

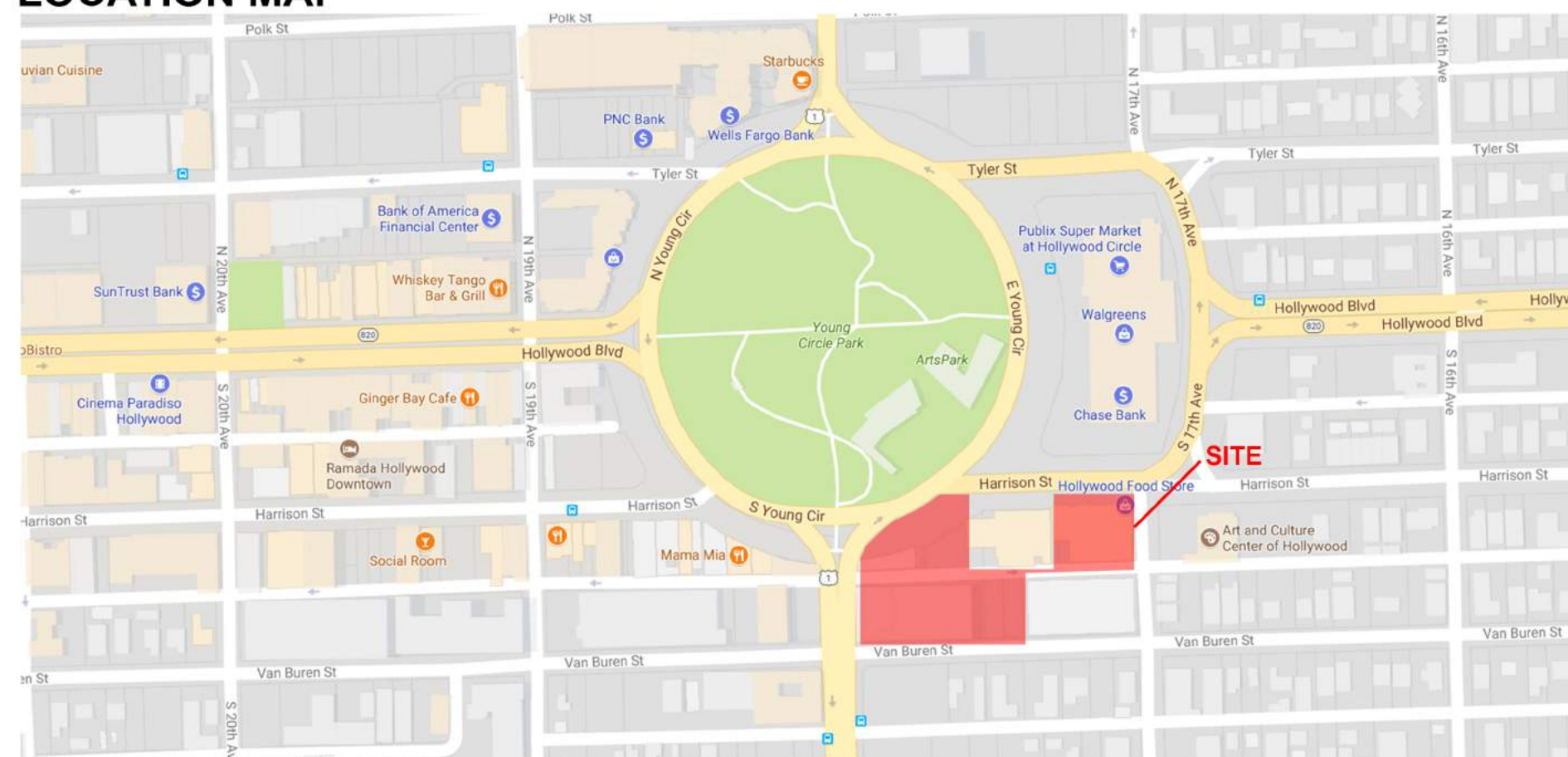
**ATTACHMENT I**  
Application Package





# PARC PLACE

## LOCATION MAP



# INDEX OF SHEETS

## ALTA/NSPS LAND TITLE SURVEY

### ARCHITECTURE

- A0.01 ZONING DATA
- A0.02 OVERALL SITE PLAN
- A0.02C MASTER DEVELOPMENT PLAN IN COLOR
- A0.02D MASTER DEVELOPMENT PLAN IN B&W
- A0.03 OVERALL ROOF PLAN
- A0.04 SITE DETAILS
- A0.05 CONSTRUCTION STAGING PLAN

### ARCHITECTURE PHASE 1

- A1.00 PHASE 1 LOCATION PLAN & PROJECT DATA
- A1.00a PHASE 1 EAST GARAGE SITE PLAN
- A1.01 PHASE 1 EAST GARAGE LEVEL 1
- A1.02 PHASE 1 EAST GARAGE LEVEL 2
- A1.03 PHASE 1 EAST GARAGE LEVEL 3-22
- A1.04 PHASE 1 EAST GARAGE LEVEL 11
- A1.05 PHASE 1 EAST GARAGE NORTH ELEVATION
- A1.06 PHASE 1 EAST GARAGE SOUTH ELEVATION
- A1.07 PHASE 1 EAST GARAGE EAST ELEVATION
- A1.08 PHASE 1 EAST GARAGE WEST ELEVATION
- A1.09 PHASE 1 EAST GARAGE RENDERINGS
- A1.10 PHASE 1 EAST GARAGE CROSS SECTION

### ARCHITECTURE PHASE 2

- A2.00 PHASE 2 LOCATION PLAN & PROJECT DATA
- A2.00a PHASE 2 S&W TOWER SITE PLAN
- A2.01 PHASE 2 S&W TOWER LEVEL 1
- A2.02 PHASE 2 S&W TOWER LEVEL 2
- A2.03 PHASE 2 S&W TOWER LEVEL 3
- A2.04 PHASE 2 S&W TOWER LEVEL 4
- A2.05 PHASE 2 S&W TOWER LEVEL 5
- A2.06 PHASE 2 S&W TOWER LEVEL 6
- A2.07 PHASE 2 S&W TOWER LEVEL 7
- A2.08 PHASE 2 S&W TOWER LEVEL 8
- A2.09 PHASE 2 S&W TOWER LEVELS 9-10
- A2.10 PHASE 2 S&W TOWER LEVEL 11
- A2.11 PHASE 2 S&W TOWER LEVEL 12
- A2.12 PHASE 2 S&W TOWER LEVEL 13-17
- A2.13 PHASE 2 S&W TOWER ROOF LEVEL
- A2.14 PHASE 2 S&W TOWER UNIT PLANS
- A2.15 PHASE 2 S&W TOWER UNIT PLANS
- A2.16 PHASE 2 S&W TOWER UNIT PLANS
- A2.17 PHASE 2 S&W TOWER UNIT PLANS
- A2.18 PHASE 2 S&W TOWER SOUTH ELEVATION
- A2.19 PHASE 2 S&W TOWER NORTH ELEVATION
- A2.20 PHASE 2 S&W TOWER EAST ELEVATION
- A2.21 PHASE 2 S&W TOWER WEST ELEVATION
- A2.22 PHASE 2 S&W TOWER RENDERINGS
- A2.23 PHASE 2 S&W TOWER RENDERINGS
- A2.24 PHASE 2 S&W TOWER GARAGE CROSS SECTION

### ARCHITECTURE PHASE 3

- A3.00 PHASE 3 LOCATION PLAN & PROJECT DATA
- A3.00a PHASE 3 NORTH TOWER SITE PLAN
- A3.01 PHASE 3 NORTH TOWER LEVEL 1
- A3.02 PHASE 3 NORTH TOWER LEVEL 2
- A3.03 PHASE 3 NORTH TOWER LEVEL 3
- A3.04 PHASE 3 NORTH TOWER LEVEL 4
- A3.05 PHASE 3 NORTH TOWER LEVEL 5
- A3.06 PHASE 3 NORTH TOWER LEVEL 6
- A3.07 PHASE 3 NORTH TOWER LEVEL 7-22
- A3.08 PHASE 3 NORTH TOWER LEVEL 23
- A3.09 PHASE 3 NORTH TOWER LEVEL 24-25
- A3.10 PHASE 3 NORTH TOWER ROOF LEVEL
- A3.11 PHASE 3 NORTH TOWER ARTIST LOFT
- A3.12 PHASE 3 NORTH TOWER ARTIST LOFT
- A3.13 PHASE 3 NORTH TOWER ARTIST LOFT
- A3.14 PHASE 3 NORTH TOWER UNIT PLANS
- A3.15 PHASE 3 NORTH TOWER UNIT PLANS
- A3.16 PHASE 3 NORTH TOWER UNIT PLANS
- A3.17 PHASE 3 NORTH TOWER SOUTH ELEVATION
- A3.18 PHASE 3 NORTH TOWER NORTH ELEVATION
- A3.19 PHASE 3 NORTH TOWER EAST ELEVATION
- A3.20 PHASE 3 NORTH TOWER WEST ELEVATION
- A3.21 PHASE 3 NORTH TOWER RENDERINGS
- A3.22 PHASE 3 NORTH TOWER RENDERINGS

## LANDSCAPE ARCHITECTURE

- LH-00 OVERALL HARDSCAPE PLAN
- LH-01 PHASE 1-EAST GARAGE GROUND FLOOR HARDSCAPE & LIGHTING PLAN
- LH-02 PHASE 2-SOUTH & WEST TOWER GROUND FLOOR HARDSCAPE & LIGHTING PLAN
- LH-03 PHASE 3-NORTH TOWER GROUND FLOOR HARDSCAPE & LIGHTING PLAN
- LP-01 PHASE 1-EAST GARAGE GROUND FLOOR PLANTING PLAN
- LP-02 PHASE 2-SOUTH & WEST TOWER GROUND FLOOR PLANTING PLAN
- LP-03 PHASE 2-SOUTH & WEST TOWER LEVEL 7 PLANTING PLAN
- LP-04 PHASE 3-NORTH TOWER GROUND FLOOR PLANTING PLAN
- LP-05 PLANT LIST, NOTES & DETAILS
- LP-06 PLANTING SPECIFICATIONS
- TD-01 TREE DISPOSITION PLANS
- TD-02 TREE DISPOSITION PLANS & TABLE

## CIVIL ENGINEERING

- D-1 OVERALL DEMOLITION PLAN
- D-2 PHASE 1 EAST GARAGE SITE DEMOLITION
- D-3 PHASE 2 SOUTH & WEST TOWERS SITE DEMOLITION
- D-4 PHASE 3 NORTH TOWER SITE DEMOLITION
- C-1 OVERALL PLAN SITE CIVIL
- C-1A PAVEMENT MARKING AND SIGNAGE PLAN
- C-2 PHASE 1 PAVING, GRADING AND DRAINAGE PLAN
- C-3 PHASE 1 WATER AND SEWER PLAN
- C-4 PHASE 2 SOUTH & WEST TOWERS SITE PAVING, GRADING AND DRAINAGE PLAN
- C-5 PHASE 2 SOUTH & WEST TOWERS WATER AND SEWER PLAN
- C-6 PHASE 3 NORTH TOWER SITE PAVING, GRADING AND DRAINAGE PLAN
- C-7 PHASE 3 WATER AND SEWER PLAN
- C-8 WATER DETAILS
- C-9 PAVING GRADING AND DRAINAGE DETAILS 1
- C-10 PAVING, GRADING AND DRAINAGE DETAILS 2
- C-11 GENERAL NOTES AND DETAILS
- C-12 PASSENGER CAR SIMULATION
- C-13 SU-30 TRUCK SIMULATION
- C-14 ENLARGED SU-30 TRUCK SIMULATION

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# ALTA/NSPS LAND TITLE SURVEY

**LEGAL DESCRIPTION:**

**PARCEL 1:**

LOTS 1 THROUGH 8, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**LESS AND EXCEPT:**

THE WEST 15 FEET OF LOT 1, WHICH WAS CONVEYED TO THE CITY OF HOLLYWOOD FOR ROAD PURPOSES BY QUIT-CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 2946, PAGE 550.

FURTHER LESS AND EXCEPT : ROAD RIGHT-OF-WAY FOR U.S. 1.

FURTHER LESS AND EXCEPT: THAT PART OF LOT 1, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST, WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 15-FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF LOT 1 AND TANGENT TO A LINE WHICH IS 15 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID LOT 1. THIS PROPERTY WAS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OFFICIAL RECORDS BOOK 5062, PAGE 444.

**PARCEL 2:**

THE EAST 125.0 FEET OF THE WEST 140.0 FEET OF LOT 24, IN BLOCK 58, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 3:**

LOT 24, LESS THE WEST 140 FEET, IN BLOCK 58, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 4:**

LOT 19, BLOCK 58 OF "THE TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 5:**

LOTS 16, 17 AND 18, BLOCK 58 OF "THE TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 6:**

LOT 9, BLOCK 58 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 7:**

LOTS 10, 11, 12, 13, 14 AND 15 BLOCK 58 OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**LESS AND EXCEPT THEREFROM**

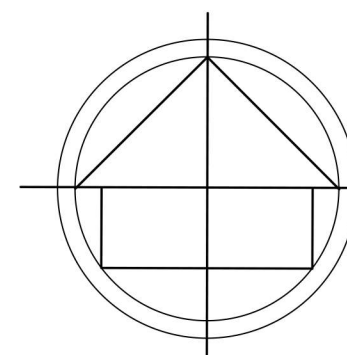
A PORTION OF LOTS 10 THROUGH 15, INCLUSIVE, BLOCK 58 "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID BLOCK 58; THENCE NORTH 90°00'00" WEST ALONG THE SOUTH LINE OF SAID BLOCK 58, A DISTANCE OF 230.71 FEET; THENCE NORTH 00°00'00" EAST, A DISTANCE OF 120.00 FEET; THENCE SOUTH 90°00'00" EAST ALONG A LINE 8.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID LOTS 10 THROUGH 15, INCLUSIVE, A DISTANCE OF 231.11 FEET; THENCE SOUTH 00°11'19" WEST ALONG THE EAST LINE OF SAID BLOCK 58, A DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING.



LOCATION MAP (NTS)

SECTION 15, TOWNSHIP 51S, RANGE 42E



**NOTES :**

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR OWNERS POLICY ISSUED BY OLD REPUBLIC TITLE INSURANCE COMPANY. POLICY NO. OF6-8110847  
DATE OF POLICY : FEBRUARY 8, 2013 AT 11:37 A.M.  
ALSO BASED ON:  
OWNER & ENCUMBRANCE SEARCH REPORT BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY. FILE NUMBER : 17003757  
PERIOD SEARCHED: SEPTEMBER 14, 1921 TO JANUARY 8, 2017 @ 8:00 A.M.
3. THIS SURVEY WAS DONE SOLELY TO SHOW BOUNDARY INFORMATION AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE INITIAL LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS ARE NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
7. BENCHMARK DESCRIPTION : CITY OF HOLLYWOOD BENCHMARK @ JEFFERSON STREET AND 16TH AVENUE. ELEVATION = 4.19'(NAVD88)
8. BEARINGS SHOWN HEREON ARE ASSUMED. THE SOUTH LINE OF BLOCK 58 BEARS N90°00'00"E.
9. PROPERTY IS ZONED : PD-YC-B58 (A PLANNED DEVELOPMENT)
10. PARKING COUNT :  
REGULAR SPACES = 350  
HANDICAP SPACES = 4  
TOTAL SPACES = 354

**TITLE NOTES**

THE FOLLOWING ITEMS ARE REFERENCED TO SCHEDULE B OF THE OWNERS POLICY ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, POLICY NUMBER : OF6-8110847; DATE OF POLICY: FEBRUARY 8, 2013 @ 11:37 A.M.

- ITEM # 3 - ALL MATTERS CONTAINED ON THE PLAT OF "HOLLYWOOD", PER PLAT BOOK 1, PAGE 21, B.C.R. (AFFECTS / PLOTTED)
- ITEM # 4 - EASEMENT PER ORB 3639, PG. 646, AS AFFECTED BY SUBORDINATION OF UTILITY INTEREST PER ORB 16262, PG. 848. (AFFECTS / PLOTTED)
- ITEM # 5 - COVENANT RUNNING WITH THE LAND AS CONTAINED IN QUIT CLAIM DEED, PER ORB 28645, PG. 660. (AFFECTS / NOT PLOTTABLE)
- ITEM # 6 - RESOLUTION PER ORB 40658, PG. 1280. (AFFECTS / NOT PLOTTABLE)
- ITEM # 7 - DEVELOPMENT AGREEMENT PER ORB 44077, PG. 762, TOGETHER WITH ORB 46052, PG. 713. (AFFECTS / NOT PLOTTABLE)
- ITEM # 8 - RESOLUTION PER ORB 45074, PG. 1212. (AFFECTS / NOT PLOTTABLE)
- ITEM # 9 - EASEMENT PER ORB 46652, PG. 297. (AFFECTS / PLOTTED)
- ITEM #10 - EASEMENT AGREEMENT PER ORB 37506, PG. 510. (AFFECTS / NOT PLOTTABLE)

ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**OWNER & ENCUMBRANCE DOCUMENTS OF RECORD**

THE FOLLOWING ITEMS ARE DOCUMENTS OF RECORD OF THE OWNER & ENCUMBRANCE SEARCH REPORT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NUMBER : 16051724; PERIOD SEARCHED : FROM SEPTEMBER 14, 1921 TO MAY 8, 2016 @ 8:00 A.M.

SPECIAL WARRANTY DEED FROM YOUNG CIRCLE LLC, A DELAWARE LIMITED LIABILITY COMPANY TO MG3 HOLLYWOOD, LLC, A FLORIDA LIMITED LIABILITY COMPANY RECORDED ON FEBRUARY 8, 2013 IN OFFICIAL RECORDS BOOK 49494, PAGE 461, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

(AFFECTS / NOT PLOTTABLE)

**SURVEYOR'S CERTIFICATION**

MG3 HOLLYWOOD, LLC, A FLORIDA LIMITED LIABILITY COMPANY  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
REISMAN LAW GROUP, P.A.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A) (NOT PROVIDED BY CLIENT), 6(B) (NOT PROVIDED BY CLIENT), 7(A), 7(B), 7(C), 8, 9, 11 AND 13 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON MAY 16, 2016.

DATED: 05/20/16 FOR THE FIRM BY:

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION No. 4188.

**COUSINS SURVEYORS & ASSOCIATES, INC.**



3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954) 689-7766 FAX (954) 689-7799

**CLIENT :**

MG3 HOLLYWOOD LLC

**PARC PLACE**  
PORTION OF BLOCK 58  
HOLLYWOOD, FLORIDA

R E V I S I O N S				
UPDATE SURVEY	DATE	FB/PG	DWN	CKD
UPDATE SURVEY	01/30/13	SKETCH	AM	REC
UPDATE SURVEY	11/20/13	SKETCH	JD	REC
UPDATE SURVEY	08/27/14	SKETCH	REC	REC
REVISED ZONING INFORMATION	04/18/16	-----	REC	REC
ADDED TOTAL GROSS AREA	04/21/16	-----	AM	REC
UPDATE SURVEY	05/16/16	-----	AM	REC

R E V I S I O N S				
UPDATE SURVEY	DATE	FB/PG	DWN	CKD
REVISED PER ATTORNEY'S COMMENTS	05/20/16	-----	AM	REC
REVISED PER UPDATED OWNER & ENCUMBRANCE SEARCH REPORT	06/07/16	-----	JD	REC
REVISED PER UPDATED OWNER & ENCUMBRANCE SEARCH REPORT	01/17/17	-----	JD	REC
ADDED SECTION, TOWNSHIP AND RANGE	08/11/17	-----	AC	REC

PROJECT NUMBER : 5418-05

SCALE : 1" = 30'

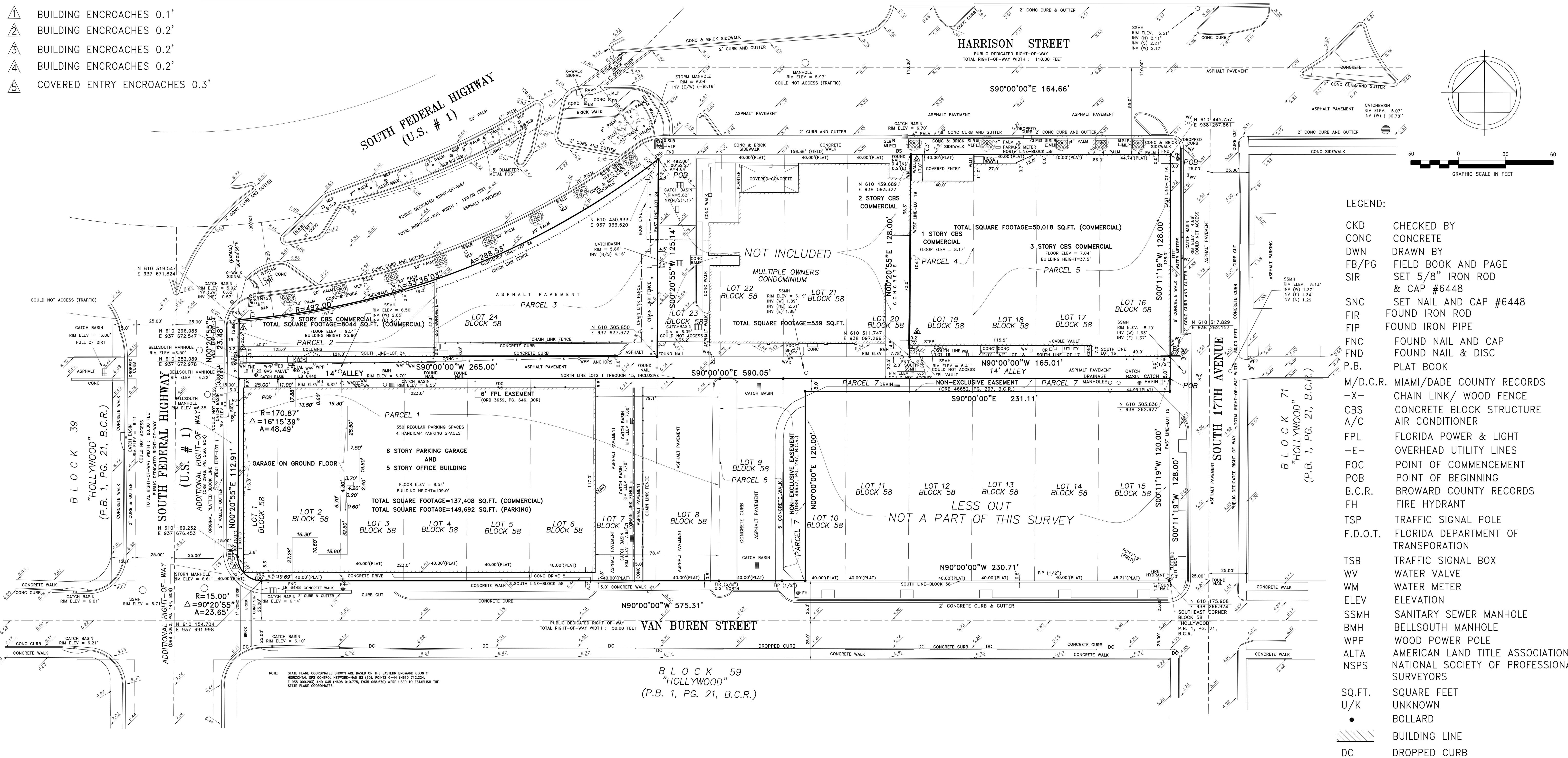
SHEET  
1  
OF  
3  
SHEETS



# ALTA/NSPS LAND TITLE SURVEY

## ENCROACHMENTS

- 1 BUILDING ENCROACHES 0.1'
- 2 BUILDING ENCROACHES 0.2'
- 3 BUILDING ENCROACHES 0.2'
- 4 BUILDING ENCROACHES 0.2'
- 5 COVERED ENTRY ENCROACHES 0.3'



- LEGEND:**
- CKD CHECKED BY
  - CONC CONCRETE
  - DWN DRAWN BY
  - FB/PG FIELD BOOK AND PAGE
  - SIR SET 5/8" IRON ROD & CAP #6448
  - SNC SET NAIL AND CAP #6448
  - FIR FOUND IRON ROD
  - FIP FOUND IRON PIPE
  - FNC FOUND NAIL AND CAP
  - FND FOUND NAIL & DISC
  - P.B. PLAT BOOK
  - M/D.C.R. MIAMI/DADE COUNTY RECORDS
  - X- CHAIN LINK/ WOOD FENCE
  - CBS CONCRETE BLOCK STRUCTURE
  - A/C AIR CONDITIONER
  - FPL FLORIDA POWER & LIGHT
  - E- OVERHEAD UTILITY LINES
  - POC POINT OF COMMENCEMENT
  - POB POINT OF BEGINNING
  - B.C.R. BROWARD COUNTY RECORDS
  - FH FIRE HYDRANT
  - TSP TRAFFIC SIGNAL POLE
  - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
  - TSB TRAFFIC SIGNAL BOX
  - WV WATER VALVE
  - WM WATER METER
  - ELEV ELEVATION
  - SSMH SANITARY SEWER MANHOLE
  - BMH BELLSOUTH MANHOLE
  - WPP WOOD POWER POLE
  - ALTA AMERICAN LAND TITLE ASSOCIATION
  - NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
  - SQ.FT. SQUARE FEET
  - U/K UNKNOWN
  - BOLLARD
  - ▨ BUILDING LINE
  - DC DROPPED CURB

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	0.2 PCT
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

NET AREA			
PARCEL A	AREA =	75,500 SQ.FT.	/ 1.7332 ACRES
PARCEL B	AREA =	21,098 SQ.FT.	/ 0.4843 ACRES
PARCEL C	AREA =	15,693 SQ.FT.	/ 0.3606 ACRES
LESS OUT	=	27,709 SQ.FT.	/ 0.6361 ACRES
TOTAL NET AREA	=	84,582 SQ.FT.	/ 1.9419 ACRES
TOTAL GROSS AREA	=	141,083 SQ.FT.	/ 3.2388 ACRES

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CLIENT :  
**MG3 HOLLYWOOD LLC**

**PARC PLACE**  
 PORTION OF BLOCK 58  
 HOLLYWOOD, FLORIDA

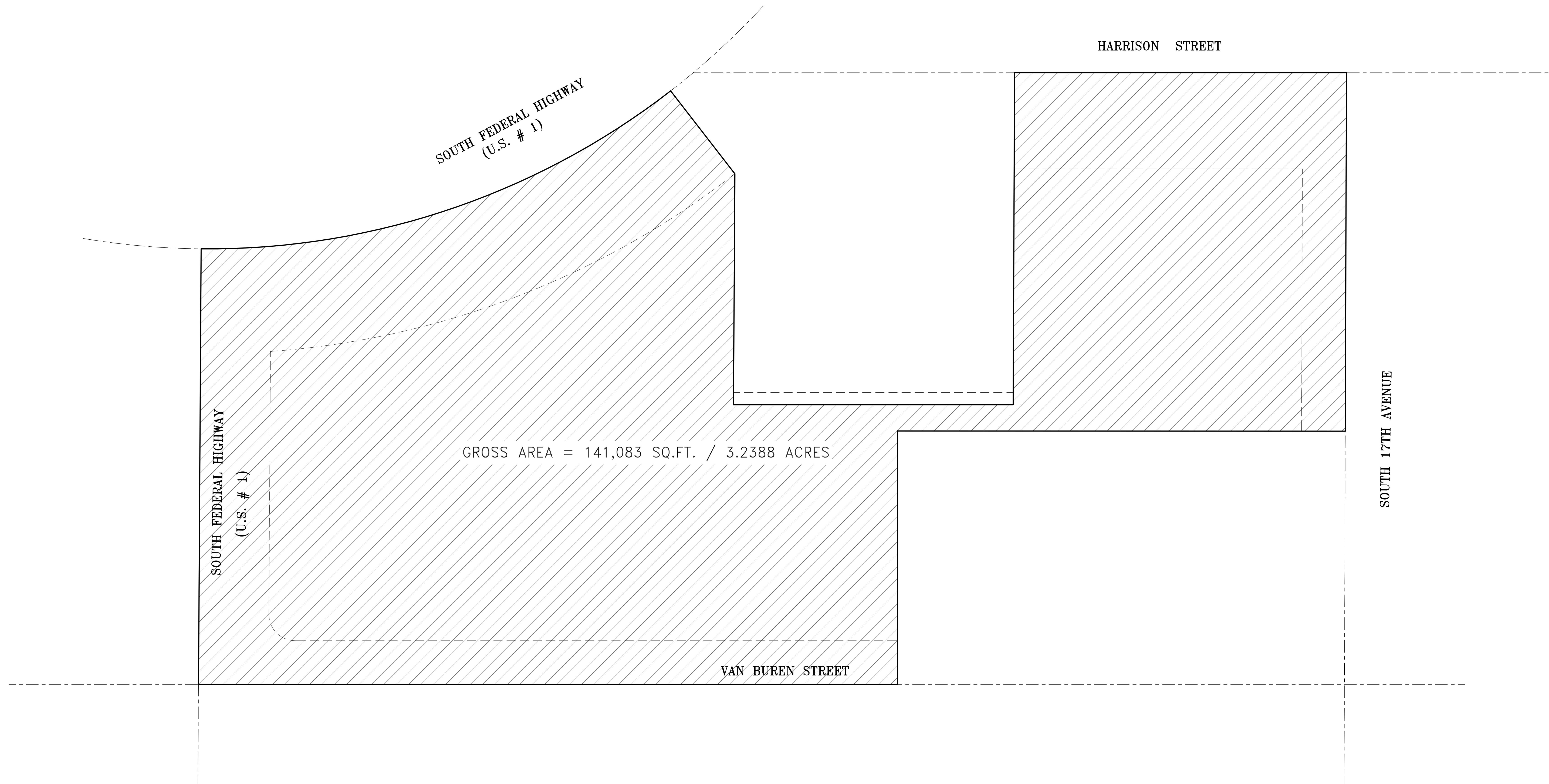
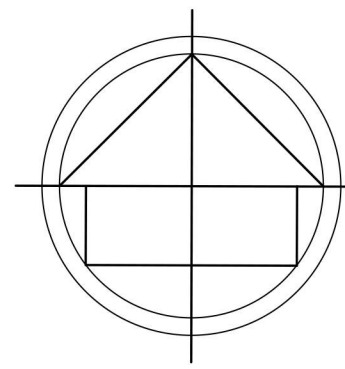
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UPDATE SURVEY	01/30/13	SKETCH	AM	REC
UPDATE SURVEY	11/20/13	SKETCH	JD	REC
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ADDED TOTAL GROSS AREA	04/21/16	-----	AM	REC
UPDATE SURVEY	05/16/16	-----	AM	REC

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ADDED SECTION, TOWNSHIP AND RANGE	08/11/17	-----	AC	REC

PROJECT NUMBER : 5418-05  
 SCALE : 1" = 30'

SHEET  
 2 OF  
 3  
 SHEETS





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**PARC PLACE**  
 PORTION OF BLOCK 58  
 HOLLYWOOD, FLORIDA

GROSS LAND AREA

REVISIONS		DATE	FB/PG	DWN	CKD
UPDATE SURVEY		01/30/13	SKETCH	AM	REC
UPDATE SURVEY		11/20/13	SKETCH	JD	REC
UPDATE SURVEY		08/27/14	SKETCH	REC	REC
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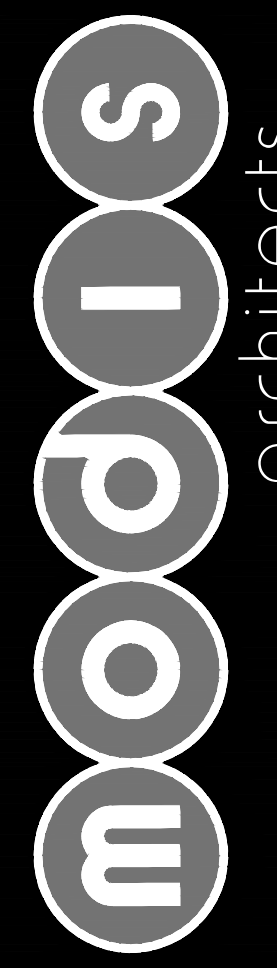
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 SCALE : 1" = 30'

SHEET  
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 OF  
 3  
 SHEETS



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Zoning Site Data		WSG Hollywood Development LLC	Zoning Site Data		Parc Place Towers Phase Breakdown						
Title	Description	Development Agreement May 18, 2007	Title	Description	Parc Place Project Overall Totals	Phase 1 (East Garage)		Phase 2 (South & West Towers)		Phase 3 (North Tower)	
		Previous Approved Site Plan			NEW PROPOSED SITE PLAN	REQUIRED/ ALLOWED UNDER YC-B58	PROPOSED & ALLOWED PER PD ZONING	REQUIRED/ ALLOWED UNDER YC-B58	PROPOSED & ALLOWED PER PD ZONING	REQUIRED/ ALLOWED UNDER YC-B58	PROPOSED & ALLOWED PER PD ZONING
<b>Legal Description:</b>	Refer to Survey	Refer to Survey	<b>Legal Description:</b>	Refer to Survey							
<b>Gross Lot Area:</b>		141,083 SQ.FT. (3.2388 ACRES)	<b>Gross Lot Area:</b>		141,083 SQ.FT. (3.2388 ACRES)						
<b>Net Lot Area:</b>		84,582 SQ.FT. (1.9419 ACRES)	<b>Net Lot Area:</b>		88,292 SQ.FT. (2.026 ACRES)		21,098 SQ.FT. (0.4843 ACRES)		47,791 SQ.FT. (1.097 ACRES)		15,693 SQ.FT. (.3602 ACRES)
<b>Land Use:</b>	RAC Zone	RAC Zone	<b>Land Use:</b>	RAC Zone							3,710 SQ.FT. (.085 ACRES) ALLEY
<b>Zoning District:</b>	PD-YC-B58	PD-YC-B58	<b>Zoning District:</b>	PD-YC-B58							
<b>Density/Acres:</b>	Per Phase										
<b>Lot Coverage:</b>	Lot Coverage Principal Building		<b>Lot Coverage:</b>	Lot Coverage Principal Building							
<b>Building Height &amp; Stories:</b>	Building Heights:	Approx. Parcel A & C 25 Stories/ 248'8"	<b>Building Height &amp; Stories:</b>	Building Heights:		17,531 sq.ft. (81.0%)		40,056 sq.ft. (83.8%)		16,487 sq.ft. (84.9%)	
		Approx. Parcel B (East) 8 Stories/ 87'8"	<b>FAR</b>		88,292 SQ.FT. (2.026 ACRES)	397,314 sf (4.5)	192,732 SF (2.7)	397,314 sf (4.5)	364,319 SF (4.12)	397,314 sf (4.5)	356,800 SF (4.04)
<b>Principal Building Size, Setbacks &amp; Spacing:</b>	Building Length		<b>Building Height &amp; Stories:</b>	Building Heights:		MAX. 230'-0"	11 Stories / 125'-6" T.O PARAPET	MAX. 230'-0"	11 Stories/ 128'-5" T.O PARAPET (West Tower)	MAX. 230'-0"	25 Stories/ 273'-0" T.O PARAPET
	Front Setback								17 Stories/ 179'-2" T.O PARAPET (South Tower)		
	Rear Setback		<b>Principal Building Size, Setbacks &amp; Spacing:</b>	Front Setback		10'-0"	10'-0"	10'-0"	5'-3"	10'-0"	5'-0"
	Side Setback (WEST)			Rear Setback		Harrison St		Van Buren St.		North (South Federal Highway)	
	Side Setback (EAST)			Side Setback (WEST)		5'-0"	0'-0"	5'-0"	0'-0"	10'-0"	0'-0"
				Side Setback (EAST)		South (Alley)		North (Alley)		South (Alley)	
						5'-0"	0'-0"	10'-0"	12'-9"	10'-0"	36'-10"
						West		South Federal Highway		West South Federal Highway	
<b>Building &amp; Unit Tabulations:</b>	Project Data			Side Setback (EAST)		15'-0"	10'-5"	0'-0"	0'-0"	0'-0"	10'-0"
<b>Commercial Retail:</b>	Total Sq ft	Approx. 30,000 Sq Ft				17th Avenue		East		East (Alley)	
<b>Commercial Office:</b>	Total Sq ft	Approx. 50,000 Sq Ft	<b>Building &amp; Unit Tabulations:</b>	Project Data			Refer to table per phase Sheet A1.00		Refer to table per phase Sheet A2.00		Refer to table per phase Sheet A3.00
<b>Total Units:</b>	Per Phase	Approx. Parcel A & C 420 Units	<b>Commercial Retail:</b>	Total Sq ft	20,160 Sq Ft		<b>9,945 Sq Ft</b>		<b>3,153 Sq Ft</b>		<b>7,062 Sq Ft</b>
		Parcel B- Office use only	<b>Commercial Office:</b>	Total Sq ft	None		N/A		N/A		N/A
<b>Parking Provided:</b>	Per Phase	Approx. Parcel A & C- 614 Parking	<b>Total Units:</b>	Per Phase	433 Units		0		<b>35 units (West Tower)</b>		<b>296 units</b>
		Approx. Parcel B- 131 Parking							<b>102 units (South Tower)</b>		
<b>Parking Overall Total:</b>		Approx. 745 Parking Provided	<b>Parking Provided:</b>	Per Phase			<b>330 Parking</b>		<b>151 Parking</b>		<b>456 Parking</b>
									<b>326 Parking</b>		<b>456 Parking</b>
			<b>Parking Overall Total:</b>				<b>786 Parking</b>				



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project info :

## Parc Place

### Phase 1, 2 & 3

Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDF  
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

Rev 1	06/28/2018

drawing data :

## ZONING DATA

project number : #15197

drawing scale : As Shown

drawing date : 06/18/2018

phase : Final TAC

sheet number : **A0.01**

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**GENERAL NOTES:**

- SEE ENLARGED PLANS FOR FURTHER DIMS AND NOTES.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL SIGNAGE UNDER SEPARATE PERMIT AND WILL MEET ZONING AND LAND DEVELOPMENT REGULATIONS.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- SEE CIVIL DRAWINGS FOR ON-STREET PARKING AND PAVING INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR SIDEWALK AND PLANTING INFORMATION.
- ALL BUILDING WILL COMPLY WITH NFPA 1, 11, 10 TO MEET THE MINIMUM TW-WAY RADIO COMMUNICATION SIGNAL REQUIREMENTS.
- ALL SIGNAGE SHALL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.

**SITE LIGHTING NOTE:**

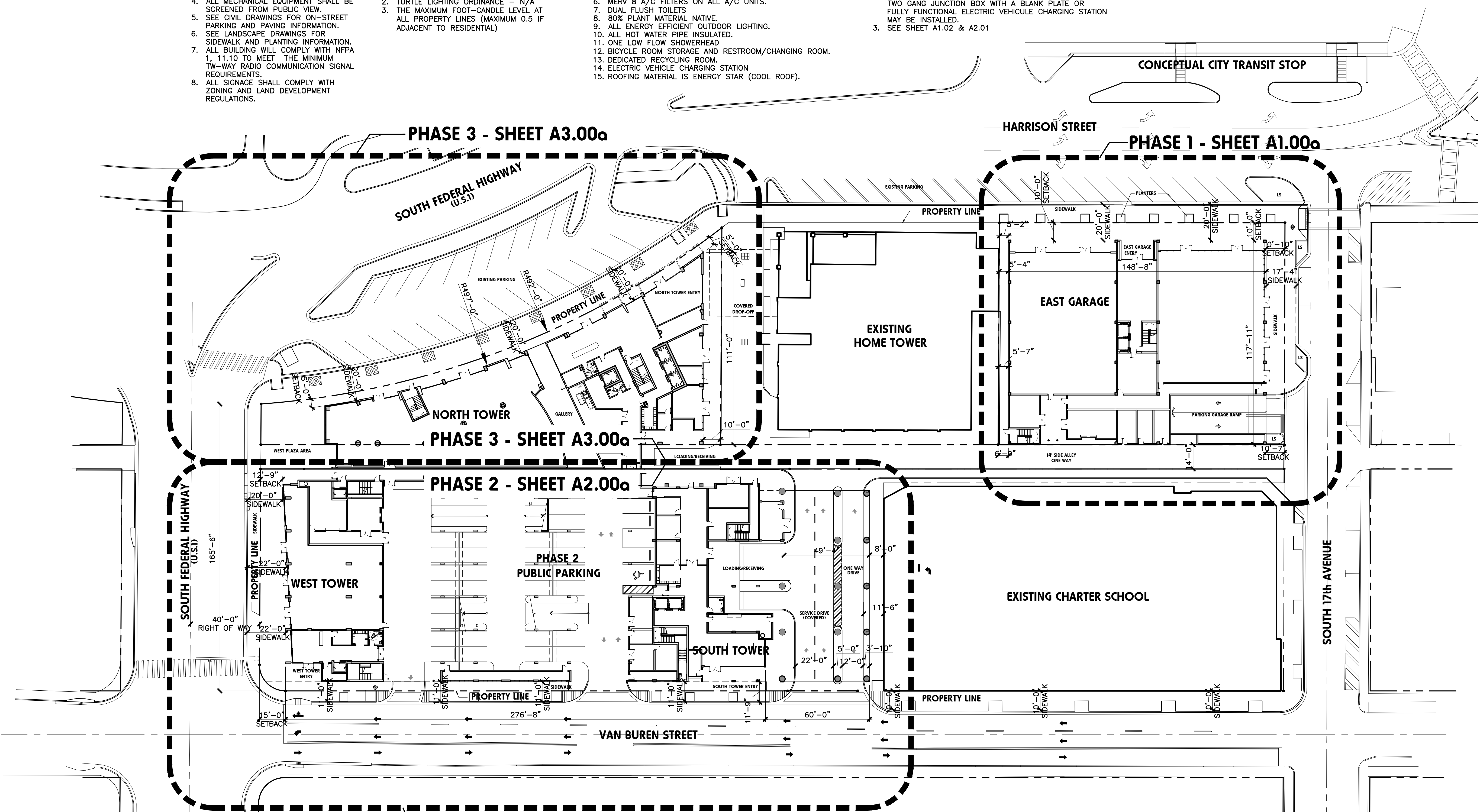
- SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREA. EXTERNAL LIGHTS TO BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.
- TURTLE LIGHTING ORDINANCE - N/A
- THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL)

**GREEN BUILDING PRACTICES:**

- PROJECT TO ACHIEVE LEED CERTIFICATION OR GREEN GLOBE CERTIFICATION DOCUMENTATION WILL BE PROVIDED AT TIME OF BUILDING PERMIT.
- ENERGY EFFICIENT LOW E WINDOW
- DOORS: INSULATED AND FIRE RATED
- PROGRAMMABLE THERMOSTATS.
- ENERGY STAR APPLIANCES.
- MERV 8 A/C FILTERS ON ALL A/C UNITS.
- DUAL FLUSH TOILETS
- 80% PLANT MATERIAL NATIVE.
- ALL ENERGY EFFICIENT OUTDOOR LIGHTING.
- ALL HOT WATER PIPE INSULATED.
- ONE LOW FLOW SHOWERHEAD
- BICYCLE ROOM STORAGE AND RESTROOM/CHANGING ROOM.
- DEDICATED RECYCLING ROOM
- ELECTRIC VEHICLE CHARGING STATION
- ROOFING MATERIAL IS ENERGY STAR (COOL ROOF).

**ELECTRIC VEHICLE CHARGING STATION:**

- IN COMPLIANCE WITH CITY ORDINANCES, ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE IS PROVIDED AT BOTH GARAGES OF EAST TOWER AND SOUTH/WEST TOWER.
- MINIMALLY THE FOLLOWING SHALL BE INSTALLED:  
EMPTY 3" RACEWAY FROM BRANCH CIRCUIT PANEL BOARD TO A LOCATION IN THE GARAGE OR PARKING AREA, WITH TWO GANG JUNCTION BOX WITH A BLANK PLATE OR FULLY FUNCTIONAL ELECTRIC VEHICLE CHARGING STATION MAY BE INSTALLED.
- SEE SHEET A1.02 & A2.01



**Overall Site Plan**  
SCALE: 1" = 30'-0"

**LEGAL DESCRIPTION**

**PARCEL 1:**  
LOTS 1 THROUGH 8, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
LESS AND EXCEPT:  
THE WEST 15 FEET OF LOT 1, WHICH WAS CONVEYED TO THE CITY OF HOLLYWOOD FOR ROAD PURPOSES BY QUIT-CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 2946, PAGE 550.  
FURTHER LESS AND EXCEPT : ROAD RIGHT-OF-WAY FOR U.S. 1.  
FURTHER LESS AND EXCEPT: THAT PART OF LOT 1, IN BLOCK 58, OF THE "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST, WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 15'-FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF LOT 1 AND TANGENT TO A LINE WHICH IS 15 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID LOT 1. THIS PROPERTY WAS CONVEYED TO THE STATE OF FLORIDA BY DEED RECORDED IN OFFICIAL RECORDS BOOK 5062, PAGE 444..

**PARCEL 2:**  
THE EAST 125.0 FEET OF THE WEST 140.0 FEET OF LOT 24, IN BLOCK 58, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 3:**  
LOT 24, LESS THE WEST 140 FEET, IN BLOCK 58, OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 4:**  
LOT 19, BLOCK 58 OF "THE TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 5:**  
LOTS 16, 17 AND 18, BLOCK 58 OF "THE TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 6:**  
LOT 9, BLOCK 58 OF "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL 7:**  
LOTS 10, 11, 12, 13, 14 AND 15 BLOCK 58 OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
LESS AND EXCEPT THEREFROM  
A PORTION OF LOTS 10 THROUGH 15, INCLUSIVE, BLOCK 58 "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGIN AT THE SOUTHEAST CORNER OF SAID BLOCK 58; THENCE NORTH 90°00'00" WEST ALONG THE SOUTH LINE OF SAID BLOCK 58, A DISTANCE OF 230.71 FEET; THENCE NORTH 00°00'00" EAST, A DISTANCE OF 120.00 FEET; THENCE SOUTH 90°00'00" EAST ALONG A LINE 8.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID LOTS 10 THROUGH 15, INCLUSIVE, A DISTANCE OF 231.11 FEET; THENCE SOUTH 00°11'19" WEST ALONG THE EAST LINE OF SAID BLOCK 58, A DISTANCE OF 120.00 FEET TO THE POINT OF BEGINNING.

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Phase 1, 2 & 3  
Hollywood, Florida

**seal :**  
ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDF  
FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**

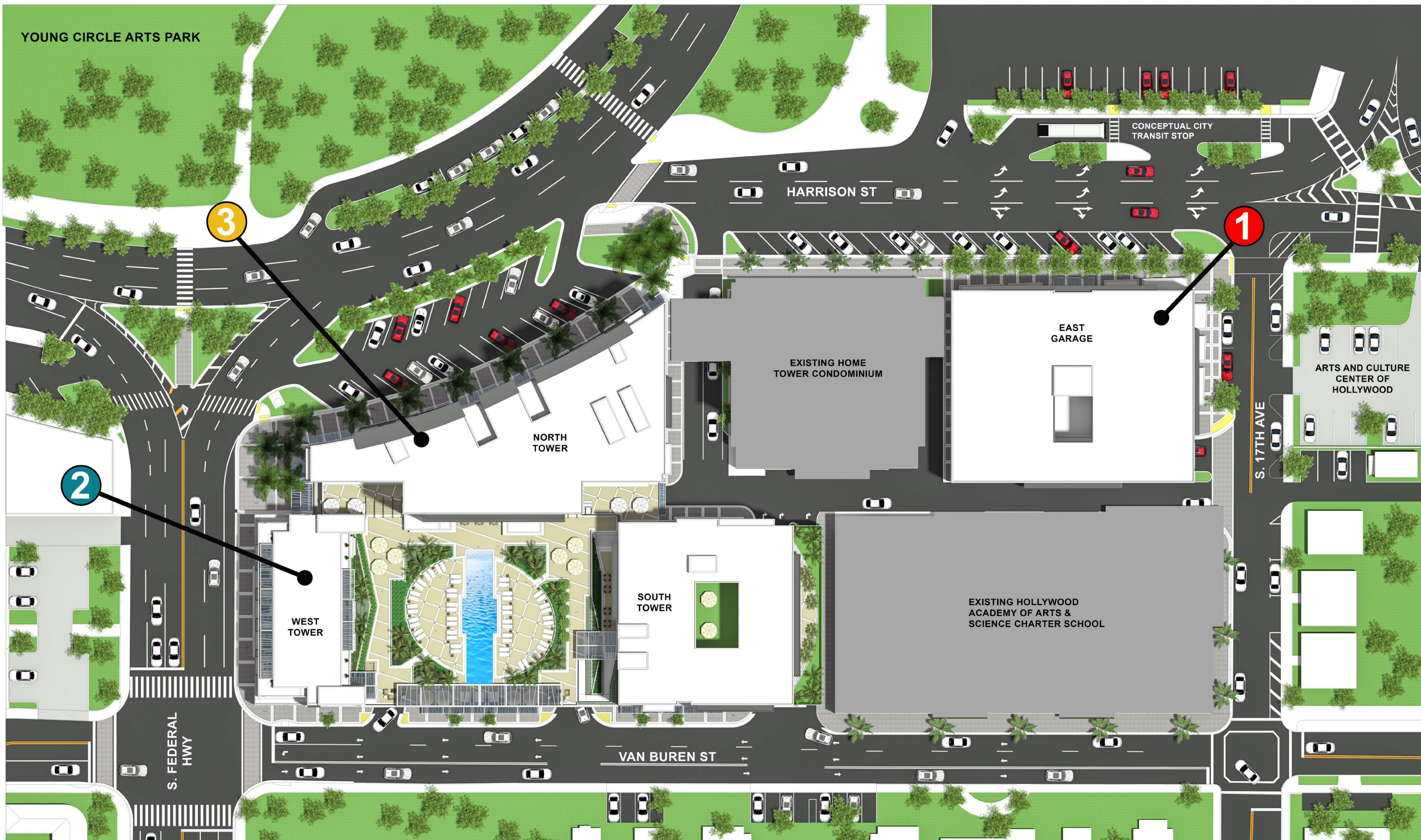
**drawing data :**  
**OVERALL SITE PLAN**

**project number :** #15197  
**drawing scale :** As Shown  
**drawing date :** 06/18/2018  
**phase :** Final TAC  
**sheet number :** **A0.02**

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**Master Development Plan**

SCALE: 1"=30'-0"



Master Site Plan Summary										
Phase		Studio	1BD	2BD	Total Units	Retail Sq Ft.	Parking Req'd	Parking Provided	Building Heights	
1	Phase 1	East Garage	0	0	0	9,945	0	330	125'-6" T.O PARAPET	
		South Tower	10	28	64	102			179'-2" T.O PARAPET	
2	Phase 2	West Tower	12	23	0	35	151		128'-5" T.O PARAPET	
3	Phase 3	North Tower	4	155	137	296	326	456	273'-0" T.O PARAPET	
Total			26	206	201	433	20,160	476	786	

**EXISTING SURROUNDING SITE CONDITIONS**



CORNER OF SOUTH FEDERAL HWY



CORNER OF SOUTH YOUNG CIRCLE



VIEW OF EAST YOUNG CIRCLE FROM HARRISON STREET



VIEW OF HARRISON STREET



VIEW OF SOUTH 17TH AVE



VIEW OF VAN BUREN STREET



VIEW OF VAN BUREN STREET

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FLORIDA REGISTERED ARCHITECT # AR 93239

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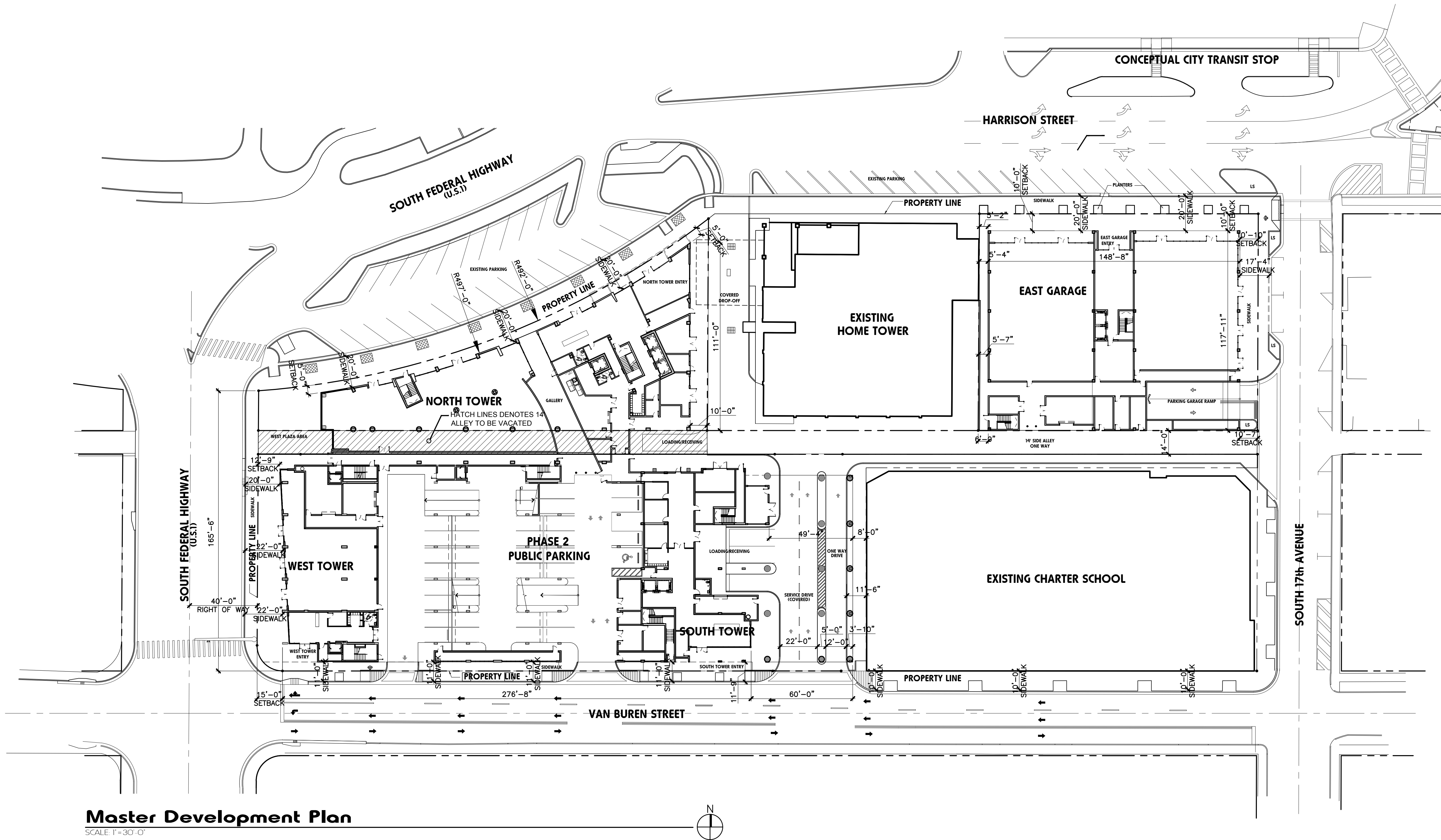
**MASTER DEVELOPMENT PLAN IN COLOR**

project number : #15197  
drawing scale : As Shown  
drawing date : 06/18/2018  
phase : Final TAC  
sheet number : **A0.02C**

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 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

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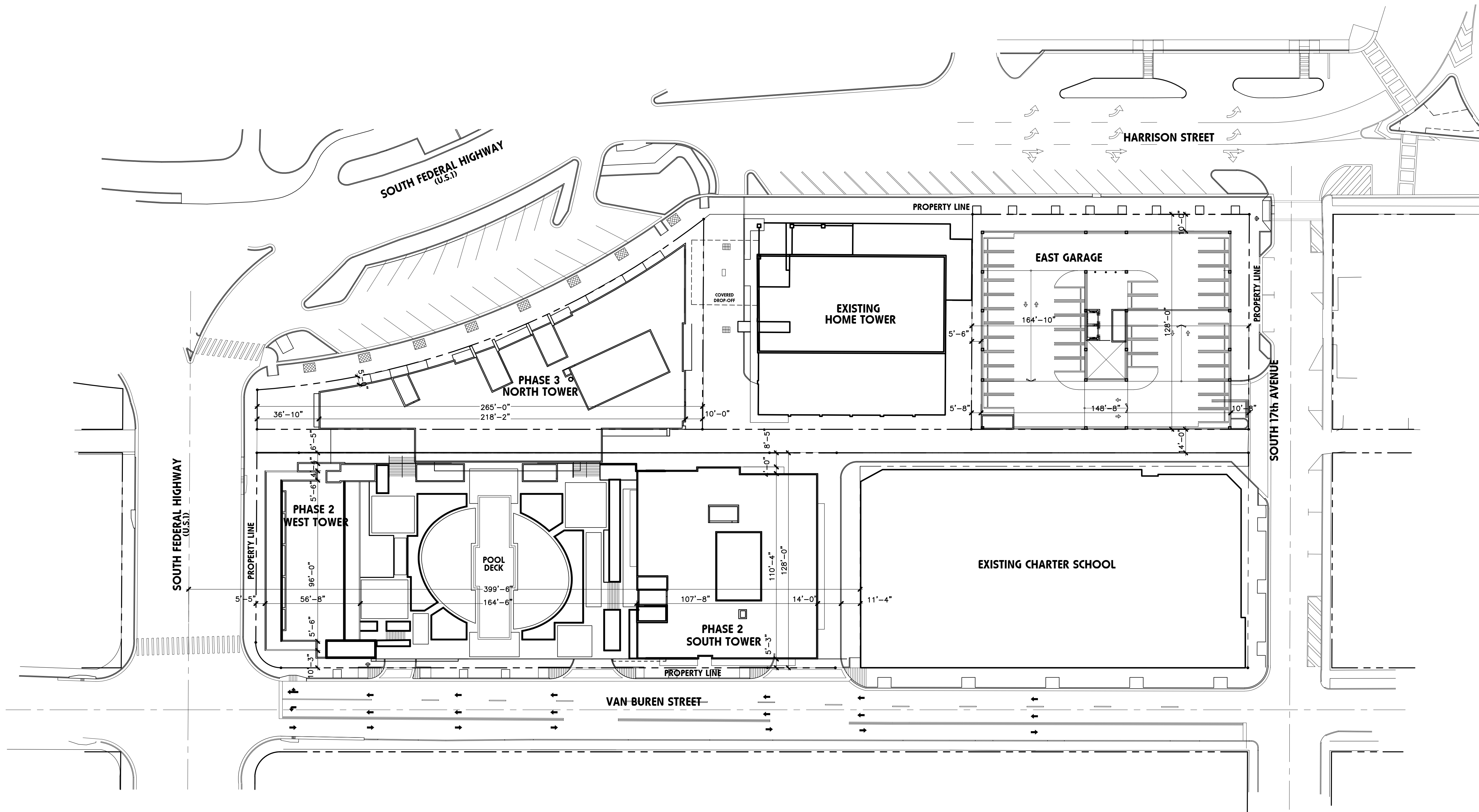
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**MASTER DEVELOPMENT PLAN IN BLACK & WHITE**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A0.02d**

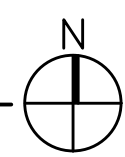
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**Overall Roof Plan**  
SCALE: 1"=30'-0"



Master Site Plan Summary										
Phase		Studio	1BD	2BD	Total Units	Retail Sq Ft.	Parking Req'd	Parking Provided	Building Heights	
Phase 1	East Garage	0	0	0	0	9,945	0	330	125'-6" T.O PARAPET	
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Phase 2	West Tower	12	23	0	35	3,153	151		128'-5" T.O PARAPET	
	South Tower								273'-0" T.O PARAPET	
Phase 3	North Tower	4	155	137	296	7,062	326	456		
Total		26	206	201	433	20,160	476	786		

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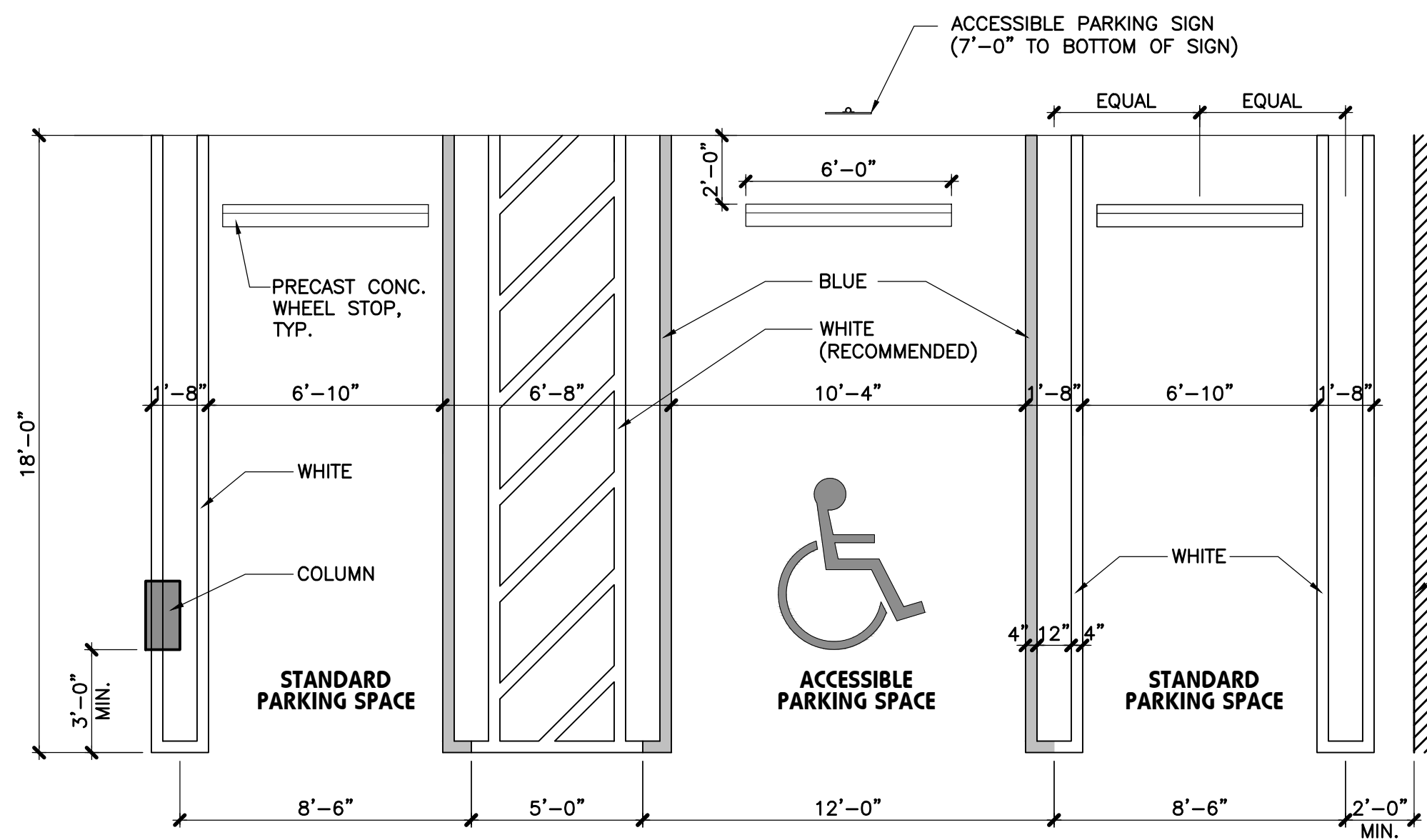
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revisions :

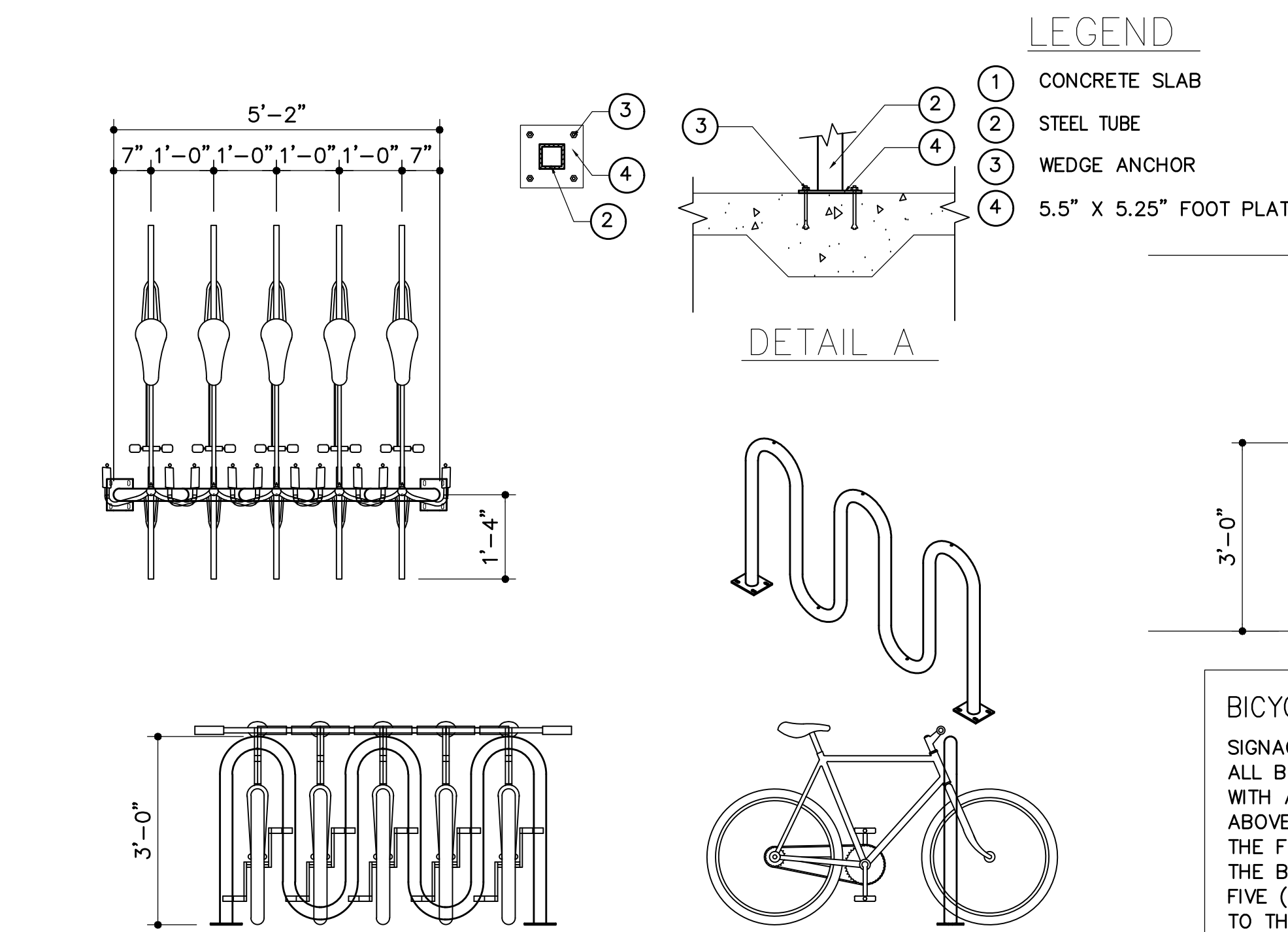
Rev 1	06/28/2018

drawing data :  
**OVERALL ROOF PLAN PLAN**  
 project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A0.03**

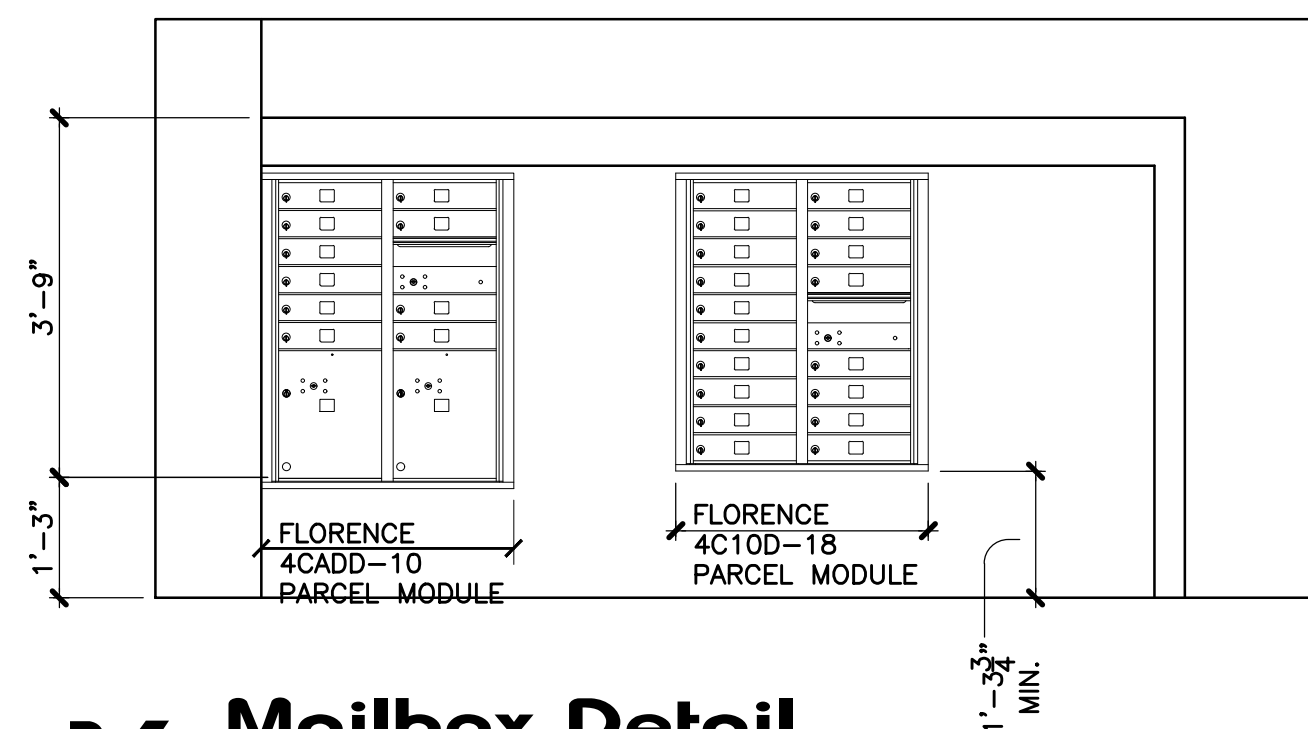




**01 Typical Standard & Accessible Parking Spaces**  
SCALE 1/4"=1'-0"

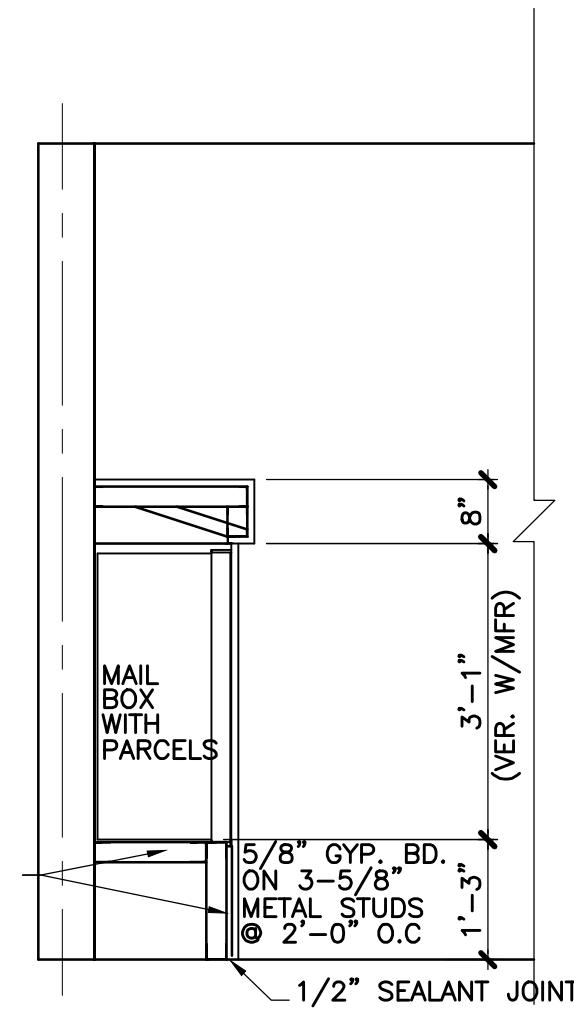


**11 Bicycle Rack Detail**  
SCALE: N.T.S.

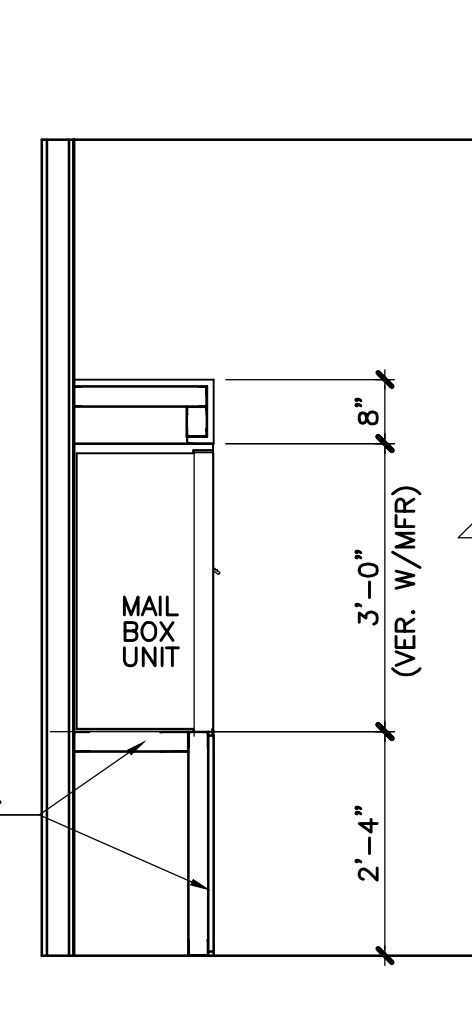


**16 Mailbox Detail**  
SCALE: N.T.S.

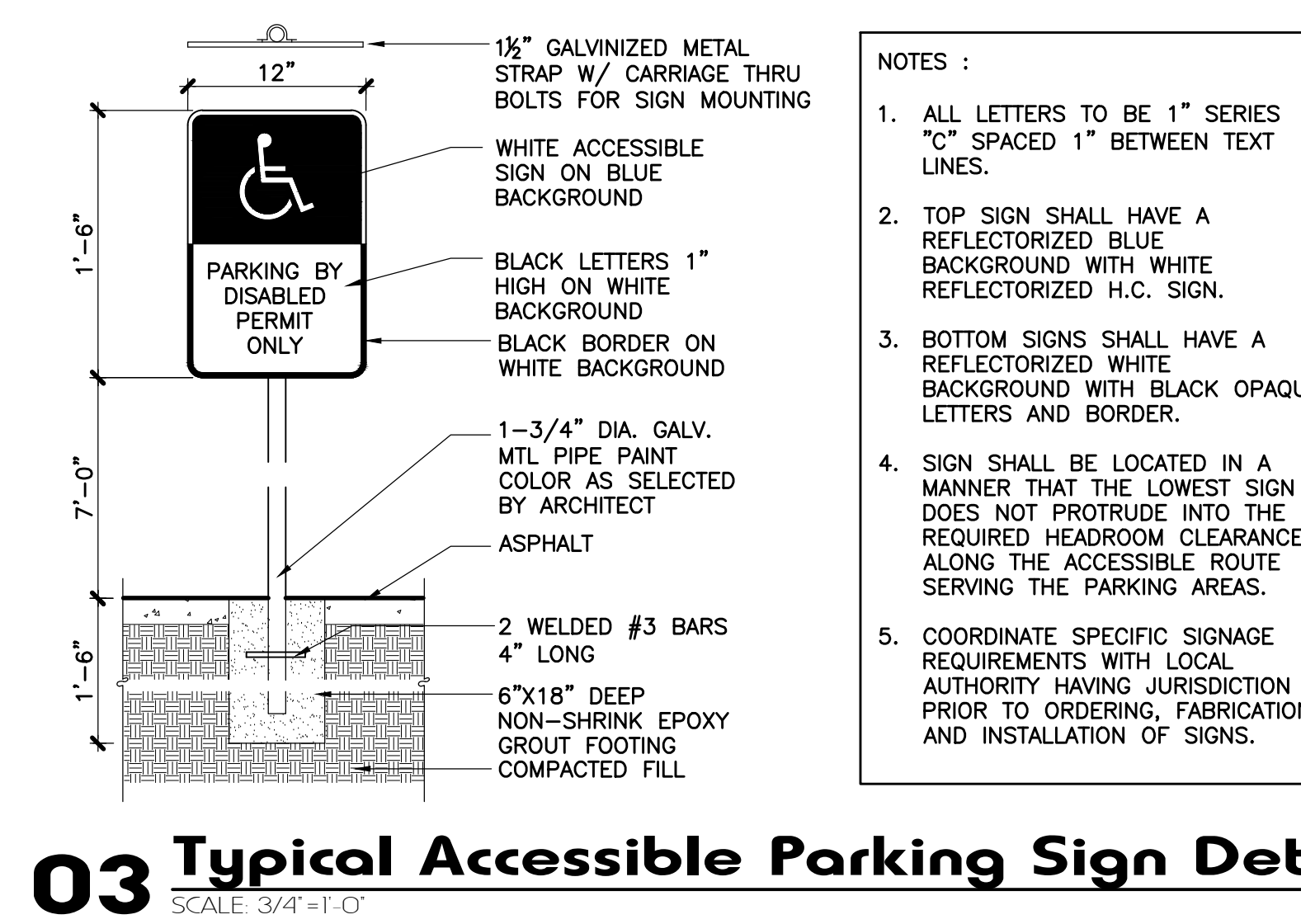
ALL MAILBOXES TO COMPLY WITH AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES



**17 Section**  
SCALE: N.T.S.  
4CADD-10 PARCEL MODULE



**19 Section**  
SCALE: N.T.S.  
4C10D-18 PARCEL MODULE



**03 Typical Accessible Parking Sign Det.**  
SCALE: 3/4"=1'-0"

**SITE ACCESSIBILITY NOTES**

ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH FOLLOWING:

**SLOPE AND RISE**

THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN.

**CLEAR WIDTH**

1 - MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44" CLEAR.  
2 - RAMP THAT ARE PART OF A REQUIRED MEANS OF EGRESS SHALL BE NOT LESS THAN 44 INCHES CLEAR.

**LANDINGS**

RAMP SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP AND AT EACH RAMP RUN.

1 - LANDING SHALL HAVE THE FOLLOWING FEATURES.  
2 - IF RAMP CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES.  
3 - IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY FBC ACCESSIBILITY 2014.

**HANDRAILS**

IF A RAMP RUN HAS A RISE GREATER THAN 6 IN. OR A HORIZONTAL PROJECTION GREATER THAN 72 IN. THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS OR ADJACENT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 4.26 OF THE ADA CODE AND SHALL HAVE THE FOLLOWING FEATURES:

1 - HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.  
2 - HANDRAILS ON RAMPS WHICH ARE NOT CONTINUOUS SHALL EXTEND NOT LESS THAN 18" BEYOND THE SLOPED SEGMENT AT BOTH THE TOP AND BOTTOM, AND SHALL BE PARALLEL TO THE FLOOR OR GROUND SURFACE.  
3 - THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL 1-1/2 INCH.  
4 - GRIPPING SURFACES SHALL BE CONTINUOUS.  
5 - TOP OF HANDRAIL GRIPPING SURFACES SHALL BE MOUNTED BETWEEN 34 IN. AND 38 IN. ABOVE RAMP SURFACES.  
6 - ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.  
7 - HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

**CROSS SLOPE SURFACES**

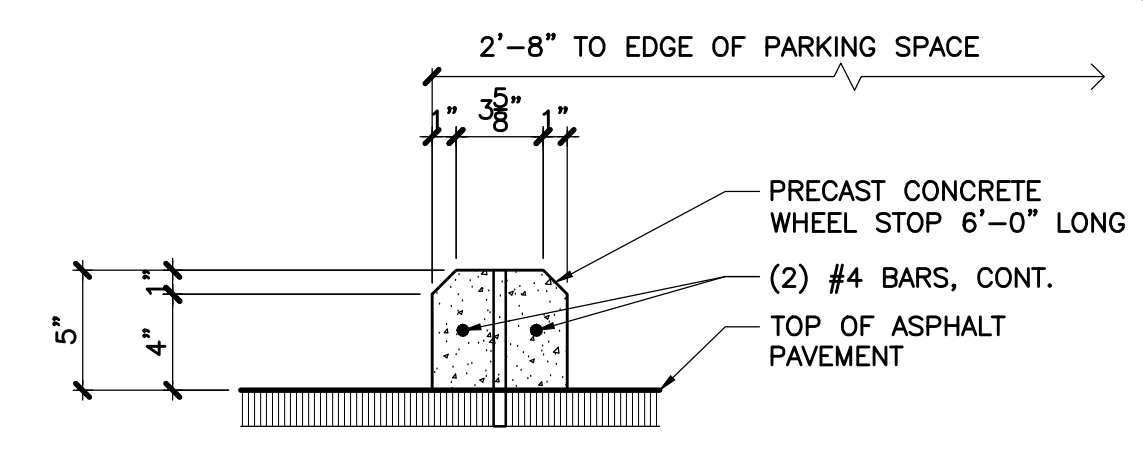
THE CROSS SLOPE SURFACES SHALL BE NO GREATER THAN 1:50. RAMP SURFACES SHALL COMPLY W/ CHAPTER 4 OF THE FBC 2010 ACCESSIBILITY CODE.

**EDGE PROTECTION**

RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, RAILINGS OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OF THE RAMP. CURBS SHALL BE A MINIMUM OF 2 IN. HIGH.

**OUTDOOR CONDITIONS**

OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.



**GENERAL NOTES:**

1. PROVIDE WHEEL STOPS SHALL BE PROVIDED AT ALL MARKED STALLS AS DETAILED ON SITE PLAN.  
2. PAINT ALL WHEEL STOPS COLOR TO MATCH STRIPING OF PARKING STALLS

**05 Typ. Wheel Stop Detail**  
SCALE: 1/2"=1'-0"



DKS  
1601 LIFT GATE 1/2 HP  
15"W x 18"H x 15"D



CALL BOX DETAIL  
AE200PLUS TELEPHONE ENTRY  
15.25"W x 19"H X 4"D

**20 Life Gate Detail**  
SCALE: 3/16"=1'-0"

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**Parc Place**  
Phase 1, 2 & 3  
Hollywood, Florida

project info:

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seal:

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revisions:


drawing data:

**SITE DETAILS**

project number: #15197

drawing scale: As Shown

drawing date: 06/18/2018

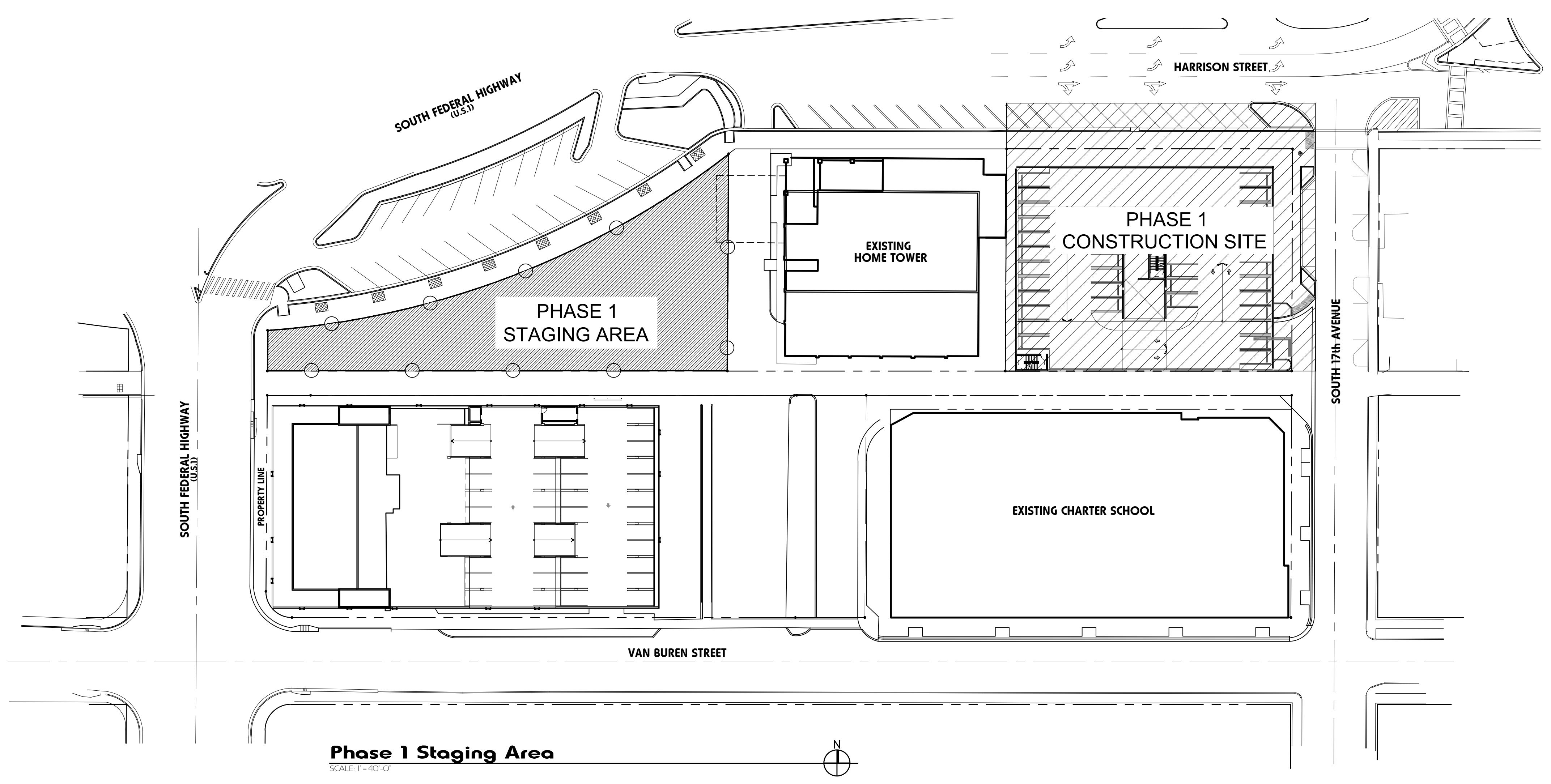
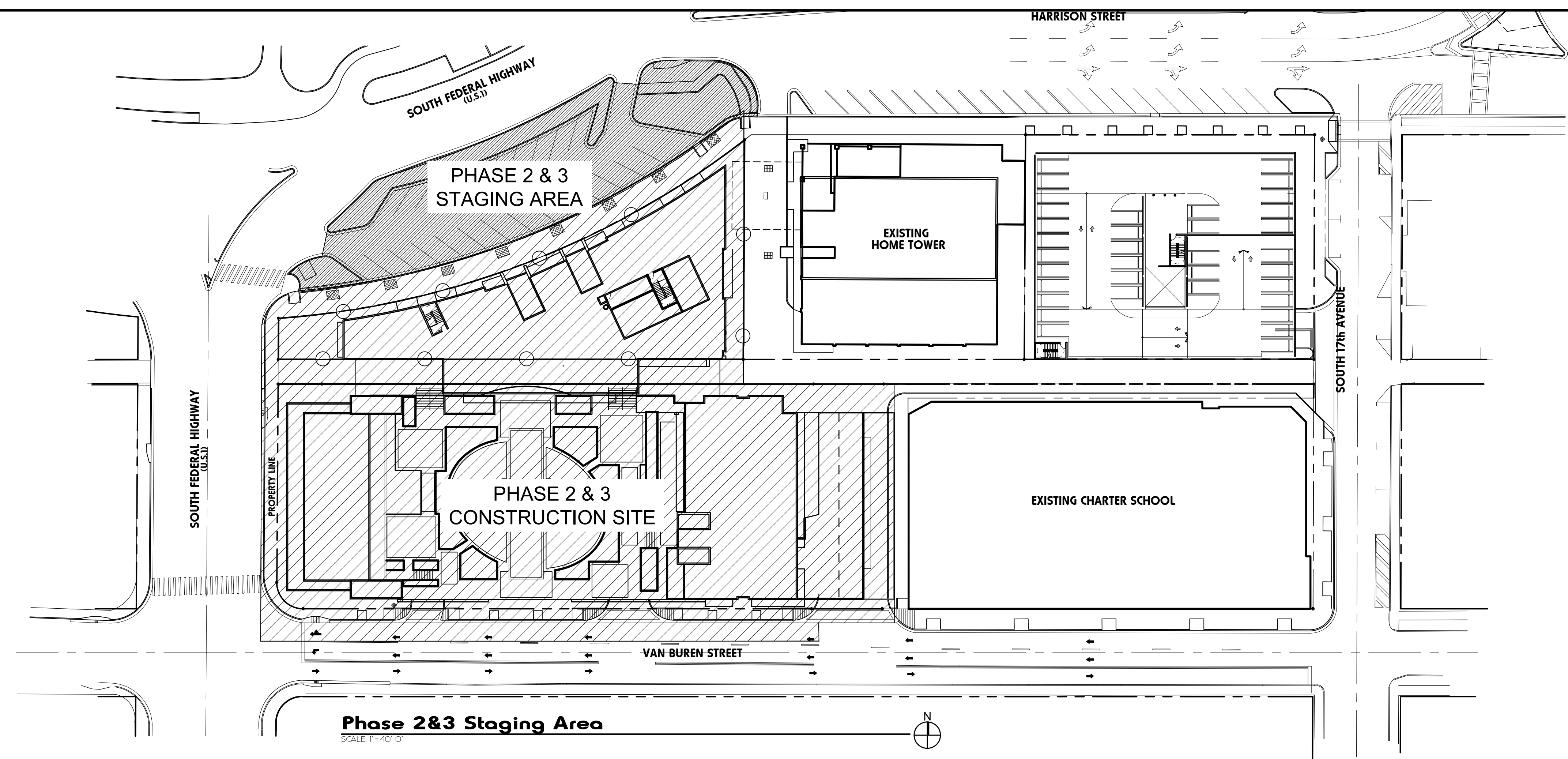
phase: Final TAC

sheet number: **A0.04**

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revisions :

Rev 1	06/28/2018

drawing data :

**CONSTRUCTION STAGING PLAN**

project number : #15197

drawing scale : As Shown

drawing date : 06/18/2018

phase : Final TAC

sheet number : **A0.05**

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# PHASE 1: EAST GARAGE PROJECT ANALYSIS

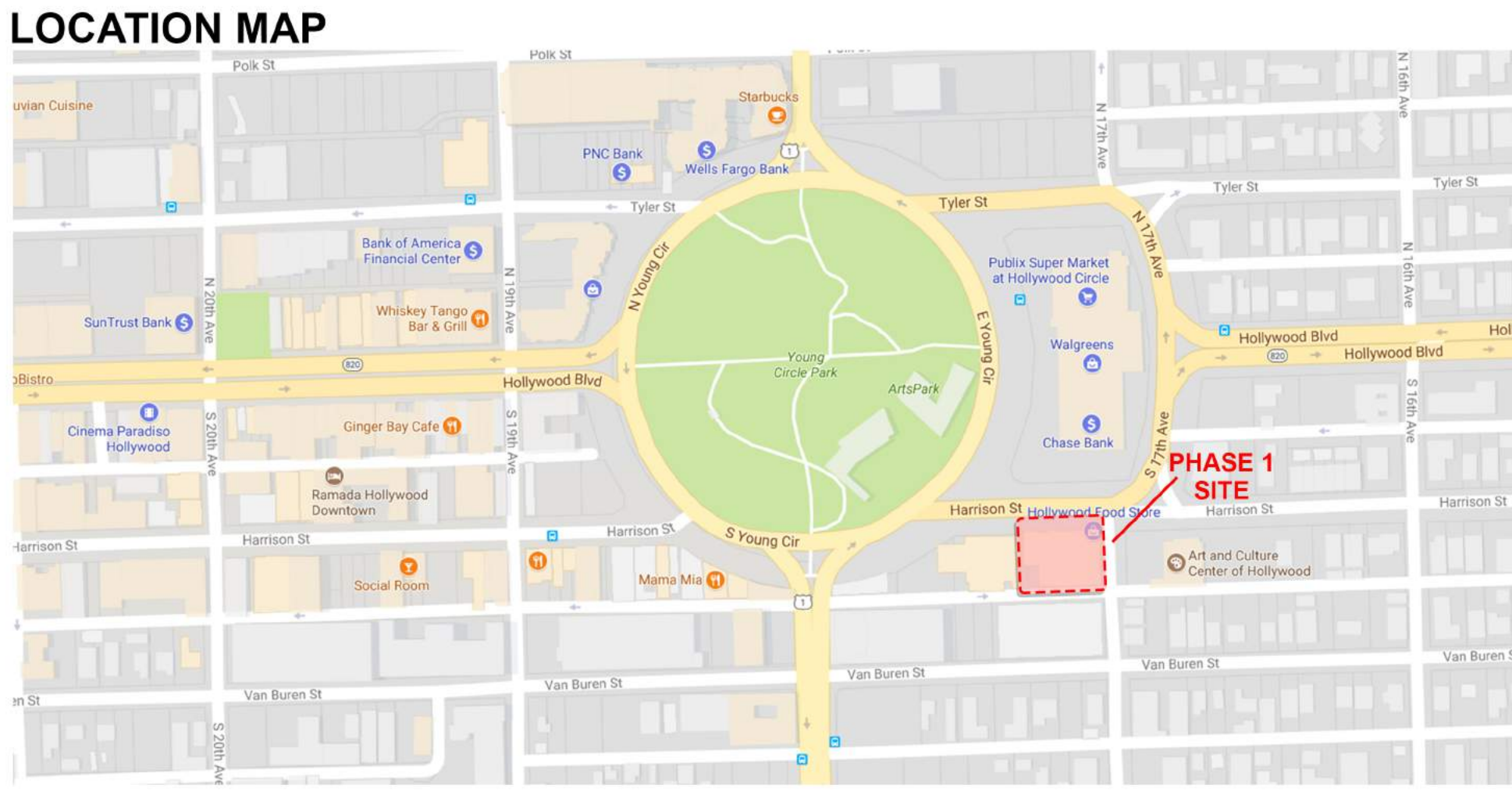
East Parking Garage SQ FT by Floor							
Unit Types							
		Non Leasable (cores, Elevator, stairs)	Garage		Retail	Open Atrium	Total
Level 1	0	1228	4714	0	9945	535	16422
Level 2	0	600	16396	0	0	535	17531
Level 3	0	600	16396	0	0	535	17531
Level 4	0	600	16396	0	0	535	17531
Level 5	0	600	16396	0	0	535	17531
Level 6	0	600	16396	0	0	535	17531
Level 7	0	600	16396	0	0	535	17531
Level 8	0	600	16396	0	0	535	17531
Level 9	0	600	16396	0	0	535	17531
Level 10	0	600	16396	0	0	535	17531
Level 11	0	600	16396	0	0	535	17531
<b>Total</b>	<b>sf</b>	<b>7,228 sf</b>	<b>168,674 sf</b>	<b>sf</b>	<b>9,945 sf</b>	<b>5,885 sf</b>	<b>191,732 sf</b>

East Parking Garage Breakdown by Floor							
Levels				Retail	Retail HC	EV	Total Provided
Level 1				0	0	0	0
Level 2				0	0	0	0
Level 3				31	1 (VAN)	4	36
Level 4				35	1	0	36
Level 5				35	1	0	36
Level 6				35	1	0	36
Level 7				35	1	0	36
Level 8				35	1	0	36
Level 9				35	1	0	36
Level 10				35	1	0	36
Level 11				42	0	0	42
<b>Total</b>				<b>318 sp</b>	<b>8 sp</b>	<b>4 sp</b>	<b>330 sp</b>

Required loading	
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance	
Required:	Retail Space: less Than 10,000 sf. = none Retail Space = 9,945 s.f. = none
Provided:	none



**PHASE 1: PARC PLACE | EAST GARAGE**



**LOCATION MAP**

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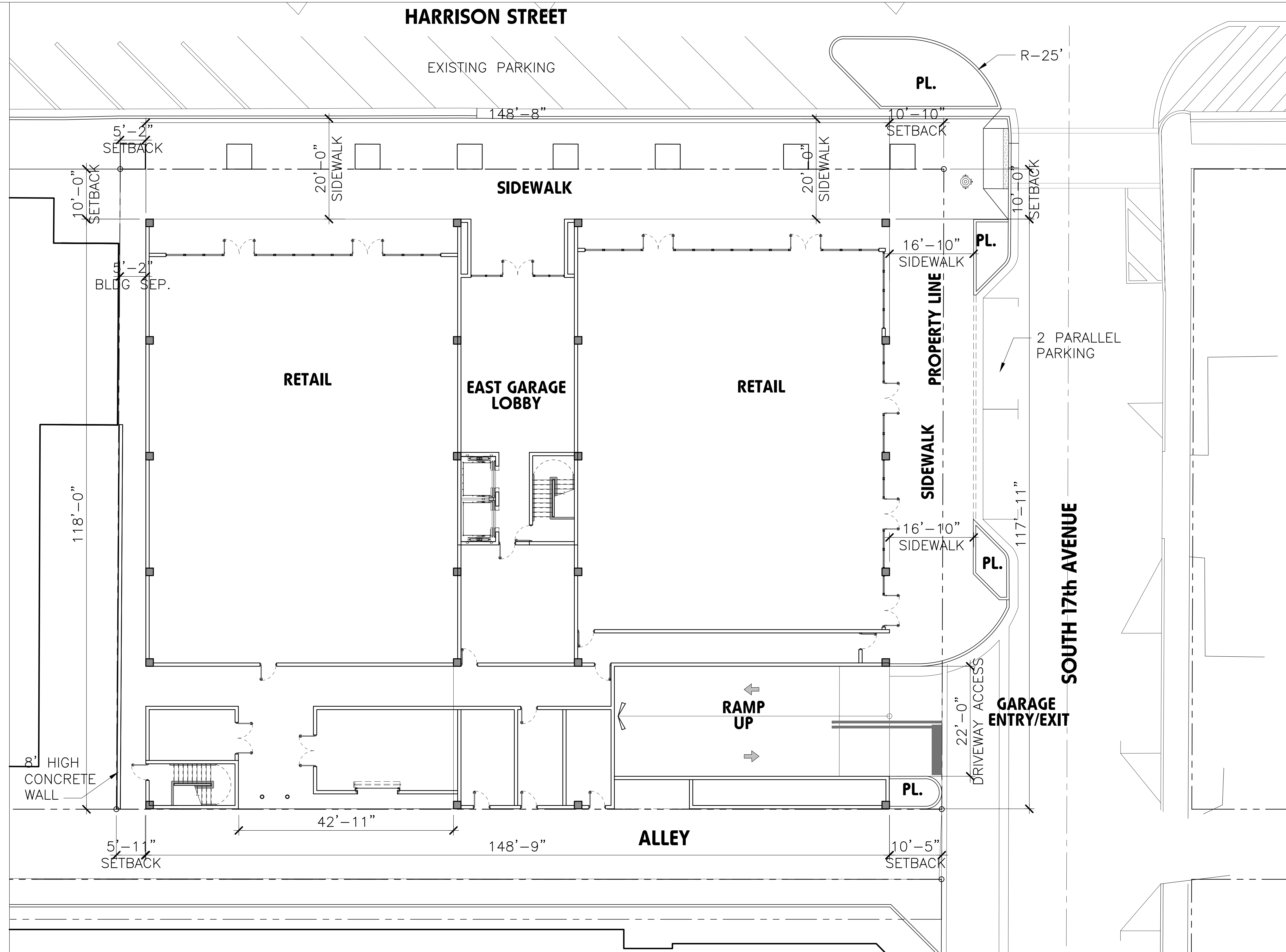
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**PHASE 1**  
**LOCATION**  
**PLAN**  
 project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A1.00**

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# Site Plan

SCALE: 1" = 20'-0"

## GENERAL NOTES:

1. SEE ENLARGED PLANS FOR FURTHER DIMS AND NOTES. SHEET A1.01

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revisions :


drawing data :

**PHASE 1  
EAST GARAGE  
SITE PLAN**

project number : #15197

drawing scale : As Shown

drawing date : 06/18/2018

phase : Final TAC

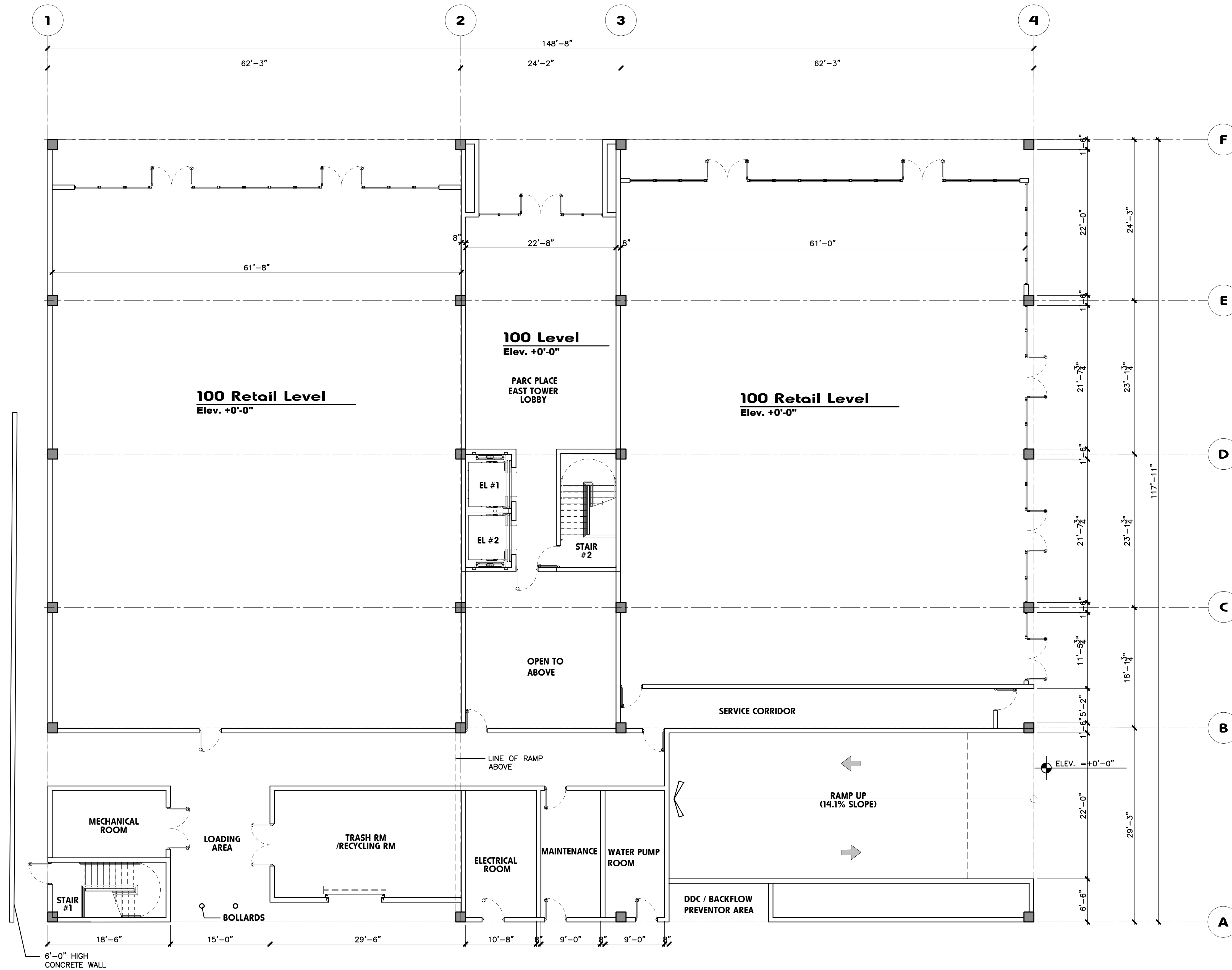
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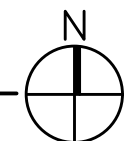
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**Level 1 Floor Plan**  
SCALE: 1/8" = 1'-0"



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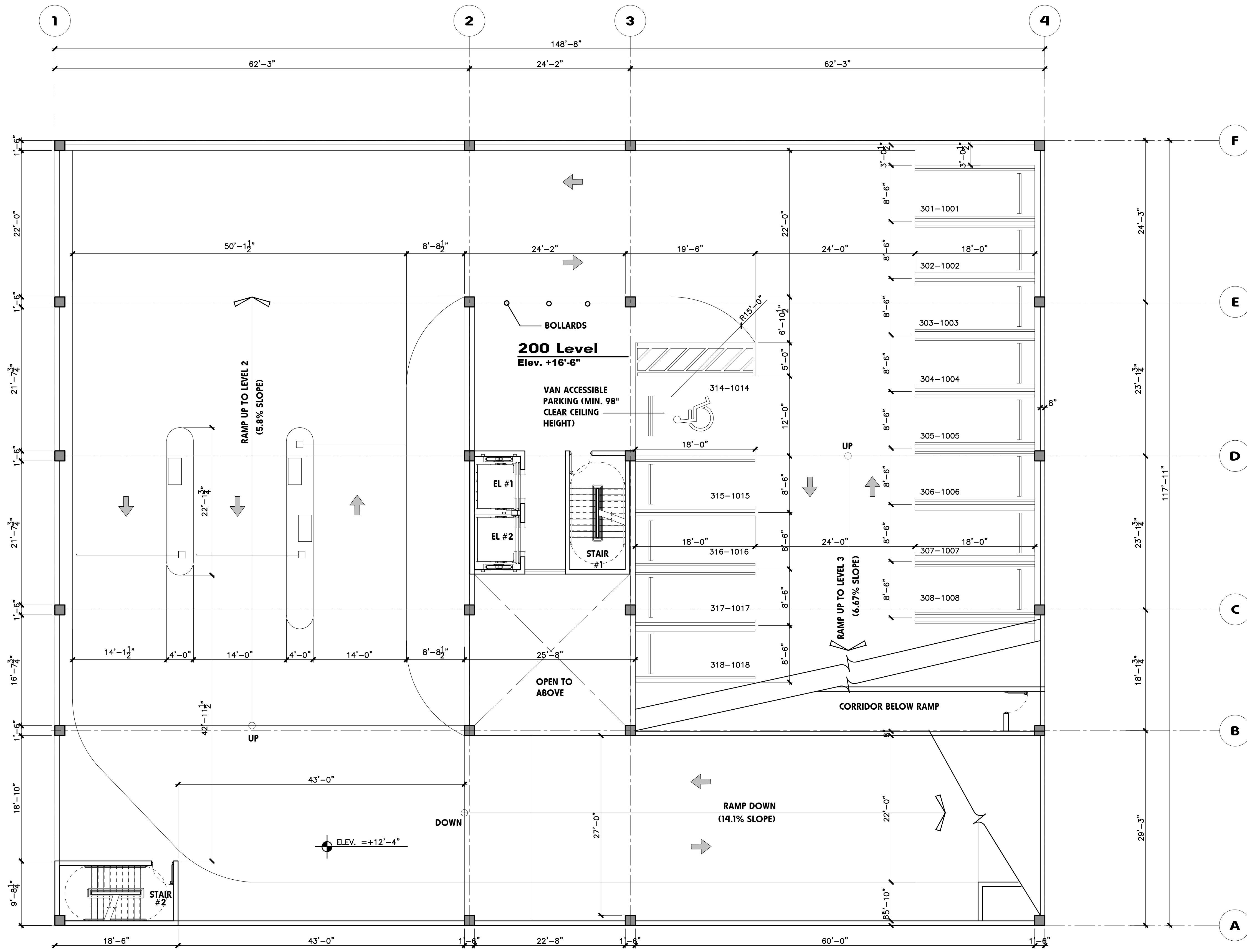
revisions :


drawing data :  
**PHASE 1**  
**EAST GARAGE**  
**LEVEL 1**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A1.01**

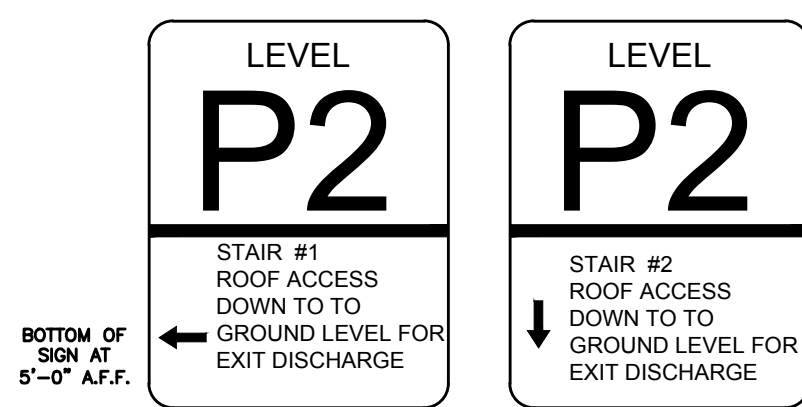
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### Level 2 Floor Plan (P2 PARKING)

SCALE: 1/8" = 1'-0"



### Typical Wayfinding Signage

SCALE: n.t.s.

East Parking Garage Breakdown by Floor					
Levels	Retail	Retail HC	EV	Total Provided	
Level 1	0	0	0	0	0
Level 2	0	0	0	0	0
Level 3	31	1 (VAN)	4	36	
Level 4	35	1	0	36	
Level 5	35	1	0	36	
Level 6	35	1	0	36	
Level 7	35	1	0	36	
Level 8	35	1	0	36	
Level 9	35	1	0	36	
Level 10	35	1	0	36	
Level 11	42	0	0	42	
<b>Total</b>	<b>318 sp</b>	<b>8 sp</b>	<b>4 sp</b>	<b>330 sp</b>	
<b>Required loading</b>					
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance					
Required:	Retail Space: less Than 10,000 sf. = none				
	Retail Space = 9,945 s.f. = none				
Provided:	none				

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**Parc Place**  
 Phase 1  
**East Parking Garage**  
 1700-1716 Harrison Street  
 Hollywood, Florida

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**PHASE 1**  
**EAST GARAGE**  
**LEVEL 2**

#15197

As Shown

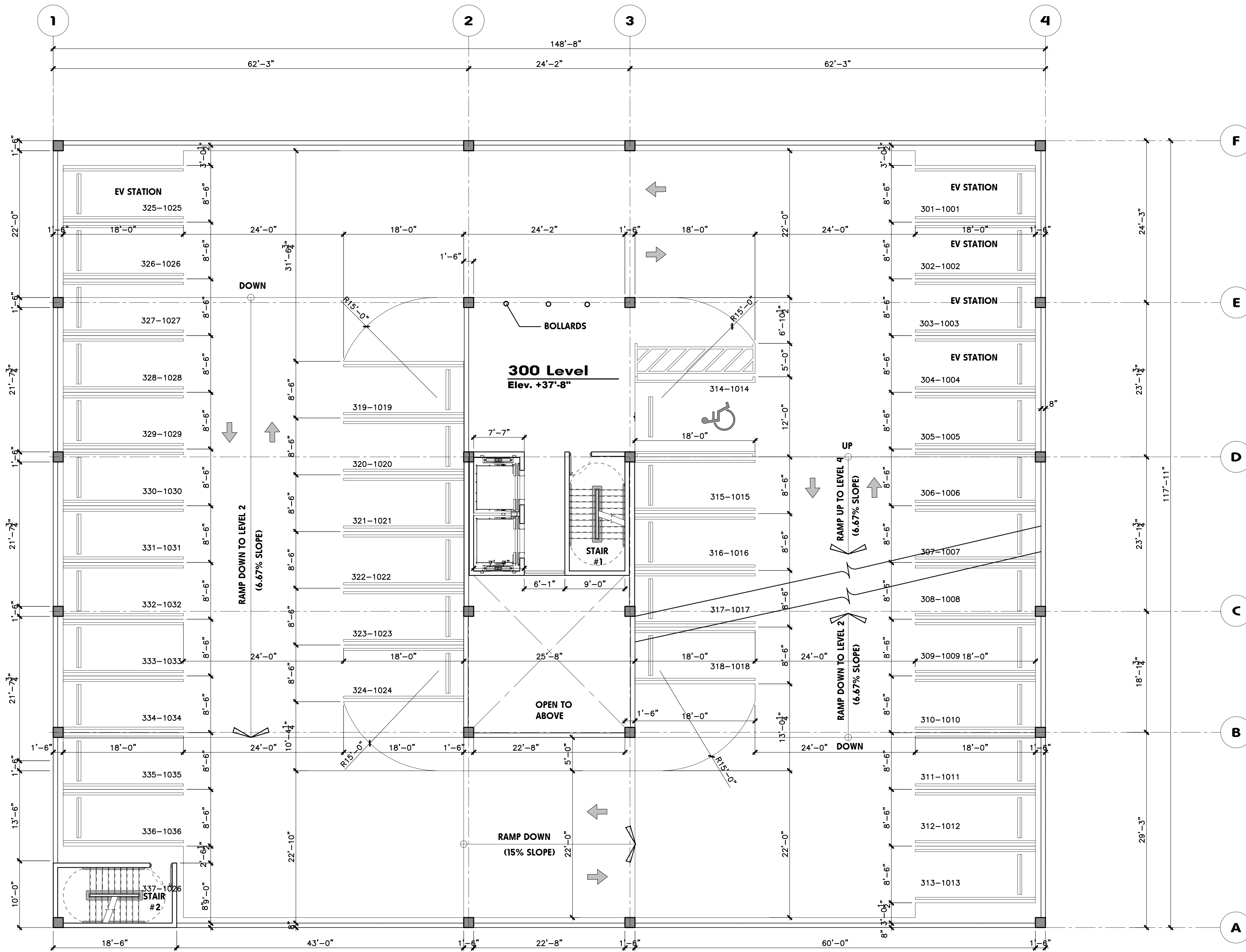
06/18/2018

Final TAC

**A1.02**

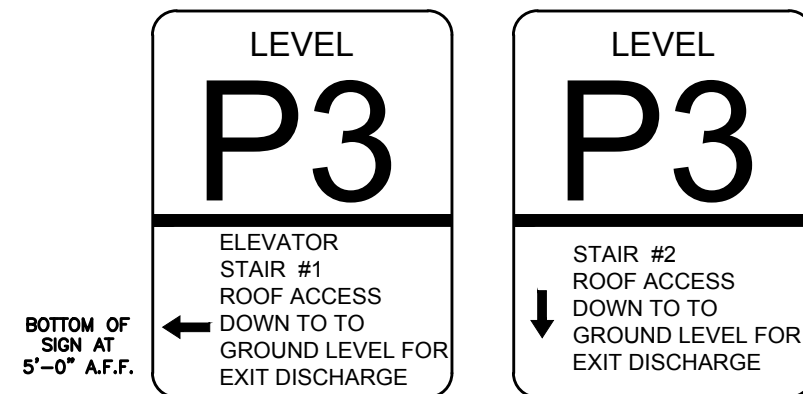
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**Level 3 - 10 Floor Plan (P3 - P10 PARKING)**

SCALE: 1/8" = 1'-0"



**Typical Wayfinding Signage**

SCALE: nts

East Parking Garage Breakdown by Floor				
Levels	Retail	Retail HC	EV	Total Provided
Level 1	0	0	0	0
Level 2	0	0	0	0
Level 3	31	1 (VAN)	4	36
Level 4	35	1	0	36
Level 5	35	1	0	36
Level 6	35	1	0	36
Level 7	35	1	0	36
Level 8	35	1	0	36
Level 9	35	1	0	36
Level 10	35	1	0	36
Level 11	42	0	0	42
<b>Total</b>	<b>318 sp</b>	<b>8 sp</b>	<b>4 sp</b>	<b>330 sp</b>
Required loading				
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance				
Required:	Retail Space: less Than 10,000 sf. = none			
	Retail Space = 9,945 s.f. = none			
Provided:	none			

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project info :

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Hollywood, Florida

seal :

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FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

**PHASE 1  
EAST GARAGE  
LEVEL 3-22**

project number : #15197

drawing scale : As Shown

drawing date : 06/18/2018

phase : Final TAC

sheet number : **A1.03**

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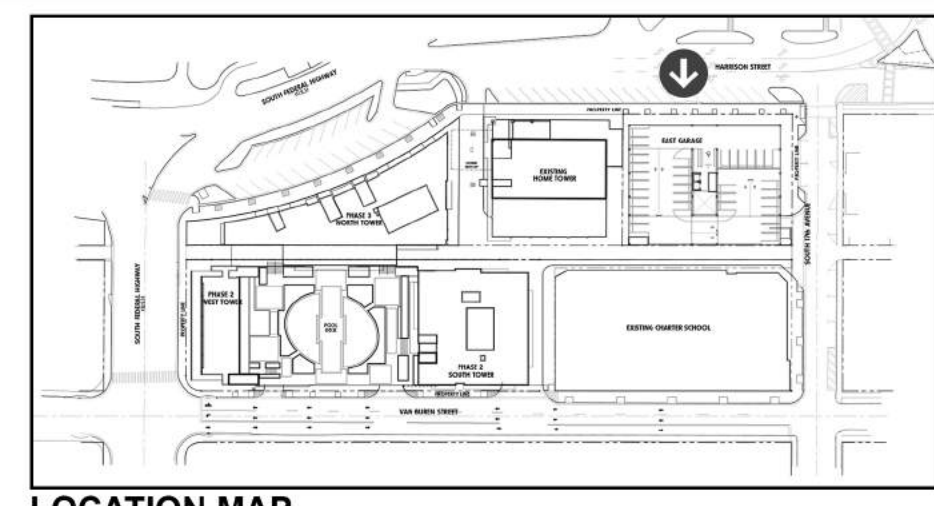
- ELEV. = +125'-6"  
T.O. PARAPET
- ELEV. = +112'-6"  
T.O. SLAB - 11TH LEVEL
- ELEV. = +101'-10"  
T.O. SLAB - 10TH LEVEL
- ELEV. = +91'-2"  
T.O. SLAB - 9TH LEVEL
- ELEV. = +80'-6"  
T.O. SLAB - 8TH LEVEL
- ELEV. = +69'-10"  
T.O. SLAB - 7TH LEVEL
- ELEV. = +59'-2"  
T.O. SLAB - 6TH LEVEL
- ELEV. = +48'-6"  
T.O. SLAB - 5TH LEVEL
- ELEV. = +37'-10"  
T.O. SLAB - 4TH LEVEL
- ELEV. = +27'-2"  
T.O. SLAB - 3RD LEVEL
- ELEV. = +16'-6"  
T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"  
T.O. SLAB - 1ST LEVEL

**ELEVATION KEYNOTES:**

- 1 Pure White SW 7005  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 2 Perle Noir SW 9154  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 3 Slab Travertine Wall Panels  
3/8" Thick
- 4 Vutek Speaker Mesh  
Breathable Art Banner Material  
in alum. frame with esp finish
- 5 DECORATIVE LIGHT FIXTURE
- 6 MEDIUM GREY STOREFRONT GLASS WITH ALUM. MULLIONS WITH WHITE ESP FINISH
- 7 CONCRETE EYEBROW
- 8 STUCCO SCORE LINE
- 9 ALUMINUM LOUVER WITH ESP FINISH

**PHASE 1: NORTH ELEVATION**

**NOTE:**  
ALL PROJECT SIGNAGE/ ART DISPLAYS WILL BE UNDER SEPARATE PERMIT AND WILL MEET ZONING AND LAND DEVELOPMENT REGULATIONS.



LOCATION MAP  
N.T.S.

**project info :**

**Parc Place**  
Phase 1  
**EAST GARAGE**  
1700-1716 Harrison Street  
Hollywood, Florida

**seal :**

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FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**

**PHASE 1**  
**EAST GARAGE**  
**NORTH**  
**ELEVATION**

project number : #15197  
drawing scale : As Shown  
drawing date : 06/18/2018  
phase : Final TAC  
sheet number : **A1.05**

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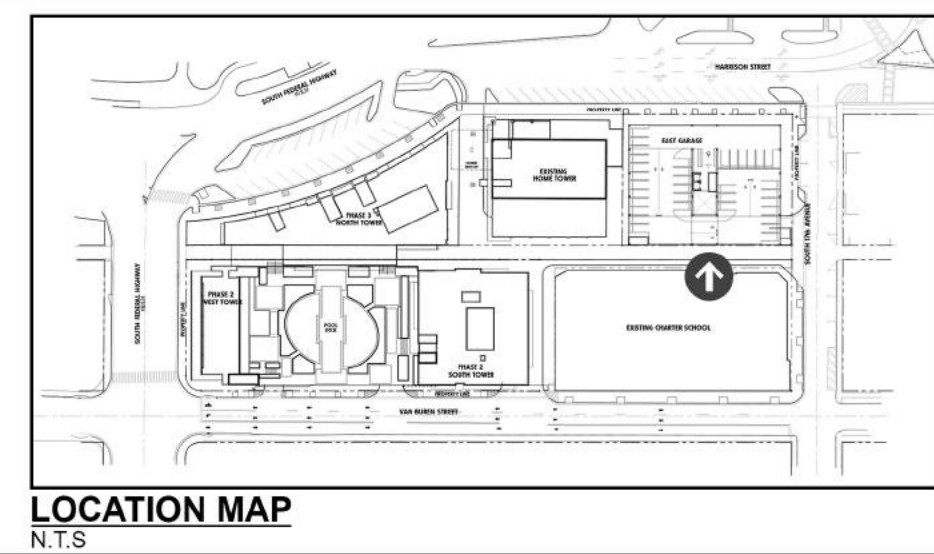
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ELEV. = +125'-6"	T.O. PARAPET
ELEV. = +112'-6"	T.O. SLAB - 11TH LEVEL
ELEV. = +101'-10"	T.O. SLAB - 10TH LEVEL
ELEV. = +91'-2"	T.O. SLAB - 9TH LEVEL
ELEV. = +80'-6"	T.O. SLAB - 8TH LEVEL
ELEV. = +69'-10"	T.O. SLAB - 7TH LEVEL
ELEV. = +59'-2"	T.O. SLAB - 6TH LEVEL
ELEV. = +48'-6"	T.O. SLAB - 5TH LEVEL
ELEV. = +37'-10"	T.O. SLAB - 4TH LEVEL
ELEV. = +27'-2"	T.O. SLAB - 3RD LEVEL
ELEV. = +16'-6"	T.O. SLAB - 2ND LEVEL
ELEV. = +0'-0"	T.O. SLAB - 1ST LEVEL



### PHASE 1: SOUTH ELEVATION

NOTE:  
ALL PROJECT SIGNAGE/ ART DISPLAYS  
WILL BE UNDER SEPARATE PERMIT  
AND WILL MEET ZONING AND  
LAND DEVELOPMENT REGULATIONS.



#### ELEVATION KEYNOTES:

- 1 Pure White SW 7005  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 2 Agreeable Gray SW 7029  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 3 Perle Noir SW 9154  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 4 CONCRETE EYEBROW
- 5 STUCCO SCORE LINE
- 6 METAL RAILING
- 7 CONCRETE EYEBROW

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Hollywood, Florida

seal :

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD-C, CDP  
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :


drawing data :

**PHASE 1 EAST GARAGE SOUTH ELEVATION**

project number : #15197  
drawing scale : As Shown  
drawing date : 06/18/2018  
phase : Final TAC  
sheet number : **A1.06**

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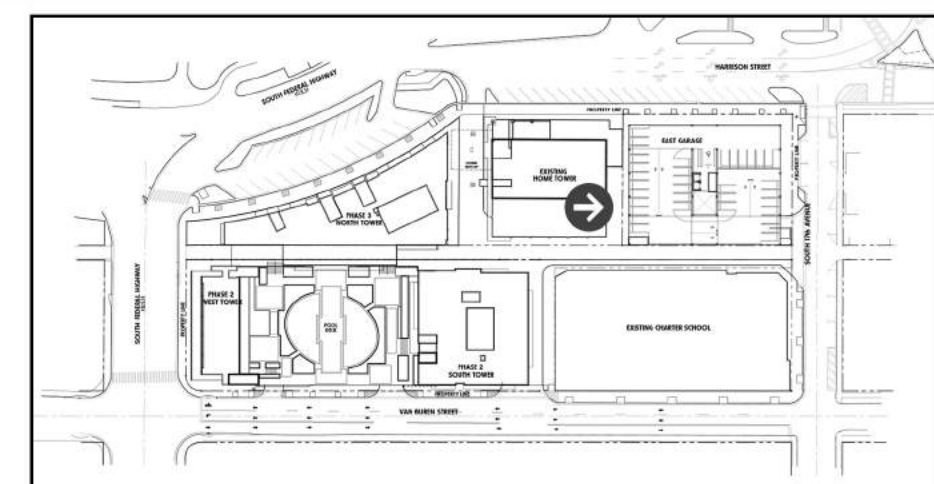
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ELEV. = +125'-6"	T.O. PARAPET	13'-0"
ELEV. = +112'-6"	T.O. SLAB - 11TH LEVEL	
ELEV. = +101'-10"	T.O. SLAB - 10TH LEVEL	
ELEV. = +91'-2"	T.O. SLAB - 9TH LEVEL	
ELEV. = +80'-6"	T.O. SLAB - 8TH LEVEL	
ELEV. = +69'-10"	T.O. SLAB - 7TH LEVEL	
ELEV. = +59'-2"	T.O. SLAB - 6TH LEVEL	
ELEV. = +48'-6"	T.O. SLAB - 5TH LEVEL	
ELEV. = +37'-10"	T.O. SLAB - 4TH LEVEL	
ELEV. = +27'-2"	T.O. SLAB - 3RD LEVEL	
ELEV. = +16'-6"	T.O. SLAB - 2ND LEVEL	
ELEV. = +0'-0"	T.O. SLAB - 1ST LEVEL	16'-6"



**PHASE 1: WEST ELEVATION**

**NOTE:**  
ALL PROJECT SIGNAGE/ ART DISPLAYS  
WILL BE UNDER SEPARATE PERMIT  
AND WILL MEET ZONING AND  
LAND DEVELOPMENT REGULATIONS.



LOCATION MAP  
N.T.S.

**ELEVATION KEYNOTES:**

- 1 Pure White SW 7005  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 2 Agreeable Gray SW 7029  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 3 Perle Noir SW 9154  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 4 CONCRETE EYEBROW
- 5 STUCCO SCORE LINE
- 6 Slab Travertine Wall Panels  
3/25" Thick
- 7 ALUMINUM LOUVER WITH ESP FINISH

**project info :**

**Parc Place**  
Phase 1  
**EAST GARAGE**  
1700-1716 Harrison Street  
Hollywood, Florida

**seal :**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD-C, CDP  
FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions :**


**drawing data :**

**PHASE 1**  
**EAST GARAGE**  
**WEST**  
**ELEVATION**

project number :	#15197
drawing scale :	As Shown
drawing date :	06/18/2018
phase :	Final TAC
sheet number :	<b>A1.08</b>

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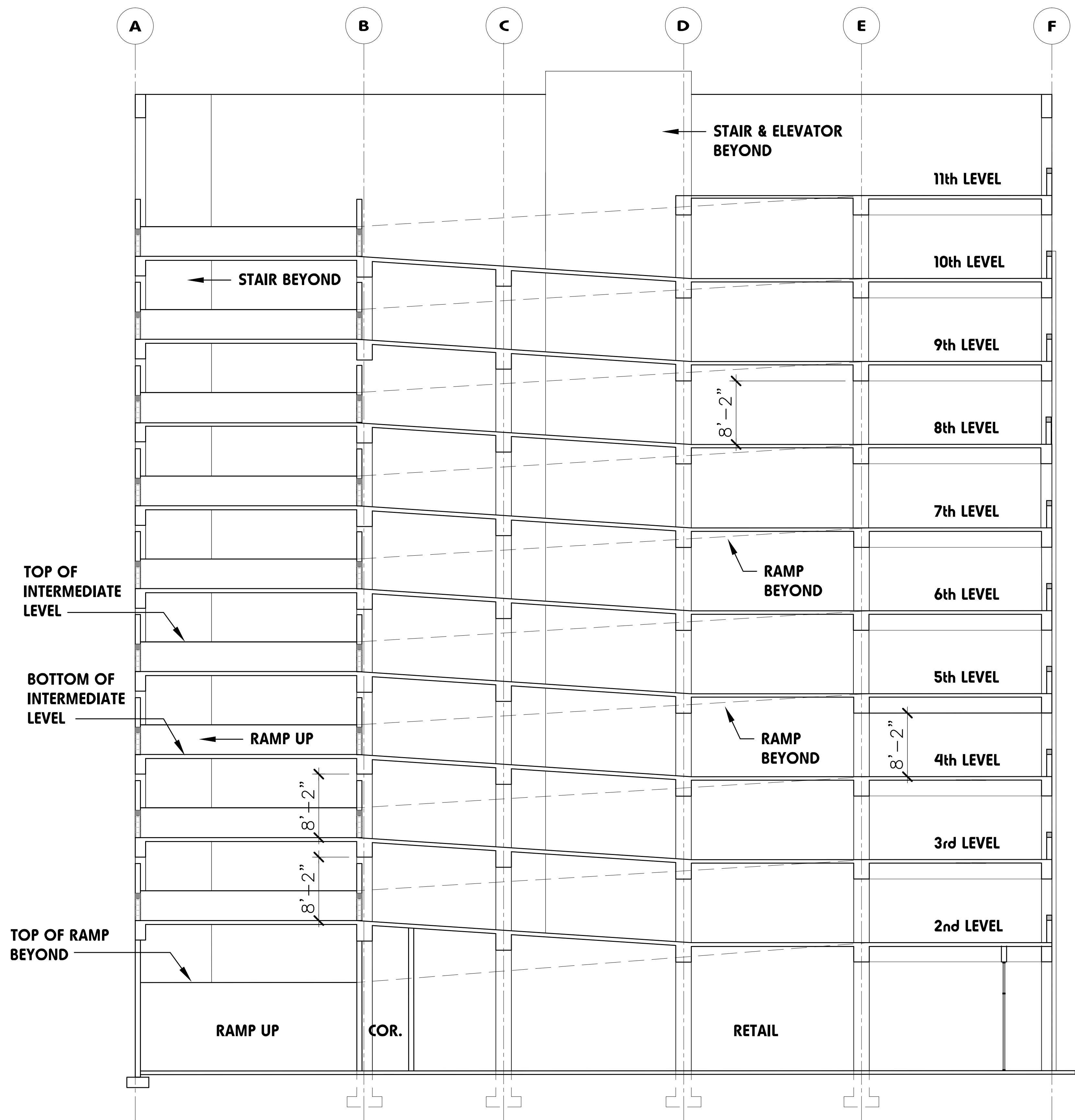
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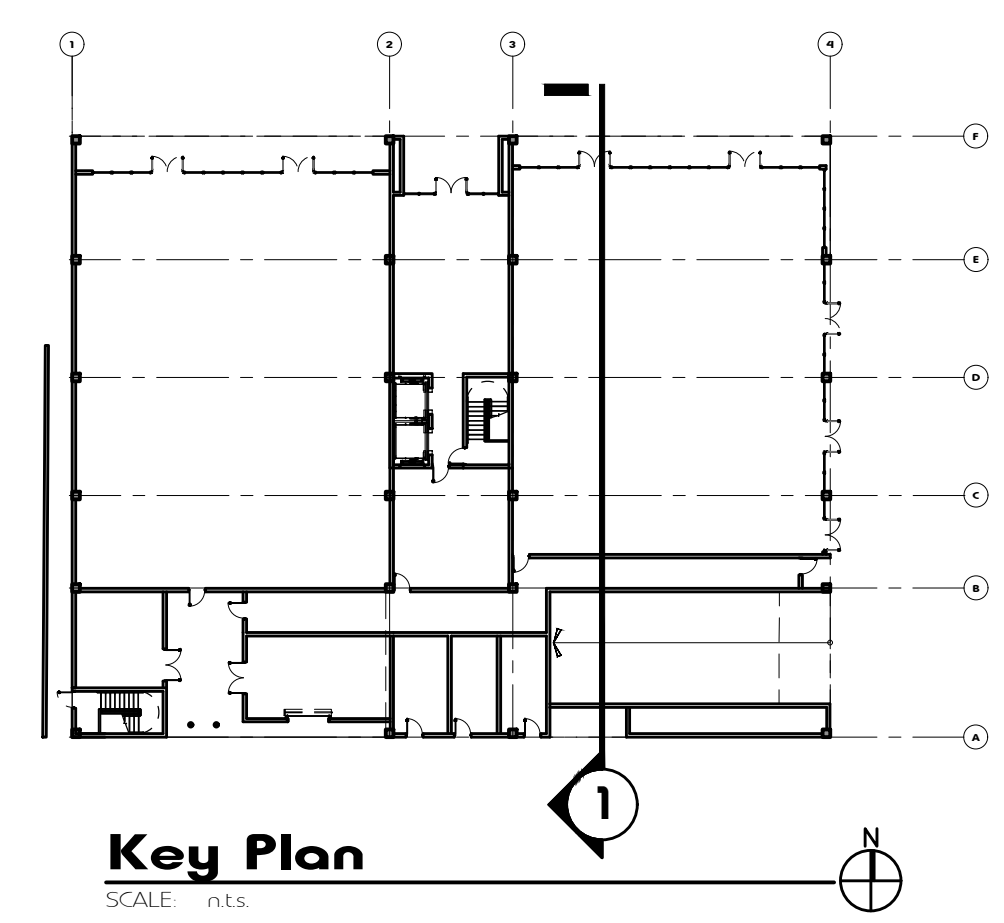


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ELEV. = + 125'-6"	T.O. PARAPET	13'-0"
ELEV. = + 112'-6"	T.O. SLAB - 11TH LEVEL	10'-8"
ELEV. = + 101'-10"	T.O. SLAB - 10TH LEVEL	10'-8"
ELEV. = + 91'-2"	T.O. SLAB - 9TH LEVEL	10'-8"
ELEV. = + 80'-7"	T.O. SLAB - 8TH LEVEL	10'-8"
ELEV. = + 69'-10"	T.O. SLAB - 7TH LEVEL	10'-8"
ELEV. = + 59'-2"	T.O. SLAB - 6TH LEVEL	10'-8"
ELEV. = + 48'-6"	T.O. SLAB - 5TH LEVEL	10'-8"
ELEV. = + 37'-10"	T.O. SLAB - 4TH LEVEL	10'-8"
ELEV. = + 27'-2"	T.O. SLAB - 3RD LEVEL	10'-8"
ELEV. = + 16'-6"	T.O. SLAB - 2ND LEVEL	16'-6"
ELEV. = + 0'-0"	T.O. SLAB - 1ST LEVEL	

**1** Cross Section Thru Garage  
SCALE: 1/8" = 1'-0"



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project info :  
**Parc Place**  
 Phase 1  
 East Parking Garage  
 1700-1716 Harrison Street  
 Hollywood, Florida

seal :  
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDF  
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :


drawing data :  
**PHASE 1**  
**EAST GARAGE**  
**CROSS SECTION**

project number :	#15197
drawing scale :	As Shown
drawing date :	06/18/2018
phase :	Final TAC
sheet number :	<b>A1.10</b>

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1 PARC PLACE EAST GARAGE | VIEW SOUTH WEST FROM HARRISON AND 17TH STREET



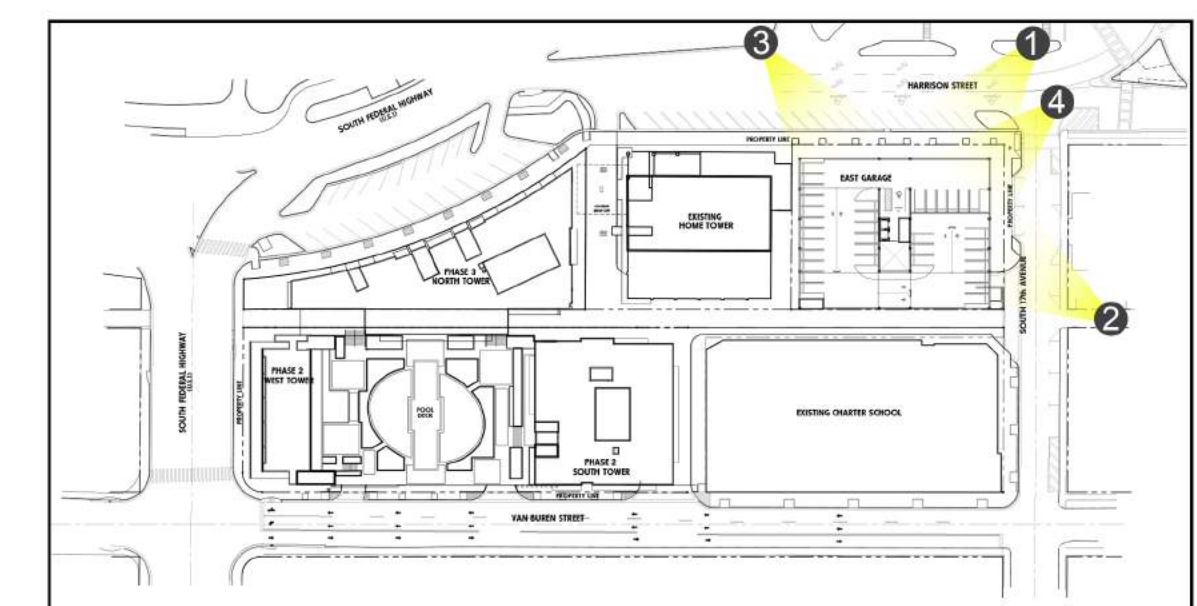
2 PARC PLACE EAST GARAGE | VIEW NORTH ALONG 17TH STREET



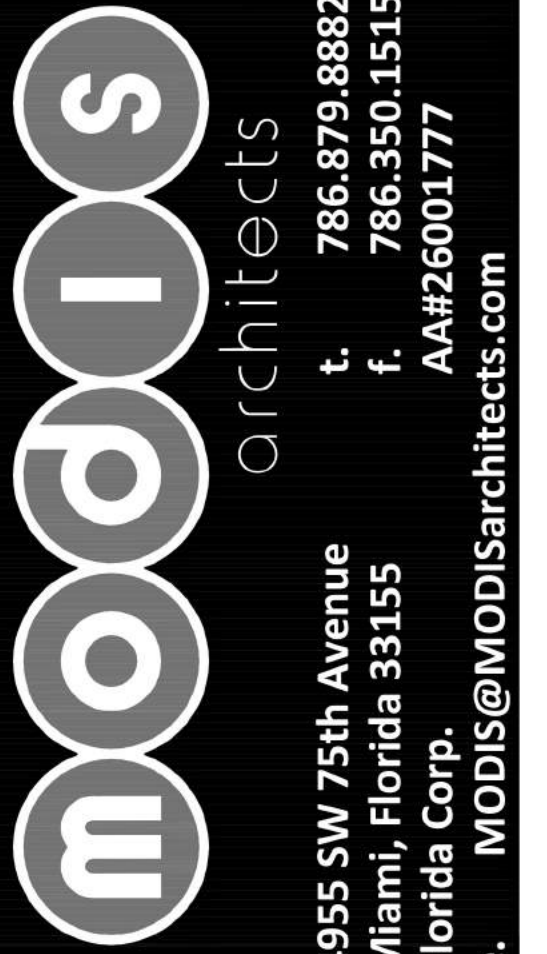
3 PARC PLACE EAST GARAGE | VIEW SOUTH ALONG HARRISON STREET



4 PARC PLACE EAST GARAGE | VIEW ALONG HARRISON STREET SIDEWALK



LOCATION MAP  
N.T.S.



project info :

**Parc Place  
Phase 1  
East Garage**  
 1700-1716 Harrison Street  
 Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

**PHASE 1  
EAST TOWER  
RENDERINGS**

project number :

#15197

drawing scale :

As Shown

drawing date :

06/18/2018

phase :

Final TAC

sheet number :

**A1.20**



# PHASE 2: SOUTH + WEST TOWER PROJECT ANALYSIS

West Tower								Sout + West Towers Unit Sq Ft Count											West Tower			Total
1 (1BD)	2 (Studio)	3 (Studio)	4 (Studio)	5 (1BD)	6 (1BD)	7 (1BD)	8 (1BD)	Unit Types											19 (1BD)	20 (1BD)	21 (1BD)	
Level 1								9 (Studio)	10 (1BD)	11 (2BD)	12 (2BD)	13 (2BD)	14 (1BD)	15 (1BD)	16 (2BD)	17 (2BD)	18 (2BD)				0	
Level 2																					0	
Level 3																					0	
Level 4																					0	
Level 5																					0	
Level 6																					0	
Level 7	681	519	520	520	671	653	665	739					956			1052	938	962				8876
Level 8	681	519	520	520	671	653	665	739	712	815	1052	963	956	713	717	1052	938	962				12418
Level 9	681	519	520	520	671	653	665	739	712	815	1052	963	956	713	717	1052	938	962				13848
Level 10	681	519	520	520	671	653	665	739	712	815	1052	963	956	713	717	1052	938	962				13848
Level 11									712	815	1052	963	956	713	717	1052	938	962	895	756	898	11429
Level 12									712	815	1052	963	956	713	717	1052	938	962				8880
Level 13									712	815	1052	963	956	713	717	1052	938	962				8880
Level 14									712	815	1052	963	956	713	717	1052	938	962				8880
Level 15									712	815	1052	963	956	713	717	1052	938	962				8880
Level 16									712	815	1052	963	956	713	717	1052	938	962				8880
Level 17									712	815	1052	963	956	713	717	1052	938	962				8880
Roof																						
	2,724 sf	2,076 sf	2,080 sf	2,080 sf	2,684 sf	2,612 sf	2,660 sf	2,956 sf	7,120 sf	8,150 sf	10,520 sf	9,630 sf	10,516 sf	6,417 sf	6,453 sf	11,572 sf	10,318 sf	10,582 sf	895 sf	756 sf	898 sf	113,699 sf
	4 units	4 units	4 units	4 units	4 units	4 units	4 units	4 units	10 units	10 units	10 units	10 units	11 units	9 units	9 units	11 units	11 units	11 units	1 units	1 units	1 units	137 units

South & West Tower Unit Total Summary by Floor								
Level	Leasable Area	Non Leasable (cores, Elevator, stairs)	Existing Garage		Outdoor Entertainment (Rec. Deck, Pool Deck)	Retail	Amenity (Gym, Rec. Room)	Total
Level 1	0	1395	16295		0	3153	0	20843
Level 2	0	540	26089	7984	0	0	0	34613
Level 3	0	540	26089	13427	0	0	0	40056
Level 4	0	540	26089	13427	0	0	0	40056
Level 5	0	540	26089	13427	0	0	0	40056
Level 6	0	540	26089	13427	0	0	0	40056
Level 7	8876	3877	0	0	20621	0	5995	39369
Level 8	12418	4723	0	0	1358	0	0	18499
Level 9	13848	4723	0	0	0	0	0	18571
Level 10	13848	4723	0	0	0	0	0	18571
Level 11	11429	4880	0	0	0	0	0	16309
Level 12	8880	3934	0	0	0	0	0	12814
Level 13	8880	3108	0	0	0	0	0	11988
Level 14	8880	3108	0	0	0	0	0	11988
Level 15	8880	3108	0	0	0	0	0	11988
Level 16	8880	3108	0	0	0	0	0	11988
Level 17	8880	3108	0	0	0	0	0	11988
Roof	0	530	0	0	0	0	0	530
<b>Total</b>	<b>113,699 sf</b>	<b>47,025 sf</b>	<b>146,740 sf</b>	<b>61,692 sf</b>	<b>21,979 sf</b>	<b>3,153 sf</b>	<b>5,995 sf</b>	<b>364,319 sf</b>

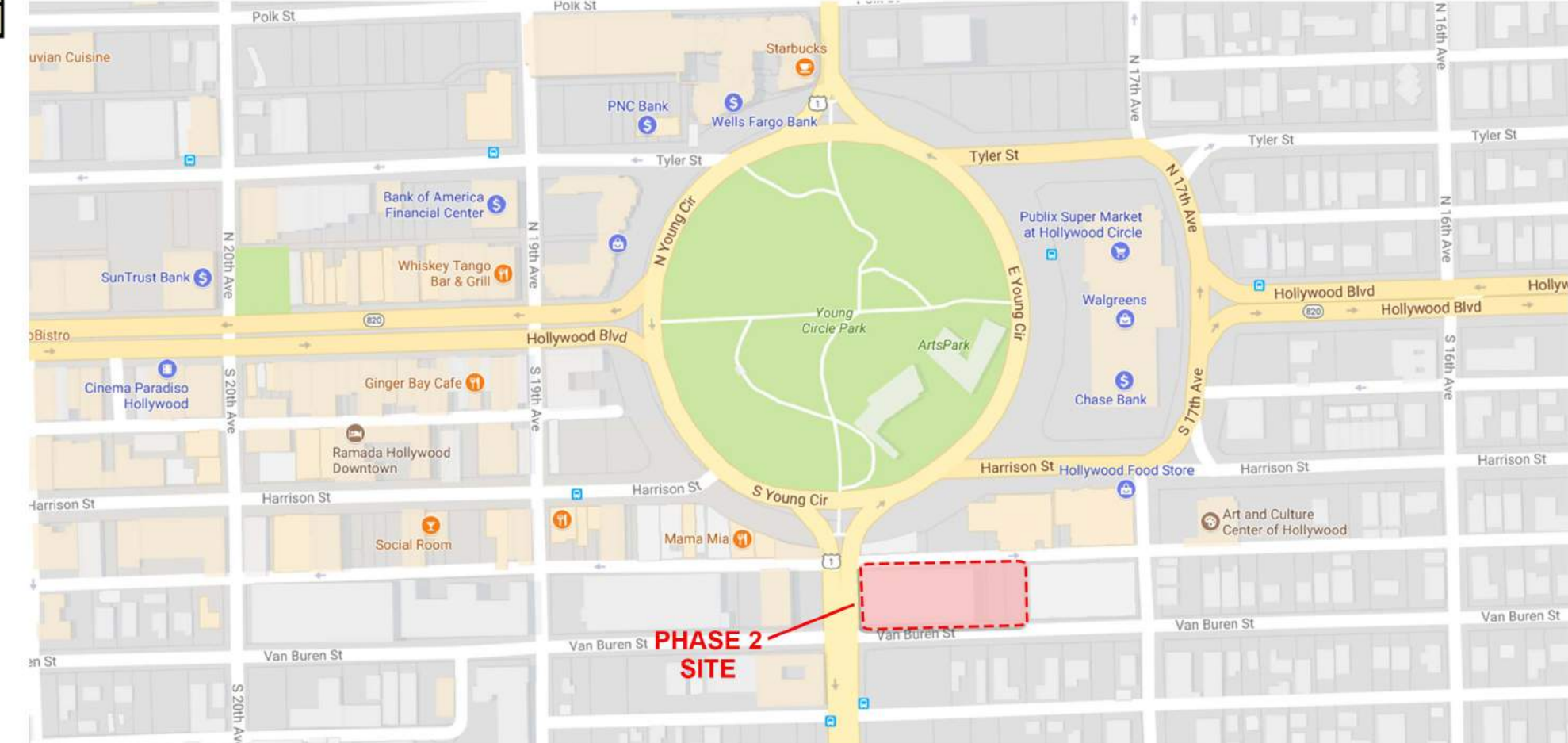
West Tower Unit Total Summary by Floor				
Level	Unit Types			Total
	Studio	1BD	2BD	
Level 1	0	0	0	0
Level 2	0	0	0	0
Level 3	0	0	0	0
Level 4	0	0	0	0
Level 5	0	0	0	0
Level 6	0	0	0	0
Level 7	3	5	0	8
Level 8	3	5	0	8
Level 9	3	5	0	8
Level 10	3	5	0	8
Level 11	0	3	0	3
Level 12	0	0	0	0
Level 13	0	0	0	0
Level 14	0	0	0	0
Level 15	0	0	0	0
Level 16	0	0	0	0
Level 17	0	0	0	0
Roof				
<b>Total</b>	<b>12 units</b>	<b>23 units</b>	<b>0 units</b>	<b>35 units</b>
<b>%TOTAL</b>	<b>34.29%</b>	<b>65.71%</b>	<b>0.00%</b>	<b>100.00%</b>

South Tower Unit Total Summary by Floor				
Level	Unit Types			Total
	Studio	1BD	2BD	
Level 1	0	0	0	0
Level 2	0	0	0	0
Level 3	0	0	0	0
Level 4	0	0	0	0
Level 5	0	0	0	0
Level 6	0	0	0	0
Level 7	0	0	4	4
Level 8	1	1	6	8
Level 9	1	3	6	10
Level 10	1	3	6	10
Level 11	1	3	6	10
Level 12	1	3	6	10
Level 13	1	3	6	10
Level 14	1	3	6	10
Level 15	1	3	6	10
Level 16	1	3	6	10
Level 17	1	3	6	10
Roof	-	-	-	0
<b>Total</b>	<b>10 units</b>	<b>28 units</b>	<b>64 units</b>	<b>102 units</b>
<b>%TOTAL</b>	<b>9.80%</b>	<b>27.45%</b>	<b>62.75%</b>	<b>10300.00%</b>



PHASE 2: PARC PLACE | SOUTH + WEST TOWERS

### LOCATION MAP



Phase 2 (South & West Tower Parking)				
Type of Parking	# of DU (South)	# of DU (West)	Ratio	Total Required
Residential	102 units	35 units	1 sp/du	137 spaces
Visitor	102 units	35 units	1/10 du	14 spaces
<b>Total</b>				<b>151 spaces</b>

Phase 3 (North Tower)			
Type of Parking	# of DU	Ratio	Total Required
Residential	296 units	1 sp/du	296 spaces
Visitor	296 units	1/10 du	30 spaces
<b>Total</b>			<b>326 spaces</b>

Phase 2 + Phase 3 Parking summary										
Levels	South & West Tower (Phase 2)	South & West Tower HC	South & West Tower Visitor	Retail	Retail HC	EV	North Tower (Phase 3)	North Tower HC	North Tower Visitor	Total Provided
Level 1	0	0	0	*	1 (VAN)	2	29	0	0	32
Level 2	0	1	8	0	0	0	58	4	0	71
Level 3	0	3	0	0	0	0	87	0	0	90
Level 4	0	0	0	0	0	0	89	2	0	91
Level 5	60	0	0	0	0	0	33	0	0	93
Level 6	79	0	0	0	0	0	0	0	0	79
<b>Total</b>	<b>139 sp</b>	<b>4 sp</b>	<b>8 sp</b>	<b>sp</b>	<b>1 sp</b>	<b>2 sp</b>	<b>296 sp</b>	<b>6 sp</b>	<b>sp</b>	<b>456 sp</b>

\*8 City parking spaces located on Van Buren street has been accommodated inside the garage on the ground level

Required Loading	
Off Street Loading Space Requirements	- 10'w x 25'L x 14' Vertical Clearance
Required:	Retail Space: less Than 10,000 sf. = none Tower: 50-100 Units + 1 for each add'l 100 Units or major Fraction
Phase 2	Provided: Retail Space - 3153 sf = none South/West Tower - 137 units - (1)10'w x 25'L x 14' clear height
Phase 3	Provided: Retail Space: - 7062 sf = none North Tower - 296 Units - (3) 10'w x 25'L x 14' clear height

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**project info:**  
**Parc Place**  
**Phase 2**  
**South & West Towers**  
 1727-1745 Van Buren St.  
 Hollywood, Florida

**seal:**  
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDF  
 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions:**  
 Rev 1 06/28/2018

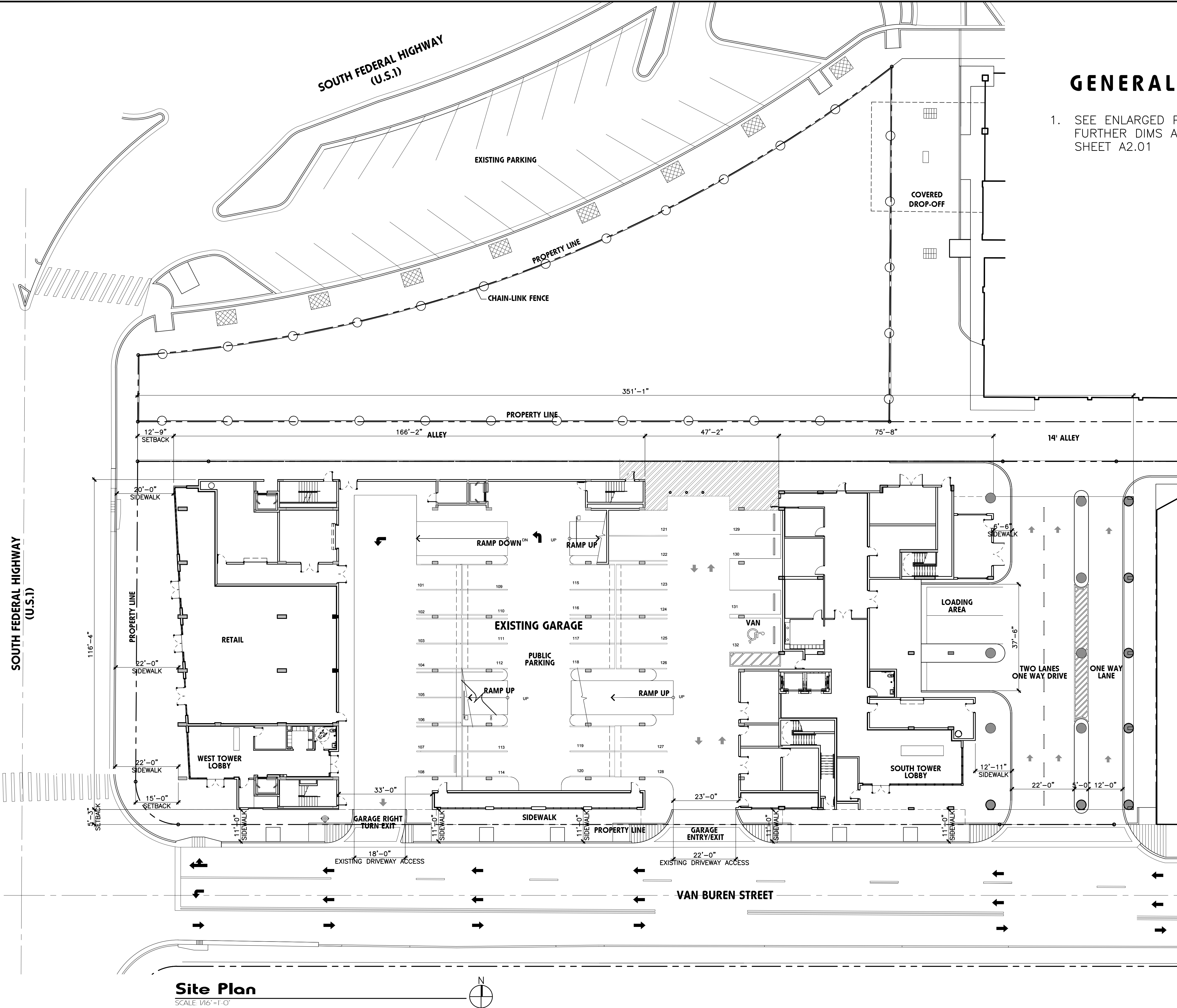
**drawing data:**  
**PHASE 2**  
**LOCATION**  
**PLAN**  
 project number: #15197  
 drawing scale: As Shown  
 drawing date: 6/18/2018  
 phase: Final TAC  
 sheet number: **A2.00**

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**Site Plan**  
SCALE: 1/16" = 1'-0"

**GENERAL NOTES:**

- SEE ENLARGED PLANS FOR FURTHER DIMS AND NOTES. SHEET A2.01

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 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :


drawing data :  
**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**SITE PLAN**

project number :	#15197
drawing scale :	As Shown
drawing date :	06/18/2018
phase :	Final TAC
sheet number :	<b>A2.00a</b>

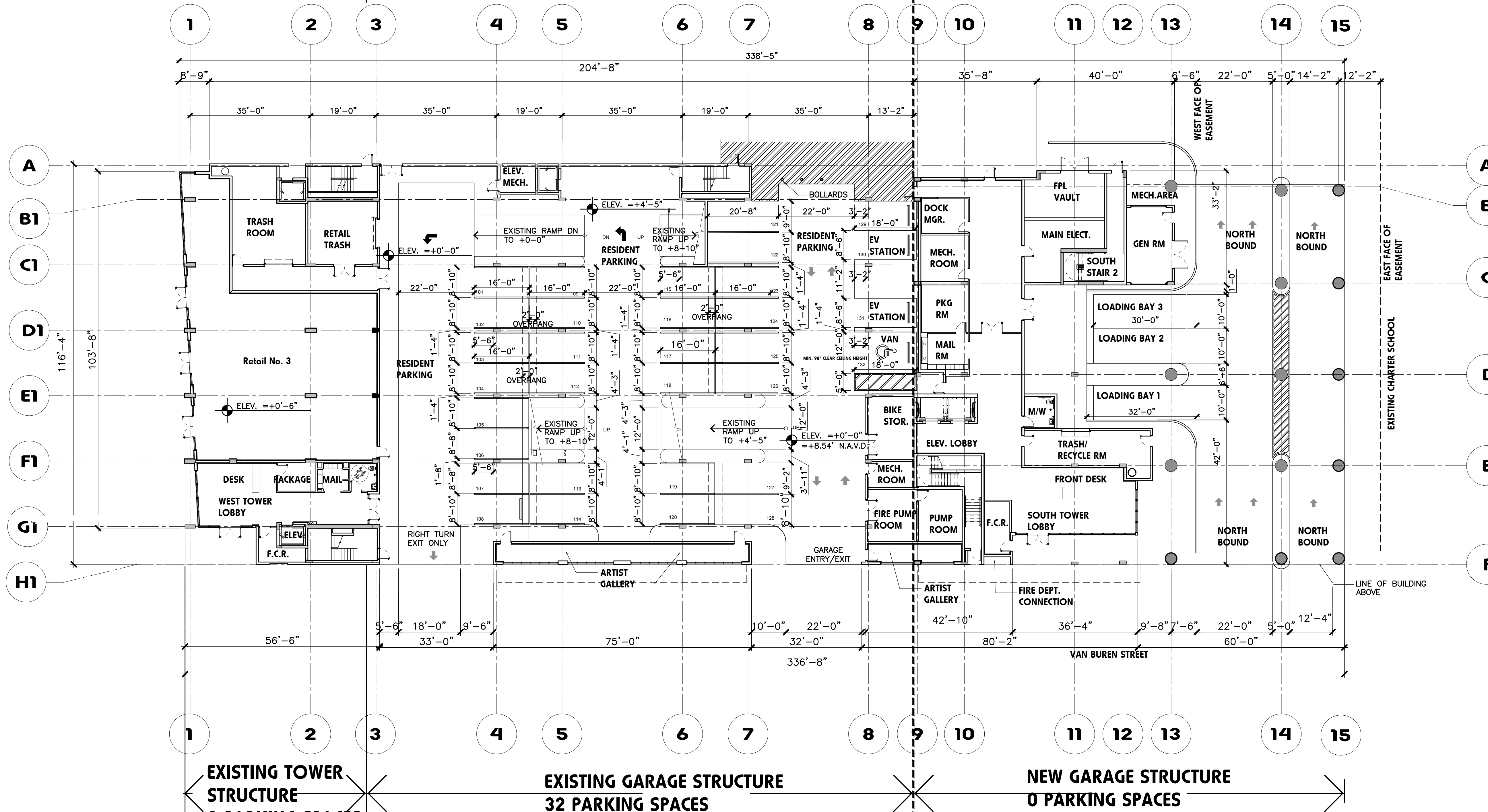
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EXISTING TOWER  
STRUCTURE  
0 PARKING SPACES

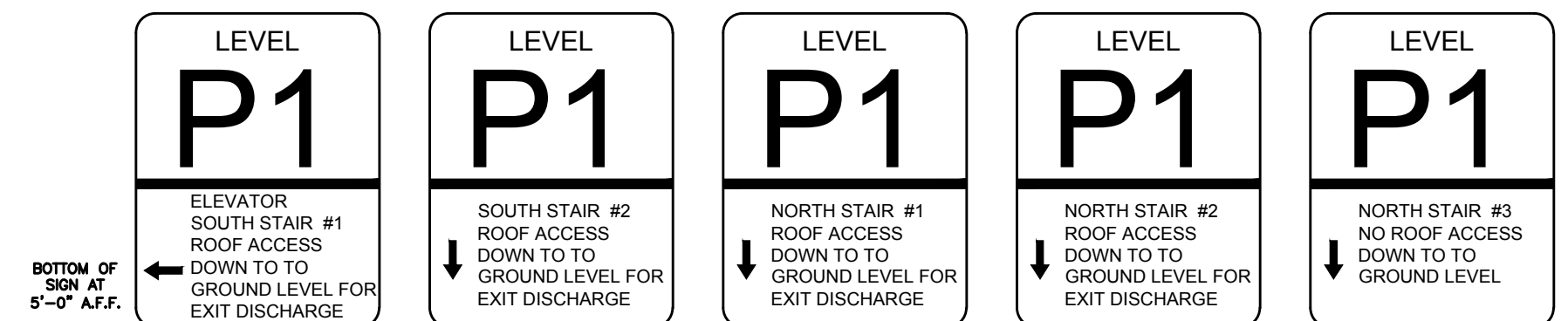
EXISTING GARAGE STRUCTURE  
32 PARKING SPACES

NEW GARAGE STRUCTURE  
0 PARKING SPACES



Level 1 Floor Plan (P1 Parking)

SCALE: 1/16" = 1'-0"



Typical Wayfinding Signage

Phase 2 + Phase 3 Parking summary										
Levels	South & West Tower (Phase 2)	South & West Tower HC	South & West Tower Visitor	Retail	Retail HC	EV	North Tower (Phase 3)	North Tower HC	North Tower Visitor	Total Provided
Level 1	0	0	0	1 (VAN)	0	2	29	0	0	32
Level 2	0	1	0	0	0	0	58	4	0	63
Level 3	0	3	0	0	0	0	87	0	0	90
Level 4	0	0	0	0	0	0	89	2	0	91
Level 5	60	0	0	0	0	0	33	0	0	93
Level 6	79	0	0	0	0	0	0	0	0	79
<b>Total</b>	<b>139 sp</b>	<b>4 sp</b>	<b>8 sp</b>	<b>1 sp</b>	<b>2 sp</b>	<b>296 sp</b>	<b>6 sp</b>	<b>sp</b>	<b>sp</b>	<b>466 sp</b>

EV= Electric Vehicle Parking Space | HC= Handicapped Parking Space

\*8 City parking spaces located on Van Buren street has been accommodated inside the garage on the ground level

Required Loading	
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance	
Required:	Retail Space: less Than 10,000 sf. = none Tower: 50-100 Units + 1 for each add'l 100 Units or major Fraction
Provided:	Phase 2 Retail Space - 3153 sf = none South/West Tower - 137 units - (1)10'w x 25'L x 14' clear height
Provided:	Phase 3 Retail Space - 7062 sf = none North Tower - 296 Units - (3) 10'w x 25'L x 14' clear height

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revisions :

Rev 1	06/28/2018
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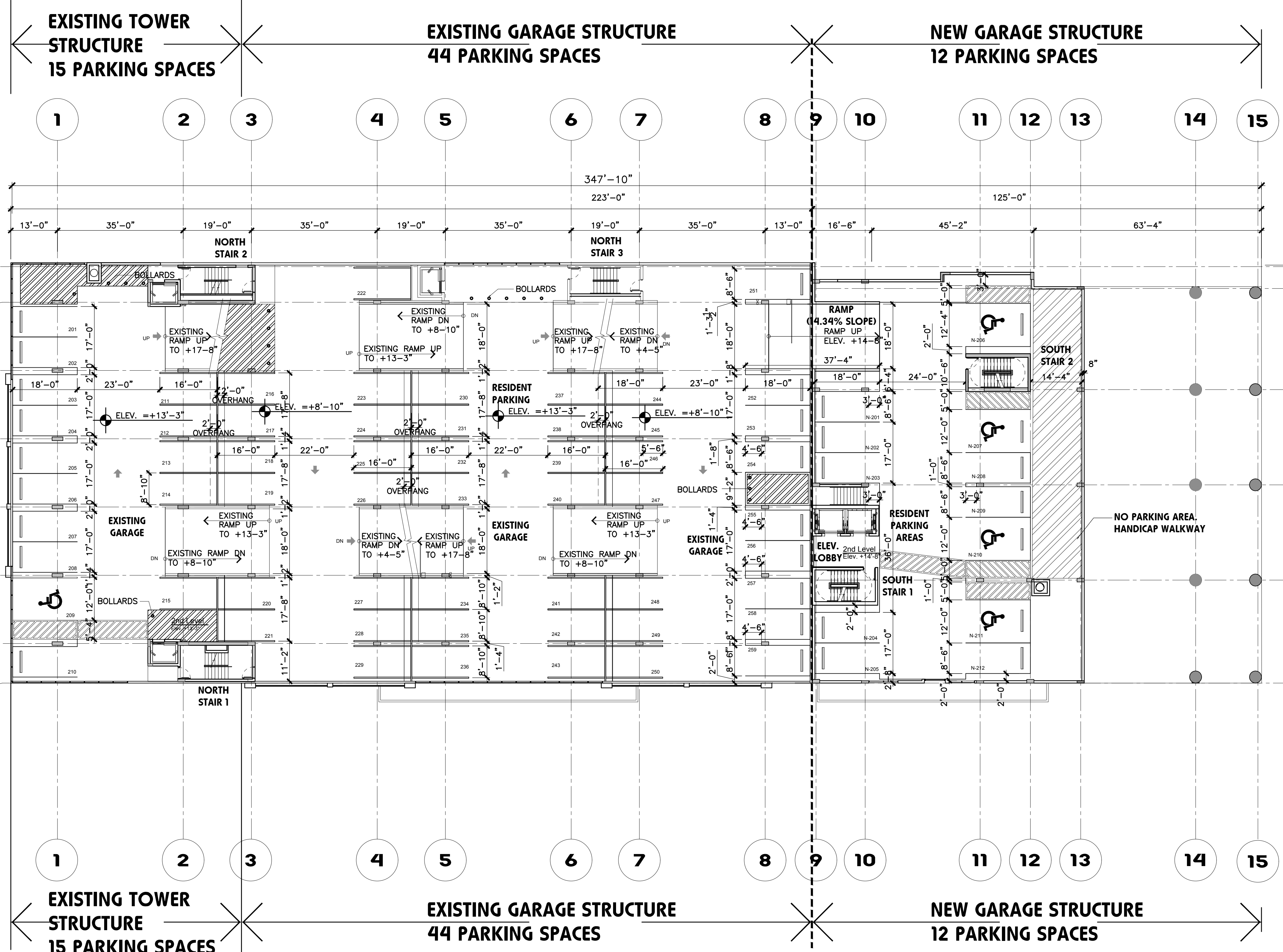
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**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**LEVEL 1**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A2.01**

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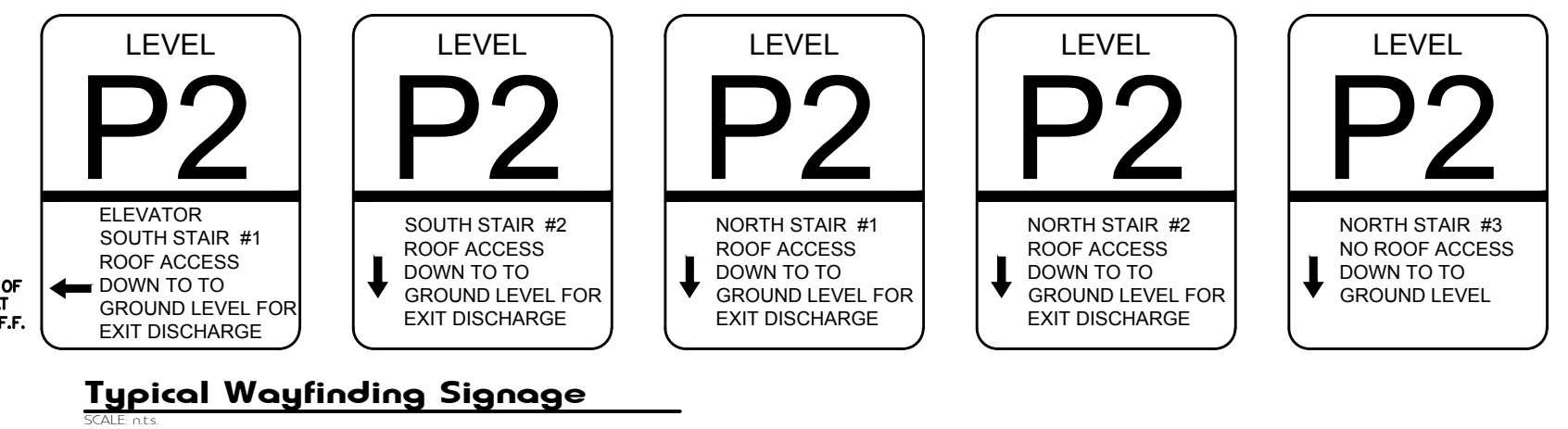
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**Level 2 Floor Plan (P2-Parking)**  
SCALE: 1/16" = 1'-0"

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Phase 2 + Phase 3 Parking summary

Levels	South & West Tower (Phase 2)	South & West Tower HC	South & West Tower Visitor	Retail	Retail HC	EV	North Tower (Phase 3)	North Tower HC	North Tower Visitor	Total Provided
Level 1	0	0	0	0	1 (VAN)	2	29	0	0	32
Level 2	0	1	8	0	0	0	58	4	0	71
Level 3	0	3	0	0	0	0	87	0	0	90
Level 4	0	0	0	0	0	0	89	2	0	91
Level 5	60	0	0	0	0	0	33	0	0	93
Level 6	79	0	0	0	0	0	0	0	0	79
<b>Total</b>	<b>139 sp</b>	<b>4 sp</b>	<b>8 sp</b>	<b>1 sp</b>	<b>2 sp</b>	<b>296 sp</b>	<b>6 sp</b>	<b>sp</b>		<b>456 sp</b>

EV= Electric Vehicle Parking Station | HC= handicapped Parking Space  
\*8 City parking spaces located on Van Buren street has been accommodated inside the garage on the ground level

**Required Loading**

Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance

Required: Retail Space: less Than 10,000 sf = none  
Tower: 50-100 Units + 1 for each add'l 100 Units or major Fraction

Phase 2  
Provided: Retail Space - 3153 sf = none  
South West Tower - 137' units - (110'w x 25'L x 14' clear height)

Phase 3  
Provided: Retail Space - 7062 sf = none  
North Tower - 296 Units - (3) 10'w x 25'L x 14' clear height

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FLORIDA REGISTERED ARCHITECT # AR 932359

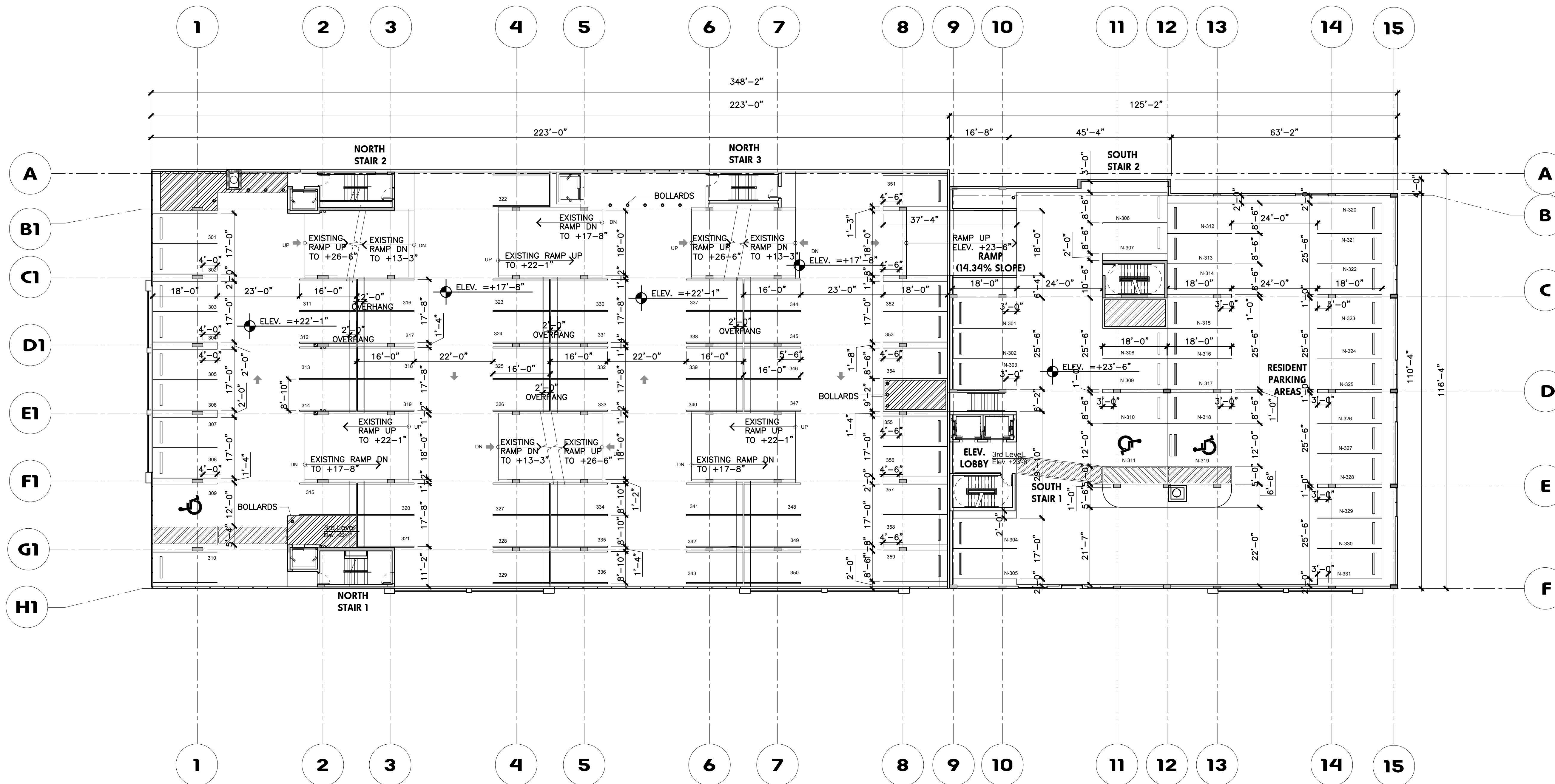
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drawing scale : As Shown  
drawing date : 06/18/2018  
phase : Final TAC  
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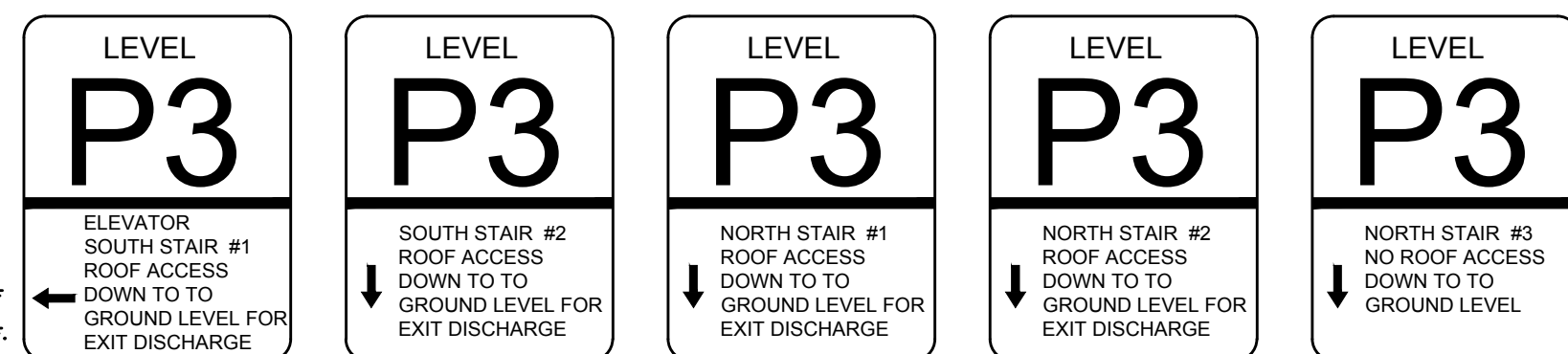
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### Level 3 Floor Plan (P3 Parking)

SCALE: 1/16" = 1'-0"



Typical Wayfinding Signage

Phase 2 + Phase 3 Parking summary										
Levels	South & West Tower (Phase 2)	South & West Tower HC	South & West Tower Visitor	Retail	Retail HC	EV	North Tower (Phase 3)	North Tower HC	North Tower Visitor	Total Provided
Level 1	0	0	0	*	1 (VAN)	2	29	4	0	32
Level 2	0	1	0	0	0	0	58	0	0	71
Level 3	0	3	0	0	0	0	87	0	0	90
Level 4	0	0	0	0	0	0	88	2	0	91
Level 5	60	0	0	0	0	0	33	0	0	93
Level 6	79	0	0	0	0	0	0	0	0	79
<b>Total</b>	<b>139 sp</b>	<b>4 sp</b>	<b>0 sp</b>	<b>0 sp</b>	<b>1 sp</b>	<b>2 sp</b>	<b>296 sp</b>	<b>6 sp</b>	<b>0 sp</b>	<b>456 sp</b>

EV= Electric Vehicle Parking Station | HC= handicapped Parking Space  
 \*8 City parking spaces located on Van Buren street has been accommodated inside the garage on the ground level

Required Loading	
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance	
Required:	Retail Space: less Than 10,000 sf = none Tower: 50-100 Units + 1 for each (not 100 Units or major Fraction)
Phase 2	Provided: Retail Space - 3153 sf = none SouthWest Tower - 137 units - (1)10'w x 25'L x 14' clear height)
Phase 3	Provided: Retail Space - 7062 sf = none North Tower - 296 Units - (3) 10'w x 25'L x 14' clear height

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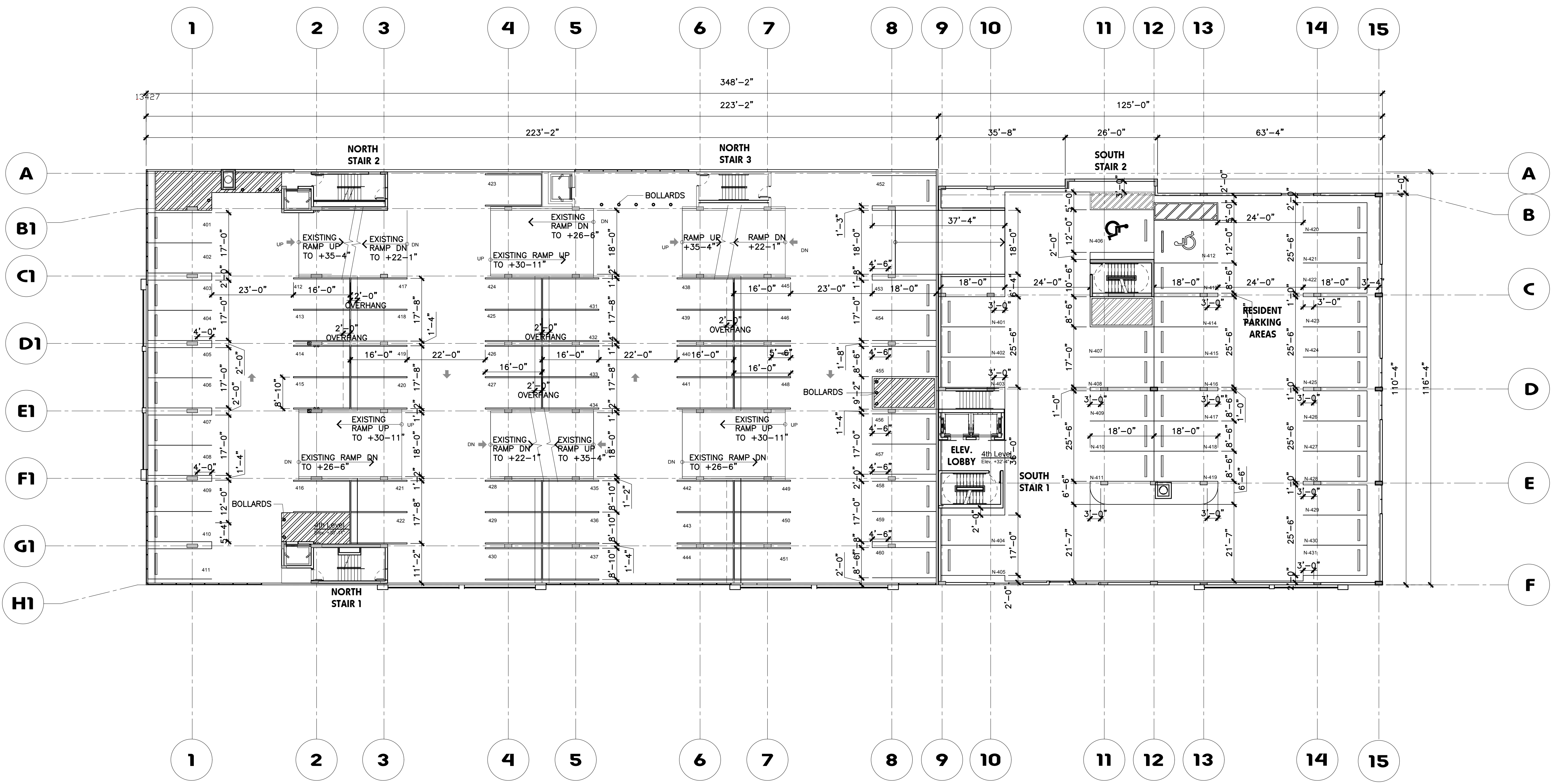
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SOUTH & WEST  
TOWER  
LEVEL 3**

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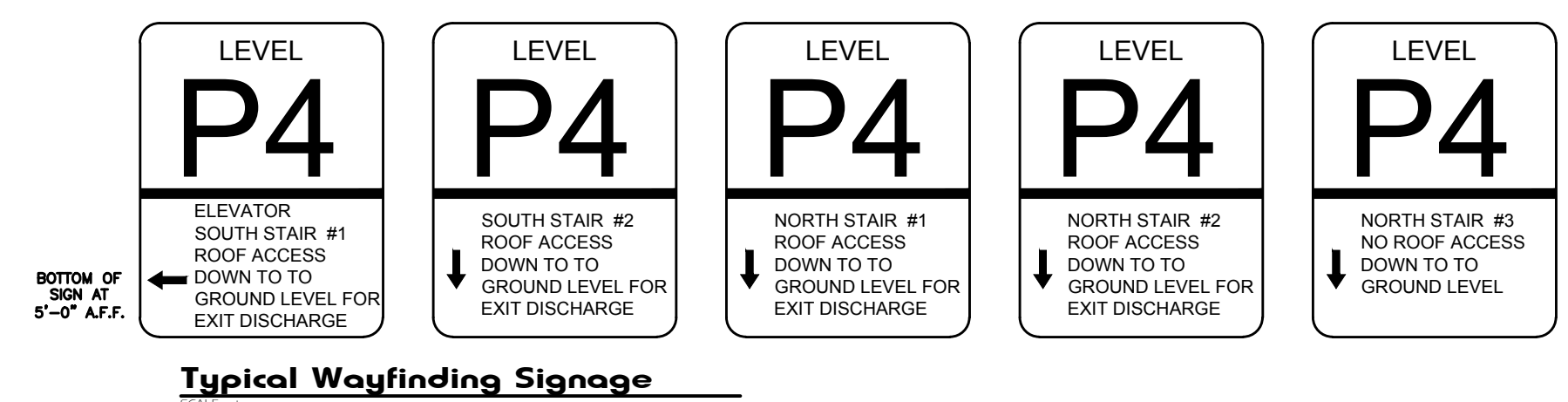
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**Level 4 Floor Plan (P4 Parking)**  
SCALE: 1/16" = 1'-0"



Phase 2 + Phase 3 Parking Summary										
Levels	South & West Tower (Phase 2)	South & West Tower HC	South & West Tower Visitor	Retail	Retail HC	EV	North Tower (Phase 3)	North Tower HC	North Tower Visitor	Total Provided
Level 1	0	0	0	0	1 (VAN)	2	23	0	0	32
Level 2	0	1	8	0	0	0	58	4	0	71
Level 3	0	3	0	0	0	0	87	0	0	90
Level 4	0	0	0	0	0	0	89	2	0	91
Level 5	60	0	0	0	0	0	33	0	0	93
Level 6	79	0	0	0	0	0	0	0	0	79
<b>Total</b>	<b>139 sp</b>	<b>4 sp</b>	<b>8 sp</b>	<b>0 sp</b>	<b>1 sp</b>	<b>2 sp</b>	<b>296 sp</b>	<b>6 sp</b>	<b>0 sp</b>	<b>456 sp</b>

EV= Electric Vehicle Parking Station | HC= handicapped Parking Space  
\*8 City parking spaces located on Van Buren street has been accommodated inside the garage on the ground level

Required Loading	
Off Street Loading Space Requirements	10'w x 25'L x 14' Vertical Clearance
Required:	Retail Space: less Than 10,000 sf = none Tower: 50-100 Units = 1 for each add'l 100 Units or major Fraction

Phase 2	
Provided:	Retail Space - 3153 sf = none SouthWest Tower - 137 units - (110'w x 25'L x 14' clear height)

Phase 3	
Provided:	Retail Space - 7062 sf = none North Tower - 296 Units - (3) 10'w x 25'L x 14' clear height

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FLORIDA REGISTERED ARCHITECT # AR 93259

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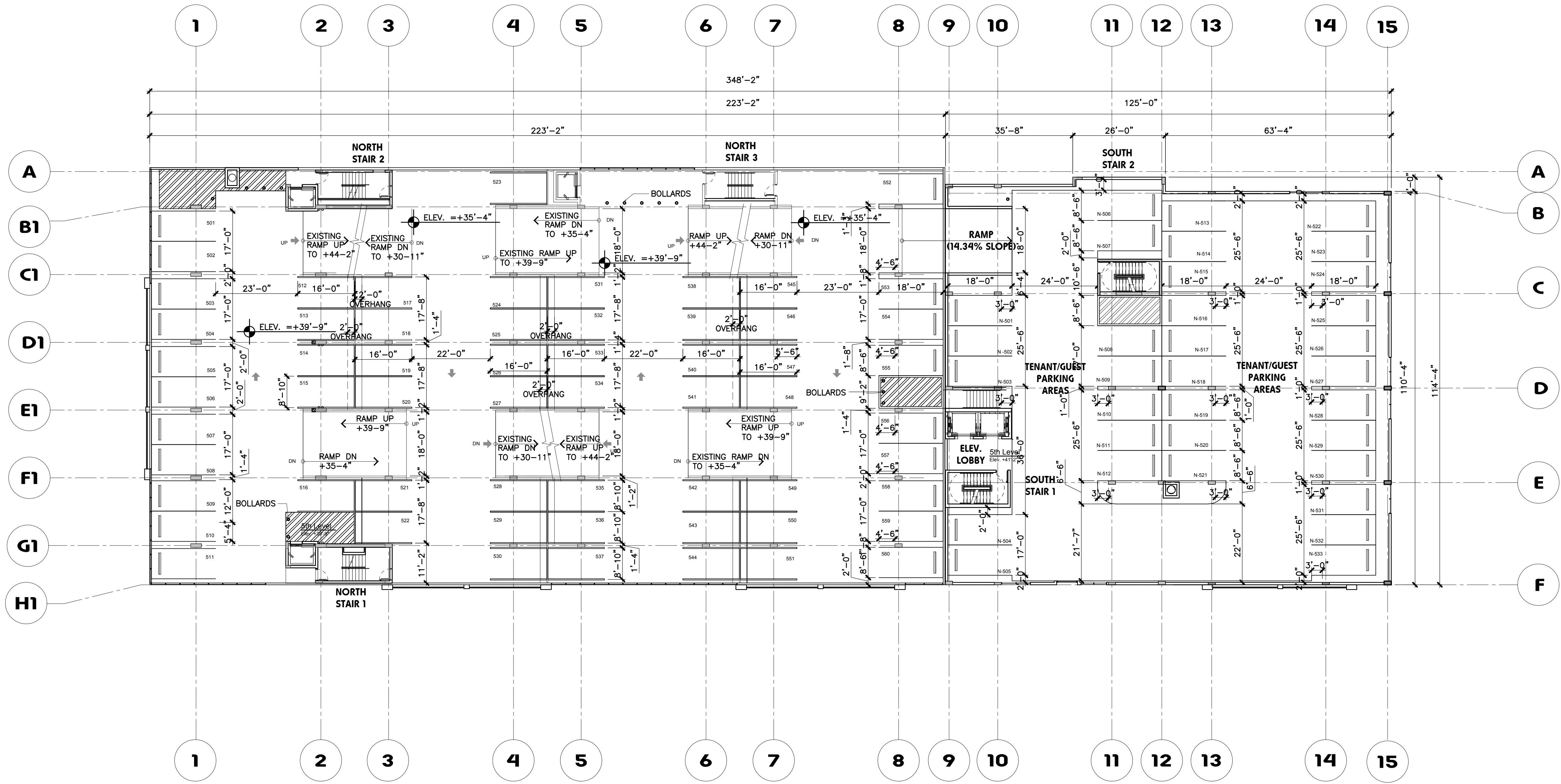
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**TOWER**  
**LEVEL 4**

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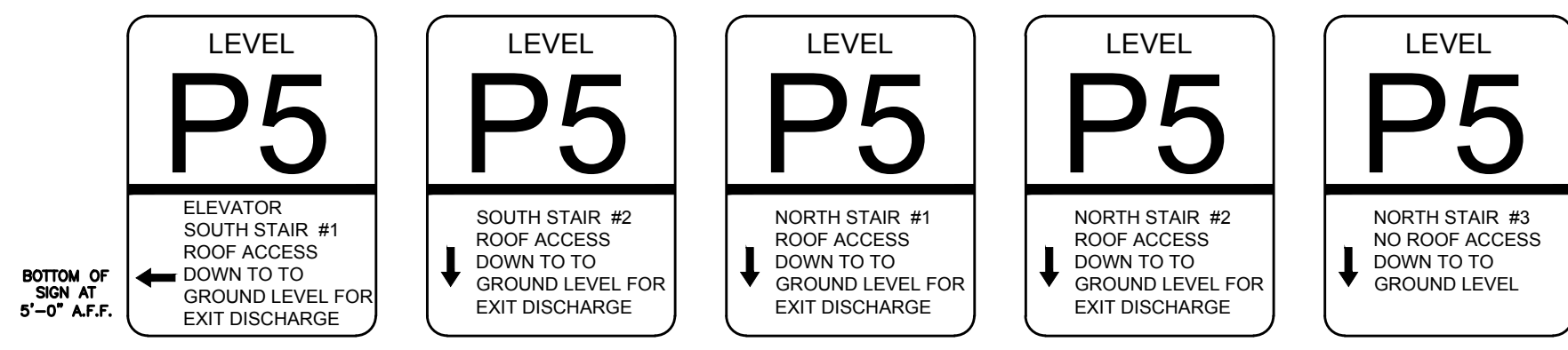
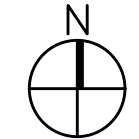
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**Level 5 Floor Plan (P5 Parking)**  
SCALE: 1/6" = 1'-0"



**Typical Wayfinding Signage**  
SCALE: 1/16"

Levels	Phase 2 + Phase 3 Parking summary									
	South & West Tower 2 (Phase 2)	South & West Tower HC	South & West Tower Visitor	Retail	Retail HC	EV	North Tower (Phase 3)	North Tower HC	North Tower Visitor	Total Provided
Level 1	0	0	0	0	1 (VAN)	2	29	0	0	32
Level 2	0	1	8	0	0	0	58	4	0	71
Level 3	0	3	0	0	0	0	87	0	0	90
Level 4	0	0	0	0	0	0	89	2	0	91
Level 5	0	0	0	0	0	0	33	0	0	33
Level 6	79	0	0	0	0	0	0	0	0	79
<b>Total</b>	<b>139 sp</b>	<b>4 sp</b>	<b>8 sp</b>	<b>sp</b>	<b>1 sp</b>	<b>2 sp</b>	<b>296 sp</b>	<b>6 sp</b>	<b>sp</b>	<b>456 sp</b>

EV= Electric Vehicle Parking Station | HC= handicapped Parking Space  
\*8 City parking spaces located on Van Buren street has been accommodated inside the garage on the ground level

Required Loading	
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance	
Required:	Retail Space: less Than 10,000 sq. ft. = none Tower: 50-100 Units = 1 for each add 1 100 Units or major Fraction
Provided:	Phase 2 Retail Space - 3153 sf = none SouthWest Tower - 137 units - (1)10'w x 25'L x 14' clear height
	Phase 3 Retail Space - 7062 sf = none North Tower - 296 Units - (3) 10'w x 25'L x 14' clear height

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**revisions :**

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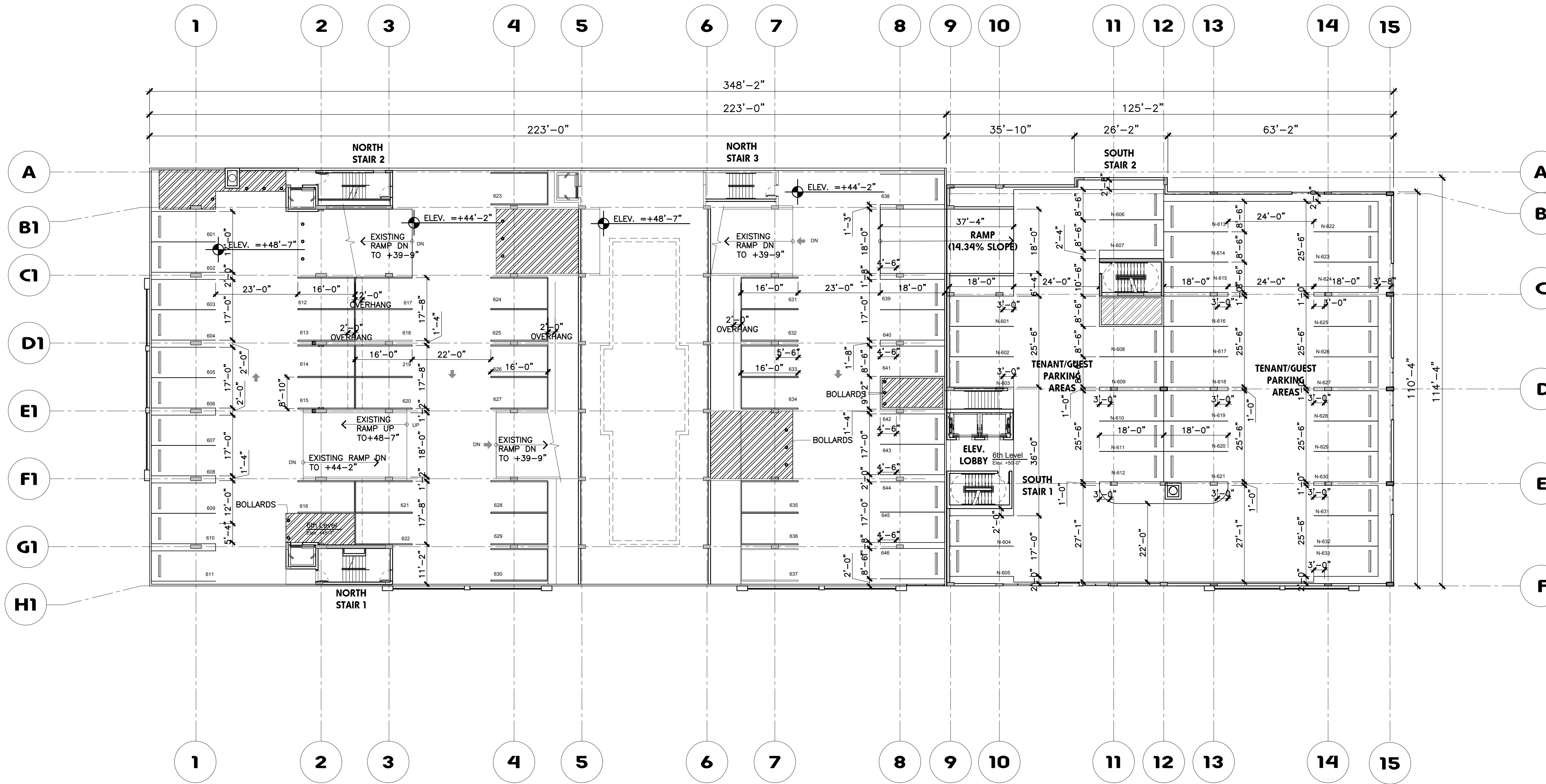
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SOUTH & WEST  
TOWER  
LEVEL 5**

**project number :** #15197  
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**phase :** Final TAC  
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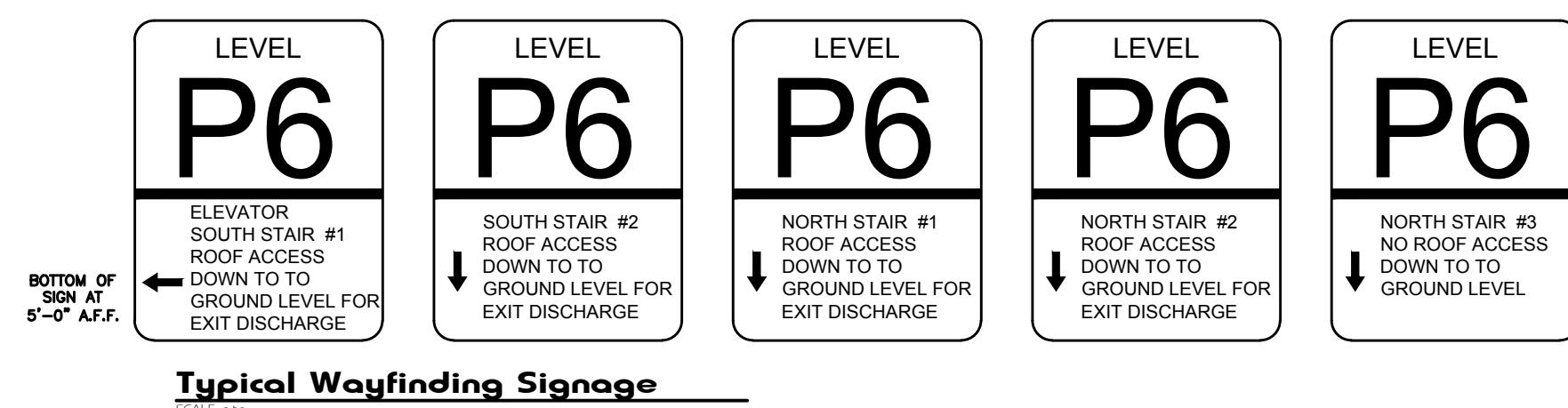
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### Level 6 Floor Plan (P6-Parking)

SCALE: 1/16" = 1'-0"



Typical Wayfinding Signage

Phase 2 + Phase 3 Parking Summary										
Levels	South & West Tower (Phase 2)	South & West Tower HC	South & West Tower Visitor	Retail	Retail HC	EV	North Tower (Phase 3)	North Tower HC	North Tower Visitor	Total Provided
Level 1	0	0	0	0	1 (VAN)	2	29	0	0	32
Level 2	0	1	8	0	0	0	58	4	0	71
Level 3	0	3	0	0	0	0	87	0	0	90
Level 4	0	0	0	0	0	0	89	2	0	91
Level 5	60	0	0	0	0	0	33	0	0	93
Level 6	79	0	0	0	0	0	0	0	0	79
<b>Total</b>	<b>139 sp</b>	<b>4 sp</b>	<b>8 sp</b>	<b>sp</b>	<b>1 sp</b>	<b>2 sp</b>	<b>296 sp</b>	<b>6 sp</b>	<b>sp</b>	<b>456 sp</b>

EV= Electric Vehicle Parking Station | HC= handicapped Parking Space  
 \*8 City parking spaces located on Van Buren street has been accommodated inside the garage on the ground level

Required Loading	
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance	
Required:	Retail Space: less than 10,000 sf. = none Tower: 50-100 Units + 1 for each add'l 100 units or major fraction
Provided:	Phase 2 Retail Space - 3153 sf = none South/West Tower - 137 units - (1)10'w x 25'L x 14' clear height
Provided:	Phase 3 Retail Space - 7062 sf = none North Tower - 296 Units - (3) 10'w x 25'L x 14' clear height

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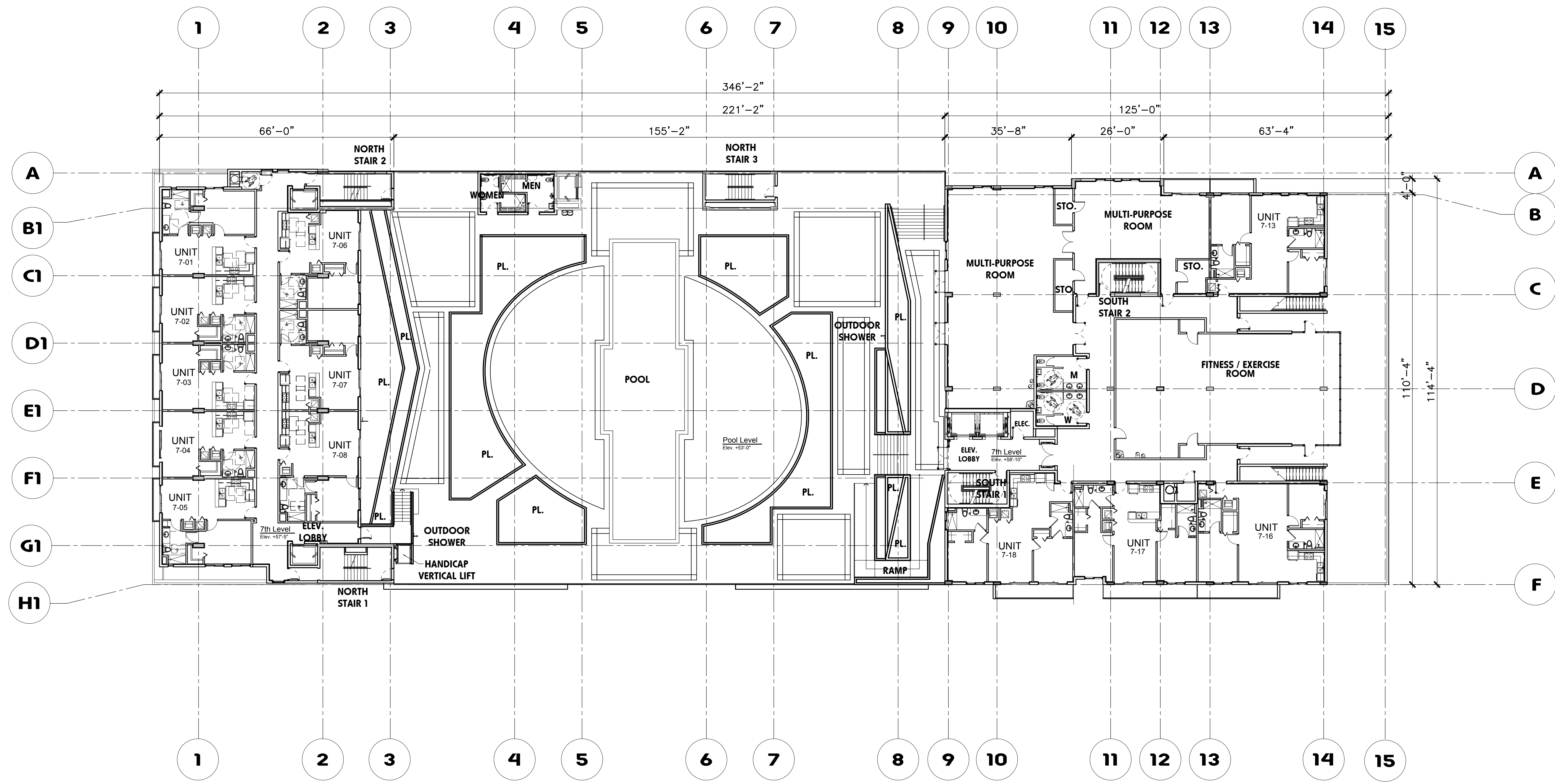
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### Level 7 Floor Plan

SCALE: 1/16"=1'-0"

8 DU.



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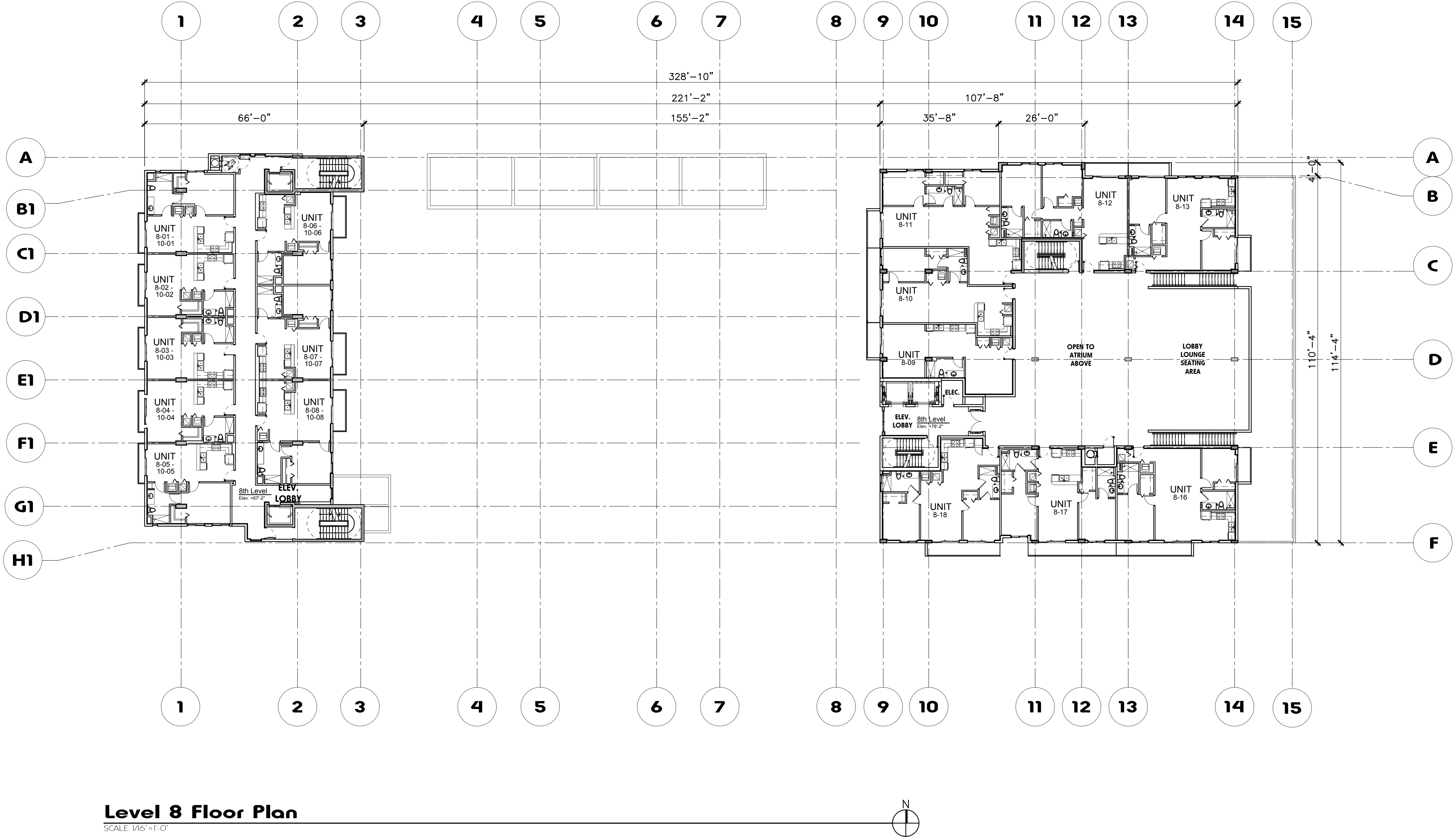
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phase :	Final TAC
sheet number :	<b>A2.07</b>



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**Level 8 Floor Plan**  
SCALE: 1/8" = 1'-0"  
15 DU.

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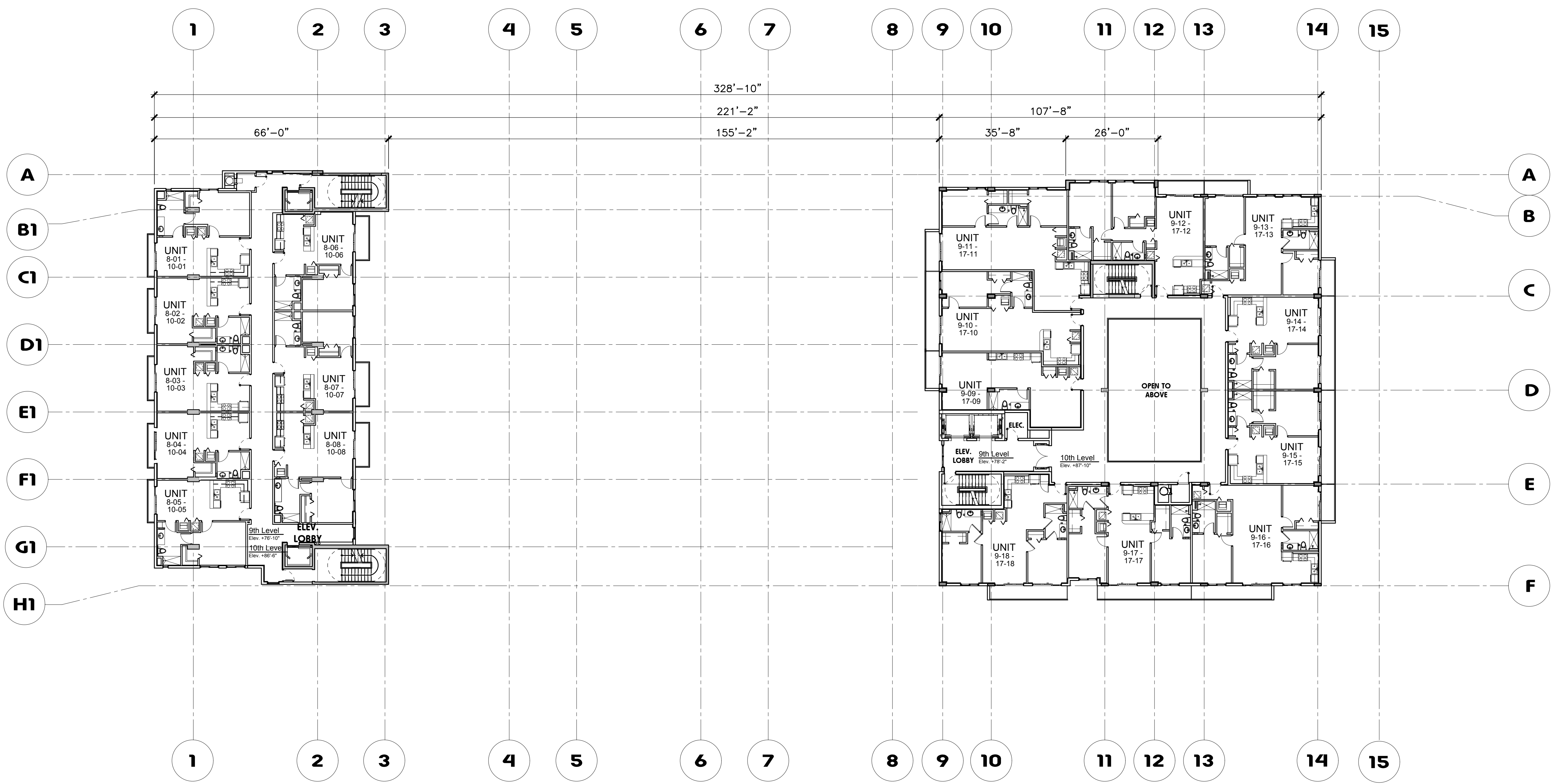

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**TOWER**  
**LEVEL 8**

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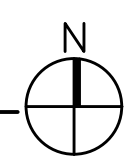


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**Level 9-10 Floor Plan**

SCALE: 1/8" = 1'-0"  
15 DU. X 2 FLRS = 30 DU.



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**South & West Towers**  
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 Hollywood, Florida

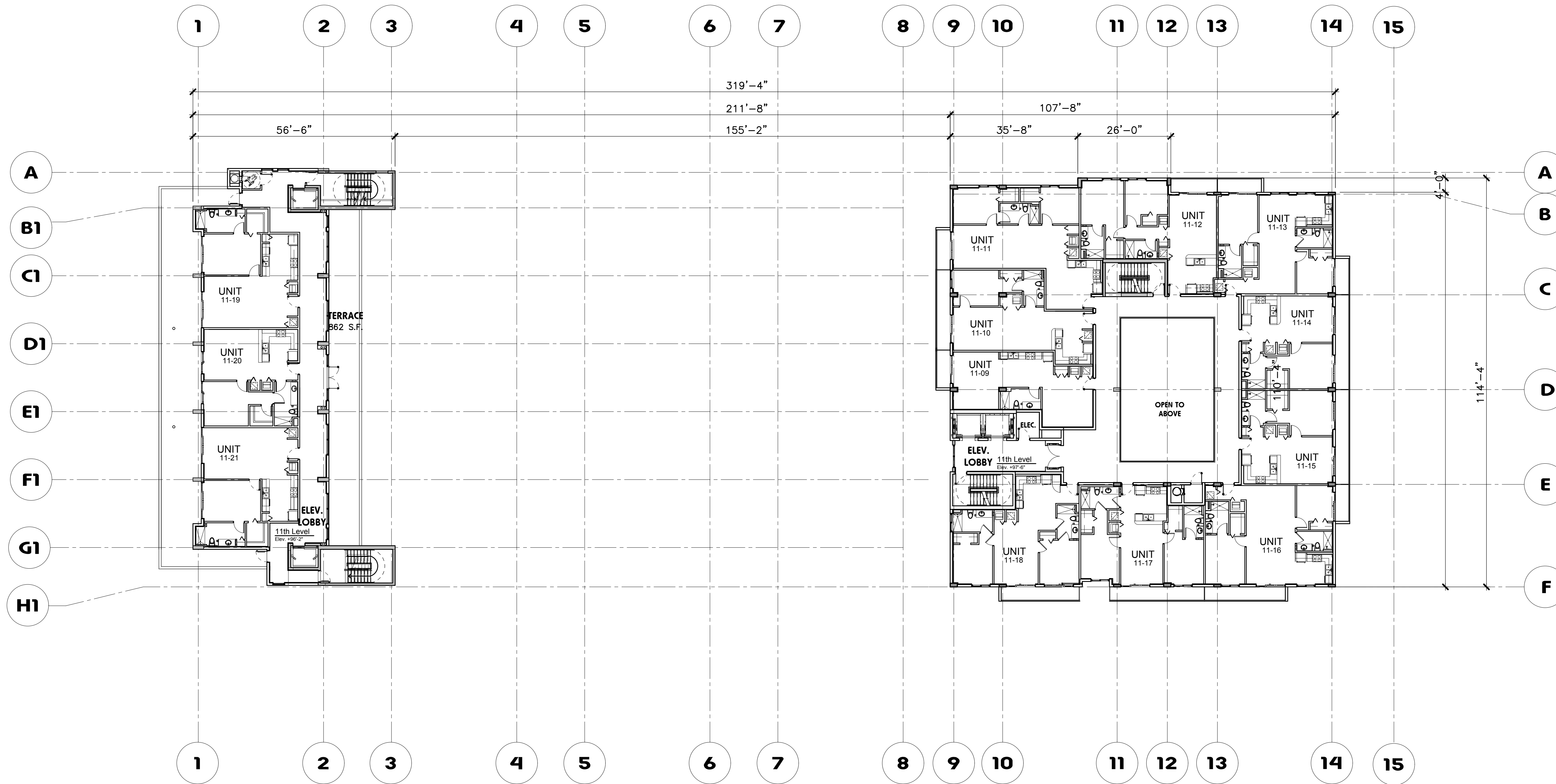
seal :  
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDF  
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :


drawing data :  
**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**LEVELS 9-10**

project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A2.09**

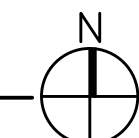




**Level 11 Floor Plan**

SCALE: 1/16" = 1'-0"

10 DU.



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revisions :

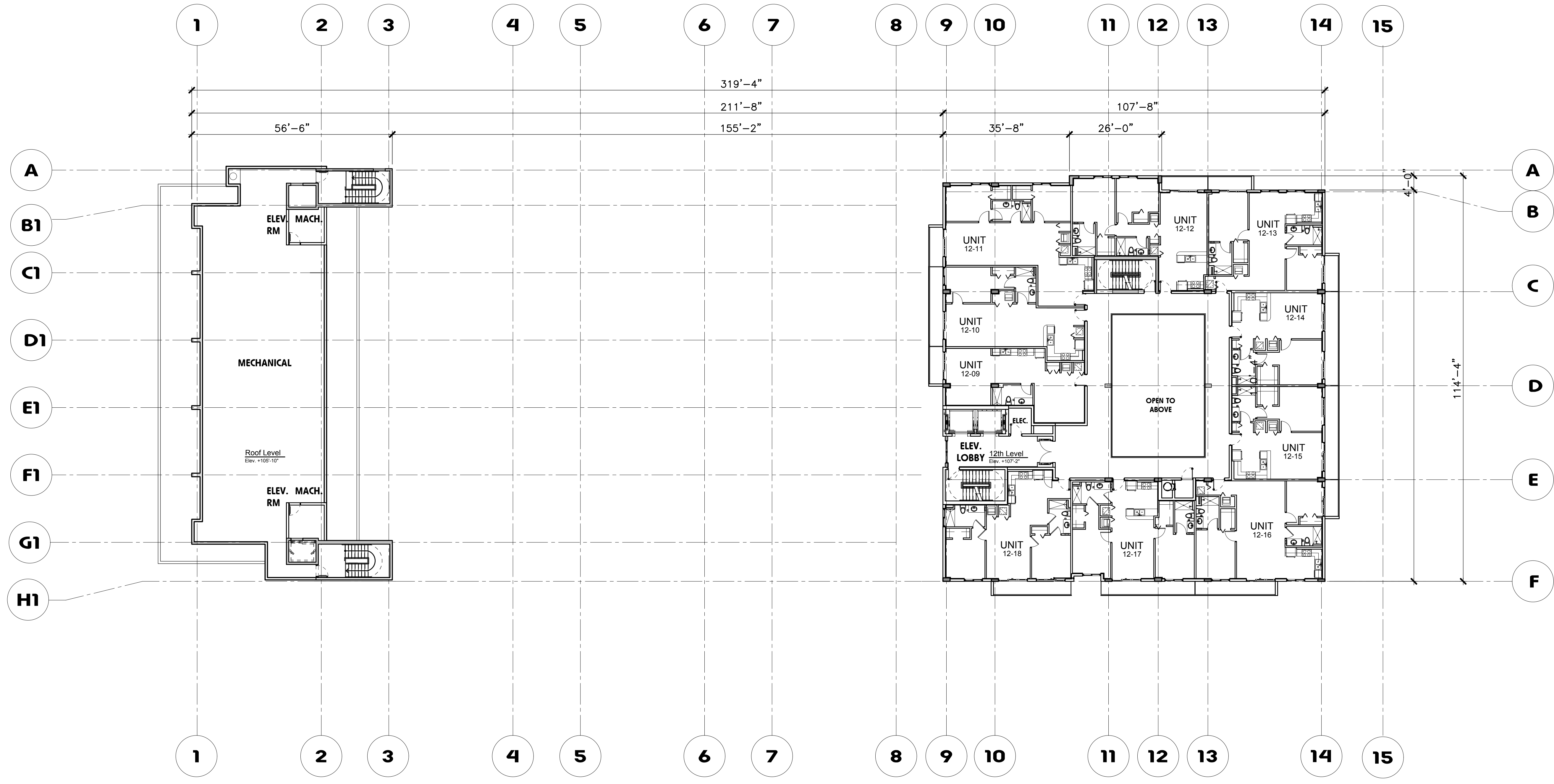

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**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**LEVEL 11**

project number :	#15197
drawing scale :	As Shown
drawing date :	06/18/2018
phase :	Final TAC
sheet number :	<b>A2.10</b>

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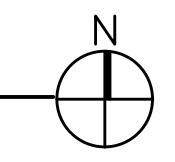
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**Level 12 Floor Plan**

SCALE: 1/16"=1'-0"

7 DU.



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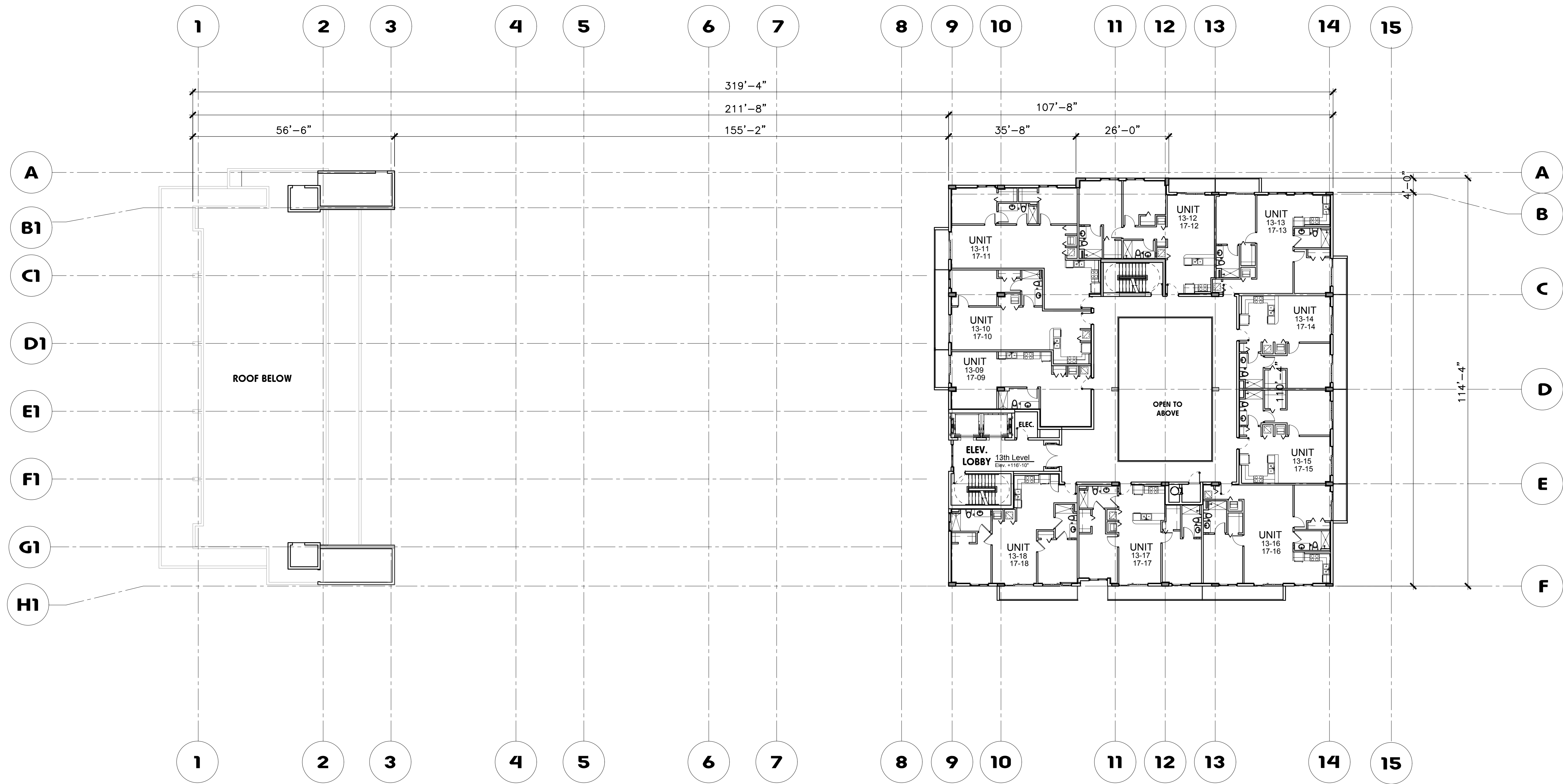
revisions :


drawing data :  
**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**LEVEL 12**

project number :	#15197
drawing scale :	As Shown
drawing date :	01/30/2018
phase :	Final TAC
sheet number :	<b>A2.11</b>



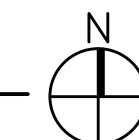
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**Level 13-17 Floor Plan**

SCALE: 1/16" = 1'-0"

7 DU.



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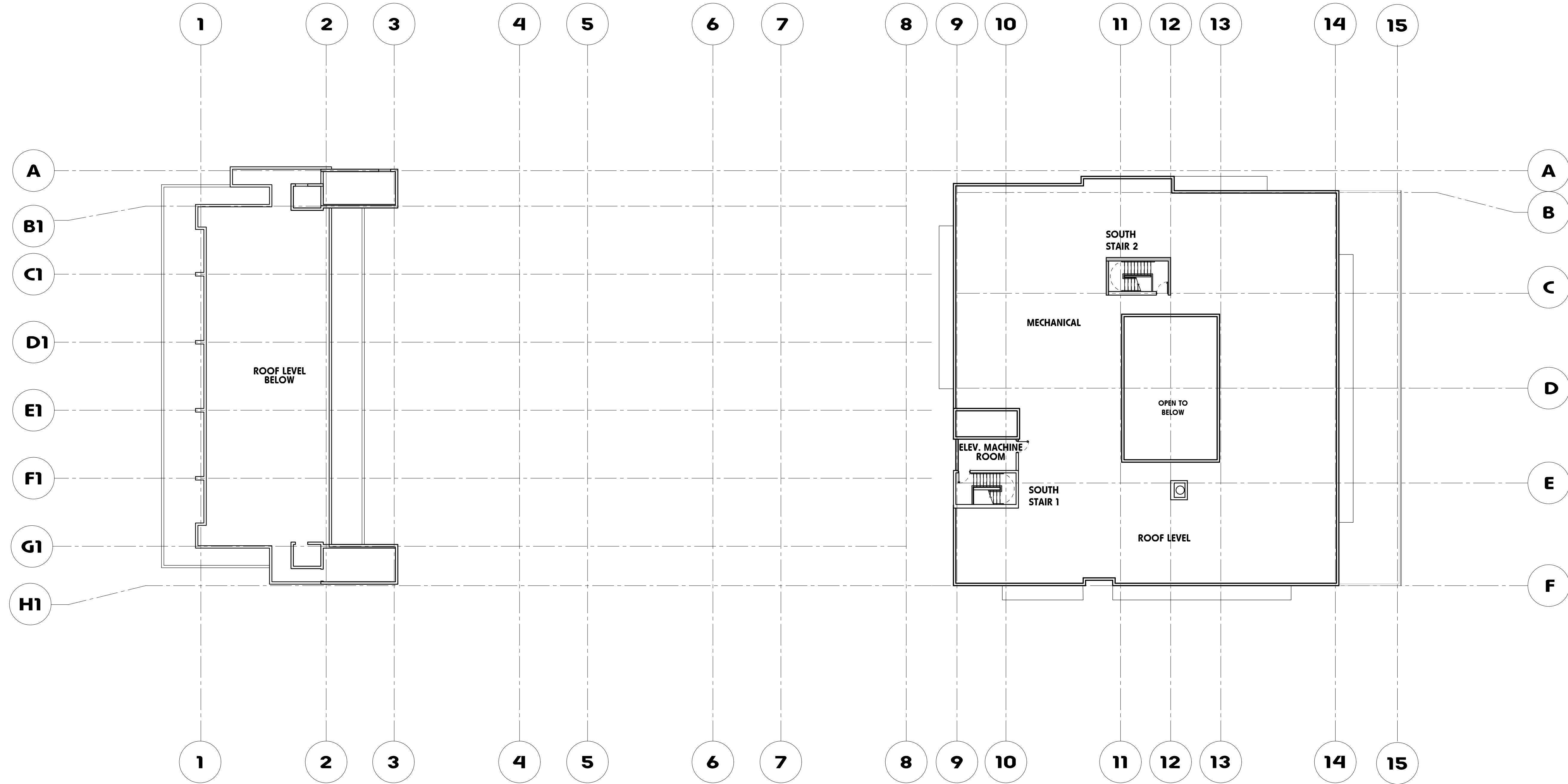
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drawing data :  
**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**LEVELS 13-17**

project number :	#15197
drawing scale :	As Shown
drawing date :	01/30/2018
phase :	Final TAC
sheet number :	A2.12



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**Roof Level Floor Plan**  
SCALE: 1/16" = 1'-0"

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revisions :


drawing data :  
**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**ROOF LEVEL**

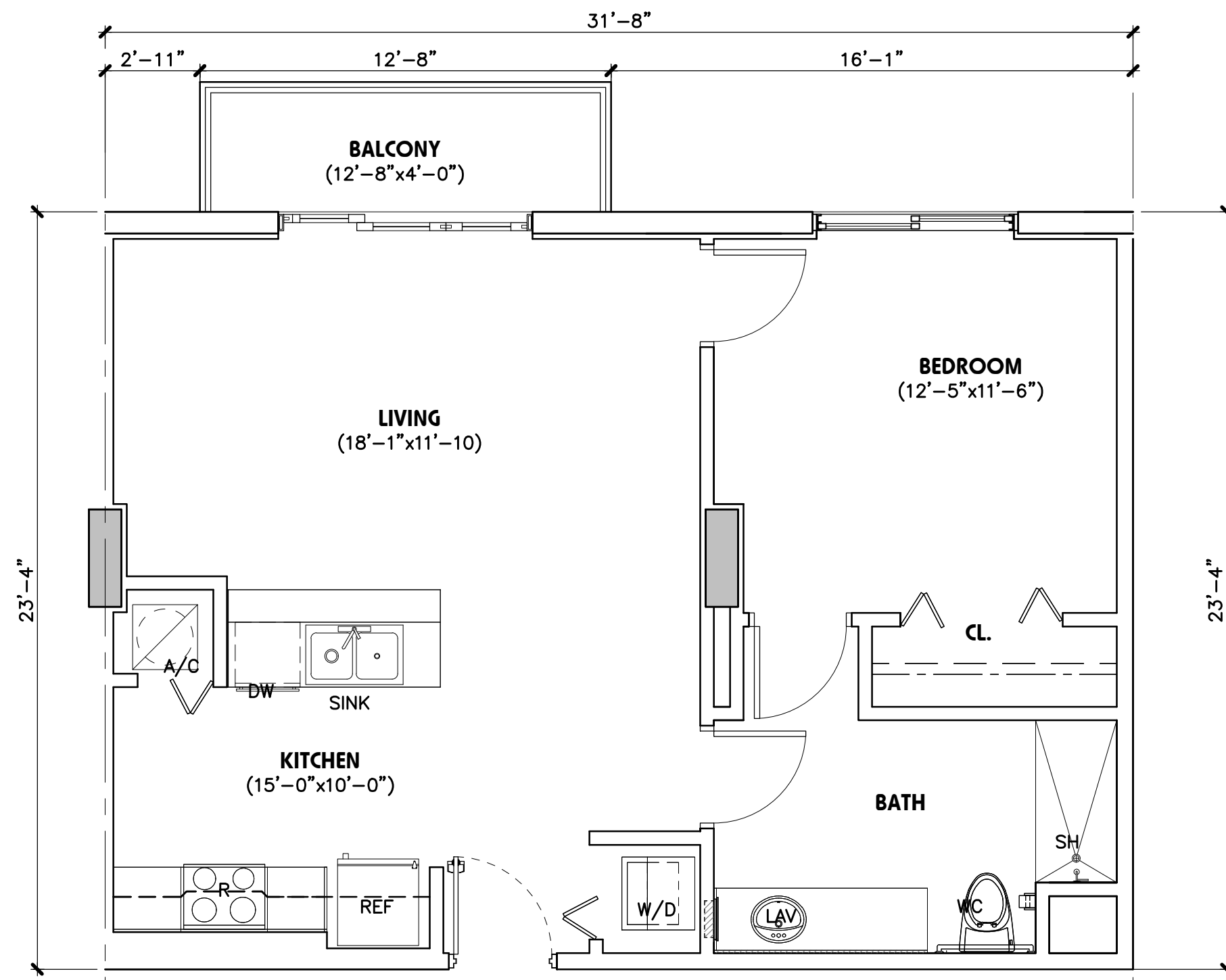
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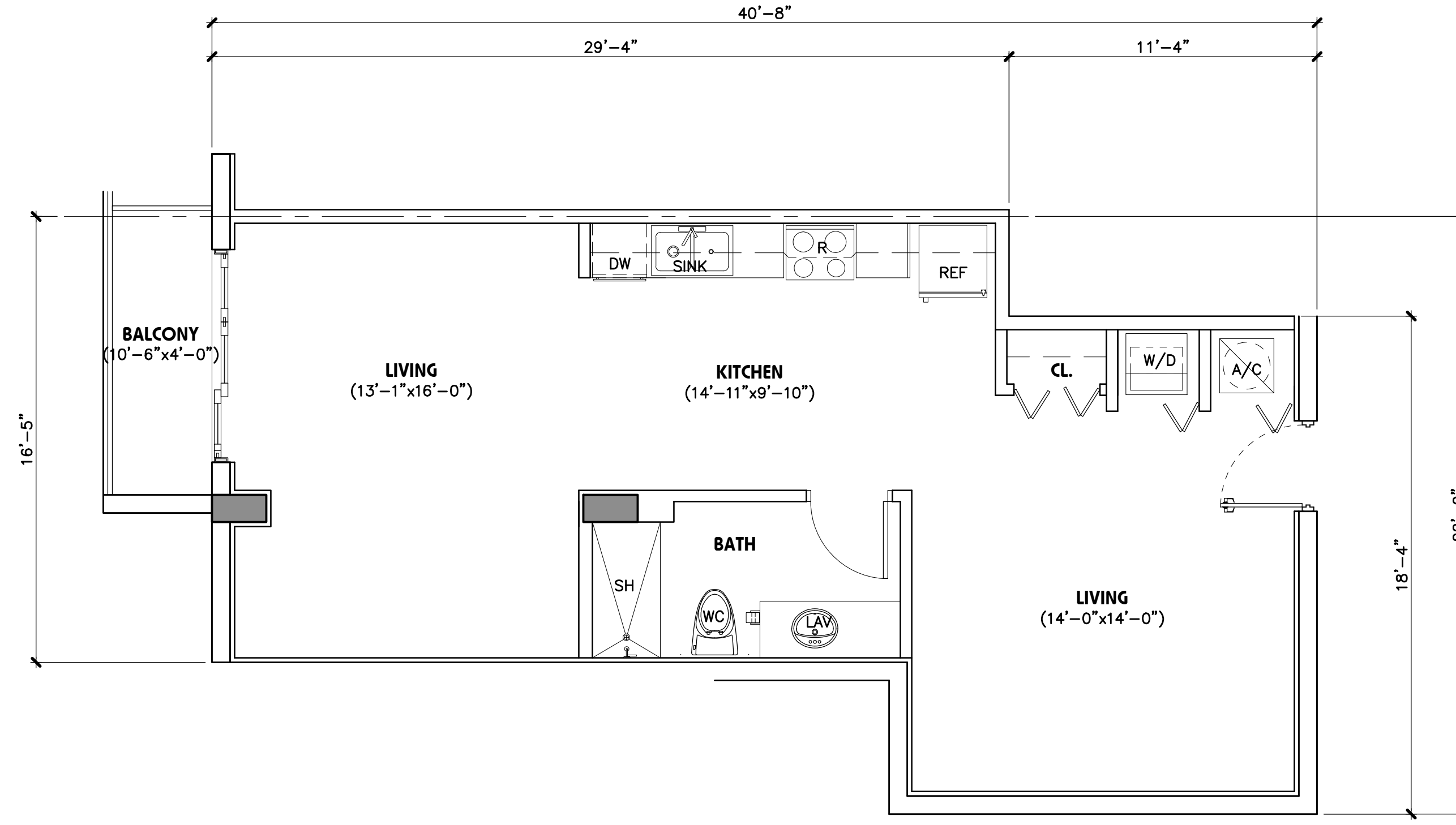




**Unit-08**

SCALE: 1/4"=1'-0"

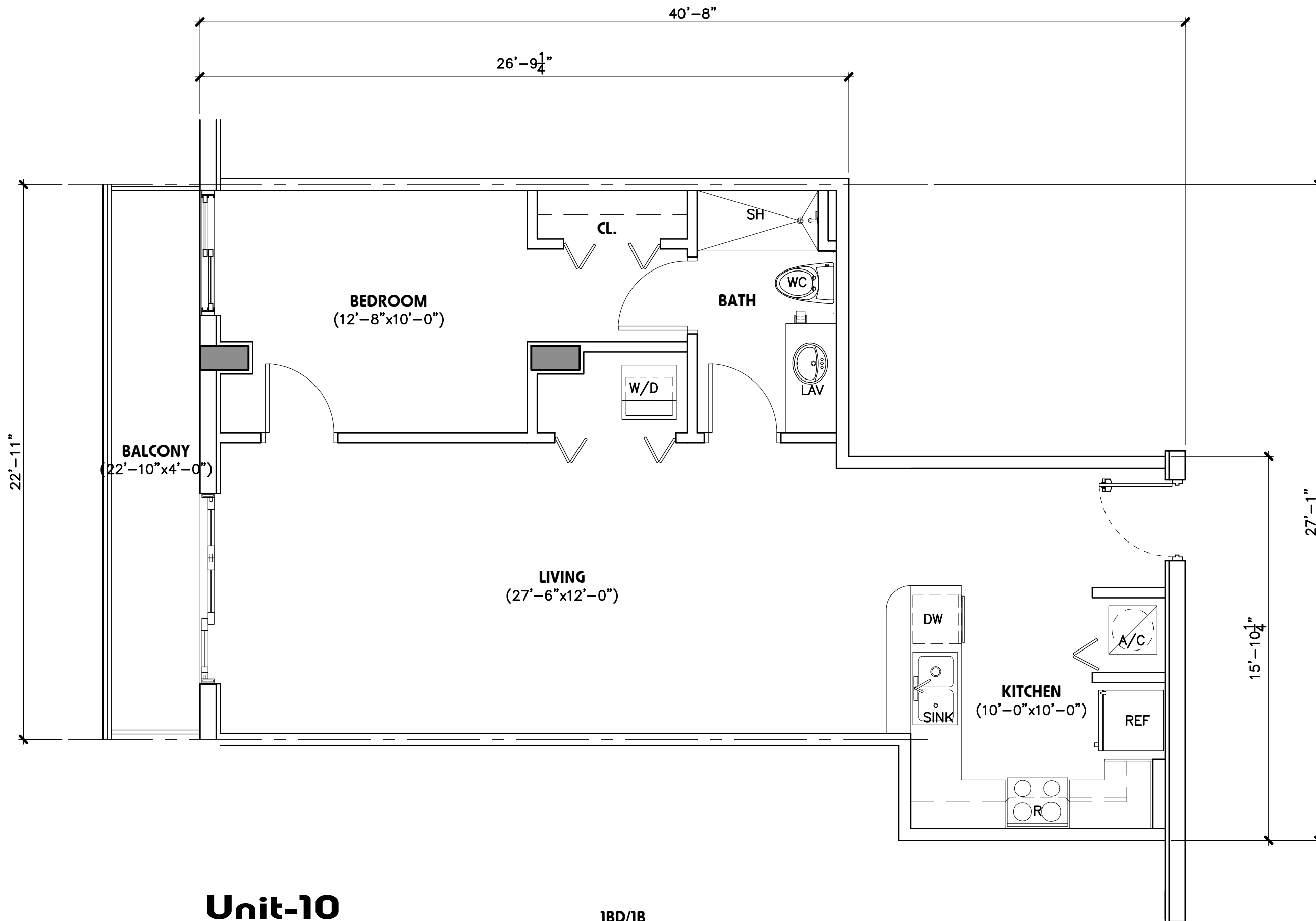
18D/18  
739 SF



**Unit-09**

SCALE: 1/4"=1'-0"

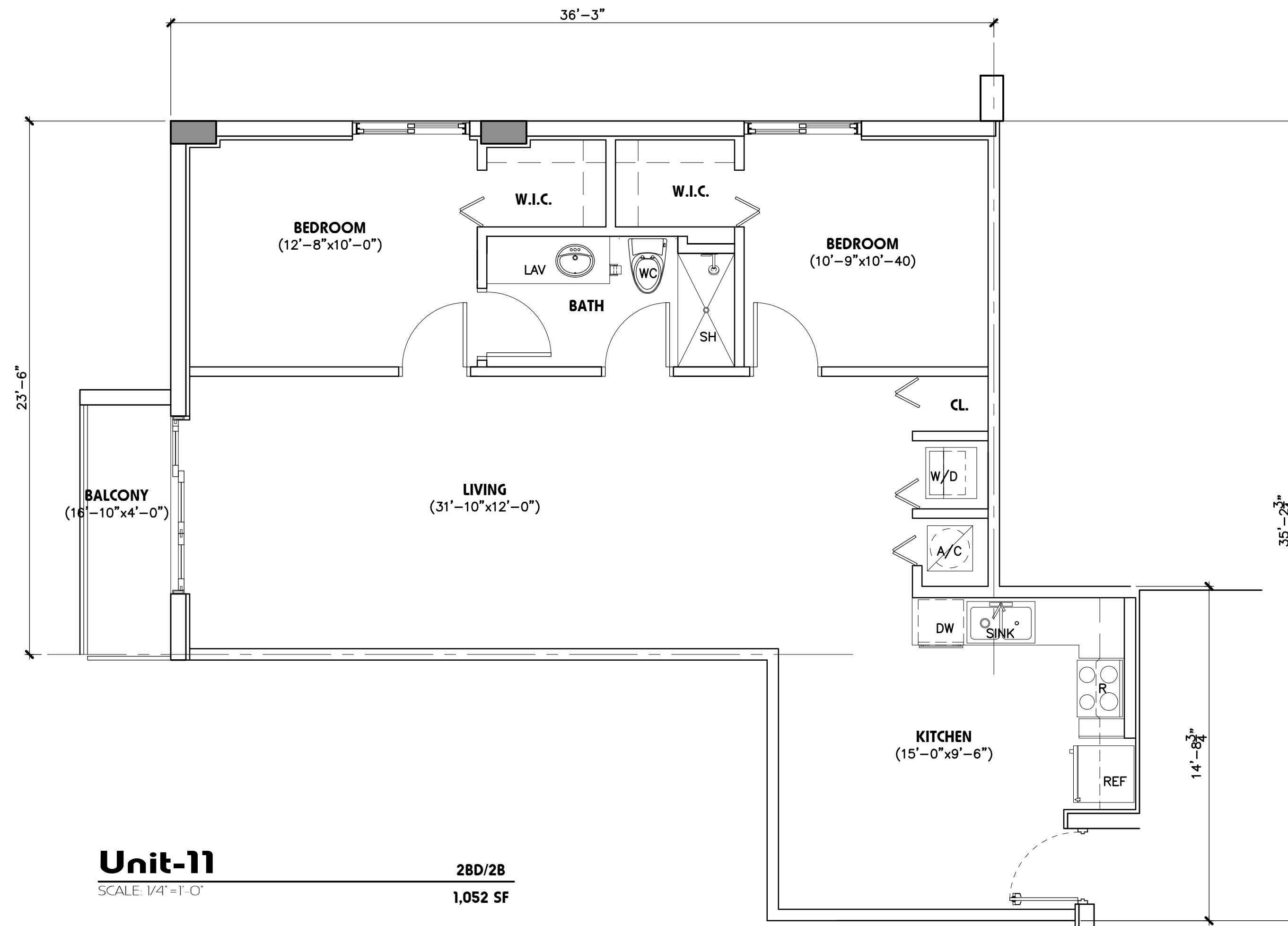
STUDIO  
712 SF



**Unit-10**

SCALE: 1/4"=1'-0"

18D/18  
815 SF



**Unit-11**

SCALE: 1/4"=1'-0"

28D/28  
1,052 SF

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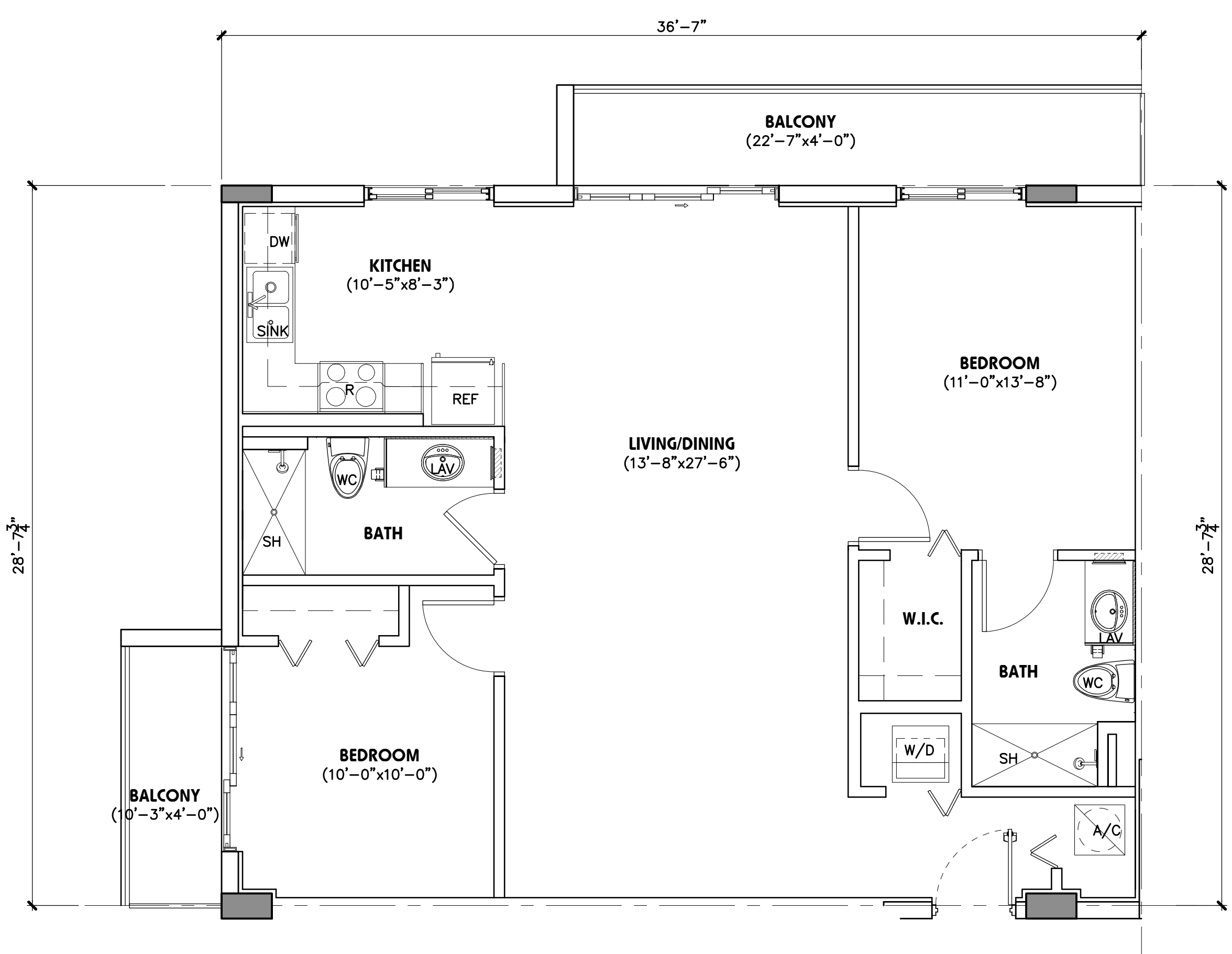
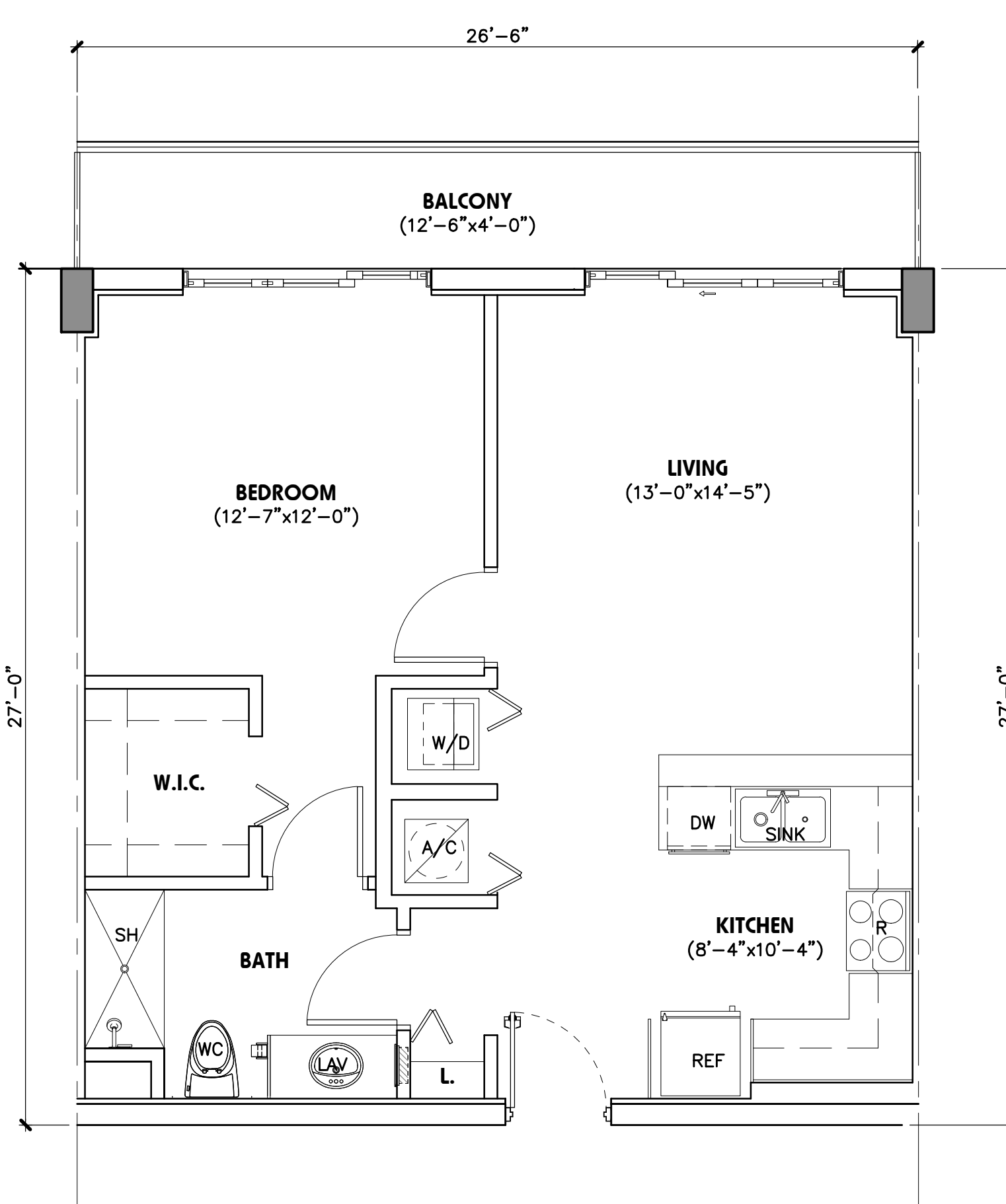
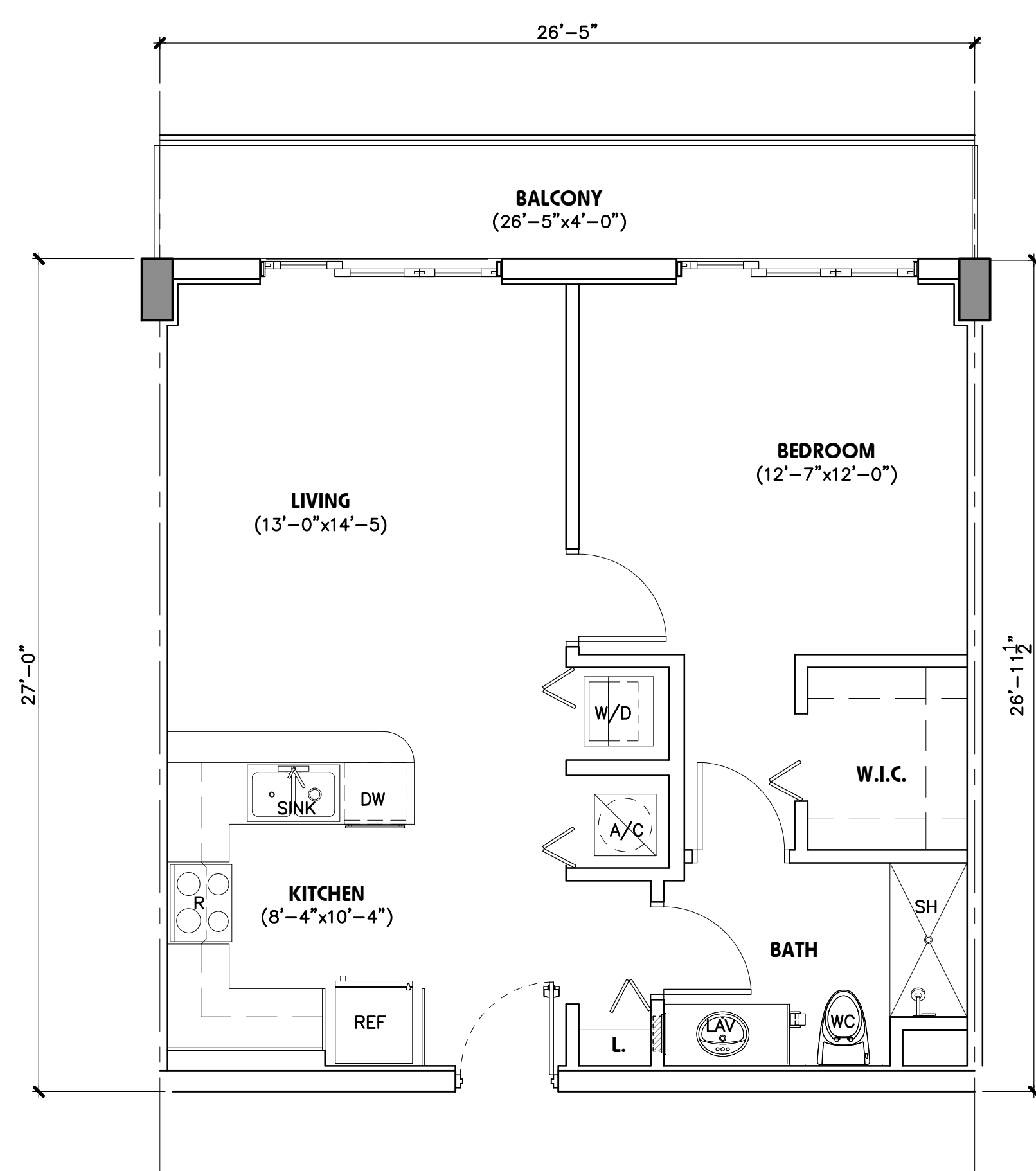
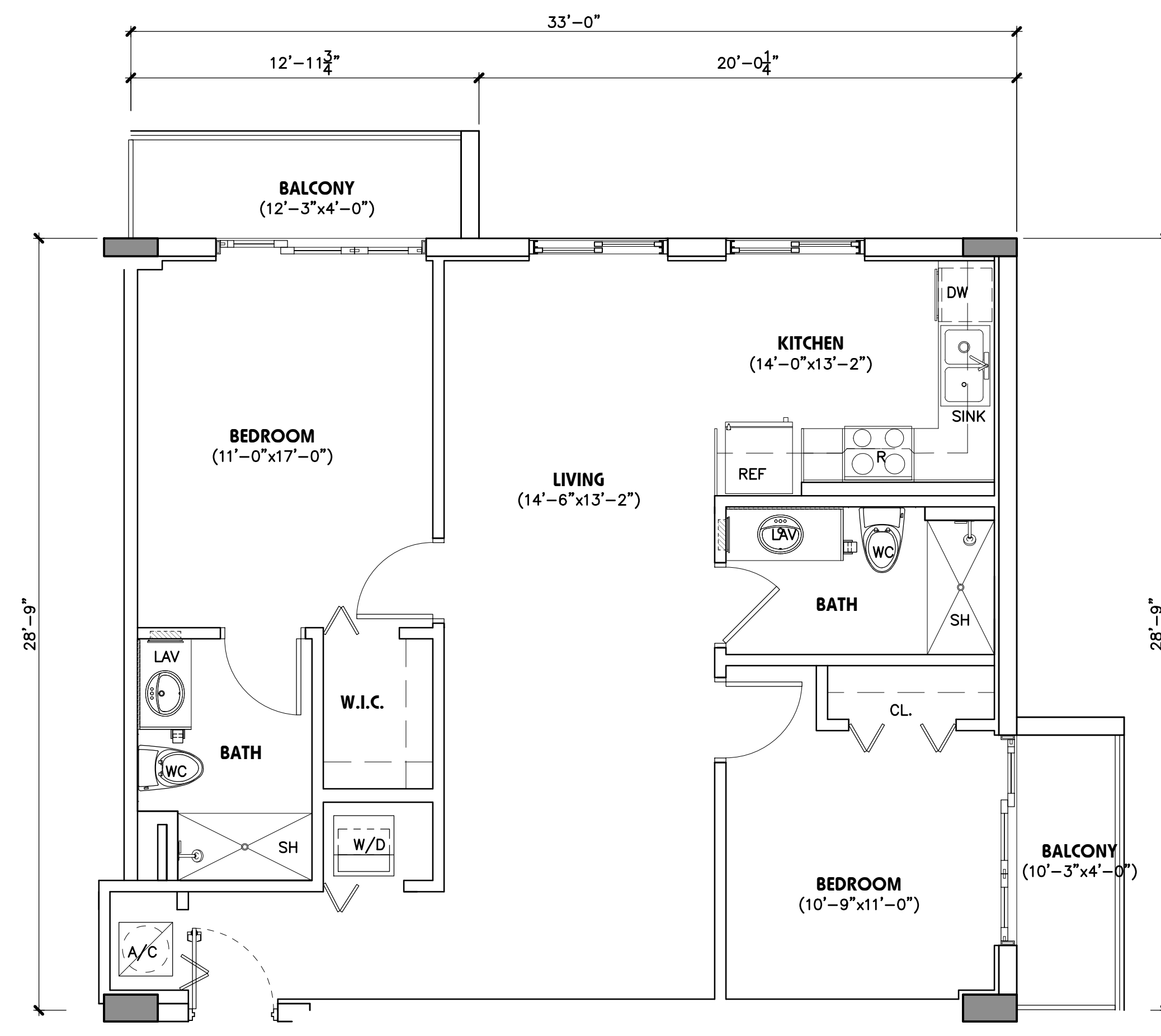
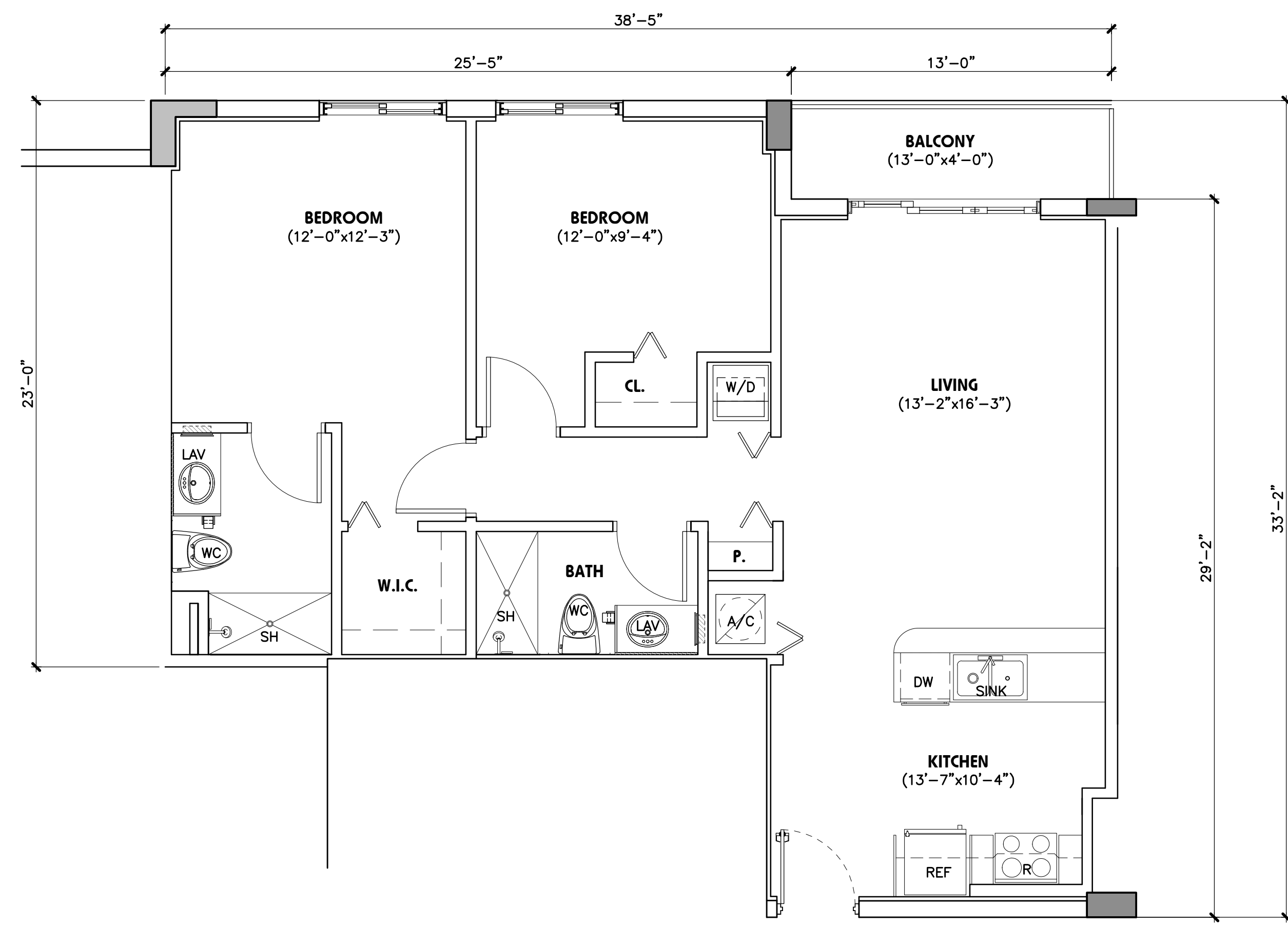
seal :  
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDF  
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :


drawing data :  
**PHASE 2**  
**SOUTH & WEST**  
**TOWER**  
**UNIT PLANS**

project number :	#15197
drawing scale :	As Shown
drawing date :	06/18/2018
phase :	Final TAC
sheet number :	<b>A2.15</b>





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FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :


drawing data :

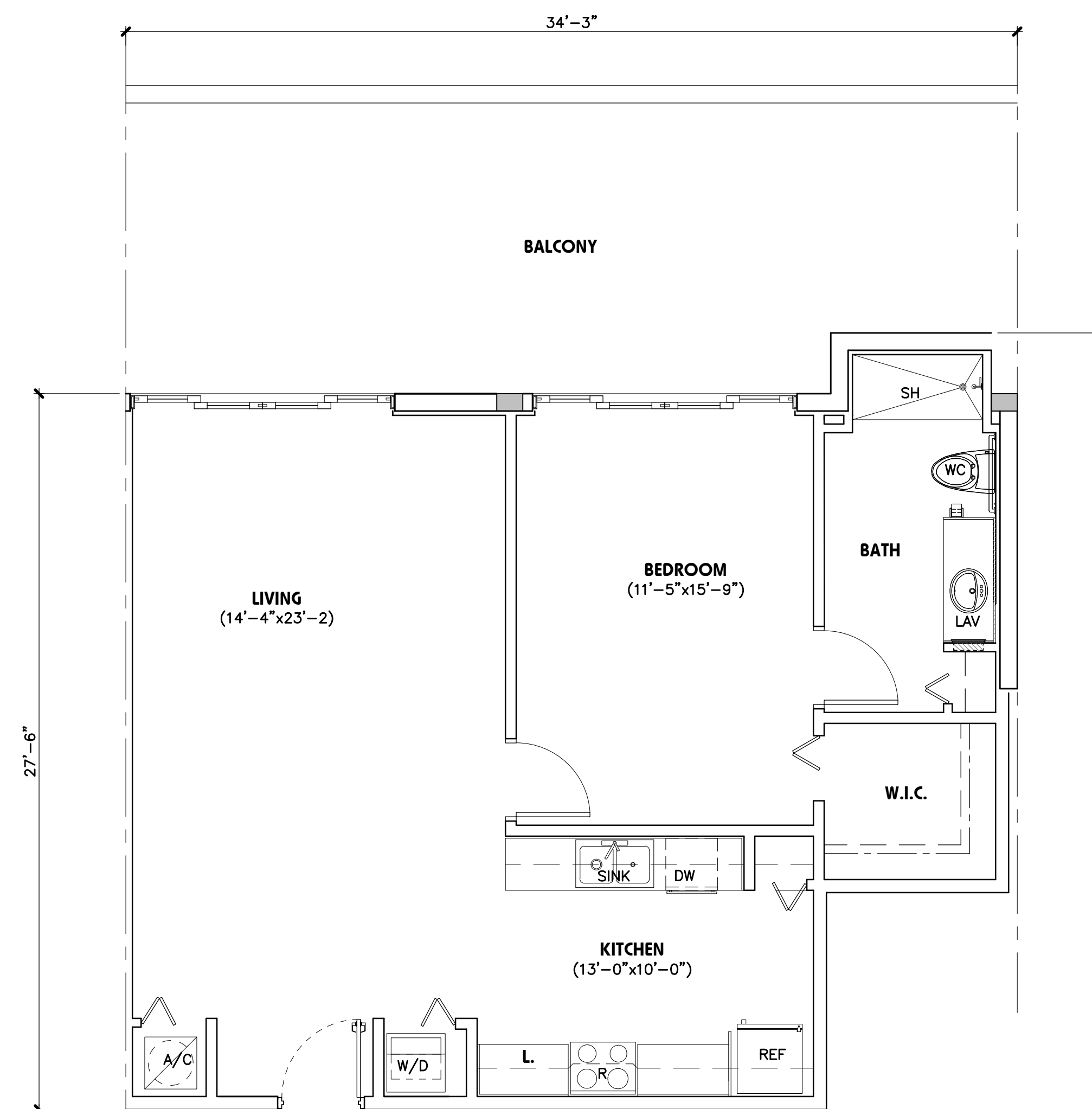
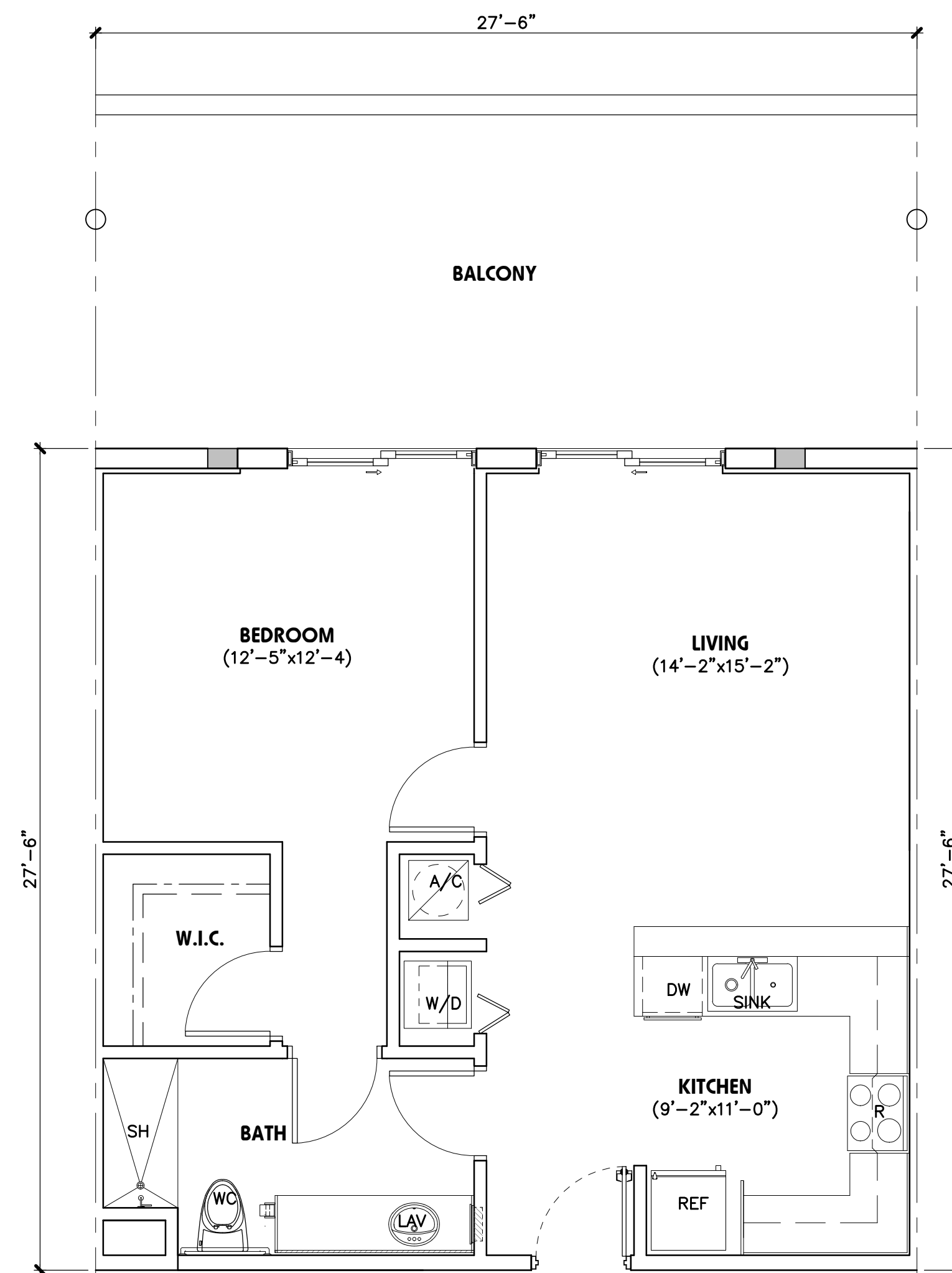
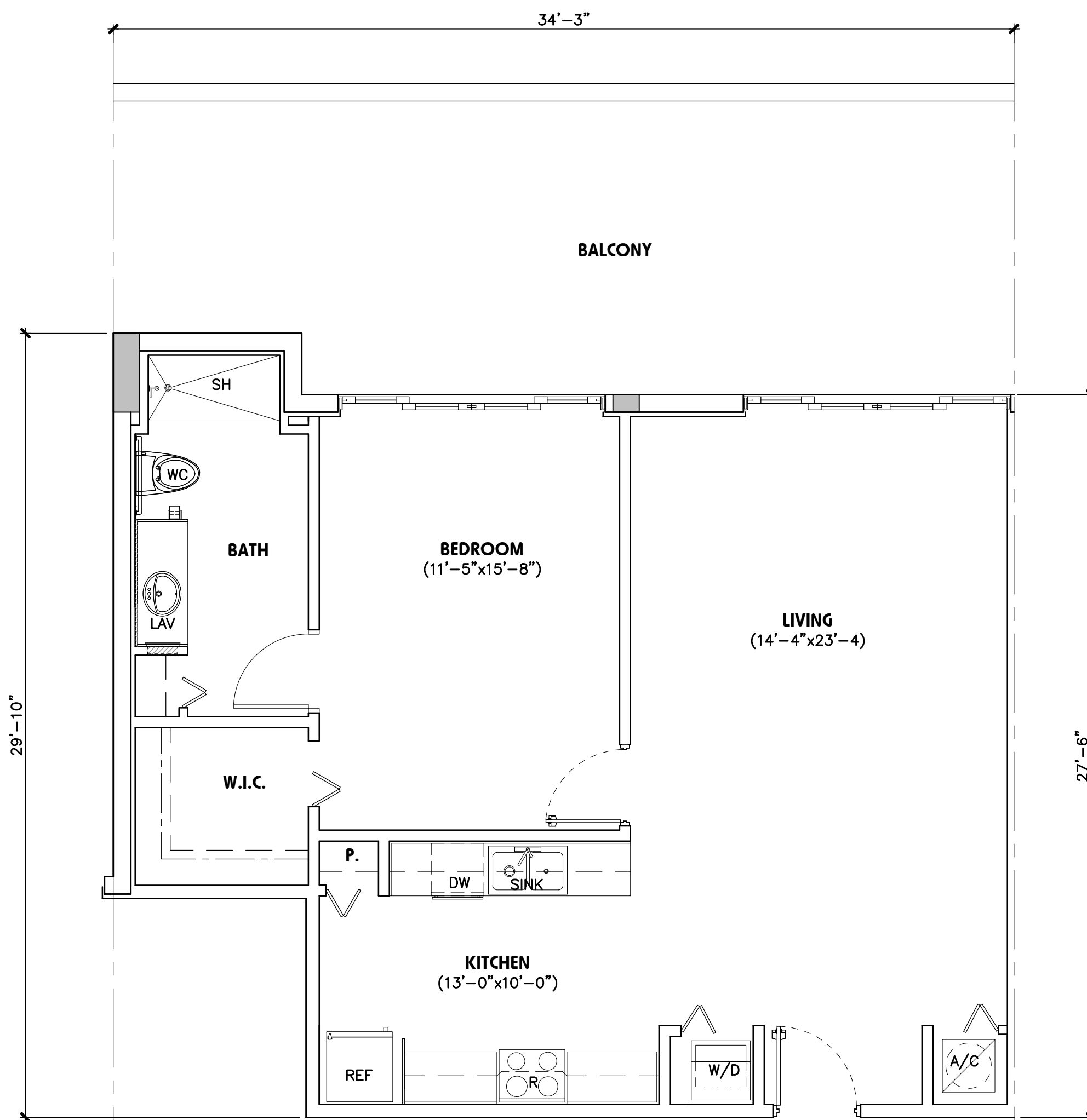
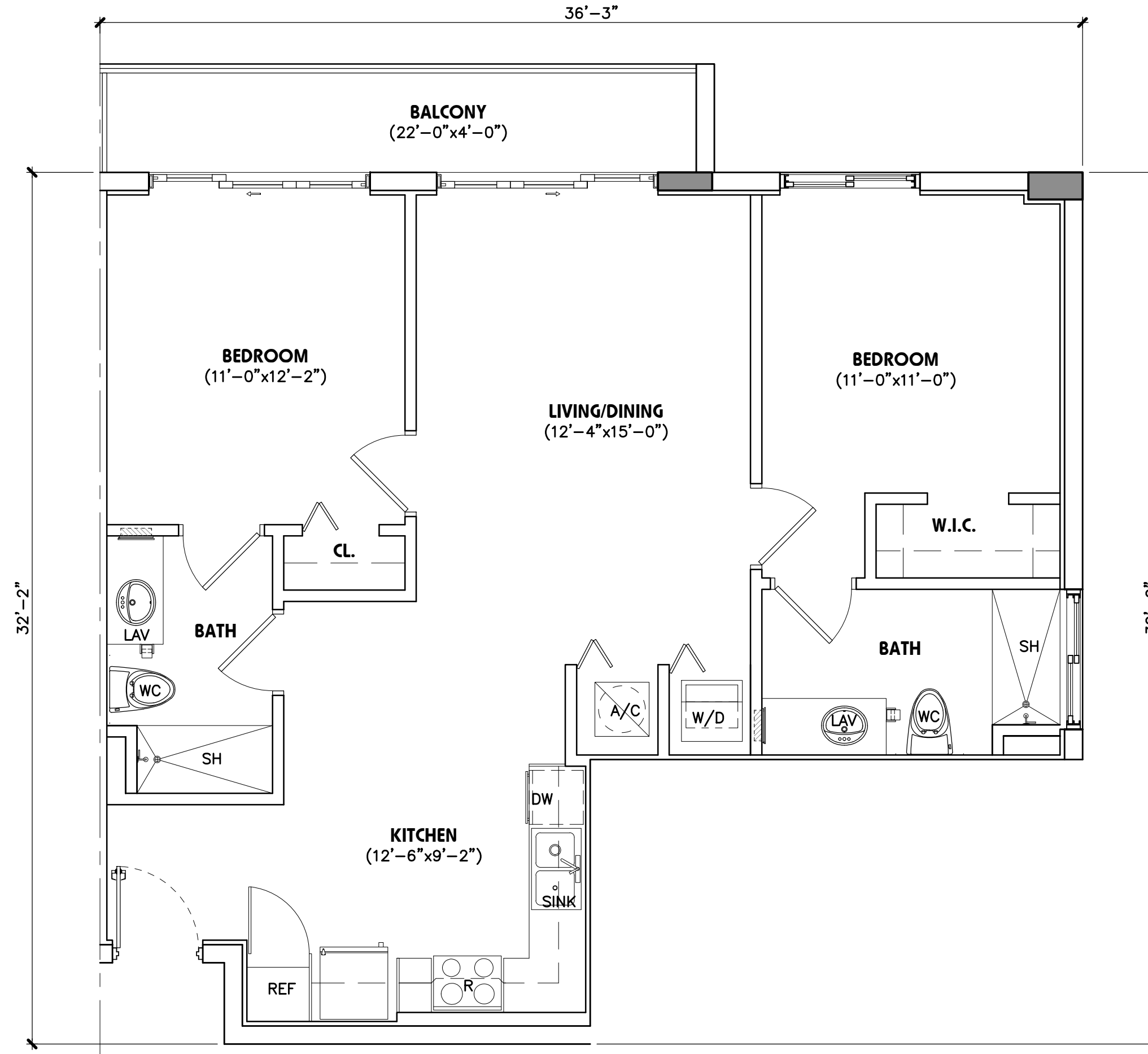
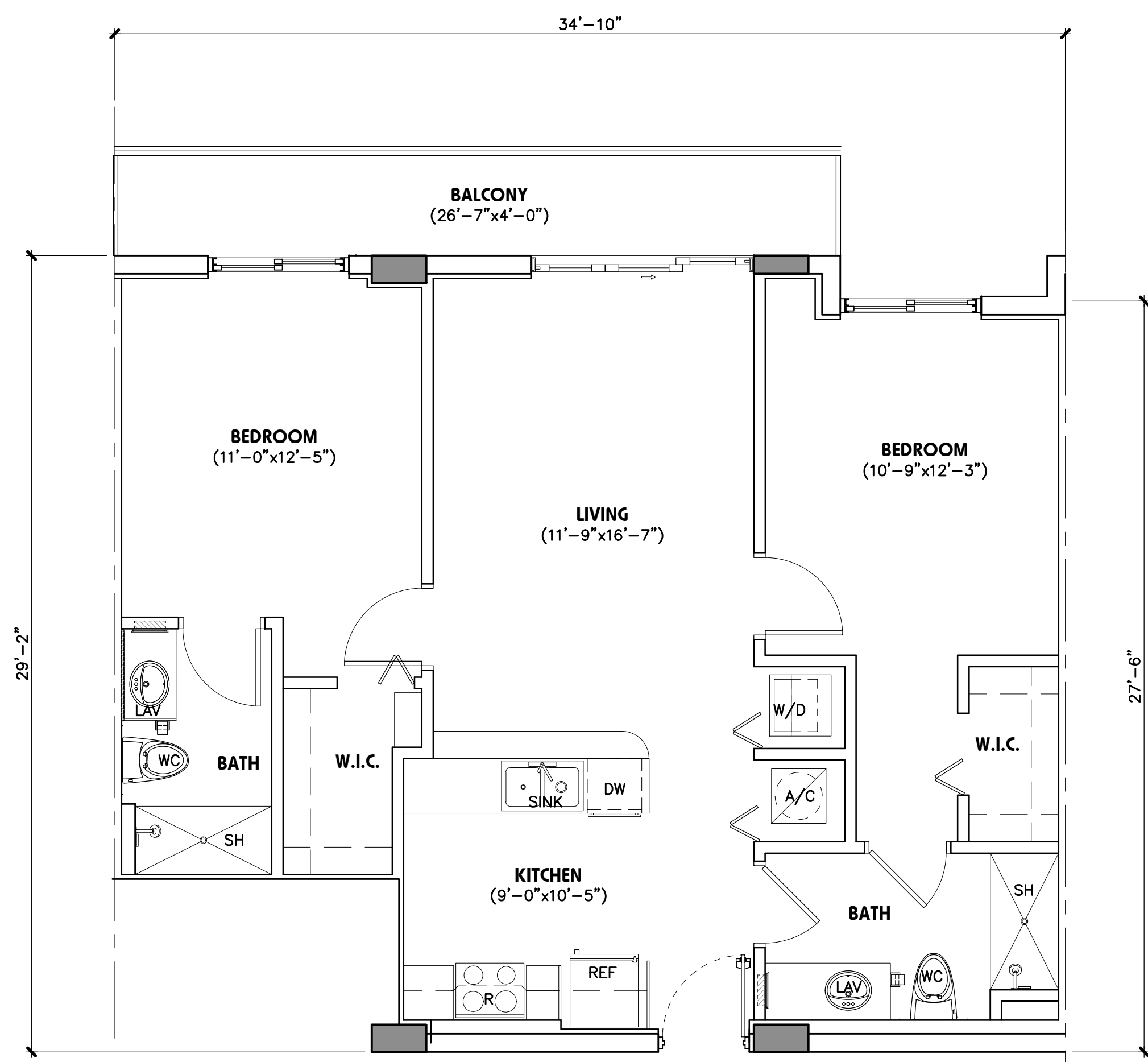
**PHASE 2  
SOUTH & WEST  
TOWER  
UNIT PLANS**

project number : #15197  
drawing scale : As Shown  
drawing date : 06/18/2018  
phase : Final TAC  
sheet number : **A2.16**

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revisions:


drawing data:

**PHASE 2  
SOUTH & WEST  
TOWER  
UNIT PLANS**

project number: #15197  
drawing scale: As Shown  
drawing date: 06/18/2018  
phase: Final TAC  
sheet number: **A2.17**

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**WEST TOWER HEIGHTS**

- ELEV. = +128'-5"  
T.O. PARAPET
- ELEV. = +117'-6"  
T.O. SLAB - ROOF LEVEL
- ELEV. = +106'-0"  
T.O. SLAB - 11TH LEVEL
- ELEV. = +94'-6"  
T.O. SLAB - 10TH LEVEL
- ELEV. = +83'-0"  
T.O. SLAB - 9TH LEVEL
- ELEV. = +71'-6"  
T.O. SLAB - 8TH LEVEL
- ELEV. = +59'-11"  
T.O. SLAB - 7TH LEVEL
- ELEV. = +48'-7"  
T.O. SLAB - 6TH LEVEL
- ELEV. = +39'-9"  
T.O. SLAB - 5TH LEVEL
- ELEV. = +30'-11"  
T.O. SLAB - 4TH LEVEL
- ELEV. = +22'-1"  
T.O. SLAB - 3RD LEVEL
- ELEV. = +13'-3"  
T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-6"  
T.O. SLAB - GROUND LEVEL

**SOUTH TOWER HEIGHTS**

- ELEV. = +179'-2"  
T.O. PARAPET
- ELEV. = +168'-2"  
T.O. SLAB - ROOF LEVEL
- ELEV. = +158'-6"  
T.O. SLAB - 17TH LEVEL
- ELEV. = +148'-10"  
T.O. SLAB - 16TH LEVEL
- ELEV. = +139'-2"  
T.O. SLAB - 15TH LEVEL
- ELEV. = +129'-6"  
T.O. SLAB - 14TH LEVEL
- ELEV. = +119'-10"  
T.O. SLAB - 13TH LEVEL
- ELEV. = +110'-2"  
T.O. SLAB - 12TH LEVEL
- ELEV. = +100'-6"  
T.O. SLAB - 11TH LEVEL
- ELEV. = +90'-10"  
T.O. SLAB - 10TH LEVEL
- ELEV. = +81'-2"  
T.O. SLAB - 9TH LEVEL
- ELEV. = +71'-6"  
T.O. SLAB - 8TH LEVEL
- ELEV. = +58'-10"  
T.O. SLAB - 7TH LEVEL
- ELEV. = +50'-0"  
T.O. SLAB - 6TH LEVEL
- ELEV. = +41'-2"  
T.O. SLAB - 5TH LEVEL
- ELEV. = +32'-4"  
T.O. SLAB - 4TH LEVEL
- ELEV. = +23'-6"  
T.O. SLAB - 3RD LEVEL
- ELEV. = +14'-8"  
T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"  
T.O. SLAB - GROUND LEVEL

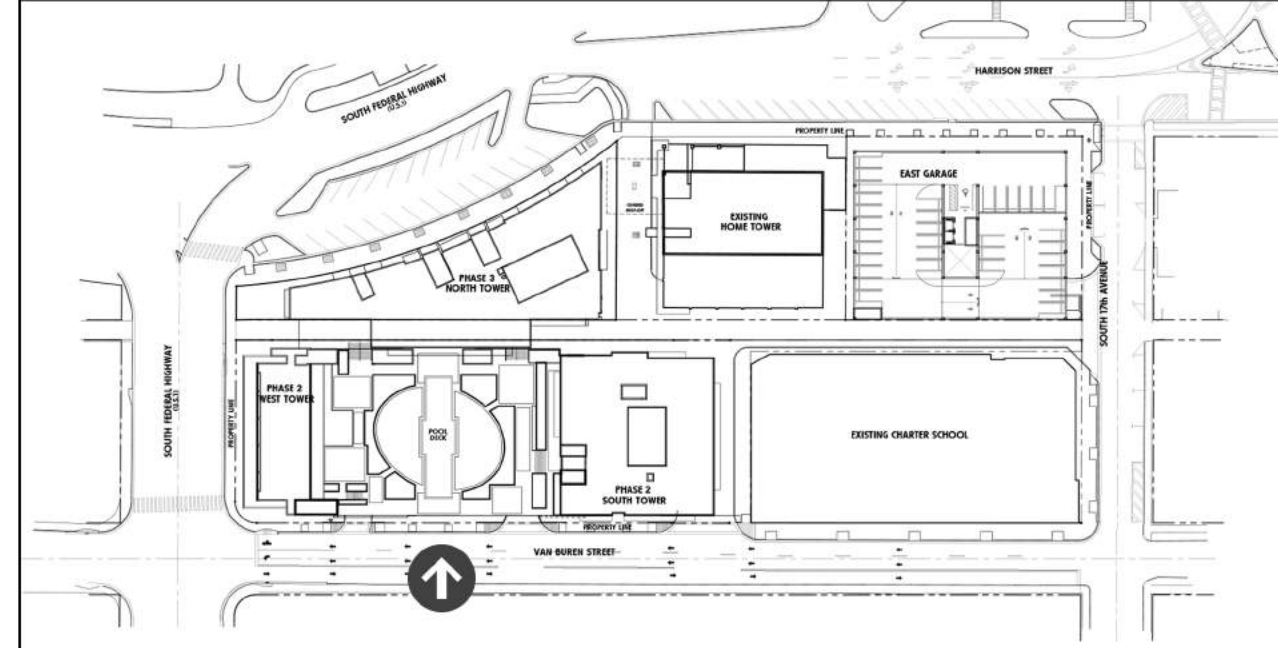


**PHASE 2: SOUTH ELEVATION**

**ELEVATION KEYNOTES:**

- 1 Pure White SW 7005  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 2 March Wind SW 7668  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 3 Perle Noir SW 9154  
SHERWIN-WILLIAMS  
Smooth Float Finish Stucco
- 4 Slab Travertine Wall Panels  
3/25" Thick
- 5 Vutek Speaker Mesh  
Breathable Art Banner Material  
In alum. frame with esp finish
- 6 METAL RAILING
- 7 MEDIUM GREY STOREFRONT GLASS WITH ALUM. MULLIONS WITH WHITE ESP FINISH
- 8 MEDIUM GREY TINTED SLIDING GLASS DOOR IN ALUM. FRAME WITH WHITE ESP FINISH
- 9 STUCCO SCORE LINE
- 10 ALUMINUM LOUVER WITH ESP FINISH
- 11 GLASS METAL RAILING
- 12 MEDIUM GREY TINTED GLASS IN ALUM. FRAME WITH ESP FINISH
- 13 DECORATIVE LIGHT FIXTURE
- 14 CONCRETE EYEBROW

**NOTE:**  
ALL PROJECT SIGNAGE/ ART DISPLAYS WILL BE UNDER SEPARATE PERMIT AND WILL MEET ZONING AND LAND DEVELOPMENT REGULATIONS.



**LOCATION MAP**  
N.T.S

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**seal:**  
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 FLORIDA REGISTERED ARCHITECT # AR 93239

**revisions:**

NO.	DESCRIPTION

**drawing data:**  
**PHASE 2**  
**SOUTH-WEST**  
**TOWER**  
**SOUTH**  
**ELEVATION**  
 project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A2.18**

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**SOUTH TOWER HEIGHTS**

ELEV. = +179'-2"	T.O. PARAPET
ELEV. = +168'-2"	T.O. SLAB - ROOF LEVEL
ELEV. = +158'-6"	T.O. SLAB - 17TH LEVEL
ELEV. = +148'-10"	T.O. SLAB - 16TH LEVEL
ELEV. = +139'-2"	T.O. SLAB - 15TH LEVEL
ELEV. = +129'-6"	T.O. SLAB - 14TH LEVEL
ELEV. = +119'-10"	T.O. SLAB - 13TH LEVEL
ELEV. = +110'-2"	T.O. SLAB - 12TH LEVEL
ELEV. = +100'-6"	T.O. SLAB - 11TH LEVEL
ELEV. = +90'-10"	T.O. SLAB - 10TH LEVEL
ELEV. = +81'-2"	T.O. SLAB - 9TH LEVEL
ELEV. = +71'-6"	T.O. SLAB - 8TH LEVEL
ELEV. = +58'-10"	T.O. SLAB - 7TH LEVEL
ELEV. = +50'-0"	T.O. SLAB - 6TH LEVEL
ELEV. = +41'-2"	T.O. SLAB - 5TH LEVEL
ELEV. = +32'-4"	T.O. SLAB - 4TH LEVEL
ELEV. = +23'-6"	T.O. SLAB - 3RD LEVEL
ELEV. = +14'-8"	T.O. SLAB - 2ND LEVEL
ELEV. = +0'-0"	T.O. SLAB - GROUND LEVEL

**WEST TOWER HEIGHTS**

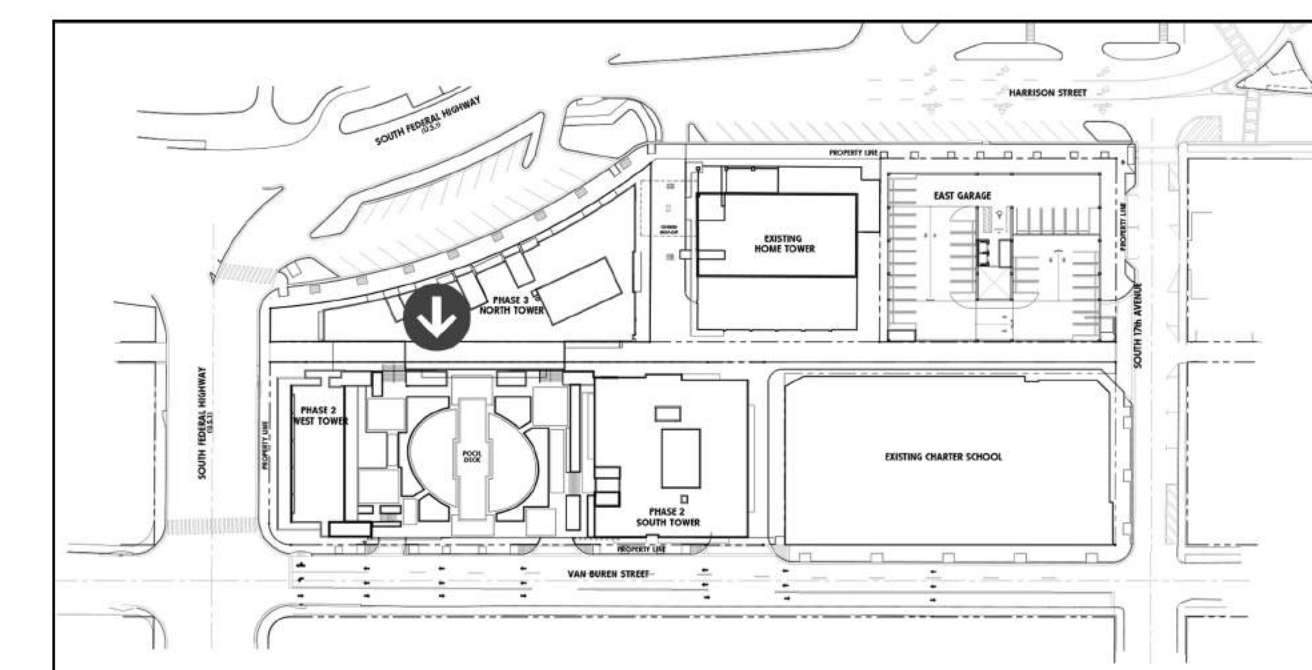
ELEV. = +128'-5"	T.O. PARAPET
ELEV. = +117'-6"	T.O. SLAB - ROOF LEVEL
ELEV. = +106'-0"	T.O. SLAB - 11TH LEVEL
ELEV. = +94'-6"	T.O. SLAB - 10TH LEVEL
ELEV. = +83'-0"	T.O. SLAB - 9TH LEVEL
ELEV. = +71'-6"	T.O. SLAB - 8TH LEVEL
ELEV. = +59'-11"	T.O. SLAB - 7TH LEVEL
ELEV. = +48'-7"	T.O. SLAB - 6TH LEVEL
ELEV. = +39'-9"	T.O. SLAB - 5TH LEVEL
ELEV. = +30'-11"	T.O. SLAB - 4TH LEVEL
ELEV. = +22'-1"	T.O. SLAB - 3RD LEVEL
ELEV. = +13'-3"	T.O. SLAB - 2ND LEVEL
ELEV. = +0'-6"	T.O. SLAB - GROUND LEVEL



**ELEVATION KEYNOTES:**

 1 Pure White SW 7005 SHERWIN-WILLIAMS Smooth Float Finish Stucco	 2 March Wind SW 7668 SHERWIN-WILLIAMS Smooth Float Finish Stucco	 3 Perle Noir SW 9154 SHERWIN-WILLIAMS Smooth Float Finish Stucco	 4 Slab Travertine Wall Panels 3/25" Thick	 5 Vutek Speaker Mesh Breathable Art Banner Material 4" x alum. frame with esp finish	 6 METAL RAILING	 7 MEDIUM GREY STOREFRONT GLASS WITH ALUM. MULLIONS WITH WHITE ESP FINISH	 8 STUCCO SCORE LINE	 9 ALUMINUM LOUVER WITH ESP FINISH	 10 GLASS METAL RAILING	 11 MEDIUM GREY TINTED GLASS IN ALUM. FRAME WITH ESP FINISH	 12 DECORATIVE LIGHT FIXTURE
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**NOTE:**  
ALL PROJECT SIGNAGE/ ART DISPLAYS WILL BE UNDER SEPARATE PERMIT AND WILL MEET ZONING AND LAND DEVELOPMENT REGULATIONS.



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**seal:**

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP  
FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions:**


**drawing data:**

**PHASE 2  
SOUTH-WEST  
TOWER  
NORTH  
ELEVATION**

project number : #15197

drawing scale : As Shown

drawing date : 06/18/2018

phase : Final TAC

sheet number : **A2.19**

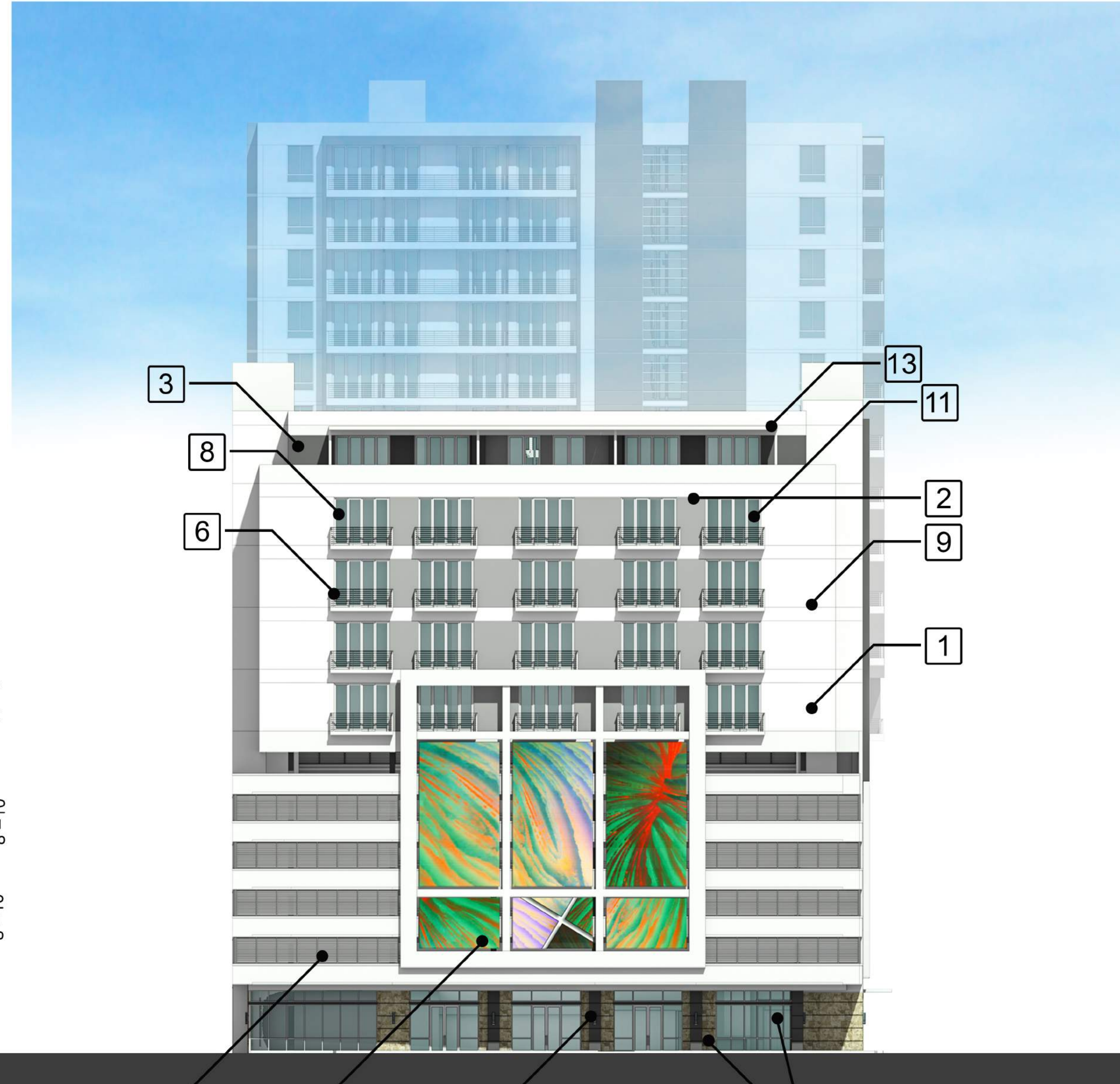
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**WEST TOWER HEIGHTS**

ELEV. = +128'-5"	T.O. PARAPET	11'-6"	
ELEV. = +117'-6"	T.O. SLAB - ROOF LEVEL		
ELEV. = +106'-0"	T.O. SLAB - 11TH LEVEL		
ELEV. = +94'-6"	T.O. SLAB - 10TH LEVEL		
ELEV. = +83'-0"	T.O. SLAB - 9TH LEVEL		
ELEV. = +71'-6"	T.O. SLAB - 8TH LEVEL		
ELEV. = +59'-11"	T.O. SLAB - 7TH LEVEL		8'-10"
ELEV. = +48'-7"	T.O. SLAB - 6TH LEVEL		
ELEV. = +39'-9"	T.O. SLAB - 5TH LEVEL		
ELEV. = +30'-11"	T.O. SLAB - 4TH LEVEL		
ELEV. = +22'-1"	T.O. SLAB - 3RD LEVEL		
ELEV. = +13'-3"	T.O. SLAB - 2ND LEVEL	8'-10"	
ELEV. = +0'-6"	T.O. SLAB - GROUND LEVEL		

**SOUTH TOWER HEIGHTS**

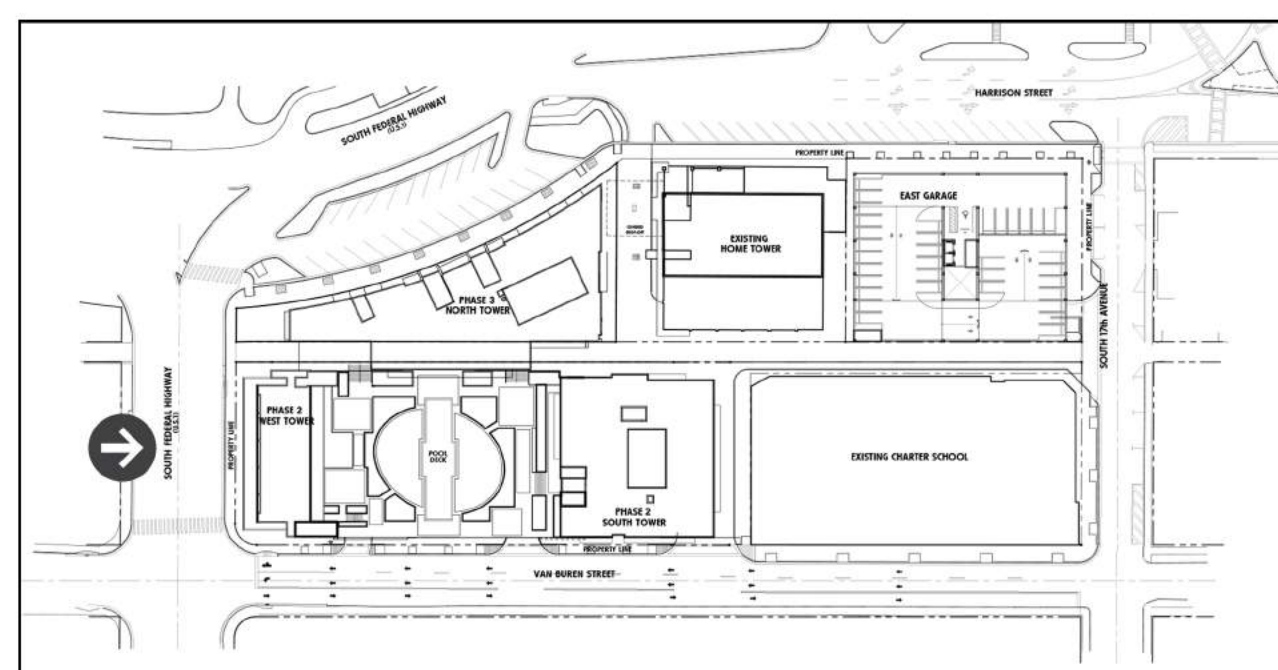
ELEV. = +179'-2"	T.O. PARAPET	12'-8"
ELEV. = +168'-2"	T.O. SLAB - ROOF LEVEL	
ELEV. = +158'-6"	T.O. SLAB - 17TH LEVEL	
ELEV. = +148'-10"	T.O. SLAB - 16TH LEVEL	
ELEV. = +139'-2"	T.O. SLAB - 15TH LEVEL	
ELEV. = +129'-6"	T.O. SLAB - 14TH LEVEL	
ELEV. = +119'-10"	T.O. SLAB - 13TH LEVEL	
ELEV. = +110'-2"	T.O. SLAB - 12TH LEVEL	
ELEV. = +100'-6"	T.O. SLAB - 11TH LEVEL	
ELEV. = +90'-10"	T.O. SLAB - 10TH LEVEL	
ELEV. = +81'-2"	T.O. SLAB - 9TH LEVEL	
ELEV. = +71'-6"	T.O. SLAB - 8TH LEVEL	
ELEV. = +58'-10"	T.O. SLAB - 7TH LEVEL	
ELEV. = +50'-0"	T.O. SLAB - 6TH LEVEL	
ELEV. = +41'-2"	T.O. SLAB - 5TH LEVEL	
ELEV. = +32'-4"	T.O. SLAB - 4TH LEVEL	
ELEV. = +23'-6"	T.O. SLAB - 3RD LEVEL	
ELEV. = +14'-8"	T.O. SLAB - 2ND LEVEL	8'-10"
ELEV. = +0'-0"	T.O. SLAB - GROUND LEVEL	

**PHASE 2: WEST ELEVATION**

**ELEVATION KEYNOTES:**

<b>1</b> Pure White SW 7005 SHERWIN-WILLIAMS Smooth Float Finish Stucco	<b>2</b> March Wind SW 7668 SHERWIN-WILLIAMS Smooth Float Finish Stucco	<b>3</b> Perle Noir SW 9154 SHERWIN-WILLIAMS Smooth Float Finish Stucco	<b>4</b> Slab Travertine Wall Panels 3/25" Thick	<b>5</b> Vutek Speaker Mesh Breathable Art Banner Material 1/2" alum. frame with esp finish	<b>6</b> METAL RAILING	<b>7</b> MEDIUM GREY STOREFRONT GLASS WITH ALUM. MULLIONS WITH WHITE ESP FINISH	<b>8</b> MEDIUM GREY TINTED SLIDING GLASS DOOR IN ALUM. FRAME WITH WHITE ESP FINISH	<b>9</b> STUCCO SCORE LINE	<b>10</b> ALUMINUM LOUVER WITH ESP FINISH	<b>11</b> MEDIUM GREY TINTED GLASS IN ALUM. FRAME WITH ESP FINISH	<b>12</b> DECORATIVE LIGHT FIXTURE	<b>13</b> CONCRETE EYEBROW
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**NOTE:**  
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**LOCATION MAP**  
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**seal:**  
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 FLORIDA REGISTERED ARCHITECT # AR 93259

**revisions:**


**drawing data:**  
**PHASE 2**  
**SOUTH-WEST**  
**TOWER**  
**WEST**  
**ELEVATION**  
 project number : #15197  
 drawing scale : As Shown  
 drawing date : 06/18/2018  
 phase : Final TAC  
 sheet number : **A2.21**

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1 PARC PLACE SOUTH + WEST TOWERS | VIEW FROM CORNER OF SOUTH FEDERAL HWY AND VAN BUREN STREET



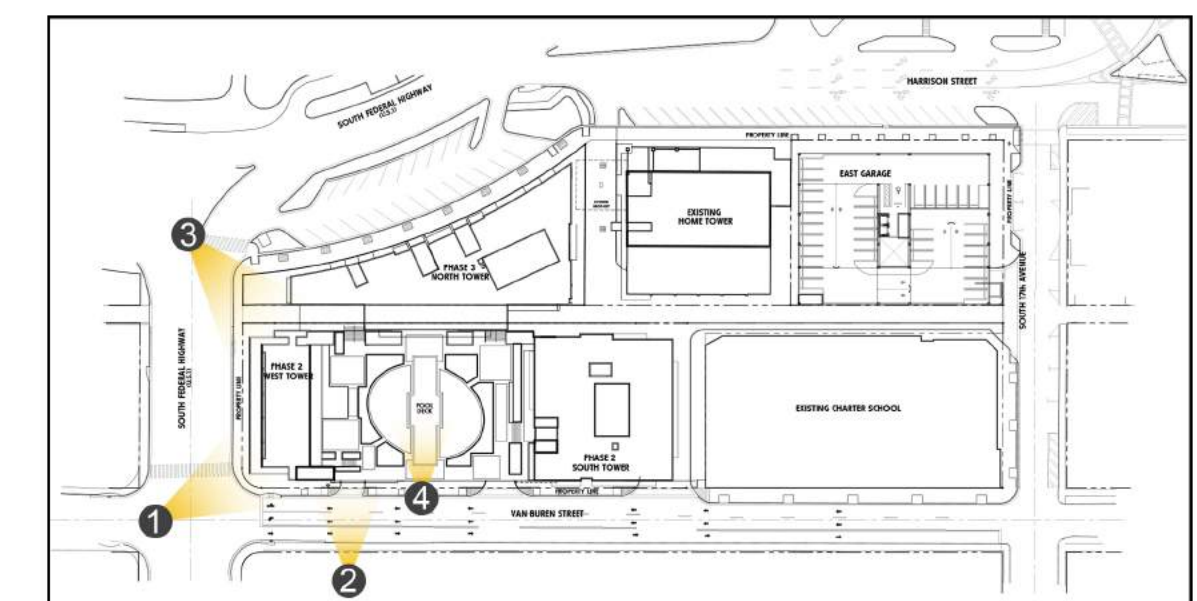
2 PARC PLACE SOUTH + WEST TOWERS | VIEW FROM VAN BUREN STREET



3 PARC PLACE SOUTH + WEST TOWERS | VIEW ALONG EAST YOUNG CIRCLE



4 PARC PLACE SOUTH + WEST TOWERS | VIEW OF POOL DECK



LOCATION MAP  
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 FLORIDA REGISTERED ARCHITECT # AR 93239

revisions :

drawing data :

**PHASE 2  
 SOUTH-WEST  
 TOWER  
 RENDERINGS**

project number :

#15197

drawing scale :

As Shown

drawing date :

06/18/2018

phase :

Final TAC

sheet number :

**A2.22**





1 PARC PLACE SOUTH + WEST TOWERS | VIEW OF SOUTH TOWER EAST FACADE



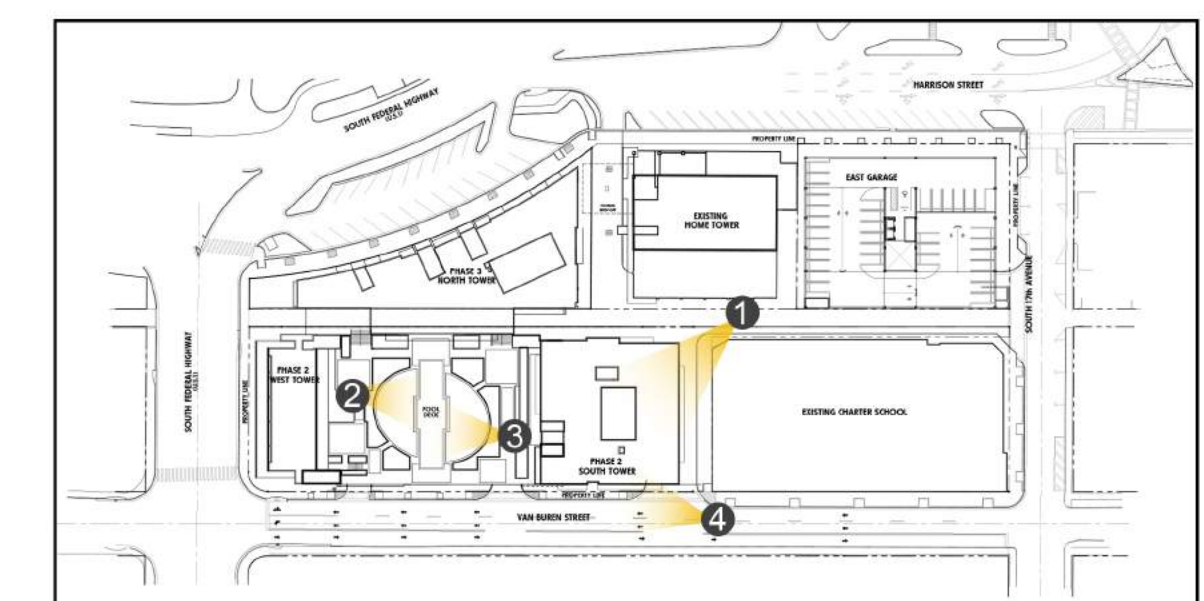
2 PARC PLACE SOUTH + WEST TOWERS | VIEW OF SOUTH TOWER FROM POOL DECK



3 PARC PLACE SOUTH + WEST TOWERS | VIEW OF WEST TOWER FROM POOL DECK



4 PARC PLACE SOUTH + WEST TOWERS | VIEW OF SOUTH TOWER ENTRANCE DROP OFF



LOCATION MAP  
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revisions :

drawing data :

**PHASE 2**  
**SOUTH-WEST**  
**TOWER**  
**RENDERINGS**

project number :

#15197

drawing scale :

As Shown

drawing date :

06/18/2018

phase :

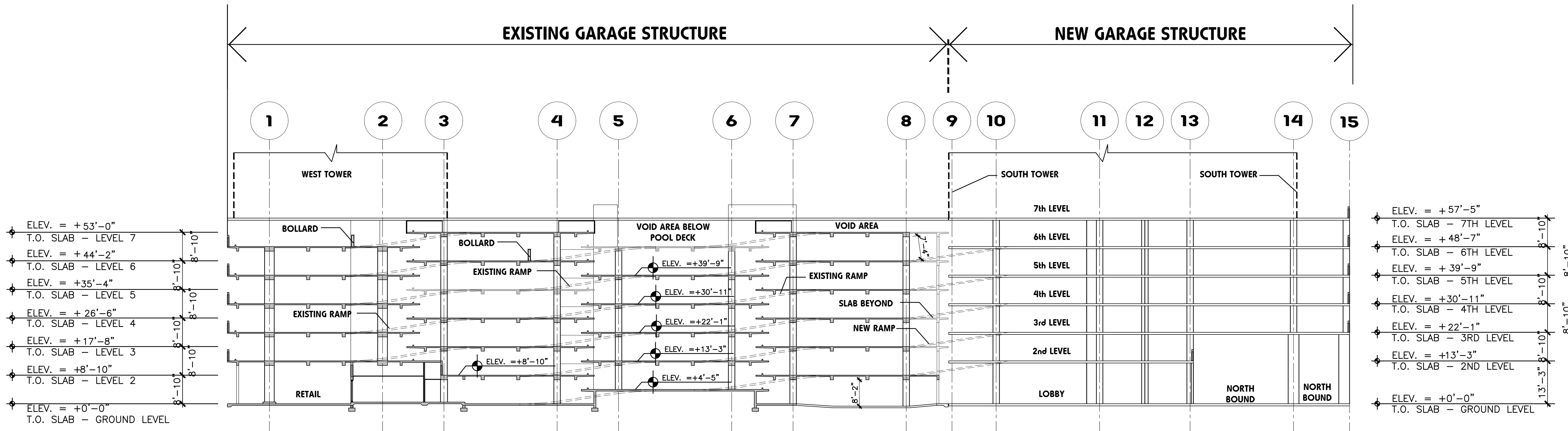
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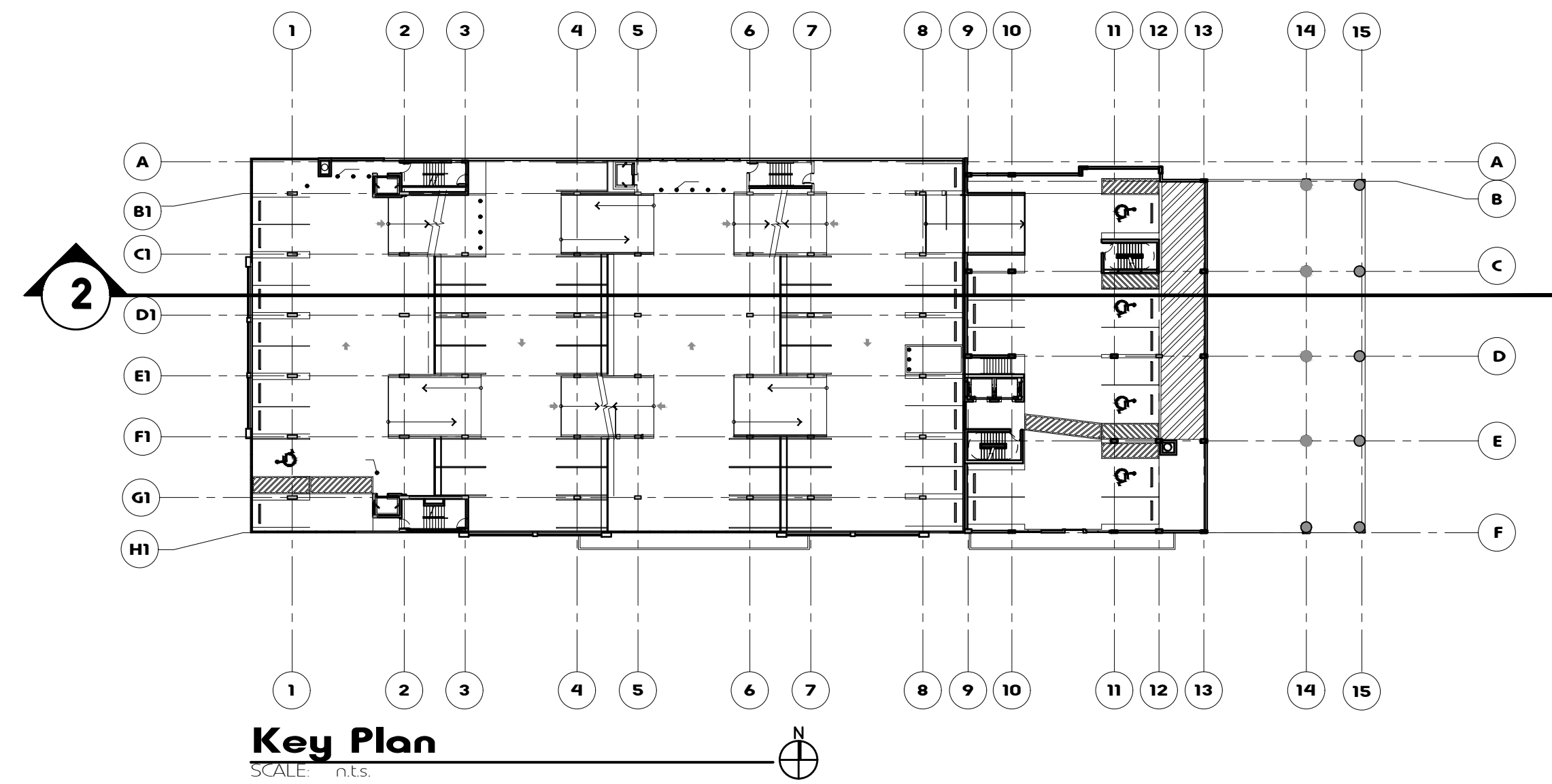
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**2 Cross Section Thru Garage**  
SCALE: 1/6" = 1'-0"



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revisions :


drawing data :

**PHASE 2  
SOUTH & WEST  
GARAGE  
CROSS SECTION**

project number : #15197

drawing scale : As Shown

drawing date : 06/18/2018

phase : Final TAC

sheet number : **A2.24**

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