

ATTACHMENT C

Public Participation Outreach

January 26, 2024

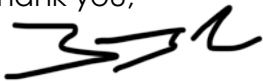
RE: COMMUNITY OUTREACH

Dear Ms. Tasheema Lewis;

Please allow this letter to service as notice that 1920 Pierce, LLC hosted a virtual meeting on Wednesday August 30, 2023 at 6:30 p.m. to present the proposed multifamily condo project to the community.

During this virtual meeting the ABH Developer Group team consisting of the architect, landscape architect and civil engineer answered questions and listened to input from neighbors in support of the project and some with concerns. ABH Developer Group took the primary concerns into account by "softening" some design elements and reducing the overall density.

Thank you,



Mr. Alexis Bogomolni – ABH Developer Group
1920 Pierce, LLC
(786) 252-9459

August 07, 2023

**RE: INVITATION TO UPCOMING ZOOM MEETING
DISCUSSION ON PROPOSED DEVELOPMENT AT 1914-1920 PIERCE STREET**

Dear Neighbors;

ABH Developer Group would like to invite you to join us via Zoom on **Wednesday August 30, 2023 at 6:30 PM**. For Zoom link details please email pbutler@mg3group.com or call (786) 634-4509.

We'll talk about the proposed five story building with 32 units; to be located at 1914 – 1920 Pierce. We look forward to seeing you in the Zoom.



Thank you,

Pamela Butler
Sr. Development Coordinator
pbutler@mg3developer.com

ZOOM COMMUNITY OUTREACH AUGUST 30, 2023 6:30 PM

Cat Uden	theoceanismyfavorite@gmail.com
Celia Roberts	plumes2@yahoo.com
John Robinson	jwrobinso@yahoo.com
Mark Io	mi.77mark@gmail.com
Coleen Ross	crossdreamhomes@gmail.com
Alexander Herrin	alexherrin@gmail.com
Parkside Civic Association	parksideken@aol.com
Aaron A. Karger	aaron@aak-law.com
Emilia Shinas	emilia@eastcoastrealtyusa.com
Jacob Eljaua	ejacob@allstate.com
Roy Sampat	royksampat@gmail.com
Peter Pazer	rcky45@aol.com
Elaine Kooser	ekooser@aol.com
Patricia Antrican	ann2can@bellsouth.net
Christine Corbo	ccorbo920@aol.com
Julie Greenfield	julie.greenfield@me.com



NEW 32 UNITS
DEVELOPMENT AT:
**DOWNTOWN
HOLLYWOOD**

1914 - 1920 PIERCE STREET
HOLLYWOOD, FL. 33020

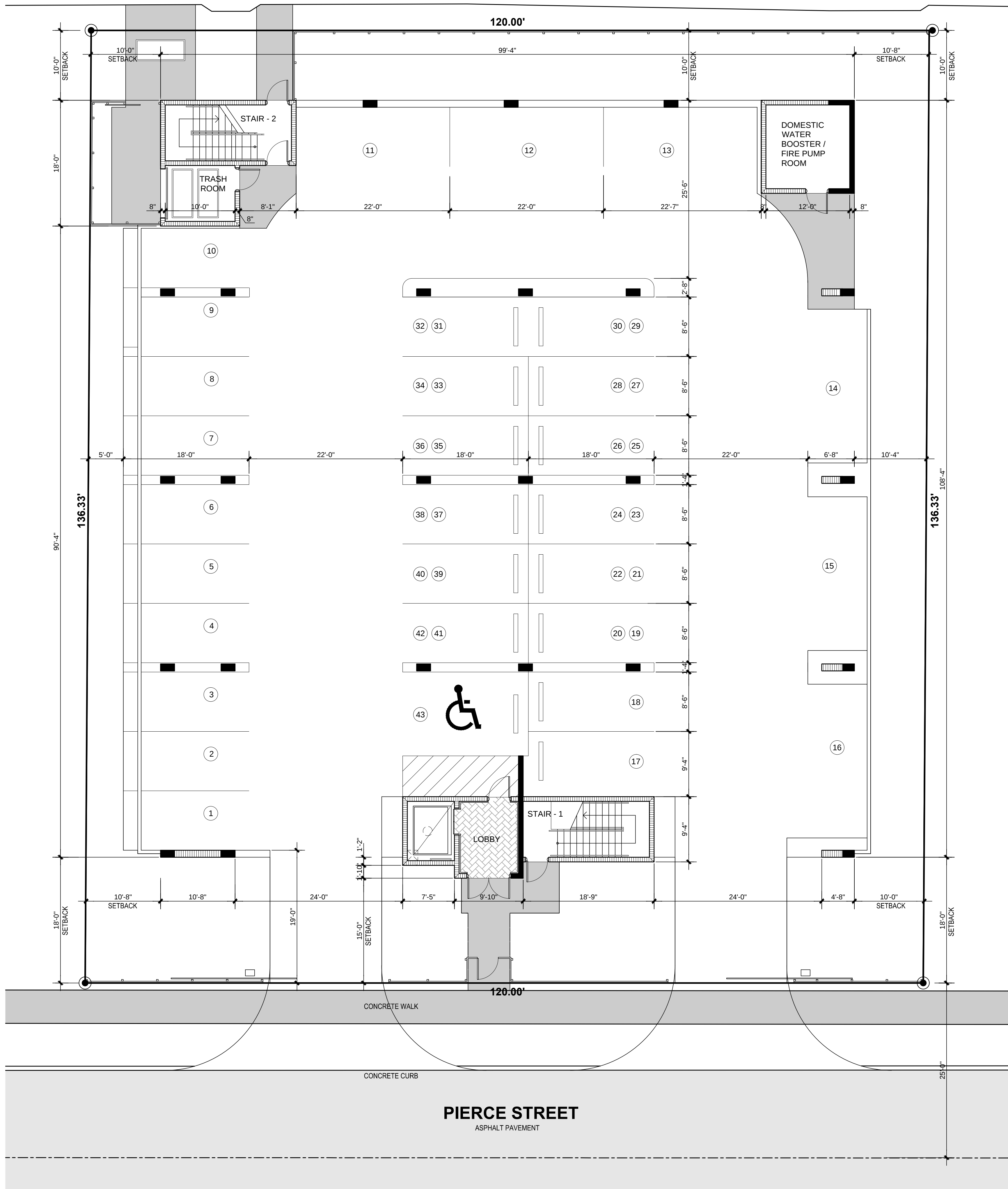
SHEET TITLE:
PROPOSED GROUND FLOOR /
SITE PLAN.

DELIVERY DATE:
02.13.23

DRAWN BY:
J.B.

CHECKED BY:
A.L.L.

REF NUMBER:



GENERAL ZONING REQUIREMENTS

BUILDING ADDRESS:
ADDRESS: 1914-1920 PIERCE STREET HOLLYWOOD, FLORIDA

BUILDING ZONING:
EXISTING ZONING DESIGNATION: ND-2

LAND AREAS:
LAND AREA NET SF. 16,360 SF.
LAND AREA NET ACRES 0.3755

BUILDING FAR:
ALLOWED: 2 16,360 X 2 = 32,720 SF.
PROVIDED: 1.91 31,238 SF.

LOT COVERAGE:
PROPOSED LOT COVERAGE: 11,533 SF. / **70.49%**

PAVED AREA:
PROPOSED PAVED AREA 688 SF. / **4.20%**

LANDSCAPE AREAS:
PROPOSED LANDSCAPED AREA 4,136 SF. / **25.31%**

SETBACKS:
FRONT REQUIRED: 15'-0" PROVIDED: 15'-0"
REAR REQUIRED: 10'-0" PROVIDED: 10'-0"
SIDES REQUIRED: 10'-0" PROVIDED: 10'-0"

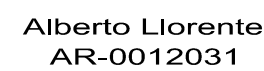
BUILDING HEIGHT LIMITATIONS:
ALLOWED 5 STORIES 55'-0" PROVIDED 5 STORIES 55'-0"
ROOF TOP AMENITIES PERMITTED TO EXCEED 15'-0" = 70'-0"
POOL DECK PROVIDED 65'-0"
TOP OF STAIR / ELEVATOR PROVIDED 69'-6"

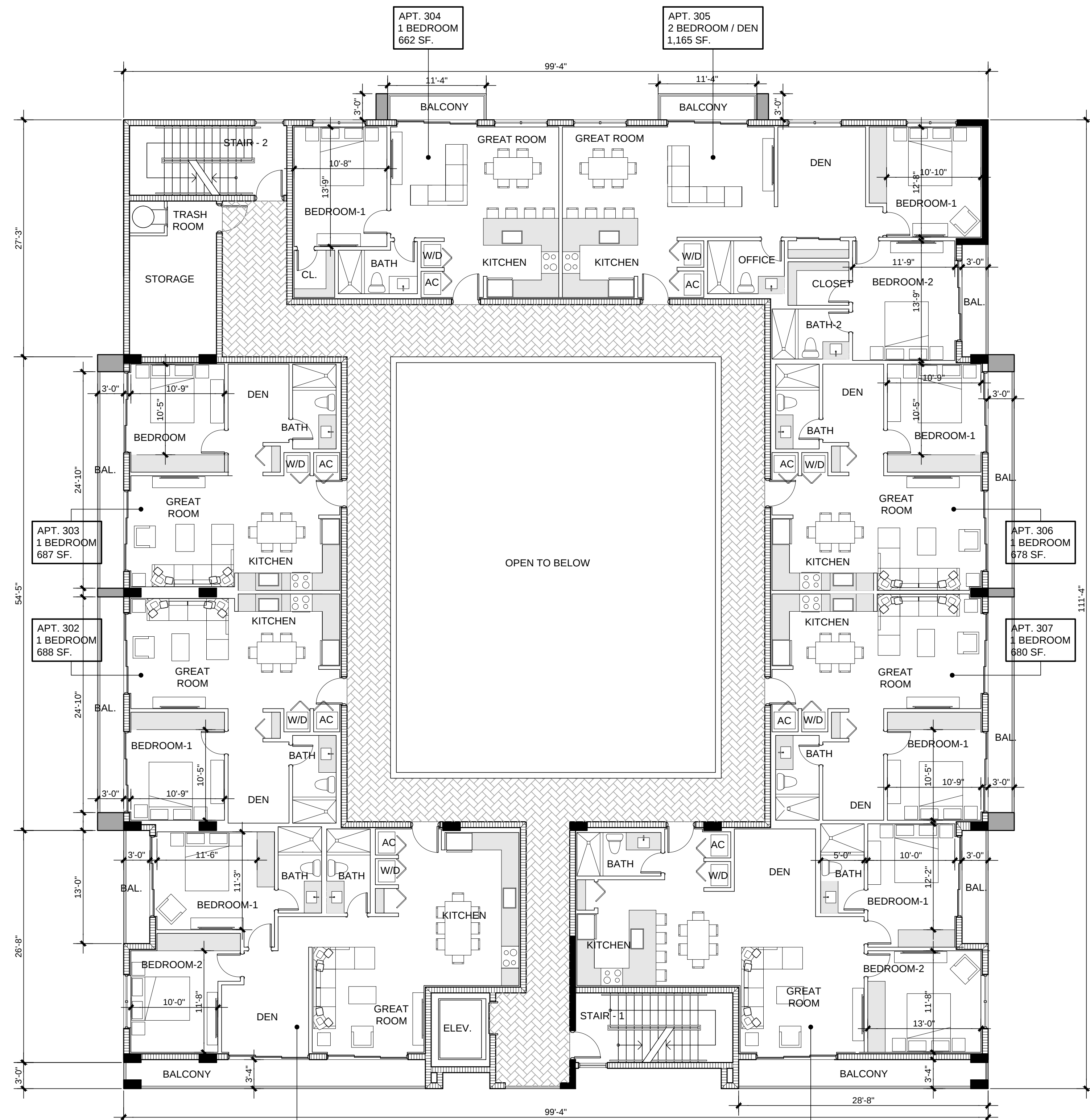
PARKING REQUIREMENTS FOR 32 APARTMENTS
REQUIRED 1 PER 1 BEDROOM (20) 1 BEDROOM = 20 SPACES
REQUIRED 1.5 PER 2 BEDROOMS (12) 2 BEDROOMS = 18 SPACES
REQUIRED FOR GUEST 1 PER 10 = 4 (4) SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED 42 SPACES
TOTAL PARKING SPACES PROVIDED 43 SPACES

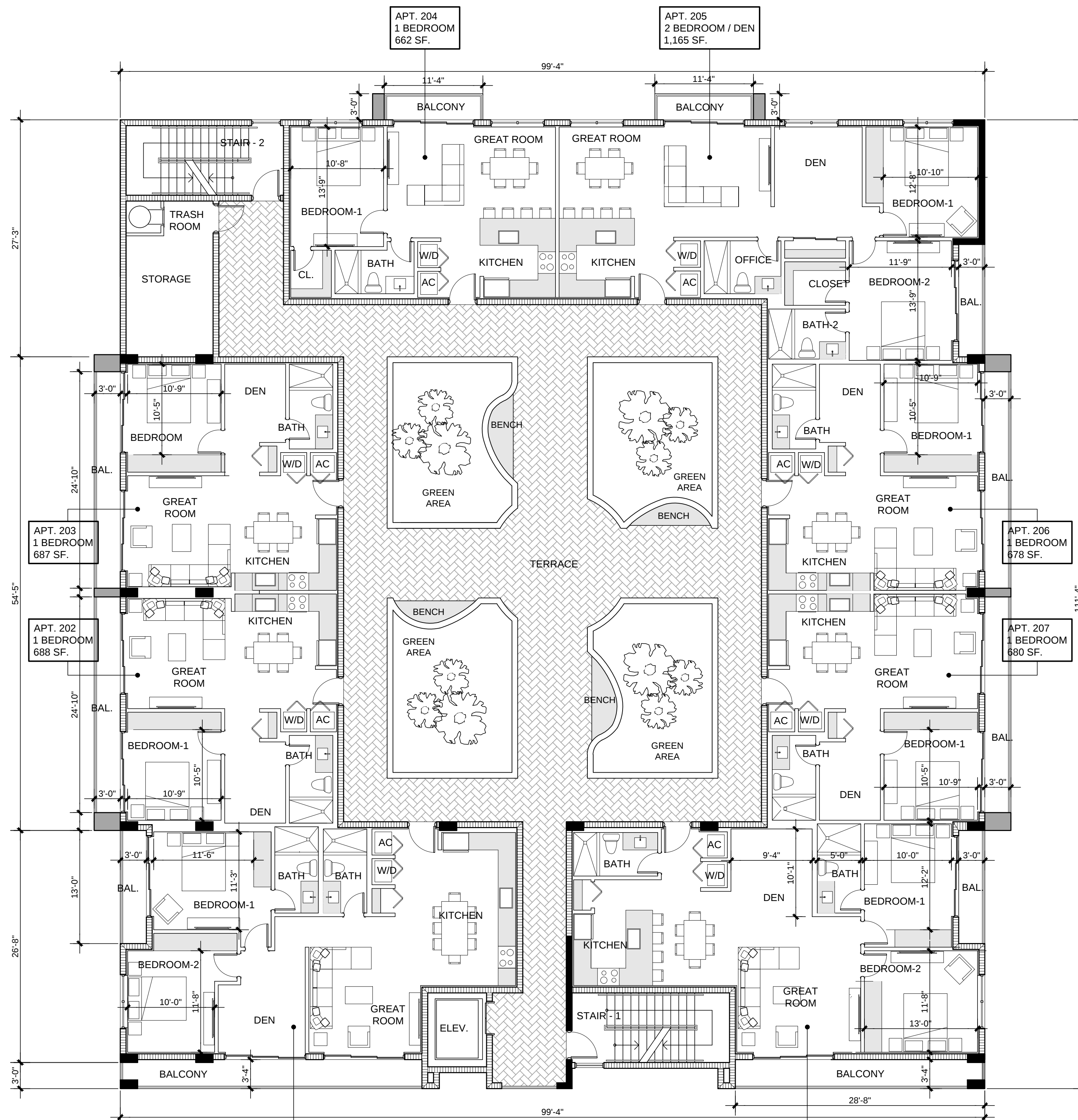


OPEN AREAS							
BUILDING FAR	FIRST FL. SF.	SECOND FL. SF.	THIRD FL. SF.	FOURTH FL. SF.	FIFTH FL. SF.	ROOF/POOL DECK SF.	TOTAL
SECOND FLOOR OPEN TERRACE AND WALKWAYS		3,352 SF.					3,352 SF.
OPEN WALKWAY			1,550 SF.	1,550 SF.	1,550 SF.		4,650 SF.
APARTMENT NO. 01 BALCONY		153 SF.	153 SF.	153 SF.	153 SF.		612 SF.
APARTMENT NO. 02 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 03 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 04 BALCONY		38 SF.	38 SF.	38 SF.	38 SF.		152 SF.
APARTMENT NO. 05 BALCONY		76 SF.	76 SF.	76 SF.	76 SF.		304 SF.
APARTMENT NO. 06 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 07 BALCONY		81 SF.	81 SF.	81 SF.	81 SF.		324 SF.
APARTMENT NO. 08 BALCONY		134 SF.	134 SF.	134 SF.	134 SF.		536 SF.
POOL AND POOL DECK						3,400 SF.	3,400 SF.
OPEN AREAS TOTALS		4,077 SF.	2,275 SF.	2,275 SF.	2,275 SF.	3,400 SF.	14,302 SF.
POOL							
BUILDING FAR AND OPEN AREAS							
FAR TOTALS	809 SF.	7,476 SF.	7,427 SF.	7,427 SF.	7,427 SF.	721 SF.	31,238 SF.
OPEN AREAS TOTALS		4,077 SF.	2,275 SF.	2,275 SF.	2,275 SF.	3,400 SF.	14,302 SF.
TOTAL	809 SF.	11,553 SF.	9,702 SF.	9,702 SF.	9,702 SF.	4,121 SF.	45,540 SF.



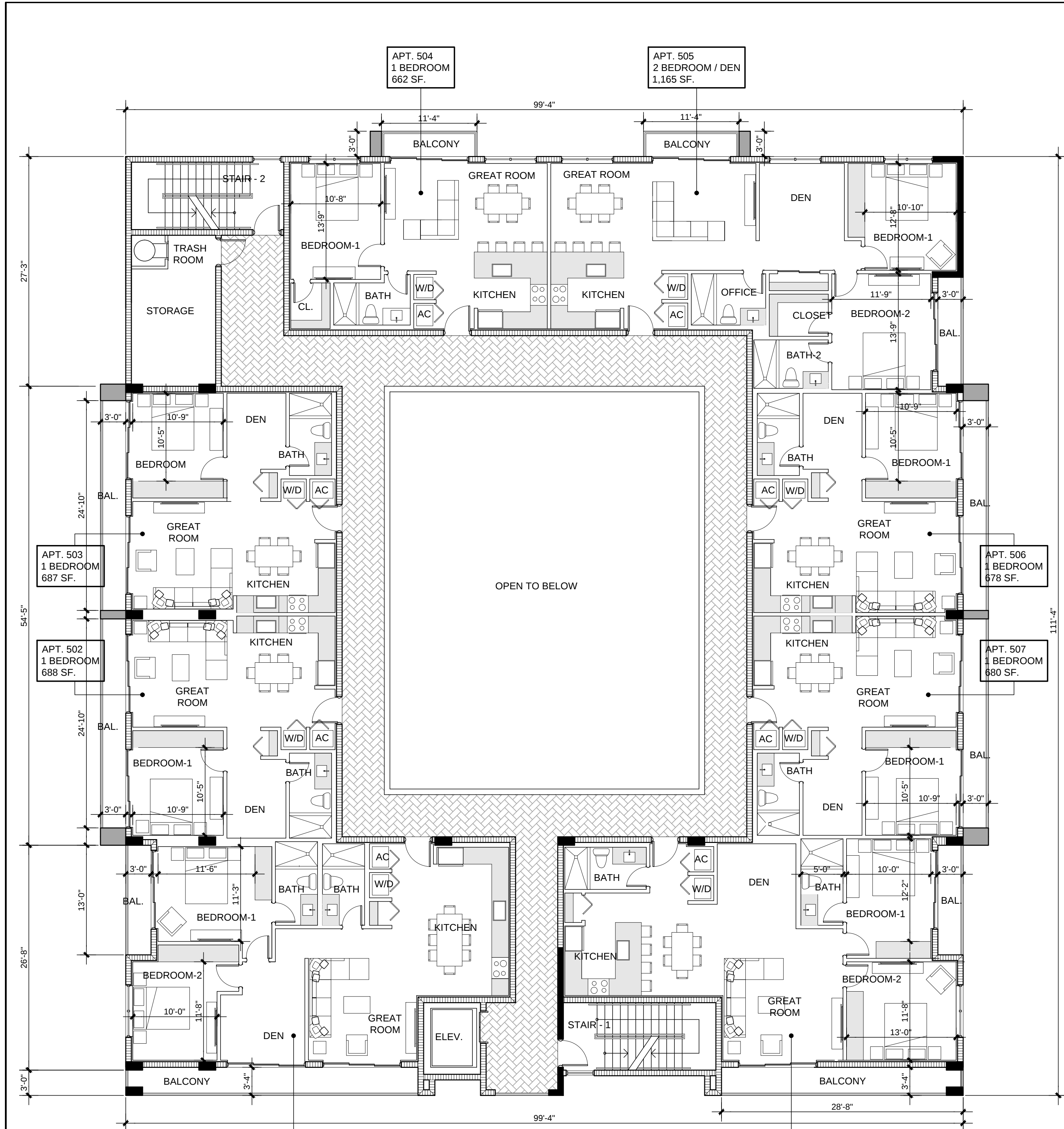


PROPOSED THIRD FLOOR PLAN SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

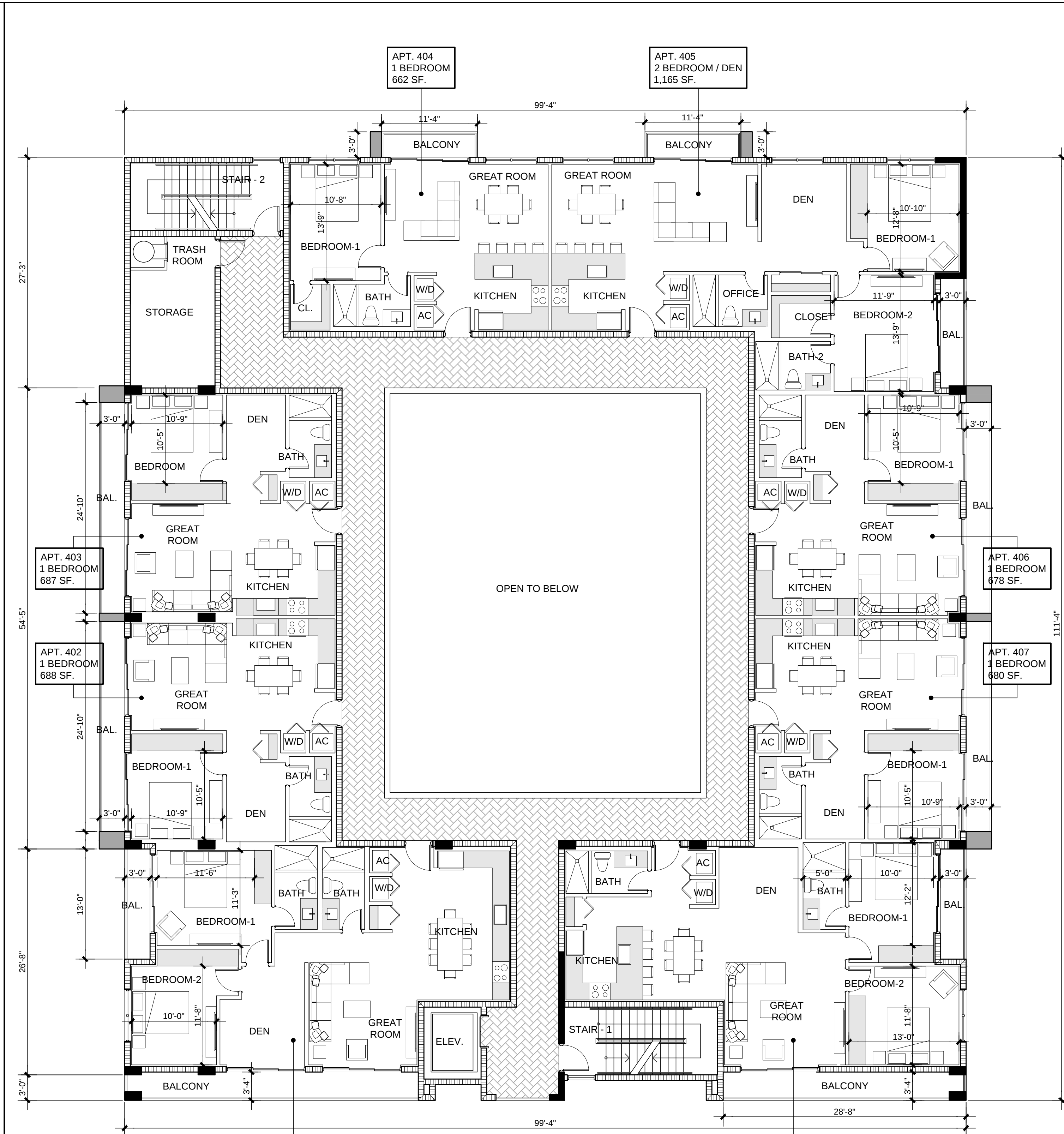




APT. 501
2 BEDROOM / DEN
1,122 SF.

APT. 508
2 BEDROOM / DEN
1,110 SF.

PROPOSED FIFTH FLOOR PLAN SCALE: 1/8" = 1'-0"

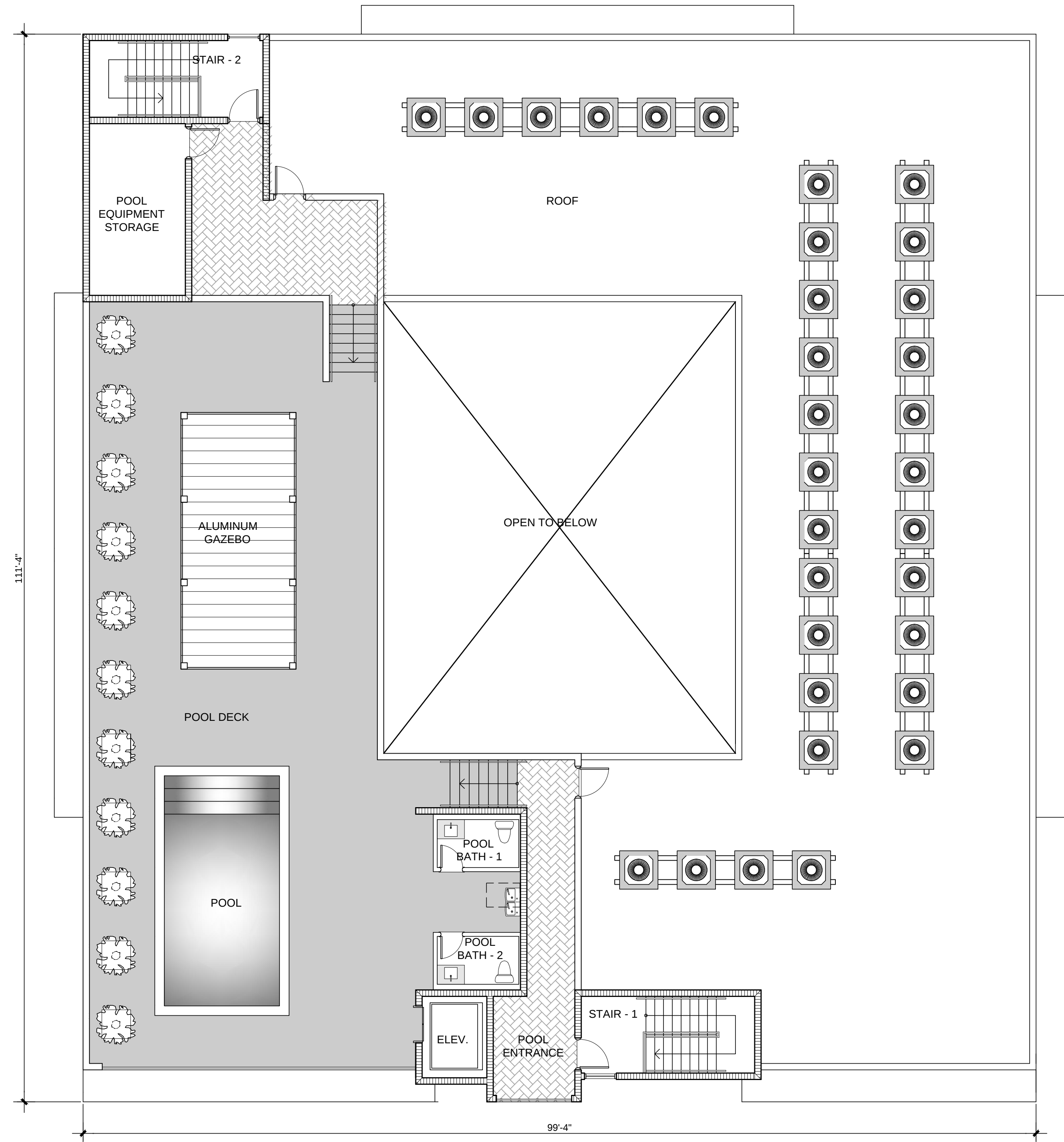


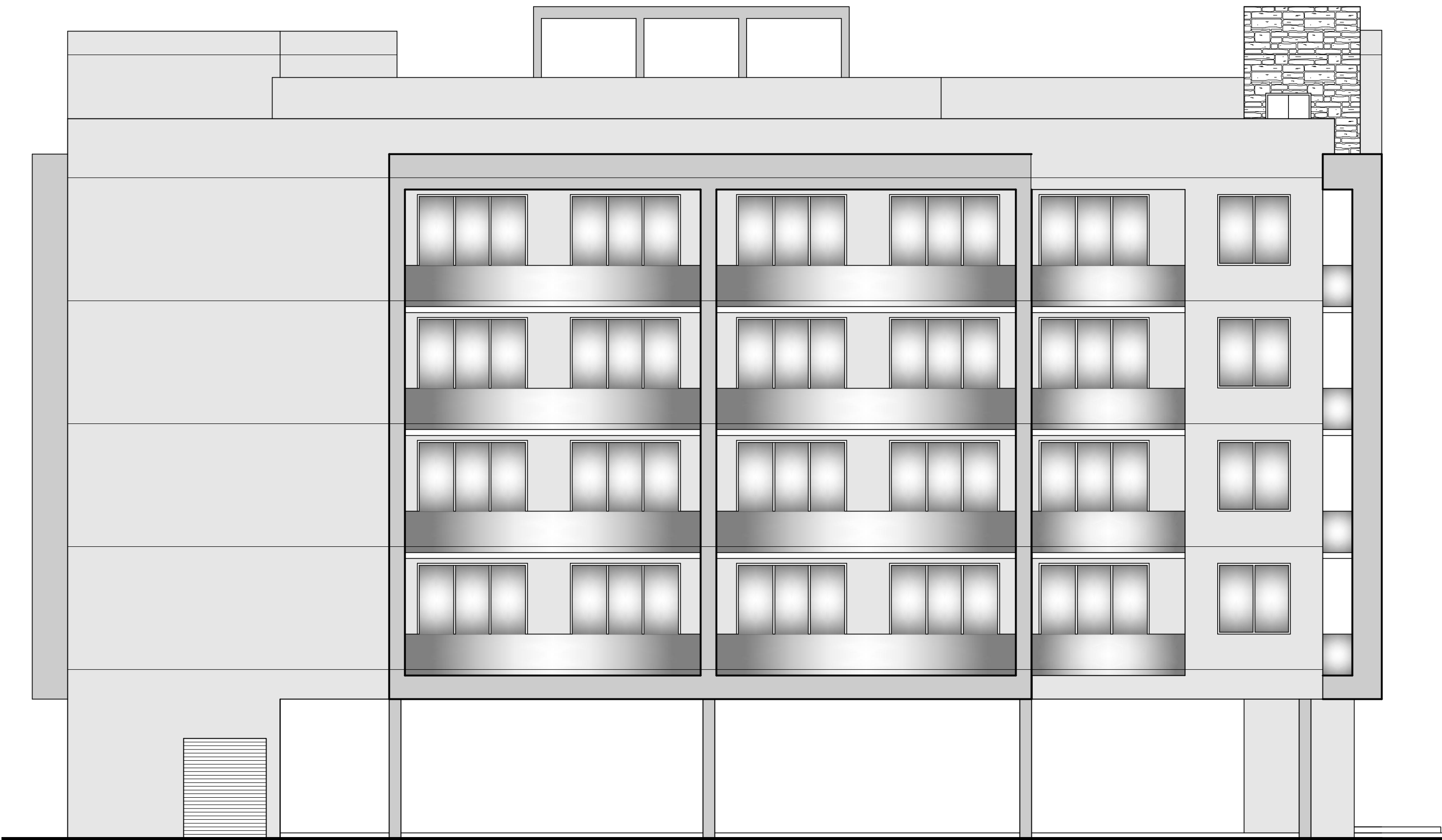
APT. 401
2 BEDROOM / DEN
1,122 SF.

APT. 408
2 BEDROOM / DEN
1,110 SF.

PROPOSED FOURTH FLOOR PLAN SCALE: 1/8" = 1'-0"



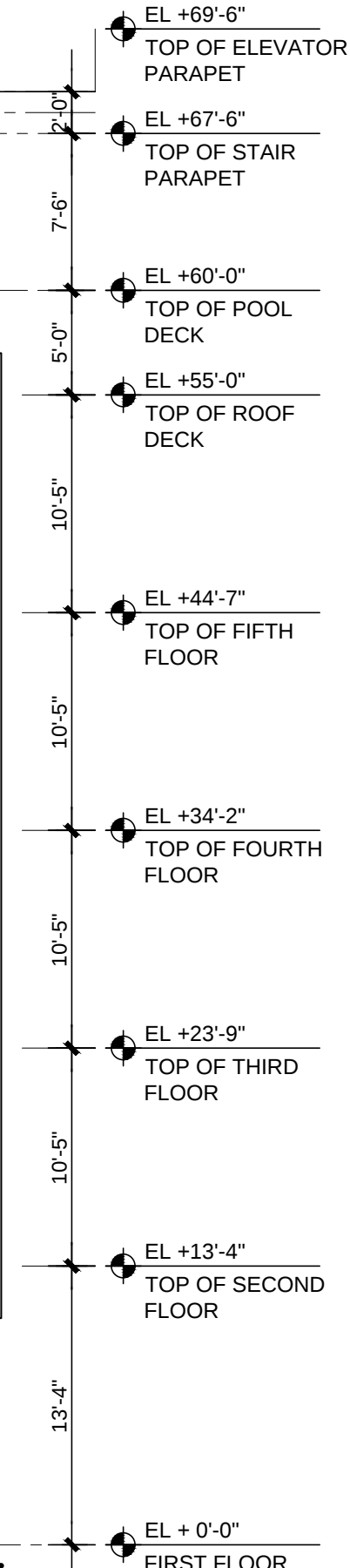




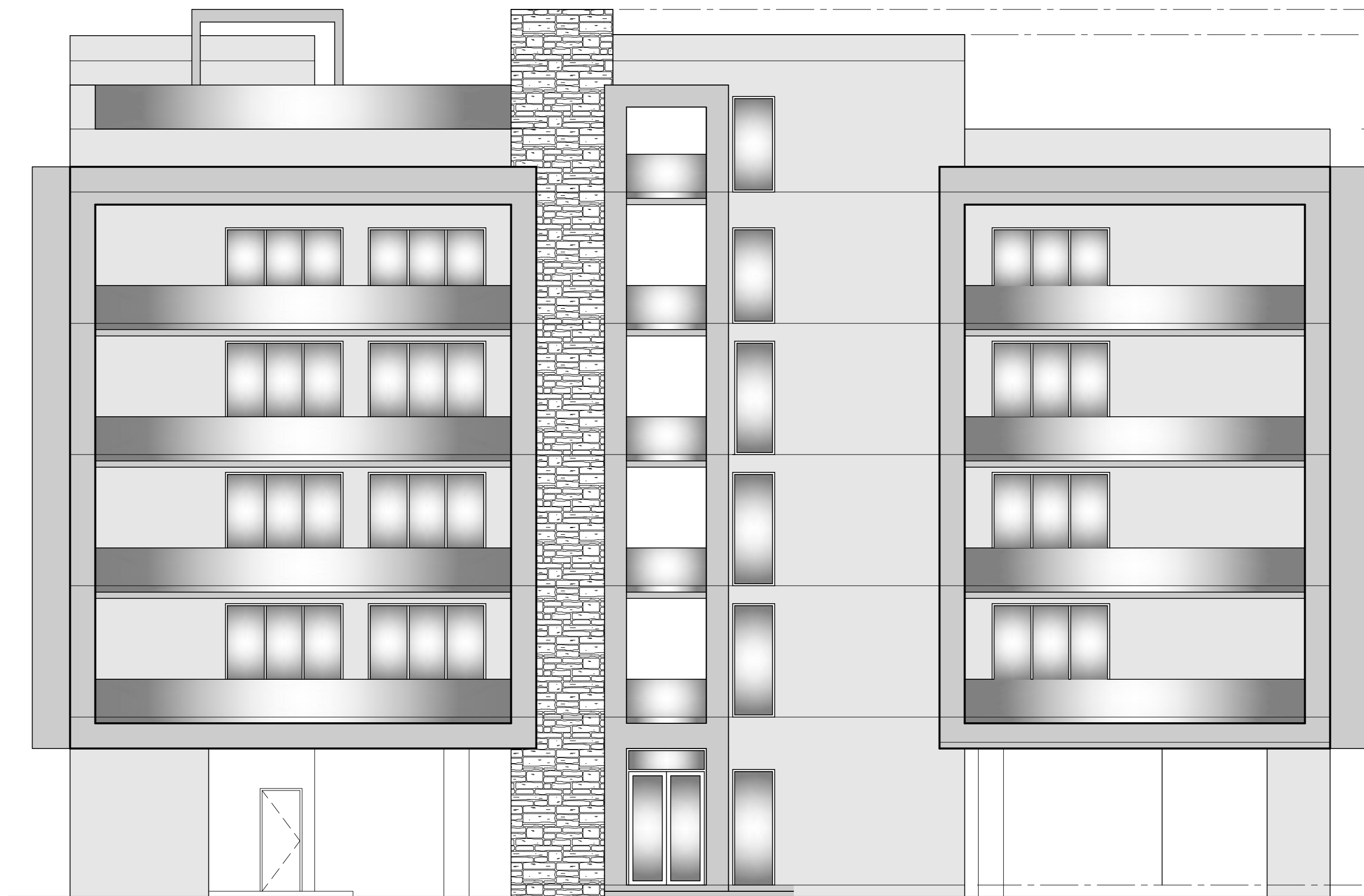
EAST ELEVATION



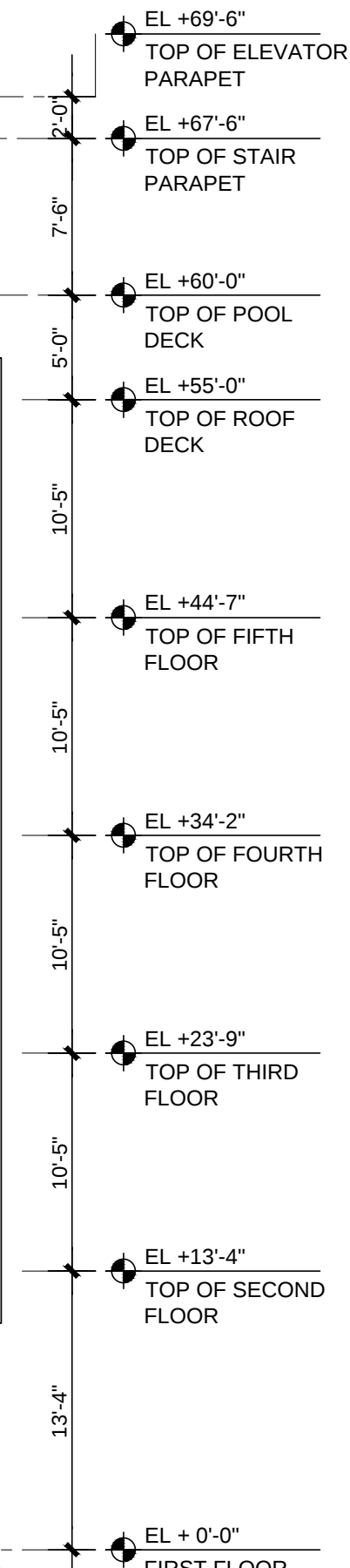
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



DATE	ISSUE	DESCRIPTION