

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 9-5-17

Location Address: 1401 & 1451 S. Surf Road
Lot(s): 1, 2, 3, & 4 Block(s): 3 Subdivision: Atlantic Shores North Beach Sec.
Folio Number(s): 514224020110 & 514224CB0010-70

Zoning Classification: RM-25-SCB Land Use Classification: _____
Existing Property Use: residential Sq Ft/Number of Units: 445-3964

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Site Plan Review of a Two Phase Condominium project. 5 units/Phase

Number of units/rooms: 10 Sq Ft: 3966 & 4026
Value of Improvement: 4mil/Phase Estimated Date of Completion: Jan 2020

Will Project be Phased? (X) Yes () No If Phased, Estimated Completion of Each Phase
Phase 1 Jan 2020
Phase 2 Jan 2022

Name of Current Property Owner: Luis Stabinski / Fabio & Amalia Nick
Address of Property Owner: 1401 S. Surf Road / 3463 NE 166th St. NMB
Telephone: 305-588-9200 Fax: _____ Email Address: lstabinsky@aol.com

Name of Consultant Representative/Tenant (circle one): Joseph B. Kaller
Address: 2417 Hollywood Blvd. Telephone: 954-920-5746
Fax: 954-926-2841 Email Address: joseph@kallerarchitects.com

Date of Purchase: See attached Is there an option to purchase the Property? Yes () No (X)
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Fabio & Amalia Nick
Beach Fl. 33160 Address: 3403 NE 166th St. N. Miami
Email Address: _____

PLANNING DIVISION



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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 8-28-17

PRINT NAME: LOIS SABINSKI

Date: 8-29-17

Signature of Consultant/Representative: _____

Date: 8-29-17

PRINT NAME: JOSEPH B. KALLER

Date: 8-29-17

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

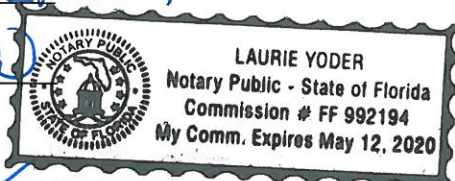
Current Owner Power of Attorney

I am the TAC Review current owner of the described real property and that I am aware of the nature and effect the request for Joseph B. Kaller to my property, which is hereby made by me or I am hereby authorizing Technical Advisory to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 29th day of August 2017

Notary Public
State of Florida

My Commission Expires: 29th (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Luis Stabinski

Print Name

PLANNING DIVISION



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PRINT NAME: _____

Date: 8/28/17

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Date: 8-28-17

PRINT NAME: _____

Date: 8-28-17

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 28 day of August

Notary Public - State of Florida
Commission # FF 975549
My Comm. Expires Mar 27, 2020
My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____ Produced Identification Self

Signature of Current Owner

Print Name

Fabio Nick

Crocus and Bougainville CONDOMINIUMS

PHASE 1 AND 2

1451 AND 1401 S. SURF ROAD

HOLLYWOOD

FLORIDA

PROJECT INFO:

PHASE 1

6 STORY 5 UNIT RESIDENTIAL MULTI-FAMILY
BUILDING

PHASE 11

6 STORY 5 UNIT RESIDENTIAL
MULTI-FAMILY BUILDING

LEGAL DESCRIPTION:

LOTS 1, 2, 3 AND 4, BLOCK 3, OF "ATLANTIC SHORES NORTH BEACH SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 36, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. TOGETHER WITH : THE NORTH 1/2 OF CROCUS TERRACE, AS SHOWN ON SAID PLAT LYING SOUTH OF AND ADJACENT TO SAID LOT 1 AND BOUNDED ON THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID CROCUS TERRACE AND BOUNDED ON THE WEST BY THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID CROCUS TERRACE.

ASLO TOGETHER WITH : THE SOUTH 1/2 OF JEFFERSON COURT, AS SHOWN ON SAID PLAT LYING NORTH OF AND ADJACENT TO SAID LOT 4 AND BOUNDED ON THE EAST BY THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID JEFFERSON COURT AND BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID JEFFERSON COURT.



1500 S. SURF
(WEST OF SITE)



1401 S. SURF (NORTH PARCEL)



1451 S. SURF (SOUTH PARCEL)



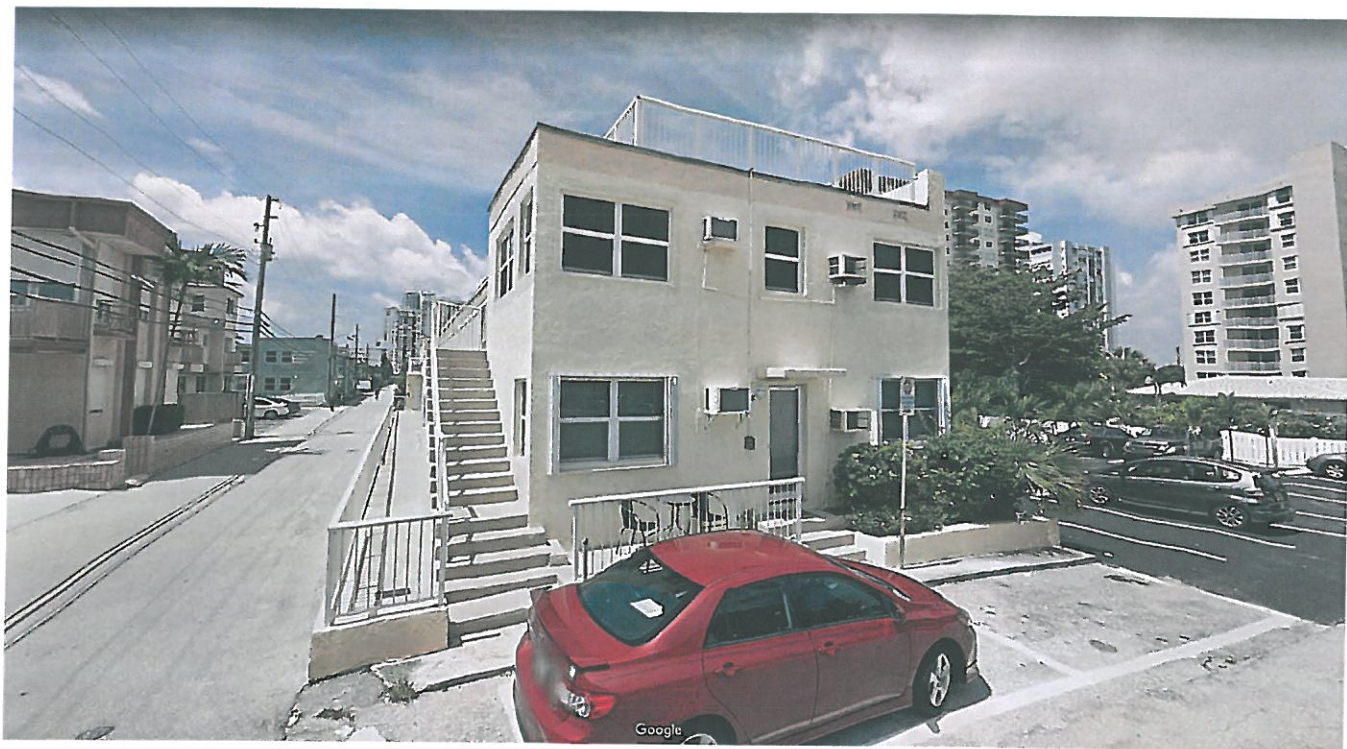
NORTH OF SITE



1504 S. SURF
(SOUTH OF SITE)



1451 S. SURF



1500 S. SURF
(WEST OF SITE)

Crocus and Bougainvilla CONDOMINIUMS

PHASE 1 AND 2

1451 AND 1401 S. SURF ROAD HOLLYWOOD FLORIDA



P.A.C.O. - JUNE 12, 2011

PROJECT TEAM

ARCHITECT:
JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
PHONE: (954) 926-5146
FAX: (954) 926-2841
EMAIL: joseph@kallerarchitects.com

OWNER:
PHASE I - 1451 S. SURF ROAD
OWNERS: STAB PROPERTIES OF BROWARD LLC
NICK AND AMILIA FABIO
CONTACT: LUIS STABINSKI
ADDRESS: 1401 S SURF ROAD
HOLLYWOOD, FL 33019
TEL: (954) 364-1431
EMAIL: lstabinski@aol.com

SURVEYOR:
COUSINS SURVEYORS AND ASSOCIATES, INC.
CONTACT: RICHARD COUSINS
ADDRESS: 3921 SW 4TH AVENUE, SUITE 1011
DAVIE, FL 33314
PHONE: (954) 680-9885
EMAIL: RECsurvey@aol.com

PHASE II - 1401 S. SURF ROAD
OWNERS: LUIS AND BELL STABINSKI
CONTACT: LUIS STABINSKI
ADDRESS: 1401 S SURF ROAD
HOLLYWOOD, FL 33019
TEL: (954) 364-1431
EMAIL: lstabinski@aol.com

PROJECT DATA

CODES:
FLORIDA BUILDING CODE, 5TH EDITION 2014
5TH EDITION FLORIDA FIRE PREVENTION CODE, 2016 BROWARD FIRE AMENDMENTS
FLORIDA ADMINISTRATIVE CODE 69A-40

JURISDICTION:
CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

DRAWING INDEX

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SURVEY

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SP-2 SIGN DETAILS AND CONTEXTUAL STREET ELEVATIONS

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A-2 SECOND FLOOR PLAN - TH LEVEL 1
A-3 THIRD FLOOR PLAN - TH LEVEL 2
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A-5 FIFTH FLOOR PLAN - TH LEVEL 2
A-6 SIXTH FLOOR PLAN - FLAT
A-7 ROOF PLAN
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A-10 BUILDING ELEVATIONS
A-11 BUILDING ELEVATIONS
A-12 CONTEXTUAL STREET ELEVATION

LOCATION MAP

NORTH

SITE

AERIAL

NORTH

SITE

JOSEPH B. KALLER
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(954) 920 5746 phone - (954) 926 2841 fax
kaller@bellsouth.net

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

CONDOMINIUMS AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD FL 33019

SHEET TITLE

TITLE PAGE
PRELIM, TAC

REVISIONS

No.	DATE	DESCRIPTION
1		
2		

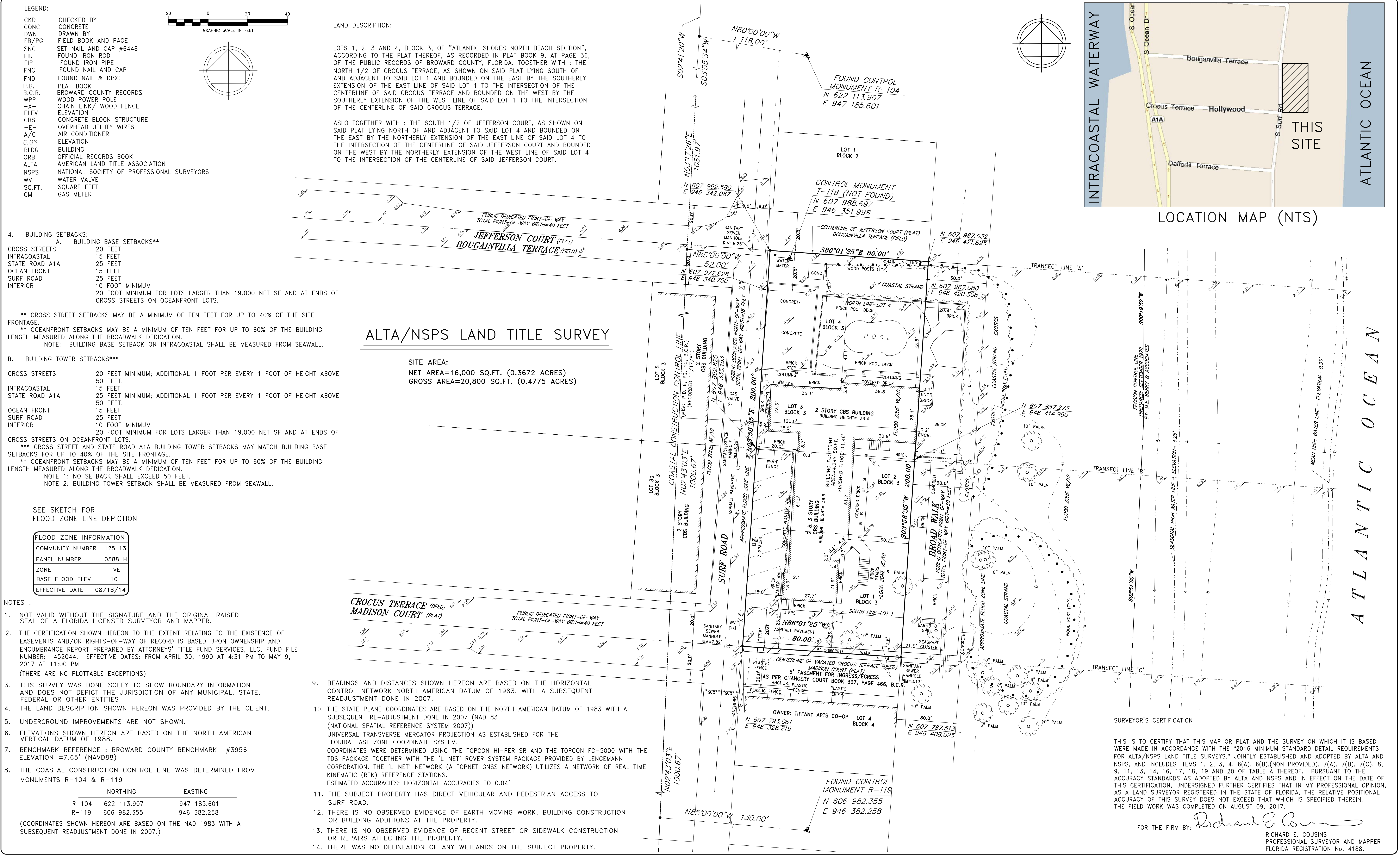
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PROJECT No.: 17032
DATE: 7-11-17
DRAWN BY: TMS
CHECKED BY: JBK

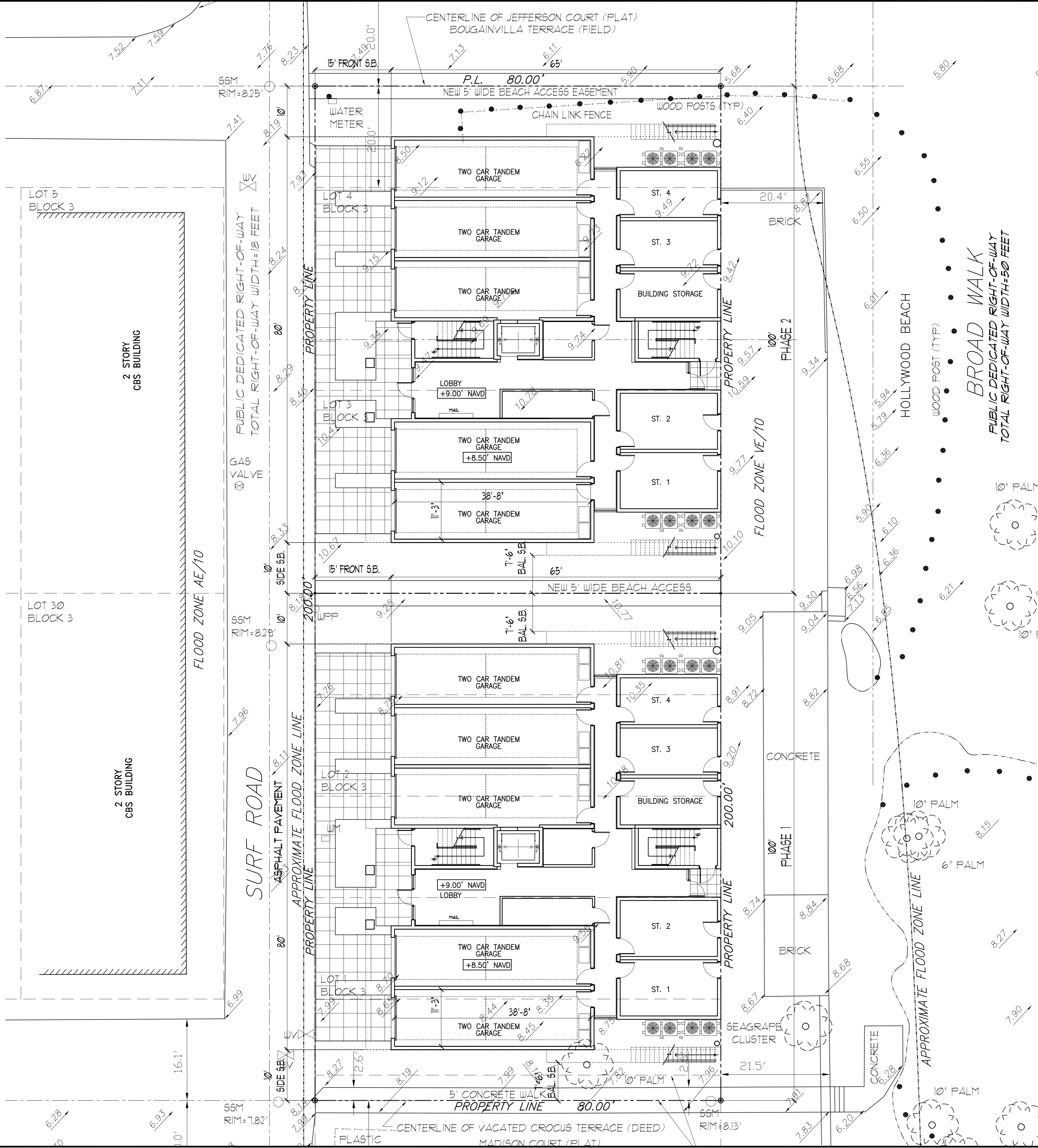
SHEET

T-1

1 OF 1



JOSEPH B. KALLER & ASSOCIATES, P.A. ALL RIGHTS RESERVED © 2024



PROPERTY ADDRESS
1451 S SURF ROAD
HOLLYWOOD, FL 33019

SITE INFORMATION/ BUILDING SUMMARY
SITE INFORMATION:

1)- ZONING:	SOUTH CENTRAL BEACH RESIDENTIAL MULTI-FAMILY (RM-25-SCB)			
LAND USE DESIGNATION:	RESIDENTIAL MULTI-FAMILY			
2)- NET LOT AREA:	16,000 S.F. (0.36 ACRES)			
3)- GROSS LOT AREA:	17,800 S.F. (0.40 ACRES)			
4)- DENSITY:	ALLOWED 25 UNITS PER GROSS ACRE: 0.40 X 25 = 10 UNITS	PROVIDED 10 UNITS (5 UNITS PER PHASE)		
5)- PARKING	REQUIRED 1.5 PER UNIT MAX.	PROVIDED 2 PER UNIT		
6)- SETBACKS	REQUIRED	PROVIDED		
	BASE	TOWER	BASE	TOWER
(a) OCEAN FRONT	15'-0"	15'-0"	0'-0"	0'-0"
(b) SURF ROAD	25'-0"	25'-0"	15'-0"	10'-0"
(c) INTERIOR	10'-0"	10'-0"	10'-0"	10'-0"

BUILDING SUMMARY:

1)– <u>BUILDING HEIGHT:</u>	<u>ALLOWED</u>	<u>PROVIDED</u>
	50'–0"	6 STORIES 60'–6"
2)– <u>BUILDING AREAS:</u>		
FIRST FLOOR	4,790 S.F.	
SECOND FLOOR	4,635 S.F.	
THIRD FLOOR	4,022 S.F.	
FOURTH FLOOR	4,635 S.F.	
FIFTH FLOOR	4,142 S.F.	
SIXTH FLOOR	4,210 S.F.	
TOTAL	<u>26,434 S.F.</u>	
2)– <u>UNIT AREAS:</u>		
TH UNITS 201 AND 202	LEVEL 1	2136 S.F. AC 486 S.F. BALCONY
	LEVEL 2	1830 S.F. AC 191 S.F. BALCONY
	TOTAL	3966 S.F. AC 677 S.F. BALCONY
TH UNITS 401 AND 402	LEVEL 1	2136 S.F. AC 548 S.F. BALCONY
	LEVEL 2	1890 S.F. AC 498 S.F. BALCONY
	TOTAL	4026 S.F. AC 1036 S.F. BALCONY
UNIT 601		3043 S.F. AC 293 S.F. BALCONY
		3846 S.F. ROOF DECK
		<u>4139 S.F. BALCONY</u>

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE RM-25-SCB ZONING DISTRICT.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.



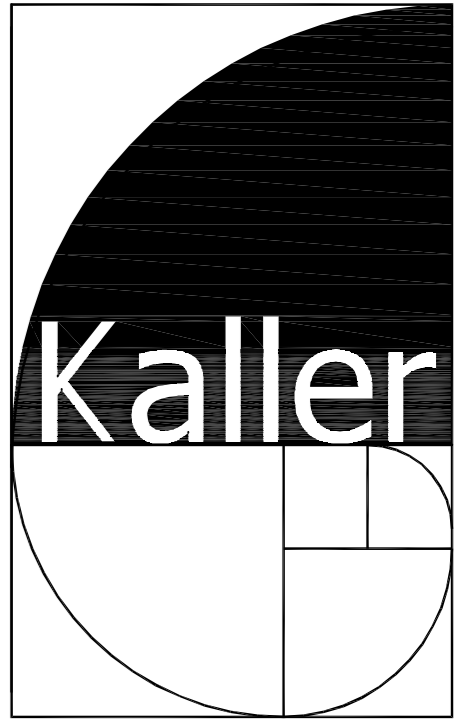
1 SITE PLAN
SCALE: 1"= 10'-0"

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.
EXTERNAL LIGHTS TO BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER FPP.C. 2016 BROWARD AMENDMENTS, NFPA 101 SECTION 383.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

UNITY OF TITLE:
A UNITY OF TITLE, IN A FORM ACCEPTABLE TO THE CITY OF HOLLYWOOD CITY ATTORNEY'S OFFICE, SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS AND RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, BY THE CITY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



JOSEPH B. KALLER
+ ASSOCIATES PA
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JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
CONDOMINIUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

SHEET TITLE
SITE PLAN AND DATA

REVISIONS

No.	DATE	DESCRIPTION
1		
2		

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PROJECT No.: 17032
DATE: 3-24-17
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

SP-1

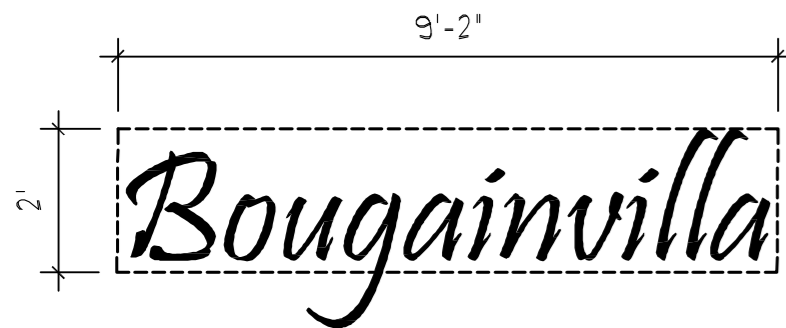
GREEN BUILDING PRACTICES
FROM CITY OF HOLLYWOOD ORDINANCE #0-2011-06

- (1) CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
- (2) RADIANT BARRIER - ENRGEY STAR QUALIFIED
- (4) ENERGY EFFICIENT LOW E WINDOWS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
- (5) ENERGY EFFICIENT DOORS - ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
- (8) PROGRAMMABLE THERMOSTATS
- (9) OCCUPANCY/ VACANCY SENSORS
- (14) DUAL FLUSH TOILETS
- (16) 80% OF PLANTS AND TREES PER SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS
- (17) ALL ENERGY EFFICIENT OUTDOOR LIGHTING (SHEILDED)
- (18) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THAM STANDARD ESTABLISHED BY ASHRAE
- (20) ALL HOT WATER PIPES INSULATED
- (21) MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT.

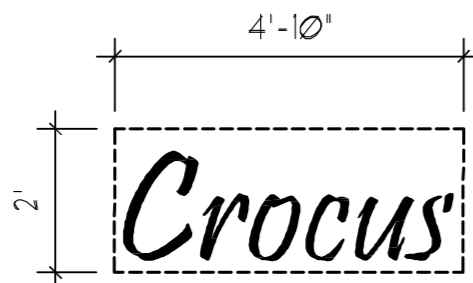
ADDITIONAL PRACTICES

1. ICYNENE SOY BASED CLOSED CELL SPRAY INSULATION
2. ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE.

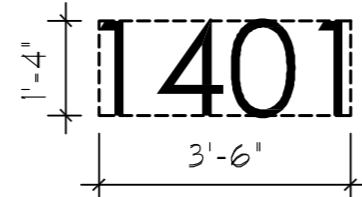
1 GREEN BUILDING PRACTICES



NAME SIZE = 20 SF.
FONT STYLE - PRISTINA



NAME SIZE = 10 SF.
FONT STYLE - PRISTINA



NUMBER SIZE =525 SF.
FONT STYLE - CENTURY GOTHIC

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE RM-25-SCB ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

2 SIGNAGE DETAILS

SCALE: 3/8"= 1'-0"



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SHEET TITLE
GREEN BUILDING PRACTICES
SIGNAGE DETAILS

REVISIONS

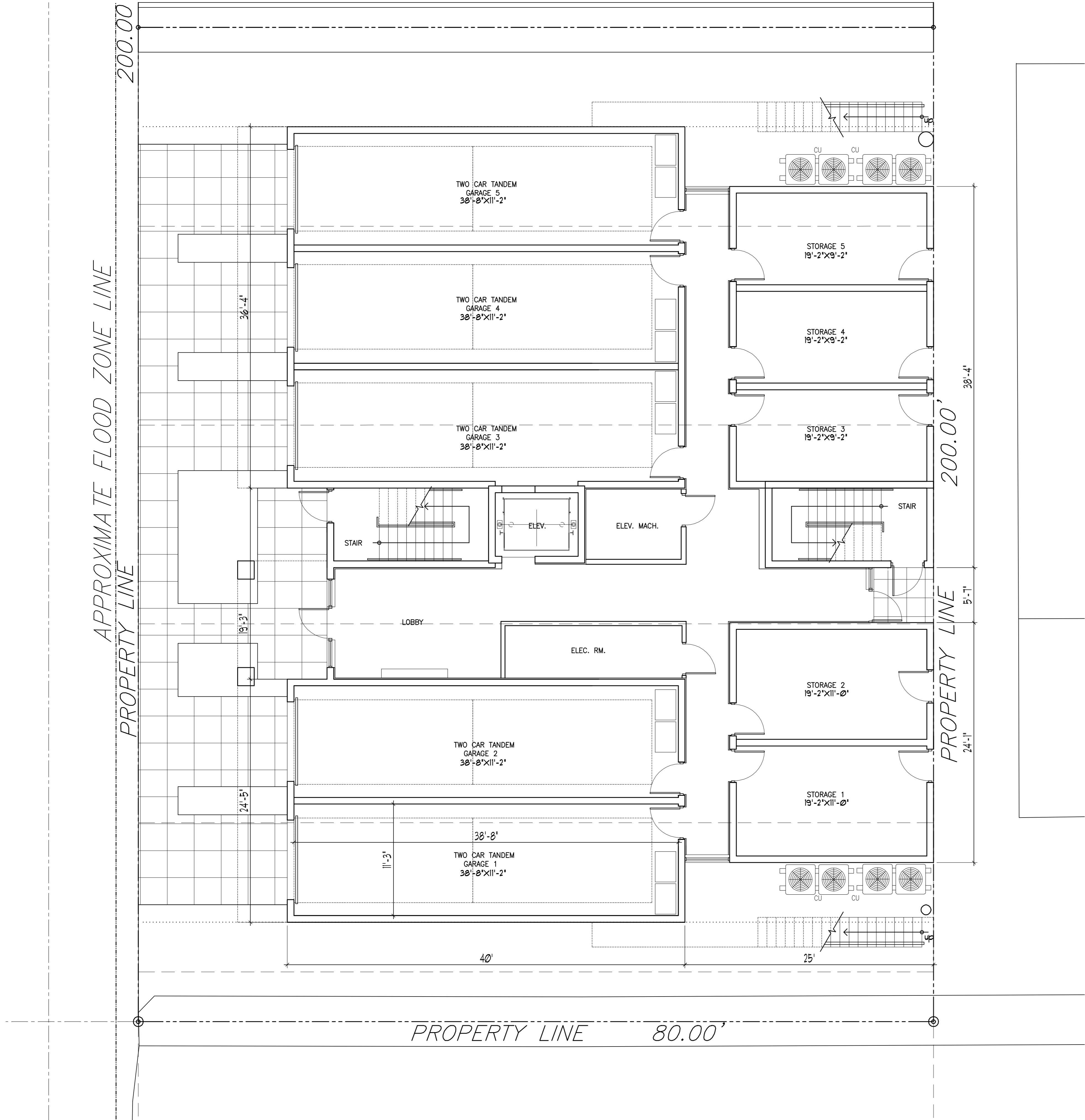
No.	DATE	DESCRIPTION
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2		

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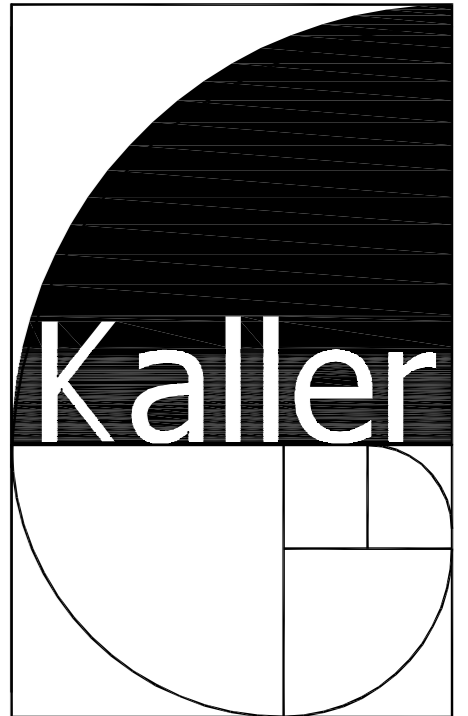
SHEET

SP-2



1 **FIRST FLOOR PLAN**
SCALE: 3/16"= 1'-0"





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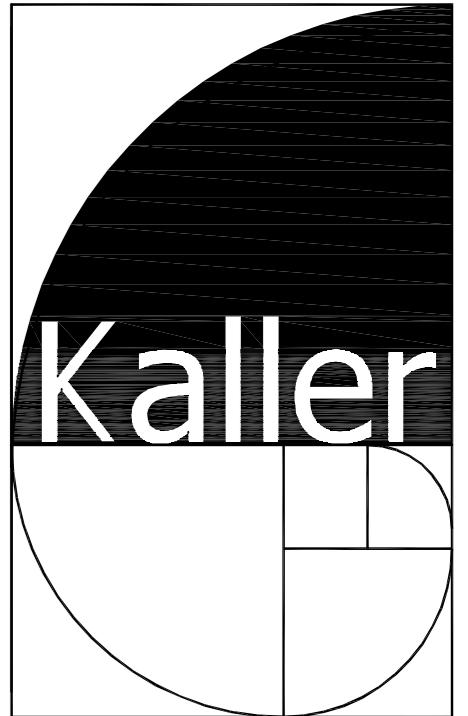
SHEET TITLE
FIRST FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET
A-1
1 OF 12



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SHEET TITLE
SECOND FLOOR PLAN

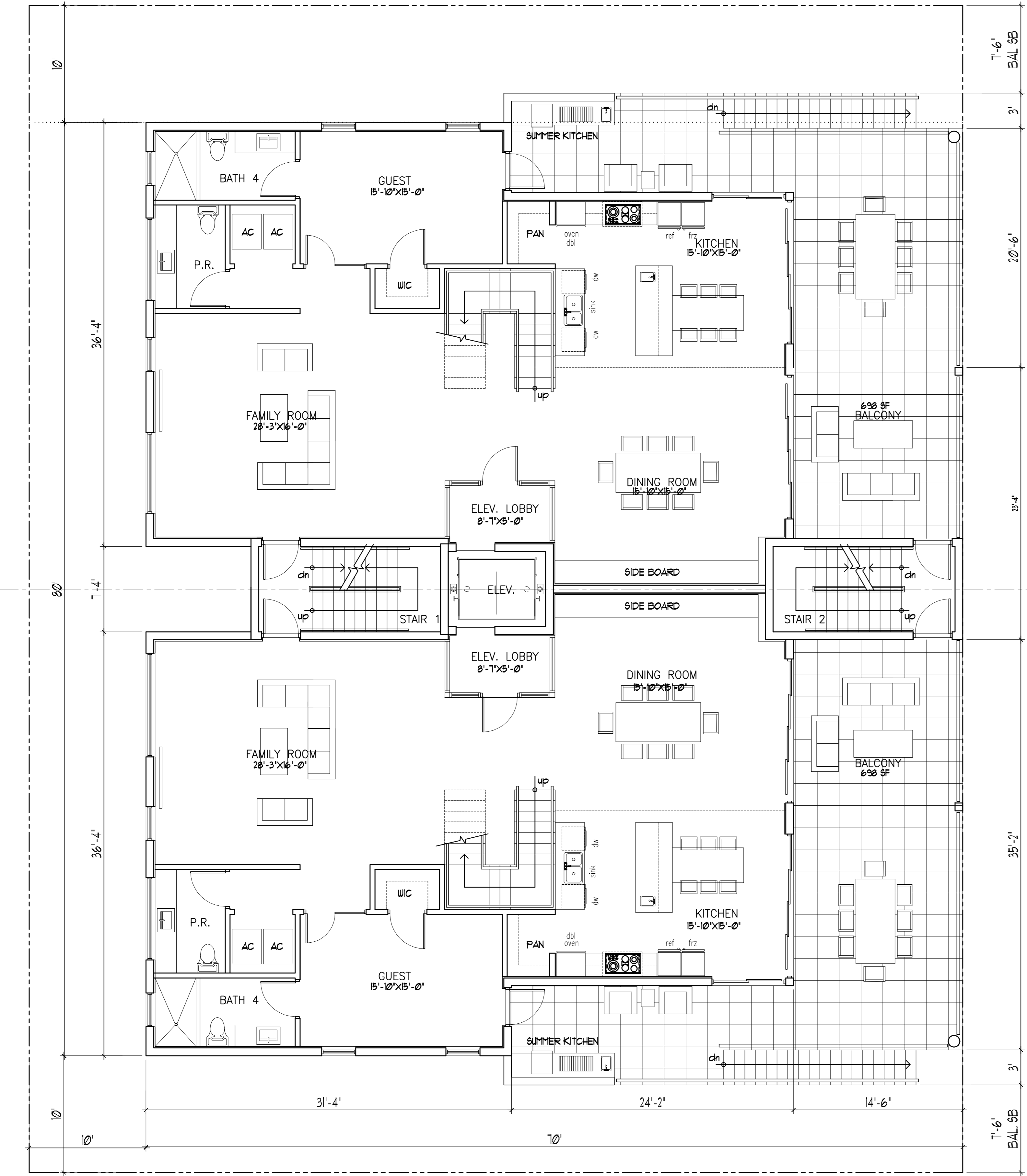
REVISIONS		
No.	DATE	DESCRIPTION
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2		

PROJECT No.: 17032
DATE: 3-24-17
DRAWN BY: TMS
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SHEET

A-2

2 OF 12



TOWN HOUSE LEVEL 1

1 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



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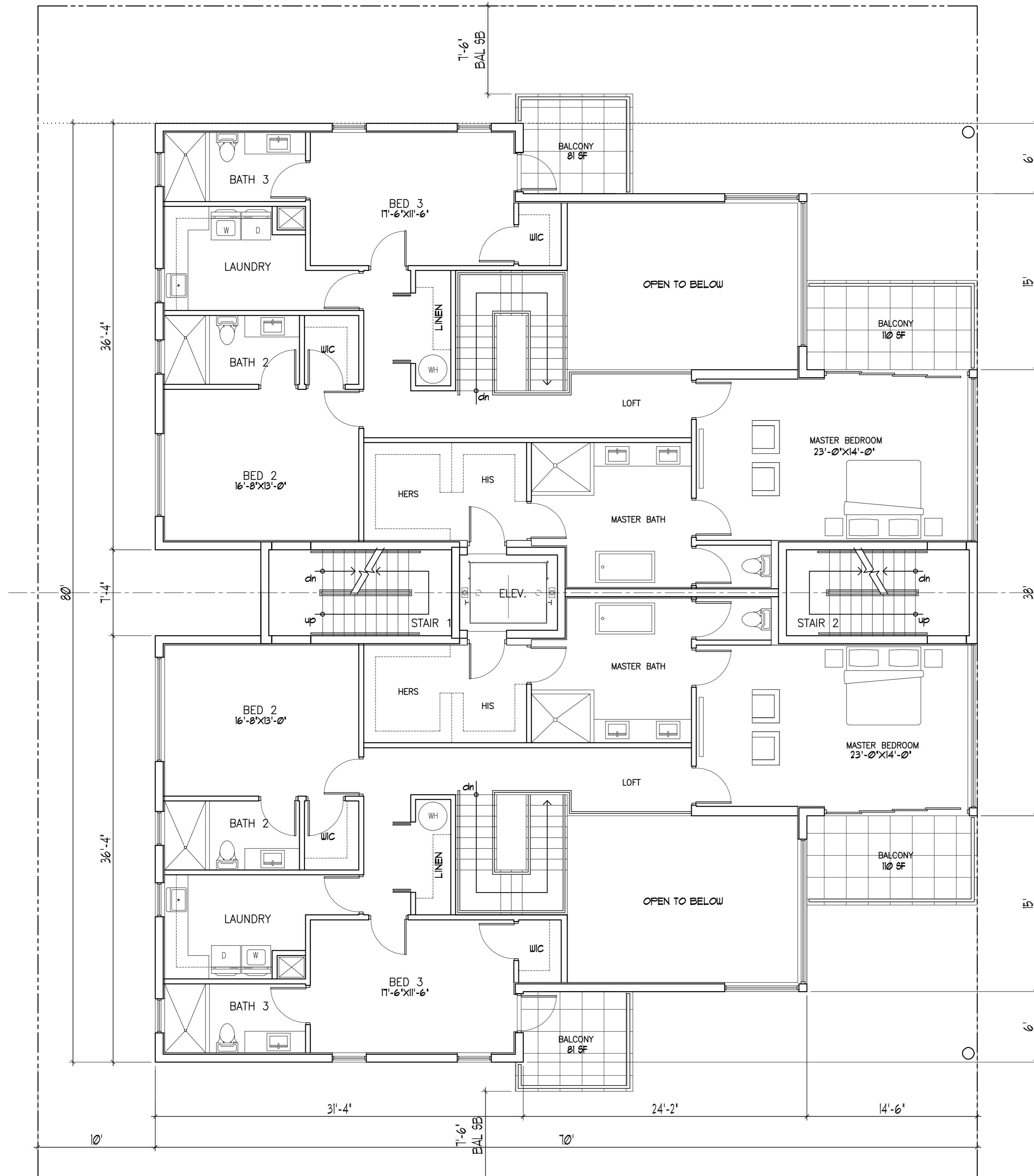
SHEET TITLE
THIRD FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET
A-3
3 OF 12



TOWNHOUSE LEVEL 2

1 THIRD FLOOR PLAN
SCALE: 3/16"= 1'-0"





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CONDOMINIUM AT
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SHEET TITLE
FOURTH FLOOR PLAN

REVISIONS		
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1		
2		

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SHEET

A-4

4 OF 12



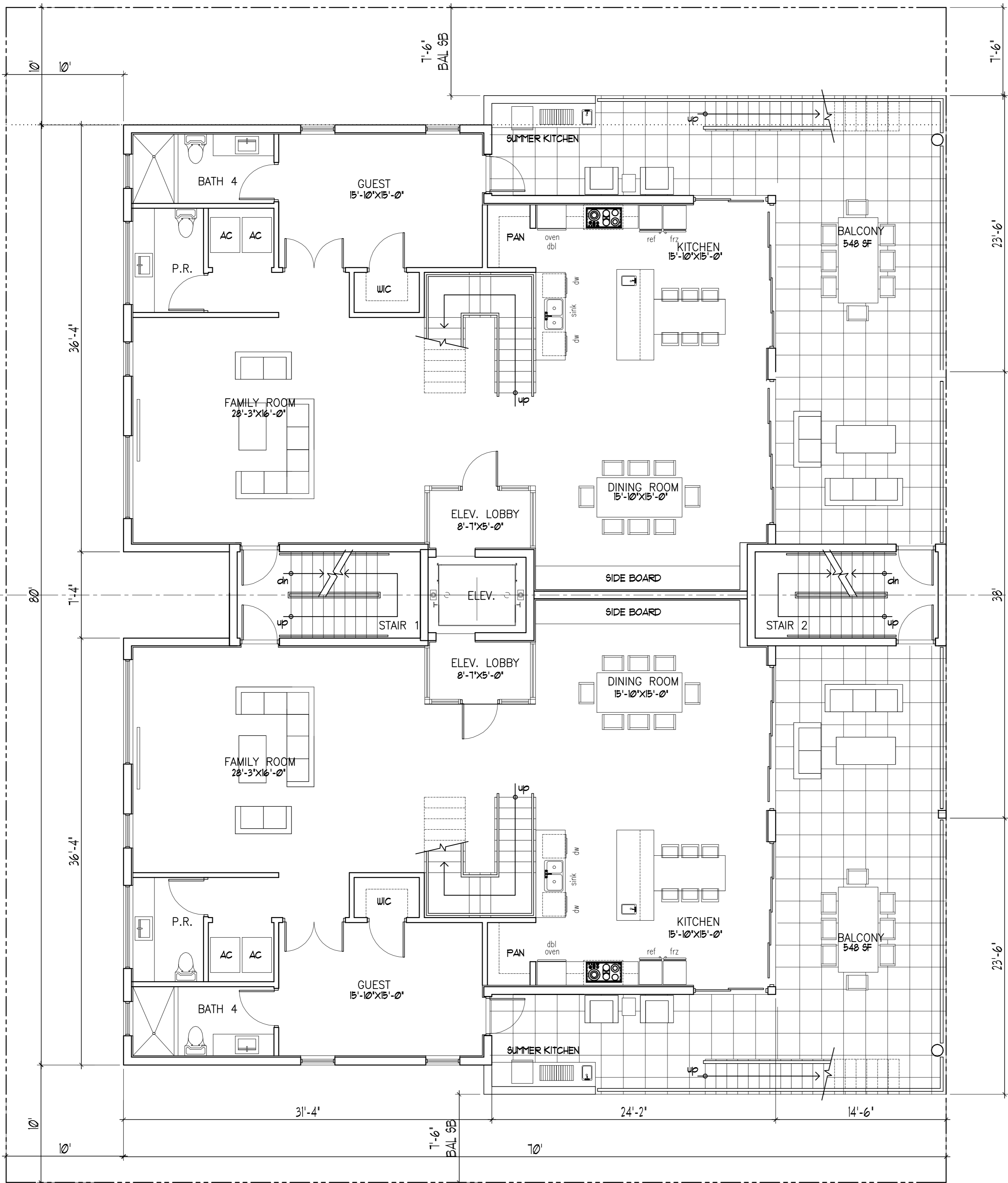
NORTH

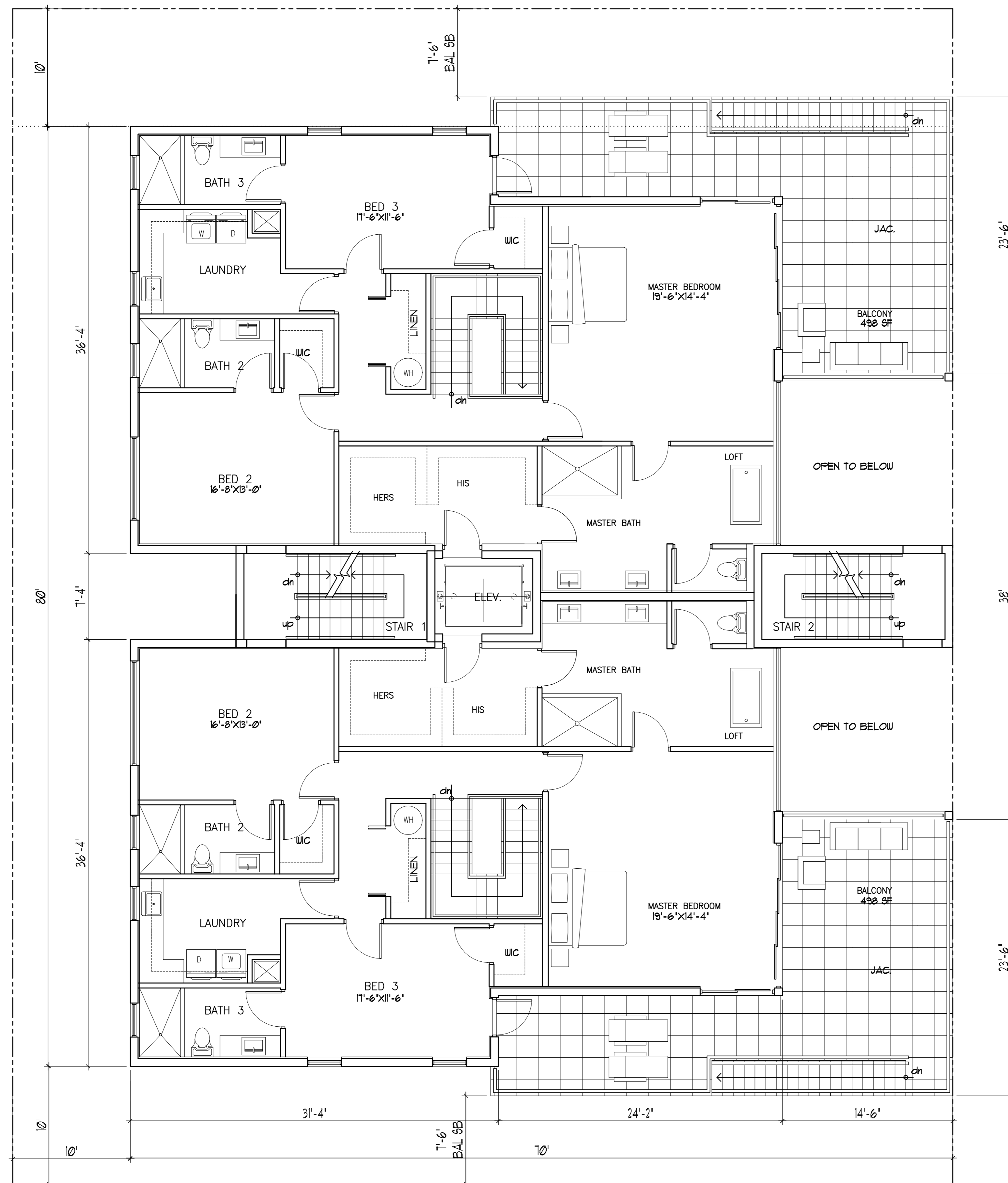
1

FOURTH FLOOR PLAN

SCALE: 3/16"= 1'-0"

TOWNHOUSE LEVEL 1





1 FIFTH FLOOR PLAN

SCALE: 3/16" = 1'-0"



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PROJECT TITLE
CONDOMINIUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

Contract Documents is to evaluate all items necessary for the project.

SHEET TITLE

FIFTH FLOOR PLAN

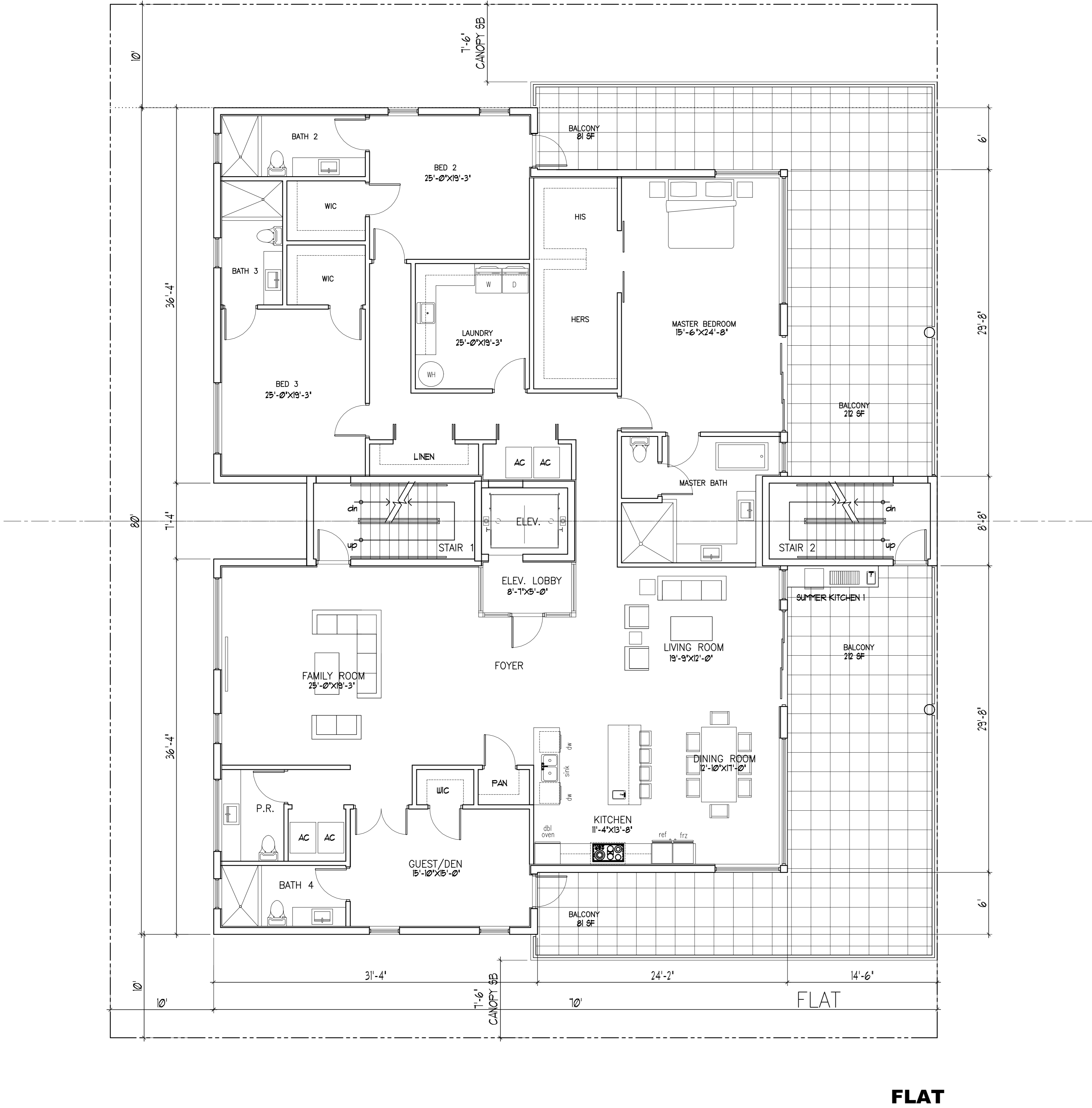
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No.	DATE	DESCRIPTION
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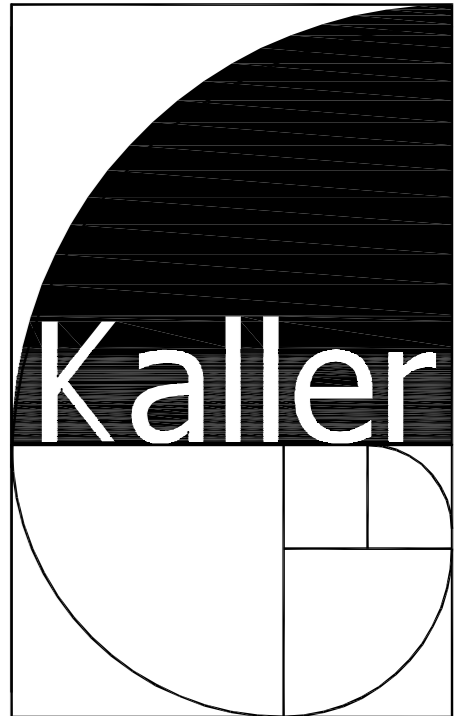
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SHEET

A-5





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PROJECT TITLE

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SHEET TITLE

SIXTH FLOOR PLAN

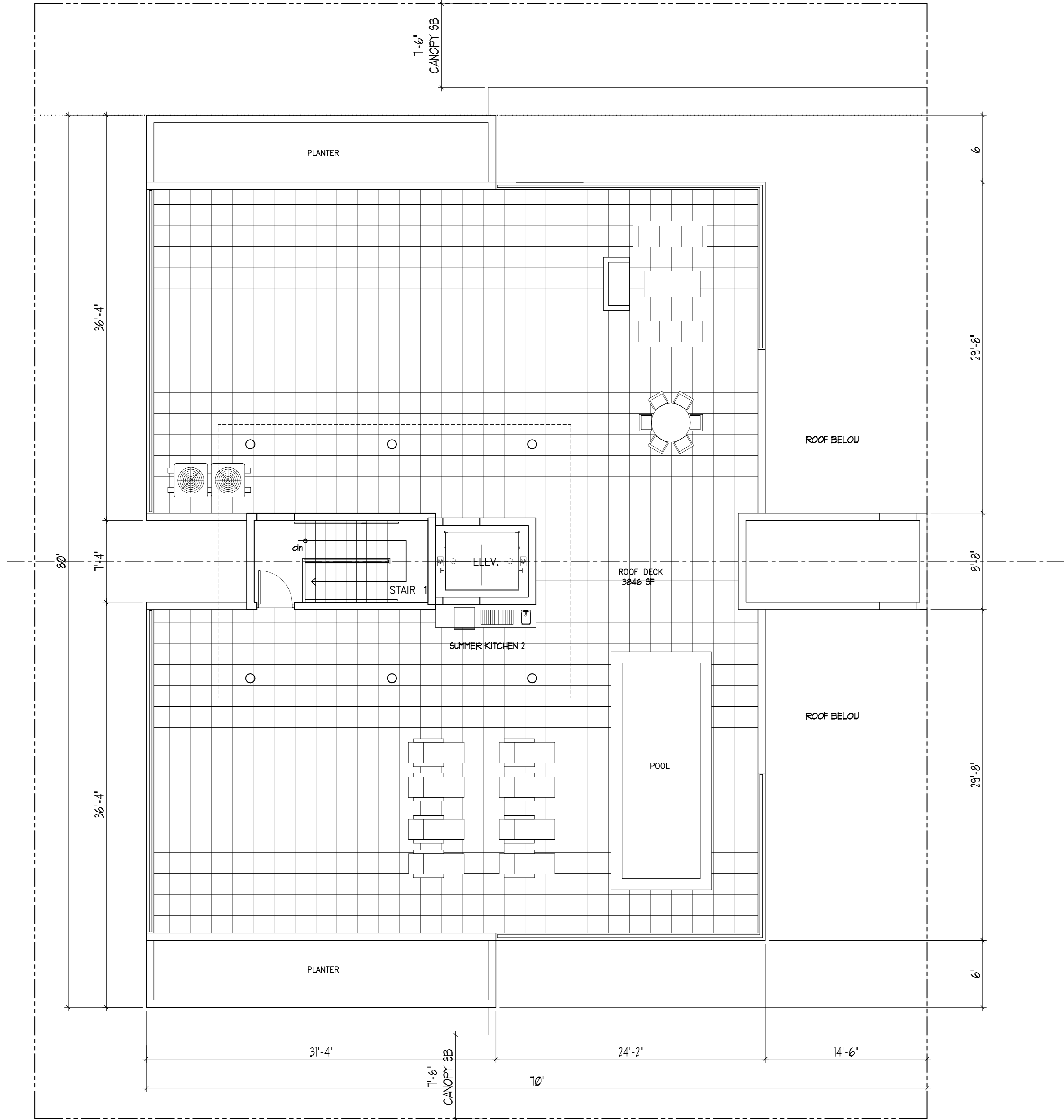
REVISIONS		
No.	DATE	DESCRIPTION
1		
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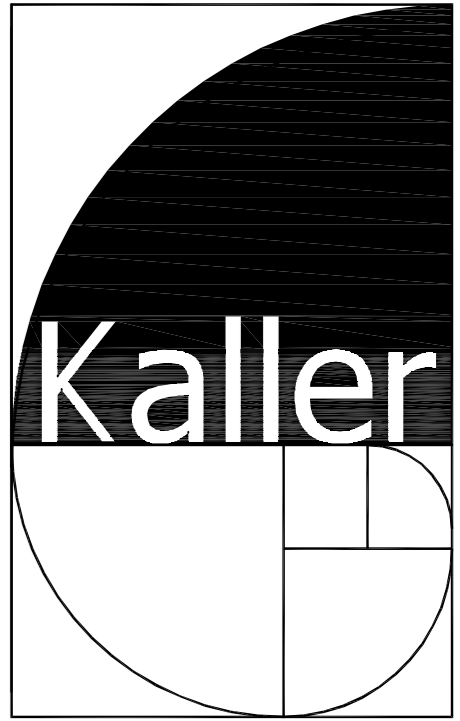
SHEET

A-6

6 OF 12



1 **ROOF PLAN**
SCALE: 3/16"= 1'-0"



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SHEET TITLE
ROOF PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET

A-7



1. TURTLE FRIENDLY, TINTED IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. TEXTURE STUCCO WALL FINISH
5. 1" WIDE VERTICAL / HORIZONTAL STUCCO SCORING
6. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
7. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
8. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
9. CONCRETE CANOPY
10. CONCRETE COLUMN
11. CONCRETE EYEBROW

1 NORTH ELEVATION
SCALE: 3/16"= 1'-0"



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PROJECT TITLE
CONDOMINIUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

SHEET TITLE
BUILDING ELEVATION

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET

A-10



- ① TURTLE FRIENDLY, TINTED IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. TEXTURE STUCCO WALL FINISH
5. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
6. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
7. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
8. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
9. CONCRETE CANOPY
10. CONCRETE COLUMN
11. CONCRETE EYEBROW

1 WEST ELEVATION
SCALE: 3/16"= 1'-0"



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PROJECT TITLE
CONDOMINIUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

SHEET TITLE
BUILDING ELEVATION

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		


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SHEET

A-11





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PROJECT TITLE
CONDOMINIUM AT
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SHEET TITLE
CONTEXTUAL ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET

A-12

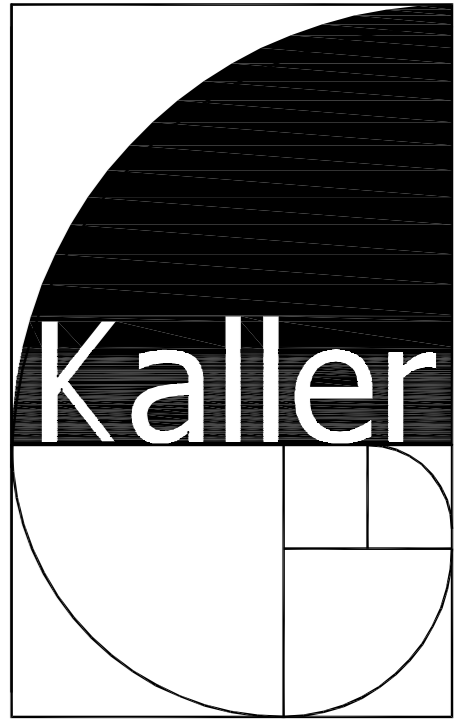
1 CONTEXTUAL STREET ELEVATIONS

SCALE: 1"= 20'-0"



1. TURTLE FRIENDLY, TINTED IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. TEXTURE STUCCO WALL FINISH
5. 1" WIDE VERTICAL / HORIZONTAL STUCCO SCORING
6. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
7. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
8. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
9. CONCRETE CANOPY
10. CONCRETE COLUMN
11. CONCRETE EYEBROW

1 EAST ELEVATION
SCALE: 3/16"= 1'-0"



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PROJECT TITLE
CONDOMINIUM AT
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HOLLYWOOD, FL 33019

SHEET TITLE
BUILDING ELEVATION

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		

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SHEET

A-8



1. TURTLE FRIENDLY, TINTED IMPACT RESISTANT STOREFRONT
2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
3. SMOOTH STUCCO WALL FINISH
4. TEXTURE STUCCO WALL FINISH
5. 1" WIDE VERTICAL / HORIZONTAL STUCCO SCORING
6. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
7. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
8. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
9. CONCRETE CANOPY
10. CONCRETE COLUMN
11. CONCRETE EYEBROW

1 SOUTH ELEVATION
SCALE: 3/16"= 1'-0"



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SHEET TITLE
BUILDING ELEVATION

REVISIONS		
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1		
2		

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SHEET

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