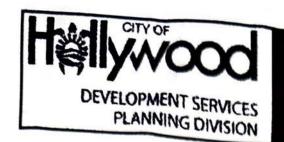




GENERAL APPLICATION

APPLICATION DATE:			
2600 Hollywood Blvd Room 315 Hollywood, FL 33022	l 	THAT APPLIES): Art in Public Places Committee Historic Preservation Board Administrative Approval	✓ Variance Special Exception
Tel: (954) 921-3471 Email: Development@ Hollywoodfl.org	PROPERTY INFORMATION Location Address: 3301 HOLLYWO	OOD OAKS DRIVE, HOLLYWO	OD, FL 33312
SUBMISSION REQUIREMENTS:	Lot(s): 27 Block B	ck(s): 1 S	Subdivision: BANYAN OAKRIDGE
 One set of signed & sealed plans (i.e. Architect or Engineer) One electronic <u>combined</u> PDF 	Zoning Classification: R-A-1 (SEE P Existing Property Use: RESIDENTIA Is the request the result of a viola	L Sq Ft/Num ation notice? ☐ Yes ☑ No	ber of Units: 4,086 SF / 1 UNIT old If yes, attach a copy of violation
submission (max. 25mb) Completed Application Checklist	Has this property been presented t Number(s) and Resolution(s): NO	to the City before? If yes, c	heck al that apply and provide Fil
Application fee	DEVELOPMENT PROPOSAL Explanation of Request: P.U.D. ZOI SETBACK OF 7.5 FEET TO MAKE PRO		10 FEET. OWNER IS REQUESTING
	Phased Project: Yes ☐ No ☑ Num	nber of Phases:	
	Project	Proposal	
	Project Units/rooms (# of units)	Proposal # UNITS: [1 #Rooms 5
NOTE:		•	1 #Rooms 5 S.F.)
This application must	Units/rooms (# of units)	# UNITS: [
This application must be <u>completed in full</u> and submitted with all	Units/rooms (# of units) Proposed Non-Residential Uses	# UNITS: [0 S.F.) (Area: 3,713 S.F.)
This application must be completed in full and submitted with all documents to be placed on a Board or	Units/rooms (# of units) Proposed Non-Residential Uses Open Space (% and SQ.FT.)	# UNITS: [Required %: 30	0 S.F.) (Area: 3,713 S.F.) PACES: (# 5)
This application must be <u>completed in full</u> and submitted with all documents to be placed on a Board or Committee's agenda.	Units/rooms (# of units) Proposed Non-Residential Uses Open Space (% and SQ.FT.) Parking (# of spaces)	# UNITS: [Required %: 30 PARK. SF (# STORIES) [0 S.F.) (Area: 3,713 S.F.) PACES: (# 5)
 This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda. The applicant is responsible for obtain- 	Units/rooms (# of units) Proposed Non-Residential Uses Open Space (% and SQ.FT.) Parking (# of spaces) Height (# of stories)	# UNITS: [Required %: 30 PARK. SF (# STORIES) [Lot(s) Green	0 S.F.) (Area: 3,713 S.F.) PACES: (# 5) 1 (26 FT.) oss Area (10,789 FT.)
 This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda. The applicant is responsible for obtaining the appropriate checklist for each type 	Units/rooms (# of units) Proposed Non-Residential Uses Open Space (% and SQ.FT.) Parking (# of spaces) Height (# of stories) Gross Floor Area (SQ. FT)	# UNITS: [Required %: 30 PARK. SF (# STORIES) [Lot(s) Green: DAVID AND RINA BEN-DA	0 S.F.) (Area: 3,713 S.F.) PACES: (# 5) 1 (26 FT.) Doss Area (10,789 FT.)
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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifles that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	RD.	alala.
1	C.F.	Date: <u>\$/8/24</u>
PRINT NAME: RINA BEN-DAVID		Deter
Signature of Consultant/Representati	ve: Hilly	Date: Date: 06 Aug 24
PRINT NAME: GABRIEL HERNANDEZ	7 0	Date: _06 AUG 2024
Signature of Tenant:		Date:
PRINT NAME:		Date:
Current Owner Power of Attorney		
I am the current owner of the descr	ribed real property and that I am aware	of the nature and effect the request for made by me or I am hereby authorizing
Committee) relative to all matters conce		(Board and/or
Sworn to and subscribed before me		RBA
this 8 day of A	Morgan Shortell Notary Public of New Jersey	Signature of Current Owner
1	Registration No. 50183818 Commission Expires 01/27/2027	D. Bon Duil
Notary Public State of Florida New Juny		Print Name
State of Flenda / COUNTY	40	Print Name Produced Identification Abred - Dc
My Commission Expires(Chec	* One) Personally known to me; OR	Produced Identification
-1/202	+	

REVIEW OF OAKRIDGE PLAT PROPERTIES (SOUTH PORTION - ZONED R-A1) BROWARD COUNTY ZONING REGULATIONS

Minimum Lot Width = 100'

Minimum Lot Size = 10,000 sq. ft.

Minimum Floor Area = 1,500 sq. ft.

Minimum Setbacks:

Front = 25', Side = 10', Street Side = 15', Rear = 15'

Maximum Coverage of Principal and Accessory Structures = 40%

Maximum Height = 2 stories @ 35'

Required Parking: 2 parking spaces @ 9' x 18' (tandem permitted) - 24' backout - No parking space or aisle within 3' of any building or door

Landscaping:

4 trees (2 in front yard) @ 10'-12' x 2 1/5" caliper, 4 1/2' clear trunk - 35% native required

13 shrubs @ 24" x 24" - 35% native required

Sod or ground cover required - no more than 80% sod may be used for ground cover

No Exotic Pest Plants are permitted

Pools are covered by Section 39-177 - screen enclosure or 5' fence or wall required - self locking gates Pools and pool equipment must meet setback requirements for principal structure

A/C units are covered by Section 39-154 - maximum projection of 36" into setback

2. NO WORK SHALL COMMENCE UNTIL THE APPROVED PLANS ARE OBTAINED FROM THE BUILDING DEPARTMENT AND A PERMIT ISSUED.

3. WORK SHALL BE DONE IN CONFORMANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL BUILDING CODES, INCLUDING LOCAL AMENDMENTS AND BULLETINS.

4. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE PRIOR TO PROCEEDING WITH THE WORK.

5. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS CAREFULLY AND SHALL AT ONCE REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, FIELD CONDITIONS, AND THE INTENT OF THE WORK TO THE ARCHITECT.

7. BEFORE WORK COMMENCES, CONTRACTOR SHALL OBTAIN AND PROVIDE ALL OF THE FALLOWING.
FALLOWING SHAPE AND SHAPE OF THE SHAPE

8. CONTRACTOR SHALL PROMDE ADEQUATE TEMPORARY BRACING AND SHORING WHENEVER AND STRUCTURAL WORK IS INVOLVED. ALL DEBOLITION OPERATIONS, REPAIR OPERATIONS, AND ALTERATION OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH REGULATING AGENCIES AND COORDINATED BY THE CONTRACTOR.

9. THE CONTRACTOR SHALL NOT DAMAGE OR ENDANGER ANY PORTION OF THE WORK OF THE OWNER OR OF OTHER CONTRACTORS.

10. MAKE ALL OPENINGS FOR REQUIRED TEMPORARY PIPING, DUCTS, AND CONDUIT PASSING THROUGH FLOORS, WALLS, CEILINGS, AND SLABS SECURE AND STABLE. SEAL AROUND ALL SUCH TEMPORARY OPENINGS.

11. MANTAN A CISAN WORK SITE AT ALL TIMES CART AWAY BUBBISH PROMPTLY, DO NOT STORE EQUIPMENT, MATERIALS, OR DEBRIS ON THE SITE BEYOND TIME NECESSARY FOR CONSTRUCTION WITH SUCH HATERNAS, ALL TEMPORARY WORK SHALL BE REMOVED WHEN NO LONGER REQUIRED AND AFFECTED PROPERTY RESTORED.

12. USE MOLD RESISTANT GROUT/CAULKING IN ALL WET AREAS WHERE STONE OR PORCELAIN TILE IS USED.

13, ALL WORK MATERIALS AND EQUIPMENT UTBIZED SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. SUBSTITUTIONS REQUIRE A PPROVAL FROM THE OWNER AND THE ARCHITECT.

14. ALL WORK SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.

15. CONTRACTOR TO REMOVE, RELOCATE OR REROUTE, AS NECESSARY, ELECTRICAL, TELEPHONE WATER, SEWER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.

16. CONTRACTOR SHALL IMMEMATELY NOTIFY ARCHITECT OF ANY UNEXPECTED OR UNKNOOFFIELD CONCITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUEL, OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP PARIOCATIONS.

17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR ANNOR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA, ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.

18. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED

19. ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIALS UNLESS NOTED OTHERMISE ON DRAWMOSS, WHERE A DIMENSION IS LABELED "CLEAR" IT IS TAKEN FROM THE FACE OF FINISH MATERIALS.

20. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR RISTALLATION OF ALL APPLICABLE TREAS FOR CONSTRUCTION, ALL SHOP DRAWINGS INSHANDONS SHALL BE REFURED, REVIEWED, AND APPROVED BY CONTRACTOR BEFORE DUMITTAL, SHOP DRAWINGS WHICH ARE INCOMPLETE OR LACKING SUFFICIENT YORGANION WILL BE RETURNED WHOOL REVIEW.

21. THE CONTROLTER SHALL BE ADMED THAT SHEEPED FREARIES SEPARATION WITHIN THE
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22. THE USE OF FIRE RETARDANT TREATED WOOD IS PROHIBITED. PRESSURE TREATED WOOD SHALL BE USED WHERE WOOD IS IN CONTACT WITH CONCRETE OR MASONRY OR IN CONTACT WITH SHALL BE USED WHERE WC THE ELEMENTS (EXTERIOR)

23. IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINSH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.

ALCOMPRICTOR SHALL COMMUNITY WITH MESTHANDAL AND ESTITEAL CONTRACTORS FRE-LOCATION OF ALL LOCSES DAMES ON A TO ALCO FINE ROPERT EQUIPMENT ACCESSIBILITY MANIFEMENCE AND/OR OPERATION OF THE BULDING SYSTEMS PRIGHT TO THE START OF WORK, THE OMISSIONS OF ANY OR ALL ACCESS PARES DOES NOT RELEVE THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS, ACCESS PANELS IN RATED ELEMENTS SHALL HAVET THE SAME FIRE RATING.

25, CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED ECUIPMENT, AIR CONDITIONING GRILLES OR REGISTERS, COVERS, ETC, UNLESS SPECFICALLY NOTED OTHERWISE. VEHICY AND COORDINATE COLORS WITH ARCHITECT.

27. ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DIFFERENT MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING OR FORM A REVEAL TO MATCH COLOR OF ADJACENT SURFACE. COORGINATE COLORS WITH ARCHITECT.

29. PROVIDE SMOKE ALARMS (DETECTORS) AT EACH SLEEPING ROOM AND IMMEDIATE VICINITY OF SLEEPING AREAS, THEY SHALL BE INTERCONNECTED, FBCR 314.

30. ALL EXISTING SMOKE AND CARBON MONOXIDE ALARMS TO BE PROTECTED AND COVERED DURING CONSTRUCTION.

1. PER F.B.C. R308.1 EACH PAME OF GLAZING INSTALLED IN HAZARDOUS LOCATION AS DEFINED IN F.B.C.R308.4, SHALL BE PROVIDED WITH MANUPACTURERS LABEL DESIGNATING THE TYPE, THICKNESS OF GLASS, AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES AND SHALL BE VISIBLE IN THE FINAL INSTALLATION

2. PER F.B.C. 308.3.1 GLAZING SHALL COMPLY WITH TEST CRITERIA FOR CATEGORY 1 OR 2 AS INDICATED IN TABLE R308.3.1

3. GLAZING IN SLIDING AND SWINGING DOORS SHALL BE SAFETY-GLAZING CATEGORY 1 IF LESS THAN 9 SO, FT, PER F.B.C. R4410.2.3.1.3.1 OR CATEGORY 2 IF GREATER THAN 9 SO, FT, AS PER F.B.C. R4410.2.3.1.3.

4. SWINGING OR SLIDING DOORS OF GLASS WITHOUT A CONTINUOUS FRAME SHALL BE OF ONLY FULLY TEMPERED GLASS NOT LESS THAN 30" IN THICKNESS PER F.B.C. R4410.2.6

S. LAMINATED GLAZING SHALL BE PERMITTED AS AN EQUAL ALTERNATE TO PICKETS, IF TESTED TO SATISFY THE RESISTANCE REQUIREMENTS AS SET FORTH IN FBC R4403.7.3.6.3

6, ALL GLAZING ADJACENT TO & WITHIN 48" OF A DOOR SHALL COMPLY W/FBC R4410.2.4.3

GENERAL FINISHES NOTES:

THE OWNER AND ARCHITECT SHALL BE CONSULTED PRIOR TO FINAL SELECTIONS AND ORDERING OF EACH ITEM SPECIFIED, OR ANY FINISH INVOLVED WITH THIS PROJECT.

2. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E 84 OR UL.

INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTA E-BE OR IL 723 AS PERF SLCR. 302.17

4. WALL INSULATIONS SHALL HAVE A MIN. R-5 VALUE, REFER TO FBCR CHAPTER 11 OR ENGINEER'S ENERGY CALCULATIONS, IF PROVIDED.

5. ALL SHOWER & BATHTUB AREAS SHALL HAVE NON-ABSORBENT FLOOR & WALL FINISHES UP TO 72" HIGH AS PER F.B.C. R307.2 6. ALL CERAMIC TILE WALL FINISH IN TUB & SHOWER AREAS SHALL HAVE A NON-CEMENTITIOUS TILE BACKER BOARD OR GLASS MAT BACKING BOARD AS PER F.B.C. 8702.4.2

GENERAL PARTITION NOTES:

1. EXISTING EXTERIOR WALL CONDITION: TYPICAL EXTERIOR WALL CONSTRUCTION WITH 8' CONCRETE MASONRY UNITS WITH 88' GAIB ON 1 58' GALVANIZED FLAT "STUD & 16' O.C. ON INTERIOR WITH RAS BOARDS INSULATION. HORIZONTAL FIREBLOCKING EVERY 8-0" OF WALL COMPLES WITH SECTION 4408.7.2 OF THE F.S.C. RESIDENTIAL CODE.

2. ALL INTERIOR PARTITIONS TO BE 1 1/2" X 3.56" MTL. STUDS (OR 2X4 WOOD STUDS) @ 16" O.C. FACED WITH 56" G.W.B. PROVIDE HORIZONTAL FIREBLOCKING EVERY 8-0" OF WALL TO COMPLY WITH SECTION 4469.7.2 OF THE F.B.C. RESIDENTIAL CODE.

3. AT BATHROOMS, PROVIDE 3 X* ACOUSTIC BATT INSULATION WITHIN PARTITION, SEAL AT TOP, BOTTOM, ALL OPENINGS AND PENETRATIONS WITH SEALANT.

4. CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, BATHROOM FIXTURES AND ACCESSORIES OR BY OTHER ITEMS DESCRIBED IN THE DRAWINGS.

5. ALL INTERIOR PARTITIONS AT ALL WALL HUNG CABINET LOCATIONS PROVIDE (2) 2"X6" PR (2) 2"X4" WOOD MEMBERS BACKING TO COMPLY WITH SECTION 2318,1.15.1 F.B.C.

6, STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES OR CABINETS SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A KINNAUM EFFECTIVE MOMENT OF INERTIA EQUAL TO G.86F AS PER FRE, REATH,3.5.1 & SHALL HAVE HORIZONTAL MEMBER SECURED TO NOT LESS THAN TWO STUDS PER FBC R4411.4.5.1.3

8. IF NOTED ON PLANS, AT ALL DROPPED CELLINGS / SOFFITS TO BE 58° G.W.B. ON 1-1/27/1-12' 20 GAUGE METAL STUDIS & 10° CG. - PROVIDE FORM OR BLANKET INSULATION AT ALL CELLINGS UNDER ROOFS - TO PREVENT VIOLED LISTING OF MEDITAL DUCTS INFORMACIAL DUCTS INFORMACIAL DUCTS INFORMACIAL DUCTS INFORMACIAL DUCTS INFORMACIAL DUCTS OF MEDITAL THIN THE SPRAY FORM INSULATION, NEITHER DURING INSULATION APPLICATION AND AFTER DRIVEN.

OWNER FURNISHED ITEMS TO BE INSTALLED BY CONTRACTOR:

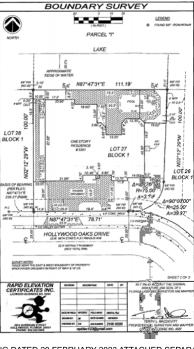
- 1, STONE, PORCELAIN, OR VINYL WOOD FLOORING

- 2. LIGHTING FIXTURES
 3. CELLING FAN TO BE DETERMINED)
 4. PLUMBING FIXTURES WET BAR AND BATHROOM)
 5. BATHROOM BINISHESS (FLOOR AND WALL TILE)
 6. BATHROOM HINNINGER REPRIGERATOR
 8. WINDOW TREATHERN'S
 9. BATHROOM ACCESSORES (I.E. TOWIEL BARS, EXPENSERS)
 10. WET BAR AND BATHROOM COUNTERTORS

OWNER FURNISHED ITEMS TO BE INSTALLED BY VENDOR/MANUFACTURER UNDER SUPERVISION OF CONTRACTOR:

1. EXTERIOR DOORS AND WINDOWS 2. HOME AUTOMATION SYSTEM (TO BE DETERMINED)

BOUNDARY SURVEY PROPERTY ADDRESS: 3001 HOLLYWOOD GARG HOLLYWOOD, FL 30001 LEGAL DESCRIPTION: LOT 27, BLOCK 1, OF TE TO THE PLAT THEREON. OF THE PUBLIC RECORDS OF BROWNING COUNTY, FLORIDA. PARCEL DENTIFICATION NUMBER: \$10279-1913 700 PLOCO ZONE INFORMATION COMMUNITY ANNI E INJURIER MANE PANEL MANIER FORMAT PURM PRINC ENTE DETERMINE International Conference (International Conf RE-COUNTY. PROPERTY OF TERRY'S, MACCIFICITY, PROFESSIONAL, SUPREYOR AND BAPPER AND SHALL NOT BE CONVARY MITHOUT THE PERMISSION OF TURKY L. MACCIFITY, PROFESSIONAL AMPREIS AND SERVICES WHENCE AND TO STREAM TO STREAM TO STREAM THE THE STREAM THE SAME THE SAME SHAPES, AN ATTER AND THE SAME SHAPES, AN ATTER AND THAT AND THE SAME SHAPES, AN ATTER AND THE SAME SHAPES, AN ATTER AND THAT AND THE SAME SHAPES, AND THE SAME SHAPES AND TH AMERICAN STREET ATT AND THE ADMINISTRATION OF THE ADMINISTRA -OF-



1 SITE SURVEY SITE SURVEY BY LANDTEC SURVEYING DATED 20 FEBRUARY 2023 ATTACHED SEPARATELY

PROJECT SCOPE OF WORK DESCRIPTION:

1, ADDITION TO AN EXISTING RESIDENCE, NO WORK WITHIN EXISTING RESIDENCE,

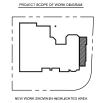
- 2. NEW ROOF OVER PARTIAL AREA OF EXISTING ROOF STRUCTURE TO JOIN WITH ADDITION.
- 3. NO EXTERIOR OR INTERIOR STRUCTURAL WORK TO EXISTING.
- 4, NEW INTERIOR WALL AND FLOOR FINISHES WITHIN ADDITION.
- 5, NEW HVAC AT ADDITION, NO MECHANICAL WORK TO EXISTING EXCEPT FOR RELOCATED COND

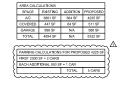
6. NEW ELECTRICAL AND PLUMBING WORK AT ADDITION.

7. INSTALLATION OF NEW EXTERIOR WINDOWS AND DOORS UNDER SEPARATE PERMIT.

8. EXTERIOR PAINTING AT ADDITION.

9, MINOR REPAIRS TO GUTTERS AND ROOF AT EXISTING.





SHEET INDEX

A-0	SITE SURVEY, GENERAL NOTES, AND SHEET INDEX	S001	STRUCTURAL PLAN VIEW
(A-0.1	ŠÍTĚ PLÁN }△	S002	STRUCTURAL SECTIONS
A-1	ĎĚMÔLITIÓN AND FLOOR PLAN	S003	STRUCTURAL ISOMETRICS
A-2	REFLECTED CEILING PLAN	S004	STRUCTURAL DETAILS
A-3	SOUTH AND NORTH ELEVATIONS		
A-4	EAST ELEVATION AND BUILDING SECTION	M-1	MECHANICAL PLAN
A-5	SCHEDULES AND DETAILS	M-2	MECHANICAL DETAILS
C-100	CIVIL GRADING PLAN	E-1	ELECTRICAL PLAN
C-101	CIVIL DRAINAGE PLAN		
		P-1	PLUMBING PLAN
		P-2	PLUMBING DETAILS

ideasGHE TITLE BRICKELL BAY DRIVE SUITE 3308 MIAMI FL 33131 I.917.805.0194 EMAIL: gsbrief@ideasGHE.com

Control of the Contro MOREA MATUR ARTOTES AR101636

ARCHITECT OF RECOR ARI 0 1636 8600 SW 67th AVE., SUITE 939 PINECREST FL 33156 L305.915.4984

STRUCTURAL ENGINEER
MEP ENGINEER MEP ENGINEER
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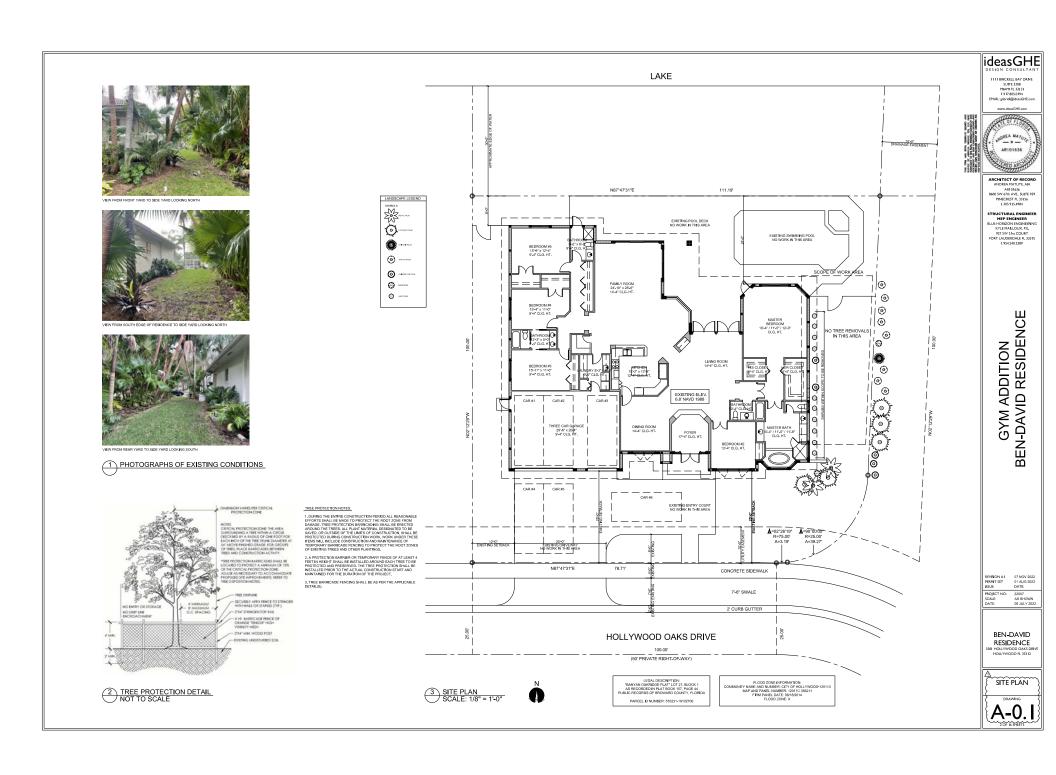
 \circ DEN DITION \overline{S} R ΡD N-DAVID ≥ g $\overline{\Box}$ \mathbf{B}

07 NOV 2022 01 AUG 2022 DATE: PROJECT NO:

> REN DAVID RESIDENCE HOLLYWOOD FL 33312

SITE SURVEY GENERAL NOTES SHEET INDEX

A-0



DEMOLITION GENERAL NOTES:

THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE WORK.

2. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK THROUGH OF THE PROJECT TO DENTIFY POSSIBLE CRITICAL ITEMS NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVALI

3. CUT, REMOVE, PATCH, AND REFINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.

CONTRACTOR IS TO PROTECT ALL CONCEALED UTILITIES, ASSURE PROPER IDENTIFICATION OF ALL UTILITIES AND CAP AS REQUIRED.

OF ALL DITTIES WILLION AS REQUIRED.

S. DEMOLITION A REPAIR WORK MAY RETAIL INTERVENTIONS IN AREAS OUTSIDE OF THE MARKETS ESCOPE, IT MAY REQUIRE WORK MAYCHING HEAVER THAN FEGURE WORK MAY CHANGE THE THINKY LINES GUIRE FOR THAN CHANGE THE AND EXCHANGE THE AND EXPLANATIONS, DATA ETC., AN WORK IN UTILITIES, FINSHESS AND EQUIRMENT REQUIRED TO RESTORE THE AREA TO FALLY OFFICIAL CHANGE ALL OPERATIONAL CONDITIONS.

6. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AS REQUIRED, TO MATCH ADJACENT SURFACES.

7. FOR REMOVAL OF FIXTURES AND EQUIPMENT, REFER TO DRAWINGS AND SPECIFICATIONS BY ARCHITECT AND/OR OTHER DISCIPLINES.

8. COORDINATE WITH OWNER PRIOR TO DEMOLITION FOR ALL ITEMS WHICH WILL REQUIRE RELOCATION, STORAGE OR TURN OVER TO THE OWNER FOR ALL MATERIAL REMOVED FROM EXISTING CONSTRUCTION.

9. PLANS SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO COMMENCING WORK FOR ALL PHASING, STAGING, CONSTRUCTION AREAS AND MANTENANCE OF REQUIRED CLEARANCES FOR OPERATIONS, EXITING AND ACCESS AT THE EXISTING SITE IN ACCORDANCE WITH ALL APPLICABLE CODES.

10. PRIOR TO START OF WORK, CONTRACTOR SHALL COMPRM ALL EXISTING CONDITIONS. CONFIRM ALL UTILITIES, SHOULD ANY PROBLEMS BE EVIDENT, NOTIFY THE OWNER AND ARCHITECT FOR DIRECTION. THE FIRE ALARM AND COVERAGE FOR THE SURROUNDING AREAS SHALL REMAIN IN OPERATION AT ALL TIMES.

11, DO NOT SCALE DRAWINGS.

12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE OWNER AND ARCHITECT IF ANY DISCREPANCIES ARE FOUND.

13, ALL AREAS OF DEMOLITION OPERATIONS SHALL BE PROPERLY POSTED WITH SIGNS WARNING OF DANGER, SUFFICIENT WATCH PERSONS SHALL BE PROVIDED TO WARN WORKERS OF IMPRIENTED ADACERS, AND ALL UNAUTHORIZED PERSONS SHALL BE EXCLUDED FROM PLACES WHERE DEMOLITION IS IN PROGRESS.

14. CONTRACTOR TO MAINTAIN SAFE INGRESS AND EGRESS TO THE SITE AT ALL TIMES. COORDINATE WITH OWNER FOR PHASING.

15. CONTRACTOR SHALL COORDINATE WITH OWNER FOR RELOCATION OF ANY EXISTING UTILITIES, REMOVE ALL FOUNDATIONS AND UNDERGROUND UTILITIES, CAP AND TERMINATE AS

16. CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS FOR UTILITY CONNECTIONS, TRENCHING, AND REQUIRED DEMOUTION, COORDINATE WITH OWNER FOR ALL TELTINS AND SYSTEMS CONNECTIONS.

17. CONTRACTOR TO COORDINATE AND PROVIDE MAINTENANCE OF TRAFFIC OPERATIONS PLAN IWITH ALL APPLICABLE MINIOFRAL APPROVAS, 19 FOR ALL TELEFORMATY SECRETARY AND THE STEE DURING CONSTRUCTION A COORDINATE REPLACEMENT OF TEMPORARY SIDEWALK PROVIDED CONSTRUCTION.

18. ANY ITEMS BEING SALVAGED FOR REUSE OR RETURNED TO OWNER SHOULD BE CAREFULLY REMOVED AND STORED IN A SAFE LOCATION.

CONT, 3 5/8" ALUM, RUNNER FASTENERS AT 24" O.C. MAX UNDERSIDE OF EXISTING STRUCTURE UNDERSIDE OF EXISTING STRUCTURE SIR GYPSLIM WALL BOARD: PAINTED 3-5/8" ALUM, STUDS @ 16" O.C. 3-5/8" ALUM, STUDS @ 16" O.C. WOOD BASE WHERE APPLICABLE SMOOTH, NONABSORBENT SURFACE TO MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET. EXISTING OR NEW FLOORING MATERIAL SEALANT AT BOTH SIDES OF ALL WALLS CONT. 3 5/8" ALUM. RUNNER. FASTENERS AT 24" O.C. MAX. CONT. 3 5/8" ALUM. RUNNER. FASTENERS AT 24" O.C. MAX.

TYPICAL WALL 1 PARTITION SCALE: 1" = 1'-0"

WALL PARTITION AT WET LOCATIONS SCALE: 1" = 1'-0"

DEMOLITION LEGEND:

0 NO RENOVATION WORK IN THIS AREA.

EXISTING MASTER BEDROOM

①

EXISTING CLOSET

l₩

0

3 DEMOLITION PLAN SCALE: 1/4" = 1'-0"

REMOVE AND SALVAGE EXISTING AIR CONDITIONER CONDENSER UNIT, TEMPORARY HOOK UP REQUIRED.

③ ④ REMOVE EXISTING CONCRETE SLAB IN ITS ENTIRETY

REMOVE EXISTING STUCCO ON THIS SEGMENT OF EXTERIOR WALL.

REMOVE AND SALVAGE EXISTING EXTERIOR WINDOW.

<u>@</u> REMOVE POOL FENCE AND GATE INITS ENTIRETY CONTRACTOR TO PROVIDE TEMPORARY ENCLOSURE

DESIGNED GEOGRAPHE CONCRETE MALT DERMAN.

SEMBING POPPLICAL SOCIENTE ELOC UP TO CRETING PROMETRIR BAM FOR MORP OFFINIS.

ZZZZZZZZ POTRONO OF NEW MOOP WORK REMOVAL OF EUSTRON GOO'NG MATERIAL OBLY MO EAVE STRUCTURE IN THIS AREA.

0

(4)

@ 3

ROOFING NOTE:
NEW FLAT CONCRETE TILE ROOF
UNDER SEPARATE PERMIT BY
MANUFACTURER / INSTALLER.
SEE EXTERIOR ELEVATIONS ON
SHEETS A-3 AND A-4.

FLOOR PLAN LEGEND: (3)

ROOF OVERHANG PROJECTION TO MATCH EXISTING

® SHOWER FLOOR TO BE LEVEL WITH ADJACENT FLOOR ELEVATION, SLOPE X* PER FOOT TO DRAIN.

(0) ENCLOSE EXISTING WINDOW OPENING WITH CONCRETE BLOCK. FINISH BOTH SIDES.

Õ NEW CONCRETE PAD FOR AIR CONDITIONER CONDENSER UNITS.

® NEW CONCRETE DECK AND PAVERS.

8

NEW MILLWORK,
REUSED WINDOW FROM TOILET ROOM. SEE GENERAL WINDOW NOTE #13 ON SHEET A-5.)

EXISTING WALL PARTITION TO FEMAIN.

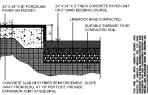
NEW WALL PARTITION \$\frac{1}{2}\ \text{OYPSUM WALL BOARD ON BOTH SIDES OF 3-\frac{1}{2}\ \text{STEEL STUDS AT 16' O.C. TYPICAL, UNLESS DIMENSIONED OTHERWISE, AT BATHROOM, PROVIDE 3-\frac{1}{2}\ \text{ACOUSTIC BATT INSULATION WITH PARTITION, SEAL AT TOP, BOTTOM, ALL OPENINGS AND PENETRATIONS WITH SEALANT.

Ø

COVERED AREA 12'0' X 5'4"

EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN. NEW EXTERIOR WALL CONSTRUCTION.

5 DETAIL AT DECK AND PAVERS SCALE: 2" = 1'-0"



ARCHITECT OF RECOR

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STRUCTURAL ENGINEE MEP ENGINEER

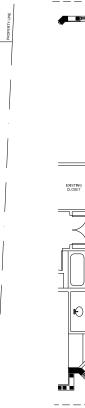
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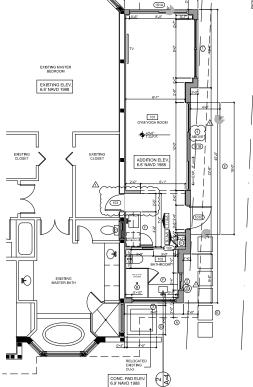
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07 NOV 2022 01 AUG 2022 DATE: PROJECT NO: SCALE:

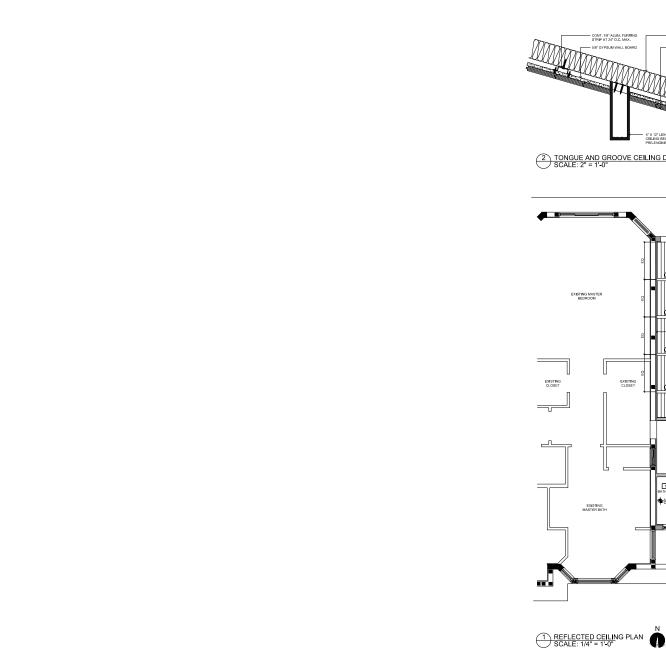
REN DAVID RESIDENCE HOLLYWOOD FL 33312

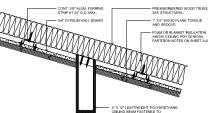
DEMOLITION & FLOOR PLAN











102 N BATHROOM +10' 0' A.F.F. W ©

CENTER OF WIND

EXISTING MASTER BATH

2 TONGUE AND GROOVE CEILING DETAIL SCALE: 2" = 1'-0"

GENERAL ATTIC INSULATION NOTE:

REFLECTED CEILING PLAN LEGEND:

4" WIDE X 12" DEEP FAUX WOOD BEAMS

PAINTED GYPSUM WALLBOARD CEILING

CEILING LIGHT RECESSED

WALL LIGHT SURFACE-MOUNTED

TONGUE AND GROOVE PAINTED WOOD CEILING

WALL LIGHT SURFACE-MOUNTED - WEATHER/VAPOR PROOF

CEILING FAN WITH LIGHT TO BE DETERMINED BY OWNER REINFORCED JUNCTION BOX

(A) (B)

Õ

-(0)-

ю"

P_{WP}

APPLY NEW SPRAY FOAM THERMAL INSULATION OF 5.5 INCH THICKNESS WITH R-VALUE OF 21 OR GREATER TO UNDERSIDE OF ROOF WHERE POSSIBLE IN COMPLIANCE WITH FLORIDA MCDEL ENERGY BUILDING CODE.

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BEN-DAVID RESIDENCE GYM ADDITION

PROJECT NO: SCALE: DATE:

BEN-DAVID RESIDENCE 01 HOLLYWOOD OAKS DRI HOLLYWOOD FL 33312

REFLECTED CEILING PLAN

A-2



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1,954,240,2389

GYM ADDITION BEN-DAVID RESIDENCE

REVISION #1
PERMIT SET
ISSUE:
PROJECT NO:
SCALE:
DATE: 22007 AS SHOWN 06 JULY 2022

BEN-DAVID RESIDENCE 301 HOLLYWOOD OAKS DR HOLLYWOOD FL 33312

SOUTH AND NORTH ELEVATIONS

REUSED WINDOW FROM TOILET ROOM
NEW ARCHITECTURAL EXTERIOR LIGHT FIXTURE



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GYM ADDITION BEN-DAVID RESIDENCE

BEN-DAVID RESIDENCE 3301 HOLLYWOOD OAKS DR HOLLYWOOD FL 33312

EAST ELEVATION AND BLDG. SECTION

NOTE: SELECTION OF WOOD VENEER TO BE CHOSEN BY OWNER

DOOR SCHE	DULE												
DOOR	ROOM	DOOR			DO	OR		FR	ME	AMB.	THRESHOLD	HARDWARE	COMMENTS
NUMBER	NAME	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH	SWMD	INRESHULD	HANDWARE	COMMENTS
101A	GYMYOGA ROOM	A	8 0.	80.	PER MFR.	ALUM/GLASS	ANOD, ALUM	ALUM	ANOD, ALUM,	ALUM	ALUM	PRIVACY	2-PANEL SLIDING DOOR; IMPACT RESISTANT; DRK, BRZ, TO MATCH EXTG.
101B	GYMYOGA ROOM	В	12' - 0"	80.	PER MFR.	ALUM/GLASS	ANOD, ALUM	ALUM	ANOD, ALUM,	ALUM	ALUM	PRIVACY	3-PANEL SLIDING DOOR; IMPACT RESISTANT; DRK, BRZ, TO MATCH EXTG.
101C	GYMYOGA ROOM	С	3' - 0"	8'-0"	0" - 1 3/4"	ALUM/GLASS	ANOD, ALUM	ALUM	ANOD, ALUM,	ALUM	ALUM	ENTRY	IMPACT RESISTANT; DRK, BRZ, TO MATCH EXISTING
102	BATHROOM	D	3 0.	8'-0"	0" • 1 3/4"	WOOD	PTD	WOOD	PTD	WOOD	WOOD	PRIVACY	POCKET DOOR
103	GYMYOGA ROOM	E	3'-0"	8' - 0"	0" - 1 3/4"	WOOD	PTD	WOOD	PTD	WOOD	WOOD	PRIVACY	SWING DOOR

2 DOOR SCHEDULE

WINDOW SO	HEDULE						
MARK	LENGTH	HEIGHT	MATERIAL	FINISH	GLASS TYPE	GLASS COLOR	COMMENTS
1	8" - 0"	80.	ALUM/GLASS	ANOD, ALUM.	LOW-E	MATCH EXISTING	IMPACT RESISTANT; DRK, BRZ, TO MATCH EXISTING
2	2 - 4"	3'-0"	ALUM/GLASS	ANOD, ALUM.	N/A	N/A	REUSED EXISTING IMPACT RESISTANT WINDOW, SEE NOTE 13 BELOW.
3	6' - 0"	4'-8"	ALUM/GLASS	ANOD, ALUM,	LOW-E	MATCH EXISTING	IMPACT RESISTANT; DRK. BRZ. TO MATCH EXISTING; WHITE INTERLAYER
4	12' - 0"	3' - 10"	ALUM/GLASS	ANOD, ALUM,	LOW-E	MATCH EXISTING	IMPACT RESISTANT; DRK, BRZ, TO MATCH EXISTING; WHITE INTERLAYER

WINDOW SCHEDULE

WOOD VENEER ON BUILT UP MDF FOR SHELF, FASTEN SECURELY TO SIDE WALLS OF DRYWALL FRAMED CONSTRUCTION.

1/2" MDF BACK PANEL WITH WOOD VENEER ON 3/4" MDF FOR COUNTERTOP

FINISH UNDERSIDE WITH MELAMINE

3/4" MDF SIDE PANEL WITH WOOD VENEER

PROVIDE A SLOT FOR INSTALLATION OF LED TAPE ILLUMINATION AT REAR OF EACH SHELF

6 WET BAR - MILLWORK DETAIL
SCALE: 2" = 1'-0"

GENERAL DOOR AND WINDOW NOTES:

1, ALL DOORS AND WINDOWS AS SELECTED BY OWNER.

2. ALL DIMENSIONS AND MASONRY OPENINGS SHALL BE FIELD VERIFIED WITH MANUFACTURER PRIOR TO COMPLETING THE MASONRY WORK ON THE OPENINGS OR PRODUCTION OF SHOP DRAWINGS.

3, WINDOW COMPANY SHALL PRODUCE SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO ORDER FOR MANUFACTURING.

4. WINDOWS SHALL HAVE IMPACT GLASS, SHADING COEFFICIENT, AND U-VALUE PER ENERGY CALCULATIONS PERTINENT TO LOCALITY PROVIDED BY WINDOW MANUFACTURER.

6. ALL EXTERIOR DOORS AND WINDOWS SHALL BE ON A SEPARATE PERMIT BY WINDOW MANUFACTURER.

7. ALL EXTERNAL FINISHES SPECIFIED HEREWITH ARE FOR PERMIT AND BIDDING PURPOSES ONLY.

8. EXTERIOR THRESHOLD SHALL BE WATERTIGHT.

9. ALL BATHROOM DOORS TO BE SOLID CORE WOOD DOORS, GASKET AT THE HEAD AND JAMB AND AT THE DOOR BOTTOM WITH AN AUTOMATIC DOOR BOTTOM GASKET.

10. ALL DOOR HARDWARE SHALL BE LEVEL TYPE, STYLE AND FINISH AS SELECTED BY OWNER.

11. PROVIDE 1* X 4* PRESSURE TREATED WOOD BUCK, EMBED WITH CAULKING AND SECURE WITH HILTI PINS CRS 088-112 HC AT 12* O.C., 3* FROM TOP AND BOTTOM, OR PER MANUFACTURER APPROVED ASSEMBLY.

12. BATHROOM DOORS SHALL BE THE TYPE THAT ALLOW OPENING FROM OUTSIDE IN CASE OF AN EMERGENCY. CLOSET LATCHES SHALL BE THE TYPE THAT CHILDREN CAN OPEN FROM NSIDE THE CLOSET.

13. EMISTING RELOCATED WINDOW PRODUCT INFO: ESIN'EL 20 ALUMANUM HORIZONTA, ROLLING WINDOW WITH A CANADAM CONTROL OR SHOULD BE ZOOLD WITH A CHARACTER OF THE CONTROL OF

FINISHES LEGEND

(A) 2" THICK WOOD SHELVING, WOOD SPECIES AND STAIN COLOR TO BE SELECTED BY OWNER

8" HIGH WOOD BASEBOARD, COLOR TO BE DETERMINED.

0 WALL PAINT COLOR TED.

Õ BACK PANEL WITH WOOD VENEER, WOOD SPECIES AND STAIN COLOR TO BE SELECTED BY OWNER.





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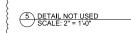
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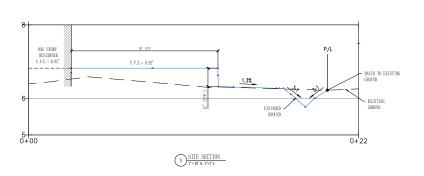
BEN-DAVID RESIDENCE **GYM ADDITION**

07 NOV 2022 01 AUG 2022 DATE: PROJECT NO: SCALE: DATE: 22007 AS SHOWN 06 JULY 2023

> BEN-DAVID RESIDENCE HOLLYWOOD OAKS DR HOLLYWOOD FL 33312

SCHEDULES AND DETAILS



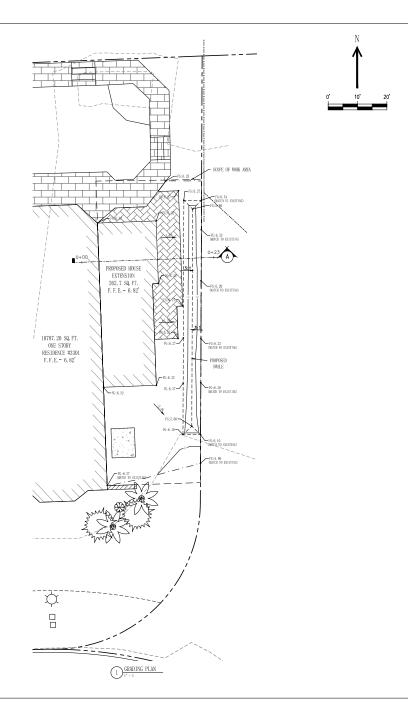


GRADING NOTES

1. MAXIMUM GRADES FOR FILL SLOPES ARE 3:1 AND 2:1 FOR CUT SLOPES

APPROX	MASS GRADING EARTHW	ORK VOLUMES
	CUT, CU.YD.	FILL, CU.YO.
	2.12	3.66
NET		1,54

NOTE: EARTHWORK VOLUMES CALCULATED REFERRING TO FINISH GROUND LEVEL WITHOUT TAKING INTO ACCOUNT SOIL SHEINKAGE AND "BOUNDED VOLUMES"





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EXTENSION HOUSE

3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL 33312

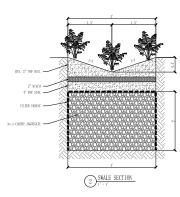
PROJECT NAME	PROPOSED	PROJECT ADDRESS	3301 HOLLYWOOD
Rev	Descriptio	n	Date

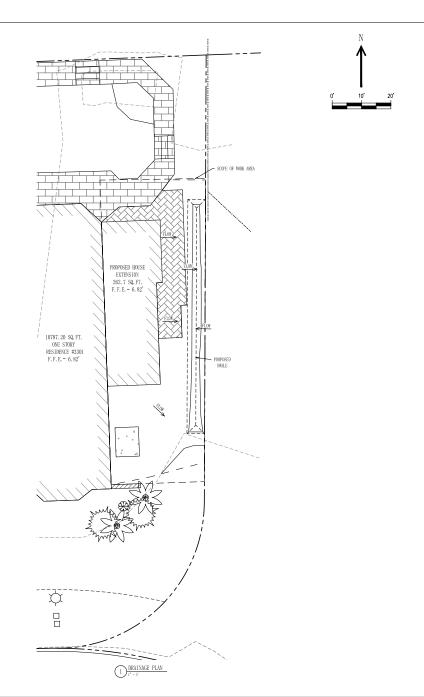
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DRAFT: KYLE MAILLOUX DESIGN: KYLE MAILLOUX CHECKED: KYLE MAILLOUX
SCALE
AS NOTED

C-100 SHEET NUMBER

DRAINAGE CALCULATION INFORMATION:
LOT MARS - 1000 Sa, Ft.
ACRO OF WORS - 574, Sa, Ft.
PERCIPITATION DEPTH - 8, 30 Inch
COMA ATLES I + 900 10 YEBS 24 BHER PERMY
PER DEPLAMENT RECIPITED CX - 54
PER DEPLAMENT RECIPITED CX - 54
PENSI DEPLAMENT RECIPITED CX - 75
PENSI DEPLAMENT VEGICITED CX - 75
RESIDENCE OF DEPLAMENTS CHEENTON VOLUME - 114 CAL Ft.
RETENTION VOLUME PROVIDED - 129 CAL Ft.







ENGINEER: KYLE MAILLOUX, P.E. Licence Number: 87103 927 SW 21st Ct, Fort Lauderdale, FL 33315 P: 954-420-8209 E: Kyla@bluehorizonengineering.com



EXTENSION HOUSE

3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL 33312

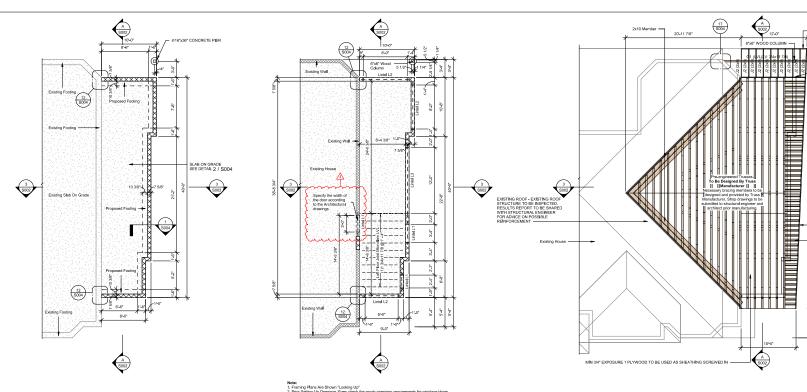
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SCALE
AS NOTED

C-101



Note: Foundation Plans Are Shown "Looking Down"

3 PROPOSED FOUNDATION PLAN
3/16" = 1"-0"

Note:

1. Firming Plans And Shown Looking Up:

1. Firming Plans And Shown Looking Up:

2. Plant Search Looking Looking Size and the pought openings requirements for similarisations.

2. Plant Search Looking Looking Size and the pought opening requirements for similarisations and the property of the pought of

1 PROPOSED FRAMING PLAN - 1ST FFL 3/16" = 1'-0"

Note: Framing Plans Are Shown "Looking Down"

2 PROPOSED FRAMING PLAN - ROOF 3/16" = 1'-0"

		LINTELS SCHEDULE	
Mark	Section	Description	Reinforcement
L1	8" x 8"	Masonry Lintel Constructed with Lintel Block, 8" Minimum Bearing. Compressive strength of masonry unit - = 1900.0 psi.	Bottom Reinf,: (1) #4 Bars
L2	8" x 16"	Masonry Lintel Constructed with Lintel Block (2 Blocks Depth). 8" Minimum Bearing. Compressive strength of masonry unit - = 1900.0 psi.	Bottom Reinf.: (2) #4 Bars
L3	8" x 16"	Masonry Lintel Constructed with Lintel Block (2 Blocks Depth). 8" Minimum Bearing. Compressive strength of masonry unit - = 1900.0 psi.	Bottom Reinf.: (2) #5 Bars

WALL LEGEND:





PROPOSED WALL = CMU 8" WALL PARTIALLY GROUTED @24" VERTICAL REINF. - #8 @24 O.C. HORZONTAL REINF. - #4 @6" O.C. MORTAR - TYPE M COMPRESSIVE STRENGTH - $F_{\rm tot}$ = 1900 psi

FOUNDATION NOTES:

FOUNDATION NOTES:

1. Design of between journey of 1500 per is assumed.
2. All boundation exceeds in its becamed to undisturbed native material or placed in an approved engineered fit.
2. All boundation exceeds in the camedation of the companion of the set in a provide engineered fit.
3. All boundation ground foreign and sites about the companion for the set than 95% relative density in accordance with ASTMO 1957 in level attendance specification per discontinuous Engineers.
3. Experimental foreign and the companion of the companion of the companion of the companion (a). Experimental perimental companion of the companion of the

WIND LOAD CRITERIA:

- Accordance And Minimum Design Loads For Buildings And Other Structures (ASCE 7-16)

2. Wind spread: 170 mph

3. Exposurer C

4. Enclosure classification: Enclosed building

5. Kar = 1,0

TERMITE TREATMENT

TERMITE TREATMENT:

A constance with File OH (16.1 Termite protection shall be provided by registered termiticides, including soil applied protections, balling systems, and estencious applied to protection the provided protection between the protection points of the protection points of the protection points of the protection between the protection bet

Tollheiser: Process genes accessed to the footstate.

6. Four Plastic haulation. Plastic four insulation cannot be installed below grade. A 6 inch clearance is required between four plastic insulation on the exterior of bulbings and earth grade.

WOOD FRAMING NOTES:

WOOD FRAMING NOTES:

All farming inserts that its Southern Pine #1 or better, UNO.

All farming inserts that its Southern Pine #1 or better, UNO.

All farming inserts that its Southern Pine #1 or better, UNO.

Plywood Association, Plywood shall be manufactured in accordance with A.P.A. Sidt P.P.I. The grade, includes and period identification in sociations with A.P.A. Sidt P.P.I. The grade, includes and period identification in the scale has been seen for example of the propose catalog. UNO.

Consul Structured Engineer for and alternates. Use statistiess steed as required per Sociation (St.P. statistics). Which is accordance with Teach 2014, 10 of the FIDEISC.

Minimum marking to connections see included for the farms shall be an accordance with Teach 2014, 10 of the FIDEISC.

6. Titlebre sizes prescribed are minimum, Larger sizes may be substituted. Datalad connections may require modifications is advantation are many.

REINFORGING STEEL NOTES:

REINFORCING STEEL NOTES:

1. At reinforcing test table 2 as tistues:

No. 4 reas and smaller - ASTM AR15, Grade 40
No. 5 thes and signed - ASTM AR15, Grade 50
No. 5 thes and signed - ASTM AR15, Grade 50
No. 5 thes and signed - ASTM AR15, Grade 50
and during blacement of concrete
and desired blacement of concrete
and during blacement
and during during

REINFORCED CONCRETE NOTES:

ements of the FBC/IBC as well as the current edition of the

1. Reinforced concrete shall currient to applicable requirements of the PBC/BBC ACI318
2. Concrete shall be not a 25 day compressive strength of not less than:
Concrete shall be not a 25 day compressive strength of not less than:
Concrete shall be not a 25 day compressive strength of not less than:
Concrete sharmalls, footings; 2000 pail
Substantial designs active strength of the 2500 pail
Substantial designs active strength of the 2500 pail
Substantial designs active strength of the 2500 pail
Angunges shall content to ASTM CAST for tone concrete
A Aggregate shall content to ASTM CAST for tone concrete
Substantial designs and content to ASTM cast for the strength of the 2500 pail
A Product ASTM active strength of the 2500 pail
A Product ASTM active strength or active strength or to the concrete subsets to feeding.

ENGINEER

- 2x8 @12" O.C

KYLE MAILLOUX, P.E. Licence Number: 87103 927 SW 21st Ct, Fort Lauderdale, FL 33315 P: 954-240-2399 E: Kyle@bluehorizonengineering.com

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HOLLYWOOD OAKS DR, HOLLYWOOD,

3301 H

No.

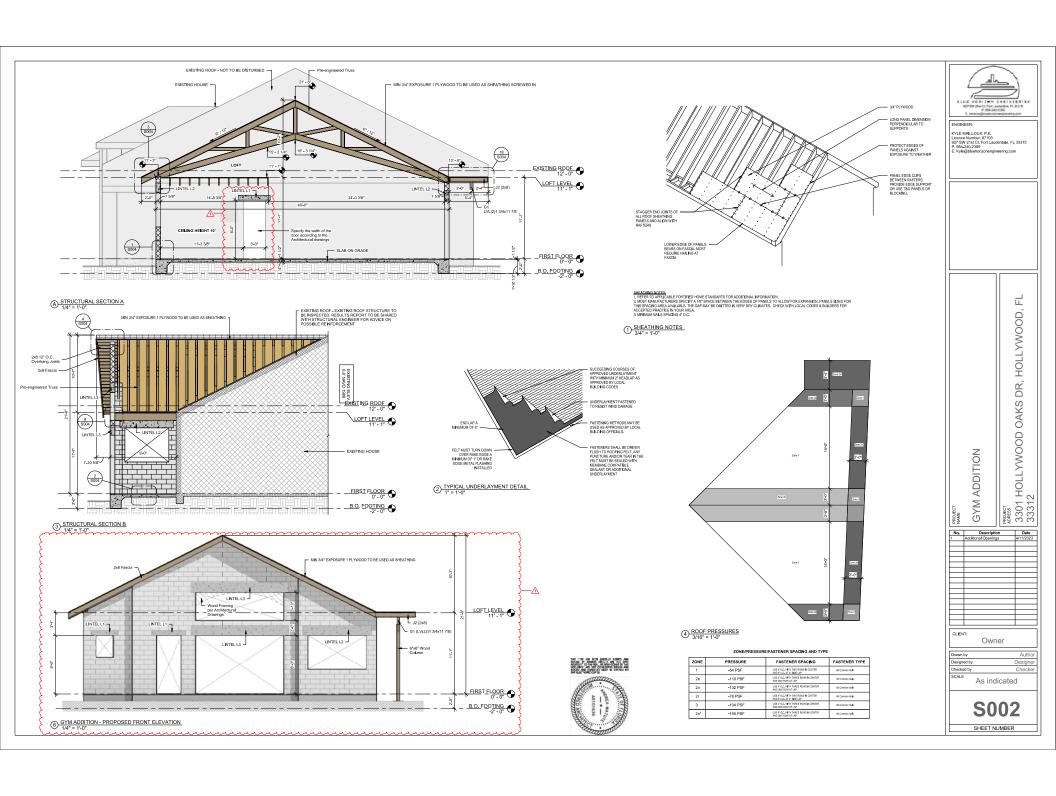
CLIENT: Owner

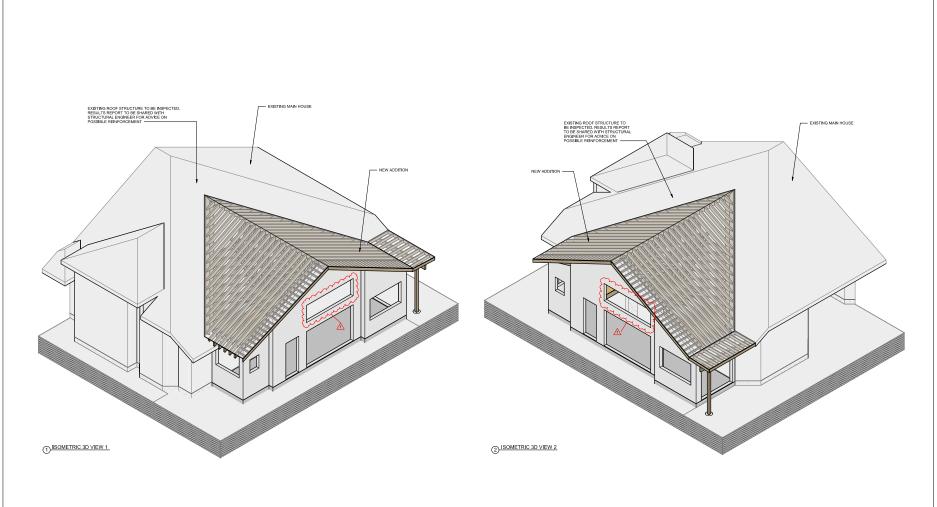
ADDITION

GYM,

SCALE As indicated

S001





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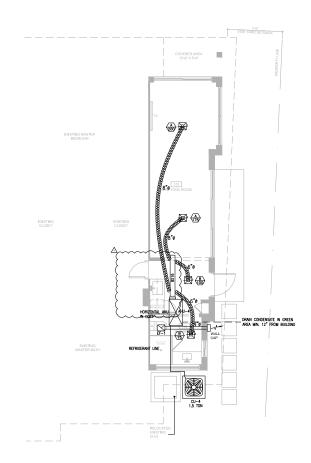
Reger 3301 HOLLYWOOD OAKS DR, HOLLYWOOD, FL 33312 **GYM ADDITION** No. Description
1 Additional Openings

CLIENT: Owner

Drawn by
Designed by
Checked by
SCALE

S003 SHEET NUMBER

										AIR	CON	IDIT	IONING	SYST	EM SCH	IEDUL	.E												٦
	AIR HANDLING UNIT AIR—COOLED CONDENSING UNIT SYSTEM									П																			
UNIT NO.	INIT TONS MAKE MODEL NO. S/A O/A WEIGHT E.S.P. FAN AMPS UNIT ELECTRIC M.C.A MAX DIMENSION.								DIMENSION (WXLXH)INCH	MAKE	MODEL NO.	COMP.	FAN FLA	M.C.A	MCOP	UNIT VOLTAGE	WEIGHT LBS	DIMENSION (WXLXH)INCH	CAPA (MB	CITY TU)	UNIT (S)EER	ENTE AIR	RING TEMP.	LEAVIN AIR TE	IG EMP.				
AHU-4/CU-4	RU-4/CU-4 1.5 RHEEM RH1T2417ST 550 NO 92 0.5 1/3 1.6 240V 4.8 kW 29.0 30.0 17.5X22X								17.5X22X42.5	RHEEM	RA1618AJ1	QTY. 1	0.7	12	20	208V	140	29.75X29.75X27	18.0	13.5	16	80.0	67.0	58.7	57.3				
1. RHEEM IS THE BAS	SIS OF DE	SIGN.																											П



MECHANICAL FLOOR PLAN SCALE: 1/4" = 1'-0"

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (MECHANICAL 2020) AND WITH ALL APPLICABLE REGULATIONS.

DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE HVAC WORK.

ARRANGE AND PAY FOR ALL PERMITS LICENSES, INSPECTIONS AND TESTS.
OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.

OBTAIN THE REQUIRED CRETIFICATES AND PRESENT IT OWNER.

QUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED
AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A
MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR. ALL COMPRESSORS SHALL BE GUARANTEED FOR 5 YEARS MINIMUM.

DUCT AND ENVELOPE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH FLORIDA BUILDING CODE, ENERGY, 7TH EDITION SECTIONS R402.4.1.2 AND R403.3.3

A. INDOOR DESIGN TEMPERATURE (SUMMER): 72F DB B. INDOOR DESIGN TEMPERATURE (WINTER): 72F DB

4. ALL THERMOSTATS SHALL HAVE HEATING MODE MAXIMUM SETTING OF 75 F, AND COOLING MODE MINIMUM SETTING OF 70 F. THE THERMOSTAT SHALL BE ARRANGED TO PREVENT THE SIMULTANEOUS OPERATION OF HEATING AND COOLING.

ELECTRICAL CONTROLS AND POWER WIRING: UNDER ELECTRICAL CONTRACT.

EQUIPMENT SPECIFIED BY MANUFACTURER'S NUMBER SHALL INCLUDE ALL ACCESSORIES, CONTROLS, ETC., LISTED IN THE CATALOG AS STANDARD WITH THE EQUIPMENT. OPTIONAL OR ADDITIONAL ACCESSORIES SHALL BE FURNISHED AS

7. MATERIALS:

A. REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.

INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATION: A THE REPRESENTATION OF THE REPRESENTATION OF THE REPRESENTATION OF THE REPRESENTATION SHALL BE INSULATION SHALL BE INSULATION SHALL BE INSULATION BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESING AND GREY TAPE.

DUCTWORK:

TWORK:

ALL SUPPLY AIR DUCTWORK SHALL BE 1-1/2" THICK FIBERGLASS
DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF
SMACNA "FIBROUS GLASS DUCT MANUAL". R-6.0 MIN.
ALL OUTDOOR AND EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET
METAL OR ALUMINUM DUCT NOT LIGHTER THAN 24 GAGE.

ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.

FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FRK VAPOR BARRIER. R-6.0 MIN.

CONTROLS: AIR CONDITIONING UNITS SHALL BE STARTED AND STOPPED THRU INDIVIDUAL PROGRAMMABLE THERMOSTAT. INDIVIDUAL THERMOSTATS SHALL START/STOP FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECTED.

9. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.

		FAN	SCHE	DUL	E					
MARK	SELECTION BASED OF		TYPE/	CFM	MOTO	R DATA		DRIVE	SONES	UNET
	MAKE	HODEL NO.	SERVICE		WATTS	AMP	VOLTS-PH-HZ	1	OR NO	WEIGH
EF-1	PANASONIC	FV-05W3	BATHROOM	50	4.0	-	120	COTVE	40.3	12.1

GENERAL FAN NOTES:

PROVIDE MOTOR STARTERS, DISDONNECTS AND ALL A ON ALL FANS.

SCOPE OF WORK: | 1. INSTALL SPLIT UNIT CU-4 AND HORIZONTAL AHU-4 TO SERVE THE GYM

TAG	CFM	NECK 92E	FACE	ORLLE
	000-157 157-279	to 50	12x12 12x12	SUPPLY DIFFUSER BASIS OF DESIGNET TITUS COMM—AA OOLOR: VERBY WYARCHITECT MATERIAL! ALLIMHUM OPPOSED BLACE DAMPERS: NO
•	000-100 101-200	tot tot	8x8 10x10	ONE MAY DEFUSER BASIS OF DESIGN: AROUDE ODLOR: VERRY MYARCHITECT MATDRIAL: ALLMINUM OPPOSED BLACE DAMPERS: NO
*	000-152 152-296 296-472 472-704 704-976 977-1296 1297-2070	6x6 6x8 10x10 12x12 14x14 16X16 18X16	24:24 24:24 24:24 24:24 24:24 24:24 24:24	RETURN CRILLE BASS OF DESIGN: TITUS SOF COLOR: VERIFY W/ARCHITECT MATERIAL: ALLMENUM CRPOSED BLACE CAMPERS: NO
,	000-152 111-220 221-350 351-698 530-954	8x8 10x8 10x10 18x10 18x14	10x8 12x8 12x12 20x12 22x16	TRANSFER GRELE BASS OF DESIGN: TITUS 27FS COLOR: VERFY W/ARCHITECT MATERIAL: ALUMINUM OPPOSED BLACE DAMPERS: NO



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FL 33312

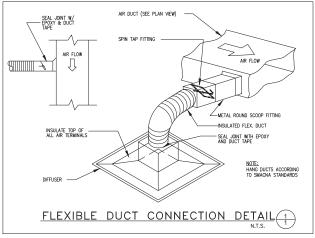
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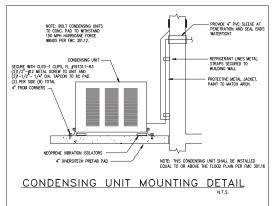
3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, Rev Date

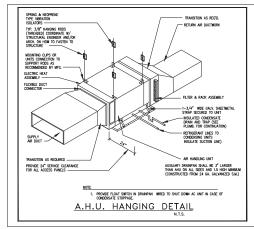
GABRIEL HERNANDEZ

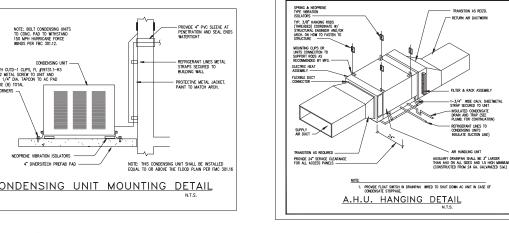
Drawn by: NS Designed by: KM Checked by: KM SCALE

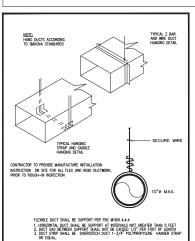
1/4" = 1'-0" M1



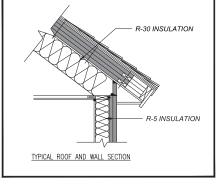


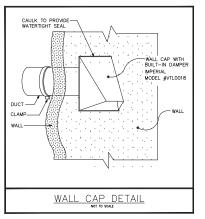






METHODS OF HANGING DUCTS DETAIL





ADDITION GYM ΕW

KYLE MAILLOUX, P.E. Licence Number: 87103 927 SW 21st Ct, Fort Lauderdale, FL 3 P: 954-420-8209 E: Kyle@bluehorizonengineering.con

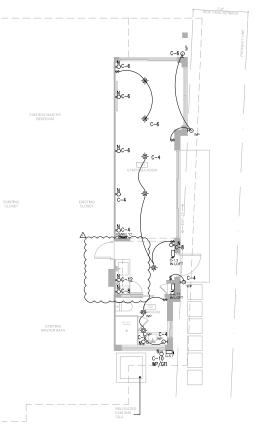
Digitally signed by Kyle Mailloux Date: 2022.08.11 21:37:34-04'00'

3301 HOLLYWOOD OAKS DRIVE, HOLLYWOOD, FL 33312 Rev Date

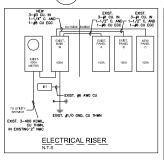
GABRIEL HERNANDEZ

Drawn by: NS Designed by: KM Checked by: KM SCALE 1/4" = 1'-0"

M2



ELECTRICAL FLOOR PLAN SCALE: 1/4" = 1'-0" E-1



ELEC	TRICAL	
	VANITY LIGHT	
0	RECESSED LIGHT FIXTURE	
ď	EXTERIOR RECESSED LIGHT FIXTURE	
ď	RECESSED LIGHT FIXTURE (VAPOR PROOF)	
	EXTERIOR WALL MOUNTED LIGHT FIXTURE	
ю	WALL MOUNTED LIGHT FIXTURE	
Θ_{t}	EXTERIOR WALL MOUNTED LIGHT FIXTURE	
	JUNCTION BOX	
	LIGHT SWITCH	
\$ _{3w}	3-WAY LIGHT SWITCH	
633	PUSH BUTTON (GARAGE DOOR)	
0	BATHROOM EXHAUST FAN	
(2)	SMOKE DETECTOR	
O	COMBINATION SMOKE AND CO2 DETECTOR	
Q	DUPLEX RECEPTACLE 125V.,	
QG	GFCI DUPLEX RECEPTACLE 125V.,	
Ŷ	250V RECEPTACLE	
φ	SINGLE RECEPTACLE, 20 AMP., 125V., COORDINATE M.H. WITH EQUIPMENT.	
•	DUPLEX RECEPTACLE, 20 AMP., 125V., TOP HALF SWITCHED, M.H.=18" A.F.F. UNLESS OTHERWISE NOTED	

					EXISTING FAI	SELATIS	0 AMPS, 1	20/24Dv, 1PH					
MOTES	GEN KVA	HWAC	WISE	THUE	CIRCUIT DESCRIPTION	DETM	CCT#	CIRCLIFF DESCRIPTION	TRIP POLE	WIRE	нуас	GEN KNA	NOTES
4		9.5	76	60-2	AIR HANDLEI, KO	1 3	2 4	COOKTOP	40-2	MB		5.0	4
4	1.5		#32	20-1	GELETCHEN	- 5	6	DEYER	30-2	#10		5.0	4
4			192	20-1	BACK LANDSCAPE	7	8.	CHYEN	30-2	#10		5.0	4
4	0.5		132	20-1	GARAGE DOOR #1	9	30	DISHWASHER		#12		2.5	4
4	1.5		192	20-1	GFI LAUNDBY	21	52	DISPOSAL#1	20-2	#12		2.5	-
4	0.5		#32	20-1	GANAGE DOD'T #2	13	24	BREAKFAST	20-1	#12			4.
4			832	20-1	DININGROOM	15	36	HOT PLATE	20-1	#12		3.5	4.
4	1.5		#32	20-1	LAUNCRY GRO	17	18	SFIGTTCHEN	20-1	#12		1.5	4.
4			234	25-2	OUTSIDE RUCCOS	19	20	REFFICERATOR	20-1	#12		0.8	4
4			124	35-3	HEHAT FAMILY	21	22	BATH 4 DIGHTS	25-2	#14			4
4			194	25-1	HEMAT KITCHEN	23	24	BEORGON M	25-1	#14			4
4			194	19-1	BATH #5 LIGHTS	25	20	LAUNDRY LIGHTS SICURITY	19-1	914			4
4			134	35-3	GRI GARAGE	27	28	BECROOMES	35-3	#14			4.
			#32	20-1	SPACE	29	30	NEWBATHGRI	35-1	#14			4.
	5.50	9.5									0.00	16.30	
1885	5Q FT. 0°	GENERAL	POWER	&LICHT)	66 @ 3W/50FT		SMALL A LAUNCE TOTAL E	ELUG-TING AND FECEPTACE UPPLANCE BRANCH CIRCUIT VE BRANCH CIRCUITS 1.5 KV JIGHTING AND RECEPTACIES KAA AT 100%	IS 1.5 KWA A EACH:		2	5.66 3.00 3.00 11.66 3.00	KWA KWA
							REMAIN	IDER AT 35% ED IN PLACE APPLIANCES (A	754			3.03 4.85	KWA.
ores:							DAVER	CO IN LOWE VANCOUSCES (S.	1279			5.00	
	OTECTED						CODKE	va.				5.00	
	OFECTED							EATING OR COOUNG #010	ne.			9.50	
	REAGE							EMING OR COOCNS (P.10	UNG			0.63	
EXISTIN								ALCULATED LOSS		30.51	W74.00		AMPS.
EASTIN		ULATEDI					CUTAL	ALLUCATIONOAD	_	30.51	B.YA	127	MINES.

					EXISTING PA	NEL B: 150	AMPS, 1	D/240v, 1PH							
NOTES	GEN KWA	HWAC	WIRE	POLE	CIRCUIT DESCRIPTION	ссти	ости	CIRCUIT DESCRIPTION	POLE	WIRE	HVAC	GEN KVA	NOTE		
4		9.5	#6	60-2	AIR HANDLER #1	1 3	1 4	DIOUBLE IONEN	40-2	//8		8.0	4		
	4.5		#10	25-2		5	6	GRI MASTER BATH	20-1	#12			4		
4	4.5		#10	25-2	WATER HEATER	T	8	MICROWAVE	20-1	#12		1.2	4		
4		4.8	#10	30-2	AIR HANDLER #3	9	30	FOYER LIGHTS	15-1	#14			4		
4		4.0	#10	50-2	ATR PARTICE OF S	11.	32	CLOSETLIGHTS	15-1	#14			4		
4		4.0	#10	30-2	AC III	13-	34	LIGHTING	15-1	#34			4		
4		4.0	#10	50-2	AL III	15-	.16	GRI BATH #2	20-1	#12			4		
4	2.5		#12	20-2	DISHWASHER	17	:18	POWDER BATH LIGHTS	15-1	814			4		
7	2.5		*12	50-1	DISPOSAL NZ	19	20	DEN	15-1	814			4		
4	1.5		#12	20-1	GFI KITCHEN	21.	22	MASTER BEDROOM	15-1	#14			4		
4	0.8		#12	20-1	REFRIGERATOR	23-	24	MASTER HI HATS	15-1	834			4		
4			#12	20-1	FRONT LANDSCAPE	25-	26	HALLWAY HI HWTS	15-1	#14			4		
4	1.5		#12	20-1	WATER HEATER PUMP	27	28	WHIRLPOOL	20-1	#12		1.5	4		
4			#12	20-1	GEN LIGHT (NEW)	29	30	SPACE							
	10.80	18.25									0.00	10.70			
1885	sa. rr. ar	GENERAL	POWER	& LIGHT	NG @ 3W/SQFT		GENERA	A LIGHTING AND RECEPTAC	LES			5.66	KVA		
							STAMUL A	PPLIANCE BRANCH CIRCUIT	S 1.5 KW	EACH	1	1.50	KVA		
							LAUNDE	V BRANCH CIRCUITS 1.5 KW	A EACH:		0	0.00	KVW		
							TIDTAL I	IGHTING AND RECEPTACUES				7.16	KVA		
							FIRST 3	FVA AT 100%				3.00	KVA		
							REMAIN	DER AT 35%				1.45	1.45 KVA		
							EASTENED IN PLACE APPLIANCES @ 75%						8.40 KVA		
							FASTEN	ED IN PLACE APPLIANCES (8)	75%			8.40			
OTES:							DOUBLE		75%			8.40	KVA		
	отество								75%				KVA KVA		
AFCI PR	OTECTED OTECTED						DOUBLE					8.00	KVA KVA		
	CHICAGO						DOUBLE DRYER TEXTAL F	OVENS				8.00	KVA KVA KVA		

ELECTRICAL PANEL SCHEDULE

						TRICAL PA							
					NEWPANE	LC: 100 A	MPS, 120	/240v, 1PH					
Notes	POLE								HWAC	GEN KWA	NOT		
8		5.5	166	50-2	AIR HANDLES GYM	1	2	BATH GRI_6YM	20-1	#12			
		3.3	86	50-2	MIN INVIDENCE OF THE	3	4	LIGHTING 1_GYM	15-1	#1.4			1
3		4.0	86	50-2	AC KYM	5	6	LIGHTING 2_GYM	15-1	#1.4			1
		4.0	86	50-2	745 FM	2	8	REPRIGERATOR_GYM	20-1	#12		0.8	1,3
	9:1		458	40-2	WATER HEATER	9	10	EXTERIOR RECEPTACLES	20-1	#12			
	95.8		80	40-2	MALER REALSK	11	12	SMALL APPLIANCE	20-1	#12			1
					SPACE.	13	14	SPACE					
					SPACE	15	16	SPACE					
					SPACE	17	18	SPACE					
	9.12	9.5									0.00	0.80	
			-								4.00	0.00	
400	SQ, FT, OF	(GENERAL	POWER	8. LIGHTII	ng @ 3wySQFT			AL LIGHTING AND RECEPTACE		. Earn		1.20	
400	SQ. FT. OF	GENERAL	POWER	8. LIIGHTII	ng & Swysoft		SMALL LAUND TOTAL	APPLIANCE BRANCH CIRCUITS BY BRANCH CIRCUITS 1.5 KW LIGHTING AND RECEPTACLES	S 1.5 KW	I EACH:	1.	1.20 1.50 0.00 2.70	IOVA IOVA
400	SQLETT. OF	IGEN ERAL	POWER	8. LIIGHTII	ng @ Swysoft		SMALL LAUND TOTAL FIRST 3	APPLIANCE BRANCH CIRCUITS RY BRANCH CIRCUITS 1.5 MW LIGHTING AND RECEPTACLES KVA.AT 100%	S 1.5 KW	EACH	1.	1.20 1.50 0.00 2.70 1.20	IOVA IOVA IOVA
400) \$0, FT. OF	IGEN ERAL	POWER	8.UIGHTII	ng @ SwySQFT		SMALL LAUND TOTAL FIRST 3 REMAIN	APPLIANCE BRANCH CIRCUITS REF BRANCH CIRCUITS 1.5 MA LIGHTING AND RECEPTACLES I KVA.AT 100% NOER AT 35%	S 1.5 KW LEACH:	I EACH:	1.	1.20 1.50 0.00 2.70 1.20 0.00	IOVA IOVA IOVA IOVA
400	SQ. FT. OF	IGENERAL	POWER	8. LIIGHTII	ng @ Swysoft		SMALL LAUND TOTAL FIRST 3 REMAIN	APPLIANCE BRANCH CIRCUITS RY BRANCH CIRCUITS 1.5 MW LIGHTING AND RECEPTACLES KVA.AT 100%	S 1.5 KW LEACH:	EACH:	1.	1.20 1.50 0.00 2.70 1.20	107A 107A 107A 107A 107A
NOTES:	O SQLET. OF	IGENERAL	POWER	8.LIGHTII	ng @ awysoft		SMALL LAUNO TOTAL FRST 3 REMAIN FASTEN	APPLIANCE BRANCH CIRCUITS REF BRANCH CIRCUITS 1.5 MA LIGHTING AND RECEPTACLES I KVA.AT 100% NOER AT 35%	S 1.5 KW LEACH:	EACH:	1.	1.20 1.50 0.60 2.70 1.20 0.60 9.92	IOVA IOVA IOVA IOVA IOVA IOVA
NOTES:		IGENERAL	POWER	& LIGHTII	ng @ Sw/SgFT		SMALL LAUNO TOTAL FRST 3 REMAIL FASTEN DRYCE RANGE	APPLIANCE BRANCH CIRCUITS REF BRANCH CIRCUITS 1.5 MA LIGHTING AND RECEPTACLES I KVA.AT 100% NOER AT 35%	S 1.5 KW LEACH: 75%	EACH:	1.	1.20 1.50 0.60 2.70 1.20 0.60 9.92 0.60	IOVA IOVA IOVA IOVA IOVA IOVA
NOTES:	OFECTED	(GENERAL	POWER	& LIGHTII	NG @ SW/SQFT		SMALL LAUNO TOTAL FIRST 3 REMAIN FASTEN DAYER RANGE TOTAL	APPLIANCE BRANCH CIRCUIT RY BRANCH CURCUITS 1.5 KW LIGHTING MID RECEPTACLES I KWA AT 100M IDER AT 35M LEO IN PLACE APPLIANCES (9)	S 1.5 KW LEACH: 75%	EACH:	1.	1.20 1.50 0.00 2.70 1.20 0.00 9.92 0.00 0.00	IOVA IOVA IOVA IOVA IOVA IOVA IOVA

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE 2017, FLORIDA BUILDING CODE 2020 AND/OR ANY LOCAL CODES AND ORDINACES.
 THE ELECTRICAL CONTRACTOR SHALL PAY ANY FEES, TAXES AND PERMIT FEES

- 2. THE ELECTRICAL CONTRACTOR SHALL PAY ANY FES, TAXES AND PERMIT FES PERTAINING TO THE ELECTRICAL WORK.

 3. THE ELECTRICAL CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR LOCATION OF ALL EQUIPMENT. CONTRACTOR SHALL NOT SCALE PLANS.

 4. If IS NOT THE INTERT OF THESE PLANS TO SHOW EVERY AND ALL DETAILS OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AS TO PROVIDE A COMPLETE ELECTRICAL INSTALLATION WITH ALL FORDINGS AND IN PROVIDE MONOMINATION.
- IN PROPER WORKING ORDER.

 5. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION
 OF HIS WORK WITH THAT OF THE OWNER/BUILDER AND ALL OTHER SUB-CONTRACTORS.

- 6. IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED SHALL BE DONE SO BY A LICENSED ELECTRICAL CONTRACTOR AND IN A FIRST CLASS WORKMANLIKE MANNER. 7. ALL ELECTRICAL WORK AND MATERIAL SHALL BE GURANTEED FOR PERFOOD OF ONE YEAR FROM DATE OF ISSUE OF CERTIFICATE OF OCCUPANCY AND AS BY CONTRACT W/ OWNER.
- 8. ALL POWER AND CONTROL WIRING SHALL BE DONE BY THE ELECTRICAL CONTRACTOR.
- 8. ALL POWER AND CONTROL WRING SHALL BE DONE BY THE ELECTRICAL CONTRACTOR.

 ALL INTERIOR CRICUITS SHALL BE IN CONDUIT, ALL WIRES SHALL BE THANK/THAN TYPE.

 OBATAIN APPROVAL OR LOCAL ELECTRICAL INSPECTOR FOR USE OF MC CABLE.

 10. ALL DISCONDECT SWITCHES SHALL BE IN PVC CONDUIT PROVIDED WITH A GREEN GROUND WIRE.

 11. ALL DISCONDECT SWITCHES SHALL BE INSED WITH CURRENT LIMITING FUSES. VERIFY PUSE SIZE WITH EQUIPMENTS NAME PLATE WHERE APPLICABLE.

 12. ALL PANELS SHALL HAVE TYPEWRITTEN DIRECTORIES INDICATING ALL CROUTS.

 13. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTAIL PLUGS AND CORDS AT ALL STATE AND CONTRACTOR CONTRACTOR SHALL PROVIDE CONTRACTOR POWER.

 14. ALL CONTRACTORS RESPONSIBLE FOR ERHEBATOR POWER.

 15. ALL WIRES AND CABLES SHALL BE COOPER EXCEPT AS INDICATED.

 16. CONTRACTOR SHALL PROVIDE LIGHTING FIXTURES AND AS PER OWNER REQUIREMENTS.

- 16. CONTRACTOR SHALL PROVIDE LIGHTING FIXTURES AND AS PER OWNER REQUIREMENTS.

 77. ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROL WERE SETEWED AHLJ. AND C.U.

 18.ALL WIRE SEZES MICHAETE ARE BASED THE USE OF COPPER CONDUCTORS. AT

 THE DEVELOPER'S OPTION ALUMINUM CONDUCTORS MAY BE USED FOR FEEDERS

 AND SERVICES WHERE THE FOLLOWING CONDITIONS MER MAD SERVICES

 18. ALL TERMINATIONS SHALL BE MOSE WITH COMPRESSION TYPE ITTINGS.

 19. CONDUCTOR SEZES SHALL BE MOSE WITH COMPRESSION TYPE ITTINGS.

 20. CONTRACTOR SEZES SHALL BE MOSE WITH COMPRESSION TYPE ITTINGS.

 21. ALLIMAN CONDUCTORS SHALL BE MOSE WITH COMPRESSION TYPE ITTINGS.

 22. ALLIMAN CONDUCTORS SHALL BE MOSE WITH COMPRESSION TYPE ITTINGS.

 23. ALLIMAN CONDUCTORS SHALL BE MOSE WITH COMPRESSION TYPE ITTINGS.

 24. ALLIMAN CONDUCTORS SHALL BE MOSE USED FOR BRANCH CIRCUIT WIRING.

 19. TIME SWITCHES SHALL BE 120V, 24 HOUR ASTRONOMIC DIAL AS APPROVED BY OWNER.

 10. CONTRACTOR SHALL COORDINATE FUSE AND CASE PREF COMPRESSION MAD AS PER COMPRESSION TYPE TO ROUGH-IN CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR SHALL CORDINATE WITH MECHANICAL CONTRACTOR SHALL CORDI
- 21. DRYER AND RANGE RECEPTACLES SHALL BE 120/240V, MIN 10-4 WIRE TYPE. (PER NEC 250-140)
- 22. LIGHT SWITCHES, OUTLETS, THERNOSTATS IN ACCESSIBLE LOCATIONS, NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE THE FINISH FLOOR AND 44" WHERE BASE CABINETS. 23. EQUIPMENT GROUNDING CONDUCTOR IN WET LOCATIONS SHALL BE COOPER.
- 24. RUN ALL C.U. LOW VOLTAGE WIRES FROM A.H.U. TO C.U. IN 1/2" CONDUIT(USE 3 PAIR WIRE)
- ALL SMOKE DETECTORS SHOULD BE INTERCONNECTED. IN COMMON AREAS & SMOKE DETECTORS SHALL BE A COMBINATION IONIZATION / PHOTO ELECTRIC TYPE.
- SHALL BE A COMBINATION (ONIZATION / PHOTO ELECTRIC TYPE.

 SA LIBBANC REMITS HAT SPRY 120, IT, 154M & 200M OILES SHALL BE REGISTED
 BY COMBINION THE ARC-PAUL CROSS INTERPRIEDS LISTED TO PRODUE PROTECTION OF

 "A LL SAM DO IN 200M EXPERIENCE SAME BLEISTED S. STAMPE RESISTANT
 IN ERRY MOTHER, FAMILY ROOM, DINNE ROOM, LENN ROOM, LEN, SAMOSOM,
 BERSON, BURNOUN, LANNER MO DOTTOOR REA.

 28. ALL SAML APPLIANCE RECEPTALES REDUCTED TO SERVE COUNTRITION SHEFACES IN MITCHEN
 SHALL BE OFF PROTECTION.

- SOURCE STORT HTM SOURCE ELECTIONS WITH A SOURCER BACE AND BATTERY BACK-UP. SHAKE EXCITOTES SHALL BE INTERCONNECTED SO HAND OPERATION OF ANY SAMED ELECTRONS SHALL BE INTERCONNECTED SO HAND OPERATION. AND SHAPE AND SHA

SCOPE OF WORK:

- 1 ADD NEW PANEL FOR NEW ADDITION
- ADD NEW A/C UNIT AND TANKLESS WATER HEATER.
- ADD LIGHTING AND RECEPTACLES AS INDICATED.
- 4. EXISTING SUB PANELS A AND B TO REMAIN THE

					EXISTING M	AIN: 400 /	MPS, 1	20/240v, 1PH					
TES	GEN KWA.	HVAC	WIRE	POLE	CIRCUIT DESCRIPTION	ССТИ	CCTR	CIRCUIT DESCRIPTION	TRIP POLE	WIRE	HVAC	GEN KVA	NO
	21.80	9.50	#1	150-2	150 AMP PANEL A	1	2	NEW 100 AMP PANEL C	100-2	#3	5.50	9.92	
	EEGO	3.30		150-1	230740 77410274	1	4	THE RESIDENCE OF THE PARTY OF	300-2	***	5.540	0.00	
					SPACE	5	6	150 AMP PANEL B	150-2	#1	14.26	21.50	
					SP PACE	7	8	AND POWER PROVIDED IN	330-2	***	14.20	21.30	
					SPACE	9	30	SPACE					
					SPACE	11	12	SPACE					
					SPACE	13	14	SPACE					
					SPACE	15	16	SPACE					
					SPACE	17	18	SPACE					
					SPACE	19	20	SPACE					
						21	22	SPACE					
		8.1	#6	45-2	AC #1	23	24	TIMER (LANDSCAPING LIGHTS)	20-1	#12			Г
		4.5	#10	25-2	AC III	25	26	GFI (FOUNTAIN)	20-1	#12		0.50	
		4.5	W10	25-2	AL III	27	28	POOL EQUIPMENT	60-2	#6		2.5	
	0.6		#12	20-2	SPRINKLER PUMP	29	30	POOL EQUIPMENT	60-2	ro.		2.5	
	0.6		W12	20-2	SPRINGLER PUMP	31	3.2	GR	15-1	#14			
					SPACE	33	34	SPACE					
					SPACE	35	36	SPACE					
					SPACE	9	10	SPACE					
					SPACE	11.	12	SPACE					
	22.35	22.10									19.76	34,42	

DEMAND LOAD CALCULATED IN ACCORDANCE WITH NEC 2020 220.82			
3. HACR BREAKER	TOTAL CALCULATED LOAD	62.97 KVA	262: AMPS
2. GFCI PROTECTED	TOTAL HEATING OR COOLING @ 100%		29.26 KVA
1. AFCI PROTECTED	REMAINDER @ 40%		23.71. KVA
NOTES:	15T 10K @ 100%		10.00 KVA
	TOTAL KNA LESS A/C		69.28 KVA
4170 SQ, FT. OF GENERAL POWER & LIGHTI NG @ BW/SQFT	TOTAL GENERAL LIGHTING AND RECEPTION	E LIDAD	12.51. KVA



KYLE MAILLOUX, P.E. Licence Number: 87103 927 SW 21st Ct, Fort La



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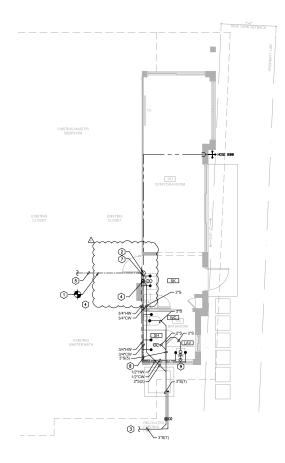
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Rev Date

GABRIEL HERNANDEZ

Drawn by: NS Designed by: KM Checked by: KM SCALE 1/4" = 1'-0"



GENERAL NOTES

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FBC (PLUMBING 2020 7TH ED.) AND WITH ALL APPLICABLE REGULATIONS.
- B. DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE PLUMBING WORK.
- C. ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS
 AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT
 TO OWNER.
- TO OMER.

 D. GURANTEE: HE COUPLETED INSTALLATION SHALL BE FULLY GURANTEED AGAINST DETECTIVE MATERIALS AND/OR MEMORPH ROCKOMANIETO FOR A MINIMUM FOR WELL BY AND HERBERAL AND LABOR HERBERAL AND THE PROPERTY OF THE MEMORPH PER POOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2" PPES AND SMALLER.

 TOTAL STATEMENT OF THE PROPERTY OF

PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. PIXTURES SHALL BE COMPLETE WITH DRAWN, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED, FIXTURES AND FAUCETS SHALL COMPLY WITH THE STEW WATER SANNO STANDARDS.

4. MATERIALS:

- A FPING.
 A STORM, SOIL WASTE AND VENT: SANITARY PIPE, PVC, DWV, SOCIEDULE 40.
 B. DOMESTIC WATER: COPPER PIPE, TIPE L WITH SWEAT WROUGHT COPPER TRITINGS. TIPE "M" IN CONCEALED SPACES IS ACCEPTABLE FLOW GUARD CIPY. IS AN ACCEPTABLE SUSSTITUTION SIGNATE PIPMS FROM CONCERNE WITH INSULATION AMERICAL.
- C. DOMESTIC WATER SUPPLY ASSEMBLY: STAINLESS STEEL BRAIDED SUPPLY LINE WITH ANGLE SHUT OFF VALVES.
- D. INSULATION: 1. INSULATE ALL HOT WATER HEATER WITH 1" THICK FIBERGLASS INSULATION.
- 2. INSULATE ALL STORM PIPING WITHIN UNITS WITH 1" RIGID FIBERGLASS INSULATION.
- 5. ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
- PRING TEST AND DISNECTIONS:
 A TEST: ALL SANITARY AND DIMESTIC WATER SUPPLY PIPING SHALL BE TESTED FOR LEAS BEFORE PIPING IS CONCEALED OR CONNECTED TO EQUIPMENT AND PLUMBING FIXTURES.
 DISNECTION: ALL DOMESTIC WATER PIPING SHALL BE
- B. DISINFECTION: ALL DUMESS WHICH PITTING STALL BE DISINFECTED BY INTRODUCING A SOLUTION OF CALCIUM HYPOCHLORIES OF 50 PARTS PER MILLION OF CHLORIDE AND AS PER AWMA STANDARDS. 7. VALVES: DOWESTIC WATER VALVES SHALL BE OF BRONZE BODY,
- SWEAT ENDS.
- 8. HOSE BIBBS: SHALL BE 1/2 INCH. ROUGH BRASS CONSTRUCTION WITH SHUT OFF VALVE AND VACUUM BREAKER.
- ALL OUTDOORS FLOOR CLEAN OUTS SHALL BE TERMINATED UP TO GRADE AND SHALL BE MARKED.
- CONTRACTOR SHALL COORDINATE EXACT LOCATION OF SANITARY, AND DOMESTIC WATER PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.

DRAWING LE	EGEND
DESCRIPTION	LINE SYMBOL
SANITARY LINE	
VENT PIPING	
FLOOR DRAIN	FD⊠
HOT WATER SUPPLY	
COLD WATER SUPPLY	<u></u>
GAS LINE	
CLEAN OUT	∞+
WATER METER	М
WATER SHUTOFF VALVE	\sim

GAS SHUTOFF VALVE

- ADD NEW TANKLESS WATER HEATER.
 ADD NEW SERVICE WATER FOR GYM ADDITION.
- CONNECT TO NEW TANKLESS WATER HEATER. ADD NEW SANITARY FOR GYM ADDITION AS
- 4. PLUMBING IN MAIN HOUSE TO REMAIN

D**⊗**

KYLE MAILLOUX, P.E. Licence Number: 87103 927 SW 21st Ct, Fort Lau P: 954-420-8209 E: Kyle@bluehorizoneng

Digitally signed by Kyle Mailloux Date:

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-1	CITY COMMENTS	402
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Drawn by: NS Designed by: KM Checked by: KM SCALE

1/4" = 1'-0"

SHEET NUMBER

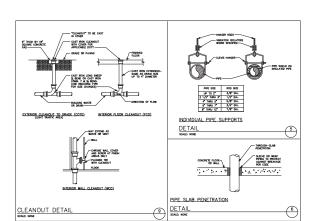
PLUMBING KEYNOTES

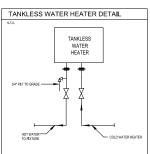
- CONNECT NEW 3/4°CW TO EXISTING COLD WATER LINE. CW LINE MUST BE 3/4" IN DIAMETER. CONTRACTOR TO FIELD VERIFY EXACT
- CONNECT NEW 3/4"CW TO NEW TANKLESS WATER HEATER IN LOFT
- CONNECT NEW 3"S TO EXISTING SANITARY LINE. CONTRACTOR TO FIELD VERIFY EXACT LOCATION
- 2"VENT TO VTR
- EXISTING COLD WATER LINE, CONTRACTOR TO FIELD VERIFY LOCATION
- 3/4"CW AND HW DOWN
- DOMESTIC WATER WITHIN WALL
- PROVIDE 2" AIR ADMITTANCE VALVE TO LAVATORY, MUST BE ACCESSIBLE. (9)

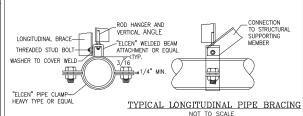
PLUMBING FIXTURES AND ALLOWANCES

- REFER TO THE CONTRACT DOCUMENTS FOR PLUMBING FIXTURE SPECIFICATIONS, THIS CONTRACTOR SHALL PROVIDE ALL FIXTURES AS REQUIRED.
- ALL FIXTURES MUST COMPLY WITH THE FLORIDA PLUMBING CODE, AND THE AUTHORITY HAVING JURISDICTION, INCLUDING MAXIMUM ALLOWABLE FLOW RATES AND WATERSENSE LABELING, NO CHANGE ORDERS WILL BE PERMITTED FOR WORK RELATED TO THE PURCHASE OR INSTALLATION OF NON-CODE COMPLIANT EXTURES. IT IS THE SOLD RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CODE COMPLIANT EXTURBES, ITS THE SOLD RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CODE COMPLIANT EXTURBES. ITS THE SOLD RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CODE COMPLIANT EXTURBES. ITS THE SOLD RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CODE CODE CONTRACTOR FUNDAMEN FATURES.
- 3. THE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL PLUMBING FIXTURES SHALL COMPLY WITH THE ARCHITECTURAL DRAWINGS.
- . ALL SINKS AND LAVATORIES THAT ARE HANDICAPPED ACCESSIBLE SHALL BE PROVIDED WITH THERMAL AND IMPACT INSULATION/SHIELDING KITS ON SUPPLIES, TRAPS, TAILPIECES AND WASTE OUTLETS.
- PROVIDE ALLOWANCES FOR THE FOLLOWING:
- A. VALIVE AND CAPPED RPZs FOR ALL CONNECTIONS TO ALL MECHANICAL EQUIPMENT (ASSUME 15-3/*, 15-1/*, 15-1/*, 15-1/*, 16-1

FIXTURE UNITS	1-11	12-32	33-60	31-113	114-154	155-330
PDI UNITS	Α	В	С	D	E	F
PIPE SIZE	<i>½</i> "	%"	1"	1%*	11/2"	2"



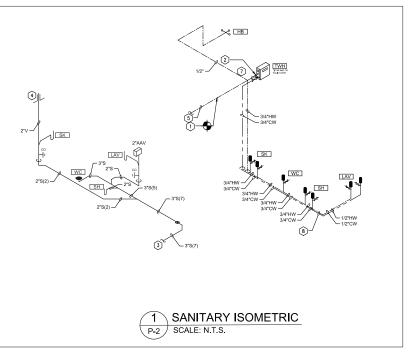




1. THIS BRACING DETAIL APPLIES ONLY FOR COLD WATER PIPE AND GAS PIPE WHERE MOVEMENT OF THE PIPE DUE TO TEMPERATURE DIFFERENTIAL IS NEGLIGIBLE

2. IT IS THE RESPONSIBILITY OF THE USER OF THIS GUIDELINE TO ASCERTAIN THAT AN ADEQUATE BRACING AND ANCHORAGE DEVICE BE DESIGNED FOR PIPE WHENEVER THE MOVEMENT DUE TO THERMAL DIFFERENTIAL EXISTS. PROVIDE ONE ANCHOR POINT IN ONE PIPE RUN. ALLOW FOR LONGITUDINAL PIPE MOVEMENT AT THE OPPOSITE END OF THE ANCHOR POINT.

> LONGITUDINAL PIPE BRACING NOT TO SCALE



9

	· FIXTURE SCHEDULE									
ITEM	M FIXTURE		WATER	WASTE	VENT	STORM	DESCRIPTION			
wc	WATER CLOSET	128 GALLONS / FLUSH SELECTION TBD BY OWNER.								
LAV	LAVATORY	tq.	10"	r	910°		2.2 GPM FAUCET SELECTION TBD BY OWNER			
SH	SHOWER	10"	10"	r	110	-	1.855FW/SSEEECTOON/BBUBY/COWNER			
SK	SINK	tor	10"	r	1-10"	-	1.5 GPM gg60 PSI, SELECTION TBD BY OWNER.			

NOTES:

- 1. MINIMUM SIZE OF VENT EXTENSION THROUGH ROOF TO BE 4". 2. CHANGE OF DIAMETER TO BE MADE AT LEAST 12" BELOW ROOF.
- 3. VENT PIPE TO EXTEND 24" ABOVE ROOF AND TO BE SEALED WATERTIGHT BY PROPER FLASHING.
- 4. ALL VENT RISERS SHALL BE OFFSET AS REQUIRED TO CLEAR ROOF STRUCTURE DUCTWORK OR MECH. 5. ROOF TOP UNITS.
- 6. ROOFING CONTRACTOR SHALL SUPPLY BOOT ROOFING CONTRACTOR SHALL SUFFEE COST.
 FLASHING FOR RUBBER ROOF SYSTEMS.
 COPPER CAP BY PLUMBING CONTR. 8 oz COPPER — FLASHING BY PLUMBING 600NRER FLASHING -_MAKE WATERTIGHT-ROOF BY GENERAL CONTR. INCREASER FITTING FILL VOID SPACE VENT PIPE-SEE SANITARY RISER

WITH INSULATING

MATERIALS

VENT INCREASER DETAIL

DIAGRAM FOR SIZES

NOT TO SCALE

PL	UMBING KEYNOTES
①	CONNECT NEW 3/4°CW TO EXISTING COLD WATER LINE. CW LINE MUST BE 3/4° IN DIAMETER. CONTRACTOR TO FIELD VERIFY EXACT LOCATION
2	CONNECT NEW 3/4°CW TO NEW TANKLESS WATER HEATER IN LOFT. SEE RISER
3	CONNECT NEW 3"S TO EXISTING SANITARY LINE, CONTRACTOR TO FIELD VERIFY EXACT LOCATION
4	2"VENT TO VTR
(5)	EXISTING COLD WATER LINE. CONTRACTOR TO FIELD VERIFY LOCATION
6	NOT USED
7	3/4°CW AND HW DOWN
(8)	DOMESTIC WATER WITHIN WALL

PROVIDE 2" AIR ADMITTANCE VALVE TO LAVATORY, MUST BE

TABLE 604.4 MAXIMUM FLO	W RATES AND CONSU	MPTION				
FIXTURE TYPE		GPM	<u>PSI</u>			
LAVATORY, PRIV	ATE	1.5 ∅	60			
SINK FAUCET	SINK FAUCET					
SHOWER		2.2@	80			
WATER CLOSET		1.28 GAL (PER FLUSH)				
DISHWASHER (RESIDENTIAL)	(ENERGY STAR- WATER SENSE CERTIFIED)	6.5 GAL (PER CYCLE)				
WASHING	IENERGY STAR-	W.F. 8				



KYLE MAILLOUX, P.E.

Licence Number: 87103 927 SW 21st Ct, Fort La



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