

Grant Agreement Documentation Order: Property Improvement Program (PIP)

1. Reso	DRAFT See Attached DRAFT See Attached
2. Signed Agreement	Page 02
3. W-9	Page 03
4. Grant Application – Back Up I	Page 04
5. Letter of Intent – Back Up I	Page 06
6. Property Insurance – Back Up I	Page 07
7. Ownership Information – Back Up I	Page 17
8. Current Photos – Back Up I	Page 19
9. Letter of Authorization – Exhibit A	Page 20
10. Bib Summary Form – Exhibit B	Page 21
11. Selected Contractor(s) Quotes, Licenses and Insurance – Exhibit B	Page 45
12. Renderings – Exhibit B	Page 49
13. Non-Selected Contractor(s) Quotes – Back Up II	

**BARCLAY ARMS CONDO ASSOCIATION
W-9**



Property Improvement Program (PIP) Application

Name: _____

Name of Business/Property to be Renovated: _____

Address: _____

Telephone Number: _____

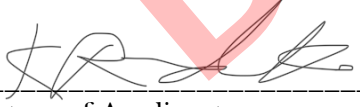
Are you the Property Owner or Business Owner? _____

Type of Improvement(s) Planned: _____

Incentive Amount: \$ _____

Total Cost of Project: \$ _____

I hereby submit the attached plans, specification and color samples for the proposed project and understand that these must be approved by the Hollywood, Florida Community Redevelopment Agency ("CRA"). No work shall begin until I have received written approval from the CRA. I further understand that unless otherwise approved by the CRA Board, funding will not be paid until the project is complete.



Signature of Applicant

Date

Print Name

Barclay Arms Condominium Association

1943 Monroe st.

Hollywood FL, 33020

February 2, 2024

Hollywood CRA

1948 Harrison St.

Hollywood, FL 33020

Re: Letter of Intent for submission of application for the Property Improvement Program

Hollywood CRA

We are the Board of Directors of the Barclay Arms Condominium Association located at 1943 Monroe St. in Hollywood, Florida. Our building is a mid-century style condo with 3 floors and 29 units located in the heart of downtown Hollywood. Barclay has seen the some of the work that the CRA has helped make possible throughout the downtown district and more specifically, right in our community of Parkside. Barclay has desired for some time now to enhance our building as well and be a part of this beautification effort.

Barclay Arms was built in 1967, and in late 2021, the board proceeded with its 50 year inspection. The inspection report showed there are many structural repairs needed. This scope of work includes extensive concrete restoration to the exterior of the building and we knew that this is the time to renovate the building fully. We have gotten painting quotes that will include repairs of all cracks and stucco, pressure washing all the mildew and dirt, and sealing the building from future environmental damage. The parking lot has many cracks and has not been paved for some time. We will be replacing, sealing, and restriping the parking lot. Finally, as recommended by our engineer, we will be getting rid of the old concrete balustrades. They are chipped and cracked in many places and the recommendation was to replace with sleek aluminum railings. The scope of work is estimated to be 155,760 dollars. Outside of the cra grant scope of work, The board is actively cleaning up the property to prepare it for the beautification effort so that nothing is left out and the project is completed to the highest standards. We are removing outdated hurricane clam shutters, cutting all old cables and wiring hanging from the building, removing old signage and hardware and updating the landscaping.

Our board attended the pre-application workshop a while back held by Christopher Crocitto, and since then Christopher has worked with us to let us know which improvements would be necessary to qualify for the property improvement grant. We originally applied for a grant in 2022, but unfortunately, the scope of work has since changed and there was an issue with the contractor hired. On a positive note, the work and scope has much improved and we are happy with the professionals that we will be working with. The board has previously submitted the application and pre-application forms and we now attach this letter as confirmation of our intent to proceed with the grant and work with the CRA to make Barclay beautiful again.

Sincerely,

The Board of Directors, Barclay Arms

Ekaterina Yagodina, President

A handwritten signature in black ink, appearing to read 'Ekaterina Yagodina', written in a cursive style.

Draft Print



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
02/08/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(les) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Legacy Insurance Associates Unlimited 2499 Glades Road #313 Boca Raton, FL 33431 (000) 000-0000	CONTACT NAME: Brandon Levy PHONE (A/C, No, Ext): 561 877 1922 FAX (A/C, No): E-MAIL ADDRESS: amarkham@legacyinsuranceassociates.com														
INSURED The Barclay Arms Condominium Apartments, Inc. c/o Vesta Property Services 2500 Hollywood Blvd Suite 310 Hollywood, FL 33020	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: center;">NAIC #</th> </tr> <tr> <td>INSURER A: Westchester Surplus Lines Ins Co</td> <td></td> </tr> <tr> <td>INSURER B: Mt. Hawley Insurance Co</td> <td></td> </tr> <tr> <td>INSURER C: Great American Ins Companies</td> <td></td> </tr> <tr> <td>INSURER D: Liberty Mutual Fire Ins</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Westchester Surplus Lines Ins Co		INSURER B: Mt. Hawley Insurance Co		INSURER C: Great American Ins Companies		INSURER D: Liberty Mutual Fire Ins		INSURER E:		INSURER F:	
INSURER(S) AFFORDING COVERAGE	NAIC #														
INSURER A: Westchester Surplus Lines Ins Co															
INSURER B: Mt. Hawley Insurance Co															
INSURER C: Great American Ins Companies															
INSURER D: Liberty Mutual Fire Ins															
INSURER E:															
INSURER F:															

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC		GLWF16095515003	5/10/2023	5/10/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 BI/PD Ded \$ 500
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N <input checked="" type="checkbox"/> N/A If yes, describe under DESCRIPTION OF OPERATIONS below					WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
B	Property/Hazard		MPC0605829	8/31/2023	8/31/2024	Total Insured Value \$3,656,309
C	Directors & Officers		EPP4342491-06	5/10/2023	5/10/2024	Limits \$1,000,000 Ret \$1,000
C	Crime		SSA-392-56-74-12750-01	5/10/2023	5/10/2024	Limits \$25,000 Ded \$1,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

.., 1943 Monroe Street, Hollywood, FL 33020
 Location: 1943 Monroe Street Hollywood, FL. 33020- Condo Association/ 3 stories 29 Units
 B: Property- RC Special Form; Deductibles- 5% NS AOP \$10K Per Occ / 90% coinsurance //All Other Wind \$25,000
 B: Ord & Law Cov A full B&C combined \$300K
 C: Property manager included in the crime.
 D: Boiler & Machinery Policy #YB2-L9L-476110-013 Eff 5/10/23-5/10/24 PD \$3,656,309 Ded \$5,000
****Certificate Holder is named an additional insured with respect to general liability.**

CERTIFICATE HOLDER Hollywood-Community Redevelopment Agency(CRA) . 1948 Harrison Street Hollywood, FL 33020 Loan Number: .	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
--	--















MARTY KIAR

BR WARD

COUNTY

PROPERTY APPRAISER

- Property Search
- Search Results
- Parcel Result

-  Homestead
-  Map
-  Sketch
-  Estimator
-  Portability
-  Exemption
-  TRIM
-  Tax
-  Pictures
-  Fraud
-  AsktMarty
-  Print

- Copy Link
- New Search

< Prev Parcel Tax Year Next Parcel >

Property Summary

Property ID: **514215AC0010**

Property Owner(s): ALBRECHT, JUDITH

Mailing Address: 1943 MONROE ST #101-D HOLLYWOOD, FL 33020

click here to update mailing address

Physical Address: 1943 MONROE STREET # 101D HOLLYWOOD, 33020-5047

Neighborhood: Parkside

Property Use: 04 - Condominium

Millage Code: 0513

Adj. Bldg. S.F.: 1100 Card/Permits

**Bldg Under Air
S.F.:**

Effective Year: 1967

Year Built: 1966

Units/Beds/Baths: 1 / 2 / 2



Previous Next

**Deputy
Appraiser:** Condo Department

**Appraisers
Number:** 954-357-6832

Email: condoinfo@bcpa.net

**Abbr. Legal
Des.:** THE BARCLAY ARMS CONDO APARTMENTS UNIT 101D PER CDO BK/PG: 3195/580

Owner Alert: If you are the owner of this property, protect your property from scams or fraud by subscribing to BCPA's free Owner Alert Notification service. Please [click here](#) to subscribe.

If you see a factual error on this page, please click here to notify us.



It's Important that you know:

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment

Year	Land	Building / Improvement	Just/Market Value	Assessed / SOH Value	Tax
2022	\$16,360	\$147,260	\$163,620	\$97,660	
2021	\$13,790	\$124,090	\$137,880	\$94,820	\$959.23
2020	\$13,600	\$122,390	\$135,990	\$93,520	\$929.83

Exemptions And Taxing Authority Information

	County	School Board	Municipal	Independent
Just Value	\$163,620	\$163,620	\$163,620	\$163,620
Portability	0	0	0	0
Assessed / SOH 15	\$97,660	\$97,660	\$97,660	\$97,660
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	\$500	\$500	\$500	\$500
Senior	\$47,160	0	\$25,000	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	0	\$72,160	\$22,160	\$47,160

Sales History For This Parcel

Date	Type	Qualified/Disqualified	Price	Book/Page or CIN
02/14/2021	Quit Claim Deed	Non-Sale Title Change	\$100	117290212
08/04/2014	Rerecorded Deed Correction	Non-Sale Title Change		112530333
08/04/2014	Warranty Deed	Qualified Sale	\$92,000	112491814
12/19/2008	Special Warranty Deed	Qualified Sale	\$85,000	45891 / 1522
11/25/2008	Quit Claim Deed	Non-Sale Title Change		45891 / 1520

Recent Sales In This Subdivision ⓘ

Folio Number	Date	Type	Qualified/Disqualified	Price	Book/Page Or CIN	Property Address
514215AC0130	03/04/2022	Warranty Deed	Qualified Sale	\$148,000	117998722	1943 MONROE ST #204A HOLLYWOOD, FL 33020

514215AC0050	11/21/2021	Warranty Deed	Qualified Sale	\$97,000	117782320	1943 MONROE ST #105A HOLLYWOOD, FL 33020
514215AC0080	06/01/2021	Warranty Deed	Qualified Sale	\$87,500	117388296	1943 MONROE ST #109A HOLLYWOOD, FL 33020
514215AC0060	05/24/2021	Warranty Deed	Qualified Short Sale	\$89,000	117299164	1943 MONROE ST #107A HOLLYWOOD, FL 33020
514215AC0070	10/15/2020	Warranty Deed	Qualified Sale	\$80,000	116801812	1943 MONROE ST #108B HOLLYWOOD, FL 33020

Land Calculation

More Sales [↗](#)

Type **Unit Price** **Units** **Zoning**

Special Assessments

Fire **Garb** **Light** **Drain** **Impr** **Safe** **Storm** **Clean** **Misc**

Hlwd Fire Rescue (05)

Residential (R)

1

School **i**

School **Grade**

Hollywood
Central C
Elementary

Olsen
Middle C

South
Broward C
High

Elected Officials

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	6	Beam Furr	23	Debbie Wasserman Shultz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
100	Joseph Geller	34	Gary M. Farmer, Jr.	Ann Murray

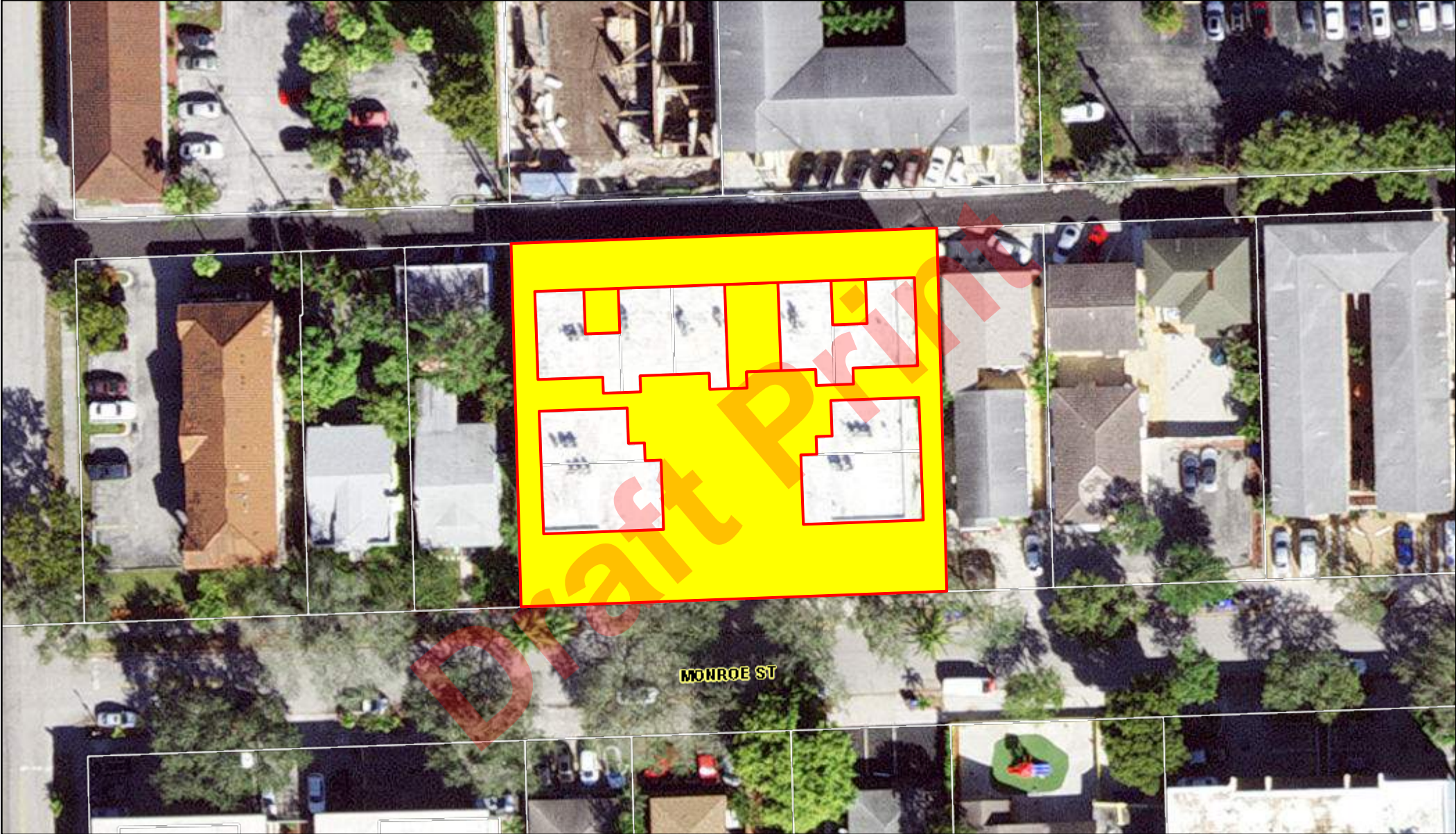
Appraiser	Property Search	FAQ	Maps & Aerials
115 South Andrews Avenue	Tangible Search	Download	Exemption
Room 111	Kiar	Forms	Status
Fort Lauderdale, Florida	Contact Us	Related Links	Data Request
33301	Tax Roll	Market Reports	Tax Estimator
954-357-6830	Information	Video Gallery	Portability
martykiar@bcpa.net	Business	Newsletters	Estimator
	Careers		Owner Alert
	Ask Marty		
		Commercial Search	Report Exemption Fraud
		Land Search	

Disclaimer

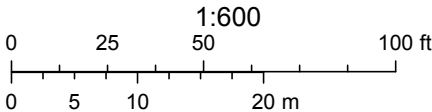
Having trouble viewing our website? Please contact our accessibility hotline for assistance at accessibility@bcpa.net or 954-357-6830.

Source: Broward County Property Appraiser's Office - Contact our office at 954.357.6830. Hours: We are open weekdays from 8 am until 5 pm. **Legal Disclaimer:** Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone. Information provided on this website is for tax roll purposes only and may not be appropriate for other uses. Values are not final until certified pursuant to Florida law.

Draft Print



July 12, 2022





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Not For Profit Corporation

THE BARCLAY ARMS CONDOMINIUM APARTMENTS, INC.

Filing Information

Document Number	710130
FEI/EIN Number	59-1202101
Date Filed	12/29/1965
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	03/12/2018

Principal Address

900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Changed: 08/03/2023

Mailing Address

900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Changed: 08/03/2023

Registered Agent Name & Address

Managexchange
900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Name Changed: 08/03/2023

Address Changed: 08/03/2023

Officer/Director Detail

Name & Address

Title President

YAGODINA, EKATERINA
900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Title Treasurer, Secretary

Rondesko, Katie
900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Title Director

Saah, Imad
900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Title Director

Bodnya, Denis
900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Title VP

Gonyea, Jennifer
900 N Federal Highway
Suite 201
Hallandale Beach, FL 33009

Annual Reports

Report Year	Filed Date
2023	04/27/2023
2024	03/25/2024
2024	04/01/2024

Document Images

04/01/2024 -- AMENDED ANNUAL REPORT	View image in PDF format
03/25/2024 -- ANNUAL REPORT	View image in PDF format
08/03/2023 -- AMENDED ANNUAL REPORT	View image in PDF format

04/27/2023 -- ANNUAL REPORT	View image in PDF format
01/20/2022 -- ANNUAL REPORT	View image in PDF format
07/21/2021 -- AMENDED ANNUAL REPORT	View image in PDF format
07/12/2021 -- Reg. Agent Change	View image in PDF format
05/13/2021 -- AMENDED ANNUAL REPORT	View image in PDF format
02/18/2021 -- ANNUAL REPORT	View image in PDF format
06/23/2020 -- ANNUAL REPORT	View image in PDF format
04/16/2019 -- ANNUAL REPORT	View image in PDF format
03/12/2018 -- REINSTATEMENT	View image in PDF format
04/30/2016 -- ANNUAL REPORT	View image in PDF format
09/14/2015 -- ANNUAL REPORT	View image in PDF format
12/11/2014 -- AMENDED ANNUAL REPORT	View image in PDF format
08/15/2014 -- Off/Dir Resignation	View image in PDF format
05/09/2014 -- ANNUAL REPORT	View image in PDF format
04/30/2013 -- ANNUAL REPORT	View image in PDF format
04/20/2012 -- ANNUAL REPORT	View image in PDF format
04/12/2011 -- ANNUAL REPORT	View image in PDF format
04/09/2010 -- ANNUAL REPORT	View image in PDF format
04/29/2009 -- ANNUAL REPORT	View image in PDF format
04/30/2008 -- ANNUAL REPORT	View image in PDF format
04/18/2007 -- ANNUAL REPORT	View image in PDF format
04/28/2006 -- ANNUAL REPORT	View image in PDF format
02/23/2005 -- ANNUAL REPORT	View image in PDF format
04/29/2004 -- ANNUAL REPORT	View image in PDF format
02/14/2003 -- ANNUAL REPORT	View image in PDF format
04/08/2002 -- ANNUAL REPORT	View image in PDF format
02/08/2001 -- ANNUAL REPORT	View image in PDF format
03/15/2000 -- ANNUAL REPORT	View image in PDF format
03/10/1999 -- ANNUAL REPORT	View image in PDF format
03/16/1998 -- ANNUAL REPORT	View image in PDF format
03/28/1997 -- ANNUAL REPORT	View image in PDF format
04/01/1996 -- ANNUAL REPORT	View image in PDF format
03/31/1995 -- ANNUAL REPORT	View image in PDF format



1943 Monroe St. - Barclay Arms
South Facade From Monroe Before



1943 Monroe St. - Barclay Arms
North Facade From Alleyway Before

Barclay Arms Condominium Association

1943 Monroe St.

Hollywood, FL 33020

February 2, 2024

Hollywood CRA

1948 Harrison St.

Hollywood, FL 33020

Re: Letter of Authorization for Property Improvement Program

To the Hollywood CRA

We, the board of directors of the Barclay Arms Condominium Association at 1943 Monroe St, Hollywood, FL, wish to make improvements to the exterior of our building to beautify and restore our property, and it is in our best interest to enter into an agreement with the Hollywood Community Redevelopment Agency in regards to their property improvement program (PIP). The board, on behalf of the association, plan to make the required improvements to our building as required by the PIP and authorize this agreement.

On behalf of the board of directors,

Ekaterina Yagodina, President

A handwritten signature in black ink, appearing to read 'Ekaterina Yagodina', is written over the printed name. The signature is fluid and cursive.



HOLLYWOOD CRA GRANT PROGRAM BID SUMMARY

Business or Condo Name: **Barclay Arms Condo Association**

Property Address: **1943 Monroe St, Hollywood, FL 33020**

PIP

WORK DISCIPLINE: Painting & Stucco Repair

Contractor .001 South Coast Painting & Restoration	\$56,518.00	SELECTED
---	--------------------	-----------------

Painting & Stucco \$53,950.00 + Ultra Kote Paint Type (Benjamine Moore) \$2,568.00 = \$56,518.00

Contractor .002 Biscayne Painting Corporation \$42,600.00

Painting & Stucco \$35,600.00 + Paint Type (Color Change) \$7,000.00 = \$42,600

Contractor .003 Top of The Ladder Painting \$52,500.00

WORK DISCIPLINE: Paving

Contractor .001 The Paving Lady	\$35,255.00	SELECTED
--	--------------------	-----------------

Milling & Paving \$17,810.00 + C.O. for Additonal Milling & Paving \$17,445.00 = \$35,225.00

Contractor .002 DMI Paving \$22,987.00

Contractor .003 US PAVE \$19,974.00

Milling & Paving \$19,153.00 + Striping \$821.00

WORK DISCIPLINE: New Railings

Contractor .001 South Coast Painting & Restoration	\$84,000.00	SELECTED
---	--------------------	-----------------

Contractor .002 Akouri Metal, Inc. \$67,890.00

Contractor .003 TBD \$0.00

Pending Item to be submitted

TOTAL PROJECT COST

\$175,773.00

Out of Pocket

\$25,773.00

TOTAL INCENTIVE AMOUNT

43%

\$75,000.00

(Up To 50% Of Total Project Cost With A \$75,000 Max)

NOTES:

Proposal



RESTORATION & PAINTING

Established 1972

1-800-940-1888 • (954) 596-1334 • Boca: (561) 482-1888 • Fax: (954) 333-8440
6601 Lyons Road • Suite C2 • Coconut Creek, FL 33073

PROPOSAL SUBMITTED TO Barclay Arms Condo.	DATE September 14 th , 2023
Attn: President & Board of Director(s)	PHONE 954-454-3757
C/O Arturo O'Neill, LCAM	Arturo@managexchange.com
1943 Monroe St.	
Hollywood, FL. 33020	

All material is guaranteed to be as specified, all work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications below involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation insurance.

Authorized Signature 
Hal M. Eisenstein, Principal

South Coast Restoration and Painting a dba of South Coast Painting and Developing, Inc "SCRP" is a Florida State Licensed General Contractor CGC# 1527478 as such, we are qualified for and licensed to make most building repairs or replacements.

This proposal, in conjunction with attached photographs and manufacturer's specifications, is for the preparation and painting of the exterior surfaces of one three story 24-unit building (photos pages 1&2 A&B) known as Barclay Arms Condominium located in 1943 Monroe St. Hollywood, FL. 33020

GENERAL SCOPE

- 1) Power wash all exterior surfaces to be painted. Areas of mildew and red algae infestation shall be pre-treated, before power washing, with a sodium hypochlorite mildew solution. The solution to be allowed to soak on treated areas to ensure the killing of mildew spores embedded in the affected substrates. Approximate power washing pressure to be 3000 P.S.I., which is lowered when cleaning around screening, windows and wooden surfaces, etc., to avoid water penetration and scoring. Residual dirt run-off to be rinsed off from non-painted surfaces. The association/management/owner shall make available power and water, which may be available at existing outlets, without charge, for the reasonable use of the contractor.
- 2) **Stucco** – Remedial crack repair:
 - A. Hairline and shrinkage cracks approximately 1/16 of an inch or smaller in width, are to be cleaned and then sealed with **Benjamin Moore's Masonry Conditioner Series #608**. Using a brush or broad knife, apply **Benjamin Moore's Elastomeric Patching Compound 052-01**, feathering the patch approximately 2 inches to either side of the crack.
NOTE: Cracks over 3/16 inches in width, if any, are not considered a "remedial" type repair. Restoration of the same will be chargeable based on the type of repair that is required. No "chargeable repairs will be made without prior authorization from the association/management/owner."
NOTE: Sealants specified are non-shrinking, and although they dry thoroughly, they do not dry hard and will flex with additional building movements.
 - B. Loose or delaminating stucco - Remove loose stucco and "sound-out" to determine if a larger area than is obvious to the eye is necessary to remove. Cut to a square or rectangle shape. Clean and apply **Armatec Corrosion Protection**, to any exposed steel, and then apply a masonry bonder to the full area. Re-stucco areas using a mortar patching product such as **Titan Stucco Mix**. Simulate surrounding surfaces as closely as possible but it will not be an exact match. Delamination repair is not to exceed 5 square feet. This square footage refers to actual stucco delamination, not (remedial crack) repairs, which are unlimited.
NOTE: Stucco delamination, if any, over (5) five square feet to be accomplished at \$24.00 per square foot, only with prior authorization from the association/management/owner.
NOTE: SCR P is a Florida State licensed general contractor, having made extensive repairs to hundreds of buildings in the South Florida area, most of which are high rises. We are expert in all the types of repairs that may be determined to be required. We will be pleased to submit proposal (TAB BID) for the potential extra repairs.

(Continue page 2)

Acceptance of Proposal - The prices, specifications, payment schedule and conditions contained within are satisfactory and are hereby accepted. You are authorized to do the work as specified.

Date of acceptance _____

Signature _____ Title _____
Signature _____ Title _____

SOUTH COAST RESTORATION & PAINTING

(954) 596-1334 • Boca: (561) 482-1888 • Fax: (954) 333-8440
6601 Lyons Road • Suite C2 • Coconut Creek, FL 33073

Established 1972

PROPOSAL SUBMITTED TO Barclay Arms Condo.	DATE September 14 th , 2023
--	---

- 3) Caulk exterior windows and doors. Solvent-wipe areas to be re-caulked. Using a **top-grade caulking compound**, apply a continuous watertight bead where frames meet stucco. Apply a continuous bead of elastomeric caulking to all 90-degree changes of directions in stucco where cracks are present. Caulk gaps around through-wall protrusions such as hose bibs, vent pipes, electric conduit, etc.
NOTE: If existing caulking around windows is badly deteriorated and should be removed and replaced, alternate pricing can be supplied upon request.
- 4) Using **Benjamin Moore's Clear Acrylic Conditioner 608 series**, coat all previously painted direct weather-exposed exterior stucco surfaces, plus gutters, downspout, conduit, etc. plus pre-caste balustrades.
- 5) Using **Benjamin Moore's Ultra Spec Exterior Flat Acrylic Paint or Exterior Satin Acrylic Paint**, finish coat all previously painted exterior stucco surfaces, plus pre-caste balustrades, lolly columns (photos page 3A, 5A&B), tops and sides of clam shell awnings (photo page 1A) plus gutters, downspouts, conduit, attached pipes, etc.
NOTE: Rusted surfaces on steel lolly columns (**photo page 5A**) are to be wire brushed, sanded, cleaned and primed with rust inhibitive primers. "Cancerous" rust may reoccur.
- 6) Exterior surfaces of apartment entry doors and casings plus common doors and casings (**photos page 3 B&C**) – Sand any peeling or rusted surfaces. Solvent-wipe all surfaces with **V M & P NAPHTHA** to remove contaminants and dull finishes. Spot prime rusted or peeled surfaces using **Benjamin Moore's Corotek V110 Acrylic Metal Primer** (on metal). Using **Benjamin Moore's Coronado Multapply DTM Semi-Gloss Enamel**, finish coat the exterior surfaces of doors and casings.
NOTE: **SCRIP** applies enamel finish coats using airless sprayers whenever practical to impart a "factory-like" finish.
- 7) Previously coated **catwalk decks** and stairway treads, risers and landings – Power wash to remove any currently peeling surfaces, residual dirt, grime, and any old cleaners.
Using **Richards Acrylic Floor Finish**, coat all surfaces.
NOTE: When painting steps, **SCRIP** will paint a yellow safety stripe onto the outer edge of the first and last step of each level for visual reference to impart added safety.
NOTE: As per the manufacturer's recommendation and per insurance requirements, **SCRIP** adds approximately one and one-half (1½) pounds of **#90 Micron Shark Skin Aggregate** per five (5) gallons to impart a skid-resistant finish for safety.
An aggregate added to any floor coating will collect dirt somewhat faster than a slick finish, but is necessary (when wet from rain or sprinklers) in helping to prevent accidental slips and falls.
Darker colors will better camouflage dirt collection and are therefore recommended. Decks are a non-warranted item.
ADDITIONAL NOTE: **SCRIP** as per their policy and that of their insurance company, posts notices throughout the building(s) regarding the scheduling of the painting of decks (floors and/or steps) and applies "flagging" tape across specific areas, to indicate safe and non-safe zones. Blatant disregard of these flagged areas, e.g., persons walking on wet paint under any circumstance, shall release **SCRIP** and their insurance company from any liability whatsoever if the person(s) disregarding same, slips and falls on (wet) freshly painted surfaces.
- 8) For purposes of pricing consistency colors to be substantially similar to existing ones or ones that provide proper opacity in the number of coats specified. **SCRIP** has assisted hundreds of associations in choosing colors that are contemporary and complementary to the architecture in question while properly covered in the number of coats specified to avoid added costs. Additionally, **SCRIP** knows which colors resist fading better under South Florida's harsh climatic conditions. Samples to be supplied by **SCRIP** for the association/management/owner's written approval before start-up.

(Continue page 3)

SOUTH COAST RESTORATION & PAINTING

Signature _____

Hal M. Eisenstein, Principal

Acceptance of Proposal - The prices, specifications, payment schedule and conditions contained within are satisfactory and are hereby accepted. You are authorized to do the work as specified.

Date of acceptance _____

Signature _____

Title

Signature _____

Title

SOUTH COAST RESTORATION & PAINTING

(954) 596-1334 • Boca: (561) 482-1888 • Fax: (954) 333-8440
6601 Lyons Road • Suite C2 • Coconut Creek, FL 33073

Established 1972


PROPOSAL SUBMITTED TO
Barclay Arms Condo.

DATE
September 14th, 2023

- 9) The contractor is to meet the requirements of the **Manufacturer's eight (8) Year Benjamin Moore's Non-Prorated Labor and Material Warranty** on stuccoed surfaces and secure for owner/management/association upon completion and payment in full.
PLEASE NOTE: SCRP does not control the length of time **Benjamin Moore** may take to issue said warranty and in no case will any monies due to **SCRP** be withheld pending said issuance. **SCRP** can obtain a letter from **Benjamin Moore's** representative stating that **SCRP** has met requirements as per specifications and that said warranty will be issued in due course.
- 10) **High Lifts: SCRP** needs to utilize self-propelled high-reach lift(s), to professionally access all upper areas. **SCRP** personnel are fully trained and experienced in their safe and professional operation and take steps necessary to protect the customer's property, such as laying down heavy marine plywood when running on soft ground.
- 11) Pre-inspections to be done by the contractor with a written list(s) presented to the association/management/owner of any existing damages, broken glass, torn screening, old paint drips, etc. to (hopefully) avoid any "finger-pointing" after the fact.
- 12) The association/management/owner shall make available power and water, available at existing outlets, without charge, for the reasonable use of the contractor. The contractor shall be responsible for and use the utmost care in the protection of the occupant's property including all balconies, windows, slider and patios screens, windows, walkways, shrubbery, and any other property in the areas from paint and/or any other damage directly related to the painting process. The contractor shall be solely responsible for the rectification of any such damage; the clean-up involved in the work outlined in this specification; his employees during the performance of their labor. The contractor will be responsible to remove any painting materials that adhere to the glass or window, slider, and patio screens. The association/management/owner will be responsible for cleaning miscellaneous dirt and water spots (if any) from the windows after the work is completed.
- 13) All work is to be done in a workmanlike manner by skilled, professional mechanics and carried out in such a way as to minimize any inconvenience to the occupants and tenants. The contractor shall maintain a full workforce from start to completion and shall leave a qualified English-speaking foreman on the job at all times. In addition, one of their operations managers will spot-check regularly. **SCRP** personnel wear shirts identifying them as employees of **SCRP** and do not allow its personnel to remove their shirts or play radios on the job site.
- 14) The association/management/owner agrees to and shall be responsible for the trimming and/or removal of all foliage clinging to or otherwise obstructing the surfaces to be painted Hedges should be trimmed away from walls a minimum of 6 - 8 inches and be no more than 4 feet high. Notification for preventing vehicles from parking nearby while work is in progress and generally permitting adequate access to all areas. The contractor will rope off and erect signs for vehicles to avoid areas where overspray or dripping may occur and will utilize drop cloths, etc., for the protection of foliage and other non-painted surfaces. If foliage is not cut back, the contractor may have to bypass areas that are blocked and will not be responsible for any damage if proper trimming has not been performed. If vehicles blatantly disregard zoned areas, the contractor will not be responsible for protection or potential damage. Vehicles unable to be moved (out of town, etc.), will be protected by the contractor; however, if the number of vehicles is excessive and/or prevents access to areas being painted, the association may have to have some towed to allow access to these areas. Window screens on the outside of windows are to be removed by the association/management/owner before starting up.

(Continue page 4)

SOUTH COAST RESTORATION & PAINTING

Signature 
 Hal M. Eisenstein, Principal
Acceptance of Proposal - The prices, specifications, payment schedule and conditions contained within are satisfactory and are hereby accepted. You are authorized to do the work as specified.
 Date of acceptance _____

Signature _____ Title _____
 Signature _____ Title _____

SOUTH COAST RESTORATION & PAINTING

(954) 596-1334 • Boca: (561) 482-1888 • Fax: (954) 333-8440
6601 Lyons Road • Suite C2 • Coconut Creek, FL 33073

Established 1972

PROPOSAL SUBMITTED TO Barclay Arms Condo.	DATE September 14 th , 2023
--	---

15) The association/management/owner or designated representative and the contractor shall transmit all information about the job and shall not permit unauthorized interference from others. There is a possibility that during the painting process, conditions of rotted wood, deteriorated metal, excessive delaminated or damaged stucco, or excessive peeling of existing coatings, previously not visible, will become apparent. Some of these conditions may require an additional charge. If this occurs, the association/management/owner(s) will be made aware of the condition and the added cost, if necessary, to remedy the situation, as soon as possible. Discussions between the association/management/owner(s) and contractor may be required to agree on a said fee(s); so that work can continue without delay. No agreements or representations unless incorporated in the contract or attached as an addendum shall be binding upon any parties. Oral representation may not be relied upon.

16) Sprinkler systems adjoining building(s) currently being painted to be left off for the duration of work to building to help minimize indentations from equipment (especially if high reach lifts are to be used) and to avoid accidental removal of fresh paint.

EXCLUSIONS

1. Roofs.
2. Aluminum surfaces such as windows, screens, lights, hurricane shutters, sliders.
3. Undersides of clam shell awnings.
4. Previously non-painted surfaces.
5. Surfaces not delineated in the General Scope.

PRICING \$53,950.00

The estimated time of completion is approximately 4-5 weeks, barring any inclement weather.

ALTERNATES: **NOTE: Please check (✓) accept or decline and initial alternate below.

- 1) In lieu of **Benjamin Moore Ultra Kote**, finish coat stucco surfaces, and pre-caste balustrades and lolly columns using **Coronados Cryli Kote 10-year Acrylic Flat Paint** and supply **Coronados 10-year Non-Prorated Labor and Material Warranty** upon completion and payment in full.

ADD: \$2,568.00

() Accept () Decline Initial Here: _____

PAYMENT SCHEDULE

- \$2,000.00 good faith deposit together with a copy of the executed contract.
- One third of total upon start-up.
- One third when approximately 50% completion.
- One third balance due within 3 days of completion.

NOTE: If a payment schedule is unacceptable for any reason, management/association must advise the contractor before execution of the contract otherwise guidelines as set forth are to be met by all parties.
CHANGE ORDERS: Any changes or deviations from this scope of work must be authorized and approved by both the contractor and association/management/owner.
COLLECTIONS NOTE: All payments for goods and services rendered are due as per terms stated under the payment schedule in this contract. Any invoices not paid as per said schedule shall be subject to interest at 5% per month. In addition, the association/management/owner agrees to pay all costs of collection, including reasonable attorneys and court fees. **SCR**P reserves the right to decline manpower until the account becomes current per the payment schedule.

(Continue page 5)

SOUTH COAST RESTORATION & PAINTING

Signature _____

Hal M. Eisenstein, Principal

Acceptance of Proposal - The prices, specifications, payment schedule and conditions contained within are satisfactory and are hereby accepted. You are authorized to do the work as specified.

Date of acceptance _____

Signature _____ Title _____

Signature _____ Title _____

Proposal

SOUTH COAST RESTORATION & PAINTING

(954) 596-1334 • Boca: (561) 482-1888 • Fax: (954) 333-8440
6601 Lyons Road • Suite C2 • Coconut Creek, FL 33073

Established 1972

PROPOSAL SUBMITTED TO Barclay Arms Condo.	DATE September 14 th , 2023
--	---

Due to **SCRP**, Triple-A credit rating, the paint manufacturer only liens upon request. Therefore, neither **SCRP** nor **Benjamin Moore** will not issue any liens at any time assuming, of course, payments are made as per schedule.

SCRP employs large staffing of full-time journeyman class mechanics plus support staff, operations managers, crew chiefs, etc., and are fully covered by Workers' Compensation Insurance, \$2,000,000 General Liability Insurance plus additional Umbrella Coverage of \$5,000,000.

Completion timing (up or down) by adjusting crew sizes is sometimes an option. To be discussed and agreed upon before start-up.

Any form of harassment will not be tolerated by **SCRP** or from any source, whether association/management/owner, co-workers or visitors.

The prices in this proposal are good for (30) days. If executed in that time frame and allowed to proceed immediately, pending issue of permit (if required), pricing to remain constant. If signing is delayed, contract prices may be subject to any increases in labor, material, insurance costs, equipment costs, etc.

If dumpster(s) are required in the execution of the work contained in this contract association/management/owner is responsible for reimbursement of said cost to the contractor upon completion of the job.

If permitting is required, **SCRP** will handle the paperwork for the same with the cooperation of the association/management/owner. The Association President /Board member or Authorized Agent will be required to sign some of the government forms. If Engineering is required, the association/ management/ owner will contract directly with the Architectural or Engineering firm of their choosing or a firm recommended. All permitting costs (if required), plus **SCRP's** courier, administration costs and expediter fees plus (20%) will promptly be reimbursed to **SCRP** as invoiced. Revisions required by the governing body will be charged at \$150.00 per revision to the customer. **SCRP's** preference is that the association pay the permit fee directly to the governing jurisdiction.

South Coast Restoration & Painting is a registered DBA of **South Coast Painting & Developing, Inc.**

Barclay Arms Condominium Association, Inc., at all times acting through its Board of Directors and by its Association Documents, Florida State Statutes, and all other applicable federal, state, and local laws, does hereby engage **SCRP**, to proceed with work as outlined within this contract.

Upon acceptance of this proposal, please sign, date, and initial all pages where indicated and return a signed copy to **South Coast Restoration & Painting**.

SOUTH COAST RESTORATION & PAINTING

Signature 

Hal M. Eisenstein, Principal

Acceptance of Proposal - The prices, specifications, payment schedule and conditions contained within are satisfactory and are hereby accepted. You are authorized to do the work as specified.

Date of acceptance _____

Signature _____ Title

Signature _____ Title



These five photo pages are a partial overview of the exterior surfaces of one three story 24 unit building known as BARCLAY ARMS CONDOMINIUM ASSOC., INC., 1943 Monroe St., Hollywood, Florida 33020.

Photo Page 1



Outer tops and sides of clam shell awnings are to be repainted. A good amount of extra labor time is expended in order to properly cut in paint around the outer and inner portions of hurricane shutters.



Additional elevation examples.

Photo Page 2



PHOTO A...Previously painted catwalk decks and steps are to be recoated with skid resistant deck paint.

PHOTOS B & C...Exterior surfaces of painted main entry doors and casings plus common doors and casings are to be repainted.





PHOTO A...Owners are required to remove all wall hangings, furnishings, potted plants, etc. from patios being repainted.

PHOTOS B & C...Association is responsible for the trimming back and down of all foliage clinging to or otherwise obstructing paintable surfaces. Potted plants must be moved away from paintable surfaces.



Photo Page 4



PHOTOS A - F...South Coast is a FLORIDA STATE LICENSED GENERAL CONTRACTOR. >>>>

>>>>CONTINUATION...As such, upon request, we will supply pricing for restoration type repairs.



Barclay Arms Apartments



Benjamin Moore®
Paints

**EXTERIOR
PAINTING SPECIFICATIONS**

FOR

**Barclay Arms Apartments
1943 Monroe Street
Hollywood, FL 33020**

Reviewed by:

Sheldon Evans
BENJAMIN MOORE & Co.
Territory Representative
(C) 786-566-0472
(F) 862-432-4329
(E) Sheldon.Evans@benjaminmoore.com

Prepared by:

Charlie Woodling
Medallion's Paint World
5020 S. State Rd. 7
Ft. Lauderdale, FL 33314
954-529-8818
Charlie.medallion1@gmail.com

Barclay Arms Apartments

March 10, 2022 – **UPDATED 9/14/23**

ATTENTION: Arturo O'Neil– Property Manager
PHONE: 954-454-3757
EMAIL: arturo@managexchange.com

An inspection has been made by a Benjamin Moore Representative and/or an authorized dealer representative on the above listed address. This specification has been written for the purpose of offering an **eight (8) or ten (10) year** non-prorated (material and labor) warranty on the painting of the exterior stucco of these buildings.

A Benjamin Moore Representative or an authorized dealer representative will inspect the work in progress to help ensure proper preparation and application of all products.

SCOPE OF WORK: One (1), Three (3) story Apartment building with 24 units.

1. Bleach wash all mildew areas.
2. Completely pressure clean all exterior surfaces to be painted.
3. Seal all exterior stucco surfaces.
4. Caulk all windows & doorframes.
5. Remove/convert all corrosion from ferrous & non-ferrous surfaces.
6. Patch all cracks as specified within.
7. Paint all flashing, gutters and downspouts.
8. Paint all previously painted masonry and stucco surfaces.
9. Paint all sheer walls, wall bands.
10. Paint open stairwell, breezeway, open balcony walls, ceilings and columns, and other protected stucco surfaces.
11. Paint balustrades.
12. Paint stairwell railings.
13. Paint previously painted clamshell awnings. – Tops and sides
14. Paint inside front porches walls and ceilings.
15. Paint unit/utility doors and frames.
16. Paint all previously painted pipes and fixtures.
17. Previously painted floors and stairs.

OPTIONS:

1. **Color change (may require multiple coats of paint).**

EXCLUSIONS:

1. All windows and glass doors.
2. All light fixtures.
3. All hurricane shutters.
4. All previously unpainted surfaces.
5. Undersides of clamshell awnings.
6. Any area not specifically specified.

Barclay Arms Apartments

3.10 COATINGS SCHEDULE

A. EXTERIOR STUCCO

Areas to be painted: Previously painted masonry and stucco surfaces.

- 1) Primer - **Benjamin Moore's Ultra Spec Masonry Sealer 608 series** applied according to manufacturer's label directions.
- 2) 8 Year Finish - **Benjamin Moore's Ultra Spec Satin Finish N448 or Flat Finish 447 series** applied according to manufacturer's label directions.
OPTIONAL
- 3) 10 Year Finish - **Coronado Paint's Cryli Cote Exterior Satin Finish 410 or Flat Finish 10 series** applied according to manufacturer's label directions.

NOTE: Color change may require additional coats of paint.

B. EXTERIOR METAL

Areas to be painted: Ferrous metal railings and columns.

- 1) Rust Primer - **Benjamin Moore's Metal Rust Pre-prime V 155 series** according to manufacturer's label directions. (SPOT PRIME RUST)
- 2) Primer- **Benjamin Moore's Alkyd Metal Primer P06 series** applied according to manufacturer's label directions. (FULL PRIME)
- 3) Finish Coat - **Coronado Paint's MULTAPPLY Acrylic Semi-Gloss Finish 1190 Line** applied according to manufacturer's label directions.

Areas to be painted: Doors - Flashing
Aluminum or Galvanized

- 1) Primer- **Benjamin Moore/Corotech Acrylic Metal Primer V-110 series** applied according to manufacturer's label directions. (spot prime where necessary)
- 2) Finish Coat - **Coronado Paint's MULTAPPLY Acrylic Semi-Gloss Finish 1190 Line** applied according to manufacturer's label directions.

C. FLOORS - OPTIONAL

Areas to be painted: Previously painted floors, stairs.

Medallion Paint World and Contractor will Specify products.

D. CAULK & PATCHING MATERIALS

- 1) Caulk- Bostik 915
- 2) Sealant- Bostik Pro-MS50
- 3) Patching- Elastomeric Patching Compounds

E. CLEANING AGENTS

- 1) Corotech Oil & Grease Emulsifier V600 series
- 2) Corotech Rust Arrestor V180 series



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

RAMOS NETO, ANAEL I

SOUTH COAST RESTORATION AND PAINTING
6601 LYONS RD
SUITE C-2
POMPANO BEACH FL 33073

LICENSE NUMBER: CGC1527478

EXPIRATION DATE: AUGUST 31, 2024

Always verify licenses online at MyFloridaLicense.com



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



1000 W. Industrial Ave., Boynton Beach, FL 33426 Tel. 561-572-2600 Fax 561-572-2601

CGC1524317

Date: Wednesday, April 24, 2024

Project # 2022-0846

Job # 22364

Submitted To:

Arturo O'Neill
MANAGEXCHANGE
900 N Federal Highway
Hallandale Beach, FL 33009

Contact Information:

Phone: (954) 454-3757
Mobile:
E-mail: arturo@managexchange.com

Site Description: # S129814

Barclay Arms
1943 Monroe Street
Hollywood, FL 33020

Prepared By:

Randy Diaz
Contact Information:
Mobile: 561-777-9537
Office: 561-572-2600
E-mail: randy@pavinglady.com

Change Order # 1

Qty

Additional Work Description

This change order serves as credit of \$2,400.00 towards the original contract amount of \$19,845.00
Scope of work: South side pave area

Draft Print

Total: **\$17,445.00**

Above additional work to be performed under same conditions as specified in original contract unless otherwise stipulated

Pavement Consultant Randy Diaz

Accepted Authorized Signature



1000 W. Industrial Ave., Boynton Beach, FL 33426 Tel. 561-572-2600 Fax 561-572-2601

CGC1524317

Date: Friday, May 20, 2022

Proposal # 2022-0846

<p>Submitted To: Wanda Rojas Vesta Property Services 2500 Hollywood Blvd Hollywood, FL 33020</p> <p>Contact Information: Phone: (754) 217-3991 Mobile: (954) 774-8455 E-mail: wrojas@vestapropertyservices.com</p>	<p>Site Description: # S129814 Barclay Arms 1943 Monroe Street Hollywood, FL 33020</p>	<p>Prepared By: Randy Diaz</p> <p>Contact Information: Mobile: 561-777-9537 Office: (561) 572-2600 E-mail: randy@pavinglady.com</p>
--	---	---

Qty	Proposed Service(s) & Description(s)	
355.6 Sq. Yds.	<p>MILL AND PAVE IN (1) MOBILIZATION (North side, back of building) <i>Set up proper Maintenance of Traffic (cones, barricades, etc.). Remove and stockpile existing concrete car stops. Mill asphalt area up to 1" deep. Haul milled asphalt to local asphalt plant for recycling. Apply tack coat to milled area in preparation of new asphalt. Install 1.5" of new hot plant mixed asphalt, Type SP-9.5. Roll and compact new asphalt to 1" average, matching elevations of new asphalt to existing surfaces. Place and pin stockpiled concrete car stops with new rebar.</i></p>	
4500 Sq. Ft.	<p>STAR SEAL - (1) COAT SQUEEGEE, (1) COAT SPRAY IN (1) MOBILIZATION <i>Set up proper Maintenance of Traffic (cones, barricades, etc.). Thoroughly clean area to be sealcoated using steel bristle brooms and blowers. Clean and prime oil spots prior to sealcoating. Apply Star Seal sealer using (1) coat squeegee, (1) coat spray method. Sealer is applied as per manufacturer's specifications using 2-3 lbs of silica sand per gallon.</i></p>	
Sq. Ft.	<p>RESTRIPE - DOT TRAFFIC PAINT (South Side, back of building) <i>Restripe to match existing layout using DOT traffic paint. Includes: New Car Stops (21), Yellow Paint (130 LF), Single Line Yellow Stalls (29), Car Stop White paint (29)</i></p>	\$1,660.00

PAYMENT TERMS 1/3 Deposit, 1/3 Due at Mobilization, Due Upon Completion

Project Total: **\$17,810.00**

This proposal may be withdrawn at our option if not accepted within 7 days of May 20, 2022

Pavement Consultant Randy Diaz

Accepted Authorized Signature



TERMS AND CONDITIONS

The Paving Lady. hereafter referred to as "TPL"

Asphaltic concrete is a practical, clean, long-life pavement. Relatively soft when laid, it hardens with age. It usually "tire marks" for several months and there is a noticeable porosity at first, but rubber tire traffic will smooth these areas, sealcoating is also recommended to protect the asphalt and produce a smooth beautiful finish. Gasoline and oil spills will soften and dissolve the asphalt.

We cannot be responsible for the following:

- * Cracks in asphalt that may appear.
- * Grass that grows through new asphalt. It can be killed by a commercial weed killer.
- * Puddles under 1/4" where grade is less than 1" in 10 feet.
- * Puddles when patchwork is done.
- * Damage to sidewalks when it is necessary to cross them with our equipment to complete the job.
- * Damage to underground water, electric or utility lines.
- * Excessive cleaning, dirt or debris removal will result in additional costs to contract total.
- * Any damage caused by rain or sprinkler water.
- * If closed off area of construction is entered by anyone other than The Paving Lady staff and damage is done to this area or other areas, you will be charged for all repairs to said area.
- *New asphalt edges being damaged by weed eaters or lawn mowers.

This proposal is based on work being completed during the hours of 7:00 am and 5:00 pm, Monday through Friday (excluding holidays and weekends) unless otherwise stated in contract.

Any punch list items must be submitted in writing. No repairs will be made until 90% of the invoice amount has been paid.

If quantities are provided by client and plans are not available for review prior to submitting quote, final payment to be based upon actual quantities installed as determined by field measurements upon completion.

Any changes to this proposal without prior approval from The Paving Lady will void this proposal. All changes must be initialed by both parties. If The Paving Lady does not initial changes, original prices will be stated in proposal. **No work will be scheduled without a signed proposal and a deposit.**

When this form is signed by Customer and an officer of The Paving Lady it becomes a contract and customer agrees to pay for work completed, at the contract terms. Should a dispute arise between contractor and client, it will be negotiated in arbitration and mediation. Customer agrees to pay interest at a rate of 1.5% per month from date of completion on the unpaid balance. In addition, client shall [pay all legal costs and expenses including reasonable attorney's fees, if not resolved in mediation.

Materials and workmanship guaranteed one year from date of completion of work. No warranties will be honored unless payment is paid in full.

- *All deposits are non-refundable upon cancellation of contract by client for any reason.
 - *The Paving Lady shall not be responsible for "Bird Baths" on parking lots when the design grade is less than 1% fall. In the event that any work is done under this agreement as amended, or any side agreement, by The Paving Lady, Inc., which work is on public property, the customer agrees and understands that the project property which it owns shall be charged with all indebtedness hereunder.
 - *It is expressly agreed that there are no promises, agreements, or understandings not set out in this contract. Any subsequent cancellations or modifications must be mutually agreed upon in writing. Unless otherwise agreed, any additional; expense not covered by this quotation which is incurred by The Paving Lady as a result of utility conflicts, adverse weather or interruptions, delays or damages caused by other contractors will be borne by customer.
- Unless a time for the performance of The Paving Lady's work is specified, The Paving Lady shall undertake its work in the course of its normal schedule. The Paving Lady shall not be liable for any failure to undertake or complete work due to causes beyond its control, including but not limited to fire, flow, or other casualty, labor disputes, accidents or acts of God, whether directly or indirectly affecting this work or other operation in which The Paving Lady is involved.
- Unless otherwise agreed herein, payment terms are net cash, upon receipt of The Paving Lady's invoice. All moneys not paid when due shall bear interest at the maximum rate allowed by law at the project. Progress payments will be made on a monthly basis.

Notice Of Lien: Any person or company supplying labor or materials for this improvement to your property may file a lien against your property if that person or company is not paid for the contributions.

Customer Initial _____ Date _____



SEALCOAT CONDITIONS

1. Contract contingent upon property representative meeting with estimator to agree on scope of work.
2. This contractor will not be responsible for sealer splattered by rain, sprinkler water or any fine mist of sealer on any part of property.
3. Contractor not responsible for damage to landscaping, irrigation, or the condition of trees, after the saw cutting and patching process when repairing root damage. Due care will be given.
4. Handicap stalls are being re-stripped per existing format, liability will not be assumed, and we make no claim that they are in current compliance with local, county, state or federal ADA codes.
5. Traffic control and/or MOT by others.
6. Price contingent upon all work being awarded and done at the same time.
7. Contractor not responsible for damages caused to or by the vehicles or persons trespassing in designated work areas. Areas will be barricaded.
8. Any drainage problems of existing lot requiring a change in elevations requires engineered drawings.
9. Contractor not responsible for pre-existing sub-surface conditions.
10. Permits to be obtained by this contractor, permit fees, processing fees and any additional work required by permit will be extra.
11. If a permit is required in Broward or Palm Beach County there will be a \$500.00 expediting fee. In Dade County, there will be a \$750.00 expediting fee.
12. If owner/agent directs work to be completed without required permitting, all costs permit fees, procurement fines will be the sole responsibility of client.
13. Upon final inspection, City Inspector may require additional changes to site, which are not included in this proposal.
14. Contractor not responsible for pre-existing water problems.
15. If flagmen are required there will be an additional charge.
16. Due to condition of existing asphalt we cannot warranty reflective cracking.
17. All pre-existing vegetation growing in asphalt to be treated with herbicide by landscaper prior to overlay.
18. Tracking on roadways will occur from heavy trucks with tack on their wheels hauling asphalt.
19. Any items not specified in our proposal will be an extra to the contract.
20. Contractor not responsible for damage to landscaping, trees, irrigation or underground lines as a result of work being performed. Due care will be given.

Customer Initial _____ Date _____



ASPHALT PAVING CONDITIONS

1. Contract contingent upon property representative meeting with estimator to agree on scope of work.
2. Contractor not responsible for the existing conditions of car stops. We suggest you scrape and/or pressure clean them prior to start o asphalt work.
3. Price based on existing asphalt being 1" thick, if existing asphalt is more than 1" thick, there will be additional disposal fees.
4. New asphalt pavement is subject to scuffing and marking until cured.
5. Contractor cannot guarantee against future settling or elevations because the backfill work was done by others.
6. Subgrade to be + or - 1/10th to grade. By others.
7. BY OTHERS: Stake-out, elevations, densities, as-builts, layout, landscaping, irrigation, electrical, demucking, demolition, clearing, grubbing and tree removal.
8. If existing rock base is not sufficient per governing code, you will be billed for additional material and machine time.
9. Contractor not responsible for damage to landscaping, irrigation, or the condition of trees, after the saw cutting and patching process when repairing root damage. Due care will be given.
10. Buried utility lines and irrigation to be relocated or repaired by client.
11. Handicap stalls are being re-striped per existing format, liability will not be assumed, and we make no claim that they are in current compliance with local, county, state or federal ADA codes.
12. Traffic control and/or MOT by others.
13. Price contingent upon all work being awarded and done at the same time.
14. Contractor not responsible for damages caused to or by the vehicles or persons trespassing in designated work areas. Areas will be barricaded.
15. Any drainage problems of existing lot requiring a change in elevations requires engineered drawings.
16. Contractor not responsible for pre-existing sub-surface conditions.
17. Permits to be obtained by this contractor, permit fees, processing fees and any additional work required by permit will be extra.
18. If a permit is required in Broward or Palm Beach County there will be a \$500.00 expediting fee. In Dade County, there will be a \$750.00 expediting fee.
19. If owner/agent directs work to be completed without required permitting, all costs permit fees, procurement fines will be the sole responsibility of client.
20. Upon final inspection, City Inspector may require additional changes to site, which are not included in this proposal.
21. Contractor not responsible for pre-existing water problems. Milling or overlay does not guarantee the elimination of pre-existing standing water or drainage problems.
22. All new construction requires survey and/or engineered drawings with proposed and existing elevations.
23. No offsite improvements included unless specifically noted and/or priced.
24. If flagmen are required there will be an additional charge.
25. Due to condition of existing asphalt we cannot warranty reflective cracking.
26. All pre-existing vegetation growing in asphalt to be treated with herbicide by landscaper prior to overlay.
27. Tracking on roadways will occur from heavy trucks with tack on their wheels hauling asphalt.
28. Install traffic barrier cones, string and ribbon at work areas as necessary included.
29. Any items not specified in our proposal will be an extra to the contract.
30. Driving over the edge of new asphalt during curing process may damage the edge.
31. Bonding is not included.
32. The Paving Lady is not responsible for any gate or traffic light loop wires and or sensors damaged during our scope of construction. due care will be given.

Customer Initial _____ Date _____



PATCHWORK CONDITIONS

1. Contract contingent upon property representative meeting with estimator to agree on scope of work.
2. Contractor not responsible for the existing conditions of car stops. We suggest you scrape and/or pressure clean them prior to start of asphalt work.
3. Price based on existing asphalt being 1" thick, if existing asphalt is more than 1" thick, there will be additional disposal fees.
4. New asphalt pavement is subject to scuffing and marking until cured.
5. Contractor cannot guarantee against future settling or elevations because the backfill work was done by others.
6. Subgrade to be + or - 1/10th to grade. By others.
7. BY OTHERS: Stake-out, elevations, densities, as-builts layout, landscaping, irrigation, electrical, demucking, demolition, clearing, grubbing and tree removal.
8. If existing rock base is not sufficient per governing code, you will be billed for additional material and machine time.
9. Contractor not responsible for damage to landscaping, irrigation, or the condition of trees, after the saw cutting and patching process when repairing root damage. Due care will be given.
10. Buried utility lines and irrigation to be relocated or repaired by client.
11. Handicap stalls are being re-striped per existing format, liability will not be assumed, and we make no claim that they are in current compliance with local, county, state or federal ADA codes.
12. Traffic control and/or MOT by others.
13. Price contingent upon all work being awarded and done at the same time.
14. Contractor not responsible for damages caused to or by the vehicles or persons trespassing in designated work areas. areas will be barricaded.
15. Any drainage problems of existing lot requiring a change in elevations requires engineered drawings.
16. Contractor not responsible for pre-existing sub-surface conditions.
17. Permits to be obtained by this contractor, permit fees, processing fees and any additional work required by permit will be extra.
18. If a permit is required in Broward or Palm Beach County there will be a \$500.00 expediting fee. In Dade County, there will be a \$750.00 expediting fee.
19. If owner/agent directs work to be completed without required permitting, all costs permit fees, procurement fines will be the sole responsibility of client.
20. Upon final inspection, City Inspector may require additional changes to site, which are not included in this proposal.
21. Contractor not responsible for pre-existing water problems.
22. All new construction requires survey and/or engineered drawings with proposed and existing elevations.
23. No offsite improvements included unless specifically noted and/or priced.
24. If flagmen are required there will be an additional charge.
25. Due to condition of existing asphalt we cannot warranty reflective cracking.
26. All pre-existing vegetation growing in asphalt to be treated with herbicide by landscaper prior to overlay.
27. Tracking on roadways will occur from heavy trucks with tack on their wheels hauling asphalt.
28. Install traffic barrier cones, string and ribbon at work areas as necessary included.
29. Patchwork does not address drainage or may hold water after repair.
30. Any items not specified in our proposal will be an extra to the contract.

Customer Initial _____ Date _____



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

COMUZZI, MAURO

THE PAVING LADY
1000 WEST INDUSTRIAL AVE
BOYNTON BEACH FL 33426

LICENSE NUMBER: CGC1524317

EXPIRATION DATE: AUGUST 31, 2024

Always verify licenses online at MyFloridaLicense.com



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



Barclay Arms Condo.
C/O Arturo O'Neill, LCAM
1943 Monroe St.
Hollywood, FL. 33020

October 2nd, 2023
954-454-3757
Arturo@managexchange.com

Letter BID – Railings

This Proposal is for the removal and disposal of all existing pre-caste balustrades on the atrium areas decks and stairways one 3-story building known as Barclay Arms Condo.

General Scope of Work:

1. Cut away and demo all existing pre-caste balustrades approximately (600 LF).
2. Dispose of concrete into an onsite dumpster.
3. Repair decks and steps where balustrades have been removed.
4. Install, to code, 42" high, aluminum powder coated railings.
5. Color to be chosen by owner from standard offerings.
6. Pre-inspections to be done by the contractor with a written list(s) presented to the association/management/owner of any existing damages to (hopefully) avoid any "finger-pointing" after the fact.
7. All work is to be done in a workmanlike manner by skilled, professional mechanics and carried out in such a way as to minimize any inconvenience to the occupants and tenants. The contractor shall maintain a full workforce from start to completion and shall leave a qualified English-speaking foreman on the job at all times. In addition, one of their operations managers will spot-check regularly. **SCRP** personnel wear shirts identifying them as employees of **SCRP** and do not allow its personnel to remove their shirts or play radios on the job site.

Price: 600LF x \$140 per LF = \$84,000.00

Payment Schedule:

- 50% (\$42,000) deposit together with fully signed contract. Material will then be ordered.
- 50% balance due within 5 days of completion.

NOTE: If a payment schedule is unacceptable for any reason, management/association must advise the contractor prior to execution of the contract otherwise guidelines as set forth are to be met by all parties.

CHANGE ORDERS: Any changes or deviations from this scope of work must be authorized and approved by both the contractor and association/management/owner.

COLLECTIONS NOTE: All payments for goods and services rendered are due as per terms stated under the payment schedule in this contract. Any invoices not paid as per said schedule shall be subject to interest at 5% per month. In addition, the owner agrees to pay all costs of collection, including reasonable attorneys and court fees. South Coast Restoration & Painting reserves the right to decline manpower until the account becomes current per the payment schedule.

SCRP employs large staffing of full-time journeyman class mechanics plus support staff, operations managers, crew chiefs, etc., and are fully covered by Workers' Compensation Insurance, \$2,000,000 General Liability Insurance plus additional Umbrella Coverage of \$3,000,000.

Any form of harassment will not be tolerated by **SCRP** or from any source, whether association/management/owner, co-workers or visitors.

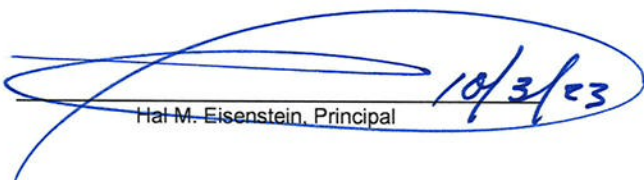
The prices in this proposal are good for (30) days. If executed in that time frame and allowed to proceed immediately, pending issue of permit (if required), pricing to remain constant. If signing is delayed, contract prices may be subject to any increases in labor, material, insurance costs, equipment costs, etc.

If permitting is required, **SCRP** will handle the paperwork for the same with the cooperation of the association/management/owner. The Association President /Board member or Authorized Agent will be required to sign some of the government forms. If Engineering is required, the association/ management/ owner will contract directly with the Architectural or Engineering firm of their choosing or a firm recommended. All permitting costs (if required), plus **SCRP's** courier, administration costs and expeditor fees plus (20%) will promptly be reimbursed to **SCRP** as invoiced. Revisions required by the governing body will be charged at \$150.00 per revision to the customer. **SCRP's** preference is that the association pay the permit fee directly to the governing jurisdiction.

South Coast Restoration & Painting is a registered DBA of **South Coat Painting & Developing, Inc.**

Barclay Arms Condominium Association, Inc., at all times acting through its Board of Directors and by its Association Documents, Florida State Statutes, and all other applicable federal, state, and local laws, does hereby engage **South Coast Restoration & Painting**, to proceed with work as outlined within this contract.

Upon acceptance of this proposal, please sign, date, and initial all pages where indicated and return a signed copy to **South Coast Restoration & Painting**.


Hal M. Eisenstein, Principal

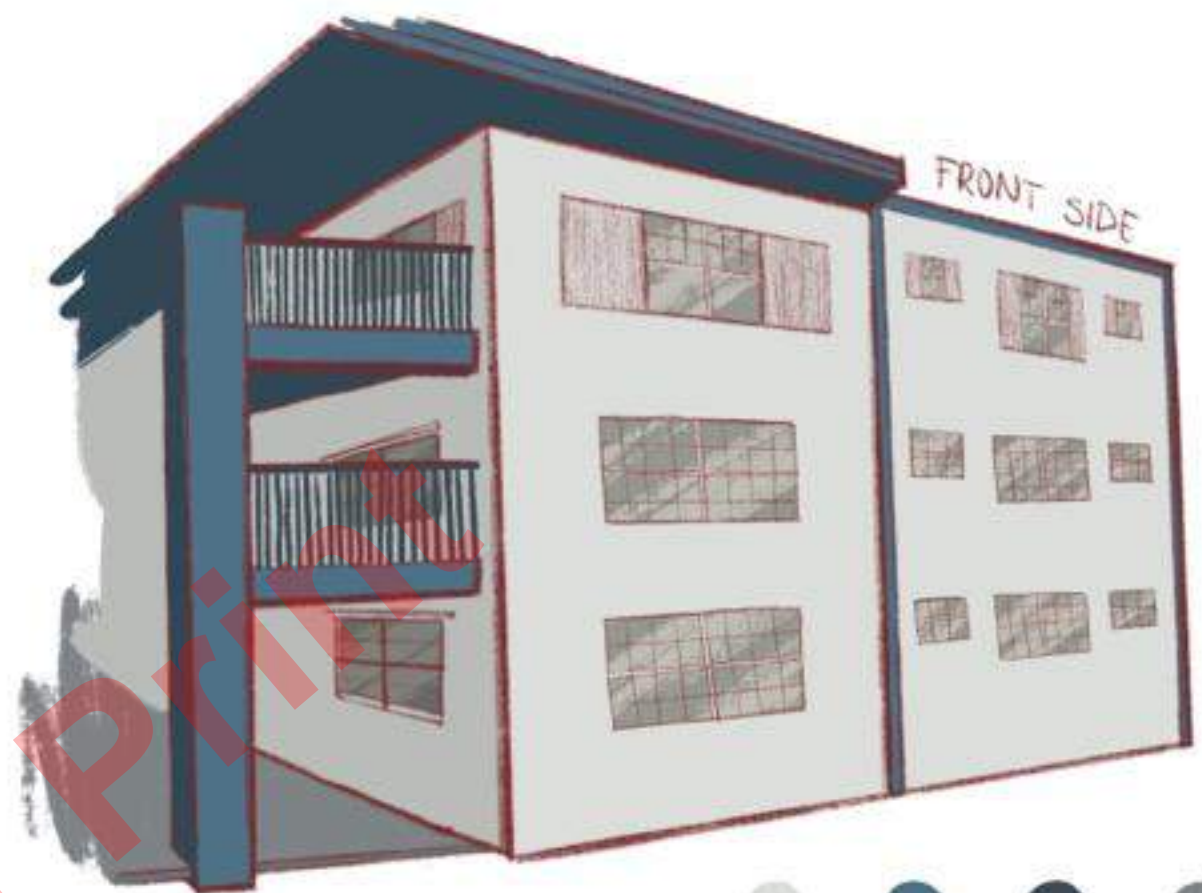
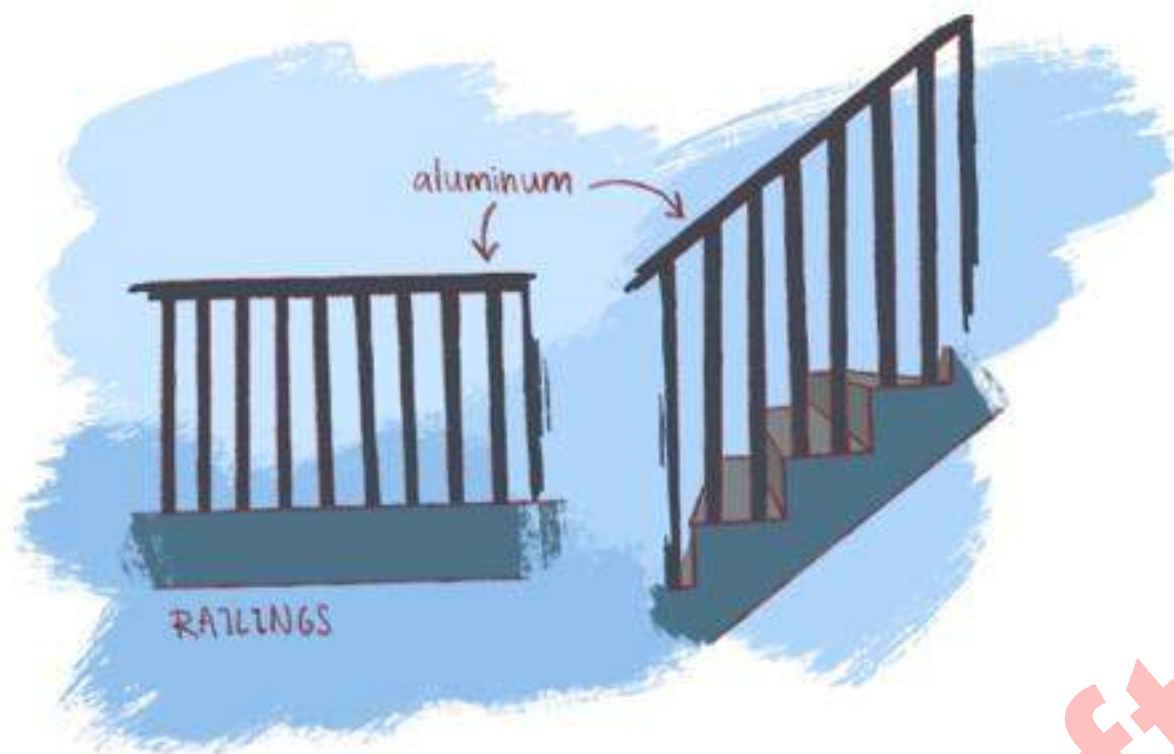
Authorized Agent





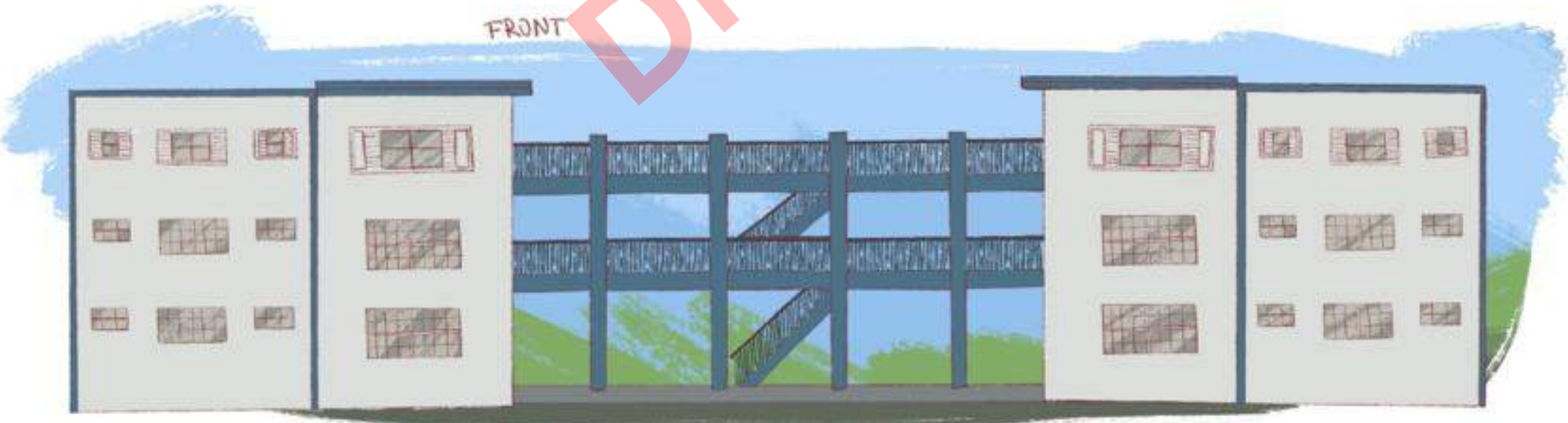
BARCLAY ARMS CONDO

1943 Monroe st, Hollywood, FL



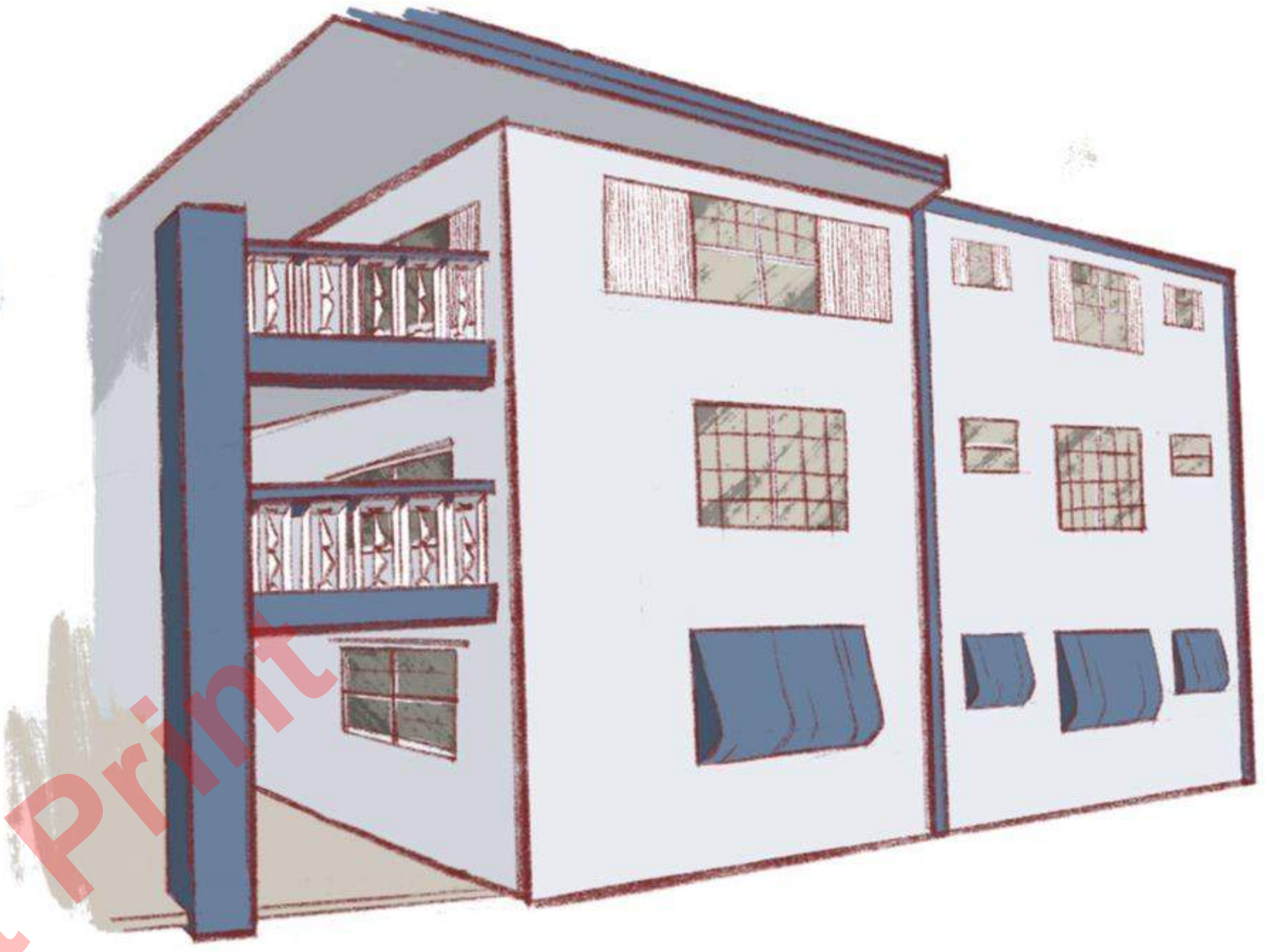
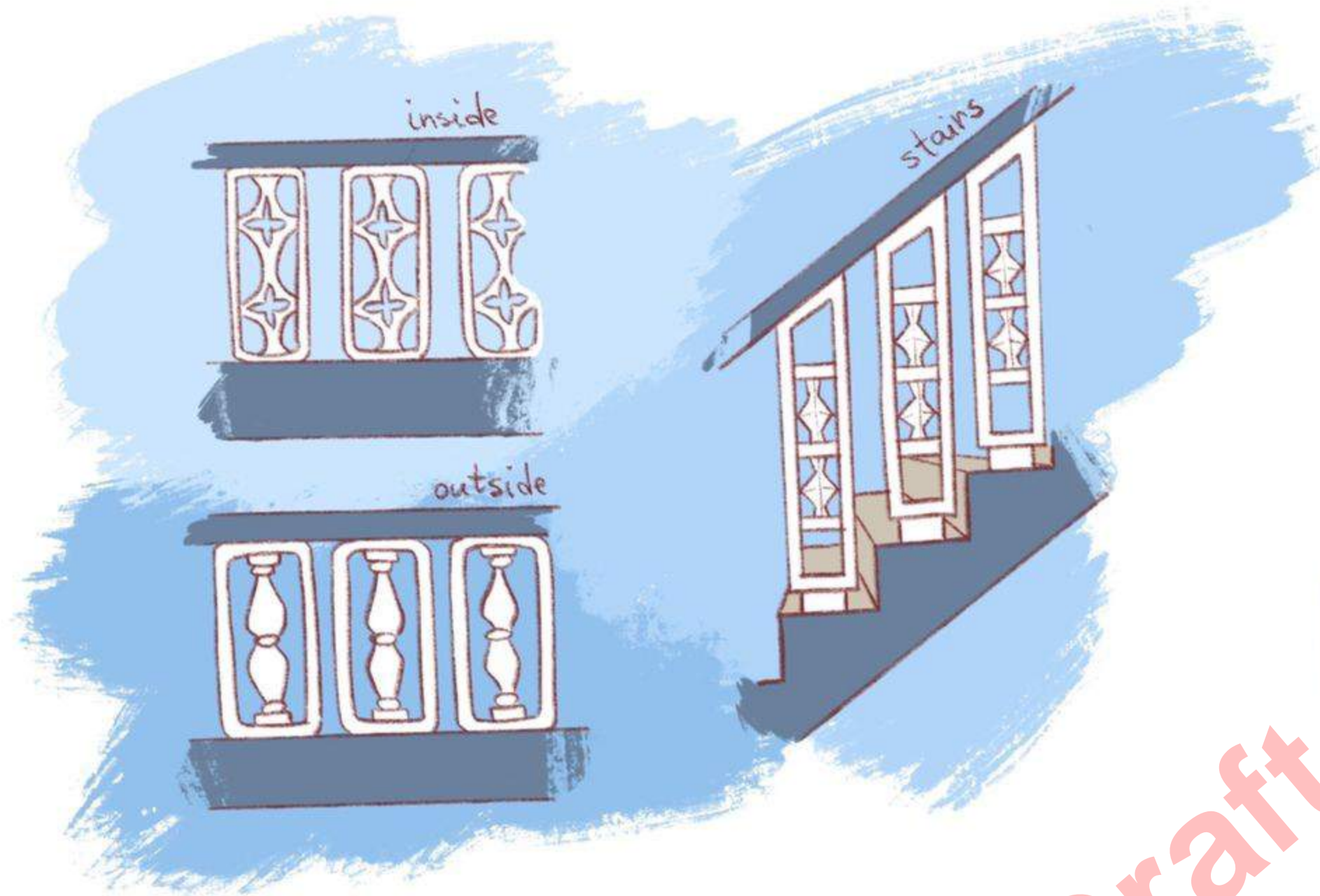
- SW 7070
- SW 9149
- SW 7615
- SW 7074

Draft Plus

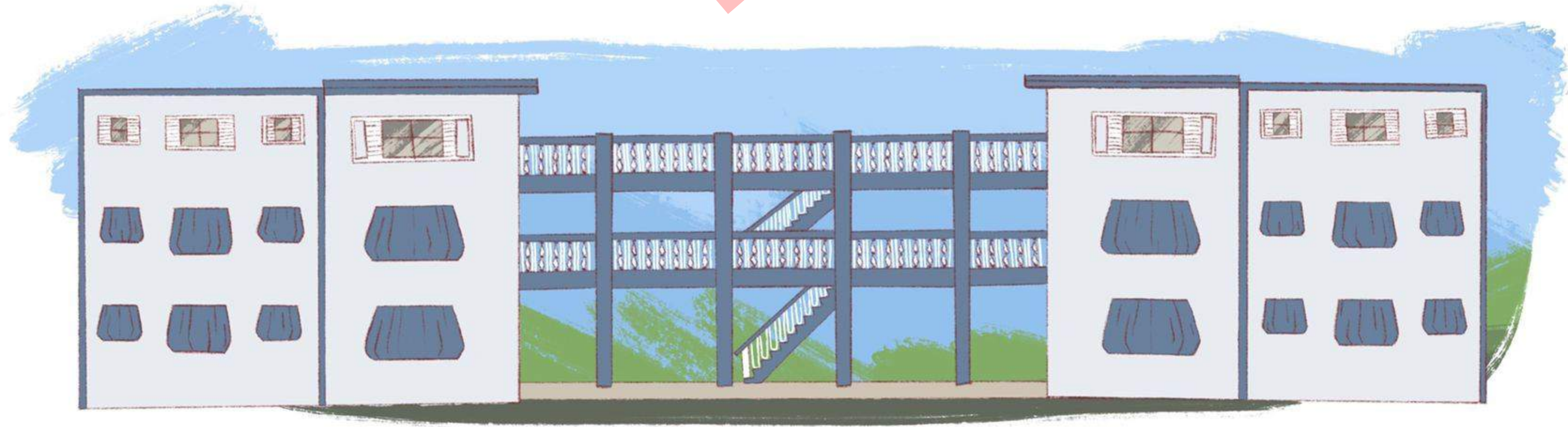


BARCLAY ARMS CONDO

1943 Monroe st, Hollywood, FL



Draft Print





1943 Monroe Street - Barclay Arms

Proposed Paint Palette

PPU24-14
White
Moderne



.001 BARCLAY BLUE

S510-4
Jean Jacket
Blue



N490-2
Icicles



Notes:

Color 1 Base, Color 2 Accent, Color 3 Trim.



1943 Monroe Street - Barclay Arms

Proposed Paint Palette

PPU24-14
White
Moderne



.001 BARCLAY BLUE

S510-4
Jean Jacket
Blue



Notes:



March 10, 2022

BARCLAY ARMS APARTMENTS

1943 Monroe Street
Hollywood, FL 33020

Hank Greenberg
Sales Representative
561-779-2203

ATTENTION: WANDA ROJAS

Phone Number: 954-774-8455
Email: wrojas@vestapropertyservices.com

Dear Wanda and BOD,

Enclosed please find our proposal for professional paint services. It is written to meet the needs of **BARCLAY ARMS APARTMENTS** in conjunction with the specifications provided by **UCI PAINTS**. Please read the proposal carefully to ensure that we have included all the items you requested.

Biscayne Painting Corp. is licensed, fully insured, and we are a drug-free company. We have been serving South Florida since 1986 with hundreds of satisfied customers. Customer satisfaction is guaranteed, and the quality paint and waterproofing materials used on our jobs carry long term warranties. Our sales professionals are fully knowledgeable of all phases of the painting process and there to assist you in any way possible.

Returning this agreement with your signature is all that is necessary to schedule your project.

Best regards,

Marlon C. Luis

Marlon C. Luis
President
Biscayne Painting Corp.

47,800

SCOPE OF WORK

The work to be done by Biscayne shall include the furnishing of all **materials, labor, tools, and equipment** required to complete this project. The submission of a bid by this contractor confirms an understanding of all conditions pertaining to this work and proper application of materials specified. **Preparation and repainting of the exterior surfaces of (1) Building 3-Stories total of 29 units.**

INCLUSIONS (PREPARATION)

1. Pre-treat and sanitize any mildew and algae.
2. Completely pressure clean all surfaces to be painted as described within.
3. Seal all direct weather exposed exterior stucco surfaces as described within.
4. Caulk all window frames, door frames and 90-degree angles as described within.
5. Patch all through wall protrusions, cracks on stucco substrates as described within.
6. Prime any bare wood, rusted metal, and bare metal prior to painting.

INCLUSIONS (SURFACES TO BE PAINTED)

1. Paint all previously painted exterior stucco walls, ceilings and eyebrows.
2. Paint all fascia and soffits.
3. Paint all masonry railings and decorative masonry.
4. Paint all drip caps, gutters, downspouts, electrical boxes and conduits.
5. Paint all catwalk decks, stairs, walkways and landings.
6. Paint all stairwell walls, ceilings, floors and railings.
7. Paint all entry and utility doors and frames.
8. Paint all columns.

EXCLUSIONS

1. Windows and sliding door frames.
2. Hurricane Shutters.
3. Light fixtures.
4. All other areas not mentioned.

COATINGS SCHEDULE

#3-2200 "Aqua-Prime" Universal Epoxy Rust Inhibitive and Flash Bond Primer (Metal)
#24-100 "Ultra-Prep" 100% Acrylic Primer (Wood)
#25-020 "Uni-Seal" 100% Acrylic Masonry Conditioner OR #25-150 "Uni-Seal" Pigmented Acrylic Chalky Wall Masonry Sealer (DEPENDING ON COLOR CHANGE)
#42-100 "Stuko-Guard" Mildew Resistant Acrylic Satin Wall Enamel.
#50-100 "Ultra-Kote" 100% Acrylic Exterior Satin Finish
#571-100 "Acryl-Thane" Exterior Urethane Acrylic Industrial Door Enamel
#S6-046 Red Devil Masonry & Concrete Repair (Gray)
#S6-0986 "RD-3000" High Solids Quick-Cure Acrylic/Urethane Hybrid caulk
#S6-10907 "Paint Master" Urethane Acrylic Elastomeric Sealant 50 Year Top Line Caulk

GENERAL CONDITIONS

Biscayne will supply all materials, tools, and equipment necessary for the cleaning, preparation, sealing and painting of all surfaces specified. This proposal is prepared especially for **BARCLAY APARTMENTS**, comes with a **(8)** year limited labor and material warranty. All products are manufactured by **UCI PAINTS** in conjunction with their specifications. The **UCI PAINTS** personnel will make periodic inspections before, during and upon completion of the painting project. Occasionally changes in procedures are made due to special items or unforeseen conditions.

WORKMANSHIP

Biscayne will be solely responsible and use utmost care in the protection of the occupants' property including all balconies, screens, windows, walkways, shrubbery, parked vehicles, and any property in the area from paint/or other damage. Biscayne will be responsible for the rectification of any such damage; the cleanup involved in work outlined in this specification, and his employees during the performance of their labor. All work to be done in workman like manner by skilled mechanics and carried out in such a way as to minimize any inconvenience to the occupants and tenants. Biscayne will maintain a full workforce from start to completion and shall have a qualified foreman on the job at all times.

ACCESS

The owner agrees to and will be responsible for the trimming and/or removal of all foliage clinging to or otherwise obstructing the building and provide adequate access to the areas to be painted. The owner agrees to make every effort to notify all occupants of the property to remove, so necessary, so that the contractor can proceed without delay.

STAGING AREA

Biscayne Painting Corp. will submit requirements for staging area (shop and storage area) and the owner will make every effort to provide a suitable area. At the end of each working day, all equipment ladders, paint, supplies, vehicles, etc. must be returned to the staging area and the working area left clean. Protection of this area is sole responsibility of the contractor and shall be left in a clean, safe, and acceptable manner.

PERMITS

If required, the cost of any state, county or municipality permitting, will be added to the contract price at actual cost.

PERSONNEL

BISCAYNE PAINTING IS A DRUG-FREE WORKPLACE

POSTING

Biscayne Painting Corp. will post notices prior to pressure cleaning and painting. These notices are for the convenience of the homeowner and Biscayne Painting Corp.

LICENSE

Biscayne Painting Corp. will produce on demand any valid licenses necessary to operate in the appropriate county. Marlon Luis qualifies Biscayne Painting Corp. as a licensed State of Florida Certified General Contractor.

INSURANCE

Biscayne Painting Corp. will furnish suitable insurance certificate covering liability and property damage, Workman's Compensation coverage, that shall be kept in force for the duration of the project. The contractor shall hold harmless from all liens. It is understood and agreed that the contractor and contractor's insurer will be held harmless for alleged or actual damages/claims as a result of mold, algae, or fungus. It is understood that the contractor's and the contractor's insurer will exclude all coverage, including defense, damages related to bodily injury, property damage, and clean up expenses cause directly or indirectly in whole or in part for any action brought as a result of mold, including fungus and mildew regardless of the cost, event, material, product, or workmanship that may have contributed concurrently or in any sequence to the injury or damage that occurs.

LIASON

The owner's designated representative and Biscayne will transact all business relating to the job and will not permit unauthorized inference from residents of the owner's property or from the contractor's employees.

PREPARATION OF THE SURFACES TO BE PAINTED

Surfaces must be prepared in accordance with P.D.C.A. National Paint Standards to provide a substrate suitable for the long-term adhesion of specified coating. Proper preparation is the responsibility of the contractor. The following recommendations are for guidance only since other suitable methods may be substituted for the procedures. If surfaces cannot be put into proper condition for finishing by specified methods, notify owners in writing, or assume responsibilities for such surfaces and rectify any unsatisfactory results.

PAINT SAMPLE

If asked to, prior to start of the job, and for signed approval, the owners will designate an area of a building on which the Biscayne Painting Corp. will apply a paint sample of chosen final color and finish. **Color changes requiring additional cost of paint may be subject to extra charges.**

UNFORESEEN CONDITIONS

The contractor will not be held responsible for additional costs, including overhead and profit, cause by changes order in the work or made necessary by unforeseen conditions including but not limited to labor disputes, fire, unusual delays in transportation, acts by public utilities or public bodies, inspectors, adverse weather conditions, unavoidable casualties, catastrophes, war, civil disturbances, acts of God, or other causes beyond the contractor's reasonable control. Appropriate adjustments in the agreement price and profit thereon shall also be made to complete the contractor for his additional costs and overhead occasioned by and extensions of time.

NOTE!!! CONCEALED CONDITIONS

Occasionally, Biscayne's cleaning technique or while working on the project, an unforeseen condition necessitating additional labor and/or materials. The contractor must either re-negotiate his contract or assume responsibility to properly correct the condition.

HAZARDOUS MATERIAL

In the event the contractor encounters on the jobsite, lead based paint or any other hazardous material such as, but not limited to, Asbestos or Polychlorinated Biphenyl (PCB) about which the contractor has not been notified in writing prior to entering into the Agreement with the owner, the contractor shall immediately stop work and shall not be responsible for testing, removal, disposal or rendering harmless of such material. The owner agrees to hold the contractor harmless as to any liability resulting from such material in the event the contractor has not been notified as aforesaid. Additional costs including overhead and profit incurred by these conditions shall be reimbursed to the Contractor.

EXTRAS AND CHANGES

It is anticipated that the above-mentioned work shall be inclusive and that there will not be extras and changes. The need for extra work or changes in the specifications will be the sole responsibility and determination of the Owner and shall be submitted as a writing work order to the Biscayne. No extra work will be done, or changes made in the work as specified without a written work order from Owner.

RELEASES OF LIEN

Biscayne will furnish a Release of Lien for all materials supplied, as well as lien equipment used in the performance of this work.

PRE-LIEN NOTICE AND/ OR LICENSE INDEMNIFICATION

Pre-lien notice and/or license identification as required by individual states.

INDEMNIFICATION

The owner shall indemnify and hold harmless the contractor from all claims arising out of activities, facilities or equipment of the owner or other parties provided that any such claim is caused in whole or in part by any negligent act or omission of the owner or other parties.

WARRANTY AND INSPECTIONS

1. **UCI PAINTS** will submit **(8)** year limited labor and material warranty on all stucco surfaces upon completion of job.
2. The factory representative of **UCI PAINTS** shall make themselves available upon request to ensure the success completion of the job. **UCI PAINTS** will also make inspections as he deems necessary with reports to owners and contractors.
3. Except as stated above, contractor makes no express or implied warranties of any kind, including without limitation, merchantability, or fitness, and shall not be responsible for any consequential damages regardless of cause.

GENERAL NOTES

1. **Biscayne Painting Corp.** will not be responsible for delaminated coats.
2. All areas that could cause paint failure due to moisture should be addressed and eliminated. This would include but is not limited to:
 - a. **Gutters and downspouts not working properly.**
 - b. **Previous coats of paint not adhering properly.**
 - c. **Wood checking (cracks and splits in wood)**
 - d. **Deteriorated caulking or sealant**
 - e. **Gaps between substrates**
 - f. **Rotten wood**
 - g. **Areas affected by water splashing.**
 - h. **Painting an un-dry substrate**
 - i. **Un-patched nail holes**
3. If a permit is required for the above-mentioned scope of work, the Owner will be responsible to pay any fees to obtain the permit.
4. If additional work is required outside of the above-mentioned scope of work, there will be a change order provided with a new cost, which must be signed and dated before proceeding with newly added scope of work.
5. Our proposal is based on **UCI specifications.**
6. Structural repairs must be specified by Structural Engineer.
7. Choice of color may determine how many coats will be required to cover existing colors.
8. Certain colors can also determine a specific product/base requirement.
9. **Color changes requiring additional cost of paint may be subject to extra charges.**
10. If required, Biscayne will provide Port-a-John and storage container to a pre-approved location.
11. If the city, county, or municipality requires a police officer present to complete the above-mentioned scope the work, the PROPERTY OWNER will be responsible to pay for ANY & ALL charges.

COLLECTIONS

All payments for goods and services rendered are due upon receipt of invoice. Any invoice not paid within **THIRTY (30)** days shall be subject to interest at **1 ¼%** per month. In addition, owner agrees to pay all cost of collection, including reasonable attorneys' fees.

PROPOSAL AMOUNT \$35,600.00

AMOUNT IN DETAIL

PROPOSED PAYMENT SCHEDULE TO BE DETERMINED

20% Down payment of total contract price \$7,120.00

Remaining balance of **\$28,480.00** to be paid in **(3) Installments.**

Installment 1) 2 weeks from start date..... \$9,493.33

Installment 2) at 50% Project Completion..... \$9,493.33

Installment 3) at 100 % Project Completion \$9,493.33

OPTIONS (NOT INCLUDED IN PROPOSAL AMOUNT)

A. Color Change (Additional) \$7,000.00

To accept this option, initial here _____

PROPOSAL AND PAYMENT TERMS ACCEPTED BY

This proposal and agreement constitutes the entire agreements of the parties. No other agreement, oral or written, pertaining to the work to be performed under this contract exists between the parties. This agreement can be modified only by an agreement in writing by both parties.

BISCAYNE PAINTING CORP.

____ 03/10/2022 ____
Date

Barclay Arms Apartments

Date

 **Top of The LADDER PAINTING**
Steps Above the Rest!
561-688-8012

We Accept Credit Cards
VISA    

Licensed & Insured U20168/MCPTG6952/CC#18-PU-21314-R

www.topoftheladderpainting.com

To: The Barclay Arms Condominiums
1943 Monroe St. Hollywood, FL 33020

RE: Proper preparation, pressure cleaning, sealing, crack repair, and painting the exterior of the Barclay arms condominiums.

NAME: STEVE KIRIAKAKIS, EKATERINA YAGODINA
PHONE NUMBER: office: 416-884-7855, 917-756-7006
EMAIL: SKIRIA2734@RPGERS.COM YAGODINAKAT@GMAIL.COM

DATE: 3/22/2022

Top of the Ladder Painting has been stepping up to the challenge since 2000. Having successfully been one of the longest running local painting companies fully licensed and insured in Palm Beach County, Martin County and Broward County. We have tackled a vast variety of residential and commercial projects.

Thank you and I look forward to hearing from you.

**Respectfully,
Jeremy DeFazio
Owner
(561)722-2989**

jdefazio@topoftheladderpainting.com

SCOPE OF WORK: proper preparation, pressure cleaning, sealing, crack repair, and painting the exterior of The Barclay Arms condominium.

INCLUSIONS:

- Chemical treat all mildew areas to be painted.
- Completely pressure clean all exterior surfaces to be painted.
- Scrape any peeling paint surfaces.
- Seal (prime) all exposed exterior masonry surfaces to be painted.
- Patch all cracks with an elastomeric patching compound.
- All window frames and door frames will be caulked as needed.
- Prepare and paint with Benjamin Moore ultra-spec flat or satin all previously painted exterior vertical and horizontal stucco, walls, exterior side of shutters, trim, stucco rails, ceilings, downspouts, and fascia.
- All previously painted doors will be prepared and painted with Benjamin Moore rust scat semi-gloss.
- Please note we will not prime any new stucco patches that will be done by the contractor doing the repairs.

EXCLUSIONS:

Painting of window frames, interior of elevator, light fixtures, accordion shutters, screen enclosure framing, all floors, interior of lobby, priming of any new stucco patches, and all other areas not listed in scope of work.

OTHER SCOPE ITEMS (OPTIONS):

- PREPARE AND PAINT ALL FLOORS (excluding floors inside the patios).

GENERAL CONDITIONS:

Top of the ladder painting shall provide all required material, labor, necessary equipment, supervision, insurance, and any requires permits to finish the work as specified and required by the provisions of the current county edition of the south Florida building code.

FACILITIES AS NEEDED FOR USE OF CONTRACTORS

EMPLOYEES:

- Contractor shall protect and safeguard from damage, all real and personal property of the individual unit owner.
- Contractor shall perform all work in strict compliance with written specifications and shall specifically request the owner inspection agent provide a written listing of those portions of the work which are to be inspected prior to the finish coat.
- Contractor shall provide certificates of insurance, and maintain the following insurance coverage,

indemnifying the owner to the stated limits, where applicable.

1. Workman's compensation – statutory limits
2. General liability - \$1,000,000
3. Property damage - \$1,000,000

- In addition, the contractor shall hold the association, their respective officers, directors, members, employees, and designated inspectors harmless from all legal actions which may arise out of the performance of the work.
- The contractor shall arrange with the designated manager of the complex for working space, space for storage of materials, or placement of storage/work trailer on job site and access to all areas where the work of the contractor is to be performed. The manager of the complex or building will arrange for automobiles to be removed from areas adjacent to buildings where work is in progress, to safeguard against possible damage to those automobiles.
- The contractor once having started work, will continuously and expeditiously proceed with the same until completion of the same, barring weather delays. Monday to Friday working days excluding weekends.
- All stages, ladders, etc. shall be secured at the end of each workday. Upon completion of the work, the contractor shall promptly remove of all debris, materials, equipment, etc. and shall leave the premises of the building completely clean.

- All paints, waterproofing coatings, sealers etc. shall be delivered to the job site in sealed containers and shall be used in strict accordance with the manufacturer.

MATERIALS AND WORKMANSHIP QUALITY:

- All materials furnished shall conform to the requirements of these specifications.
- All materials shall be delivered to the jobsite in the original factory containers and shall be clearly marked with coating type.
- All work shall be done in a workmanlike manner to produce a proper finish. The applications shall adhere to the manufacturer's instructions and specifications for use of the materials as well as methods of application.

COATING SCHEDULE:

ALL PREVIOUSLY PAINTED MASONRY, STUCCO AND WOOD TRIM SUBSTRATES:

SEALER (primer): 1 coat of Benjamin Moore's masonry acrylic sealer

FINISH: 1 coat of Benjamin Moore exterior ultra-spec satin.

ALL PREVIOUSLY PAINTED DOORS:

SPOT PRIME WITH: #v-110 metal primer

FINISH: 1 coat of Benjamin Moore rust scat semi-gloss. #90 series

THANK YOU FOR CONSIDERING OUR CONTRACT

TOTAL PRICE \$52,500.00 for preparing and painting the exterior of The Barclay Arms Condominium.

ACCEPTING: _____

ACCEPTING THIS _____ DAY OF _____ 2022.

PLEASE NOTE THE PRICE IS SUBJECT TO CHANGE AFTER 90 DAYS.

PAYMENT SCHEDULE:

20% DOWN AND DRAWS THROUGHOUT

ACCEPTED THIS _____ DAY OF _____, 2022.

SIGNATURE ACCEPTING THIS PROPOSAL:

AUTHORIZED REPRESENTATIVE

X _____ DATE: _____

JEREMY DEFAZIO (561)722-2989

OPTION TO PRESSURE CLEAN, PREPARE AND PAINT ALL FLOORS WITH 2 COATS OF BENJAMIN MOORE TUFF TOP FLOOR PAINT (SECOND COAT WILL HAVE A SKID TEX) ONLY INCLUDES CATWALK AND STAIR FLOORS. EXCLUDING ANY NOT PREVIOUSLY PAINTED FLOORS INSIDE OF THE PATIOS AND ANY REPAIRS TO FLOORS.

TOTAL ACCEPTING: \$7,000.00

SIGNATURE ACCEPTING THIS OPTION:

DATE: _____



Date: Friday, June 3, 2022

Project # M22-6044

Submitted To:
 Ms. Wanda Rojas
 Vesta Property Services
 27180 Bay Landing Drive, Suite 4
 Bonita Springs, FL 34135
Contact Information:
 Phone: (954) 774-8455
 Mobile:
 wrojas@vestapropertyservices.com

Site Description: # S140361
 Barclay Arms
 1943 Monroe Street
 Hollywood, FL 33020

 Site Contact:
 Site Phone:

Prepared By:
 Jason Sack
Contact Information:
 Mobile:
 Office: (305) 836-8678
 E-mail: jsack@driveway.net
Project Manager:
 Mobile:
 Email:

Qty	Proposed Service(s) & Description(s)	Depth
7150 Sq. Ft.	Asphalt Overlay w/ Transition Milling	1.5"

1. Lift and stockpile existing concrete car stops as applicable.
2. Mill existing asphalt surfaces adjacent to concrete, catch basins, and tie-in points to achieve a flush transition.
3. Clean entire asphalt surface with power street brooms and/or blowers.
4. Haul millings from site.
5. Apply SS-1h tack coat to prepared areas.
6. Install 1.5" average overlay with Type S-III hot mix asphalt.
7. Roll and compact using a 4-6 ton steel drum roller and a rubber tire traffic roller.
8. Inaccessible areas will be mechanically or hand compacted.
9. Haul off existing car stops.
10. Remove and haul away any remaining debris from site.

****PAVING TO BE COMPLETED IN (2) MOBILIZATIONS.**
****THIS CONTRACTOR CANNOT GUARANTEE AGAINST FUTURE SETTLING AND STANDING WATER.**
****THIS CONTRACTOR WILL NOT BE RESPONSIBLE FOR POWER STEERING MARKS AND OTHER SURFACE ABRASIONS CAUSED BY VEHICLES ON THE NEWLY RESURFACED ASPHALT.**
****THIS CONTRACTOR WILL NOT BE RESPONSIBLE FOR EXISTING CAR STOPS BROKEN DURING HANDLING. ANY CAR STOPS BROKEN WILL BE REPLACED AT AN EXTRA COST TO THE CUSTOMER.**

www.driveway.net

MIAMI | 1100 NW 73rd St. Miami, FL | FORT LAUDERDALE | 1829 NW 29th St. A Oakland Park, FL 33311
 WEST PALM BEACH | 155 E. Blue Heron Blvd Suite 405, FL 33404 | FORT MYERS | 4262 Edison Ave. Fort Myers, FL 33916
 ORLANDO | 677 Fairvilla Rd. Orlando, FL 32808 | TAMPA | 3710 Corporex Park Dr.
 Suite 212, Tampa, FL 33619



Project# M22-6044

Parking Lot Striping - Layout

- 1. Clear away loose dirt and debris.
- 2. Layout and paint new pavement markings per existing using DOT approved latex traffic paints to include: new car stops (30), car stops painted white with # stencil, white stall lines

NOTE: Due to variable surface conditions, this work is not warranted against peeling or flaking on concrete surfaces.

****THE DISABLED PARKING STALLS ARE BEING RESTRIPE AS THEY PRESENTLY EXIST. THIS CONTRACTOR MAKES NO CLAIM THAT THEY WILL MEET LOCAL, STATE AND FEDERAL REQUIREMENTS FOR DISABLED PARKING.**

PAYMENT TERMS 30% Down, Balance Net Upon Completion

Project Total **\$22,987.00**

SERVICE TERMS Customer will be notified when work is proposed to be performed. It is the responsibility of the customer to ensure all irrigation systems are shut off ahead of scheduled work commencing. DMI will not be responsible for damage to existing irrigation systems in areas of construction or repair. DMI will not be responsible for damage to any underground utilities in areas of construction. Landscape restoration is not included in the scope of services unless expressly noted within proposal document.

This proposal may be withdrawn at our option if not accepted within 14 days of Jun 3, 2022

Certified Pavement Professional Jason Sack

Accepted Authorized Signature

Print Name

Signature

www.driveway.net

MIAMI | 1100 NW 73rd St. Miami, FL | FORT LAUDERDALE | 1829 NW 29th St. A Oakland Park, FL 33311
WEST PALM BEACH | 155 E. Blue Heron Blvd Suite 405, FL 33404 | FORT MYERS | 4262 Edison Ave. Fort Myers, FL 33916
ORLANDO | 677 Fairvilla Rd. Orlando, FL 32808 | TAMPA | 3710 Corporex Park Dr.
Suite 212, Tampa, FL 33619



TERMS, CONDITIONS & GUARANTEE

Driveway Maintenance Inc.. hereafter referred to as "DMI"

TERMS: Terms are as stated above. If payment is not made in accordance with the above terms, the customer agrees to pay any collection, legal fees and additional costs accrued due to unpaid balances.

Price is based on specifications and estimates as shown on the "Proposal & Agreement". One mobilization charge is included in price, unless stated on the "Proposal & Agreement".

Unless expressly noted within the proposal agreement, DMI makes no claim to the local, state, or federal compliance of any or all ADA elements present within the property boundary.

Additional charges may become necessary if extra materials or extra labor would become necessary to perform or complete this job, if subgrade is not up to acceptable specifications or if extra services and/or materials are requested in writing by the owner or general contractor of their respective authorized supervisory employees. "DMI" shall not be held liable for damage to surrounding areas of driveway or parking lot due to poor subgrade, moisture, or other unforeseen circumstance. Additional charges will be in accordance with the agreed upon change order which is made part and parcel of these conditions and "Proposal & Agreement". "DMI" reserves the right to refuse additional equipment time, extra materials or extra labor if it would interfere with advanced scheduling with other customers with whom previous commitments had already been extended.

CONDITIONS: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are contracted to do the work as specified and the stated payment terms are acceptable. All material is guaranteed to be as specified. All work is to be completed in a workmanlike manner in accordance to standard construction practices. Any deviation from this proposal or extra work will be executed only upon owner or owners agent orders and may become an extra charge over and above this agreement. All agreements are contingent upon delays beyond our control. Property owner to carry all necessary insurance. We do not guarantee against pavement cracking from weather cycles, reflective cracking, power steering marks or gauges in new asphalt pavement/patches, and water ponding or retention due to preexisting grade conditions. We cannot guarantee drainage or against water ponding on new asphalt. "DMI" shall not be liable for damage to adjoining asphalt, concrete flat work, or curbing, damages to underground utilities in the areas of construction, damages to irrigation within or adjacent to repair areas, damages/modifications to newly completed work due to removal of barricades or trespassing on job site during or after construction activities.

EXCLUSIONS: The following items are excluded unless otherwise stated in the proposal: Permits, Procurement, Engineering, Record Retrieval, Additional Excavation, Staking, Material Testing, Sod or Landscape Restoration, Irrigation Repairs, Manhole/Catch Basin/Gate Valve Adjustments or Repairs unless specified, Vegetation Removal, SAC/WAC Charges, Dewatering.

NOTICE OF LIEN: Any person or company supplying labor or materials for this improvement to your property may file a lien against your property if that person or company is not paid for the contributions.

Customer Initial _____ Date _____



PROPOSAL NUMBER

#2876-1

JOB NAME AND ADDRESS

**Barclay Arms
1943 Monroe Street
Hollywood , FL 33020**

CLIENT

**Vesta Property Services
2500 Hollywood Blvd - Suite 310
Hollywood, FL 33020**

CONTACT

**(954)774-8455
wrojas@vestapropertyservices.com
Wanda Rojas**

PROJECT PROPOSAL

5/6/2022

ADDRESS

3200 DAVIE BLVD
FORT LAUDERDALE, FL
33312

TELEPHONE

888-681-9355 office

SALESPERSON

SALES2
EMAIL
SALES2@USPAVE.COM

PROPOSAL

Dear Wanda Rojas ,

U.S. Pave provides a complete range of innovative commercial and residential paving solutions. Our sense of innovation is matched only by our strong dedication to providing the most advanced products and the highest-quality services in the industry. We take great pride in our extensive technical expertise and share our knowledge of the trade to empower you to make informed decisions. We take the time to understand your objectives and make recommendations based on your needs. By working together every step of the way, we can safely and accurately execute your goals, all within budget and with the greatest long-term return on investment.

At U.S. Pave, no job is complete until you are completely satisfied.

We propose, as per direction, to perform the following work: Labor, Materials, Equipment

Exclusions: Testing, Towing, Permitting and procurement, 3rd Party Inspections, Material Testing, Engineering, Sod Restoration & Landscaping, Vegetation Removal, Staking, Manhole/Catch Basin/Gate Valve Adjustments or Repairs, SAC/WAC Charges, Dewatering, Removal Or Relocation Of Utilities, Any Other Items As Listed On The Terms And Conditions Page.

Please review the proposal and feel free to call with any questions.

PROPOSAL

MILL & PAVE

Mill And Overlay Both Parking Lot Surfaces, Up To 7,175 SF, At 1" Thick

1. Pickup and stockpile all existing concrete carstops where applicable.
2. Mill entire asphalt surface to a depth 1" or to base material, whichever is achieved first.
3. Clean entire milled surfaces thoroughly with power brooms.
4. Leveling asphalt will be installed on low spots. This contractor will not be responsible for the total elimination of standing or ponding water.
5. Apply SS-1h tack coat to prepared surface areas.
6. Install 1" average overlay with Type S-III hot mix asphalt.
7. Roll and compact using a 4-6 ton steel roller.
8. Roll and compact using a pneumatic rubber tire traffic roller.
9. Inaccessible areas will be mechanically or hand compacted.
10. Layout and reinstall the existing concrete carstops prior to striping.
11. Clean and haul any related debris from site.

***CAR STOPS DAMAGED DURING REMOVAL AND REPLACEMENT WILL BE REPLACED AT COST OF \$75.00 EACH.**

***BARRICADES/CONES WILL BE PROVIDED TO CLOSE OFF ALL AREAS OF CONSTRUCTION.**

***U.S. PAVE IS NOT RESPONSIBLE FOR PERSONS OR VEHICLES ENTERING THE DESIGNATED AREAS PRIOR TO BEING RE-OPENED BY US PAVE OR FOR ANY DAMAGES CAUSED TO PERSONS OR PROPERTY.**

***U.S. PAVE IS NOT RESPONSIBLE FOR DAMAGES TO UNDERGROUND UTILITIES, PIPES, IRRIGATION, SOD OR LANDSCAPE IN AND AROUND AREAS OF CONSTRUCTION.**

***ADJUSTMENT OF GATES/FENCING HEIGHT AFTER ASPHALT INSTALLATION IS THE CUSTOMER'S RESPONSIBILITY.**

***PERMIT FEES & PROCUREMENT FEES, ENGINEERING, OR ANY ADDITIONAL WORK REQUIRED BY THE PERMIT WILL BE AN ADDED COST TO THIS CONTRACT.**

***US PAVE CHARGES \$475 FLAT FEE FOR PERMIT PROCUREMENT.**

***U.S. PAVE DOES NOT GUARANTEE AGAINST STANDING OR PONDING WATER.**

***NEW APHALT IS SUSCEPTIBLE TO TIRE MARKS AND SCUFFING UNTIL IT IS FULLY CURED.**

***PRICE IS BASED ON PERFORMING ALL WORK PROPOSED.**

Price: \$19,153.00

STRIPING - NEW LAYOUT

PARKING LOT STRIPING - NEW LAYOUT

- 1. Clear away loose dirt and debris
- 2. Stripe new layout using D.O.T. approved latex traffic paint to include: stall lines, car stops & stencils, and lineal footage.

****THIS CONTRACTOR WILL NOT BE RESPONSIBLE FOR PAINT PEELING OR FLAKING OFF CONCRETE SURFACES.**

Price: \$821.00

TOTAL PRICE OF THIS PROPOSAL AS PRESENTED:

\$19,974.00

Draft Print



AGREEMENT

U.S. Pave™ proposes to furnish material and labor to perform the work outlined herein for the sum of:

\$19,974.00, NINETEEN THOUSAND, NINE HUNDRED SEVENTY-FOUR DOLLARS AND ZERO CENTS

Payment is to be made as follows: • 50% upon acceptance • 50% upon completion

This proposal is valid for thirty (30) days from the date written above. The proposal is subject to the terms and conditions enclosed, attached and/or on the backside of the proposal.

This proposal contains confidential information belonging to the sender, which is legally privileged. The information is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on the contents of this proposal is strictly prohibited. If you have received this proposal in error, please immediately notify us by telephone to arrange for return of the original documents to us.

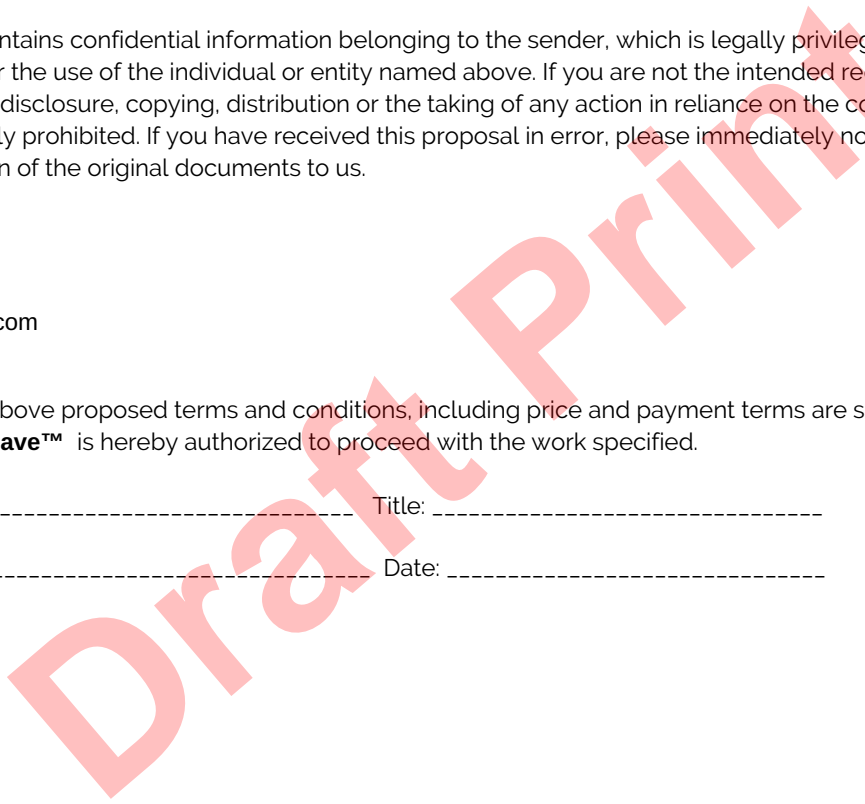
Sincerely,

Sales2,
sales2@uspave.com

Accepted: The above proposed terms and conditions, including price and payment terms are satisfactory and hereby accepted. **U.S. Pave™** is hereby authorized to proceed with the work specified.

Purchaser: _____ Title: _____

Printed Name: _____ Date: _____



TERMS & CONDITIONS

- These Terms and Conditions are by and between U.S. Pave (hereinafter the "Contractor"), and the front-side "Purchaser", (hereinafter the "Purchaser").
- All stone asphalt and concrete depths indicated are to be interpreted as average depths prior to compaction. Actual asphalt repair depth, regardless of depth specified on the front, will only go to the lime rock base, or specified depth, whichever is less.
- Drainage is not guaranteed on areas without adequate slope. In flat areas water will not drain unless there is more than 1-1/2" of fall per 10 feet.
- If contract is cancelled by Purchaser prior to commencement of work, Purchaser will pay Contractor twenty percent (20%) of total contract price.
- Unit prices, if specified, shall apply to all extra work performed beyond the original scope, if such work can be performed at the same time Contractor is working at the site on original items of work. Contractor reserves the right to renegotiate the terms and conditions, including price if it must move any equipment back to the site to perform additional work. Contractor will be under no obligation to perform any extra work.
- All proposals are based on the existence of workable sub-base layer of at least four (6) inches. It shall not be Contractor's responsibility to check sub-base unless it is specified and paid for in the contract. Contractor shall not be responsible for consequences of sub-base deficiency or failures, including but not limited to damages or inability to perform work due to poor compaction, underground springs, buried materials, grade failures, etc.
- Each phase of work will be billed upon completion of that phase. Purchaser agrees to pay all invoices within 15 days of the invoice date. All amounts unpaid by the due date shall bear interest at the rate of 1.5% per month until paid. If full payment (including aforementioned late charges) has not been received by Contractor within 45 days of substantial completion, all of Purchaser's warranty rights hereunder will be forfeited and automatically become void and Contractor shall be excused from further performance of work under this proposal, or any other contract with Purchaser and all amounts then due and owing, including retainage, shall become immediately payable.
- The pricing contained and agreed to herein, is based on all work being completed within 30 days of the date of this proposal unless otherwise agreed in writing. The terms for doing any work after this date may, at Contractor's option, be renegotiated between Contractor and Purchaser. To the extent Contractor has performed any work within 30 days of the date of this proposal, Contractor shall be compensated for all such work under the terms and conditions and including price as set forth in this proposal, including retainage, together with any costs incurred as a result of Purchaser's delay in completion of the work. Purchaser agrees to compensate Contractor for ALL reasonable costs (and associated overhead and profit) for delays incurred completing the work.
- Purchaser shall not prematurely subject the work to any type of traffic; loads in excess of the design capacity before proper cure, or in a manner which may damage the work. Contractor is not responsible for graffiti, tire tracks, animal or human footprints, etc., on finished concrete/asphalt.
- Although contractor will endeavor to cooperate fully with the progress of the work, it reserves the right to delay the start of work until the entire area of the job is ready to be poured, paved or sealed. Unless otherwise noted, the total price is based on one move-in/mobilization and complete access to work areas at the time of move-in/mobilization. Purchaser agrees to pay Contractor \$2,500.00 for each additional move-in/mobilization. The removal of vehicles from the work site is the sole responsibility of the Purchaser. Damage to vehicles left on the work site is the responsibility of the Purchaser. Contractor is not responsible for crackfill that adheres to tires. Contractor is not responsible for overspray on vehicles, curb and gutter, and all structures within 50 feet of the edge of parking lot and or area being sealed or treated.
- Unless expressly noted within the agreement, U.S. Pave makes no claim to the local, state, or federal compliance of any and all ADA elements present within the property boundary.
- Contractor shall not be bound to any construction schedules unless agreed to in writing by Contractor. If no schedule is established, Contractor will undertake the work in the course of its normal operating schedule.
- Purchaser to ensure all existing surfaces shall be in a condition suitable to receive any work to be performed by Contractor. Purchaser shall provide potable water and electrical source at no expense to Contractor. Contractor is not responsible for tire marks/scuffs on asphalt and or concrete. Contractor is not responsible for damage to sod, landscaping and sidewalks due to required access by trucks and or equipment. Contractor is not responsible for damage to existing asphalt pavement due to weak, unstable, non-compacted or wet sub-base materials. Contractor

is not responsible for damage to surrounding concrete due to vibration of jackhammers and equipment.

- To the extent that the work is dependent upon work of other contractors or subcontractors, Contractor shall not assume responsibility for any defect, deficiency, or non-compliance in such other work.
- Purchaser is responsible for getting all "private" (non-public) utilities, including wells and septic system elements, underground sprinklers systems, electrical wiring, etc marked by an independent utility locator prior to the commencement of work. All specifications and the work estimate are conditioned on all private utilities not being disturbed or changed by modifications needed to accommodate private utilities not disclosed to Contractor previously. Any damage caused to private lines during construction is the sole responsibility of Purchaser unless previously marked by independent utility locator and are buried to code. Purchaser is responsible for all damage to existing structures and facilities, including underground utilities, caused by equipment necessary to carry out the work.
- Contractor will not be responsible for construction or material failures or delays in construction caused by any factor beyond its control, including, but not limited to, delays or failures caused by weather, acts of God, delays in transportation, acts of suppliers and subcontractors, acts of the Purchaser, Owner or its separate contractors, fuel or raw material shortages, plant failures, or any other cause beyond its control.
- Unless stated in writing on this proposal, all engineering and testing, subgrade stabilization (undercut), excavation, utilities, adjustment of underground facilities, manholes, water valves, or underground structures, striping, landscaping, permits, bonds, government approvals, damage to existing asphalt and concrete and landscaping shall be Purchaser's sole responsibility. Purchaser agrees to indemnify, protect, and hold Contractor harmless from any and all damages, expenses and attorneys fees suffered or incurred on account of Purchaser's breach of any obligation or covenant of this proposal.
- Unless stated in writing on this proposal, there shall be no warranties, express or implied, in connection with any material or service furnished under this proposal. All consequential damages are excluded.
- In the event that Contractor retains an attorney to recover any amount due under this agreement, the Purchaser agrees to pay all attorney fees, court costs and costs of collection incurred by Contractor.
- Purchaser will, prior to Contractor leaving the job site, arrange for an authorized representative or agent of the Purchaser to inspect completed Contractor work in the company of a Contractor representative. Purchasers failure to inspect job site as above will signify acceptance of work performed by Contractor and agreement to pay the bill in full within fifteen (15) days.

NOTICE OF LIEN: ANY PERSON OR COMPANY SUPPLYING LABOR OR MATERIALS FOR THIS PROJECT / IMPROVEMENT TO YOUR PROPERTY, MAY FILE A LIEN AGAINST YOUR PROPERTY, IF THAT PERSON OR COMPANY IS NOT PAID FOR THEIR CONTRIBUTIONS.

Customer Initial _____ . Date _____ .

ESTIMATE

Akouri Metal. Inc

3851 NW 132 St Opa Locka
Opalocka, FL 33054

fadiakouri@hotmail.com

+1 (305) 332-0474

www.akourimetal.com



Barclay Arms Association

Bill to

Barclay Arms Association
1943 Monroe St,
Hollywood, Florida 33020

Estimate details

Estimate no.: 231012

#	Date	Product or service	SKU	Amount
1.		Fabrication Fabrication & Installation, Total of 676Lft of Aluminum railing. Cored drilled and embedded 4 inches into concrete per code compliance. Paint included (Powder Coat).		\$64,000.00
			Subtotal	\$64,000.00
			Sales tax	\$3,890.00
			Total	\$67,890.00