ATTACHMENT A

Application Package

PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: 06/14/2025

2600 Hollywood Blvd
Room 315
Hollywood, FL 33022
Tel: (954) 921-3471
Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans *(i.e. Architect or Engineer)*
- One electronic **combined** PDF submission *(max. 25mb)*
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES

APPLICATION TYPE:

- ☐ Technical Advisory Committee
- ☐ City Commission
- ☐ Variance/Special Exception Requested
- ☐ Administrative Approvals
- ☐ Historic Preservation Board
- ☒ Planning and Development Board

PROPERTY INFORMATION

Location Address: 2420 -2430 LICOLN STREET HOLLYWOOD

Lot(s): 27 **Block(s):** 14 **Subdivision:** HOLLYWOOD LITLE RANCHES

Folio Number(s): 5142 1601 5510

Zoning Classification: RM-18 **Land Use Classification:** MULT-FAMILY

Existing Property Use: MULT-FAMILY **Sq Ft/Number of Units:** 3700 SQ FT / 2 UNITS

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File/Resolution/Ordinance No.:

DEVELOPMENT PROPOSAL

Explanation of Request: BUILD 8 TOWNHOMES FOR RENT LONG TERM INVESTMENT

Phased Project: Yes / No NO **Number of Phases:**

Project	Proposal		
Units/rooms (# of units)	8/3	(Area: PER UNIT 1828	S.F.)
Proposed Non-Residential Uses	0		S.F.
Open Space (% and SQ.FT.)	50%	(Area: 11500	S.F.)
Parking (# of spaces)	11	(Area: 1770.5	S.F.)
Height (# of stories)		(30	FT.)
Gross Floor Area (SQ. FT)	16,452		

Name of Current Property Owner: AVIVA & SAM LLC

Address of Property Owner: 1835 E HALLANDALE BCH BLVD #761 HALLANDALE BEACH FL 33009

Telephone: 954 918-9573 **Email Address:** HADDADHOMES@YAHOO.COM

Applicant SAM HADDAD ☐ Consultant | ☒ Representative | ☐ Tenant (check one)

Address: 4925 ROOSEVELT STREET HOLLYWOOD **Telephone:** 4195091015

Email Address: HADDADHOMES@YAHOO.COM

Email Address #2:

Date of Purchase: 12 / 8 / 21 **Is there an option to purchase the Property? Yes ☐) No ☒)**

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) :

E-mail Address:

PLANNING DIVISION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only):_____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: SAM HO **Date:** 06/14/2025

PRINT NAME: AVIVA &SAM LLC **Date:** 06/14/2025

Signature of Consultant/Representative: SALAM HADDAD **Date:** 06/14/2025

PRINT NAME: SALIM HADDAD **Date:** 06/14/2025

Signature of Tenant: _____ **Date:** _____

PRINT NAME: _____ **Date:** _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____to be my legal representative before the _____(Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this _____ day of _____

_____

Signature of Current Owner

_____

Print Name

_____

Notary Public

State of Florida

My Commission Expires:_____(Check One) ___Personally known to me; OR ___ Produced Identification _____

ALTA/NSPS
LAND TITLE SURVEY

DESCRIPTION:

LOT 27, BLOCK 14, "AN AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES.", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SURVEYOR NOTES:

1). THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.

2). THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.

3.) THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSITUTE A WARRANTY OR GUARANTEE,

4.) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.

5.) BENCHMARK REFERENCE - NATIONAL GEODETIC SURVEY DESIGNATION - M 312, PID - AD2500, ELEVATION = 13.44

6.) ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.

7.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.

8). THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.

9.)NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF POLK STREET.

10.)ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

11.)RESERVATION FOR 5' SIDEWALK DEDICATED BY PLAT FOR PUBLIC USE.

12.)WATER SERVICE MAIN LOCATED NEAR REAR PROPERTY LINE UNABLE TO FIELD LOCATE UNKNOWN SIZE. CALL FOR LOCATES BEFORE DIGGING.

SUMMARY TABLE OF TITLE EXCEPTIONS

STANDARD EXCEPTIONS

FUND FILE NUMBER 1339059 DATED: NOVEMBER 8, 2022

EXCEPTIONS	DESCRIPTION	COMMENTS
1.	Special taxes, assessments (shown as paid)	Not a Survey Matter
2.	Rights or claims of parties	Not a Survey Matter
3.	Encroachments, overlaps	See Survey - fence encroachment
4.	Unrecorded Easements	Ingress/Egress - See Survey
5.	Liens for services not recorded	Not a Survey Matter
6.	Any adverse claim by the State of Florida by right of Sovereignty	
7.	Federal Liens and Judgment Leins, if any	Not a Survey Matter
8.	Any Lien provided by County Ordinance or by Chapter 159, F.S.	Not a Survey Matter

RESTRICTIONS / EASEMENTS

1. All matters contained on the Plat of An Amended Plat of Hollywood Little Ranches, Plat Book 1, Pg. 26, Broward County Records.
2. Ordinance #76, O.R.B. 8136, Pg. 244, B.C.R. - Street Naming
3. Resolution recorded in O.R.B. 45500, Pg. 1751, B.C.R. #05-DP-103a - Development Review Board - 8 Townhomes
4. Resolution recorded in O.R.B. 43034, Pg. 1937, B.C.R. #06-DPV-103 - Development Review Borad - 8 Townhomes
5. Rights of Lessees - unrecorded leases - Not a Survey Matter

TITLE SEARCH REPORT
FURNISHED BY ATTORNEYS' TITLE FUND SERVICES, LLC
PROVIDED FOR: USA TRUST TITLE, LLC
AGENT'S FILE REFERENCE: AVIVA AND SAM
PREPARED DATE: NOVEMBER 16, 2022

SURVEY CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, EFFECTIVE FEBUARY 23, 2021
AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(LIMITED), AND 13 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON NOVEMBER 18, 2022

LAND AREA/PROPERTY SIZE:
GROSS: 22,500 SQUARE FEET - 0.52 ACRE
(TO RIGHT-OF-WAY CENTERLINE)
NET: 20,500 SQUARE FEET - 0.47 ACRE

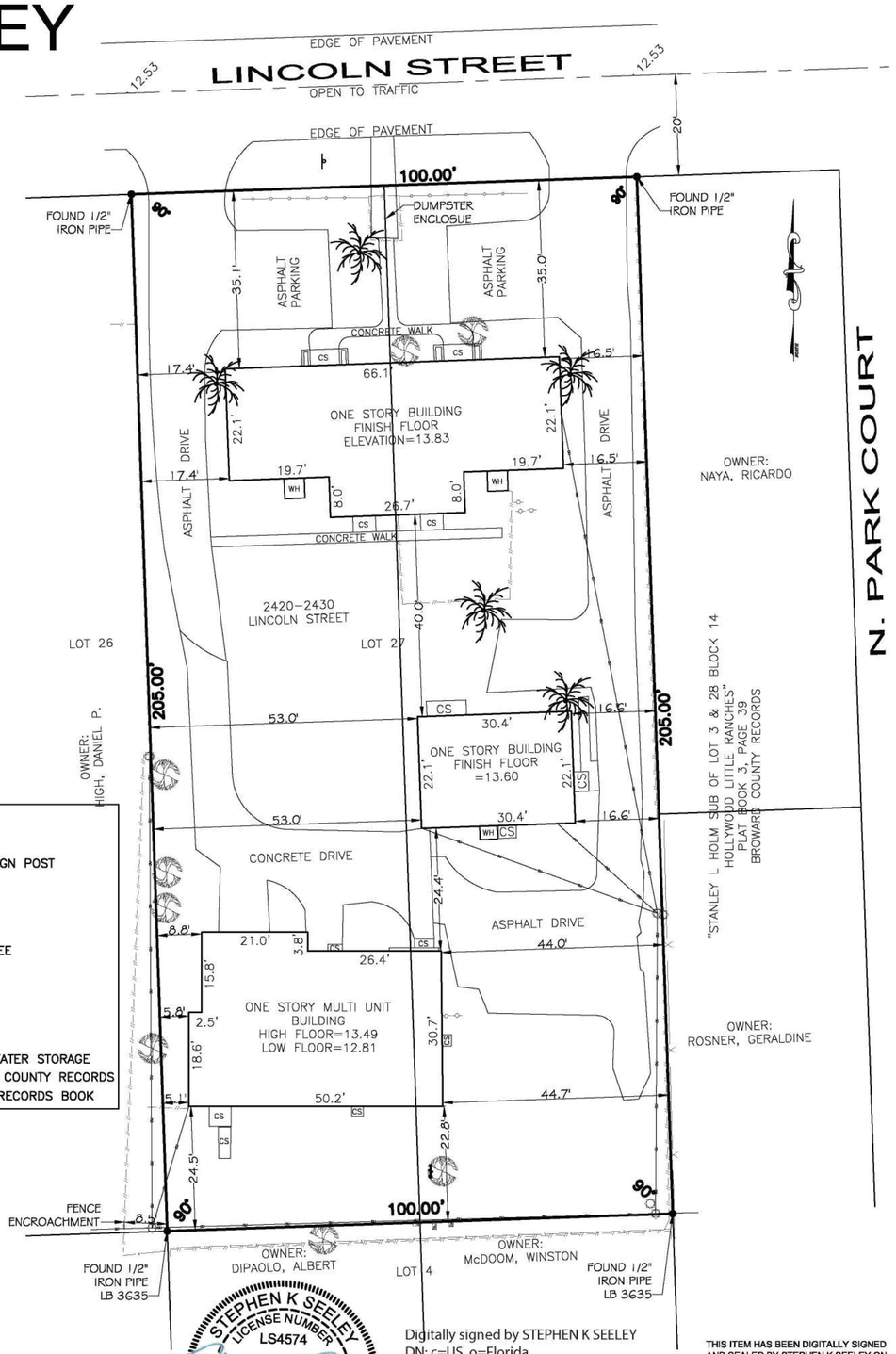
LOCATION MAP
NOT TO SCALE

GRAPHIC SCALE
20 0 10 20 40
(IN FEET)
1 INCH = 20 FEET

FEMA FLOOD
INSURANCE RATE MAP
HOLLYWOOD
BROWARD COUNTY, FLORIDA
125113
ZONE X
BASE FLOOD ELEVATION=N/A
PANEL No. 12011 C0 569 H
FIRM DATE- 08/18/2014

LEGEND

x x	CHAIN/LINK FENCE		TRAFFIC SIGN POST
// // // //	WOOD FENCE		CLEANOUT
	CONCRETE WALL	CONC.	CONCRETE
SS	SANITARY SEWER LINE		LARGE TREE
WL	WATER LINE		PALM
OU	OVERHEAD UTILITY		ELEVATION
	CENTERLINE		
	RIGHT-OF-WAY LINE		
	WATER METER	WH	WATER HEATER STORAGE
	WOOD POWER POLE	B.C.R.	BROWARD COUNTY RECORDS
CS	CONCRETE SLAB	O.R.B.	OFFICIAL RECORDS BOOK



CERTIFIED TO:

AVIVA & SAM LLC, A FLORIDA LIMITED LIABILITY COMPANY

THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OT THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO, FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT/AGREEMENT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL. COPYING, DISTRIBUTING OR RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR.
NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.

STEPHEN K SEELEY
LICENSE NUMBER
LS4574
STATE OF FLORIDA
Professional Surveyor and Mapper

Digitally signed by STEPHEN K SEELEY
DN: c=US, o=Florida, dnQualifier=A01410C0000018182074A9000 00BA1A, cn=STEPHEN K SEELEY
Date: 2022.12.08 15:25:53 -05'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY STEPHEN K SEELEY ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISION	DATE	BY

ALTA/NSPS
LAND TITLE SURVEY

JOB #:RN9294	DATE: 11/18/2022	DRAWN BY: CM
SCALE: 1"=20'	SHEET 1 of 1	CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

STEPHEN K. SEELEY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574

GIBBS LAND SURVEYORS
2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018

BROWARD COUNTY Planning Council

February 13, 2024

Ronnie Shoua
TRS Properties USA, LLC
1014 Northwest 155 Terrace
Pembroke Pines, Florida 33028

Via Email Only

Dear Mr. Shoua:

Re: Platting requirements for a parcel legally described as Lot 27, Block 14, "Hollywood Little Ranches," according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Lincoln Street, between North Park Court and North 26 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.47 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Huda Ashwas at your convenience.

Respectfully,

Barbara Blake Boy
Executive Director

BBB:HHA

cc/email: George R. Keller, Jr., CPPT, City Manager
City of Hollywood

Andria Wingett, Director, Development Services
City of Hollywood

Hydrant Flow Test Procedure

Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1** & **F2** simultaneously and record GPM separately from **F1** and **F2** and record **P** hydrant residual.

Legend:

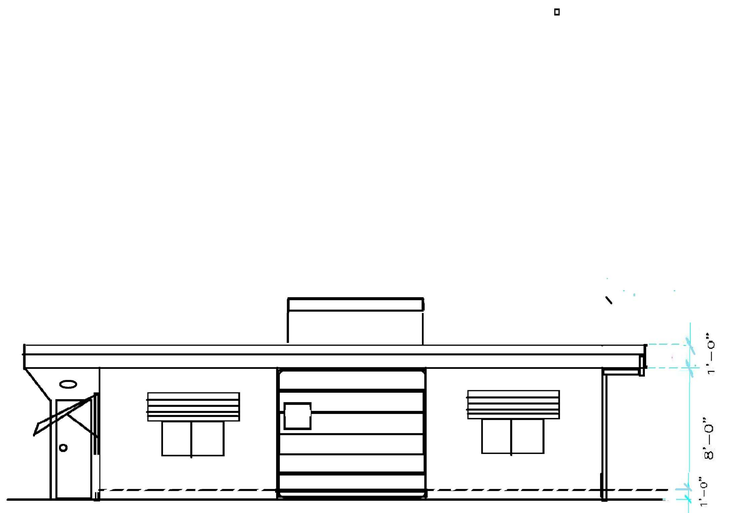
F1 & F2	**Designation shall represent first and second flowed hydrants respectively**
P	**Designation shall represent test hydrant for static and residual distribution system pressures.**

HADDAD HOMES INC

Date: 2-6-2025	**Time:** 10:15 AM	**Static Pressure -**	62

Residual/Static Hydrant	Address/Location	Residual Pressures	
		F-1 Only	F-2 Only
P - Hydrant FH001693	2400 Lincoln St.	60	57
		F-1& F-2	57

Flow Hydrants	Address/Location	Flow Rate
F-1 Hydrant (Individual) FH001205	900 Johnson St.	GPM 900
F-2 Hydrant (Individual) FH001690	2400 Pierce St.	GPM 1090
F-1 Hydrant (Both Flowing)		GPM 840
F-2 Hydrant (Both Flowing)		GPM 1060

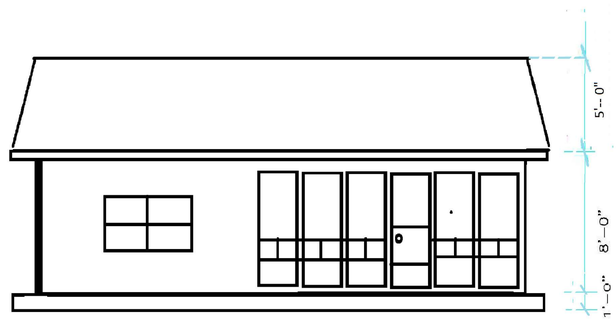


HOUSE AT THE LEFT

property line

PROPOSED BUILDING

property line



HOUSE AT THE RIGHT

2420-2430 LINCOLN STREET
STREET PROFILE

PVC PANEL
COLOR BRONZE

STUCCO FINISH
COLOR COOL GREY

ALUMINUM RAILING
COLOR BRONZE

8 UNIT TOWNHOMES

2420 2430 LINCOLN STREET

HOLLYWOOD , FLORIDA

N LOCATION PLAN

SCALE: 1/8"=1'-0"

Miguel de Diego
ARCHITECT P.A.
AA-26001641

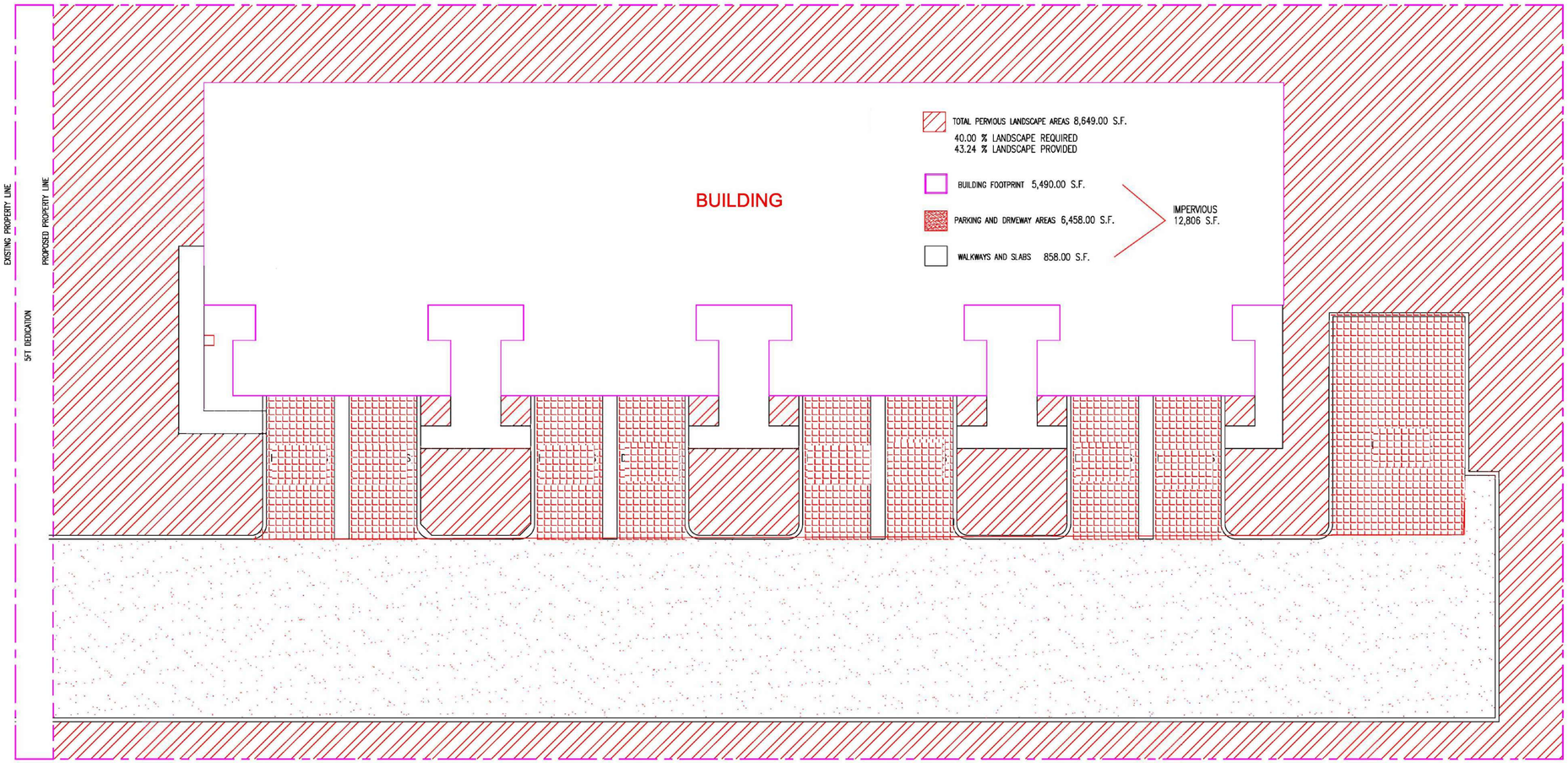
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

DRAWING INDEX

PACO MEETING 12-2022
TAC MEETING 10-2023

FINAL TAC MEETING 1-22-2024

STATE OF FLORIDA
MIGUEL DE DIEGO
A.R.
No.13378
REGISTERED ARCHITECT



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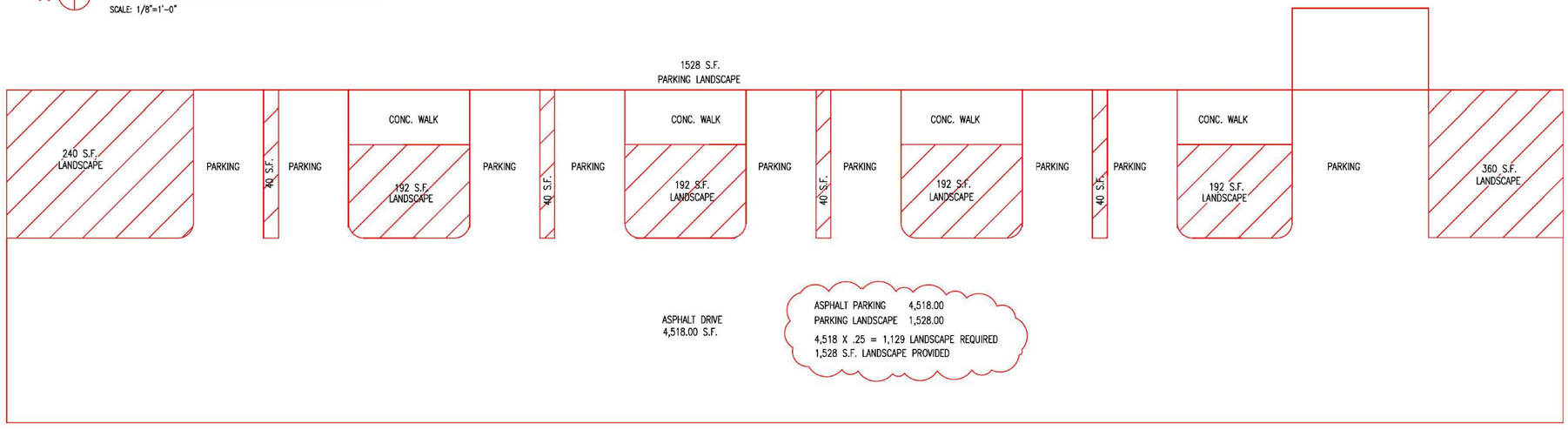
SITE DISTRIBUTION PLAN

SCALE: 1/8"=1'-0"



PARKING LANDSCAPE CALCULATION

SCALE: 1/8"=1'-0"

NO.	DATE	REVISION
1	4-8-2024	PLANING COMMENTS
2	5-30-2024	REMOVED LAST UNIT

8 UNIT TOWNHOMES

2420 2430 LINCOLN STREET
HOLLYWOOD , FLORIDA

Migue l F de Diego

Digitally signed by Miguel F de Diego
Date: 2025.03.07 13:39:30 -05'00'

Miguel de Diego
ARCHITECT P.A.
AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

CHECKED
DRAWN
DATE 5-8-2023
COMM. NO. 21-196

STATE OF FLORIDA
MIGUEL DE DIEGO
A.R. No.13378
REGISTERED ARCHITECT

A-2
6

GREEN BUILDING REQUIREMENTS (151.153)

1. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
2. PROVIDE PROGRAMABLE THERMOSTATS
3. PROVIDE DUAL FLUSH TOILETS. VERIFY TO USE LESS THAN ONE GALLON TO FLUSH LIQUIDS AND 1.6 GALLONS OR LESS FOR SOLIDS.
4. PROVIDE MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT. MERV OF AT LEAST 8 SHALL BE VERIFIED BY THE MECHANICAL INSPECTOR ON SITE AT FINAL INSPECTION.
5. ALL OUTDOORS LIGHTS INCLUDING FLUORECENT BULBS AND FIXTURES WITH ELECTRONIC BALLAST LOW PRESSURE SODIUM OR MERCURY VAPOR, PHOTOVOLTAIC SYSTEM, LED LIGHTING AND LOW VOLTAGE LANDSCAPE LIGHTS THAT RUN ON TIMER. ALL ENERGY EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY THE ELECTRICAL INSPECTOR AT FINAL INSPECTION.
6. AT LEAST 80% OF PLANTS, TREES AND GRASSES PER SO. FL. WATER MANAGEMENT DISTRICT RECOMMENDATIONS
7. ALL WINDOWS TO BE IMPACT LOW E RATED
8. ALL HOT WATER PIPES TO BE INSULATED
9. ALL UNITS TO HAVE TANKLESS WATER HEATERS
10. ROOF MATERIAL TO BE ENERGY STAR COMPLIANCE

ZONED RM-18

FLOOD ZONE "X"

JOB ADDRESS:

2420 2430 LINCOLN STREET
HOLLYWOOD , FLORIDA

CUMULATIVE AVERAGE SQ. FT.

TOTAL UNDER AIR S.T. = 13,400 S.F.
13,400 / 12 = 1,117 S.F. CUMULATIVE AVERAGE

LEGAL DESCRIPTION:

LOT 27, BLOCK 14 OF HOLLYWOOD LITTLE RANCHES
PLAT BOOK 1 PAGE 26 BROWARD COUNTY FLORIDA

SETBACKS

		REQUIRED	PROVIDED
NORTH	FRONT (LINCOLN ST)	20'-0"	20'-6"
SOUTH	REAR	20'-0"	23'-6"
EAST	INTERIOR SIDE	10'-0"	10'-0"
WEST	INTERIOR SIDE	10'-0"	48'-6"
	REAR PARKING	5'-0"	5'-0"
	BLDG HEIGHT	45'-0"	33'-0" (3 STORIES)

SITE	20,000 S.F.	
BUILDING FOOT PRINT	5,490 S.F.	27.45 %
REAR SLABS	144 S.F.	0.72 %
PARKING & DRIVEWAY	6,458 S.F.	29.45 %
LANDSCAPE TOTAL	8,649 S.F.	43.24 %
LANDSCAPE AT PARKING	1,711 S.F.	25.53 %

TOTAL PERVIOUS LANDSCAPE 8,649 S.F. = 43.24 %

PARKING CALCULATIONS

2 PARKING SPACE PER UNIT
8 UNITS = 16 PARKING SPACES REQUIRED
2 GUEST SPACES PROVIDED
TOTAL 18 SPACES PROVIDED

1

TYPICAL UNIT:

GROUND FLOOR

LIVING AREA	483.33 S.F.
GARAGE	238.00 S.F.
TOTAL	721.30 S.F.

SECOND FLOOR

AREA	581.66 S.F.

THIRD FLOOR

AREA	610.22 S.F.
TOTAL LIVING AREA	1,675.10 S.F.
TOTAL UNIT	1,913.10 S.F.

1

NOTE:

1. ALL SIGNAGE SHALL COMPLY WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
2. ROOF MATERIAL TO BE HIGH ALBEDO (TO BE DETERMINED BY THE OWNER)
3. FOOT CANDLE LEVEL AT PROPERTY LINE TO BE 0.5 MAX.
4. RAILINGS AT BALCONIES TO BE ALUM. AND SLAB TO BE CONCRETE

NOTE:

ANY CHANGES TO DESIGN INCLUDING MATERIAL CHANGES MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL PRIOR TO CONSTRUCTION.

ELECTRIC VEHICLE CHARGING

PROVIDE TWO EMPTY 3/4" COND.
JUNCTION BOX WITH BLANK PLATE. PROVIDE AS PER N.E.C. AND SAE J1772 TO A TWO GANG JUNCTION BOX WITH BLANK PLATE AT EACH GARAGE

BUILDING UNIT BREAKDOWN:

SINGLE BUILDING (3 STORIES) TOTAL 8 UNITS (TYP.)

EACH UNIT CONSIST OF THE FOLLOWING:

GROUND FLOOR:	SECOND FLOOR:	THIRD FLOOR:
FOYER	1 BEDRO & BATH	2 BEDROOMS
1 CAR GARAGE	FAMILY RM	2 BATHRMS
LIVING AREA	LAUNDRY	
KITCHEN		
POWDER ROOM		

TOTAL BUILDING CONSIST OF 24 BEDROOMS AND 24 BATHROOMS

NO.	DATE	REVISION
1	4-8-2024	PLANNING COMMENTS
2	5-6-2024	PLANNING COMMENTS

9 UNIT TOWNHOMES
2420 2430 LINCOLN STREET
HOLLYWOOD , FLORIDA

Miguel F de Diego

Digitally signed by Miguel F de Diego
Date: 2025.03.07 13:44:58 -05'00'

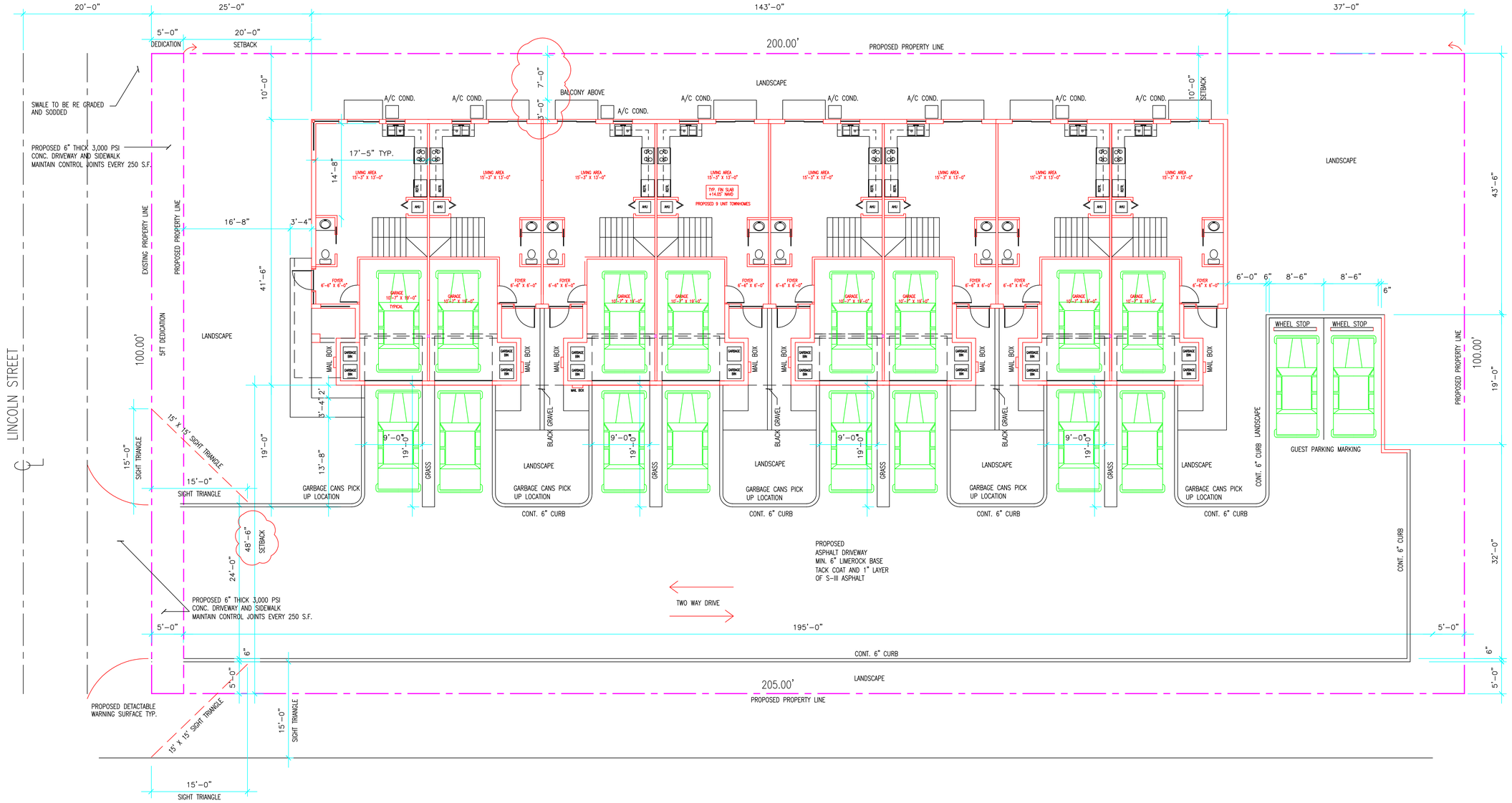
Miguel de Diego
ARCHITECT P.A.
AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

CHECKED
DRAWN
DATE 3-2-2022
COMM. NO. 21-196

STATE OF FLORIDA
MIGUEL DE DIEGO
A.R.
No.13378
REGISTERED ARCHITECT

A-3
6



N

SITE PLAN

SCALE: 1/8"=1'-0"
ZONED RM-18
FLOOD ZONE "X"

NOTE:
ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL

ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR ALTERED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE ASSIGNED TO ANY OTHER SITE OR PROJECT. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

NO.	DATE	REVISION
1	4-8-2024	PLANNING COMMENTS
2	5-30-2024	REMOVED LAST UNIT

8 UNIT TOWNHOMES
2420 2430 LINCOLN STREET
HOLLYWOOD , FLORIDA

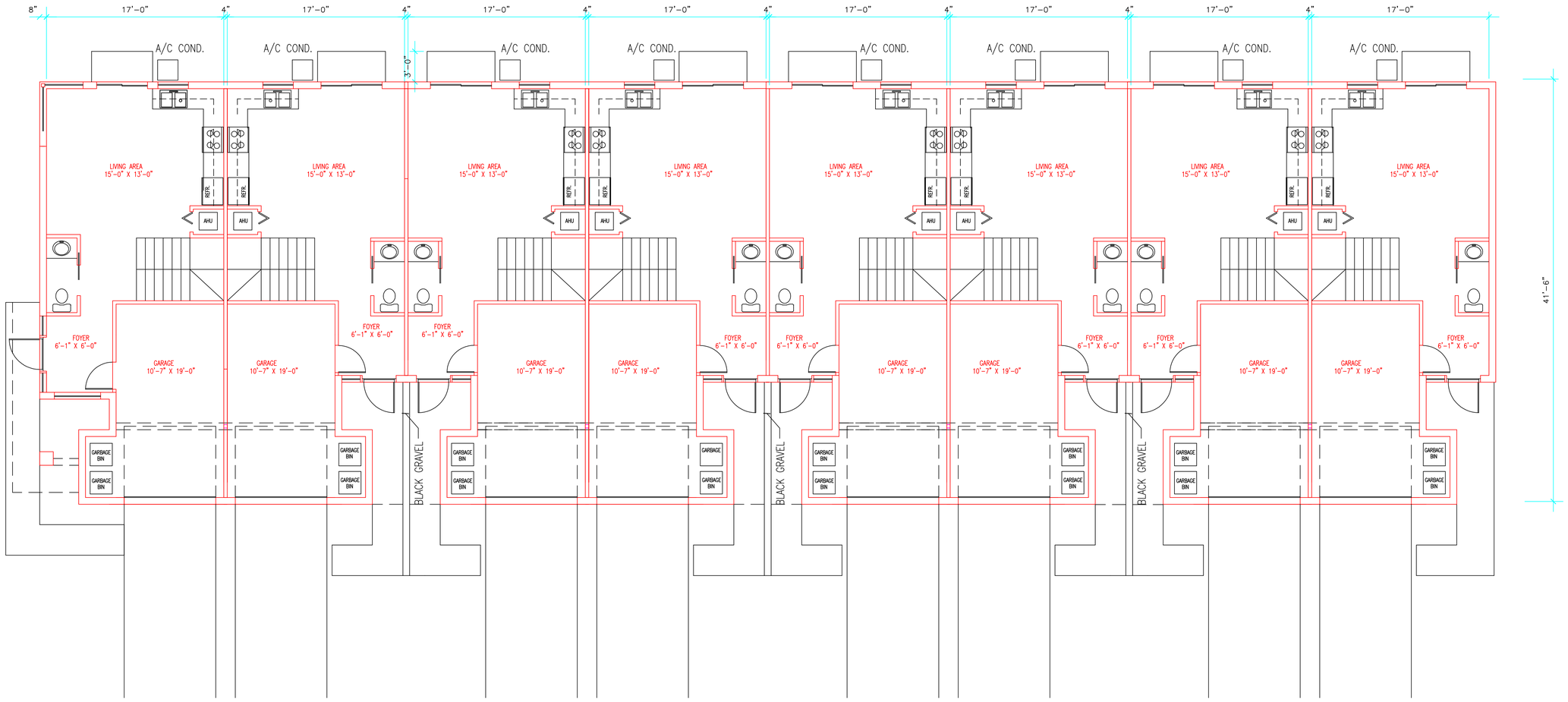
Miguel de Diego
ARCHITECT P.A.
AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

STATE OF FLORIDA
MIGUEL DE DIEGO
A.R. No.13378
REGISTERED ARCHITECT

CHECKED
DRAWN
DATE 5-8-2023
COMM. NO. 21-196

A-1
5



N

GROUND FLOOR PLAN

SCALE: 3/16"=1'-0"

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NO.	DATE	REVISION
1	5-6-2024	PLANING COMMENTS

8 UNIT TOWNHOMES

2420 2430 LINCOLN STREET

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A.R.
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A-3
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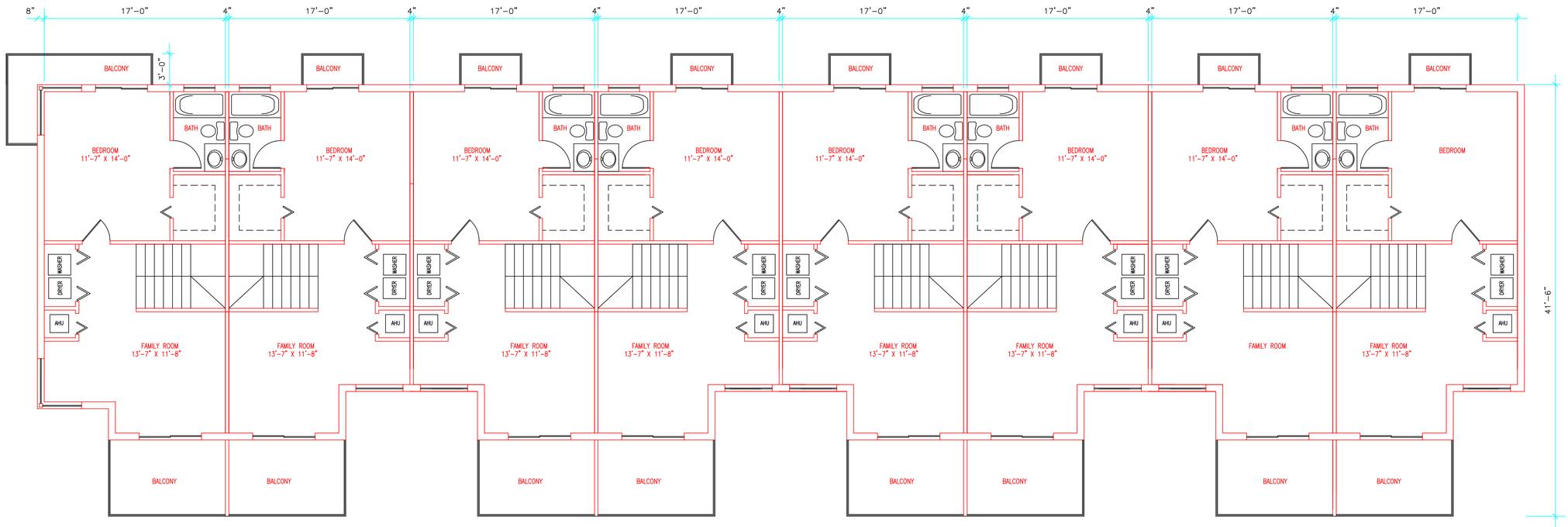
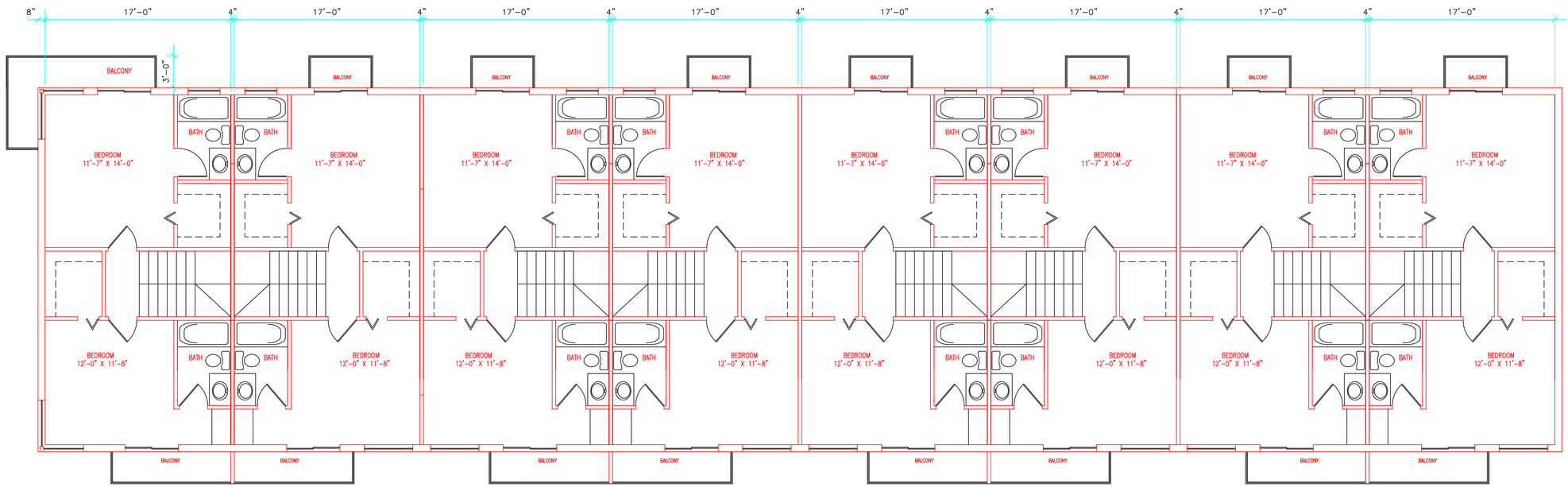


N SECOND FLOOR PLAN

SCALE: 3/16"=1'-0"



N THIRD FLOOR PLAN

SCALE: 3/16"=1'-0"

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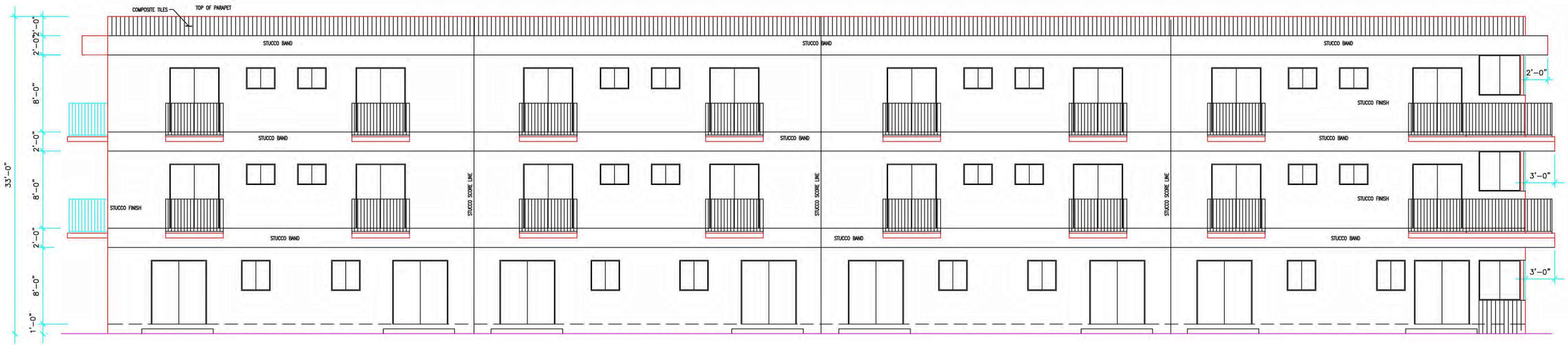
MIGUEL DE DIEGO
A.R.
No.13378
REGISTERED ARCHITECT

A-4
5

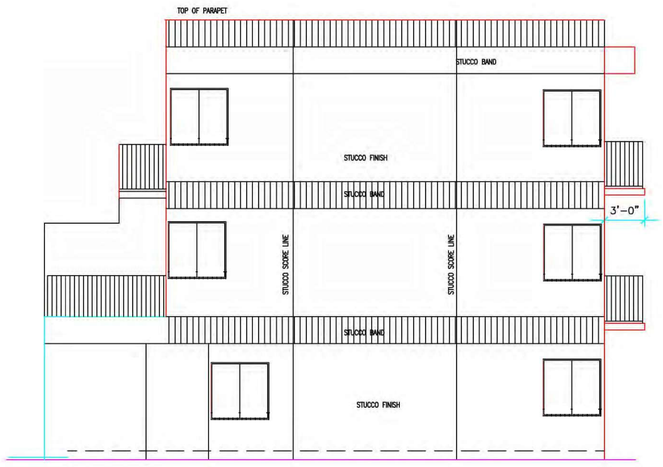
FRONT ELEVATION

SCALE: 3/16"=1'-0" WEST



REAR ELEVATION

SCALE: 3/16"=1'-0" EAST



RIGHT SIDE ELEVATION

SCALE: 3/16"=1'-0" SOUTH

LEFT SIDE ELEVATION

SCALE: 3/16"=1'-0" NORTH

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STATE OF FLORIDA
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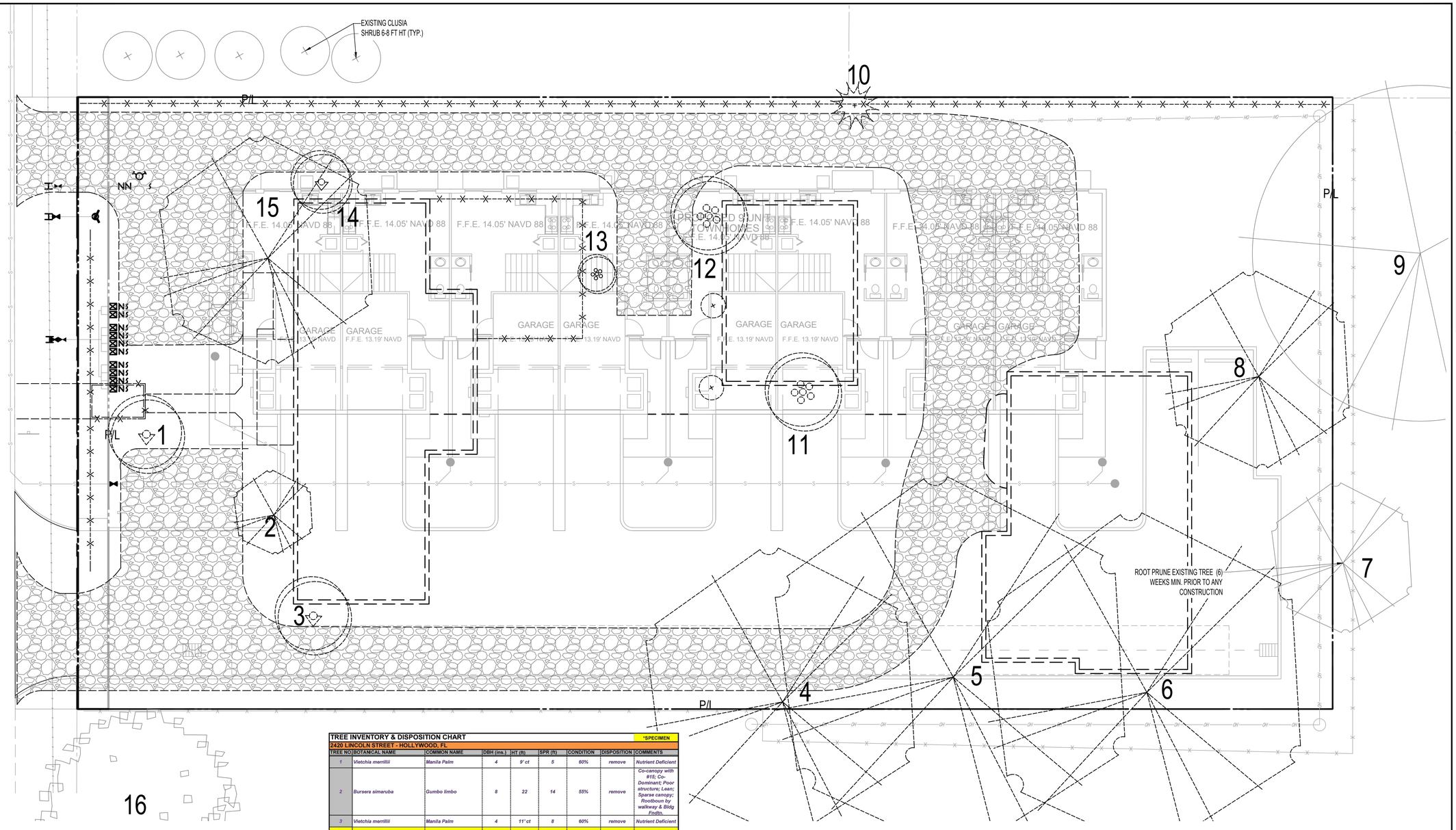
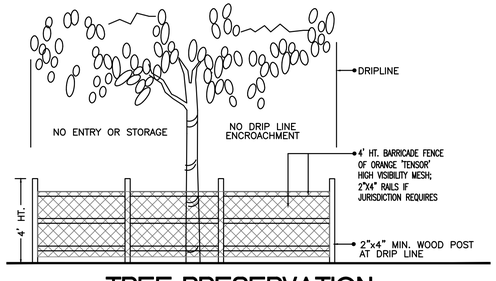
A-6
6





TREE PRESERVATION BARRICADE FENCING DETAIL

N.T.S.

TREE INVENTORY & DISPOSITION CHART — *SPECIMEN

2420 LINCOLN STREET - HOLLYWOOD, FL

TREE NO	BOTANICAL NAME	COMMON NAME	DBH (ins.)	HT (ft)	SPR (ft)	CONDITION	DISPOSITION	COMMENTS
1	*Vietchia merrillii*	Manila Palm	4	9' ct	5	60%	remove	Nutrient Deficient
2	Bursera simaruba	Gumbo limbo	8	22	14	55%	remove	Co-canopy with #15; Co-Dominant; Poor structure; Lean; Sparse canopy; Rootboun by walkway & Bldg Fndtn.
3	*Vietchia merrillii*	Manila Palm	4	11' ct	8	60%	remove	Nutrient Deficient
4*	Ficus citrifolia	Shortleaf Fig	60	58	48	65%	remove	SPECIMEN; OHW; Root Bound by Driveway; Multi-Dominant
5*	Ficus citrifolia	Shortleaf Fig	120	65	62.5	70%	remove	SPECIMEN; OHW; Root Bound by Driveway; Multi-Dominant
6	Ficus nitida	Indian Laurel Fig	30	62	56	65%	remove	Prohibited/ Not Protected; Root Bound & Adj. Bldg Fndtn.
7	Bursera simaruba	Gumbo limbo	11	32	25	60%	REMAIN	OHW; OFFSITE
8	Bursera simaruba	Gumbo limbo	16	32	33	60%	remove	OHW
9	Unknown		18	42	55	65%	REMAIN	OFFSITE
10	Cupaniopsis anacardioides	Carrotwood	3	10	8.5	60%	remove	Invasive
11	Dypsis lutescens	Areca Palm		12' oa	7	50%	remove	
12	Dypsis lutescens	Areca Palm		16' oa	8	55%	remove	
13	Dypsis lutescens	Areca Palm		8' oa	6	55%	remove	
14	Livistonia chinensis	Chinese Fan Palm		10' oa/4' ct	7	65%	remove	Adj. Bldg Fndtn.; Not Protected
15	Ficus benjamina	Weeping Fig	12	36	38	50%	remove	Prohibited/Not Protected; Root Bound & Adj. Bldg Fndtn.
16*	Coccoloba uvifera	Seagrape	30	38	32	70%	REMAIN	SPECIMEN; OFFSITE

NOTE: TREES LESS THAN 3" DBH DO NOT REQUIRE MITIGATION FOR REMOVAL

TREE MITIGATION CALCULATIONS	
TOTAL DBH INCHES OF PROTECTED TREES ON SITE:	203
TOTAL DBH INCHES TO REMAIN:	0
TOTAL DBH INCHES OF TREES TO BE REMOVED FROM SITE:	203
TOTAL PALMS ≥8' CT REMOVED FROM SITE:	5
TOTAL REPLACEMENT PALMS REQUIRED:	5
TOTAL REPLACEMENT PALMS PROPOSED:	5
TOTAL DBH REPLACEMENT REQUIRED:	203
TOTAL DBH REPLACEMENT PROPOSED (SEE L-2 LANDSCAPE PLAN):	118.0
TOTAL DBH REPLACEMENT DEFICIT:	85.0
TOTAL EQUIVALENT 2" DBH REPLACEMENT TREE DEFICIT:	42.50
TOTAL TREE TRUST CONTRIBUTION ($350 PER REPLACEMENT TREE):	$ 14,875.00

NOTE: SPECIMEN TREES ≥16" DBH; TOTALS ABOVE ONLY INCLUDE ON-SITE & PROTECTED TREES

GENERAL EXISTING TREE NOTES:

1. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT. OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FENCING. DURING PERIODS OF DEVELOPMENT & CONSTRUCTION, THE AREAS WITHIN THE DRIP-LINE OF PRESERVED TREES SHALL BE MAINTAINED AT THEIR ORIGINAL GRADE WITH PERVIOUS LANDSCAPE MATERIAL. WITHIN THESE AREAS, THERE SHALL BE NO TRENCHING OR CUTTING OF ROOTS, EXCEPT WHERE NECESSARY DUE TO PROPOSED CONSTRUCTION; NO FILL, COMPACTION, OR REMOVAL OF SOIL & NO USE OF CONCRETE, PAINT, CHEMICALS, OR OTHER FOREIGN SUBSTANCES.
2. ALL ROOT-PRUNING & CANOPY TRIMMING ACTIVITIES SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST UTILIZING BEST MANAGEMENT PRACTICES TO ENSURE VIABILITY OF EXISTING TREES; NO TREE CANOPY SHALL BE TRIMMED BY MORE THAN 25%. ALL TREES TO REMAIN SHALL BE STRUCTURALLY PRUNED. ANY NECESSARY TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE JURISDICTIONAL PRUNING STANDARDS & ANSI A-300 PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE.
3. ROOT PRUNING: PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF UNDERGROUND UTILITIES WITHIN THE EXISTING CANOPY DRIPLINE, ROOT-PRUNE ALL TREES TO BE PRESERVED IN THE CONSTRUCTION IMPACT AREA FOR THIS SITE A MINIMUM OF SIX (6) WEEKS PRIOR TO CONSTRUCTION. TRENCHES FOR PROPOSED UTILITIES SHALL BE HAND DUG AS FAR FROM THE TRUNK OF EXISTING TREES TO REMAIN AS POSSIBLE. ALL WORK DONE WITHIN THE DRIPLINE OF ANY EXISTING TREE TO REMAIN SHALL BE DONE ONLY BY HAND WITH CARE.
4. LIQUIDATED DAMAGES SHALL BE ASSESSED TO THE CONTRACTOR FOR TREES SPECIFIED TO BE PRESERVED THAT DIE OR ARE DAMAGED AS A RESULT OF IMPROPER TREE PROTECTION PROCEDURES &/OR CONSTRUCTION OPERATIONS. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN &/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS ($100) PER DBH INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") DBH AS FIXED AND AGREED LIQUIDATED DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. DBH SHALL BE MEASURED AT FOUR FEET & A HALF (4.5') ABOVE SURROUNDING GROUND.
5. IN ALL VEHICULAR USE AREAS, ALL TREES SHALL BE PRUNED & MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8.5 FT HEIGHT. EXISTING TREES ADJACENT TO VEHICULAR USE AREAS MAY BE TRIMMED UP TO 13.5 FT ABOVE VEHICULAR USE AREAS.
6. ROOT BARRIERS SHALL BE PROVIDED FOR ADJACENT TO ALL PROPOSED UTILITIES. SEE ROOT BARRIER DETAIL ON THE LANDSCAPE DETAILS SHEET.
7. ALL INVASIVE EXOTIC PLANT MATERIALS SHALL BE REMOVED & ERADICATED FROM THE ENTIRE SITE & ADJACENT RIGHT-OF-WAYS IN PERPETUITY PRIOR TO FINAL LANDSCAPE CERTIFICATION. PERPETUAL MAINTENANCE IS REQUIRED TO PROHIBIT THE REESTABLISHMENT OF INVASIVE EXOTIC SPECIES THROUGHOUT THE SITE & WITHIN ALL PRESERVATION & RESTORATION AREAS.
8. ALL TREES SCHEDULED TO BE REMOVED OR THAT HAVE BEEN PREVIOUSLY REMOVED & HAVE REMAINING STUMPS SHALL BE CUT DOWN, STUMP GROUND, & SHALL HAVE ALL ROOTS REMOVED
9. DURING LAND ALTERATION & CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIALS, MACHINERY, OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN UNLESS OTHERWISE APPROVED BY THE JURISDICTION
10. UNLESS OTHERWISE NOTED, ALL SHRUBS, ACCENT PLANTS, & GROUNDCOVERS SHALL BE REMOVED FROM CONSTRUCTION AREA, EXCEPT NATIVE PLANTS IN PRESERVATION AREAS
11. VIABLE & ARABLE WELL DRAINED NATIVE SOILS SHALL BE LAB TESTED, STOCKPILED, AMENDED IF NECESSARY, & REUSED BENEATH IMPORTED TOPSOILS IN LANDSCAPE AREAS

N

0 4' 8' 16'

1/8" = 1'- 0"

ECG
EBRAHIMIAN CREATIVE GROUP
10708 NW 12TH MNR., PLANTATION, FL 33322
RKINGEBRA@ECG.LAND PH.: 305 879 7965
WWW.ECG.LAND

REVISIONS / SUBMISSIONS

1	06/29/2023	CITY TAC REVIEW COMMENTS	RKE
2	01/31/2024	CITY TAC REVIEW COMMENTS	RKE
3	02/11/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE
4	05/08/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE

811 Know what's below. Call before you dig.

PHASE:

CLIENT:

8 UNIT TOWNHOMES
2420 LINCOLN ST.
HOLLYWOOD, FL 33020

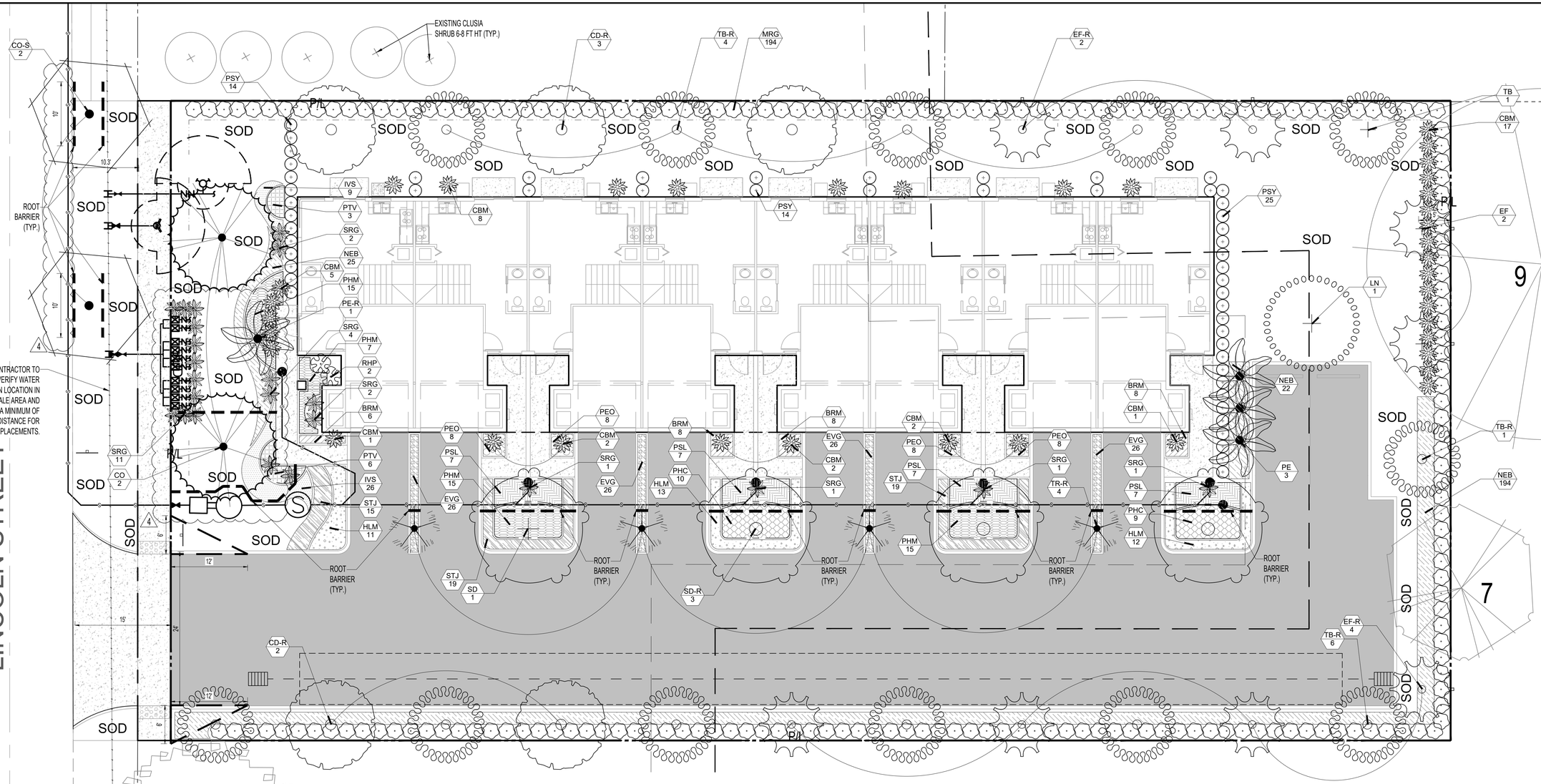
EXISTING TREE DISPOSITION PLAN

REGISTERED LANDSCAPE ARCHITECT RYAN JAHAN KING EBRAHIMIAN LA6667324 STATE OF FLORIDA

RYAN J. KING EBRAHIMIAN
LA6667324 ISA CA 10101-A

DRAWN BY: RJK
CHECKED BY:
DATE: 2025-05-09

SHEET NUMBER: L-1



PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	MITIGATION INCHES OVER CODE MIN.
TREES											
CO	2	Satinleaf	Chrysophyllum oliviforme	B & B	4" DBH	16' Ht	7'	Yes	High	6' CT; FL FANCY	+4 INCHES
EF	2	Spanish Stopper	Eugenia foetida	B & B	4" DBH	16' Ht	5'	Yes	High	5' CT; STD	+4 INCHES
LN	1	'Natchez' Crape Myrtle	Lagerstroemia fauriei 'Natchez'	FG/B&B	4" DBH	16' Ht	7-8' spr.	No	High	7' CT; STD(T)	+2 INCHES
SD	1	Bustic Willow	Sideroxylon salicifolium	65 gal	4" DBH	16' Ht	7'	Yes	High	6' CT; STD; FL FANCY	+2 INCHES
TB	1	Bahama Tabebuia	Tabebuia bahamensis	B & B	4" DBH	16' Ht	6'	No	High	6' CT; STD	+2 INCHES
REPLACEMENT PALMS											
PE-R	1	Alexander Palm	Ptychosperma elegans	B & B		16' ct	6-8'	No	High		+1 PALM
TR-R	4	Florida Thatch Palm	Thrinax radiata	B & B		12' Ht	4'	Yes	High	8' CT	+4 PALMS
REPLACEMENT TREES											
CD-R	5	Pigeon Plum	Coccoloba diversifolia	FG/B&B	4" DBH	16' Ht	6-8'	Yes	High	6' CT ; FL FANCY	+20 INCHES
EF-R	6	Spanish Stopper	Eugenia foetida	B & B	4" DBH	16' Ht	6'	Yes	High	5' CT; STD	+24 INCHES
SD-R	3	Bustic Willow	Sideroxylon salicifolium	65 gal	4" DBH	16' Ht	7'	Yes	High	6' CT; STD; FL FANCY	+12 INCHES
TB-R	11	Bahama Tabebuia	Tabebuia bahamensis	B & B	4" DBH	16' Ht	6'	No	High	6' CT; STD	+44 INCHES
PALM TREES											
PE	3	Alexander Palm	Ptychosperma elegans	B & B		16' ct	6-8'	No	High	COUNTED @3:1	
STREET TREES											
CO-S	2	Satinleaf	Chrysophyllum oliviforme	B & B	4" DBH	16' Ht	7'	Yes	High	6' CT; FL FANCY	+4 INCHES

CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
SHRUBS										
CBM	38	Black Magic Ti Plant	Cordyline fruticosa 'Black Magic'	NA	As Shown	36-48"	24-30"	No	High	
MRG	194	Collowood	Myrsine cubana	7 gal	30"	72"	24"	Yes	High	Full to Base
PSY	53	Wild Coffee	Psychotria nervosa	7 gal	24"	36"	24"	Yes	High	Full to Base
RHP	2	Slender Lady Palm	Rhapis humilis	7 gal	As Shown	48-60"	30-36"	No	High	Fl Fancy; Columnar; Multi
SRG	23	Bird Of Paradise	Strelitzia reginae	NA	As Shown	36"	30-36"	No	Medium	
SHRUB AREAS										
PHC	19	Congo Philodendron	Philodendron x 'Congo'	n/a	30"	18"	18"	No	High	Full/Low Branched; Shade Grown;
PHM	52	Philodendron 'Moonlight'	Philodendron 'Moonlight'	3 gal.	24"	18"	18"	No	High	Full/Low Branched; Shade Grown;
PSL	28	Dwarf Wild Coffee	Psychotria ligustrifolia 'Nana'	7 gal	30"	18"	18"	Yes	High	
PTV	9	Dwarf Variegated Pittosporum	Pittosporum tobira 'Dwarf Variegata'	n/a	24"	14-16"	14-16"	No	High	
GROUND COVERS										
BRM	30	Baby Rubber Plant 'Marble'	Peperomia obtusifolia 'Marble'	1 gal.	16"	8-10"	8-10"	Yes	High	Shade Grown; Variegated
EVG	104	Dwarf Morning Glory	Evolvulus glomeratus 'Blue Daze'	n/a	12"	8-10"	10-12"	No	High	
HLM	36	Spider Lily	Hymenocallis latifolia	n/a	24"	16"-18"	18"	Yes	High	
IVS	35	Schillings Yaupon Holly	Ilex vomitoria 'Schillings'	n/a	18"	8-10"	10-12"	Yes	High	
NEB	241	Boston Fern	Nephrolepis exaltata	n/a	20"	14-16"	16"-18"	Yes	High	Full Clumps
PEO	32	Baby Rubber Plant	Peperomia obtusifolia	1 gal.	16"	8-10"	8-10"	Yes	High	
STJ	53	Blue Porterweed	Stachytarpheta jamaicensis	n/a	20"	16"	16-18"	Yes	High	

118 INCHES DBH & (5) REPLACEMENT PALMS PROVIDED TOWARDS MITIGATION

203" DBH TOTAL REQUIRED - 118" PROVIDED = 85" DBH DEFICIT/ 2" DBH MIN. REPLACEMENT TREE = 42.5 X $350 EACH REPLACEMENT TREE =

$14,875 TO CITY TREE FUND

ALL ABOVE GROUND EQUIPMENT SHALL BE SCREENED WITH HEDGE AT EQUIPMENT HEIGHT

ALL FENCES, WALLS, BUSHES, HEDGES, AND ANY OTHER LANDSCAPING OR PLANT MATERIAL, WITHIN THE VIEW TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS VISIBILITY AT A LEVEL BETWEEN 30 INCHES AND 72 INCHES ABOVE GROUND LEVEL

100% IRRIGATION COVERAGE SHALL BE PROVIDED.SEE IRRIGATION PLAN SHEETS IR-1, IR-2, & IR-3

EXTRA TREES ABOVE SITE CODE MINIMUM ARE BEING PROVIDED FOR TREE MITIGATION PURPOSES. SEE PLANS & CODE COMPLIANCE CHART

N

0 4' 8' 16'

1/8" = 1'- 0"

CITY OF HOLLYWOOD: CODE COMPLIANCE CHART

CITY OF HOLLYWOOD LANDSCAPE MANUAL - SECTION 2: LANDSCAPE REQUIREMENTS

2420 LINCOLN STREET - HOLLYWOOD, FL

NET SITE AREA: 20,521 SF (0.47 AC)
PERVIOUS AREA: 7,512.89 SF (0.17 AC)
ZONING DISTRICT: RM-18

MATERIAL SPECIFICATIONS
Trees: *12' ht, 2" DBH Min.*
Palm: *6' ct Min.; @3:1, max. 50% of required trees* ***Shrubs:*** *24" ht. Min.*

	REQUIRED	PROVIDED
AT-GRADE PARKING LOT AND VUA SETBACK REQUIREMENTS (≥6 SPACES)		
Front - 10 ft setback; *Side/Interior* - 5 ft setback		
STREET TREES		
(1) Street Tree / 50 lf of street frontage of property where in said improvements are proposed *Lincoln St.*: 100 lf *(100 lf/50)*	2 STREET TREES	2 STREET TREES
AT-GRADE PARKING LOT BUFFERS		
Sec. 2.11: Parking lots containing less than 6 spaces shall provide a 5' setback to a property line and include a car stop per parking space. Terminal islands are not required.		*Complies*
Sec. 2.12: Within exterior perimeter buffer strips, a hedge, decorative fence or wall, berm or other durable landscaped visual barrier, shall be installed at a height of not less than 24" ht		*Complies*
INTERIOR VUA LANDSCAPE		
Lots with ≥50 ft width: 25% of the total paved VUA shall be landscaped *(6,469.69 sf X 25%)*	1,617.42 sf	**2,223.1 sf**
OPEN SPACE		
RM Districts: 40% min. of the total site area shall be landscaped open space including landscaped open space located at-grade or at higher elevations such as on pool decks, parking decks, roof decks, etc. *(20,521 sf X 40%)*	8,208.4 SF	**15,336.46 SF**
(1) Tree / 1,000 sf of Pervious Area of property in addition to VUA trees *(7,512.89 sf / 1000)*	**8 TREES**	**5 TREES***
TREE MITIGATION		
Inch: Inch DBH replacement for removed Canopy Trees: *203 Inches DBH & [5] Palms Removed/Replaced Palm;Palm replacement for removed Palms: (5) Palms Removed, (5) Palms Replaced*	5 PALMS, 25 TREES, & $14,875 TREE FUND CONTRIBUTION FOR MITIGATION	5 PALMS, 25 TREES, & $14,875 TREE FUND CONTRIBUTION FOR MITIGATION
203" DBH - 118" DBH Replaced = 85" / 2" = (42.5) Replacement Tree Deficit		
(42.5) TREES X $350 = $14,875 TREE TRUST FUND CONTRIBUTION		

	TOTAL TREES:	40 TREES	40 TREES
	60% NATIVE TREES:	24/40 (60%)	25/40 (62.5%)
	60% NATIVE SHRUBS:	570/810 (60%)	702/949 (74.0%)

*INCLUDES (1) TREE FROM [3] PALMS @3:1 — NOTE: 100% DROUGHT TOLERANT TREES & SHRUBS PROVIDED

HAVE:
2 STREET TREES
1 TREES FROM [3] PALMS @3:1
7 OPEN SPACE TREES
25 REPLACEMENT TREES
5 REPLACEMENT PALMS
40 TREES TOTAL

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RKINGEBRA@ECG.LAND PH.: 305 879 7965
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3	02/11/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE
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PHASE:

CLIENT:

8 UNIT TOWNHOMES
2420 LINCOLN ST
HOLLYWOOD, FL 33020

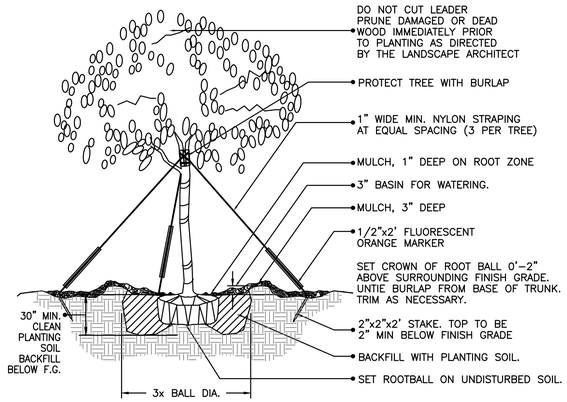
LANDSCAPE PLAN

REGISTERED LANDSCAPE ARCHITECT
RYAN JAHAN KING EBRAHIMIAN
LA6667324
STATE OF FLORIDA

RYAN J. KING EBRAHIMIAN
LA6667324 ISA CA 10101-A

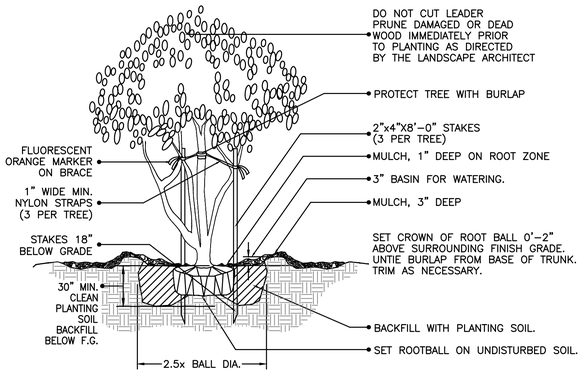
DRAWN BY: RJK
CHECKED BY:
DATE: 2025-05-09

SHEET NUMBER:
L-2



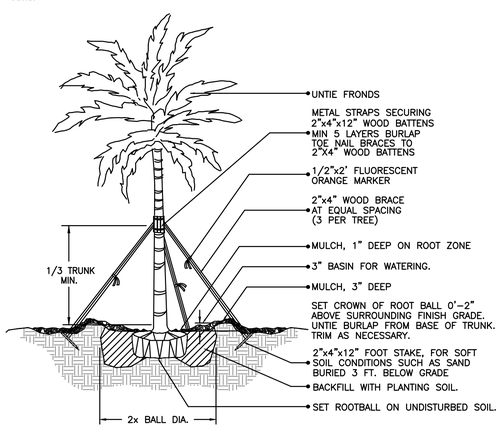
(2" cal. and over) LARGE TREE PLANTING DETAIL

N.T.S.



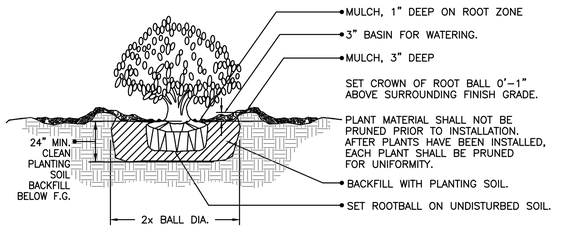
MULTI- TRUNK AND SMALL TREE (4" cal. and under) PLANTING DETAIL

N.T.S.



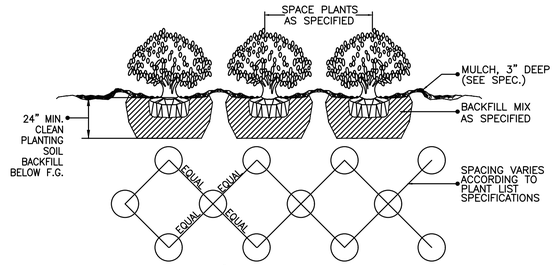
LARGE PALM PLANTING DETAIL

N.T.S.



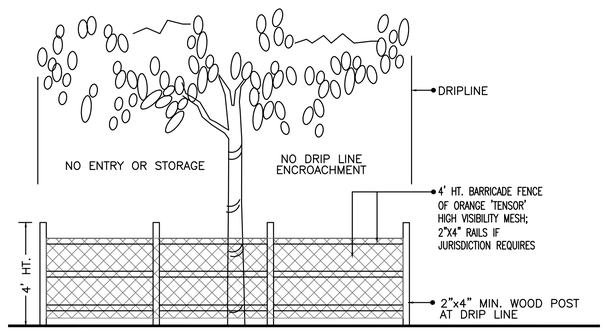
SHRUB PLANTING DETAIL

N.T.S.



SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

N.T.S.

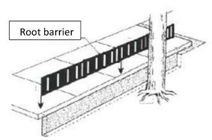


TREE PRESERVATION BARRICADE FENCING DETAIL

N.T.S.

1. Panels of 0.085" thick polypropylene
2. Zipper joining system
3. Rounded edges
4. 24" depth **or as noted**
5. Anti-lift pads

*Contact the Landscape Division if you propose an equivalent root barrier option.



ROOT BARRIER DETAIL

N.T.S.

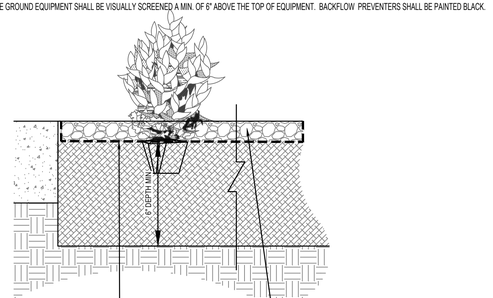
IRRIGATION SCHEDULE FOR NEW TREES BASED ON UF/IFAS ENH857

Trunk diameter of tree	Irrigation schedule for vigor*	Irrigation schedule for survival
< 2"	Daily for 2 weeks, every other day for 2 months, then weekly until established.	Twice weekly for 2-3 months.
2" to 4"	Daily for 1 month, every other day for 3 months, then weekly until established.	Twice weekly for 3-4 months.
Over 4"	Daily for 6 weeks, every other day for 5 months, then weekly until established.	Twice weekly for 4-5 months.

NOTE: NEWLY PLANTED & RELOCATED TREES SHALL RECEIVE 3 GAL PER CALIPER INCH FOR EACH DAY THAT WATERING IS SCHEDULED PER THE ABOVE CHART; I.E. FOR VIGOR, A 4" TREE SHALL RECEIVE 12 GALLONS OF WATER DAILY FOR 1 MONTH, THEN EVERY OTHER DAY FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED

GENERAL LANDSCAPE NOTES:

1. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA (FL) , DEPARTMENT OF AGRICULTURE. UNLESS OTHERWISE NOTED, ALL TREES SHALL BE SINGLE LEADER, FIELD GROWN/BALLED & BURLAPPED (FG/BB); CONTAINER GROWN TREES ARE NOT ACCEPTABLE & WILL BE IMMEDIATELY REJECTED UPON INSPECTION. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN SHALL BE APPROVED BY THE CITY FORESTER & LA OF RECORD. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND GOVERNING MUNICIPALITY. OPTIONS FOR ALTERNATE SPECIES BASED ON LACK OF STATEWIDE AVAILABILITY SHALL BE FURNISHED TO LANDSCAPE ARCHITECT OF RECORD A MINIMUM OF 30 DAYS BEFORE COMMENCEMENT OF CONSTRUCTION. LACK OF AVAILABILITY WILL BE VERIFIED USING THE LATEST INDUSTRY ACCEPTED PUBLICATION LISTINGS. PLANT SPACING SHALL SUPERCEDE PLANT QUANTITY TO FILL THE BED FOR SHRUBS AND GROUNDCOVERS. THE LOCATION OF NEW SHRUB AND GROUNDCOVER PLANTINGS SHALL BE A MINIMUM OF 3 FEET FROM THE TRUNK FLARES OF EXISTING TREES TO BE PRESERVED. NEW SHRUB AND GROUNDCOVER PLANTINGS UNDER THE DRIPLINES SHALL BE INSTALLED BY HAND WITH CARE IN BETWEEN ROOTS 1" DIAMETER AND GREATER.
2. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL, AT A MINIMUM, BE OF THE SIZES AS SPECIFIED IN THE PLANT LIST. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE. QUANTITIES LISTED ON THE THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
3. SOD: ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. ZOYSIA JAPONICA 'EMERALD' UNLESS OTHERWISE NOTED ('EMERALD' ZOYSIA SOLID SOD). OFFSITE DISTURBED AREAS SHALL BE RE-SODDED TO MATCH EXISTING. ALL AREAS DISTURBED BY CONSTRUCTION & NOT NOTED TO HAVE SHRUBS OR GROUNDCOVERS ON THE LANDSCAPE PLAN SHALL BE SODDED BY THE CONTRACTOR.
4. AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL-DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIME, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE. ALL PLANT MATERIAL TO RECEIVE PLANTING SOIL AS PER DETAILS & NOTES.
5. GENERAL RECOMMENDED PLANTING SOIL DEPTH: ALL TREES AND SHRUBS SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL. MINIMUM TOPSOIL SHALL BE 6" FOR GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS. THIS IS IN ADDITION TO A MINIMUM OF 10" OF UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% WITH NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/ LIMEROCK SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS. TREE PITS SHALL BE EXCAVATED & BACKFILLED TO A MINIMUM DEPTH OF 30". PARKING LOT TREE ISLAND SHALL BE EXCAVATED TO 36 INCHES DEPTH AND BACKFILLED WITH CLEAN FILL AND TOPSOIL, OR TURF TO WITHIN 1" OF THE TOP OF CURB OR ADJACENT PAVEMENT.
6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENTS CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY OR DISPOSITION PLAN TO THE OWNER & LANDSCAPE ARCHITECT OF RECORD PRIOR TO STARTING WORK. ANY OVERHEAD POWERLINES, UNDERGROUND UTILITIES, EXISTING TREES, ETC. IN CONFLICT WITH PROPOSED LANDSCAPING, INCLUDING FPL RIGHT-TREE-RIGHT-PLACE GUIDELINES, SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE OR DESIGNEE, AND TO THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO SUBJECT PLANT MATERIAL INSTALLATION. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT & OWNER OF ANY DISCREPANCIES SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND WILL RESULT IN THE CONTRACTOR MOVING OR REPLACING THE PLANT MATERIAL AT THEIR OWN EXPENSE. LARGE MATURING SHADE TREES (THOSE THAT TYPICALLY GROW TO A SPREAD OR HEIGHT GREATER THAN 25 FEET) SHALL NOT BE PLANTED WITHIN 20 FEET OF ANY OTHER LARGE MATURING SHADE TREES UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE LANDSCAPE PLAN. CONTRACTOR SHALL NOT WILLFULLY INSTALL PLANT MATERIALS IN CONFLICT WITH EXISTING OR PROPOSED SITE FEATURES.
8. ROOT BARRIER SPECIFICATIONS: ROOT BARRIERS SHALL BE PROVIDED FOR WHERE NEW TREES ARE TO BE INSTALLED ADJACENT TO PROPOSED UTILITIES, AS PRESCRIBED HEREIN AND BY THE MANUFACTURER. SEE ROOT BARRIER DETAIL ON THIS SHEET. PRODUCT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR ROOT CONTROL SYSTEMS. USE PRODUCT WHERE TREES ARE TO BE INSTALLED TEN FEET (10') OR LESS FROM HARDSCAPE SURFACES OR UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, STEPS, ROADWAYS, WATER, DRAINAGE, EXFILTRATION TRENCH, & SEWER LINES. SMALL TREES THAT TYPICALLY MATURE AT 18' HEIGHT OR LESS REQUIRE ROOT BARRIERS WHERE SMALL TREES ARE WITHIN SIX FEET (6') OR LESS OF HARDSCAPE SURFACES OR UTILITIES. EXISTING TREES TO BE PRESERVED (WHERE THE EDGE ROOT FLARE IS LOCATED GREATER THAN TEN FEET (10') FROM ANY NEW HARDSCAPE AREAS OR UNDERGROUND UTILITIES) DO NOT REQUIRE ROOT BARRIERS. WHERE PROPOSED UNDERGROUND UTILITIES ARE TO BE INSTALLED 10 FEET OR LESS FROM THE ROOT FLARE OF EXISTING TREES, ROOT BARRIERS SHALL BE UTILIZED. ROOT BARRIERS ARE NOT REQUIRED WHERE PROPOSED TREES ARE LOCATED ADJACENT TO D-TYPE CURBING. THE USE OF ROOT BARRIERS SHALL BE MINIMUM 6' OVERALL LENGTH FROM THE CENTER OF THE TRUNK PARALLEL TO LINEAR FEATURES TO BE PROTECTED FOR SMALL TREES, OR MINIMUM 10' OVERALL LENGTH FROM THE CENTER OF THE TRUNK FOR MEDIUM TO LARGE MATURING SHADE TREES. MINIMUM LENGTHS OF ROOT BARRIER PRODUCTS MAY BE INCREASED (BUT NOT DECREASED) BASED ON LENGTH GRAPHICALLY DEPICTED ON PLAN, OR AT THE DISCRETION OF THE LANDSCAPE INSPECTOR. IN PARKING LOT ISLANDS ONLY, THE ROOT BARRIER LENGTH SHALL BE PROVIDED FOR THE FULL LENGTH OF FEATURE (UNDERGROUND UTILITY, STRUCTURE, OR PAVEMENT) TO BE PROTECTED. ROOT BARRIERS SHALL BE INSTALLED 1 FOOT HORIZONTAL DISTANCE FROM FEATURES TO BE PROTECTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS. AFTER FINAL GRADE, AREA TO BE RAKED TO 6" DEPTH AND ALL ROCK AND FOREIGN INORGANIC MATERIALS REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
10. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR IMPROVEMENTS. ALL TRENCHES & EXCAVATION REQUIRED FOR INSTALLATION OF UNDERGROUND UTILITIES OR IRRIGATION EQUIPMENT ADJACENT TO EXISTING TREES & VEGETATION TO BE PRESERVED SHALL BE HAND-DUG CAREFULLY AS FAR FROM THE TRUNK AS POSSIBLE.
11. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED. TRUNK FLARE SHALL BE SET 1-2" ABOVE FINISH GRADE FOR ALL TREES & PALMS. ALL PLANTS TO BE PLANTED AT THE NURSERY GRADE OR SLIGHTLY HIGHER.
12. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT PERIOD.
13. FERTILIZER FOR GRASS AREAS SHALL BE NPK 16-4-8 @ 12.5 LBS/1000 S.F. OR 545 LBS/ACRE. NITROGEN 50% SLOW RELEASE FORM & FERTILIZER TO INCLUDE SECONDARY MICRONUTRIENTS.
14. WATERING: ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND AS NEEDED THEREAFTER FOR A PERIOD OF 2 MONTHS.
15. ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE |STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIODOF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE
16. GUARANTEE: ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 45 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 75 MPH, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE 1 YR GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
17. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS.
18. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
19. ROOT-PRUNE ALL NEW TREES A MINIMUM OF (90) DAYS PRIOR TO PLANTING.
20. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND MINIMUM 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE IS REQUIRED BY FL LAW & SHALL BE OPERATIONAL TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
21. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS (SEE PLAN) SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
23. NO CANOPY TREES SHALL BE PLANTED WITHIN 15 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 7.5 FEET OF A LIGHT POLE.
24. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FENCING.
25. IN ALL PEDESTRIAN AREAS, ALL TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8 FOOT CLEAR TRUNK.
26. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 7.5 FEET FROM THE FRONT/SIDES AND 4 FEET FROM THE BACK ANY FIRE HYDRANT.
27. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEM BARREN. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 2-3" FROM THE STEM OF ALL GROUNDCOVERS & 3-6" FROM THE TRUNK OF ALL TREES & PALMS. MULCH SHALL BE GRADE 'B' SHREDDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.
28. PLANTINGS SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS. WHERE DISCREPANCIES EXIST, JURISDICTIONAL CODES, STANDARDS, & REGULATIONS SHALL GOVERN.
29. ALL ABOVE GROUND EQUIPMENT SHALL BE VISUALLY SCREENED A MIN. OF 6" ABOVE THE TOP OF EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED BLACK.



MARBLE CHIP INSTALLATION DETAIL

N.T.S.

ECG
EBRAHIMIAN CREATIVE GROUP
10708 NW 12TH MNR., PLANTATION, FL 33322
RKINGEBR@ECG.LAND PH.: 305 879 7965
WWW.ECG.LAND

REVISIONS / SUBMISSIONS

1	06/29/2023	CITY TAC REVIEW COMMENTS	RKE
2	01/31/2024	CITY TAC REVIEW COMMENTS	RKE
3	02/11/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE
4	05/08/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE

811 Know what's below. Call before you dig.

PHASE:

CLIENT:

8 UNIT TOWNHOMES
2420 LINCOLN ST
HOLLYWOOD, FL 33020

LANDSCAPE DETAILS & NOTES

REGISTERED LANDSCAPE ARCHITECT
RYAN J. KING EBRAHIMIAN
LA6667324
STATE OF FLORIDA

RYAN J. KING EBRAHIMIAN
LA6667324 ISA CA 10101-A

DRAWN BY: RJK
CHECKED BY:
DATE: 2025-05-09

SHEET NUMBER:
L-3

EBRAHIMIAN CREATIVE GROUP
10708 NW 12TH MANOR
PLANTATION, FL 33322
RKINGEBRA@ECG.LAND PH: 305 879 7965
WWW.ECG.LAND

FILE NO.:
23-DP-26

FINAL SIGN-OFF PLAN REVIEW
LANDSCAPE COMMENT RESPONSE LETTER

May 9, 2025

RE: Landscape Comment Responses
8 Unit Townhomes – 2420 Lincoln Street
Hollywood, FL 33020

We respectfully submit the following comment responses to the *FINAL SIGN-OFF PLAN REVIEW LANDSCAPE COMMENTS* for the new 8-Unit Townhomes development to be located at 2420 Lincoln Street in the City of Hollywood, Florida.

H. LANDSCAPING:

1. Landscape plan is not matching the site plan and civil plans. All plans to match.
   RESPONSE: Landscape Plans match the site and civil plans. This has been confirmed by the project Civil engineer. See sheet L-2 Landscape Plans SIGNED & DATED 05/09/2025.

2. Show sewer lines on landscape plan as per civil and connection location into units.
   RESPONSE: See MEP / Plumbing plans for sewer line connection location into units. Landscape Plans match the site and civil plans. This has been confirmed by the project Civil engineer. See sheet L-2 Landscape Plans SIGNED & DATED 05/09/2025.

3. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening. Provide minimum of 36" ht. Provide hedge for AC and backflow preventor as needed. Native hedge is recommended.
   RESPONSE: Screening hedges have been increased to 36" ht. Hedges are provided at all AC and backflow preventer locations. *Psychotria nervosa* (Code: PSY, native), & *Cordyline fruticosa* `Black Magic`(Code: CBM, non-native), and *Strelitzia reginae* (Code: SRG, non-native) are used for equipment screening & specified at minimum 36" height. These are all Florida Friendly plant materials. See sheet L-2 Landscape Plan and Plant Schedule SIGNED & DATED 05/09/2025.

4. Add note: ALL ABOVE GROUND EQUIPMENT SHALL BE SCREENED WITH HEDGE AT EQUIPMENT HEIGHT.
   RESPONSE: See note on sheet L-2 Landscape Plan, lower left-hand corner. Also see response to Comment #3.

5. For proposed street trees, provide root barrier 5' in each direction of the trunk along the sidewalk and also the roadway. Review location of proposed tree and water maters.
   RESPONSE: 10 ft length Root barriers are now shown along the asphalt roadway and sidewalk for proposed Street Trees (CO-S). A 10 ft dimension has been added to the Landscape Plan to demonstrate root barriers comply with the 10 ft length requested. Street Trees are shown with adequate distance from water meters – there is currently *NO CONFLICT*. See sheet L-2 Landscape Plans SIGNED & DATED 05/09/2025.

7. Provide different tree symbol and reduce lineweight as needed to read the landscape clearly, specifically behind the sidewalk.

RESPONSE: Different symbols are now used for the proposed Satin leaf trees. Also, shrub and groundcover area hatches are provided in a lighter shade of gray for legibility. See sheet L-2 Landscape Plan SIGNED & DATED 05/09/2025.

8. Marble chips may be used as accent in planting areas but not in lieu of large planting areas. As per code, all landscape areas shall be covered with living plant material. Provide sod and label on plan as needed.
RESPONSE: Marble chips are no longer shown on the landscape plan and have been replaced with a SOD label at the meter bank locations. See sheet L-2 Landscape Plan.

Thank you for your kind consideration of this matter. If you have any questions or wish to discuss this project in further detail, please do not hesitate to contact our office at (305) 879-7965 at your convenience.

Respectfully submitted,

Ryan J. King Ebrahimian, PLA, CLARB, ASLA, ISA CA
Principal; Senior Landscape Architect
FL Lic.: LA6667324 TX Lic.: 3757
ISA Certified Arborist® FL-10101A
M: 305 879 7965 | RKingEbra@ECG.Land

EBRAHIMIAN CREATIVE GROUP
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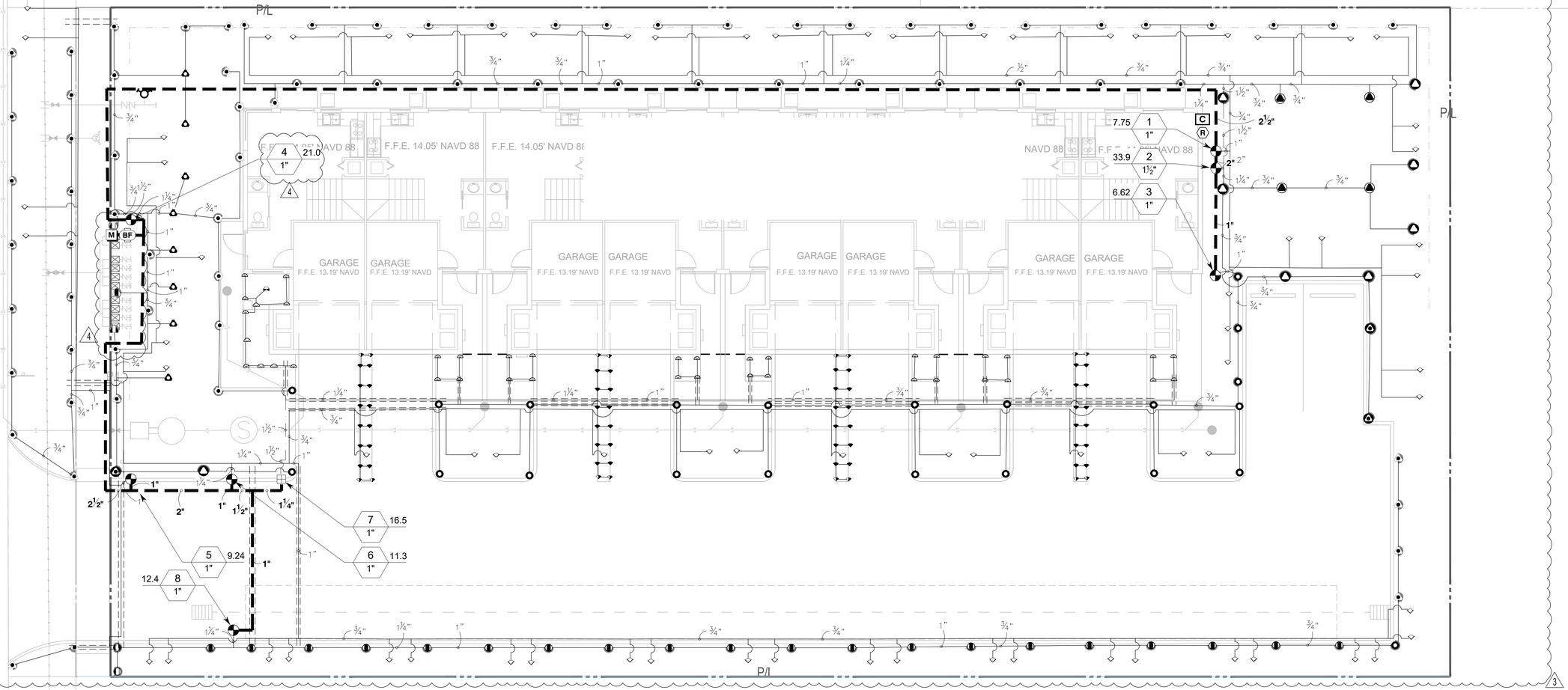

GENERAL IRRIGATION NOTES:

1. POINTS OF CONNECTION SHALL BE A NEW 1.5" METER & 2" SERVICE LINE WITH CITY WATER. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

MINIMUM PRESSURE REQUIRED	50.5 PSI
DESIGN STATIC WATER PRESSURE	55 PSI
MAXIMUM SYSTEM DEMAND	50 GPM

2. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBYINCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CODES & STANDARDS OF THE LOCAL CITY, COUNTY, STATE, FBC APPENDIX F, NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), NATIONAL SANITATION FOUNDATION (NSF), & THE IRRIGATION ASSOCIATION (IA) STANDARDS & CODES WITH REGARDS TO MATERIALS, EQUIPMENT, AND INSTALLATION METHODS
3. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING, ARCHITECTURAL, OR OTHER RELEVANT CONSULTANT PLANS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
5. THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
6. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
7. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS.
8. PLASTIC PIPE, FITTINGS, AND CONNECTIONS SHALL BE AS FOLLOWS:
   1. POLYVINYL CHLORIDE PIPE: ASTM D2241, RIGID, UNPLASTICIZED PVC, EXTRUDED FROM VIRGIN PARENT MATERIAL. PROVIDE PIPE HOMOGENEOUS THROUGHOUT AND FREE FROM VISIBLE CRACKS, HOLES, FOREIGN MATERIALS, BLISTERS, WRINKLES AND DENTS. SDR 21, CLASS 200 FOR MAINLINE. SDR 16, CLASS 160 FOR 1-1/2" AND LARGER, OR OTHERWISE SDR 7 POLYETHYLENE PIPE FOR LATERALS.
   2. POLYETHYLENE PIPE: ASTM D2239 FLEXIBLE POLYETHYLENE PIPE RATED AT 100 PSI MINIMUM WORKING PRESSURE.
   3. PVC PIPE FITTINGS: ASTM D2241 SCHEDULE 40 PVC MOLDED FITTINGS SUITABLE FOR SOLVENT WELD, SLIP JOINT RING TIGHT SEAL, OR SCREWED CONNECTIONS. FITTINGS MADE OF OTHER MATERIALS ARE NOT PERMITTED.
      A. SIZE SLIP FITTING SOCKET TAPER TO PERMIT A DRY UNSOFTENED PIPE END TO BE INSERTED NO MORE THAN HALFWAY INTO THE SOCKET. NO SADDLE AND CROSS FITTINGS.
      B. SCHEDULE 80 PVC PIPE MAY BE THREADED.
   4. INSERT FITTINGS: ASTM D2466 INSERT TYPE FITTINGS.
   5. SPRINKLER RISERS SHALL BE CUT-OFF POLYETHYLENE, HEIGHT AS REQUIRED FOR 100% COVERAGE.
   6. LOW VOLTAGE WIRE CONNECTORS SHALL BE SOCKET SEAL TYPE WIRE CONNECTORS AND 3M DBY DIRECT BURY SPLICE KIT.
9. ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BYTHE OWNER'S AUTHORIZED REPRESENTATIVE.
10. CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
11. MAINLINE, LATERAL LINES, CONTROL VALVES, AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY; INSTALL WITHIN PERVIOUS AREA AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.
12. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SCHEDULE 80 PVC SLEEVING AT LEAST TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
13. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
14. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
15. CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO PROVIDE 100% COVERAGE WITH MIN. 50% OVERLAP TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.
16. CONTROLLER IS AS SPECIFIED. PRIOR TO STARTING WORK, CONTRACTOR TO VERIFY CONDITION AND FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE.
17. MANUFACTURERS SPECIFICATIONS & PROPER GROUNDING TECHNIQUES SHALL BE ADHERED TO FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT. A PROPERLY INSTALLED GROUNDING SYSTEM SHOULD MAINTAIN A MAXIMUM GROUND RESISTANCE OF 10 OHMS, OR LESS. MEASURE FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS. INSPECT THE GROUNDING SYSTEM'S CLAMPED CONNECTIONS TO THE CONTROLLER ONCE A YEAR TO MAKE SURE THEY ARE SECURE AND CORROSION-FREE.
18. INSTALLER IS REQUIRED TO CONDUCT FINAL TESTING & ADJUSTMENT TO ACHIEVE DESIGN SPECIFICATIONS, FREE OF LEAKS. PRIOR TO COMPLETION OF THE SYSTEM & ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE.
19. FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF WORK PERFORMED UNDER THE IRRIGATION CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY FURNISH AND INSTALL ANY AND ALL PARTS AND EQUIPMENT WHICH PROVE DEFECTIVE IN MATERIAL, WORKMANSHIP OR INSTALLATION AT NO ADDITIONAL COST TO THE OWNER.

N

0 4' 8' 16'

1/8" = 1'- 0"

ECG
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10708 NW 12TH MNR., PLANTATION, FL 33322
RKINGEBRA@ECG.LAND PH.: 305 879 7965
WWW.ECG.LAND

REVISIONS / SUBMISSIONS

1	06/29/2023	CITY TAC REVIEW COMMENTS	RKE
2	01/31/2024	CITY TAC REVIEW COMMENTS	RKE
3	02/11/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE
4	05/08/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE

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HOLLYWOOD, FL 33020

IRRIGATION PLAN

REGISTERED LANDSCAPE ARCHITECT · RYAN J. KING EBRAHIMIAN · LA6667324 · STATE OF FLORIDA

RYAN J. KING EBRAHIMIAN
LA6667324 ISA CA 10101-A

DRAWN BY: RJK
CHECKED BY:
DATE: 2025-05-09

SHEET NUMBER:
IR-1

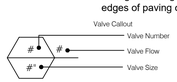
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
LST SST RST	Rain Bird R-VAN-STRIP 1806-SAM-P45 Shrub Rotary, 5`x15` (LCS and RCS), 5`x30` (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 6" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	3	35
14 ADJ 14 F	Rain Bird R-VAN14 1806-SAM-P45 Turf Rotary, 8`-14` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	74	35
18 ADJ 18 F	Rain Bird R-VAN18 1806-SAM-P45 Turf Rotary, 13`-18` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	12	35
24 ADJ 24 F	Rain Bird R-VAN24 1806-SAM-P45 Turf Rotary, 17`-24` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	3 (4)	35
LST SST RST	Rain Bird R-VAN-STRIP 1812-SAM-P45 Shrub Rotary, 5`x15` (LCS and RCS), 5`x30` (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 shrub spray body on 12" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	22	35
14 ADJ 14 F	Rain Bird R-VAN14 1812-SAM-P45 Shrub Rotary, 8`-14` 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 shrub spray body on 12" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	22	35
14 ADJ 14 F	Rain Bird R-VAN14 PA-8S (2) Shrub Rotary on fixed riser w/ PA-8S Plastic Shrub Adapter. 8ft.-14ft. 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary. Use with 1/2in. MPT threaded risers.	6	35
1401 1402 1404 1408	Rain Bird 1400 Flood 1401 Fixed flow rate (0.25 GPM), full circle bubbler, 1/2" FIPT.	76	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZ-100-LC Wide Flow Drip Control Kit, for Light Commercial Uses. 1" PEB Valve, with 1" Pressure Regulating 40psi Basket Filter. 0.3-20 GPM.	1
2Q 2H 2F 4Q 4H 4F	Rain Bird XP-0600X Square Series Low-Volume, Low-Pressure, Drip 6.0" Pop-Up Spray, 1/4" Barbed Inlet. Nozzle Options: SQ Series, 5 MPR Series, 8 MPR Series, and 5 Series Plastic Bubbler. *Note* Always install a Pressure Compensating Screen w/Plastic Bubbler 5 Series.	65
2Q 2H 2F 4Q 4H 4F	Rain Bird XP-1200X (2) SQ Series Low-Volume, Low-Pressure, Drip 12.0" Pop-Up Spray, 1/4" Barbed Inlet. Nozzle Options: SQ Series, 5 MPR Series, 8 MPR Series, and 5 Series Plastic Bubbler. *Note* Always install a Pressure Compensating Screen w/Plastic Bubbler 5 Series.	39

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	7
BF	Febco 765 1-1/2" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" above highest downstream outlet and the highest point in the downstream piping.	1
C	Rain Bird ESP4ME3 with (2) ESP-SM3 10 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready.	1
R	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire.	1
M	Water Meter 1-1/2" New 1.5" Water Meter & 2" HDPE SDR 9 Service Line w/ City Water	1
	Irrigation Lateral Line: Polyethylene Pipe SDR-7 Polyethylene SDR-7 sized 1" up to 1-1/4". Only lateral transition pipe sizes 1-1/4" and above are indicated on the plan, with all others being 1" in size.	3,100 lf (4)
	Irrigation Lateral Line: PVC Class 160 SDR 26 PVC Class 160 SDR 26 for 1-1/2" and larger.	27.3 lf
	Irrigation Mainline: PVC Class 200 SDR 21 PVC Class 200 SDR 21 for Mainline pipe minimum 1" & larger.	324.0 lf
	Pipe Sleeve: PVC Schedule 80 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	318.6 lf

Valve Callout



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1"	Bubbler	7.75	11.2	30	3.27	1.76	35.0	44.1	0.95 in/h
2	Rain Bird PEB	1-1/2"	Turf Rotary	33.94	13.7	35	2.79	3.56	41.4	50.5	0.81 in/h
3	Rain Bird PEB	1"	Shrub Rotary	6.62	29.7	35	3.53	1.73	40.3	49.5	0.63 in/h
4	Rain Bird PEB	1"	Turf Rotary	21.02 (4)	199.8	35	1.09	3.17	39.3	47.1 (4)	1.33 in/h
5	Rain Bird PEB	1"	Turf Rotary	9.24 (4)	253.1	35	2.35	1.78	39.1	47.3	1.05 in/h
6	Rain Bird PEB	1"	Bubbler	11.25	268.1	30	3.26	1.94	35.2	43.5	0.98 in/h
7	Rain Bird XCZ-100-LC	1"	Drip Emitter	16.45	275.6	20	1.89	18.6	40.5	48.9	3.47 in/h
8	Rain Bird PEB	1"	Shrub Rotary	12.41	293.2	35	4	2.06	41.1	50.0	0.86 in/h
	Common Wire				324.0						

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird PEB	Bubbler	0.95 in/h	1	64	496	
2	Rain Bird PEB	Turf Rotary	0.81 in/h	1	75	2,546	
3	Rain Bird PEB	Shrub Rotary	0.63 in/h	1	95	629	
4	Rain Bird PEB	Turf Rotary	1.3 in/h	1	47	946 (4)	
5	Rain Bird PEB	Turf Rotary	1.05 in/h	1	58	536	
6	Rain Bird PEB	Bubbler	0.98 in/h	1	62	698	
7	Rain Bird XCZ-100-LC	Drip Emitter	3.47 in/h	1	18	296	
8	Rain Bird PEB	Shrub Rotary	0.86 in/h	1	71	881	
		TOTALS:			490	7,028	

CRITICAL ANALYSIS

Generated:	2025-02-10 22:13
P.O.C. NUMBER: 01	
Water Source Information:	New 1.5" Water Meter & 2" HDPE SDR 9 Service Line w/ City Water
FLOW AVAILABLE	
Water Meter Size:	1-1/2"
Flow Available	56.58 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	55 PSI
Elevation Change:	4.00 ft
Service Line Size:	2"
Length of Service Line:	20 ft
Pressure Available:	52 PSI
DESIGN ANALYSIS	
Maximum Multi-valve Flow:	50 GPM
Flow Available at POC:	56.58 GPM
Residual Flow Available:	6.58 GPM
Critical Station:	2
Design Pressure:	35 PSI
Friction Loss:	2.54 PSI
Fittings Loss:	0.25 PSI
Elevation Loss:	0 PSI
Loss through Valve:	3.56 PSI
Pressure Req. at Critical Station:	41.4 PSI
Loss for Fittings:	0.12 PSI
Loss for Main Line:	1.18 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	2.9 PSI
Loss for Water Meter:	4.9 PSI
Critical Station Pressure at POC:	50.4 PSI
Pressure Available:	52 PSI
Residual Pressure Available:	1.55 PSI

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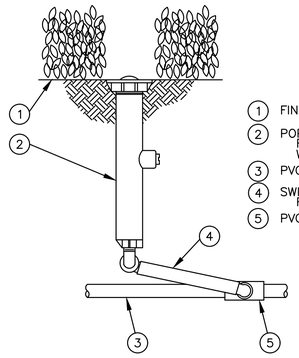
IRRIGATION SCHEDULES

REGISTERED LANDSCAPE ARCHITECT · RYAN · JAHAN · KING · EBRAHIMIAN · LA6667324 · STATE OF FLORIDA

RYAN J. KING EBRAHIMIAN
LA6667324 ISA CA 10101-A

DRAWN BY: RJK
CHECKED BY:
DATE: 2025-05-09

SHEET NUMBER:
IR-2

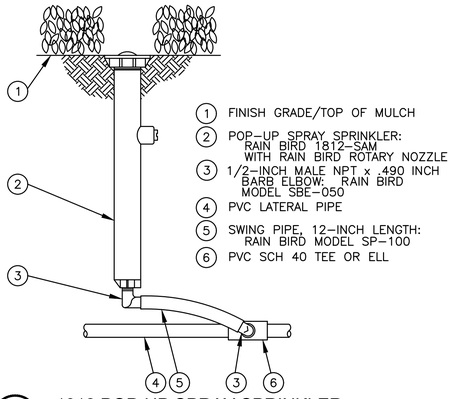


1. FINISH GRADE/TOP OF MULCH
2. POP-UP SPRAY SPRINKLER: RAIN BIRD 1806 WITH RAIN BIRD ROTARY NOZZLE
3. PVC LATERAL PIPE
4. SWING ASSEMBLY: RAIN BIRD MODEL SA 6050
5. PVC SCH 40 TEE OR ELL

A 1806 POP-UP SPRAY SPRINKLER WITH ROTARY NOZZLE

N.T.S.

S-1806Rotary-SP.DWG

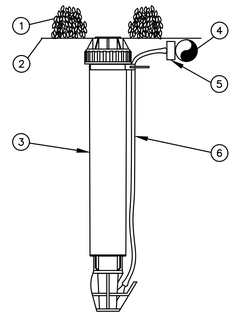


1. FINISH GRADE/TOP OF MULCH
2. POP-UP SPRAY SPRINKLER: RAIN BIRD 1812-SAM WITH RAIN BIRD ROTARY NOZZLE
3. 1/2-INCH MALE NPT x .490 INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
4. PVC LATERAL PIPE
5. SWING PIPE, 12-INCH LENGTH: RAIN BIRD MODEL SP-100
6. PVC SCH 40 TEE OR ELL

B 1812 POP-UP SPRAY SPRINKLER WITH ROTARY NOZZLE

N.T.S.

S-1812Rotary-SP.DWG



1. PLANT MATERIAL
2. FINISH GRADE
3. MICRO-SPRAY POP-UP: RAIN BIRD XERI-POP XP-600X
4. ½" POLYETHYLENE TUBING: RAIN BIRD XF SERIES TUBING OR RAIN BIRD XT-700 XERI-TUBE OR RAIN BIRD XBS BLACK STRIPE TUBING
5. ¼" SELF-PIERCING BARB CONNECTOR: RAIN BIRD SPB-025
6. ¼" DISTRIBUTION TUBING: RAIN BIRD XQ TUBING (LENGTH AS REQUIRED)

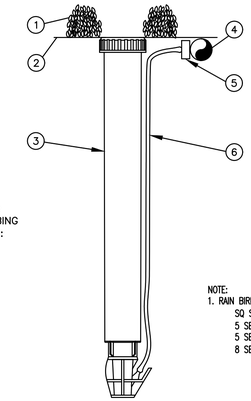
NOTE:
1. RAIN BIRD XERI-POP CAN UTILIZE THE FOLLOWING NOZZLES:
   SQ SQUARE NOZZLE (FORMERLY XPCN)
   5 SERIES MPR NOZZLES (ALL CONFIGURATIONS)
   5 SERIES PLASTIC BUBBLERS
   8 SERIES MPR NOZZLES (8H, 8T AND 8Q)

C XERI-POP MICRO-SPRAY 6" FROM BARBED CONNECTOR INTO 1/2" POLYETHYLENE TUBING - OPTION 1B

N.T.S.

Xeri-Pop 6 Option 1B.dwg

1-21-10



1. PLANT MATERIAL
2. FINISH GRADE
3. MICRO-SPRAY POP-UP: RAIN BIRD XERI-POP XP-1200X
4. ½" POLYETHYLENE TUBING: RAIN BIRD XF SERIES TUBING OR RAIN BIRD XT-700 XERI-TUBE OR RAIN BIRD XBS BLACK STRIPE TUBING
5. ¼" SELF-PIERCING BARB CONNECTOR: RAIN BIRD SPB-025
6. ¼" DISTRIBUTION TUBING: RAIN BIRD XQ TUBING (LENGTH AS REQUIRED)

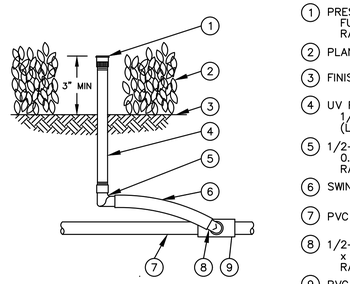
NOTE:
1. RAIN BIRD XERI-POP CAN UTILIZE THE FOLLOWING NOZZLES:
   SQ SQUARE NOZZLES (FORMERLY XPCN)
   5 SERIES MPR NOZZLES (ALL CONFIGURATIONS)
   5 SERIES PLASTIC BUBBLERS
   8 SERIES MPR NOZZLES (8H, 8T AND 8Q)

D XERI-POP MICRO-SPRAY 12" FROM BARBED CONNECTOR INTO 1/2" POLYETHYLENE TUBING - OPTION 1C

N.T.S.

Xeri-Pop 12 Option 1C.dwg

1-21-10



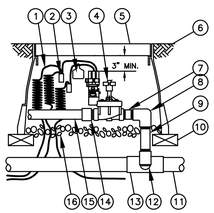
1. PRESSURE COMPENSATING FULL CIRCLE BUBBLER: RAIN BIRD 1400
2. PLANT MATERIAL
3. FINISH GRADE/TOP OF MULCH
4. UV RADIATION RESISTANT 1/2 INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
5. 1/2-INCH FEMALE NPT x 0.490-INCH BARB ELBOW: RAIN BIRD MODEL SBFE-050
6. SWING PIPE, 12-INCH LENGTH:
7. PVC LATERAL PIPE
8. 1/2-INCH MALE NPT x .490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
9. PVC SCH 40 TEE OR ELL

E PRESSURE COMPENSATING FULL-CIRCLE BUBBLER 1400 SERIES ON RISER

N.T.S.

N-1400 ON RISER.dwg

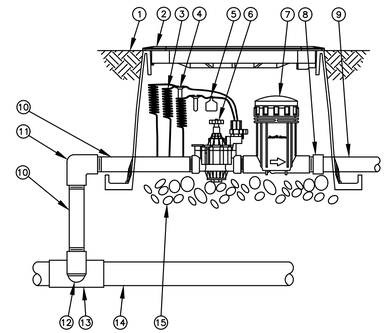
1/14/04



1. 30-INCH LINEAR LENGTH OF WIRE, COILED
2. WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
3. ID TAG: RAIN BIRD VID SERIES
4. REMOTE CONTROL VALVE: RAIN BIRD PESB WITH NP-HAN
5. VALVE BOX WITH COVER: RAIN BIRD VB-STD
6. FINISH GRADE/TOP OF MULCH
7. PVC SCH 80 NIPPLE (CLOSE)
8. PVC SCH 40 ELL
9. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
10. BRICK (1 OF 4)
11. PVC MAINLINE PIPE
12. SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
13. PVC SCH 40 TEE OR ELL
14. PVC SCH 40 MALE ADAPTER
15. PVC LATERAL PIPE
16. 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

F ELECTRIC REMOTE-CONTROL VALVE PEB OR PEBS SERIES

N.T.S.



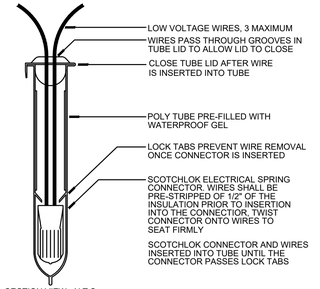
1. FINISH GRADE/TOP OF MULCH
2. VALVE BOX WITH COVER: RAIN BIRD VB-STD
3. 30-INCH LINEAR LENGTH OF WIRE, COILED
4. WATERPROOF CONNECTION: RAIN BIRD DB SERIES
5. ID TAG
6. REMOTE CONTROL VALVE: RAIN BIRD 100-PGA (INCLUDED IN CZK-100-PRB-LC KIT)
7. PRESSURE REGULATING BASKET FILTER: RAIN BIRD PRB-100 (INCLUDED IN CZK-100-PRB-LC KIT)
8. PVC SCH 40 FEMALE ADAPTOR
9. LATERAL PIPE
10. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
11. PVC SCH 40 ELL
12. PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
13. PVC SCH 40 TEE OR ELL
14. MAINLINE PIPE
15. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

G XCZ-100-PRB-LC 1" LIGHT COMMERCIAL CONTROL ZONE KIT OPTION 1

N.T.S.

CZK-100-PRB-LC Option 1.dwg

12-22-10



- LOW VOLTAGE WIRES, 3 MAXIMUM
- WIRES PASS THROUGH GROOVES IN TUBE LID TO ALLOW LID TO CLOSE
- CLOSE TUBE LID AFTER WIRE IS INSERTED INTO TUBE
- POLY TUBE PRE-FILLED WITH WATERPROOF GEL
- LOCK TABS PREVENT WIRE REMOVAL ONCE CONNECTOR IS INSERTED
- SCOTCHLOK ELECTRICAL SPRING CONNECTOR. WIRES SHALL BE PRE-STRIPPED OF 1/2" OF THE INSULATION PRIOR TO INSERTION INTO THE CONNECTOR. TWIST CONNECTOR ONTO WIRES TO SEAT FIRMLY
- SCOTCHLOK CONNECTOR AND WIRES INSERTED INTO TUBE UNTIL THE CONNECTOR PASSES LOCK TABS

SECTION VIEW - N.T.S.

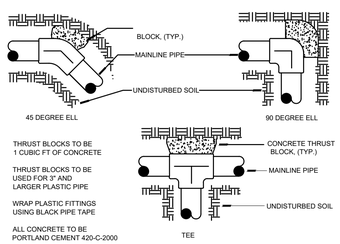
NOTE:
WIRE CONNECTOR SHALL BE A 3M DBY-6 DIRECT BURY SPLICE KITS

KIT SHALL INCLUDE A SCOTCHLOK Y SPRING CONNECTOR, A POLYPROPYLENE TUBE AND A WATERPROOF SEALING GEL. TUBE SHALL BE SUPPLIED PRE-FILLED WITH GEL.

DIRECT BURY SPLICE KIT SHALL BE USED TO ELECTRICALLY CONNECT 2-3 #14 OR 2 #12 PRE-STRIPPED COPPER WIRES. LARGER WIRES OR GREATER QUANTITIES OF WIRES SHALL REQUIRE A LARGER APPROVED WIRE CONNECTION.

H WIRE CONNECTION

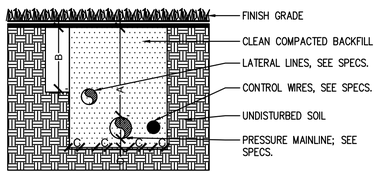
N.T.S.



SECTION VIEW - N.T.S.

I THRUST BLOCKING

N.T.S.

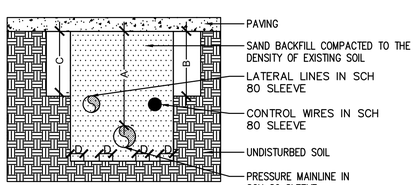


SECTION VIEW - N.T.S.

DIMENSION	A	B	C
1/2" TO 2-1/2" IN SIZE	18"	12"	4"
3" TO 6" IN SIZE	24"		4"

J PIPE INSTALLATION

N.T.S.



SECTION VIEW - N.T.S.

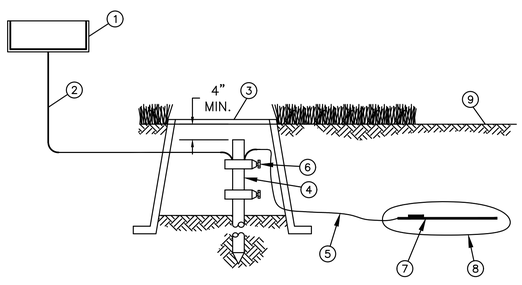
DIMENSION	A	B	C	D
1 1/2" TO 6" IN SIZE	36"	24"	24"	4"

TWICE THE DIAMETER OFF THE PIPE OR WIRE BUNDLE CARRIED

DETAIL ALSO FOR PIPE INSTALLED IN ROCK SOIL

K SLEEVE INSTALLATION

N.T.S.



1. RAIN BIRD CONTROLLER
2. SOLID BARE COPPER WIRE (#10 AWG) FROM GROUNDING ROD TO CONTROLLER. MAKE WIRE AS SHORT AND STRAIGHT AS POSSIBLE
3. COVER GROUNDING ROD WITH 10-INCH ROUND VALVE BOX AS SHOWN
4. 5/8-INCH X 10 FT COPPER CLAD GROUNDING ROD OR GROUNDING PLATE. INSTALL RODS IN SOIL IN A TRIAGULAR PATTERN SPACED A MINIMUM OF 16 FT APART FROM EACH OTHER. GROUNDING GRID TO HAVE A RESISTANCE OF TEN (10) OHMS OR LESS
5. BARE COPPER WIRE (#6 AWG MIN.) BETWEEN GROUNDING ROD AND GROUNDING PLATE
6. GROUND ROD CLAMP OR WELDS
7. COPPER GROUNDING PLATE
8. GROUND ENHANCEMENT MATERIAL (IF REQUIRED)
9. FINISH GRADE

L CONTROLLER GROUNDING GRID GROUNDING PLATE DESIGN LAYOUT

N.T.S.

D-GROUNDING PLATE GRID FOR CONTROLLER.DWG

6-15-10

ECG
EBRAHIMIAN CREATIVE GROUP
10708 NW 12TH MNR., PLANTATION, FL 33322
RKINGEBRA@ECG.LAND PH.: 305 879 7965
WWW.ECG.LAND

REVISIONS / SUBMISSIONS

1	06/29/2023	CITY TAC REVIEW COMMENTS	RKE
2	01/31/2024	CITY TAC REVIEW COMMENTS	RKE
3	02/11/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE
4	05/08/2025	FINAL SIGN OFF REVIEW COMMENTS	RKE

811 Know what's below. Call before you dig.

PHASE:

CLIENT:

8 UNIT TOWNHOMES
2420 LINCOLN ST.
HOLLYWOOD, FL 33020

IRRIGATION DETAILS & NOTES

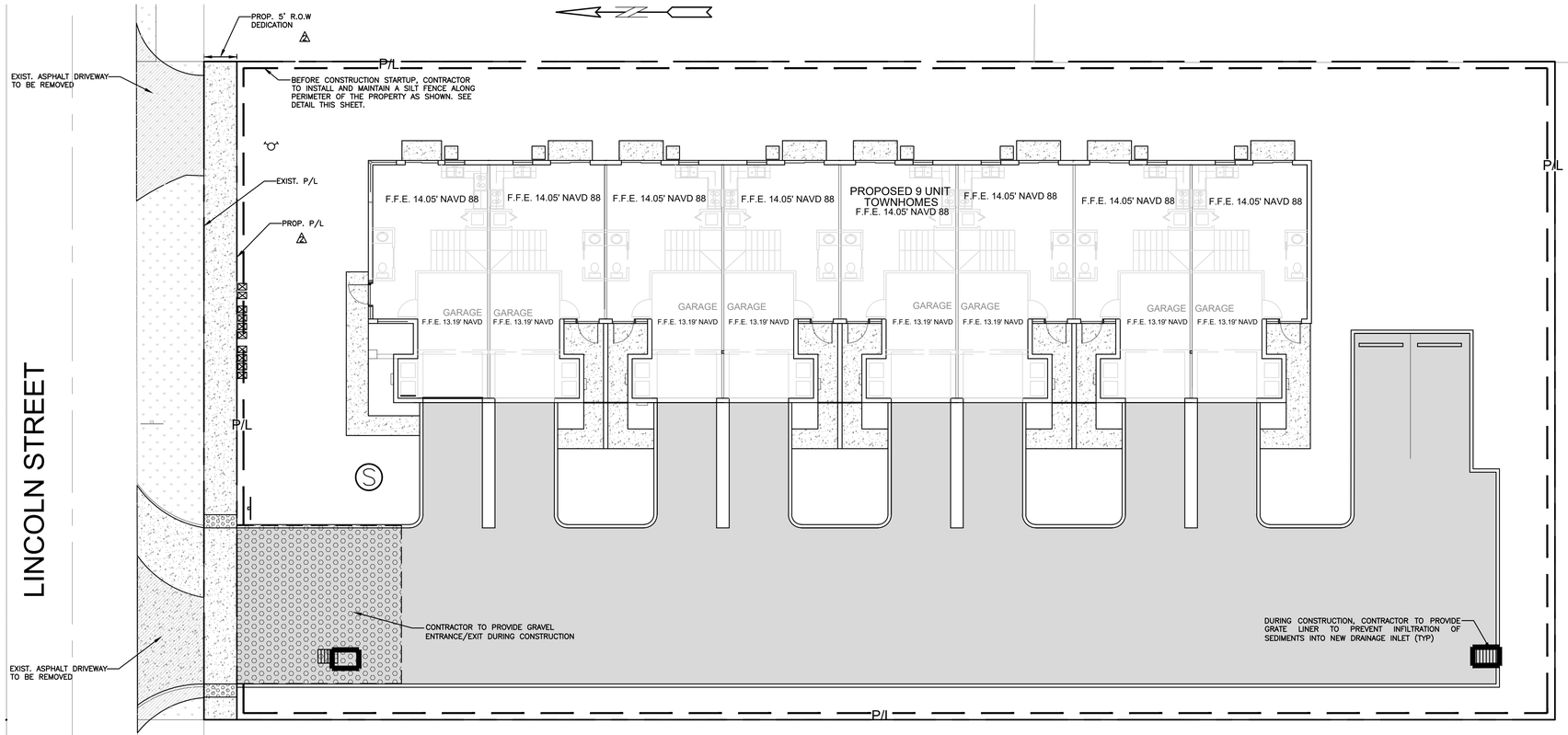
REGISTERED LANDSCAPE ARCHITECT
RYAN JAHAN KING EBRAHIMIAN
LA6667324
STATE OF FLORIDA

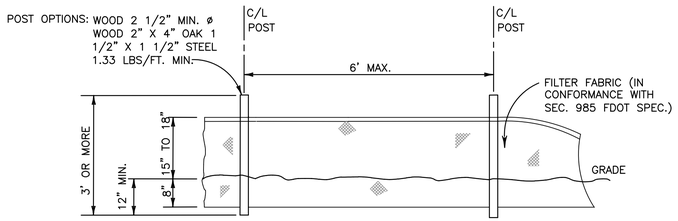
RYAN J. KING EBRAHIMIAN
LA6667324 ISA CA 10101-A

DRAWN BY: RJK
CHECKED BY:
DATE: 2025-05-09

SHEET NUMBER:
IR-3

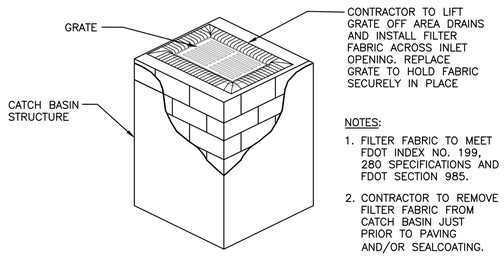
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM





TYPE III SILT FENCE

NTS



NOTES:

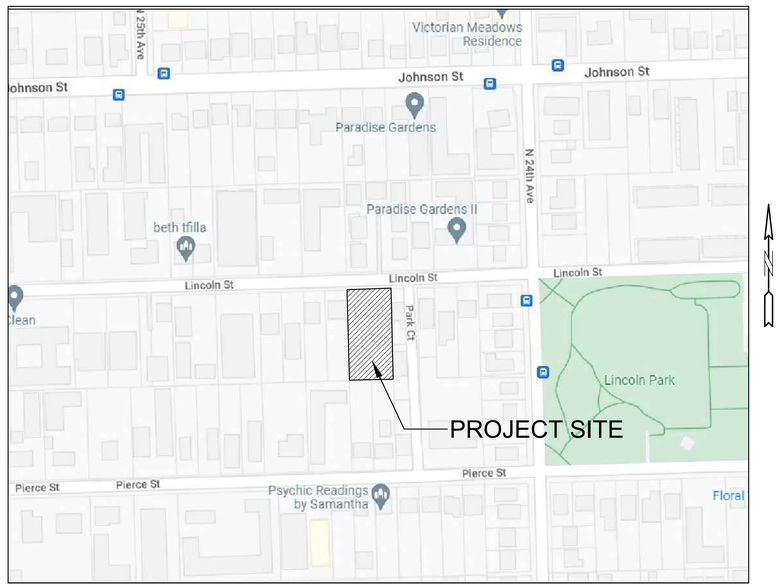
1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

POLLUTION PREVENTION FOR CATCH BASIN

N.T.S.

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- 8.90 PROPOSED GRADE
- +8.36 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- S EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



LOCATION MAP

NOT TO SCALE

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.

2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.

5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.

6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.

9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.

10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.

11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER

2-19-25

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PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS

NO.	DATE	DESCRIPTION
1	4-24-23	TAC REVIEW COMMENTS
2	7-29-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#:31158

8 UNIT TOWNHOMES
2420 LINCOLN STREET
HOLLYWOOD, FL

P.E.#:76036

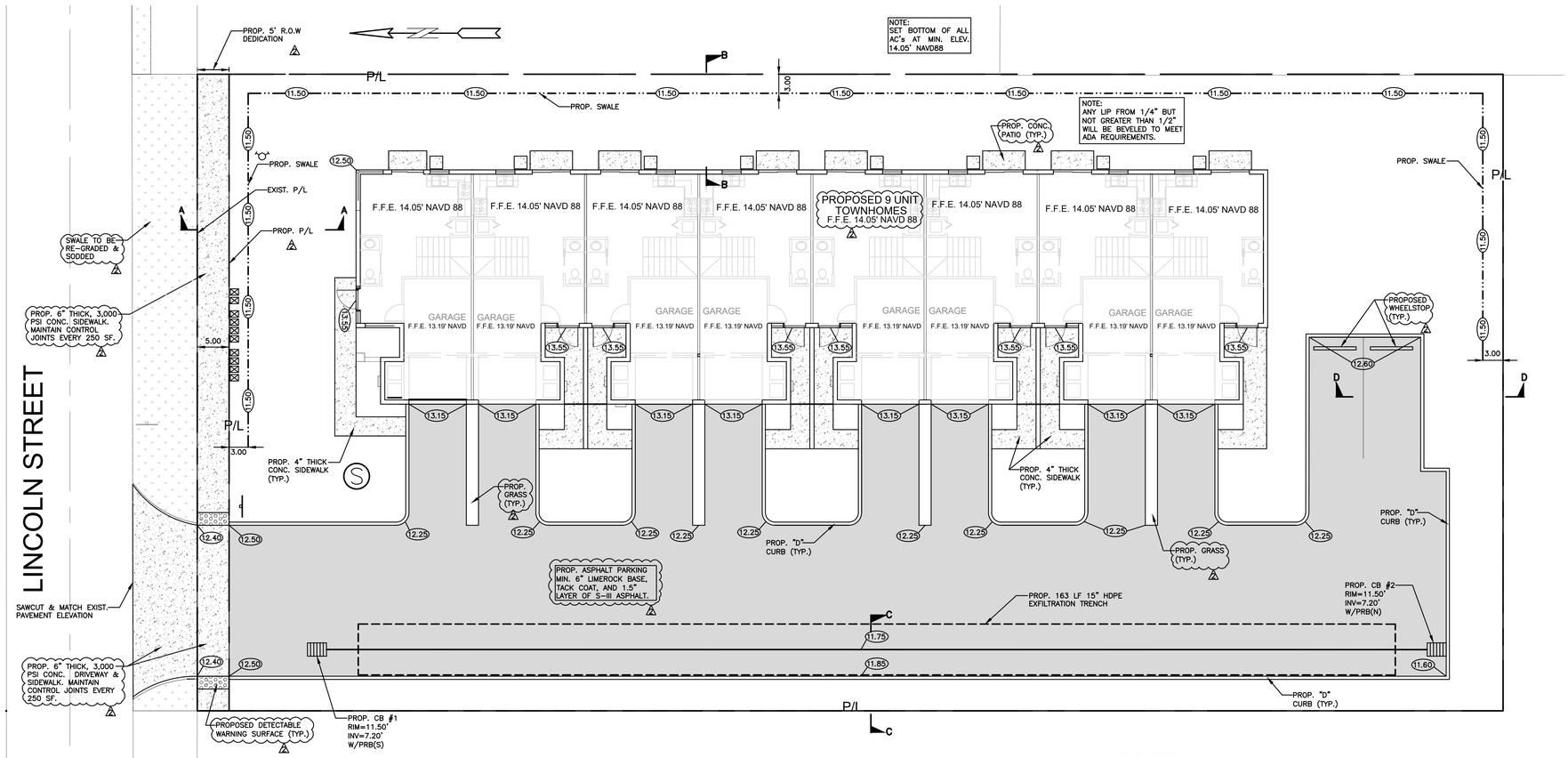
DATE: 1/25/23

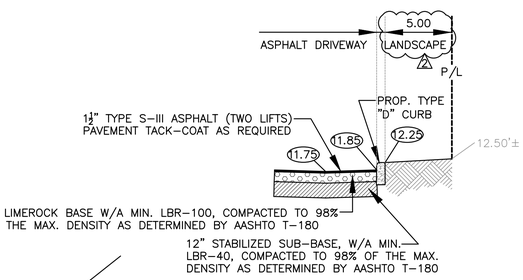
SCALE: 1"=10'

SHEET NO.: C1
1 OF 9

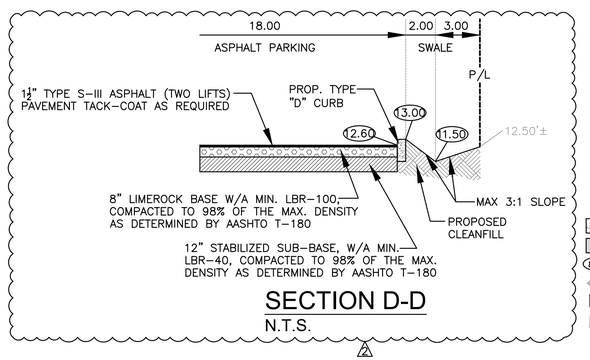
PROJECT NO.: 23-04

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

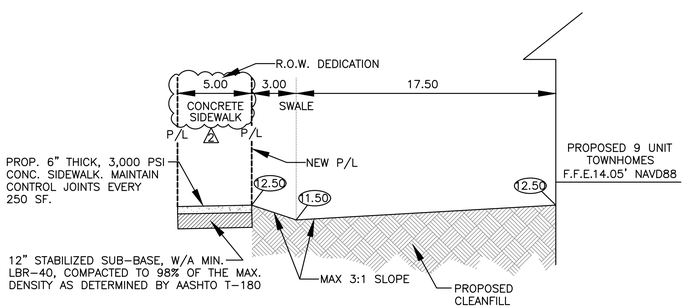




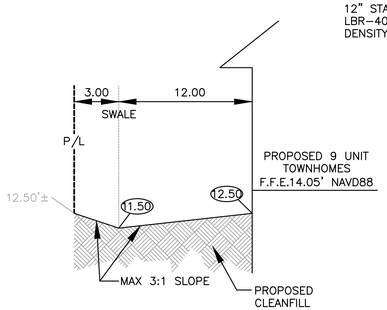
SECTION C-C
N.T.S.



SECTION D-D
N.T.S.



SECTION A-A
N.T.S.



SECTION B-B
N.T.S.

NOTES:

1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- 8.90 PROPOSED GRADE
- +8.36 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- S EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER

2-19-25

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PAVING, GRADING & DRAINAGE PLAN
SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION
1	4-24-23	TAC REVIEW COMMENTS
2	7-29-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#:31158

8 UNIT TOWNHOMES
2420 LINCOLN STREET
HOLLYWOOD, FL

P.E.#:76036

DATE: 1/25/23

SCALE: 1"=10'

SHEET NO.: C2
2 OF 9

PROJECT NO.: 23-04

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

   FLORIDA POWER & LIGHT CO., CONSTRUCTION
   BELLSOUTH
   COMCAST
   TECO
   LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
   FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
   UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA
   (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADIATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS –

    RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
    CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
    CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
    SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
    PVC = POLYVINYLCHLORIDE PIPE
    PCMP = PERFORATED CMP, FDOT SECTION 945
    DIP = DUCTILE IRON PIPE
    HDPE = HIGH DENSITY POLYETHYLENE PIPE.

15. ASPHALT –

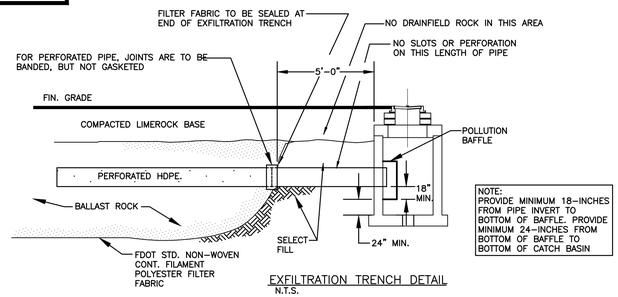
    BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.

    PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE – 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE – 0.02 TO 0.08 GALS/S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

PAVEMENT MARKING & SIGNING STANDARD NOTES :

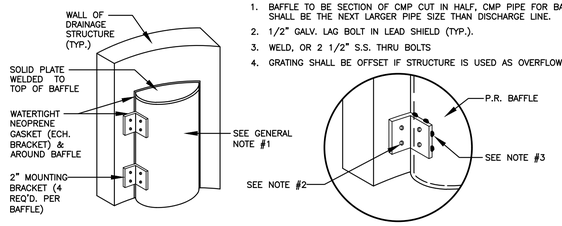
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7', THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



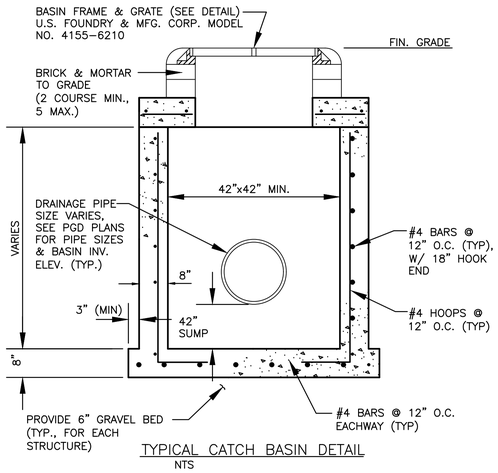
EXFILTRATION TRENCH DETAIL
N.T.S.

GENERAL NOTES :

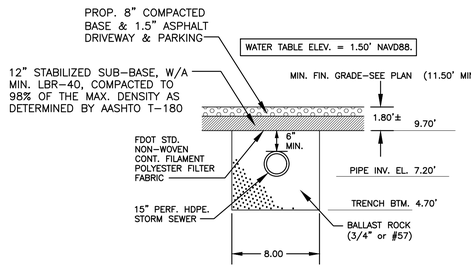
1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



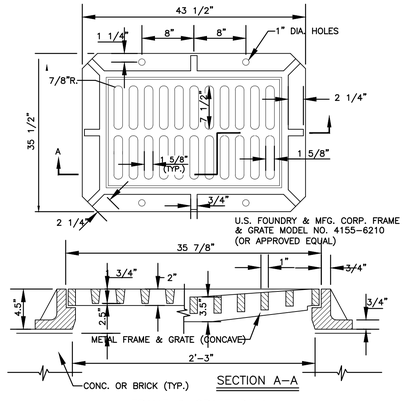
POLLUTION RETARDANT BAFFLE DETAIL
NTS



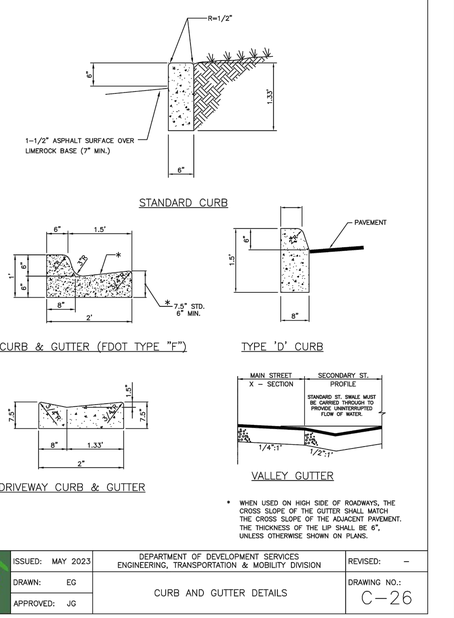
TYPICAL CATCH BASIN DETAIL
NTS



PROPOSED EXFILTR. TRENCH SECTION
N.T.S.



FRAME & GRATE DETAIL
NTS



* WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –
	DRAWN: EG	CURB AND GUTTER DETAILS	DRAWING NO.: C-26
	APPROVED: JG		

CIVIL DETAILS I

SCALE: N.T.S.

WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER

2-19-25

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REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING
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HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#:31158

8 UNIT TOWNHOMES
2420 LINCOLN STREET
HOLLYWOOD, FL

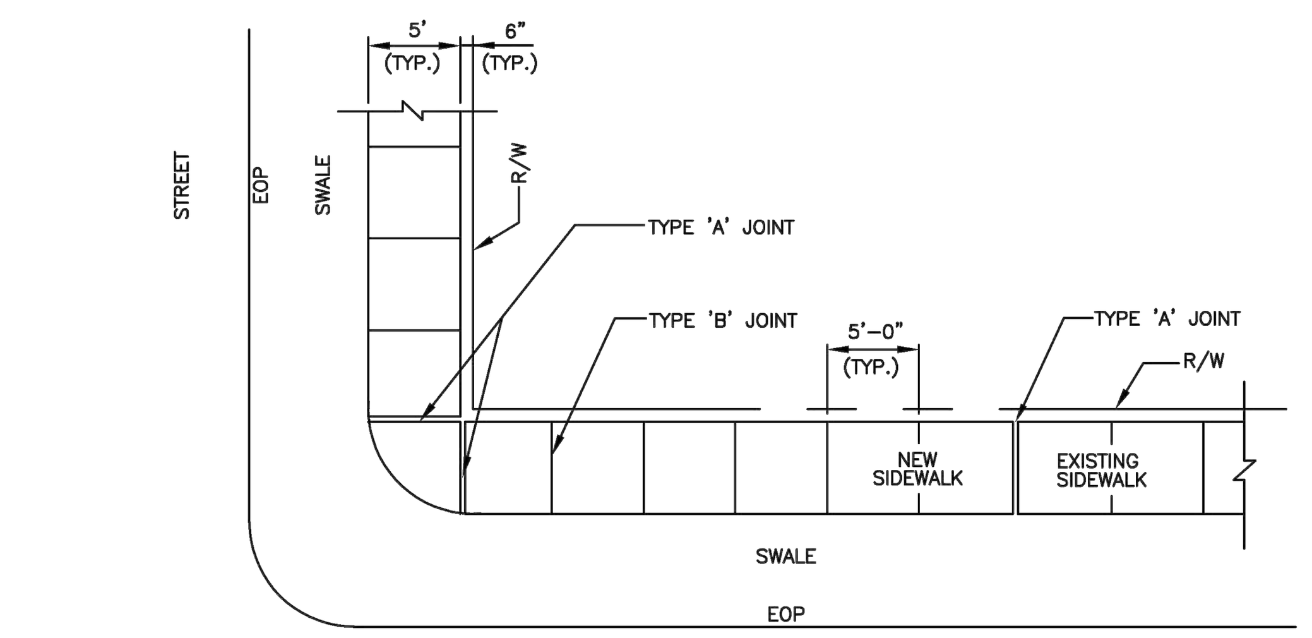
P.E.#:76036

DATE: 1/25/23

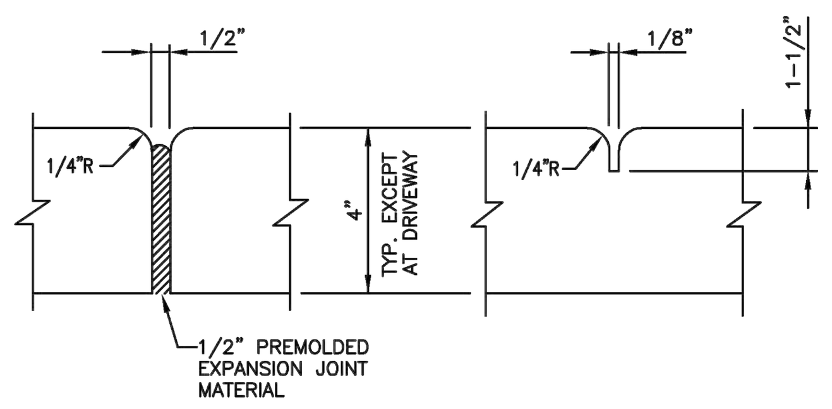
SCALE: N.T.S.

SHEET NO.: C3
3 OF 9

PROJECT NO.: 23-04



PLAN



TYPE 'A'

TYPE 'B'

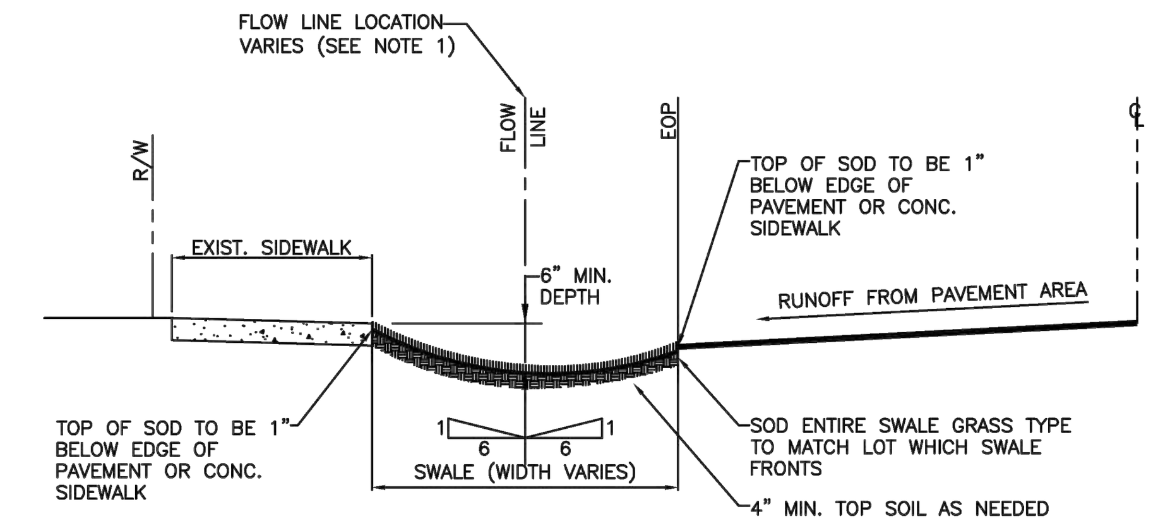
SIDEWALK JOINTS

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. & P.T. OF CURVES; JUNCTION OF EXISTING AND NEW SIDEWALKS; WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.
'B'	5' CENTER TO CENTER ON SIDEWALKS.

NOTES:

1. CONCRETE SHALL BE CLASS 1 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
2. USE OF FIBER REINFORCED CEMENT IS PROHIBITED.
3. SIDEWALK LONGITUDINAL AND CROSS SLOPES SHALL MEET ADA STANDARDS.
4. SIDEWALK CURB RAMPS SHALL BE PROVIDED AT ALL DESIGNATED PEDESTRIAN CROSSING AT INTERSECTIONS PER FDOT STANDARD PLANS INDEX NO. 522-002.
5. THE VERTICAL DEVIATION OF THE COVER/LID OF A GIVEN UTILITY BOX/STRUCTURE SHALL NOT BE MORE THAN A ¼" DIFFERENCE IN HEIGHT/ELEVATION OF THE FINISHED SIDEWALK SURFACE.
6. 4" THICK MINIMUM (TYP.); 6" THICK AT DRIVEWAYS, EXTENDED TWO FEET ON BOTH SIDES BEYOND THE DRIVE.

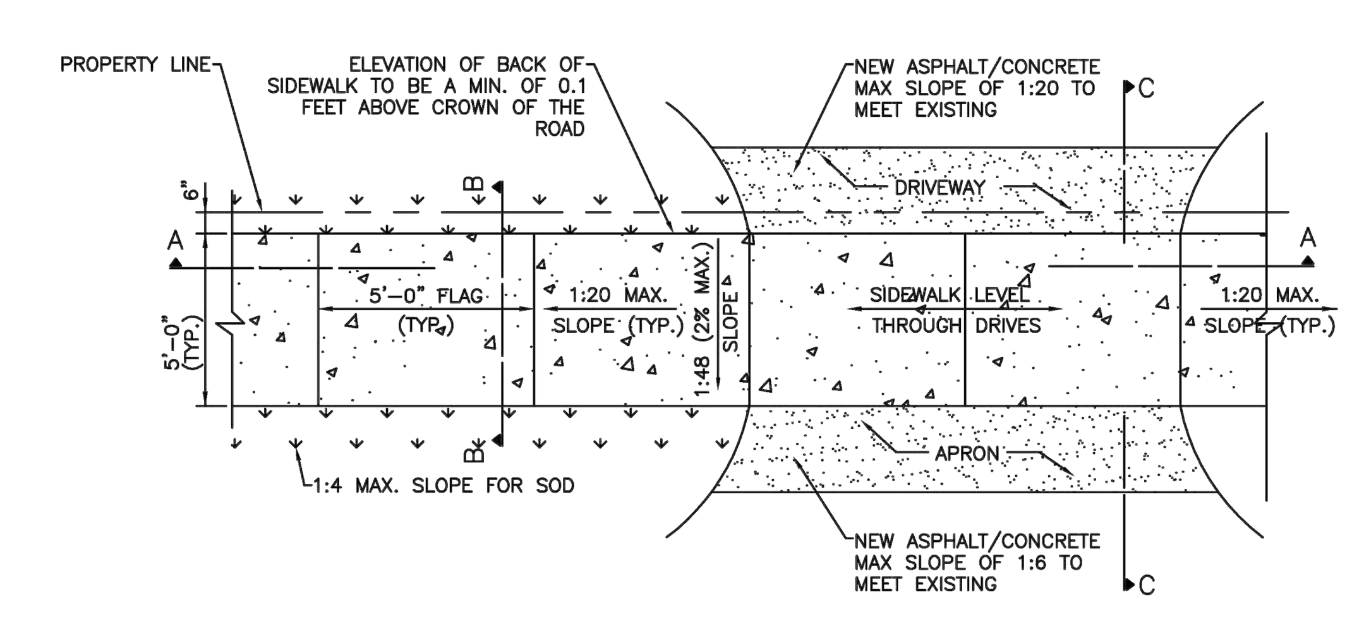
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (3 OF 3)	DRAWING NO.: C-25
APPROVED: JG		



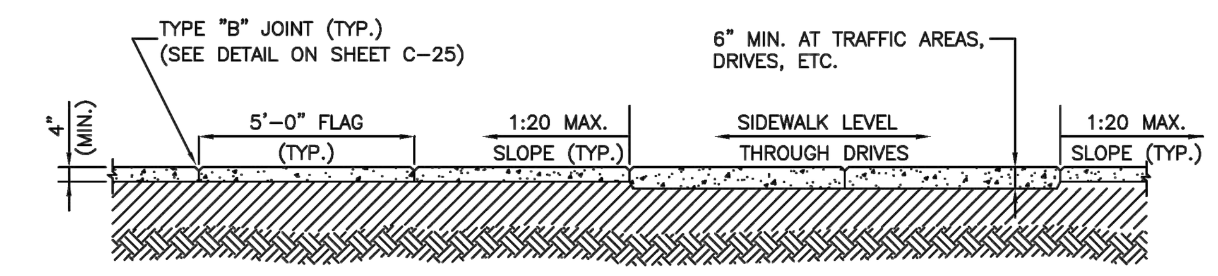
NOTES:

1. HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE 6:1 SLOPE FROM THE EDGE OF S/W AND 6:1 SLOPE FROM EDGE OF PAVEMENT MEET.
2. TOP OF SOD ELEVATION AS SHOW ABOVE.

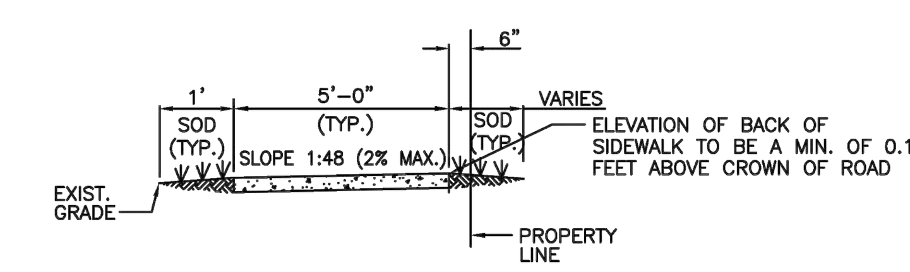
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –
DRAWN: EG	TYPICAL SWALE GRADING	DRAWING NO.: C-33
APPROVED: JG		



PLAN



SECTION A–A

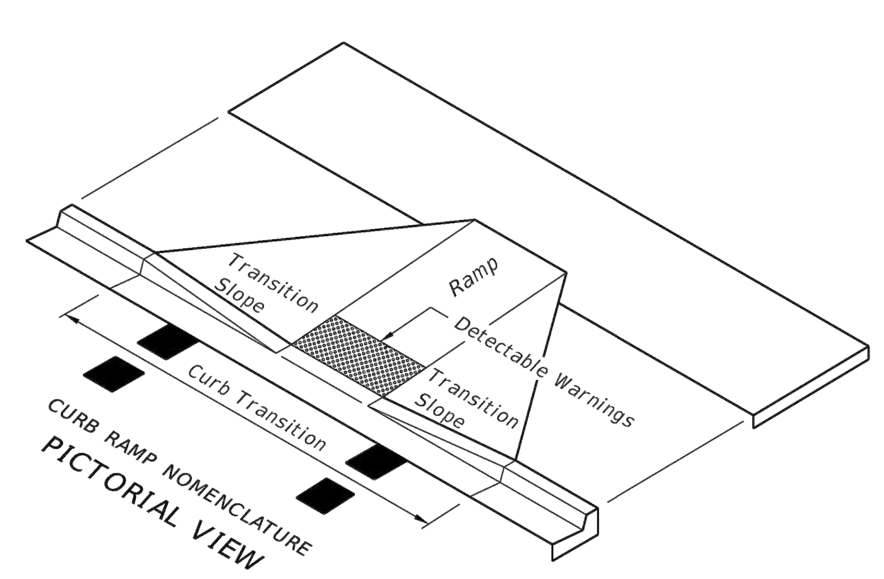


SECTION B–B

NOTE:

1. ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE ADA STANDARDS.
2. LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.
3. ALL SIDEWALKS CROSS SLOPES SHALL BE 1:48 (2% MAX.); AND, RUNNING SLOPES 1:20 MAX.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –
DRAWN: EG	SIDEWALK CONSTRUCTION DETAILS (1 OF 3)	DRAWING NO.: C-23
APPROVED: JG		



CURB RAMP NOMENCLATURE
PICTORIAL VIEW

LEGEND

Detectable Warnings

GENERAL NOTES

1. Sidewalk curb ramps shall be constructed at locations that will provide continuous unobstructed pedestrian circulation path to pedestrian areas, elements and facilities within the right of way and to accessible pedestrian routes on adjacent sites. Curbed facilities with sidewalks and those without sidewalks are to have curb ramps constructed for all intersections and turnouts with curbed returns. To accommodate curb ramps, partial curb returns are to extend to the limits prescribed in Index No. 515. Ramps constructed at locations without sidewalks are to have a landing constructed at the top of each ramp, see LANDINGS FOR CURB RAMPS WITHOUT SIDEWALKS.

2. When altering existing pedestrian facilities, where existing restricted conditions preclude the accommodation of a ramp slope of 1:12, a ramp slope between 1:12 and 1:10 is permitted for a rise of 6" maximum. Where compliance with the requirements for cross slope cannot be fully met, the minimum feasible cross slope shall be provided. Ramp slopes are not required to exceed 15' in length.

3. If sidewalk curb ramps are located where pedestrians must walk across the ramp, then provide transition slopes to the ramp; otherwise a sidewalk curb may be required.

4. All sidewalks, ramps, and landings with a cross slope of 0.02 shown in this Index are 0.02 maximum. All ramp slopes shown in this Index as 1:12 are 1:12 maximum. Landings shall have slopes less than or equal to 0.02 in any direction.

5. Grade breaks at the top and bottom of ramps shall be parallel to each other and perpendicular to the direction of the ramp slope.

6. Where a sidewalk curb ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the curb transition or to the extent that no remaining section of curb or curb and gutter is less than 5' long. Existing sidewalks shall be removed to the nearest joint beyond the transition slope or to the extent that no remaining section of sidewalk is less than 5' long. For CONCRETE SIDEWALK details refer to Index 310.

7. Sidewalk curb ramp alpha-identifications are for reference purposes (plans, permits, etc.). Alpha-identifications CR-I and CR-J were intentionally omitted.

8. Detectable warnings shall extend the full width of the ramp and to a depth of 2'. Detectable warnings shall be constructed in accordance with Specification Section 527. For the layout of detectable warnings, refer to the TYPICAL PLACEMENT OF DETECTABLE WARNINGS details. Detectable warnings shall not be provided on transition slopes.

9. When detectable warnings are placed on a slope greater than 5%, domes shall be aligned with the centerline of the ramp; otherwise domes are not required to be aligned.

10. Detectable warnings shall be required on sidewalks at:
    a. Intersecting roads,
    b. Median Crossings greater than or equal to 6' in width,
    c. Railroad Crossings,
    d. Signalized driveways.

11. Detectable Warnings - Acceptance Criteria:
    a. Color and texture shall be complete and uniform.
    b. 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
    c. There shall be no more than 4 non-compliant domes in any one square foot.
    d. Non-compliant domes shall not be adjacent to other non-compliant domes.
    e. Surfaces shall not deviate more than 0.10" from a true plane.

12. Detectable warnings shall be installed no greater than 5' from the back of curb or edge of pavement.

13. Detectable warnings shall not be installed over grade breaks.

LAST REVISION 07/01/13	REVISION	DESCRIPTION:	FDOT 2014 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX NO. 304	SHEET NO. 1 of 7

2-19-25

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CIVIL DETAILS II

SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

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8 UNIT TOWNHOMES
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HOLLYWOOD, FL

P.E.#:76036

DATE: 1/25/23

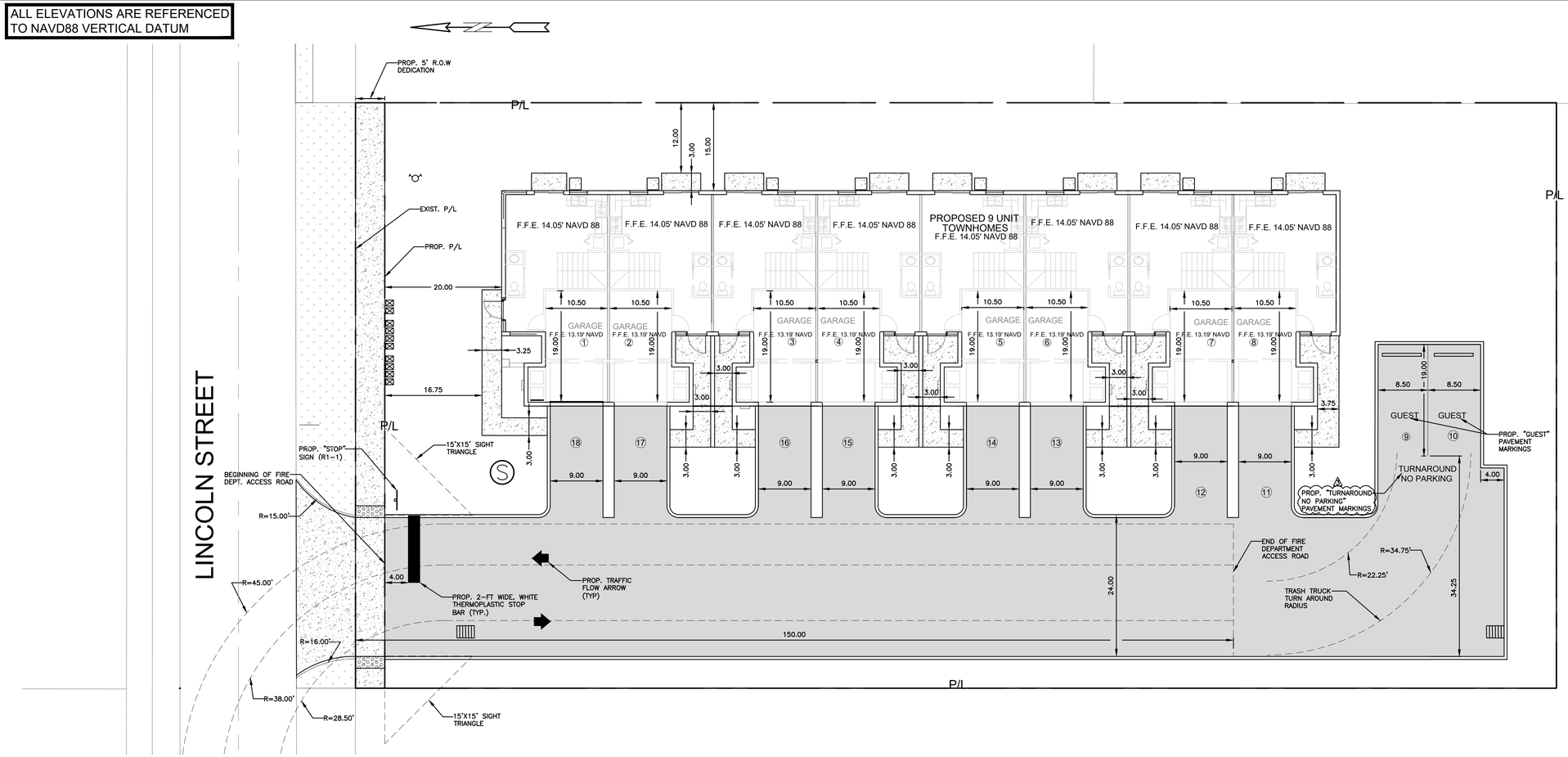
SCALE: N.T.S.

SHEET NO.: C4

4 OF 9

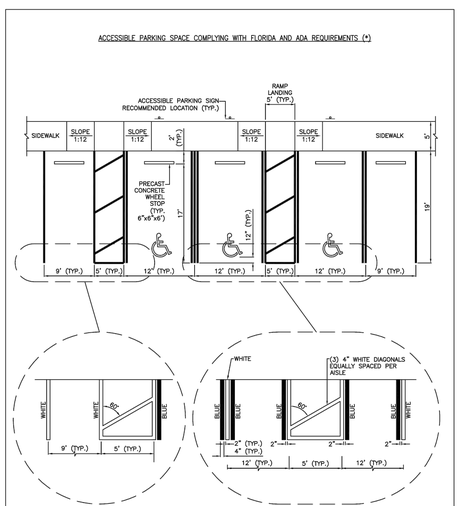
PROJECT NO.: 23-04

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

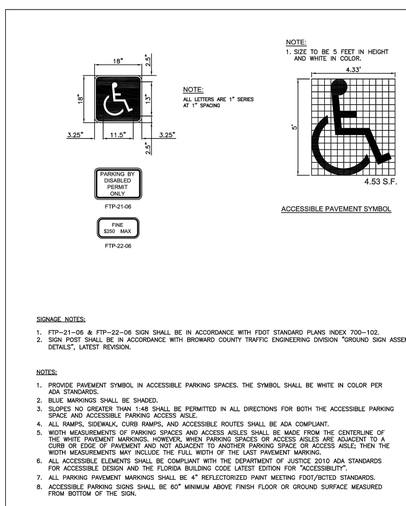


LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- 8.90 PROPOSED GRADE
- +8.36 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- S EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	ACCESIBLE PARKING SPACE DETAILS (1 OF 2)	DRAWING NO.: C-21	
APPROVED: JG			



SIGNAGE NOTES:

1. FTP-21-06 & FTP-22-06 SIGN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 700-102.
2. SIGN POST SHALL BE IN ACCORDANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION "GROUND SIGN ASSEMBLY DETAILS", LATEST REVISION.

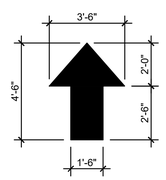
NOTES:

1. PROVIDE PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES. THE SYMBOL SHALL BE WHITE IN COLOR PER ADA STANDARDS.
2. BLUE MARKINGS SHALL BE SHADED.
3. SLOPES NO GREATER THAN 1:48 SHALL BE PERMITTED IN ALL DIRECTIONS FOR BOTH THE ACCESSIBLE PARKING SPACE AND ACCESSIBLE PARKING ACCESS AISLE.
4. ALL RAMPS, SIDEWALK, CURB RAMPS, AND ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT.
5. WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE WHITE PAVEMENT MARKINGS. HOWEVER, WHEN PARKING SPACES OR ACCESS AISLES ARE ADJACENT TO A WALL OR EDGE OF PAVEMENT AND NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE; THEN THE WIDTH MEASUREMENTS MAY INCLUDE THE FULL WIDTH OF THE LAST PAVEMENT MARKING.
6. ALL ACCESSIBLE ELEMENTS SHALL BE COMPLIANT WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE FLORIDA BUILDING CODE LATEST EDITION FOR "ACCESSIBILITY".
7. ALL PARKING PAVEMENT MARKINGS SHALL BE 4" REFLECTORIZED PAINT MEETING FDOT/BCTED STANDARDS.
8. ACCESSIBLE PARKING SIGNS SHALL BE 60" MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED FROM BOTTOM OF THE SIGN.

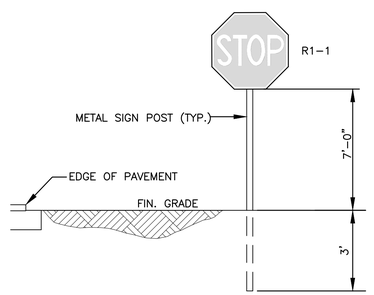
ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	ACCESIBLE PARKING SPACE DETAILS (2 OF 2)	DRAWING NO.: C-22	
APPROVED: JG			

TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON CONCRETE - SEE LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "YELLOW" COLORED PAINT ON CONCRETE.



TRAFFIC CONTROL ARROWS DETAILS
N.T.S



TYPICAL SIGN INSTALLATION DETAIL
NTS

2-19-25

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PAVEMENT MARKINGS & SIGNAGE PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION
1	4-13-23	TAC REVIEW COMMENTS
2	7-29-24	TAC REVIEW COMMENTS
3	2-19-25	TAC REVIEW COMMENTS

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HOLLYWOOD, FL

P.E.#:76036

DATE: 1/25/23

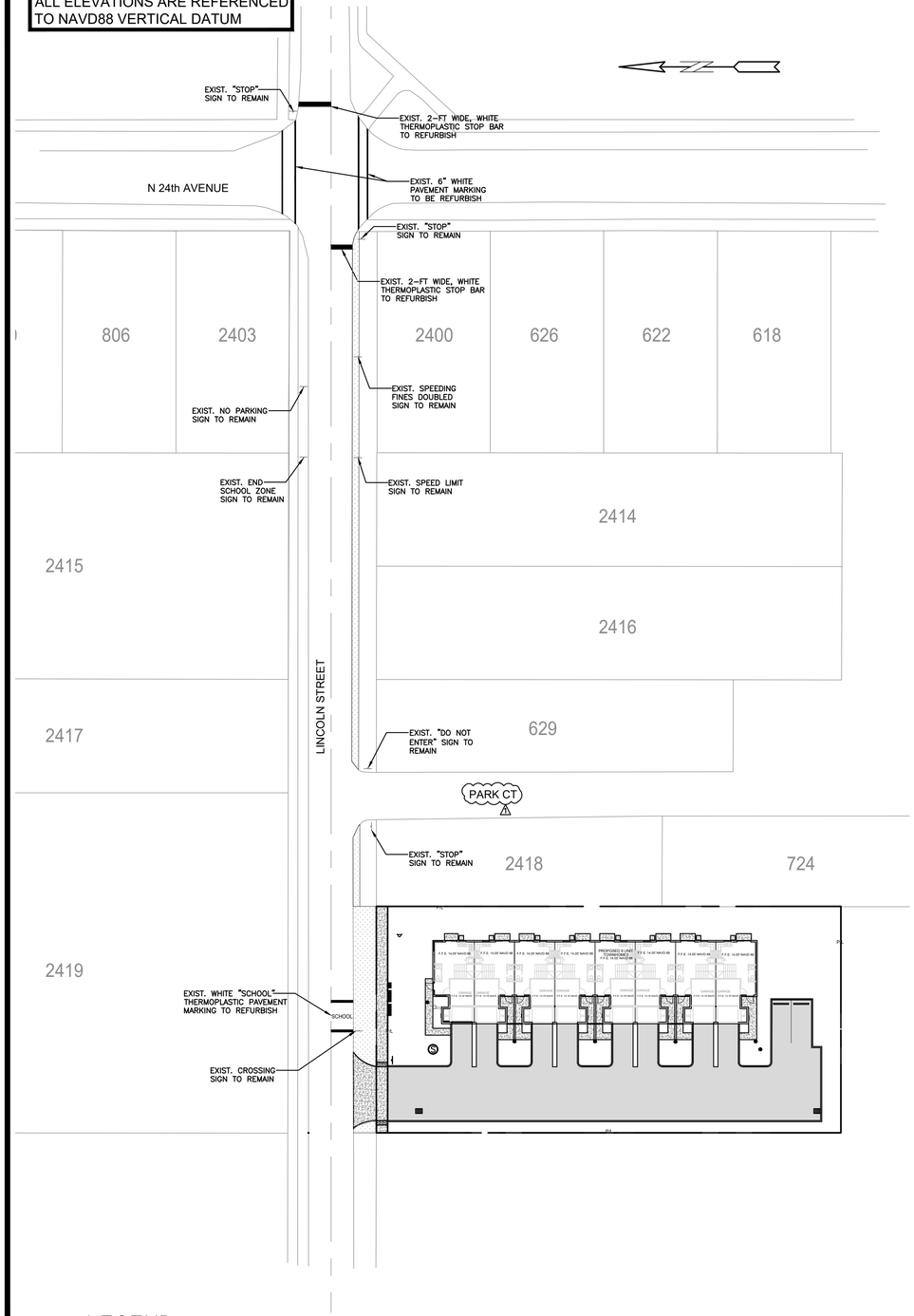
SCALE: 1"=10'

SHEET NO.: C5
5 OF 9

PROJECT NO.: 23-04

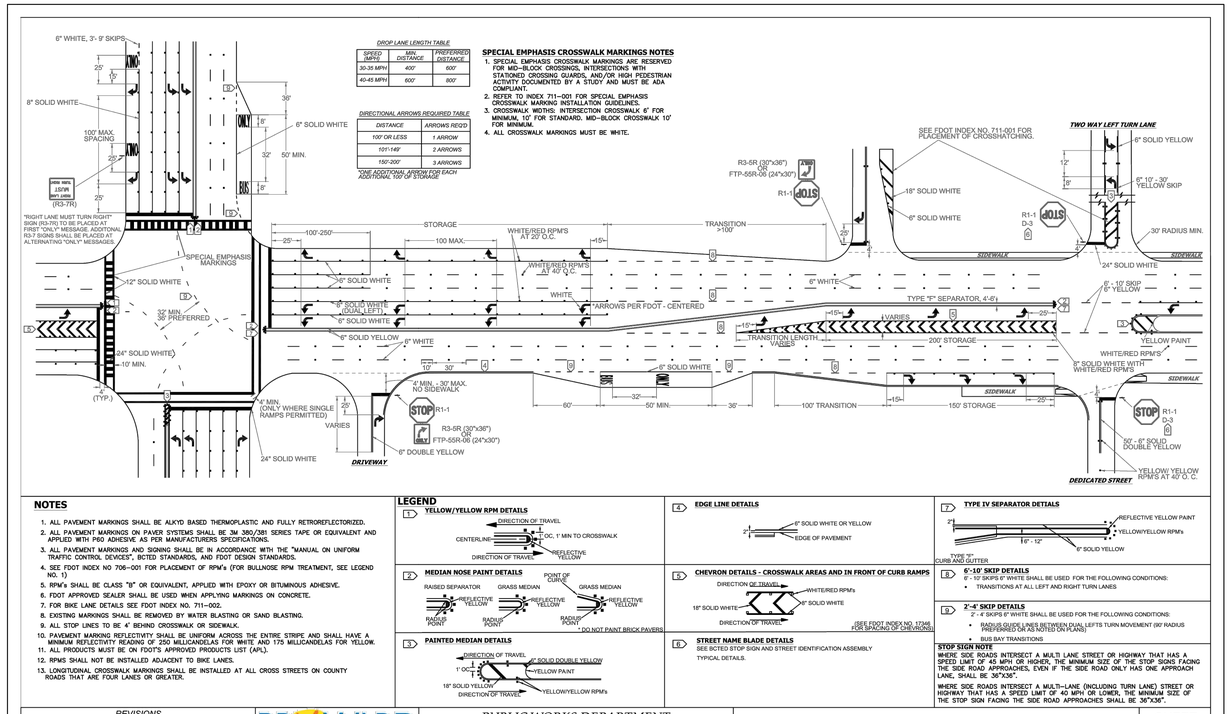
B.C.T.E.D. NO. XXXXXXX

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- 8.90 PROPOSED GRADE
- +8.38 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- 5 EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



DROP LANE LENGTH TABLE

SPEED (MPH)	MIN. DISTANCE	PREFERRED DISTANCE
30-35 MPH	400'	600'
40-45 MPH	600'	800'

DIRECTIONAL ARROWS REQUIRED TABLE

DISTANCE	ARROWS REQ'D
100' OR LESS	1 ARROW
101'-149'	2 ARROWS
150'-200'	3 ARROWS

*ONE ADDITIONAL ARROW FOR EACH ADDITIONAL 100' OF STORAGE

SPECIAL EMPHASIS CROSSWALK MARKINGS NOTES

1. SPECIAL EMPHASIS CROSSWALK MARKINGS ARE RESERVED FOR MID-BLOCK CROSSINGS, INTERSECTIONS WITH STATIONED CROSSING GUARDS, AND/OR HIGH PEDESTRIAN ACTIVITY DOCUMENTED BY A STUDY AND MUST BE ADA COMPLIANT.
2. REFER TO INDEX 711-001 FOR SPECIAL EMPHASIS CROSSWALK MARKING INSTALLATION GUIDELINES.
3. CROSSWALK WIDTHS: INTERSECTION CROSSWALK 6" FOR MINIMUM, 12" FOR STANDARD, MID-BLOCK CROSSWALK 10' FOR MINIMUM.
4. ALL CROSSWALK MARKINGS MUST BE WHITE.

NOTES

1. ALL PAVEMENT MARKINGS SHALL BE ALKYD BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
2. ALL PAVEMENT MARKINGS ON PAVER SYSTEMS SHALL BE 3M 380/381 SERIES TAPE OR EQUIVALENT AND APPLIED WITH PRO ADHESIVE AS PER MANUFACTURERS SPECIFICATIONS.
3. ALL PAVEMENT MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", BCTED STANDARDS, AND FDOT DESIGN STANDARDS.
4. SEE FDOT INDEX NO 706-001 FOR PLACEMENT OF RPM's (FOR BULLNOSE RPM TREATMENT, SEE LEGEND NO. 1)
5. RPM's SHALL BE CLASS "B" OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
6. FDOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
7. FOR BIKE LANE DETAILS SEE FDOT INDEX NO. 711-002.
8. EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SAND BLASTING.
9. ALL STOP LINES TO BE 4' BEHIND CROSSWALK OR SIDEWALK.
10. PAVEMENT MARKING REFLECTIVITY SHALL BE UNIFORM ACROSS THE ENTIRE STRIPE AND SHALL HAVE A MINIMUM REFLECTIVITY READING OF 250 MILLICANDELAS FOR WHITE AND 175 MILLICANDELAS FOR YELLOW.
11. ALL PRODUCTS MUST BE ON FDOT'S APPROVED PRODUCTS LIST (APL).
12. RPMS SHALL NOT BE INSTALLED ADJACENT TO BIKE LANES.
13. LONGITUDINAL CROSSWALK MARKINGS SHALL BE INSTALLED AT ALL CROSS STREETS ON COUNTY ROADS THAT ARE FOUR LANES OR GREATER.

LEGEND

1. YELLOW/YELLOW RPM DETAILS
2. MEDIAN NOSE PAINT DETAILS
3. PAINTED MEDIAN DETAILS
4. EDGE LINE DETAILS
5. CHEVRON DETAILS - CROSSWALK AREAS AND IN FRONT OF CURB RAMPS
6. STREET NAME BLADE DETAILS — SEE BCTED STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS.
7. TYPE IV SEPARATOR DETAILS
8. 6'-10' SKIP DETAILS — 6' - 10' SKIPS 6" WHITE SHALL BE USED FOR THE FOLLOWING CONDITIONS:
   - TRANSITIONS AT ALL LEFT AND RIGHT TURN LANES
9. 2'-4' SKIP DETAILS — 2' - 4' SKIPS 6" WHITE SHALL BE USED FOR THE FOLLOWING CONDITIONS:
   - RADIUS GUIDE LINES BETWEEN DUAL LEFTS TURN MOVEMENT (60' RADIUS PREFERRED OR AS NOTED ON PLANS)
   - BUS BAY TRANSITIONS

STOP SIGN NOTE
WHERE SIDE ROADS INTERSECT A MULTI LANE STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 45 MPH OR HIGHER, THE MINIMUM SIZE OF THE STOP SIGNS FACING THE SIDE ROAD APPROACHES, EVEN IF THE SIDE ROAD ONLY HAS ONE APPROACH LANE, SHALL BE 36"X36".
WHERE SIDE ROADS INTERSECT A MULTI-LANE (INCLUDING TURN LANE) STREET OR HIGHWAY THAT HAS A SPEED LIMIT OF 40 MPH OR LOWER, THE MINIMUM SIZE OF THE STOP SIGN FACING THE SIDE ROAD APPROACHES SHALL BE 36"X36".

REVISIONS	
DATE	DESCRIPTION
11-24-2020	UPDATED NOTES
04-14-2021	UPDATED NOTES
05-06-2022	UPDATED NOTES

BROWARD COUNTY FLORIDA

PUBLIC WORKS DEPARTMENT
TRAFFIC ENGINEERING DIVISION

DESIGN BY: CARMELO CARATOZZOLO, P.E. | SCALE: NTS
DRAWN BY: STEPHON RAMOUTAR
CHECKED BY: CARMELO CARATOZZOLO, P.E.

PAVEMENT MARKINGS AND SIGNS DETAILS

SHEET NO. 1 OF 1

2-19-25

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R.O.W. PAVEMENT MARKINGS PLAN

SCALE: 1"=30'

REVISIONS		
NO.	DATE	DESCRIPTION
1	7-29-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
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HOLLYWOOD, FL
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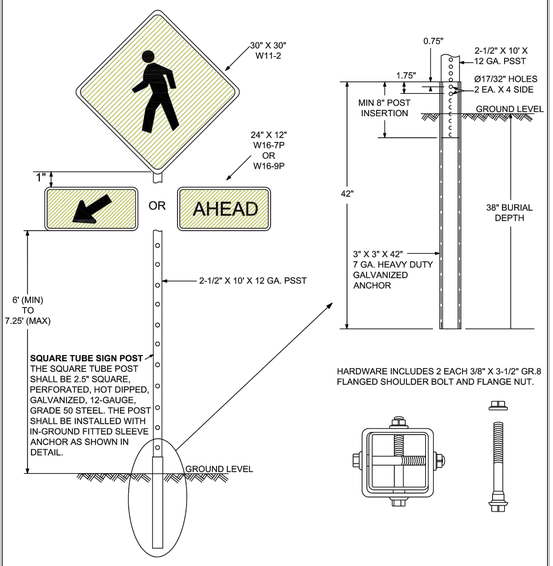
wzephyreng@gmail.com
CA#:31158

8 UNIT TOWNHOMES
2420 LINCOLN STREET
HOLLYWOOD, FL

P.E.#:76036
DATE: 1/25/23
SCALE: 1"=30'
SHEET NO.: C6
6 OF 9
PROJECT NO.: 23-04

B.C.T.E.D. NO. XXXXXXX

W11-2 (30"x 30") & SUPPLEMENTAL (24"x12") SIGN ASSEMBLY



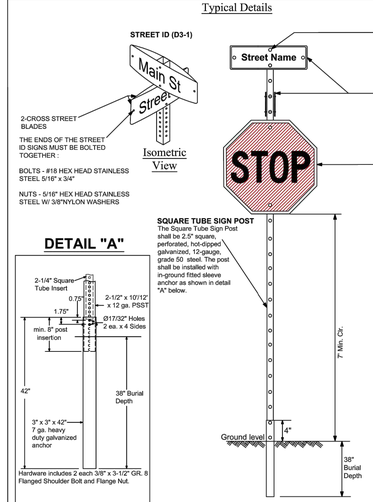
1. SCHOOL ZONE AND PEDESTRIAN SIGNS SHALL BE COMPRISED OF REFLECTIVE FLUORESCENT YELLOW-GREEN SHEETING. (SEE BCTED TECHNICAL POLICY MEMO #TPM-16-001 ON BCTED WEBSITE)
2. NOT FOR USE WITH RECTANGULAR RAPID FLASHING BEACONS

BROWARD COUNTY FLORIDA — PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING DIVISION

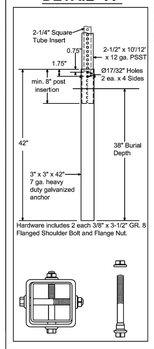
W11-2 (30"x 30") & SUPPLEMENTAL (24"x 12") SIGN ASSEMBLY	
REVISION: 11-15-18	SCALE: NTS
	DESIGN BY: YVES D'ANJOU, P.E.
	DRAWN BY: STEPHON RAMOUTAR
SHEET 1 OF 1	CHECKED BY: ANDREW SEBO, P.E., PTOE

FOR SIGN ASSEMBLIES WITH MAXIMUM 8.75 SQUARE FOOT PANEL AREA

Typical Details



DETAIL "A"



STREET ID (D3-1) MATERIALS:

LETTERS
WHITE TYPE XI SHEETING
LETTERING OF STREET NAME SIGNS SHALL BE COMPOSED OF A COMBINATION OF LOWERCASE LETTERS WITH INITIAL UPPERCASE LETTERS

BORDER
BORDER WIDTHS WILL VARY BASED ON LETTER HEIGHTS

LETTER HEIGHTS - BORDER WIDTHS
4 INCH LETTER = 0.375 INCH BORDER WIDTH
6 INCH LETTER = 0.500 INCH BORDER WIDTH
8 INCH LETTER = 0.750 INCH BORDER WIDTH

GREEN BACKGROUND
GREEN TRANSLUSCENT INK SILK-SCREENED CLEAR-COATED OR ELECTRO-CUT (EC) FILM OR EQUIVALENT

LETTER SIZES
SEE MUTCD TABLE 2D-2 (PG 163) FOR MINIMUM LETTER HEIGHTS
LENGTH VARIES BY STREET NAME

HARDWARE
BOLTS - #18 HEX HEAD STAINLESS STEEL 5/16" x 3"
NUTS - 5/16" STAINLESS STEEL W/ NYLON WASHERS.

REGULATORY SIGN
WHEN NO STREET ID IS PRESENT
THE STOP SIGN SHALL BE MOUNTED FLUSH TO THE TOP OF THE POST WHILE MAINTAINING 7 FEET MIN. CLEARANCE BETWEEN BOTTOM OF SIGN AND GROUND LEVEL. ANY SIGN INSTALLED BACK TO BACK WITH THE STOP SIGN SHALL BE SMALLER THAN THE STOP SIGN.

STOP, DO NOT ENTER OR YIELD
WHITE TYPE XI SHEETING
PRESSURE-SENSITIVE RED TRANSLUCENT INK SILK-SCREENED CLEAR-COATED OR ELECTRO-CUT (EC) FILM OR EQUIVALENT.

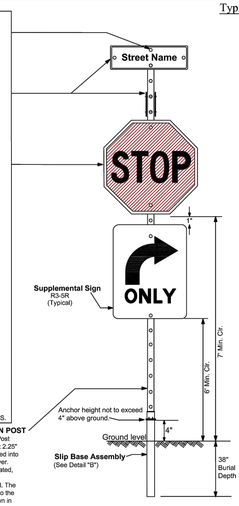
HARDWARE
FRONT: #18 HEX HEAD STAINLESS STEEL 5/16" x 3" BOLT W/ 3/8" NYLON WASHER
BACK: 5/16" HEX HEAD STAINLESS STEEL NUT W/ 3/8" STAINLESS STEEL WASHER.

NOTES: 1. ALL TYPE XI SHEETING UTILIZED MUST BE ON THE FDOT APL LIST.

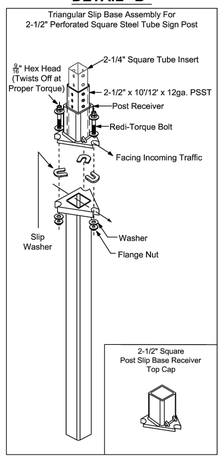
2. SEE BCTED TECHNICAL POLICY MEMO #TPM - 16-001 - SPECIFICATIONS FOR RETROFLECTIVE TRAFFIC SIGN MATERIALS.

FOR SIGN ASSEMBLIES WITH GREATER THAN 8.75 SQUARE FOOT PANEL AREA WITH SUPPLEMENTAL SIGN

Typical Details



DETAIL "B"



Notes:
1. Dimensions and certain details for the parts used to assemble the slip base connections are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and interims.

2. For standard ground sign installation, see detail entitled " Ground Sign Assembly Details".

REVISIONS	
DATE	DESCRIPTION
02-28-2020	ADDED ISOMETRIC VIEW
02-05-2021	UPDATED POST BASE HEIGHT
06-22-2023	UPDATED SIGN POST NOTES

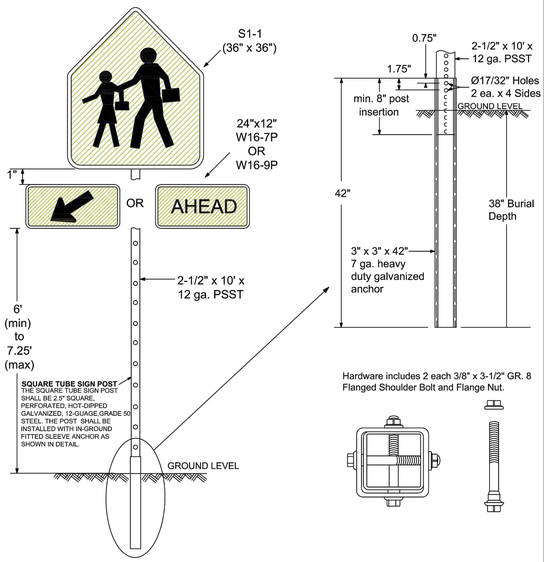
BROWARD COUNTY FLORIDA — *PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING DIVISION*

DESIGN BY: CARMELO CARATOZZOLO, P.E.	SCALE: NTS
DRAWN BY: STEPHON RAMOUTAR	
CHECKED BY: CARMELO CARATOZZOLO, P.E.	

STOP SIGN AND STREET IDENTIFICATION ASSEMBLY TYPICAL DETAILS

SHEET NO. 1 OF 1

S1-1 (36"x 36") & SUPPLEMENTAL SIGN ASSEMBLY

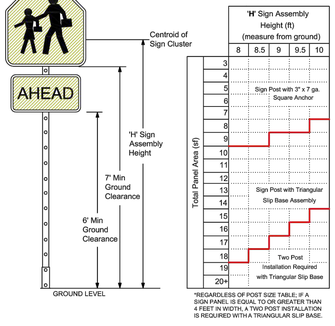


NOTE: NOT FOR USE WITH RECTANGULAR RAPID FLASHING BEACONS

BROWARD COUNTY FLORIDA — PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING DIVISION

S1-1(36"x36") & SUPPLEMENTAL SIGN ASSEMBLY	
REVISION: 11-19-18	SCALE: NTS
	DESIGN BY: Yves d'Anjou, P.E.
	DRAWN BY: Stephon Ramoutar
SHEET 1 OF 1	CHECKED BY: Andrew Sebo, P.E., PTOE

GUIDE TO USE THIS STANDARD:
1. Calculate the Total Panel Area and the centroid 'C' for an individual sign or a sign cluster.
2. Determine the height 'H' from the groundline for the individual sign or the cluster.
3. Consult the Post Size Table and find the intersection point.
4. Design the post and the foundation according to the required Post Size and Assembly Details.

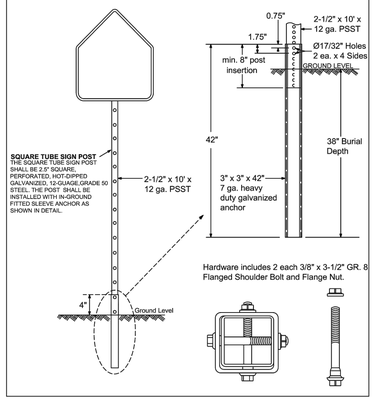


Post Size Table

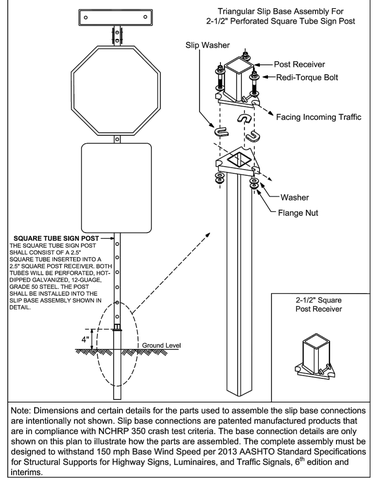
Total Panel Area (sf)	'H' Sign Assembly Height (ft) (measure from ground) 8	8.5	9	9.5	10
3					
4					
5	Sign Post with 3" x 7 ga. Square Anchor				
6					
7					
8					
9					
10					
11					
12					
13	Sign Post with Triangular Slip Base Assembly				
14					
15					
16					
17					
18					
19	Two Post Installation Required with Triangular Slip Base				
20+					

*REGARDLESS OF POST SIZE TABLE; IF A SIGN PANEL IS EQUAL TO OR GREATER THAN 4 FEET IN WIDTH, A TWO POST INSTALLATION IS REQUIRED WITH A TRIANGULAR SLIP BASE.

Sign Post with 3" x 7 ga. Square Anchor



Sign Post with Triangular Slip Base



Note: Dimensions and certain details for the parts used to assemble the slip base connections are intentionally not shown. Slip base connections are patented manufactured products that are in compliance with NCHRP 350 crash test criteria. The base connection details are only shown on this plan to illustrate how the parts are assembled. The complete assembly must be designed to withstand 150 mph Base Wind Speed per 2013 AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires, and Traffic Signals, 6th edition and interims.

REVISIONS	
DATE	DESCRIPTION
03-21-2017	UPDATED POST SIZE
11-24-2020	ADDED POST SIZE NOTE
02-05-2021	UPDATED POST BASE HEIGHT

BROWARD COUNTY FLORIDA — *PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING DIVISION*

DESIGN BY: YVES D'ANJOU, P.E.	SCALE: NTS
DRAWN BY: STEPHON RAMOUTAR	
CHECKED BY: ANDREW SEBO, P.E., PTOE	

GROUND SIGN ASSEMBLY DETAILS

SHEET NO. 1 OF 1

REVISIONS		
NO.	DATE	DESCRIPTION
1	11-23-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#:31158

8 UNIT TOWNHOMES
2420 LINCOLN STREET
HOLLYWOOD, FL

WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER
2-19-25

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

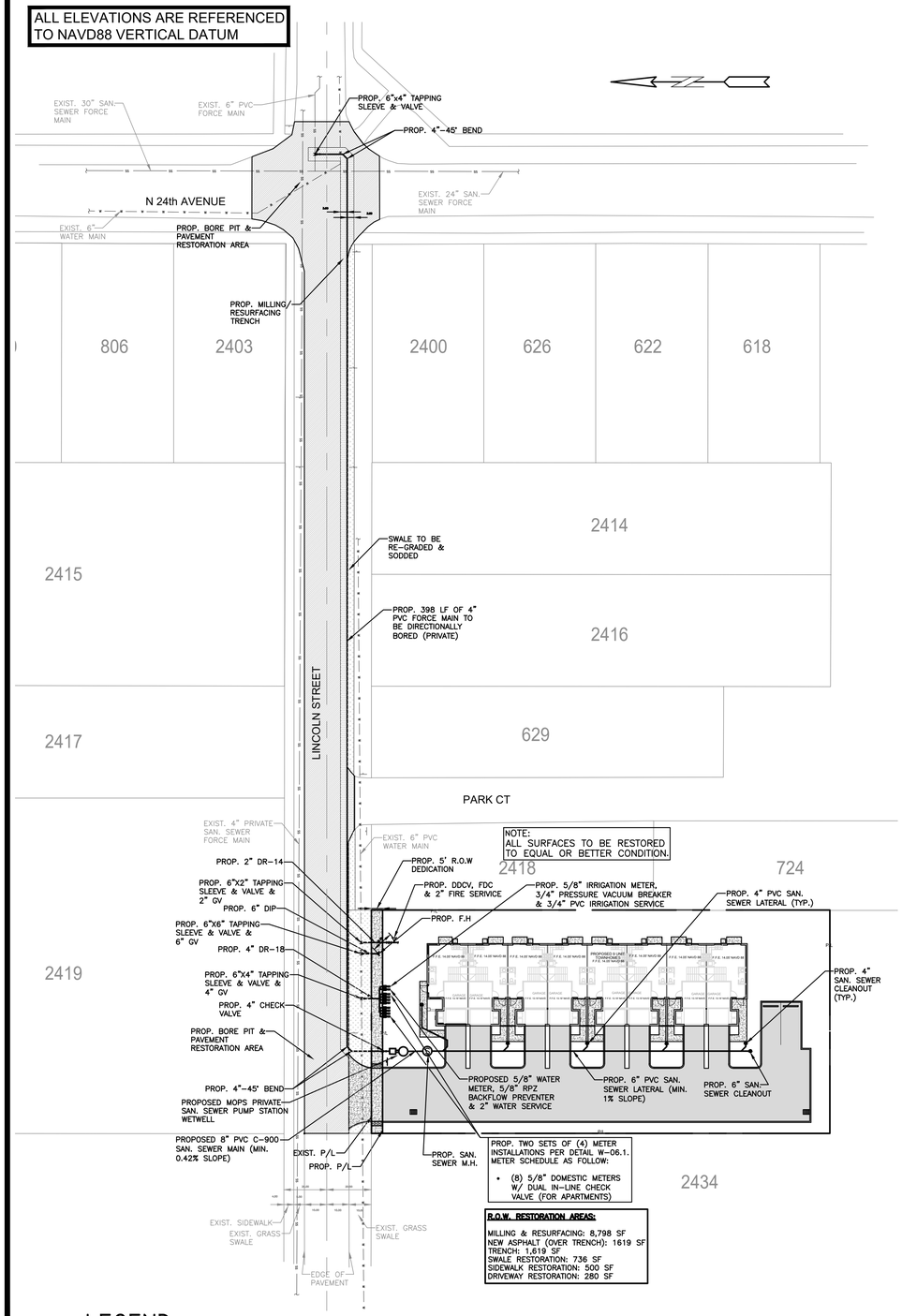
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

P.E.#:76036
DATE: 1/25/23
SCALE: N.T.S.
SHEET NO.: C7
7 OF 9
PROJECT NO.: 23-04

R.O.W. PAVEMENT MARKINGS DETAILS

SCALE: N.T.S.

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

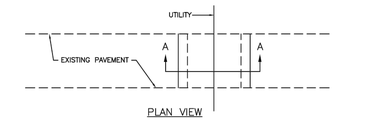


R.O.W. RESTORATION AREAS:

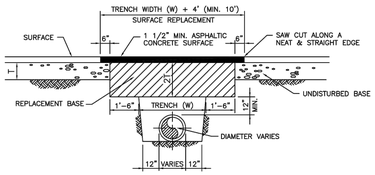
MILLING & RESURFACING: 8,798 SF
NEW ASPHALT (OVER TRENCH): 1619 SF
TRENCH: 1,619 SF
SWALE RESTORATION: 736 SF
SIDEWALK RESTORATION: 500 SF
DRIVEWAY RESTORATION: 280 SF

LEGEND

	PROPOSED CONCRETE		EXISTING WATER METER
	PROPOSED ASPHALT		EXISTING WATER VALVE
8.90	PROPOSED GRADE	N	PROPOSED BFP DEVICE
+8.36	EXISTING ELEVATION	S	EXISTING SAN. SEWER MH
	PROPOSED CATCH BASIN		EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN		
	PROPOSED WATER METER		



PLAN VIEW



SECTION "A-A"

NOTES:

1. REPLACED BASE MATERIAL OVER TRENCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MINIMUM 12", MAXIMUM 18".
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
5. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE EXISTING SURFACE.
6. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%.
7. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
8. MINIMUM PAVEMENT RESTORATION WIDTH IS 10'.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: –	
DRAWN: EG	FLEXIBLE PAVEMENT RESTORATION PERPEND. UTILITY INSTALLATION	DRAWING NO.: C-31	
APPROVED: JG			

NOTE:
FULL ROAD WIDTH PAVEMENT MILL AND RESURFACING WILL BE REQUIRED FOR ALL STREETS/ROADWAY ADJACENT TO THE PROJECT SITE

FIRE DEPT. NOTES:
1. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I,II, OR V LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.

2. WATER SUPPLY AND ANY NEW HYDRANTS SHALL BE IN PLACE PRIOR TO ACCUMULATION OF COMBUSTIBLE MATERIALS PER NFPA 1 (2018 Ed.) SECTION 16.5.3.1.1.

WATER & SEWER DEMAND CALCULATIONS:

PROJECT INFO:

- 9 RESIDENTIAL UNITS

WATER DEMAND
(9 RESIDENTIAL UNITS)X(141 GPD/UNIT)=1,269 GPD

WASTEWATER DEMAND
(9 RESIDENTIAL UNITS)X(100 GPD/UNIT)=900 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT RESIDENTIAL UNIT FACTORS PUBLICATIONS)

SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

$$\frac{L = S \times D \times \sqrt{P}}{148{,}000}$$

WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI

7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTYFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014	
DRAWN: EAM	SANITARY SEWER MAIN CONSTRUCTION NOTES	DRAWING NO. S-01	
APPROVED: XXX			

2-19-25

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

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WATER & SEWER PLAN & DETAILS

SCALE: 1"=30'

REVISIONS

NO.	DATE	DESCRIPTION
1	4-24-23	TAC REVIEW COMMENTS
2	11-23-24	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#:31158

8 UNIT TOWNHOMES
2420 LINCOLN STREET
HOLLYWOOD, FL

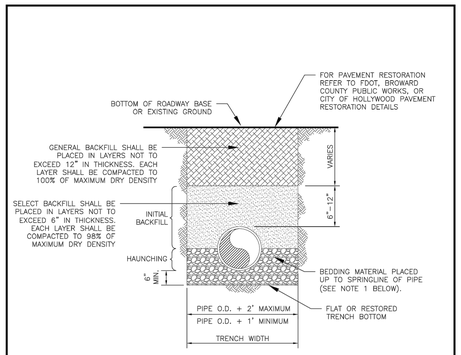
P.E.#:76036

DATE: 1/25/23

SCALE: 1"=30'

SHEET NO.: C8
8 OF 9

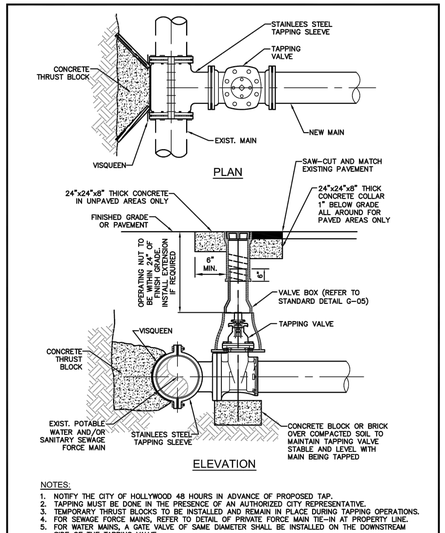
PROJECT NO.: 23-04



NOTES:

1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.

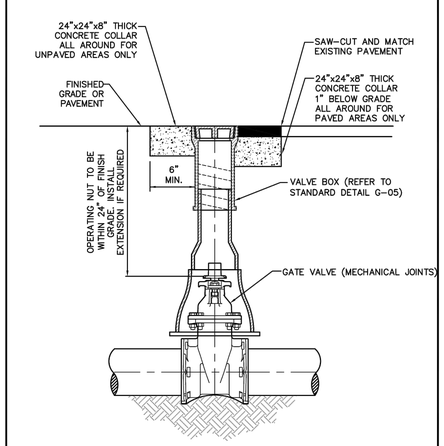
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)	DRAWING NO. G-03
APPROVED: XXX		



NOTES:

1. NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
2. TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.
3. TEMPORARY THRUST BLOCKS TO BE INSTALLED AND REMAIN IN PLACE DURING TAPPING OPERATIONS.
4. FOR SEWAGE FORCE MAINS, REFER TO DETAIL OF PRIVATE FORCE MAIN TIE-IN AT PROPERTY LINE.
5. FOR WATER MAINS, A GATE VALVE OF SAME DIAMETER SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF THE TAPPING VALVE.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL TAPPING SLEEVE AND VALVE SETTING	DRAWING NO. G-06
APPROVED: XXX		

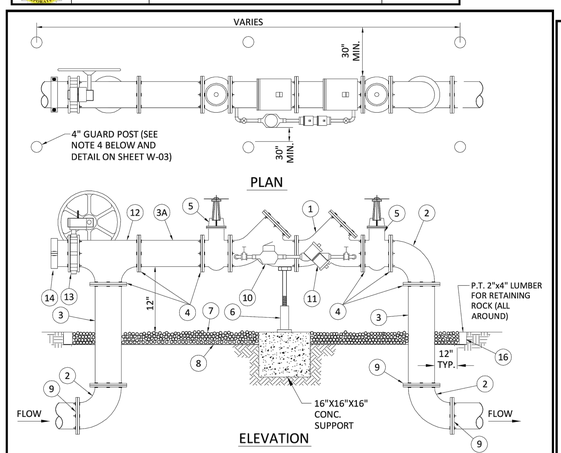


ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL GATE VALVE AND VALVE BOX SETTING	DRAWING NO. G-07
APPROVED: XXX		

FLEXIBLE PAVEMENT RESTORATION NOTES:

1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
2. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK".
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
5. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
6. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
7. RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.
9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
11. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK. REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION NOTES	DRAWING NO. G-12
APPROVED: XXX		

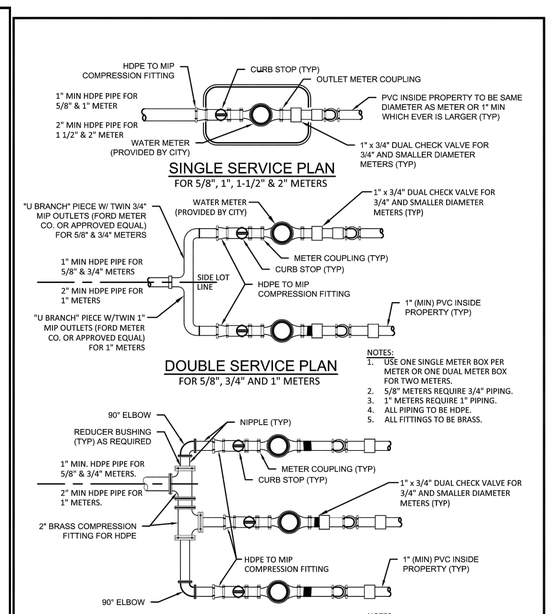


MATERIALS					
ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4",6",8" VALVE,DOUBLE CHECK	8	N/A	PLASTIC LINER/WEED STOP (5 MILS)
2	4	4",6",8" BEND-90°	9	4	RESTRAINED JOINTS
3	2	4",6",8" D.I.P. SPOOL PIECE	10	1	LOW FLOW METER
3A	1	4",6",8" D.I.P. SPOOL PIECE(24" LONG)	11	1	VALVE, BYPASS DOUBLE CHECK
4	10	4",6",8" FLANGE, D.I.P.	12	1	4", 6", 8" TEE
5	2	4",6",8" GATE VALVE (SEE NOTE 6)	13	1	4", 6" 8" BUTTERFLY VALVE (SUPERVISED CLOSED), CHAINED AND LOCKED
6	1	SCREW JACK/ANCHORED			
7	N/A	PEA GRAVEL (4" DEEP)	14	1	4", 6", 8" CAP

NOTES:

1. FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
5. MAY USE 45° BENDS (SEE DETAIL W-05) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR FOR FIRE SPRINKLER SERVICE W/B.V. CONNECTION (90° BENDS)	DRAWING NO. W-04
APPROVED: XXX		



NOTES:

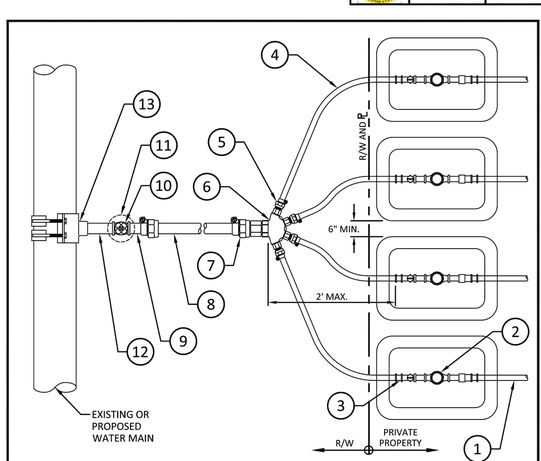
1. USE ONE SINGLE METER BOX PER METER OR ONE DUAL METER BOX FOR TWO METERS.
2. 5/8" METERS REQUIRE 3/4" PIPING.
3. 1" METERS REQUIRE 1" PIPING.
4. ALL PIPING TO BE HDPE.
5. ALL FITTINGS TO BE BRASS.

NOTES:

1. USE ONE METER BOX PER METER.
2. 5/8" METERS REQUIRE 3/4" PIPING.
3. 1" METERS REQUIRE 1" PIPING.
4. ALL FITTINGS TO BE BRASS.

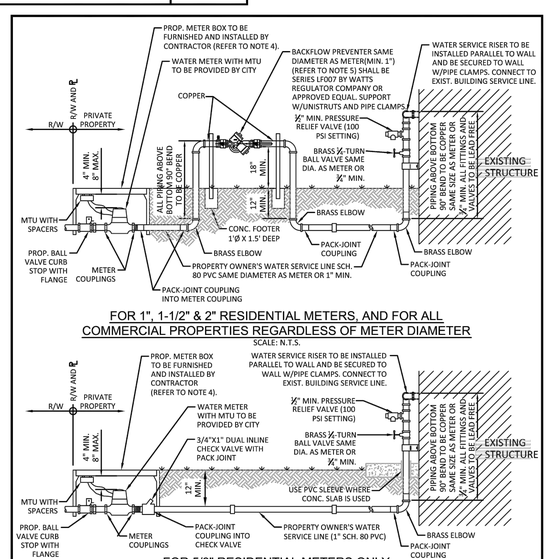
NO GALVANIZED PIPE OR FITTINGS ALLOWED

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO. W-06
APPROVED: XXX		



1. PROPERTY OWNER'S SERVICE PIPE
2. ¾", ¾" OR 1" METER INSTALLATION (REFER TO "SINGLE SERVICE PLAN" ON STANDARD DETAIL W-06) (TYP. FOR 4)
3. COUPLING W/1" COMPRESSION FOR HDPE X ¾" MIP
4. 1" HDPE SERVICE PIPE TO METER (TYP. FOR 4)
5. COUPLING W/1" MIP X 1" COMPRESSION FOR HDPE (TYP. FOR 4)
6. MULTI-SERVICE "Y" W/SINGLE 2" FIP INLET AND (4)-1" FIP OUTLETS (MULTI SERVICE BRASS Y)
7. COUPLING WITH 2" COMPRESSION FOR HDPE X 2" MIP
8. 2" HDPE WATER SERVICE PIPE
9. COUPLING W/2" BRASS THREAD x 2" COMPRESSION FOR HDPE
10. PROP. 2" GATE VALVE W/2" OPERATING WHEEL
11. PROP. VALVE BOX W/LID AND RISER. FOR UNPAVED AREAS, INSTALL 24"x24"x8" THICK CONC. COLLAR
12. PROPOSED 2" BRASS NIPPLE
13. PROP. DOUBLE STRAP SERVICE SADDLE FOR D.I.P. OR BAND SADDLE FOR PVC
14. ALL FITTINGS TO BE BRASS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	METER BANK INSTALLATION FOR FOUR ⅝", ¾" AND/OR 1" METERS	DRAWING NO. W-06.1
APPROVED: XXX		



NOTES FOR ALL SERVICES:

1. IF EXISTING HOSE BIB IS REMOVED, DAMAGED, OR NO HOSE BIB EXISTS, ONE MUST BE INSTALLED: A HOSE BIB VACUUM BREAKER MUST BE INSTALLED AS REQUIRED TO COMPLY WITH THE LATEST REVISION OF THE FLORIDA BUILDING CODE.
2. THREADED PVC FITTINGS (MALE OR FEMALE) NOT ALLOWED. ALL TRANSITIONS FROM PVC TO METAL PIPING/FITTINGS SHALL USE COMPRESSION PACK-JOINT COUPLINGS. THIS INCLUDES PVC CONNECTIONS TO INLINE CHECK VALVE AND BACKFLOW PREVENTER.
3. PIPE CLAMPS FOR ATTACHING WATER SERVICE RISER TO WALL SHALL BE HOT-DIPPED GALVANIZED, WITH ISOLATION MATERIAL BETWEEN THE PIPE AND GALVANIZED METAL.
4. IF EXISTING CONCRETE METER BOX IS IN ACCEPTABLE CONDITION (AS DETERMINED BY ECSD) IT MAY BE RE-USED.
5. IF EXISTING BACKFLOW PREVENTER IS DETERMINED TO BE IN ACCEPTABLE CONDITION IT MAY BE RE-USED PROVIDED IT IS RE-CERTIFIED.
6. ALL PRIVATE SERVICE LINE INSTALLATIONS SHALL COMPLY WITH THE LATEST REVISION OF THE FLORIDA BUILDING CODE.
7. ALL FITTINGS TO BE BRASS.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 02/14/2018
DRAWN: EAM	TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-10
APPROVED: XXX		

WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER

2-19-25

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UTILITIES DETAILS

SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION
1	4-24-23	TAC REVIEW COMMENTS

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#:31158

ZE

8 UNIT TOWNHOMES
2420 LINCOLN STREET
HOLLYWOOD, FL

P.E.#:76036

DATE: 1/25/23

SCALE: N.T.S.

SHEET NO.: C9
9 OF 9

PROJECT NO.: 23-04

MIGUEL DE DIEGO ARCHITECT PA
1657 TYLER STREET. SUITE: 107 HOLLYWOOD, FLORIDA 33020
OFFICE: (954) 926-3358 DEDIEGOARCH@AOL.COM

Project Name:
(23-DP-26)

Project Location:
2429-2430 LINCOLN STREET.HOLLYWOOD,FL 33020

DESCRIPTION:

LOT 27, BLOCK 14, "AN AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES.", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

GENERAL CRITERIA STATEMENT

1. Architectural and Design Components. Architecture refers to the Architectural elements of exterior building surfaces. Architectural Details should be commensurate with the building mass. The use of traditional materials for new Architectural Details is recommended. Design of the Building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

The contemporary design of the project features an interplay of large and small windows on an irregular layout to spark interest at the pedestrian level. This motif is repeated at several locations throughout the design with different modern building materials. The front façade features a ground-to-roof level pvc panels that mimics the irregular nature of the windows that provides interesting shadows on the building during the day and lighting at night. The garage screen also incorporates irregularity while emphasizing verticality with composite slats for durability.

2. Compatibility. The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

Located at the RM18 zoning, the neighborhood features a mix of residential and commercial uses, often with a focus on neighborhood-scale development. A diverse amount of building archetypes and different architectural styles can be found in this area such as: single-family homes, modern condominiums & apartments, local shops with a wide range of services provided. The proposed development fits perfectly within this mix of architectural styles while incorporating that very irregularity into its architectural details and building components.

3. Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings. Architectural details included, but are not limited to, banding, molding and fenestration.

The RM18 zoning district allows for a height of 45 feet, this is the case due to the location of the project site being so close to downtown. Even though immediate neighboring buildings are smaller in size, smaller single-family homes, similar scale developments can be found in the areas nearby. addition, many future development will be one of the neighboring buildings around the project site. also features modern architectural designs and is of similar massing and height.

4. Landscaping. Landscaped area should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.
Landscaping for the project will be of varied native plants typically used for the area while also maintaining sustainable methods that abide the LEED green building certification and practices.

ZEPHYR ENGINEERING
A Civil Engineering Firm
Tel: (786)302-7693 • Email: wilford@zephyrengineeringfl.com

February 8, 2023

Drainage Calculations for 8 Unit Townhomes Hollywood, FL

PEAK STAGES

STORM EVENT	PRE-DEVELOPMENT	POST-DEVELOPMENT
5 Year - 1 Hour	N/A	9.69' NAVD88
25 YEAR - 3 DAY	13.79' NAVD88	13.13' NAVD88
100 YEAR - 3 DAY	14.17' NAVD88	13.56' NAVD88

Prepared by:

WILFORD ZEPHYR
Digitally signed by WILFORD ZEPHYR
Date: 2023.02.28 16:28:08 -05'00'

2-28-23

Wilford Zephyr, P.E., LEED AP, CFM

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Project Name: 8 Unit Townhomes **Date:** 02/08/23
Project Address: 2420 Lincoln Street **Designed by:**
Hollywood, FL **Wilford Zephyr, P.E.**
ZE Project #: 23-04

Post Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.47	AC	
Pavement Area:	0.15	AC	
Building Area:	0.13	AC	
Grass Area (Pervious):	0.19	AC	
Lake Area:	0	AC	
Total Pervious Area:	0.19	AC	40.43%
Total Impervious Area:	0.28	AC	59.57%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	12.53
Average Finished Grades:	12.35 ft
Prop. Finished Floor Elev.:	14.05 ft

C Factor

Pervious:	0.6
Impervious:	0.9

C Factor (weighted) = $\frac{0.19\ (0.60) + 0.15\ (\ .90)\ =}{0.34}$ 0.73

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Finished Floor Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 12.35 ft

Average Depth to Water Table (DWT) = 10.85 ft

Cumulative Water Storage (CWS) = 8.18 IN
(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0 '	0.60 ''	0.45 ''
2.0 '	2.50 ''	1.88 ''
3.0 '	5.40 ''	4.05 ''
4.0 '	9.00 ''	6.75 ''

DWT=Depth to Water Table
NAS=Natural Available Storage
DAS=Developed Available Storage

Soil Storage (S in inches)

S = CWS X (percentage of total pervious area) = 2.73

Curve Number (CN)

CN = 1000/(S+10) = 78.56

Water Quality Retention/Detention & Pretreatment Calculations

A. For a wet detention system, size system for highes ot first inch of runoff over the entire site or 2.5" times the % impervious area
B. For a dry detention system, size system for 75% of the volume required for a wet detention system.
C. For a retention system, size system for 50% of the volume required for a wet detention system.

1/2" Pretreatment

0.5" X 3.97 acres = 1.99 acre-inches (0.165 acre-ft)

1 IN Over Entire Site

1" X 0.47 acres = 0.47 acre-inches (0.039 acre-ft)

2.5 INCHES Times Percent Impervious

Total project area - roof area = 0.47 acres - 0.13 acres = 0.34 acres
0.34 acres - 0.19 acres (pervious area) = 0.15 acres
0.15 acres / 0.34 acres X 100% = 44.12% impervious
2.5" X 0.4412 = 1.103" to be treated
1.103" X 0.47 acres = 0.52 acre-inches (0.043 acre-feet)

0.043 acre-ft of storage required for water quality.
Water quality storage provided in existing dry retention area and proposed exfiltration trench system.

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$Q = (P-0.2S)^2 / (P + 0.8S)$ $V = Q \times A$ (ft/ 12 in)

Q = direct runoff (inches)
P = rainfall (inches)
S = soil storage (inches)
A = site area (acre)
V = Runoff Volume (ac-ft)

Finished Floor Elevation

$P_{1\ day}$=	100 year, 24 hour event:		13	(inches)
$P_{3\ day}$=	100 year, 72 hour event:		17.67	(inches)
		S=	2.73	(inches)
		A=	0.47	(acre)

Q =	14.77	(inches)
V =	0.58	(ac-ft)

Corresponding Stage = 13.56 ft
Set minimum finished floor elevation at 14.05' NAVD88.

Perimeter Control Elevation

$P_{1\ day}$=	25 year, 24 hour event:		10.5	(inches)	
$P_{3\ day}$=	25 year, 72 hour event:		14.27	(inches)	
		S=	2.73	(inches)	(see "Soil Storage" sheet
		A=	0.47	(acre)	for calculating "S")

Q =	11.45	(inches)
V =	0.45	(ac-ft)

Corresponding Stage = 13.13 ft

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$Q = (P-0.2S)^2 / (P + 0.8S)$ $V = Q \times A$ (ft/ 12 in)

Q = direct runoff (inches)
P = rainfall (inches)
S = soil storage (inches)
A = site area (acre)
V = Runoff Volume (ac-ft)

5 Year - 1 Hour (Lowest Catch Basin Elevation)

P=	5 year, 1 hour event:		3.28 (inches)
		S=	2.73 (inches)
		A=	0.47 (acre)

Q =	1.37	(inches)
V =	0.05	(ac-ft)

Corresponding Stage = 9.69 ft

Set minimum lowest catch basin at elevation at 11.50' NAVD88.

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.47 AC

	(0.171 AC) *(Lin. 11.50'-12.50')*	*(0.15 AC)* *(Lin. from 11.50'-13.15')*		
Stage	***Surface Storage* (Landscape)**	***Surface Storage* (Pavement)**	***Trench Storage***	***Total***
9.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
10.00 '	0.00 AC-FT	0.00 AC-FT	0.13 AC-FT	0.13 AC-FT
10.50 '	0.00 AC-FT	0.00 AC-FT	0.13 AC-FT	0.13 AC-FT
11.00 '	0.00 AC-FT	0.00 AC-FT	0.13 AC-FT	0.13 AC-FT
11.50 '	0.00 AC-FT	0.00 AC-FT	0.13 AC-FT	0.13 AC-FT
12.00 '	0.04 AC-FT	0.04 AC-FT	0.13 AC-FT	0.21 AC-FT
12.50 '	0.09 AC-FT	0.08 AC-FT	0.13 AC-FT	0.29 AC-FT
13.00 '	0.17 AC-FT	0.11 AC-FT	0.13 AC-FT	0.41 AC-FT
13.50 '	0.26 AC-FT	0.18 AC-FT	0.13 AC-FT	0.56 AC-FT
14.00 '	0.34 AC-FT	0.25 AC-FT	0.13 AC-FT	0.72 AC-FT

*total landscape area=0.19 AC. 10% reduction applied (-0.019 AC) due to loss of stormwater storage from tree trunks.

Exfiltration Trench Length Calculation

All elevations are referenced to NAVD88 vertical datum.

Calculating H_2

Design Water Table (WT) = 1.50 ft
Lowest Catch Basin Elevation = 11.50 ft
Bottom of Exfiltration Trench = 4.70 ft
Top of Exfiltration Trench = 9.70 ft
$EL_{inv.}$ = N/A

H_2 = 6.80 ft

Calculating Exfiltration Trench Length

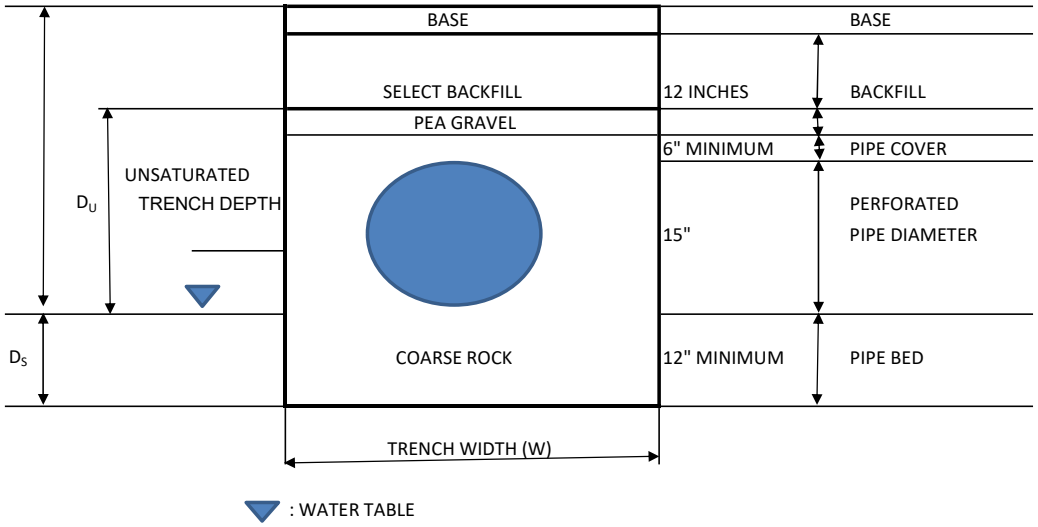
$EL_{inv.}$ = invert elevation of lowest weir/bleeder allowing discharge from trench
L_R = length of trench required (ft)
L_P = length of trench provided (ft)
$V_{exft.}$ = volume in exfiltration trench (ac-in)
FS = factor of safety
K =hydraulic conductivity (cfs/ft^2 - ft head)
H_2 = head on saturated surface (ft)
W = trench width (ft)
D_U = unsaturated trench depth (ft)
D_S = saturated trench depth

$$L_R = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K[H_2W + 2H_2D_U - D_U^2 + 2H_2D_S] + (1.39 \times 10^{-4})(WD_U)}$$

V_{wq} =	0.52	(0.043 ac-ft)
V_{add} =	1.02	(0.085 ac-ft)
%WQ =	0.5	
FS =	2	
K =	0.00015	
H_2 =	6.8	
W =	8	
D_U =	5	
D_S =	0	

L_R = 126.92 ' of exfiltration trench required.

L_P = 163.00' of exfiltration trench provided.



Project Name:	**8 Unit Townhomes**	**Date:**	**02/08/23**
Project Address:	**2420 Lincoln Street Hollywood, FL**	**Designed by:**	
ZE Project #: 23-04		**Wilford Zephyr, P.E.**	

Pre Development

All Elevations are referenced to NAVD88 vertical datum

Site Data

Project Area:	0.47	AC	
Pavement Area:	0.15	AC	
Building Area:	0.09	AC	
Grass Area (Pervious):	0.23	AC	
Lake Area:	0	AC	
Total Pervious Area:	0.23	AC	48.94%
Total Impervious Area:	0.24	AC	51.06%

Design Parameters

Water Table Elevation:	1.50 ft
Exist. Crown of Road Elev.:	12.53 ft
Average Finished Grades:	12.50 ft
Exist. Finished Floor Elev.:	13.60 ft

C Factor

Pervious:	0.6
Impervious:	0.9

C Factor (weighted) = $\frac{0.23\ (0.60) + 0.15\ (\ .90)\ =}{0.38}$ 0.72

Storm Event Information

3 year, 1 hour event:	2.5 inches (for retention/detention)
5 year, 1 hour event:	3.28 inches (for lowest parking lot pavement elevation)
25 year, 24 hour event:	10.50 inches
25 year, 72 hour event:	14.27 inches (Perimeter Control Elevation)
100 year, 24 hour event:	13 inches
100 year, 72 hour event:	17.67 inches (Finished Floor Elevation)

Soil Storage (S) & Curve Number (CN)

All Elevations are referenced to NAVD88

Cumulative Water Storage (CWS)

Design Water Table (WT) = 1.50 ft

Average Finished Grade = 12.50 ft

Average Depth to Water Table (DWT) = 11.00 ft

Cumulative Water Storage (CWS) = 6.75 IN
(from table below)

Cumulative Soil Moisture Storage (flatwoods soil)

DWT	NAS	DAS
1.0 '	0.60 ''	0.45 ''
2.0 '	2.50 ''	1.88 ''
3.0 '	5.40 ''	4.05 ''
4.0 '	9.00 ''	6.75 ''

DWT=Depth to Water Table
NAS=Natural Available Storage
DAS=Developed Available Storage

Soil Storage (S in inches)

S = CWS X (percentage of total pervious area) = 3.30

Curve Number (CN)

CN = 1000/(S+10) = 75.17

Runoff (Q) & Runoff Volume (V) Calculations

All Elevations are referenced to NAVD88

$Q = (P-0.2S)^2 / (P + 0.8S)$ $V = Q \times A$ (ft/ 12 in)

Q = direct runoff (inches)
P = rainfall (inches)
S = soil storage (inches)
A = site area (acre)
V = Runoff Volume (ac-ft)

Finished Floor Elevation

$P_{1\ day}$=	100 year, 24 hour event:		13	(inches)
$P_{3\ day}$=	100 year, 72 hour event:		17.67	(inches)
		S=	3.30	(inches)
		A=	0.47	(acre)

Q =	14.24	(inches)
V =	0.56	(ac-ft)

Corresponding Stage = 14.17 ft

Perimeter Control Elevation

$P_{1\ day}$=	25 year, 24 hour event:		10.5	(inches)	
$P_{3\ day}$=	25 year, 72 hour event:		14.27	(inches)	
		S=	3.30	(inches)	(see "Soil Storage" sheet
		A=	0.47	(acre)	for calculating "S")

Q =	10.95	(inches)
V =	0.43	(ac-ft)

Corresponding Stage = 13.79 ft

Stage Storage

All Elevations are referenced to NAVD88

Total Surface Storage Area = 0.47 AC

	(0.207 AC) *(Lin. 12.00'-12.50')*	*(0.15 AC)* *(Lin. from 12.50'-13.60')*		
Stage	***Surface Storage* (Landscape)**	***Surface Storage* (Pavement)**	***Trench Storage***	***Total***
12.00 '	0.00 AC-FT	0.00 AC-FT	0.000 AC-FT	0.00 AC-FT
12.50 '	0.05 AC-FT	0.00 AC-FT	0.000 AC-FT	0.05 AC-FT
13.00 '	0.16 AC-FT	0.04 AC-FT	0.000 AC-FT	0.19 AC-FT
13.50 '	0.26 AC-FT	0.08 AC-FT	0.000 AC-FT	0.33 AC-FT
14.00 '	0.36 AC-FT	0.14 AC-FT	0.000 AC-FT	0.50 AC-FT
14.50 '	0.47 AC-FT	0.22 AC-FT	0.000 AC-FT	0.68 AC-FT

*total landscape area=0.23 AC. 10% reduction applied (-0.023 AC) due to loss of stormwater storage from tree trunks.

ZEPHYR ENGINEERING
A Civil Engineering Firm
Tel: (786)302-7693 • Email: wilford@zephyrengineeringfl.com

April 29, 2025

FIRE FLOW CALCULATIONS
Lincoln Street Apartments

2420 Lincoln Street
Hollywood, FL 33020

These calculations are for a three-story building, with a total area of 13,391 SF.

Fire Flow Area = 13,391 SF

Per NFPA 18.4,Fire Flow Requirements, the required fire flow for Type II (222) construction for the above-referenced fire flow area is 1,500 GPM.

Per NFPA 18.4.5.3.2, a reduction in required fire flow of 75% shall be permitted when the building is protected throughout by an approved automatic sprinkler system. The resulting fire flow may not be less than 1000 gpm.

(1,500 GPM)X0.75=1,125 GPM (fire flow credit for automatic sprinkler system)

(1,500 GPM) – (1,125 GPM)=375 GPM

Per NFPA 18.4.5.3.2, The resulting fire flow may not be less than 1,000 GPM

Therefore, fire flow required=1,000 GPM

Prepared by:

4-29-25

Wilford Zephyr, P.E., LEED AP, CFM

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