

# ATTACHMENT A

Application Package

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: January 25, 2024

Location Address: 1914-1920 Pierce Street

Lot(s): LOT 19,20 E1/2 Block(s): BLK 20 Subdivision: HOLLYWOOD 1-21 B

Folio Number(s): 5142 15 01 3490

Zoning Classification: ND2 Land Use Classification: Residential

Existing Property Use: multi family Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO & 23-DP-20 Preliminary TAC

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: request for site plan approval

Number of units/rooms: 29 Sq Ft: 32,351 sq ft

Value of Improvement: \$6.5 MIL Estimated Date of Completion: Winter 2025

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: 1920 PIERCE LLC

Address of Property Owner: 2199 PONCE DE LEON BLVD STE 301 CORAL GABLES FL 33134

Telephone: 786-252-9459 Fax: \_\_\_\_\_ Email Address: alexisbogo@abhre.com

Name of Consultant/Representative/Tenant (circle one): Alexis Bogomolni

Address: 2980 NE 207 Street SUITE 603 Telephone: (786) 252-9459

Fax: \_\_\_\_\_ Email Address: alexisbogo@abhre.com

Date of Purchase: 05-30-2023 Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Alexis Bogomolni

alexisbogo@abhre.com (786) 252-9459

Address: 2980 NE 207 Street SUITE 603

Pamela Butler (954) 471-6177

Email Address: pbutler@mg3developer.com

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
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# GENERAL APPLICATION

### **CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 01/25/2024

PRINT NAME: Alexis Bogomolni \_\_\_\_\_ Date: 01/25/2024

Signature of Consultant/Representative: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

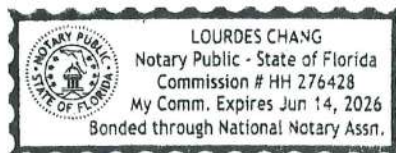
### **Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Alberto Llorente, architect of record to be my legal representative before the Planning & Development Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 26 day of January, 2024

Notary Public  
State of Florida

My Commission Expires: \_\_\_\_\_ (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



Signature of Current Owner

Alexis Eial Bogomolni

Print Name



1920 PIERCE







1920 PIERCE



NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
3. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
4. UNDERGROUND IMPROVEMENTS NOT SHOWN.
5. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
6. BENCHMARK REFERENCE : CITY OF HOLLYWOOD BENCHMARK: SQUARE CUT AT NW CORNER OF 24TH AVENUE AND POLK STREET. ELEVATION=10.50' (NAV88)
7. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.
8. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN OWNERSHIP AND ENCUMBRANCE REPORT SEARCH NO.: 22-991-1-UPDATE 1, CERTIFIED FROM DATE OF PLAT (MAY 14, 1925) THROUGH THE 1ST DAY OF JANUARY 2023, AT 11:00 O'CLOCK P.M. AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

ENCUMBRANCES:

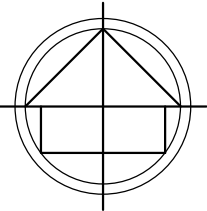
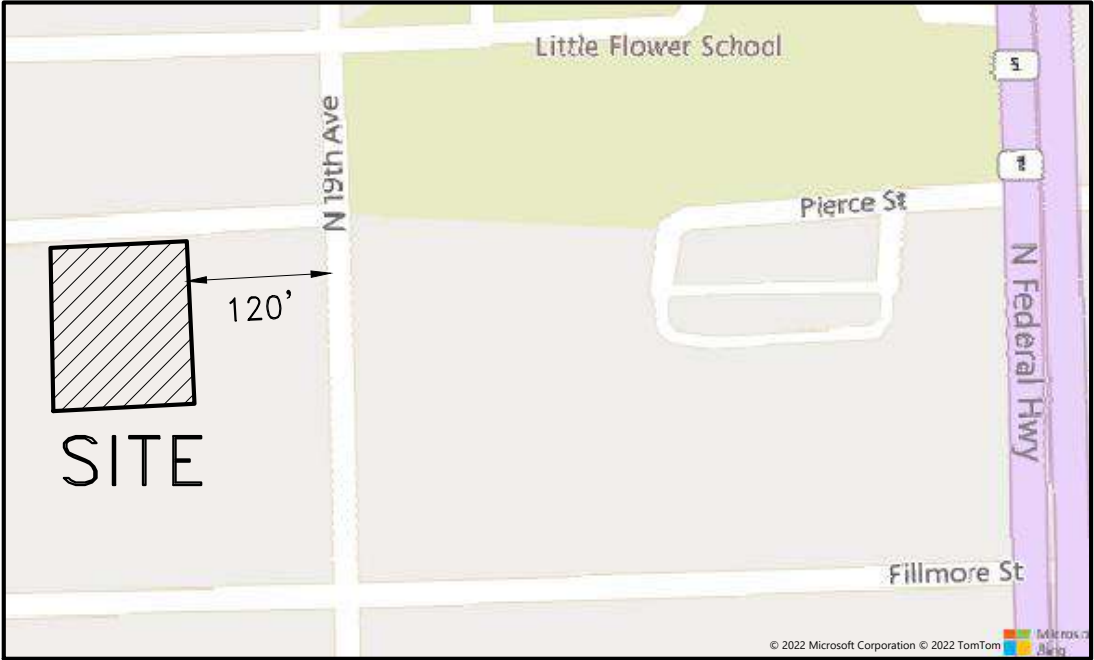
ITEM 1. EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS SET FORTH ON PLAT OF HOLLYWOOD, PLAT BOOK 1, PAGE 21, PUBLIC RECORDS BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

ITEM 2. CLAIM OF LIENS: CITY OF HOLLYWOOD, A FLORIDA MUNICIPAL CORPORATION TO AIR ABODES LLC, DATED DECEMBER 13, 2022, FILED DECEMBER 14, 2022, UNDER INSTRUMENT NO. 118571343. (AFFECTS/NOT PLOTTABLE)

ITEM 3. CLAIM OF LIENS: CITY OF HOLLYWOOD, A FLORIDA MUNICIPAL CORPORATION TO AIR ABODES LLC, DATED DECEMBER 13, 2022, FILED DECEMBER 14, 2022, UNDER INSTRUMENT NO. 118571359. (AFFECTS/NOT PLOTTABLE)

9. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
11. THE PROPERTY HAS DIRECT ACCESS TO PIERCE STREET, DEDICATED PUBLIC STREETS AS SHOWN ON PLAT BOOK 1, PAGE 21, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
12. THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
14. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
15. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
16. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
17. NO FIELD DELINEATION OF WETLANDS MARKERS WERE OBSERVED.

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8"IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
PRM	PERMANENT REFERENCE MARKER
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WM	WATER METER
WV	WATER VALVE
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
BFP	BACK FLOW PREVENTER
EB	ELECTRIC BOX
WPP	WOOD POWER POLE
MLP	METAL LIGHT POLE
CPP	CONCRETE POWER POLE
0.00	ELEVATIONS
UNK	UNKNOWN TREE TYPE
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

LAND DESCRIPTION:

LOTS 19, 20 AND 21, BLOCK 20 OF "HOLLYWOOD", ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:

1920 PIERCE LLC, A FLORIDA LIMITED LIABILITY COMPANY  
ALEX D. SIRULNIK, P.A.  
FIDELITY NATIONAL TITLE INSURANCE COMPANY


SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7 (A), (B) AND (C), 8, 9, 13, 14, 16 17 AND 19 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON FEBRUARY 04, 2023.

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 4188

COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954)689-7766 FAX (954)689-7799

PROJECT NUMBER: 9818-22

CLIENT :

MG3 GROUP

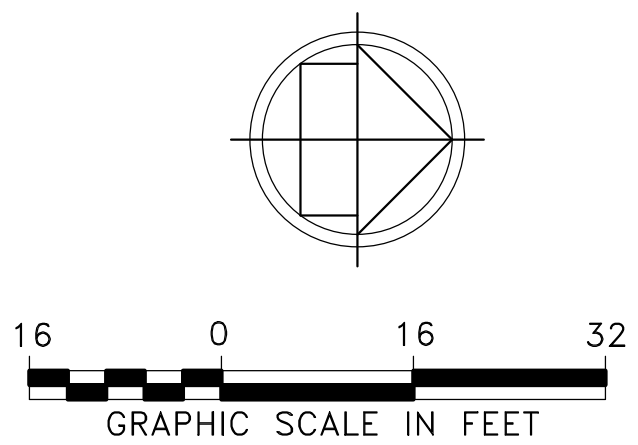
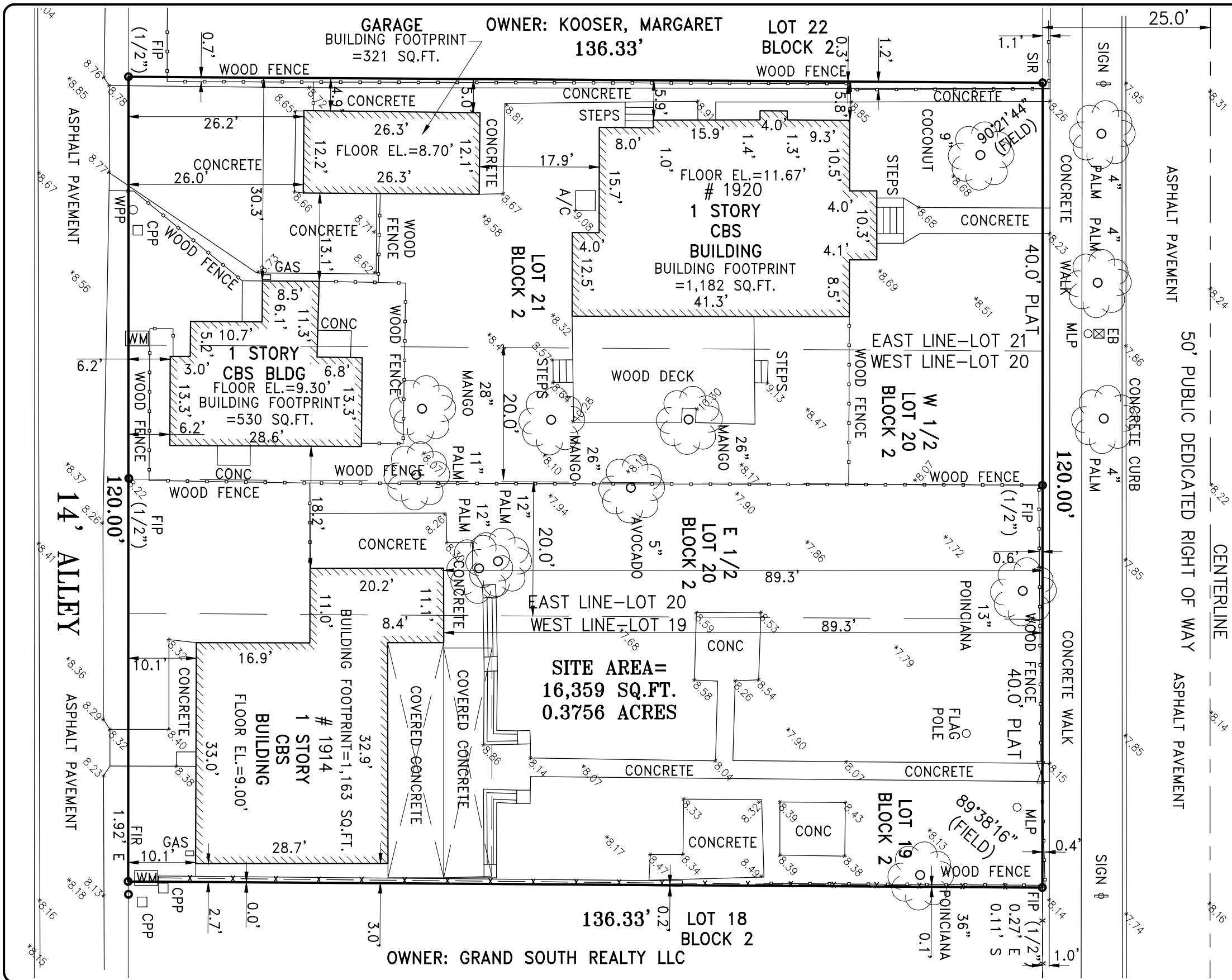
REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY	06/28/22	SKETCH	AM	REC
UPDATE SURVEY	02/04/23	SKETCH	JD	REC
REVISED PER O&E	04/19/23	SKETCH	AM	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569H
ZONE	X
BASE FLOOD ELEV	N/A
EFFECTIVE DATE	08/18/14

PROPERTY ADDRESS :  
1914 & 1920 PIERCE STREET

SCALE: N/A

SHEET 1 OF 2



- LEGEND:
- |        |  |
|--------|--|
| CKD    | CHECKED BY                                 |
| CONC   | CONCRETE                                   |
| DWN    | DRAWN BY                                   |
| FB/PG  | FIELD BOOK AND PAGE                        |
| SIR    | SET 5/8"IRON ROD & CAP #6448               |
| SNC    | SET NAIL & CAP #6448                       |
| FIR    | FOUND IRON ROD                             |
| FIP    | FOUND IRON PIPE                            |
| FNC    | FOUND NAIL & CAP                           |
| FND    | FOUND NAIL & DISK                          |
| PRM    | PERMANENT REFERENCE MARKER                 |
| P.B.   | PLAT BOOK                                  |
| B.C.R. | BROWARD COUNTY RECORDS                     |
| FPL    | FLORIDA POWER & LIGHT                      |
| -X-    | CHAIN LINK FENCE                           |
| -E-    | OVERHEAD UTILITY LINES                     |
| WM     | WATER METER                                |
| WV     | WATER VALVE                                |
| SSMH   | SANITARY SEWER MANHOLE                     |
| SDMH   | STORM DRAIN MANHOLE                        |
| BFP    | BACK FLOW PREVENTER                        |
| EB     | ELECTRIC BOX                               |
| WPP    | WOOD POWER POLE                            |
| MLP    | METAL LIGHT POLE                           |
| CPP    | CONCRETE POWER POLE                        |
| 0.00   | ELEVATIONS                                 |
| UNK    | UNKNOWN TREE TYPE                          |
| ALTA   | AMERICAN LAND TITLE ASSOCIATION            |
| NSPS   | NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS |

ALTA/NSPS LAND TITLE SURVEY

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FLOOD ZONE INFORMATION

COMMUNITY NUMBER	125113
PANEL NUMBER	0569H
ZONE	X
BASE FLOOD ELEV	N/A
EFFECTIVE DATE	08/18/14

PROPERTY ADDRESS :  
1914 & 1920 PIERCE STREET

SCALE: 1"= 16'

SHEET 2 OF 2

NEW 29 UNITS DEVELOPMENT AT

# DOWNTOWN HOLLYWOOD

1914 - 1920 PIERCE STREET HOLLYWOOD, FLORIDA 33020

(RESPONSE TO TAC SIGN OFF NO. 2 COMMENTS DATED FEBRUARY 03, 2024)



## INDEX OF DRAWINGS

### ARCHITECTURAL:

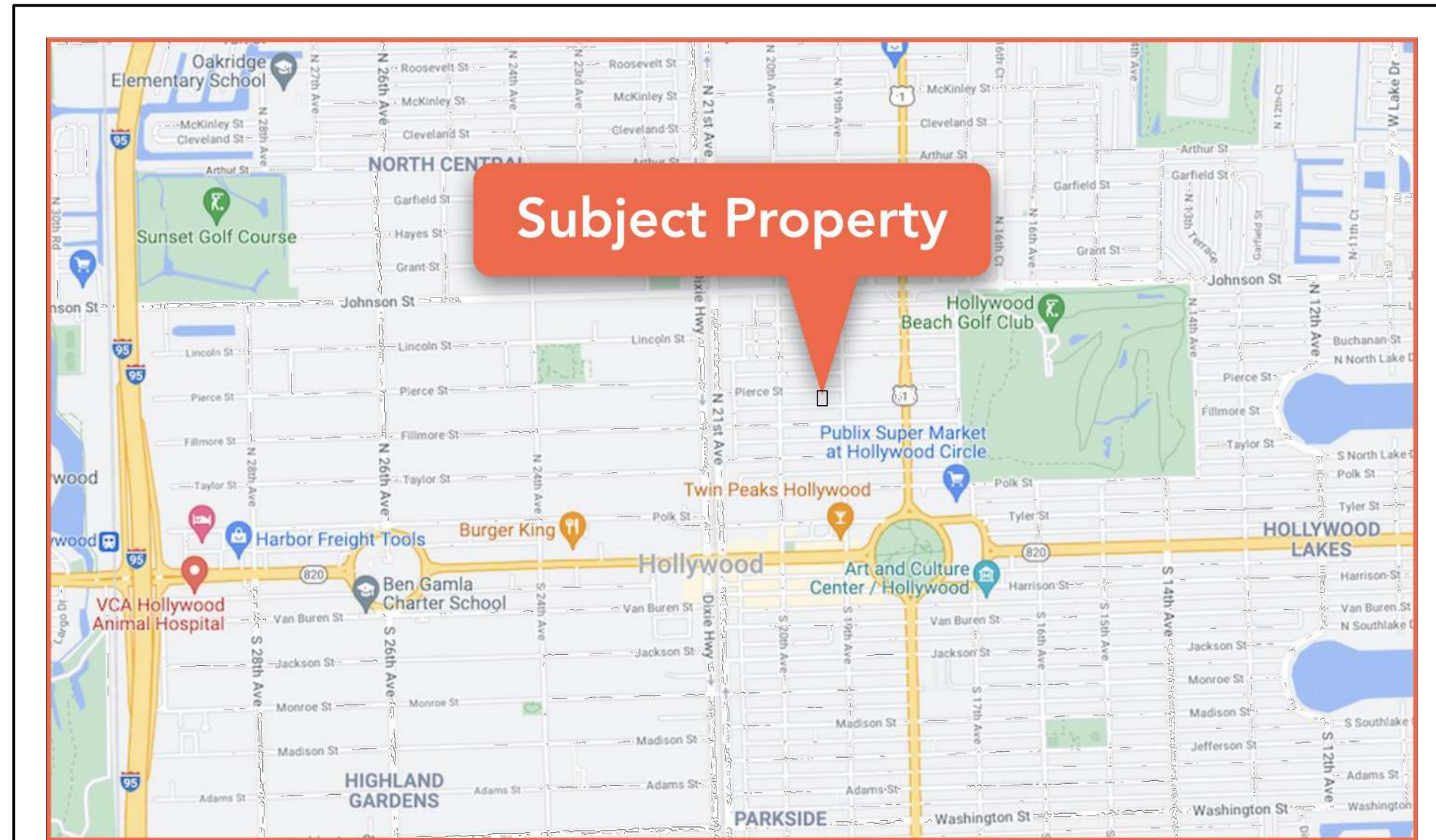
REV.	DATE	SHEET	TITLE
△	01.11.24	A000	COVER SHEET
△	01.11.24	A100	PROPOSED GROUND FLOOR / SITE PLAN AND NOTES
△	01.11.24	A101	FAR AND OPEN AREAS SQUARE FEET PLANS
△	01.11.24	A102	PROPOSED SECOND AND THIRD FLOOR PLANS
△	01.11.24	A103	PROPOSED FOURTH AND FIFTH FLOOR PLANS
△	01.11.24	A104	PROPOSED ROOF PLAN AND PARKLIFT DETAILS
△	01.11.24	A201	PROPOSED NORTH AND WEST EXTERIOR ELEVATIONS
△	01.11.24	A202	PROPOSED SOUTH AND EAST EXTERIOR ELEVATIONS

### CIVIL:

REV.	DATE	SHEET	TITLE
△	06.15.23	C-1	SITE PAVING, GRADING, AND DRAINAGE PLAN
△	06.15.23	C-2	SITE PAVING, GRADING, AND DRAINAGE DETAILS
△	06.15.23	C-3	WATER AND SEWER PLAN
△	06.15.23	C-4	WATER AND SEWER DETAILS
△	06.15.23	C-5	WATER AND SEWER DETAILS
△	06.15.23	C-6	PAVEMENT MARKINGS AND SIGNAGE PLAN
△	06.15.23	C-7	GENERAL NOTES
△	06.15.23	C-8	STORMWATER POLLUTION PREVENTION PLANS

### LANDSCAPE:

REV.	DATE	SHEET	TITLE
△	03.28.23	TD-1	TREE DISPOSITION PLAN
△	03.28.23	TD-2	TREE DISPOSITION DETAILS, SPECIFICATIONS
△	03.28.23	L-1	SITE LANDSCAPE PLAN
△	03.28.23	L-2	LANDSCAPE DETAILS, SPECIFICATIONS, ETC.
△	03.28.23	L-3	SECOND LEVEL COURTYARD LANDSCAPE PLAN
△	03.28.23	L-4	ROOF-POOL LEVEL LANDSCAPE PLAN
△	03.28.23	IRR-1	SITE IRRIGATION PLAN
△	03.28.23	IRR-2	IRRIGATION DETAILS, SPECIFICATIONS, ETC.
△	03.28.23	IRR-3	SECOND LEVEL COURTYARD IRRIGATION PLAN
△	03.28.23	IRR-4	ROOF-POOL LEVEL IRRIGATION PLAN



## LOCATION PLAN

SCALE: N.T.S.



13421 SOUTHWEST 23 STREET  
MIAMI, FL. 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH:

PROFESSIONAL SEAL:



Alberto Llorente  
AR-0012031

PROJECT:

NEW 29 UNITS  
DEVELOPMENT AT:  
DOWNTOWN  
HOLLYWOOD

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE	ISSUE DESCRIPTION
△ 03.28.23	TAC COMMENTS
△ 01.11.24	TAC COMMENTS
△ 02.05.24	SIGN OFF

DRAWING INFORMATION:

SHEET TITLE:  
COVER

DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO.  
A000  
1 of 8

## GENERAL ZONING REQUIREMENTS

**BUILDING ADDRESS:**  
ADDRESS: 1914-1920 PIERCE STREET HOLLYWOOD, FLORIDA

**BUILDING ZONING:**  
EXISTING ZONING DESIGNATION: ND-2

**LAND AREAS:**  
LAND AREA NET SF. 16,360 SF.  
LAND AREA NET ACRES 0.3755

**BUILDING FAR:**  
ALLOWED: 2 16,360 X 2 = 32,720 SF.  
PROVIDED: 1.98 32,351 SF.

**LOT COVERAGE:**  
PROPOSED LOT COVERAGE: 11,533 SF. / 70.49%

**PAVED AREA:**  
PROPOSED PAVED AREA 688 SF. / 4.20%

**LANDSCAPE AREAS:**  
PROPOSED LANDSCAPED AREA 4,136 SF. / 25.31%

**SETBACKS:**  
FRONT REQUIRED: 15'-0" PROVIDED: 15'-0"  
REAR REQUIRED: 10'-0" PROVIDED: 10'-0"  
SIDES REQUIRED: 10'-0" PROVIDED: 10'-0"

**BUILDING HEIGHT LIMITATIONS:**  
ALLOWED 5 STORIES 55'-0" PROVIDED 5 STORIES 55'-0"  
ROOF TOP AMENITIES PERMITTED (25% OF 55'-0") = 68'-9"  
POOL DECK PROVIDED 60'-0"  
TOP OF STAIR / ELEVATOR PROVIDED 68'-9"

### PARKING REQUIREMENTS FOR 29 CONDOS

REQUIRED 1 PER 1 BEDROOM	(14) 1 BEDROOM	14 SPACES REQUIRED
REQUIRED 1.5 PER 2 BEDROOMS	(12) 2 BEDROOMS	18 SPACES REQUIRED
REQUIRED 1.5 PER 3 BEDROOMS	(3) 3 BEDROOMS	5 SPACES REQUIRED
REQUIRED FOR GUEST 1 PER 10 UNITS	(29 UNITS / 10 )	3 SPACES REQUIRED

**TOTAL PARKING SPACES REQUIRED**  
40 SPACES REQUIRED

ADA PARKING REQUIRED (2 SPACES)

### PARKING PROVIDED FOR 29 CONDOS

PROVIDED 1 PER 1 BEDROOM	(14) 1 BEDROOM	14 SPACES PROVIDED
PROVIDED 2 PER 2 BEDROOMS	(12) 2 BEDROOMS	24 SPACES PROVIDED (DOUBLE STACK / LIFT)
PROVIDED 2 PER 3 BEDROOMS	(3) 3 BEDROOMS	6 SPACES PROVIDED (DOUBLE STACK / LIFT)
PROVIDED FOR GUEST 1 PER 10 UNITS		3 SPACES PROVIDED (IN LIEU OFF)

**TOTAL PARKING SPACES PROVIDED**  
44 SPACES PROVIDED

ADA PARKING PROVIDED (2 SPACES)  
3 SPACES PROVIDED (IN LIEU OFF)

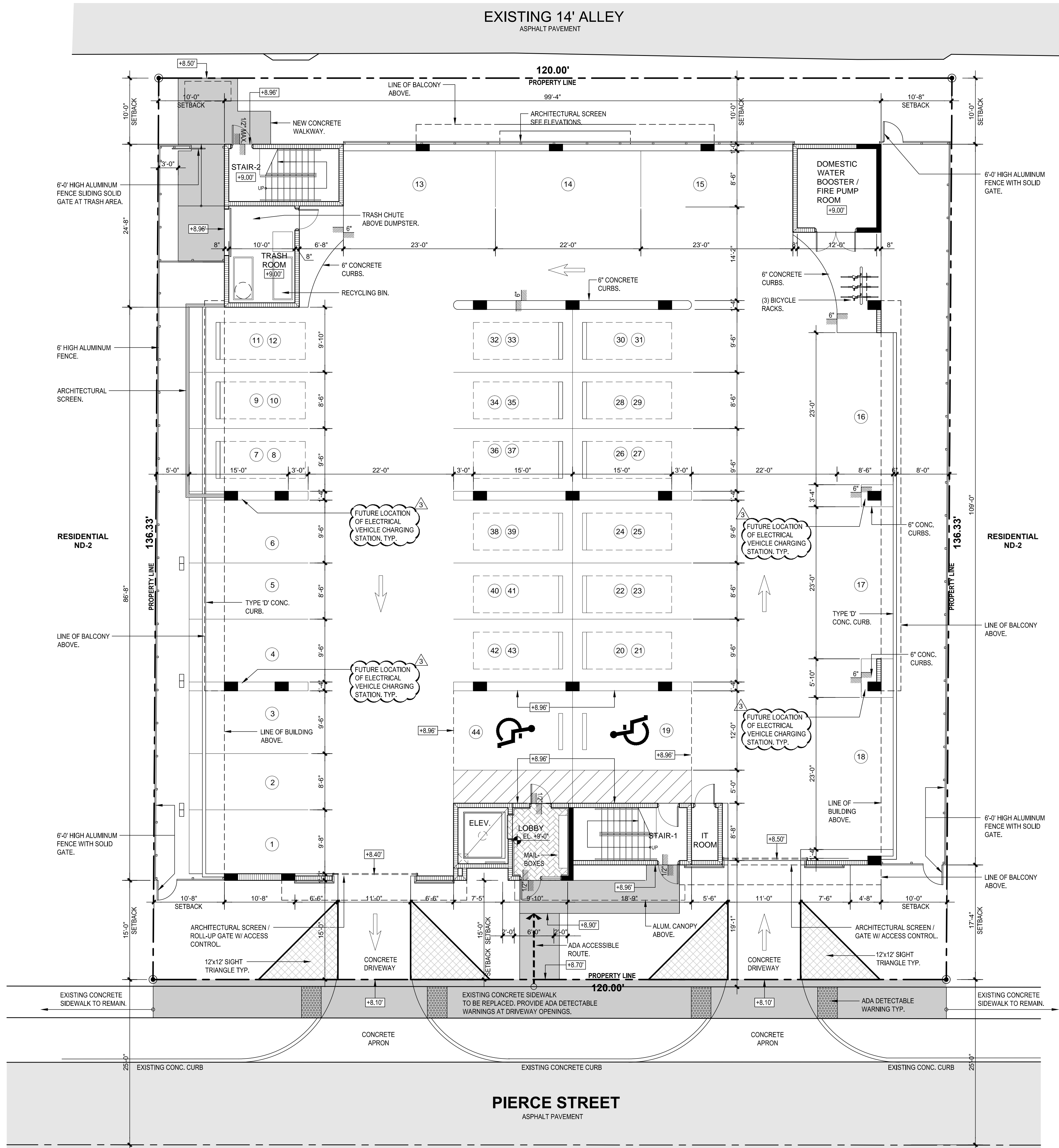
## NOTE

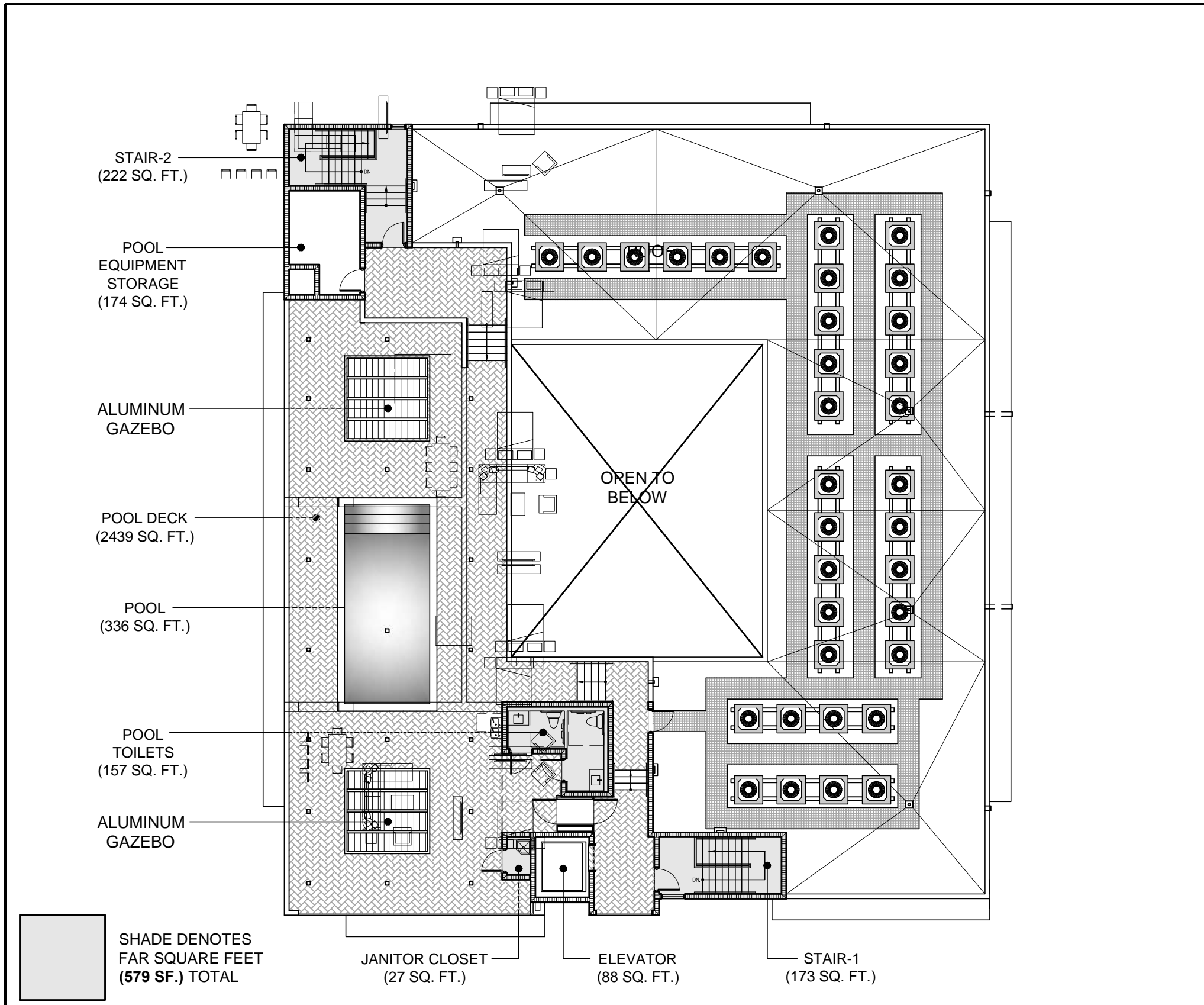
- ANY CHANGES TO DESIGN, INCLUDING MATERIAL CHANGES, MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL PRIOR TO CONSTRUCTION.
- PROVIDE 0.5 FOOT CANDLE LIGHTING.
- BUILDING SHALL COMPLY WITH THE REQUIREMENT OF NFPA1 (2018 ED.) SECTION 12.3.2

### GREEN BUILDING CERTIFICATION TO BE ACHIEVED.

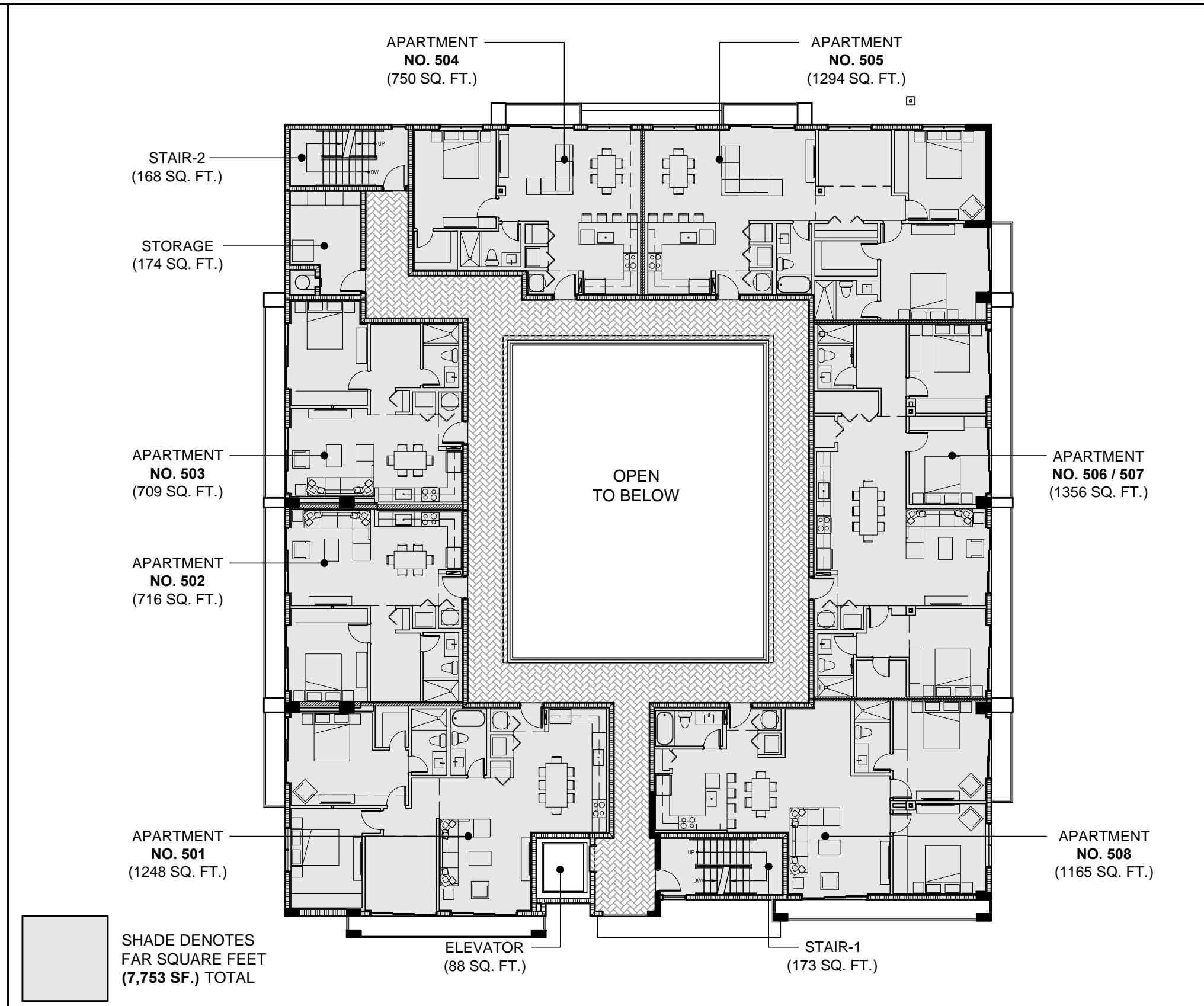
- ELECTRIC VEHICLE PROVISIONS (INFRASTRUCTURE ONLY).
- HVAC 18 SEER OR HIGHER.
- PROGRAMMABLE THERMOSTATS
- OCCUPANCY / VACANCY SENSORS (NOT SURE IF THIS ONE CAN BE USED ONLY IN COMMON AREAS).
- MERV AIR FILTERS AT LEAST 8
- ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
- DUAL FLUSH TOILETS (1/1.6 FLUSH)
- ENERGY STAR APPROVED ROOFING MATERIALS.
- ENERGY EFFICIENT (LOW-E) WINDOWS.
- ENERGY EFFICIENT DOORS.

- ADA NOTE:** ANY LIP FROM 1/4" NOT GREATER THEN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS.

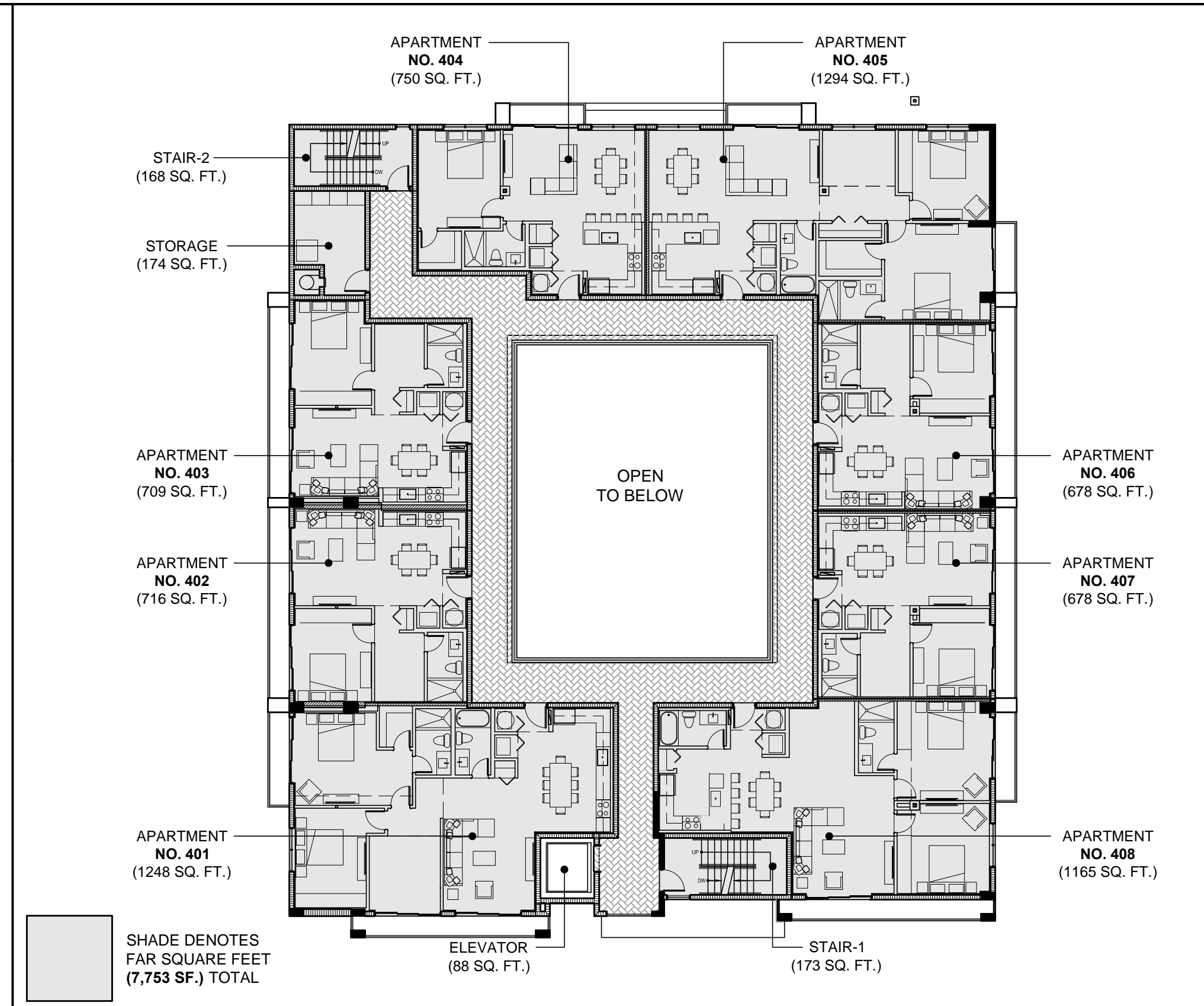




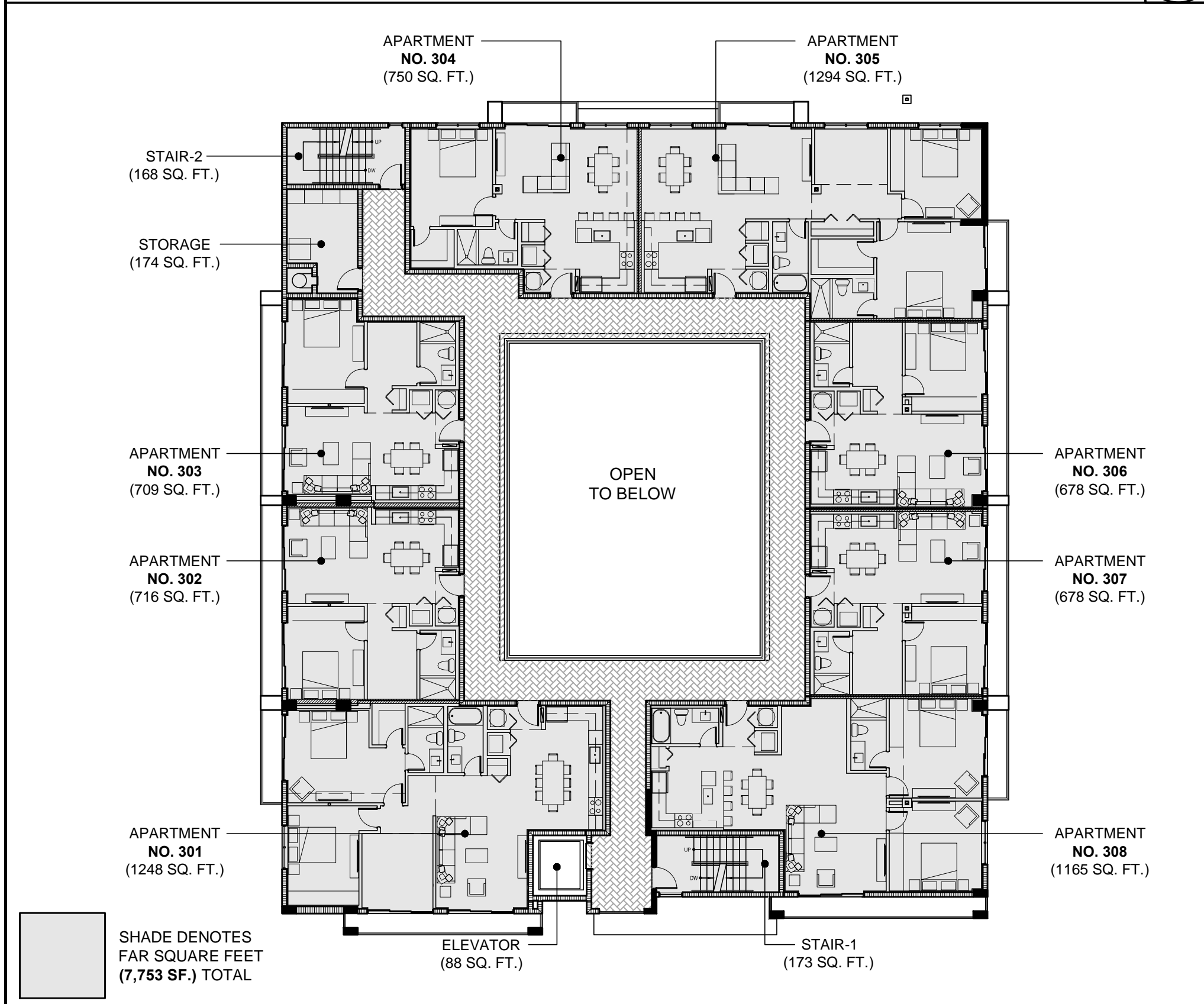
POOL / POOL DECK (FAR) PLAN SCALE: 1/16" = 1'-0"



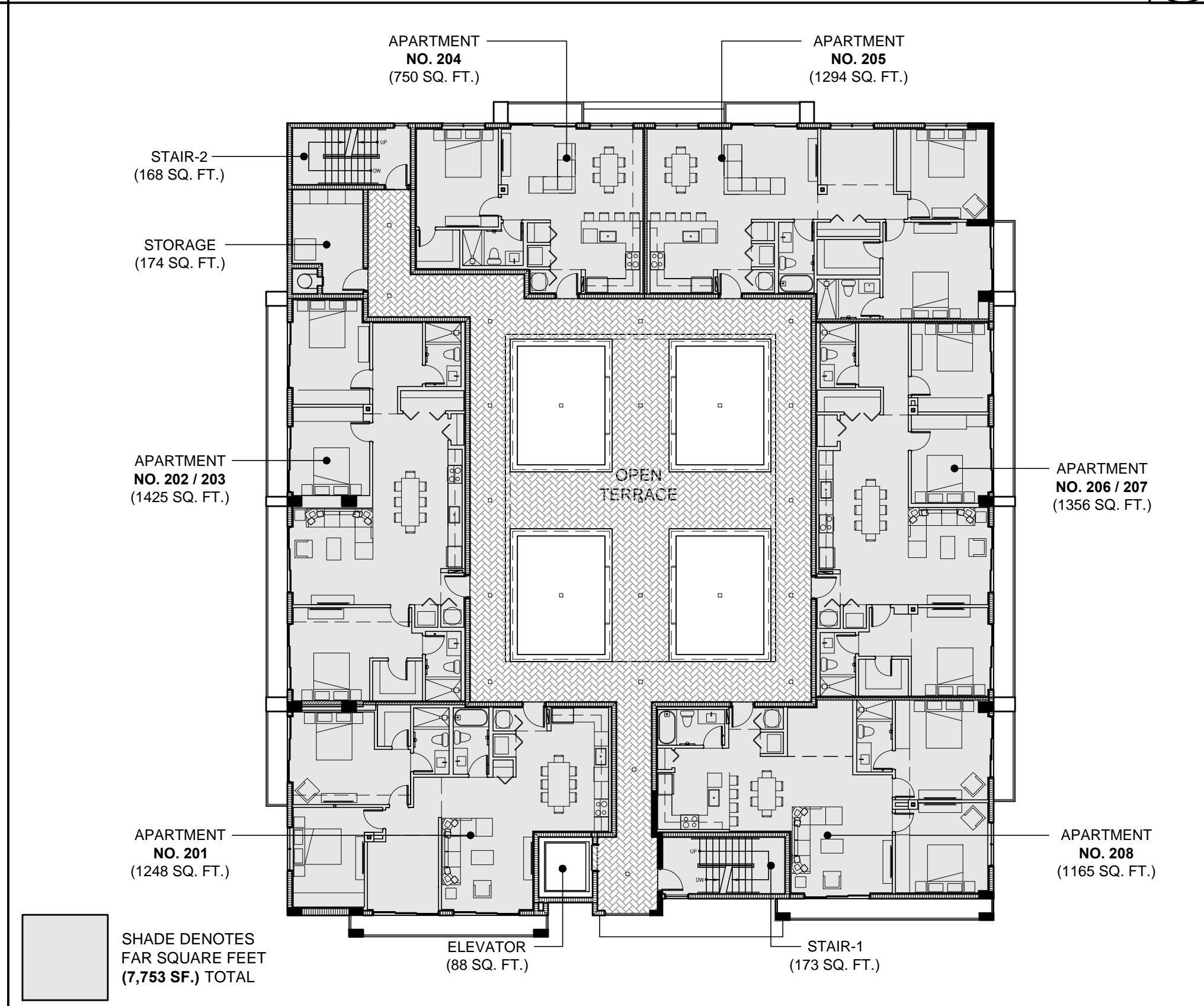
6 FIFTH (FAR) PLAN SCALE: 1/16" = 1'-0"



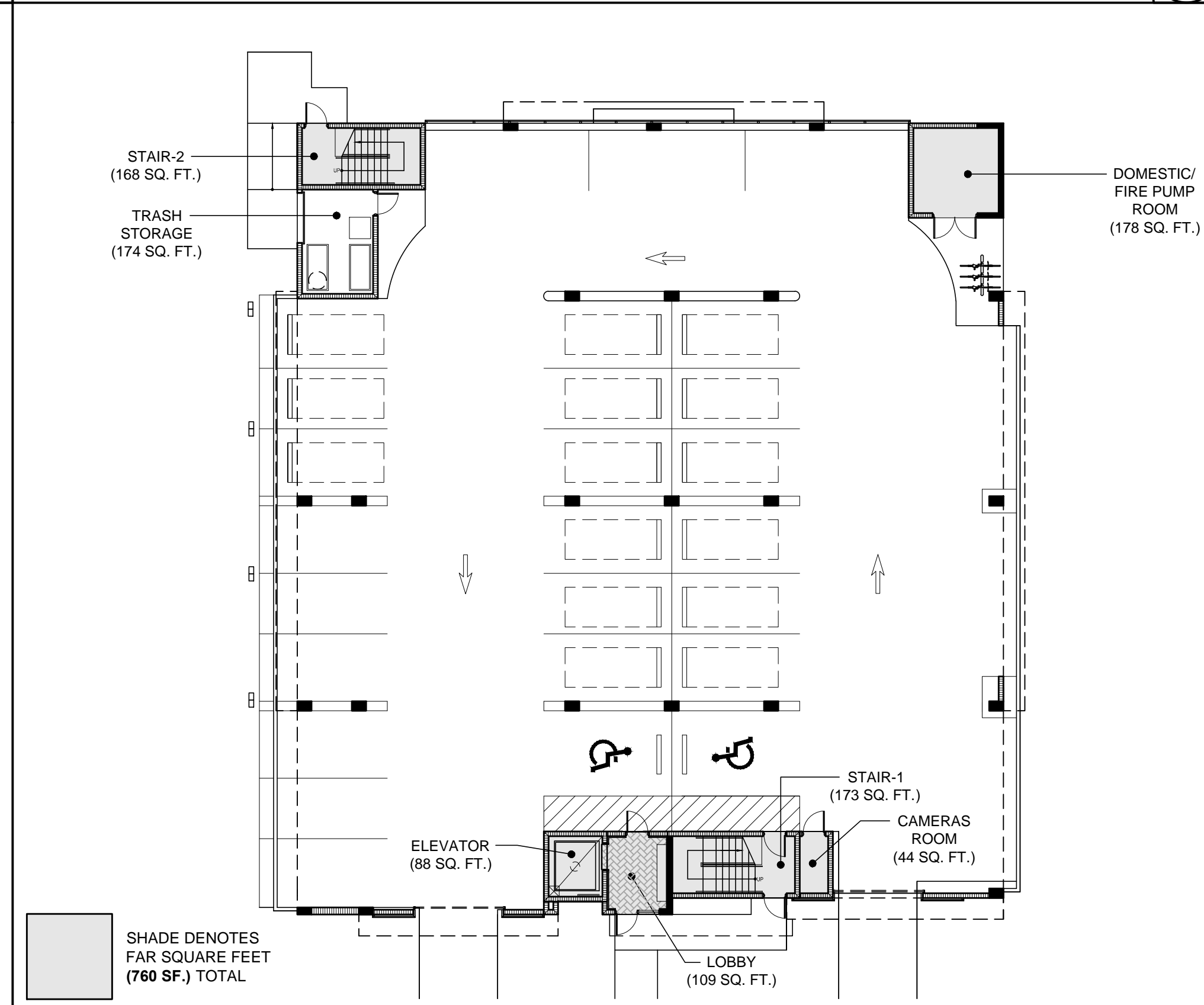
5 FOURTH (FAR) PLAN SCALE: 1/16" = 1'-0"



THIRD (FAR) PLAN SCALE: 1/16" = 1'-0"



3 SECOND (FAR) PLAN SCALE: 1/16" = 1'-0"



2 FIRST (FAR) PLAN SCALE: 1/16" = 1'-0"

PROFESSIONAL SEAL:



Alberto Llorente  
AR-0012031

PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
DOWNTOWN  
HOLLYWOOD

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE 03.28.23 ISSUE DESCRIPTION TAC COMMENTS  
01.11.24 TAC COMMENTS

DRAWING INFORMATION:

SHEET TITLE:  
FAR AND OPEN AREAS  
SQUARE FEET PLANS.

DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. A101  
3 of 8

FLOOR AREA RATIO CALCULATIONS (FAR)

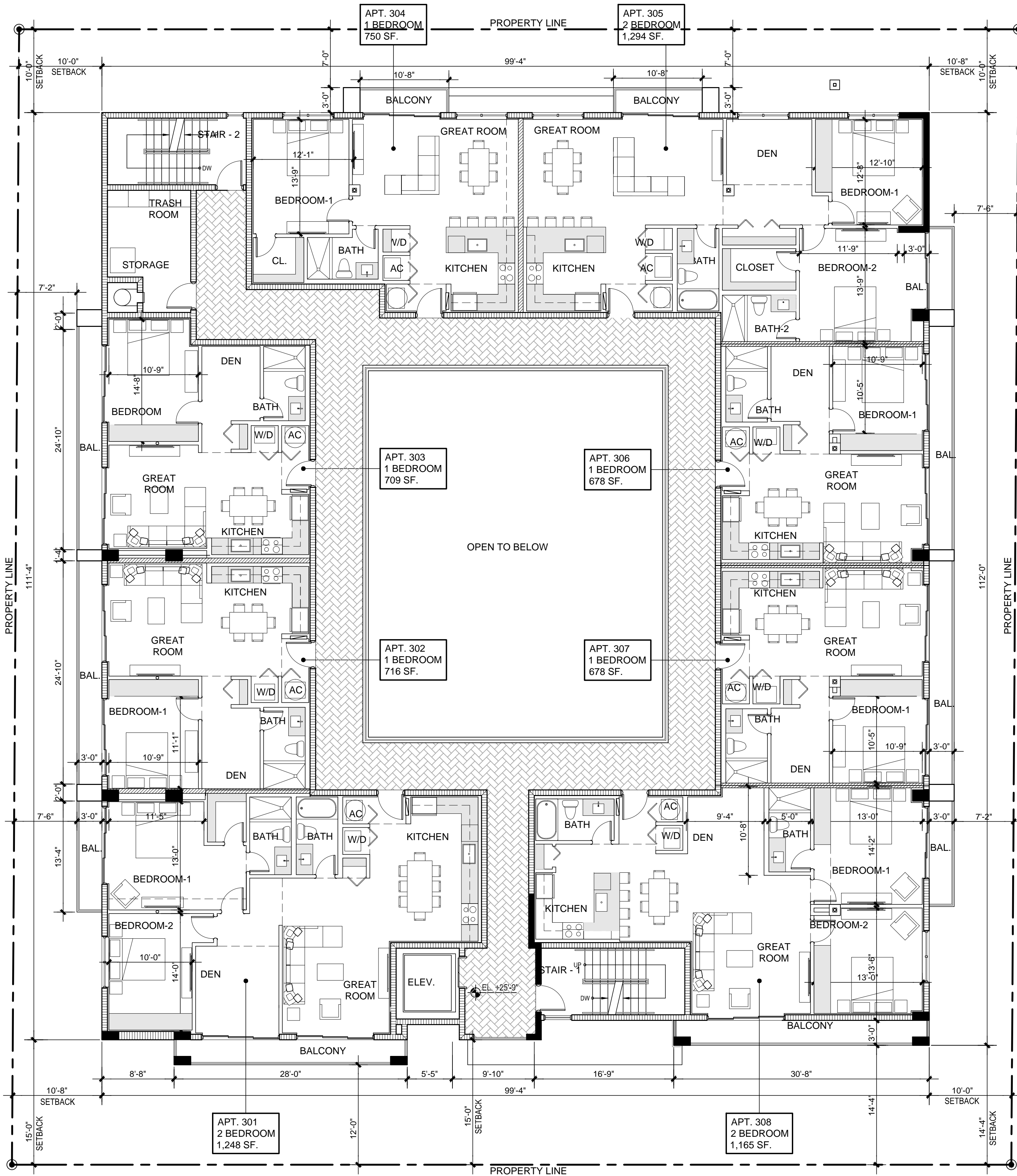
BUILDING FAR	NUMBER OF BEDROOMS	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
LOBBY	N/A	109 SF.						109 SF.
ELEVATOR	N/A	88 SF.						88 SF.
STAIR NO. 1	N/A	173 SF.	173 SF.	173 SF.	173 SF.	173 SF.	173 SF.	1,038 SF.
STAIR NO. 2	N/A	168 SF.	168 SF.	168 SF.	168 SF.	168 SF.	222 SF.	1,062 SF.
TRASH STORAGE	N/A		174 SF.	174 SF.	174 SF.	174 SF.		696 SF.
DOMESTIC / FIRE PUMP ROOM	N/A	178 SF.						178 SF.
IT ROOM	N/A	44 SF.						44 SF.
APARTMENT NO. 01	2 BEDROOMS		1,248 SF.	1,248 SF.	1,248 SF.	1,248 SF.		4,992 SF.
APARTMENT NO. 02	1 BEDROOM		716 SF.	716 SF.	716 SF.	716 SF.		2,148 SF.
APARTMENT NO. 03	1 BEDROOM		709 SF.	709 SF.	709 SF.	709 SF.		2,127 SF.
APARTMENT NO. 02 / 03	3 BEDROOMS		1,425 SF.					1,425 SF.
APARTMENT NO. 04	1 BEDROOM		750 SF.	750 SF.	750 SF.	750 SF.		3,000 SF.
APARTMENT NO. 05	2 BEDROOMS		1,294 SF.	1,294 SF.	1,294 SF.	1,294 SF.		5,176 SF.
APARTMENT NO. 06	1 BEDROOM		678 SF.	678 SF.	678 SF.	678 SF.		1,356 SF.
APARTMENT NO. 07	1 BEDROOM		678 SF.	678 SF.	678 SF.	678 SF.		1,356 SF.
APARTMENT NO. 06 / 07	3 BEDROOM		1,356 SF.					2,712 SF.
APARTMENT NO. 08	2 BEDROOMS		1,165 SF.	1,165 SF.	1,165 SF.	1,165 SF.		4,660 SF.
POOL EQUIPMENT	N/A							
POOL TOILETS	N/A						157 SF.	157 SF.
JANITOR CLOSET	N/A						27 SF.	27 SF.
FAR TOTALS		760 SF.	7,753 SF.	7,753 SF.	7,753 SF.	7,753 SF.	579 SF.	32,351 SF.

OPEN AREAS

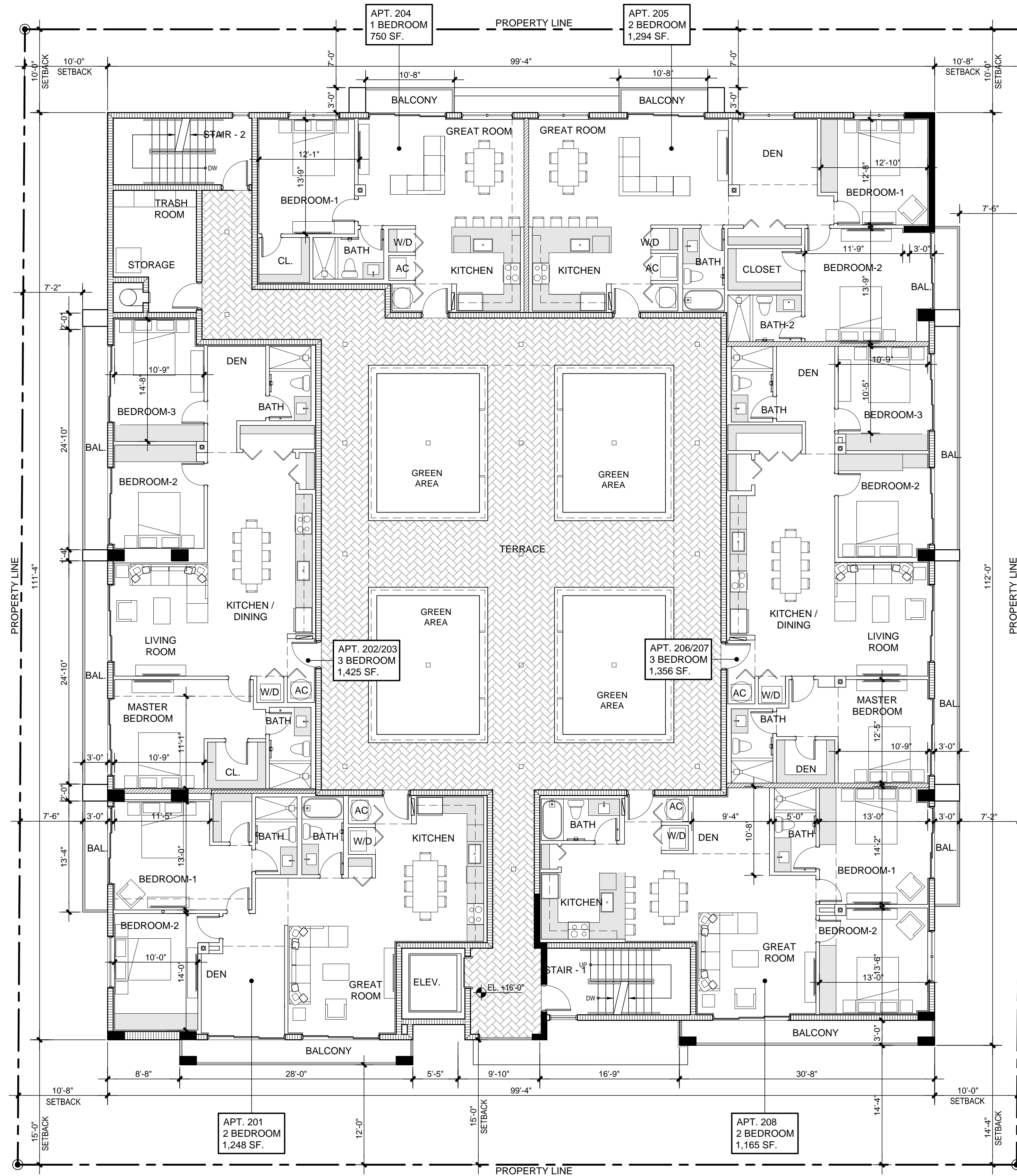
BUILDING FAR	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
SECOND FLOOR OPEN TERRACE AND WALKWAYS		3,087 SF.					3,087 SF.
OPEN WALKWAY		88 SF.	1,339 SF.	1,339 SF.	1,339 SF.		4,017 SF.
APARTMENT NO. 01 BALCONY	120 SF.	120 SF.	120 SF.	120 SF.	120 SF.		480 SF.
APARTMENT NO. 02 BALCONY	80 SF.	80 SF.	80 SF.	80 SF.	80 SF.		320 SF.
APARTMENT NO. 03 BALCONY	81 SF.	81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 04 BALCONY	32 SF.	32 SF.	32 SF.	32 SF.	32 SF.		128 SF.
APARTMENT NO. 05 BALCONY	62 SF.	62 SF.	62 SF.	62 SF.	62 SF.		248 SF.
APARTMENT NO. 06 BALCONY	81 SF.	81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 07 BALCONY	77 SF.	77 SF.	77 SF.	77 SF.	77 SF.		308 SF.
APARTMENT NO. 08 BALCONY	126 SF.	126 SF.	126 SF.	126 SF.	126 SF.		504 SF.
POOL DECK						2,439 SF.	2,439 SF.
POOL						336 SF.	336 SF.
OPEN AREAS TOTALS		3,746 SF.	1,998 SF.	1,998 SF.	1,998 SF.	2,775 SF.	12,515 SF.

BUILDING FAR AND OPEN AREAS

FAR TOTALS	760 SF.	7,753 SF.	7,753 SF.	7,753 SF.	7,753 SF.	579 SF.	32,351 SF.
OPEN AREAS TOTALS		3,746 SF.	1,998 SF.	1,998 SF.	1,998 SF.	2,775 SF.	12,515 SF.
TOTAL	760 SF.	11,509 SF.	9,751 SF.	9,751 SF.	9,751 SF.	3,354 SF.	44,876 SF.

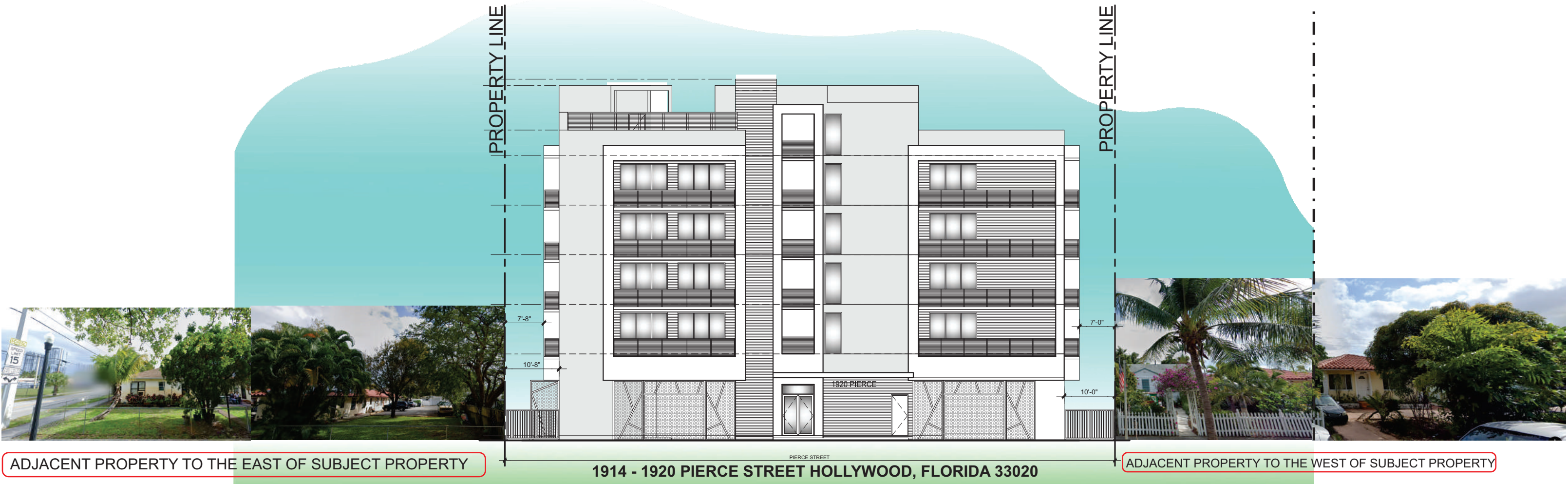


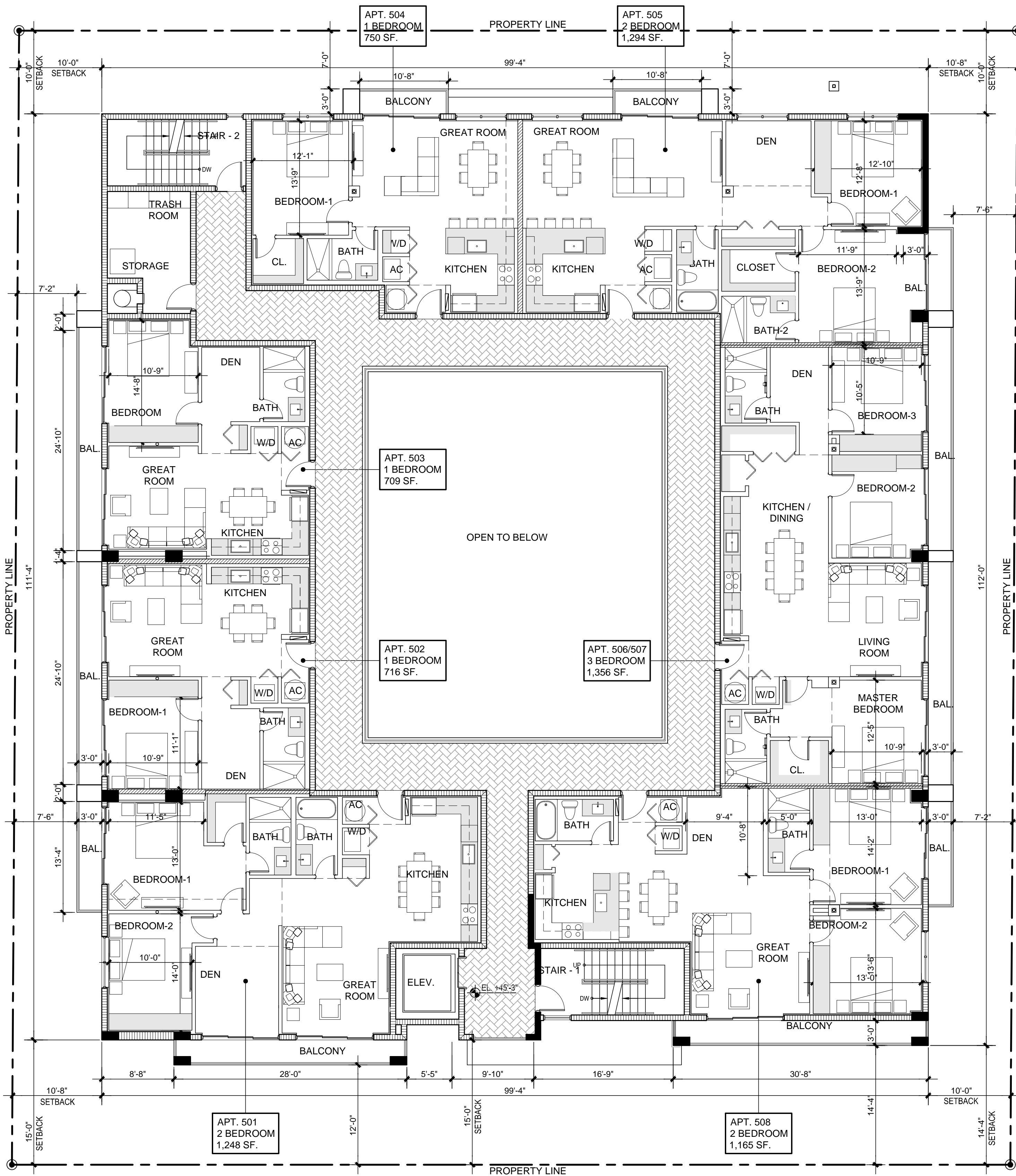
**PROPOSED THIRD FLOOR PLAN** SCALE: 1/8" = 1'-0"



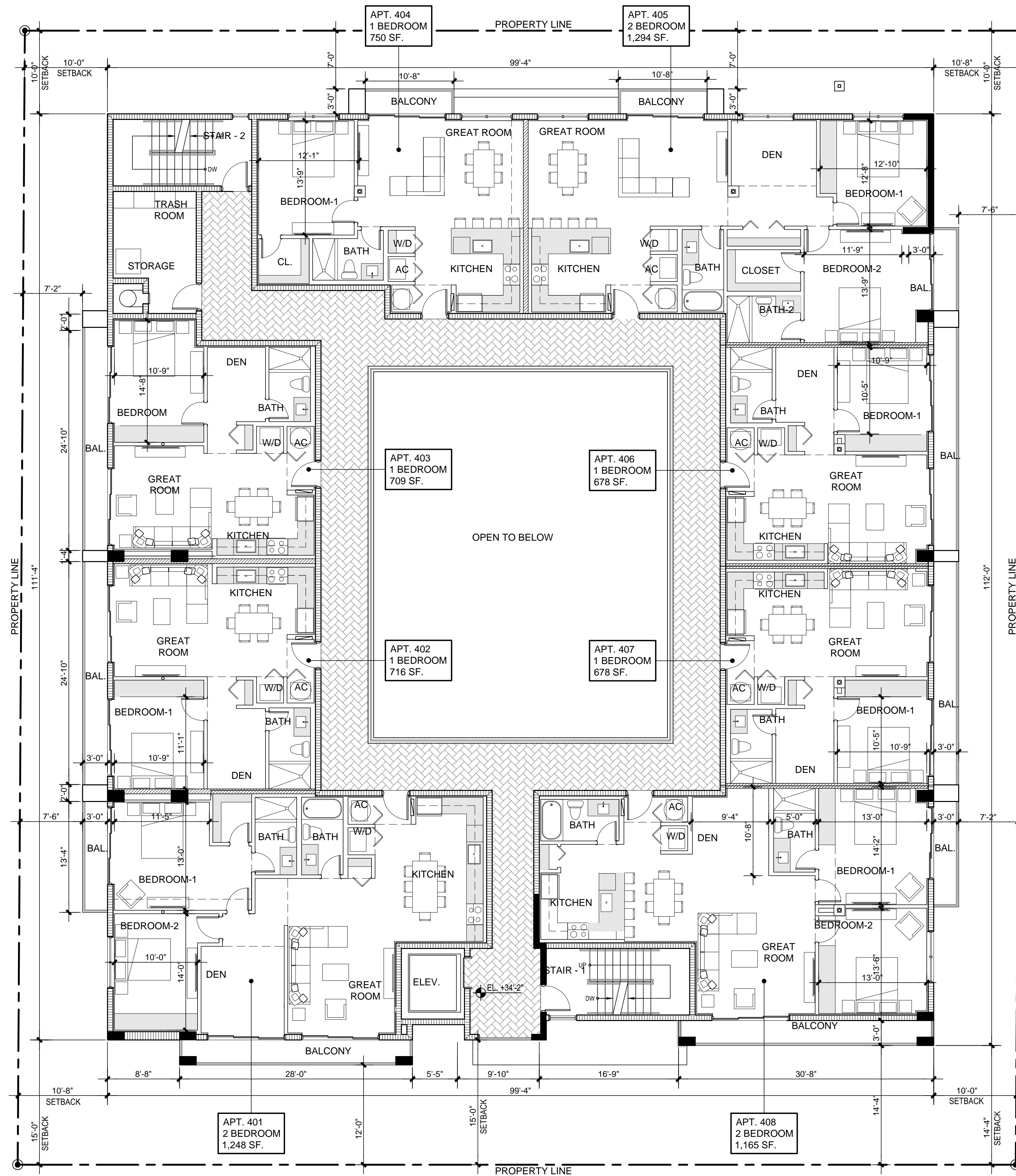
**PROPOSED SECOND FLOOR PLAN** SCALE: 1/8" = 1'-0"

Site plan for a parking lot with a central building and an alley. The plan shows a rectangular parking lot with a central building. The building has a central entrance with a set of stairs. The parking lot is divided into several sections by a central alley. The plan includes various annotations for trees, including species and sizes, and for 'Bio Barriers' (BB) and 'Bio Barriers' (BB) along the sidewalks. The plan also shows 'SIGHT TRIANGLE NO ENCROACHMENT' areas at the corners. The alley is labeled 'ALLEY' and has a width of 20.00'. The plan includes dimensions for the building, parking lot, and alley. The plan also shows 'EXISTING OVERHEAD POWER LINE' and 'RELOCATED' trees. The plan includes a north arrow and a scale bar.

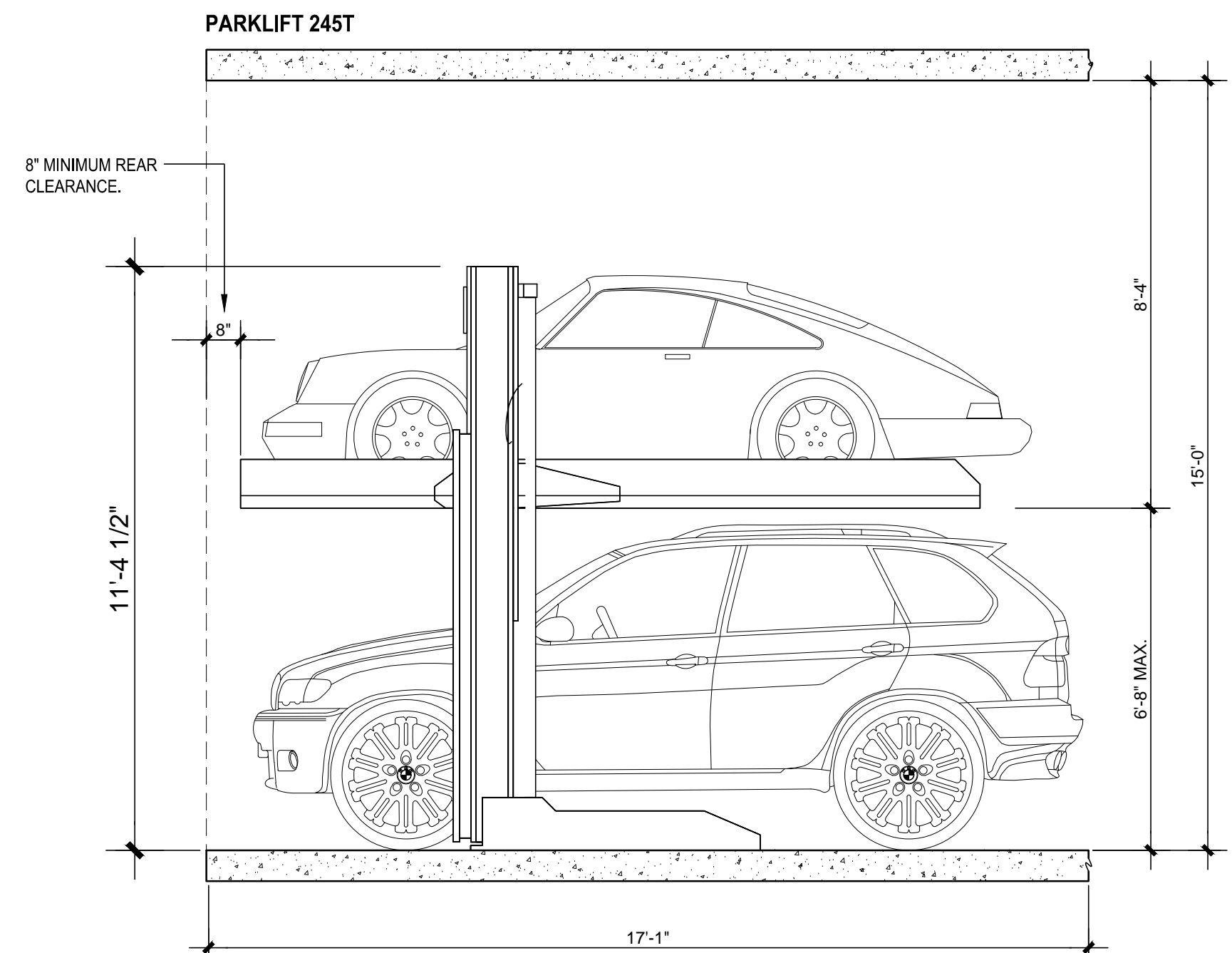




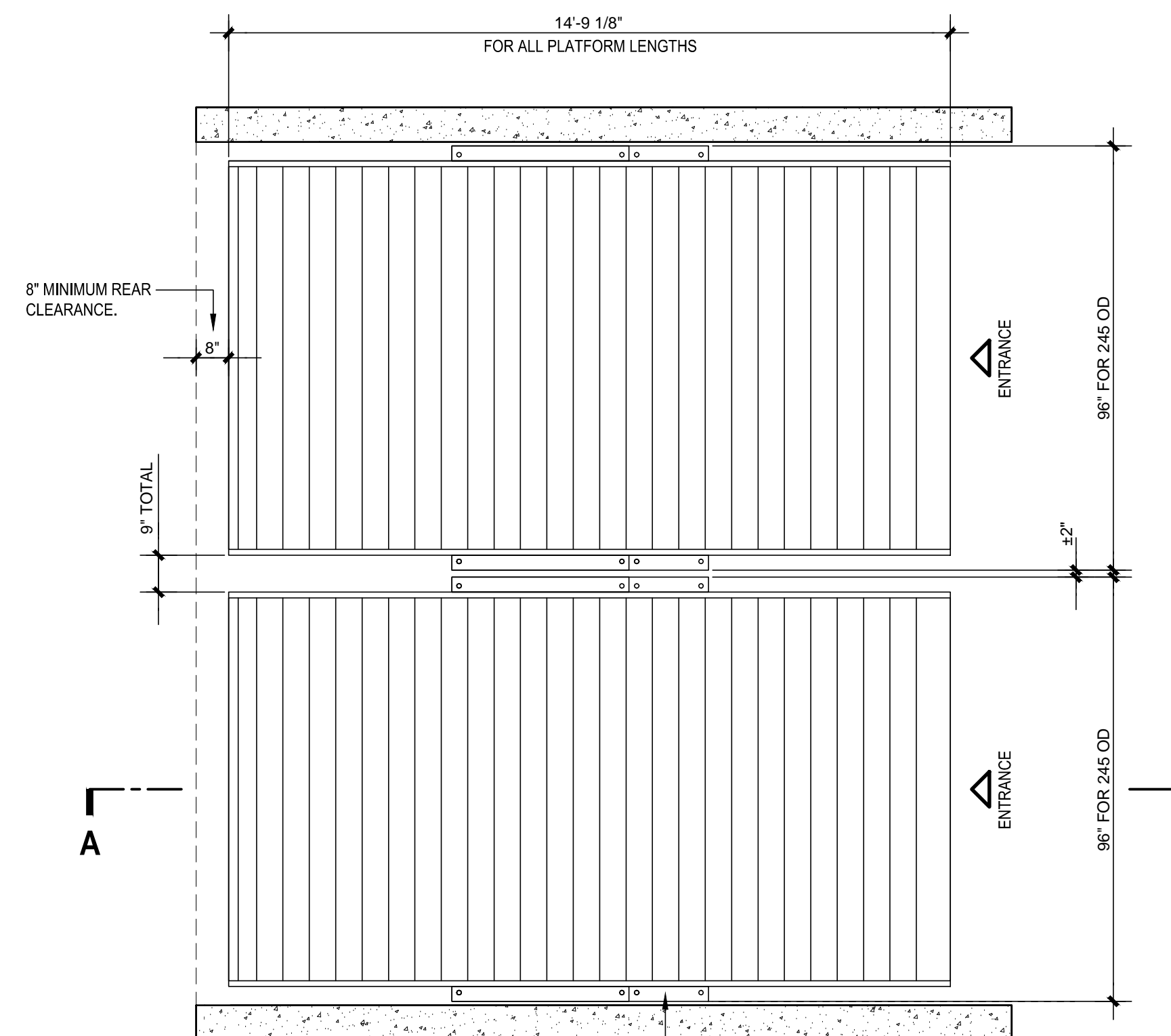
**PROPOSED FIFTH FLOOR PLAN** SCALE: 1/8" = 1'-0"



**PROPOSED FOURTH FLOOR PLAN** SCALE: 1/8" = 1'-0"



SECTION A-A



WIDTH OF LEGS IS 4"  
AND 1" OFF THE WALL

PARKLIFT 245T SPECIFICATIONS

CAPABILITIES

WORKING CAPACITY	6,000 LBS
STATIC CAPACITY	12,000 LBS
DYNAMIC CAPACITY	9,000 LBS

DIMENSIONS

OVERALL WIDTH	96 7/16"
PLATFORM WIDTH	82 1/16"
DRIVE-THRU WIDTH	88"
OVERALL PLATFORM LENGTH	177 1/8"
MAXIMUM VEHICLE WHEELBASE	146"
MAXIMUM CLEARANCE (LOWER CAR)	80"
OVERALL HEIGHT	11'-5"

SPEED

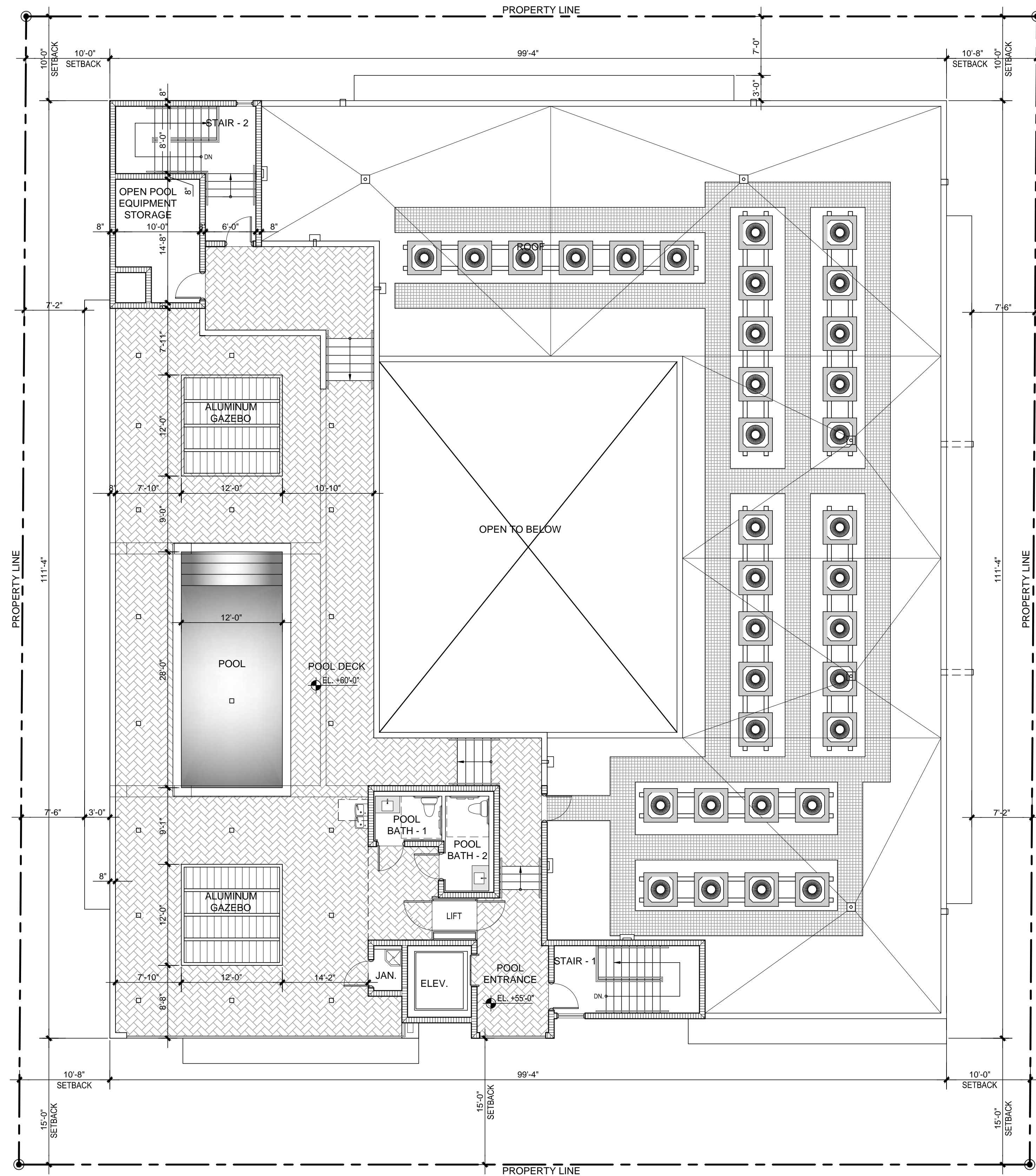
LIFTING SPEED (SECONDS)	17 SECONDS
LOWERING SPEED (SECONDS)	15 SECONDS

POWER

POWER REQUIREMENTS	220V 3 PHASE 40 AMP
220V SINGLE PHASE 40 AMP	

FEATURES

APPLICATION	OUTDOOR / INDOOR
SURFACE	ASPHALT / CONCRETE
MATERIAL	100% GALVANIZED STEEL
SAFETY	STEEL-ON-STEEL LOCKS





**MATERIAL COLOR SELECTION**

①

COLOR 1

SHERWIN WILLIAMS  
SW7653 SILVERPOINTE

②

COLOR 2

SHERWIN WILLIAMS  
SW7655 STAMPED CONCRETE

③

WOOD TILE USA TILE TRAVEL 6"x48" GOLD

④

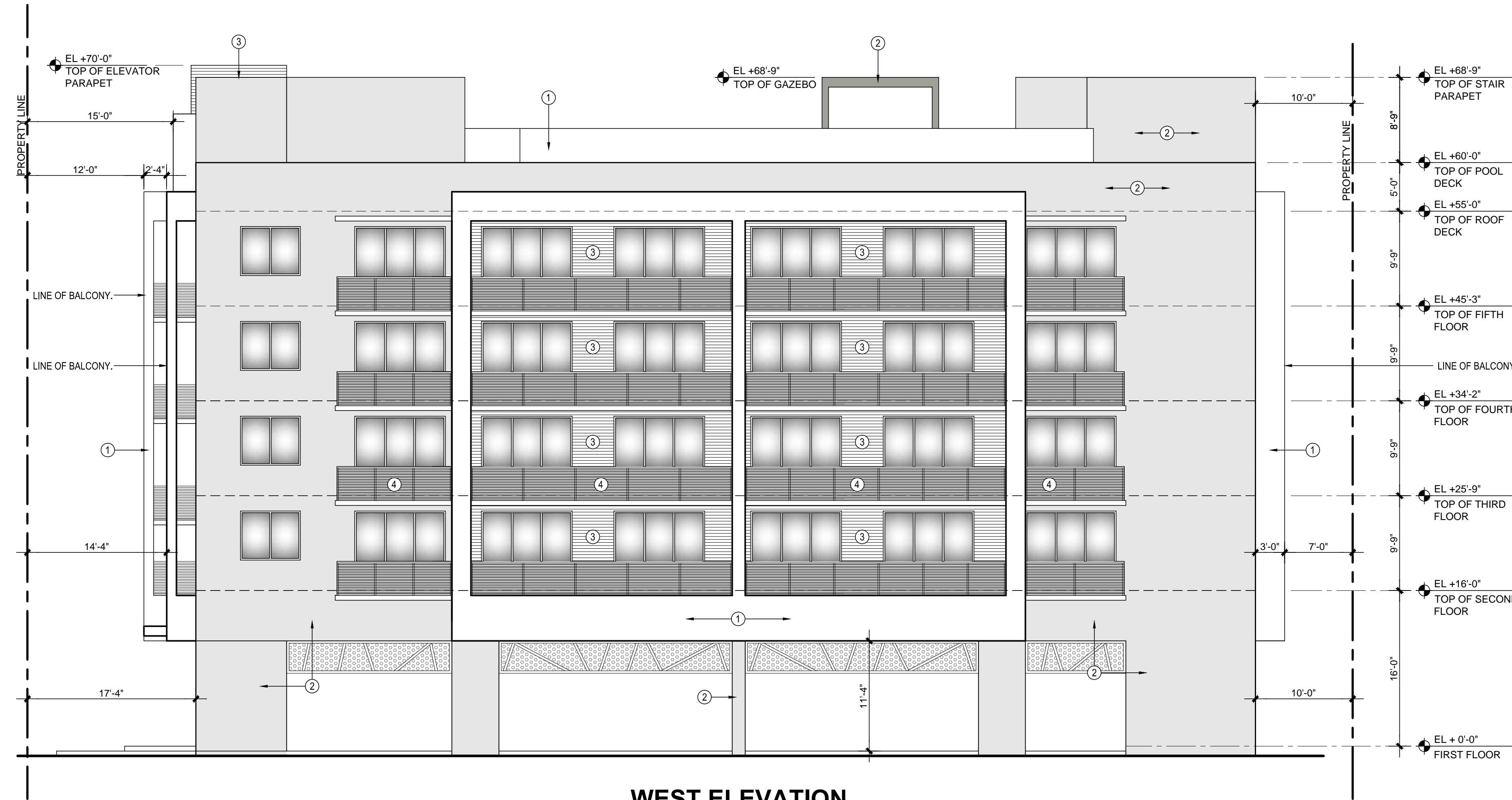
BLACK ALUMINUM RAILING.

⑤

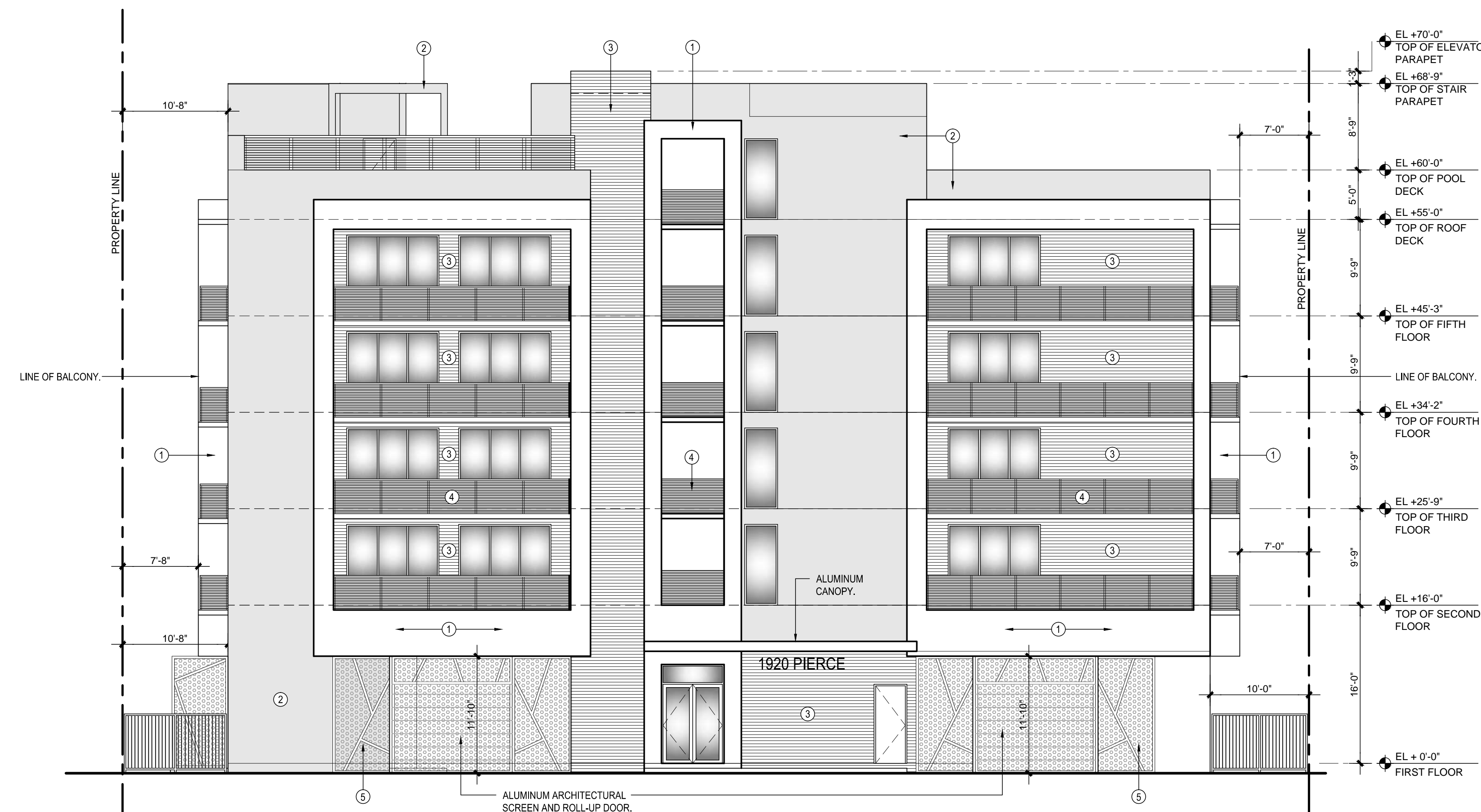
ANODIZED ALUMINUM ARCHITECTURE  
SCREEN / ROLL-UP DOOR.

⑥

BRONZE ALUMINUM WINDOW / DOOR FRAME  
W/ GREY TINTED GLASS.



WEST ELEVATION



NORTH ELEVATION

**MATERIAL COLOR SELECTION**

①

COLOR 1

SHERWIN WILLIAMS  
SW7653 SILVERPOINTE

②

COLOR 2

SHERWIN WILLIAMS  
SW7655 STAMPED CONCRETE

③

WOOD TILE USA TILE TRAVEL 6"x48" GOLD

④

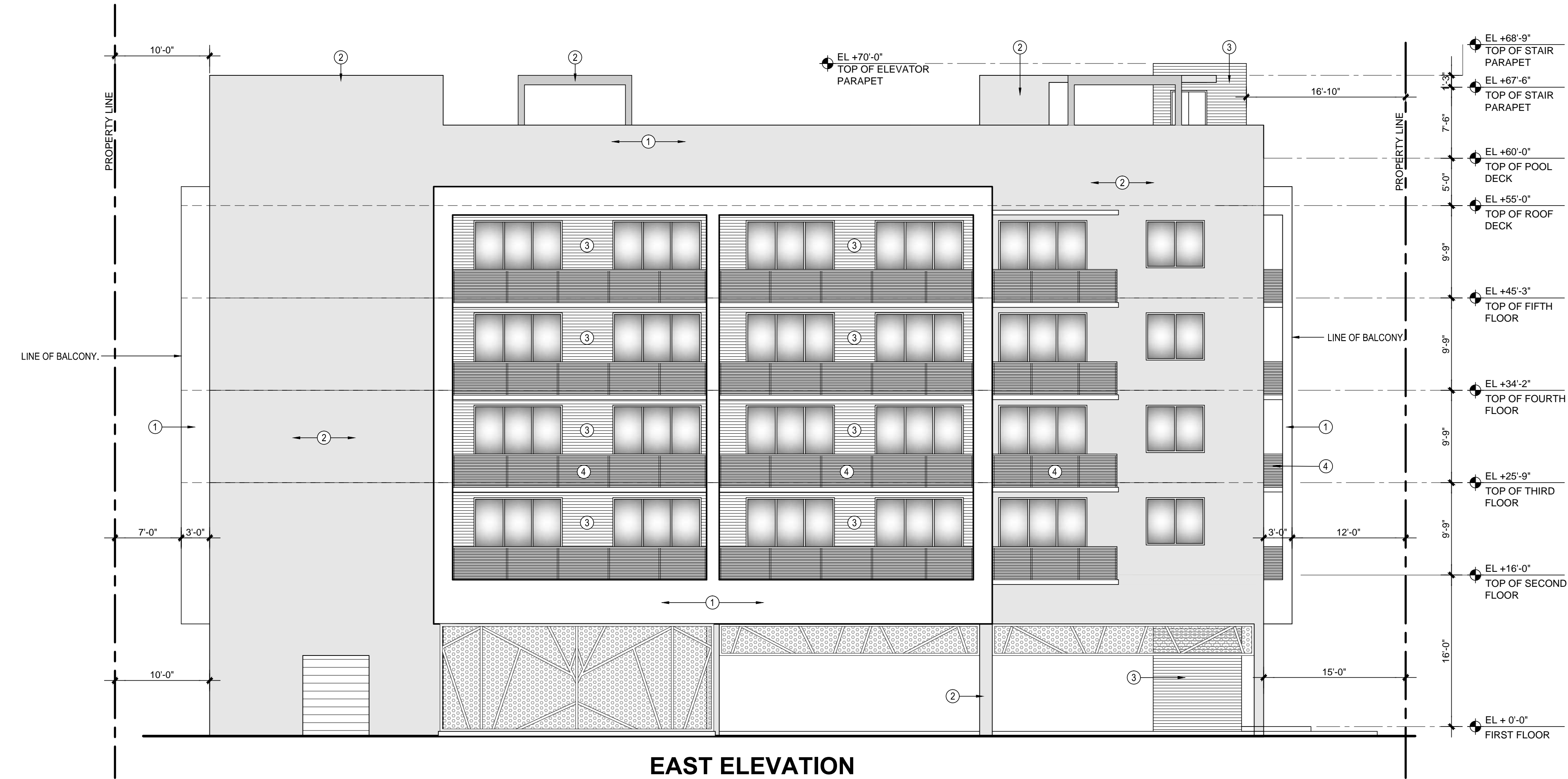
BLACK ALUMINUM RAILING.

⑤

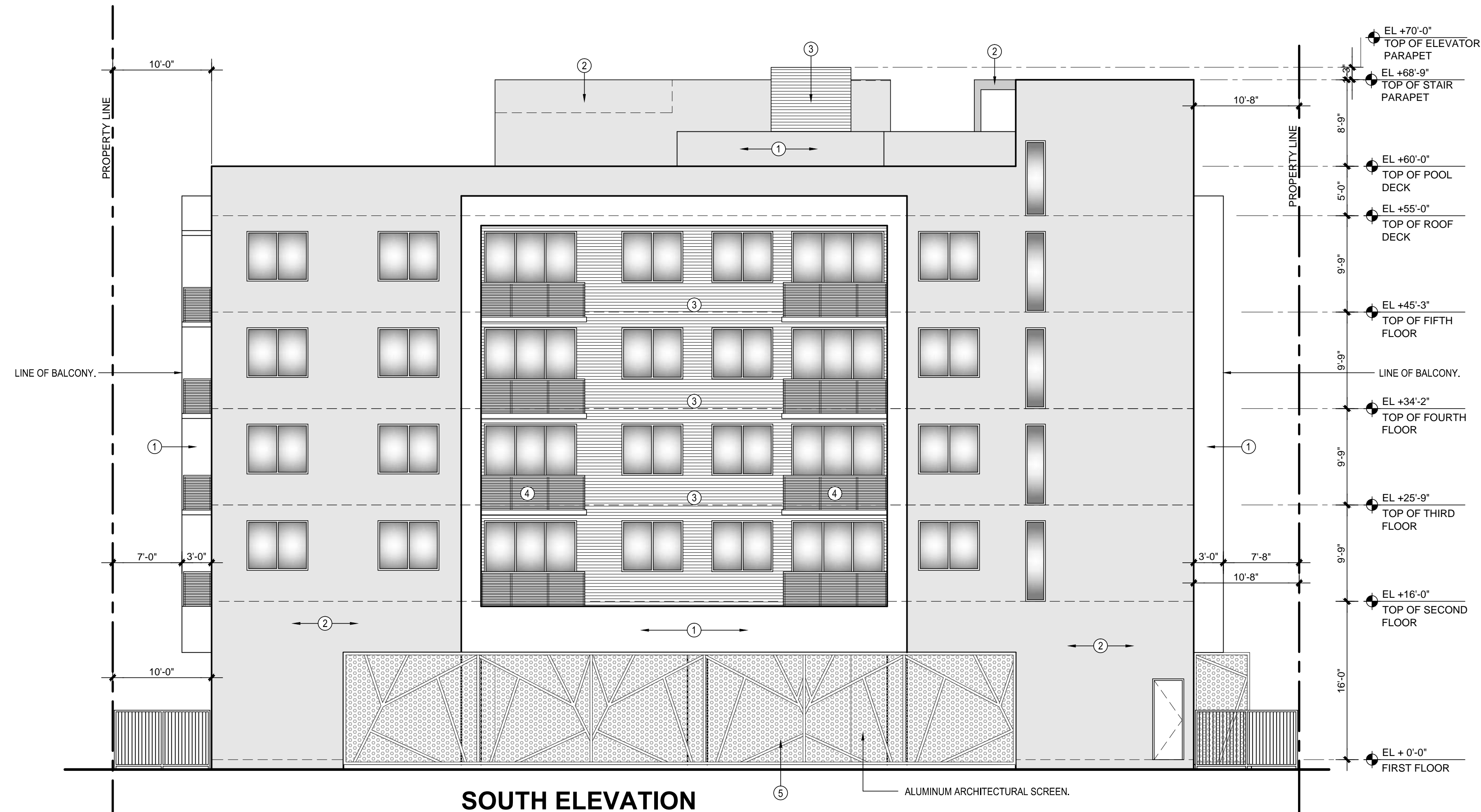
ANODIZED ALUMINUM ARCHITECTURE  
SCREEN / ROLL-UP DOOR.

⑥

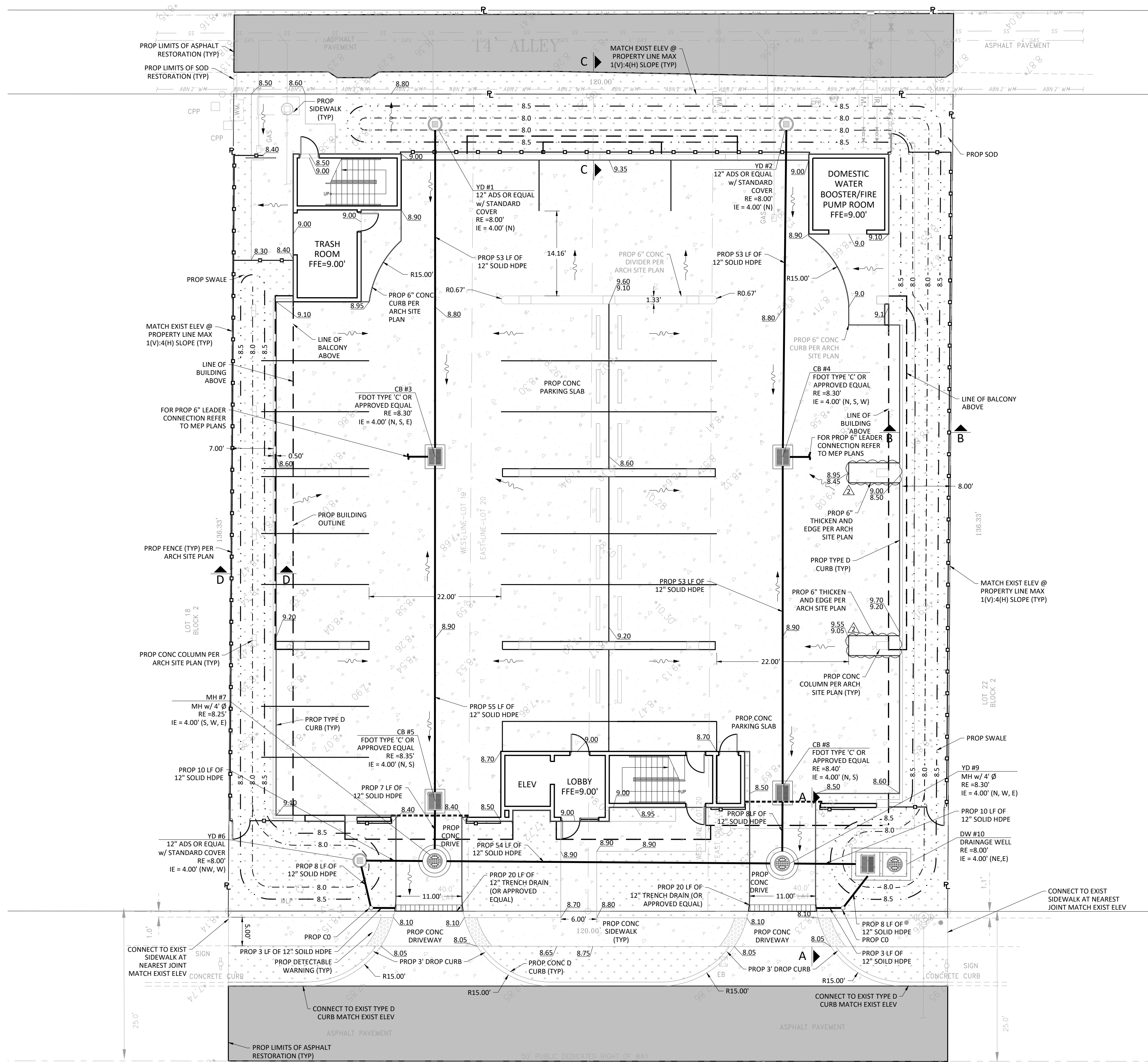
BRONZE ALUMINUM WINDOW / DOOR FRAME  
W/ GREY TINTED GLASS.



EAST ELEVATION

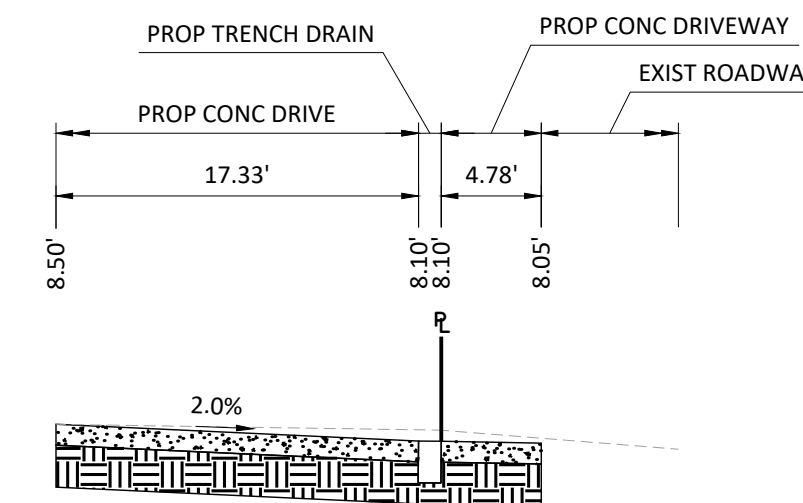
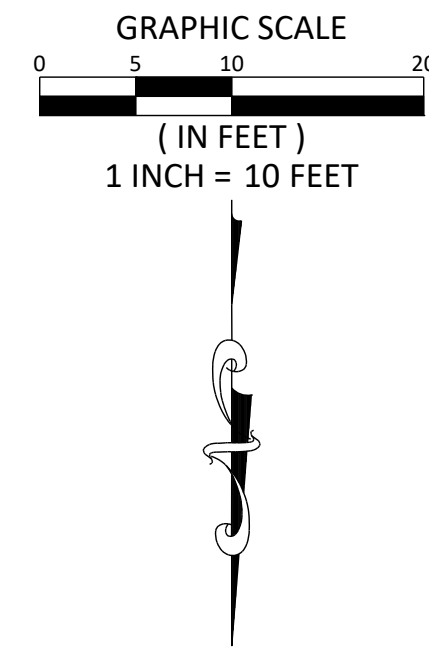


SOUTH ELEVATION

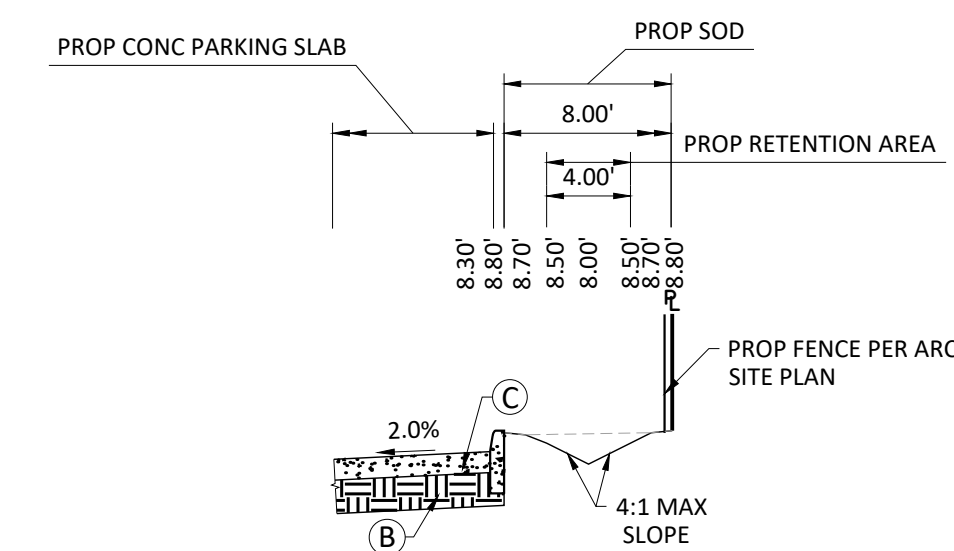


## NOTES:

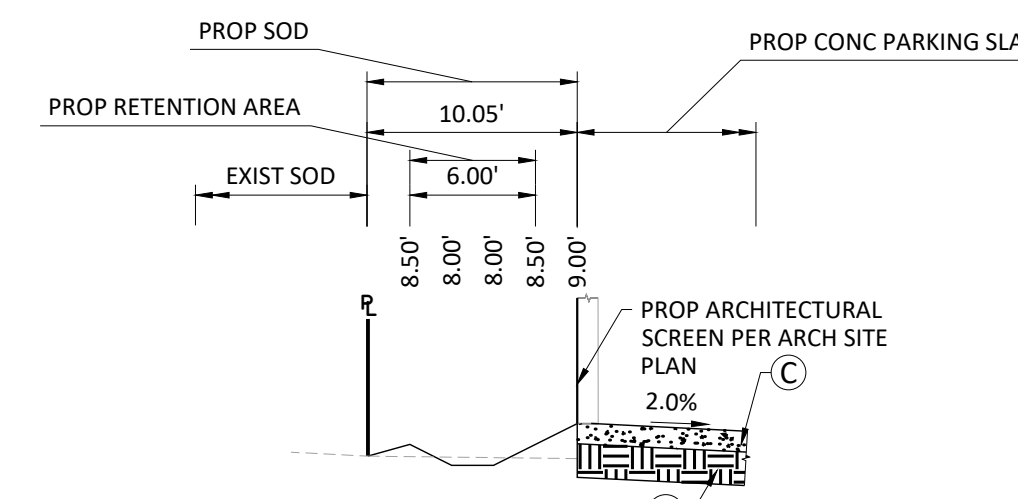
1. VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).
2. FLOODPROOF STRUCTURE TO 11.0'.
3. ALL ROADWAYS ADJACENT TO PROPERTY WILL BE MILLED AND RESURFACED.
4. CURB CUTS AND SWALES TO BE CLOSED OFF AND RESTORED DURING CONSTRUCTION.



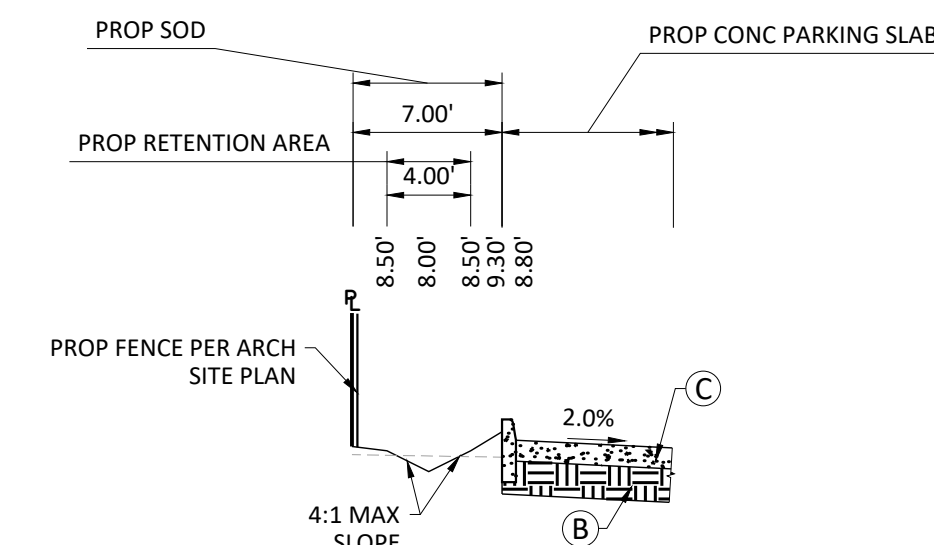
SECTION A - A



SECTION B - B









SECTION C - C

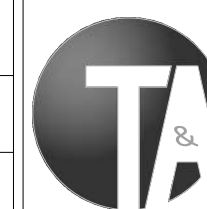


SECTION D - D

- (A) 1" MILL & RESURFACE  
(B) PROP 12" STABILIZED SUBGRADE (MIN. LBR 40)  
(C) PROP CONC SIDEWALK (MIN. 6" THICK)  
(D) CONC PAVERS  
(E) 2" COMPACTED SAND BED W/ GEOTEXTILE UNDER

SCALE: 1" = 10' HORIZONTAL  
1" = 5' VERTICAL

LEGEND					
ARCH	ARCHITECTURAL	GV	GATE VALVE	STR	STRUCTURE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE	TOP	TOP OF PIPE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
CLEAR	CLEARANCE	IE	INVERT ELEVATION	WM	WATER MAIN
CO	CLEAN OUT	INV	INVERT OF PIPE	W/	WITH
CONC	CONCRETE	LF	LINEAR FEET	YD	YARD DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE		EXIST GRADE (FT-NAVD)
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE		PROP GRADE (FT-NAVD)
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE		FLOW ARROW
ELEV	ELEVATION	PROP	PROPOSED		PROPERTY LINE
EXIST	EXISTING	RE	RIM ELEVATION		EASEMENT LINE
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE		R/W LINE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER		
FH	FIRE HYDRANT				
FT	FEET	R/W	RIGHT OF WAY		



THOMPSON & ASSOCIATES  
412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
MIAMI-DADE (305) 714-2510  
BROWARD (954) 761-1073  
PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

PAVING GRADING AND DRAINAGE PLAN

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA,  
LICENSE No. 66646  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE  
KRAWCZYK, PE ON 12/20/2023  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED  
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SCALE:  
1" = 10'  
PROJECT No.:  
22034  
CAD FILE:  
22034 PGD.dwg

SHEET:

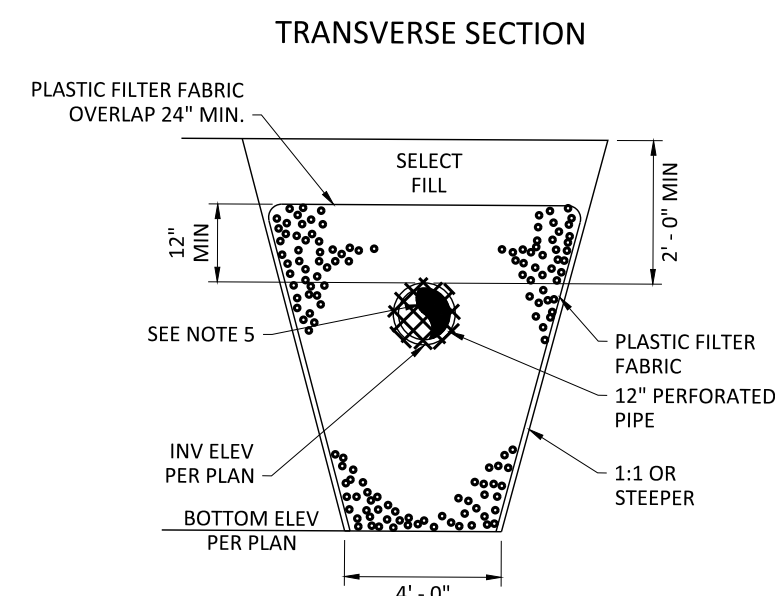
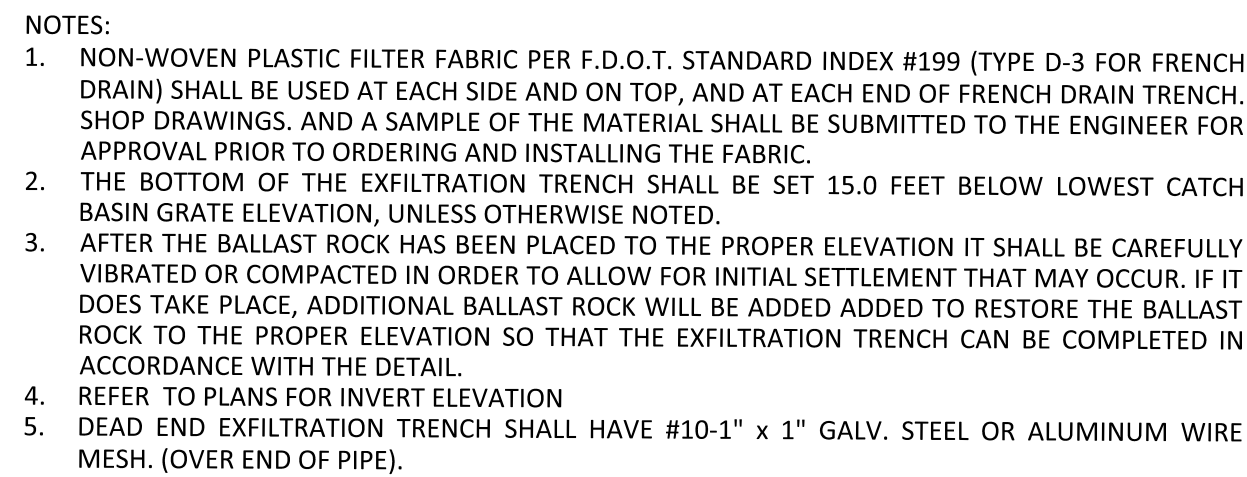
C-1

**Sunshine811**

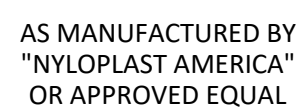
Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

TAC REVIEW PLANS

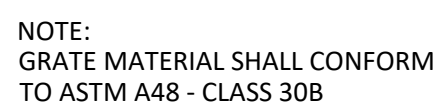


**ALTERNATE TRANSVERSE SECTION**  
MAY BE USED IN AREAS WHERE TRENCH WALLS  
WILL NOT STAND VERTICAL, OR WHERE CAVE IN  
BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO  
BE USED AT THE ENGINEER'S DISCRETION.



(CONCRETE SHALL BE 4,000 PSI AT 28 DAYS)

**CONCRETE COLLAR DETAIL**



TYPICAL GRATE DETAIL

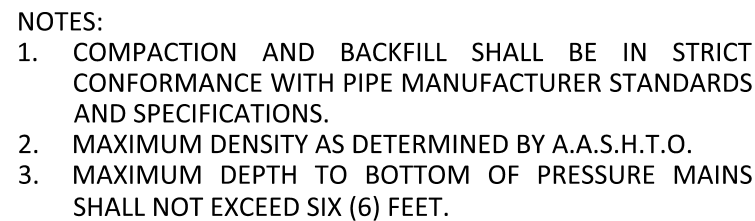
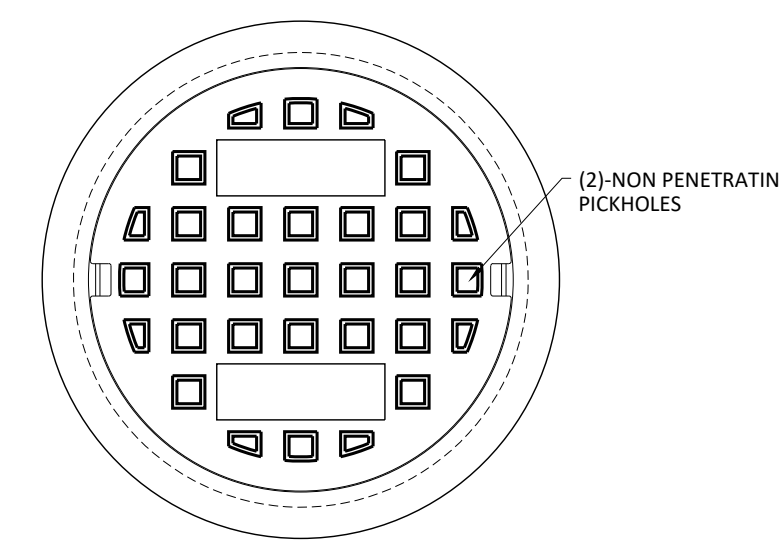
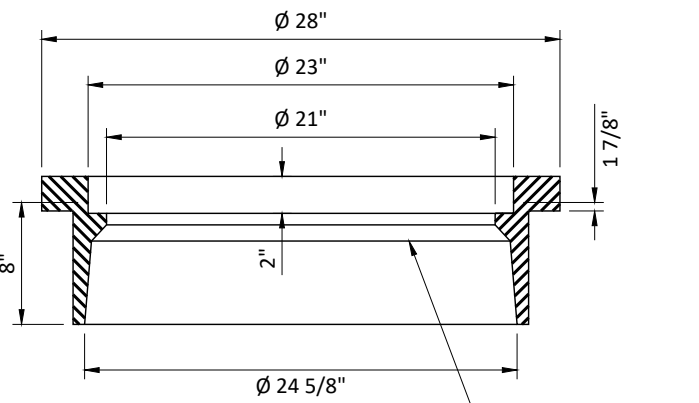


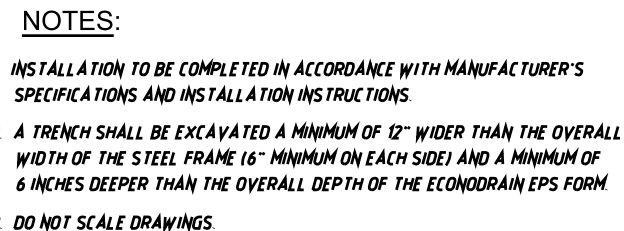
TABLE "A"		
PIPE SIZE	DEPTH OF BACKFILL AT WHICH TRENCH WIDTH IS TO BE LIMITED	MAXIMUM TRENCH WIDTH
8"	15"	3' - 0"
12"	12"	3' - 3"

DIMENSIONS SHOWN APPLY TO ALL FOUNDATIONS

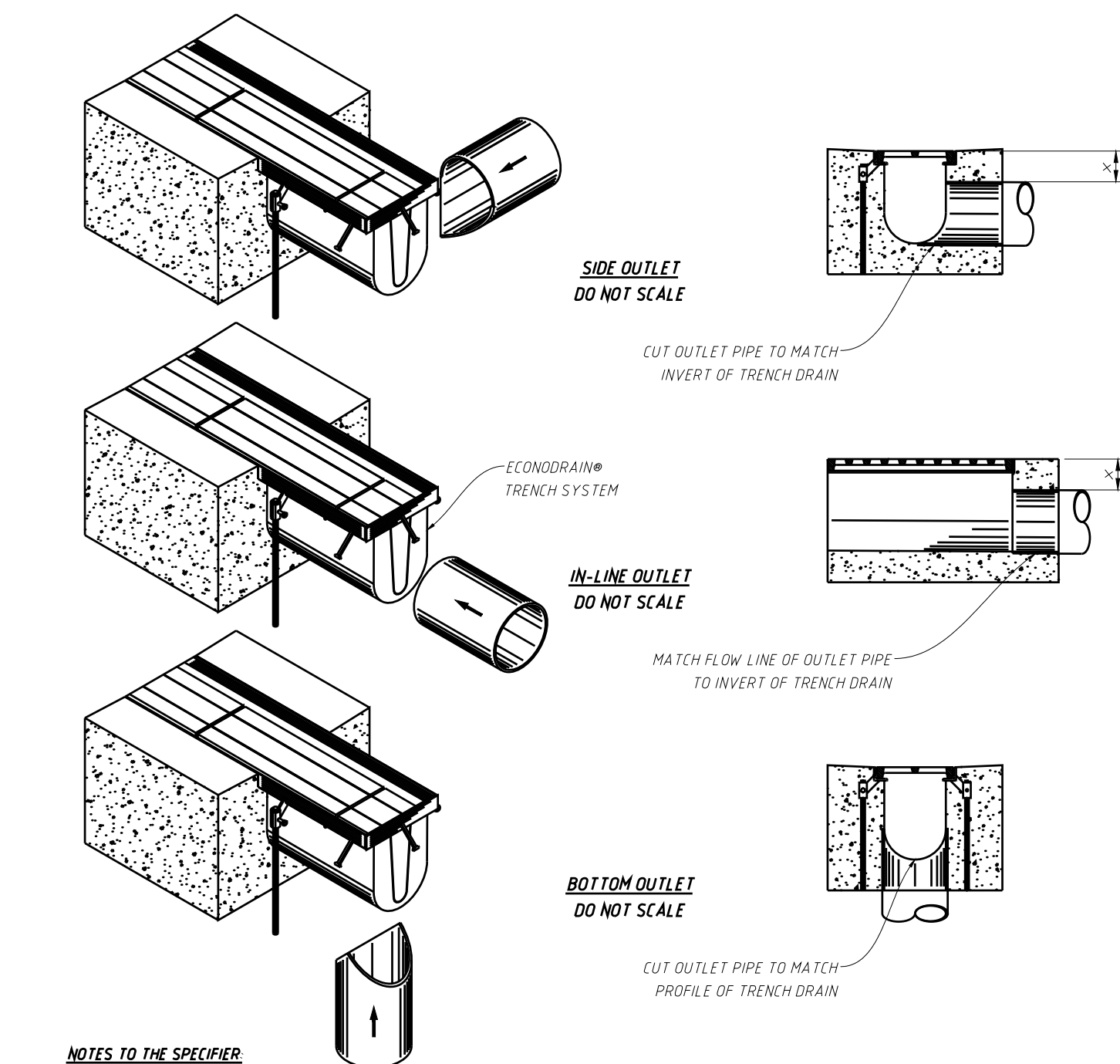
## PIPE INSTALLATION AND BEDDING DETAIL



## US FOUNDRY 1155 RING AND C COVER



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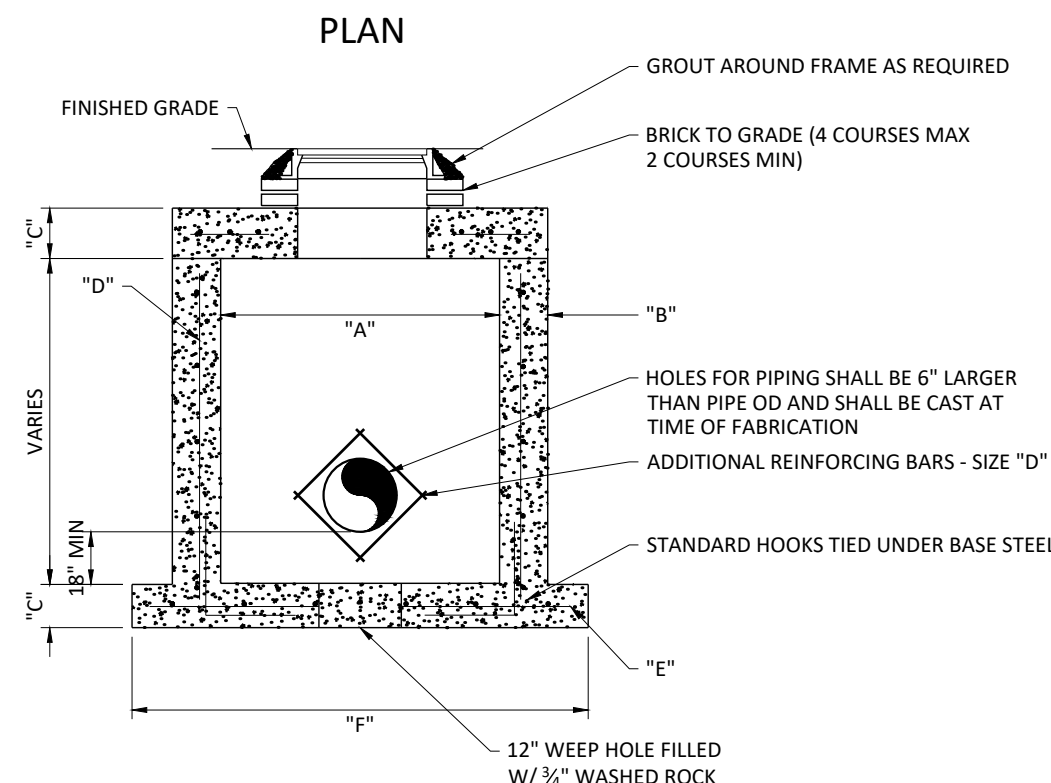
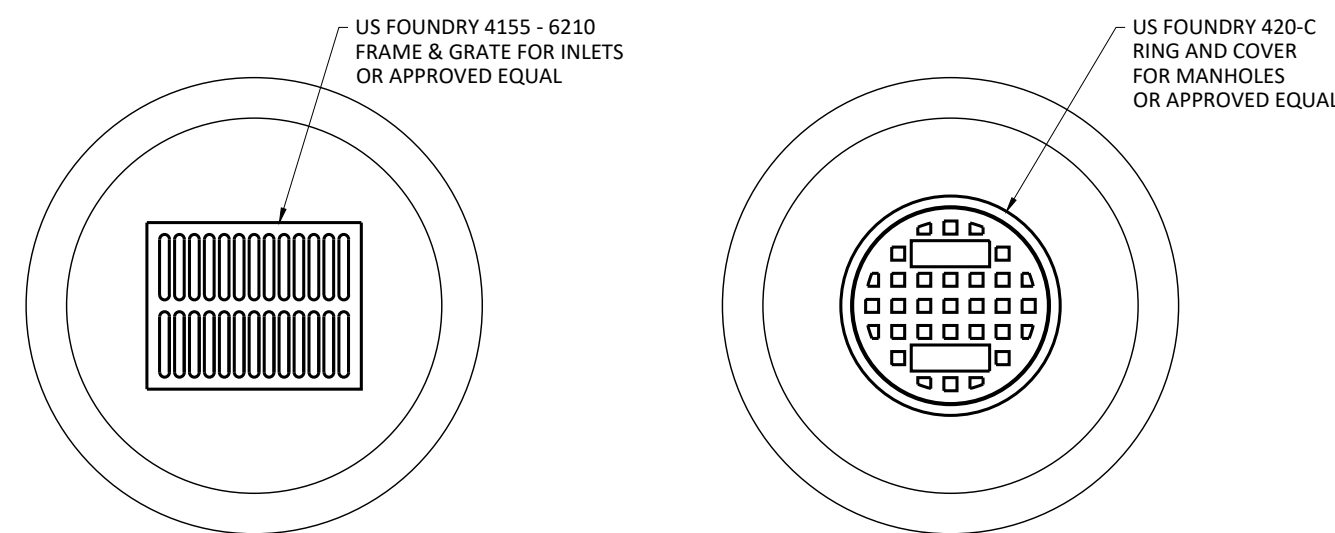
### NOTES TO THE SPECIFIER

1. ADD REBAR AS REQUIRED.
2. SPECIFY MINIMUM CONCRETE ENCASEMENT.
3. 4" MINIMUM CONCRETE COVERAGE OF OUTLET PIPE IS RECOMMENDED (LABELED WITH \*).
4. FINAL CONCRETE THICKNESS PER LOCAL ENGINEERING REGULATIONS AND GUIDELINES.

**CONSTRUCTION NOTES:**

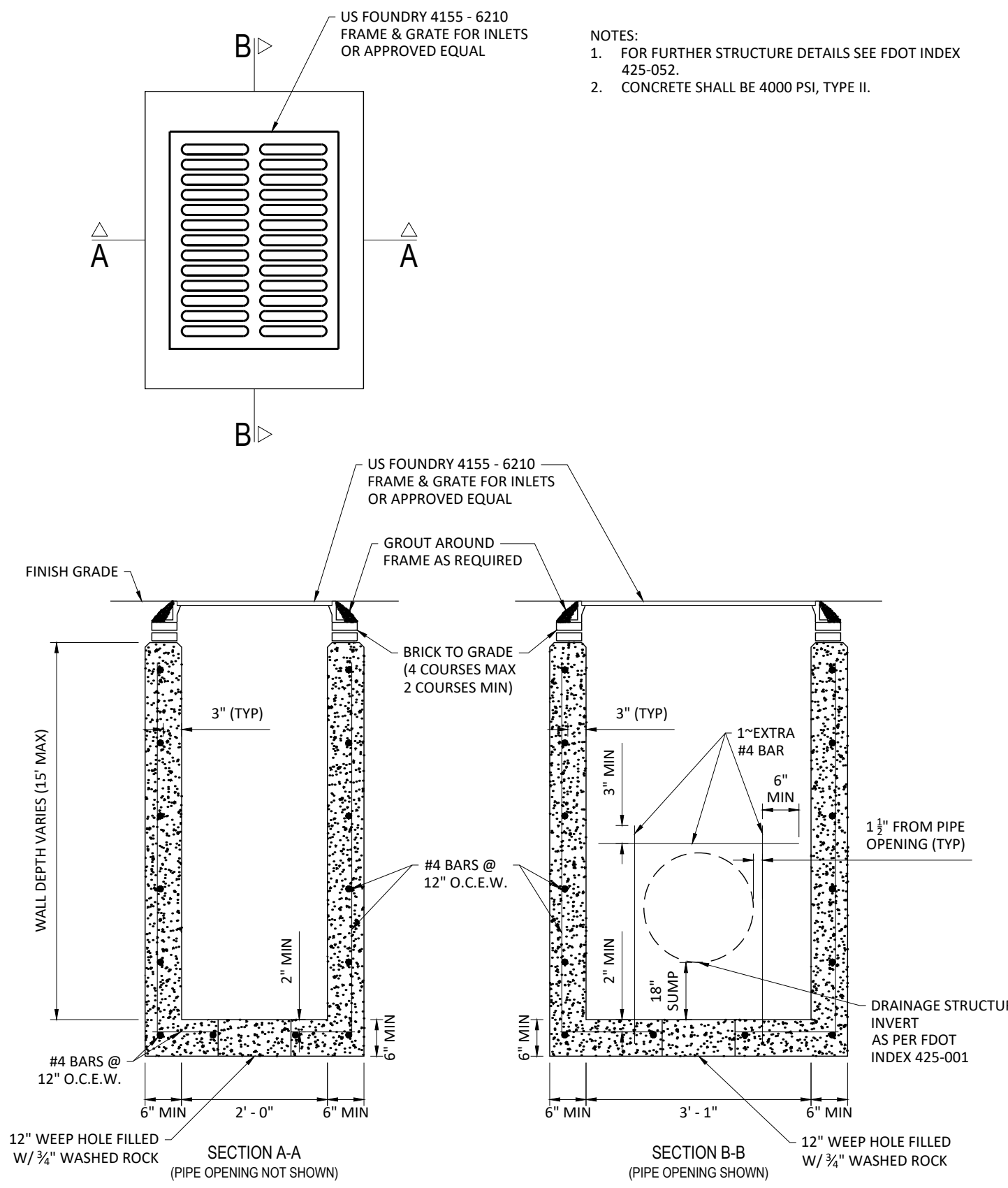
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. SECURE OUTLET PIPE PRIOR TO CONCRETING OPERATIONS.
3. FOR ILLUSTRATION ONLY. DO NOT SCALE DRAWINGS.

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TYPE	"A"	"B"	"C"	"D"	"E"	"F"
CB-4 / M-4	4'-0" Ø	8"	8"	#4 @ 12" O.C.E.W.	#4 @ 12" O.C.E.W.	6'-4" Ø
CB-5 / M-5	5'-0" Ø	8"	8"	#5 @ 12" O.C.E.W.	#5 @ 12" O.C.E.W.	7'-4" Ø
CB-6 / M-6	6'-0" Ø	8"	8"	#5 @ 12" O.C.E.W.	#5 @ 6" O.C.E.W.	8'-4" Ø
CB-7 / M-7	7'-0" Ø	8"	10"	#5 @ 12" O.C.E.W.	#5 @ 6" O.C.E.W.	9'-4" Ø
CB-8 / M-8	8'-0" Ø	10"	10"	2 W.W.M. HORZ. WITH #4 @ 12" O.C. VERT.	#5 @ 6" O.C.E.W.	10'-8" Ø

## ROUND DRAINAGE STRUCTURE



NOTES:

1. FOR FURTHER STRUCTURE DETAILS SEE FDOT INDEX 425-052.
2. CONCRETE SHALL BE 4000 PSI, TYPE II.

### FDOT TYPE "C" STRUCTURE

N.T.S.

## TAC REVIEW PLANS

[illegible]

DESIGNED:	GK
DATE:	7/20/2022
DRAWN:	LJ
DATE:	7/20/2022
CHECKED:	JFT
DATE:	7/20/2022



**THOMPSON & ASSOCIATES**  
412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
MIAMI-DADE (305) 714.2510  
BROWARD (954) 761.1073  
PALM BEACH (561) 932.1668

1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

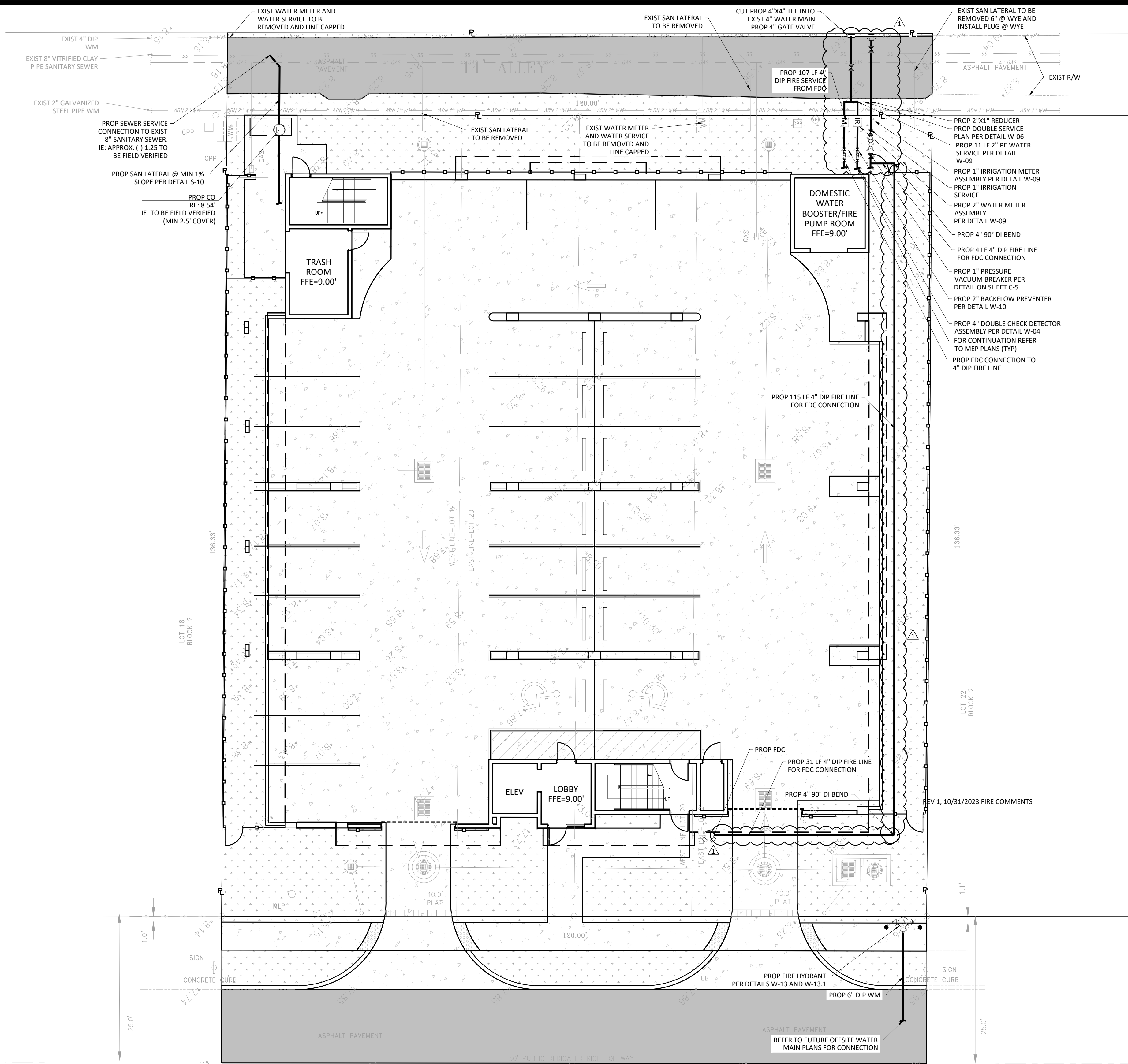
## PAVING GRADING AND DRAINAGE DETAILS

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LICENSE No. 66646  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE  
KRAWCZYK, PE ON 12/20/2023.  
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SCALE:	1" = 10'
PROJECT No.:	22034
CAD FILE:	22034 GN.dwg

C-2

14-1920 PIERCE STREET  
PLOT DATE: 12/20/2023  
PLOT BY: T&A/News  
FILE PATH: Y:\CURRENT PROJECTS\2024-1914 Pierce Street Hollywood MG3\PLAN\512024 W&S.dwg



LEGEND			
ARCH	ARCHITECTURAL	GV	GATE VALVE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE
CLEAR	CLEARANCE	IE	INVERT ELEVATION
CO	CLEAN OUT	INV	INVERT OF PIPE
CONC	CONCRETE	LF	LINEAR FEET
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE
ELEV	ELEVATION	PROP	PROPOSED
EXIST	EXISTING	RE	RIM ELEVATION
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
FH	FIRE HYDRANT	R/W	RIGHT OF WAY
FT	FEET		

No.	DATE	REVISION	BY
1	10/31/2023	FIRE COMMENTS	EG

DESIGNED: GK  
DATE: 7/20/2022  
DRAWN: LJ  
DATE: 7/20/2022  
CHECKED: JFT  
DATE: 7/20/2022

**THOMPSON & ASSOCIATES**  
412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
MIAMI-DADE (305) 714-2510  
BROWARD (954) 761-1073  
PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

WATER AND SEWER PLANS

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1" = 10'  
PROJECT No.:  
22034  
CAD FILE:  
22034 W&S.dwg

SHEET:

C-3

#### NOTES:

- VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).
- BUILDING WATER FLOW DEMAND = 32 UNITS x 141 GPD = 4,512 GPD

#### Fire Flow Calculations

1914-1920 Pierce Street

5 Story Residential Building

Building Zoning = ND-2

Based on Type II(222) Construction. Per NFPA 18.4.4.4, Fire Flow Area is based on the total square footage of the three largest floors which is 31,265 SF.

Fire Flow Area = 11,587 (Second Floor) + 9,839 (Third Floor) + 9,839 (Fourth Floor) = 31,265 SF

Per Table 18.4.5.2.1, the Fire Flow requirement is 2,000 gpm for 2 hours for 31,265 SF

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if building has automatic sprinklers.

2,000 x 75% = 1,500 gpm (Fire Flow Credit)

2,000 gpm - 1,500 gpm = 500 gpm

The minimum fire flow per NFPA is 1,000 gpm.

**Fire Flow Required = 1,000 gpm**



#### Hydrant Flow Test Procedure

##### Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (P) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (F) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off P hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow F1 hydrant and record GPM and residual off P hydrant.
- Flow F2 hydrant and record GPM and residual off P hydrant.
- Flow F1 & F2 simultaneously and record GPM separately from F1 and F2 and record P hydrant residual.

Legend: F1 & F2 Designation shall represent first and second flowed hydrants respectively  
P Designation shall represent test hydrant for static and residual distribution system pressures.

Pamela Butler

Date:	5/9/23	Time:	3:08pm	Static Pressure -		55psi
Residual/Static Hydrant		Address/Location		Residual Pressures		
P - Hydrant FH004532	1901 pierce st	F-1 Only		F-2 Only		
		52psi		62psi		
		F-1 & F-2		 62psi		
Flow Hydrants		Address/Location		Flow Rate		
F-1 Hydrant (Individual) FH004556	600 s 20th ave	GPM				
		1130				
F-2 Hydrant (Individual) FH004531	1901 fillmore st	GPM				
		1190				
F-1 Hydrant (Both Flowing)		GPM				
		1100				
F-2 Hydrant (Both Flowing)		GPM				
		1160				



Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

TAC REVIEW PLANS

WATER SYSTEM NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.



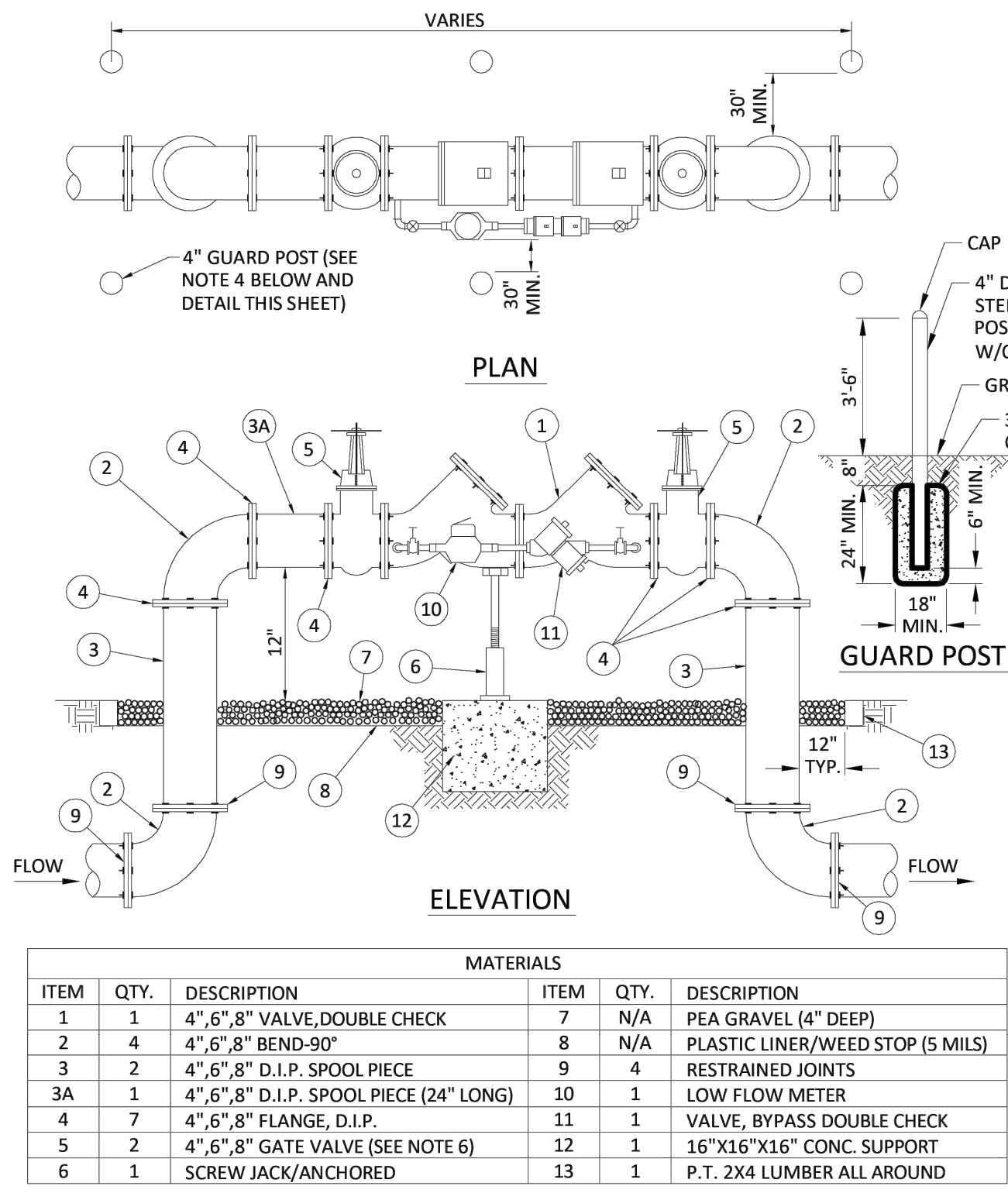
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	WATER SYSTEM NOTES	W-01

WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	WATER SYSTEM NOTES	W-02

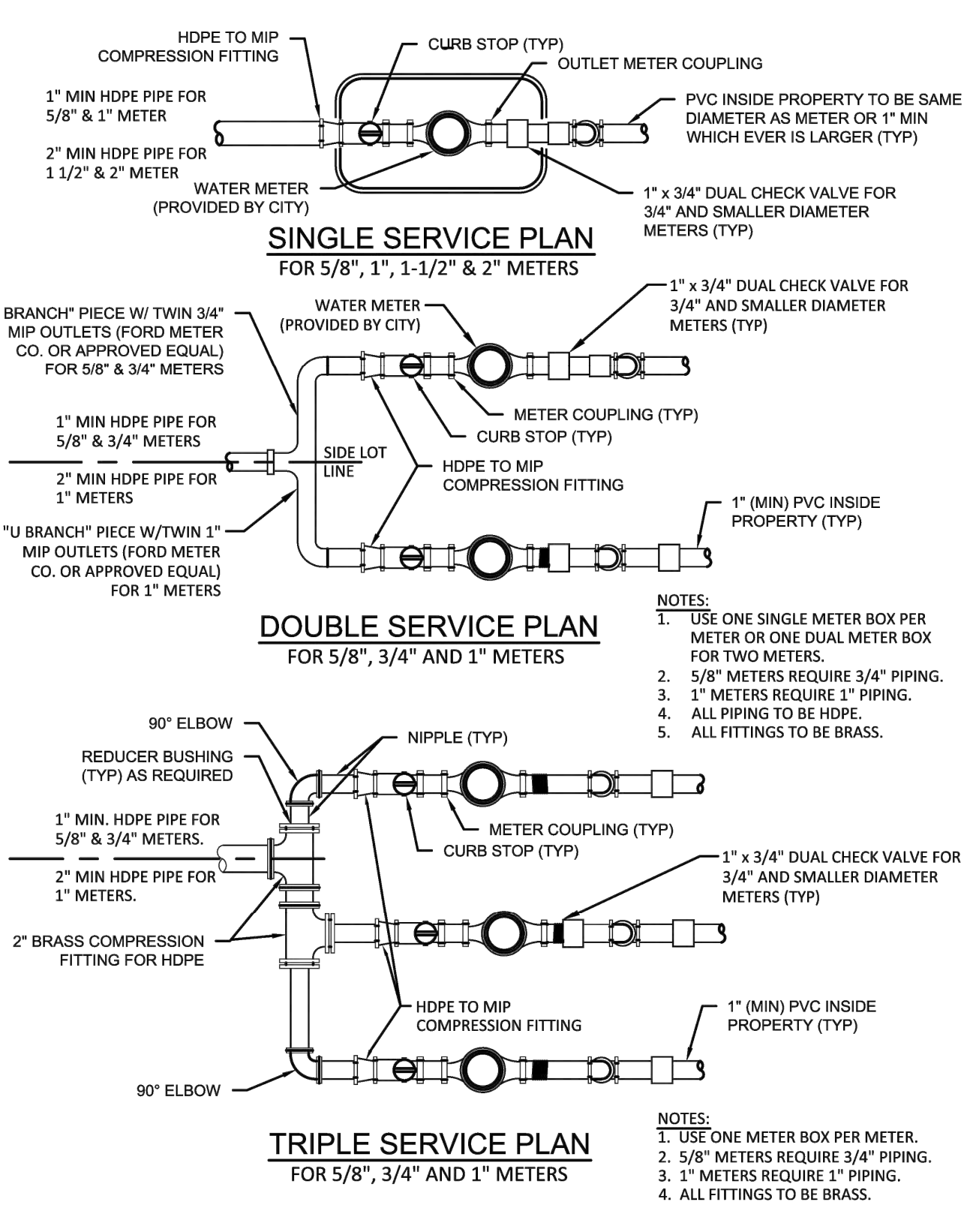


ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4" 6" 8" VALVE, DOUBLE CHECK	7	N/A	PEA GRAVEL (4" DEEP)
2	4	4" 6" 8" BEND-90"	8	N/A	PLASTIC LINER/WEED STOP (5 MILS)
3	2	4" 6" 8" D.I.P. SPOOL PIECE	9	4	RESTRAINED JOINTS
3A	1	4" 6" 8" D.I.P. SPOOL PIECE (24" LONG)	10	1	LOW FLOW METER
4	7	4" 6" 8" FLANGE, D.I.P.	11	1	VALVE, BYPASS DOUBLE CHECK
5	2	4" 6" 8" GATE VALVE (SEE NOTE 6)	12	1	16"x16"x16" CONC. SUPPORT
6	1	SCREW JACK/ANCHORED	13	1	P.T. 2X4 LUMBER ALL AROUND

NOTES:  
1. FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.  
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.  
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.  
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.  
5. MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.  
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS)	W-03



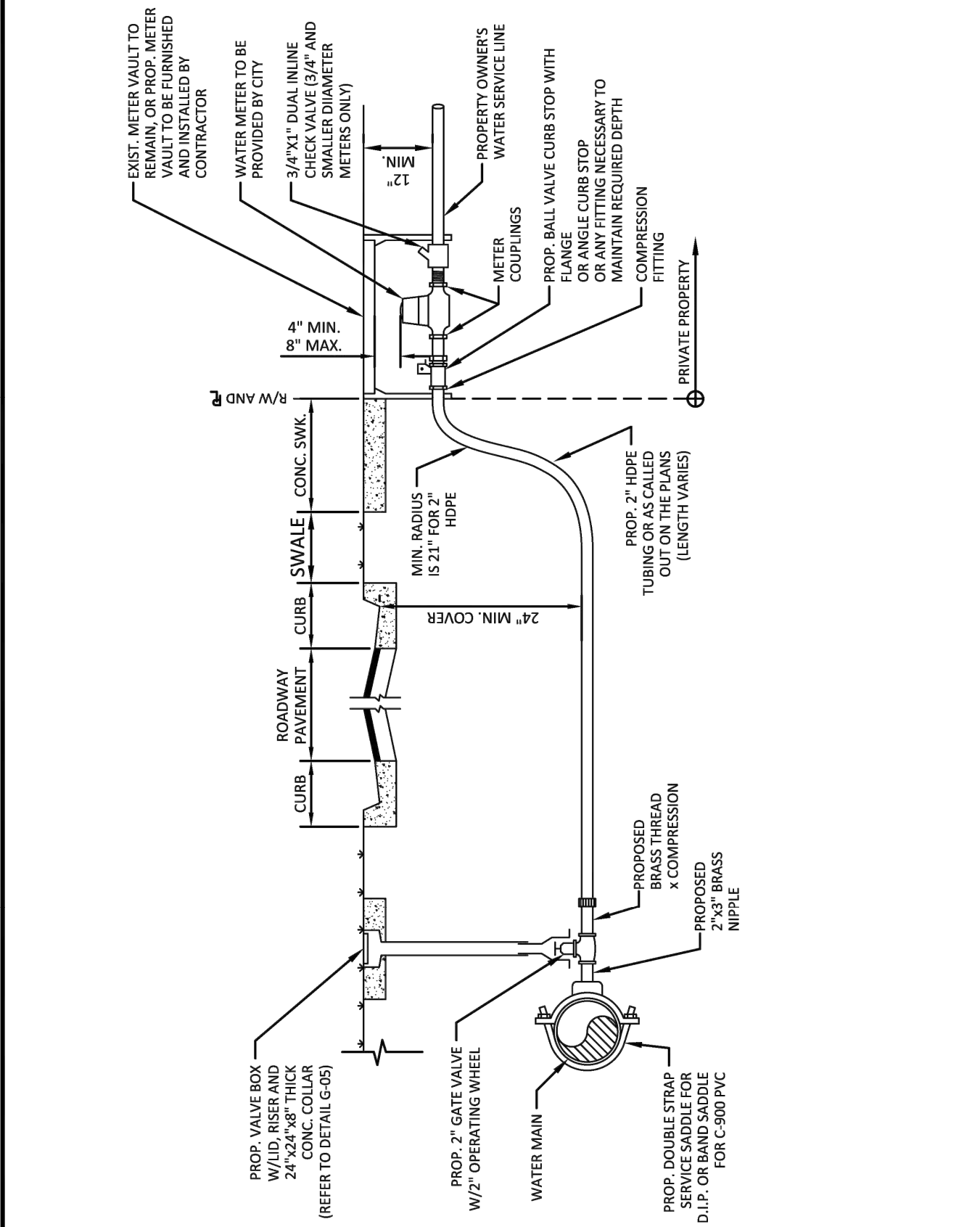
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	W-06

WATER METER SERVICE NOTES:

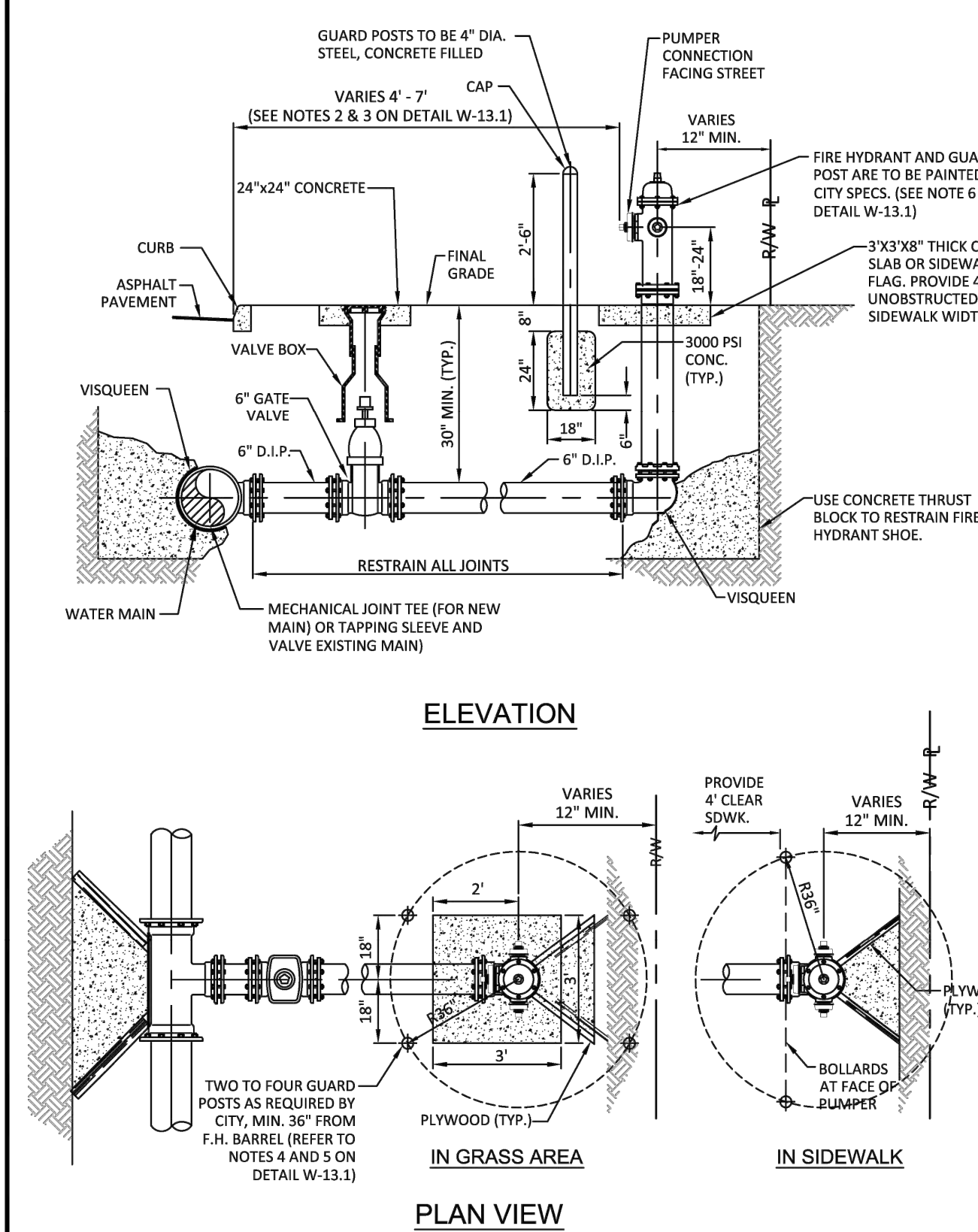
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 5/8" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
  - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
  - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	W-07



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL 2-INCH HDPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS, AND ANY SINGLE 1-1/2" TO 2" METERS	W-09



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 03/05/2019
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL FIRE HYDRANT INSTALLATION	W-13

NOTES:

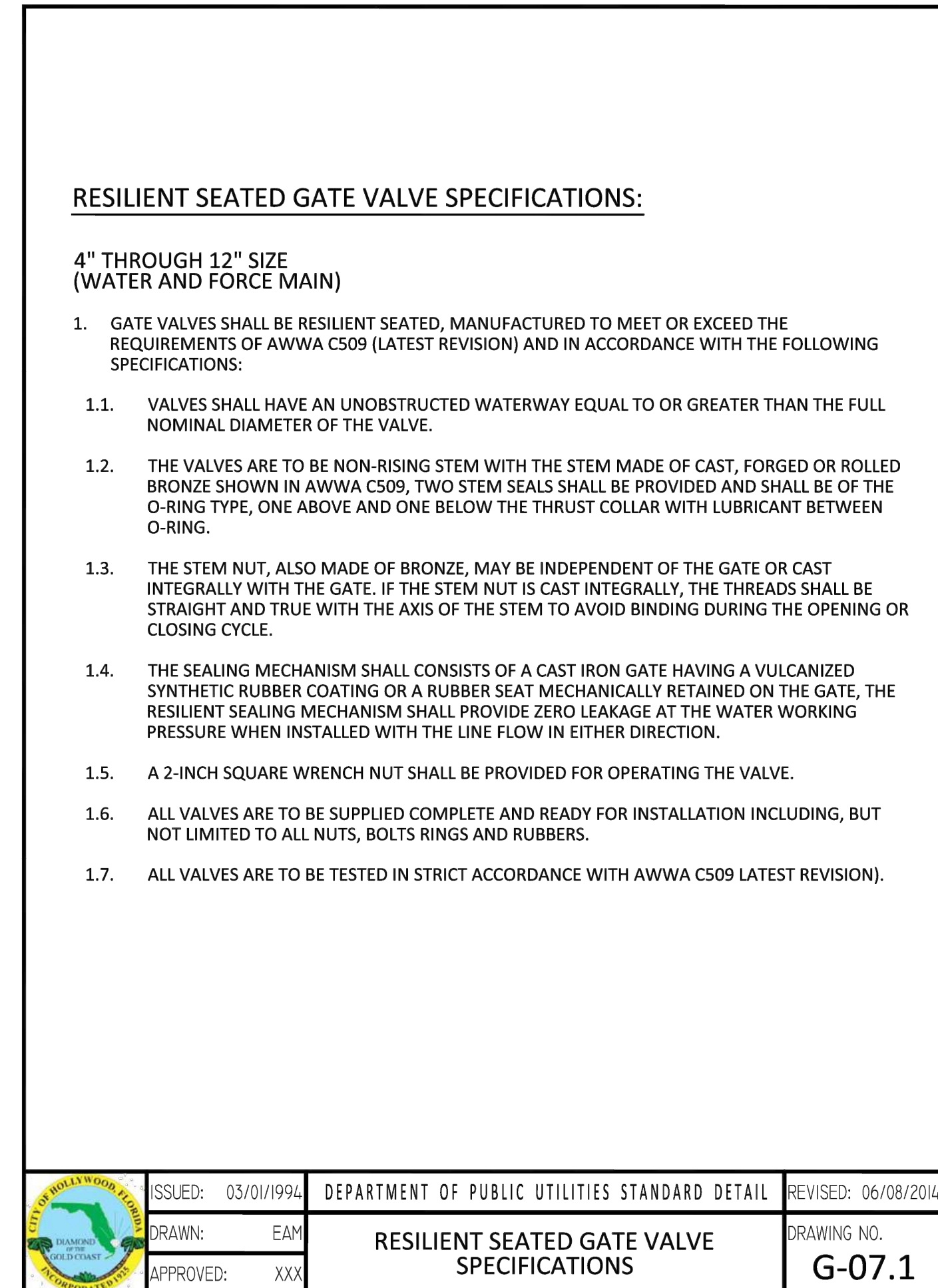
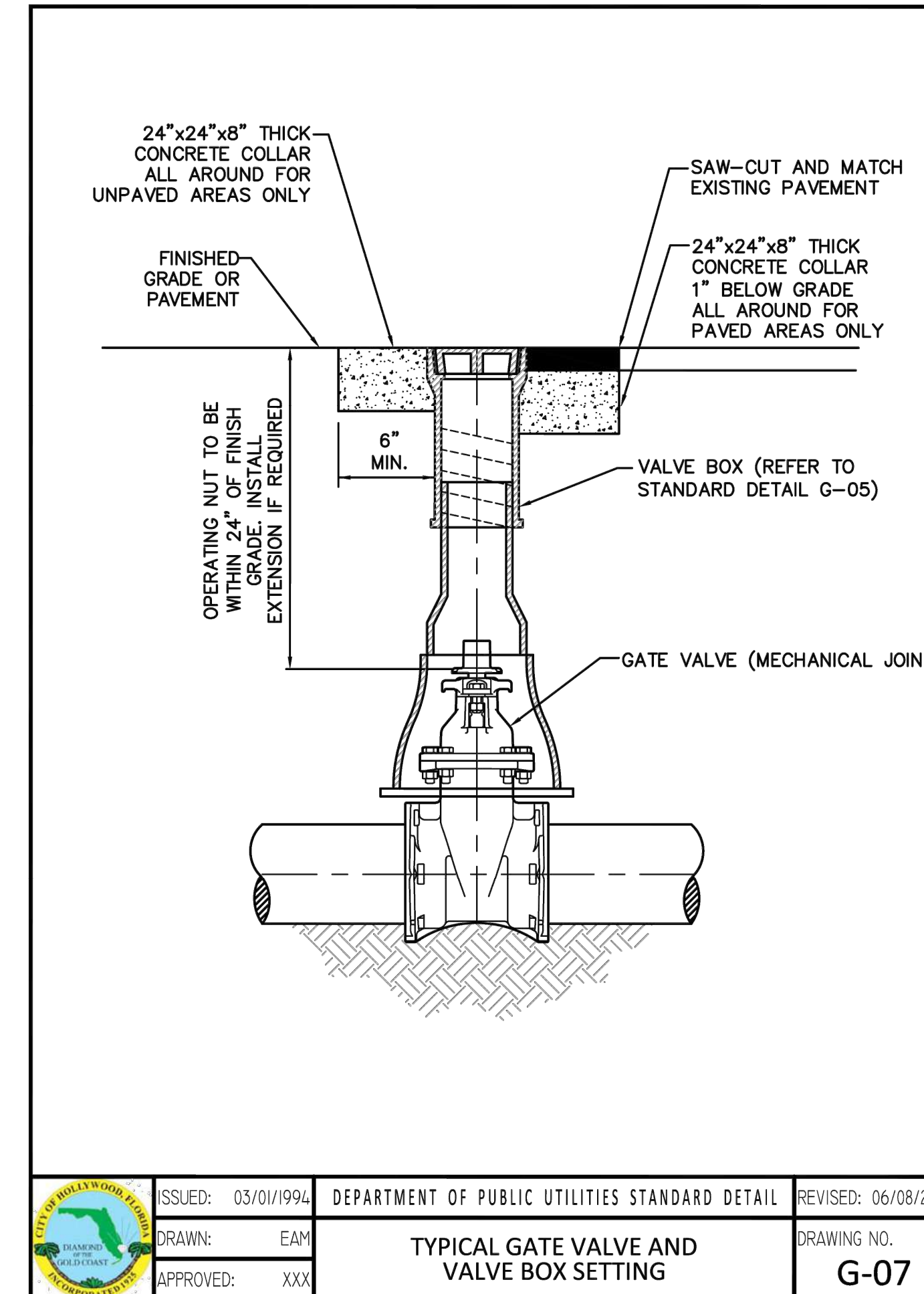
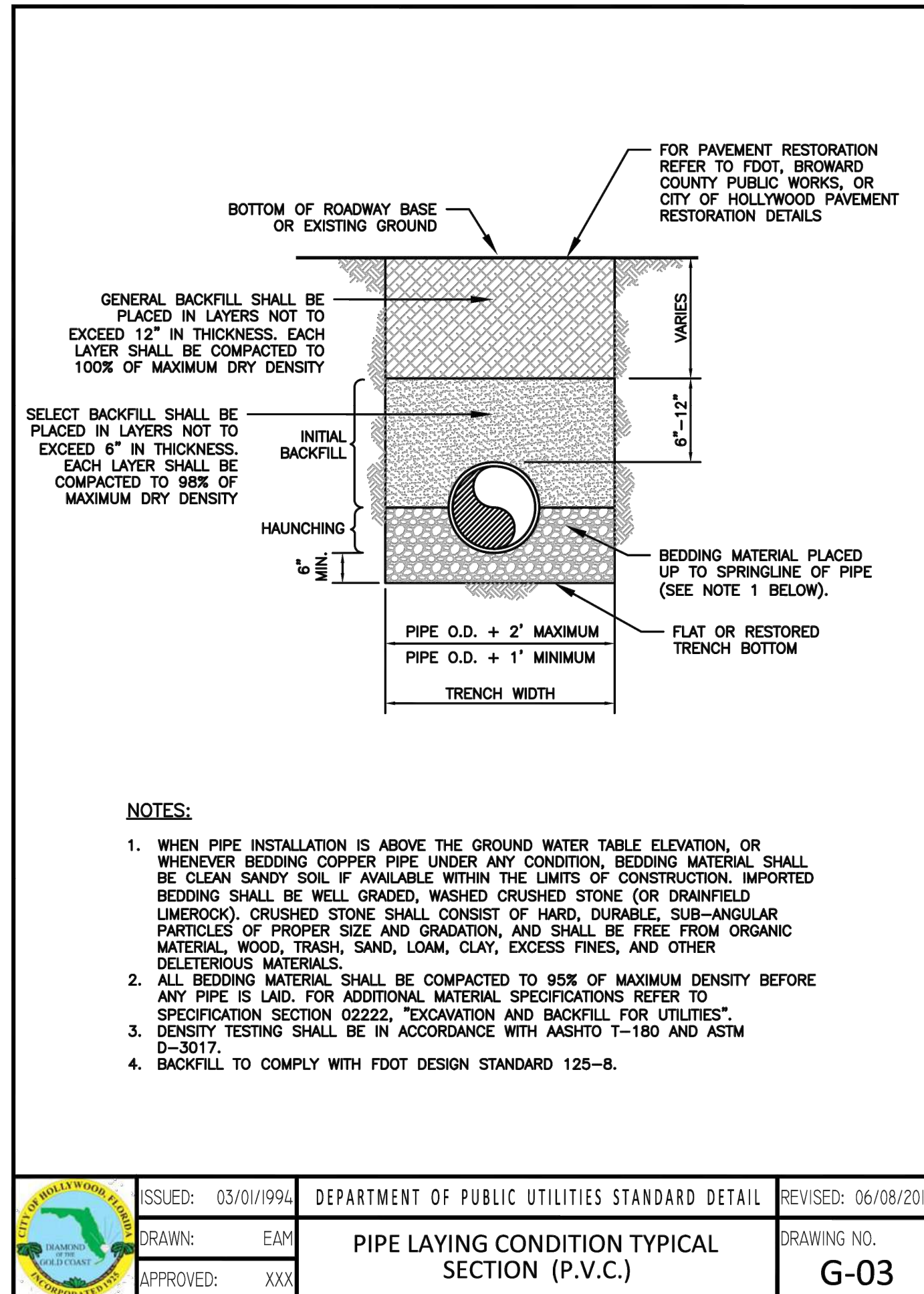
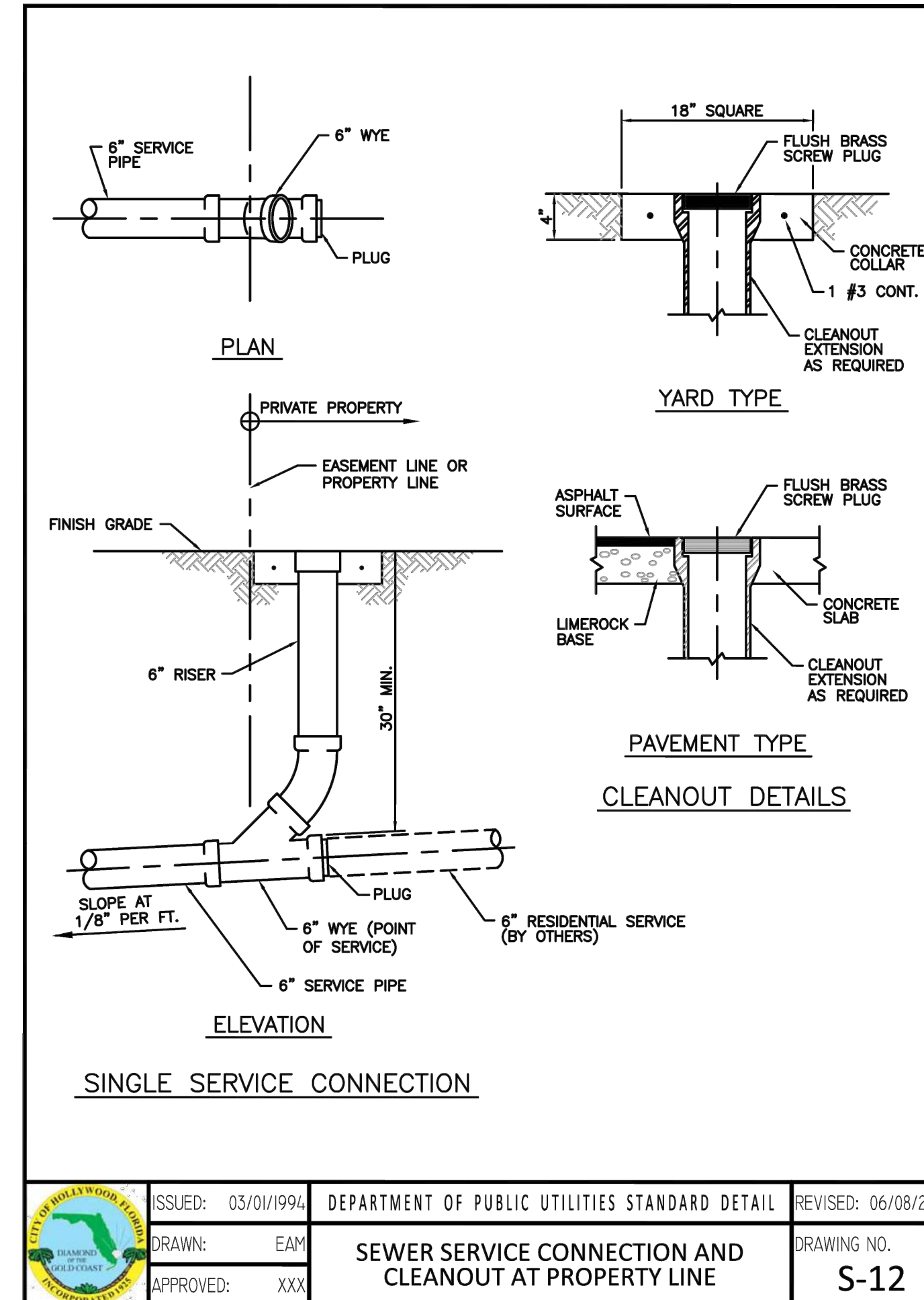
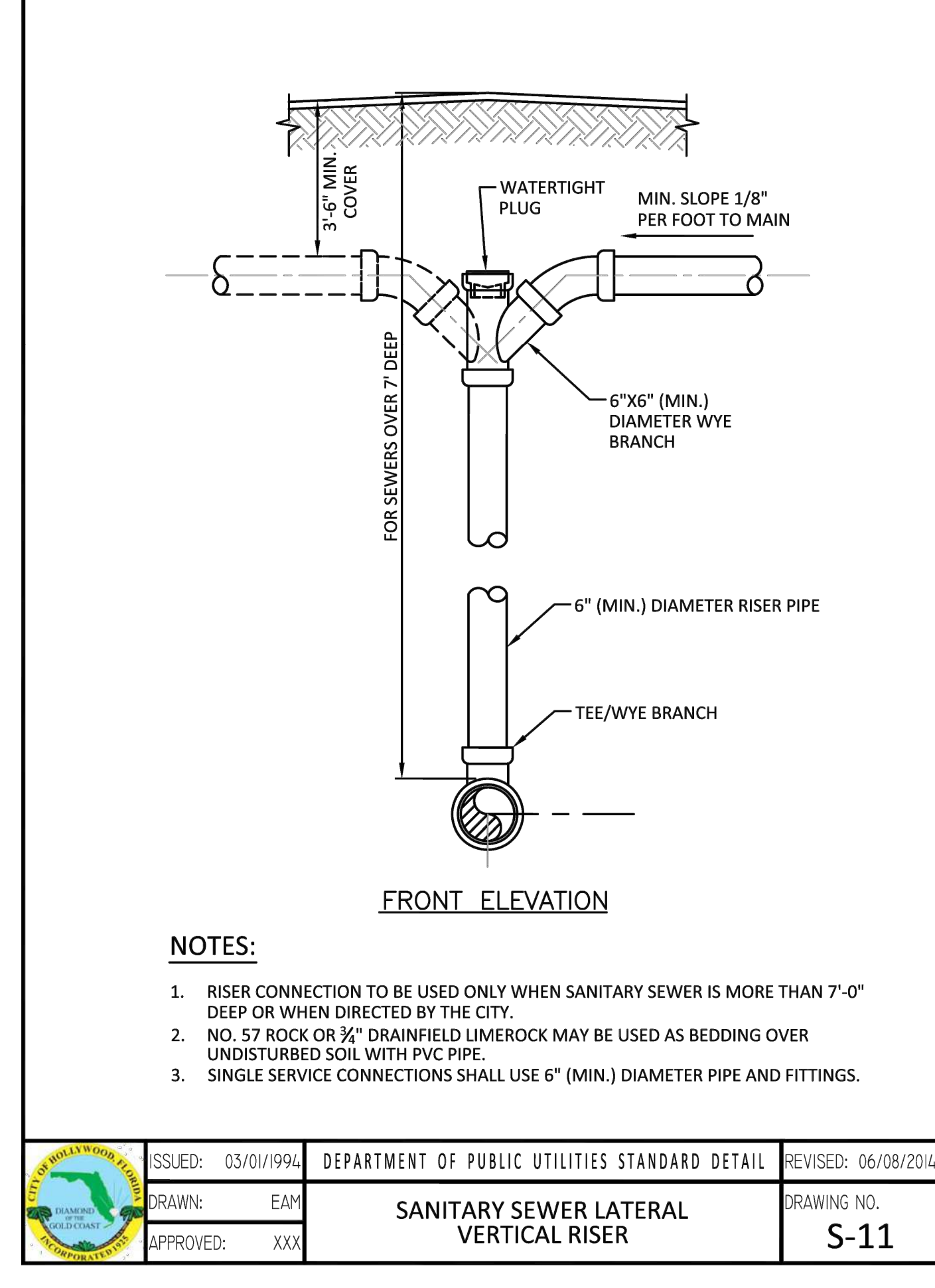
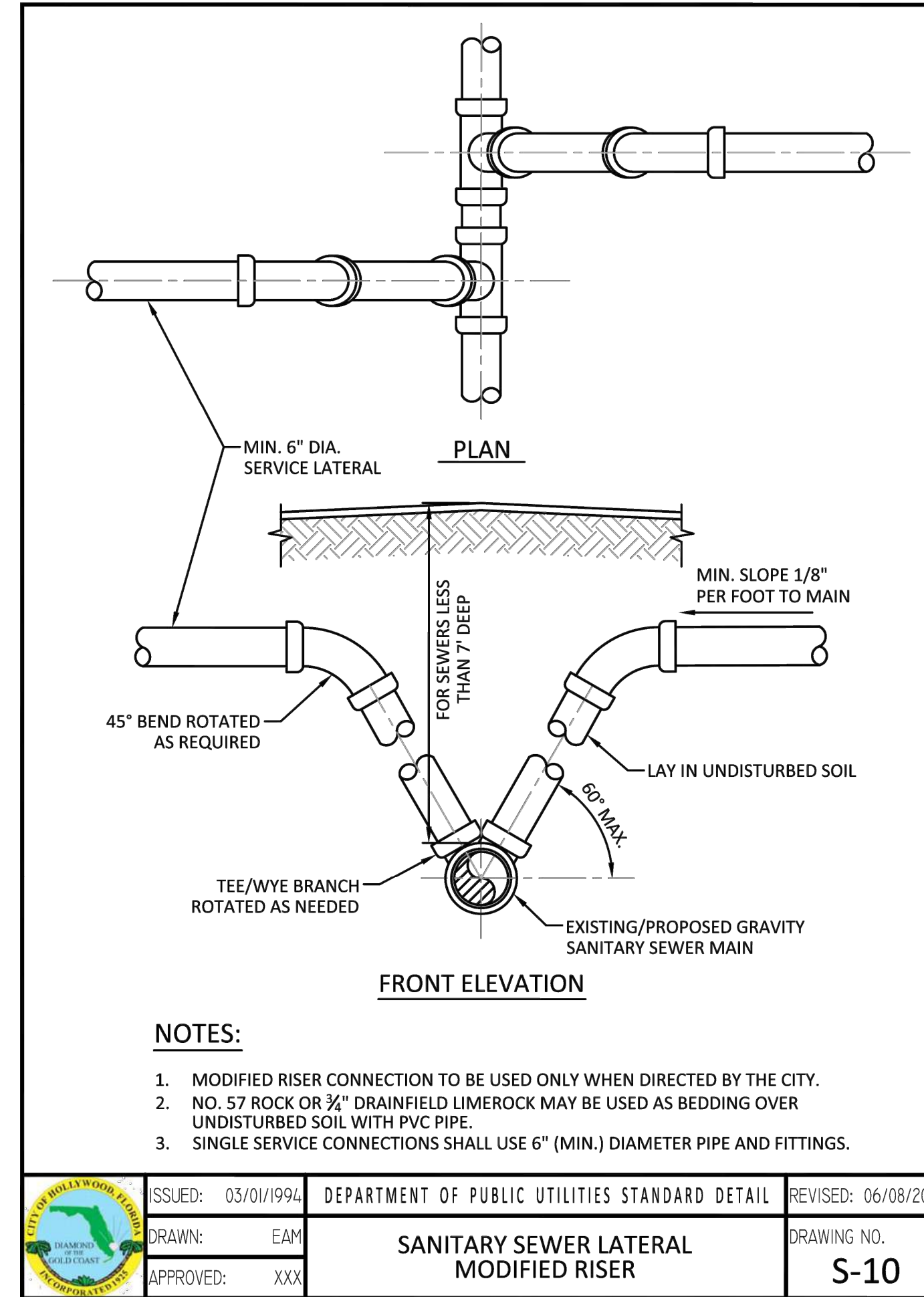
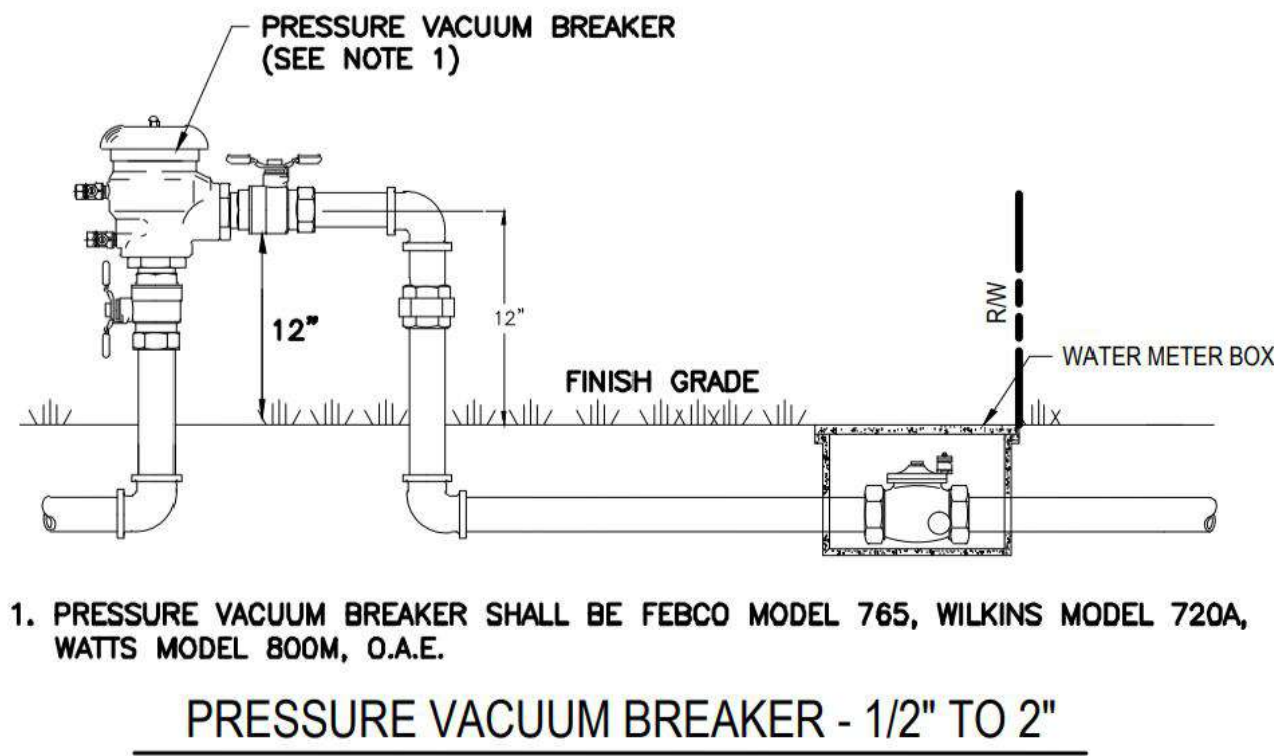
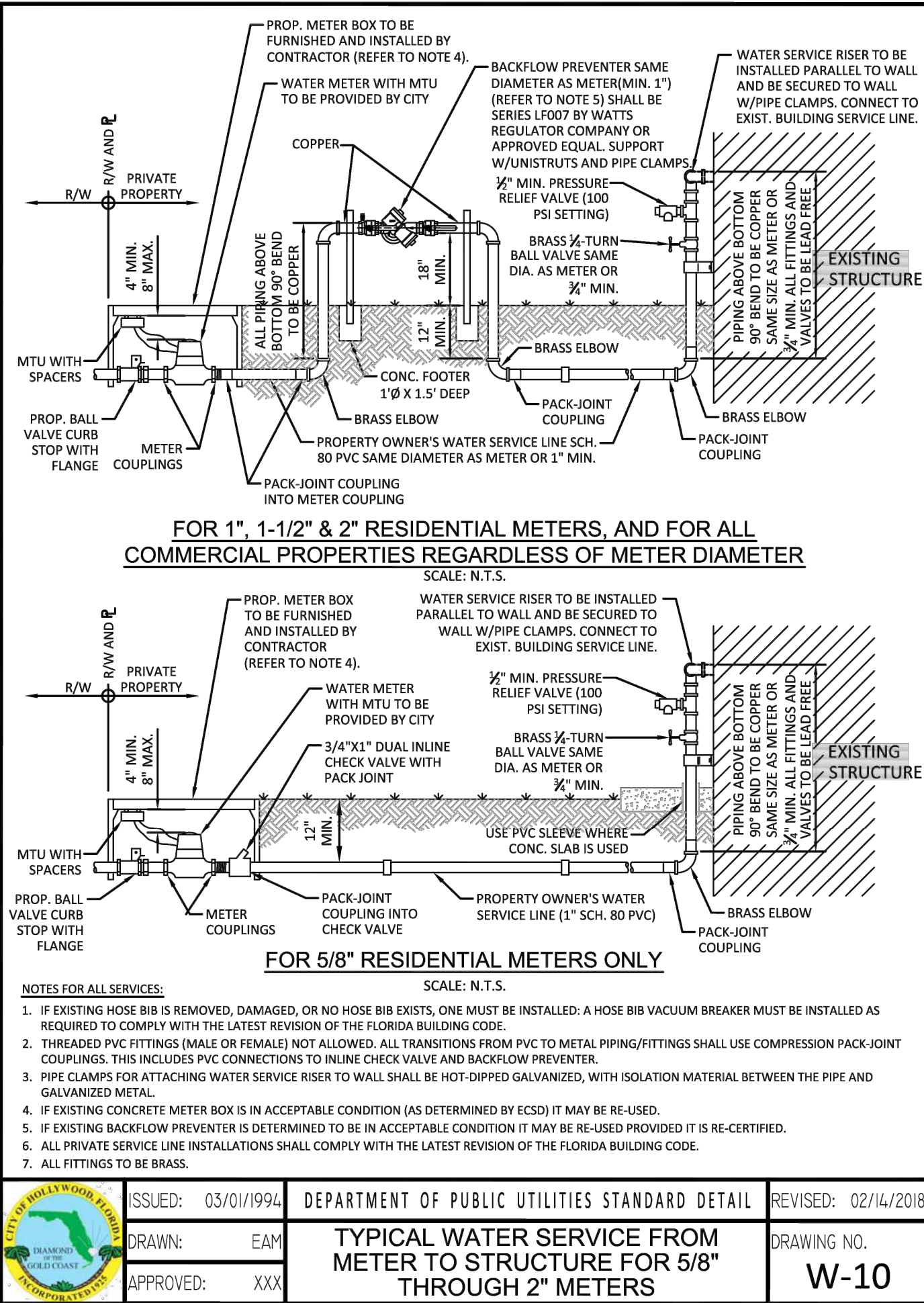
- IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS.
- FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
- FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FOOT CLEAR DRIVING ZONE.
- GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6" LEFT/RIGHT OF C. OF THE FIRE HYDRANT. EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
- FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
- THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM		DRAWING NO.
APPROVED: XXX	TYPICAL FIRE HYDRANT NOTES	W-13.1

TAC REVIEW PLANS

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE NO. 66646 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE KRAWCZYK, PE ON 12/20/2023. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.	SCALE: 1" = 10' PROJECT No.: 22034 CAD FILE: 22034 GN.dwg	SHEET: C-4
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No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK  
DATE: 7/20/2022  
DRAWN: LJ  
DATE: 7/20/2022  
CHECKED: JFT  
DATE: 7/20/2022



**THOMPSON & ASSOCIATES**  
412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
MIAMI-DADE (305) 714-2510  
BROWARD (954) 761-1073  
PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

WATER AND SEWER DETAILS

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE KRAWCZYK, PE ON 12/20/2023.  
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SCALE: 1" = 10'  
PROJECT No.: 22034  
CAD FILE: 22034 GN.dwg

SHEET:

C-5

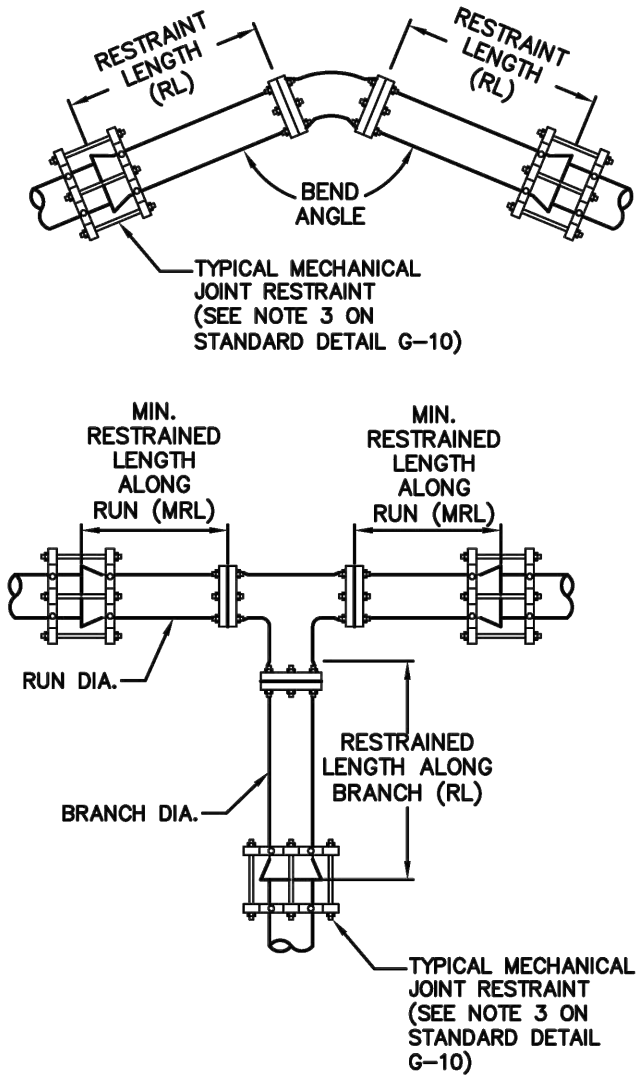
TAC REVIEW PLANS

PLOTTED BY: TBA-ANews

PLOT DATE: 12/20/2023

FILE PATH: Y:\CURRENT PROJECTS\2024-0114 Pierce Street Hollywood MGS\PLAN\G-12024 GN.dwg

HORIZONTAL BENDS			
PIPE DIA. (INCHES)	BEND (ANGLE)	RESTRAINED LENGTH (RL) (FT)	
		PVC	*DIP
24	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
16	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
12	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
8	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
6	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-
4	11 1/2	-	-
	22 1/2	-	-
	45	-	-
	90	-	-



TEES AND TAPPING SLEEVES							
RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MINIMUM RESTRAINED LENGTH ALONG RUN (FT.)	MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)		RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MINIMUM RESTRAINED LENGTH ALONG BRANCH (FT.)
			PVC	*DIP			
24"	24"	-	-	-	12"	12"	-
	16"	-	-	-		8"	-
	12"	-	-	-		6"	-
	8"	-	-	-		4"	-
	6"	-	-	-		8"	-
	4"	-	-	-		6"	-
16"	16"	-	-	-	6"	4"	-
	12"	-	-	-		6"	-
	8"	-	-	-		4"	-
	6"	-	-	-		4"	-
	4"	-	-	-		4"	-
	4"	-	-	-		4"	-

\*ALL DIP JOINT-RESTRAINT CALCULATIONS ASSUME THE PIPE WILL BE WRAPPED IN POLYETHYLENE ENGAGEMENT

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	JOINT RESTRAINT DESIGN FOR PVC AND DIP HORIZONTAL BENDS AND TEES		DRAWING NO. G-11.1
APPROVED: XXX			

FLEXIBLE PAVEMENT RESTORATION NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK".
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
- BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- MILL AND BUTT JOINT TO EXISTING PAVEMENT.
- IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELEING UNTIL REPLACED WITH A PERMANENT PATCH.
- REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK. REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

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DESIGNED: GK
DATE: 7/20/2022
DRAWN: LJ
DATE: 7/20/2022
CHECKED: JFT
DATE: 7/20/2022



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1914-1920 PIERCE STREET

HOLLYWOOD, FL. 33020

WATER AND SEWER DETAILS

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646  
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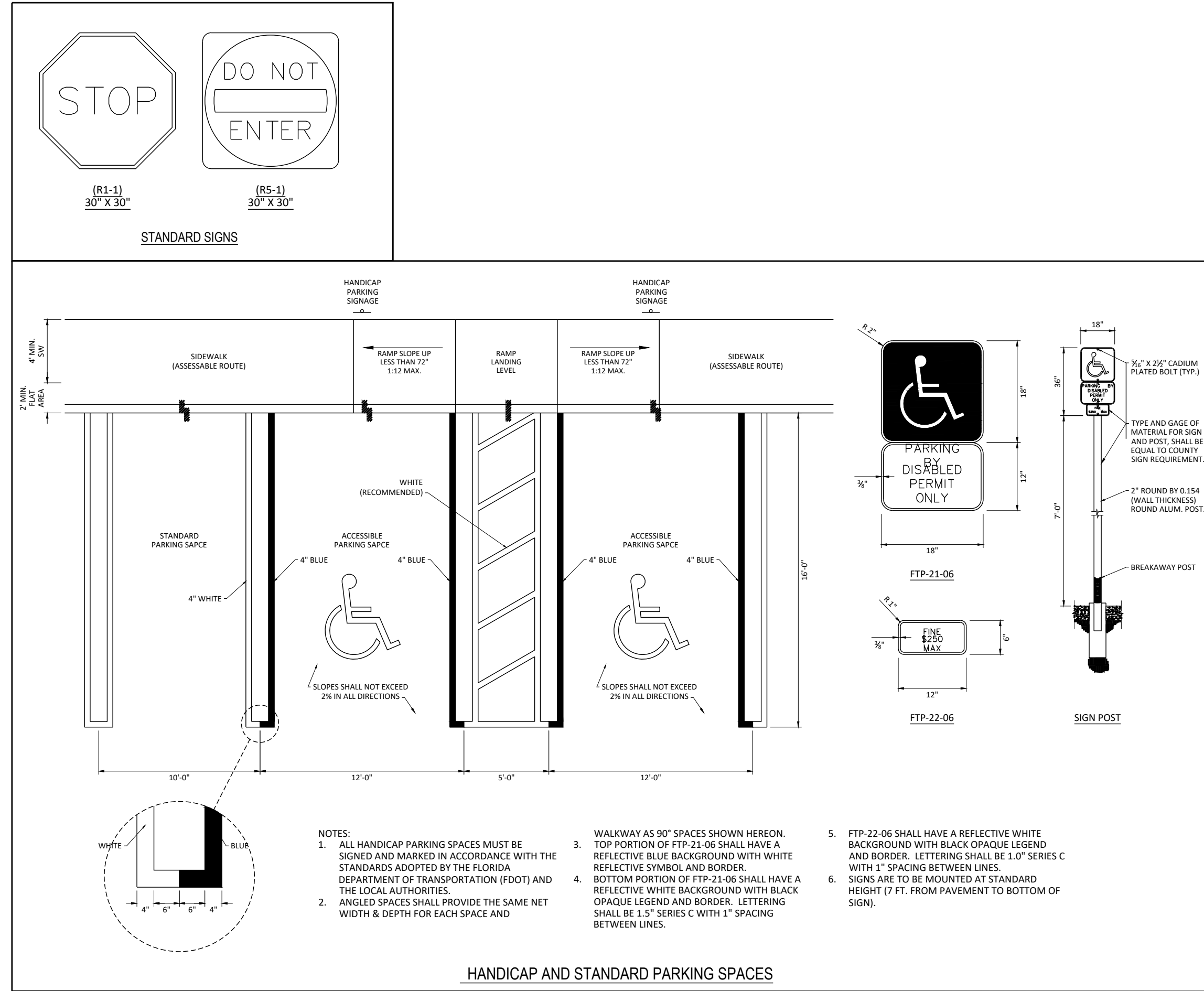
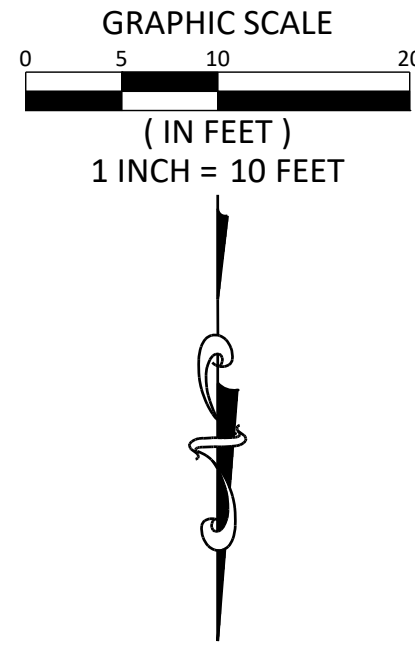
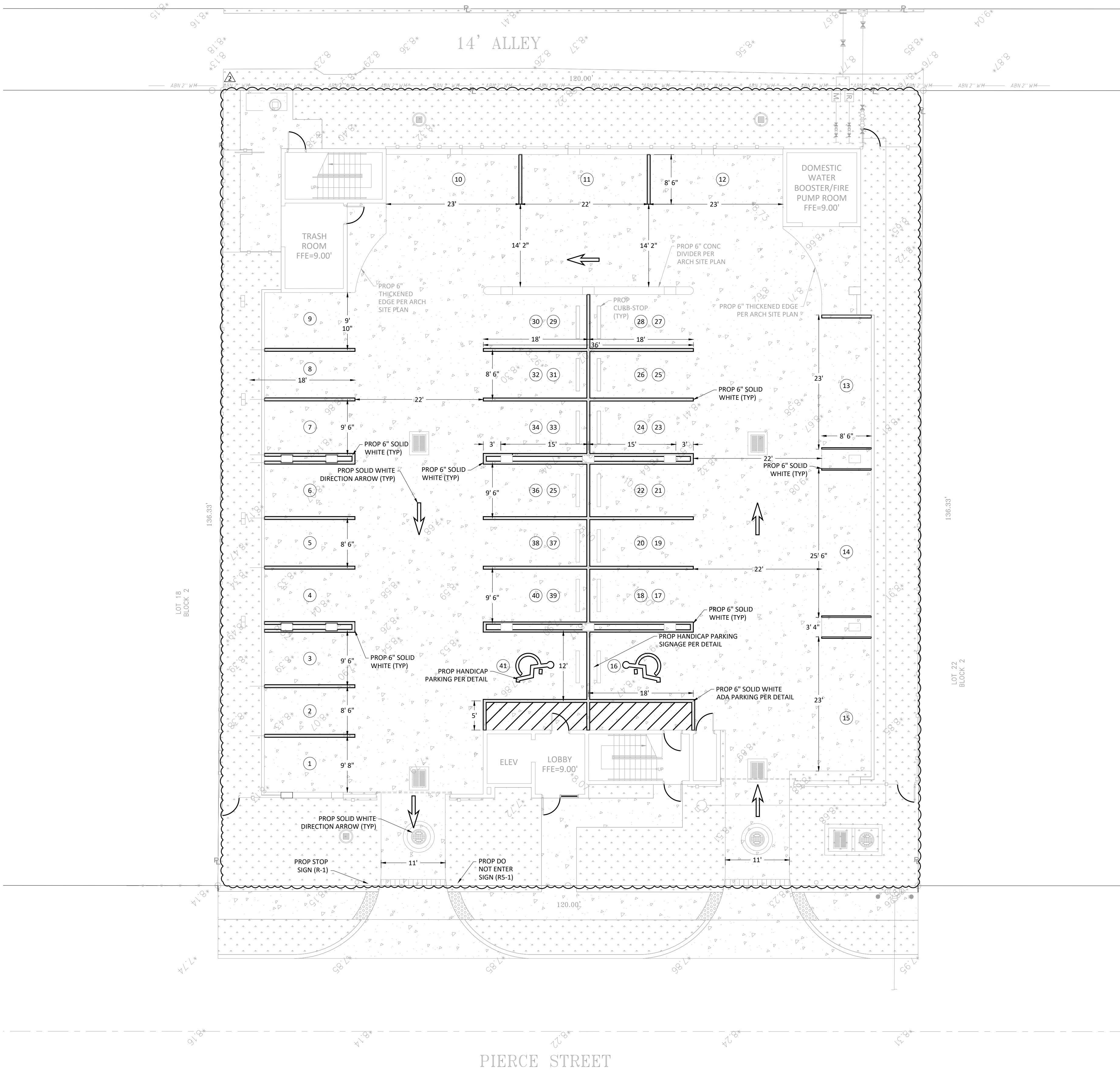
SCALE:
1" = 10'
PROJECT No.: 22034
CAD FILE: 22034 GN.dwg


SHEET:

C-6

TAC REVIEW PLANS

FILE PATH: Y:\CURRENT PROJECTS\2024-1914-Pierce Street Hollywood MG3\PLAN\2024 PMS.dwg  
PLOT DATE: 12/20/2023  
PLOTTER: TBA-ANews



LEGEND					
ARCH	ARCHITECTURAL	GV	GATE VALVE	STR	STRUCTURE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE	TOP	TOP OF PIPE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
CLEAR	CLEARANCE	IE	INVERT ELEVATION	WM	WATER MAIN
CO	CLEAN OUT	INV	INVERT OF PIPE	w/	WITH
CONC	CONCRETE	LF	LINEAR FEET	YD	YARD DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE		EXIST GRADE (FT-NAVD)
DIP	DUCTILE IRON PIPE	ℓ	PROPERTY LINE		PROP GRADE (FT-NAVD)
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE	FA	FLOW ARROW
ELEV	ELEVATION	PROP	PROPOSED	PL	PROPERTY LINE
EXIST	EXISTING	RE	RIM ELEVATION	EL	EASEMENT LINE
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE	R/W	R/W LINE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER		
FH	FIRE HYDRANT				
FT	FEET	R/W	RIGHT OF WAY		

No.	DATE	REVISION	BY
2	03/28/2023	TAC COMMENTS	AN

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DATE: 7/20/2022  
DRAWN: LJ  
DATE: 7/20/2022  
CHECKED: JFT  
DATE: 7/20/2022

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1914-1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

PAVEMENT MARKING AND SIGNAGE PLAN & DETAILS

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646  
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C-7

SECTION 1: GENERAL NOTES

- APPLICABLE CODES**
  - ALL CONSTRUCTION WITHIN THE LIMITS OF PUBLIC RIGHTS OF WAY THAT FALLS UNDER CITY OF HOLLYWOOD JURISDICTION SHALL CONFORM TO CITY OF HOLLYWOOD DESIGN GUIDELINES, LATEST EDITION.
  - ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) SHALL BE STRICTLY OBSERVED.
  - ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- PRE-CONSTRUCTION RESPONSIBILITY**
  - UPON THE RECEIPT OF THE "NOTICE TO PROCEED", PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE CITY OF HOLLYWOOD, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
  - THE CONTRACTOR SHALL OBTAIN A "SUNSHINE ONE CALL" CERTIFICATION NUMBER AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING ANY EXCAVATION.
  - ALL APPLICABLE PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
  - PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH THE CONTRACTOR FAILS TO REQUEST LOCATIONS FROM SUNSHINE ONE CALL. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES EXISTING PRIOR TO LOCATE A PRE-EXISTING UTILITY.
  - IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, WHO WILL IN TURN NOTIFY THE APPROPRIATE UTILITY OWNER.
  - THE CONTRACTOR WILL VERIFY THE RESTRAINT OF EXISTING UTILITY LINES, AND SHALL RESTRAIN AS NECESSARY TO PREVENT BLOWOUTS, PRIOR TO CONNECTING TO EXISTING UTILITIES.
- INSPECTIONS**

THE CONTRACTOR SHALL NOTIFY CITY OF HOLLYWOOD AND THE ENGINEER OF RECORD AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE.

  - STORM DRAINAGE
  - SANITARY SEWER
  - WATER SYSTEM
  - SUBGRADE: SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK
  - LIMEROCK BASE: SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT
  - ASPHALTIC CONCRETE
  - CLEARING AND FILLING
  - FINAL CLOSEOUT
  - SHOP DRAWINGS
  - PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT, CONTRACTOR REVIEWED AND APPROVED SHOP DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD AND CITY OF HOLLYWOOD FOR SANITARY MANHOLES, HYDRANTS, VALVES, PIPING, LIFT STATIONS AND OTHER ACCESSORIES. CATALOG LITERATURE SHALL BE SUBMITTED FOR WATER AND SEWER PIPES, FITTINGS AND APPURTENANCES.
  - INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOG LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVAL, IF REQUIRED.

SECTION 2: EARTHWORK AND COMPACTION NOTES:

- GENERAL:**
  - QUALITY, CONTROL TESTING FOR STABILIZATION, BASE, PAVEMENT, COMPACTION, AND MATERIALS SHALL BE IN ACCORDANCE WITH FLORIDA D.O.T. REQUIREMENTS, AND SHALL BE ARRANGED FOR AND PAID FOR BY THE CONTRACTOR. COPIES OF ALL TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER OF RECORD AS THEY ARE RECEIVED.
  - EXISTING ON-SITE BASE MATERIAL SHALL NOT BE REUSED FOR BASE CONSTRUCTION, BUT MAY BE USED FOR BACKFILL AROUND UTILITY AND DRAINAGE LINES, AND FOR SUBGRADE CONSTRUCTION, AND FOR GENERAL FILL IF NECESSARY.
  - ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM L.B.R. VALUE OF 40 AND SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - ALL SUBGRADE UNDER SIDEWALK AREAS SHALL HAVE A MINIMUM OF 6" COMPACTED SUBGRADE TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
  - ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED.
  - SOD SHALL BE ST. AUGUSTINE, BITTER BLUE OR FLORATAM AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO ENSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT.
  - WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS OR LAKES, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED.
  - NO MUCK BLANKET IS TO BE PLACED ON THE BOTTOM OF RETENTION AREAS OR SWALES.
- ON-SITE**
  - ALL ORGANIC AND OTHER UNSUITABLE MATERIAL WITHIN THREE (3) FEET OF FINISHED GRADE AREAS TO BE PAVED SHALL BE REMOVED.
  - SUITABLE BACKFILL SHALL BE MINIMUM L.B.R. 40 MATERIAL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C FOR THREE (3) FEET BEYOND THE PERIMETER OF THE PAVING.
  - EROSION CONTROL SHALL BE PROVIDED BY THE CONTRACTOR PER DETAILS ON THE PLANS.

SECTION 3: STORM DRAINAGE NOTES:

- GENERAL:**
  - EXISTING STORM DRAINAGE GRATES, FRAMES, MANHOLE COVERS, AND RINGS THAT ARE TO BE REMOVED OR ADJUSTED, MAY BE REUSED ON THE SITE.
  - THE EXISTING DRAINAGE SYSTEM SHALL BE CLEANED AND/OR GRADED TO ENSURE PROPER FLOW FUNCTION.
  - THE CONTRACTOR SHALL INSTALL FILTER FABRIC AT ALL CATCH BASIN GRATES UNTIL FINAL ACCEPTANCE OF THE STORM DRAINAGE SYSTEM.
- CONTRACTOR MAY UTILIZE ONE OF THE FOLLOWING MATERIALS, UNLESS OTHERWISE NOTED ON THE PLANS.**
  - HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.)
    - PIPE SHALL BE CORRUGATED SMOOTH BORE POLYETHYLENE PIPE (N-12 PRO LINK ULTRA) OR APPROVED EQUAL, MANUFACTURED IN CONFORMANCE WITH ASTM M234.
    - PIPE SHALL HAVE BUILT-IN BELL JOINT WITH RUBBER GASKET IN CONFORMANCE WITH ASTM F477.
    - PIPE COUPLING BANDS IF NEEDED SHALL BE SPLIT/SPLIT PREMIUM REQUIRING MAXIMUM PULL-APART RESISTANCE
  - POLYVINYL CHLORIDE PIPE (P.V.C.)
    - PLASTIC PIPE SHALL CONFORM WITH ASTM D 3034, TYPE PSM, POLYVINYL CHLORIDE (PVC) MATERIAL; BELL AND SPIGOT STYLE SOLVENT SEALED EN JOINTS.
  - ALUMINUM PIPE (C.A.P.)
    - ALUMINUM PIPE SHALL CONFORM TO AASHTO M196 FOR CIRCULAR CORRUGATED PIPE OF AASHTO M211 FOR HELICALLY CORRUGATED PIPE, AND SECTION 945, AS PER FDOT STANDARD SPECIFICATIONS.
    - MAKE FIELD JOINTS IN (CAP) WITH BANDS FABRICATED OF THE SAME ALLOY AS THE CULVERT PIPE AND CONFORMING TO THE REQUIREMENTS OF AASHTO M196.
    - GASKET THE BANDED JOINTS WITH A NEOPRENE GASKET OF THE DESIGN INDICATED TO SECURE A SOIL-TIGHT OR WATER-TIGHT JOINT.
  - REINFORCED CONCRETE PIPE (R.C.P.)
    - CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM C 76, CLASS III WITH WALL TYPE A; BAR REINFORCEMENT.
    - ALL REINFORCEMENT CONCRETE PIPES SHALL HAVE BELL AND SPIGOT END JOINTS, AS MODIFIED BY SECTION 941, FDOT STANDARD SPECIFICATIONS.
    - ALL REINFORCEMENT CONCRETE PIPES SHALL HAVE RUBBER COMPRESSION GASKET JOINTS, AS PER ASTM C443, UNLESS OTHERWISE SPECIFIED.
- MISCELLANEOUS**
  - BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPES (EXCEPT FRENCH DRAINS) SHALL BE SAND WITH NO ROCKS LARGER THAN 2" DIAMETER.
  - BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
  - CATCH BASINS SHALL BE PRECAST MINIMUM 3000 PSI CONCRETE WITH REINFORCED STEEL PER ASTM A615.
- INSTALLATION**
  - PIPE SHALL BE PLACED ON STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A SLOPE AND GRADE TO ENSURE PROPER FLOW FUNCTION.
  - BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL WELL TAMPED AND PLACED IN 6 INCH (MAXIMUM) LAYERS.
  - PROVIDE A MINIMUM COVER OF 24 INCHES OVER STORM DRAINAGE. CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION SHALL NOT BE ALLOWED WITH LESS THAN 24 INCHES OF COVER.

- THE CONTRACTOR SHALL NOTIFY THE LOCAL WATER MANAGEMENT DISTRICT AT LEAST 24 HOURS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.
  - ALL DRAINAGE SYSTEMS SHALL BE PUMPED COMPLETELY DRY AND LAMPED AS A REQUIREMENT OF THE FINAL DRAINAGE INSPECTION.
- STORM DRAINAGE PRE-TREATMENT/EXFILTRATION SYSTEM**
    - ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. ANY IMPERMEABLE MATERIAL ENCOUNTERED IN THE EXCAVATION FOR THE DRAIN FIELD SHALL BE REMOVED AS DIRECTED BY THE ENGINEER OF RECORD.
    - THE TRENCH LNER SHALL BE TYPE D-3 PER F.D.O.T. INDEX 199, OR APPROVED EQUAL. IT SHALL BE USED ON THE SIDES AND TOP OF DRAIN FIELD TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE OVERLAPPED A MINIMUM OF 24 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
    - PERFORATED PIPE WITHIN THE DRAIN FIELD SHALL HAVE 3/8 INCH PERFORATIONS 360° AROUND THE PIPE WITH APPROXIMATELY 120 PERFORATIONS PER FOOT.
    - PERFORATED PIPE SHALL TERMINATE FIVE (5) FEET FROM THE DRAINAGE STRUCTURE. THE REMAINING FIVE (5) FEET SHALL BE NON-PERFORATED PIPE.
    - PIPES SHALL TERMINATE TWO (2) FEET FROM THE END OF THE TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS.

SECTION 5: SIGNING AND MARKING NOTES:

- GENERAL**
  - ALL PAVEMENT MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD, AND THE STANDARD SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION.
  - ALL OFF-SITE MARKINGS TO BE THERMOPLASTIC PER FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND ALL ON-SITE MARKINGS SHALL BE TRAFFIC PAINT PER CITY OF HOLLYWOOD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
  - INSTALL REFLECTIVE PAVEMENT MARKERS PER F.D.O.T. STANDARDS, OR AS SHOWN ON THE PLANS.
  - ALL SIGNS SHALL BE HIGH-INTENSITY GRADE REFLECTIVE SHEETING, MOUNTED ON A BREAK AWAY POST ASSEMBLY PER B.C.T.E.D. SPECIFICATIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT MARKINGS AND SIGNS CONFLICTING WITH THE PROPOSED ROADWAY CONSTRUCTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PAVEMENT MARKINGS AND SIGNS AS SHOWN IN THE PLANS AND APPLICABLE TRAFFIC DESIGN STANDARDS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND AT THE END OF THE PROJECT.
  - SIGN ASSEMBLY LOCATIONS SHOWN IN THE PLANS WHICH ARE IN CONFLICT WITH STREET LIGHTING UTILITIES, DRIVEWAYS, PEDESTRIAN RAMPS ETC. MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER OF RECORD AND/OR APPROVAL AGENCIES' INSPECTOR.

SECTION 7: SANITARY SEWER SYSTEM

- MATERIALS**
  - GRAVITY SEWER PIPE AND FITTINGS
    - PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE CONFORMING TO ASTM D-3034, SDR 35, WITH PUSH-ON RUBBER GASKET JOINTS UNLESS OTHERWISE NOTED.
    - THE INTERIOR OF THE DUCTILE IRON PIPE (DIP) SHALL BE EPOXY LINED CONFORMING TO ANSI/AWWA C104/A21.4 LATEST REVISION, OR POLYETHYLENE LINED CONFORMING TO ANSI/AWWA C105/A21.5, OR APPROVED EQUAL AND SHALL HAVE A COAL TAR EPOXY EXTERIOR COATING, MANUFACTURED IN ACCORDANCE TO ANSI/AWWA C151/A21.51 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 350 (UNLESS OTHERWISE SPECIFIED). CLASS 52 SHALL BE USED IN PAVED AREAS.
    - ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER.
- INSTALLATION**
  - SERVICES
    - MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE "FLORIDA BUILDING CODE".
    - SERVICE LATERALS SHALL TERMINATE AT A DEPTH NOT TO EXCEED 30 INCHES BELOW FINISHED GRADE.
    - EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
    - THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH 2 INCH X 4 INCH TREATED STAKE PAINTED RED, EXTENDING 18 INCHES (MINIMUM) ABOVE GRADE. IF HOUSE CONNECTION IS NOT MADE WITHIN THIRTY DAYS, A CLEAN-OUT INSIDE A VALVE BOX WITH AN ELECTRONIC MARKER MUST BE INSTALLED.
    - CONTRACTOR SHALL ROUND IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG. AT PROJECT COMPLETION, CUT BACK TO FINISH GRADE.
    - CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL BUILDING DEPARTMENT, PLUMBING SECTION.

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
- ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.



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APPROVED: XXX		


GENERAL NOTES:

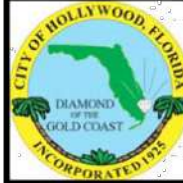
- THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAIN WITH ASPHALT PAVEMENT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	GENERAL NOTES	DRAWING NO. G-00
APPROVED: XXX		

GENERAL NOTES (CONTINUED):

- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).
- 
- WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
- ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
  - THE PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
  - THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
  - THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
  - PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
  - THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
  - ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"



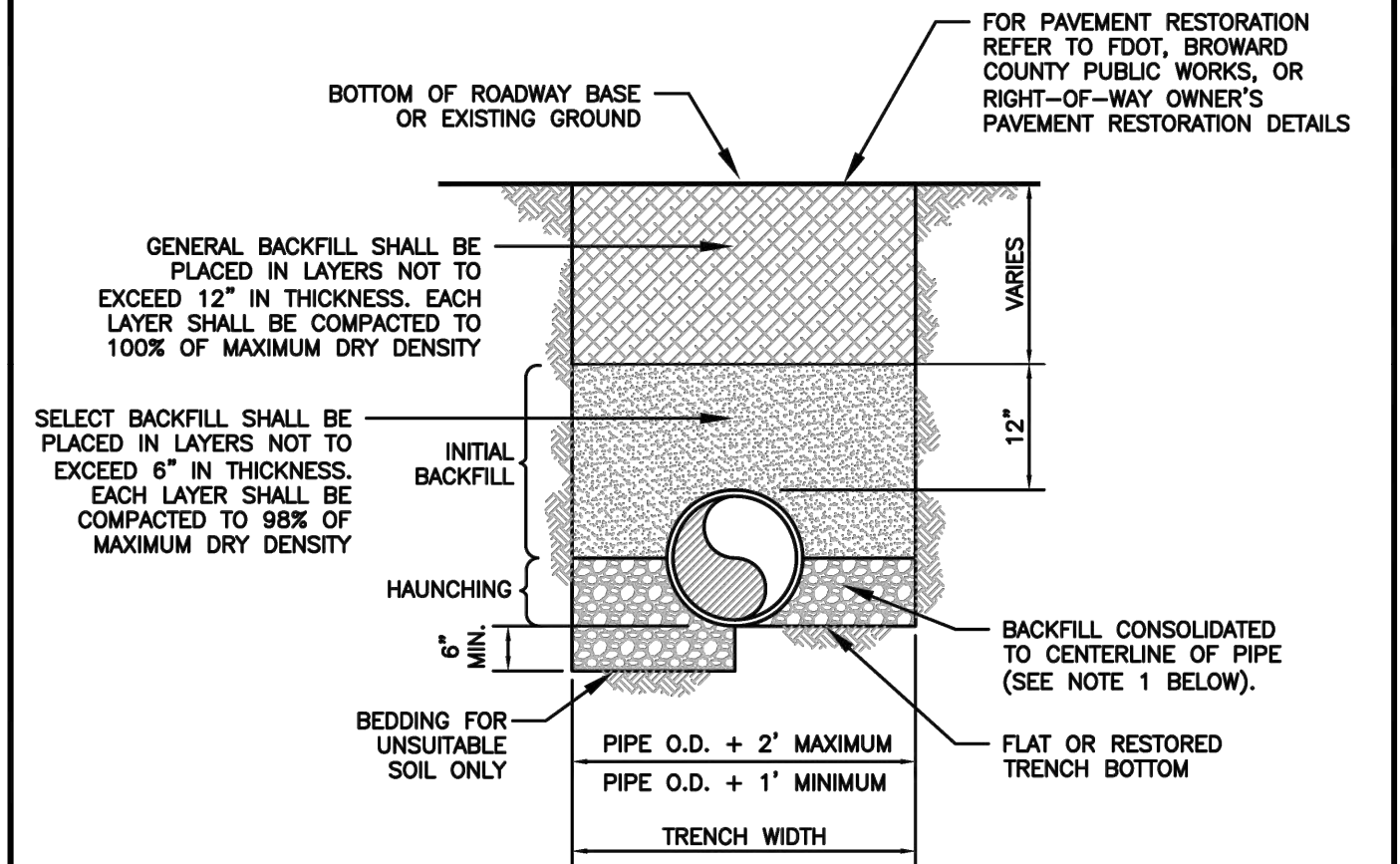
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.3
APPROVED: XXX		

GENERAL NOTES (CONTINUED):

- CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
- SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
- ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
- THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
- MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)	DRAWING NO. G-00.1
APPROVED: XXX		



NOTES:

- WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
- ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
- DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
- BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)	DRAWING NO. G-02
APPROVED: XXX		

TAC REVIEW PLANS

No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK	
DATE: 7/20/2022	
DRAWN: LJ	
DATE: 7/20/2022	
CHECKED: JFT	
DATE: 7/20/2022	



**THOMPSON & ASSOCIATES**  
 412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
 MIAMI-DADE (305) 734-2510  
 BROWARD (954) 761-1073  
 PALM BEACH (561) 932-1668

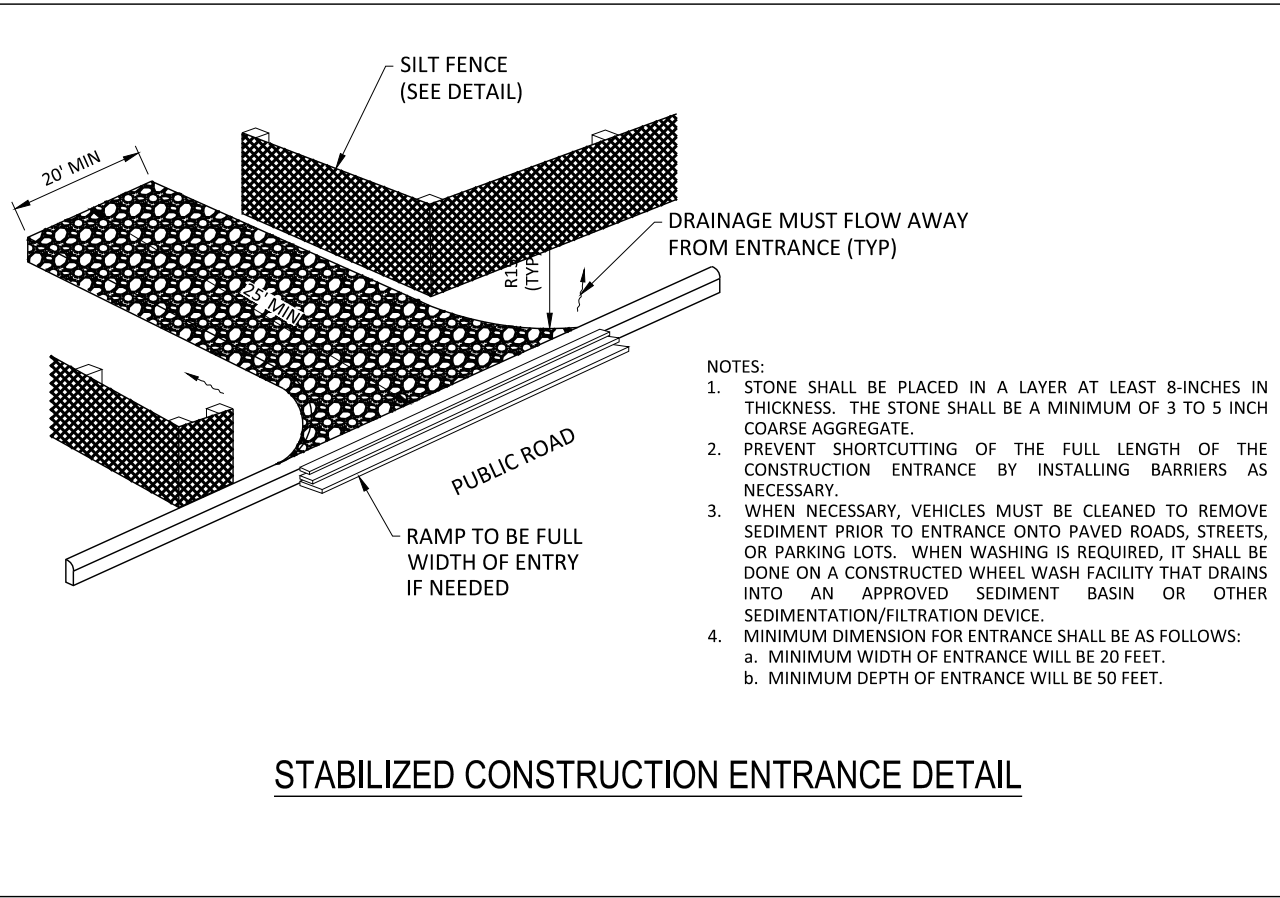
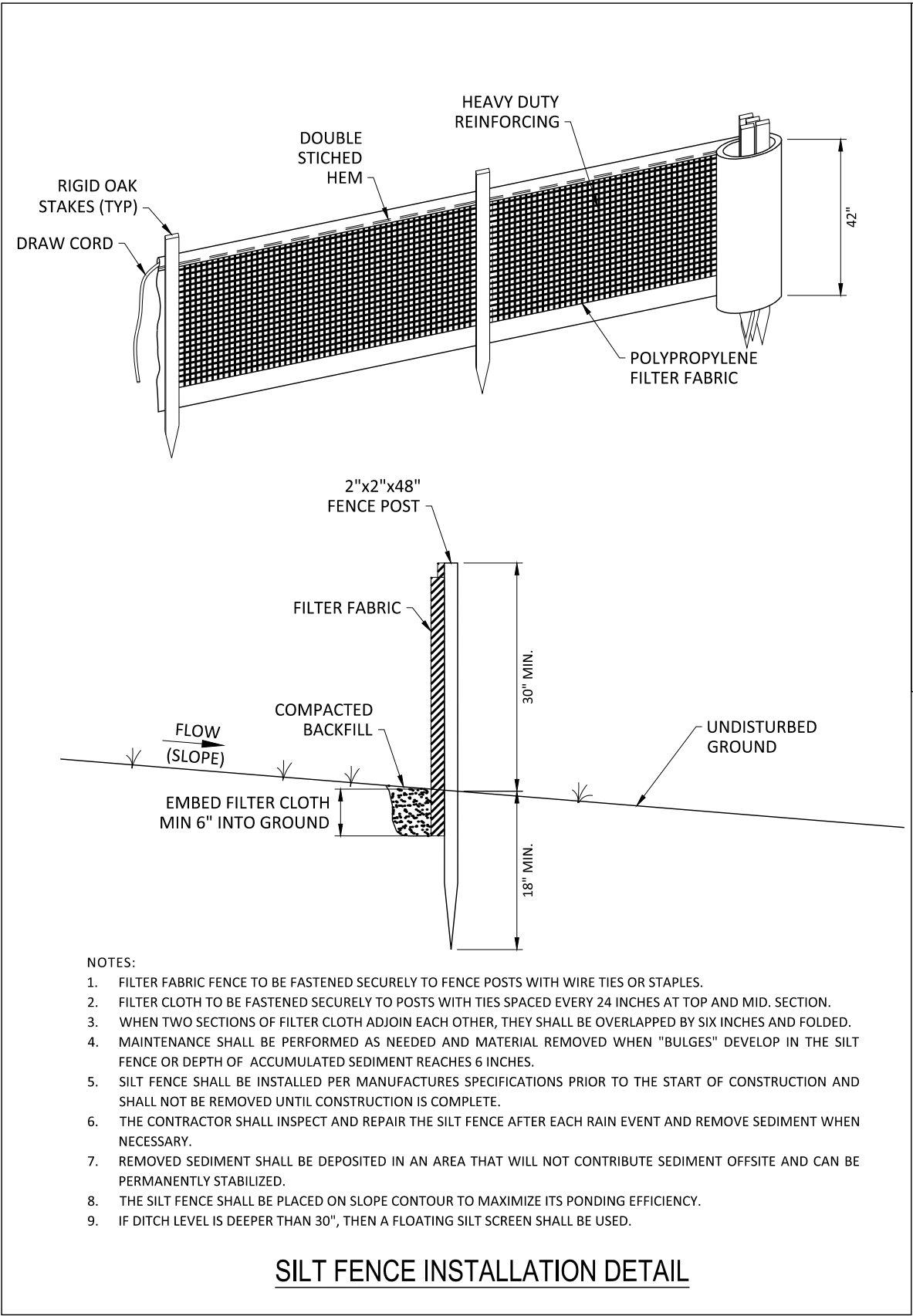
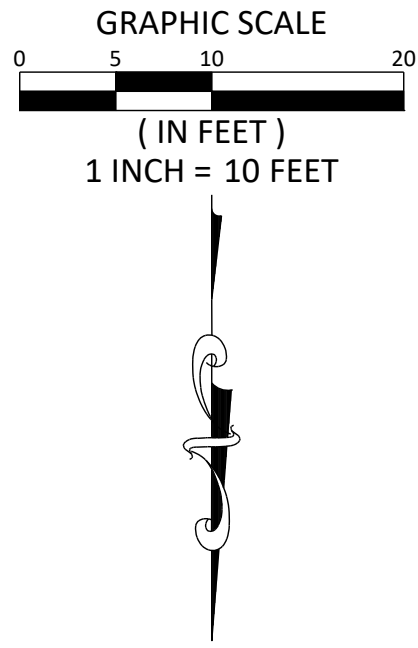
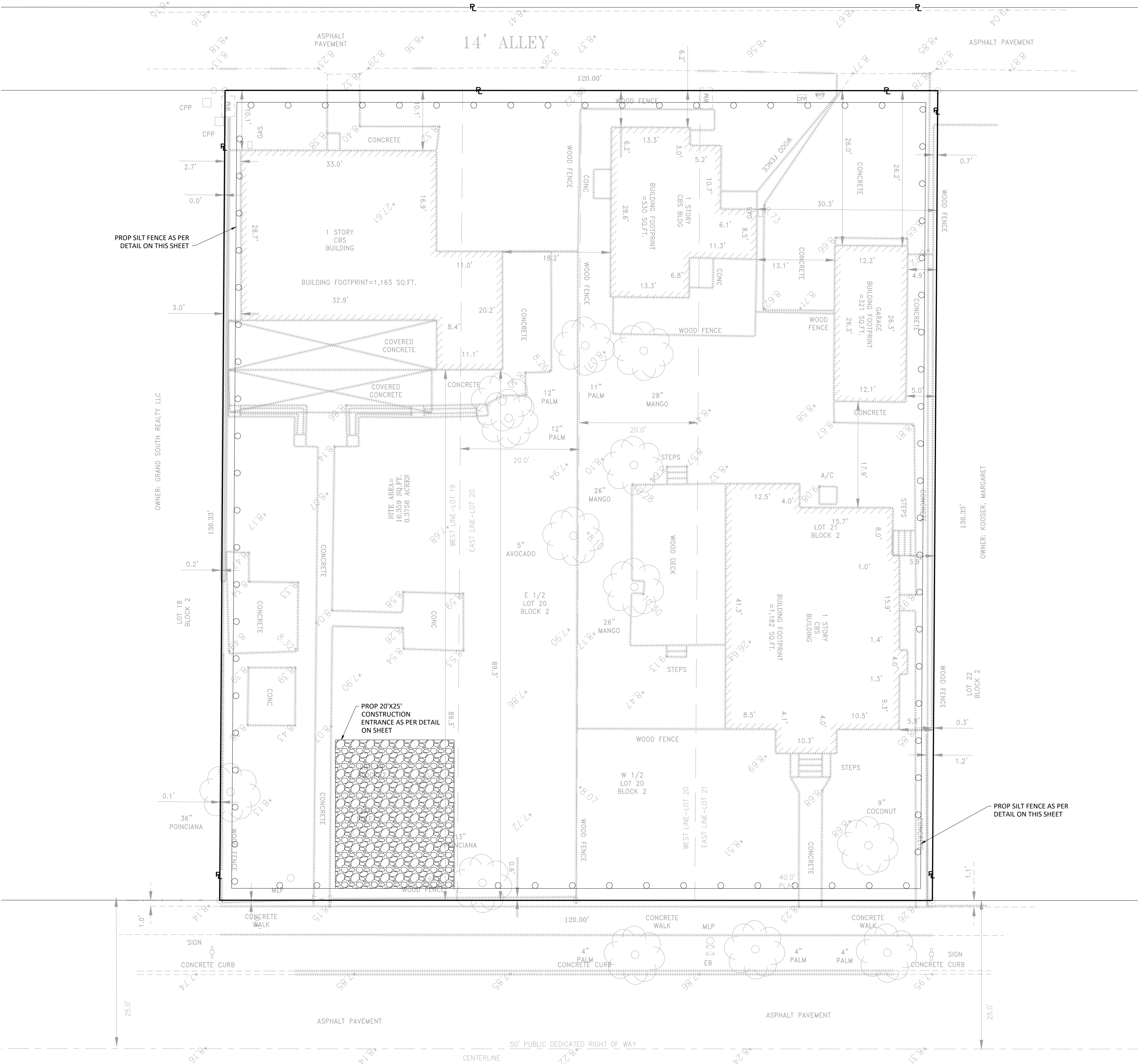
1914-1920 PIERCE STREET






HOLLYWOOD, FL. 33020

GENERAL NOTES

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA, LICENSE No. 66646 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE KRAWCZYK, PE ON 12/20/2023. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.	SCALE: 1" = 10'	SHEET: C-8
	PROJECT No.: 22034	
	CAD FILE: 22034 GN.dwg	

PLOTTED BY: TBA-ANews  
 PLOT DATE: 12/20/2023  
 FILE PATH: Y:\CURRENT PROJECTS\2024-1914-1920 Pierce Street Hollywood MG3\PLAN5\2024 SWPPP.dwg



LEGEND					
ARCH	ARCHITECTURAL	GV	GATE VALVE	STR	STRUCTURE
BOP	BOTTOM OF PIPE	GRD	FINISH GRADE	TOP	TOP OF PIPE
BOT	BOTTOM	HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
CLEAR	CLEARANCE	IE	INVERT ELEVATION	WM	WATER MAIN
CO	CLEAN OUT	INV	INVERT OF PIPE	w/	WITH
CONC	CONCRETE	LF	LINEAR FEET	YD	YARD DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE	MH	MANHOLE		
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE		EXIST GRADE (FT-NAVD)
DR	DRAINAGE	PVC	POLYVINYL CHLORIDE PIPE		PROP GRADE (FT-NAVD)
ELEV	ELEVATION	PROP	PROPOSED		FLOW ARROW
EXIST	EXISTING	RE	RIM ELEVATION		PROPERTY LINE
FDC	FIRE DEPARTMENT CONNECTION	RIM	RIM OF STRUCTURE		EASEMENT LINE
FFE	FINISHED FLOOR ELEVATION	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER		R/W LINE
FH	FIRE HYDRANT				
FT	FEET	R/W	RIGHT OF WAY		

No.	DATE	REVISION	BY	No.	DATE	REVISION	BY

DESIGNED: GK  
 DATE: 7/20/2022  
 DRAWN: LJ  
 DATE: 7/20/2022  
 CHECKED: JFT  
 DATE: 7/20/2022

**THOMPSON & ASSOCIATES**  
 412 SE 18TH STREET, FORT LAUDERDALE, FL 33316  
 MIAMI-DADE (305) 714-2510  
 BROWARD (954) 761-1073  
 PALM BEACH (561) 932-1668

1914-1920 PIERCE STREET  
 HOLLYWOOD, FL. 33020

## STORM WATER POLLUTION PREVENTION PLAN & DETAILS

GEORGE KRAWCZYK, PROFESSIONAL ENGINEER, STATE OF FLORIDA,  
 LICENSE No. 66646  
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GEORGE  
 KRAWCZYK, PE ON 12/20/2023.  
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 AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY  
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SCALE:  
 1" = 10'  
 PROJECT No.:  
 22034  
 CAD FILE:  
 22034 SWPPP.dwg

SHEET:

C-9

**Sunshine811**  
 Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!

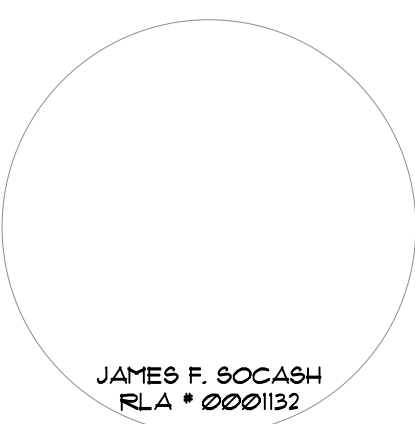
## TAC REVIEW PLANS



13421 SOUTHWEST 23 STREET  
MIAMI, FL. 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH:

PROFESSIONAL SEAL:



PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE ISSUE DESCRIPTION

DATE	ISSUE	DESCRIPTION

DRAWING INFORMATION:

SHEET TITLE:

DELIVERY DATE: 03.28.2023

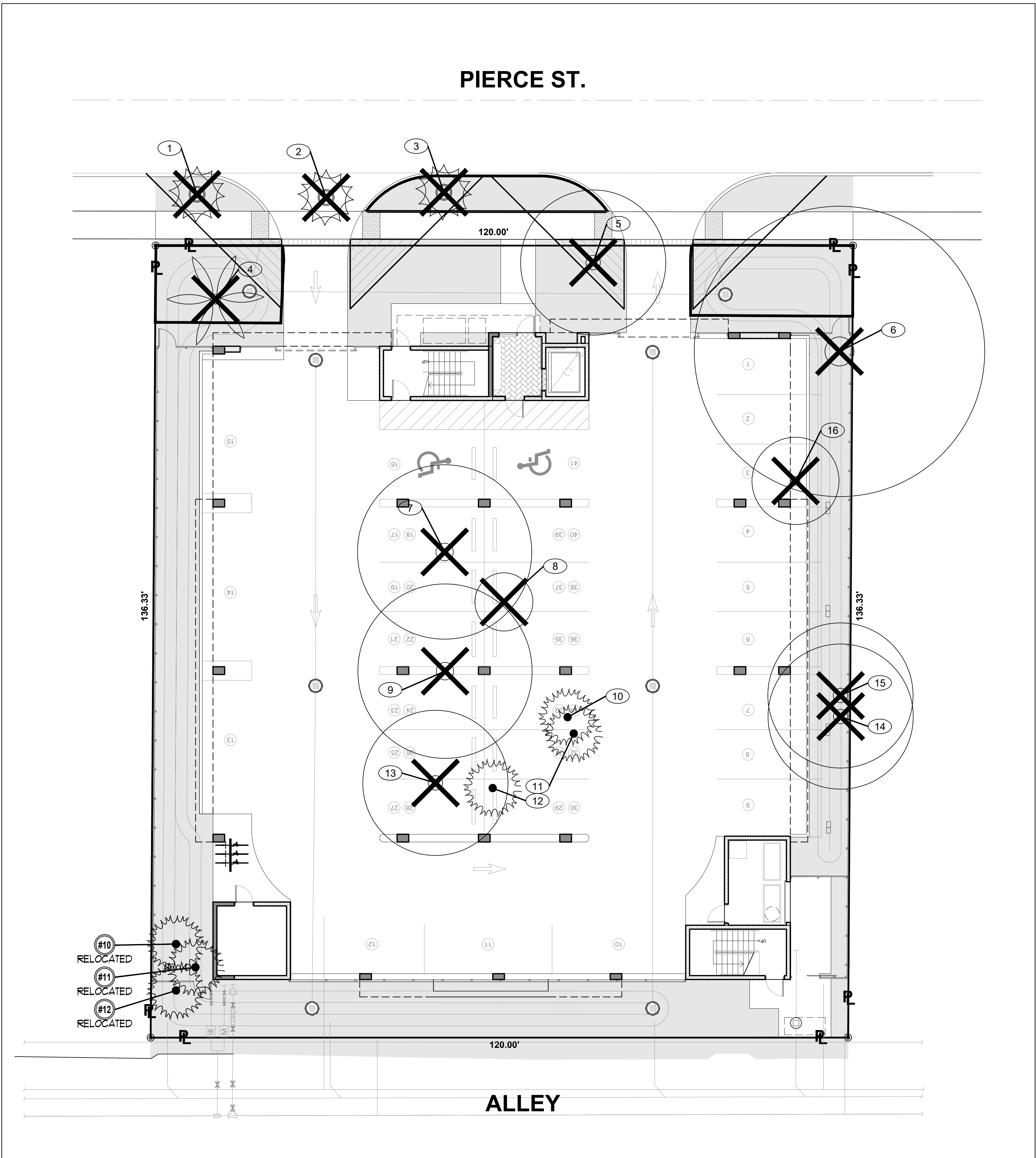
DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **TD-1**  
OF

12/15/2023



### TREE MITIGATION-REPLACEMENT PLANTLIST

SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION	QUANTITY	INCHES	EXTENDED
REMOVAL OF 170" DBH AND 4 PALMS							
REPLACEMENT TREES:							
(REQUIRED LANDSCAPE TREES ARE NOT INCLUDED IN TREE MITIGATION)							
TREE MITIGATION COMPENSATION:							
CG12	YES	1	SMALL LEAF CLUSIA	Clusia guttifera	1	2	2
TOTAL NEW REPLACEMENT INCHES: 2 INCHES							
MITIGATION DEFICIT: 168 DBH							
TREE MITIGATION COMPENSATION: 1- 2" TREE = \$350.00							
168/ 2" = 84 TREES @ \$350 PER TREE = \$29,400							
MITIGATION DEFICIT TO BE A PAYMENT TO THE CITY OF HOLLYWOOD							
REMOVAL OF 4 EXISTING PALMS							
VM2		2	MONTGOMERY PALMS	Veitchia montgomeryana	DBL. TK, PG, 14' o.a., full hd.		
MITIGATION DEFICIT: 2							
2 PALMS \$350 PER TREE = \$700							
TOTAL OF \$30,100 MITIGATION DEFICIT TO BE A PAYMENT TO THE CITY OF HOLLYWOOD							

### 22-19-1914 PIERCE ST., HOLLYWOOD, FL. 33020

TREE NUM	SYM	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	DBH	CONDITION	CLEARANCE	STATUS	DBH LOSS	PALM LOSS	REMARKS
1	THF	FLORIDA THRXINAX PALM	Thrinax radiata	10	10	4	GOOD	4'	REMOVE		1	IN SIGHT TRIANGLE
2	THF	FLORIDA THRXINAX PALM	Thrinax radiata	10	10	4	GOOD	4'	REMOVE		1	IN SIGHT TRIANGLE
3	THF	FLORIDA THRXINAX PALM	Thrinax radiata	10	10	4	GOOD	4'	REMOVE		1	IN SIGHT TRIANGLE
4	CN	COCOAULT PALM	Coccothrinax regia	25	20	10	FAIR	14'	REMOVE			
5	DR	ROYAL POINCIANA	Delonix regia	18	25	13	FAIR	10'	REMOVE	13		
6	DR	ROYAL POINCIANA	Delonix regia	35	50	36	FAIR	12'	REMOVE	36		
7	MI	MANGO	Mangifera indica	35	30	26	FAIR	10'	REMOVE	26		
8	PA	AVOCADO	Persea americana	10	10	5	FAIR	4'	REMOVE	5		
9	MI	MANGO	Mangifera indica	35	30	26	FAIR	12'	REMOVE	26		
10	SP	SABAL PALM	Sabal palmetto	21	12	10	GOOD	15'	RELOCATE			
11	SP	SABAL PALM	Sabal palmetto	18	12	10	GOOD	13'	RELOCATE			
12	SP	SABAL PALM	Sabal palmetto	20	12	10	GOOD	14'	RELOCATE			
13	MI	MANGO	Mangifera indica	25	25	28	FAIR	12'	REMOVE	28		
14	FA	STRANGLER FIG	Ficus aurea	25	25	16	FAIR	12'	REMOVE	16		
15	FA	STRANGLER FIG	Ficus aurea	20	25	16	FAIR	12'	REMOVE	16		
16	QV	LIVE OAK	Quercus virginiana	15	15	4	FAIR	8'	REMOVE	4		
TOTALS											170	4
FIELD INVENTORY CONDUCTED BY JFS DESIGN INC. ON JULY 9, 2022												

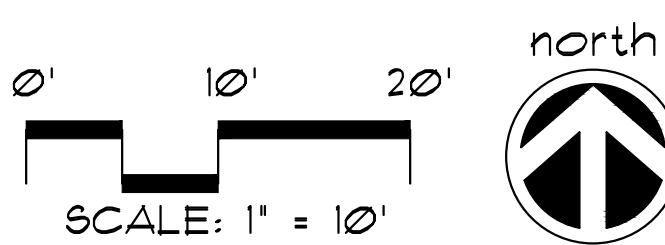


JFS

JFS Design Inc.  
LANDSCAPE ARCHITECTURE  
LC 000393  
1933 N.W. 140th TERRACE  
PENSACOLA, FL 33609  
jimmy@jfsdesignfl.com

A WRITTEN TREE REMOVAL PERMIT IS  
REQUIRED FROM THE CITY OF  
HOLLYWOOD PRIOR TO REMOVAL OF ANY  
NON-EXEMPT TREE OR PALMS FROM THE  
SITE.

SEE SHEETS L-1 THROUGH L-4 FOR  
GROUND LEVEL SITE LANDSCAPE PLAN,  
AND UPPER LEVEL LANDSCAPE PLANS.



## TREE DISPOSITION PLAN



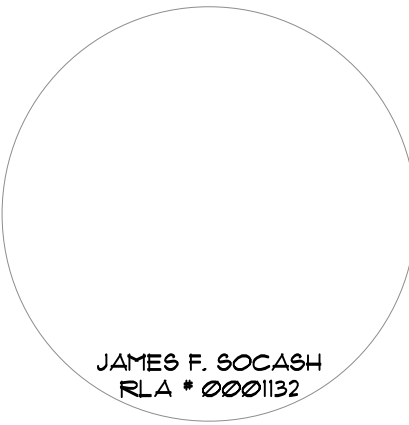
13421 SOUTHWEST 23 STREET  
MIAMI, FL. 33175 . (305) 525-2370  
AA-26002273

IN ASSOCIATION WITH:

### TREE DISPOSITION NOTES:

1. SEE LANDSCAPE PLANS FOR PROPOSED TREE AND PALM LOCATIONS.
2. THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (MIAMI-DADE CO. DRER). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
3. LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE, EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
4. ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY 1, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.
5. ALL TREES AND PALMS TO BE RELOCATED SHALL BE ROOT PRUNED AND CANOPY PRUNED ACCORDING TO ALL ACCEPTED STANDARDS AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION, AND ALL PRE AND POST-TRANSPLANT OPERATIONS SHALL BE COORDINATED WITH UTMOST CARE TO MINIMIZE DAMAGE AND TRANSPLANT SHOCK. WATERING-IN AND WATERING SCHEDULES SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND APPROVAL PRIOR TO RELOCATION.
6. ALL TREES AND PALMS TO BE RELOCATED SHALL BE STAKED AND BRACED TO INSURE STABILITY AND MINIMIZE ROOT DAMAGE DURING THE PLANT ROOT RECUPERATION PERIOD.
7. CONTRACTOR SHALL VERIFY WITH THE PROJECT SUPERINTENDENT THE PROPOSED LANDSCAPE AREAS PRIOR TO TREE AND PALM RELOCATION TO INSURE PROPER RELOCATION AND MINIMIZE ANY FIELD DISCREPANCIES WITH RESPECT TO PROPOSED PAVING, BUILDINGS, AMENITIES, ABOVE AND BELOW GROUND UTILITIES AND LIMITS OF PROPERTY.
8. CONTRACTOR SHALL ESTABLISH AN IRRIGATION SYSTEM TO PROVIDE FOR PRE AND POST-TRANSPLANT IRRIGATION SCHEDULING. TREE AND PALM FERTILIZATION SHALL BE ESTABLISHED CONCURRENTLY WITH IRRIGATION PRE AND POST-FERTILIZATION, THIS PROCEDURE SHALL BE CONDUCTED TO OPTIMIZE PLANT ESTABLISHMENT.
9. CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO PLANT ALL RELOCATED TREES AND PALMS AT THE FINAL GRADE OF SITE.
10. SEE 'ROOT PRUNING DETAIL' AND 'TREE TRANSPLANT DETAIL' AS SHOWN ON THE PLANS.

PROFESSIONAL SEAL:



PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

DATE ISSUE DESCRIPTION


DRAWING INFORMATION:

SHEET TITLE:

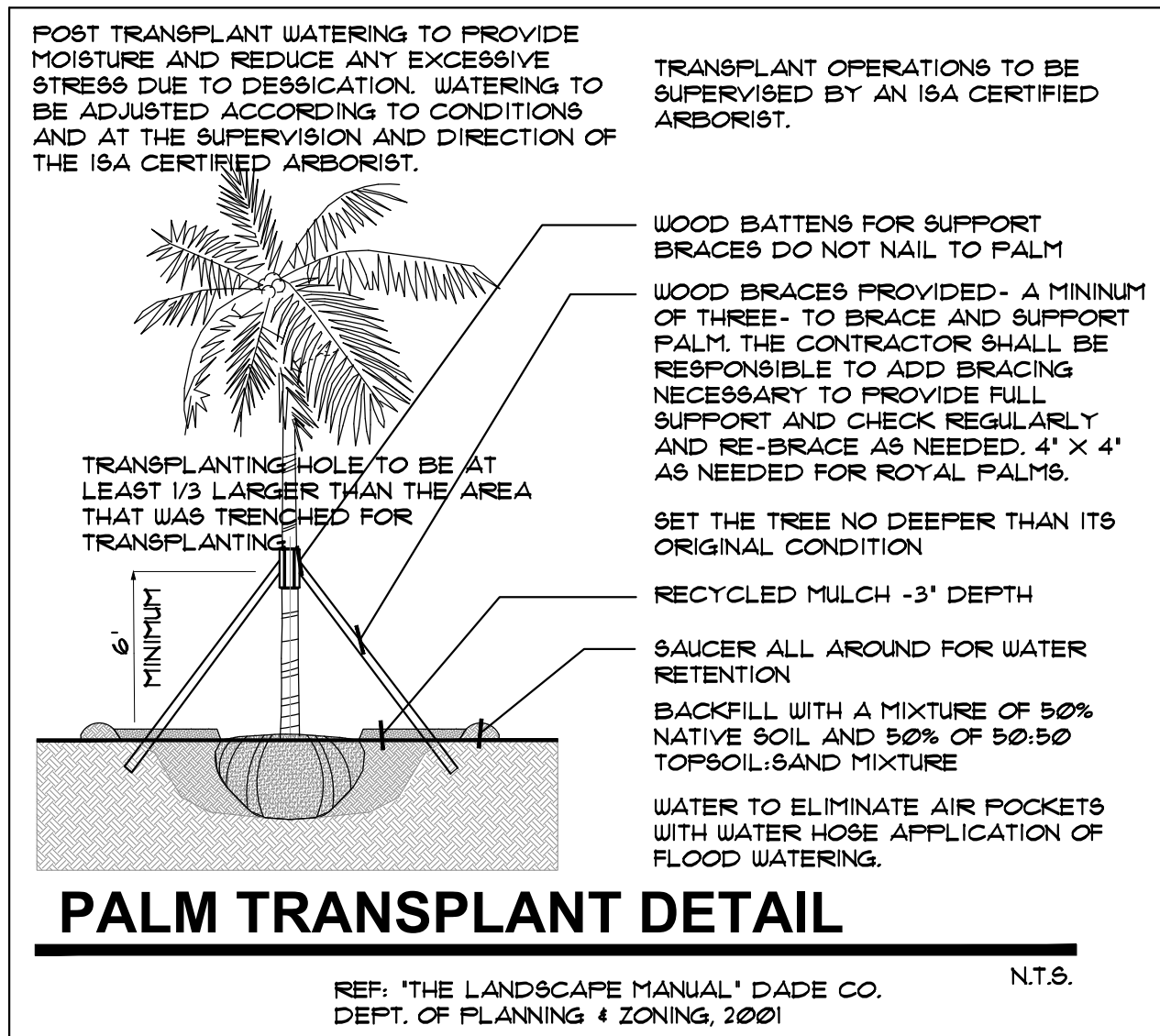
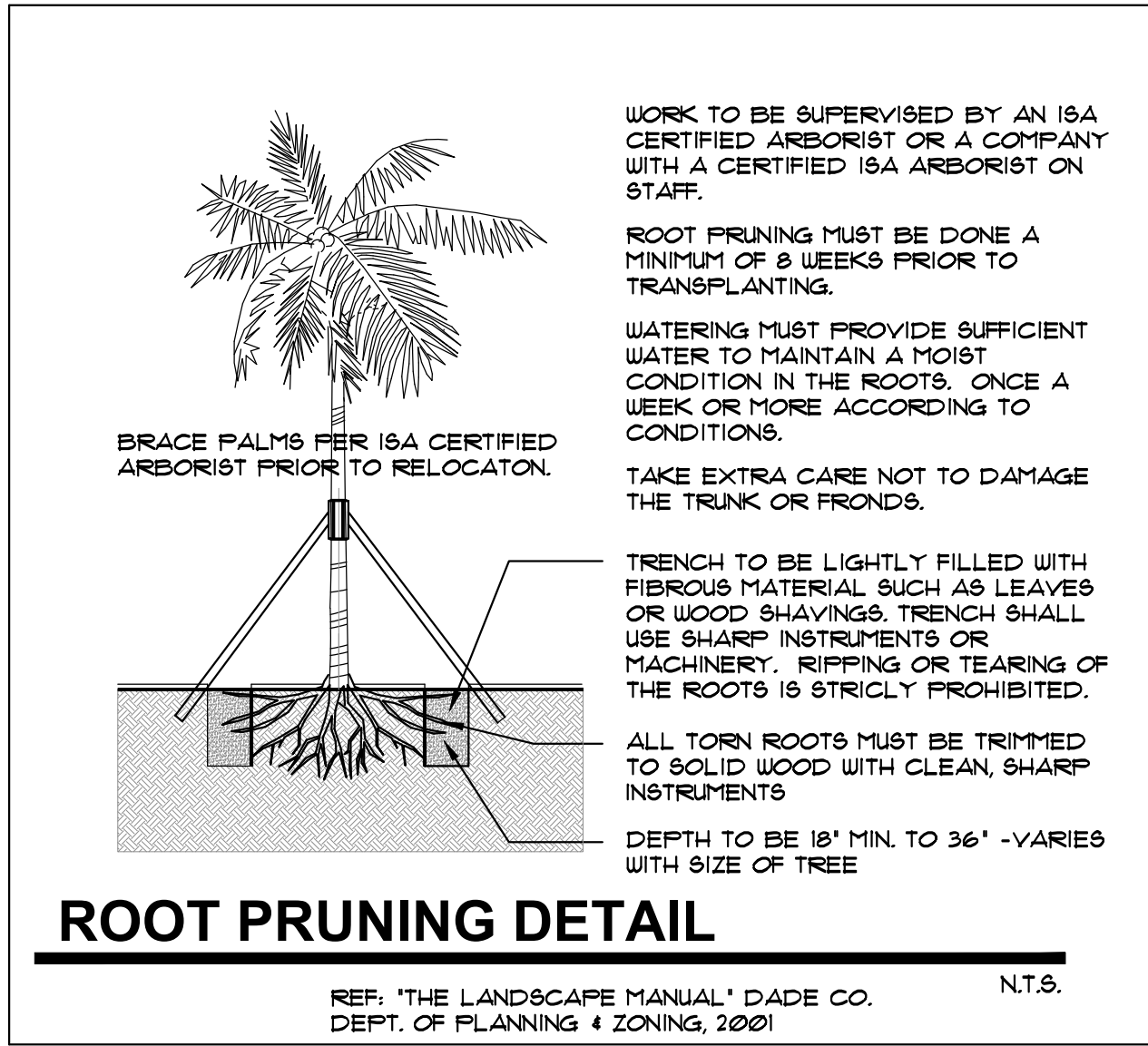
DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **TD-2**  
OF



### TREE TRANSPLANTING PROCEDURAL SPECIFICATION

PURPOSE: TO MAXIMIZE THE SUCCESS OF TREE TRANSPLANTING OPERATIONS.

ALL STANDARDS SHALL MEET OR EXCEED THE ANSI A300 (PART 6)-2005 (TRANSPLANTING) STANDARD PRACTICES AND ANY APPLICABLE LOCAL CODES.

CONTRACTOR SHALL EMPLOY AN ISA CERTIFIED ARBORIST WITH VERIFIABLE TREE TRANSPLANT EXPERIENCE AS THE 'EXPERT ARBORIST OF RECORD' TO CARRY OUT THE FOLLOWING DUTIES:

SHALL PROVIDE A TREE RELOCATION PLAN FOR APPROVAL BY THE OWNER'S AGENT BEFORE ANY WORK CAN COMMENCE.

SHALL MAKE SITE VISITS PRIOR TO ANY RELOCATION WORK TO INSPECT THAT PROPER PREPARATION WORK IS PERFORMED TO THE TREE RELOCATION GUIDELINES.

SHALL MAKE SITE VISITS DURING RELOCATION WORK TO INSURE WORK IS BEING PERFORMED TO THE TREE RELOCATION GUIDELINES.

SHALL DOCUMENT ALL INSPECTIONS AND PROVIDE REPORT TO THE OWNER'S AGENT WITHIN 5 BUSINESS DAYS OF SITE VISIT.

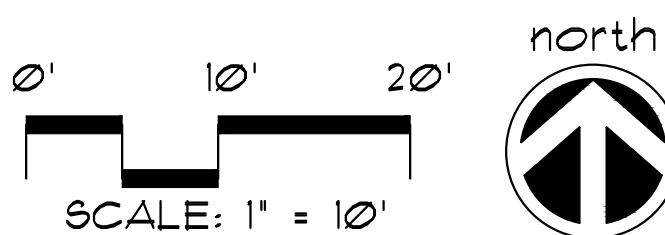
SHALL SUBMIT PRIOR TO FINAL ACCEPTANCE BY OWNER'S AGENT, A POST-TRANSPLANT CARE GUIDE FOR UP TO THREE YEARS THAT INCLUDES WATERING, FERTILIZATION, PRUNING, PEST CONTROL, STAKING, ETC., FOR APPROVAL.



**JFS Design Inc.**  
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jimmy@jfsdesignfl.com

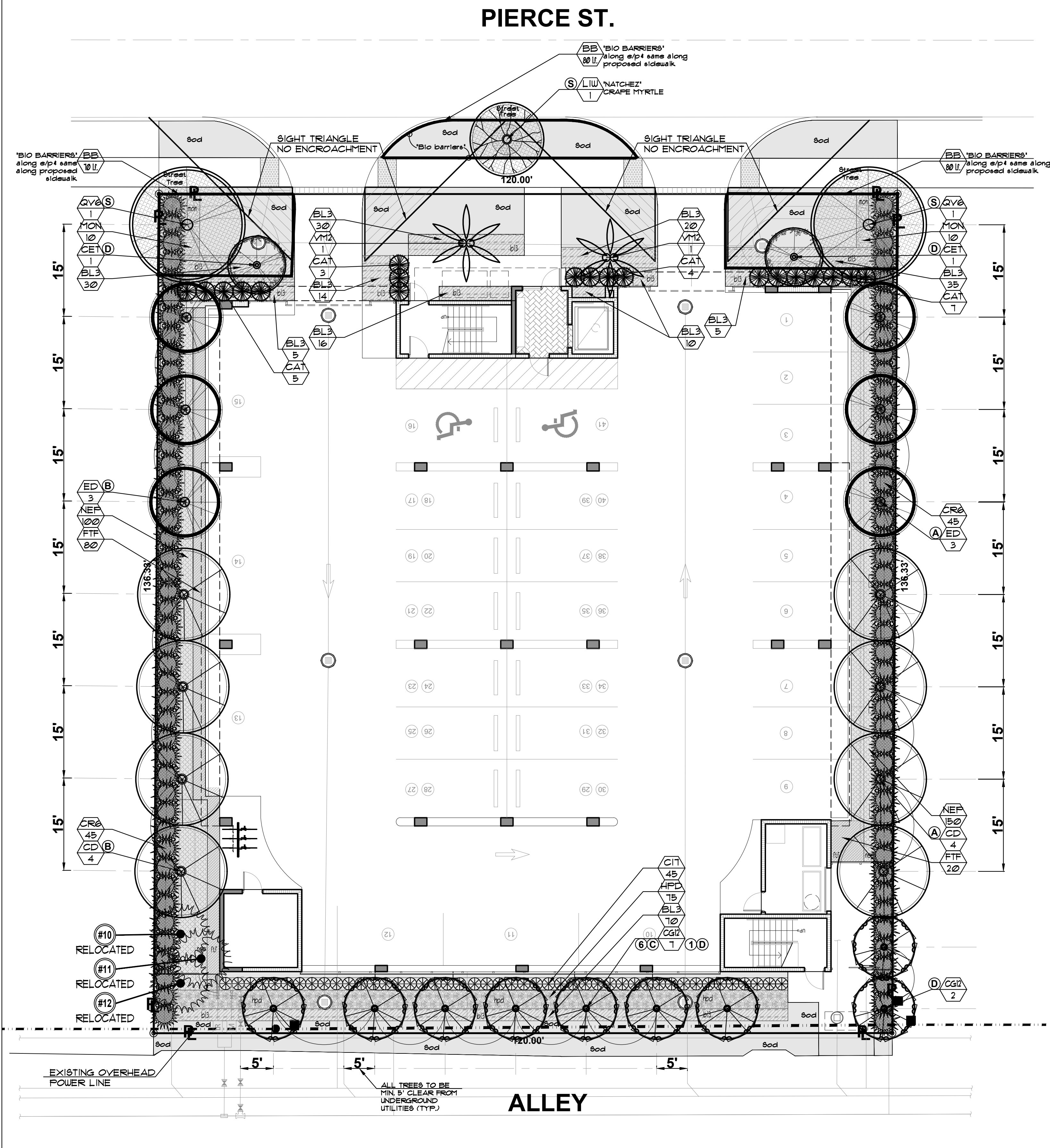
A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF HOLLYWOOD PRIOR TO REMOVAL OF ANY NON-EXEMPT TREE OR PALMS FROM THE SITE.

SEE SHEETS L-1 THROUGH L-4 FOR GROUND LEVEL SITE LANDSCAPE PLAN, AND UPPER LEVEL LANDSCAPE PLANS.



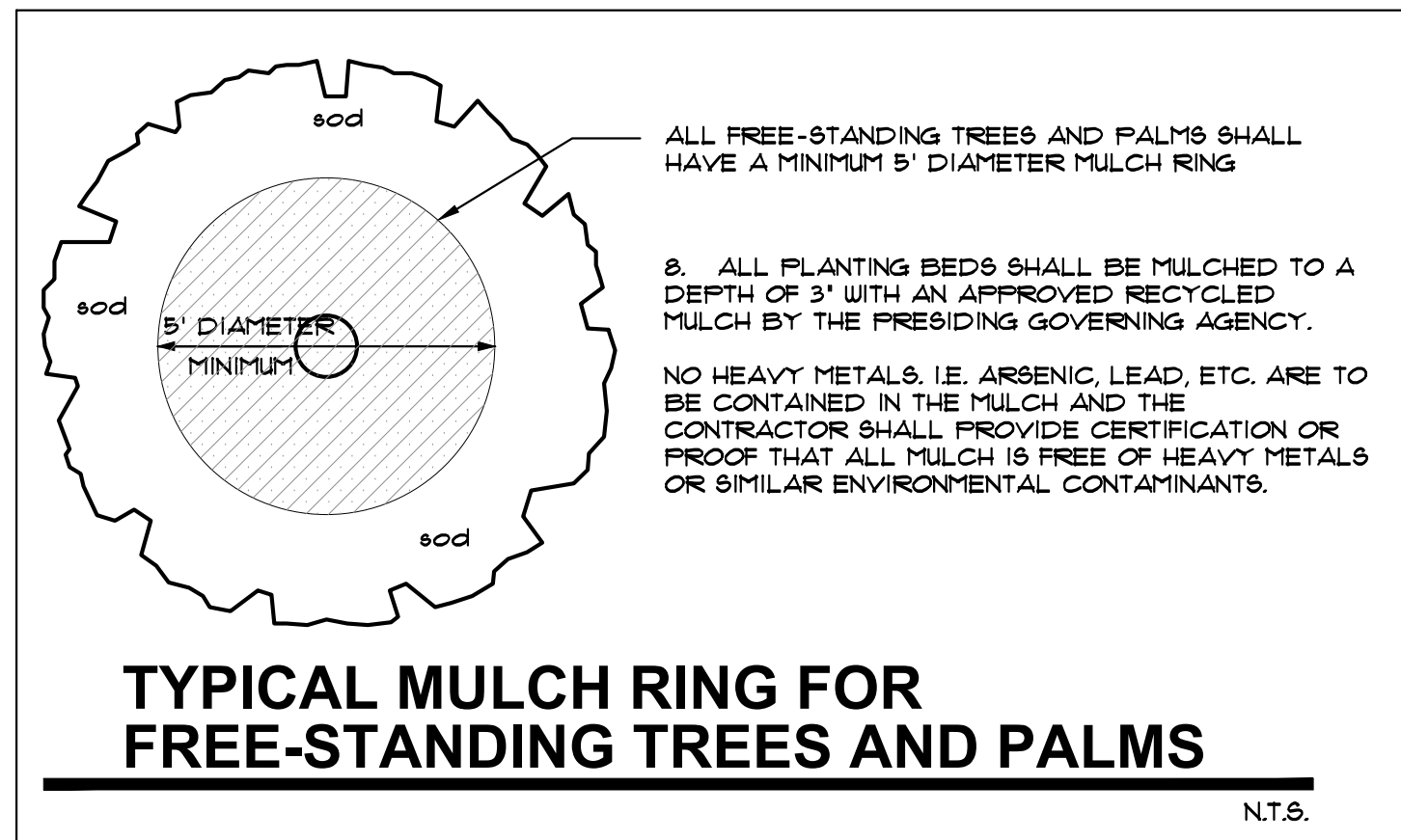
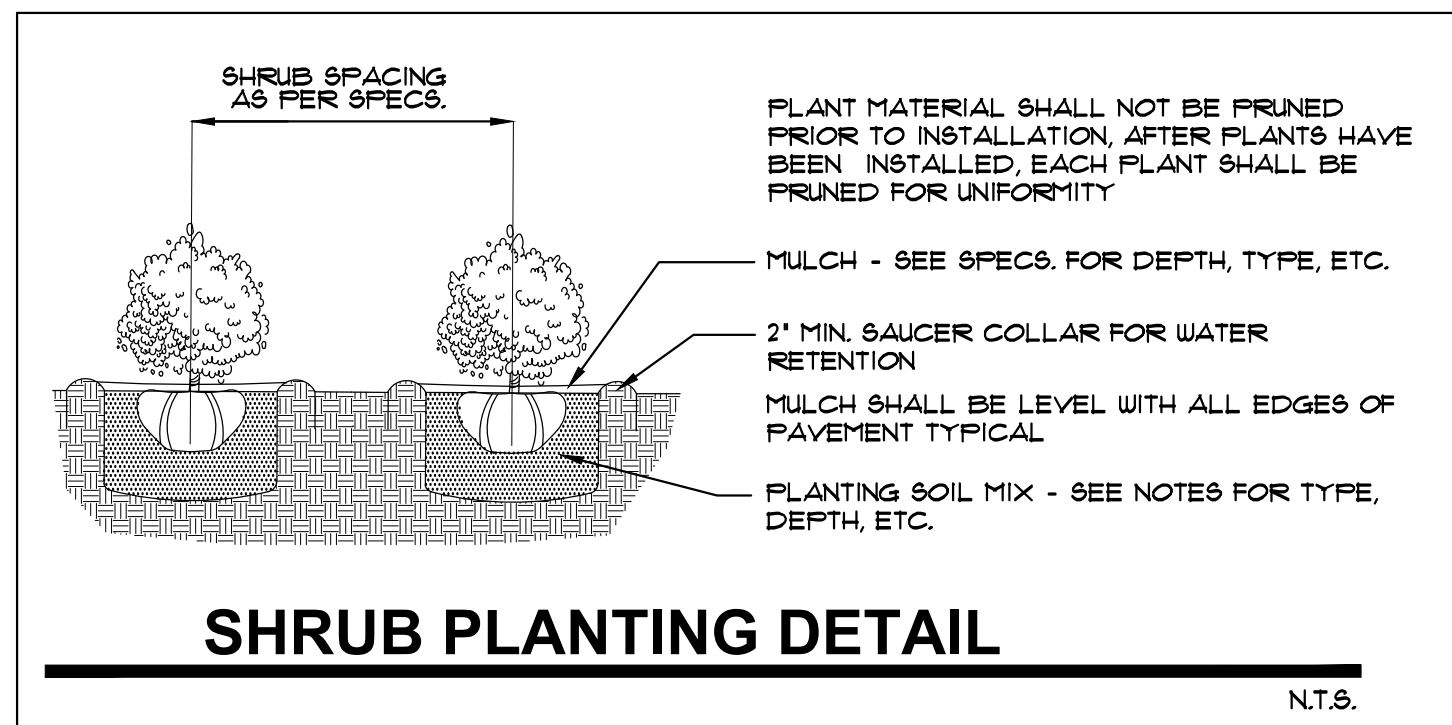
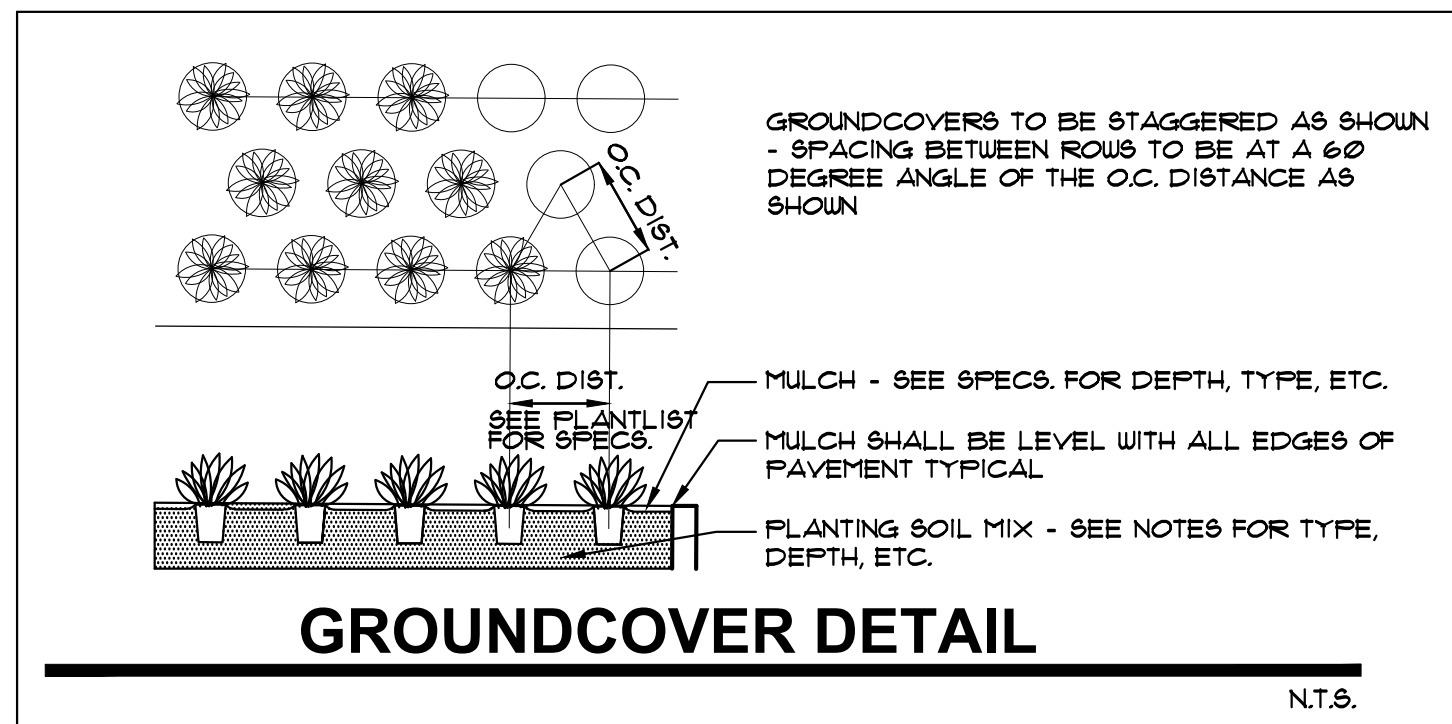
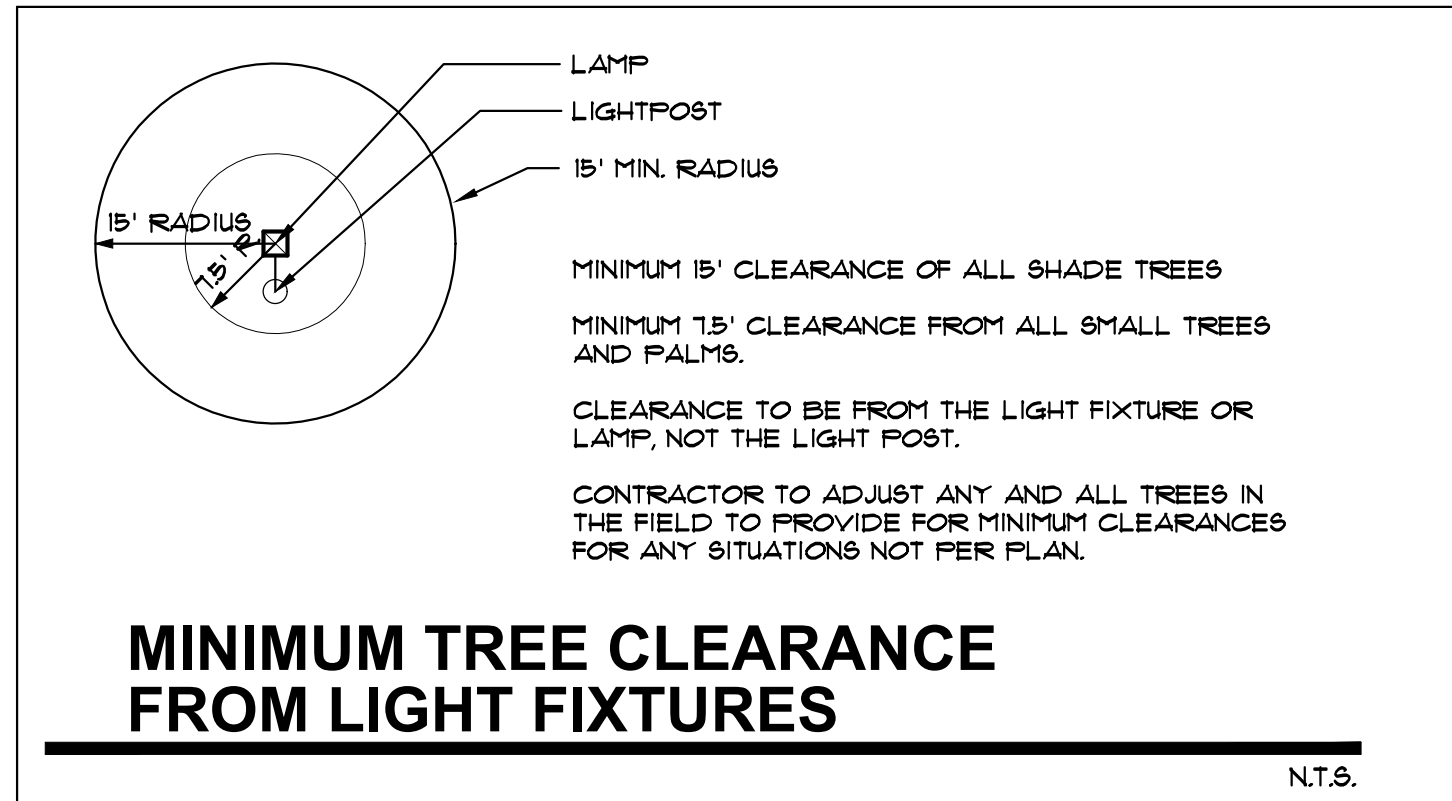
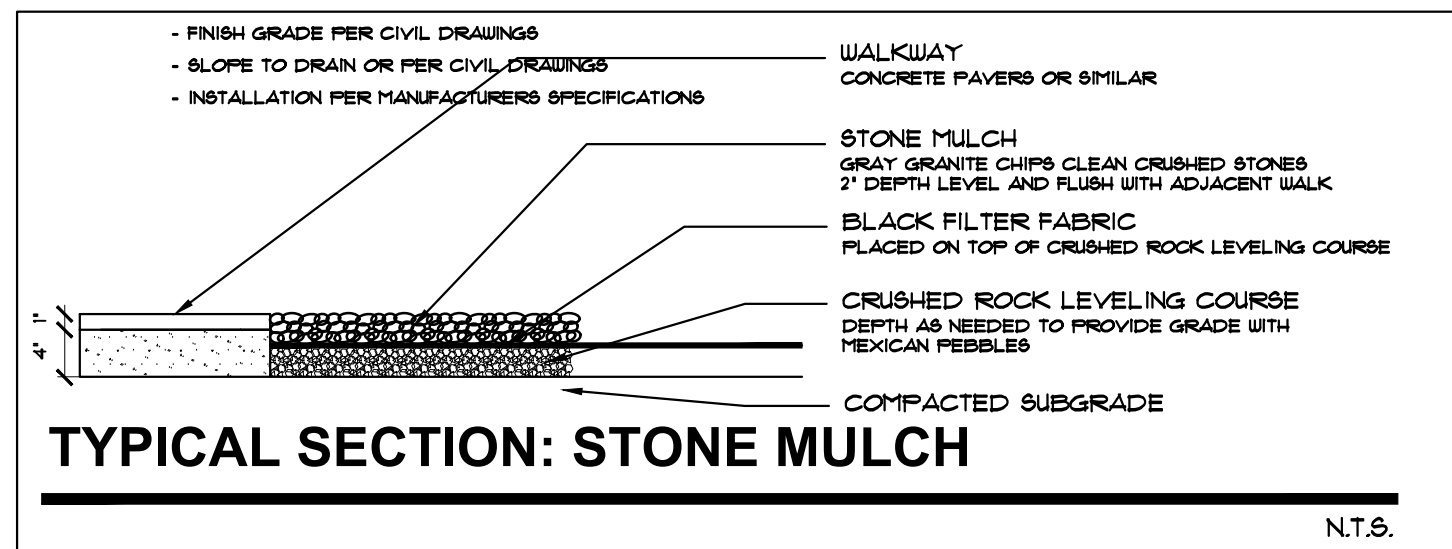
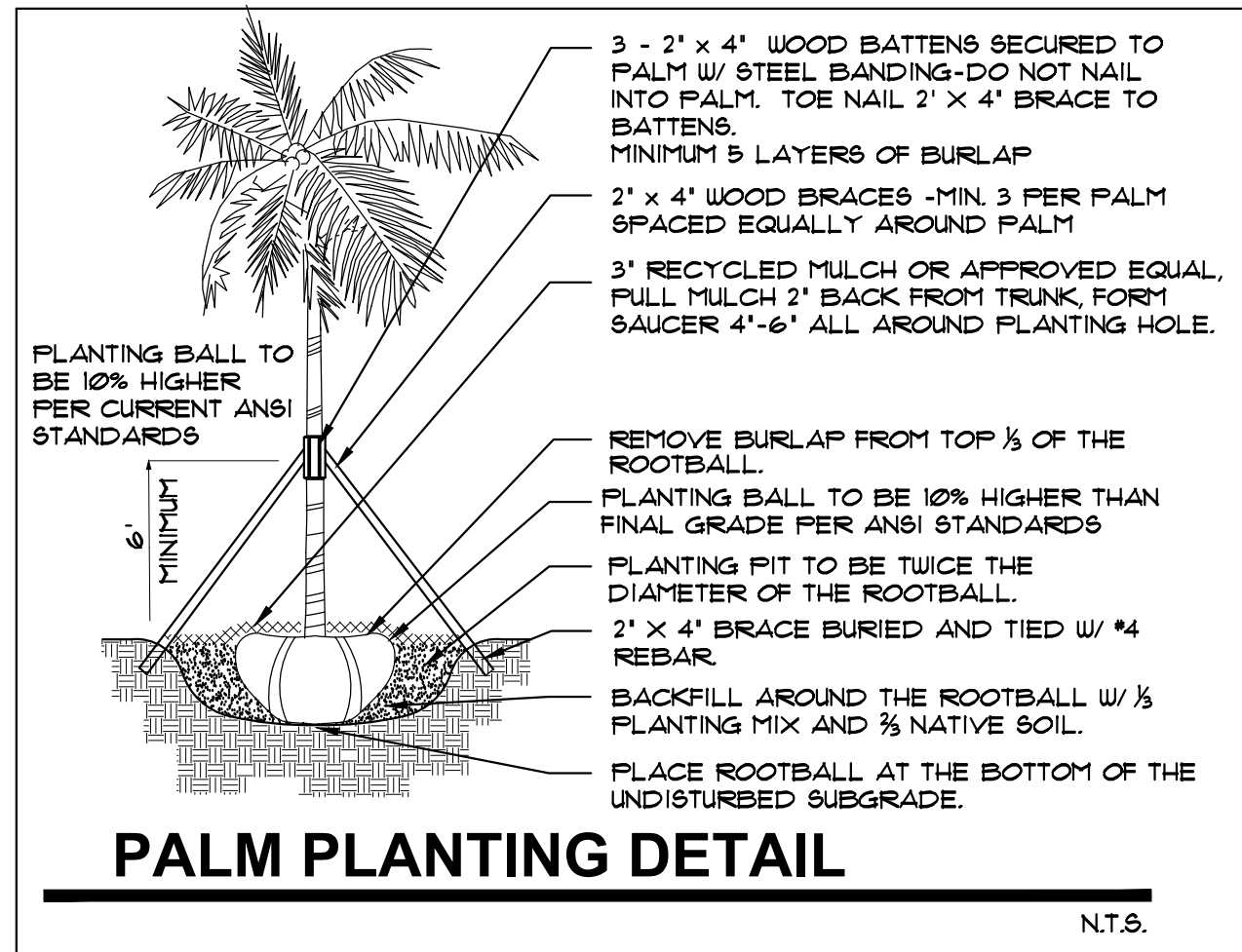
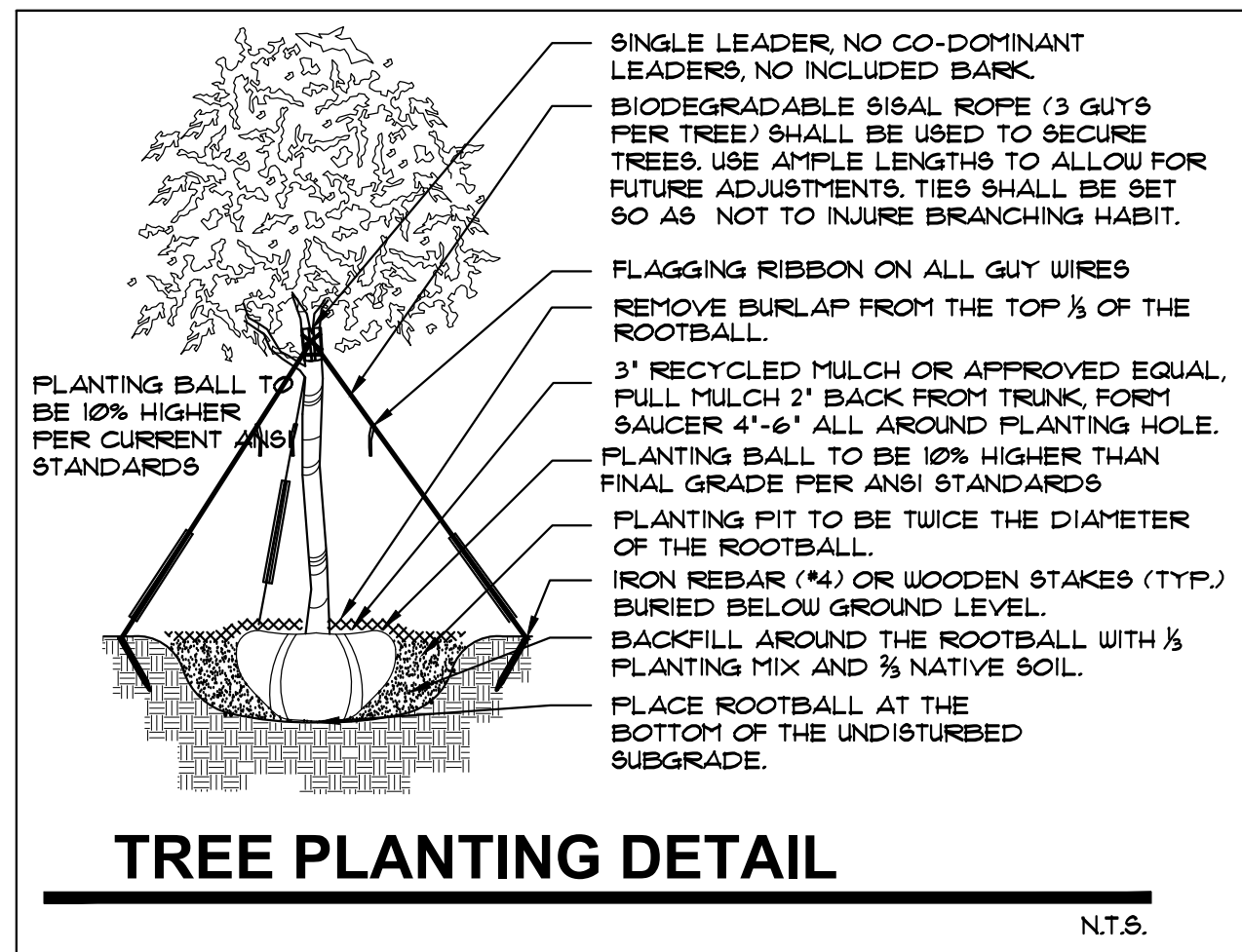
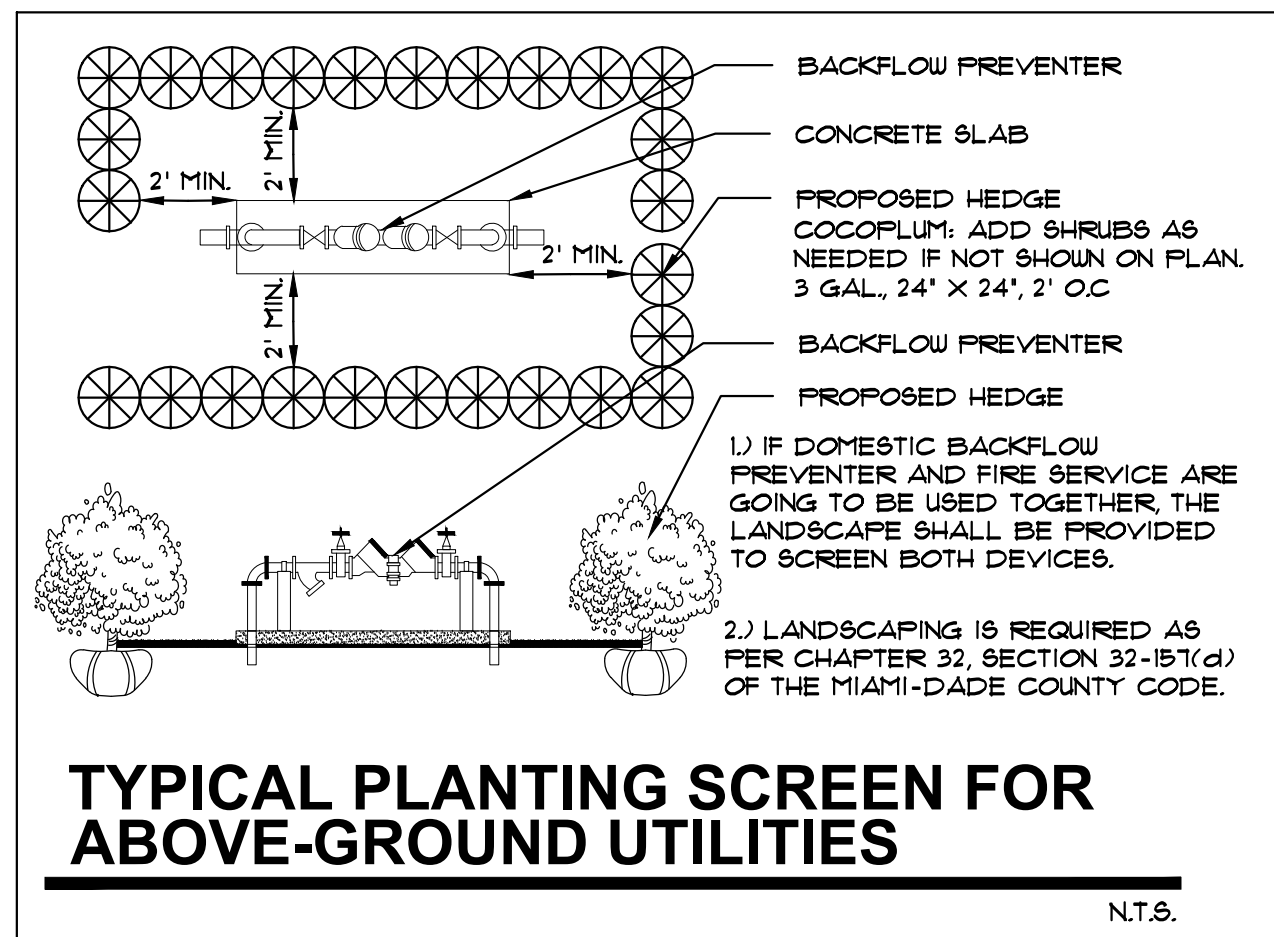
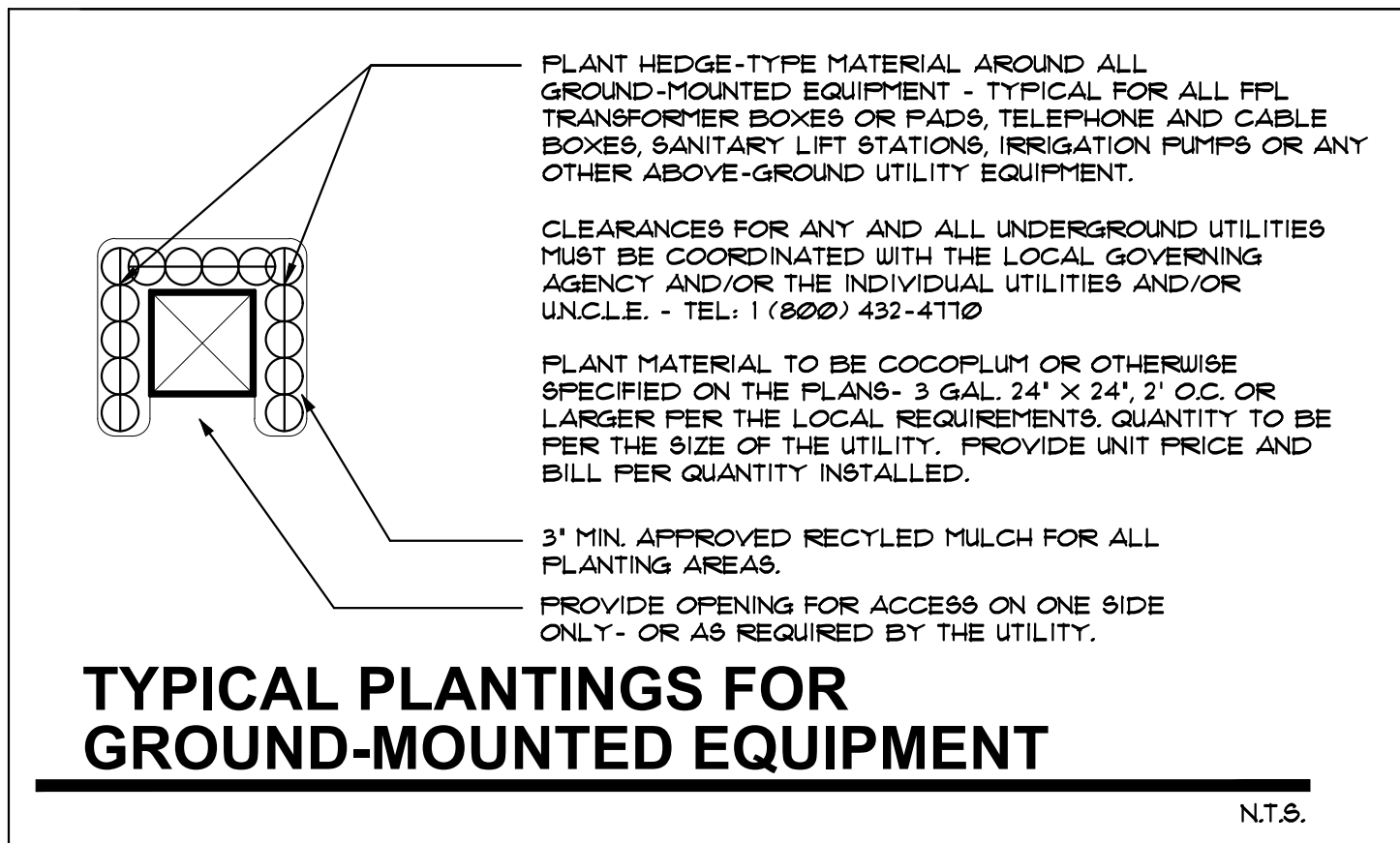
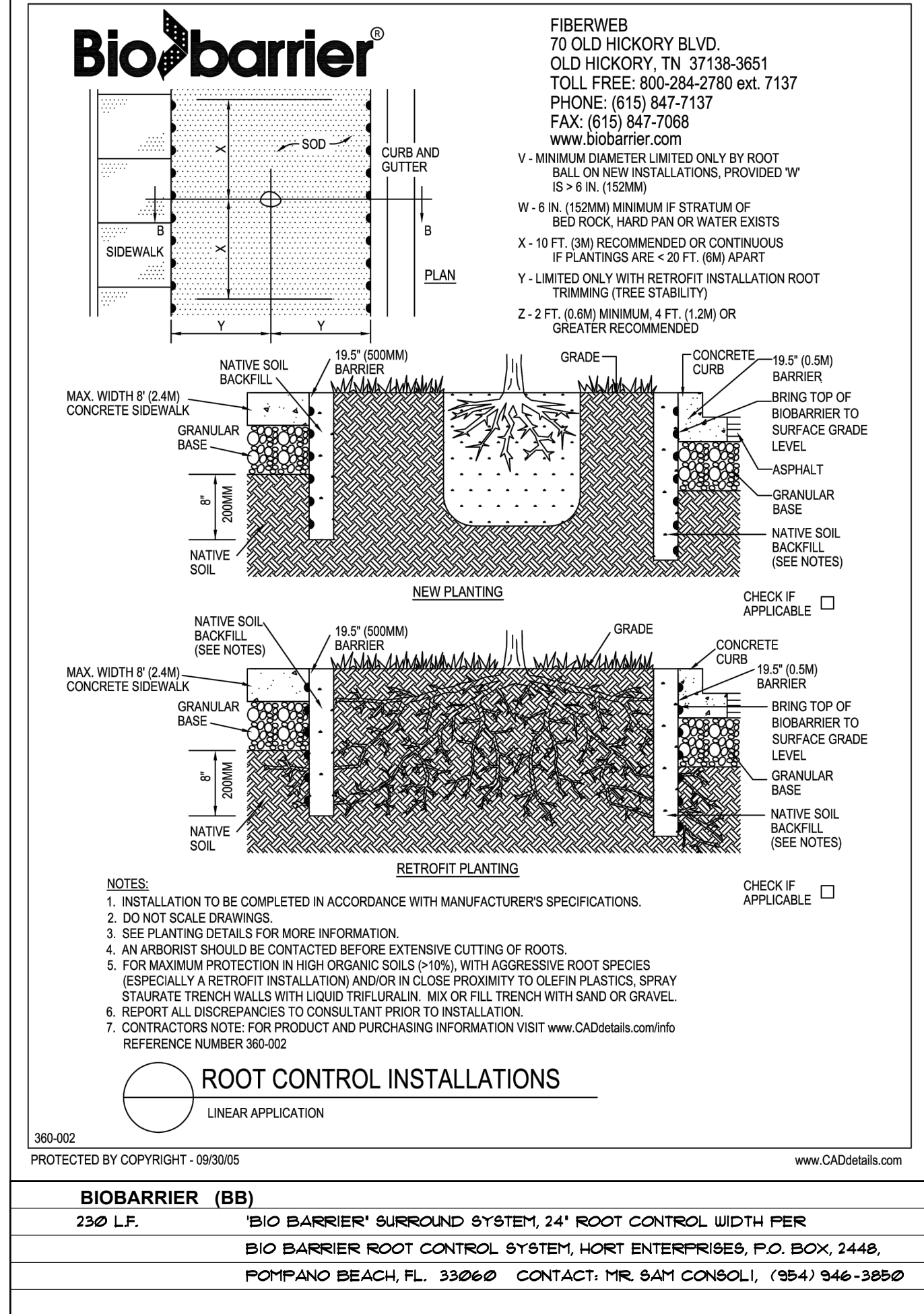
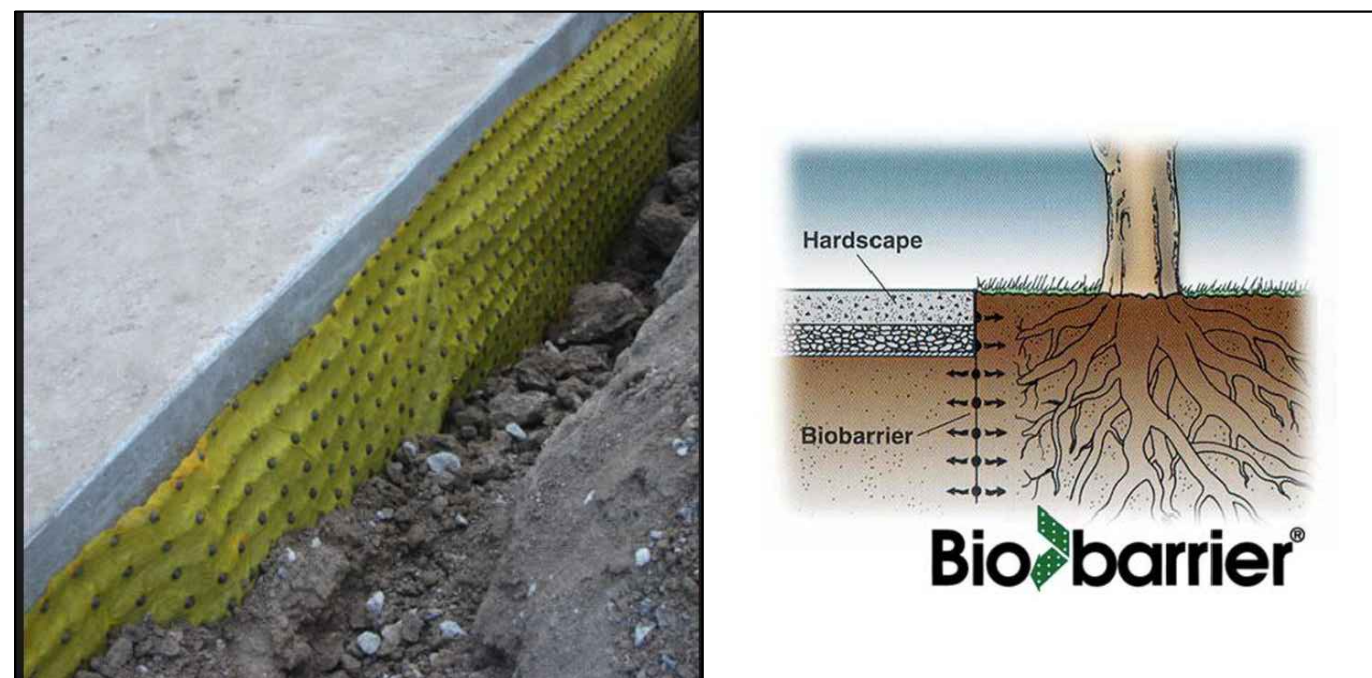
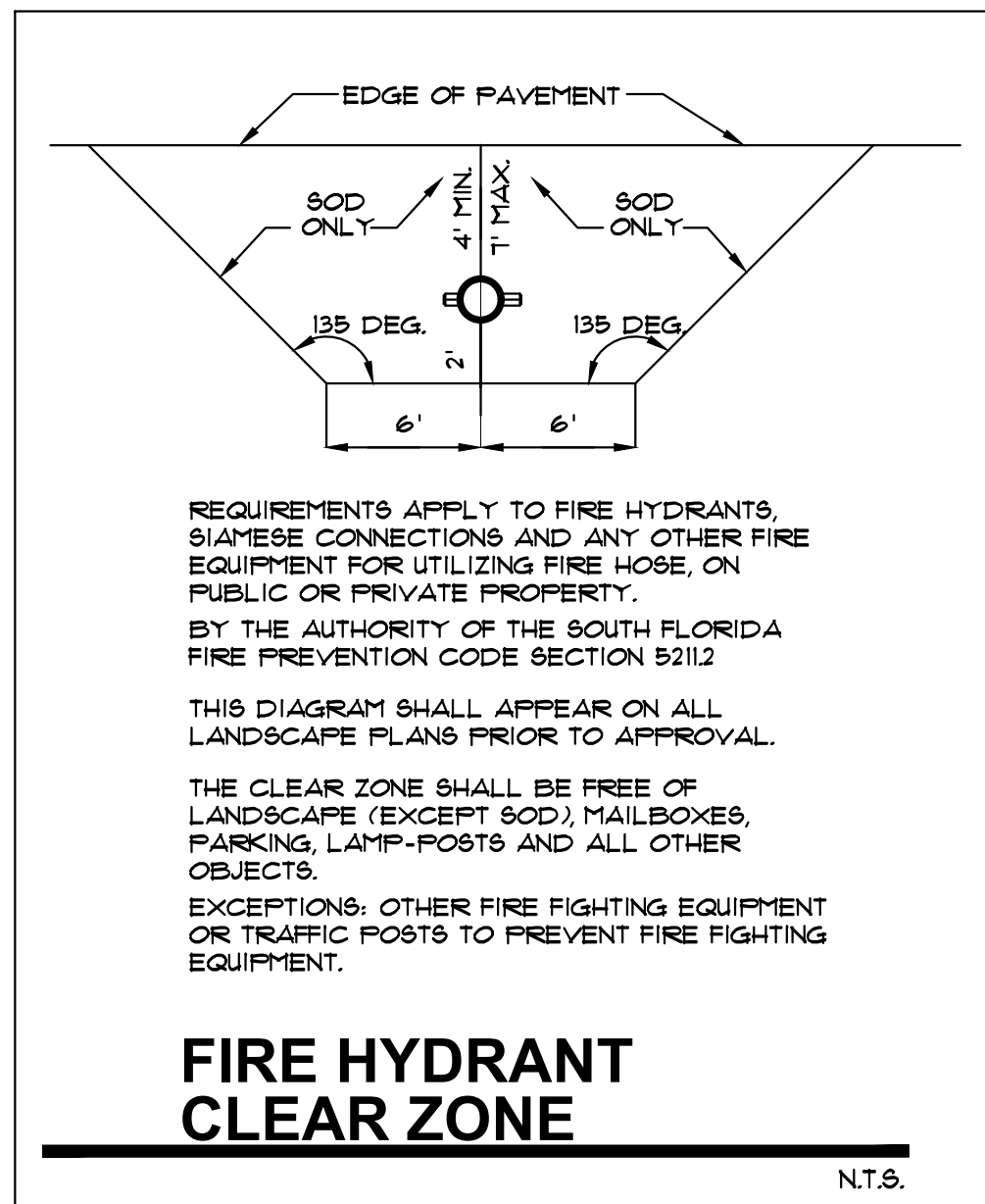
## TREE DISPOSITION DETAILS, SPECIFICATIONS

12/15/2023



PLANTLIST			
SYM.	NATIVE	NAME	BOTANICAL NAME
SPECIFICATION			
EXISTING TREES TO REMAIN			
SEE TREE DISPOSITION PLAN, SHEET TD-1			
** "AT TIME OF PLANTING" FOR ALL PLANTINGS.			
ALL LANDSCAPING TO BE TRIMMED AND WELL MAINTAINED.			
LANDSCAPING TO NOT OBSTRUCT NATURAL SURVEILLANCE (VISIBILITY) OF THE AREA			
PLANT HT. APPROPRIATE ALONG WALKWAYS TO NOT OBSTRUCT VISIBILITY			
PLANTS/SHRUBBERY SHOULD NOT BE MORE THAN 2' IN HEIGHT (EXCEPT CODE REQUIRED BUFFER PLANTINGS)			
ALL TREES TO PROVIDE 6' CLEAR TRUNK VISIBILITY			
** STREET TREE REQUIREMENT			
LIW	1	CRAPE MYRTLE 'NATCHEZ'	Lagerstroemia indica 'Natchez'
QV6	2	LIVE OAKS	Quercus virginiana
12' x 5' spr, STANDARD, SINGLE LEADER, 7' cal.			
16' x 1' spr, 4' DBH, 6' c.t.			
** LOT TREES			
CD	YES	8	PIGEON PLUM
CET	YES	2	SILVER BUTTWOOD
CG12	YES	9	SMALL LEAF CLUSIA
ED		6	JAPANESE BLUEBERRY
14' x 6' spr, 3' DBH			
12' x 5' spr, 3' cal, 6' c.t.			
12' x 6' - 8', 2' DBH, full			
6TD, 12' HT, X 6', 2' DBH			
** PALMS			
VM2	2	MONTGOMERY PALMS	Veitchia montgomeryana
DBL TK, FG, 14' o.a., full hd.			
**SHRUBS			
CIT	YES	45	COCOPLUM
CR6	YES	90	SMALL-LEAVED CLUSIA
HPD	YES	15	DWARF FIREBUSH
1 GAL., 24' x 24' full, 24' o.c.			
6' ht., 36' ØC, FTB.			
3 gal., 18' x 18', 24' o.c.			
** ACCENT PALMS			
CAT	19	CAT PALMS	Chamaedorea cataractarum
MON	20	MONSTERA DELICIOSA	Monstera deliciosa
1 gal., 30' x 24', 36' o.c.			
3 gal., 18' x 18', 24' o.c., full			
** GROUNDCOVERS			
BL3	205	BLUEBERRY FLAX LILY	Dianella tasmanica
FTF	YES	100	FISHTAIL FERN
NEP	YES	250	BOSTON FERN
3 gal., 12' x 18', 18' o.c., full			
1 gal., 12' x 12' full, 14' o.c.			
1 gal., 12' x 12' full, 14' o.c.			
SOD			
SOD	938	s.f.	'FLORATAM' ST. AUGUSTINE
SOD	836	s.f.	'FLORATAM' ST. AUGUSTINE
Stenotaphrum secundatum			
SOLID SOD, price per s.f.			
SOLID SOD, price per s.f.			
TOPSOIL:			
TOPSOIL:SAND MIX			
50:50 TOPSOIL:SAND MIX, SPREAD IN PLACE			
15 c.y.			
TREES, PALMS, SHRUBS AND GROUNDCOVERS			
10 c.y.			
AREA TO BE SODDED WITH A 2' DEPTH OF TOPSOIL SPREAD IN PLACE			
MULCHING:			
3' DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL			
30 c.y.			
RECYCLED DARK BROWN			
PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION			
TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR			
TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS			
INSTALLATION WATERING:			
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED,			
AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY			
THE LOCAL GOVERNING AGENCY AND THE OWNER			

1914 PIERCE ST., HOLLYWOOD, FL. 33020			
LANDSCAPE SITE CALCULATIONS			
7/27/2023			
TOTAL SITE AREA			
GROSS SITE AREA		0.3755 AC	16,360 S.F.
NET SITE AREA		0.3755 AC	16,360 S.F.
LANDSCAPE REQUIREMENTS			
LANDSCAPING COMPLIES WITH CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS, ARTICLE 9.			
STREET TREES			
1 tree / 30 l.f.			
S. PIERCE ST		3	3
88 l.f. / 30 l.f. = 3 TREES			1 LIW + 2 QV6
120' - 32' (DRIVEWAYS) = 88 L.F.			
LANDSCAPE BUFFERS			
A. EAST BUFFER		7	7
136.33 l.f. / 20 l.f. = 7 TREES			4 CD + 3 ED
B. WEST BUFFER		7	7
136.33 l.f. / 20 l.f. = 7 TREES			4 CD + 3 ED
C. SOUTH BUFFER		6	6
1 tree / 20 l.f. when abutting an alley			6 CG12
120 l.f. / 20 l.f. = 6 TREES			
INTERIOR PARKING SPACE		N/A	N/A
1 tree / TERMINAL ISLAND			
GARAGE PARKING-NO SURFACE PARKING SPACES			
D. OPEN SPACE		4	5
1 tree / 1,000 s.f. of pervious area of property			3 CG12 + 2 CET
3,963 S.F. @ 1/1000 s.f.			
TOTAL		27	28
NATIVE REQUIREMENT			
TREES-60% NATIVE		17	21
28 REQUIRED TREES X 60% = 9 NATIVE TREES/PALMS			
SHRUBS-50% NATIVE		145	228
50% NATIVE SHRUBS			



## LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERRIS AND OTHER LANDSCAPE AREAS.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT.
- OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 NO CUTS AS REQUIRED BY LAW.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.
- SOD SHALL BE ARGENTINE 'BAHIA' OR ST. AUGUSTINE 'FLORATAM' AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FOOT. SOD SHALL CARRY A 5-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROUERS LANDSCAPE ASSOCIATION (FNLGA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP, AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLOORS ARE APPENDIX 15" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.
- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS 'TENA' PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRIPLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
- ALL EXISTING TREES AND PALMS SHALL BE 'LIFTED AND THINNED' TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN 'TREE REMOVAL PERMIT' FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
- ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED-IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL GOVERNING AGENCY, GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND IRRIGATION CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.

## PROFESSIONAL SEAL:



## PROJECT:

NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020

## DATE ISSUE DESCRIPTION

DATE	ISSUE DESCRIPTION

## DRAWING INFORMATION:

SHEET TITLE:

DELIVERY DATE: 03.28.2023

DRAWN BY: J.B.

CHECKED BY: A.L.L.

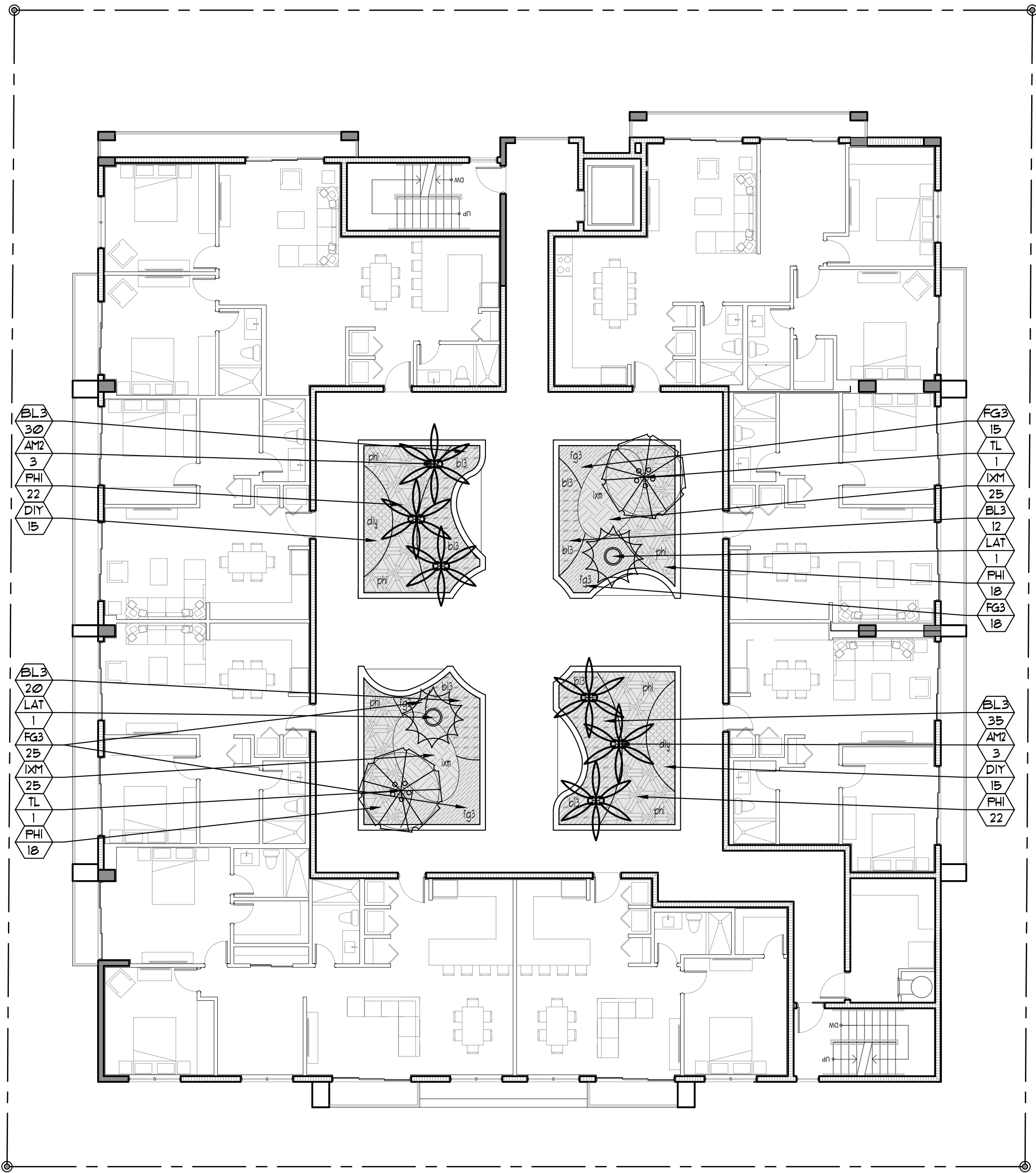
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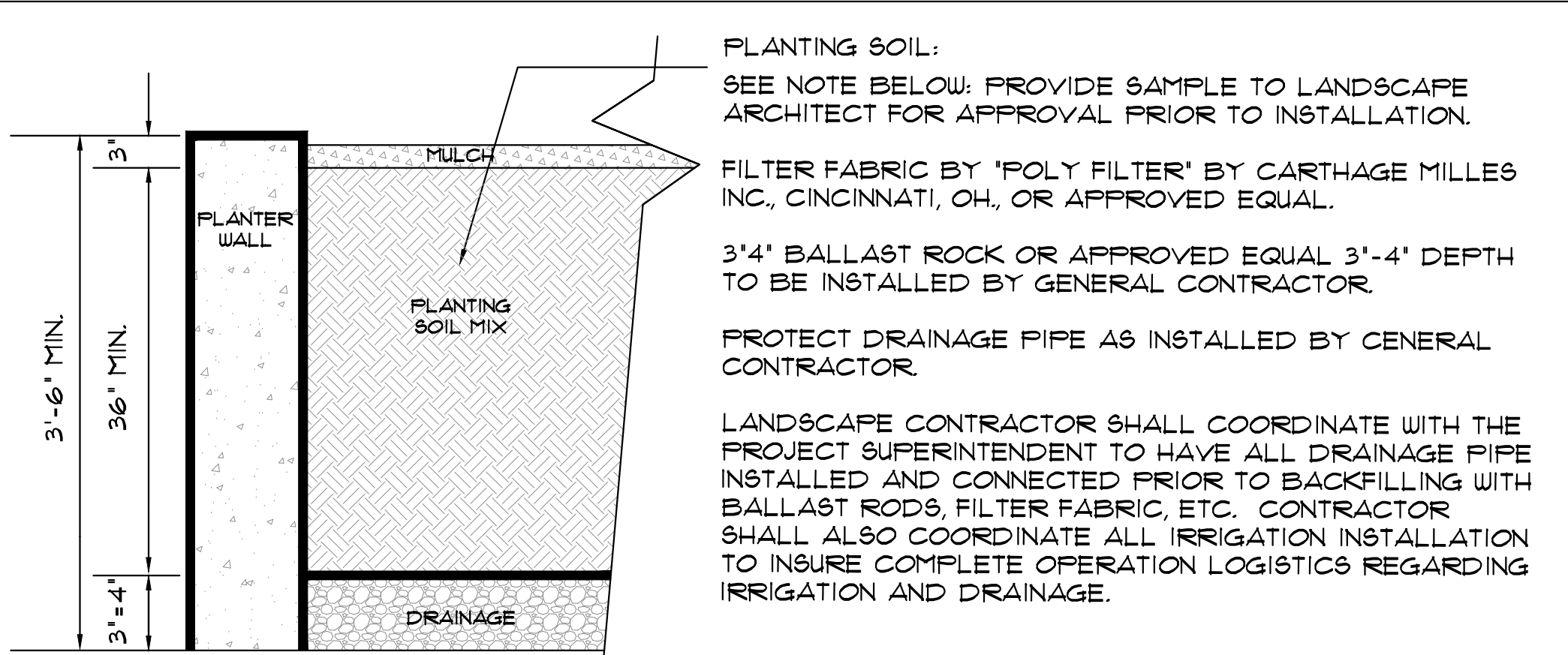
**L-2**

OF

PIERCE ST.



ALLEY



PLANTING SOIL:  
SEE NOTE BELOW. PROVIDE SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

FILTER FABRIC BY 'POLY FILTER' BY CARTHAGE MILLES INC., CINCINNATI, OH, OR APPROVED EQUAL.

3'-4" BALLAST ROCK OR APPROVED EQUAL 3'-4" DEPTH TO BE INSTALLED BY GENERAL CONTRACTOR.

PROTECT DRAINAGE PIPE AS INSTALLED BY GENERAL CONTRACTOR.

LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE PROJECT SUPERINTENDENT TO HAVE ALL DRAINAGE PIPE INSTALLED AND CONNECTED PRIOR TO BACKFILLING WITH BALLAST ROCKS, FILTER FABRIC, ETC. CONTRACTOR SHALL ALSO COORDINATE ALL IRRIGATION INSTALLATION TO INSURE COMPLETE OPERATION LOGISTICS REGARDING IRRIGATION AND DRAINAGE.

TYPICAL LANDSCAPE PLANTER

N.T.S.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE PLANTERS WITH AN APPROVED SOIL MIX.

CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT A SOIL SAMPLE AND A SOIL MATERIAL RATIO CHART FOR APPROVAL PRIOR TO INSTALLATION OF THE SOIL. SOIL MIX SHALL BE A SPECIAL MIX TO PROVIDE POROSITY FOR DRAINAGE, AND CONTAIN AMENDMENTS ( PERLITE OR SIMILAR) TO REDUCE SOIL DENSITY AND WEIGHT. SOIL MIX SHALL BE AS PER ATLAS FEAT AND SOIL OR TOM WATERS INC. SOIL MIX OR AN APPROVED EQUAL TO CONTAIN EQUAL OR FORMULATED RATIOS OF THE FOLLOWING:

1. SILICA
2. SOIL
3. COMPOST
4. PERLITE
5. SHAVINGS

THE CONTRACTOR SHALL BE RESPONSIBLE TO FILL THE PLANTING MIX TO A DEPTH WHICH WILL BE 4" FROM THE TOP OF THE PLANTING WALL. SOIL & BALLAST ROCK QUANTITIES ARE APPROX. & WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR FINAL GRADE AS PER THIS NOTE.

WALL IMPERMEABILIZATION, DRAINS AND EYE HOOKS SHALL BE PREPARED & INSTALLED BY THE GENERAL CONTRACTOR.

THE LANDSCAPE AND IRRIGATION CONTRACTORS SHALL COORDINATE ALL WORK WITH THE PROJECT MANAGER AND ALL PERTINENT SUBCONTRACTORS TO INSURE A PROFESSIONAL EXPEDITIOUS PROCESS.

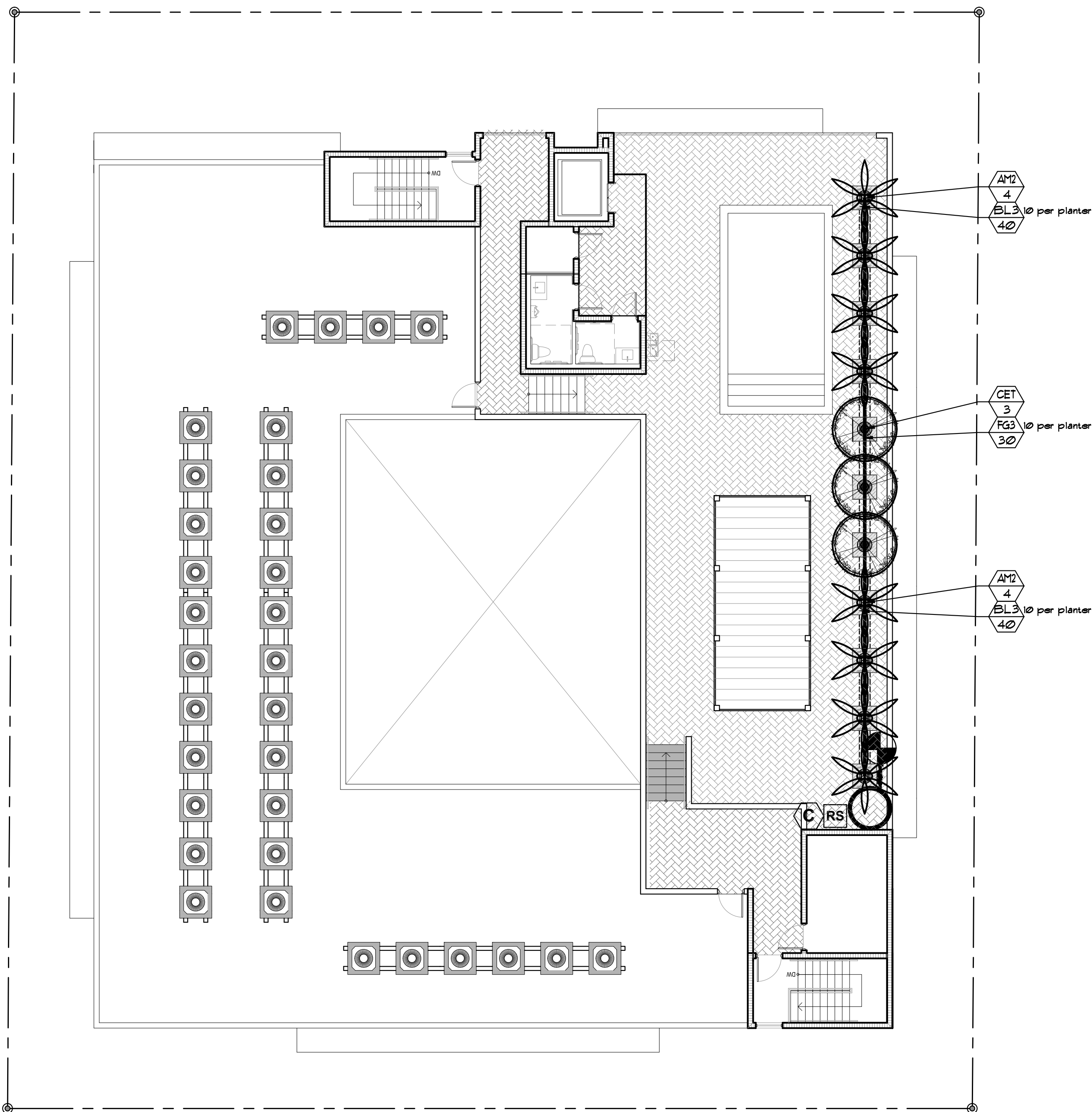
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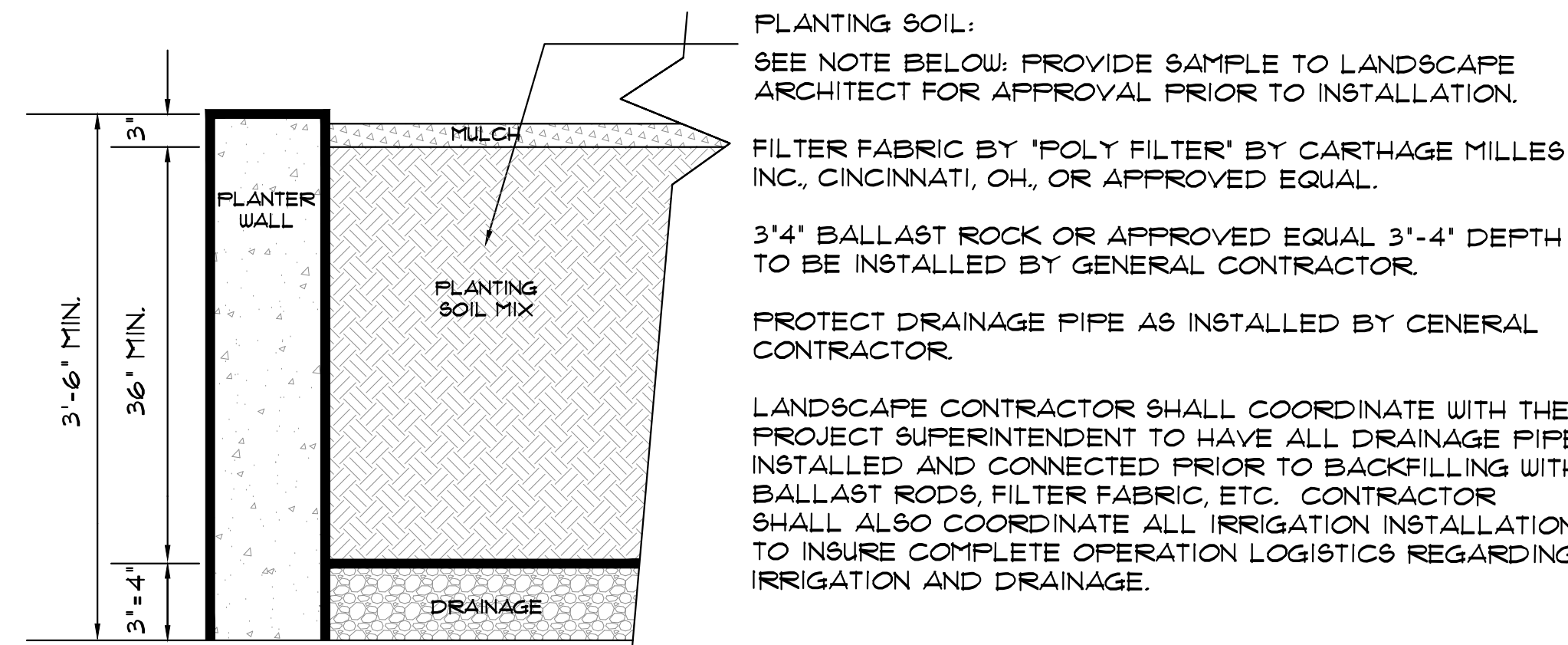
SECOND LEVEL COURTYARD PLANTLIST				
SYM.	NATIVE	NAME	BOTANICAL NAME	SPECIFICATION
** TREES				
TL	2	TREE LIGUSTRUM	Ligustrum japonicum	8' x 8' full crown
** PALMS				
AM2	6	CHRISTMAS PALM	Adonidia merrillii	FG, 10' o.a., DBL, full head
LAT	2	BLUE LATAN PALMS	Latania loddigesii	10' o.a., 6' C.T.
** ACCENTS AND GROUNDCOVERS				
BL3	30	BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal, 12' x 18', 18' o.c., full
DIY	30	YELLOW AFRICAN IRIS	Dietes bicolor	3 gal, 12' x 18', 18' o.c., full
FG3	58	'GREEN ISLAND' FICUS	Ficus 'Green Island'	3 gal, 18' x 18', 18' o.c., full
IXM	50	IXORA 'MAUI'	Ixora spp. 'Maui'	3 gal, 18' x 18', 18' o.c., full
PHI	80	PHILODENDRON	Philodendron bipinn. selloum	3 gal, 24' x 24', 24' o.c., full
TOPSOIL:				
TOPSOIL:SAND MIX				
102 c.y.	2100 MIX FOR PLANTING-PER ATLAS FEAT AND SOIL FOR PLANTER BOXES			
BASED UPON 36' DEPTH, X 921 SF. / 21 = 102 C.Y.				
MULCHING:				
10 c.y.	DRK BRUN RECYCLED MULCH	3' DEPTH, SPREAD IN PLACE, ATLAS FEAT AND SOIL		
PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION				
TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR				
TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS				
UPON FINAL INSPECTION AND APPROVAL.				
INSTALLATION WATERING:				
CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED,				
AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY				
THE LOCAL GOVERNING AGENCY AND THE OWNER.				



PIERCE ST.



ALLEY



PLANTING SOIL:  
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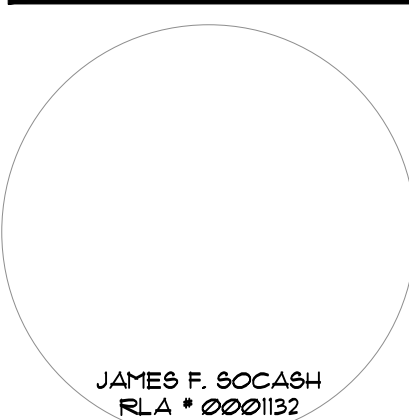
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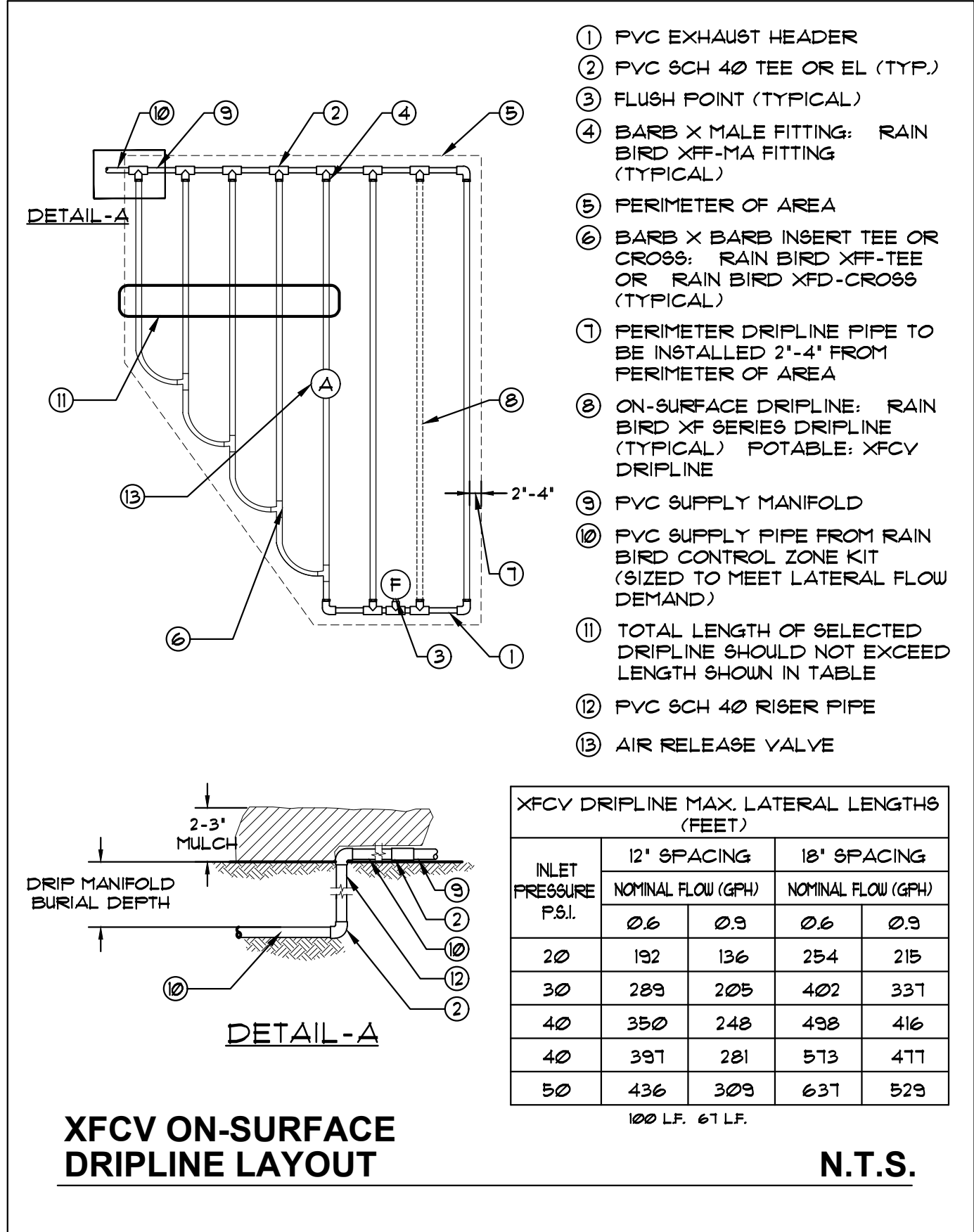
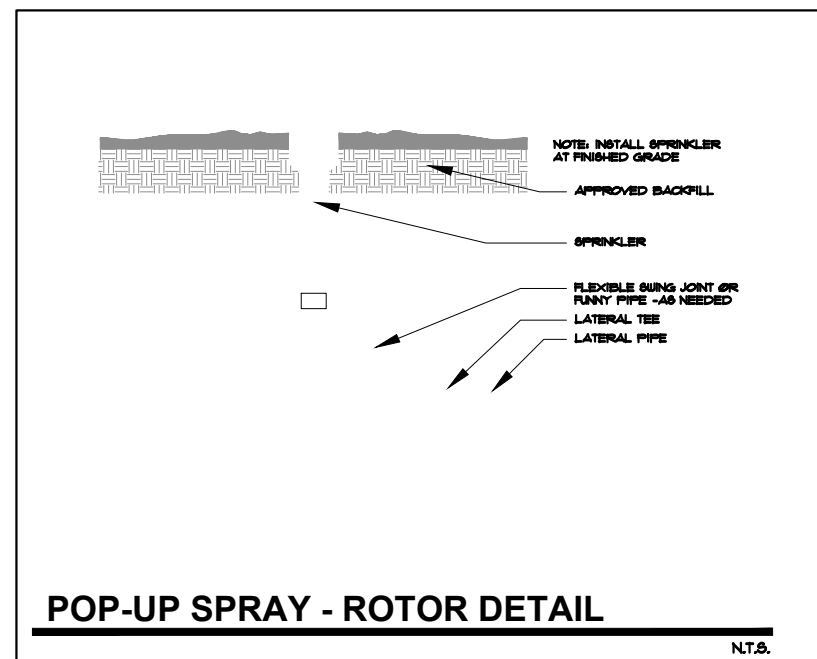
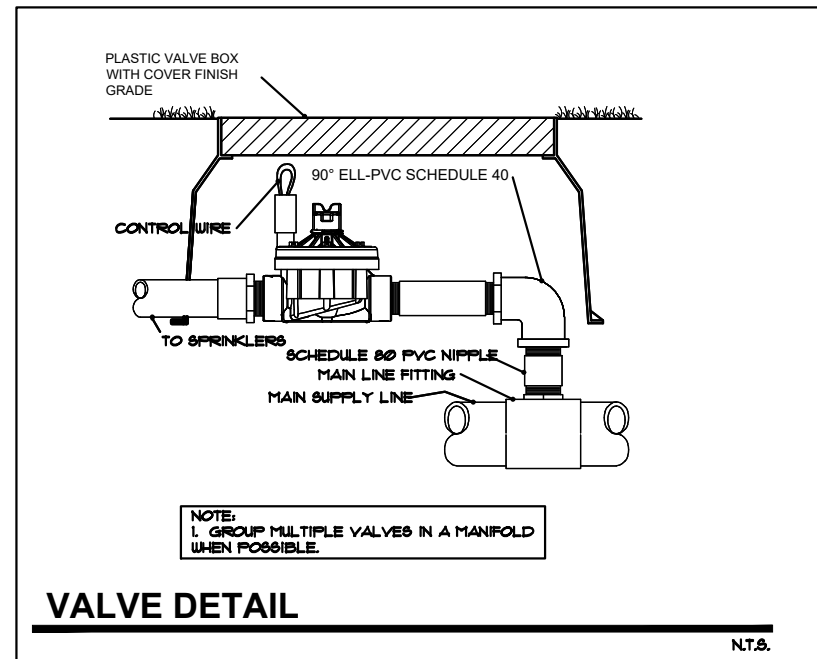
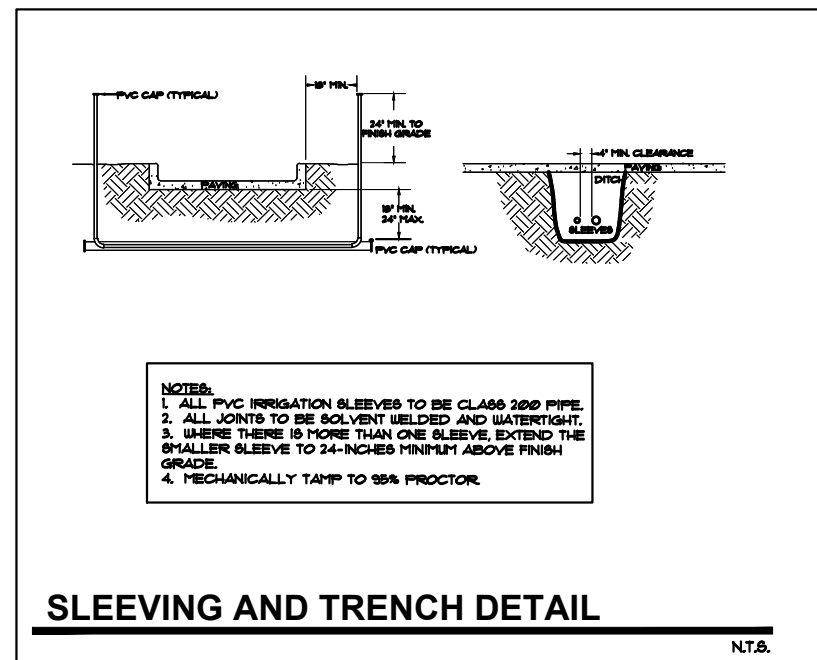
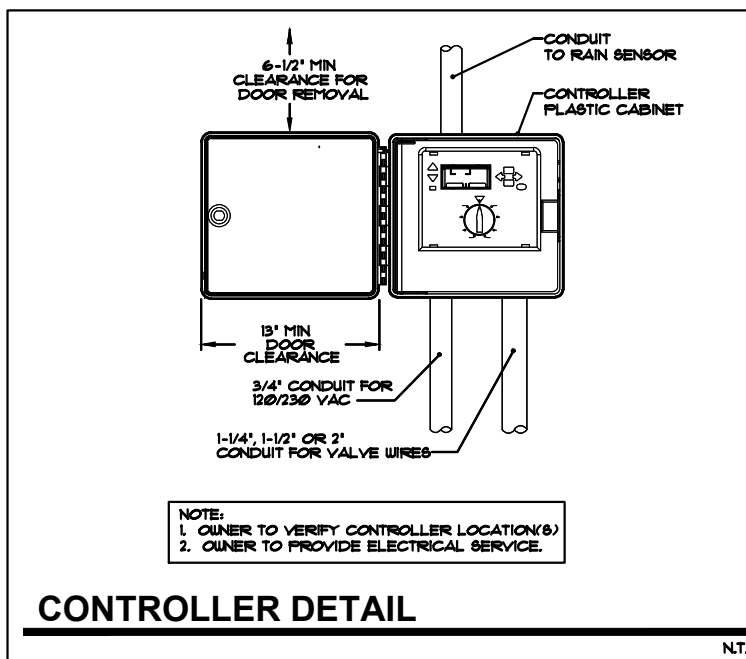
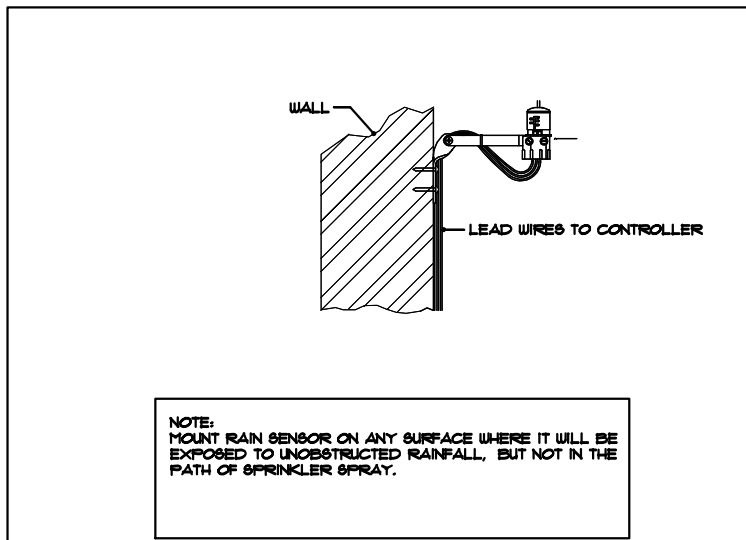
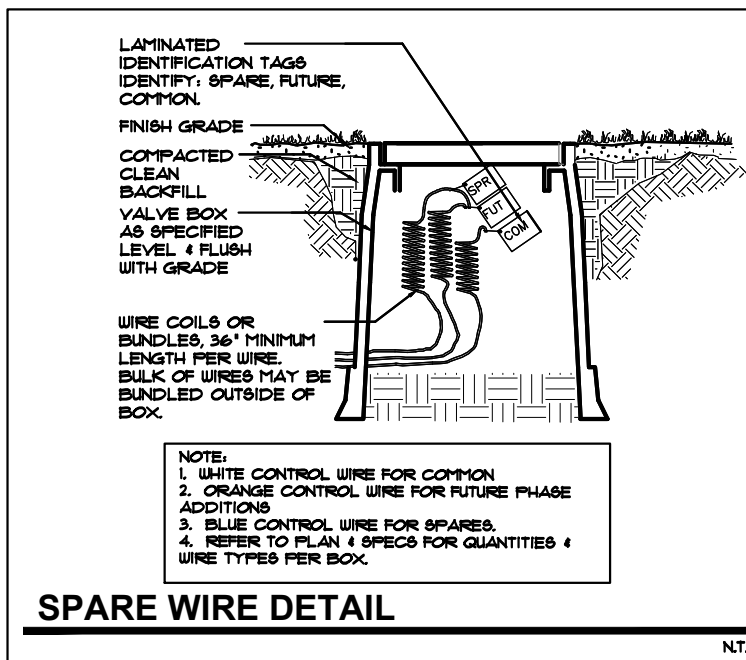
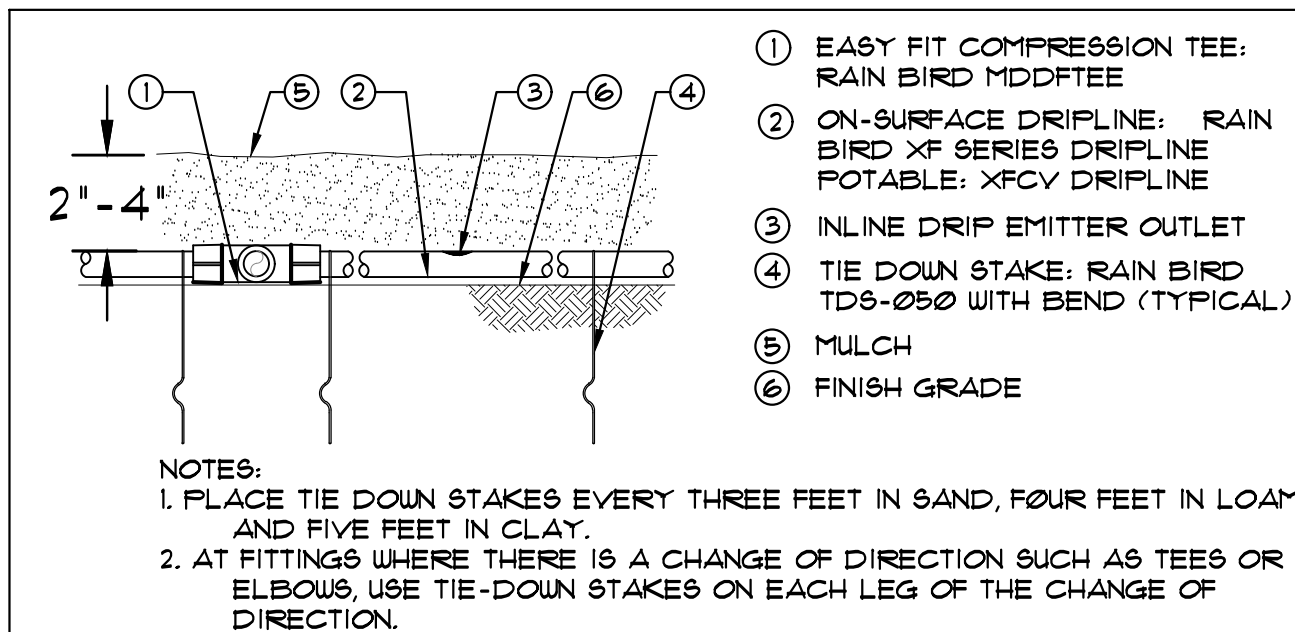
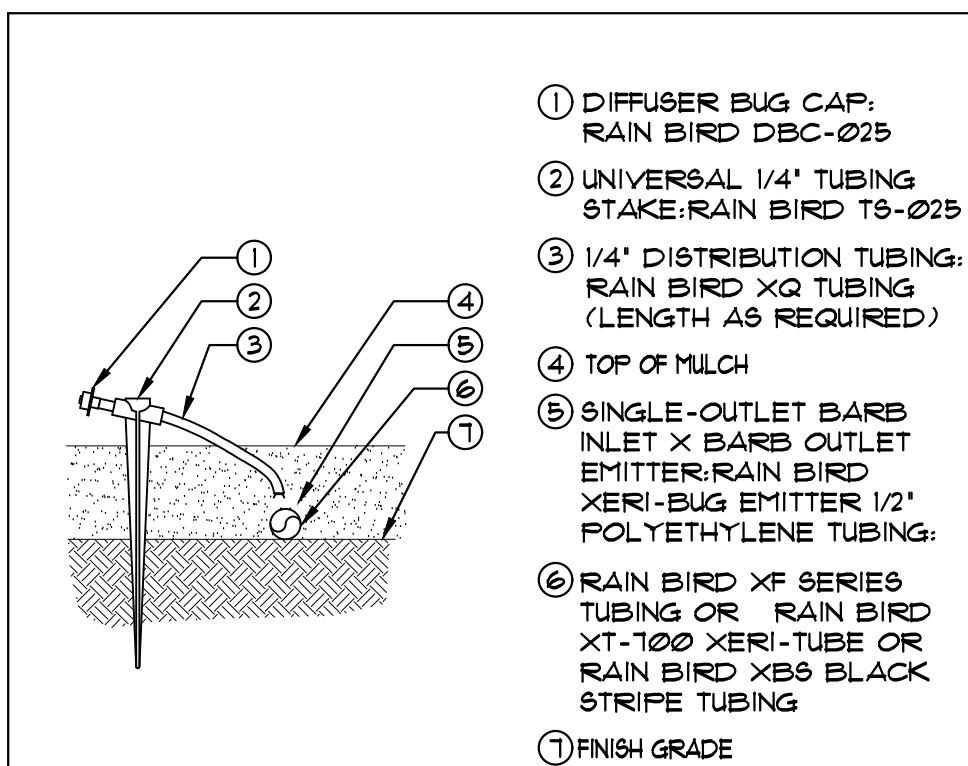
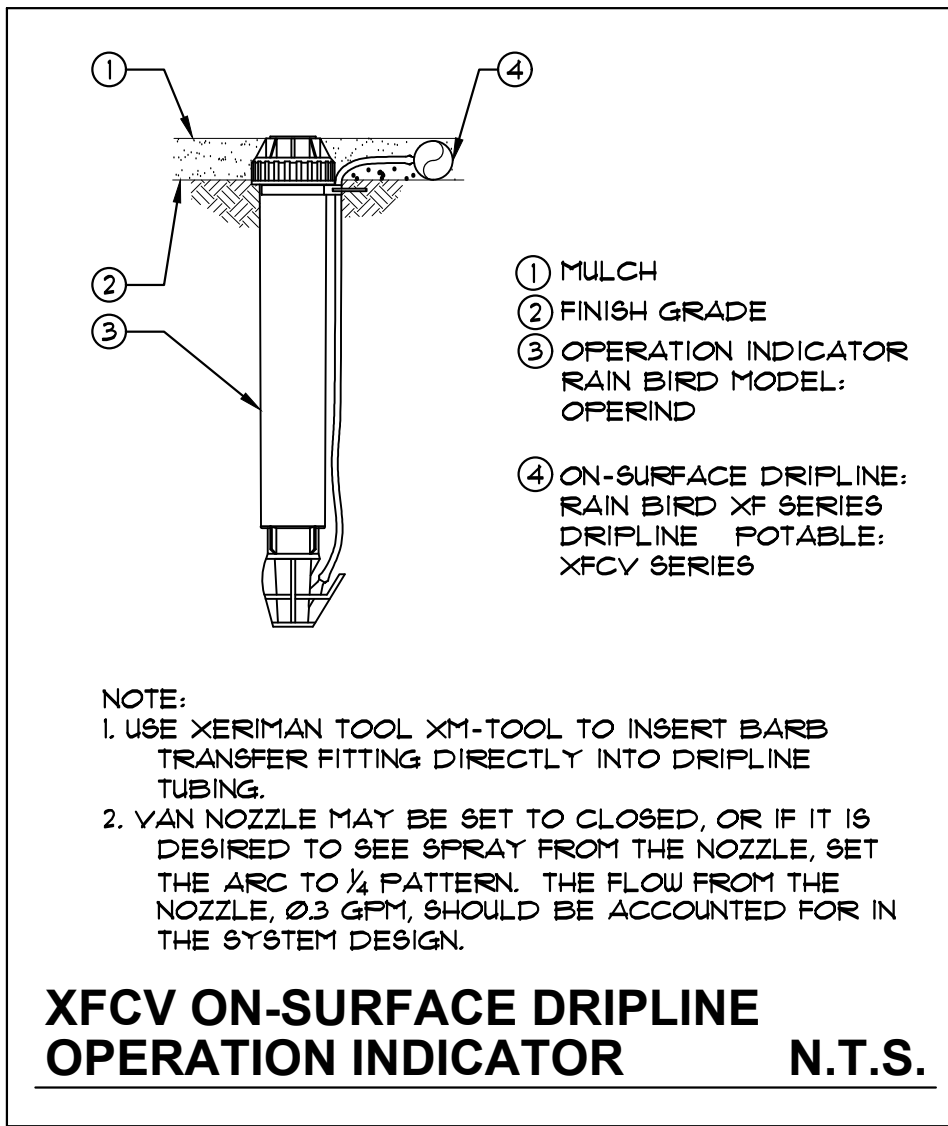
## ROOF-POOL LEVEL PLANTLIST

SYM.	NATIVE	*	NAME	BOTANICAL NAME	SPECIFICATION
** TREES					
CET	YES	3	SILVER BUTTONWOOD	Conocarpus erect. 'Sericeus'	10' x 6', STANDARD
** PALMS					
AM2		8	CHRISTMAS PALM	Adonidia merrillii	FG, 10' o.s., DBL., full head
** ACCENTS AND GROUNDCOVERS					
BL3	80		BLUEBERRY FLAX LILY	Dianella tasmanica	3 gal, 12' x 18', 18' o.c., full
FG3	30		'GREEN ISLAND' FIGUS	Ficus 'Green Island'	3 gal, 18' x 18', 18' o.c., full
TOPSOIL:					
			TOPSOIL:SAND MIX		
	11 c.y.		2100 MIX* FOR PLANTING-PER ATLAS FEAT AND SOIL FOR PLANTER BOXES		
			BASED UPON 36" DEPTH, X 99 SF. / 27 = 11 C.Y.		
MULCHING:					
	1 c.y.		DRK BRWN RECYCLED MULCH	3' DEPTH, 6"FEED IN PLACE, ATLAS FEAT AND SOIL	
				PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION	
	---		TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR		
			TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS		
			UPON FINAL INSPECTION AND APPROVAL		
INSTALLATION WATERING:					
			CONTRACTOR SHALL THOROUGHLY WATER-IN ALL PLANTINGS WHEN PLANTED,		
			AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY		
			THE LOCAL GOVERNING AGENCY AND THE OWNER		





GENERAL IRRIGATION NOTES	
1.	IRRIGATION CONTRACTOR SHALL PROVIDE, FURNISH AND INSTALL A FULLY AUTOMATIC IRRIGATION SYSTEM WHICH WILL COMPLY WITH ALL LOCAL CODE, STATE CODE & FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) REQUIREMENTS.
2.	THE IRRIGATION CONTRACTOR SHALL SCHEDULE AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE OWNER & THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION OF THE IRRIGATION SYSTEM.
3.	CONTRACTOR SHALL INSTALL A POP-UP TYPE HEADS. SPRAY TYPE SHALL BE ROTOR, IMPACT, SPRAY OR BUBBLER AND SHALL BE SO INSTALLED TO NOT CAUSE ANY OVERSPRAY ONTO ANY PAVED SURFACES, I.E. ROADS, SIDEWALKS, ETC. ALL FIXTURES SHALL BE "TORO", "RAINBIRD" OR AN APPROVED EQUAL. ALL WORK SHALL BE DONE IN A PROFESSIONAL MANNER AND AS PER THE MANUFACTURER'S SPECIFICATIONS. SPRAY HEADS SHALL BE 4" POP-UPS FOR SODDED AREAS, 6" FOR GROUNDCOVER PLANTINGS AND 12" POP-UPS FOR ALL PLANTING AND SHRUB BEDS. SPRAY HEADS ON RISERS SHALL ONLY BE PERMITTED PER THE LAND. ARCH.
4.	ALL MAIN SUPPLY LINE SHALL BE PVC SCHEDULE 40 PIPE. ALL PVC FITTINGS SHALL BE SCHEDULE 40. THE MAIN LINE IS SHOWN SCHEMATICALLY. LOCATE MAIN LINES IN LANDSCAPE AREAS WHERE POSSIBLE AND SLEEVE UNDER PAVEMENT WHERE NECESSARY. MAIN LINES SHALL BE IN THE SAME TRENCH WITH LATERAL LINES WHERE POSSIBLE.
5.	CONTRACTOR SHALL CONSTRUCT CONCRETE THRUST BLOCKS, 12" X 12" X 12" AT ALL "T" INTERSECTIONS OR BENDS 45 DEGREES OR GREATER ON THE MAIN LINE.
6.	MINIMUM PIPE SIZE SHALL BE 3/4" PIPE.
7.	CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID & PROTECT ALL UTILITY LINES, DUCTS, BURIED CABLES AND OTHER UTILITIES IN THE AREA. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR, LIABILITY AND COSTS INCURRED IN THE DAMAGE OR DESTRUCTION OF SAID UTILITIES. CALL U.N.C.L.E. 1(800) 432-8770, 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK FOR PROPER UTILITY LOCATION AND CLEARANCES.
8.	THE CONTRACTOR SHALL SECURE ALL WORK WITH THE PROJECT MANAGER, LANDSCAPE CONTRACTOR AND ALL OTHER CONTRACTORS TO INSURE PROPER INSTALLATION, SCHEDULING AND PROCEDURE.
9.	THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT MANAGER TO PROVIDE ELECTRICAL SUPPLY TO THE CONTROLLER, PUMP, ETC. AS NEEDED.
10.	THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AS MAY BE DEEMED NECESSARY TO PERFORM THE WORK. ENTIRE SYSTEM SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL AND STATE CODES. THE OWNER IS RESPONSIBLE FOR ALL PERMIT FEES.
11.	ALL SLEEVES UNDER PAVEMENT SHALL BE BURIED PER FL. BLDG CODE, APPENDIX "F". ALL LATERAL SLEEVES UNDER SIDEWALKS SHALL BE BURIED BELOW WALKWAYS AND SHALL BE SCHEDULE 40 PVC. ALL SLEEVING SHALL BE SCHEDULE 40 PVC PIPE & SHALL BE 2 TIMES THE MAIN OR LATERAL PIPE SIZE.
12.	THE CONTRACTOR SHALL CONNECT THE MASTER VALVE (WHEN APPLICABLE) & ALL ELECTRIC VALVES TO THE CONTROLLER & PROVIDE PROPER SYNCHRONIZATION.
13.	ALL LOW-VOLTAGE ELECTRIC VALVES SHALL BE #14 DIRECT BURIAL. ALL WIRES UNDER ROADS TO BE PLACED IN A SEPARATE 1" SLEEVE. CONTRACTOR SHALL PROVIDE A MINIMUM OF 2 EXTRA WIRES FOR EMERGENCY POST-INSTALLATION WIRING.
14.	ALL LINE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL ADJUST TRENCHING AND LOCATION OF SPRAY HEADS IN THE FIELD FOR EXISTING CONDITIONS, WALKS, UTILITIES, STRUCTURES & PLANTINGS TO PROVIDE AND INSURE 100% COVERAGE AND 100% OVERLAP.
15.	CONTRACTOR SHALL PROVIDE A ONE-YEAR GUARANTEE ON ALL PARTS AND A 90-DAY GUARANTEE ON LABOR FROM THE DATE OF FINAL ACCEPTANCE.
16.	THE IRRIGATION CONTRACTOR SHALL RECORD ALL CHANGES MADE TO THE IRRIGATION SYSTEM DURING INSTALLATION & PROVIDE AN AS-BUILT DRAWING TO THE OWNER'S REPRESENTATIVE UPON COMPLETION AND ACCEPTANCE OF THE WORK.
17.	THE IRRIGATION CONTRACTOR SHALL INSTRUCT THE OWNER OR THE OWNER'S REPRESENTATIVE IN THE COMPLETE OPERATION & MAINTENANCE OF THE SYSTEM. THE CONTRACTOR SHALL FURNISH TWO (2) COPIES OF AN IRRIGATION SYSTEM MANAGEMENT MANUAL PREPARED BY THE MANUFACTURER & THE SYSTEM INSTALLER.
18.	THE IRRIGATION CONTRACTOR SHALL CHECK AND ADJUST THE SYSTEM AT THE END OF THE 90-DAY PERIOD, FROM THE DATE OF FINAL ACCEPTANCE.
19.	ANY IRRIGATION PIPING WITHIN THE CONFINES OF ANY BUILDING SHALL BE CLEARLY MARKED "NON POTABLE WATER".
20.	TREE AND PALM PLANTINGS IN RIGHTS OF WAYS SHALL HAVE ONE FLOOD BUBBLER PER TREE OR PALM. COORDINATE PIPING AND SEEVING AS NEEDED.



PIERCE ST.

ALLEY

**IRRIGATION CONTROLLER**

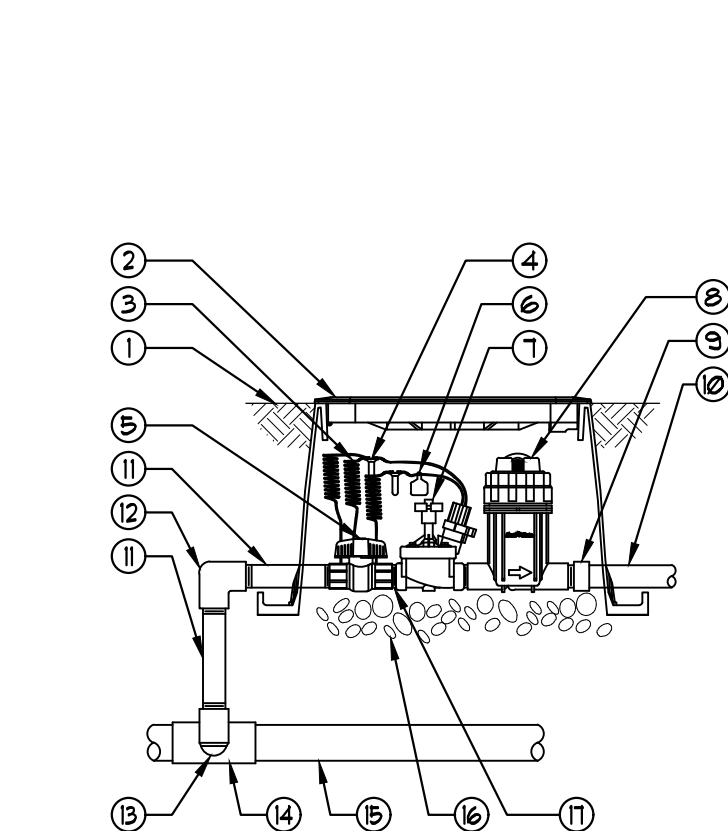
RAINBIRD ESP-LXME MODULAR  
W/ RAIN SENSOR ATTACHED TO  
CONTROLLER

**POINT OF CONNECTION  
(APPROX.)**

CONNECT TO POTABLE WATER SOURCE AS  
COORDINATED-INSTALL REDUCED  
PRESSURE ZONE BACKFLOW DEVICE (1")...  
ROUTE 1" MAIN SUPPLY LINE TO  
IRRIGATION VALVES THROUGH PLANTERS IF  
POSSIBLE OR UNDERNEATH FLOOR SLAB.  
IMPERMEABILIZE ANY PERFORATIONS AS  
NEEDED. COORDINATE WITH PROJECT  
SUPERINTENDENT PRIOR TO COMMENCEMENT  
OF WORK.

**1" REDUCED PRESSURE ZONE (RPZ)  
BACKFLOW PREVENTION DEVICE**

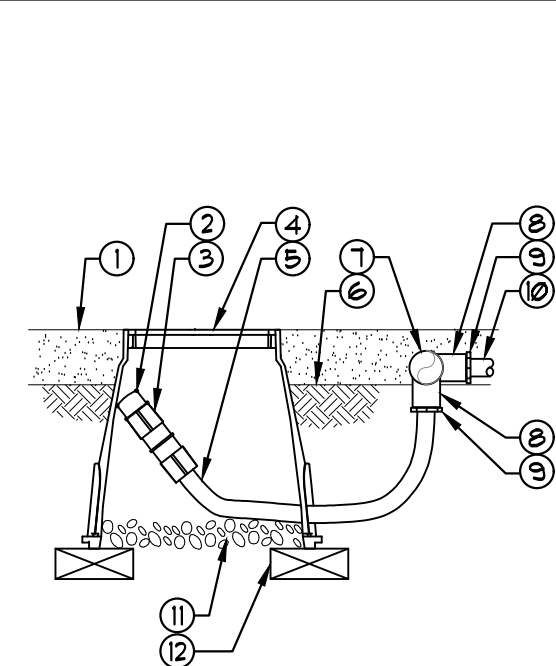
COORDINATE LOCATION WITH  
PROJECT  
SUPERINTENDENT



**XCV ON-SURFACE  
DRIPLINE FLUSH POINT  
WITH EASY FIT COMPRESSION FITTINGS**

N.T.S.

- 1 FINISH GRADE/TOP OF MULCH
- 2 VALVE BOX WITH COVER:RAIN BIRD VB-STD
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 5 1-INCH BALL VALVE (INCLUDED IN XCV-FRB-100-COM KIT)
- 6 ID TAG
- 7 REMOTE CONTROL VALVE: RAIN BIRD FESB (INCLUDED IN XCV-FRB-100-COM KIT)
- 8 PRESSURE REGULATING QUICK CHECK BASKET FILTER: RAIN BIRD FRB-QKCHK-100 (INCLUDED IN XCV-FRB-100-COM KIT)
- 9 PVC SCH 40 FEMALE ADAPTOR
- 10 LATERAL PIPE
- 11 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 12 PVC SCH 40 ELL
- 13 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 14 PVC SCH 40 TEE OR ELL
- 15 MAINLINE PIPE
- 16 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 17 PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCV-FRB-100-COM KIT)



**XFCV ON-SURFACE  
DRIPLINE INSERT ADAPTER**

N.T.S.

- 1 EASY FIT COMPRESSION TEE: RAIN BIRD MDDTEE
- 2 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV DRIPLINE
- 3 INLINE DRIP EMITTER OUTLET
- 4 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
- 5 MULCH
- 6 FINISH GRADE
- 7 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES BLANK TUBING
- 8 RATCHET CLAMP (INCLUDED WITH ADAPTER)
- 9 INSERT ADAPTER FOR PVC PIPE: RAIN BIRD XFD-INVPC
- 10 PVC LATERAL PIPE

NOTES:  
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.  
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOUS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

**XFCV ON-SURFACE  
DRIPLINE INSERT ADAPTER**

N.T.S.

**IRRIGATION LEGEND**



POINT OF CONNECTION (APPROXIMATE)  
CONNECT TO POTABLE WATER SOURCE  
AS COORDINATED-INSTALL REDUCED  
PRESSURE ZONE BACKFLOW DEVICE (1")...  
ROUTE 1" MAIN SUPPLY LINE TO  
IRRIGATION VALVES THROUGH PLANTERS  
IF POSSIBLE OR UNDERNEATH FLOOR  
SLAB.  
IMPERMEABILIZE ANY PERFORATIONS AS  
NEEDED. COORDINATE WITH PROJECT  
SUPERINTENDENT PRIOR TO  
COMMENCEMENT OF WORK.



1" REDUCED PRESSURE ZONE (RPZ)  
BACKFLOW PREVENTER



RAINBIRD ESP-LXME MODULAR SERIES  
W/ RAINBIRD RAIN SENSOR



RAINBIRD RSD SERIES RAIN SENSOR  
ATTACHED TO CONTROLLER



RAIN BIRD XCV-100-PRB-COM  
HIGH FLOW CONTROL ZONE KIT, FOR LARGE  
COMMERCIAL DRIP ZONES. 1-1/2" FESB VALVE  
WITH TWO 1" PRESSURE REGULATING (40PSI)  
QUICK-CHECK BASKET  
FILTERS. FLOW RANGE: 3-20GPM.



RAIN BIRD 5-LRC  
1" BRASS QUICK-COUPLING VALVE, WITH  
CORROSION-RESISTANT STAINLESS STEEL SPRING,  
LOCKING THERMOPLASTIC RUBBER COVER, AND  
1-PIECE BODY.



PIPE TRANSITION POINT ABOVE GRADE  
PIPE TRANSITION POINT FROM PVC LATERAL  
TO DRIP TUBING WITH RISER TO ABOVE GRADE  
INSTALLATION.



FLUSH VALVE  
DRIPLINE FLUSH VALVE CAP IN COMPRESSION  
FITTING COUPLER.



RAIN BIRD OPERND  
DRIP SYSTEM OPERATION INDICATOR. STEM  
RISES 6" FOR CLEAR VISIBILITY WHEN DRIP  
SYSTEM IS CHARGED TO A MINIMUM OF 20PSI.  
INCLUDES 16" OF 1/4" DISTRIBUTION TUBING WITH  
CONNECTION FITTING  
PRE-INSTALLED.



RAIN BIRD PC SINGLE OUTLET, PC DRIP EMITTER  
SINGLE OUTLET, PRESSURE COMPENSATING DRIP  
EMITTERS WITH SELF-PIERCING BARB INLET.



AREA TO RECEIVE DRIPLINE  
RAIN BIRD XFD-09-12 (12)  
XFD ON-SURFACE PRESSURE COMPENSATING  
LANDSCAPE DRIPLINE. 0.3GPH EMITTERS AT  
12" O.C. DRIPLINE LATERALS SPACED AT  
12" APART, WITH EMITTERS OFFSET FOR T  
TRIANGULAR PATTERN. UV RESISTANT.

LATERAL LINE (SCH. 160)



NEW 32 UNITS  
DEVELOPMENT AT:  
**DOWNTOWN  
HOLLYWOOD**

1914 - 1920 PIERCE STREET  
HOLLYWOOD, FL. 33020


SHEET TITLE:

DELIVERY DATE: 03.28.2023

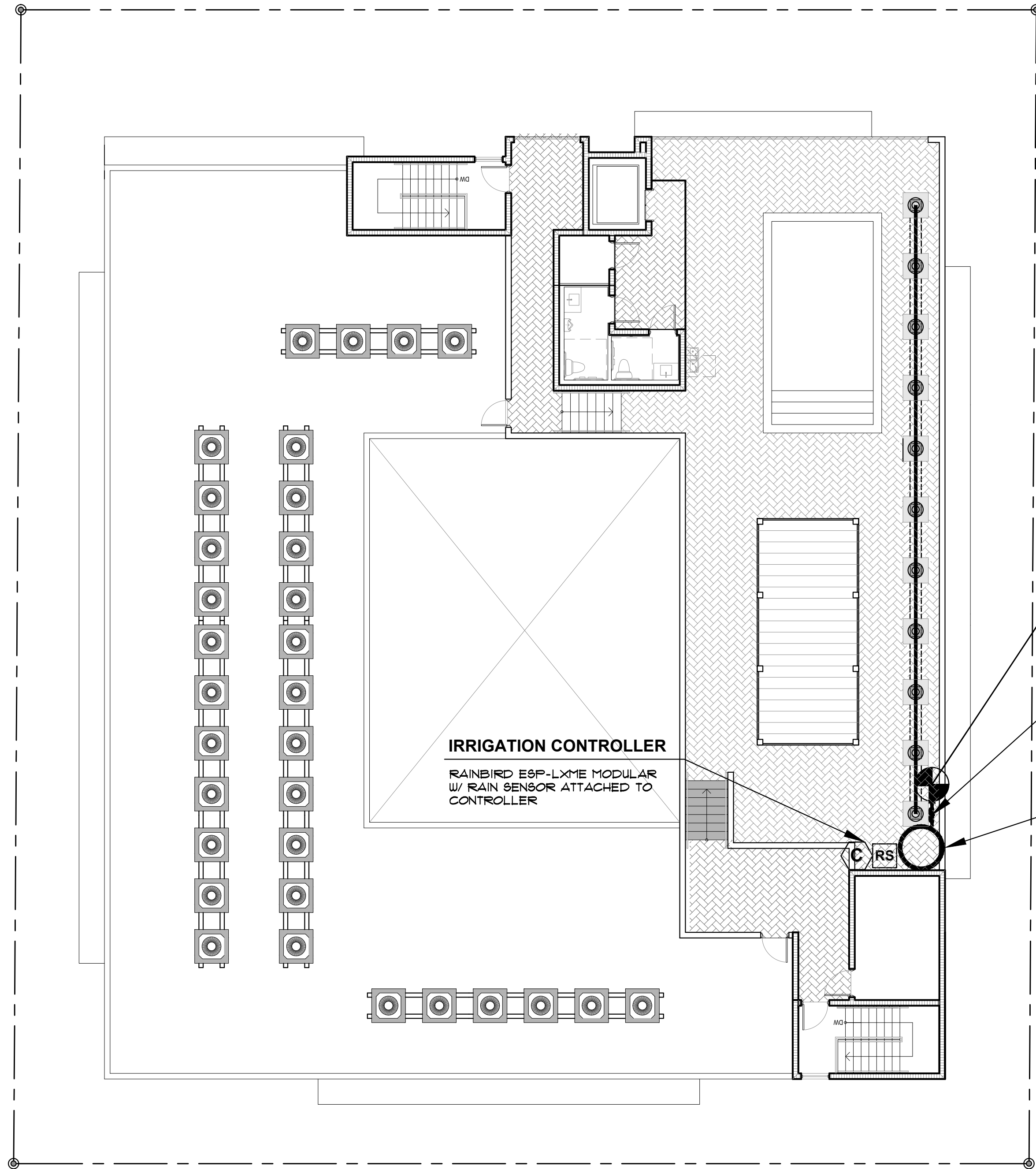
DRAWN BY: J.B.

CHECKED BY: A.L.L.

REF NUMBER:

SHEET NO. **IRR-4**  
OF

PIERCE ST.



ZONE  
**#8**  
11 GPM  
1" v.  
spray

**1" REDUCED PRESSURE ZONE (RPZ)  
BACKFLOW PREVENTION DEVICE**

COORDINATE LOCATION WITH  
PROJECT  
SUPERINTENDENT

**POINT OF CONNECTION  
(APPROX.)**

CONNECT TO POTABLE WATER SOURCE AS  
COORDINATED-INSTALL REDUCED  
PRESSURE ZONE BACKFLOW DEVICE (1").  
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IRRIGATION VALVES THROUGH PLANTERS IF  
POSSIBLE OR UNDERNEATH FLOOR SLAB.  
IMPERMEABILIZE ANY PERFORATIONS AS  
NEEDED. COORDINATE WITH PROJECT  
SUPERINTENDENT PRIOR TO COMMENCEMENT  
OF WORK.

**IRRIGATION CONTROLLER**

RAINBIRD ESP-LXME MODULAR  
W/ RAIN SENSOR ATTACHED TO  
CONTROLLER

ALLEY

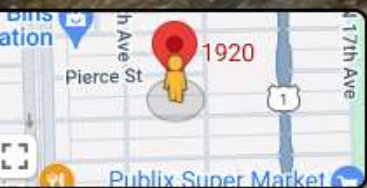


Existing Residence on Subject Site at 1920 Pierce St

# Existing Residences on Subject Site at 1914 Pierce St - Alley



Existing Residences on  
Subject Site at 1914 Pierce St - Alley



Google

1914 Pierce Street



1920 Pierce Street





Adjacent Property to the West of Subject Property



Adjacent Property to the East of Subject Property



Closest Intersection N. 19th Avenue & Pierce St



Closest Intersection N. 19th Avenue & Pierce St



April 21, 2023

Pamela Butler, Senior Development Coordinator  
MG3 Group  
2980 Northeast 207 Street, Suite 603  
Aventura, Florida 33180

*Via Email Only*

Dear Ms. Butler:

Re: Platting requirements for a parcel legally described as Lots 19-21, Block 20, "Hollywood," according to the Plat thereof, as recorded in Plat Book 1, Page 21, of the Public Records of Broward County, Florida. This parcel is generally located on the south side of Pierce Street, between North 19 Avenue and North 20 Avenue, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.38 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

**Pamela Butler**  
**April 21, 2023**  
**Page Two**

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Dawn Teetsel at your convenience.

Respectfully,

A handwritten signature in blue ink, appearing to read 'BBB', is positioned above the printed name of the signatory.

Barbara Blake Boy  
Executive Director

BBB:DBT

cc/email: George Keller, City Manager  
City of Hollywood

Shiv Newaldass, Director, Development Services  
City of Hollywood



The School Board of Broward County, Florida  
**PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION (SCAD)**

**SITE PLAN**

**SBBC-3683-2023**

**Municipality Number: 23-DP-20**

**Folio #: 514215013490 & 3500**

**Pierce Street Villas**

**November 1, 2023**



**SCAD Expiration Date: April 29, 2024**

Growth Management  
Facility Planning and Real Estate Department  
600 SE 3rd Avenue, 8th Floor  
Fort Lauderdale, Florida 33301  
Tel: (754) 321-2177 Fax: (754) 321-2179  
[www.browardschools.com](http://www.browardschools.com)

# PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION SITE PLAN

PROJECT INFORMATION	NUMBER & TYPE OF PROPOSED UNITS	OTHER PROPOSED USES	STUDENT IMPACT
Date: November 1, 2023	Single-Family:		Elementary: 0
Name: Pierce Street Villas	Townhouse:		
SBBC Project Number: SBBC-3683-2023	Garden Apartments:		Middle: 0
County Project Number: N/A	Mid-Rise: 32		
Municipality Project Number: 23-DP-20	High-Rise:		High: 1
Owner/Developer: 1920 Pierce LLC	Mobile Home:		
Jurisdiction: Hollywood	Total: 32		Total: 1

## SHORT RANGE - 5-YEAR IMPACT

Currently Assigned Schools	Gross Capacity	LOS * Capacity	Benchmark* Enrollment	Over/Under LOS	Classroom Equivalent Needed to Meet LOS	% of LOS*** Capacity	Cumulative Reserved Seats
Dania Elementary	623	1,009	407	-219	-12	65.0%	9
Olsen	1,125	831	629	-609	-27	50.8%	55
South Broward High	2,297	2,026	2,407	-120	-4	95.3%	62

Currently Assigned Schools	Adjusted Benchmark	Over/Under LOS-Adj. Benchmark Enrollment	% LOS Cap. Adj. Benchmark	Projected Enrollment				
				23/24	24/25	25/26	26/27	27/28
Dania Elementary	416	-210	66.5%	390	396	402	408	414
Olsen	684	-554	55.3%	645	628	616	604	592
South Broward High	2,469	-49	98.1%	2,417	2,403	2,413	2,419	2,424

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <https://www.browardschools.com/Page/34040>. The annual benchmark enrollment is taken on the Monday following Labor Day and is used to apply individual charter school enrollment impacts against school facility review processes.

\*This number represents the higher of: 100% gross capacity or 110% permanent capacity. \*\*The first Monday following Labor Day. \*\*\*Greater than 100% exceeds the adopted Level of Service (LOS).

## CHARTER SCHOOL INFORMATION

Charter Schools within 2-mile radius	2022-23 Contract Permanent Capacity	2022-23 Benchmark Enrollment	Over/(Under)	Projected Enrollment		
				23/24	24/25	25/26
Avant Garde Academy	750	1.116	366	1.116	1.116	1.116
Avant Garde K-8 Broward	1.050	1.015	-35	1.015	1.015	1.015
Ben Gamla Charter North Broward	900	289	-611	289	289	289
Hollywood Academy 6_8	450	478	28	478	478	478
Hollywood Academy K_5	1.100	1.130	30	1.130	1.130	1.130
International School Of Broward	675	87	-588	87	87	87
International Studies Academy High School	800	207	-593	207	207	207
International Studies Academy Middle School	594	252	-342	252	252	252
Paragon Academy Of Technology	500	135	-365	135	135	135
South Broward Montessori Charter School	348	166	-182	166	166	166
Sunshine Elementary	500	230	-270	230	230	230

## PLANNED AND FUNDED CAPACITY ADDITIONS IN THE ADOPTED DISTRICT EDUCATIONAL FACILITIES PLAN

School(s)	Description of Improvements
Dania Elementary	There are no scheduled classroom additions in the Adopted DEFP that would increase the reflected FISH capacity of the school.
Olsen	There are no scheduled classroom additions in the current ADEFP that would increase the reflected FISH capacity of the school.
South Broward High	There are no scheduled classroom additions in the current ADEFP that would increase the reflected FISH capacity of the school.

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <https://www.browardschools.com/Page/34040>. The benchmark enrollment count taken on the first Monday following Labor Day is used to apply individual charter school enrollment impacts against school facility review processes.

## Comments

The site plan application proposes 32 (20 one-bedroom or less and 12 two-bedroom or more) mid-rise units, which are anticipated to generate one high school student into Broward County Public Schools.

Please be advised that this application was reviewed utilizing 2022/23 school year data because the current school year (2023/24) data will not be available until updates are made utilizing the benchmark day enrollment count and the five-year student enrollment projections. The school Concurrency Service Areas (CSA) serving the project site in the 2022/23 school year include Dania Elementary, Olsen Middle, and South Broward High Schools. The schools will continue to serve the site for the academic year 2023/24. Based on the Public School Concurrency Document (PSCPD), all three schools are currently operating below the Level of Service Standard (LOS), which is established as the higher of 100% gross capacity or 110% permanent capacity. Incorporating the cumulative students anticipated from this project as well as approved and vested developments anticipated to be built within the next three years, these schools are expected to maintain their status through the coming school years. Additionally, the school capacity or Florida Inventory of School Houses (FISH) for the impacted schools reflects compliance with the class size constitutional amendment.

Charter schools located within a two-mile radius of the site in the 2022/23 school year are depicted above. Students returning, attending, or anticipated to attend charter schools are factored into the five-year student enrollment projections for District schools. Enrollment projections are adjusted for all elementary, middle, and high schools impacted by a charter school until the charter school reaches full enrollment status.

To ensure maximum utilization of the impacted CSA, the Board may utilize school boundary changes to accommodate students generated from developments in the County.

Capital Improvements scheduled in the currently Adopted District Educational Facilities Plan (DEFP), Fiscal Years 2023/24 to 2027/28 regarding pertinent impacted schools are depicted above.

Therefore, this application satisfies public school concurrency on the basis that there is adequate school capacity anticipated to be available to support the project as proposed. This preliminary determination shall be valid for either the end of the current school year or 180 days, whichever is greater for a maximum of 32 (20 one-bedroom or less and 12 two-bedroom or more) mid-rise units and conditioned upon final approval by the applicable governmental body. As such, this Preliminary School Capacity Availability Determination (SCAD) Letter will expire on April 29, 2024. This preliminary school concurrency determination shall be deemed void unless prior to the referenced expiration of the preliminary SCAD, notification of final approval to the District has been provided, and/or an extension of this preliminary SCAD has been requested in writing and granted by the School District. Please be advised that the expiration of the SCAD will require the submission of a new application and fee for a new public school concurrency determination. Upon the District's receipt of sufficient evidence of final approval, which shall minimally specify the number, type, and bedroom mix for the approved residential units, the District will issue and provide a final SCAD letter for the approved units, which shall ratify and commence the vesting period for the approved residential project.

Please be advised that if a change is proposed to the development, which increases the number of students generated by the project, the additional students will not be considered vested for public school concurrency.

---

**SBBC-3683-2023 Meets Public School Concurrency Requirements**

☒ Yes ☐ No

Reviewed By:

11/1/2023

Date

Glennika D. Gordon

Signature

Glennika D. Gordon, AICP

Name

Planner

Title

General criteria. All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

(1) Architectural and design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

Response: Architectural Design Components have been added to the building including a Front Canopy to designate the entrance, Architectural Grilles at ground floor to visually hide the parking, New imitation porcelain tiles added to building exterior. The surrounding neighborhood is in the process of changing based on the new zoning changes to this area. The proposed building reflects a modern design which will be in compliance with future development in this area to meet the new zoning changes.

(2) Compatibility. The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area.

Response: The surrounding neighborhood is in the process of changing based on the new zoning changes to this area. The proposed building reflects a modern design which will be in compliance with future development in this area to meet the new zoning changes.

(3) Scale/massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings.

Response: The surrounding neighborhood is in the process of changing based on the new zoning changes to this area. The proposed building reflects a modern design which will be in compliance with future development in this area to meet the new zoning changes.

(4) Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

Response: LANDSCAPE PLANTINGS CONSIST OF NATIVE TREES (4 species, Live Oak, Pigeon Plum, Silver Buttonwood and Pitch Apple) WITH ADDITIONAL NON-NATIVE "FLORIDA FRIENDLY" TREE SPECIES (Crape Myrtle and Japanese Blueberry), NATIVE SHRUBS (Cocoplum, Clusia, Hamelia) AND ADDITIONAL GROUNDCOVERS (Blueberry Flax Lily, Fishtail Ferns, Boston Ferns). PLANTING ARRANGEMENTS ARE LAYERED TO CREATE VERTICAL DIMENSION WITH TREES, SHRUBS AND GROUNDCOVERS PROVIDING A VEGETATIVE LAYERING ALONG THE STREET FRONTAGE, SIDES AND REAR. ALL THE LANDSCAPE PLANTINGS ARE "FLORIDA FRIENDLY" PER STATE OF FLORIDA MANDATE, AND WHICH WILL NOT REQUIRE SUPPLEMENTAL IRRIGATION ONCE THEY ARE ESTABLISHED. EXISTING NATIVE SABAL PALMS (3) ON-SITE WILL BE RELOCATED ON-SITE. PLEASE REFER TO LANDSCAPE PLANS, SHEETS TD-1, TD-2, L-1, L-2, L-3, L-4 FOR REFERENCE.