

# GENERAL APPLICATION

APPLICATION DATE: \_\_\_\_\_

**2600 Hollywood Blvd**

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@  
Hollywoodfl.org

**SUBMISSION REQUIREMENTS:**

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

**NOTE:**

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

**CLICK HERE FOR  
FORMS, CHECKLISTS, &  
MEETING DATES**

**APPLICATION TYPE:**

- Technical Advisory Committee  
 City Commission

Variance/Special Exception Requested

- Administrative Approvals  
 Historic Preservation Board  
 Planning and Development Board

**PROPERTY INFORMATION**

**Location Address:** 1935 Hollywood Blvd Hollywood FL 33020

Lot(s): Lot 7 Block(s): 24 Subdivision: Hollywood

Folio Number(s): 514216013010

RC-1-RETAIL

Zoning Classification: RC-1-RETAIL Land Use Classification: \_\_\_\_\_

Existing Property Use: Mixed commercial Sq Ft/Number of Units: 2

Is the request the result of a violation notice? ( ) Yes ( ) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File/Resolution/Ordinance No.: \_\_\_\_\_

**DEVELOPMENT PROPOSAL**

Explanation of Request: Enclosure of the existing front covered dining with storefront and air conditioning.

Phased Project: Yes / No  Number of Phases: \_\_\_\_\_

Project	Proposal
Units/rooms (# of units)	- (Area: - S.F.)
Proposed Non-Residential Uses	282 S.F.
Open Space (% and SQ.FT.)	- (Area: - S.F.)
Parking (# of spaces)	- (Area: - S.F.)
Height (# of stories)	( FT.)
<b>Gross Floor Area (SQ. FT)</b>	<b>282</b>

**Name of Current Property Owner:** 1935 LLC

Address of Property Owner: 1900 Van Buren St 109B Hollywood FL 33020

Telephone: 954-253-6833 Email Address: silvia@restoreitall2012.com

**Applicant** Ari Sklar  Consultant |  Representative |  Tenant (check one)

Address: 2310 Hollywood Blvd. FL 33020 Telephone: 954-925-9292

Email Address: ari@sklarchitect.com

Email Address #2: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes  No

If Yes, Attach Copy of the Contract.

**Noticing Agent** (FTAC & Board submissions only) : Silvia Svero

E-mail Address: silvia@restoreitall2012.com

PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

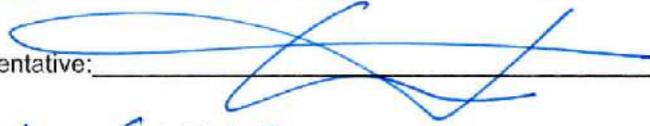
**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_  Date: 9/13/23

PRINT NAME: Silvia Serna Date: 9/13/23

Signature of Consultant/Representative: \_\_\_\_\_  Date: \_\_\_\_\_

PRINT NAME: Ari L. Selar Date: 9.13.2023

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

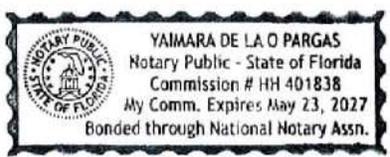
I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

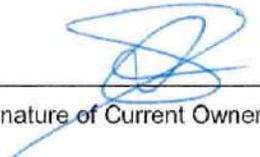
Sworn to and subscribed before me  
this 13 day of September, 2023

  
\_\_\_\_\_  
Notary Public

State of Florida

My Commission Expires: May 23/2027 (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_



\_\_\_\_\_  
  
Signature of Current Owner

Silvia Serna  
\_\_\_\_\_  
Print Name

ADDITION OF THE EXISTING COVERED TERRACE TO EXTEND THE RESTAURANT'S INTERIOR FOR:

# RED THAI SUSHI RESTAURANT

1935 HOLLYWOOD BLVD HOLLYWOOD, FL 33020

## SEPARATE PERMITS REQUIRED:

1. EXTERIOR STOREFRONT
2. SIGNAGE FOR BUILDING
3. EXTERIOR DOORS

**SKLAR**chitecture

2310 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020  
TEL - (954) 925-9292  
FAX - (954) 925-6292  
www.SKLARchitect.com

AA 0002849  
IB 0000894  
NCARB CERTIFIED

SEAL  
ARI L. SKLAR  
LICENSE #AR14173

## PROJECT TEAM

DESIGN ARCHITECT TEAM  
&  
ARCHITECT OF RECORD:

# SKLAR

2310 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020  
www.sklararchitect.com  
Office (954) 925-9292  
Fax (954) 925-6292  
AA 0002849  
IB 0000894  
NCARB CERTIFIED



### OWNER:

Silvia Svero  
T: (954) 253 - 6833  
E: silvia@restoretall2012.com

## PROJECT RENDERING



## INDEX OF DRAWINGS

### ARCHITECTURE

Sheet List	
Sheet Number	Sheet Name
A0.0	COVER
A0.2	GENERAL NOTES INTERIOR
A0.3	PHOTOS - ADJACENT PROPERTIES
A0.4	STREET PROFILE ELEVATION
A0.5	RENDER & SIGNAGE
A1.0	EXISTING & DEMO GROUND FLOOR PLAN
A2.0	PROPOSED ADDITION PLAN
A2.1	ENLARGED ALLEY
A3.0	EXISTING AND PROPOSED RCP

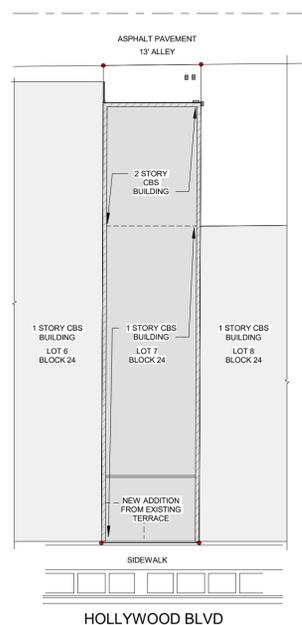
REVISIONS

## SCOPE OF WORK

### ADDITION TO FOR A NEW RESTAURANTE, APPROXIMATELY 282 SQ FT.

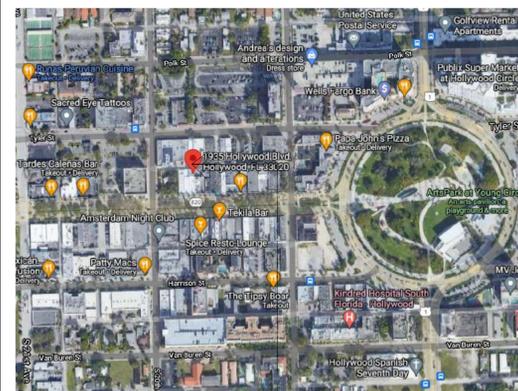
1. DEMOLISH EXISTING RAMP, LOW WALL & REMOVE EXISTING STOREFRONT.
2. NEW RAMP AND CONCRETE KNEE WALL.
3. NEW STOREFRONT AND DOUBLE GLASS DOOR.

## KEY PLAN



Scale: N.T.S.

## LOCATION MAP



Location  
of Work.



SCALE: N.T.S.

## CODE ANALYSIS

### PLANS SHALL COMPLY WITH THE FOLLOWING:

FLORIDA BUILDING CODE - (2020 / 7th Edition)  
FLORIDA BUILDING CODE - ACCESSIBILITY (2020 / 7th Edition)  
FLORIDA FIRE PREVENTION CODE - (2020 / 7th Edition)  
7th Edition of the Florida Fire Prevention Code with NFPA 1 & 101 2018 Edition

### ZONING:

1st FLOOR: EXISTING: COMMERCIAL USE  
1st FLOOR: PROPOSED: ADDITION TO A ASSEMBLY A-2 RESTAURANT  
2nd FLOOR: EXISTING: MIXED USE - STORE / OFFICE COMBINATION  
2nd FLOOR: EXISTING: MIXED USE - STORE / OFFICE COMBINATION  
RESTAURANT ADDITION 2-STORY CONCRETE STRUCTURE  
TYPE I A CONSTRUCTION NON-FIRE SPRINKLERED

ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 504.3) (NONSEPARATED TABLE 508.3)

GROUP	TYPE	ALLOWED		PROVIDED	
		HGT	AREA (SQ. FT.)	HGT	AREA (SQ. FT.)
A	IA	2 / 24'	21,500 PER FLOOR	2 / 24'	22,880 SF PER FLOOR*

FIRE RESISTANCE RATING REQUIREMENTS FOR BLDG ELEMENT (TABLE 601)

TYPE I A CONSTRUCTION	PROVIDED
STRUCTURAL FRAME	2 HR
BEARING WALLS (EXT. & INT)	2 EXT/ 1 INT HR
NONBEARING WALLS & PARTITIONS	0 HR
FLOOR CONSTRUCTION	1 HR
ROOF CONSTRUCTION	1 HR

REQUIRED SEPARATION OF OCCUPANCIES M / A = 2 HR (TABLE 302.2)

GROUND RESTAURANT ADDITION: 282 SF

## LEGAL DESCRIPTION

PARCEL ID: 514215014330

HOLLYWOOD 1-21 B LOT 7 BLK 24

LAND DESCRIPTION :

LOT 7, BLOCK 24 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ADDITION FOR  
RED THAI SUSHI RESTAURANT  
1935 HOLLYWOOD BLVD  
HOLLYWOOD, FL 33020

- REVIEW SET
- COMMISSION SUBMITAL
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

DRAWN BY:  
Author  
CHECKED BY:  
ARI SKLAR

COVER

# Ao.0

PROJECT #: 21-012

DATE: 11/01/2021

# GENERAL NOTES

## SPECIFIC PLAN NOTES & SPECIFICATIONS SUPERCEDE GENERAL NOTES WHEN IN CONFLICT INTERIOR

### SECTION 1 - GENERAL REQUIREMENTS

**A) GENERAL**

1. WORK PERFORMED SHALL COMPLY WITH THESE "GENERAL NOTES", UNLESS OTHERWISE NOTED ON PLANS.
2. THIS WORK REQUIRES A BUILDING PERMIT. DO NOT BEGIN WORKING UNTIL A BUILDING PERMIT IS OBTAINED.
3. IT IS A GENERAL REQUIREMENT THAT ALL SYSTEMS, MATERIALS AND WORKSMANSHIP SHALL MEET AND BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (LATEST ADOPTED EDITION), LIFE SAFETY (LATEST ADOPTED EDITION), THE APPLICABLE STANDARD SPECIFICATIONS OF THE AMERICAN SOCIETY OF TESTING MATERIALS AND ANY OTHER APPLICABLE CODE AND/OR AGENCY HAVING JURISDICTION OVER THE PROJECT. ALL PRODUCTS TO HAVE APPROVAL BY THE BUILDING AND ZONING DEPARTMENT PRODUCT CONTROL SECTION. ALL REQUIREMENTS OF LOCAL, STATE, AND NATIONAL CODES, RESOLUTIONS AND ORDINANCES PERTAINING TO BUILDING, PRESERVATION OF HEALTH AND SAFETY, SHALL BE OBSERVED BY THE CONTRACTOR. THIS PROJECT SHALL COMPLY ENTIRELY WITH OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PRECEDURES TO BE USED. CONTRACTOR MUST COMPLY WITH ALL OSHA REGULATIONS FOR JOB SAFETY DURING THE PROJECT.
5. CONTRACTOR SHALL SUPPLY ALL MATERIALS AND LABOR NECESSARY TO PROVIDE ELECTRICAL, TELEPHONE, WATER AND SEWER SERVICES DURING CONSTRUCTION.
6. CONTRACTOR SHALL PAY ALL COSTS OF PERMIT, INSPECTION, AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK.
7. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB AND PROTECT ADJACENT PROPERTIES. NO WORK OR AS NEEDED. ANY DAMAGED AREA DURING CONSTRUCTION SHALL BE RESPONSIBILITY OF CONTRACTOR TO REPAIR.
8. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO THE CONTRACTOR FOR INSTALLATION. ALL ITEMS SHALL BE WARRANTED FOR A MINIMUM OF 1 YEAR FROM COMPLETION AND OWNER OCCUPATION OF BUILDING.
9. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE CONTRACTOR AND INSTALLED BY THE CONTRACTOR. ALL LABOR AND MATERIALS SHALL BE WARRANTED FOR A MINIMUM OF 1 YEAR FROM COMPLETION AND OWNER OCCUPATION OF BUILDING.

**B) GENERAL CONTRACTOR SHALL PROVIDE A 4' X 8' JOB PROTECT SIGN IN THE BID INCLUDING OWNER, CONTRACTOR & ARCHITECTS NAME W/ LOGOS OF EACH COMPANY.**

11. GENERAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE IN THE BID FOR FIELD INSPECTIONS, ASSUME 3 ARCHITECTURAL INSPECTIONS @ \$150 EA. 2 STRUCTURAL INSPECTIONS @ \$75 EA. IN ADDITION GENERAL CONTRACTOR SHALL ALLOW FOR \$100 FEE PER EA. REFUSE ORDER OR SUBSTITUTION REVIEW SUBMITTED TO THE ARCHITECT.
13. THE ARCHITECT INTERIOR DESIGNER OWNER HAS THE RIGHT TO CHANGE ANY MATERIAL AND WORKSMANSHIP THAT DOES NOT MEET THE HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
14. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A PUNCH LIST INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITH 15 CALENDAR WORKING DAYS.
15. CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROCESS. LEFTOVERS FROM MEALS CONSUMED ON THE PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.
16. PER OSHA REQUIREMENTS ALL MATERIAL AND LABOR SHALL STAY A MINIMUM OF TEN FEET AWAY FROM OVERHEAD POWER LINES.
17. THESE DRAWINGS ARE NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF THE ARCHITECT AND ENGINEERS.
18. THESE DRAWINGS ARE VALID ONLY FOR THE ADDRESS LISTED IN THE TITLE BLOCK.

**BL COORDINATION**

1. A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR AND ALL OF THE SUBCONTRACTOR MUST BE CONDUCTED WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE CONSTRUCTION BEGINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNLESS OTHERWISE NOTED, ALL WRITTEN DIMENSIONS ARE TO THE FACE OF THE STRUCTURE (CONCRETE, BLOCK & STUD) & SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT AT ONCE, IN WRITING, BEFORE PROCEEDING WITH THE WORK.
3. ELEVATIONS AND LEVELS ARE SHOWN TO TOP FINISHED HARD SURFACES (CONCRETE FLOOR SLAB), EXCLUSIVE OF APPLIED FINISHES (CARPET, VCT, OTHER THAN FINISH MATERIAL). CONTRACTOR SHALL REPORT ALL ELEVATION AND LEVEL DISCREPANCIES OR OMISSIONS BEFORE PROCEEDING WITH WORK.
4. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING CONCRETE BEAMS IF INTERFERING WITH AC DUCTS OR PLUMBING FIXTURES EXACT LOCATION ANY DEVIATION FROM ORIGINAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
5. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DRAWINGS, TO LOCATE OPENINGS, DRAINS, SLEEVES, DEPRESSED SLABS, BOLTS, CURBS, ETC.
6. CONTRACTOR AND SUBCONTRACTOR SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS. CONTRACTOR OR SUBCONTRACTOR SHALL CONDUCT VISUAL SURVEY AND EVALUATE FIELD CONDITIONS PRIOR TO COMMENCING WORK TO AVOID CONFLICTS THAT MAY AFFECT WORK PROGRESS OR QUALITY, AND NOTIFY ARCHITECT OF ANY CONFLICTS IMMEDIATELY.
7. DO NOT SCALE DRAWINGS. USE TYPED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, IN THE EVENT OF A CONFLICT, NOTIFY ARCHITECT BEFORE PROCEEDING.
8. CONTRACTOR SHALL COORDINATE WITH OWNER AND VARIOUS TRADES SO THAT PROPER OPENINGS, CHASES, AND ALL EQUIPMENT REQUIREMENTS ARE PROVIDED.
9. FOR ANY DEMOLITION THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL OF THE DEMOLITION WORK WITH THE INTENT OF THE PROPOSED DESIGN. ANY UNFORESEEN DEMOLITION NOT SHOWN IN THIS PLAN, AND WHICH IS REQUIRED TO MEET THE INTENT OF THE PROPOSED DESIGN, MUST BE INCLUDED IN THE CONTRACTOR SCOPE OF WORK.

**CL SHOP DRAWINGS & SUBMITTALS**

1. CONTRACTOR & ALL MANUFACTURERS OF FINISH WORK/PRODUCTS/DESIGN ITEMS THAT REQUIRE CLARIFICATION SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
2. SUBMIT 3 SETS FOR SHOP DRAWINGS APPROVAL. NOTHING CAN BE INSTALLED BEFORE ARCHITECTS APPROVAL.
3. CONTRACTOR TO SUPPLY SAMPLES OF FINISH MATERIALS TO THE ARCHITECT FOR APPROVAL. THE ARCHITECT SHALL BE THE SOLE INTERPRETER OF THE DESIGN INTENT REGARDING COLOR, TEXTURE, PROFILE, AND Juxtaposition OF MASSES. ANY DEVIATION FROM ORIGINAL DRAWINGS SHALL BE CONSULTED WITH THE ARCHITECT PRIOR TO CHANGES, OR COMPLIANCE WITH PLANS SHALL BE ENFORCED AT CONTRACTORS EXPENSE.
4. THE NOTE "APPROVED EQUAL" MEANS APPROVED BY ARCHITECT.
5. VERIFY PRIOR TO COMMENCEMENT OF PROJECT IF ANY FINISH MOCK-UPS ARE REQUIRED BY ARCHITECT.

**DL FIELD CHANGES & CHANGE ORDERS**

1. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY AND RELATED COSTS, INCLUDING FEES FOR ANY FIELD CHANGES OR DEVIATIONS FROM CONSTRUCTION DOCUMENTS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
2. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER FOLLOWED BY A CHANGE ORDER.
3. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB. SUBMIT A COMPLETED AS BUILT SET OF DWGS. TO THE ARCHITECT UPON JOB COMPLETION.
4. ANY SUBSTITUTION REQUEST MUST BE ACCOMPANIED WITH A CHANGE ORDER REQUEST THAT BENEFITS THE OWNER IN A SAVINGS OF TIME OR MONEY. ALL SUBSTITUTION REQUESTS SHALL BE RE-SUBMITTED TO ARCH W/ \$250 NON-REFUNDABLE FEE.

**EL INSPECTIONS**

1. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND COMPLETING ALL REQUIRED INSPECTIONS UP TO AND THRU ALL FINALS. CERTIFICATE OF OCCUPANCY AND OCCUPATIONAL LICENSE AND HEALTH INSPECTION. CONTRACTOR SHALL, IN THEIR SCHEDULE OF WORK, ALLOW 2 WEEKS TO COMPLETE ALL FINAL INSPECTIONS PRIOR TO THE DATE OF THE OWNER ANTICIPATED OCCUPANCY AT THE BUILDING.
2. ALL FIELD VISITS, INSPECTIONS, AND FIELD INQUIRIES MUST BE SCHEDULED WITH THE ARCHITECT AND/OR ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE. DURING FIELD VISITS, CONTRACTOR MUST BE DRESSED IN CLOTH ATTIRE. FINAL APPEARANCE SUBJECT TO ARCHITECT APPROVAL. IF CONTRACTOR DRESSES IN CLOTH ATTIRE, ARCHITECT WILL PROVIDE FREE INSPECTION.

### SECTION 2 - SITE WORK

1. SOIL MUST BE COMPACTED TO 85% DENSITY. SUBMIT TEST REPORTS TO THE GOVERNING AGENCY ON COMPACTOR BEFORE STARTING CONSTRUCTION WORK.
2. SITE SHALL BE CLEARED OF ALL DEBRIS, FALLEN TREES AND SHRUBS AND RESULTING TRASH, STUMPS AND VEGETATION AS REQUIRED FOR CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK.
3. TERNITE PROTECTION: ALL SOIL AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDINGS SHALL HAVE PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES PER FBC 1816. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.
4. 48 HOURS PRIOR TO EXCAVATION CONTRACTOR SHALL CALL FOR LOCATION OF UNDERGROUND UTILITIES. SHINE ONE-CALL. 1-800-438-4470.
5. ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY AND/OR EASEMENTS, REQUIRES A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT. PRIOR TO START OF CONSTRUCTION.
6. MAINTAIN SITE IN A SAFE CONDITION AS TO NOT AFFECT LOCAL VEHICULAR AND PEDESTRIAN TRAFFIC, AIR POLLUTION, POLLUTION TO NEARBY BODIES OF WATER AND ANY SPECIAL REQUIREMENTS OF OWNER OR SHOPPING CENTER.
7. NOTIFY ALL PARTIES OF ANY LOSS OF UTILITIES 72 HOURS BEFORE SCHEDULING WORK. COORDINATE W/ EXISTING BUILDING TENANTS & LANDLORD.

### SECTION 3 - CONCRETE & STRUCTURAL NOTES

1. SEE STRUCTURAL ENGINEERING DWGS FOR SPECS NOT HERE. STRUCTURAL NOTES SUPERCEDE ARCH NOTES IF CONFLICTING.
2. DIMENSIONS AND CONDITIONS SHALL BE VERIFIED AND CONFIRMED AT JOB SITE. NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. NOTE: PLAN DIMENSIONS ARE FINAL. FINISH DIMENSIONS.

**A) CONCRETE**

WORK TO BE IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AC 301-89 (U. O. N. J.)" SUBMIT CERTIFICATION OF CONCRETE QUALITY TO ARCHITECT FOR APPROVAL.

- 1) COMPRESSIVE STRENGTH IN 28 DAYS FOR U.O.N.

FOUNDATION	5000 PSI (TYP)	5000 PSI (TYP)
NON-REINFORCED	5000 PSI (TYP)	5000 PSI (TYP)
CP BEAMS	5000 PSI (TYP)	5000 PSI (TYP)
ALL OTHERS:	5000 PSI (TYP)	5000 PSI (TYP)
CP COLUMNS	5000 PSI (TYP)	5000 PSI (TYP)
ALL PRESTRESSED	5000 PSI (TYP)	

- 1) CONCRETE PROTECTION FOR REINFORCING

SLAB:	FOOTINGS 3" x 4"	FLOOR
	FOOTINGS 3" x 4"	BEAMS
	COLUMNS 1-1/2"	

- 1) SLUMP AND CYLINDER TESTS

TESTING AND TEST REPORTS FOR ALL POURED CONCRETE BY LOCAL DEPARTMENTS.

- 1) CONCRETE SLAB ON GRADE

ALL CONCRETE SLABS ON GRADE SHALL BE 4" MIN. W/ 6X6X10 WW MESH REINFORCING @ 18"O.D. DEPTH AND HAVE A 5/8" MIN. WITH JOINTS LAPPED 6" MIN. POLYETHYLENE VAPOR BARRIER WITH AM OR FIBER PERMANENCE LESS THAN 0.30 PERMS (ASTM E 96). ALL EXTERIOR WALLWAYS SLABS SHALL HAVE BROM SWEET FINISH U.O.N. ON PLANS. PROVIDE TERNITE PROTECTION PER FBC 1816 TO UNDERSIDE OF ALL GRADE LEVEL CONCRETE SLABS. (SEE SECTION 2 - SITE WORK ITEM 3)

CONTRACTOR JOINTS ARE REQUIRED AND SHALL BE TOOLED OR SAWCUT WITHIN 6 HOURS OF THE POUR. JOINT PATTERN SHALL BE AS INDICATED ON PLAN OR AS FOLLOWS: JOINTS SHALL BE LAID OUT AT CENTER LINES OF COLUMNS WHERE POSSIBLE, AND SHALL NOT EXCEED 12" X 12" (10" X 10" FOR 4" SLABS). LONGER DIMENSION OF PANEL SHALL NOT EXCEED 1.5 TIMES THE SHORTER ONE. SAWCUT SHALL BE 1/4" DEEP SLAB DEPTH AND 1/8" WIDE.

- 1) SHORING

SHORING AND BE SHORING PLANS SHALL BE SUBMITTED AFTER THE ISSUANCE OF THE BUILDING PERMIT BUT BEFORE THE APPROVAL OF SHOP DRAWINGS AND INSPECTIONS.

- 1) FOUNDATIONS

1. FOUNDATIONS HAVE BEEN DESIGNED PER BUILDING INDUSTRY STANDARDS. THIS DESIGN MAY NOT BE MODIFIED WITHOUT REVISED DESIGN BY ARCHITECT/ENGINEER.

2. SHOULD OTHER CONDITIONS BE ENCOUNTERED, CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK.
3. EXCAVATION FOR FOOTING PADS AND OTHER FOUNDATIONS SHALL BE CLEAN AND FREE OF WATER WHEN CONCRETE IS PLACED AND FOR 24 HOURS PERIOD AFTER PLACING.
4. ALL VEGETATION AND ORGANIC MATTER SHALL BE REMOVED PRIOR TO PLACING FILL FOUNDATION SHALL BEAR ON CLEAN FILL COMPACTED IN LAYERS OF NOT MORE THAN 12" IN DEPTH AND 95% DENSITY AS PER A.S.T.M. PROCTOR TEST OR MODIFIED PROCTOR TEST.

- \* ANY STRUCTURAL SLAB MUST REQUIRE ENGINEERED DRAWINGS.

### SECTION 4 - MASONRY

**4.1 STANDARD MASONRY**

1. DESCRIPTION
  - 1.1 MORTAR FOR ALL MASONRY WORK SHALL BE A 3:1:1 MIX BY VOLUME OF SAND, PORTLAND CEMENT AND MASONRY CEMENT. ALL MORTAR SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 P. S. I. IN 28 DAYS.
  - 1.2 ALL HOLLOW CONCRETE BLOCKS SHALL BE GRADE N, TYPE 1, CONFORMING TO ASTM C-90, LATEST EDITION WITH REVISIONS (CONCRETE BLOCKS SHALL BE NORMAL WEIGHT).
  - 1.3 MASONRY BEARING WALLS SHALL CONFORM TO ASTM C-90 AND C-270.

### SECTION 5 - METALS & ANCHORING

**5.1 REINFORCING STEEL**

1. DESCRIPTION
  - 1.1 ALL REINFORCING STEEL WITH DEFORMATIONS SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A615 LATEST EDITION WITH REVISIONS.
  - 1.2 FABRICATION AND PLACEMENT OF ALL REINFORCING STEEL SHALL COMPLY WITH ACI 318 (LATEST EDITION WITH REV.)
  - 1.3 CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL CUT AND BENT REINFORCING STEEL PROVIDED BY FABRICATOR TO THE ARCHITECT FOR APPROVAL.

**5.1 STRUCTURAL STEEL MEMBERS**

1. DESCRIPTION
  - 1.1 ALL STRUCTURAL STEEL SHALL BE ASTM A-36 (MIN.) OR ASTM A-502 LATEST EDITION WITH REVISIONS U. O. N. ON SHOP DRAWINGS.
  - 1.2 WELDING: WELDING IN THE SHOP OR FIELD TO BE DONE BY CERTIFIED WELDER ONLY AND SHALL CONFORM TO THE A. W. S. SPECIFICATIONS LATEST EDITION WITH REVISIONS.
  - 1.3 PROTECTION OF METAL: STRUCTURAL STEEL MEMBERS SHALL HAVE ONE SHOP COAT OF PRIMER PAINT. IF EXPOSED, SHALL RECEIVE A SECOND FIELD PAINT COAT AS PER F. B. C. 2807. ALL EXTERIOR STRUCTURAL STEEL SHALL BE GALVANIZED. 1. ALL METALS USED FOR REINFORCING WOOD MEMBERS SHALL BE GALVANIZED OR STAINLESS STEEL.
  - 1.5 ALL ROOF JOINTS, TRUSSES, OUTRIGGERS, BEAMS AND GIRDERS SHALL BE SECURED WITH APPROVED METAL TIES, CLIPS CLIPS AND ANCHORS TO THE BEAMS OR BEARING PARTITIONS.

**5.3 INTERIOR STEEL STUD FRAMING**

1. DESCRIPTION
  - 1.1 STANDARD STEEL STUDS SHALL BE 2-1/2", 3-5/8" AND 6" WIDE
  2. ACCEPTABLE MANUFACTURERS
    - 2.1 CLARK DIETRICH
    3. INSTALLATION INSTRUCTIONS
      - 3.1 STUDS SPACED BETWEEN 16" AND MAXIMUM OF 24" ON CENTER SPECIFIED HEREIN AND AS RECOMMENDED BY MANUFACTURER IN ACCORDANCE WITH THICKNESS OF DRYWALL AND FIRE RATING REQUIREMENTS.
      - 3.2 PARTITIONS SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

### SECTION 6 - WOOD/PLASTICS

**6.1 ROUGH CARPENTRY**

1. DESCRIPTION
  - 1.1 ALL LUMBER USED STRUCTURALLY SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY. STRESS GRADE LUMBER SHALL BE DOUGLAS FIR OR SOUTHERN PINE #2 OR APPROVED EQUAL, AND CONFORM TO THE "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" LATEST EDITION, WITH 1200 P. S. I. MIN. FIBER STRESS IN BENDING AND 12% OR LESS MOISTURE CONTENT PER FBC 2. "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS"
  - 1.2 FRAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED LABOR. FRAMER SHALL PROVIDE CERTIFICATION OF AT LEAST 10 YEARS EXPERIENCE & REFERENCES

- 1) ALL NAILING SHALL CONFORM TO THE BUILDING CODE NAILING SCHEDULE.

- 1) PROVIDE (1) 2" X 4" WOOD STUD AND (1) METAL STUD EACH SIDE OF DOOR OPENINGS.

- 1) CUTTING OF WOOD STRUCTURAL MEMBERS SHALL BE IN ACCORDANCE TO THE BUILDING CODE APPROVAL BY ARCHITECT OR ENGINEER PRIOR TO CUTTING.

3. PRESSURE TREAT ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE AS PER "AMERICAN WOOD PRESERVES BUREAU". NO TOXIC/CLEAN CHEMICALS PER FLORIDA BUILDING CODE.

7. NOTIFY ALL PARTIES OF ANY LOSS OF UTILITIES 72 HOURS BEFORE SCHEDULING WORK. COORDINATE W/ EXISTING BUILDING TENANTS & LANDLORD.

- 3.3 INSTALL ALL WOODWORK ACCURATELY WITH TIGHT JOINTS AND TRUE SURFACES WELL SANDED & FREE FROM DEFECTS

- 3.4 PROVIDE BLOCKING, BEHIND ALL SHELVING & BATHROOM CABINETS AS REQUIRED BY EQUIPMENT TO BE MOUNTED.

**6.2 FINISH CARPENTRY**

1. DESCRIPTION
  - 1.1 BY OWNER

### SECTION 7 - THERMAL & MOISTURE PROTECTION

**7.1 CAULKING / FIRESTOPPING / WATERPROOFING**

- 1.1 CAULK AROUND PERIMETER OF ALL OPENINGS IN EXTERIOR WALLS, INCLUDING DOOR FRAMES, WINDOW FRAMES, LOUVERED

- 1.2. OPENINGS AROUND PIPES, CONDUITS, DUCTS AND ALL FASTENINGS PENETRATING EXTERIOR WALL SURFACES

- 1.3 CAULK AROUND AND PROVIDE A SOLID BED UNDER ALL APPLIED FLASHINGS AT EXTERIOR DOORS.

- 1.4 CAULK AROUND ALL LAVATOIRES, WATER CLOSETS AND OTHER PLUMBING FIXTURES.

- 1.5 CAULK MISCELLANEOUS ITEMS OF WORK INCORPORATED INTO THE BUILDINGS AND WHICH ARE INDICATED TO BE CAULKED, OR WHICH NORMALLY REQUIRE CAULKING TO PREVENT INFILTRATION OF WATER OR AIR, AS DETAILED, INDICATED OR DIRECTED.

- 1.6 CAULKING COMPOUNDS SHALL BE OF COMPOSITES APPROPRIATE FOR INSTALLATION BY G.E SEALANTS OR APPROVED EQ.

- 1.7 PROVIDE FIRE STOP CAULKING AT ALL OPENINGS OF FIRE RATED WALLS, BETWEEN FIRE RATED WALLS AND STRUCTURAL DECK.

- 1.8 ABOVE, AROUND PIPING THROUGH THESE WALLS, ELECTRICAL WIRING PENETRATIONS AND PENETRATIONS INTO ROOF TRUSSES.

**2. ACCEPTABLE MANUFACTURERS**

- 2.1. G.E.
- 2.2. HILTI,
- 2.3. TREMCO,
- 2.4. 3M

**7.2 ROOFING**

1. DESCRIPTION
  - 1.1 ROOFING SYSTEM SHALL BE INSTALLED BY LICENSED ROOFING CONTRACTOR. CONTRACTOR SHALL PROVIDE A MINIMUM 20 YEAR NDL WARRANTY ACCEPTABLE ON INSTALLATION. SEE PLANS FOR ANY SPECIFIC JOB REQUIREMENTS.
  - 1.2 CONTRACTORS SHALL SUBMIT DADE COUNTY PRODUCT APPROVAL PAPERWORK TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO REMITTING INSTALLATION.
  - 1.3 ALL FLAT ROOFS MUST BE SLOPED 1/4" - 1" PER 100' DRAINAGE.
  - 1.4 ROOF SPECIFICATIONS GIVEN ON PLANS SUPERCEDE THESE NOTES.
  - 1.5 IF ROOF IS EXISTING, PATCH AND REPAIR AREAS AS NEEDED TO ACCOMMODATE AC & ELECT PENETRATIONS. COORDINATE WITH PROPERTY OWNER TO MAINTAIN ALL ROOF WARRANTIES.

**2. ACCEPTABLE MANUFACTURERS**

- 2.1 GAF
- 2.2 JOHN MANVILLE
- 2.3 GALD WESTERN - SPRAY FOAM SYSTEM
- 2.4 OTHERS MUST BE APPROVED BY ARCHITECT.

**7.3 INSULATION**

1. DESCRIPTION
  - 1.1 SEE PLAN OR REFER TO MEP DRAWINGS

**2. ACCEPTABLE MANUFACTURERS**

- 2.1 SUPERIOR PRODUCTS INC.

### SECTION 8 - DOORS, WINDOWS, AND GLASS

1. SEE DOOR & WINDOW SCHEDULES FOR COMPLETE NOTES AND DETAILS.
2. CONTRACTOR SHALL COORDINATE ROUGH OPENING DIMENSIONS WITH WINDOW AND DOOR MANUFACTURERS PRIOR TO STARTING CONSTRUCTION AND SUBMIT SHOP DRAWINGS FOR ARCHITECTS APPROVAL.
3. ALL EXTERIOR DOORS SHALL BE H.M. STEEL DOORS WITH H.M. STEEL FRAMES. STOREFRONT DOORS SHALL BE ALUMINUM.
4. CONTRACTOR TO FURNISH ALL NECESSARY HARDWARE ITEMS.
5. ALL HINGES OF DOORS OPENING TO EXTERIOR SHALL HAVE NON REMOVABLE PINS.
6. HINGES ON EXTERIOR OUT-SWINGING DOORS SHALL HAVE NON-EXPOSED SCREWS.
7. PROVIDE DOOR STOPS ON ALL DOORS.
8. PROVIDE DOOR HOOKS ON ALL BATHROOM STALL DOORS.
9. PROVIDE THREE (3) HINGES PER DOOR (TYP.) - STANLEY CB1900 OR EQUAL OR PER HARDWARE SCHEDULE.
10. ALL MAIN ENTRY AND REAR ENTRY DOORS REQUIRE KEAD DEAD BOLT.
11. ALL DOORS AND WINDOWS TO HAVE CORROSION RESISTANT HARDWARE.
12. ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS
13. ALL HARDWARE TO BE STAINLESS STEEL, UNLESS OTHERWISE NOTED PER HARDWARE SCHEDULE.
14. SHUTTER ALL NON IMPACT RESISTANT OPENINGS.
15. ALL HARDWARE BY INGERSOLL RAND OR APPROVED EQUAL. SEE HARDWARE SCHEDULE.

### SECTION 9 - FINISHES

**A) STUCCO**

1. ALL EXTERIOR STUCCO WORK MATERIALS, APPLICATION, MOISTURE BARRIER, METAL REINFORCEMENT, ETC. TO BE APPLIED AS PER MANUFACTURERS SPECIFICATIONS AND SECTION 2516 OF THE FLORIDA BUILDING CODE.
2. ALL STUCCO TRIMS AS SHOWN AROUND WINDOWS, DOORS, AND CORNERS TO BE DONE WITH "J" BEADS AS PER UNITED STATES GYPSUM OR APPROVED EQUAL.
3. ALL STUCCO SCRATCH COATS SHALL BE ALLOWED 24 HOURS DRYING PERIOD.

4. STUCCO ON CONCRETE / MASONRY WALLS
  - 1) SHALL CONSIST OF TWO COATS, NOT LESS THAN 3/4" THICK
  - 1) ALL SURFACES SHALL BE COATED WITH AN APPROVED BONDING AGENT OR EFFECTIVELY ROUGHENED
  - 1) APPLICATION PER FBC 2516.1.6

5. STUCCO ON WALLS OTHER THAN CONCRETE / MASONRY
  - 1) WHERE INSTALLED OVER PLYWOOD, PROVIDE 15 LB ROOFING FELT, OR APPROVED EQ. MOISTURE RESISTING LAYER
  - 1) METAL REINFORCEMENT: GALV EXPANDED METAL, MIN 1.8 LBS PER SQ YD, OR GALV WELDED OR WOVEN WIRE-FABRIC, MIN 1 LB PER SQ YD; INSTALL PER FBC 2516.2.3
  - 1) SHALL CONSIST OF THREE COATS, NOT LESS THAN 7/8" THICK
  - 1) APPLICATION PER FBC 2516.2.4

**B) GYPSUM BOARD**

1. INTERIOR WALLS AND CEILING SHALL BE GYPSUM DRYWALL BOARD, AS CALLED FOR IN PLANS. WALLS SHALL HAVE A SMOOTH FINISH TO N. ALLOW FOR SPECIAL FINISHES (E. KNICK DOWN ON WALLS, AS CALLED FOR IN DRAWINGS). ALL INTERIOR CEILING SHALL HAVE A SMOOTH FINISH.

2. ALL GYPSUM BOARD SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND THE FLORIDA BUILDING CODE.
  - 1) NON-RATED PARTITIONS: FOR COMMERCIAL, USE SINGLE LAYER 5/8" MIN EA SIDE OF STUD (UO); FOR RESIDENTIAL, USE SINGLE LAYER 1/2" MIN EA SIDE OF STUD (UO); ACCEPTABLE MANUFACTURERS ARE "NATIONAL GYPSUM AND "LAFARGE"
  - 1) FIRE-RATED PARTITIONS: SINGLE OR DOUBLE LAYER (DEPENDING ON RATING) 5/8" MIN TYPE "X" EA SIDE OF STUD; ACCEPTABLE MANUFACTURERS ARE "NATIONAL GYPSUM" AND "LAFARGE"
  - 1) CEILING SHALL HAVE ONE LAYER OF 1/2" MIN (COMMERCIAL) OR 1/2" MIN (RESIDENTIAL) GYPSUM WALLBOARD SCREW ATTACHED TO 3-1/2" METAL FRAMING SPACED AT 16" OC (UO); ACCEPTABLE MANUFACTURERS ARE "NATIONAL GYPSUM" AND "LAFARGE"
  - 1) DAMP AREA ROOMS AND BATHROOMS: WHERE MARBLE IS TO BE INSTALLED, USE "USG DUKOROK" NATIONAL GYPSUM PERMABASE CEMENT BOARD". FOR TILE AND ALL OTHER FINISHES, USE "QP DENSISHELD TILE BACKER" OR "NATIONAL GYPSUM TILE BACKER"

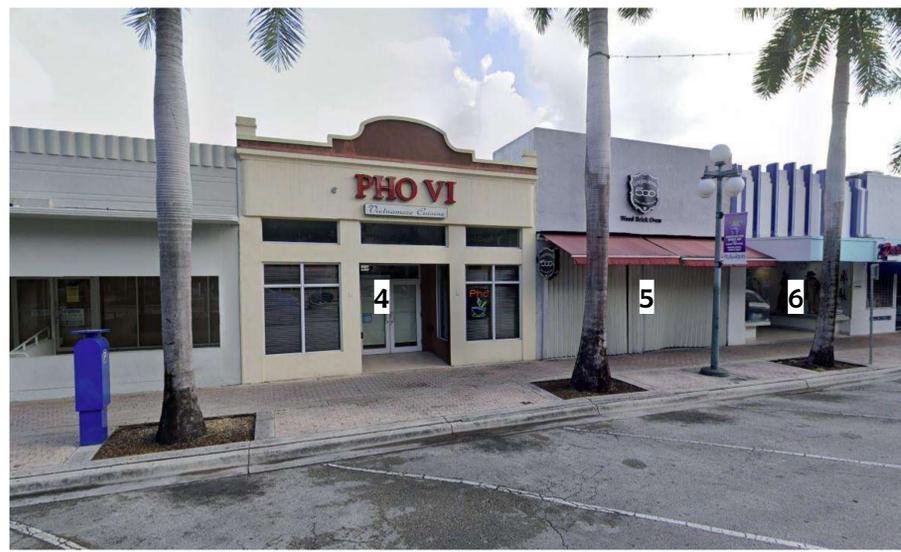
3. SUPPORT STUDS SHALL BE SPACED 24" OC MAX. AND SHALL BE 25 GA MIN. WALL THICKNESS (STUD SIZE) DEFINED BY DIMENSIONS ON FLOOR PLANS.

4. GYPSUM BOARD SYSTEMS ARE AS FOLLOWS (WALL TYPE DETAILS ON PLANS SUPERCEDE SPECIFICATIONS BELOW)
  - 1) NON-RATED PARTITIONS: FOR COMMERCIAL, USE SINGLE LAYER 5/8" MIN EA SIDE OF STUD (UO); FOR RESIDENTIAL, USE SINGLE LAYER 1/2" MIN EA SIDE OF STUD (UO); ACCEPTABLE MANUFACTURERS ARE "NATIONAL GYPSUM AND "LAFARGE"
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5. CHASE WALLS SHALL BE FIRE RATED AS REQUIRED BY GOVERNING CODES AND SHALL BE OF WIDTHS TO ACCOMMODATE ROUGHING IN BY MECHANICAL, PLUMBING, ELECTRICAL, ETC. WORK REQUIRED IN CHASES. CONSTRUCT USING METAL FURRING CHANNELS OR METAL STUDS SPACED TO PROVIDE ADEQUATE STRENGTH. BRACE FURRING CHANNELS ACROSS CHASE USING 5/8" GYPSUM BOARD CROSSBRACES SPACES SO AS TO PROVIDE ADEQUATE STRENGTH AND STIFFNESS TO PARTITION.

6. ELECTRICAL PANELS, ALLIAN BOXES, FIRE EQUIPMENT CABINETS, AND OTHER RECESSED BOXES GREATER THAN 16 SQUARE INCHES THAT ARE LOCATED IN RATED WALLS SHALL BE BACKED BY GYPSUM WALL BOARD LAYERS SUFFICIENT TO MAINTAIN DESIGNATED RATING.

REVISIONS



**A - ADJACENT PROPERTIES - WEST PHOTO**

1945/39/37 FL-820, Hollywood, FL 33020

**B - ADJACENT PROPERTIES - 1935 HOLLYWOOD BLVD**

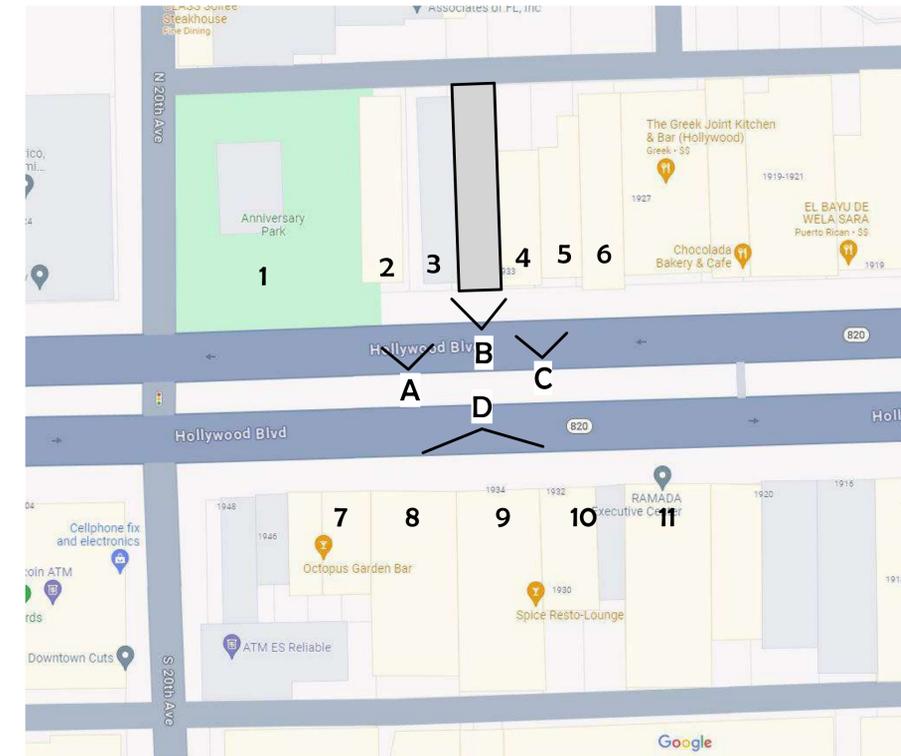
**C - ADJACENT PROPERTIES - EAST PHOTO**

1933/31/29 FL-820, Hollywood, FL 33020



**D - ADJACENT PROPERTIES - SOUTH PHOTO**

1944/40/38/34/32 FL-820, Hollywood, FL 33020



ADDRESS NOTES:

1	1945 FL-820, Hollywood, FL 33020	7	1944 FL-820, Hollywood, FL 33020
2	1939 FL-820, Hollywood, FL 33020	8	1940 FL-820, Hollywood, FL 33020
3	1937 FL-820, Hollywood, FL 33020	9	1938 FL-820, Hollywood, FL 33020
4	1933 FL-820, Hollywood, FL 33020	10	1934 FL-820, Hollywood, FL 33020
5	1931 FL-820, Hollywood, FL 33020	11	1932 FL-820, Hollywood, FL 33020
6	1929 FL-820, Hollywood, FL 33020		

1 KEY PLAN  
 12" = 1'-0"



ADDITION FOR  
**RED THAI SUSHI RESTAURANT**  
 1935 HOLLYWOOD BLVD  
 HOLLYWOOD, FL 33020

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

DRAWN BY:  
 Author  
 CHECKED BY:  
 ARI SKLAR

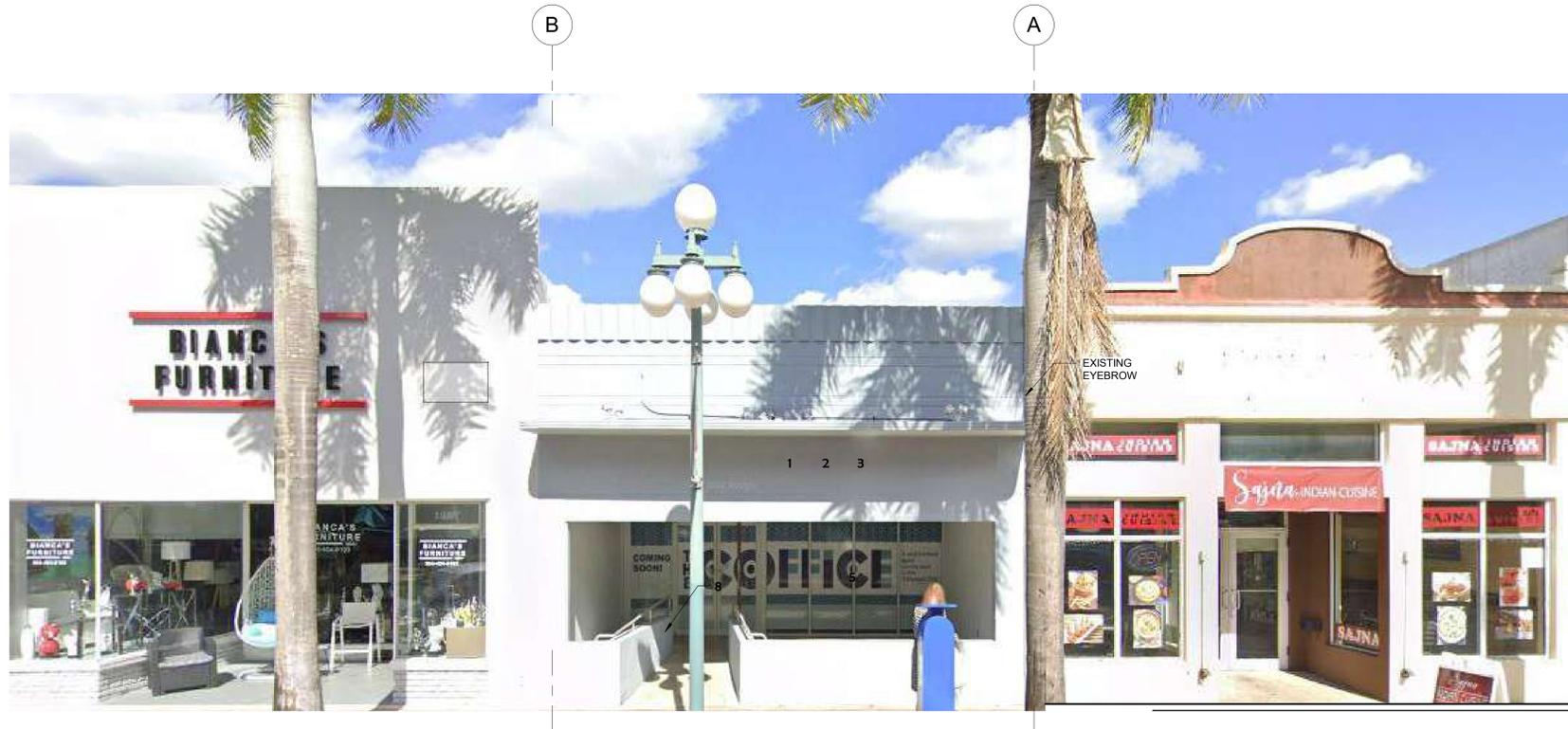
**PHOTOS - ADJACENT PROPERTIES**

**A0.3**

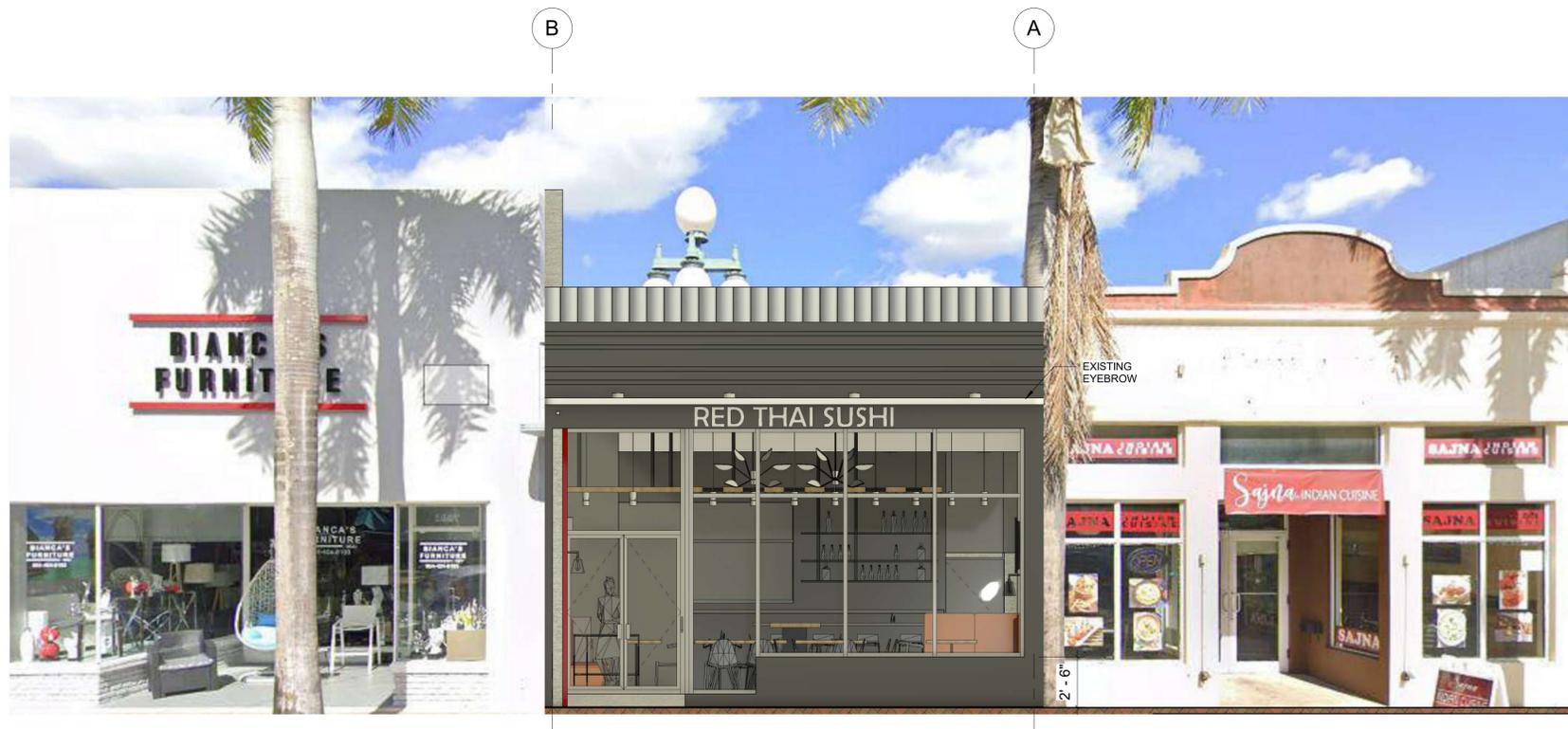
PROJECT #: 21-012

DATE: 11/01/2021

REVISIONS



2 STREET PROFILE - EXISTING FRONT ELEVATION  
 1/4" = 1'-0"



1 STREET PROFILE - PROPOSED FRONT ELEVATION  
 1/4" = 1'-0"

ADDITION FOR  
**RED THAI SUSHI RESTAURANT**  
 1935 HOLLYWOOD BLVD  
 HOLLYWOOD, FL 33020

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN CONSTRUCTION PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

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 Author  
 CHECKED BY:  
 ARI SKLAR

**STREET PROFILE ELEVATION**

**A0.4**

PROJECT #: 21-012

DATE: 11/01/2021



1 PROPOSED FRONT ELEVATION Copy 1  
1/2" = 1'-0"



**SKLAR**chitecture  
 2310 HOLLYWOOD BLVD.  
 HOLLYWOOD, FL 33020  
 TEL - (954) 925-6292  
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 www.SKLARchitect.com  
 AA 0002849  
 IB 0000894  
 NCARB CERTIFIED

SEAL  
 ARI L. SKLAR  
 LICENSE #ARI4173

REVISIONS

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**RENDER & SIGNAGE**

**A0.5**

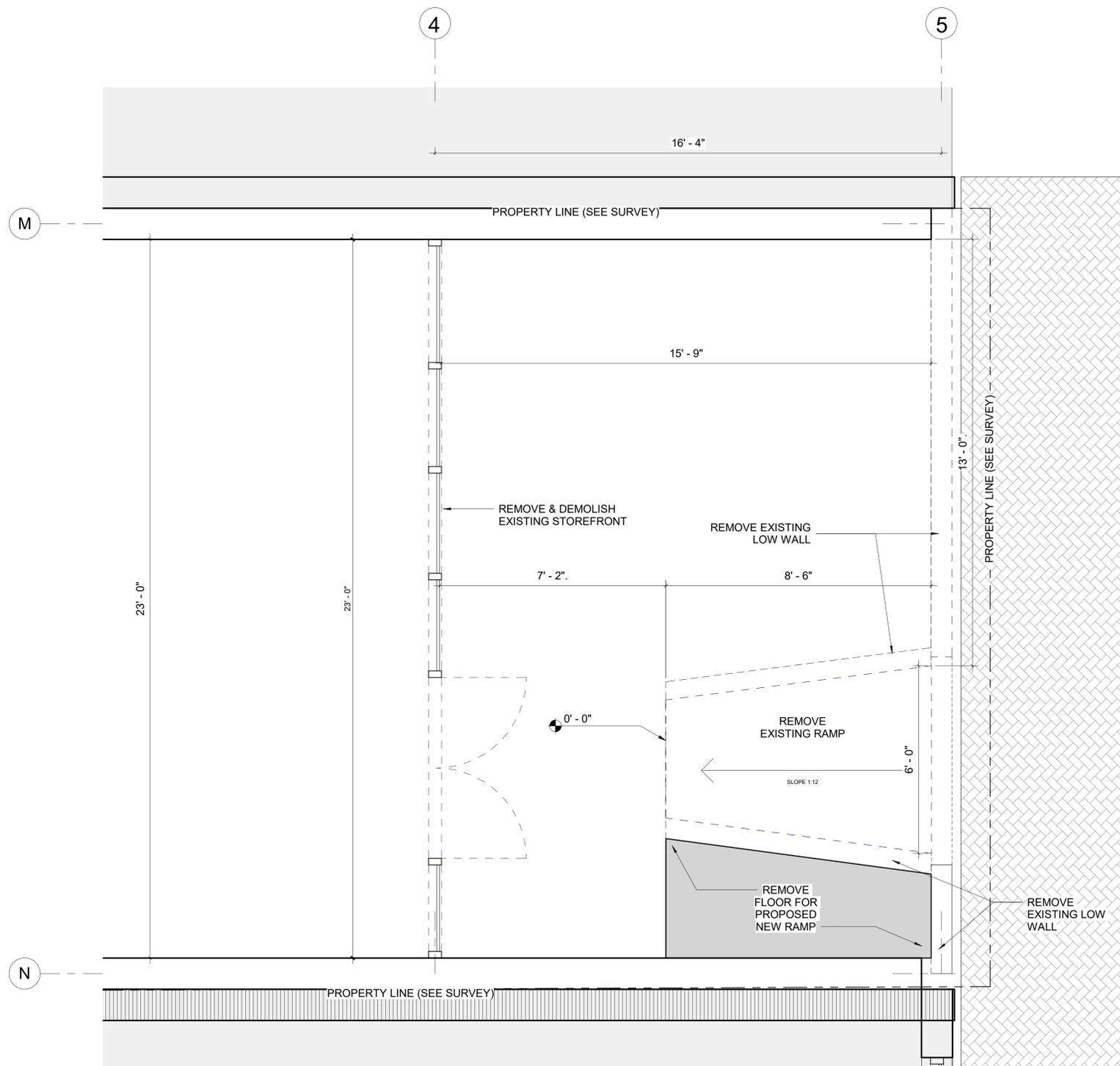
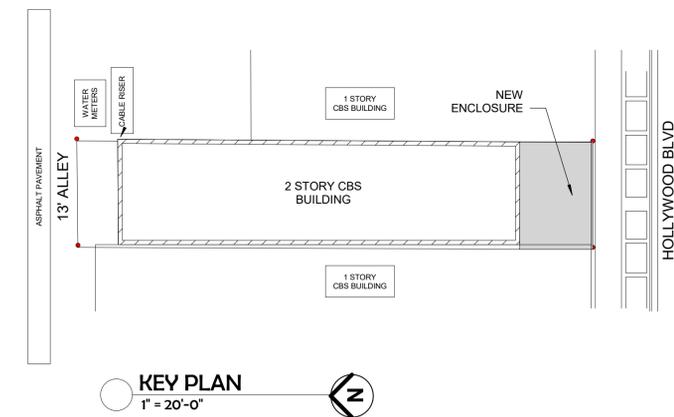
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**DEMOLITION GENERAL NOTES**

- PROVIDE SELECTIVE DEMOLITION WORK AS INDICATED BY DRAWINGS, IN SCHEDULES, AND HEREIN SPECIFIED.
- IT IS THE INTENT OF THESE PLANS TO SHOW THE GENERAL EXTENTS OF THE DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL OF THE DEMOLITION WORK WITH THE INTENT OF THE PROPOSED DESIGN. ANY UNFORESEEN DEMOLITION NOT SHOWN IN THIS PLAN, AND WHICH IS REQUIRED TO MEET THE INTENT OF THE PROPOSED DESIGN, MUST BE INCLUDED IN THE CONTRACTOR SCOPE OF WORK.
- PARTIAL DEMOLITION AND REMOVAL: ITEMS INDICATED TO BE REMOVED WITH NO VALUE TO OWNER BUT OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES.
  - WHERE INDICATED ON DRAWINGS AS "SALVAGE - DELIVER TO OWNER", CAREFULLY REMOVE INDICATED ITEMS, CLEAN, STORE AND TURN OVER TO OWNER AND OBTAIN RECEIPT.
- PROTECTIONS: PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER AND GENERAL PUBLIC FROM INIURY DUE TO SELECTIVE DEMOLITION WORK.
  - PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
  - ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
  - PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT FACILITIES OR WORK TO REMAIN.
  - REMOVE PROTECTIONS AT COMPLETION OF WORK.
- UTILITY SERVICES: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
  - DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES.
  - PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- CLEAN-UP AND REPAIR:
  - UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
  - REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OF SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
  - DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO OWNER.
  - REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF-SITE.
  - PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
  - PROTECT FLOOR WITH SUITABLE COVERINGS WHEN NECESSARY.
- EXPLOSIVES: THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- ENVIRONMENTAL CONTROLS: IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- BEGINNING OF DEMOLITION: INSTALLATION WILL BE CONSTRUED AS ACCEPTANCE OF EXISTING SUBSTRATES, SURFACES, AND CONDITIONS.

PLAN LEGEND	
	EXISTING CMU WALL
	NEW PARTITION WALL
	EXISTING PARTITION WALL
	WALL TO BE DEMOLISHED
	NEW DOOR NUMBER
	NEW WALL TYPE
	EXISTING WINDOW TO REMAIN
	AREAS INDICATED NO WORK OR PATCH & REPAIR AS REQUIRED
	CONCRETE COLUMN
WALL & CEILING FINISHES	
FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 723	
INSULATION MATERIALS	
INSULATION MATERIALS, FACING, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE - DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL273. FBC R 302.10	



**1 EXISTING AND DEMO FLOOR PLAN**  
1/2" = 1'-0"

ADDITION FOR  
**RED THAI SUSHI RESTAURANT**  
1935 HOLLYWOOD BLVD  
HOLLYWOOD, FL 33020

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- COMMISSION SUBMITTAL
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- PERMIT SET
- BID SET
- CONSTRUCTION SET

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**Author**  
CHECKED BY:  
ARI SKLAR

**EXISTING & DEMO GROUND FLOOR PLAN**

**A1.0**

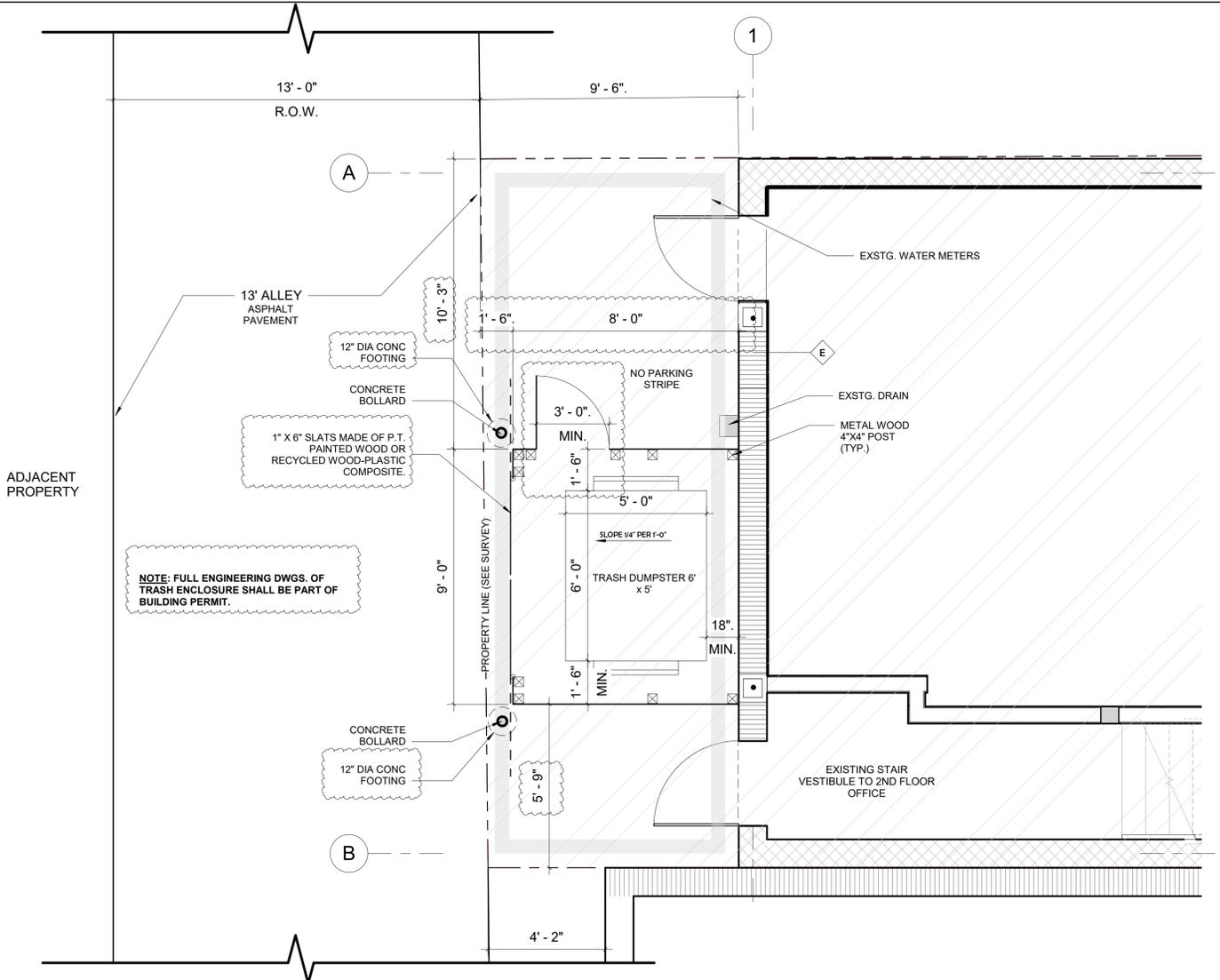
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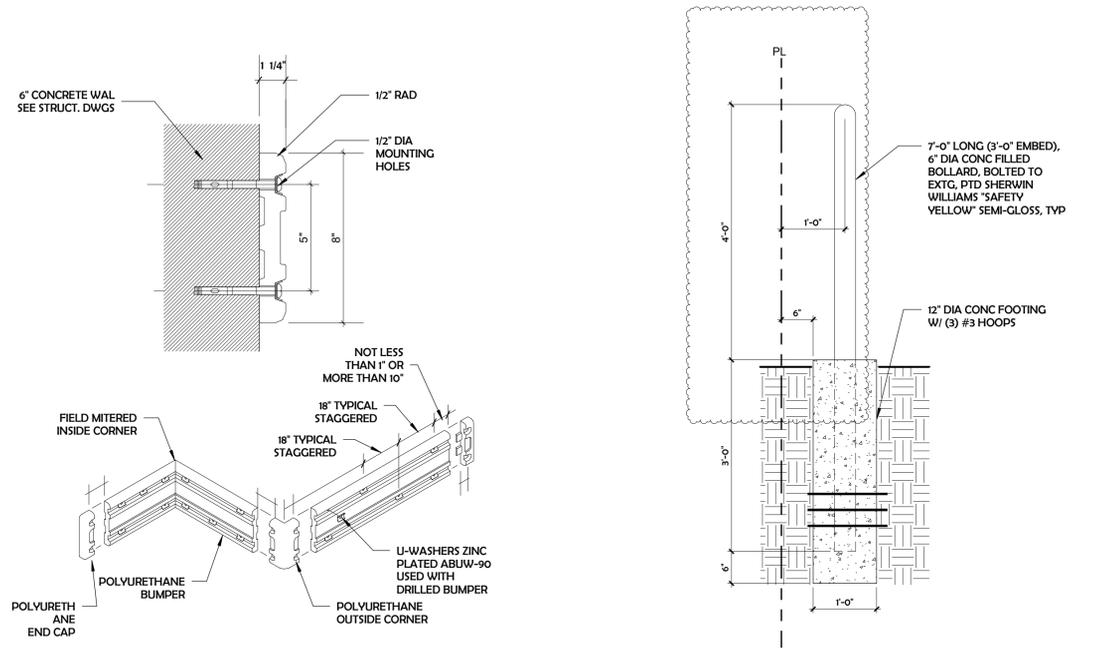


REVISIONS

Revision	Date
1	Revision 7
	Date 7

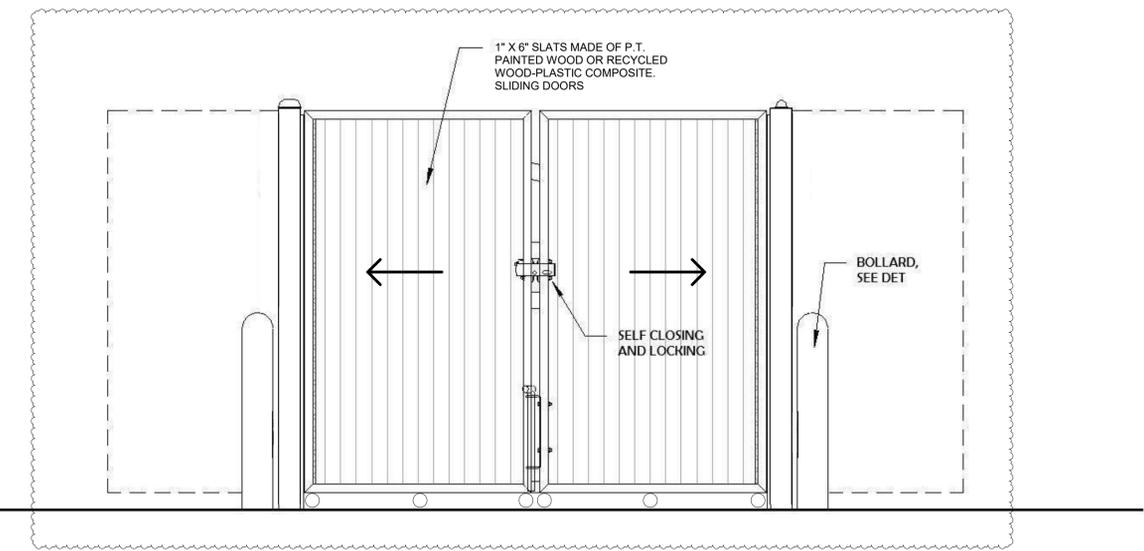


**2 ENLARGED ALLEY PLAN**  
 3/8" = 1'-0"

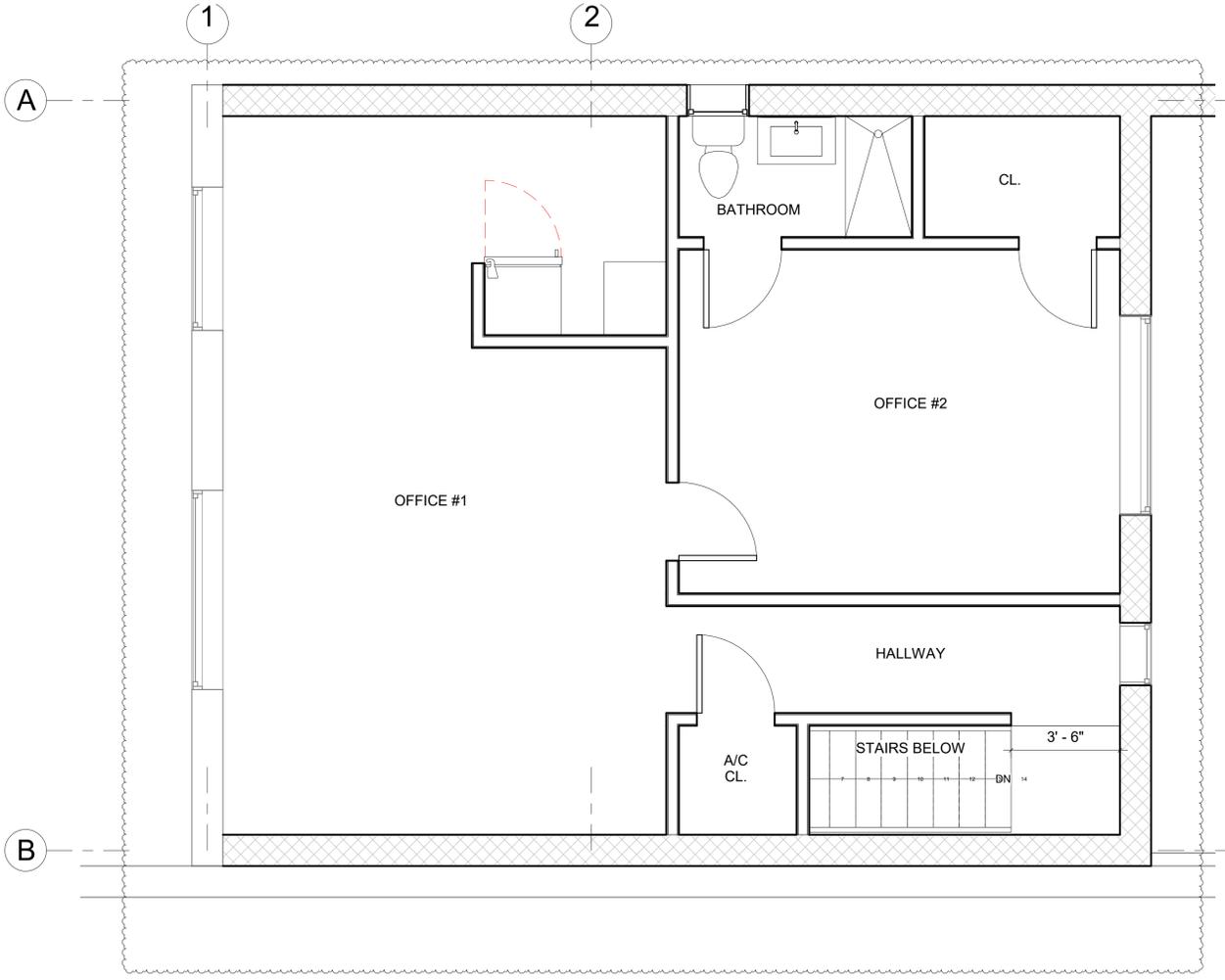


**1 DUMPSTER BUMPER DETAIL AT CMU WALL**  
 3" = 1'-0"

**3 BOLLARD DETAIL**  
 3/4" = 1'-0"



**4 DUMSTER ELEVATION**  
 1/2" = 1'-0"



**5 EXISTING SECOND FLOOR OFFICE FOR REFERENCE**  
 3/8" = 1'-0"

ADDITION FOR  
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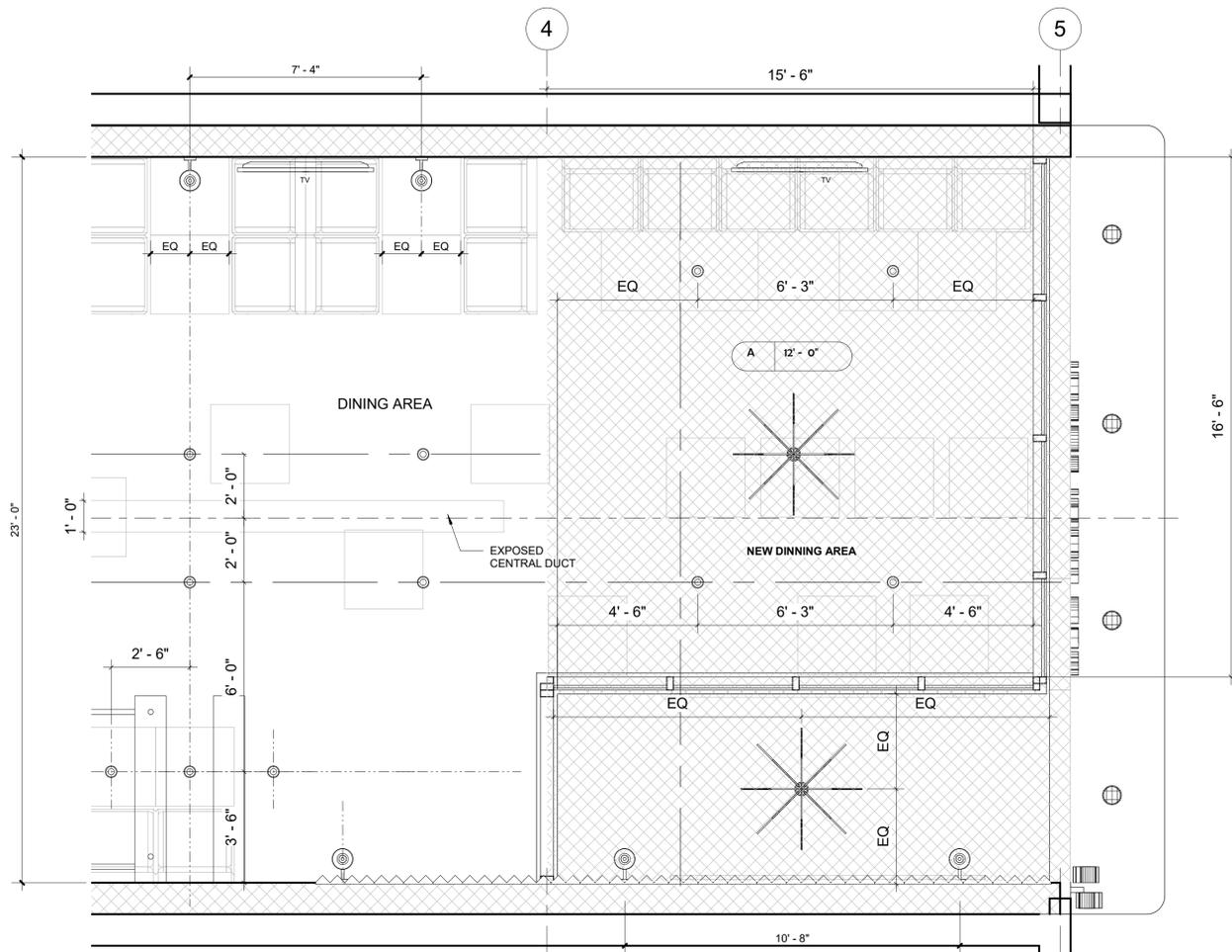
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**ENLARGED ALLEY**

**A2.1**

PROJECT #: 21-012

DATE: 11/01/2021



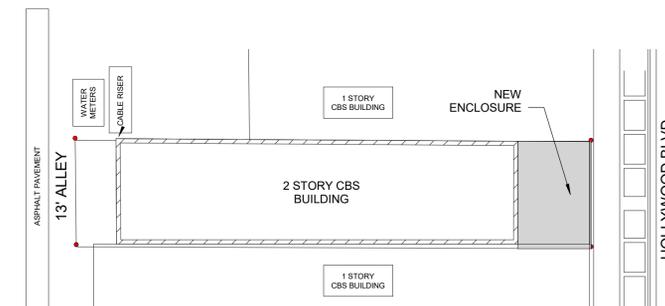
**1** PROPOSED RCP Copy 1  
3/8" = 1'-0"



CEILING LEGEND	
	WALL SCONCE
	6" RECESSED HI-HAT
	JUNCTION BOX
	FAN W/ LIGHT
	CEILING MOUNTED FLUORESCENT LED STYLE FIXTURE
	CHANDELIER OR SURFACE MOUNTED FIXT
	COMBO SMOKE DETECTOR/CARBON MONOXIDE DETECTOR (HARD WIRED WITH BATTERY BACKUP)
	SMOKE DETECTOR (HARD WIRED WITH BATTERY BACKUP)
	RECEPTICAL
	3 WAY RECEPTICAL
	HEIGHT
	CEILING TAG

NOTE:  
1. ARCHITECTURAL LIGHTING PLAN SUPERCEDES ELECTRICAL PLAN FOR LOCATION & FIXTURE TYPE IF NOTED. COORDINATE W/ ELEC PLAN & NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES PRIOR TO BID & PURCHASING.  
2. ALL ELECTRICAL FIXTURES TO BE PURCHASED & SUPPLIED BY OWNER INSTALLED BY GENERAL CONTRACTOR.

CEILING TYPES	
A	CEILING EXPOSED STRUCTURE (+ 5/8" STUCCO FINISH)
B	PTD 5/8" GWB ON 7/8" FURRING CHANNELS / 1H FIRE RATING
C	ACOUSTICAL CEILING TILES 24"x24" PANEL W/ PRELUDE XL SUSPENSION SYSTEM



**KEY PLAN**  
1" = 20'-0"



ADDITION FOR  
**RED THAI SUSHI RESTAURANT**  
1935 HOLLYWOOD BLVD  
HOLLYWOOD, FL 33020

- REVIEW SET
- PRELIMINARY
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

SUBMITTAL DATE:

DRAWN BY:

CHECKED BY:  
ARI SKLAR

**EXISTING AND  
PROPOSED RCP**

**A3.0**

PROJECT #1-012

DATE 11/01/2021

10/31/2023

1935 HOLLYWOOD BLDV, FL 33020

**LEGAL DESCRIPTION:**

PARCEL ID: 514215014330

HOLLYWOOD 1-21 B LOT 7 BLK 24

LAND DESCRIPTION:

LOT 7, BLOCK 24 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**SCOPE OF WORK:**

**ADDITION TO FOR A NEW RESTAURANTE, APPROXIMATELY 282 SQ FT.**

1. DEMOLISH EXISTING RAMP, LOW WALL & REMOVE EXISTING STOREFRONT.
2. NEW RAMP AND CONCRETE KNEE WALL.
3. NEW STOREFRONT AND DOUBLE GLASS DOOR.



Ari Sklar, AIA, NCARB, LEED AP

ALS/km

Planning and Zoning Board  
City of Hollywood  
2600 Hollywood Boulevard,  
Hollywood FL, 33022

**RE: CRITERIA STATEMENT(S) FOR APPLICABLE CRITERIA FOR HISTORIC PRESERVATION BOARD  
AT 1935 Hollywood Blvd.**

Dear Planning and Zoning Board,

This firm represents 1935 LLC (the “Applicant”), owners of the property located at 1935 Hollywood Blvd. Please consider this letter the applicant’s letter of intent in support of an application seeking a certificate of appropriateness for design for the enclosure of the existing front covered dining to be enclosed with storefront and air conditioning.

**Property:** The property is located at 1935 Hollywood Blvd. The lot is 3,041 square feet in size and is identified by the Broward County Property Appraiser by ID HOLLYWOOD 1-21 B LOT 7 BLK 24 - 514215014330. The property already has a permit for the complete interior renovation (permit number **B21-105943**). The proposed enclosure is for 282 square feet.

**Criteria Statement Analysis:**

**Certificate of appropriateness for design.**

**Integrity of Location:** The proposed enclosure is in alignment with the historic location on Hollywood Boulevard in Hollywood, Florida, which is renowned for its historical streetscape and iconic commercial establishments. The design maintains the existing spatial relationship, architecture, and layout of the property within the historic context, thereby preserving the unique character of the area. The addition will not alter the essential historic features of the location.

**Setting:** The design of the proposed addition complements the existing streetscape and neighborhood aesthetics of Hollywood Boulevard. It respects the historical architectural styles of the neighboring properties by incorporating a knee wall in line with typical designs found in

the area. The new storefront and double glass door maintain visual continuity and blend harmoniously with the historic streetscape.

**Materials:** The materials used for the addition, including the knee wall, storefront, and double glass door, have been carefully selected to respect the historic knee walls found in neighboring properties. The choice of materials ensures that the addition is compatible with the architectural style prevalent in the area. Keeping the existing eyebrow, the painted stucco knee wall and clear glass reflect the historical elements present along Hollywood Boulevard.

**Workmanship:** The construction of the enclosure will be carried out by licensed professionals with expertise in renovations and attention to detail. The workmanship will meet or exceed established standards for historic properties, ensuring that the addition integrates seamlessly with the existing structure and maintains the historic integrity of the location.

**Association:** This design proposal adheres to the preservation guidelines and regulations outlined in the Citywide Master Plan for Historic Hollywood Boulevard, as well as the Comprehensive Plan and any specific guidelines for the preservation of historical properties. The proposal respects the city's vision for maintaining the historic character of Hollywood Boulevard while enhancing its functionality for modern use.

**Design:** The design of the enclosure carefully replicates the knee wall and storefront elements typical of the historic properties in the area. The addition enhances the visual appeal and utility of the space while preserving the historic charm of Hollywood Boulevard. The design respects the historic value of property in this iconic location.

This criteria statement emphasizes the importance of preserving the historic character of Hollywood Boulevard while enhancing the functionality of the restaurant space through the proposed enclosure. It aligns with the requirements for historic preservation in this unique and culturally significant area.

**Conclusion.**

This application strives to meet the requirements and all the standards of the City regulations. We look forward to your review and approval. If you have any questions or concerns, please do not hesitate to call us at 954 925-9292

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ari L. Sklar', with a long horizontal stroke extending to the right.

Ari L. Sklar AIA, NCARB  
President

2

THIS INSTRUMENT PREPARED BY:

Ira R. Shapiro  
16375 N.E. 18th Avenue, Suite 225  
North Miami Beach, FL 33162

RECORD AND RETURN TO:

Dennis R. Wood, Esq.  
3440 Hollywood Boulevard, Suite 415  
Hollywood, Florida 33021

**WARRANTY DEED**

THIS WARRANTY DEED, made this 11 day of November, 2016, by AOA Properties, L.C., a Florida limited liability company, hereinafter called grantor, to 1935 LLC, a Florida limited liability company, hereinafter called grantee, whose post office address is 1906 Van Buren St. #109-B Hollywood, FL 33020.

WITNESSETH: That the grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Broward County, Florida, viz:

Folio #: 514215-01-4330

Lot 7, Block 24, Hollywood, according to the map or plat thereof as recorded in Plat Book 1, Page 21, Public Records of Broward County, Florida.

Subject to the following:

1. Real estate taxes for the year 2017 and subsequent years, which are not yet due and payable.
2. Restrictions, limitations, covenants, dedications, prohibitions and other requirements imposed by governmental authority; restrictions and matters appearing on the plat or otherwise common to the subdivision and easements of record, without the intention of reimposing the same.
3. Zoning laws and other governmental regulations.

**TOGETHER** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD**, the same in fee simple forever.

**AND** the grantor hereby covenants with said grantee that the grantor has good right and lawful authority to sell and convey said land, and that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except real estate taxes accruing subsequent to December 31, 2016.

2

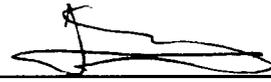
Warranty Deed  
Page - 2

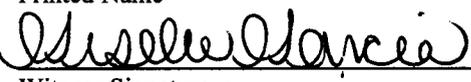
IN WITNESS WHEREOF, the said grantor has hereunto set his or her hand and seal the day and year first above written.

Signed, sealed and delivered  
in the presence of:

AOA PROPERTIES, L.C., a Florida limited liability company

  
\_\_\_\_\_  
Witness Signature  
**IRA R. SHAPIRO**

By:   
\_\_\_\_\_  
**Leonor Zelcer, Manager**  
3679 NE 201 Street  
Aventura, FL 33180

Printed Name  
  
\_\_\_\_\_  
Witness Signature  
**Giselle Garcia**  
\_\_\_\_\_  
Printed Name

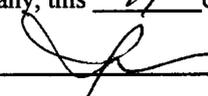
COUNTRY/STATE OF FLORIDA  
CITY/COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged, sworn to and subscribed before me by Leonor Zelcer, Manager of AOA Properties, L.C., a Florida limited liability company, on behalf of the company, this 11 day of Nov., 2016.

My Commission Expires:



IRA R. SHAPIRO  
MY COMMISSION # FF 042476  
EXPIRES: December 4, 2017  
Bonded Thru Budget Notary Services

  
\_\_\_\_\_  
**IRA R. SHAPIRO** Notary Public/American Embassy  
\_\_\_\_\_  
Commission/Serial Number (if any)

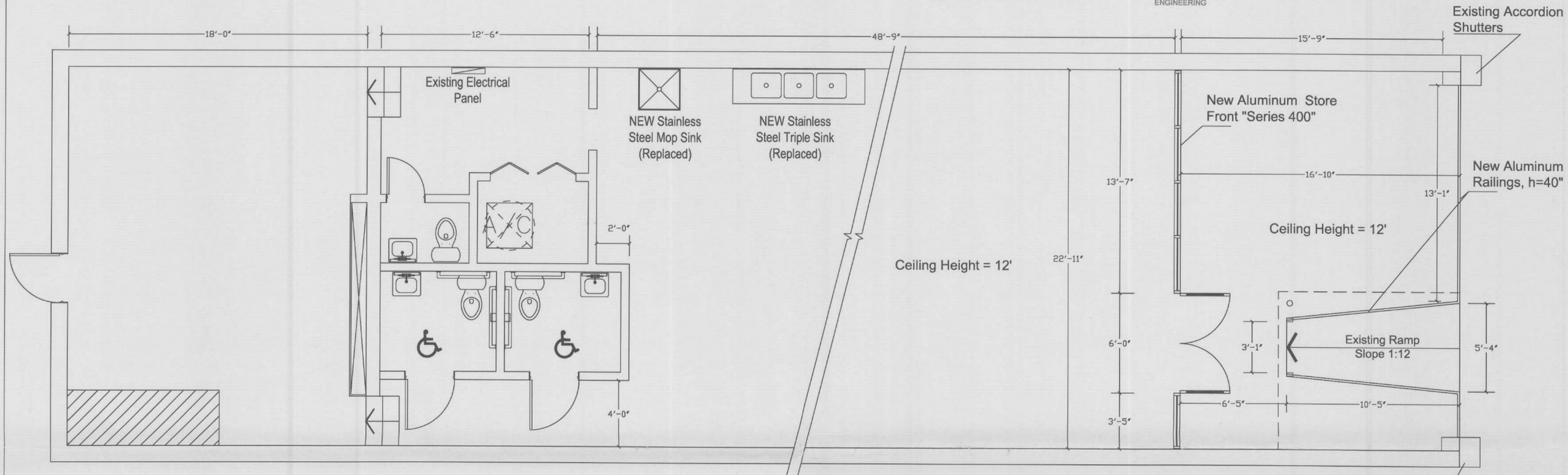
Personally Known \_\_\_\_\_ **OR** Produced Identification ✓  
Type of Identification Produced: Driver's License: ✓ or Other: \_\_\_\_\_

AOA PROPERTIES L.C.  
1935 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020

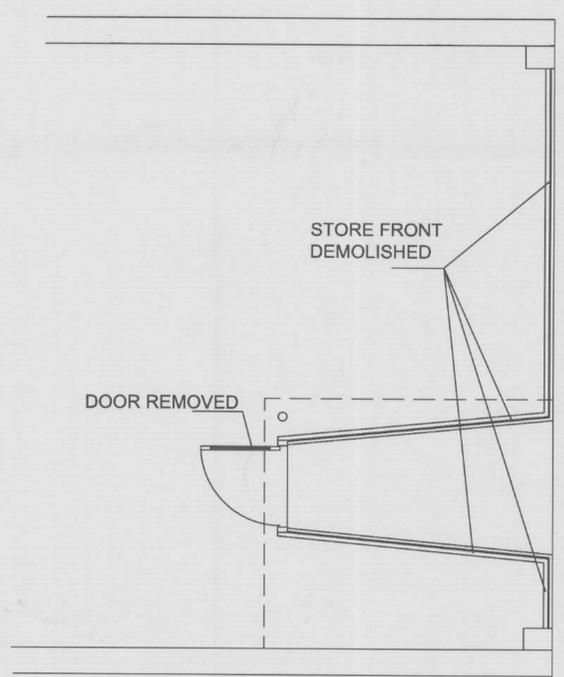
APPROVED  
JUN 25 2013  
CITY OF HOLLYWOOD, FLA  
FIRE

APPROVED  
JUN 24 2013  
CITY OF HOLLYWOOD, FLA  
ENGINEERING

FLOOR PLAN



DEMOLITION PLAN



NOTES

WORK AREAS  
1- First Floor Area 2215 Sq. Ft.  
2- Remodel Area 393 Sq.Ft.

CODE IN EFFECT IS  
FLORIDA BUILDING CODE, EXISTING 2010

ALTERATION - LEVEL 2

- SCOPE OF WORK
- Remove / demolish Storefront and entrance door
  - Replace and Relocate Storefront and door
  - Install a new Aluminium Railings
  - Install New Triple Sink and Mop Sink

APPROVED  
JUL -9 2013  
CITY OF HOLLYWOOD, FLA.  
PUBLIC UTILITIES

OLD STOREFRONT



VOID STRUCTURAL  
*SEE APPROVED SLIP WORK ON FILE*

APPROVED  
JUN 18 2013  
CITY OF HOLLYWOOD, FLA.  
PLUMBING

MANUEL E. SIQUES  
FE # 20233  
APPROVED  
AUG 27 2013  
CITY OF HOLLYWOOD, FLA.  
PLUMBING

*6/5/13*

A 1  
SCALE 1/4" = 1'

NAME OF OWNER

FURLANDER DRESS SHOP.

ADDRESS OF CONSTRUCTION

1935 Boulevard.

LEGAL DESCRIPTION

Owner's Present Address

Description of Construction

Cost 2,000.

Alterations to Store Front.

Permit Type	No.	Date Issued	To Whom	Fixtures or Outlets
Bldg	14329	10-14-49	Urban Const Co.	
Plumbing				
Electrical	7901	11-2-49	Lloyd	
	+ 8025	11-28-49		
Gas				RET AIR COND. 11-28-49

INSPECTIONS

FOUNDATION

1st Rough Plg.

Temp. Service

COLUMNS

Final Rough Plg.

Rough Electric

TIE BEAM

Septic Tank

Temporary Final

CAP

Grease Trap

Final Electric 11-10-49

GAS

Final Plumbing

Cert. of Occupancy

Rubbish Bond

Remarks:

RD-2436-10

NAME OF OWNER GILL SAUNDERS

ADDRESS 1935 HOLLYWOOD BLVD

LEGAL DESCRIPTION

COST 160.00

DESCRIPTION OF CONST.

ARCHITECT:

PERMIT TYPE	NO.	DATE	TO WHOM	IXT. or OUT.
BLDG.				
ROOF				
ELECTRICAL				
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS	018646	7-7-69	WHITSON AC	
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

# JOB CARD

OWNER <p style="text-align: center;">MELINDAS</p>	JOB ADDRESS <p style="text-align: center;">1935 Hwd. Blvd.</p>
--	---

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO. <i>75-310</i>	ARCHITECT	FEE \$ 9.00	VALUATION \$ 280
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DESCRIPTION OF CONSTRUCTION <p style="text-align: center;">79 Sq. Ft. Wall Sign</p>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	129352	11/6/75	Jake Signs	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:	1613-13
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# JOB CARD

OWNER  GILBERT SENERS	JOB ADDRESS  1935 Hwd. Blvd.
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 6.00	VALUATION \$ 265
---------------	-----------	----------------	---------------------

DESCRIPTION OF CONSTRUCTION  Repair-Roof	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF	250	7/16/75	Apex	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:	FORM 1144-13
--------	--------------

# JOB CARD

**OWNER**  
**CAMEO DINETTIS**

**JOB ADDRESS**  
**1935 Wnd. Blvd.**

**LEGAL DESCRIPTION**  
**LOT NUMBER**

**BLOCK**

**SUBDIVISION OR ADDITION**

**MICROFILM NO.**

**ARCHITECT**

**FEE**  
**\$ 7.00**

**VALUATION**  
**\$ 60**

**DESCRIPTION OF CONSTRUCTION**  
**Flat Wall Sign**

- SEPTIC TANK
- SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	64	23799	1/9/75	Owner			
SEPTIC/SEWER							
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

**NOTES:**

# JOB CARD

OWNER <p style="text-align: center;">Mirtha Martinez</p>	JOB ADDRESS <p style="text-align: center;">1935 Hollywood Boulevard</p>
---	--

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
-------------------	------------	-------	-------------------------

MICROFILM NO. <p style="text-align: center;">M/C. 81M</p>	ARCHITECT	FEE \$ 18.70	VALUATION \$ 1792
--	-----------	-----------------	----------------------

DESCRIPTION OF CONSTRUCTION <p style="text-align: center;">interior partitions for beauty salon</p>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 112 L/F	61894	5/23/80	owner	SEPTIC/SEWER			
ROOF				AIR/CONDITION	11903	7-31-80	Design A/C
ELECTRIC-BASIC	22048	5-28-80	Richardson	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	14895	3-6-80	Jones	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: county surcharge \$.63

## Permit Search Results

[Search](#) > Properties located at/on/near '...1935...'

**27 permits were found for  
1935 HOLLYWOOD BLVD**

View	Process #	Permit #	Description	Appl. Date	Permit Date
<a href="#">Details</a>		<b>B18-107858</b>	ALTERATIONS-INTERIOR	10/2/2018	
<a href="#">Details</a>		<b>B18-106315</b>	WINDOW &/OR DOOR REPLACEMENT	8/7/2018	
<a href="#">Details</a>		<b>P15-102332</b>	BACKFLOW PREVENTER	6/18/2015	
<a href="#">Details</a>		<b>P15-101348</b>	BACKFLOW PREVENTER	4/8/2015	<b>6/18/2015</b>
<a href="#">Details</a>		<b>P12-101029</b>	PLUMBING WORK	11/20/2013	
<a href="#">Details</a>		<b>P12-101028</b>	PLUMBING WORK	11/20/2013	
<a href="#">Details</a>		<b>P13-100904</b>	FIXTURES-PLUMBING	11/8/2013	<b>11/8/2013</b>
<a href="#">Details</a>		<b>E13-101767</b>	DEMOLITION-ELECTRICAL	11/8/2013	<b>11/8/2013</b>
<a href="#">Details</a>		<b>P13-101410</b>	DEMOLITION-PLUMBING	11/8/2013	
<a href="#">Details</a>		<b>M13-101250</b>	MECHANICAL WORK	11/7/2013	<b>11/7/2013</b>
<a href="#">Details</a>		<b>B13-102625</b>	ALTERATIONS-EXTERIOR & INTERIOR	6/12/2013	<b>10/1/2013</b>
<a href="#">Details</a>		<b>B12-102496</b>	ALTERATIONS-EXTERIOR & INTERIOR	6/18/2012	
<a href="#">Details</a>		<b>B12-102288</b>	ALTERATIONS-INTERIOR	6/5/2012	
<a href="#">Details</a>		<b>B11-101227</b>	HURRICANE SHUTTERS	3/31/2011	<b>4/6/2011</b>
<a href="#">Details</a>	16616	<b>B0608489</b>	REPAIRS-STRUCTURAL	7/12/2006	<b>7/31/2006</b>

<a href="#">Details</a>		<b>E0003096</b>	ALARM - COMMERCIAL - CENTRAL - AUDIBLE		<b>8/31/2000</b>
<a href="#">Details</a>		<b>E0003095</b>	ALARM - COMMERCIAL - CENTRAL - AUDIBLE		<b>8/31/2000</b>
<a href="#">Details</a>		<b>E0000068</b>	ALARM - COMMERCIAL - CENTRAL - AUDIBLE		<b>1/10/2000</b>
<a href="#">Details</a>		<b>E0000067</b>	ALARM - COMMERCIAL - CENTRAL - AUDIBLE		<b>1/10/2000</b>
<a href="#">Details</a>		<b>M9601284</b>	REMOVE & REPLACE A/C FOR REROOFING		<b>7/24/1996</b>
<a href="#">Details</a>		<b>B9604223</b>	RE-ROOF-FLAT		<b>6/13/1996</b>
<a href="#">Details</a>		<b>E9001307</b>	AIR CONDITIONING- ELECTRICAL		<b>6/14/1990</b>
<a href="#">Details</a>		<b>M9000604</b>	A/C - CENTRAL - REPLACEMENT		<b>5/21/1990</b>
<a href="#">Details</a>		<b>E9000133</b>	SIGN-ELECTRICAL		<b>1/18/1990</b>
<a href="#">Details</a>		<b>B8906660</b>	AWNINGS - ALUM OR CANVAS		<b>11/8/1989</b>
<a href="#">Details</a>		<b>E8901018</b>	SIGN-ELECTRICAL		<b>7/12/1989</b>
<a href="#">Details</a>		<b>B8903904</b>	SIGN - FLAT WALL		<b>6/30/1989</b>

**City of Hollywood, Florida**  
**Department of Building and Engineering Services**  
**Building Division**

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**Certificate of Completion**

Owner or Occupant: AOA PROPERTIES L C

Folio Number: 514215014330

Address: 1935 HOLLYWOOD BLVD

Legal Description:

HOLLYWOOD 1-21 B , LOT 7 BLK 24

Occupancy Classification: Group M, Mercantile

Type of Construction: Type 5B

Maximum Assembly Capacity:

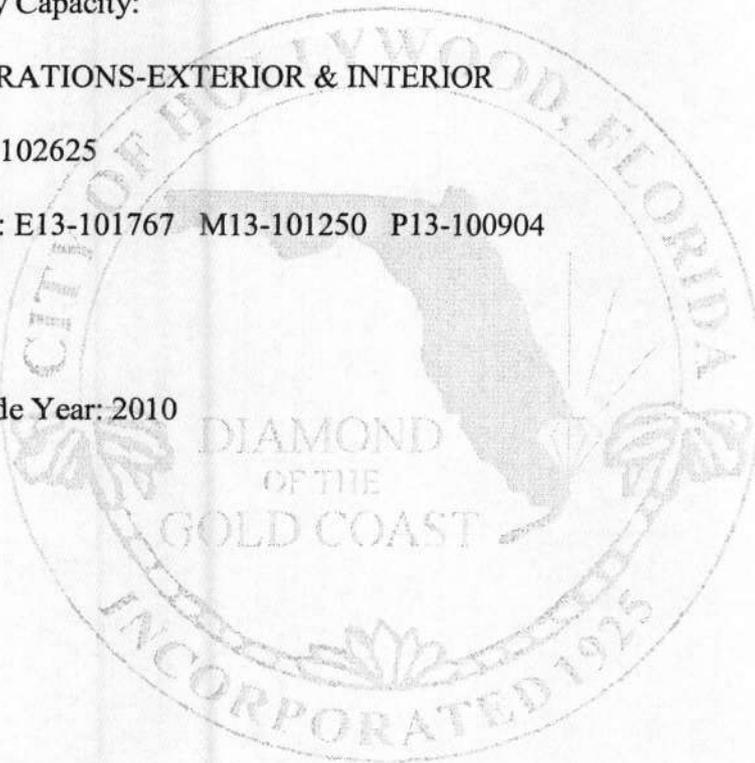
Permit Type: ALTERATIONS-EXTERIOR & INTERIOR

Master Permit: B13-102625

Subordinate Permits: E13-101767 M13-101250 P13-100904

Florida Building Code Year: 2010

Comments:



Date of Issuance:

11/10/13

  
Reginald A. Cox R.A.,  
Chief Building Official

2600 Hollywood Boulevard P.O. Box 229045 Hollywood, Florida 33020-9045  
Telephone Number (954) 921-3335

"An Equal Opportunity and Service Provider Agency"

B13-102625

THE CITY OF HOLLYWOOD  
ZONING DIVISION

# CERTIFICATE OF USE

This "Certificate of Use" verifies that the use described below is an allowable use for the identified property. Said verification of use is based upon the list of allowable uses per the applicable Zoning District as identified in the Zoning and Land Development Regulations and, the uses allowed per the Land Use Element of the City's Comprehensive Plan. Certification of use in no way waives or guarantees compliance with other applicable Zoning and Land Development Regulations. This property must fully comply with all applicable Codes and Ordinances prior to the commencement of the approved use.

CERTIFICATE OF USE NO.: 2013-CU-0850

Street Address: 1935 Hollywood Boulevard Bay/Suite #  
City: Hollywood State: FL Zip: 33020  
Folio Number: 5142-15-01-4330  
Business Name: AOA Properties, Inc.  
Business Owner: Leonor Shuber Zelcer  
Use/Business Type: Commercial/Retail Rental  
Square Footage: 2,500  
Zoning District: CCC-1  
Land Use Designation: General Business  
Conditions: Commercial/Retail Rental

CERTIFICATE APPROVED BY



Elizabeth Chang

Planning & Development Services Administrator

DATE

8/10/2013

**MUST BE POSTED AT BUSINESS LOCATION**



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

*B3-102625*

To: City of Hollywood P.O. Box 229045 Hollywood, FL 33022-9045 Phone: (954) 921-3335 • Fax: (954) 921-3037	Date: <i>8/26/13</i> <i>NEW PERMIT</i> Permit Number: <i>B3-102625</i> E-Mail Address: <i>JOSEPH@KALLERARCHITECTS.COM</i> Project/Reference: <i>1935 HOLLYWOOD BLD.</i>
---	--

For Review By: (check  all applicable spaces)

Planning    Zoning    Engineering    Fire    Water/Sewer    Drainage

Discipline:  Structural    Electrical    Plumbing    Mechanical    Reserve Capacity Charges

From: *JOSEPH B. KALLER*

Address: *2417 HOLLYWOOD BLD.*  
*HOLLYWOOD FL 33020*

E-Mail Address: *JOSEPH@KALLERARCHITECTS.COM*

Contact: *JOSEPH B. KALLER*

Phone: *954 920-5746* Fax: *954 926-2841*

PLANS SUBMITTED: (check )

<input checked="" type="checkbox"/> Architectural sheet # <i>T-01</i> <i>A-01</i>	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

WE ARE SUBMITTING TO YOU (check )

Via  hand delivery    Postal delivery  
 special delivery    fax copy

E-mail

Initial (original) sets of plans  
 corrected (non-permitted) plans  
 revised (permitted) plans

shop drawings:    structural steel  
                                   wood trusses  
                                   glass/glazing  
                                   product approvals  
                                   fire protection

spot survey  
 final survey  
 energy (insulation) certification  
 special inspector letter  
 soil report  
 inspection reports  
 energy calcs  
 site plans  
 other \_\_\_\_\_

Special Instructions:

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For Departmental Use Only:

Received by: \_\_\_\_\_ Date: *8/26/13*



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
 P.O. Box 229045  
 Hollywood, FL 33022-9045  
 Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: 10/28/2013  
 Permit Number: B13-102625  
 E-Mail Address: \_\_\_\_\_  
 Project/Reference: \_\_\_\_\_

For Review By: (check  all applicable spaces)

Planning     Zoning     Engineering     Fire     Water/Sewer     Drainage

Discipline:  Structural     Electrical     Plumbing     Mechanical     Reserve Capacity Charges

From: Pines Total Construction  
11801 NW 23rd St  
 Address: Pines, FL 33026

E-Mail Address: pinestgc@bellsouth.net  
 Contact: Mark  
 Phone: (954) 445-6302 Fax: ( ) \_\_\_\_\_

PLANS SUBMITTED: (check )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

WE ARE SUBMITTING TO YOU (check )

Via  hand delivery     Postal delivery  
 special delivery     fax copy

E-mail

initial (original) sets of plans

corrected (non-permitted) plans

revised (permitted) plans

shop drawings:     structural steel  
                                    wood trusses  
                                    glass/glazing  
                                    product approvals  
                                    fire protection

spot survey

final survey

energy (insulation) certification

special inspector letter

soil report

inspection reports

energy calcs

site plans

other plumbing & Electric sub permit

Special Instructions:

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For Departmental Use Only:

Received by: [Signature] Date: 10/28/13



CITY OF HOLLYWOOD, FLORIDA
PERMIT APPLICATION

MASTER PERMIT # B13-102625
SUB PERMIT #

Permit Type (Check one): STRUC, FIRE, ELEC, MECH, PLUMB, PAVING, WTR/SWR, DRAINAGE

APPLICATION DATE 10/23/2013 TAX FOLIO No. 5142 1501 4330

LEGAL DESCRIPTION:

JOB NAME 1935 Hollywood PHONE #

JOB ADDRESS 1935 Hollywood Blu. HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33020

OWNER NAME EX AOA PROPERTIES Email Address

Owners Address 3679 NE 201st City Aventura State FL Zip 33180

WORK DESCRIPTION correct code violations

USE/OCCUPANCY Mercantile SQ. FT. Value of Proposed Work: \$ 500-

CONTRACTOR'S COMPANY NAME PSC PLUMBING SVC INC PHONE # 305-796-7304

CONTRACTOR'S BUSINESS ADDRESS 3891 NW 125 ST CITY Opa-Locka STATE FL ZIP 33054

CONTRACTOR'S E-MAIL ADDRESS PSCPLUMBINGSERV@AOL.COM ALTERNATE PHONE #

QUALIFIER'S NAME PEDRO S GUZMAN STATE CERTIFICATE CFE 1426257

BROWARD COUNTY CERTIFICATE OF COMPETENCY STATE REGISTRATION #

STATE CERTIFICATION # PHONE # FAX#

ARCHITECT/ENGINEER'S NAME PHONE # FAX#

ARCHITECT/ENGINEER'S ADDRESS CITY STATE ZIP

FEE SIMPLE TITLE HOLDER NAME

Fee Simple Title Holder Address CITY STATE Zip

BONDING COMPANY NAME

Bonding Company Address CITY STATE Zip

MORTGAGE LENDER'S NAME

Mortgage Lender's Address CITY STATE Zip

P13-100904

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning. WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

Signature Date:

Print Owner / Agent Name

Sworn to (or affirmed) and subscribed before me this day of 20

Signature NOTARY as to Owner/Agent

Personally Known, Identification Provided:

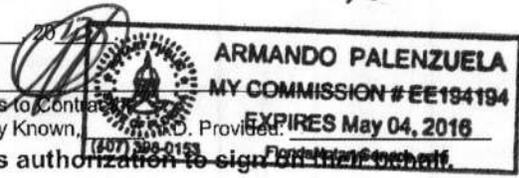
Signature Date: 10-15-13

Prime Contractor / Print Name PEDRO S GUZMAN

Sworn to (or affirmed) and subscribed before me this 15 day of OCT 2013

Signature NOTARY as to Contractor

Personally Known, Identification Provided:



\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: Permit Officer Effective Code: 20 Florida Building Code

Date



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

A

To: City of Hollywood  
 P.O. Box 229045  
 Hollywood, FL 33022-9045  
 Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: \_\_\_/\_\_\_/\_\_\_  
 Permit Number: B13-102625  
 E-Mail Address: \_\_\_\_\_  
 Project/Reference: \_\_\_\_\_

For Review By: (check  all applicable spaces)

Planning     Zoning     Engineering     Fire     Water/Sewer     Drainage

Discipline:  Structural     Electrical     Plumbing     Mechanical     Reserve Capacity Charges

From: LEONOR SHUBER ZGLCC

Address: 3679 NE 201st Aventura  
FL 33180

E-Mail Address: ESHUBER@gmail.com

Contact: Eli Shuber

Phone: (954) 326-9444 Fax: (305) 454-9893

PLANS SUBMITTED: (check )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

WE ARE SUBMITTING TO YOU (check )

Via  hand delivery     Postal delivery  
 special delivery     fax copy

E-mail

initial (original) sets of plans

corrected (non-permitted) plans

revised (permitted) plans

shop drawings:     structural steel  
                                wood trusses  
                                glass/glazing  
                                product approvals  
                                fire protection

spot survey

final survey

energy (insulation) certification

special inspector letter

soil report

inspection reports

energy calcs

site plans

other Plumb App

Special Instructions:

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For Departmental Use Only:

Received by: [Signature] Date: 8/20/13



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
 P.O. Box 229045  
 Hollywood, FL 33022-9045  
 Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: 8/8/13  
 Permit Number: B13-102625  
 E-Mail Address: \_\_\_\_\_  
 Project/Reference: \_\_\_\_\_

For Review By: (check  all applicable spaces)

Planning     Zoning     Engineering     Fire     Water/Sewer     Drainage

Discipline:  Structural     Electrical     Plumbing     Mechanical     Reserve Capacity Charges

From: Eli ezer shuber

Address: 3679 NE 201st  
Adventure FL 33180

E-Mail Address: ESHUBER@GMAIL.COM

Contact: Eli Shuber

Phone: (954) 326-9444 Fax: (805) 454-9893

PLANS SUBMITTED: (check )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
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<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

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                                    fire protection

spot survey

final survey

energy (insulation) certification

special inspector letter

soil report

inspection reports

energy calcs

site plans

other APP only

Special Instructions:

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For Departmental Use Only:

Received by: [Signature] Date: 8.9.13



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal B13-102625

To: City of Hollywood  
 P.O. Box 229045  
 Hollywood, FL 33022-9045  
 Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: 8/6/2013  
 Permit Number: 2013 CU-0250  
 E-Mail Address: ESHUBER@GMAIL.COM  
 Project/Reference: \_\_\_\_\_

For Review By: (check  all applicable spaces)

Planning     Zoning     Engineering     Fire     Water/Sewer     Drainage

Discipline:  Structural     Electrical     Plumbing     Mechanical     Reserve Capacity Charges

From: LEONOR SHUBER ZELCE

Address: 3679 NE 201 ST  
AVENUE, FL 33180

E-Mail Address: ESHUBER@GMAIL.COM

Contact: Eli Shuber

Phone: (305) 433-8276 Fax: (305) 454-9893

PLANS SUBMITTED: (check )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

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E-mail

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site plans

other \_\_\_\_\_

Special Instructions:

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For Departmental Use Only:

Received by: TP Date: 8/6/13



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
 P.O. Box 229045  
 Hollywood, FL 33022-9045  
 Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: 6/12/13  
 Permit Number: B13-102625  
 E-Mail Address: \_\_\_\_\_  
 Project/Reference: \_\_\_\_\_

For Review By: (check  all applicable spaces)

Planning     Zoning     Engineering     Fire     Water/Sewer     Drainage

Discipline:  Structural     Electrical     Plumbing     Mechanical     Reserve Capacity Charges

From: DANIEL SERRANO  
IMPRECOCORP

Address: 20200 W COUNTRY CLUB DR  
# 109, Aventura, FL 33180

E-Mail Address: daniel.serrano1958@gmail.com

Contact: DANIEL SERRANO

Phone: (786) 2622305 Fax: ( ) \_\_\_\_\_

PLANS SUBMITTED: (check )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

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other \_\_\_\_\_

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For Departmental Use Only:

Received by: TP Date: 6/12/13



**CITY OF HOLLYWOOD, FLORIDA**  
**BUILDING PERMIT APPLICATION**  
**WWW.HOLLYWOODFL.ORG**

MASTER PERMIT # B13-102625

SUB PERMIT # \_\_\_\_\_

Permit Type (Check one):  STRUC,  FIRE,  ELEC,  MECH,  PLUMB,  PAVING,  WTR/SWR,  DRAINAGE

APPLICATION DATE 10/15/13

TAX FOLIO No. \_\_\_\_\_

LEGAL DESCRIPTION: BAR

JOB NAME AOA PROPERTIES PHONE # \_\_\_\_\_

JOB ADDRESS 1995 HOLLYWOOD BLVD HOLLYWOOD, BROWARD COUNTY, FL. ZIP \_\_\_\_\_

OWNER NAME \_\_\_\_\_ Email Address \_\_\_\_\_

Owners Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

WORK DESCRIPTION INSTALL A CONDENSATE FLOAT SAFETY SWITCH

USE/OCCUPANCY \_\_\_\_\_ SQ. FT. \_\_\_\_\_ Value of Proposed Work: \$ 125.00

CONTRACTOR'S COMPANY NAME MAZZELLA MECHANICAL INC PHONE # 561-239-4109

CONTRACTOR'S BUSINESS ADDRESS 18095 CLEAR BROOK CIR CITY BOCA RATON STATE FL ZIP 33498

CONTRACTOR'S E-MAIL ADDRESS MAZZELLA.MECHANICAL@YAHOO.COM FAX# \_\_\_\_\_

BROWARD COUNTY CERTIFICATE OF COMPETENCY \_\_\_\_\_ STATE REGISTRATION # \_\_\_\_\_

STATE CERTIFICATION # CMC 1249709 QUALIFIERS NAME \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME \_\_\_\_\_ PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME \_\_\_\_\_

Fee Simple Title Holder Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature Ralph Mazzella Date: 10/15/2013

Signature \_\_\_\_\_ Date: \_\_\_\_\_

IF COST EXCEEDS \$2,500 OWNER'S SIGNATURE IS REQUIRED.

Print Owner / Agent Name RALPH MAZZELLA

Print Contractor / Owner Name \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me this 15<sup>th</sup> day of

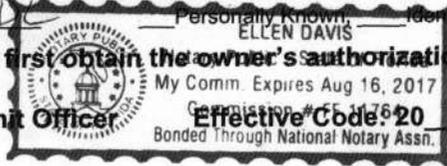
Sworn to (or affirmed) and subscribed before me this \_\_\_\_\_ day of

Oct, 2013. Signature Ellen Davis

\_\_\_\_\_, 20\_\_\_\_. Signature \_\_\_\_\_

Personally Known,  Identification Provided FL/D

Personally Known, \_\_\_\_\_ Identification Provided \_\_\_\_\_



**\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.**

Application Approved by: SD  
 Date 10/15/13

Permit Officer \_\_\_\_\_  
 Florida Building Code

M/3-10/280



CITY OF HOLLYWOOD, FLORIDA
PERMIT APPLICATION

MASTER PERMIT # 813-102628
SUB PERMIT #

Permit Type (Check one): STRUC, FIRE, ELEC, MECH, PLUMB, PAVING, WTR/SWR, DRAINAGE

APPLICATION DATE 8/8/2013 TAX FOLIO No.

LEGAL DESCRIPTION:

JOB NAME POA properties PHONE # 305-933-8276

JOB ADDRESS 1935 Hollywood Blvd, Hollywood HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33020

OWNER NAME LEONOR SHUBER ZELCER Email Address

Owners Address 3679 NE 201 st. City Aventura State FL Zip 33120

WORK DESCRIPTION Electrical demolition

USE/OCCUPANCY Mercantile/Retail SQ. Ft. 2500 Value of Proposed Work: \$ 400,000

CONTRACTOR'S COMPANY NAME NEC Electrical Contractor PHONE # 305 926 3077

CONTRACTOR'S BUSINESS ADDRESS 11720 SW 1PS st CITY MIAMI STATE FL ZIP 33177

CONTRACTOR'S E-MAIL ADDRESS ALTERNATE PHONE # 305 397 8907

QUALIFIER'S NAME MAURICI GARCIA STATE CERTIFICATE

BROWARD COUNTY CERTIFICATE OF COMPETENCY CC#10-CHE-17111-R STATE REGISTRATION #

STATE CERTIFICATION # CC#10-CHE-17111-R PHONE # FAX# 305 397 8907

ARCHITECT/ENGINEER'S NAME PHONE # FAX #

ARCHITECT/ENGINEER'S ADDRESS CITY STATE ZIP

FEE SIMPLE TITLE HOLDER NAME

Fee Simple Title Holder Address CITY STATE Zip

BONDING COMPANY NAME

Bonding Company Address CITY STATE Zip

MORTGAGE LENDER'S NAME

Mortgage Lender's Address CITY STATE Zip

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature [Signature] Date: 8/8/2013

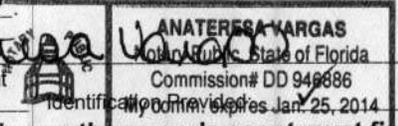
Print Owner / Agent Name LEONOR SHUBER ZELCER

Sworn to (or affirmed) and subscribed before me this 8 day of

August 2013

Signature [Signature]

NOTARY as to Owner/Agent Personally Known



Signature [Signature] Date:

Prime Contractor / Print Name MAURICI GARCIA

Sworn to (or affirmed) and subscribed before me this 6 day of

August 2013

Signature [Signature]

NOTARY as to Contractor Personally Known



\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf

Application Approved by: [Signature] Permit Officer

Date 8/9/13

Effective Code: 20 Florida Building Code 972316



CITY OF HOLLYWOOD, FLORIDA
PERMIT APPLICATION

MASTER PERMIT # B13-102625
SUB PERMIT # P13-100904

Permit Type (Check one): STRUC, FIRE, ELEC, MECH, PLUMB, PAVING, WTR/SWR, DRAINAGE

APPLICATION DATE TAX FOLIO No.

LEGAL DESCRIPTION:

JOB NAME AOA PROPERTIES PHONE #

JOB ADDRESS 1935 Hollywood Blvd HOLLYWOOD, BROWARD COUNTY, FL ZIP 33009

OWNER NAME LEONOR SHUBER ZEICER Email Address eshuber@gmail.com

Owners Address 3679 NE 201st City Aventura State FL Zip 33180

WORK DESCRIPTION CAP OFF SINK

USE/OCCUPANCY COMMERCIAL/RETAIL SQ. FT. 2500 Value of Proposed Work: \$ 600

CONTRACTOR'S COMPANY NAME FABIO GENERAL CONTRACTORS, INC PHONE # 786.970.5147

CONTRACTOR'S BUSINESS ADDRESS 1945 S Ocean Dr, # 501 CITY Hialeah STATE FL ZIP 33009

CONTRACTOR'S E-MAIL ADDRESS Fabioraflo@yahoo.com ALTERNATE PHONE #

QUALIFIER'S NAME FABIO RAMIREZ STATE CERTIFICATE OFC 1428463

BROWARD COUNTY CERTIFICATE OF COMPETENCY STATE REGISTRATION #

STATE CERTIFICATION # PHONE # FAX#

ARCHITECT/ENGINEER'S NAME PHONE # FAX#

ARCHITECT/ENGINEER'S ADDRESS CITY STATE ZIP

FEE SIMPLE TITLE HOLDER NAME

Fee Simple Title Holder Address CITY STATE Zip

BONDING COMPANY NAME

Bonding Company Address CITY STATE Zip

MORTGAGE LENDER'S NAME

Mortgage Lender's Address CITY STATE Zip

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature Date Signature Date

Print Owner / Agent Name Leonor Shuber Zeicer Print Contractor / Print Name FABIO RAMIREZ

Sworn to (or affirmed) and subscribed before me this August 20 13 day of August 2013

Signature Margie Blasberg Signature ODALYS ACOSTA

NOTARY as to Owner/Agent Personally Known Identification Provided: Inceance NOTARY as to Contractor Personally Known I.D. Provided:

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: Permit Officer Effective Code: 20 Florida Building Code

Date



CITY OF HOLLYWOOD, FLORIDA
PERMIT APPLICATION

MASTER PERMIT #
SUB PERMIT #

B19-102625

Permit Type (Check one): STRUC, FIRE, ELEC, MECH, PLUMB, PAVING, WTR/SWR, DRAINAGE

APPLICATION DATE 8-26-13 TAX FOLIO No. 5142 15 01 4330

LEGAL DESCRIPTION: HOLLYWOOD 1-21B, LOT 7, BLOCK 24

JOB NAME 1935 HOLLYWOOD BLVD. FACADE & RAMP PHONE # (954) 920-5746

JOB ADDRESS 1935 HOLLYWOOD BLVD. HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33020

OWNER NAME AOA PROPERTIES LC Email Address ESHUBER@GMAIL.COM

Owners Address 3679 N.E. 201 ST. City AVENTURA State FL. Zip 33180

WORK DESCRIPTION STOREFRONT LEGALIZATION & RAMP MODIFICATION.

USE/OCCUPANCY COMMERCIAL/RETAIL SQ. FT. 2,500 Value of Proposed Work: \$ 15,000.00

CONTRACTOR'S COMPANY NAME Pines Total Construction PHONE # 954-445-6302

CONTRACTOR'S BUSINESS ADDRESS 11801 NW 23 ST. CITY P. PINES STATE FL ZIP 33026

CONTRACTOR'S E-MAIL ADDRESS pine3gc@bellsouth.net ALTERNATE PHONE #

QUALIFIER'S NAME MARK WALLACE STATE CERTIFICATE

BROWARD COUNTY CERTIFICATE OF COMPETENCY STATE REGISTRATION #

STATE CERTIFICATION # CGC 1512518 PHONE # 954-445-6302 FAX #

ARCHITECT/ENGINEER'S NAME JOSEPH B. KALLER PHONE # (954) 920-5746 FAX # (954) 926-2841

ARCHITECT/ENGINEER'S ADDRESS 2417 HOLLYWOOD BLVD. CITY HOLLYWOOD STATE FL. ZIP 33020

FEE SIMPLE TITLE HOLDER NAME

Fee Simple Title Holder Address CITY STATE Zip

BONDING COMPANY NAME

Bonding Company Address CITY STATE Zip

MORTGAGE LENDER'S NAME

Mortgage Lender's Address CITY STATE Zip

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature Date: 08/26/2013 Signature Wallace Date: 8/27/2013

Print Owner / Agent Name Lewon Stuber Colcer Prime Contractor / Print Name MARK WALLACE

Sworn to (or affirmed) and subscribed before me this August 27 day of August, 2013.

Signature NOTARY as to Owner/Agent Personally Known, Identification Provided: Signature Barbara B. Braske NOTARY as to Contractor Personally Known, I.D. Provided: DL

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: Permit Officer Effective Code: 20 Florida Building Code

Date 8/27/13

**FROMBERG, PERLOW & KORNIC, P.A.**

Attorneys at Law  
20295 Northeast 29<sup>th</sup> Place, Suite 200  
Aventura, Florida 33180

**Jeffrey M. Perlow, Esq.**  
jperlow@fpk-law.com

Telephone: (305) 933-2000  
Telefax: (305) 936-0101

October 21, 2013

Philip Sauer  
Structural Inspector  
Planning and Development Services  
City of Hollywood, Florida  
2600 Hollywood Boulevard  
P.O. Box 229045  
Hollywood, Florida 33022-9045

Re: Respondent: Eliezer Shuber / AOA Properties, LLC  
Property: 1935 Hollywood Boulevard, Hollywood, Florida  
Case Number: V12-01638

Dear Mr. Sauer:

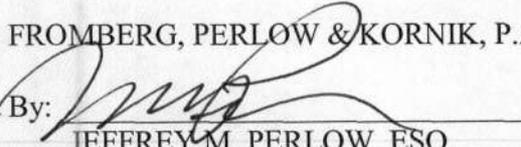
As you may recall, the undersigned represents Mr. Eliezer Shuber, principal of the owner of the above Property, in connection with the Case set forth above. As I am sure you also are aware, my client has been working diligently to comply with the Stipulated Agreement and Final Order or Stipulated Agreement which requires him to make certain corrections of violations existing at or on the Property. I have attached hereto a copy of the Stipulated Agreement and the Final Order or Stipulated Agreement (collectively, the "Stipulated Order"), as well as the Building Permit issued in connection therewith. Please note that currently, the Stipulated Order requires a compliance date of November 21, 2013. As stated, my client is working diligently to bring the Property into compliance, however, does not anticipate that he will be able to fully complete the task within the stated time period.

Consequently, on behalf of my client, I am respectfully asking that an extension be granted extending the compliance date for an additional ninety (90) days from the current compliance date. We fully expect to be fully complete the required work and have the Property in full compliance on or before such extended compliance date.

Please feel free to contact me at the above number if I can provide further information or be of any assistance. Thank you very much.

Very truly yours,

FROMBERG, PERLOW & KORNIC, P.A.

By: 

JEFFREY M. PERLOW, ESQ.

JMP/gn  
cc: Client  
Enc.

# CITY of HOLLYWOOD, FLORIDA

POLICE DEPARTMENT • 3250 HOLLYWOOD BLVD. • HOLLYWOOD, FLORIDA 33021-6967

*"A Leading Force In Professional Law Enforcement"*

Accredited by the Commission for Florida Law Enforcement Accreditation

Case Number: V12-01638  
City of Hollywood  
P.O. Box 229045  
Hollywood, FL 33022-9045

## FINAL ORDER OR STIPULATED FINAL ORDER

Property Owner: AOA PROPERTIES L C  
3679 NE 201 ST  
AVENTURA, FL 33180

Property Address: 1935 HOLLYWOOD BLVD  
HOLLYWOOD, FL 33020

Legal Description: HOLLYWOOD 1-21 B LOT 7 BLK 24

THIS CAUSE came before the Special Magistrate on May 16, 2013. The evidence or stipulated agreement between the parties led to the following findings of fact:

That AOA PROPERTIES L C, is/are the owner(s) of the above-described real property and did violate City of Hollywood Code Section(s) 151.130(A)(1) by FAILURE TO OBTAIN PERMITS AND PASS ALL REQUIRED INSPECTIONS FOR STRUCTURAL, ELECTRICAL AND PLUMBING FOR THE INTERIOR/EXTERIOR ALTERATIONS INCLUDING THE RELOCATION OF THE ENTIRE STOREFRONT.

Based upon the foregoing findings of fact, the Special Magistrate concludes that a violation of the City of Hollywood Code of Ordinances Section(s) 151.130(A)(1) exists.

IT IS HEREBY ORDERED AS FOLLOWS: That property owner(s) is/are hereby ordered to cure the above-described violation or remove same or a fine will be imposed in the amount of \$250.00 per day for every day after 11/22/2013 that the violation continues to exist. Additionally, in accordance with Section 162.09(2)(d), Fla. Statutes, and Chapter 36.29 (A)(1) of the Hollywood Code of Ordinance, additional fines in the amount of \$0.00 are hereby assessed to cover costs incurred by the City in enforcing its Code(s). Payment is due immediately, to City of Hollywood, P.O. Box 229045 Room 103, Hollywood, FL 33020.

If the owner fails to comply, a Lien Imposition Hearing will be scheduled and a Lien will be imposed on your property. Repeat violations can be fined up to \$5,000.00 per day, (SEC 162.09, Fl. Stat.). Property owner(s) has/have 30 days from the date this Final Order is executed to file an appeal in circuit court, (sec. 162.11, Fl. Stat.). The property owner must contact Code Enforcement at (954) 921-3061 to advise when compliance has been reached.

DONE AND ORDERED this Thursday, May 16, 2013.

Attest:   
Special Magistrate Clerk

  
JUDITH E. SECHER  
Special Magistrate, City of Hollywood

### CERTIFICATION

### CERTIFICATION

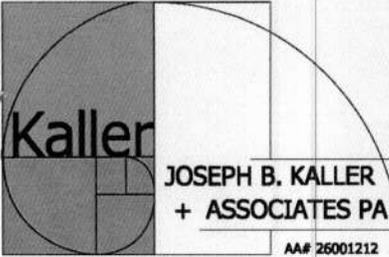
I certify that a copy of this notice was sent via regular mail on 22 day of May 20 13. WITNESSETH my hand of the City of Hollywood, Florida.



Our Mission: We are dedicated to providing municipal services for our diverse community in an atmosphere of cooperation, courtesy and respect. We do this by ensuring all who live, work and play in the City of Hollywood enjoy a high quality of life.

"An Equal Opportunity and Service Provider Agency"





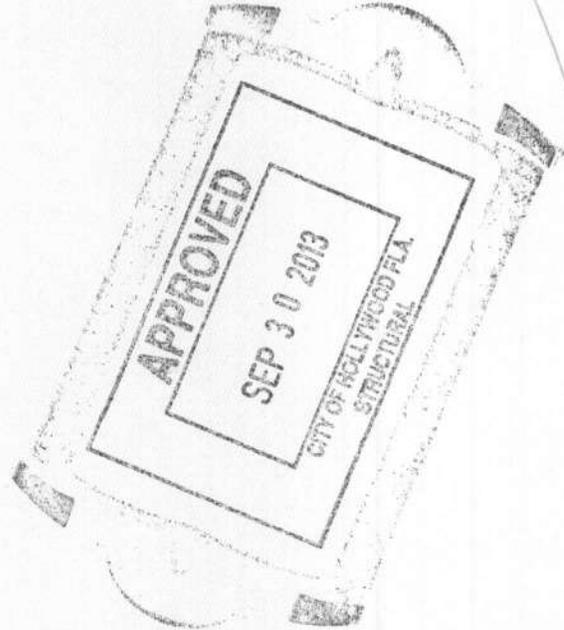
architecture - interiors - planning

September 26, 2013

City of Hollywood  
Building Department  
2600 Hollywood Boulevard  
Hollywood, Florida 33020

Attention: Mr. Phil Sauer

Reference: 1935 Hollywood Boulevard  
Permit #B13-102625



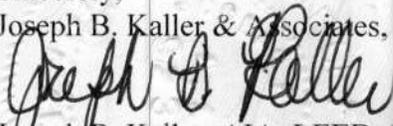
Dear Mr. Sauer:

As per our conversation yesterday, please be advised that the interior handicap bathrooms and other interior work which were completed by the tenant at the address referenced above will be included as part of the Scope of Work under this Permit. As per our discussions after this letter is received at the Building Department, the Structural Division will approve the submitted Plans.

Should you have any questions concerning this matter please feel free to contact me at my office at 954-920-5746,

Thank you for your assistance in this matter.

Sincerely,  
Joseph B. Kaller & Associates, P.A.



Joseph B. Kaller, AIA, LEED AP BD+C  
President

Philip Sauer, Structural Inspector  
City of Hollywood, Florida  
Planning and Development Services  
2600 Hollywood Blvd  
PO Box 229045  
Hollywood Fl 33022-9045

September 3, 2013

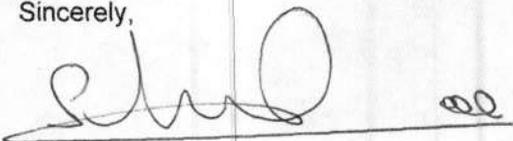
Dear Mr. Sauer:

I hope you had a pleasant Labor Day Holiday. As you know, we have submitted and obtained approval for all the plans for 1935 Hollywood Blvd, Hollywood Fl 33020. The only pending approval is the building-structural-plan review.

We submitted the plans designed by Mr. Kaller for Master Permit # B13-102625.

We want to begin to review the plans this week so we can speed the process along as quickly as possible to comply with the time requirement. Please advise as to how we can get started as soon as possible this week.

Sincerely,

A handwritten signature in black ink, appearing to read 'Eliezer Shuber and Leonor Zelcer', written over a horizontal line. The signature is stylized and includes a small flourish to the right.

Eliezer Shuber and Leonor Zelcer  
1935 Hollywood Blvd, Hollywood Fl 33020  
C: 954-326-9444  
E: [eshuber@gmail.com](mailto:eshuber@gmail.com)



Environmental Protection and Growth Management Department  
PLANNING AND REDEVELOPMENT DIVISION

1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

4B13-102625

# Broward County Environmental Review Approval Certificate

**Issue Date:** 6/11/2013

**ER Review #:** 000370689

**Title of Drawings:** A1 - FLOOR PLAN

**Project#:** N/A

**Plan Last Revision Date:** 05/05/2013

**Bldg Dept Jurisdiction:** Hollywood

**Legal Description:** Plat Name: Hollywood Lot: 7 Block: 24

**Address:** 1935 Hollywood Blvd, Hollywood, Fl. 33020

**Construction Type:** Interior Renovation

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval, any changes in footprint, Lot #, or bedrooms or use will require a new approval.

## APPROVED

- NO DEWATERING PERMITTED - CONTAMINATION** In accordance with Section 37-353 of the Broward County Natural Resource Protection Code, dewatering operations shall not be conducted without approval from the Broward County Pollution Prevention, Remediation & Air Quality Division.
- WARNING** NOTIFICATION TO THE PLANNING AND ENVIRONMENTAL REGULATION DIVISION IS REQUIRED WITHIN TEN (10) WORKING DAYS AFTER ISSUANCE OF A BUILDING PERMIT, A CERTIFICATE OF OCCUPANCY, A TEMPORARY CERTIFICATE OF OCCUPANCY, CERTIFICATE OF COMPLETION, FINAL INSPECTION OR ANY OTHER ACTION THAT ALLOWS OCCUPANCY OF THE BUILDING OR FACILITY. THE BUILDING DEPARTMENT IS REQUIRED TO ELECTRONICALLY UPDATE BUILDING PERMIT AND CO DATA ONLINE AT [HTTPS://DMDWEB.BROWARD.ORG/DMDWEB/LOGIN.ASPX](https://DMDWEB.BROWARD.ORG/DMDWEB/LOGIN.ASPX)
- COMMENTS** SPEC SPACE & STORE FRONT REPLACEMENT
- STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS REQUIRED**  
A Statement of Responsibility Regarding Asbestos is required and an asbestos survey may be required. Please go to [www.broward.org/ePermits](http://www.broward.org/ePermits) and select "Asbestos- Statement of Responsibility" under "Permits A to Z". Failure to comply with the asbestos regulation requirements may subject the owner or operator to substantial penalties. NOTE: This is a required Notification and not a Permit.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Environmental Regulation Division for re-evaluation.

**Environmental Reviewer Name:** Rich Mathieu

B13-102625



Environmental Protection and Growth Management Department  
PLANNING AND REDEVELOPMENT DIVISION  
1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

### Broward County Transportation Concurrency Satisfaction Certificate

\* Please note that this approval does not constitute Environmental Review Approval. You will still need the Environmental Approval Certificate to submit to the Building Department.

**Issue Date:** 08/27/2013

**DR Review #:** 0023925

**Application Number:** 000373825

**Title of Drawings:** ADA Ramp Upgrade to Retail Bldg

**Project#:** 13080

**Plan Last Revision Date:** 08/01/13

**Bldg Dept Jurisdiction:** Hollywood

**Legal Description:** Plat Name: Hollywood  
Plat Number: Book: 1 Page: 21

**Lot:** 7 **Block:** 24

**Address:** 1935 Hollywood Blvd, Hollywood, Fl. 33020

**Construction Type:** Other

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval. Any changes in footprint, Lot #, or bedrooms or use will require a new approval.

#### ***Development Review***

**BUILDING OFFICIAL:** No Impact/Concurrency Fees Due to Broward County Planning & Environmental Regulation Division  
ADA ramp upgrade & storefront renovations to existing commercial use

**TRANSPORTATION CONCURRENCY SATISFACTION:** Certificate is hereby issued

\*Any revision to these plans requires a new development review by the division.

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If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Environmental Regulation Division for re-evaluation.

**Development Reviewer Name:** Sue Henderson



B13-102625

# Broward County Environmental Review Approval Certificate

**Issue Date:** 8/28/2013

**ER Review #:** 000373825

**Title of Drawings:** ADA Ramp Upgrade to Retail Bldg

**Project#:** 13080

**Plan Last Revision Date:** 08/01/13

**Bldg Dept Jurisdiction:** Hollywood

**Legal Description:** Plat Name: Hollywood Lot: 7 Block: 24

**Address:** 1935 Hollywood Blvd, Hollywood, Fl. 33020

**Construction Type:** Interior Renovation

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval, any changes in footprint, Lot #, or bedrooms or use will require a new approval.

## APPROVED

- NO DEWATERING PERMITTED - CONTAMINATION** In accordance with Section 37-353 of the Broward County Natural Resource Protection Code, dewatering operations shall not be conducted without approval from the Broward County Pollution Prevention, Remediation & Air Quality Division.
- WARNING** NOTIFICATION TO THE PLANNING AND ENVIRONMENTAL REGULATION DIVISION IS REQUIRED WITHIN TEN (10) WORKING DAYS AFTER ISSUANCE OF A BUILDING PERMIT, A CERTIFICATE OF OCCUPANCY, A TEMPORARY CERTIFICATE OF OCCUPANCY, CERTIFICATE OF COMPLETION, FINAL INSPECTION OR ANY OTHER ACTION THAT ALLOWS OCCUPANCY OF THE BUILDING OR FACILITY. THE BUILDING DEPARTMENT IS REQUIRED TO ELECTRONICALLY UPDATE BUILDING PERMIT AND CO DATA ONLINE AT [HTTPS://DMDWEB.BROWARD.ORG/DMDWEB/LOGIN.ASPX](https://dmdweb.broward.org/dmdweb/login.aspx)
- COMMENTS** STOREFRONT RENOVATION AND EXTERIOR KNEE WALL
- STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS REQUIRED**  
A Statement of Responsibility Regarding Asbestos is required and an asbestos survey may be required. Please go to [www.broward.org/ePermits](http://www.broward.org/ePermits) and select "Asbestos- Statement of Responsibility" under "Permits A to Z". Failure to comply with the asbestos regulation requirements may subject the owner or operator to substantial penalties. NOTE: This is a required Notification and not a Permit.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Environmental Regulation Division for re-evaluation.

**Environmental Reviewer Name:** Beckv Dosh



B13-102625

### STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS

IF YOU ARE PLANNING TO DEMOLISH OR RENOVATE ANY EXISTING STRUCTURE, YOU MAY BE SUBJECT TO FEDERAL AND COUNTY RULES RELATING TO THE DEMOLITION AND THE HANDLING OF ASBESTOS CONTAINING MATERIAL. PLEASE FILL OUT THIS FORM TO DETERMINE IF THE ASBESTOS RULES AND A FEE APPLY TO YOU. SEE REVERSE SIDE FOR ADDITIONAL INFORMATION.

**I. PROJECT INFORMATION:**

Facility Owner: AOA Properties LLC Phone: 954-920-5746  
 Mailing Address: 3679 NE 201 st City: Aventura Zip: 33180  
 Project Address: 1935 Hollywood blv. City: Hollywood Zip: 33020  
 Contractor Performing Work: Pines Total Construction Phone: 954-445-6302  
 Email: pinestac@belleair.net Building Department Jurisdiction: Broward/Hollywood  
 Estimated Start Date: (MM/DD/YY) 09/15/2013 Estimated Finish Date: (MM/DD/YY) 9/30/2013

**II. MARK THE APPROPRIATE BOX(ES) IF APPLICABLE:**

1.  Single-family residential home (not for commercial purpose) – If you check this box, skip sections 2 and 3. Review the back of this form and then sign and date this form at the bottom.

**2. FACILITY: (Check One)**

- Commercial, industrial, or public building
- Any residential building with more than four dwelling units
- Two or more residential structures at the same site
- Any residential property being demolished for commercial purposes or by government order
- School/ College/ University
- Unsafe structure
- Emergency

**3. ACTIVITY: (Check all that apply)**

**Renovations:**  Built-up roofing removal (>5580 ft<sup>2</sup>): Removal Method:  Hand Tools  Power Saw  
 Exterior alteration (>160ft<sup>2</sup>):  Stucco/Finishes  Other removing all handrails + handout  
 Interior alteration (>160ft<sup>2</sup>):  Floor covering  Wall Board  Ceiling  Piping  Floor/Wall Mastic  Wall Finishes  
 HVAC  Other \_\_\_\_\_

**Demolition:**  Total  Partial  Column  Tie Beam  Truss(es)  Exterior Wall(s)  Other \_\_\_\_\_

RECEIVED  
 PPRAD  
 AIR QUALITY PROGRAM  
 2013 AUG 27 PM 4:41

**III. IF ANY BOX IS MARKED UNDER BOTH FACILITY AND ACTIVITY, THE FOLLOWING ITEMS ARE REQUIRED:**

- An original **Notice of Demolition or Asbestos Renovation** using DEP form 62-257.900(1)\* or electronic notification\* must be completed and submitted at least ten (10) working-days before start of project, for:
  - all demolitions
  - all renovations involving at least 160 ft<sup>2</sup>, 260 Lft. or 35 ft<sup>3</sup> of regulated asbestos containing material
- An asbestos survey report **must be done in accordance with Broward County Code Chapter 27, Section 180** to indicate the presence or absence of asbestos containing material.
- Payment of the appropriate fee per fee schedule, if applicable.

I have received information regarding the use of a Florida licensed asbestos professional and understand that I may be subject to the ten (10) working-day advanced notification requirement under the Federal Law regarding demolitions and renovations (See reverse side).

Owner/Authorized Agent (print) MARK WALLACE Title: General Contractor  
 Signature [Signature] Date 8/27/2013

\*Notice of Demolition or Asbestos Renovation form and fee schedule are available at: [www.broward.org/epermits](http://www.broward.org/epermits)

For Official Use: An Asbestos Survey  Is Required  Is **Not** Required

WHITE - PPRAD, YELLOW - Building Department, PINK - Applicant

B13-102625

Permit # \_\_\_\_\_ Folio # 514215014330

NOTICE OF COMMENCEMENT

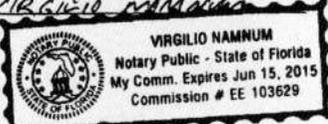
The undersigned hereby gives notice that improvement will be made to certain real property and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

- 1. Legal Description of Property: Lot 7 Block 21 Unit # \_\_\_\_\_ Bldg # \_\_\_\_\_  Lengthy legal attached  
Subdivision / Condominium: \_\_\_\_\_
- Street Address if available: 1935 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020
- 2. General description of Improvement: \_\_\_\_\_
- 3. a. Owner name and address: LEONOR SHUBER ZELZER, 2679 NE 201 ST AVENTURA, FL 33180  
b. Interest in property: 100%  
c. Name and address of fee simple titleholder (if other than Owner): \_\_\_\_\_
- 4. a. Contractor name and address: Pipes Total Construction  
b. Contractor's phone number: 11801 NW 23rd St Pembroke Pines, 33026  
954-445-6302
- 5. a. Surety name and address: \_\_\_\_\_  
b. Surety's phone number: \_\_\_\_\_  
c. Amount of bond: \$ \_\_\_\_\_
- 6. a. Lender name and address: \_\_\_\_\_  
b. Lender's phone number: \_\_\_\_\_
- 7. a. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes:  
Name: self  
Address: \_\_\_\_\_  
b. Phone number: \_\_\_\_\_
- 8. a. In addition to himself or herself, the Owner designates \_\_\_\_\_ to receive a copy of Lienor's Notice per Section 713.13(1)(b), Florida  
b. Phone number of person or entity designated by owner: \_\_\_\_\_
- 9. Expiration date of notice of commencement: \_\_\_\_\_  
(the expiration date is 1 year from the date of recording unless a different date is specified)

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature(s) of Owner(s) or Owner(s)' Authorized Officer/Director/Partner/Manager  
By \_\_\_\_\_ By N/A  
Print Name LEONOR SHUBER ZELZER Print Name \_\_\_\_\_  
Title/Office PRESIDENT Title/Office \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF BROWARD  
The foregoing instrument was acknowledged before me this 27th day of October, 2013  
By LEONOR SHUBER  
 Individually, or  as \_\_\_\_\_ for \_\_\_\_\_  
 Personally known, or  produced the following type of identification: ID# 5162520526430

Signature of Notary Public: \_\_\_\_\_  
Print Name: VIRGILIO NAMNUM  
(SEAL)  


VERIFICATION PURSUANT TO SECTION 92.826, FLORIDA STATUTES  
Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true, to the best of my knowledge and belief.

Signature(s) of Owner(s) or Owner(s)' Authorized Officer/Director/Partner/Manager who signed above:  
By \_\_\_\_\_ By \_\_\_\_\_



I hereby certify this document to be a true, correct and complete copy of the record filed in my office. Dated this 27th day of October, 2013  
County Administrator.  
By Cheryl Deane  
Deputy Clerk

# ELEVATION CERTIFICATE

IMPORTANT: Follow the instructions on pages 1-9.

OMB No. 1660-0008  
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
A1. Building Owner's Name <b>ELI SHUBER</b>		Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>1935 HOLLYWOOD BOULEVARD</b>		Company NAIC Number:
City <b>HOLLYWOOD</b>	State <b>FL</b>	ZIP Code <b>33020</b>
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>LOT 7, BLOCK 2 OF "HOLLYWOOD", P.B. 1, PG. 21, B.C.R.</b>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <b>RESIDENTIAL</b>		
A5. Latitude/Longitude: Lat. <b>26.0116</b> Long. <b>-80.1464</b> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <b>1B</b>		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) <b>0</b> sq ft		a) Square footage of attached garage <b>306</b> sq ft
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <b>0</b>		b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <b>0</b>
c) Total net area of flood openings in A8.b <b>0</b> sq in		c) Total net area of flood openings in A9.b <b>0</b> sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number <b>HOLLYWOOD 125113</b>			B2. County Name <b>BROWARD</b>		B3. State <b>FL</b>
B4. Map/Panel Number <b>12011C 0317</b>	B5. Suffix <b>G</b>	B6. FIRM Index Date <b>10/02/1997</b>	B7. FIRM Panel Effective/ Revised Date <b>07/21/1995</b>	B8. Flood Zone(s) <b>X</b>	B9. Base Flood Elevation(s) (Zone A0, use base flood depth) <b>N/A</b>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ / _____ / _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: <b>CITY BM</b> Vertical Datum: <b>NGVD 1929</b>	
Indicate elevation datum used for the elevations in items a) through h) below. <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____ Datum used for building elevations must be the same as that used for the BFE.	
Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>9 . 8</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<u>11 . 0</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u> <input type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>10 . 7</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>N/A</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>9 . 1</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>10 . 5</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u> <input type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.			
<input checked="" type="checkbox"/> Check here if comments are provided on back of form.		Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<input checked="" type="checkbox"/> Check here if attachments.			
Certifier's Name <b>RICHARD E COUSINS</b>		License Number <b>4188</b>	
Title <b>LAND SURVEYOR &amp; MAPPER</b>		Company Name <b>COUSINS SURVEYORS &amp; ASSOCIATES, INC</b>	
Address <b>3921 SW 47TH AVENUE, SUITE 1011</b>		City <b>DAVIE</b>	State <b>FL</b>
Signature <i>Richard E. Cousins</i>		Date <b>05/20/2013</b>	ZIP Code <b>33314</b>
		Telephone <b>(954) 689-7766</b>	

*Richard E. Cousins*

**PSM 4188**

**5/20/13**



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal 1071

To: City of Hollywood  
 P.O. Box 229045  
 Hollywood, FL 33022-9045  
 Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: 9/26/2013  
 Permit Number: B13-102625  
 E-Mail Address: \_\_\_\_\_  
 Project/Reference: \_\_\_\_\_

For Review By: (check  all applicable spaces)

Planning     Zoning     Engineering     Fire     Water/Sewer     Drainage

Discipline:  Structural     Electrical     Plumbing     Mechanical     Reserve Capacity Charges

MR. Philip Sauer

From: MR Joseph Koller

Address: \_\_\_\_\_

E-Mail Address: \_\_\_\_\_

Contact: Joseph Koller

Phone: (954) 920-5746 Fax: ( ) \_\_\_\_\_

PLANS SUBMITTED: (check )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

WE ARE SUBMITTING TO YOU (check )

Via  hand delivery     Postal delivery  
 special delivery     fax copy

E-mail

initial (original) sets of plans

corrected (non-permitted) plans

revised (permitted) plans

shop drawings:     structural steel  
                                    wood trusses  
                                    glass/glazing  
                                    product approvals  
                                    fire protection

spot survey

final survey

energy (insulation) certification

special inspector letter

soil report

inspection reports

energy calcs

site plans

other letter

Special Instructions:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

For Departmental Use Only:

Received by: [Signature] Date: 9/26/13



**CITY OF HOLLYWOOD, FLORIDA  
BUILDING PERMIT APPLICATION  
WWW.HOLLYWOODFL.ORG**

MASTER PERMIT # B13-102625  
SUB PERMIT # \_\_\_\_\_

Permit Type (Check one):  STRUC,  FIRE,  ELEC,  MECH,  PLUMB,  PAVING,  WTR/SWR,  DRAINAGE  
APPLICATION DATE 10/23/2013 TAX FOLIO No. 5142 1501 4330

LEGAL DESCRIPTION: \_\_\_\_\_

JOB NAME 1935 Hollywood PHONE # \_\_\_\_\_

JOB ADDRESS 1935 Hollywood blv HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33020

OWNER NAME AOA PROPERTIES Email Address \_\_\_\_\_

Owners Address 3679 NE 201 TR City Aventura State FL Zip 33180

WORK DESCRIPTION code violation

USE/OCCUPANCY MERCANTILE SQ. FT. \_\_\_\_\_ Value of Proposed Work: \$ 500

CONTRACTOR'S COMPANY NAME Doug Hedden Elec PHONE # 954-435-7177

CONTRACTOR'S BUSINESS ADDRESS 5722 S Flamingo rd CITY Cooper STATE FL ZIP 33330

CONTRACTOR'S E-MAIL ADDRESS dhedden @ msn.com FAX# \_\_\_\_\_

BROWARD COUNTY CERTIFICATE OF COMPETENCY \_\_\_\_\_ STATE REGISTRATION # \_\_\_\_\_

STATE CERTIFICATION # EC13003266 QUALIFIERS NAME Douglas Hedden

ARCHITECT/ENGINEER'S NAME \_\_\_\_\_ PHONE # \_\_\_\_\_ FAX# \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME \_\_\_\_\_

Fee Simple Title Holder Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature \_\_\_\_\_ Date: \_\_\_\_\_

IF COST EXCEEDS \$2,500 OWNER'S SIGNATURE IS REQUIRED.

Print Owner / Agent Name \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature \_\_\_\_\_

Personally Known, \_\_\_\_\_ Identification Provided \_\_\_\_\_

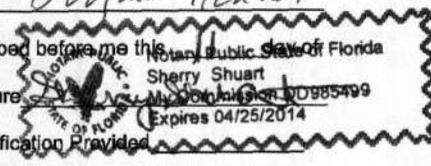
Signature [Signature] Date: 10-11-13

Print Contractor / Owner Name Douglas Hedden

Sworn to (or affirmed) and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature [Signature] \_\_\_\_\_

Personally Known, \_\_\_\_\_ Identification Provided \_\_\_\_\_



**\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.**

Application Approved by: \_\_\_\_\_ Permit Officer Effective Code: 20\_\_ Florida Building Code  
Date \_\_\_\_\_

E13-101767



CITY OF HOLLYWOOD, FLORIDA
PERMIT APPLICATION

MASTER PERMIT # B13-102625
SUB PERMIT #

Permit Type (Check one): STRUC, FIRE, ELEC, MECH, PLUMB, PAVING, WTR/SWR, DRAINAGE
APPLICATION DATE TAX FOLIO No. 5142 1501 4330

LEGAL DESCRIPTION: Hollywood 1-21 B LOT 7 BLK 24

JOB NAME PHONE #

JOB ADDRESS 1935 Hollywood Blvd HOLLYWOOD, BROWARD COUNTY, FL. ZIP

OWNER NAME AOA PROPERTIES Email Address

Owners Address 3671 NE 201 ST City Aventura State FL Zip 33180

WORK DESCRIPTION New STORE FRONT, electrical and new Triple sink and mop sink

USE/OCCUPANCY Commercial Sq. Ft. 3190 Value of Proposed Work: \$ 10,500\$

CONTRACTOR'S COMPANY NAME IMPRECO CORP PHONE # 786 262 2305

CONTRACTOR'S BUSINESS ADDRESS 20200 W Country Club Dr CITY Aventura STATE FL ZIP 33180

CONTRACTOR'S E-MAIL ADDRESS danielserrano1958@gmail.com ALTERNATE PHONE #

QUALIFIER'S NAME Daniel Serrano STATE CERTIFICATE CCC 1516768

BROWARD COUNTY CERTIFICATE OF COMPETENCY STATE REGISTRATION #

STATE CERTIFICATION # PHONE # FAX#

ARCHITECT/ENGINEER'S NAME PHONE # FAX#

ARCHITECT/ENGINEER'S ADDRESS CITY STATE ZIP

FEE SIMPLE TITLE HOLDER NAME

Fee Simple Title Holder Address City State Zip

BONDING COMPANY NAME

Bonding Company Address City State Zip

MORTGAGE LENDER'S NAME

Mortgage Lender's Address City State Zip

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature Date:

Print Owner / Agent Name Zelcer Leonars

Sworn to (or affirmed) and subscribed before me this 1 day of

May 2013

Signature NOTARY as to Owner/Agent Personally Known, Identification Provided:

Signature Date:

Print Contractor / Owner Name Daniel Serrano

Sworn to (or affirmed) and subscribed before me this 1 day of

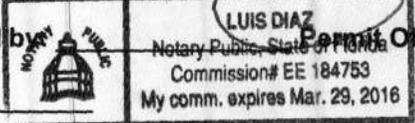
May 2013

Signature NOTARY as to Contractor Personally Known, I.D. Provided:

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by Luis Diaz Permit Officer

Date 1P 6/12/13



Effective Code: 205 Florida Building Code





# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
 P.O. Box 229045  
 Hollywood, FL 33022-9045  
 Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: 9/3/13  
 Permit Number: 813-102625  
 E-Mail Address: \_\_\_\_\_  
 Project/Reference: \_\_\_\_\_

For Review By: (check  all applicable spaces)

Planning     Zoning     Engineering     Fire     Water/Sewer     Drainage

Discipline:  Structural     Electrical     Plumbing     Mechanical     Reserve Capacity Charges

From: Eli Shuber

Address: 1935 Hollywood

E-Mail Address: eshuber@gmail.com

Contact: Eli Shuber

Phone: (954) 326-9444 Fax: ( )

PLANS SUBMITTED: (check )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

WE ARE SUBMITTING TO YOU (check )

Via  hand delivery     Postal delivery  
 special delivery     fax copy

E-mail

initial (original) sets of plans

corrected (non-permitted) plans

revised (permitted) plans

shop drawings:     structural steel  
                                wood trusses  
                                glass/glazing  
                                product approvals  
                                fire protection

spot survey

final survey

energy (insulation) certification

special inspector letter

soil report

inspection reports

energy calcs

site plans

other \_\_\_\_\_

Special Instructions:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

For Departmental Use Only:

Received by: \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

SPECIAL MAGISTRATE  
CITY OF HOLLYWOOD, FLORIDA

CITY OF HOLLYWOOD

CASE NO: U12-01638

Petitioner,

vs.

ADA PROPERTIES, L.C.

Respondent

**STIPULATED AGREEMENT**

The City of Hollywood, Florida and the Respondent, as owner or agent for the owner of the property described below, hereby stipulate to the following matters:

1. That the person(s) signing this stipulation have the authority to enter into the stipulation and bind the respective parties to the terms contained herein and hereby agree.

2. That the violation exists at the Respondent's property located at 1935 HOLLYWOOD BLVD., Hollywood, Florida.

3. That the Respondent is granted until NOV 21, 2013 to correct the following violation(s)

OBTAIN (ISSUED) STRUCTURAL, ELECTRICAL AND PLUMBING PERMITS FOR THE INTERIOR/EXTERIOR ALTERATIONS INCLUDING THE RELOCATION OF THE ENTIRE STOREFRONT

and bring the property into compliance with Code Section(s) HOLLYWOOD CHAPTER

157.130(A)(1) AND FLORIDA BUILDING CODE 105-4-1, 105-4-4 AND 105-4-5

4. That if the Respondent does not correct the violation(s) by the date specified above, a fine of \$ 250 for each and every day the violation(s) continues past the date will be assessed, and the fine will become a lien on the property and/or upon the personal property of the violator.

5. That the Respondent understands that he/she must contact the Department of Building & Engineering Services at 954-921-3335 to advise when compliance has been accomplished.

6. That the following additional conditions and/or exceptions shall apply to Stipulation:

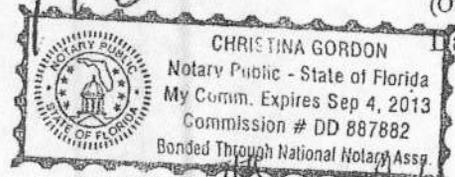
Petitioner  
By: [Signature]

Respondent  
By: [Signature]

Date: 5/9/13

Title: President  
(Owner, Owner's Agent)  
Date: 05/07/2013

State of Florida )  
County of Broward )



Christina Gordon

Sworn to and subscribed before me this 7 day of May, 20 13  
Leonor Zelcer

Personally known \_\_\_\_\_ or produced identification FLDL

B13-102625



Environmental Protection and Growth Management Department  
PLANNING AND ENVIRONMENTAL REGULATION DIVISION  
1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

### Broward County Transportation Concurrency Satisfaction Certificate

\* Please note that this approval does not constitute Environmental Review Approval. You will still need the Environmental Approval Certificate to submit to the Building Department.

**Issue Date:** 05/09/2013

**DR Review #:** 0021645

**Application Number:** 000370689

**Title of Drawings:** A1 - FLOOR PLAN

**Project#:**

**Plan Last Revision Date:** 05/05/2013

**Bldg Dept Jurisdiction:** Hollywood

**Legal Description:** Plat Name: Hollywood  
Plat Number: Book: 1 Page: 21

**Lot: 7 Block: 24**

**Address:** 1935 Hollywood Blvd, Hollywood, Fl. 33020

**Construction Type:** Other

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval. Any changes in footprint, Lot #, or bedrooms or use will require a new approval.

#### ***Development Review***

**BUILDING OFFICIAL:** No Impact/Concurrency Fees Due to Broward County Planning & Environmental Regulation Division  
Exterior renovation of existing commercial.

**TRANSPORTATION CONCURRENCY SATISFACTION:** Certificate is hereby issued

\*Any revision to these plans requires a new development review by the division.

**If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Environmental Regulation Division for re-evaluation.**

**Development Reviewer Name:** Thuy Turner

# Building Photographs

See Instructions for Item A6.

**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

FOR INSURANCE COMPANY USE

1935 HOLLYWOOD BOULEVARD

Policy Number:

City HOLLYWOOD

State FL ZIP Code 33020

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



DATE TAKEN 05/20/13



DATE TAKEN 05/20/13



# AL-FAROOQ CORPORATION

CONSULTING ENGINEERS & PRODUCT DEVELOPMENT

Client: AOA PROPERTIES L.C.

Date: Aug 23, 2013

Project Name: 1935 HOLLYWOOD BLVD.

Engineered By: MG/CE/

Project Number: AFC #13-1103

Project Address: 1935 HOLLYWOOD BLVD.

HOLLYWOOD FL 33020  
City State ZIP

Building Height: 20 FEET.

Roof Slope:  Slope  Flat

### Design Criteria:

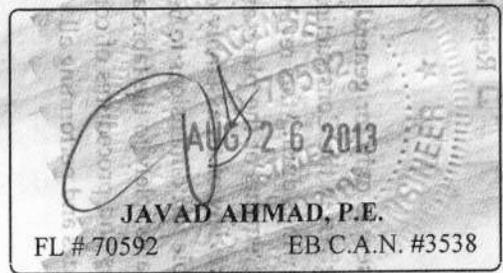
- i, Florida Building Code 2010
- ii, Wind Loads are calculated as per ASCE 7-10.

### Notes:

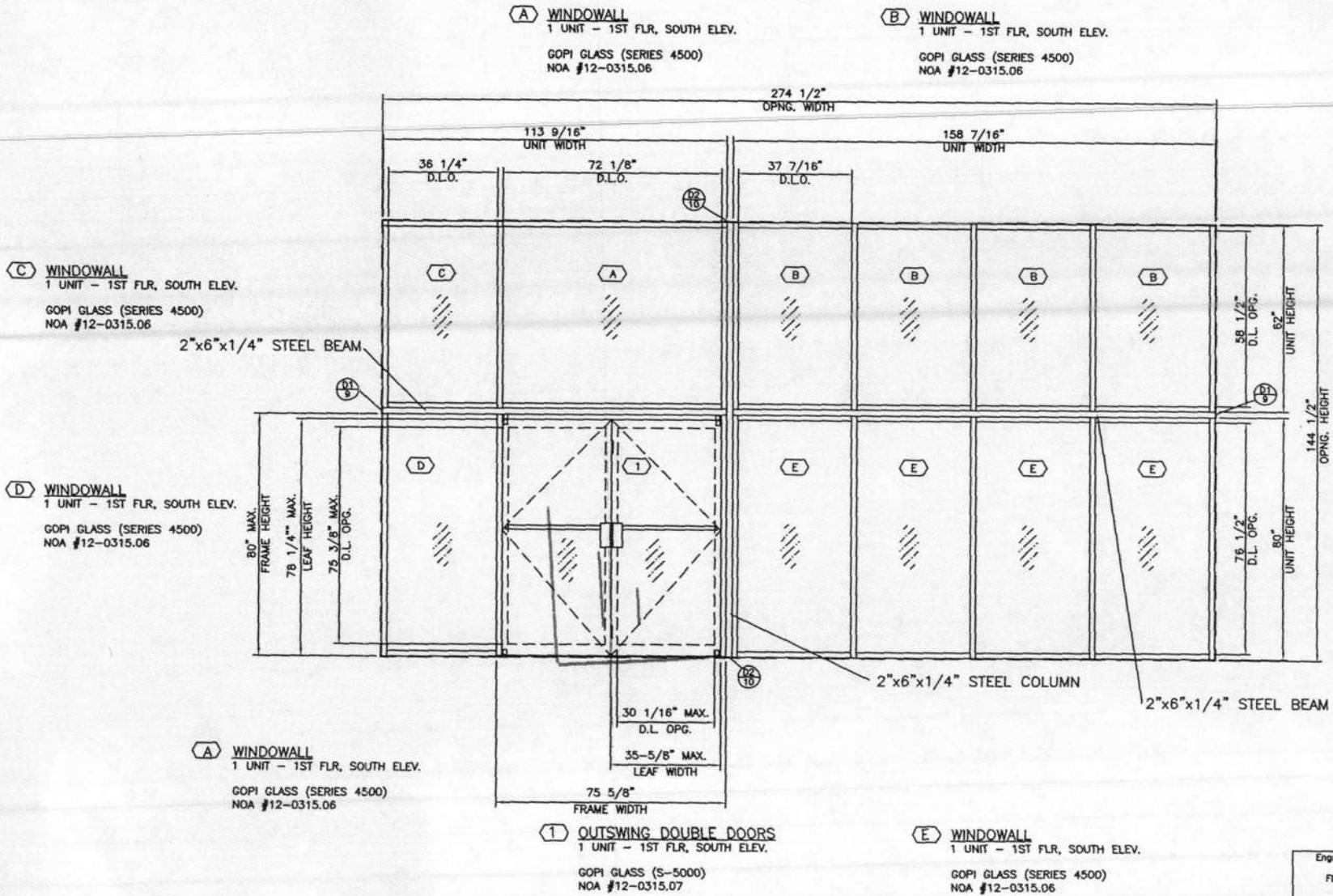
- Any deviations from conditions shown on calculations or drawings shall be engineered separately.
- Al-Farooq Corporation will not provide a letter of compliance/ inspection report unless called during installation.
- Shop drawings are checked for structural requirements only.

### Disclaimer :-

- This document is not valid without the embossed seal of an engineer employed by Al-Farooq Corporation.
- No portion of this document may be used or reproduced in any manner.



# STEEL COLUMN/BEAM DESIGN



**AL-FAROQQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 1235 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100  
 FAX. (305) 262-8978

PROJECT:  
 4500 STOREFRONT & DOOR

CLIENT:  
 AOA PROPERTIES L.C.  
 1935 HOLLYWOOD BLVD.  
 HOLLYWOOD, FL 33020

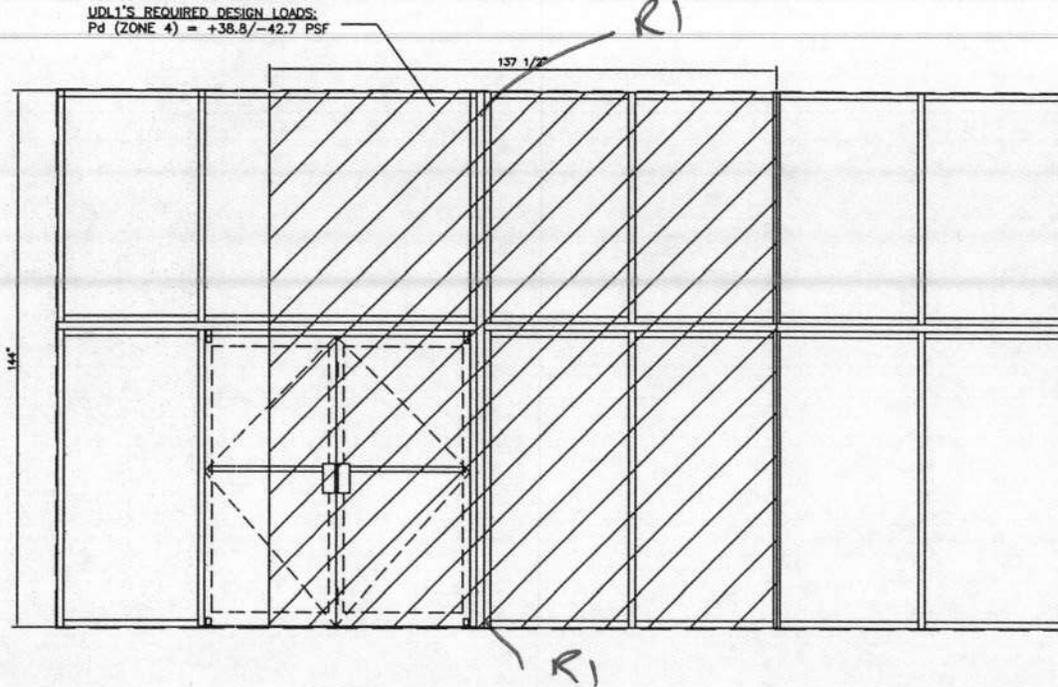
no	date	by	description

Engr: JAWAD AHMAD  
 CIVIL  
 FLA. PE # 70582  
 C.A.N. 3538

date: 8-23-13  
 scale: 3/8"=1'-0"  
 dr. by: m.s.  
 chk. by:

drawing no.  
**AFC13-1103**  
 SHEET 1 of 3

STEEL COLUMN DESIGN



UDL1'S TRIBUTARY AREA:

$$\begin{aligned} \text{TRIB. AREA} &= 137.5 \times 144 / 144 \\ &= 137.5 \text{ FT}^2 \end{aligned}$$

UDL CALCULATION:

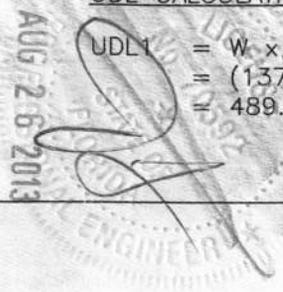
$$\begin{aligned} \text{UDL1} &= W \times Pd \\ &= (137.5/12) \times 42.7 \text{ (C-1)} \\ &= 489.3 \text{ LB/FT} \end{aligned}$$

ANCHOR CALCULATIONS:

$$\begin{aligned} R1 &= 2936 \text{ LB (C-2)} \\ Sa &= 486 \text{ LB (A-1)} \\ 6 \times Sa &= 2916 \text{ LB} \approx R \text{ SAY OK//} \end{aligned}$$

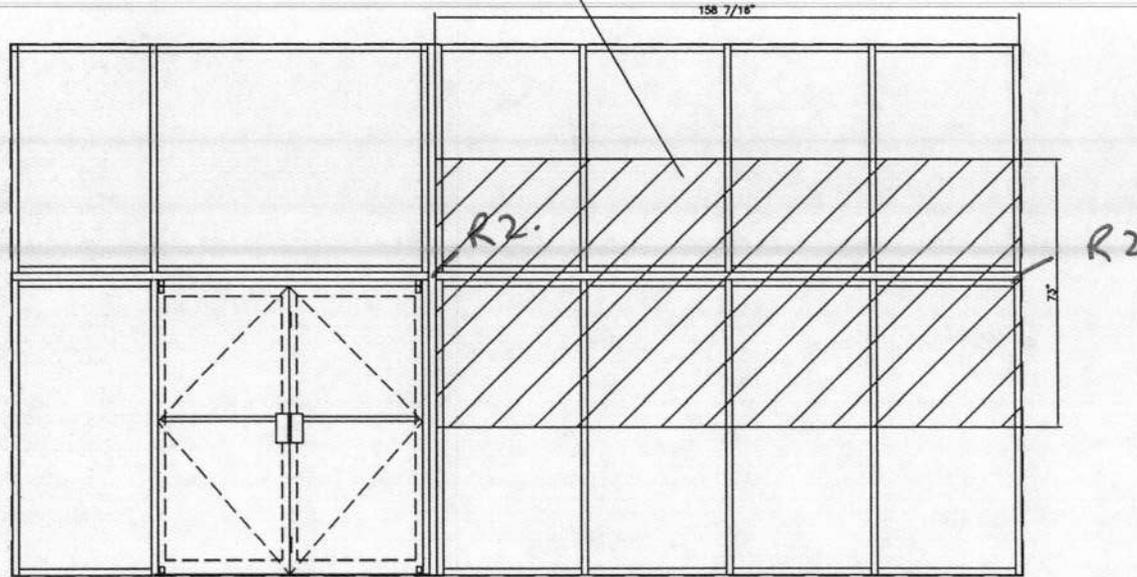
Engr: JAWAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3538

<b>AL-FAROOQ CORPORATION</b> ENGINEERS & PRODUCT DEVELOPMENT 1235 S.W. 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978 SHOPDWG/AFC13-1103																	
PROJECT: 4500 STOREFRONT & DOOR																	
CLIENT: AGA PROPERTIES L.C. 1935 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020																	
REVISIONS: no.   date   by   description	<table border="1"> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>																
date: 8-23-13 scale: 1/2" = 1' dr. by: J.A.A. chk. by:	drawing no. AFC13-1103 SHEET 2 of 3																



## STEEL BEAM DESIGN

UDL2'S REQUIRED DESIGN LOADS:  
Pd (ZONE 4) = +40.4/-44.3 PSF



### UDL2'S TRIBUTARY AREA:

$$\begin{aligned} \text{TRIB. AREA} &= 158 - 7/16 \times 73 / 144 \\ &= 137.5 \text{ FT}^2 \end{aligned}$$

### UDL CALCULATION:

$$\begin{aligned} \text{UDL2} &= W \times \text{Pd} \\ &= (73/12) \times 44.3 \text{ (C-1)} \\ &= 269.5 \text{ LB/FT} \end{aligned}$$

### ANCHOR CALCULATIONS:

$$\begin{aligned} R2 &= 1779 \text{ LB (C-3)} \\ S_a &= 486 \text{ LB (A-1)} \\ 6 \times S_a &= 2916 \text{ LB} < R \quad \text{OK//} \end{aligned}$$

**AL-FAROQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
12935 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-6300  
FAX. (305) 262-6978

PROJECT:  
4500 STOREFRONT & DOOR

CLIENT:  
AGA PROPERTIES L.C.  
1935 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020

no	date	description

Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70582  
C.A.N. 3538

date: 8-23-13  
scale: 1/2" = 1'  
dr. by: M.A.  
chk. by:

drawing no.  
AFC13-1103

SHEET 3 of 3

AUG 26 2013  
 No. 15592  
 SEALED  
 PROFESSIONAL ENGINEER

AOA PROPERTIES L.C.		1935 HOLLYWOOD BLVD.		Wind Speed (mph)	170	Mean Roof Height [h] (ft)	20.00
				Importance Factor	1.00	Height Above Gnd. Level [z] (ft)	20.00
				Exposure Category	D	Horizontal Dimen. of Bldg. (ft)	80.00
				Risk Category	2	Roof Slope (deg.)	< 10
						Type of Building	With Impact Protection
Coefficient Kh	1.08	Coefficient Kzt	1.00	Coefficient Kz	1.08	Coefficient Kd	0.85
Velocity Pressure Evaluated @z [qz] (lb/ft <sup>2</sup> )				Velocity Pressure Evaluated @h [qh] (lb/ft <sup>2</sup> )			
				67.92			

Mark	Comp Type	Component Size			Gcp Coefficients				Gcpi Coeff.		Design Wind Pressures (lb/ft <sup>2</sup> )				In Zone	
		W (in)	H (in)	S (in)	A ft <sup>2</sup>	Z4+	Z5+	Z4-	Z5-	Pos	Neg	Z4+	Z4-	Z5+		Z5-
ALL	Other				10.00	0.90	0.90	-0.99	-1.26	0.18	-0.18	44.0	-47.7	44.0	-58.7	Z4



ASCE 7-10 WIND LOADS ON COMPONENTS AND CLADDING : AL-FAROOQ CORPORATION, 1235 S.W. 87th AVE, MIAMI FL. 33174. TEL:305-264-8100

Engineers Seal	Engineers Name And Signature	Design Date	Design Reference Number
		8/22/2013 6:04:50 PM	AFC 13-1103

(C-1)

AOA PROPERTIES L.C.

4500 STORE FRONT 1/2 DOOR

CAN (EB) #3538 DATE: 08-23-2013  
 MULLION WITH PARTIAL UNIFORM LOAD, POINT LOADS  
 FULL LENGTH UNIFORMLY DISTRIBUTED LOAD  
 AND TRAPEZOID LOAD  
 OR ANY COMBINATION OF THE ABOVE ( NEWT158 )

SECTION : STEEL COLUMN (UDL1)  
 EXTRUSION : 2"x6"x1/4" VERTICAL

SPAN = 12 FT.  
 FULL LENGTH UDL = 489.3 LB/FT. (UDL1)

MODULUS OF ELASTICITY = 2.9E+07 PSI

#	X	MOMENT	DEFL.
1	0.000	0	0.000
2	1.000	2691	0.158
3	2.000	4893	0.304
4	3.000	6606	0.428
5	4.000	7829	0.522
6	5.000	8563	0.581
7	6.000	8807	0.601
8	7.000	8563	0.581
9	8.000	7829	0.522
10	9.000	6606	0.428
11	10.000	4893	0.304
12	11.000	2691	0.158
13	12.000	0	0.000

$$Ad = \frac{l}{180} = 0.8 \text{ IN}$$

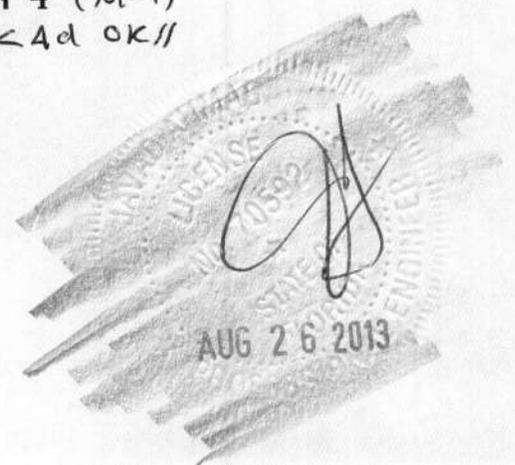
## FINAL RESULTS

RIGHT REACTION = 2936 LBS. > R  
 LEFT REACTION = 2936 LBS.  
 MAXIMUM MOMENT = 8807 FT-LBS.  
 SECTION MODULUS = 4.37 IN<sup>3</sup> (M-1)  
 BENDING STRESS = 24185 PSI < F<sub>b</sub> OK//  
 MOMENT OF INERTIA = 13.1 IN<sup>4</sup> (M-1)  
 MAXIMUM DEFLECTION = .6 IN < Ad OK//

$$F_y = 46000 \text{ psi}$$

$$F_b = 0.6 F_y$$

$$F_b = 27,600 \text{ psi}$$



ADA PROPERTIES L.C.

4500 STOREFRONT 3 DOOR

CAN (EB) #3538 DATE: 08-23-2013  
 MULLION WITH PARTIAL UNIFORM LOAD, POINT LOADS  
 FULL LENGTH UNIFORMLY DISTRIBUTED LOAD  
 AND TRAPEZOID LOAD  
 OR ANY COMBINATION OF THE ABOVE ( NEWT158 )

SECTION : STEEL BEAM (UDL2)  
 EXTRUSION : 2"x6"x1/4" HORIZONTAL

SPAN = 13.2 FT.  
 FULL LENGTH UDL = 269.5 LB/FT. (UDL2)

MODULUS OF ELASTICITY = 2.9E+07 PSI

#	X	MOMENT	DEFL.
1	0.000	0	0.000
2	1.100	1794	0.128
3	2.200	3261	0.245
4	3.300	4402	0.345
5	4.400	5218	0.421
6	5.500	5707	0.469
7	6.600	5870	0.485
8	7.700	5707	0.469
9	8.800	5218	0.421
10	9.900	4402	0.345
11	11.000	3261	0.245
12	12.100	1794	0.128
13	13.200	0	0.000

$$\Delta d = \frac{l}{180} = 0.88 \text{ IN}$$

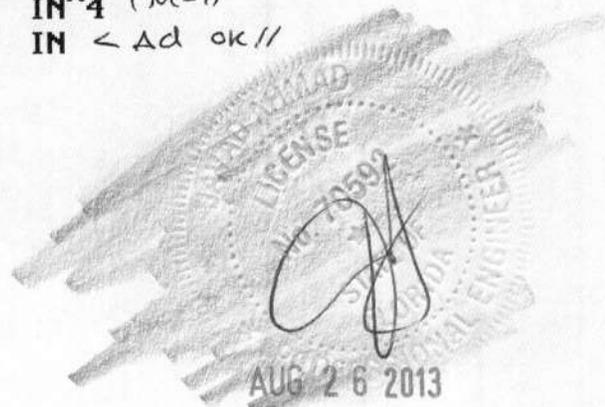
$$F_y = 46,000 \text{ psi}$$

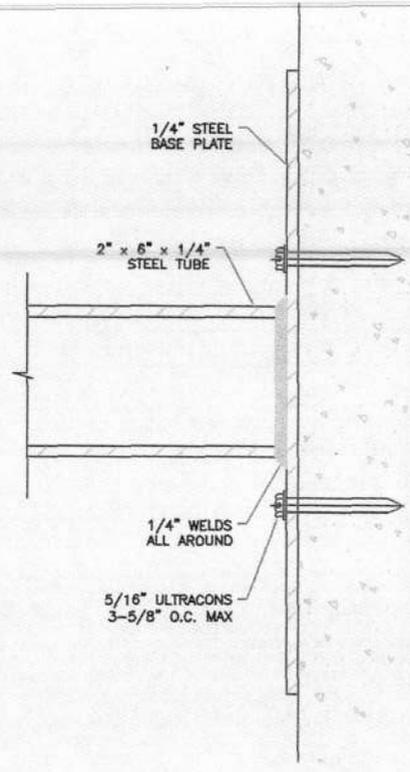
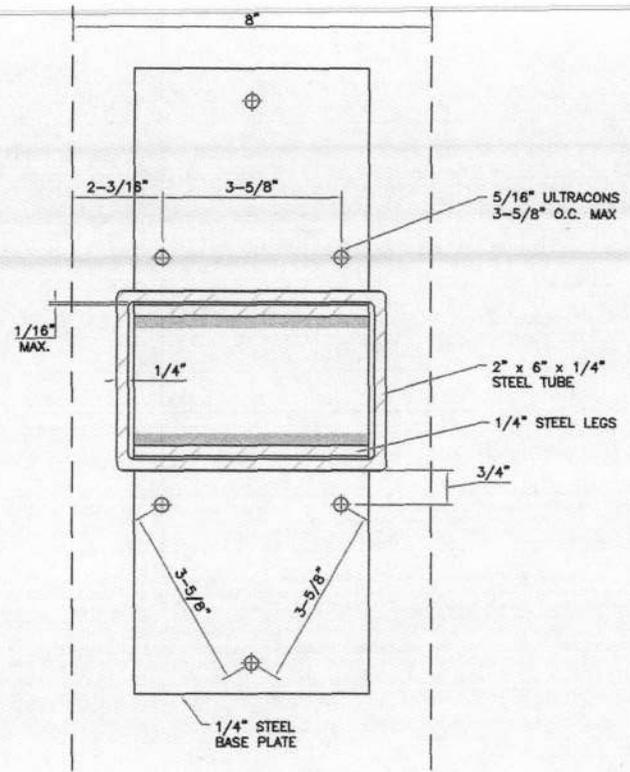
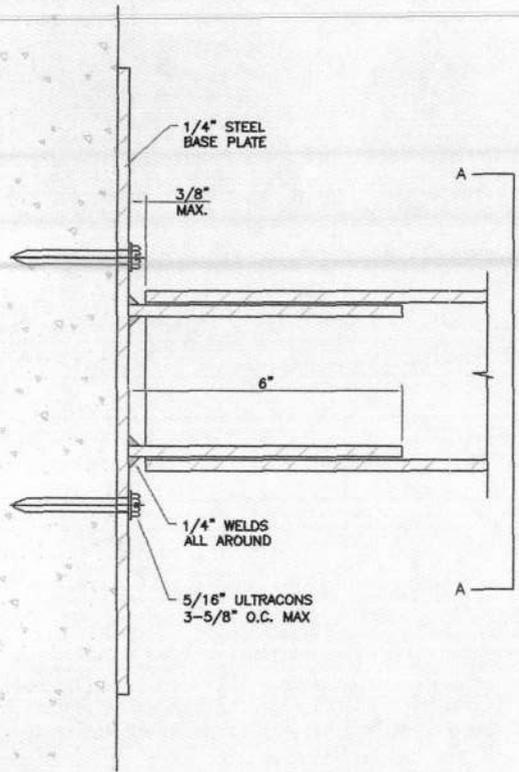
$$F_b = 0.6 F_y$$

$$F_b = 27,600 \text{ psi}$$

FINAL RESULTS

RIGHT REACTION = 1779 LBS. > R  
 LEFT REACTION = 1779 LBS.  
 MAXIMUM MOMENT = 5870 FT-LBS.  
 SECTION MODULUS = 4.37 IN<sup>3</sup> (M-I)  
 BENDING STRESS = 16118 PSI < F<sub>b</sub> ok//  
 MOMENT OF INERTIA = 13.1 IN<sup>4</sup> (M-I)  
 MAXIMUM DEFLECTION = .484 IN < Δd ok//



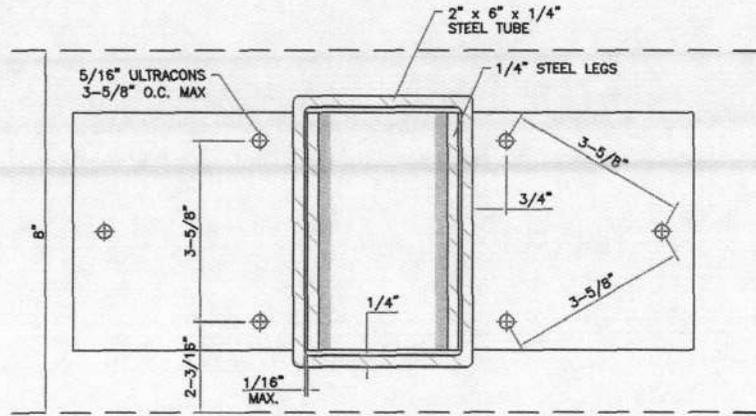
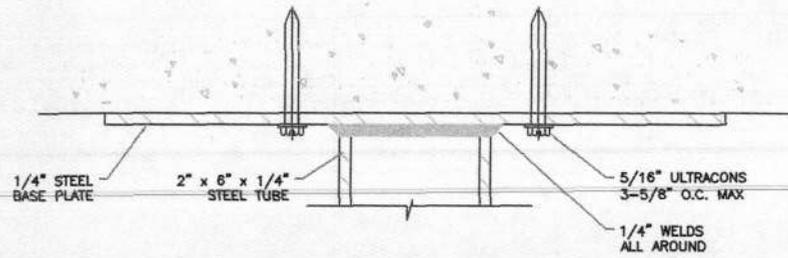


DETAIL D-1  
2" x 6" x 1/4"  
HORIZONTAL STEEL TUBE  
SECTION A-A

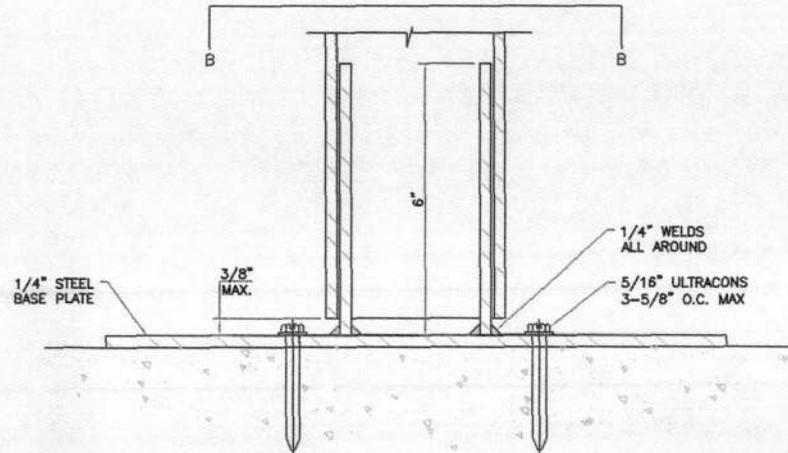
no	date	description

Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3538

date: 8-23-13	scale: 3/8"=1'-0"	dr. by: c.e.	chk. by:
drawing no. AFC13-1103			
SHEET 9 of 11			



DETAIL D-2  
 2" x 6" x 1/4"  
 VERTICAL STEEL TUBE  
 SECTION B-B



REV.	DATE	DESCRIPTION

Engr: JAVAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3538

drawing no.  
**AFC13-1103**

**3/16"Ø ULTRACON  
ALLOWABLE LOAD CAPACITIES:**

	EDGE DISTANCE	SPACING		EMBEDMENT	TENSION (LB)	SHEAR (LB)
		INCHES	NUMBER OF DIAMETERS			
2,846 P.S.I. CONCRETE*	1"	1-1/8"	6d	1-3/4"	270	120
		2-1/4"	12d	1-3/4"	270	196
		3"	16d	1"	105	155
		1-3/8"		1-3/8"	185	196
		3-9/16"	19d	1-3/4"	270	195
	2-1/2"	1-1/8"	6d	1-3/4"	315	175
		2-1/4"	12d	1-3/4"	315	175
		3"	16d	1"	110	155
		1-3/8"		1-3/8"	185	196
		3-9/16"	19d	1-3/4"	315	195
GROUT FILLED BLOCK	2-1/2"	3-9/16"	19d	1-3/4"	175	135
		4-1/2"	24d	2-1/4"	220	195
HOLLOW BLOCK	1"	6"	32d		80	105
		1-1/8"	6d		85	75
	2-1/2"	2-1/4"	12d	1-1/4"	85	115
		6"	32d		85	115

NOTE:  
\*ULTRACON ALLOWABLE LOAD CAPACITIES LISTED HEREIN ARE NOT VALID FOR CRACKED CONCRETE SUBSTRATES.

**1/4"Ø ULTRACON  
ALLOWABLE LOAD CAPACITIES:**

	EDGE DISTANCE	SPACING		EMBEDMENT**	TENSION (LB)	SHEAR (LB)
		INCHES	NUMBER OF DIAMETERS			
2,846 P.S.I. CONCRETE*	1"	1-1/2"	6d	1-3/4"	345	120
		3"	12d	1-3/4"	345	170
		4"	16d	1"	150	155
		1-3/8"		1-3/8"	290	225
		1-3/4"		1-3/4"	460	225
	2-1/2"	1-1/2"	6d	1-3/4"	455	315
		3"	12d	1-3/4"	465	390
		4"	16d	1"	200	285
		1-3/8"		1-3/8"	375	395
		1-3/4"		1-3/4"	475	445
2,730 P.S.I. CONCRETE†	2-1/2"	4"	16d	1-3/4"	-	315
		4"	16d	1-3/4"	230	250
GROUT FILLED BLOCK	2-1/2"	4-1/2"	18d	2-1/4"	410	250
		6"	24d		140	140
HOLLOW BLOCK	1"	1-1/2"	6d		140	100
		3"	12d	1-1/4"	140	150
	2-1/2"	6"	24d		140	295
		6"	24d		140	295

NOTE:  
\*ULTRACON ALLOWABLE LOAD CAPACITIES LISTED HEREIN ARE NOT VALID FOR CRACKED CONCRETE SUBSTRATES, AS DEFINED IN ACI 309.2.

† EMBEDMENT DEPTH INTO 2,846 PSI CONCRETE, WITH THE WOOD BUCK LOCATED BETWEEN THE CONCRETE AND THE SIDE MEMBER.

\*\* EMBEDMENT VALUE LISTED HEREIN CONSIDERS FULL EMBEDMENT TO CONCRETE, GROUT FILLED BLOCK OR HOLLOW BLOCK. EMBEDMENT DEPTH DOES NOT INCLUDE THE THICKNESS OF ANY WOOD BUCKS.

**5/16"Ø ULTRACON  
ALLOWABLE LOAD CAPACITIES:**

	EDGE DISTANCE	SPACING		EMBEDMENT**	TENSION (LB)	SHEAR (LB)	
		INCHES	NUMBER OF DIAMETERS				
3,515 P.S.I. CONCRETE†	1-1/4"	1-7/8"	6d	2"	205	120	
		3-3/4"	12d	2"	290	120	
		5"	16d	1"	180	215	
	2-3/16"	5"	1-3/4"		1"	525	330
			1"		1"	205	375
		3-1/8"	1-7/8"	6d	2"	600	785
			3-3/4"	12d	2"	300	120
	GROUT FILLED BLOCK	2-1/2"	5"	16d	1"	455	710
			1-3/4"		2"	210	450
			2"		1-3/4"	660	850
HOLLOW BLOCK	1-9/16"	6"	20d	2"	835	850	
		1-7/8"	6d	1-3/4"	230	370	
	3-1/8"	3-3/4"	12d	2-1/4"	290	375	
		6"	20d		130	140	
				130	175		
				140	175		
				225	290		

NOTE:  
\*ULTRACON ALLOWABLE LOAD CAPACITIES LISTED HEREIN ARE NOT VALID FOR CRACKED CONCRETE SUBSTRATES.

† EMBEDMENT DEPTH INTO 2,846 PSI CONCRETE, WITH THE WOOD BUCK LOCATED BETWEEN THE CONCRETE AND THE SIDE MEMBER.

\*\* EMBEDMENT VALUE LISTED HEREIN CONSIDERS FULL EMBEDMENT TO CONCRETE, GROUT FILLED BLOCK OR HOLLOW BLOCK. EMBEDMENT DEPTH DOES NOT INCLUDE THE THICKNESS OF ANY WOOD BUCKS.

**ULTRACON HEAD  
DIMENSIONS:**

HEAD STYLE	HEAD DIAMETER
3/16" PPH	0.363"
3/16" PPH	0.365"
1/4" PPH	0.490"
1/4" TRIMFIT	0.414"
5/16" PPH	0.543"
5/16" LDFH	0.695"
5/16" TRIMFIT	0.414"

**HEX WASHER HEAD  
(HWH) DIMENSIONS:**

HEAD STYLE	ACROSS FLAT	WASHER DIAMETER
3/16" HWH	1/4"	0.355"
1/4" HWH	5/16"	0.625"
1/4" HWH	5/16"	0.415"
1/4" 300 SS CAP HWH	5/16"	0.580"
5/16" HWH	5/16"	0.543"
5/16" HWH	5/16"	0.585"

**DRILL BIT SCHEDULE:**

SCREW-ANCHOR DIAMETER	DRILL BIT
3/16"	3/8" DIAMETER ELCO ULTRACON BIT
1/4"	1/2" DIAMETER ELCO ULTRACON BIT
5/16"	3/4" DIAMETER ELCO ULTRACON BIT

1. INSTALLATION SHALL BE MADE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND THIS MIAMI-DADE COUNTY, FLORIDA P.E.R.A. NOTICE OF ACCEPTANCE.
2. DRILL HOLES AT LEAST 1/4" DEEPER THAN ULTRACON EMBEDMENT.
3. CLEAN HOLES OR DEBRIS AND DUST BEFORE INSTALLATION OF ANCHOR.
4. ANCHORS SHALL NOT BE INSTALLED BEFORE THE CONCRETE HAS DEVELOPED ITS DESIGN STRENGTH.
5. ANCHORS SHALL NOT BE INSTALLED IN CRACKED CONCRETE SUBSTRATES, AS DEFINED IN ACI 309.2.

PRODUCT RENEWED  
as complying with the Florida  
Building Code  
Acceptance No 11-0406-01  
Expiration Date 01/08/2016  
By *[Signature]*  
Island Trade Product Control



**ELCO**  
ELCO CONSTRUCTION PRODUCTS, DIV. OF INFASITECH  
1304 KERR DRIVE  
DECORAH, LA 52101  
ULTRACON CONCRETE ANCHORS  
MIAMI-DADE NOTICE OF ACCEPTANCE

REVISIONS	DATE	BY	CHKD	DATE	BY
1	10/20/12	CSL	JKL	10/20/12	JKL
2	01/08/2016	CSL	JKL	01/08/2016	JKL
3	01/08/2016	CSL	JKL	01/08/2016	JKL
4	01/08/2016	CSL	JKL	01/08/2016	JKL
5	01/08/2016	CSL	JKL	01/08/2016	JKL
6	01/08/2016	CSL	JKL	01/08/2016	JKL
7	01/08/2016	CSL	JKL	01/08/2016	JKL
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43	01/08/2016	CSL	JKL	01/08/2016	JKL
44	01/08/2016	CSL	JKL	01/08/2016	JKL
45	01/08/2016	CSL	JKL	01/08/2016	JKL
46	01/08/2016	CSL	JKL	01/08/2016	JKL
47	01/08/2016	CSL	JKL	01/08/2016	JKL
48	01/08/2016	CSL	JKL	01/08/2016	JKL
49	01/08/2016	CSL	JKL	01/08/2016	JKL
50	01/08/2016	CSL	JKL	01/08/2016	JKL

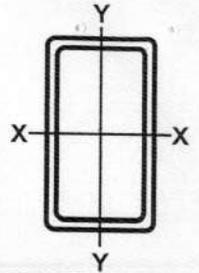
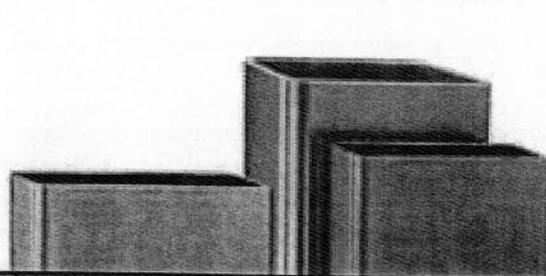
11-ECP-0001  
SCALE: 1"=1'-0"  
PAGE DESCRIPTION:  
3

$$S_a = 785 \times \left( \frac{3600}{3515} \right) \times \left( \frac{3.625}{5} \right) = 486 \text{ LB}$$

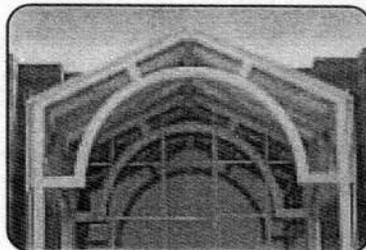
(17)



# DIMENSIONS AND SECTION PROPERTIES OF *RECTANGULAR HSS*



Nominal Size			Weight per Foot lb.	Wall Thickness t in.	b/t	h/t	Cross Sectional Area in. <sup>2</sup>	X-X Axis				Y-Y Axis				Torsional Stiffness Constant J in. <sup>4</sup>	Torsional Shear Constant C in. <sup>3</sup>	Surface Area Per Foot ft. <sup>2</sup>		
in.	in.	in.						I <sub>x</sub> in. <sup>4</sup>	S <sub>x</sub> in. <sup>3</sup>	r <sub>x</sub> in.	Z <sub>x</sub> in. <sup>3</sup>	I <sub>y</sub> in. <sup>4</sup>	S <sub>y</sub> in. <sup>3</sup>	r <sub>y</sub> in.	Z <sub>y</sub> in. <sup>3</sup>					
6	x	5	x	3/8	24.93	0.349	11.3	14.2	6.88	33.9	11.3	2.22	13.8	25.5	10.2	1.92	12.2	48.1	18.2	1.73
				5/16	21.21	0.291	14.2	17.6	5.85	29.6	9.85	2.25	11.9	22.3	8.91	1.95	10.5	41.4	15.6	1.75
				1/4	17.32	0.233	18.5	22.8	4.77	24.7	8.25	2.28	9.87	18.7	7.47	1.98	8.72	34.2	12.8	1.77
				3/16	13.25	0.174	25.7	31.5	3.63	19.3	6.44	2.31	7.62	14.6	5.84	2.01	6.73	26.3	9.76	1.78
6	x	4	x	1/2	28.43	0.465	5.6	9.9	7.88	33.9	11.3	2.08	14.6	17.7	8.87	1.50	11.0	40.3	17.8	1.53
				3/8	22.37	0.349	8.5	14.2	6.18	28.3	9.43	2.14	11.9	14.9	7.46	1.55	8.94	32.8	14.2	1.57
				5/16	19.08	0.291	10.7	17.6	5.26	24.8	8.27	2.17	10.3	13.1	6.57	1.58	7.75	28.4	12.2	1.58
				1/4	15.62	0.233	14.2	22.8	4.30	20.9	6.96	2.20	8.53	11.1	5.56	1.61	6.45	23.6	10.1	1.60
				3/16	11.97	0.174	20.0	31.5	3.28	16.4	5.46	2.23	6.60	8.76	4.38	1.63	5.00	18.2	7.74	1.62
				1/8	8.16	0.116	31.5	48.7	2.23	11.4	3.81	2.26	4.56	6.15	3.08	1.66	3.46	12.6	5.30	1.63
6	x	3	x	1/2	25.03	0.465	3.5	9.9	6.95	26.8	8.94	1.96	12.1	8.65	5.77	1.12	7.28	23.1	12.7	1.37
				3/8	19.82	0.349	5.6	14.2	5.48	22.7	7.57	2.04	9.90	7.47	4.98	1.17	6.03	19.3	10.3	1.40
				5/16	16.96	0.291	7.3	17.6	4.68	20.1	6.69	2.07	8.61	6.66	4.44	1.19	5.27	16.9	8.91	1.42
				1/4	13.91	0.233	9.9	22.8	3.84	17.0	5.66	2.10	7.19	5.70	3.80	1.22	4.41	14.2	7.39	1.43
				3/16	10.70	0.174	14.2	31.5	2.93	13.4	4.47	2.14	5.59	4.55	3.03	1.25	3.45	11.1	5.71	1.45
				1/8	7.31	0.116	22.9	48.7	2.00	9.43	3.14	2.17	3.87	3.23	2.15	1.27	2.40	7.73	3.93	1.47
6	x	2	x	3/8	17.27	0.349	2.7	14.2	4.78	17.1	5.71	1.89	7.93	2.75	2.75	0.759	3.46	8.42	6.35	1.23
				5/16	14.83	0.291	3.9	17.6	4.10	15.3	5.11	1.93	6.95	2.52	2.52	0.784	3.07	7.60	5.58	1.25
				1/4	12.21	0.233	5.6	22.8	3.37	13.1	4.37	1.97	5.84	2.21	2.21	0.809	2.61	6.55	4.70	1.27
				3/16	9.42	0.174	8.5	31.5	2.58	10.5	3.49	2.01	4.58	1.80	1.80	0.835	2.07	5.24	3.68	1.28
				1/8	6.46	0.116	14.2	48.7	1.77	7.42	2.47	2.05	3.19	1.31	1.31	0.861	1.46	3.72	2.57	1.30



(1-M)

Reviewed  
 Rejected

Furnish as Corrected  
 Revise and Resubmit  
 Submit Specified Item

This review is only for general conformance with the design concept and the information given in the Construction Documents. Corrections or comments made on the shop drawings during this review do not relieve the contractor from compliance with the requirements of the plans and specifications. Review of a specific item shall not include review of an assembly of which the item is a component. The Contractor is responsible for: dimensions to be confirmed and correlated at the jobsite; information that pertains solely to the fabrication processes or to the means, methods, techniques, sequences and procedures of construction; coordination of the Work with that of all other trades and performing all Work in a safe and satisfactory manner.

Joseph B. Kaller, Architect

Job No. \_\_\_\_\_

Date 8-26-13

Log No. 001

By Joseph B. Kaller

AOA PROPERTIES L.C.

1935 HOLLYWOOD BLVD.

Wind Speed (mph) **175**  
 Importance Factor **1.00**  
 Exposure Category **D**  
 Risk Category **2**

Mean Roof Height [h] (ft) **20.00**  
 Height Above Gnd. Level [z] (ft) **20.00**  
 Horizontal Dimen. of Bldg. (ft) **80.00**  
 Roof Slope (deg.) **< 10**  
 Type of Building **With Impact Protection**

Coefficient Kh **1.08**

Coefficient Kzt **1.00**

Coefficient Kz **1.08**

Coefficient Kd **0.85**

Velocity Pressure Evaluated @z [qz] (lb/ft<sup>2</sup>) **71.97**

Velocity Pressure Evaluated @h [qh] (lb/ft<sup>2</sup>) **71.97**

Mark	Comp Type	Component Size			Gcp Coefficients					Gcpi Coeff.		Design Wind Pressures (lb/ft <sup>2</sup> )				In Zone
		W (in)	H (in)	S (in)	A ft <sup>2</sup>	Z4+	Z5+	Z4-	Z5-	Pos	Neg	Z4+	Z4-	Z5+	Z5-	
UDL1	Other				137.50	0.72	0.72	-0.81	-0.90	0.18	-0.18	38.8	-42.7	38.8	-46.6	Z4
UDL2	Other				80.30	0.76	0.76	-0.85	-0.97	0.18	-0.18	40.4	-44.3	40.4	-49.8	Z4

AUG 26 2013

ASCE 7-10 WIND LOADS ON COMPONENTS AND CLADDING : AL-FAROOQ CORPORATION, 1235 S.W. 87th AVE, MIAMI FL. 33174. TEL:305-264-8100

Engineers Seal

Engineers Name And Signature

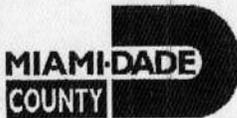
Design Date

8/23/2013 5:11:25 PM

Design Reference Number

AFC 13-1103

CC-13



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY  
AFFAIRS (PERA)  
BOARD AND CODE ADMINISTRATION DIVISION

**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/pera](http://www.miamidade.gov/pera)

**Gopi Glass Sales & Services Corp.**  
7450 NW 41<sup>st</sup> Street  
Miami, FL 33166

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone. MIC#1

**DESCRIPTION:** Series "S-5000 Narrow Stile" Outswing Aluminum Storefront Door, w &w/o Transom - N.I.

**APPROVAL DOCUMENT:** Drawing No. **W98-23**, titled "S-5000 Narrow Stile Entrance Door (NI)", sheets 1 through 7 of 7, dated 03-12-98, with revision I dated 02/24/12, prepared by Al-Farooq Corporation, signed and sealed by Javad Ahmad, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING:** None.

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # **11-0705.03** and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Manuel Perez, P.E.**



*MP*  
4/17/12

NOA No. 12-0315.07  
Expiration Date: September 14, 2016  
Approval Date: April 26, 2012  
Page 1

Gopi Glass Sales & Services Corp.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. **W98-23**, titled "S- 5000 Narrow Stile Entrance Door (NI)", sheets 1 through 7 of 7, dated 03-12-98, with revision I dated 02/24/12, prepared by Al-Farooq Corporation, signed and sealed by Javad Ahmad, P.E.

**B. TESTS**

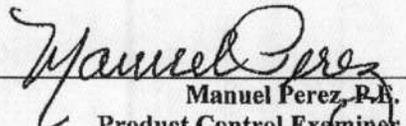
1. Test reports on: 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94(Not conducted)  
4) Forced Entry Test, per FBC 2411 3.2.1, TAS 202-94  
along with marked-up drawings and installation diagram of aluminum outswing doors w/ transom, prepared by Hurricane Engineering & Testing, Inc, Test Report No. **HETI-07-4153** dated 06/11/07, signed and sealed by Rafael L. Droz-Seda, P.E.  
*(Submitted under previous NOA No. 10-0107.06)*
2. Test reports on: 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94(Not conducted)  
4) Forced Entry Test per FBC.  
along with installation diagram of an aluminum outswing doors w/transom, prepared Hurricane Engineering & Testing Inc, Test Report No. **HETI-97-1123** dated 11/28/97, signed and sealed by Hector M. Medina, P.E. (Note: Original test conducted per SFBC, PA 202-94 now termed as FBC, 202-94)  
*(Submitted under previous NOA No. 07-0717.02)*

**C. CALCULATIONS**

1. Anchor verification calculations and structural analysis, complying with FBC-2007, prepared by Al Farooq Corporation, dated 06/27/11 and revised on 08/16/11, signed and sealed by Javad Ahmad, P.E.  
*(Submitted under previous NOA No. 11-0705.03)*
2. Glazing complies with ASTM E1300-04

**D. QUALITY ASSURANCE**

1. Miami-Dade Department of Permitting, Environment, and Regulatory Affairs (PERA)

  
Manuel Perez, P.E.  
Product Control Examiner  
NOA No. 12-0315.07

Expiration Date: September 14, 2016

Approval Date: April 26, 2012

Gopi Glass Sales & Services Corp.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**E. MATERIAL CERTIFICATIONS**

1. None.

**F. STATEMENTS**

1. Statement letter of conformance, complying with FBC-2010, and no financial interest, dated February 22, 2012, signed and sealed by Javad Ahmad, P. E.
2. Laboratory compliance letter for Test Reports No. **HETI-97-1123**, issued by Hurricane Engineering & Testing, Inc., dated 10/05/98, signed and sealed by Hector M. Medina, P.E.  
*(Submitted under previous NOA No.07-0717.02)*
3. Test report No. **HETI-11-M110** dated 08/13/11, per ASTM C 661 for PVC and EPDM gasket, issued by Hurricane Engineering & Testing Inc.  
*(Submitted under previous NOA No.11-0705.03)*

**G. OTHERS**

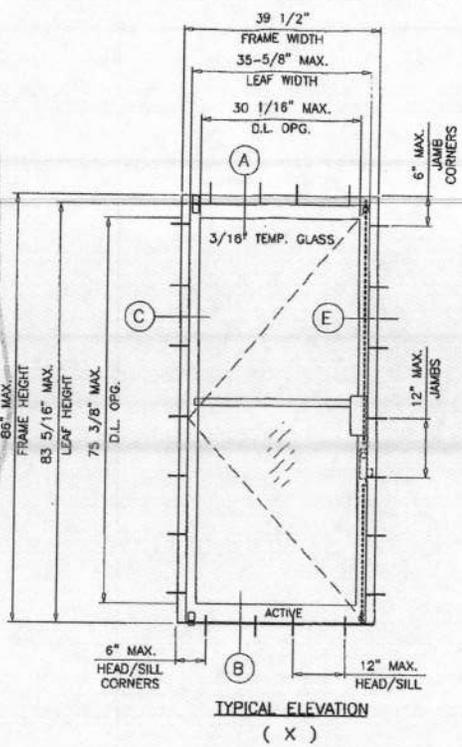
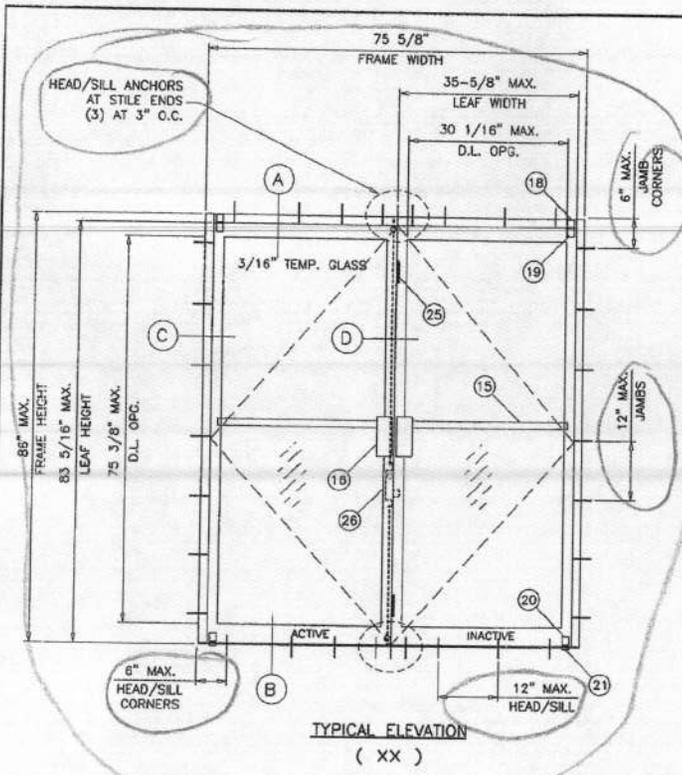
1. Notice of Acceptance No. **11-0705.03**, issued to Gopi Glass Sales & Services Corp. for their Series "S-5000" Outswing Aluminum (Narrow Stiles) Door w/wo Transom, approved on 08/25/11 and expiring on 09/14/16.

  
Manuel Perez, P.E.  
Product Control Examiner

NOA No. 12-0315.07

Expiration Date: September 14, 2016

Approval Date: April 26, 2012



DOORS WITH 3/16" TEMPERED GLASS			
NOMINAL DIMS.		DESIGN LOAD - PSF	
LEAF HEIGHT	LEAF WIDTH	EXT.(+)	INT.(-)
6/8	2/6	79.4	92.0
	3/0	66.2	76.7
7/0	2/6	75.6	87.6
	3/0	63.0	73.0

NOTE:  
GLASS CAPACITIES ON THIS SHEET ARE  
BASED ON ASTM E1300-04 (3 SEC. GUSTS)  
AND FLORIDA BUILDING COMMISSION  
DECLARATORY STATEMENT DCA05-DEC-219

DOORS NOT APPROVED FOR INSTALLATIONS WHERE WATER INFILTRATION  
RESISTANCE IS REQUIRED.

NOMINAL WIDTH	FRAME WIDTH	LEAF WIDTH
2/6	33-1/2"	31-5/8" ( X )
3/0	39-1/2"	35-5/8" ( X )
5/0	63-5/8"	31-5/8" ( XX )
6/0	75-5/8"	35-5/8" ( XX )

NOMINAL HEIGHT	FRAME HEIGHT	LEAF HEIGHT
6/8	82"	79-5/16"
7/0	86"	83-5/16"

D.L.O. HEIGHT = LEAF HEIGHT - 8 IN.  
D.L.O. WIDTH = LEAF WIDTH - 5.25 IN.

**SERIES-5000 ENTRANCE DOOR  
NARROW STILE OUT-SWING TYPE**

THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE  
REQUIREMENTS OF THE FLORIDA BUILDING CODE INCLUDING HIGH VELOCITY  
HURRICANE ZONE (HVHZ).

1BY OR 2BY WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY  
TO TRANSFER LOADS TO THE STRUCTURE.

ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS, ANCHORS  
EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.

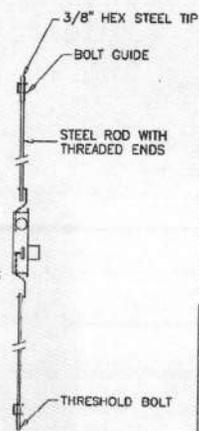
ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS ARE  
NOT PART OF THIS APPROVAL.

A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY.

MATERIALS INCLUDING BUT NOT LIMITED TO STEEL/METAL SCREWS, THAT  
COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE  
REQUIREMENTS OF THE FLORIDA BLDG. CODE SECTION 2003.8.4.

NOTE:  
DOORS MAY BE INSTALLED USING  
1-3/4" X 4" (SERIES 4000) OR  
1-3/4" X 4-1/2" (SERIES 4500) FRAMING SYSTEM.  
DETAILS SHOW 4000 SYSTEM FRAMES SEE SHEET 5  
FOR EXTRUSION DETAILS OF 4500 FRAMING SYSTEM.  
FOR SINGLE O/X OR DOUBLE O/XX (DOORS WITH TRANSOM)  
SEE SHEET 7. LOWER DESIGN PRESSURE OF DOORS OR  
HORIZONTAL TRANSOM SHALL CONTROL.

DOORS NOT RATED FOR IMPACT.  
INSTALLATION OF THIS PRODUCT IN THE HVHZ AREA REQUIRES THE  
USE OF APPROVED SHUTTERS OR EXTERNAL PROTECTION DEVICES  
COMPLYING WITH HVHZ REQUIREMENTS.  
INSTALLATION OF THIS SYSTEM OUTSIDE THE HVHZ AREA SHALL MEET  
THE APPLICABLE REQUIREMENTS FOR WIND BORNE DEBRIS PROTECTION.



**LOCKS:**  
**INACTIVE LEAF:**  
CONCEALED FLUSH BOLTS AT 12" FROM TOP AND BOTTOM  
OF LEAF.  
MATERIAL: DIE CAST ZAMAK BODY AND LEVER WITH 1/4" DIA.  
THREADED STEEL EXTENSION AND 9/16" DIA. NYLON TIP.

**ACTIVE LEAF:**  
3 POINT LOCK SYSTEM USING ADAMS RITE M1805S, DEAD BOLT  
WITH #4015 THROW BOLT OPERATED BY DEAD LOCK AND ENGAGING  
FRAME HEAD AT TOP AND THRESHOLD AT BOTTOM.

**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1235 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 294-8100 FAX. (305) 262-6978  
COMP-ANL W98-236C

**S-5000 NARROW STILE ENTRANCE DOOR (N.L.)**  
**GOPI GLASS CORPORATION**  
7450 N.W. 41 STREET  
MIAMI, FL 33166  
TEL. (305) 592-2009 FAX. (305) 477-0912

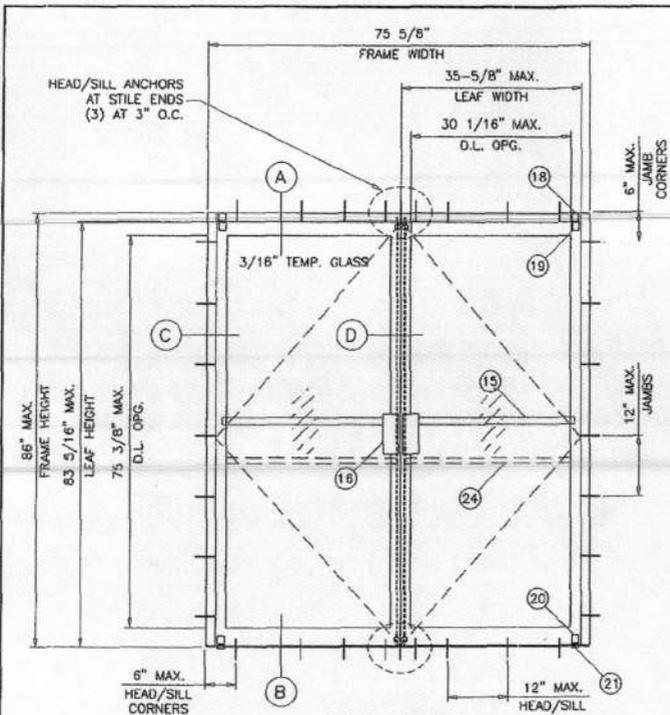
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2	05.02.11	H	GENERAL REVISION
3	05.04.11	REV.	PER BIC COMMENTS
4	02.24.12	I	UPDATED TO 2010 FBC

Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3538

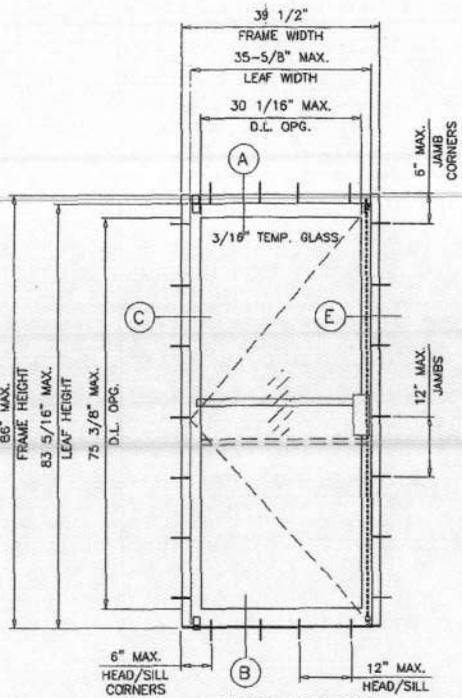


PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 12-0315.07  
Expiration Date SEPT 14 2016  
By: *Mawick*  
Mawick Date Product Control  
12 9 2012

date: 03-12-16  
scale: 1/2"=1'-0"  
dr. by: HAWID  
chk. by:  
drawing no.  
**W98-23**  
sheet 1 of 7



TYPICAL ELEVATION  
( XX )  
OUT-SWING W/ JACKSON PANIC EXIT



TYPICAL ELEVATION  
( X )  
OUT-SWING W/ JACKSON PANIC EXIT

**LOCKS:**

**ACTIVE/INACTIVE LEAF:**

2 POINT LOCK PANIC HARDWARE MODEL 1085 BY JACKSON EXIT DEVICE WITH PANIC BAR LOCATED AT 36\"/>

Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3038

*JA*

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 12-0315-07  
Expiration Date SEPT. 13, 2016

By: *[Signature]*  
Miami Code Product Control

**af c**

**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1235 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-8979  
COMP-ANI, W98-23CG

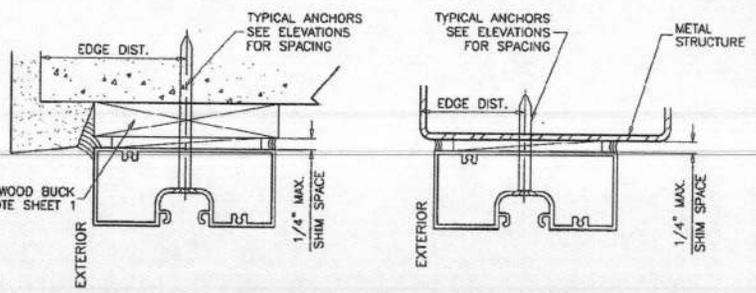
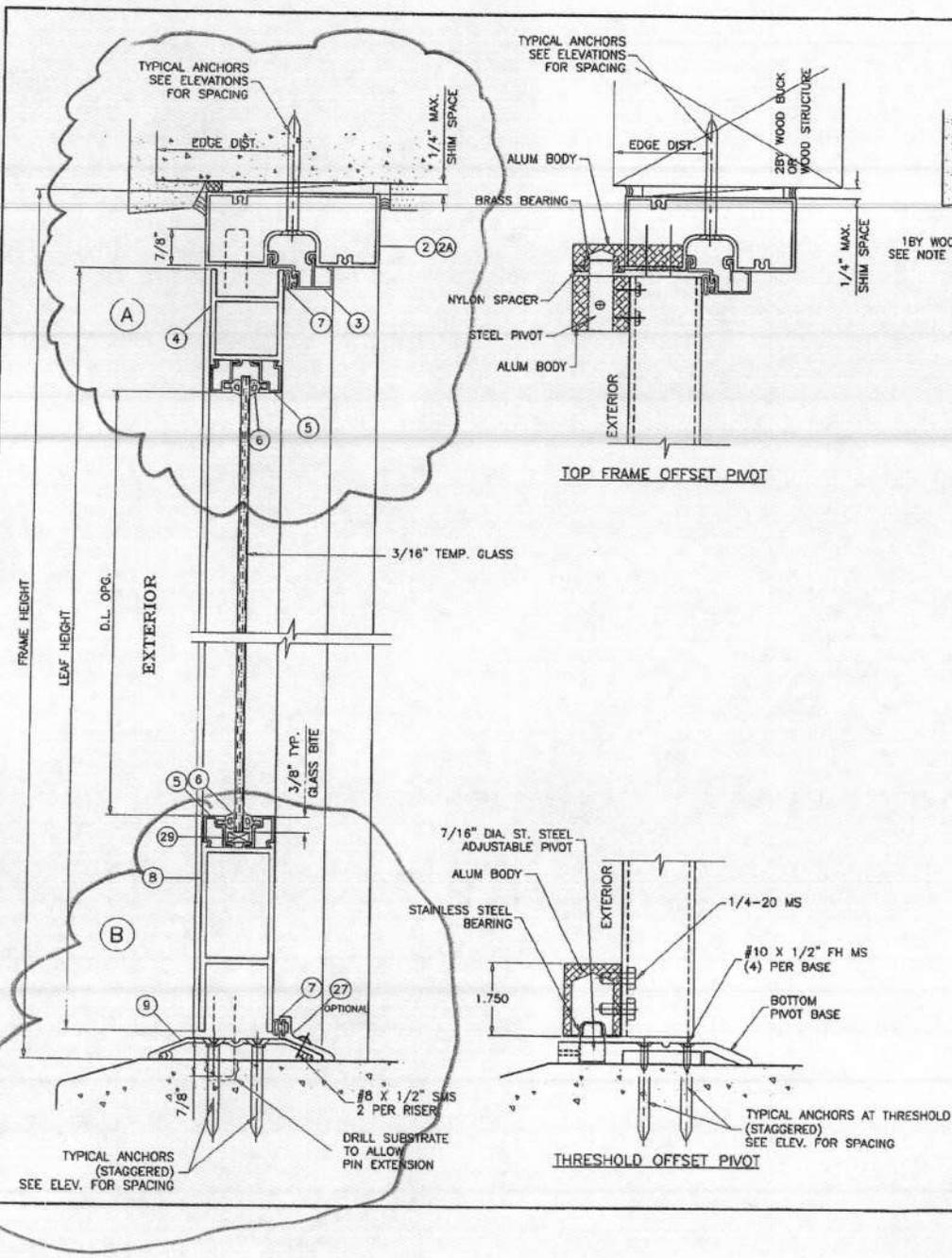
S-5000 NARROW STILE ENTRANCE DOOR (N.I.)

**GOP1 GLASS CORPORATION**  
7450 N.W. 41 STREET  
MIAMI, FL. 33166  
TEL. (305) 582-2009 FAX. (305) 477-0992

NO.	DATE	DESCRIPTION
F	10.14.09	UPDATED FOR 2007 IBC
G	06.02.11	GENERAL REVISION
H	08.04.11	REV. PER IBC COMMENTS
I	10.24.12	NO CHANGE THIS SHEET

date:	03-12-98
scale:	1/2"=1'-0"
dr. by:	HAMID
chk. by:	

drawing no.  
**W98-23**  
sheet 2 of 7



WOOD BUCKS AND METAL STRUCTURE NOT BY GOPI GLASS MUST SUSTAIN LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.

**TYPICAL ANCHORS:** SEE ELEV. FOR SPACING  
 1/4" DIA. ULTRACON BY 'FLCO' (Fu=177 KSI, Fy=155 KSI)  
 INTO 2BY WOOD BUCKS OR WOOD STRUCTURES  
 1-3/8" MIN. PENETRATION INTO WOOD  
 THRU 1BY BUCKS INTO CONC. OR MASONRY  
 1-1/4" MIN. EMBED INTO CONC. OR MASONRY  
 DIRECTLY INTO CONC. OR MASONRY  
 1-1/4" MIN. EMBED INTO CONC. OR MASONRY

**#14 SMS OR SELF DRILLING SCREWS** (GRADE 2 CRS)  
 INTO MIAMI-DADE COUNTY APPROVED MULLIONS (1/8" THK. MIN.)  
 INTO METAL STRUCTURES  
 STEEL : 12 GA. MIN. (Fy = 36 KSI MIN.)  
 ALUMINUM : 1/8" THK. MIN. (6063-T5 MIN.)  
 (STEEL IN CONTACT WITH ALUMINUM TO BE PLATED OR PAINTED)

**TYPICAL EDGE DISTANCE**  
 INTO CONCRETE AND MASONRY = 2-1/2" MIN.  
 INTO WOOD STRUCTURE = 1" MIN.  
 INTO METAL STRUCTURE = 3/4" MIN.

CONCRETE AT HEAD, SILL OR JAMBS f'c = 3000 PSI MIN.  
 C-90 HOLLOW/FILLED BLOCK AT JAMBS f'm = 2000 PSI MIN.

**SEALANTS:**  
 FRAME AND PANEL CORNERS, INSTALLATION SCREWS AND ALL METAL PARTS CONNECTIONS SEALED WITH CAULK.

Engr: JAWAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3538

*JA*

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No 12-0315-07  
 Expiration Date Sept. 14, 2016

By *Manuel...*  
 MIAI 1-9-2012

**af c**  
**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 12335 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX. (305) 266-6978  
 COMP-ANL W98-230G

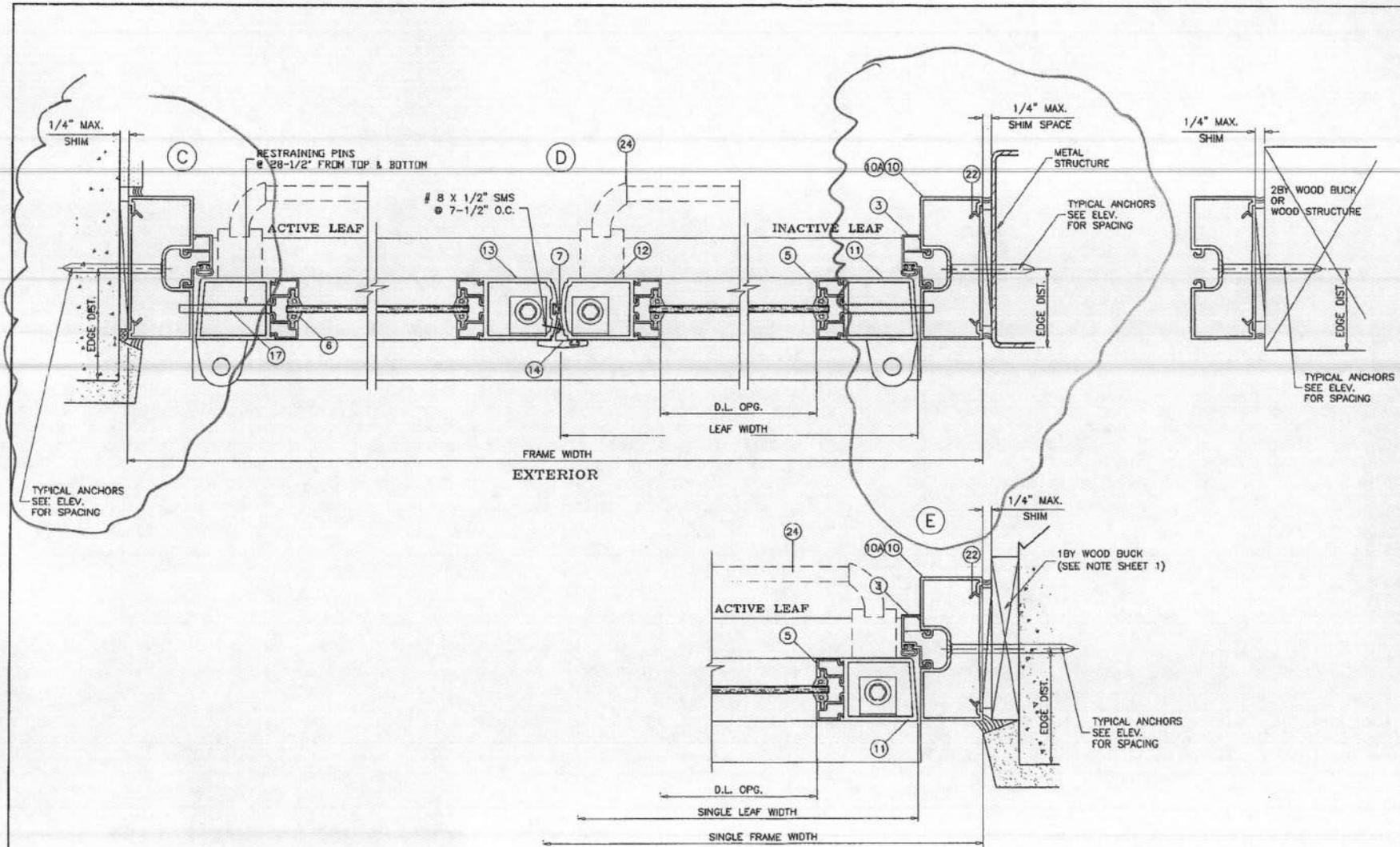
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S-5000 NARROW STILE ENTRANCE DOOR (N.I.)  
**GOPi GLASS CORPORATION**  
 7450 N.W. 41 STREET  
 MIAMI, FL. 33166  
 TEL. (305) 592-2009 FAX. (305) 477-0992

NO.	DATE	BY	DESCRIPTION
F	10/14/09		REVISED FOR 2007 FBC
G	03/02/11		GENERAL REVISION
H	10/04/11		REV. PER SBC COMMENTS
I	10/24/12		NO CHANGE THIS SHEET

601r: 03-12-98  
 scale: 3/8" = 1"  
 dr. by: HAMD  
 chk. by:

drawing no. **W98-23**  
 sheet 3 of 7



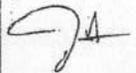
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**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 12385 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-6100  
 FAX. (305) 262-6978  
 COMP-ANL\W98-2366

S-5000 NARROW STILE ENTRANCE DOOR (N.I.)  
**GOP1 GLASS CORPORATION**  
 7450 N.W. 41 STREET  
 MIAMI, FL. 33166  
 TEL. (305) 592-2069 FAX. (305) 477-0992

NO.	DATE	BY	DESCRIPTION
001	10.14.09	F	UPDATED FOR 2007 FCC
002	06.02.11	G	GENERAL REVISION
003	08.04.11	H	REV. PER BIC COMMENTS
004	02.24.12	I	NO CHANGE THIS SHEET

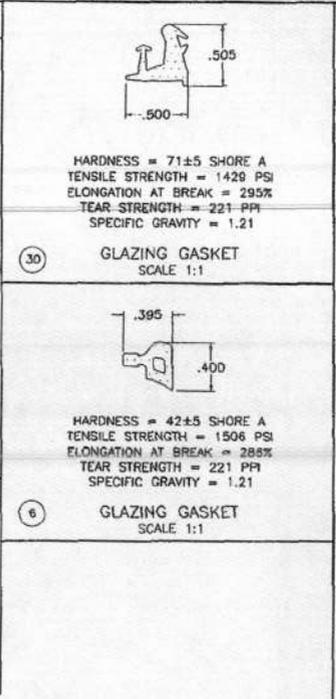
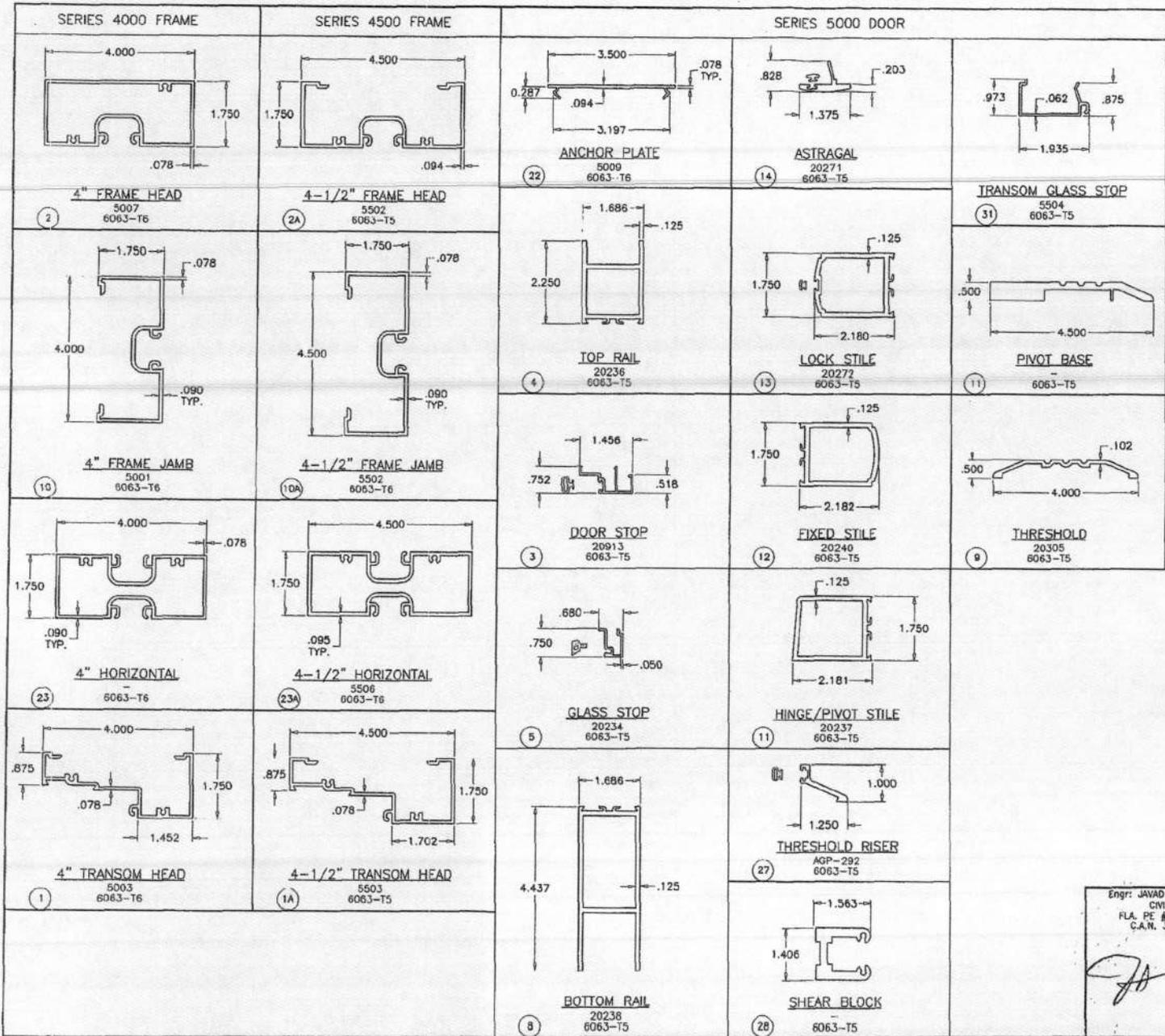
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 dr. by: AHMAD  
 chk. by:

Engr. JAVAD AHMAD  
 CIVIL  
 F.L.A. REG. # 70592  
 C.A.N. 3538



PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 12-0315-07  
 Expiration Date Sept. 14, 2016  
 By: *Manuel Sosa*  
 Product Control

drawing no.  
**W98-23**  
 sheet 4 of 7



Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3536

*JA*

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No. 12-0315-07  
Expiration Date SEPT 12, 2016  
By: *Mark...*  
Miami Trade Product Control

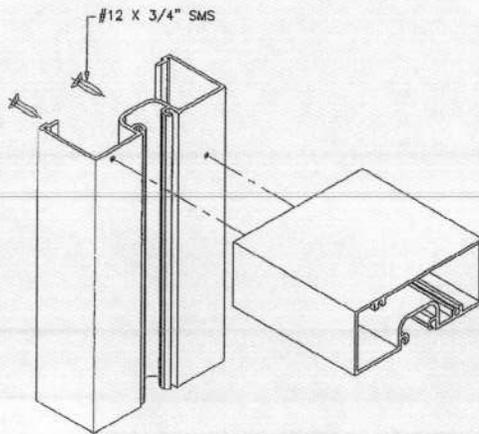
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AL-FAROOQ CORPORATION  
ENGINEERS & PRODUCT DEVELOPMENT  
12395 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-8978  
COMP-ANL W98-2360

S-5000 NARROW STILE ENTRANCE DOOR (N.L.)  
GOLI GLASS CORPORATION  
7450 N.W. 41 STREET  
MIAMI, FL. 33166  
TEL. (305) 592-2009 FAX. (305) 477-0992

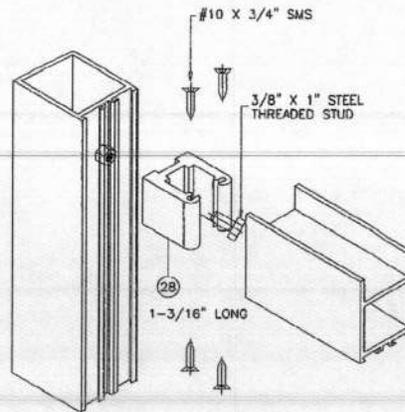
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I	02.24.12	UPDATED TO 2010 IBC

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chk. by:

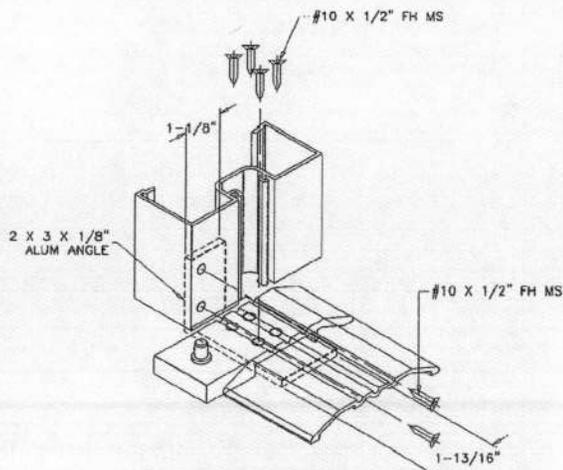
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W98-23  
sheet 5 of 7



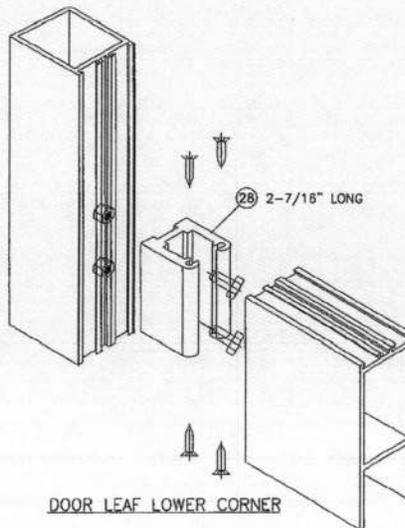
FRAME UPPER CORNER



DOOR LEAF UPPER CORNER



FRAME LOWER CORNER



DOOR LEAF LOWER CORNER

ITEM #	PART #	REQD.	DESCRIPTION	REMARKS
1	5003	AS REQD.	4" TRANSOM HEAD	6063-T6
1A	5503	AS REQD.	4-1/2" TRANSOM HEAD	6063-T6
2	5007	1	4" FRAME HEAD	6063-T6
2A	5502	1	4-1/2" FRAME HEAD	6063-T6
3	20913	AS REQD.	DOOR STOP	6063-T6
4	20236	1/ LEAF	TOP RAIL	6063-T6
5	20234	AS REQD.	GLASS STOP	6063-T6
6	46812	AS REQD.	GLAZING GASKET	NEOPRENE
7	-	AS REQD.	BULB WEATHERSTRIPPING	SOFT PVC
8	20238	1/ LEAF	BOTTOM RAIL	6063-T5
9	20305	1	THRESHOLD	6063-T5
10	5001	2	4" OPEN BACK JAMB	6063-T6
10A	5501	2	4-1/2" OPEN BACK JAMB	6063-T6
11	20237	AS REQD.	HINGE OR PIVOT STILE	-
12	20240	1/ LEAF	FIX STILE (INACTIVE PANEL)	6063-T5
13	20272	1/ LEAF	LOCK STILE (ACTIVE PANEL)	6063-T5
14	20271	1/ DOOR	ASTRAGAL FOR XX ONLY	6063-T5
15	10741	-	PUSH BAR (OPTIONAL)	6063-T5
16	AGP-123	AS REQD.	HANDLE	6063-T5
17	14234	2/ LEAF	RESTRAINING PINS (2-1/2" x 1/4")	STEEL
18	30708	1/ LEAF	TOP FRAME OFFSET PIVOT	-
19	30709	1/ LEAF	TOP DOOR OFFSET PIVOT	-
20	30710	1/ LEAF	BOTTOM DOOR OFFSET PIVOT	-
21	30711	1/ LEAF	THRESHOLD OFFSET PIVOT	-
22	5006	AS REQD.	ANCHOR PLATE, 3" LONG AT ANCHORS	6063-T5
23	-	AS REQD.	4" HORIZONTAL	6063-T5
23A	5506	AS REQD.	4-1/2" HORIZONTAL	6063-T5
24	1085	-	JACKSON PANIC DEVICE	SEE SHEET 2
25	-	2/ LEAF	FLUSH BOLT (INACTIVE LEAF ONLY)	SEE SHEET 1
26	-	1/ LEAF	THREE POINT LOCK (ACTIVE LEAF ONLY)	SEE SHEET 1
27	AGP-292	1/ DOOR	THRESHOLD RISER	6063-T5
28	-	-	SHEAR BLOCK	6063-T5
29	-	2/ LITE	SETTING BLOCK, DUROMETER 80±5 SHORE A	EPDM
30	-	AS REQD.	GLAZING GASKET	NEOPRENE
31	5504	AS REQD.	TRANSOM GLASS STOP	6063-T5
32	-	2/ LITE	SETTING BLOCK, DUROMETER 87±5 SHORE A	EPDM

Engr. JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3538

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 12-0315-07  
Expiration Date SEPT. 14, 2016

By: *Mamun Hossain*  
Manufacture Product Control

**a f c**

**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1239 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
COMP-ANI, W98-230G

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S-5000 NARROW STILE ENTRANCE DOOR (N.L.)

**GOPI GLASS CORPORATION**  
7450 N.W. 41 STREET  
MIAMI, FL. 33166  
TEL. (305) 592-2009 FAX. (305) 477-0992

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Revisions:

NO	0618	by	description
F	10.14.06		UPDATED FOR 2007 FBC
G	06.04.11		GENERAL REVISION
H	08.04.11		REV. PER BNC COMMENTS
I	02.24.12		UPDATED TO 2010 FBC

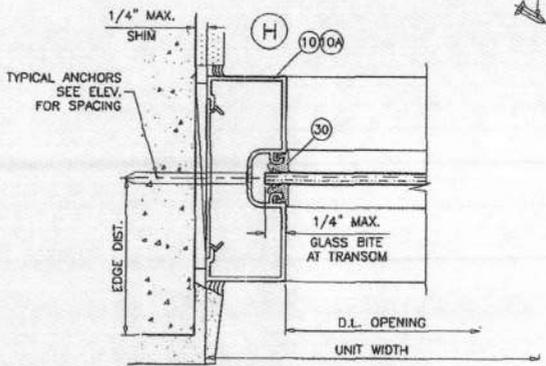
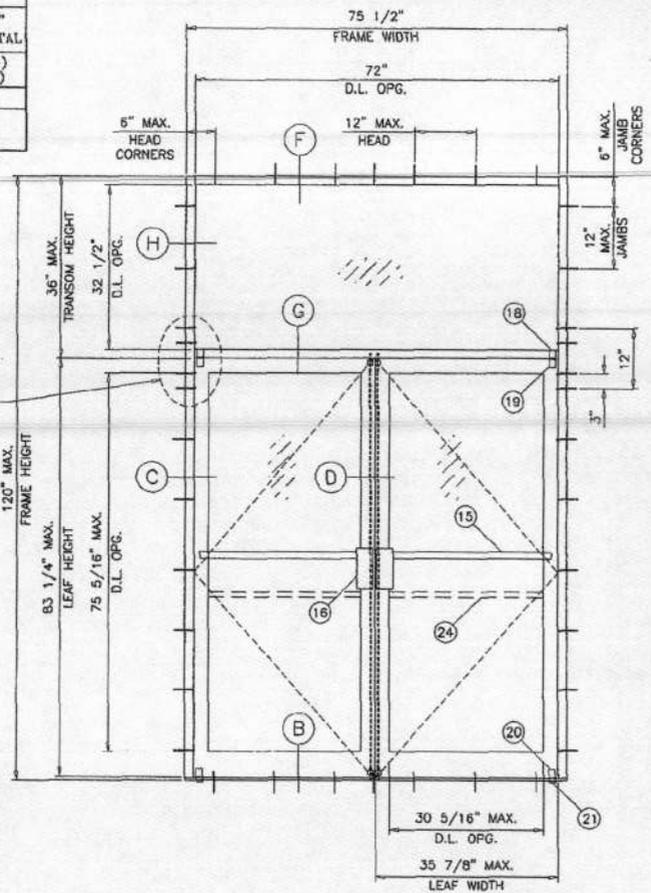
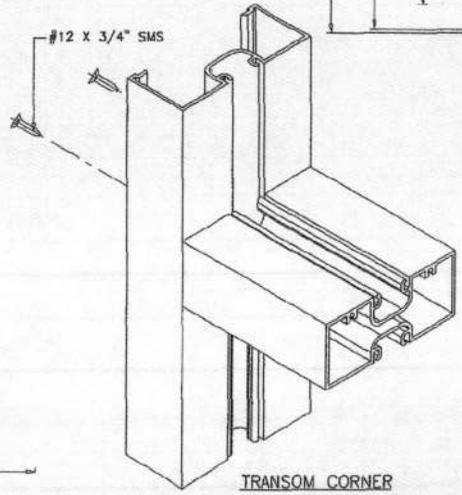
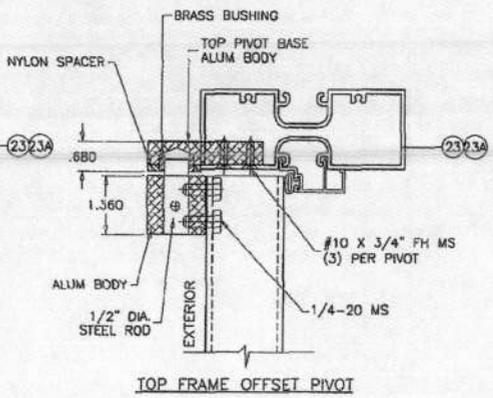
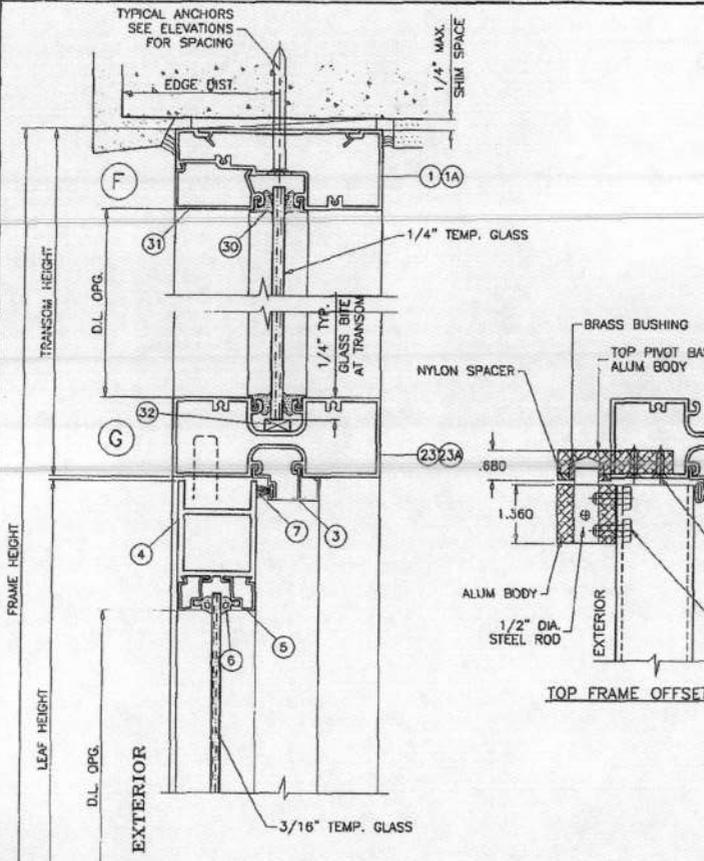
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date: 03-12-98  
scale: 3/8" = 1"  
dr. by: HAMD  
chk. by:

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drawing no.  
**W98-23**  
sheet 6 of 7

HORIZONTAL TRANSOM LOAD CAPACITY-PSF				
DOOR WIDTH INCHES	TRANSOM HEIGHT INCHES	MAX. DOOR HEIGHT INCHES	4" HORIZONTAL	4-1/2" HORIZONTAL
			EXT. (+) INT. (-)	EXT. (+) INT. (-)
75-1/2	12	84	73.0	73.0
	24		66.0	73.0
	36		59.0	73.0



Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.H. 3538

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No. 12-0315-03  
Expiration Date Sept 14, 2016  
By: *Wassuk Sene*  
Miami Dade Product Control  
MAR 15 2012

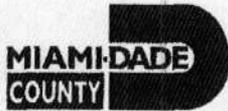
**af c**  
**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1235 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-6100 FAX. (305) 262-8978  
COMP-ANL W98-250C

S-5000 NARROW STILE ENTRANCE DOOR (N.I.)  
**GOPU GLASS CORPORATION**  
7450 N.W. 41 STREET  
MIAMI, FL. 33166  
TEL. (305) 592-2009 FAX. (305) 477-0992

NO.	DATE	BY	DESCRIPTION
1	10/14/09	F	UPDATED FOR 2007 FBC
2	08/02/11	G	GENERAL REVISION
3	08/04/11	H	REV. FEEL BNC COMMENTS
4	10/24/12	I	NO CHANGE THIS SHEET

date: 03-12-98  
scale: 3/8" = 1"  
dr. by: HAMD  
chk. by:

drawing no.  
**W98-23**  
sheet 7 of 7



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY  
AFFAIRS (PERA)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY, FLORIDA  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599

**NOTICE OF ACCEPTANCE (NOA)**

[www.miamidade.gov/pera/](http://www.miamidade.gov/pera/)

**Gopi Glass Sales & Services Corp.**  
7450 NW 41<sup>st</sup> Street  
Miami, FL 33166

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: Series 4500 Flush Glazed Aluminum Storefront System -- N.I.**

"UK#C"

**APPROVAL DOCUMENT:** Drawing No. 97-38, titled "Series-4500 Alum. Flush Glazed System (N.I.)", sheets 1 through 7 of 7, dated 10/15/97, with revision E dated 02/23/12, prepared by Al-Farooq Corporation on March 15, 2012, signed and sealed by Javad Ahmad, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING: None**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, series, and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 08-1212.01 and consists of this page 1, evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P. E.**



*J. Gascon*  
*6/7/12*

NOA No. 12-0315.06  
Expiration Date: December 4, 2013  
Approval Date: June 14, 2012  
Page 1

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

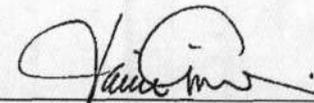
1. Manufacturer's die drawings and sections.  
*(Submitted under previous NOA No. 08-1212.01)*
2. Drawing No. 97-38, titled "Series-4500 Alum. Flush Glazed System (N.I.)", sheets 1 through 7 of 7, dated 10/15/97, with revision E dated 02/23/12, prepared by Al-Farooq Corporation on March 15, 2012, signed and sealed by Javad Ahmad, P.E.

**B. TESTS**

1. Test reports on: 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
2) Water Resistance Test, per FBC, TAS 202-94  
along with marked-up drawings and installation diagram of a series 4500 aluminum storefront system, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-5705, dated 08/07/08, signed and sealed by Carlos S. Rionda, P.E.  
*(Submitted under previous NOA No. 08-1212.01)*
2. Test reports on: 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
2) Water Resistance Test, per FBC, TAS 202-94  
along with marked-up drawings and installation diagram of a series 4500 aluminum storefront system, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-5751, dated 10/17/08, signed and sealed by Carlos S. Rionda, P.E.  
*(Submitted under previous NOA No. 08-1212.01)*
3. Test reports on: 1) Air Infiltration Test, per FBC, TAS 202-94  
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94  
3) Water Resistance Test, per FBC, TAS 202-94  
along with marked-up drawings and installation diagram of a series 4500 aluminum storefront system, prepared by Fenestration Testing Laboratory, Inc., Test Report No. FTL-5778, dated 11/03/08, signed and sealed by Carlos S. Rionda, P.E.  
*(Submitted under previous NOA No. 08-1212.01)*

**C. CALCULATIONS**

1. Anchor verification calculations and structural analysis, complying with FBC-2010, prepared by Al-Farooq Corporation, dated 02/22/12, signed and sealed by Javad Ahmad, P. E.
2. Anchor verification calculations and structural analysis, complying with FBC-2004 and 2007, prepared by Al-Farooq Corporation, dated 09/26/08, signed and sealed by Humayoun Farooq, P.E.  
*(Submitted under previous NOA No. 08-1212.01)*
3. Glazing complies with ASTM E1300-04



Jaime D. Gascon, P. E.  
Product Control Section Supervisor  
NOA No. 12-0315.06  
Expiration Date: December 4, 2013  
Approval Date: June 14, 2012

**Gopi Glass Sales & Services Corp.**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**D. QUALITY ASSURANCE**

1. Miami-Dade Department of Permitting, Environment, and Regulatory Affairs (PERA).

**E. MATERIAL CERTIFICATIONS**

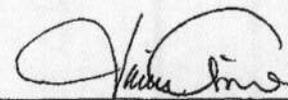
1. None.

**F. STATEMENTS**

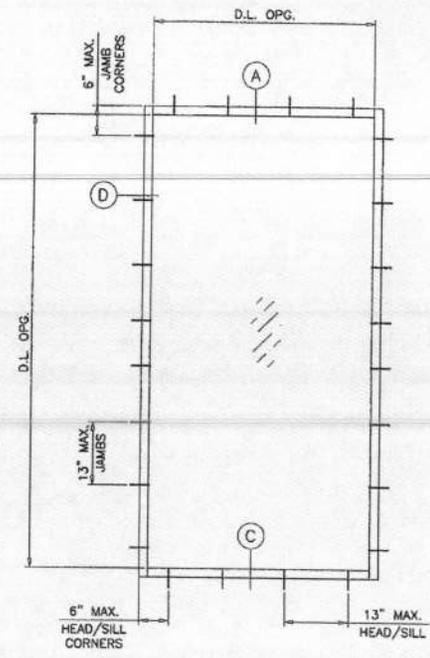
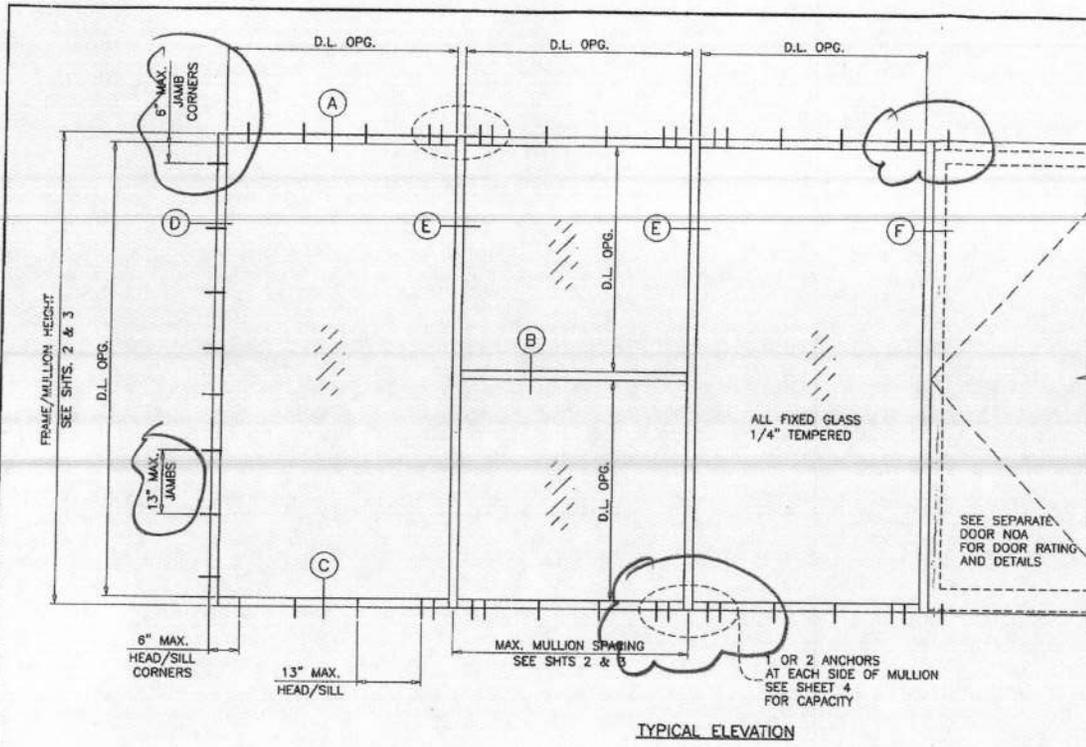
1. Statement letter of no financial interest, conformance and compliance with the **FBC-2010**, dated 02/23/12, signed and sealed by Javad Ahmad, P. E.

**G. OTHERS**

1. Notice of Acceptance No. **08-1212.01**, issued to Gopi Glass Sales & Services Corp. for their **Series 4500 Flush Glazed Aluminum Storefront System - N.I.**, approved on 01/28/09 and expiring on 12/04/13.



**Jaime D. Gascon, P. E.**  
**Product Control Section Supervisor**  
**NOA No. 12-0315.06**  
**Expiration Date: December 4, 2013**  
**Approval Date: June 14, 2012**



TYPICAL ELEVATION

**SERIES-4500**  
**ALUMINUM FLUSH GLAZED STOREFRONT SYSTEM**

THIS SYSTEM IS NOT RATED FOR IMPACT.

THIS SYSTEM MAY BE USED IN CONJUNCTION WITH MIAMI-DADE COUNTY APPROVED OUTSWING ENTRANCE DOORS.

CODE REQUIREMENTS FOR SAFEGUARDS MUST BE OBSERVED.

THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE INCLUDING HIGH VELOCITY HURRICANE ZONE (HVHZ).

WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.

ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS, ANCHORS EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.

ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY.

MATERIALS INCLUDING BUT NOT LIMITED TO STEEL/METAL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE REQUIREMENTS OF THE FLORIDA BLDG. CODE SECTION 2003.8.4.

**INSTRUCTIONS:**

USE CHARTS AS FOLLOWS.

- STEP 1** DETERMINE DESIGN WIND LOAD REQUIREMENTS BASED ON WIND VELOCITY, BLDG. HEIGHT, WIND ZONE USING APPLICABLE ASCE 7 STANDARD.
- STEP 2** CHECK MULLION CAPACITY FOR A GIVEN SPACING AND HEIGHT USING CHARTS ON SHEETS 2 & 3 THE CAPACITY SHOULD EXCEED THE DESIGN LOAD.
- STEP 3** USING CHART ON SHEETS 4 SELECT ANCHOR OPTION WITH DESIGN RATING MORE THAN DESIGN LOAD SPECIFIED IN STEP 1 ABOVE.
- STEP 4** THE LOWEST VALUE RESULTING FROM STEPS 2 AND 3 SHALL APPLY TO ENTIRE SYSTEM.

INSTALLATION OF THIS PRODUCT IN THE HVHZ AREA REQUIRES THE USE OF APPROVED SHUTTERS OR EXTERNAL PROTECTION DEVICES COMPLYING WITH HVHZ REQUIREMENTS.

INSTALLATION OF THIS SYSTEM OUTSIDE THE HVHZ AREA SHALL MEET THE APPLICABLE REQUIREMENTS FOR WIND BORNE DEBRIS PROTECTION.

Engr: JAWAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3538

**PRODUCT REVISED**  
 as complying with the Florida Building Code  
 Acceptance No. 12-031506  
 Expiration Date 12/31/2013  
 Miami Dade Product Control

MAR 15 2012

**af c**

**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 1235 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX. (305) 262-8978  
 STORE# 97-386CC

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**SERIES 4500 ALUM FLUSH GLAZED SYSTEM (N.I.)**  
**GOPI GLASS CORPORATION**  
 7450 N.W. 41 STREET  
 MIAMI, FL. 33166  
 TEL. (305) 592-2009 FAX. (305) 477-0662

no	date	by	description
B	12/04/07	K	SILICONE SEAL ADDD
C	11/20/11	H	GENERAL REVISION
D	12/10/08		UPDATED FOR 2007 FBC
E	02/23/12		UPDATED TO 2010 FBC

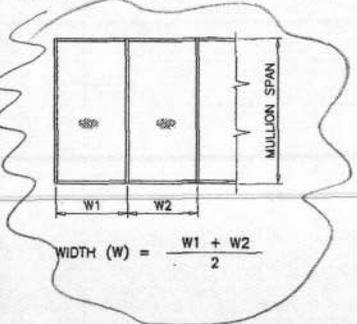
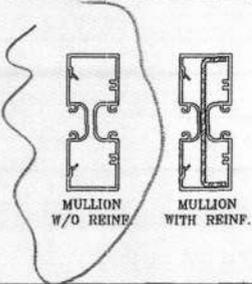
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 chk. by:

drawing no.  
**97-38**

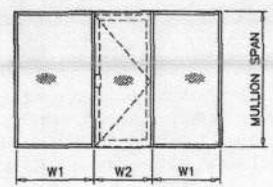
sheet 1 of 7

MULLION LOAD CAPACITY - PSF WITHOUT INTERMEDIATE HORIZONTALS			
NOMINAL DIMS.		MULLION W/O REINF.	MULLION WITH REINF.
WIDTH (W)	FRAME HEIGHT	EXT. (+) INT. (-)	EXT. (+) INT. (-)
24"	72"	110.0	110.0
30"		110.0	110.0
36"		110.0	110.0
42"		110.0	110.0
48"		103.6	110.0
54"		96.6	110.0
60"		92.0	110.0
66"		89.3	110.0
72"		88.4	110.0
75"		88.4	110.0
24"	78"	110.0	110.0
30"		110.0	110.0
36"		106.7	110.0
42"		94.0	110.0
48"		85.1	110.0
54"		78.7	103.2
60"		74.2	97.3
66"		71.2	93.3
72"		69.4	91.0
75"		69.0	90.4
24"	84"	110.0	110.0
30"		105.1	110.0
36"		90.1	110.0
42"		79.1	104.8
48"		71.2	94.3
54"		65.4	86.7
60"		61.2	81.1
66"		58.2	77.1
72"		56.1	74.4
75"		55.4	73.5
24"	90"	110.0	110.0
30"		91.0	110.0
36"		77.1	103.2
42"		67.4	90.2
48"		60.4	80.9
54"		55.3	74.0
60"		51.4	68.8
66"		48.5	64.9
72"		46.4	62.2
75"		45.7	61.1
24"	96"	96.0	110.0
30"		77.9	106.6
36"		66.1	90.1
42"		57.9	78.6
48"		51.9	70.2
54"		47.3	63.9
60"		43.8	59.2
66"		41.1	55.6
72"		39.1	52.9
75"		38.3	51.8

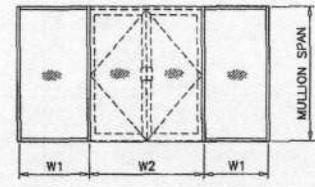
MULLION LOAD CAPACITY - PSF WITHOUT INTERMEDIATE HORIZONTALS			
NOMINAL DIMS.		MULLION W/O REINF.	MULLION WITH REINF.
WIDTH (W)	FRAME HEIGHT	EXT. (+) INT. (-)	EXT. (+) INT. (-)
24"	102"	-	110.0
30"		-	94.1
36"		-	79.4
42"		-	69.1
48"		-	61.6
54"		-	55.9
60"		-	51.5
66"		-	48.2
72"		-	45.6
75"		-	44.5
24"	108"	-	103.6
30"		-	83.6
36"		-	70.5
42"		-	61.2
48"		-	54.4
54"		-	49.3
60"		-	45.3
66"		-	42.2
72"		-	39.8
75"		-	38.8
24"	114"	-	92.9
30"		-	74.9
36"		-	63.0
42"		-	54.7
48"		-	48.5
54"		-	43.8
60"		-	40.2
66"		-	37.4
72"		-	35.1
75"		-	34.1
24"	120"	-	83.7
30"		-	67.4
36"		-	56.7
42"		-	48.1
48"		-	43.5
54"		-	39.3
60"		-	35.9
66"		-	33.3
72"		-	31.2



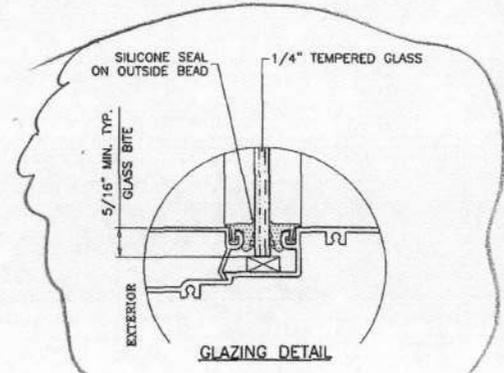
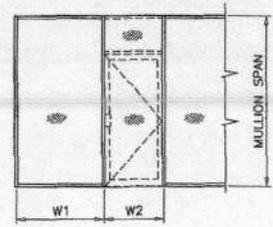
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$$\text{WIDTH (W)} = \frac{W1 + W2}{2}$$



$$\text{WIDTH (W)} = \frac{W1}{2} + \frac{W2}{4}$$



NOTE:  
GLASS CAPACITIES ARE  
BASED ON ASTM E1300-04 (3 SEC. GUSTS)

Engr. JAVAD AHMAD  
C.N.E.  
FLA. PE # 70592  
C.A.N. 3538

PRODUCT REVISED  
as complying with the Florida  
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Acceptance No. 12-0315.06  
Expiration Date 12/04/2013

MAR 15 2012

LOADS SHOWN IN CHARTS ARE FOR INSTALLATIONS WHERE  
WATER INFILTRATION RESISTANCE IS NOT REQUIRED.  
LIMIT EXTERIOR LOADS TO +72.0 PSF FOR INSTALLATIONS  
WHERE WATER INFILTRATION RESISTANCE IS REQUIRED.

af c

**AL-FAROQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1235 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-9100 FAX. (305) 262-8978  
STORE 97-38GCC

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SERIES 4500 ALUM FLUSH GLAZED SYSTEM (N.I.)

**GOPI GLASS CORPORATION**  
7450 N.W. 41 STREET  
MIAMI, FL. 33166  
TEL. (305) 592-2009 FAX. (305) 477-0992

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REVISONS:	no	date	description
	D	12.10.08	UPDATED ENR 2007 FBC
	E	02.23.12	UPDATED TO 2010 FBC

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date: 10-15-97

check:	by: HAMD	date:	chk. by:
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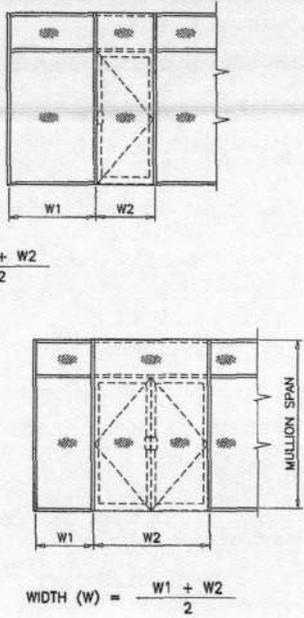
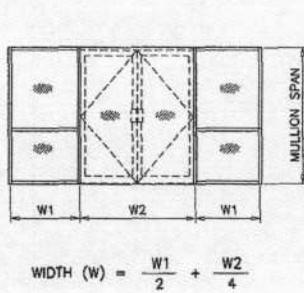
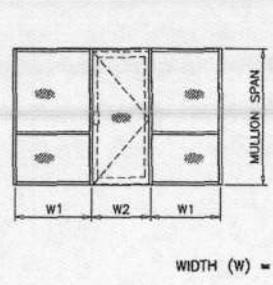
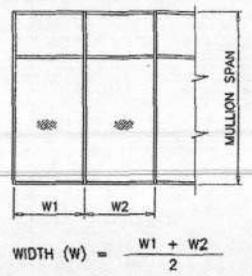
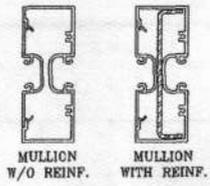
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drawing no.  
**97-38**

sheet 2 of 7

MULLION LOAD CAPACITY - PSP WITH INTERMEDIATE HORIZONTALS			
NOMINAL DIMS.		MULLION W/O REINF.	MULLION WITH REINF.
WIDTH (W)	FRAME HEIGHT	EXT. (+) INT. (-)	EXT. (+) INT. (-)
24"	72"	110.0	110.0
30"		110.0	110.0
36"		110.0	110.0
42"		101.0	110.0
48"		88.4	110.0
54"		78.6	101.9
60"		70.7	91.7
66"	64.3	83.4	
72"	58.9	76.4	
75"	56.6	73.4	
24"	78"	110.0	110.0
30"		110.0	110.0
36"		99.3	110.0
42"		85.1	110.0
48"		74.5	97.7
54"		66.2	86.8
60"		59.6	78.1
66"	54.2	71.0	
72"	49.7	65.1	
75"	47.7	62.5	
24"	84"	110.0	110.0
30"		101.7	110.0
36"		84.8	110.0
42"		72.7	96.3
48"		63.6	84.2
54"		56.5	74.9
60"		50.9	67.4
66"	46.2	61.3	
72"	42.4	56.2	
75"	40.7	53.9	
24"	90"	110.0	110.0
30"		88.6	110.0
36"		73.8	97.8
42"		63.3	83.9
48"		55.4	73.4
54"		49.2	65.2
60"		44.3	58.7
66"	40.3	53.4	
72"	36.9	48.9	
75"	35.4	47.0	
24"	96"	93.8	110.0
30"		75.1	103.2
36"		62.6	86.0
42"		53.6	73.7
48"		46.9	64.5
54"		41.7	57.3
60"		37.5	51.6
66"	34.1	46.9	
72"	31.3	43.0	
75"	30.0	41.3	

MULLION LOAD CAPACITY - PSP WITH INTERMEDIATE HORIZONTALS			
NOMINAL DIMS.		MULLION W/O REINF.	MULLION WITH REINF.
WIDTH (W)	FRAME HEIGHT	EXT. (+) INT. (-)	EXT. (+) INT. (-)
24"	102"	-	110.0
30"		-	91.4
36"		-	76.2
42"		-	65.3
48"		-	57.1
54"		-	50.6
60"		-	45.7
66"	-	41.5	
72"	-	38.1	
75"	-	36.6	
24"	108"	-	101.9
30"		-	81.5
36"		-	67.9
42"		-	58.2
48"		-	51.0
54"		-	45.3
60"		-	40.8
66"	-	37.1	
72"	-	34.0	
75"	-	32.6	
24"	114"	-	91.5
30"		-	73.2
36"		-	61.0
42"		-	52.3
48"		-	45.7
54"		-	40.6
60"		-	36.6
66"	-	33.3	
72"	-	30.5	
75"	-	29.3	
24"	120"	-	82.5
30"		-	66.0
36"		-	56.0
42"		-	47.2
48"		-	41.3
54"		-	36.7
60"		-	33.0
66"	-	30.0	
72"	-	27.5	



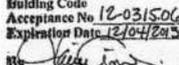
LOADS SHOWN IN CHARTS ARE FOR INSTALLATIONS WHERE WATER INFILTRATION RESISTANCE IS NOT REQUIRED. LIMIT EXTERIOR LOADS TO +72.0 PSF FOR INSTALLATIONS WHERE WATER INFILTRATION RESISTANCE IS REQUIRED.

NOTE:  
GLASS CAPACITIES ARE  
BASED ON ASTM E1300-04 (3 SEC. GUSTS)

Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3538



PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No. 12-031506  
Expiration Date 12/04/2012



Miami Dade Product Control

MAR 15 2012

**af c**

**AL-FAROOQ CORPORATION**  
ENGINEERS & PRODUCT DEVELOPMENT  
1235 S.W. 87 AVE  
MIAMI, FLORIDA 33174  
TEL. (305) 264-8100 FAX. (305) 262-6978  
STORE 97-3866C

---

SERIES 4500 ALUM FLUSH GLAZED SYSTEM (N.L.)  
**GOPi GLASS CORPORATION**  
7450 N.W. 41 STREET  
MIAMI, FL. 33166  
TEL. (305) 592-2009 FAX. (305) 477-0912

---

no.	date	description
D	12.10.08	UPDATED FOR 2007 FBC
E	02.21.12	UPDATED TO 2010 FBC

---

date: 10-15-97  
scale: -  
dr. by: HAMM  
ch. by:

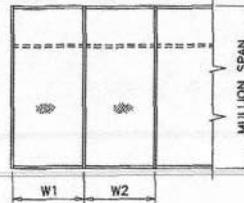
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drawing no.  
**97-38**

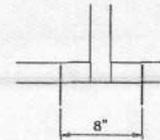
sheet 3 of 7

ANCHOR LOAD CAPACITY - PSF WITH OR WITHOUT INTERMEDIATE HORIZONTALS EXT.(+) & INT.(-)					
NOMINAL DIMS.		ANCHORS TYPE 'A'		ANCHORS TYPES 'B' & 'C'	
WIDTH (W)	FRAME HEIGHT	A1	A2	B1/C1	B2/C2
24"	72"	91.2	110.0	110.0	110.0
30"		76.8	110.0	110.0	110.0
36"		67.6	110.0	110.0	110.0
42"		61.3	110.0	103.0	110.0
48"		57.0	110.0	95.8	110.0
54"		54.0	108.1	90.8	110.0
60"		52.1	104.2	87.5	110.0
66"	51.0	102.0	85.7	110.0	
72"	50.7	101.3	85.1	110.0	
75"	50.7	101.3	85.1	110.0	
24"	78"	82.9	110.0	110.0	110.0
30"		69.5	110.0	110.0	110.0
36"		60.8	110.0	102.1	110.0
42"		54.9	109.7	92.2	110.0
48"		50.7	101.3	85.1	110.0
54"		47.7	95.4	80.1	108.8
60"		45.6	91.2	76.6	104.0
66"	44.2	88.4	74.3	100.8	
72"	43.4	86.9	73.0	99.0	
75"	43.2	86.5	72.6	98.6	
24"	84"	76.0	110.0	110.0	110.0
30"		63.4	110.0	106.6	110.0
36"		55.3	110.0	92.8	110.0
42"		49.6	99.3	83.4	110.0
48"		45.8	91.2	76.6	104.0
54"		42.7	85.3	71.7	97.3
60"		40.5	81.1	68.1	92.4
66"	39.0	78.0	65.5	89.0	
72"	38.0	76.0	63.8	86.7	
75"	37.7	75.3	63.3	85.9	
24"	90"	70.2	110.0	110.0	110.0
30"		58.4	110.0	98.0	110.0
36"		50.7	101.3	85.1	110.0
42"		45.3	90.6	76.1	103.4
48"		41.5	82.9	69.6	94.5
54"		38.8	77.2	64.8	88.0
60"		36.5	73.0	61.3	83.2
66"	34.9	69.8	58.6	79.6	
72"	33.8	67.6	56.7	77.0	
75"	33.4	66.7	56.0	76.1	
24"	96"	65.1	110.0	109.4	110.0
30"		54.0	108.1	90.8	110.0
36"		46.8	93.5	78.6	106.7
42"		41.7	83.4	70.0	95.1
48"		38.0	76.0	63.8	86.7
54"		35.2	70.5	59.2	80.4
60"		33.2	66.3	55.7	75.6
66"	31.6	63.2	53.1	72.0	
72"	30.4	60.8	51.1	69.3	
75"	29.9	59.9	50.3	68.3	

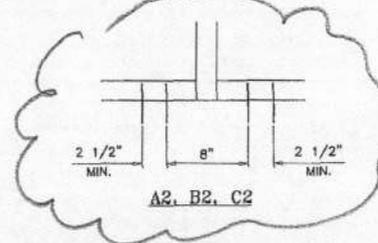
ANCHOR LOAD CAPACITY - PSF WITH OR WITHOUT INTERMEDIATE HORIZONTALS EXT.(+) & INT.(-)					
NOMINAL DIMS.		ANCHORS TYPE 'A'		ANCHORS TYPES 'B' & 'C'	
WIDTH (W)	FRAME HEIGHT	A1	A2	B1/C1	B2/C2
24"	102"	80.8	110.0	102.1	110.0
30"		50.3	100.6	84.5	110.0
36"		43.4	86.9	73.0	99.0
42"		38.6	77.2	64.8	88.0
48"		35.1	70.2	58.9	80.0
54"		32.4	64.9	54.5	74.0
60"		30.4	60.8	51.1	69.3
66"	28.8	57.7	48.4	65.8	
72"	27.6	55.3	46.4	63.0	
75"	27.1	54.3	45.6	61.9	
24"	108"	57.0	110.0	95.8	110.0
30"		47.1	94.1	79.1	107.4
36"		40.5	81.1	68.1	92.4
42"		35.9	71.9	60.4	82.0
48"		32.6	65.1	54.7	74.3
54"		30.0	60.0	50.4	68.5
60"		28.1	56.1	47.1	64.0
66"	26.5	53.1	44.6	60.5	
72"	25.3	50.7	42.6	57.8	
75"	24.8	49.7	41.7	56.6	
24"	114"	53.6	107.3	90.1	110.0
30"		44.2	88.4	74.3	100.8
36"		38.0	76.0	63.8	86.7
42"		33.6	67.2	56.5	76.7
48"		30.4	60.8	51.1	69.3
54"		28.0	55.9	47.0	63.8
60"		26.1	52.1	43.8	59.4
66"	24.6	49.1	41.3	56.0	
72"	23.4	46.6	39.3	53.3	
75"	22.9	45.8	38.5	52.2	
24"	120"	50.7	101.3	85.1	110.0
30"		41.7	83.4	70.0	95.1
36"		35.8	71.5	60.1	81.6
42"		31.6	63.2	53.1	72.0
48"		28.5	57.0	47.9	65.0
54"		26.2	52.3	43.9	59.6
60"		24.3	48.6	40.9	55.5
66"	22.9	45.7	38.4	52.2	
72"	21.7	43.4	36.5	49.5	



$$\text{WIDTH (W)} = \frac{W1 + W2}{2}$$



A1, B1, C1



A2, B2, C2

ANCHORS TYPES: SEE SHEET 5 FOR DESCRIPTION

A1 = (1) ANCHORS TYPE 'A' AT EACH SIDE OF MULLION  
 A2 = (2) ANCHORS TYPE 'A' AT EACH SIDE OF MULLION

B1 = (1) ANCHORS TYPE 'B' AT EACH SIDE OF MULLION  
 B2 = (2) ANCHORS TYPE 'B' AT EACH SIDE OF MULLION

C1 = (1) ANCHORS TYPE 'C' AT EACH SIDE OF MULLION  
 C2 = (2) ANCHORS TYPE 'C' AT EACH SIDE OF MULLION

ALL OTHER ANCHORS TO BE SPACED AS PER ELEVATION.

Engr: JAVAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3538

*[Signature]*  
 MAR 15 2012

PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 12-0315.06  
 Expiration Date 12/04/2013  
 By: *[Signature]*  
 Miami Dade Product Control

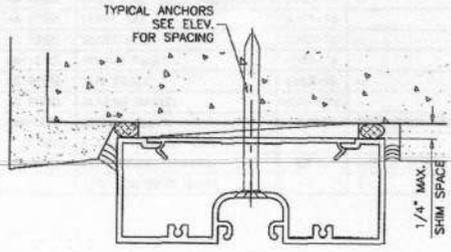
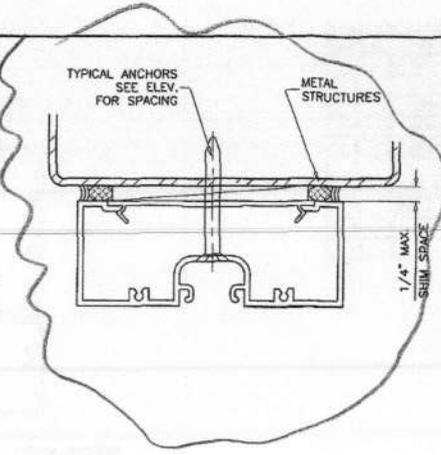
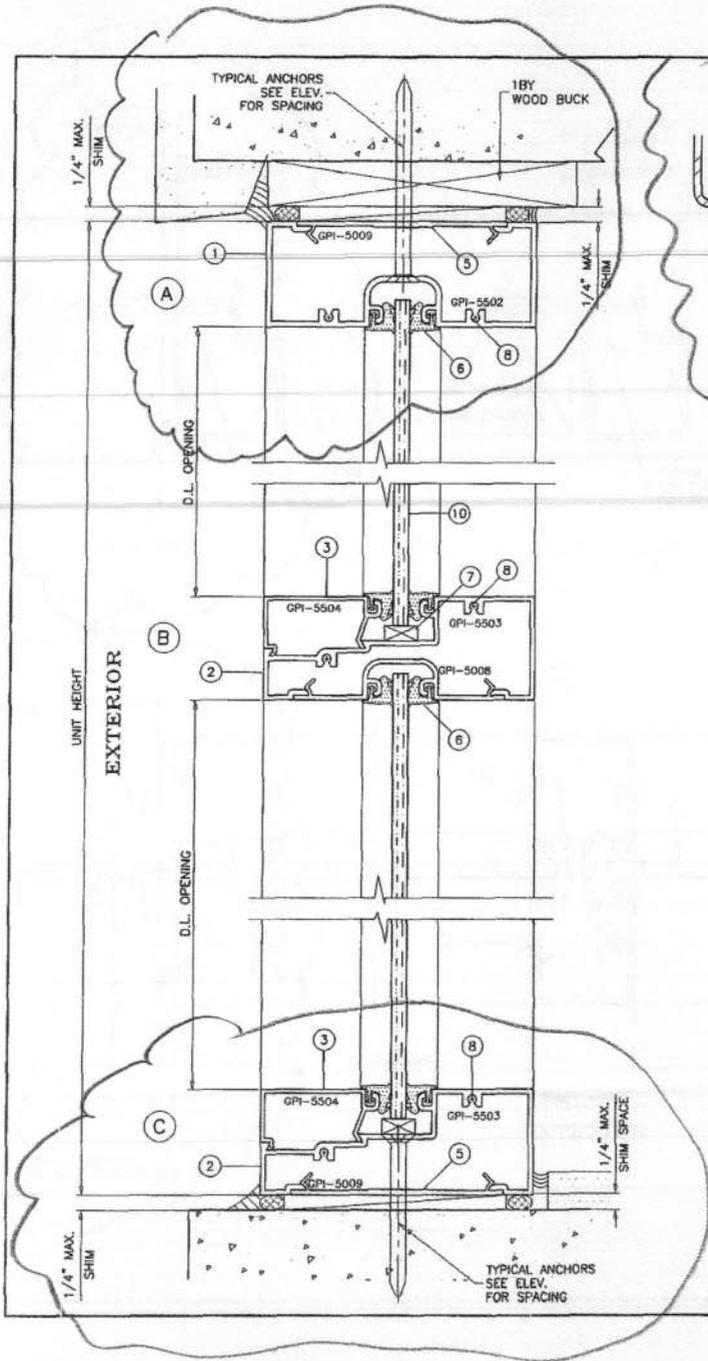
**a f c**  
**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 12345 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL. (305) 264-8100 FAX. (305) 262-8978

SERIES 4500 ALUM FLUSH GLAZED SYSTEM (N.I.)  
**GOPI GLASS CORPORATION**  
 7450 N.W. 41 STREET  
 MIAMI, FL. 33166  
 TEL. (305) 992-2009 FAX. (305) 477-0992

no.	date	by	description
D	12.10.08		UPDATED FOR 2007 FBC
E	02.03.12		NO CHANGE THIS SHEET

date: 10-15-97  
 scale: -  
 dr. by: HAMID  
 chk. by:

drawing no.  
**97-38**  
 sheet 4 of 7



**TYPICAL ANCHORS:** SEE ELEV. FOR SPACING

**TYPE 'A'**- 1/4" DIA. ULTRACON BY 'ELCO' (Fu=177 KSI, Fy=155 KSI)  
 INTO 2BY WOOD BUCKS OR WOOD STRUCTURES  
 1-1/2" MIN. PENETRATION INTO WOOD  
 THRU 1BY BUCKS INTO CONC. OR MASONRY  
 1-1/4" MIN. EMBED INTO CONC. OR MASONRY

**TYPE 'B'**- 1/4" DIA. ULTRACON BY 'ELCO' (Fu=177 KSI, Fy=155 KSI)  
 DIRECTLY INTO CONC. OR MASONRY  
 1-1/2" MIN. EMBED INTO CONCRETE  
 1-1/4" MIN. EMBED INTO MASONRY

**TYPE 'C'**- #14 SMS OR SELF DRILLING SCREWS (GRADE 2 CRS)  
 INTO METAL STRUCTURES  
 STEEL : 12 GA. MIN. (Fy = 36 KSI MIN.)  
 ALUMINUM : 1/8" THK. MIN. (6063-T5 MIN.)  
 (STEEL IN CONTACT WITH ALUMINUM TO BE PLATED OR PAINTED)

**TYPICAL EDGE DISTANCE**  
 INTO CONCRETE AND MASONRY = 2-1/2" MIN.  
 INTO WOOD STRUCTURE = 1" MIN.  
 INTO METAL STRUCTURE = 3/4" MIN.

CONCRETE AT HEAD, SILL OR JAMBS f'c = 3000 PSI MIN.  
 C-90 HOLLOW/FILLED BLOCK AT JAMBS f'm = 2000 PSI MIN.

**SEALANTS:**  
 GLAZING BEAD TO FRAME, MULLION AND FRAME SEAMS AND ALL FRAME CORNERS SEALED WITH CLEAR/ALUM COLORED SILICONE 'SCHNEE MOREHEAD 5504'.

WOOD BUCKS AND METAL STRUCTURES NOT BY GOPI GLASS MUST SUPPORT LOADS IMPOSED BY GLAZING SYSTEM AND TRANSFER THEM TO THE BUILDING STRUCTURE.

Engr: JAWAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3538

*[Signature]*

**PRODUCT REVISED**  
 as complying with the Florida Building Code  
 Acceptance No 12-031506  
 Expiration Date 12/04/2013  
 Miami Dade Product Control

MAR 15 2012

**afC**  
**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 12335 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL (305) 264-8100 FAX (305) 262-6978  
 STORE: 97-38GCC

SERIES 4500 ALUM FLUSH GLAZED SYSTEM (N.L.)  
**GOPI GLASS CORPORATION**  
 7450 N.W. 41 STREET  
 MIAMI, FL. 33166  
 TEL (305) 992-2009 FAX (305) 477-0992

revisions:	no	date	description
	D	12.10.08	UPDATED FOR 2007 FBC ANCHORS REV.
	E	02.23.12	

date: 10-15-97  
 scale: 1/2" = 1"  
 dr. by: HAMID  
 chg. by:

drawing no.  
**97-38**  
 sheet 5 of 7

Reviewed  
 Rejected

Furnish as Corrected  
 Revise and Resubmit  
 Submit Specified Item

This review is only for general conformance with the design concept and the information given in the Construction Documents. Corrections or comments made on the shop drawings during this review do not relieve the contractor from compliance with the requirements of the plans and specifications. Review of a specific item shall not include review of an assembly of which the item is a component. The Contractor is responsible for: dimensions to be confirmed and correlated at the jobsite; information that pertains solely to the fabrication processes or to the means, methods, techniques, sequences and procedures of construction; coordination of the Work with that of all other trades and performing all Work in a safe and satisfactory manner.

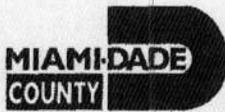
Joseph B. Kaller, Architect

Job No. \_\_\_\_\_

Date 8-26-13

Log No. 001

By Joseph B. Kaller



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY  
AFFAIRS (PERA)  
BOARD AND CODE ADMINISTRATION DIVISION  
**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY, FLORIDA  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/pera/](http://www.miamidade.gov/pera/)

**Gopi Glass Sales & Services Corp.**  
7450 NW 41<sup>st</sup> Street  
Miami, FL 33166

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: Series 4500 Flush Glazed Aluminum Storefront System - N.I.**

*5 UK # E*

**APPROVAL DOCUMENT:** Drawing No. 97-38, titled "Series-4500 Alum. Flush Glazed System (N.I.)", sheets 1 through 7 of 7, dated 10/15/97, with revision E dated 02/23/12, prepared by Al-Farooq Corporation on March 15, 2012, signed and sealed by Javad Ahmad, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING: None**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, series, and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 08-1212.01 and consists of this page 1, evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P. E.**



*J. Gascon  
6/7/12*

NOA No. 12-0315.06  
Expiration Date: December 4, 2013  
Approval Date: June 14, 2012  
Page 1

**COUSINS SURVEYORS & ASSOCIATES, INC.**

PROJECT NUMBER : 7027-13

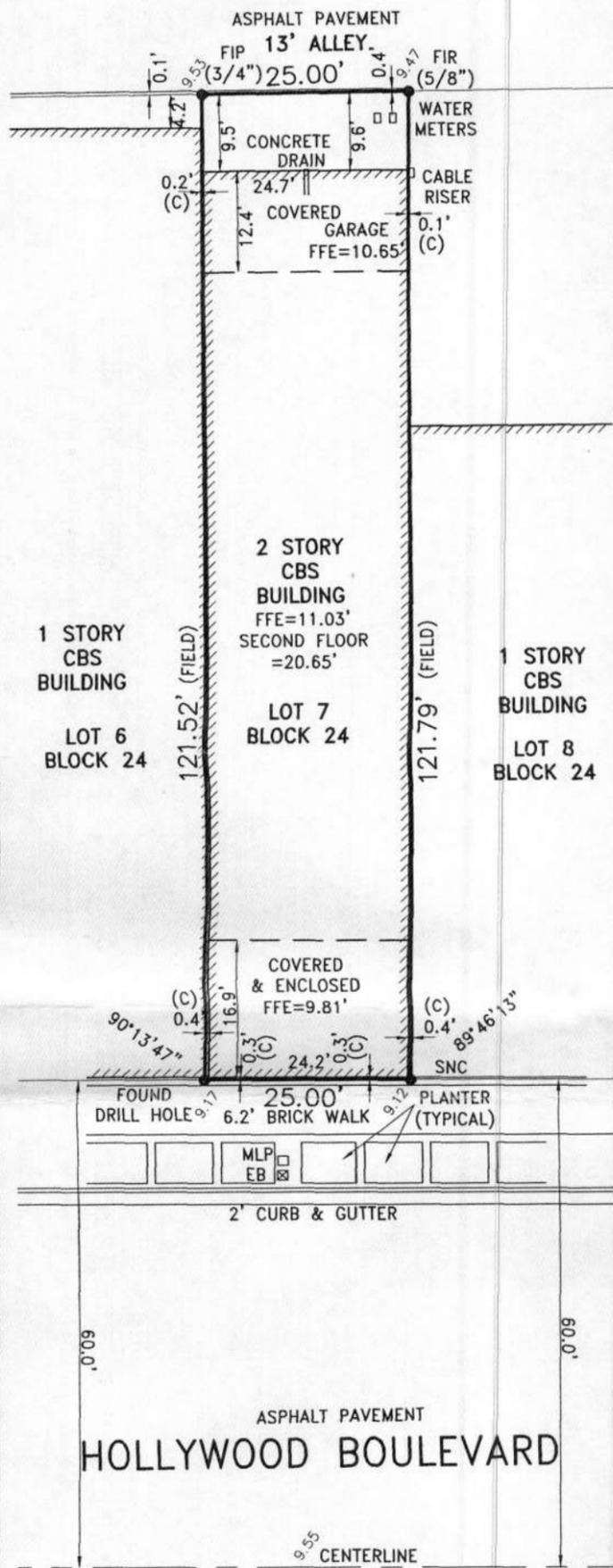
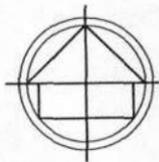


3921 SW 47TH AVENUE, SUITE 1011  
 DAVIE, FLORIDA 33314  
 CERTIFICATE OF AUTHORIZATION : LB # 6448  
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :

ELI SHUBER

SKETCH OF SURVEY



LAND DESCRIPTION :

LOT 7, BLOCK 24 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND:

- CKD CHECKED BY
- CONC CONCRETE
- DWN DRAWN BY
- FB/PG FIELD BOOK AND PAGE
- SIR SET 5/8" IRON ROD & CAP #6448
- SNC SET NAIL AND CAP #6448
- FIR FOUND IRON ROD
- FIP FOUND IRON PIPE
- FNC FOUND NAIL AND CAP
- FND FOUND NAIL & DISC
- P.B. PLAT BOOK
- B.C.R. BROWARD COUNTY RECORDS
- X- CHAIN LINK/ WOOD FENCE
- E- OVERHEAD UTILITY LINE
- WPP WOOD POWER POLE
- 4.24 ELEVATION
- WM WATER METER
- FFE FINISHED FLOOR ELEVATION
- (C) CLEAR

NOTES :

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
7. BENCHMARK REFERENCE: CITY OF HOLLYWOOD BENCHMARK @ JEFFERSON STREET & 16TH AVENUE, ELEV=5.70'

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN MAY, 2013. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: \_\_\_\_\_

*Richard E. Cousins*

RICHARD E. COUSINS  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REGISTRATION NO. 4188

SURVEY DATE : 05/20/13

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	05/20/13	SKETCH	AM	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0317 G
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	10/02/97

PROPERTY ADDRESS :	1935 HOLLYWOOD BLVD
SCALE:	1" = 20'
SHEET	1 OF 1

STOREFRONT SYSTEM  
1935 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020

MIAMI DADE COUNTY APPROVED PRODUCTS IMPACT RATED SHUTTERS ARE REQUIRED

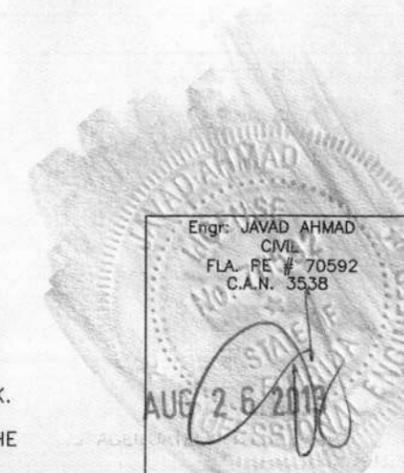
- A. SERIES 4500 FLUSH GLAZED ALUMINUM SYSTEM – N.I.  
 GLAZED WITH 1/4" TEMPERED GLASS.  
 NOA #12-0315.06.
  
- B. SERIES 'S-5000 NARROW STILE' OUTSWING ALUMINUM STOREFRONT DOOR, WITH OR WITHOUT TRANSOM – N.I.  
 GLAZED WITH 3/16" TEMPERED GLASS.  
 NOA #12-0315.07.



**GENERAL NOTES**

1. ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS, EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
2. ALL STEEL IN CONTACT WITH ALUMINUM TO BE PAINTED OR PLATED.
3. EXISTING STRUCTURE MUST SUPPORT THE LOADS IMPOSED BY GLAZING SYSTEM.
4. ~~ALL ALUMINUM CLADDING TO HAVE BRONZE FINISH.~~
5. ~~WIND LOADS PROVIDED BY EOR.~~
6. ONLY MARKED WINDOWS/DOORS ON THE FLOOR PLAN ARE PART OF THE SCOPE OF WORK.
7. ~~ALL STEEL BY OTHERS.~~
8. 1BY WOOD BUCKS MUST BE ANCHORED ADEQUATELY TO WITHSTAND WIND LOAD FROM THE GLAZING SYSTEM

DIMENSIONS SHOWN ARE NOMINAL, GLAZING FABRICATOR TO OBTAIN FIELD DIMENSIONS PRIOR TO FABRICATION.



**AL-FAROOQ CORPORATION**  
 ENGINEERS & PRODUCT DEVELOPMENT  
 1235 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL (305) 264-8100  
 FAX (305) 262-6978  
 SHOPDWG\AFC13-1103

PROJECT :  
 4500 STOREFRONT & DOOR

CLIENT :  
 AOA PROPERTIES L.C.  
 1935 HOLLYWOOD BLVD.  
 HOLLYWOOD, FL 33020

no	date	by	description

date: 8-23-13  
 scale: 3/8"=1'-0"  
 dr. by: J.E.  
 chk. by:

drawing no.  
 AFC13-1103  
 SHEET 1 of 11

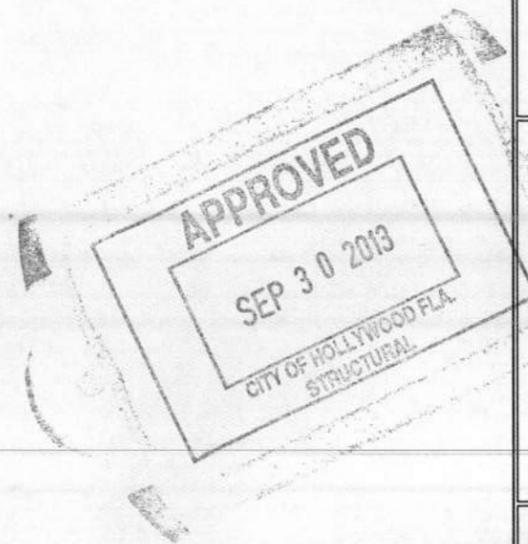


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**WINDOW / DOOR SCHEDULE**

MK #	NOA #	SIZE	REQUIRED PD (PSF)	ALLOWED PD (PSF)	GLASS TYPE	REINF. (Y/N)
A	12-0315.06	73-7/8" x 62"	+44.0 / -47.7	± 79.1	1/4"	N
B	12-0315.06	39-5/8" x 62"	+44.0 / -47.7	± 79.1	1/4"	N
C	12-0315.06	38" x 62"	+44.0 / -47.7	± 79.1	1/4"	N
D	12-0315.06	38" x 80"	+44.0 / -47.7	± 79.1	1/4"	N
E	12-0315.06	39-5/8" x 80"	+44.0 / -47.7	± 79.1	1/4"	N
1	12-0315.07	75-5/8" x 80"	+44.0 / -47.7	+63.0 / -73.0	3/16"	N



PROJECT:  
4500 STOREFRONT & DOOR

CLIENT:  
AOA PROPERTIES L.C.  
1935 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020

no	date	by	description

Engr. JAVAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3538

AUG 26 2013

date: 8-23-13  
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 dr. by: c.e.  
 chk. by:

drawing no.  
AFC13-1103

no	date	description

drawing no.  
AFC13-1103

**A WINDOWALL**  
1 UNIT - 1ST FLR, SOUTH ELEV.  
GOPI GLASS (SERIES 4500)  
NOA #12-0315.06  
PD (ZONE 4) = +44.0  
-47.7 PSF

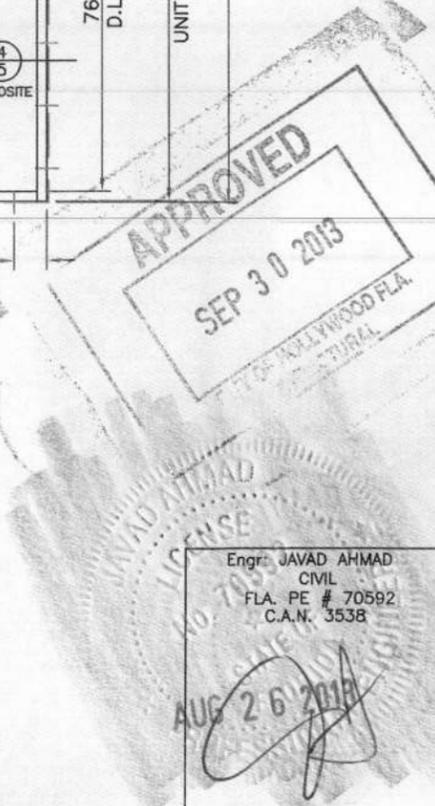
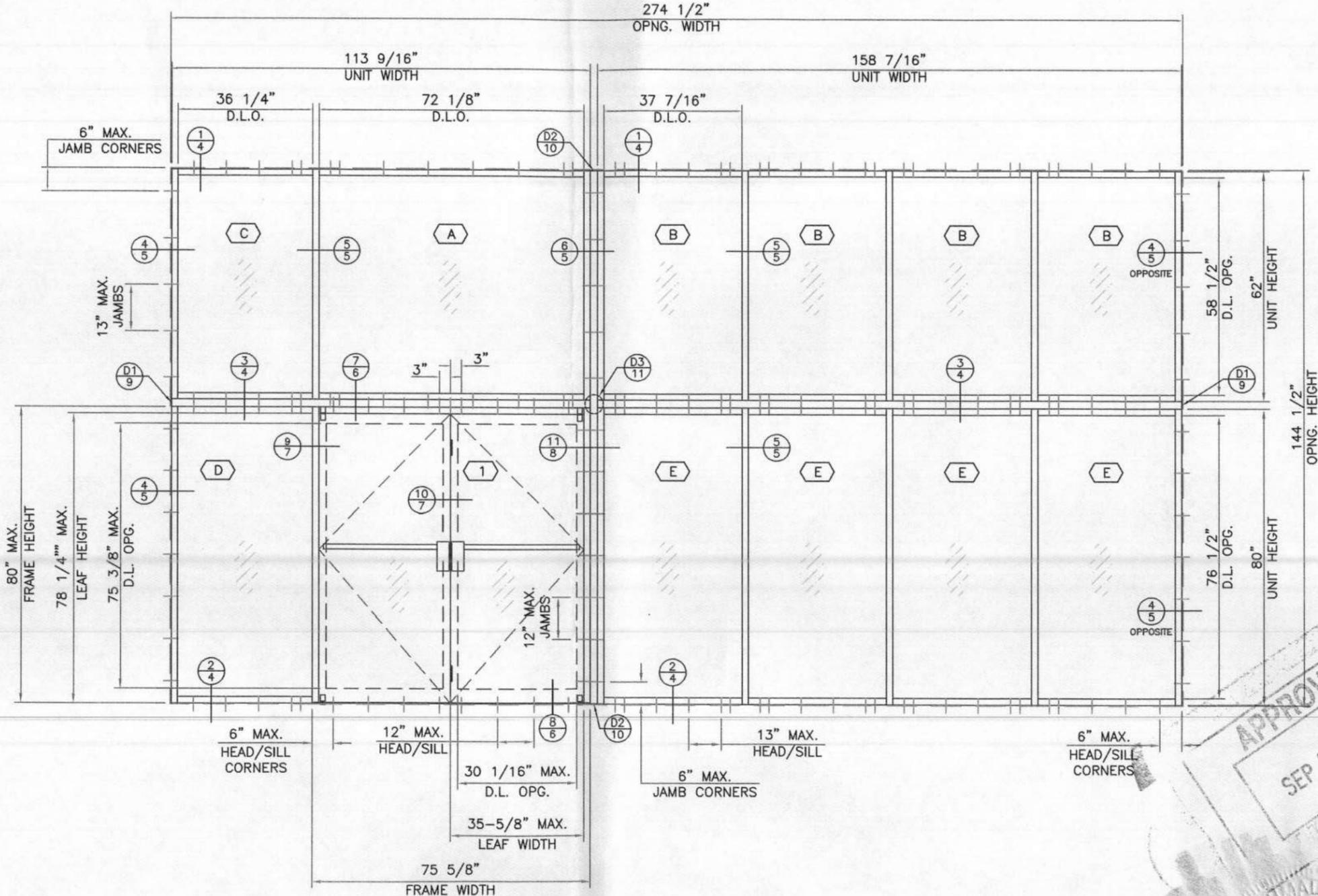
**B WINDOWALL**  
1 UNIT - 1ST FLR, SOUTH ELEV.  
GOPI GLASS (SERIES 4500)  
NOA #12-0315.06  
Pd (ZONE 4) = +44.0  
-47.7 PSF

**C WINDOWALL**  
1 UNIT - 1ST FLR, SOUTH ELEV.  
GOPI GLASS (SERIES 4500)  
NOA #12-0315.06  
PD (ZONE 4) = +44.0  
-47.7 PSF

**D WINDOWALL**  
1 UNIT - 1ST FLR, SOUTH ELEV.  
GOPI GLASS (SERIES 4500)  
NOA #12-0315.06  
PD (ZONE 4) = +44.0  
-47.7 PSF

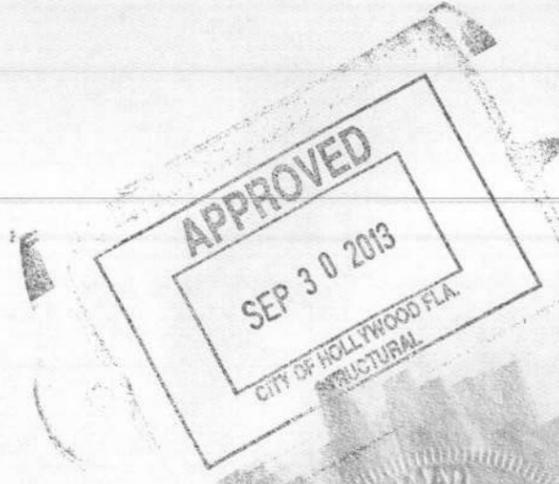
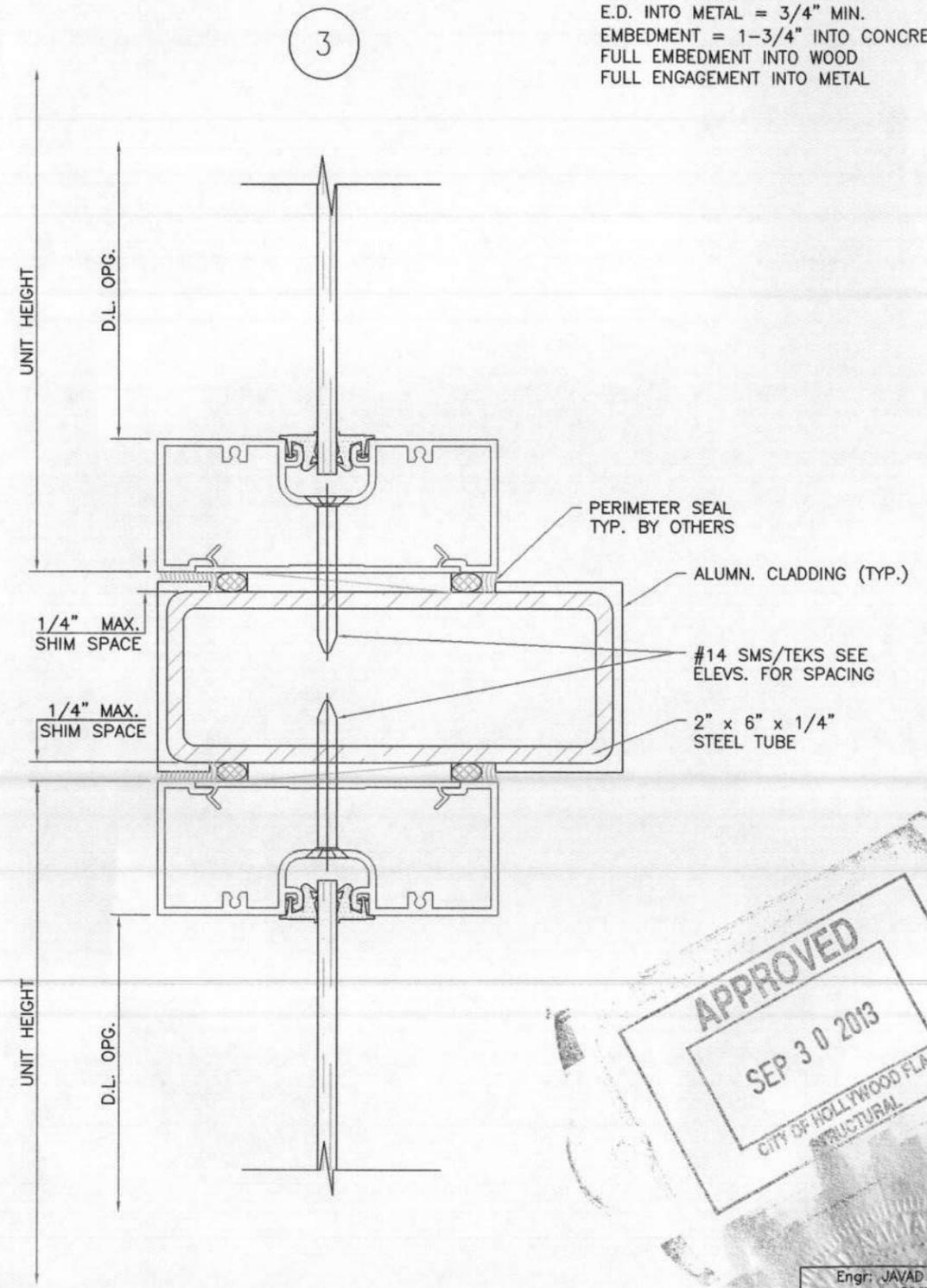
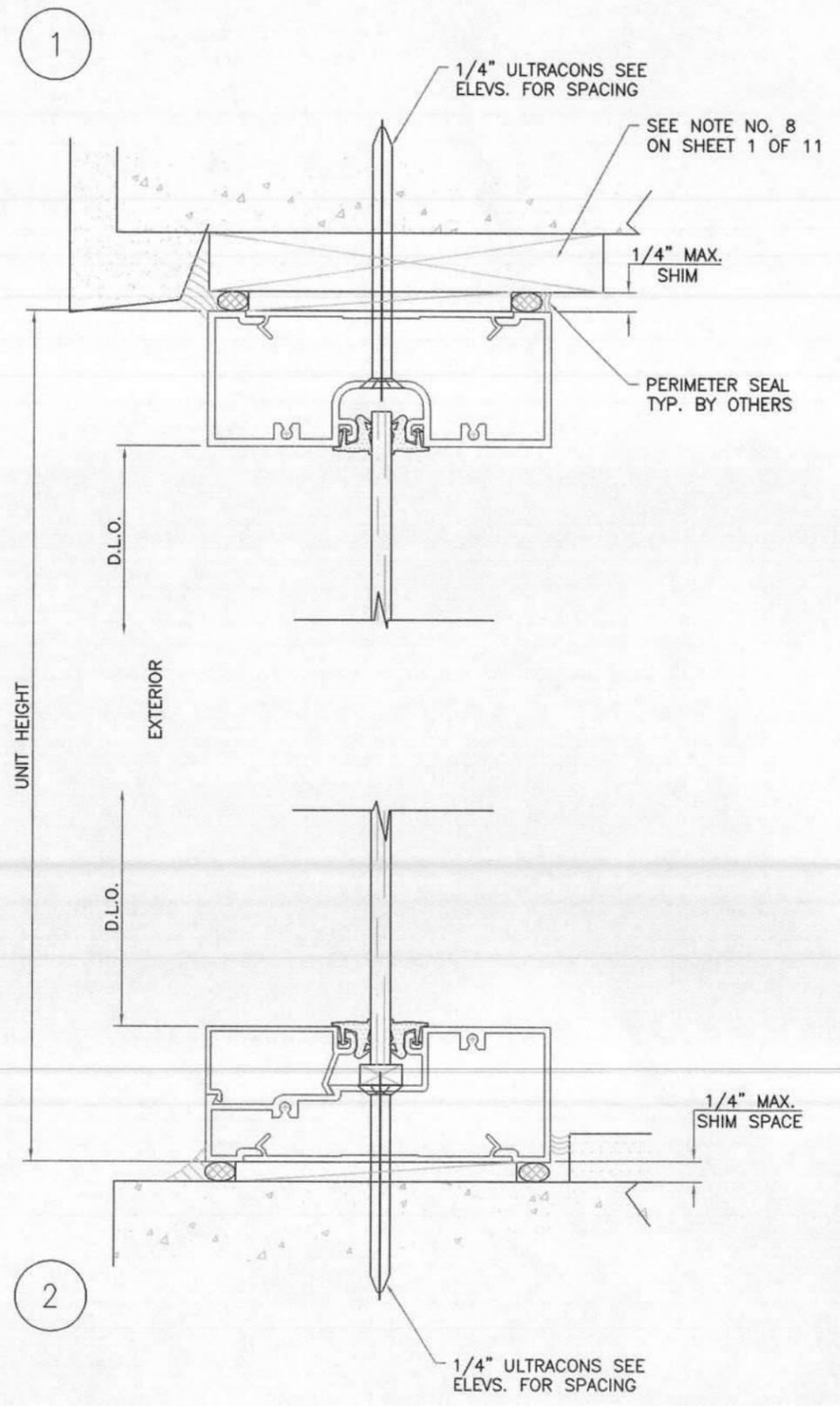
**1 OUTSWING DOUBLE DOORS**  
1 UNIT - 1ST FLR, SOUTH ELEV.  
GOPI GLASS (S-5000)  
NOA #12-0315.07  
Pd (ZONE 4) = +44.0  
-47.7 PSF

**E WINDOWALL**  
1 UNIT - 1ST FLR, SOUTH ELEV.  
GOPI GLASS (SERIES 4500)  
NOA #12-0315.06  
PD (ZONE 4) = +44.0  
-47.7 PSF



SERIES 4500 FLUSH GLAZED ALUMINUM SYSTEM -- N.I.  
 GLAZED WITH 1/4" TEMPERED GLASS.  
 NOA #12-0315.06.

ANCHOR EDGE DISTANCES & EMBEDMENTS  
 E.D. INTO CONCRETE = 2-1/2" MIN.  
 E.D. INTO WOOD = 1" MIN.  
 E.D. INTO METAL = 3/4" MIN.  
 EMBEDMENT = 1-3/4" INTO CONCRETE  
 FULL EMBEDMENT INTO WOOD  
 FULL ENGAGEMENT INTO METAL



Engr: JAVAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3538

AUG 26 2013

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 ENGINEERS & PRODUCT DEVELOPMENT  
 1235 S.W. 87 AVE  
 MIAMI, FLORIDA 33174  
 TEL (305) 264-8100  
 FAX (305) 262-6978

PROJECT:  
 4500 STOREFRONT & DOOR

CLIENT:  
 AOA PROPERTIES L.C.  
 1935 HOLLYWOOD BLVD.  
 HOLLYWOOD, FL 33020

no	date	by	description

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 scale: 1/2" = 1"  
 dr. by: c.E.  
 chk. by:

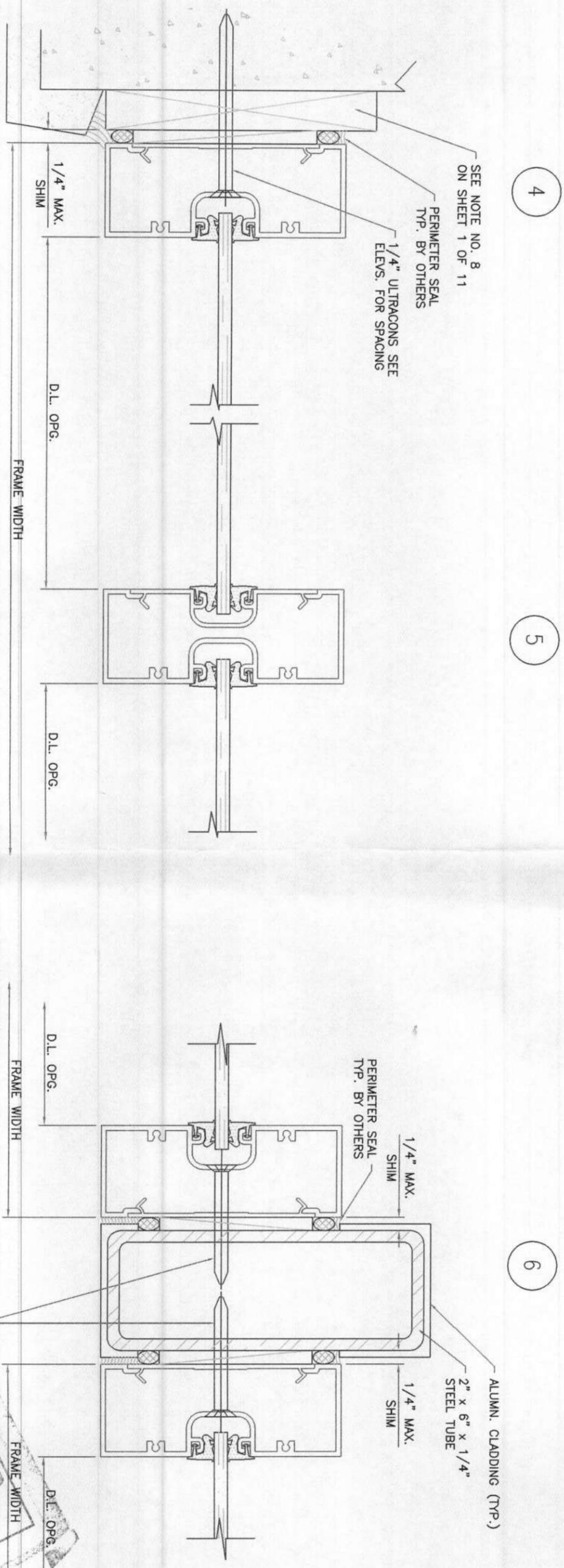
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SHEET 4 of 11

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SERIES 4500 FLUSH GLAZED ALUMINUM SYSTEM - N.I.  
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 E.D. INTO METAL = 3/4" MIN.  
 EMBEDMENT = 1-3/4" INTO CONCRETE  
 FULL EMBEDMENT INTO WOOD  
 FULL ENGAGEMENT INTO METAL



**APPROVED**  
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 CITY OF HOLLYWOOD  
 STRUCTURAL

Engr. JAVAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 CAN. 5538

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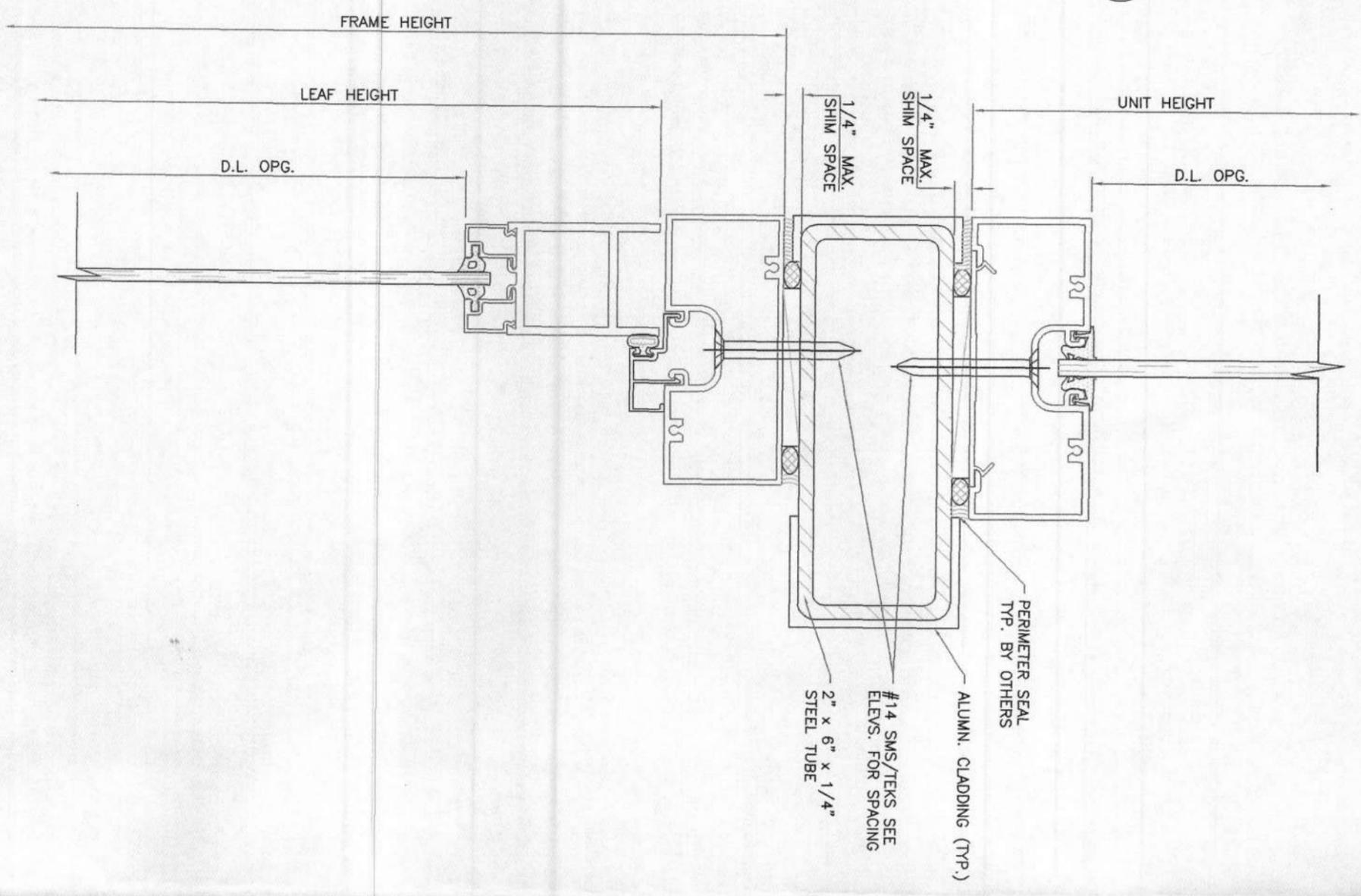
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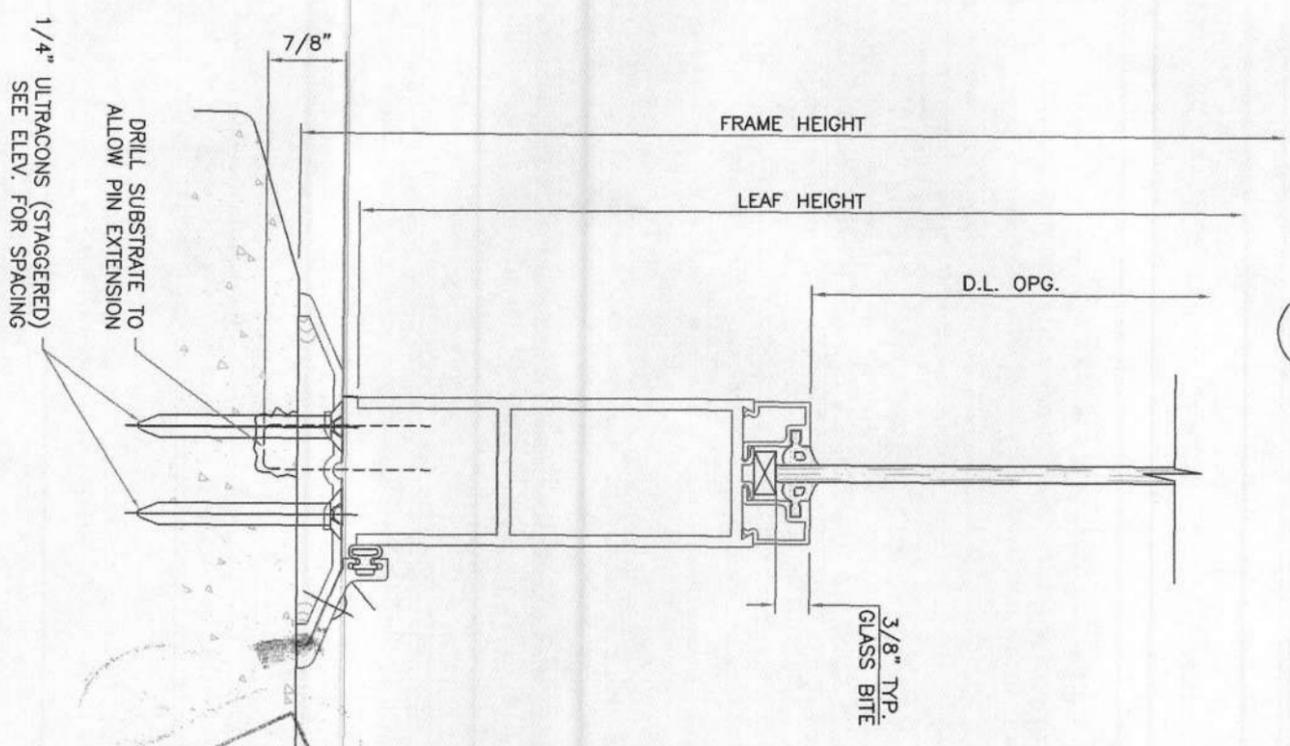
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SERIES 'S-5000 NARROW STILE' OUTSWING ALUMINUM STOREFRONT DOOR, WITH OR WITHOUT TRANSOM - N.I.  
GLAZED WITH 3/16\" TEMPERED GLASS.  
NOA #12-0315.07.

SERIES 4500 FLUSH GLAZED ALUMINUM SYSTEM - N.I.  
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E.D. INTO WOOD = 1\" MIN.  
E.D. INTO METAL = 3/4\" MIN.  
EMBEDMENT = 1-3/4\" INTO CONCRETE  
FULL EMBEDMENT INTO WOOD  
FULL ENGAGEMENT INTO METAL

1/4\" ULTRACONS (STAGGERED)  
SEE ELEV. FOR SPACING

**APPROVED**  
SEP 3 0 2013  
JAVAD AHMAD

Engr. JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
CAN. 3538

AUG 26 2013

date: 8-23-13	REVISIONS:	
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chk. by:		

CLIENT:	AOA PROPERTIES L.C.
	1935 HOLLYWOOD BLVD.
	HOLLYWOOD, FL 33020

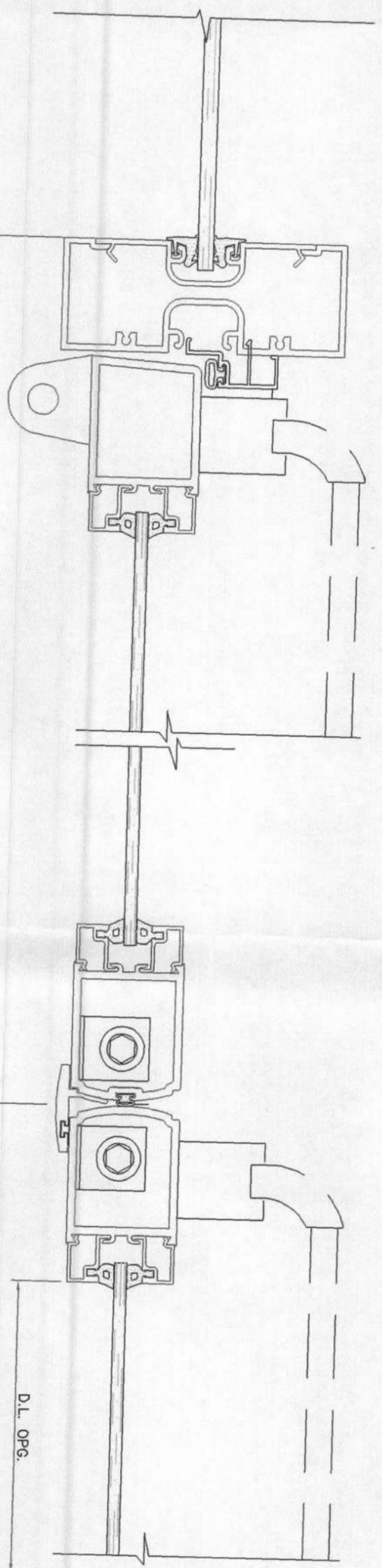
PROJECT:	4500 STOREFRONT & DOOR
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<b>AL-FAROOQ CORPORATION</b>
ENGINEERS & PRODUCT DEVELOPMENT
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MIAMI, FLORIDA 33174
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FAX. (305) 262-6978

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SERIES 'S-5000 NARROW STILE' OUTSWING ALUMINUM STOREFRONT DOOR, WITH OR WITHOUT TRANSOM - N.I.  
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 FULL EMBEDMENT INTO WOOD  
 FULL ENGAGEMENT INTO METAL



9

10

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 SEP 3 0 2013  
 CIVIL ENGINEER  
 HOLLWOOD, FL

Engr. JAVAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 C.A.N. 3638

SEP 21 2013

date:	8-23-13
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dr. by:	c.e.
chk. by:	

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PROJECT :  
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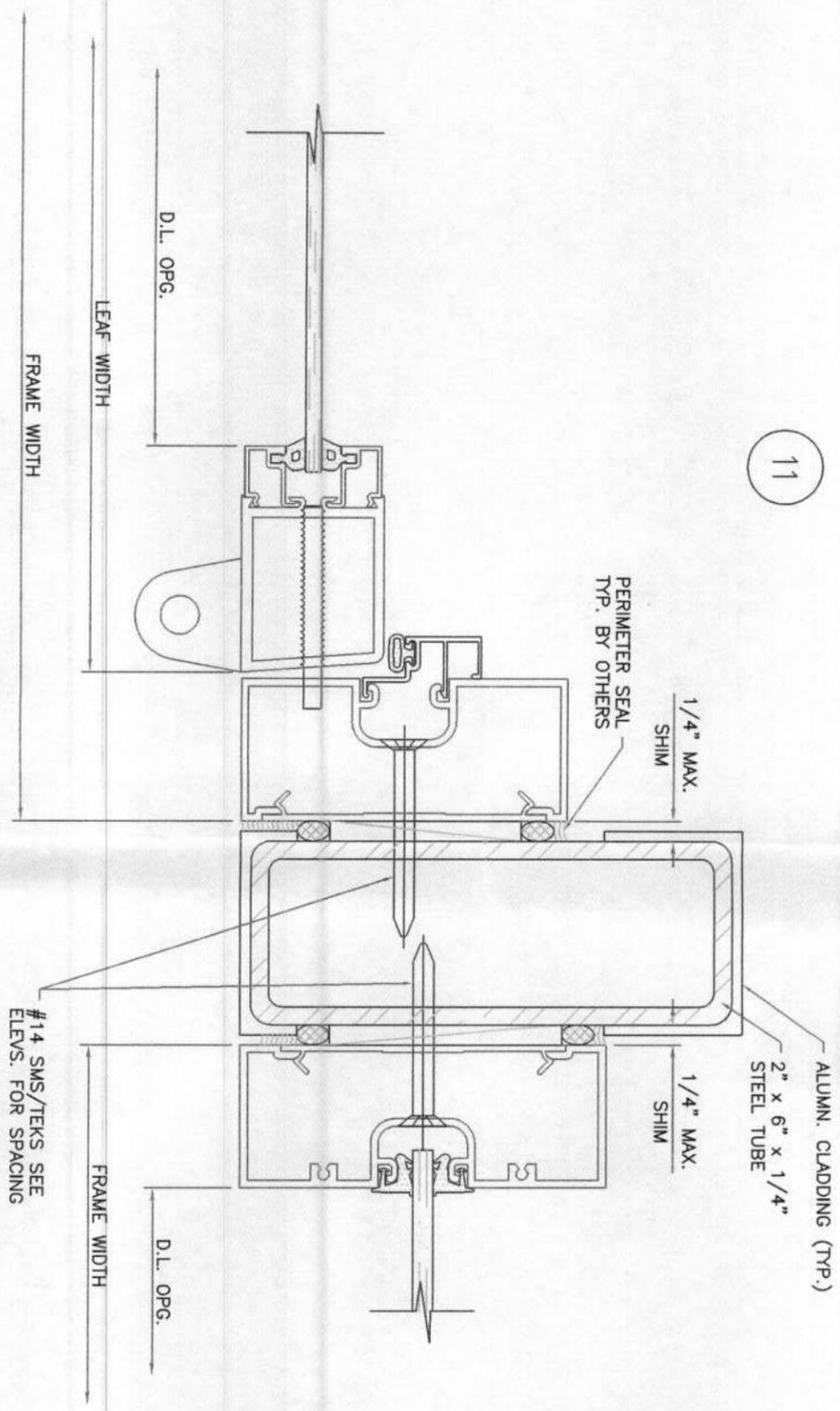
**AL-FAROOQ CORPORATION**  
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11

**APPROVED**  
 SEP 3 0 2013  
 CITY OF HOLLYWOOD FLA.  
 CIVIL ENGINEER

Engr. JAVAD AHMAD  
 CIVIL  
 FLA. PE # 70592  
 CAN. 3538

AUG 26 2013

**AL-FAROOQ CORPORATION**  
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 MIAMI, FLORIDA 33174  
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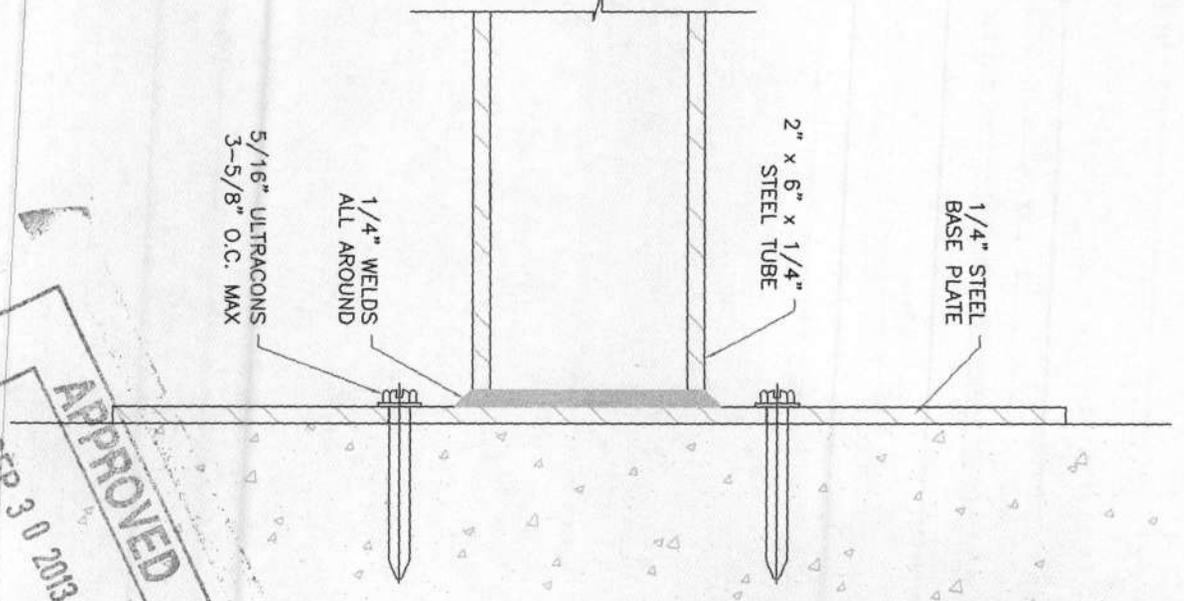
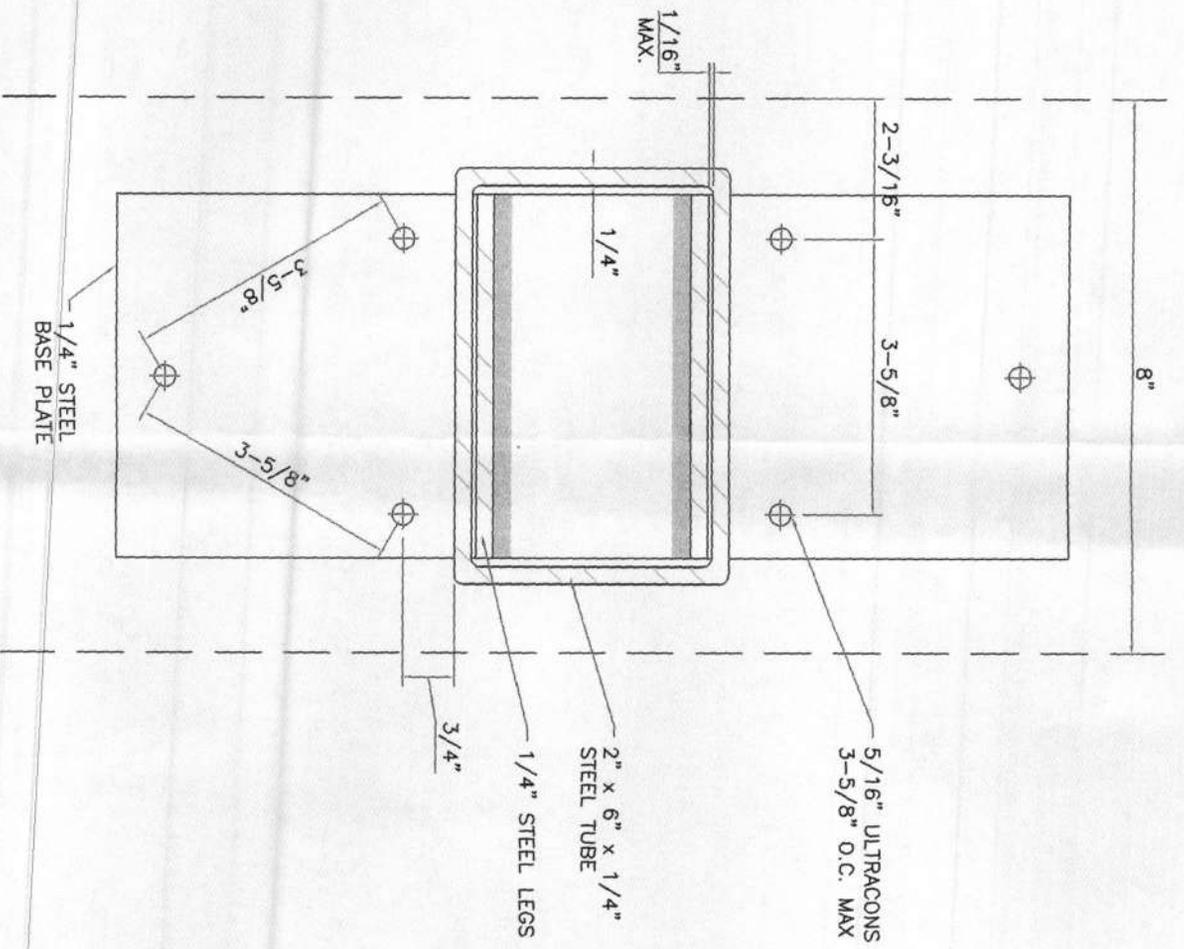
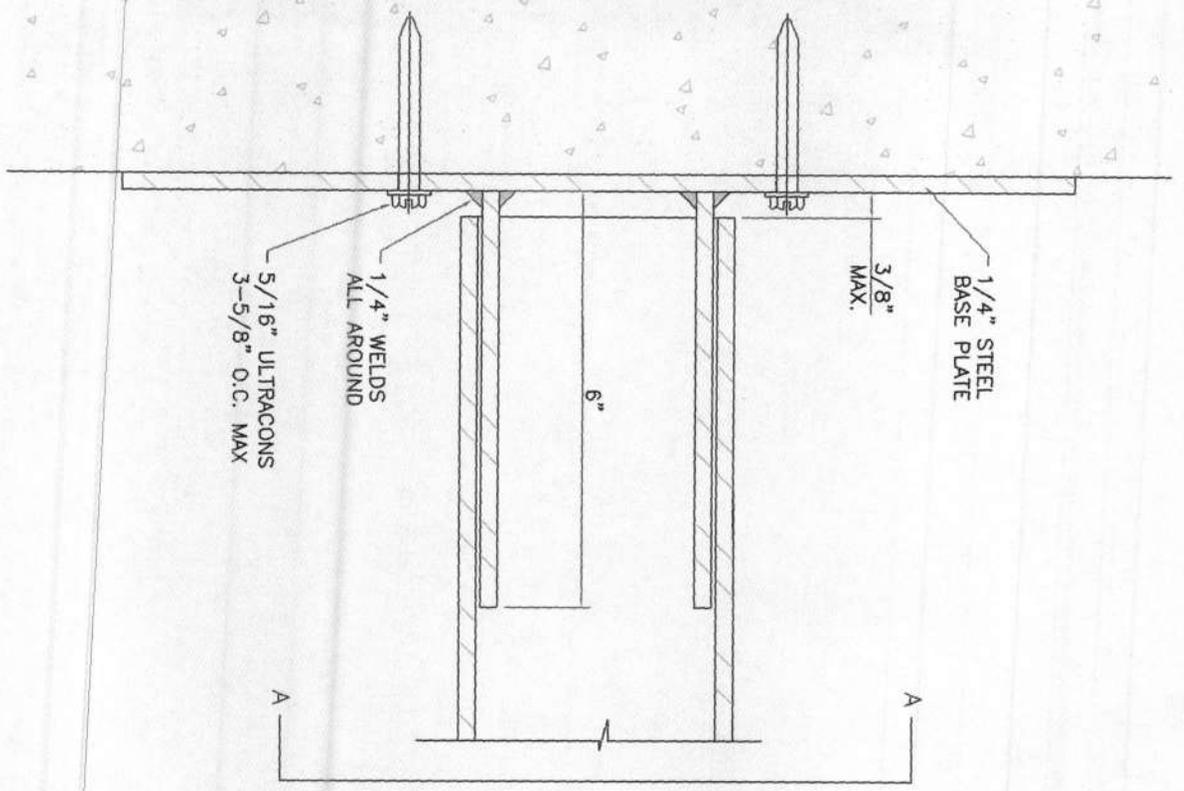
PROJECT :  
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CLIENT :  
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 chk. by:

drawing no.  
 AFC13-1103  
 SHEET 8 of 11



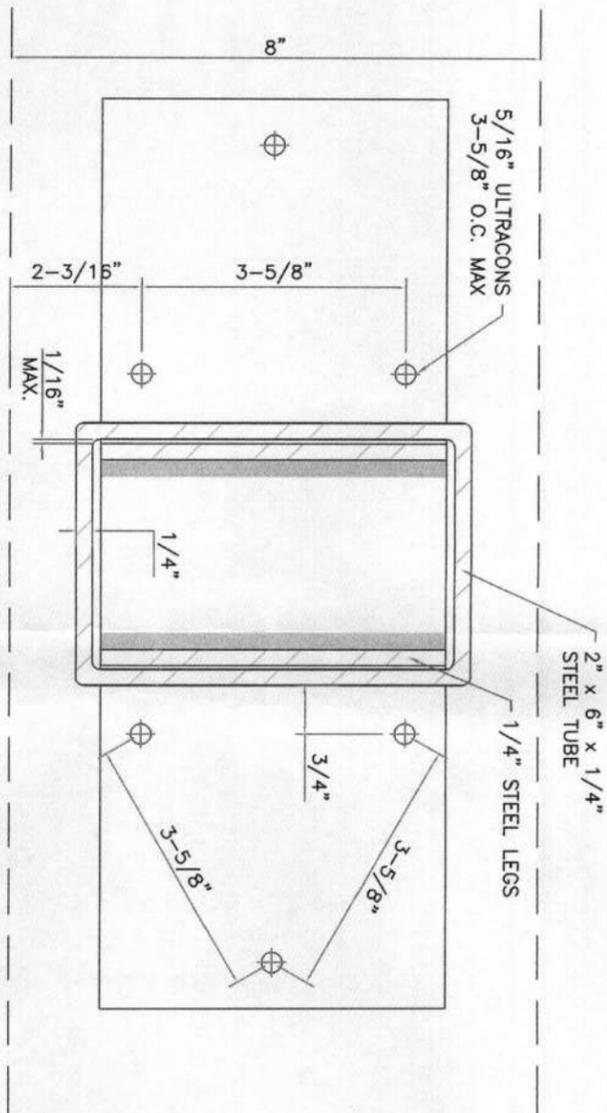
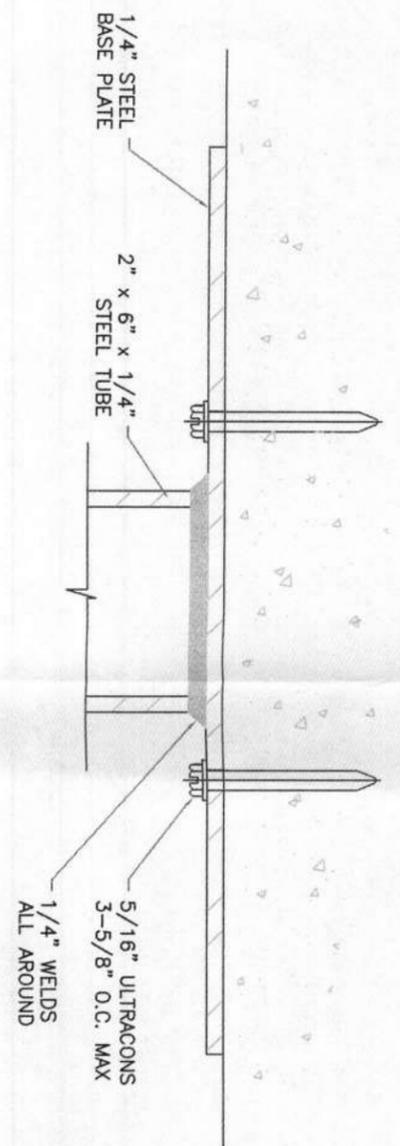
DETAIL D-1  
2" x 6" x 1/4"  
HORIZONTAL STEEL TUBE  
SECTION A-A

**APPROVED**  
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CITY OF HOLLYWOOD FLA.  
STRUCTURAL

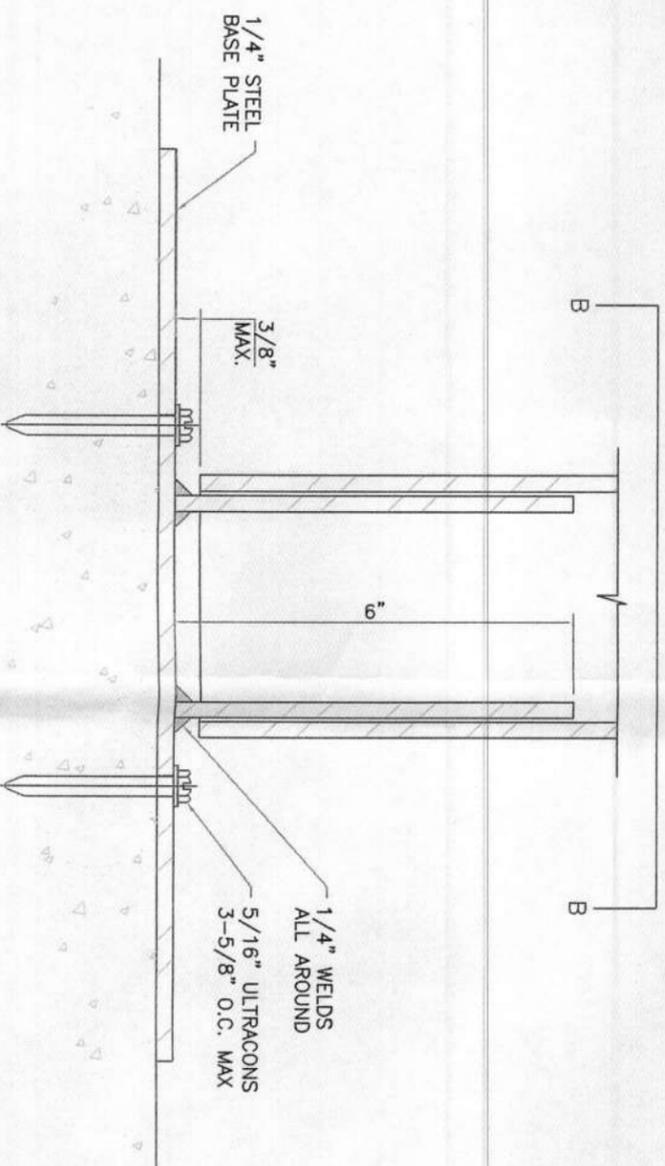
Engr: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3538

AVG 2 2 2013

SHEET 9 of 11	date: 8-23-13	REVISIONS:	CLIENT: AOA PROPERTIES L.C. 1935 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020	PROJECT: 4500 STOREFRONT & DOOR	AL-FAROOQ CORPORATION ENGINEERS & PRODUCT DEVELOPMENT 1235 S.W. 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978
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	dr. by: C.E.				
	chk. by:				

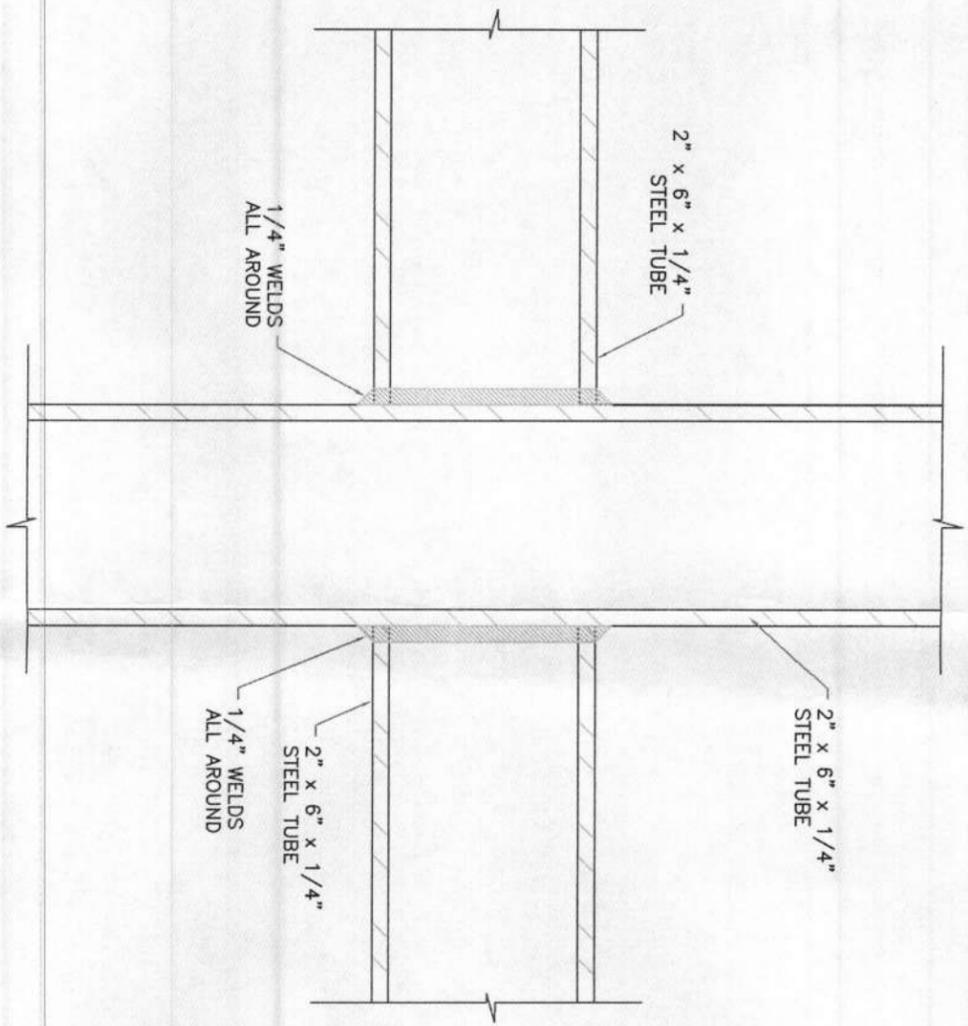


DETAIL D-2  
2" x 6" x 1/4"  
VERTICAL STEEL TUBE  
SECTION B-B



Eng: JAVAD AHMAD  
CIVIL  
FLA. PE # 70592  
C.A.N. 3538  
AUG 26 2013

drawing no. AFC13-1103	date: 8-23-13	REVISIONS: no date by description	CLIENT: AOA PROPERTIES L.C. 1935 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020	PROJECT: 4500 STOREFRONT & DOOR	AL-FAROOQ CORPORATION ENGINEERS & PRODUCT DEVELOPMENT 1235 S.W. 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978	
	scale: 3/8"=1'-0"					



DETAIL D-3  
2" X 6" X 1/4"  
STEEL TUBE CONNECTION

Engr. JAWAD AHMAD  
CIVIL  
FLA. PE # 70592  
CAN. 3538  
AUG 26 2013

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PROJECT :	4500 STOREFRONT & DOOR
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AL-FAROOQ CORPORATION ENGINEERS & PRODUCT DEVELOPMENT 1235 S.W. 87 AVE MIAMI, FLORIDA 33174 TEL. (305) 264-8100 FAX. (305) 262-6978
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SHOPDWG\AFC13-1103	
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# ADA RAMP UPGRADE TO RETAIL BUILDING

@ 1935 HOLLYWOOD BLVD  
HOLLYWOOD, FLORIDA 33020



JOSEPH B. KALLER  
&  
ASSOCIATES, P.A.  
AAA# 26001212  
2417 Hollywood Blvd., Hollywood, Florida 33020  
P 954.920.5746 F 954.926.2841  
joseph@kallerarchitects.com

SEAL

*Joseph B. Kaller*  
8-26-13

JOSEPH B. KALLER  
FLORIDA R.A. # 0009239

## DRAWING INDEX:

**ARCHITECTURAL:**  
T-01 TITLE SHEET  
A-01 DEMOLITION PLAN, FLOOR PLAN & ELEVATION

## GENERAL NOTES:

- PERMITS: CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ANY NECESSARY BUILDING PERMITS, NOT LIMITED TO ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS / HER CERTIFICATE OF OCCUPANCY.
- QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET THE REQUIREMENTS OF BROWARD COUNTY & THE CITY OF HOLLYWOOD.
- OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUBCONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE.
- EXISTING CONDITIONS: CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.
- ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE BUILDING DOCUMENTS PERMIT. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT.
- COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (NFPA 101), AND ALL LOCAL CODES AND ORDINANCES.
- SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT ONE COPY ON REPRODUCIBLE 8 1/2" X 11" AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED, SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.
- PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.
- WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.
- ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS.
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.
- CLEAN UP ALL RUBBISH, REUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT, ORDERLY AND WORKMANLIKE APPEARANCE.
- GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEP BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.
- STORE MATERIALS IN A SAFE AND APPROVED LOCATION, COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.
- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.

## PROJECT INFORMATION:

**ADDRESS:**  
1935 HOLLYWOOD BOULEVARD  
HOLLYWOOD, FLORIDA 33020

**PROPERTY OWNER:**  
AOA PROPERTIES L.C.

**FOLIO NUMBER:**  
5142 15 01 4330

**LEGAL DESCRIPTION:**  
HOLLYWOOD 1-21 B LOT 1 BLK 24

**BUILDING CODES:**  
FLORIDA BUILDING CODE, 2010 ED  
NFPA LIFE SAFETY CODE, 2009 ED  
FLORIDA FIRE PREVENTION CODE, 2009 ED

**JURISDICTION:**  
CITY OF HOLLYWOOD  
BROWARD COUNTY  
STATE OF FLORIDA

**BUILDING INFORMATION:**  
1. EXISTING BUILDING USE: RETAIL

**CODE PROVISION:**  
2. BUILDING AREA (FOOTPRINT): 2,41 sq. ft.

3. LEVEL OF ALTERATION: ALTERATION LEVEL 2

5. NUMBER OF STORIES: 1 STORY - CBS BUILDING

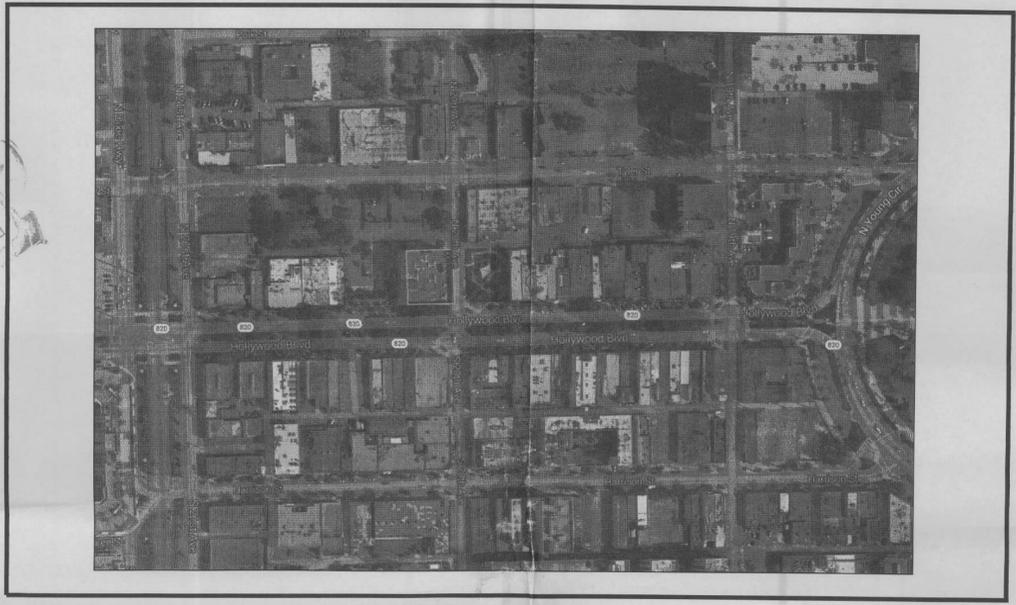
6. ZONING: CC-1 CENTRAL CITY COMMERCIAL LOW INTENSITY

7. NET LOT AREA: 3,011 sq. ft.

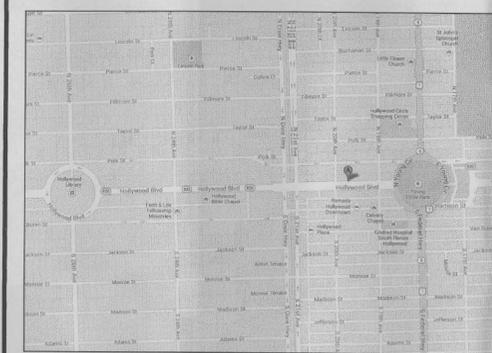
## SCOPE OF WORK:

- REMOVE EXISTING METAL GUARD-RAIL AT FACADE
- WIDEN EXISTING RAMP INTO BUILDING
- NEW ADA RAMP HANDRAIL
- NEW 24" HIGH KNEE WALL IN FACADE
- REPAIR EXISTING STOREFRONT AS PER PRE-ENGINEERED SHOP DRAWINGS ATTACHED

*SEE REVISED LETTER ON FILE FOR*



## MAP VIEW:



## PROJECT TEAM:

**OWNER:**  
AOA PROPERTIES L.C.  
(C) LEONOR ZELGER  
3675 NE 201 ST  
AVENTURA, FLORIDA 33180  
T 305.933.8716  
F 305.454.9893  
L6HUBER@GMAIL.COM

**ARCHITECT:**  
JOSEPH B. KALLER & ASSOCIATES P.A.  
(C) JOSEPH B. KALLER  
2417 HOLLYWOOD BLVD  
HOLLYWOOD, FLORIDA 33020  
P 954.920.5746  
F 954.926.2841  
JOSEPH@KALLERARCHITECTS.COM

PROJECT TITLE

SHEET TITLE

TITLE BLOCK

REVISIONS

PROJECT No.: 13080

DATE: AUG 01, 2013

DRAWN BY: JOSE

CHECKED BY: JBK

SHEET

T-01

1 OF 1

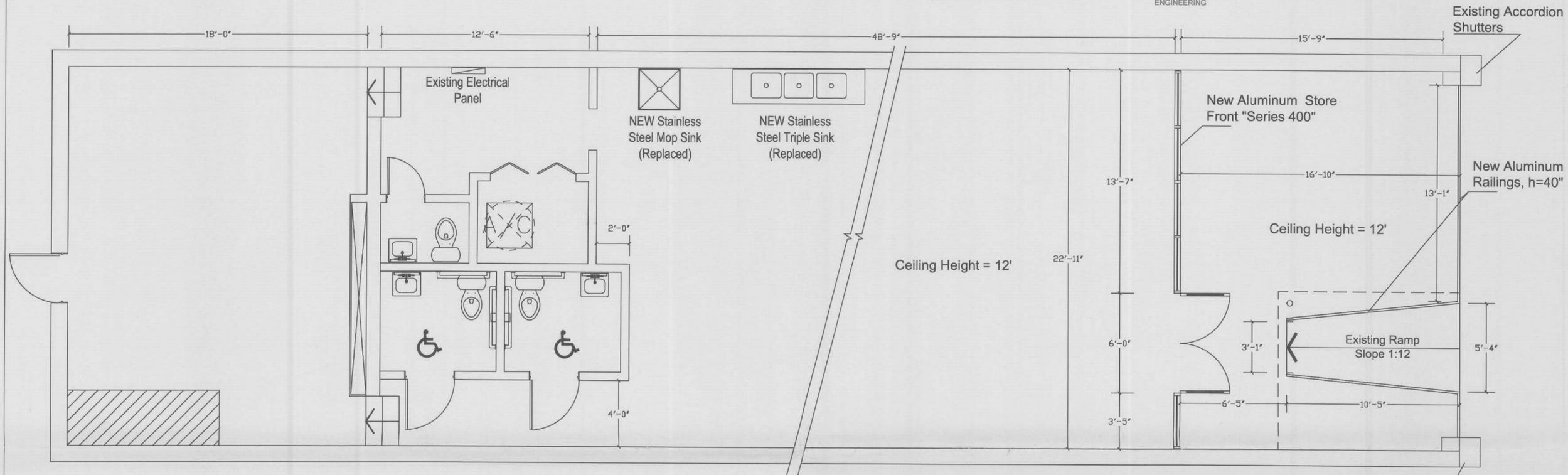


AOA PROPERTIES L.C.  
1935 HOLLYWOOD BLVD.  
HOLLYWOOD, FL 33020

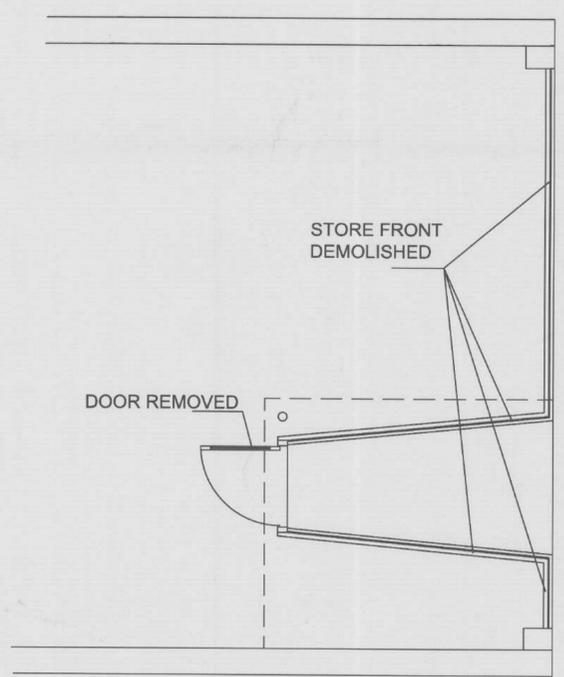
APPROVED  
JUN 25 2013  
CITY OF HOLLYWOOD, FLA  
FIRE

APPROVED  
JUN 24 2013  
CITY OF HOLLYWOOD, FLA  
ENGINEERING

FLOOR PLAN



DEMOLITION PLAN



NOTES

WORK AREAS  
1- First Floor Area 2215 Sq. Ft.  
2- Remodel Area 393 Sq.Ft.

CODE IN EFFECT IS  
FLORIDA BUILDING CODE, EXISTING 2010

ALTERATION - LEVEL 2

SCOPE OF WORK  
- Remove / demolish Storefront and entrance door  
- Replace and Relocate Storefront and door  
- Install a new Aluminium Railings  
- Install New Triple Sink and Mop Sink

APPROVED  
JUL -9 2013  
CITY OF HOLLYWOOD, FLA.  
PUBLIC UTILITIES

OLD STOREFRONT



APPROVED  
JUN 18 2013  
CITY OF HOLLYWOOD, FLA.  
PLUMBING

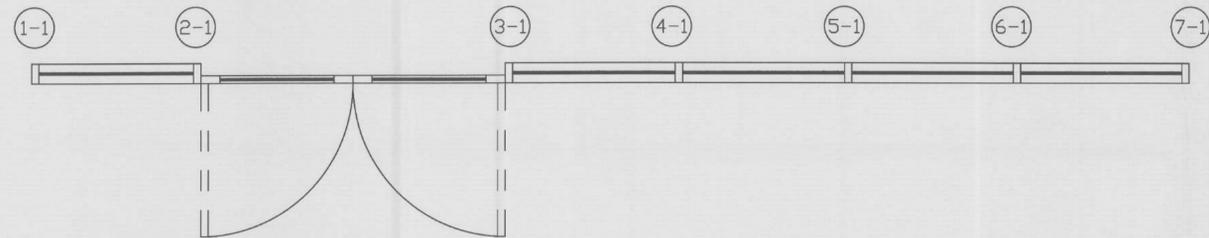
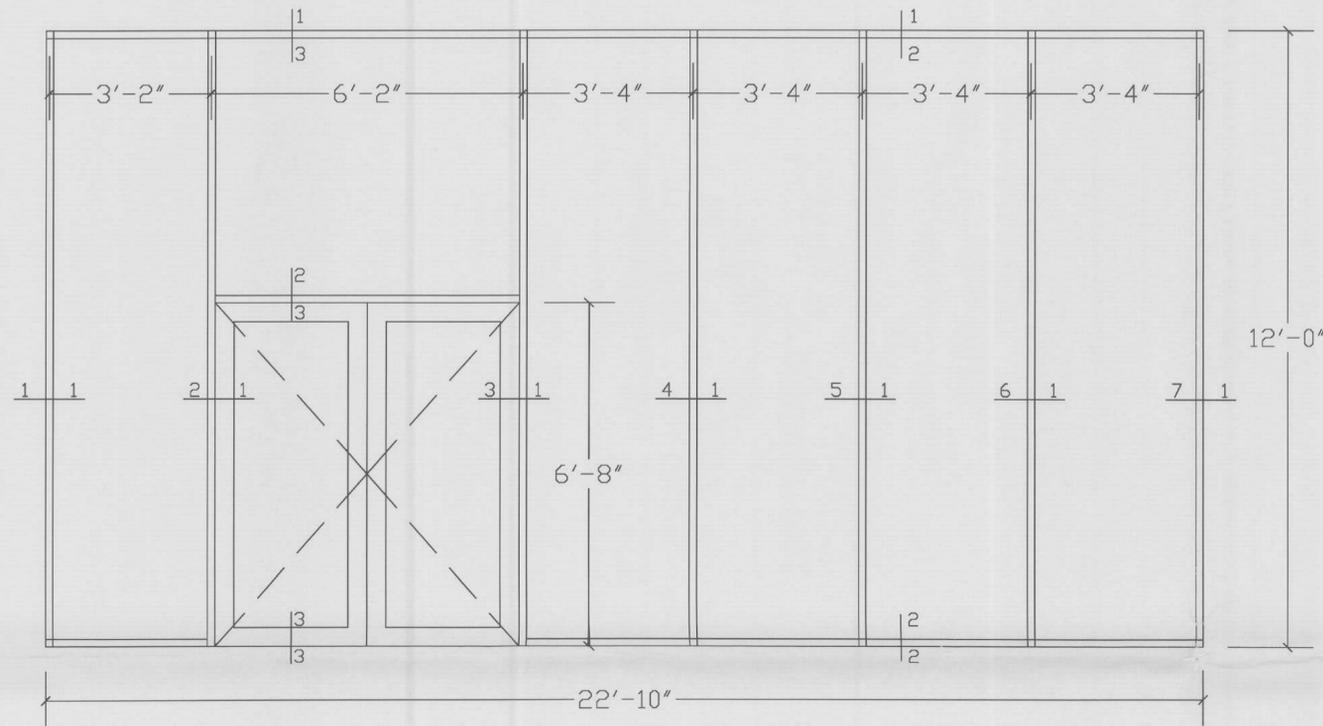
VOID STRUCTURAL  
SEE APPROVED  
SLIP  
W/IN  
ON FILE  
OS

MANUEL E. SIQUES  
FE # 20233  
APPROVED  
AUG 27 2013  
CITY OF HOLLYWOOD, FLA.  
PLUMBING

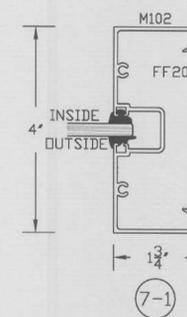
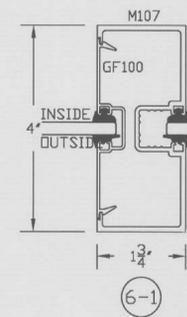
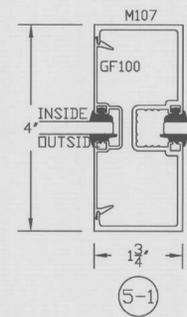
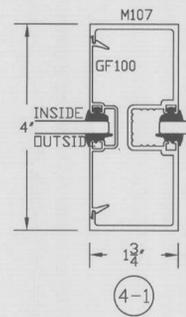
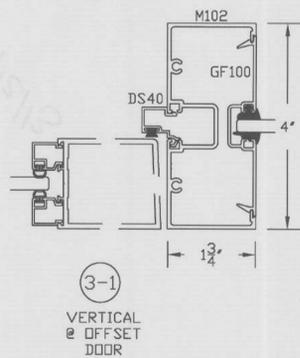
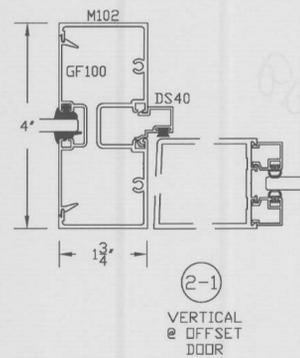
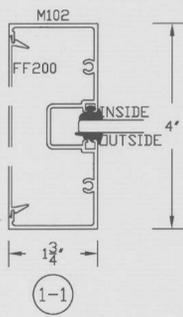
*Signature*  
6/5/13

A 1  
SCALE 1/4" = 1'

AOA PROPERTIES L.C.  
 1935 HOLLYWOOD BLVD.  
 HOLLYWOOD, FL 33020

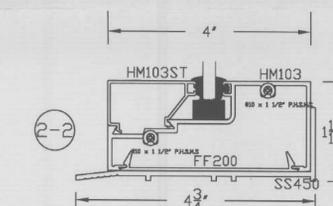
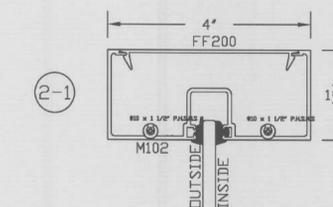
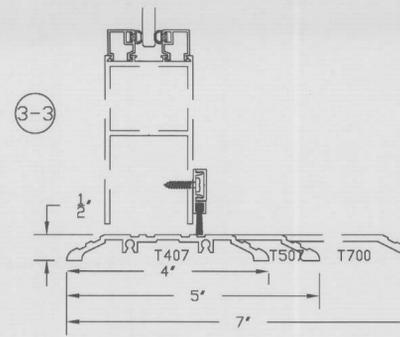
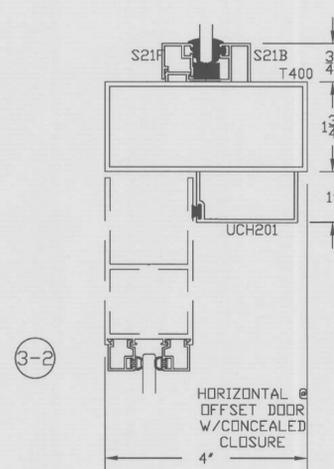
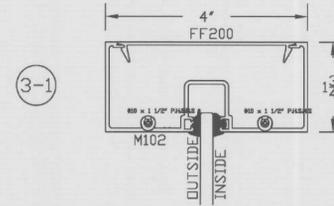


CONCRETE BLOCK



CONCRETE BLOCK

STOREFRONT



MANUEL E SIQUES  
 P.E. # 20233

A2  
 SCALE 1/2" = 1'

T H E C I T Y O F H O L L Y W O O D , F L  
 JOB RECORD REPORT

1935\_004

PERMIT #	CONTRACTOR	OWNER NAME	JOB ADDRESS	IMPROVEMENT DESCRIPTION
B0608489	CGC1507671	AOA PROPERTIES L C	1935 HOLLYWOOD BL	_004
*****	SNAPP INDUSTRIES INC			
*****				
B0608489		REPAIRS-STRUCTURAL		
		REPAIRS TO COLUMN AND BEAM		
	X	IMPROVEMENT VALUE....\$	7,000.00	
		PERMIT FEE.....\$	165.00	
		COUNTY SURCHARGE.....\$	2.45	
	X	STATE SURCHARGE (RADON)..\$	0.00	
		PERMIT FEE DISCOUNT.....\$	0.00	
		PROCESS NUMBER.....	16616	
		DATE ISSUED.....	07/31/06	
JOB: AOA PROPERTIES L C		C OF O DATE.....	09/26/06	
BUILDING- FLOORS: 0	UNITS: 0	C/D: N		
SQ-FT- BLDG: 0	ROOF: 0		MICROFILM NUMBER.....	0608875
WATER- GALN: 0	FEEES: 0.00		OCCUPANCY GROUP.....	
SEWER- GALN: 0	FEEES: 0.00		CONSTRUCTION TYPE REQUIRED.....	
			ASSEMBLY CAPACITY.....	0
			TEMPORARY DAYS.....	0
FOLIO # 514215014330	LOT 7	BLOCK 24	SUBDIVISION- HOLLYWOOD 1-21 B	

----- I N S P E C T I O N H I S T O R Y -----

INSPECTION DESCRIPTION	FLOOR	FULL PART	PASS FAIL	INSP DATE	INSP INITL	CODE SEC
-----						
FINAL-STRUCTURAL	1	FULL	PASS	09/26/06	S	0



CITY OF HOLLYWOOD, FLORIDA
PERMIT APPLICATION

MASTER PROCESS # 16616
MASTER PERMIT #

Permit Type (Check one): [X] STRUC, [ ] FIRE, [ ] ELEC, [ ] MECH, [ ] PLUMB, [ ] PAVING, [ ] WTR/SWR, [ ] DRAINAGE

APPLICATION DATE TAX FOLIO No. 5142 15 01 4330

LEGAL DESCRIPTION: Hollywood 1-21 B Lot 7 Bk 29

JOB NAME AOA Properties LLC PHONE # 305-439-4200

JOB ADDRESS 1935 Hollywood Blvd HOLLYWOOD, BROWARD COUNTY, FL. ZIP

OWNER NAME AOA Property LLC

Owners Address 3679 NE 201 St. City Aventura State FL Zip 33180

WORK DESCRIPTION concrete repairs to spalled column & beam

USE/OCCUPANCY commercial office Liveal 8 SQ. FT. Value of Proposed Work: \$ 7000.00

CONTRACTOR'S NAME Snapp Industries Inc PHONE # 305-635-0687 Fax # 305-638-2131

CONTRACTOR'S ADDRESS 2902 NW 22nd St. CITY MIAMI STATE FL. ZIP 33142

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: CGC1507671 EMAIL ADDRESS

ARCHITECT/ENGINEER'S NAME Joe Shear Gold PHONE # 305-778-1244 FAX #

ARCHITECT/ENGINEER'S ADDRESS 12420 SW 15th Ave CITY PINECREST STATE FL. ZIP 33156

FEE SIMPLE TITLE HOLDER NAME AOA Properties LLC

Fee Simple Title Holder Address 3679 NE 201 St. City Aventura State FL. Zip 33180

BONDING COMPANY NAME

Bonding Company Address City State Zip

MORTGAGE LENDER'S NAME

Mortgage Lender's Address City State Zip

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature Date: 6/13/06
Owner or \*\*Agent
Sworn to (or affirmed) and subscribed before me this 7 day of

Signature Date: 6/11/06
Prime Contractor
Sworn to (or affirmed) and subscribed before me this 13 day of

Signature July 20 06
Donna J. Egan My Commission DD292972 Expires February 22, 2008
NOTARY as to Owner/Agent Personally Known, Identification Provided:

Signature June 20 06
Donna J. Egan My Commission DD292972 Expires February 22, 2008
NOTARY as to Contractor Personally Known, I.D. Provided:



\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: Permit Officer Effective Code: 20 Florida Building Code

Name Lenore Zeller Shuber  
Address 1935 Hollywood Blvd., Hollywood, FL  
Parcel # 51925019330

### NOTICE OF COMMENCEMENT

County of Florida  
County of Broward  
The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

Property Legal Description  Unit  Block  Bldg  
Subdivision/Condominium Lot 7 BK 24

Lengthy Legal, please see description attached hereto space above reserved for use of recording office.

General Description of Improvement: Quite Repairs

Property Owner Name: AOA Properties LLC 3679 NE 201 St  
Mailing Address: Aventura FL 33180  
and interest in property: Fee Simple  
Name/mailing address of the supplier/holder if other than owner:

Contractor name: Snapp Industries Inc  
Address: 2902 NW 22nd St, Miami FL 33142  
Phone Number: 305-635-0687 Fax#: (optional- if service by fax is acceptable)

If Surety Bond, Name: \_\_\_\_\_  
Address of Surety: \_\_\_\_\_  
and amount of Bond: \$ \_\_\_\_\_ (Copy of bond must be attached to this Notice at time of recording)  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable)

Lender name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable)

Persons within the State of Florida (names and addresses) designated by property owner upon whom Notices or other documents may be served as provided by Section 713.13(1)(A)7, Florida Statutes:  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable)

In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided by Section 713.13(1)(B), Florida Statutes:  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable)

Expiration date of this Notice: \_\_\_\_\_ (Expires one year from date recorded unless a different date is specified)

Lienor signature: [Signature] Owner signature: \_\_\_\_\_  
Printed name: Lenore Zeller Shuber Printed name: \_\_\_\_\_

WORTH TO AND SUBSCRIBED before me this 7 day of July, by:  
Lenore Zeller Shuber as identified

Notary signature: [Signature]  
Printed name: \_\_\_\_\_  
Notary: Donna J. Egan, My Commission Expires February 22, 2008

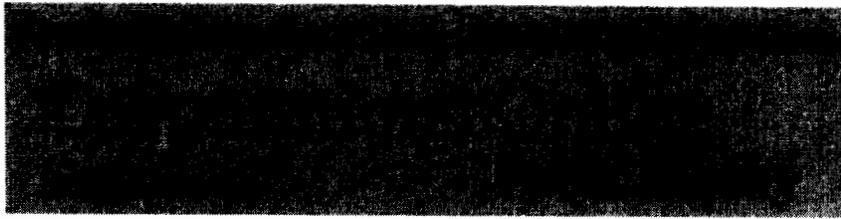


I hereby certify this document to be a true, correct and complete copy of the record filed in my office. Dated this 12 day of July 2006

By [Signature] Deputy Clerk

space above this line reserved for use of the recording office.





**Florida Limited Liability**

**AOA PROPERTIES, L.C.**

**PRINCIPAL ADDRESS**

3679 NE 201 STREET  
AVENTURA FL 33180

**MAILING ADDRESS**

3679 NE 201 STREET  
AVENTURA FL 33180

**Document Number**  
L00000001235

**FEI Number**  
651056441

**Date Filed**  
01/31/2000

**State**  
FL

**Status**  
ACTIVE

**Effective Date**  
NONE

**Total Contribution**  
0.00

**Registered Agent**

<b>Name &amp; Address</b>
GORFINKEL, NESTOR 20818 WEST DIXIE HIGHWAY AVENTURA FL 33180
Address Changed: 11/07/2005

**Manager/Member Detail**

Name & Address	Title
ZELLER, LEONOR S 3679 NE 201ST STREET  AVENTURA FL 33180	MGRM



**Annual Reports**



Report Year	Filed Date
2004	03/26/2004
2005	03/18/2005
2005	11/07/2005

[Previous Filing](#)[Return to List](#)[Next Filing](#)

No Events  
No Name History Information

### Document Images

Listed below are the images available for this filing.

11/07/2005 -- ANN REP/UNIFORM BUS REP  
03/18/2005 -- ANNUAL REPORT  
03/26/2004 -- ANNUAL REPORT  
01/17/2003 -- LIMITED LIABILITY CORPORATION  
03/18/2002 -- COR - ANN REP/UNIFORM BUS REP  
03/30/2001 -- ANN REP/UNIFORM BUS REP  
01/31/2000 -- Florida Limited Liabilites

**THIS IS NOT OFFICIAL RECORD; SEE DOCUMENTS IF QUESTION OR CONFLICT**



AMERICAN SOCIETY  
OF CIVIL ENGINEERS  
NATIONAL ACADEMY  
OF BUILDING INSPECTION  
ENGINEERS

*J. N. Sheingold, P.E.*  
CONSULTING ENGINEER  
PROFESSIONAL BUILDING INSPECTION  
12420 S.W. 75th AVE., / MIAMI, FLORIDA 33156  
TELEPHONE: (305) 378-1244  
Established 1976

NATIONAL SOCIETY OF  
PROFESSIONAL ENGINEERS  
FLORIDA ENGINEERING  
SOCIETY

28 August, 2006

Broward County  
Building Department  
955 S. Federal Highway  
Fort Lauderdale, Florida 33316

Ref: 1935 Hollywood Blvd  
Hollywood, Florida

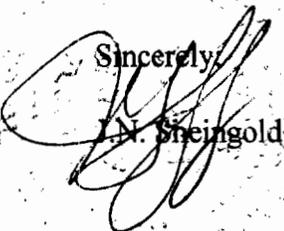
Att: Building Official

RE: PERMIT # B0608489

I, J.N. Sheingold, P.E., having performed and approved the required inspections, hereby attest that to the best of my knowledge and belief, the repairs to the exterior wall reinforced concrete column and tie beam comply with the permitted documents. I also attest to the best of my knowledge and belief, the approved permit plans represent the as-built condition of the structural and envelope components of said structure. This document is being prepared in accordance with Section 105.13.4.1 of the Florida Building Code and is being submitted to the Broward County building department at the time of final inspection for the above referenced structure.

Should you have any further questions or need any additional information, please do not hesitate to contact me.

Sincerely,

  
J.N. Sheingold, P.E. 21181



**FORM FOR "SPECIAL INSPECTOR"**  
**SECTION 105.10 - BROWARD COUNTY ADMINISTRATIVE CODE**  
**AND THE FLORIDA BUILDING CODE**

**NOTICE TO PROPERTY OWNER:**

You are hereby directed in accordance with Section 105.10 of the Broward County Administrative Code and the Florida Building Code, to retain a Special Structural Inspector (A Florida Registered Professional Engineer or Architect) to perform the following mandatory or discretionary inspections, as outlined in Sections 105.10, 1822, 2122.4, 2223.11.1, 1927.12.1, 1927.12.2 of the Florida Building Code and submit progress reports, inspection reports and a Certificate of Compliance to the Building Official as per Sections 105.10.4 and 105.10.5 of the Florida Building Code. **Note:** The Building Official determines which discretionary inspections are required to be performed.

Identification, Control or  
BUILDING PERMIT # \_\_\_\_\_

DATE: \_\_\_\_\_  
PROJECT NAME: AOA PROPERTIES LLC  
JOB ADDRESS: 1935 HOLLYWOOD BLVD  
City HOLLYWOOD, FL Zip \_\_\_\_\_  
LEGAL DESCRIPTION: (See attached, if necessary)  
HOLLYWOOD 1-21 B LOT 7 B1K 24 FOLIO #: 519215014330

**MANDATORY INSPECTION TYPE BY CODE:**

- 1) Precast Concrete Units - Section 1927.12.1, 105.10.2.1  
Yes  /  No  /
- 2) Precast Concrete Units - Section 1927.12.2, 105.10.2.1  
Yes  /  No  /
- 3) Engineered Unit Masonry - Section 2122.4, 105.10.2.2 (All Groups except Group R-3)  
Yes  /  No  /
- 4) Connections - Section 2218.2, 105.10.2.3  
Yes  /  No  /
- 5) Metal Systems Building - Section 2223.11.1, 105.10.2.4  
Yes  /  No  /

**APPROVED**  
JUL 27 2006  
CITY OF HOLLYWOOD, FL  
STRUCTURAL

**DISCRETIONARY INSPECTION TYPE BY BUILDING OFFICIAL:**

- 1) Building Structures or part thereof of Unusual Size, Height, Design or Method of Construction and Critical Structural Connections - Section 105.10.1.1  
Yes  /  No  /
- 2) Windows, Glass Doors and Curtain Walls on buildings over two (2) stories - Section 105.10.1.1  
Yes  /  No  /
- 3) Pile Driving Only - Sections 1822, 105.10.1.1  
Yes  /  No  /
- 4) Precast Concrete Units - Sections 1927.12.2, 105.10.3 (Group R-3 Occupancy)  
Yes  /  No  /
- 5) Engineered Unit Masonry - Sections 2122.4, 105.10.3 (Group R-3 Occupancy)  
Yes  /  No  /



AMERICAN SOCIETY  
OF CIVIL ENGINEERS  
NATIONAL ACADEMY  
OF BUILDING INSPECTION  
ENGINEERS

*J. N. Sheingold, P.E.*  
CONSULTING ENGINEER  
PROFESSIONAL BUILDING INSPECTION  
12420 S.W. 75th AVE., / MIAMI, FLORIDA 33156  
TELEPHONE: (305) 378-1244  
Established 1976

NATIONAL SOCIETY OF  
PROFESSIONAL ENGINEERS  
FLORIDA ENGINEERING  
SOCIETY

3 July, 2006

Broward County  
Building Department  
955 S. Federal Highway  
Fort Lauderdale, Florida 33316

Att: Building Official

Dear Sir:

We have been retained by the owners of 1935 Hollywood Boulevard, Hollywood, to provide special inspector services as defined in section 105 of the F.B.C. The repairs are to be performed by Snapp Industries, under contract to the owner. The repairs will consist of the following:

1. Guniting repair to 8 lineal feet of reinforced concrete column
2. Guniting repair to 4 lineal feet of reinforced concrete tie beam.

Location of repair is Northeast corner of rear exterior wall.

1. Remove all loose and spalling concrete using a light chipping hammer.
2. Inspect exposed interior reinforcing steel and replace any steel damaged in excess of 15%. Should laps be required, at least 48 bar diameters or 30 inch minimum is required as per ACI 318-99. Steel is to be 60 KSI. Concrete cover for steel rebar is to be a minimum of 1.5 inches.
3. Embedment of rebar into existing concrete structures is to be a minimum of 9 inches and Sika 31 Gel epoxy is to be used.
4. Sandblast existing exposed rebar and coat with Armatec 110 or equivalent.
5. Guniting to original dimension.

In progress inspections will be performed and a final inspection report will be forwarded upon completion.

Very truly yours,

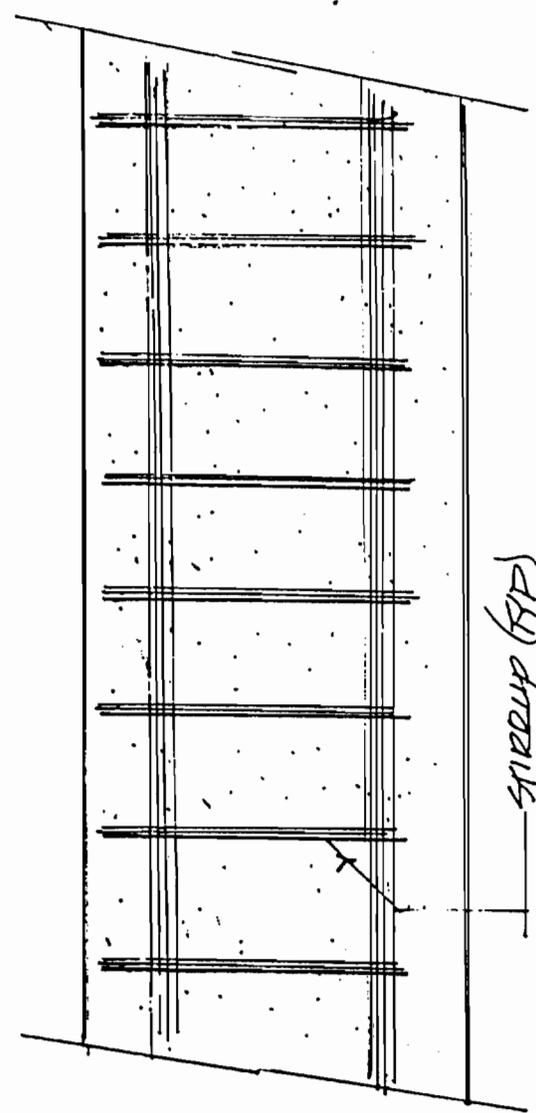
J. N. Sheingold, P.E. 21181

**APPROVED**  
JUL 22 2006

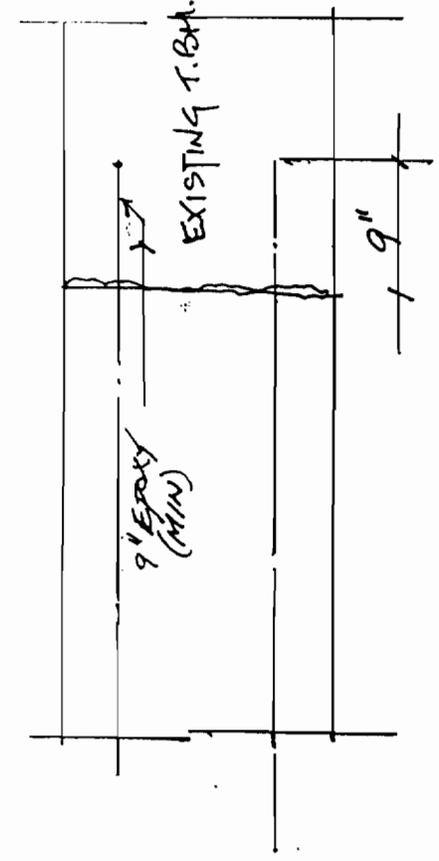
CITY OF HOLLYWOOD, FL  
STRUCTURAL



TIE BEAM DETAIL (A.T.S.)



STC = 4 #5 @ 10" o/c T/O

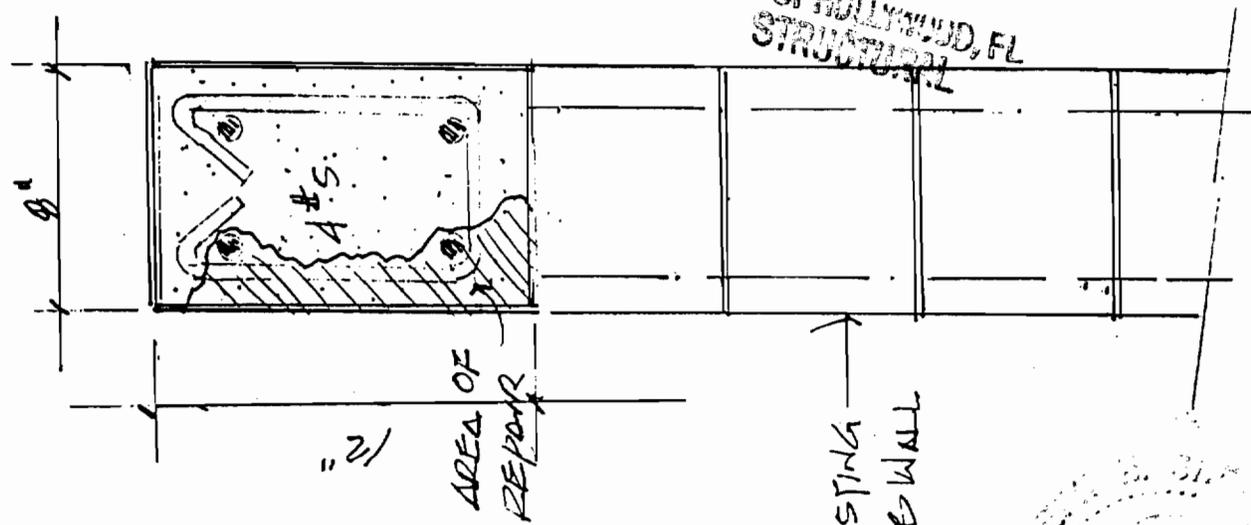


**APPROVED**

JUL 22 2006

CITY OF HOLLYWOOD, FL  
STRUCTURAL

1935 HOLLYWOOD BLVD



EXISTING  
CE WALL

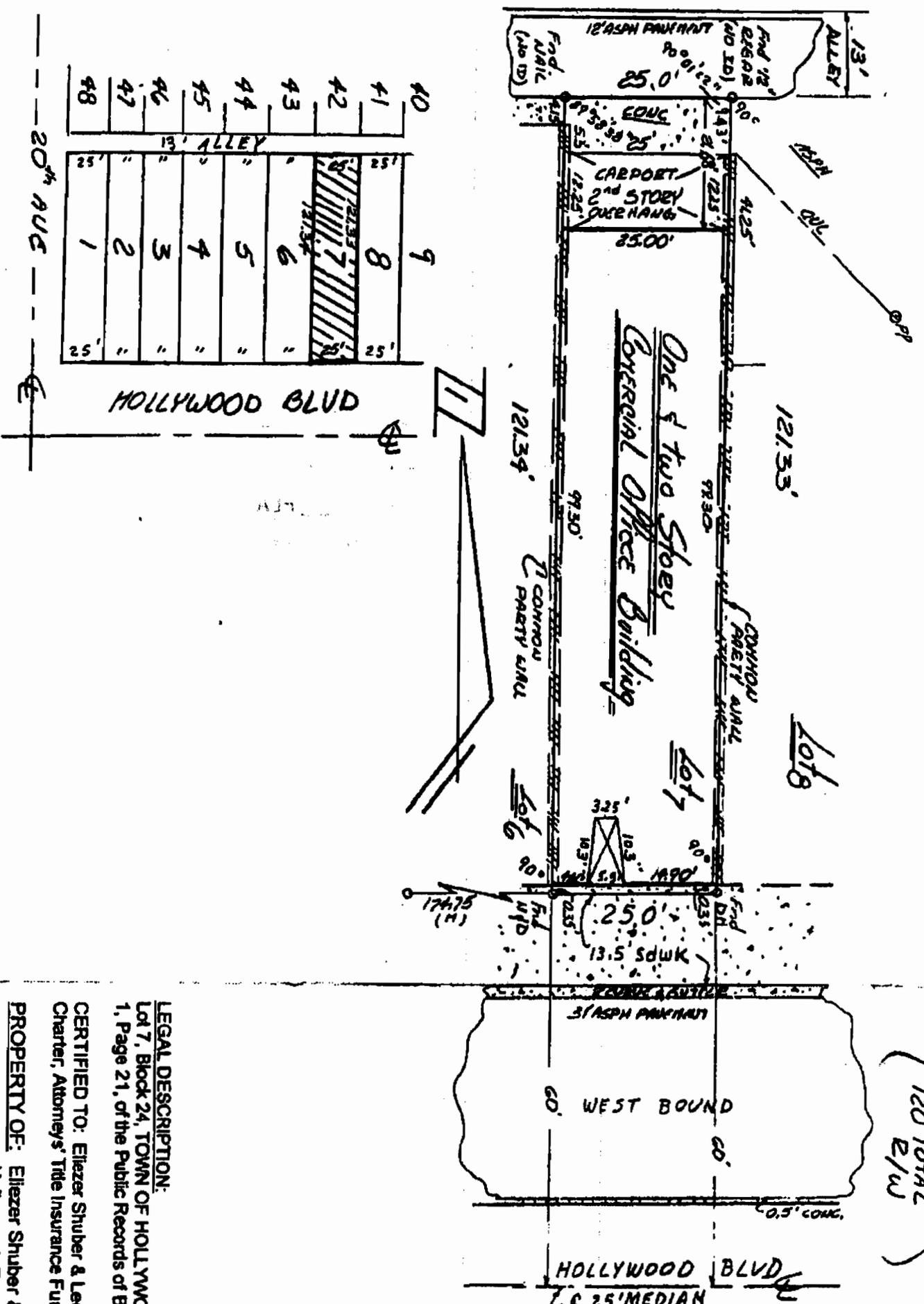
J. N. SHEINGOLD  
12420 S.W. 75 AVE.  
MIAMI, FLORIDA 33156  
378-1244 P.E. 21181

SCANNED  
NOV 28 2006  
BUILDING DIV.

7.3.06

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Location Map



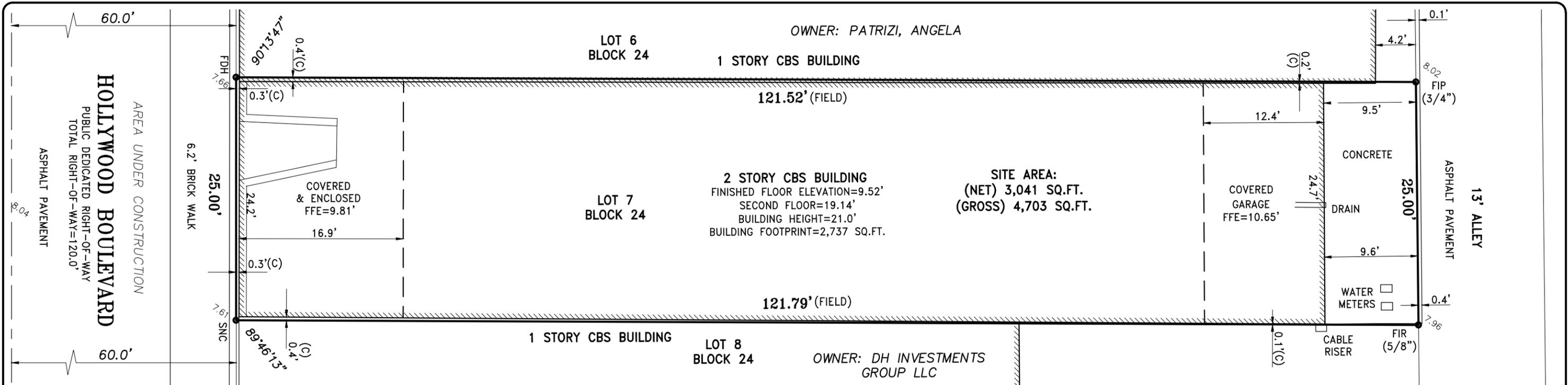
**LEGAL DESCRIPTION:**  
 Lot 7, Block 24, TOWN OF HOLLYWOOD  
 1, Page 21, of the Public Records of B...

**CERTIFIED TO:** Eliezer Shuber & Leo  
 Charler, Attorneys' Title Insurance Fun

**PROPERTY OF:** Eliezer Shuber &  
 Hollywood, FL 3

(120' TOTAL E/W)



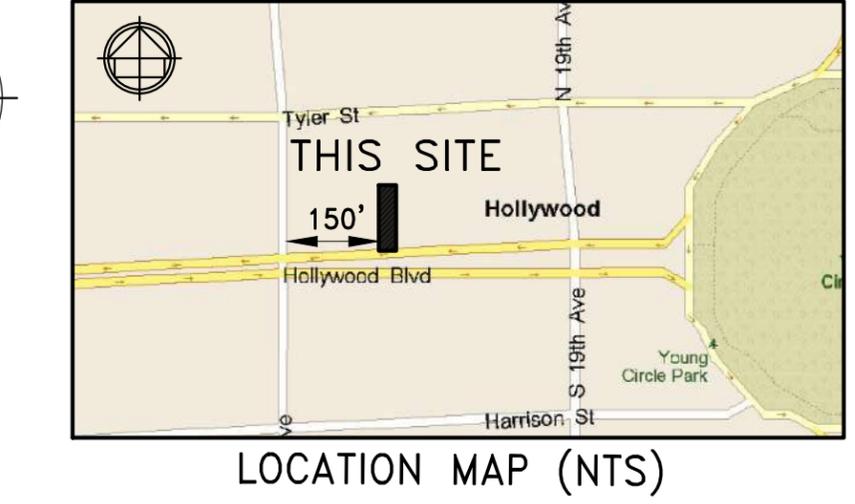


- NOTES:
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
  - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
  - UNDERGROUND IMPROVEMENTS NOT SHOWN.
  - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  - BENCHMARK REFERENCE: CITY OF HOLLYWOOD BENCHMARK AT JEFFERSON ST. & 16TH AVE. ELEVATION=4.19'(NAVD88)
  - THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
  - THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN TITLE COMMITMENT ISSUED BY ----- INSURANCE COMPANY, ORDER NO.: ----- WITH AN EFFECTIVE DATE OF --- 2023 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
  - ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
  - THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
  - THE PROPERTY HAS DIRECT ACCESS TO HOLLYWOOD BOULEVARD, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 1, PAGE 21, SAME BEING A PAVED AND DEDICATED PUBLIC ROADWAY MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
  - THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
  - THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
  - THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
  - THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
  - THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
  - NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.
  - THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X-N/A" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 0569H, WITH A DATE OF IDENTIFICATION OF 08/18/14, FOR COMMUNITY NO. 125113, IN BROWARD COUNTY, STATE OF FLORIDA WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.

- LEGEND:
- |        |  |
|--------|--|
| CKD    | CHECKED BY                                 |
| CONC   | CONCRETE                                   |
| DWN    | DRAWN BY                                   |
| FB/PG  | FIELD BOOK AND PAGE                        |
| SIR    | SET 5/8" IRON ROD & CAP #6448              |
| SNC    | SET NAIL & CAP #6448                       |
| FIR    | FOUND IRON ROD                             |
| FIP    | FOUND IRON PIPE                            |
| FNC    | FOUND NAIL & CAP                           |
| FND    | FOUND NAIL & DISK                          |
| PRM    | PERMANENT REFERENCE MARKER                 |
| P.B.   | PLAT BOOK                                  |
| B.C.R. | BROWARD COUNTY RECORDS                     |
| -E-    | OVERHEAD UTILITY LINES                     |
| WM     | WATER METER                                |
| WV     | WATER VALVE                                |
| 0.00   | ELEVATIONS                                 |
| ALTA   | AMERICAN LAND TITLE ASSOCIATION            |
| NSPS   | NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS |
| ORB    | OFFICIAL RECORDS BOOK                      |
| SQ.FT. | SQUARE FEET                                |

LAND DESCRIPTION :

LOT 7, BLOCK 24 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 17 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 19, 2023.

*Richard E. Cousins*

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 4188

**COUSINS SURVEYORS & ASSOCIATES, INC.**

3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954)689-7766  
EMAIL: OFFICE@CSASURVEY.NET

PROJECT NUMBER : 7027-13

CLIENT :  
SKLARCHITECTURE

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	05/20/13	SKETCH	AM	REC
ALTA/NSPS LAND TITLE SURVEY	09/19/23	SKETCH	JD	REC

**ALTA/NSPS  
LAND TITLE  
SURVEY**

PROPERTY ADDRESS :  
1935 HOLLYWOOD BLVD

SCALE: 1" = 10'

SHEET 1 OF 1

**PROPERTY SUMMARY**

<b>Tax Year:</b> 2023	<b>Property Use:</b> 12-01 Mixed store or office and residential	<b>Deputy Appraiser:</b> Commercial Department
<b>Property ID:</b> 514215014330	<b>Millage Code:</b> 0513	<b>Appraisers Number:</b> 954-357-6835
<b>Property Owner(s):</b> 1935 LLC	<b>Adj. Bldg. S.F:</b> 3105	<b>Email:</b> <a href="mailto:commercialtrim@bcpa.net">commercialtrim@bcpa.net</a>
<b>Mailing Address:</b> 1900 VAN BUREN ST #109-B HOLLYWOOD, FL 33020	<b>Bldg Under Air S.F:</b>	<b>Zoning :</b> RC-2 - HISTORIC RETAIL CORE
<b>Physical Address:</b> 1935 HOLLYWOOD BOULEVARD HOLLYWOOD, 33020	<b>Effective Year:</b> 1960	<b>Abbr. Legal Des.:</b> HOLLYWOOD 1-21 B LOT 7 BLK 24
	<b>Year Built:</b> 1940	
	<b>Units/Beds/Baths:</b> 1 / /	

**PROPERTY ASSESSMENT**

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2023	\$136,400	\$770,330	0	\$906,730	\$906,730	
2022	\$136,400	\$770,110	0	\$906,510	\$906,510	\$20,382.93
2021	\$136,400	\$770,110	0	\$906,510	\$906,510	\$20,404.15

**EXEMPTIONS AND TAXING AUTHORITY INFORMATION**

	County	School Board	Municipal	Independent
Just Value	\$906,730	\$906,730	\$906,730	\$906,730
Portability	0	0	0	0
Assessed / SOH	\$906,730	\$906,730	\$906,730	\$906,730
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$906,730	\$906,730	\$906,730	\$906,730

**SALES HISTORY FOR THIS PARCEL**

Date	Type	Price	Book/Page or Cin
05/10/2023	Quit Claim Deed Non-Sale Title Change	\$100	118866867
08/23/2021	Quit Claim Deed Non-Sale Title Change	\$100	117562635
11/11/2016	Warranty Deed Qualified Sale	\$1,040,000	114055852
11/11/2016	Rerecorded Deed Correction Non-Sale Title Change	\$100	114055851
03/14/2000	Quit Claim Deed	\$100	30423 / 1437

**LAND CALCULATIONS**

Unit Price	Units	Type
\$45.00	3,031 SqFt	Square Foot

**RECENT SALES IN THIS SUBDIVISION**

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
514215015870	08/10/2023	Warranty Deed	Qualified Sale	\$430,000	119039589	1925 JEFFERSON ST HOLLYWOOD, FL 33020
514215015970	07/28/2023	Special Warranty Deed	Qualified Sale	\$725,000	119062363	1934 MADISON ST #1-5 HOLLYWOOD, FL 33020
514215017840	07/27/2023	Special Warranty Deed	Disqualified Sale	\$1,500,000	119010814	1845 HOLLYWOOD BLVD HOLLYWOOD, FL 33020
514215016420	07/26/2023	Warranty Deed	Qualified Sale	\$831,600	119014906	1940 ADAMS ST #1-3 HOLLYWOOD, FL 33020
514215010620	07/18/2023	Special Warranty Deed	Qualified Sale	\$2,655,000	118988756	2037 MADISON ST HOLLYWOOD, FL 33020

**SPECIAL ASSESSMENTS**

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Hlwd Fire Rescue (05) Spec./Comb. (S) 3,105								

**SCHOOL**

**Hollywood Central Elementary:** C  
**Olsen Middle:** I  
**South Broward High:** B

**ELECTED OFFICIALS**

<b>Property Appraiser</b> Marty Kiar	<b>County Comm. District</b> 6	<b>County Comm. Name</b> Beam Furr	<b>US House Rep. District</b> 25	<b>US House Rep. Name</b> Debbie Wasserman Schultz
<b>Florida House Rep. District</b> 101	<b>Florida House Rep. Name</b> Hillary Cassel	<b>Florida Senator District</b> 37	<b>Florida Senator Name</b> Jason W. B. Pizzo	<b>School Board Member</b> Daniel P. Foganholi