection of the land.		Not Addressed	Not a Matter of Survey

SNYDER INTERNATIONAL LAW GROUP
REAL ESTATE, CORPORATE, LITIGATION, PROBATION/ESTATE

CITY OF HOLLYWOOD OWNERSHIP & ENCUMBRANCES REPORT

TO: CITY OF HOLLYWOOD, a municipal corporation

This will serve to certify that WFG National Title Insurance Company has caused to be made a search of the Public Records of Broward County, Florida ("Public Records") as contained in the office of the Clerk of the Circuit Court of said County, from February 5, 2020 through July 2, 2020, as to the following described real property being and being in the aforementioned County, to-wit:

Lot 7 in Block 17, of HOLLYWOOD LITTLE RANCHES, being a subdivision of all of Section 16, Township 51 South, Range 42 East, and Block 96 of the original Plat of Hollywood, according to the amended Plat of HOLLYWOOD LITTLE RANCHES, as recorded in Plat Book 1, Page 26 of the Public Records of Broward County, Florida.

- PLAT RECORDED ON JULY 9, 1921 AND IS ATTACHED HERE TO AS EXHIBIT "A"**
The Title Search provided to from the date of the last deed of record, February 5, 2020. However, any document recorded and attaching to this property, prior to February 5, 2020, would be included in this search.
- SQUARE FOOTAGE**
The property has a total square footage of approximately 20,500 square feet, pursuant to ALTA Survey prepared by Stoner & Associates, Inc., under Project Number 20-9037.
- ENCUMBRANCES AFFECTING THE PROPERTY BOUNDARY NECESSARY FOR LEGAL ACCESS TO THE PROPERTY**
None
- ENCUMBRANCES LYING WITHIN ON THE PROPERTY BOUNDARIES**
Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of HOLLYWOOD LITTLE RANCHES, as recorded in Plat Book 1, Page(s) 26, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC § 3606(c).
- GRANTORS IN LAST DEED OF RECORD**
DTD 190, LLC, a Florida limited liability company, by virtue of that Warranty Deed recorded under Instrument Number 14639677.
- RECORDED MORTGAGES**
None
- RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS**
None
- GENERAL EXCEPTIONS:**
 - Taxes and assessments for the year 2020 and subsequent years, which are not yet due and payable.
 - Any easements or claims of easements not shown by the public records.
 - Encroachments, overlaps, overhangs, unrecorded easements, violated restrictive covenants, deficiency in quality of ground, lack of access, violated plat building lines, or any matters not of record, which would be disclosed by an accurate survey and inspection of the land.
- SPECIAL EXCEPTIONS:**
Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of HOLLYWOOD LITTLE RANCHES, as recorded in Plat Book 1, Page(s) 26, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC § 3606(c).
I, the undersigned, further certify that I am an attorney-at-law duly admitted to practice in the State of Florida and a member in good standing of the Florida Bar.
Respectfully submitted this 19th day of August 2020.
Alyssa Novicki, Esquire
Firm Name: Snyder International Law Group, P.A.
21500 Biscayne Blvd., Suite 401
Aventura, FL 33180
102039
Florida Bar Number
STATE OF FLORIDA
COUNTY OF MIAMI-DADE
The foregoing instrument was sworn and subscribed before me by the person or persons, this 19th day of August 2020, by Alyssa Novicki, who is personally known to me.
My Commission Expires:

STONER & ASSOCIATES, Inc.
SURVEYORS - MAPPERS
Florida Licensed Surveying
and Mapping Business No. 6633
4341 S.W. 62nd Avenue, TOWN OF DAVE, FLORIDA 33314

TEL (954) 565-0897
www.stonersurveyors.com

DATE: 8/20/2020
BY: JDS
REVISED: OWNERSHIP & ENCUMBRANCES REPORT
REFERENCE: CASE REPORT IN VARIOUS NOTES AND
CONFIRM PARCEL SQUARE FOOTAGE.

NO. 1
DATE OF FIELD SURVEY: 07/10/20
DRAWN: DMS
CHECKED: DJS
BOOK/PAGE(S): 1094/26-40
& DATA COLLECTOR

SKETCH OF ALTA/NSPS LAND TITLE SURVEY
LOT 7, BLOCK 17, HOLLYWOOD LITTLE RANCHES
PLAT BOOK 1, PAGE 26, B.C.R.
2455 POLK STREET, HOLLYWOOD, FL 33020

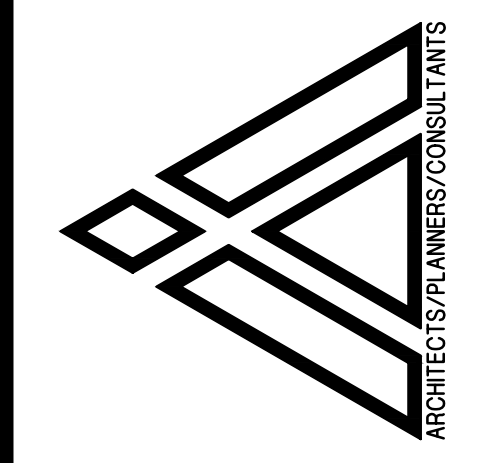
PROJECT
20-9037
SHEET NO.
1 OF 1

Revisions:
BE-3-20 BLDG. DEPT. CHANGES: []
[] [] [] [] [] [] [] [] [] []

HEATH J. JOHNSON
FL. J. 031111 AR6697Z



5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



All work shall conform to the requirements of the Florida Building Code...
FOR: BY:
ARCHITECT: INC.
HOLLYWOOD LITTLE RANCHES 1-26 B FLORIDA

COVER: GENERAL NOTES & DRAWING INDEX
ARCHITECTURA, INC
AN APARTMENT COMPLEX
AA26002832
2455 POLK STREET
HOLLYWOOD LITTLE RANCHES 1-26 B FLORIDA
LOT # 17, BLOCK 17, HOLLYWOOD, BROWARD COUNTY.

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

Designed by: HEJ
Drawn by: HBA
Checked by: HBA
Date: AUGUST 18, 2020
Scale: NONE
Project #: 20043
Sheet



SYMBOL LEGEND

FULL SECTION CUT, DETAIL CUT, PARTIAL SECTION CUT, DETAIL CALL OUT, ROOF SLOPES, SLAB SLOPES, STAIRS, etc.

INDEX OF ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Manufacturer/Notes. Includes entries like ALT, AL, AB, ATT, etc.

DTD 190

PERFORMANCE STANDARDS

ALL PRODUCTS AND THEIR INSTALLATION SPECIFIED IN THESE DOCUMENTS SHALL HAVE PRODUCT APPROVAL BY AND BE ACCORDING W/ THE STANDARDS OF QUALITY...
ASTM - AMERICAN SOCIETY TESTING MATERIALS
ACI - AMERICAN CONCRETE INSTITUTE
AF&PA - AMERICAN FOREST & PAPER ASSOCIATION
AISC - AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AWI - AMERICAN WOODWORK INSTITUTE
AWPB - AMERICAN WOOD PRESERVATIVES BUREAU
ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE
AAMA - ARCHITECTURAL ALUMINUM MANUFACTURERS ASSOCIATION
BCPA - BROWARD COUNTY PRODUCT APPROVAL
DCPA - DADE COUNTY PRODUCT APPROVAL
FBC-B - FLORIDA BUILDING CODE - BUILDING
FBC-A - FLORIDA BUILDING CODE - ACCESSIBILITY
FBC-EB - FLORIDA BUILDING CODE - EXISTING BUILDING
FBC-FG - FLORIDA BUILDING CODE - FUEL GAS
FBC-M - FLORIDA BUILDING CODE - MECHANICAL
FBC-P - FLORIDA BUILDING CODE - PLUMBING
FBC-R - FLORIDA BUILDING CODE - RESIDENTIAL
FSS - FLORIDA STATE STATUTES
GSA - GYPSUM ASSOCIATION
LSC - LIFE SAFETY CODE
NEC - NATIONAL ELECTRICAL CODE
NER - NATIONAL EVALUATION SERVICE INC.
NFPA - NATIONAL FIRE PROTECTION ASSOCIATION
NDS - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
OSHA - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
SJI - STEEL JOIST INSTITUTE
TCA - TILE COUNCIL OF AMERICA
UL - UNDERWRITERS LABORATORIES
WHI - WARNOCK HERSEY INTERNATIONAL

PROJECT CONSULTANTS

DEVELOPER: DTD 190, LLC, 305.593.9994
ARCHITECT: ARCHITECTA, INC., 954.755-0690
STRUCTURAL ENGINEER: JOHN P. THOMPSON, JR., P.E., 954.494-0956

MEP ENGINEER:

BACH DESIGN ENGINEERS, 954.461-4314
LANDSCAPE ARCHITECT: LEED GREEN ASSOC., 954.253-2265

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE...
2. ALL DIMENSIONS & CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR...
3. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS ON THE PLANS.
4. CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF FBC-B CHAPTER 33 FOR SAFETY STANDARDS PERTAINING TO CONSTRUCTION PROCEDURES...
5. ALL CEILING HEIGHTS ON FIRST FLOOR ARE TAKEN FROM 4'-0" O'
6. ALL CEILING HEIGHTS ON SECOND FLOOR ARE TAKEN FROM TOP OF SUB FLOOR OR GYP-CRETE
7. THE CONTRACTOR SHALL SUBMIT THE REQUIRED SHOP DRAWINGS TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION...
SHUTTERS:
1. ALL GLAZING SHALL BE PROTECTED IN ACCORDANCE WITH FBC-B 1609.12 REFER TO MGR'S SPECIFICATIONS & SHOP DWGS FOR INSTALLATION & CONNECTION DETAILS...
DOORS & WINDOWS:
1. ALL BEDROOMS REQUIRE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS & PROVIDING A CLEAR OPENING OF NOT LESS THAN 20 INCHES WIDTH, 24 INCHES IN HEIGHT & 5.7 SQ.FT. IN AREA...
2. WINDOWS INDICATED AS EMERGENCY ESCAPE (E) MUST BE MANUFACTURED TO CONFORM TO THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY ESCAPE REQUIREMENTS (FBC-B 1030.1; FBC-R 1310.2.1)
3. ALL WINDOWS SHALL MEET LIGHT & VENTILATION REQUIREMENTS PER FBC-B 1203.5.1; 1203.2 & FBC-R R310.1.
4. OPERATING MECHANISMS ON SINGLE HUNG WINDOWS SHALL BE AT OR NEAR THE SILL.
5. PROVIDE TEMPERED GLASS IN ALL OPENINGS WITHIN 24" OF ALL DOORS FBC-B 2406.4.2
6. PROVIDE THRESHOLD & WEATHER-STRIPPING ON ALL EXTERIOR DOORS.
7. ALL FIXED GLASS SHALL MEET THE REQUIREMENTS OF FBC-B 2406.4.3
8. ALL DOOR & WINDOW BUCKS SHALL BE ANCHORED WITH 1-3/8" X .099 #1 BOSTITCH HITACHI, HLT, ALTO OR EQUAL COIL NAILS SHOT PNEUMATICALLY IN 6" C/C STAGGERED UNO ALUMINUM SASH SHALL BE ANCHORED W/ 3/16" CORROSION RESISTANCE APPROVED CONCRETE SCREW ANCHORS W/MIN. 1-1/4" EMBEDMENT INTO BLOCK/CONC. ANCHORAGE IS DESIGNED TO ACCEPT MAX. 3/16" FIXED GLASS & 3/16" BUTT FIXED GLASS. IMAX 49 S.F. GLASS/ 5/4" DOOR JAMBS SHALL BE FASTENED TO BUCKS W/ 12 #10 FINISH NAILS (SIDE BY SIDE) SPACED @ 18" C/C.
9. ALL SLIDING GLASS DOORS & FRENCH DOORS SHALL BE TEMP FBC-B 2406.4.1
10. FRAME TO BUCK TOLERANCE SHALL BE PER WINDOW MFR. BUCK TO OPENING TOLERANCE SHALL BE MAX. 1/4" TOTAL OPENING
11. ALL GARAGE DOOR BUCKS (HEADER & JAMB) SHALL BE MIN. 2 X 6 P.T. WOOD ATTACHED W/ 1" X 4" LAP CON @ 18" C/C TO GSEMENT IMB (3/4" EMBEDMENT) PROVIDE WASHER & EACH ANCHOR. IF ANCHOR HAS WASHER INTEGRAL W/ HEAD PROVIDE ADDITIONAL WASHER.
12. MANUFACTURERS METHODS OF ATTACHMENT SHALL PREVAIL WHEN SUBMITTED WITH COMPLETE INSTRUCTIONS.

WINDOW SAFEGUARDS:

1. WHERE THERE IS A DROP OF MORE THAN 12 INCHES ABOVE FINISHED GRADE OR OTHER SURFACE AND NO IS LESS THAN 36 INCH ABOVE FINISHED FLOOR SURFACE, SAFEGUARDS SHALL BE PROVIDED TO PREVENT THE FALL OF PERSONS WHEN SUCH WINDOWS ARE OPERABLE (FBC-B 1015.1; FBC-R R312).
2. SAFEGUARDS SHALL HAVE ADDITIONAL RAILS, VERTICAL PICKETS OR AN ORNAMENTAL FILLER BELOW THE TOP RAIL WHICH WILL RESIST A 4-INCH DIAMETER OBJECT. PERMITTING, HOWEVER, SUCH ORNAMENTAL FILLERS TO HAVE INDIVIDUAL OPENINGS NOT EXCEEDING 64 SQ. INCHES IN AREA (FBC-B 1015.4; FBC-R R312.1.3)

BUILDING IDENTIFICATION:

1. APPROVED NUMBERS OR ADDRESSES TO BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRACT WITH THEIR BACKGROUND. NUMERALS SHALL BE AT LEAST 14 SIX INCHES IN HEIGHT FOR RESIDENTIAL BUILDINGS.- PER F.B.C. R319

BUILDING CODES

Table with 2 columns: DESCRIPTION and CODE. Lists codes for Florida Building Code, Fuel Gas, Mechanical, Plumbing, Life Safety, Electrical, Fire, and Structural.

BLDG. DESIGN DATA

Table with 3 columns: DESIGN CRITERIA, CODE, and PROPOSED. Lists design data for occupancy, construction, classification, area, stories, height, enclosure, wind speed, etc.

BUILDING DESIGN DATA NOTES:

1. REFER TO EXT. OPENING SCHD. FOR WINDOW AND DOOR PRESSURES.
2. REFER TO FRAMING NOTES FOR STRUCTURAL LOADS
3. AREA BASED ON FBC-B TABLE 506.2

SITE NOTES

ADDRESS:
2455 POLK STREET
HOLLYWOOD, FLORIDA 33020

LEGAL DESCRIPTION:

LOT 7, BLOCK 17 OF HOLLYWOOD LITTLE RANCHES 1-26 B, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

MEETING / SUBMITTAL DATES

MEETING DESCRIPTION	DATE
PACO	March 27, 2020
PTAC	July 27, 2020
TAC	September 9, 2020
PDB	November 10, 2020

SHOP DRAWING SCHEDULE

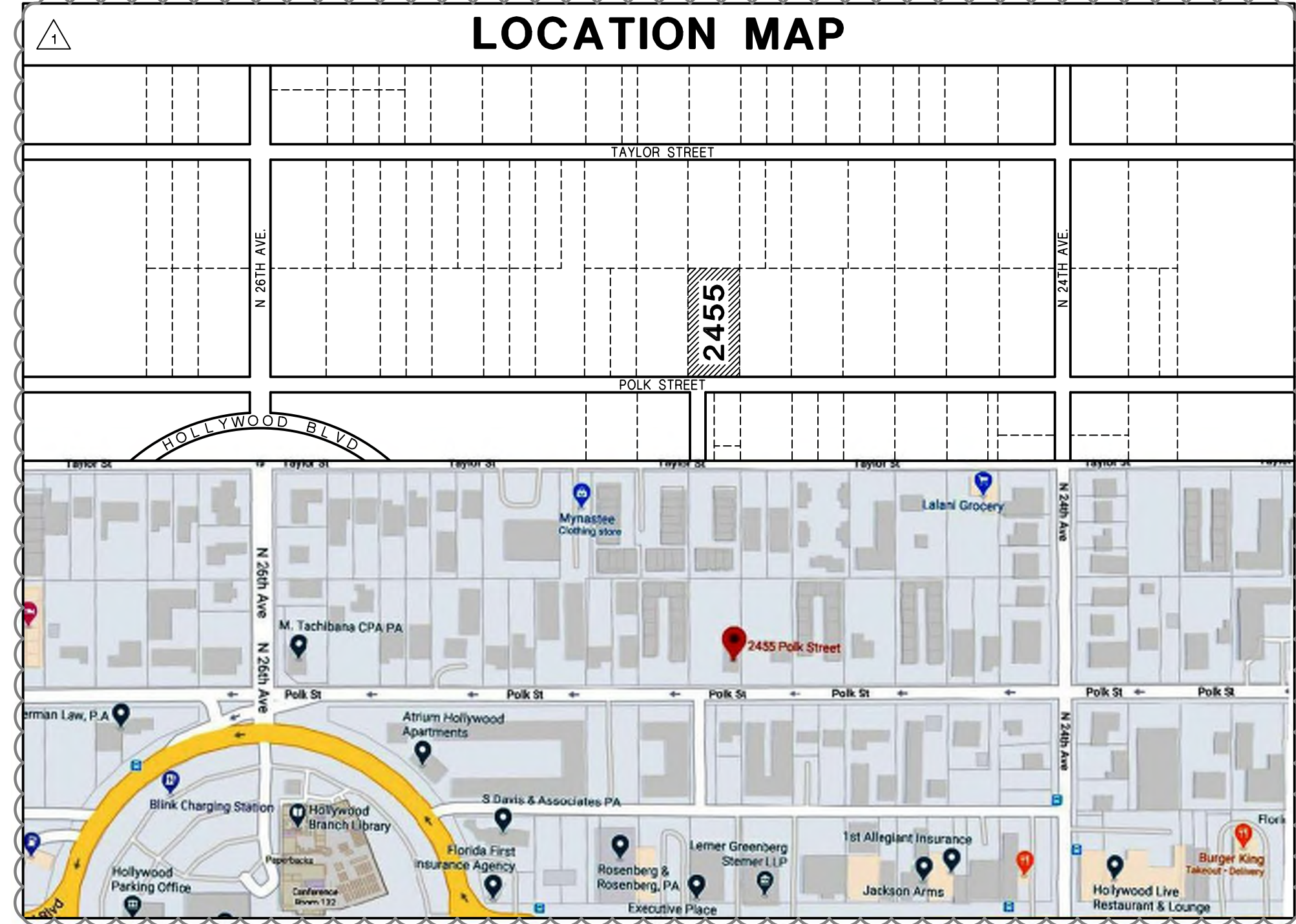
MANUFACTURERS, SUPPLIERS OR INSTALLERS OF THE FOLLOWING ITEMS SHALL SUBMIT DETAILED FABRICATION/INSTALLATION DRAWINGS AND/OR PRODUCT LITERATURE TO THE ARCHITECT FOR HIS RECORDS PRIOR TO FABRICATION OR INSTALLATION...
1. REINFORCING STEEL
2. AIR CONDITIONING EQUIP.
3. STRUCTURAL COLUMNS & ACCES.
4. WINDOWS, DOORS, HARDWARE
5. WATERPROOFING MEMBRANES
6. MALBOXES
7. INSULATION
8. PLUMBING FIXTURES
9. RAILINGS & HANDRAILS
10. ELECT. EQUIP. & FIXTURES
11. BATHROOM ACCESSORIES
12. APPLIANCES
13. FLOOR & WALL FINISHES
14. FABRICATED STAIRS
15. CABINETS
16. DUMPSTER GATES

WALL SCHEDULE

MARK	DESCRIPTION
[Pattern]	NEW ENGINEERED REINFORCED MASONRY WALL REFER TO FOUNDATION FOR SIZE & REINFORCEMENT
[Pattern]	NEW CONCRETE OR GROUT FILL COLUMN REFER TO FOUNDATION PLAN FOR SIZE & REINFORCEMENT
[Pattern]	NEW MIN. 3-5/8" METAL STUDS @ 24" C/C W/ 1/1 LAYER 1/2" GYPSUM WALLBOARD EACH SIDE.
[Pattern]	NEW MIN. 3-5/8" METAL STUDS @ 24" C/C W/ 1/1 LAYER 1/2" GYPSUM WALLBOARD EACH SIDE, REFER TO PLAN FOR HEIGHT.
[Pattern]	NEW INTERIOR, BEARING PARTITION, REFER TO DETAILS & SCHEDULES

MARK	DESCRIPTION
[Pattern]	NEW INTERIOR, BEARING PARTITION, REFER TO DETAILS & SCHEDULES

MARK	DESCRIPTION
[Pattern]	NEW INTERIOR, BEARING PARTITION, REFER TO DETAILS & SCHEDULES



SITE DESIGN DATA

CODES: HOLLYWOOD LAND DEVELOPMENT CODE

DESIGN CRITERIA	CODE	PROPOSED
LAND USE CLASSIFICATION	MC-1	MC-1
PLOT SIZE	ISF	NR
MAXIMUM F.A.R.	15 ISF	30,750.0
MAXIMUM COVERAGE PERCENTAGE		NR
DENSITY	18 AC	8.47
PLOT DIM. (WIDTH/DEPTH FRONT)		NR
FLOOD ZONE	NAVD 88	121
RISK CATEGORY		NR
BUILDING HEIGHT	45'	20'-8"
NUMBER OF STORIES	4	2
BUILDING SETBACKS		
FRONT	FT.	20
SIDES	FT.	10
REAR	FT.	20
STRUCTURES (BUILDINGS & STAIRCASES)	ISF	NR
STRUCTURES (DUMPSTER)	ISF	NR
SIDEWALKS	ISF	NR
DRIVES / APRON	ISF	NR
TOTAL IMPERVIOUS AREA (IPI)	ISF	NR
TOTAL PERVIOUS AREA PERCENTAGE	NR	NR
TOTAL PERVIOUS AREA (PI)	ISF	NR
TOTAL PERVIOUS AREA PERCENTAGE	NR	NR
PARKING REQUIREMENTS - 8 UNITS	IS1	12
		13

SITE DESIGN DATA NOTES:

- N.R. INDICATES NO REQUIREMENT
- SUPPLIED BY SURVEYOR AND FEMA MAPS
- MULTIPLE BEDROOM UNITS = 15 SPACES PER UNIT
- F.F. = FINISHED FLOOR
- AC = ACRE

SITE NOTES

ADDRESS:
1 2455 POLK STREET
HOLLYWOOD, FLORIDA 33020

LEGAL DESCRIPTION:
1 LOT 7, BLOCK 17 OF HOLLYWOOD LITTLE RANCHES 1-26 B, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PLAN NOTES

- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS. REFER TO SP2 FOR DETAILS.

GREEN BUILDING PRACTICES:

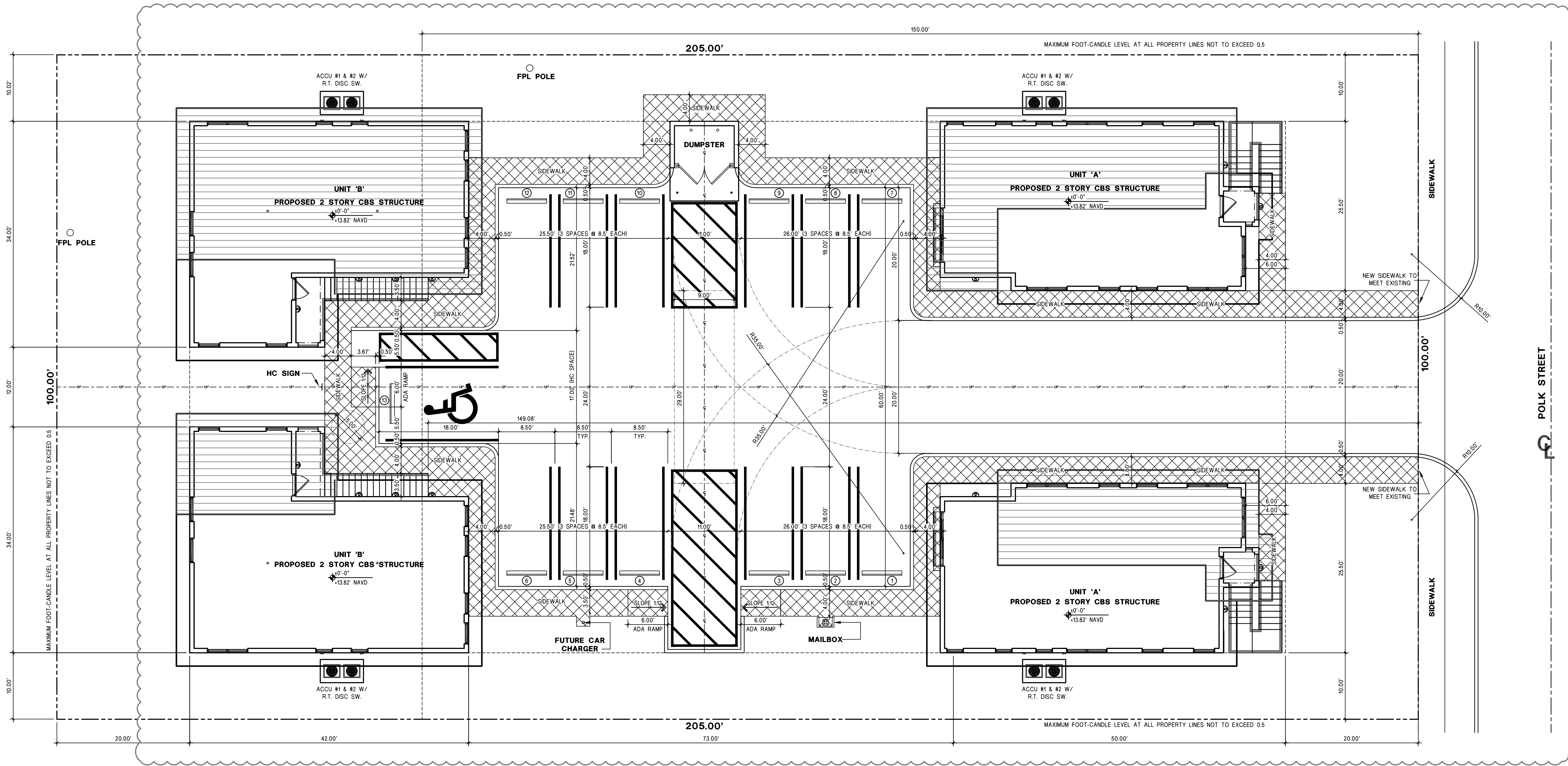
- ENERGY STAR APPLIANCES.
- HIGH EFFICIENCY AIR CONDITIONING
- HIGH 'R' VALUE FOR WALL AND CEILING INSULATION
- LOW FLOW SHOWER HEADS FOR LESS WATER CONSUMPTION
- LOW WATER CONSUMPTION FOR W.C.
- ENERGY EFFICIENT INSULATED DOORS
- LOW 'E' VALUE ON WINDOW GLAZING
- PROGRAMMABLE THERMOSTATS
- ENERGY STAR APPLIED ROOFING MATERIAL
- LED SECURITY LIGHTING AND PARKING LIGHTING
- RAIN SENSOR SPRINKLER SYSTEM
- FLORIDA NATIVE PLANT MATERIAL WITH ZERO SCAPE
- ELECTRIC VEHICLE CHARGING STATION

Revisions:

1	DATE	DESCRIPTION

HEATH J. JOHNSON
ARCHITECT

5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



ARCHITECTS/PLANNERS/CONSULTANTS

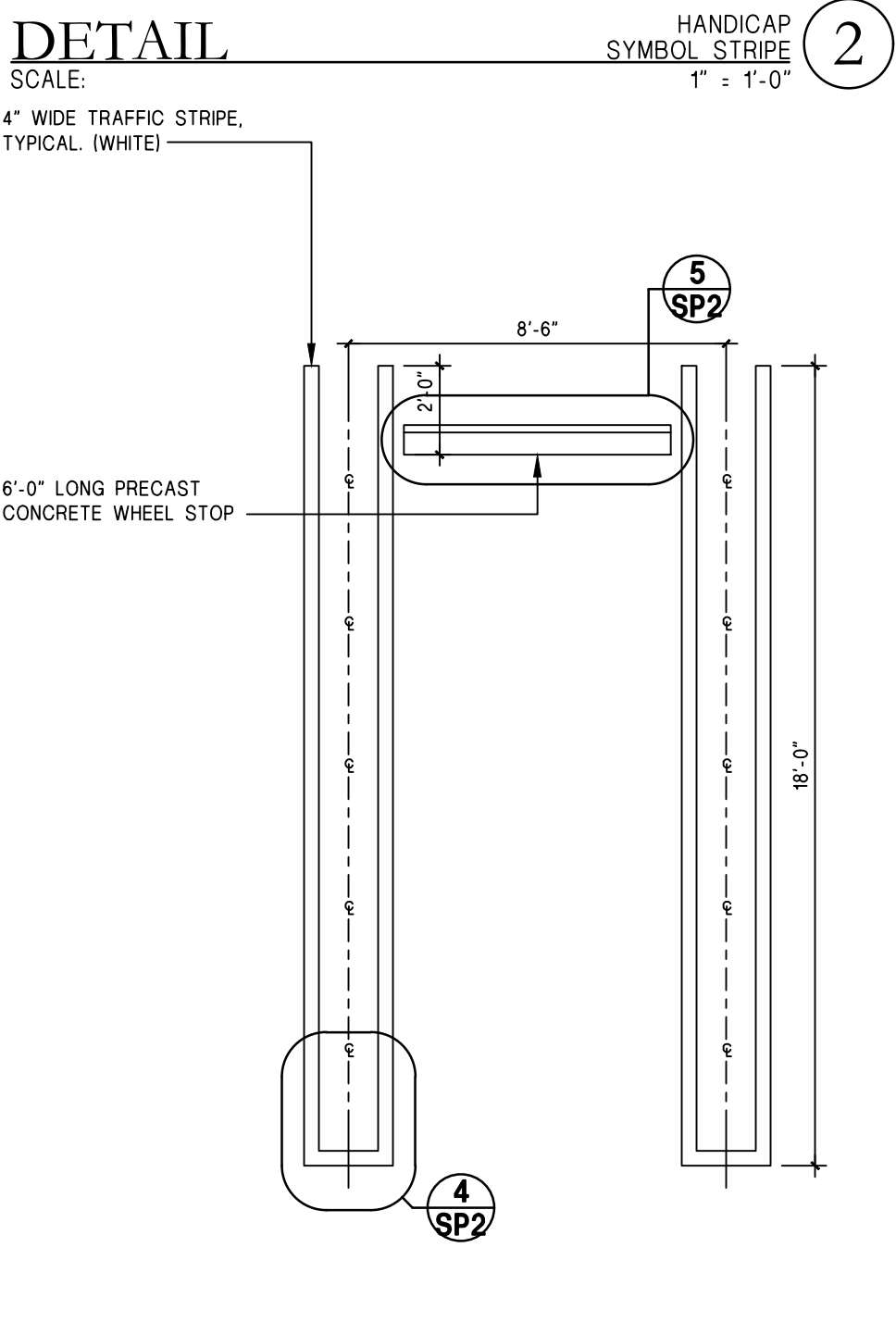
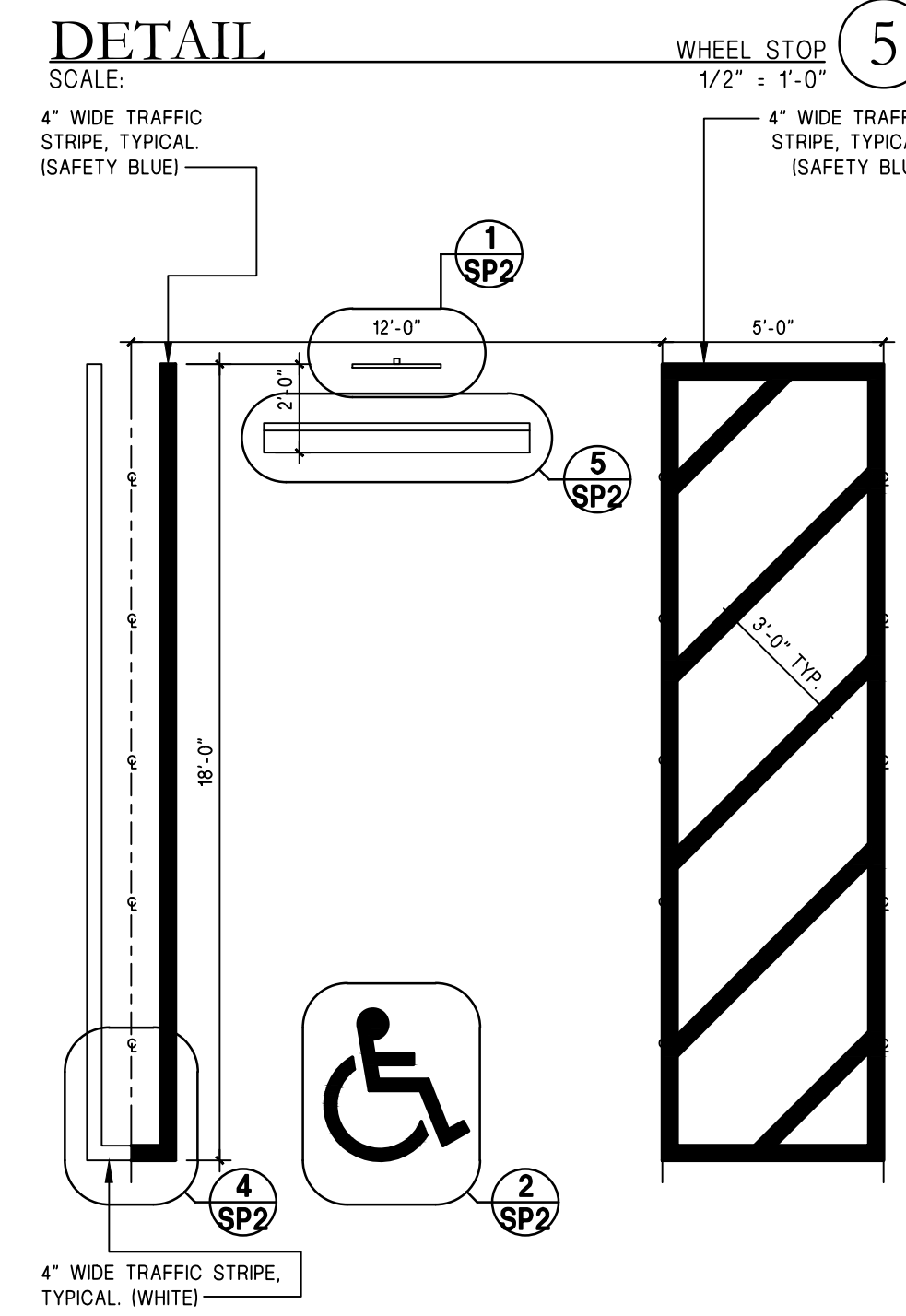
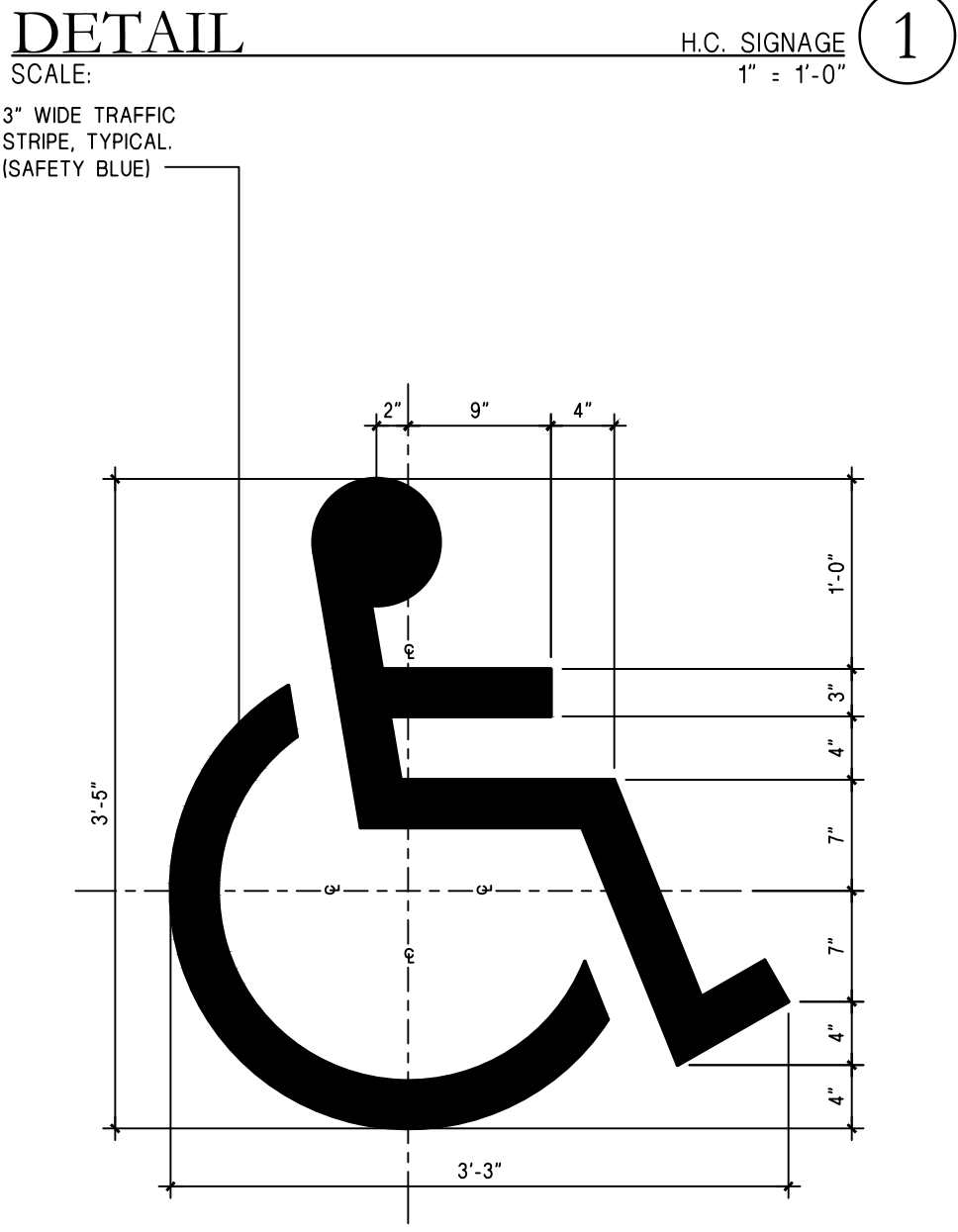
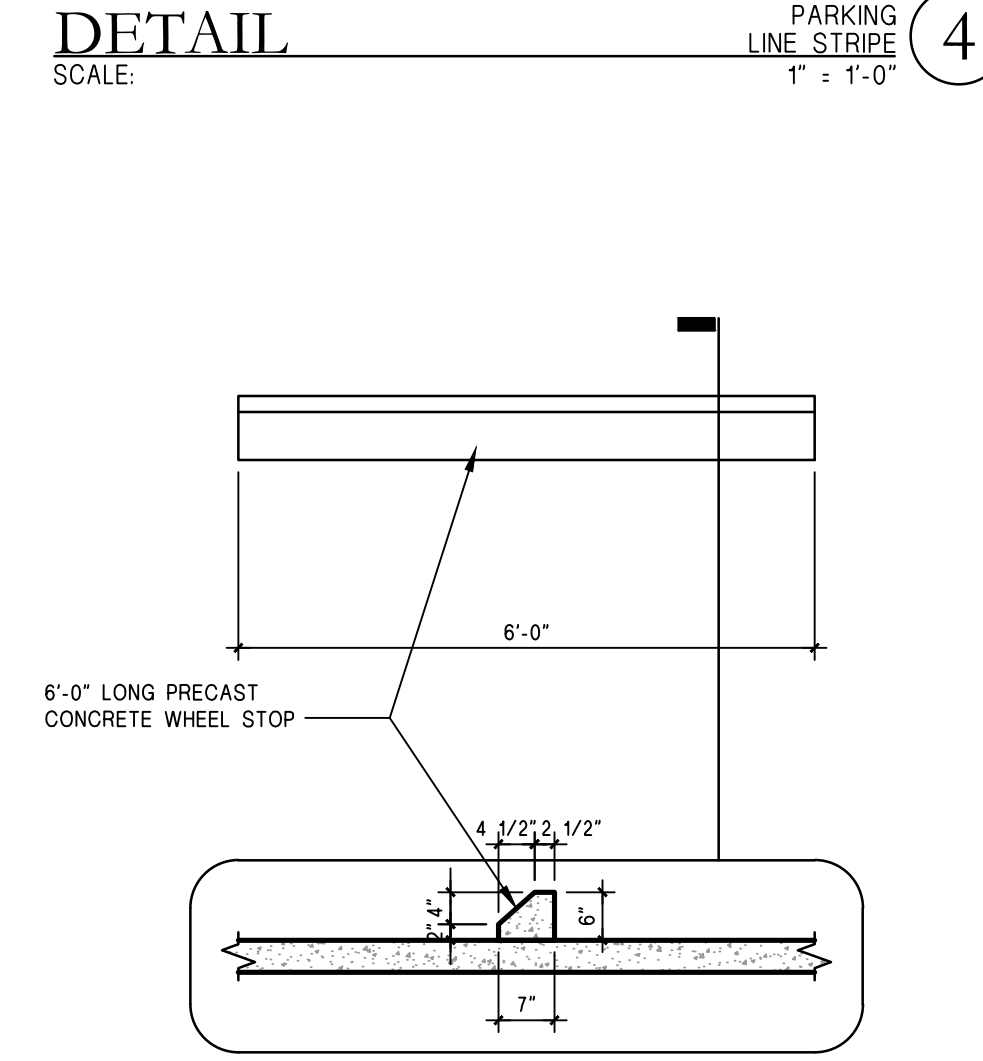
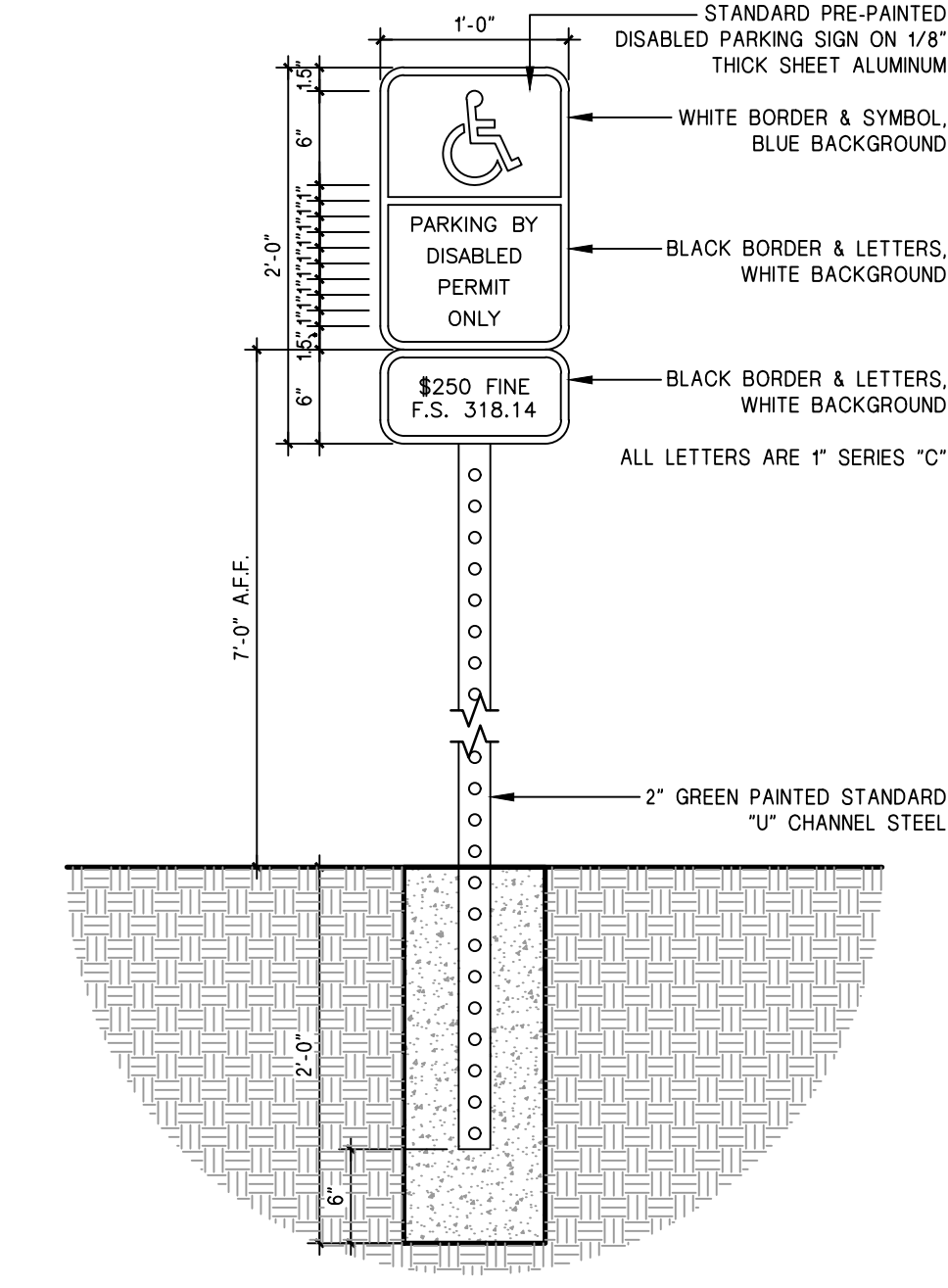
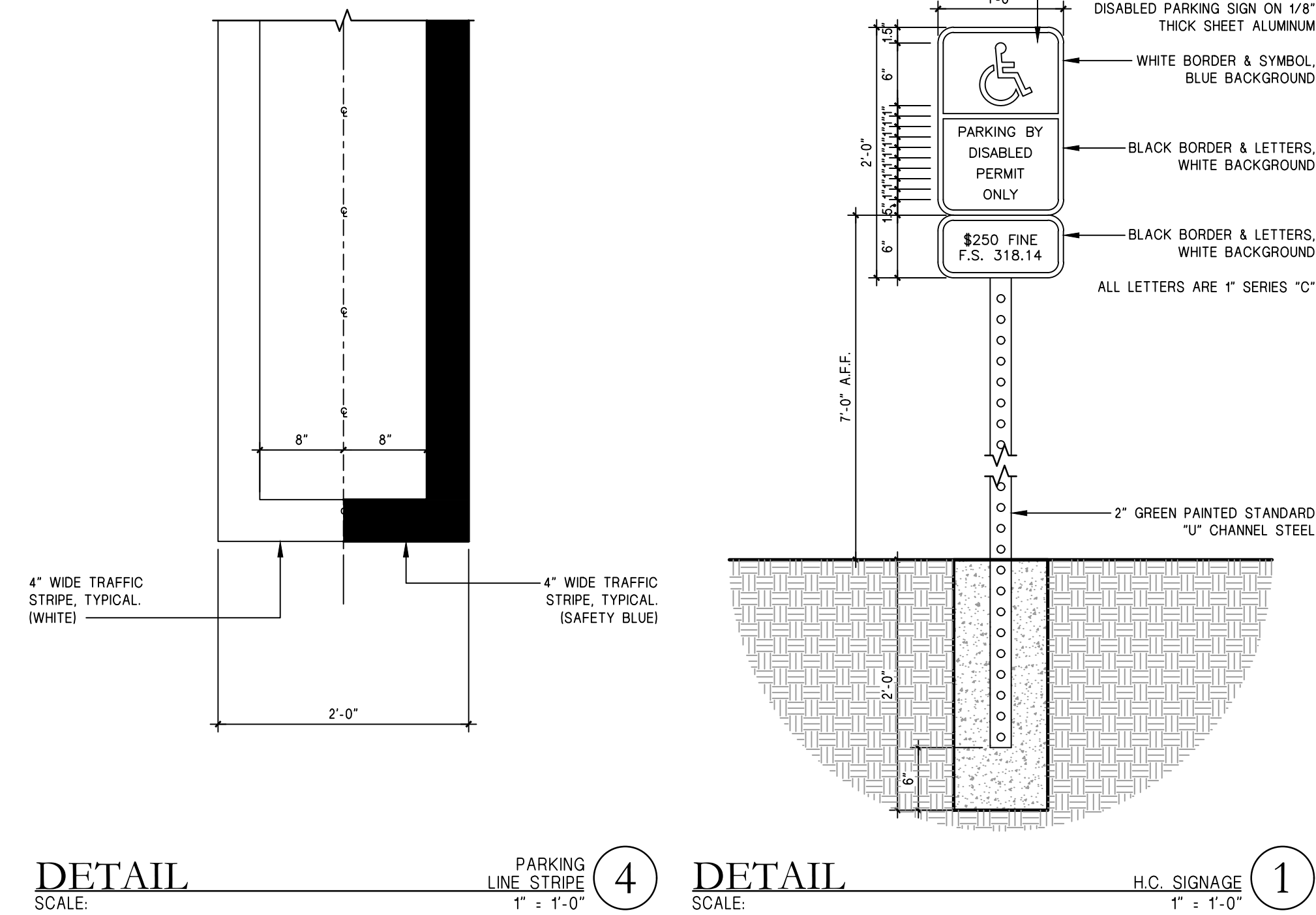
ARCHITECTA, INC

AN APARTMENT COMPLEX
AA26002832
2455 POLK STREET
HOLLYWOOD LITTLE RANCHES 1-26 B
LOT # 17, BLOCK 17,
HOLLYWOOD,
BROWARD COUNTY,
FLORIDA

FOR: BY:

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

Designed by: HEJ
Drawn by: HBA
Checked by: hba
Date: AUGUST 18, 2020
Scale: 1/8" = 1'-0"
Project #: 20043
Sheet



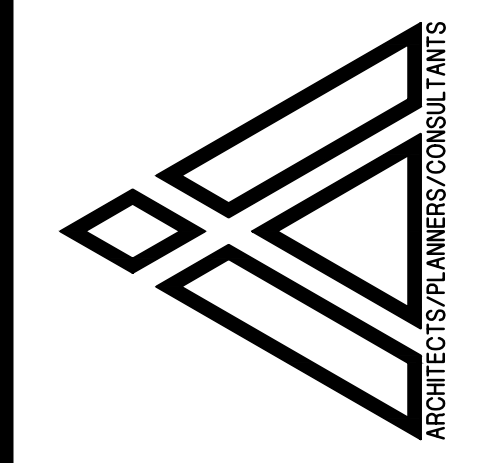
Revisions:

1	08-18-20	BLOS. DEPT. CHANGES	HEJ
2			
3			
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5			
6			

HEATH J. JOHNSON
FLORIDA ARCHITECT
0806972

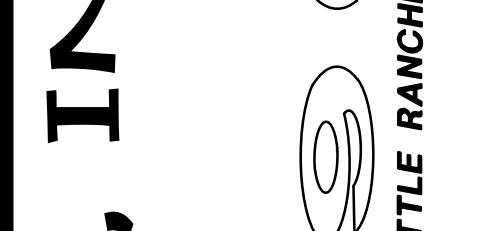


5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



All these details are submitted by the client and are not to be construed as a representation of the architect. The architect shall have no responsibility for any errors or omissions in these details and shall not be held liable for any damages or claims arising from their use without the written permission of ARCHITECTA, INC.

FOR: BY:
ARCHITECTA, INC.
AA26002832
2455 POLK STREET
HOLLYWOOD LITTLE RANCHES 1-26 B
FLORIDA



BROWARD COUNTY,
HOLLYWOOD

LOT # 17, BLOCK 17,
HOLLYWOOD,
BROWARD COUNTY,
FLORIDA

ARCHITECTA, INC
AA26002832
AN APARTMENT COMPLEX
2455 POLK STREET
HOLLYWOOD LITTLE RANCHES 1-26 B
FLORIDA

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

Designed by: HEJ
Drawn by: HBA
Checked by: hba
Date: AUGUST 18, 2020
Scale: 1/4" = 1'-0"
Project #: 20043
Sheet

EXTERIOR FINISHES

STUCCO ON MASONRY AND/OR CONCRETE FBC-B 2109.3.4.8

MASONRY AND/OR CONCRETE

- 3/4" MIN. STUCCO (2) COATS MIN.

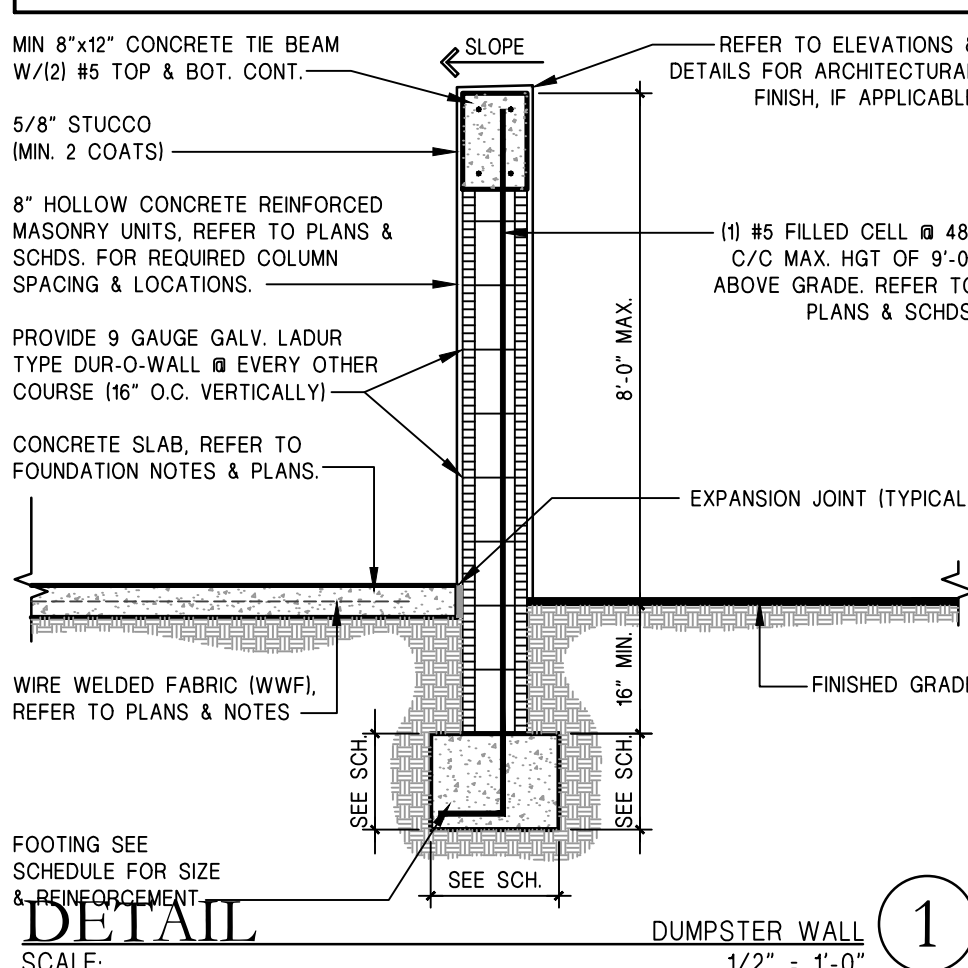
CONCRETE WATERPROOFING:

EXPOSED SURFACE:

- APPLY 'SIKA' TOP SEAL 107 OVER CURED CONCRETE. FOLLOW W/ 'SIKA' COLOR BALCONY SYSTEM. REFER TO MFR. RECOMMENDATIONS & SPECIFICATIONS FOR INSTALLATION OR EQUAL.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. REFER TO BELOW FOR SPECIFIC CODE REF. & SECTIONS.
- ALL DIMENSIONS & CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE PROCEEDING WITH WORK. FIGURE DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS AT ALL TIMES.
- THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS ON THE PLANS.
- CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF FBC-B CHAPTER 33 FOR SAFETY STANDARDS PERTAINING TO CONSTRUCTION PROCEDURES, I.E. EXCAVATION, STORAGE OF MATERIALS, SCAFFOLDS, SAFEGUARDS, TEMP. STAIRS.



FOOTING SCHEDULE

MK.	SIZE (IN)		REINFORCING	ELEVATION / MONO	REMARKS	SEE NOTE	SEE DTL.
	WD.	DPHT.					
F1	16	12	2#5 BOT.	-16"	STEM WALL AT DUMPSTER	2	
F2	24	12	#5 @ 8" C/C TRANS, 3#5 BOT.	-16"	STEM WALL AT DUMPSTER	2	
F2	8	8	1#5 BOT.	MONO	THICKENED EDGE		

GENERAL:

- PROVIDE DBL MESH FOR 4'-0" ALL AROUND FTG. @ TOP OF PAD @ INTERIOR ONLY.
- ADD (2) #5 30" x 30" @ ALL CORNERS.
- FOOTING SHALL BE 12" MIN. BELOW & 4" MIN. ABOVE GRADE. R403.1.4.

COLUMN SCHEDULE

MK.	SIZE (IN)		VERT. REIN. OR CAP PL. & BOLTS	COL. TIES OR BASE PL. & A. BOLTS	REMARKS	NOTE / SYM.	SEE DTL.
	WD.	LWTH.					
C1	8	8	1#5	---	MASONRY GROUT FILLED CELL		
C3	8	12 MIN.	4#5	#3 TIES @ 8" C/C	CONCRETE		

BEARING HEIGHTS

SYMBOL	DESCRIPTION
(1)	+8'-0" TOP OF BEAM/WALL



REINFORCED MASONRY

ENGINEERED UNIT MASONRY:

GENERAL:

- ALL REINFORCING MASONRY WORK DESIGN SHALL CONFORM TO ACI-530-13/ ASCE 5-13/TMS 402-16 AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 530.13/ASCE 5-13/TMS 602-16 (11" = 200mm).
- ALL ENGINEERED UNIT MASONRY WORK SHALL REQUIRE INSPECTION BY SPECIAL INSPECTOR. IN ACCORDANCE WITH ACI-530-13 AND FBC-B 2122.4.

CONCRETE UNITS:

- CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH ASTM C90-14 AND SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 2000 PSI.
- PRE-CAST LINTELS SHOULD BE PRE-CAST OR PRE-CAST/PRE-STRESSED CONCRETE UNITS MANUFACTURED BY "CAST-CRETE". INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATION. SUBSTITUTION SHALL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER END BEARING SHALL NOT BE LESS THAN FOUR (4) INCHES.

MORTAR TYPE:

- M OR S PER ASTM C 270-12a. (CEMENT/LIME)

GROUT:

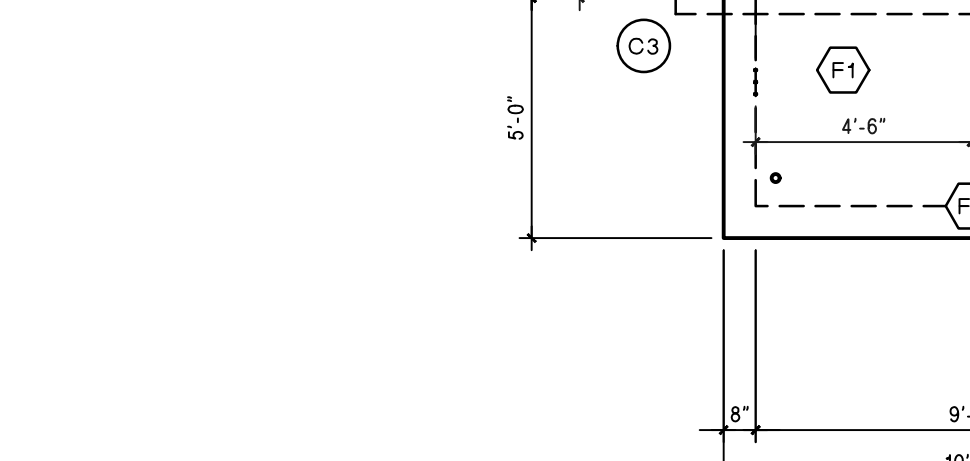
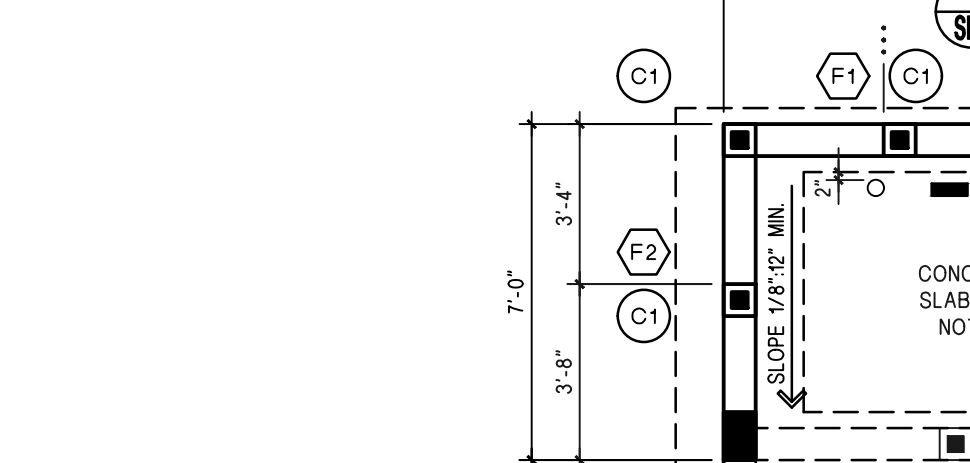
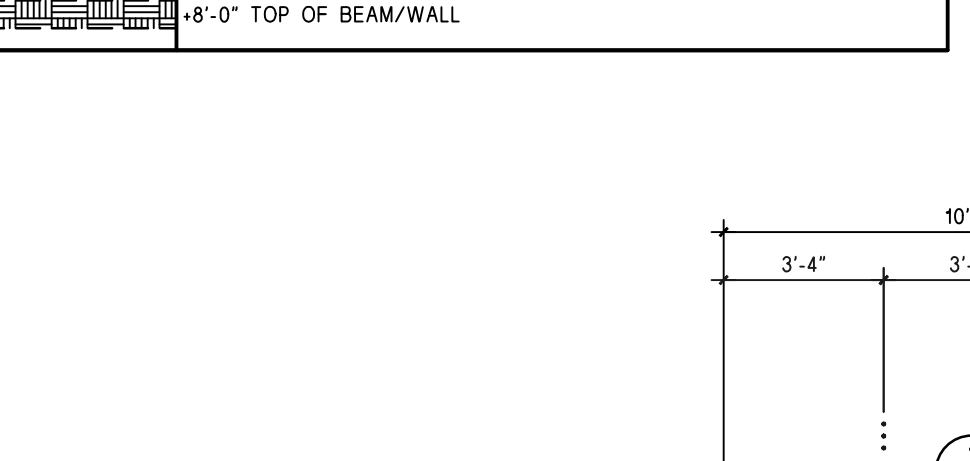
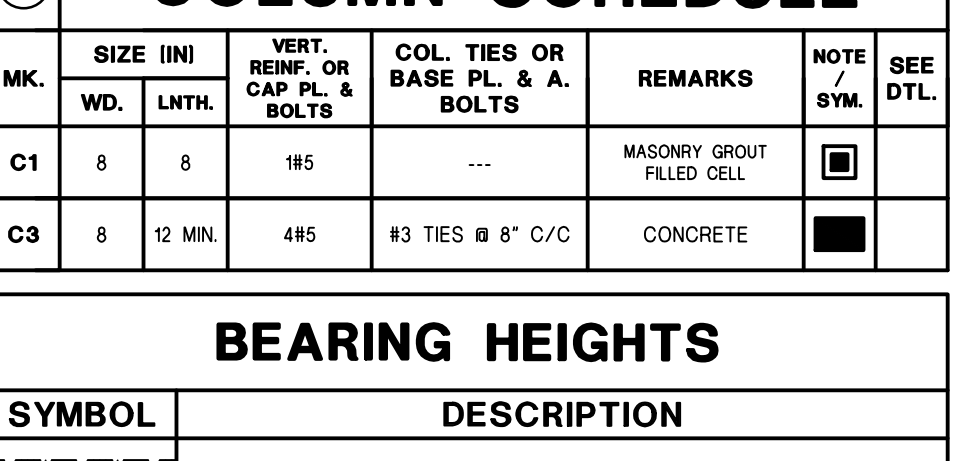
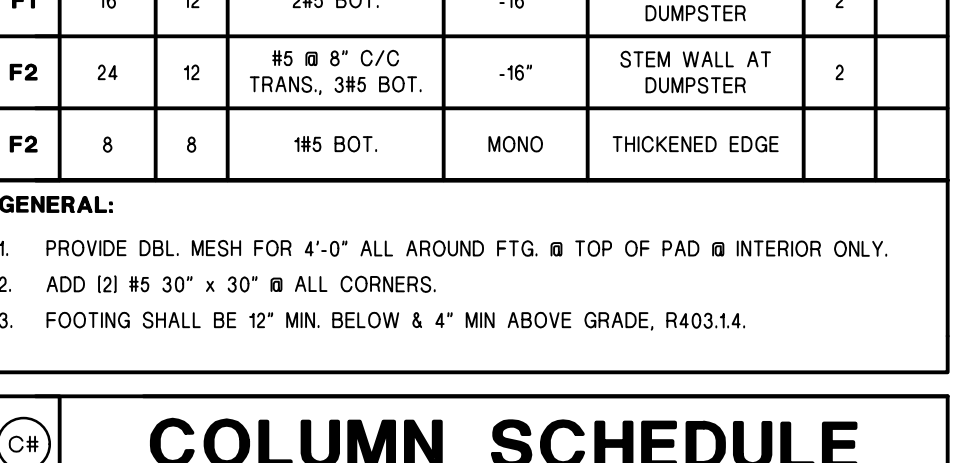
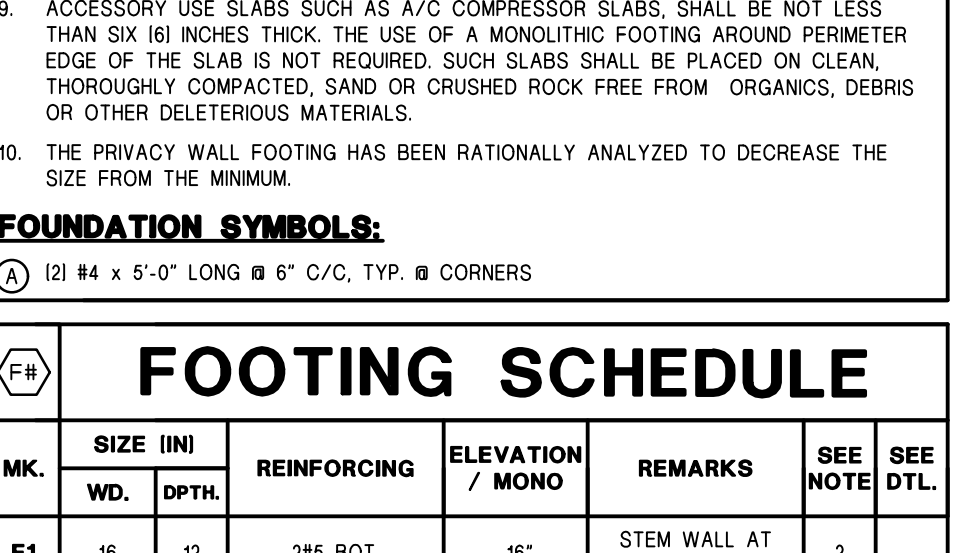
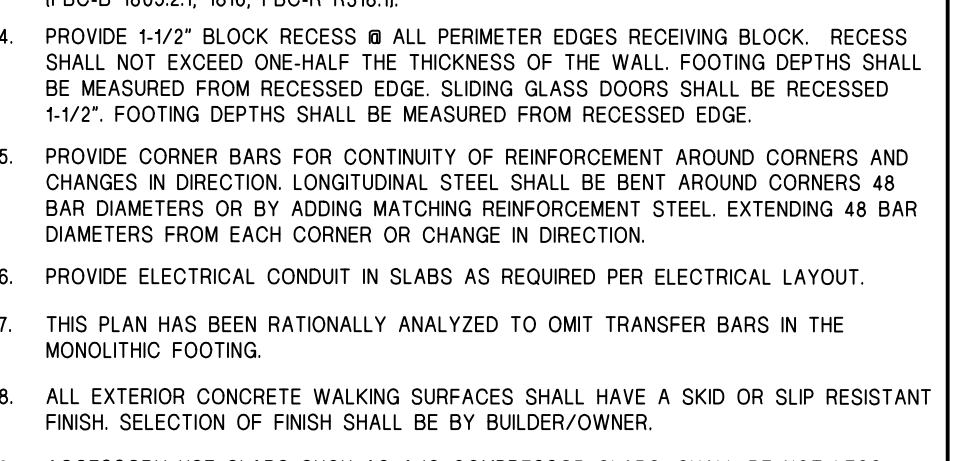
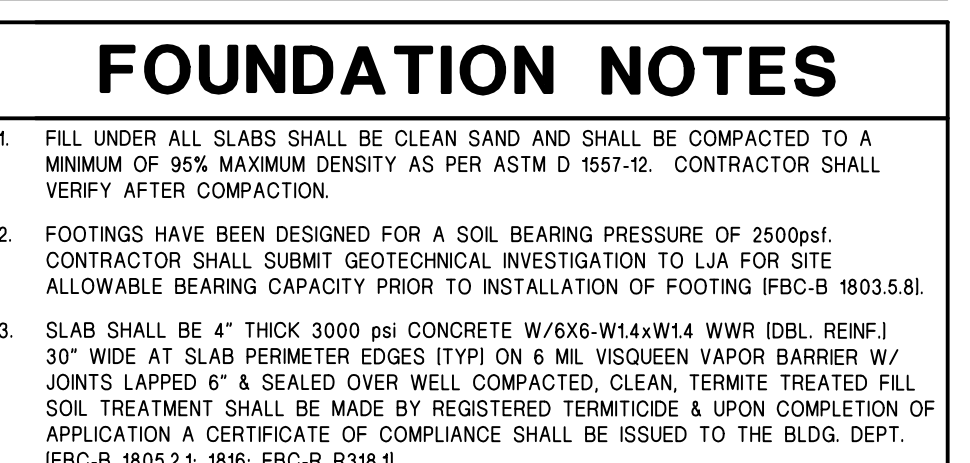
- GROUT SHALL CONFORM TO ASTM DESIGNATION C476-02 W/ A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE MIX DESIGN SHALL BE APPROVED BY THE ENGINEER.
- ALL GROUT SHALL BE FLUID CONSISTENCY, WHICH MEANS THAT CONSISTENCY BE AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS (1" = 25MM).
- THE USE OF ADMIXTURES SHALL NOT BE PERMITTED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
- MAXIMUM AGGREGATE SIZE IS 3/8".
- MAX. LIFT HEIGHT FOR GROUT PLACEMENT SHALL BE 5'-0" (FBC-B 2122.8.8).

VERTICAL REINFORCING:

- ASTM A615/A616M-12 PER REINFORCING SECTION (GRADE 60).
- WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING GROUT FILL BOTH CELLS.
- VERTICAL REINFORCEMENT STEEL SHALL HAVE A MINIMUM CLEARANCE OF ONE-HALF INCH FROM THE MASONRY.
- VERTICAL REINFORCEMENT SHALL BE AS SHOWN ON PLANS.
- ALL VERTICAL REINFORCEMENT SHALL BE CONTINUOUS TO THE BEAM AND SHALL HOOK AT TERMINATION. PRECAST LINTELS SHALL HAVE OPENINGS TO ALLOW REINFORCING BARS TO CONTINUE UNINTERRUPTED.
- LAP SPLICES, LAPS SHALL BE FOR (#5 BARS + 30 INCHES) (#6 BARS + 43 INCHES) (#7 BARS + 60 INCHES) (FBC-B 2107.2.1).

HORIZONTAL REINFORCEMENT:

- REINFORCEMENT BARS SHALL CONFORM TO ASTM A615/A616M-12 AND BE GRADE 60. (fy = 60 KSI)
- ALL REINFORCED MASONRY WALLS SHALL BE REINFORCED WITH MINIMUM NO. 9 GAUGE LADDER-TYPE HOT-DIPPED GALVANIZED, STAINLESS STEEL, OR EPOXY COATING HORIZONTAL JOINT REINFORCING AT EVERY ALTERNATE COURSE, 16" VERTICAL. HORIZONTAL JOINT REINFORCEMENT SHALL COMPLY WITH TMS 602/ACI-530.1/ASCE 6 SECTIONS 2.4C THRU 2.4F AND SECTION 3.4.5.10. ALL REINFORCEMENT SHALL BE CONTINUOUS AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATION.
- ADDITIONAL HORIZONTAL REINFORCEMENT SHALL BE PROVIDED AS SHOWN ON WALL SECTION IF ANY IS REQUIRED.
- MASONRY JOINT REINFORCEMENT CORROSION RESISTANCE SHALL BE HOT DIPPED GALVANIZED, IN ACCORDANCE W/ ASTM A153/A153M-09, CLASS B-2, (COATING 15 oz./sq.ft.)

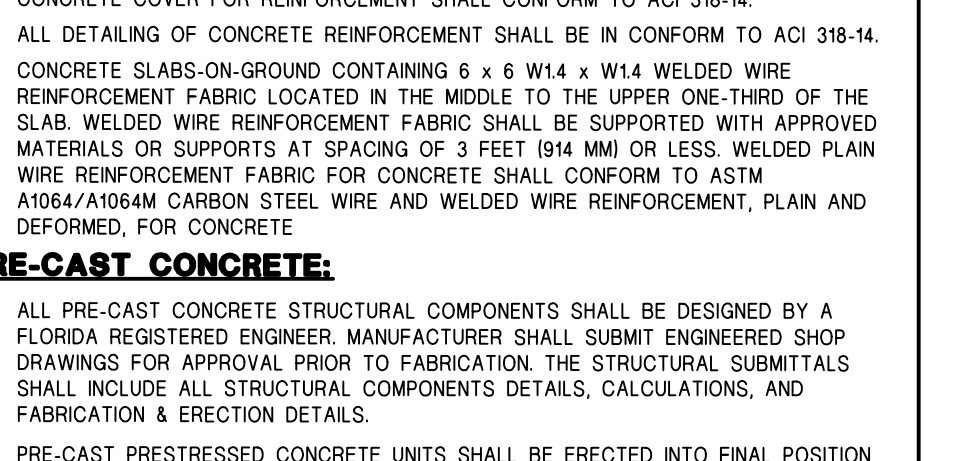
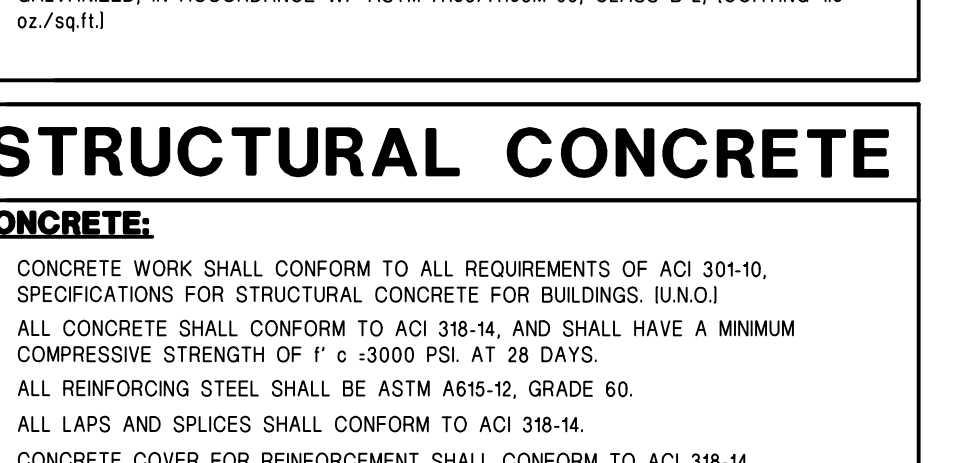
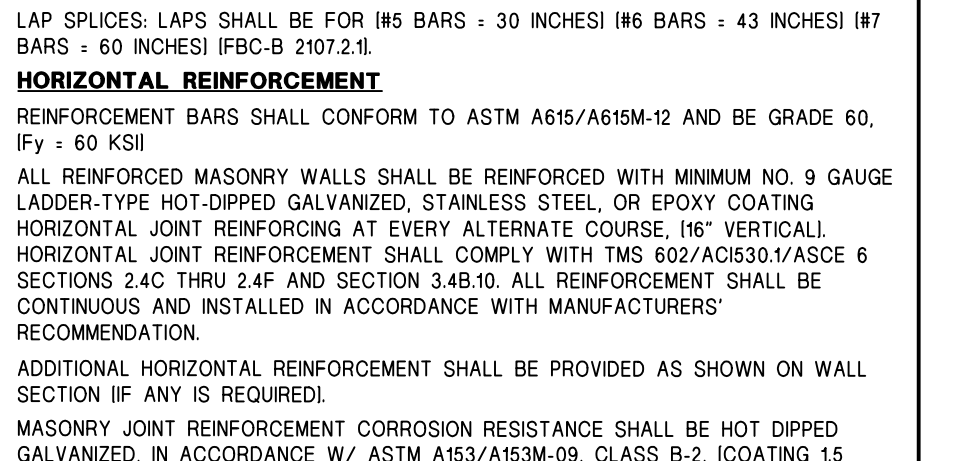
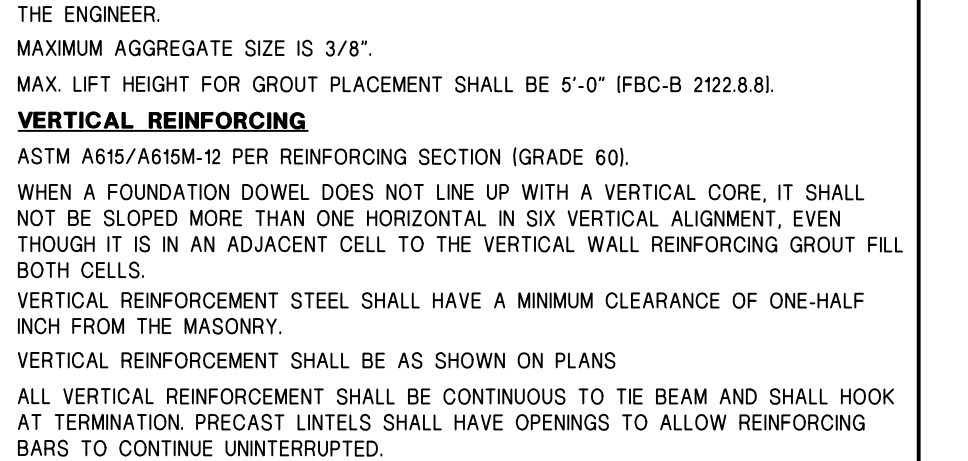
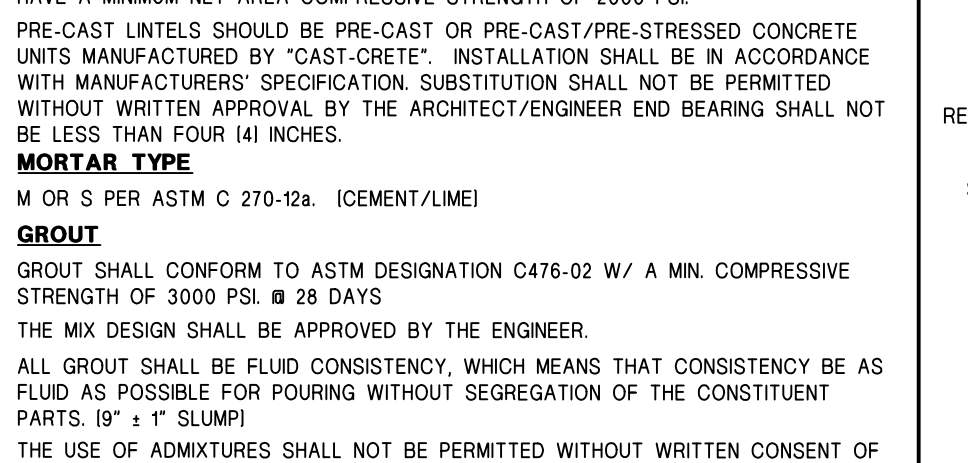


PREFAB DOORS FOR DUMPSTER SHALL BE INSTALL PER MANUFACTURERS PRODUCT APPROVAL

RECTANGULAR POST FRAME 52-63-7983 (FULLY WELDED MITERED CORNERS, TYP.)

SLAT INSERTS, SHOWN HORIZONTAL, SELECTION BY OWNER HORIZONTAL OR VERTICAL

BASE PLATE CONNECTION OPTION (4) 5/16"x3" ITW BULDEX TAPCONS 4" FROM ANY CONCRETE FACE

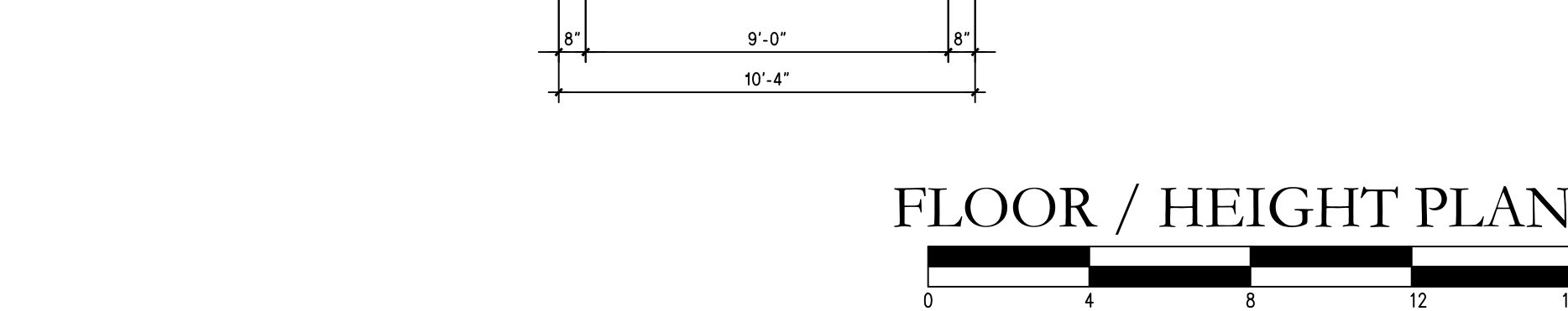
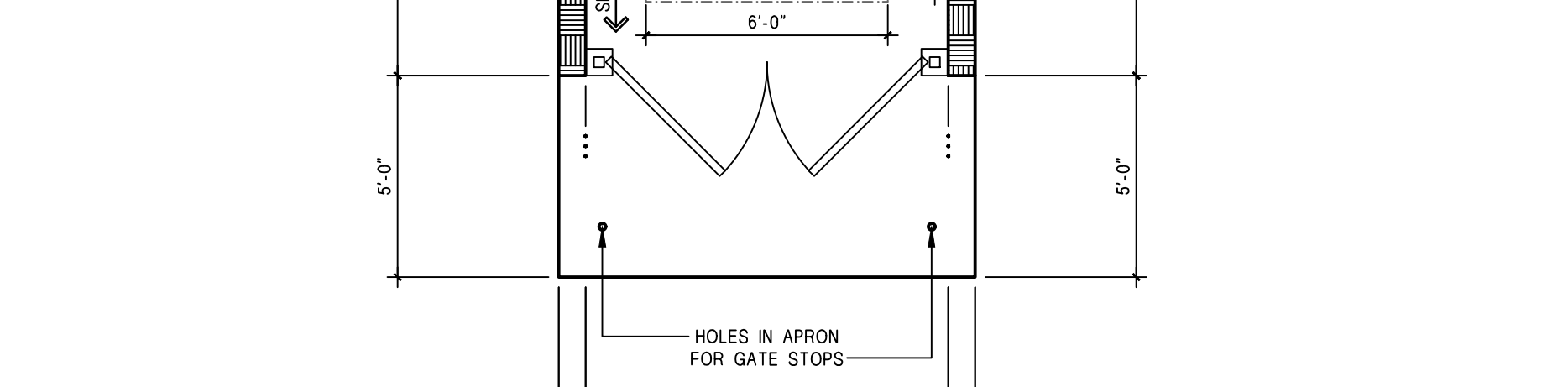
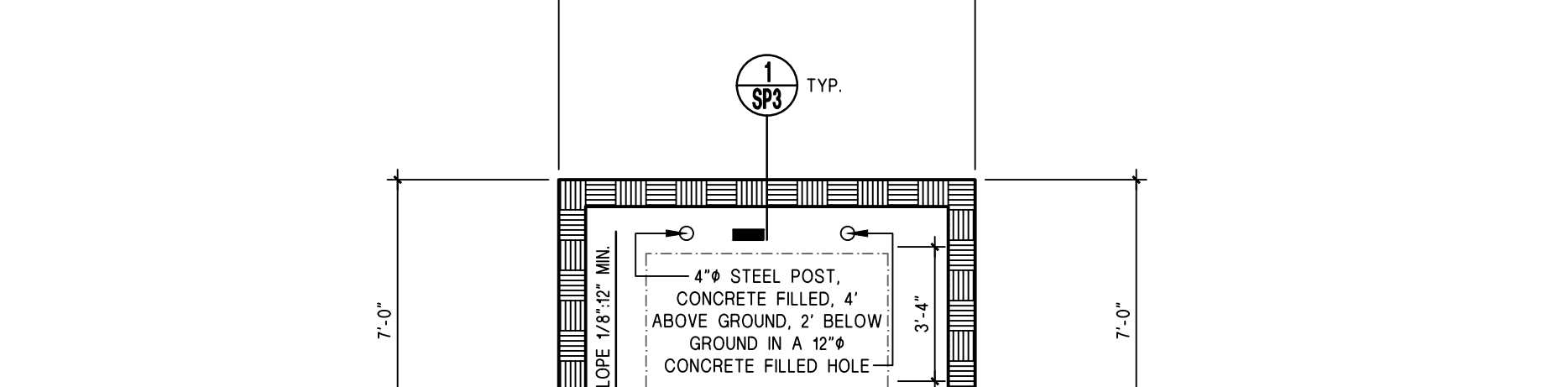
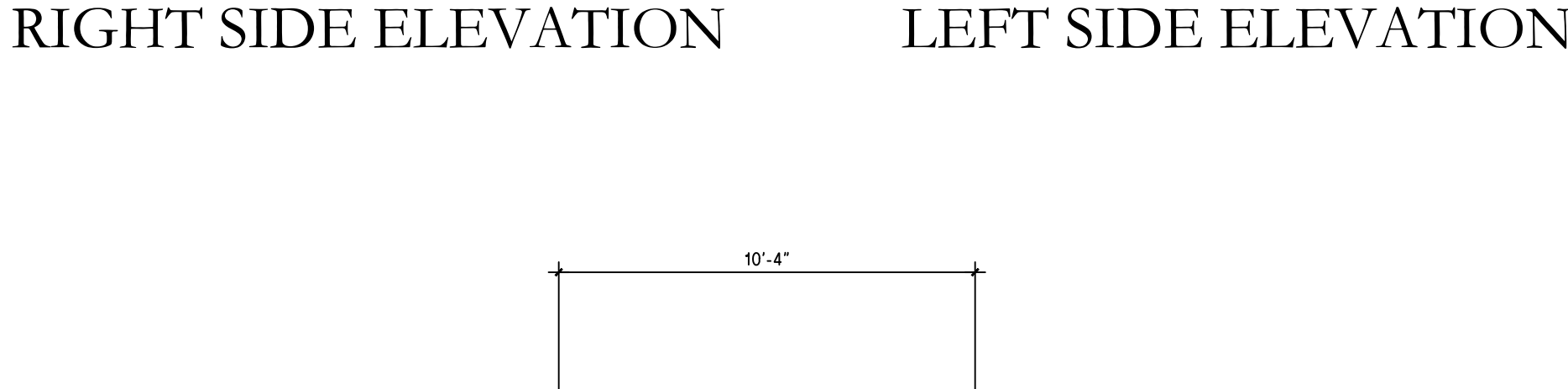
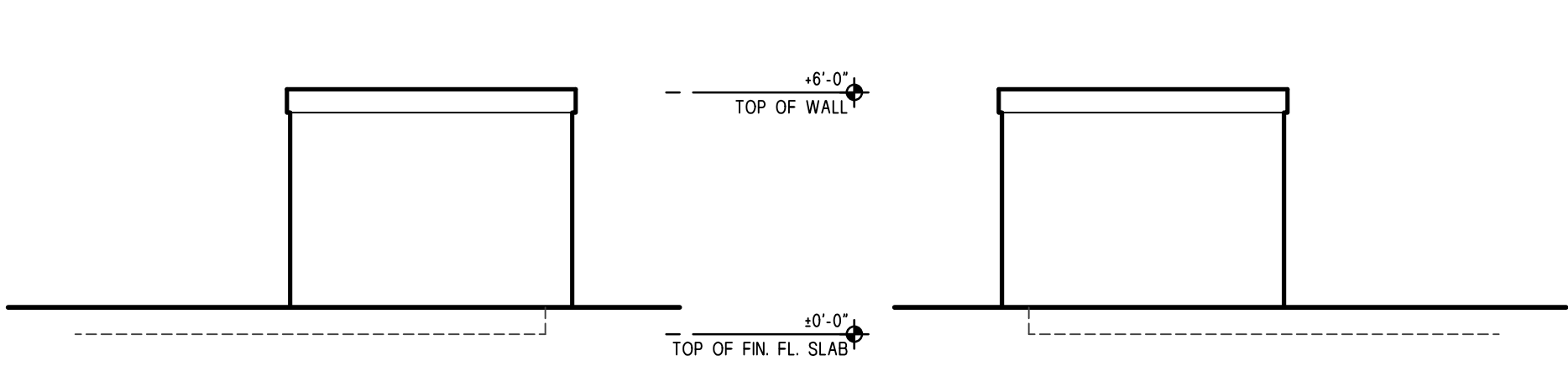
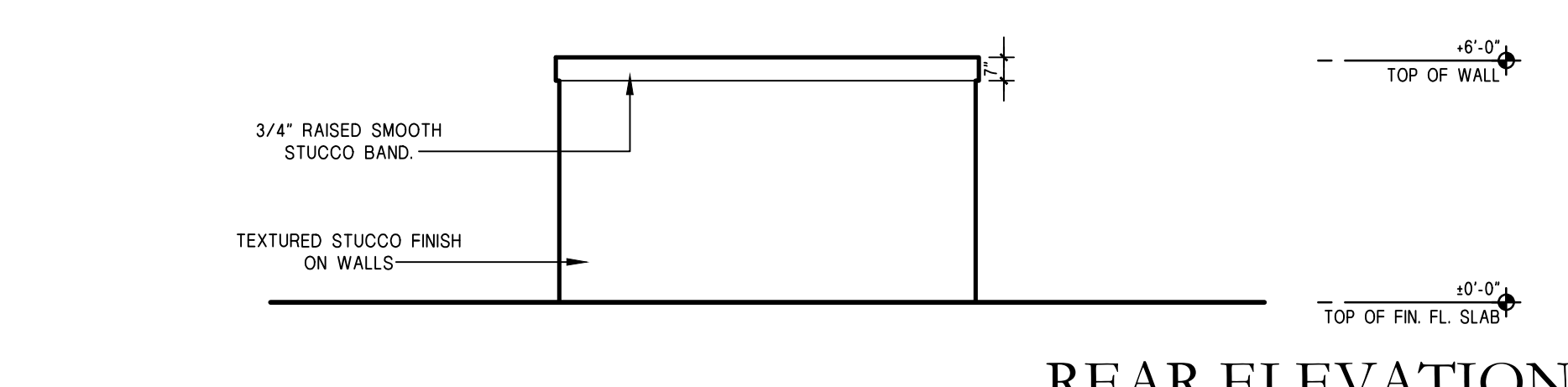
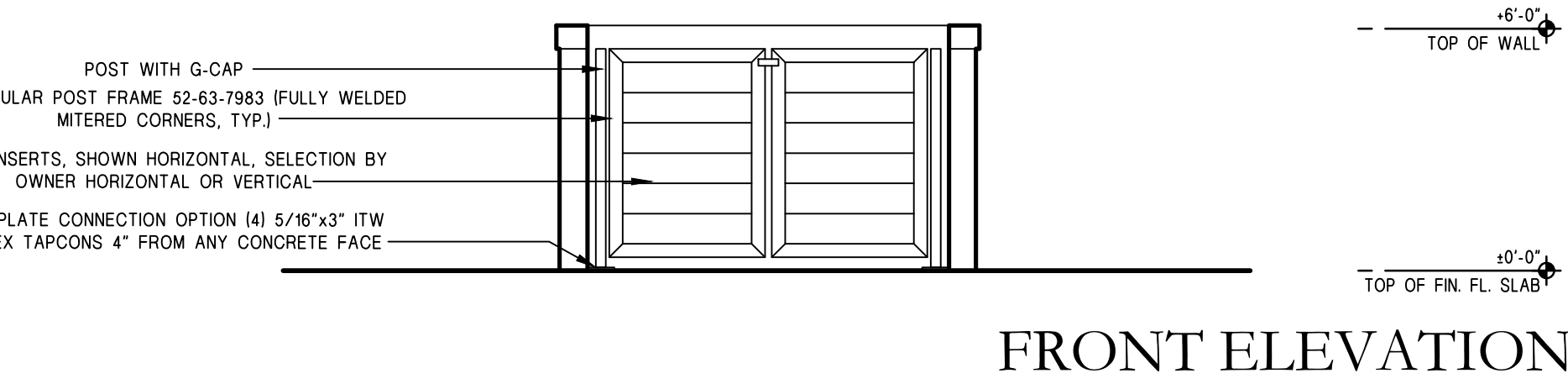


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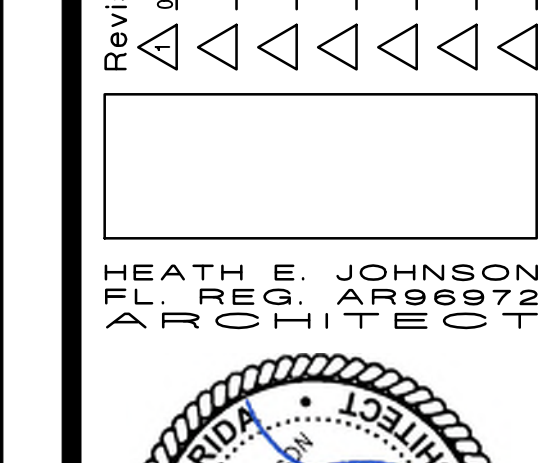
NO.	DATE	DESCRIPTION
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HEATH M. JOHNSON
FLORIDA REGISTERED ENGINEER
ARCHITECTS/PLANNERS/CONSULTANTS

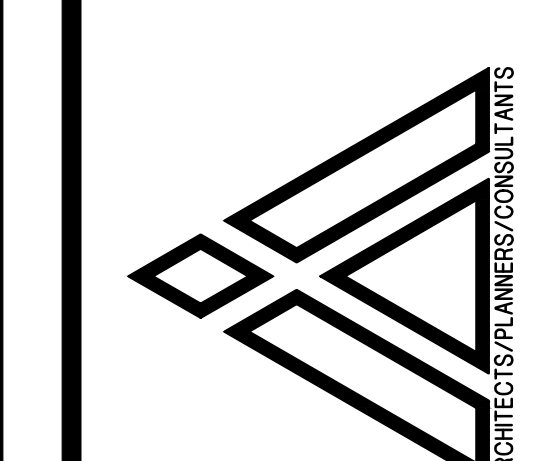
5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



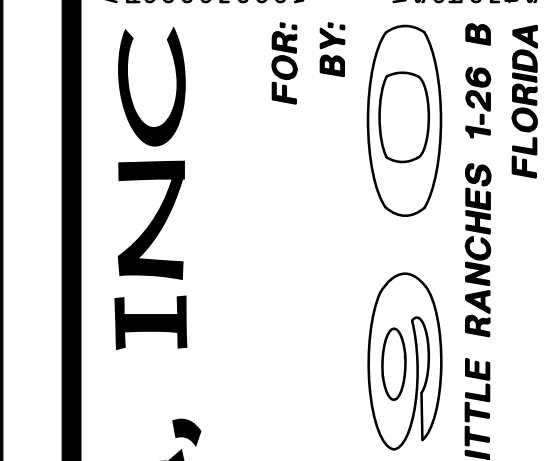
ARCHITECTS/PLANNERS/CONSULTANTS



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FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



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AN APARTMENT COMPLEX
AA26002832
2455 POLK STREET
LOT # 17, BLOCK 17,
HOLLYWOOD LITTLE RANCHES 1-26 B
FLORIDA
BROWARD COUNTY,
HOLLYWOOD



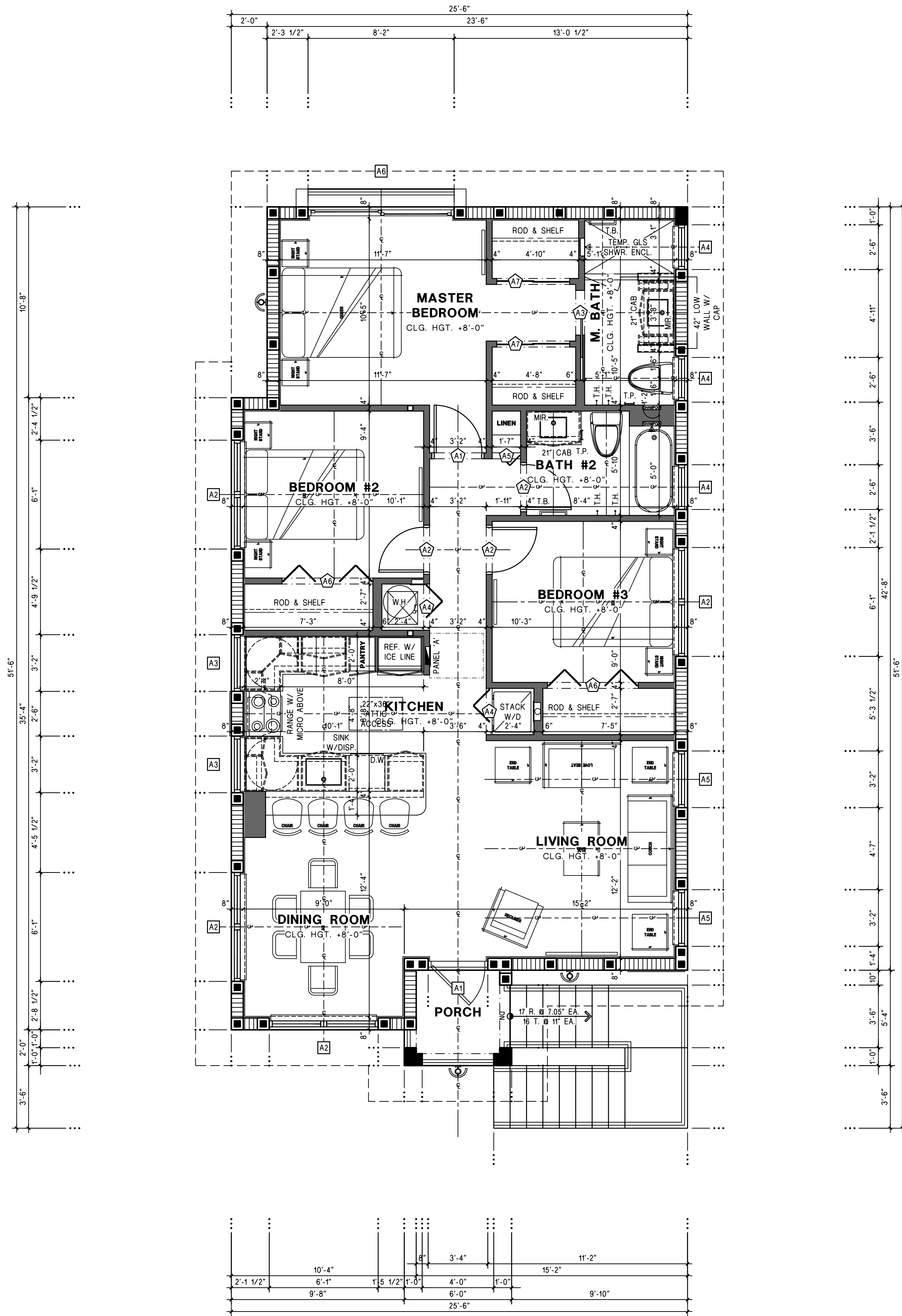
CIVIL: SINGLE DUMPSTER PLAN

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

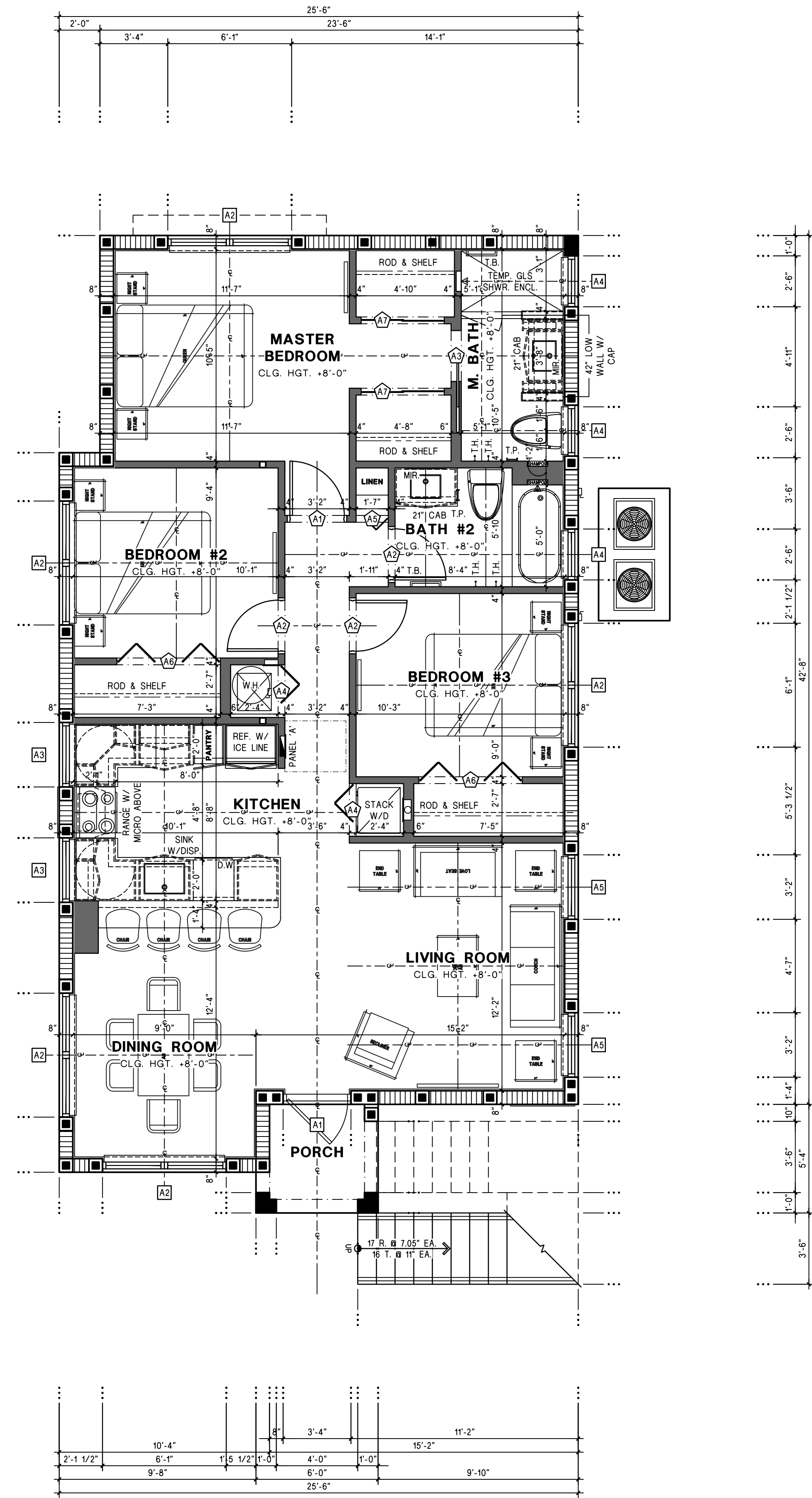
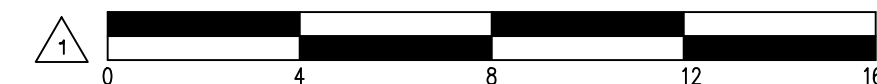
Designed by: H.E.J.
Drawn by: HBA
Checked by: HBA
Date: AUGUST 18, 2020
Scale: 1/4" = 1'-0"
Project #: 20043
Sheet

SP3
of 8
08/18/2020

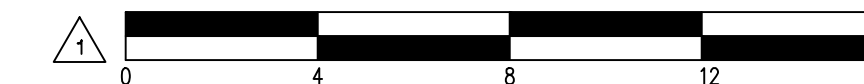
BUILDING 'A' FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



AREA CALCULATIONS

DESCRIPTION OF AREA UNIT 'A'	AREA IN S.F.
3 BEDROOM, 2 BATH, LIVING, DINING & KITCHEN	
FIRST FLOOR LIVING:	1,101
FIRST FLOOR COVERED PORCH:	30
STAIR AT FIRST FLOOR:	40
TOTAL FIRST FLOOR AREA:	1,171
SECOND FLOOR LIVING AREA:	1,101
SECOND FLOOR COVERED PORCH:	30
STAIR AT SECOND FLOOR:	36
TOTAL SECOND FLOOR AREA:	1,167
TOTAL AREA:	2,338

LIGHT & VENTILATION

ROOM	NET AREA S.F.	LIGHT		VENTILATION	
		8%	4%	LIGHT	VENT
MASTER BEDROOM	118.83	9.51	4.75	43.67	25.50
BEDROOM #2	93.33	7.47	3.73	14.78	8.20
BEDROOM #3	91.50	7.32	3.66	14.78	8.20
LIVING & DINING	263.47	21.08	10.54	53.54	63.22

INTERIOR DOOR SCHD.

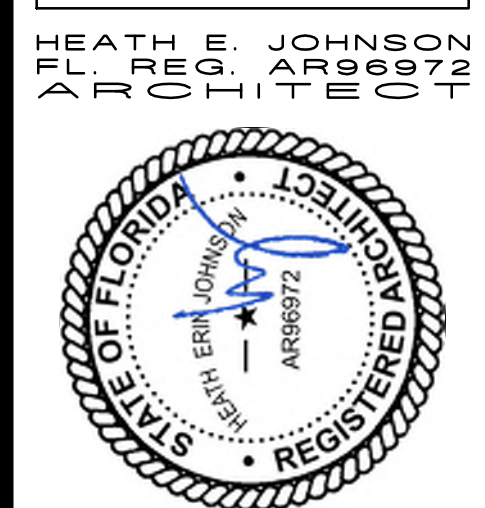
MK.	SIZE (IN)	OPERATION	REMARKS
A1	2'-8" W.D. 6'-8" HGT.	SWING	MASTER BEDROOM : HANDICAP ACCESSIBLE
A2	2'-6" W.D. 6'-8" HGT.	SWING	BEDROOMS & BATHROOM
A3	2'-6" W.D. 6'-8" HGT.	POCKET	MASTER BATHROOM : HANDICAP ACCESSIBLE
A4	2'-6" W.D. 6'-8" HGT.	BIFOLD	FULL WOOD LOUVERED
A5	1'-6" W.D. 6'-8" HGT.	BIFOLD	LINEN
A6	5'-0" W.D. 6'-8" HGT.	BIFOLD	PAIR 2'-6"
A7	4'-0" W.D. 6'-8" HGT.	BIPASS	PAIR 2'-0"

EXTERIOR OPNG. SCHD.

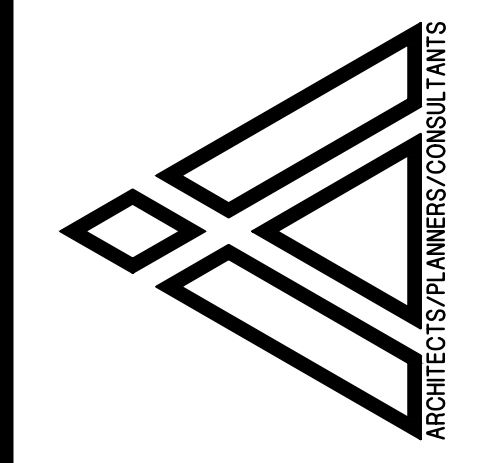
1. CONTRACTOR TO VERIFY MASONRY OPENINGS WITH WINDOW & DOOR MANUFACTURER, PRIOR TO CONSTRUCTION & ADJUST OPENINGS AS NEEDED.
2. SHADING COEFFICIENT IS .35

MK.	SIZE (IN)	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	PRES.
A1	40 80	SWING	1	Y	Y	Y	3'0"x6'8" S.L.F.D.	-42.3	38.8
A2	72 39	H.R.	2	Y	N	N	D23	-42.7	39.2
A3	38 12	F.G.	1	N	N	N	3'2"x10' F.G.	-44.4	41.0
A4	30 30	F.G.	1	N	N	N	FROSTED	-44.4	41.0
A5	38 39	CASEMENT	1	N	N	N	C-23	-44.4	40.9
A6	98 82	S.G.D.	2	Y	Y	N	2ND FLOOR ONLY	-39.9	36.4

Revisions:
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5321 SUMMERLIN ROAD, SUITE 10
 FORT MYERS, FLORIDA 33919
 PHONE: (239) 246-8641



All floor plan elements shown on these drawings shall have precedence over any other drawings of this site and were created, revised, or corrected in accordance with the specific project information. The architect shall be responsible for the accuracy of the information and shall be notified of any variations from the information shown on these drawings. The architect shall be responsible for the accuracy of the information shown on these drawings without the written permission of ARCHITECTA, INC.

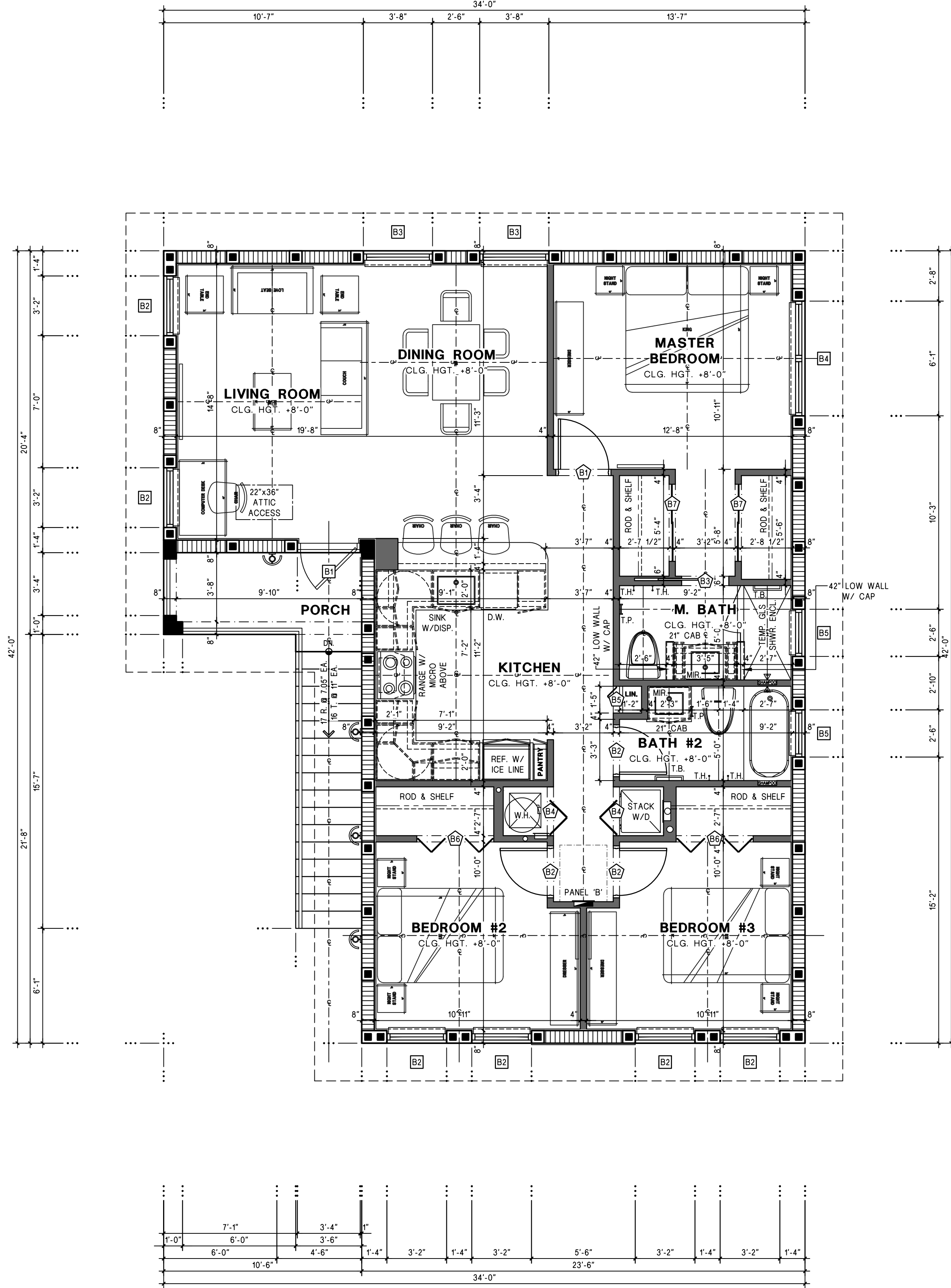
FOR: BY:
 ARCHITECTA, INC.

ARCHITECTA, INC.
 AA26002832
 AN APARTMENT COMPLEX
 2455 POLK STREET
 HOLLYWOOD LITTLE RANCHES 1-26 B
 FLORIDA
 BROWARD COUNTY,
 HOLLYWOOD

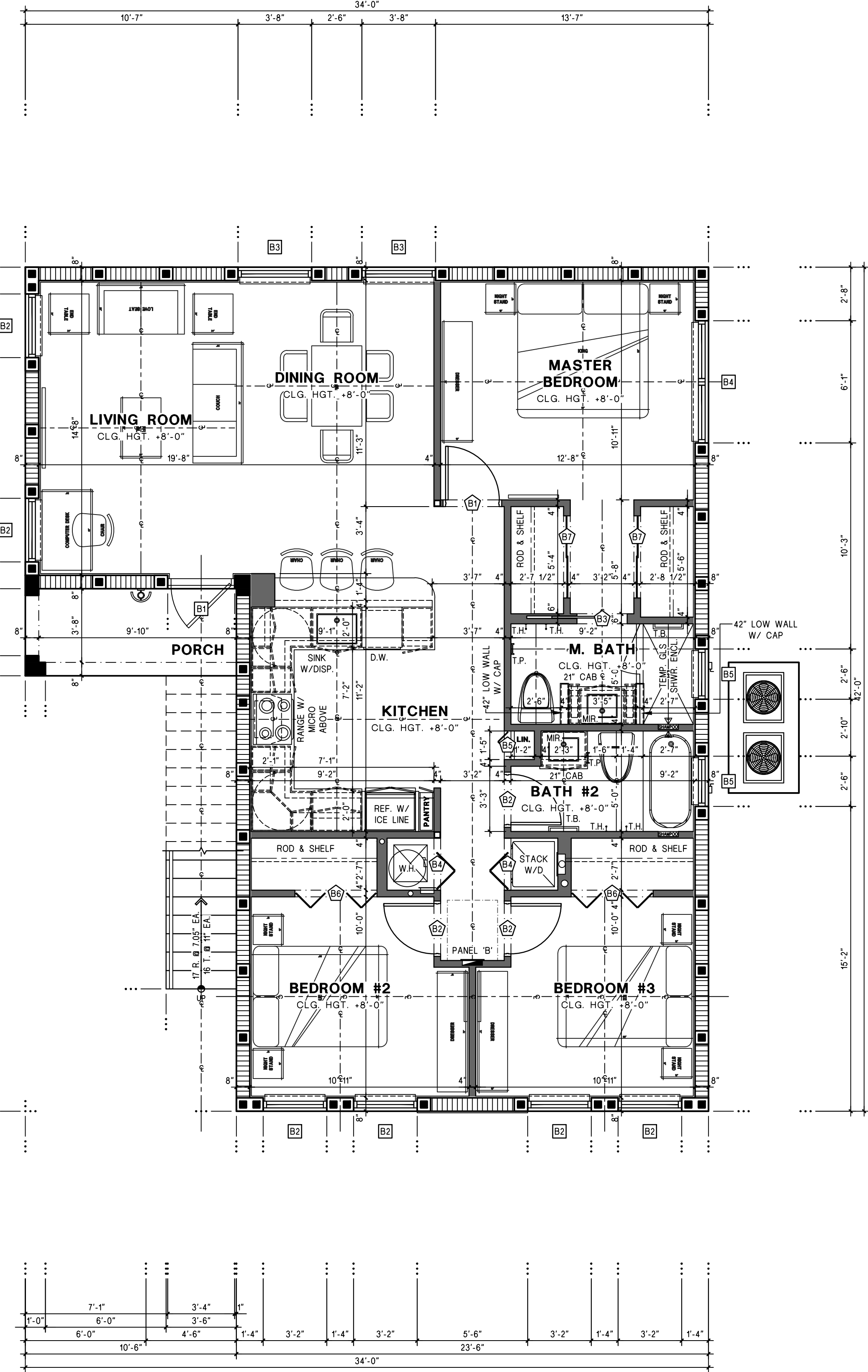
12189 NW 52nd COURT
 CORAL SPRINGS, FLORIDA 33076
 PHONE: (954) 755-0690

Designed by: H.E.J.
 Drawn by: HBA
 Checked by: HBA
 Date: AUGUST 18, 2020
 Scale: 1/4" = 1'-0"
 Project #: 20043
 Sheet

BUILDING 'B' FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

AREA CALCULATIONS

DESCRIPTION OF AREA UNIT 'B'	AREA IN S.F.
3 BEDROOM, 2 BATH, LIVING, DINING & KITCHEN	
FIRST FLOOR LIVING:	1,168
FIRST FLOOR COVERED PORCH:	40
STAIR AT FIRST FLOOR:	27
TOTAL FIRST FLOOR AREA:	1,235
SECOND FLOOR LIVING AREA:	1,168
SECOND FLOOR COVERED PORCH:	40
STAIR AT SECOND FLOOR:	27
TOTAL SECOND FLOOR AREA:	1,235
TOTAL AREA:	2,470

LIGHT & VENTILATION

ROOM	NET AREA S.F.	LIGHT		VENTILATION		GLAZING	
		8%	4%	4%	4%	LIGHT	VENT
MASTER BEDROOM	136.31	10.90	5.45	15.00	9.32		
BEDROOM #2	101.30	8.10	4.05	14.67	16.53		
BEDROOM #3	101.30	8.10	4.05	14.67	16.53		
LIVING & DINING	280.33	22.43	11.21	48.94	35.78		

INTERIOR DOOR SCHD.

MK.	SIZE (IN)	OPERATION	REMARKS
WD.	HGT.		
B1	2'-8" 6'-8"	SWING	MASTER BEDROOM : HANDICAP ACCESSIBLE
B2	2'-6" 6'-8"	SWING	BEDROOMS & BATHROOM
B3	2'-6" 6'-8"	POCKET	MASTER BATHROOM : HANDICAP ACCESSIBLE
B4	2'-6" 6'-8"	BIFOLD	FULL WOOD LOUVERED
B5	1'-4" 6'-8"	BIFOLD	LINEN
B6	4'-0" 6'-8"	BIFOLD	PAIR 2'-0"
B7	4'-0" 6'-8"	BIPASS	PAIR 2'-0"

EXTERIOR OPNG. SCHD.

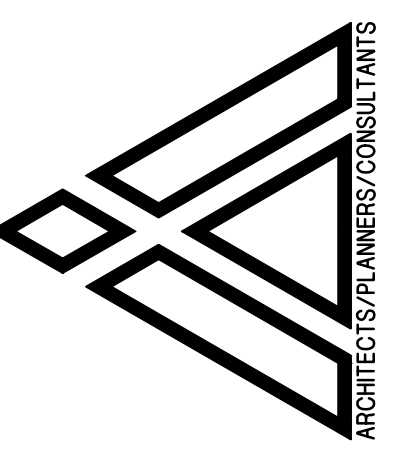
1. CONTRACTOR TO VERIFY MASONRY OPENINGS WITH WINDOW & DOOR MANUFACTURER, PRIOR TO CONSTRUCTION & ADJUST OPENINGS AS NEEDED.
2. SHADING COEFFICIENT IS .35

MK.	SIZE (IN)	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	PRES.
B1	40 80	SWING	1	Y	Y	Y	3'0"x6'8" S.L.F.D.	-42.3	38.8
B2	38 39	CASEMENT	1	N	N	N	C-23	-54.7	40.9
B3	38 38	F.G.	1	N	N	N	F.G.	-44.4	41.0
B4	72 39	H.R.	2	Y	N	N	D23	-51.3	39.2
B5	30 30	F.G.	1	N	N	N	FROSTED	-44.4	41.0

Revisions:
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5321 SUMMERLIN ROAD, SUITE 10
 FORT MYERS, FLORIDA 33919
 PHONE: (239) 246-8641



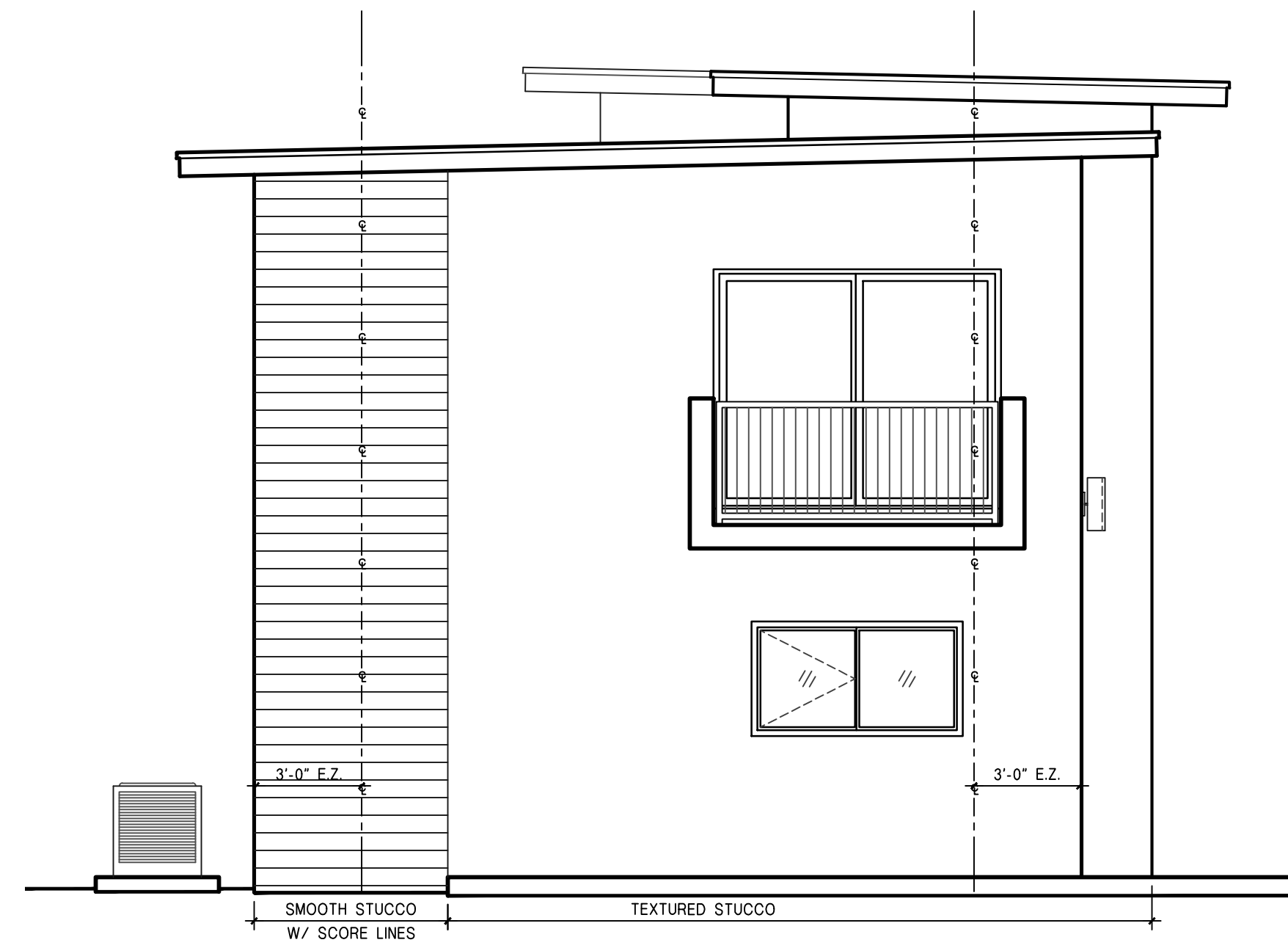
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 AN APARTMENT COMPLEX
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 HOLLYWOOD LITTLE RANCHES 1-26 B
 FLORIDA
 BROWARD COUNTY

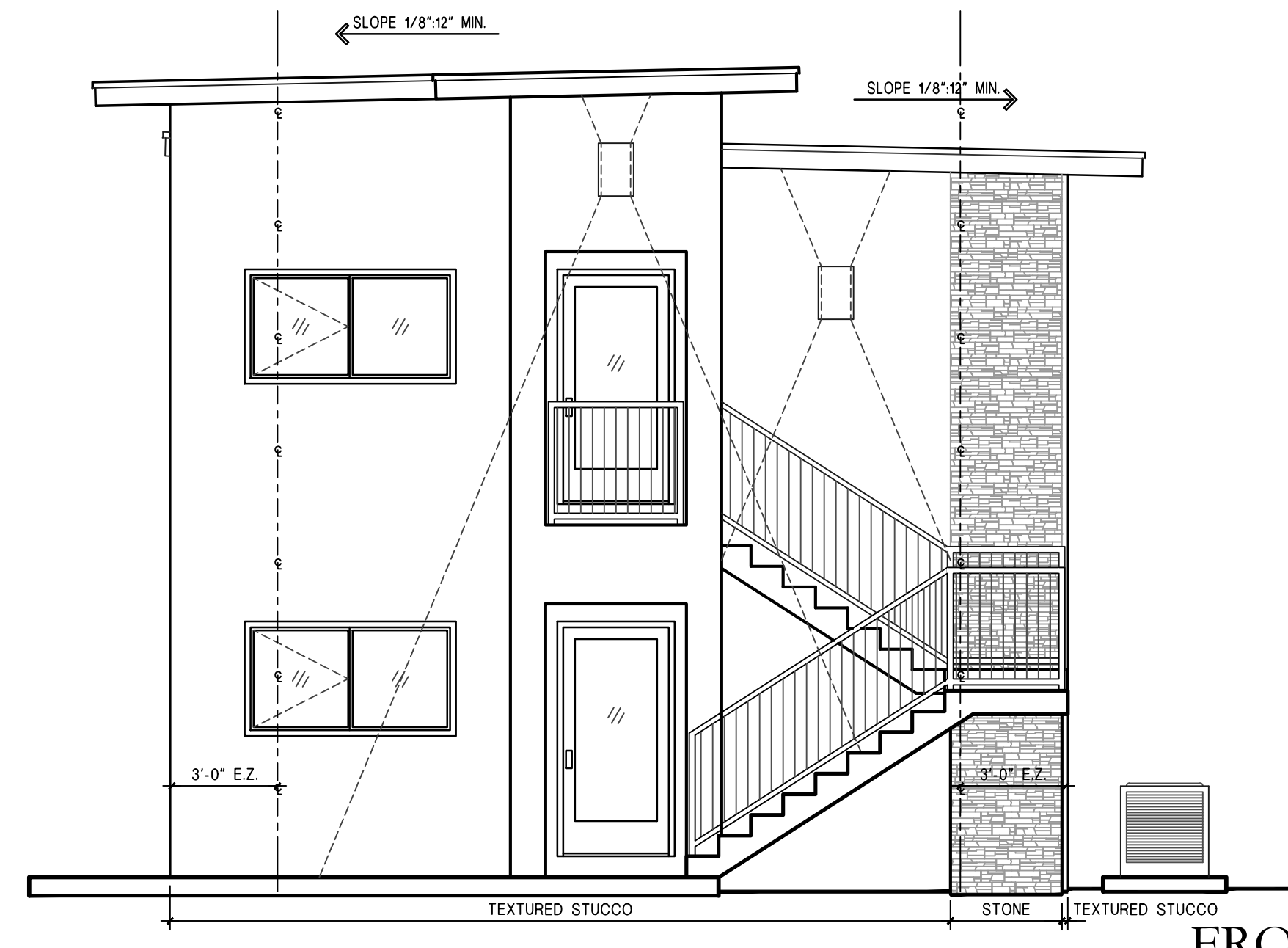
ARCHITECTURAL: FLOOR PLAN 'B1'
 LOT # 17, BLOCK 17, HOLLYWOOD,
 BROWARD COUNTY,
 FLORIDA

12189 NW 52nd COURT
 CORAL SPRINGS, FLORIDA 33076
 PHONE: (954) 755-0690

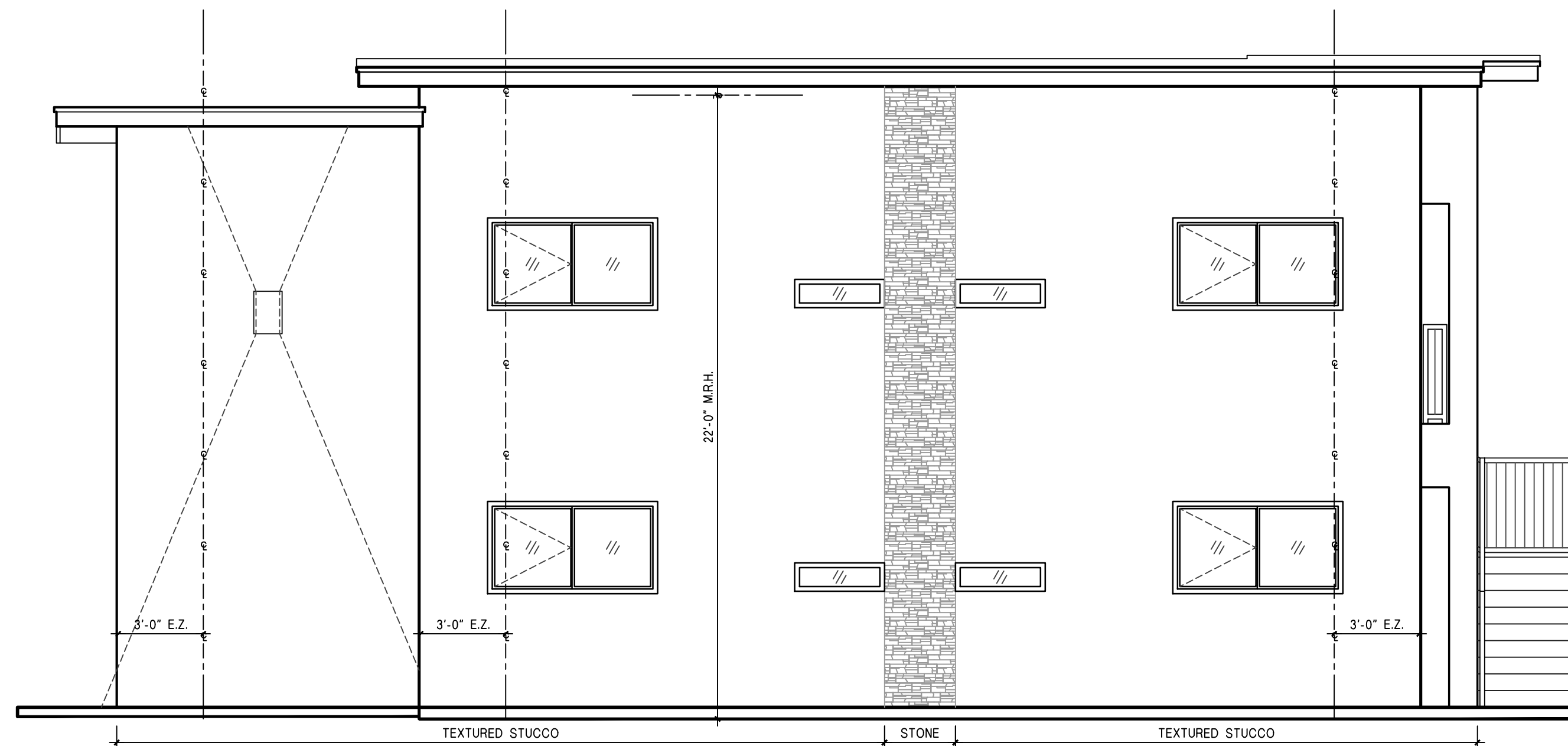
Designed by: HEJ
 Drawn by: HBA
 Checked by: HBA
 Date: AUGUST 18, 2020
 Scale: 1/4" = 1'-0"
 Project #: 20043
 Sheet



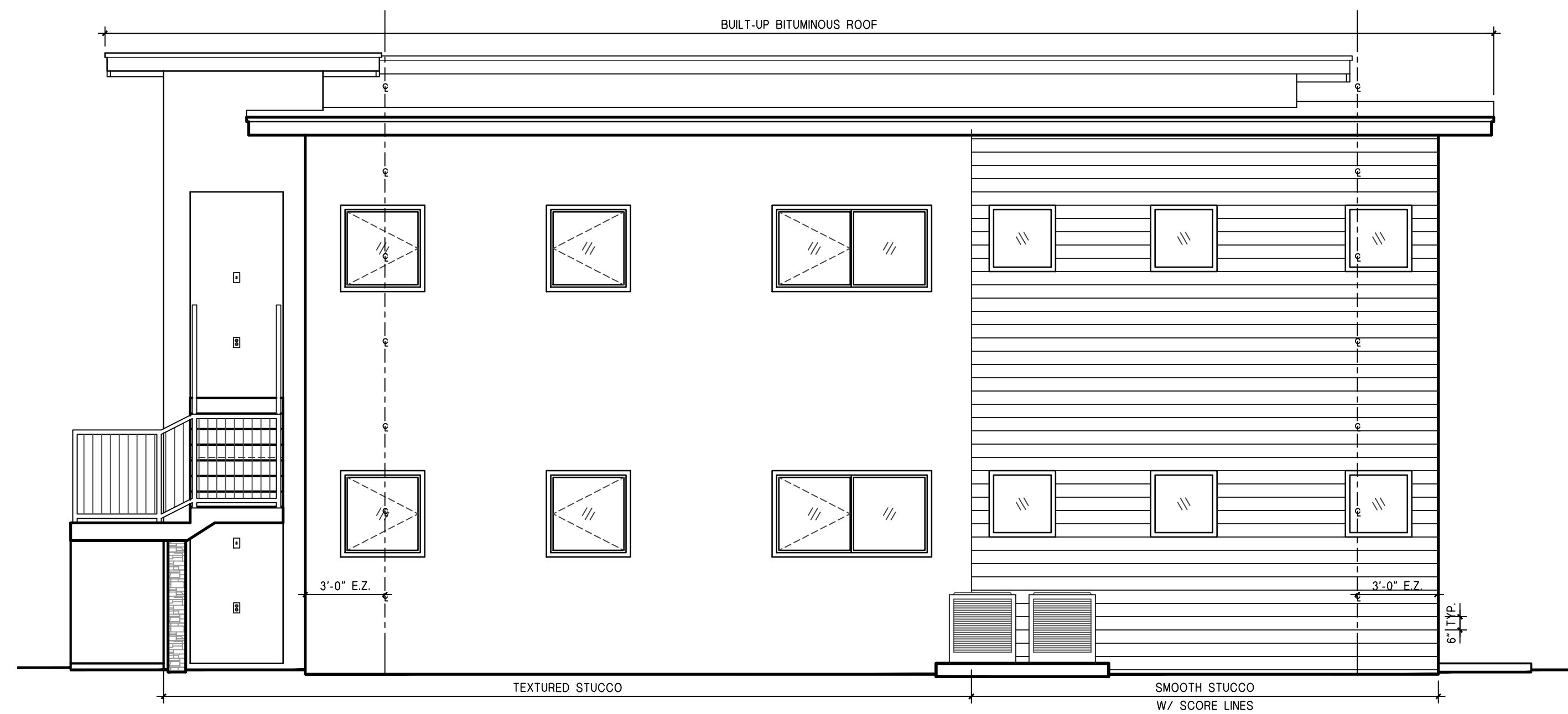
REAR ELEVATION



FRONT ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

BUILDING 'A' ELEVATIONS

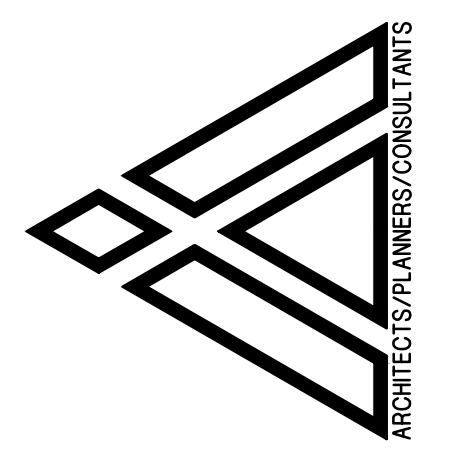
Revisions:

1	08-18-20	BIDS DEPT. CHANGES - H.E.J.
2		
3		
4		
5		

HEATH M. JOHNSON
FLORIDA ARCHITECT
086672



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FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641

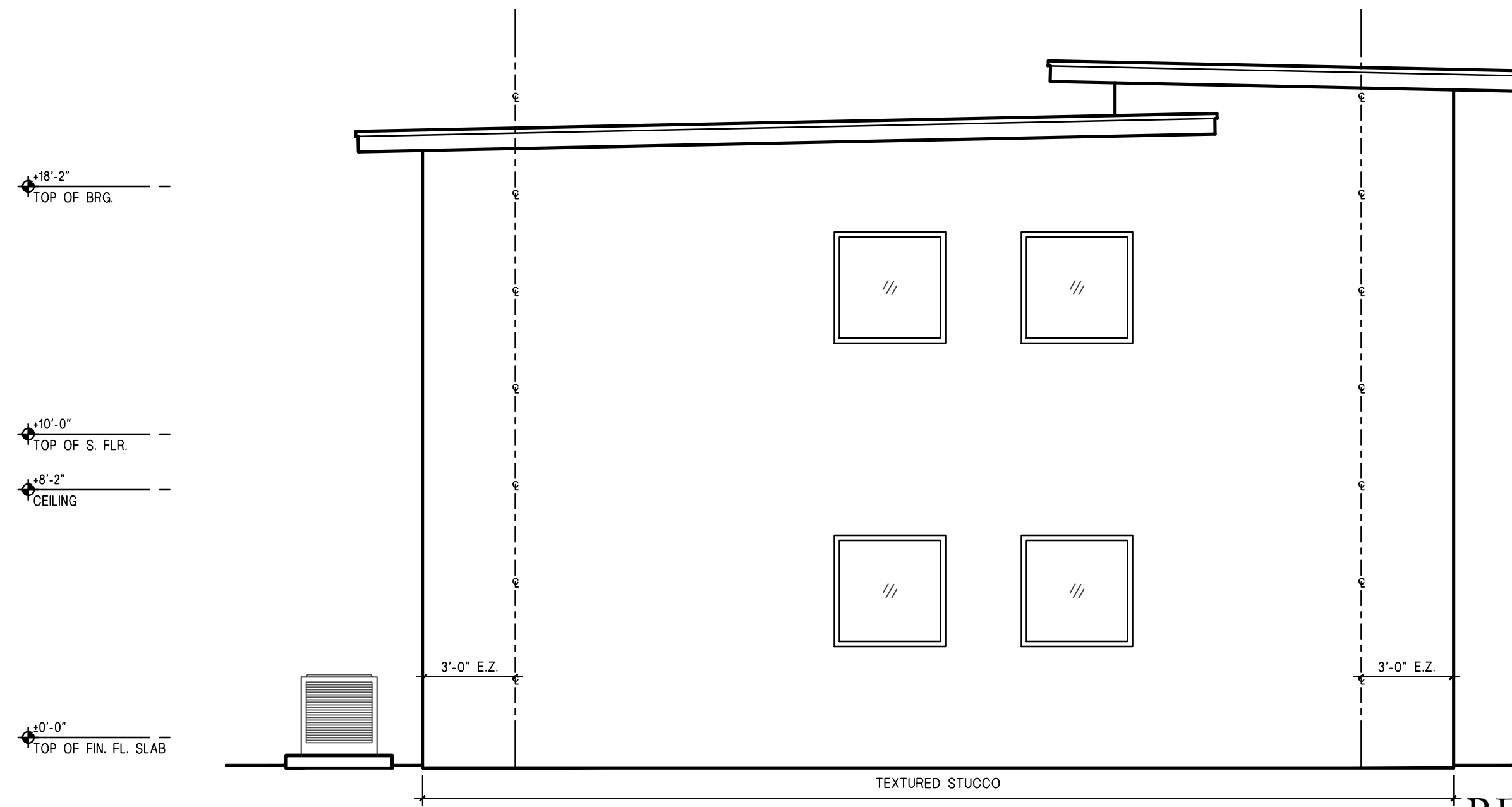


All these facilities constructed by this firm are hereby represented by this seal. The seal shall have precedence over any other seal or stamp of the architect. The seal shall be used in connection with the architect's professional work. The seal shall be used in connection with the architect's professional work. The seal shall be used in connection with the architect's professional work.

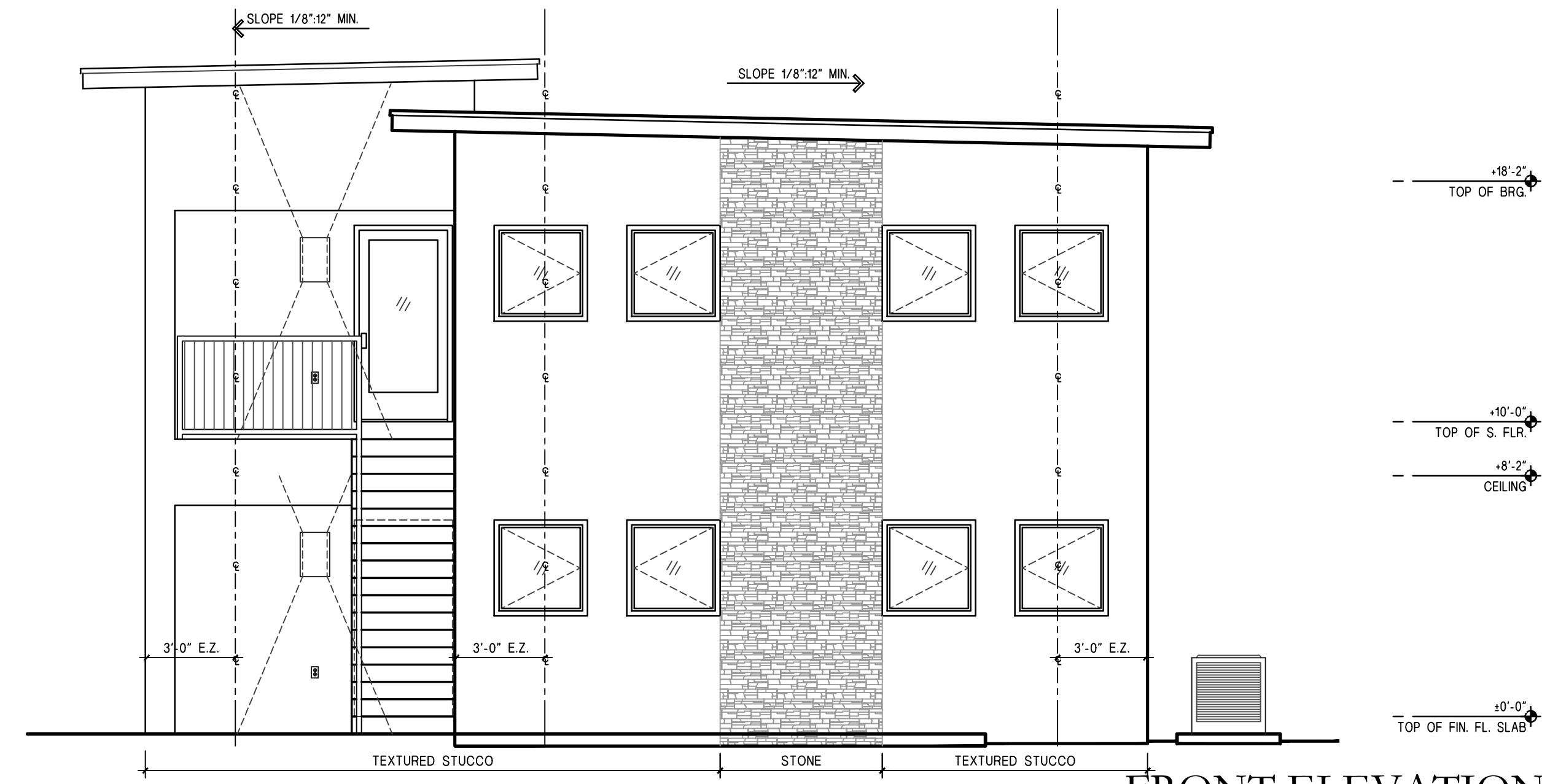
FOR: BY: ARCHITECT, INC.
HOLLYWOOD LITTLE RANCHES 1-26 B
FLORIDA

ARCHITECTURAL: UNIT 'A' ELEVATIONS
ARCHITECTA, INC
AA26002832
AN APARTMENT COMPLEX
2455 POLK STREET
HOLLYWOOD COUNTY, BROWARD COUNTY, FLORIDA
LOT # 17, BLOCK 17, HOLLYWOOD,
12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

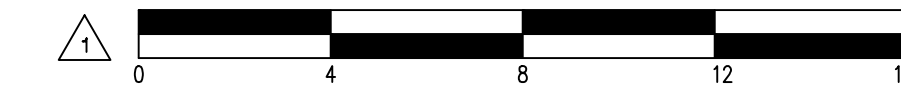
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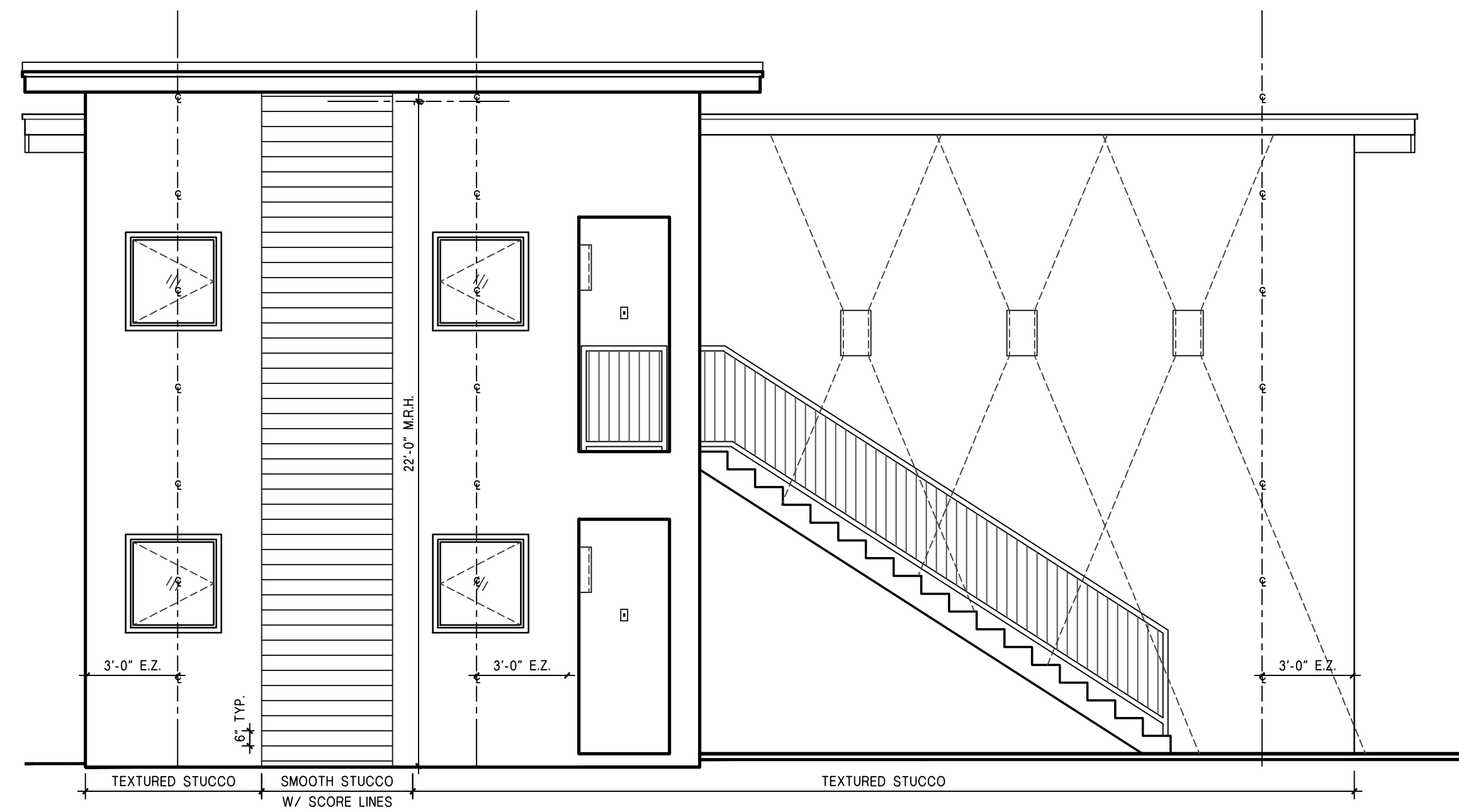
REAR ELEVATION



FRONT ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



BUILDING 'B' ELEVATIONS

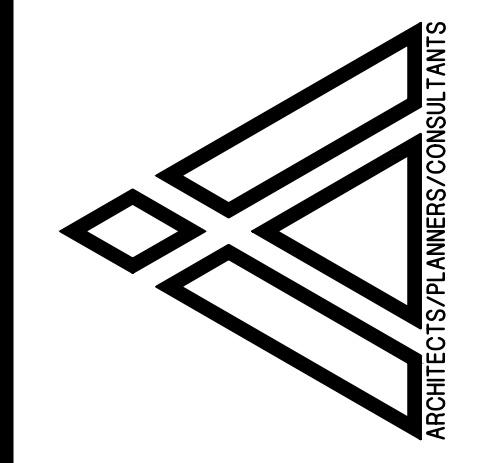
Revisions:

1	08-18-20	BIDS. DEPT. CHANGES - I.E.L.
2		
3		
4		
5		

HEATH M. JOHNSON
FLORIDA ARCHITECT
11 TRIMBLE DRIVE
FORT MYERS, FLORIDA 33902



5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



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FOR: BY:
ARCHITECTA, INC.
12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

DESIGNED BY: H.E.J.
DRAWN BY: HBA
CHECKED BY: HBA
DATE: AUGUST 18, 2020
SCALE: 1/4" = 1'-0"
PROJECT #: 20043
SHEET

ARCHITECTURAL: UNIT 'B' ELEVATIONS
ARCHITECTA, INC.
AA26002832
AN APARTMENT COMPLEX
2455 POLK STREET
HOLLYWOOD LITTLE RANCHES 1-26 B
FLORIDA
LOT # 17, BLOCK 17,
HOLLYWOOD,
BROWARD COUNTY,

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

DESIGNED BY: H.E.J.
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TREE TRANSPLANTING SCOPE OF WORK

Supply the necessary equipment and labor to transplant all trees and palms per plans and specifications to the designated on site areas to be determined by Project Manager (PM) and/or Landscape Architect (LA).

Hours of work operation for the root pruning and tree relocations portion of this project shall be anytime during regular daylight hours between 7:00 AM to 5:00 PM, Monday to Saturday.

Extreme care should be exercised so as not to damage the root system.

Selectively trim the canopy removing dead limbs, cross branching over crowned areas, lower undesirable limbs and open up any unusually thick canopies as per National Arborist Association pruning standards.

Water trees before the root pruning process. Root prune all canopy trees to 90 to 95% of the root system approximately 18" to 2' deep. This is to be done by hand with very sharp hand tools or a root pruning saw, depending on subsoil conditions. Trees are to be root pruned approximately 8" from the center of the tree per every one inch of caliper (measured 4-1/2" from top of root ball). Back fill with existing soil and peat moss. Water in thoroughly and treat with mycorrhizae and a low nitrogen fertilizer and brace using 5 layers of burlap minimum. No nail holes will be permitted directly into the tree bark. See bracing detail on the landscape plans. Fill in the holes and clean the surrounding areas daily. Check the irrigation system for breaks and repair. The existing irrigation system shall be kept in good daily working condition throughout the tree transplanting scope of work.

Trees should be hand watered 4-5 times per week depending on the ground percolation and rainfall. After six to seven weeks, lift the tree using the proper sized equipment. Transport and transplant the tree directly to the transplant area as designated by the PM or LA, carrying it vertically when possible using nylon tree straps with heavily wrapped burlap around the boom. Lifting the trees with steel chains is not allowed and will be just cause to terminate the contract. Water in the transplanted trees to remove all potential air pockets, provide a 6" water ring around each tree, back fill with existing soil and peat moss, fertilize, re-brace and mulch. Again, check the irrigation system for breaks and repair. The existing irrigation system shall be kept in good daily working condition throughout this tree transplanting scope of work.

Holes created from the existing tree removals shall be filled in with a 50/50 topsoil / sand mixture and sod added to match existing sod. All surrounding damaged plant material shall be trimmed to remove all broken branches and disposed of daily off site and in a lawful manner.

Any relocated material that has been declared as dead, dying or badly damaged shall be removed within 48 hours from the time of notice from the PM. Fill in the hole, grade to existing topography and clean the surrounding area.

DPEP personnel shall remove all staking of trees twelve (12) months after final date of transplanting completion.

Contractor is responsible for acquiring and paying for all tree removal and relocation permits.

The contractor is responsible for locating all underground utilities 48 hours prior to the landscape contractor's work start date, and to schedule a review meeting to discuss the utility locations. Call Sunshine State One Call at 1-800-432-4770.

Submit tree removal and relocation plans and specifications to the permitting agency.

TREE TRIMMING / ROOT PRUNING SCOPE OF WORK

TRIMMING: Selectively trim the canopy removing dead limbs, cross branching over crowned areas, lower undesirable limbs and open up any unusually thick canopies. Tree crew must have at least one ISA Certified Arborist at the job site present at all times and supervising all non-certified tree trimmers. All trimming as per ISA and National Arborist Association ANSI-A300 pruning standards.

ROOT PRUNING: Water trees before the root pruning process. Root prune all canopy trees in which the root system may be effected by the new construction. Root prune to approximately 18" deep. This is to be done by hand with very sharp hand tools or a root pruning saw, depending on subsoil conditions. Back fill with existing soil and peat moss. Water in thoroughly and treat with mycorrhizae and a low nitrogen fertilizer. Fill in the holes and clean the surrounding areas daily. Barricade all existing trees as per Existing Tree Protection Detail this sheet. Create a 5-6" mulch water ring as per Tree/Palm Planting Detail this sheet.

The water ring shall be hand watered and completely filled 4 times per week for 6 weeks depending on the ground percolation and rainfall. After six weeks, water ring can be filled 2 times per week for the remaining length of the construction project.

Contractor is responsible for acquiring and paying for all tree permits.

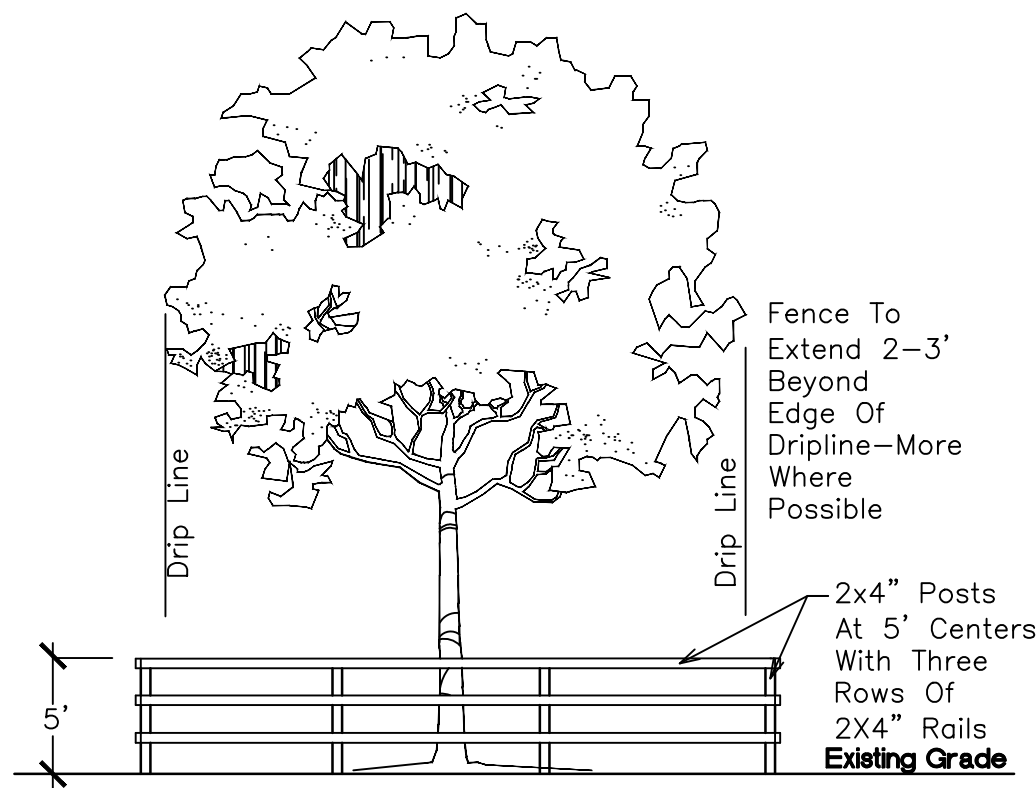
The contractor is responsible for locating all underground utilities prior to the landscape contractor's work start date. Call Sunshine State One Call at 1-800-432-4770.

Jeff Shimonski, Certified Arborist FL-1052AM
2455 Polk Street, Hollywood

EXISTING TREE LIST

Scientific name	Common name	DBH (In Inches)	H/Ct	Canopy	Condition	TPZ	Recommendation
1 Veitchia montgomeryana	Montgomery palm	5	5'	14'	Good	4'	To Remain
2 Bursera simaruba	Gumbo limbo	9	14'	28'	Good	8'	To Remain
3 Cocos nucifera	Coconut palm	11	25'	20'	Moderate	5'	To Be Relocated On Site
4 Cocos nucifera	Coconut palm	10	6'	24'	Good	5'	To Be Relocated On Site
5 Tabebuia heterophylla	Pink trumpet tree	14	22'	28'	Moderate	14'	To Remain
6 Quercus virginiana	Live oak	10	30'	35'	Moderate	12'	To Remain
7 Adonidia merrillii	Christmas palm	9	6'	14'	Good	4'	To Remain
8 Adonidia merrillii	Christmas palm	6	15'	14'	Moderate	4'	To Be Relocated On Site
9 Quercus virginiana	Live oak	21	40'	45'	Good	18'	To Be Removed
10 Bauhinia variegata	Hong Kong orchid	7	15'	10'	Poor	5'	To Be Removed
11 Mangifera indica	Mango	5	22'	28'	Good	6'	To Be Removed
12 Sabal palmetto	Sabal palm	12	4'	16'	Good	4'	To Be Relocated On Site
13 Melia azedarach	Chinaberry	17	30'	35'	Poor	15'	To Be Removed
14 Lagerstroemia indica	Crape myrtle	28	26'	38'	Moderate	15'	To Be Relocated On Site
15 Mangifera indica	Mango	6	24'	20'	Good	8'	To Be Removed
16 Tabebuia caraiba	Yellow trumpet tree	12	25'	25'	Good	10'	To Be Relocated On Site
17 Sabal palmetto	Sabal palm	14	18'	18'	Good	4'	To Be Relocated On Site
18 Bursera simaruba	Gumbo limbo	31	28'	40'	Good	22'	To Be Relocated On Site
19 Pouteria campechiana	Canistel	20	23'	35'	Poor	15'	To Be Removed
20 Persea americana	Avocado	19	35'	42'	Poor	18'	To Be Removed
21 Adonidia merrillii	Christmas palm	18	17'	22'	Good	4'	To Be Relocated On Site
22 Beaucarnea recurvata	Ponytail palm	30	23'	18'	Good	4'	To Be Relocated On Site
23 Tabebuia heterophylla	Pink trumpet tree	6	28'	15'	Moderate	8'	To Remain
24 Adonidia merrillii	Christmas palm	8	14'	14'	Good	4'	To Remain
25 Tabebuia heterophylla	Pink trumpet tree	15	25'	18'	Moderate	12'	To Remain
26 Schinus terebinthifolius	Brazilian pepper	NA	25'	30'	Invasive		To Be Removed

Caliper Inches Removed 95 / 2 = 47.5 x \$350 = \$16,625 OR 95% of Mitigation
Palms Removed 0

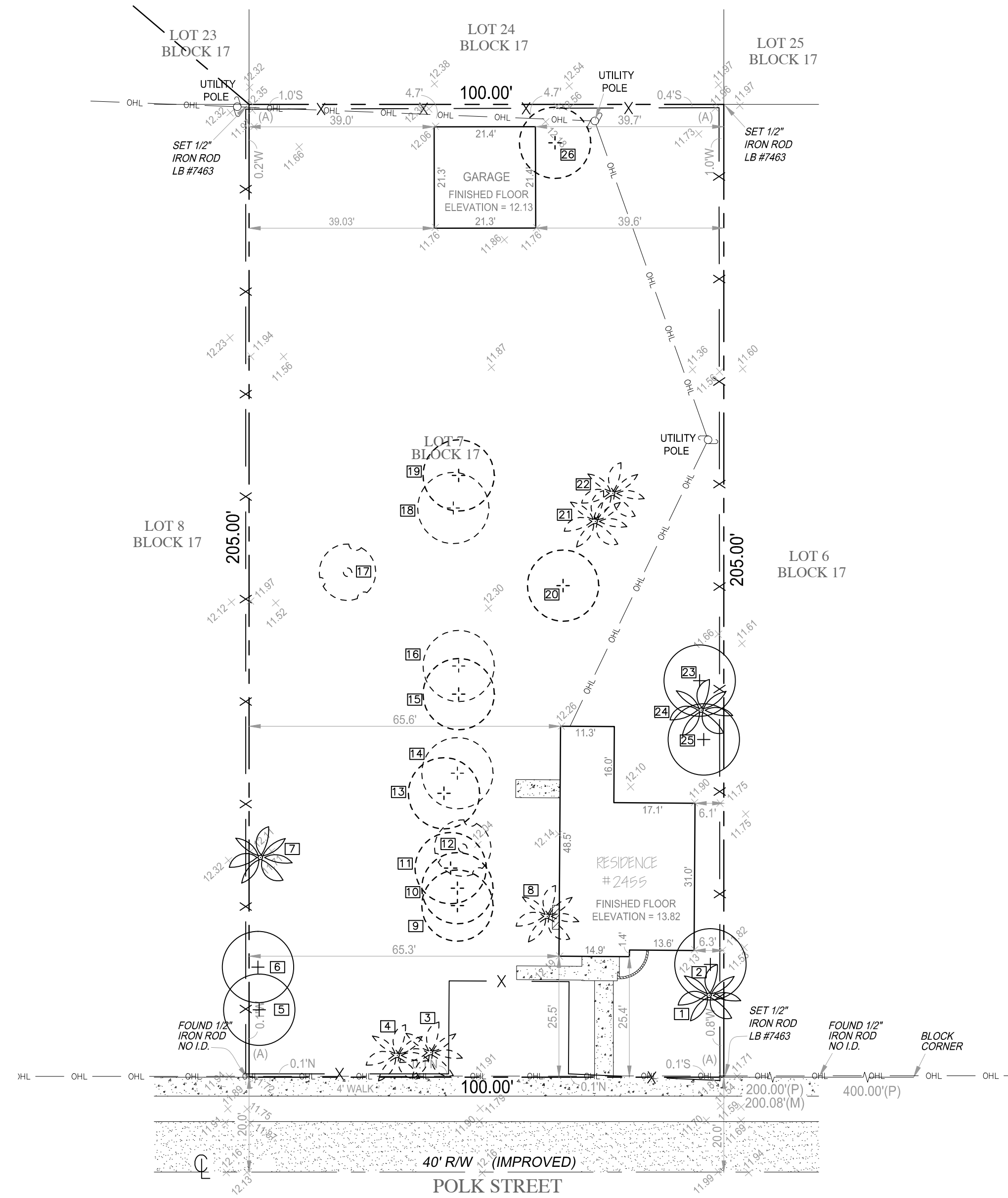


NOTE:
From The Start And Throughout The Duration Of The Project: Contractor To Install A Wood Fence Barrier To Form A Continuous Circle Around The Tree Or All Existing Trees To Remain.

Contractor Shall Take Extra Care During Earthwork And Utility Operations To Protect All Existing Trees And Shall Be Responsible To Replace Any Damaged Trees During Construction.

EXISTING TREE PROTECTION DETAIL

NTS



THOMAS WHITE, ASLA—ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
2800 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
tcwhite@bellsouth.net
954-253-2265

REVISIONS

8-24-2020: Per City Comments

Tree Survey
DDT 190, LLC
2455 Polk Street
Hollywood, Florida 33020



DRAWN: TW
CHECKED: TW
DATE: 3-25-2020
SCALE: 1"=20'

GENERAL PLANTING REQUIREMENTS

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. For City of Fort Lauderdale Utilities call 1-954-828-8000. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flare are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

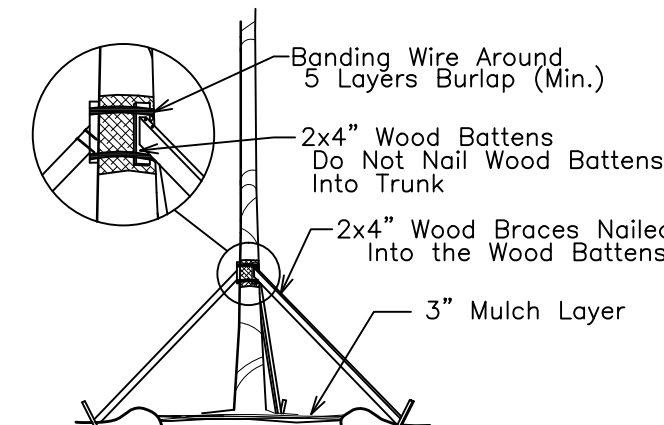
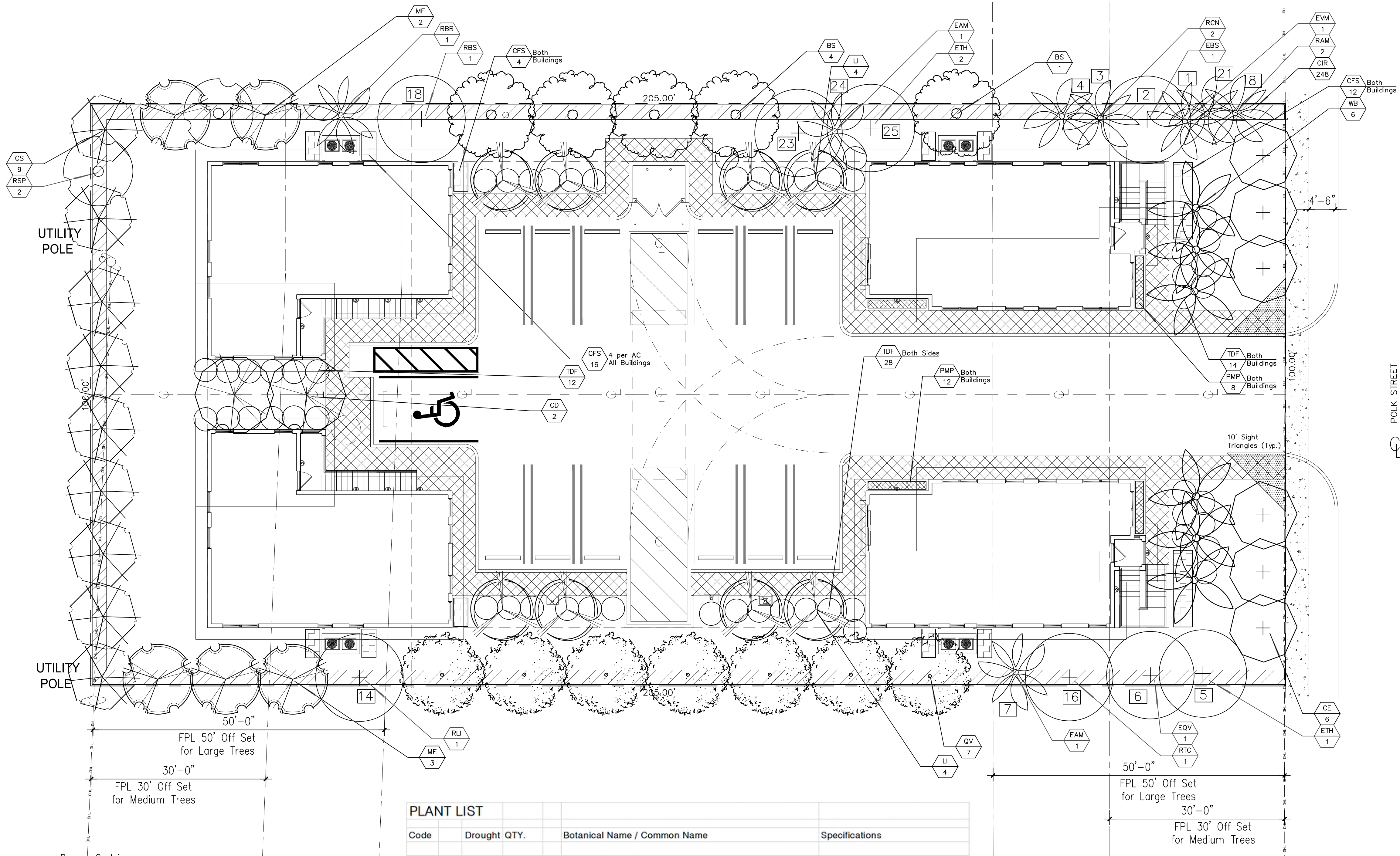
All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3' away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4' diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

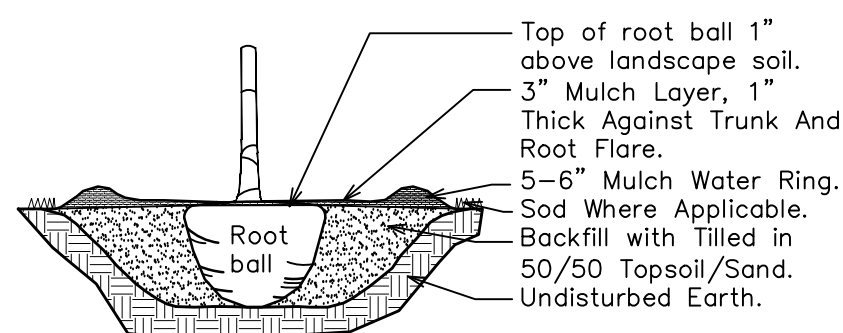
Please refer to the planting details for a graphic representation of the above notes.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days after final acceptance by the owner or owner's representative.



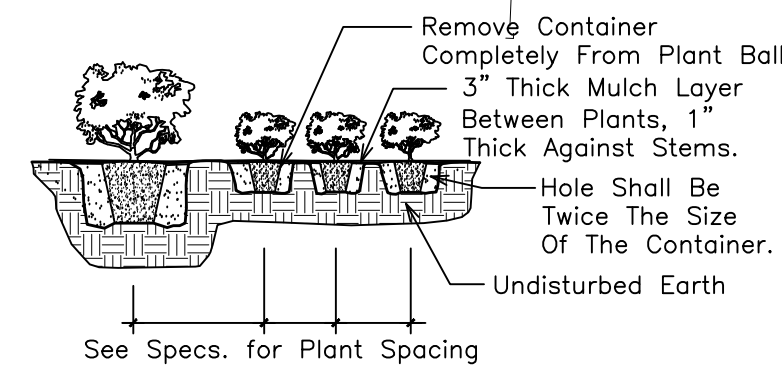
TREE/PALM BRACING DETAIL

NTS



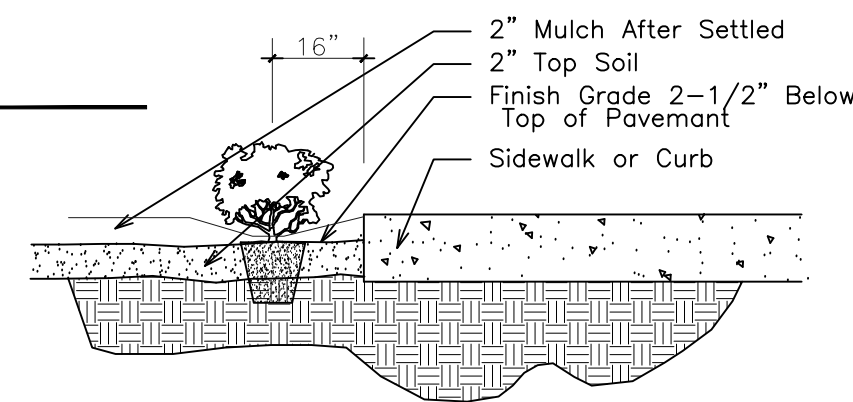
TREE/PALM PLANTING DETAIL

NTS



SHRUB PLANTING DETAIL

NTS



SHRUB INSTALLATION DETAIL

NTS

MITIGATION TREE/PALM LIST

Code	Drought	QTY.	Botanical Name / Common Name	Caliper	Total		
BS	(N)	V	5	Bursera simarubra / Gumbo Limbo	16-18x7-8, 4" Cal. DBH	4	20
CD	(N)	V	2	Coccoloba diversifolia / Pigeon Plum	12x5-6, 2" Cal. DBH	2	4
CE	(N)	V	2	Conocarpus erectus sericeus / Silver Buttonwood	12x5-6, 2" Cal. DBH, Sng. Trunk	2	4
CS	(N)	V	5	Cordia sebestena / Orange Geiger	12x5-6, 2" Cal. DBH, Sng. Trunk	2	10
LI	(N)	V	8	Lagerstroemia indica / Crape Myrtle	14x6-7, 3" Cal. DBH	3	24
MF	(N)	V	4	Myrcianthes fragrans / Simpson Stopper	12x5-6, 2" Cal. DBH	2	8
QV	(N)	V	7	Quercus virginiana / Live Oak	16-18x7-8, 4" Cal. DBH	4	28
WB	(N)	V	6	Wodyetia bifurcata / Foxtail Palm	14' CT	2	Palms
			35	Total Mitigation Trees (WB Counted 3:1)			98
			25	Native Trees			95
			71%	Native Trees			

PLANT LIST

Code	Drought	QTY.	Botanical Name / Common Name	Specifications	
NON CODE QUALIFYING EXISTING & RELOCATED PALMS					
EAM	V	2	#7 & 24-Adonia merillii / Christmas Palm	2 Palms	
EVM	V	1	#1-Veitchia montgomeryana / Montgomery Palm	1 Palm	
RAM	V	2	#8 & 21-Adonia merillii / Christmas Palm	2 Palms	
RBR	V	1	#22-Beaucarnea recurvata / Ponytail Palm, Relocated On-Site	1 Palm	
		6	Palms		
CODE QUALIFYING EXISTING & RELOCATED PALMS					
RCN	V	2	#3 & 4-Cocos nucifera / Coconut Palm	2 Palms	
RSP	(N)	V	2	#12&17-Sabal palmetto / Cabbage Palm, Relocated On-Site	2 Palms
		1	Palm (Counted 3:1)		
EXISTING & RELOCATED TREES					
EBS	(N)	V	1	#2-Bursera simarubra / Gumbo Limbo	9" DBH
EQV	(N)	V	1	#6-Quercus virginiana / Live Oak	10" DBH
ETH	V	3	#5 & 23 & 25-Tabebuia heterophylla / Pink Trumpet Tree	35" Total DBH	
RBS	(N)	V	1	#18-Bursera simarubra / Gumbo Limbo, Relocated On-Site	31" DBH
RLI	V	1	#14-Lagerstroemia indica / Crape Myrtle	28" DBH	
RTC	V	1	#16-Tabebuia caraiba / Yellow Trumpet Tree	12" DBH	
		8	Total Trees		
		3	Native Trees		
		38%	Native Trees		
PROPOSED TREES/PALMS					
CE	(N)	V	4	Conocarpus erectus sericeus / Silver Buttonwood (Street Trees)	12x5-6, 2" Cal. DBH, Sng. Trunk
CS	(N)	V	4	Cordia sebestena / Orange Geiger	12x5-6, 2" Cal. DBH, Sng. Trunk
MF	(N)	V	1	Myrcianthes fragrans / Simpson Stopper	12x5-6, 2" Cal. DBH
		18	Total Site Trees		
		12	Native Trees		
		65%	Native Trees		
ACCENTS / SHRUBS / GROUND COVERS					
CIR	(N)	V	248	Chrysobalanus icaco 'Red Tip' / Coccoloba	24"x24", 24" OC
CPS	(N)	V	32	Clusia flava / Small Leaf Clusia	36"x24", 30" OC
PMP	V	20	Podocarpus macrophyllus / Podocarpus	24"x24", 24" OC	
TDF	(N)	V	54	Tripsacum dactyloides / Fakahatchee Grass	36"x24", 42-48" OC
		354	Total Shrubs		
		334	Native Shrubs		
		94%	Native Shrubs		
SOD					
Sod	M		By GC: S.F. Stenochaprum secundatum / St. Augustine 'Palmetto'	Solid application - no gaps between seams	

CITY OF HOLLYWOOD PLANTING CALCULATIONS

LANDSCAPE QUANTITY REQUIREMENTS	Required	Provided
Buffer Tree Requirement: One Tree per every 1,000 square feet of pervious area 8,945 Square Feet of Pervious (Net Lot) Area.	9	9
Parking: One Tree per 190 S.F. of Terminal Islands	5	5
Street Trees: One Per 30' of Street Frontage 100 Feet of Polk Street	Required 4	Provided 4
Total Trees:	18	18
Interior Landscape: 5,740 25% of the Total S.F. of the Paved VUA Shall be Landscape.	Required 1,435	Provided 13,198

CITY OF HOLLYWOOD

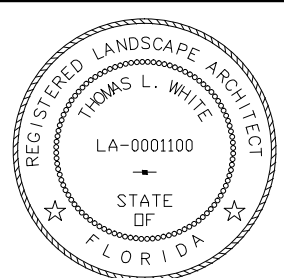
SITE PLAN INFORMATION			
Property Use: Commerce		Property Zoning: MC-1	
Gross Site Area:	20,500.0 Sq. Feet	=	0.47 Acres
Building Area:	4,968.0 Sq. Feet	=	24.23%
Dumpster:	719.2 Sq. Feet	=	3.51%
Walks/Patios:	128.4 Sq. Feet	=	0.63%
Drives/Apron:	5,739.6 Sq. Feet	=	28.00%
Total Impervious Areas:	11,555.2 Sq. Feet	=	56.37%
Landscape Area:	8,944.8 Sq. Feet	=	43.63%
Total Pervious Areas:	8,944.8 Sq. Feet	=	

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
FORT LAUDERDALE, FLORIDA 33306
tcawhite@bellisouth.net
954-253-2265

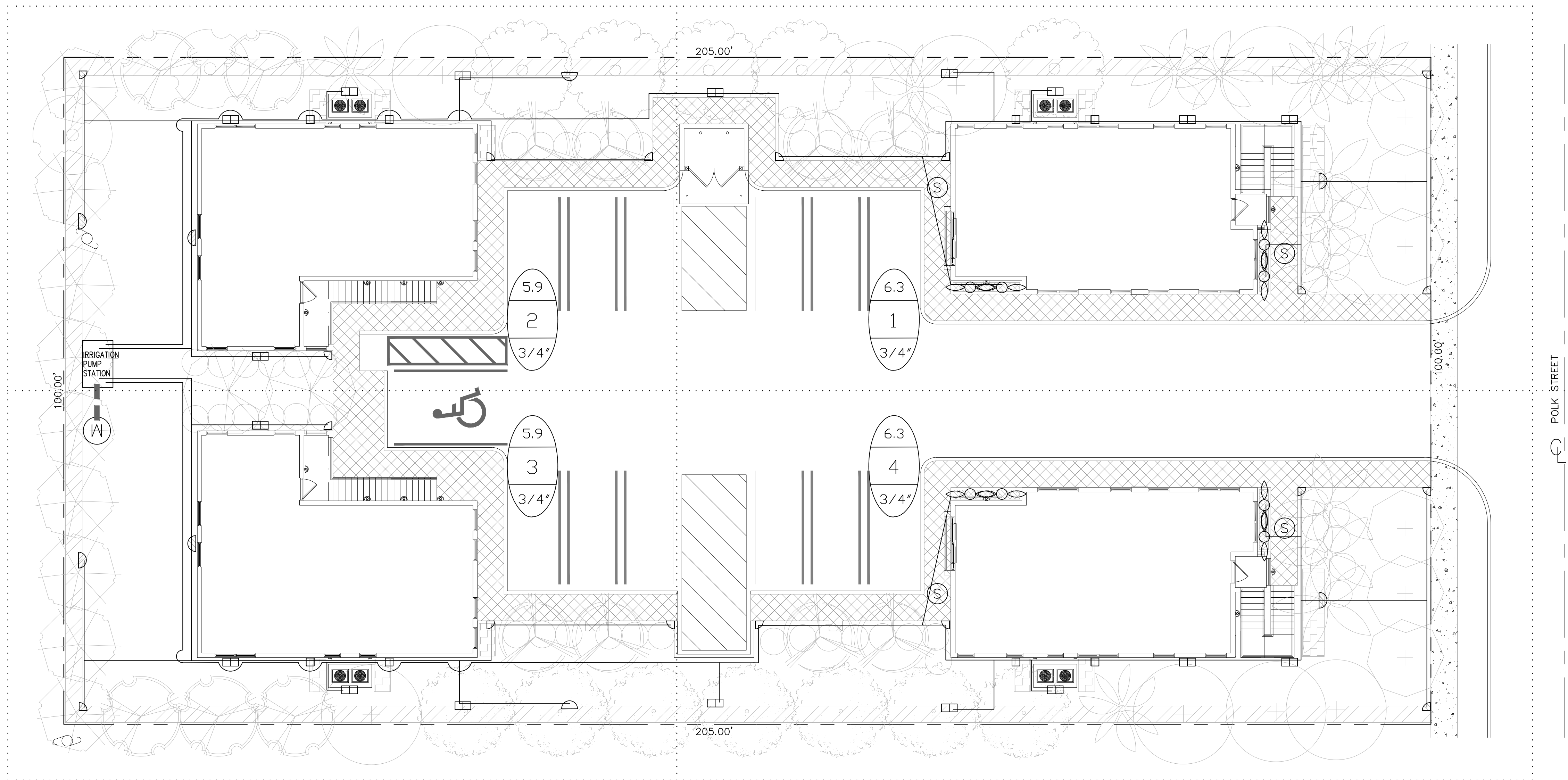
REVISIONS

Rev.	Date	Description
1	7-27-2020	Revised Site Plan
2	8-3-2020	Continuous Walkway Added
3	8-20-2020	Per Comments

Landscape Permit Plan
DDT 190, LLC
2455 Polk Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
3-25-2020
SCALE: 1"=10'

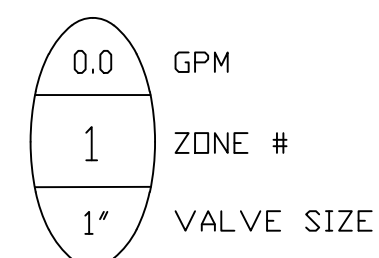


IRRIGATION LEGEND:

- 1" MAIN LINE
- LATERAL ZONE LINES.
- ZONE BOUNDARIES
- PUMP STATION - Size and Details by Others.
- ☑ CONTROLLER - Hunter ICC Series Electric 4 station controller mounted inside the Pump Station.
- △ Mini Klik automatic rain sensor shutoff switch mounted outside near Pump Station.
- ⊙ ZONE VALVES - Fimco 4 Station Indexing Valve.
- Ⓜ PROPOSED WELL LOCATION
- Ⓢ SLEEVES - Sch. 40, 2 Sizes Larger. NOTE - Pipe Size Shown is the Lateral Size, NOT the Sleeve Size
- 6" POP-UP SPRAY - Hunter MP Rotator Series; Nozzles as Required. NOTE - All of the below may not be used

	13-21' Series	8-15' Series	6-12' Series
90 Q	⊙	⊙	⊙
120 T	⊙	⊙	⊙
180 H	⊙	⊙	⊙
240 TT	⊙	⊙	⊙
270 TQ	⊙	⊙	⊙
360 F	⊙	⊙	⊙

⊙ 6" POP-UP STREAM BUBBLER - Hunter 5-CST-B 5'R.



IRRIGATION NOTES:

Piping:
 Main Lines: PVC SCH 40 Solvent Weld.
 Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used.
 Min. pipe is 3/4 in. All end of the line unmarked pipe = 3/4 in. (min.)
 Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
 Sleeving under pavement = 24 in. depth, min.
 Suction Line = 24 in. depth, nominal.
 Zone Lines 1-1/2 in. and smaller = 10 in. depth, min.

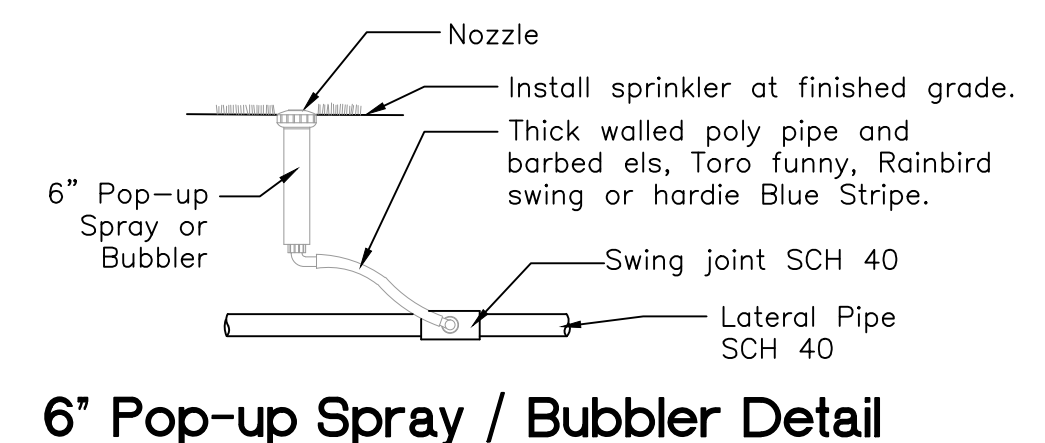
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
 Solid copper type UF UL listed for direct burial.
 Run wires under main.
 Run spares, two min.
 Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
 Common shall be white, hot shall be red or color coded.
 Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit.

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractor's responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractor's responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.

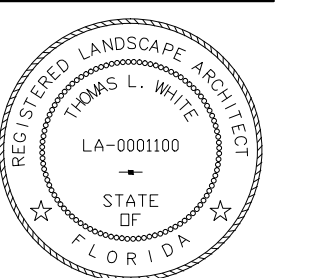


6" Pop-up Spray / Bubbler Detail

NTS

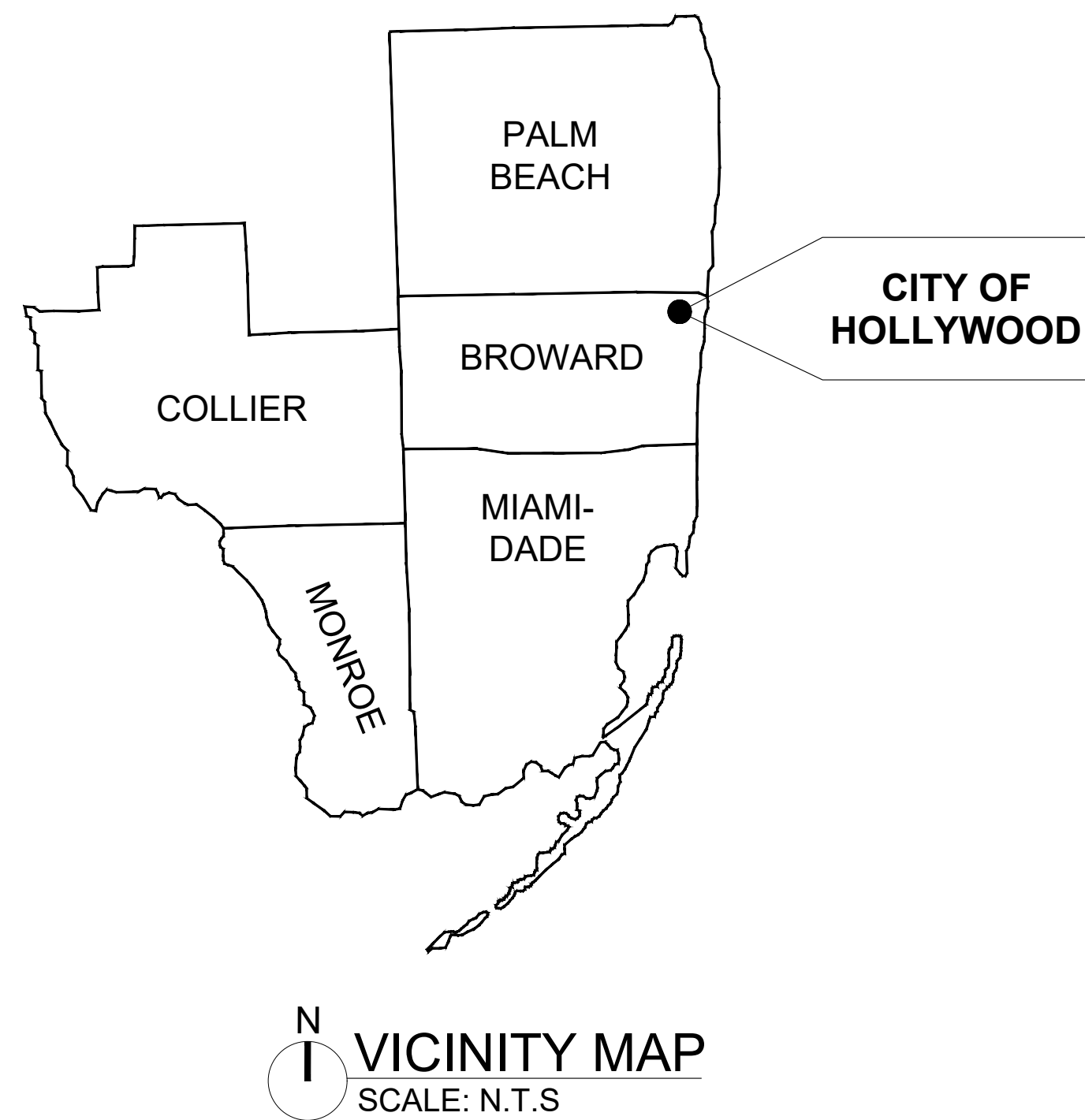
REVISIONS

NO.	DESCRIPTION



DTD 190

2455 POLK ST, HOLLYWOOD, FL 33020



LEGEND AND ABBREVIATIONS:

- ASPH ASPHALT
- BM BENCH MARK
- BRK BRICK
- C&G CURB & GUTTER
- CBS CONCRETE BLOCK STRUCTURE
- CBSW CONCRETE BLOCK STRUCTURE WALL
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- EOP EDGE OF PAVEMENT
- EOW EDGE OF WATER
- FDOT FLORIDA DEPARTMENT OF TRANSPORTATION
- FND FOUND
- GRD GROUND
- IF IRON FENCE
- INV INVERT
- IP IRON PIPE
- MF METAL FENCE
- N NAIL
- ND NAIL & DISC
- NGVD NATIONAL GEODETIC VERTICAL DATUM
- NTS NOT TO SCALE
- O.R.B. OFFICIAL RECORD BOOK
- OH OVERHEAD
- PB PLAT BOOK
- PDS TBM PDS TEMPORARY BENCH MARK
- PDS PREMIERE DESIGN SOLUTIONS
- PG PAGE
- PKND PK NAIL & DISC
- PRB POLLUTION RETARDANT BAFFLE
- R/W RIGHT OF WAY
- SEC SECTION
- STA STATION
- SWK SIDEWALK
- TBM TEMPORARY BENCH MARK
- TOB TOP OF BANK
- TWN TOWNSHIP
- UE UTILITY EASEMENT
- WF WOOD FENCE
- UE UTILITY EASEMENT

- BOXES:**
- COMMUNICATION UTILITY BOX
 - ELECTRIC UTILITY BOX
 - FIBER OPTIC UTILITY BOX
 - TRAFFIC SIGNAL BOX
 - TRAFFIC SIGNAL CONTROL BOX
 - WATER METER
- MANHOLES:**
- BELLSOUTH MANHOLE
 - CATCH BASIN
 - SANITARY SEWER MANHOLE
 - STORM MANHOLE

- VALVES:**
- GAS VALVE
 - WATER VALVE
- POLES:**
- METAL TRAFFIC SIGNAL POLE
 - WOOD LIGHT POLE
 - WOOD POWER POLE
 - PEDESTRIAN SIGNAL POLE
- OTHER UTILITIES:**
- ANCHOR
 - DETECTABLE SIDEWALK WARNING
 - FIRE HYDRANT
 - POINT ELEVATION
 - TEMPORARY BENCH MARK (TBM)
 - TRAFFIC SIGN
 - TREE
 - TREE PALM
 - CENTER LINE - BASE LINE
 - CHAIN LINK FENCE
 - CURB
 - EOP (EDGE OF PAVEMENT LINE)
 - L/L (LOT LINE)
 - OVERHEAD ELECTRIC LINE
 - ELECTRIC UTILITY LINE
 - SANITARY SEWER LINE
 - STORM DRAINAGE LINE
 - FIBER OPTIC LINE
 - WATER MAIN LINE
 - COMMUNICATION LINE
 - R/W (RIGHT OF WAY LINE)
 - UE (UTILITY EASEMENT LINE)

NOTE:
SYMBOLS SHOWN IN SURVEY DRAWINGS ARE NOT TO SCALE AND SHALL NOT BE USED TO SIZE SUCH ELEMENTS

DRAWINGS LIST

- G-100 COVER SHEET
- G-101 GENERAL NOTES, PAVEMENT MARKING AND SIGN NOTES, WATER AND SEWER NOTES PAVING & GRADING NOTES
- G-102 PAVING & GRADING NOTES
- G-103 STORM WATER POLLUTION PREVENTION PLAN NOTES
- C-100 KEY PLAN
- C-200 PAVING & GRADING PLAN
- C-201 DRAINAGE PLAN
- C-202 PAVEMENT MARKING AND SIGNS PLAN
- C-203 WATER MAIN AND SEWER PLAN
- C-204 SEWER PLAN
- C-205 SEWER PLAN
- C-206 SEWER PLAN
- C-500 DRAINAGE DETAILS
- C-501 PAVING AND DRAINAGE DETAILS
- C-502 PAVING DETAILS
- C-503 SWPPP DETAILS
- C-504 SWPPP DETAILS
- C-505 GENERAL WATER AND SEWER DETAILS
- C-506 GENERAL WATER AND SEWER DETAILS
- C-507 SANITARY SEWER DETAILS
- C-508 SANITARY SEWER DETAILS
- C-509 WATER SYSTEM DETAILS
- C-510 WATER SYSTEM DETAILS

SCOPE OF WORK

SET OF CIVIL DRAWINGS INCLUDING PAVING & GRADING, DRAINAGE, PAVEMENT MARKING & SIGNS, SWPPP AND WATER & SEWER CONNECTION PLANS AND PROFILE FOR PROPERTY LOCATED AT 2455 POLK ST, HOLLYWOOD, FL.

LEGAL DESCRIPTION

LOT 7, IN BLOCK 17, OF HOLLYWOOD LITTLE RANCHES, BEING A SUBDIVISION OF ALL OF SECTION 16, TOWNSHIP 51 SOUTH, RANGE 42 EAST, AND BLOCK 96 OF THE ORIGINAL PLAT OF HOLLYWOOD, ACCORDING TO THE AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, AS RECORDED IN PLAT BOOK 1, PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



782 NW 42ND AVENUE UNIT 605
NORTH TOWER, MIAMI, FL 33126
MAIN NUMBER 786-536-1536

CA # 29447

JOSE A. COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020

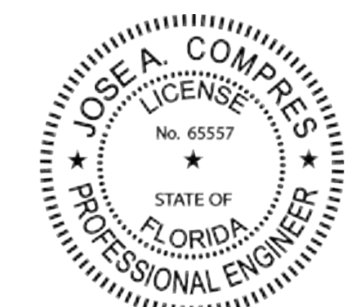
CLIENT/OWNER NAME:
DTD 190, LLC

REVISIONS	DATE

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CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:
COVER SHEET

DRAWING NO.
G-100
Sheet No.
1 OF 23



PAVING AND GRADING NOTES

GENERAL CONDITIONS

THIS PLAN IS NOT A SURVEY AND SHALL NOT BE USED FOR PLATTING, REPLANTING, OR ESTABLISHMENT OF LEGAL BOUNDARIES.

THIS PLAN IS A GRAPHICAL REPRESENTATION AND IS SUBJECT TO DISTORTION UPON PRINTING, COPYING, AND REPRODUCTION. THEREFORE, DISTANCES SHOULD NOT BE SCALED OFF THIS PLAN. WHEN PROVIDED, DIMENSIONS AND LABELS OFFER A MORE ACCURATE REPRESENTATION OF SIZE AND DISTANCE.

FOR EXACT LOCATIONS, DIMENSIONS, ELEVATIONS AND ESTABLISHED OF LEGAL PROPERTY BOUNDARIES, A SURVEYOR REGISTERED IN THE STATE OF FLORIDA MUST BE CONSULTED.

THE ENGINEER OF RECORD SHALL BE NOTIFIED, IMMEDIATELY, IF ADDITIONAL ITEMS ARE LOCATED WHICH NOT APPEAR ON THIS PLAN. ALSO, THE ENGINEER OF RECORD SHALL BE NOTIFIED, IMMEDIATELY, IF ITEMS SHOWN ON THIS PLAN ARE FOUND TO BE OF A DIFFERENT SIZE OR IN A DIFFERENT LOCATION IN THE FIELD.

THE LOCATION OF THE EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION DURING CONSTRUCTION. RELOCATION OF UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANIES AFTER IDENTIFICATION OF CONFLICT. THE CONTRACTOR WILL NOTIFY ENGINEER IN ADVANCE BEFORE ANY RELOCATION.

CONTRACTOR SHALL READ AND FOLLOW ANY LOCAL SPECIFICATIONS PRIOR TO STARTING THE WORK.

CIVIL DESIGN CRITERIA

CODES USED:

COMPONENTS FOR THIS PROJECT HAVE BEEN DESIGNED IN COMPLIANCE WITH S.F.W.M.D.C. (LATEST EDITION) STANDARDS.

DRAINAGE DESIGN CRITERIA

- | | |
|-------------------------------|-----------------------------------|
| 1. DESIGN STORM | = 5 YEARS FREQUENCY |
| 2. TIME OF CONCENTRATION | = 10 MIN |
| 3. INTENSITY (I) | = 6.2 IN/HR |
| 4. RUNOFF COEFFICIENT (C) | = 0.90 IMPERVIOUS |
| 5. RUNOFF COEFFICIENT (C) | = 0.30 PERVIOUS |
| 6. HYDRAULIC CONDUCTIVITY (K) | = 0.00015 CFS/FT ² /FT |

CONSTRUCTION SEQUENCE NOTES

CLEAR, REMOVE, AND PROPERLY DISPOSE OF ITEMS AS INDICATED IN THE PLANS.

INSTALL AND CONSTRUCT IMPROVEMENTS AS INDICATED IN THE PLANS.

PERMANENTLY STABILIZE DISTURBED AREAS AS INDICATED IN THE PLANS UPON COMPLETION OF CONSTRUCTION ACTIVITY.

APPLICABLE CODES

WHERE A CONFLICT EXISTS BETWEEN THESE GENERAL SPECIFICATIONS AND THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS SHALL GOVERN.

ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD88), UNLESS OTHERWISE NOTED.

PROJECT CLOSE-OUT

CLEANING UP:

DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.

THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

PROJECT RECORD DOCUMENTS.

DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.

UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD (EOR) ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS.

ALL AS-BUILT INFORMATION SHALL BE CERTIFIED BY A FLORIDA REGISTERED LAND SURVEYOR.

EARTHWORK AND SITE PREPARATION

ALL UNSUITABLE MATERIAL SHALL BE REMOVED UNDER ALL NEW DRAINAGE AND UTILITY LINES UNDER ALL NEW EXFILTRATION TRENCH, AND UNDER ALL NEW DRAINAGE AND UTILITY STRUCTURES.

STRUCTURAL FILL SHOULD CONSIST OF IGNORING, NON-PLASTIC, GRANULAR SOILS CONTAINING LESS THAN 10 PERCENT MATERIAL PASSING THE #200 SIEVE (GP, GW, SP, SW, GW-GM, GP-GM, SW-SM OR SP-SM OR A CRUSHED LIME ROCK WITH A 3" MAX. PARTICLE SIZE) BACK FILL MATERIAL PLACED IN LIFTS NOT EXCEED TWELVE (12) INCHES IN THICKNESS, AND COMPACTED TO A MINIMUM DENSITY OF 98% MODIFIED PROCTOR TEST.

ANY DEEP EXCAVATIONS OR TRENCHES REQUIRED FOR THIS PROJECT SHOULD BE ADEQUATELY SHORED TO PREVENT SANDY ON-SITE SOILS FROM COLLAPSING INTO THE EXCAVATIONS. ALL APPLICABLE OSHA STANDARDS AND REGULATIONS SHOULD BE ADHERED TO FOR THE SAFETY OF PROJECT CONSTRUCTION PERSONNEL. CONTRACTOR MUST ADHERE TO REQUIREMENTS OF FLORIDA TRENCH SAFETY ACT.

GRADING NOTES

UPON DISCOVERY OF A CONFLICT BETWEEN ELEVATIONS OR WHEN A SPECIFIED ELEVATION IS IN DOUBT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE PROPOSED WORK DESCRIBED IN THE PLANS.

INSPECTIONS

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:

- EARTHWORK
- STORM DRAINAGE SYSTEM
- CONCRETE

DURING CONSTRUCTION, EOR WILL INSPECT THE FOLLOWING:

- INSTALLATION OF ALL UNDERGROUND DRAINAGE FACILITIES BEFORE BACKFILLING.
- BACKFILLING OF MAIN TRENCHES.

UTILITIES

FLORIDA POWER AND LIGHT:

CONTRACTOR SHALL USE EXTREME CAUTION WORKING UNDER, OVER AND AROUND EXISTING OVERHEAD AND/OR UNDERGROUND ELECTRIC LINES.

CONTRACTOR SHALL INFORM TO THE ENGINEER OF RECORD PRIOR TO CROSSING ANY UNDERGROUND OR OVERHEAD ELECTRIC LINES TO VERIFY VOLTAGE AND LOCATION OF EXISTING LINES.

FUEL LINES (IF APPLICABLE):

CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF EXISTING FUEL LINES. CONTRACTOR IS TO CONFIRM FUEL LINES DEPTHS ARE SUFFICIENT PRIOR TO OPERATING HEAVY MACHINERY OVER TOP.

PRE-CONSTRUCTION RESPONSIBILITIES

UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL ARRANGE A PRE CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

THE CONTRACTOR SHALL OBTAIN A SUNSHINE (ONE CALL) CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.

CONTRACTOR SHALL USE EXTREME CAUTION WORKING UNDER, OVER AND AROUND EXISTING OVERHEAD AND/OR UNDERGROUND LINES PARTICULARLY ELECTRIC AND FUEL LINES.

TEMPORARY FACILITIES

TEMPORARY FACILITIES:

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.

TRAFFIC REGULATIONS:

ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF SEAPORT CONSTRUCTION DIVISION, AND BROWARD COUNTY.

STORM DRAINAGE

GENERAL:

CATCH BASIN AND RIM ELEVATIONS AS SHOWN ON PLANS MAY BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.

DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.

INSTALLATIONS:

PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.

BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE.

CONTRACTOR TO FOLLOW BCPS 02200, 02220, 02280 SPECIFICATIONS FOR EARTH WORK AND STORM DRAINAGE INSTALLATION.

CONTRACTOR NOTES

MONITOR QUALITY CONTROL SUPPLIERS, MANUFACTURERS, PRODUCTS, SERVICES, SITE CONDITIONS, AND WORKMANSHIP, IN ORDER TO PRODUCE THE SPECIFIED QUALITY OF WORK.

COMPLY WITH MANUFACTURERS' INSTALLATION INSTRUCTIONS AND SEQUENCE. ANY CONFLICT WITH INSTRUCTIONS AND CONTRACT DOCUMENTS NOTIFY THE OWNER AND ENGINEER.

IF MANUFACTURERS' INSTRUCTIONS CONFLICT WITH CONTRACT DOCUMENTS, REQUEST CLARIFICATION FROM OWNER BEFORE PROCEEDING.

COMPLY WITH SPECIFIED STANDARDS AS MINIMUM REQUIREMENTS FOR THE WORK EXCEPT WHEN MORE STRINGENT TOLERANCES, CODES, OR SPECIFIED REQUIREMENTS INDICATE HIGHER STANDARDS OR MORE PRECISE WORKMANSHIP.

ENSURE WORK IS PERFORMED BY PERSONS WHO ARE QUALIFIED TO PRODUCE THE SPECIFIED LEVEL OF WORKMANSHIP.

COMPLETELY REMOVE TEMPORARY MATERIALS AND/OR EQUIPMENT WHEN THEY ARE NO LONGER REQUIRED.



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CONEMCO CONSULTANTS

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2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

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SHEET NAME:

SURVEY NOTES
AND
PAVING & GRADING NOTES

DRAWING NO.
G-102

Sheet No.
3 OF 23



JOSE A COMPRES, P.E.
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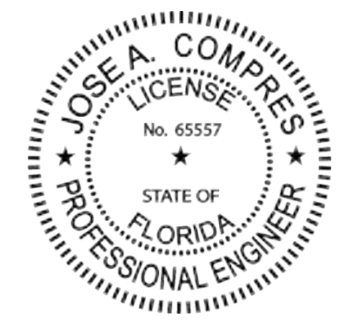
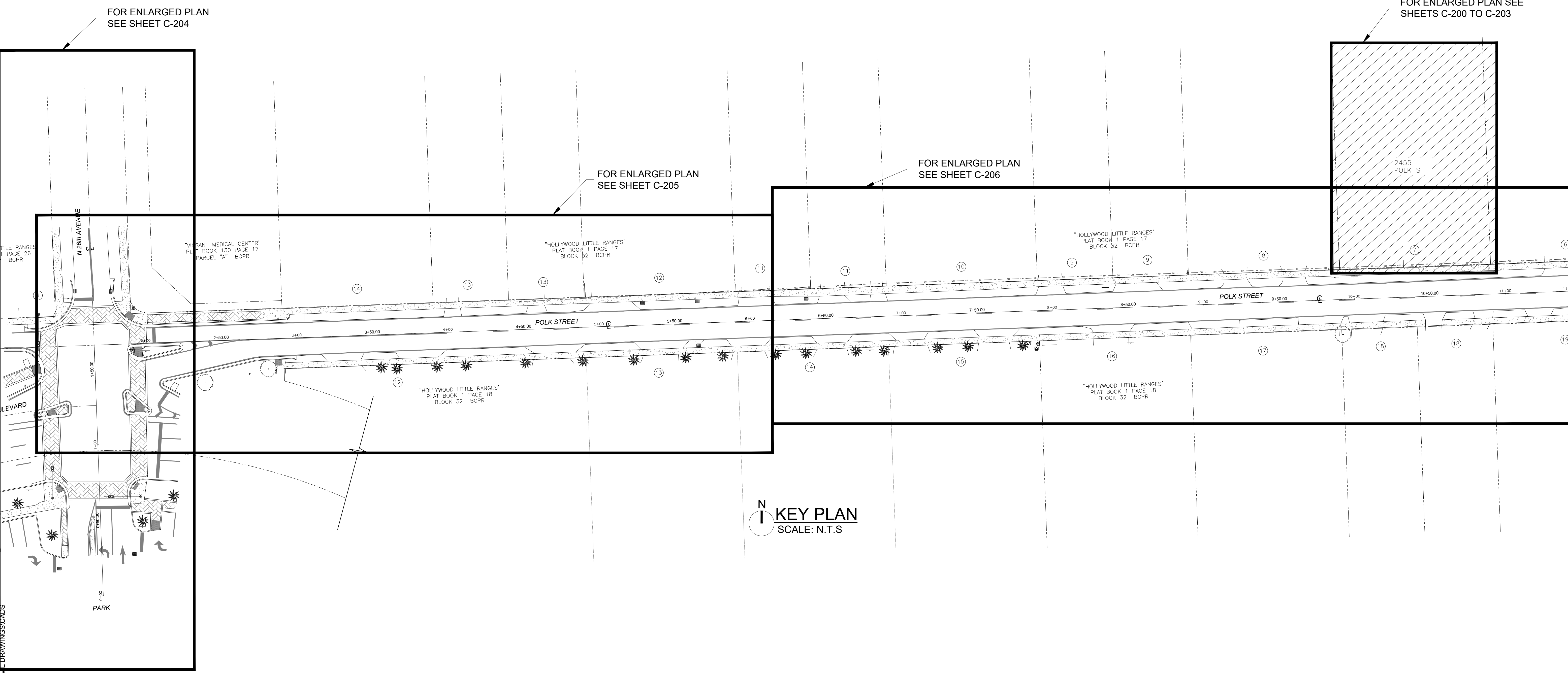
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SHEET NAME:

KEY PLAN

DRAWING NO.
C-100

Sheet No.
5 OF 23



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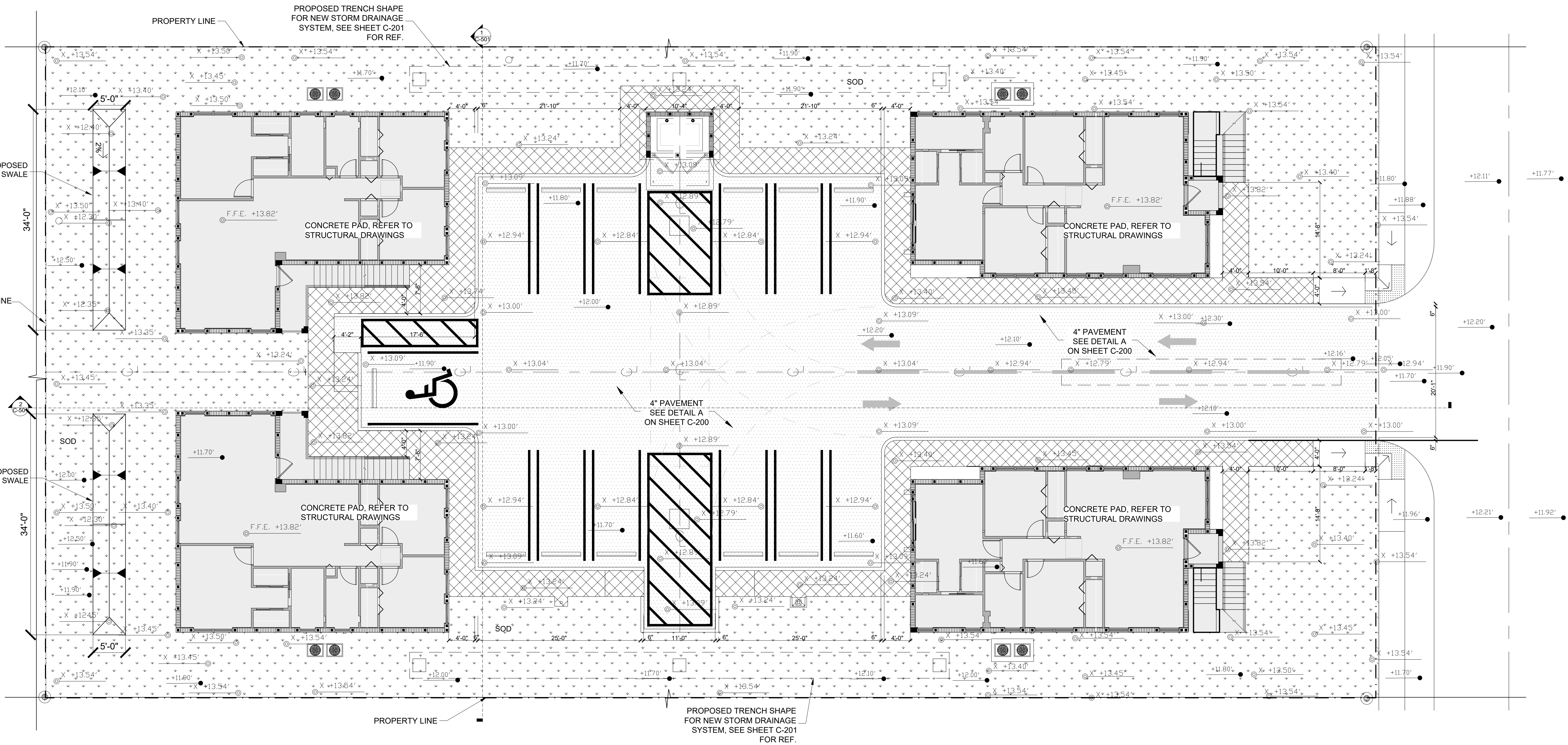
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SHEET NAME:
PAVING AND GRADING PLAN

DRAWING NO.
C-200

Sheet No.
6 OF 23



SITE PLAN
SCALE: 1/8" = 1'-0"

PLAN NOTES

- ALL ELEVATIONS SHOWN ARE IN NAVD.

DESIGN CRITERIA

1. DESIGN STORM FREQUENCY	= 5 YEARS
2. TIME OF CONCENTRATION	= 10 MIN
3. INTENSITY (I)	= 7.2 IN/HR
4. RUNOFF COEFFICIENT (C)	= 0.9 IMPERVIOUS
5. RUNOFF COEFFICIENT (C)	= 0.30 PERVIOUS
6. HYDRAULIC CONDUCTIVITY (K)	= 0.000225 CFS/FT ² /FT
7. TOTAL DRAINAGE VOLUME	= 3.21 ACRE-IN

TRENCH NOTES

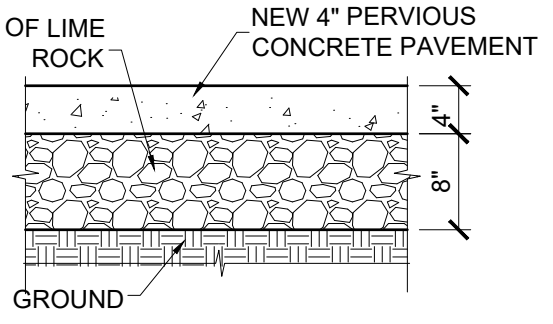
- WHERE SOIL CONDITION CANNOT BE MAINTAINED AS SHOWN, PROVIDE APPROVED MEANS OF CONSTRUCTION.
- MUCK OR OTHER UNSUITABLE MATERIAL SHALL BE COMPLETELY REMOVED.
- WHEN THE PIPE IS LAID IN THE PREPARED TRENCH, TRUE TO LINE AND GRADE, THE PIPE BARREL SHALL RECEIVE CONTINUOUS UNIFORM SUPPORT. WHERE NECESSARY, COURSE SAND, PEA ROCK OR 3/4" LIMESTONE GRAVEL SHALL BE USED TO PROVIDE UNIFORM BEDDING.
- JOINTS MAY BE REQUIRED TO BE WRAPPED AT THE DISCRETION OF THE DISTRICT AND THE SITE CONDITIONS.
- BACKFILL MATERIAL SHALL BE NON-COHESIVE AND NON-PLASTIC SOIL THAT IS FREE OF ALL DEBRIS, LUMPS, WOOD BROKEN PAVING OR ANY ORGANIC OR UNSUITABLE MATERIAL. BACKFILL MATERIAL PLACED WITHIN 12" OF THE PIPE SHALL CONTAIN NO ROCKS OR STONES LARGER THAN 3-1/2" IN DIAMETER. NO ROCKS OR STONES LARGER THAN 6" IN DIAMETER WILL BE PERMITTED IN THE REMAINING BACKFILL UNLESS OTHERWISE SPECIFIED.
- TRENCH BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY AASHTO T-180. BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE TO THE STANDARD ENGINEERING DESIGN REQUIRED BY THE LOCAL GOVERNMENTAL AGENCY.

LEGEND

- RIGHT OF WAY
- EXAMPLE OF PROPOSED ELEVATIONS: X -9.63'
- EXAMPLE OF EXISTING ELEVATIONS: +8.4'
- PROP SINGLE SIGN
- NEW CATCH BASIN
- NEW PERVIOUS CONCRETE
- NEW ROOF DRAINAGE
- CONCRETE COLUMN
- PROP 4" WHITE STRIPE
- HANDICAP PARKING LOT SIGN

PAVEMENT MARKING AND SIGNAGE NOTES

- ALL PAVEMENT MARKINGS SHALL BE PAINT INITIALLY TO ALLOW FOR ASPHALT CURING PERIOD.
- THE CONTRACTOR SHALL REMOVE ANY EXISTING ROADWAY PAVEMENT MARKINGS THAT CONFLICT WITH THE FINAL DRAWINGS BY APPROPRIATE METHOD AS SPECIFIED BY THE REGULATORY AGENCIES MAINTAINING JURISDICTION.
- INCORRECTLY PLACED PAINT OVER ASPHALT PAVEMENT SHALL BE REMOVED BY MILLING AND REPLACED BY FINAL COURSE WITH A MINIMUM AREA OF 20' X 20' AT CONTRACTOR'S EXPENSE.
- ALL SIGNS SHALL BE IN STRICT CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2009 EDITION AND THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS 2016 EDITION.
- THE SIGN LOCATIONS ARE APPROXIMATE AND MAY REQUIRE FIELD ADJUSTMENT. SIGNS WHICH ARE IN CONFLICT WITH EXISTING/PROPOSED UTILITIES, RAMPS, DRIVEWAYS, ETC; MAY BE FIELD ADJUSTED AS DIRECTED BY THE EOR AND RESPONSIBLE OWNERS REPRESENTATIVE.
- DURING CONSTRUCTION WORK, CAUTION SHOULD BE EXERCISED WHILE RELOCATING EXISTING SIGNS TO PREVENT UNNECESSARY DAMAGE TO THE SIGNS. IF SIGNS ARE DAMAGED BEYOND USE, AS DETERMINED BY EOR AND/OR BCAD, SUCH SIGNS SHALL BE REPLACED BY AT THE EXPENSE OF THE CONTRACTOR.



PAVEMENT DETAIL
SCALE: N.T.S.



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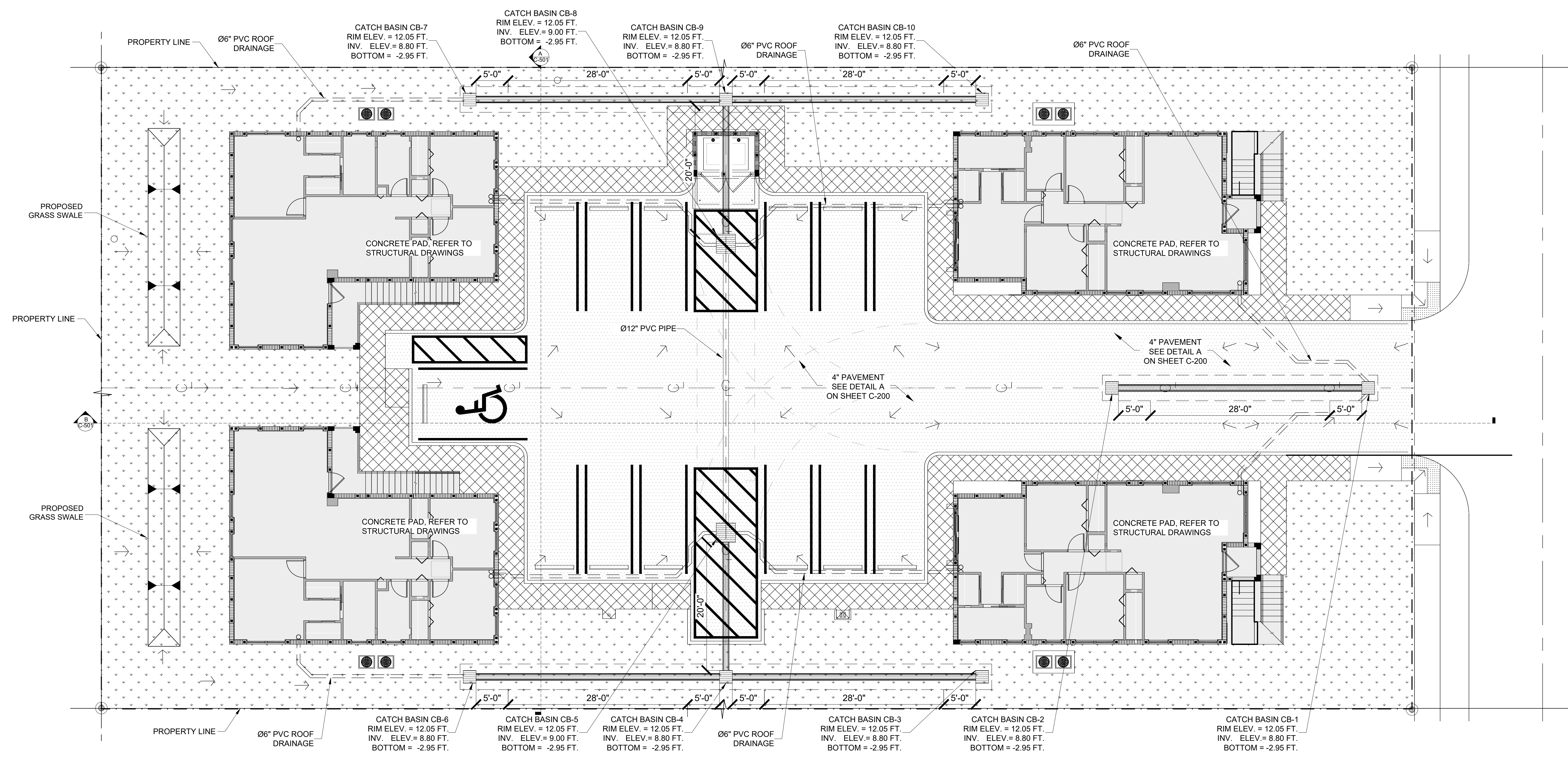
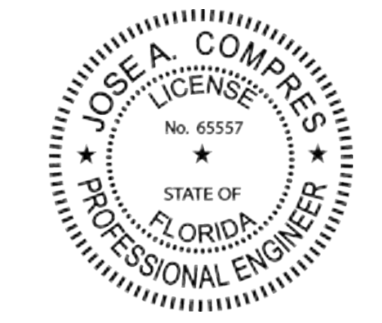
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APPVD:	JC
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CONTRACT NO.:	-

SHEET NAME:
DRAINAGE PLAN

DRAWING NO.
C-201

Sheet No.
7 OF 23



SITE PLAN
SCALE: 1/8" = 1'-0"

PLAN NOTES

- ALL ELEVATIONS SHOWN ARE IN NAVD.

DESIGN CRITERIA

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LEGEND

---	RIGHT OF WAY
X -9.63'	EXAMPLE OF PROPOSED ELEVATIONS
+8.4'	EXAMPLE OF EXISTING ELEVATIONS
—	PROP SINGLE SIGN
▭	NEW CATCH BASIN
▨	NEW PERVIOUS CONCRETE
○	NEW ROOF DRAINAGE
□	CONCRETE COLUMN
①	PROP 4" WHITE STRIPE
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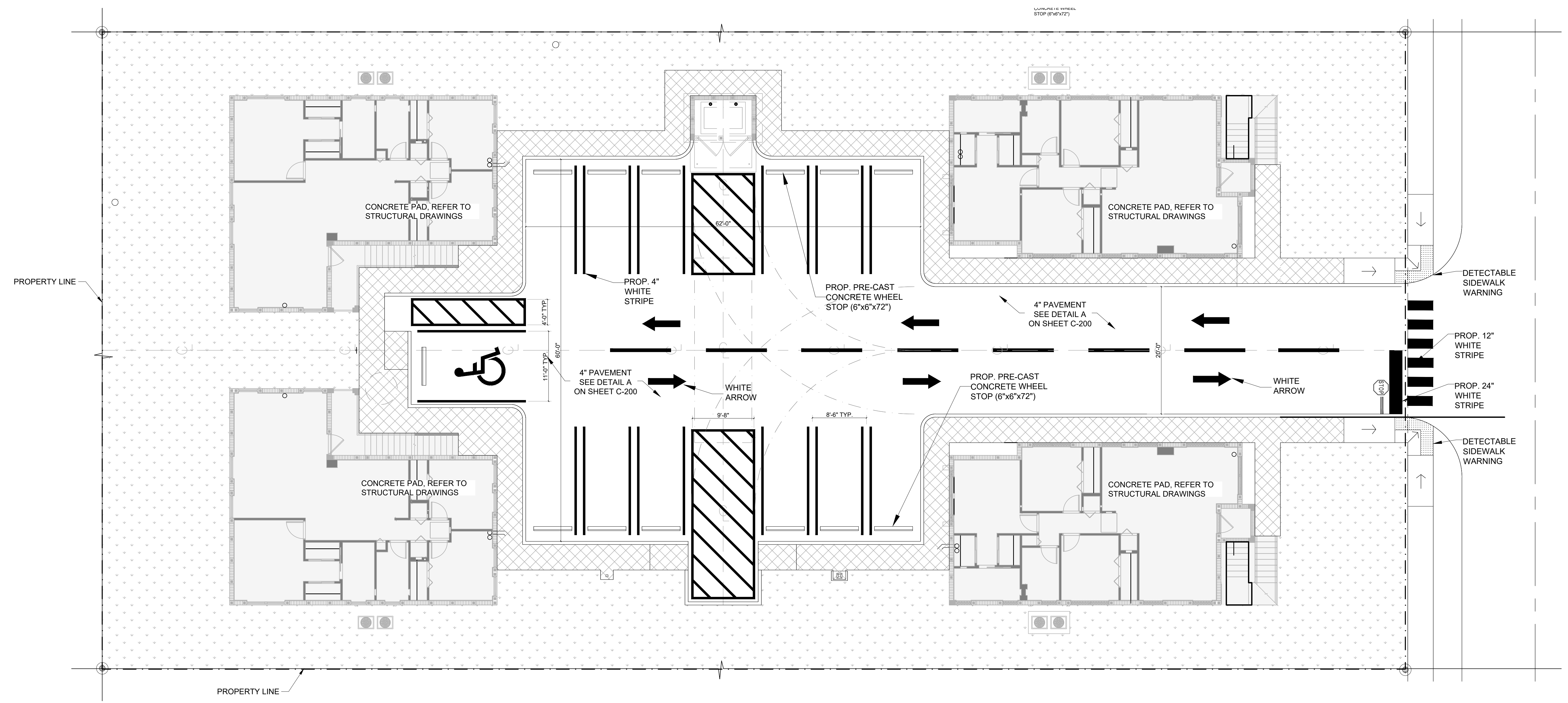
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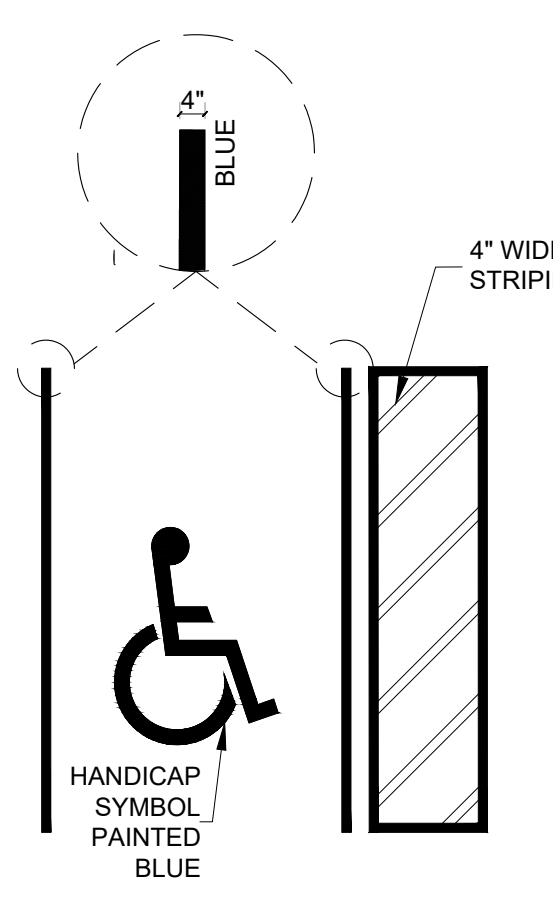
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PAVEMENT MARKING AND SIGNS PLAN

DRAWING NO.
C-202

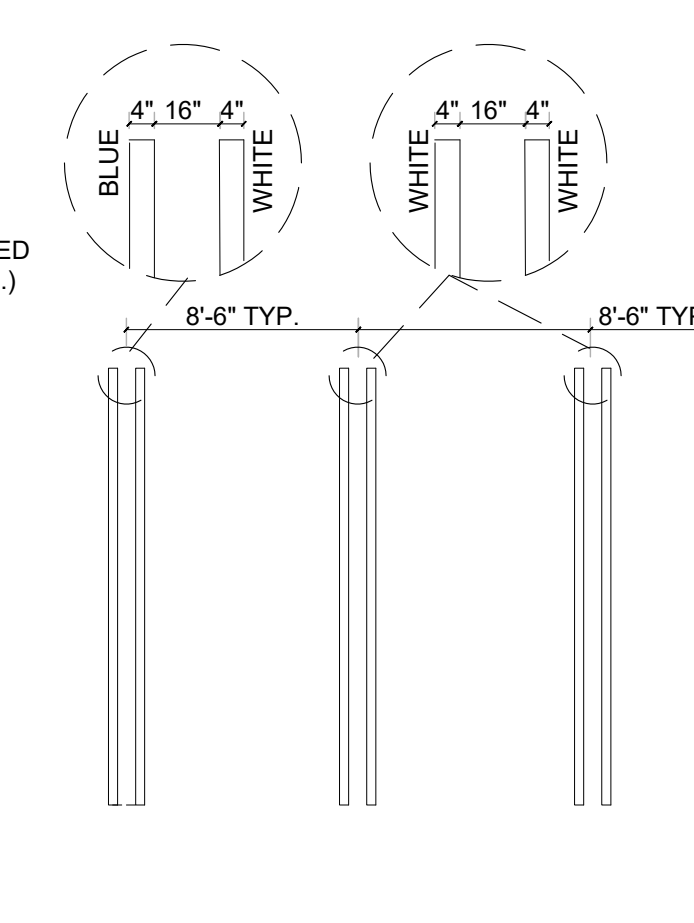
Sheet No.
8 OF 23



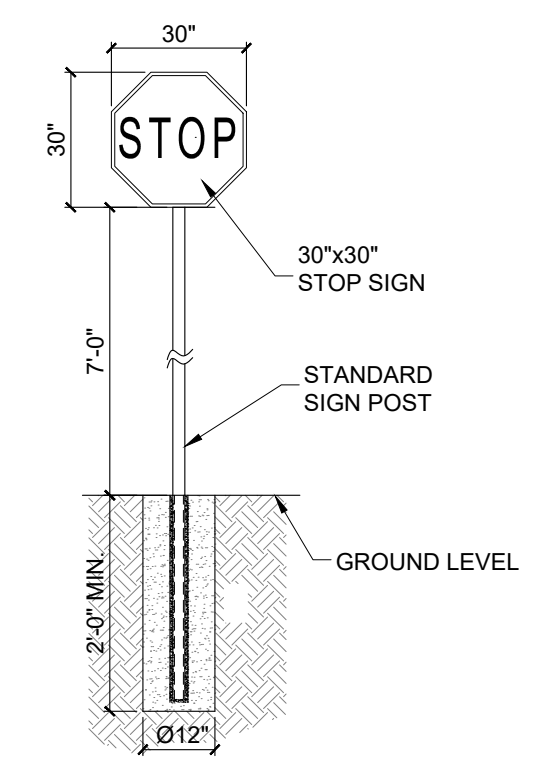
SITE PLAN
SCALE: 1/8" = 1'-0"



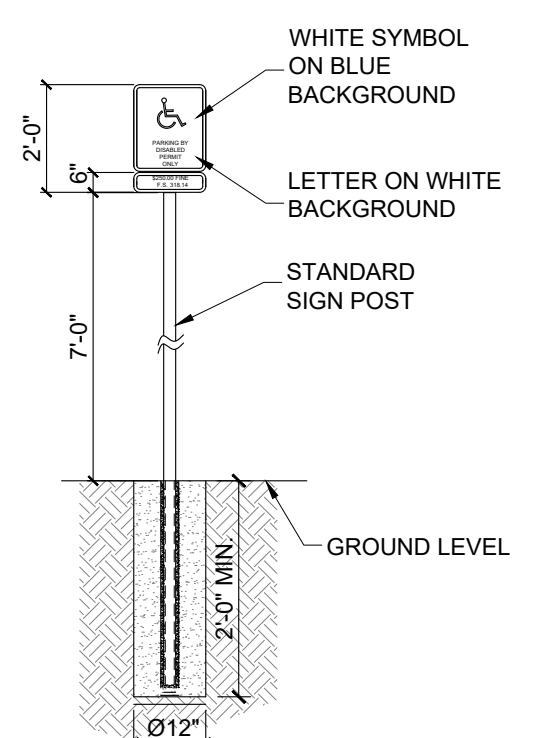
A PARKING STRIP DETAIL TYP.
SCALE: N.T.S



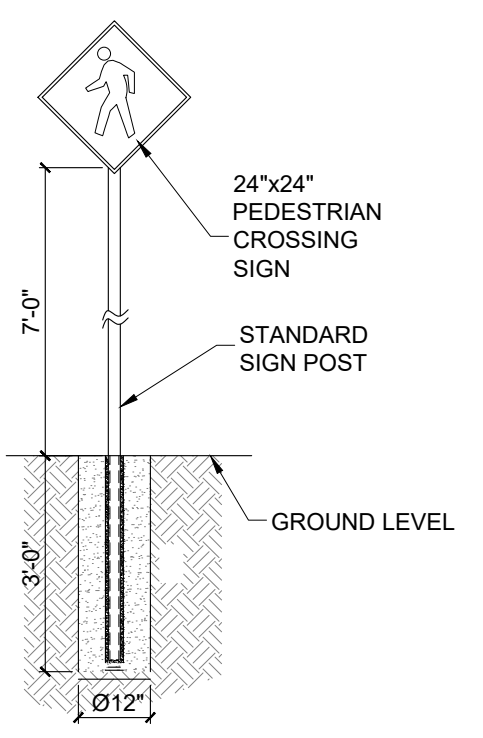
B STOP SIGN DETAIL
SCALE: N.T.S



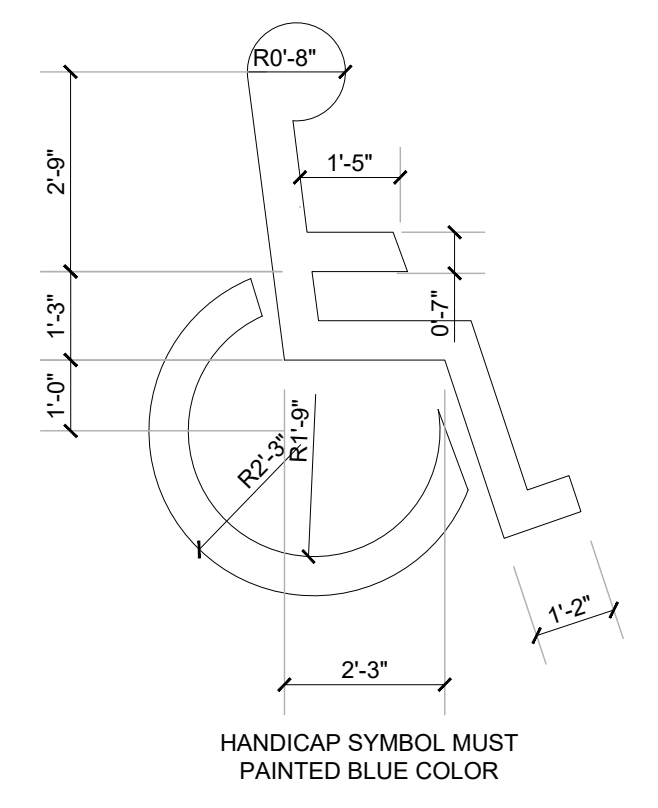
C HANDICAP PARKING STALL SIGN DETAIL
SCALE: N.T.S



D PED. CROSSING SIGN DETAIL
SCALE: N.T.S



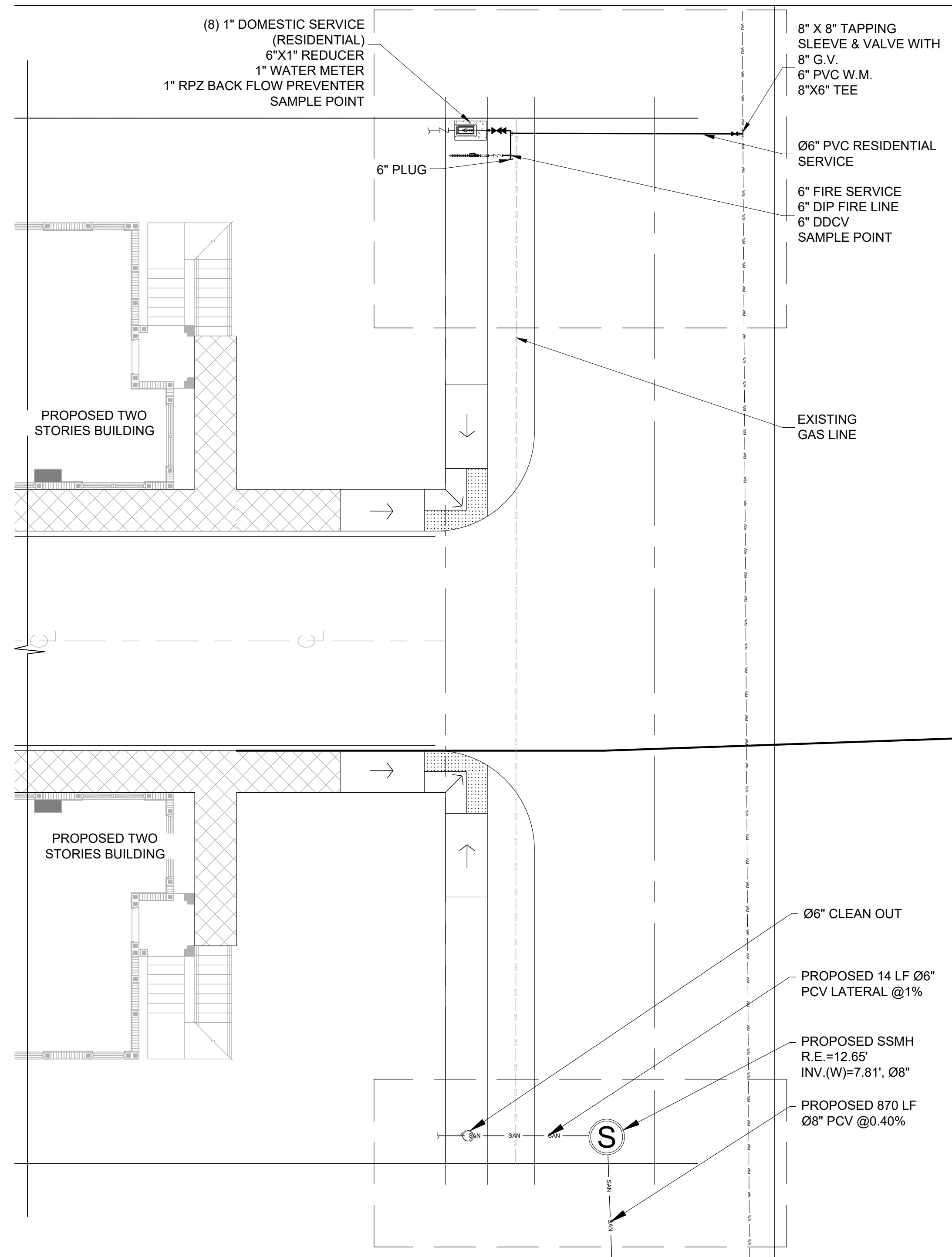
E HANDICAP PARKING SYMBOL DETAIL
SCALE: N.T.S



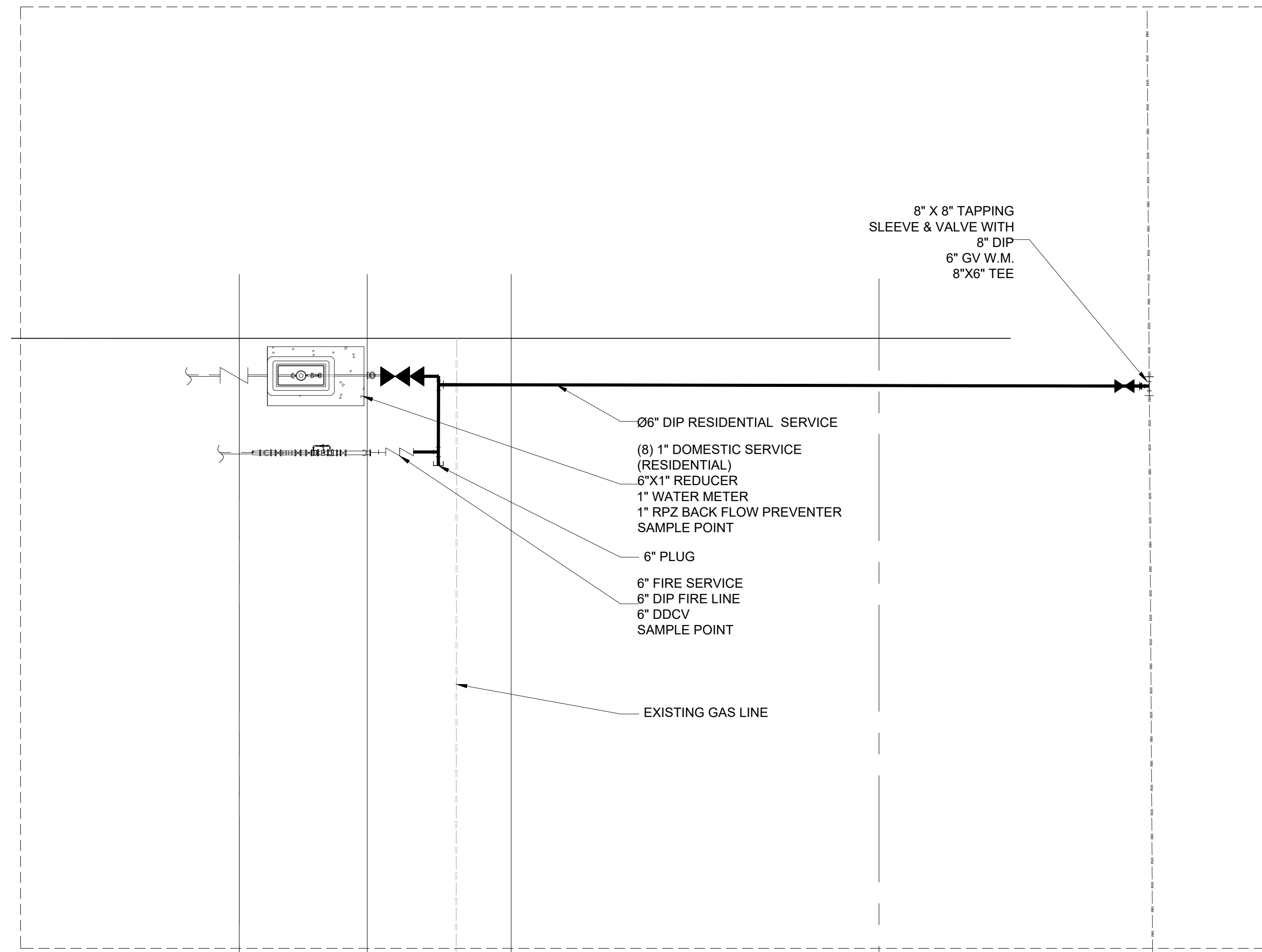
F PRECAST CONC. STOP WHEEL DETAIL (TYP.)
SCALE: N.T.S



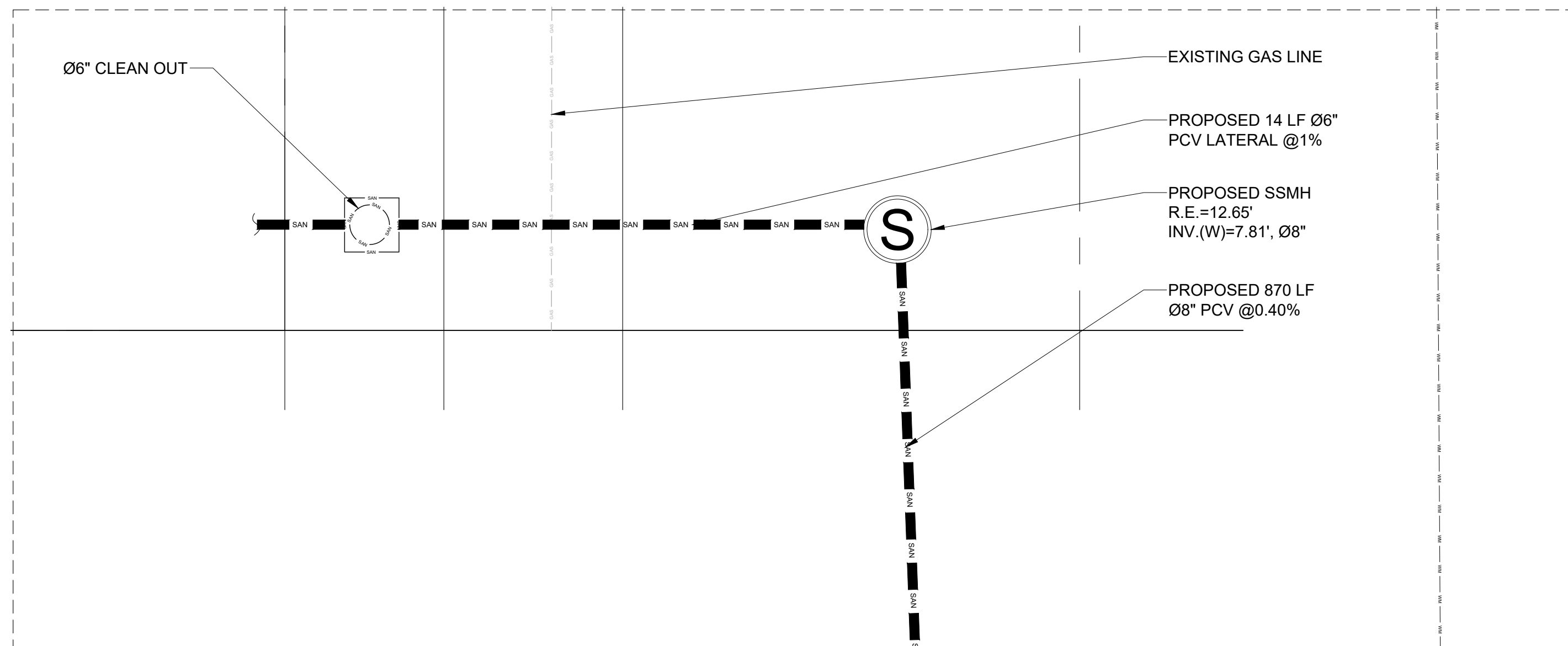
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SITE PLAN
SCALE: 1/8" = 1'-0"



ENLARGED SITE PLAN
SCALE: 3/8" = 1'-0"



ENLARGED SITE PLAN
SCALE: 3/8" = 1'-0"

FLOW CALCULATION

WATER:

CONDOMINIUM APARTMENT = 141 GPD/UNIT

8 UNITS X 141 GPD/UNIT X MAXIMUM DAY FACTOR 1.30 = 1466.4 GPD

ONE WATER ERC = 350 GPD

(1466.4 GPD x 1 ERC / 350 GPD) = 4.19 ERCs

NOTE:

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JOSE A COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO:	-

SHEET NAME:

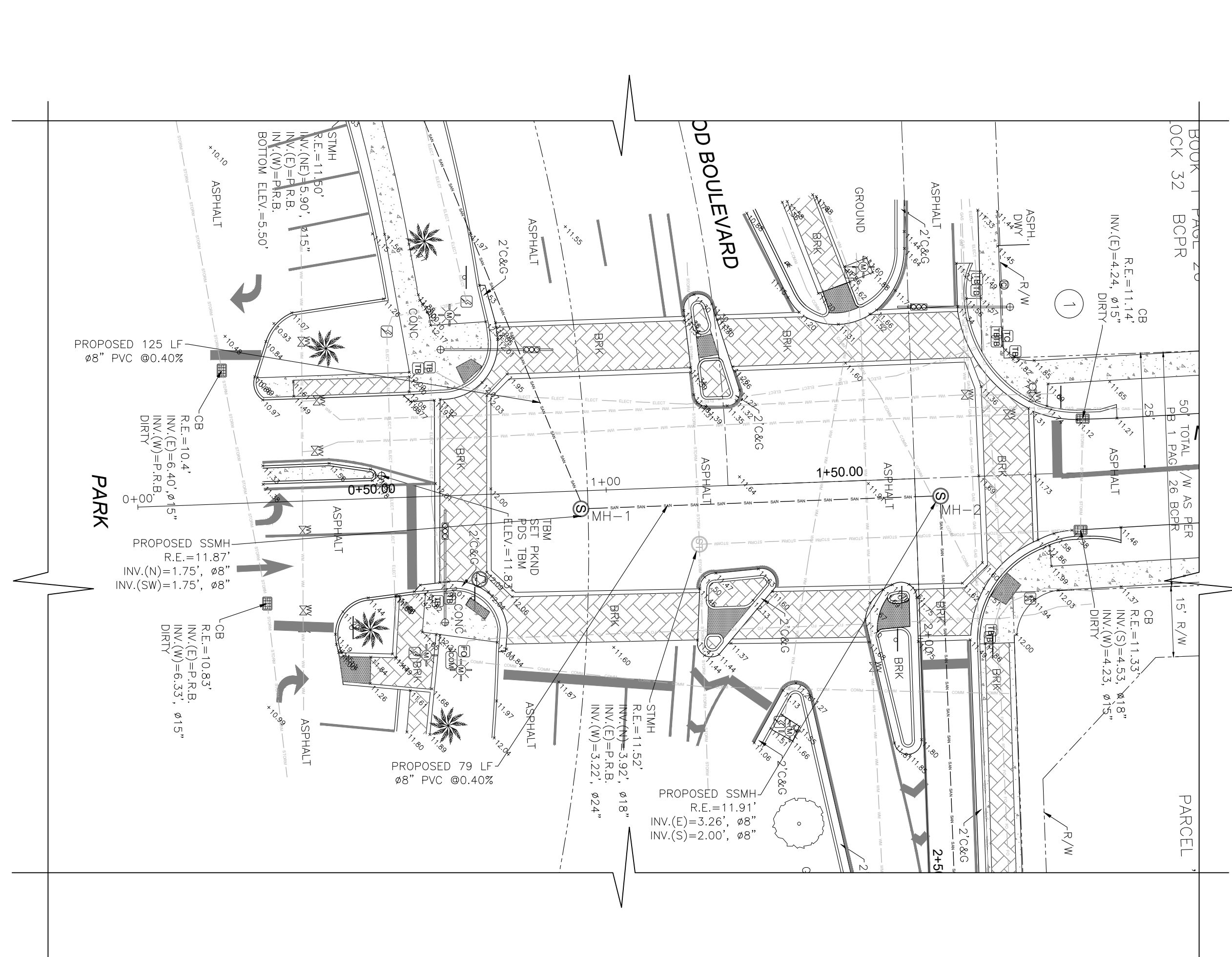
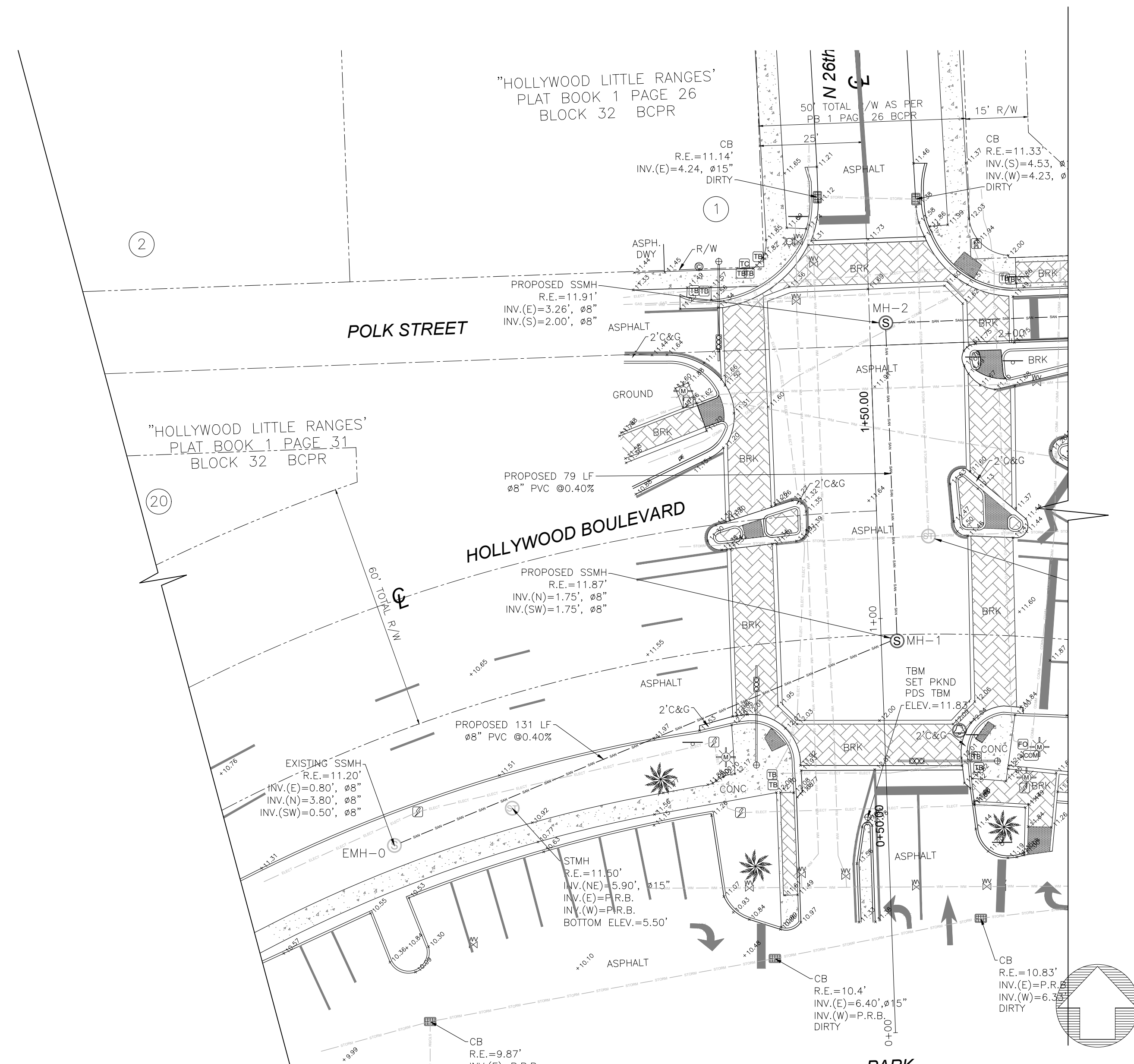
WATER MAIN AND SEWER PLAN

DRAWING NO.
C-203

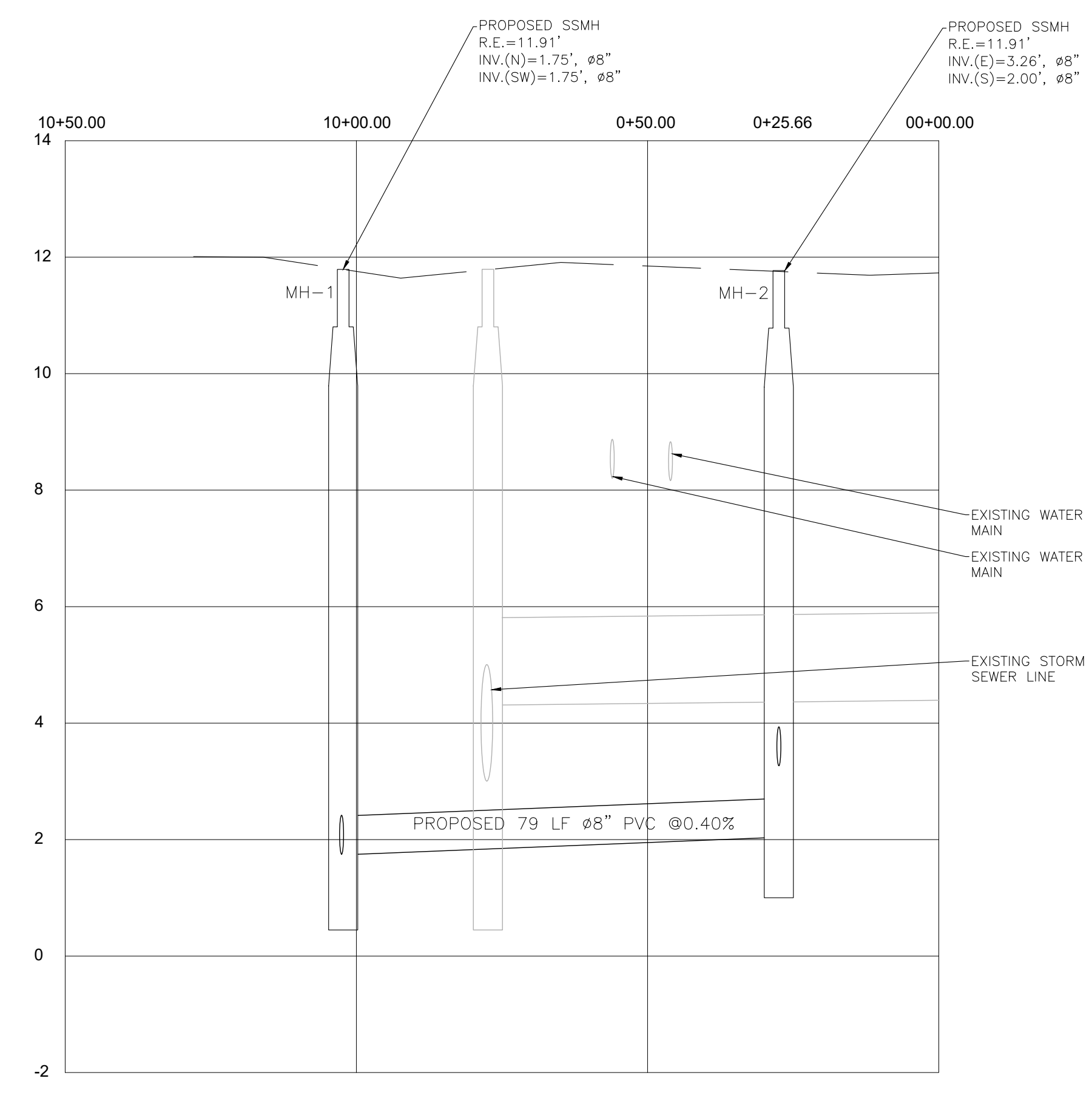
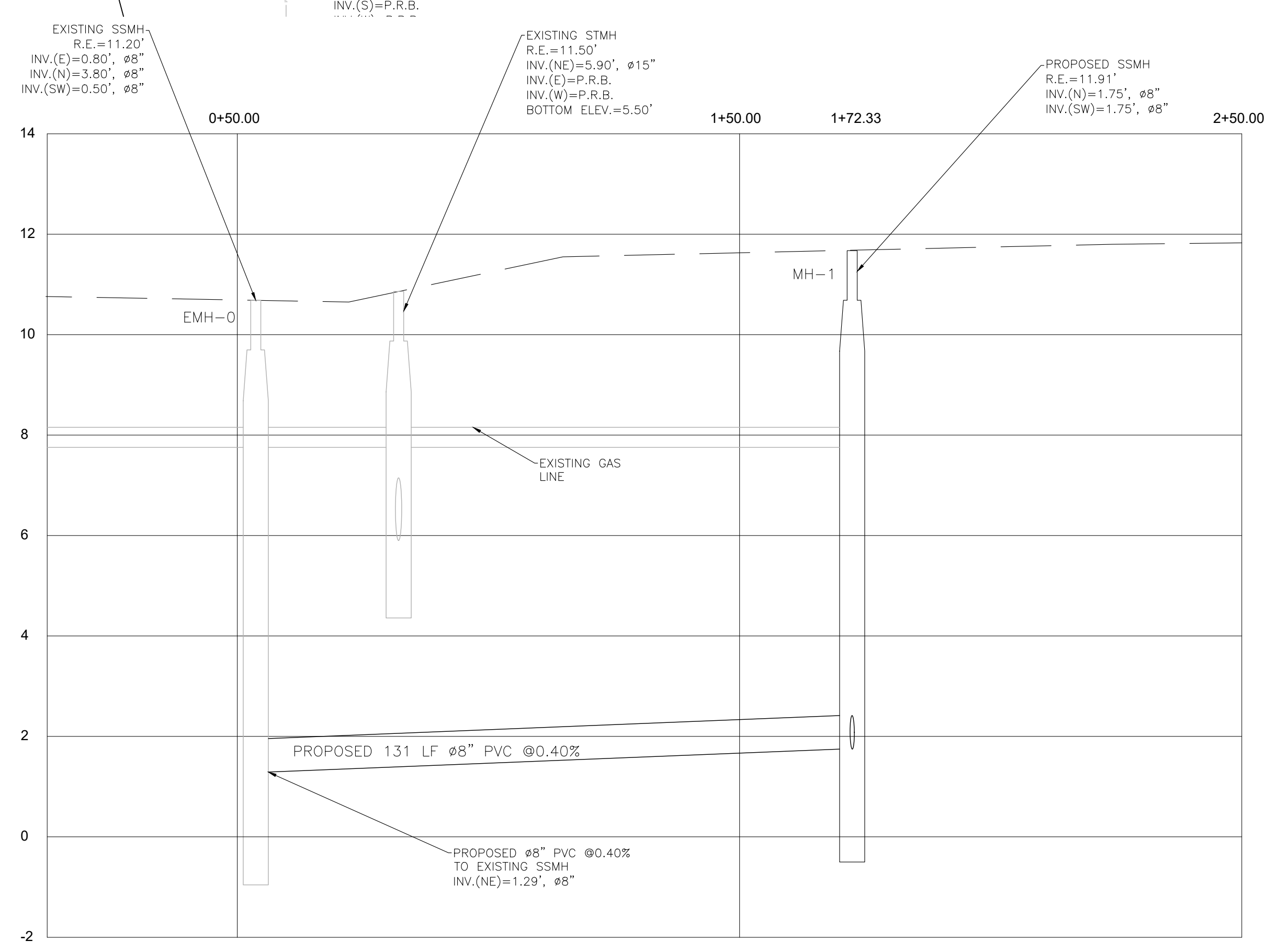
Sheet No.
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MANHOLE	RIM ELEV. (FT)	DISTANCE TO NEXT MH	INVERT ELEVATION				PIPE DIAMETER			
			NORTH	SOUTH	EAST	WEST	NORTH	SOUTH	EAST	WEST
EMH-0	11.20	-2.95	1.29 (NE)	-	1.29 (NE)	-	8" (NE)	-	8" (NE)	-
MH-1	11.87	-2.95	1.75	1.75 (SW)	-	1.75 (SW)	8"	8" (SW)	-	8" (SW)
MH-2	11.91	-2.95	-	-	3.26	-	-	-	8"	8"
MH-3	11.79	-2.95	-	-	5.66	4.41	-	-	8"	8"
MH-4	12.64	-2.95	-	-	8.02	6.81	-	-	8"	8"
MH-5	12.65	-2.95	-	-	-	8.99	-	-	-	8"



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GONEMCO
 CONSULTANTS

782 NW 42ND AVENUE UNIT 635
 NORTH TOWER, MIAMI, FL 33126
 MAIN NUMBER 786-536-1536

CA # 2947

JOSE A COMPRES, P.E.
 FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
 DTD 190
 2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
 DTD 190, LLC

REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO:	-

SHEET NAME:
 SEWER PLAN

DRAWING NO.
 C-204

Sheet No.
 10 OF 23



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JOSE A COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

REVISIONS	DATE

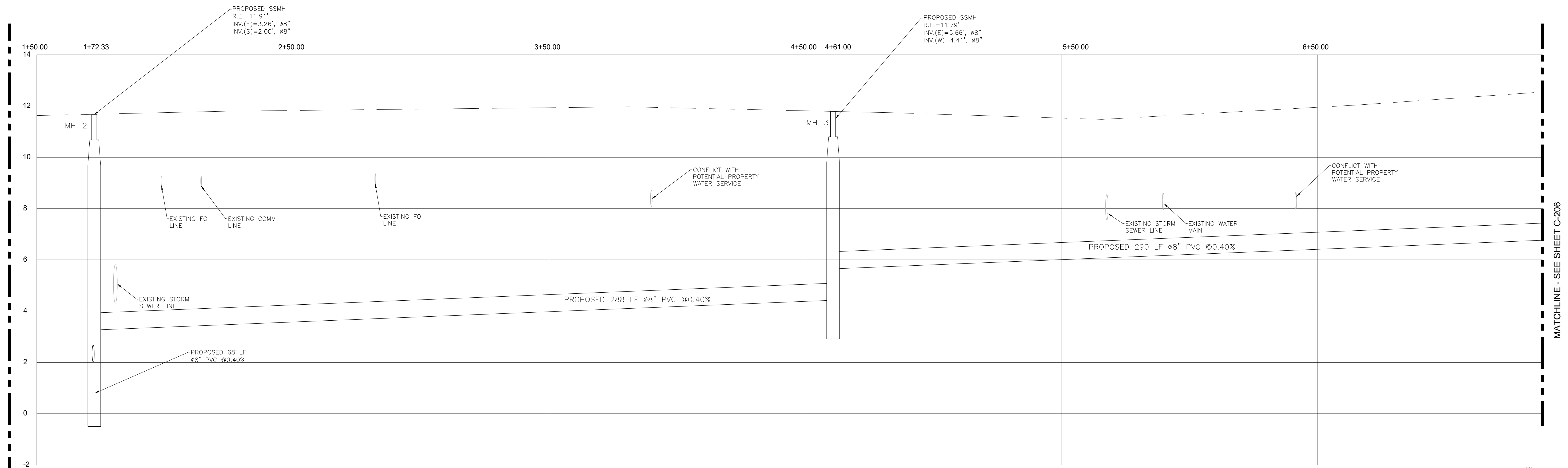
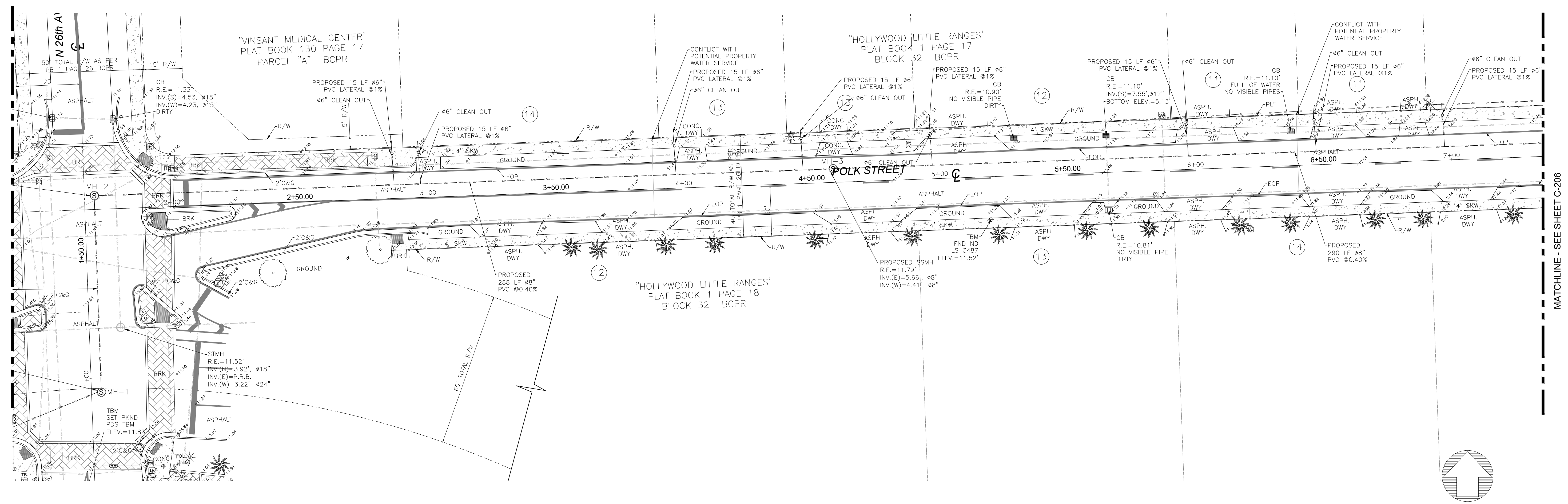
DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:

SEWER PLAN

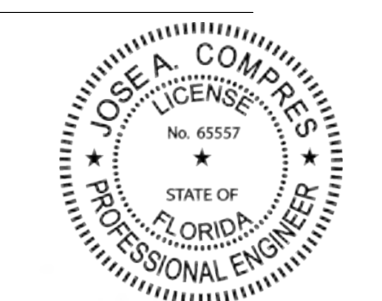
DRAWING NO.
C-205

Sheet No.
11 OF 23



MANHOLE	RIM ELEV. (FT)	DISTANCE TO NEXT MH	INVERT ELEVATION			PIPE DIAMETER				
			NORTH	SOUTH	EAST	NORTH	SOUTH	EAST	WEST	
EMH-0	11.20	-2.95	1.29 (NE)	-	1.29 (NE)	-	8" (NE)	-	8" (NE)	-
MH-1	11.87	-2.95	1.75	1.75 (SW)	-	1.75 (SW)	-	8" (SW)	-	8" (SW)
MH-2	11.91	-2.95	-	2.00	3.26	-	-	8"	8"	-
MH-3	11.79	-2.95	-	-	5.66	4.41	-	-	8"	8"
MH-4	12.64	-2.95	-	-	8.02	6.81	-	-	8"	8"
MH-5	12.65	-2.95	-	-	-	8.99	-	-	-	8"

NOTE:
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MATCHLINE - SEE SHEET C-204

MATCHLINE - SEE SHEET C-204

MATCHLINE - SEE SHEET C-206

MATCHLINE - SEE SHEET C-206

JOSE A COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

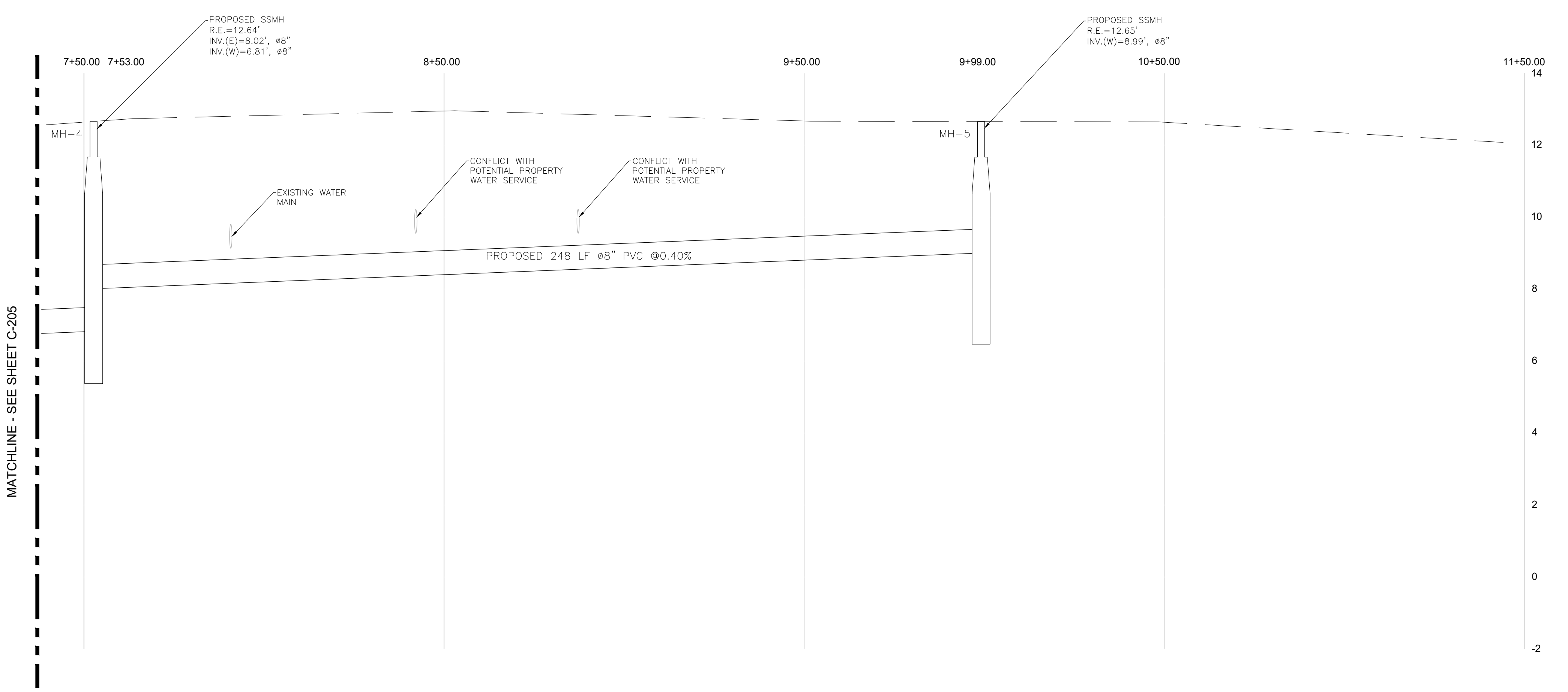
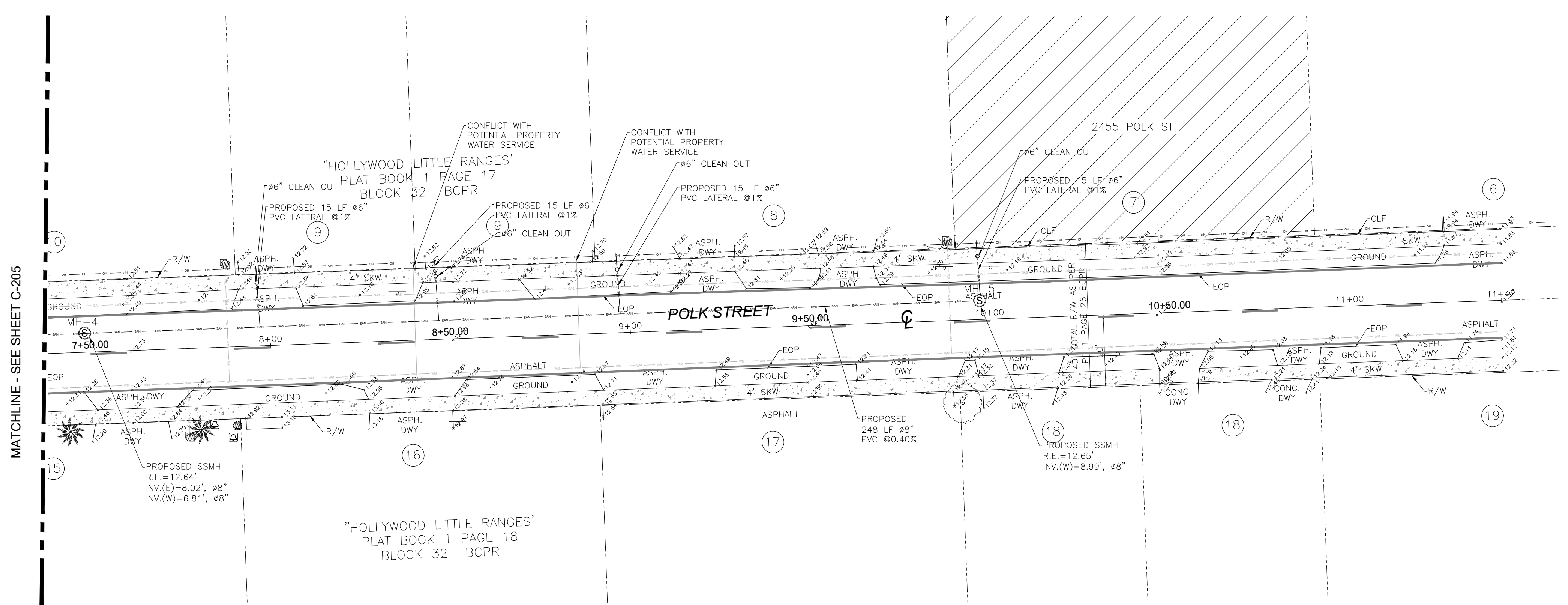
REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:
SEWER PLAN

DRAWING NO.
C-206

Sheet No.
12 OF 23

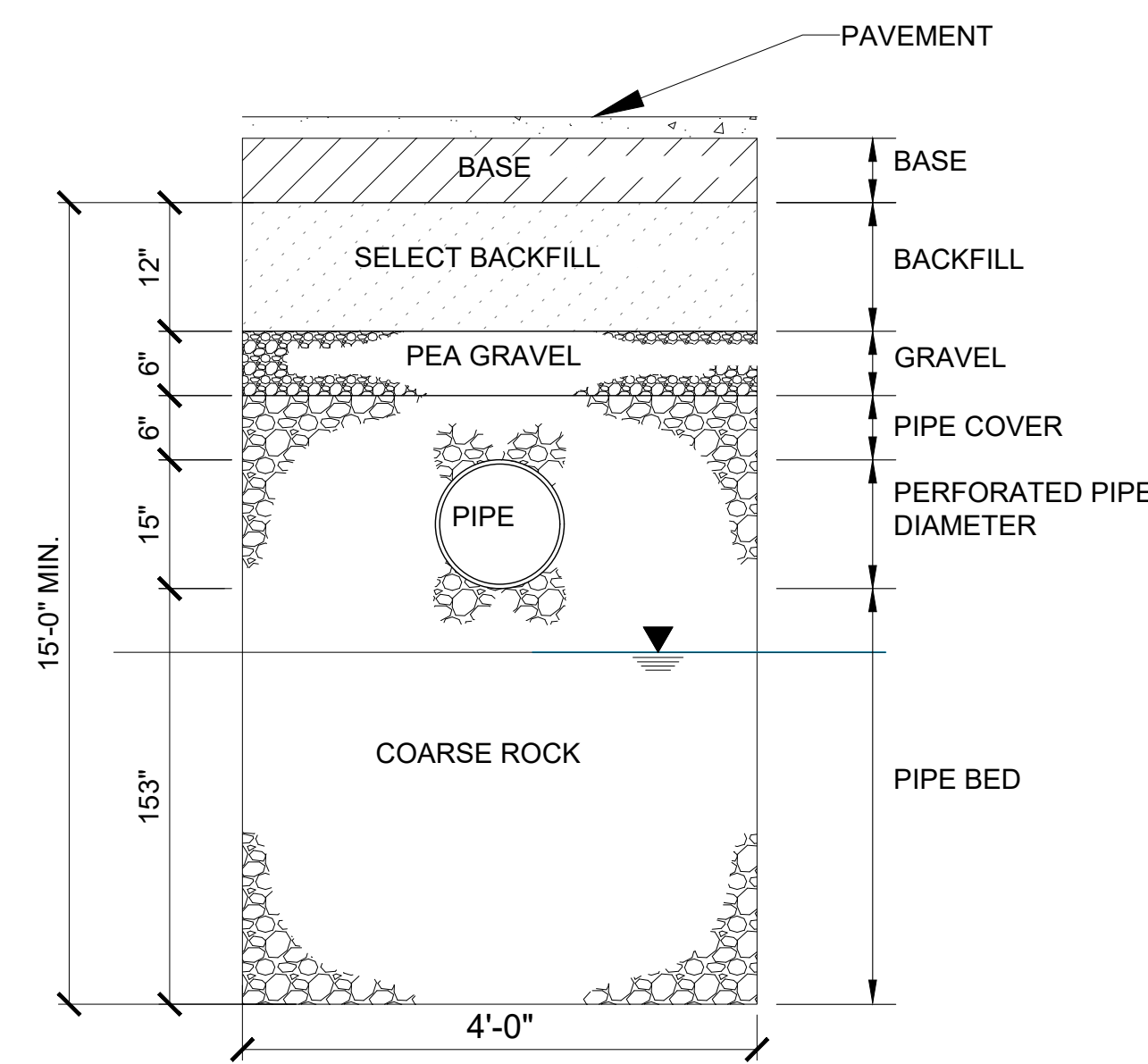


MANHOLE	RIM ELEV. (FT)	DISTANCE TO NEXT MH	INVERT ELEVATION				PIPE DIAMETER			
			NORTH	SOUTH	EAST	WEST	NORTH	SOUTH	EAST	WEST
EMH-0	11.20	-2.95	1.29 (NE)	-	1.29 (NE)	-	8" (NE)	-	8" (NE)	-
MH-1	11.87	-2.95	1.75	1.75 (SW)	-	1.75 (SW)	8"	8" (SW)	-	8" (SW)
MH-2	11.91	-2.95	-	2.00	3.26	-	-	8"	-	8"
MH-3	11.79	-2.95	-	-	5.66	4.41	-	-	8"	8"
MH-4	12.64	-2.95	-	-	8.02	6.81	-	-	8"	8"
MH-5	12.65	-2.95	-	-	-	8.99	-	-	-	8"

NOTE:
THE LOCATION OF THE EXISTING UTILITIES SHOWN IS APPROXIMATE BASED ON A TOPOGRAPHIC SURVEY BY PREMIER DESIGN SOLUTIONS INC. COMPLETED ON 07/28/2020. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION DURING CONSTRUCTION.

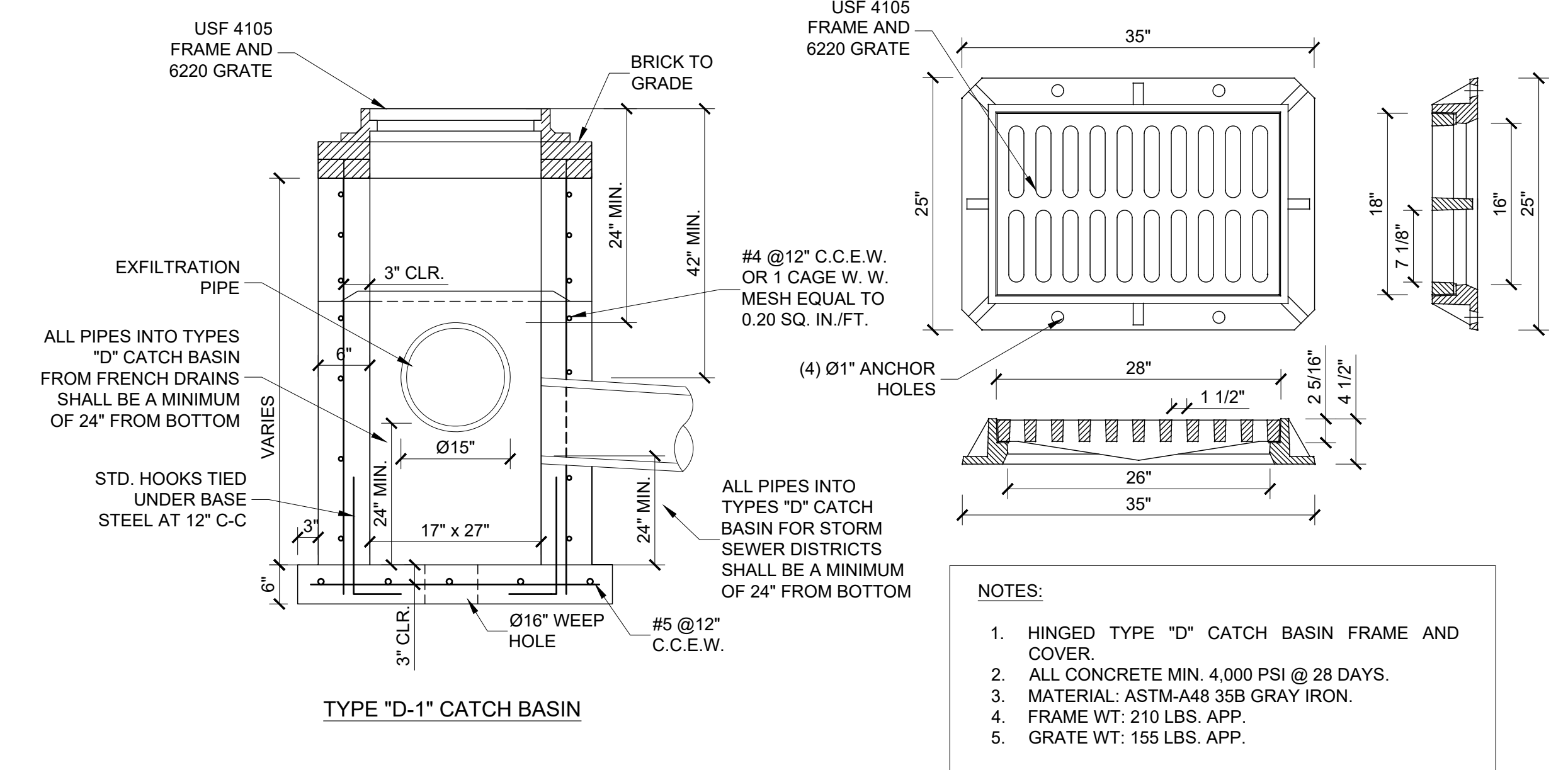


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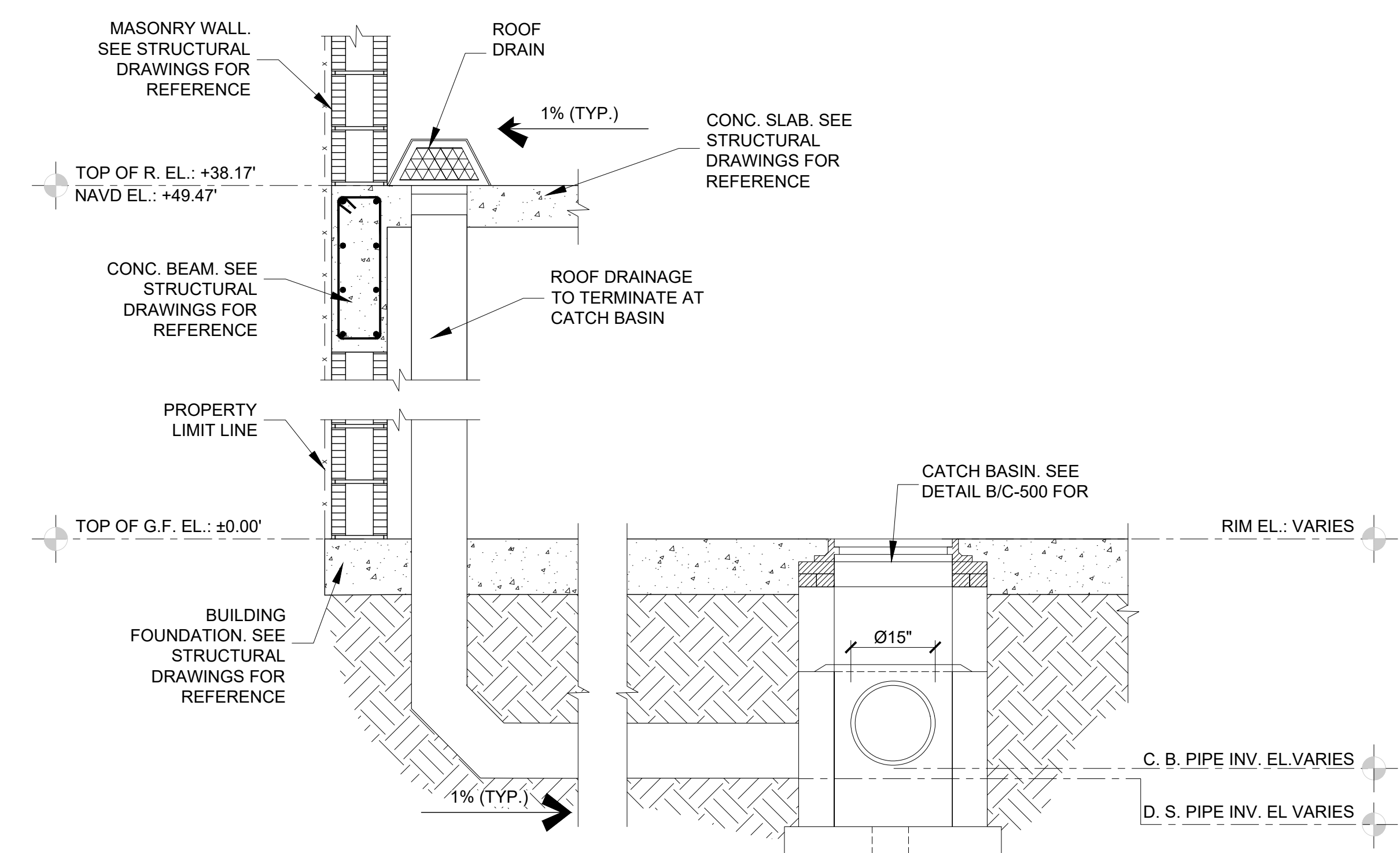
- NOTES:**
1. SIDES AND TOP OF TRENCH ONLY TO BE LINED WITH FILTER FABRIC. OVERLAP LINER A MINIMUM OF 2' AT THE TOP OF THE TRENCH.
 2. BALLAST ROCK SHALL BE FROM FRESH WATER WASHED AND FREE OF DELETERIOUS MATTER.
 3. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE.

A TRENCH SECTION DETAIL
SCALE: N.T.S.

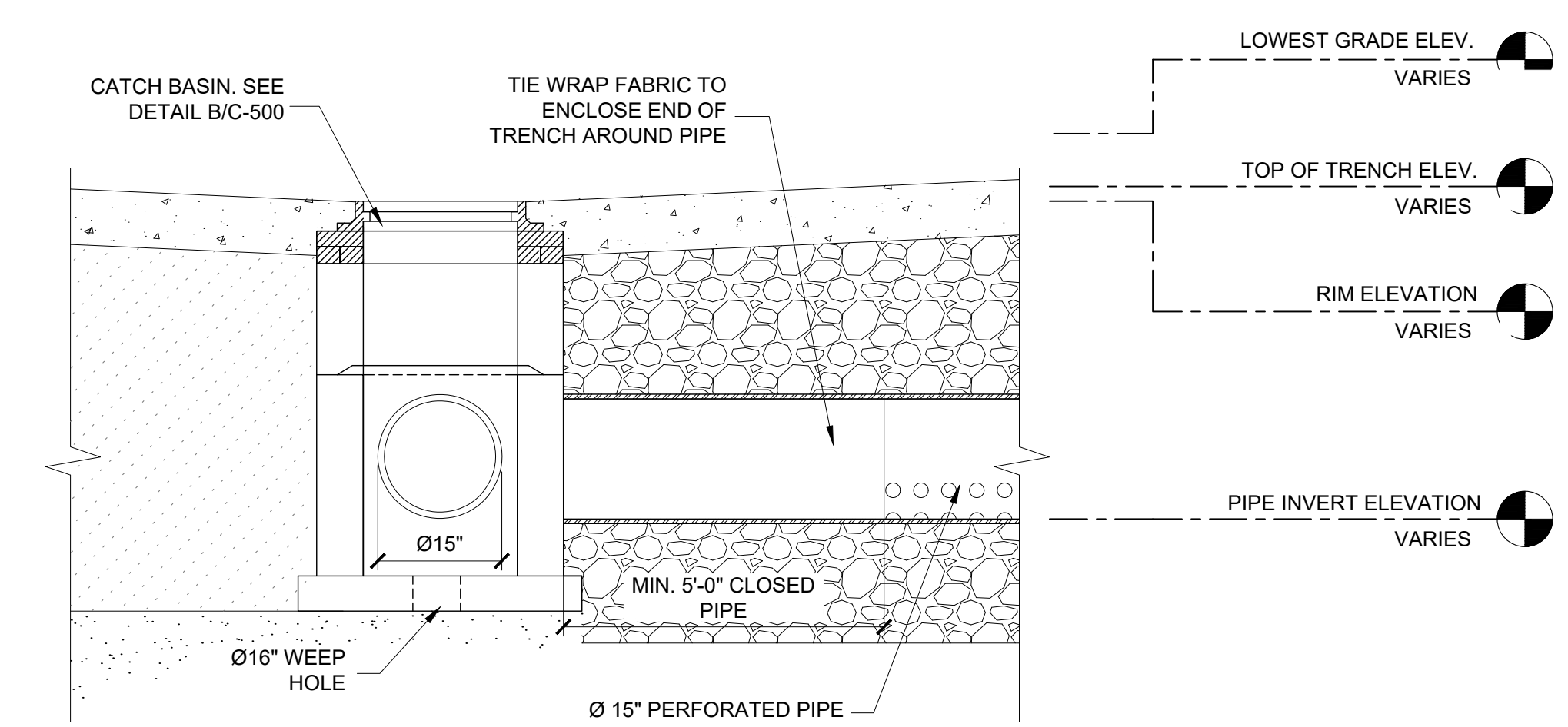


- NOTES:**
1. HINGED TYPE "D" CATCH BASIN FRAME AND COVER.
 2. ALL CONCRETE MIN. 4,000 PSI @ 28 DAYS.
 3. MATERIAL: ASTM-A48 35B GRAY IRON.
 4. FRAME WT: 210 LBS. APP.
 5. GRATE WT: 155 LBS. APP.

B PRECAST CATCH BASIN DETAIL (TYP.)
SCALE: N.T.S.



C SCUPPER DRAIN DETAIL
SCALE: N.T.S.

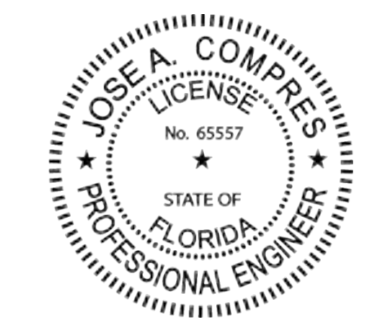


D CATCH BASIN ELEVATION
SCALE: N.T.S.

REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:
DRAINAGE DETAILS



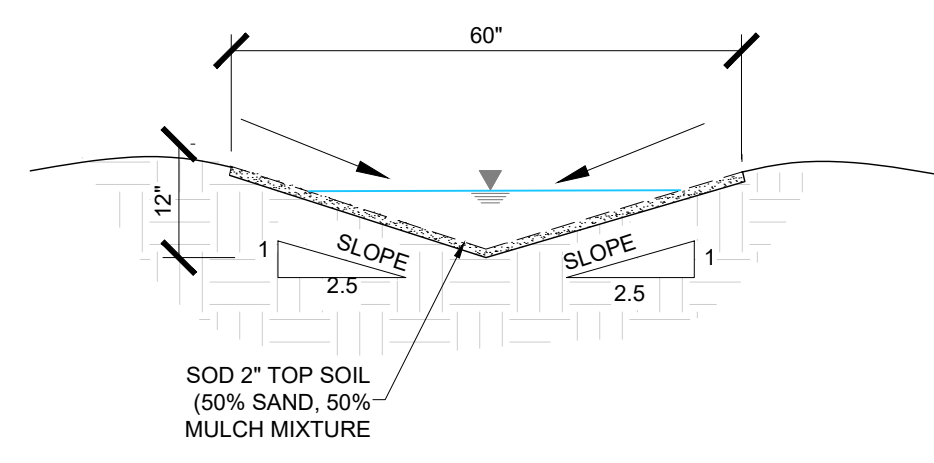
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REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

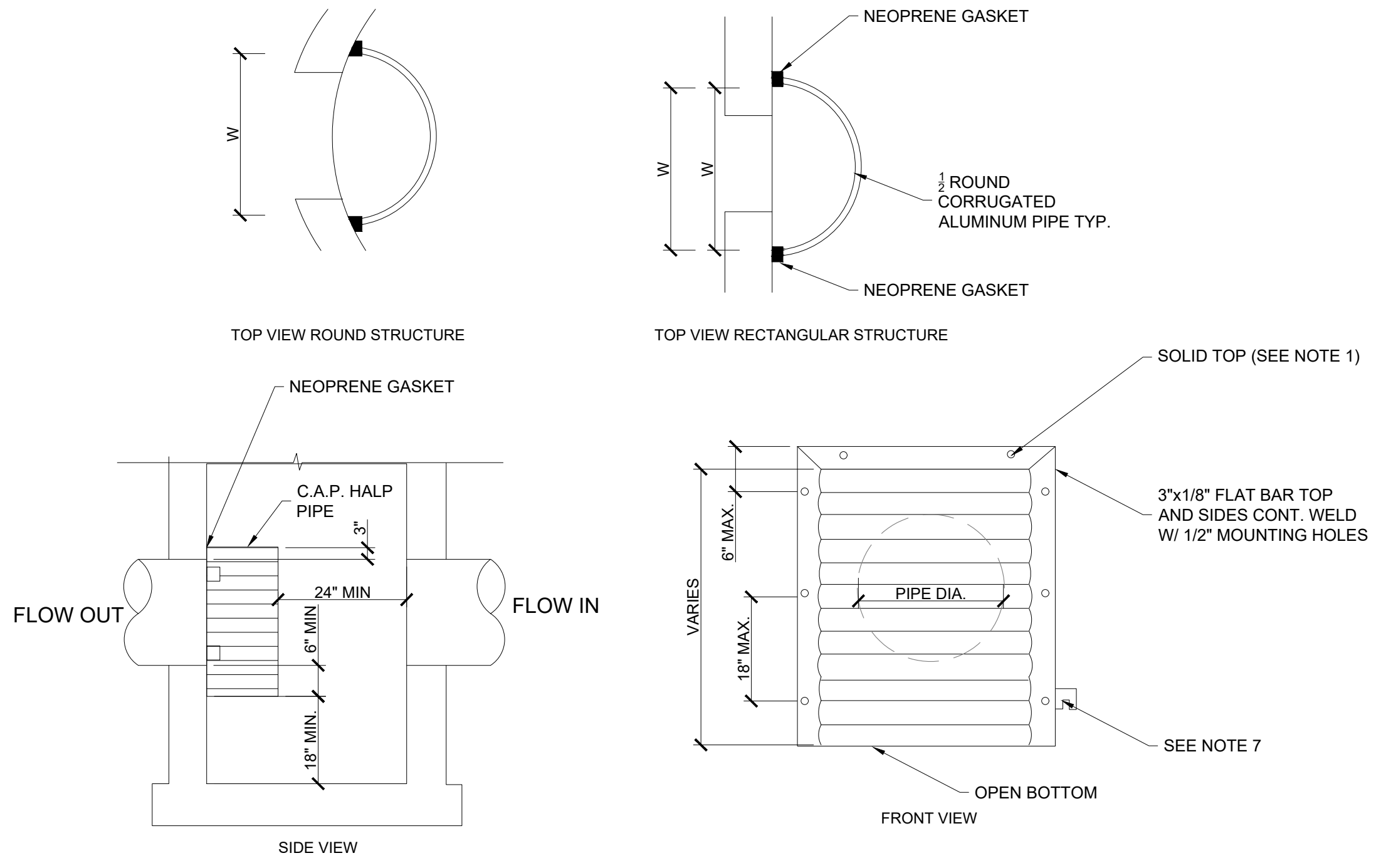
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PAVING AND DRAINAGE
DETAILS

DRAWING NO.
C-501
Sheet No.
14 OF 23

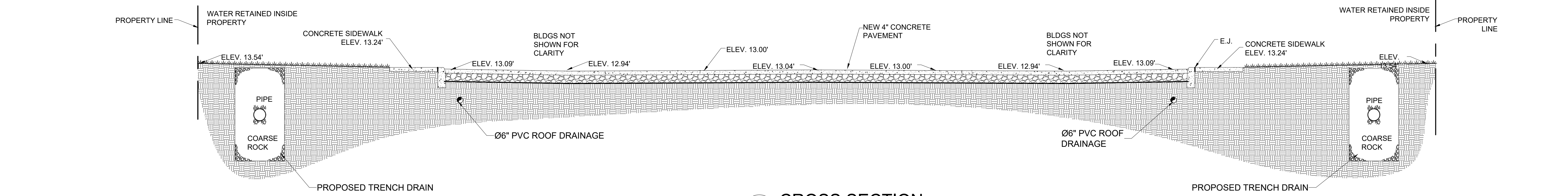


2 SWALE SECTION
SCALE: N.T.S

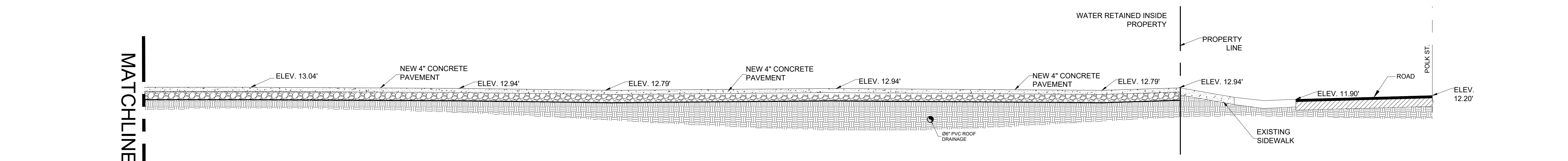
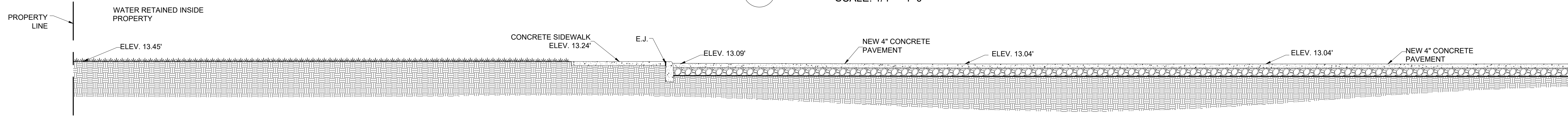
1. ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP.
 2. THE BOTTOM ELEVATION OF THE POLLUTION RETARDANT BAFFLE MUST BE AT LEAST 2' BELOW CONTROL ELEVATION.
 3. NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 2") SHALL BE INSTALLED ON THE SIDES AND TOP.
- OF ALL BAFFLES.
4. POLLUTION RETARDANT BAFFLE TO BE FASTENED IN PLACE WITH 3/8"x4" STAINLESS STEEL "RED HEADS", OR APPROVED EQUAL.
 5. ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE EXFILTRATION TRENCH DETAIL).
 6. FIBERGLASS BAFFLES ARE NOT PERMITTED.
 7. MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND.



A POLLUTION BAFFLE DETAIL
SCALE: N.T.S

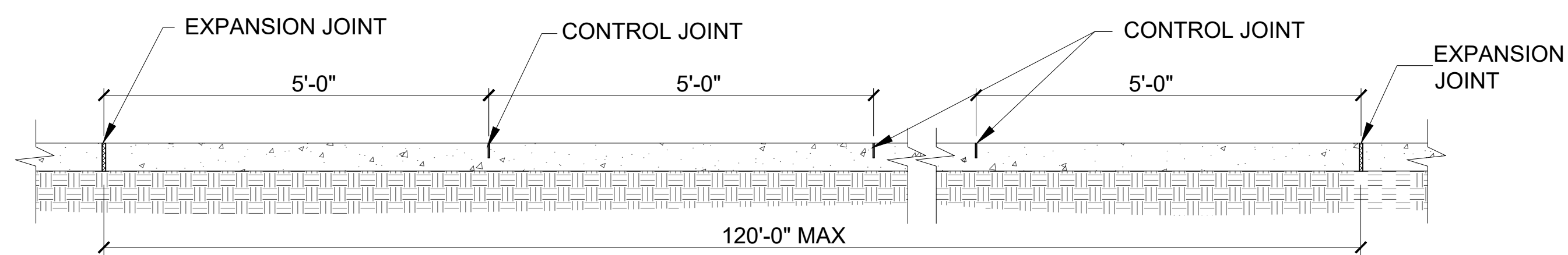
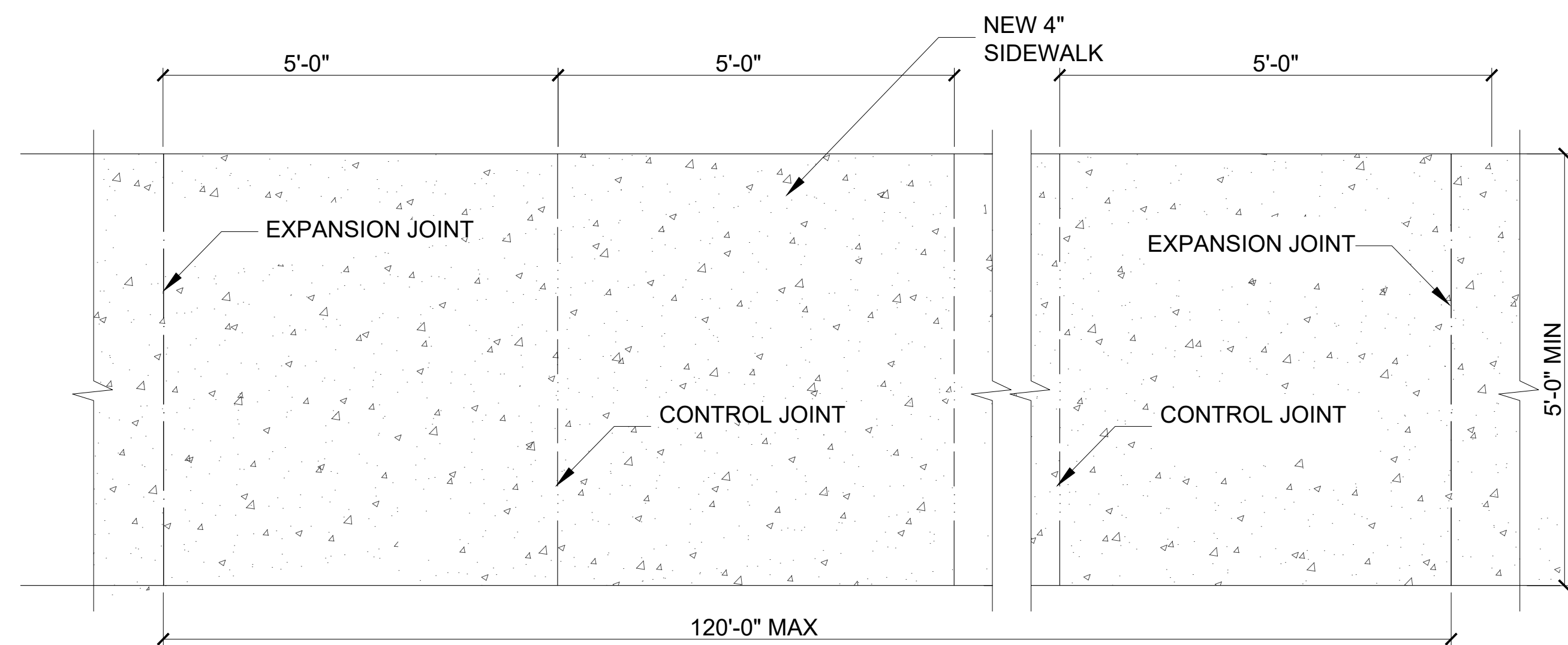


1 CROSS SECTION
SCALE: 1/4" = 1'-0"

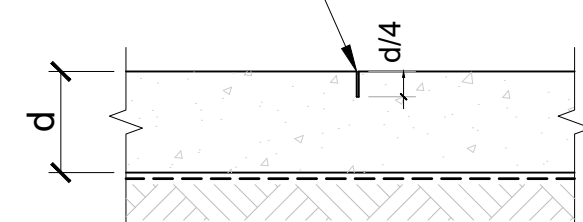


2 CROSS SECTION
SCALE: 1/4" = 1'-0"

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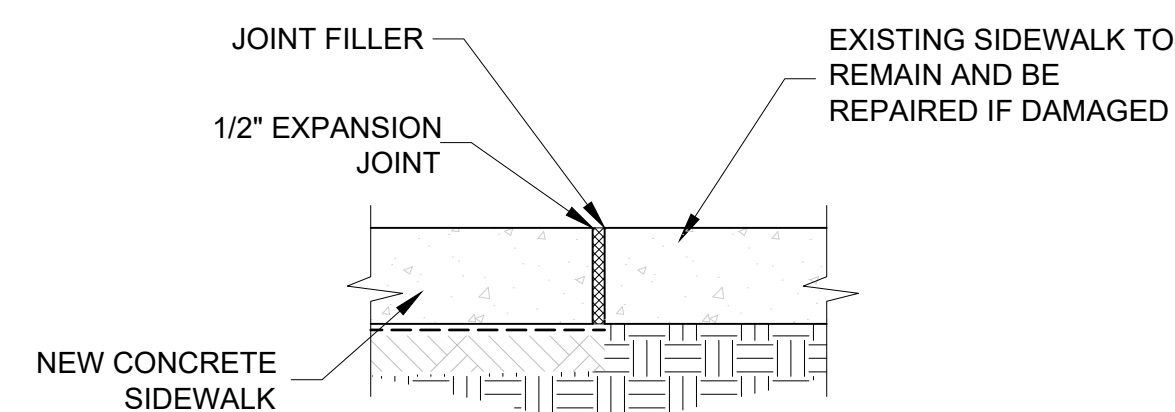


1/4" JOINT WIDE (SAW CUT OR FORMED) TO BE MADE BETWEEN 2-8 HOURS OF CONCRETE POUR



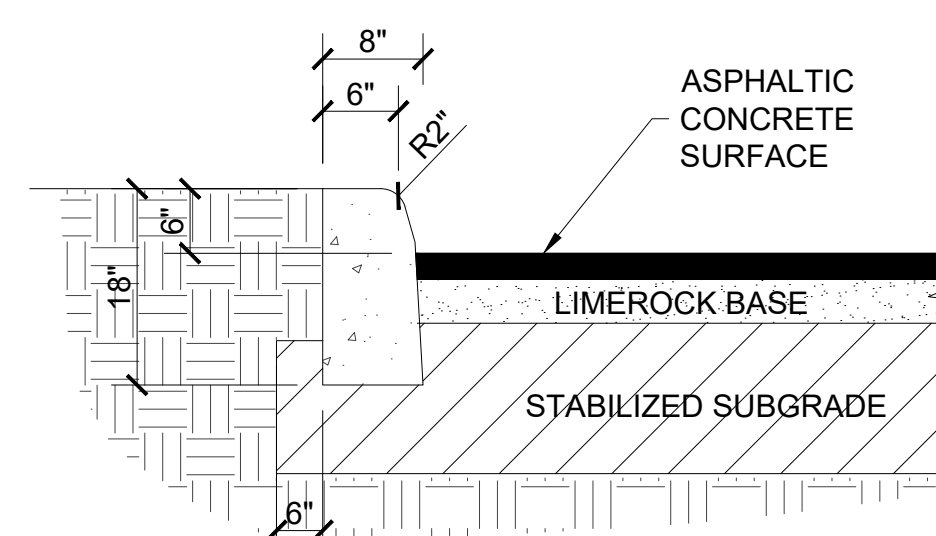
NOTES:

SPACING OF CONTROL JOINTS AS SHOWN ON PLANS. JOINT SPACING SHALL NOT EXCEED 15'-0" O.C. LONGER DIMENSION SHALL NOT EXCEED 1.5 x SHORTER DIMENSION.



A SIDEWALK DETAIL

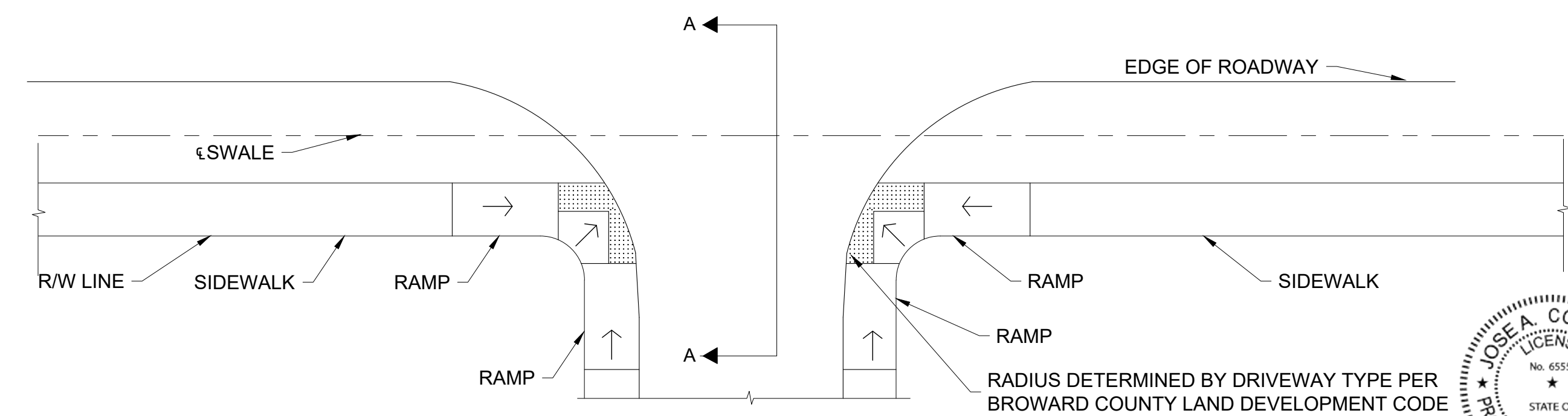
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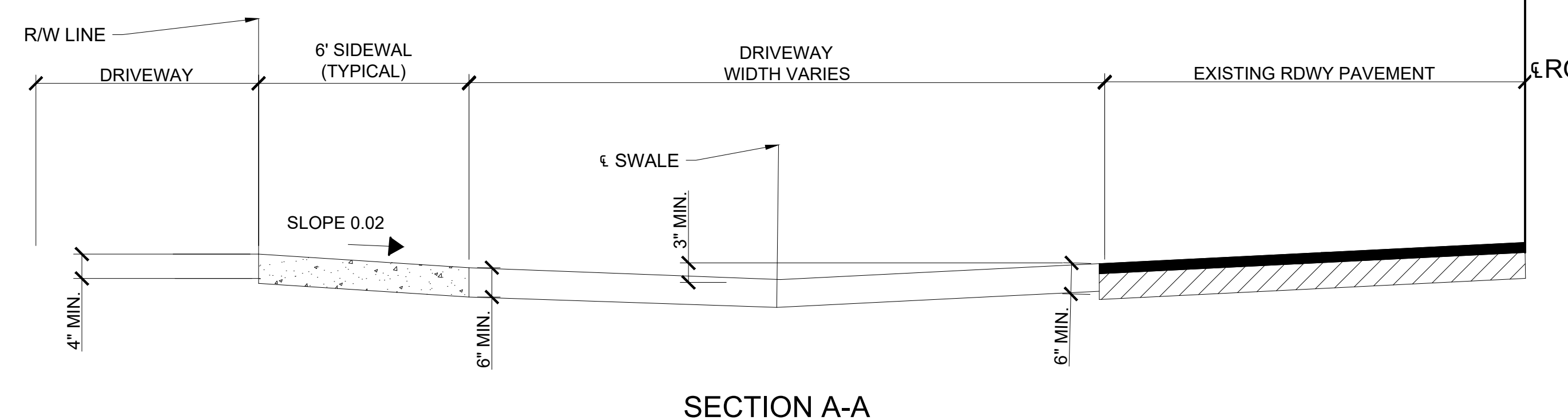
FDOT TYPE "D" CONCRETE CURB

B CURB DETAIL

SCALE: N.T.S.



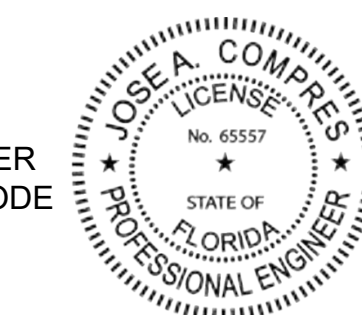
PLAN - DRIVEWAY WITH SIDEWALK SETBACK FROM UNCURBED ROADWAY



SECTION A-A

C DRIVEWAY, SWALE & SIDEWALK DETAILS

SCALE: N.T.S.



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782 NW 42ND AVENUE UNIT 635
NORTH TOWER MIAMI, FL 33126
MAIN NUMBER 786-536-1536

CA # 29447

JOSE A. COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
DTD 190
2455 POLK ST., HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
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CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:

PAVING DETAILS

DRAWING NO.
C-502

Sheet No.
15 OF 23

CATCH BASIN	RIM ELEV. (FT)	BOTTOM ELEV. (FT)	INVERT ELEVATION				PIPE DIAMETER			
			NORTH	SOUTH	EAST	WEST	NORTH	SOUTH	EAST	WEST
CB-1	12.05	-2.95	8.80	-	-	-	15"	-	-	-
CB-2	12.05	-2.95	-	8.80	-	-	-	15"	-	-
CB-3	12.05	-2.95	8.80	-	-	-	15"	-	-	-
CB-4	12.05	-2.95	8.80	8.80	8.80	-	15"	15"	15"	-
CB-5	12.05	-2.95	-	-	-	9.00	-	-	-	15"
CB-6	12.05	-2.95	-	8.80	-	-	-	15"	-	-
CB-7	12.05	-2.95	-	8.80	-	-	-	15"	-	-
CB-8	12.05	-2.95	-	-	9.00	-	-	-	15"	-
CB-9	12.05	-2.95	8.80	8.80	-	8.80	15"	15"	-	15"
CB-10	12.05	-2.95	8.80	-	-	-	15"	-	-	-

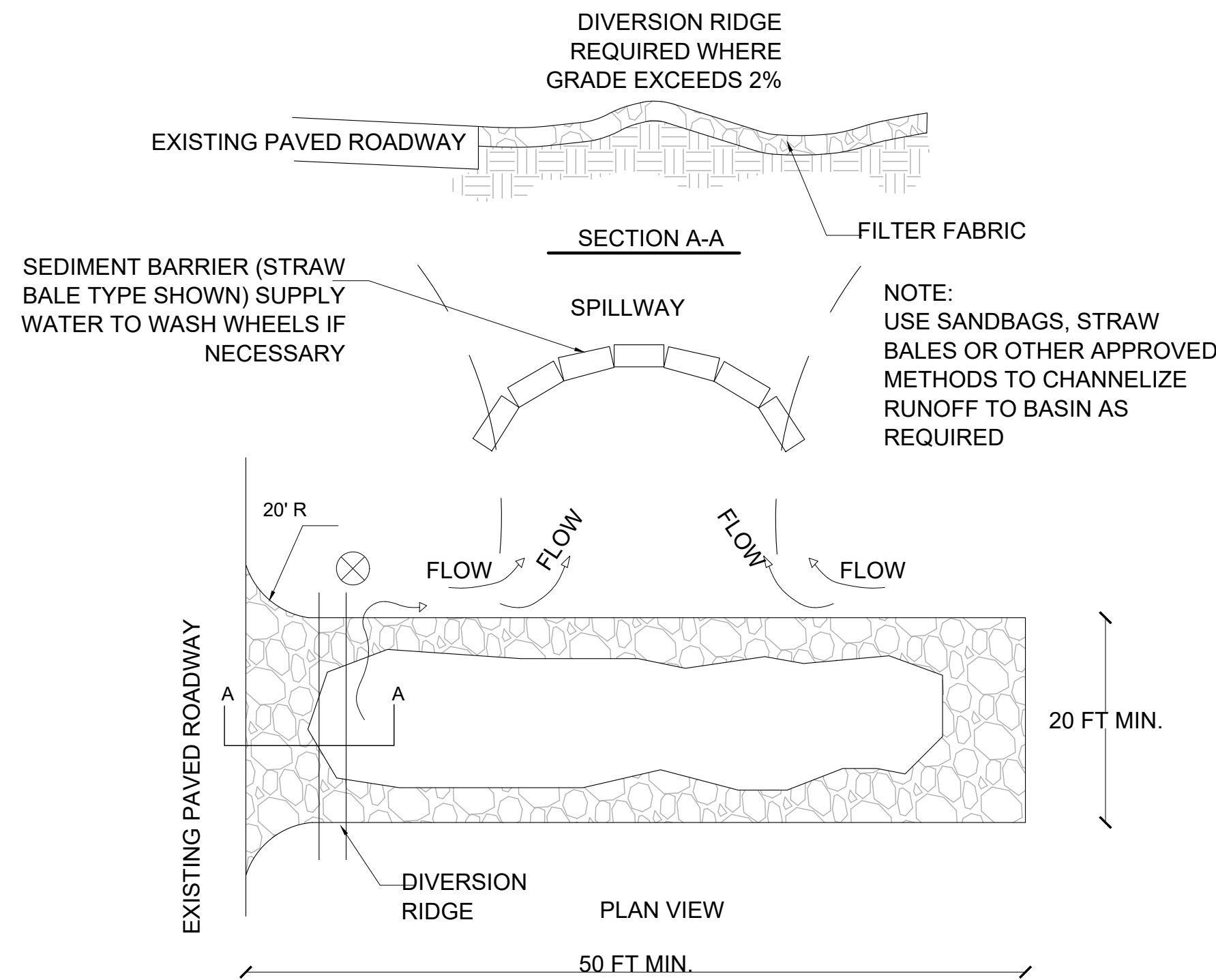
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WASHING
IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE STONE, THEN THE VEHICLE TIRES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT (SEE FIGURES 4.3A AND 4.3C OF THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL). A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE (SEE FIGURE 4.3C OF THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL).

LOCATION
THE ENTRANCE SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.

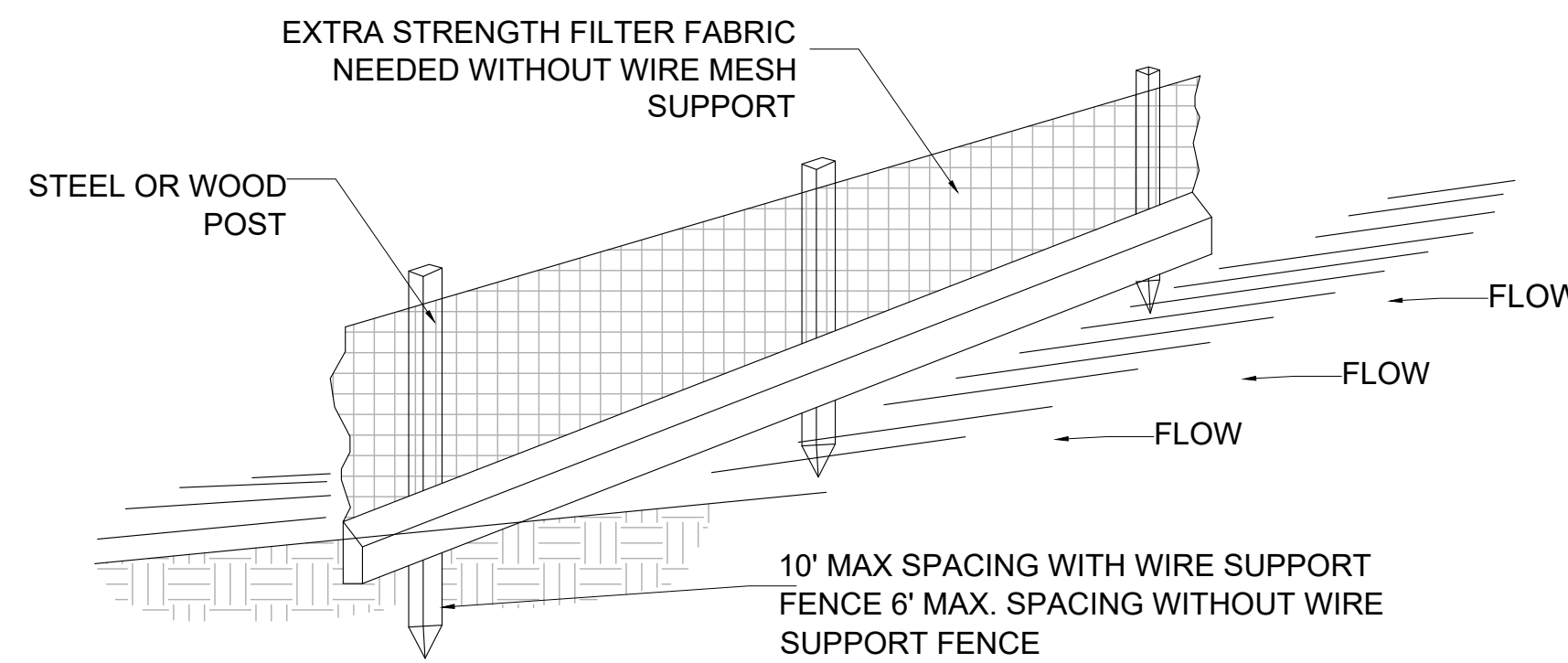
CONSTRUCTION SPECIFICATIONS
THE ENTRANCE AREA SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE WHEN GRAVEL IS USED. THE GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE TO THE SPECIFIED DIMENSIONS.

MAINTENANCE
THE STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC MAINTENANCE AS CONDITIONS DEMAND, AND THE REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENTS. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. LOOK FOR SIGNS OF TRUCKS AND TRAILERED EQUIPMENT "CUTTING CORNERS" WHERE THE CONSTRUCTION EXIT MEETS THE ROADWAY. SWEEP THE PAVED ROAD AS NEEDED.



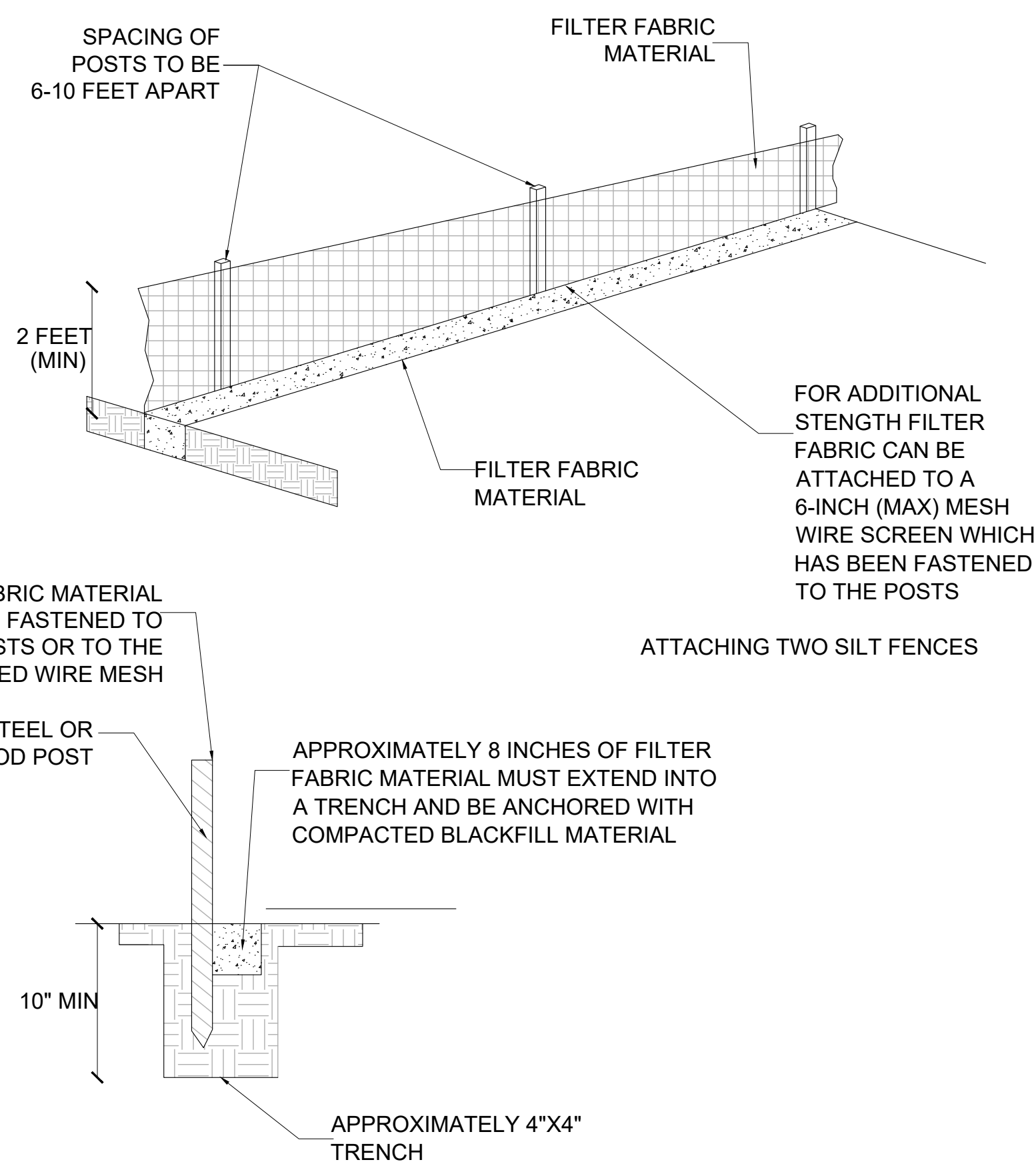
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
SCALE: 1/8" = 1'-0"

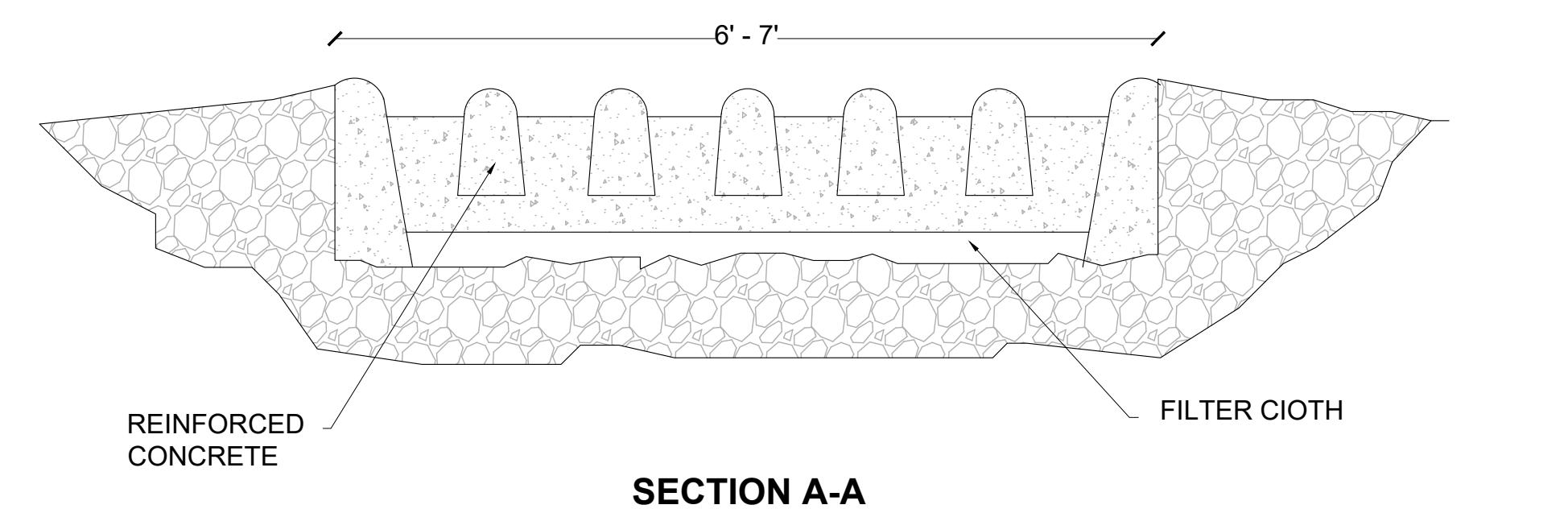
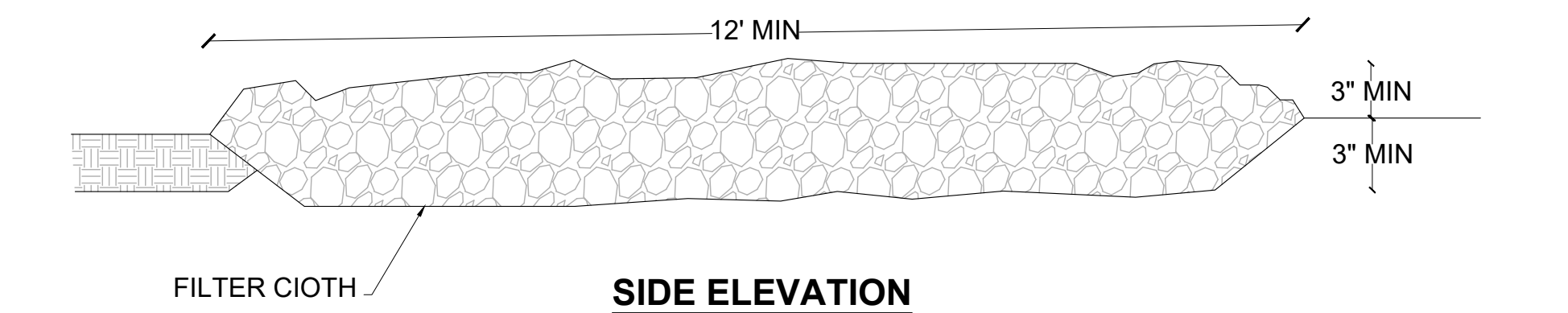
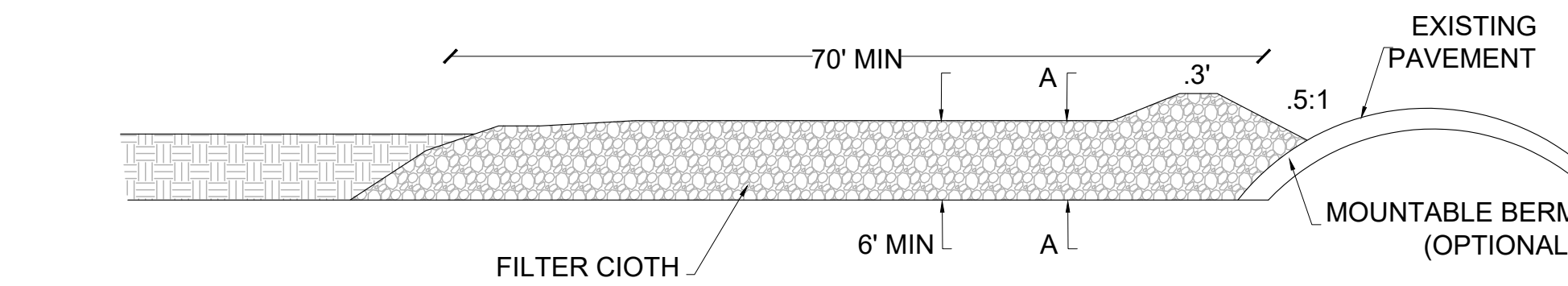
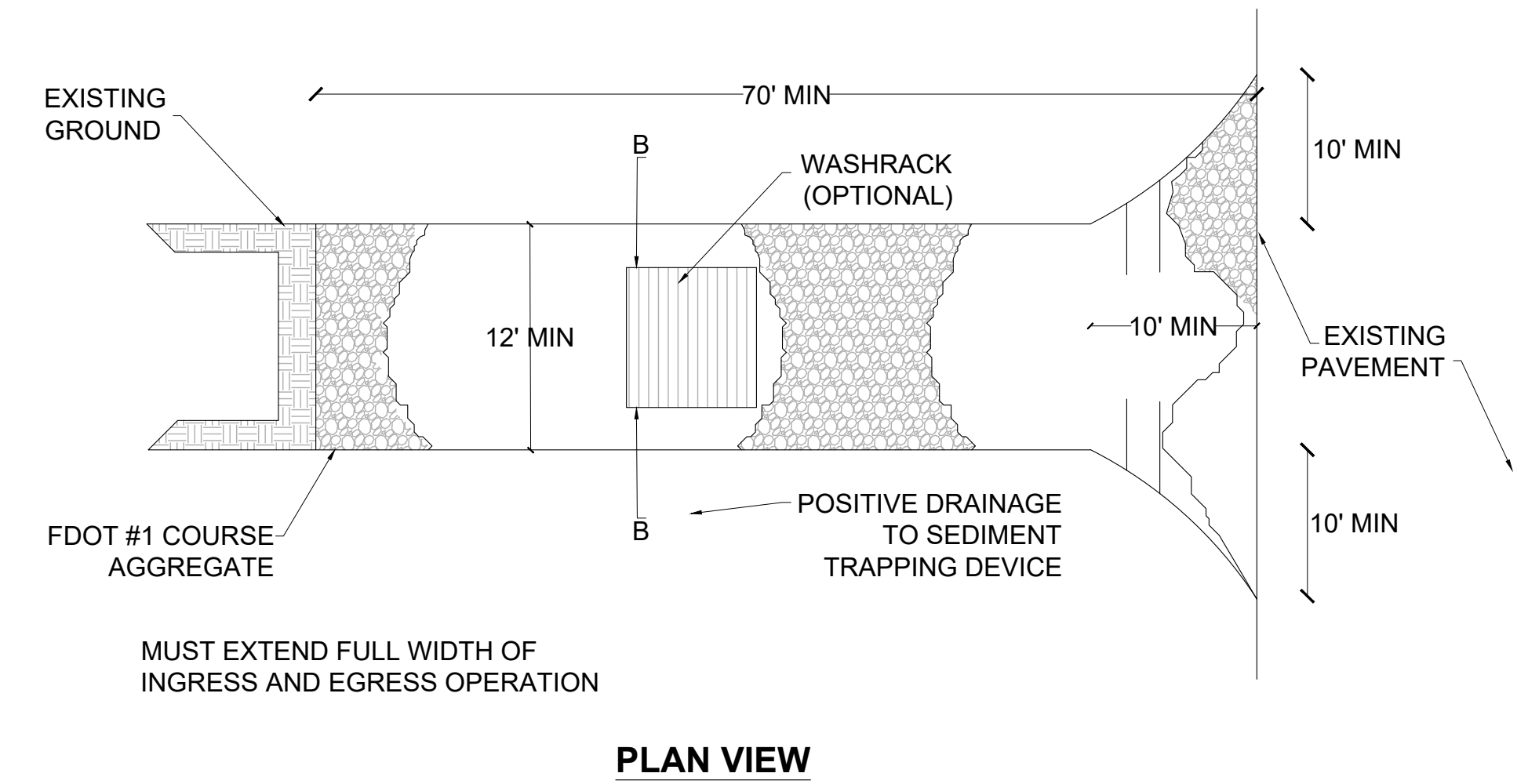


- NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

C SILT FENCE DETAIL
SCALE: 1/8" = 1'-0"



D SILT FENCE INSTALLATION DETAIL
SCALE: 1/8" = 1'-0"



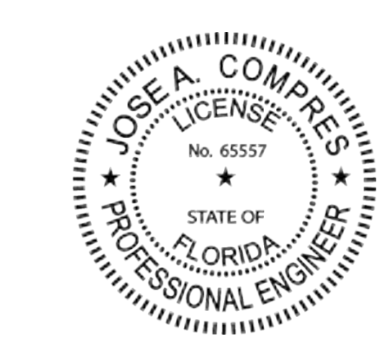
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC MAINTENANCE AS CONDITIONS DEMAND, AND THE REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENTS.
 2. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 3. LOOK FOR SIGNS OF TRUCKS AND TRAILERED EQUIPMENT "CUTTING CORNERS" WHERE THE CONSTRUCTION EXIT MEETS THE ROADWAY. SWEEP THE PAVED ROAD AS NEEDED.

B CONSTRUCTION ENTRANCE WITH WASH RACK
SCALE: 1/8" = 1'-0"

REVISIONS	DATE

DATE:	8/21/2020
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DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:
SWPPP DETAILS



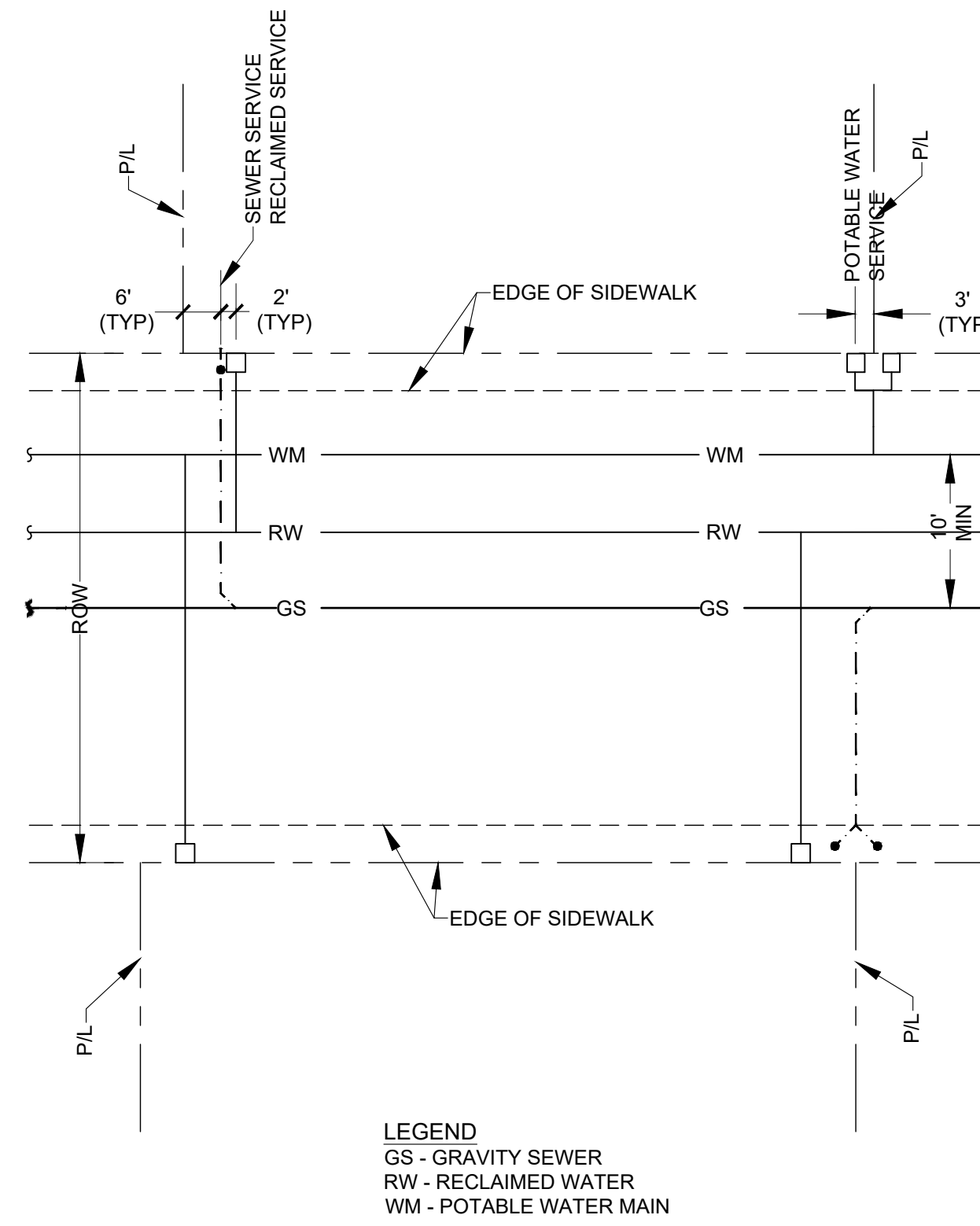
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1. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES THAT HAVE FACILITIES WITHIN THE PROJECT AREA.
2. THE ABOVE NOTICE SHALL APPEAR ON THE COVER SHEET OF ALL CONSTRUCTION PLANS SUBMITTED TO THE COUNTY.

A UTILITIES LOCATES NOTE

SCALE: NTS



NOTE: LOCATION OF SERVICES CAN BE MODIFIED WITH WWS APPROVAL.

B UTILITIES LOCATION DETAIL

SCALE: NTS

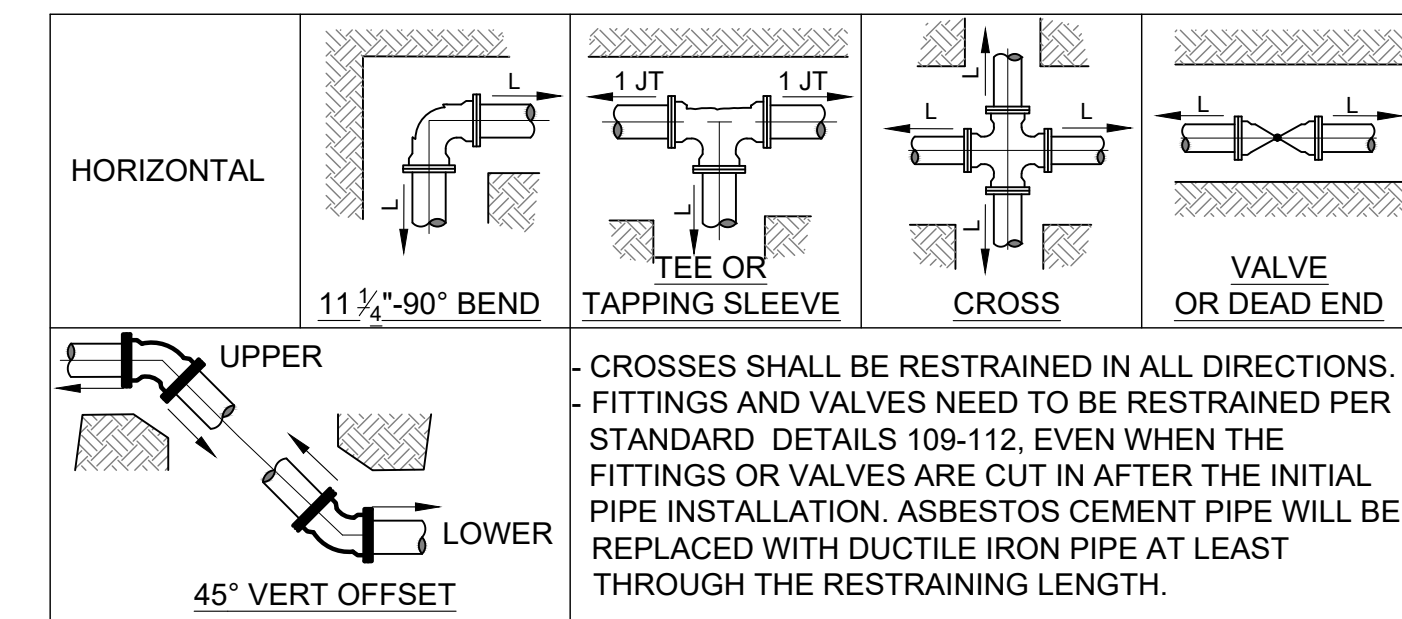
WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1) (4)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum
VACUUM SANITARY SEWER	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches min	Alternate 3 ft. minimum
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	Water Main 10 ft. preferred 6 ft. minimum	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft. minimum		

- (1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
 - (2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - (3) 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- (4) 18" VERTICAL MINIMUM SEPARATION REQUIRED BY WWS, UNLESS OTHERWISE APPROVED.**

C WATER MAIN SEPARATION DETAILS

SCALE: NTS



DUCTILE IRON PIPE

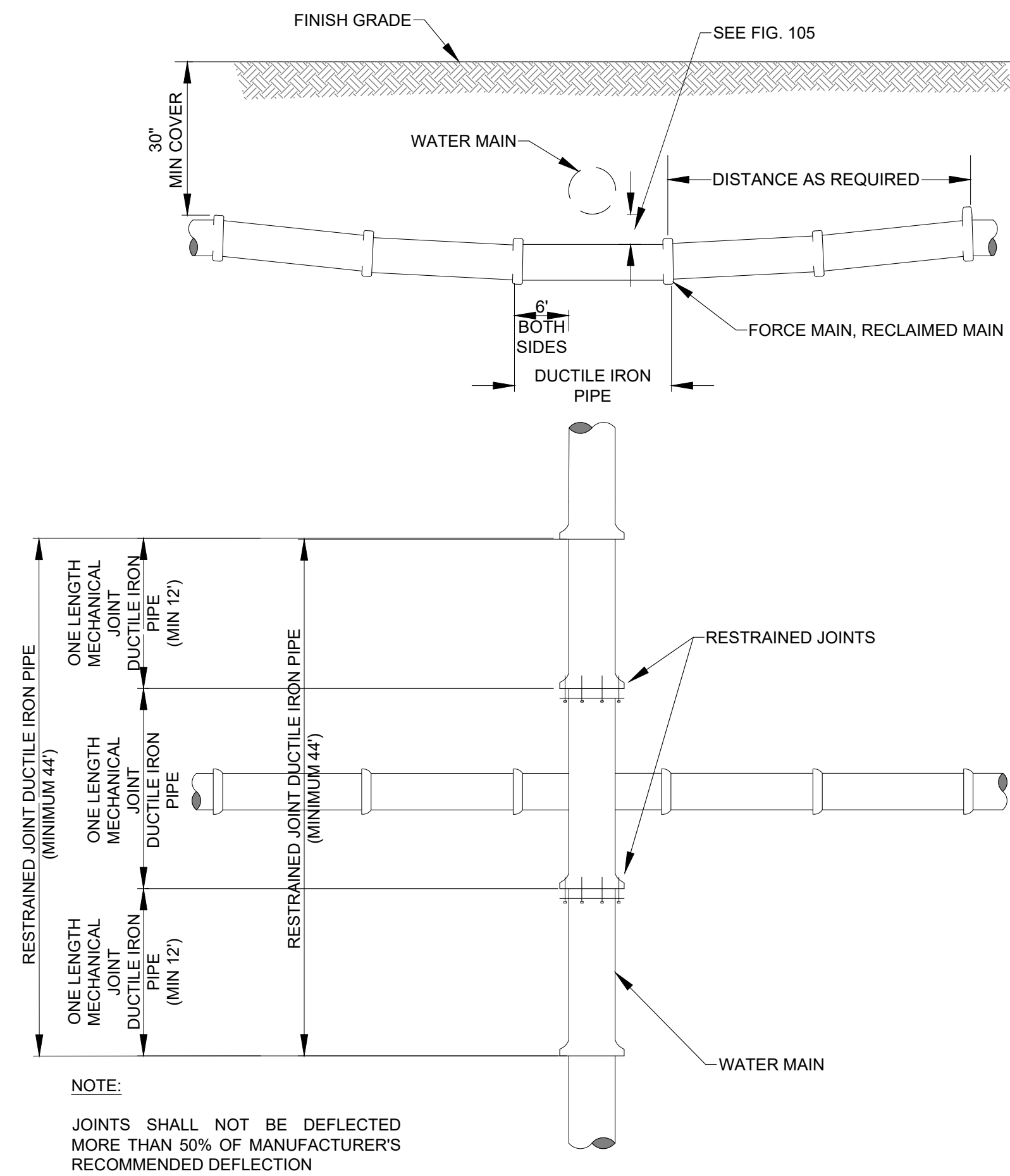
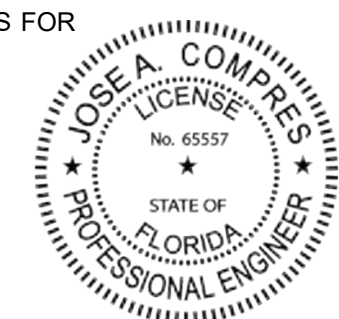
Diameter	HORIZONTAL, L (FEET)				45° VERTICAL OFFSET (FEET)	
	11 1/2"	22 1/2"	45"	90"	UPPER	LOWER
4	1	2	4	10	9	4
6	2	3	6	14	15	5
8	2	4	8	17	23	7
10	2	5	9	21	30	8
12	3	5	10	24	38	9

PVC PIPE

Diameter	HORIZONTAL, L (FEET)				45° VERTICAL OFFSET (FEET)	
	11 1/2"	22 1/2"	45"	90"	UPPER	LOWER
4	2	3	5	12	11	5
6	2	4	7	16	23	6
8	3	5	9	21	37	8
10	3	5	11	25	48	9
12	3	6	12	29	61	11

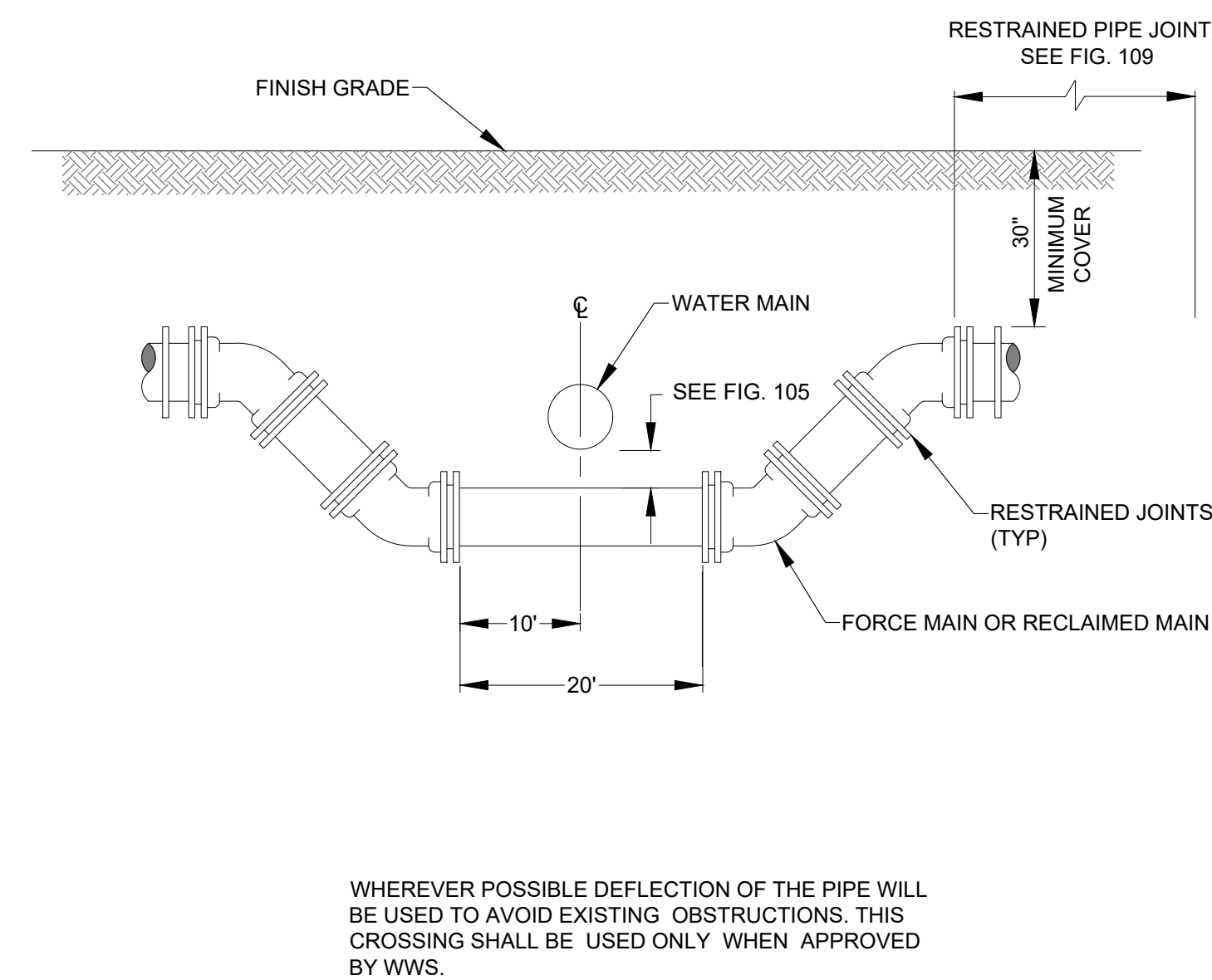
THE NOTED REQUIREMENTS WERE CALCULATED IN ACCORDANCE WITH THRUST RESTRAINT CALCULATOR V7.2 BY EBAA IRON WITH THE FOLLOWING ASSUMPTIONS:
SOIL CONDITIONS: SW OR GW: NOMINAL SIZE EQUALS BRANCH SIZE; LENGTH ALONG RUN EQUALS 4 FEET
LAYING CONDITION: 4. SAND BEDDING, BACKFILL COMPACTED > 80%; VERTICAL LOW SIDE DEPTH EQUALS 3.5 FEET
MINIMUM COVER: 3.0 FT SAFETY FACTOR: 1.5 BARE PIPE (NO POLY WRAP)
IF FIELD CONDITIONS DIFFER FROM THE ABOVE, CONTRACTOR SHALL NOTIFY WWS.
FOR PIPE LARGER THAN INCLUDED IN THE ABOVE TABLES, ENGINEER OF RECORD SHALL SUBMIT CALCULATIONS FOR EACH JOINT REQUIRING RESTRAINT.

SINGLE FITTING RESTRAINED JOINT
150 PSI TEST PRESSURE



D STANDARD UTILITIES CROSSING DETAILS

SCALE: NTS



E SPECIAL UTILITIES CROSSING DETAILS

SCALE: NTS

F RESTRAINED JOINT REQUIREMENTS SINGLE FITTING DETAIL

SCALE: NTS

CONEMCO
CONSULTANTS

782 NW 42ND AVENUE UNIT 635
NORTH TOWER, MIAMI, FL 33126
MAIN NUMBER 786-536-1536

CA # 29447

JOSE A. COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

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DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020
CLIENT/OWNER NAME:
DTD 190, LLC

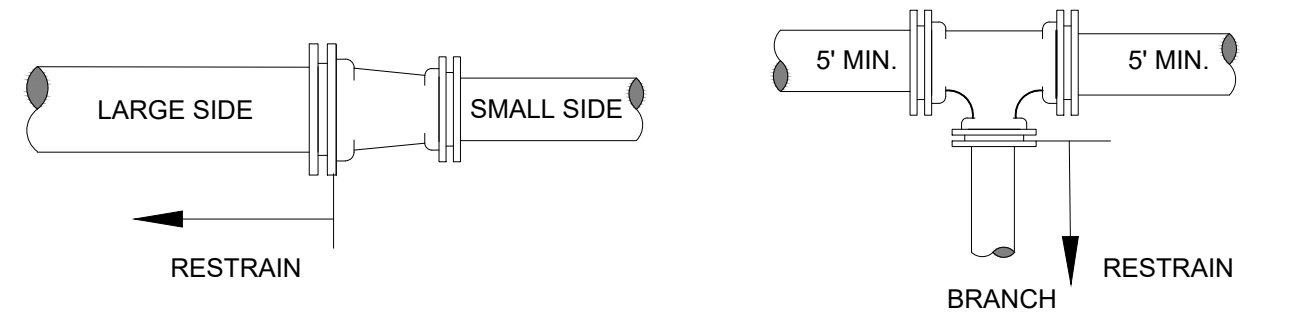
REVISIONS	DATE

DATE:	8/21/2020
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CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO:	-

SHEET NAME:
GENERAL WATER AND SEWER DETAILS

DRAWING NO.
C-505
Sheet No.
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STRAIGHT REDUCER **TEE REDUCER**

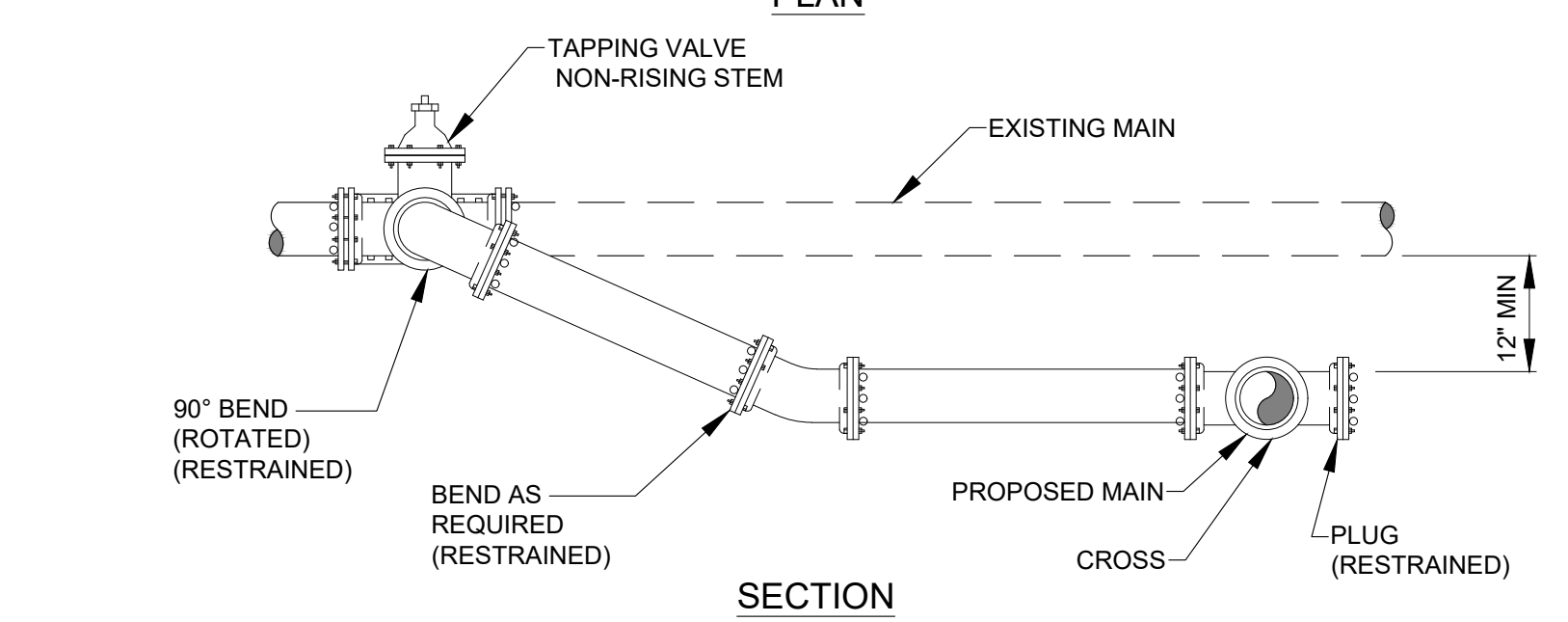
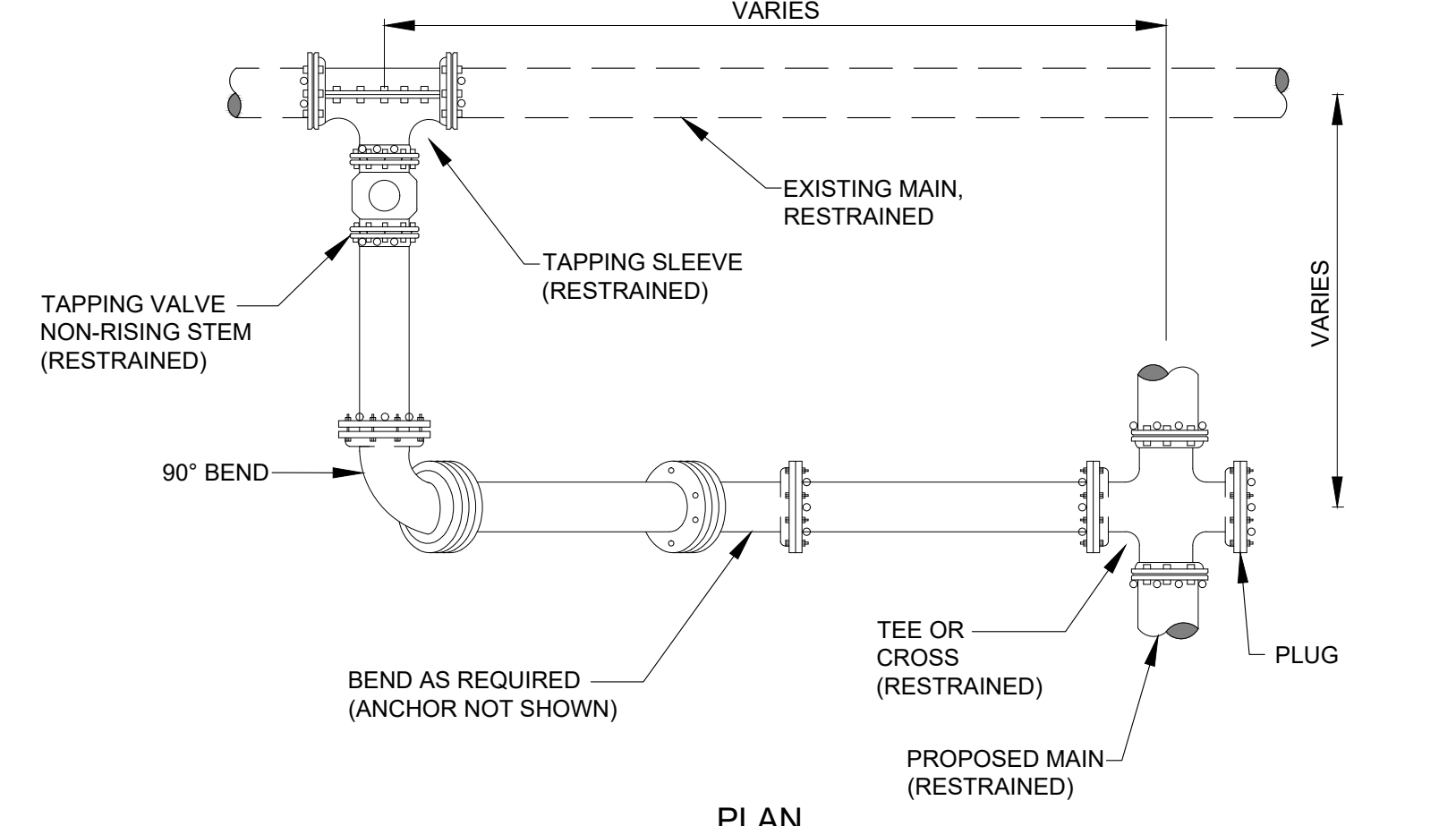
DUCTILE IRON PIPE				
DIAMETER	6"	8"	10"	12"
4"	15'	27'	36'	45'
6"		16'	27'	38'
8"			15'	28'
10"				16'

PVC PIPE				
DIAMETER	6"	8"	10"	12"
4"	24'	43'	58'	72'
6"		25'	44'	61'
8"			24'	44'
10"				25'

THE NOTED REQUIREMENTS WERE CALCULATED IN ACCORDANCE WITH THRUST RESTRAINT CALCULATOR V7.2 BY EBAA IRON WITH THE FOLLOWING ASSUMPTIONS:
 SOIL CONDITIONS: SW OR GW, LENGTH ALONG RUN EQUALS 4 FEET
 LAYING CONDITION: 4, SAND BEDDING, BACKFILL COMPACTED > 80%
 MINIMUM COVER: 3.0 FT; SAFETY FACTOR: 1.5; BARE PIPE (NO POLY WRAP)
 IF FIELD CONDITIONS DIFFER FROM THE ABOVE, CONTRACTOR SHALL NOTIFY WWS.
 FOR PIPE LARGER THAN INCLUDED IN THE ABOVE TABLES, ENGINEER OF RECORD SHALL SUBMIT CALCULATIONS FOR EACH JOINT REQUIRING RESTRAINT.

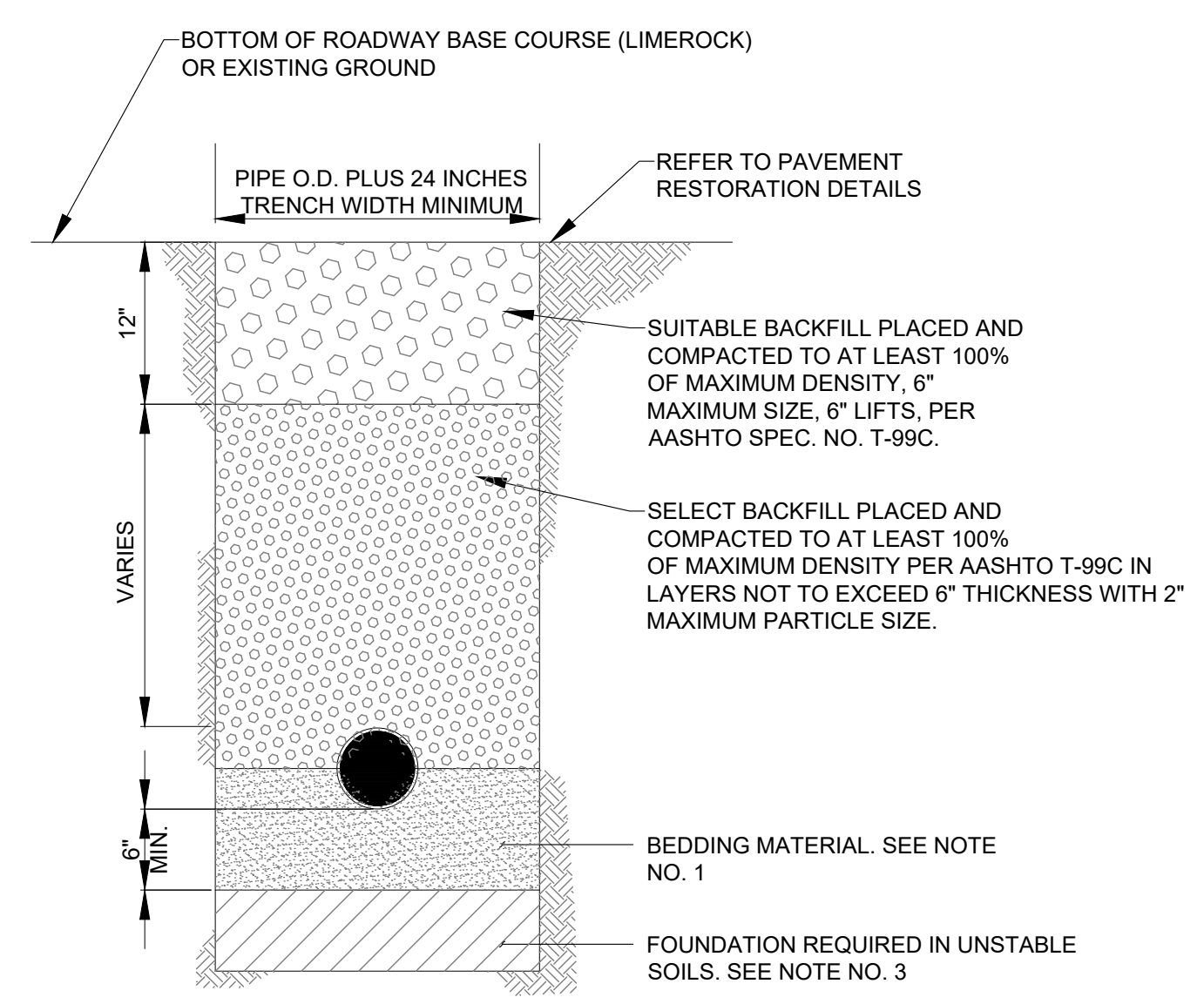
RESTRAINED REDUCING FITTING
150 PSI TEST PRESSURE

A RESTRAINED JOINT REQUIREMENTS
REDUCING FITTING DETAIL SCALE: NTS



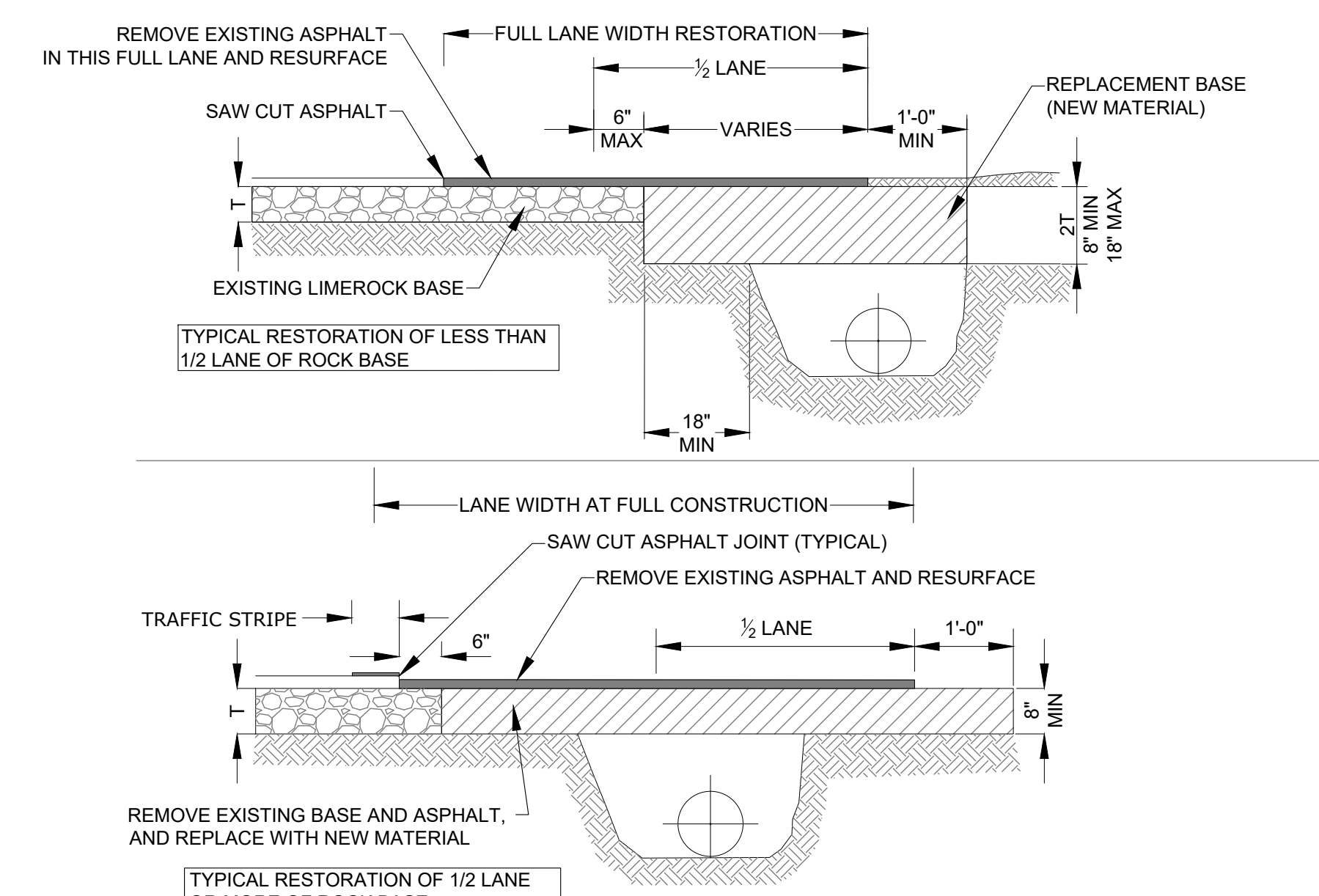
ALL JOINTS TO BE RESTRAINED BY APPROVED METHODS.

B CONNECTION TO EXISTING MAIN
DETAIL (TYP.) SCALE: NTS



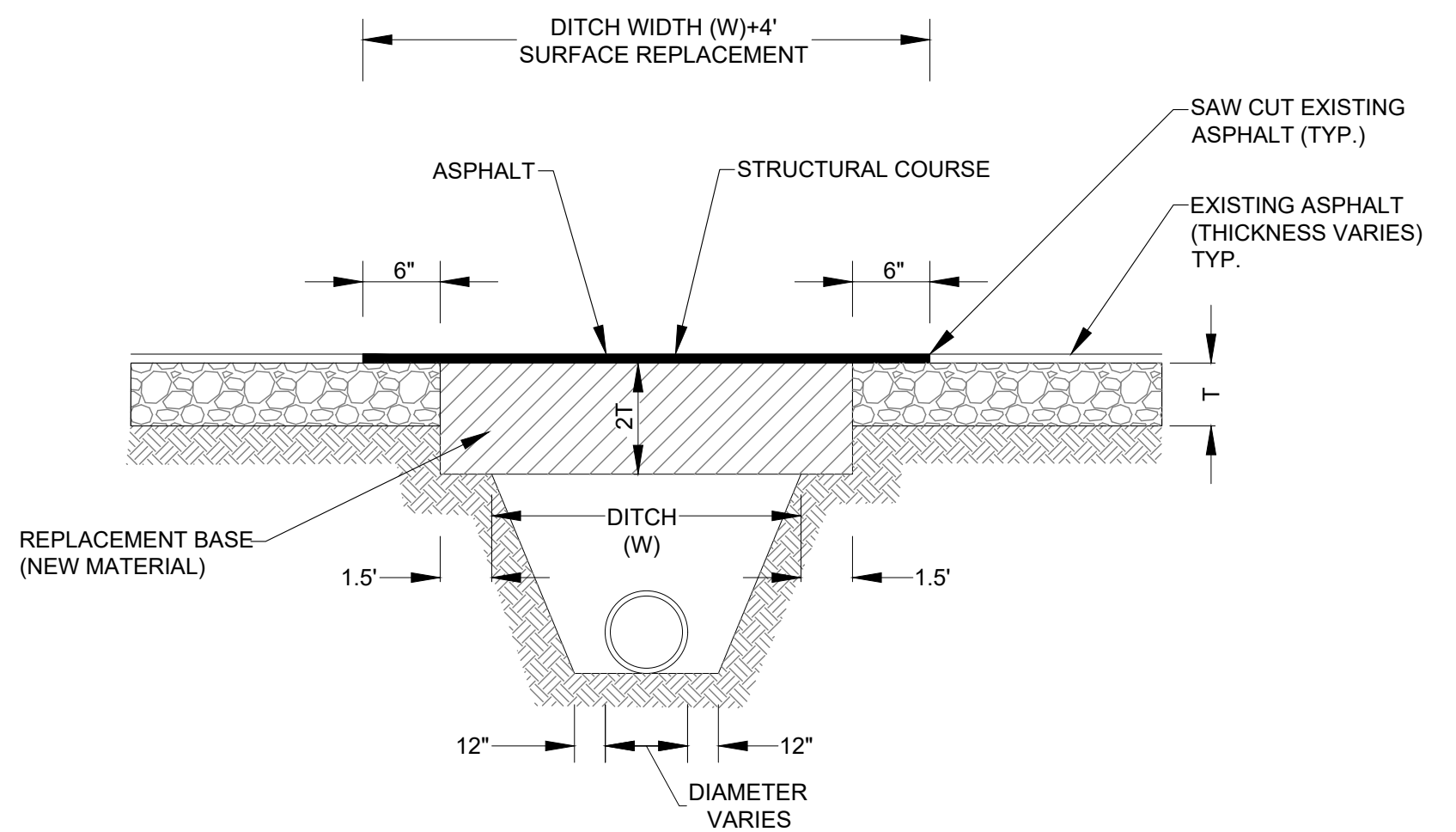
- NOTES:
- UNLESS OTHERWISE SPECIFIED, BEDDING MATERIAL SHALL CONSIST OF SELECT BACKFILL MATERIAL 2" MAXIMUM PARTICLE SIZE, COMPACTED TO AT LEAST 100% OF MAX. DENSITY, 6" LIFTS, PER AASHTO SPEC. NO. T-99C.
 - WHERE REQUIRED, SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS.
 - WHERE UNSTABLE SOILS ARE ENCOUNTERED, INCLUDING PEAT, MUCK OR OTHER ORGANIC SOILS, ELASTIC SILT AND CLAYS, A FOUNDATION IS REQUIRED AS DETERMINED BY THE ENGINEER OF RECORD.

C TRENCH BACKFILL DETAIL (TYP.)
SCALE: NTS



- NOTES:
- BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
 - BASE SHALL BE PLACED IN 6" MAXIMUM THICKNESS LAYERS WITH EACH LAYER COMPACTED AS REQUIRED AND TESTED PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
 - SUBGRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LBR OF 40.
 - BACKFILL SHALL BE PLACED AND COMPACTED IN 6" LAYERS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED UTILITY.
 - ALL EDGES OF EXISTING ASPHALT PAVEMENT THAT ABUT RESURFACING SHALL BE SAW CUT IN STRAIGHT LINES PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO RESURFACING.
 - RESURFACING MATERIAL SHALL BE CONSISTENT WITH SURROUNDING SURFACE, AND SHALL BE APPLIED IN 2 LIFTS, A MINIMUM OF 3/4 INCH.
 - TRAFFIC STRIPES SHALL NOT BE PLACED DIRECTLY ON TOP OF THE JOINT
 - FOR STATE ROADS REFER TO FDOT SPECIFICATIONS AND REQUIREMENTS.
- T = EXISTING LIMEROCK BASE THICKNESS.

D RESTORATION OF ROADWAY CUT FOR PARALLEL
UTILITY INSTALLATION DETAIL SCALE: NTS



- NOTES:
- BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL.
 - BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM LAYERS (LOOSE MEASUREMENT) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
 - ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAW CUT.
 - SURFACE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE MATERIAL.
 - BASE MATERIAL SHALL HAVE A MINIMUM CARBONATE OF 70%.
 - SUB GRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LBR OF 40.
 - IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" THICK ASPHALT CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING, UNTIL REPLACED WITH A PERMANENT PATCH.
 - FOR STATE ROADS REFER TO FDOT SPECIFICATIONS AND REQUIREMENTS.
- T = EXISTING LIMEROCK BASE THICKNESS.

E RESTORATION OF ROADWAY CUT FOR PERPENDICULAR
UTILITY INSTALLATION DETAIL SCALE: NTS

GONEMCO
CONSULTANTS

782 NW 42ND AVENUE UNIT 635
NORTH TOWER, MIAMI, FL 33126
MAIN NUMBER 786-536-1536

CA # 29447

JOSE A. COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

REVISIONS	DATE

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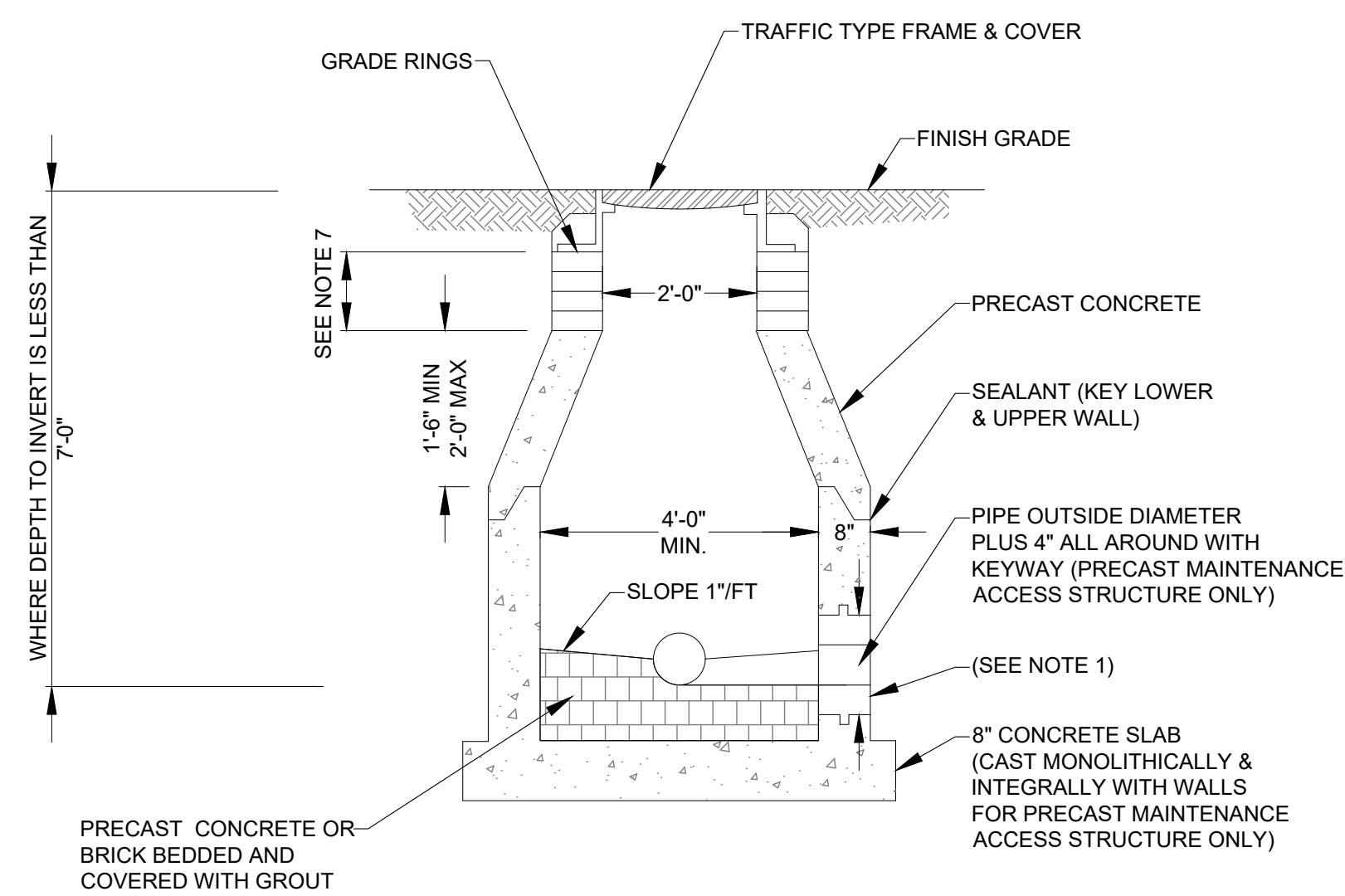
SHEET NAME:
GENERAL WATER AND
SEWER DETAILS

DRAWING NO.
C-506

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19 OF 23

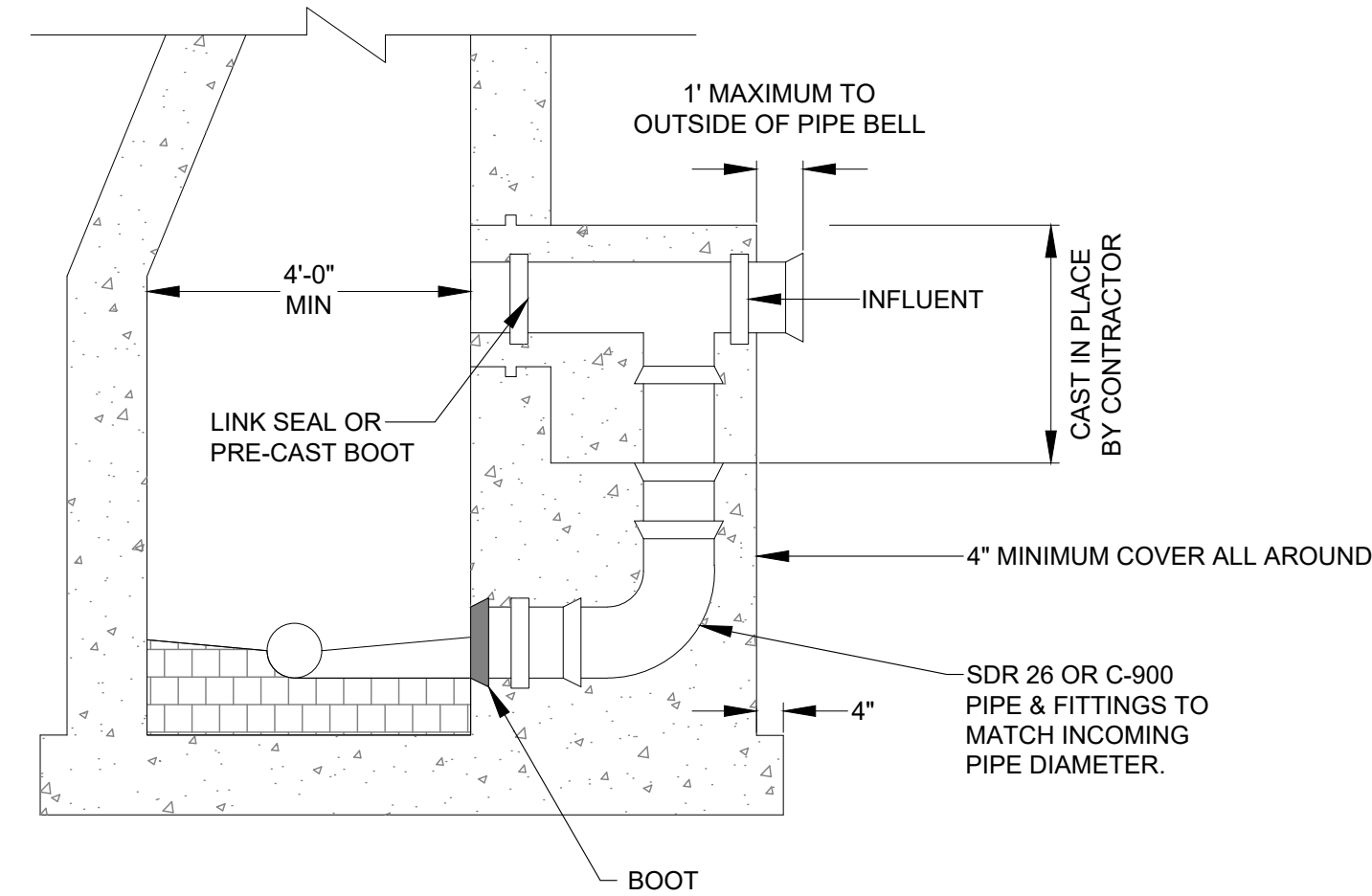


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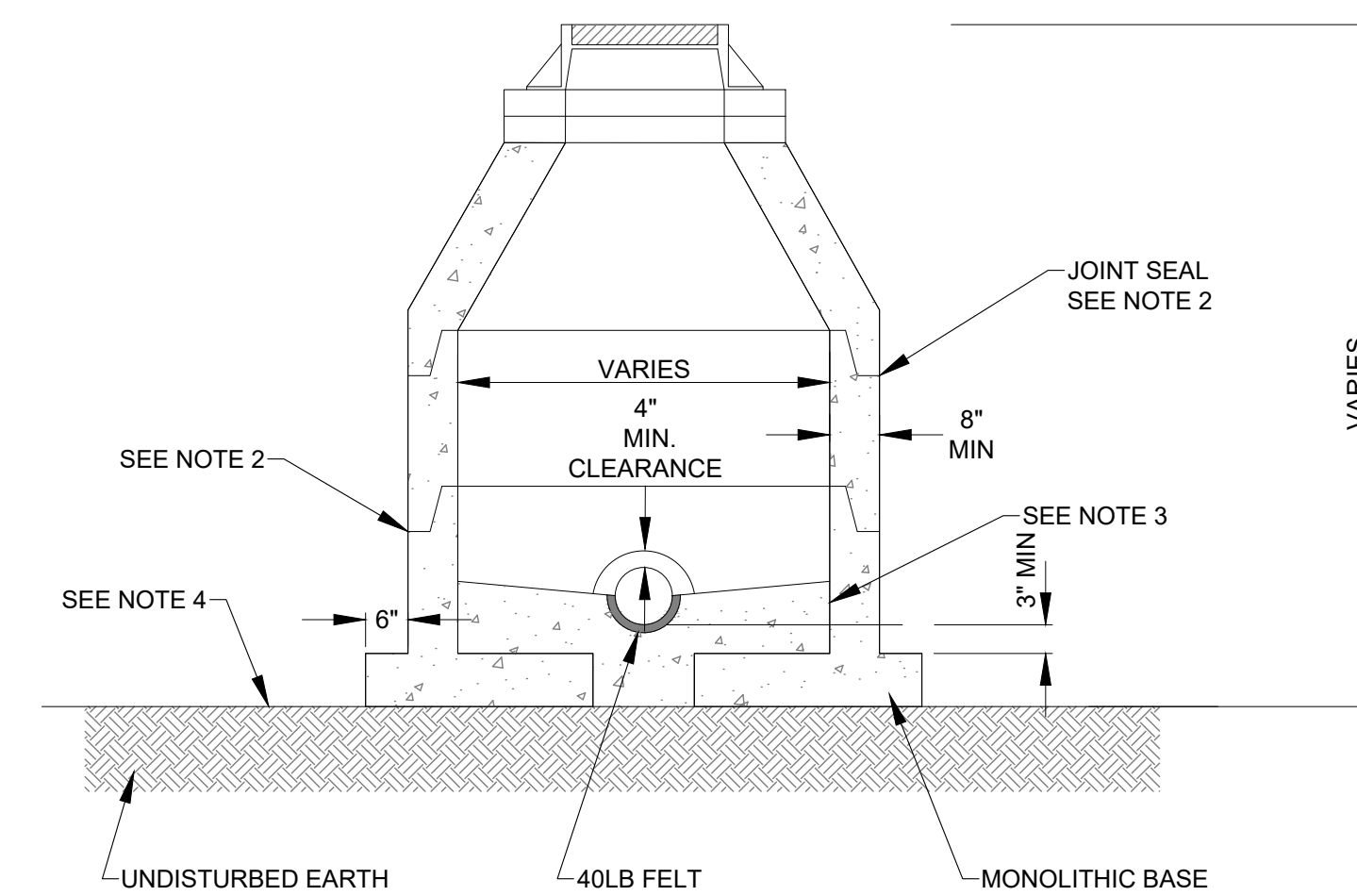
1. MAINTENANCE ACCESS STRUCTURE ADAPTOR COUPLING NEOPRENE BOOT OR APPROVED EQUAL ARE REQUIRED FOR ALL PIPE MATERIAL OR AS APPROVED BY WWS.
2. MAINTENANCE ACCESS STRUCTURE WALLS TO BE SEAL COATED INSIDE AND OUTSIDE WITH 16 MIL. THICKNESS OF COAL TAR EPOXY. THE 1st COAT IS RED AND THE 2nd COAT IS BLACK.
3. LIFT HOLES THROUGH PRECAST SECTIONS PERMITTED PER OSHA REQUIREMENTS.
4. ALL OPENINGS SHALL BE SEALED WITH WATERPROOF EXPANDING GROUT. SEE FIG. 322
5. A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MAINTENANCE ACCESS STRUCTURE TO DIRECT INFLUENT INTO FLOW STREAM.
6. ALL CONCRETE SHALL BE TYPE II CEMENT, MEETING LATEST ASTM REQUIREMENTS AND PROVIDED WITH LABORATORY CERTIFICATION ON PRECAST STRUCTURES.
7. THE CHIMNEY AREA SHALL BE MINIMUM OF 4" AND A MAXIMUM OF 12" IN HEIGHT. A MINIMUM OF 3 GRADE RINGS SHALL BE INSTALLED. SET IN 2 STRIPS OF BUTYL JOINT SEALANT STRIPS ON EACH SEALING FACE.
8. SET MAINTENANCE ACCESS STRUCTURE FRAME ON 2 STRIPS OF BUTYL JOINT SEALANT STRIPS PLUS A BED OF PORTLAND CEMENT AND SILICA SAND. APPLY MORTAR ON INSIDE AND OUTSIDE BUTYL JOINT SEALANT.
9. APPLY MORTAR COATING TO INSIDE AND OUTSIDE OF CHIMNEY. BRING MORTAR UP AND OVER FRAME.

A SHALLOW MAINTENANCE ACCESS STRUCTURE DETAIL SCALE: NTS



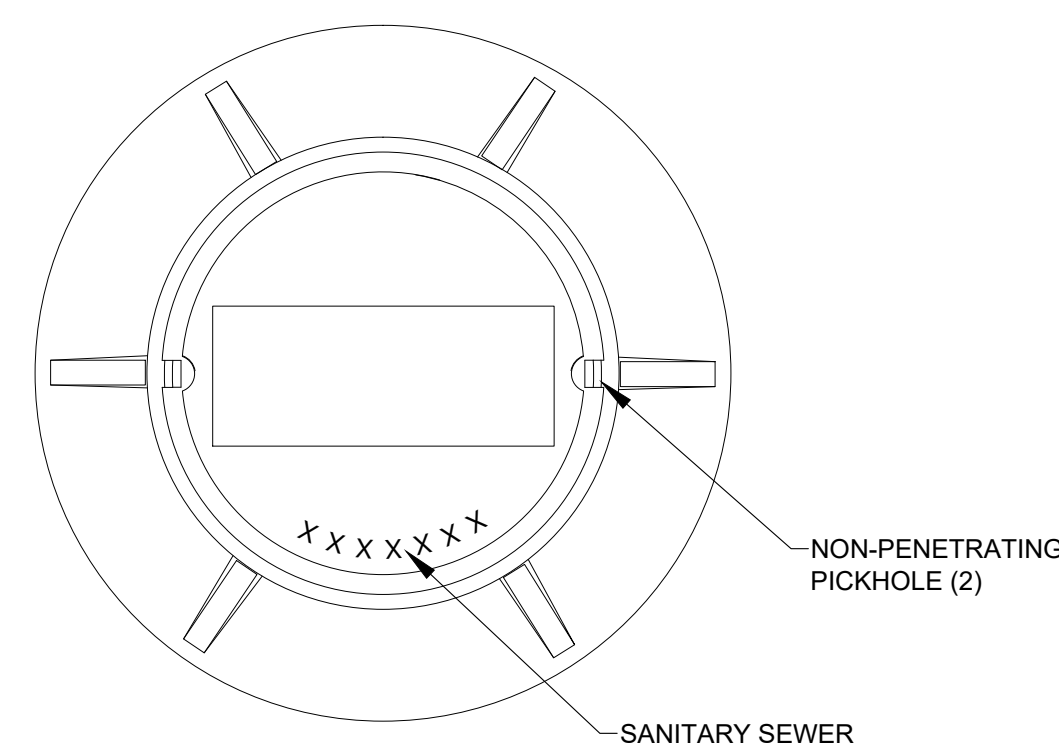
1. THE MANUFACTURER'S PORTION OF THE CONCRETE ENCASEMENT FOR THE DROP CONNECTION SHALL BE POURED INTEGRALLY WITH BOTH THE MAINTENANCE ACCESS STRUCTURE SLAB AND WALL.
2. DROP CONNECTIONS SHALL BE REQUIRED WHENEVER AN INFLUENT SEWER IS LOCATED TWO (2) FEET OR MORE ABOVE THE MAIN INVERT CHANNEL.
3. ALL REQUIREMENTS FOR PRECAST MAINTENANCE ACCESS STRUCTURE WITHOUT DROP CONNECTIONS WILL ALSO APPLY TO PRECAST MAINTENANCE ACCESS STRUCTURE WITH DROP CONNECTIONS. SEE PRECAST MAINTENANCE ACCESS STRUCTURE STANDARD DETAIL FOR OTHER REQUIREMENTS.
4. ALL PIPE TO BE SAME DIAMETER AS INFLUENT SEWER MAIN.

B PRECAST MAINTENANCE ACCESS STRUCTURE DROP CONNECTION DETAIL SCALE: NTS

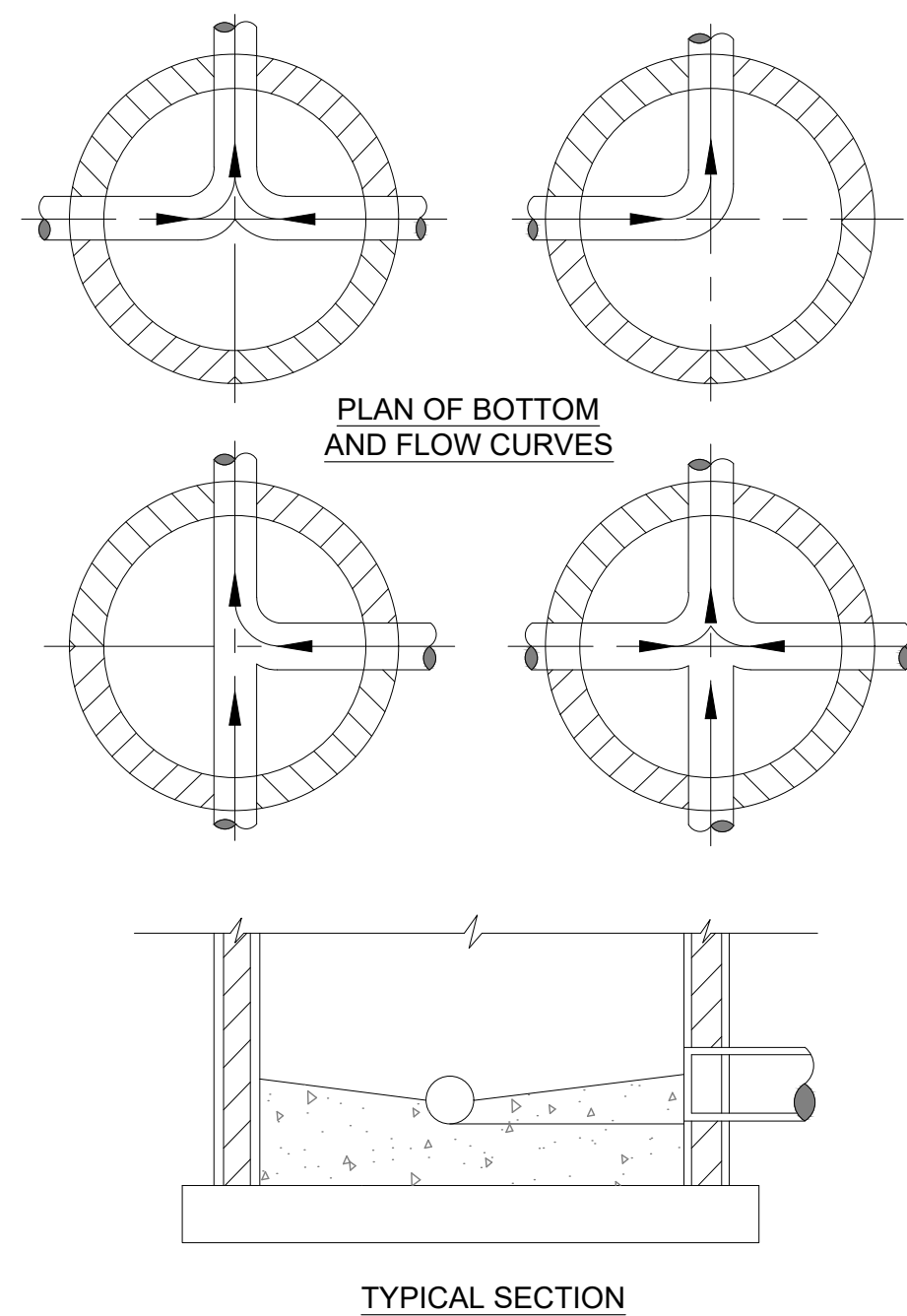


1. SEE FIGURE 315 FOR COVER REQUIREMENTS.
2. "O" RING OR RAM NECK SEAL (KEY LOWER & UPPER WALL).
3. ENTIRE BOTTOM SHALL BE POURED IN PLACE AFTER INSTALLATION OF STRUCTURE. CONCRETE SHALL BE 4,000 PSI, TYPE II.
4. COMPACT BOTTOM OF TRENCH 3' AROUND STRUCTURE TO 100% OF THE MAX-DENSITY AS PER AASHTO-T-99.
5. MAINTENANCE ACCESS STRUCTURE WALLS TO BE SEAL COATED INSIDE AND OUTSIDE WITH 16 MIL. THICKNESS OF COAL TAR EPOXY. THE 1st COAT IS RED AND THE 2nd COAT IS BLACK.

C DOGHOUSE MAINTENANCE ACCESS STRUCTURE DETAIL SCALE: NTS

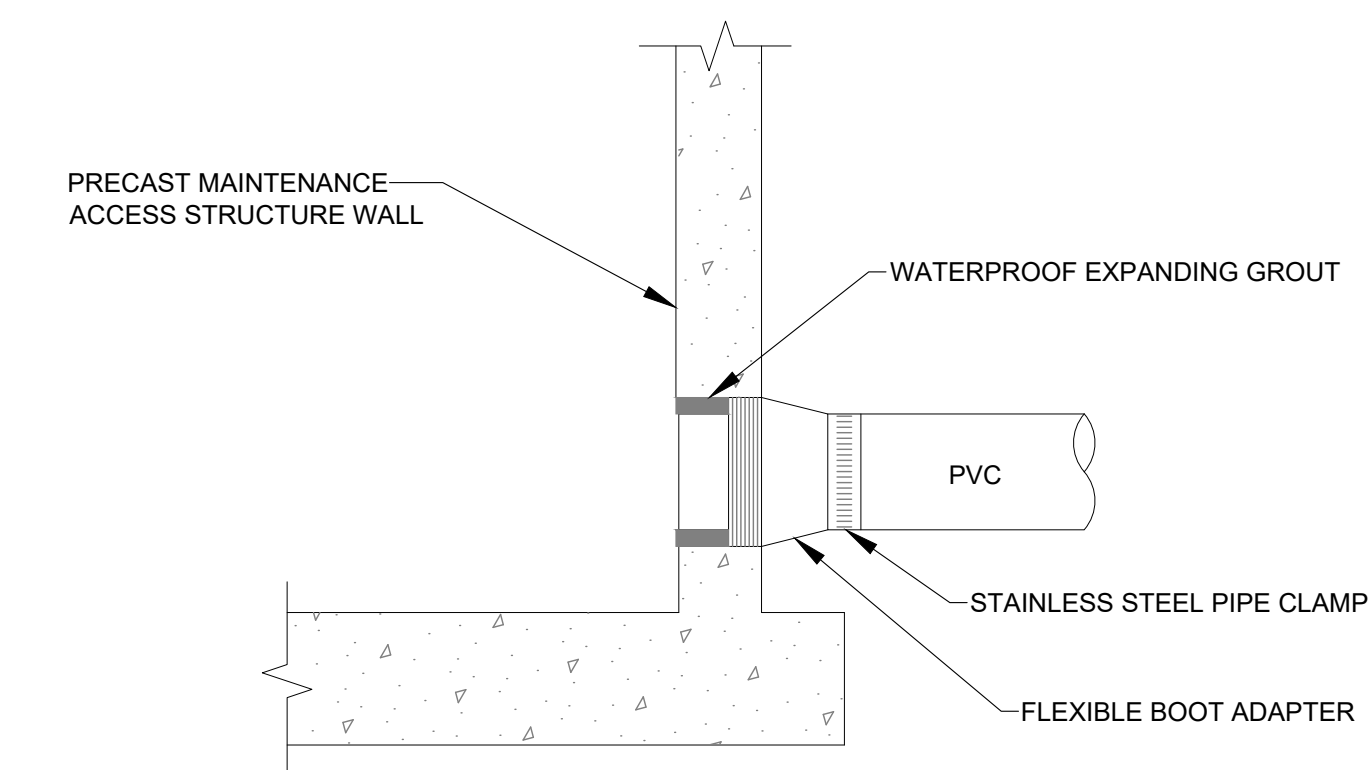


D GRAVITY SEWER MAINTENANCE ACCESS STRUCTURE COVER DETAIL SCALE: NTS



1. PROVIDE SPILLWAY FOR SMOOTH FLOW BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS.
2. SLOPE MAINTENANCE ACCESS STRUCTURE SHELF 1/8" MAINTENANCE ACCESS STRUCTURE WALL TO CHANNEL.
3. INVERT CHANNEL TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
4. CHANNEL SHALL BE PRECAST CONCRETE OR FILLED WITH BRICK COVERED WITH 1" OF MORTAR.

E INVERT CHANNEL FLOWS DIRECTION DETAILS SCALE: NTS



STANDARD PRECAST MAINTENANCE ACCESS STRUCTURE PIPE CONNECTION

WWS MAY APPROVE ALTERNATE WATER TIGHT CONNECTION.

F MAINTENANCE ACCESS STRUCTURE CONNECTION DETAIL SCALE: NTS

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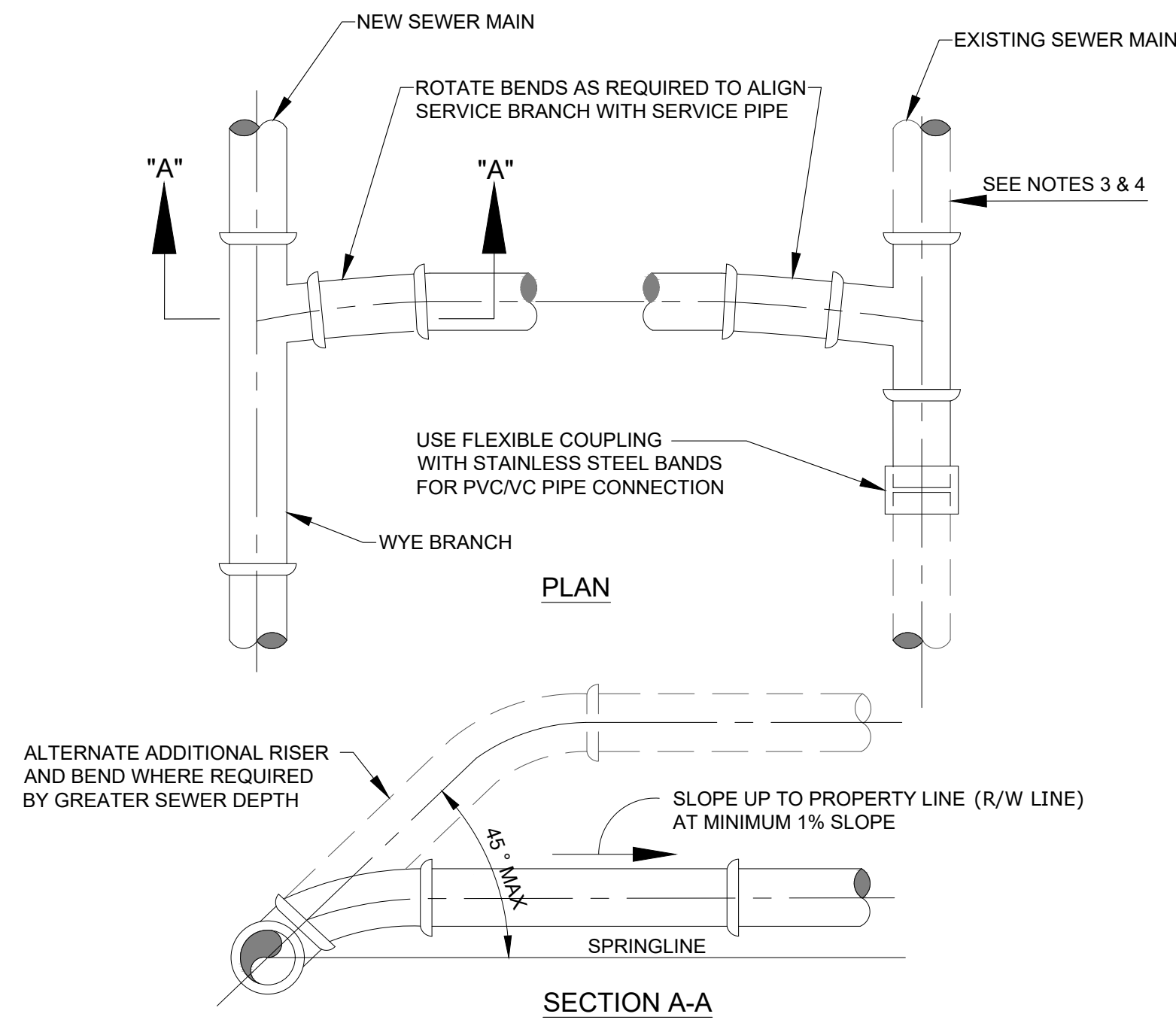
SHEET NAME:
SANITARY SEWER DETAILS

DRAWING NO.
C-507

Sheet No.
20 OF 23

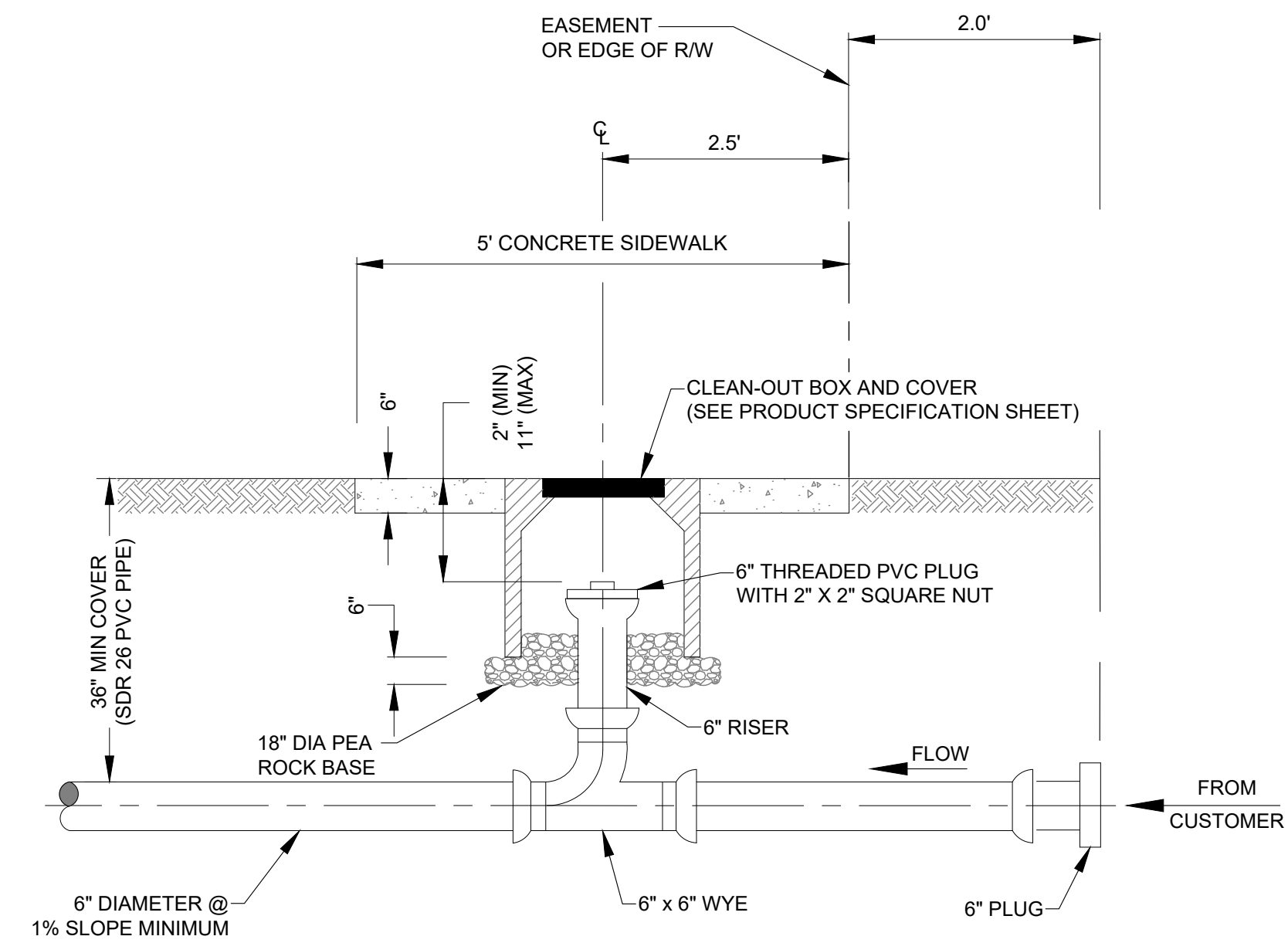


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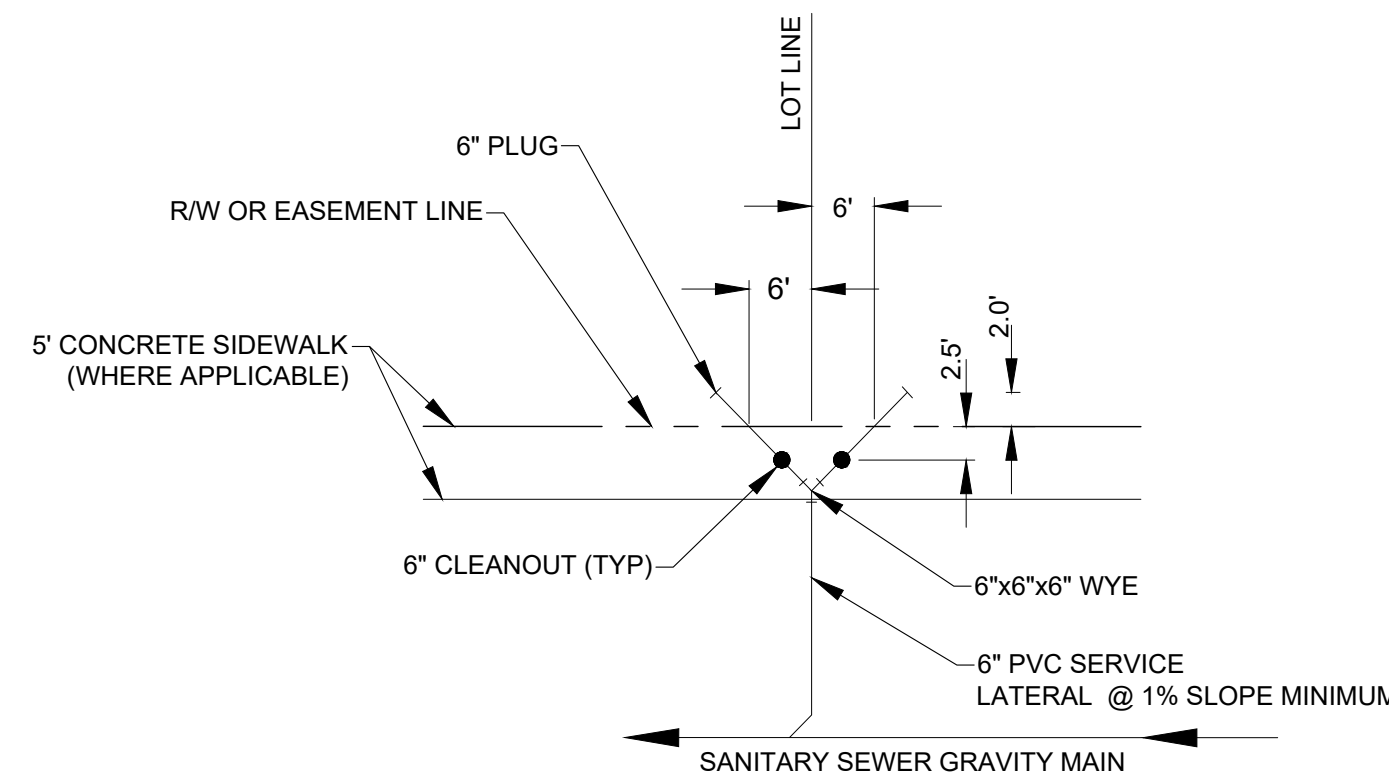
1. SINGLE SERVICE CONNECTIONS SHALL USE 6" SDR 26 PVC PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS MORE THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.
4. RIGID COUPLINGS MAY BE USED IN LIEU OF FLEXIBLE COUPLINGS.
5. MAINTAIN 36" MINIMUM COVER FROM TOP OF SERVICE TO FINISH GRADE; WHERE NOT TECHNICALLY FEASIBLE CONTACT WWS ENGINEERING.
6. PVC SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH MINIMUM STANDARDS OF THE UNI-BELL HANDBOOK OF PVC PIPE DESIGN AND CONSTRUCTION, LATEST EDITION.

A WYE SEWER SERVICE CONNECTION DETAIL
SCALE: NTS

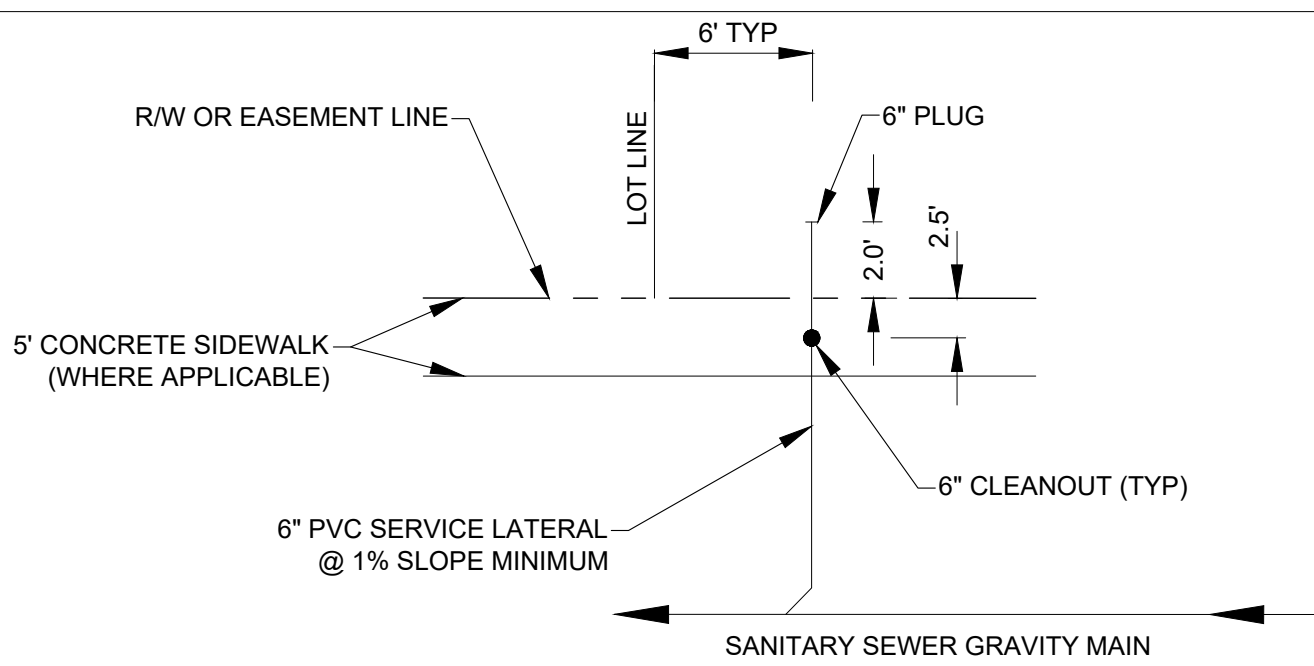


1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THIS DIMENSION WILL VARY DEPENDING UPON THE WIDTH OF THE SIDEWALK. 2.5' APPLIES TO 5' SIDEWALK WIDTH. IF SIDEWALKS DO NOT EXIST, THE CLEAN OUT SHALL BE INSTALLED 2.5' FROM THE RIGHT OF WAY LINE.
2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX WHEN WORKING IN AN AREA WITH EXISTING SIDEWALKS.
3. IN GRASS AREA USE 24"x24" OR 24" DIAMETER CONCRETE COLLAR.

B SEWER SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE PROFILE DETAIL
SCALE: NTS

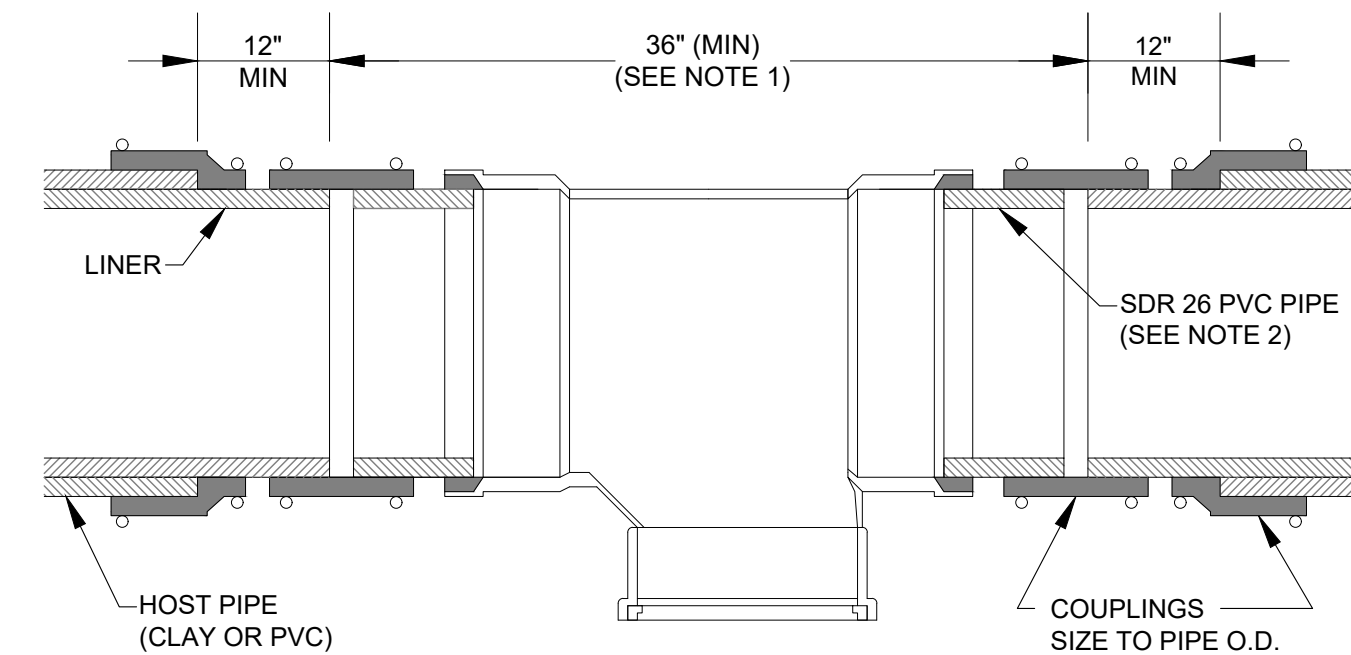


TYPICAL DOUBLE SERVICE LATERAL DETAIL
NTS



TYPICAL SINGLE SERVICE LATERAL DETAIL
NTS

C SEWER SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE PLAN DETAIL
SCALE: NTS



1. FOR MAINS LARGER THAN 8" THIS DIMENSION SHALL BE THE FITTING DIAMETER PLUS 24"
2. FOR DEPTHS GREATER THAN 12 FEET, USE C-900 PVC PIPE

D SERVICE CONNECTION ON LINED GRAVITY SEWER DETAIL
SCALE: NTS

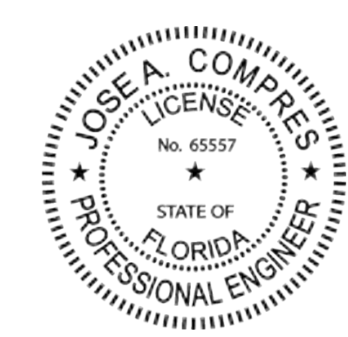
PROJECT NAME:
DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

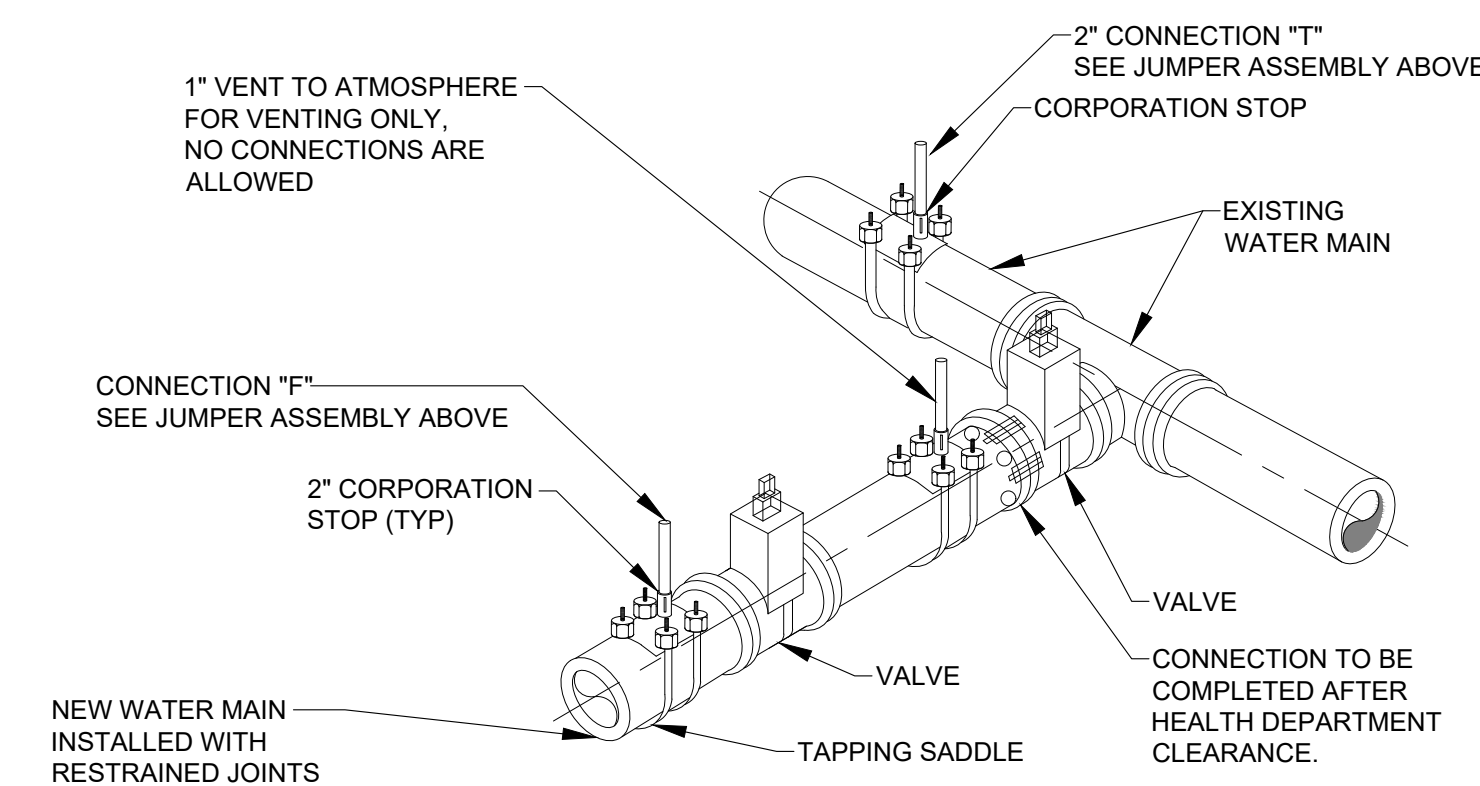
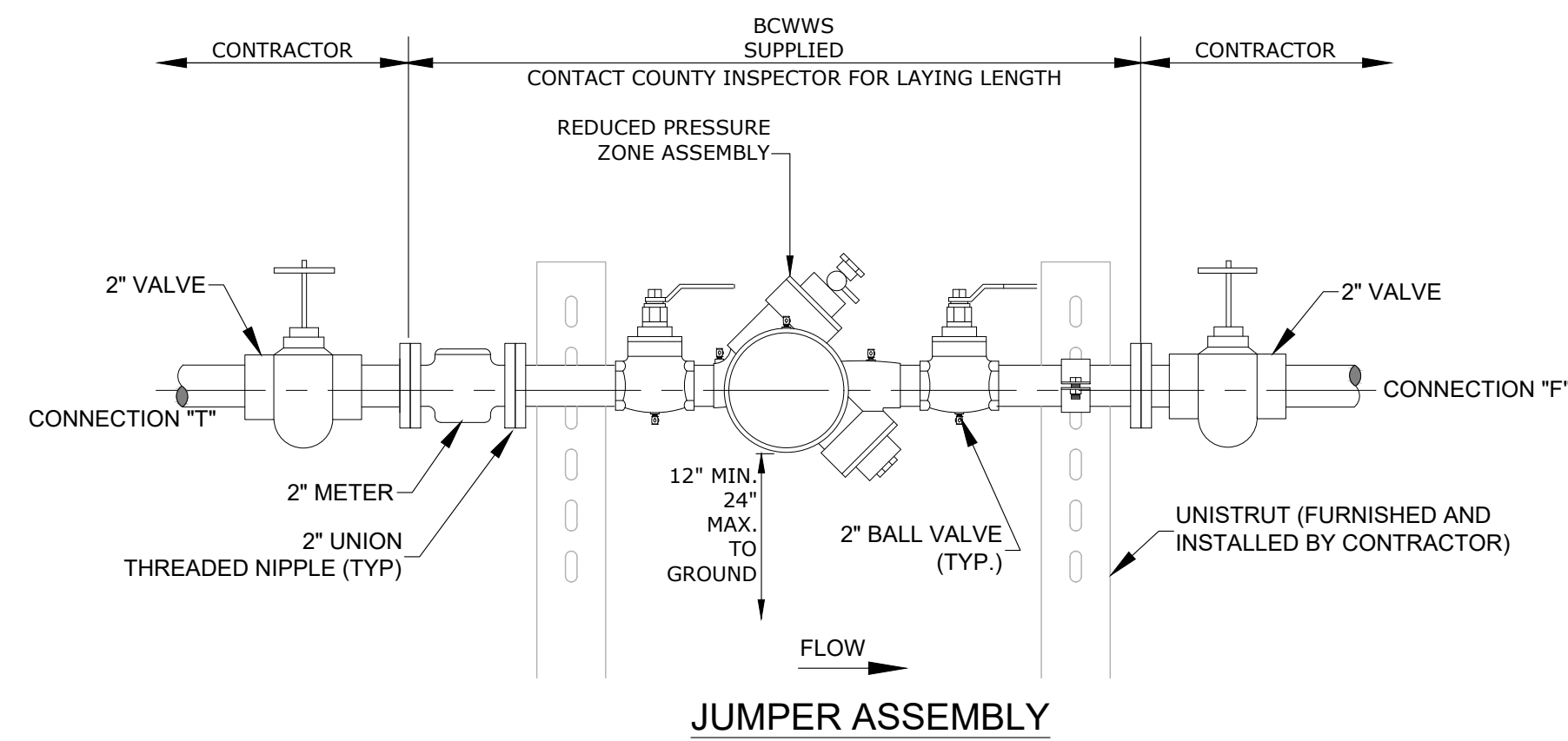
REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:
SANITARY SEWER DETAILS

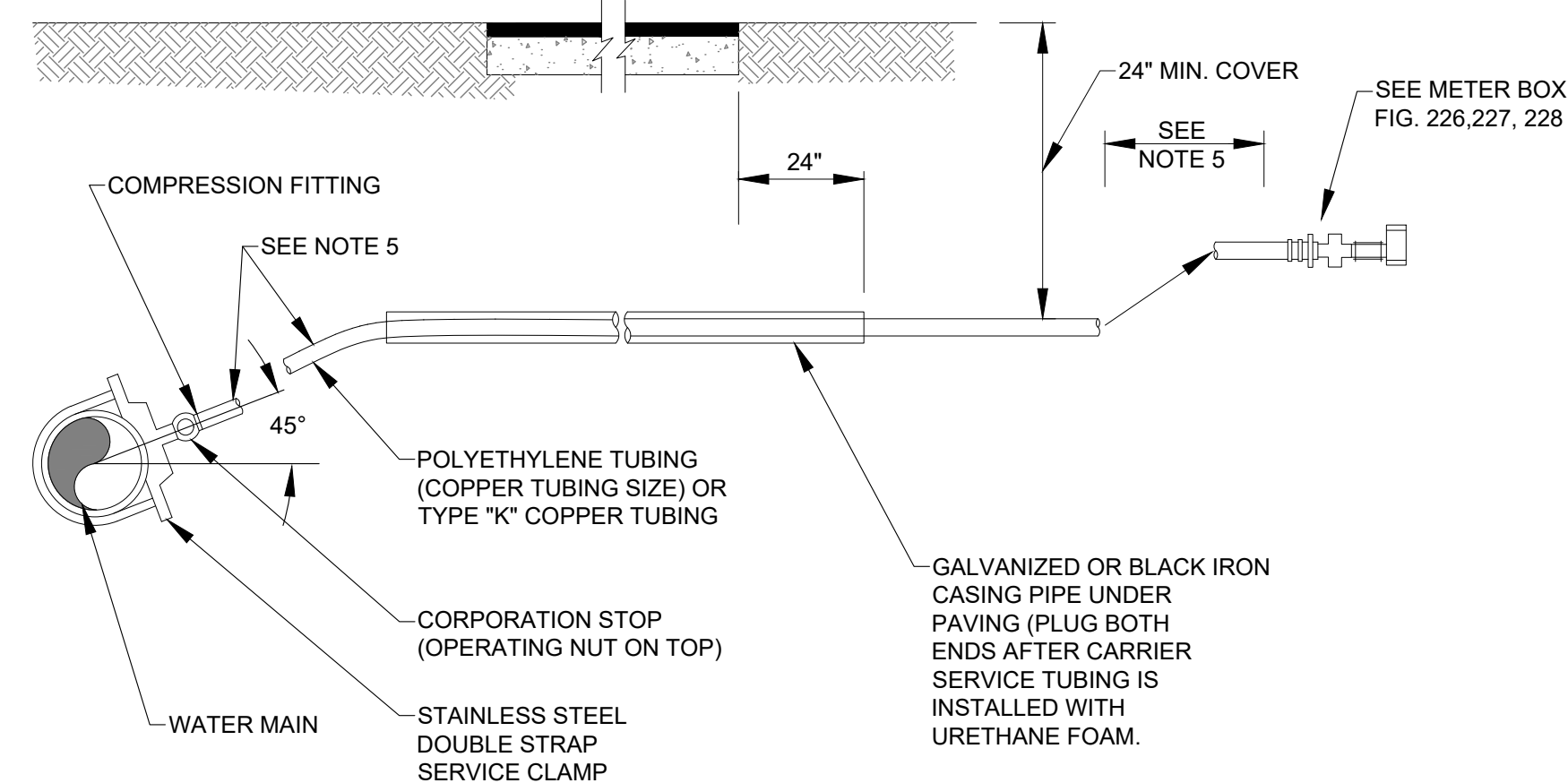


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- NOTES:
1. A BCWWS SUPPLIED FIRE HYDRANT BACKFLOW METER WITH RPZ MAY BE USED IN LIEU OF THE JUMPER ASSEMBLY.
 2. SEE DETAIL 205B FOR ADDITIONAL REQUIREMENTS.

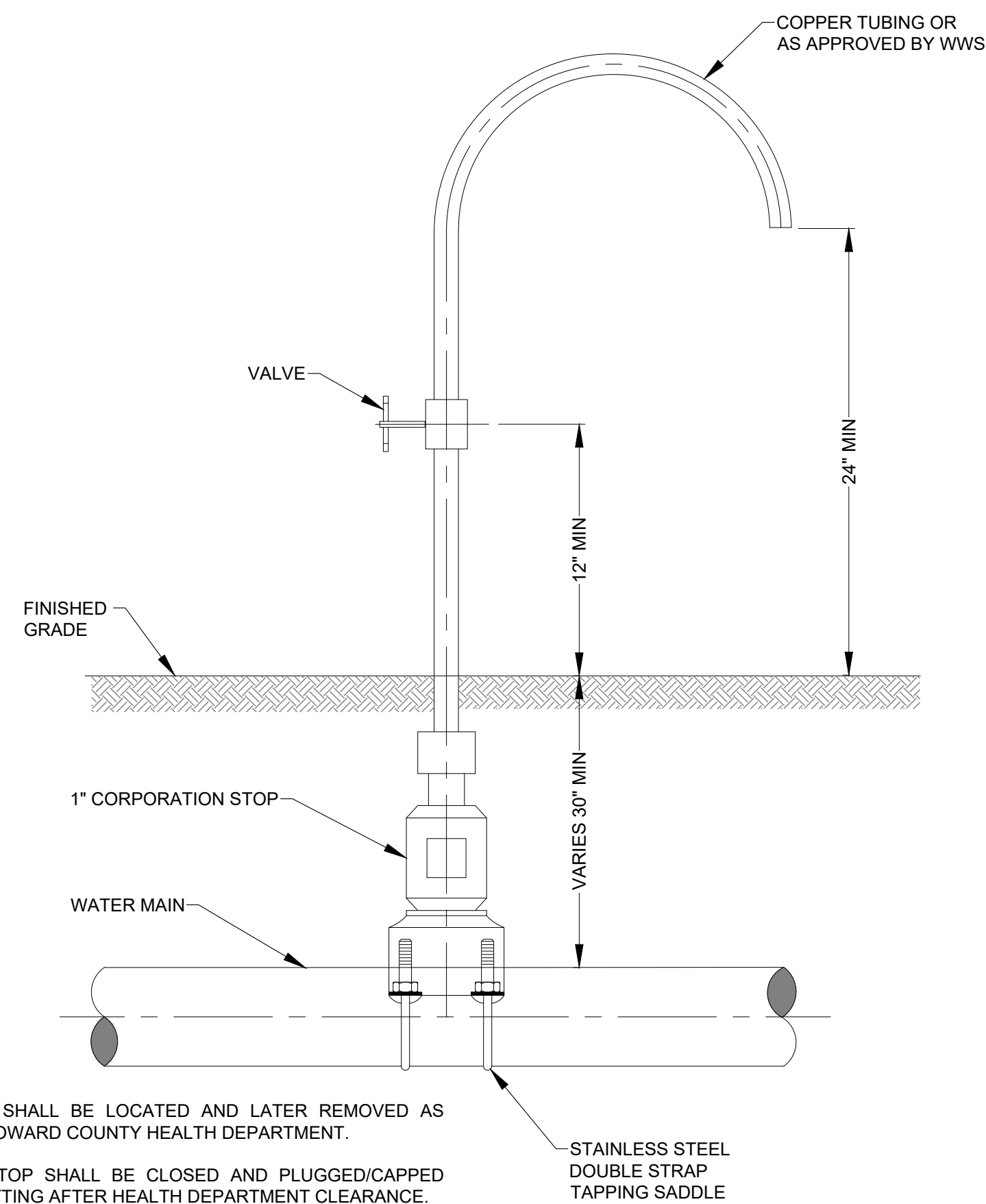
A FILLING AND FLUSHING CONNECTION DETAIL
SCALE: NTS



- NOTES:
1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER. NO TAPS SHALL BE CLOSER THAN 18" TO A JOINT.
 2. 1" SERVICE REQUIRE A 2" MINIMUM INSIDE DIAMETER CASING PIPE.
 3. 2" SERVICE REQUIRE A 3" MINIMUM INSIDE DIAMETER CASING PIPE.
 4. ALL CASING PIPE SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF PAVED STREETS.
 5. FOR 1" SERVICE LINES THE MINIMUM RADIUS SHALL BE 14". FOR 2" SERVICE LINES THE MINIMUM RADIUS SHALL BE 21".
 6. ALL CASING PIPE ENDS SHALL BE FILED SMOOTH WITH NO BURRS AND SEALED WITH URETHANE FOAM.
 7. THE POLYETHYLENE OR COPPER TUBING SHALL BE ONE CONTINUOUS PIECE FROM THE CORPORATION STOP TO THE CHECK VALVE. NO JOINTS WILL BE PERMITTED BETWEEN THESE POINTS.

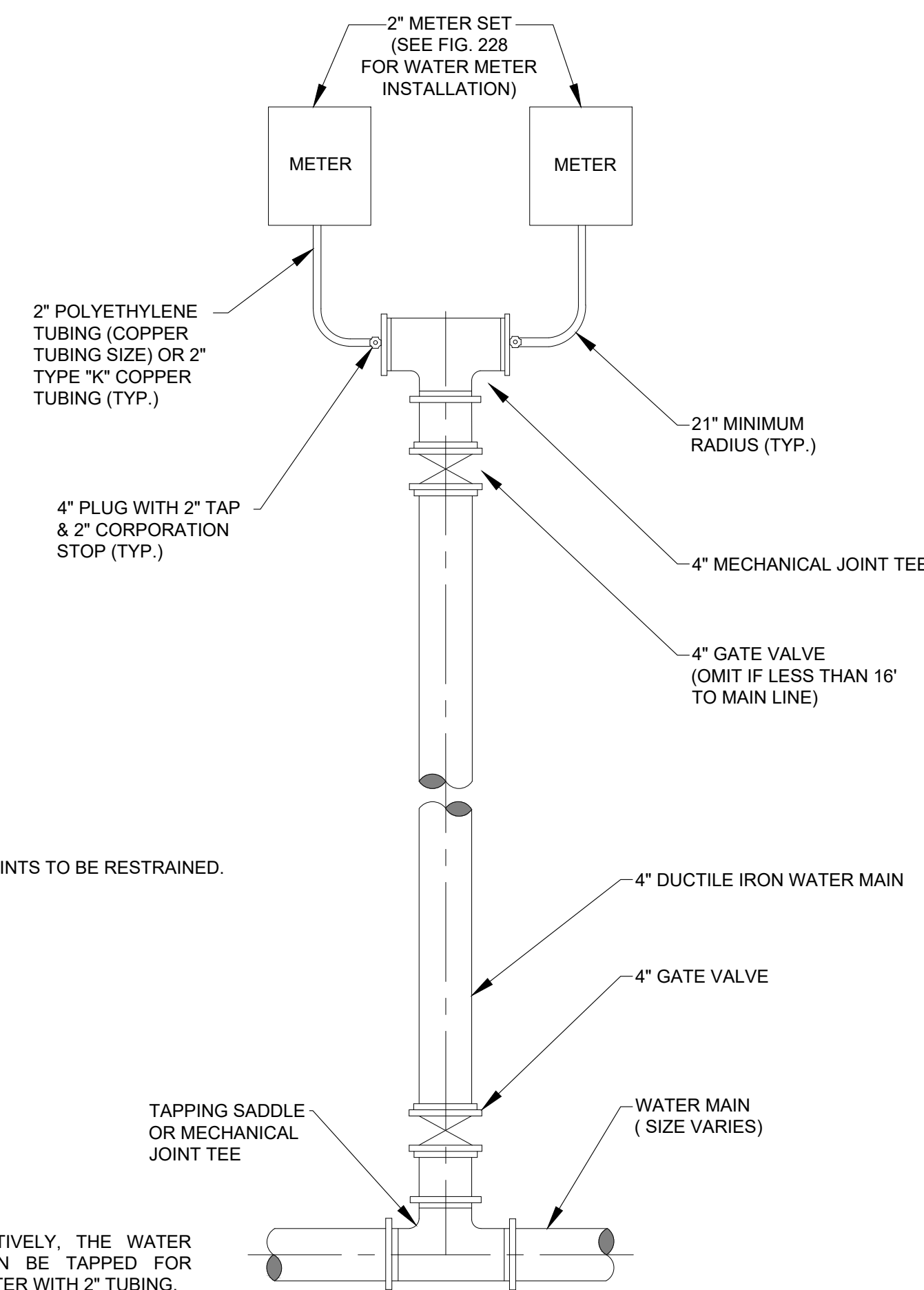
THIS DETAIL APPLIES ONLY TO RESIDENTIAL ROADS WITH LESS THAN 70' R.O.W. (NO MEDIATE) OR WITHIN EASEMENTS

C TYPE I WATER SERVICE CONNECTION DETAIL
SCALE: NTS



- NOTES:
1. SAMPLE POINTS SHALL BE LOCATED AND LATER REMOVED AS REQUIRED BY BROWARD COUNTY HEALTH DEPARTMENT.
 2. CORPORATION STOP SHALL BE CLOSED AND PLUGGED/CAPPED WITH A BRASS FITTING AFTER HEALTH DEPARTMENT CLEARANCE.
 3. SAMPLING POINTS MAY BE PLACED AT THE ENDS OF WATER SERVICES BEFORE THE METERS AND ON BLOW OFFS FOR TERMINAL WATER MAINS, WHERE SERVICES AND BLOW OFFS ARE REQUIRED BY THE PLANS.

B SAMPLING POINT DETAIL
SCALE: NTS



ALTERNATIVELY, THE WATER MAIN CAN BE TAPPED FOR EACH METER WITH 2" TUBING.

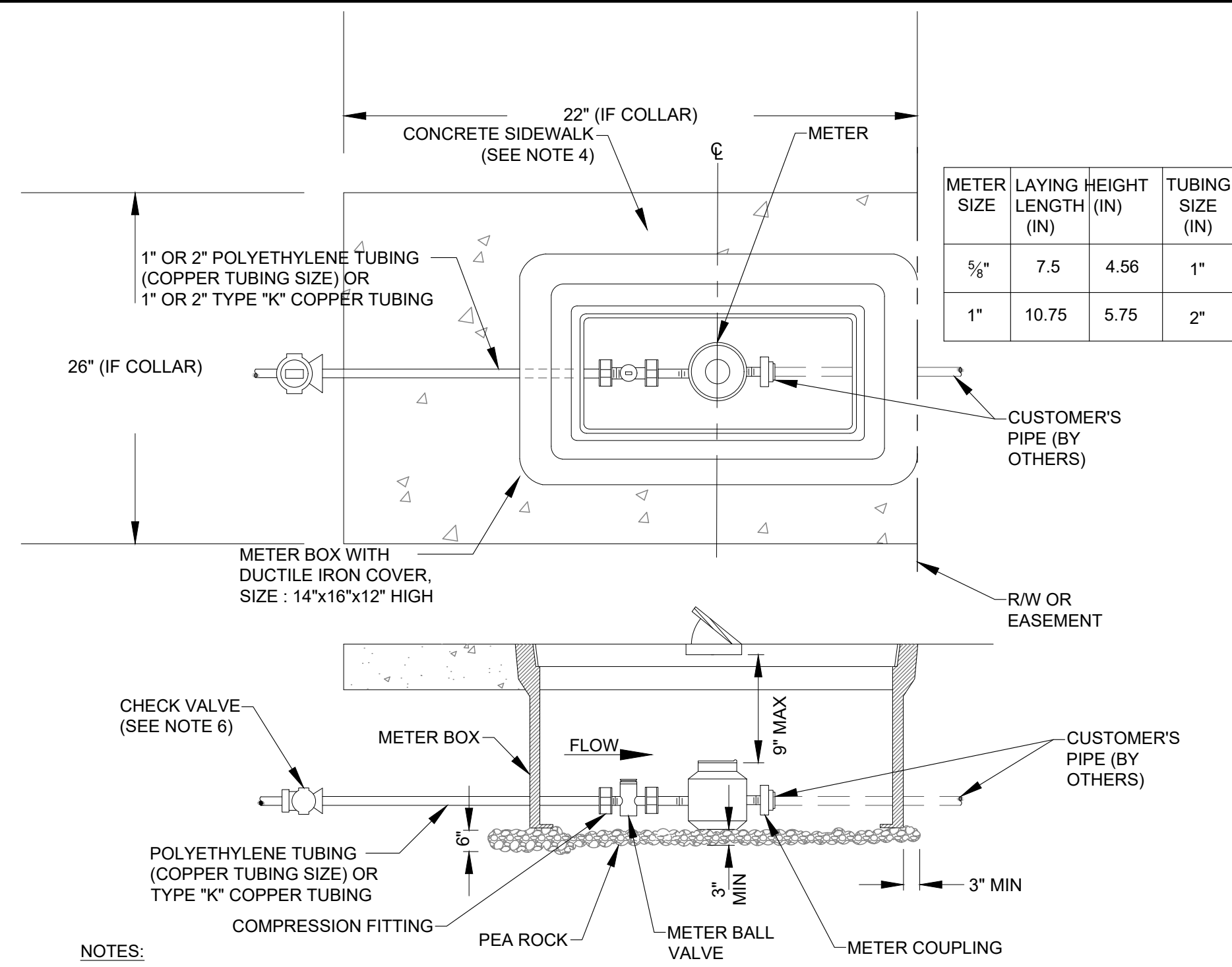
D METER INSTALLATION FOR 2 METERS DETAIL
SCALE: NTS

REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
CHECKED:	PS
APPVD:	JC
PROJECT ID:	FPV-C200003
CONTRACT NO.:	-

SHEET NAME:
WATER SYSTEM DETAILS



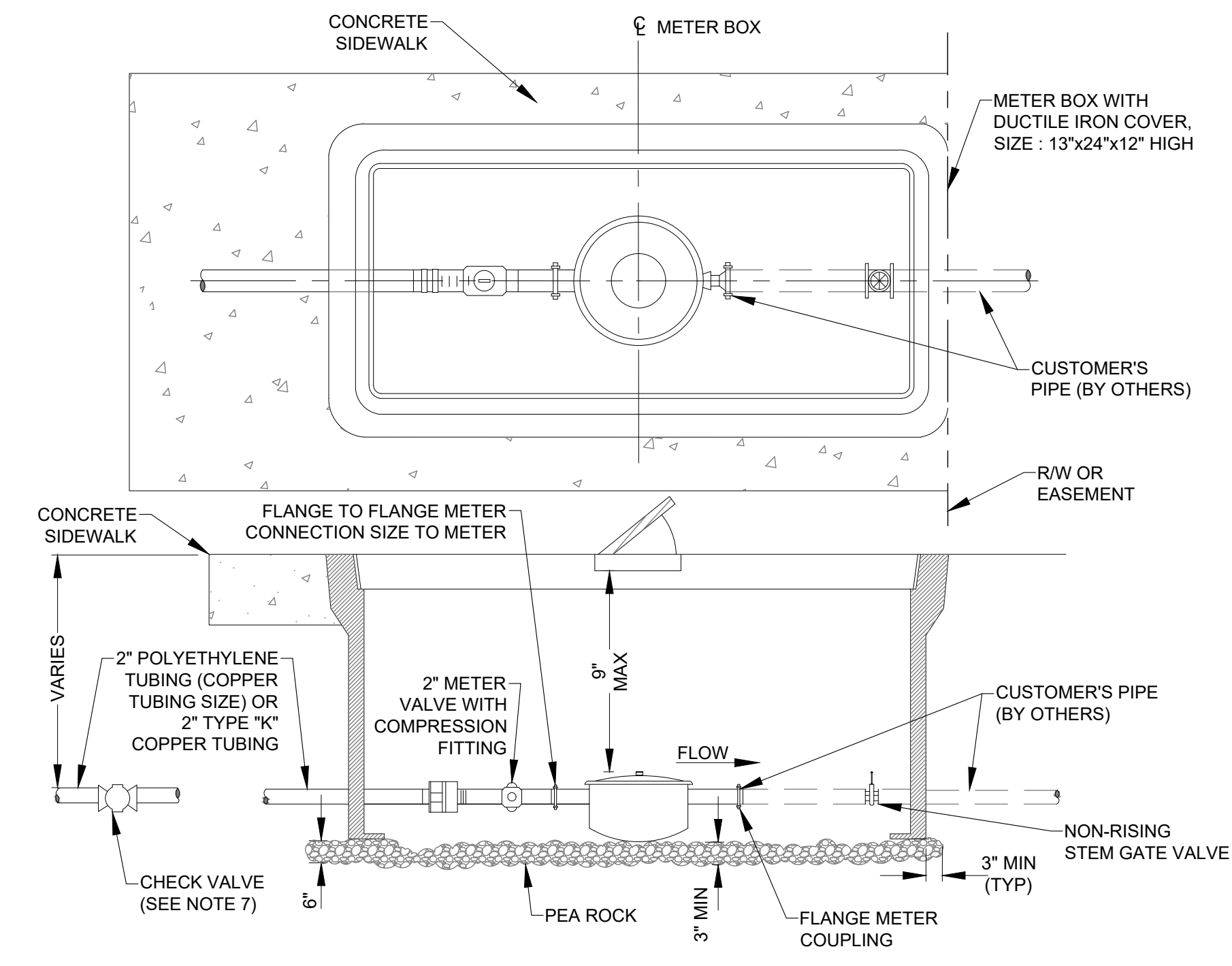


METER SIZE	LAYING LENGTH (IN)	HEIGHT (IN)	TUBING SIZE (IN)
5/8"	7.5	4.56	1"
1"	10.75	5.75	2"

NOTES:

1. ALL STRUCTURES TO BE TRAFFIC BEARING TYPE.
2. WWS RESPONSIBILITY ENDS AT THE CUSTOMER'S SIDE OF METER COUPLING.
3. CURVE IN SERVICE LINE SHALL BE AS CLOSE TO METER BOX AS PRACTICAL, WITH A MINIMUM RADIUS OF BE 14" FOR 1" TUBING AND 21" FOR 2" TUBING.
4. ALL METERS WILL BE SUPPLIED AND INSTALLED BY WWS. METER HAS IRON PIPE THREAD MALE CONNECTION ON EACH END.
5. WHEN SIDEWALKS ARE PRESENT, OR PLANNED FOR IN THE R/W, THE BACK EDGE OF THE METER BOX SHALL LINE UP WITH THE BACK EDGE OF THE SIDEWALK.
6. METER SHALL BE CENTERED IN BOX DIRECTLY UNDER THE ACCESS LID.
7. THE CHECK VALVE IS TO BE INSTALLED 5 FEET BEFORE THE METER BALL VALVE.
8. WHEN THERE ARE NO SIDEWALKS, CONSTRUCT 6" WIDE x 6" THICK CONCRETE COLLAR AT GRADE.

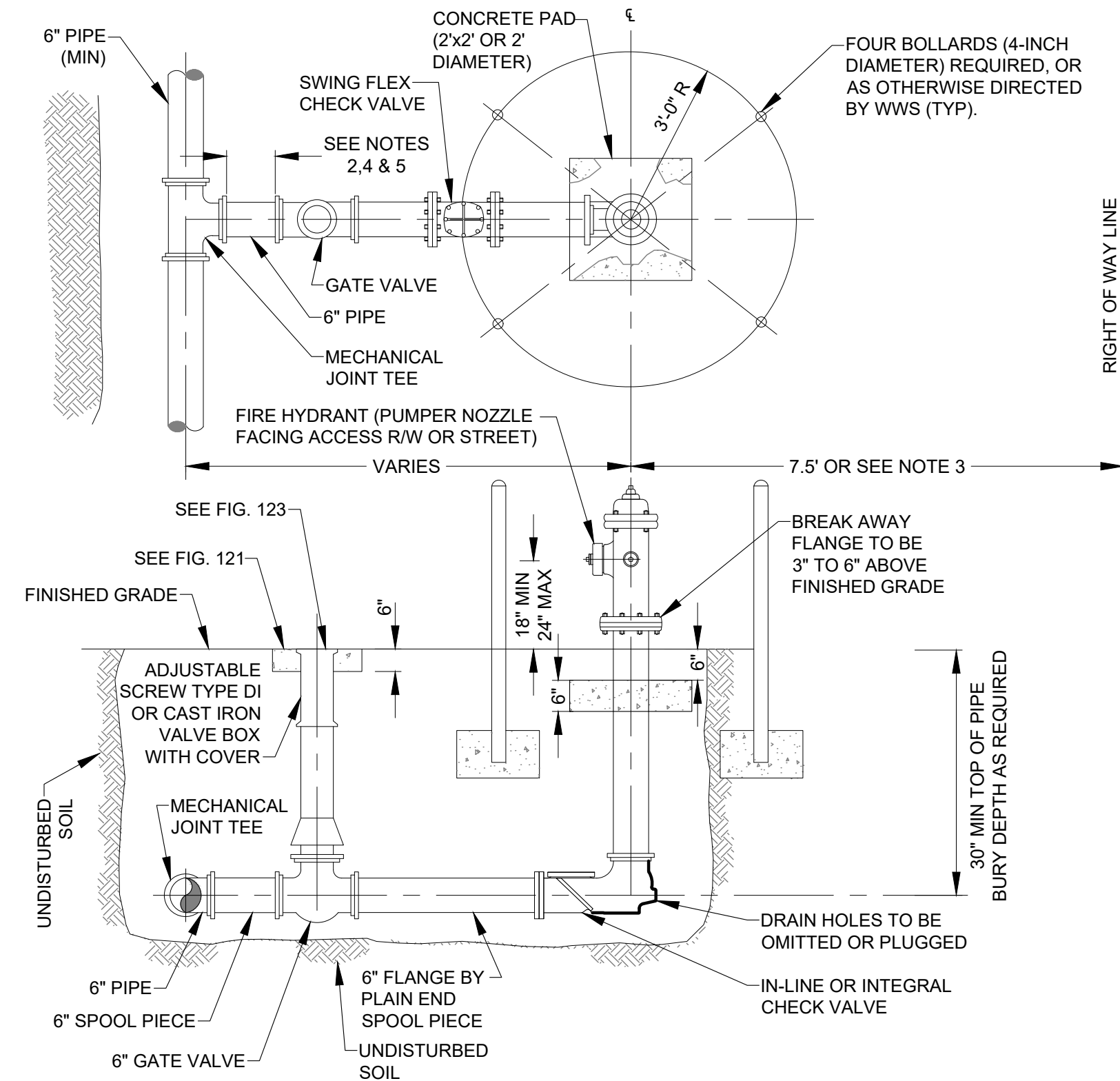
A WATER METER INSTALLATION FOR 5/8" AND 1" METER DETAIL SCALE: NTS



METER SIZE	LAYING LENGTH (IN)	HEIGHT (IN)
1 1/2"	13	6 7/8"
2"	17	7 1/2"

1. ALL STRUCTURES TO BE TRAFFIC BEARING TYPE.
2. WWS RESPONSIBILITY ENDS AT THE CUSTOMER'S SIDE OF METER COUPLING.
3. CURVE IN SERVICE LINE SHALL BE AS CLOSE TO METER BOX AS PRACTICAL, WITH A MINIMUM RADIUS SHALL BE 21" FOR 2" TUBING.
4. ALL METERS WILL BE SUPPLIED AND INSTALLED BY WWS. METER HAS IRON PIPE THREAD MALE CONNECTION ON EACH END.
5. WHEN SIDEWALKS ARE PRESENT, OR PLANNED FOR IN THE R/W, THE BACK EDGE OF THE METER BOX SHALL LINE UP WITH THE BACK EDGE OF THE SIDEWALK.
6. METER SHALL BE CENTERED IN BOX DIRECTLY UNDER THE ACCESS LID.
7. THE CHECK VALVE IS TO BE INSTALLED 5 FEET BEFORE THE METER VALVE.
8. WHEN THERE ARE NO SIDEWALKS, CONSTRUCT 6" WIDE x 6" THICK CONCRETE COLLAR AT GRADE.

B WATER METER INSTALLATION FOR 1 1/2" AND 2" METER DETAIL SCALE: NTS



1. HYDRANT COATED WITH OSHA SAFETY YELLOW REFLECTIVE PAINT.
2. USE RESTRAINED JOINTS FOR THE ENTIRE ASSEMBLY SHOWN.
3. HYDRANT SET BACK SHALL CONFORM TO FDOT AND 8CHCD REQUIREMENTS, WHERE APPLICABLE.
4. GATE VALVE IS NORMALLY LOCATED NEXT TO TEE.
5. IF DISTANCE FROM MAIN LINE TO FIRE HYDRANT IS GREATER THAN 20 FEET ANOTHER GATE VALVE WILL BE PROVIDED CLOSE TO THE HYDRANT. THIS SECOND VALVE SHALL BE INSTALLED WITHIN 5' OF THE FIRE HYDRANT. CHECK VALVE SHALL BE WITHIN 3' OF FIRE HYDRANT UNLESS CHECK VALVE INTEGRAL TO HYDRANT ASSEMBLY.
6. HYDRANT FEED PIPE MAY BE TAPPED FOR A SERVICE LINE UPSTREAM OF THE ISOLATION GATE VALVE.
7. A BLUE RAISED REFLECTIVE PAVEMENT MARKER SHALL BE PLACED AT THE CENTER LINE OF THE OUTSIDE ROADWAY LANE TO IDENTIFY THE FIRE HYDRANT LOCATION.

C FIRE HYDRANT INSTALLATION DETAIL SCALE: NTS

CONEMCO
CONSULTANTS

782 NW 42ND AVENUE UNIT 635
NORTH TOWER, MIAMI, FL 33126
MAIN NUMBER 786-536-1536

CA # 29447

JOSE A. COMPRES, P.E.
FLORIDA P.E. LIC. # 65557

CONEMCO CONSULTANTS

PROJECT NAME:
DTD 190
2455 POLK ST, HOLLYWOOD, FL 33020

CLIENT/OWNER NAME:
DTD 190, LLC

REVISIONS	DATE

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SHEET NAME:
WATER SYSTEM DETAILS

DRAWING NO.
C-510

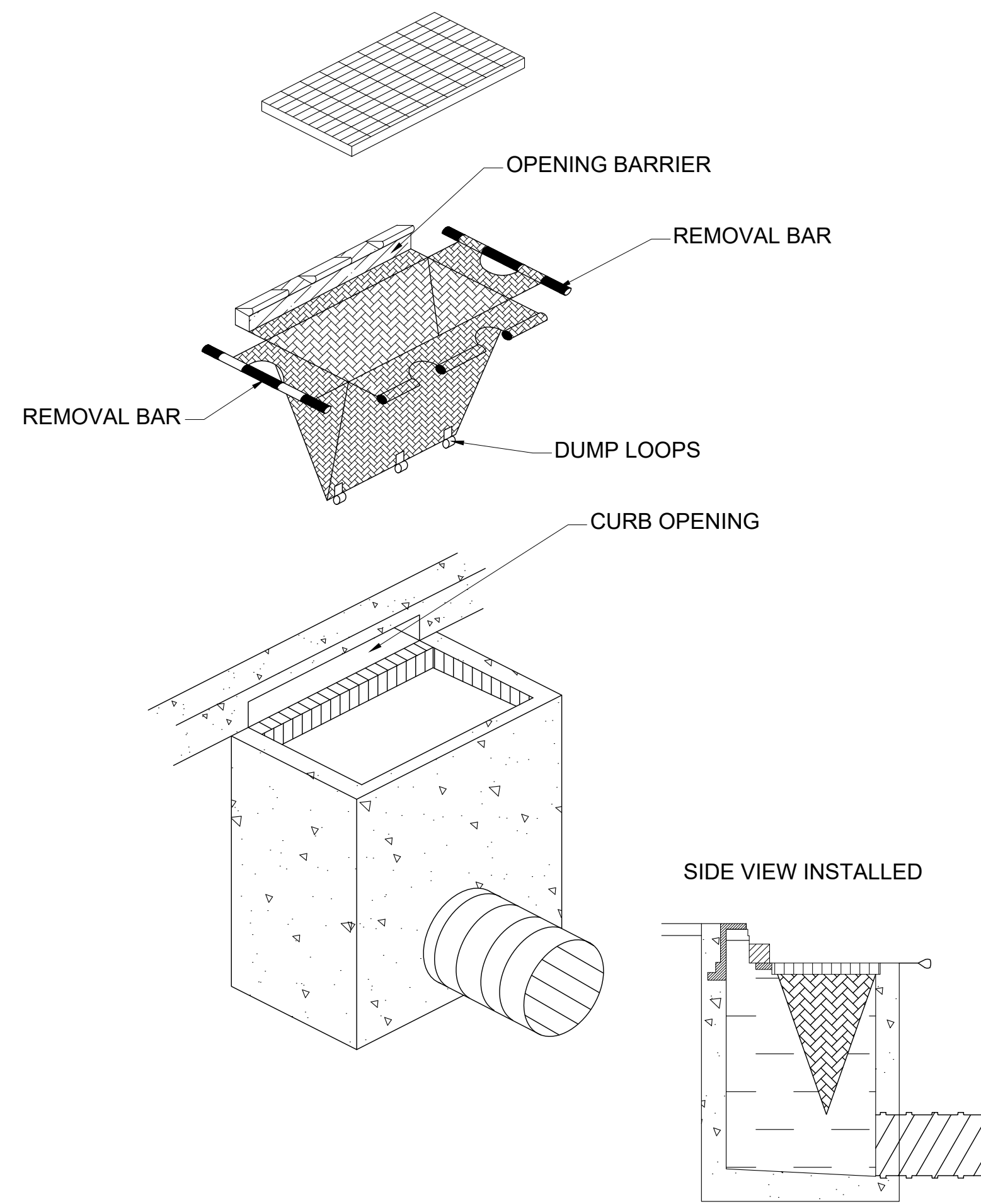
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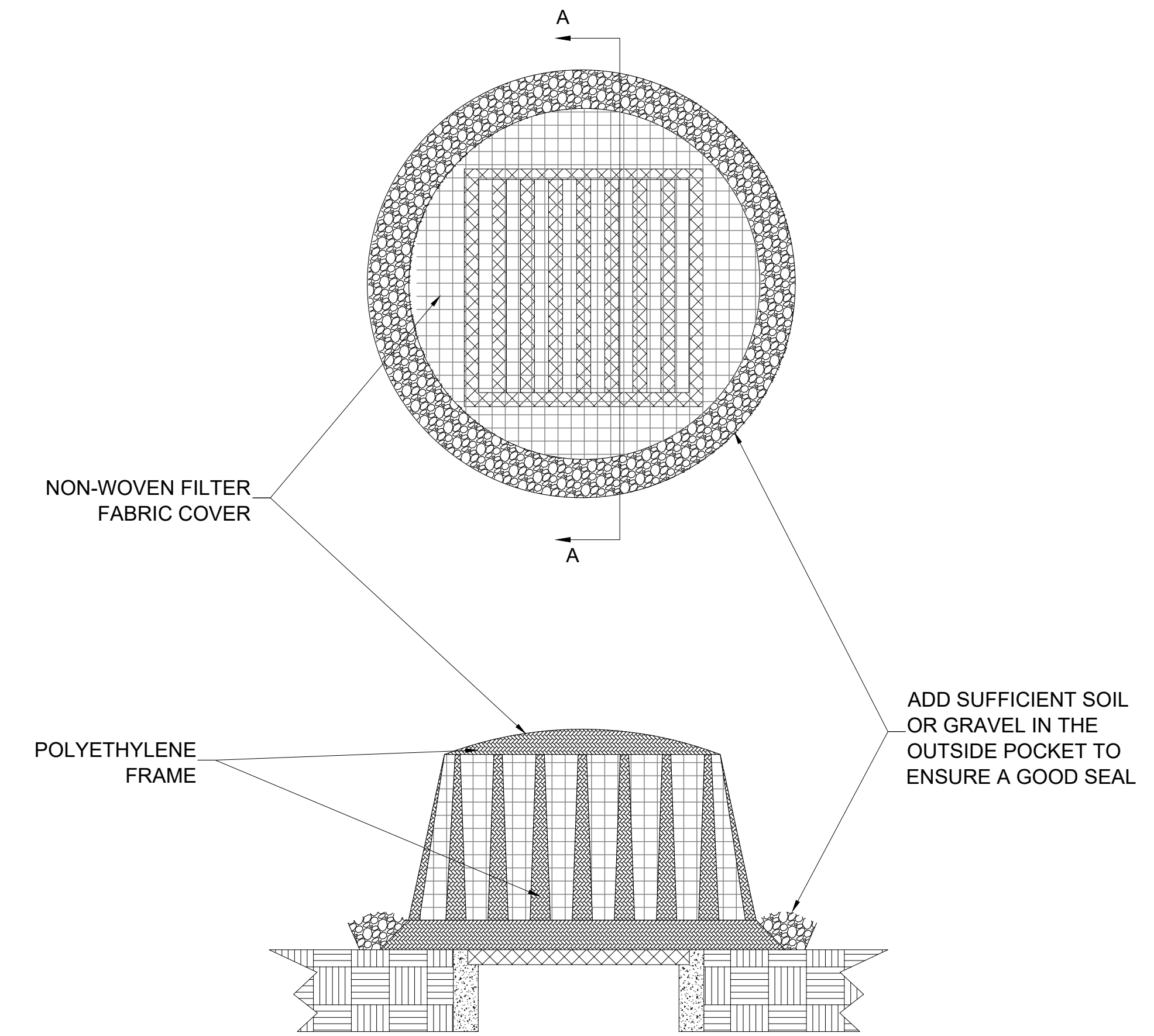
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STORM WATER POLLUTION PREVENTION (SWPP) NOTES:

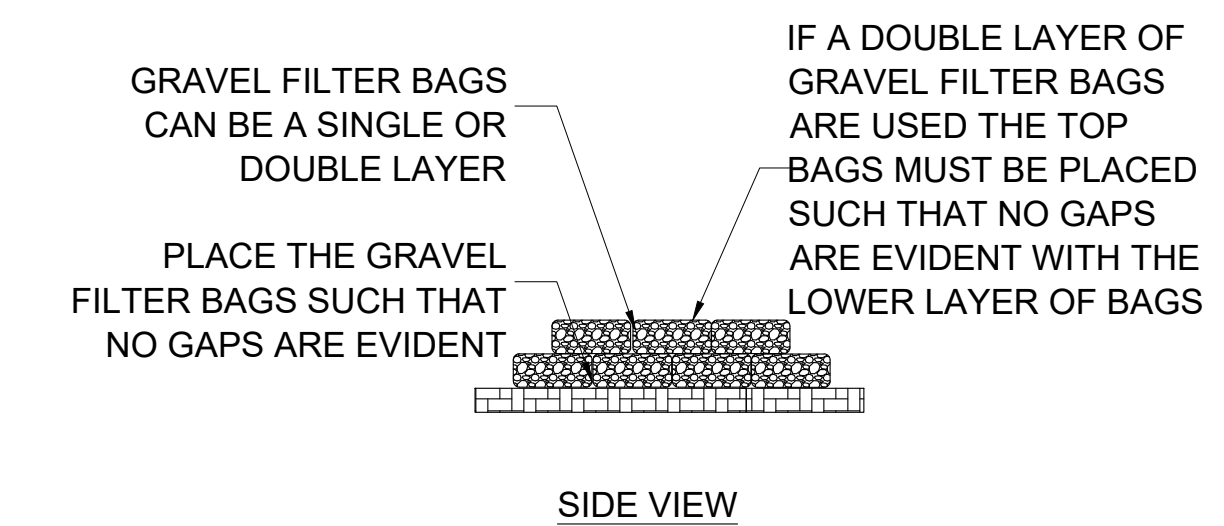
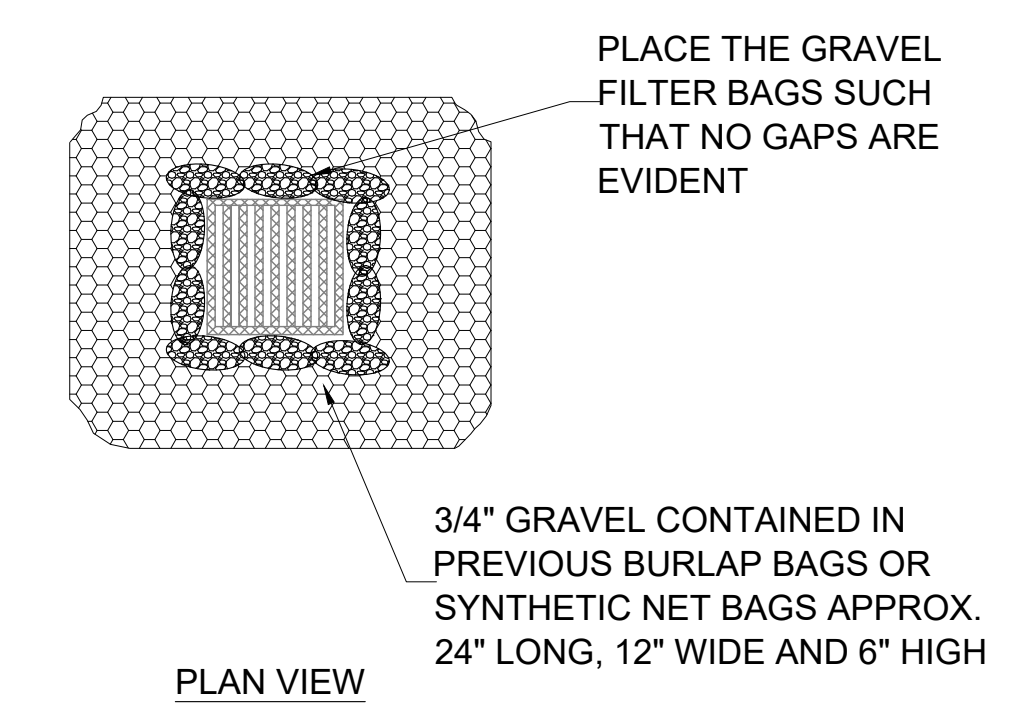
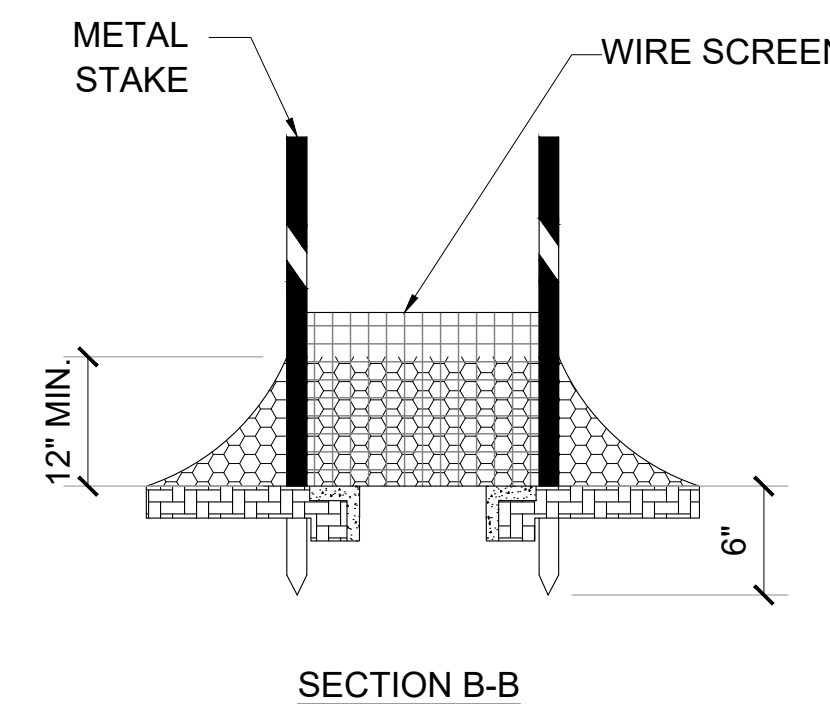
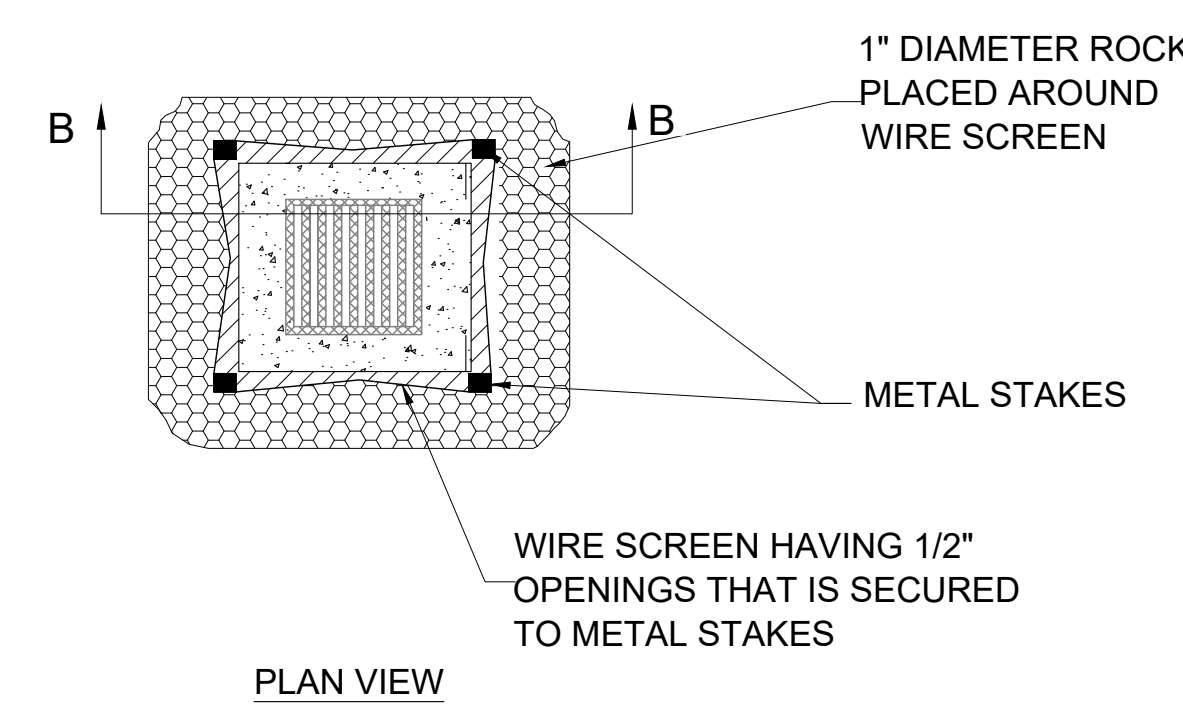
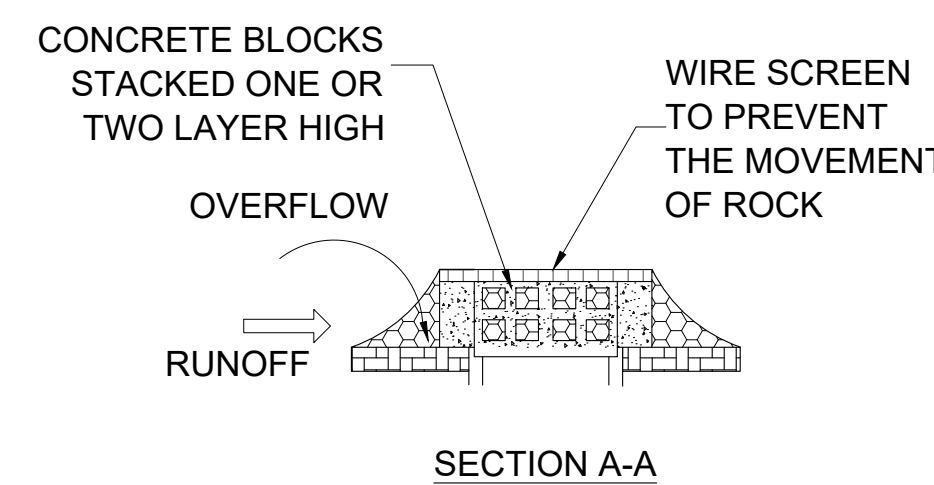
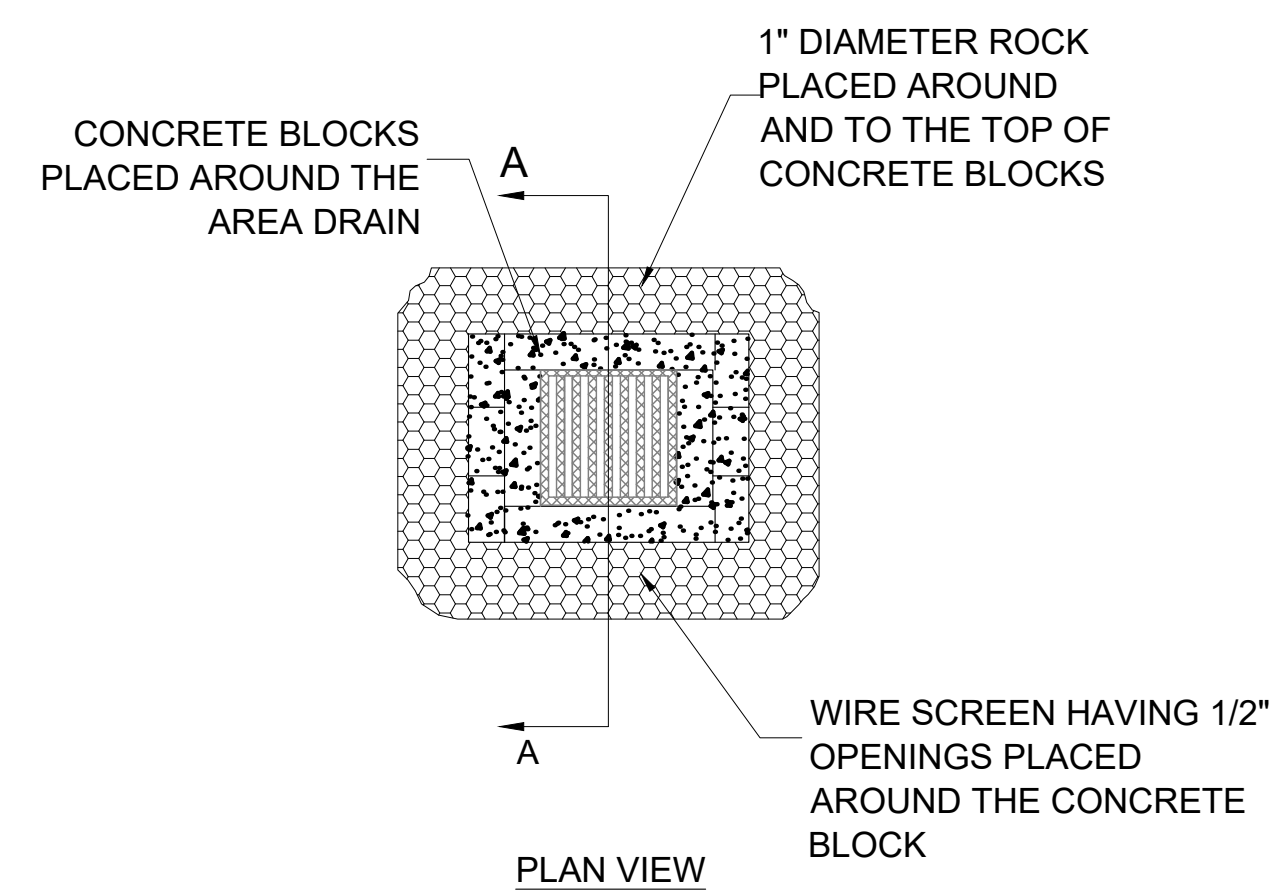
- EXISTING DRAINAGE FACILITIES WITHIN LIMITS OF CONSTRUCTION MUST BE MAINTAINED OPERATIONAL AND PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL SPECIFY PROTECTION AROUND INLETS, CATCH BASINS & OTHER STORM WATER COLLECTION/MANAGEMENT DEVICES IN ACCORDANCE WITH STATE OF FLORIDA EROSION & SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL AND MANDATED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) REQUIREMENTS.
- PROVIDE POLLUTION PROTECTION TO ALL PROPOSED DRAINAGE STRUCTURES DURING CONSTRUCTION AND AFTER, IN ACCORDANCE WITH AFORE STATED STANDARDS & REQUIREMENTS.
- CONTRACTOR'S STAGING AREA MUST BE PROTECTED AGAINST DUST, SILT ACCUMULATION, AND CONSEQUENT POLLUTION RESULTING FROM TRANSPORTATION OF SEDIMENTS.
- PERMANENT OR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT, THE INITIAL WORK AREA, AND OTHER AFFECTED AREAS TO PREVENT STORM WATER POLLUTION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
- QUALIFIED CONTRACTOR PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM /RAINFALL EVENT.
- CONTRACTOR SHALL PROTECT ALL STORMWATER/DRAINAGE STRUCTURES BY SUITABLE FILTERING DEVICES DURING CONSTRUCTION TO PREVENT THE INTRUSION OF SETTLEABLE POLLUTANTS TO THE STORM SEWER SYSTEM. INSPECTIONS SHOULD BE MADE WEEKLY AND AFTER ANY RAINFALL EVENT. ALL INSPECTIONS TO BE CONCLUDED WITH REPORT PROVIDED TO THE ENGINEER OF RECORD AND BCAD.
- CONTRACTOR SHALL PREVENT ALL DUST RESULTING FROM PROPOSED ACTIVITIES FROM INTRUSION INTO THE STORMWATER CONVEYANCE SYSTEM. WATER BASED DUST CONTROL TECHNIQUES/ EQUIPMENT MUST BE RETAINED ON SITE. THE USE OF CALCIUM CHLORIDE, OILS OR OTHER CHEMICAL DUST CONTROL AGENTS IS NOT PERMITTED.
- ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH N.P.D.E.S. (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN ON THIS PROJECT. CONTRACTOR SHALL SUBMIT PREPARED STORMWATER POLLUTION PREVENTION PLAN TO ALL APPLICABLE JURISDICTIONS (INCLUDING F.D.E.P.) FOR APPROVAL AND ISSUANCE OF PERMITS. THIS IS CONSIDERED INCIDENTAL TO THE WORK AND ALL COSTS ARE RESPONSIBILITY OF THE CONTRACTOR.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.



A INLET INSERT SEDIMENT CONTAINMENT SYSTEM
SCALE: 3/4" = 1'-0"



B FRAME & FILTER BARRIER FOR DRAINS
SCALE: 3/4" = 1'-0"



THESE BARRIERS SHOULD BE INSTALLED ONLY WHERE "SUMP" OPERATIONS EXIST IN ORDER TO MINIMIZE DIVERSION OF RUNOFF WATER ONTO DOWNSTREAM STRUCTURES

ROCK BARRIERS AROUND CONCRETE BLOCKS CAN BE INSTALLED ON PAVEMENT OR BARE GROUND

C ROCK BARRIERS FOR DRAINS
SCALE: 3/4" = 1'-0"

REVISIONS	DATE

DATE:	8/21/2020
SCALE:	AS SHOWN
DRAWN:	FP
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PROJECT ID:	FPV-C200003
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SHEET NAME:

SWPPP DETAILS

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C-504

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