

ATTACHMENT A
Application Package

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL 33312

Lot(s): 27 Block(s): 1 Subdivision: BANYAN OAKRIDGE

Folio Number(s): B22-103968

Zoning Classification: R-A-1 (SEE PUD ZONING) Land Use Classification: RESIDENTIAL

Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: 4,086 SF / 1 UNIT

Is the request the result of a violation notice? Yes No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

DEVELOPMENT PROPOSAL

Explanation of Request: P.U.D. ZONING SIDE YARD SETBACK IS 10 FEET. OWNER IS REQUESTING SETBACK OF 7.5 FEET TO MAKE PROJECT VIABLE.

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="1"/> #Rooms <input type="text" value="5"/>
Proposed Non-Residential Uses	<input type="text" value="0"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="30"/> (Area: <input type="text" value="3,713"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="5"/>)
Height (# of stories)	(# STORIES) <input type="text" value="1"/> (<input type="text" value="26"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<input type="text" value="10,789"/> FT.)

Name of Current Property Owner: DAVID AND RINA BEN-DAVID

Address of Property Owner: 3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL 33312

Telephone: 201-314-7726 Email Address: RINABENDAVID@YAHOO.COM

Applicant RINA BEN-DAVID Consultant Representative Tenant

Address: 3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL Telephone: 201-314-7726

Email Address: RINABENDAVID@YAHOO.COM

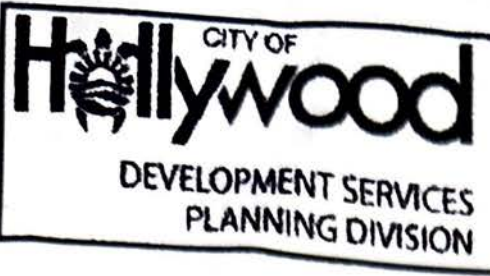
Email Address #2: _____

Date of Purchase: 23 JUNE 2021 Is there an option to purchase the Property? Yes No

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I/We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I/We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I/We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Date: 8/3/24

PRINT NAME: RINA BEN-DAVID Date: _____

Signature of Consultant/Representative: Date: 06 Aug 24

PRINT NAME: GABRIEL HERNANDEZ Date: 06 AUG 2024

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 8th day of August

Morgan Shortell
Notary Public of New Jersey
Registration No. 50183818
Commission Expires 01/27/2027

Signature of Current Owner

Rina Ben-David
Print Name

Notary Public
State of Florida New Jersey

My Commission Expires: 01/27/2027 (Check One) Personally known to me; OR Produced Identification Florida Dc

REVIEW OF OAKRIDGE PLAT PROPERTIES (SOUTH PORTION - ZONED R-A1)

BROWARD COUNTY ZONING REGULATIONS

Minimum Lot Width = 100'

Minimum Lot Size = 10,000 sq. ft.

Minimum Floor Area = 1,500 sq. ft.

Minimum Setbacks: Front = 25', Side = 10', Street Side = 15', Rear = 15'

Maximum Coverage of Principal and Accessory Structures = 40%

Maximum Height = 2 stories @ 35'

Required Parking: 2 parking spaces @ 9' x 18' (tandem permitted) - 24' backout - No parking space or aisle within 3' of any building or door

Landscaping:

4 trees (2 in front yard) @ 10'-12' x 2 1/5" caliper, 4 1/2' clear trunk - 35% native required

13 shrubs @ 24" x 24" - 35% native required

Sod or ground cover required - no more than 80% sod may be used for ground cover

No Exotic Pest Plants are permitted

Pools are covered by Section 39-177 - screen enclosure or 5' fence or wall required - self locking gates Pools and pool equipment must meet setback requirements for principal structure

A/C units are covered by Section 39-154 - maximum projection of 36" into setback

GENERAL NOTES:

- THE CONTRACTOR SHALL COMPLY WITH THE STATE OF FLORIDA REQUIREMENTS FOR CURRENT EDITION, THE FLORIDA BUILDING CODE, WITH ALL APPLICABLE ORDINANCES, PERMITS SHALL BE POSTED IN A VISIBLE PLACE AT ALL TIMES.
- NO WORK SHALL COMMENCE UNTIL THE APPROVED PLANS ARE OBTAINED FROM THE BUILDING DEPARTMENT AND A PERMIT ISSUED.
- WORK SHALL BE DONE IN CONFORMANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL BUILDING CODES, INCLUDING LOCAL AMENDMENTS AND BULLETINS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS CAREFULLY AND SHALL AT ONCE REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, FIELD CONDITIONS, AND THE INTENT OF THE WORK TO THE ARCHITECT.
- COORDINATE SCHEDULING AND PHASING OF ALL WORK TO BE PERFORMED WITH ARCHITECT, CONTRACTOR SHALL SUBMIT TO THE OWNER A SCHEDULE FOR THE COMPLETION OF THE WORK. CONSTRUCTION WORK TO BE LIMITED TO REGULAR WORKING HOURS AS DEFINED BY THE COMMUNITY OF HOLLYWOOD OAKS.
- BEFORE WORK COMMENCES, CONTRACTOR SHALL OBTAIN AND PROVIDE ALL OF THE FOLLOWING:
 - WORK PERMIT
 - PERFORATED FILING DRAWINGS FROM THE BUILDING DEPARTMENT.
 - CERTIFICATE OF LIABILITY INSURANCE IN THE AMOUNT SPECIFIED BY THE BUILDING OWNER.
 - GENERAL CONTRACTORS LICENSE
- CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHENEVER ANY STRUCTURAL WORK IS INVOLVED. ALL DEMOLITION OPERATIONS, REPAIR OPERATIONS, AND ALTERATION OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH REGULATORY AGENCIES AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOT DAMAGE OR ENDANGER ANY PORTION OF THE WORK OF THE OWNER OR OF OTHER CONTRACTORS.
 - MAKE ALL OPENINGS FOR REQUIRED TEMPORARY PIPING, DUCTS, AND CONDUIT PASSING THROUGH FLOORS, WALLS, CEILINGS, AND SLABS SECURE AND STABLE. SEAL AROUND ALL SUCH TEMPORARY OPENINGS.
 - MAINTAIN A CLEAN WORK SITE AT ALL TIMES. CART AWAY RUBBLE PROMPTLY. DO NOT STORE EQUIPMENT, MATERIALS, OR DEBRIS ON THE SITE BEYOND TIME NECESSARY FOR CONSTRUCTION WITH SUCH MATERIALS ALL TEMPORARY WORK SHALL BE REMOVED WHEN LONGER REQUIRED AND AFFECTED PROPERTY RESTORED.
 - USE MOLD RESISTANT GROUT/CALCKING IN ALL WET AREAS WHERE STONE OR PORCELAIN TILE IS USED.
 - ALL WORK MATERIALS AND EQUIPMENT UTILIZED SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SUBSTITUTIONS REQUIRING APPROVAL SHALL BE IN WRITING.
 - ALL WORK SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
 - CONTRACTOR TO REMOVE, RELOCATE OR REROUTE, AS NECESSARY, ELECTRICAL, TELEPHONE, CABLE, FIBER, GAS AND OTHER UTILITIES LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PRODUCT MANUAL, OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR BY OTHER CONSTRUCTION PERSONNEL. SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
 - DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
 - ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIALS UNLESS NOTED OTHERWISE ON DRAWINGS, WHERE A DIMENSION IS LABELED CLEARLY IT IS TAKEN FROM THE FACE OF FINISH MATERIALS TO FACE OF FINISH MATERIALS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED, AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. SHOP DRAWINGS WHICH ARE INCOMPLETE OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW.
 - THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FRIELATED SEPARATION WITHIN THE BUILDINGS CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN THE FRIELATED ASSEMBLIES, AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT ANY CHANGE IN THE MATERIALS THAT IS REQUESTED OR MADE BY THE CONTRACTOR AND/OR ITS SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED CONSTRUCTION KINEMATIC SPECIFIC SEQUENCES OR METHODS OF ACHIEVING FRIELATED ASSEMBLIES REQUIRED BY A U.L. NO. LISTING SHALL BE FOLLOWED WITHOUT DEVIATION, UNLESS NOTED OTHERWISE ON DRAWINGS.
 - THE USE OF THE RETARDANT TREATED WOOD IS PROHIBITED. PRESSURE TREATED WOOD SHALL BE USED WHERE WOOD IS IN CONTACT WITH CONCRETE OR MASONRY OR IN CONTACT WITH THE ELEMENTS EXTERIORLY.
 - IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.
 - CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS PRIOR TO THE START OF WORK. THE OMISSION OF ANY OR ALL ACCESS PANELS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PROVIDING AND INSTALLING SUCH PANELS OR DOORS. ACCESS PANELS IN RATED ELEMENTS SHALL HAVE THE SAME FIRE RATING.
 - CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, AIR CONDITIONING GRILLES OR REFRIGERATORS, COVERS, ETC., UNLESS SPECIFICALLY NOTED OTHERWISE. VERIFY AND COORDINATE COLORS WITH ARCHITECT.
 - BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATION AND HEIGHTS OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL-MOUNTED FIXTURES.
 - ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DIFFERENT MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CALCKING OR FORM A REVEAL TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT.
 - THE CONTRACTOR SHALL ASSEMBLE ALL REQUIRED WARRANTIES, WARRANTIES, AND MAINTENANCE CONTRACTS EXECUTED BY EACH OF THE RESPECTIVE MANUFACTURERS, SUPPLIERS, AND SUBCONTRACTORS. THE CONTRACTOR SHALL SUBMIT THE ABOVE INFORMATION TO THE OWNER AND ARCHITECT.
 - PROVIDE SMOKE ALARMS (DETECTORS) AT EACH SLEEPING ROOM AND IMMEDIATE VICINITY OF SLEEPING AREAS. THEY SHALL BE INTERCONNECTED, FROM 314.
 - ALL EXISTING SMOKE AND CARBON MONOXIDE ALARMS TO BE PROTECTED AND COVERED DURING CONSTRUCTION.

GLAZING NOTES:

- PER F.B.C. 9008.1 EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATION AS DEFINED IN F.B.C. 9008.1 SHALL BE PROVIDED WITH MANUFACTURERS LABEL, DESIGNATING THE TYPE, THICKNESS OF GLASS, AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES AND SHALL BE VISIBLE IN THE FINAL INSTALLATION.
- PER F.B.C. 9003.1 GLAZING SHALL COMPLY WITH TEST CRITERIA FOR CATEGORY 1 OR 2 AS INDICATED IN TABLE 9003.1.
- GLAZING IN SLEUNG AND SWINGING DOORS SHALL BE SAFETY-GLAZING CATEGORY 1 IF LESS THAN 9 SQ. FT. PER F.B.C. 9041.2.3.3.1 OR CATEGORY 2 IF GREATER THAN 9 SQ. FT. AS PER F.B.C. 9041.2.3.1.3.2.
- SWINGING OR SLEUNG DOORS OF GLASS WITHOUT A CONTINUOUS FRAME SHALL BE OF FULLY TEMPERED GLASS NOT LESS THAN 3/8" IN THICKNESS PER F.B.C. 9041.2.3.1.
- GLAZING ADJACENT TO AND WITHIN 48" OF A DOOR SHALL COMPLY WITH FBC 9041.2.3.1.3.2.

GENERAL FINISHES NOTES:

- THE OWNER AND ARCHITECT SHALL BE CONSULTED PRIOR TO FINAL SELECTIONS AND ORDERING OF EACH ITEM SPECIFIED, OR ANY FINISH INCLUDED WITH THIS PROJECT.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-Spread CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 723 AS PER F.B.C. 9002.1.
- INSULATION MATERIALS, PACKING, VAPOR BARRIERS SHALL HAVE A FLAME-Spread CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 723 AS PER F.B.C. 9002.1.
- WALL INSULATIONS SHALL HAVE A MIN. R-5 VALUE. REFER TO FPCR CHAPTER 11 OR ENGINEERS ENERGY CALCULATIONS IF PROVIDED.
- ALL SHOWER & BATHUB AREAS SHALL HAVE NON-ABSORBENT FLOOR & FINISHES UP TO 72" HIGH AS PER F.B.C. 9002.2.
- ALL CERAMIC TILE WALL FINISH IN TUB & SHOWER AREAS SHALL HAVE A NON-CENTRIFUGAL TILE BACKER BOARD OR GLASS MAT BACKING BOARD AS PER F.B.C. 9002.4.

GENERAL PARTITION NOTES:

- EXISTING EXTERIOR WALL CONDITION. TYPICAL EXTERIOR WALL CONSTRUCTION WITH 8" CONCRETE MASONRY UNITS WITH 1/2" OVER OR 1/2" GAUDED 1/2" STUCCO @ 1/2" O.C. ON INTERIOR WITH R-2 BOARD INSULATION. HORIZONTAL FIRE-RESISTING EVERY 8" OF WALL COMPLES WITH SECTION 4002.2 OF THE F.B.C. RESIDENTIAL CODE.
- ALL INTERIOR PARTITIONS TO BE 1 1/2" X 3/4" WALL STUDS (OR 2X4 WOOD STUDS) @ 16" O.C. FACED WITH 5/8" G.W.B. PROVIDE HORIZONTAL FIRE-RESISTING EVERY 8" OF WALL TO COMPLY WITH SECTION 4002.2 OF THE F.B.C. RESIDENTIAL CODE.
- ALL BATHROOMS, PROVIDE 5/8" ACQUISITE BATH INSULATION WITHIN PARTITION. SEAL AT TOP, BOTTOM, ALL OPENINGS AND PENETRATIONS WITH SEALANT.
- CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, BATHROOM VANITIES AND ACCESSORIES OR OTHER ITEMS DESCRIBED BY THE DRAWINGS.
- ALL INTERIOR PARTITIONS AT ALL WALL HUNG CABINET LOCATIONS PROVIDE (2) 2X4" (2) 2X4" WOOD MEMBERS BACKING TO COMPLY WITH SECTION 2016.15.1.5, F.B.C.
- STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES OR CABINETS SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 50% AS PER F.B.C. 9041.1.4.2.1 & SHALL HAVE HORIZONTAL MEMBER SECURED TO NOT LESS THAN TWO STUDS PER F.B.C. 9041.1.4.2.1.
- PROVIDE NON-CENTRIFUGAL TILE BACKER BOARD IN LIEU OF GYPSUM WALL BOARD AT ALL PARTITIONS LOCATED IN WET AREAS.
- IF NOTED ON PLANS, AT ALL DROPPED CEILING / SOFFITS TO BE 5/8" G.W.B. ON 1/2"X1/2"-12" 20 GAUGE METAL STUDS @ 16" O.C. - PROVIDE FOAM OR BLANKET INSULATION AT ALL CEILING UNDER ROOFS, TO PREVENT VOIDED LETTING OF MECHANICAL DUCTS (FIBERGLASS AND DUCTBOARD) DUCTS SHALL NOT COME IN CONTACT WITH THE SPRAY FOAM INSULATION, NETHER DURING INSULATION APPLICATION NOR AFTER DRYING.

OWNER FINISHES/ITEMS TO BE INSTALLED BY CONTRACTOR:

- SEALING, PORCELAIN OR VINYL WOOD FLOORING
- LIGHTING FIXTURES
- CEILING FINISH TO BE DETERMINED
- PARTITION FINISHES (WET BAR AND BATHROOM)
- BATHROOM FINISHES (FLOOR AND WALL TILE)
- BATHROOM VANITY
- WET BAR UNDERCOUNTER REFRIGERATOR
- WINDOW TREATMENTS
- BATHROOM ACCESSORIES (E.G. TOWEL BARS, DISPENSERS)
- WET BAR AND BATHROOM COUNTERTOPS

OWNER FINISHES/ITEMS TO BE INSTALLED BY VENDOR/MANUFACTURER UNDER SUPERVISOR CONTROL:

- EXTERIOR DOORS AND WINDOWS
- HOME AUTOMATION SYSTEM (IF TO BE DETERMINED)

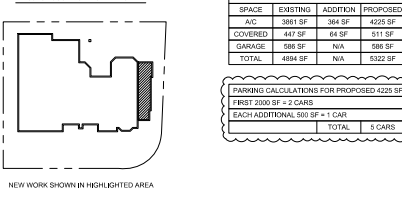


1 SITE SURVEY SITE SURVEY BY LANDEC SURVEYING DATED 20 FEBRUARY 2023 ATTACHED SEPARATELY

PROJECT SCOPE OF WORK DESCRIPTION:

- ADDITION TO AN EXISTING RESIDENCE. NO WORK WITHIN EXISTING RESIDENCE.
- NEW ROOF OVER PARTIAL AREA OF EXISTING ROOF STRUCTURE TO JOIN WITH ADDITION.
- NO EXTERIOR OR INTERIOR STRUCTURAL WORK TO EXISTING.
- NEW INTERIOR WALL AND FLOOR FINISHES WITHIN ADDITION.
- NEW HVAC AT ADDITION. NO MECHANICAL WORK TO EXISTING EXCEPT FOR RELOCATED CONDENSER UNIT.
- NEW ELECTRICAL AND PLUMBING WORK AT ADDITION.
- INSTALLATION OF NEW EXTERIOR WINDOWS AND DOORS UNDER SEPARATE PERMIT.
- INTERIOR PAINTING AT ADDITION.
- MINOR REPAIRS TO GUTTERS AND ROOF AT EXISTING.

PROJECT SCOPE OF WORK DIAGRAM:



SHEET INDEX

A-0	SITE SURVEY, GENERAL NOTES, AND SHEET INDEX	S001	STRUCTURAL PLAN VIEW
A-0.1	SITE PLAN	S002	STRUCTURAL SECTIONS
A-1	DEMOLITION AND FLOOR PLAN	S003	STRUCTURAL ISOMETRICS
A-2	REFLECTED CEILING PLAN	S004	STRUCTURAL DETAILS
A-3	SOUTH AND NORTH ELEVATIONS	M-1	MECHANICAL PLAN
A-4	EAST ELEVATION AND BUILDING SECTION	M-2	MECHANICAL DETAILS
A-5	SCHEDULES AND DETAILS	E-1	ELECTRICAL PLAN
C-100	CIVIL GRADING PLAN	P-1	PLUMBING PLAN
C-101	CIVIL DRAINAGE PLAN	P-2	PLUMBING DETAILS





VIEW FROM FRONT YARD TO SIDE YARD LOOKING NORTH

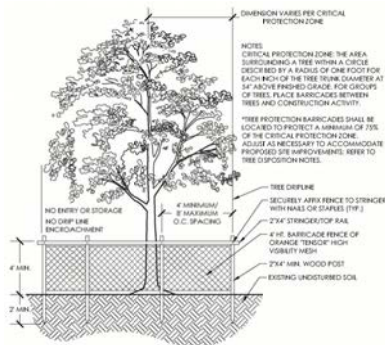


VIEW FROM SOUTH EDGE OF RESIDENCE TO SIDE YARD LOOKING NORTH

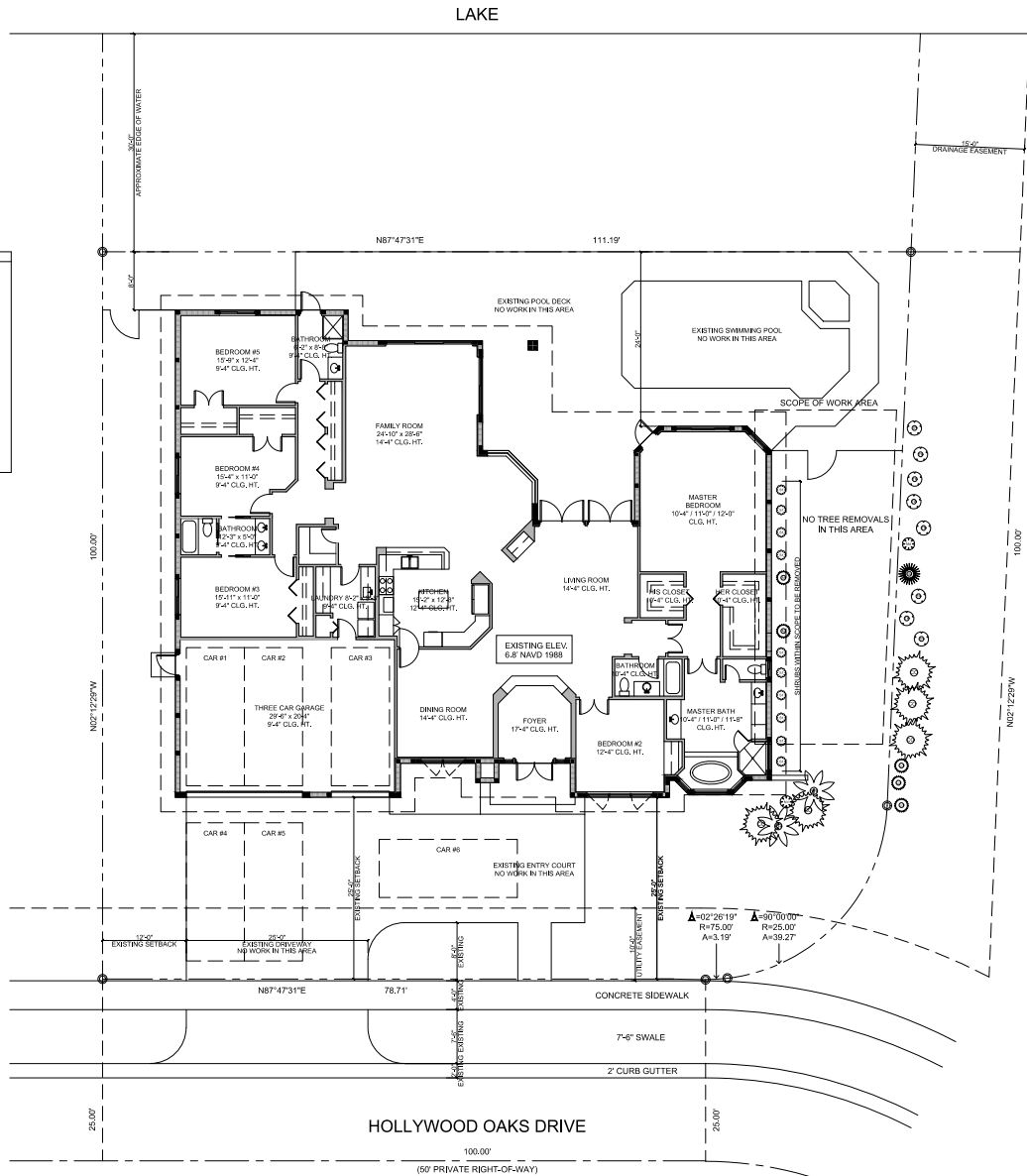
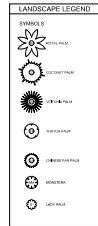


VIEW FROM REAR YARD TO SIDE YARD LOOKING SOUTH

1 PHOTOGRAPHS OF EXISTING CONDITIONS



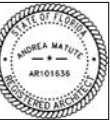
2 TREE PROTECTION DETAIL NOT TO SCALE



3 SITE PLAN SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION:
"BANYAN GARDENS PLAT" LOT 27, BLOCK 1
AS RECORDED IN PLAT BOOK 157, PAGE 44
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA
PARCEL ID NUMBER: 510231-19102700

FLOOD ZONE INFORMATION:
COMMUNITY NAME AND NUMBER: CITY OF HOLLYWOOD-120113
MAP AND PANEL NUMBER: 28111C 0862 H
FPM PANEL DATE: 08/15/2014
FLOOD ZONE: X



GYM ADDITION
BEN-DAVID RESIDENCE



**GYM ADDITION
BEN-DAVID RESIDENCE**

DEMOLITION GENERAL NOTES:

- THIS DRAWING IS ONLY TO ASSESS IN SHOWING THE SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO INDICATE ALL DEMOLITION CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE WORK.
- NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK THROUGH OF THE PROJECT TO IDENTIFY POSSIBLE CRITICAL ITEMS NOT INCORRECTLY ADDRESSED. WHEN REQUIRED REMOVE/RELOCATION PRIOR TO SUBMITTING A BID TO THE OWNER.
- CUT REMOVE, PATCH, AND REFINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
- CONTRACTOR IS TO PROTECT ALL CONCEALED UTILITIES. ASSURE PROPER IDENTIFICATION OF ALL UTILITIES AND CAP AS REQUIRED.
- DEMOLITION & REPAIR WORK MAY ENTAIL INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK IN VARIOUS AREAS WITHIN THE SCOPE. IT MAY INCLUDE WORK INVOLVING REMOTE UTILITY LINES (ELECTRICAL, COMMUNICATIONS, DATA, ETC.), ANY WORK IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK SHALL BE ALL INCLUSIVE. PROVIDING ALL UTILITIES, FINISHES AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS.
- PATCH AND REFINISH ALL EXISTING SURFACES DAMAGED BY DEMOLITION AS REQUIRED, TO MATCH ADJACENT SURFACES.
- FOR REMOVAL OF FIXTURES AND EQUIPMENT, REFER TO DRAWINGS AND SPECIFICATIONS BY ARCHITECT AND/OR OTHER DISCIPLINES.
- COORDINATE WITH OWNER PRIOR TO DEMOLITION FOR ALL ITEMS WHICH WILL REQUIRE RELOCATION, STORAGE OR TURN OVER TO THE OWNER FOR ALL MATERIAL REMOVED FROM EXISTING CONSTRUCTION.
- PLANS SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO COMMENCING WORK FOR ALL PAVING, STAGING, CONSTRUCTION AREAS AND MAINTENANCE OF REQUIRED CLEARANCES FOR OPERATIONS, ENTRY AND ACCESS AT THE EXISTING SITE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- PRIOR TO START OF WORK CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS. CONFIRM ALL UTILITIES, SHOULD ANY PROBLEMS BE EVIDENT, NOTIFY THE OWNER AND ARCHITECT FOR CORRECTION. THE FIRE, ALARM AND CONDUIT FOR THE SURROUNDING AREAS SHALL REMAIN IN OPERATION AT ALL TIMES.
- DO NOT SCALE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE OWNER AND ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
- ALL AREAS OF DEMOLITION OPERATIONS SHALL BE PROPERLY POSTED WITH SIGNS WARNING OF DANGERS. SUBJECT TO ANY REGULATIONS, ALL AREAS SHALL BE EXCLUDED FROM PLACES WHERE DEMOLITION IS IN PROGRESS.
- CONTRACTOR TO MAINTAIN SAFE INGRESS AND EGRESS TO THE SITE AT ALL TIMES. COORDINATE WITH OWNER FOR PHASING.
- CONTRACTOR SHALL COORDINATE WITH OWNER FOR RELOCATION OF ANY EXISTING UTILITIES, REMOVE ALL FOUNDATIONS AND UNDERGROUND UTILITIES, CAP AND TERMINATE AS REQUIRED.
- CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS FOR UTILITY CONNECTIONS, TRIMMING, AND REQUIRED DEMOLITION, COORDINATE WITH OWNER FOR ALL TIE-INS AND SYSTEMS CONNECTIONS.
- CONTRACTOR TO COORDINATE AND PROVIDE MAINTENANCE OF TRAFFIC OPERATIONS PLAN (WITH ALL APPLICABLE ENGINEER APPROVALS) FOR ALL TEMPORARY SIDEWALKS/ROADWAYS/UTILITIES WORK TO MAINTAIN EGRESS AND ACCESS FOR THE SITE DURING CONSTRUCTION & COORDINATE REPLACEMENT OF TEMPORARY SIDEWALK PRIOR TO COMPLETION OF CONSTRUCTION.
- ANY ITEMS BEING SALVAGED FOR REUSE OR RETURNED TO OWNER SHOULD BE CAREFULLY REMOVED AND STORED IN A SAFE LOCATION.

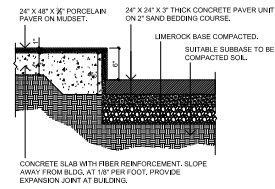
DEMOLITION LEGEND:

- ① NO RENOVATION WORK IN THIS AREA.
- ② REMOVE AND SALVAGE EXISTING AIR CONDITIONER CONDENSER UNIT, TEMPORARY HOOK UP REQUIRED.
- ③ REMOVE EXISTING CONCRETE SLAB IN ITS ENTIRETY.
- ④ REMOVE EXISTING STUCCO ON THIS SEGMENT OF EXTERIOR WALL.
- ⑤ REMOVE AND SALVAGE EXISTING EXTERIOR WINDOW.
- ⑥ REMOVE POOL FENCE AND GATE IN ITS ENTIRETY, CONTRACTOR TO PROVIDE TEMPORARY ENCLOSURE.
- ⑦ EXISTING DECORATIVE CONCRETE WALL TO REMAIN.
- ⑧ REMOVE OPEN-SILL CONCRETE BLOCK UP TO EXISTING PERIMETER BEAM FOR NEW DRIVING (EXISTING SILL TO REMAIN).
- ⑨ PORTION OF NEW ROOF WORK: REMOVAL OF EXISTING ROOFING MATERIAL ONLY AND EAVE STRUCTURE IN THIS AREA.

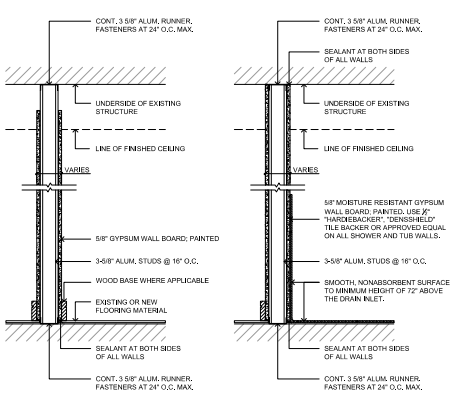
ROOFING NOTE:
NEW FLAT CONCRETE ROOF UNDER SEPARATE PERMIT BY MANUFACTURER/INSTALLER. SEE EXTERIOR ELEVATIONS ON SHEETS A-3 AND A-4.

FLOOR PLAN LEGEND:

- ① ROOF OVERHANG PROJECTION TO MATCH EXISTING.
- ② SHOWER FLOOR TO BE LEVEL WITH ADJACENT FLOOR ELEVATION, SLOPE 1/8" PER FOOT TO DRAIN.
- ③ ENCLOSE EXISTING WINDOW OPENING WITH CONCRETE BLOCK, FINISH BOTH SIDES.
- ④ NEW CONCRETE PAD FOR AIR CONDITIONER CONDENSER UNITS.
- ⑤ NEW CONCRETE DECK AND PAVERS.
- ⑥ NEW MILL WORK.
- ⑦ RELOCATED WINDOW FROM TOILET ROOM. SEE GENERAL WINDOW NOTE #13 ON SHEET A-4. EXISTING SILL TO REMAIN.
- ⑧ NEW WALL PARTITION: 2" GYPSUM WALL BOARD ON BOTH SIDES OF 3/4" STEEL STUDS @ 16" O.C. TYPICAL. UNLESS DIMENSIONED OTHERWISE, AT BATHROOM, PROVIDE 3/4" ACOUSTIC BATT INSULATION WITH PARTITION SEAL AT TOP, BOTTOM, ALL OPENINGS AND PENETRATIONS WITH SEALANT.
- ⑨ EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN.
- ⑩ NEW EXTERIOR WALL CONSTRUCTION.

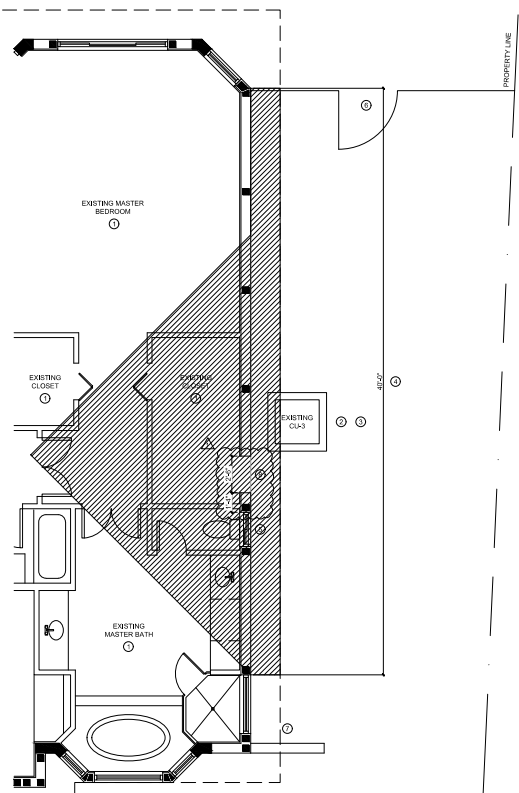


5 DETAIL AT DECK AND PAVERS
SCALE: 2" = 1'-0"

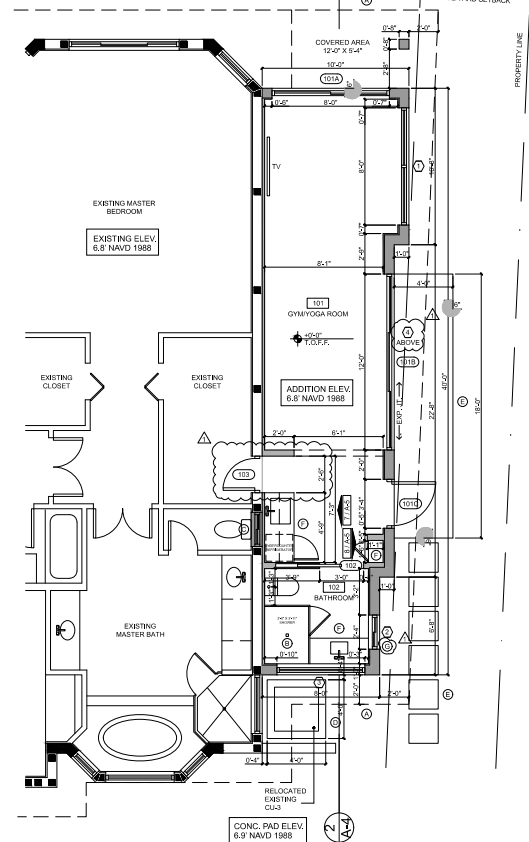


1 TYPICAL WALL PARTITION
SCALE: 1" = 1'-0"

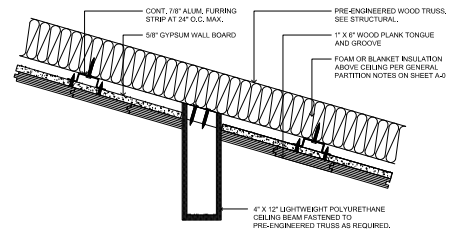
2 WALL PARTITION AT WET LOCATIONS
SCALE: 1" = 1'-0"



3 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



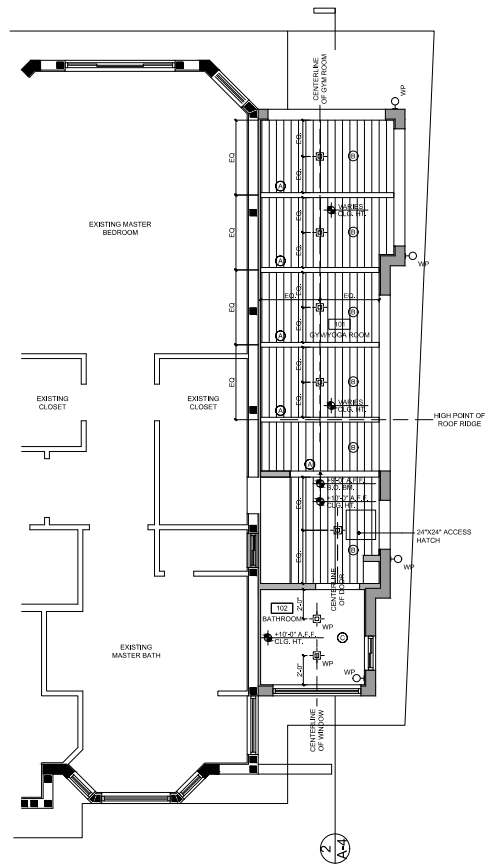
4 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 TONGUE AND GROOVE CEILING DETAIL
SCALE: 2" = 1'-0"

GENERAL ATTIC INSULATION NOTE:

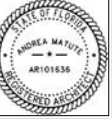
APPLY NEW SPRAY FOAM THERMAL INSULATION OF 5.2 INCH THICKNESS WITH R-VALUE OF 21 OR GREATER TO UNDERSIDES OF ROOF WHERE POSSIBLE IN COMPLIANCE WITH FLORIDA MODEL ENERGY BUILDING CODE.



1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND:

- ⊙ 4" WIDE X 12" DEEP FALK WOOD BEAMS
- ⊖ TONGUE AND GROOVE PAINTED WOOD CEILING
- ⊕ PAINTED GYPSUM WALLBOARD CEILING
- ⊛ CEILING LIGHT RECESSED
- ⊙ WP CEILING LIGHT RECESSED - WEATHER/VAPOR PROOF
- ⊙ WP WALL LIGHT SURFACE-MOUNTED
- ⊙ WP WALL LIGHT SURFACE-MOUNTED - WEATHER/VAPOR PROOF
- ⊙ WP CEILING FAN WITH LIGHT TO BE DETERMINED BY OWNER, REINFORCED JUNCTION BOX



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**GYM ADDITION
BEN-DAVID RESIDENCE**

REVISION #1 07 NOV 2022
PERMIT SET 07 AUG 2022
ISSUE DATE
PROJECT NO: 22007
SCALE: AS SHOWN
DATE: 06 JULY 2022

**BEN-DAVID
RESIDENCE**
3300 HOLLYWOOD DAMS DRIVE
HOLLYWOOD, FL 33118

**SOUTH AND
NORTH
ELEVATIONS**

DRAWING
A-3
5 OF 16 SHEETS

ROOFING NOTE:
NEW FLAT CONCRETE TILE ROOF
UNDER SEPARATE PERMIT BY
MANUFACTURER / INSTALLER.

GLAZING NOTE:
NEW IMPACT WINDOWS AND
DOORS UNDER SEPARATE PERMIT
BY MANUFACTURER / INSTALLER.

ALL DIMENSIONS UNLESS OTHERWISE NOTED
ARE IN FEET AND INCHES
ALL FINISHES UNLESS OTHERWISE NOTED
ARE TO BE IN ACCORDANCE WITH THE
LATEST EDITIONS OF THE BUILDING
DEPARTMENT OF THE CITY OF MIAMI
DESIGN SPECIFICATIONS



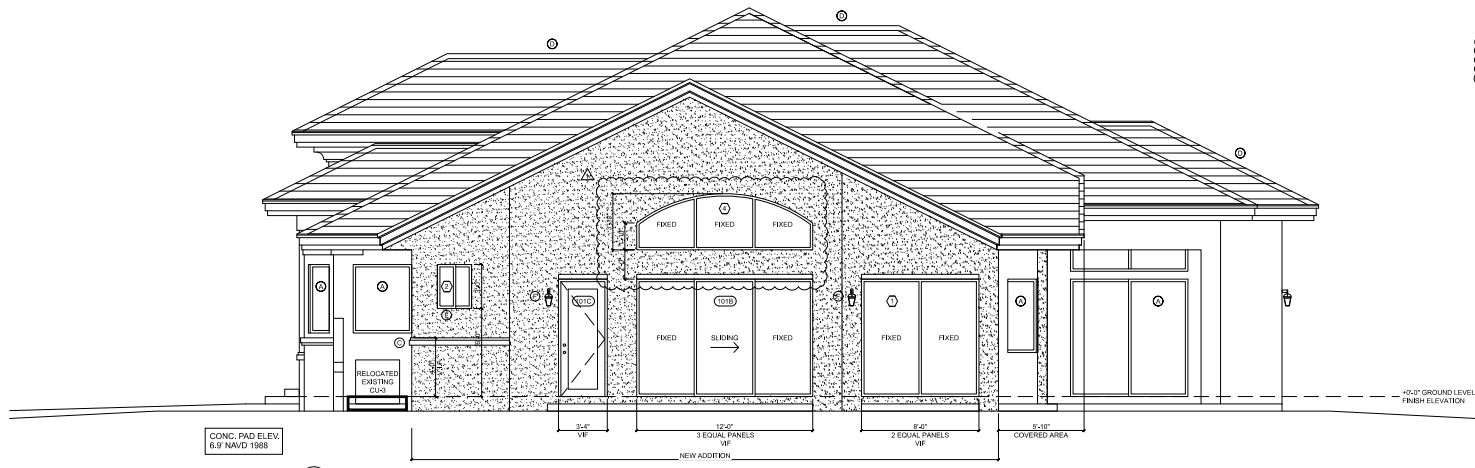
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

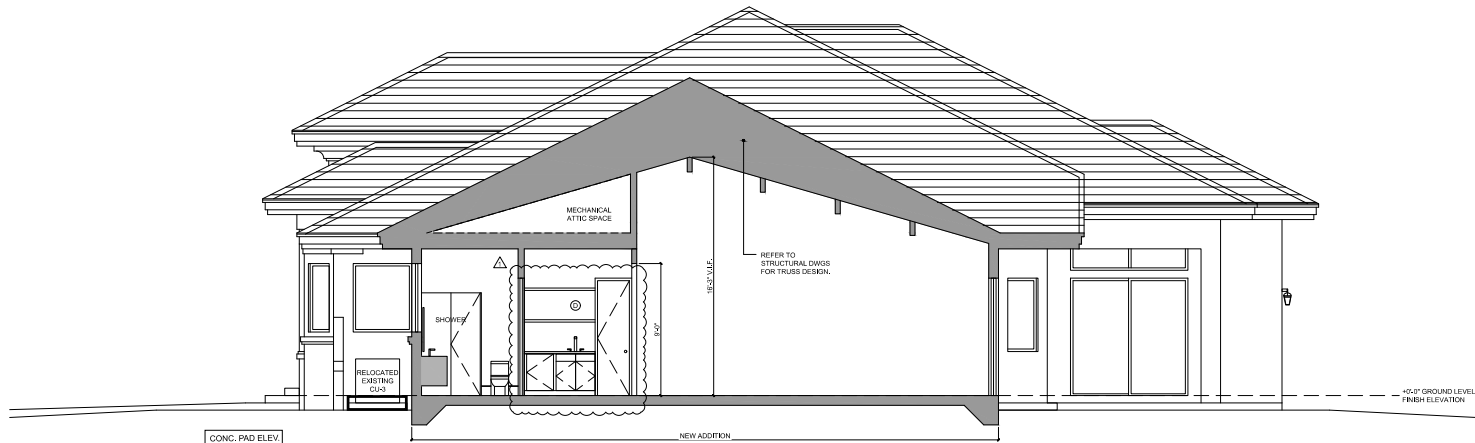
ELEVATIONS LEGEND:

- ⓪ EXISTING IMPACT EXTERIOR WINDOW AND DOOR
- Ⓛ NEW STUCCO PAINTED, COLOR TO MATCH EXISTING.
- Ⓜ NEW STUCCO BANDING TO MATCH DIMENSIONS OF EXISTING ADJACENT.
- Ⓝ NEW FLAT CONCRETE TILE ROOF UNDER SEPARATE PERMIT BY MANUFACTURER/INSTALLER.
- Ⓞ REUSED WINDOW FROM TOILET ROOM
- Ⓟ NEW ARCHITECTURAL EXTERIOR LIGHT FIXTURE



CONC. PAD ELEV.
6.9' NAVD 1988

1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



CONC. PAD ELEV.
6.9' NAVD 1988

2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

ELEVATIONS LEGEND:

- ⊙ EXISTING IMPACT EXTERIOR WINDOW AND DOOR
- NEW STUCCO PAINTED, COLOR TO MATCH EXISTING.
- ⊙ NEW STUCCO BANDING TO MATCH DIMENSIONS OF EXISTING ADJACENT.
- ⊙ NEW FLAT CONCRETE TILE ROOF UNDER SEPARATE PERMIT BY MANUFACTURER/INSTALLER.
- ⊙ REUSED WINDOW FROM TOILET ROOM. SEE GENERAL WINDOW NOTE #13 ON SHEET A-2.
- ⊙ NEW ARCHITECTURAL EXTERIOR LIGHT FIXTURE

ROOFING NOTE:
NEW FLAT CONCRETE TILE ROOF
UNDER SEPARATE PERMIT BY
MANUFACTURER/INSTALLER.

GLAZING NOTE:
NEW IMPACT WINDOWS AND
DOORS UNDER SEPARATE PERMIT
BY MANUFACTURER/INSTALLER.



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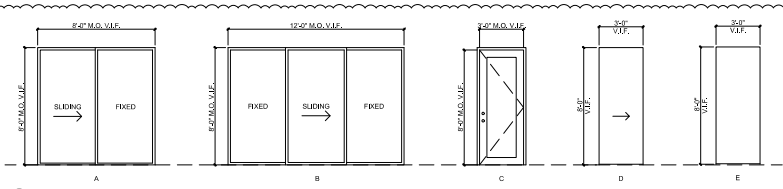
GYM ADDITION
BEN-DAVID RESIDENCE

REVISION #1 07 NOV 2022
FERRY SET 07 AUG 2022
ISSUE DATE
PROJECT NO: 22007
SCALE: AS SHOWN
DATE: 06 JULY 2022

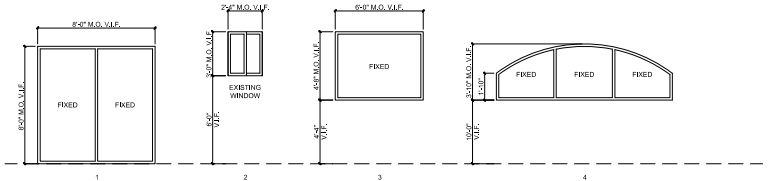
BEN-DAVID
RESIDENCE
3308 HOLLYWOOD DAMS DRIVE
HOLLYWOOD, FL 33118

EAST ELEVATION
AND
BLDG. SECTION
DRAWING

A-4
5 OF 16 SHEETS



1 DOOR TYPES



3 WINDOW TYPES

DOOR SCHEDULE		DOOR		DOOR		FRAME		HARDWARE		COMMENTS	
DOOR NUMBER	ROOM NAME	WIDTH	HEIGHT	THICKNESS	MATERIAL	MATERIAL	FINISH	JAMB	THRESHOLD	HARDWARE	COMMENTS
101A	GYM/YOGA ROOM	8'-0"	8'-0"	PER MFR.	ALUM/GLASS	ALUM.	ANOD. ALUM.	ALUM.	ALUM.	PRIVACY	2-PANEL SLIDING DOOR; IMPACT RESISTANT; DRK. BRZ. TO MATCH EXIST.
101B	GYM/YOGA ROOM	12'-0"	8'-0"	PER MFR.	ALUM/GLASS	ALUM.	ANOD. ALUM.	ALUM.	ALUM.	PRIVACY	3-PANEL SLIDING DOOR; IMPACT RESISTANT; DRK. BRZ. TO MATCH EXIST.
101C	GYM/YOGA ROOM	3'-0"	8'-0"	0'-1 3/4"	ALUM/GLASS	ALUM.	ANOD. ALUM.	ALUM.	ALUM.	ENTRY	IMPACT RESISTANT; DRK. BRZ. TO MATCH EXISTING
102	BATHROOM	3'-0"	8'-0"	0'-1 3/4"	WOOD	PTD	WOOD	PTD	WOOD	PRIVACY	POCKET DOOR
103	GYM/YOGA ROOM	3'-0"	8'-0"	0'-1 3/4"	WOOD	PTD	WOOD	PTD	WOOD	PRIVACY	SWING DOOR

2 DOOR SCHEDULE

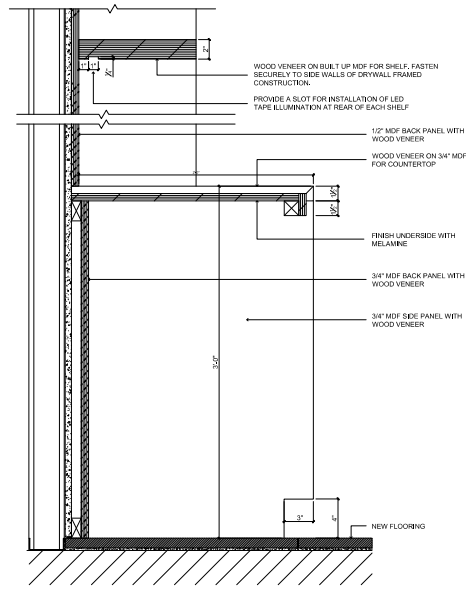
WINDOW SCHEDULE		WINDOW		WINDOW		WINDOW		COMMENTS	
MARK	LENGTH	HEIGHT	MATERIAL	FINISH	GLASS TYPE	GLASS COLOR	GLASS TYPE	GLASS COLOR	COMMENTS
1	8'-0"	8'-0"	ALUM/GLASS	ANOD. ALUM.	LOW-E	MATCH EXISTING	IMPACT RESISTANT; DRK. BRZ. TO MATCH EXISTING		
2	2'-0"	3'-10"	ALUM/GLASS	ANOD. ALUM.	LOW-E	MATCH EXISTING	IMPACT RESISTANT; DRK. BRZ. TO MATCH EXISTING		
3	8'-0"	4'-0"	ALUM/GLASS	ANOD. ALUM.	LOW-E	MATCH EXISTING	IMPACT RESISTANT; DRK. BRZ. TO MATCH EXISTING		
4	12'-0"	3'-10"	ALUM/GLASS	ANOD. ALUM.	LOW-E	MATCH EXISTING	IMPACT RESISTANT; DRK. BRZ. TO MATCH EXISTING		

4 WINDOW SCHEDULE

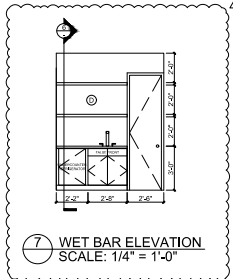
- GENERAL DOOR AND WINDOW NOTES:
1. ALL DOORS AND WINDOWS AS SELECTED BY OWNER.
 2. ALL DIMENSIONS AND MASONRY OPENINGS SHALL BE FIELD VERIFIED WITH MANUFACTURER PRIOR TO COMPLETING THE MASONRY WORK ON THE OPENINGS OR PRODUCTION OF SHOP DRAWINGS.
 3. WINDOW COMPANY SHALL PRODUCE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL, PRIOR TO ORDER FOR MANUFACTURING.
 4. WINDOWS SHALL HAVE IMPACT GLASS, SHADING COEFFICIENT, AND U-VALUE PER ENERGY CALCULATIONS PERTINENT TO LOCALITY PROVIDED BY WINDOW MANUFACTURER.
 5. IMPACT-RESISTANT GLASS SHALL COMPLY WITH PRODUCT CONTROL APPROVED BY MANUFACTURER'S NOTICE OF ACCEPTANCE (NOA).
 6. ALL EXTERIOR DOORS AND WINDOWS SHALL BE ON A SEPARATE PERMIT BY WINDOW MANUFACTURER.
 7. ALL EXTERNAL FINISHES SPECIFIED HEREWITH ARE FOR PERMIT AND BIDDING PURPOSES ONLY.
 8. EXTERIOR THRESHOLD SHALL BE WATERTIGHT.
 9. ALL BATHROOM DOORS TO BE SOLID CORE WOOD DOORS, GASKET AT THE HEAD AND JAMB AND AT THE DOOR BOTTOM WITH AN AUTOMATIC DOOR BOTTOM GASKET.
 10. ALL DOOR HARDWARE SHALL BE LEVEL TYPE, STYLE AND FINISH AS SELECTED BY OWNER.
 11. PROVIDE 1"x4" PRESSURE TREATED WOOD BLOCK, EMBED WITH CAULKING AND SECURE WITH #11 PINS CRS 09#12 HC AT 12" O.C., 3" FROM TOP AND BOTTOM, OR PER MANUFACTURER-APPROVED ASSEMBLY.
 12. BATHROOM DOORS SHALL BE THE TYPE THAT ALLOW OPENING FROM OUTSIDE IN CASE OF AN EMERGENCY; CLOSET LATCHES SHALL BE THE TYPE THAT CHILDREN CAN OPEN FROM INSIDE THE CLOSET.
 13. EXISTING RELOCATED WINDOW PRODUCT INFO: ESW EL200 ALUMINUM HORIZONTAL ROLLING WINDOW WITH N.O.A. NUMBER 2-00600 WITH APPROVAL DATE OF SEPTEMBER 6, 2021 AND EXPIRATION DATE OF JANUARY 9, 2027.

- FINISHES LEGEND:
- 2" THICK WOOD SHELVING, WOOD SPECIES AND STAIN COLOR TO BE SELECTED BY OWNER.
 - 8" HIGH WOOD BASEBOARD, COLOR TO BE DETERMINED.
 - WALL PAINT COLOR TBD.
 - BACK PANEL WITH WOOD VENEER, WOOD SPECIES AND STAIN COLOR TO BE SELECTED BY OWNER.

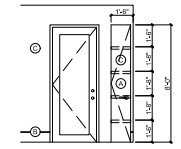
NOTE:
SELECTION OF WOOD VENEER
TO BE CHOSEN BY OWNER



6 WET BAR - MILLWORK DETAIL
SCALE: 2" = 1'-0"



7 WET BAR ELEVATION
SCALE: 1/4" = 1'-0"



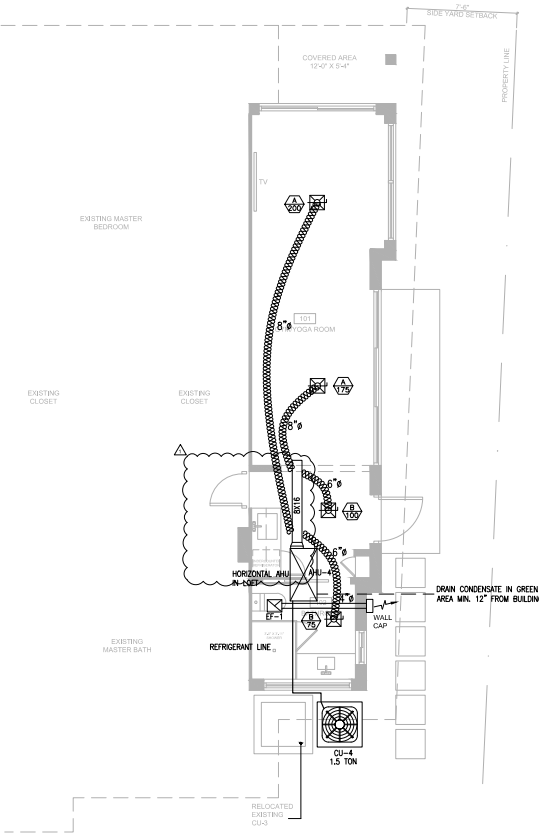
8 STORAGE ELEVATION
SCALE: 1/4" = 1'-0"

5 DETAIL NOT USED
SCALE: 2" = 1'-0"



AIR CONDITIONING SYSTEM SCHEDULE																														
AIR HANDLING UNIT										AIR-COOLED CONDENSING UNIT										SYSTEM										
UNIT NO.	TONS	MAKE	MODEL NO.	S/A CFM	O/A CFM	WEIGHT LBS	E.S.P.	FAN HP	AMPS	UNIT VOLTAGE	ELECTRIC HEATING	M.C.A.	MAX FUSE	DIMENSION (WxDxH) INCH	MAKE	MODEL NO.	COMP.	FAN FLA	M.C.A.	MOOP	UNIT VOLTAGE	WEIGHT LBS	DIMENSION (WxDxH) INCH	CAPACITY (NET) TONS	UNIT (SEER)	ENTERING AIR TEMP.	LEAVING AIR TEMP.			
AHU-4/CU-4	1.5	RHEEM	RH12417ST	550	NO	92	0.5	1/3	1.6	240V	4.8 kW	29.0	30.0	17.5X22X42.5	RHEEM	RA1618AJ	QTY. 1	0.7	12	20	208V	140	29.75X29.75X27	18.0	13.5	16	80.0	67.0	58.7	57.3

1. RHEEM IS THE BASIS OF DESIGN.



1 MECHANICAL FLOOR PLAN
M-1 SCALE: 1/4" = 1'-0"

1. GENERAL NOTES
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (MECHANICAL 2020) AND WITH ALL APPLICABLE REGULATIONS.
 - DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE HVAC WORK.
 - ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
 - GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR. ALL COMPRESSORS SHALL BE GUARANTEED FOR 5 YEARS MINIMUM.
2. DUCT AND ENVELOPE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH FLORIDA BUILDING CODE, ENERGY, 7TH EDITION SECTIONS R402.4.1.2 AND R403.3.3
3. DESIGN PARAMETERS:
- INDOOR DESIGN TEMPERATURE (SUMMER): 72F DB
 - INDOOR DESIGN TEMPERATURE (WINTER): 72F DB
4. ALL THERMOSTATS SHALL HAVE HEATING MODE MAXIMUM SETTING OF 75 F, AND COOLING MODE MINIMUM SETTING OF 70 F. THE THERMOSTAT SHALL BE ARRANGED TO PREVENT THE SIMULTANEOUS OPERATION OF HEATING AND COOLING.
5. ELECTRICAL CONTROLS AND POWER WIRING: UNDER ELECTRICAL CONTRACT.
6. EQUIPMENT SPECIFIED BY MANUFACTURER'S NUMBER SHALL INCLUDE ALL ACCESSORIES, CONTROLS, ETC., LISTED IN THE CATALOG AS STANDARD WITH THE EQUIPMENT. OPTIONAL OR ADDITIONAL ACCESSORIES SHALL BE FURNISHED AS SPECIFIED.
7. MATERIALS:
- REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
 - INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.
 - DUCTWORK:
 - ALL SUPPLY AIR DUCTWORK SHALL BE 1-1/2" THICK FIBERGLASS DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF SMACNA "FIBROUS GLASS DUCT MANUAL". R-6.0 MIN.
 - ALL OUTDOOR AND EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL OR ALUMINUM DUCT NOT LIGHTER THAN 24 GAGE.
 - ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
 - FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FRK VAPOR BARRIER. R-6.0 MIN.
8. CONTROLS: AIR CONDITIONING UNITS SHALL BE STARTED AND STOPPED THRU INDIVIDUAL PROGRAMMABLE THERMOSTAT. INDIVIDUAL THERMOSTATS SHALL START/STOP FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECTED.
9. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.

FAN SCHEDULE									
MARK	SELECTION BASED ON:	TYPE/ SERVICE	CFM	MOTOR DATA	DRIVE	PHASE	UNIT WEIGHT	OR NC	UNIT
MAKE	MODEL NO.			WATTS/AMP	VOLTS-PH-HZ				
F-1	FANONIC	FV-5063 BARROW	50	4.8	-	100	DRIVE	4-3	121

GENERAL FAN NOTES:

- REMOVE WEIR THRESH, DRINKINGS AND ALL ASSOCIATED CONTROLS ON ALL FANS.
- REMOVE SCHEDULE FOR ALL EXHAUST FANS.
- FIELD ASSESS DRINKING WITH CONDENSATE.
- REMOVE BRASSWORK ON ALL SLEETS AND OUTLETS.
- ALL EXHAUST DUCTS TO BE 4" SHEET METAL UNLESS OTHERWISE NOTED.

SCOPE OF WORK:

- INSTALL SPLIT UNIT CU-4 AND HORIZONTAL AHU-4 TO SERVE THE GYM.

SUPPLY & RETURN DISTRIBUTION SCHEDULE									
TAG	DESIGN QTY	SIZE	FACE SIZE	ORILE TYPE					
SUPPLY DIFFUSER									
A	000-107	8x8	12x12	BASES OF DESIGN, TITUS OMM-AA					
	107-279	8x8	12x12	MATERIAL: ALUMINUM					
				OPPOSED BLADE DAMPERS: NO					
ONE-WAY DIFFUSER									
B	000-100	8x8	10x10	BASES OF DESIGN, HERSHISE					
	100-200	8x8	10x10	COLOR: VERIFY W/ARCHITECT					
				MATERIAL: ALUMINUM					
				OPPOSED BLADE DAMPERS: NO					
RETURN GRILLE									
C	000-101	8x8	24x24	BASES OF DESIGN, TITUS OMM-AA					
	100-208	8x8	24x24	COLOR: VERIFY W/ARCHITECT					
	100-210	8x8	24x24	COLOR: VERIFY W/ARCHITECT					
	473-704	12x12	24x24	MATERIAL: ALUMINUM					
	700-100	14x14	24x24	MATERIAL: ALUMINUM					
	877-108	16x16	24x24	OPPOSED BLADE DAMPERS: NO					
	100-207	16x16	24x24						
TRANSFER GRILLE									
T	000-102	8x8	10x8	BASES OF DESIGN, TITUS OMM-AA					
	100-200	10x10	12x12	COLOR: VERIFY W/ARCHITECT					
	221-200	10x10	20x12	MATERIAL: ALUMINUM					
	300-204	18x14	25x16	OPPOSED BLADE DAMPERS: NO					

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KYLE MAILLOUX, P.E.
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P: 954.420.4209
E: Kyle@horizonengineering.com

Digitally signed
by Kyle Maillox
Date: 2023.04.03
13:13:51-04'00'

PROJECT NAME: **NEW GYM ADDITION**

PROJECT ADDRESS: 3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL 33312

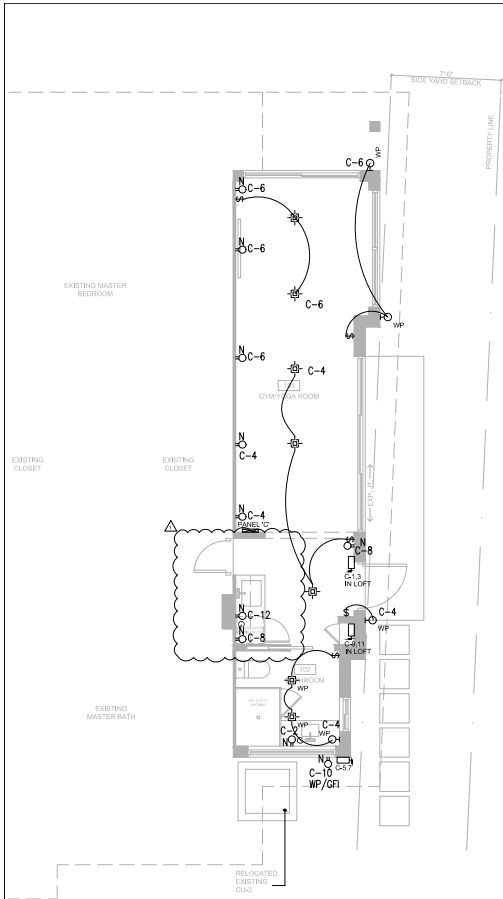
Rev	Description	Date
1	REV COMMENTS	4/3/23

CLIENT: **GABRIEL HERNANDEZ**

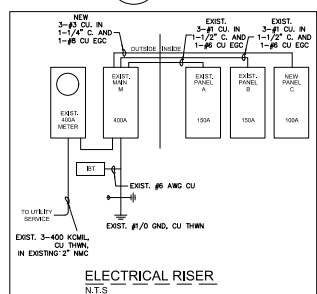
Drawn by: NS
Designed by: KM
Checked by: KM

SCALE: 1/4" = 1'-0"

M1
SHEET NUMBER



1 ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



- ELECTRICAL**
- VENTY LIGHT
 - RECESSED LIGHT FIXTURE
 - EXTERIOR RECESSED LIGHT FIXTURE
 - EXTERIOR LIGHT FIXTURE (WORK PROOF)
 - EXTERIOR WALL MOUNTED LIGHT FIXTURE
 - WALL MOUNTED LIGHT FIXTURE
 - EXTERIOR WALL MOUNTED LIGHT FIXTURE
 - JUNCTION BOX
 - LIGHT SWITCH
 - 3-WAY LIGHT SWITCH
 - PUSH BUTTON (GARAGE DOOR)
 - BATHROOM EXHAUST FAN
 - SMOKE DETECTOR
 - COMBINATION SMOKE AND CO2 DETECTOR
 - DUPLEX RECEPTACLE 125V.
 - GFCI DUPLEX RECEPTACLE 125V.
 - 250V RECEPTACLE
 - SINGLE RECEPTACLE, 20 AMP., 125V. COORDINATE M.H. WITH EQUIPMENT.
 - DUPLEX RECEPTACLE, 20 AMP., 125V. TOP HALF SWITCHED, N.H.=18" A.F.F. UNLESS OTHERWISE NOTED

ELECTRICAL PANEL SCHEDULE
EXISTING PANEL A: 150 AMPS, 120/240V, 1PH

NOTES	GEN KVA	HVAC	WIRE	TRIP POLE	CIRCUIT DESCRIPTION	CCTH	CCTN	CIRCUIT DESCRIPTION	TRIP POLE	WIRE	HVAC	GEN KVA	NOTES
4		0.5	#6	60-2	AIR HANDLER #2	1	2	COOKTOP	40-2	NE		5.0	4
4	1.5		#2	20-3	GFI BREAKER	5	6	DRYER	30-2	#10		5.0	4
4			#2	20-3	BACK LANDSCAPE	7	8						
4	0.5		#2	20-3	GARAGE BOSE #1	9	10	DISHWASHER	20-2	#12		2.5	4
4	1.5		#2	20-3	GFI LAMINRY	11	12	DISPOSAL #1	20-2	#12		2.5	4
4	0.5		#2	20-3	GARAGE BOSE #2	13	14	BREAKFAST	20-1	#12		2.5	4
4	1.5		#2	20-3	DINING ROOM	15	16	HOT PLATE	20-1	#12		3.5	4
4	1.5		#2	20-3	LAUNDRY GFCI	17	18	GFI BREAKER	20-1	#12		3.5	4
4			#4	35-3	OUTSIDE FLOODS	19	20	REFRIGERATOR	20-1	#12		0.8	4
4			#4	35-3	HOT TUB PANEL	21	22	BATH LIGHTS	35-3	#15			4
4			#4	35-3	HOT TUB CIRCUIT	23	24	RECORDING	35-3	#15			4
4			#4	35-3	BATH FIXTURES	25	26	LAMINRY LIGHTS	35-3	#15			4
4			#4	35-3	GFI SPACE	27	28	RECORDING #1	35-3	#15			4
4			#2	20-3	SPACE	29	30	NEW BATH GR	35-3	#15			4
	5.50	9.5								0.00	36.30		

1885 SQ. FT. OF GENERAL POWER & LIGHTING @ 3VA/SQFT

GENERAL LIGHTING AND RECEPTACLES 5.56 KVA
SMALL APPLIANCE BRANCH CIRCUITS 1.5 KVA EACH: 2 3.00 KVA
LAUNDRY BRANCH CIRCUITS 1.5 KVA EACH: 2 3.00 KVA
TOTAL LIGHTING AND RECEPTACLES 11.56 KVA
FIRST 3 KVA AT 80% 3.00 KVA
REMAINER AT 75% 8.56 KVA
FASTENED IN PLACE APPLIANCES @ 75% 8.85 KVA
DRYER 5.00 KVA
COOKTOP 6.00 KVA
TOTAL HEATING OR COOLING @ 100% 0.00 KVA
LARGEST MOTOR LOAD 0.83 KVA
TOTAL CALCULATED LOAD 36.31 KVA 137 AMPS

NOTES:
1. AFC PROTECTED
2. GFCI PROTECTED
3. HACR BREAKER
4. EXISTING

DEMAND LOAD CALCULATED IN ACCORDANCE WITH NEC 2020 220.62

ELECTRICAL PANEL SCHEDULE
EXISTING PANEL B: 150 AMPS, 120/240V, 1PH

NOTES	GEN KVA	HVAC	WIRE	TRIP POLE	CIRCUIT DESCRIPTION	CCTH	CCTN	CIRCUIT DESCRIPTION	TRIP POLE	WIRE	HVAC	GEN KVA	NOTES
4		9.5	#6	60-2	AIR HANDLER #1	1	2	DOUBLE OVEN	40-2	#12		8.0	4
4	4.5		#10	25-3	WATER HEATER	5	6	GFI MASTER BATH	20-1	#12		4	4
4			#10	30-3	AIR HANDLER #3	7	8	MICROWAVE	20-1	#12		1.2	4
4			#10	30-3	AE #1	9	10	FLOOR LIGHTS	15-1	#14			4
4	2.5		#12	20-1	DISHWASHER	11	12	CLOSET LIGHTS	15-1	#14			4
4	3.5		#12	20-1	GFI BREAKER	13	14	LAUNDRY	15-1	#14			4
4	0.8		#12	20-1	REFRIGERATOR	15	16	GY SATHR	20-1	#12			4
4	1.5		#12	20-1	FRONT LANDSCAPE	17	18	POWDER BATH LIGHTS	15-1	#14			4
4	1.5		#12	20-1	WATER HEATER PUMP	19	20	DB	15-1	#14			4
4			#12	20-1	GEN LIGHT (NEW)	21	22	MASTER BATHROOM	15-1	#14			4
4			#12	20-1	SPACE	23	24	MASTER BATHS	15-1	#14			4
4			#12	20-1	SPACE	25	26	HALLWAY REHATS	15-1	#14			4
4			#12	20-1	SPACE	27	28	WHIRLPOOL	20-1	#12		1.5	4
4			#12	20-1	SPACE	29	30	SPACE					4
	30.80	18.25								0.00	18.70		

1885 SQ. FT. OF GENERAL POWER & LIGHTING @ 3VA/SQFT

GENERAL LIGHTING AND RECEPTACLES 5.56 KVA
SMALL APPLIANCE BRANCH CIRCUITS 1.5 KVA EACH: 1 1.50 KVA
LAUNDRY BRANCH CIRCUITS 1.5 KVA EACH: 6 6.00 KVA
TOTAL LIGHTING AND RECEPTACLES 7.16 KVA
FIRST 3 KVA AT 80% 3.00 KVA
REMAINER AT 75% 4.16 KVA
FASTENED IN PLACE APPLIANCES @ 75% 8.40 KVA
DOUBLE OVENS 8.00 KVA
DRYER 6.00 KVA
TOTAL HEATING OR COOLING @ 100% 0.00 KVA
LARGEST MOTOR LOAD 0.00 KVA
TOTAL CALCULATED LOAD 35.31 KVA 146 AMPS

NOTES:
1. AFC PROTECTED
2. GFCI PROTECTED
3. HACR BREAKER
4. EXISTING

DEMAND LOAD CALCULATED IN ACCORDANCE WITH NEC 2020 220.62

ELECTRICAL PANEL SCHEDULE
NEW PANEL C: 100 AMPS, 120/240V, 1PH

NOTES	GEN KVA	HVAC	WIRE	TRIP POLE	CIRCUIT DESCRIPTION	CCTH	CCTN	CIRCUIT DESCRIPTION	TRIP POLE	WIRE	HVAC	GEN KVA	NOTES
3		5.5	#6	50-2	AIR HANDLER #4	1	2	SEER 13.5 CH	20-1	#12		1.15	1
3			#6	50-2	AC #1M	3	4	LIGHTING 1_CPM	15-1	#14			1
3			#6	50-2	AC #2M	5	6	LIGHTING 2_CPM	15-1	#14			1
3			#6	50-2	AC #3M	7	8	REFRIGERATOR - GYM	20-1	#12		0.8	1-2
3			#6	50-2	AC #4M	9	10	EXTENDED RECEPTACLES	20-1	#12		1.20	1
3			#6	50-2	WATER HEATER	11	12	SMALL APPLIANCE	20-1	#12		1	1
					SPACE	13	14	SPACE					
					SPACE	15	16	SPACE					
					SPACE	17	18	SPACE					
					SPACE	19	20	SPACE					
					SPACE	21	22	SPACE					
	9.12	9.5								0.00	0.80		

400 SQ. FT. OF GENERAL POWER & LIGHTING @ 3VA/SQFT

GENERAL LIGHTING AND RECEPTACLES 1.20 KVA
SMALL APPLIANCE BRANCH CIRCUITS 1.5 KVA EACH: 1 1.50 KVA
LAUNDRY BRANCH CIRCUITS 1.5 KVA EACH: 0 0.00 KVA
TOTAL LIGHTING AND RECEPTACLES 2.70 KVA
FIRST 3 KVA AT 80% 2.16 KVA
REMAINER AT 75% 0.54 KVA
FASTENED IN PLACE APPLIANCES @ 75% 0.60 KVA
DRYER 6.00 KVA
RANGE 6.00 KVA
TOTAL HEATING OR COOLING @ 100% 6.00 KVA
LARGEST MOTOR LOAD 0.80 KVA
TOTAL CALCULATED LOAD 14.63 KVA 69 AMPS

NOTES:
1. AFC PROTECTED
2. GFCI PROTECTED
3. HACR BREAKER
4. EXISTING

DEMAND LOAD CALCULATED IN ACCORDANCE WITH NEC 2020 220.62

ELECTRICAL PANEL SCHEDULE
EXISTING MAIN: 400 AMPS, 120/240V, 1PH

NOTES	GEN KVA	HVAC	WIRE	TRIP POLE	CIRCUIT DESCRIPTION	CCTH	CCTN	CIRCUIT DESCRIPTION	TRIP POLE	WIRE	HVAC	GEN KVA	NOTES
	21.80	9.50	#1	150-3	150 AMP PANEL A	1	2	NEW 100 AMP PANEL C	300-2	#8	5.56	9.82	
					SPACE	3	4	SPACE	350-2	#1	14.26	21.50	
					SPACE	5	6	SPACE					
					SPACE	7	8	SPACE					
					SPACE	9	10	SPACE					
					SPACE	11	12	SPACE					
					SPACE	13	14	SPACE					
					SPACE	15	16	SPACE					
					SPACE	17	18	SPACE					
					SPACE	19	20	SPACE					
					SPACE	21	22	SPACE					
	8.1		#6	45-1	AC #1	23	24	TIMER (LANDSCAPING LIGHTS)	20-1	#12		0.50	
			#6	45-1	AC #2	25	26	GFI FOUNTAIN	20-1	#12		0.50	
			#6	45-1	AC #3	27	28	POOL EQUIPMENT	60-2	#6		2.5	
	0.6		#12	20-3	SPRINGER PUMP	29	30	GFI	15-1	#14			
					SPACE	31	32	SPACE					
					SPACE	33	34	SPACE					
					SPACE	35	36	SPACE					
					SPACE	37	38	SPACE					
					SPACE	39	40	SPACE					
					SPACE	41	42	SPACE					
	23.35	21.10									15.76	34.63	

4178 SQ. FT. OF GENERAL POWER & LIGHTING @ 3VA/SQFT

TOTAL GENERAL LIGHTING AND RECEPTACLE LOAD 12.51 KVA
TOTAL KVA LESS AFC 68.18 KVA
15% LB @ 100% 10.23 KVA
REMAINER @ 40% 23.71 KVA
TOTAL HEATING OR COOLING @ 100% 26.16 KVA
TOTAL CALCULATED LOAD 82.97 KVA 352 AMPS

NOTES:
1. AFC PROTECTED
2. GFCI PROTECTED
3. HACR BREAKER

DEMAND LOAD CALCULATED IN ACCORDANCE WITH NEC 2020 220.62

- ELECTRICAL NOTES**
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE 2017, FLORIDA BUILDING CODE 2020 AND/OR ANY LOCAL CODES AND ORDINANCES.
 - THE ELECTRICAL CONTRACTOR SHALL PAY ANY FEES, TAXES AND PERMIT FEES PERTAINING TO THE ELECTRICAL WORK.
 - THE ELECTRICAL CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR LOCATION OF ALL EQUIPMENT. CONTRACTOR SHALL NOT SCALE PLANS.
 - IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY AND ALL DETAILS OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AS TO PROVIDE A COMPLETE ELECTRICAL INSTALLATION WITH ALL EQUIPMENT IN PROPER WORKING ORDER.
 - THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF HIS WORK WITH THAT OF THE OWNER/BUILDER AND ALL OTHER SUB-CONTRACTORS.
 - IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED SHALL BE DONE SO BY A LICENSED ELECTRICAL CONTRACTOR AND IN A FIRST CLASS WORKMANLIKE MANNER.
 - ALL ELECTRICAL WORK AND MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE OF CERTIFICATE OF OCCUPANCY AND AS BY CONTRACT W/ OWNER.
 - ALL POWER AND CONTROL WIRING SHALL BE DONE BY THE ELECTRICAL CONTRACTOR.
 - ALL INTERIOR CIRCUITS SHALL BE IN CONDUIT. ALL WIRES SHALL BE THWN/THHN TYPE. OBTAIN APPROVAL OF LOCAL ELECTRICAL INSPECTOR FOR USE OF MC CABLE.
 - ALL EXTERIOR CIRCUITS SHALL BE IN PVC CONDUIT PROVIDED WITH A GREEN GROUND WIRE.
 - ALL DISCONNECT SWITCHES SHALL BE FUSED WITH CURRENT LIMITING FUSES. VERIFY FUSE SIZE WITH EQUIPMENT'S NAME PLATE WHERE APPLICABLE.
 - ALL CONTRACTORS RESPONSIBLE FOR GENERATOR POWER.
 - THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL PLUGS AND CORDS AT ALL APPLIANCES INDICATED ON PLANS AND SCHEDULES.
 - ALL WIRE SIZES INDICATED ARE BASED THE USE OF COPPER CONDUCTORS. AT THE DEVELOPER'S OPTION ALUMINUM CONDUCTORS MAY BE USED FOR FEEDERS AND SERVICES WHERE THE FOLLOWING CONDITIONS ARE ADHERED TO:
A. MINIMUM SIZE OF ALUMINUM SHALL BE #1 AWG (100A).
B. ALL TERMINATIONS SHALL BE MADE WITH COMPRESSION TYPE FITTINGS.
C. CONDUIT SIZES SHALL BE INCREASED ACCORDINGLY IN ORDER TO ACCOMMODATE THE USE OF LARGER CONDUCTOR.
D. GROUND CONDUCTORS SHALL NOT BE ALUMINUM.
 - ALUMINUM CONDUCTORS SHALL NOT BE USED FOR BRANCH CIRCUIT WIRING.
 - TIME SWITCHES SHALL BE 120V, 24 HOUR ASTRONOMIC DIAL AS APPROVED BY OWNER.
 - CONTRACTOR SHALL COORDINATE FUSE AND CKT. BREAKER SIZE AS PER EQUIPMENT NAME PLATE PRIOR TO ROUGH-IN CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR SHOPDRAWINGS.
 - DRYER AND RANGE RECEPTACLES SHALL BE 120/240V, MN 10-4 WIRE TYPE (PER NEC 250-140).
 - LIGHT SWITCHES, OUTLETS, THERMOSTATS, NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE THE FINISH FLOOR AND 44" WHERE BASE CABINETS.
 - EQUIPMENT GROUNDING CONDUCTOR IN WET LOCATIONS SHALL BE COPPER.
 - RUN ALL C.U. LOW VOLTAGE WIRES FROM A.H.U. TO C.U. IN 1/2" CONDUIT (USE 3 PAIR WIRE)
 - ALL SMOKE DETECTORS SHOULD BE INTERCONNECTED. IN COMMON AREAS & SMOKE DETECTORS SHALL BE A COMBINATION IONIZATION / PHOTO ELECTRIC TYPE.
 - ALL BRANCH CIRCUITS THAT SUPPLY 120V, 15 AMP & 20AMP OUTLETS SHALL BE PROTECTED BY COMBINATION TYPE BAC-FALT CIRCUIT INTERRUPTERS LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
 - ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, DEN, SBRAROOM, BEDROOM, BATHROOM, LAUNDRY AND OUTDOOR AREA.
 - ALL SMALL APPLIANCE RECEPTACLES DEDICATED TO SERVE COUNTERTOP SURFACES IN KITCHEN SHALL BE GFI PROTECTED.
 - SINGLE STATION 110V SMOKE DETECTORS WITH A SMOKE BATTERY BACK-UP. SMOKE DETECTORS SHALL BE INTERCONNECTED SO THAT OPERATION OF ANY SMOKE DETECTOR SHALL ACTIVATE ALL SMOKE ALARMS WITH THE DWELLING UNIT. CONNECT TO LIVING ROOM LIGHTING CIRCUIT. AFO TYPE CIRCUIT. LOCATE ALL SMOKE DETECTORS A MINIMUM OF 3'-0" FROM ALL RETURN AIR AND SUPPLY AIR GRILLES AND DIFFUSERS. ALL STATIONS SHOWN OUTSIDE THE SLEEPING ROOMS SHALL BE AC WIRE-IN COMBINATION CARBON MONOXIDE & SMOKE ALARM WITH BATTERY BACKUP AND INDEPENDENT CO AND SMOKE SENSORS. LOCATE ALL COMBINATION CARBON MONOXIDE & SMOKE ALARM WITH 10'-0" OF EACH SLEEPING ROOM.

- SCOPE OF WORK:
- ADD NEW PANEL FOR NEW ADDITION
 - ADD NEW A/C UNIT AND TANKLESS WATER HEATER.
 - ADD LIGHTING AND RECEPTACLES AS INDICATED.
 - EXISTING SUB PANELS A AND B TO REMAIN THE SAME.

Kyle Mailloux Engineering
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E: Kyle@kylemaillouengineering.com

ENGINEER:
KYLE MAILLOUX, P.E.
License Number: 87103
197 SW 21st Ct, Fort Lauderdale, FL 33315
E: Kyle@kylemaillouengineering.com

Digitally signed by Kyle Mailloux
Date: 2023.04.03
13:13:48-04'00'

NEW GYM ADDITION

PROJECT NAME
PROJECT ADDRESS
3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL 33312

Rev	Description	Date
1	REV COMMENTS	4/3/23

CLIENT:
GABRIEL HERNANDEZ

Drawn by: NS
Designed by: KM
Checked by: KM
SCALE: 1/4" = 1'-0"

E1
SHEET NUMBER

