

**ATTACHMENT A**  
Application Package

APPLICATION DATE: \_\_\_\_\_

**2600 Hollywood Blvd**  
Room 315  
Hollywood, FL 33022  
Tel: (954) 921-3471  
Email: Development@Hollywoodfl.org

**SUBMISSION REQUIREMENTS:**

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

**NOTE:**

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

**APPLICATION TYPE (CHECK ALL THAT APPLIES):**

- Technical Advisory Committee       Art in Public Places Committee       Variance  
 Planning and Development Board       Historic Preservation Board       Special Exception  
 City Commission       Administrative Approval

**PROPERTY INFORMATION**

**Location Address:** 2640 N. State Road 7  
 Lot(s): Parcel A Block(s): N/A Subdivision: Gator 441  
 Folio Number(s): 5141 01 12 0010

Zoning Classification: C-MU Land Use Classification: TOC  
 Existing Property Use: Car Wash Facility-out of business Sq Ft/Number of Units: 1,518 sq. ft.

Is the request the result of a violation notice?  Yes  No **If yes**, attach a copy of violation.  
 Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): N/A

**DEVELOPMENT PROPOSAL**

Explanation of Request: Taco Bell drive-through only restaurant

Phased Project: Yes  No  Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="0"/> #Rooms <input type="text" value="0"/>
Proposed Non-Residential Uses	<input type="text" value="1,600"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="21.88"/> (Area: <input type="text" value="3,021"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="5"/> )
Height (# of stories)	(# STORIES) <input type="text" value="1"/> ( <input type="text" value="21'-4"/> FT.)
<b>Gross Floor Area (SQ. FT)</b>	Lot(s) Gross Area ( <input type="text" value="13,811 sq."/> FT.)

**Name of Current Property Owner:** Gator 441, Inc.

Address of Property Owner: 7850 NW 146 St. 4 Floor Miami Lakes, FL 33016

Telephone: contact agent Email Address: contact agent

**Applicant** Dwayne L. Dickerson/Miskel Backman, I Consultant  Representative  Tenant

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Email Address: ddickerson@miskelbackman.com

Email Address #2: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes  No

If Yes, Attach Copy of the Contract.

**Noticing Agent** (FTAC & Board submissions only) : Christina Matthews-Cutro & Associates

E-mail Address: cutroplanning@yahoo.com

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 12/6/2024  
 James A. Goldsmith - President

PRINT NAME: Gator 441, Inc. \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Consultant/Representative: Dwayne L. Dickerson \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: Dwayne L. Dickerson \_\_\_\_\_ Date: 12/3/24

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

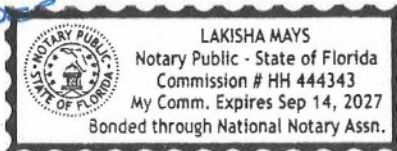
PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan approval & variance requests to my property, which is hereby made by me or I am hereby authorizing Dwayne L. Dickerson/Miskel Backman, LLR to be my legal representative before the P&D Board & City Commission (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
 this 6<sup>th</sup> day of December

Lakisha Mays  
 Notary Public



State of Florida

My Commission Expires: 9/14/27 (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_

Signature of Current Owner  
 James A. Goldsmith - President

Gator 441, Inc.

Print Name



PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
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GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

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APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- City Commission
- Historic Preservation Board
- Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: 2640 N. State Rd. 7

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Folio Number(s): 5141 01 12 0010

Zoning Classification: C-MU Land Use Classification: TOC

Existing Property Use: Car Wash Facility-Out of Business Sq Ft/Number of Units: 1,518 sq. ft.

Is the request the result of a violation notice? ( ) Yes  No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 4.6(D)(12)(d)(ii) to allow an active use liner on the ground floor along the State Rd. 7 building facade of 51.51% rather than 60%.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes  No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: \_\_\_\_\_ Email Address: diana.DeCicco@yum.com

Name of Consultant/Representative/Tenant (circle one): Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes ( ) No

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_



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Signature of Current Owner: \_\_\_\_\_ Date: 1/17/2023

PRINT NAME: Gator 441, Inc., by its President, James A. Goldsmith Date: 1/17/2023

Signature of Consultant/Representative: \_\_\_\_\_ Date: 1/18/23

PRINT NAME: Dwayne L. Dickerson, Esq. Date: 1/18/23

Signature of Tenant: N/A Date: \_\_\_\_\_

PRINT NAME: N/A Date: \_\_\_\_\_

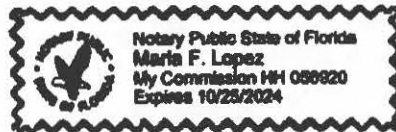
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Sworn to and subscribed before me  
this 17th day of January, 2023

Notary Public  
State of Florida

My Commission Expires: 10/25/24 (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_



Signature of Current Owner

James A. Goldsmith

Print Name



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- Technical Advisory Committee
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Date of Application: \_\_\_\_\_

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Lot(s): Parcel A Block(s): N/A Subdivision: Gator 441

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Existing Property Use: Car Wash Facility-Out of Business Sq Ft/Number of Units: 1,518 sq. ft.

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Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- Economic Roundtable
- Technical Advisory Committee
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- City Commission
- Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 9.5(c)(1) to allow 15.28% landscape area in the vehicular use area rather than 25%.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes  No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: \_\_\_\_\_ Email Address: diana.DeCicco@yum.com

Name of Consultant/Representative/Tenant (circle one): Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes ( ) No

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: \_\_\_\_\_

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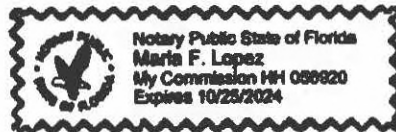
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Notary Public  
State of Florida

Signature of Current Owner

James A. Goldsmith

Print Name

My Commission Expires: 10/25/24 (Check One)  Personally known to me; OR  Produced Identification



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- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 7.2(A)(28) to allow 5 parking spaces rather than 10.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes  No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: \_\_\_\_\_ Email Address: diana.DeCicco@yum.com

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Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes ( ) No

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: \_\_\_\_\_

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Explanation of Request: Taco Bell Drive-thru only restaurant with a variance request from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building facade of 27.9% rather than 50%.

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes  No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

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PRINT NAME: Dwayne L. Dickerson, Esq. Date: 1/18/23

Signature of Tenant: N/A Date: \_\_\_\_\_

PRINT NAME: N/A Date: \_\_\_\_\_

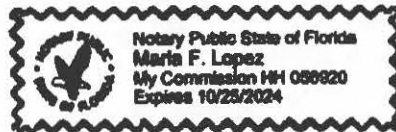
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Signature of Current Owner

James A. Goldsmith

Print Name

PARCEL "A"  
"PORTFOLIO CLUB"  
PLAT BOOK 133, PAGE 10

PARCEL "A"  
"GATOR 441"  
SUBDIVISION  
PLAT BOOK 151, PAGE 8

A PORTION OF  
SOUTH HALF  
"LESTER PROPERTY"  
PLAT BOOK 14, PAGE 48

U.S. HIGHWAY No. 441  
STATE ROAD No. 7  
N 60th AVENUE

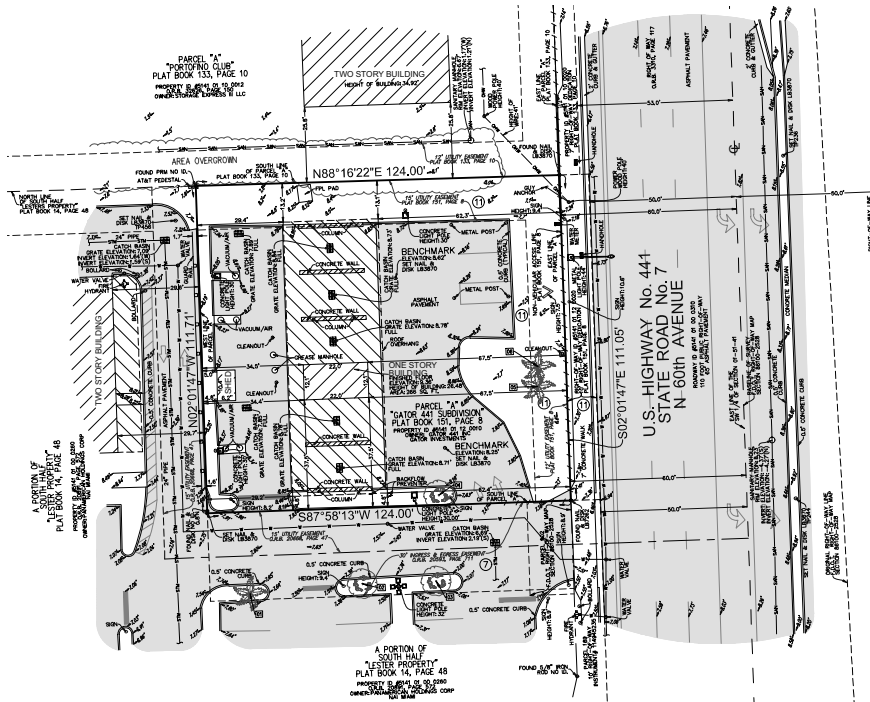
FARRAGUT  
STREET

A PORTION OF  
SOUTH HALF OF SECTION 15-51-4E  
SECTION 15-51-4E  
TOWNSHIP 51 SOUTH, RANGE 41 EAST,  
BROWARD COUNTY, FLORIDA  
PLAT BOOK 1, PAGE 116, NO. 68.

VICINITY MAP  
NOT TO SCALE

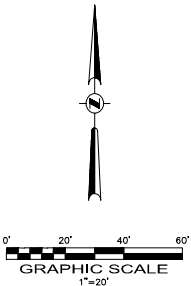
TREE TABLE

Tree Number	Common Name	DBH (Inches)	Canopy (Feet)	Height (Feet)
1	PALM TREE	10"	10'	14'
2	OAK TREE	0"	10'	10'
3	OAK TREE	8"	10'	14'
4	OAK TREE	10"	10'	10'
5	PALM TREE	8"	11'	10'
6	PALM TREE	8"	10'	10'



LEGAL DESCRIPTION: (TITLE COMMITMENT)  
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING A NET OF 13,861 SQUARE FEET (0.3177 ACRES) AND A GROSS OF 20,465 SQUARE FEET (0.470 ACRES), MORE OR LESS.

- NOTES:
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #2065; ELEVATION: 13.79 FEET.
  - FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12011C0562H; COMMUNITY #125113; MAP DATE: 8/18/14.
  - THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
  - BEARINGS ARE BASED ON KNOWN COORDINATES WITH THE NORTH LINE OF PARCEL "A" BEING N88°16'22"E, AS SHOWN ON SAID PLAT.
  - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION, BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
  - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
  - THIS SITE CONTAINS 3 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (3 REGULAR & 0 DISABLED).
  - THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, ORDER NUMBER 10528973, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED FROM JUNE 17, 1941, THROUGH JULY 22, 2024, AT 8:00 AM, OF SAID THE FOLLOWING ITEMS:
    - AGREEMENT IN O.R.B. 18373, PAGE 410 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED IN PLAT BOOK 151, PAGE 8, AMENDED BY AGREEMENT FOR AMENDMENT OF NOTATION OF PLAT IN O.R.B. 22317, PAGE 782 APPLY TO THIS SITE BUT CANNOT BE PLOTTED.
    - ORDINANCE NO. 2002-81 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - STATEMENT PROHIBITING CONSTRUCTION LIENS IN INSTRUMENT NO. 113289089 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - DECLARATION OF RESTRICTIONS FILED IN O.R.B. 7038, PAGE 38 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
  - ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
  - UTILITY LINES SHOWN PLACED IN APPROXIMATE LOCATION FROM CITY OF HOLLYWOOD UTILITY ATLAS MAP PROVIDED BY THE CLIENT.
  - ZONING REPORT IN TACO BELL OF AMERICA FREESTANDING SITE REPORT PROVIDED BY THE CLIENT, REQUIRED PARKING: 11 SPACES, SETBACK REQUIREMENTS: FROM RIGHT-OF-WAY: 10.00 FEET, FROM REAR: 5.00 FEET, FROM SIDE: 0.00 FEET
  - ZONING: C-MU (T.O.C.)
  - THIS PROPERTY HAS A GROSS AREA OF 20,464 SQUARE FEET (0.4697 ACRES MORE OR LESS.)



- LEGEND & ABBREVIATIONS
- CONCRETE
  - ASPHALT PAVEMENT
  - ELEVATION
  - OVERHEAD WIRES
  - UNDERGROUND STORM SEWER LINE
  - UNDERGROUND SANITARY SEWER LINE
  - UNDERGROUND WATER LINE
  - CENTERLINE
  - FPL FLORIDA POWER & LIGHT COMPANY
  - LB LICENSED BUSINESS
  - O.R.B. OFFICIAL RECORDS BOOK
  - PRM PERMANENT REFERENCE MONUMENT (BRASS DISK IN 4" X 4" CONCRETE MONUMENT)
  - TITLE COMMITMENT NUMBER
  - TRaverse POINT (FOR FIELD INFORMATION ONLY)
  - PALM TREE
  - OAK TREE
  - TREE IDENTIFICATION NUMBER

CERTIFICATION:  
TO CKE GROUP, INC, TACO BELL OF AMERICA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ITS AFFILIATES, OR ITS SUCCESSORS AND ASSIGNS; CHICAGO TITLE INSURANCE COMPANY:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 8, 9, 10(A), 10(B), 11(A), 13, 18, 19, & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 6/5/24.  
DATE OF PLAT OR MAP: 8/5/24

- JOHN F. POLICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
- STATE OF FLORIDA

4	EXIST PLAT/PROPERTY FROM REPORT 18373	ASL
2	REVISION: PROPERTY FROM REPORT 18373	MSJ
2	ADDC 8/5/24/22/22	MSJ
1	10582-CORING, 9/20/13/20/22	MSJ
NO.	REVISIONS	BY

**PROPOSED TACO BELL SITE**  
2640 NORTH STATE ROAD NO. 7  
HOLLYWOOD, FLORIDA 33021  
(CITY OF HOLLYWOOD, BROWARD COUNTY)

**BOUNDARY AND TOPOGRAPHIC SURVEY  
ALTA/NSPS LAND TITLE SURVEY**

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: (954) 572-1777  
FAX: (954) 572-1778  
E-MAIL: survey@pulicelandsurveyors.com  
WEBSITE: www.pulicelandsurveyors.com  
CERTIFICATE OF AUTHORIZATION LB3870

DRAWN BY: L.H.      SCALE: 1" = 20'      CLIENT: CKE GROUP, INC.  
CHECKED BY: J.F.P.      SURVEY DATE: 8/05/24      ORDER NO.: 73087



# TACO BELL

## PROPOSED TACO BELL RESTAURANT

2640 N SR-7,  
Hollywood, FL 33021

### ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

### OWNER:

**GATOR 441, INC.**  
7850 NW 146 ST., 4TH FLOOR  
MIAMI LAKES, FLORIDA 33016  
(877) 459-9605  
ATTN: JAMES GOLDSMITH

### TENANT:

**TACO BELL OF AMERICA**  
1 GLEN BELL WAY  
IRVINE, CALIFORNIA 92618  
(609) 617-2185  
ATTN: DIANA DECICCO

### ARCHITECT:

**CKE GROUP, INC.**  
17190 ROYAL PALM BLVD., SUITE 2  
WESTON, FLORIDA 33326  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHE, P.E.

### ENGINEER:

**CKE GROUP, INC.**  
17190 ROYAL PALM BLVD., SUITE 2  
WESTON, FLORIDA 33326  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHE, P.E.

### SURVEYOR:

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33341  
(954) 572-1777  
ATTN: JOHN F. PULICE, P.S.M.

### LANDSCAPE:

**RICHARD BARTLETT LANDSCAPE, INC.**  
12773 W. FOREST HILL BLVD. SUITE 213  
WELLINGTON, FLORIDA 33414  
(561) 795-0443  
ATTN: RICHARD BARTLETT



### LOCATION MAP

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

### LEGAL DESCRIPTION:

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3177 ACRES), MORE OR LESS.  
FOLIO # 5141 01 12 0010

### INDEX OF DRAWINGS:

COVER SHEET	
PLAT	
SURVEY	
SD-1 SITE DEMOLITION PLAN	
C-1 SITE PLAN	
C-1.1 SITE ACCESSIBLE ROUTES PLAN	
C-1.2 VEHICULAR USE, LANDSCAPE BUFFER & OPEN SPACE LANDSCAPE DIAGRAMS	
C-2 PAVING AND GRADING PLAN	
C-3 SITE UTILITY PLAN	
C-3.1 SITE UTILITY DETAILS	
C-4 SITE DETAILS	
C-5 SITE DETAILS & PAVEMENT SECTIONS	
C-6 STORMWATER POLLUTION PREVENTION PLAN	
C-6A STORMWATER POLLUTION PREVENTION DETAILS & NOTES	
C-7 TRASH ENCLOSURE DETAIL	
C-8 PAVEMENT MARKING & SIGNAGE	
CE-1 SITE LIGHTING PLAN	
G-1.0 GREEN CHECKLIST	
L-1 LANDSCAPE PLAN	
L-2 LANDSCAPE SPECS	
L-3 EXISTING TREE DISPOSITION PLAN	
L-4 IRRIGATION PLAN	
L-5 IRRIGATION SPECS	
A-1.0 FLOOR PLAN	
A-4.0 EXTERIOR ELEVATIONS	



EDUARDO L. CARCACHE, PE 31914  
CKE GROUP, INC. COA-4432

Eduardo L. Carcache, State of Florida  
Professional Engineer, License No. 31914

This item has been digitally signed and sealed by Eduardo L. Carcache on the date indicated here:

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### MEETING DATES:

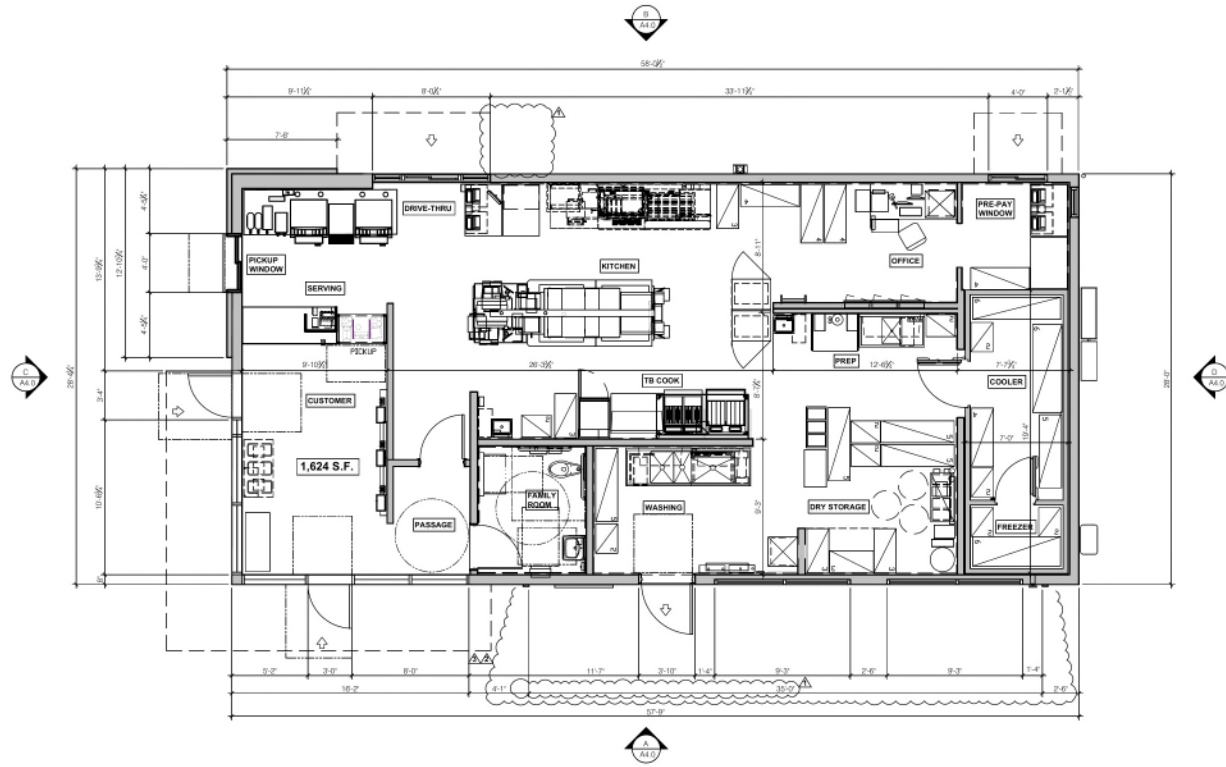
PACD	DEC 19, 2022
PRELIMINARY TAC	N/A
FINAL TAC	FEB 6, 2023
POB	

### REVISIONS:

03/24/23	CITY COMMENTS
07/29/24	DRANAGE COMMENTS
09/11/24	CITY COMMENTS
10/01/24	CITY COMMENTS
10/23/24	CITY COMMENTS
11/25/24	CITY COMMENTS
12/13/24	CITY COMMENTS

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning





GLASS COVERAGE PERCENTAGE		
BUILDING EAST ELEVATION LENGTH:	57'-9"	100%
GLASS COVERAGE:		
CLEAR GLASS	16'-2"	28%
FAUX GLASS	18'-6"	32%
TOTAL GLASS:	34'-8"	60%



**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
17190 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33311  
PHONE: (305) 898-3164  
FAX: (305) 898-0619  
E: E0004432  
L: 11111111



EDUARDO L. CARACACHE  
No. 31914  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

EDUARDO L. CARACACHE  
CIVIL ENGINEER, P.E. 31914

Eduardo L. Caracache, State of Florida,  
Professional Engineer, License No. 31914.  
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- ▲ 05-24-2024
- ▲ 12-05-2024
- ▲ 12-16-2024
- ▲
- ▲
- ▲
- ▲

CONTRACT DATE: 01-16-23  
BUILDING TYPE:  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER: 450880

TACO BELL  
2640 N. State Rd 7  
Hollywood, Florida, 33021



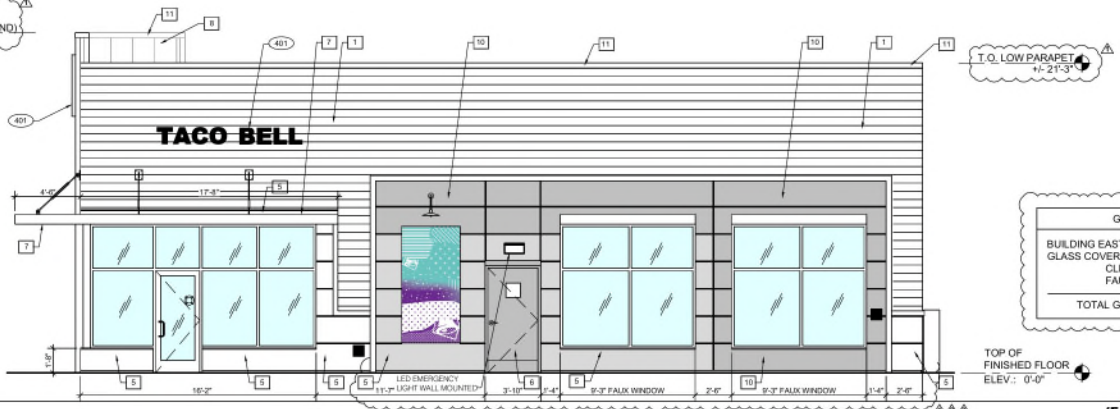
**FLOOR PLAN**

**A1.0**

PLOT DATE: 12-12-24

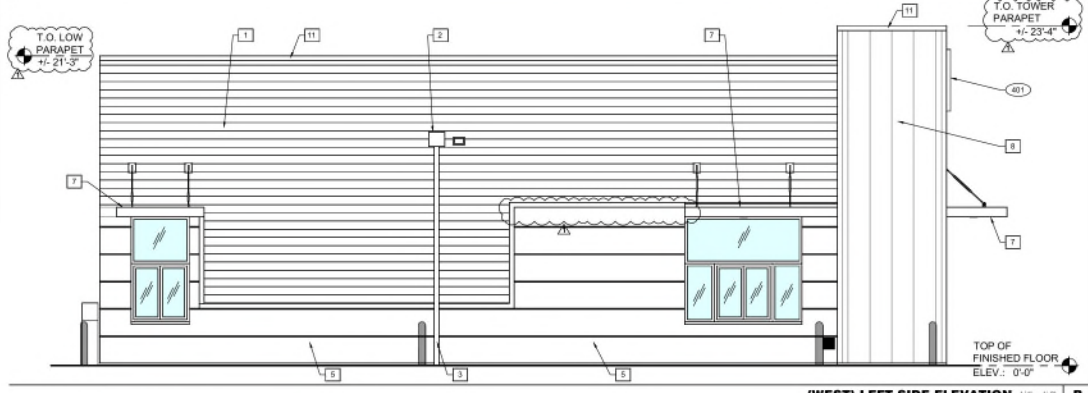


T.O. TOWER PARAPET (BEYOND) +/- 23'-4"



GLASS COVERAGE PERCENTAGE	
BUILDING EAST ELEVATION LENGTH:	57'-9" 100%
GLASS COVERAGE:	
CLEAR GLASS	16'-2" 28%
FALUX GLASS	18'-6" 32%
TOTAL GLASS:	34'-8" 60%

(EAST) RIGHT SIDE ELEVATION 1/4" = 1'-0" A



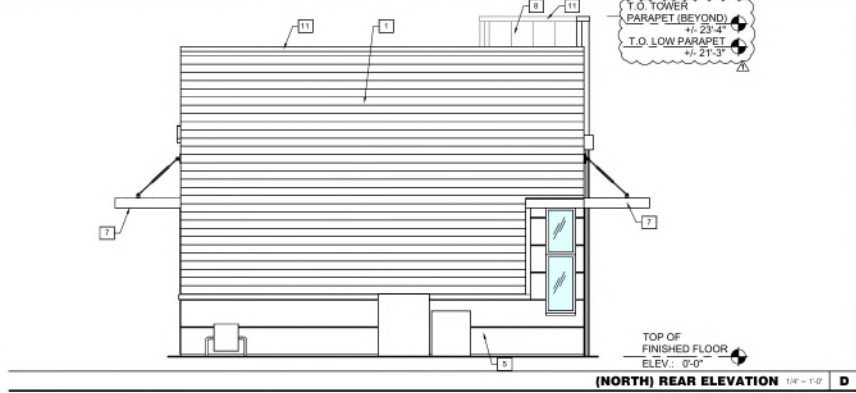
SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 1/2\"/>	
2	SCAFFERDS	-	ARTISAN V-GROOVE 1/2\"/>	
3	DOWN SPOUTS	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
4	HARDIE TRIM	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
5	HARDIE PANEL VERTICAL SIDING IN ALUMINUM TRIM FRAME/FIN. REGLET AND/OR TABLIN.	JAMES HARDIE	HARDIE TRIM 3/4\"/>	
6	HOLLOW METAL DOOR	-	CYBERSPACE (SW7076), SEMI-GLOSS	
7	PAVING	BRONKAGE VENDOR	SW PURPLE TRISOLIC, SEMI-GLOSS	
8	CORNER TOWER	WESTERN STATE	T-GROOVE 2X6A PAINTED 1F PANEL	WEATHERED RUSTIC
9	BUILDING SIGN	-	-	BLACK BY THE SIGNAGE CENTER
10	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TRISOLIC, SEMI-GLOSS
11	METAL PARAPET CAP	-	30GA GALVALANIZED	CYBERSPACE (SW7076) KNOWN DSG COATING

(WEST) LEFT SIDE ELEVATION 1/4" = 1'-0" B

EXTERIOR FINISH SCHEDULE 1/4" = 1'-0" 1



(SOUTH) FRONT ELEVATION 1/4" = 1'-0" C



(NORTH) REAR ELEVATION 1/4" = 1'-0" D



**CKE GROUP**  
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engineering • architecture • interior

SUITE #2  
WESTON, FLORIDA 33390  
PHONE (305) 558-4124  
FAX (305) 558-0328  
EMAIL info@ckegroup.com



EDUARDO L. CARCACHE  
CIVIL ENGINEER-FL 31914

Edwards L. Carcache, State of Florida  
Professional Engineer, License No. 31914

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12-24-2024	
12-25-2024	
12-10-2024	

CONTRACT DATE: 01-16-23  
BUILDING TYPE:  
PLAN/VERSION:  
SITE NUMBER:  
STORE NUMBER: 49390

TACO BELL  
2640 N. State Rd 7  
Hollywood, Florida 33021



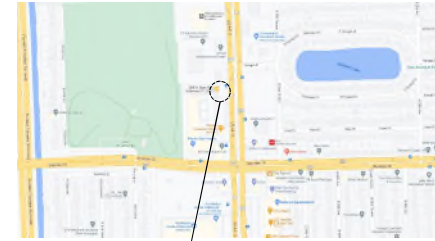
EXTERIOR ELEVATIONS

**A4.0**

PLOT DATE: 12-10-24

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

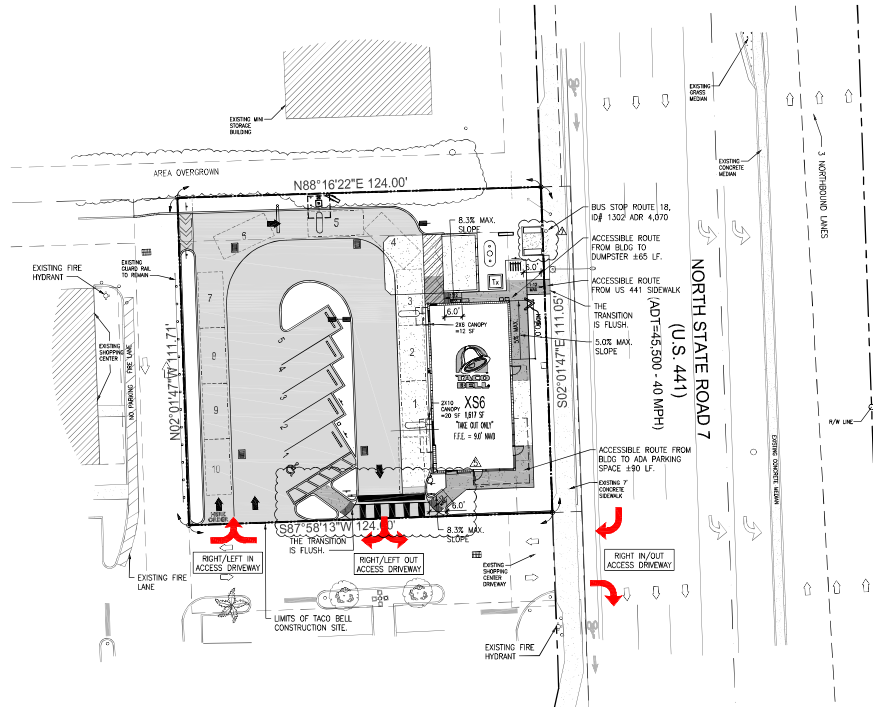
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SAD LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3177 ACRES), MORE OR LESS.



TACO BELL SITE

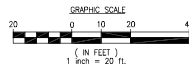
**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.



**SITE ACCESSIBLE ROUTE PLAN**

1"=20'-0"

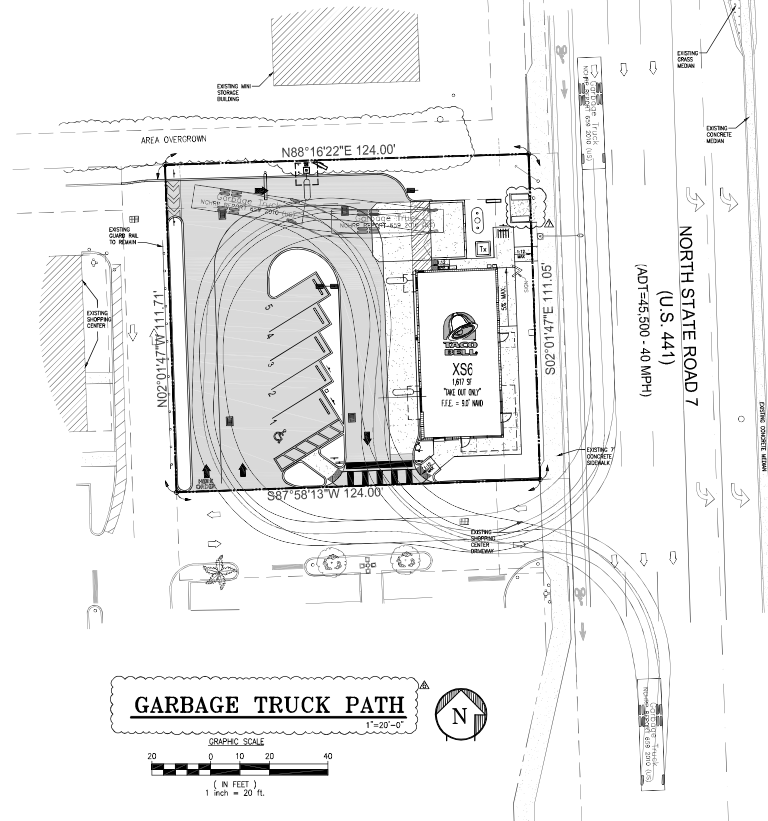


**SITE PLAN LEGEND**

	TRANSFORMER BOX ON PAD
#	NUMBER OF PARKING SPACE
	ACCESSIBLE PARKING SPACES
	ACCESSIBLE ROUTE PATH 3% MAX SLOPE 2% MAX CROSS SLOPE RAMPS: 1:12 MAX SLOPE
	NEW CONC. SIDEWALK/ DRIVEWAY
	NEW ASPHALT PAVEMENT
	GARBAGE TRUCK (38'x8')

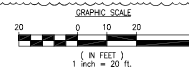
**NOTES:**

- PARKING LOT SLOPES ARE TO BE ADA COMPLAINT AND VERIFIED BY G.C.
- ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELLED TO MEET ADA REQUIREMENTS.



**GARBAGE TRUCK PATH**

1"=20'-0"



**GROUP**  
**CKE GROUP**  
INCORPORATED  
Engineering • Architecture • Planning  
1700 HOLLY PALM BLVD.  
SUITE #2  
MIRAGE, FLORIDA 33009  
PHONE: (305) 558-4124  
FAX: (305) 558-4124  
WWW.CKEGROUP.COM

STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
No. 31914  
52

SEAL  
EXPIRES 12/31/2018  
DATE: 12/31/2018  
ANJ28823-0011650

Esarobio L. Caracobe, State of Florida  
Professional Engineer, License No. 31914  
This item has been digitally signed and  
created by Esarobio L. Caracobe on 01/05/2018  
reduced here.  
Printed copies of this document are not  
considered original and control and the  
signature must be verified on any electronic  
copy.

DATE	REVISION
10/23/24	CITY COMMENTS
10/23/24	CITY COMMENTS
11/23/24	CITY COMMENTS
12/13/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PAPRI: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

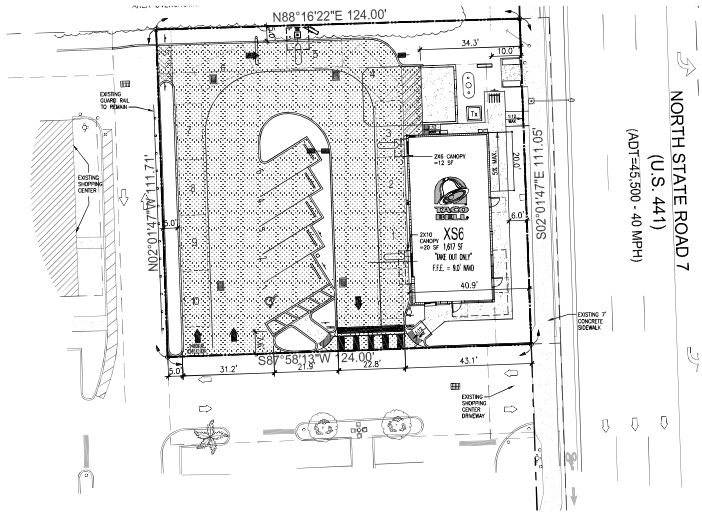
**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



XS6  
**SITE ACCESSIBLE ROUTES PLAN**

**C-1.1**  
PLOT DATE:





**VEHICULAR USE AREA DIAGRAM**

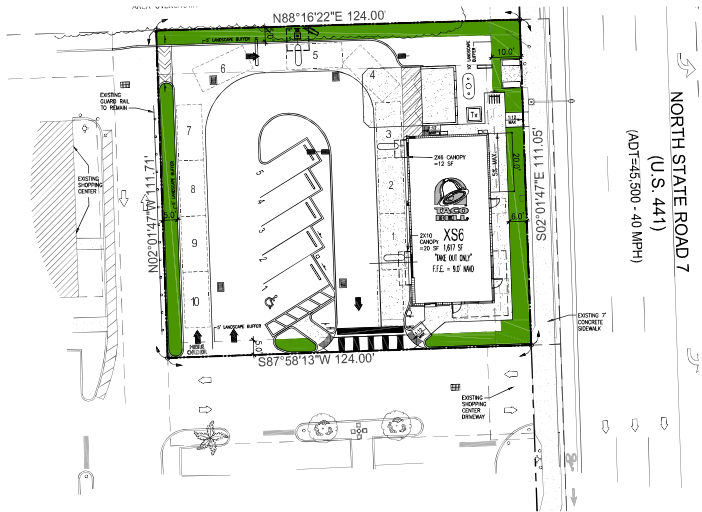
1"=20'-0"



**AT GRADE PARKING LOT & VEHICULAR USE SET BACKS**

	MIN	PROVIDED
FRONT	10.0'	34.3'
INTERIOR	5.0'	5.0' / 7.6'
REAR	5.0'	5.0'
ALLEY	5.0'	N/A

VEHICULAR USE AREA  
(7,708.2 S.F.)



**LANDSCAPE BUFFER DIAGRAM**

1"=20'-0"

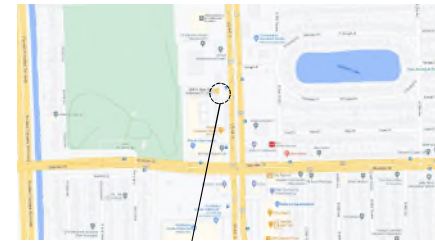


LANDSCAPE BUFFER  
(1,843.6 S.F.)

OPEN SPACE LANDSCAPE AREA  
(1,178.0 S.F.)

**SUMMARY**

	PROPOSED AREA
TOTAL SITE AREA	13,811.0 S.F. (0.317 Ac.)
VEHICULAR USE AREA	7,708.2 S.F. (55.81%)
LANDSCAPE BUFFER AREA	1,843.6 S.F. (13.35%)
OPEN SPACE LANDSCAPE AREA	1,178.0 S.F. (8.53%) (15.28% OF VEHICULAR USE AREA)
TOTAL LANDSCAPE AREA	3,021.6 S.F. (21.88%)



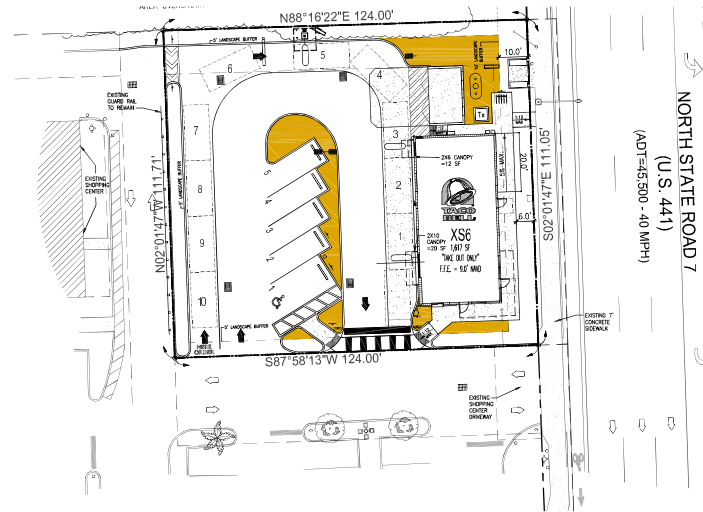
**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAD LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



**OPEN SPACE LANDSCAPE DIAGRAM**

1"=20'-0"



**GROUP**

**CKE GROUP**  
INCORPORATED  
Engineering • Architecture • Planning  
17200 HOLLYWOOD BLVD.  
SUITE #2  
MIRAGE, FLORIDA 33009  
PHONE: (305) 558-4124  
FAX: (305) 558-4124  
WWW.CKEGROUP.COM

EDUARDO L. CARACHO, P.E.  
No. 31914  
52  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

SEAL  
EDUARDO L. CARACHO  
Civil Engineering License No. 31914  
04/28/2013-04/28/2018

Eduardo L. Caracho, State of Florida Professional Engineer, License No. 31914  
This work has been digitally signed and sealed by Eduardo L. Caracho on the date indicated here.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

DATE	REVISIONS
16/03/24	CITY COMMENTS
16/23/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PAPR: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



XS6  
VEHICULAR USE,  
LANDSCAPE  
BUFFER & OPEN  
SPACE AREA  
DIAGRAMS

**C-1.2**

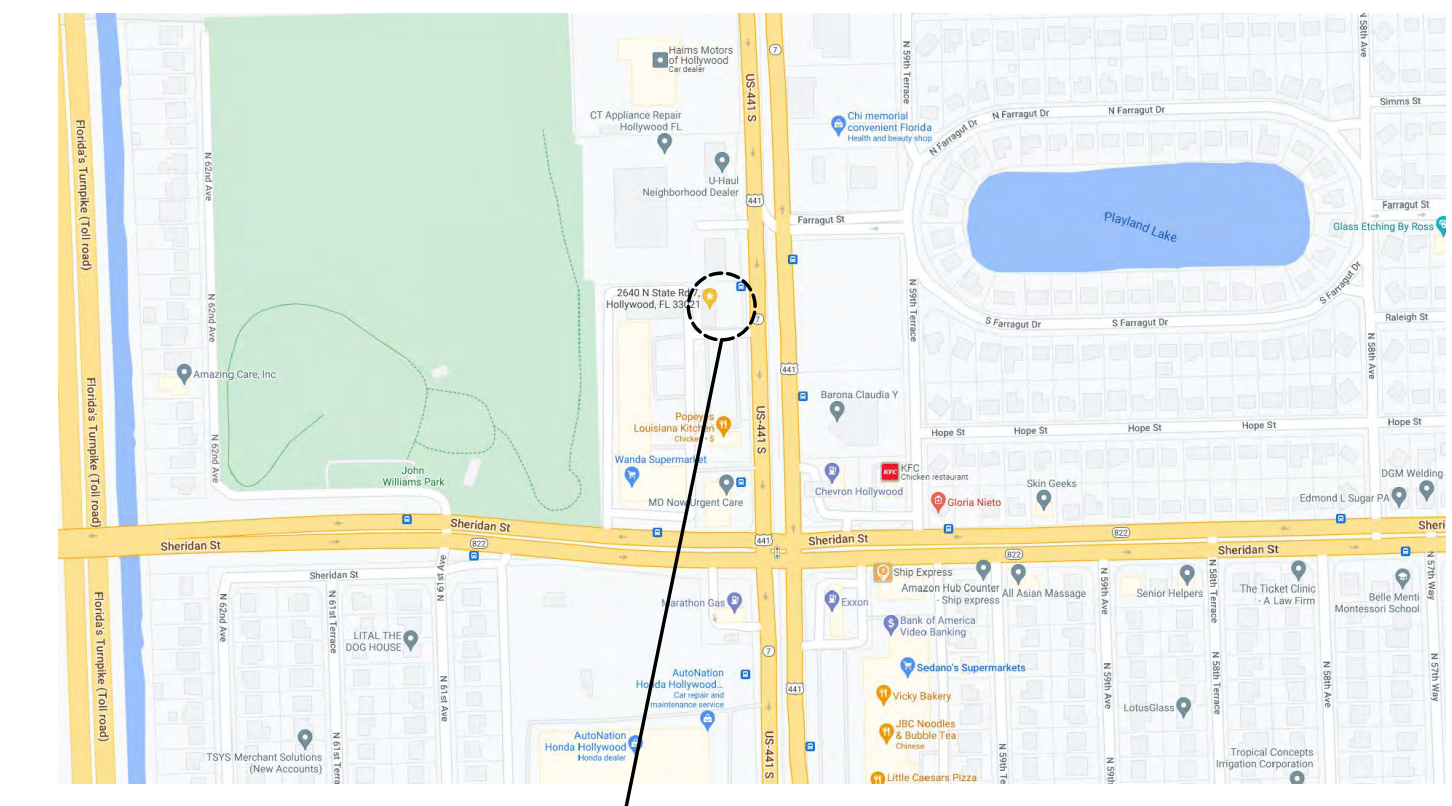
PLOT DATE:



**COMMERCIAL GREEN BUILDING PRACTICES INCORPORATED INTO PLANS**

(PER ORDINANCE 0-2011-06)

- ENERGY STAR APPROVED ROOFING MATERIALS.
- AT LEAST 80% OF PLANTS, TREES AND GRASS PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION), LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
- UTILIZE LED LIGHTS FOR OVER 90% OF PARKING LOT LIGHTING.
- REFRIGERANT: ALL BUILDING HVAC & R SYSTEMS ARE FREE OF CFU'S AND HALONS.
- REDEVELOPMENT OF EXISTING SITE - LOCATE THE BUILDING ON A SITE THAT HAS EXISTING HARDSCAPE OR BUILDINGS THAT MUST BE REPLACED BY THE NEW DEVELOPMENT AND HAS EXISTING UTILITY CONNECTIONS TO THE SITE.
- ACCESS TO PUBLIC TRANSPORTATION - THE SITE IS LOCATED WITHIN 1/2 MILE OF EXISTING RAIL NODE OR 1/4 MILE OF AT LEAST 1 ACTIVE BUS STOP.
- SIDEWALKS - PROVIDE SIDEWALKS FOR ALL PATHS TO ADJACENT CITY STREETS THAT ARE MINIMUM 4' WIDE WITH CONCRETE OR OTHER FIRM, SLIP RESISTANT SURFACES.
- REDUCE HEAT ISLAND EFFECT - UTILIZE A COOL-ROOF THAT WILL HAVE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 78, WHICH REDUCES THE HEAT ISLAND EFFECT.
- DURABLE EXTERIOR MATERIALS-BUILDING DESIGN SHALL INCLUDE DURABLE EXTERIOR BUILDING WALL AND WINDOW MATERIALS TO PREVENT DAMAGE FROM HIGH WINDS. THE EXTERIOR SURFACE OF A MINIMUM OF 80% OF WALLS SHALL BE CONCRETE OR BRICK MASONRY. WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING.
- LOW FLOW TOILET FIXTURES. THE TOILETS SHALL HAVE A MAXIMUM WATER USE OF 1.28 GPF. URINALS SHALL HAVE A MAXIMUM WATER USE OF 0.5 GPF. CALCULATIONS MUST BE SUBMITTED WITH PLANS. SYSTEM MUST PASS ALL REQUIRED INSPECTIONS BY PLUMBING INSPECTOR.



**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

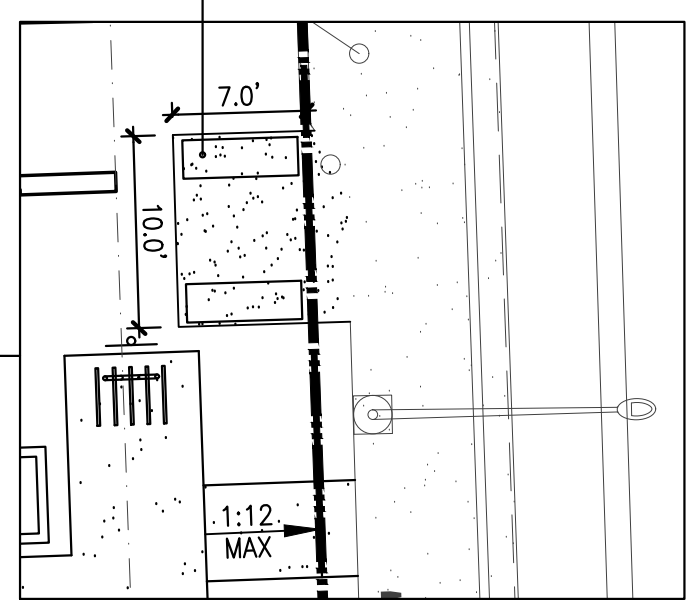
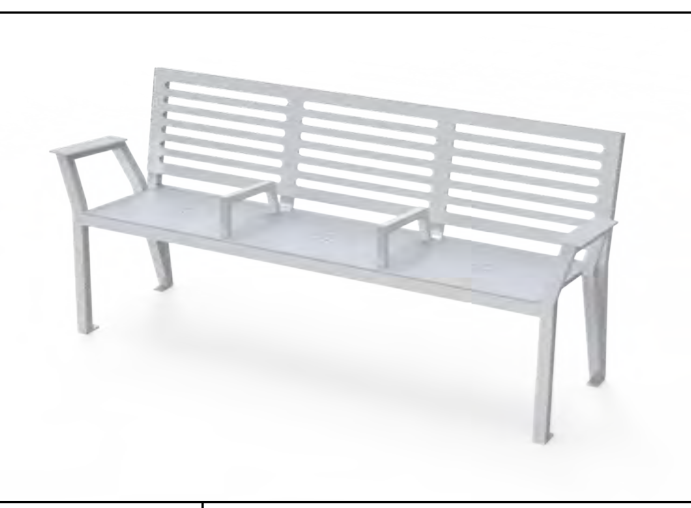
**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

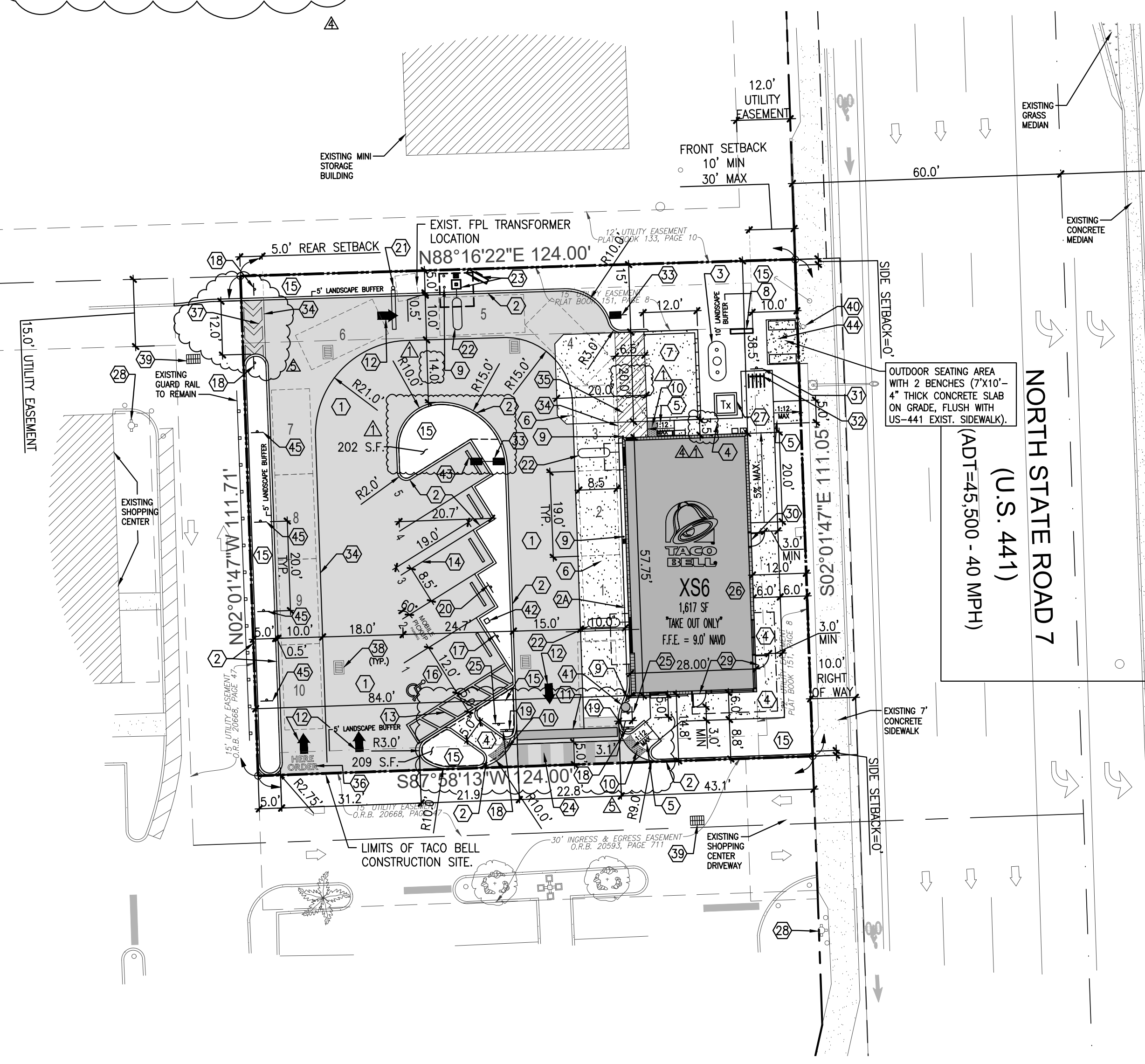
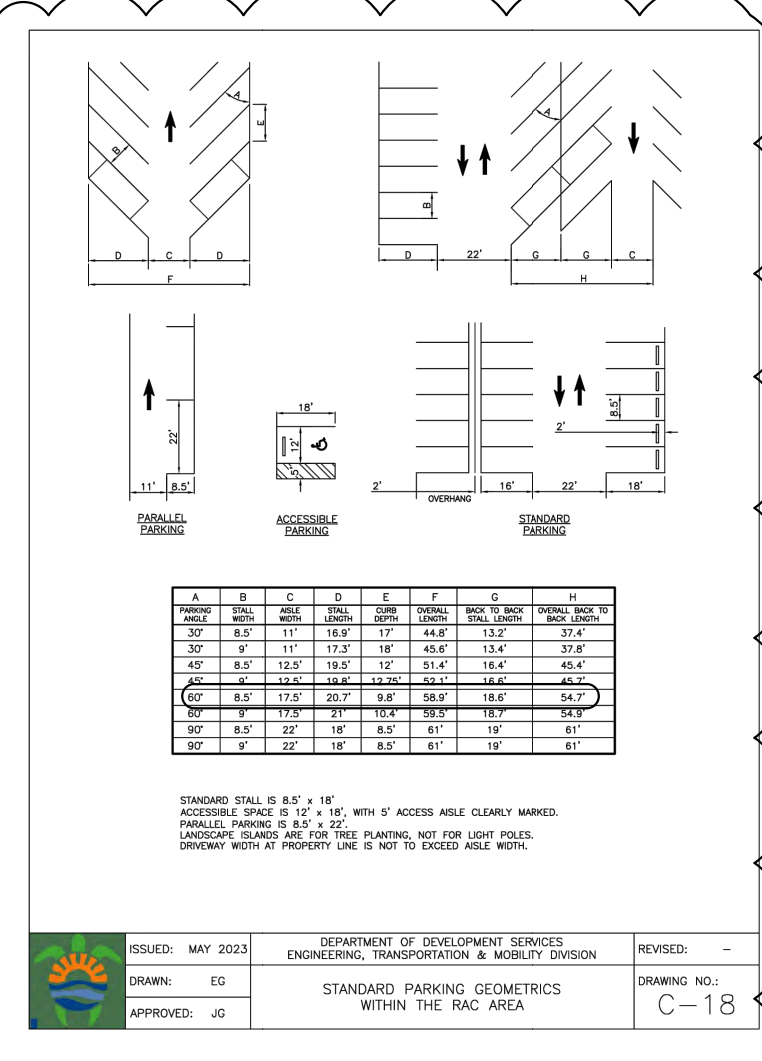
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

**CONSTRUCTION NOTES:**

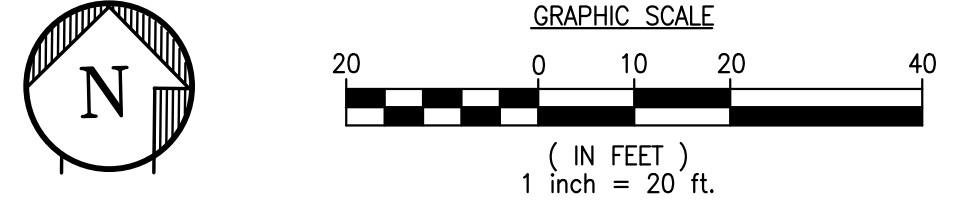
- ASPHALT PAVEMENT AS PER DETAIL.
- 6" P.C.C. TYPE 'D' CURB AS PER DETAIL.
- 9" P.C.C. TYPE 'B' CURB AS PER DETAIL.
- LP TANK
- P.C.C. CONCRETE SIDEWALK AS PER DETAIL
- P.C.C. HANDICAP RAMP - MAX SLOPE 1:12, WITH 6" EDGE PROTECTION CURB.
- FOOT STANDARD PLANS, DETECTABLE WARNINGS & SIDEWALK CURB RAMP DETAILS. SEE SHEET C-4.
- 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10 FEET ON CENTER.
- TRASH ENCLOSURE AS PER DETAIL SHT. C-7 (UNDER SEPARATE PERMIT).
- PROPOSED 24 S.F. - 8' HIGH MONUMENT SIGN (UNDER SEPARATE PERMIT)
- STEEL BOLLARD AS PER DETAIL.
- PROVIDE YELLOW DETECTABLE WARNING SURFACE. SEE DETAIL #10 ON SHEET C-4.
- 24" STOP BAR WHITE (THERMOPLASTIC)
- TRAFFIC ARROWS PAINTED WHITE.
- 6" WHITE STRIPES AT 60" (PER FOOT INDEX NO. 17346)
- 4" WHITE STRIPE (TYPICAL AT PARKING SPACES)
- LANDSCAPE AREA. REFER TO LANDSCAPE DRAWINGS.
- HANDICAP PARKING AS PER DETAIL.
- HANDICAP SIGN 7'-0" A.F.P.
- STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- PARKING SPACE W/MOBILE ORDER PICK-UP SIGN
- DRIVE-THRU CLEARANCE BAR BY SIGN CO.
- SENSOR LOOP AT D/T WINDOWS AND MENU BOARD
- DIGITAL MENU BOARD AND SPEAKER PEDESTAL W/CANOPY
- PEDESTRIAN CROSSING PER F.D.O.T. INDEX NO. 17346
- PEDESTRIAN CROSSING SIGN
- ALL ROOF MOUNTED EQUIPMENT AND ACCESSORIES SHALL BE SCREENED FROM VIEW BY PARAPET
- PROPOSED TRANSFORMER PAD
- EXISTING FIRE HYDRANT
- PROVIDE BUILDING ADDRESS "XXXX" WITH NUMERALS 9 INCHES HIGH. REFER TO BUILDING ELEVATION
- PROVIDE BUILDING ADDRESS AND BUSINESS NAME ON SERVICE DOOR. REFER TO BUILDING ELEVATION ALL LETTERS TO BE CONSISTENT IN STYLE (4" HIGH)
- 'BICYCLE PARKING' SIGN
- BICYCLE RACK BY HUNTCO-MODEL BR3 OR APPROVED EQUAL
- PROPOSED PARKING LIGHTS (REFER TO SHEET CE-1)
- 6" WHITE STRIPE (THERMOPLASTIC)
- 6" WHITE STRIPES AT 45° @ 24" O.C. (THERMOPLASTIC)
- DRIVE-THRU PAVEMENT MARKINGS
- 12" WHITE STRIPES AT 45° @ 3' O.C. (THERMOPLASTIC)
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- EXISTING BUS STOP. ROUTE #18, ID#1302.
- TRASH RECEPTACLE
- PROVIDE 3/4" ELECTRICAL CONDUIT FROM ELECTRICAL PANEL TO PARKING LOCATION FOR FUTURE CHARGING STATION FOR E.V. VEHICLES
- PRECAST CONCRETE WHEEL STOP (TYP. 6"x6"x6")
- NEW OUTDOOR SEATING AREA WITH 2 BENCHES (7'x10' - 4" THICK CONCRETE SLAB ON GRADE, FLUSH WITH US-441 EXIST. SIDEWALK)
- "NO PARKING" SIGN.



**OUTDOOR SEATING AREA ENLARGED**  
1"=10'-0"



**SITE PLAN**  
1"=20'-0"



- NOTES:**
- ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.
  - ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
  - ALL SIGNS WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION.
  - SEPARATE PERMIT ARE REQUIRED FOR EACH SIGN.
  - MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE 0.5 MAXIMUM ALLOWED.

**DRIVEWAYS & SIDEWALKS**

NEW ASPHALT PAVEMENT:	6,992.20 SQ. FT.
NEW CONC. DRIVEWAY (DT):	672.80 SQ. FT.
NEW CONC. DRIVEWAY (TRASH AREA):	396.70 SQ. FT.
NEW CONC. SIDEWALK:	870.30 SQ. FT.
NEW CONC. PAD (TRASH ENCLOSURE):	240.40 SQ. FT.
NEW LINEAR FT OF CURB (TYPE 'D'):	672.20 FT.

**SITE PLAN LEGEND**

- [Tx] TRANSFORMER BOX ON PAD
- # NUMBER OF PARKING SPACE
- [Wheelchair icon] ACCESSIBLE PARKING SPACES
- [Grey box] NEW ASPHALT DRIVEWAY
- [Dotted box] NEW CONC. SIDEWALK/ DRIVEWAY

**NOTES:**

- ALL PAVEMENT MARKINGS ARE TO COMPLY WITH THE CITY OF HOLLYWOOD BUILDING DEP. STANDARDS & FOOT.
- ALL RADI AND DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
- ALL SIGNAGE, CANOPIES, & DUMPSTER ENCLOSURE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
- PAVEMENT MARKING MATERIAL TO BE PAINT UNLESS OTHERWISE NOTED.
- ALL LIGHTS AND LIGHTING SHALL BE DESIGNED AND ARRANGED AS NOT TO CAUSE A DIRECT GLARE INTO ADJACENT PROPERTIES.

**MEETING DATES:**

PACO	DEC 19, 2022
PRELIMINARY TAC	N/A
FINAL TAC	FEB 6, 2023
PDB	

**SITE AND CODE DATA**

DESCRIPTION	TACO BELL RESTAURANT
CURRENT ZONING	C-MU (Central Mixed-Use District)
CURRENT LAND USE	Transit Oriented Corridor (TOC) A
CURRENT USE	Commercial

**1 GENERAL INFORMATION**

DESCRIPTION	TYPE	GROSS BUILDING AREA
NON-RESIDENTIAL	New Restaurant	1,617 SF
FAR	N/A	
TOTAL SITE AREA	13,811 (NET) SF (0.317 Acres)	
TOTAL BUILDING	1,617 SF	11.71%
TOTAL VEHICULAR USE AREA	7,738.2 SF	55.81%
INTERIOR LANDSCAPE AREA (MINUS PERIMETER LANDSCAPE SET BACK AREA)	1,178.0 SF	15.28% of vehicular use area
TOTAL LANDSCAPE AREA	3,021.6 SF	21.88%

**2 SETBACKS**

NEW RESTAURANT			DESCRIPTION			ALLOWED MIN-MAX			PROVIDED		
DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED
FRONT (EAST)	10'-0"/30'-0"	12'-0"									
REAR (WEST)	5'-0"	84'-0"									
SIDE (NORTH)	0'-0"	38'-6"									
SIDE (SOUTH)	0'-0"	14'-9.5"									

**3 MINIMUM ACTIVE USES**

FRONTAGE	REQUIRED	PROVIDED
U.S. 441 (111.05 FT)	60%	57.75% (52%)

**4 HEIGHTS PROVIDED**

NEW RESTAURANT			DESCRIPTION			ALLOWED MAXIMUM			PROVIDED		
DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED
HEIGHT	85'-0"	21'-4"									

**5 PARKING DATA**

DESCRIPTION	MINIMUM 1 PER 150 SF BUILDING AREA		REQUIRED MINIMUM	REQUIRED MAXIMUM
	MINIMUM	MAXIMUM		
NEW RESTAURANT, TAKE OUT	Standard parking spaces for 1,617 SF		11 sp	
-Bicycle Rack reduction	5% of 11 sp (see item #32 on plan)		(0.55)	
-Public Art reduction	5% of 11 sp (Graphic Art - Building East Elevation)		(0.55)	
			10 sp	
<b>TOTAL STANDARD PARKING SPACES</b>			<b>PROVIDED 5 SPACES INCLUDING 1 HC</b>	

**6 DRIVE-THRU VEHICULAR STACKING**

VEHICULAR STACKING	IN BOUND		OUT BOUND	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	6	6	1	1

**7-PROTECT SUMMARY**

**SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS AND SPECIAL EXCEPTION**

SPECIAL EXCEPTION	REQUIRED	PROVIDED	COMPLIANCE
VARIANCE			
PARKING SPACES	10	5	7.2.28
ACTIVE USE	60%	52%	C-MU (ii)
TRANSPARENCY	50%	27.90%	TOC D-D.3.a(ii)(c)
VEHICULAR USE LANDSCAPE	25%	15.28%	9.5.C.1

**GROUP**  
**CKE GROUP INCORPORATED**  
engineering • architecture • planning  
17190 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33326  
PHONE: (305) 558-4124  
FAX: (305) 826-0619  
EB#0004432

**EDUARDO L. CARCACHÉ**  
LICENSE No. 31914  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

SEAL  
EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

Eduardo L. Carcache, State of Florida, Professional Engineer, License No. 31914.  
This item has been digitally signed and sealed by Eduardo L. Carcache on the date indicated here.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE	REMARKS
03/24/23	CITY COMMENTS
10/01/24	CITY COMMENTS
10/23/24	CITY COMMENTS
12/13/24	CITY COMMENTS
12/19/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021

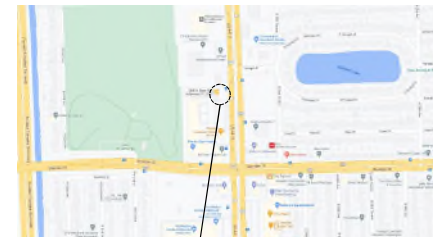


**SITE PLAN**

**C-1**

PLOT DATE:





**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

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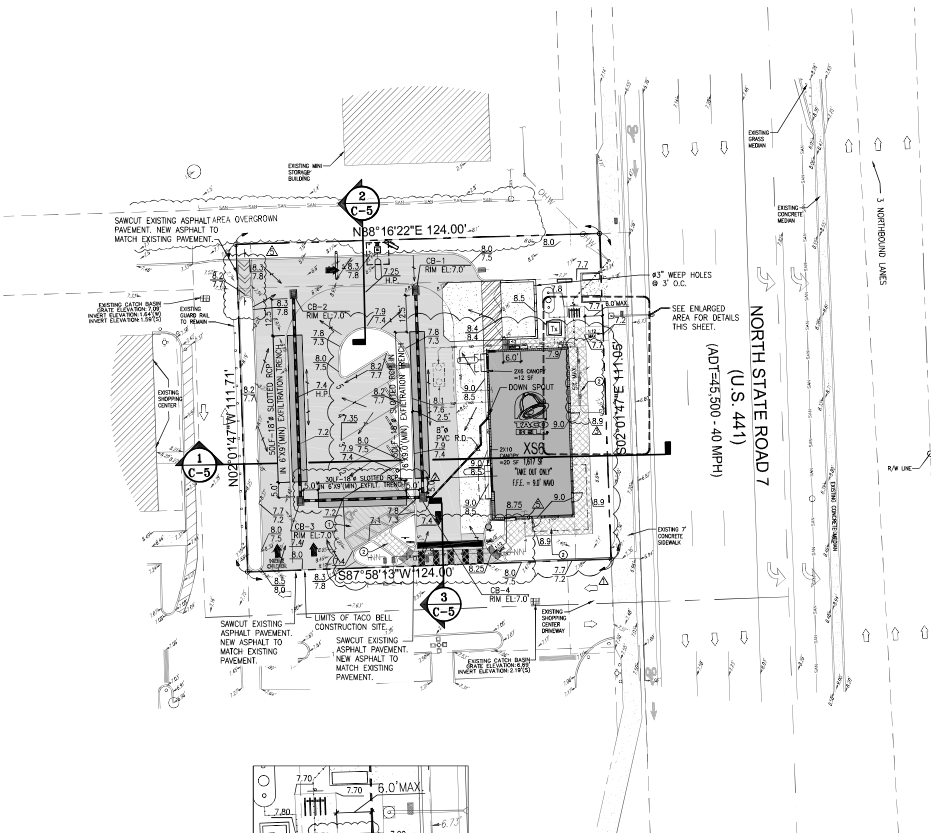
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FAX: (954) 558-0600  
WWW.CKEGROUP.COM

Professional Engineer  
No. 31074  
52  
STATE OF FLORIDA  
PROFESSIONAL ENGINEERING

SEAL  
DANIEL DICKSON  
Civil Engineer  
No. 12420  
11111 N.W. 11th St.  
Arlington, VA 22204

Edward L. Caracchio, State of Florida  
Professional Engineer, License No. 01944  
The firm has been digitally signed and  
sealed by Edward L. Caracchio on the date  
indicated here.  
Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any electronic  
copy.



- NOTES:**
1. SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK.
  2. SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY. COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
  3. SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE.
  4. GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING, COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.

**NOTE:**  
CONTRACTOR TO DEMOLISH EXISTING BUILDINGS (INCLUDING FOUNDATIONS AND UNDERGROUND STRUCTURES), REMOVE ALL DEBRIS, PROVIDE CLEAN AND GRADED SITE, AND VERIFY LOCATION AND INVERT ELEVATIONS, PRIOR TO TACO BELL START CONSTRUCTION.

**PROPOSED DRAINAGE SCHEDULE**

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-1	"M"-(4'x4')	7.0		2.5*		
CB-2	"M"-(5'x5')	7.0		2.5*		
CB-3	"M"-(5'x5')	7.0	2.5*		2.5*	
CB-4	"M"-(5'x5')	7.0	2.5*		(8'RD) 3.5*	2.5*

\* PROVIDE POLLUTION RETARDANT BAFFLE.

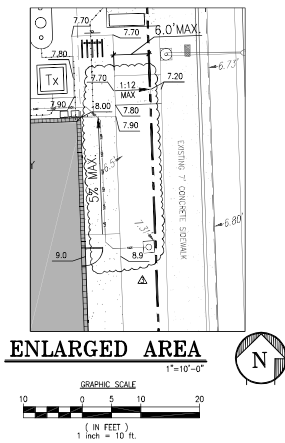
**REQUIRED FINISH FLOOR ELEVATION**

	REQ'D	PROPOSED
1. 1 FT ABOVE FLOOD CRITERIA	N/A-FLOOD ZONE "X"	N/A
2. 8 INCHES ABOVE CROWN OF ROAD	8.46+0.5 = 8.96'	9.0'

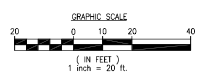
**LEGEND**

- Transformer Box on Pad
- Accessible Parking Spaces
- New Asphalt Driveway
- New Concrete Sidewalk/Driveway
- Prop. Direction of Drainage Flow Arrow
- Existing Elevation
- Prop. Top of Curb & Finished Pavement Elev.
- Proposed Elevations
- G.C. to Verify Max. 2% Slope at Handicap Space and Accessibility Route
- Slope Along Access Path Not to Exceed 5% and Max. 2% Cross-Slope.

- GENERAL NOTES**
1. ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
  2. ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY THE CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT.
  3. STABILIZED SUBGRADE SHALL HAVE LIME/ROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
  4. LIME/ROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
  5. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE 5-III.
  6. PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
  7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
  8. PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-418 AND 641, AND THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
  9. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  10. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
  11. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
  12. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
  13. REINFORCED CONCRETE PIPES SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-78, CLASS II, WALL THICKNESS BY LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS. (LATEST EDITION)
  14. ALL DRAINAGE SYSTEM PIPE JOINTS INCLUDING THOSE OUTSIDE THE EXFILTRATION TRENCH TO BE WRAPPED IN FOOT APPROVED FILTER FABRIC WITH SECURING DEVICE (INDEX No. 280, FOOT DESIGN STANDARDS JANUARY 2004)
  15. ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
  16. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  17. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO THE MIAMI DADE COUNTY PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
  18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY THE CITY OF HOLLYWOOD OFFICIALS OF UNDERGROUND UTILITIES.
  19. SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.



**PAVING & GRADING PLAN**  
1"=20'-0"



Know what's below.  
Call before you dig.

DATE	REVISION
03/24/23	CITY COMMENTS
07/28/24	DRAINAGE COMMENTS
09/17/24	CITY COMMENTS
10/23/24	CITY COMMENTS

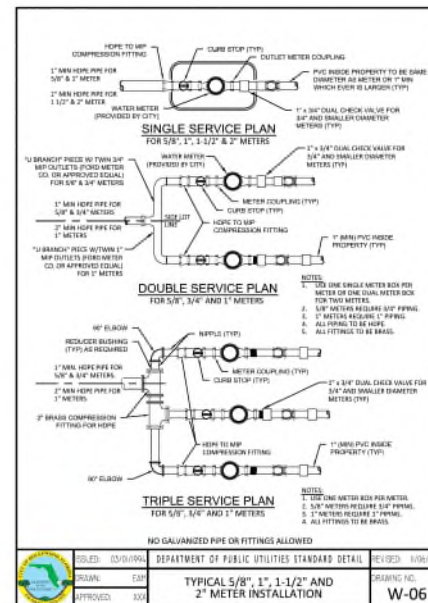
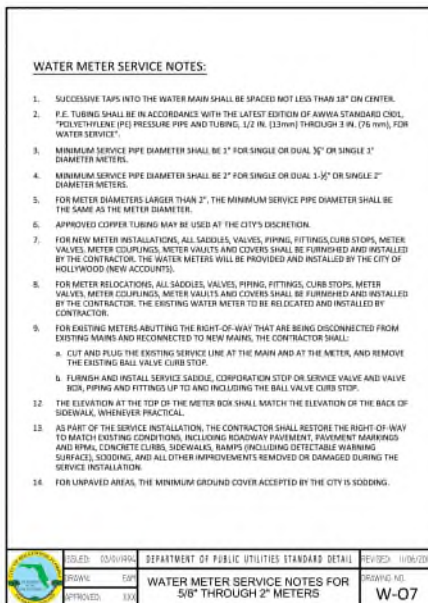
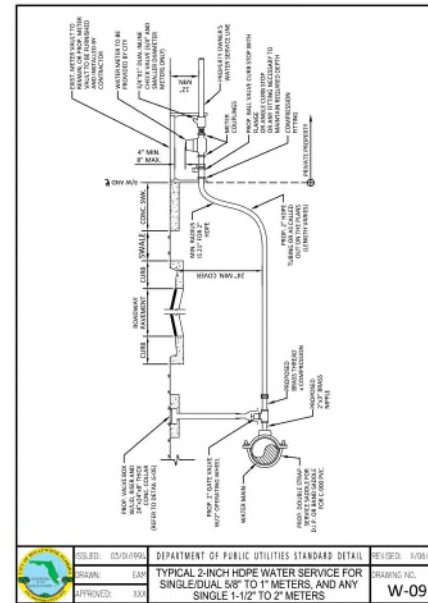
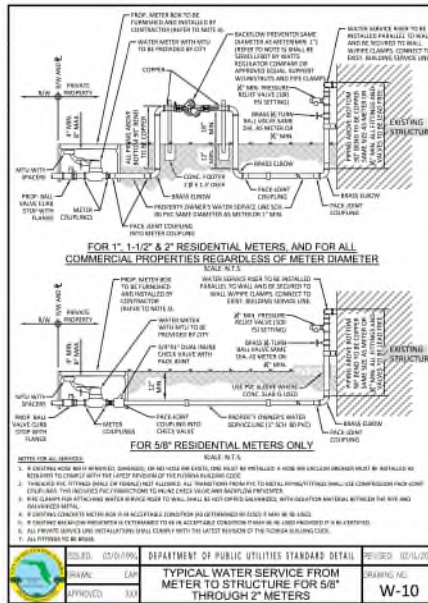
CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: XS6  
PLAN VERSION: \_\_\_\_\_  
BRAND DESIGNER: DANIEL DICKSON  
STORE NUMBER: 315988  
SITE NUMBER: TB-459380  
PAPR: DIANA DiCICCO  
DRAWN BY: AG  
JOB NO: \_\_\_\_\_

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



XS6  
**PAVING AND GRADING PLAN**

**C-2**  
PLOT DATE: \_\_\_\_\_



CONTRACT DATE: 03/24/23  
BUILDING TYPE: XS6  
PLAN VERSION: BRAND DESIGNER DANIEL DICKSON  
SITE NUMBER: 315988  
STORE NUMBER: TB-459380  
PAPR: DIANA DeOCCO  
DRAWN BY: AG  
JOB NO.: TACO BELL  
2640 N SR-7,  
HOLLYWOOD, FL 33021

DATE	REVISION
03/24/23	CITY COMMENTS

TACO BELL  
2640 N SR-7,  
HOLLYWOOD, FL 33021

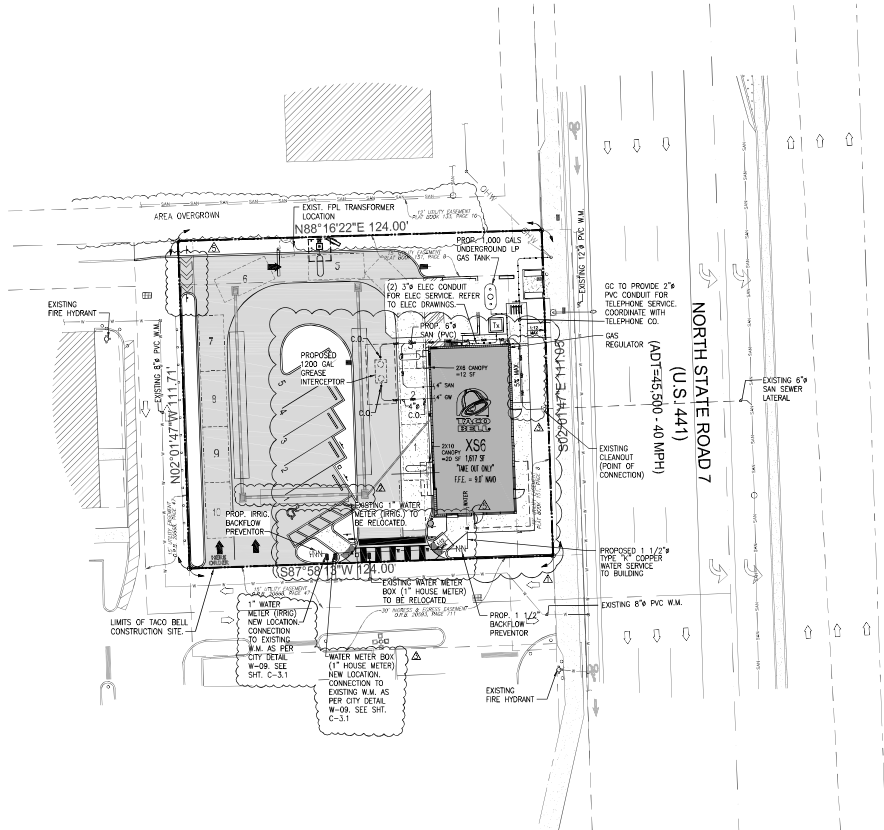
TACO BELL  
XS6



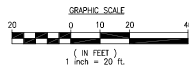
SITE UTILITY  
DETAILS

C-3.1





**SITE UTILITY PLAN**

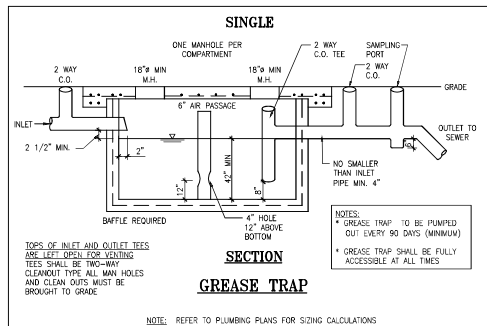
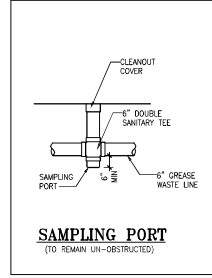


**SITE PLAN LEGEND**

	TRANSFORMER BOX ON PAD
#	NUMBER OF PARKING SPACE
	ACCESSIBLE PARKING SPACES
	NEW ASPHALT DRIVEWAY
	NEW CONC. SIDEWALK/ DRIVEWAY



- NOTES:**
- ALL HYDRANTS TO FALL WITHIN 2 FEET OF CURB. STEAMER CONNECTION TO FACE ROADWAY.
  - WATER SHALL BE AVAILABLE TO ALL HYDRANT'S PRIOR TO START OF CONSTRUCTION.
  - LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
  - BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
  - ALL CLEANOUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USG #7605 VALVE BOX).
  - ON-SITE SANITARY SEWER LATERAL TO BE PRIVATELY MAINTAINED.
  - CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
  - MINIMUM SLOPE OF SANITARY WASTE = 1%.
  - CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70 FT.
  - NO SOLVENT WELD SHALL BE USED.
  - REFER TO THE PUBLIC UTILITIES DEPARTMENT OF CITY OF HOLLYWOOD FOR ADDITIONAL DETAILS.
  - ON SITE WATER AND SEWER NOT INSIDE UTILITY EASEMENTS MUST BE PERMITTED AND INSPECTED BY PLUMBING OFFICIALS AT PUBLIC UTILITIES DEPARTMENT.
  - PHYSICAL SEPARATION BETWEEN THE BUILDING AND THE WATER AND SEWER SERVICE LINES IS REQUIRED PRIOR TO BUILDING DEMO.



**SAMPLING PORT NOTE:**  
SAMPLING PORT SHALL BE ACCESSIBLE AT ALL TIMES WITHOUT HAVING TO REMOVE ANY MERCHANDISE AND WITHOUT STANDING WATER ON GROUND SURFACE. WITH A MINIMUM 24 INCHES HORIZONTAL CLEARANCE FROM ANY WALL, FIXED EQUIPMENT OR STORED MATERIALS AND A MINIMUM 48 INCHES VERTICAL CLEARANCE FROM ANY FIXED EQUIPMENT OR STORED MATERIALS.

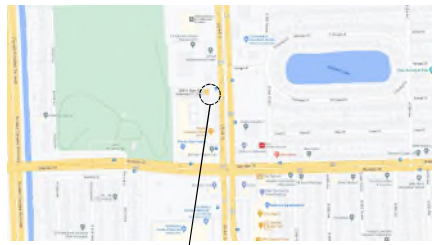
**PROPOSED WATER & SEWER DEMAND**

USE	SIZE	DEMAND	TOTAL DEMAND
WATER	1,167 S.F.	100 GALS PER 1,000 S.F. PER DAY	116.7 GALS PER DAY
SEWER	1,167 S.F.	85.12 GALS PER 1,000 S.F. PER DAY	99.3 GALS PER DAY
		DEMAND	35 GPD PER SEAT

**LEGAL DESCRIPTION:**

(TITLE COMMITMENT)  
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13.811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

**LOCATION MAP**  
NOT TO SCALE



SUITE #2  
WESTON, FLORIDA 33390  
PHONE: (954) 558-4124  
FAX: (954) 558-4049  
WWW.CKEGROUP.COM



SEAL  
EDUARDO L. CARABALLO  
Civil Engineer License #31914  
EXPIRES 12/31/2024  
AHL2816CJ-0011550

Eduardo L. Caraballo, State of Florida, Professional Engineer, License No. 31914  
This drawing has been digitally approved and sealed by Eduardo L. Caraballo on the date indicated above.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE	REVISIONS
03/24/23	CITY COMMENTS
07/29/24	DRAINAGE COMMENTS
09/21/24	CITY COMMENTS
10/23/24	CITY COMMENTS

CONTRACT DATE: XS6  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315988  
STORE NUMBER: TB-459380  
PAPR: DIANA DeOCCO  
DRAWN BY: AG  
JOB NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



XS6

**SITE UTILITY PLAN**

**C-3**  
PLOT DATE:



DATE	REMARKS
03/24/23	CITY COMMENTS
10/01/24	CITY COMMENTS
10/23/24	CITY COMMENTS
12/19/24	CITY COMMENTS

CONTRACT DATE:  
 BUILDING TYPE: XS6  
 PLAN VERSION:  
 BRAND DESIGNER: DANIEL DICKSON  
 SITE NUMBER: 315998  
 STORE NUMBER: TB-459380  
 PA/PM: DIANA DeCICCO  
 DRAWN BY: AG  
 JOB NO.:

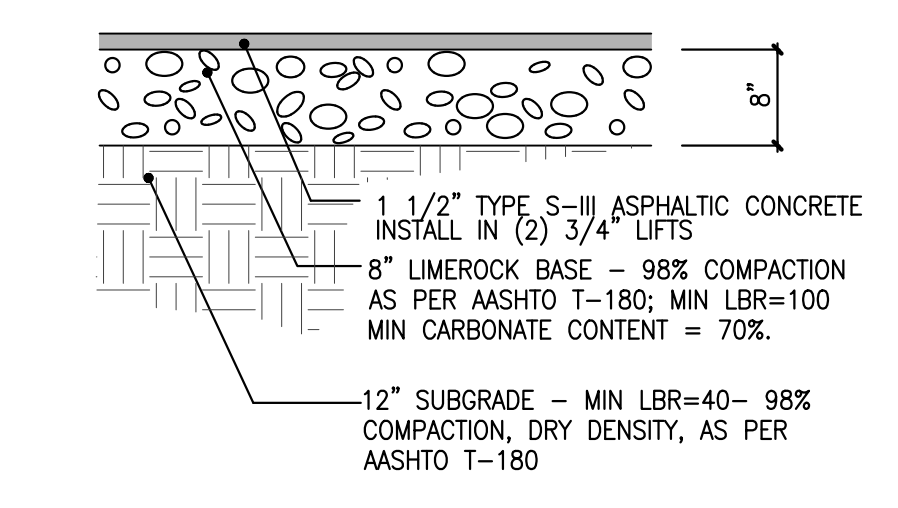
**TACO BELL**  
 2640 N SR-7,  
 HOLLYWOOD, FL 33021

**TACO BELL**  
 XS6

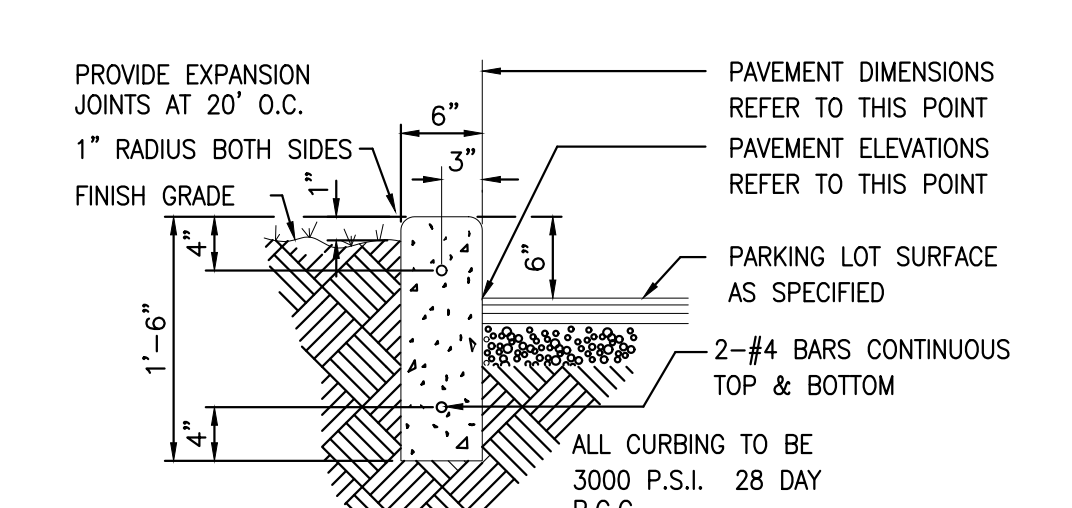
**SITE DETAILS**

**C-4**

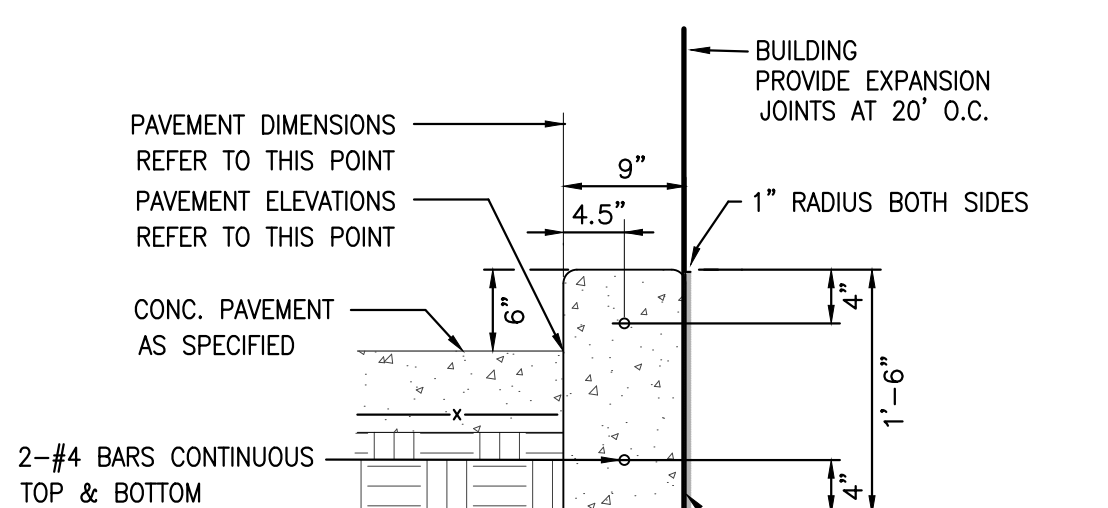
PLOT DATE:



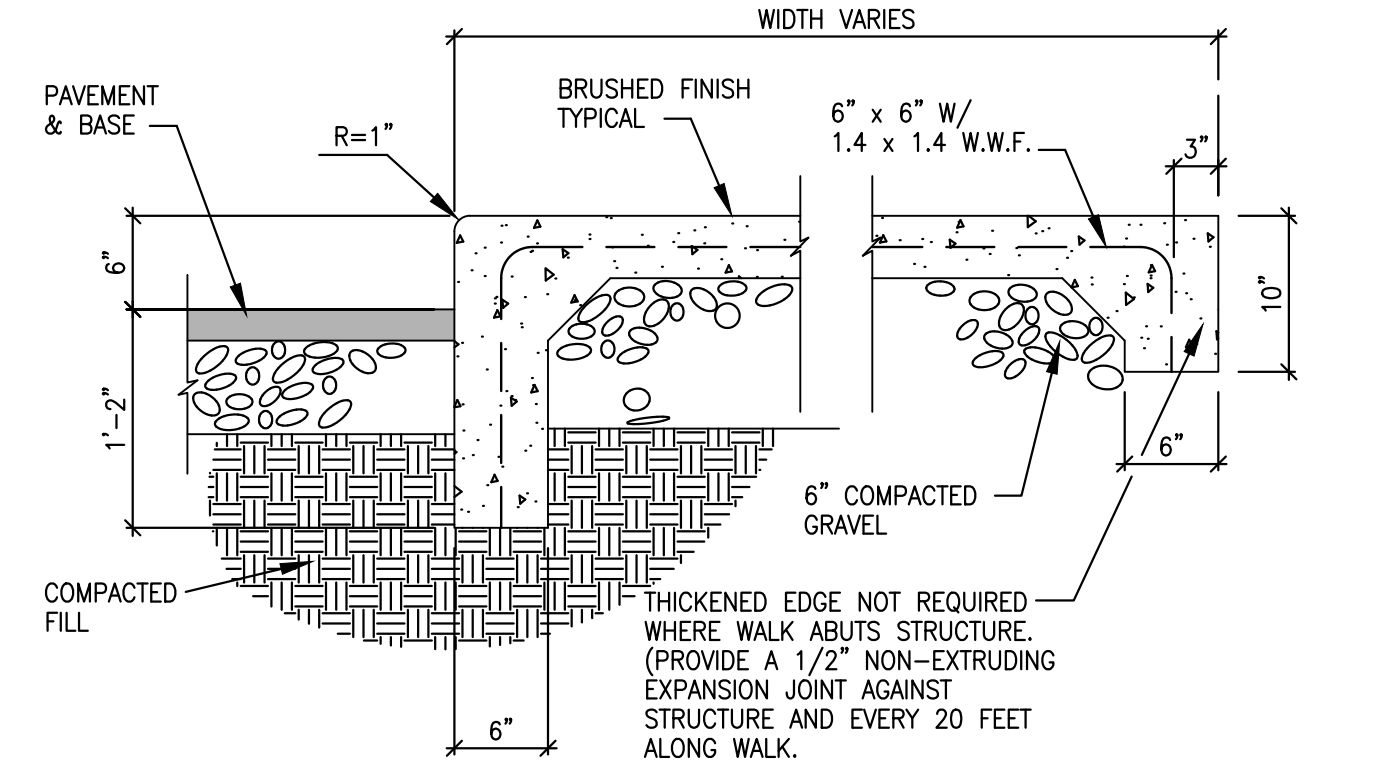
**1 PAVEMENT DETAIL**  
 NOT TO SCALE



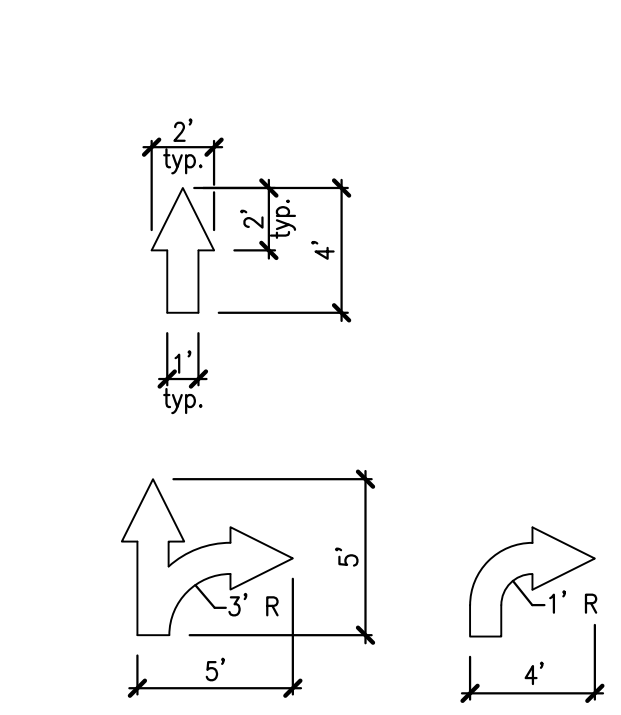
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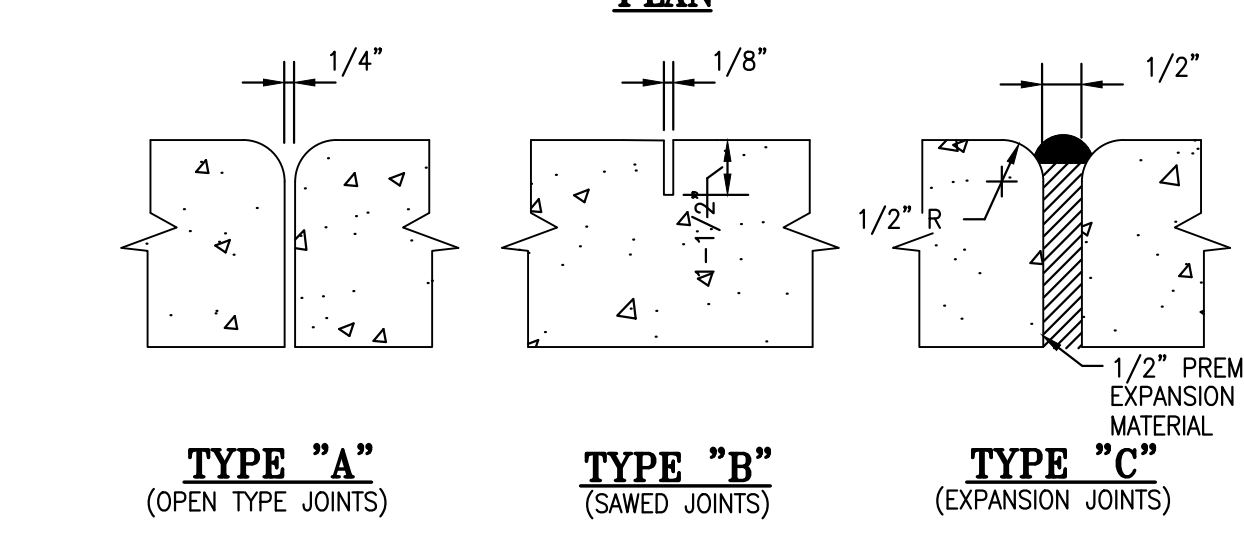
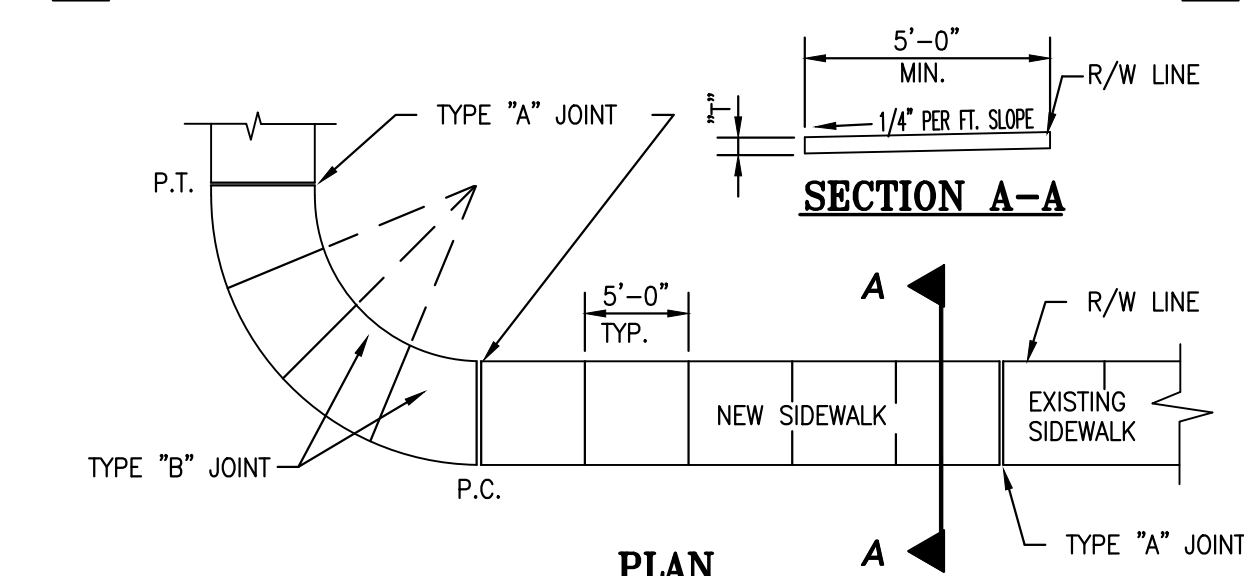
**3 9\"/>
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**4 BRUSHED CONCRETE WALK**  
 NOT TO SCALE



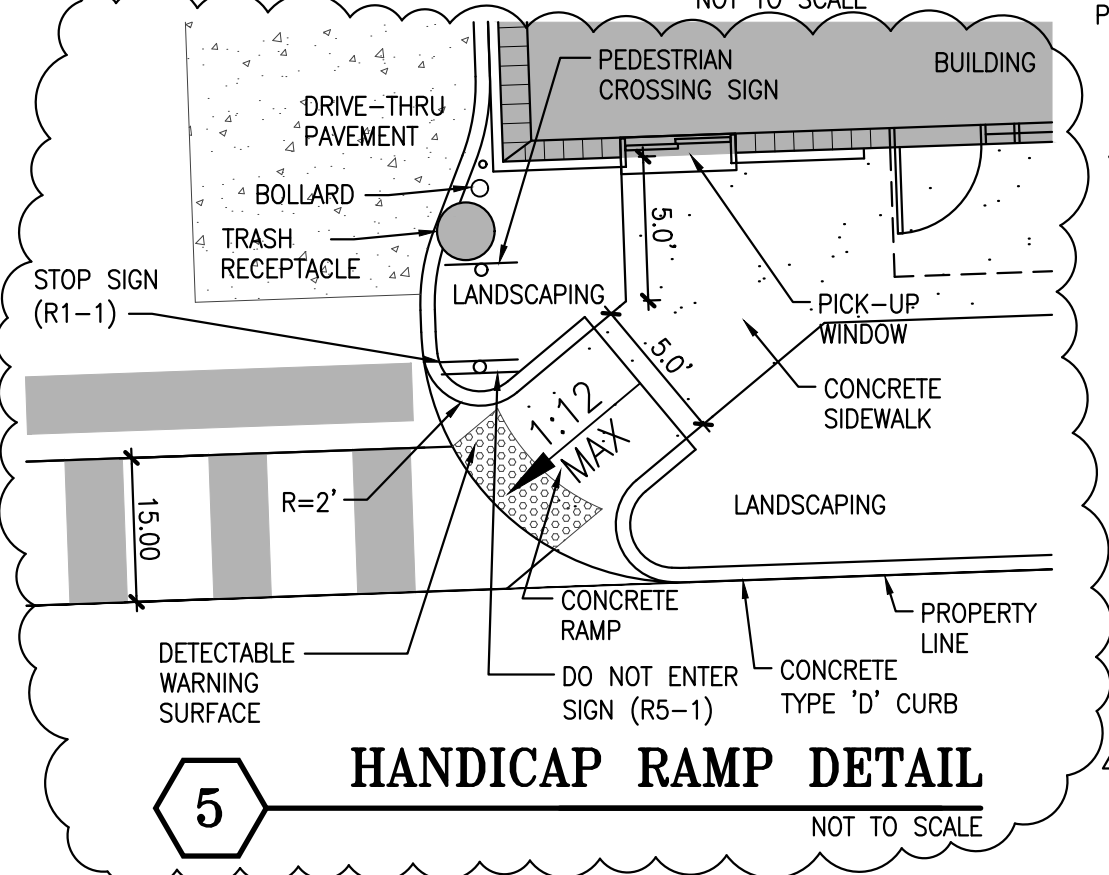
**12 PAINTED ARROWS**  
 NOT TO SCALE



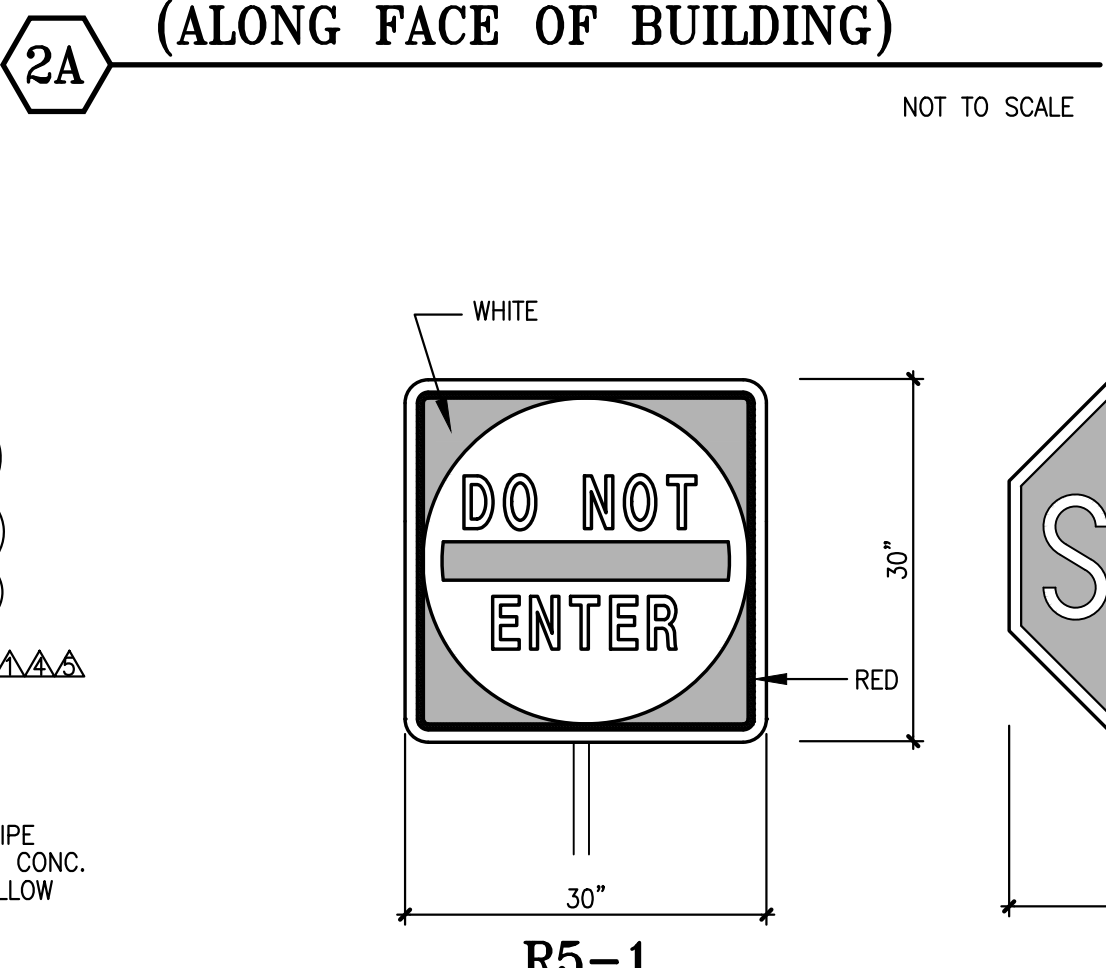
LOCATION	T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

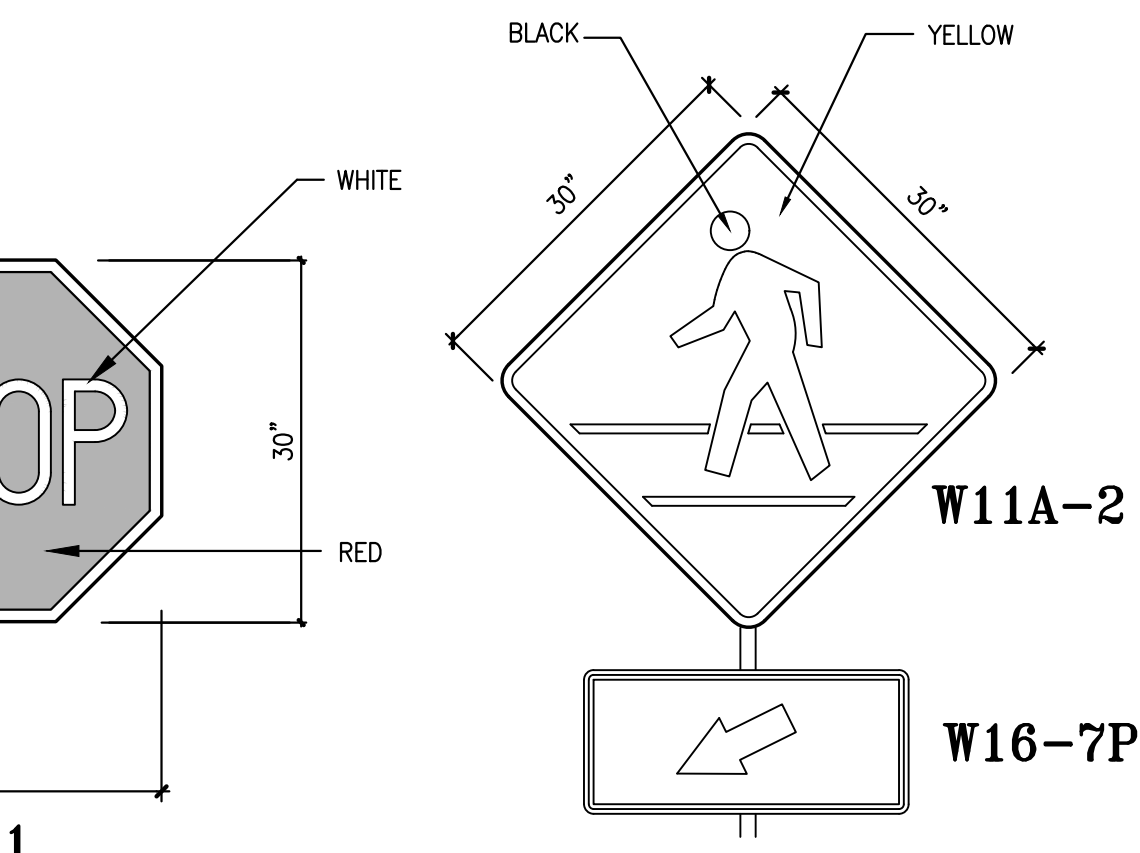
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES



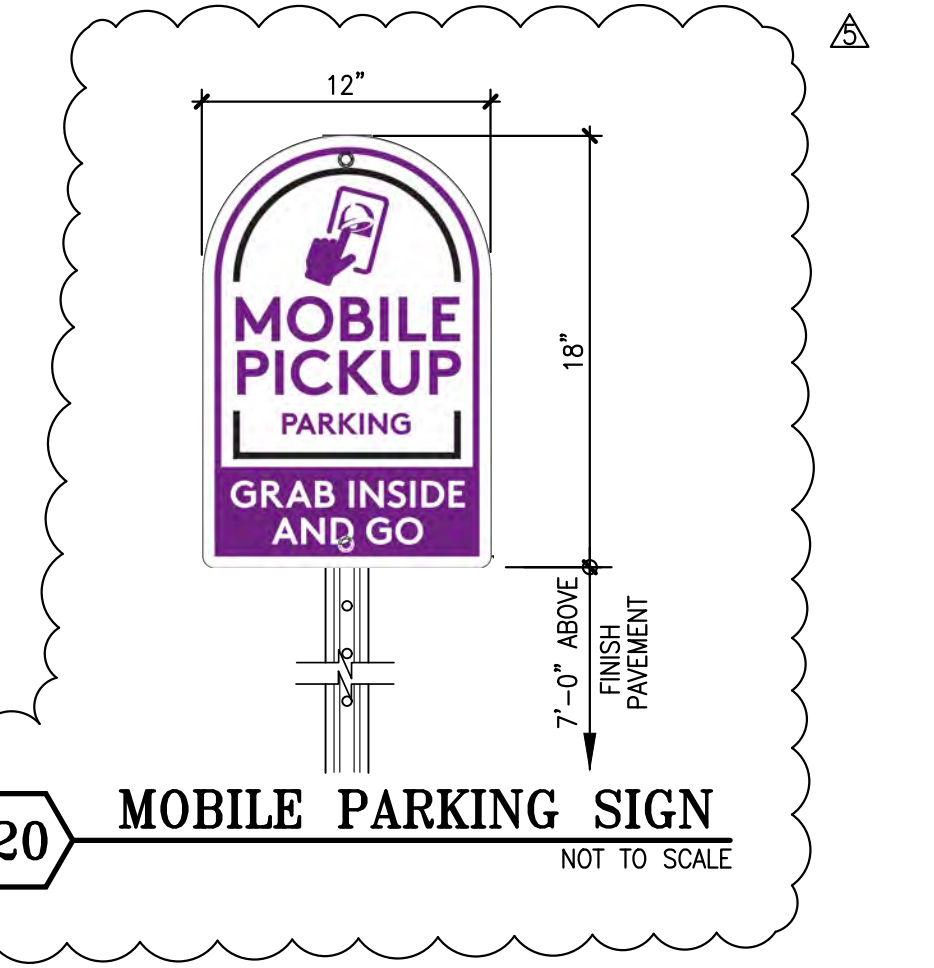
**5 HANDICAP RAMP DETAIL**  
 NOT TO SCALE



**18 DO NOT ENTER**  
**19 STOP**



**25 W11A-2**  
**W16-7P**



**20 MOBILE PARKING SIGN**  
 NOT TO SCALE

**4 SIDEWALK CONSTRUCTION DETAIL**  
 NOT TO SCALE

**9 STEEL BOLLARD DETAIL**  
 NOT TO SCALE

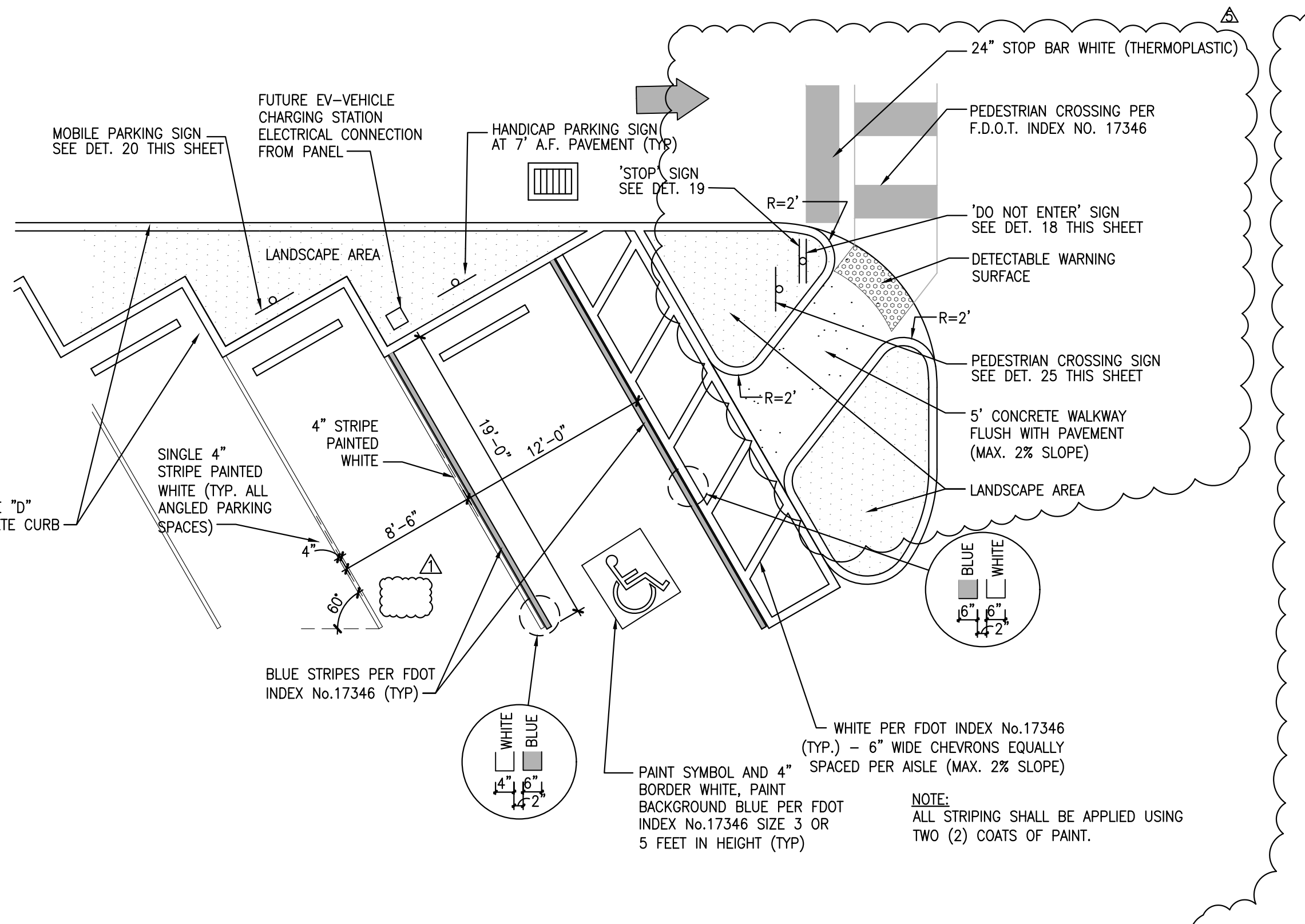
**10 DETECTABLE WARNING SURFACE DETAIL**  
 NOT TO SCALE

**31 BICYCLE PARKING SIGN**  
 NOT TO SCALE

**17 HANDICAP PARKING SIGN (FPT-20-04 PER FDOT INDEX 17355)**  
 NOT TO SCALE

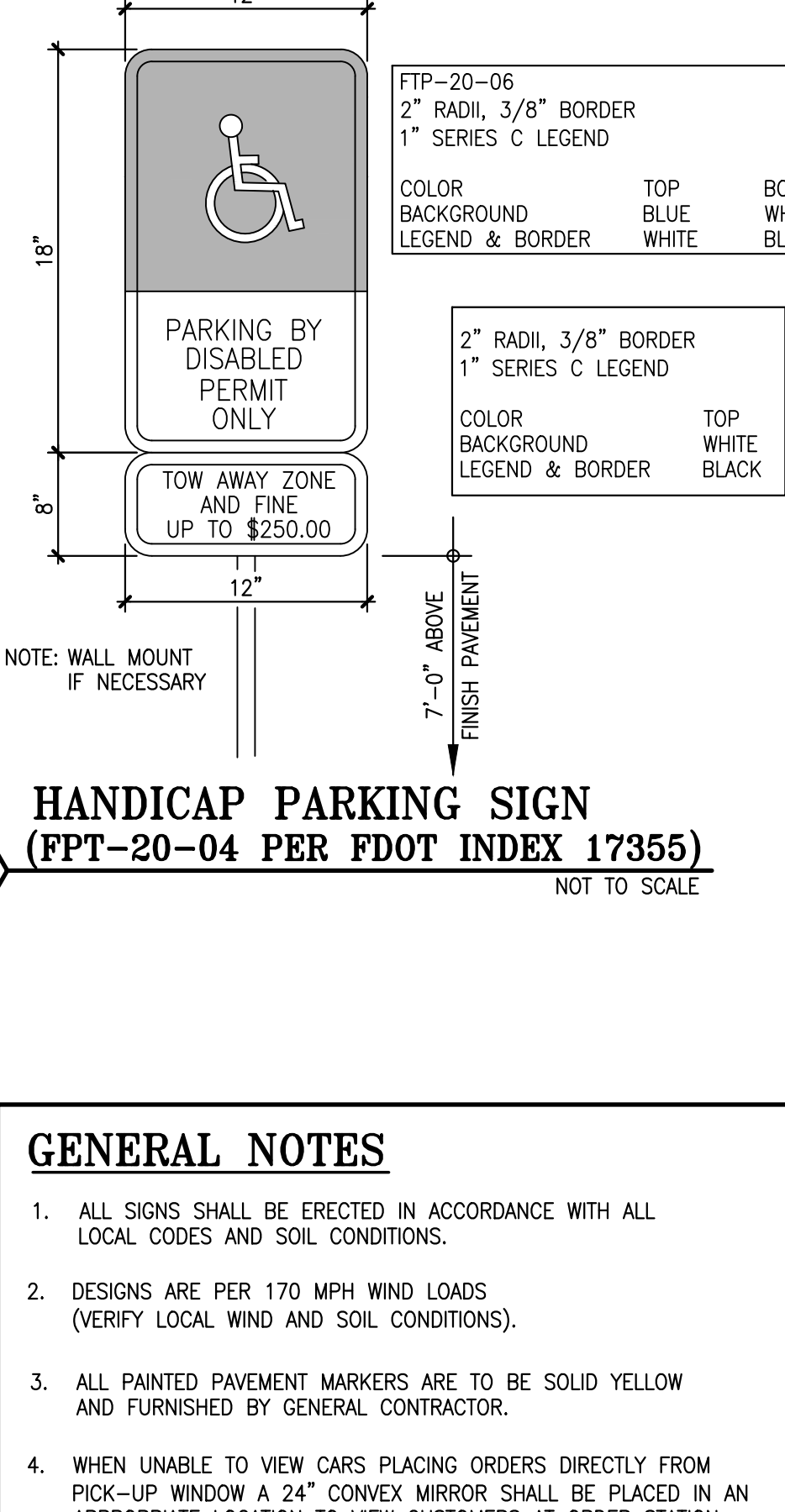
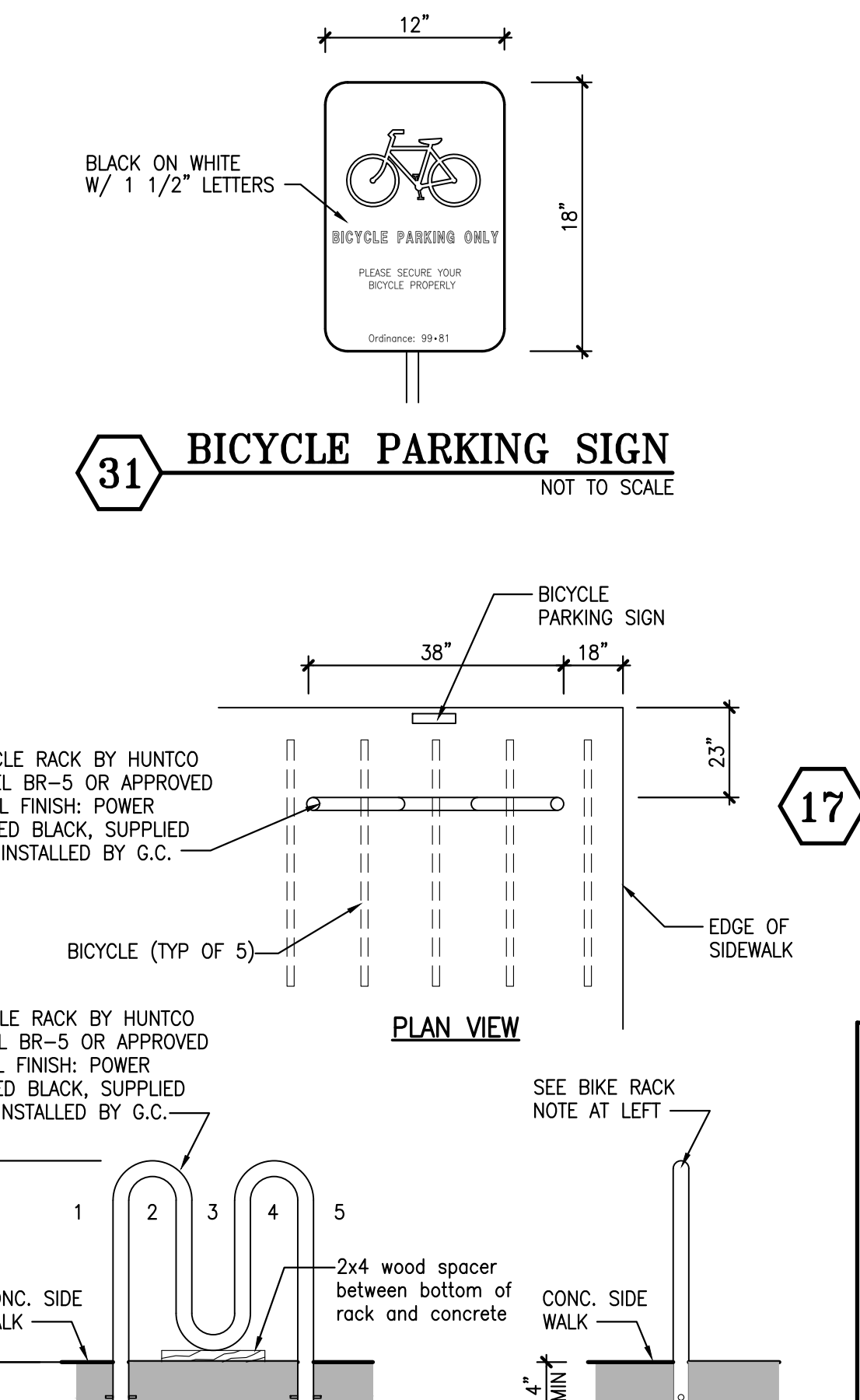
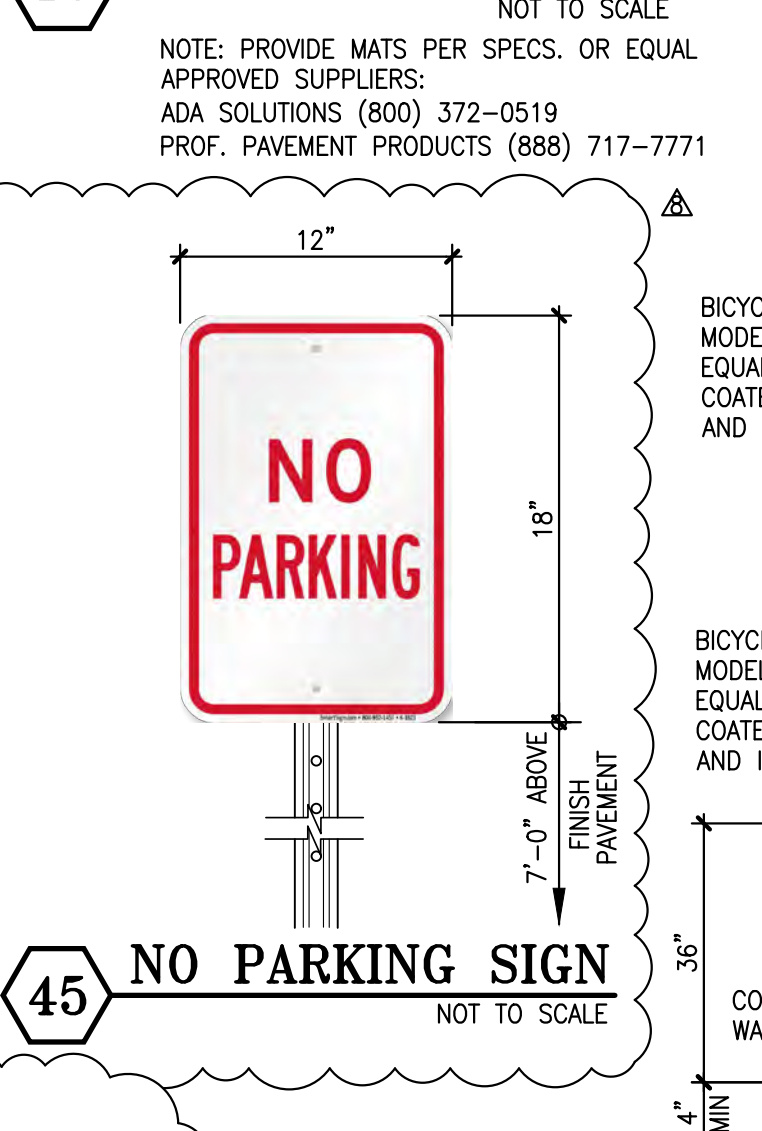
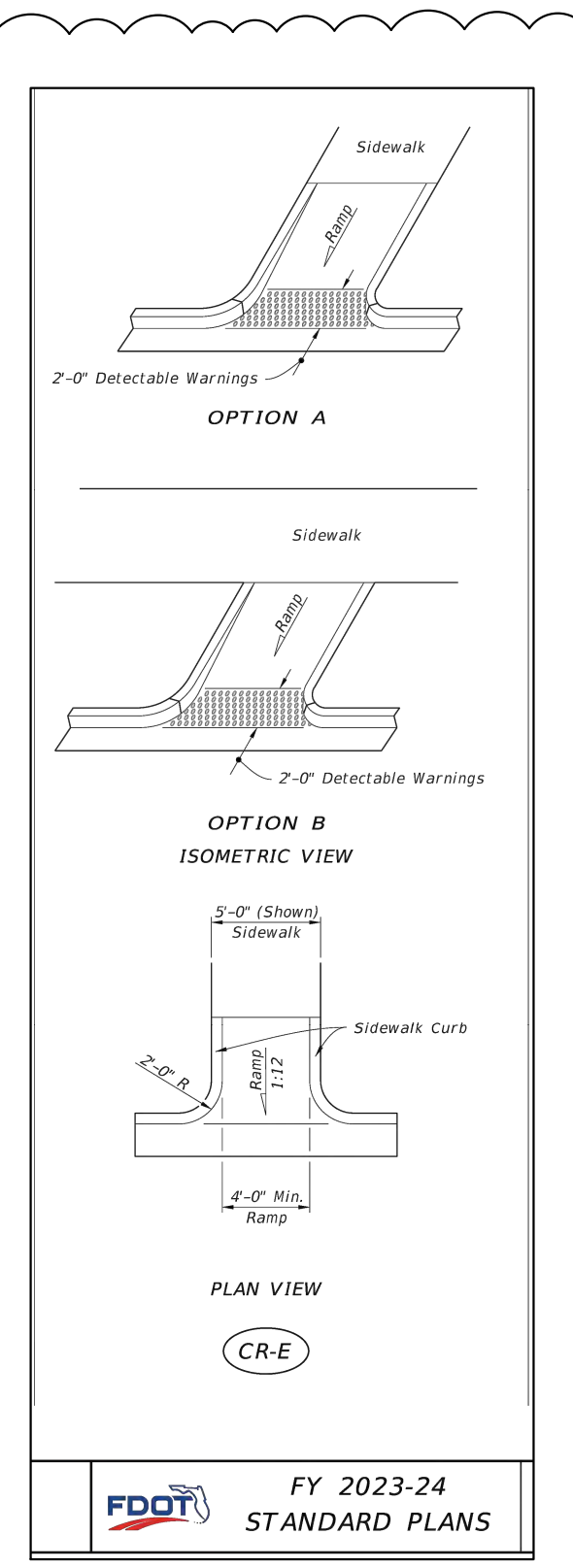
**45 NO PARKING SIGN**  
 NOT TO SCALE

**32 BIKE RACK DETAIL**  
 NOT TO SCALE



**14 16 STANDARD AND HANDICAP PARKING DETAILS**  
 NOT TO SCALE

**5A DETECTABLE WARNINGS & SIDEWALK CURB RAMP DETAILS (FDOT INDEX 522-002)**  
 NOT TO SCALE



- GENERAL NOTES**
- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
  - DESIGNS ARE PER 170 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).
  - ALL PAINTED PAVEMENT MARKERS ARE TO BE SOLID YELLOW AND FURNISHED BY GENERAL CONTRACTOR.
  - WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.

NOTE:  
 ALL STRIPING SHALL BE APPLIED USING TWO (2) COATS OF PAINT.

NOTE:  
 ALL CURBING TO BE 3000 P.S.I. 28 DAY P.C.C.

NOTE:  
 ALL CURBING TO BE 3000 P.S.I. 28 DAY P.C.C.

NOTE:  
 WALL MOUNT IF NECESSARY

NOTE:  
 ALL STRIPING SHALL BE APPLIED USING TWO (2) COATS OF PAINT.

NOTE:  
 PROVIDE MATS PER SPECS. OR EQUAL APPROVED SUPPLIERS:  
 ADA SOLUTIONS (800) 372-0519  
 PROF. PAVEMENT PRODUCTS (888) 717-7771

NOTE:  
 PROVIDE MIN 70% COLOR CONTRAST

NOTE:  
 WALL MOUNT IF NECESSARY

NOTE:  
 ALL STRIPING SHALL BE APPLIED USING TWO (2) COATS OF PAINT.

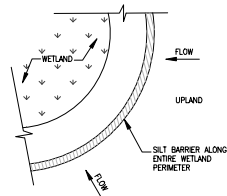
NOTE:  
 PROVIDE MATS PER SPECS. OR EQUAL APPROVED SUPPLIERS:  
 ADA SOLUTIONS (800) 372-0519  
 PROF. PAVEMENT PRODUCTS (888) 717-7771

NOTE:  
 PROVIDE MIN 70% COLOR CONTRAST

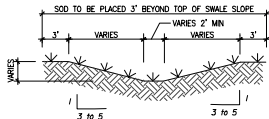
NOTE:  
 WALL MOUNT IF NECESSARY



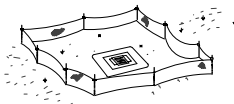




**SILT BARRIER**  
Figure 1

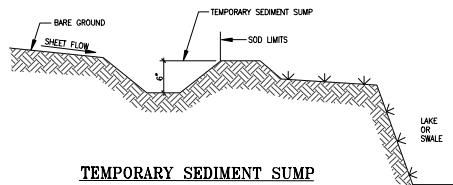


**TYPICAL SWALE SECTION**  
Figure 4

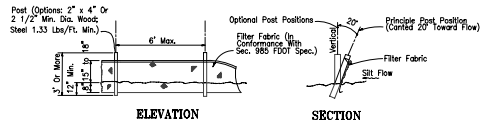


Do not deploy in a manner that all fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

**SILT FENCE APPLICATIONS**  
Figure 7

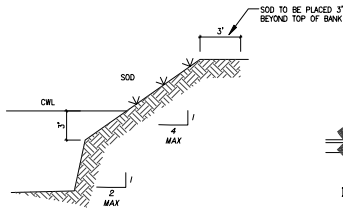


**TEMPORARY SEDIMENT SUMP**  
Figure 10

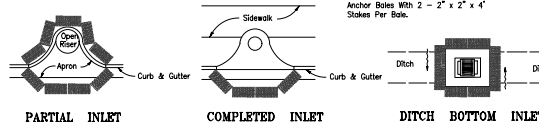


Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

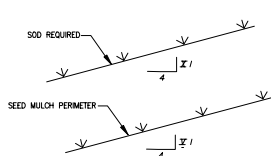
**TYPE III SILT FENCE**  
Figure 2



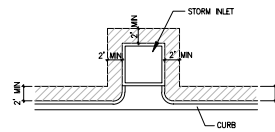
**TYPICAL RETENTION/DETENTION POND SECTION**  
Figure 5



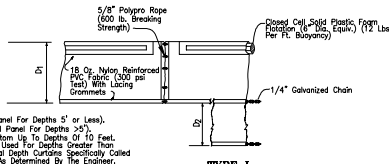
**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**  
Figure 6



**GRASS SLOPES**  
Figure 8



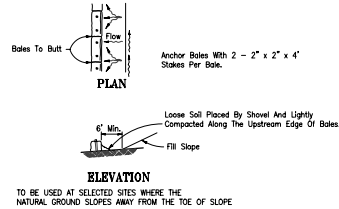
**SOD ALONG CURB AND AROUND INLET**  
Figure 9



D<sub>1</sub> = 5' Std. (Single Panel For Depths 5' or Less).  
D<sub>2</sub> = 7' Std. (Additional Panel For Depths > 5').  
Curtain To Reach Bottom Up To Depths Of 10 Feet.  
Two (2) Panels To Be Used For Depths Greater than 10 Feet Unless Special Depth Curtains Specifically Called For in The Plans Or As Determined By The Engineer.  
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

**FLOATING TURBIDITY BARRIERS**

**STORMWATER POLLUTION PREVENTION DETAILS**  
NOT TO SCALE



**BARRIERS FOR FILL SLOPES**  
Figure 3

**Best Management Practices**

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C.. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

**SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION**

- 1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.
- 1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.
- 1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.
- 1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any fill which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS**

- 2.1 Barriercodes shall be placed around all protected (preserved) habitats including mesic and uplands during development.
- 2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

**SECTION 3 GENERAL EROSION CONTROL**

- 3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake stop cover-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.
- 3.2 Cleared site development areas not continuously scheduled for construction activities shall be covered with hay or straw-seeded and periodically watered sufficient to stabilize the temporary groundcover.
- 3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.
- 3.4 All grass slopes constructed steeper than 4H:1V shall be soded as soon as practical after their construction as shown in Figure 8.
- 3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.
- 3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

**SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION**

- 4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.
- 4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.
- 4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:
  - a. In general erosion shall be controlled at the furthest practical upstream location.
  - b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.
  - c. Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment surges within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.
  - d. Silt barriers, any fill which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 5 CONTROL OF WIND EROSION**

- 5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:
  - a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speeds if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
  - b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
  - c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2, except the minimum height shall be 4 feet.

**NOTES**

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning

17100 ROYAL PALM AVENUE  
SUITE #2  
WESTON, FLORIDA 33090  
PHONE: (954) 568-4124  
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E:R@CKE.GR

EDUARDO L. CARACACHE  
Civil Engineer - PE 10394  
ARCHITECT - AR 1498

Eduardo L. Caracache, State of Florida, Professional Engineer, License No. 39194. This item has been digitally signed and sealed by Eduardo L. Caracache on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE	REMARKS

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: XS6  
PLAN VERSION: DANIEL DICKSON  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315988  
STORE NUMBER: TB-450380  
PAPR: DIANA DeCOCO  
DRAWN BY: AG  
JOB NO.: \_\_\_\_\_

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



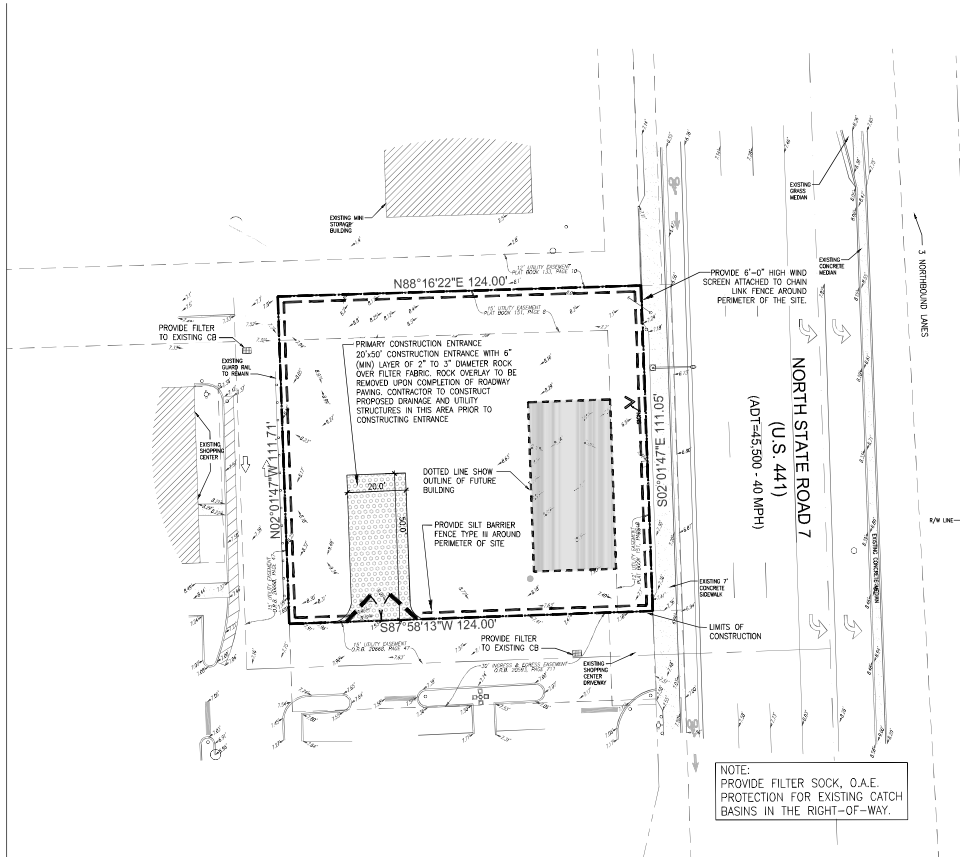
XS6

**POLLUTION PREVENTION DETAILS**

**C-6A**

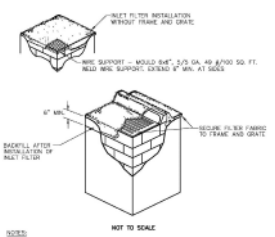
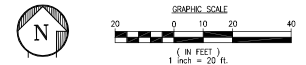
PLOT DATE: \_\_\_\_\_





NOTE:  
PROVIDE FILTER SOCK, O.A.E.  
PROTECTION FOR EXISTING CATCH  
BASINS IN THE RIGHT-OF-WAY.

## SURFACE WATER POLLUTION PREVENTION PLAN



NOTES:  
1. CONTRACTOR TO CLEAN WELT FILTER AFTER EVERY STORM.  
2. CONTRACTOR TO REPAIR FABRIC ASST PRIOR TO PARKING.  
A SEDIMENT TRAP WILL BE INSTALLED BEHIND THE CURB AT THE WELT. THE BASIN SHALL BE AT LEAST 12 TO 18 INCHES IN DEPTH, APPROXIMATELY 20 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.  
STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB GUTS ADJACENT TO EACH SIDE OF THE WELT STRUCTURE. THESE GUTTERS SHALL BE AT LEAST 18 INCHES IN LENGTH. STORM WATER WILL ALSO REACH THE TRAP ON DRIVE AND DRIVE LANE AREAS BEHIND THE CURB. THE CURB GUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REPAIRED.

### INLET FILTER DETAIL

### TEMPORARY ENTRANCE:

CONSTRUCTION SPECIFICATIONS:  
THIS AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROCKS, AND OTHER OBSTRUCTIONAL MATERIAL. A GOTTONE SHOULD BE Laid DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. THE GRAVEL SHALL THEN BE PLACED OVER THE GOTTONE TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO APPROVED SPECIFICATIONS IF WASH ROCKS ARE USED. THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE:  
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLAW OR MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH (5 cm) STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENTS. ALL MATERIALS SPLIED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. LOOK FOR SIGNS OF TRUCKS AND TRAILERED EQUIPMENT "OUTING CORNERS" WHERE THE GRAVEL MEETS THE ROADWAY. SWEEP THE PAVED ROAD DAILY FOR SEDIMENTS AND STONES.

### MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

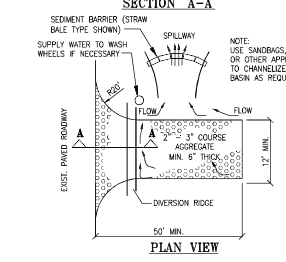
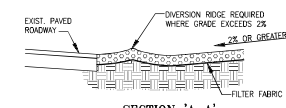
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLUM OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

### NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

### CONSTRUCTION SEQUENCE

1. TEMPORARY CONSTRUCTION FENCE
2. SILT FENCE AND WIND SCREEN
3. TEMPORARY SEDIMENTATION BASIN AND RELATED SWALES
4. CLEAR AND GRUB
5. TEMPORARY STABILIZATION
6. SITE IMPROVEMENTS AND BUILDING CONSTRUCTION
7. FINAL STABILIZATION
8. REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES



### NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

### TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

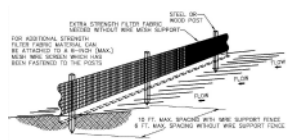


### LOCATION MAP

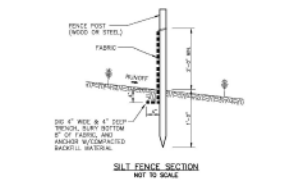
THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

### LEGAL DESCRIPTION:

(TITLE COMMITMENT)  
PARCEL "A", "CATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3177 ACRES), MORE OR LESS.



NOTES:  
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (3' 0").  
2. THE FILTER FABRIC SHALL BE OVERLAPPED IN A CONTINUOUS MANNER ALONG THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS.  
3. POSTS SHALL BE SPACED A MINIMUM OF 10 FEET (3' 0") APART AT THE BARRIER LOCATION AND SPACED NEARLY INTO THE CHANNEL A MINIMUM OF 15 FEET (4' 6") APART. THE SPACING BETWEEN POSTS SHALL BE ADJUSTED TO ACCOMMODATE THE WIND SUPPORT FORCE. POST SPACING SHALL NOT EXCEED 6 FEET (6' 0").  
4. A FENCE SHALL BE OVERLAPPED APPROXIMATELY 4 INCHES (3' 0") WITH AN 8 INCHES (2' 0") OVERLAP ALONG THE LINE OF POSTS AND UPSTREAM FROM THE BARRIER.  
5. WHEN OVERLAPPING STRONGER TO THE FENCE IS USED, A WIND WASH SUPPORT SHALL BE INSTALLED AT LEAST 12 INCHES (1' 0") FROM THE WELT. THE WIND WASH SHALL BE INSTALLED WITH THE TOP OF A MINIMUM OF 2 INCHES (1' 6") AND SHALL NOT EXCEED MORE THAN 36 INCHES (3' 0") ABOVE THE ORIGINAL GROUND SURFACE.  
6. THE OVERLAP BETWEEN FILTER FABRIC SHALL BE OVERLAPPED OR WELT TO THE FENCE. AND 8 INCHES (2' 0") OF THE FABRIC SHALL BE EXTENDED INTO THE CHANNEL. THE FABRIC SHALL NOT EXTEND MORE THAN 6 INCHES (6" 0") ABOVE THE ORIGINAL GROUND SURFACE.



### SILT FENCE INSTALLATION DETAILS



17100 HWY 1 PALM BEACH, FLORIDA 33411  
TEL: 561-528-4124  
FAX: 561-528-4200  
WWW.CKEGROUP.COM



SEAL  
EDUARDO L. CARACULITA  
Civil Engineer  
No. 30794  
FLORIDA

Contract Date: 11/11/2014  
Building Type: XS6  
Plan Version:  
Brand Designer: DANIEL DICKSON  
Site Number: 315988  
Store Number: TB-459380  
PAPM: DIANA DiCOCO  
Drawn By: AG  
Job No.:

TACO BELL  
2640 N SR-7,  
HOLLYWOOD, FL 33021

DATE	REMARKS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315988  
STORE NUMBER: TB-459380  
PAPM: DIANA DiCOCO  
DRAWN BY: AG  
JOB NO.:

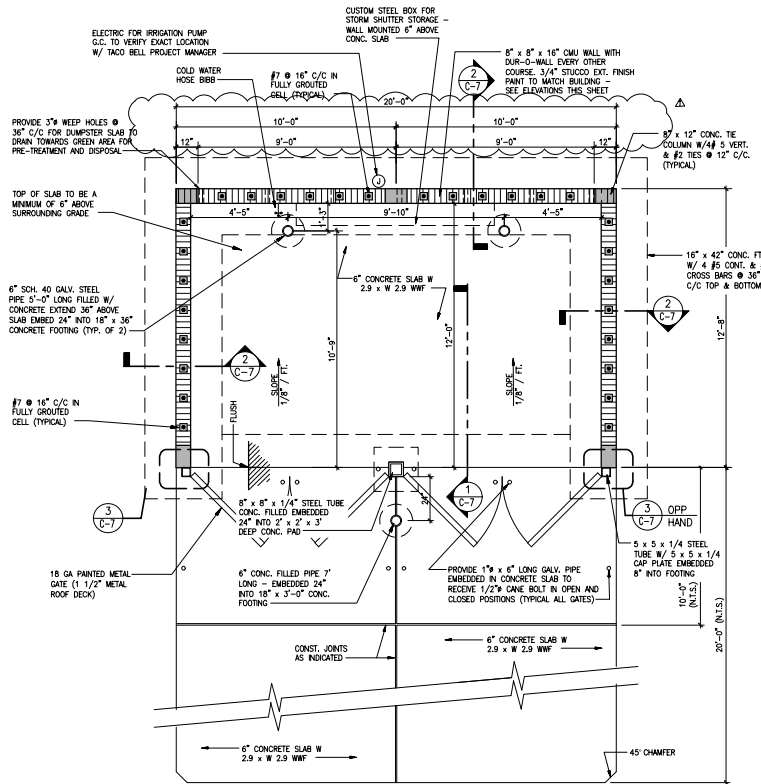
TACO BELL  
2640 N SR-7,  
HOLLYWOOD, FL 33021



### SURFACE WATER POLLUTION PREVENTION PLAN

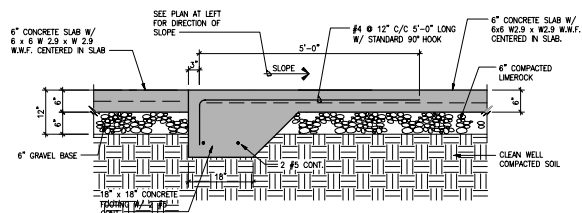
## C-6

PLOT DATE:

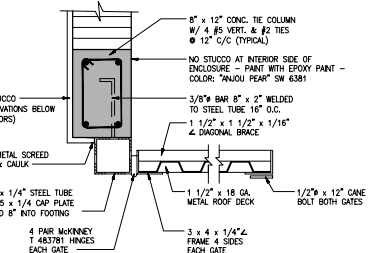


**TRASH & RECYCLING ENCLOSURE PLAN**  
SCALE: 3/8" = 1'-0"

**IMPORTANT NOTE:**  
PRIOR TO THE START OF CONSTRUCTION VERIFY THE TOP OF SLAB ELEVATIONS WITH THE LATEST CIVIL ENGINEERING DRAWINGS. CONTACT CKE GROUP FOR ADJUSTMENT SHOULD THERE BE ANY DISCREPANCY.



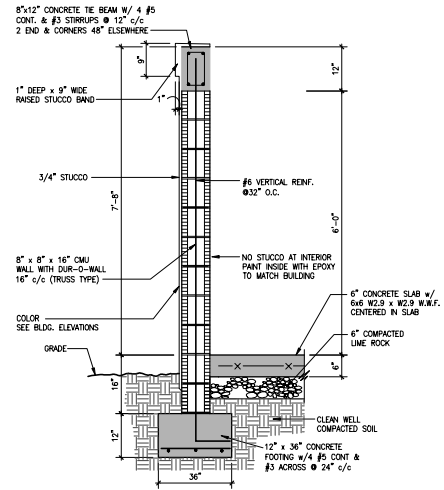
**SECTION AT SLAB FOOTING**  
SCALE: 3/4" = 1'-0"



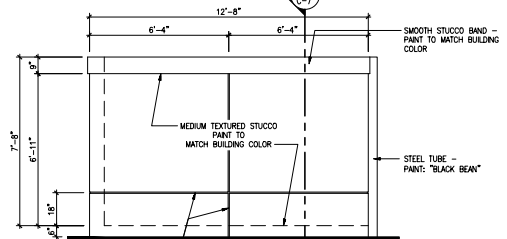
**JAMB & GATE DETAIL**  
SCALE: 1/2" = 1'-0"

**PAINT SPECIFICATIONS**

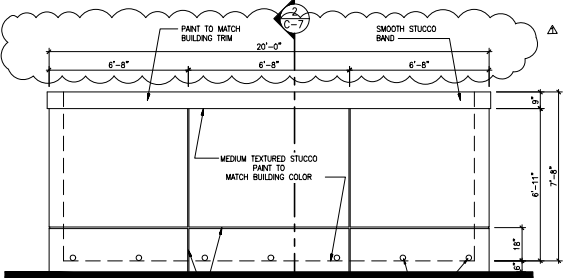
- EXTERIOR WALLS BETWEEN BANDS: REFER TO ARCHITECTURALS.
- INTERIOR WALLS (EPOXY PAINT): REFER TO ARCHITECTURALS.
- 9\"/>



**SECTION THRU TYPICAL WALL**  
SCALE: 3/4" = 1'-0"



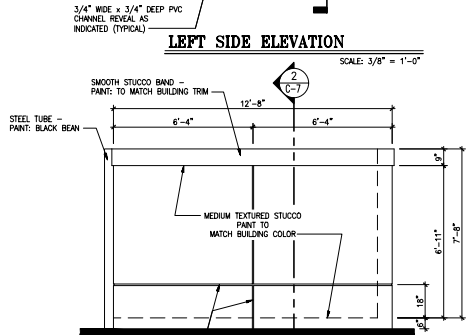
**LEFT SIDE ELEVATION**  
SCALE: 3/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 3/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 3/8" = 1'-0"

**CKE GROUP INCORPORATED**  
engineering architects planning  
17100 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33090  
PHONE: 352-568-4124  
FAX: 352-568-0619  
E: E@CKE.GRUP

**EDUARDO L. CARCACHÉ**  
No. 31914  
P.E.  
REGISTERED PROFESSIONAL ARCHITECT  
FLORIDA  
SEAL  
EDUARDO L. CARCACHÉ  
CIVIL ENGINEER #E 11914  
RICHARD J. FROST  
ARCHITECT-LEAD ENGINEER

Eduardo L. Carcaché, State of Florida, Professional Engineer, License No. 31914.  
This file has been digitally signed and sealed by Eduardo L. Carcaché on the date indicated here.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE	REVISION
03/24/23	CITY COMMENTS

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: XS6  
PLAN VERSION: \_\_\_\_\_  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-450380  
P.A.P.M: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.: \_\_\_\_\_

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



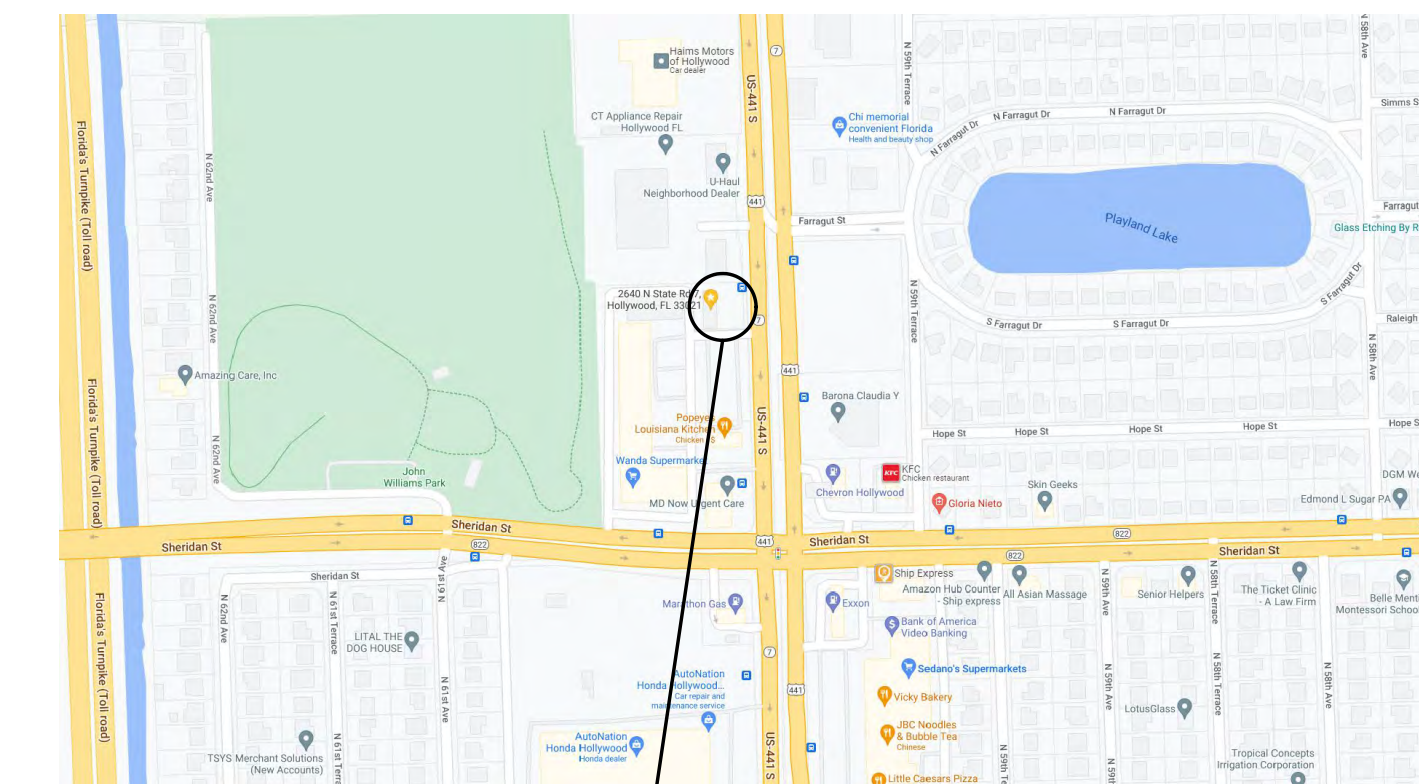
XS6

**TRASH ENCLOSURE DETAILS**

**C-7**

PLOT DATE: \_\_\_\_\_





**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

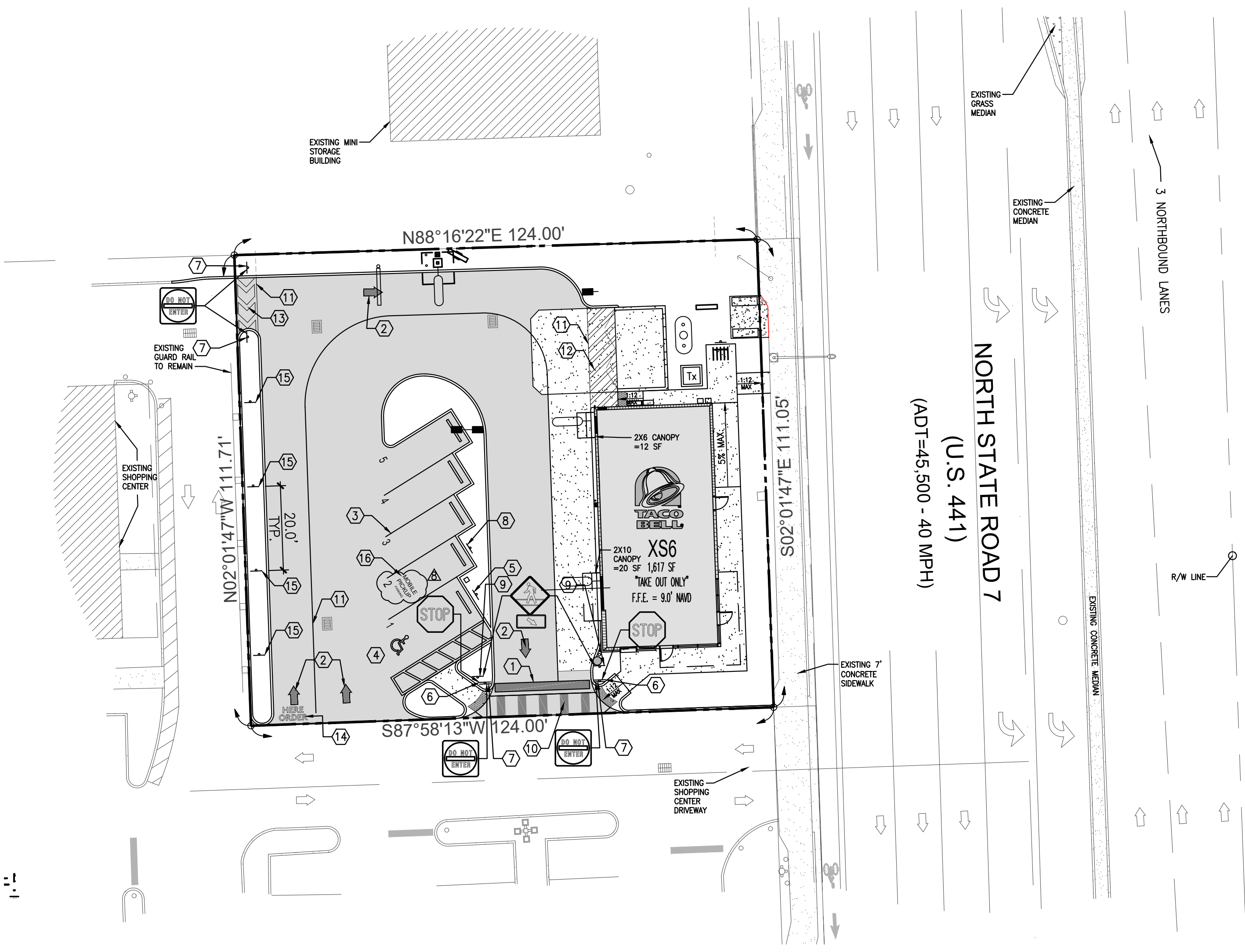
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



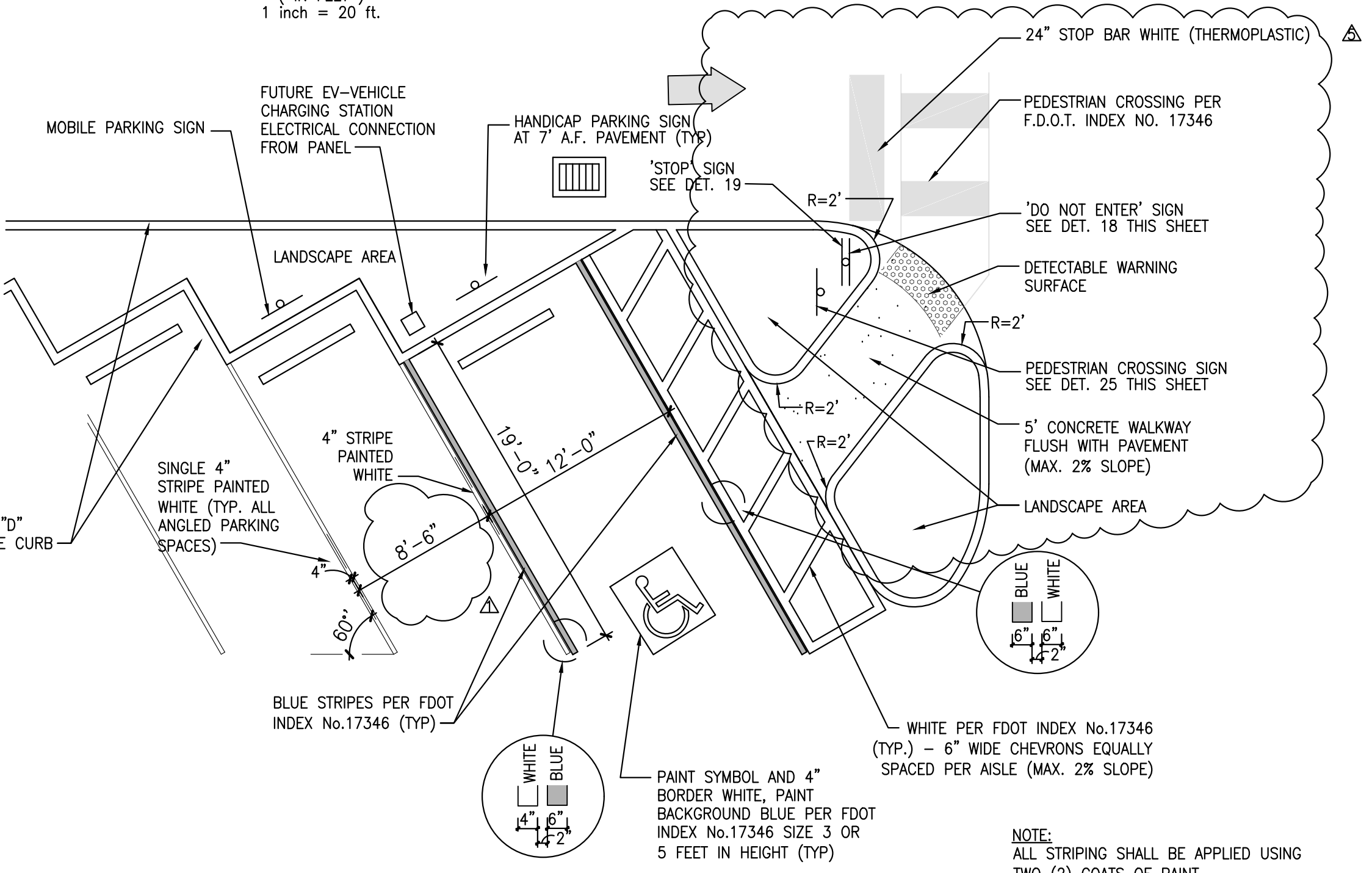
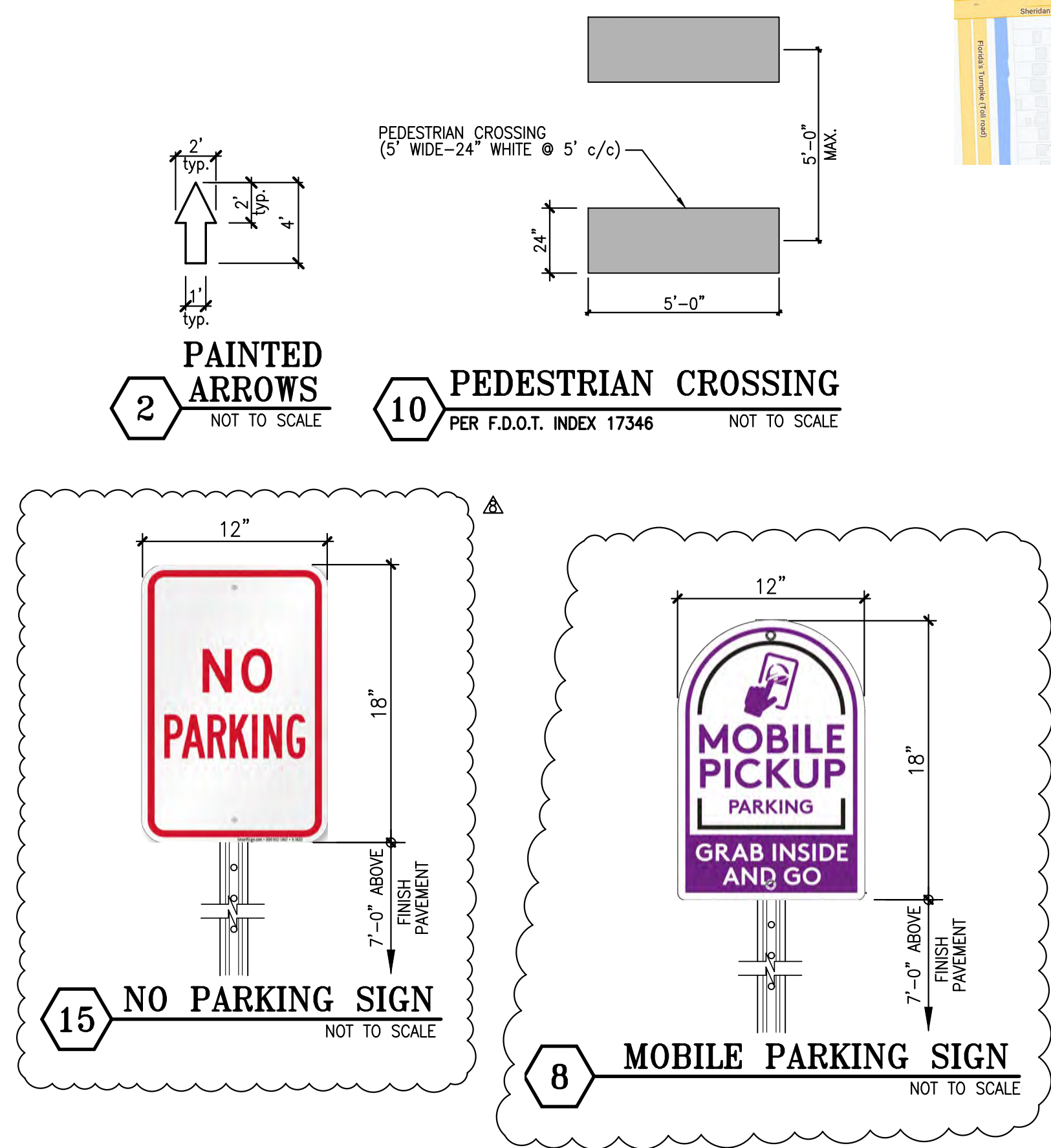
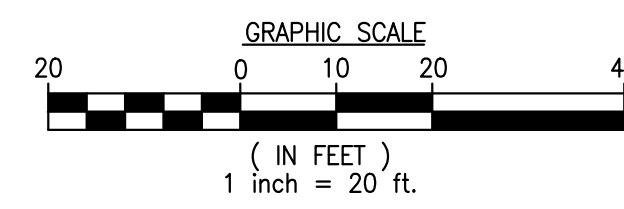
**GROUP**  
**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
17190 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33326  
PHONE: (305) 558-4124  
FAX: (305) 826-0619  
EB#0004432

SEAL  
EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

EDUARDO L. Carcache, State of Florida, Professional Engineer, License No. 31914.  
This item has been digitally signed and sealed by Eduardo L. Carcache on the date indicated here.  
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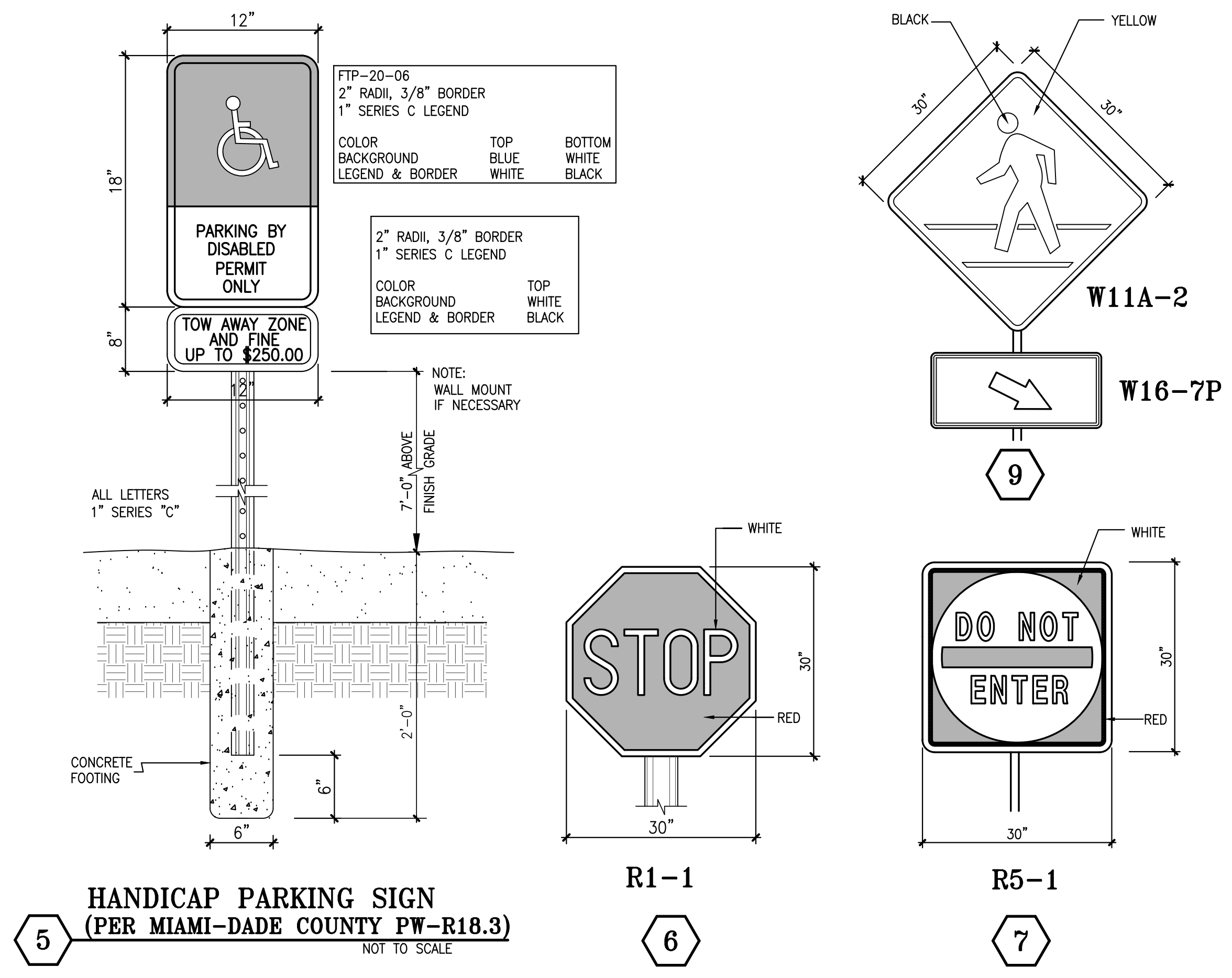


**PAVEMENT MARKING & SIGNAGE PLAN**  
SCALE: 1:20



**STANDARD AND HANDICAP PARKING DETAILS**  
NOT TO SCALE

- CONSTRUCTION NOTES:**
- 24" STOP BAR WHITE (THERMOPLASTIC)
  - TRAFFIC ARROWS PAINTED WHITE.
  - 4" WHITE STRIPES (TYPICAL AT STANDARD PARKING SPACES)
  - HANDICAP PARKING AS PER DETAIL.
  - HANDICAP SIGN 7'-0" A.F.P.
  - STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
  - STANDARD F.D.O.T. HIGH INTENSITY "DO NOT ENTER" SIGN. R5-1 (30"x30")
  - MOBILE ORDER PICK-UP PARKING SIGN
  - PEDESTRIAN CROSSING SIGN
  - PEDESTRIAN CROSSING PER F.D.O.T. INDEX No. 17346
  - 6" WHITE STRIPE (THERMOPLASTIC)
  - 6" WHITE STRIPE- 45° @ 24" O.C. (THERMOPLASTIC)
  - 12" WHITE STRIPES 45° @ 3' O.C. (THERMOPLASTIC)
  - DRIVE-THRU PAVEMENT MARKING
  - "NO PARKING" SIGN.
  - "MOBILE PICKUP PARKING" MARKING.



**STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS**  
SCALE: N.T.S.

DATE	REMARKS
03/24/23	CITY COMMENTS
10/23/24	CITY COMMENTS
12/19/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

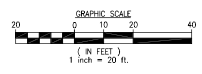
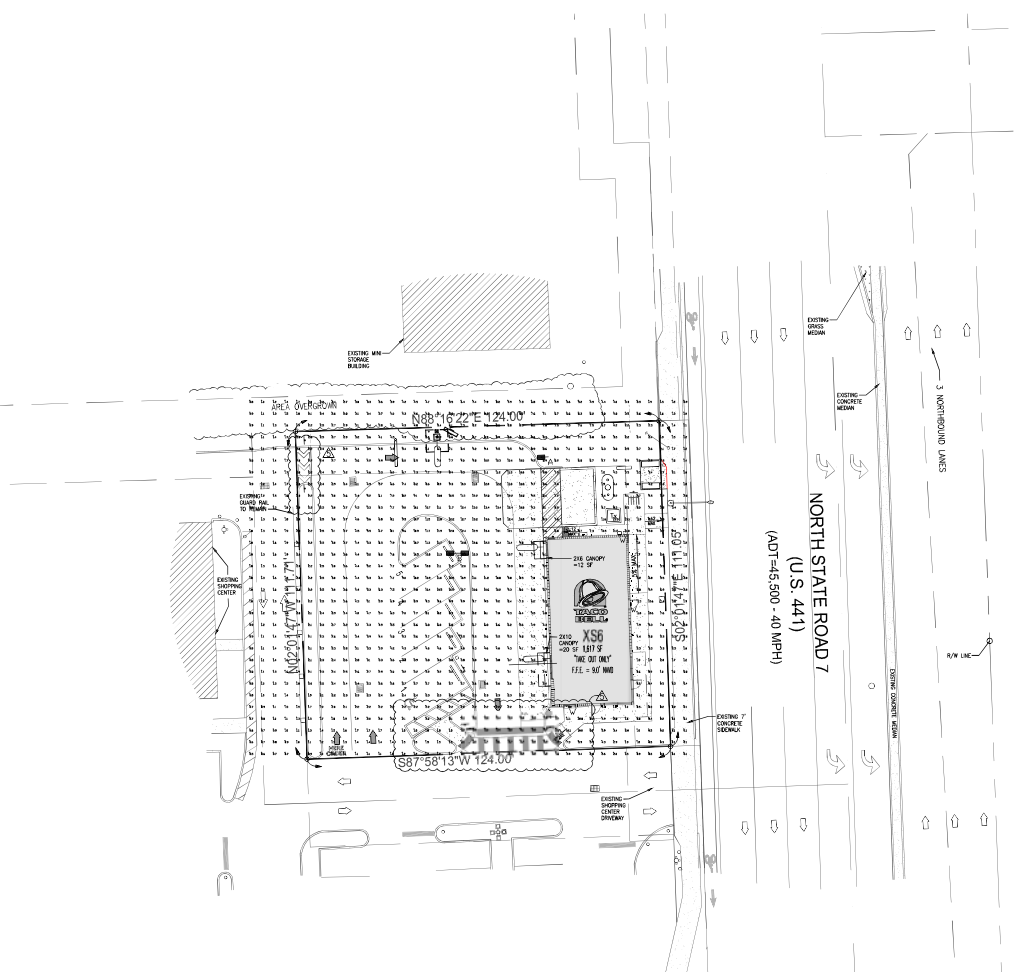
**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



**PAVEMENT MARKING & SIGNAGE PLAN**

**C-8**  
PLOT DATE:

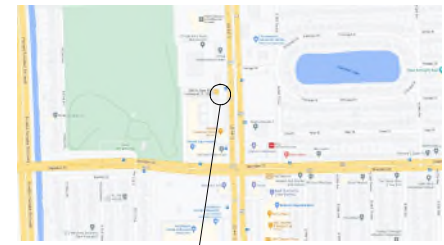




**SITE LIGHTING PLAN**  
SCALE: 1:20



Know what's below.  
Call before you dig.

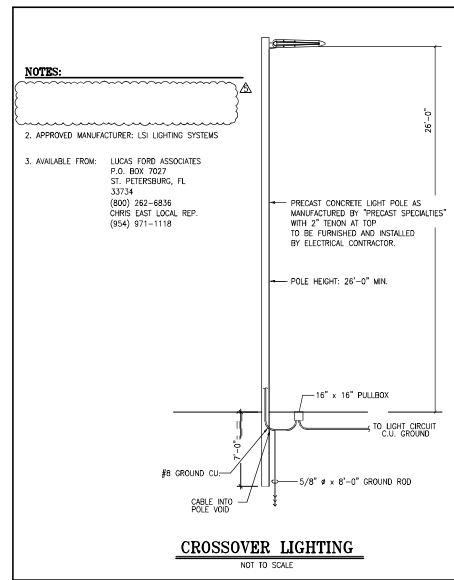


**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**

(TITLE COMMITMENT)  
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13.811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



**CROSSOVER LIGHTING**  
NOT TO SCALE

**NOTES:**

- 2. APPROVED MANUFACTURER: LSI LIGHTING SYSTEMS
- 3. AVAILABLE FROM: LUCAS FORD ASSOCIATES  
P.O. BOX 7027  
ST. PETERSBURG, FL 33714  
(800) 282-8836  
CHRIS EAST LOCAL REP.  
(954) 971-1118

PRECAST CONCRETE LIGHT POLE AS MANUFACTURED BY "PRECAST SPECIALTIES" WITH 2" TIEBARS AT TOP TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.  
POLE HEIGHT: 26'-0" MIN.  
16" x 16" PULLBOX  
TO LIGHT CIRCUIT C.U. GROUND  
5/8" x 8'-0" GROUND ROD  
CABLE INTO POLE VOID  
TO GROUND C.U.

**NOTES**

- POLES / LUMINAIRES SHALL BE RATED FOR 170 MPH.
- FIXTURE SUPPORT SHALL BE PER NEC 410-15.
- LEVELS OF PARKING ILLUMINATION TO COMPLY WITH MANA-DISE COUNTY CODE SECTION 8-3.

Calculation Summary	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Calculation Points @ Grade	Illuminance	Fc	4.55	13.6	0.1	45.50	136.00
Parking & Driving Summary	Illuminance	Fc	5.94	13.6	1.5	9.07	

Luminaire Schedule	Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLB	LLF	Arr. Lum. Lumens	Arr. Watts
	1	A	SINGLE	SLM-LEB-30L-SIL-FI-50-70CRJ-SINGLE	24" POLE+2" BASE	1000	1000	31922	232	
	1	B	DIB8"	SLM-LEB-30L-SIL-SV-56-70CRJ-DIB8	24" POLE+2" BASE	1000	1000	62474	464	
	3	W	Single	XWM-FI-LEB-06L-50	9'	1000	1000	6557	47	



INCORPORATED  
engineering • architecture • planning  
17100 FEDERAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33336  
PHONE: (305) 558-4124  
FAX: (305) 558-6600  
WWW.CKEGROUP.COM



SEAL  
EDUARDO L. CARACACHE  
PROFESSIONAL ENGINEER  
LICENSE NO. 31914  
FLORIDA  
ARCHITECT-041188

Eduardo L. Caracache, State of Florida  
Professional Engineer, License No. 31914  
This plan has been digitally signed and sealed by Eduardo L. Caracache on the date indicated herein.  
Printed copies of this document are not considered signed and sealed and the electronic must be verified on any electronic copies.

DATE	REVISION
10/23/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER DANIEL DICKSON  
SITE NUMBER: 315988  
STORE NUMBER: TB-459380  
P&P/M: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

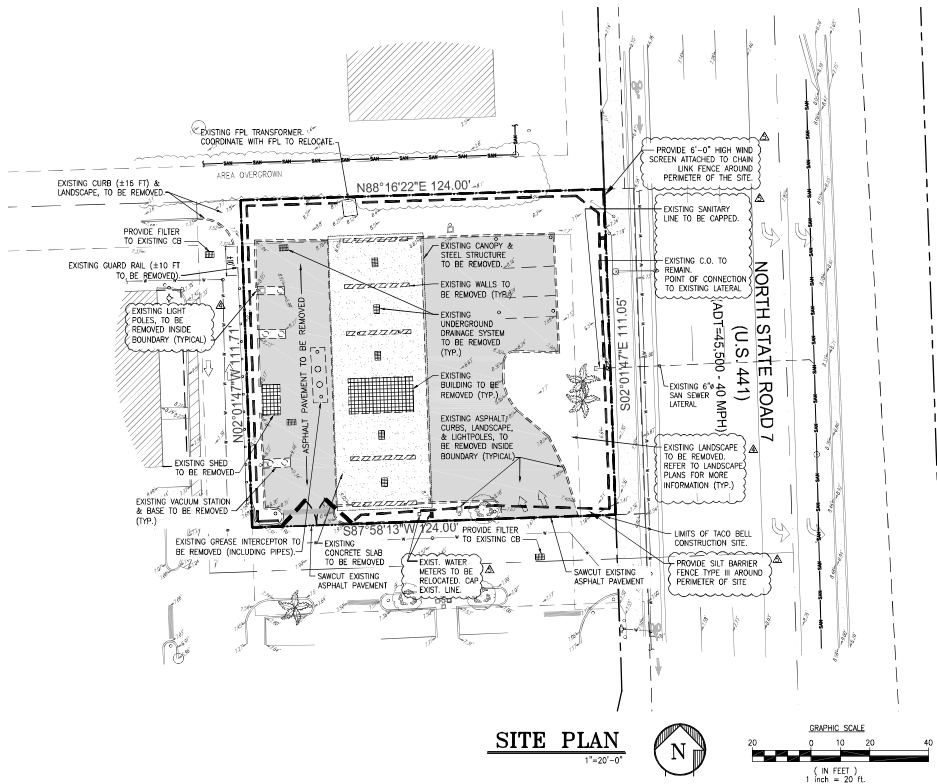
TACO BELL  
2640 N SR-7,  
HOLLYWOOD, FL 33021



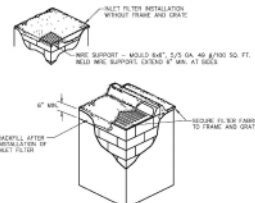
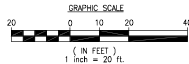
XS6  
**SITE LIGHTING PLAN**

**CE-1**  
PLOT DATE:



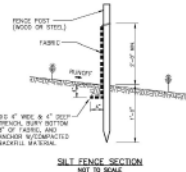


**SITE PLAN**  
1"=20'-0"

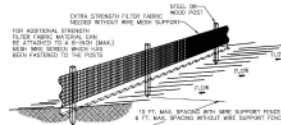


- NOTES:**
- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
  - CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVERS.
  - A SEGMENT TRAP WILL BE INSTALLED BEHIND THE CURB AT THE INLET. THE FABRIC SHALL BE AT LEAST 20 IN HEIGHT IN DEPTH, APPROXIMATELY 30 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
  - STORM WATER WILL REACH THE SEGMENT TRAP OR CURB QUOTE ALIGNED TO EACH SIDE OF THE INLET STRUCTURE. THESE OWNERS SHALL NOT AT LEAST 18 INCHES IN LENGTH. STORM WATER TRAP ALSO BEHIND THE FABRIC AND OVERLAND FLOW LINE AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEGMENT TRAP IS REMOVED.

**INLET FILTER DETAIL**  
N.T.S.



**SILT FENCE SECTION**  
NOT TO SCALE



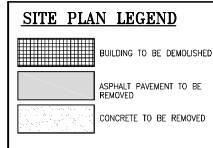
- NOTES:**
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (END ONE).
  - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  - A POST SHALL BE SPACED A MAXIMUM OF 10 FEET (2 IN SPACED AT THE BARRIER LOCATION AND SPACED REGULARLY INTO THE COURSE) A MAXIMUM OF 10 BARRIERS (20 FEET) WITH EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 4 FEET (2 IN).
  - A TIE OR SHALL BE SPACED APPROXIMATELY 4 BARRIERS (20 FEET) ON ONE END AND 4 BARRIERS (20 FEET) ALONG THE LINE OF POSTS AND SPACING FROM THE BARRIER.
  - WHEN THROUGH-DRUMS ARE USED IN A LINE, A WIRE WOUND SUPPORT FENCE SHALL BE PURCHASED SPECIFIC TO THE APPLICATION. THE WIRE WOUND SUPPORT FENCE SHALL BE SPACED AT 10 FEET ON ONE END AND 4 FEET ON THE OTHER. THE WIRE WOUND SUPPORT FENCE SHALL NOT EXCEED A MAXIMUM OF 3 BARRIERS (30 FEET) IN LENGTH AND SHALL NOT EXCEED MORE THAN 36 INCHES (20 FEET) ABOVE THE FINISH GRADE SURFACE.
  - THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR NAILED TO THE FENCE. THE 6 INCHES (20 FEET) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXCEED MORE THAN 36 INCHES (20 FEET) ABOVE THE ORIGINAL FINISH SURFACE.

**SILT FENCE INSTALLATION DETAILS**  
N.T.S.

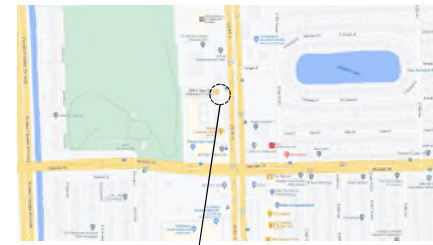
**GENERAL NOTES**

- SEE SURVEY FOR DESCRIPTION OF EXISTING FEATURES WITHIN SITE.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF EXISTING ON SITE FACILITIES ABOVE AND UNDERGROUND. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL DEMOLISHED MATERIALS. THE FILLING OF ALL DEPRESSIONS CAUSED BY DEMOLITION AND THE GRADING OF THESE AREAS SO AS NOT TO BE OBSTRUCTIVE TO VIEW. THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF HIS WORK.
- REMOVE ALL VEGETATION, ROOTS AND COMPACT AREAS BEFORE REPLACING FILL. FILL SHALL BE PLACED IN 12" LAYERS LOOSE MEASURE AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM-D1557-78. FILL SHALL BE LOCALLY ACCEPTABLE AND SUITABLE FOR FILL PURPOSES. THE TOP 12" OF FILL OR CUT UNDER PAVEMENT BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM-D1557-78. REFER TO SOils REPORT FOR ADDITIONAL INFORMATION.
- DIMENSIONS, BUILDING LOCATION AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT TIME OF LAYOUT. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- IF THE CONTRACTOR'S FULL RESPONSIBILITY TO FURNISH AND INSTALL WATER SERVICES AS REQUIRED. LINES TO BE INSTALLED SHOULD BE EXTENDED FROM THE CLOSEST WATER MAIN CAP PLUGGED AT BUILDING. SEE C-3 FOR REQUIRED WATER SERVICE SIZE.
- LOCATION OF UNDERGROUND UTILITIES, EXISTING OR PROPOSED, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
- ALL WORK TO BE PERFORMED THAT IS NOT COVERED BY THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY OR LOCAL CODES. ALL WORK IN PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.

- PHYSICAL SEPARATION BETWEEN THE BUILDING AND THE WATER AND SEWER SERVICE LINES IS REQUIRED PRIOR TO BUILDING DEMO.
- DEMOLITION CONTRACTOR MUST USE BEST MANAGEMENT PRACTICES DURING AND AFTER CONSTRUCTION.



- DEMOLITION NOTES**
- FOR TREES AND/OR LANDSCAPE REMOVAL AND/OR RELOCATION, REFER TO LANDSCAPE DRAWINGS.
  - ALL EXISTING PAVEMENT MARKINGS AND SIGNS WITHIN PROPERTY LINES TO BE REMOVED.
  - EXISTING ASPHALT PAVEMENT AND BASE WITHIN PROPERTY LINES TO BE REMOVED (DEPTH OF BASE REMOVAL BASED ON PROPOSED GRADES).
  - EXIST CURBS, CONC. WALKS, HAND RAILS, BOLLARDS, LIGHTS, PLANTERS, METERS, ELECT. PANELS, DOWNSPOUTS, PORTLAND TO AND AROUND BUILDING TO BE REMOVED.
  - DENOTES TO BE REMOVED
  - DENOTES TO REMAIN



**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13.811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



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WWW: WWW.CKEGROUP.COM

EDUARDO L. CARACHEO  
No. 31914  
52  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

SEAL  
EDUARDO L. CARACHEO  
CIVIL ENGINEER 31914-01914  
04238823-041850

Eduardo L. Caracheo, State of Florida Professional Engineer, License No. 31914  
This form has been digitally signed and sealed by Eduardo L. Caracheo on the date indicated below.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE	REVISION
16/23/24	CITY COMMENTS
16/23/24	CITY COMMENTS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PAPM: DIANA DeCOCO  
DRAWN BY: AG  
JOB NO.:

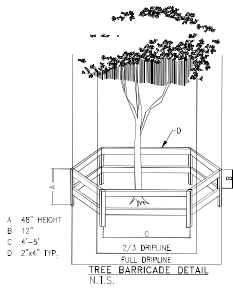
**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



XS6  
**SITE DEMOLITION PLAN**

**SD-1**  
PLOT DATE:

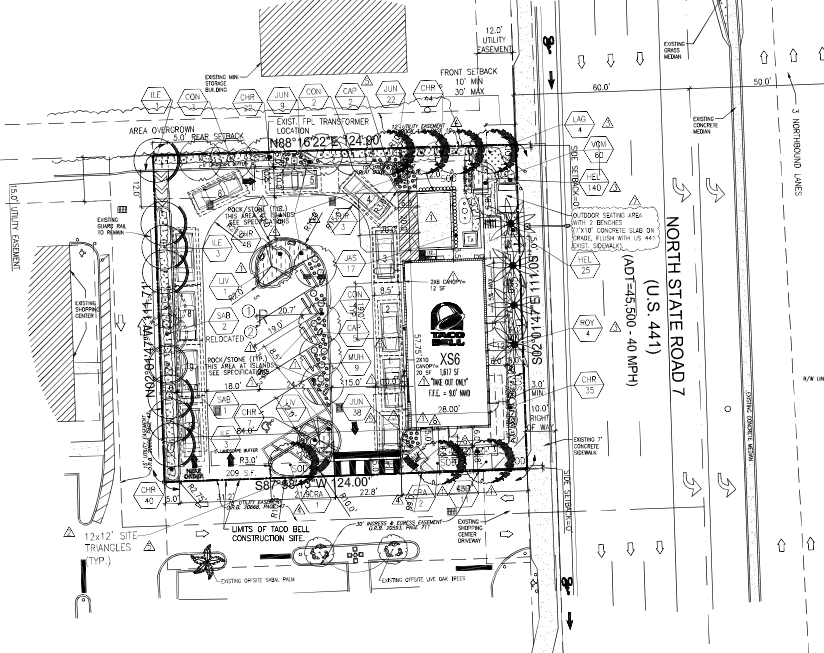




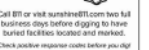
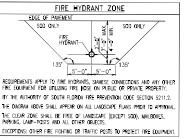
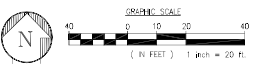
- TREE BARRICADE NOTES:**
1. ALL PROTECTED TREES TO BE REMOVED SHALL BE ROOT PRUNED & RELOCATED MINIMUM PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD PRACTICE AS REQUIRED. FRENCH DRIPING SHALL BE 18\"/>
  - 2. ALL EXISTING TREES SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) A300-2003, CURRENT EDITION RESPECTIVELY.
  - 3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY PROTECTION EQUIPMENT FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK. TREE SYSTEMS SHALL AUTOMATICALLY OPERATE 15 MINUTES ON SITE.
  - 4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
  - 5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED UNDER TREE BARRICADES.
  - 6. ROOTS SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS & NOxious PESTS & DISEASES (SEE SOIL PLANTING SPECIFICATIONS).
  - 7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
  - 8. TRANSPLANT TREE WITH 60% TREE CANOPY TO NEAREST CONSTRUCTION AREA SHALL BE AT LEAST 1/3 BOWER THAN THE AREA THAT WAS PREVIOUSLY OCCUPIED BY THE TREE.
  - 9. SET TREES NO CLOSER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH +/- OR SLIGHTLY HIGHER (+/- 1\"/>

**EXISTING TREES TO REMAIN REQUIRED BARRICADES**

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



**LANDSCAPE PLAN**



**LANDSCAPE LEGEND**

SYMBOL	KEY	QTY	PLANT NAME	NATIVE	SIZE	SPR. CALIF. PER
△	COOL NEW TREES		BOTANICAL NAME / COMMON NAME	YES/NO		
△	**	1/2"	QUERCUS URBICOLA / WHITE OAK	YES	12-18"	F.C. 2.5' DBH x 5' C.T.
△	**	1/2"	LYGODESMON INDICA / 'INDEPENDENT'	NO	12-18"	F.C. 2.5' DBH x 5' C.T. STANDARD
△	**	4"	NOELANON ALBA / FLORIDA PALM	YES	22-24"	F.C. 1.0" DBH x 5' C.T. MIN. STANDARD
△	**	1/2"	COCCOCHARIS SERICEUS / SILVER BUTTERWOOD	YES	12-18"	F.C. 2.5' DBH x 5' C.T. MIN. STANDARD
△	**	1/2"	ELIX GASSIE / DANFORD HOLLY	YES	12-14"	F.C. 1.0" DBH x 5' C.T. MIN. STANDARD
△	**	1/2"	SABA PALMETTO / CARABE PALM	YES	12-14"	F.C. 1.0" DBH x 5' C.T. MIN. STANDARD
△	**	1/2"	LAURIFOLIUM INDICA / 'INDEPENDENT'	NO	18"	F.C. 4.0" DBH x 5' C.T. STANDARD
△	**	1/2"	TRICHOCLEMON JARROVITZII / SUN JEWEL	NO	14-18"	3 GAL. 14" C.T. TRILLIUM
△	**	1/2"	FURCRAEA FORTINII / GALT PALM AGAVE	NO	30"	3 GAL. 14" C.T. TRILLIUM
△	**	1/2"	MILK-CHIEF CACTUS / RING-MULLEN GRASS	YES	20"	3 GAL. 14" C.T. TRILLIUM
△	**	1/2"	SANDWICH ISLAND PINEAPPLE AND COCO	NO	30"	3 GAL. 14" C.T. TRILLIUM
△	**	1/2"	HEX VIGNERA / DWARF PALM	YES	8"	FULL 1 GAL. 24" C.T.
△	**	1/2"	CHEPPELLANUS CALZADII 'TIP'	YES	24"	3 GAL. 14" C.T. TRILLIUM
△	**	1/2"	LAUREL MARGOLIS / GREEN JUNIPER	YES	5"	1 GAL. 14" C.T. TRILLIUM
△	**	1/2"	HELMINTHIS DEBILIS / DUNE SUMMERBELL	YES	6"	1 GAL. 14" C.T. TRILLIUM
△	**	1/2"	ST. AUGUSTINE THORNTON / SOUL SOO	YES	6"	1 GAL. 14" C.T. TRILLIUM

**DROUGHT TOLERANCE**  
 \*\* VERY MODERATE  
 \* MODERATE

**FLORIDA-FRIENDLY LANDSCAPING & DESIGN SHALL BE UTILIZED GREEN BUILDING ORDINANCE REQUIRED SECTION 3-103.803 OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).**

**SITE AND CODE DATA**

DESCRIPTION	TACO BELL RESTAURANT
CURRENT ZONING	C-MU (Central Mixed Use District)
CURRENT LAND USE	Transit Oriented Corridor (TOC)
CURRENT USE	Commercial

**1 GENERAL INFORMATION**

DESCRIPTION	TYPE	GROSS BUILDING AREA
NON-RESIDENTIAL	New Restaurant	1,600 SF
FAR	N/A	
TOTAL SITE AREA	38,611 (NET) SF	(0.887 Acres)
TOTAL BUILDING	1,600 SF	31.7%
TOTAL VEHICULAR AREA	7,786.25 SF	55.61%
INTERIOR LANDSCAPE AREA (MINUS PRIVATE LANDSCAPE SET BACK AREA)	3,178.0 SF	15.28% of vehicular use area
TOTAL OPEN SPACE AREA	3,021.6 SF	23.88%

**2 SETBACKS**

DESCRIPTION	ALLOWED MIN/MAX	PROVIDED	DESCRIPTION	ALLOWED MIN/MAX	PROVIDED
FRONT (EAST)	10'-0" / 20'-0"	17'-0"			
REAR (WEST)	5'-0" / 84'-0"	84'-0"			
SIDE (NORTH)	0'-0" / 38'-0" (S)	38'-0" (S)			
SIDE (SOUTH)	0'-0" / 14'-0" (S)	14'-0" (S)			

**3 MINIMUM ACTIVE USES**

FRONTAGE	REQUIRED	PROVIDED
U.S. 441 (133.00 FT)	60%	57.7% (50%)

**4 HEIGHTS PROVIDED**

DESCRIPTION	ALLOWED MIN/MAX	PROVIDED	DESCRIPTION	ALLOWED MIN/MAX	PROVIDED
HEIGHT	85'-0" / 21'-4"	21'-4"			

**5 PARKING DATA**

DESCRIPTION	MINIMUM 1 PER 100 SF BUILDING AREA	REQUIRED MINIMUM	REQUIRED MAXIMUM
NEW RESTAURANT TAKE OUT	Standard parking spaces for 1,600 SF	16	33
Reverse Park (maximum)	5% of 16 sp (from min req or plan)	(0.80)	(0.80)
Public Art reduction	5% of 16 sp (Graphic Art, Building Elevations)	(0.80)	(0.80)
<b>TOTAL STANDARD PARKING SPACES</b>		<b>15</b>	<b>33</b>
		<b>PROVIDED SPACES INCLUDING 1/2</b>	<b>INCLUDING 1/2</b>

**6 DRIVE-THRU VEHICULAR STACKING**

	IN BOUND	OUT BOUND
	REQUIRED	PROVIDED
VEHICULAR STACKING	0	1

**7 PROJECT SUMMARY**

DESCRIPTION	REQUIRED	PROVIDED
NEW RESTAURANT TAKE OUT	16	33
Reverse Park (maximum)	0.80	0.80
Public Art reduction	0.80	0.80
<b>TOTAL STANDARD PARKING SPACES</b>	<b>15</b>	<b>33</b>

**SUMMARY OF REQUESTS, VARIANCES, MODIFICATIONS AND SPECIAL EXCEPTION**

VARIANCE	REQUIRED	PROVIDED
PARKING SPACES	16	33
ACTIVE USE	60%	52%
TRANSPARENCY	50%	27.90%

THE USE OF A WEED BARRIER IN PLANTING BEDS IS MANDATORY. ALL PLANTING BEDS TO BE SUBMITTED BY REGIONS.

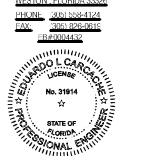
**LANDSCAPE DATA**

DESCRIPTION	REQUIRED	PROVIDED
1 TREE PER 1,000 S.F.	3	3
PERFORATOR BUFFER:		
1 TREE PER 20 L.F. (388.76)	20	20
1 TREE PER 190 S.F.	2	2
TURFING ISLAND	4	4
STREET TREES 1 PER 50 L.F.	2	2
ALONGSIDE PARKING 1 TREE PER 20 L.F.	4	4
VEHICULAR LANDSCAPE AREA = 15.28% OF (VIA)	1,122.00	1,178.00 (15.28%)
<b>TOTAL TREES:</b>	<b>31</b>	<b>31</b>
NATIVE/S.F.A.M. TREES 80% MIN:	25	26 (84%)
NATIVE/S.F.A.M. SHRUBS 80% MIN:	237/80%	276/93%

1. SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
2. ALL PLANT MATERIAL SHALL BE FLORIDA GROWN OR BETTER & SHALL BE INSTALLED ACCORDING TO FLORIDA DEPT. OF AGRICULTURE (CROSS) STANDARDS, CURRENT EDITION RESPECTIVELY.
3. LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & 30% MIN. OVERLAP TO ALL LANDSCAPE AREAS. SYSTEM SHALL HAVE A MAIN SENSOR DEVICE AS REQUIRED.
4. ALL EXISTING TREES SHALL BE TRIMMED & SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) A300-2003, CURRENT EDITION RESPECTIVELY.
5. LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRACONID PEPPER & FLORIDA HOLLY FROM SITE.
6. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION AS PER CITY OF HOLLYWOOD (SEE DETAIL).
7. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED UNDER TREE BARRICADES.
8. ROOTS SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS & NOxious PESTS & DISEASES (SEE SOIL PLANTING SPECIFICATIONS).
9. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
10. LANDSCAPE CONTRACTOR SHALL NOT INSTALL PLANT MATERIALS WITHIN ROOTBALLS OF TREES AND OR PALMS AND SHOULD BE INSTALLED OUTSIDE ROOTBALL AREAS AS REQUIRED.
11. SET TREES NO CLOSER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH +/- OR SLIGHTLY HIGHER (+/- 1\"/>
- 12. SUBSTITUTION - PLANT SUBSTITUTION REQUESTS FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SHOWN PRIOR TO SUBMISSION OF REQUESTS TO BE AS FOLLOWS:  
 ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT & CITY OF HOLLYWOOD'S LANDSCAPE PLANNING DEPARTMENT FOR CONSIDERATION AND REQUIRED APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- 13. A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL:
  - 1. INSIDE 10' & 8' FT MEASURED FROM GRADE LEVEL AT ALL ENHANCED EXITS, AND
  - 2. INTERSECTIONS AS REQUIRED. TREES SHALL BE MAINTAINED WITH 34' FT CLEAR TRUNK TO KEEP CONTINUALLY ALLOWANCE FOR CLEAR NATURAL VISION SURVEILLANCE TO THE SITE. SIGNAGE SHALL NOT EXCEED THREE (3) FT AT MATURITY. TREES SHALL BE PLANTED 15' FROM LIGHT STANDARDS TO MAINTAIN ILLUMINATION LEVELS AS SPECIFIED.
- 14. LANDSCAPE CONTRACTOR TO CALL THE CITY OF HOLLYWOOD LANDSCAPE INSPECTOR AT (954)921-3471 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO SUBMISSION OF REQUESTS FOR CONSIDERATION AND REQUIRED APPROVAL. LANDSCAPE CONTRACTOR TO CONTACT CITY LANDSCAPE INSPECTOR PRIOR TO RELOCATION OF EXISTING TREES OR PALMS FOR CONDITIONS OF EXISTING MATERIAL AND SHALL BE APPROVED UPON INSPECTION OR IF DEEMER NOT FEASIBLE, THEN A NEW TREE SHALL BE INSTALLED AS REQUIRED.
- 15. EXISTING TREES SHALL BE PRUNED AND MAINTAINED TO HAVE 6\"/>
- 16. ALL SOIL TO BE HEALTHY, WEED/FREE (INCLUDING FUNGUS AND DISEASE) & SUSTAINABLE FLORIDA SOIL. LAD SMOOTH WITH TIGHT ALTERNATING/ABUTTING JOINTS WHICH CONFORM TO CURBS AND PLANTERS.
- 17. MULCH PILES SHALL BE PROVIDED FOR ALL TREES PLANTED IN 500 AREA-4\"/>

- △ 1 LIVE OAK TREE 10.5\"/>
- △ (3)-CRAPE MYRTLE UPSIZED FROM 2\"/>
- △ 4.5\"/>
- △ 1 LIVE OAK TREE SHORTFALL OPTION OF \$350.00 PER 2\"/>
- △ (M)= UPSIZED TREES IN LIEU OF CANOPY COMPENSATION MITIGATION PROVIDED AS SHOWN, SEE LEGEND

**NOTE:**  
 CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED AT MINIMUM DISTANCES AWAY FROM ALL TREE PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.



This Item Has Been Digitally signed by Eduardo L. Caracobe on the date subsequent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.



**MEETING DATES:**

PLAC	DEC 19, 2022
PRELIMINARY TAC	N/A
FINAL TAC	FEB 8, 2023
939	

**CONTRACT DATE:** 2/26/2021  
**BUILDING TYPE:** XS6  
**PLAN VERSION:** FEBRUARY 2022  
**BRAND DESIGNER:** DANIEL DICUSON  
**SITE NUMBER:** 315999  
**STORE NUMBER:** TB-45380  
**PA/PM:** DIANA DAICUSON  
**DRAWN BY:** AG  
**JOB NO.:** CKE 1746

**TACO BELL**  
 2640 N SR-7,  
 HOLLYWOOD, FL 33021



**LANDSCAPE PLAN**

**L-1**  
 PLOT DATE:



**PLANTING | SPECIFICATIONS**

**1.1 SUMMARY**

A. Section Includes: all work related to planting of all plants, including, but not limited to, site preparation, soil, fertilization, watering, and maintenance as shown on drawings and specified herein.

**1.2 REFERENCES**

- A. American Public Works Association (APWA), Standard for Highway Signs, 1995.
- B. Manual for Streets, Federal Highway Administration, 1992.
- C. Manual of American Road & Builders Builders Association, National Earthquake Engineering Council, 1989.
- D. American Society of Civil Engineers (ASCE), Standard for Highway Signs, 1995.
- E. Manual for Streets, Federal Highway Administration, 1992.
- F. Manual of American Road & Builders Builders Association, National Earthquake Engineering Council, 1989.

**1.3 SUBMITTALS**

- A. Review and Approval of all drawings, including, but not limited to, site preparation, soil, fertilization, watering, and maintenance as shown on drawings and specified herein.
- B. Review and Approval of all drawings, including, but not limited to, site preparation, soil, fertilization, watering, and maintenance as shown on drawings and specified herein.
- C. Review and Approval of all drawings, including, but not limited to, site preparation, soil, fertilization, watering, and maintenance as shown on drawings and specified herein.
- D. Review and Approval of all drawings, including, but not limited to, site preparation, soil, fertilization, watering, and maintenance as shown on drawings and specified herein.

**1.4 DELIVERY, STORAGE AND HANDLING**

A. Deliver all plants to site in accordance with the following specifications. Plants shall be delivered to site in accordance with the following specifications. Plants shall be delivered to site in accordance with the following specifications. Plants shall be delivered to site in accordance with the following specifications.

**1.5 PLANTING**

A. Excavate and prepare planting holes in accordance with the following specifications. Excavate and prepare planting holes in accordance with the following specifications. Excavate and prepare planting holes in accordance with the following specifications. Excavate and prepare planting holes in accordance with the following specifications.

**1.6 WARRANTY**

A. The Contractor warrants that the plants and materials furnished herein are of the quality and quantity specified herein and that they will perform satisfactorily for the period specified herein.

**1.7 MAINTENANCE**

A. The Contractor shall maintain all plants and materials furnished herein in accordance with the following specifications. The Contractor shall maintain all plants and materials furnished herein in accordance with the following specifications. The Contractor shall maintain all plants and materials furnished herein in accordance with the following specifications.

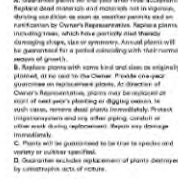
**1.8 IRRIGATION SCHEDULE**

A. The Contractor shall provide and maintain an irrigation system in accordance with the following specifications. The Contractor shall provide and maintain an irrigation system in accordance with the following specifications. The Contractor shall provide and maintain an irrigation system in accordance with the following specifications.

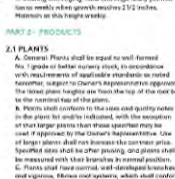
**1.9 CONSTRUCTION NOTES**

- 1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.
- 2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.
- 3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.
- 4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

**1.10 PLANTING DETAILS**



**1.11 TREE TRUNK PROTECTION**



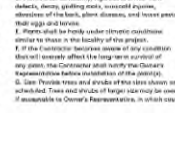
**1.12 IRRIGATION SCHEDULE**

SOIL TYPE	IRRIGATION SCHEDULE
LESS THAN 4 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
4-6 INCH CAULPS	DAILY: 1 MOVER EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
GREATER THAN 6 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED

**1.13 LANDSCAPE NOTES**

- 1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.
- 2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.
- 3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.
- 4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

**1.14 TREE TRUNK PROTECTION**



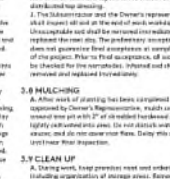
**1.15 IRRIGATION SCHEDULE**

SOIL TYPE	IRRIGATION SCHEDULE
LESS THAN 4 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
4-6 INCH CAULPS	DAILY: 1 MOVER EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
GREATER THAN 6 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED

**1.16 CONSTRUCTION NOTES**

- 1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.
- 2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.
- 3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.
- 4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

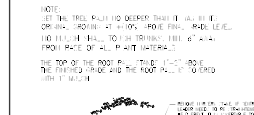
**1.17 TREE TRUNK PROTECTION**



**1.18 IRRIGATION SCHEDULE**

SOIL TYPE	IRRIGATION SCHEDULE
LESS THAN 4 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
4-6 INCH CAULPS	DAILY: 1 MOVER EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
GREATER THAN 6 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED

**1.19 TREE TRUNK PROTECTION**



**1.20 IRRIGATION SCHEDULE**

SOIL TYPE	IRRIGATION SCHEDULE
LESS THAN 4 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
4-6 INCH CAULPS	DAILY: 1 MOVER EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
GREATER THAN 6 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED

**1.21 CONSTRUCTION NOTES**

- 1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.
- 2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.
- 3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.
- 4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

**1.22 TREE TRUNK PROTECTION**



**1.23 IRRIGATION SCHEDULE**

SOIL TYPE	IRRIGATION SCHEDULE
LESS THAN 4 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
4-6 INCH CAULPS	DAILY: 1 MOVER EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
GREATER THAN 6 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED

**1.24 CONSTRUCTION NOTES**

- 1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.
- 2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.
- 3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.
- 4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

**1.25 TREE TRUNK PROTECTION**



**1.26 IRRIGATION SCHEDULE**

SOIL TYPE	IRRIGATION SCHEDULE
LESS THAN 4 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
4-6 INCH CAULPS	DAILY: 1 MOVER EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
GREATER THAN 6 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED

**1.27 CONSTRUCTION NOTES**

- 1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.
- 2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.
- 3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.
- 4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

**1.28 TREE TRUNK PROTECTION**



**1.29 IRRIGATION SCHEDULE**

SOIL TYPE	IRRIGATION SCHEDULE
LESS THAN 4 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
4-6 INCH CAULPS	DAILY: 1 MOVER EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED
GREATER THAN 6 INCH CAULPS	DAILY: 2 TIMES EVERY OTHER DAY: 2 TIMES WEEKLY: ESTABLISHED

**1.30 CONSTRUCTION NOTES**

- 1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.
- 2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.
- 3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.
- 4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning

17100 PALM BLVD.  
SUITE 400  
MIAMI, FLORIDA 33158  
PHONE: (305) 556-1124  
FAX: (305) 556-0910  
WEBSITE: WWW.CKEGROUP.COM

REGISTERED PROFESSIONAL ENGINEER  
NO. 31914  
STATE OF FLORIDA

REGISTERED PROFESSIONAL ARCHITECT  
NO. 12000  
STATE OF FLORIDA

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
NO. 20000  
STATE OF FLORIDA

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED BY ESTUARDO L. CARACHI. A COPY OF THE ORIGINAL SIGNED AND SEALED OF THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

PROVIDED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED OF THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

DATE: 2/28/2021  
DRAWN BY: DANIEL DICKSON  
DATE: 02/28/2021

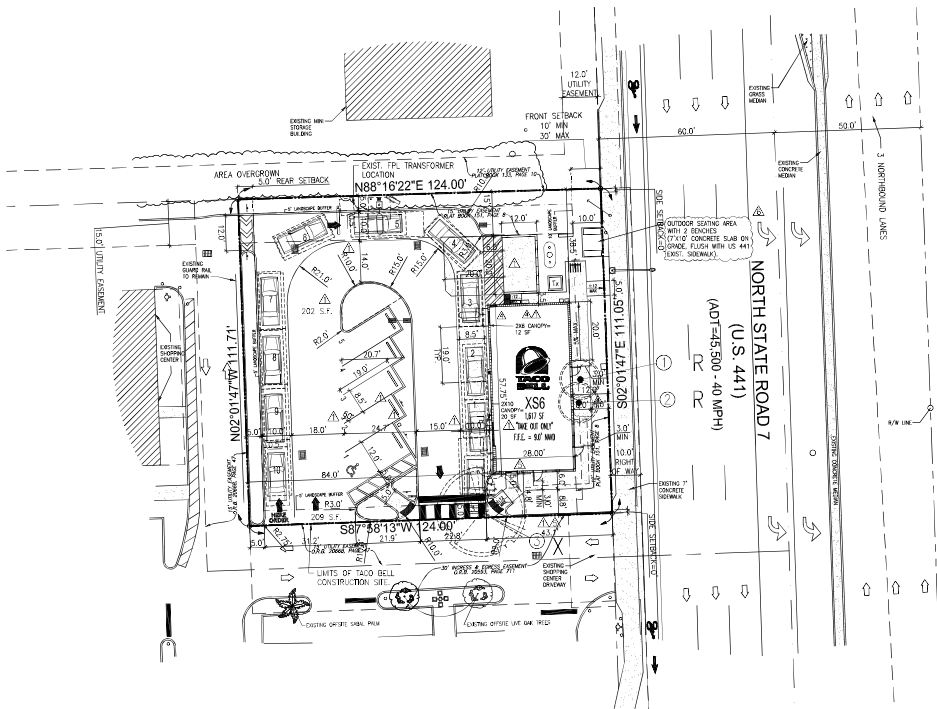
**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021

CONTRACT DATE: 2/28/2021  
BILLING TYPE: XS6  
PLAN VERSION: FEBRUARY 2022  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315698  
STORE NUMBER: TB-459380  
PALM: DIANA DAGGIO  
DRAWN BY: AGC  
JOB NO.: CKE-1746

**TACO BELL**  
LANDSCAPE SPECIFICATIONS  
XS6

1. ALL EXISTING TREES SHALL BE PROTECTED TO REMAIN.  
2. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.  
3. MAINTAIN ALL EXISTING TREES IN HEALTHY CONDITION.  
4. PROTECT ALL EXISTING TREES FROM DAMAGE TO TRUNKS AND BRANCHES.

**L-2**  
PLOT DATE



**TREE DISPOSITION PLAN**



**NOTE:**  
 CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT.  
 ALL LANDSCAPE MATERIALS SHALL BE PLANTED 3' MINIMUM DISTANCE AWAY FROM ALL TREE/PAVILION ROOTBALLS.  
 LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

**IRRIGATION SCHEDULE**

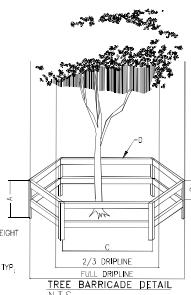
FOR RELOCATED AND/OR NEWLY PLANTED TREES, THE IRRIGATION SCHEDULE SHALL BE AS SET FORTH IN THIS PROVISION. NEW TREES, ESTABLISHED TREES SHOULD BE PROVIDED 2-3 INCHES PER WEEK WITH 2 CALIPERS PER SIDE TRUNK CALIPER. ALL TREE WATERS SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL.

TABLE 2. IRRIGATION SCHEDULES DEPENDING ON SIZE OF PLANTED STOCK AND DESIRED OBJECTIVE\*

SIZE OF STOCK	IRRIGATION SCHEDULE FOR	
	WIND	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WELLS EVERY OTHER DAY: 2 MONTHS WEEKLY/ONCE ESTABLISHED	THREE WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 WELL EVERY OTHER DAY: 3 MONTHS WEEKLY/ONCE ESTABLISHED	THREE WEEKLY FOR 2-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WELLS EVERY OTHER DAY: 3 MONTHS WEEKLY/ONCE ESTABLISHED	THREE WEEKLY FOR 4-5 MONTHS

\* ESTABLISHMENT TREES APPROXIMATELY 3 MONTHS (APPROX. ZONES 10-11) 4 MONTHS (APPROX. ZONES 9-9) PER ROW TRUNK CALIPER.

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



- TREE BARRICADE NOTES:**
- ALL ARRANGED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 6 WEEKS PRIOR TO CONSTRUCTION AND TOPS ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. FRENCH DRIPS SHALL BE 18"-24"; ROOT SHALL BE A MINIMUM OF 60" WITH ROOT PRUNED. FULL BRUSH WITH FENCIBLE MATERIAL, SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TOPS SHOULD BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED IF NEEDED.
  - ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE (ANS) 4300-2005" CURRENT EDITION RESPECTIVELY.
  - LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION CORDON FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
  - EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
  - NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED UNDER TREE BARRICADES.
  - TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
  - TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
  - TRANSPLANT TREE WITH 60" TREE SPAN OF TREE CRANK. TRANSPORTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS PROVIDED FOR TRANSPORTING.
  - SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH 1" OR SLIGHTLY HIGHER ( + 1" ) THAN THE FINISHED GRADE.

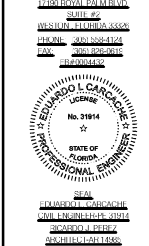
EXISTING TREES TO REMAIN REQUIRED BARRICADES

SEE SHEET L-1 LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

R = TO BE RELOCATED  
 X = TO BE REMOVED

EXISTING LANDSCAPE MATERIALS						
KEY	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	CONDITION
(1)	SAB	1	SABAL PALMETTO / CARBAGE PALM	16'-18" X 15'	(1) TO BE RELOCATED (12"Ø CALIPER)	GOOD/70%
(2)	SAB	1	SABAL PALMETTO / CARBAGE PALM	18'-20" X 15'	(1) TO BE RELOCATED (12"Ø CALIPER)	GOOD/70%
(3)	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22'-24" X 30"	(1) TO BE REMOVED (10"Ø CALIPER)	POOR/40%

(1) LIVE OAK TREE 10.5" D.B.H. TO BE REMOVED =X SEE PLAN  
 (3)-CRAPE MYRTLE TREE FROM 2" TO 4" D.B.H.= ADDITIONAL 6.0" D.B.H. PROVIDED ONSITE. SEE L-1 4.5" D.B.H. TREE SHORTFALL OPTION OF \$350.00 PER 2" D.B.H. AMOUNT OF \$787.50 TO BE PAID INTO CITY TREE TRUST FUND.  
 (M)= UPSIZED TREES IN LIEU OF CANOPY COMPENSATION MITIGATION PROVIDED AS SHOWN, SEE LEGEND



This item has been digitally signed by Eduardo L. Caracche on the date adjacent to the seal.  
 Prints copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.



NO. 003-001-000  
 DRAWN BY: ROCK SHARLETT  
 CHECKED BY: JAMES W. GARDNER

DATE	REVISIONS
03/24/23	CITY COMMENTS
08/16/24	CITY COMMENTS
09/17/24	CITY COMMENTS
10/01/24	CITY COMMENTS
10/23/24	CITY COMMENTS
12/17/24	CITY COMMENTS

CONTRACT DATE: 2/26/2021  
 BUILDING TYPE: XS6  
 PLAN VERSION: FEBRUARY 2022  
 BRAND DESIGNER: DANIEL DICKSON  
 SITE NUMBER: 315998  
 STORE NUMBER: TB-459380  
 PA/PM: DIANA DMCICCO  
 DRAWN BY: AG  
 JOB NO.: CKE 1746

TACO BELL  
 2640 N SR-7,  
 HOLLYWOOD, FL 33021



XS6  
**TREE DISPOSITION PLAN**  
**L-3**

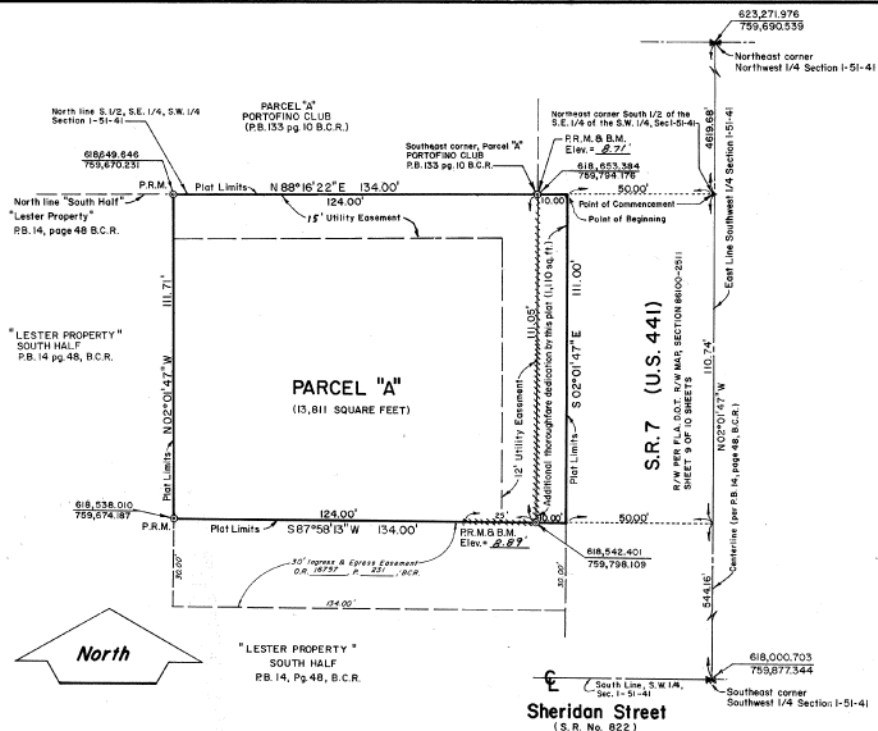
PLOT DATE:







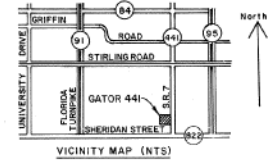




**DESCRIPTION**

A portion of the "SOUTH HALF" of "LESTER PROPERTY" as recorded in Plat Book 14, page 48, B.C.R. lying within the following described parcel of land: a portion of the South 1/2 of the Southeast 1/4 of the Southwest 1/4 of Section 1, Township 51 South, Range 41 East, Broward County, Florida being described as follows: Commencing at the Northeast corner of the South 1/2 of the Southeast 1/4 of the said Section 1; Thence, S88°16'22" W on the North line of the South 1/2 of the Southeast 1/4 of the Southwest 1/4 a distance of 5000 feet to a POINT OF BEGINNING; Thence, S02°01'47" E parallel and 5000 feet West of the East line of the South 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 1 a distance of 111.00 feet; Thence, S 87°58'13" W 134.00 feet; Thence N02°01'47" W 111.71 feet to a point on the North line of the South 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 1; Thence, N 88° 16' 22" E on said North line 134.00 feet to the POINT OF BEGINNING. Said lands containing 0.3425 acres more or less.

THIS PLAT HAS BEEN AMENDED:  
SEE O.R. BOOK 22317 PG 762



**NOTES**

@ P.R.M. - indicates Permanent Reference Monument  
B.M. Elev. - indicates Bench Mark Elevation  
##### indicates Non-Vehicular Access Line  
State Plane Coordinates and bearings, as shown hereon, are based on the National Geodetic Transverse Mercator Projection, Florida East Zone, according to the Keith and Schnors Resurvey of Sections 1 - 30, T. 51 S., R. 41 E., as recorded in Misc. P. B. 6, P. 19, B.C.R.

NOTICE: There may be additional restrictions that are not recorded on this plat that may be found in the public records of Broward County, Florida.  
Reference Bench Mark: City of Hollywood Bench Mark (Box cut in back of South sidewalk of Southeast corner of State Road No 441 and Sheridan Street)  
Elev. - 6.97'

This plat is restricted to 3000 sq. ft. of commercial use. Any structure within this plat must comply with Section IV D.I.F., Development Review Requirements, of the Broward County Land Use Plan, regarding hazards to air navigation. This site is required by Chapter 5, Article 1X, Broward County Code of Ordinances, and may be amended by approval of the Broward County Board of County Commissioners.  
The notation and any amendments thereto are solely indicating the approved development level for property located within the plat and do not operate as a restriction in favor of any property owner including an owner or owners of property within this plat who took title to the property with reference to this plat.

**DEDICATION**

STATE OF FLORIDA SS KNOWALL MEN BY THESE PRESENTS: That GATOR 441, Inc., a Florida corporation, owner of the lands described and shown as included in this plat, has caused said lands to be subdivided and platted as shown hereon, said plat to be known as "GATOR 441 SUBDIVISION", and the additional thoroughfare is hereby dedicated to the public in fee simple. The easements are hereby dedicated to the public for proper purpose.

IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of North Miami Beach, County of Dade, State of Florida, this 5 day of June, 1990.  
Witness: *April Hand* as to both Officer: *James A. Goldsmith* Title: *President*  
Witness: *Maria Klemm* as to both Officer: *James A. Goldsmith* Title: *Secretary*

**ACKNOWLEDGEMENT**

STATE OF FLORIDA SS BEFORE ME personally appeared James A. Goldsmith and James A. Goldsmith being COUNTY OF DADE SS the President and Secretary, respectively of GATOR 441, INC., a Florida corporation to me known to be the individuals described in, and who executed the foregoing instrument and acknowledged to and before me that they executed said instrument for the purposes herein expressed.  
WITNESS: My hand and official seal, this 5th day of June, 1990.  
My commission expires the 2nd day of December, 1990. NOTARY PUBLIC Linda La Klumpp STATE OF FLORIDA.

**CITY COMMISSION**

THIS IS TO CERTIFY: That this plat was approved and accepted by the City Commission of Hollywood, Florida, by Resolution No. R-90-148, adopted this 25 day of JULY, 1990, and that by said Resolution, all thoroughfares shown on this plat were accepted in the name of said City and all previous plats of this land are cancelled and superseded.  
Attest: Robert J. Lander City Clerk Approved: Ed Plavin Mayor Approved: St. Burgard City Engineer

**BROWARD COUNTY OFFICE OF PLANNING**

This plat is approved and accepted for record this 3 day of MARCH, 1992. By: David Steward Director

**BROWARD COUNTY ENGINEERING DIVISION**

This plat has been approved and accepted for record. By: Emilio V. Luefrio Emilio V. Luefrio, County Surveyor, Fla. P.L.S. Reg. No. 4423, Date: 3-4-92.  
BY: Henry P. Cook Henry P. Cook, Director of Engineering, Fla. P.E. Registration No. 12506 Date: 3-2-92

**BROWARD COUNTY PLANNING COUNCIL**

THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat subject to its compliance with dedication of rights-of-way for trafficways on this 15th day of March, 1992. By: Ed Plavin Date: September 23, 1990  
This plat complies with the approval of the Broward County Planning Council of the above date and is approved and accepted for record this 4th day of March, 1992. By: Peter M. Rose Administrator or Designee

**BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION**

THIS IS TO CERTIFY: That this plat complies with the provisions of Chapter 177, FLORIDA STATUTES, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this 25th day of October, 1990. B. JACK OSTERHOLT - COUNTY ADMINISTRATOR  
By: John V. ... Deputy By: ... Chairperson - County Commission

**BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION**

This plat was filed for record this 10th day of March, 1992, in BOOK 151 of PLATS, of Page 8, record verified.  
B. JACK OSTERHOLT - COUNTY ADMINISTRATOR By: Carole C. ... Deputy

**SURVEYOR'S CERTIFICATE**

STATE OF FLORIDA SS I HEREBY CERTIFY: That the attached plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision, that the survey data shown complies with the applicable requirements of Chapter 177, FLORIDA STATUTES, and further that the PERMANENT REFERENCE MONUMENTS (P.R.M.'S) were set in accordance with Section 177.091 of said Chapter 177, on this 31st day of May, 1992. The BENCH MARKS shown are referenced to N.G. VERTICAL DATUM and conform to standards for third order work. This plat conforms to all applicable sections of Chapter 21-HH-5, FLORIDA ADMINISTRATIVE CODE.

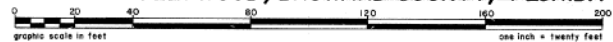
McLAUGHLIN ENGINEERING CO.  
This plat dated at Fort Lauderdale, Florida, this 11 day of June, 1990. BY: James M. McLaughlin, Jr. James M. McLaughlin, Jr.  
Registered Land Surveyor No. 4497, State of Florida.

**DEDICATION OF MORTGAGE HOLDER**  
NORTHERN TRUST BANK OF FLORIDA, N.A., a Florida corporation, owner and holder of a mortgage on this property, recorded in O.R. 16804 page 36, Broward County Records, does hereby join in the dedication shown hereon.  
IN WITNESS WHEREOF: I hereunto set my hand and affix the corporate seal in the City of Miami, County of Dade, State of Florida, this 8th day of JUNE, 1990.  
Witness: W. Miller Officer: W. Murphy Title: VICE PRESIDENT  
Witness: ...

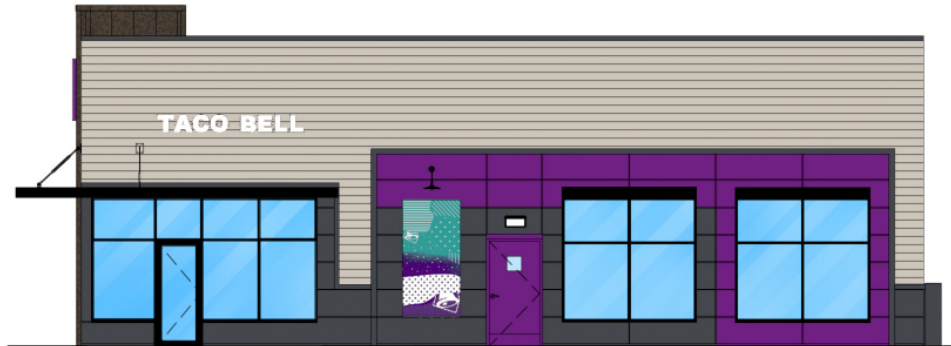
**ACKNOWLEDGEMENT**  
STATE OF FLORIDA SS BEFORE ME personally appeared William A. Murphy being the vice president of NORTHERN TRUST COUNTY OF DADE SS BANK OF FLORIDA, N.A., a Florida corporation, to me known to be the individual described in and who executed the foregoing instrument and who acknowledged to and before me that he executed said instrument for the purposes herein expressed.  
WITNESS: My hand and official seal, this 8th day of JUNE, 1990.  
My commission expires the 26th day of September, 1992. NOTARY PUBLIC ... STATE OF FLORIDA

# GATOR 441 SUBDIVISION

A REPLAT OF A PORTION OF THE SOUTH HALF OF "LESTER PROPERTY" (P.B. 14, P. 48, B.C.R.) SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

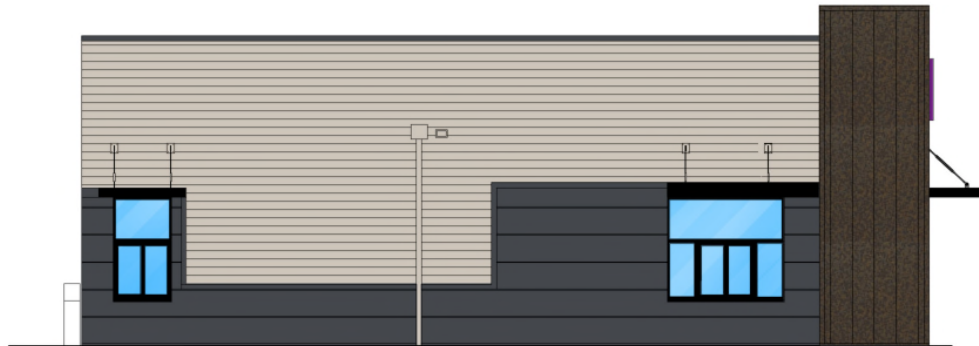


PREPARED BY: McLAUGHLIN ENGINEERING CO. 400 N.E. 3rd AVENUE FORT LAUDERDALE, FLORIDA 33301



GLASS COVERAGE PERCENTAGE		
BUILDING EAST ELEVATION LENGTH:	57'-9"	100%
GLASS COVERAGE:		
CLEAR GLASS	16'-2"	28%
FAUX GLASS	18'-6"	32%
TOTAL GLASS:	34'-8"	60%

(EAST) RIGHT SIDE ELEVATION 1/4" = 1'-0" A



(WEST) LEFT SIDE ELEVATION 1/4" = 1'-0" B



(SOUTH) FRONT ELEVATION 1/4" = 1'-0" C



(NORTH) REAR ELEVATION 1/4" = 1'-0" D

**GROUP**

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning

17100 RICALDA BLVD.  
SLATE #2  
WESTON, FLORIDA 33326  
PHONE: (305) 508-4124  
FAX: (305) 508-9819  
EBA#0004432

EDUARDO L. CARCACHÉ  
No. 31914  
LICENSE  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

EDUARDO L. CARCACHÉ  
CIVIL ENGINEER, P.E. 31914

Eduardo L. Carcache, State of Florida,  
Professional Engineer, License No. 31914.  
This item has been digitally signed and  
sealed by Eduardo L. Carcache on the date  
indicated here.  
Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any electronic  
copies.

- ▲ 06-24-2024
- ▲ 12-05-2024
- ▲ 12-10-2024
- ▲
- ▲
- ▲
- ▲
- ▲

CONTRACT DATE: 01.16.23  
BUILDING TYPE:  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER: 458380

TACO BELL  
2540 N. Slate Rd 7  
Hollywood, Florida, 33021

**EXTERIOR ELEVATIONS**

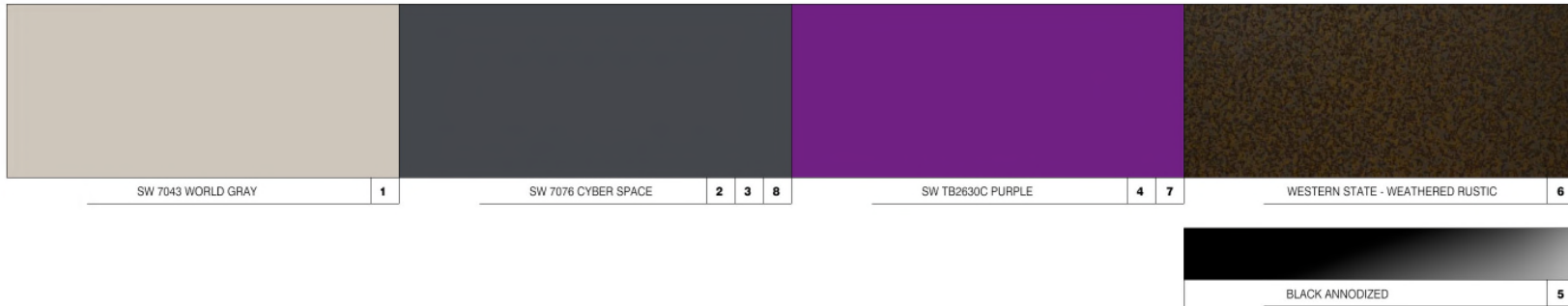
**A4.0**  
PLOT DATE: 10-12-24







(EAST) RIGHT ELEVATION 1/4" = 1'-0" 1



SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	CONTACT INFORMATION
[1]	SOUND	JAMES HARDIE	ARTISSA V-GROOVE 1/4" X 8' 0" W/ 7" JOISTS (COVER PRIME) FOR PAINT	WORLDLY GRAY (SW7043), SEM-GLOSS	SEE C.I. A.7.2
[2]	HARDE TRIM	JAMES HARDIE	HARDE TRIM 5/4 SMOOTH F.V.S.F	CYBERSPACE (SW7076), SEM-GLOSS	SEE C.I. A.7.2
[3]	HARDE PANEL, VERTICAL SOUND W/ ALUMINUM TRIM FROM FRV REGLET AND/OR TRAIL/IN	JAMES HARDIE	HARDE PANEL, VERTICAL SOUND, SMOOTH	CYBERSPACE (SW7076), SEM-GLOSS	SEE C.I. A.7.2
[4]	HOLLOW METAL DOOR	-	-	SW PURPLE TB2630C, SEM-GLOSS	SEE C.I. A.7.2
[5]	ANNODIZED	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR	SEE C.I. A.7.2
[6]	CORNER TOWER	WESTERN STATE	T-GROOVE 2X4 PAINTED RP PANEL	WEATHERED RUSTIC	SEE C.I. A.7.2
[7]	HARDE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TB2630C, SEM-GLOSS	SEE C.I. A.7.2
[8]	METAL PARAPET CAP	-	2X4 GALVANNEED	CYBERSPACE (SW7076) KYNAR 500 COATING	SEE C.I. A.7.2

EXTERIOR FINISH SCHEDULE D



**CKE GROUP**  
INCORPORATED  
Engineering • Architecture • Interiors

1700 HOWLAND PALMWOOD  
SUITE 40  
WESTON, FLORIDA 33093  
PHONE: 352-960-4100  
FAX: 352-960-9900  
WWW.CKEGROUP.COM



SEAL  
EDUARDO L. CORCOCHE  
CIVIL ENGINEER, P.E. 13904

This item has been digitally signed by Eduardo L. Corcoche on the site adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE	REMARKS
06-24-2024	
12-05-2024	
12-19-2024	

CONTRACT DATE: 09/14/2023  
BUILDING TYPE: XS6  
PLAN VERSION: FEBRUARY 2022  
BRAND DESIGNER: EFFYANNE SHKELY  
SITE NUMBER: 459380  
STORE NUMBER: TB-4000  
P/PM: EDDIE NUÑEZ  
DRAWN BY: R. C.  
JOB NO.: CKE 1792

**TACO BELL**  
2640 N. STATE RD. 7  
HOLLYWOOD, FL. 33021



CUSTOM  
EXTERIOR  
ELEVATIONS

**A4.0**

PLOT DATE: 12/12/2024





HADDLESTON ART STUDIO, INC.



HADDLESTON ART STUDIO, INC.





HIDDLESTON ART STUDIO, INC.

**TACO**

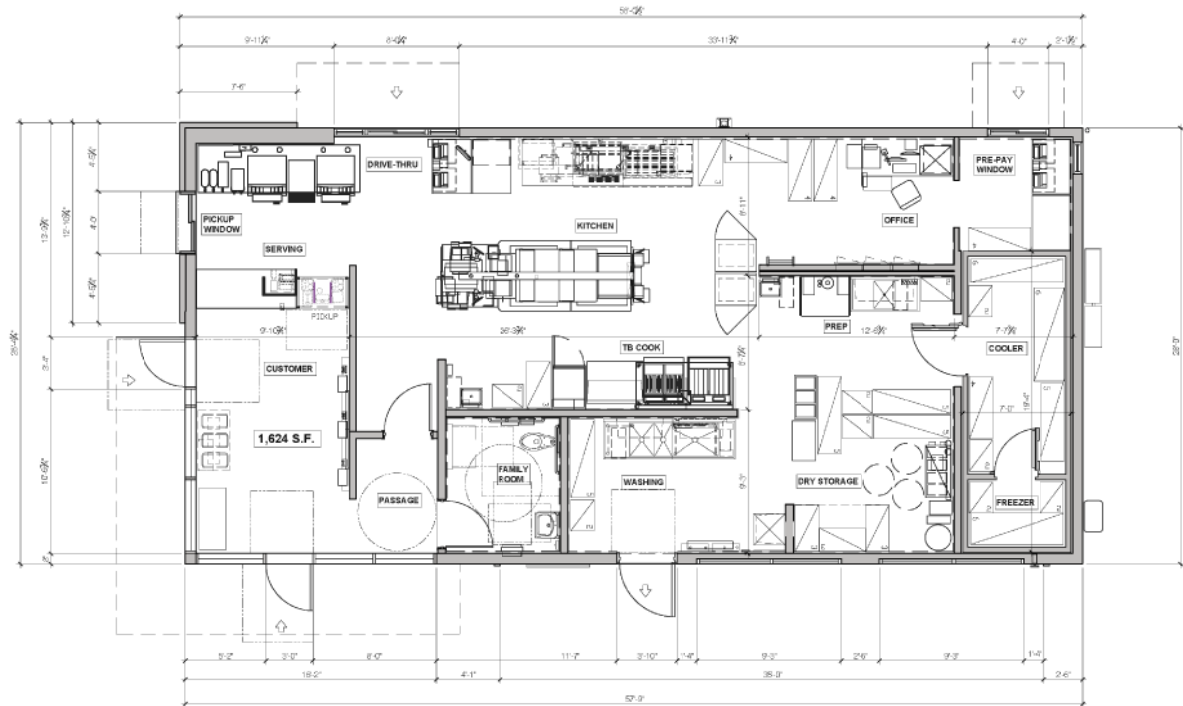
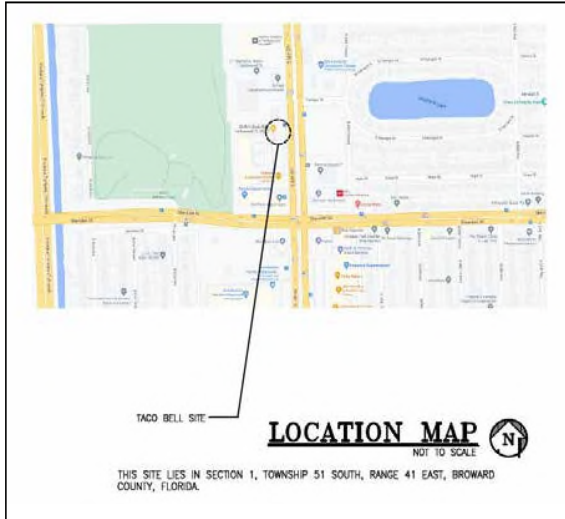


**BELL™**

**Store #315998  
2640 N. State Rt. 7  
Hollywood, FL  
06/19/2024**



# FLOOR PLAN

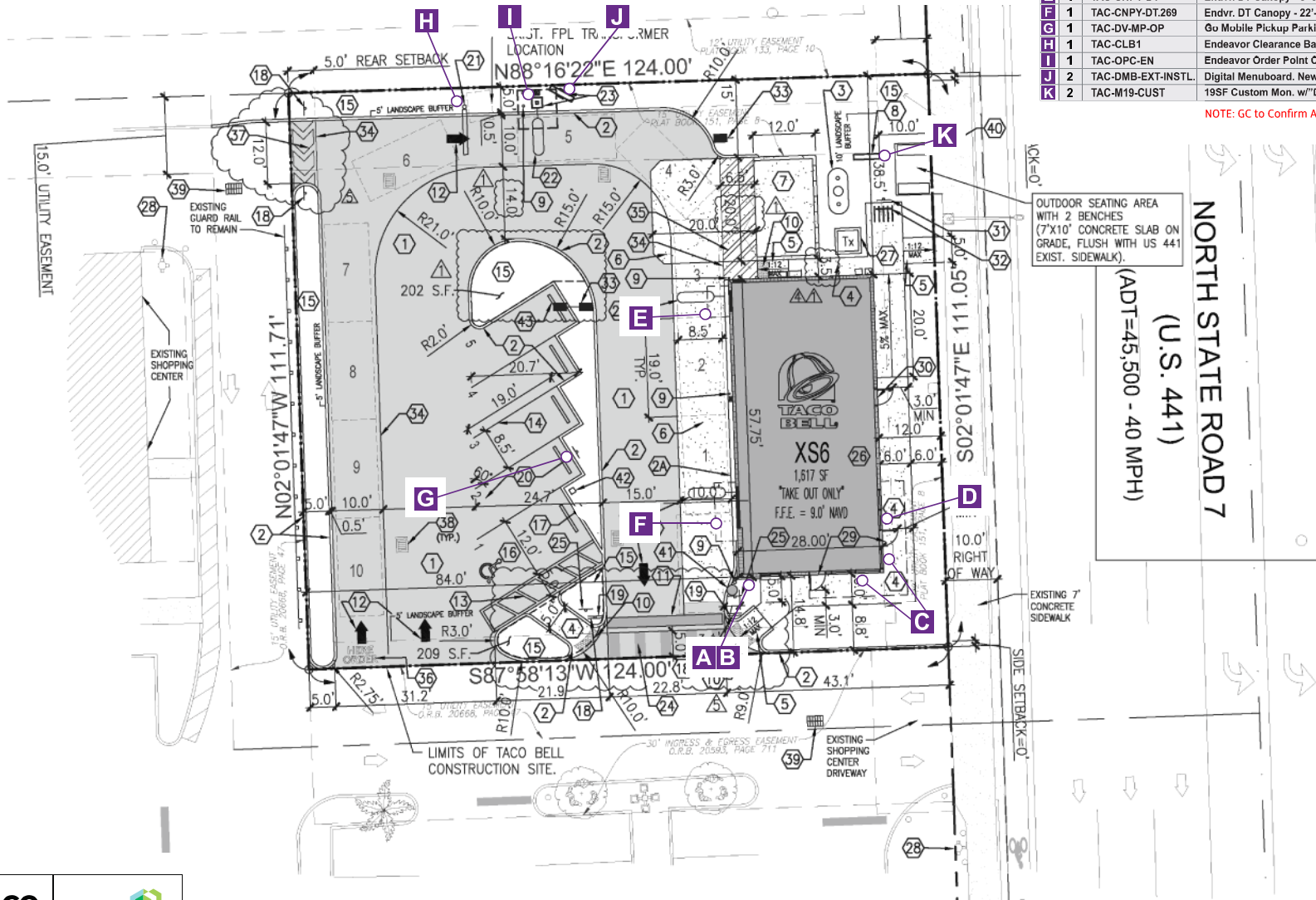


Scale: 1/8"=1'

# SITE PLAN

Qty.	SIGN CODE	DESCRIPTION
A	1 TAC-BELL-52P-FL	XXP Large Swinging Bell - Purple, Face Lit - 4'-4" h x 4'-9 7/16" w
B	1 TAC-WUW	WUW Walk-Up Window with TMBStone Surround - w/"ORDER PICKUP"
C	2 TAC-CNPY-EN-CNR	Corner Canopy - 209'-0" L x 17'-8" L x 4'-4" D - TB/DL - Black
D	1 TAC-CL-14W-L	Medium TB 14" White Channel Letters, Wall Mount - Linear
E	1 TAC-CNPY-DT	Endvr. DT Canopy - 6'-0" w x 4'-4" d - TB (2), DL (1) - Black
F	1 TAC-CNPY-DT.269	Endvr. DT Canopy - 22'-5" w x 4'-4" d - TB (2), DL (1) - Black
G	1 TAC-DV-MP-OP	Go Mobile Pickup Parking Sign
H	1 TAC-CLB1	Endeavor Clearance Bar. New foundation provided by GC.
I	1 TAC-OPC-EN	Endeavor Order Point Canopy. New foundation provided by GC.
J	2 TAC-DMB-EXT-INSTL.	Digital Menuboard. New foundation provided by GC.
K	2 TAC-M19-CUST	19SF Custom Mon. w/"DRIVE THRU" panel, Clad Base. Sign @ 6' OAH.

NOTE: GC to Confirm Awning Sizes.



OUTDOOR SEATING AREA WITH 2 BENCHES (7'X10' CONCRETE SLAB ON GRADE, FLUSH WITH US 441 EXIST. SIDEWALK).

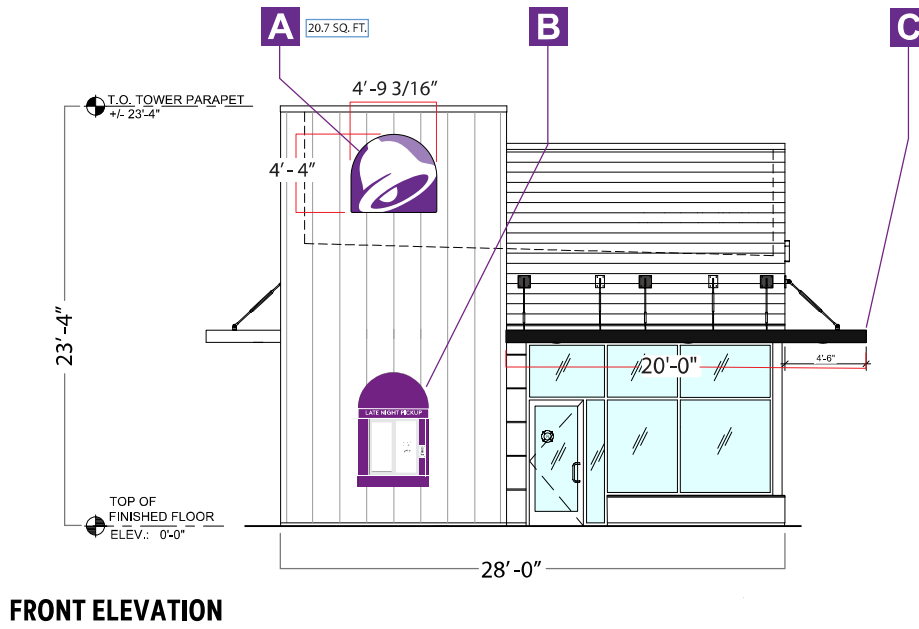
NORTH STATE ROAD 7  
(U.S. 441)  
(ADT=45,500 - 40 MPH)



# ELEVATIONS

Qty.	SIGN CODE	DESCRIPTION	
A	1	TAC-BELL-52P-FL	XXP Large Swinging Bell - Purple, Face Lit - 4'-4" h x 4'-9 7/16" w
B	1	TAC-WUW	WUW Walk-Up Window with TMBstone Surround - w/'ORDER PICKUP'
C	1	TAC-CNPY-EN-CNR	Corner Canopy - 20'-0" L x 4'-4" D - TB/DL - Black

**NOTE: AWNING SIZES TO BE CONFIRMED BY GC, AND ARCHITECT**



**FRONT ELEVATION**



NOTE: COLOR RENDER IS FOR REFERENCE ONLY AND IS NOT TO SCALE

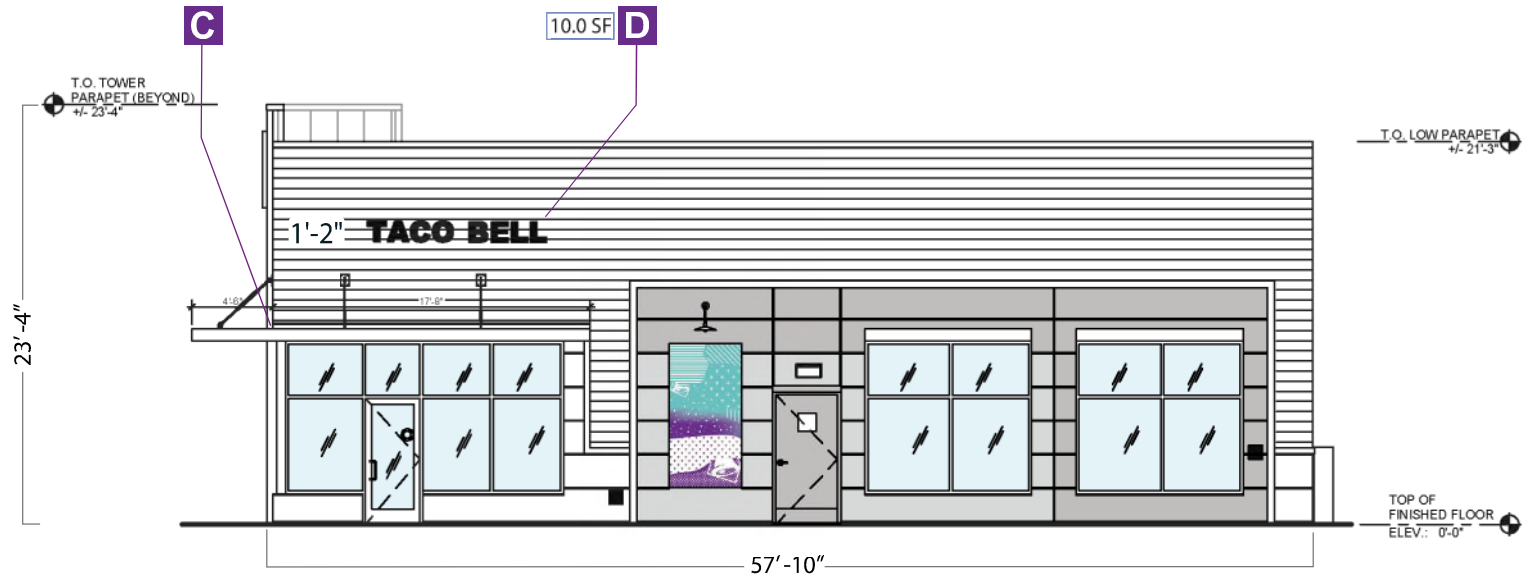


Scale: 3/32"=1'-0"

# ELEVATIONS

Qty.	SIGN CODE	DESCRIPTION
C 1	TAC-CNPY-EN-CNR	Corner Canopy - 17'-8"L x 4'-4"D - TB/DL - Black
D 1	TAC-CL-14W-L	Medium TB 14" White Channel Letters, Wall Mount - Linear

NOTE: AWNING SIZES TO BE CONFIRMED BY GC, AND ARCHITECT



PORTAL ELEVATION



NOTE: COLOR RENDER IS FOR REFERENCE ONLY AND IS NOT TO SCALE



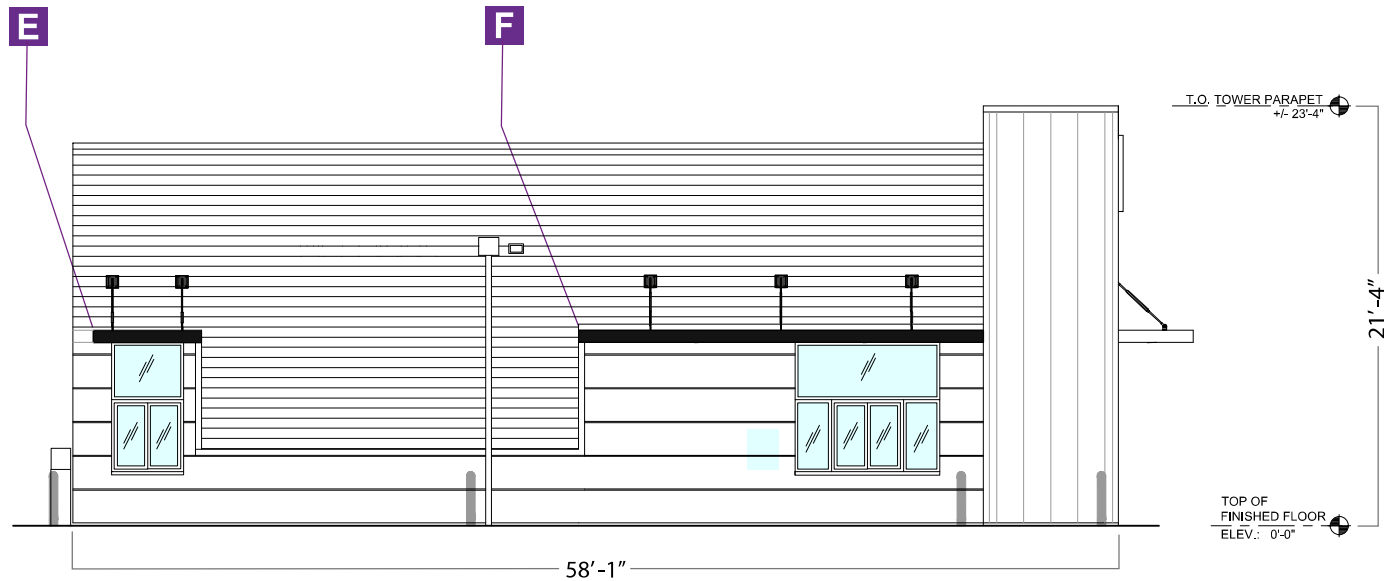
Scale: 3/32"=1'-0"



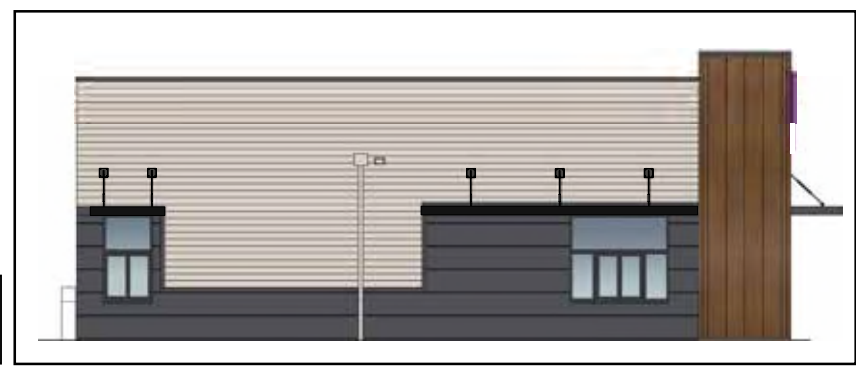
# ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
E	1	TAC-CNPY-DT	Endvr. DT Canopy - 6'-0"w x 4'-4"d - TB (2), DL (1) - Black
F	1	TAC-CNPY-DT.285	Endvr. DT Canopy - 23'-9"w x 4'-4"d - TB (2), DL (1) - Black

**NOTE: AWNING SIZES TO BE CONFIRMED BY GC, AND ARCHITECT**



**DRIVE-THRU ELEVATION**

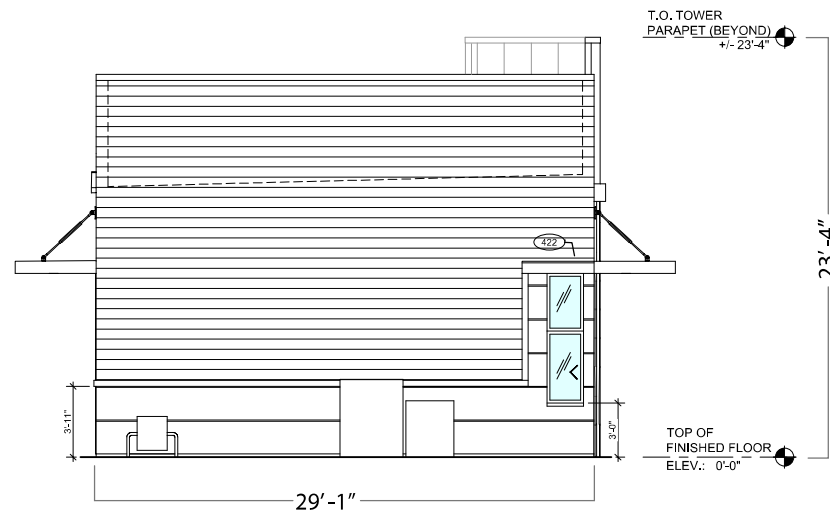


NOTE: COLOR RENDER IS FOR REFERENCE ONLY AND IS NOT TO SCALE



Scale: 3/32"=1'-0"

# ELEVATIONS



REAR ELEVATION



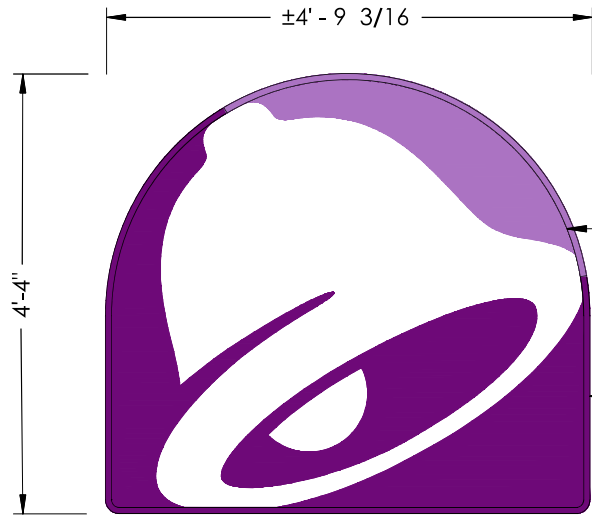
NOTE: COLOR RENDER IS FOR  
REFERENCE ONLY  
AND IS NOT TO SCALE





# A TAC-BELL-52P-FL

Qty. - 1



ELEVATION @ BELL-52P-FL  
SCALE: NONE

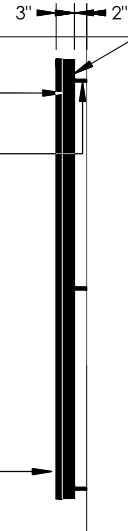
FACE IS .177\" TRANSLUCANT WHITE #7328 ACRYLIC W/ 1ST SURFACE APPLIED VINYL:  
 - **DARK PURPLE 3M 3630-9327**  
 - **LIGHT PURPLE 3. 3630-9141**  
2ND SURFACE APPLIED BLOCK OUT FILM  
 - NO FACE ILLUMINATION

ALUM. RETAINER IS PAINTED TO MATCH ADJACENT SURFACE, COLORS AS FOLLOW:  
 - **DARK PURPLE - TO MATCH MP306 (PMS 2603C)**  
 - **LIGHT PURPLE - TO MATCH (PMS2577C)**  
 - **BLACK - PANTONE BLACK (GRAPHITE BLACK RAL9011)**

BACK IS TRANSLUCANT WHITE #7328 ACRYLIC

ALUM. RETURNS ARE PRE-PAINTED PANTONE 'BLACK'

ALUM. STANDOFFS ARE PAINTED MAP 'BLACK'



SIDE ELEVATION  
SCALE: NONE

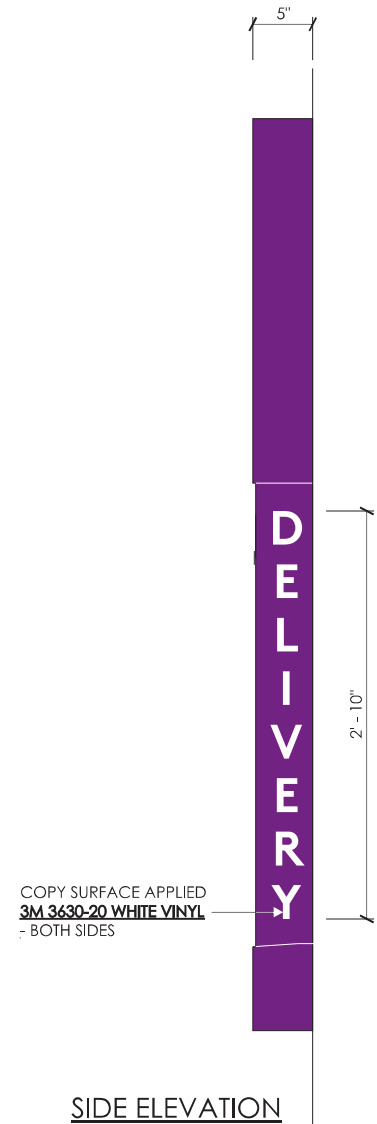


Windspeed: 115 MPH / IBC 2018

Illumination: ILLUMINATED

EXTERNAL DISCONNECT SWITCH

**B TAC-WUW**

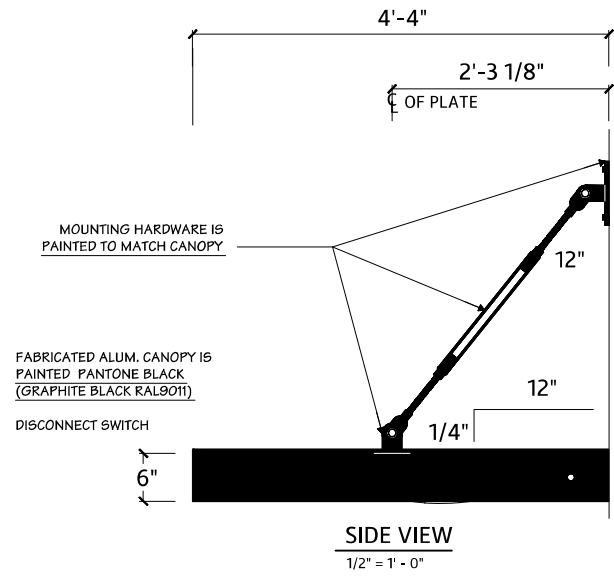
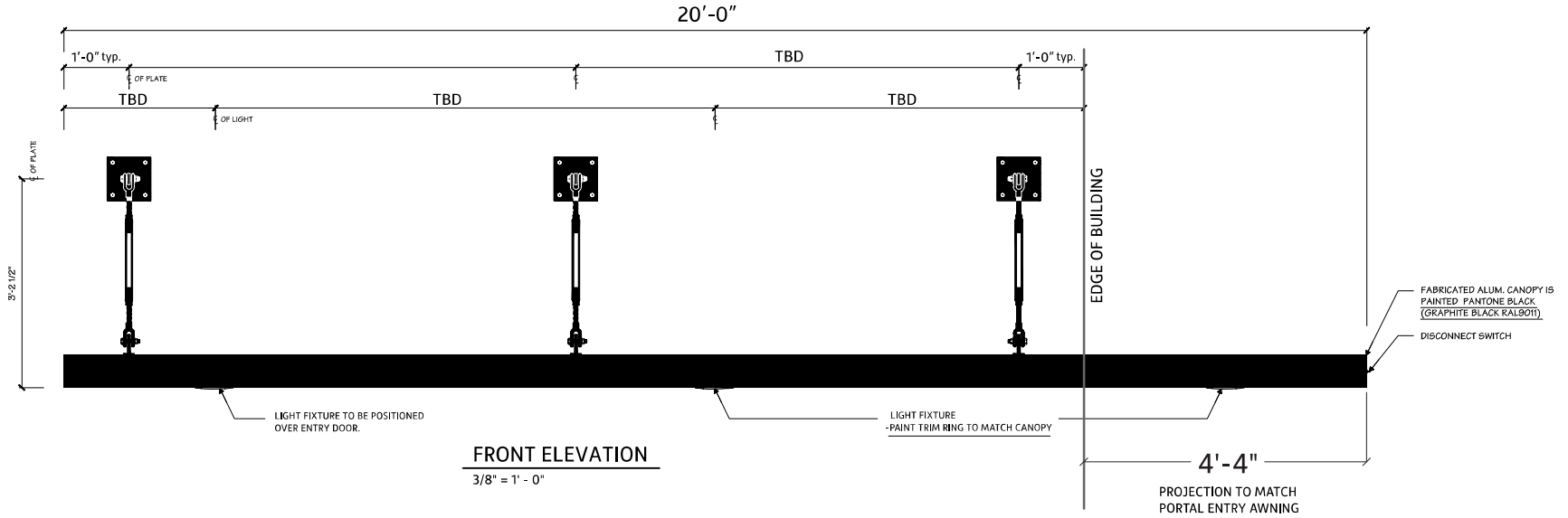


# C TAC-CANOPY-EN-CORNER

## Front Elevation

- NOTES:**
- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
  - 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

NOTE: Architect to confirm quantity and position of turnbuckles and downlights.



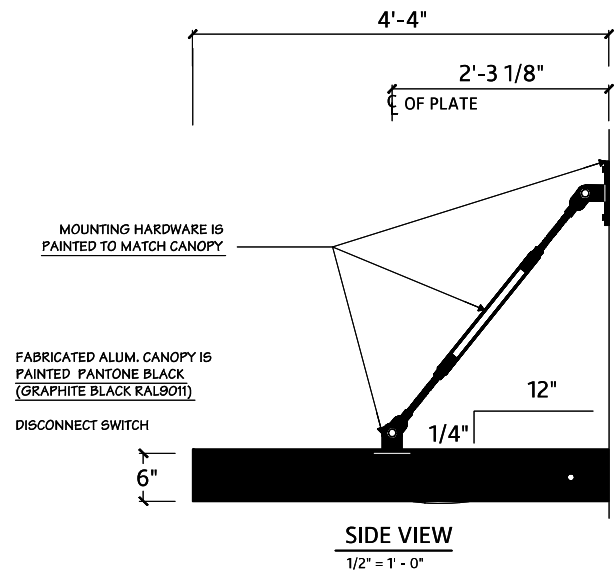
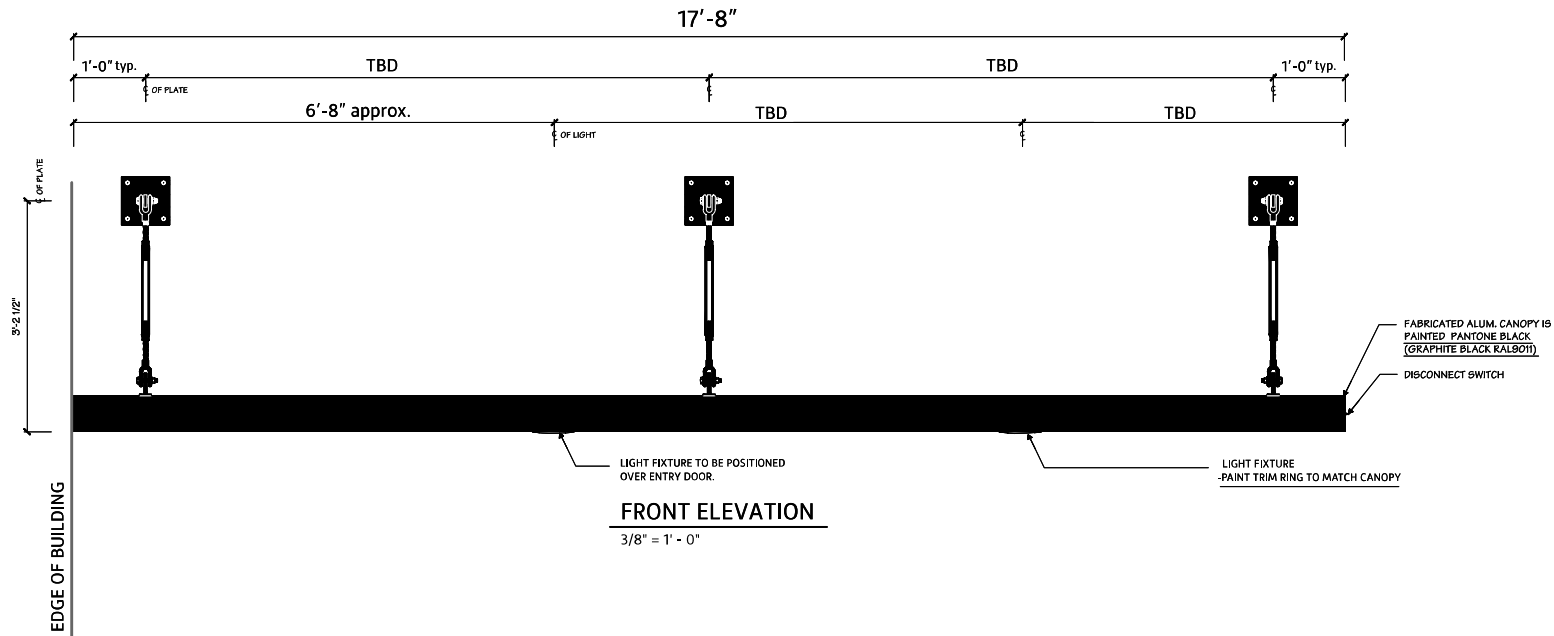


# C TAC-CANOPY-EN-CORNER

## Portal Elevation

**NOTES:**  
 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.  
 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

**NOTE:** Architect to confirm quantity and position of turnbuckles and downlights.



# D TAC-CL14W-L

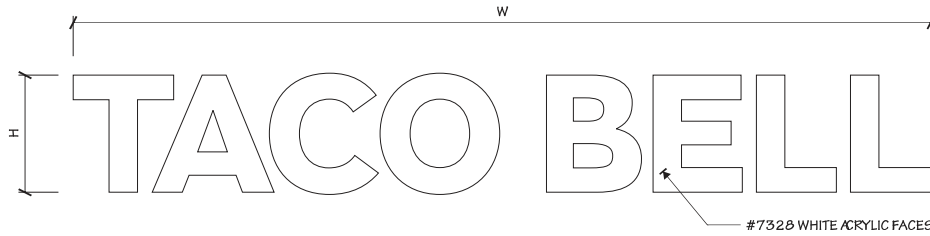
MOUNTING APPLICATION	
INTERIOR	EXTERIOR
	X

SIGN SCHEDULE				
QTY	SIGN TYPE	'H'	'W'	'A'
	TB-10 - W	10"	± 6'-1 1/16"	N/A
	TB-12 - W	12"	± 7'-3 11/16"	N/A
1	TB-14 - W	14"	± 8'-6 5/16"	N/A
	TB-16 - W	16"	± 9'-9"	N/A

MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS

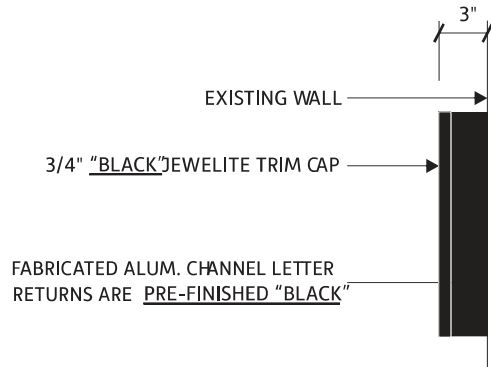
**NOTE:**  
 1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.  
 2.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

**NOTES:**  
 1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.  
 2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.



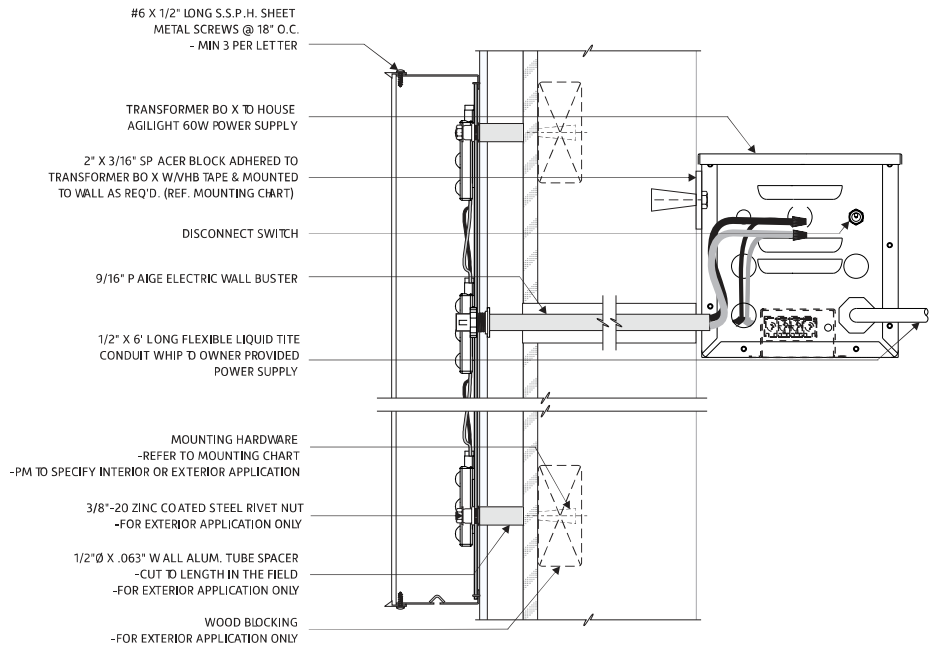
## LINEAR FRONT ELEVATION

NTS



## CHANNEL LETTER SIDE VIEW, TYP

NTS



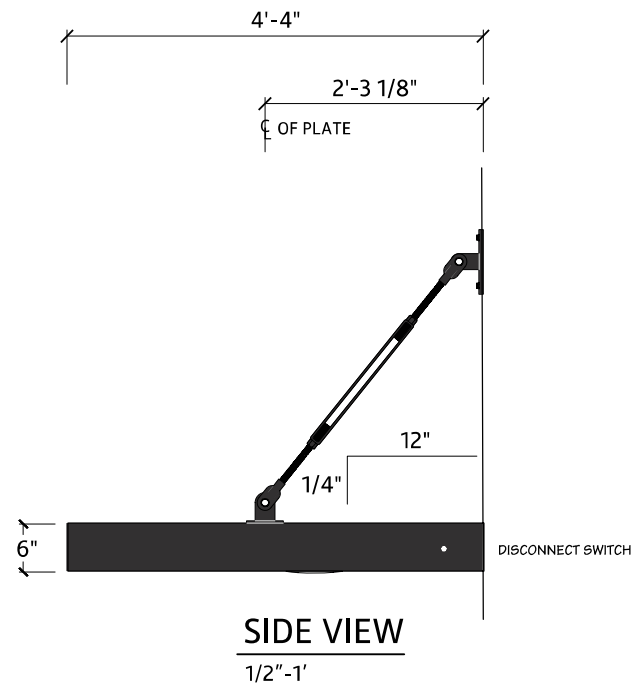
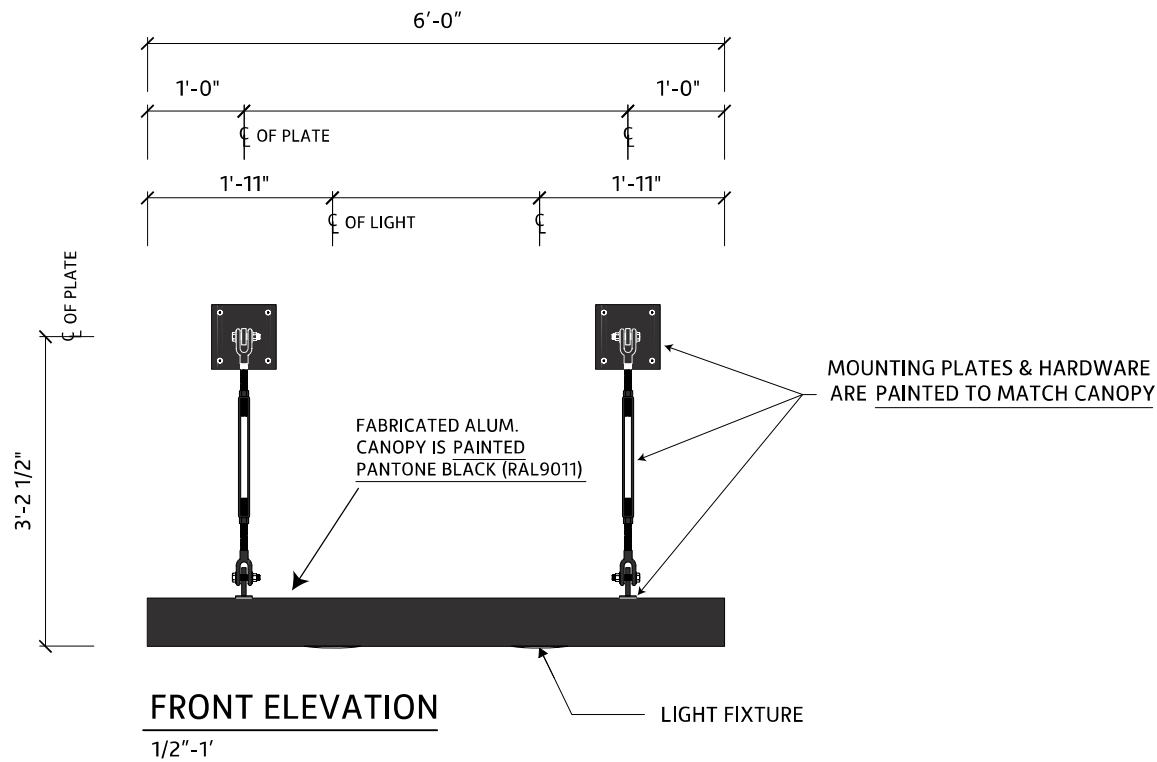
## SIDE SECTION

NTS



# E TAC-AWNING-DT-6X4.4-EN

**NOTES:**  
 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.  
 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

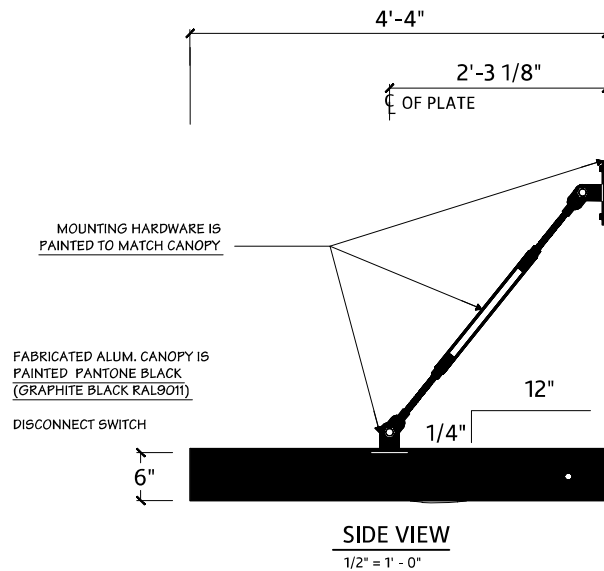
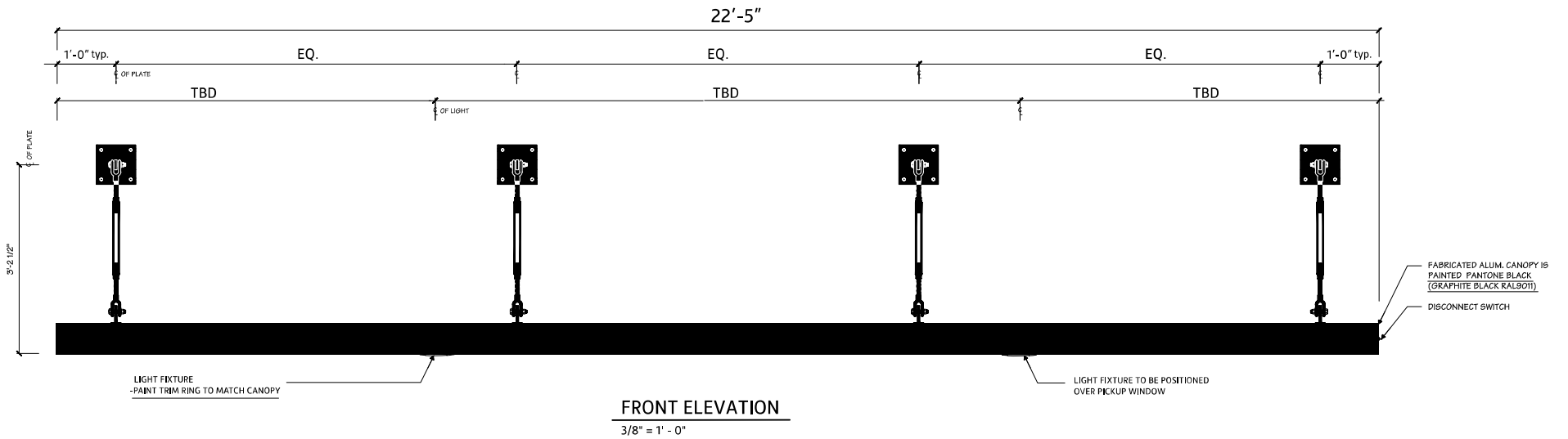




# F TAC-AWNING-DT-269

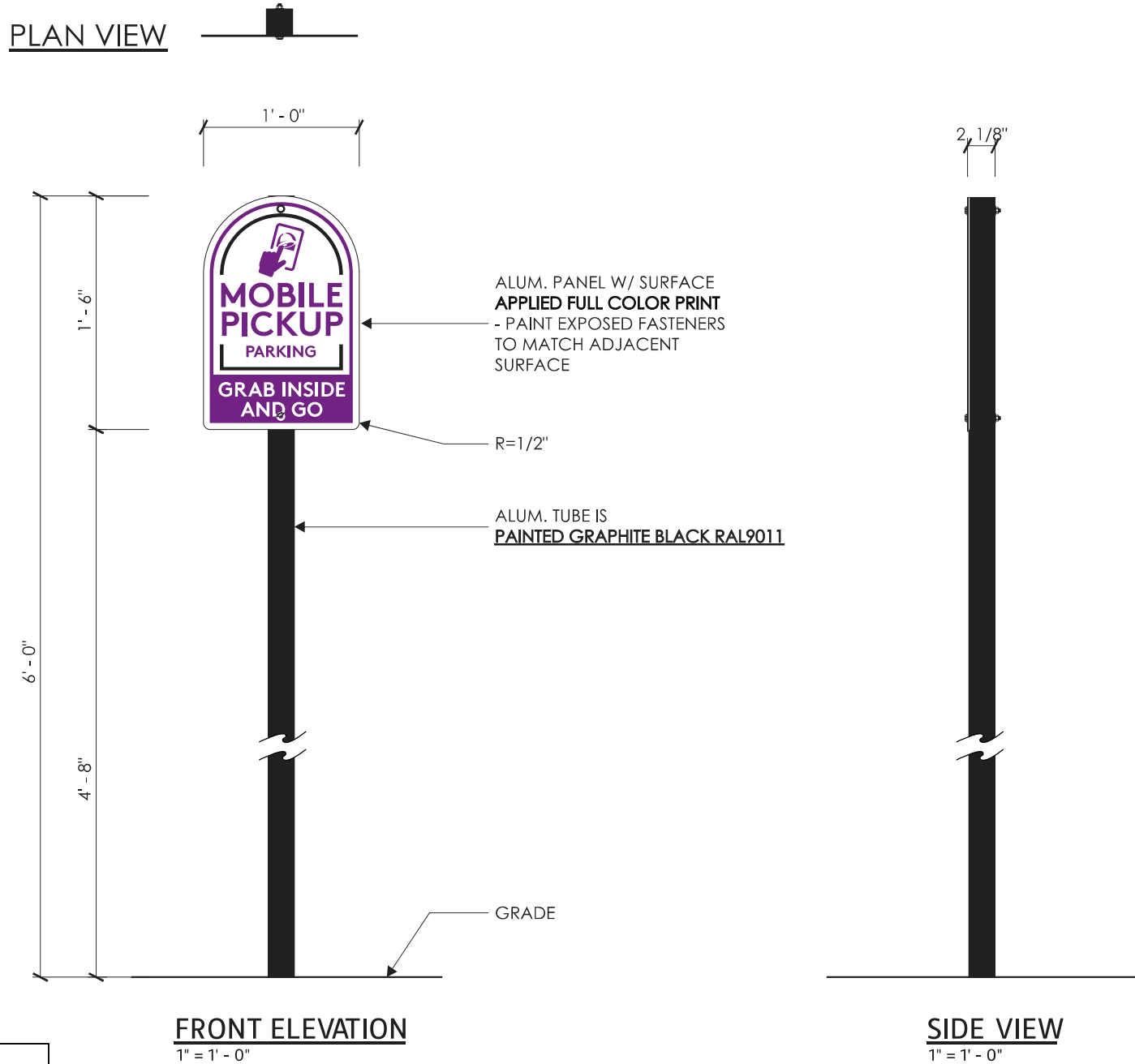
**NOTES:**  
 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.  
 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

NOTE: Architect to confirm quantity and position of turnbuckles and downlights.



**G TAC-DV-MP-OP**

Qty. - 1

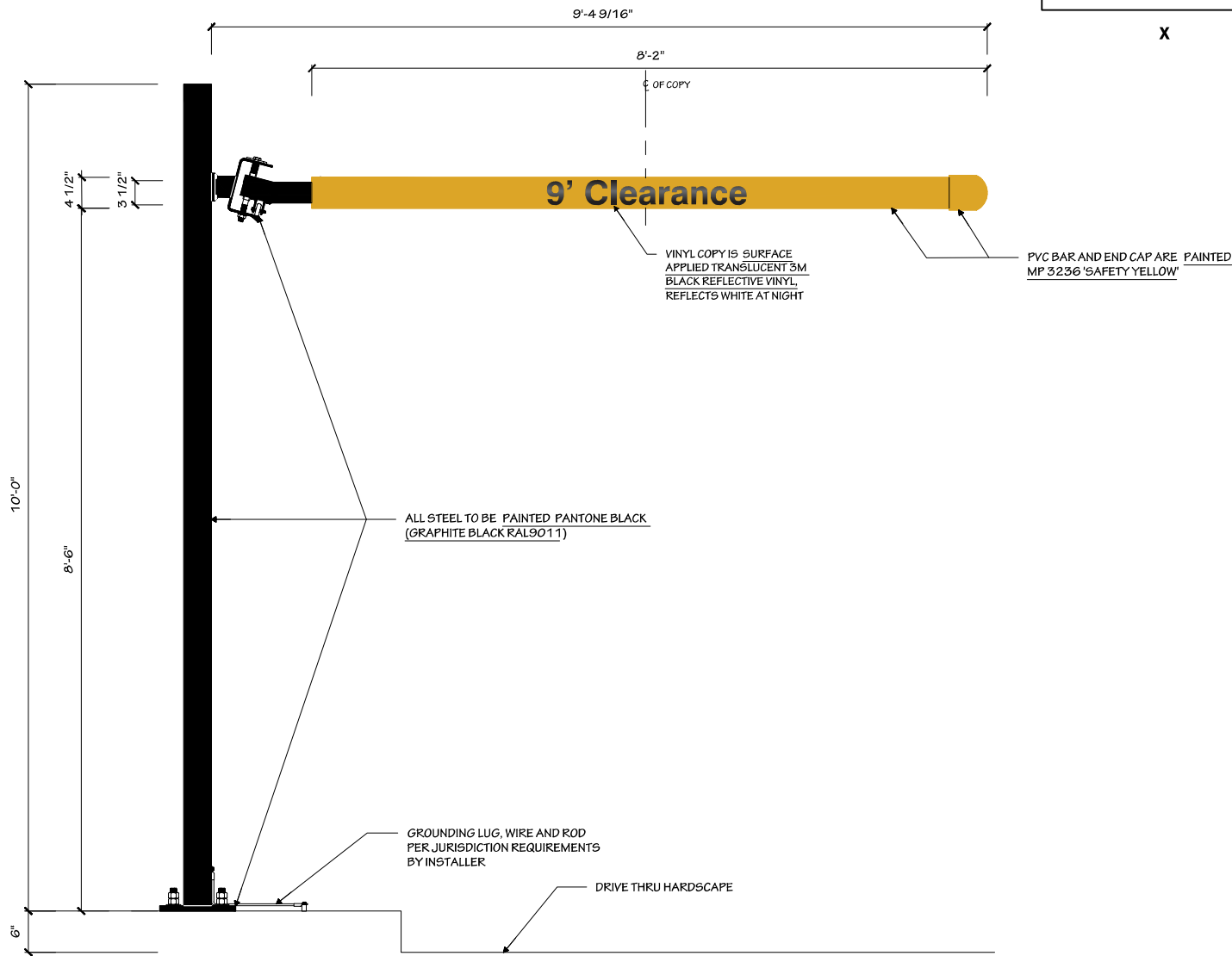


# H TAC-CLB1

Qty. - 1

**NOTES:**

- 1.) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
- 2.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.



X

**COPY ORIENTATION**

X	POLE ON LEFT
	POLE ON RIGHT

**FRONT ELEVATION (COPY W/ POLE ON LEFT)**

1/2" = 1' - 0"

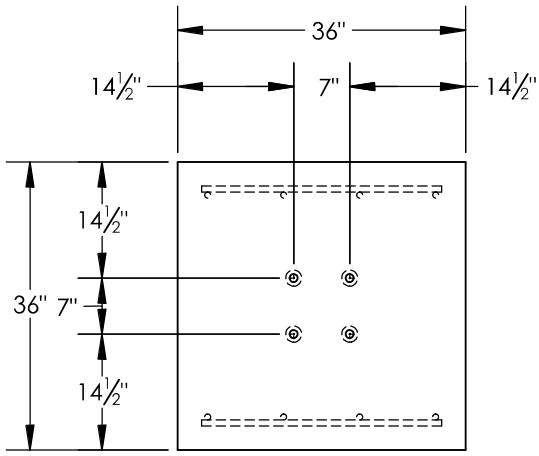


**NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC**



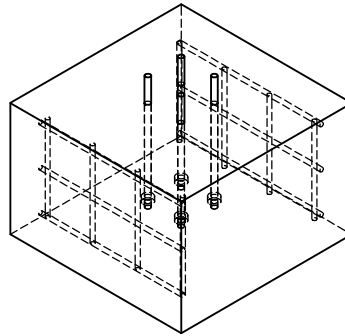
# H TAC-CLEARANCE-EN - Foundation Types

**NOTES:**  
1.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

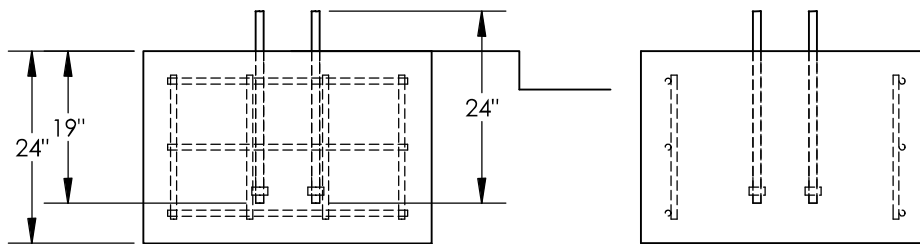


**PLAN VIEW**

NTS



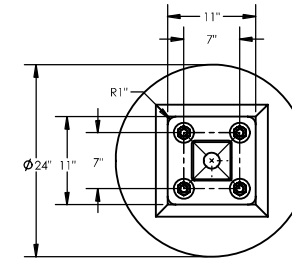
**Isometric View**



**VERTICAL SLAB FOUNDATION**

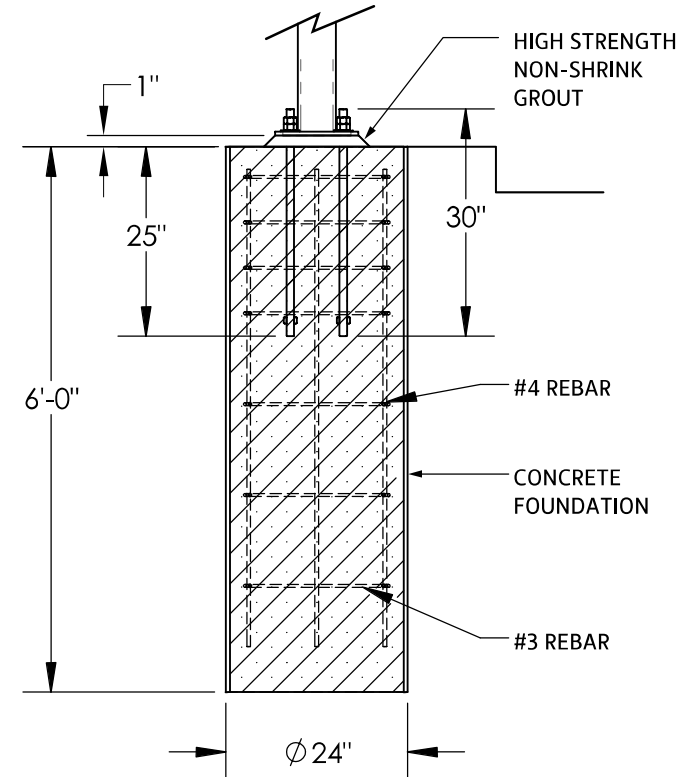
NTS

2,500 PSI CONCRETE FOUNDATION  
REINFORCED WITH #6AT 12" O.C .  
MAXIMUM, EACH WAY, EACH FACE.



**PLAN VIEW**

NTS



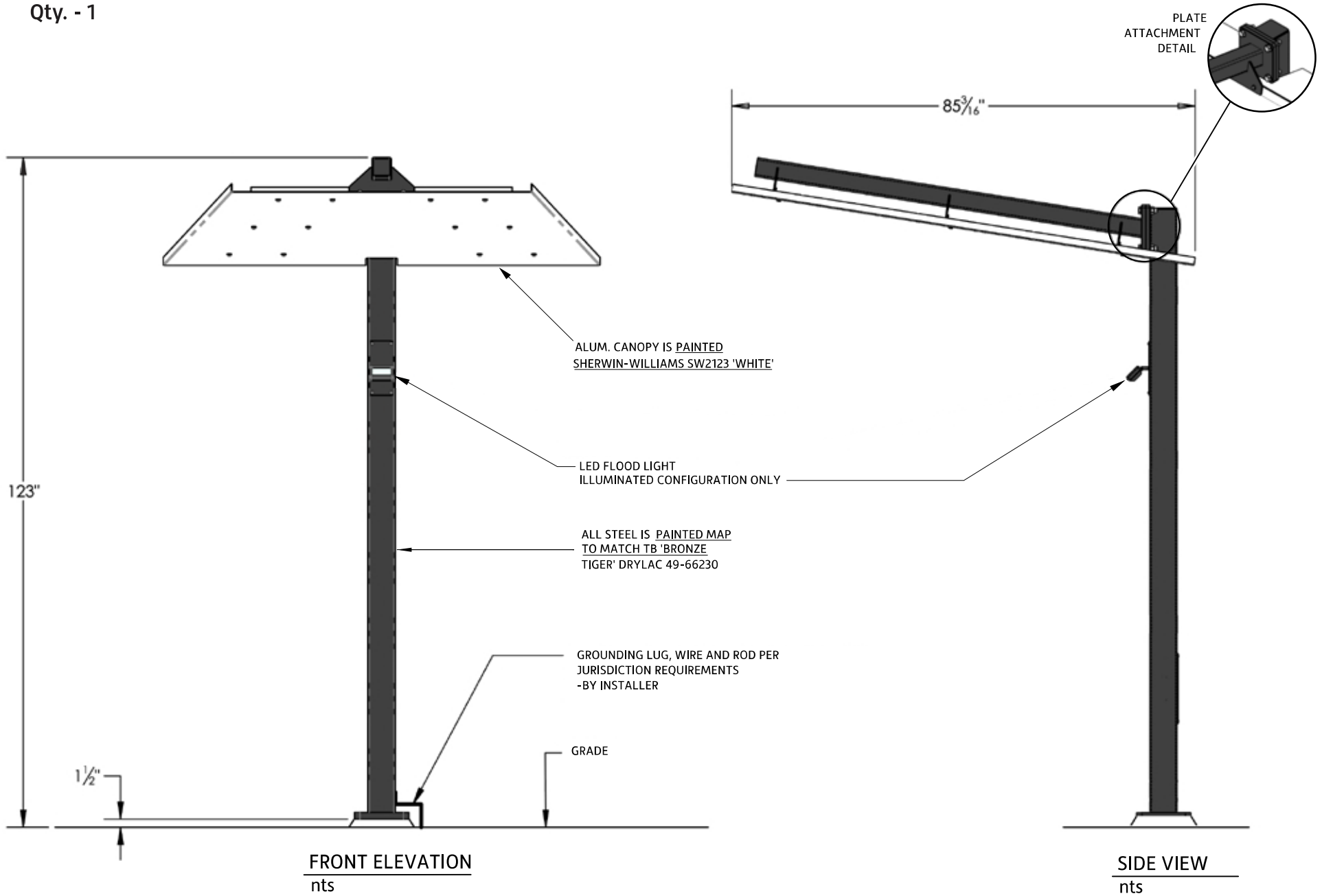
**CAISSON FOUNDATION**

NTS



# TAC-100-EN-OPC

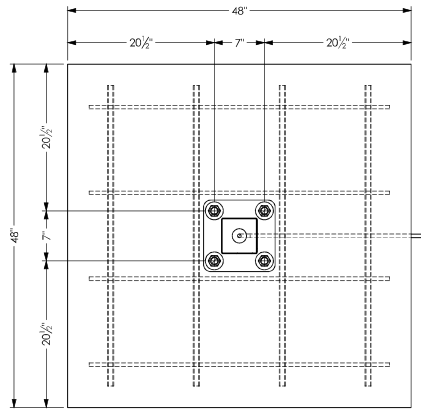
Qty. - 1



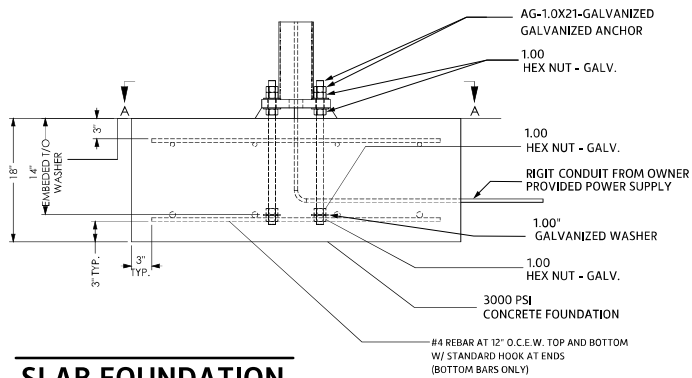
**NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC**

# 1 TAC-OPC-EN Foundation Types/Electrical Details

## TAC100-EN-OPC-IL-FDN-S



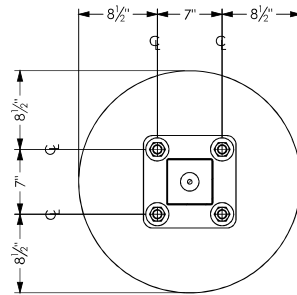
SECTION A-A



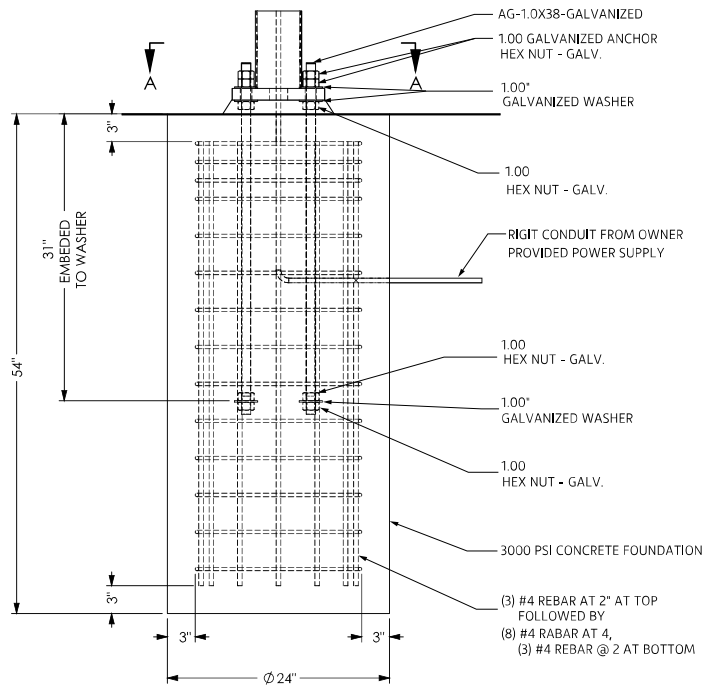
SLAB FOUNDATION

no scale

## TAC100-EN-OPC-IL-FDN-C

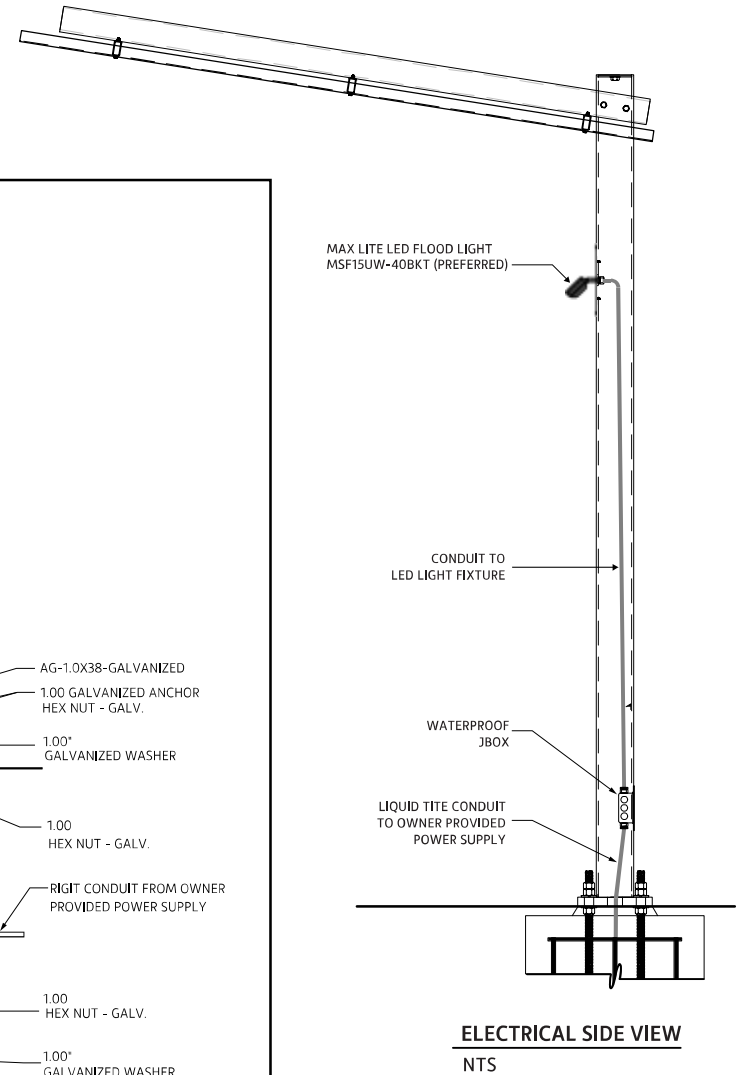


SECTION A-A



CAISSON FOUNDATION

no scale



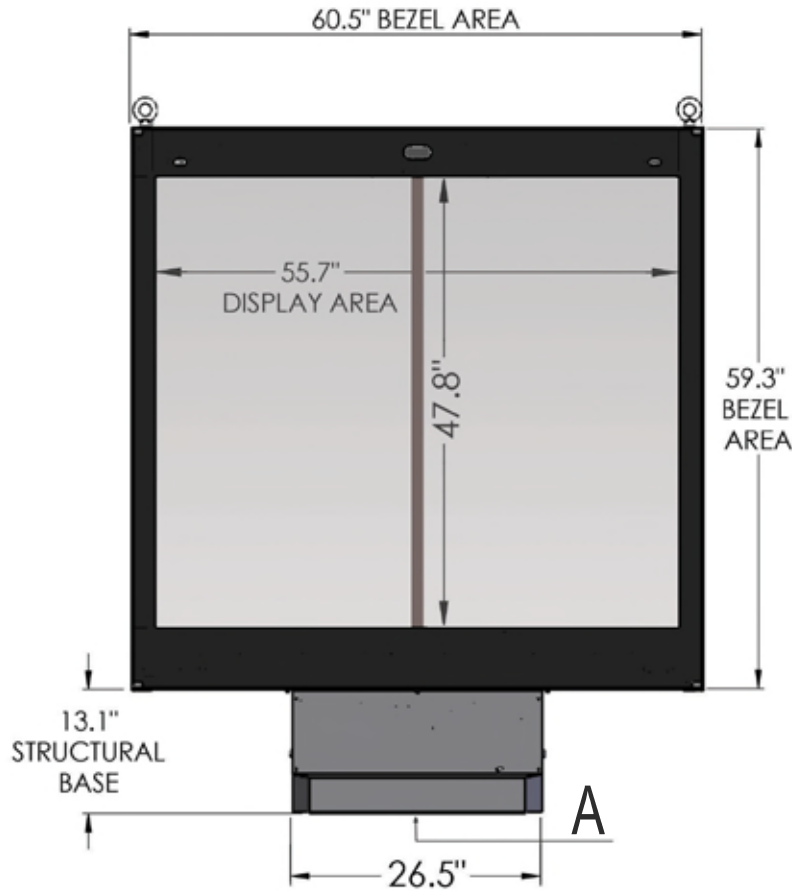
ELECTRICAL SIDE VIEW  
NTS



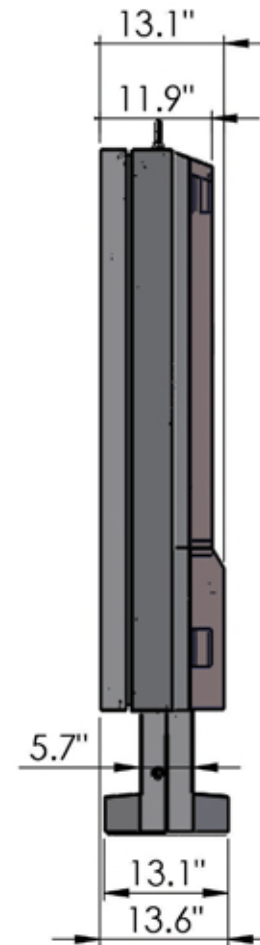
# J TAC-DMB-EXT-INSTALL

Qty. - 1

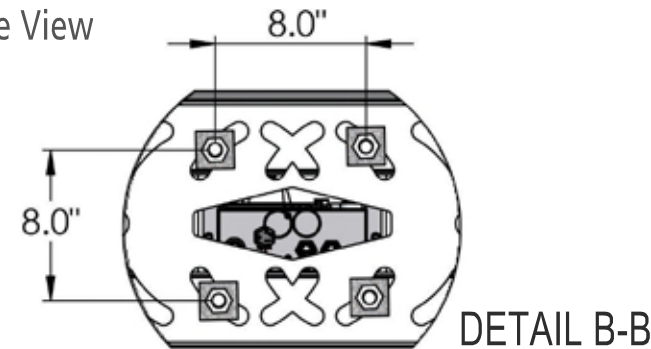
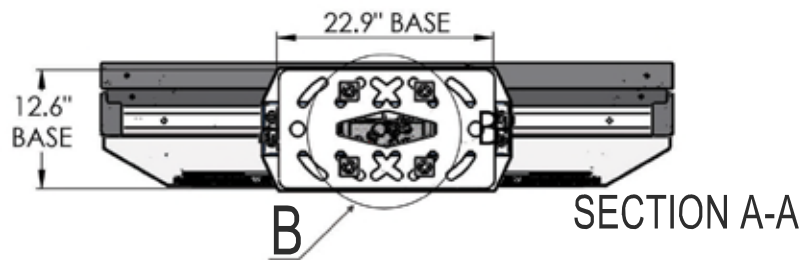
**NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC**



Front View



Side View



## GENERAL SPECS

Material: Aluminum exterior with tube steel inner frame.  
Certified 180 MPH

### Surface Treatment:

- Pretreatment - zinc primer & polyester powder coating

### Surface Area:

- Display: 18.5 sq/ft
- Total surface: 24.9 sq/ft

### Weight:

- Gross: 915 lbs / Net: 705 lbs

## ELECTRICAL SPECS

### Power:

- Hardwired AC Power
- 120/240V 50/60Hz
- 1150 W (@ max load)
- UL Rated @ 10 Amp

### Backlight:

- LED Light Source
- 380 CD/M2 to 3,500 CD/M2
- Auto adjusting to outdoor ambient light levels



Product Model #: STR-D12-120

Project #:

Date: 2019-12-03

**STRATACACHE**  
MARKETING TECHNOLOGY

STRATACACHE  
40 N. Main Street  
Dayton, Ohio 45423  
1-800-244-8915

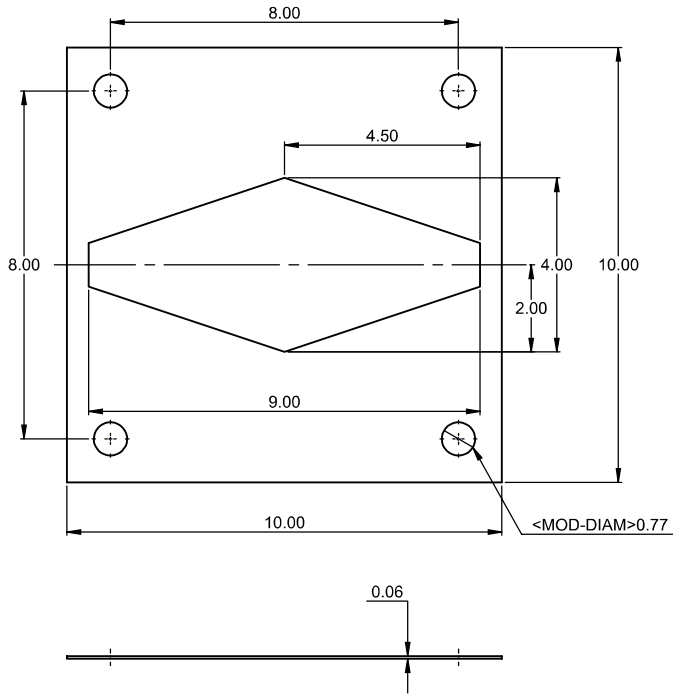
Drawing #: STR-D12 v1.1

Date: 2019-12-03

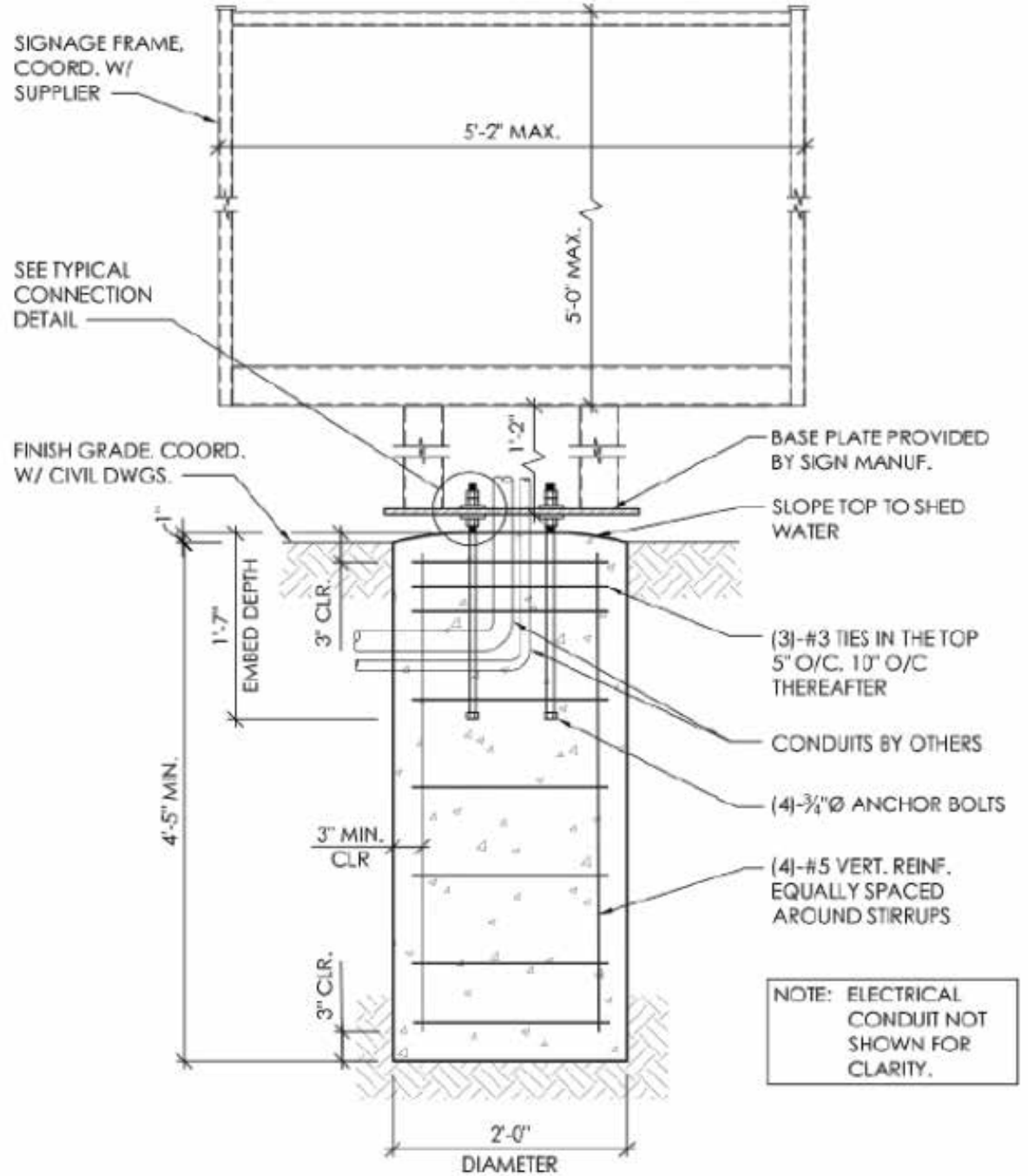
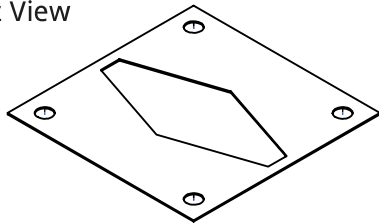
Author: B. Pupo

# J TAC-DMB-EXT-INSTALL

## ROD TEMPLATE



ROD TEMPLATE  
Isometric View



NOTE: ELECTRICAL CONDUIT NOT SHOWN FOR CLARITY.

FOUNDATION SECTION  
(MENU BOARD)



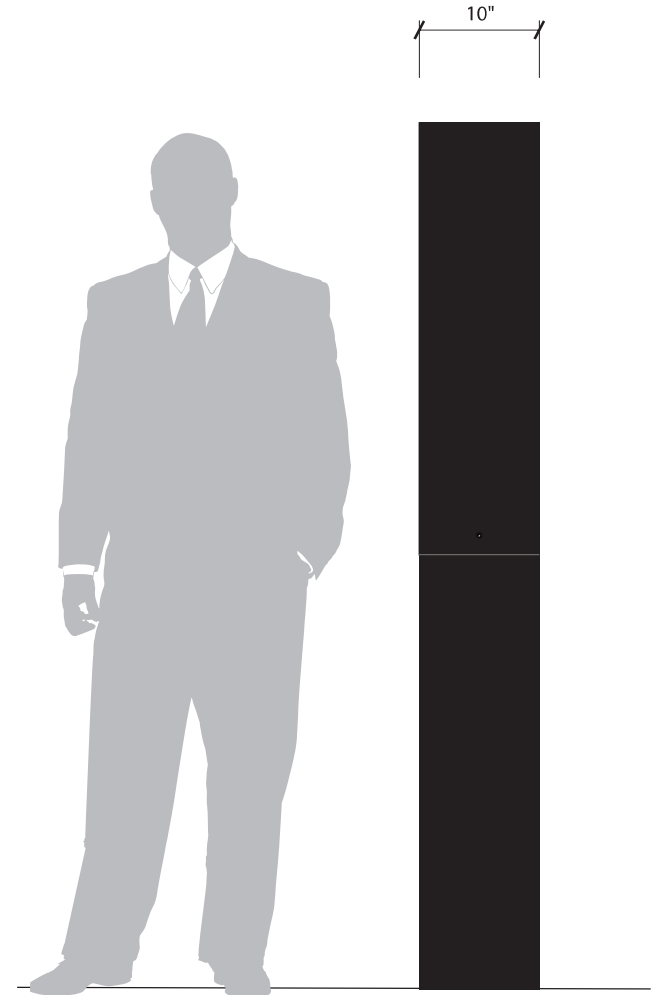
# K TAC-M19

**NOTE:**

1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER



**FRONT ELEVATION**  
3/4" = 1' - 0"



**SIDE VIEW**  
3/4" = 1' - 0"

### Custom M19 Monument

- Logo face is routed aluminum painted white.
- Acrylic backup with graphics as shown
- Bell is first surface vinyl, two tone TB purple.
- TACO BELL copy is first surface day/night vinyl
- Ancillary panel painted white with first surface Black vinyl and routed out for copy.
- Clad base to grade.







BONNIE MISKEL • SCOTT BACKMAN • ERIC COFFMAN • HOPE CALHOUN  
DWAYNE DICKERSON • ELE ZACHARIADES • CHRISTINA BILENKI  
DAVID MILLEDGE • SARA THOMPSON • JEFFREY SCHNEIDER

**Taco Bell  
Active Use Liner Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-thru and walk up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

Variance Request

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow a ground floor active use liner of less than 60% along the east building façade. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) **That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the ground floor active use liner will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the requirements to provide a minimum 60% active use liner is to provide buildings along the State Rd. 7 corridor that are pedestrian friendly and have active uses

on the ground floor. The proposed plans will meet this requirement with a 51.51% active use liner along the State Rd. 7 corridor. The front portion of the east building façade (along State Rd. 7), near the building entrance will consist of all glass windows along the ground floor. While the back portion of this façade will not contain any windows, it will be covered with faux glass and artistic murals to enhance the building aesthetics.

Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.

**c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*

The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

**d) That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variance. The variance is needed due to the nature of the take-out only business operation with no on-site dining. As the majority of the building contains back of house kitchen and storage operations, placing windows along the majority of the east building façade is not feasible. However, the Applicant has mitigated the lack of windows and active liner use by placing faux glass and artistic murals along the State Rd. 7 façade that will enhance and beautify the façade.

**e) That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variances necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Providing the required 60% active use liner along the State Rd. 7 façade is not feasible due to the take-out only business operations and the majority of the building being used for back of house kitchen and storage operations.

Given the aforementioned setbacks, the variance requested is the minimum variance necessary to develop the Project.





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**Taco Bell  
Parking Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-through and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-through and walk-up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

Variance Request

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow 5 parking spaces rather than 10 as required by Code. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) **That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the amount of parking spaces will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the parking requirements is to provide sufficient parking for each use so as to not impede traffic flow and business operations. Taco Bell is implementing a new model

with technology-based operations designed to move customers quickly and efficiently through the property to take the food to go rather than eating on-site. There is no customer seating available inside or outside the building to allow customers to eat on-site, all orders are placed to go. Customers can place orders in the drive-through, place mobile orders using the Taco Bell app, place an order through a meal delivery service (i.e. Uber Eats or DoorDash), or place a to-go order inside the building utilizing the quick serve digital kiosk system.

Taco Bell has +/- 7,480 total stores nationwide. Of the +/- 7,480 stores, +/- 6,805 are franchise stores, +/- 493 are corporate owned, and +/- 182 are licensed restaurants within shopping malls, universities, airports, and military bases. This store will be corporate owned, with operating hours anticipated to be from 7:00 am – 2:00 am daily. With this project being a corporate owned store, Taco Bell has the ability to directly control the business operations, thus resulting in a more efficient flow of order and pick-up time, an average order ready time (ORT) of 3 minutes and 22 seconds nationally for corporate owned stores.

On average, around 70% of the orders at Taco Bell are placed through the drive-through. Among mobile orders, that percentage increases, with around 80% of mobile orders being picked up in the drive-through lane rather than parking and picking up the order inside the building or in the outdoor pick-up window. To ensure the drive-through lane can accommodate the amount of vehicles ordering and/or picking up orders, efficient traffic flow and site circulation has been prioritized in the design, with stacking for up to 10 vehicles in the drive-through facility.

In addition to using the drive-through lane, customers can pre-order and pick-up food at the walk-up window outside the building, or in the designated mobile order pick-up location inside the building. Customers place orders inside the building using an electronic kiosk. An employee is available to assist as necessary. On average, over 90% of the orders placed inside the building are done through the kiosk. Additionally, an employee will not be designated at the cash register to take orders, thus prioritizing kiosk orders and reducing the number of employees needed at the restaurant.

For customers who place a mobile order on the app, or through a meal delivery service, an order ready time will be provided. This reduces the amount of time customers will be on site waiting for their order to be ready. Customers will be given the order ready time, providing them the ability to arrive at the restaurant when the order is ready, quickly pick-up the order and exit the site. Additionally, Taco Bell recently implemented a new ordering system called Order Up. The system went live nationally on December 5, 2024. This ordering system improves ORT by assigning an order ready time based on the size of the order and the number of employees working during the shift. Smaller orders will be pushed through quicker, while larger orders will be given a longer lead time, allowing staff sufficient time to put the order together.

Additionally, every restaurant has the ability to set up a profile through delivery service apps. Restaurants have the ability to direct delivery drivers to pick-up their orders inside

the building or through the drive-through facility. Taco Bell will set the profile to instruct delivery drivers to pick up orders in the drive-through lane, thus reducing the need for delivery drivers to park on-site and go inside the building to pick up an order.

With the new technology being implemented through Order Up, and the prioritization of mobile orders and utilization of the drive-through lane, 10 parking spaces are not needed to provide sufficient parking for customer parking. The majority of the orders will be placed and/or picked up in the drive-through facility, thus reducing the amount of parking spaces needed for customer pick-up and ordering. Additionally, 5 parking spaces is sufficient to provide parking needed for employees. Taco Bell estimates that 4-5 employees will be needed for each shift, this includes 1 manager and 3-4 employee members. Based on data of Taco Bell restaurants located within the North Miami/Fort Lauderdale Market, around 90% of the employees are utilizing public transportation to get to work rather driving a vehicle. The State Road 7/441 corridor is a major transit route in Broward County, with the 441 Breeze bus route running from Sample Road to the Broward County/Miami-Dade County line. With a bus stop for the 441 Breeze route located directly adjacent to the Property, employees will easily be able to use mass transit to get to and from work. To further encourage use of the bus route, the project is providing an outdoor seating area with benches in the northeast corner of the property, adjacent to the bus stop. This will provide a seating area for employees and customers to sit and wait for the bus. Lastly, some employees will use bicycles or scooters to get to work. To accommodate this, a bike rack that will park 5 bicycles has been added to the site. Additionally, Taco Bell looks for opportunities to hire team members from within the local community, allowing employees to walk to work.

The advanced technology being implemented to increase order and delivery efficiency with the available mass transit option for employees reduces the parking demand that would be generated by a larger, traditional fast-food restaurant. As such, 5 parking spaces is sufficient to meet the parking demand for this new take-out only fast-food model and the variance request will maintain the intent and purpose of the Code.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.



- c) **That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*

The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

- d) **That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variances. This variance is needed due to the small size of the parcel and

the inability to provide the required parking spaces while still meeting other code requirements for the drive-through lane stacking and landscaping.

- e) **That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variance necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Adding additional parking spaces would require reducing drive aisle widths and the vehicle stacking for the drive-through facility, having a negative impact on the traffic circulation throughout the site.



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**Taco Bell  
Window Transparency Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-thru and walk up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

Variance Request

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow a window transparency that is less than 50% along the east building façade. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) **That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the window transparency along the east building façade will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the requirements to provide a minimum 50% window transparency is to provide buildings along the State Rd. 7 corridor that are pedestrian friendly and have active



uses on the ground floor. The proposed plans will meet this requirement with 27.9% window transparency along the State Rd. 7 corridor. The front portion of the east building façade (along State Rd. 7), near the building entrance will consist of all glass windows along the ground floor. While the back portion of this façade will not contain any transparent windows, it will be covered with faux glass and artistic murals to enhance the building aesthetics. When including the percentage of faux glass, the project is providing a total of 60% window area.

Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.

**c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*

The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

**d) That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variance. The variance is needed due to the nature of the take-out only business operation with no on-site dining. As the majority of the building contains back of house kitchen and storage operations, placing windows along the majority of the east building façade is not feasible. However, the Applicant has mitigated the lack of windows by placing faux windows artistic murals along the State Rd. 7 façade that will enhance and beautify the façade.

**e) That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variance necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Providing the required 50% window transparency along the State Rd. 7 façade is not feasible due to the take-out only business operations and the majority of the building being used for back of house kitchen and storage operations.

Given the aforementioned setbacks, the variance requested is the minimum variances necessary to develop the Project.



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**Taco Bell  
Landscape Variance  
Request Justification**

Taco Bell of America, LLC (“Applicant”) is the developer of a +/- .31 acre parcel of land located at 2640 N. State Rd. 7 in the City of Hollywood (“Property”). The Property is identified as folio number 514101120010 on the Broward County Property Appraiser’s website. The Property has a zoning designation of C-MU (Central Mixed-Use District) and a future land use designation of TOC (Transit Oriented Corridor).

Currently, the Property contains an abandoned car wash facility. The Applicant is proposing to demolish the car wash facility and develop the Property with a +/- 1,600 square foot drive-thru and take-out only Taco Bell restaurant with no indoor or outdoor customer seating (“Project”). The restaurant will provide drive-thru and walk up orders only. At this time, the Applicant is requesting site plan approval and the following 4 variance requests to develop the Project: 1.) from Section 7.2(A)(28) to allow the Project to be developed with 5 parking spaces rather than 10 spaces as required by Code; 2.) from Section 4.6(D)(12)(d(ii) to allow an active use liner on the ground floor along the State Rd. 7 building façade (east façade) of 51.51% rather than 60% as required by Code; 3.) from Section 4.6(D)(11)(c) to allow a window transparency on the ground floor along the State Rd. 7 building façade (east façade) of 27.9% rather than 50% as required by Code; and 4.) from Section 9.5(C)(1) to allow 15.28% of vehicular use landscape area rather than a minimum of 25% as required by Code.

Variance Request

The Applicant has made every effort to comply with all code requirements for the Project, with all Code requirements being met other than these 4 variance requests. At this time, the Applicant is requesting a variance to allow 15.28% vehicular use landscape area. In accordance with Section 5.3(F)(1), applicants must demonstrate compliance with the following criteria to receive variance approval:

- a) **That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and**

The requested variance to reduce the vehicular use landscape area will maintain the basic intent and purpose of the zoning regulations and will not negatively impact the appearance of the City. Currently the Property contains an abandoned car wash facility. This request will redevelop the Property with a use that will serve the surrounding community and improve the appearance of the City by removing an unutilized building.

The intent of the requirement to provide a minimum 25% landscape area within the vehicular use area is to provide sufficient landscaping in the parking lot. The 5 parking

spaces provided on site are terminal landscape islands on either end with curbing and landscaping running along the front of all the spaces. Additionally, the required 5' landscape buffers have been provided adjacent to the parking lot to the north and west.

Given the aforementioned improvements, the variance request will maintain the intent and purpose of the Code and improve the appearance of the City.

**b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and**

The requested variance is compatible with the surrounding land uses and will not be detrimental to the community. The Property is an outparcel located within an existing shopping center on the State Rd. 7 corridor. The adjacent properties to the north, south and west are all located within the same zoning designation as the Property, C-MU. Furthermore, the Property is surrounded by existing similar commercial uses that are compatible with the proposed take out only restaurant use.

Given the aforementioned improvements, the variance request is compatible with the surrounding land uses and will not be detrimental to the community.

**c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and**

The requested variance will facilitate the redevelopment of the Property as a take-out only restaurant. This use is consistent with the permitted uses for the TOC future land use designation listed on page LU-63 of the City's Future Land Use Element. Furthermore, the request is consistent with the following goals, objectives and policies of the City's Comprehensive Plan and the City Wide Master Plan (CWMP):

*Goal I: Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property.*

The granting of the variance will facilitate the redevelopment of an abandoned car wash facility with an active restaurant use that will serve the existing residents and employees of the surrounding community and allow the property owner to maximize the use of the Property.

*Policy 10.5: Encourage expansion of businesses and public improvements that are "family oriented" and targeted to local residents and workers.*

The granting of the variance will facilitate the redevelopment of an underutilized property with a family oriented take-out restaurant. Taco Bell is a popular fast food option for all demographics, including families. Furthermore, the development of the Taco Bell



restaurant will bring jobs to the local community, providing employment opportunities for residents.

*CWMP Policy 4.2: Concentrate retail commercial activities in defined development centers to build critical commercial mass at appropriate locations that are compatible with neighborhoods and with beach redevelopment objectives.*

The granting of the variance will facilitate the redevelopment of an underutilized property along the State Rd. 7 corridor with an active commercial use. The State Rd. 7 corridor is a major commercial corridor that runs throughout several municipalities. This corridor is intended to be developed with commercial uses, including restaurants, making this use compatible with the surrounding community.

**d) That the need for the requested Variance is not economically based or self-imposed; or**

The requested variance is not economically based or self-imposed. The Applicant has designed a building that will provide the most efficient traffic flow on the Property and meets all the dimensional and design guideline requirements of the C-MU district other than the requested variance. The variance is needed due to the small parcel size. Adding additional landscaping in the vehicular use area would require removing parking spaces or stacking area for the drive-thru lane.

**e) That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

The variance requested is the minimum variance necessary to develop the Project. As previously stated, the Applicant has worked diligently to design a building and site that will optimize the traffic flow and circulation while meeting all the dimensional standards and design guidelines within the C-MU district. Adding additional landscaping within the vehicular use area would require reducing drive aisle widths, parking spaces, or the vehicle stacking for the drive-thru, having a negative impact on the traffic circulation throughout the site.

Given the aforementioned setbacks, the variance requested is the minimum variance necessary to develop the Project.



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## Taco Bell Design Criteria Responses

Per Section 5.3.H.4 of the City Code, the Applicant must demonstrate compliance with the following design criteria:

4. *Design criteria.* The Board and the Director shall review plans based upon the criteria below. If the Board or the Director (as applicable) determines that an application is not consistent with the criteria, reasons shall be set forth in writing substantiating the finding.

a. *General criteria.* All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

(1) *Architectural and design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

**The design of this Taco Bell is intended to aesthetically enhance the surrounding environment and provide a pedestrian friendly development. Traditional materials are incorporated into the building design but with a modern aesthetic feel. This is a redevelopment that will remove an existing carwash no longer in operation. The Taco Bell is a significant improvement that is more in line with the city vision for the future of this area.**

(2) *Compatibility.* The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.

**The proposed Taco Bell modern design aesthetically enhances the neighboring environment setting. Placing the building close to the road and parking behind the building provides and example for future similar development in the area. The architectural design provides a fresh new look by incorporating different material.**

(3) *Scale/massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings.

**The proposed development is similar in scale and mass to the surrounding environment. The small scale of the restaurant provides inset into the building mass to help break up the larger mass and make it more appropriate for the surrounding environment. The small size of parcel limits the scale and size of the building but the placement of the building close tot the road enhances the visibility and also helps hide the vehicular area.**

(4) *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

**The proposed landscaping contains a variety of native and compatible plant types and forms, again enhancing the architecture, pedestrian access ways and most importantly the overall environment.**



November 5, 2024

Amanda Martinez, Land Planner  
Miskel Backman, LLP  
14 Southeast 4 Street, Suite 36  
Boca Raton, Florida 33432

*Via Email Only*

Dear Ms. Martinez:

Re: Platting requirements for a parcel legally described as Parcel A, "Gator 441 Subdivision," according to the Plat thereof, as recorded in Plat Book 151, Page 8, of the Public Records of Broward County, Florida. This parcel is generally located on the west side of State Road 7/U.S. 441, between Cedar Lane and Sheridan Street, in the City of Hollywood.

This letter is in response to your request regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP). Policy 2.13.1 would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plat was recorded on March 10, 1992. Land platted after June 4, 1953, may be divided by metes and bounds and developed in accordance with local regulations and the effective land use plan, unless local regulations are more restrictive and would require platting. The City of Hollywood's platting requirements should be investigated.

According to Article 4.5(A)(2) of the *Administrative Rules Document: BrowardNext*, compliance with the Broward County Trafficways Plan is required for all proposed development, but parcels that have been platted subsequent to June 4, 1953, are excepted and are subject to BCLUP Policy 2.17.6, which states:

In order to protect the transportation corridors identified on the Broward County Trafficways Plan, local governments shall require that development is set back from identified rights-of-way when issuing development orders while providing an administrative relief process to ensure such set back does not deny all beneficial use of the property proposed for development.

It is recommended that you contact Broward County's Urban Planning Division at 954-357-6666, to inquire about whether additional County review, such as a plat note modification, may be required.

**Amanda Martinez**  
**November 5, 2024**  
**Page Two**

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Alicia Joseph at your convenience.

Respectfully,



Barbara Blake Boy  
Executive Director

BBB:ACJ

cc: George R. Keller, Jr., CPPT, City Manager  
City of Hollywood

Andria Wingett, Director, Development Services  
City of Hollywood

