

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development Board

Date of Application: 9-5-17

Location Address: 1401 & 1451 S. Surf Road
Lot(s): 1, 2, 3, & 4 Block(s): 3 Subdivision: Atlantic Shores
Folio Number(s): 514224020110 & 514224CB0010-70 North Beach Sec.

Zoning Classification: RM-25-SCB Land Use Classification: _____
Existing Property Use: residential Sq Ft/Number of Units: 445-3964

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO

Economic Roundtable Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development

Explanation of Request: Site Plan Review of a Two Phase Condominium project. 5 units/phase

Number of units/rooms: 10 Sq Ft: 3966 & 4026
Value of Improvement: 4mil/Phase Estimated Date of Completion: Jan 2020

Will Project be Phased? () Yes () No
Phase 1 Jan 2020 If Phased, Estimated Completion of Each Phase
Phase 2 Jan 2022

Name of Current Property Owner: Luis Stabinski / Fabio & Amalia Nick
Address of Property Owner: 1401 S. Surf Road/3403 NE 166th St. N MB
Telephone: 305-588-9200 Fax: _____ Email Address: lstabinsky@aol.com

Name of Consultant/Representative/Tenant (circle one): Joseph B. Kaller
Address: 2417 Hollywood Blvd. Telephone: 954-920-5746
Fax: 954-926-2841 Email Address: joseph@kallerarchitects.com

Date of Purchase: See attached Is there an option to purchase the Property? Yes () No ()
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Fabio & Amalia Nick
Beach Fl. 33160 Address: 3403 NE 166th St, N. Miami Beach FL 33160 Email Address: _____

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File No. (internal use only): _____

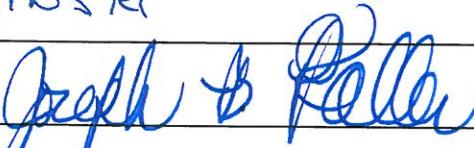
GENERAL APPLICATION**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 8-29-17

PRINT NAME: Luis Stabinski Date: 8-29-17

Signature of Consultant/Representative:  Date: 8-29-17

PRINT NAME: JOSEPH B. KALLER Date: 8-29-17

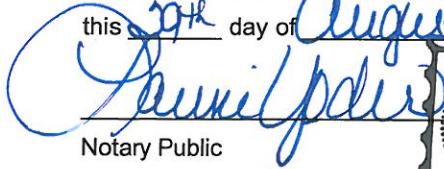
Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

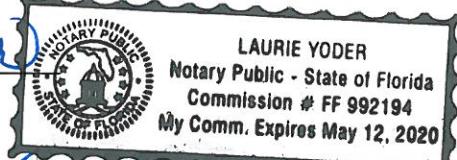
I am the current owner of the described real property and that I am aware of the nature and effect the request for TAC Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 29th day of August 2017

 Notary Public

State of Florida

My Commission Expires: (Check One) Personally known to me; OR Produced Identification _____



 Signature of Current Owner

Luis Stabinski Print Name

PLANNING DIVISION

File No. (Internal use only): _____

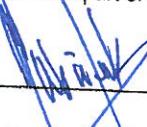
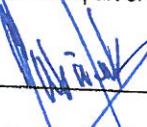
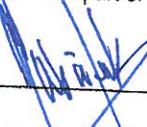
2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

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Signature of Current Owner: Date: 8/28/17PRINT NAME: Date: 8/28/17Signature of Consultant/Representative: Date: 8-28-17PRINT NAME: Date: 8-28-17

Signature of Tenant: _____

Date: _____

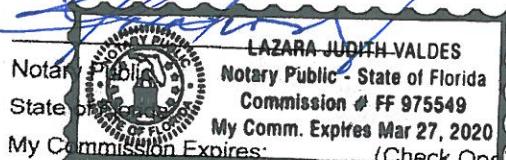
PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 28 day of August
Signature of Current Owner

Print Name

Crocus and Bougainvillea CONDOMINIUMS

PHASE 1 AND 2

1451 AND 1401 S. SURF ROAD HOLLYWOOD FLORIDA

PROJECT INFO:

PHASE 1

6 STORY 5 UNIT RESIDENTIAL MULTI-FAMILY
BUILDING

PHASE 11

6 STORY 5 UNIT RESIDENTIAL
MULTI-FAMILY BUILDING

LEGAL DESCRIPTION:

LOTS 1, 2, 3 AND 4, BLOCK 3, OF "ATLANTIC SHORES NORTH BEACH SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 36, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. TOGETHER WITH : THE NORTH 1/2 OF CROCUS TERRACE, AS SHOWN ON SAID PLAT LYING SOUTH OF AND ADJACENT TO SAID LOT 1 AND BOUNDED ON THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID CROCUS TERRACE AND BOUNDED ON THE WEST BY THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID CROCUS TERRACE.

ASLO TOGETHER WITH : THE SOUTH 1/2 OF JEFFERSON COURT, AS SHOWN ON SAID PLAT LYING NORTH OF AND ADJACENT TO SAID LOT 4 AND BOUNDED ON THE EAST BY THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID JEFFERSON COURT AND BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID JEFFERSON COURT.



1500 S. SURF
(WEST OF SITE)



1401 S. SURF (NORTH PARCEL)



1451 S. SURF (SOUTH PARCEL)



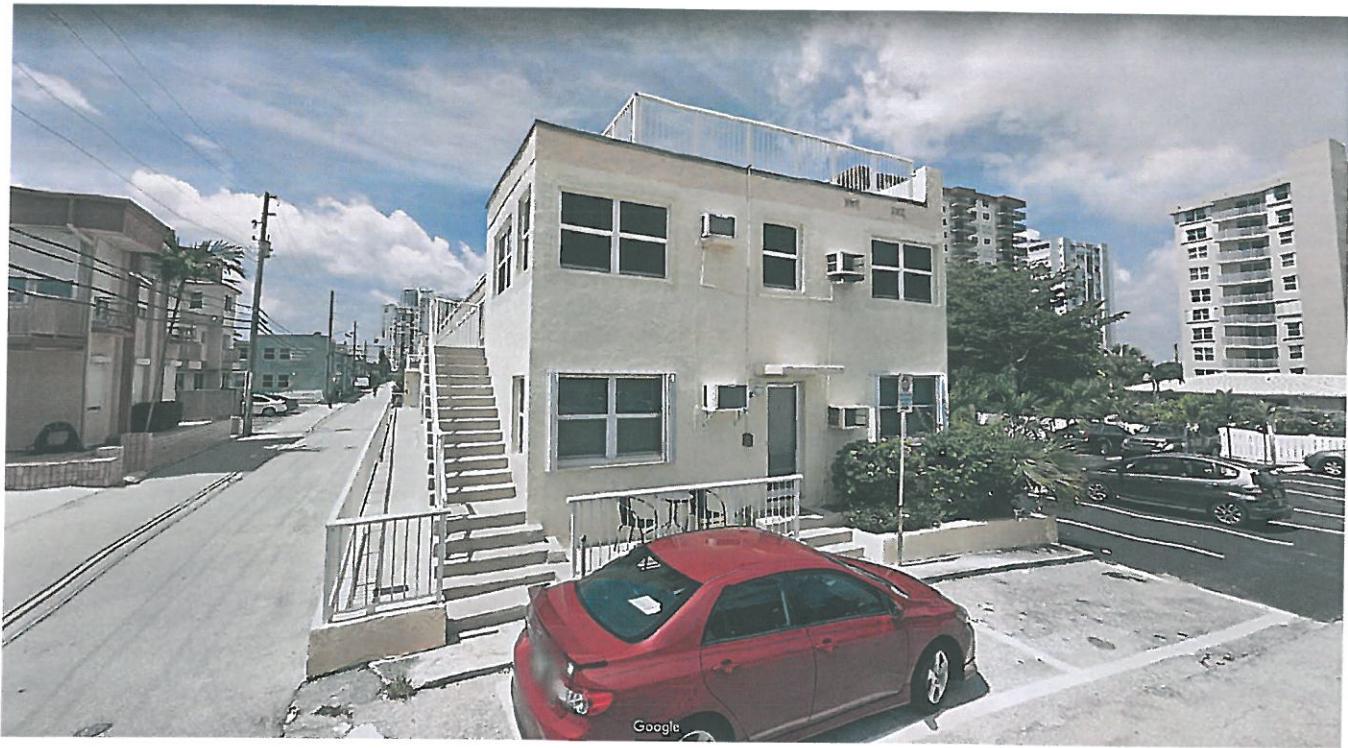
NORTH OF SITE



1504 S. SURF
(SOUTH OF SITE)



1451 S. SURF



1500 S. SURF
(WEST OF SITE)

Crocus and Bougainville CONDOMINIUMS

PHASE 1 AND 2

1451 AND 1401 S. SURF ROAD HOLLYWOOD FLORIDA

AA 260012

2417 Hollywood Blvd, Hollywood, Florida 33020

(954) 926-2841

kaller@bellsouth.net



JOSEPH B. KALLER
+
ASSOCIATES PA

AA 260012
2417 Hollywood Blvd, Hollywood, Florida 33020
(954) 926-2841 fax
kaller@bellsouth.net

SEAL



PACO - JUNE 12, 2011

PROJECT TEAM

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
PHONE: (954) 926-5746
FAX: (954) 926-2841
EMAIL: Joseph@kallerarchitects.com

SURVEYOR

COUSINS SURVEYORS AND ASSOCIATES, INC.
CONTACT: RICHARD COUSINS
ADDRESS: 3921 SW 41TH AVENUE, SUITE 1011
PHONE: (954) 660-9888
EMAIL: RESurveyor@aol.com

OWNER

PHASE I - 1451 S. SURF ROAD
OWNERS: STAB PROPERTIES OF BROWARD LLC
NICK AND AMILIA FABIO
CONTACT: LUIS STABINSKI
ADDRESS: 1401 S SURF ROAD
HOLLYWOOD, FL 33019
TEL: (954) 364-7437
EMAIL: lstabinski@aol.com

OWNER

PHASE II - 1401 S. SURF ROAD
OWNERS: LUIS AND BELL STABINSKI
CONTACT: LUIS STABINSKI
ADDRESS: 1401 S SURF ROAD
HOLLYWOOD, FL 33019
TEL: (954) 364-7437
EMAIL: lstabinski@aol.com

PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 5TH EDITION 2014
5TH EDITION FLORIDA FIRE PREVENTION CODE, 2016 BROWARD FIRE AMENDMENTS
FLORIDA ADMINISTRATIVE CODE 69A-40

JURISDICTION:

CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

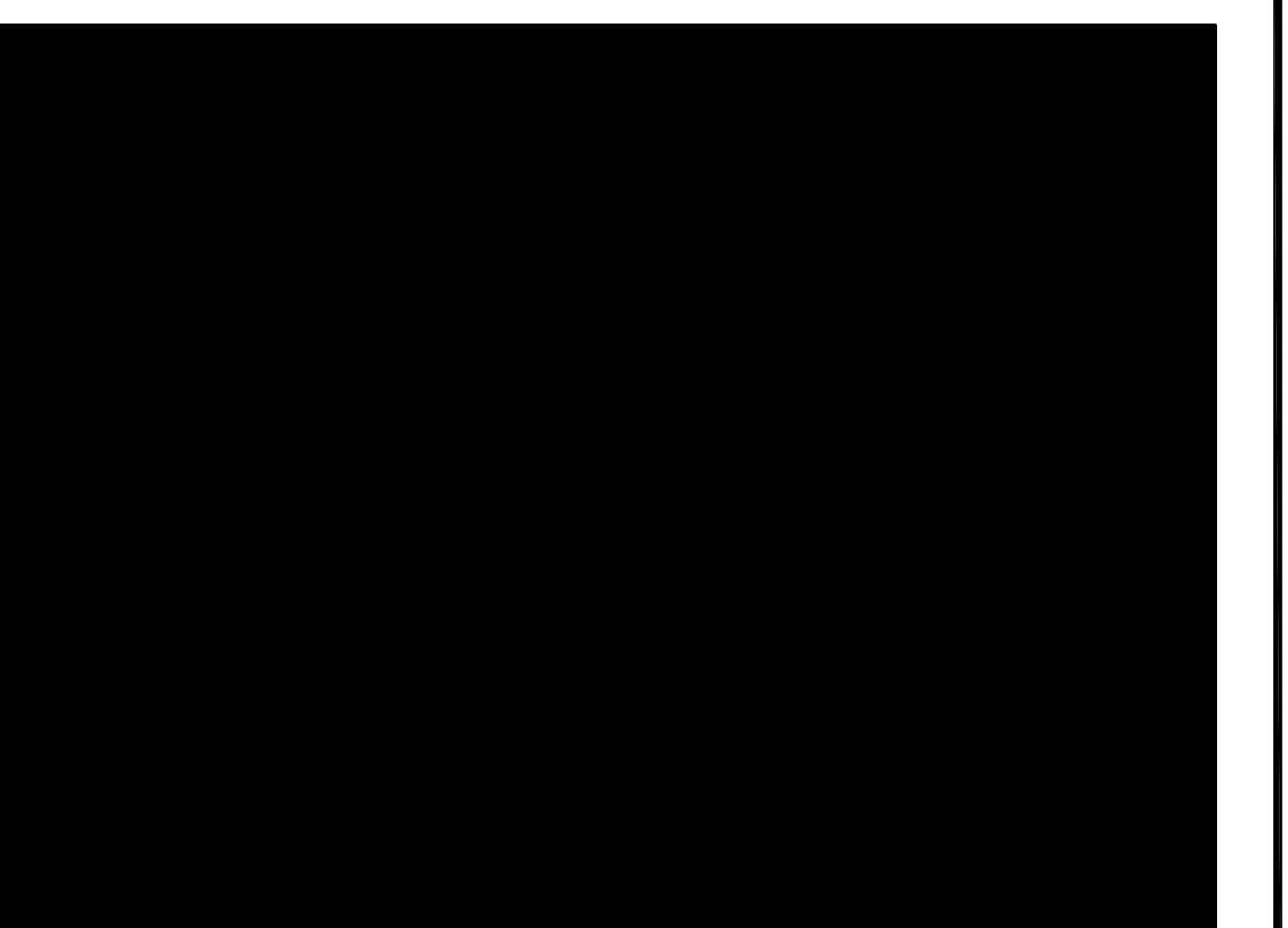
DRAWING INDEX

T-1 COVER SHEET SURVEY

SP-1 SITE PLAN AND SITE DATA
SP-2 SIGN DETAILS AND CONTEXTUAL STREET ELEVATIONS

A-1 FIRST FLOOR PLAN
A-2 SECOND FLOOR PLAN - TH LEVEL 1
A-3 THIRD FLOOR PLAN - TH LEVEL 2
A-4 FOURTH FLOOR PLAN - TH LEVEL 1
A-5 FIFTH FLOOR PLAN - TH LEVEL 2
A-6 SIXTH FLOOR PLAN - FLAT
A-7 ROOF PLAN
A-8 BUILDING ELEVATION
A-9 BUILDING ELEVATION
A-10 BUILDING ELEVATIONS
A-11 BUILDING ELEVATIONS
A-12 CONTEXTUAL STREET ELEVATION

LOCATION MAP



NORTH

AERIAL



SITE

TITLE PAGE PRELIM. TAC

SHEET TITLE

TITLE PAGE PRELIM. TAC

REVISIONS

No. Date Description

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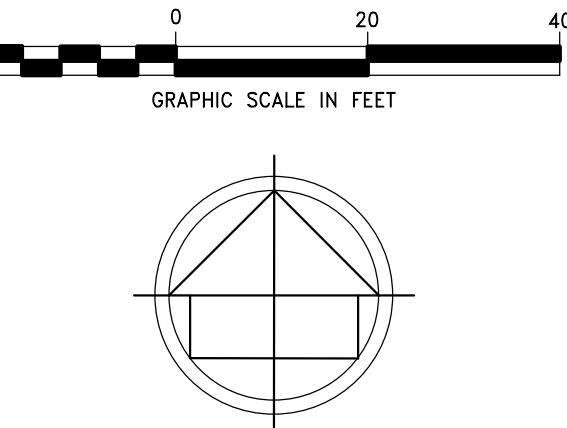
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LEGEND:	
CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SNC	SET NAIL AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
FND	FOUND NAIL & DISC
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
WPP	WOOD POWER POLE
-X-	CHAIN LINK / WOOD FENCE
ELEV	ELEVATION
CBS	CONCRETE BLOCK STRUCTURE
-E	OVERHEAD UTILITY WIRES
A/C	AIR CONDITIONER
6.06	ELEVATION
BLDG	BUILDING
ORB	OFFICIAL RECORDS BOOK
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
WV	WATER VALVE
SQ.FT.	SQUARE FEET
GM	GAS METER



LAND DESCRIPTION:

LOTS 1, 2, 3 AND 4, BLOCK 3, OF "ATLANTIC SHORES NORTH BEACH SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 36, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. TOGETHER WITH THE NORTH 1/2 OF CROCUS TERRACE, AS SHOWN ON SAID PLAT LYING SOUTH OF AND ADJACENT TO SAID LOT 1 AND BOUNDED ON THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID CROCUS TERRACE AND BOUNDED ON THE WEST BY THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 1 TO THE INTERSECTION OF THE CENTERLINE OF SAID CROCUS TERRACE.

ASLO TOGETHER WITH THE SOUTH 1/2 OF JEFFERSON COURT, AS SHOWN ON SAID PLAT LYING NORTH OF AND ADJACENT TO SAID LOT 4 AND BOUNDED ON THE EAST BY THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID JEFFERSON COURT AND BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 4 TO THE INTERSECTION OF THE CENTERLINE OF SAID JEFFERSON COURT.

4. BUILDING SETBACKS:

A. BUILDING BASE SETBACKS**

CROSS STREETS 20 FEET
INTRACOASTAL 15 FEET
STATE ROAD A1A 25 FEET
OCEAN FRONT 15 FEET
SURF ROAD 25 FEET
INTERIOR 10 FOOT MINIMUM
20 FOOT MINIMUM FOR LOTS LARGER THAN 19,000 NET SF AND AT ENDS OF CROSS STREETS ON OCEANFRONT LOTS.

** CROSS STREET SETBACKS MAY BE A MINIMUM OF TEN FEET FOR UP TO 40% OF THE SITE FRONTAGE.

** OCEANFRONT SETBACKS MAY BE A MINIMUM OF TEN FEET FOR UP TO 60% OF THE BUILDING LENGTH MEASURED ALONG THE BROADWALK DEDICATION.

NOTE: BUILDING BASE SETBACK ON INTRACOASTAL SHALL BE MEASURED FROM SEAWALL.

B. BUILDING TOWER SETBACKS***

CROSS STREETS 20 FEET MINIMUM; ADDITIONAL 1 FOOT PER EVERY 1 FOOT OF HEIGHT ABOVE 50 FEET.
INTRACOASTAL 15 FEET
STATE ROAD A1A 25 FEET MINIMUM; ADDITIONAL 1 FOOT PER EVERY 1 FOOT OF HEIGHT ABOVE 50 FEET.

OCEAN FRONT 15 FEET
SURF ROAD 25 FEET
INTERIOR 10 FOOT MINIMUM

20 FOOT MINIMUM FOR LOTS LARGER THAN 19,000 NET SF AND AT ENDS OF CROSS STREETS ON OCEANFRONT LOTS.

*** CROSS STREET AND STATE ROAD A1A BUILDING TOWER SETBACKS MAY MATCH BUILDING BASE SETBACKS FOR UP TO 40% OF THE SITE FRONTAGE.

** OCEANFRONT SETBACKS MAY BE A MINIMUM OF TEN FEET FOR UP TO 60% OF THE BUILDING LENGTH MEASURED ALONG THE BROADWALK DEDICATION.

NOTE 1: NO SETBACK SHALL EXCEED 50 FEET.

NOTE 2: BUILDING TOWER SETBACK SHALL BE MEASURED FROM SEAWALL.

SEE SKETCH FOR FLOOD ZONE LINE DEPICTION

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0588 H
ZONE	VE
BASE FLOOD ELEV	10
EFFECTIVE DATE	08/18/14

NOTES :

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY ATTORNEYS' TITLE FUND SERVICES, LLC, FUND FILE NUMBER: 452044. EFFECTIVE DATES: FROM APRIL 30, 1990 AT 4:31 PM TO MAY 9, 2017 AT 11:00 PM (THERE ARE NO PLOTTABLE EXCEPTIONS)
3. THIS SURVEY WAS DONE SOLELY TO SHOW BOUNDARY INFORMATION AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS ARE NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
7. BENCHMARK REFERENCE: BROWARD COUNTY BENCHMARK #3956 ELEVATION =7.65' (NAVD88)
8. THE COASTAL CONSTRUCTION CONTROL LINE WAS DETERMINED FROM MONUMENTS R-104 & R-119

NORTHING EASTING

R-104 622 113.907 947 185.601
R-119 606 982.355 946 382.258

(COORDINATES SHOWN HEREON ARE BASED ON THE NAD 1983 WITH A SUBSEQUENT READJUSTMENT DONE IN 2007.)

COUSINS SURVEYORS & ASSOCIATES, INC.

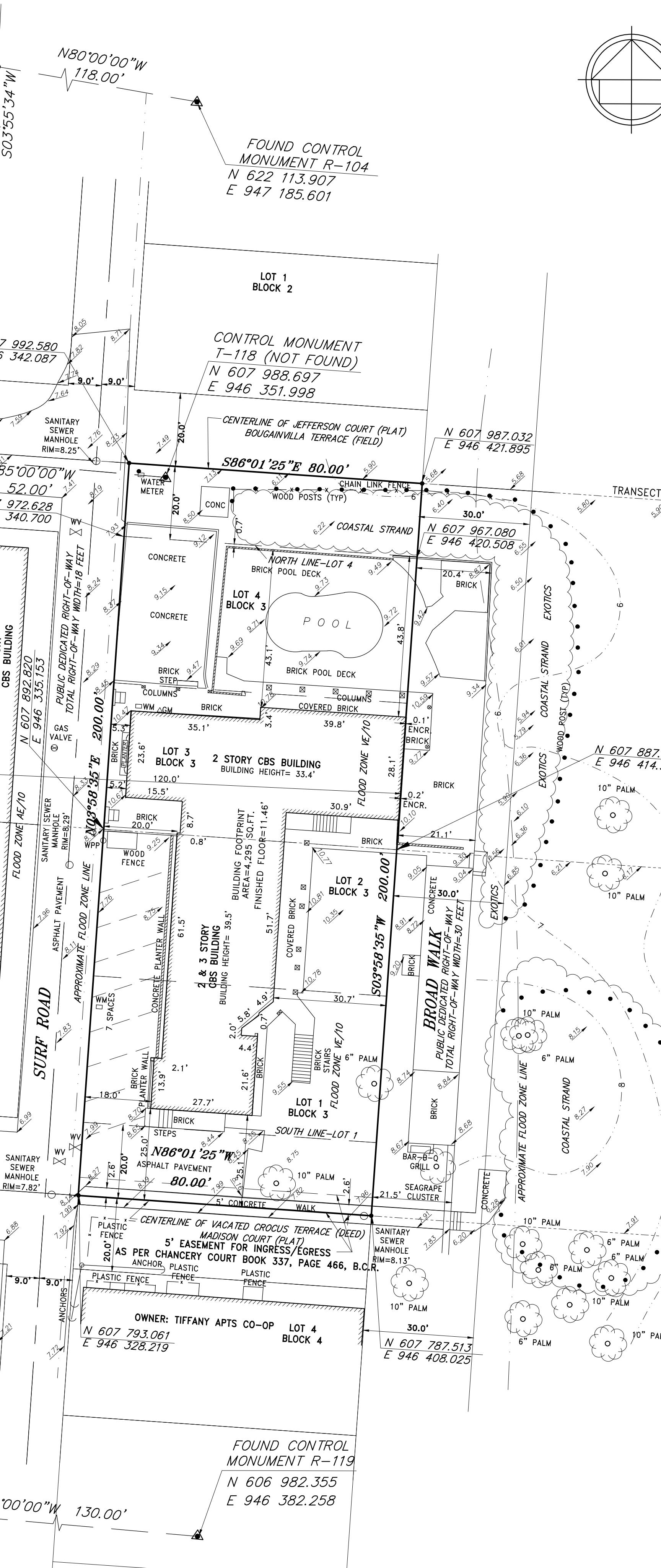
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314

CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

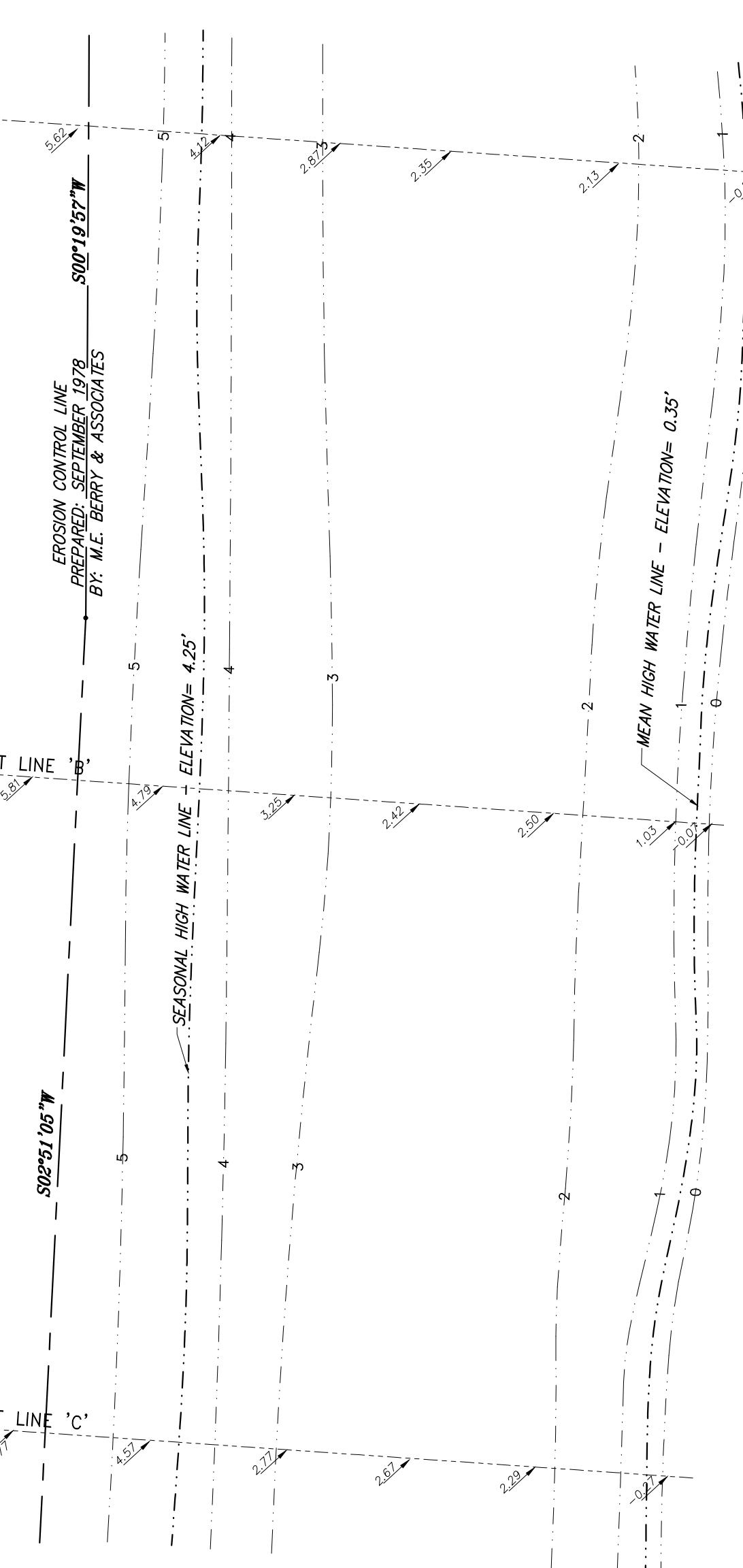
CLIENT :

LUIS STABINSKI

1401-1451 S SURF ROAD
HOLLYWOOD, FLORIDA 33060



LOCATION MAP (NTS)



TRANSECT LINE 'A'

TRANSECT LINE 'B'

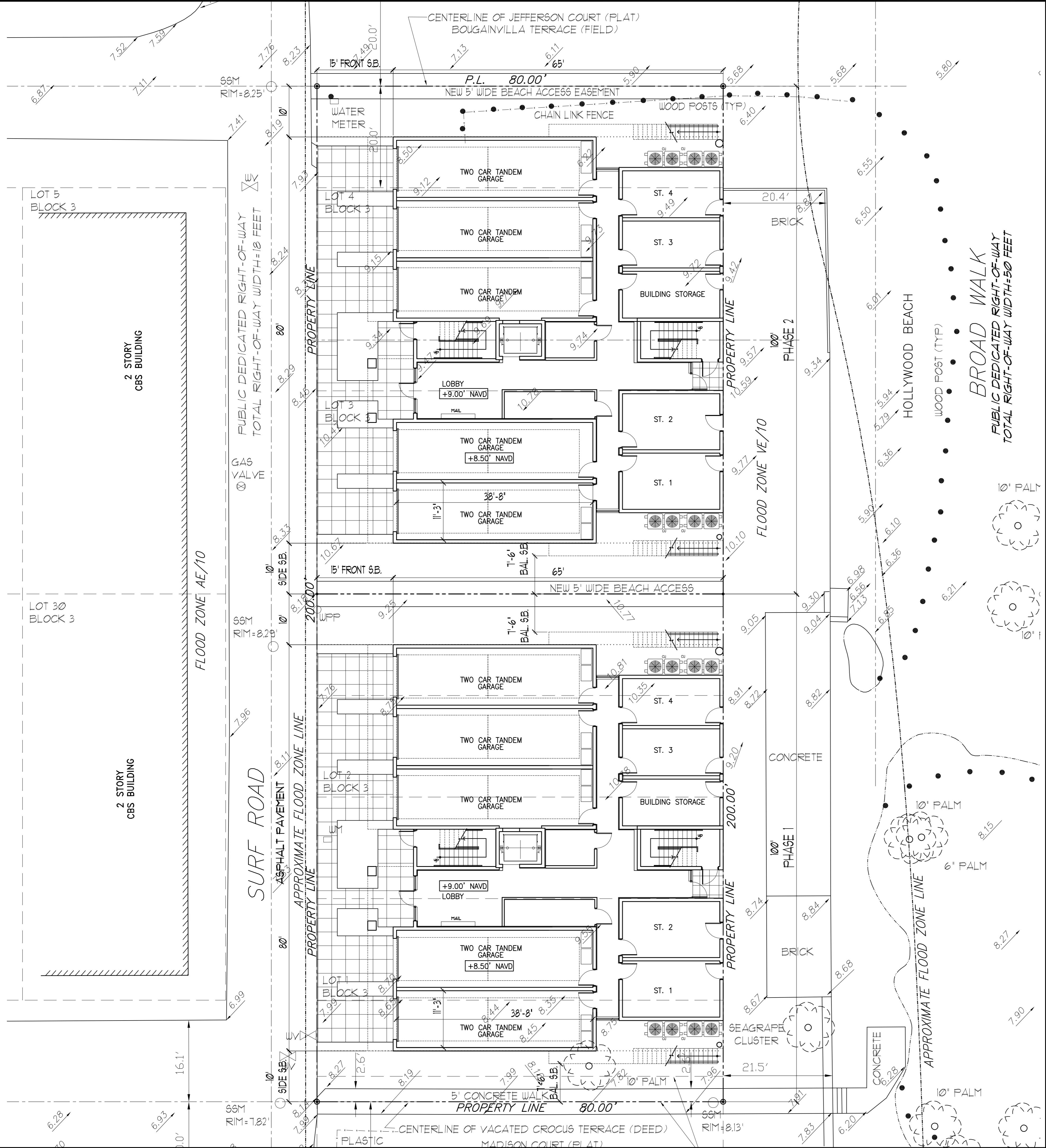
TRANSECT LINE 'C'

SEASONAL HIGH WATER LINE ELEVATION = 4.25'

MEAN HIGH WATER LINE ELEVATION = 3.35'

EROSION CONTROL LINE ELEVATION = 3.37'

REMOVED SURFACE ELEVATION = 3.37'



JOSEPH B. KALLER & ASSOCIATES PA
AA# 26001212
2417 Hollywood Blvd, Hollywood, Florida 33020
(954) 920 5746 phone - (954) 926 2841 fax
kaller@bellsouth.net

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT DOCUMENTS AND INFORMATION
This part of the Contract Documents is to be used in conjunction with the Contract Documents and constitutes the basis for the work to be done. It is the responsibility of the Contractor to familiarize himself with the requirements of this part of the Contract Documents and to use all reasonable care in the preparation and execution of the work. The Contractor shall be responsible for the proper execution and completion of the work in accordance with the requirements of this part of the Contract Documents.

PROJECT TITLE
CONDOMINIUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

SHEET TITLE
SITE PLAN AND DATA

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

PROJECT No.: 17032
DATE: 3-24-17
DRAWN BY: TMS
CHECKED BY: JBK

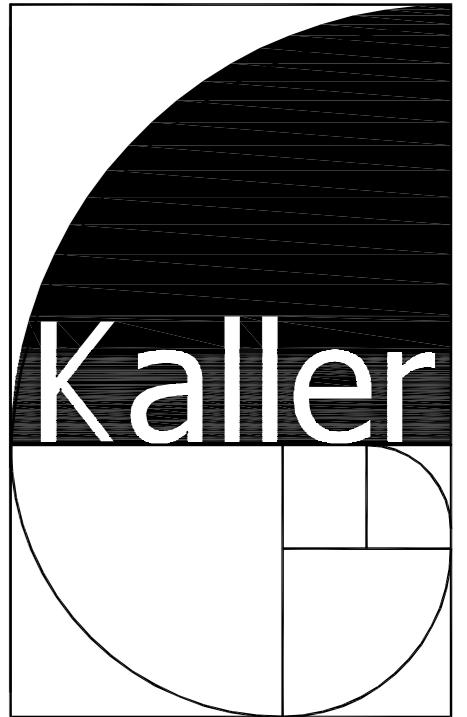
SHEET
SP-1
1 OF 2

**GREEN BUILDING PRACTICES
FROM CITY OF HOLLYWOOD ORDINANCE #0-2011-06**

- (1) CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
- (2) RADIANT BARRIER - ENERGY STAR QUALIFIED
- (4) ENERGY EFFICIENT LOW E WINDOWS - ENERGY STAR RATING
- (5) CRITERIA FOR SOUTH FLORIDA ENERGY EFFICIENT DOORS - ENERGY STAR RATING CRITERIA
- (8) FOR SOUTH FLORIDA PROGRAMMABLE THERMOSTATS
- (9) OCCUPANCY/VACANCY SENSORS
- (14) DUAL FLUSH TOILETS
- (16) 80% OF PLANTS AND TREES PER SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS
- (11) ALL ENERGY EFFICIENT OUTDOOR LIGHTING (SHEILEDDED)
- (18) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THAN STANDARD ESTABLISHED BY ASHRAE
- (20) ALL HOT WATER PIPES INSULATED
- (21) MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT.

ADDITIONAL PRACTICES

1. ICYENE SOY BASED CLOSED CELL SPRAY INSULATION
2. ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE.

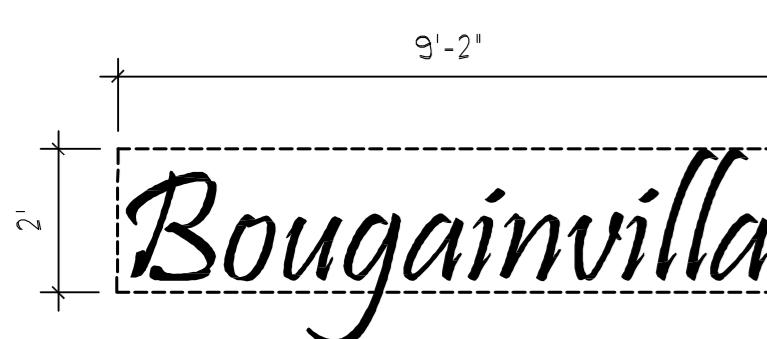


JOSEPH B. KALLER
+
ASSOCIATES PA
AA# 26001212
2417 Hollywood Blvd, Hollywood, Florida 33020
(954) 920 5746 phone - (954) 926 2841 fax
kaller@hellsouth.net

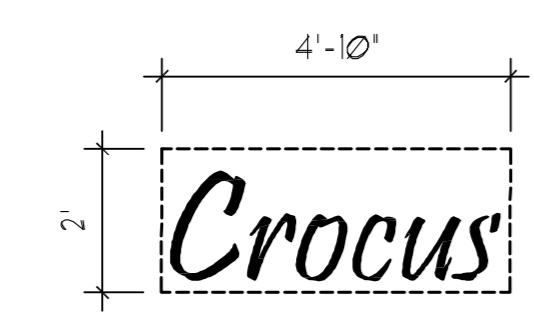
SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

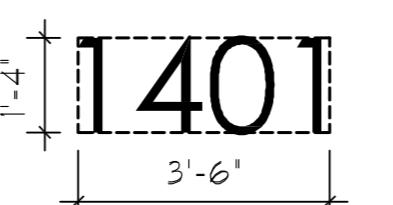
1 GREEN BUILDING PRACTICES



NAME SIZE = 20 SF.
FONT STYLE - PRISTINA



NAME SIZE = 10 SF.
FONT STYLE - PRISTINA



NUMBER SIZE = 525 SF.
FONT STYLE - CENTURY GOTHIC

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE RM-25-SCB ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

2 SIGNAGE DETAILS

SCALE: 3/8" = 1'-0"

PROJECT TITLE: CONDOMINIUM AT 1401 AND 1451 S SURF ROAD HOLLYWOOD, FL 33019

SHEET TITLE: GREEN BUILDING PRACTICES SIGNAGE DETAILS

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

PROJECT No.: 17032
DATE: 3-24-17
DRAWN BY: TMS
CHECKED BY: JBK

SP-2



Kaller

JOSEPH B. KALLER
+
ASSOCIATES PA
AA# 26001212
2417 Hollywood Blvd., Hollywood, Florida 33020
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SEAL

JOSEPH B. KALLER
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PROJECT TITLE
CONDOMINUMS AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

PROJECT NUMBER

SHEET TITLE
SECOND FLOOR PLAN

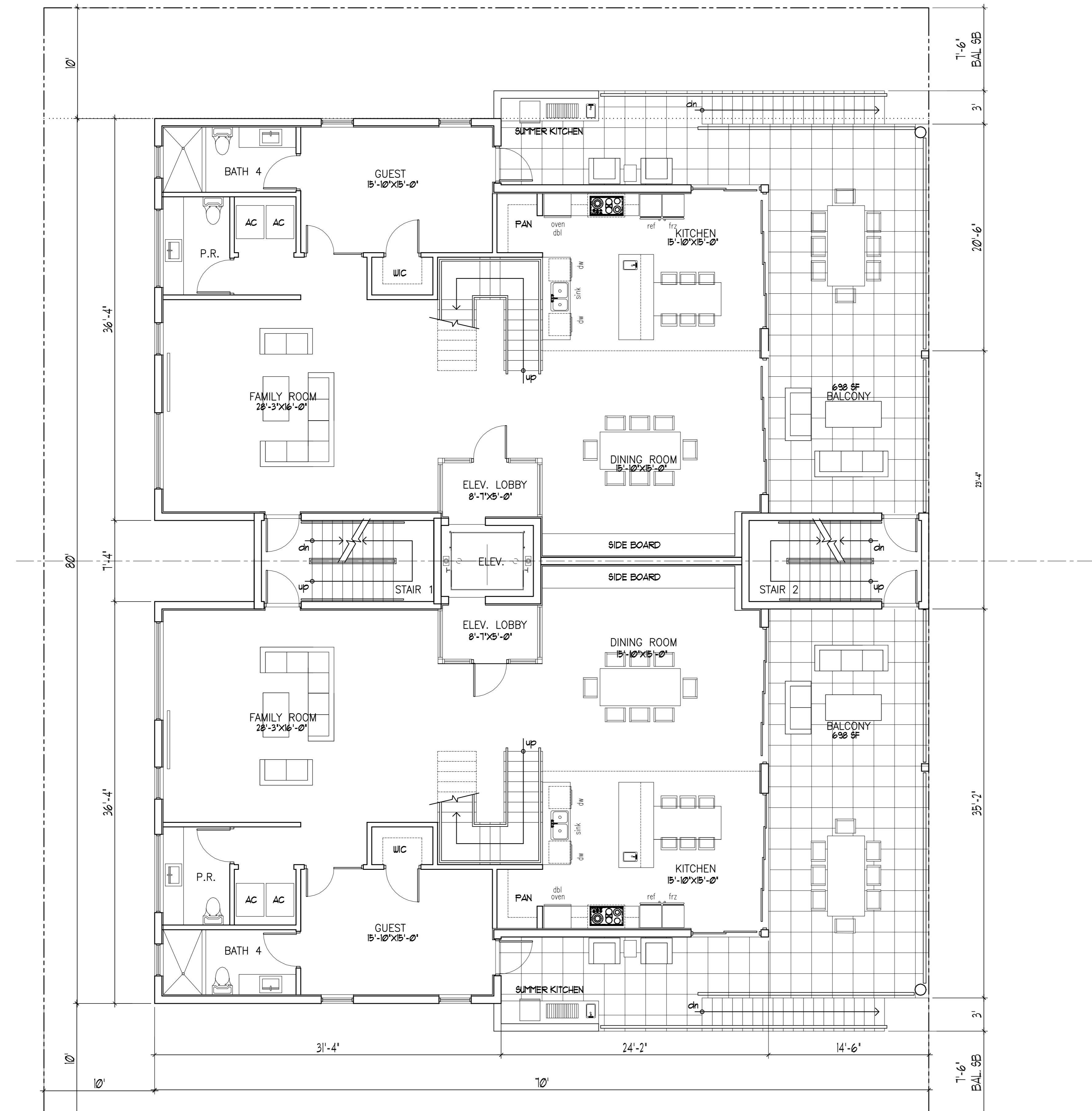
REVISIONS
No. DATE DESCRIPTION

PROJECT No.: 17032
DATE: 3-24-17
DRAWN BY: TMS
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SHEET

A-2

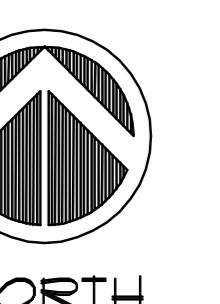
2 OF 12



TOWN HOUSE LEVEL 1

1 SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



2 OF 12



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PROJECT TITLE
CONDOMINUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

SHEET TITLE
THIRD FLOOR PLAN
MASTER BATH

REVISIONS

NO.	DATE	DESCRIPTION
1		
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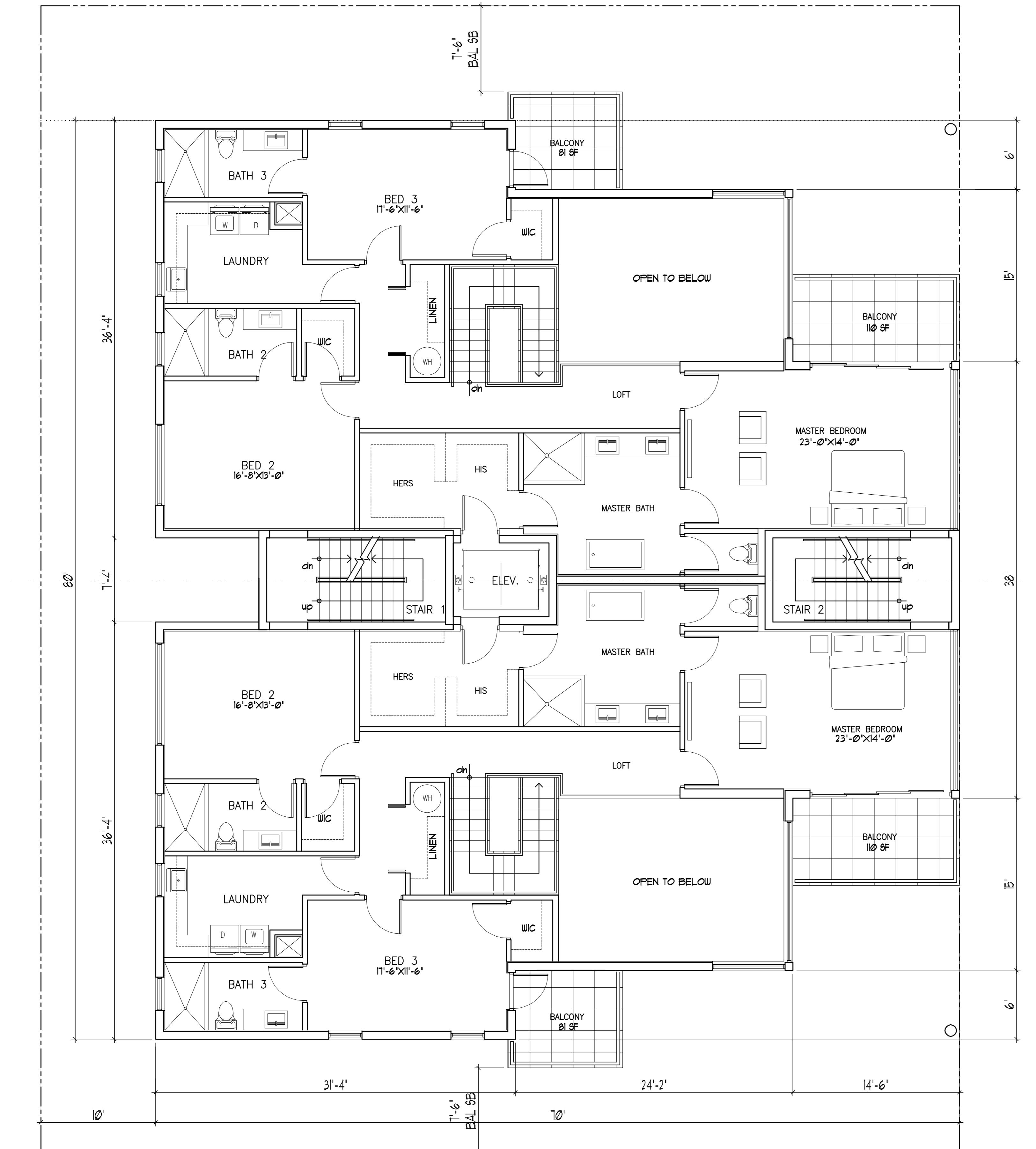
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SHEET

A-3

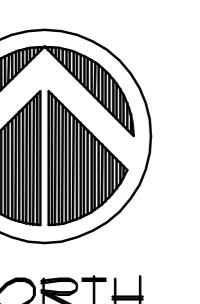
3 OF 12



TOWNHOUSE LEVEL 2

1 THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"



NORTH



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PROJECT TITLE
CONDODIUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

PROJEC TITLE

SHEET TITLE
FOURTH FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

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PROJECT TITLE
CONDOMINUM AT
1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

PROJ. NO. 1401

SHEET TITLE
FIFTH FLOOR PLAN
FLOOR NO. 5

REVISIONS

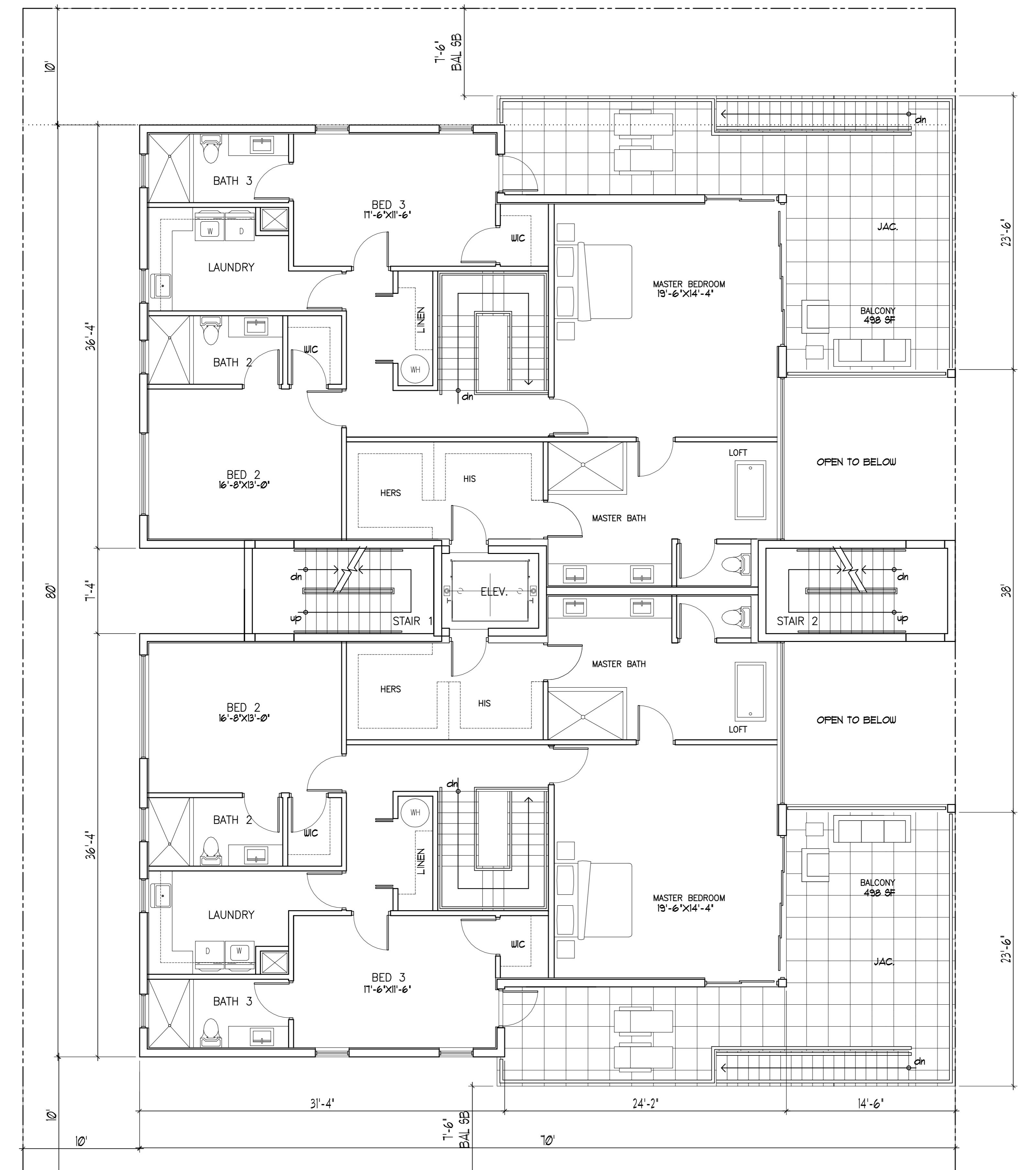
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SHEET

A-5



TOWNHOUSE LEVEL 2

1 **FIFTH FLOOR PLAN**
SCALE: 3/16" = 1'-0"



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PROJECT TITLE
CONDOMINUM AT
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HOLLYWOOD, FL 33019

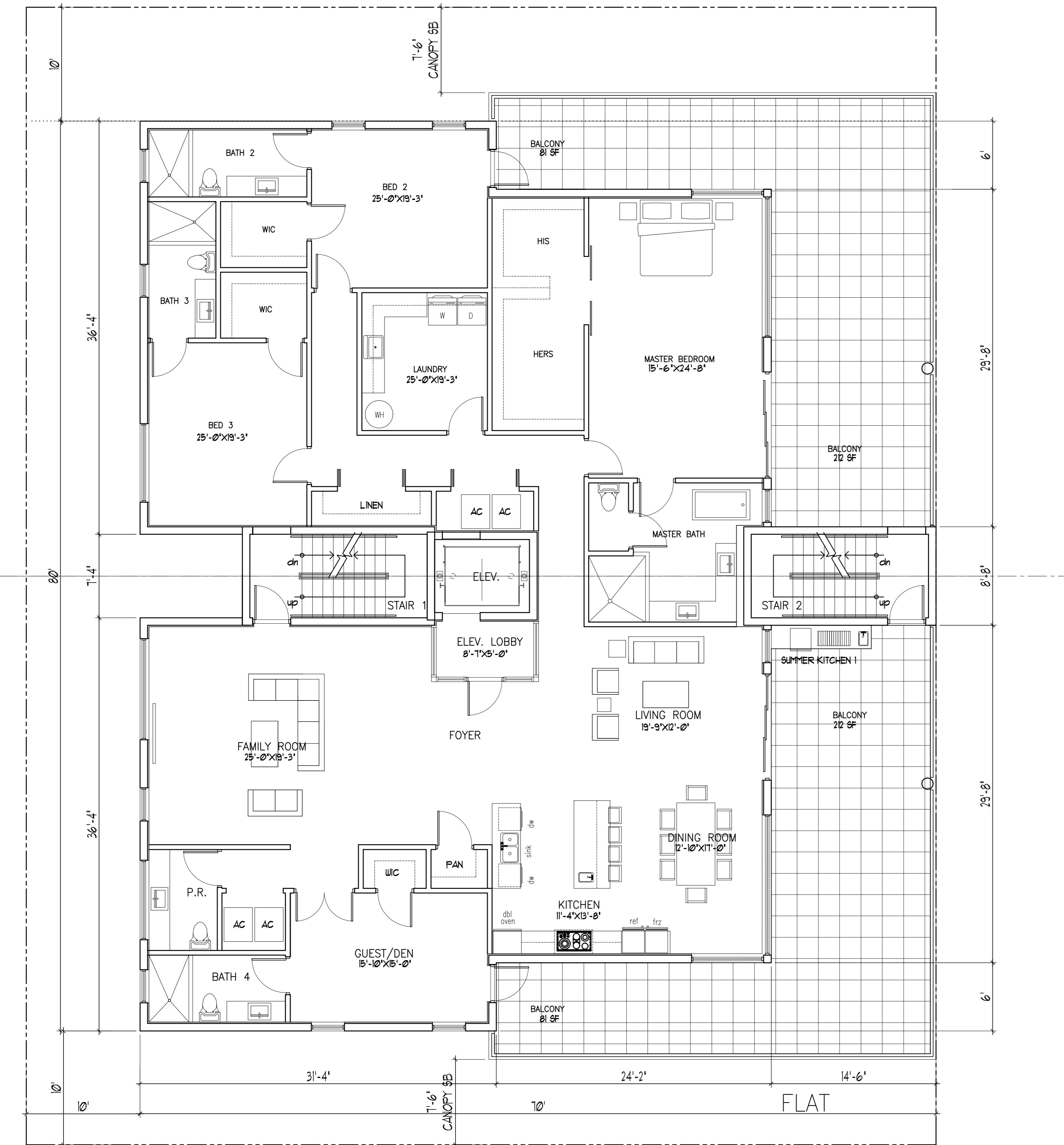
SHEET TITLE
SIXTH FLOOR PLAN
SIXTH FLOOR PLAN

REVISIONS		
NO.	DATE	DESCRIPTION
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PROJECT No.: 17032
DATE: 3-24-17
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NORTH

SHEET
A-6



FLAT

FLAT

1 SIXTH FLOOR PLAN
SCALE: 3/16" = 1'-0"

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PROJECT TITLE
CONDOMINIUM AT
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HOLLYWOOD, FL 33019

PROJ. NO. 1401

SHEET TITLE
BUILDING ELEVATION

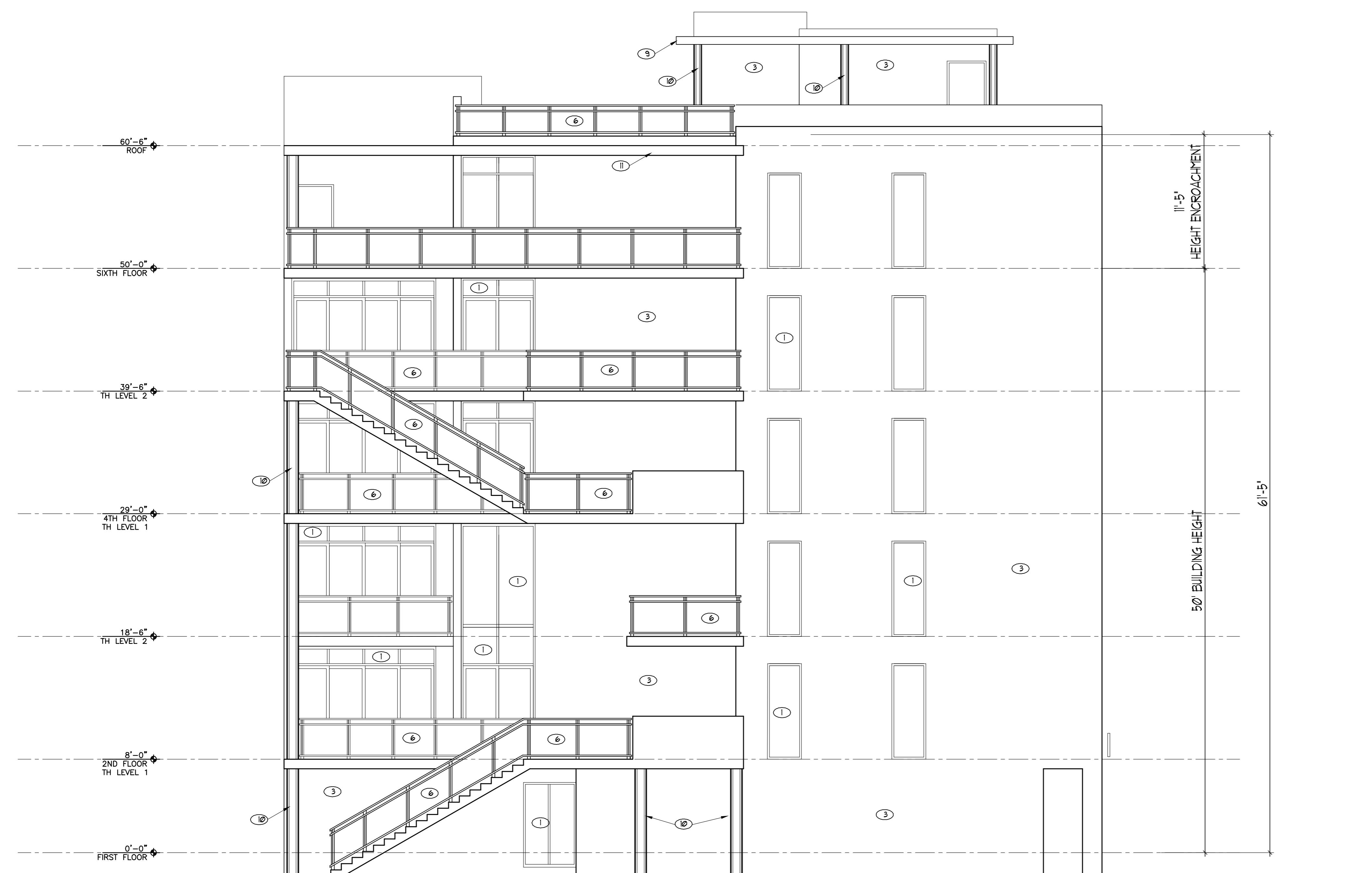
REVISIONS
No. DATE DESCRIPTION
1
2

PROJECT No.: 17032
DATE: 3-24-17
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-10

10 OF 12



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- 1. TURTLE FRIENDLY, TINTED IMPACT RESISTANT STOREFRONT
- 2. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
- 3. SMOOTH STUCCO WALL FINISH
- 4. TEXTURE STUCCO WALL FINISH
- 5. 1" WIDE VERTICAL/ HORIZONTAL STUCCO SCORING
- 6. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
- 7. POWDER COATED ALUMINUM REVERSE CHANNEL LETTER BACK LIT SIGN
- 8. IMPACT RESISTANT PAINTED METAL ROLL UP DOORS
- 9. CONCRETE CANOPY
- 10. CONCRETE COLUMN
- 11. CONCRETE EYEBROW



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1401 AND 1451 S SURF ROAD
HOLLYWOOD, FL 33019

SHEET TITLE
BUILDING ELEVATION

REVISIONS
No. DATE DESCRIPTION

PROJECT No.: 17032

DATE: 3-24-17

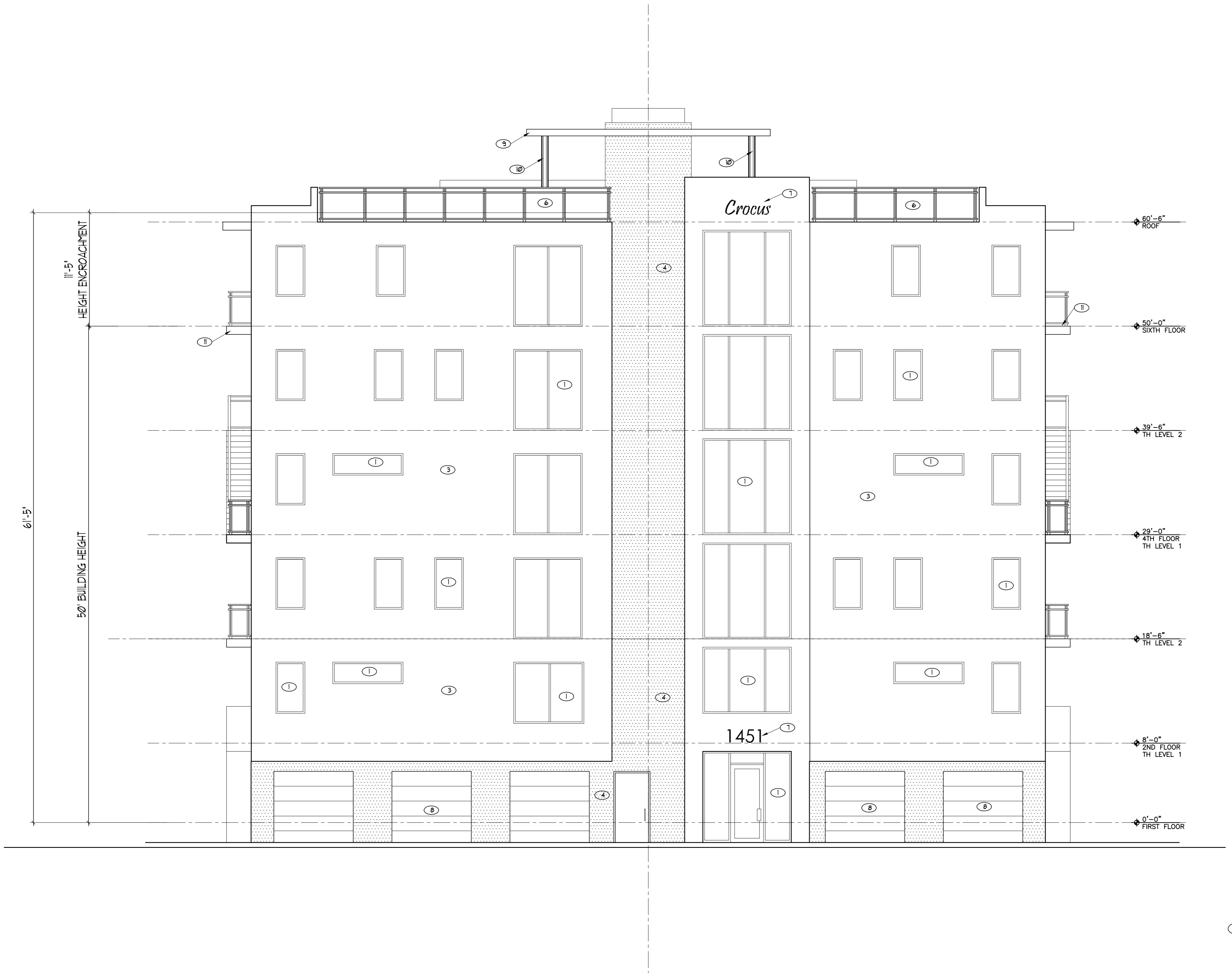
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SHEET

A-11

11 OF 12





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PROJ. NO. 17032

SHEET TITLE
BUILDING ELEVATION

REVISIONS

NO.	DATE	DESCRIPTION
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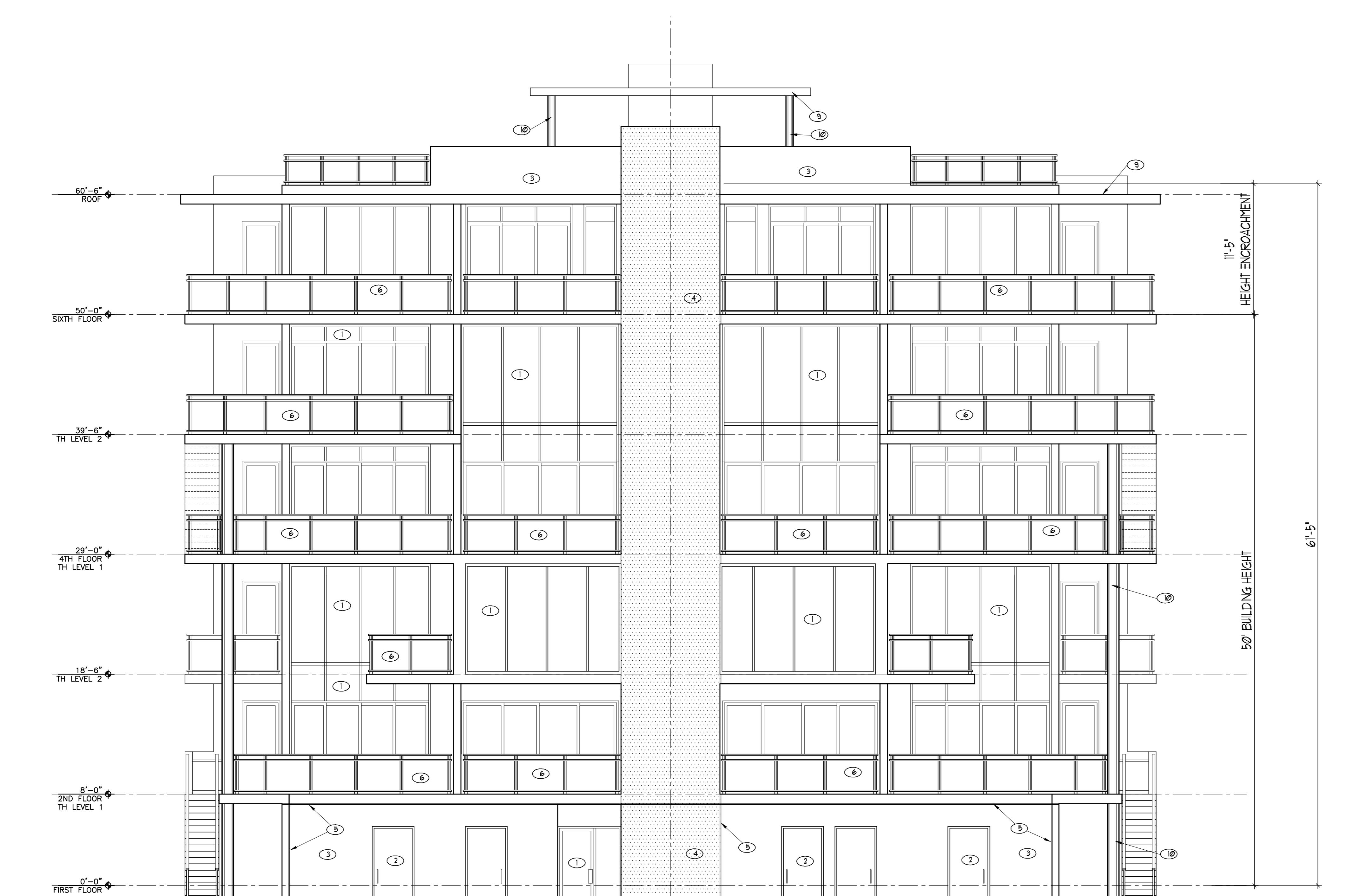
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SHEET

A-8

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1. TURTLE FRIENDLY, TINTED IMPACT RESISTANT STOREFRONT
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PROJECT TITLE

SHEET TITLE
BUILDING ELEVATION

REVISIONS

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2		

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SHEET
A-9

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1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



