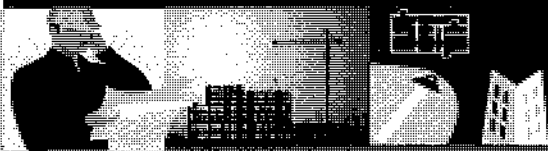


ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: _____

Location Address: 1926 Johnson Street

Lot(s): 21, 22 Block(s): 17 Subdivision: _____

Folio Number(s): 5142 15 01 2870

Zoning Classification: ND-2 Land Use Classification: 01-01

Existing Property Use: SFR Sq Ft/Number of Units: 1,856 / 1

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 21-DP-59

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: PDB Meeting

Number of units/rooms: 15 Sq Ft: 14,255

Value of Improvement: \$2MM Estimated Date of Completion: 2026

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: ALEKSEJ BEREZNOJ

Address of Property Owner: 1926 JOHNSON STREET

Telephone: 954.907.3103 Fax: 954.212.0165 Email Address: 9073103@GMAIL.COM

Name of Consultant/Representative/Tenant (circle one): K-2 DESIGN, INC

Address: 200 SE 4 STREET, HALLANDALE Telephone: 954.907.3103

Fax: _____ Email Address: 9073103@GMAIL.COM

Date of Purchase: 1/21/21 Is there an option to purchase the Property? Yes () No (X)

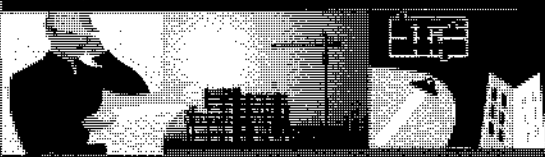
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2500 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 7/28/23

PRINT NAME: ALEKSEJ BEREZNOJ

Date: 7/28/23

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for DOB Meeting to my property, which is hereby made by me or I am hereby authorizing Aleksey Bereznoj to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 28 day of July

Notary Public

State of Florida

My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____ Produced Identification _____



SERGE ALEXANDER RUCHKIN
Commission # HH 256754
Expires August 24, 2026

Signature of Current Owner

Print Name

PROPERTY ADDRESS:

1926 JOHNSON ST, HOLLYWOOD, FL 33020

LEGAL DESCRIPTION:

LOT 21 AND 22, BLOCK 17, OF "HOLLYWOOD",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA

FEMA ZONE: X

CITY ZONE: ND-2 (NORTH DOWNTOWN MEDIUM INTENSITY MULTI-FAMILY DISTRICT)

LAND USE: REGIONAL ACTIVITY CENTER (RAC)

SITE AREA: 11,172 FT

SITE AREA AFTER DEDICATION: 9,969 FT

SETBACKS:

	REQUIRED	PROVIDED
FRONT (NORTH) SIDE	15'	15'
REAR (SOUTH) SIDE	10'	41'
EAST SIDE	10'	10'
WEST SIDE	10'	10'

PERVIOUS AREA:

REQUIRED	PROVIDED
1,994 SF (20%)	3,000 SF

ALLOWABLE FAR 2.0

PROPOSED FAR 1.43

ALLOWABLE BUILDING AREA: $2.0 \times 9,969 = 19,938$ SF

PROPOSED BUILDING AREA: 14,255 SF

BUILDING FOOTPRINT: 5,077 SF

OVERALL BUILDING HEIGHT: 4 STORIES, 49'-2"

PROPOSED 1 FLOOR HEIGHT – 10'-11"

PROPOSED 2-4 FLOORS HEIGHT – 10'-11"

PARKING CALCULATION:

TOTAL 2 BEDROOM APARTMENTS: 3,	$3 \times 1.5 = 5$ SPACES
TOTAL 1 BEDROOM APARTMENTS: 12,	$12 \times 1 = 12$ SPACES
PARKING REQUIRED:	$5 + 12 + 1$ GUEST (1HD) = 18 SPACES
TOTAL PARKING PROVIDED:	17 REG + 1 HD = 18 SPACES

PROPOSED USE: RESIDENTIAL APARTMENTS

TOTAL APARTMENTS: 15

<u>UNIT SIZE:</u>	MINIMUM	AVERAGE
REQUIRED	300 SF	500 SF
PROVIDED	674 SF	759 SF

DESIGN REVIEW CRITERIA

Design Review encompasses the examination of architectural drawings for consistency with the General Criteria, Criteria as they appear in Design Guidelines Manual, and the Neighborhood Specific Design Review Criteria all of which is approved by the Board with regard to the aesthetics, appearances, safety, and function of the structure in relation to the site, adjacent structures and surrounding community.

The Board and the Office Planning and Development Services Director shall review plans based upon the aforementioned Criteria (See above paragraph). If the Board and the Director determines that an application is not consistent with the criteria, it shall set forth in writing the reasons substantiating its finding.

General Criteria. The architectural style of the building, accessory structures and landscaping shall be evaluated in terms of the following criteria (1-4):

DESIGN CRITERIA

1. Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

Traditional materials being used to provide aesthetic and practical use.

- Architectural and design components are in perfect harmony with the surrounding buildings. In the decoration we use traditional plaster and imitation of natural wood, which are actively represented in the surrounding landscape.

2. Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that

are characteristic of the surrounding neighborhood.

It's the first 5 Story building in a single story street that use the same building materials as surrounding houses. - We use the style that is characteristic of the environment. The décor elements we use are typical of neighboring buildings, but proportionate to our building.

3. Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

Surrounding structures are all one story, which make impossible to keep proportion and in the same time redevelop neighborhood. - Our building is harmonious and proportionate to itself. Moreover, the mass of the building does not contradict the mass of neighboring buildings. you can see it in the visualizations. Moreover, the building corresponds to those buildings that will appear on this street in the future.

4. Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

These items are considered according to quasi-judicial procedures.

City Landscape guidelines were used to for new landscaped areas an exiting trees in front of the property were kept. - In landscape design, we use endemic plants that complement the surrounding landscape as harmoniously as possible. We save some of the existing plants.

PROPOSED MULTIFAMILY BUILDING – 1926 JOHNSON ST, HOLLYWOOD, FL 33020



INDEX OF DRAWINGS:

ARCHITECTURAL	
CS	COVER SHEET
	ALTA/NSPS LAND TITLE SURVEY
A-1.0	SITE PLAN
A-1.1	VEHICULAR USE AREA DIAGRAM /
	PERVIOUS VS IMPERVIOUS AREA PLAN
A-1.2	JOHNSON STREET PROFILE (NORTH ELEVATION)
A-1.3	PARKING PLAN
A-2.1	TYPICAL FLOOR PLAN FOR 2ND – 4TH FLOOR
A-2.2	5TH FLOOR PLAN
A-3.0	ROOF PLAN
A-4.0	COLOR SAMPLES
A-5.0	SOUTH ELEVATION
A-6.0	WEST ELEVATION
A-7.0	NORTH ELEVATION
A-8.0	EAST ELEVATION
A-9.1 – 9.3	RENDERING OF THE PROPOSED BUILDING FROM JOHNSON ST
A-9.4	RENDERING OF THE PROPOSED BUILDING FROM ALLEY
A-9.5 – 9.6	RENDERING OF THE PROPOSED BUILDING FROM AIR
A-10.0	FENCE DETAILS
A-11.0	DUMPSTER ENCLOSURE DETAILS AND MAILBOX
A-12.0	ALUMINUM SCREEN DETAILS

LANDSCAPE	
L-01	TREE DISPOSITION LANDSCAPE
L-02	LANDSCAPE PLAN
L-03	LANDSCAPE DETAILS & GENERAL NOTES
L-04	IRRIGATION PLAN DETAILS & GENERAL NOTES

CIVIL	
C-1	EROSION & SEDIMENT CONTROL PLAN
C-2	PAVING, GRADING & DRAINAGE PLAN
C-3	CIVIL DETAILS
C-4	PAVEMENT MARKINGS & SIGNAGE PLAN
C-5	WATER & SEWER PLAN & DETAILS
C-6	WATER & SEWER DETAILS

PLUMBING

STRUCTURAL

ELECTRICAL

MECHANICAL

FIRE PROTECTION

OWNER:
1939 FUNSTON LLC
1939 FUNSTON STREET
HOLLYWOOD, FL 33020
(954) 907-3103

ENGINEER OF RECORD:
VINCI ENGINEERS
17070 COLLINS AVE #255
SUNNY ISLES, FL 33160
(786) 607-3797

MEP & FIRE PROTECTION ENGINEERS:
VINCI ENGINEERS
17070 COLLINS AVE #255
SUNNY ISLES, FL 33160
(786) 607-3797

CIVIL ENGINEER:
ZEPHYR ENGINEERING.
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693

LANDSCAPE ARCHITECT:
ANDRES MONTERO LANDSCAPE
ARCHITECTURE
2208 NE 26 TH STREET, #1
FORT LAUDERDALE, FL 33305
(954) 533-8259

PRELIMINARY TAC MEETING:

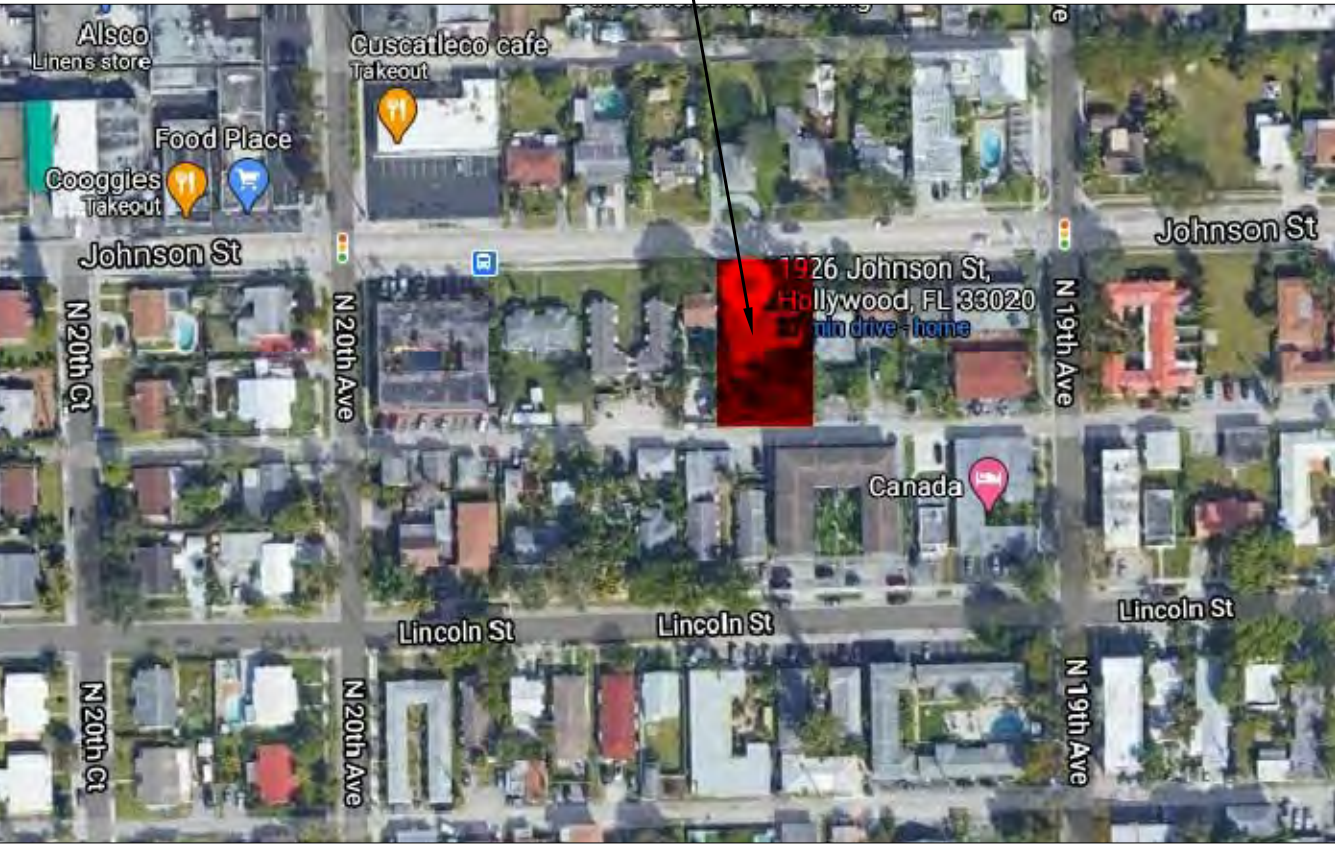
DECEMBER 6, 2021

FINAL TAC MEETING:

NOVEMBER 7, 2022

BOARD MEETING:

LOCATION OF THE SITE



K–2 design, Inc
17070 Collins Ave #255
Sunny Isles, FL 33160
Phone: 786.607.3797
Fax: 954.212.0164
contact@vinciengineers.com
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/02/2023

CS

Project Information

COPYRIGHT STATEMENT: ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF VINCI ENGINEERS INC. AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF VINCI ENGINEERS INC. ©2022 CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SHALL NOT RELY ON SCALED DIMENSIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.



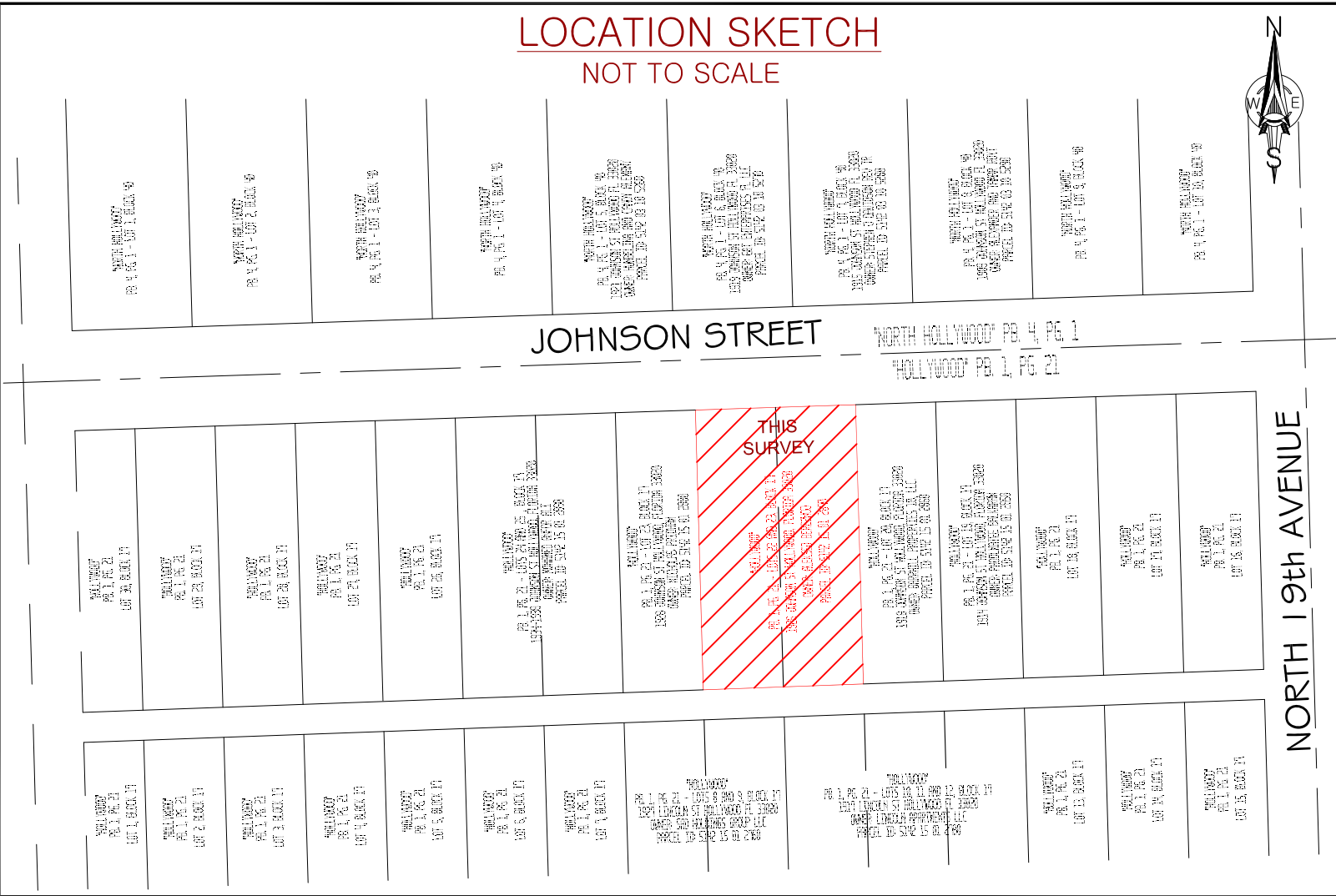
PROPERTY ADDRESS: 1926 JOHNSONS STREET, HOLLYWOOD, FLORIDA. 33020

LEGAL DESCRIPTION:

LOT 21 AND 22, BLOCK 17, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED
IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTE: THERE ARE NO CURB-CUTS OR DRIVEWAYS
WITHIN 100' E. OR W. OF THIS PARCEL IN THE SOUTH 1/2
OF JOHNSON STREET R/W EXCEPT AS OTHERWISE SHOWN.

LOCATION SKETCH
NOT TO SCALE



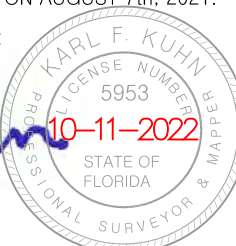
CERTIFICATION:
TO: ALEKSEI BEREZNOI

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON
WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH
THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED
AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS:
1, 2, 3, 4, 5, 7a, 7b1, 7b2, 8, 9, 11, 13, 14 OF TABLE A
THEREOF.

THE FIELDWORK WAS COMPLETED ON AUGUST 7th, 2021.

DATE OF MAP: OCTOBER 11th 2022

K.F. Kuhn
PROFESSIONAL SURVEYOR & MAPPER No. 5953
STATE OF FLORIDA
NOT A VALID SURVEY WITHOUT AUTHENTIC ELECTRONIC SIGNATURE
AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



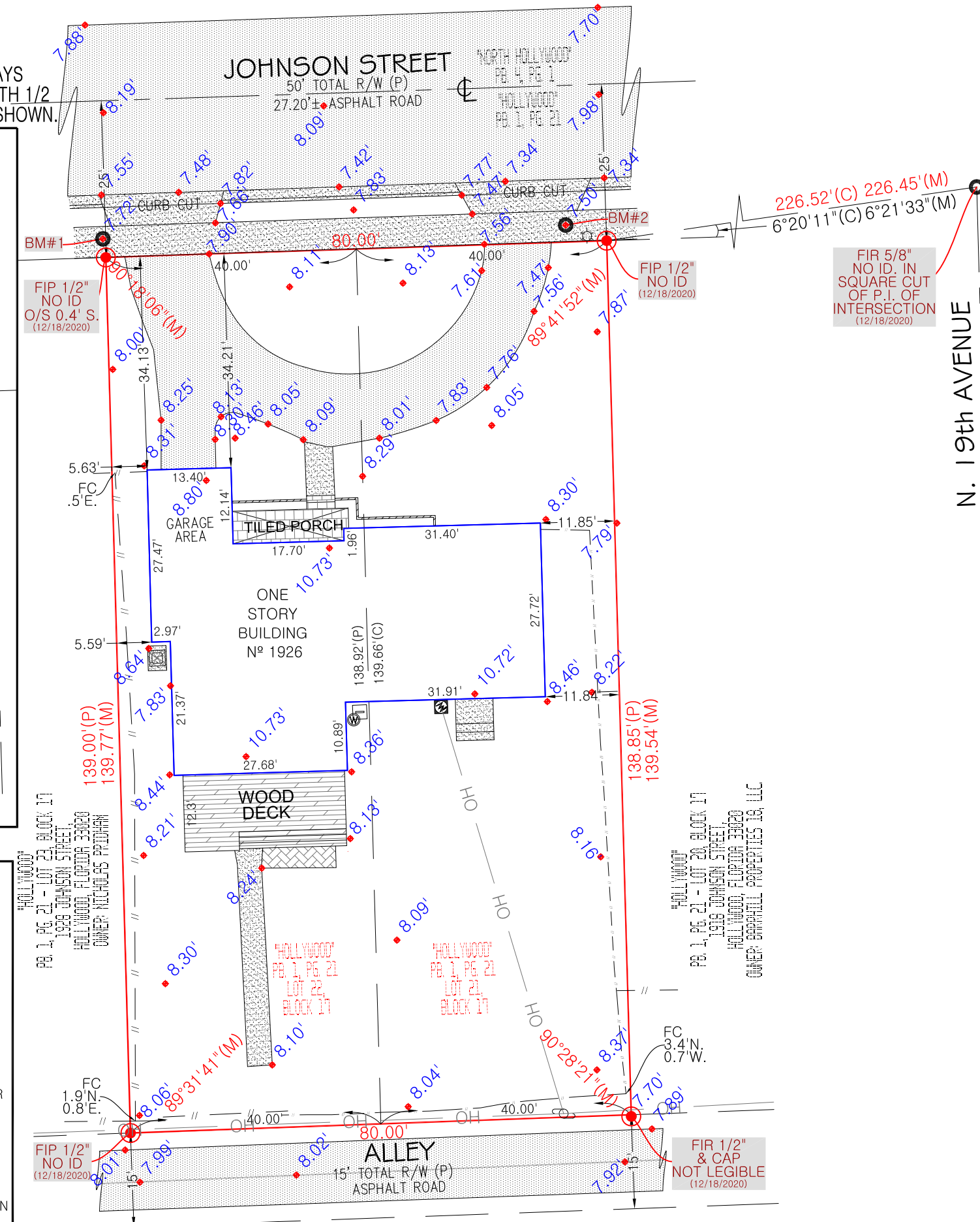
LEGEND & ABBREVIATIONS:

(NAV'D88).....NORTH AMERICAN VERTICAL DATUM OF 1988.
BM.....BENCHMARK
(C).....CALCULATED
CONC.....CONCRETE
EOP.....EDGE OF PAVEMENT
FC.....FENCE CORNER
FE.....FENCE ENDS
F.F.....FINISHED FLOOR
FIP/FIR.....FOUND IRON PIPE/ROD
FN.....FOUND NAIL
FN&D.....FOUND NAIL AND DISC
FPKN.....FOUND PARKER KALON NAIL
ID.....IDENTIFICATION
(M).....MEASURE
N°.....NUMBER
ORB.....OFFICIAL RECORDS BOOK
(P).....PER PLAT
PB.....PLAT BOOK
PG.....PAGE
P.I.....POINT OF INTERSECTION
(R).....RECORD
R/W.....RIGHT-OF-WAY
SIR.....SET 1/2" IRON ROD
SND.....SET NAIL AND DISC
(TYP).....TYPICAL
±MORE OR LESS

OVERHEAD CABLES(OH)
WOOD FENCE (WF)
METAL FENCE (MF)

ASPHALT PAVING
MASONRY OR CONCRETE BLOCK WALL
CONCRETE
CONCRETE PAVERS
OVERHANG(O/H) OR ROOF
COMMUNICATIONS BOX
UTILITY POLE (UP)
LIGHT POLE (LP)
WATER METER (WM)
GAS METER
ELECTRIC METER (EM)
SEWER CLEANOUT
WELL
AIR CONDITIONER
IRRIGATION PUMP
OFFSET
CENTER LINE
WATER VALVE RISER
WATER HEATER
POINT
ELEVATION
POINT OF ELEVATION
BOUNDARY CORNER
INDICATES DIMENSION
IS NOT TO SCALE

ALTA/NSPS LAND TITLE SURVEY



THIS SURVEY IS BASED ON THE OWNER & ENCUMBRANCE PROPERTY INFORMATION REPORT(O&E) PROVIDED BY CLIENT: ALEKSEI BEREZNOI. SAID O&E REPORT BY ATTORNEYS' TITLE FUND SERVICES, LLC. THEIR FILE FUND NUMBER: 1074934, AND/OR BY IRA L. KAHN AGENT FILE NUMBER IK20-12048, PREPARED AUGUST 6th, 2021 BY SALENE LEVIN, ACCORDING TO SAID REPORT, IS BASED ON A SEARCH PERIOD FROM JANUARY 1st, 1954 TO SEPTEMBER 28th, 2022.

- THIS SITE LIES IN SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST, IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
NOTE: PORTIONS OF THE RIGHT-OF-WAY LIES IN THE AFOREMENTIONED SECTION 15 AND SECTION 13.

- UNLESS OTHERWISE NOTED HEREON, ALL DOCUMENTS RELIED UPON FOR THIS SURVEY ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS FIRM FOR EASEMENTS OR OTHER RECORDED OR UNRECORDED, ENCUMBRANCES NOT SHOWN ON THE PLAT AND THE SAME, IF ANY,MAY NOT BE SHOWN ON THIS SKETCH.

- ALL HORIZONTAL CONTROL MEASUREMENTS ARE WITHIN A PRECISION OF 1:10,000 FEET.

- ROOF OVERHANGS WERE NOT LOCATED UNLESS OTHERWISE SHOWN.

- THE PARCEL ID IS PER BCPA.NET(BROWARD COUNTY PROPERTY APPRAISER'S WEBSITE) PROPERTY APPRAISER'S PARCEL ID: 5142 15 01 2870

AREA:

- GROSS AREA: 14372.14± SQUARE FEET
- NET AREA: 11172.14± SQUARE FEET
- BUILDING (EXTERIOR FOOTPRINT): 2106.59± SQUARE FEET

GROSS AREA IS DEFINED AS THE ENTIRE PARCEL TOGETHER WITH THE AFFECTED RIGHT-OF-WAYS DETERMINED BY EXTENDING THE SIDE PROPERTY LINES TO THE CENTERLINE OF THE TOTAL RIGHT-OF-WAYS AND NET AREA IS DEFINED AS THE PARCEL WITHIN THE PROPERTY LINES.

FLOOD ZONE INFORMATION:

- FLOOD ZONE: X'
- COMMUNITY NAME AND NUMBER: CITY OF HOLLYWOOD 125113
- MAP/PANEL NUMBER: 12011C0569 H -- EFFECTIVE DATE: 08/18/2014
INFORMATION OBTAINED FOR FLOOD ZONE DESIGNATION IS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FEDERAL INSURANCE RATE MAPS, FEMA'S NATIONAL FLOOD INSURANCE PROGRAM(NFIP), UNDER THE UNITED STATES DEPARTMENT OF HOMELAND SECURITY(DHS).

- THIS ENTIRE DOCUMENT CONTAINS PROPRIETARY INFORMATION, IS COPYRIGHTED, AND IS NOT WARRANTED BY PROFESSIONAL SURVEYORS, INC. OR THE SIGNING SURVEYOR IF COPIED BY OTHERS.

- THE EFFECTIVE DATE OF THIS SURVEY IS AS CONDITIONS WERE ON THE DATE OF FIELD WORK.

- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS, UTILITIES OR OTHER UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED.

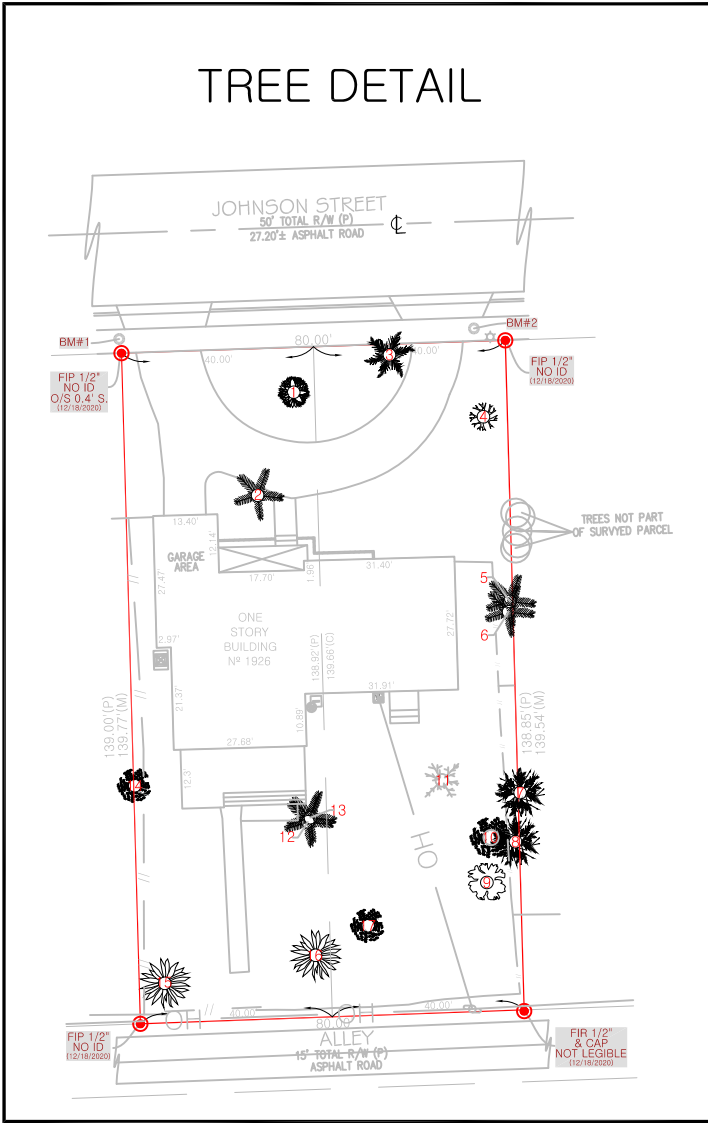
- FOR ILLUSTRATIVE PURPOSES, SOME SYMBOLS IN LEGEND THAT APPEAR IN SKETCH MAY NOT BE DRAWN TO SCALE. USE CENTER OF SYMBOLS TO DETERMINE LOCATION,

- WALL TIES ARE TO THE FACE OF THE WALL AND FENCE TIES ARE TO THE CENTERLINE OF THE FENCE POSTS.
- THE OWNERSHIP OF FENCES, IF ANY, IS NOT DETERMINED BY THIS SKETCH.
- BASIS OF BEARINGS, IF ANY, ARE ASSUMED PER PLAT AND/OR LEGAL DESCRIPTION.

* THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE PURPOSE FOR USE AS AN AID IN APPROVAL BY THE CITY OF HOLLYWOOD FOR THE DESIGN ON THE HEREON DESCRIBED PROPERTY. NO ADDITIONAL WARRANTIES ARE HEREBY EXTENDED AND THIS SKETCH MAY NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF PROFESSIONAL SURVEYORS, INC.

SEE SHEET 1 OF 2 FOR SIGNATURE
AND ORIGINAL SEAL FOR THIS SURVEY.

NOT A VALID SURVEY WITHOUT THE SIGNATURE AND ORIGINAL
RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER



ELEVATION NOTES:

ELEVATIONS ON THIS SURVEY ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

ORIGINATION AND ORDER OF BENCHMARK IS BASED ON NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION(NOAA).

BENCHMARK ORIGINATES IN (NAVD'88)

SET IN TOP OF CONCRETE MONUMENT STAMPED: P 239 1965 -- MARK LOGO: CGS

DESCRIPTION: NATIONAL GEODETIC SURVEY 1970 AT HOLLYWOOD, 0.1 MILE NORTH ALONG THE FLORIDA EAST COAST RAILWAY FROM THE CROSSING OF STATE HIGHWAY 820 (HOLLYWOOD BLVD), 43.2 FEET WEST OF THE CENTER LINE OF 21ST AVENUE, 19.3 FEET NORTH OF THE SOUTH END OF A METAL GUARD RAILING, 25.5 FEET EAST OF THE EAST RAIL, 5 FEET SOUTH OF THE EXTENDED CENTER LINE OF POLK STREET, DIRECTLY UNDER A METAL GUARD RAILING, 1 FOOT BELOW THE LEVEL OF THE TRACK AND SET IN THE TOP OF A CONCRETE POST FLUSH WITH THE GROUND.

**ELEVATION: 9.07' (NAVD'88)

SITE BENCHMARKS:

NAME: BM#1

DESCRIPTION: NAIL AND WASHER STAMPED LS 3487. 3.0'± N. AND 0.40'± W. OF N.W. PROPERTY CORNER.

ELEVATION: 7.72' (NAVD'88)

NAME: BM#2

DESCRIPTION: NAIL AND WASHER STAMPED LS 3487. 2.7'± N. AND 6.5'± W. OF N.E. PROPERTY CORNER.

ELEVATION: 7.50' (NAVD'88)

TREE DETAIL TABLE

D.B.H.=DIAMTER AT BREAST HEIGHT
CANOPY IS DEFINED AS FURTHEST DISTANCE FROM
THE CENTER OF THE D.B.H OF TREE.

#	TREE TYPE	D.B.H.	HEIGHT	CANOPY	CONDITION
1	FICUS	30"	31'	27'	GOOD
2	CHRISTMAS PLAM	7.5"	18'	4.5'	GOOD
3	ROYAL PALM	17.5"	29'	8'	GOOD
4	OAK	10.5"	22'	18'	GOOD
5	CHRISTMAS PLAM	6"	19'	4.5'	GOOD
6	CHRISTMAS PLAM	6"	18'	4.5'	GOOD
7	ALEXANDER PALM	4.5"	24'	4.0'	GOOD
8	ALEXANDER PALM	4.75"	23'	4.0'	GOOD
9	AVOCADO	14.5"	29'	23.5'	GOOD
10	MANGO	16.75"	31'	15.7'	GOOD
11	COCONUT PALM	9"	8'	N/A	SNAG
12	CHRISTMAS PLAM	6"	12'	4.5'	GOOD
13	CHRISTMAS PLAM	6"	12'	5.5'	GOOD
14	MANGO	10.75"	33'	12.7'	GOOD
15	SAPODILLA	11.5"	21'	12'	GOOD
16	SAPODILLA	24"	23'	16.5'	GOOD
17	MANGO	21.75"	35'	9.9'	GOOD

COMMON-SCIENTIFIC

SAPODILLA- MANILKARA ZAPOTA

OAK - QUERCUS

CHRISTMAS PALM-ADONIDIA MERRILLII

FICUS TREE-FICUS BENJAMINA

MANGO TREE-MANGIFERA INDICA

COCONUT PALM - COCOS NUCIFERA

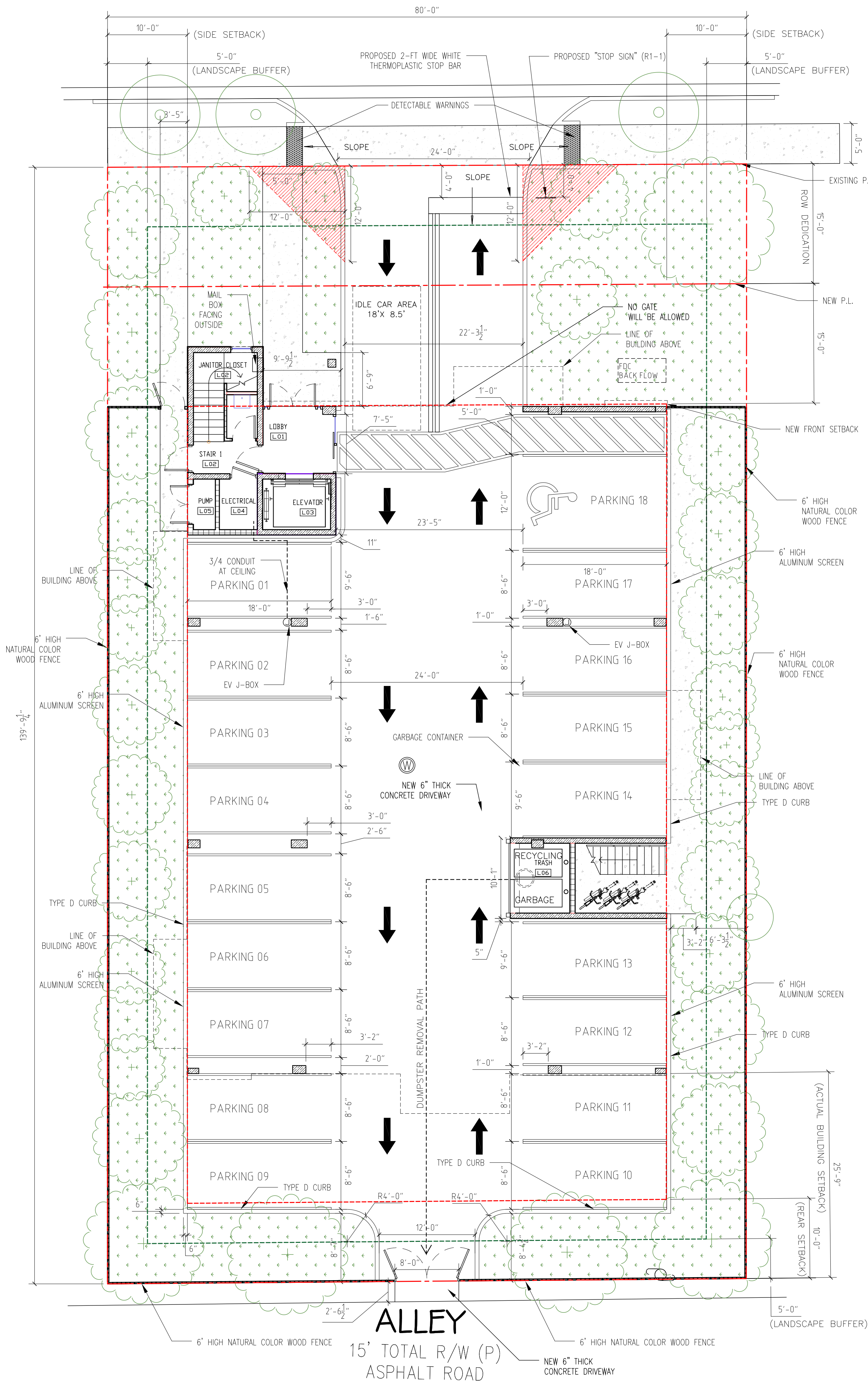
ROYAL PALM - ROYSTONEA REGIA

ALEXANDER PALM - ARCHONTOPHOENIX ALEXANDRAE

AVOCADO - PERSEA AMERICANA

JOHNSON STREET

50' TOTAL R/W (P)
27.20' ± ASPHALT ROAD



PROPERTY ADDRESS:
1926 JOHNSON ST, HOLLYWOOD, FL 33020

LEGAL DESCRIPTION:
LOT 21 AND 22, BLOCK 17, OF "HOLLYWOOD",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC
RECORDS OF BROWARD COUNTY, FLORIDA

FEMA ZONE: X
CITY ZONE: ND-2 (NORTH DOWNTOWN MEDIUM INTENSITY MULTI-FAMILY DISTRICT)
LAND USE: REGIONAL ACTIVITY CENTER (RAC)

SITE AREA: 11,172 FT
SITE AREA AFTER DEDICATION: 9,969 FT

SETBACKS:	REQUIRED	PROVIDED
FRONT (NORTH) SIDE	15'	15'
REAR (SOUTH) SIDE	10'	41'
EAST SIDE	10'	10'
WEST SIDE	10'	10'

PERVIOUS AREA:	REQUIRED	PROVIDED
	1,994 SF (20%)	3,000 SF

ALLOWABLE FAR 2.0
PROPOSED FAR 1.43

ALLOWABLE BUILDING AREA: 2.0*9,969 = 19,938 SF
PROPOSED BUILDING AREA: 14,255 SF

BUILDING FOOTPRINT: 5,077 SF

OVERALL BUILDING HEIGHT: 4 STORIES, 49'-2"
PROPOSED 1 FLOOR HEIGHT - 10'-11"
PROPOSED 2-4 FLOORS HEIGHT - 10'-11"

PARKING CALCULATION:
TOTAL 2 BEDROOM APARTMENTS: 3, 3*1.5 = 5 SPACES
TOTAL 1 BEDROOM APARTMENTS: 12, 12*1 = 12 SPACES
PARKING REQUIRED: 5 + 12 + 1 GUEST (1HD) = 18 SPACES
TOTAL PARKING PROVIDED: 17 REG + 1 HD = 18 SPACES

PROPOSED USE: RESIDENTIAL APARTMENTS

TOTAL APARTMENTS: 15

UNITS PER FLOOR:		
GROUND FLOOR: PARKING AND LOBBY		
2ND FLOOR	BEDROOM	BATHROOM
MODEL A (201)	2	2
MODEL B (202)	1	1
MODEL C (203)	1	1
MODEL D (204)	1	1
MODEL E (205)	1	1
3RD FLOOR	BEDROOM	BATHROOM
MODEL A (301)	2	2
MODEL B (302)	1	1
MODEL C (303)	1	1
MODEL D (304)	1	1
MODEL E (305)	1	1
4TH FLOOR	BEDROOM	BATHROOM
MODEL A (401)	2	2
MODEL B (402)	1	1
MODEL C (403)	1	1
MODEL D (404)	1	1
MODEL E (405)	1	1

UNIT SQUARE FOOT AREAS:	A/C AREA	BALCONIES	A/C + BALCONIES
MODEL A, 2 BEDROOMS (201,301,401)	1002 SF	59 SF	1,061 SF
MODEL B, 1 BEDROOMS (202, 302,402)	674 SF	59 SF	733 SF
MODEL C, 1 BEDROOM (203,303,403)	746 SF	59 SF	805 SF
MODEL D, 1 BEDROOM (204,304,404)	683 SF	59 SF	742 SF
MODEL E, 1 BEDROOM (205,305,405)	692 SF	59 SF	751 SF

UNIT SIZE:	MINIMUM	AVERAGE
REQUIRED	300 SF	500 SF
PROVIDED	674 SF	759 SF

MAX FOOT-CANDLE LEVEL AT ALL PROPERTY LINES: 0.5

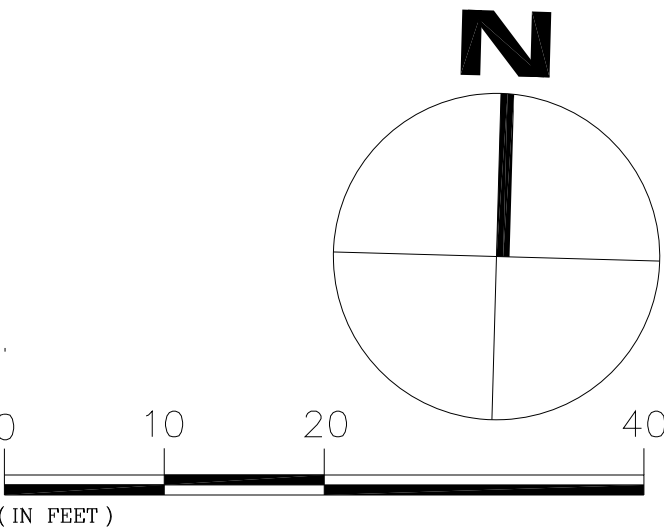
RESIDENTIAL GREEN BUILDING PRACTICES:

1. NO GARBAGE DISPOSAL
2. ALL ENERGY STAR APPLIANCES
3. NO SHOWER WITH MORE THAN ONE SHOWER HEAD, AND ALL LOW FLOW SHOWER HEADS
4. WASHER AND DRYER OUTSIDE OF AIR-CONDITIONED SPACE
5. CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
6. ENERGY EFFICIENT (LOW E) WINDOWS
7. ENERGY EFFICIENT DOORS
8. ENERGY STAR APPROVED ROOFING MATERIALS
9. PROGRAMMABLE THERMOSTATS
10. DUAL FLUSH TOILETS
11. ALL ENERGY-EFFICIENT OUTDOOR LIGHTING
12. ALL HOT WATER PIPES INSULATED
13. MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT
14. ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
15. RECYCLE MATERIALS FROM DEMOLITION AND CONSTRUCTION TO THE GREATEST EXTENT POSSIBLE

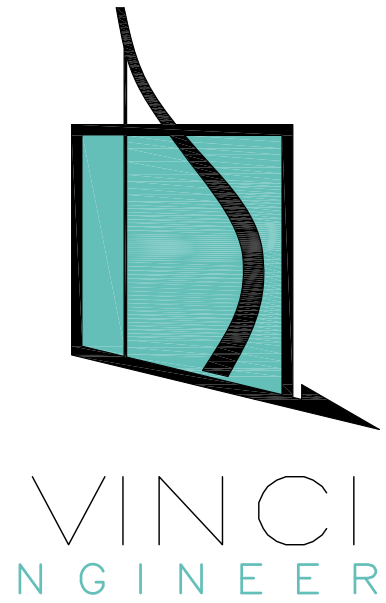
NOTES:

1. ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
2. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
3. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
4. EACH ELECTRICALLY ILLUMINATED SIGN WILL BE SUBMITTED UNDER SEPARATE PERMIT
5. ALL THE DOORS TO THE STAIRS WILL HAVE SIZEABLE WINDOWS
6. EXTERNAL LIGHTING SHOULD BE FULLY SHIELDED AND MEET THE REQUIREMENTS OF THE INTERNATIONAL DARK SKY ASSOCIATION
7. NO TREE REMOVALS WITHOUT A TREE REMOVAL SUB-PERMIT
8. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE 12.3.2.1 AND 12.3.2.2
9. THE AMERICAN CRIME PREVENTION INSTITUTE RECOMMENDS THE FOLLOWING LEVELS OF EXTERNAL ILLUMINATION:
A. PARKING LOTS 3-5-FOOT CANDLES
B. WALKING SURFACES 3-FOOT CANDLES
C. RECREATIONAL AREAS 2-3-FOOT CANDLES
D. BUILDING ENTRYWAYS 5-FOOT CANDLES
E. THESE LEVELS MAY BE SUBJECT TO REDUCTION IN SPECIFIC CIRCUMSTANCES WHERE AFTER HOURS USE IS RESTRICTED
F. THE LIGHTING FIXTURE IDENTIFICATION SYSTEM SHOULD ENABLE ANYONE TO EASILY REPORT A MALFUNCTIONING FIXTURE
G. EXTERIOR LIGHTING SHOULD BE CONTROLLED BY AUTOMATIC DEVICES (PREFERABLY BY PHOTOCCELL).
H. EXTERIOR LIGHTING FIXTURE LENSES SHOULD BE FABRICATED FROM POLYCARBONATE, BREAK-RESISTANT MATERIALS
I. PLANT MATERIALS, PARTICULARLY TREE FOLIAGE, SHOULD NOT INTERFERE WITH OR OBSCURE EXTERIOR LIGHTING
J. LIGHT FIXTURES BELOW 10' IN GRADE SHOULD BE DESIGNED TO MAKE ACCESS TO INTERNAL PARTS DIFFICULT (I.E. SECURITY SCREWS, LOCKED ACCESS PANELS)
10. EXTERIOR DOORS NOT USED AS DESIGNATED ENTRY POINTS, SHOULD BE LOCKED TO PREVENT ENTRY FROM THE EXTERIOR
11. LOBBY SHOULD BE ACCESSIBLE TO RESIDENTS ONLY
12. CONVEX MIRRORS SHOULD BE USED IN CORNERS AND IN STAIRWELLS
13. FOR MORE DETAIL SEE CIVIL PLANS FOR PLANNED RIGHT OF WAY / SWALE IMPROVEMENTS

	SPACE	AREA		FAR AREA
		AC	NON AC	
1ST FL	LOBBY	83		296
	ELEVATOR	54		
	STAIR 1 (INNER)		91	
	JANITOR CLOSET		21	
	ELECTRICAL		30	
	PUMP ROOM		17	
	TRASH ROOM		65	
	STAIR 2 (EXTERIOR)		44	4653
2ND FL	UNITS	3797		
	HALLWAY	672		
	ELEVATOR	54		
	STAIR 1 (INNER)		121	
	CLOSET		9	
	STAIR 2 (EXTERIOR)		134	
	BALCONIES		295	
3RD FL	UNITS	3797		4653
	HALLWAY	672		
	ELEVATOR	54		
	STAIR 1 (INNER)		121	
	CLOSET		9	
	STAIR 2 (EXTERIOR)		134	
	BALCONIES		295	
4TH FL	UNITS	3797		4653
	HALLWAY	672		
	ELEVATOR	54		
	STAIR 1 (INNER)		121	
	CLOSET		9	
	STAIR 2 (EXTERIOR)		134	
	BALCONIES		295	
TOTAL FAR AREA				14255



SITE PLAN



K-2 design, Inc
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Sunny Isles, FL 33160
Phone: 786.607.3797
Fax: 954.212.0164
contact@vinciengineers.com
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

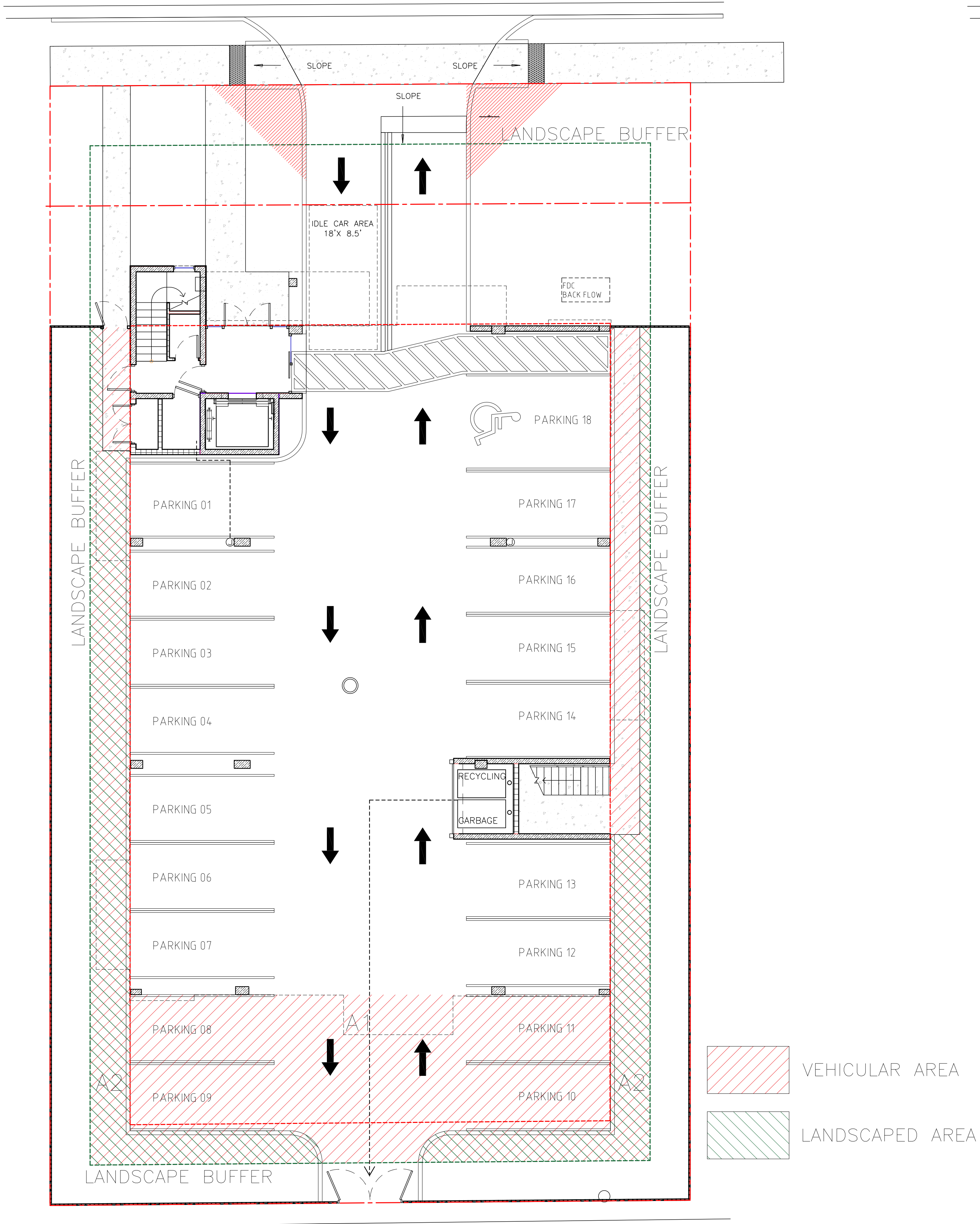
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CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE 1/8" = 1'-0"
PROJECT NO.
DRAWN BY: S.K.
CHECKED BY: A.B.
DATE 02/02/2023

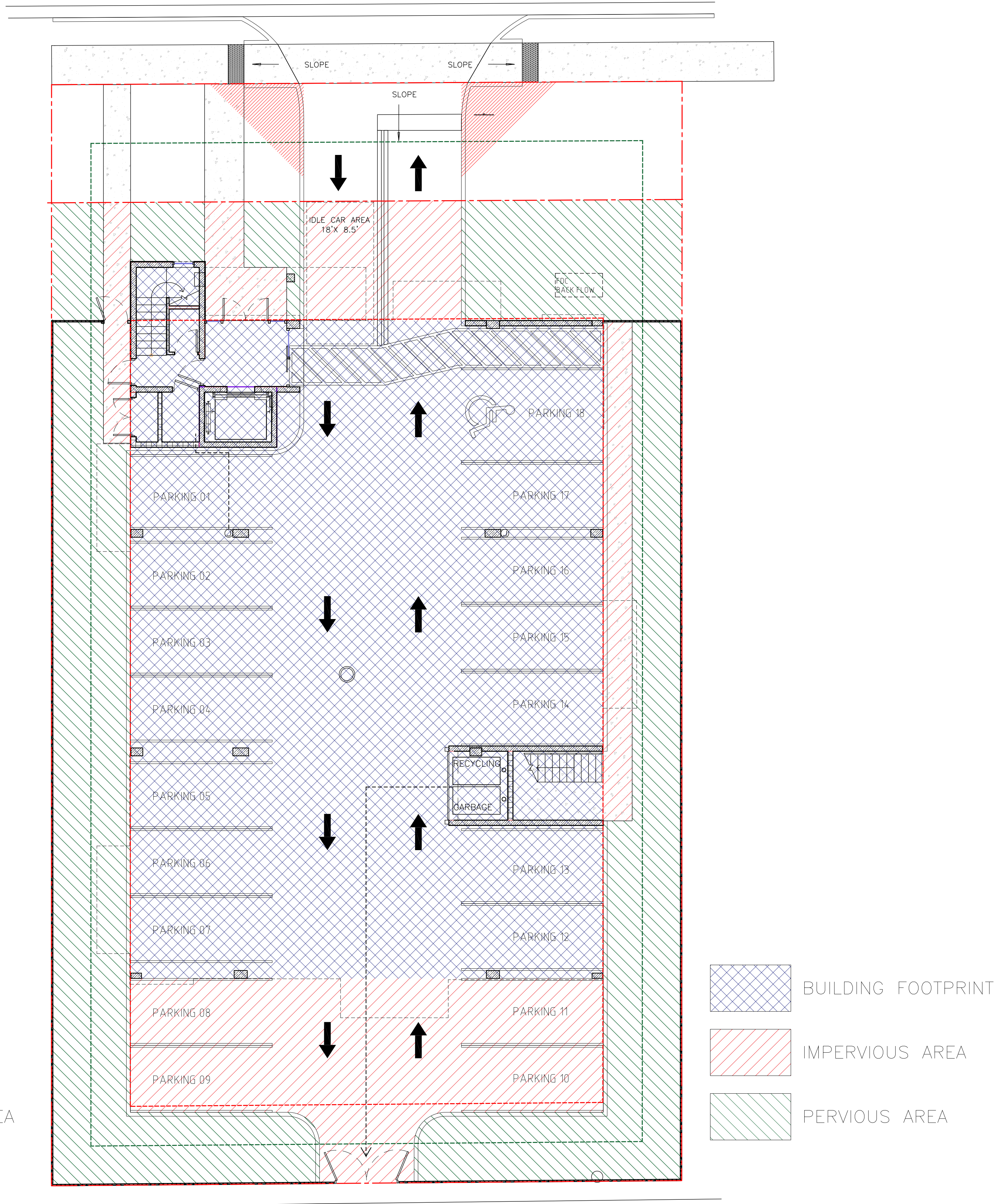
A-1.0

Site Plan



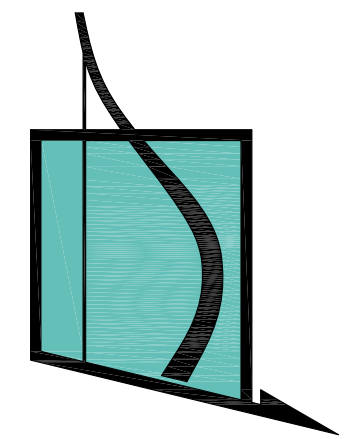
VEHICULAR AREA (A1) – 2,231 SF
LANDSCAPED AREA (A2) – 940 SF
 $A1 \times 0.25 = 558 \text{ SF} < 964 \text{ SF (A2)}$

VEHICULAR/LANDSCAPE USE AREA DIAGRAM



TOTAL SITE AREA	9,969 SF	100%
BUILDING FOOTPRINT	5,077 SF	50.9%
HARDSCAPE (IMPERVIOUS)	1,892 SF	19.0%
LANDSCAPE (PERVIOUS)	3,000 SF	30.1%

PERVIOUS VS IMPERVIOUS AREA PLAN



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A-1.1

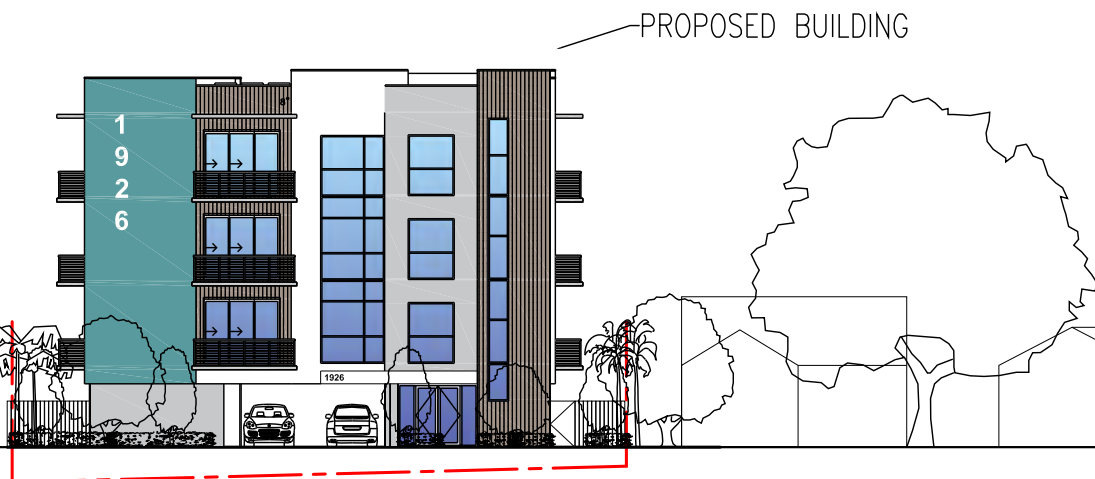
vehicular use area diagram
pervious vs impervious area plan

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N 19TH AVE

N 20TH AVE

JOHNSON STREET



JOHNSON STREET PROFILE (NORTH ELEVATION)

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OWNER REQUESTED REVISION	<input type="checkbox"/>

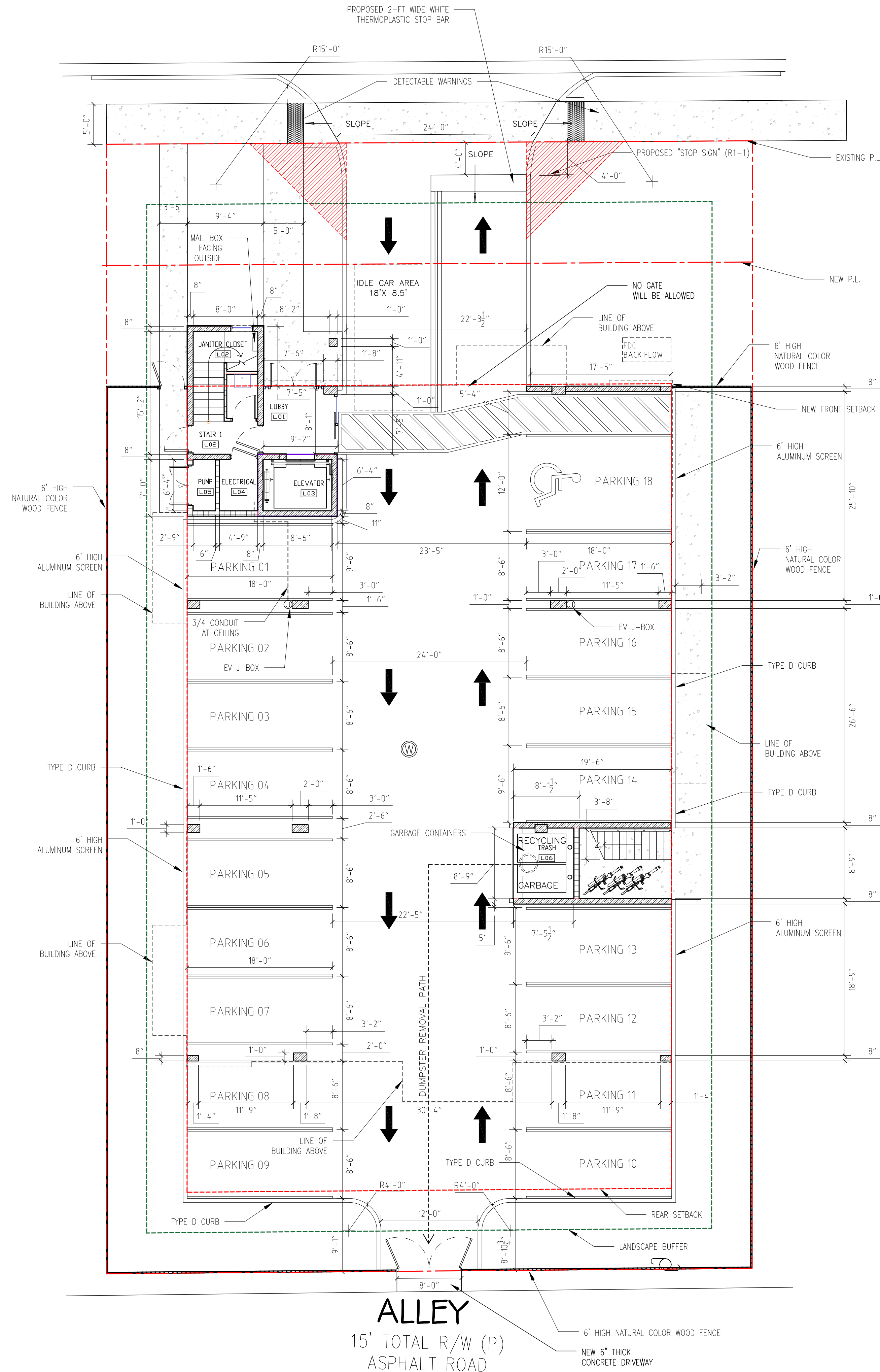
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P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	10/11/2022

A-1.2
Johnson st. profile
North elevation

JOHNSON STREET

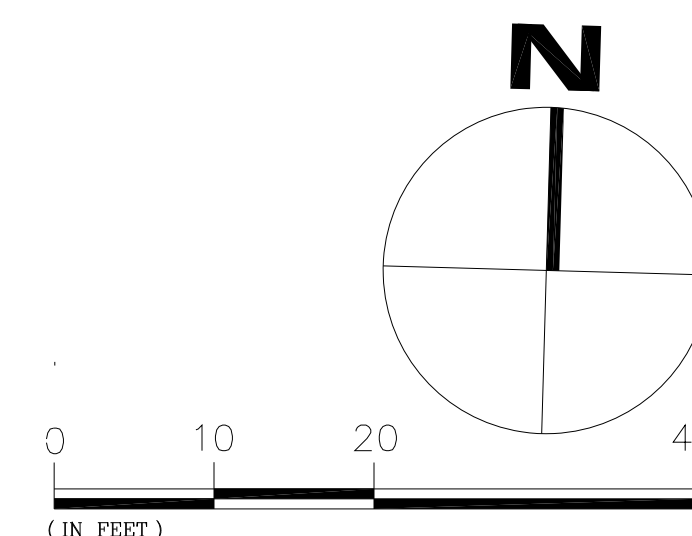
50' TOTAL R/W (P)
27.20' ± ASPHALT ROAD



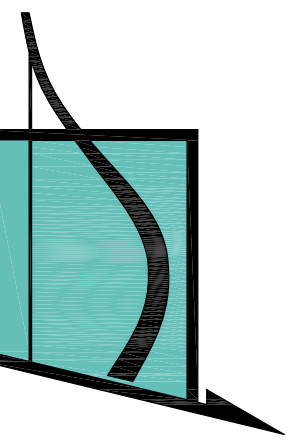
PARKING CALCULATION:

TOTAL 2 BEDROOM APARTMENTS: 3,
TOTAL 1 BEDROOM APARTMENTS: 12,
PARKING REQUIRED:
TOTAL PARKING PROVIDED:

3*1.5 = 5 SPACES
12*1 = 12 SPACES
12 + 5 + 1 GUEST (1HD) = 18 SPACES
17 REG + 1 HD = 18 SPACES



PARKING PLAN



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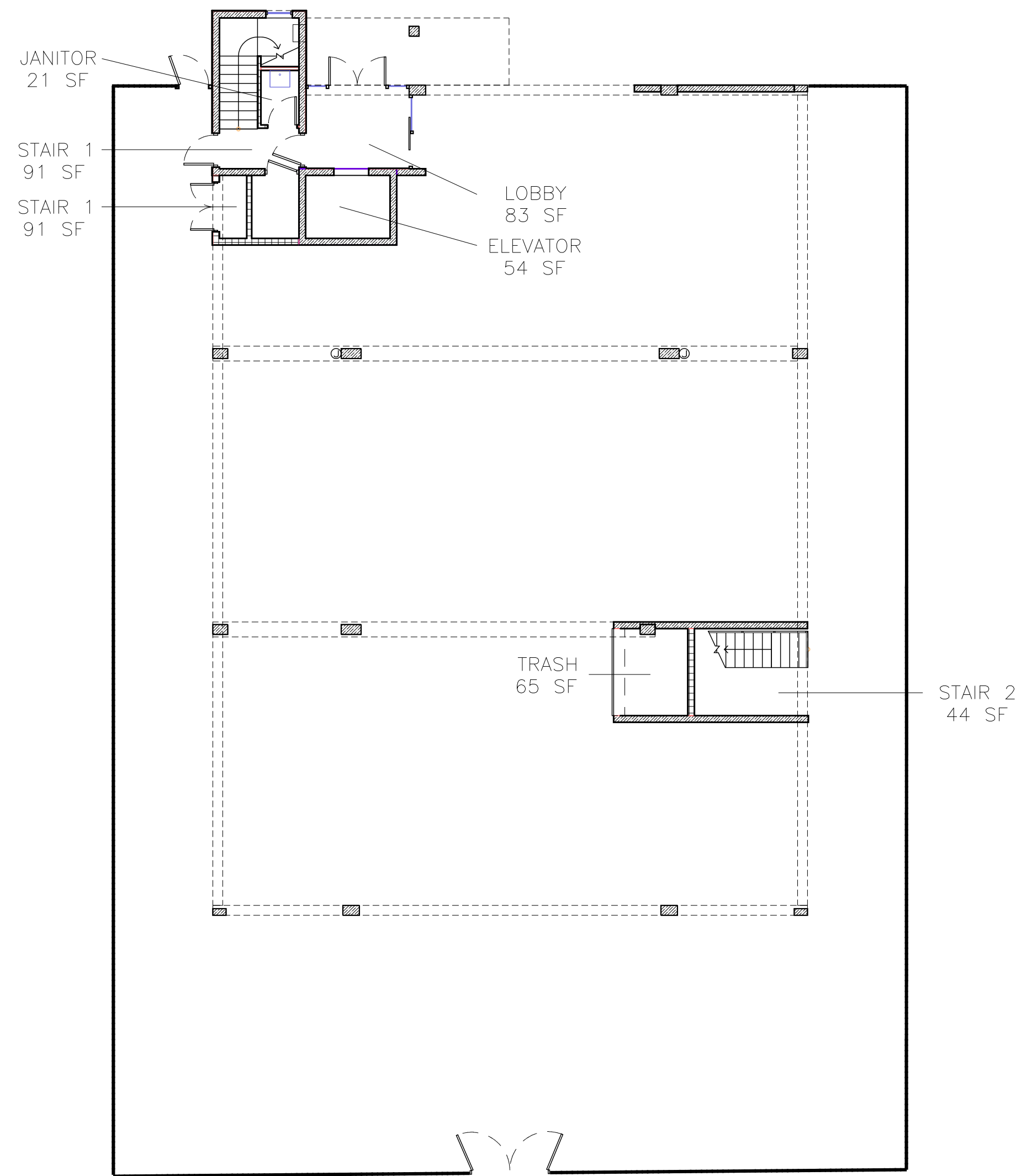
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PROJECT NO.
DRAWN BY: S.K.
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DATE 02/02/2023

A-1.3

Parking Plan

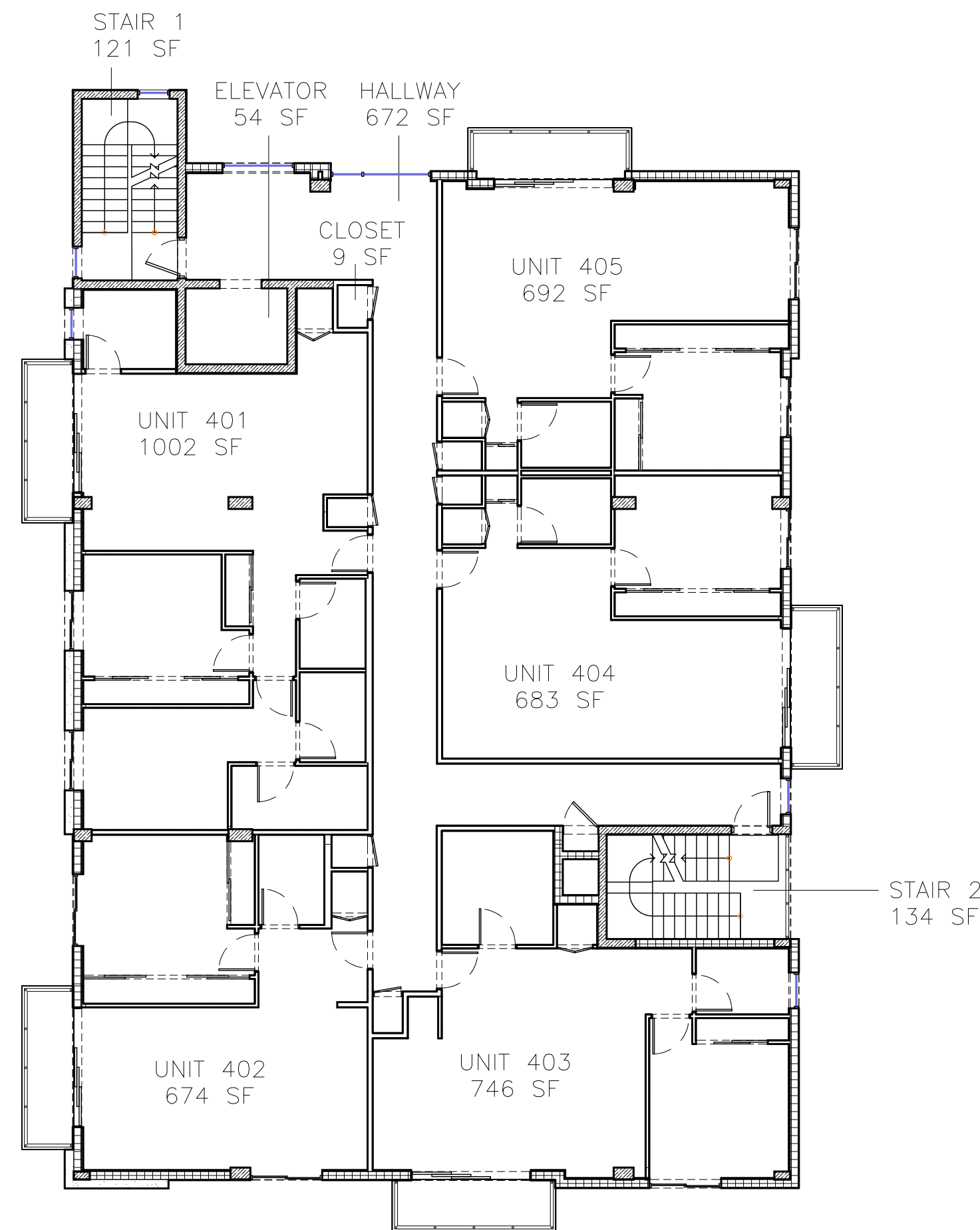
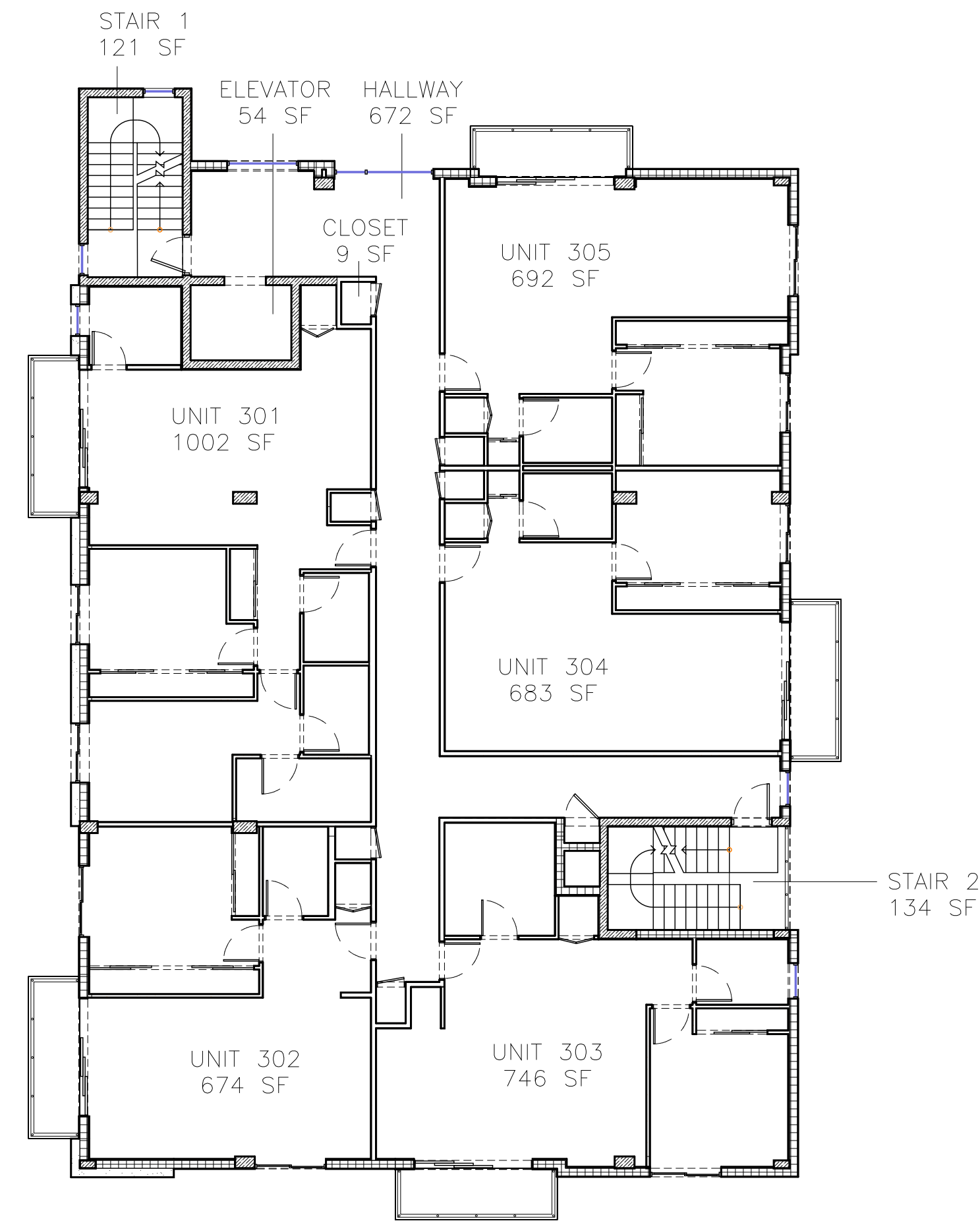
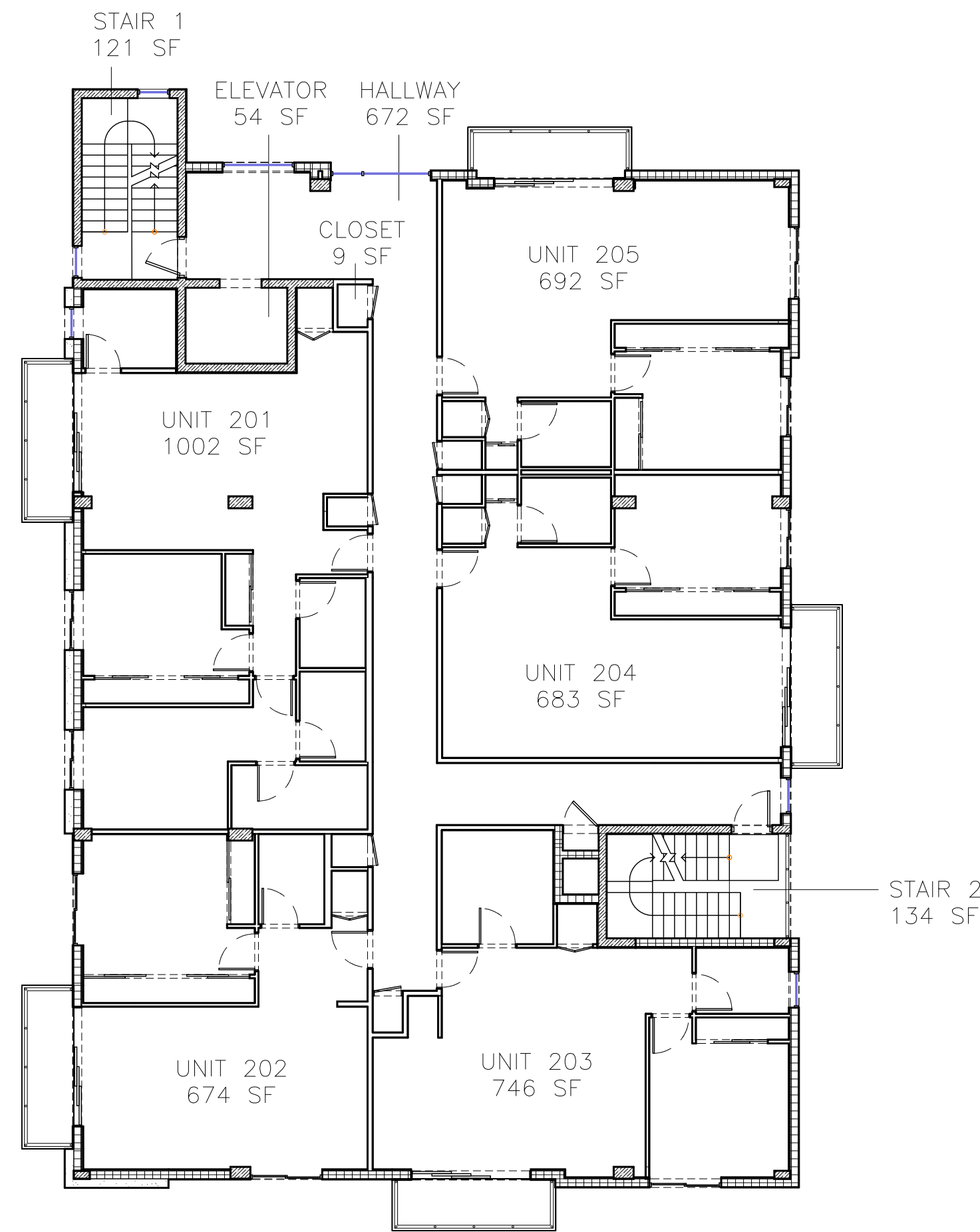
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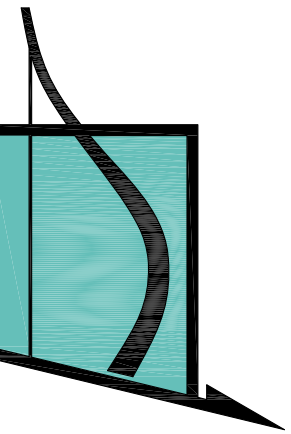
	SPACE	AREA		FAR AREA
		AC	NON AC	
1ST FL	LOBBY	83		296
	ELEVATOR	54		
	STAIR 1 (INNER)		91	
	JANITOR CLOSET		21	
	ELECTRICAL		30	
	PUMP ROOM		17	
	TRASH ROOM		65	
2ND FL	STAIR 2 (EXTERIOR)		44	4653
	UNITS	3797		
	HALLWAY		672	
	ELEVATOR		54	
	STAIR 1 (INNER)		121	
	CLOSET		9	
	STAIR 2 (EXTERIOR)		134	
3RD FL	BALCONIES		295	4653
	UNITS	3797		
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4TH FL	BALCONIES		295	4653
	UNITS	3797		
	HALLWAY		672	
	ELEVATOR		54	
	STAIR 1 (INNER)		121	
	CLOSET		9	
	STAIR 2 (EXTERIOR)		134	
TOTAL FAR AREA				14255

F.A.R.

GROUND FLOOR	296 SF
2ND FLOOR	4,653 SF
3RD FLOOR	4,653 SF
4TH FLOOR	4,653 SF
TOTAL F.A.R.	14,255 SF



F.A.R. CALCULATION



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PROPOSED MULTIFAMILY BUILDING

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Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
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LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

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A-1.4

F.A.R. Calculation

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COLORED SITE PLAN

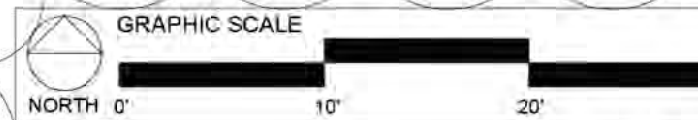
- EXISTING PALM TO REMAIN
- NEW TREE
- NEW PALM
- TREE NUMBER
- TREE PROTECTION FENCE

LANDSCAPE CALCULATIONS - 1926 JOHNSON ST HOLLYWOOD		
SITE AREA DATA:		
Parkside Low Intensity Multi-Family District Use	ND-2	
	SF	ACRES
NET LOT AREA	9,970	0.23
	REQUIRED	PROVIDED
PROJECT DATA:		
MIN. OPEN SPACE (20%)	20%	27%
GENERAL LANDSCAPE REQUIREMENTS		
PERIMETER LANDSCAPE - STREET TREE (100 Lf of street frontage)		
80 Lf of street frontage at 1 tree per 30 Lf =	3	3
Five Foot landscape buffer - 1 tree per 20 Lf =	16	16
V.U.A LANDSCAPE		
V.U.A terminal landscape island- 1 tree each	2	2
OPEN SPACE LANDSCAPE		
1 tree per 1,000 sf of pervious area	3	5
NATIVE TREES	60%	100%
NATIVE SHRUBS	50%	100%

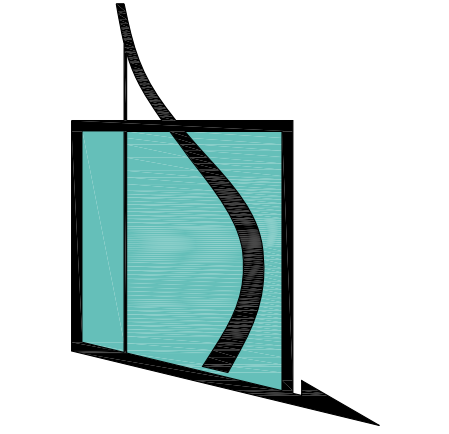
TREE MITIGATION TABLE - LIST OF TREES TO BE MITIGATED			
TREE #	BOTANICAL NAME	COMMON NAME	DBH
4	Quercus virginiana	Live Oak	15.5"
9	Persea americana	Avocado Tree	12"
10	Mangifera indica	Mango tree	18"
14	Mangifera indica	Mango tree	10.5"
17	Mangifera indica	Mango tree	20"
Total tree DBH to be mitigated			76" D.B.H
PALM #	BOTANICAL NAME	COMMON NAME	
2	Veitchia montgomeryana	Montgomery Palm	
3	Roystonea regia	Royal Palm	
5	Adonidia merrillii	Christmas Palm	
6	Adonidia merrillii	Christmas Palm	
8	Archontophoenix alexandrae	Alexander Palm	
12	Adonidia merrillii	Christmas Palm	
13	Adonidia merrillii	Christmas Palm	
Total Palms to be mitigated			7
NEW TREES TO MITIGATE			
2	Conocarpus erectus 'Sericeus'	Silver Buttonwood	14' ht. Std. 3" DBH x 6' Sprd. 6' CT
Total new tree DBH to mitigate removed trees/palms			6" DBH
MITIGATION SHORTFALL			42 TREES = (70/2) TREES +7 PALMS
Note: Tree mitigation shortfall to be addressed by a monetary contribution to the city's tree trust fund by the property owner. 42 trees (35+7) @ \$350 each = \$14,700			

QT	code	species	common name	drought tolerance	native	specifications	container size	spacing
TREES								
3	CO	Coccoloba diversifolia	Pigeon Plum	High	yes	14' ht. Std. 3" DBH x 6' Sprd. 6' CT	FG	as shown
7	CS	Conocarpus erectus 'Sericeus'	Silver Buttonwood	High	yes	14' ht. Std. 3" DBH x 6' Sprd. 6' CT	FG	as shown
5	IC	Ilex cassine	Dahoon Holly	High	yes	14' ht. Std. 3" DBH x 6' Sprd. 6' CT	FG	as shown
3	LA	Lagerstroemia 'Natchez'	Natchez Crape Myrtle	High	no	14' ht. Std. 3.5" DBH. 6' Sprd. 6.5' CT	FG	as shown
5	QV	Quercus virginiana	Live Oak	High	yes	14' ht. Std. 3.5" DBH. 7' Sprd. 6' CT	FG	as shown
PALMS								
9	PTX	Ptychosperma elegans	Alexander Palm	Medium	no	14' O.A. 8' CT. Heavy/ Doble trunk	FG	as shown
SHRUBS, GROUNDCOVERS & VINES								
46	CAP	Capparis cynophallophora	Jamaican Caper	High	yes	18" ht x 18" spr.	3 Gal.	24" O.C.
150	CHR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	Medium	yes	30" O.A.	7 Gal.	30" O.C.
44	DII	Dietes iridioides	African Iris	Medium	no	18" O.A./ Full Clump	1 Gal.	24" O.C.
33	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	High	no	18" O.A.	7 Gal.	24" O.C.
35	HAM	Hamelia nodosa	Dwarf Firebush	Medium	yes	30" ht x 24" spr.	7 Gal.	36" O.C.
10	MUH	Muhlenbergia capillaris	Pink Muhly Grass	High	yes	30" O.A./ Full Clump	3 Gal.	30" O.C.
227	TRA	Trachelospermum asiaticum	Asiatic Jasmine	High	no	10" O.A. Full	1 Gal.	15" O.C.
45	TRF	Tripsacum floridanum	Dwarf Fakahatchee Grass	Medium	yes	24" O.A./ Full Clump	3 Gal.	30" O.C.
SOD								
630	SOD	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggered Panels		
130	SOD-R	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggered Panels		

- NOTES:
- REQUIRED SCREENING HEDGES SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS VISUAL SCREEN.
 - IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
 - ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES OR UTILITY EASEMENT. SEE DETAIL #4 ON SHEET L-03.
 - REQUIRED TREES SHALL BE A MINIMUM OF TWELVE (12) FEET IN HEIGHT WITH A TWO (2) INCH DBH AT PLANTING.
 - WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN 2 FEET AND 6.5 FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.
 - TREES IN THE SWALE AREA MUST HAVE AT LEAST A 6.5 FOOT CLEARANCE ABOVE GRADE AT ALL TIMES
 - 3" OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN ALL LANDSCAPE AREAS COVERED BY TREES, SHRUBS AND GROUNDCOVERS.



Sunshine State
One Call
811
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Call before you dig.



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1926 JOHNSON ST
Hollywood, FL 33020

- REVISIONS:
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| | |
- SCHEMATIC DESIGN ☐
CLIENT APPROVAL ☐
LANDLORD APPROVAL ☐
BIDDING ☐
PERMIT SET ☐
FOR CONSTRUCTION ☐
OWNER REQUESTED REVISION ☐

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE AS SHOWN
PROJECT NO.
DRAWN BY: S.K.
CHECKED BY: A.B.
DATE 02/02/2023

A-1.5
Colored Site Plan



1926 Johnson St, Hollywood, FL 33020



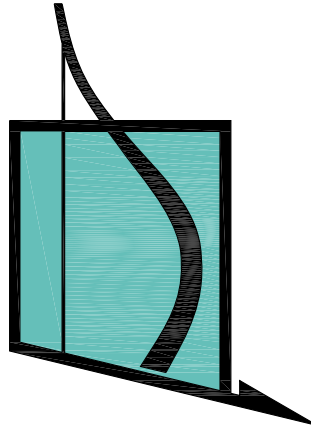
1926 Johnson St, Hollywood, FL 33020



1926 Johnson St, Hollywood, FL 33020



1926 Johnson St, Hollywood, FL 33020



VINCI
ENGINEERS

K-2 design, Inc
17070 Collins Ave #255
Sunny Isles, FL 33160
Phone: 786.607.3797
Fax: 954.212.0164
contact@vinciengineers.com
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/02/2023

A-1.6

Subject property

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East – 1918 Johnson St, Hollywood, FL 33020




West – 1928 Johnson St, Hollywood, FL 33020



North – 1919 Johnson St, Hollywood, FL 33020



North – 1921 Johnson St, Hollywood, FL 33020



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

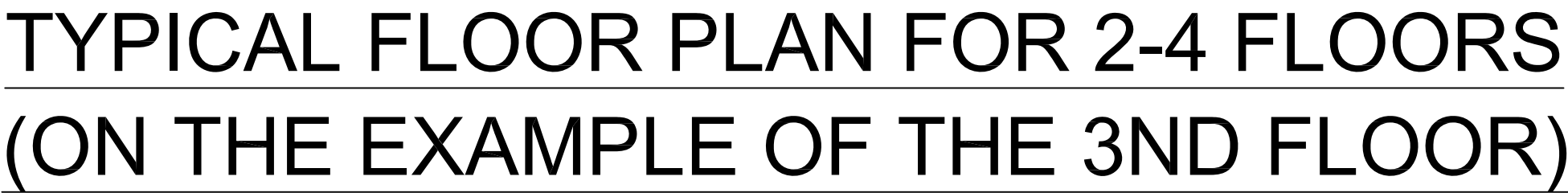
ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	08/02/2023

A-1.7

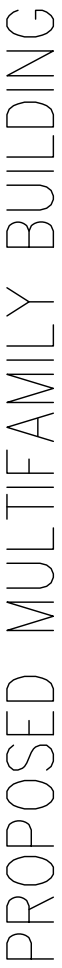
Surrounding properties

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NOTES:

1. ALL KITCHENS TO HAVE CABINET FOR RECYCLING BIN
2. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL
3. ALL THE DOORS TO THE STAIRS WILL HAVE SIZEABLE WINDOWS
4. EXTERIOR DOORS NOT USED AS DESIGNATED ENTRY POINTS, SHOULD BE LOCKED TO PREVENT ENTRY FROM THE EXTERIOR
5. CONVEX MIRRORS SHOULD BE USED IN CORNERS AND IN STAIRWELLS



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1929 JOHNSON ST
HOLLYWOOD, FL 33020

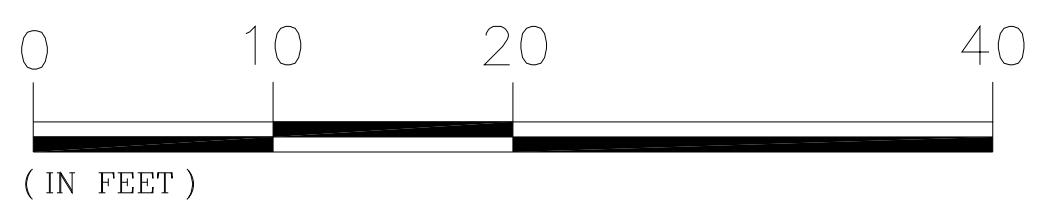
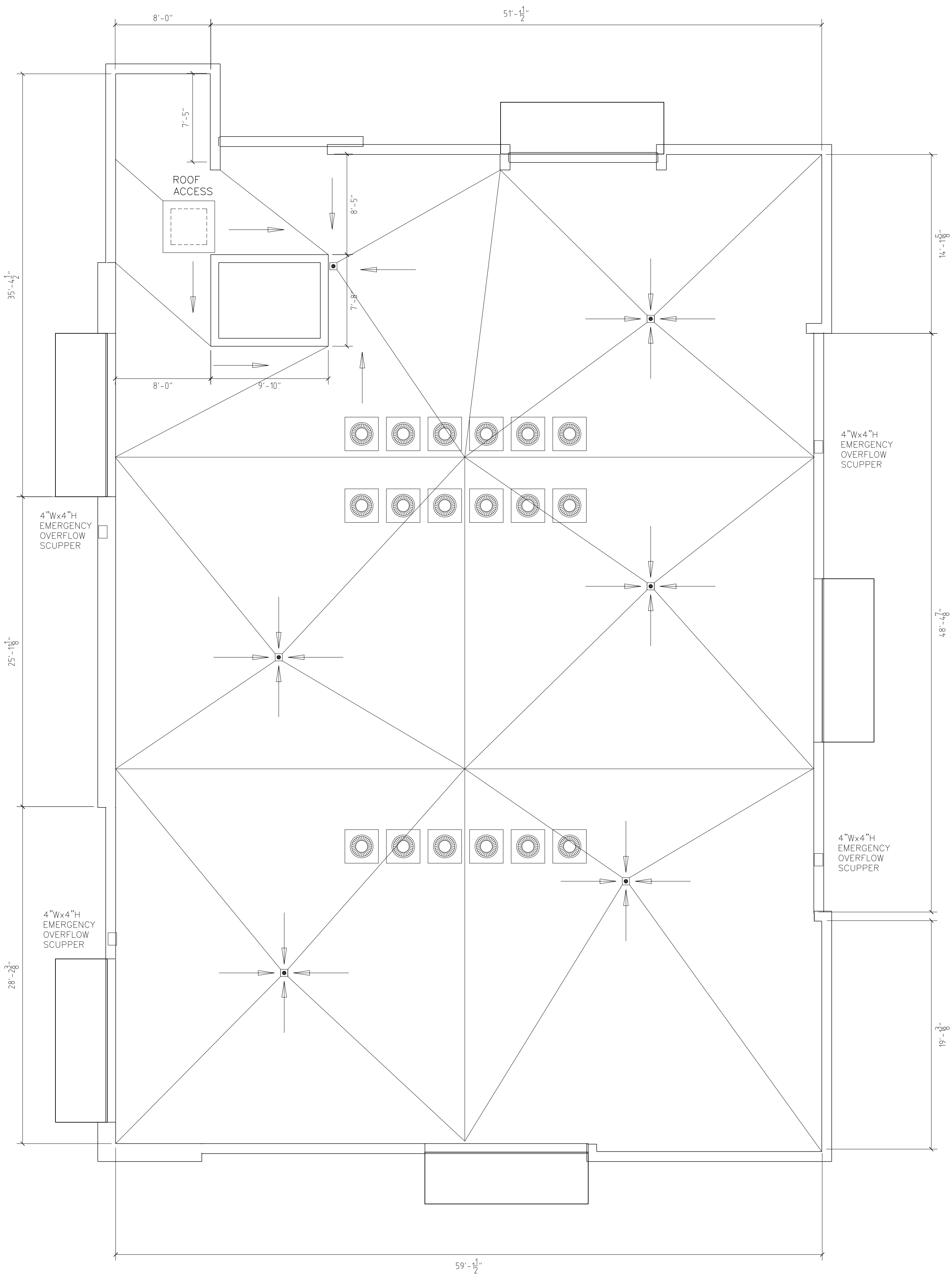
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LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841


SCALE 3/16" = 1'
PROJECT NO.
DRAWN BY: S.K.
CHECKED BY: A.B.
DATE 02/02/2024

A-2.1

Typical Floor Plan



ROOF PLAN
SCALE 3/16" = 1'



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
HOLLYWOOD, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	3/16"=1'-0"
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/02/2023

A-3.0

Roof Plan

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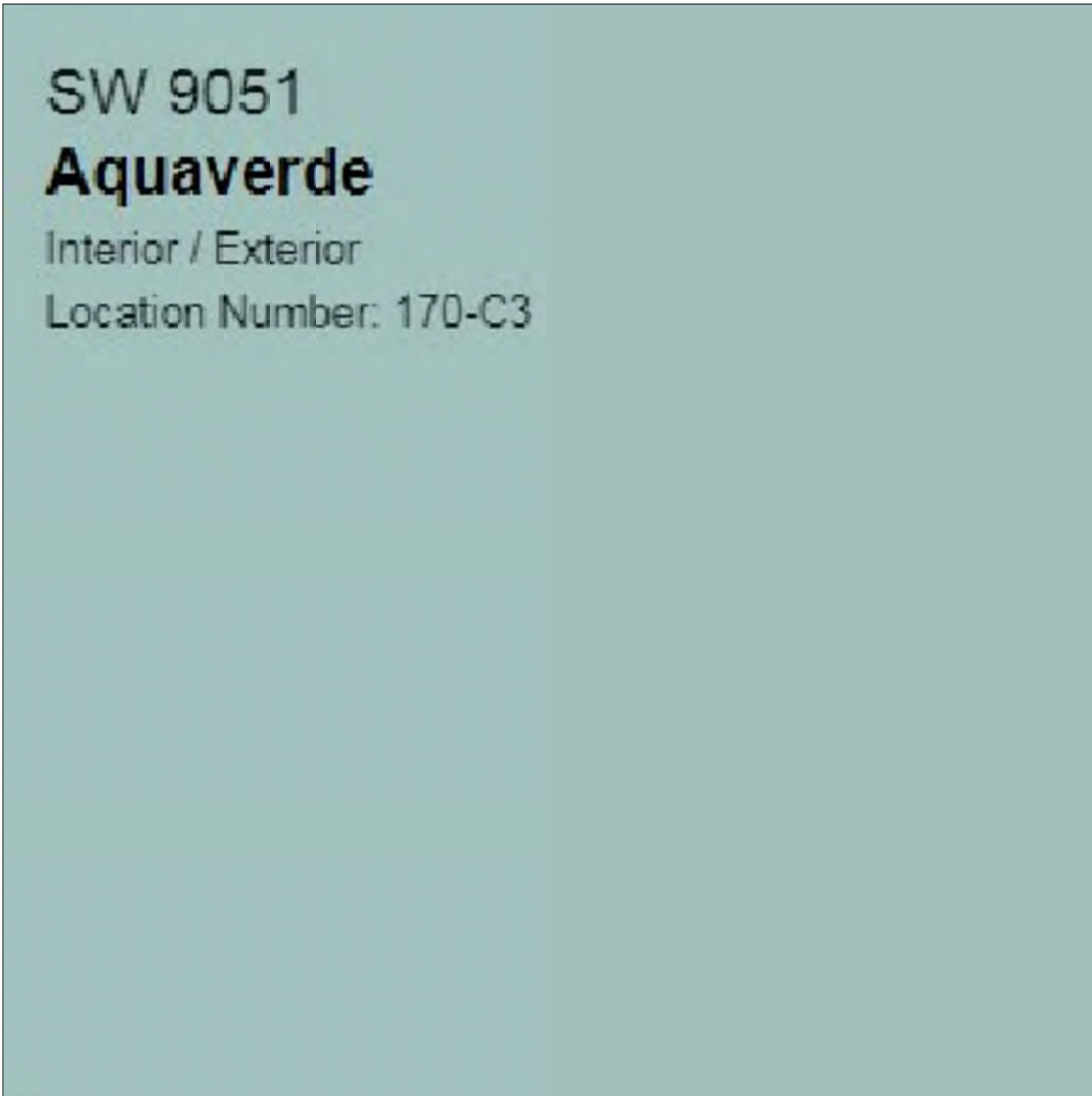
MAIN BUILDING COLOR:
Sherwin Williams SW 7757
High Reflective White



LIGHT GRAY ACCENT COLOR:
Sherwin Williams SW 7661
Reflection



STAIR TOWERS DECORATION:
DALTile, Regent Grove 6 in. x 36 in.
Ash Gray Glazed Porcelain Floor
and Wall Tile



COLOR ACCENT COLOR:
Sherwin Williams SW 9051
Aquaverde



RAILINGS AND FRAMES COLOR:
RAL 7037 Dusty Gray

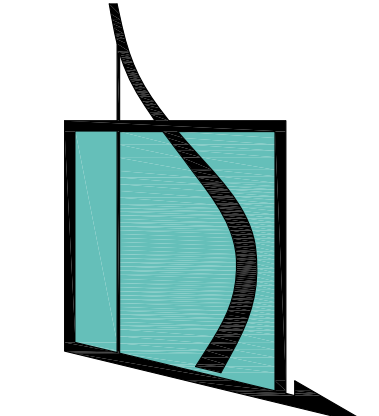


ENTRY DOOR AND FRAMING
STYLE



ALUMINUM RAILINGS STYLE

COLOR SAMPLES



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN

CLIENT APPROVAL

LANDLORD APPROVAL

BIDDING

PERMIT SET

FOR CONSTRUCTION

OWNER REQUESTED REVISION

☐

☐

☐

☐

☐

☐

☐

ALEKSEJ BEREZNOJ

P.E. #74083, COA #29841

SCALE

PROJECT NO.

DRAWN BY:

CHECKED BY:

DATE

AS SHOWN

S.K.

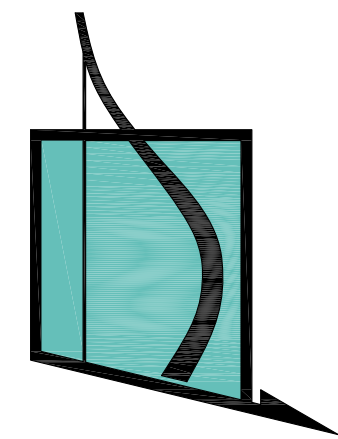
A.B.

02/02/2023

A-4.0

Color Samples

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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/18/2021

A-5.0

Elevation Plan

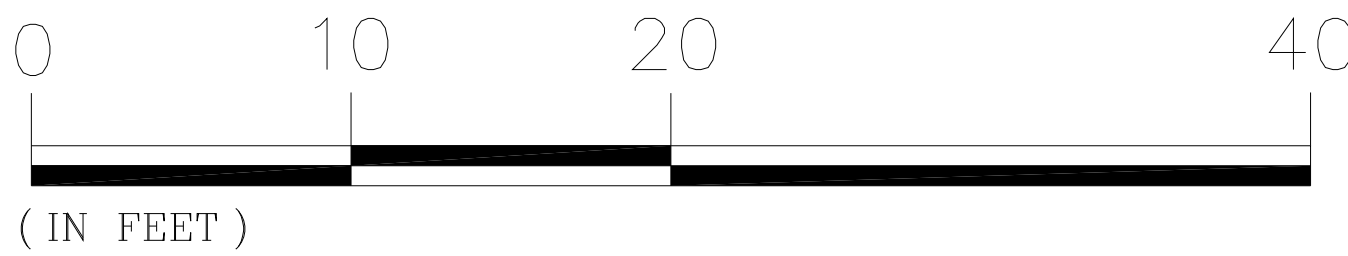


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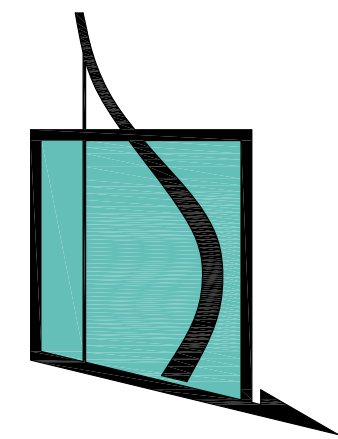
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	STUCCO, SW 7661 REFLECTION		RAILINGS AND FRAMES, RAL 7037 DUSTY GRAY
	STUCCO, SW 9051 AQUAVERDE		ALUMINUM PANELS, RAL 9003 SIGNAL WHITE

NORTH ELEVATION

SCALE 1/4" = 1'



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

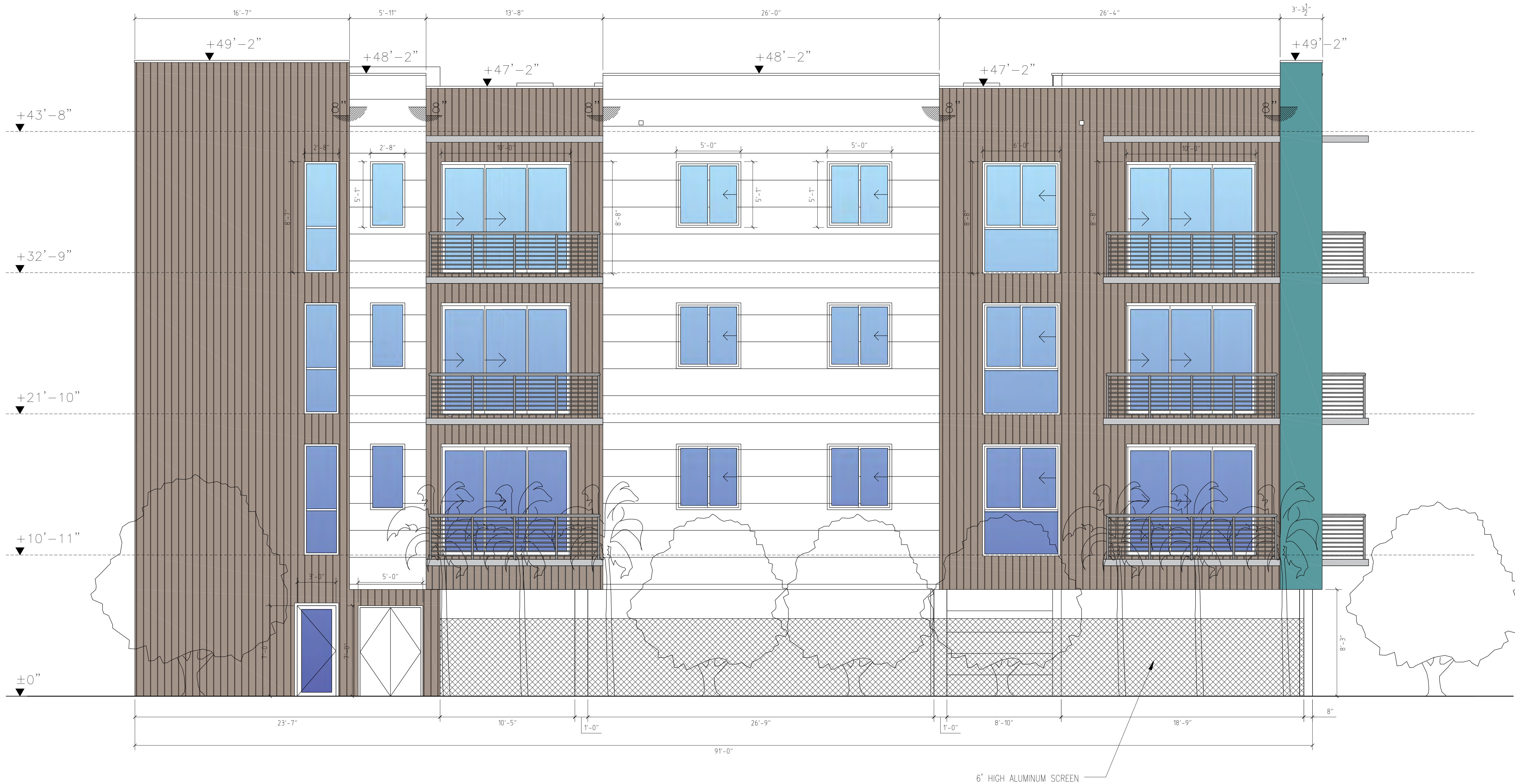
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CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

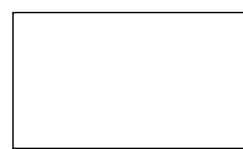
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PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/02/2023

A-6.0

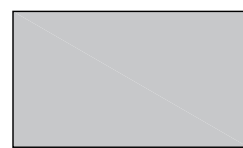
Elevation Plan



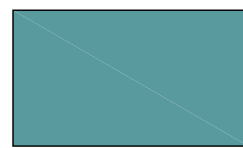
MATERIAL LEGEND



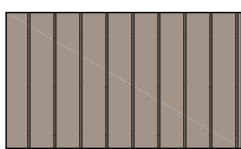
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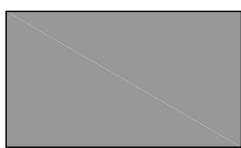
STUCCO, SW 7661 REFLECTION



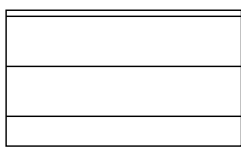
STUCCO, SW 9051 AQUAVERDE



DALTILE REGENT GROVE 6 X 36 IN. ASH GRAY GLAZED PORCELAIN TILE



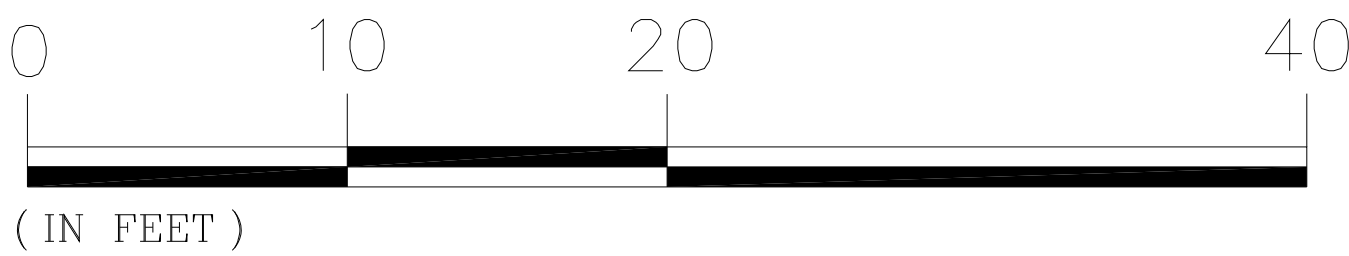
RAILINGS, SCREENS AND FRAMES, RAL 7037 DUSTY GRAY



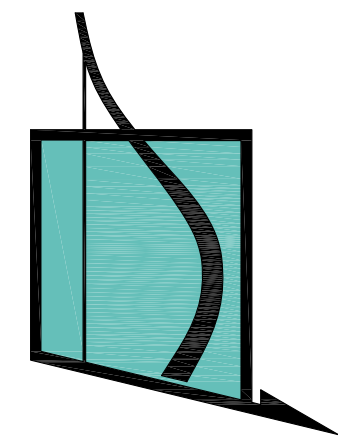
ALUMINUM PANELS, RAL 9003 SIGNAL WHITE

WEST ELEVATION

SCALE 1/4" = 1'



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www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

- | | |
|--------------------------|--------------------------|
| SCHEMATIC DESIGN | <input type="checkbox"/> |
| CLIENT APPROVAL | <input type="checkbox"/> |
| LANDLORD APPROVAL | <input type="checkbox"/> |
| BIDDING | <input type="checkbox"/> |
| PERMIT SET | <input type="checkbox"/> |
| FOR CONSTRUCTION | <input type="checkbox"/> |
| OWNER REQUESTED REVISION | <input type="checkbox"/> |

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/02/2023

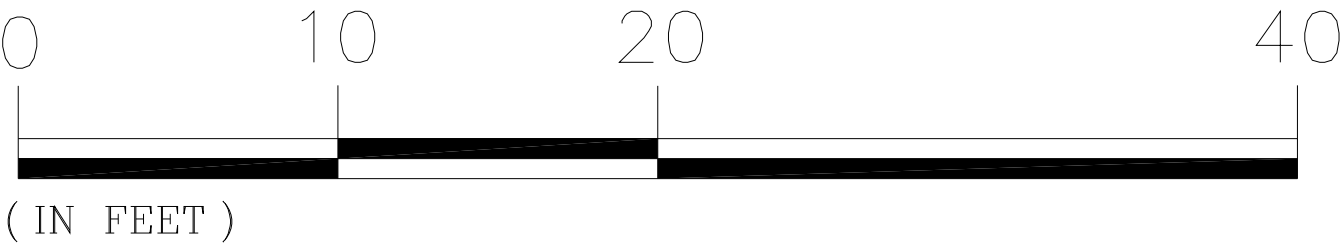
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Elevation Plan



SOUTH ELEVATION

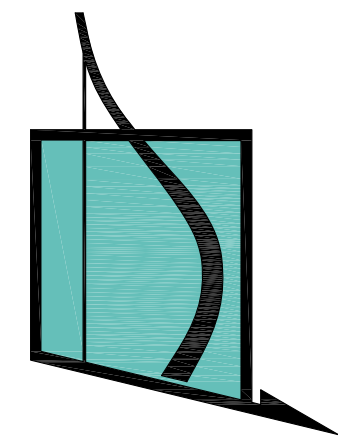
SCALE 1/4" = 1'



MATERIAL LEGEND

	STUCCO, SW 7757 HIGH REFLECTIVE WHITE		DALTILE REGENT GROVE 6 X 36 IN. ASH GRAY GLAZED PORCELAIN TILE
	STUCCO, SW 7661 REFLECTION		RAILINGS AND FRAMES, RAL 7037 DUSTY GRAY
	STUCCO, SW 9051 AQUAVERDE		ALUMINUM PANELS, RAL 9003 SIGNAL WHITE

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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/02/2023

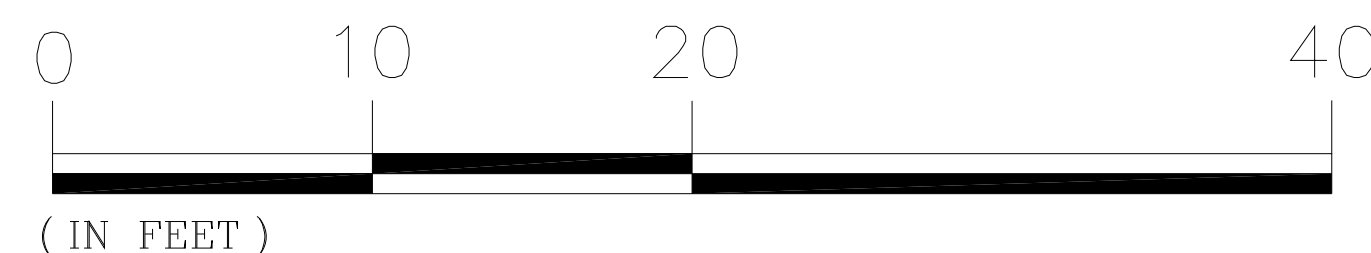
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Elevation Plan



EAST ELEVATION

SCALE 1/4" = 1'



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RENDERING OF THE PROPOSED BUILDING FROM JOHNSON ST



VINCI
ENGINEERS

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17070 Collins Ave #255
Sunny Isles, FL 33160
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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/02/2023

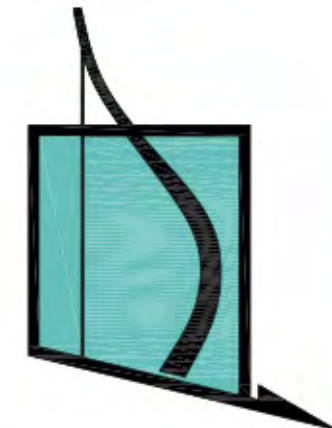
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Rendering

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RENDERING OF THE PROPOSED BUILDING FROM JOHNSON ST



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	10/11/2022

A-9.2

Rendering

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RENDERING OF THE PROPOSED BUILDING FROM JOHNSON ST



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ENGINEERS

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www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	10/11/2022

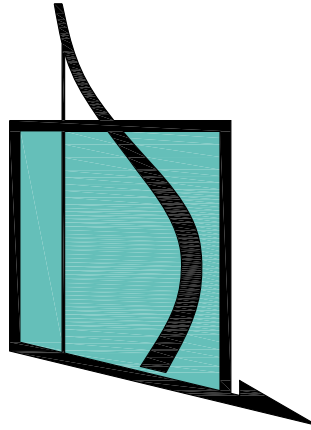
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Rendering

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RENDERING OF THE PROPOSED BUILDING FROM ALLEY



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17070 Collins Ave #255
Sunny Isles, FL 33160
Phone: 786.607.3797
Fax: 954.212.0164
contact@vinciengineers.com
www.vinciengineers.com

PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN	<input type="checkbox"/>
CLIENT APPROVAL	<input type="checkbox"/>
LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE	AS SHOWN
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	10/11/2022


A-9.4

Rendering

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BIRD'S EYE VIEW RENDERING OF THE PROPOSED BUILDING



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN

CLIENT APPROVAL

LANDLORD APPROVAL

BIDDING

PERMIT SET

FOR CONSTRUCTION

OWNER REQUESTED REVISION

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ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE

PROJECT NO.

DRAWN BY:

CHECKED BY:

DATE

AS SHOWN

S.K.

A.B.

10/11/2022


A-9.5

Rendering

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1926 JOHNSON ST
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REVISIONS:

SCHEMATIC DESIGN

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PERMIT SET

FOR CONSTRUCTION

OWNER REQUESTED REVISION

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ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE

PROJECT NO.

DRAWN BY:

CHECKED BY:

DATE

AS SHOWN

S.K.

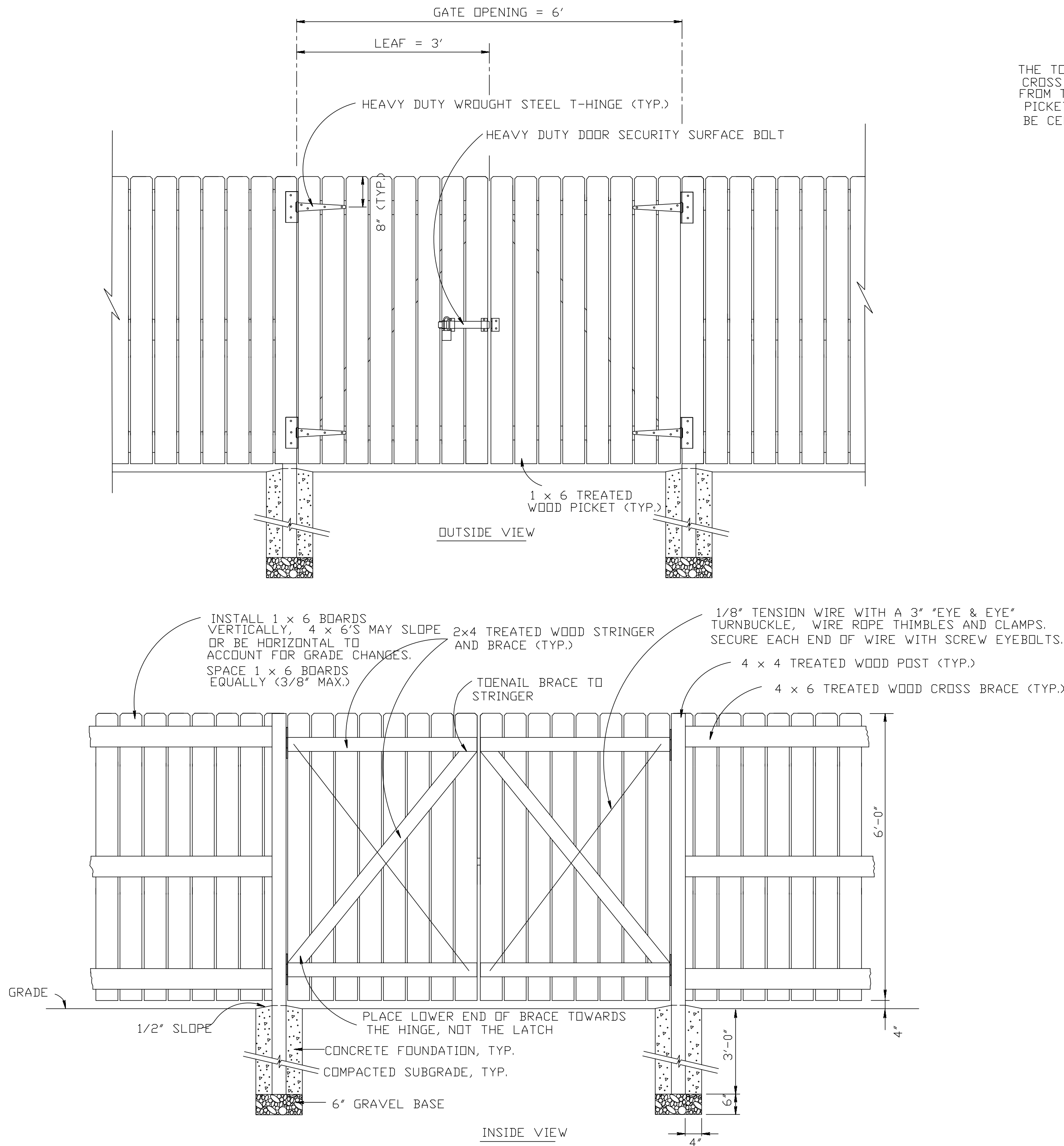
A.B.

10/11/2022

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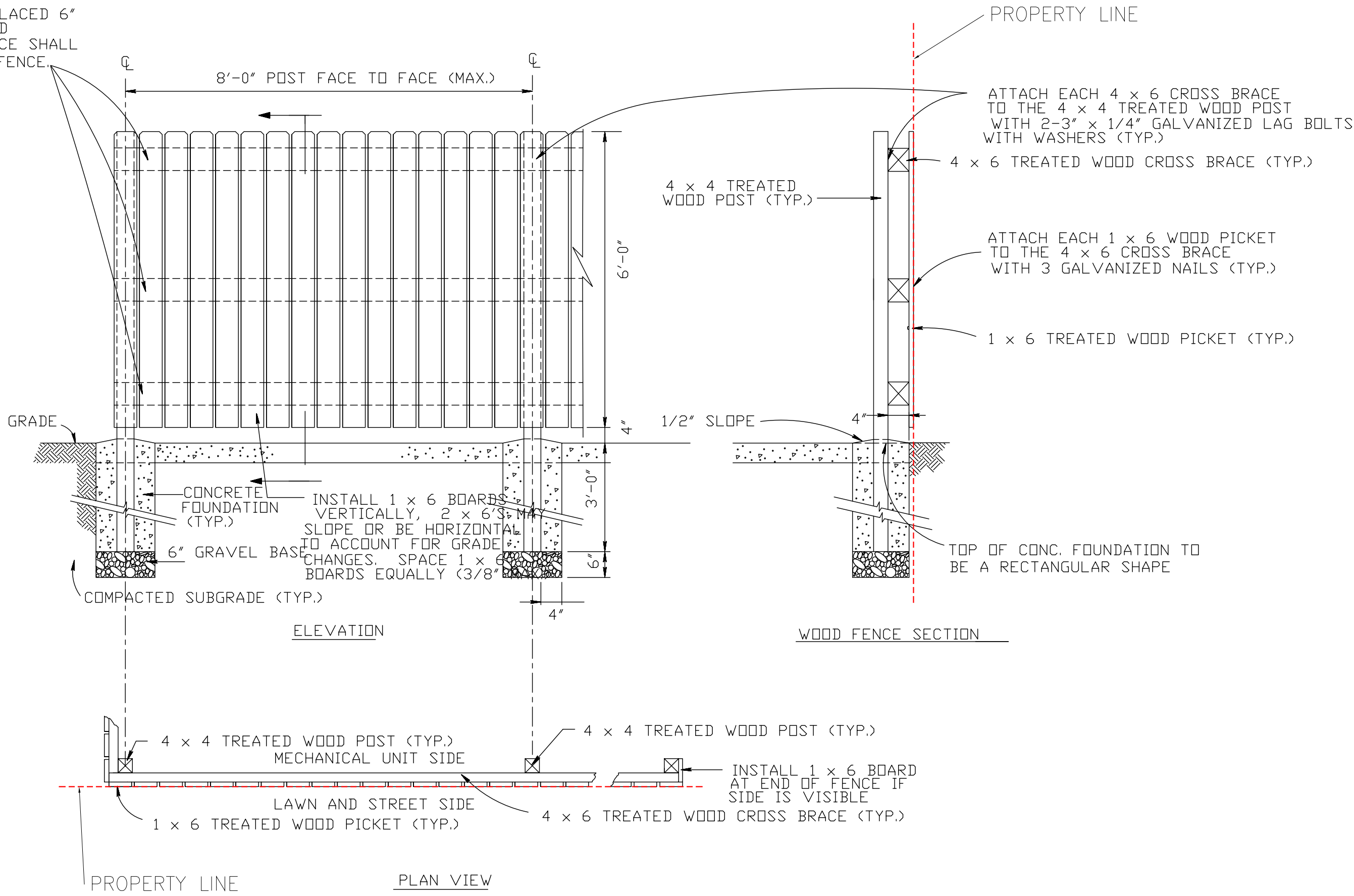
Rendering

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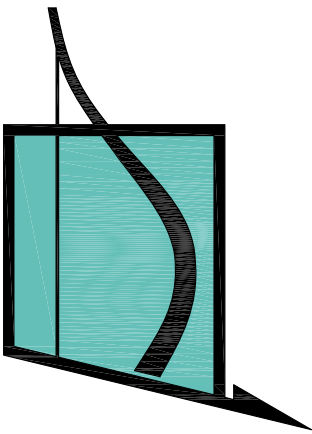


WOOD FENCE GATE DETAILS

THE TOP AND BOTTOM WOOD CROSS BRACES SHALL BE PLACED 6" FROM THE END OF THE WOOD PICKETS. THE MIDDLE BRACE SHALL BE CENTERED WITHIN THE FENCE.



WOOD FENCE DETAILS



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

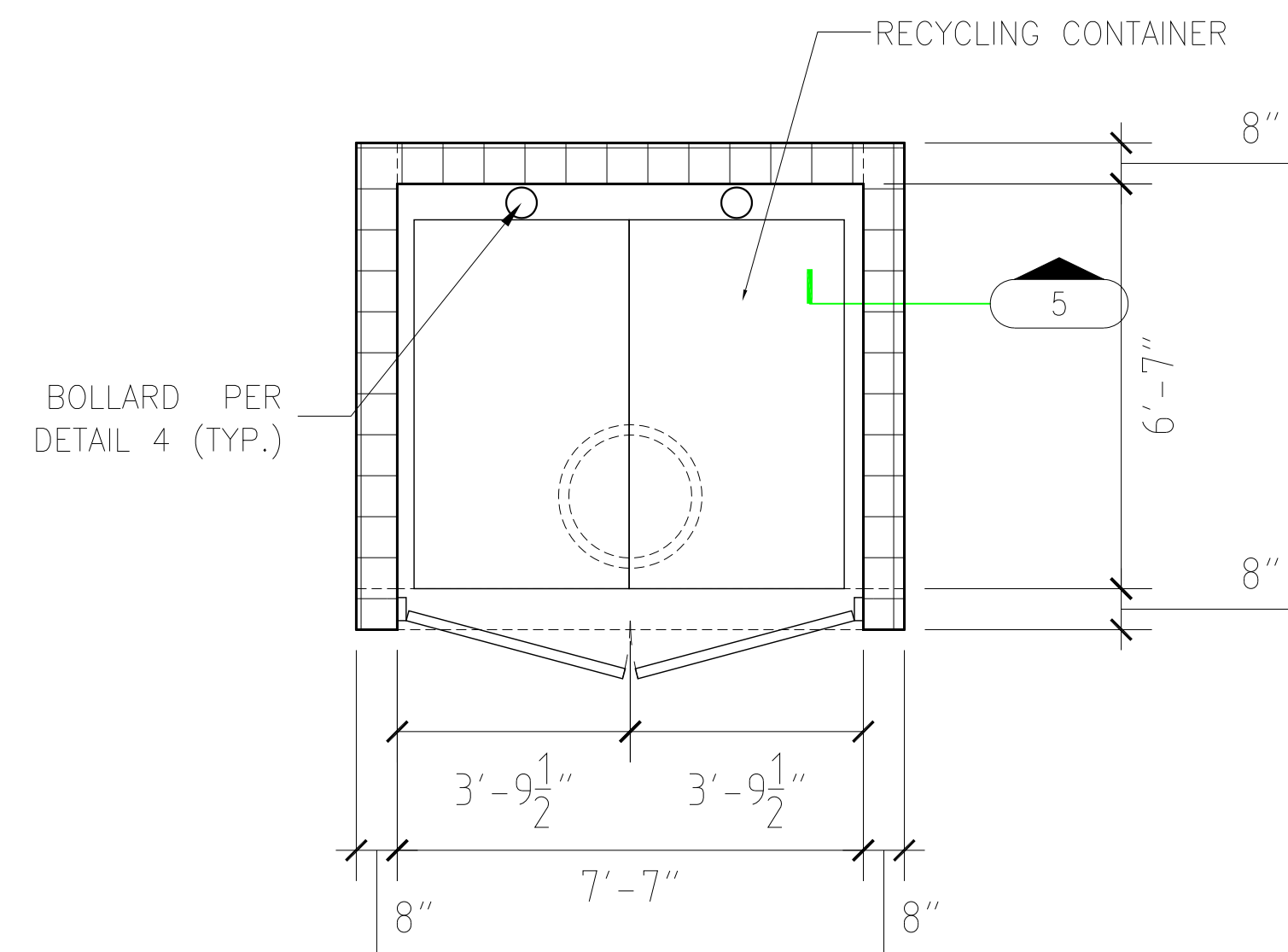
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LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

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P.E. #74083, COA #29841

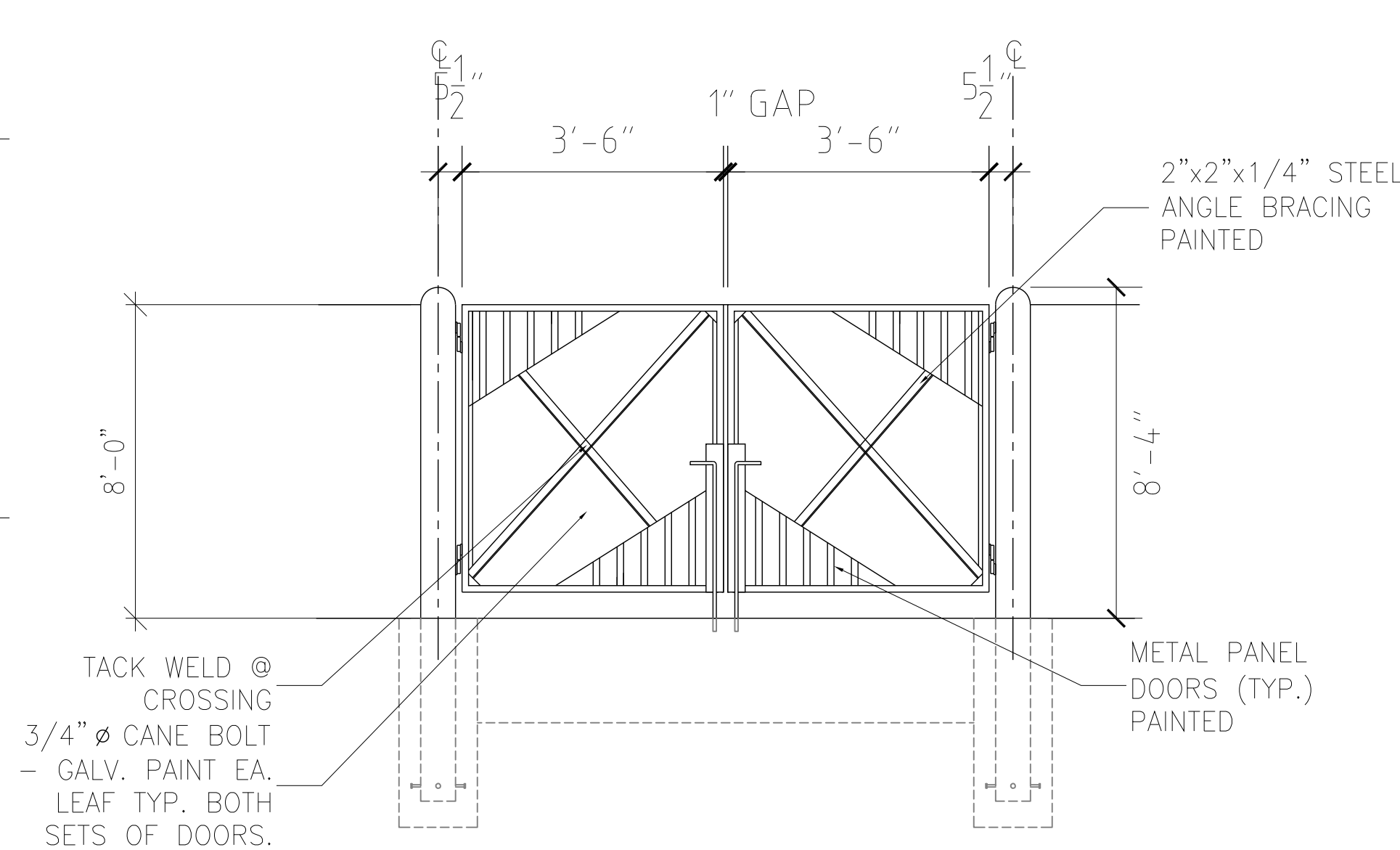
SCALE	1/2" = 1'-0"
PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	12/21/2021

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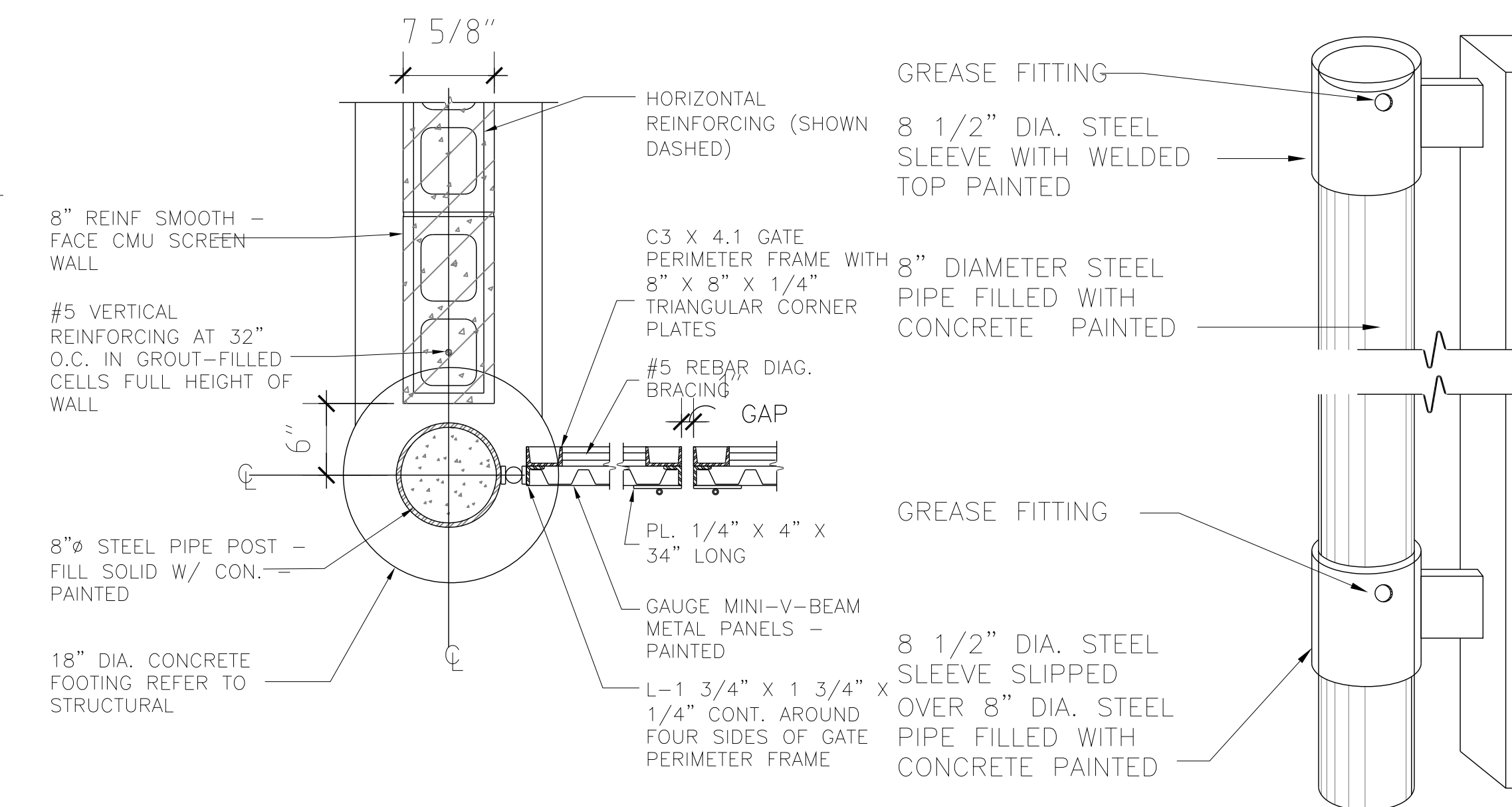
Fence Details



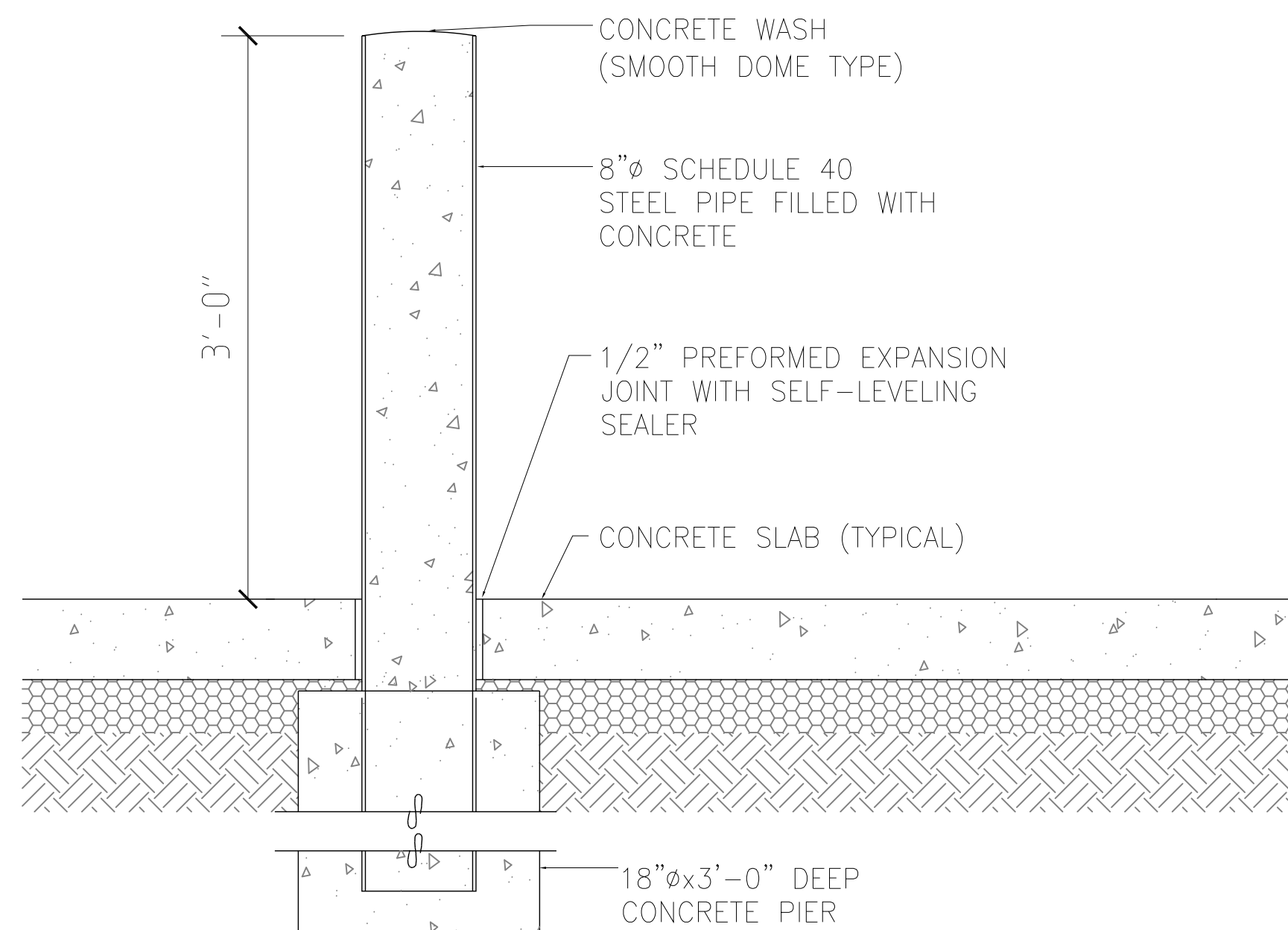
1 DUMPSTER ENCLOSURE PLAN
3/8"=1'-0"



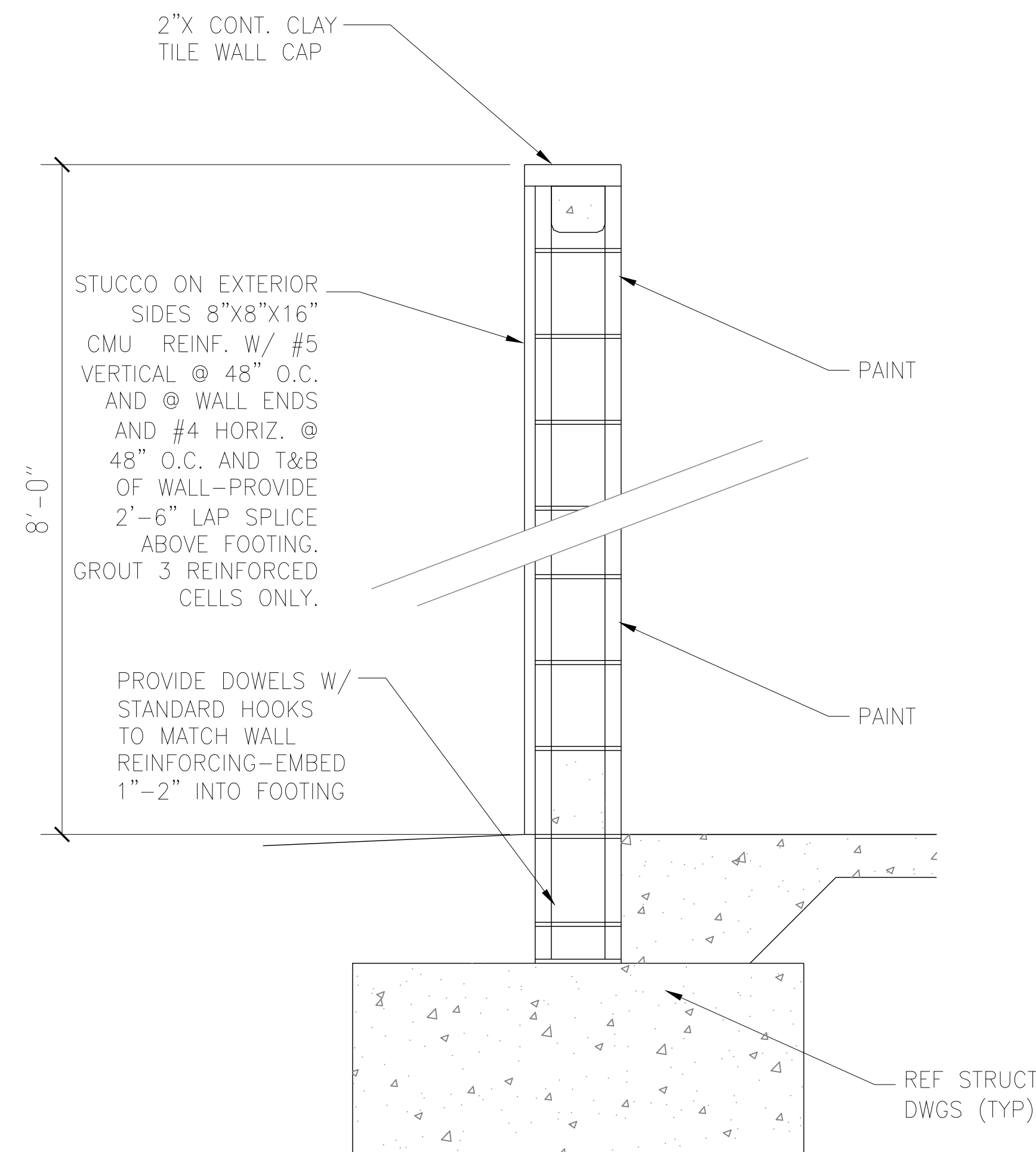
2 DUMPSTER ENCLOSURE ELEVATION
3/8"=1'-0"



3 DUMPSTER ENCLOSURE DETAIL
2/8"=1'-0"



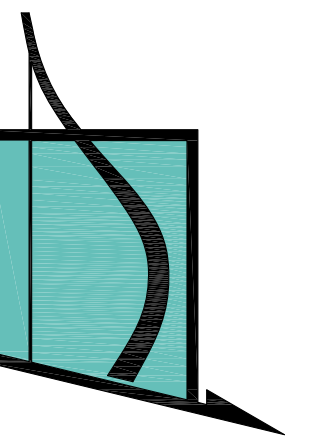
4 DUMPSTER ENCLOSURE BOLLARD DETAIL
1/4"=1'-0"



5 DUMPSTER SCREEN SECTION
1/4"=1'-0"



PROPOSED MAIL BOX WITH FRONT ACCESS
(140055PLA - 20 TENANT DOORS WITH 1 MASTER DOOR AND 1 PARCEL LOCKER - 1400 SERIES USPS 4B+ APPROVED HORIZONTAL REPLACEMENT MAILBOX, 28-1/4" X 33-7/8" X 17")



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

SCHEMATIC DESIGN ☐
CLIENT APPROVAL ☐
LANDLORD APPROVAL ☐
BIDDING ☐
PERMIT SET ☐
FOR CONSTRUCTION ☐
OWNER REQUESTED REVISION ☐

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

SCALE 3/8"=1'-0"
PROJECT NO.
DRAWN BY: S.K.
CHECKED BY: A.B.
DATE 02/18/2021

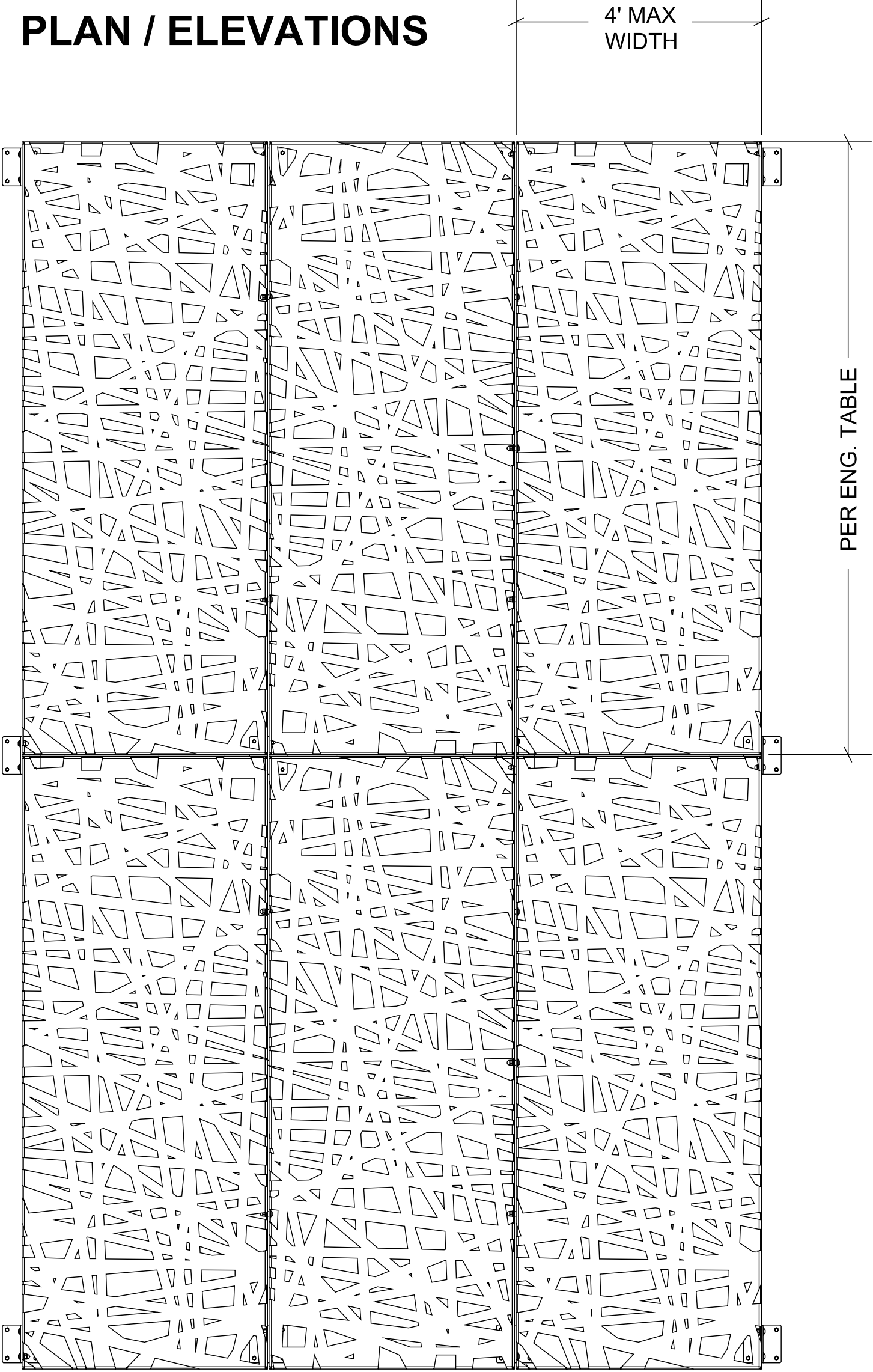
DUMPSTER ENCLOSURE DETAILS AND MAILBOX

A-11.0

Dumpster Enclosure

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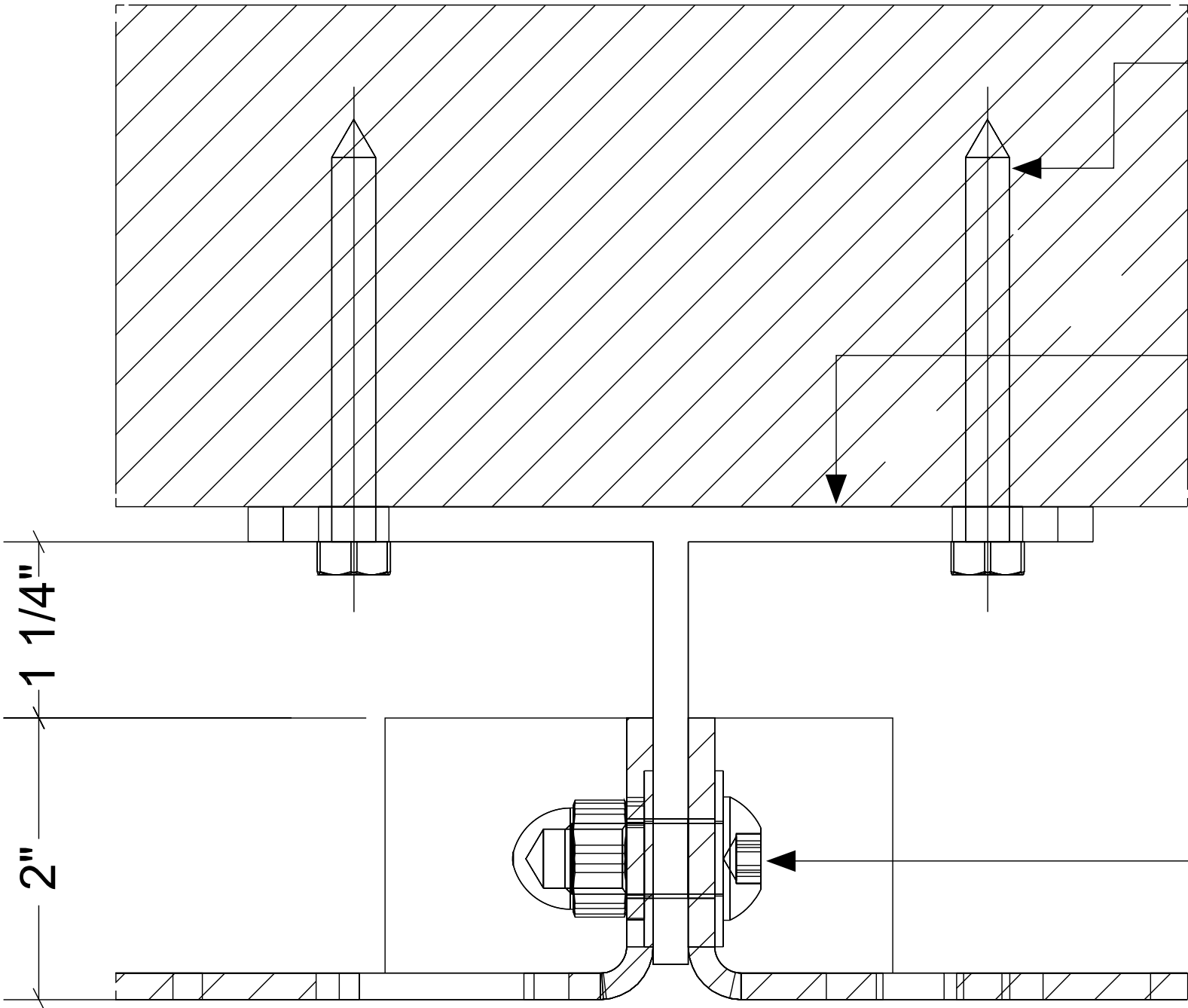
PLAN / ELEVATIONS



FRONT ELEVATION

LEFT SIDE

UPPER PANEL CONECTION : horizontal section

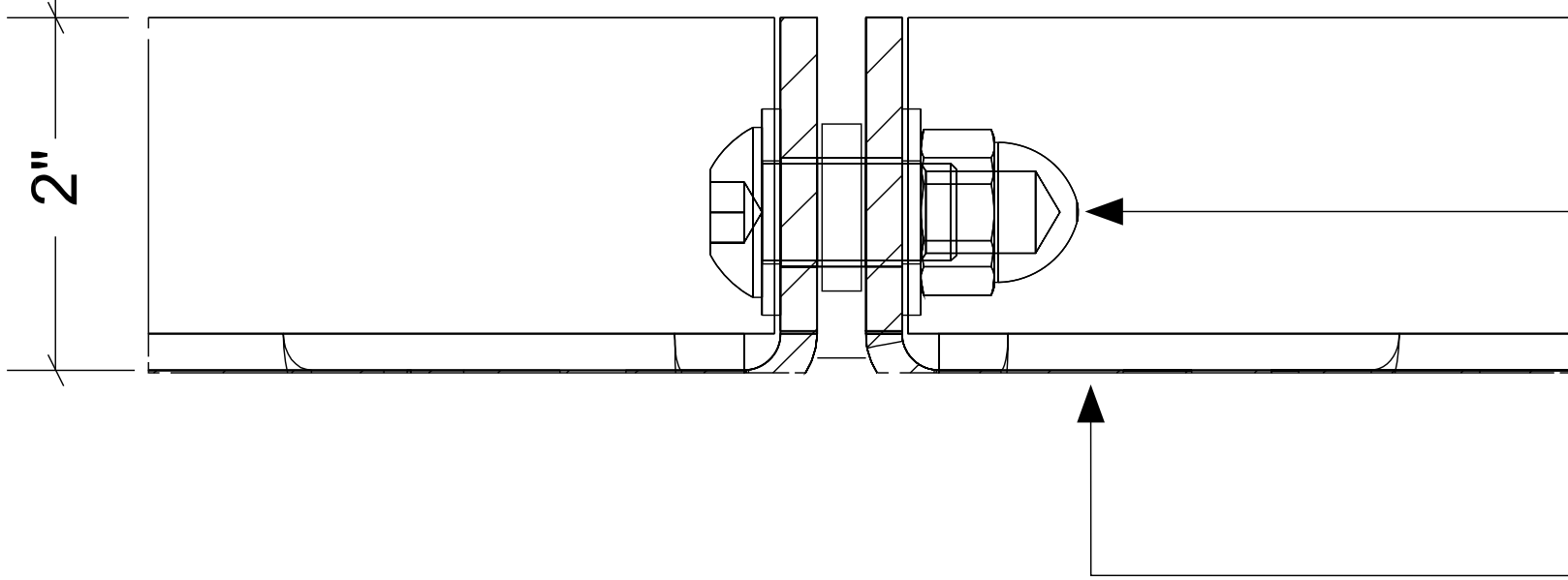
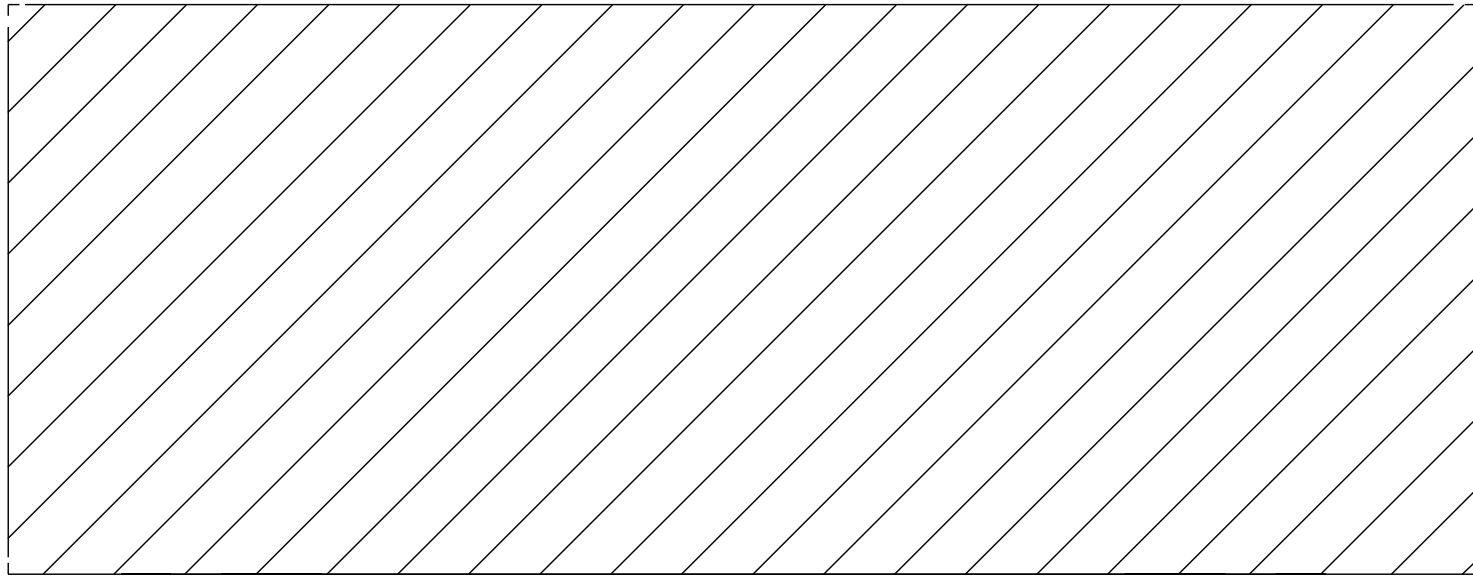


Connection into
substrate beyond by
others

Mounting bracket
by EnFold Facade
or others

1/2" Stainless steel
bolt assembly by
EnFold Facade

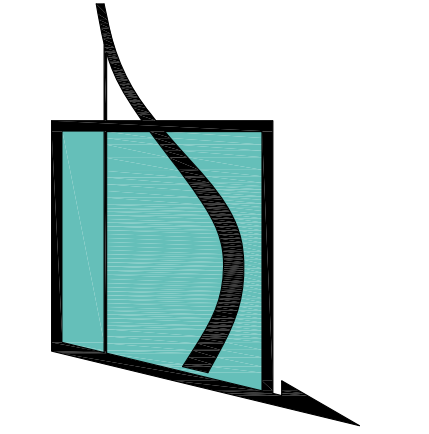
INTERSECTING PANEL : horizontal section



1/2" Stainless steel
bolt assembly with
spacer by EnFold
Facade

Panel system by
EnFold Facade

ALUMINUM SCREEN DETAILS



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PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON ST
Hollywood, FL 33020

REVISIONS:

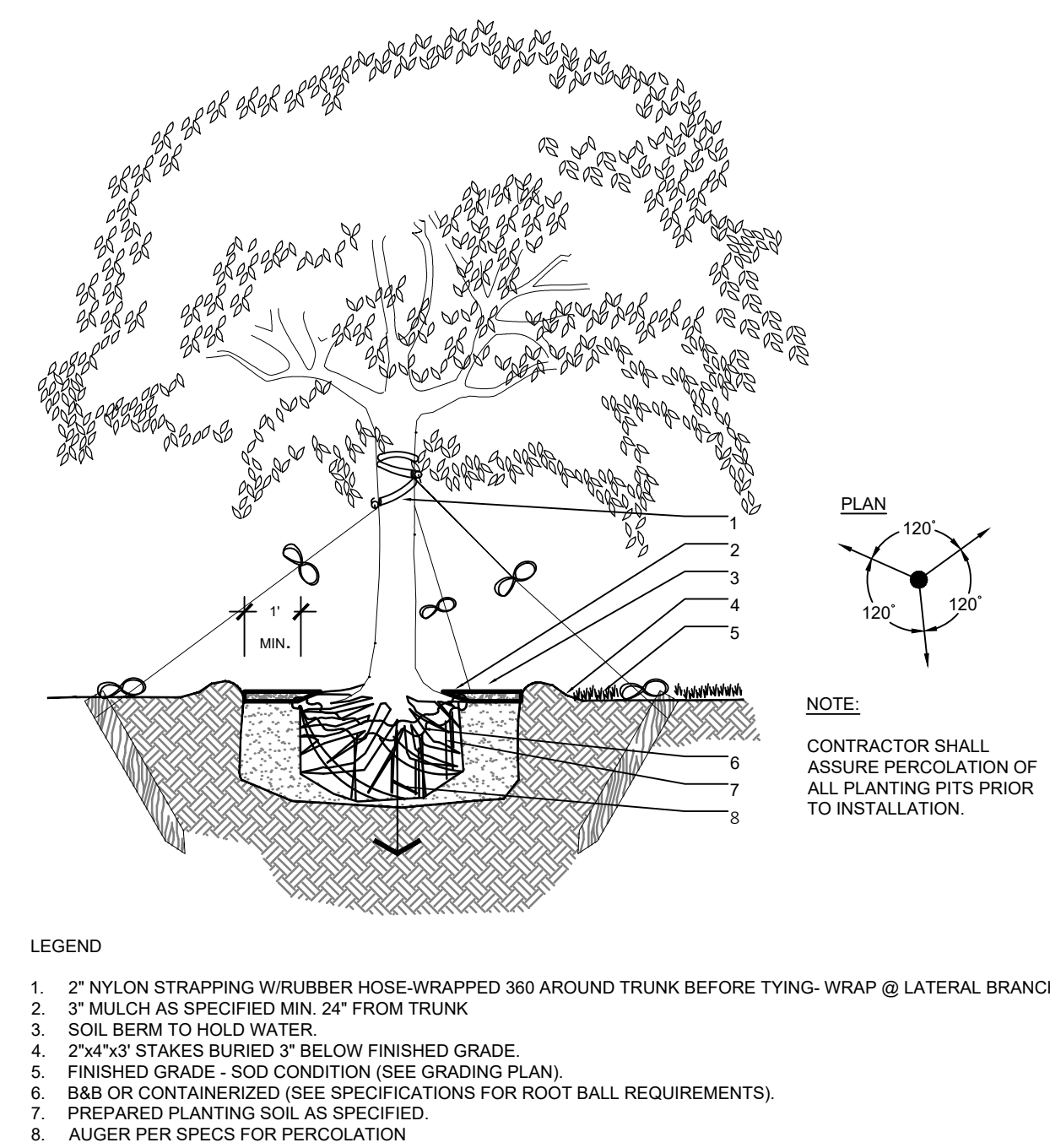
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LANDLORD APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
PERMIT SET	<input type="checkbox"/>
FOR CONSTRUCTION	<input type="checkbox"/>
OWNER REQUESTED REVISION	<input type="checkbox"/>

ALEKSEJ BEREZNOJ
P.E. #74083, COA #29841

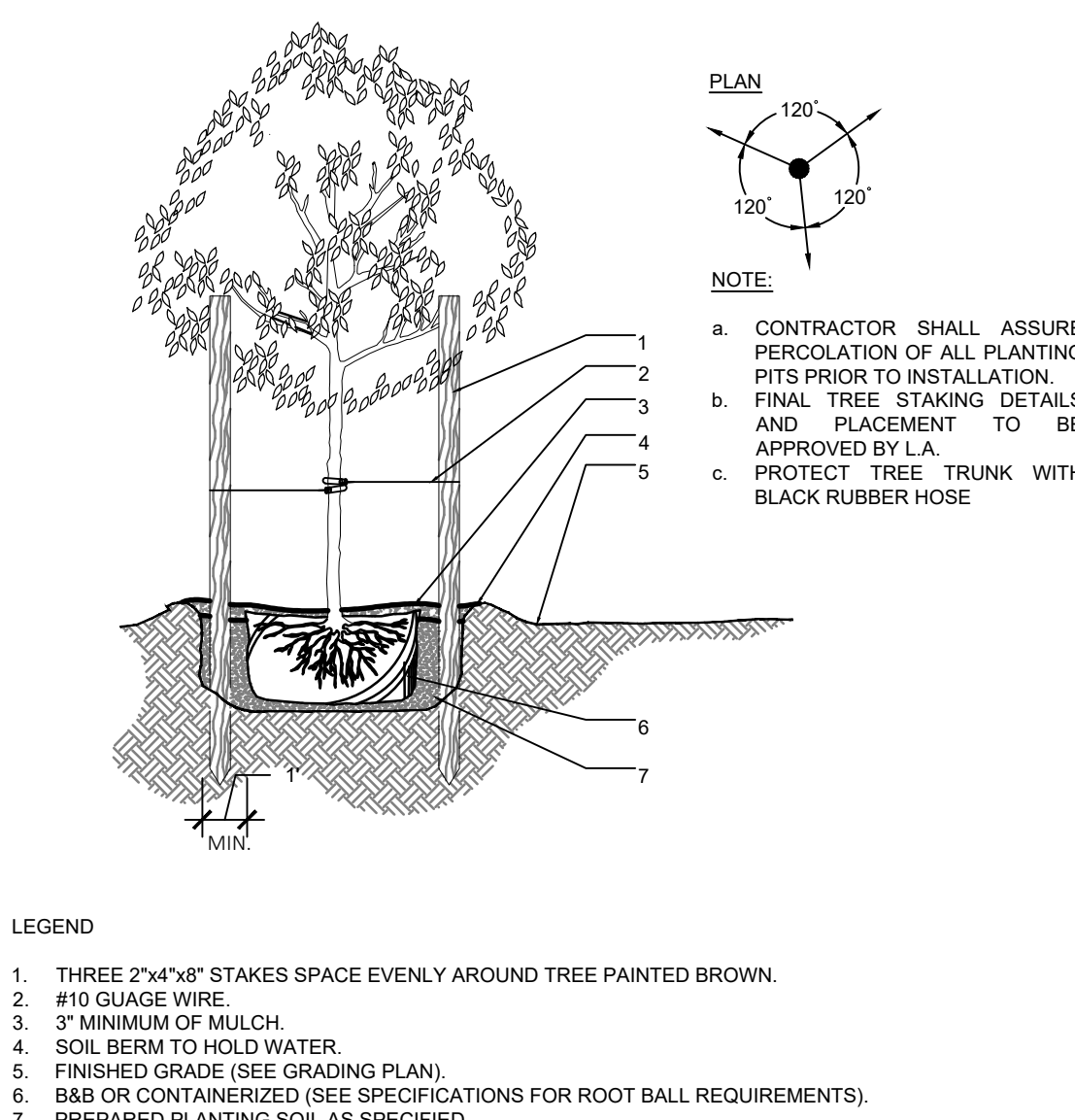
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PROJECT NO.	
DRAWN BY:	S.K.
CHECKED BY:	A.B.
DATE	02/18/2021

A-12.0

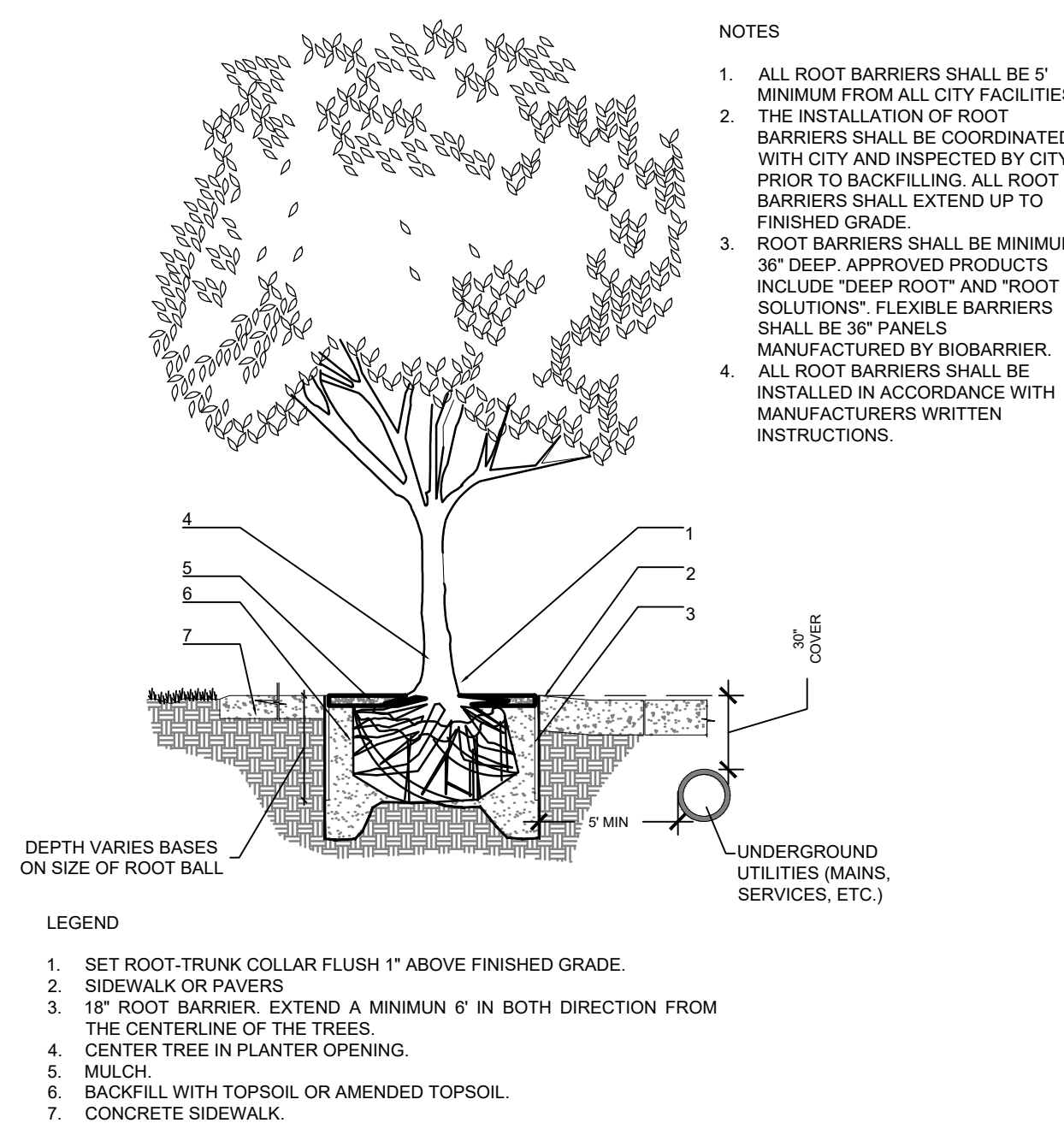
Screen Details



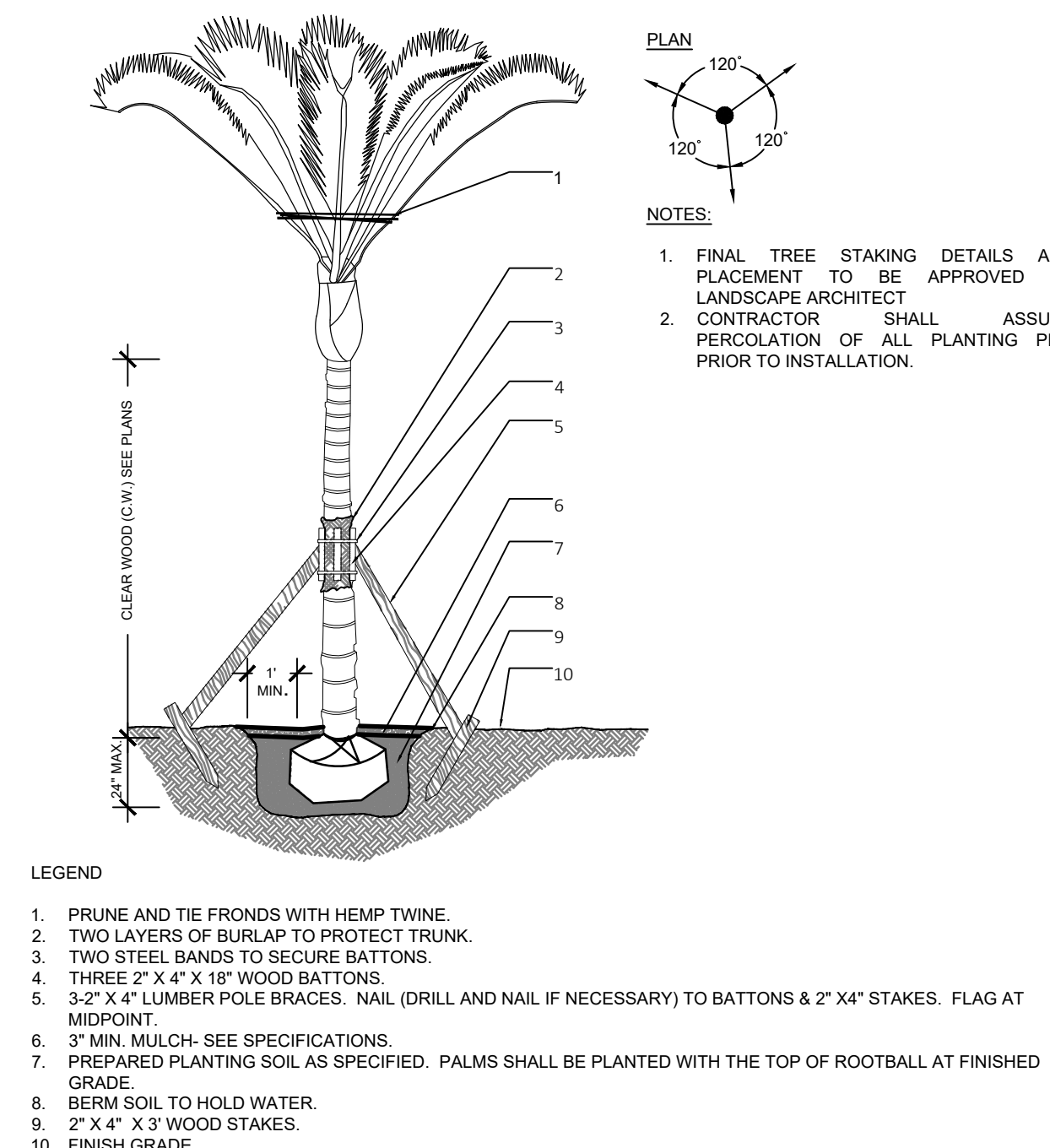
2 LARGE TREE
SECTION
d-Large tree.dwg
SCALE: N.T.S



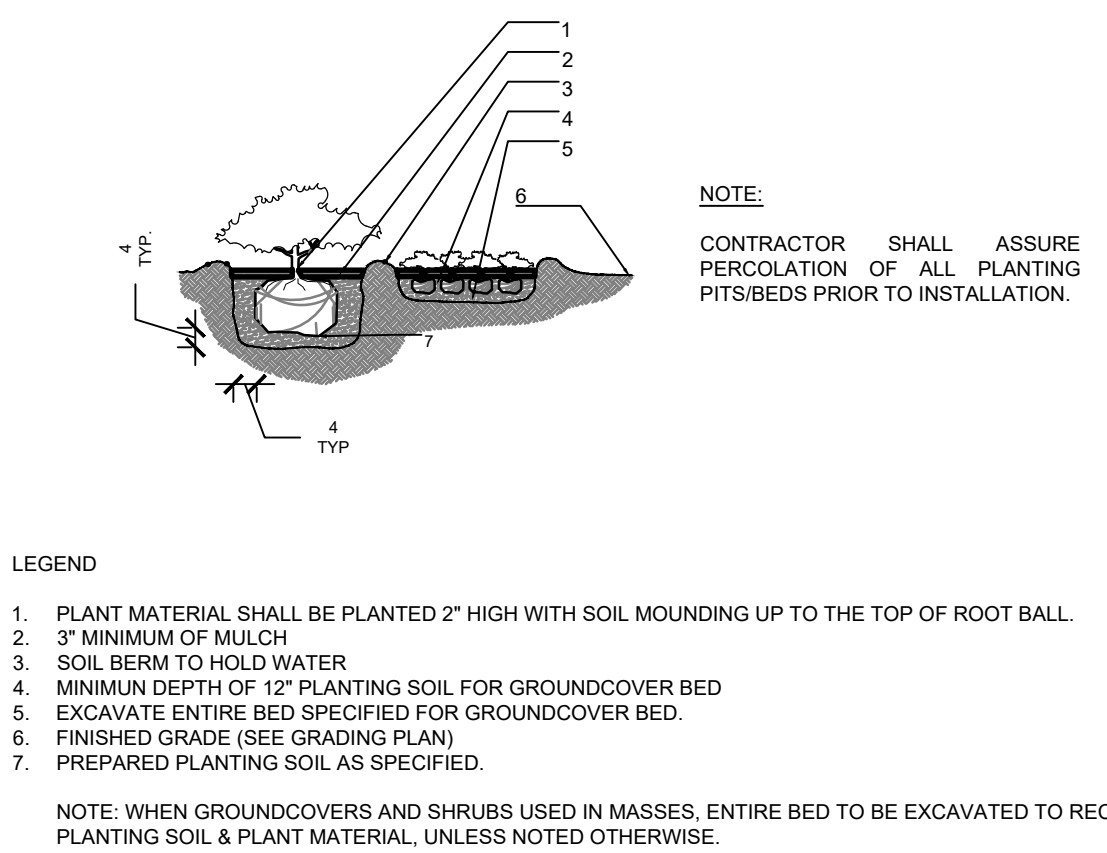
3 SMALL TREE
SECTION
d-Small tree.dwg
SCALE: N.T.S



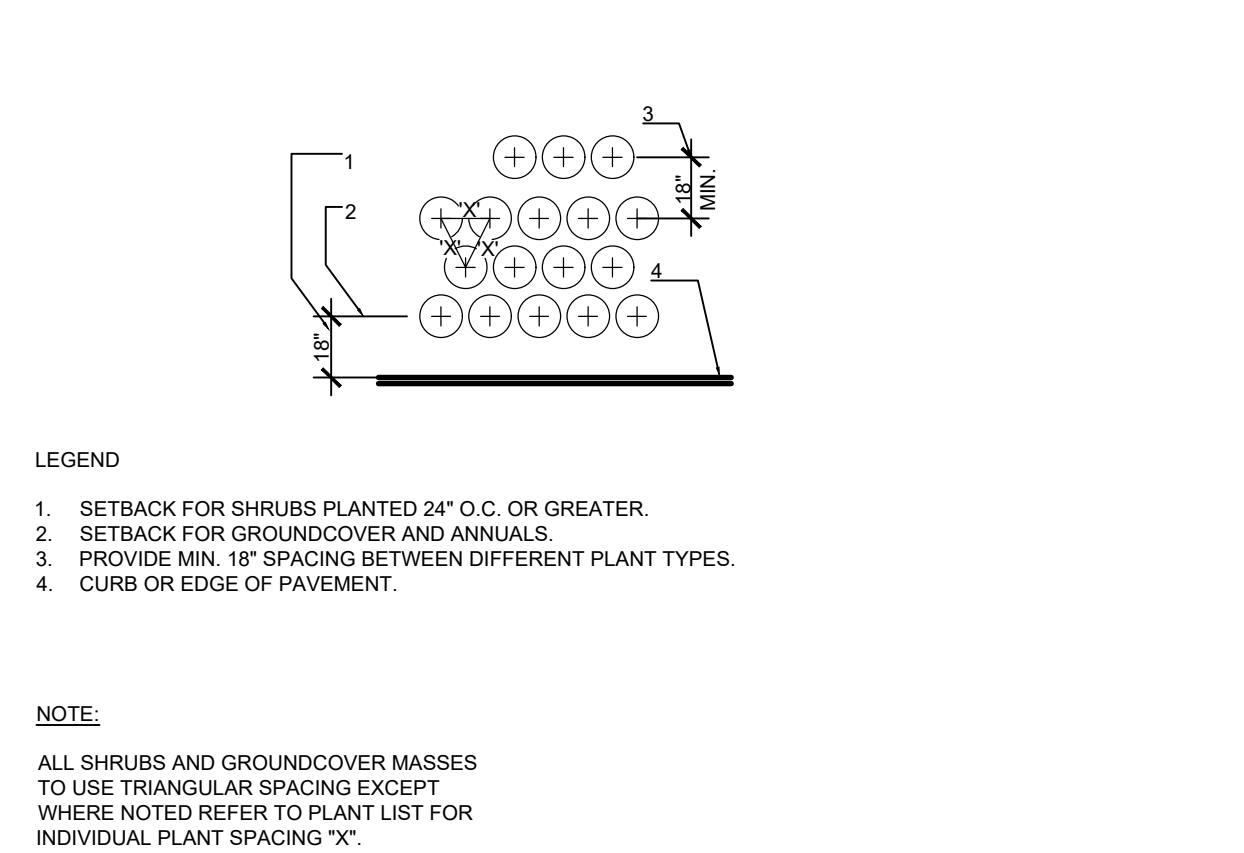
4 ROOT BARRIER INSTALLATION
SECTION
d-2006-Root barrier.dwg
SCALE: N.T.S



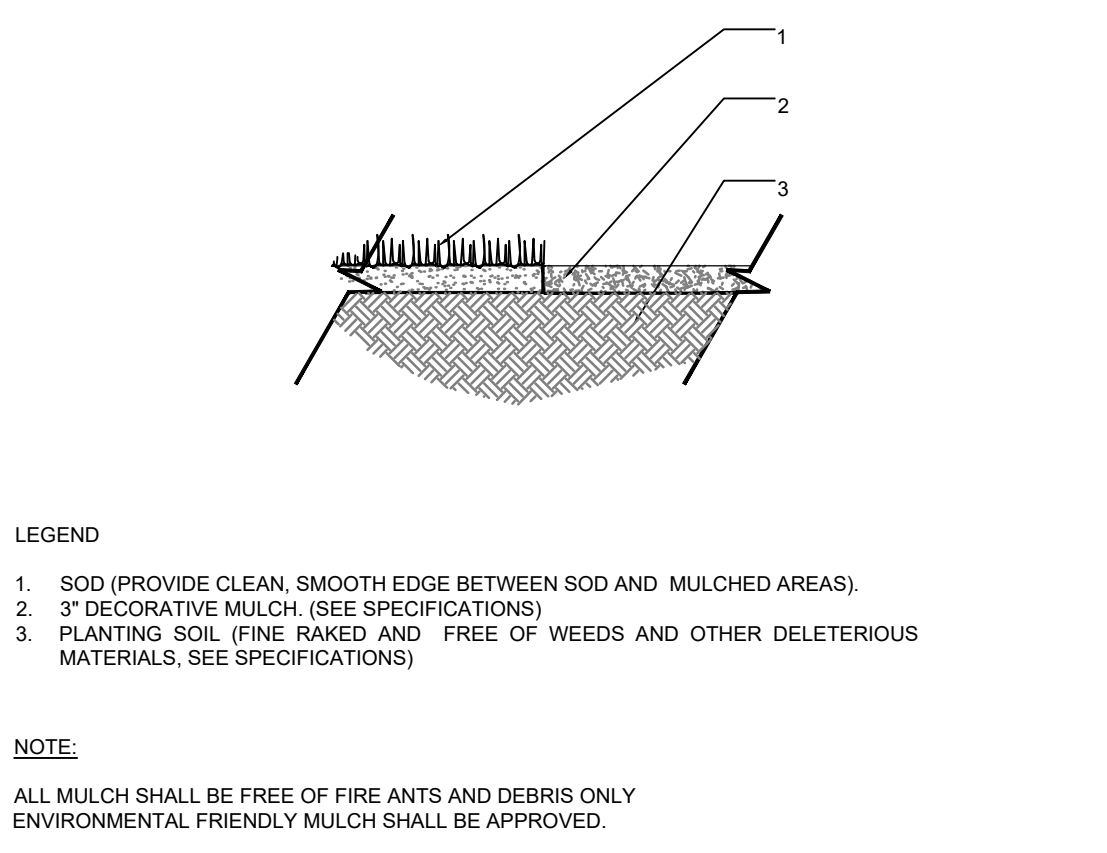
5 SMALL PALM
SECTION
d-Small palm.DWG
SCALE: N.T.S



6 SHRUBS & GROUNCOVERS
SECTION
d-Shrubs and groundcovers.DWG
SCALE: N.T.S



7 TYPICAL PLANT SPACING
SECTION
d-Typical spacing.DWG
SCALE: N.T.S



8 MULCH
SECTION
d-Mulch.DWG
SCALE: N.T.S

- General Notes:
- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and must avoid damaging any services during construction. If any damage occurs by fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
 - All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
 - In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.
 - All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches.
 - All planting beds shall be excavated to a minimum depth of twenty-four (24") inches and backfilled with a suitable soil. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean and friable condition. The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
 - All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturers specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)- tablets for 3 gal container, three (3)- tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
 - All plant beds shall receive a 3" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs. The use of Cypress mulch is discouraged.
 - All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
 - The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
 - Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
 - The Landscape Contractor shall be approved by Landscape Architect prior to planting.
 - The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
 - The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
 - The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
 - Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
 - All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
 - There shall be no additions, deletions or substitutions without written approval of the Landscape Architect.
 - The Landscape Contractor shall guarantee, in writing, plant survivability. Trees and palms for twelve (12) months, shrubs and groundcovers for ninety (90) days and sod for sixty (60) days from final acceptance by the Owner or Owner's representative.
 - All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
 - All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
 - Existing sod shall be removed as necessary to accommodate new plantings
 - All existing trees on site shall be protected from damage during construction - See existing tree protection fence detail.
 - Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to original conditions by the Landscape Contractor.
 - The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
 - All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs or VUA
 - All shade and medium trees installed within 6' of a public infrastructure shall utilize a root barrier system.

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By: _____
Description: _____
Rev: _____ Date: _____

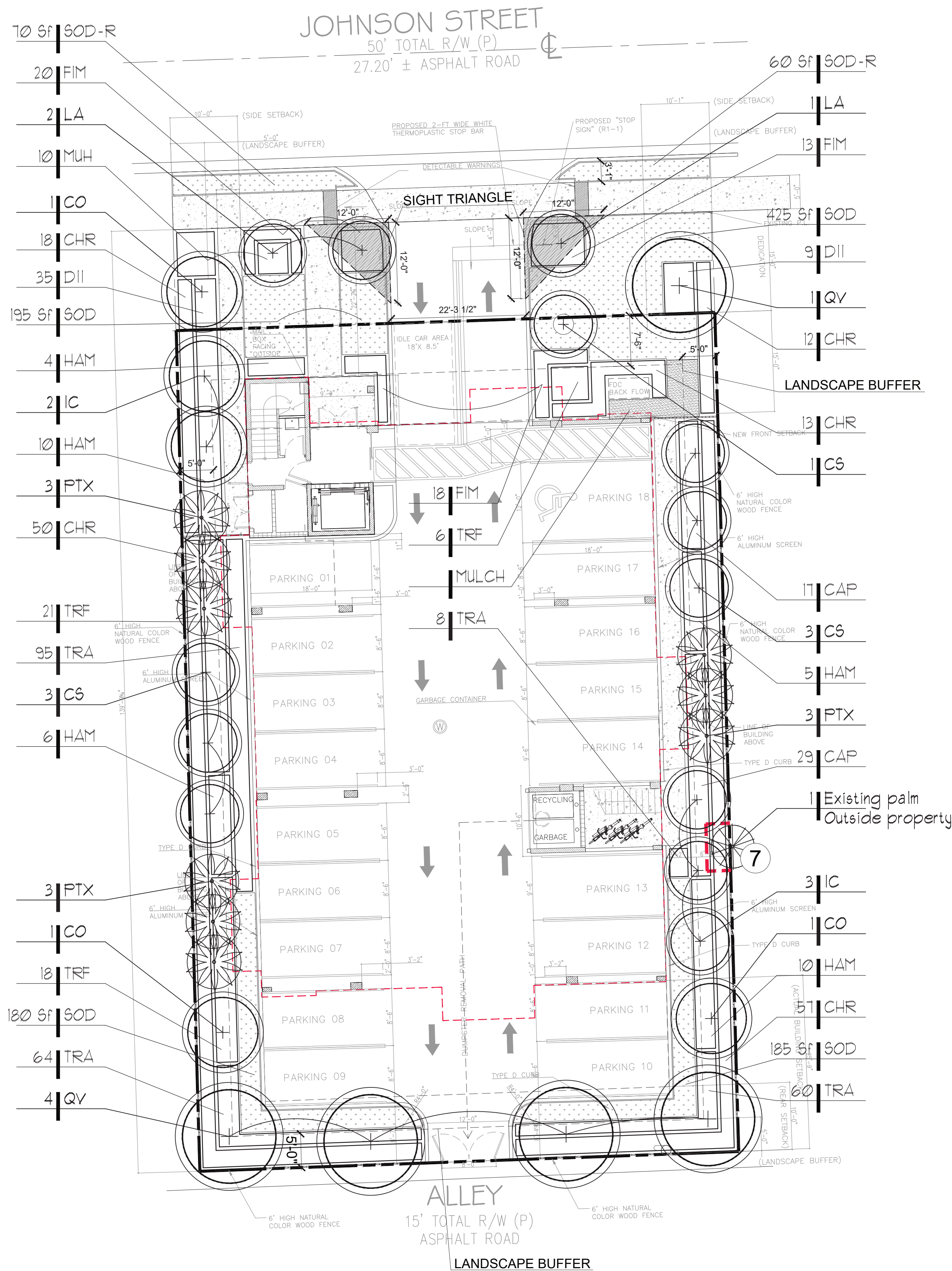
Sheet Title:
**LANDSCAPE DETAILS
& GENERAL NOTES**

Project Name:
**MULTIFAMILY
BUILDING**
1926 JOHNSONS STREET
HOLLYWOOD, FL 33020

Date: SEPTEMBER 29, 2022
Scale: 1" = 10'-0"
Drawn By: AEM/MEP/GMP
Approved By: AEM
Project No: 21039

Sheet Number:
L-03

PERMIT SET - NOT FOR CONSTRUCTION



LANDSCAPE CALCULATIONS - 1926 JOHNSON ST. HOLLYWOOD		
SITE AREA DATA:		
Parkside Low Intensity Multi-Family District Use	ND-2	
	SF	ACRES
NET LOT AREA	9,970	0.23
	REQUIRED	PROVIDED
PROJECT DATA:		
MIN. OPEN SPACE (20%)	20%	27%
GENERAL LANDSCAPE REQUIREMENTS		
PERIMETER LANDSCAPE - STREET TREE (100 Lf of street frontage)		
80 Lf of street frontage at 1 tree per 30 Lf =	3	3
Five Foot landscape buffer - 1 tree per 20 Lf =	16	16
V.U.A LANDSCAPE		
V.U.A terminal landscape island- 1 tree each	2	2
OPEN SPACE LANDSCAPE		
1 tree per 1,000 sf of pervious area	3	5
NATIVE TREES	60%	100%
NATIVE SHRUBS	50%	100%

TREE MITIGATION TABLE - LIST OF TREES TO BE MITIGATED			
TREE #	BOTANICAL NAME	COMMON NAME	DBH
4	Quercus virginiana	Live Oak	15.5"
9	Persea americana	Avocado Tree	12"
10	Mangifera indica	Mango tree	18"
14	Mangifera indica	Mango tree	10.5"
17	Mangifera indica	Mango tree	20"
Total tree DBH to be mitigated			76 " D.B.H
PALM #	BOTANICAL NAME	COMMON NAME	
2	Veitchia montgomeryana	Montgomery Palm	
3	Roystonea regia	Royal Palm	
5	Adonidia merillii	Christmas Palm	
6	Adonidia merillii	Christmas Palm	
8	Archontophoenix alexandrae	Alexander Palm	
12	Adonidia merillii	Christmas Palm	
13	Adonidia merillii	Christmas Palm	
Total Palms to be mitigated			7
NEW TREES TO MITIGATE			
2	Conocarpus erectus 'Sericeus'	Silver Buttonwood	14' ht. Std. 3" DBH x 6' Sprd. 6' CT
Total new tree DBH to mitigate removed trees/palms			6" DBH
MITIGATION SHORTFALL			42 TREES = (70/2) TREES +7 PALMS
Note: Tree mitigation shortfall to be addressed by a monetary contribution to the city's tree trust fund by the property owner. 42 trees (35+7) @ \$350 each = \$14,700			

QT	code	species	common name	drought tolerance	native	specifications	container size	spacing
TREES								
3	CO	Coccoloba diversifolia	Pigeon Plum	High	yes	14' ht. Std. 3" DBH x 6' Sprd. 6' CT	FG	as shown
7	CS	Conocarpus erectus 'Sericeus'	Silver Buttonwood	High	yes	14' ht. Std. 3" DBH x 6' Sprd. 6' CT	FG	as shown
5	IC	Ilex cassine	Dahoon Holly	High	yes	14' ht. Std. 3" DBH x 6' Sprd. 6' CT	FG	as shown
3	LA	Lagerstroemia 'Natchez'	Natchez Crape Myrtle	High	no	14' ht. Std. 3.5" DBH. 6' Sprd. 6.5' CT	FG	as shown
5	QV	Quercus virginiana	Live Oak	High	yes	14' ht. Std. 3.5" DBH. 7' Sprd. 6' CT	FG	as shown
PALMS								
9	PTX	Ptychosperma elegans	Alexander Palm	Medium	no	14" O.A. 8' CT. Heavy/ Doble trunk	FG	as shown
SHRUBS, GROUNDCOVERS & VINES								
46	CAP	Capparis cynophallophora	Jamaican Caper	High	yes	18" ht x 18" spr.	3 Gal.	24" O.C.
150	CHR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	Medium	yes	30" O.A.	7 Gal.	30" O.C.
44	DII	Dietes iridioides	African Iris	Medium	no	18" O.A./ Full Clump	1 Gal.	24" O.C.
33	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	High	no	18" O.A.	7 Gal.	24" O.C.
35	HAM	Hamelia nodosa	Dwarf Firebush	Medium	yes	30" ht x 24" spr.	7 Gal.	36" O.C.
10	MUH	Muhlenbergia capillaris	Pink Muhly Grass	High	yes	30" O.A./ Full Clump	3 Gal.	30" O.C.
227	TRA	Trachelospermum asiaticum	Asiatic Jasmine	High	no	10" O.A. Full	1 Gal.	15" O.C.
45	TRF	Tripsacum floridanum	Dwarf Fakahatchee Grass	Medium	yes	24" O.A./ Full Clump	3 Gal.	30" O.C.
SOD								
630	SOD	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggered Panels		
130	SOD-R	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggered Panels		

- NOTES:
- REQUIRED SCREENING HEDGES SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS VISUAL SCREEN.
 - IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
 - ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES OR UTILITY EASEMENT. SEE DETAIL #4 ON SHEET L-03.
 - REQUIRED TREES SHALL BE A MINIMUM OF TWELVE (12) FEET IN HEIGHT WITH A TWO (2) INCH DBH AT PLANTING.
 - WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN 2 FEET AND 6.5 FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.
 - TREES IN THE SWALE AREA MUST HAVE AT LEAST A 6.5 FOOT CLEARANCE ABOVE GRADE AT ALL TIMES
 - 3" OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN ALL LANDSCAPE AREAS COVERED BY TREES, SHRUBS AND GROUNDCOVERS.

GRAPHIC SCALE
NORTH 0' 10' 20' 30'

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URBAN DESIGN
208 NE 28 TH STREET, #1
FORT LAUDERDALE, FLORIDA 33305 USA
TEL: 954.954.8259
www.andresmontero.com
LIC#26000598

By: AEM/MMP
Description: REVISED DRAWING TO CITY COMMENTS
Rev Date: 11/30/22
1
2
3
4
5
6

Sheet Title:
LANDSCAPE PLAN

Project Name:
MULTIFAMILY
BUILDING
1926 JOHNSONS STREET
HOLLYWOOD, FL 33020

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Date: SEPTEMBER 29, 2022
Scale: 1" = 10'-0"
Drawn By: AEM/MEP/GMP
Approved By: AEM
Project No: 21039

Sheet Number:
L-02

PERMIT SET - NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
2208 NE 7th Street #1
FORT LAUDERDALE, FLORIDA 33305 USA
TEL: 954.333.8259
www.amlandscape.com
LC20060538

Rev	Date	Description	By
1	11/30/22	REVISED DRAWING TO CITY COMMENTS	AEM/MP
2			
3			
4			
5			
6			

Sheet Title:
**IRRIGATION PLAN
DETAILS & NOTES**

Project Name:
**MULTIFAMILY
BUILDING**
1926 JOHNSON STREET
HOLLYWOOD, FL 33020

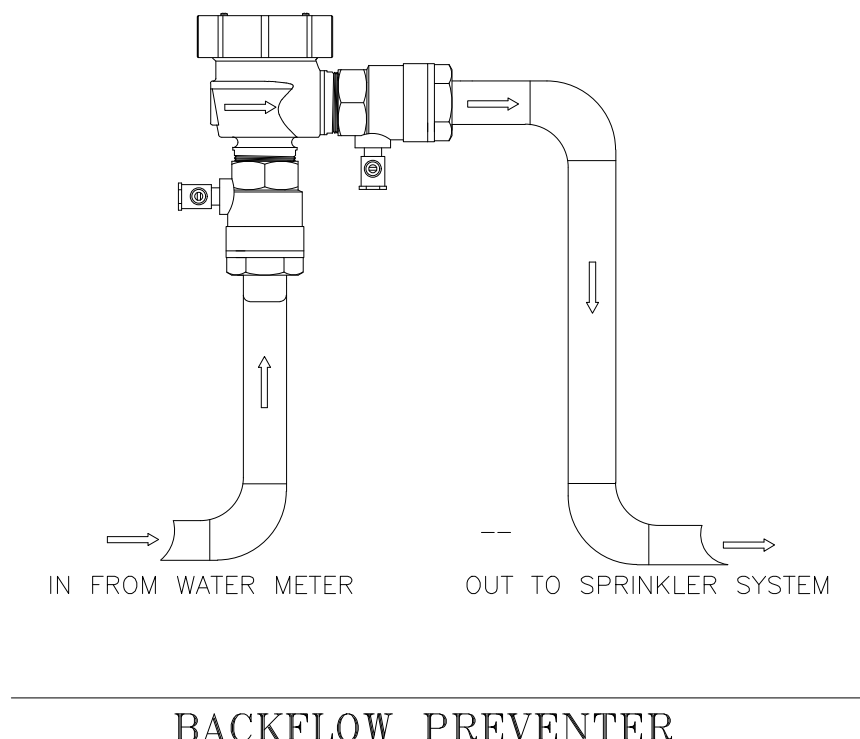
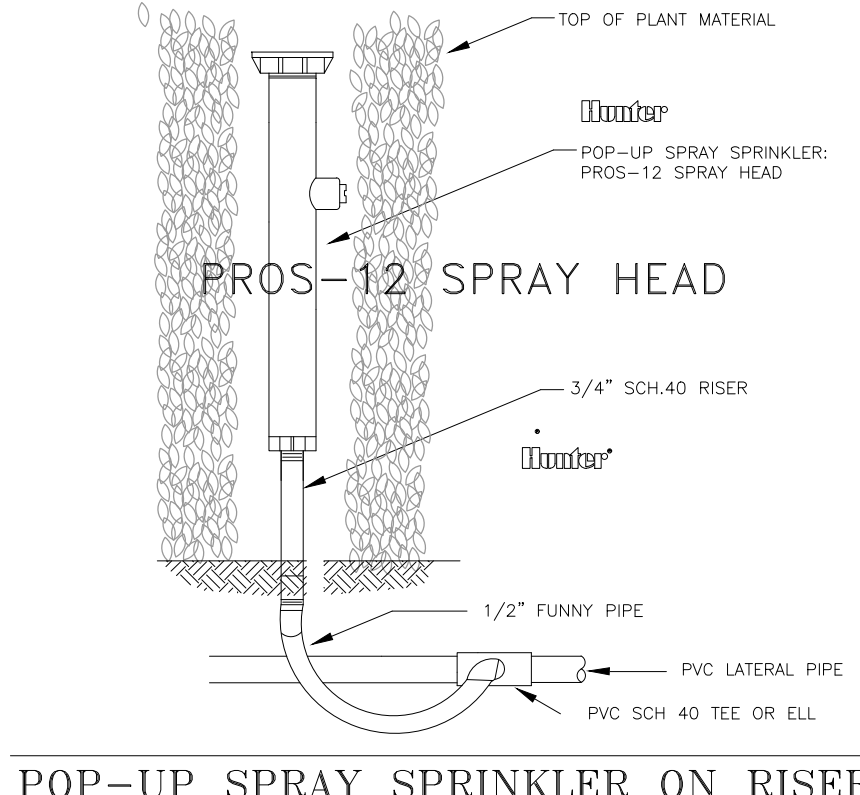
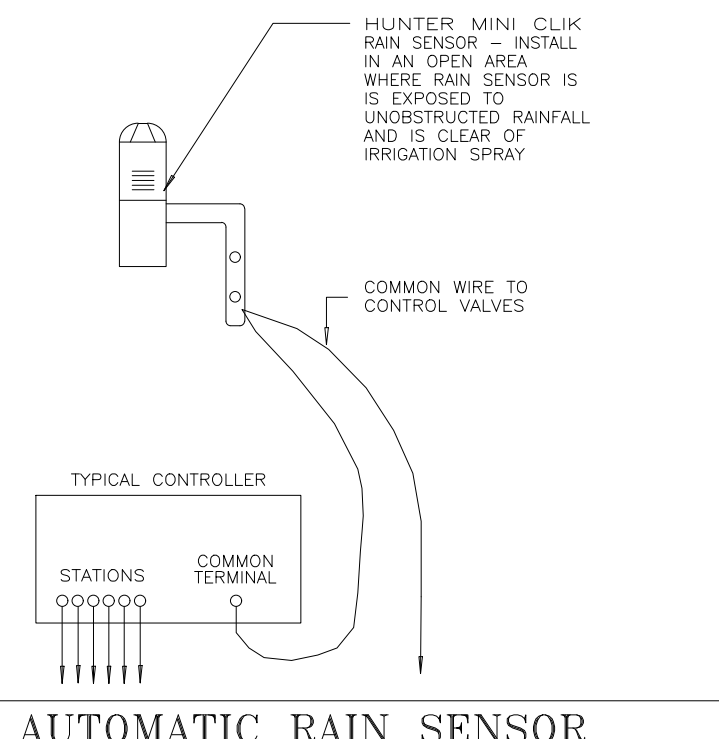
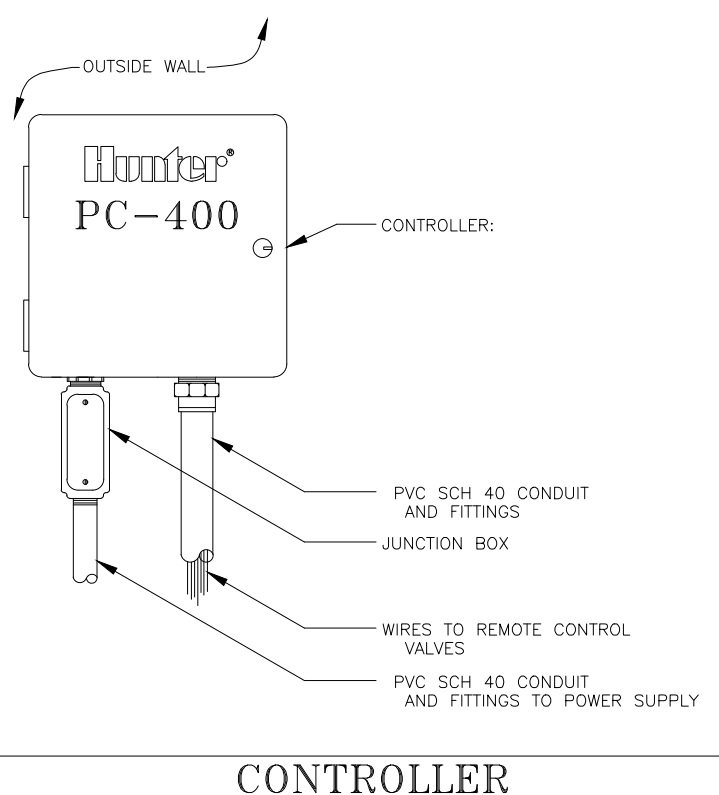
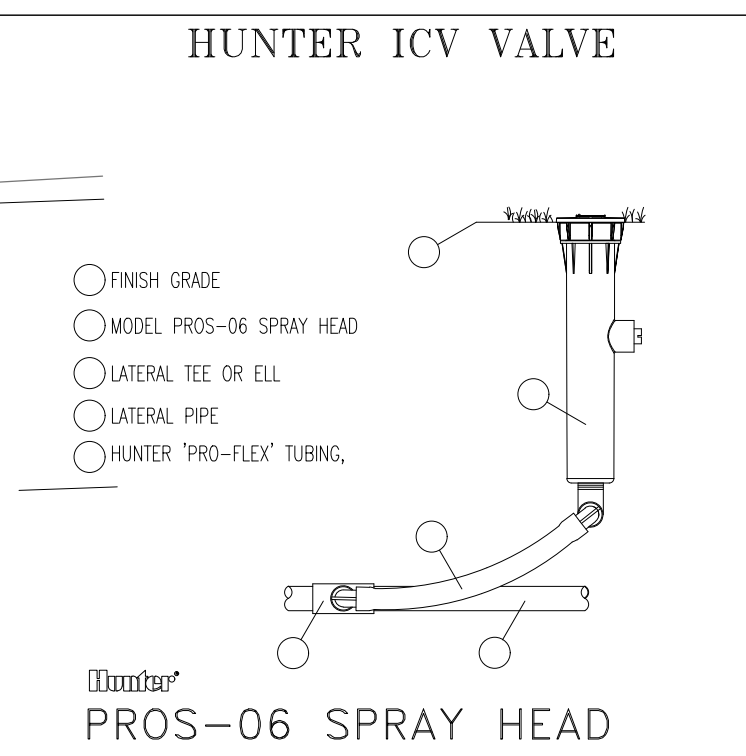
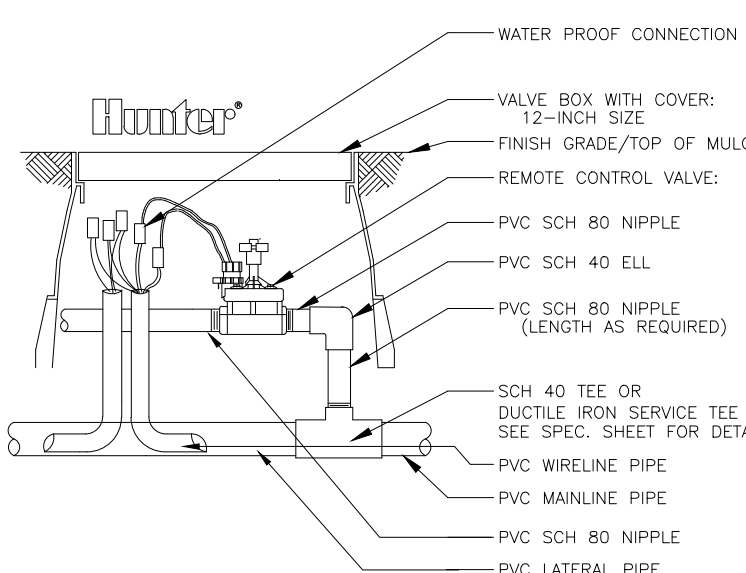
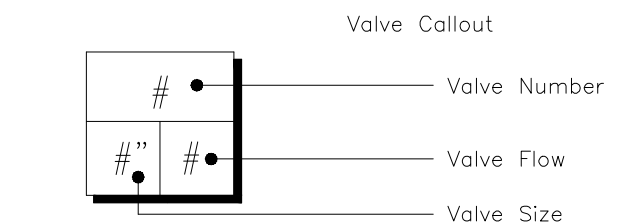
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Date: SEPTEMBER 29, 2022
Scale: 1" = 10'-0"
Drawn By: AEM/MEP/GMP
Approved By: AEM
Project No: 21039

Sheet Number:
L-04

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
ES LCS RCS CS SS	Hunter PROS-06 5' strip spray Turf Spray, 6.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.
Q T H F	Hunter PROS-06 8' radius Turf Spray, 6.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.
Q T H TT TQ F	Hunter PROS-06 15' radius Turf Spray, 6.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.
ES LCS RCS CS SS	Hunter PROS-12 5' strip spray Shrub Spray, 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.
Q T H F	Hunter PROS-12 8' radius Shrub Spray, 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.
Q T H TT TQ F	Hunter PROS-12 15' radius Shrub Spray, 12.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
BF	Hunter ICV-G 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.
C	Febco 765 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.
RS	Hunter PC-400 Light Commercial & Residential Controller, 4-station base module controller, 120 VAC, Outdoor model
M	Hunter MINI-CLIK Rain Sensor, mount as noted Water Meter 1"
---	Irrigation Lateral Line: PVC Schedule 40
---	Irrigation Mainline: PVC Schedule 40
---	Pipe Sleeve: PVC Schedule 40



- GENERAL NOTES
1. Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
 2. All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
 3. Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
 4. Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
 5. 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
 6. All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
 7. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
 8. This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where possible.
 9. It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
 10. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
 11. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
 12. The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
 13. The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
 14. All control wires shall be installed in PVC conduit.
 15. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers.
 16. The installation devices are to be guaranteed for the period of (1) year from the date of final acceptance.

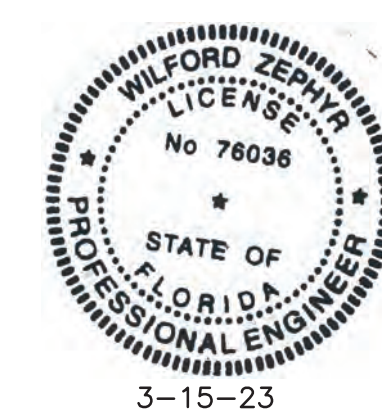
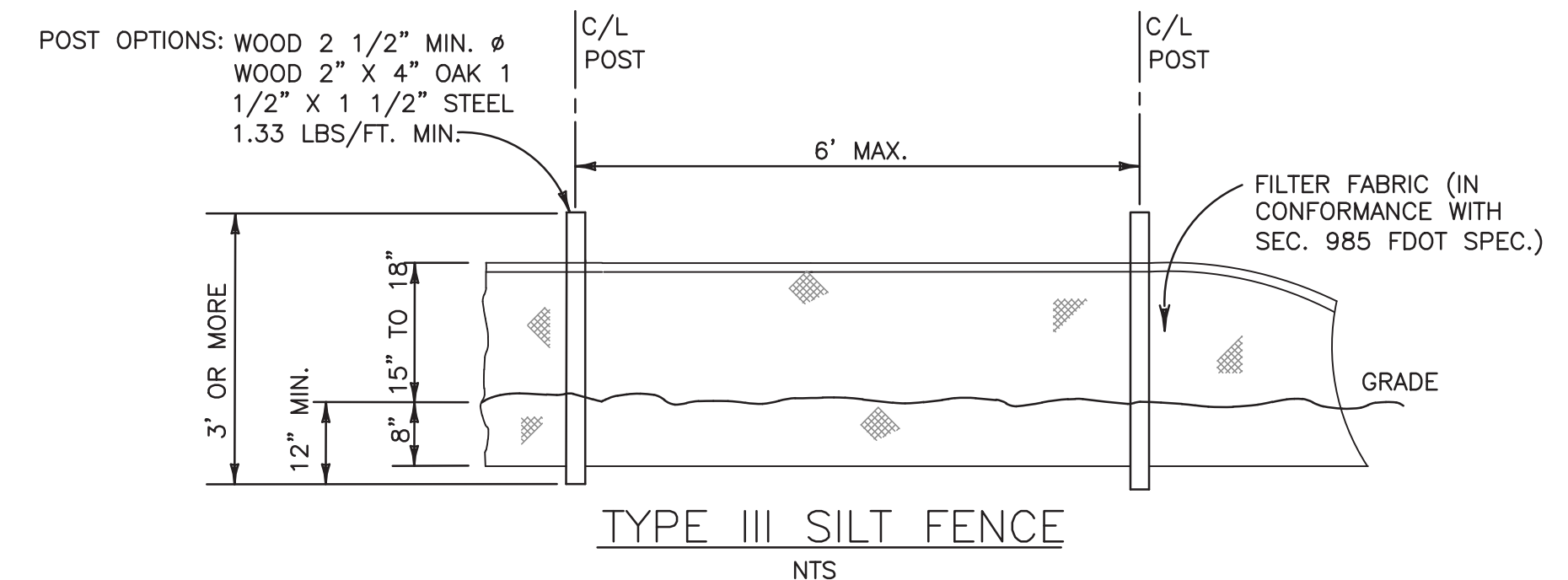
GRAPHIC SCALE
NORTH 0' 10' 20' 30'

Sunshine State
One Call

811

Know what's below.
Call before you dig.

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EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyreng@gmail.com
CA# 31158

WZ

PROPOSED MULTIFAMILY BUILDING
1926 JOHNSON STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/30/22

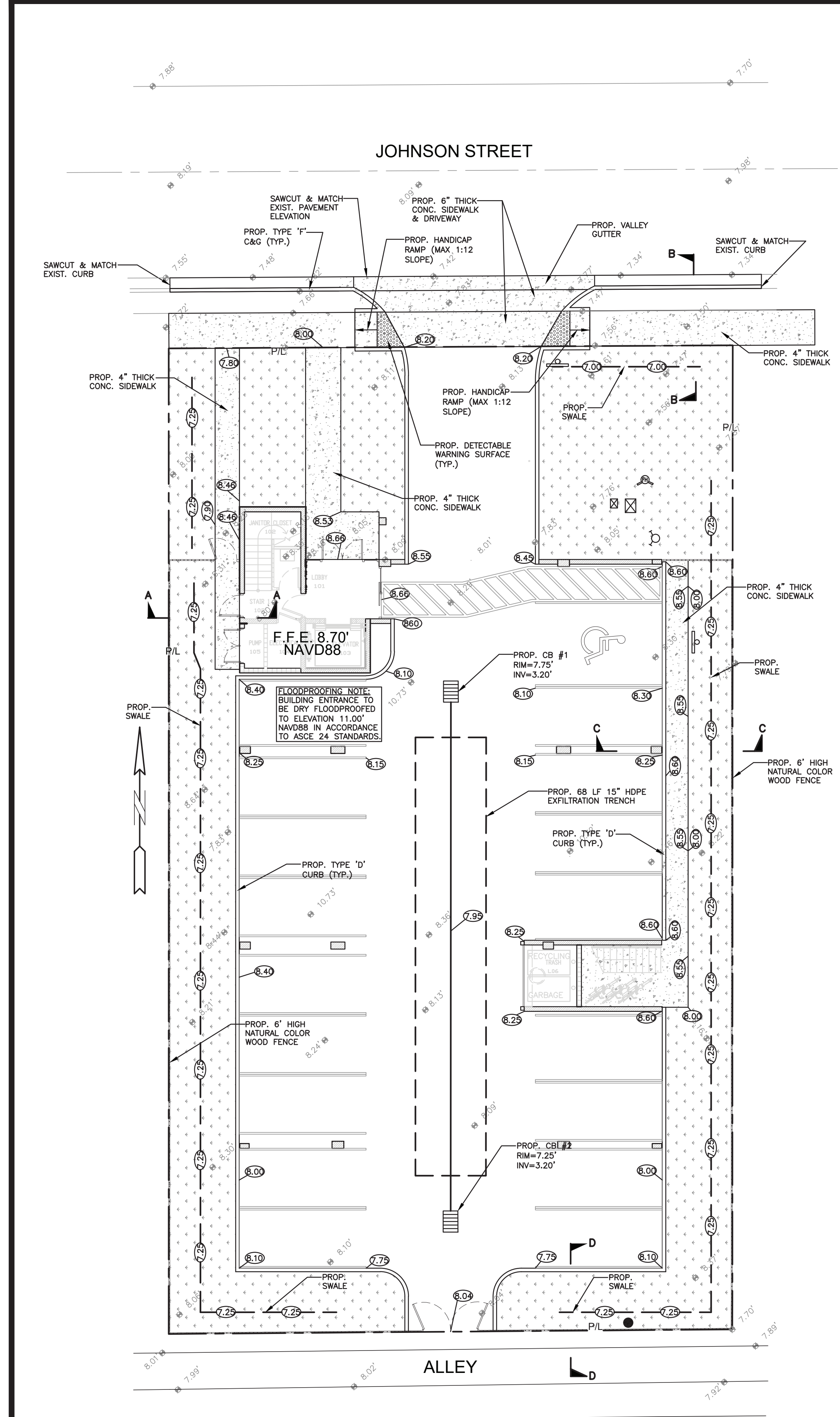
SCALE: 1"=10'

SHEET NO.:

C1

1 OF 6

PROJECT NO.: 21-9

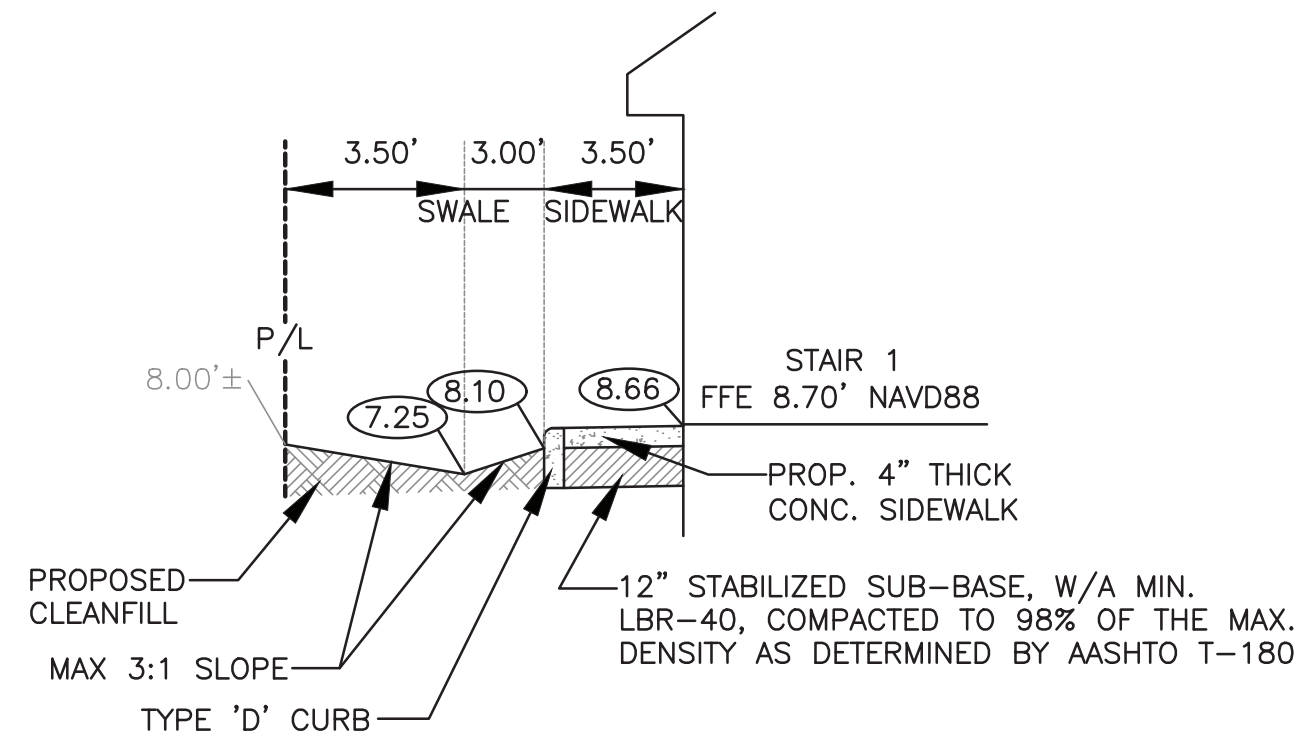


LEGEND			
	PROPOSED CONCRETE		PROPOSED WATER METER
	PROPOSED ASPHALT		EXISTING WATER METER
	PROPOSED GRADE		EXISTING WATER VALVE
	EXISTING ELEVATION		PROPOSED BFP DEVICE
	PROPOSED CATCH BASIN		EXISTING SAN. SEWER MH
	EXISTING CATCH BASIN		EXISTING FIRE HYDRANT

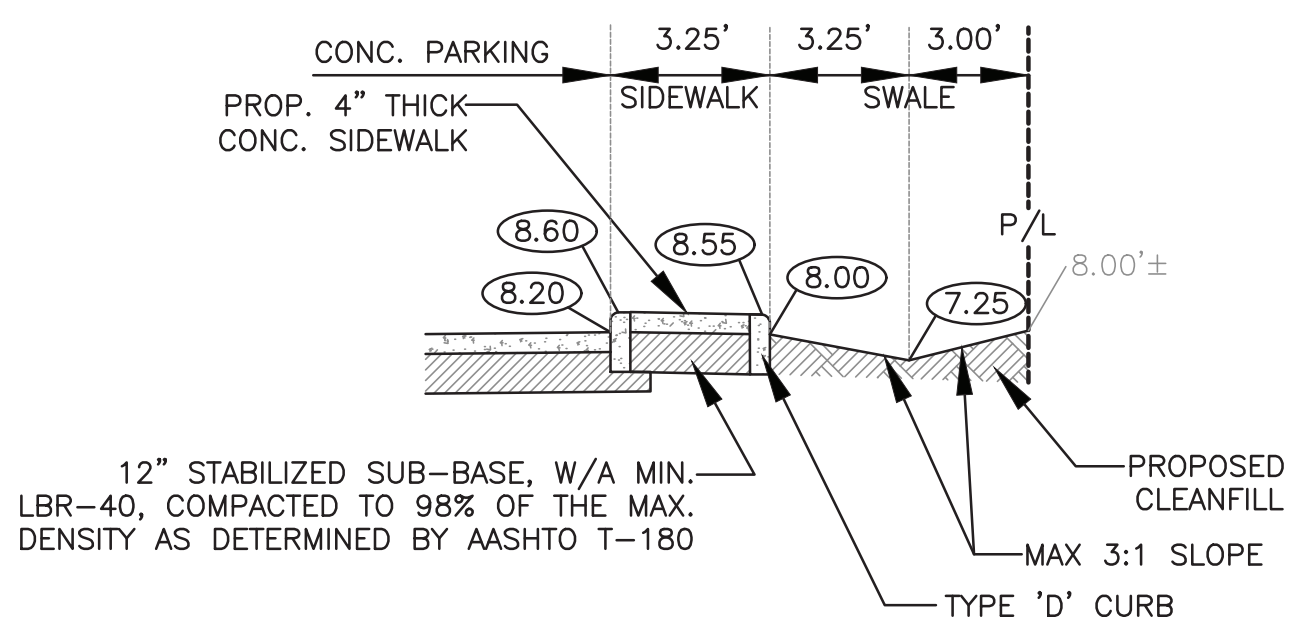
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

NOTES:

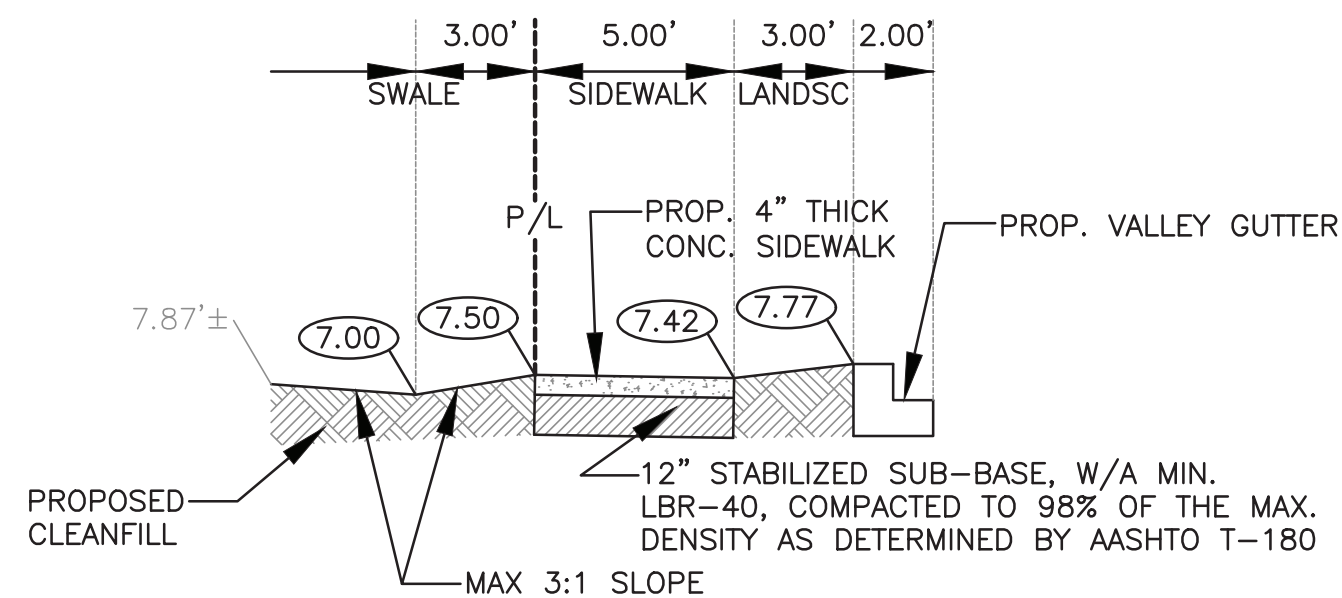
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
- 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
- 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
- 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
- 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
- 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



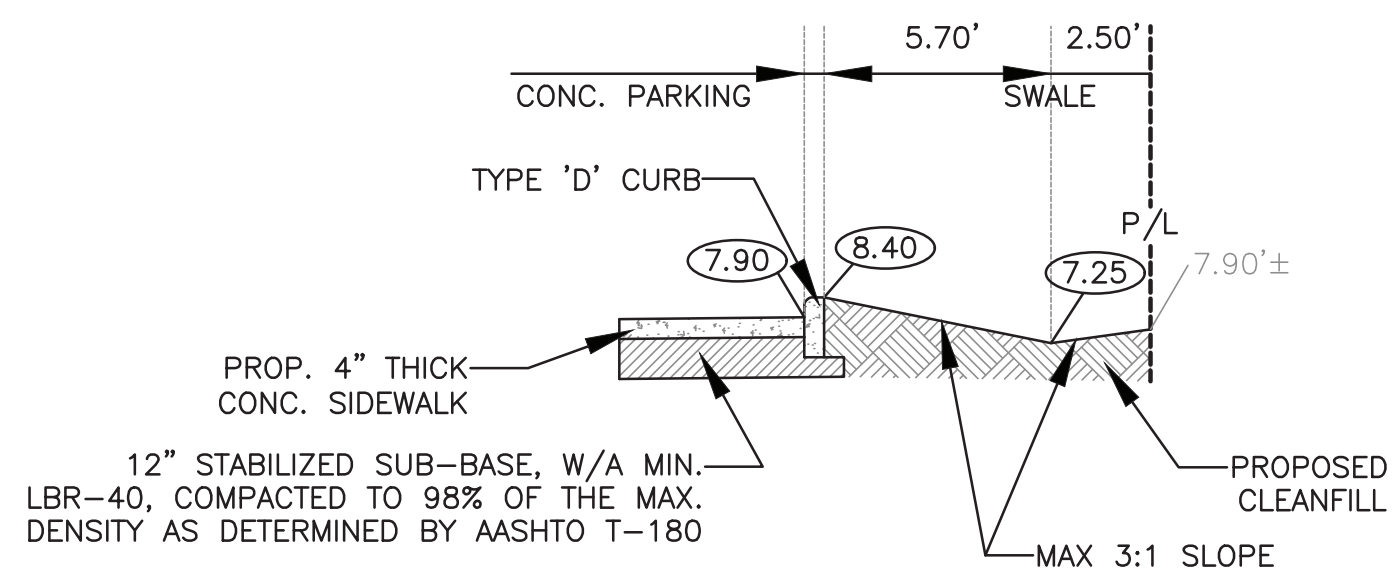
SECTION A-A
N.T.S.



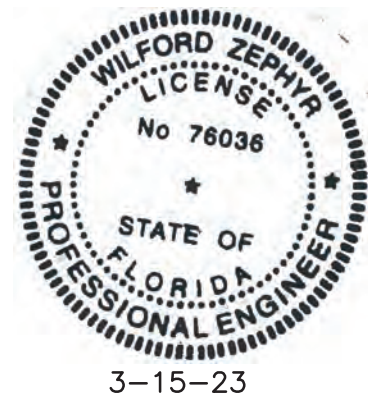
SECTION C-C
N.T.S.



SECTION B-B
N.T.S.



SECTION D-D
N.T.S.



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PAVING, GRADING & DRAINAGE PLAN
SCALE: 1"=10'

REVISIONS	
NO.	DESCRIPTION

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

ZE

PROPOSED MULTIFAMILY BUILDING
1926 JOHNSON STREET
HOLLYWOOD, FL 33020

P.E.#: 76036
DATE: 8/29/22
SCALE: 1"=10'
SHEET NO.:
C2
2 OF 6
PROJECT NO.: 21-93

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
BELLSOUTH
COMCAST
TECO
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -

RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
PCMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

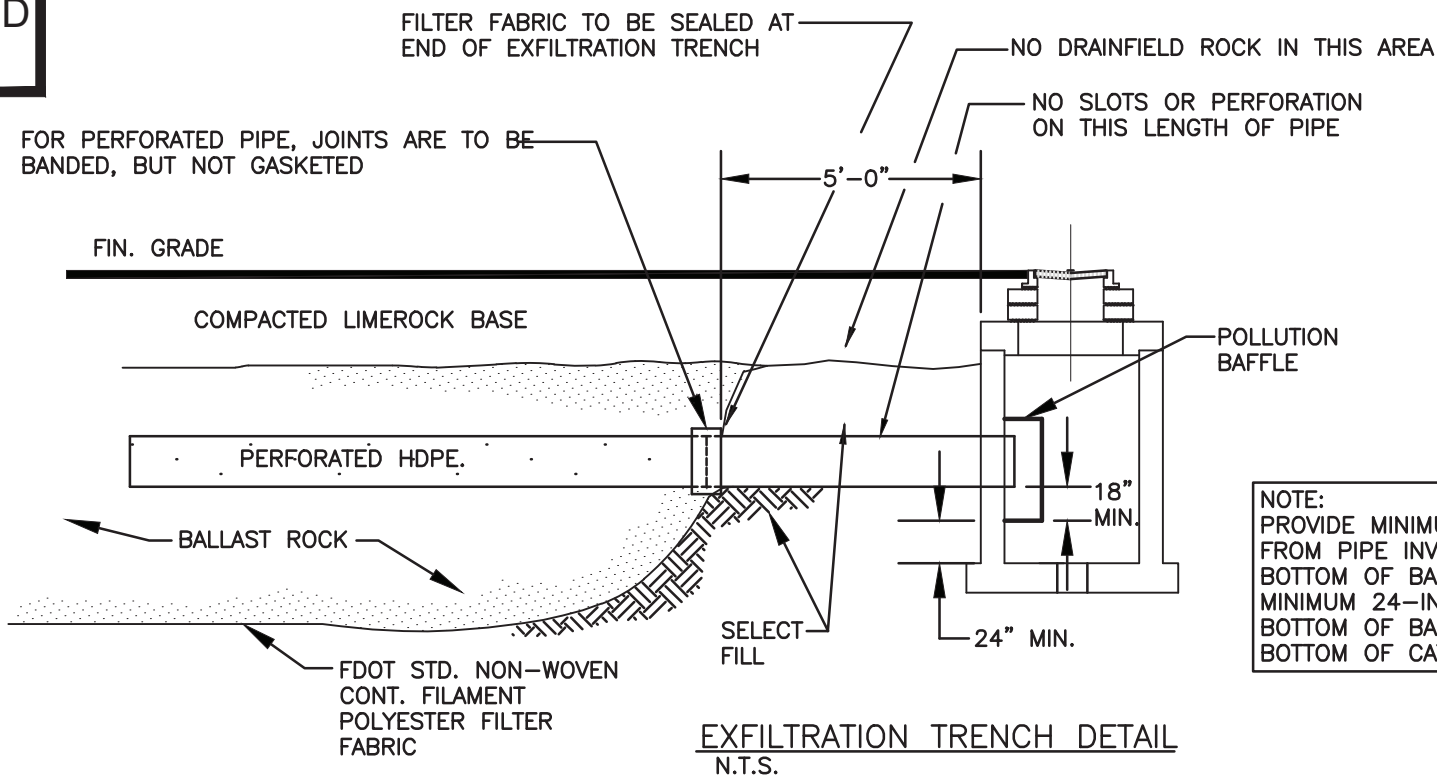
15. ASPHALT -
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1996 EDITION, SECTION 916-1.
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

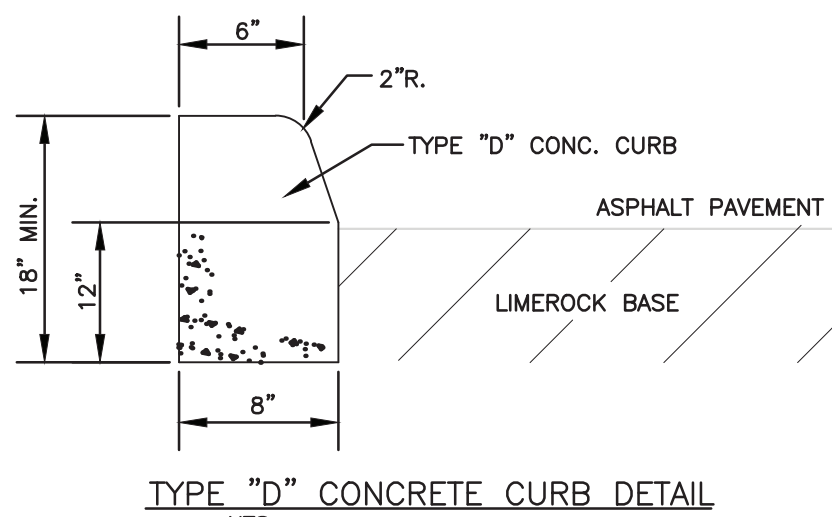
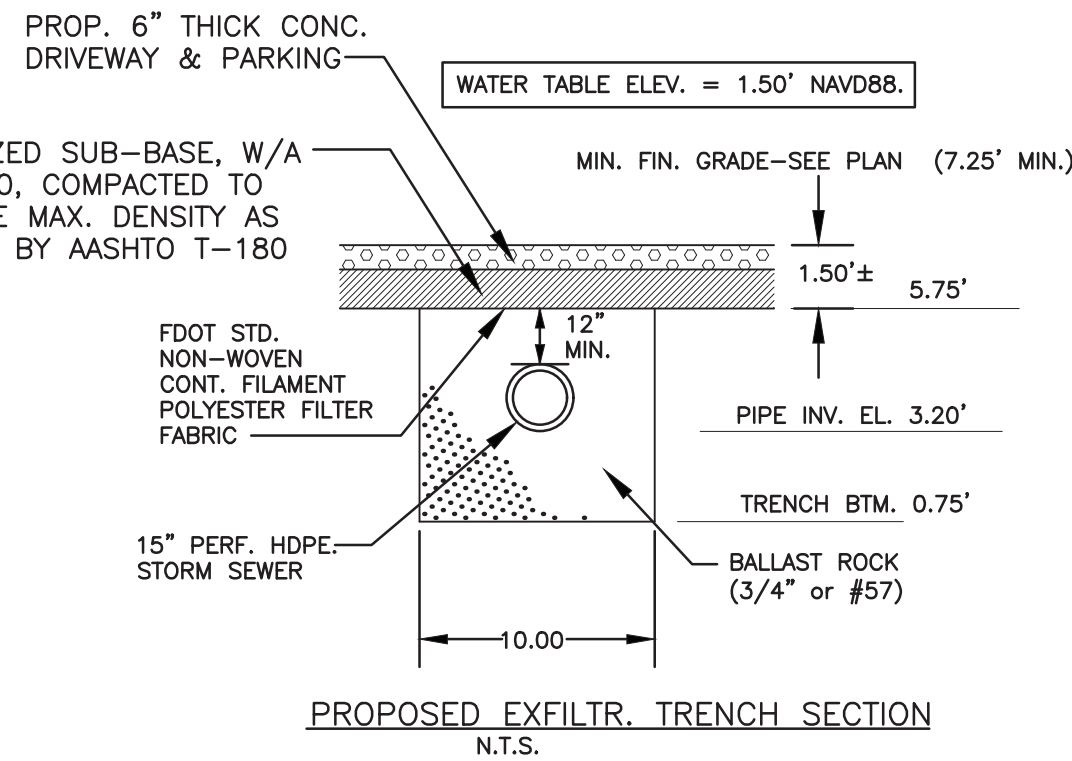
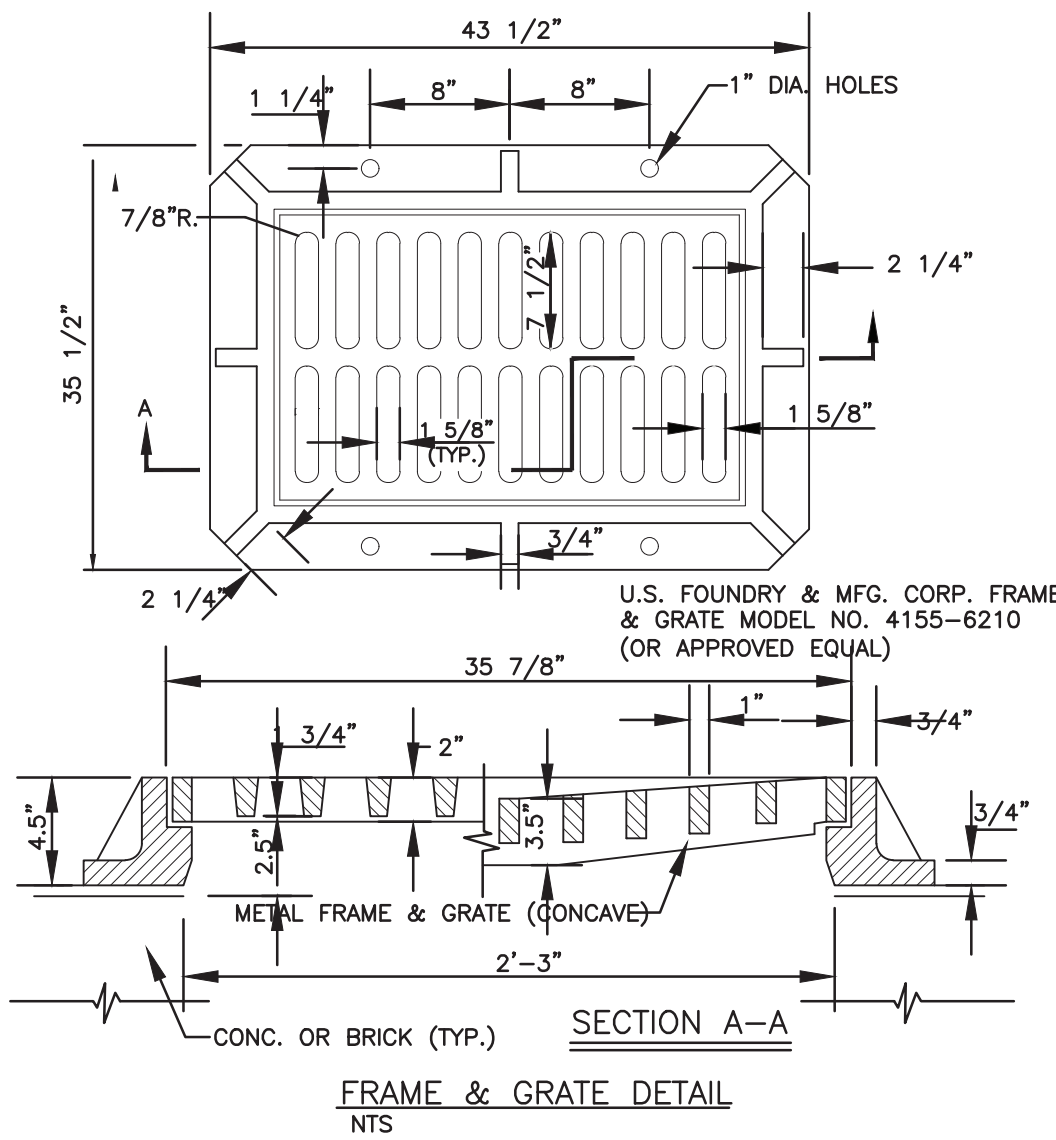
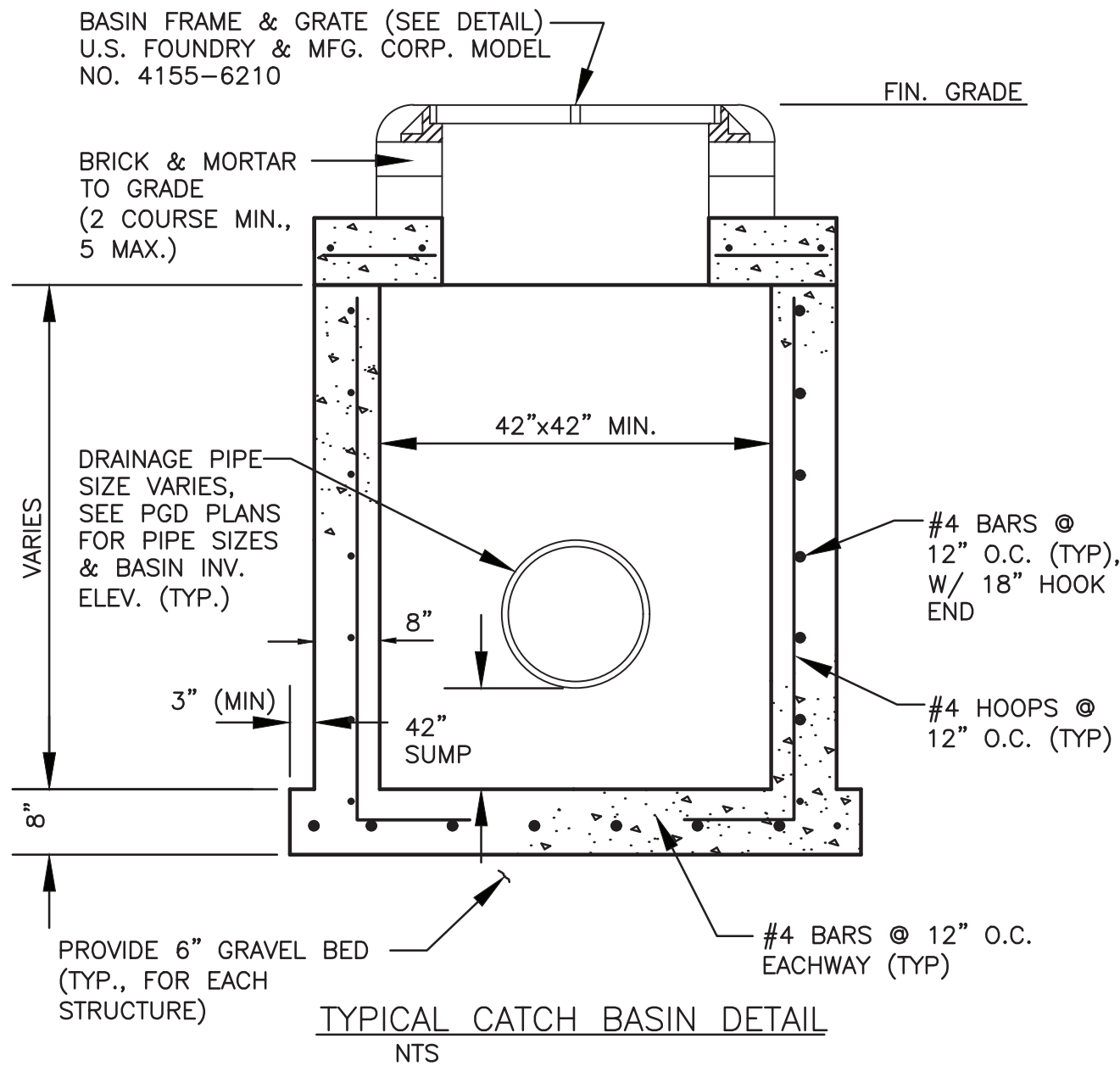
PAVEMENT MARKING & SIGNING STANDARD NOTES :

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT, (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

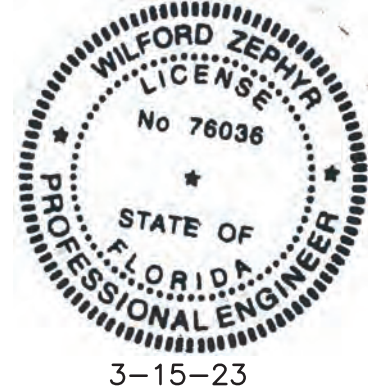
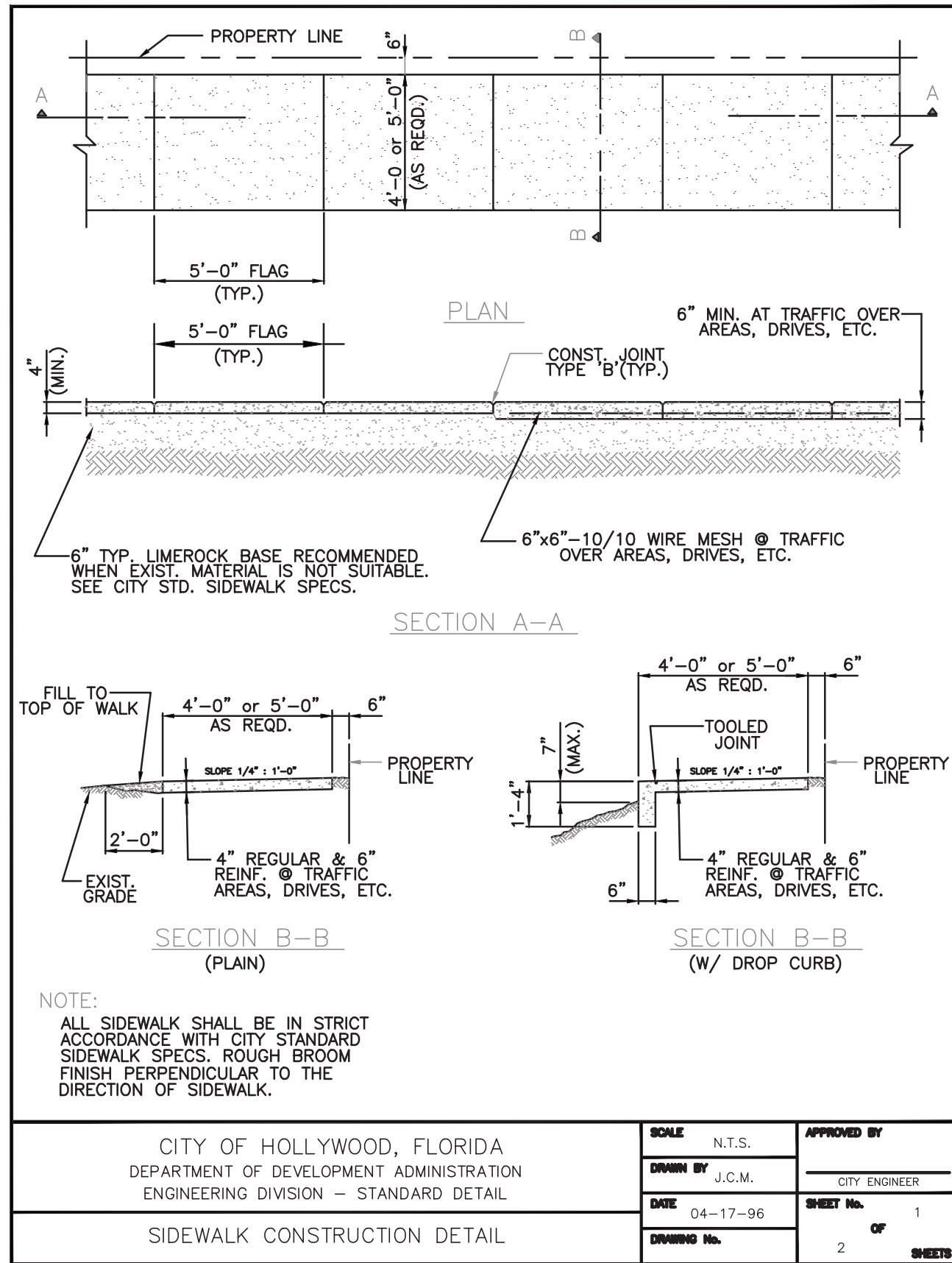
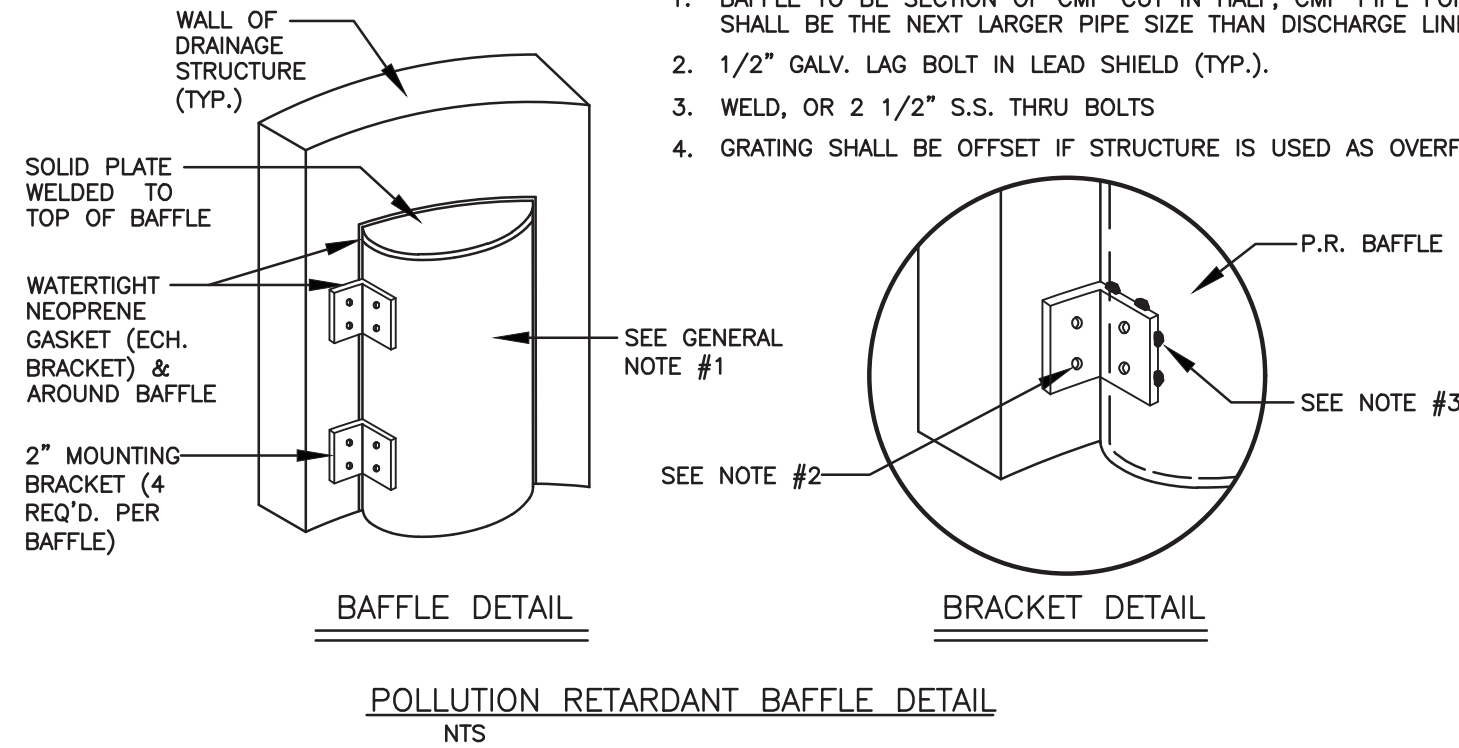


NOTE: PROVIDE MINIMUM 18-INCHES FROM PIPE INVERT TO BOTTOM OF BAFFLE. PROVIDE MINIMUM 24-INCHES FROM BOTTOM OF BAFFLE TO BOTTOM OF CATCH BASIN



GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



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CIVIL DETAILS

SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

ZE

PROPOSED MULTIFAMILY BUILDING
1926 JOHNSON STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/29/22

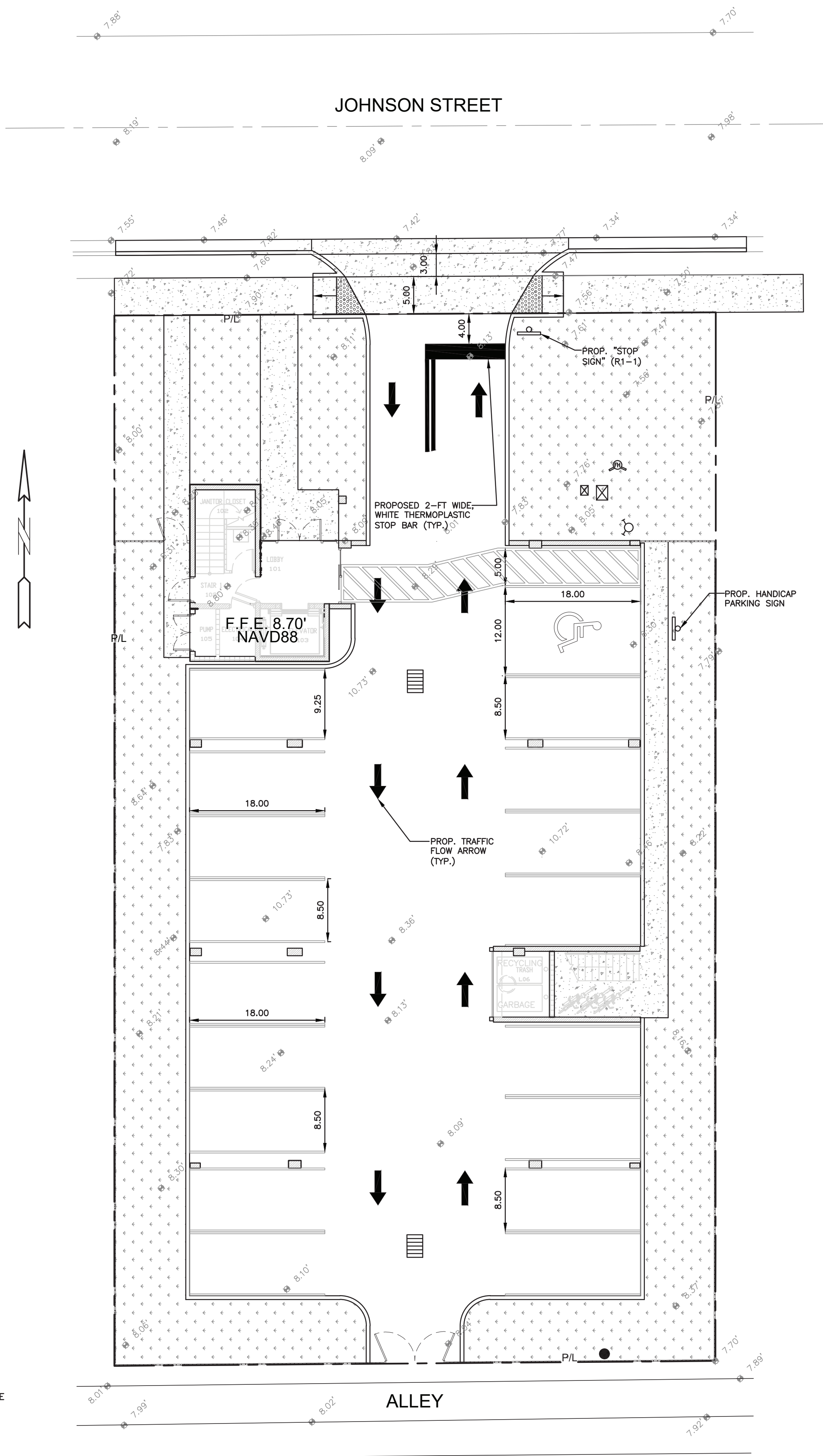
SCALE: N.T.S.

SHEET NO.:

C3

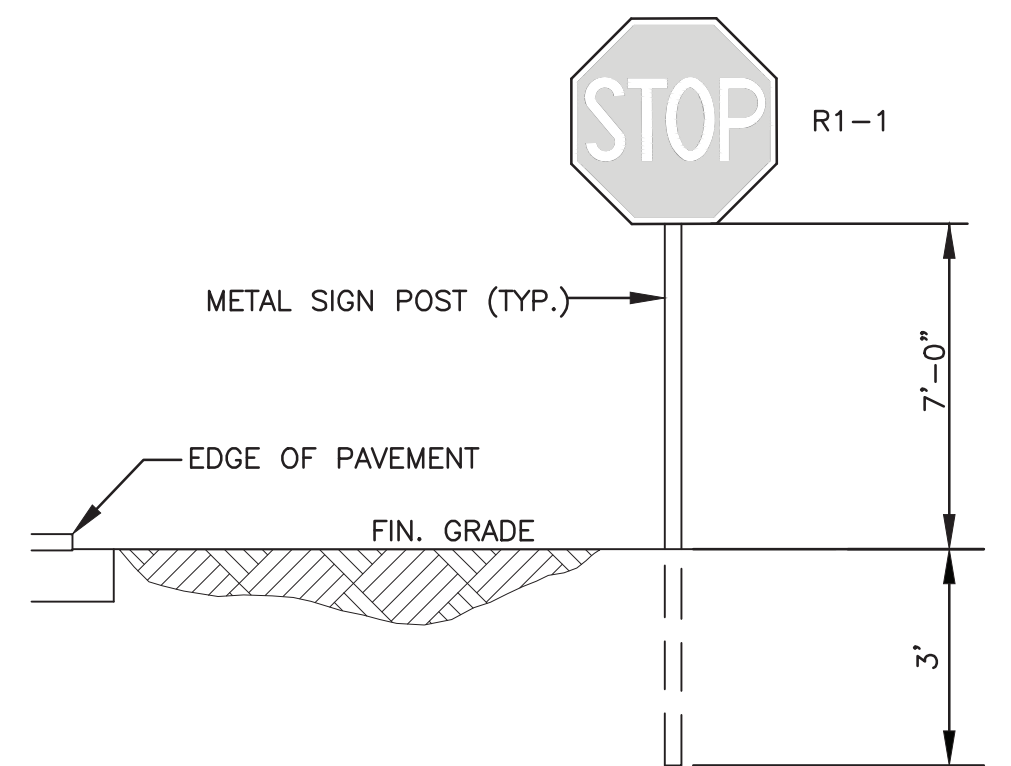
3 OF 6

PROJECT NO.: 21-93



LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

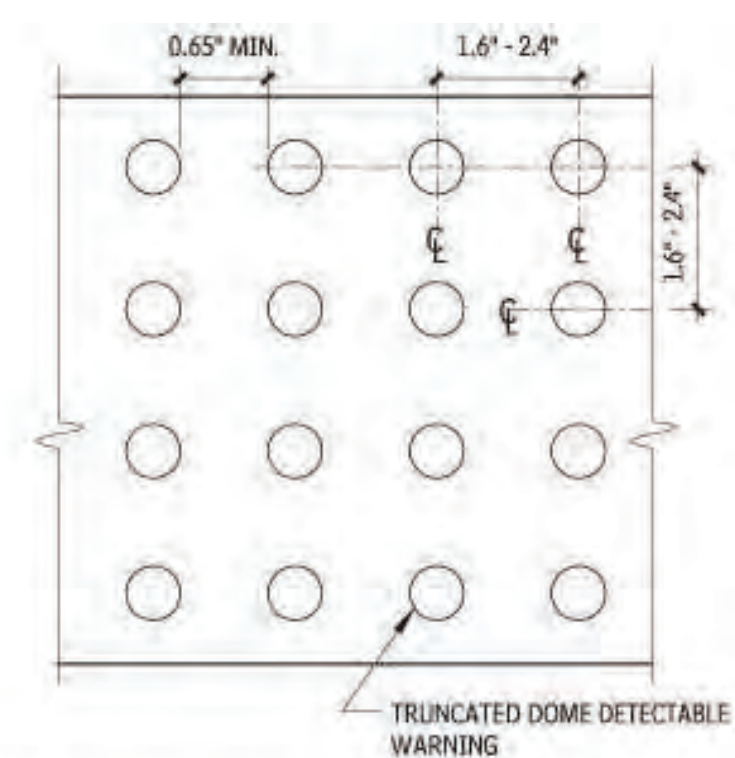
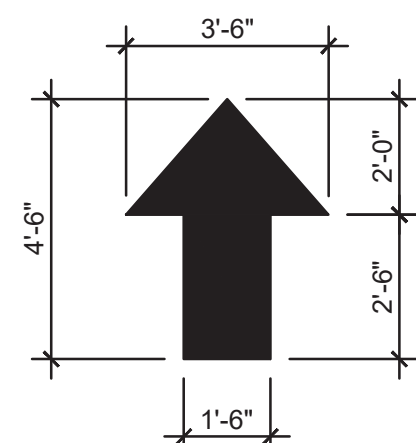


TYPICAL SIGN INSTALLATION DETAIL
NTS

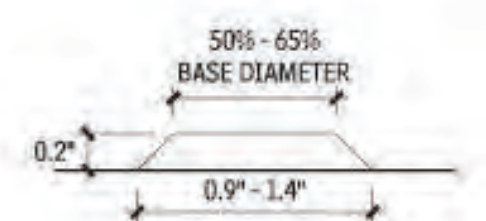
TRAFFIC CONTROL ARROWS: DIRECTIONAL
ARROWS PAINTED ON CONCRETE - SEE
LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM
OF 2-COATS OF D.O.T. APPROVED PAINT -
UTILIZE "YELLOW" COLORED PAINT ON
CONCRETE.

TRAFFIC CONTROL ARROWS DETAILS
NTS

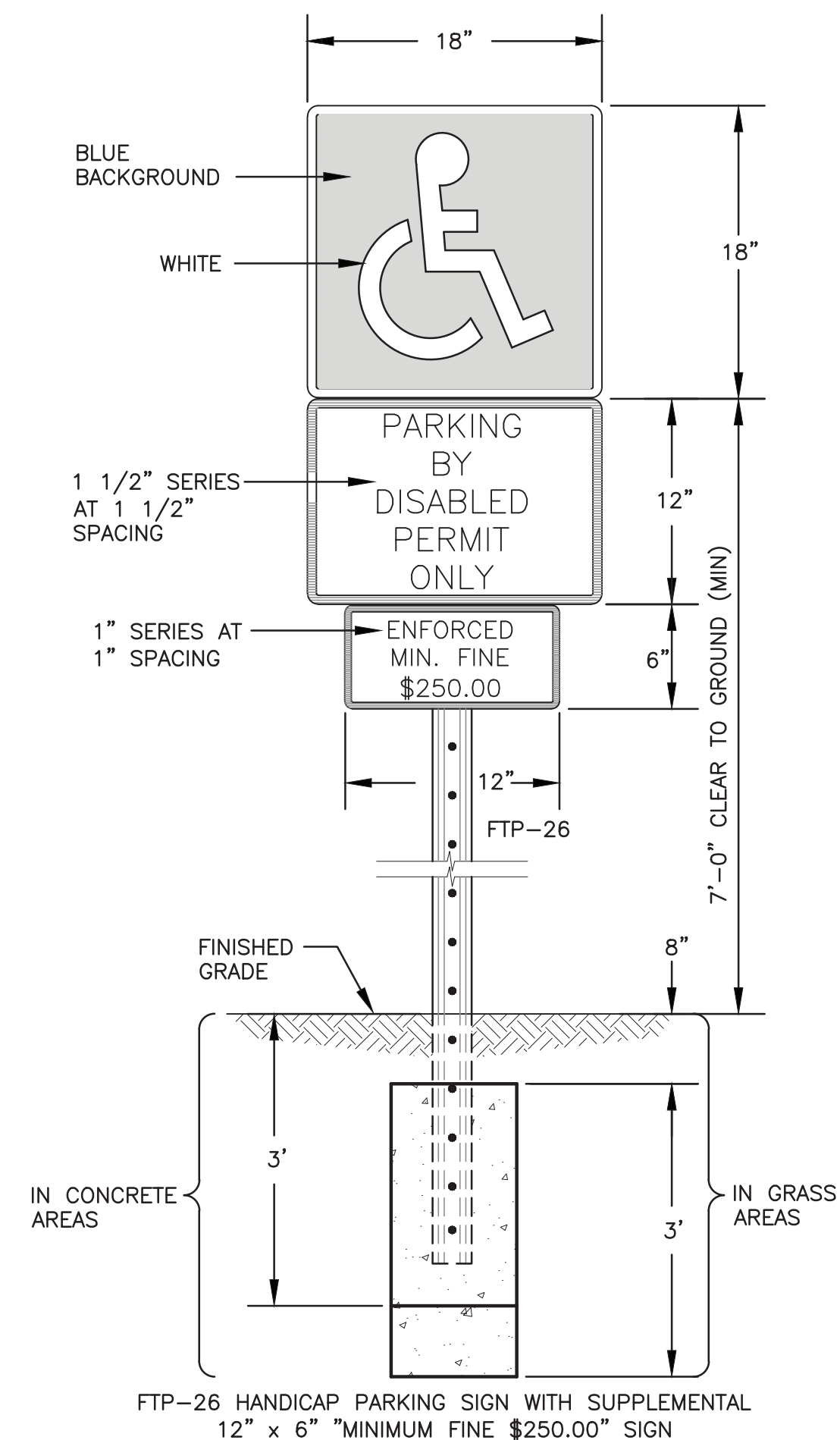


PLAN



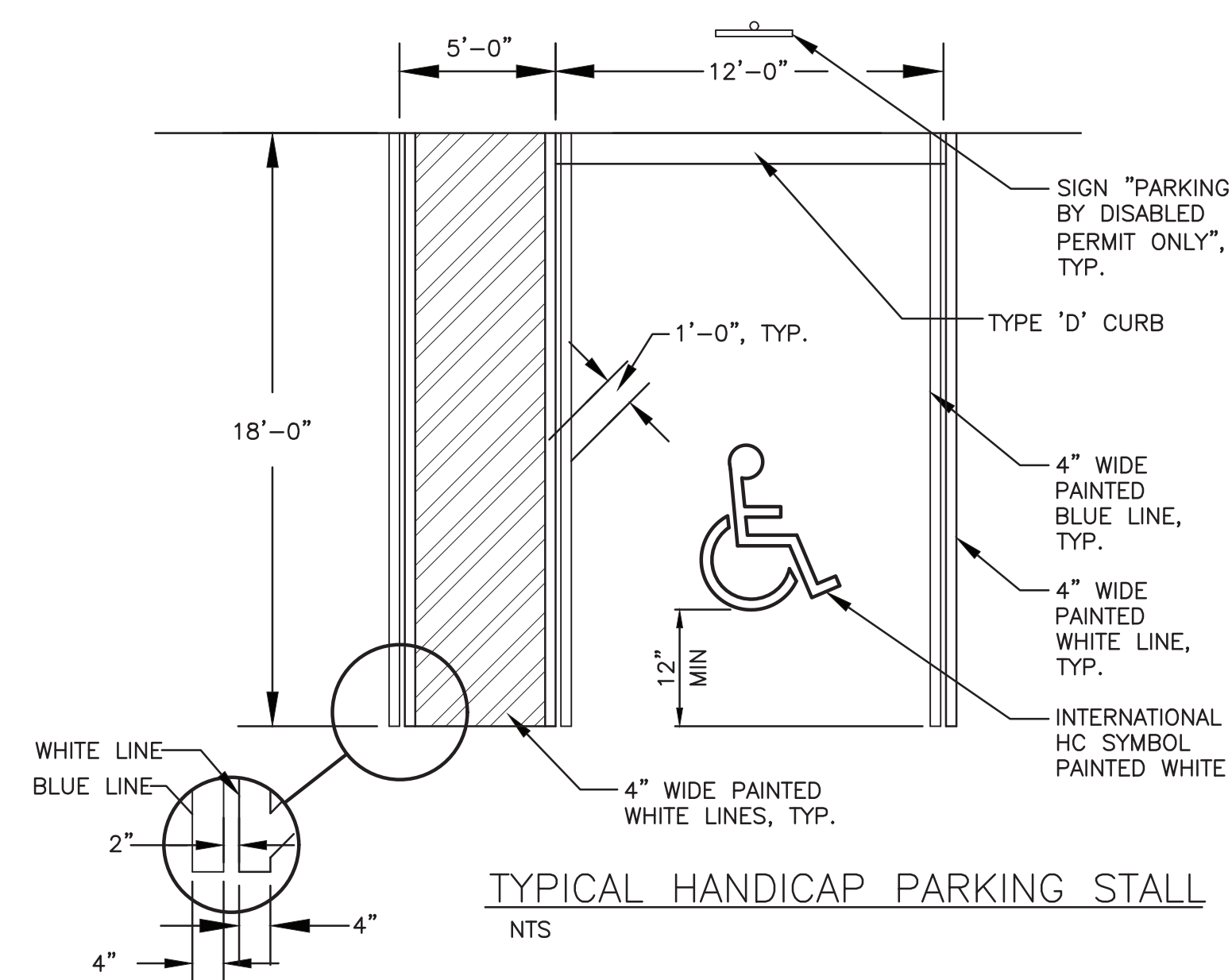
ELEVATION

TRUNCATED DOME SIZE AND SPACING

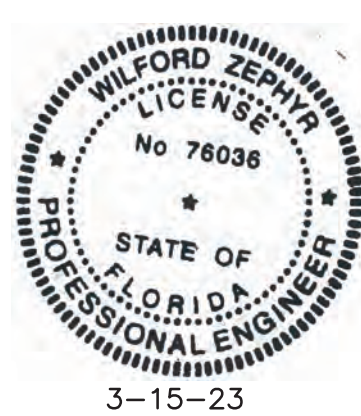


- NOTES:
- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

HANDICAP PARKING SIGN DETAIL
NTS



TYPICAL HANDICAP PARKING STALL
NTS



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ON ANY ELECTRONIC COPIES.

PAVEMENT MARKINGS & SIGNAGE PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

ZE

PROPOSED MULTIFAMILY BUILDING
1926 JOHNSON STREET
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 8/29/22

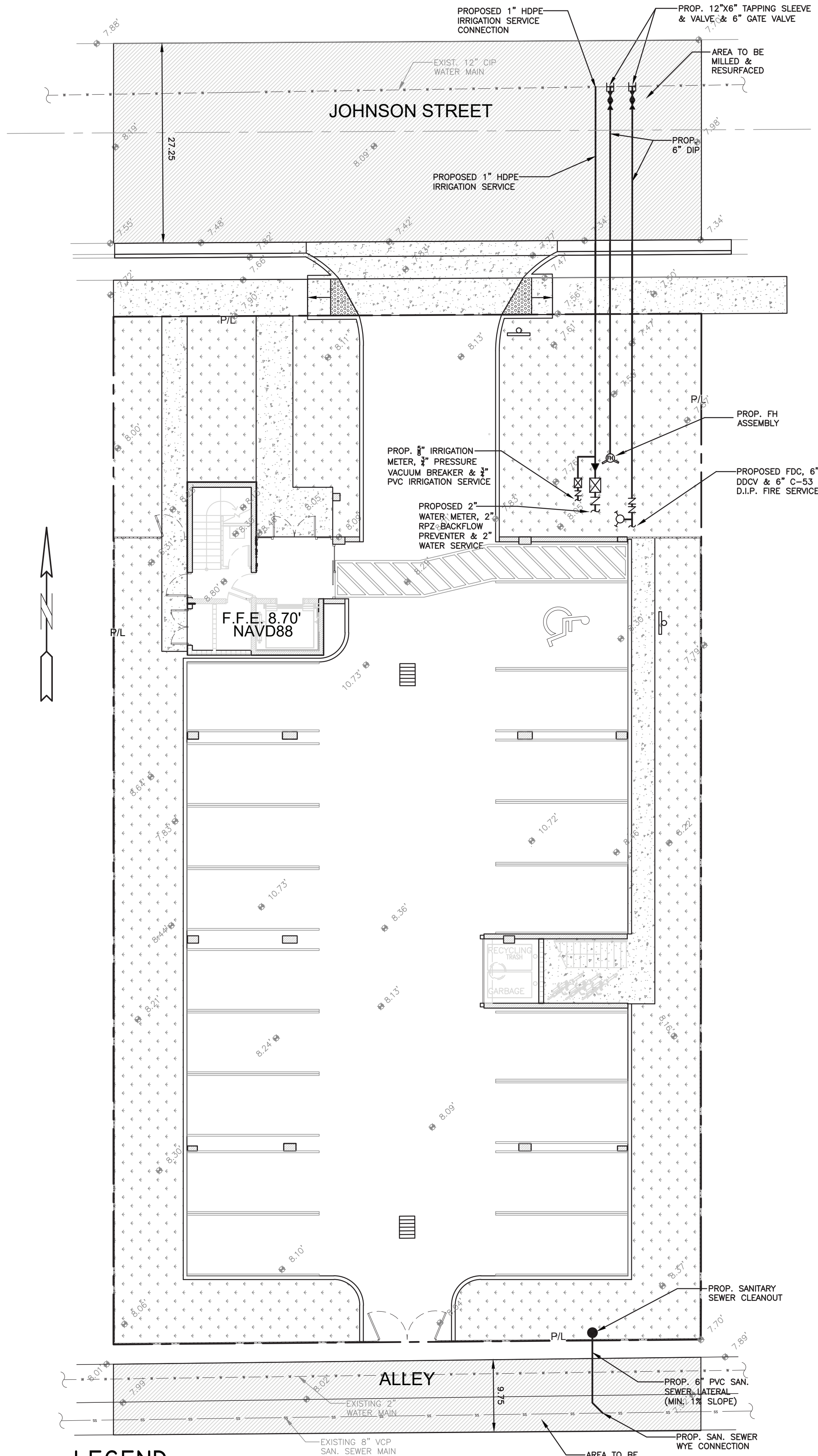
SCALE: 1"=10'

SHEET NO.:

C4

4 OF 6

PROJECT NO.: 21-93



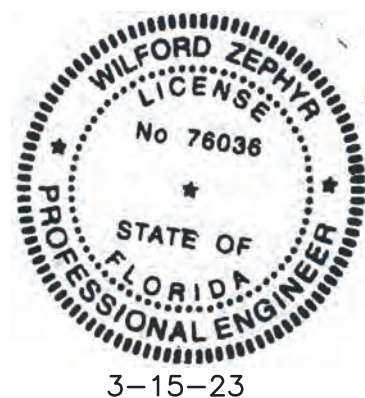
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

WATER & SEWER DEMAND CALCULATIONS:

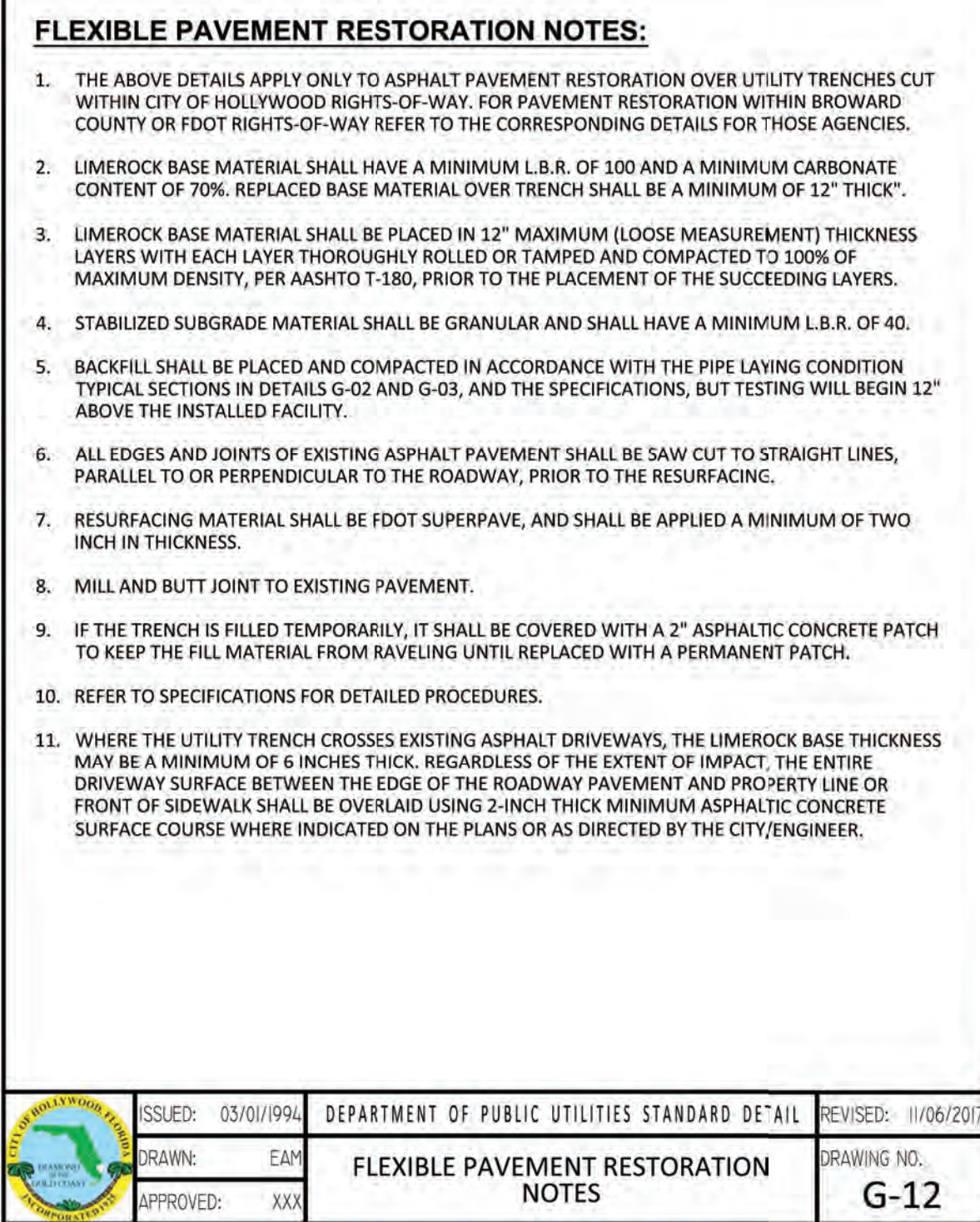
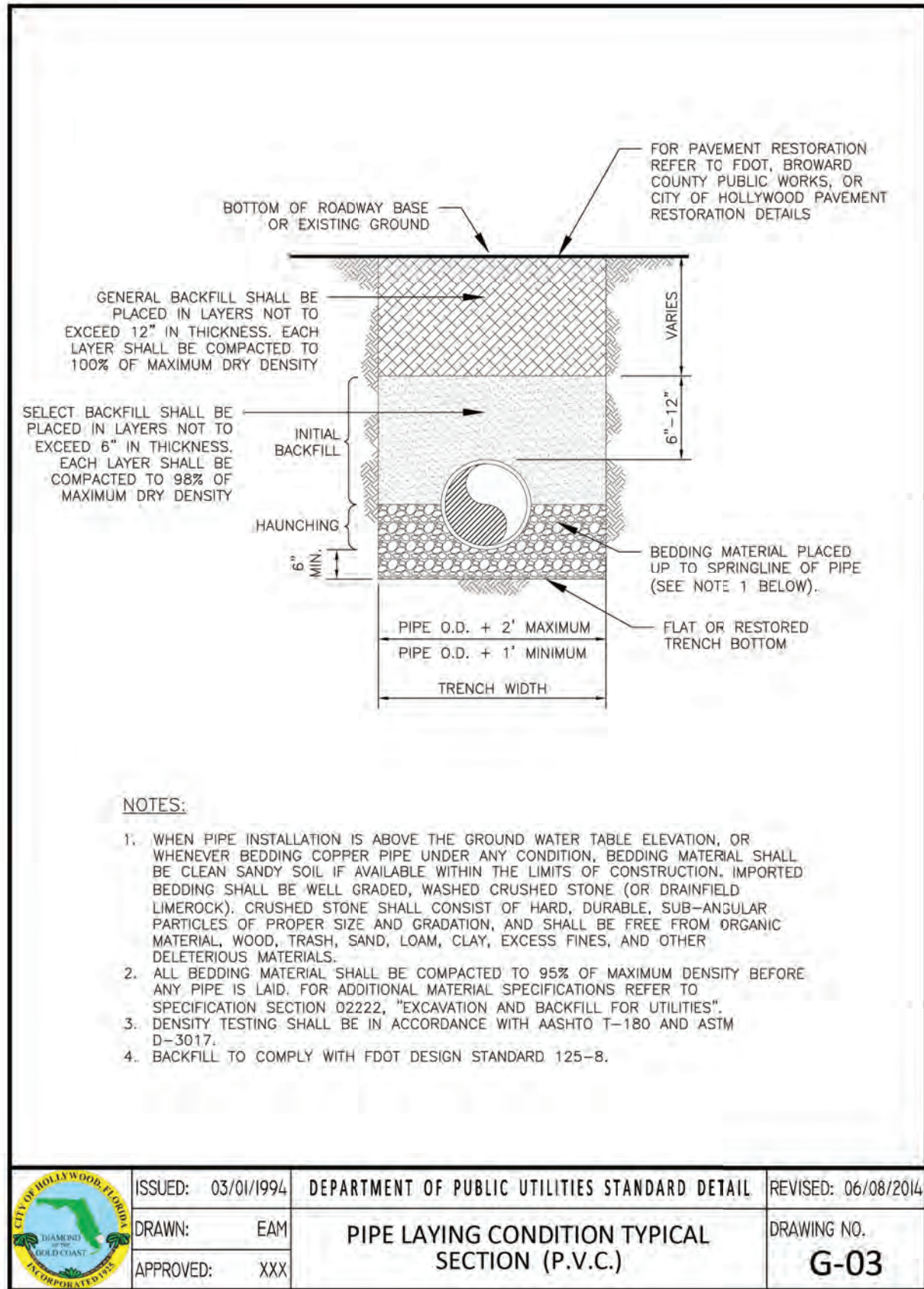
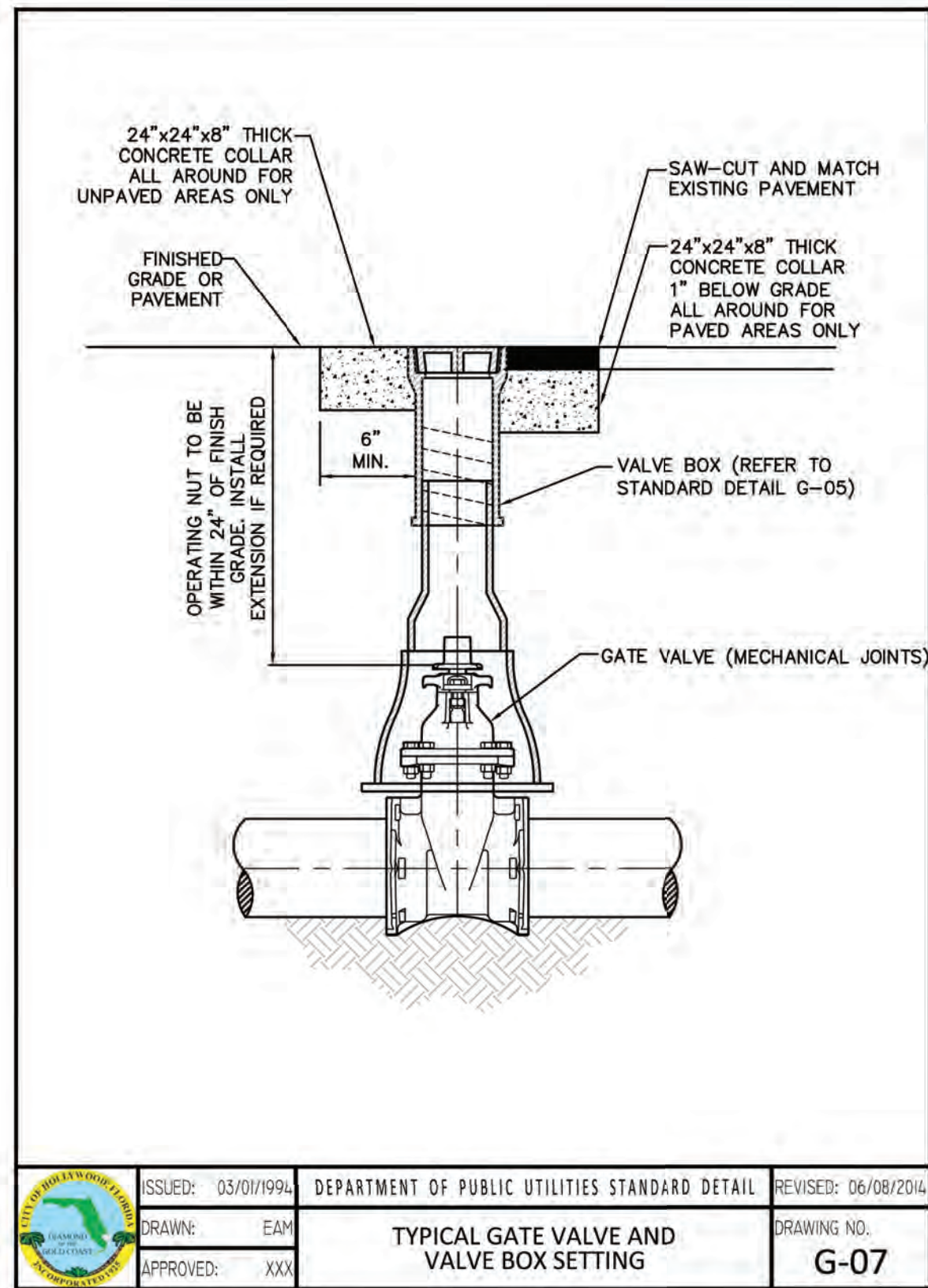
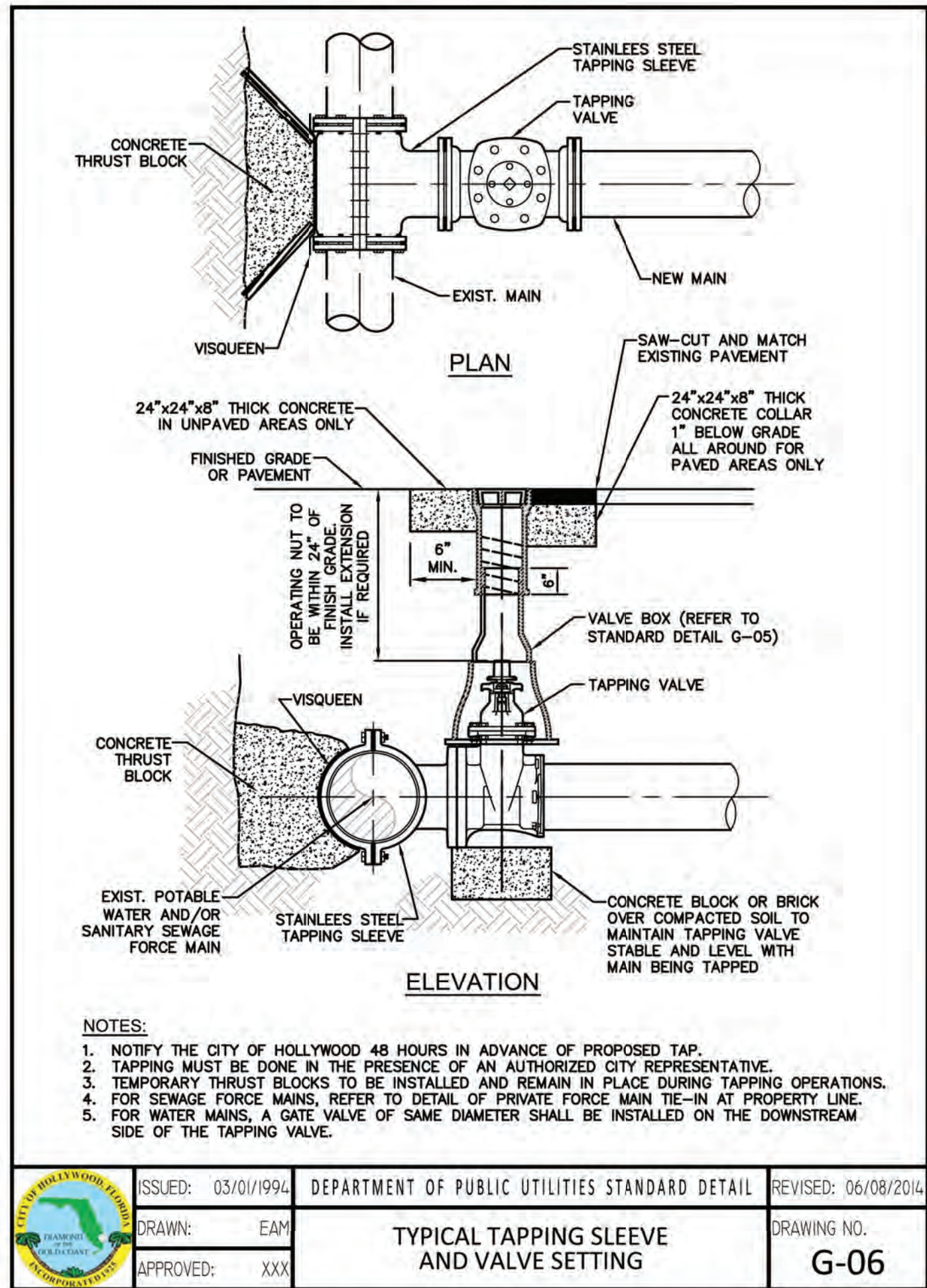
PROJECT INFO:
8 RESIDENTIAL UNITS
WATER DEMAND
(8 RESIDENTIAL UNITS)X(141 GPD/UNIT)=1,128 GPD
WASTEWATER DEMAND
(8 RESIDENTIAL UNITS)X(100 GPD/UNIT)=800 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT RESIDENTIAL UNIT FACTORS PUBLICATIONS)

NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.



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- LEGEND
- PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED CATCH BASIN
 - EXISTING CATCH BASIN
 - PROPOSED WATER METER
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - PROPOSED BFP DEVICE
 - EXISTING SAN. SEWER MH
 - EXISTING FIRE HYDRANT

WATER & SEWER PLAN & DETAILS

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

PROPOSED MULTIFAMILY BUILDING

1926 JOHNSON STREET

HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 8/29/22

SCALE: 1"=10'

SHEET NO.: C5

5 OF 6

PROJECT NO.: 21-93

