

ATTACHMENT "A"

APPLICATION PACKAGE

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

[CLICK HERE FOR
FORMS, CHECKLISTS &
MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- ☐ Technical Advisory Committee ☐ Art in Public Places Committee ☐ Variance
☐ Planning and Development Board ☐ Historic Preservation Board ☐ Special Exception
☐ City Commission ☐ Administrative Approval

PROPERTY INFORMATION

Location Address: 1150 ADAMS STREET, HOLLYWOOD FL 33019

Lot(s): 27,28 Block(s): 33 Subdivision: _____

Folio Number(s): 5142 14 01 5590

Zoning Classification: RS-6 Land Use Classification: RESIDENTIAL

Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: 5201 S.F./1

Is the request the result of a violation notice? ☐ Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

DEVELOPMENT PROPOSAL

Explanation of Request: New Construction - Residential One Story Single Family

Phased Project: Yes ☒ No ☐ Number of Phases: 1

Project	Proposal
Units/rooms (# of units)	# UNITS: <u>1</u> #Rooms <u>5</u>
Proposed Non-Residential Uses	<u>0</u> S.F.)
Open Space (% and SQ.FT.)	Required %: <u>40.1</u> (Area: <u>5511</u> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <u>5</u>)
Height (# of stories)	(# STORIES) <u>1</u> (<u>19' 6"</u> FT.)
Gross Floor Area (SQ. FT)	Gross Area (<u>4464</u> FT.)

Name of Current Property Owner: DULANEY LLC

Address of Property Owner: 1150 ADAMS STREET, HOLLYWOOD FL 33019

Telephone: 561-337-1315 Email Address: motty@midfieldmgmt.com

Applicant Kaller Architects Consultant ☐ Representative ☐ Tenant ☐

Address: 2417 Hollywood Boulevard, Hollywood, FL 33020 Telephone: 954-920-5746

Email Address: laurie@kallerarchitects.com

Email Address #2: jsaavedra@kallerarchitects.com

Date of Purchase: 10/16/2025 Is there an option to purchase the Property? Yes ☐ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : CUTRO AND ASSOC.

E-mail Address: cutroplanning@yahoo.com

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 03/06/2026

PRINT NAME: Mordechai Dalfin Date: 03/06/2026

Signature of Consultant/Representative:  Date: 03/06/2026

PRINT NAME: JONATHAN N. CHADES, RA Date: 03/06/2026

Signature of Tenant: N/A Date: N/A

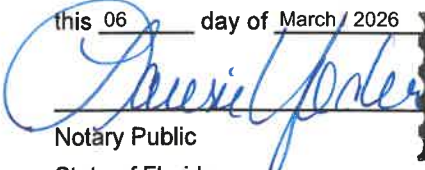
PRINT NAME: N/A Date: N/A

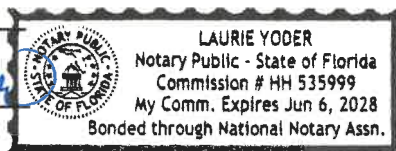
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Historic Preservation Board Review to my property, which is hereby made by me or I am hereby authorizing Kaller Architects to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 06 day of March, 2026


Notary Public
State of Florida




Signature of Current Owner

Mordechai Dalfin
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Matthew J. Schlichte, Esq.
Law Office of Ray A. Schlichte, Jr., P.A.
2134 Hollywood Boulevard
HOLLYWOOD, FLORIDA 33020

Property Appraisers Parcel Identification (Folio) Numbers: 514214 01 5590

Space Above This Line For Recording Data

WARRANTY DEED

THIS WARRANTY DEED, made the 16 day of October, 2025 by Edward M. Light, a single man, Individually and as Co-Successor Trustee of the Marcia Light Living Trust Dated November 5, 2009 and Rhonda G. Light, a single woman, Individually and as Co-Successor Trustee of The Marcia Light Living Trust Dated November 5, 2009, whose post office address is 5205 W Park Road, Hollywood, FL 33021 herein called the Grantor, to Dulaney LLC, a Florida limited liability company, whose post office address is 101 Diplomat Parkway, Ste 1811, Hallandale Beach, FL 33009, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in BROWARD County, State of Florida, viz.:

Lot 27 and 28, Block 33, HOLLYWOOD LAKES SECTION, according to the map or plat thereof as recorded in Plat Book 1, Page 32, Public Records of Broward County, Florida.

Subject to easements, restrictions and reservations of record and taxes for the year 2025 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2024.

[SIGNATURE AND NOTARY ON FOLLOWING PAGE]

WARRANTY DEED
(Continued- Page Two)

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

MATT Schlichte
Witness #1 Printed Name

2134 Hollywood Blvd
Witness #1 Address

Hollywood FL 33020

[Signature]
Witness #2 Signature

LORRAINE MURPHY
Witness #2 Printed Name

2134 Hollywood Blvd.
Witness #2 Address

Hollywood, FL 33020

Edward M. Light
Edward M. Light, Individually and as Co-Successor Trustee of the Marcia Light Living Trust Dated November 5, 2009

[Signature]
Rhonda G. Light, Individually and as Co-Successor Trustee of the Marcia Light Living Trust Dated November 5, 2009

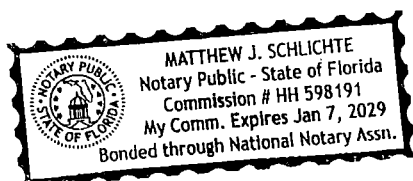
STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me, by means of [☒] physical presence or [☐] online notarization, this 16 day of October, 2025 by Edward M. Light, Individually and Rhonda G. Light, individually and both as Co-Successor Trustee of the Marcia Light Living Trust Dated November 5, 2009 who [☐] are personally known to me or [☒] have produced Florida Drivers Licenses as identification.

SEAL

[Signature]
Notary Public

My Commission Expires:





KallerArchitecture

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

March 9th, 2026

Re:
1150 Adams St.
Hollywood, Florida 33019
Architect's Project #25176

LEGAL DESCRIPTION

HOLLYWOOD LAKES SECTION 1-32 B LOT 27,28 BLK 33

PROJECT DESCRIPTION

The proposed project consists of a new one-story single-family residence located within the Hollywood Lakes Historic District. The residence includes living, dining, and kitchen areas organized along the main living spaces, with bedroom suites and associated support spaces located within the private areas of the home.

The architectural design incorporates articulated volumes, recessed openings, and varied façade planes to reduce perceived mass and maintain compatibility with the scale and character of the surrounding one- and two-story residential context.

The primary entrance is expressed through a recessed entry volume and canopy element that establishes a clear arrival sequence from the street while maintaining an appropriate residential scale along Adams Street.

Outdoor living areas, including a covered terrace, pool deck, and swimming pool, are located toward the rear of the property to maintain privacy and minimize visibility from the public right-of-way while allowing the primary interior living spaces to connect directly to the landscape.

Exterior materials include smooth stucco finishes in light and dark tones, wood-look aluminum cladding accents, metal canopy elements, and impact-rated windows and doors. The flat roof design with parapet screens building systems from public view while maintaining a clean architectural profile consistent with the neighborhood character.

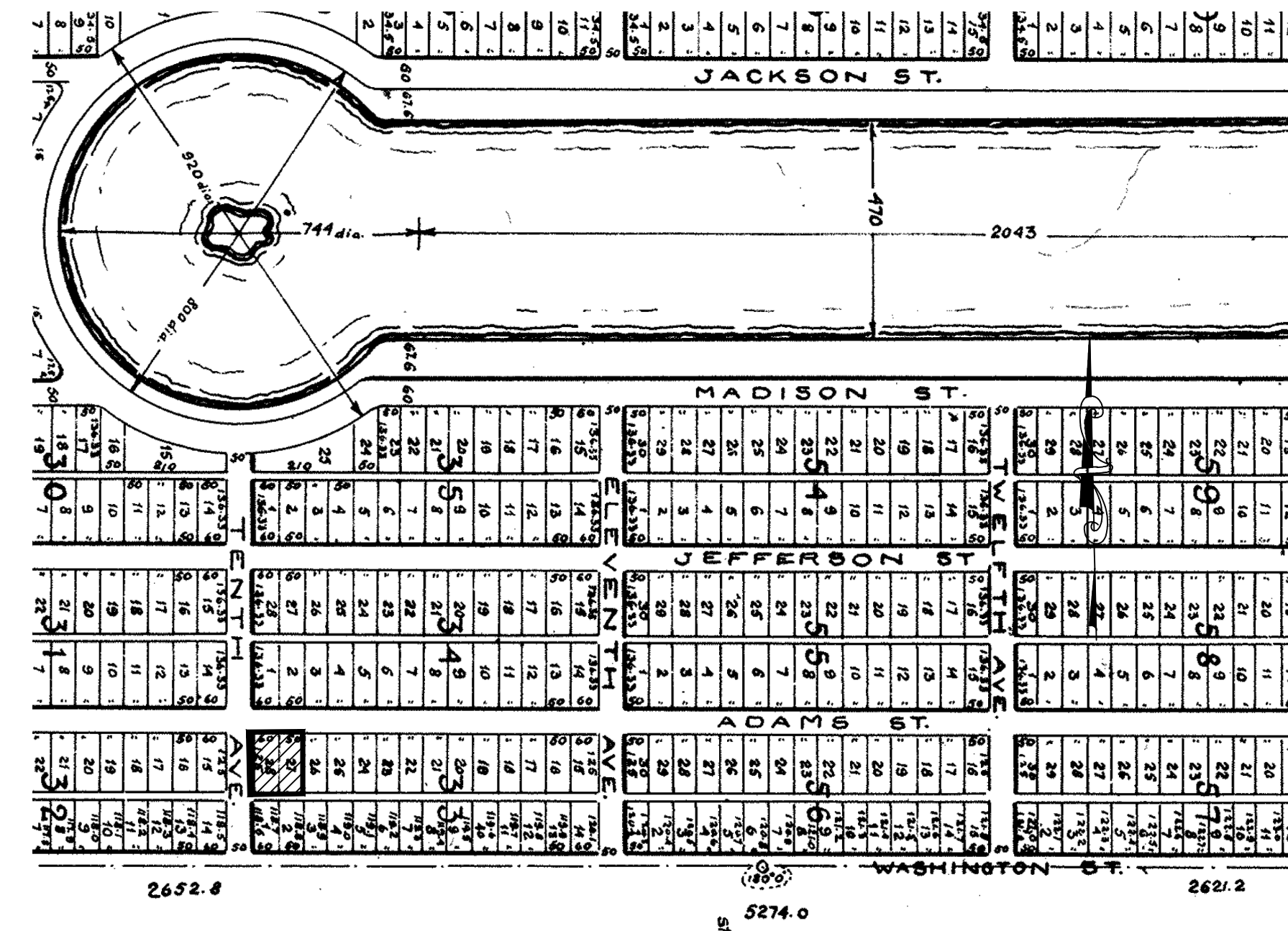
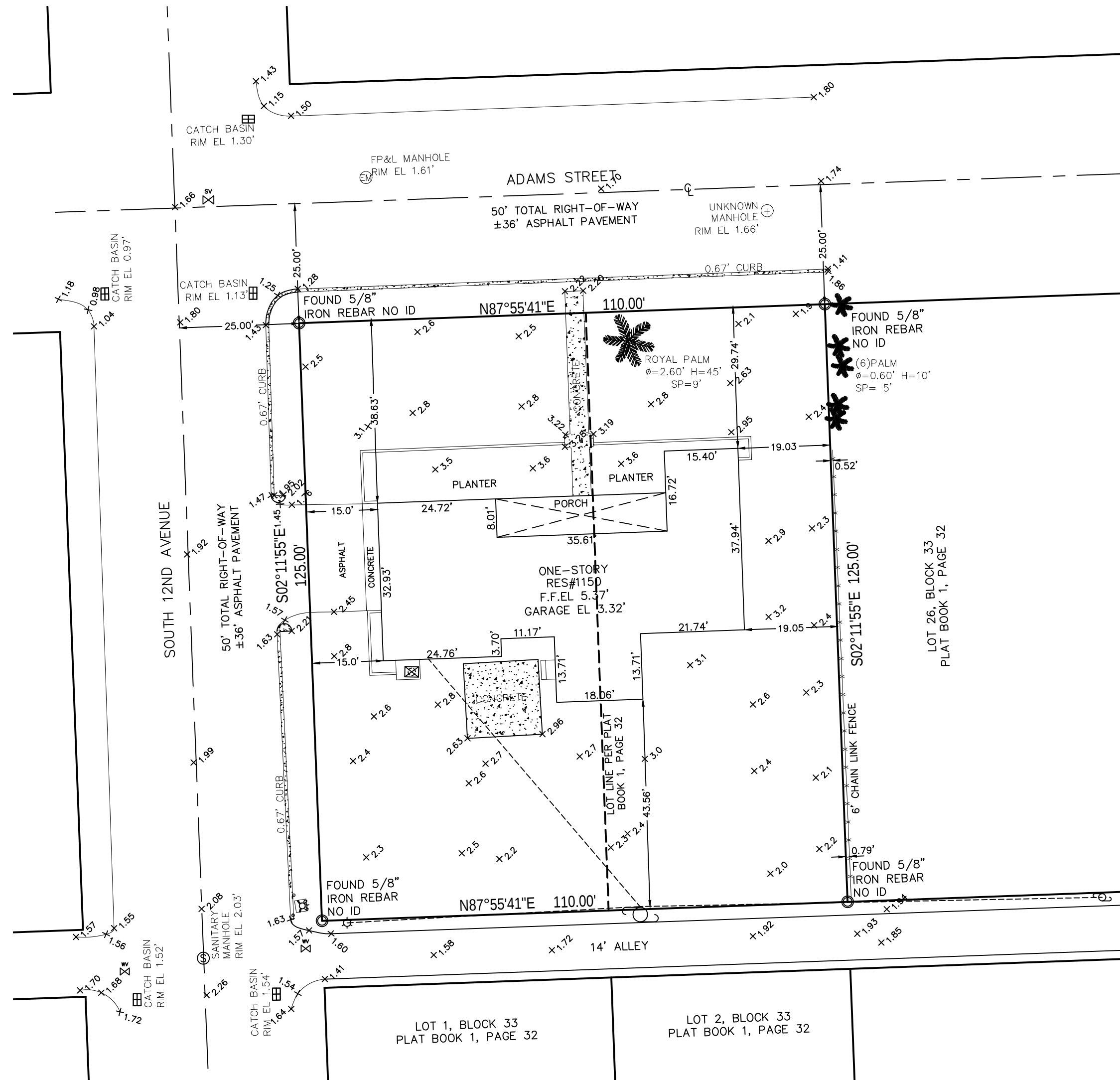
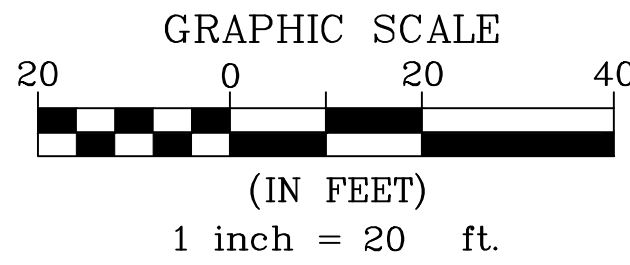
Please do not hesitate to contact us should you have any questions or require additional information.

Thank you very much in advance,

Jonathan Chades, RA
Kaller Architecture

MAP o ALTA ACSM LAND TITLE SURVEY

ONE STORY RESIDENCE
1150 ADAMS STREET, HOLLYWOOD FL 33019
PARCEL ID 514214015590



LOCATION SKETCH — N.T.S.

PROPERTY ADDRESS 1150 ADAMS STREET, HOLLYWOOD FL 33019
PARCEL ID 514214015590

Commitment Number: 1676760
Revision Number: None
Property Address: 1150 Adams Street
Hollywood, FL 33019
Loan ID Number: NA

Issuing Office File Number: 235-125
Issuing Office's ALTA Registry ID: None

Issuing Agent: 433301
Issuing Office: Law Offices of Ray A. Schlichte, Jr., P.A.

LEGAL DESCRIPTION:

Lot 27 and 28, Block 33, HOLLYWOOD LAKES SECTION, according to the map or plat thereof as recorded in Plat Book 1, Page 32, Public Records of Broward County, Florida.

PARKING STALLS:
2 GARAGES 10X20'
NOT HANDICAP STALL

CEMENTERY NOTE:
THERE IS NOT VISIBLE EVIDENCE OF CEMENTERIES OR BURIAL GROUNDS ON SAID SUBJECT PROPERTY

AREA NOTE:
CONTAINNING 13,750 SQ FT 0.315 ACRES MORE OR LESS

SITE RESTRICTIONS:
SETBACK
FRONT 25'
REAR 25'
SIDE 15'
HEIGHT 25'
ONE RESIDENTIAL
ALL SITE RESTRICTIONS WERE OBTAIN FROM CITY OF HOLLYWOOD ONING DEPARTMENT

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENT MANAGEMENT AGENCY DATED OR REVISED ON 7/31/2024 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE AE
BASE FLOOD ELEVATION 7 COMMUNITY 125113 PANEL NUMBER 12011C0569 SUFFIX J

BENCHMARK BCED BM 1915 ELEVATION= 1.74' N.A.V.D.88

CERTIFY TO:

THE UNDERSIGNED, A REGISTERED SURVEYOR OF THE STATE OF FLORIDA CERTIFIES TO: (1) DULANEY, LLC, a Florida Limited Liability Company. (2) The Marcia Light Living Trust. (3) Old Republic National Title Insurance Company. (4) Law Offices of Ray A. Schlichte, Jr., P.A.

- AS FOLLOWS:
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I -- Requirements are met. No Plotable
 - General or special taxes and assessments required to be paid in the year 2025 and subsequent years. No Plotable
 - Rights or claims of parties in possession not recorded in the Public Records. No Plotable
 - Any encroachment, encumbrance, violation, variation, or adverse circumstance that would be disclosed by an inspection or an accurate and complete land survey of the Land and inspection of the Land. As Shown in This Survey
 - Easements or claims of easements not recorded in the Public Records. As Shown in This Survey
 - Any lien, or right to a lien, for services, labor or material furnished, imposed by law and not recorded in the Public Records. No Plotable
 - Any Owner's Policy issued pursuant hereto will contain under Schedule B the following exception: Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the Land insured hereunder, including submerged, filled and artificially exposed lands, and lands accreted to such lands. No Plotable
 - Any lien provided by County Ordinance or by Chapter 159, F.S., in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality. No Plotable
 - All matters contained on the Plat of Hollywood Lakes Section, as recorded in Plat Book 1, Page 32 Public Records of Broward County, Florida. As Shown in This Survey
 - Conditions and Restrictions contained in Deed recorded in Deed Book 118, Page 184, as affected by Deed Book 546, Page 242, Public Records of Broward County, Florida. No Plotable
 - Rights of the lessees under unrecorded leases.
 - Issuing Office File Number: 235

ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

Issuing Office File Number: 235-125

LEGEND:

A = ARC
AVE = AVENUE
BLDG = BUILDING
C = CURVE
C.B.S. = CONCRETE BLOCK STRUCTURE
CH = CHORD
CHB = CHORD BEARING
CL = CLEAR
CL = CENTERLINE
CONC = CONCRETE
CT = COURT
D.M.E. = DRAINAGE AND MAINTENANCE EASEMENT
E = EAST
ENC. = ENCROACH
E.S.M.T. = EASEMENT
F.D.H. = FOUND DRILL HOLE
F.F.E. = FINISHED FLOOR ELEVATION
F.I.P. = FOUND IRON PIPE
F. = DIAMETER
ELEV. = ELEVATION
F.N. = FOUND NAIL
F.N.D. = FOUND NAIL
F.T. = FEET
L.N. = LANE
M. = MEASURE
M.L. = MONUMENT LINE
M.S. = METAL SHED
N. = NORTH
No. = NUMBER
O.R.B. = OFFICIAL RECORD BOOK
P.L. = PROPERTY LINE
B.B.L. = BUILDING BASE LINE
O.V.H. = OVERHANG
O.W. = OVERHEAD WIRES
P.B. = PLAT BOOK
P.C. = POINT OF CURVATURE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMPOUND CURVE
P.G. = PAGE
PKWY = PARKWAY
Pl. = PLACE
P. = PLAT DISTANCE
P.C.P. = PERMANENT CONTROL POINT
P.D. = POINT OF COMMENCENT
P.R.M. = PERMANENT REFERENCED MONUMENT
R. = RADIUS
RAD. = RADIAL
RD. = ROAD
REC. = RECORD
RES. = RESIDENCE
RGE. = RANGE
R.W. = RIGHT OF WAY
S. = SOUTH
SEC. = SECTION
S.I.P. = SET IRON PIPE
S.N.D. = SET NAIL
SWK. = SIDEWALK
T. = TANGENT
TERR. = TERRACE
TWP. = TOWNSHIP
U.E. = UTILITY EASEMENT
W. = WEST
W.F. = WOOD FENCE
= CENTRAL ANGLE

FOR THE FIRM
BY: CARLOS A. HERNANDEZ, No. 5718, Registered Professional Surveyor, State of Florida
Date: 09/15/2025
NOT VALID WITHOUT EMBOSSED SEAL

DESIGNED: A.A.
DRAWN: A.A.
CHECKED: C.H.
SCALE: AS SHOWN

LAND SURVEYING INC.
2500 N.W. 10TH STREET, SUITE 200
HOLLYWOOD, FL 33020
PH: 904 823-0320 FAX: 904 823-9800

PROJECT NAME: 1150 ADAMS STREET HOLLYWOOD FL 33019
DRAWING NAME: ALTA ACSM LAND TITLE SURVEY
PREPARED FOR: DULANEY LLC
SHEET: 1
OF 1 SHEETS
DATE: 09-15-2025
PROJ. No: CH-025219

HISTORIC PRESERVATION BOARD
NEW ONE -STORY SINGLE - FAMILY RESIDENCE
DALFIN RESIDENCE, 1150 ADAM STREET , HOLLYWOOD, FL 33019



EXISTING



PROPOSED

PROJECT TEAM

ARCHITECT
JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020
PHONE: (954) 920-5746
FAX: (954) 920-2841
EMAIL: JOSEPH@KALLERARCHITECTS.COM

SURVEYOR
LAND SURVEYING INC.
PHONE: 305 823-3220
FAX: 305 823-9806

CIVIL
CIVIL DESIGN ENGINEERING LLC
ALEJANDRO BOSCH
+1 (786) 439 - 9837
abosch@civildeng.com
www.civildesignengineering.com

LANDSCAPE
THE MIRROR OF PARADISE
GABRIELA FOJT
+1 (954) 478 - 3064
gabrielaf@themirrorofparadise.com
www.florida-landscape.com

OWNER
OWNER: DULANEY LLC
ADDRESS: 1150 ADAMS ST HOLLYWOOD FL 33019

LEGAL DESCRIPTION:
HOLLYWOOD LAKES SECTION
1-32 B LOT 27,28 BLK 33

BUILDING CODES:
FLORIDA BUILDING CODE, 8TH ED
FLORIDA BUILDING CODE, ACCESSIBILITY, 8TH ED
NFPA LIFE SAFETY CODE, NFPA 1, 8TH ED
FLORIDA FIRE PREVENTION CODE, NFPA 101, 8TH ED
FFPC 8TH ED BROWARD COUNTY AMENDMENTS 2022
NFPA 13, 2019 ED
NFPA 70, 2020 ED
NFPA 72, 2019 ED
CITY OF HOLLYWOOD LAND DEVELOPMENT CODE
FAIR HOUSING ACT

PROJECT DATA

JURISDICTION
CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

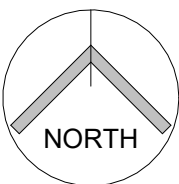
DRAWING INDEX

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LOCATION MAP



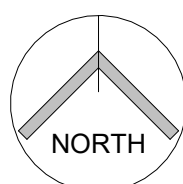
SITE



AERIAL

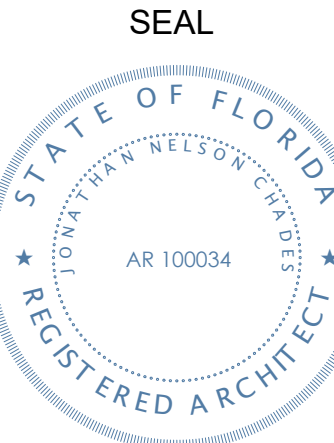


SITE



Kaller Architecture
AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
info@kallerarchitects.com

www.kallerarchitects.com



JONATHAN NELSON CHADES
FLORIDA R.A. #100034

PROJECT TITLE
DALFIN RESIDENCE

CONSTRUCTION DOCUMENTS

1150 ADAMS ST HOLLYWOOD FL 33019

SHEET TITLE
Cover Sheet

REVISIONS

No.	Description	Date
2	CITY COMMENTS - REV 2	06/02/2026

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 25176
DATE: 06/02/2026
DRAWN BY: GMV
CHECKED BY: JNC

SHEET

A-000



1 1214 Adams St
NTS



2 1206 Adams St
NTS



3 1144 ADAMS ST.
NTS



4 1138 ADAMS ST
NTS



5 1141 ADAMS ST
NTS



6 1145 ADAMS ST.
NTS



7 725 S 12th Ave
NTS



8 1205 Adams St
NTS



9 1211 Adams St
NTS



10 1215 Adams St
NTS

REVISIONS		
No.	Description	Date

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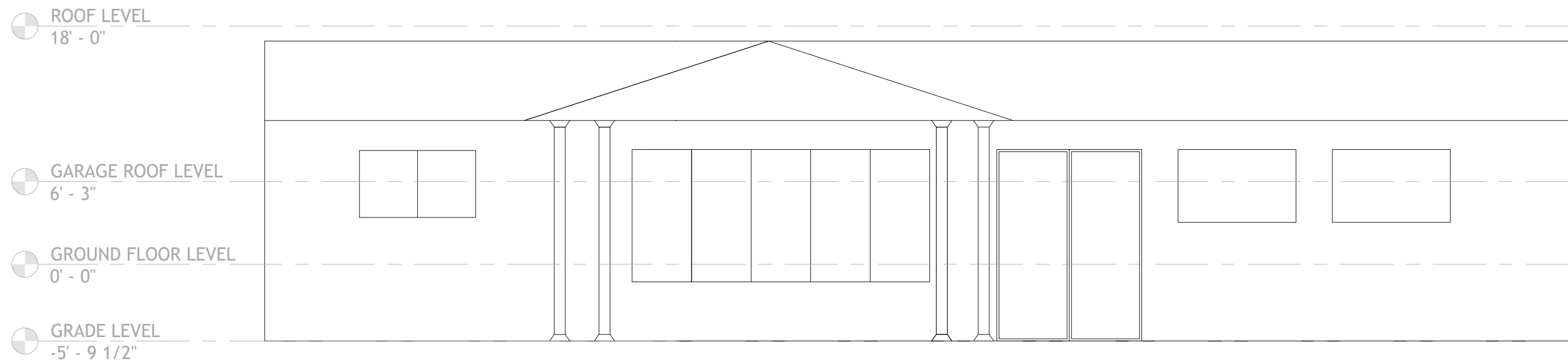
PROJECT No.: 25176
DATE: 06/02/2026
DRAWN BY: GMV
CHECKED BY: JNC



1 NORTH-EAST ELEVATION - RENDER

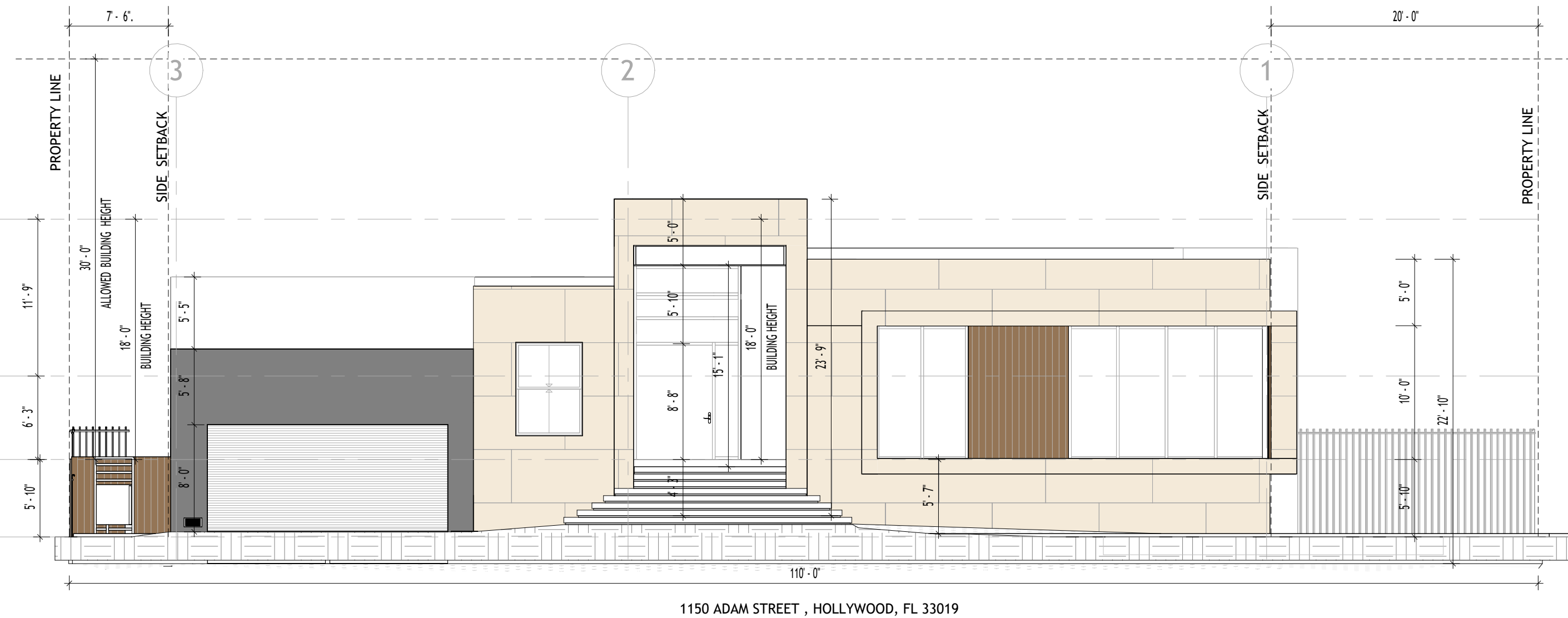


2 NORTH-WEST - RENDER



ADJACENT PROPERTY
1144 ADAM STREET , HOLLYWOOD, FL 33019

3 STREET PROFILE
1/8" = 1'-0"



1150 ADAM STREET , HOLLYWOOD, FL 33019

REVISIONS		
No.	Description	Date
2	CITY COMMENTS - REV 2	06/02/2026

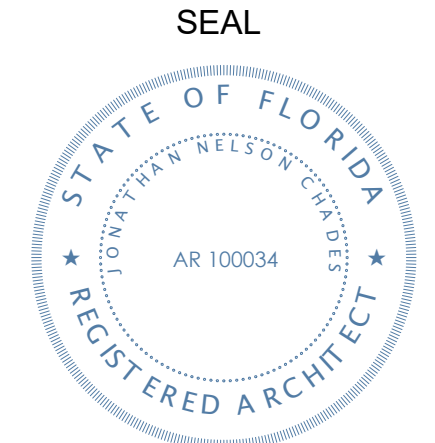
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DATE: 06/02/2026
DRAWN BY: GMV
CHECKED BY: JNC



Kaller Architecture
AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
info@kallerarchitects.com

www.kallerarchitects.com



JONATHAN NELSON CHASES
FLORIDA R.A. #100034

CONSTRUCTION DOCUMENTS
DALFIN RESIDENCE

1150 ADAMS ST HOLLYWOOD FL 33019

SHEET TITLE
SUBJECT PROPERTY

REVISIONS		
No.	Description	Date

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PROJECT No.: 25176
DATE: 06/02/2026
DRAWN BY: GMV
CHECKED BY: JNC

SHEET
A-003

KALLER ARCHITECTURE - ALL RIGHTS RESERVED

1 DEMOLITION PLAN

3/32" = 1'-0"

- AT ALL TIMES DURING DEMOLITION WORK, CONTRACTOR SHALL SECURE PUBLIC SAFETY, HEALTH AND GENERAL WELFARE THROUGH STRUCTURAL STRENGTH IN TEMPORARY SUPPORTS, STABILITY, SANITATION, AND SAFETY TO LIFE AND PROPERTY DURING THE REMOVAL OF STRUCTURES, ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE FLORIDA BUILDING CODE, PARTICULARLY CHAPTER 33 WITH REGARD TO DEMOLITION & SITE WORK.
- THE EXTENT OF THE DEMOLITION WORK IS TO SHOW ON THE DEMOLITION DRAWING AND REFERRED TO IN ALL DRAWINGS. DEMOLITION INCLUDES THE COMPLETE REMOVAL OF PORTIONS OF THE BUILDING AS INDICATED, AND ALL MISCELLANEOUS DAMAGED PORTIONS OF THE BUILDING AS REQUIRED TO MEET SPECIFICATIONS AND DRAWING REQUIREMENTS. EXISTING PLUMBING AND ELECTRICAL LINES TO BE REMOVED OR CONCEALED BY EXISTING STRUCTURE AND NEW WORK SHALL BE FULLY DE-ACTIVATED.
- REMOVE ALL DEMOLITION MATERIALS AND DEBRIS FROM THE CONSTRUCTION SITE.
- ALL EXISTING EXPOSED SURFACES THAT ARE TO REMAIN IN PLACE THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS REQUIRED TO MATCH EXISTING UNDAMAGED SURFACES.

3 DEMO PLAN NOTES

1/2" = 1'-0"

- ARRANGE WIT UTILITY COMPANIES FOR THE DISCONNECTION OF SERVICES AND REMOVAL FITTINGS AND EQUIPMENT BEFORE STARTING DEMOLITION WORK.
- PROTECT PARTS OF THE EXISTING WORK SCHEDULED TO REMAIN. CUT AWAY CAREFULLY THE PARTS TO BE DEMOLISHED TO REDUCE THE AMOUNT OF NECESSARY REPAIRS.
- SECTRE OWNER'S PROPERTY TO BE SALVAGED, COORDINATE THOSE ITEMS WITH THE OWNER.
- SHORE, BRACE AND SECURE STRUCTURAL ITEMS TO REMAIN BEFORE DEMOLITION.
- REMOVE ANY AND ALL NECESSARY EXISTING CONCRETE SLABS TO ACCOMODATE NEW PLUMBING LINES, COLUMNS, FOUNDATIONS, & OTHER STRUCTURAL ITEMS IN COORDINATION WITH THESE DRAWINGS.
- PHYSICAL SEPARATION BETWEEN THE BUILDING AND WATER AND SEWER SERVICE LINES IS REQUIRED PRIOR TO BUILDING DEMOLITION.
- DEMOLITION CONTRACTOR MUST USE BEST MANAGEMENT PRACTICES DURING AND AFTER THE DEMOLITION TO PREVENT SEDIMENT AND EROSION RUNOFF FROM PROPERTY DURING AND AFTER CONSTRUCTION.

STANDARDS FOR DEMOLITION (SECTION 3406 OF FBC)

- DEMOLITION WORK HAVING COMMENCED SHALL BE PURSUED DILIGENTLY AND WITHOUT INTERRUPTION WITH DUE REGARD TO SAFETY. IT IS THE INTENT OF THIS SECTION TO LIMIT THE EXISTENCE OF ANY UNSAFE CONDITION OR NUISANCE ON THE PREMISES DURING THE PERIOD OF DEMOLITION OPERATIONS.
- ANY SURFACE HOLES OR IRREGULARITIES, WELLS, SEPTIC TANK, BASEMENTS, CELLAR, SIDEWALK VAULTS OR COAL CHUTES REMAINING AFTER DEMOLITION OF ANY BUILDING OR STRUCTURE SHALL BE FILLED WITH MATERIAL AS APPROVED BY THE BUILDING OFFICIAL, AND SHALL BE GRADED IN A MANNER THAT WILL PROVIDE EFFECTIVE SURFACE DRAINAGE.
- ALL DEBRIS AND ACCUMULATION OF MATERIAL RESULTING FROM DEMOLITION OF ANY BUILDING OR STRUCTURE SHALL BE REMOVED FROM THE PREMISES.
- ALL BUILDING SEWERS SHALL BE EFFECTIVELY PLUGGED WITH CONCRETE AT THE PROPERTY LINE, OR AS MAY BE REQUIRED BY THE BUILDING OFFICIAL.
- IN ORDER TO CONTROL DUST DURING A DEMOLITION PROJECT, THE PERMIT HOLDER SHALL TAKE THE NECESSARY SAFEGUARDS TO ENSURE THAT WATER SUPPLY IS AVAILABLE AND APPROPRIATE ACTIONS ARE TAKEN TO RETAIN DUST AT THE IMMEDIATE VICINITY OF THE DEMOLITION PROJECT AND TO ENSURE THAT NO DUST IS TRASMITTED TO NEIGHBORING PROPERTIES OR STREETS.
- THE EXTENT OF THE DEMOLITION MAY BE ADJUSTED PENDING FIELD CONDITIONS OF THE STRUCTURE.
- ALL EXT'G INTERIOR GYP. BD., AND STUCCO TO BE REMOVED.

GENERAL PLAN NOTES:

- ALL CUPBOARDS & CABINETS (MILLWORK) SHOP DWGS ARE TO BE SUPPLIED BY EQUIPMENT SUPPLIER/CONTRACTOR FOR OWNER/ARCHITECT REVIEW & APPROVAL PRIOR TO FABRICATION
- CONTRACTOR TO SUPPLY ALL (TREATED) WALL-BLOCKING TO SUPPORT ALL FURNITURE & OTHER THAT REQUIRE BEING MOUNTED OR FIXED TO THE WALL
- GFCI OUTLETS ARE TO BE PROVIDED @ ALL WET AREAS & KITCHEN COUNTERS
- CONTRACTOR IS TO REVIEW ALL SPECIFICATIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. EQUIPMENT SUPPLIER TO PROVIDE CUT SHEETS FOR ALL EQUIPMENT
- CONTRACTOR SHALL PROVIDE FULL SET OF MILLWORK SHOP-DWGS FOR OWNER REVIEW/APPROVAL PRIOR TO FABRICATION
- CONTRACTOR SHALL CONTACT & COORDINATE WITH ARCHITECT OF RECORD IMMEDIATELY SHOULD ANY DISCREPANCIES ARISE
- CONTRACTOR SHALL FIELD VERIFY ALL AREA DIMENSIONS & ALL EXISTING FIELD CONDITIONS PRIOR TO PUBLISHING A COST ESTIMATE/PROPOSAL TO CLIENT
- CONTRACTOR SHALL FIELD VERIFY ALL AREAS/SPACES' DIMENSIONS PRIOR TO FABRICATING OR PURCHASING ANY MILLWORK AND/OR FURNITURE
- PROPOSED FRAMED/GWB CEILING SHALL NOT BE LESS THAN 7'-6" AFF (TYP)
- ANY WOOD IN CONCEALED SPACES SHALL BE FIRE RETARDANT (TYP)
- TERMITE PROTECTION: ALL SOIL AND FILL UNDER FLOORS AND/OR WITHIN OR UNDER BUILDING SHALL HAVE PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTING AGAINST TERMITES THE STANDARDS OF THE NATIONAL PEST CONTROL ASSOCIATION SHALL BE DEEMED AS APPROVED IN RESPECT TO PRE- CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY
- CONTRACTOR SHALL PROVIDE A (GRADE) COMPACTION ENGINEERING REPORT PRIOR TO POURING OF CONCRETE STRUCTURES (G-BEAMS, SLABS, ETC)
- PROVIDE 15-mil VaporBlock G - VAPOR/MOISTURE RESISTANT BARRIER (OR EQUAL) UNDER ALL PROPOSED STRUCTURES (FLOOR SLABS & FOUNDATION) (TYP)
- ALL PROPOSED GLASS EXCEEDING 9 SQUARE FEET SHALL BE 'SAFETY GLAZING' CATEGORY II AS SPECIFIED IN THE FBC 2023 8TH EDITION SECTION 2406, TABLE 2406.2
- GLAZING IN SAFEGUARDS SHALL MEET THE REQUIREMENTS OF ANSI Z97
- CONTRACTOR SHALL PROVIDE PRE-ENG'd SHOP DRAWINGS FOR ALL INTERIOR & EXTERIOR 42" HIGH GUARD-RAILS & 36" HIGH HAND-RAILS (STAIRS & BALCONIES). GUARD RAILS SHALL NOT ALLOW THE PROTRUSION OF A 4" DIA. SPHERE.
- (TYPICAL) DIMENSIONS DO NOT CALCULATE/INCLUDE THE THICKNESS OF THE 7/8" METAL FURRING STRIPS + 5/8" GWB ON CONCRETE BLOCK WALLS
- GC SHALL PROVIDE AN 'AS-BUILT' SURVEY W/ F.F.E. PRIOR TO FINAL INSPECTION FROM THE ENGINEERING DEPARTMENT.
- ALL UTILITIES (TELEPHONE, CABLE, ELECTRICAL, GAS, WATER, ETC) MUST BE INSTALLED UNDERGROUND
- CONTRACTOR SHALL COORDINATE ALL FINISHES, MILLWORK, BUILT-INS, AND FINAL FIXTURES W/ OWNER AND/OR INTERIOR DESIGNER. OWNER TO APPROVE ALL FINAL SELECTIONS (TYP)
- CONTRACTOR TO PROVIDE 'VIBRATION ABSORBING PADS OR SPRINGS' TO THE CONDENSING UNITS TO REDUCE NOISE VIBRATION (TYP)
- CONTRACTOR SHALL COORDINATE LABOR, INSTALLATION PROCESS & ALL WALL FINISHES (EX. STONE) W/ OWNER/I.D. (TYP)
- PROVIDE R-5 (min) INSULATION @ ALL EXTERIOR CBS WALLS (TYP)
- ALL BALCONIES/TERRACES SLOPES SHALL BE 1/4"/FT MIN.
- ALL WINDOWS TO BE IMPACT RESISTANT GLASS WINDOWS. GC TO PROVIDE NOA AND SHOP DRAWINGS FOR ARCHITECTS APPROVAL. SEE WINDOWS SCHEDULE FOR SAFETY GLASS CATEGORY
- ALL EXTERIOR DOORS TO BE IMPACT RESISTANT WEATHER SEALED DOORS. SEE DOOR SCHEDULE. GC TO PROVIDE NOA
- ALL EXTERIOR SLIDING ALUMINUM AND GLASS DOORS TO BE IMPACT RESISTANT SAFETY (CAT II) GLASS/ALUMINUM DOORS. SEE DOOR SCHEDULE.
- ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8, TABLE 803.11 OF THE 2023 FBC 8TH EDITION.
- ALL GUARDRAILS TO BE 42" AFF ALUMINUM & GLASS GUARDRAILS. GC TO PROVIDE SHOP DRAWINGS/NOA FOR APPROVAL.

EGRESS NOTES:

- EACH SLEEPING ROOM SHALL HAVE (2) MEANS OF EGRESS. THE SECONDARY MEANS SHALL BE AN OPERABLE WINDOW AS PER NFPA 101 SECTION 24.2.2.3
 - THE BOTTOM OF THE OPENING SHALL BE NO MORE THAN 44"AFF
 - A MIN WIDTH OF 20" & MIN HEIGHT 24"
 - SHALL NOT BE LESS THAN 5.7 sq.ft. CLEAR OPENING

BATHROOM NOTES:

- PROVIDE (MOISTURE RESISTANT) 5/8" DENS-SHIELD TILE BACKER & WATER-PROOF JOINT-GROUT (OR SIMILAR) @ ALL WET AREAS
- PROVIDE A WIPEABLE / NON-ABSORBENT SURFACES/FINISHES @ ALL BATHROOMS (WET LOCATIONS) (WALLS & CEILINGS) - FINISH SELECTION BY OWNER/ INTERIOR DESIGNER (TYP)
- ALL SHOWER ENCLOSURES & GLASS RAILS SHALL BE TEMPERED (SAFETY) GLASS CATEGORY II, AS SET FORTH BY FBC 8TH ED
- FBC R307.2 - BATHTUB AND SHOWER SPACES. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.
- FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1

2 PLAN NOTES

1/2" = 1'-0"

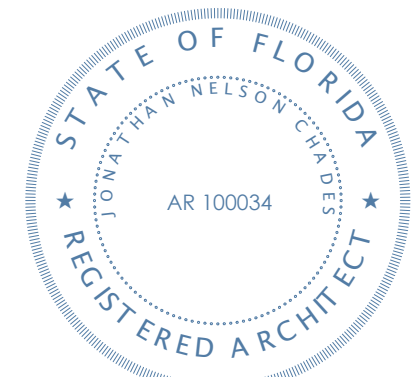


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SEAL



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FLORIDA R.A. #100034

CONSTRUCTION DOCUMENTS

PROJECT TITLE

SITE DEMOLITION PLAN

SHEET TITLE

REVISIONS

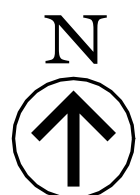
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SHEET

A-004



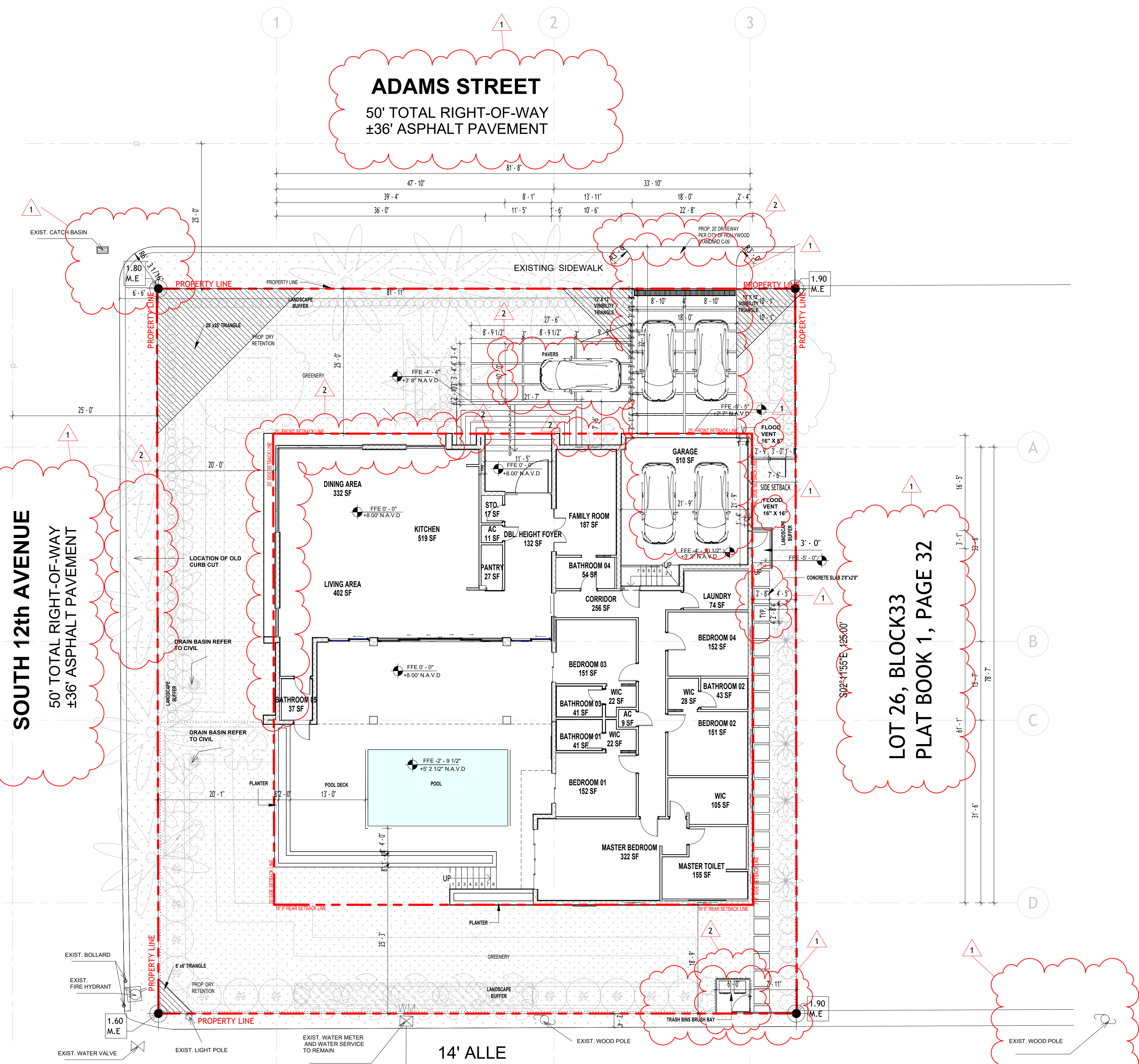
SOUTH 12th AVENUE
50' TOTAL RIGHT-OF-WAY
±36' ASPHALT PAVEMENT

ADAMS STREET
50' TOTAL RIGHT-OF-WAY
±36' ASPHALT PAVEMENT

LOT 26, BLOCK 33
PLAT BOOK 1, PAGE 32

LOT 1, BLOCK 33
PLAT BOOK 1, PAGE 32

LOT 2, BLOCK 33
PLAT BOOK1, PAGE 32



PROPERTY ADDRESS

1150 ADAMS ST HOLLYWOOD FL 33019

FOLIO

514214015590

LEGAL DESCRIPTION

HOLLYWOOD LAKES SECTION 1-32 B LOT 27.28 BLK 33

SITE INFORMATION

EXISTING	PROPOSED
ZONING: SUB-DISTRICT: BUILDING USE:	RS-6 N/A SINGLE FAMILY DWELLING
LAND USE DESIGNATION: COUNTY USE DESIGNATION:	RESIDENTIAL RESIDENTIAL
NET LOT AREA:	13,750 SQFT - 0.32 ACRES
GROSS LOT AREA:	13,750 SQFT - 0.32 ACRES
BASE FLOOD ZONE:	AE - 7.0' NAVD 8.0' NAVD

BUILDING INTENSITY

ALLOWED	PROPOSED
LOT COVERAGE FAR: A/C AREA: BUILDING FOOT PRINT PROPOSED DWELLING NUMBER OF FLOORS BUILDING HEIGHT	N/A N/A N/A 1 2 30'

BUILDING INFORMATION

EXISTING	PROPOSED
TYPE OF CONSTRUCTION SPRINKLER (REQUIRED) FIRE ALARM (REQUIRED) OCCUPANCY CLASSIFICATION BEDROOMS	TBD TBD TBD R-2 5

PARKING CALCULATION:

REQUIRED	PROVIDED
1 SPACE PER 500 SQFT ABOVE FIRST 2,000 SQFT; PROVIDED , HOWEVER, AN ADDITION OF 500 SQFT OR LESS WITH NO BEDROOM SHALL NOT REQUIRE ANY ADDITIONAL SPACES. TOTAL REQUIRED SPACES NOT TO EXCEED 5. TANDEM SPACES ALLOWED IF CARPORT OR GARAGE PRESENT	5

SETBACKS:

REQUIRED	PROVIDED
(a) FRONTAGE (ADAMS) (NORTH) (b) SIDE INTERIOR (EAST)** (c) SIDE/STREET (WEST)** (d) REAR* (ALLEY)	25' 0" 7' 6" 20' 0" 18' 9"

* 15% OF LOT DEPTH

** BOTH SIDE SETBACKS MUST SUM UP TO 25% OF LOT WIDTH

LANDSCAPE

REQUIRED	PROVIDED
IMPERVIOUS AREA BUILDING FOOTPRINT, PARKING, SIDEWALKS & DRIVES	N/A 7951 (58%)
PERVIOUS AREA LANDSCAPE AREAS (SITE)	4,840 SQFT (40%) 5799 SF (42%)

INTERIOR
GROSS BUILDING A/C AREA
GROUND FLOOR (AC) ROOF FLOOR (A.C.) TOTAL (A.C.) AREA
3,911 SF N/A 3,911 SF

FLOOD VENTS

MODEL	FLOOD COVERAGE	AIR VENTILATION	DIMENTION	ROUGHOPENING
1540-510	200 SQ FT	51 SQ IN	16"W X 8"H X 3"D	16 1/4" X 8 1/4"
1540-511	400 SQ FT	102 SQ IN	16"W X 16"H X 3"D	16 1/4" X 16 1/4"

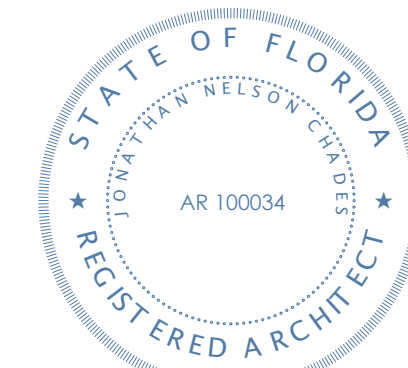


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SEAL



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CONSTRUCTION DOCUMENTS

DALFIN RESIDENCE

1150 ADAMS ST HOLLYWOOD FL 33019

PROJECT TITLE

SITE PLAN

SHEET TITLE

REVISIONS

No.	Description	Date
1	CITY COMMENTS - REV 1	05/04/2026
2	CITY COMMENTS - REV 2	06/02/2026

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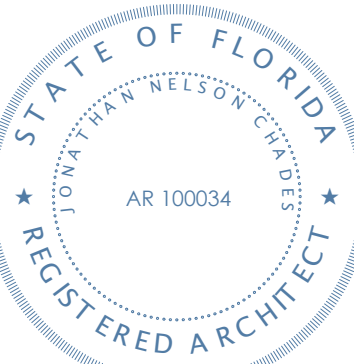
SHEET

A-100



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EAL



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DALFIN RESIDENCE

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GROUND FLOOR PLAN

REVISIONS

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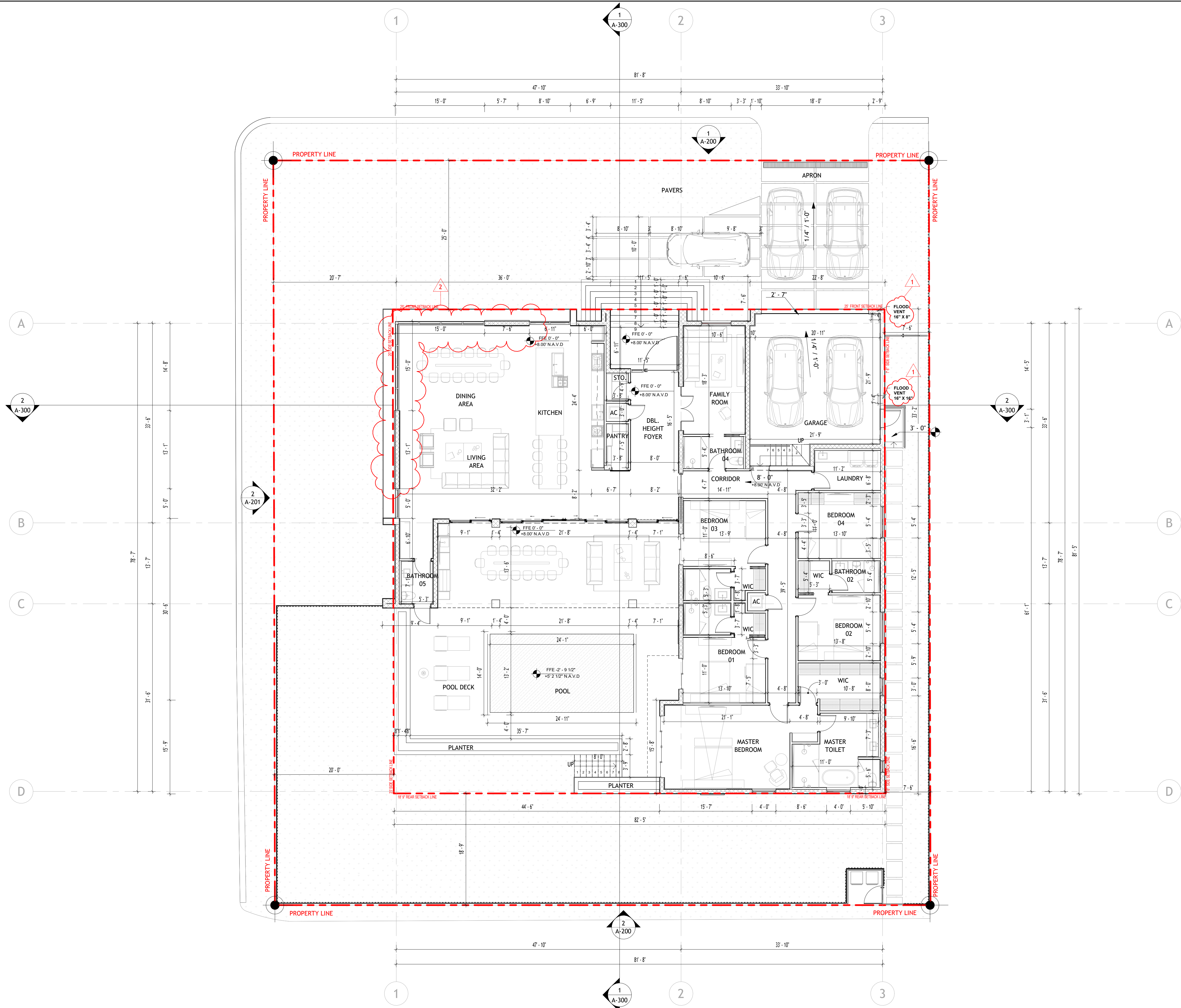
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CHECKED BY: JNC

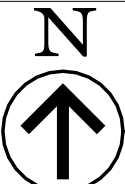
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A-101



1

GROUND FLOOR PLAN

$$1/8'' = 1'-0''$$


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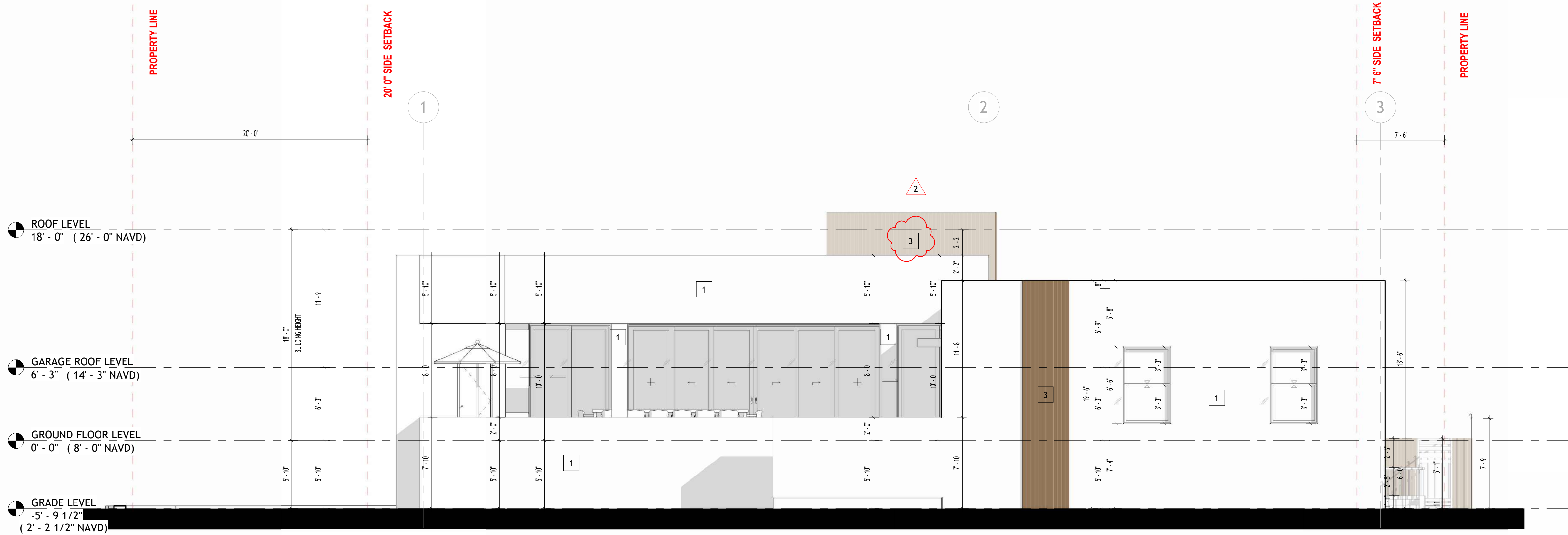
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2

SOUTH ARCHITECTURAL ELEVATION

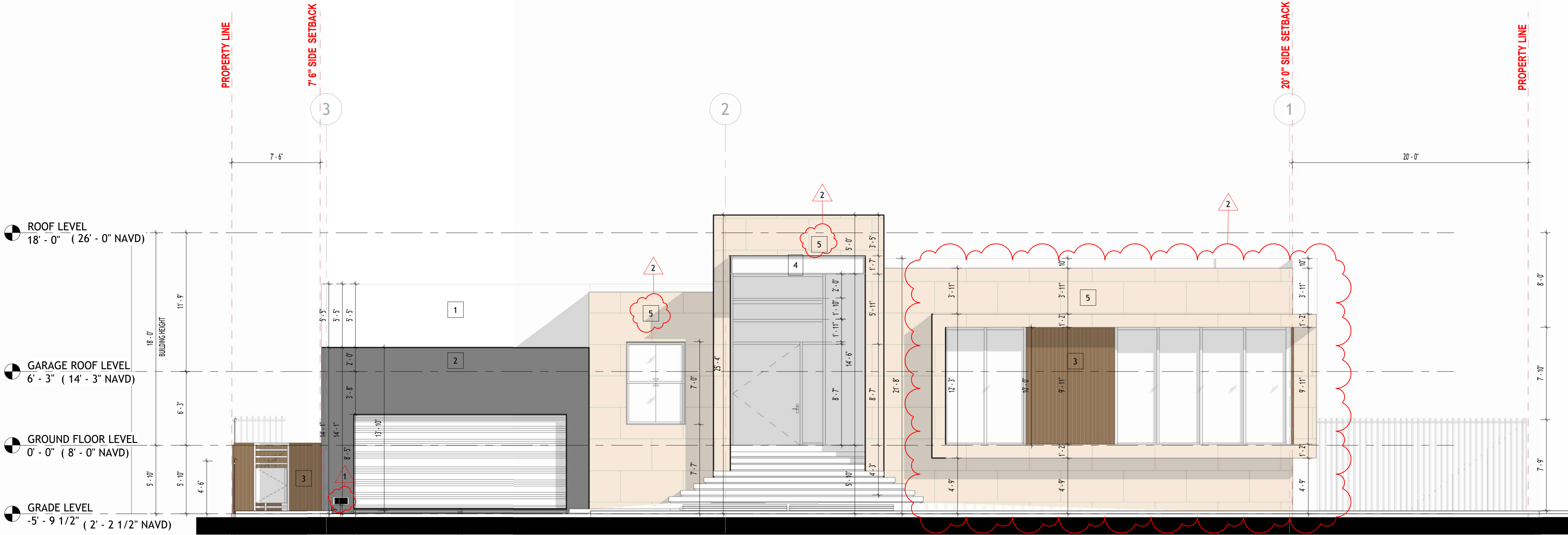
3/16" = 1'-0"



1

NORTH ARCHITECTURAL ELEVATION

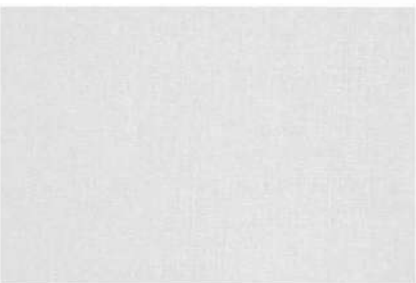
3/16" = 1'-0"



GENERAL NOTES:

- PERMITS:** CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY BUILDING PERMITS, NOT LIMITED, ROOFING, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS / HER CERTIFICATE OF OCCUPANCY.
- QUALIFICATION OF CONTRACTOR:** THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET THE REQUIREMENTS OF DADE COUNTY.
- OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR TO SIGNING THE CONTRACT.** GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUBCONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE.
- EXISTING CONDITIONS:** CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.
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- COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (N.F.P.A. 101), AND ALL LOCAL CODES AND ORDINANCES.**
- SHOP DRAWINGS:** THE CONTRACTOR SHALL SUBMIT ONE COPY BY EMAIL AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.
- PROTECTION:** THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.
- WORKMANSHIP:** ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.
- ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS.**
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.**
- CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.**
- GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEPED BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.**
- STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/ OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.**
- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.**
- ALL EXTERIOR AND CORRIDOR INTERIOR CONCRETE MASONRY UNIT WALLS SHALL RECEIVE CORE FILL 500 (R- 14.2) EXPANDABLE SPRAY FOAM INSULATION IN EVERY VOID CELL. INSTALLATION OF INSULATION SHALL OCCUR AFTER ROOF HAS BEEN DRIED-IN AND AFTER INTERIOR FRAMING HAS PASSED INSPECTION.**

ELEVATIONS / SECTIONS



1 LIGHT GRAY / WHITE STUCCO



2 DARK GRAY STUCCO



3 WOOD LOOK ALUMINUM CLADDING



4 METAL CANOPY



5 HONED NATURAL TRAVERTINE STONE CLADDING, LIGHT WARM BEIGE, 24" X 48" MODULE, T.B.D.

HB GENERAL NOTES- ELEV

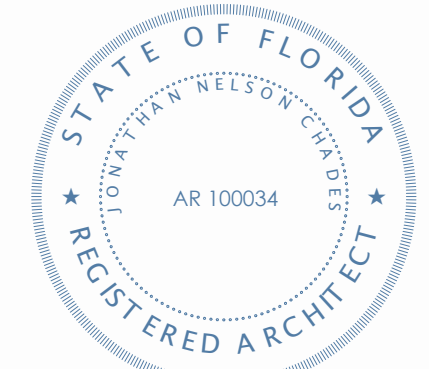
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CONSTRUCTION DOCUMENTS

PROJECT TITLE

**NORTH AND SOUTH
ELEVATIONS**

SHEET TITLE

REVISIONS

No.	Description	Date
1	CITY COMMENTS - REV 1	05/04/2026
2	CITY COMMENTS - REV 2	06/02/2026

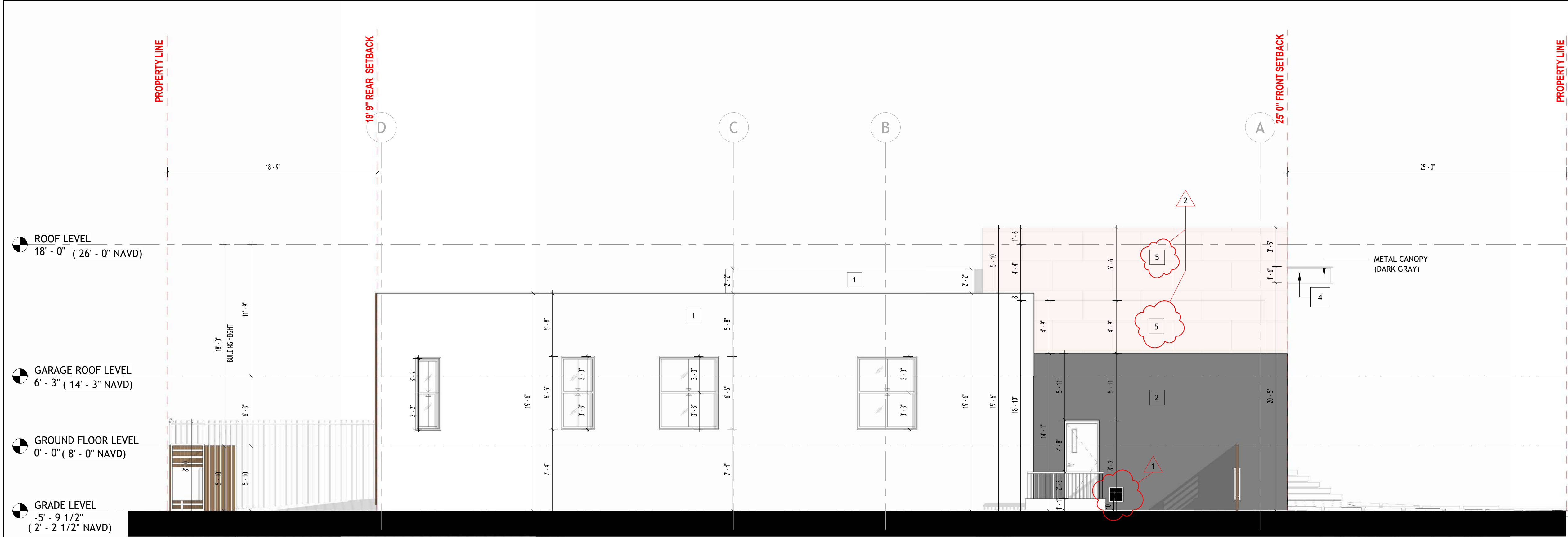
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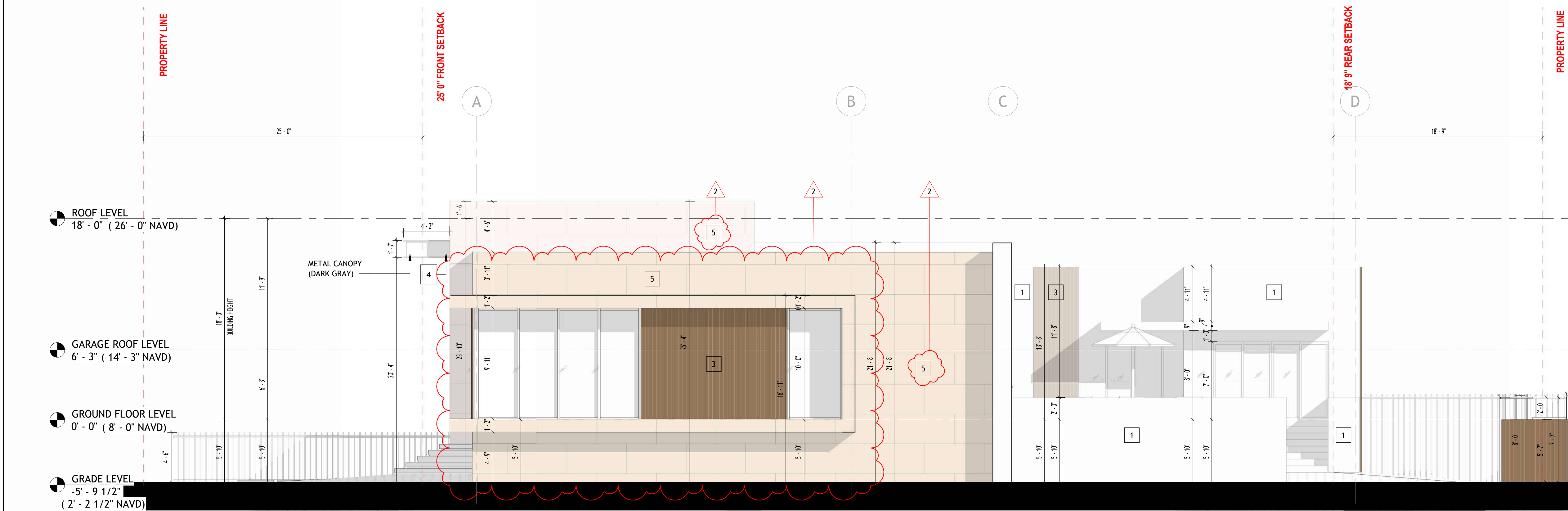
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1 EAST ARCHITECTURAL ELEVATION
3/16" = 1'-0"



2 WEST ARCHITECTURAL ELEVATION
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- SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT ONE COPY BY EMAIL AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.
- PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.
- WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.
- ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS.
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.
- CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.
- GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEPED BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED.
- STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/ OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.
- ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- ALL EXTERIOR AND CORRIDOR INTERIOR CONCRETE MASONRY UNIT WALLS SHALL RECEIVE CORE FILL 500 (R-14.2) EXPANDABLE SPRAY FOAM INSULATION IN EVERY VOID CELL. INSTALLATION OF INSULATION SHALL OCCUR AFTER ROOF HAS BEEN DRIED-IN AND AFTER INTERIOR FRAMING HAS PASSED INSPECTION.

ELEVATIONS / SECTIONS

- | | | | |
|---|---|---|------------------|
| 1 | LIGHT GRAY / WHITE STUCCO | 2 | DARK GRAY STUCCO |
| 3 | WOOD LOOK ALUMINUM CLADDING | 4 | METAL CANOPY |
| 5 | HONED NATURAL TRAVERTINE STONE CLADDING, LIGHT WARM BEIGE, 24" X 48" MODULE, T.B.D. | | |

3 HB GENERAL NOTES- ELEV
1/4" = 1'-0"

REVISIONS

No.	Description	Date
1	CITY COMMENTS - REV 1	05/04/2026
2	CITY COMMENTS - REV 2	06/02/2026

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PROJECT No.: 25176
DATE: 06/02/2026
DRAWN BY: GMV
CHECKED BY: JNC

SHEET

LOCATED IN: D:\For My Company\Projects\2026\2601-1150 Adam Street, Hollywood, FL\OAD\VC-1 -- GENERAL NOTES.dwg & PRINTED ON: Friday, May 29, 2026, 3:47:02 PM

GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE CONSTRUCTION. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIAL SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING/ STORAGE AREA. CONTRACTOR SHALL SECURE STAGING STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVERNIGHT.
14. CONTRACTOR SHALL CLEAN/ SWEEP AT LEAST ONCE A DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN/ ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSD FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES, OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITIONS.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM ECSD FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IF IT IS INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION, ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS/ REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSD.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR OPERATIONS AND/ OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PART OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS, OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN/ VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SOODED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.
40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770.



41. ALL CONNECTIONS TO EXISTING MAINS SHALL BE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
42. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID
 - A. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND, AND HORIZONTAL PIPE DEFLECTION WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - B. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION
 - C. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - D. PROFILE WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISH GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN, THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND, AND VERTICAL PIPE DEFLECTION.
 - E. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - F. ALL CAD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD " SURVEY/ AS-BUILT CAD DRAWING STANDARDS"

WATER SYSTEM NOTES

1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RIISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HAND WHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

SEWER NOTES

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:
L = S x D x P / 148,000
WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI
7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.
9. ALL CATCH BASINS WILL BE COVERED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ALL CATCH BASINS WILL BE CLEANED AND BE FREE OF DEBRIS.
10. ANY DAMAGE TO THE RIGHT OF WAY MUST BE REPAIRED BY THE CONTRACTOR.
11. APPROACH MUST HAVE 5FT RADIUS.

PROJECT NAME

1150 ADAMS STREET,
HOLLYWOOD, FL 33019

SHEET TITLE

GENERAL NOTES
AND SPECIFICATIONS

B.E.S PROJ. No.: _____

DATE: APRIL, 2025

DRAWN BY: _____

DESIGNED BY: _____

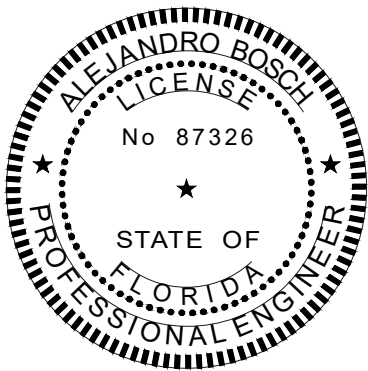
CHECKED BY: _____

REVISIONS _____

date	description	no.

SHEET

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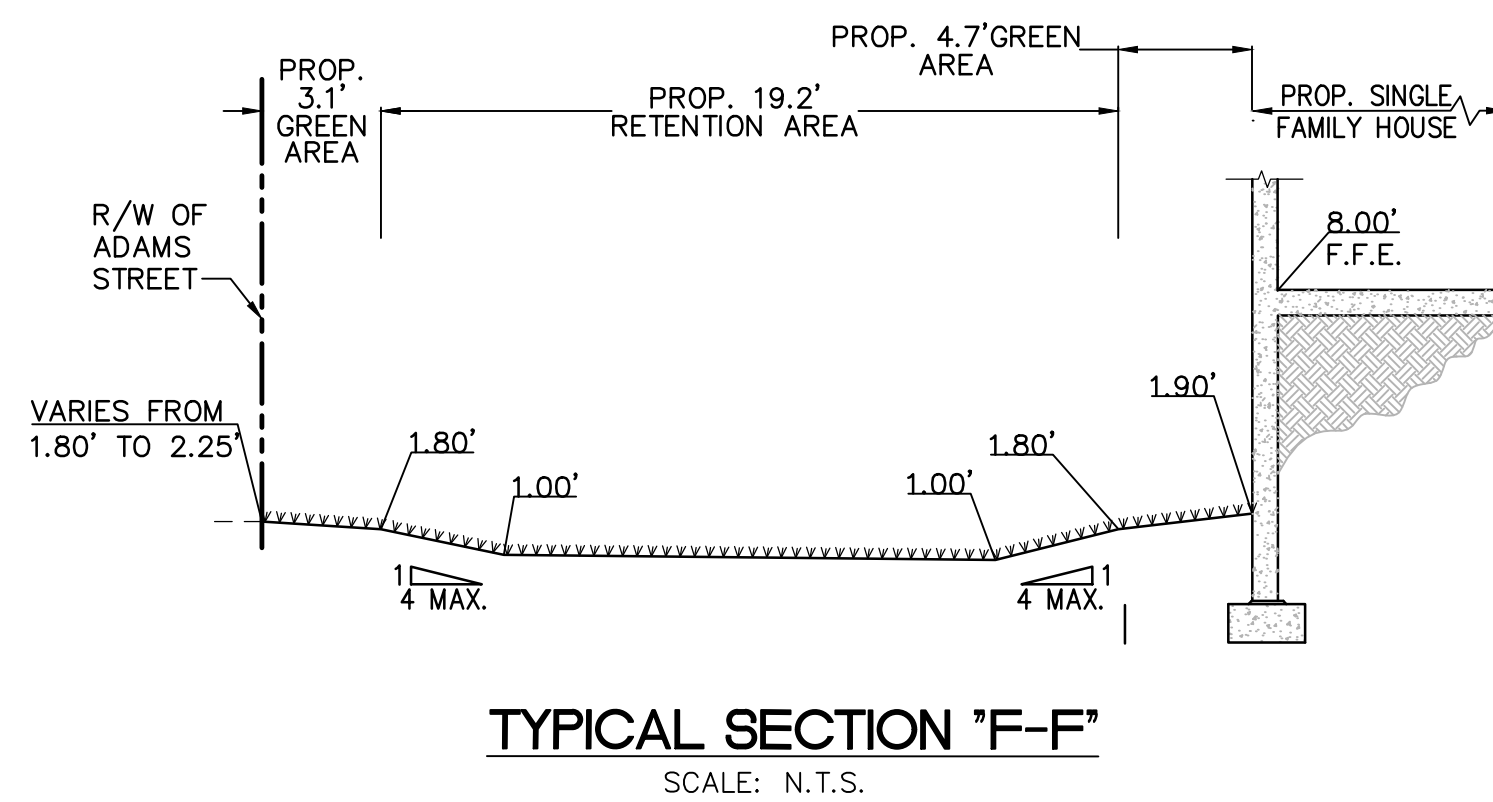
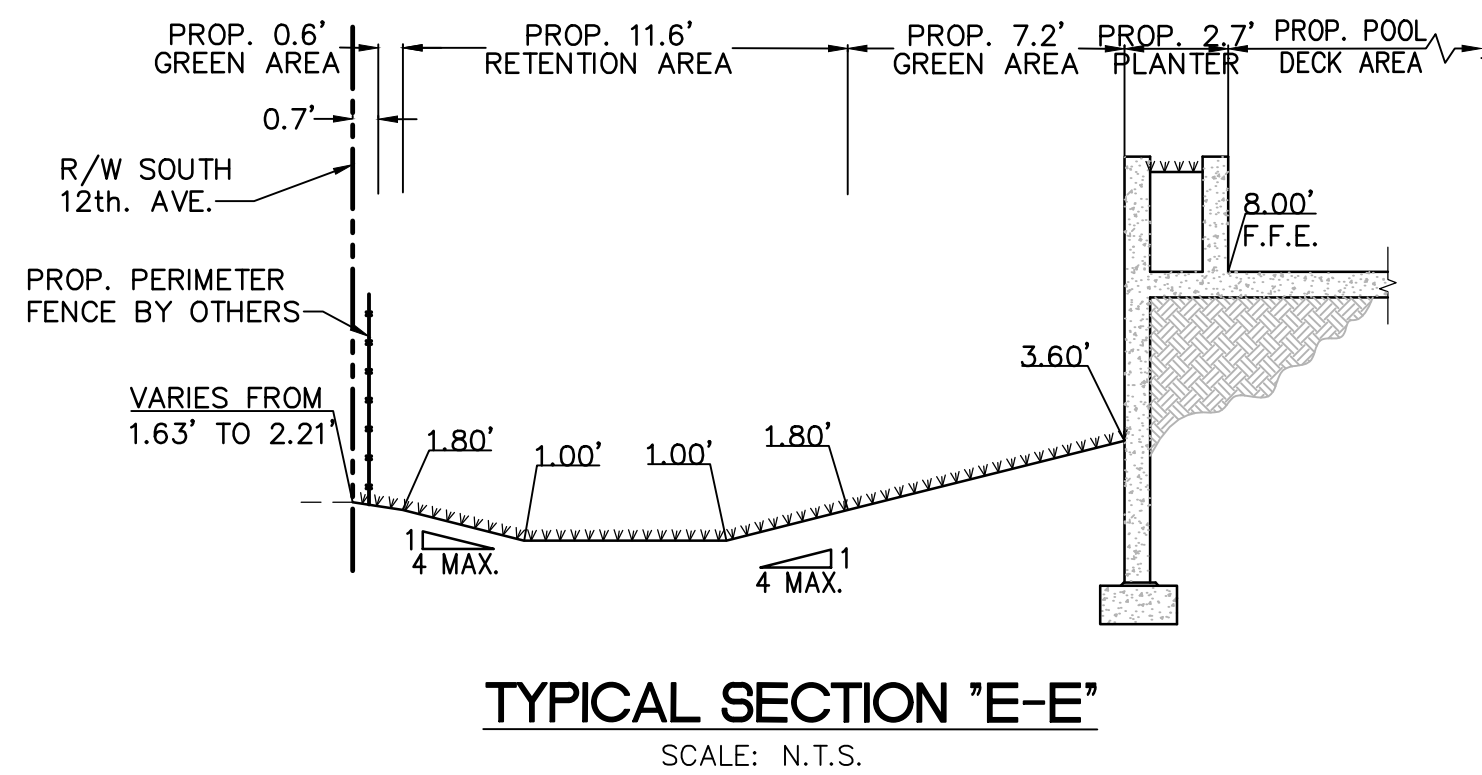
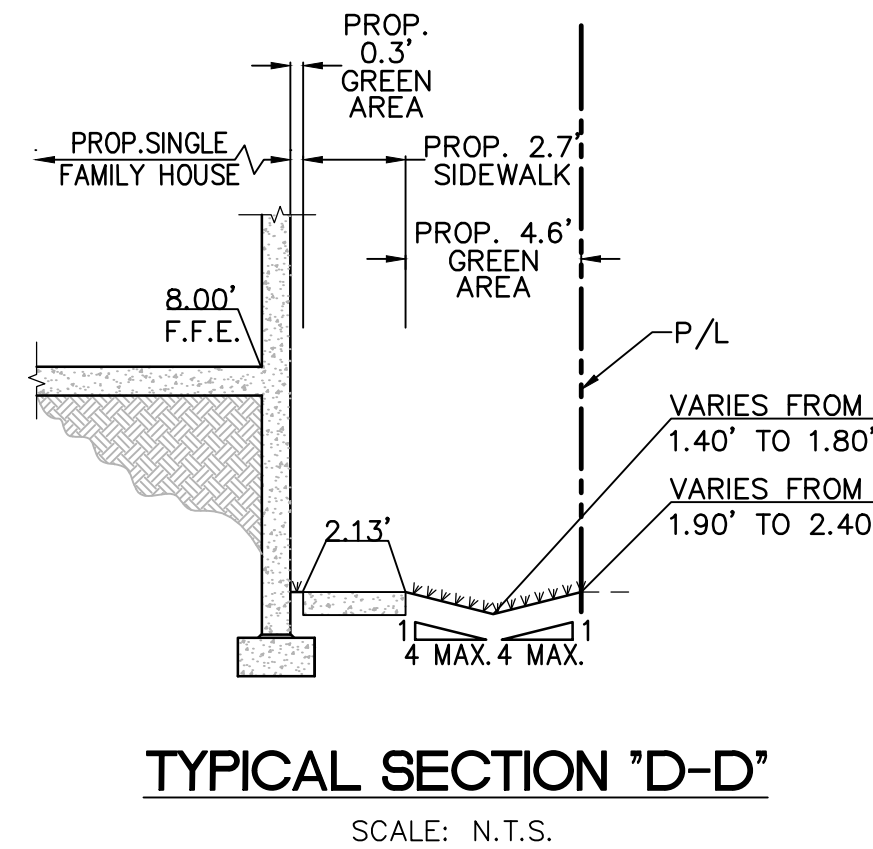
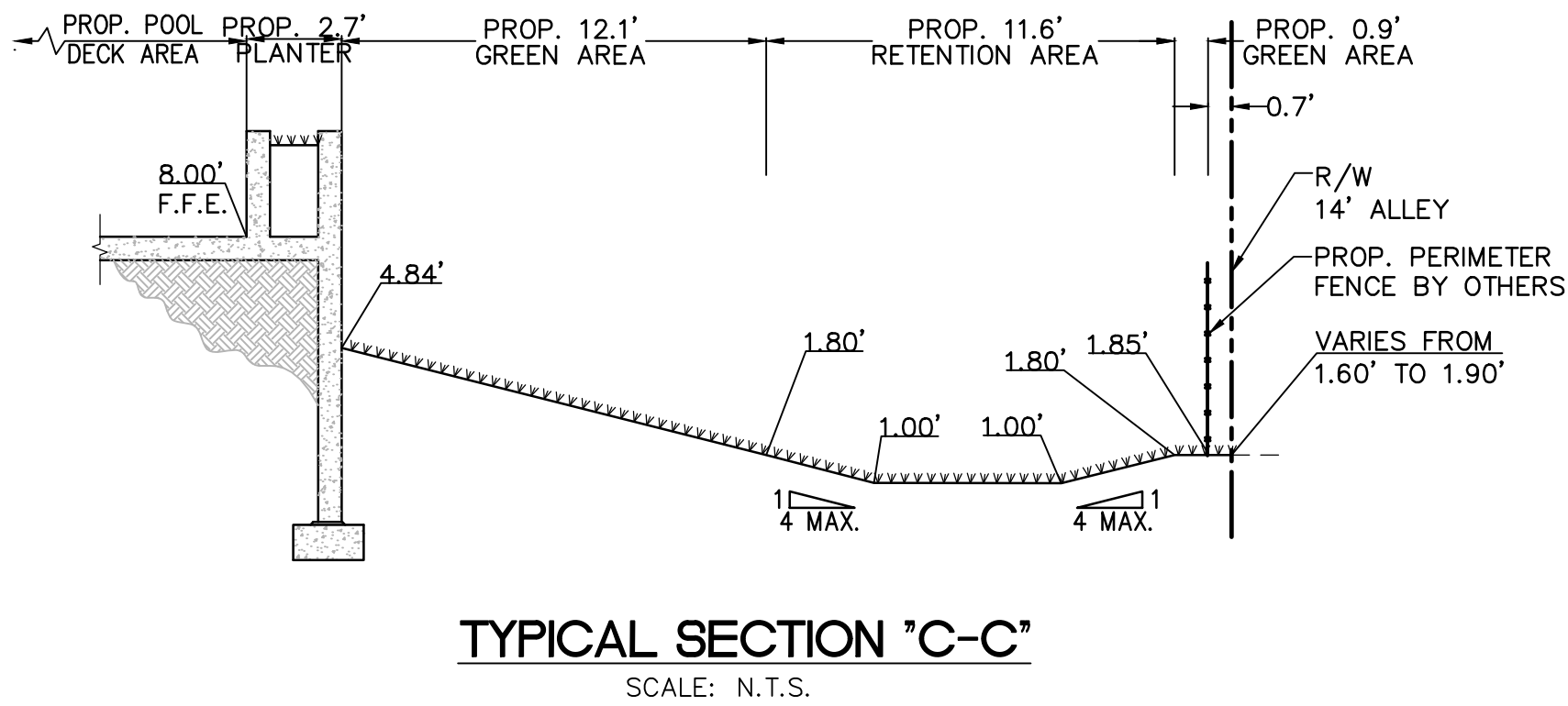
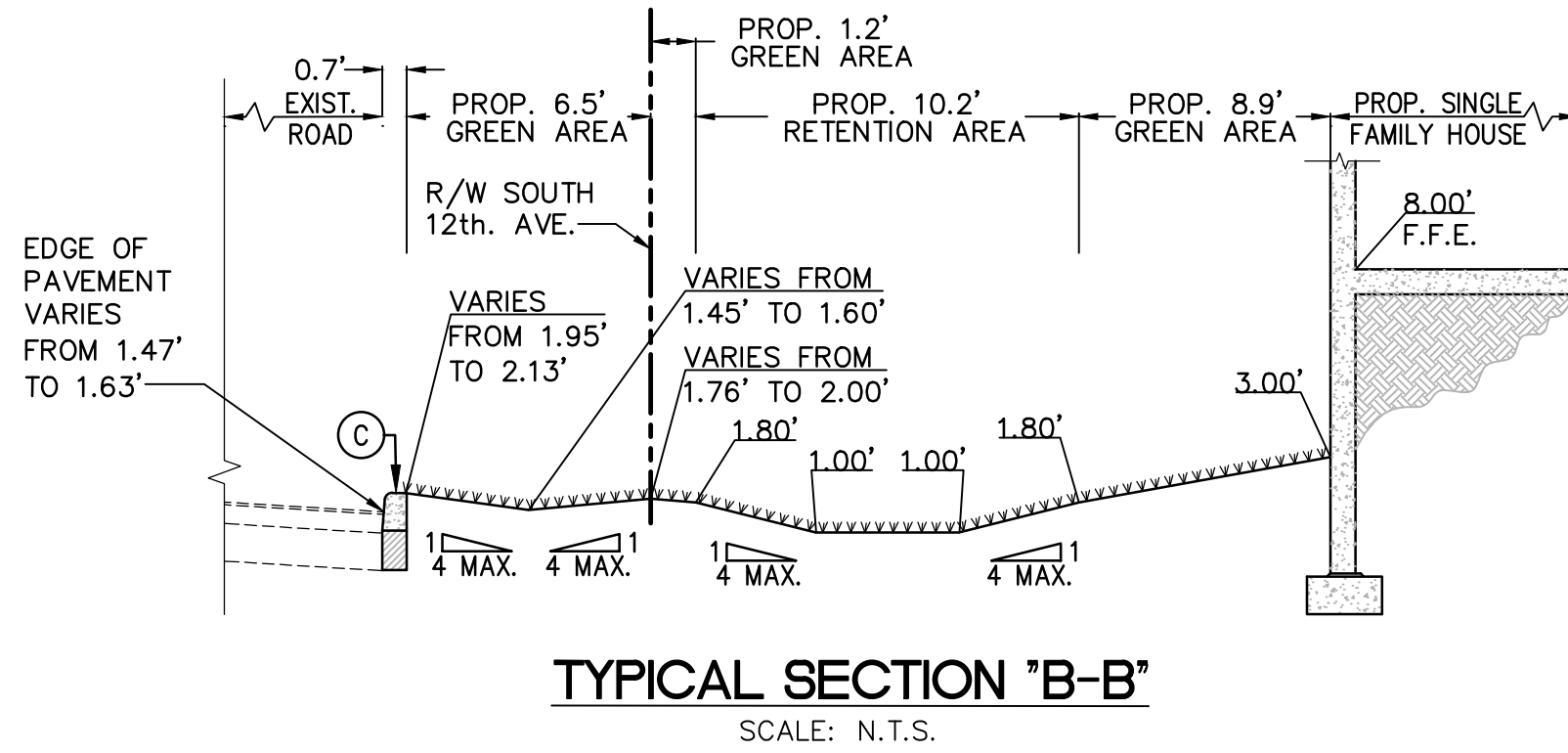
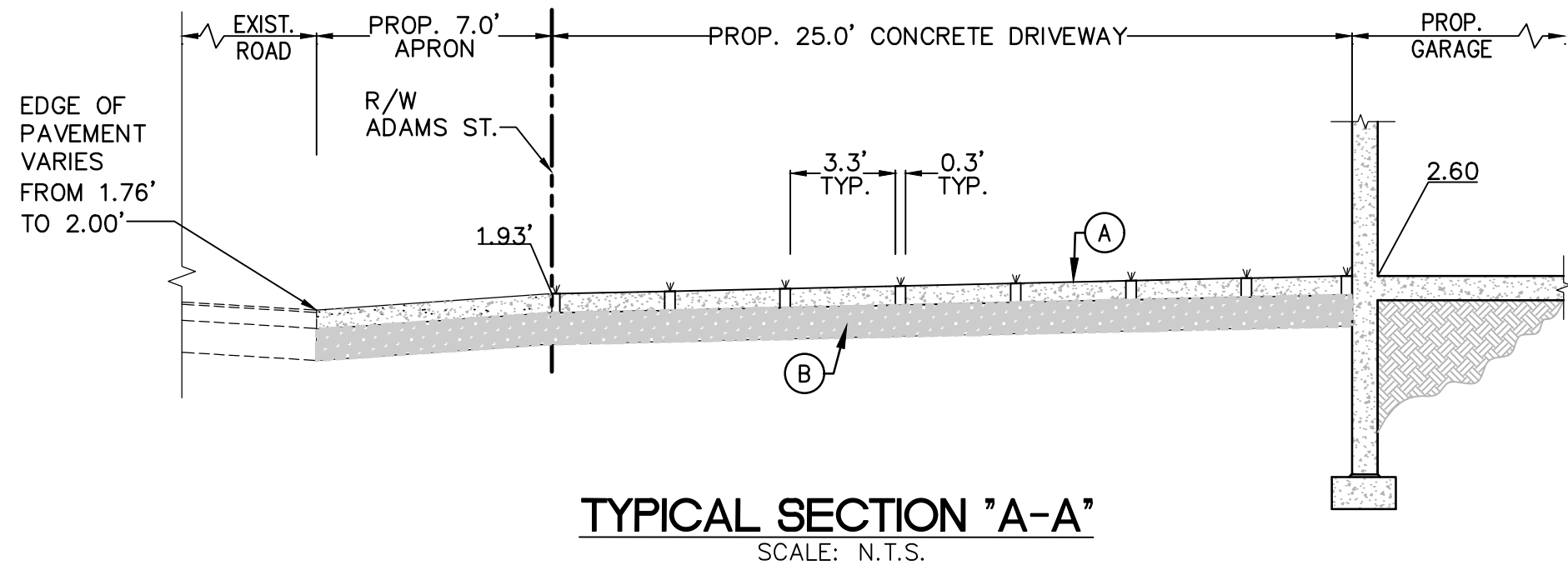


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6/2/2026

LOCATED IN: D:\For My Company\Projects\2026\2601-1150 Adams Street, Hollywood, FL\CAD\C-3 - TYPICAL SECTIONS.dwg & PRINTED ON: Tuesday, June 02, 2026, 9:20:22 AM



LEGEND:

- Ⓐ 6" THICK CONCRETE SIDEWALK
- Ⓑ 12" SUBBASE
- Ⓒ TYPE "D" CURB

PROJECT NAME
**1150 ADAMS STREET,
HOLLYWOOD, FL 33019**

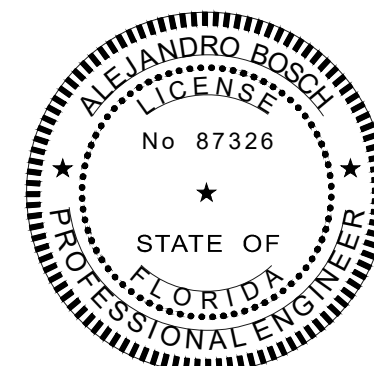
SHEET TITLE
TYPICAL SECTIONS

B.E.S PROJ. No.: _____
DATE: APRIL, 2025
DRAWN BY: _____
DESIGNED BY: _____
CHECKED BY: _____

REVISIONS		
date	description	no.

SHEET

C-3

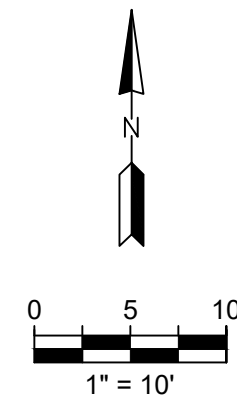
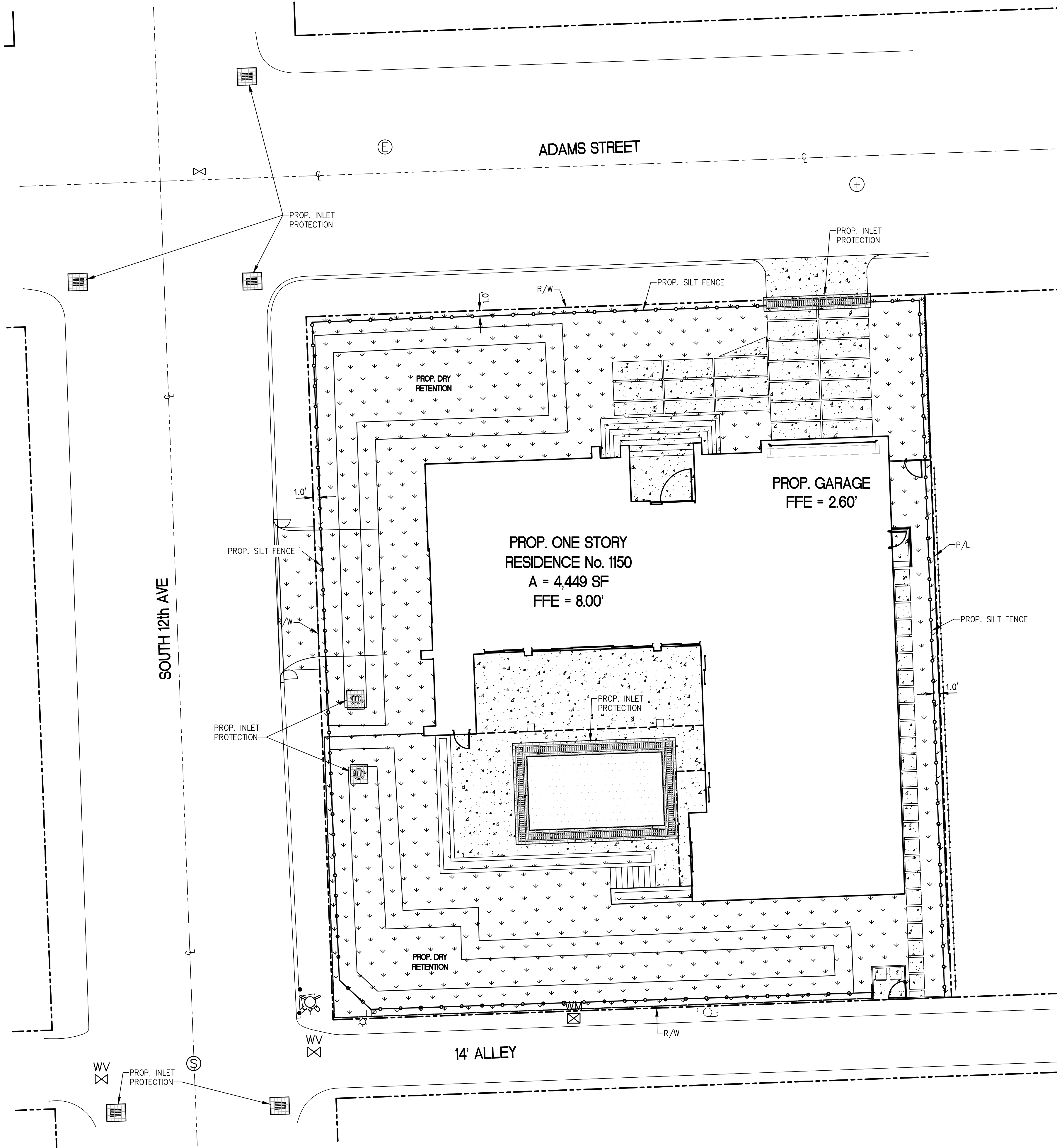


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6/2/2026

LOCATED IN: D:\For My Company\Projects\2026\1150 Adams Street, Hollywood, FL\CAD\C-5 - SWPPP & DETAILS.dwg & PRINTED ON: Saturday, May 30, 2026, 6:10:14 AM

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH BOSCH ENGINEERING SOLUTIONS, INC. WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

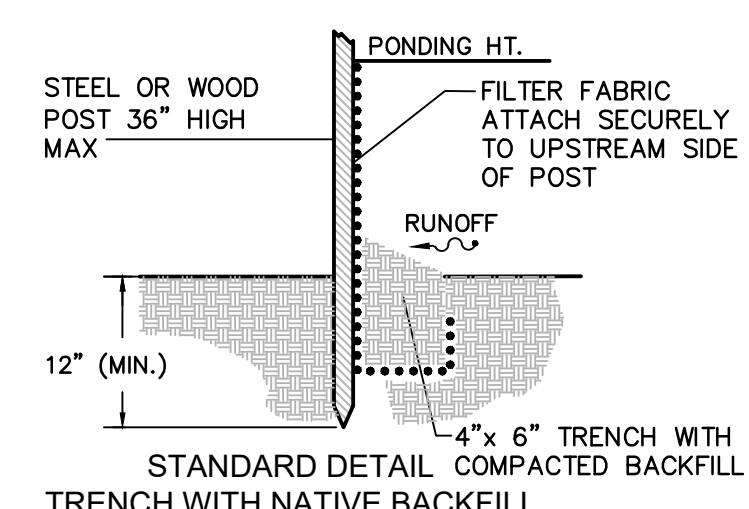
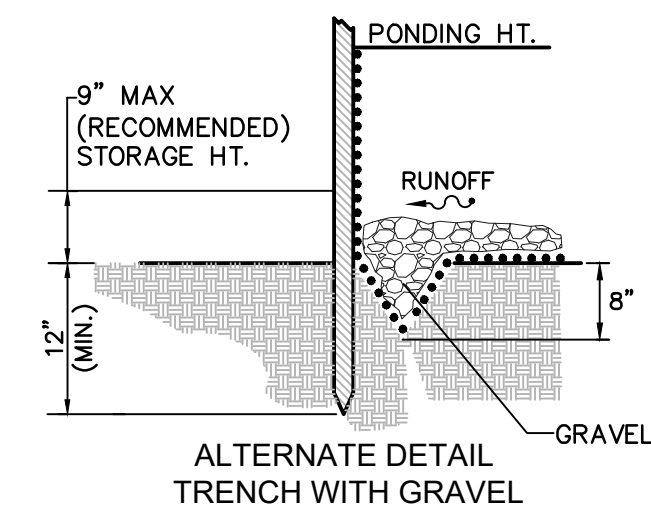
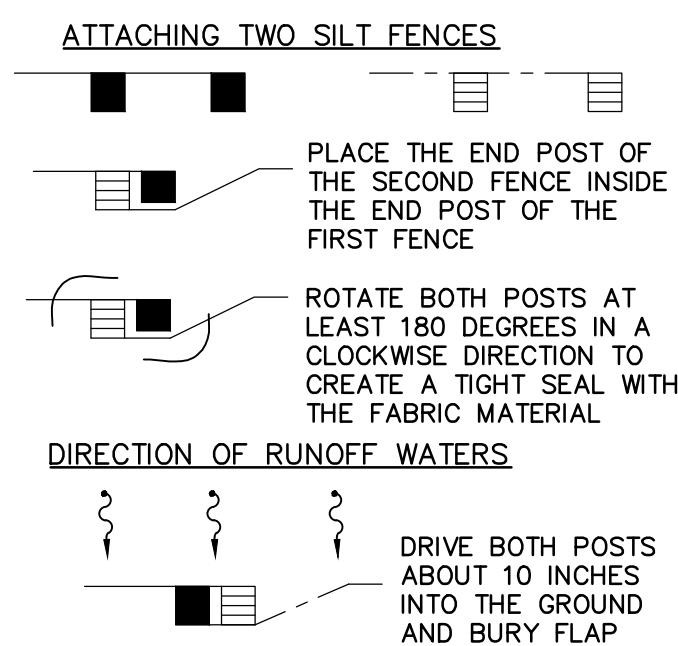
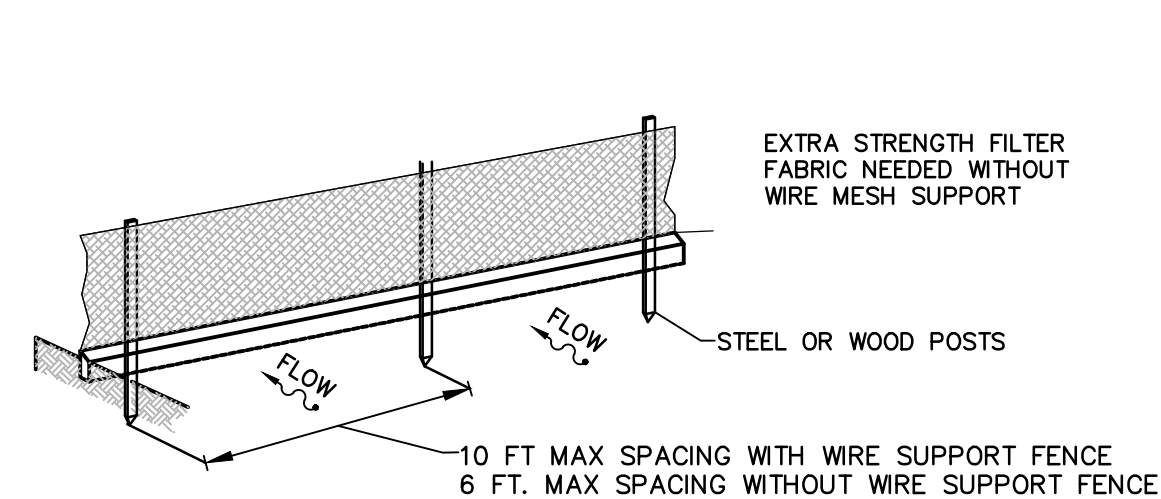


TEMPORARY EROSION CONTROL LEGEND

- PROPOSED SILT FENCE, FDOT TYPE III
- PROPOSED INLET PROTECTION

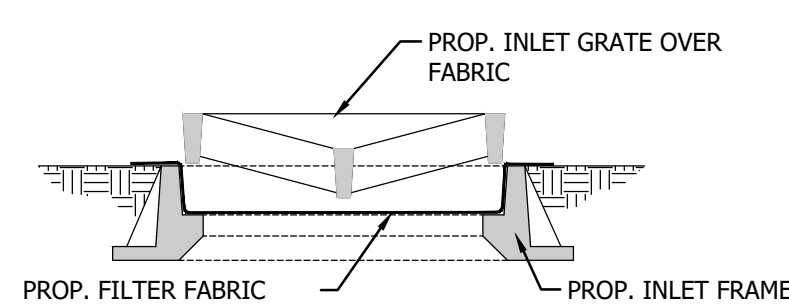
GENERAL NOTES:

- TEMPORARY EROSION AND TURBIDITY CONTROL SHALL BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION, AND PERMANENT CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF ANY CONSTRUCTION ACTIVITY.
- SYNTHETIC BALES AND SILT FENCES SHALL BE INSTALLED AND MAINTAINED AT ALL LOCATIONS AS INDICATED ON PLANS. SYNTHETIC BALES AND SILT FENCES SHALL REMAIN IN PLACE IN ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE, STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- SYNTHETIC BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2 - 1" X 2" (OR 1" DIAM.) X 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.
- ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING.
- SILT FENCES SHALL BE INSTALLED AS INDICATED ON PLANS.
- SYNTHETIC BALES AND/OR FILTER FABRIC SHALL BE INSTALLED AT ALL NEW INLETS DURING CONSTRUCTION.
- SYNTHETIC BALES AND/OR FILTER FABRIC SHALL BE INSTALLED AT EXISTING INLETS LOCATED IN SWALE AREA.
- SILT FENCES SHALL BE PROVIDED ON EXIST INLETS LOCATED IN C&G, OR VALLEY GUTTER.
- FOR ADDITIONAL STRENGTH FILTER FABRIC MATERIAL CAN BE ATTACHED TO A 6" (MAX.) MESH WIRE SCREEN WHICH HAS BEEN FASTENED TO THE POSTS.
- THE FABRIC MATERIAL AND THE WIRE MESH SHALL NOT EXTEND MORE THAN 36" (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND REMOVE SEDIMENT WHEN NECESSARY.
- REMOVE SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



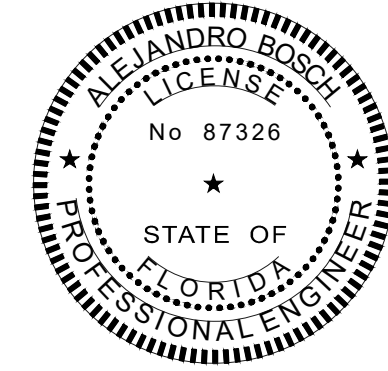
TEMPORARY EROSION AND TURBIDITY CONTROL DETAILS

N.T.S.



FILTER FABRIC DETAIL "A"

N.T.S.



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6/2/2026

PROJECT NAME

1150 ADAMS STREET,
HOLLYWOOD, FL 33019

SHEET TITLE

STORMWATER
POLLUTION PREVENTION
PLAN AND DETAILS

B.E.S PROJ. No.: _____
DATE: APRIL, 2025
DRAWN BY: _____
DESIGNED BY: _____
CHECKED BY: _____

REVISIONS

date	description	no.
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SHEET

C-5