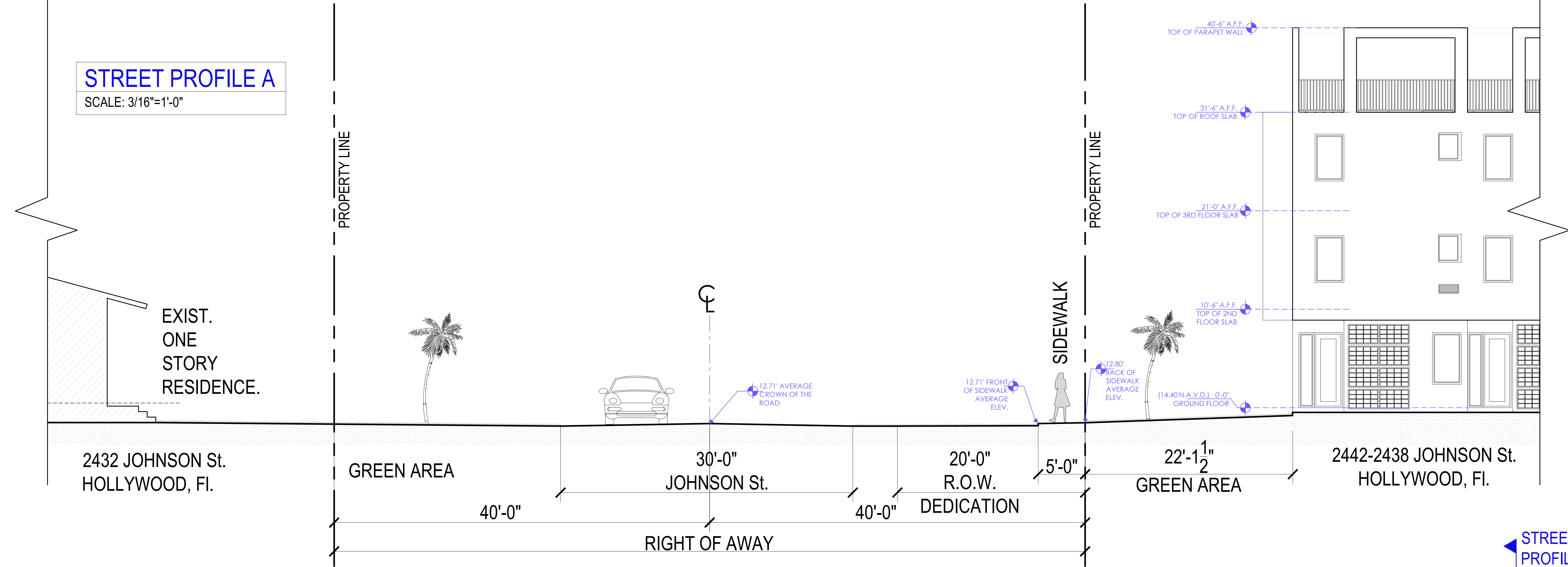


ATTACHMENT A
Application Package
Part II

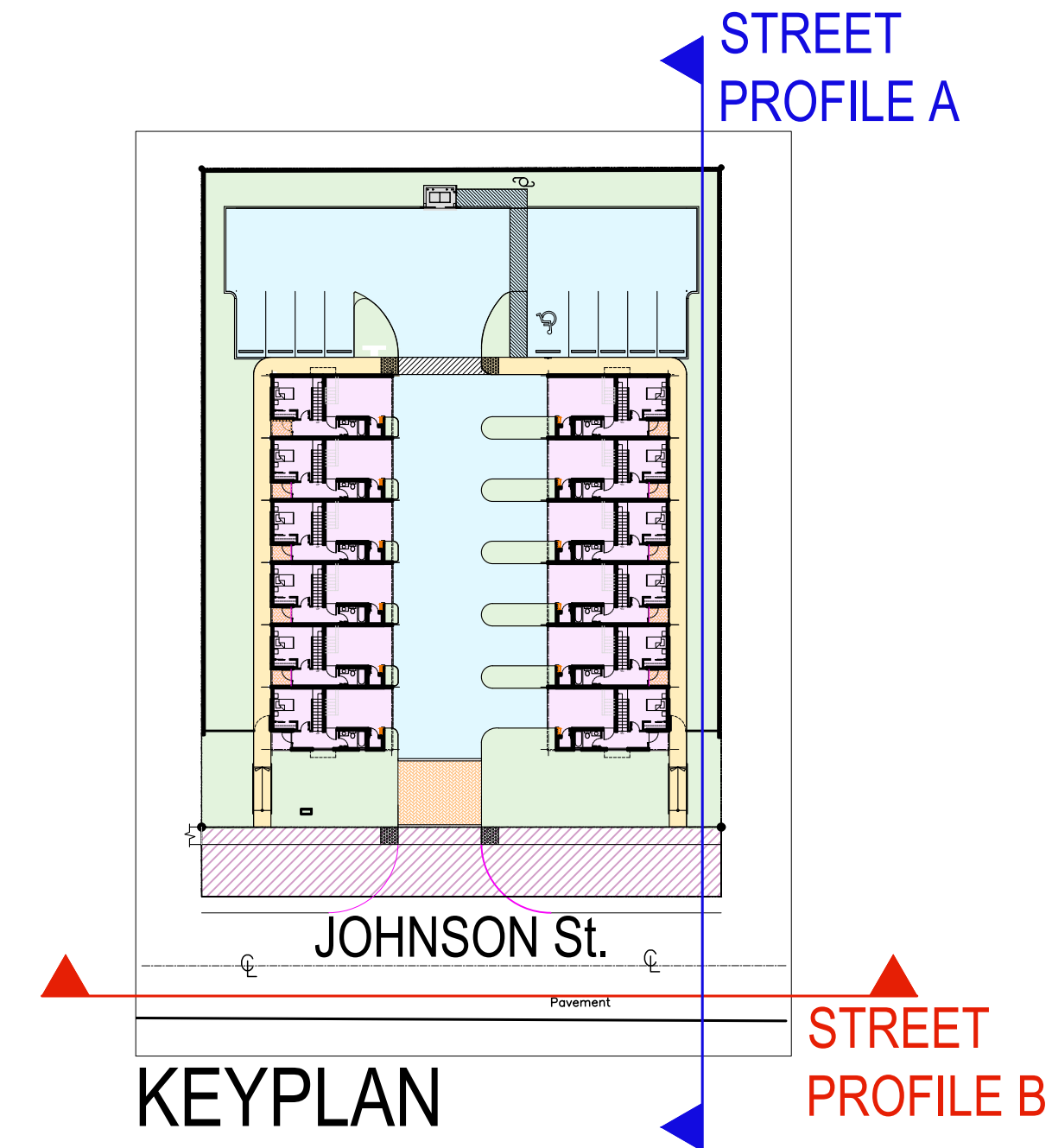
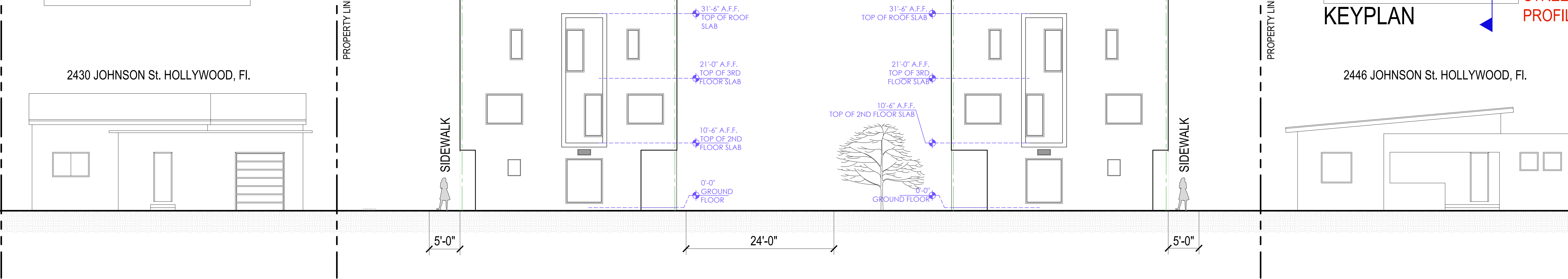
STREET PROFILE A

SCALE: 3/16"=1'-0"



STREET PROFILE B

SCALE: 1/8"=1'-0"



ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, P.A. AND WILL BE KEPT IN CONFIDENCE AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER DISCLOSED TO ANY PERSON WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. THESE DRAWINGS SHALL HAVE NO FORCE OR EFFECT IF THEY ARE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERSIUS
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 Ct.
SUITE # 211-B
DORAL, FL. 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudelarchitect.net

SEAL:
STATE OF FLORIDA

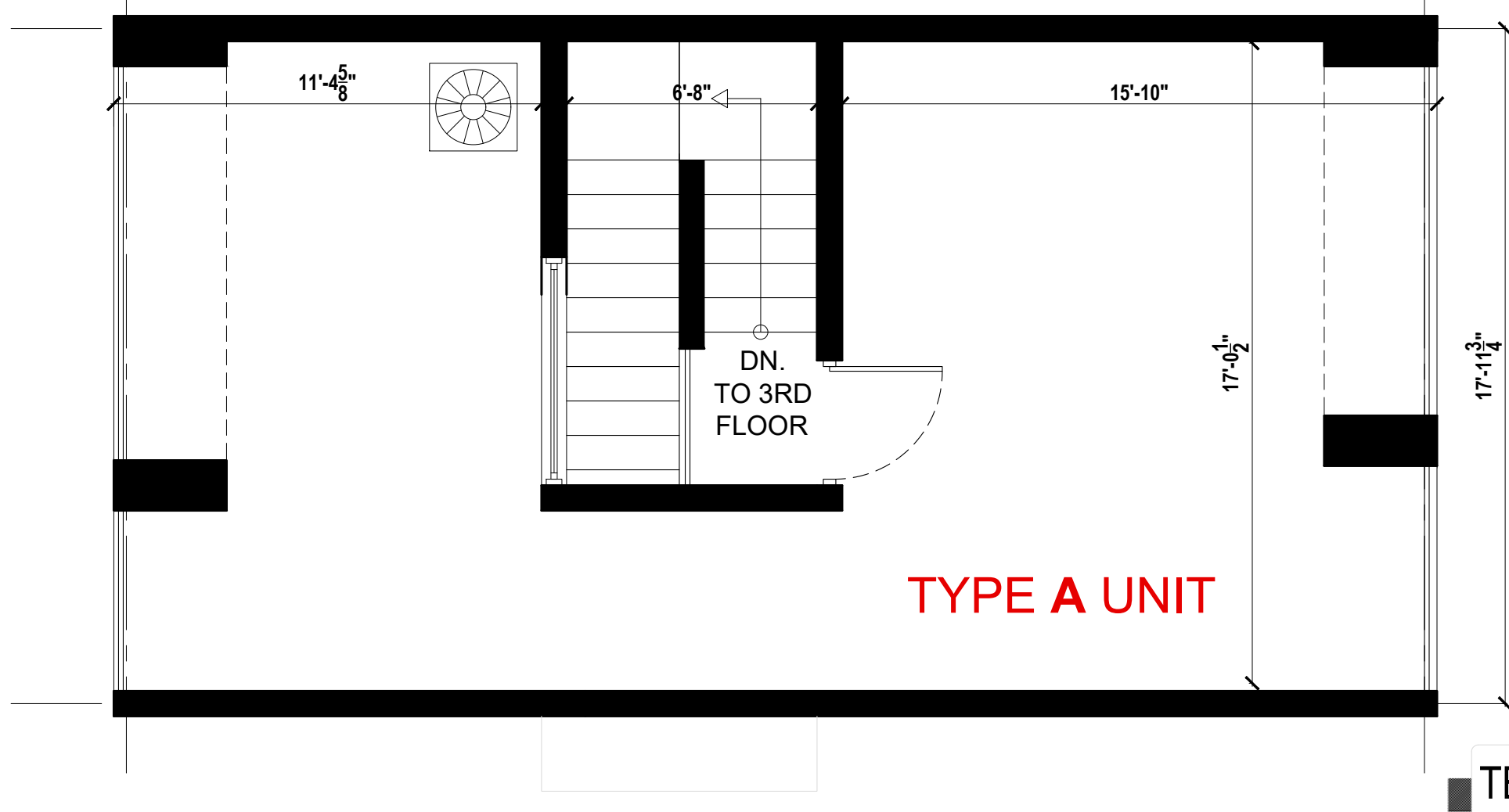
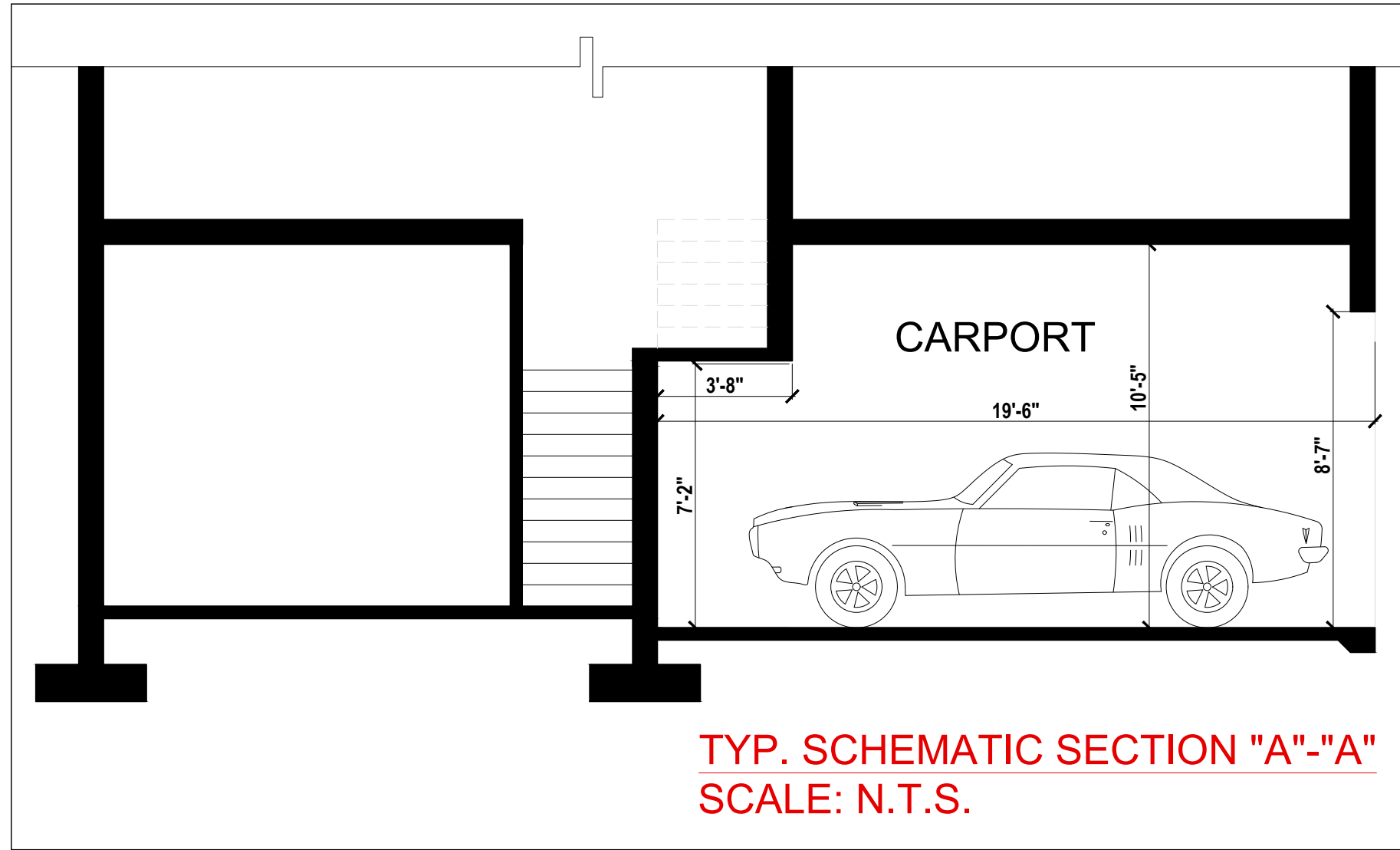
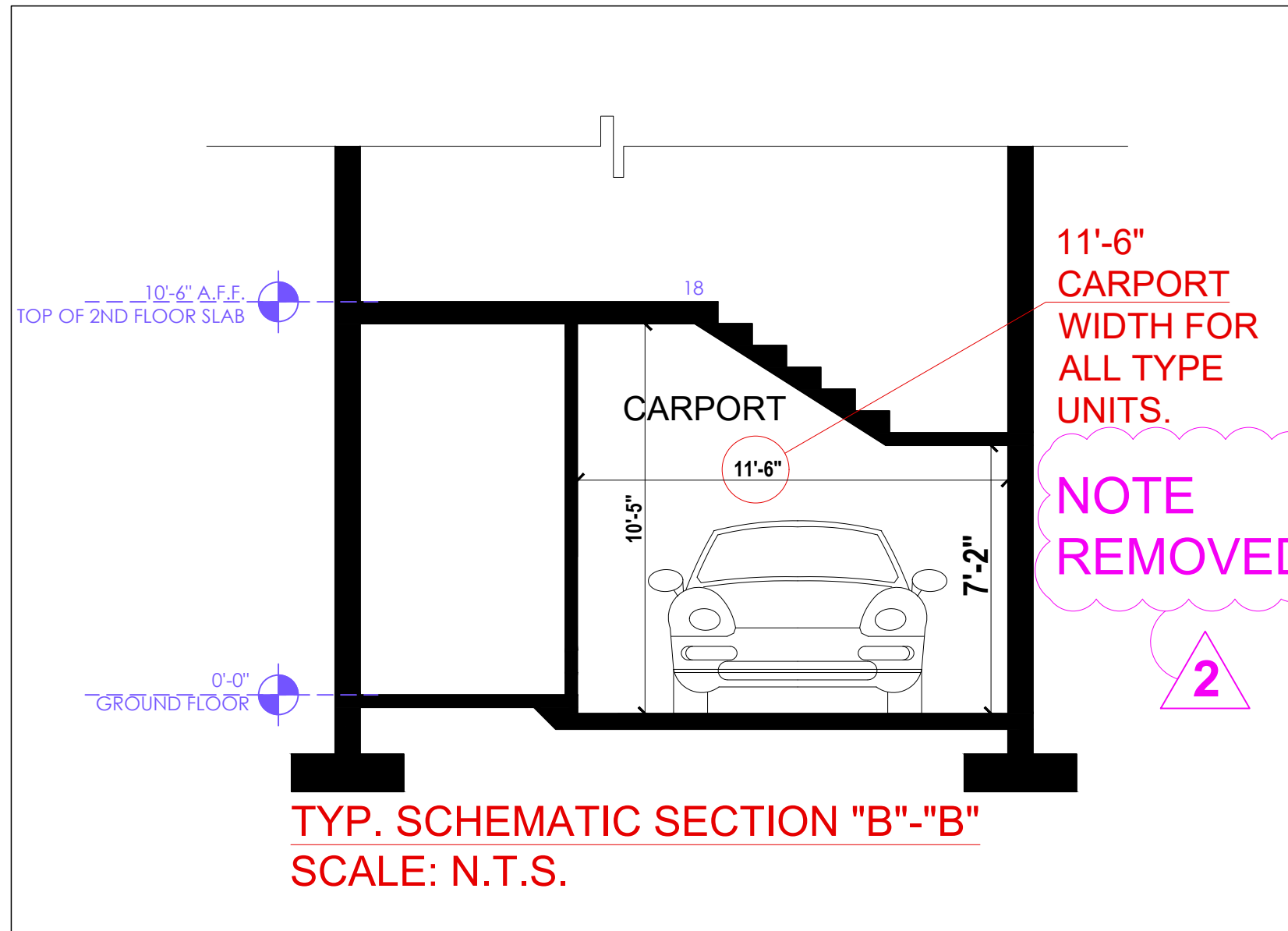
REGISTERED ARCHITECT
GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

2446 JOHNSON St. HOLLYWOOD, FL.

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

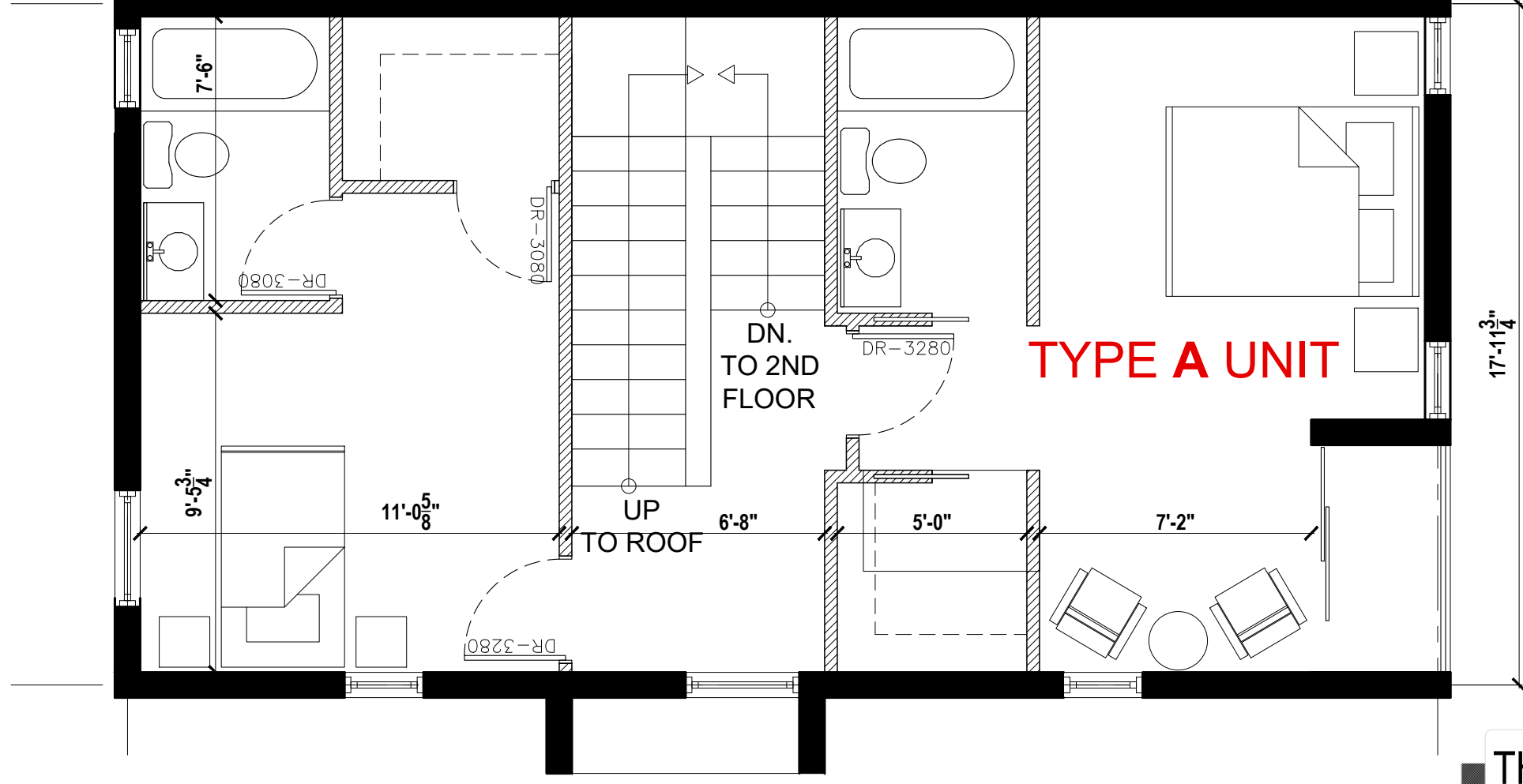
SPF OF

BUILDING No1 & 2	
TYPE A UNIT - TYPE A MIRROR UNIT	
3 BEDROOMS - 3 & 1/2 BATHROOMS	
A/C AREAS	
1ST FLOOR A/C AREA:	336.18 S.F.
2ND FLOOR A/C AREA:	620.39 S.F.
3ND FLOOR A/C AREA:	620.39 S.F.
4RD FLOOR A/C AREA:	102.66 S.F.
TOTAL A/C AREA:	1,679.62 S.F.
NON A/C AREAS	
CARPORT & STORAGE:	276.71 S.F.
ENTRY PORCH:	31.81 S.F.
2ND FL. FRONT BALCONY:	24.44 S.F.
3NRD FL. FRONT BALCONY:	24.44 S.F.
TERRACE:	542.17 S.F.
TOTAL NON A/C AREAS:	899.57 S.F.
TOTAL A/C & NON A/C AREA:	
2,579.19 S.F.	



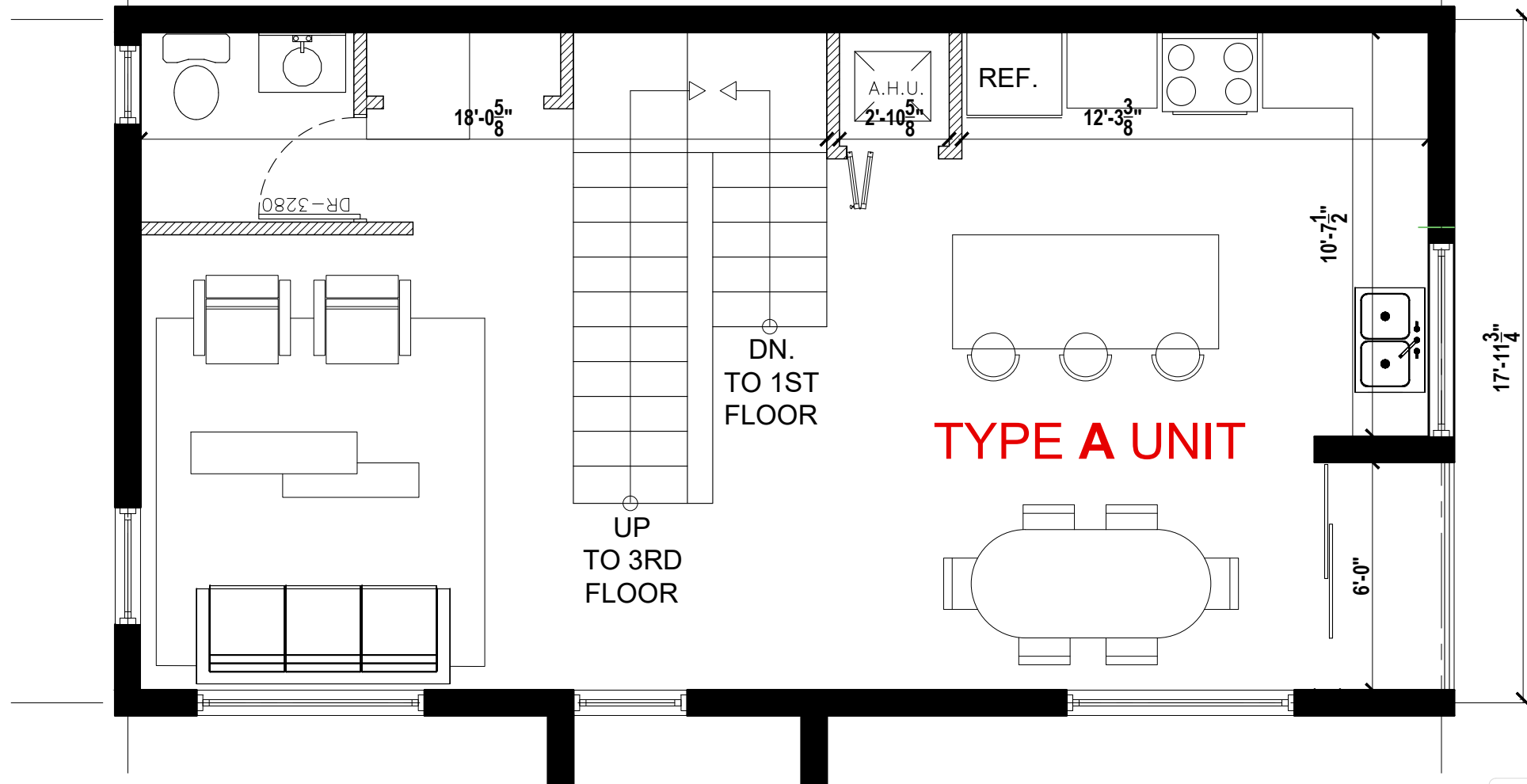
TERRACE FLOOR PLAN

SCALE: 1/4" = 1'-0"



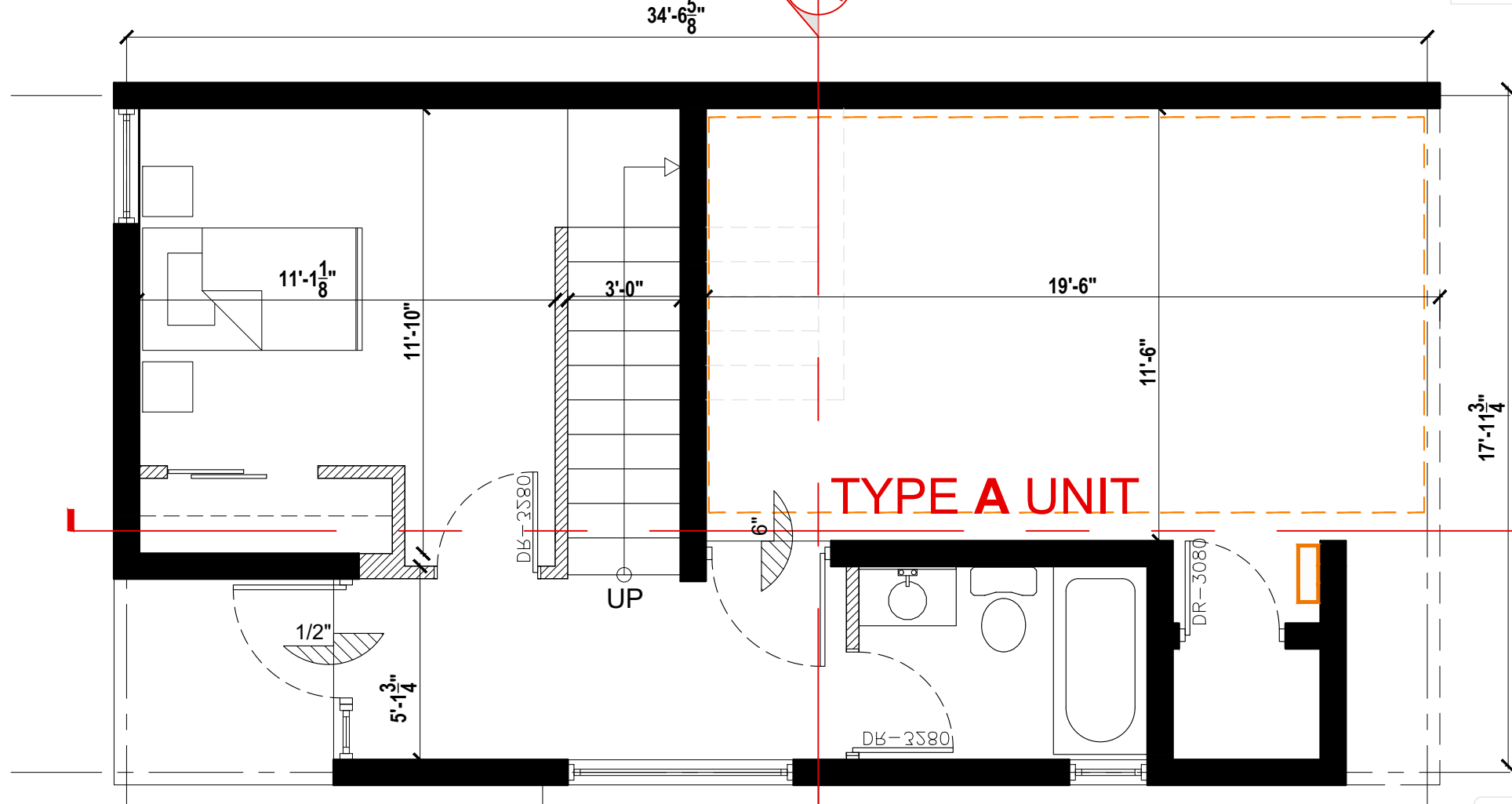
THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



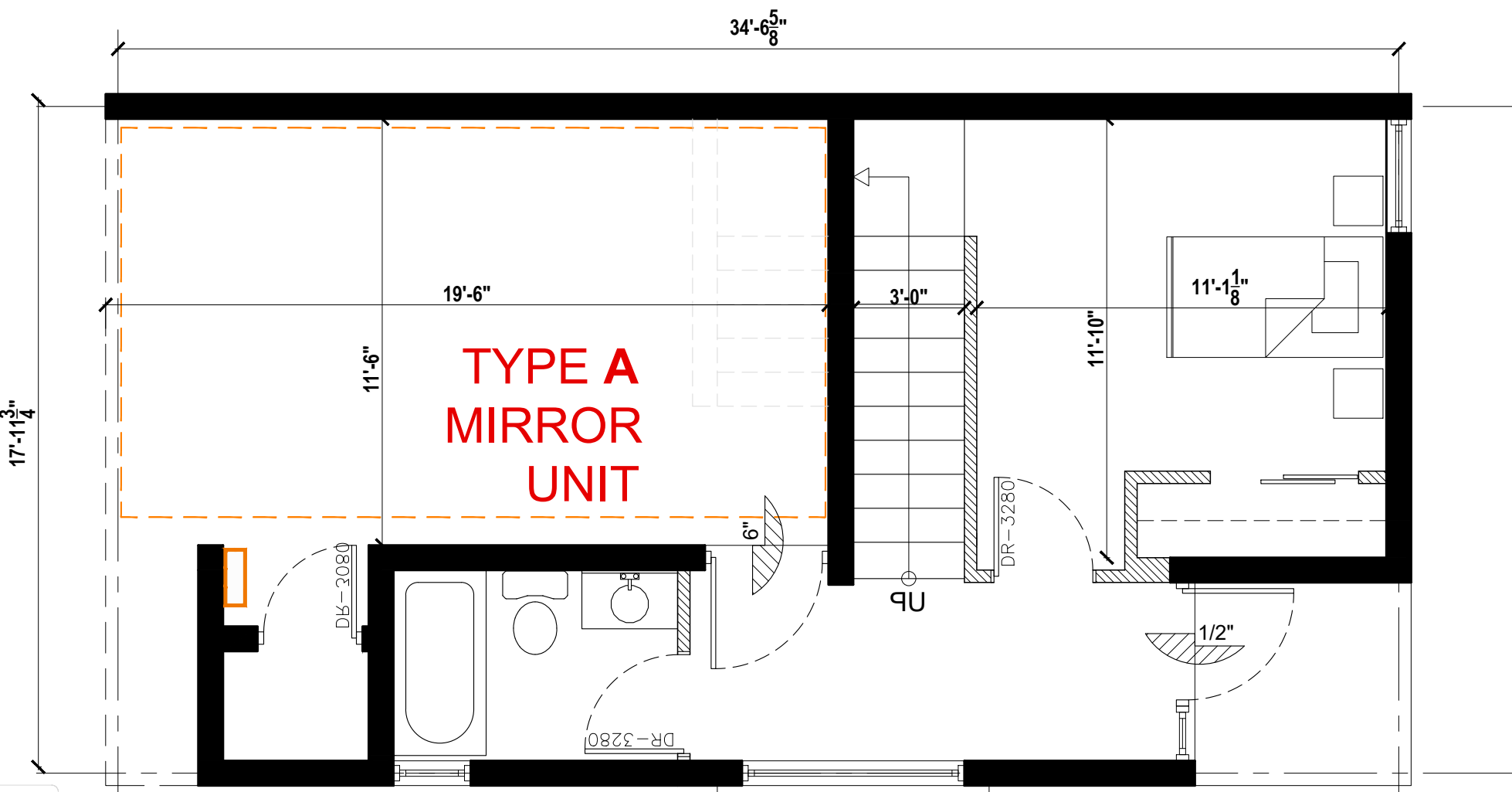
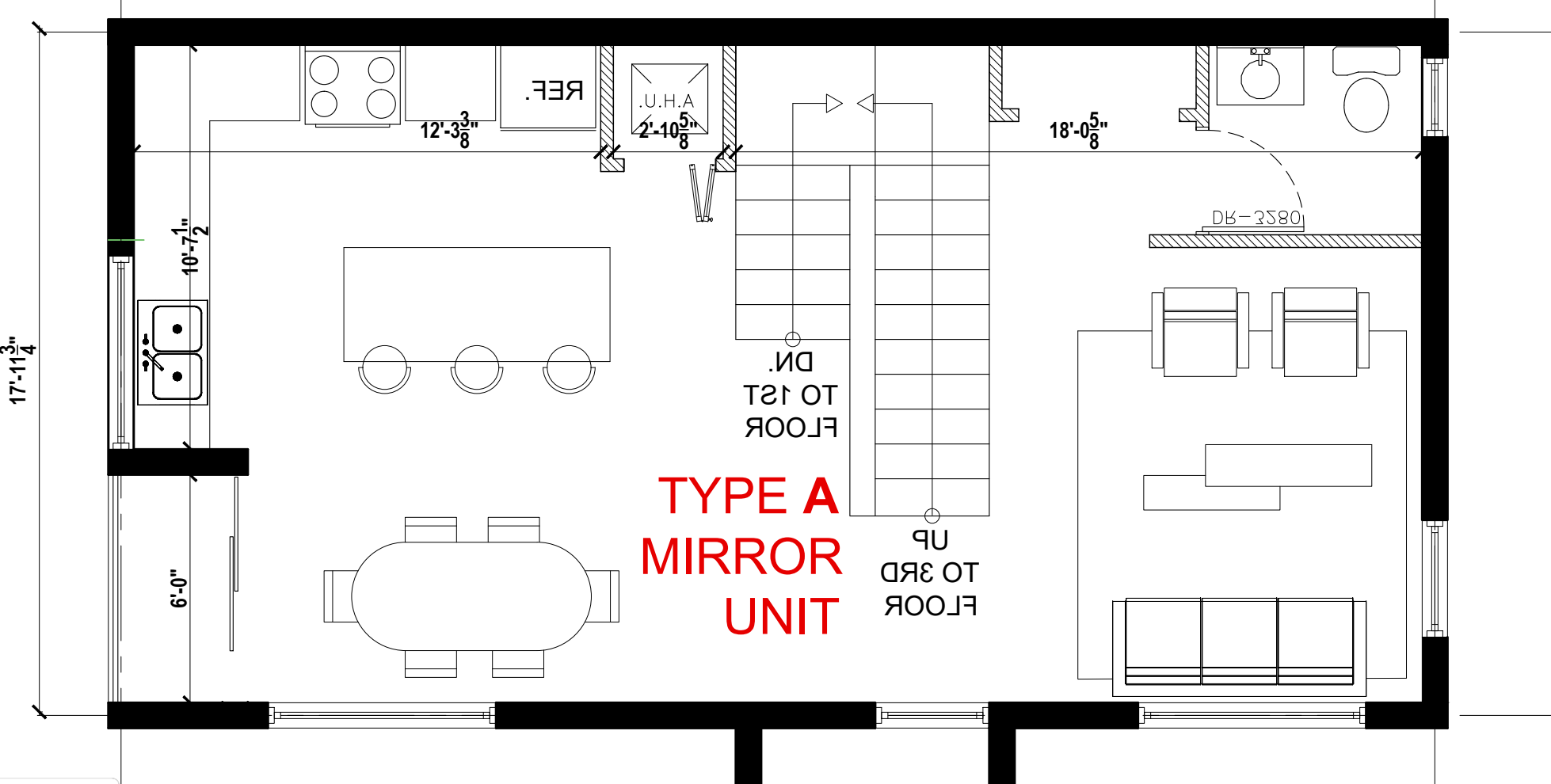
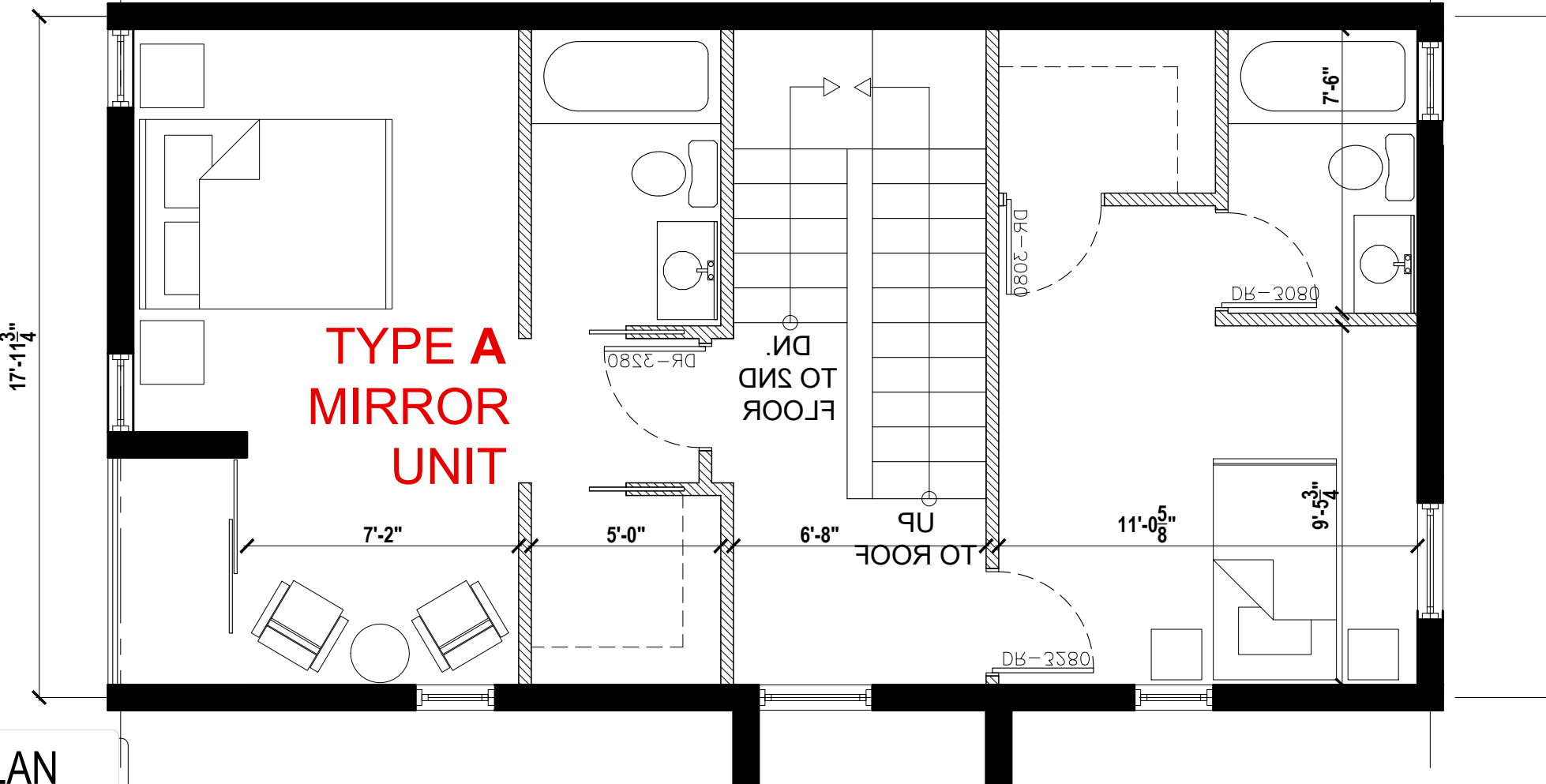
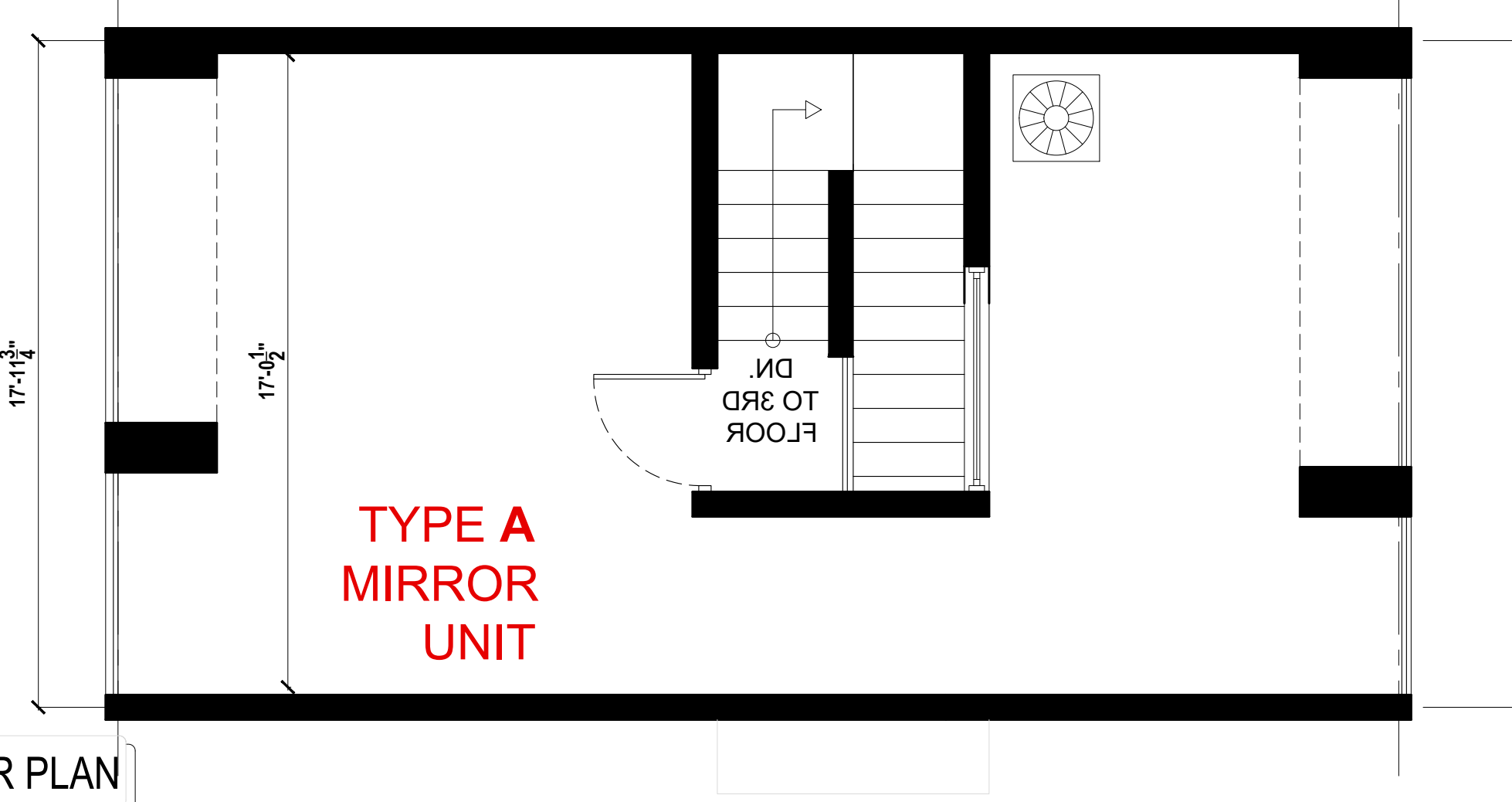
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF AGUDELO ARCHITECT, P.A. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS
2	3-6-24	TAC COMMENTS

PROPOSED:
MULTIFAMILY DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA, 33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 88 ST.
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudelooarchitect.net

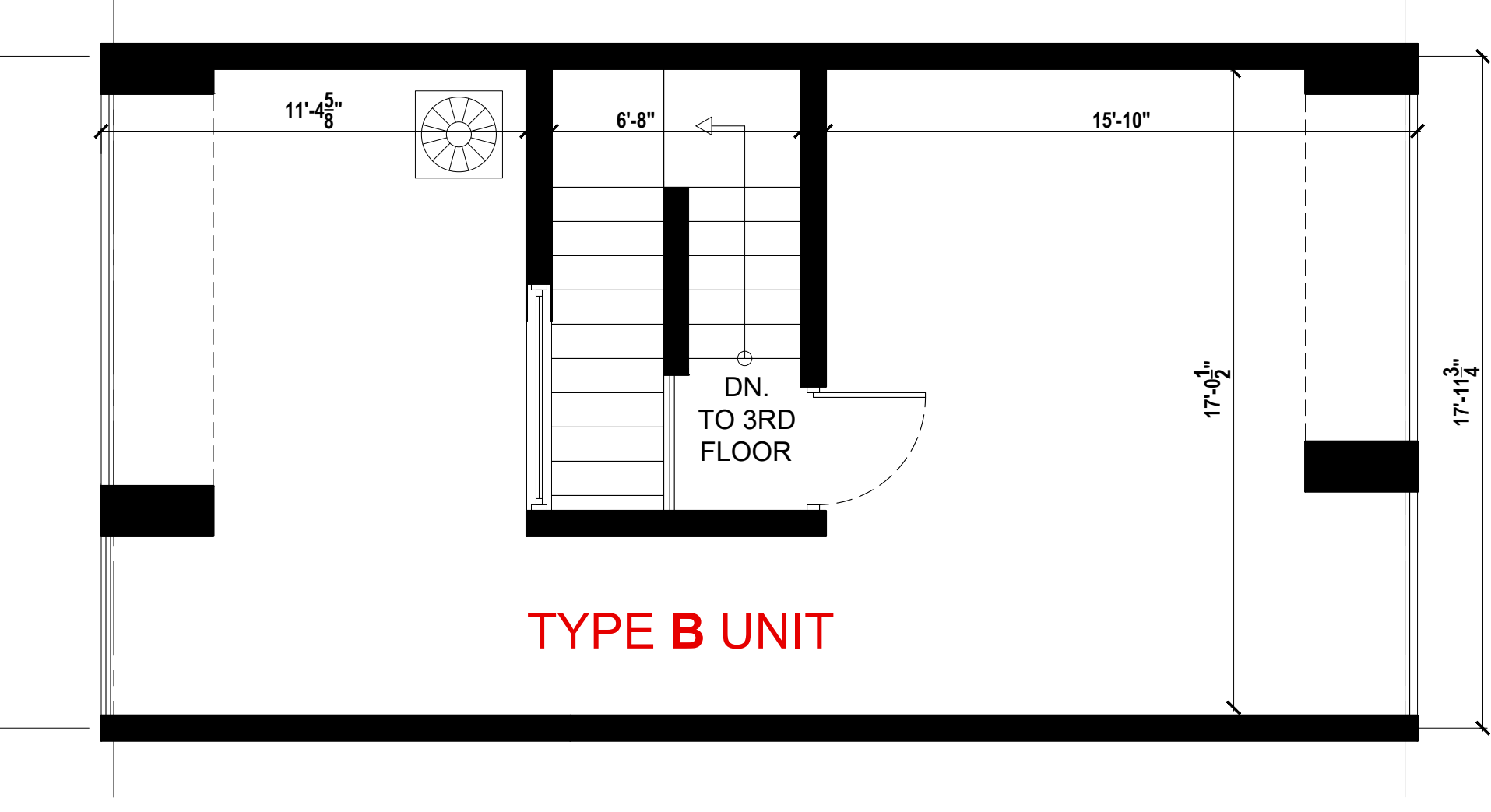
SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.
Checked by : G.A.
Dte : 11-22-2021
Sce : AS SHOWN
JOB NO. : 211101

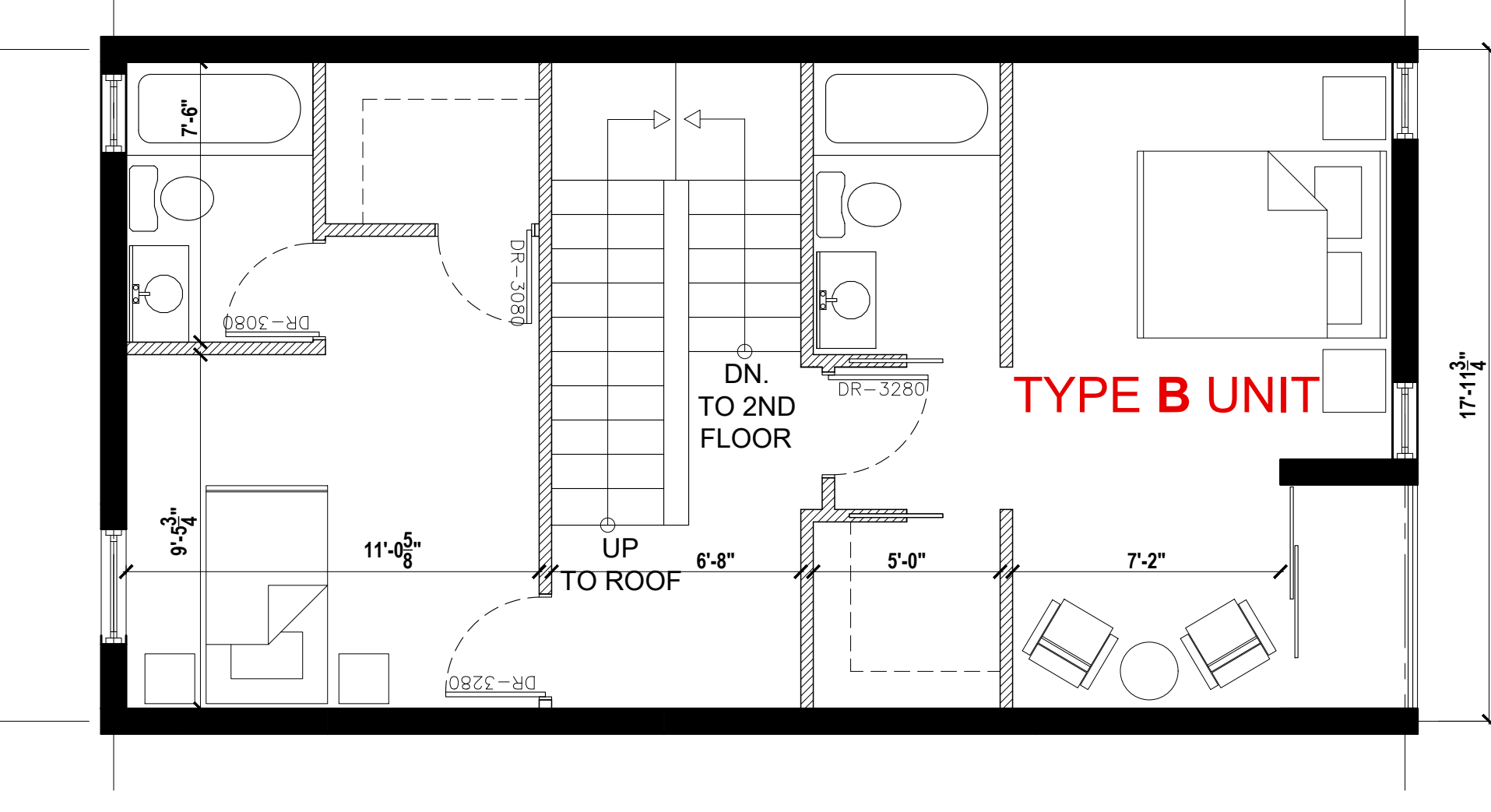
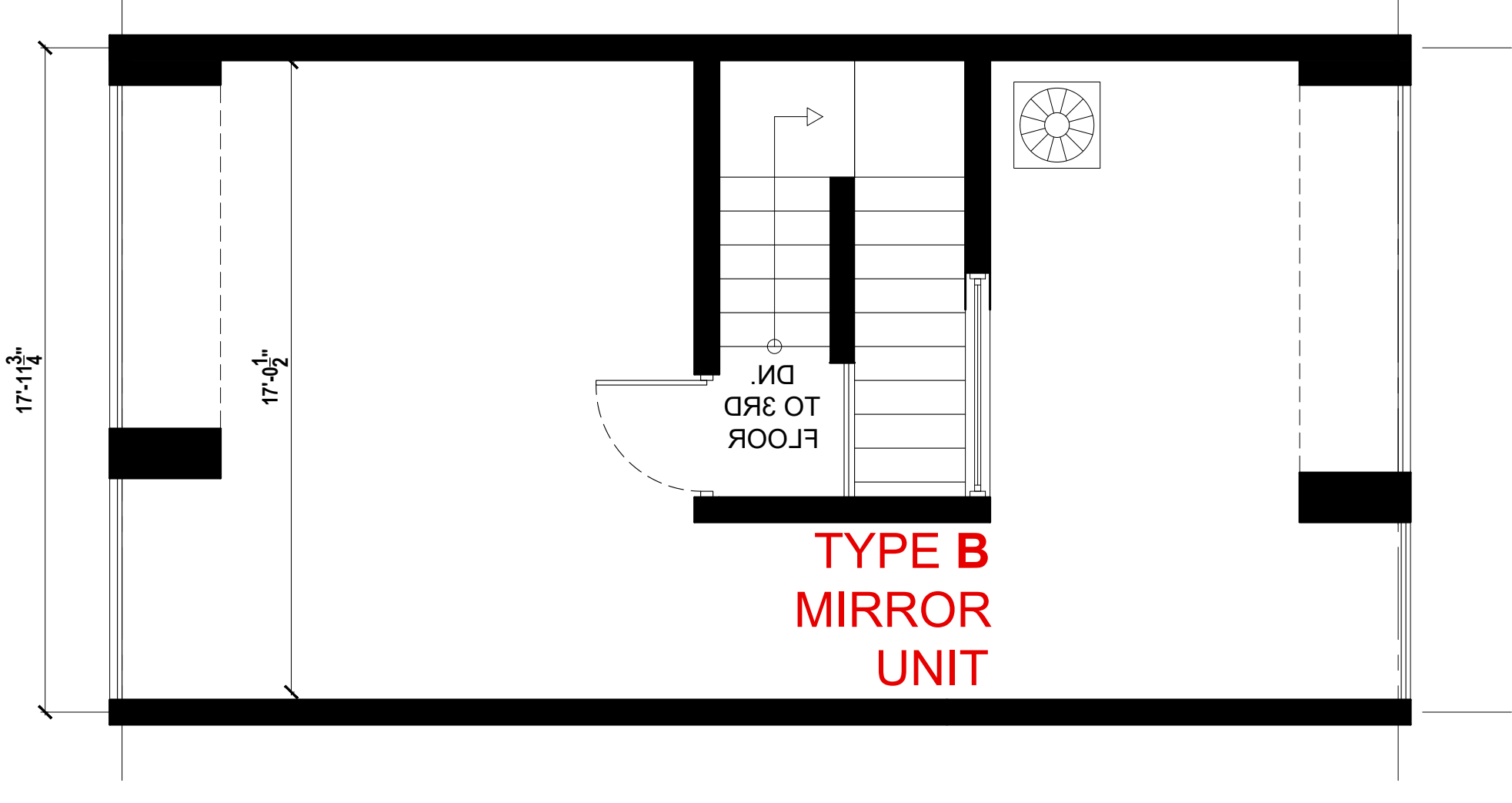
A-1 OF

BUILDING No1 & 2	
TYPE B UNIT - TYPE B MIRROR UNIT	
3 BEDROOMS - 3 & 1/2 BATHROOMS	
A/C AREAS	
1ST FLOOR A/C AREA:	327.89 S.F.
2ND FLOOR A/C AREA:	609.87 S.F.
2ND FLOOR A/C AREA:	609.87 S.F.
4RD FLOOR A/C AREA:	102.66 S.F.
TOTAL A/C AREA:	1,650.29 S.F.
NON A/C AREAS	
CARPORT & STORAGE:	274.34 S.F.
ENTRY PORCH:	30.89 S.F.
2ND FL. FRONT BALCONY:	23.22 S.F.
3NRD FL. FRONT BALCONY:	23.22 S.F.
TERRACE:	531.38 S.F.
TOTAL NON A/C AREAS:	883.05 S.F.
TOTAL A/C & NON A/C AREA:	
2,533.34 S.F.	



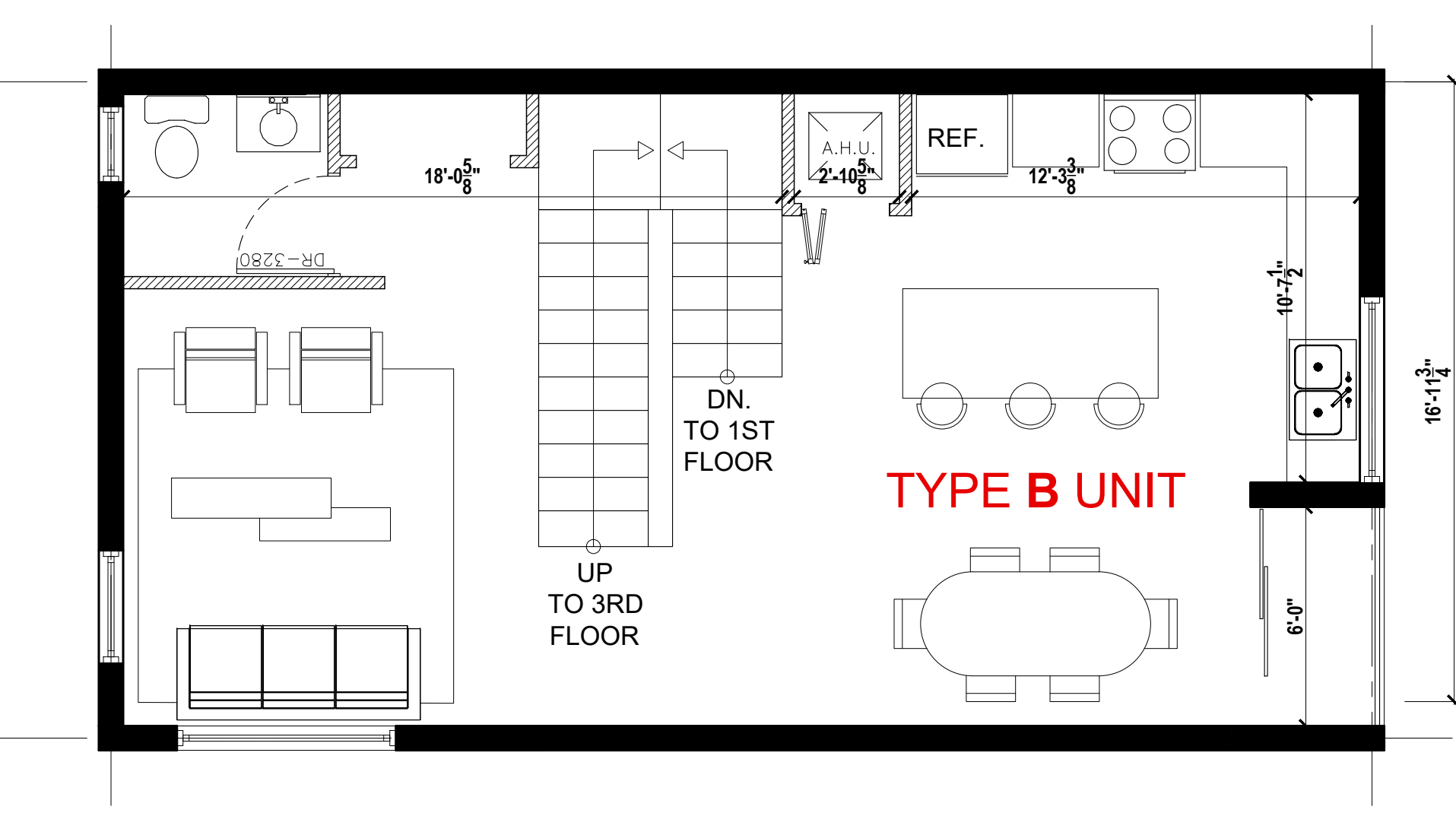
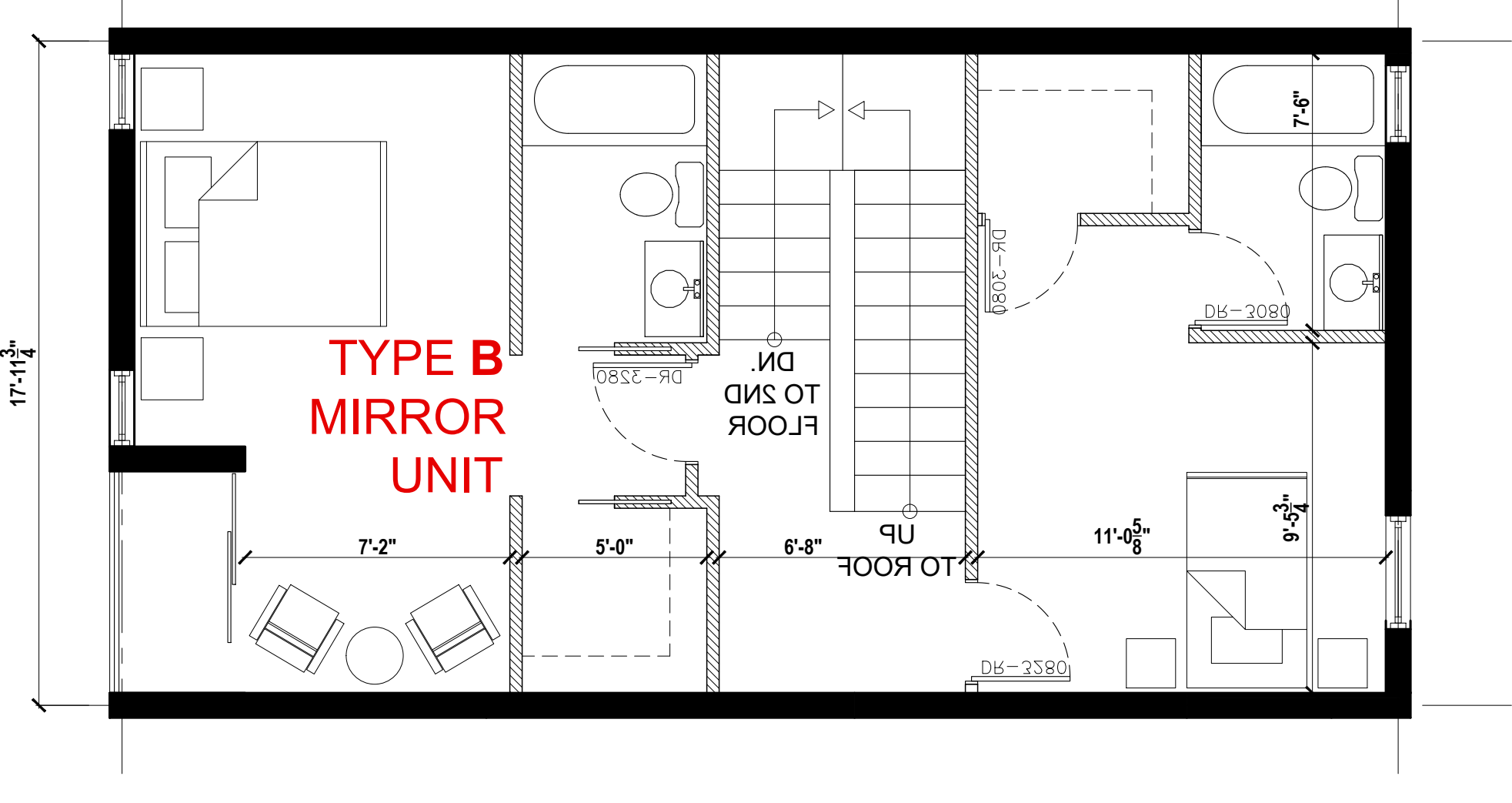
TERRACE FLOOR PLAN

SCALE: 1/4" = 1'-0"



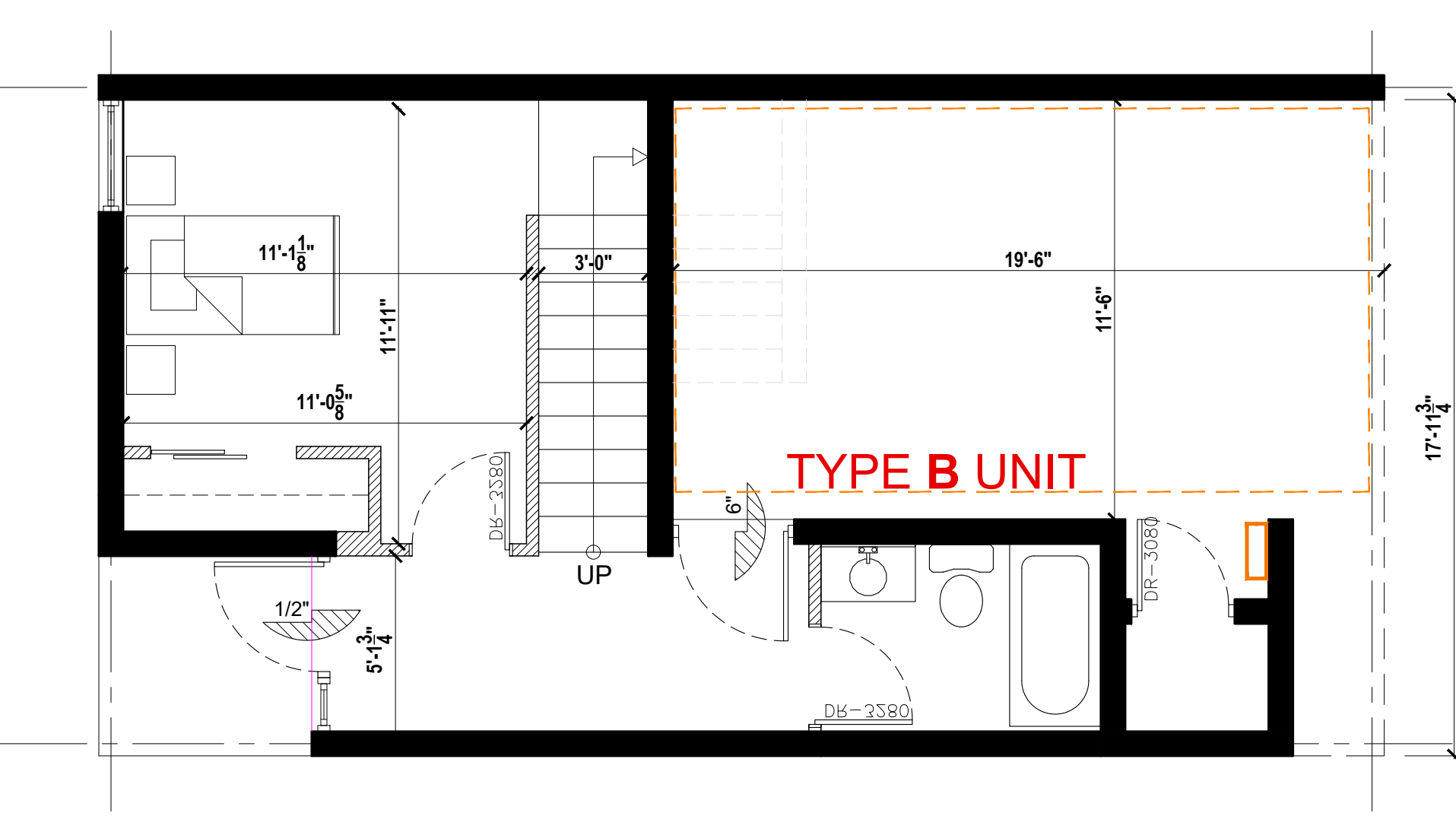
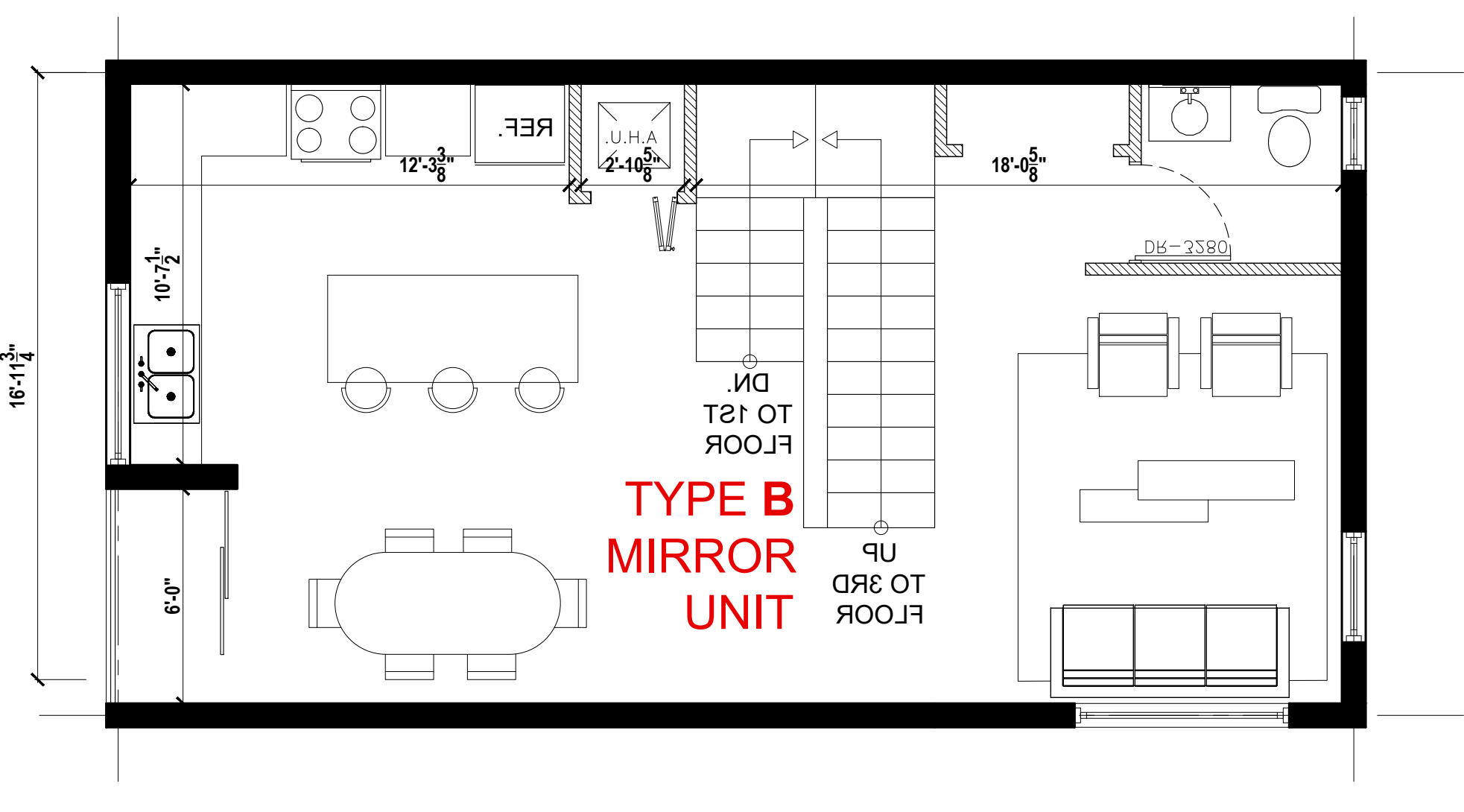
THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



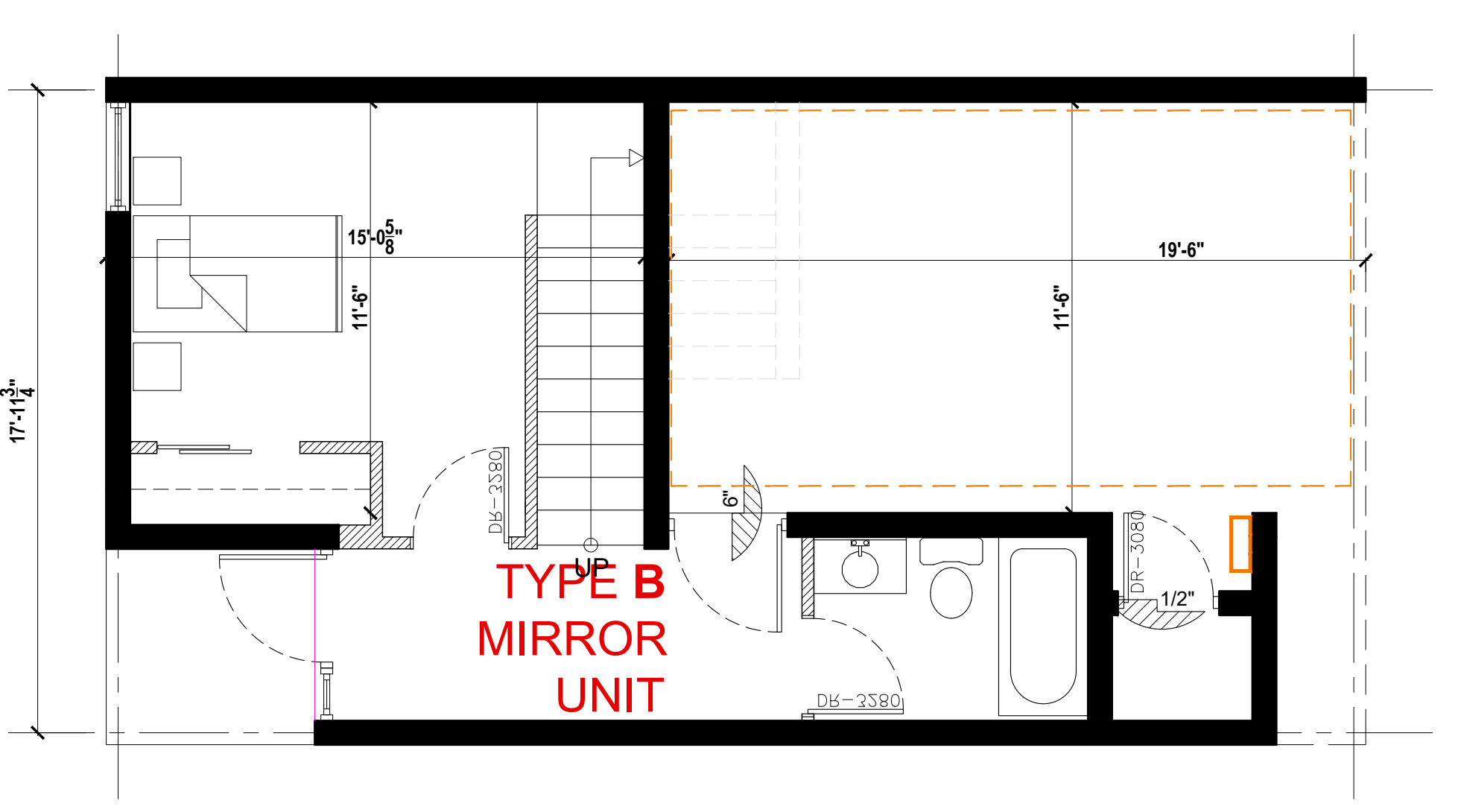
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



BUILDING 1

BUILDING 2

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, P.A. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS
2	3-6-24	TAC COMMENTS

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 CL
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudelarchitect.net

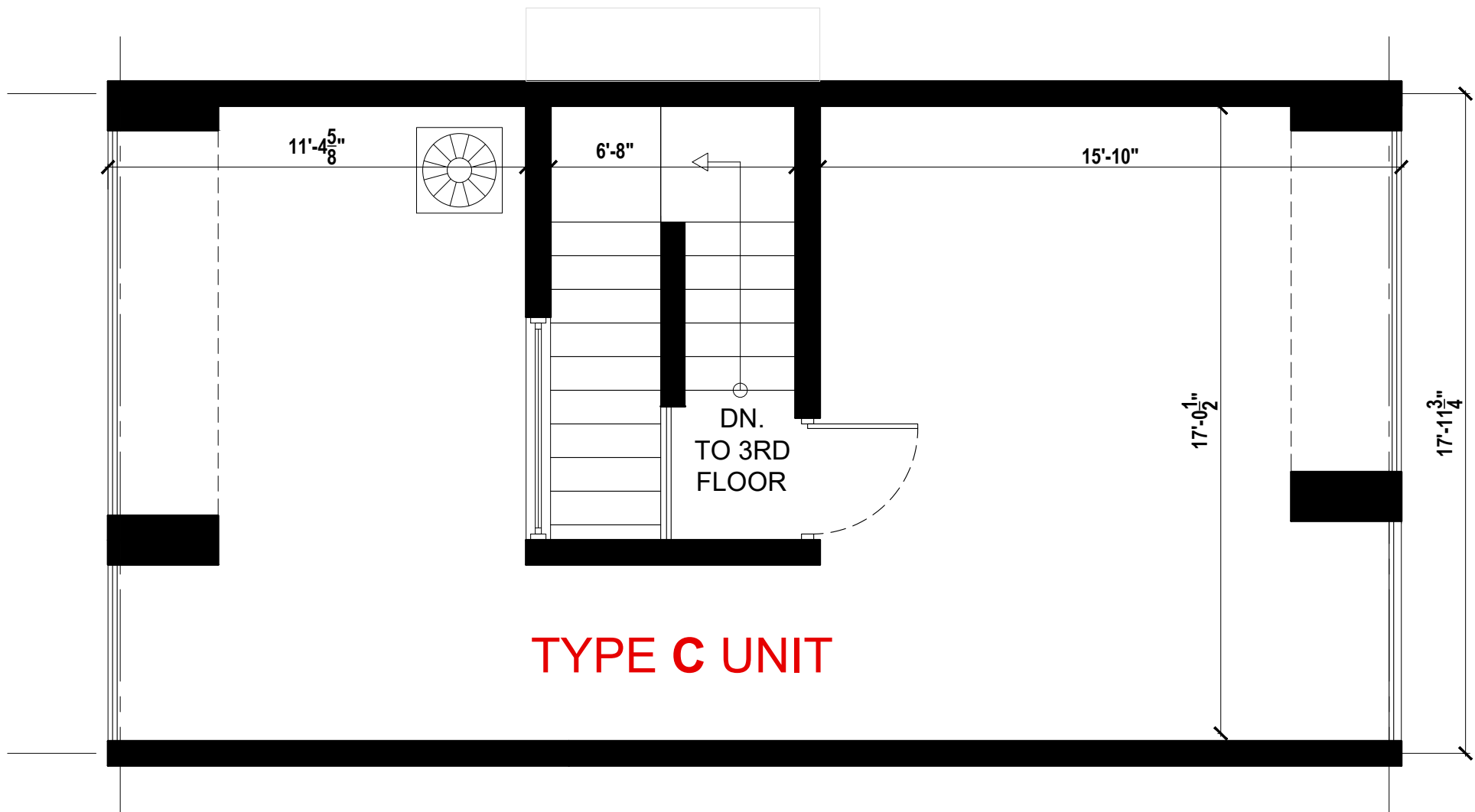
SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

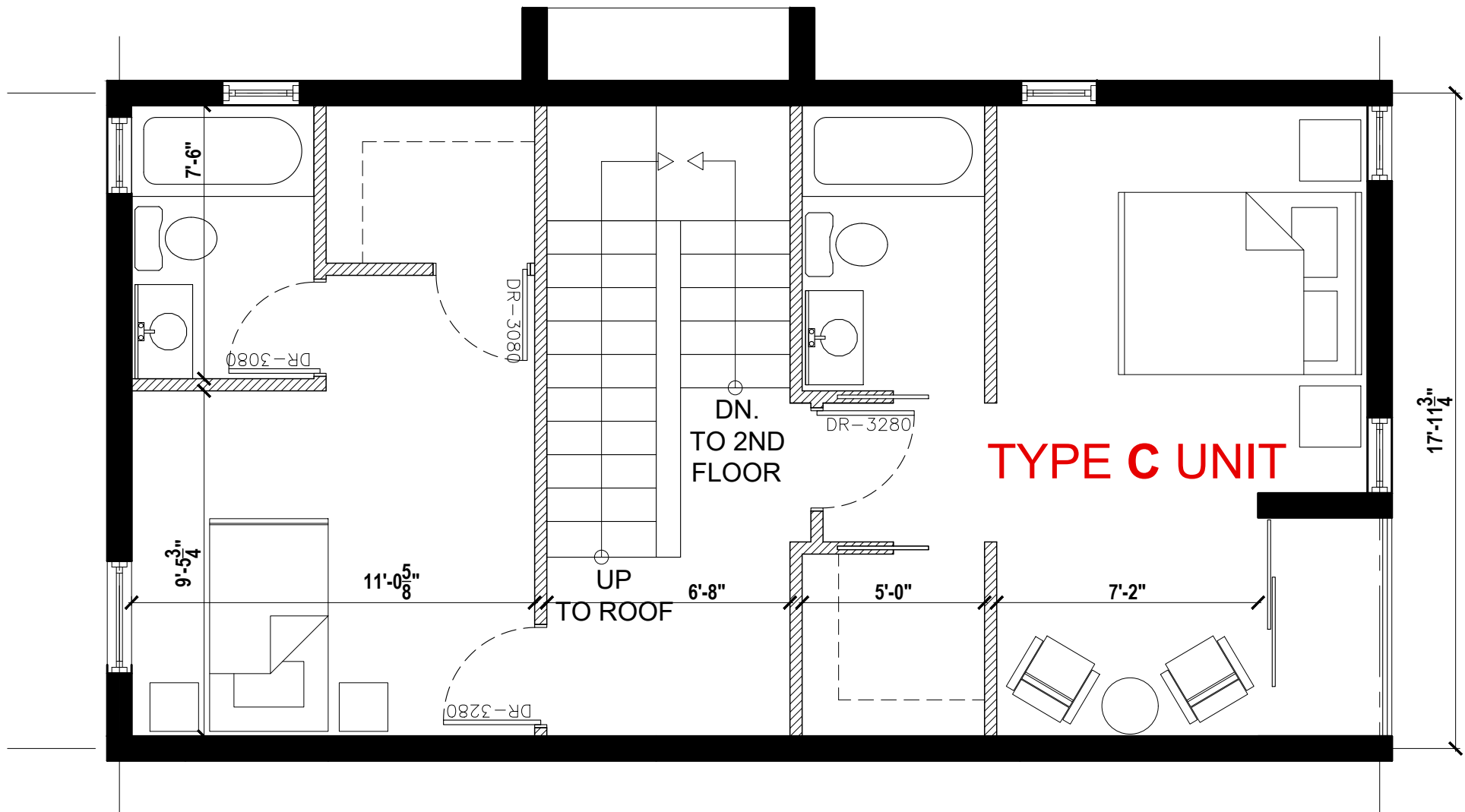
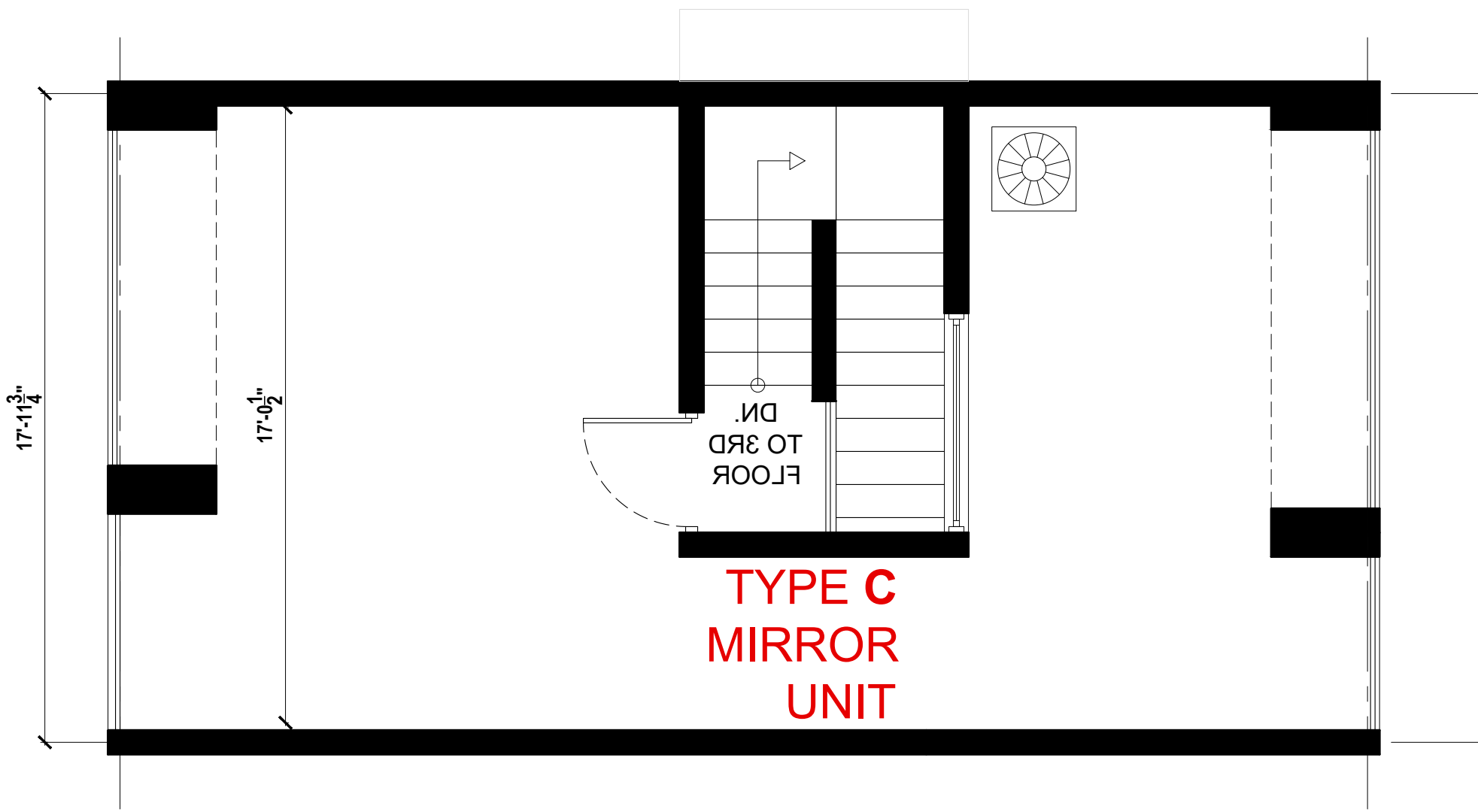
Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

A-2 OF

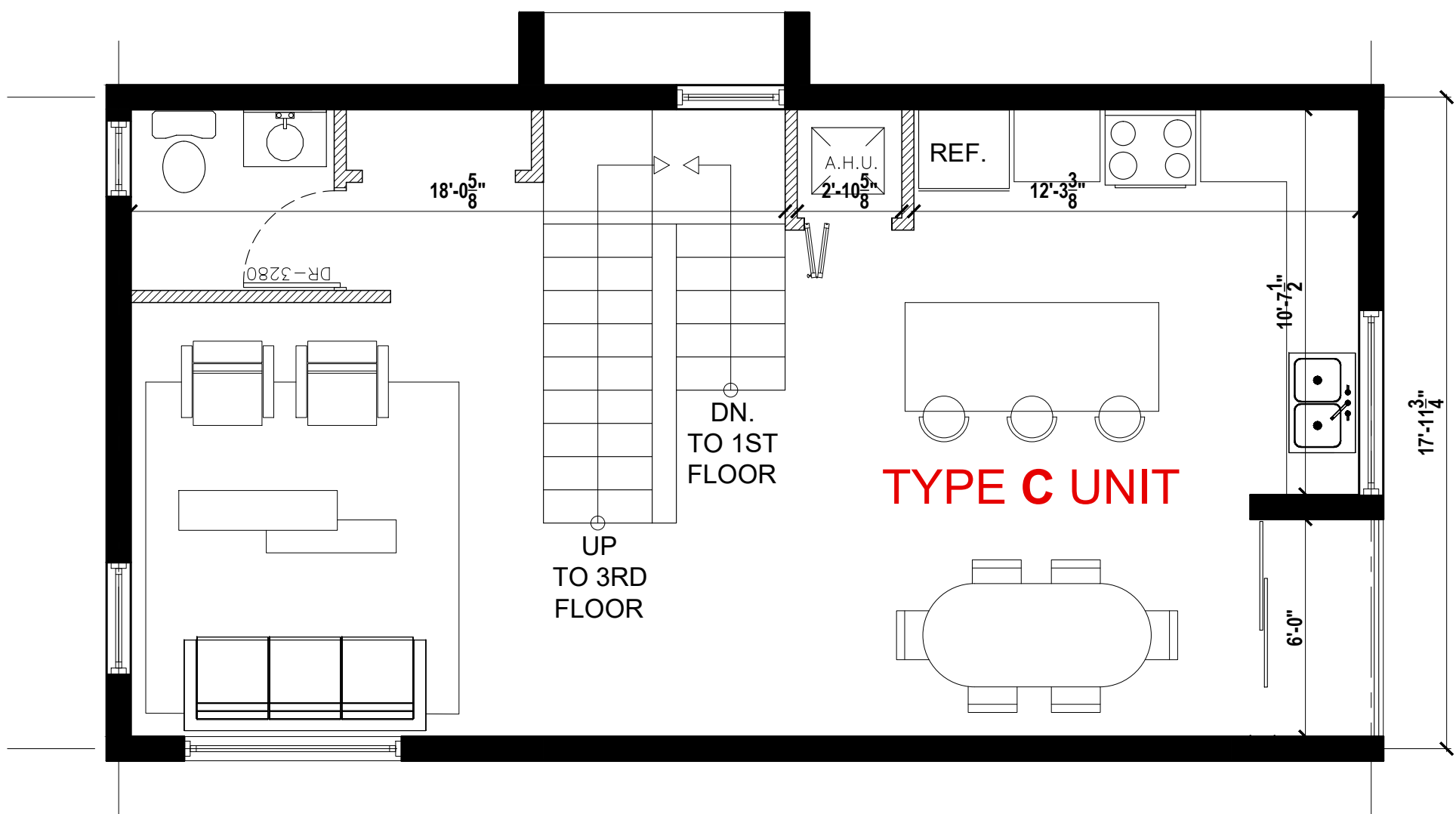
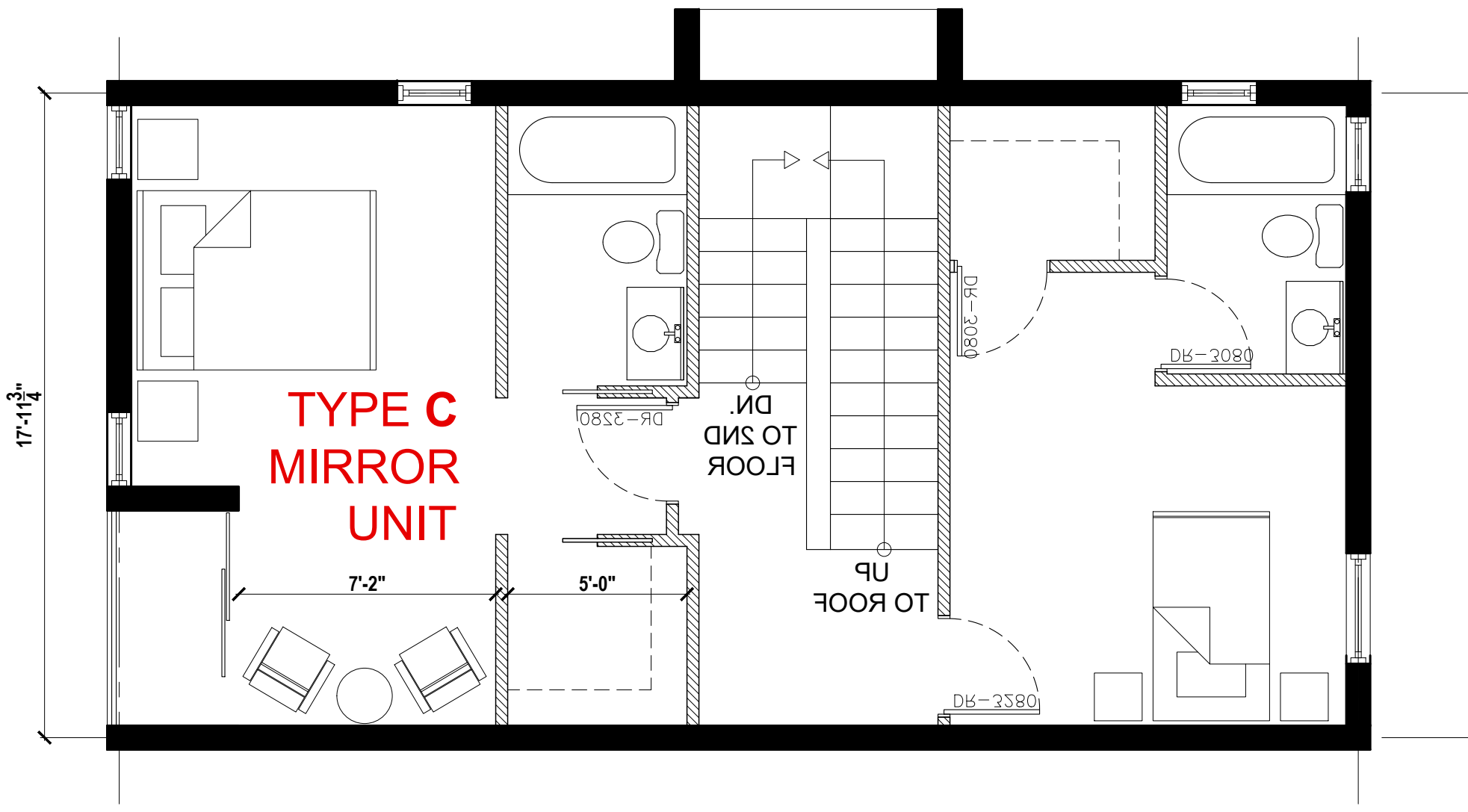
BUILDING No1 & 2	
TYPE C UNIT - TYPE C MIRROR UNIT	
BEDROOMS - 3 & 1/2 BATHROOMS	
1ST FLOOR A/C AREA:	336.18 S.F.
2ND FLOOR A/C AREA:	620.39 S.F.
3ND FLOOR A/C AREA:	620.39 S.F.
4RD FLOOR A/C AREA:	102.66 S.F.
TOTAL A/C AREA:	1,679.62 S.F.
NON A/C AREAS	
CARPORT & STORAGE:	276.71 S.F.
ENTRY PORCH:	31.81 S.F.
2ND FL. FRONT BALCONY:	24.44 S.F.
3NRD FL. FRONT BALCONY:	24.44 S.F.
TERRACE:	542.17 S.F.
TOTAL NON A/C AREAS:	899.57 S.F.
TOTAL A/C & NON A/C AREA:	
2,579.19 S.F.	



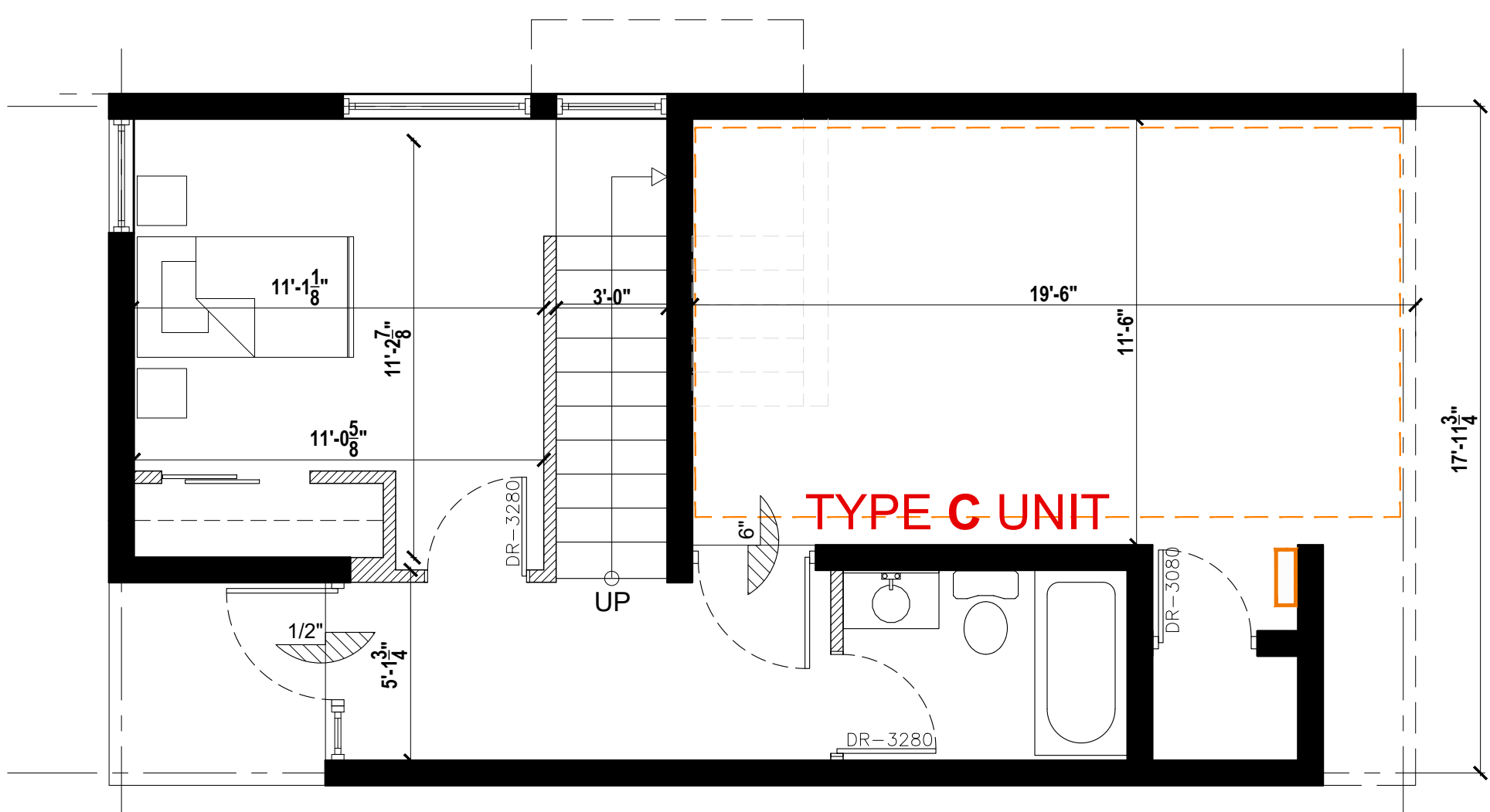
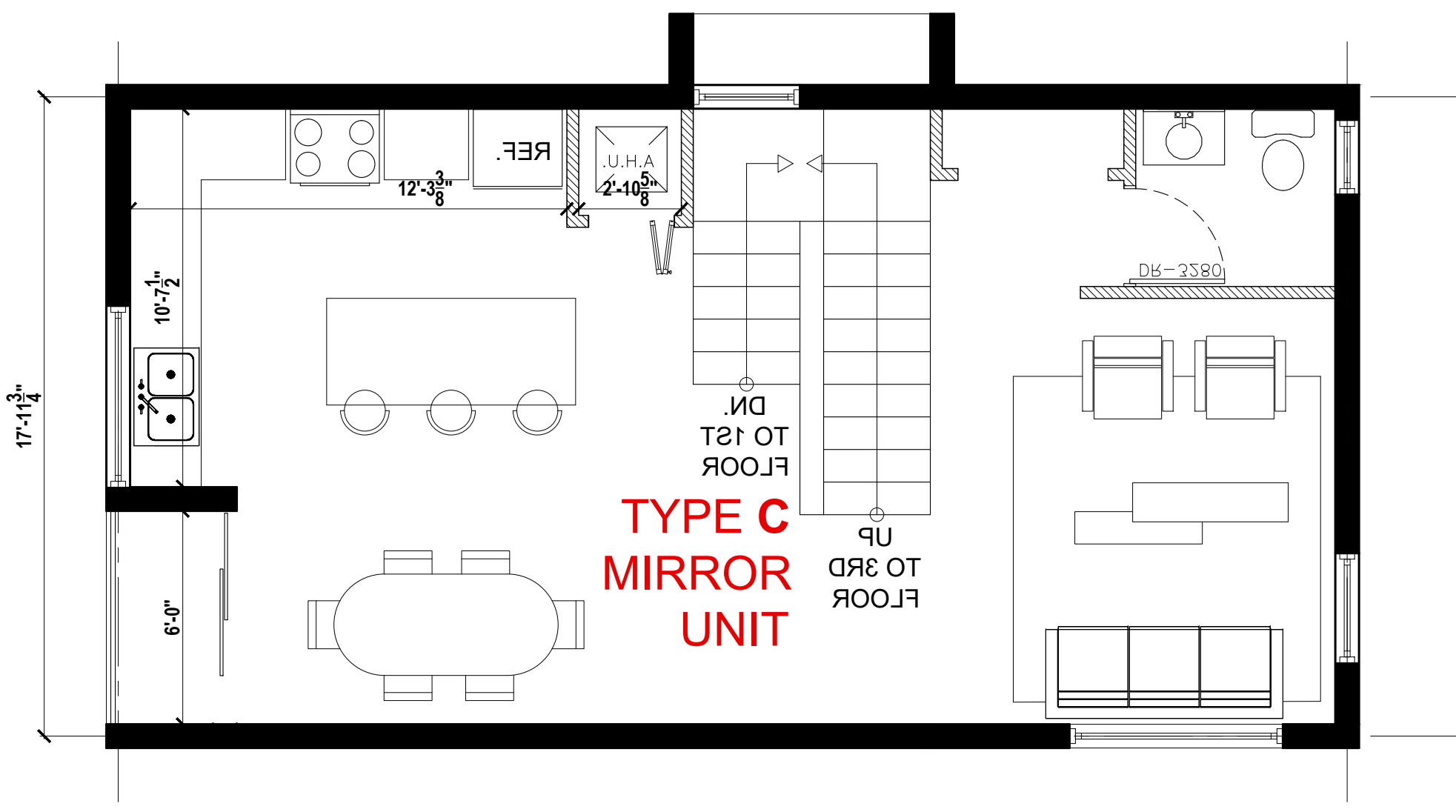
TERRACE FLOOR PLAN
SCALE: 1/4" = 1'-0"



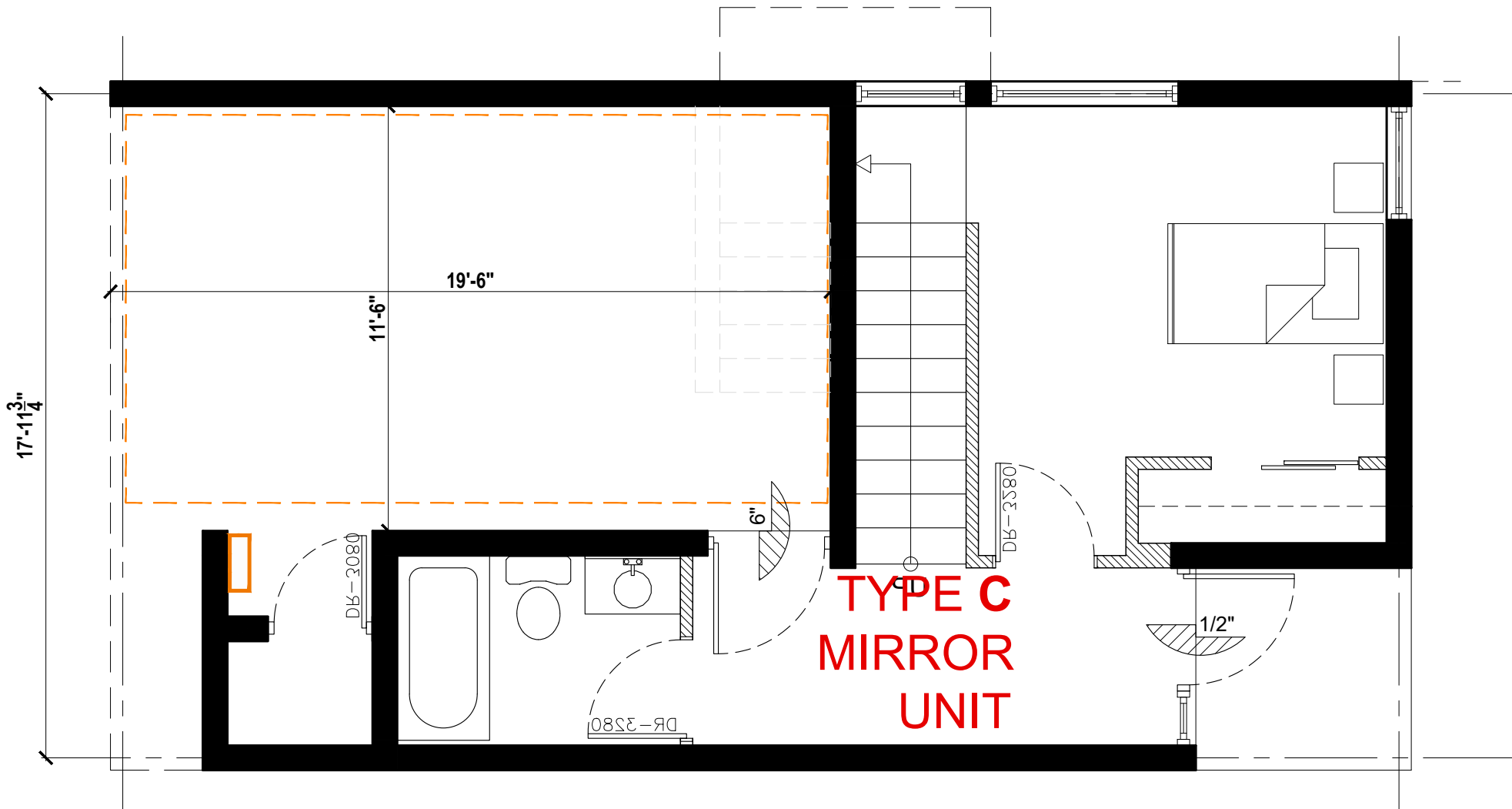
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



BUILDING 1

BUILDING 2

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, P.A. NO PART OF THESE DRAWINGS OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. CONTRACTORS SHALL HAVE PRECEDENCE OVER ARCHITECTS IN THE EVENT OF ANY CONFLICT OF INTEREST. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 CL
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

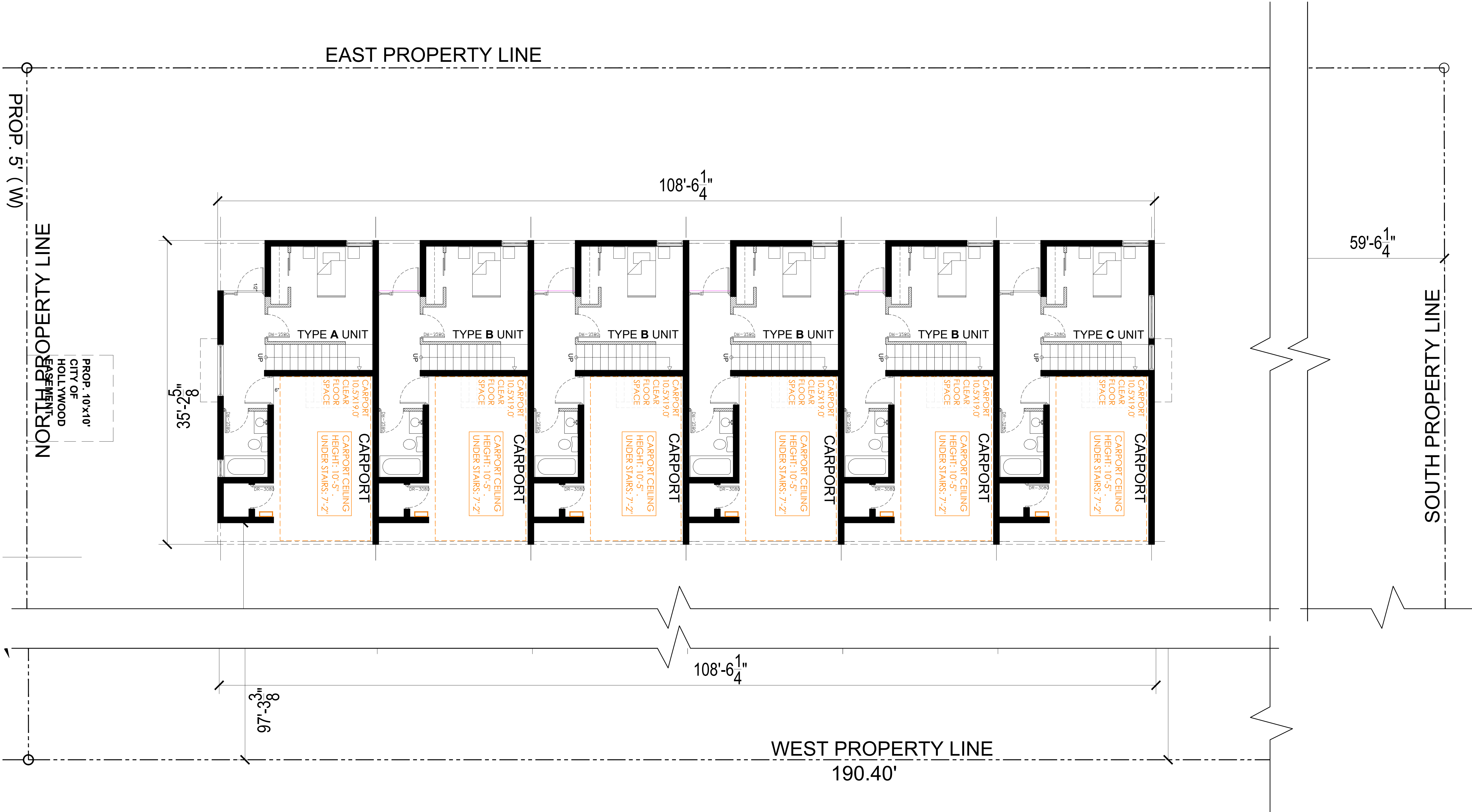
e-mail address:
german@agudelarchitect.net

SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

A-3 OF



PROP. 5' (W)

NORTH PROPERTY LINE

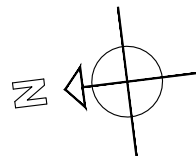
PROP. 10'x10'
CITY OF
HOLLYWOOD
EASEMENT

EAST PROPERTY LINE

SOUTH PROPERTY LINE

WEST PROPERTY LINE

190.40'



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

BUILDING 1 - 6 UNITS

ALL USA PERSONS, ASSOCIATIONS, AND Firms INCORPORATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THIS PROJECT. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT. PERMISSION OF AGUDELO ARCHITECT FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL HAVE PRECEDENCE OVER ANY OTHER DIMENSIONS AND CONDITIONS. THESE DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 NW 80 ST
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudeloorchitect.net

SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091584

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

A-4 OF

EAST PROPERTY LINE

NORTH PROPERTY LINE

20'-0"

$$22'-1\frac{1}{4}$$

35'-2 5/8"

TYPE A UNIT

TO 3RD
FLOOR

D.N.
TO 15
FLOOR

TYPE B UNI

TO 3RD
FLOOR

TO 15TH
FLOOR

TYPE B UNIT

TO 3RD
FLOOR

DN:
TO 15:
FLOOR

TYPE B UNI

TO 3RD
FLOOR

TO 1ST FLOOR

TYPE B UNIT

TO 3RD
FLOOR

TO 15TH
FLOOR

TYPE C UNIT

FLOOR

TO 15th
FLOOR

35'-2 5/8"

$$59'-6\frac{1}{4}$$

SOUTH PROPERTY LINE

WEST PROPERTY LINE

BUILDING 1 - 6 UNITS

Drawing by : W.P.	
Checked by : G.A.	
Dte :A	11-22-2021
See :A	AS SHOWN
JOB NO :	211101

(A-5) OF

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 Ct
SUITE #: 211-B
DORAL, FL. 33172

Phone #:
(786) 738-8236

E-mail address:
agudelo@agudeलोarchitect.com

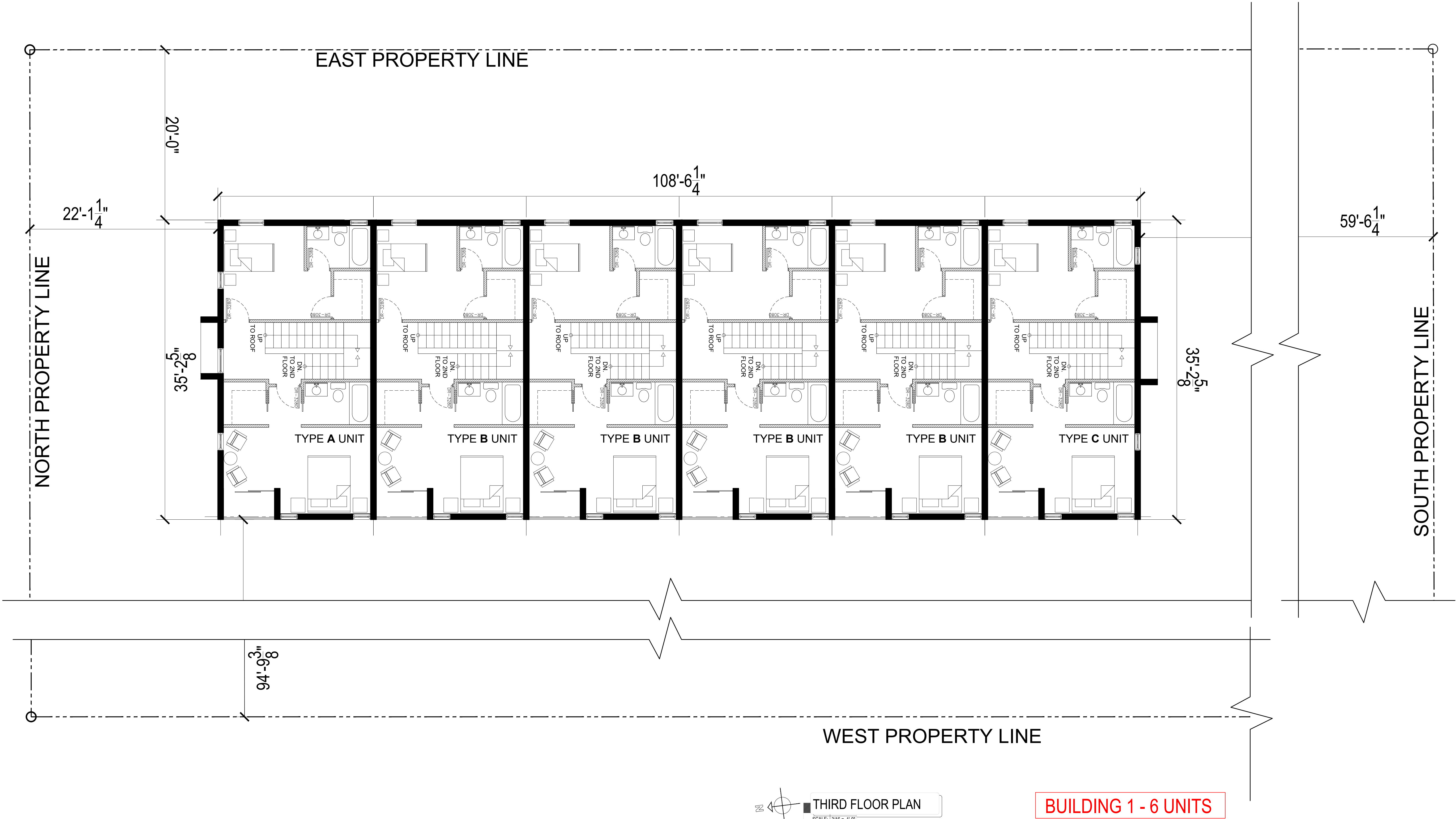
SEAL:
STATE OF FLORIDA



GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

No.	Date	Revision
1	11-30-22	TAC COMMENTS

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF AGUILDE Architect, and ALL SUCH DRAWINGS ARE OWNED BY, AND THE PROPERTY OF AGUILDE Architect, and WILL BE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS WILL BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF AGUILDE Architect.



THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

BUILDING 1 - 6 UNITS

ALL USA, PERSONS, ASSURANCE, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, P.A. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. IS STRICTLY PROHIBITED. FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, THE ARCHITECT'S DRAWINGS SHALL TAKE PRECEDENCE OVER ANY OTHER DOCUMENTS, SPECIFICATIONS, OR CONDITIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN IN THESE DRAWINGS. STOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/JUS
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 80 CT.
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

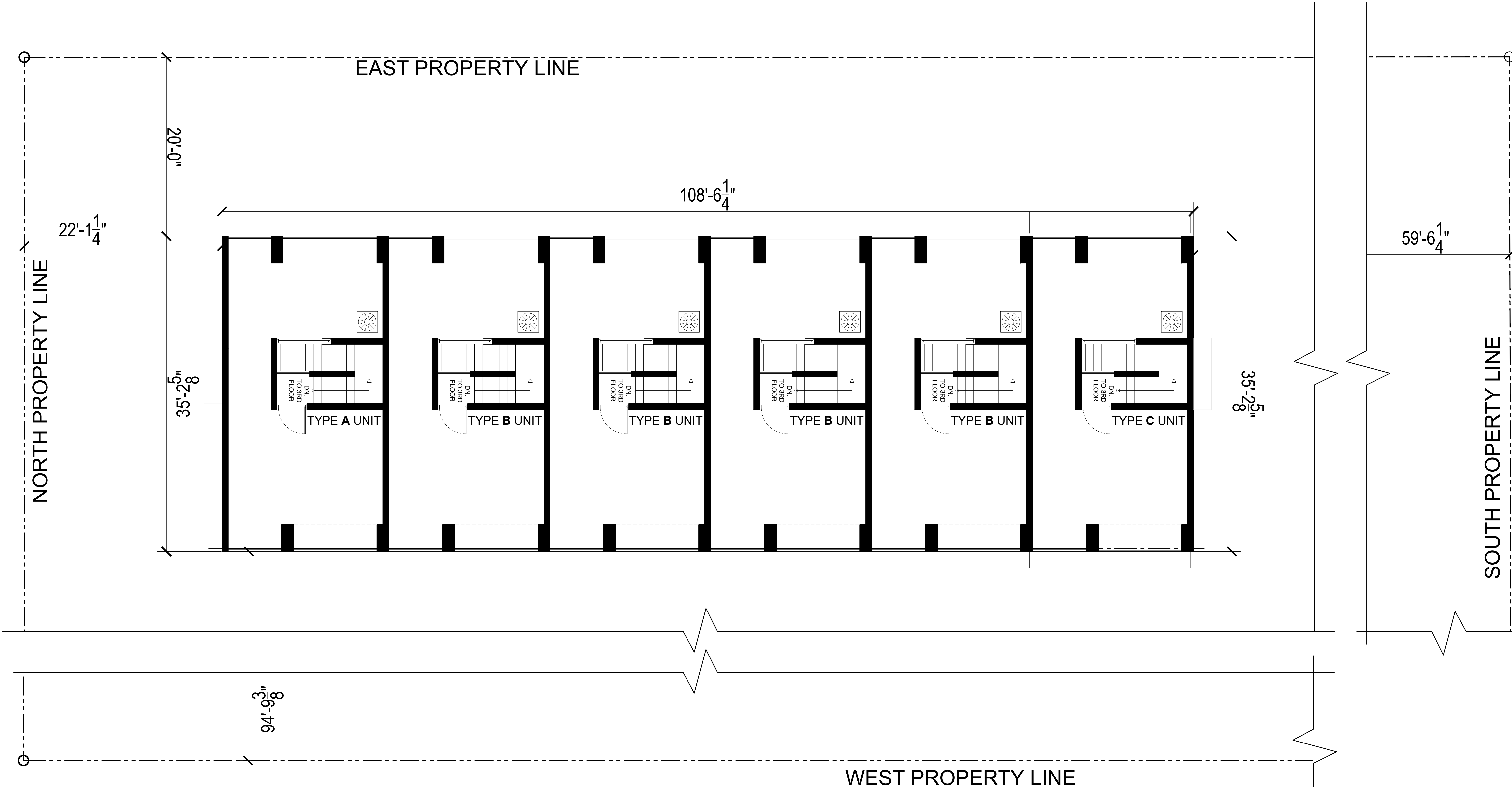
e-mail address:
german@agudeloorchitect.net

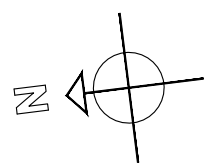
SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

A-6 OF





TERRACE FLOOR PLAN
SCALE: 3/16" = 1'-0"

BUILDING 1 - 6 UNITS

ALL SCALE, DESIGN, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE PROJECT AND FOR THE PROJECT ONLY. ANY REUSE, REPRODUCTION, OR ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT. THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY OTHER DRAWINGS OR PLANS FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND CONDITIONS SHOWN IN THESE DRAWINGS. STOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

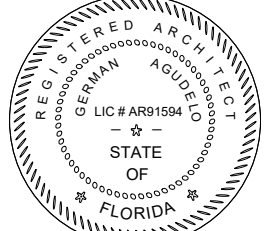
AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 80 CT
SUITE # 211-B
DORAL, FL 33172

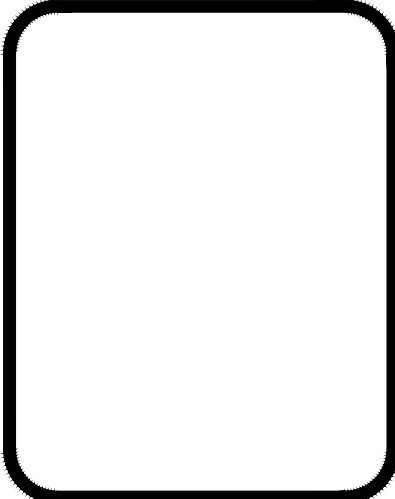
Phone #:
(786) 738-8236

e-mail address:
german@agudeloorchitect.net

SEAL:
STATE OF FLORIDA

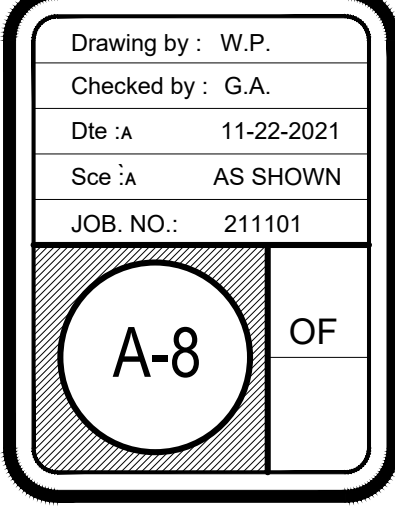


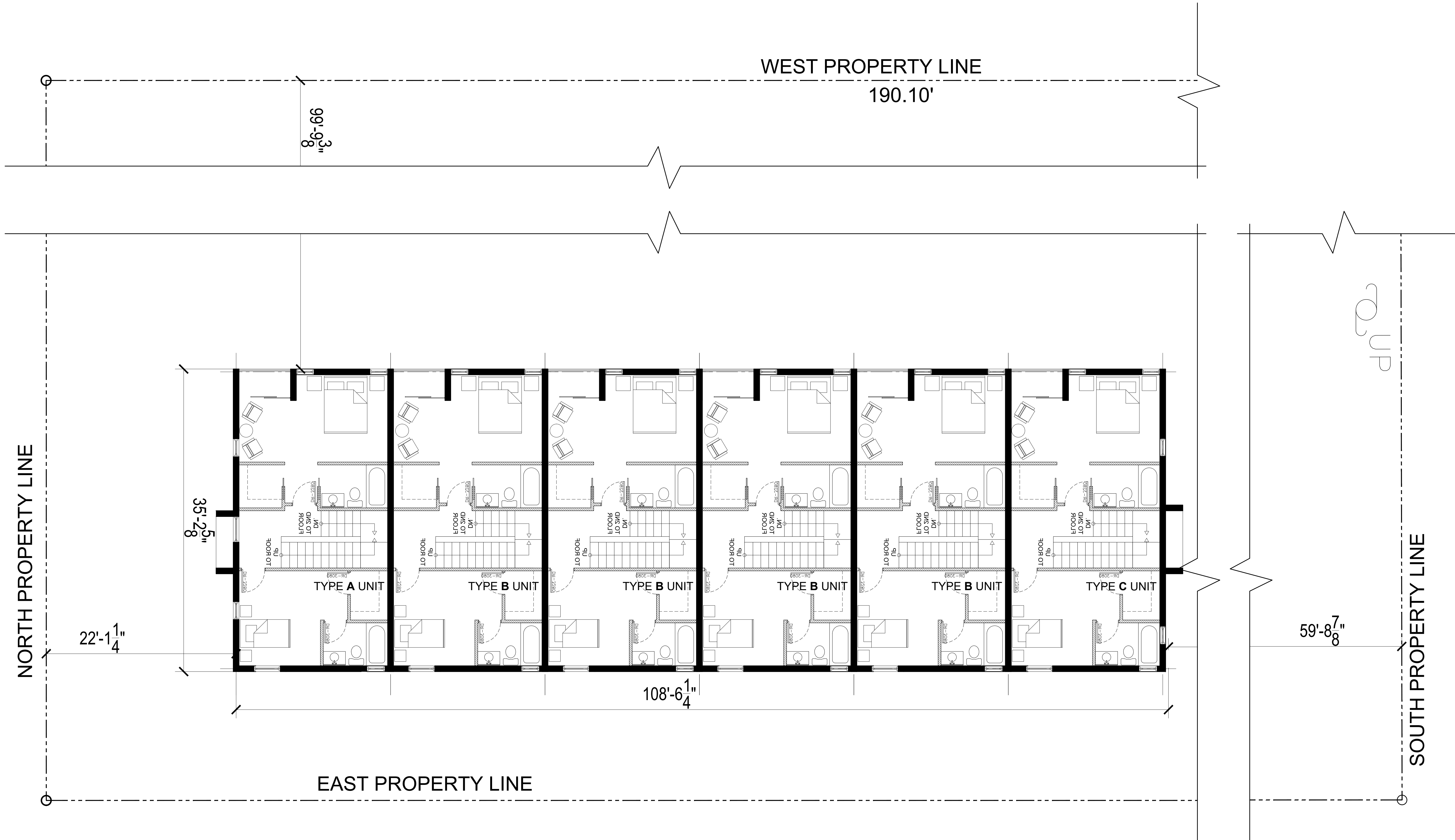
GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594



Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

A-7 OF





THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

BUILDING 2 - 6 UNITS

ALL DATA, FIGURES, ASSUMPTIONS, AND PLANS ASSOCIATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, AND WHERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE PROJECT DESCRIBED HEREIN. NO PART OF THIS DRAWING, OR ANY ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT. THE PURPOSE OF THIS DRAWING IS TO SHOW THE DIMENSIONS OF THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY OTHER DIMENSIONS OR CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 88 St.
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

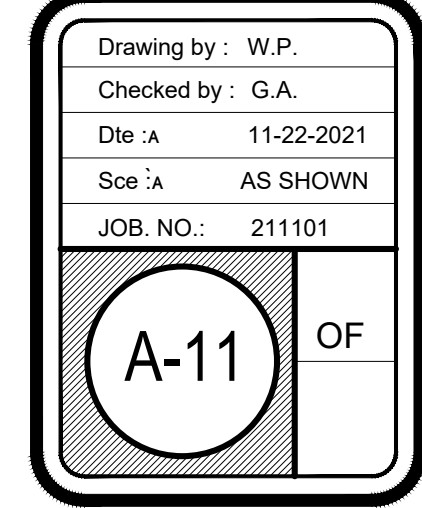
e-mail address:
german@agudeloaarchitect.net

SEAL:
STATE OF FLORIDA

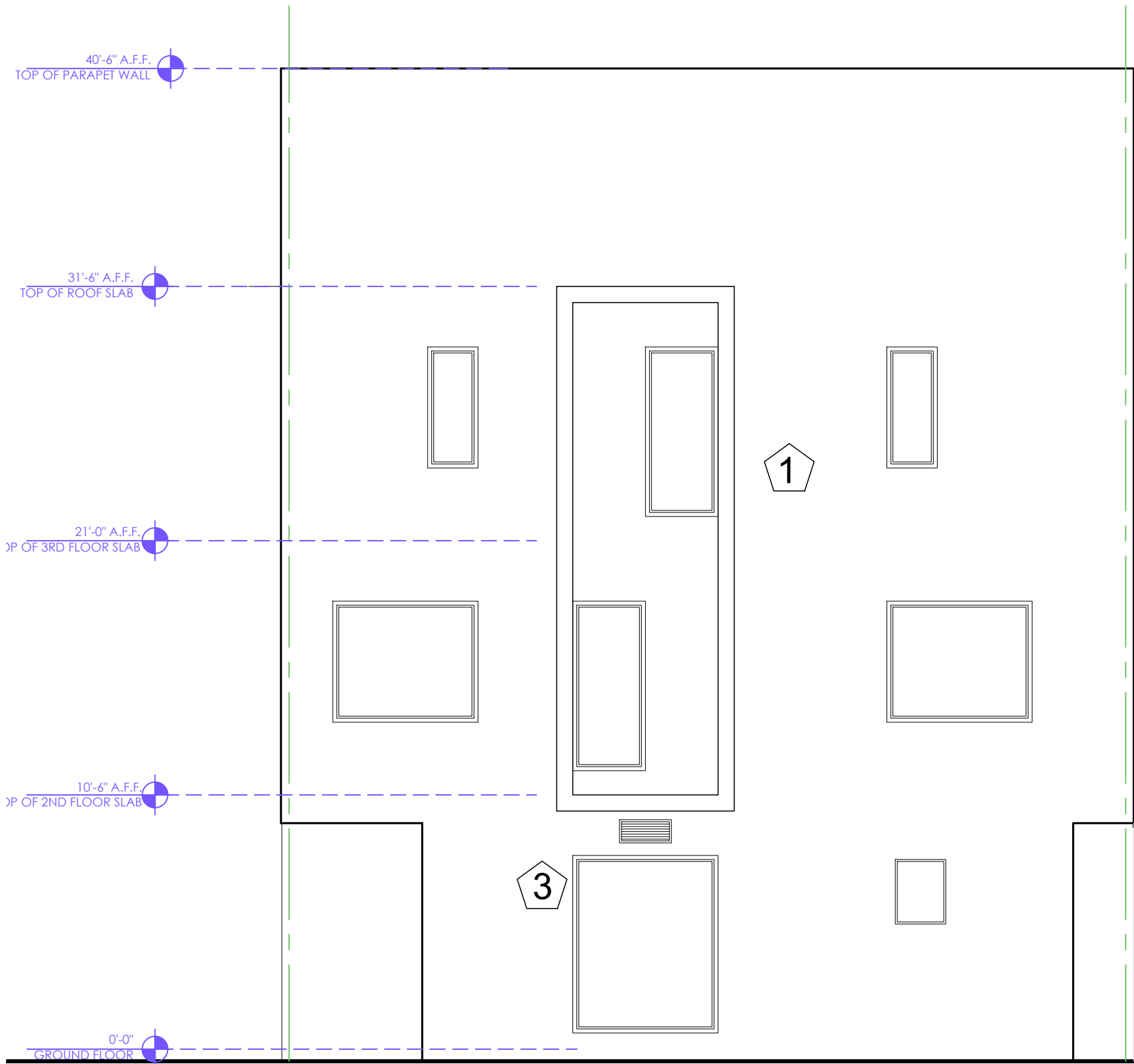
REGISTERED ARCHITECT
GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

A-10 OF

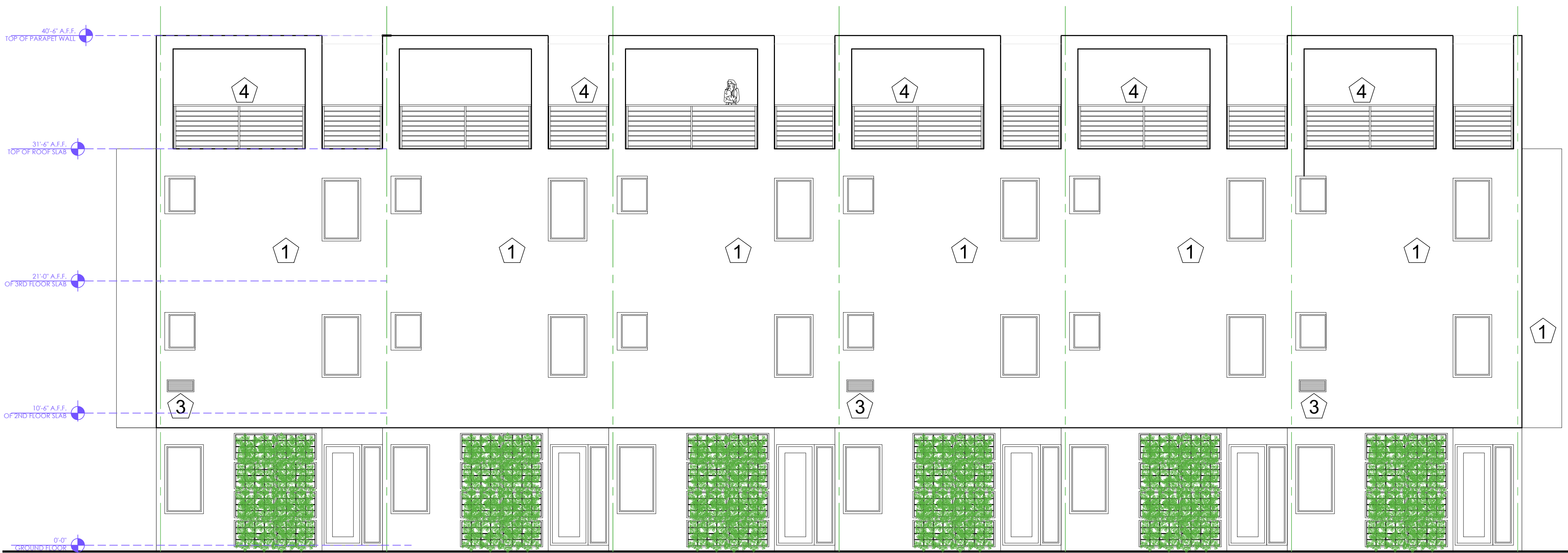


(A-11) OF _____



FRONT/NORTH ELEVATION

SCALE: 3/16" = 1'-0"



BUILDING 1 LEFT/EAST ELEVATION

SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES & COLOR TABLE

1 WHITE: EXTRA WHITE - 7006 SHERWIN-WILLIAMS 257-C1 R-238 G-239 B-234 ON SMOOTH STUCCO FINISH

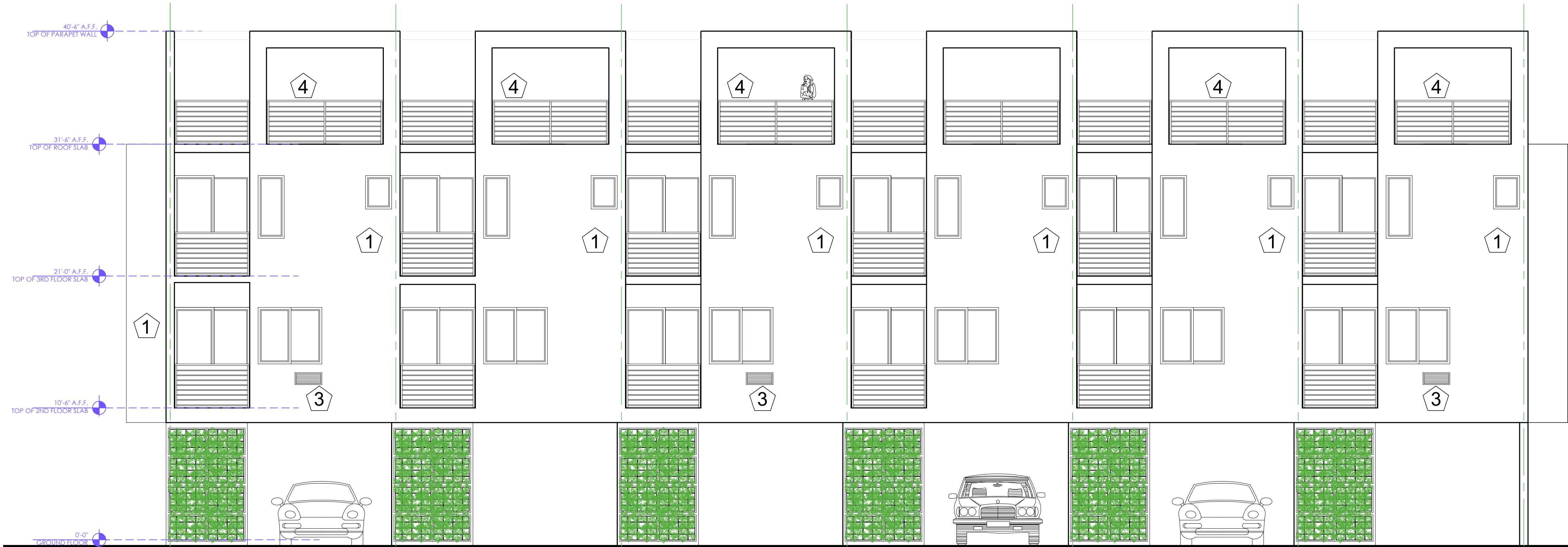
2 PREFAB METALLIC GALVANIZED WALL MOUNTED PLANT LATTICE

3 WALL MOUNTED LIGHT FIXTURE

4 42" ALUM. RAILING W/ HORIZONTAL PICKETS @ 4" O.C. BOTTOM RAIL @ 2" A.F.F. MAX. (CONTRACTOR TO PROVIDE SHOP DWNGS)

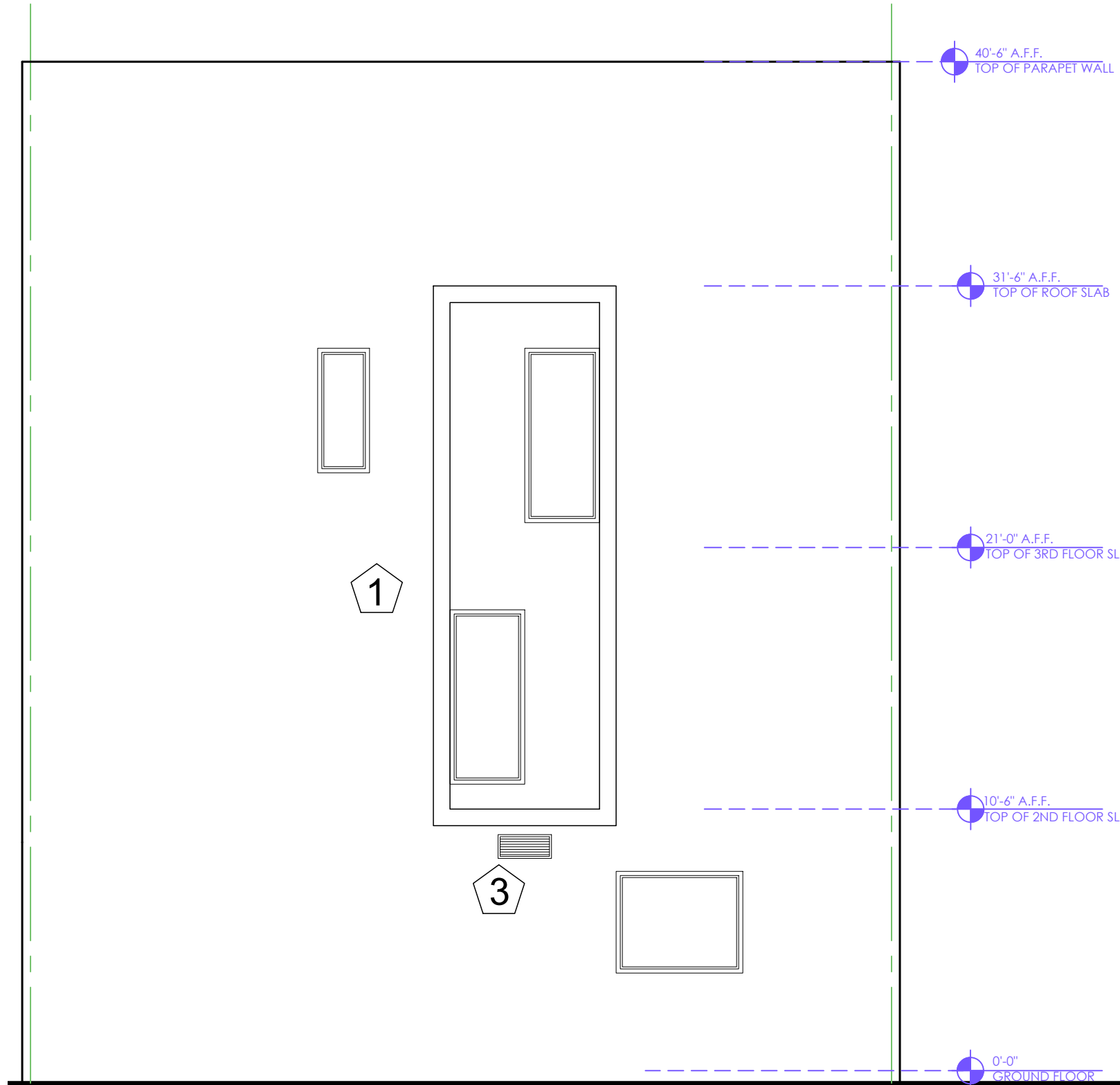
5 TINTED GLASS - STAINLESS STEEL WINDOW FRAME FINISH

ARTIFICIAL HEDGE GREEN WALL



RIGHT/WEST ELEVATION

SCALE: 3/16" = 1'-0"



BUILDING 1 REAR/SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

BUILDING 1 - 6 UNITS

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT, P.A. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT, P.A. CONTRACTORS SHALL HAVE PRECEDENCE OVER ARCHITECTS IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND SPECIFICATIONS. SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS OF THE EXISTING CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision	TAC COMMENTS
1	11-30-22		

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/SUS
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 Ct
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudelarchitect.net

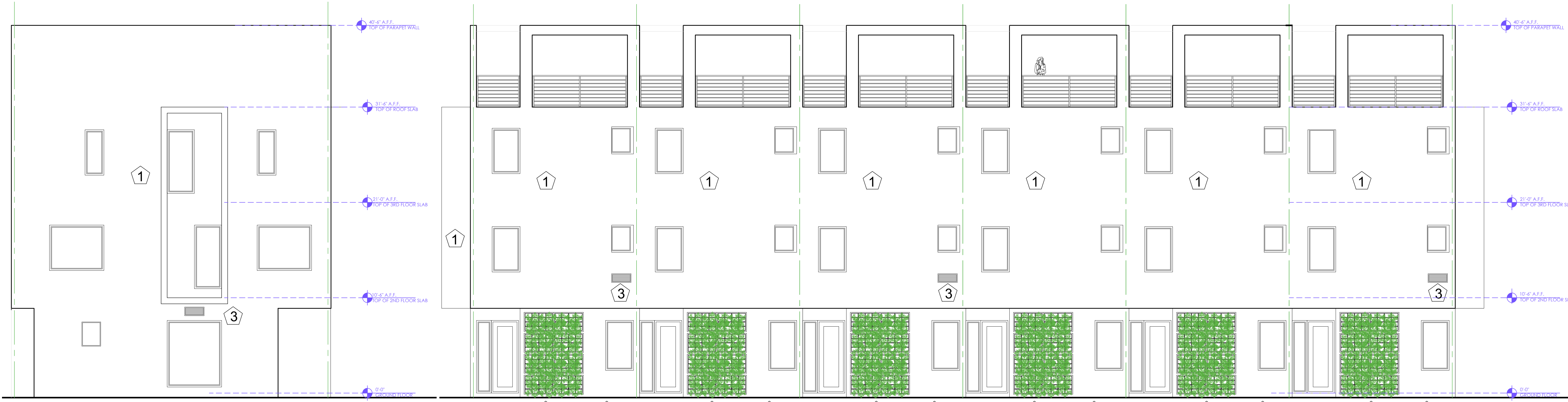
SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

1

Drawing by: W.P.
Checked by: G.A.
Dte: 11-22-2021
Sce: AS SHOWN
JOB NO.: 211101

A-12 OF

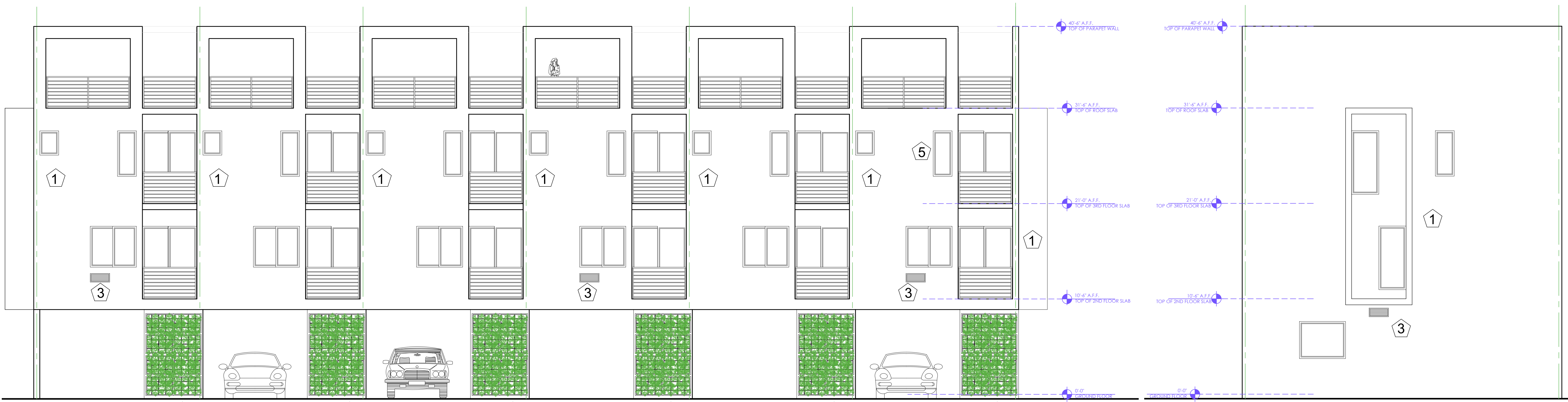


BUILDING 2 FRONT/NORTH ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING 2 RIGHT/WEST ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES & COLOR TABLE

1	WHITE: EXTRA WHITE - 7006 SHERWIN-WILLIAMS 257-C1 R-238 G-239 B-234 ON SMOOTH STUCCO FINISH	2	PREFAB METALLIC GALVANIZED WALL MOUNTED PLANT LATTICE	 ARTIFICIAL HEDGE GREEN WALL		3	WALL MOUNTED LIGHT FIXTURE	4	42" ALUM. RAILING W/ HORIZONTAL PICKETS @ 4" O.C. BOTTOM RAIL @ 2" A.F.F. MAX. (CONTRACTOR TO PROVIDE SHOP DWNGS)	5	TINTED GLASS - STAINLESS STEEL WINDOW FRAME FINISH
---	---	---	---	---	--	---	-------------------------------	---	---	---	---



BUILDING 2 LEFT/EAST ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING 2 REAR/SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AGUDELO ARCHITECT AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	11-30-22	TAC COMMENTS

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 CT
SUITE # 211-B
DORAL, FL 33172

Phone #: (786) 738-8236

e-mail address:
german@agudeloatchitect.net

SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

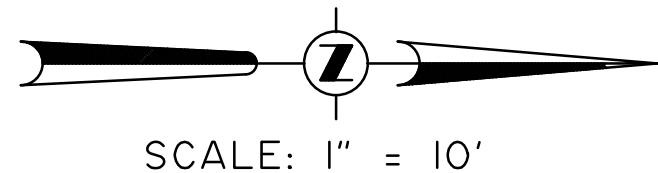
Drawing by : W.P.
Checked by : G.A.
Dte : 11-22-2021
Sce : AS SHOWN
JOB NO. : 211101

A-13 OF

BUILDING 2 - 6 UNITS



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!



LEGEND

- EXISTING PAVEMENT
- - - PROPOSED PAVEMENT
- 910 EXISTING ELEVATION
- 10.9 PROPOSED ELEVATION
- PROPOSED CONCRETE
- PROPOSED PERVIOUS CONCRETE
- ASPHALT TO BE MILLED & RESURFACED
- PROPOSED ASPHALT PAVEMENT
- RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PROP. TYPE "F" CURB & GUTTER
- ① DRAINAGE STRUCTURE NUMBER

NOTE:
PROPOSED TRASH DUMPSTER TO SLOPE TOWARDS GREEN AREAS. PROVIDE WEEP HOLES AS NECESSARY. SEE ARCHITECTURAL PLANS FOR DETAILS.

SCHEDULE NOTES

- NEW 6" TYPE "D" CONCRETE CURB
- NEW WHEEL STOP/BUMPER
- EXISTING PAVEMENT LINE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW 4" PAINTED STRIPING (SINGLE)
- NEW 4" PAINTED WHITE STRIPING
- NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
- NEW PAINTED DIRECTIONAL ARROW
- NEW 24" WIDE PAINTED WHITE STOP BAR (THERMOPLASTIC)
- NEW STOP SIGN (R1-1)
- NEW TYPICAL "HANDICAP" SIGN
- NEW HANDICAP RAMP (1:12 MAXIMUM SLOPE)
- NEW 3" MINIMUM DETECTABLE WARNING AS PER FDOT STANDARDS
- NEW LIGHT POLE
- NEW 6" WHITE STRIPING
- NEW 2-6" YELLOW STRIPING
- NEW 12" WHITE STRIPING 5' O.C.

NOTE:
CONSTRUCT NEW SIDEWALKS WITH 2% MAXIMUM CROSS SLOPE.

CONSTRUCTION NOTE:

ALL EXISTING UTILITY MANHOLES, VALVES, ETC. SHALL BE ADJUSTED TO FINAL FINISH GRADE ELEVATION.

NOTE TO CONTRACTOR

CONTRACTOR TO COORDINATE ALL UTILITIES WITH PLUMBING AND ARCHITECTURAL PLANS.

ELEVATION NOTE:

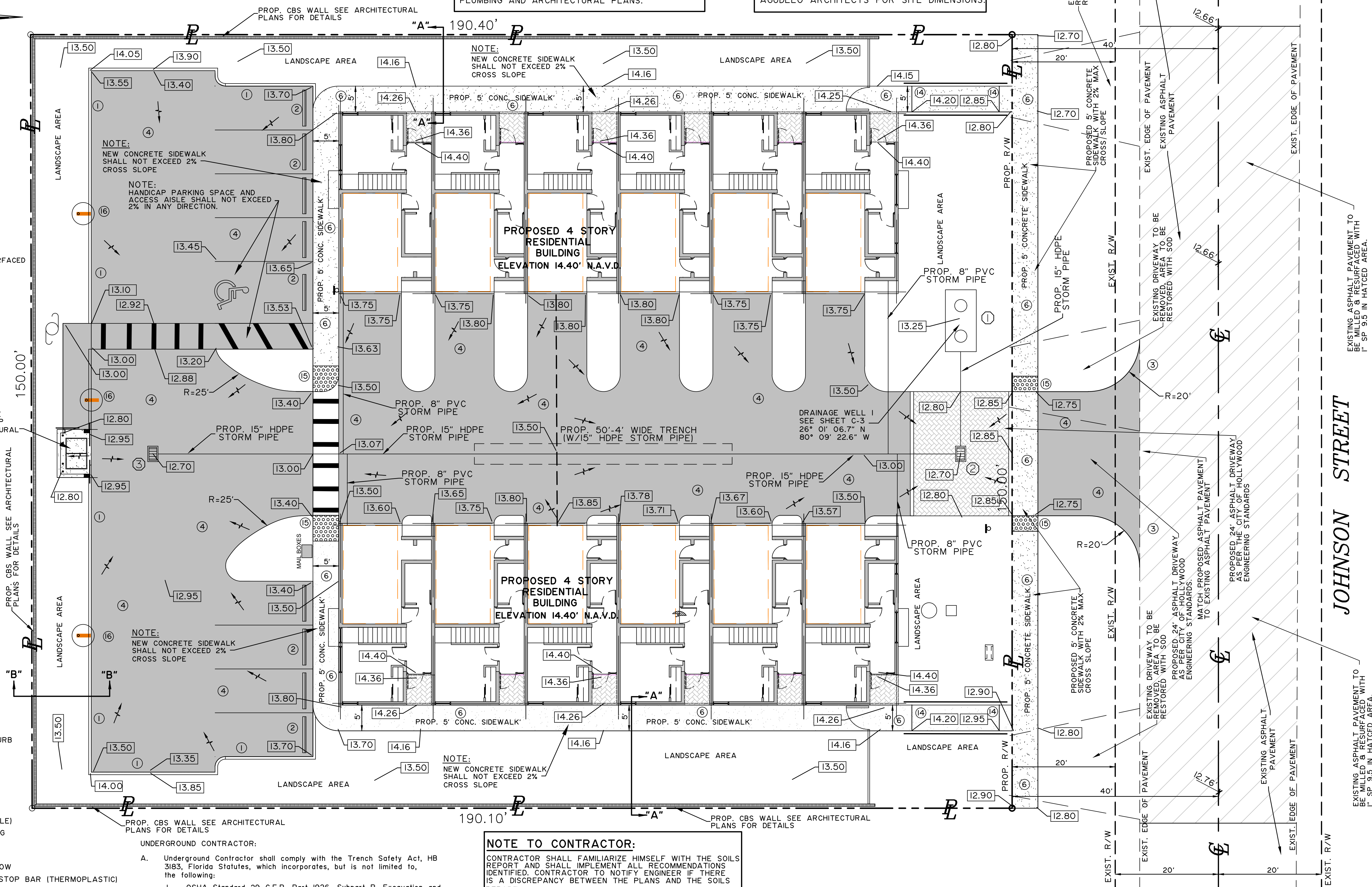
ALL ELEVATIONS REFER TO N.A.V.D. (88) AND AS SHOWN ON THE SURVEY PREPARED BY ESTEBAN ORTIZ PLSM.

NOTE TO CONTRACTOR:

SEE SITE PLAN SHEET PREPARED BY AGUDELO ARCHITECTS FOR SITE DIMENSIONS.

ELEVATION NOTE:

ROOF DRAINAGE WILL BE COLLECTED AND CONNECTED TO THE PROVIDED ON-SITE DRAINAGE SYSTEM.



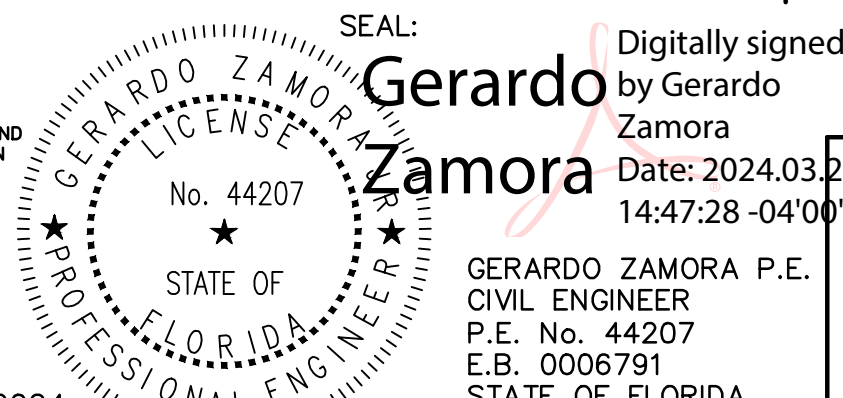
NOTE TO CONTRACTOR:

CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOILS REPORT AND SHALL IMPLEMENT ALL RECOMMENDATIONS IDENTIFIED. CONTRACTOR TO NOTIFY ENGINEER IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE SOILS REPORT.

NOTE

Underground utility information is taken from the best available sources, but should be verified by contractor in the field with appropriate utility agency prior to commencement of any work.
Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.

SEAL:



3/21/2024

Digitally signed by Gerardo Zamora
Date: 2024.03.21 14:47:28 -0400
GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

PROJECT No. 2023-71
DATE: 9/27/2023

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING

11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

Revision

Date

No.

Revision	Date	No.

PROPOSED
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA
33020

OWNER:

C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 CT.
Suite # 211-B
DORAL, FL. 33172

Phone #: (786) 738-8236

e-mail address:

german@agudeloorchitect.net

SEAL:

STATE OF FLORIDA



GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by: W.P.

Checked by: G.A.

Date: 11-22-2021

Scale: AS SHOWN

JOB NO.: 211101

C-1

OF



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

PAVEMENT MARKING & SIGNAGE PLAN

NOTE TO CONTRACTOR:

ALL STRIPING AND SIGNAGE SHALL COMPLY WITH CITY OF HALLANDALE BEACH PUBLIC WORKS AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS AND SPECIFICATIONS.

CONSTRUCTION NOTE:

ALL EXISTING UTILITY MANHOLES, VALVES, ETC. SHALL BE ADJUSTED TO FINAL FINISH GRADE ELEVATION.

NOTE TO CONTRACTOR

CONTRACTOR TO COORDINATE ALL UTILITIES WITH PLUMBING AND ARCHITECTURAL PLANS.

ELEVATION NOTE:

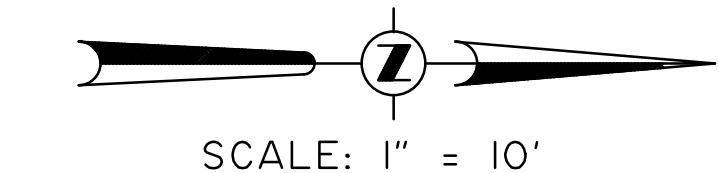
ALL ELEVATIONS REFER TO N.A.V.D. (88) AND AS SHOWN ON THE SURVEY PREPARED BY ESTEBAN ORTIZ PLSM.

NOTE TO CONTRACTOR:

SEE SITE PLAN SHEET PREPARED BY AGUDELO ARCHITECTS FOR SITE DIMENSIONS.

ELEVATION NOTE:

ROOF DRAINAGE WILL BE COLLECTED AND CONNECTED TO THE PROVIDED ON-SITE DRAINAGE SYSTEM.

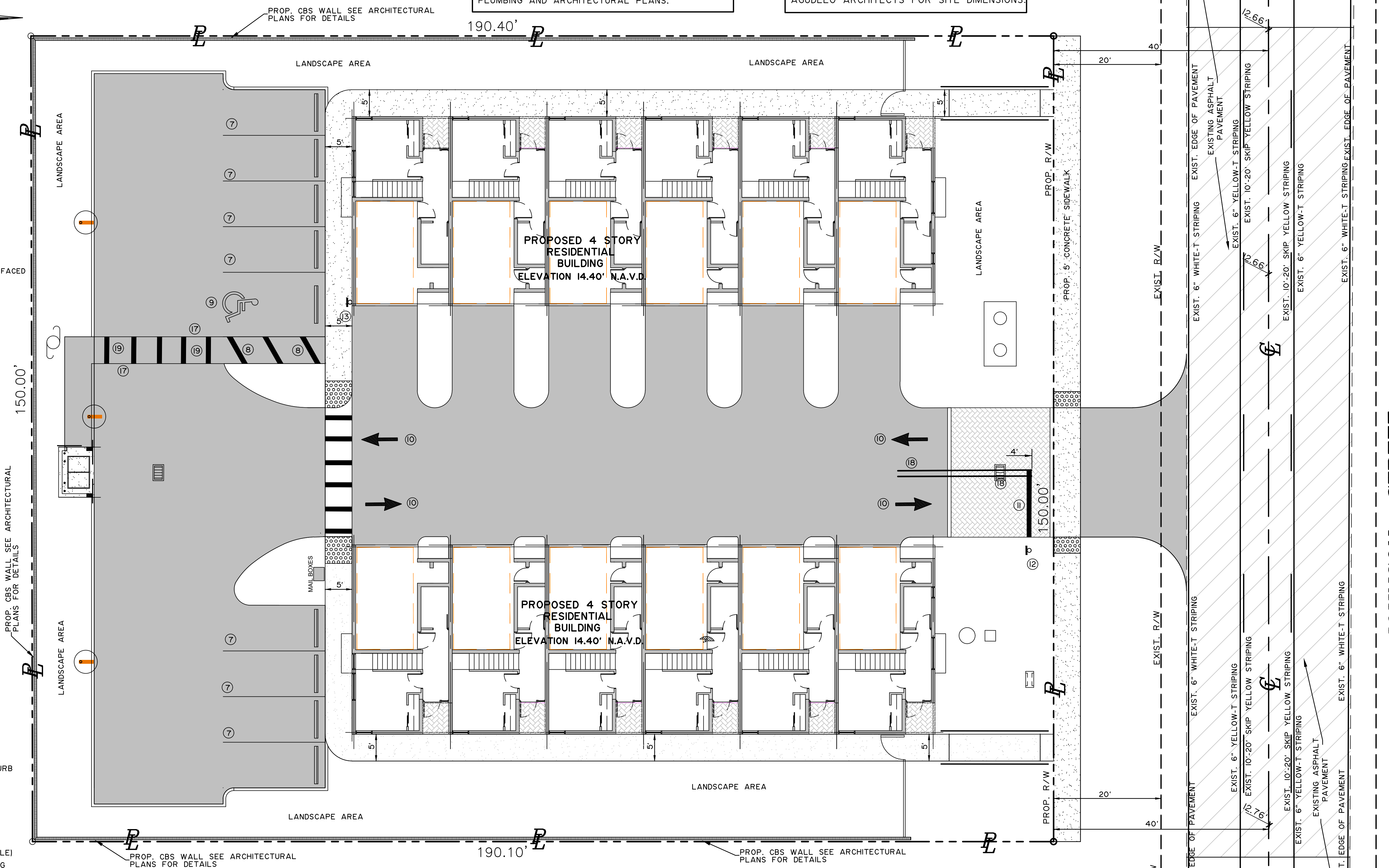


LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED CONCRETE
- PROPOSED PERVIOUS CONCRETE
- ASPHALT TO BE MILLED & RESURFACED
- PROPOSED ASPHALT PAVEMENT
- RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PROP. TYPE "F" CURB & GUTTER
- DRAINAGE STRUCTURE NUMBER

SCHEDULE NOTES

- NEW 6" TYPE "D" CONCRETE CURB
- NEW WHEEL STOP/BUMPER
- EXISTING PAVEMENT LINE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW 4" PAINTED STRIPING (SINGLE)
- NEW 4" PAINTED WHITE STRIPING
- NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
- NEW PAINTED DIRECTIONAL ARROW
- NEW 24" WIDE PAINTED WHITE STOP BAR (THERMOPLASTIC)
- NEW STOP SIGN (R1-1)
- NEW TYPICAL "HANDICAP" SIGN
- NEW HANDICAP RAMP
- NEW 3' MINIMUM DETECTABLE WARNING
- NEW LIGHT POLE
- NEW 6" WHITE STRIPING
- NEW 2-6" YELLOW STRIPING
- NEW 12" WHITE STRIPING 5' O.C.

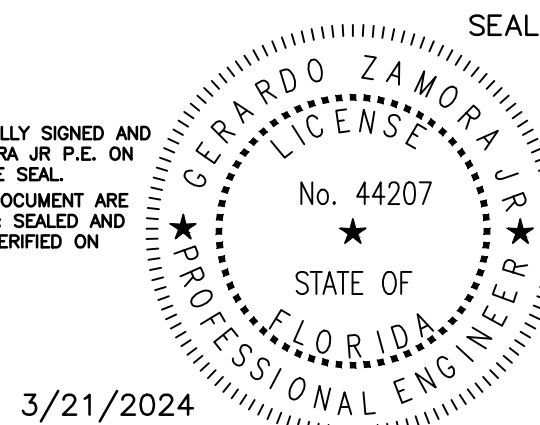


NOTE

Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work.

Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GERARDO ZAMORA JR. P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SEAL:

Digitally signed by Gerardo Zamora
Date: 2024.03.21 14:46:59 -04'00'

GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

PROJECT No. 2023-71
DATE: 9/27/2023

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

Revision

Date

No.

PROPOSED
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA
33020

OWNER:

C21 CAPITAL
BROKERS/US
HOUSING FUNDS

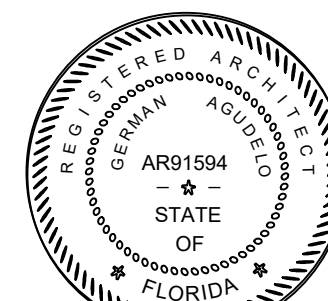
AGUDELO
ARCHITECT P.A.
A.A. 26002013

Address:
1500 N.W. 89 CT.
Suite # 211-B
DORAL, FL. 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudeloorchitect.net

SEAL:
STATE OF FLORIDA



GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101

C-2

OF

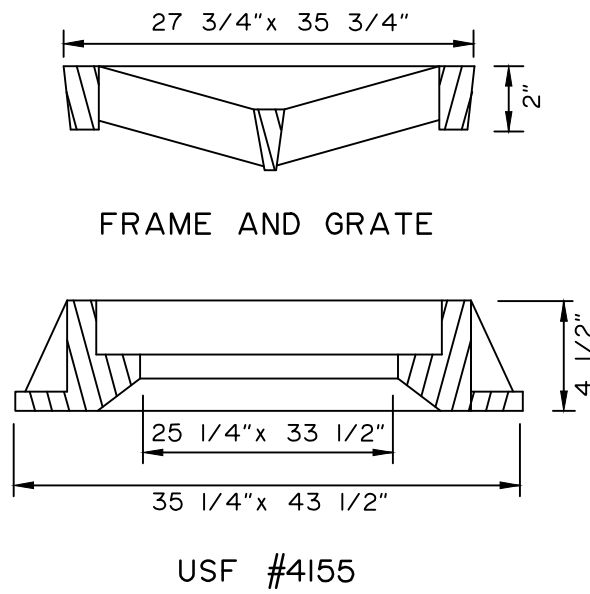
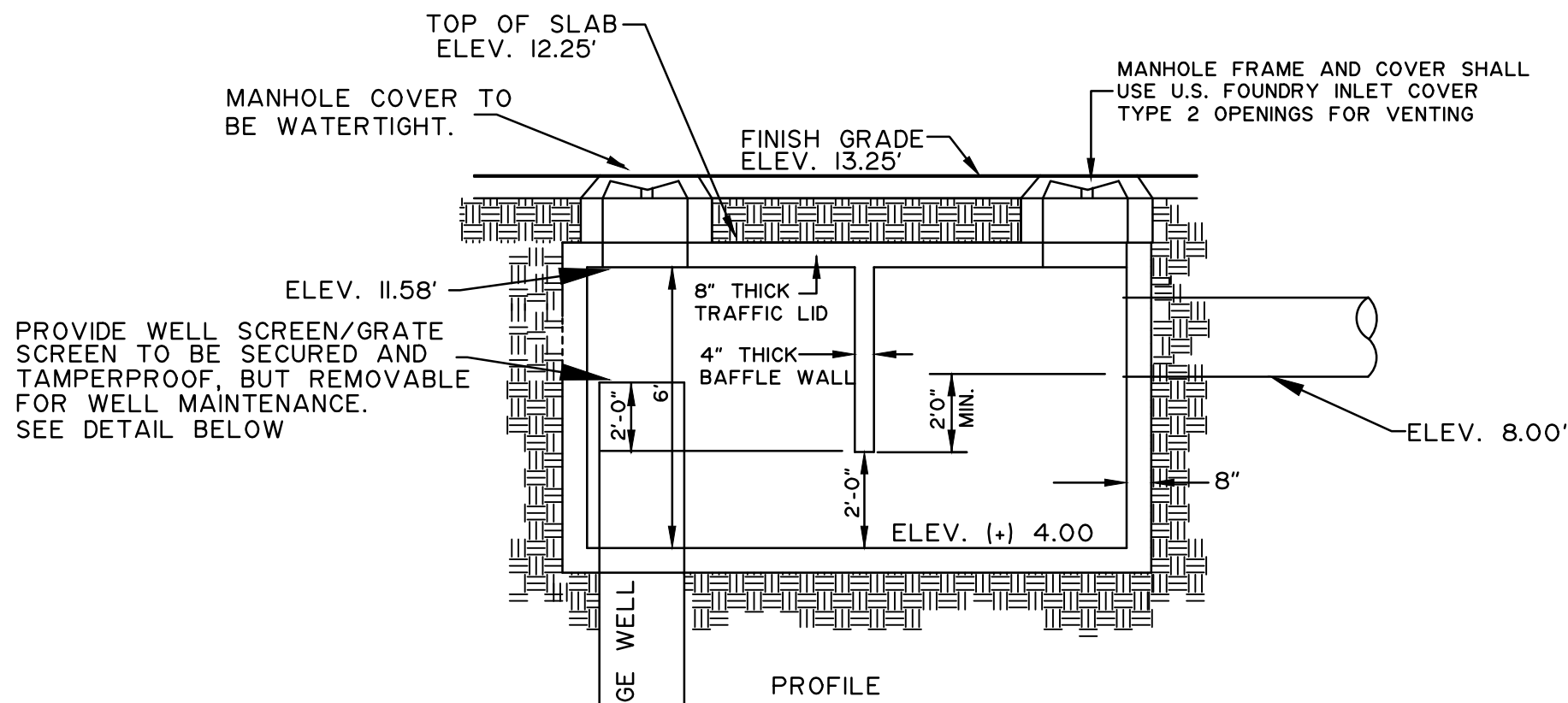
PAVING & DRAINAGE DETAILS PLAN

GENERAL NOTES:

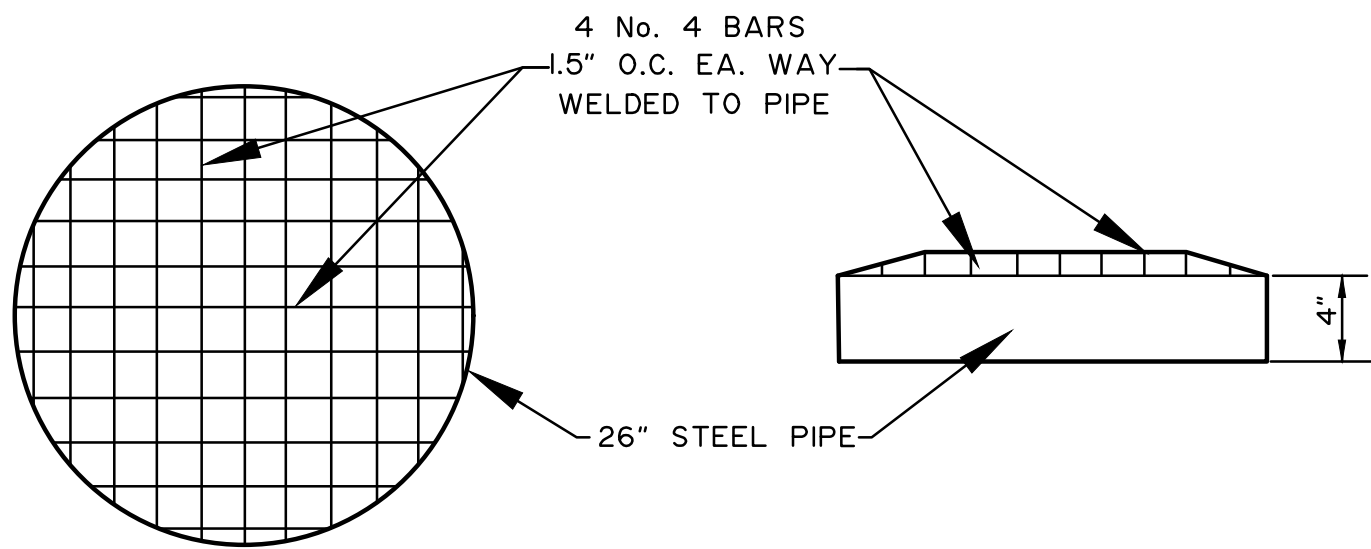
1. All materials and labor under the project shall conform to City of Hollywood Public Works Department, Florida Department of Transportation (FDOT) and Broward County DPEP Standards and Specifications.
2. For site dimensions and geometry see Boundary & Site Plan.
3. Elevations shown are based on N.A.V. Datum and as shown on Survey.
4. Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work. Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.
5. Contractor shall adjust any utility lids and/or covers in project area to the finished grade.
6. Any apparent discrepancies in the plans and field condition shall be brought to the attention of the Engineer before proceeding with the
7. Contractor shall notify the Owner's representative and Engineer if soil condition encountered is unsuitable for construction. Furthermore all existing organic materials shall be removed from beneath areas of new asphalt or concrete pavement and from proposed building locations. The full depth of all existing organic and deleterious material within the right of way and utility/drainage easements shall be removed. No material of FDOT Class A-5, A-7 or A-8 shall be allowed.
8. The Contractor shall restore all areas disturbed by this construction to a condition equal to, or better than, that now existing.
9. Typical Pavement Section: (If needed)
1.5" Type S-III Asphaltic Concrete surface course
8" Limerock base (Minimum LBR 100), compact to 98% of maximum density as determined by AASHTO T-180 and 6" concrete slab on well compacted subgrade compact to 98% of maximum density as determined by AASHTO T-180.
10. Fill shall be placed in 12" layers loose thickness, measured and compacted to 95% of maximum density as determined by AASHTO T-180. Fill shall be locally acceptable and suitable for fill purposes. The top 12" of fill or cut (Minimum LBR 40) under pavement base shall be compacted to 98% of maximum density as determined by AASHTO T-180.
11. The property is located in flood zone X, Elevation - - - feet, as per Community Map No. 125113 panel number 0568 H dated August 18, 2014.
12. Water level elevation as determined by Broward County DPEP future wet season table is at Elevation 1.50 Feet NAVD (88).
13. Background information obtained from Boundary Survey prepared by Esteban Ortiz Professional Land Surveyors Inc. Dated August 19, 2022.
14. All signage and markings shall conform to the requirements of Broward County Traffic Engineering, Florida.
15. This site parcel number is 5142-1601-5100 and 5142-1601-5101.
16. All repairs to the existing pavement shall receive saw-cut edges prior to relaying asphalt. Utility piping or wiring less than four (4) inches in diameter requires a Schedule 40 PVC casing pipe with sand backfills under paved areas only.
17. Prime coat shall be applied at a rate of 0.25 gallons per square yard. Prime and tack coat for base shall conform to the requirements and specifications of sections 300-1 through 300-7 of FDOT standards specifications.
18. Base and subgrade density tests shall be conducted for a maximum 7000 square feet of finished pavement.
19. Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials. Limerock bearing ratios, sieve analysis and densities required by contract documents shall be submitted to the City.
20. Minimum longitudinal slope of pavement shall be 0.3%.
21. Minimum transverse slope of the pavement shall be one percent for parking areas.

STRUCTURE TABLE						
NO.	TYPE	RIM ELEV.	FLOOR ELEV.	INVERT ELEV.	BAFFLES	
					No.	LOCATION
1	DRAINAGE WELL	13.25'	SEE DETAIL ABOVE	-	-	-
2	60" INLET	12.70'	(+) 4.50'	8.00'	2	S & W
3	42" INLET	12.70'	(+) 4.50'	8.00'	1	NORTH

* DENOTES WEST BAFFLE TO BE INVERTED WITH TOP OF BAFFLE ELEVATION 10.00'



USF #4155
FRAME AND GRATE



WELL SCREEN DETAIL
SCALE: 1" = 1'-0"

NOTE:
ALL ELEVATIONS SHOWN ARE BASED ON N.A.V.D. (88) AS SHOWN ON SURVEY. CONTRACTOR TO VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.

DRAINAGE WELL DETAIL STRUCTURE No. 1
SCALE: N.T.S.

- NOTES
- EACH WELL STRUCTURE RIM ELEV. 13.25' DISCHARGE CAPACITY 300 GPM (1.34 CFS) PER FEET OF HEAD
 - DRAINAGE WELLS SHALL DISCHARGE TO THAT PORTION OF THE AQUIFER CONTAINING A MINIMUM OF 10,000 PPM TDS.
 - CONTRACTOR TO OBTAIN ALL PERMITS FROM DADE-COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT (DERM) AND STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR INSTALLATION OF THE DRAINAGE WELLS.

DRAINAGE WELL REQUIREMENTS
DESIGN STORM: 5 YEAR 24 - HOUR STORM FREQUENCY
INTENSITY: 6.2 INCHES / HOUR
C: RUNOFF COEFFICIENT: IMPERVIOUS = 0.76

TOTAL DRAINAGE AREA:
TOTAL AREA = 28,538 SQ. FT = 0.655 Acres
TOTAL Q: RUNOFF FLOW: C I A = 3.005 CFS = 1,349 GPM

90 SECOND RETENTION = 3.005 CFS (90 SEC) = 271 CU. FT.
RETENTION PROVIDED = 501 CU. FT.

EACH DRAINAGE WELL SHALL DISCHARGE TO THAT PORTION OF THE AQUIFER CONTAINING A MINIMUM OF 10,000 PPM TDS
ADDITIONAL WELLS TO OBTAIN REQUIRED RUNOFF FLOW AT EACH WELL LOCATION MAY BE REQUIRED.

TOTAL AVAILABLE HEAD:
LOWEST RIM ELEVATION 12.70 FEET
FUTURE WET SEASON W.T. 1.50 FEET
WELL HEAD LOSS 2.00 FEET
AVAILABLE HEAD AT WELL 9.20 FEET

ASSUMING 300 GAL. PER FT. HEAD DISCHARGE
DISCHARGE AVAILABLE = 300 GPM/FT x 9.20 FT = 2,760 GPM

THE PROPOSED WELL WILL DISCHARGE THE TOTAL RUNOFF FLOW;
Q FOR EACH WELL = 2,760 GPM OR
TOTAL WELL FLOW = 2,760 GPM
EXCEEDS THE 1,349 GPM REQUIRED

SEAL: Digitally signed by Gerardo Zamora
Gerardo Zamora
Date: 2024.03.21 14:46:00 -04'00'
STATE OF FLORIDA
PROFESSIONAL ENGINEER

GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

PROJECT No. 2023-71
DATE: 9/27/2023

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR NOT INDICATED ARE THE PROPERTY OF AGUDELO ARCHITECT. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT IS PROHIBITED. THE CONTRACTOR SHALL HAVE PRECEDENCE OVER FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT. NO PART OF THESE IDEAS, DESIGNS, ARRANGEMENTS WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION BY THIS PROJECT. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT IS PROHIBITED. THESE DRAWINGS MUST BE SUBMITTED TO THE PERMISSION OF AGUDELO ARCHITECT.

Revision		Date	No.						

PROPOSED
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA
33020

OWNER:

C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO ARCHITECT P.A.
A.A.26002013
Address:
1500 N.W. 89 CT.
Suite #: 211-B
DORAL, FL. 33172
Phone #:
(786) 738-8236
e-mail address:
german@agudeloaarchitect.net
SEAL:
STATE OF FLORIDA
GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO. : 211101
C-4 OF

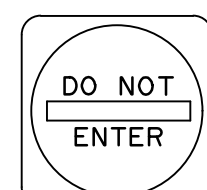
PAVING & DRAINAGE DETAILS PLAN



R6-I(L)
36"X12"



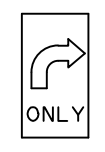
R6-I(R)
36"X12"



R5-I
30"X30"
(HIGH INTENSITY)



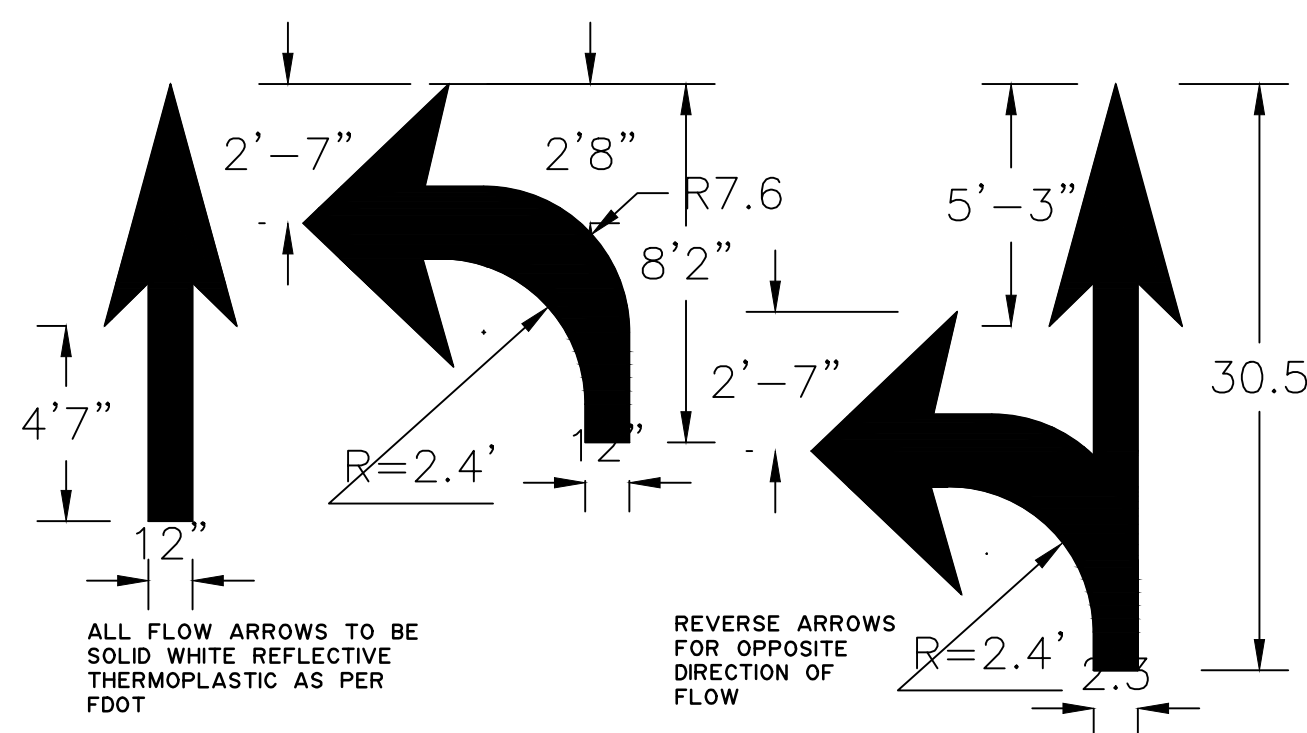
R1-I
30"X30"
(HIGH INTENSITY)



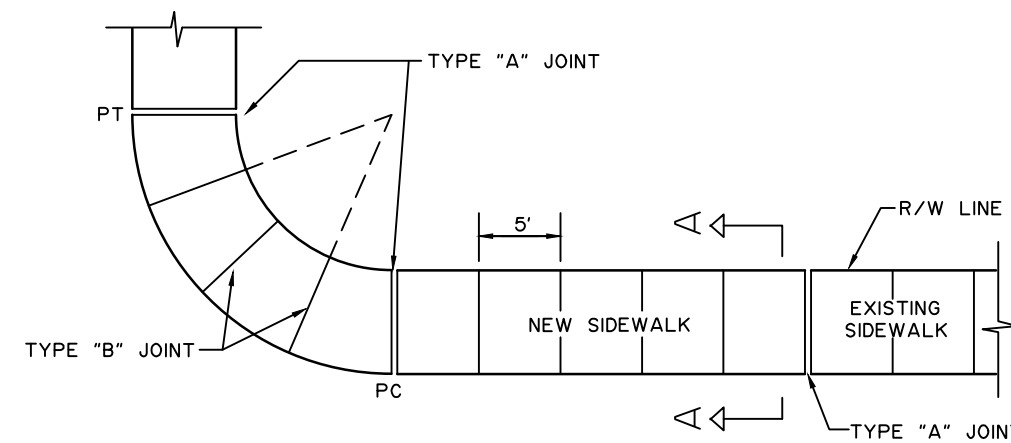
R3-5(R)
ONLY

2 TRAFFIC SIGNS

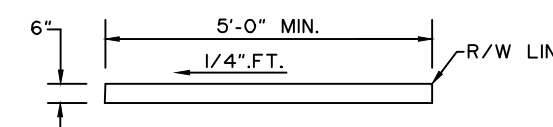
SIGNS ARE TO BE MOUNTED ON FLANGED POST



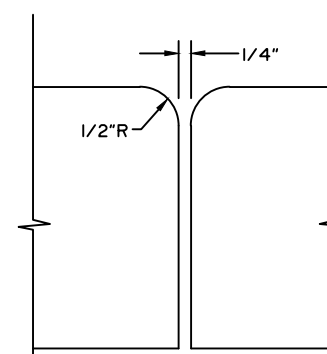
10 DIRECTIONAL ARROWS



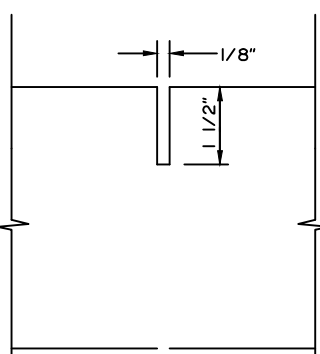
PLAN



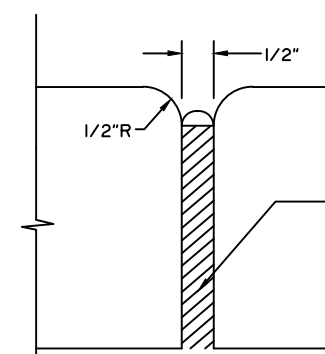
SECTION A-A



TYPE "A"
(OPEN TYPE JOINTS)



TYPE "B"
(SAWED JOINTS)

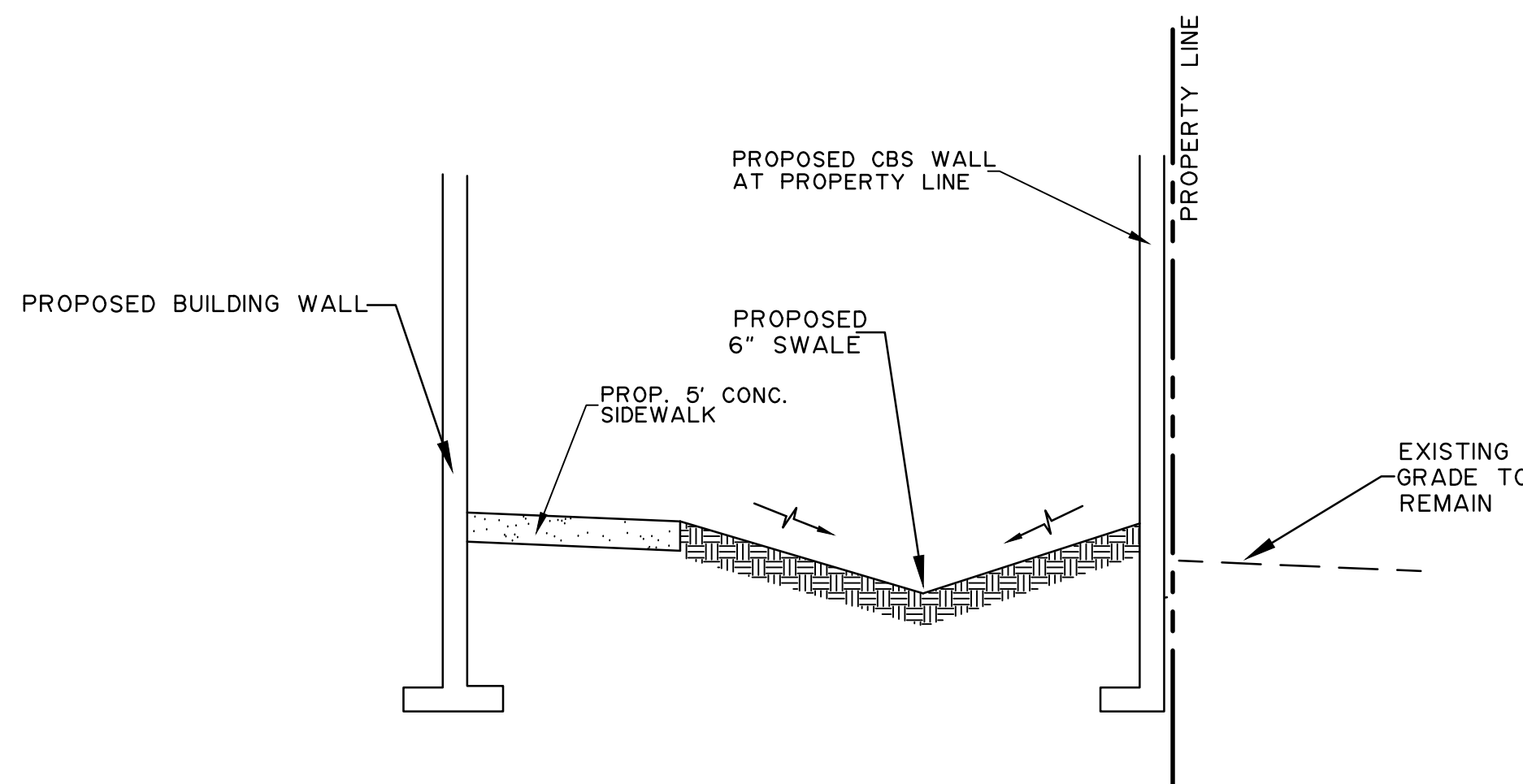


TYPE "C"
(EXPANSION JOINTS)

SIDEWALK JOINTS

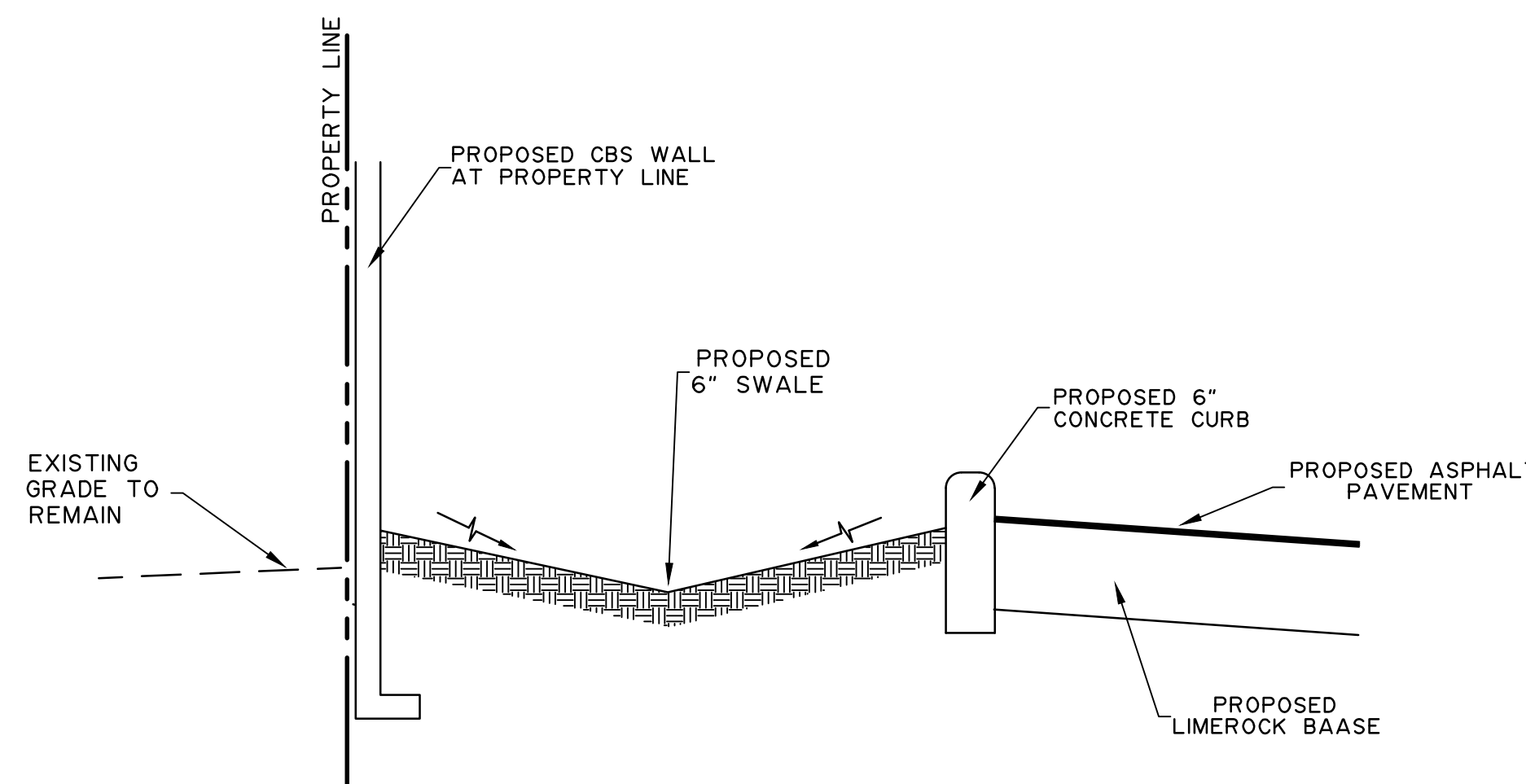
SIDEWALK TO BE 6 INCH MINIMUM THICKNESS

SIDEWALK DETAIL



SECTION "A-A"

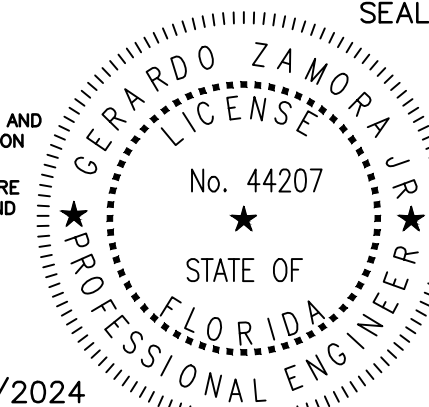
SCALE: N.T.S.



SECTION "B-B"

SCALE: N.T.S.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GERARDO ZAMORA JR. P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SEAL:

Gerardo Zamora

Digitally signed by Gerardo Zamora
Date: 2024.03.21 14:44:54 -04'00'

GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

PROJECT No. 2023-71
DATE: 9/27/2023

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING

11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REFERENCED HEREIN ARE THE PROPERTY OF AGUDELO ARCHITECT. ANY REUSE OR MODIFICATION OF ANY PART OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT IS PROHIBITED. THE DIMENSIONS AND CONDITIONS FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SCALED DIMENSIONS FOR THE JOB SHALL BE USED BY THE ARCHITECT. ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT IS PROHIBITED. ANY REUSE OR MODIFICATION OF ANY PART OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT IS PROHIBITED. ANY REUSE OR MODIFICATION OF ANY PART OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT IS PROHIBITED.

No.	Date	Revision

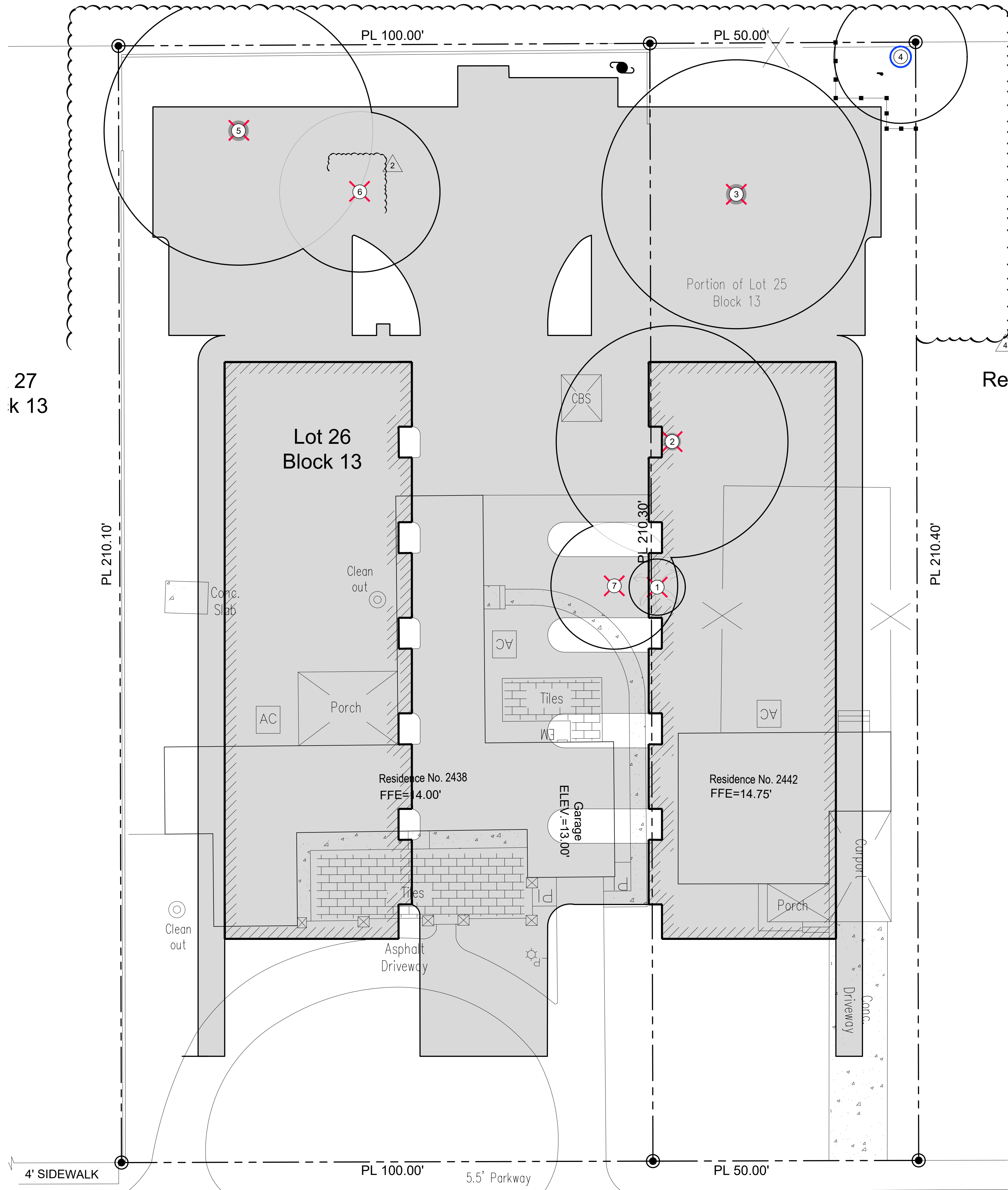
PROPOSED
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013
Address:
1500 N.W. 89 CT.
Suite #: 211-B
DORAL, FL. 33172
Phone #:
(786) 738-8236
e-mail address:
german@agudelarchitect.net
SEAL:
STATE OF FLORIDA
GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

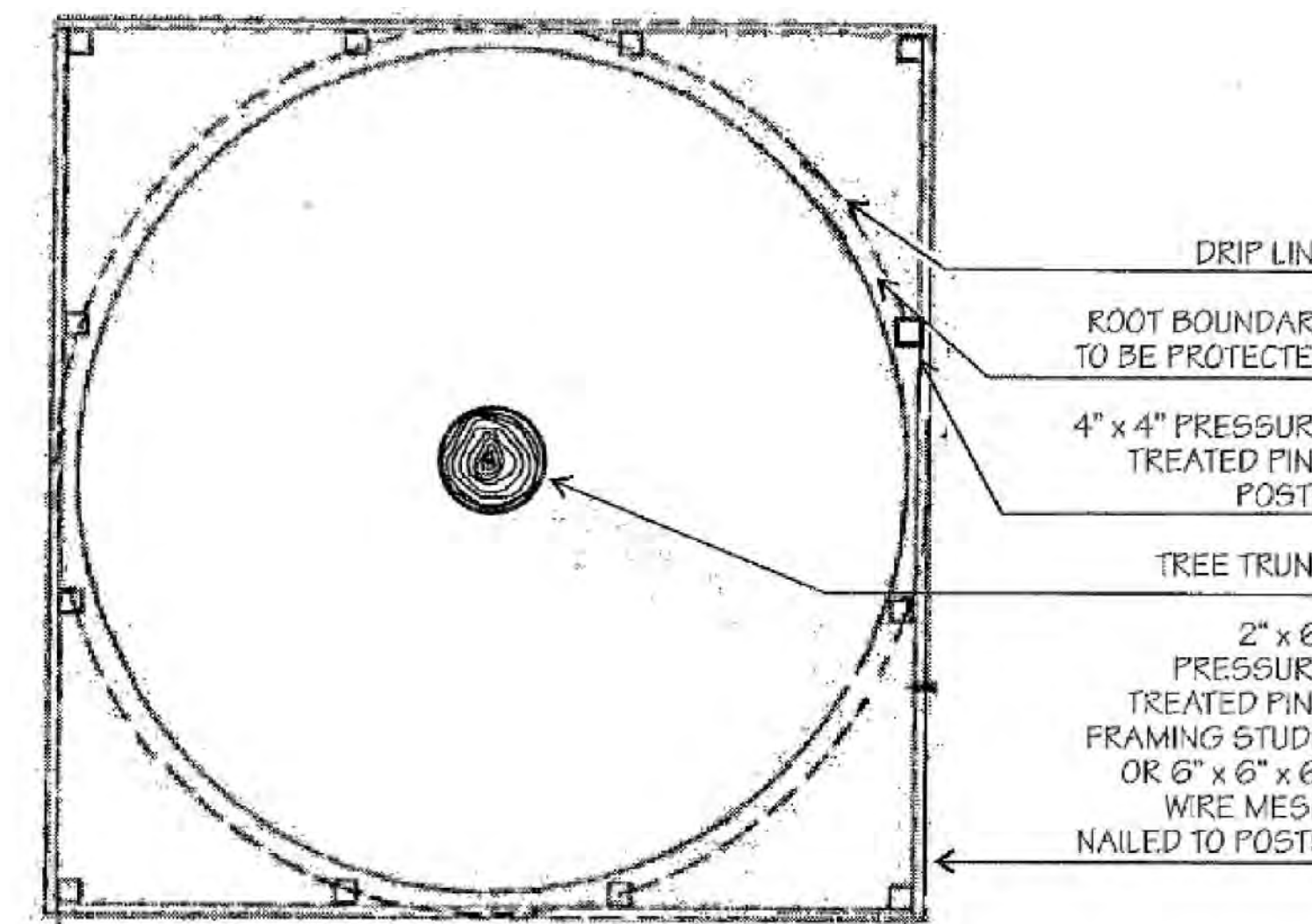
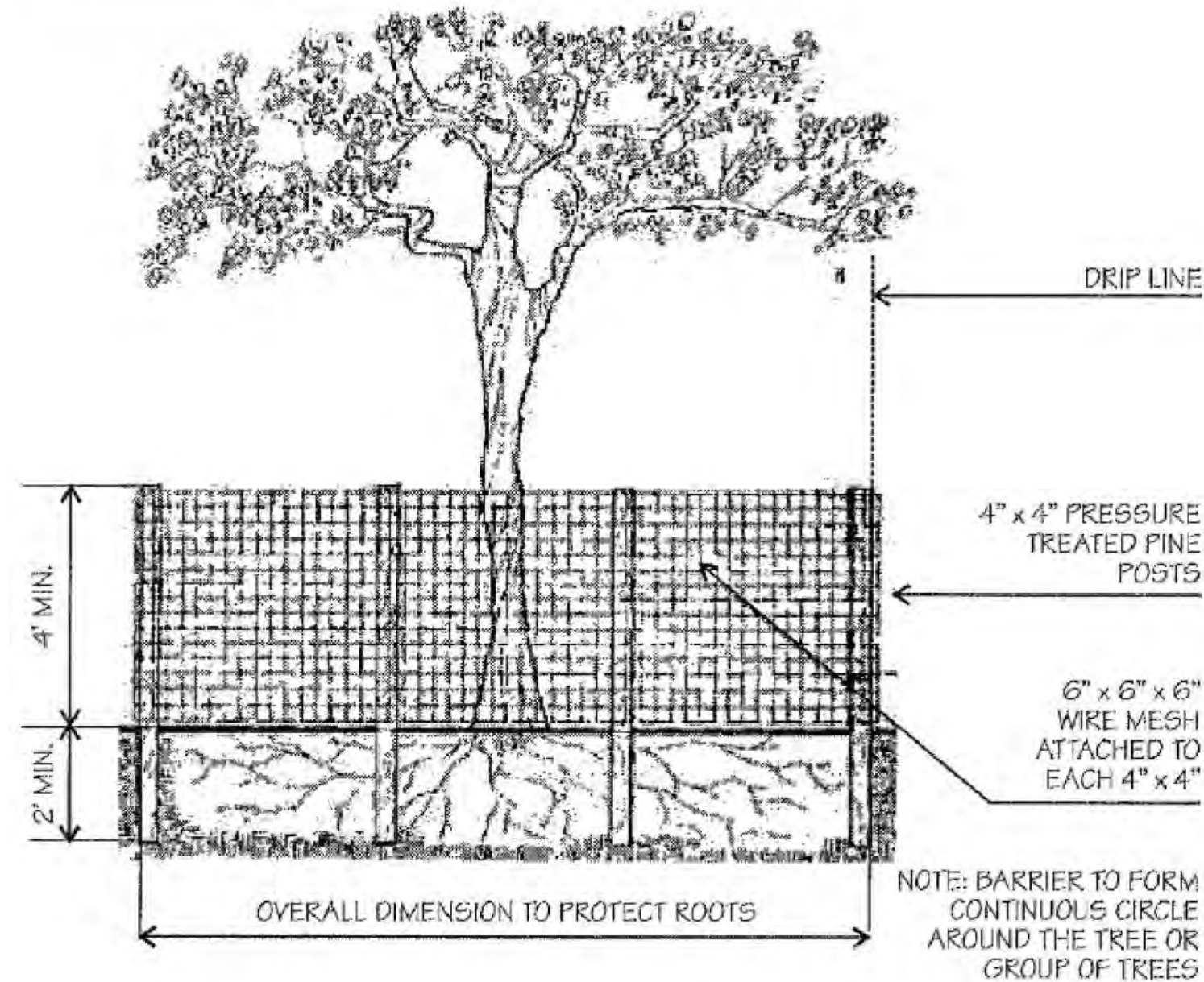
Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO.: 211101
C-6 OF



27
k 13

Johnson Street

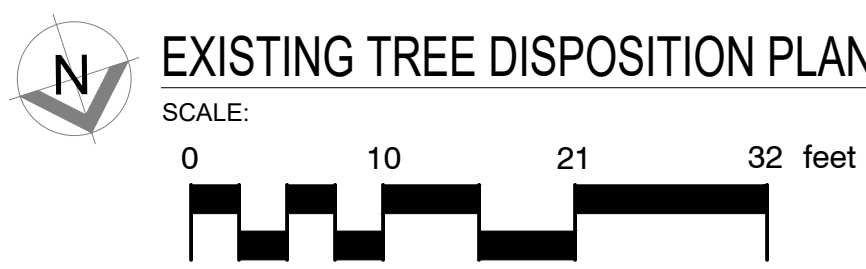
IT IS CRITICAL TO EXISTING TREE SURVIVAL TO PROVIDE PROTECTION DURING CONSTRUCTION. THIS DETAIL CAN BE USED AROUND ONE OR MORE TREES AND WILL PROVIDE PROTECTION FROM CONSTRUCTION EQUIPMENT.



EXISTING TREE PROTECTION DETAIL

EXISTING TREE DISPOSITION LIST								
No.	Common Name	Scientific Name	Diameter DBH (in)	DBH (in) for Mitigation	Height (ft)	Spread (ft)	Disposition	Comments
1	Coconut Palm	<i>Cocos nucifera</i>	12	1 Tree / Palm	20	15	Remove	
2	Gumbo limbo	<i>Bursera simaruba</i>	72	72	35	40	Remove	
3	Mango	<i>Mangifera indica</i>	42	42	35	50	Remove	
4	Live oak	<i>Quercus virginiana</i>	20		35	25	Remain	
5	Ficus	<i>Ficus benjamina</i>	70	70	40	50	Remove	
6	Ficus	<i>Ficus benjamina</i>	40	40	30	30	Remove	
7	Gumbo limbo	<i>Bursera simaruba</i>	18	18	25	20	Remove	
Total mitigation Required =			242' + 1 Palms / Trees					
Total mitigation Provided =			84' (6 trees of 4" DBH - 16" OA Bridal tree) + (5 Tree of 4" DBH - 16" OA <i>Clusia rosea</i>) + (8 trees of 4" DBH - 16" OA <i>Lagerstroemia</i> "Natchez") + (2 trees of 4" DBH - 16" OA Black Ironwood) + 13 trees (10 Royal palms + 29 Alexander palms)					
66 trees (2" DBH - 12" OA) can not be reasonably replaced on the property.								
* Tree Trust Fund contribution of \$23,100 (66 trees x \$350) will be required for the mitigation deficit *								

TREE DISPOSITION LEGEND	
	Existing tree or palm to be transplanted
	Existing tree or palm to be removed
	Existing tree or palm to remain in their existing location and be protected during construction, no construction or excavation shall be permitted within the dripline of the trees.
	LIMITS OF EXISTING TREE & PALM PROTECTION ZONE
	PROPOSED BUILDING & PAVED AREAS



EXISTING TREE DISPOSITION PLAN

SCALE:

Sunshine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

DERICK L'ANGEL (LA0567045)
ALL LANDSCAPE DATA INC.
www.alllandscapedata.net & .com
Ph: 305.303.7059

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED HEREON ARE THE SOLE PROPERTY OF AGUDELO ARCHITECT P.A. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THIS PROJECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT P.A. ANY SUCH VIOLATION SHALL BE SUBJECT TO LEGAL ACTION AND WILL BE AT THE USER'S SOLE RISK. THE USER AGREES TO HOLD AGUDELO ARCHITECT P.A. HARMLESS FROM ALL DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY AGUDELO ARCHITECT P.A. DUE TO ANY SUCH VIOLATION. THE USER AGREES TO HOLD AGUDELO ARCHITECT P.A. HARMLESS FROM ALL DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY AGUDELO ARCHITECT P.A. DUE TO ANY SUCH VIOLATION.

No.	Date	Revision
1	03-22-23	Background coordination
2	04-21-23	City Comments
3	06-14-23	Background coordination
4	08-16-23	Background coordination

PROPOSED:
MULTIFAMILY DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A. 26002013

Address:
1500 N.W. 89 Ct.
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

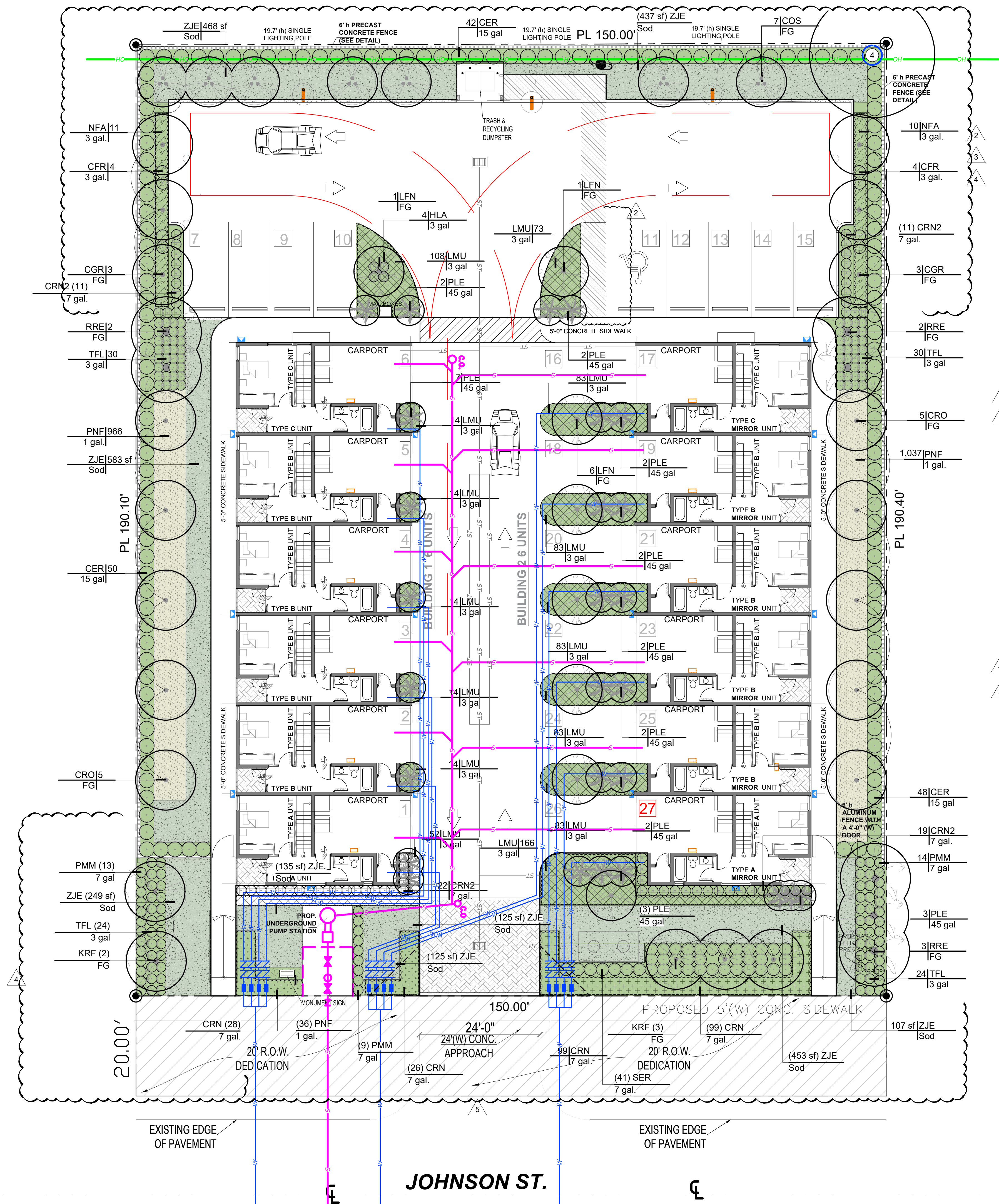
e-mail address:
german@agueloarchitect.net

SEAL:
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by: W.P.
Checked by: G.A.
Date: 11-22-2021
Scale: AS SHOWN
JOB NO.: 211101

L-100 OF



CITY OF HOLLYWOOD ZONING: MULTI-FAMILY (RM)
GENERAL LANDSCAPING REQUIREMENTS

Gross Lot area: 34,537.50 S.F. Gross Lot area: 31,537.50 S.F. Net Lot area after dedication at front: 28,537.50 S.F.

PERIMETER LANDSCAPE (STREET TREES):

One street tree (min. 12' ht x 2" DBH) per 50 L.F. of street frontage of property
150.00 (Johnson St) = 150.00 L.F. / 50 L.F. = 3
REQ.: 3 Trees
PROV.: 3 Trees + 2 (mitigation trees)

OPEN SPACE:

A minimum of 40% of the total site area must be landscape open space.
28,537.5 S.F. (Net Lot Area) * 40% = 11,415 S.F.
REQ.: 11,415 S.F.
PROV.: 8,973 S.F.

OPEN SPACE (LOT TREES):

A minimum of one tree per 1,000 S.F. of pervious area of property (12,415 S.F.)
12,415 S.F. (Pervious Area) / 1,000 S.F. = 12.4
REQ.: 13 Trees
PROV.: 13 Trees = (1 Existing + 12 Proposed) + 19 (mitigation trees)

TOTAL TREES REQUIRED: 16
TOTAL TREES PROVIDED: 16 + 21 (trees for mitigation) = 37 (1 existing tree + 36 proposed)

NATIVE TREES:

A minimum of 60% of required trees shall be native species.
REQ.: 10 Trees
PROV.: 17 Trees

SHRUBS:

10 for each required tree
REQ.: 160 Shrubs
PROV.: 400 Shrubs

NATIVE SHRUBS:

A minimum of 50% of required shrubs shall be native species.
REQ.: 88 Shrubs
PROV.: 356 Shrubs

100% irrigation coverage will be provided by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the Regulations of the South Florida Water Management District or apply xeriscape principles. (See the City of Hollywood Landscape Manual).

As per City of Hollywood, Green Building Practices, at least 80% of plants, trees and grasses per the South Florida Water Management District recommendations.

EXISTING TREE TO REMAIN

No.	Common Name	Scientific Name
4	Live oak	Quercus virginiana



LANDSCAPE PLAN GROUND FLOOR

SCALE:

0 10 21 32 feet

3/32" = 1'-0"

PLANT SCHEDULE LANDSCAPE

TREES	BOTANICAL NAME	COMMON NAME
CGR	Caesalpinia granadillo	Bridal Veil Tree
CRO	Clusia rosea	Autograph Tree
COS	Cordia sebestena	Orange Geiger Tree
LFN	Lagerstroemia fauriei 'Natchez'	White Crape Myrtle
PALM TREES	BOTANICAL NAME	COMMON NAME
RRE	Roystonea regia	Royal Palm
PALMS	BOTANICAL NAME	COMMON NAME
PLE	Ptychosperma elegans	Alexander Palm
STREET TREES	BOTANICAL NAME	COMMON NAME
KRF	Krugiodendron ferreum	Black Ironwood
SHRUBS	BOTANICAL NAME	COMMON NAME
CRN2	Clusia rosea 'Nana'	Dwarf Pitch Apple
CER	Conocarpus erectus	Buttonwood
CFR	Cordyline fruticosa 'Dr. Frank Brown'	Dr. Ti Brown Plant
HLA	Hymenocallis latifolia	Spider Lily
PMM	Podocarpus macrophyllus 'Maki'	Shrubby Yew
SER	Serenia repens 'Cinerea'	Saw Palmetto
TFL	Tripsacum floridanum	Florida Gamagrass
SHRUB AREAS	BOTANICAL NAME	COMMON NAME
CRN	Clusia rosea 'Nana'	Dwarf Pitch Apple
LMU	Liriope muscari	Lily Turf
NFA	Nephrolepis falcata	Macho Fern
GROUND COVERS	BOTANICAL NAME	COMMON NAME
PNF	Phylla nodiflora	Frogfruit
ZJE	Zoysia japonica 'Empire'	Korean Grass

ALL DESIGN, PLANTING, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, AGUDELO ARCHITECT P.A. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT P.A. IS PROHIBITED. FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL HAVE PRECEDENCE OVER ANY DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS. THESE DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision
1	03-22-23	Background coordination
2	04-21-23	City Comments
3	06-14-23	Background coordination
4	08-16-23	Background coordination
	10-30-23	Background coordination

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:

1500 N.W. 81
SUITE # 211-B
DORAL, FL 33172

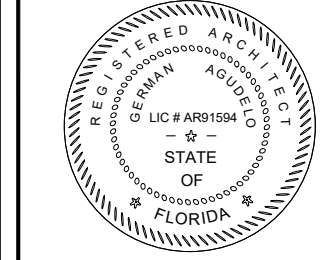
Phone #:

(786) 738-8236

e-mail address:

german@agudelochitect.net

SEAL:
STATE OF FLORIDA



GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by: W.P.
Checked by: G.A.
Date: 11-22-2021
Scale: AS SHOWN
JOB NO.: 211101

L-101 OF



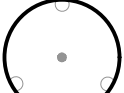













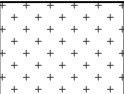
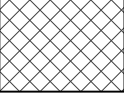
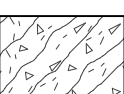


ALL LANDSCAPE DATA INC.
www.alllandscapedata.net & .com
Ph: 305.303.7059

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!



PLANT SCHEDULE LANDSCAPE									
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
	CGR	6	Caesalpinia granadillo	Bridal Veil Tree	FG	4"	16' OA	6'-8'	Miami Beach Replacement Tree Category 2
	CRO	10	Clusia rosea	Autograph Tree	FG	4"	16' OA	6'-8'	Florida Native - 4' CT - City of Oakland Park Recommended
	COS	7	Cordia sebestena	Orange Geiger Tree	FG	3"	12' OA	3'-4'	Florida Native - 4' CT - City of Oakland Park Recommended
	LFN	8	Lagerstroemia fauriei 'Natchez'	White Crape Myrtle	FG	4"	16' OA	6'-8'	Drought Tolerant - Standard - 4' CT - City of Oakland Park Recommended
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
	RRE	7	Roystonea regia	Royal Palm	FG	18"	18' OA	16'	
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
	PLE	27	Ptychosperma elegans	Alexander Palm	45 gal	3"	14'-16' OA	8'	Miami-Dade Landscape Manual - Single- 8'CT min.
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
	KRF	5	Krugiodendron ferreum	Black Ironwood	FG	4"	16' OA	10'	Florida Native - Miami-Dade Landscape Manual - Drought Tolerant - 5' CT
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH		
	CRN2	63	Clusia rosea 'Nana'	Dwarf Pitch Apple	7 gal.	1.5'	1.5'		Florida Native- Drought tolerant
	CER	140	Conocarpus erectus	Buttonwood	15 gal	7'	4'		Florida Native
	CFR	8	Cordyline fruticosa 'Dr. Frank Brown'	Dr.Ti Brown Plant	3 gal.	3'-4' OA			
	HLA	4	Hymenocallis latifolia	Spider Lily	3 gal	2'	2'		
	PMM	36	Podocarpus macrophyllus 'Maki'	Shrubby Yew	7 gal	4'-5'	2'		
	SER	41	Serenoa repens 'Cinerea'	Saw Palmetto	7 gal.	2'	2'		Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
	TFL	108	Tripsacum floridanum	Florida Gamagrass	3 gal	2'	2'		Drought Tolerant - Florida Native - Miami-Dade Landscape Manual
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	SPACING	
	CRN	153	Clusia rosea 'Nana'	Dwarf Pitch Apple	7 gal.	1.5'	1.5'	20" o.c.	Florida Native- Drought tolerant
	LMU	884	Liriope muscari	Lily Turf	3 gal	1.5'	1'	15" o.c.	Drought Tolerant - Miami-Dade County Landscape Manual
	NFA	17	Nephrolepis falcata	Macho Fern	3 gal.	3' OA	3'	42" o.c.	Florida Native
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SRD	SPACING	
	PNF	2,039	Phyla nodiflora	Frogfruit	1 gal.			9" o.c.	Florida Native
	ZJE	2,557	Zoysia japonica 'Empire'	Korean Grass	Sod				

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED HEREIN ARE THE SOLE PROPERTY OF AGUDELO ARCHITECT P.A. AND WILL BE KEPT CONFIDENTIAL AND NOT BE LOANED, REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF AGUDELO ARCHITECT P.A. ANY VIOLATION OF THIS AGREEMENT WILL BE CAUSE FOR IMMEDIATE LITIGATION AND DAMAGES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

No.	Date	Revision
1	03-22-23	Background coordination
2	04-21-23	City comments
3	06-14-23	Background coordination
4	10-30-23	Background coordination

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A. 26002013

Address:
1500 N.W. 89 Ct.
SUITE # 211-B
DORAL, FL 33172

Phone #:
(786) 738-8236

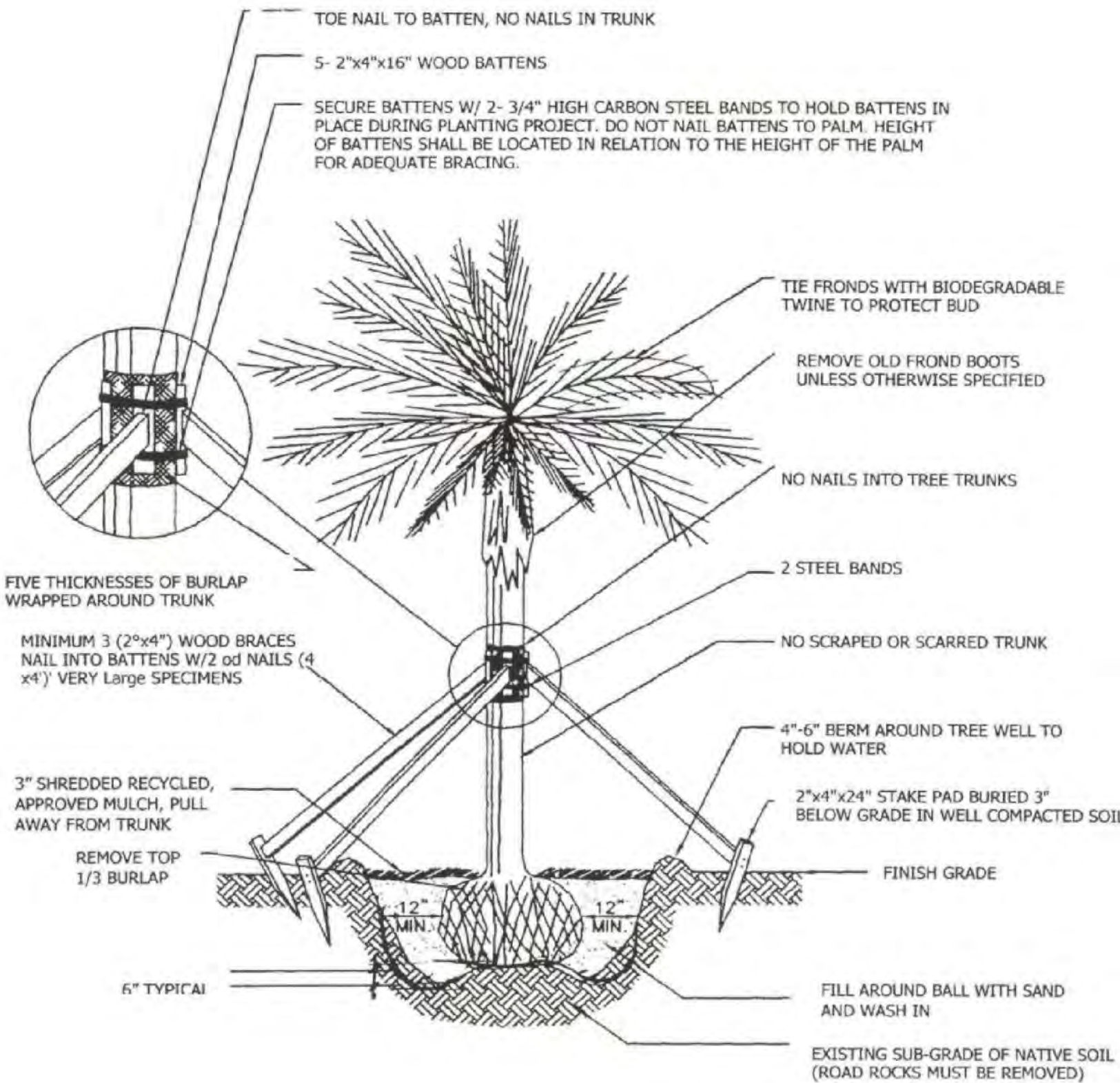
e-mail address:
german@agudeloaarchitect.net

SEAL:
STATE OF FLORIDA

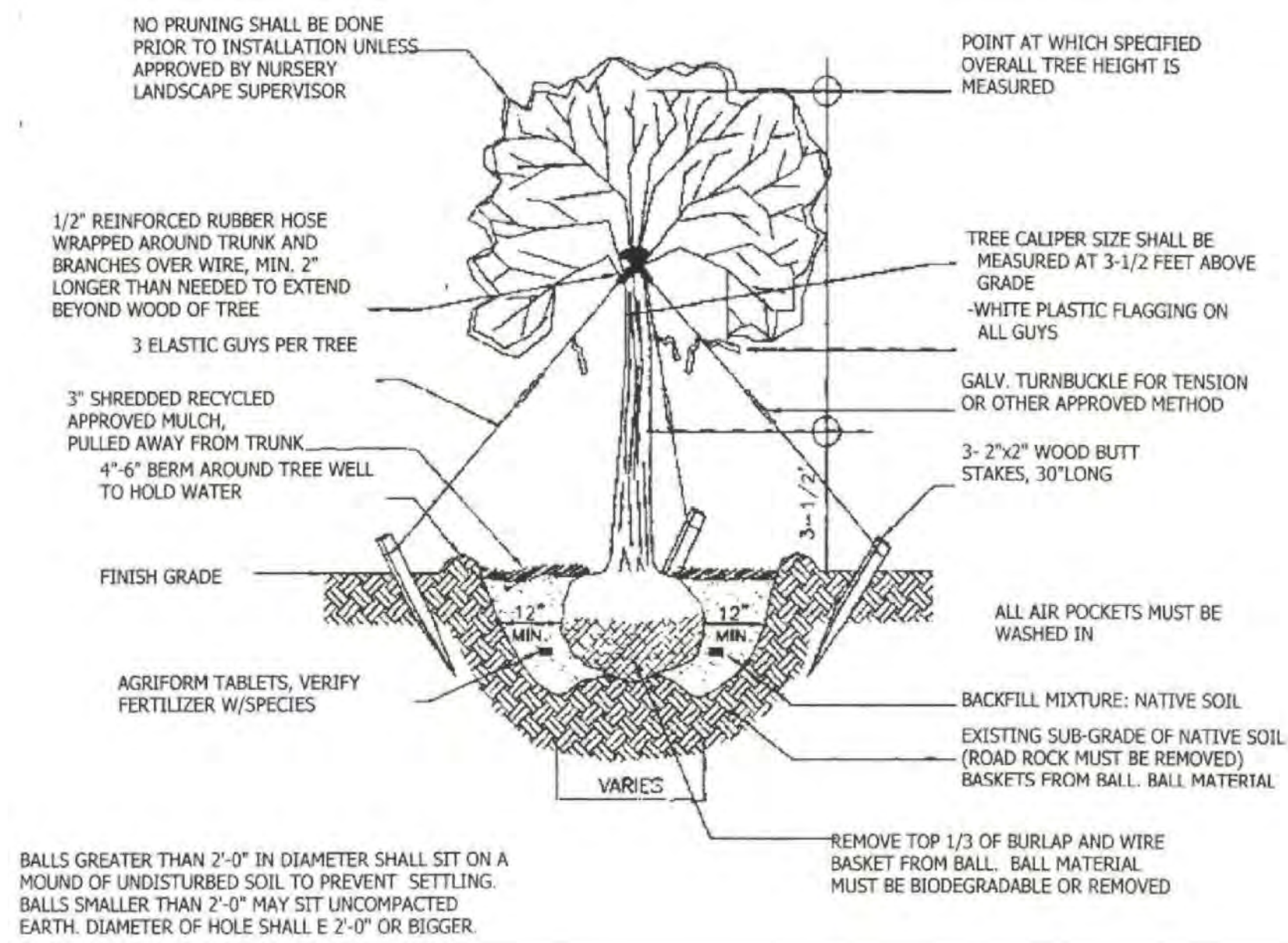
GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.	Checked by : G.A.
Date : 11-22-2021	Scale : AS SHOWN
JOB. NO.: 211101	

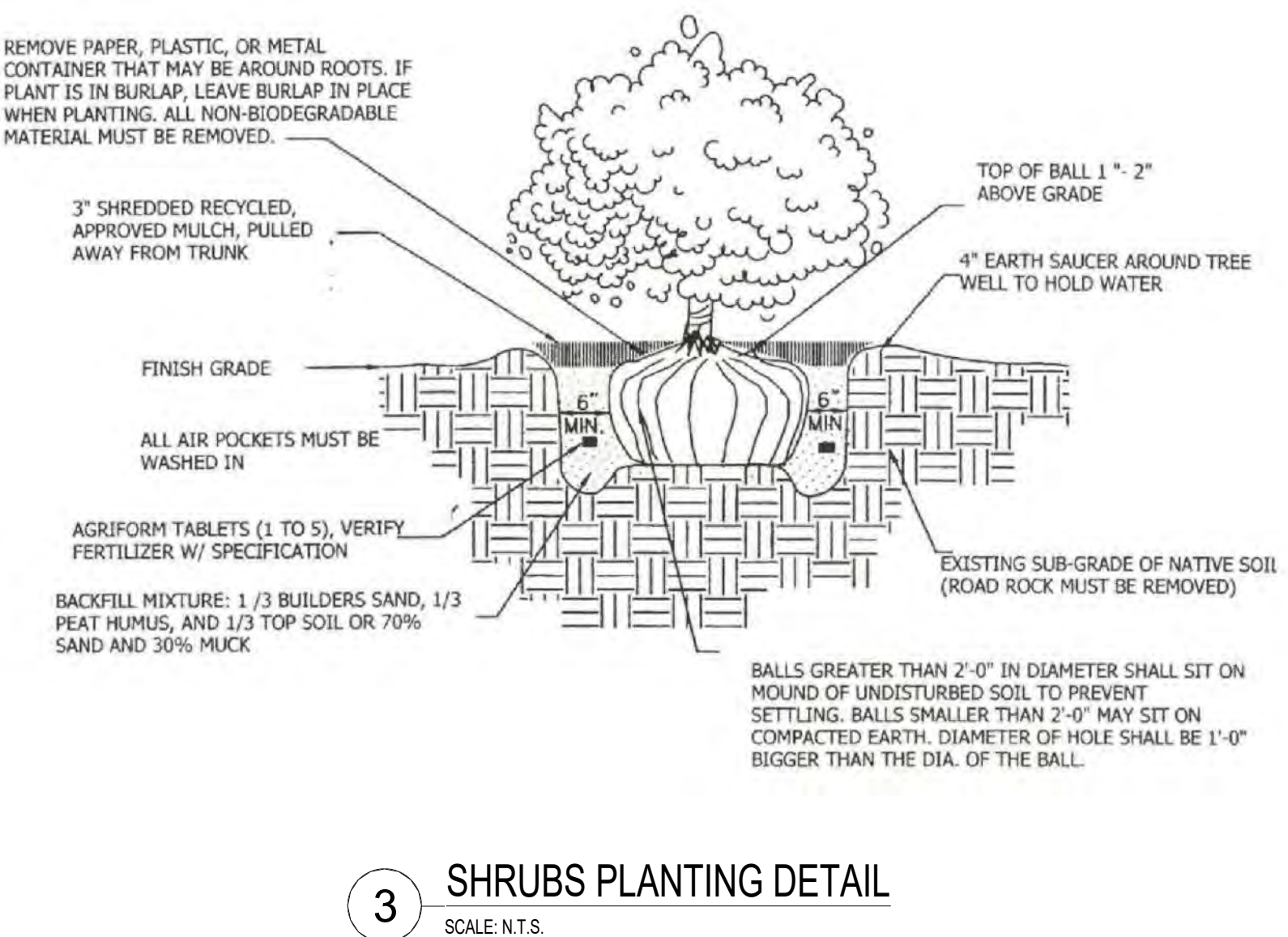
L-102 OF



1 PALM PLANTING DETAIL
SCALE: N.T.S.



2 TREE PLANTING DETAIL
SCALE: N.T.S.



3 SHRUBS PLANTING DETAIL
SCALE: N.T.S.

NOTES:

1. All mechanical equipment including, but not limited to Back Flow Preventor, Pumps, Electric, Phone or Cable Boxes, Lift Stations, Etc. shall be screened on 3 sides from view using an approved hedge, fence or wall.
2. All light poles if any shown on plan shall be a minimum of 15' from tree locations.
3. The Landscape Architect must be notified when the plant material has been set in place to approve final locations, prior to installation.

GENERAL NOTES

1. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
2. Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
3. Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
4. No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
5. All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
6. All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
7. Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
8. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
9. All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

1. Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
2. Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
3. All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
4. Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
5. Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
6. The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
7. All sod mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
8. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
9. All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
10. Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviro mulch immediately after planting. In no case shall Cypress mulch be used.
11. All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
12. Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
13. All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
14. All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
15. Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
16. Stake all trees and palms for approval by Landscape Architect prior to installation.
17. Any sod areas damaged by construction are to be replaced with St. Augustine 'Floritam' sod.
18. All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine 'Floritam' sod.
19. St. Augustine 'Floritam' - Contractor's responsibility to verify quantity.
20. Install rootbarrier as per manufacturer's recommendation on all large trees that are 6" or closer to any pavement or building, as shown on details page.
21. Root barrier shall be Vespro Inc. or approved equal.

ONE YEAR - TREE MAINTENANCE PLAN

All newly planted trees to be guaranteed for a period of one year and in accordance with the following:

Planting Day:

- Keep roots moist; do not allow the roots to dry out.
- Remove turf from planting area.
- Dig planting hole wide and shallow. The hole should be 2-3 times wider in all directions than the root spread.
- Prune only dead or broken branches.
- Remove all twine or rope from trunk and branches.
- Remove planting container and burlap (any material that would constrict growth of roots: wire, plastic, wooden basket)
- Make sure that root flare is at soil level. (Rule of thumb first root closest to soil should be an inch below soil surface).
- Do not use amendments in the planting hole.
- Water tree at planting to remove air pockets. After backfilling gently firm soil, do not pack soil. Heavy packing will remove air space in soil.
- Do not mound soil against trunk of tree.
- Mulch over entire rooting area with 2-4" of mulch (wood chips, shredded bark, etc.) Keep mulch 2-4" from trunk of tree since this could create a favorable environment for fungi.
- Fertilizer is not recommended for newly planted trees. (Consider time-released fertilizer, if there is a need to fertilize).

After Planting:

- Plants shall be watered in accordance with specification as provided on the irrigation plans.
- All lawn areas shall be mowed weekly during growing season and bi-weekly in non-growing season.
- Fertilizer shall be applied in the fall or early spring. Although it is not harmful to apply fertilizer at any time during the year.
- Inspect trees for disease or insect problems.
- Monitor health and vigor of trees.
- Pruning of all shrubs shall be done regularly to control shape and form. All pruning shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards.

After One Year:

- Continue to monitor trees health and vigor. Inspect for disease and insect problems. Inspect evergreen trees for winter injury and fruit trees for rodent damage.
- Remove trees away from thin bark trees in spring.
- Remove stakes from trees planted previous year.
- All plants shall be mulched on a yearly basis or as needed to maintain healthy grown and reduce weed growth.
- Begin corrective pruning trees one year after trees are planted (general rule of thumb is to remove no more than 1/4 of the foliage at one time). All pruning shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards.
- Continue watering trees when needed.
- Replace dead trees as needed. If trees have died in first year notify nursery that planted trees. They should guarantee trees for at least one year.

4 ONE YEAR TREE MAINTENANCE PLAN
SCALE: N.T.S.

5 GENERAL PLANTING NOTES
SCALE: N.T.S.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED HEREON ARE THE PROPERTY OF GERMAN A. AGUDELO ARCHITECT P.A. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THIS PROJECT. NO PART OF THIS DOCUMENT OR ANY OF ITS ARRANGEMENTS OR PLANS SHALL BE USED OR REPRODUCED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GERMAN A. AGUDELO ARCHITECT P.A. ANY REUSE, REPRODUCTION OR MODIFICATION OF THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY WRITTEN DIMENSIONS OR CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS INDICATED HEREON BEFORE PROCEEDING WITH FABRICATION.

Revision

No.

Date

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

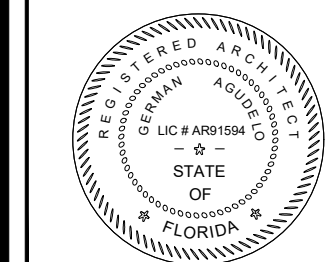
AGUDELO
ARCHITECT P.A.
A.A. 26002013

Address:
1500 N.W. 89 Ct
SUITE # 211-B
DORAL, FL. 33172

Phone #:
(786) 738-8236

e-mail address:
german@agueloarchitect.net

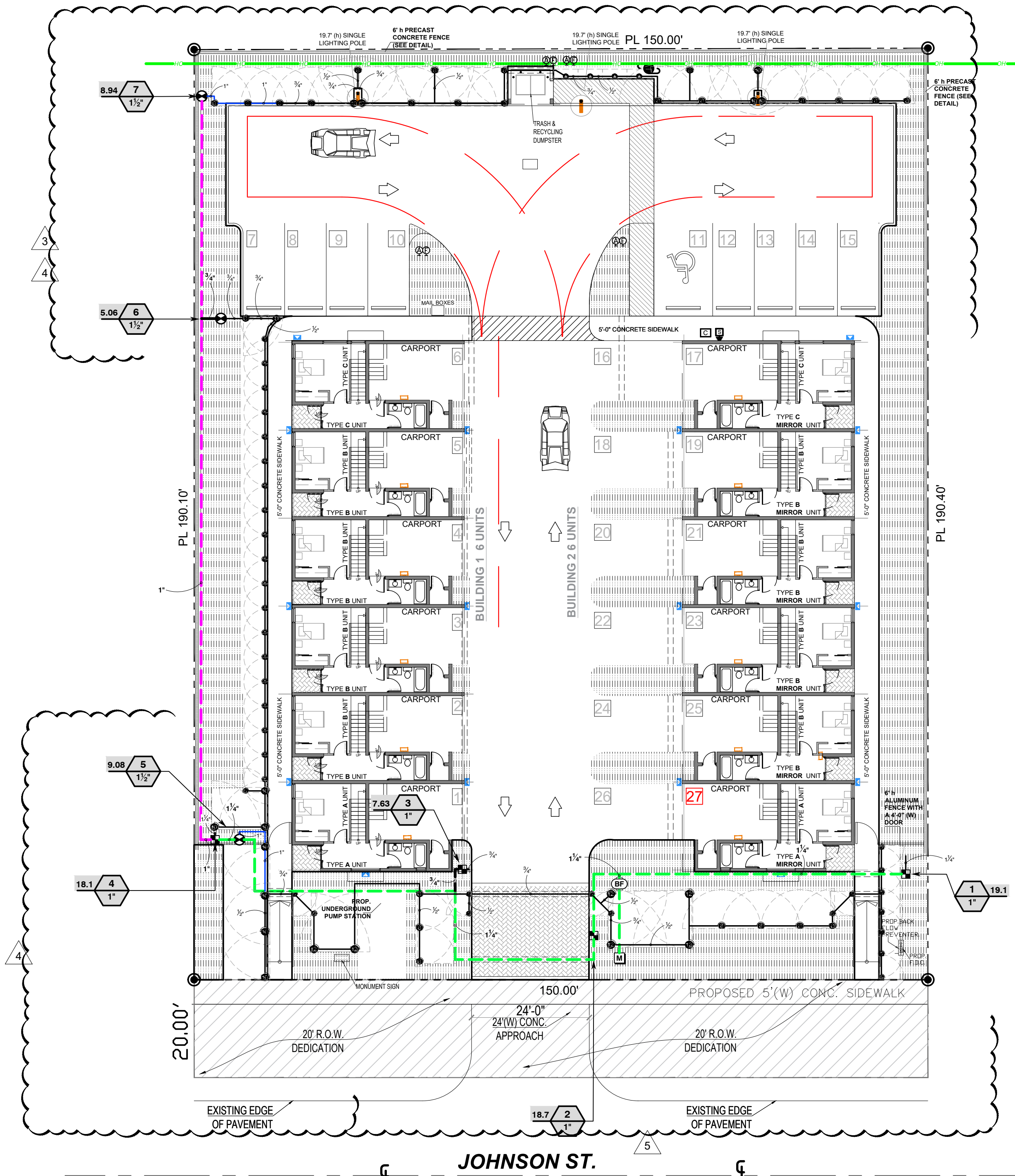
SEAL:
STATE OF FLORIDA



GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by : W.P.
Checked by : G.A.
Date : 11-22-2021
Scale : AS SHOWN
JOB NO.: 211101

L-103 OF



GROUND FLOOR - IRRIGATION PLAN
SCALE:
0 16 32 48 feet
1/16" = 1'-0"

NOTES:

- THE ASSEMBLY SHALL BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCES OF 30 INCHES FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
- GUARD POSTS SHALL BE INSTALLED IF THE ASSEMBLY IS EXPOSED TO POSSIBLE DAMAGE FROM VEHICULAR TRAFFIC, AS DETERMINED BY THE DEPARTMENT.
- THE ASSEMBLY SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION, APPROVED BY THE DEPARTMENT.
- PIPING SHALL BE SCHEDULE 40 BRASS OR TYPE K COPPER PIPE WITH THREADED FITTINGS IN ACCORDANCE WITH WASH CONSTRUCTION SPECIFICATIONS FOR DRAINAGE WATER MAINS. PVC PIPING IS NOT ACCEPTED BY WASH.
- THE DEPARTMENT SHALL HAVE UNRESTRICTED AND CONTINUOUS ACCESS TO THE VACUUM BREAKER ASSEMBLY.
- SEE SPECIFICATIONS AND CONTACT DEPARTMENT FOR CURRENTLY APPROVED TYPES OF BACKFLOW PREVENTION ASSEMBLIES AND PRESSURE VACUUM BREAKERS (SEE WS 4.18 SHEET 4 OF 4)

IRRIGATION NOTES

SCALE: NTS

GENERAL
IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, CONTRACT DRAWINGS, CONTRACT SPECIFICATIONS, AND APPENDIX "F" OF THE FLORIDA BUILDING CODE.

IRRIGATION DESIGN BASED ON "PLANTING PLAN". CONTRACTOR SHALL REFER TO THIS PLAN TO COORDINATE SPRINKLER LOCATIONS AND PIPE ROUTING WITH NEW AND EXISTING PLANT LOCATIONS.

THIS PLAN SHALL BE USED AS A GUIDE ONLY. IRRIGATION SHALL BE INSTALLED TO MATCH ON SITE CONDITIONS AND TO OVERCOME THE INHERENT INACCURACIES THAT RESULT WHEN DESIGNING FROM BASE PLANS.

THIS IRRIGATION HAS BEEN DESIGNED AS A TYPICAL BLOCK VALVE TYPE. USING TORO SPRINKLERS, IN-LINE VALVES AND CONTROL SYSTEM. A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

IRRIGATION SHALL BE INSTALLED AND MAINTAINED TO MINIMIZE UNDESIRABLE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND BUILDINGS.

CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH SITE CONDITIONS, AND SHALL REFER TO THE PLANS FOR ADDITIONAL INFORMATION.

TO ENSURE PROPER OPERATION, SOURCE SIZE, VALVE SIZES, ZONE CAPACITIES, AND SPRINKLER, PIPE AND WIRE SIZES, AND INSTALLATION NOTES AND DETAILS SHALL BE FOLLOWED AS SHOWN.

CONTRACTOR IS TO PROVIDE AN AS-BUILT DRAWING OF THE IRRIGATION SYSTEM TO THE OWNER AND LANDSCAPE ARCHITECT.

PIPING
PIPE ROUTING IS SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS.

PIPE SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, SECTION "F" OF THE FLORIDA BUILDING CODE, AND PIPE MANUFACTURER'S INSTRUCTIONS.

PIPE ROUTED UNDER HARDSCAPED AREAS SHALL BE SLEEVED IN SCH 40 PVC. EACH SLEEVE SHALL BE: (1) BURIED TO A MINIMUM DEPTH OF 24"; (2) TWO PIPE SIZES LARGER THAN CARRIER PIPE, AND (3) EXTENDED 3' BEYOND HARDSCAPED AREA ON EACH END. CONTRACTOR SHALL REFER TO LOCATION OF EXISTING SLEEVES.

PIPE SIZED TO LIMIT FLOW VELOCITIES TO 5 FEET/SECOND AND TO LIMIT FRICTION LOSS IN THE PIPING NETWORK.

PIPE SHALL BE INSTALLED AT SUFFICIENT DEPTH BELOW GROUND TO PROTECT IT FROM HAZARD SUCH AS VEHICULAR TRAFFIC OR ROUTINE OCCURRENCES WHICH OCCUR IN THE NORMAL USE AND MAINTENANCE OF THE PROPERTY. DEPTHS OF COVER SHALL MEET OR EXCEED SCS CODE 430-DD. REFER TO THE APPLICABLE DETAIL FOR ADDITIONAL INFORMATION.

BACKFILL SHALL BE OF SUITABLE MATERIAL, FREE OF ROCKS, STONES, AND OTHER DEBRIS THAT WOULD DAMAGE IRRIGATION SYSTEM COMPONENTS.

A GATE VALVE SHALL BE INSTALLED FOR ISOLATION. THIS VALVE SHALL BE TO LINE SIZE AND INSTALLED IN A VALVE BOX. POROUS MATERIAL SHALL BE INSTALLED PER BOX TO PROMOTE DRAINAGE.

SPRINKLERS
SPRINKLER LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR LANDSCAPING, FENCES, SITE LIGHTING, PREVAILING WIND, MOUNDING, ETC., TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. A PRIME OBJECTIVE SHALL BE TO ELIMINATE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND THE RESIDENCE.

POP-UP TYPE LOCATED IN SOD, MULCH, AND GROUND COVERS SHALL BE INSTALLED ON FLEXIBLE SWING JOINTS CONSISTING OF THICKWALLED POLY PIPE AND 1/2" INSERT ELBOWS.

EACH SPRINKLER SHALL BE EQUIPPED WITH THE APPROPRIATE PRECISION SPRAY NOZZLE AND SHALL HAVE THE X-FLOW FEATURE.

ADJUSTMENT FEATURES OF SPRINKLERS SPECIFIED SHALL BE UTILIZED TO ENSURE PROPER COVERAGE WITH MINIMAL UNDESIRABLE OVERTHROW. LOW ANGLE, FLAT SPRAY, AND ADJUSTABLE ARC NOZZLES SHALL BE USED TO MINIMIZE OVERTHROW.

SPRINKLERS LOCATED ADJACENT TO HARDSCAPED AREAS SHALL BE INSTALLED AWAY FROM HARDSCAPED AREAS TO MINIMIZE OVERTHROW AND THE CHANCE OF DAMAGE BY VEHICLES, PEDESTRIANS, AND LAWN MAINTENANCE PERSONNEL. AS A GENERAL RULE, 6" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 4", SHRUB HEADS AND 12" POP-UP SPRAY HEADS SHALL BE INSTALLED IN 12".

CONTROL SYSTEM
CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. PROPER GROUNDING EQUIPMENT SHALL BE PROVIDED.

CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. A 110 VAC ELECTRIC SOURCE IS REQUIRED.

CONTROL LINES FROM AUTOMATIC CONTROLLER TO IN-LINE AUTOMATIC VALVES SHALL BE #14 AWG DIRECT BURIAL UF TYPE WHICH SHALL BE: (1) INSTALLED IN ACCORDANCE WITH LOCAL CODES, (2) INSTALLED IN SCH 40 PVC WIRE CONDUIT, (3) BURIED TO A MINIMUM DEPTH OF 15", (4) COLORED CODED TO FACILITATE TROUBLESHOOTING, AND (5) SPLICED - MOSTLY AT VALVE LOCATIONS. SPLICES SHALL BE MADE WATERPROOF USING APPROVED METHODS. SPARE WIRES SHALL BE ROUTED FROM THE CONTROLLER IN ALL DIRECTIONS TO THE FARTHEST VALVES CONTROLLED.

AN INDIVIDUAL CONTROL WIRE SHALL BE ROUTED TO EACH VALVE AND VALVES WHICH OPERATE SIMULTANEOUSLY SHALL BE TEED TOGETHER AT THE CONTROLLER.

AUTOMATIC VALVE LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX. A MINIMUM OF ONE CUBIC FOOT OF GRAVEL SHALL BE PROVIDED PER BOX TO PROMOTE DRAINAGE.

THE RAIN SENSOR SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

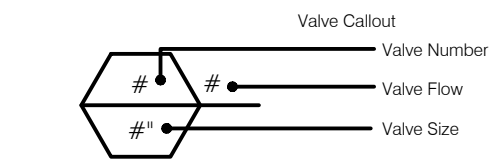
TIMING AND PRECIPITATION
TIMING OF EACH STATION SHALL BE SET IN THE FIELD TO MATCH LOCAL REQUIREMENTS. REFER TO ZONE SUMMARY CHART FOR RECOMMENDED RUN TIMES TO APPLY 1.0 INCHES/WEEK.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Toro 5702-6LP-PC 5 Series Turf Spray, 6" Pop-Up, with a Zero Flush Seal, Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	35	30
	Toro 5702-6LP-PC 8' radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal, Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	25	30
	Toro 5702-6LP-PC 10' radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal, Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	12	30
	Toro 5702-6LP-PC 12' radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal, Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	6	30
	Toro 5702-6LP-PC ADJ Turf Spray, 6" Pop-Up, with a Zero Flush Seal, Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30
	Toro 5702-6LP-PC Turf Strip Spray Turf Spray, 6" Pop-Up, with a Zero Flush Seal, Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	4	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Toro DZK-EZF-1-MF 1" Medium Flow Drip Control Valve Kit. With 1" EZ-Flo Plus Valve, Toro Y-Filter, and Medium-Flow Pressure Regulator and Fittings. 5gpm-20gpm.	4
	Toro T-FCH-H-FIPT Flush Valve, plumbed to flush manifold at low point.	4
	Toro T-YD-500-34 1/2" Air Vent- MIPT Air Release and Vacuum Relief Valve	4
	Area to Receive Dripline Toro RGP-412 Sub-Surface Pressure Compensating Landscape Dripline with ROOTGUARD technology. 1.00 GPH emitters at 12" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern.	3,801 l.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Toro 252-26 Globe 1-1/2" Electric, 1", 1-1/2", and 2" In-Line Plastic Remote Control Valve. Includes Flow Control, Globe Body Configuration, Debris-Resistant Valve.	3
	Febco 825Y 1-1/2" Reduced Pressure Backflow Preventer	1
	Toro Controller EVO-04OD-SC 4 Station Outdoor Controller. With Smart Connect so Controller can communicate wirelessly with a number of add-on devices. Ideal for residential and light-commercial applications.	1
	Toro Rain Sensor TWRS Wireless Rain Sensor Transmitter and Receiver. Mount Sensor Transmitter as noted or approved, mount Sensor Receiver next to Irrigation Controller as noted or approved, use controller power or optional transformer. Adjustable rain shut-off point.	1
	Water Meter 1-1/2"	1
	Irrigation Lateral Line: PVC Schedule 40 1/2"	363.2 l.f.
	Irrigation Lateral Line: PVC Schedule 40 3/4"	199.0 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	38.3 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/4"	5.2 l.f.
	Irrigation Mainline: PVC Schedule 40 3/4"	9.9 l.f.
	Irrigation Mainline: PVC Schedule 40 1"	154.9 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/4"	200.3 l.f.
	Pipe Sleeve: PVC Class 200 SDR 21	233.2 l.f.



NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Toro DZK-EZF-1-MF	1"	Area for Dripline	19.12	396.7	60.2	75.1	1.07 in/h
2	Toro DZK-EZF-1-MF	1"	Area for Dripline	18.65	320.4	59.1	72.9	1.07 in/h
3	Toro DZK-EZF-1-MF	1"	Area for Dripline	7.63	279.1	45.7	58.8	1.07 in/h
4	Toro DZK-EZF-1-MF	1"	Area for Dripline	18.07	213.8	57.9	74	1.07 in/h
5	Toro 252-26 Globe	1-1/2"	Turf Spray	9.08	218.6	37.5	50.7	0.75 in/h
6	Toro 252-26 Globe	1-1/2"	Turf Spray	5.06	104.2	35.8	49.5	0.83 in/h
7	Toro 252-26 Globe	1-1/2"	Turf Spray	8.94	149.6	37.5	54.3	0.84 in/h
	Common Wire				365.1			

ALL REVISIONS, DESIGN, ARRANGEMENTS, AND PLANS UNLESS OTHERWISE REPRESENTED BY THE DRAWING ARE OWNED BY, AND THE PROPERTY OF, AGUDELO ARCHITECT P.A. ANY REVISIONS, DESIGN, ARRANGEMENTS, AND PLANS UNLESS OTHERWISE REPRESENTED BY THE DRAWING ARE OWNED BY, AND THE PROPERTY OF, AGUDELO ARCHITECT P.A. ANY REVISIONS, DESIGN, ARRANGEMENTS, AND PLANS UNLESS OTHERWISE REPRESENTED BY THE DRAWING ARE OWNED BY, AND THE PROPERTY OF, AGUDELO ARCHITECT P.A.

No.	Date	Revision
1	03-22-23	Background coordination
3	06-14-23	Background coordination
4	08-16-23	Background coordination
5	10-30-23	Background coordination

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
2442-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

AGUDELO
ARCHITECT P.A.
A.A.260022013

Address:
1500 N.W. 89 CI
SUITE # 211-B
DORAL, FL. 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudelolarchitect.net

SEAL:
STATE OF FLORIDA

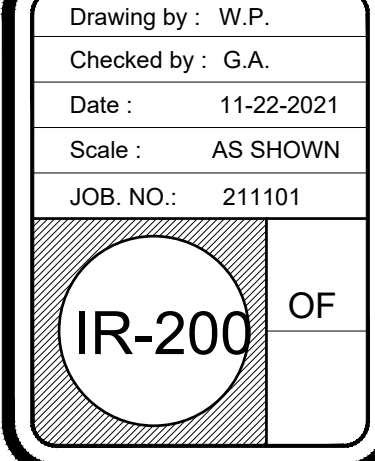
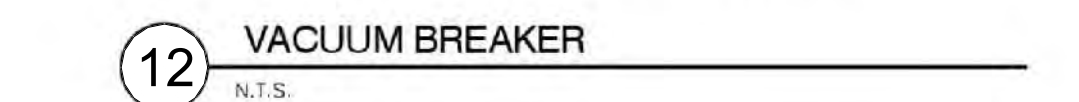
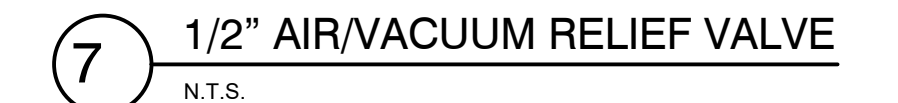
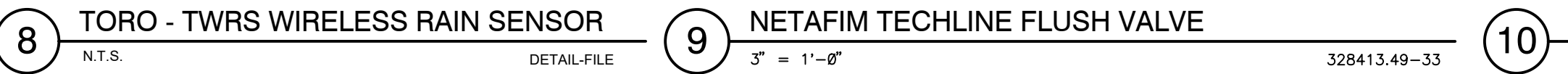
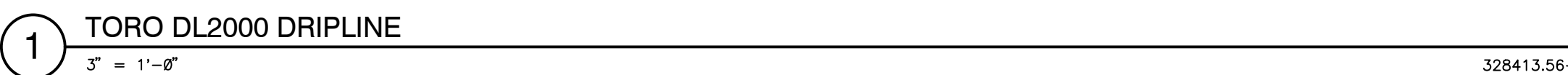
REGISTERED PROFESSIONAL ARCHITECT
G. LIC. # 9051584
STATE OF FLORIDA

GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by: W.P.
Checked by: G.A.
Date: 11-22-2021
Scale: AS SHOWN
JOB NO.: 211101

IR-100 OF

DERICK LANGEL (LA7667045)
www.alllandscapedata.net & .com
Ph: 305.303.7059



ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, AIGUDELLO ARCHITECT, AND WILL BE USED ONLY FOR THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF AIGUDELLO ARCHITECT.

ALL DIMENSIONS AND FINISHES SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

No.	Date	Revision

PROPOSED:
MULTIFAMILY
DEVELOPMENT

SITE ADDRESS:
42-2438 JOHNSON ST.
HOLLYWOOD, FLORIDA,
33020

OWNER:
C21 CAPITAL
BROKERS/US
HOUSING FUNDS

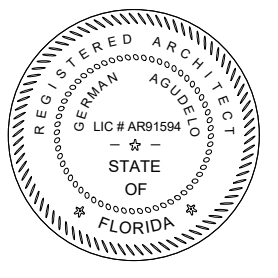
AGUDELO
ARCHITECT P.A.
A.A.26002013

Address:
1500 N.W. 89 Ct
SUITE #: 211-B
DORAL, FL. 33172

Phone #:
(786) 738-8236

e-mail address:
german@agudeloarchitect.n

EAL:
STATE OF FLORIDA



GERMAN A. AGUDELO
ARCHITECT FOR THE FIRM
LICENSE # AR-0091594

Drawing by :	W.P.
Checked by :	G.A.
Date :	11-22-2021
Scale :	AS SHOWN
JOB. NO.:	211101

(IR-200) OF _____