

ATTACHMENT A
Application Package



DEVELOPMENT SERVICES
PLANNING DIVISION

GENERAL APPLICATION

APPLICATION DATE: June 5, 2023

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic combined PDF submission (max 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

CLICK HERE FOR
FORMS, CHECKLISTS,
MEETING DATES

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- ☐ Technical Advisory Committee ☐ Art in Public Places Committee ☐ Variance
☐ Planning and Development Board ☒ Historic Preservation Board ☐ Special Exception
☐ City Commission ☐ Administrative Approval

PROPERTY INFORMATION

Location Address: 1028 JEFFERSON STREET

Lot(s): 22 Block(s): 55 Subdivision: Hollywood Lakes

Folio Number(s): 514214021120

Zoning Classification: RS-4 Land Use Classification: Single family District

Existing Property Use: Single family Sq Ft/Number of Units: 1/3160

Is the request the result of a violation notice? ☐ Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s):

DEVELOPMENT PROPOSAL

Explanation of Request: ADDITION, FACADE, AND DRIVEWAY

Phased Project: Yes ☐ No ☒ Number of Phases: ☐

Project	Proposal
Units/rooms (# of units)	# UNITS: <u>1</u> #Rooms <u>4</u>
Proposed Non-Residential Uses	<input type="checkbox"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="checkbox"/> (Area: <u>1,092</u> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <u>22</u>)
Height (# of stories)	(# STORIES) <u>1</u> (<u>13'10"</u> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (<u>15,335</u> FT.)

Name of Current Property Owner: SHERI AND MENAHEM SKOLNICK

Address of Property Owner: 1028 JEFFERSON ST, HOLLYWOOD, FL

Telephone: _____ Email Address: 1028JEFFERSON@GMAIL.COM

Applicant: ROSELYN YUKEN

Consultant ☐ Representative ☒ Tenant ☐

Address: 3700 island blvd, Aventura, FI 33160 Telephone: 305-798-5769

Email Address: roselynyuken@gmail.com

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes ☐ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only): BDR miami / Diana

E-mail Address: Diana@rdmiami.com

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CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Sheri skolnik

Date: 06-05-2025

PRINT NAME: SHERI SKOLNICK

Date: 06-05-25

Signature of Consultant/Representative: *[Signature]*

Date: 06-05-2025

PRINT NAME: ROSELYN YUKEN

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

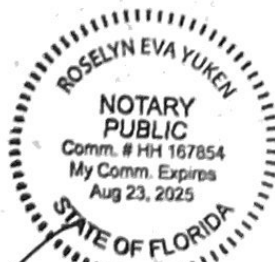
Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for forget driveway change to my property, which is hereby made by me or I am hereby authorizing Roselyn Yuken to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 5 day of June, 2025

[Signature]
Notary Public
State of Florida



Sheri Skolnik

Signature of Current Owner

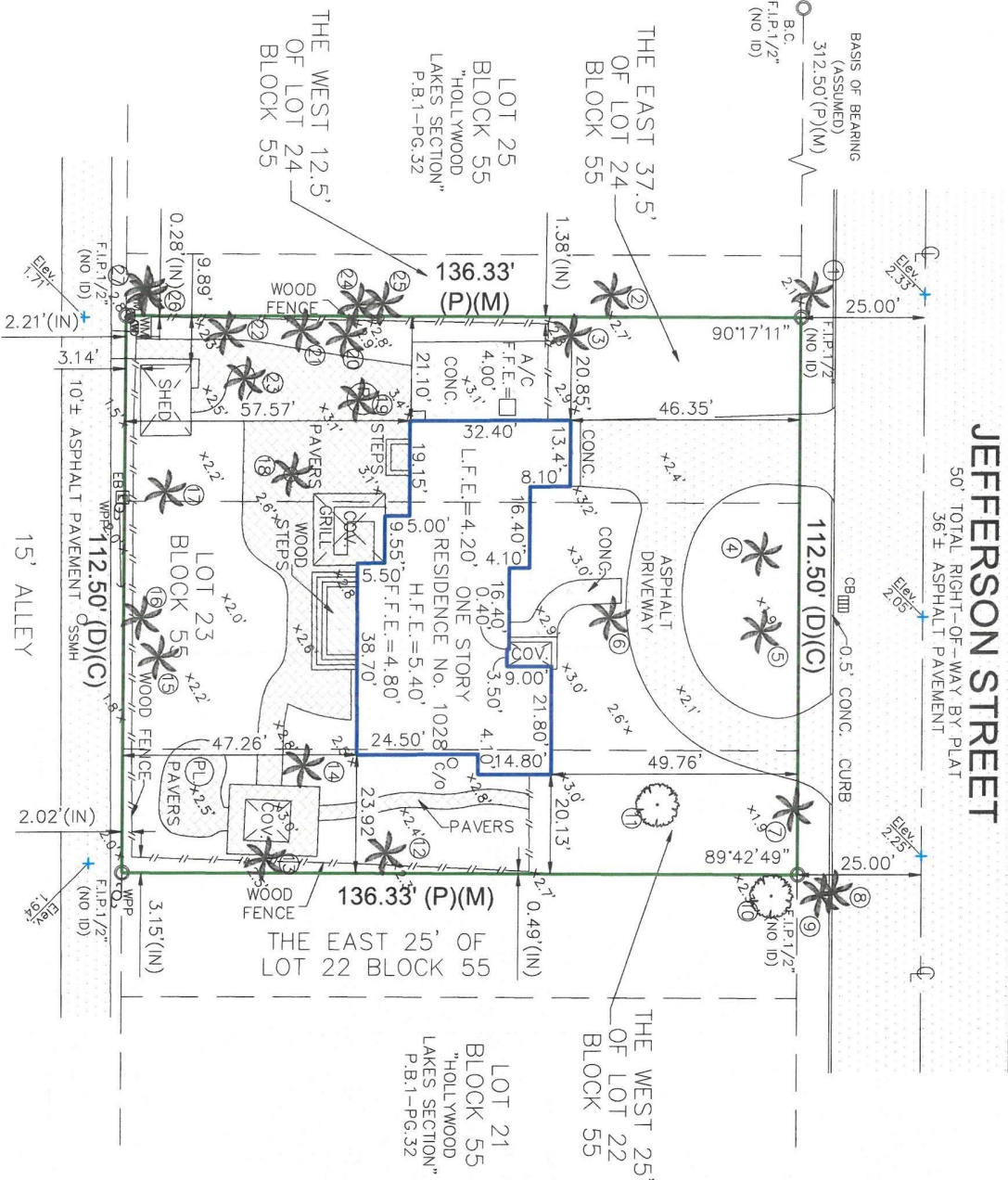
SHERI SKOLNICK

Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



NOTE:
-B.M. USED: BCED 1915
-ELEVATION: 3.27' (N.G.V.D. 1929)
-VERTICAL DATUM SHOWN: N.A.V.D. 1988



TREE TABULATION			
No.	NAME	TRUNK (Diameter)	CANOPY (Radius)
1	COCONUT TREE	1.00'	11'
2	COCONUT TREE	0.80'	13'
3	COCONUT TREE	0.50'	8'
4	PALM TREE	1.00'	10'
5	PALM TREE	1.00'	10'
6	PALM TREE	0.90'	6'
7	PALM TREE	1.80'	6'
8	PALM TREE	1.90'	10'
9	PALM TREE	1.00'	10'
10	OAK TREE	8.00'	40'
11	KIGELIA TREE	2.00'	21'
12	PALM TREE	1.40'	12'
13	PALM TREE	1.40'	12'
14	TWO PALMS TREES	1.50'	9'
15	PALM TREE	1.40'	15'
16	PALM TREE	0.80'	8'
17	PALM TREE	1.50'	15'
18	FOUR PALMS TREES	2.00'	7'
19	THREE PALMS TREES	3.00'	11'
20	PALM TREE	1.50'	15'
21	PALM TREE	1.30'	12'
22	PALM TREE	1.20'	13'
23	THREE PALMS TREES	3.00'	13'
24	PALM TREE	0.90'	8'
25	PALM TREE	0.90'	8'
26	PALM TREE	1.00'	13'
27	PALM TREE	1.00'	13'

Accepted By: _____

Property Address:
1028 Jefferson Street
Hollywood, FLORIDA 33019

Notes: NO NOTES

SURVEYOR'S CERTIFICATION I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYOR'S IN CHAPTER 5J-17-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 427-023 FLORIDA STATUTES.

M.E. Land Surveying, LLC
P.O. Box 970685
Miami, FL 33197
Phone: (305) 740-3319
Fax: (305) 669-3190
LB#: 7989

SIGNED _____ **FOR THE FIRM**
Miguel Espinosa
STATE OF FLORIDA **P.S.M. No. 5101**

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND / OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER



Surveyor's Legend

	LIMITED ACCESS RIGHT-OF-WAY LINE					
	PROPERTY LINE					
	STRUCTURE LINE	FND	FOUND IRON PIPE / PIN AS NOTED ON PLAT	B.R.	BEARING REFERENCE	
	CONCRETE BLOCK WALL				CENTRAL ANGLE OR DELTA	
	CHAIN LINK FENCE OR WIRE FENCE	LB#	LICENSE # - BUSINESS	R	RADIUS	
	WOOD FENCE	LS#	LICENSE # - SURVEYOR	RAD	RADIAL	
	IRON FENCE	CALC	CALCULATED POINT	N.R.	NON RADIAL	
	EASEMENT	SET	SET PIN	TYP.	TYPICAL	
	CENTER LINE	▲	CONTROL POINT	I.R.	IRON ROD	
	WOOD DECK	■	CONCRETE MONUMENT	I.P.	IRON PIPE	
	ASPHALT	⊕	BENCHMARK	N&D	NAIL & DISK	
	BRICK / TILE	ELEV	ELEVATION	PK NAIL	PARKER-KALON NAIL	
	WATER	P.T.	POINT OF TANGENCY	D.H.	DRILL HOLE	
	APPROXIMATE EDGE OF WATER	P.C.	POINT OF CURVATURE	⊙	WELL	
	COVERED AREA	P.R.M.	PERMANENT REFERENCE MONUMENT	⊠	FIRE HYDRANT	
	TREE	P.C.C.	POINT OF COMPOUND CURVATURE	⊙	MANHOLE	
	POWER POLE	P.R.C.	POINT OF REVERSE CURVATURE	O.H.L.	OVERHEAD LINES	
	CATCH BASIN	P.O.B.	POINT OF BEGINNING	TRANS.	TRANSFORMER	
		P.O.C.	POINT OF COMMENCEMENT	CATV	CABLE TV RISER	
		P.C.P.	PERMANENT CONTROL POINT	⊙	WATER METER	
		M	FIELD MEASUREMENT	P/E	POOL EQUIPMENT	
		D	DEED	CONC.	CONCRETE SLAB	
		C	CALCULATED	ESMT	EASEMENT	
		L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT	D.E.	DRAINAGE EASEMENT	
		R.O.E.	ROOF OVERHANG EASEMENT	L.B.E.	LANDSCAPE BUFFER EASEMENT	
		CONC.	CONCRETE	L.A.E.	LIMITED ACCESS EASEMENT	
		CSW	CONCRETE SIDEWALK	B.C.R.	BROWARD COUNTY RECORDS	
		L	CURVE LENGHT	F.I.R.	FOUND IRON PIN / REBAR	
				WF	WOOD FENCE	
					TEL.	TELEPHONE FACILITIES
					U.P.	UTILITY POLE
					E.U.B.	ELECTRIC UTILITY BOX
					SEP.	SEPTIC
					D.F.	DRAINFIELD
					A/C	AIR CONDITIONER
					S/W	SIDEWALK
					DWY	DRIVEWAY
					SCR.	SCREENED
					GAR.	GARAGE
					ENCL.	ENCLOSURE
					N.T.S.	NOT TO SCALE
					F.F.	FINISHED FLOOR
					T.O.B.	TOP OF BANK
					E.O.W.	EDGE OF WATER
					E.O.P.	EDGE OF PAVEMENT
					C.V.G	CONCRETE VALLEY GUTTER
					B.S.L	BUILDING SETBACK LINE
					S.T.L	SURVEY TIE LINE
					⊕	CENTER LINE
					R/W	RIGHT-OF-WAY
					P.U.E.	PUBLIC UTILITY EASEMENT
					C.M.E.	CANAL MAINTENANCE EASEMENT
					A.E.	ANCHOR EASEMENT
					ID	IDENTIFICATION
					BC	BLOCK CORNER

Property Address:

1028 Jefferson Street
Hollywood, FLORIDA 33019

Flood Information:

Community Number: 125113
Panel Number: 12011C0569
Suffix: J
Date of Firm Index: 07/31/2024
Flood Zone: AE
Base Flood Elevation: 7.0'
Date of Field Work: 04/05/2025
Date of Completion: 04/15/2025

General Notes:

- 1.) The Legal Description used to perform this survey was supplied by others. This survey does not determine or is not to imply ownership
2.) This survey only shows above ground improvements. Underground utilities, footings, or encroachments are not located on this survey map
3.) The minimum relative distance accuracy for this type of Survey is 1 foot in 10,000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement. Well-identified features as depicted on the Survey Map were measure to an estimated horizontal positional accuracy of 1/10 foot.
4.) If there is a septic tank, well, or drain field on this survey, the location of such items was shown to us by others and the information was not verified.
5.) Examination of the abstract of title will have to be made to determine recorded instruments, if any, affect this property. The lands shown herein were not abstracted for easement or other recorded encumbrances not shown on the plat.
6.) Wall/fence ties shown are from the inside face of the wall/fence to the property line.
7.) Fence ownership is not determined.
8.) Bearings referenced to line noted B.R also are assumed.
9.) Dimensions shown are platted and measured unless otherwise shown.
10.) No identification found on property corners unless noted.
11.) Not valid unless sealed with the signing surveyors embossed seal.
12.) Boundary survey means a drawing and/or graphic representation of the survey work performed in the field, could be drawn at a shown scale and/or not to scale.
13.) Elevations if shown are based upon NGVD 1929 unless otherwise noted.
14.) This is a BOUNDARY SURVEY unless otherwise noted.
15.) This survey is exclusive for the use of the parties to whom it is certified. The certifications do not extend to any unnamed parties.
16.) This survey may be used for construction/permitting purposes

Legal Description:

THE WEST 25 FEET OF LOT 22, ALL OF LOT 23 AND THE EAST 37.5 FEET OF LOT 24, BLOCK 55, OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Printing Instructions:

While viewing the survey in any PDF Reader, select the File Drop-down and select "Print". Select a color printer, if available; or at least one with 8.5" x 14" (legal) paper.
Select ALL for Print Range, and the # of copies you would like to print out.
Under the "Page Scaling" please make sure you have selected "None".
Do not check the "Auto-rotate and Center" box.
Check the "Choose Paper size by PDF" checkbox, then click OK to print.

Certified To:

Mark Skolnik and Sheri Skolnik
Self

its successors and/or assigns as their interest may appear.

Please copy below for policy preparation purposes only:

This policy does not insure against loss or damage by reason of the following exceptions: Any rights, easements, interests, or claims which may exist by reason of, or reflected by, the following facts shown on the survey prepared by Miguel Espinosa , for M.E. Land Surveying, LLC., dated 04/15/2025 bearing Job # B-147927 :
a. NO NOTES



M.E. Land Surveying, LLC

P.O. Box 970685 Miami, FL 33197
Phone: (305) 740-3319
Fax: (305) 669-3190
LB#: 7989





ROSA
BALSERA

500 BAYVIEW DR. #221
SUNNY ISLES BEACH, FL 33160
rbalsera05@gmail.com
206-419-7978

Certificate of Appropriateness for Design Criteria

Property Address: 1028 Jefferson St, Hollywood, FL 33019

1. INTEGRITY OF LOCATION

The property is located in the Hollywood Historic Lakes neighborhood, south of Hollywood Boulevard. The proposed design remains consistent with the zoning regulations and all applicable Historic Preservation Board (HPB) guidelines and recommendations.

2. DESIGN

- **General Scope** – The proposed work includes an interior renovation of the existing residence, the addition of a new master suite at the rear of the property, and a new porch structure at the front. Minor modifications will be made to the front elevation, including the removal of the existing garage door and the addition of windows.
- **Architectural Consistency** – The new rear addition and front porch are designed to be compatible with the original structure and will not alter the character of the existing streetscape.
- **Window & Door Openings** – Any new openings will match the existing proportions and materials to maintain visual continuity.
- **Roof** – The new roof on the addition will match the existing roofline, materials, and slope, maintaining architectural harmony.

3. SETTINGS

The residence is situated between existing single-family homes of similar scale and setback, within a cohesive and historically sensitive neighborhood. The proposed design preserves the existing front facade's scale and setback, as there will be no changes to the height, roofline, or footprint of the original structure. The addition of the porch will respect the existing side setbacks and will not alter the overall massing or presence of the home from the street.

At the rear, the new master suite addition will not be visible from the public right of way. It is designed to match the height of the existing house and will be entirely concealed from the street by the original structure. The overall proposal maintains the visual harmony and spatial rhythm of the surrounding context.

3. MATERIAL

All new construction will match the existing building materials, including roofing, wall finish, windows, doors, and trims. This includes maintaining the current stucco finish, roof type, and window frame material to ensure consistency. No contrasting modern materials will be introduced.



ROSA
BALSERA

500 BAYVIEW DR. #221
SUNNY ISLES BEACH, FL 33160
rbalsera05@gmail.com
206-419-7978

4. **WORKMANSHIP**

All proposed construction methods and materials will be in harmony with the original building techniques and the surrounding neighborhood. Special attention has been paid to preserving the quality, scale, and proportion of the original structure, with new elements designed to blend seamlessly.

5. **ASSOCIATION**

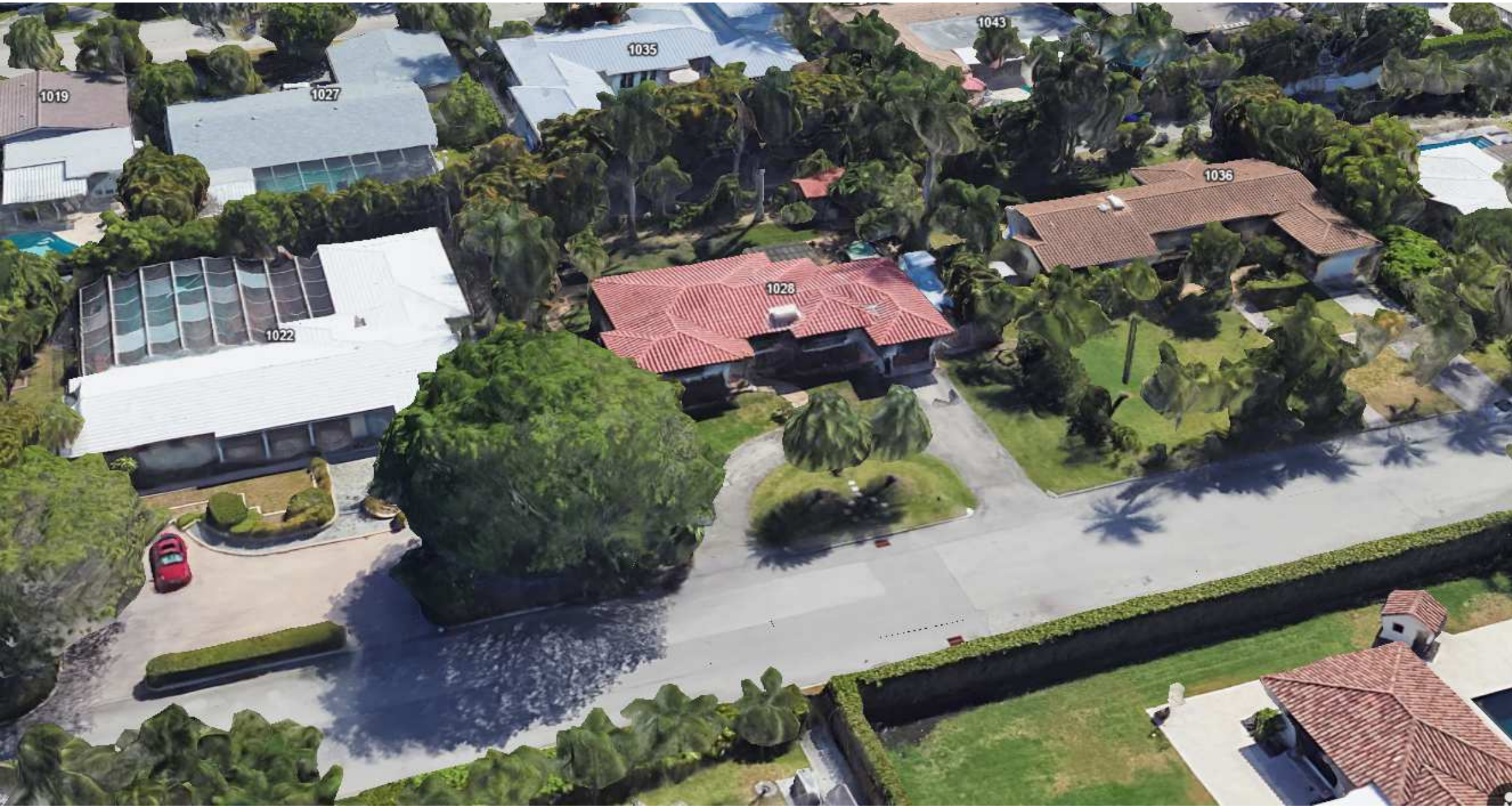
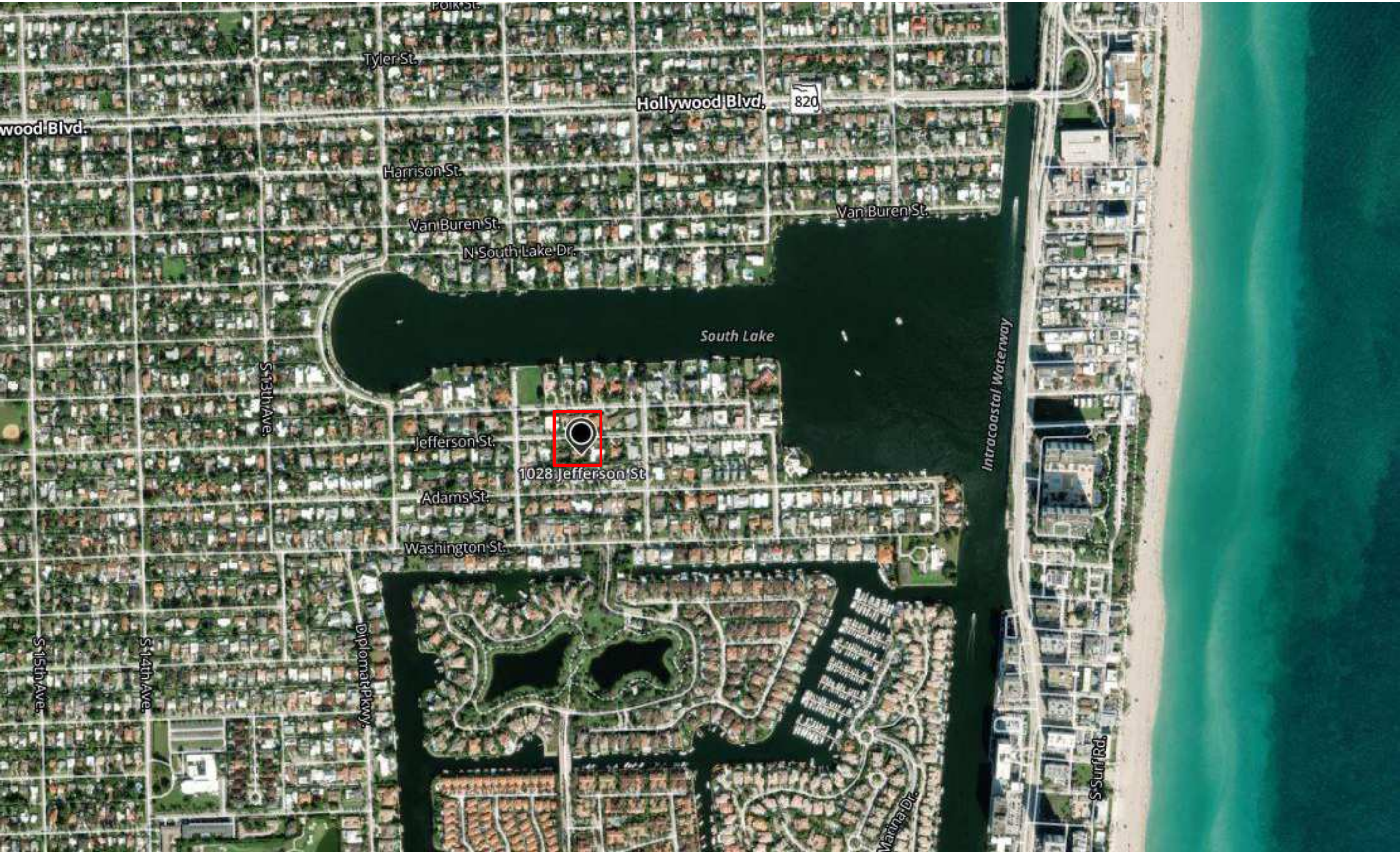
The design respects the historical context of the Hollywood Historic Lakes neighborhood. The scale, massing, and materials have been carefully considered to maintain the residential and architectural character of the area. The proposed changes seek to improve functionality for the current homeowners while honoring the architectural language of the existing structure and its contribution to the historic fabric of the community.



FRONT RENDERING



BACK RENDERING



LOCATION MAP

ADDRESS: 1028 JEFERSON ST HOLLYWOOD, FL 33019

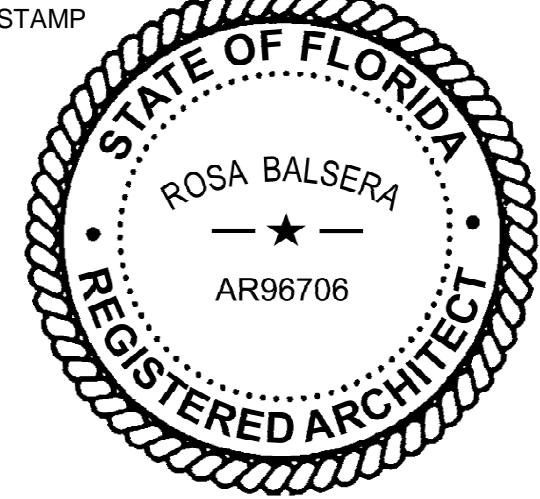
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SKOLNIK
RESIDENCE

1028 Jeferson St Hollywood, FL
33019

Owner

REVISIONS		
1	CITY COMMENT	03-25-25



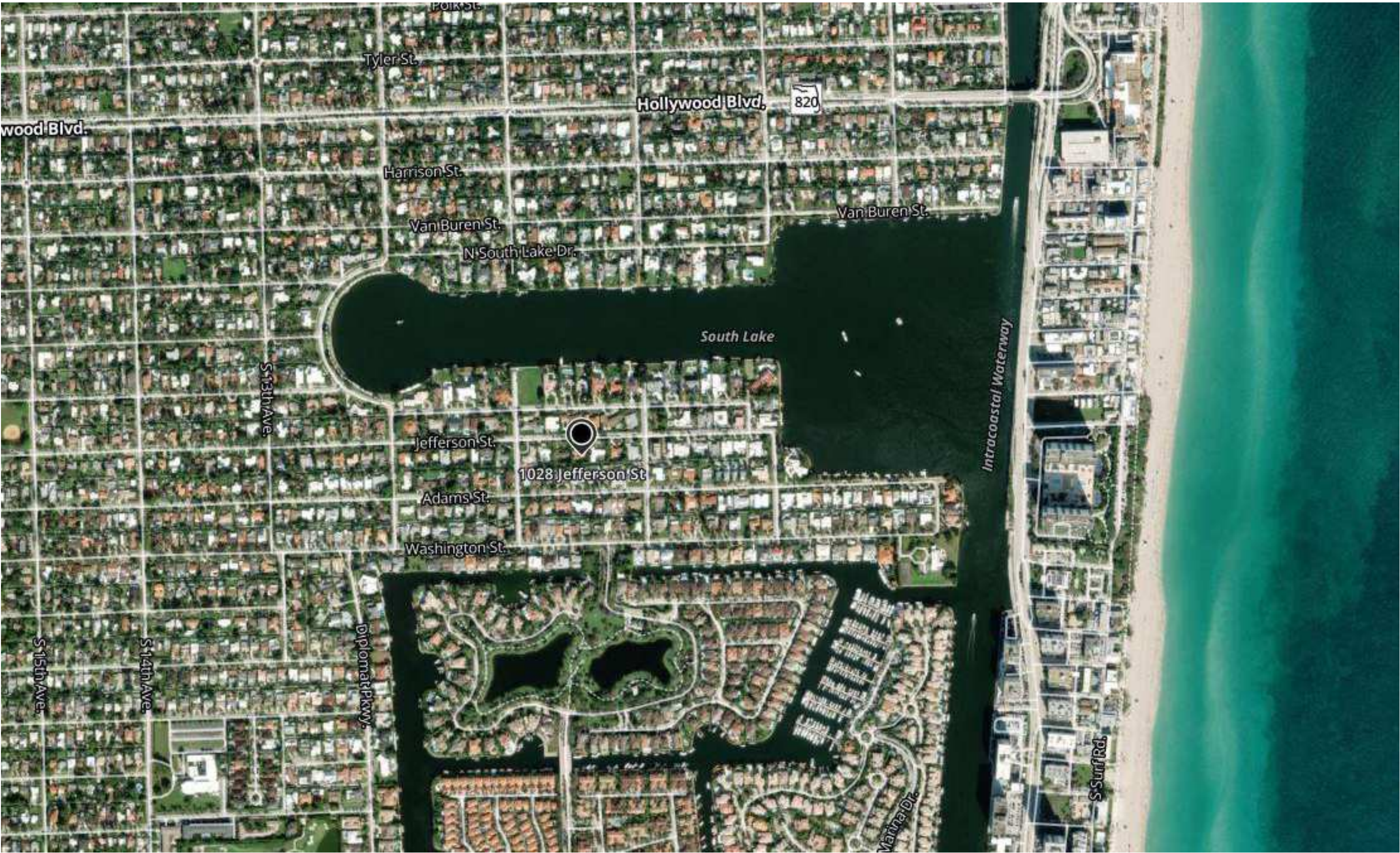
DATE

SHEET DESCRIPTION

COVER PAGE

SHEET NO.

A-000



LOCATION MAP

1028 Jeferson St Hollywood, FL 33019

ABBREVIATIONS

A	ANCHOR	HT	HEIGHT
AC	AIR CONDITIONING	HB	HORIZONTAL
ACOUST	ACOUSTICAL	ID	INTERIOR DIMENSION
ACP	ACOUSTICAL CEILING PANEL	INSUL	INSULATION
AFF	ABOVE FINISH FLOOR	INTERM	INTERMEDIATE
AHU	AIR HANDLE UNIT	JAN	JANITOR
ALUM	ALUMINUM	MANUF	MANUFACTURER
ANOD	ANODIZE	MAT	MATERIAL
BD	BOARD	MAX	MAXIMUM
BFF	BELOW FINISH FLOOR	MIN	MINIMUM
BLK'G	BLOCKING	MTL	METAL
BLK	BLOCK	NIC	NOT IN CONTRACT
CEM	CEMENT	NEOPR	NEOPRENE
CER	CERAMIC	OD	OUTSIDE DIMENSION
CFV	CONTRACTOR FIELD VERIFY	OC	ON CENTER
CJ	CONTROL JOINT	PTN	OVERFLOW SCUPPERS
CLG	CEILING	PJ	PANEL JOINT
CLUMN	COLUMN	PL	PLATE
CONC	CONCRETE	LP	PLYWOOD
CONT	CONTINUOUS	PNL	PANEL
COVER'G	COVERING	PLYWD	PLYWOOD
DGL	DOUBLE	PTN	PLYWOOD
DIM	DIMENSION	PTN	PANEL
DTL/DTLS	DETAILS	PT	PLATE
DW	DISH WASHER	REIN	REINFORCING
EA	EACH	REQ'D	REQUIRED
ETEC	ELECTRICAL	RM	ROOM
EL	ELEVATION	RD	ROOF DRAIN
ELEV	ELEVATOR	SHT	SHEET
EXH	EXHAUST	SCH	SCHEDULE
EXIST	EXISTING	SS	STAINLESS STEEL
EXP	EXPANSION	STD	STANDARD
EXT	EXTERIOR	SECT	SECTION
FD	FLOOR DRAIN	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SPEC'S	SPECIFICATIONS
FIRE EXT CAB	FIRE EXTINGUISHER CABINET	STL	STRUCTURAL
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	SC	SOLID CORE WOOD
	FLOURECENT	PH	TELEPHONE
	FINISH	TEMP	TEMPERED
FLUR	GAUZE	TOS	TOP OF SLAB
FIN	GYP SUM WALL BOARD	VCT	VINYL COMPOSITION TILE
GA	GYP SUM BOARD	VEST	VESTIBULE
GWB	GALVANIZED	WH	WATER HEATER
GYP BD	GALVANIZED STEEL		
GALV	GLASS		
GL	HOLLOW METAL		
GLS			
HM			

SYMBOL LEGEND			
	CENTER LINE		MATERIAL TAG
	PROPERTY LINE		PRINCIPAL ENTRY
	WINDOWS TAG		SLOPE TAG
	DOOR TAG		WATER METER
	DATUM FLOOR ELEV.		POLE
	BREAKLINE		PLUMBING TAG
	GRID BUBBLE TAG		REVISION TAG
	LEVEL HEAD CIRCLE		CHANGE OF ELEV.
	SECTION MARK		NORTH ARROW
	CALLOUT HEAD TAG	Room name AREA	ROOM TAG
	BUILDING ELEV. TAG		INTERIOR ELEV. TAG
	View Name 1/8" = 1'-0"		VIEW TITLE

GENERAL NOTES

1. CONTRACTOR SHALL COMPLY WITH THE LATEST APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES.
2. ALL MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE UTILIZED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
3. ALL WORK PERFORMED IN RELATIONSHIP TO THESE DOCUMENTS SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
4. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING THEMSELVES WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE AREAS, ACCESS ROADS, AND OTHER SUPPORT FACILITIES.
5. CONTRACTOR TO CAP, REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ALL ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION.
6. CONTRACTOR MUST NOTIFY ARCHITECT/ENG. IMMEDIATELY OF ANY UNEXPECTED OR DISCOVERED CONDITIONS WHICH VARY FROM THESE KNOWN, ANY DISCREPANCIES WITH THE DRAWINGS AND/OR CONTRACT DOCUMENTS, ANY ERRORS AND OMISSIONS ON THE DRAWINGS AND/OR THE FIELD PRIOR TO BIDDING. BEFORE PROCEEDING WITH WORK AND/OR SHOP FABRICATION.
7. CONTRACTOR SHALL NOTIFY ARCHITECT/ENG. FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL AND ELECTRICAL, LANDSCAPE AND CIVIL DRAWINGS. ANY DISCREPANCIES DISCUSSED AFTER BIDDING SHALL BE INTERPRETED BY THE ARCHITECT BASED ON THE USE OF THE MOST EXPENSIVE METHOD OR FINISH.
8. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM THE ARCHITECT/ENG. PRIOR TO ANY CHANGES OR DEVIATIONS FROM CONTRACT DOCUMENTS.
9. UNDER NO CIRCUMSTANCES SHALL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DESIGN INTENT NOR THE APPROVAL OF ARCHITECT OR ENGINEER WITHOUT THEIR WRITTEN APPROVAL.
10. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AND SURROUNDING AREAS KEEPING THEM FREE OF DEBRIS, HAZARDOUS EQUIPMENT OR MATERIALS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY MATERIALS, FINISHES OR EQUIPMENT DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED AND ENFORCED BY THE CONTRACTOR.
12. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS TO BE FOLLOWED.
13. ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
14. THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATION, WITHIN THE BUILDING'S CONSTRUCTION AS REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IF SUBSTITUTIONS ARE REQUESTED BY THE CONTRACTOR OR SUBCONTRACTORS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT CHANGES IN MATERIALS REQUESTED FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY EFFECT OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OR ASSEMBLY.
15. WHERE CMU IS INDICATED TO HAVE A SPECIFIC HOURLY FIRE RATING, THIS SHALL BE TAKEN AS THE MINIMUM ALLOWED.
16. ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS OR CEILINGS SHALL BE FIRE RETARDANT.
17. ALL PIPING SHALL BE SLEEVED THROUGH SLABS. CONTRACTOR TO FULLY SEAL SPACE AROUND PIPES WITH A U.L. APPROVED FIRE RESISTIVE "THERMAFIBER" GLASS FIBER SAFING INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASTM E-119 OR APPROVED SIMILAR OR AS DETAILED ON DRAWINGS. PROTRUSIONS THROUGH FIRE RATED WALLS SHALL BE PROTECTED AS TO MAINTAIN THE FIRE RATING OF SAID WALL.
18. ALL SHAFTS, SHALL BE 1-HOUR RATED WITHOUT EXCEPTION, U.L. DESIGN NO. U-465 OR APPROVED SIMILAR AND SHALL CONTINUE AS SUCH TO UNDERSIDE OF ROOF DECKING.
19. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND/OR ENGINEER FOR REVIEW PRIOR TO FABRICATION.
20. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED AND SHALL BEAR THE REVIEW STAMP, DATE AND SIGNATURE OF THE CONTRACTOR BEFORE SUBMITTAL TO THE ARCHITECT AND OR ENGINEER.
21. SHOP DRAWING SUBMITTALS SHALL CONSIST OF 1 SET OF REPRODUCIBLE COPIES AND TWO SETS OF BLUE PRINTS.
22. REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE DETAILS, PAVING, CURBING, WHEEL STOPS, ETC., IF APPLICABLE.
23. REFER TO LANDSCAPE DRAWINGS FOR ALL PLANTING AND INSTALLATION DETAILS.
24. CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLOCKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK OR BY OTHER ITEMS DESCRIBED IN THE CONTRACT DOCUMENTS.
25. IN ADDITION TO WALL TYPES SHOWN ON PLANS, THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES.
26. CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL ACCESS PANELS WITH MECHANICAL AND ELECTRICAL CONTRACTORS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY AND MAINTENANCE. NOTIFY ARCHITECT/ENG. AS TO SAID LOCATIONS PRIOR TO THEIR INSTALLATION TO AVOID CONFLICTS WITH INTERIOR FINISH MATERIALS AND DESIGN INTENT.
27. CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL A/C FIRE DAMPERS. COORDINATE LOCATIONS WITH ARCHITECT/ENG. UNLESS NOTED ON PLANS.
28. CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR REGISTERS, COVERS, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE. VERIFY AND COORDINATE COLORS WITH ARCHITECT.
29. BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES WITH THE ARCHITECT/ENG. UNLESS NOTED ON PLANS.
30. ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS, PLANES OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE.
31. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER, INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS, CONSTRUCTION MATERIAL FROM THE SITE AND SHALL ALSO BE RESPONSIBLE WALLS, DOORS, ETC. CONTRACTOR SHALL PROVIDE ITS OWN TRASH CONTAINER AT A LOCATION SELECTED BY THE OWNER.
32. UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETE SET OF RECORD DRAWINGS ("AS BUILT") ALONG WITH THE WRITTEN GUARANTEES, AND ALL OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED.
33. NO EXISTING FACILITY SHALL BE OCCUPIED DURING REMODELING OR RENOVATION UNLESS ALL EXISTING EXITS AND ANY EXISTING FIRE PROTECTION ARE CONTINUOUSLY MAINTAINED OR, IN LIEU THEREOF, OTHER ALTERNATE MEASURES ARE TAKEN WHICH PROVIDE EQUIVALENT SAFETY CONDITIONS.
34. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING DEMOLITION OR CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO PAVING AND LANDSCAPING OF THE PROPOSED STAGING AREA TO INSURE PROPER DRAINAGE AND TO RETURN THEM TO THEIR ORIGINAL EXISTING CONDITION.
35. ALL SLABS ON GRADE, INTERIOR AND EXTERIOR, TO BE ON 6 MIL. POLYETHYLENE VAPOR BARRIER WITHOUT EXCEPTION.
36. IF THE NORMAL WORK FLOW OF AN AREA MUST BE INTERRUPTED IN ORDER TO PROCEED WITH THE SCHEDULE, PROPER NOTICE MUST BE GIVEN TO THE OWNER IN ADVANCE, AND PERMISSION BE OBTAINED PRIOR TO THE OWNER IN ADVANCE, AND PERMISSION BE OBTAINED PRIOR TO COMMENCEMENT OF SUCH WORK.
37. CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING STRIPES, NUMBERS AND/OR LABELING OF EACH PARKING STALL. OWNER SHALL SUPPLY CONTRACTOR WITH DESIRED SEQUENCE.
38. CONTRACTOR SHALL AVOID INTERFERENCE WITH THE NORMAL WORK FLOW AND PROPER FUNCTIONING OF ALL AREAS WITHIN THE BUILDING. CONTRACTOR SHALL COORDINATE WITH OWNER'S SECURITY PROGRAM METHODS TO AVOID UNAUTHORIZED ENTRY, VANDALISM AND THEFT.
39. CONTRACTOR SHALL BE REQUIRED TO CONTINUOUSLY MAINTAIN ALL NECESSARY UTILITIES TO THE OCCUPIED FACILITIES DURING CONSTRUCTION. TEMPORARY PROVISIONS SHALL BE MADE.
40. ALL ROOFING, DECKING, WATERPROOFING, FLASHING TO COMPLY WITH ALL REQUIREMENTS UNDER SECTION 1519.16 OF THE FLORIDA BUILDING CODE. INSTALLATION TO BE DONE UNDER SEPARATE ROOF SUBPERMIT, AND ALL NOA MUST BE SUBMITTED FOR APPROVAL. WATERPROOFING MEMBRANE AS PER VULKEM 350N/EPXY PRIMER - VULKEM 350N/EPXY OR APPROVED EQUAL.
41. CONTRACTOR TO VERIFY SOIL VALUES AND CAPACITIES IN REFERENCE TO SOIL TEST AND STRCUTRAL PLANS
42. CONTRACTOR TO COORDINATE ELEVATOR REQUIREMENTS WITH ELEVATOR SELECTION

RAIN WATER NOTES

ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY LIMITS. FOR DETAILS REFER TO DRAINAGE PLAN, IF APPLICABLE

O.S.F.H. -(OUTSIDE SPECIAL FLOOD HAZARD) ALL ELECTRICAL AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE REQUIRED LOWEST FLOOR ELEVATION.
S.F.H. -(SPECIAL FLOOD HAZARD) ALL ELECTRICAL AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE BASE FLOOR ELEVATION OR REQUIRED LOWEST FLOOR ELEVATION WHICH EVER IS HIGHER.
LOWEST FLOOR - SHALL MEAN THE LOWEST FLOOR OF THE LOWEST ENCLOSED AREA (INCLUDING BASEMENT), AN UNFINISHED OR FLOOD RESISTANT ENCLOSURE, USABLE FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE IN AN AREA OTHER THAN A BASEMENT AREA, IS NOT CONSIDERED A BUILDING'S LOWEST FLOOR; PROVIDED THAT SUCH ENCLOSURE IS NOT BUILT AS TO RENDER THE STRUCTURE IN VIOLATION OF THE APPLICABLE NON-ELEVATION DESIGN REQUIREMENTS IN SECTIONS 11C-3.11C-4.11C-5. GARAGE OR STORAGE (SPHA, OSHA) (1C-5-F). FULLY ENCLOSED AREAS BELOW THE BASE ELEVATIONS SHALL BE DESIGN TO EXCLUDE FINISHED LIVING SPACE EXCEPT ALLOWABLE USES I.E. PARKING, LIMITED STORAGE AND BUILDING ACCESS AND SHALL BE DESIGN TO ALLOW FOR THE ENTRY AND EXIT OF FLOOD-WATERS TO AUTOMATICALLY EQUALIZE HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.
DESIGN FOR COMPLYING WITH THIS REQUIREMENT MUST BE EITHER CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT ALLOWING CRITERIA:
(1) PROVIDE A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE (1) SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SIZE. BOTTOM OF ALL OPENING SHALL BE NO MORE HIGHER THAN ONE(1) FOOT ABOVE GRADE.
(2) THE INTERIOR PORTION OF SUCH ENCLOSED AREA SHALL NOT BE PARTITIONED OR FINISH INTO SEPARATE ROOMS OR AIR CONDITIONED.

STAIRS NOTES

1. CLEAR WIDTH OF SPIRAL STAIR IS AT LEAST 26".
2. THE HEIGHT OF RISER IS NOT MORE THAN 7.75".
3. HEADROOM IS AT LEAST 6'-8".
4. TREADS SHOULD HAVE A MIN. DEPTH OF 10".
5. ALL TREAD ARE IDENTICAL.
6. MANUFACTURED STAIRS: ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND/OR ENGINEER FOR REVIEW PRIOR TO FABRICATION. UNDER SEPARATE PERMITS. G.C TO PROVIDE ALL NECESSARY SHOP DRAWINGS AND CALCULATIONS.

GARAGE NOTES

1. PROVIDE 1 LAYER OF 5/8" TYPE "X" GYPSUM BOARD ON 1"x3" FURRING STRIP @16" O.C., 5D CEMENT-COATED OR RING SHACKED NAILS 6" O.C. PAPER TAPE EMBEDDED IN CEMENTITIOUS COMPOUND OVER JOINTS AND EXPOSED NAILS HEADS COVERED WITH COMPOUND AND PRODUCT APPROVED INSULATION OF FIBERGLASS OR MINERAL WOOL BATS, OR BLOWN-IN FIBERGLASS, MINERAL WOOL OR CELLULOSIC INSULATION HAVING A MINIMUM INSULATION VALUE OF R-11 AS PER F.B.C.
2. PROVIDE 1 LAYER OF 5/8" TYPE "X" GYPSUM BOARD APPLIED VERTICALLY OR HORIZONTALLY ON 2"x4" WOOD STUDS OR 1"x3" FURRING STRIPS NAILED WITH 6D COOLER NAILS 7" O.C. WITH END JOINTS ON NAILING MEMBERS. PROVIDE 3-1/2" BATT INSULATION WITHIN FRAME AS PER F.B.C
3. PROVIDE SIGN @ GARAGE DOOR "DANGER DO NOT OPERATE ENGINES WITH DOOR CLOSED. CARBON MONOXIDE ENGINE IS LETHAL". 1/2" MIN. LETTERS REQUIRED AS PER F.B.C.4. PROVIDE 2"x6" P.T. WOOD JAMB BOLTED TO CONC. COLUMN WITH 1/2" DIA. x 6" ANCHOR BOLTS @24" O.C. FOR OVERHEAD DOOR RAIL, NOT MORE THAN 6" TOP & BOTTOM.
5. PROVIDE SCREENED VENTILATION IN GARAGE. VENTS AREA TO BE WITHIN 12" OF FIN. FLOOR.
6. RESIDENCE TO GARAGE DOOR TO BE PROVIDED WITH AUTO CLOSURE AND TO BE 1 HOUR FIRE RATED AS PER F.B.C.
7. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION 7.00' NGVD MUST BE FLOOD-RESISTANT MATERIAL. AS PER FEMA TECHNICAL BULLETIN NFIP-ACCEPTABLE/CLASS-4

MEAN OF ESCAPE NOTE

ALL EGRESS WINDOWS TO COMPLY W/ FBC 2020. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 S.Q. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR, THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.
EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED

TERMITE PROTECTION

R318.1 TERMITE PROTECTION.
TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 202, REGISTERED TERMITICIDE. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

NOTE AS PER FBC

BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES (2036 MM) OVER THE FIXTURE AND AT THE FRONT CLEARANCE AREA FOR FIXTURES
A SHOWER OR TUB EQUIPPED WITH A SHOWERHEAD SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES (2036 MM) ABOVE A MINIMUM AREA 30 INCHES (762 MM) BY 30 INCHES (762 MM) AT THE SHOWERHEAD.

DOORS, BATH AND SHOWER ENCLOSURES, AND SLIDING GLASS DOORS CONTAINING GLAZING MATERIAL GREATER THAN 9 SQUARE FEET (0.84 M2) IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY II GLAZING PRODUCTS.

FLOOR PLAN NOTES

1. SHOWER ENCLOSURE SAFETY GLASS CAT.II. TILE IMPERVIOUS FINISH UP TO 80" A.F.F.

2. BATHTUB & SHOWER FLOORS & WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS & IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NO LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR. R307.2 BACKING BOARD FOR CERAMIC TILE TO BE CEMENT FIBER, OR GLASS MAT. R702.4.2

3. FAIR HOUSING BACKING TYP. TOILET, TUB & SHOWERS

4. RAILS SHALL REJECT A 4" DIAMETER SPHERE SHALL BE 42" HIGH MIN. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL SHALL REJECT A 6" SPHERE
REQUIRED SHOP DRAWINGS TO BE SUBMITTED AND APPROVED BY CITY OF HOLLYWOOD
ALL SHOP DRAWING SHALL BE SUBMITTED TO ARCHITECT AND/OR ENGINEER FOR REVIEW PRIOR TO FABRICATION UNDER SEPARATE PERMITS. G.C TO PROVIDE ALL NECESSARY SHOP DRAWINGS AND CALCULATIONS.
GUARDRAIL RESISTANT TO 400# LAT PEDUL IMPACT GLASS GUARDRAILS TO HAVE KINETIC ENERGY IMPACT LOADING AS PER ANSI Z397.1- FBC2020 1618.4.6.3

5. WINDOWS, EXT. DOORS AND SHUTTERS W/ PRODUCT APPROVAL SHOP DRAWINGS WILL BE PROVIDED. SEE ELEVATIONS PLANS FOR F.G. DIMENSIONS.

ELEVATION NOTES

1. G.C TO PROVIDE ALL NECESSARY SHOP DRAWINGS AND CALCULATIONS FOR RAILINGS. RAILS SHALL REJECT A 4" DIAMETER SPHERE SHALL BE 42" HIGH MIN. GUARDRAIL RESISTANT TO 400# LAT PENDUL IMPACT (BY OTHERS)

2. ALL WINDOWS AND DOORS IMPACT RESISTANT, BY SEPARATE PERMIT W/ PRODUCT APPROVAL FOR ALL WINDOWS AND DOORS ARE REQUIRED TO BE REVIEWED AND SIGNED APPROVED BY THE DESIGNER OF RECORD

3. ALL WINDOWS AND DOORS, GARAGE DOOR, FENCES, HANDRAILS, STAIR, SPIRAL STAIR UNDER SEPARATED PERMIT.

4. THE WINDOW INFORMATION CAN BE FOUND IN THE WINDOW SCHEDULE ON SHEET A-500

5. ALL WINDOWS WILL BE TINTED

6. REFER TO STRUCTURAL PLANS FOR SLAB DEPRESSION DETAILS, TYP.

POOL BARRIER; ALARM NOTES

WHERE A WALL OF A DWELLING SERVES AS PART OF THE BARRIER, ONE OF THE FOLLOWING SHALL APPLY: REQUIREMENTS RELATING TO POOL SAFETY FEATURES:
ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING W/ UL 2017 THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DBA AT 10 FT. THE EXIT ALARM SHALL PRODUCE A CONTINUOUS AUDIBLE WARNING WHEN THE DOOR AND ITS SCREEN ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES THE ALARM SHALL BE EQUIPPED W/ A MANUAL MEANS TO TEMPORARY DEACTIVATE THE ALARM FOR A SINGLE OPENING. SUCH DEACTIVATION SHALL LAST NOT MORE THAN 15 SECOND. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 54 IN ABOVE THRESHOLD OF THE DOOR SCREENED OR PROTECTED WINDOWS HAVING A BOTTOM SILL HEIGHT OF 48" OR MORE MEASURED FROM THE INTERIOR FINISHED FLOOR AT THE POOL ACCESS LEVEL WINDOWS FACING THE POOL ON FLOOR ABOVE THE FIRST STORY SCREENED OR PROTECTED PASS-THROUGH KITCHEN WINDOWS OR HIGHER W/ A COUNTER BENEATH.
SEPARATE ALARMS ARE NOT REQUIRED FOR EACH DOOR OR WINDOW IF SENSORS WIRED TO A CENTRAL SOUND WHEN CONTACT IS BROKEN AT ANY OPENING.
ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH A SELF CLOSING, SELF LATCHING DEVICE W/ POSITIVE MECHANICAL LATCHING/ LOCKING INSTALLED A MINIMUM OF 54" ABOVE THE THRESHOLD WHICH IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.

ROSA
BALSERÁ

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SUNNY ISLES BEACH, FL 33160

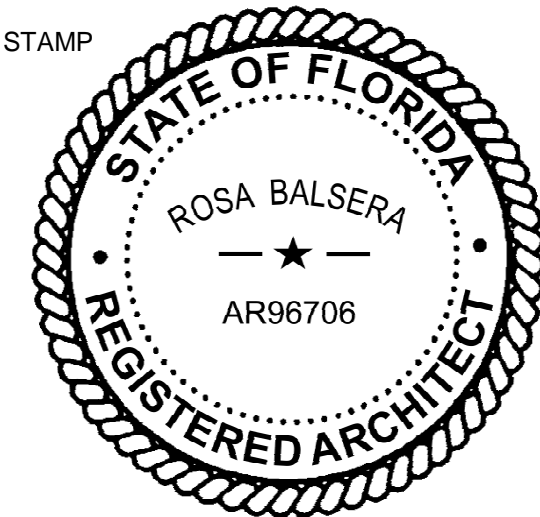
SKOLNIK
RESIDENCE

1028 Jeferson St Hollywood, FL
33019

Owner

REVISIONS

STAMP



DATE

SHEET DESCRIPTION

GENERAL NOTES

SHEET NO.

A-001

SKOLNIK
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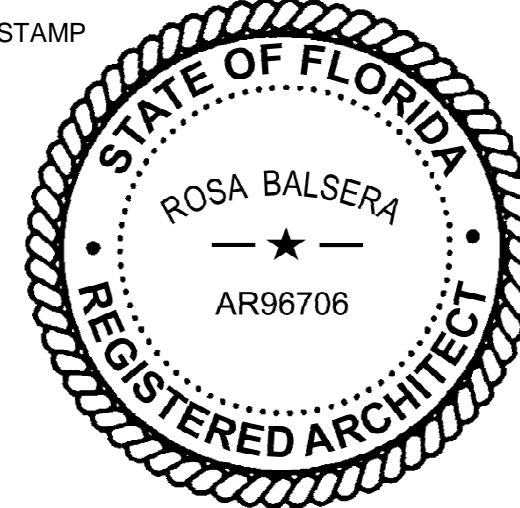
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33019

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1	CITY COMMENT	03-25-25
2	CITY COMMENT	05-22-25

STAMP



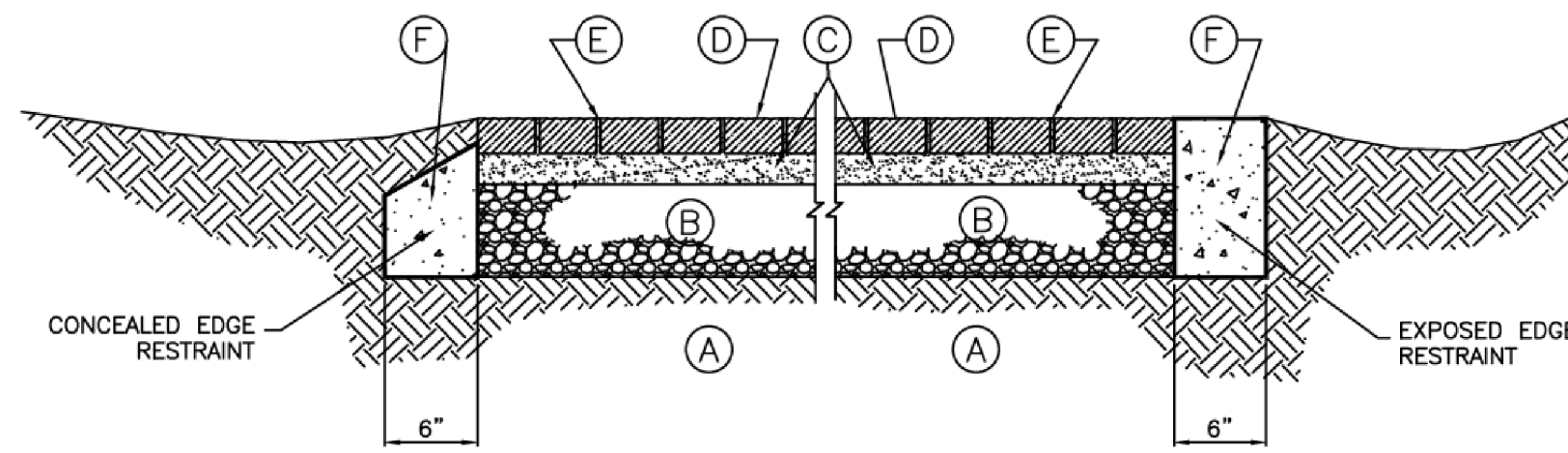
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SITE PLAN

SHEET NO.

A-100



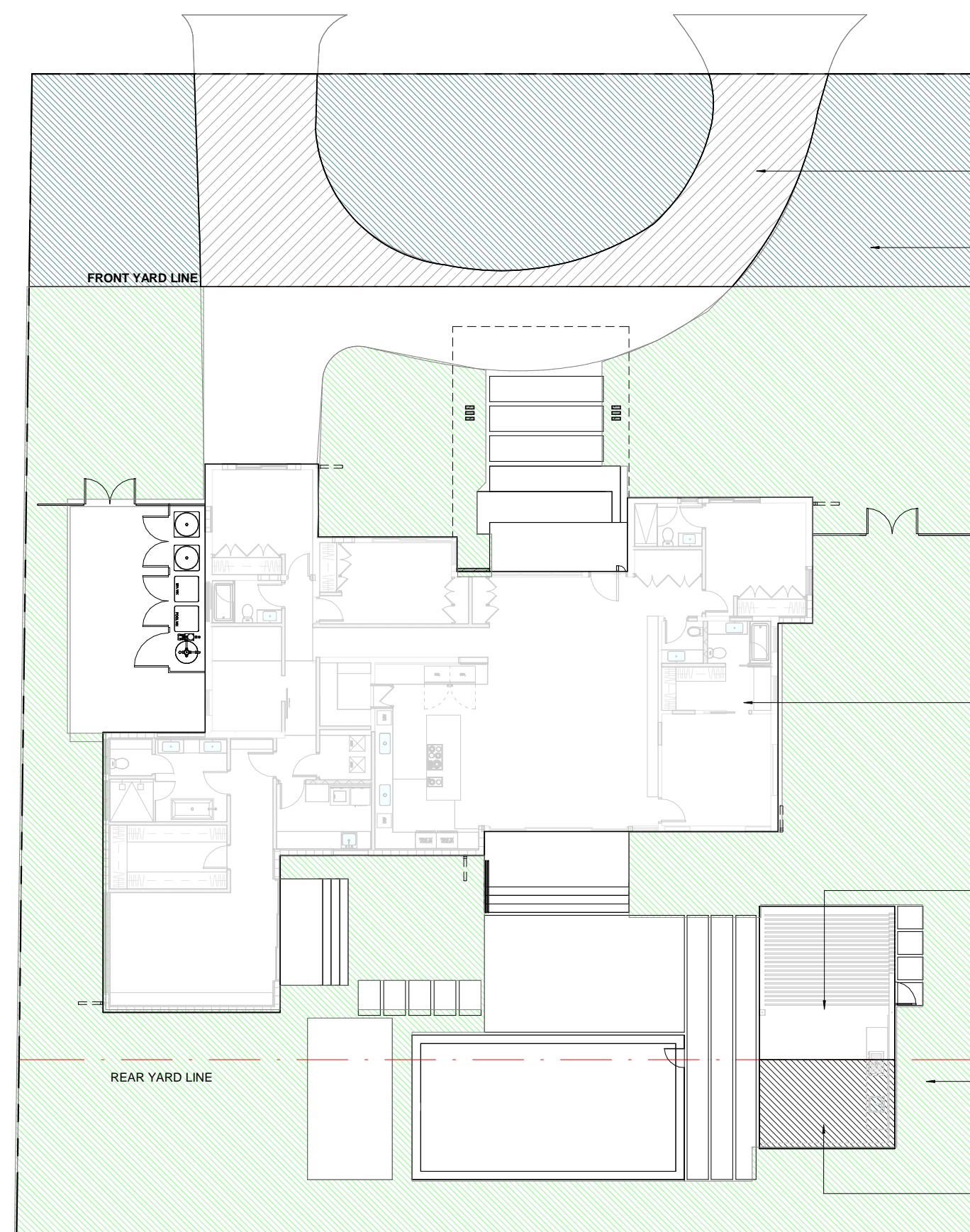
LEGEND:

A. SUITABLE SUBGRADE (SEE NOTE NO. 1)
B. LIMEROCK BASE COMPACTED TO A MIN. OF 98% OF MAX. DENSITY AS DETERMINED BY AASHTO T-180 MINIMUM THICKNESS REQUIRED: 6" IN THE PUBLIC RIGHT OF WAY
4" ON PRIVATE PROPERTY
C. SAND BEDDING COURSE, 2" TYPICAL
D. CONCRETE SEGMENTAL PAVING UNITS
E. JOINT-FILLING SAND
F. 3,000PSI CONCRETE @CONTINUOUS EXPOSED EDGE RESTRAINT REQUIRED IN THE PUBLIC RIGHT-OF-WAY.

LIMITATIONS:

1. LIGHT TRAFFIC AND DOMESTIC USE ONLY. HEAVIER TRAFFIC OR UNSUITABLE SOIL CONDITIONS REQUIRE SPECIAL PAVEMENT STRUCTURE AND THICKNESS DESIGN.
2. SURFACE DRAINAGE: RECOMMENDED MINIMUM GRADE OF 2% TO SWALE PERVIOUS AREA.
3. THIS IS A NON-STANDARD TYPE OF DRIVEWAY CONSTRUCTION AND AN AFFIDAVIT IS REQUIRED FROM THE OWNER FOR WORK IN PUBLIC RIGHT OF WAY OR EASEMENT.

CONCRETE PAVER DETAIL



FRONT YARD AREA: 2814.46 SF
(20% = 562.89 sf)

FRONT YARD HARDSCAPE AREA:
841.47 SF

PERVIOUS FRONT YARD AREA:
(1973.04 sf > 562.89 sf)

MAIN STRUCTURE FLOOR AREA:
3160.47 sf
(30% = 948.14 sf)

ACCESSORY BUILDING
FLOOR AREA:
453.63 sf
(453.63 sf < 948.14 sf)

REAR YARD AREA:
2300 SF
(30% = 690 sf)

ACCESSORY BUILDING
REAR YARD AREA:
166.13 sf
(166.13 sf < 690 sf)

YARD: A SPACE ON THE SAME PLOT WITH A STRUCTURE OR USE, OPEN AND UNOBSTRUCTED FROM THE GROUND TO THE SKY EXCEPT BY ENCROACHMENTS SPECIFICALLY PERMITTED IN THESE REGULATIONS. YARD MEASUREMENTS SHALL BE THE MINIMUM HORIZONTAL DISTANCES. YARDS SHALL EXTEND AND BE MEASURED PERPENDICULAR AND INWARD FROM THE RESPECTIVE PLOT LINES. THE TERM YARD INCLUDES THE TERM SETBACK, AND THESE TERMS ARE SYNONYMOUS. WHEN THE TERM YARD IS USED IT SHALL MEAN THE MINIMUM REQUIRED YARD OR SETBACK.

YARD, FRONT. A YARD EXTENDING ACROSS THE FULL WIDTH OF THE PLOT ALONG THE FRONT PLOT LINE FROM SIDE PLOT LINE TO SIDE PLOT LINE.

YARD REAR. A YARD EXTENDING ACROSS THE FULL WIDTH OF THE PLOT ALONG THE REAR PLOT LINE FROM SIDE PLOT LINE TO SIDE PLOT LINE.

3 SITE PLAN
1" = 10'-0"

PARKING SPACES

2 PARKING SPACES FOR THE FIRST 2000 SF OF UNDER AIR LIVING AREA. THEN ONE EVERY 500 SF WITH A CAP AT 5.

LIVING AREA 3160 SF
3160 SF -2000 SF =1160 SF
1160/500 SF=2.32

5 PARKING SPOTS PROVIDED

CONSTRUCTION TYPE
TYPE II B CONSTRUCTION

SEPARATE PERMITS

POOL, BBQ AREA, ROOF, WINDOWS & DOORS, FENCE.

APPLICABLE CODES

FLORIDA BUILDING CODE 2023 EDITION
FLORIDA RESIDENTIAL CODE 2023
NATIONAL ELECTRICAL CODE 2023
FLORIDA PLUMBING CODE 2023
FLORIDA MECHANICAL CODE 2023
FLORIDA ENERGY CODE 2023

SCOPE OF WORK

1. ADDITION TO A 1 STORY SINGLE FAMILY RESIDENCE

AREA TALLY

A/C GROUND FL - EXISTING	2222.40 SF
A/C GROUND FL - NEW	937.60 SF
A/C TOTAL	3160 SF
PERCENTAGE OF INCREASE	29.67 %
ENTRY / PORCH STRUCTURE	572 SF
PERGOLA	453 SF
DECK AREA	867 SF

LANDSCAPE OPEN SCAPE 20% - FRONT YARD FRONT YARD AREA	2814.46 SF (20% = 562.89 sf)
PERVIOUS LANDSCAPE FRONT YARD AREA:	1973.04 SF (1973.04 sf > 562.89 sf)
OPEN SCAPE 20% - REST OF PROPERTY REST OF LOT YARD AREA:	12489 SF (20% = 2,497.8 sf)
PERVIOUS LANDSCAPE REST YARD AREA:	9790 SF (5790 SF > 2,497.8 SF)

ZONING INFORMATION

CITY OF HOLLYWOOD
ART. 4 - SCHEDULE OF DISTRICT, USE AND SETBACK REGULATIONS
SECTION 4.1 - SINGLE FAMILY DISTRICT
ZONING DISTRICT - RS-6

BUILDING SET BACK	REQUIRED	PROVIDED
FRONT SETBACK	25'-0"	45'-10"
REAR SETBACK	20'-0"	26'-0"
SIDES SETBACK	SUM = 25% LOT WIDTH = 28.125'	9'-5" + 20'-2" = 29'-7"
POOL SETBACK	6' - 0"	34'-3" FROM SIDE & 6'-4" REAR
ACCESSORY BLDG SB (EQ POOL)	6'- 0" (use or str. similar to the proposed)	9'-7" FROM SIDE & 10'-0" REAR
LOT OCCUPATION		
ACCESSORY BLDG FLOOR AREA	max 30% of floor area = 3160.47 sf x 0.3 = 948.14 sf max 30% of rear yard = 2300 sf x 0.3 = 690 sf	453.63 sf total 166.13 sf rear yard
FRONT LANDSCAPE PERVIOUS AREA	MIN 20% of front yard = 2814.46 sf x 0.2 = 562.89 sf	1973.04 sf

SITE DESCRIPTION

LEGAL DESCRIPTION

ADDRESS: 1028 JEFFERSON ST HOLLYWOOD, FL 33019
THE WEST 25 FT OF LOT 22; ALL OF LOT 23
LOT: AND THE EAST 37.5 FT OF LOT 24 BLOCK: 55 PLAT BOOK: 1 PAGE: 32

HIGHEST CROWN OF ROAD ELEVATION: 2' - 4"

FLOOD ZONE: AE

AVERAGE OF CROW OF ROAD ELEVATION: 2' - 3"

BASE FLOOD: 7.0'

ALL SITE INFORMATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A CERTIFIED PREPARED BY:

SURVEYOR'S NAME: MIGUEL ESPINOSA PLS LIC.: 5101 FIELD WORK DATE: 11/20/2024

PROPOSED	LOWEST FLOOR ELEVATION	GARAGE/STORAGE ELEV.	ADJACENT GRADE ELEV.
MINIMUM			

AS-BUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR AND AS-BUILT ELEVATION CERTIFICATE IS REQUIRED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY OR COMPLETION (IIC3-3D3)

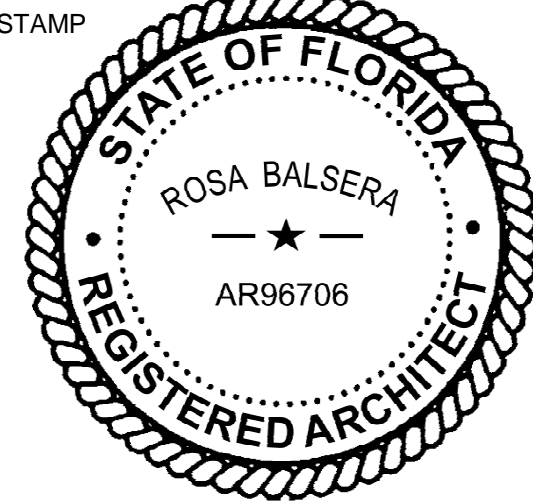


SKOLNIK
RESIDENCE

1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS



DATE

SHEET DESCRIPTION

SITE PHOTOS - EXISTING
HOUSE

SHEET NO.



rbalsera05@gmail.com
206-419-7978
500 BAYVIEW DR. #221
SUNNY ISLES BEACH, FL 33160



1028 Jeferson St Hollywood, FL
33019

Owner



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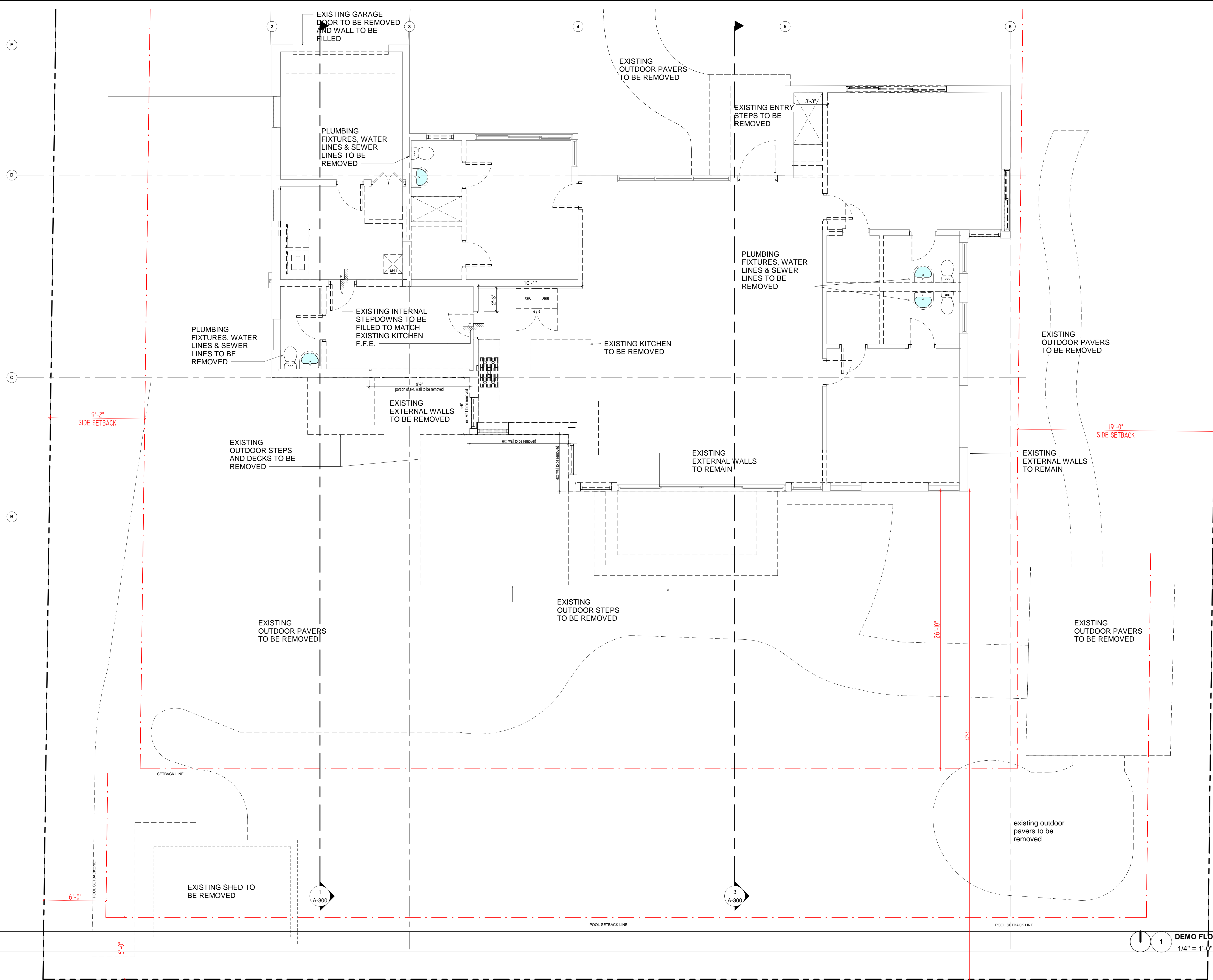


SHEET DESCRIPTION

SITE PHOTOS - ADJACENT HOUSES

SHEET NO.

A-100.1A

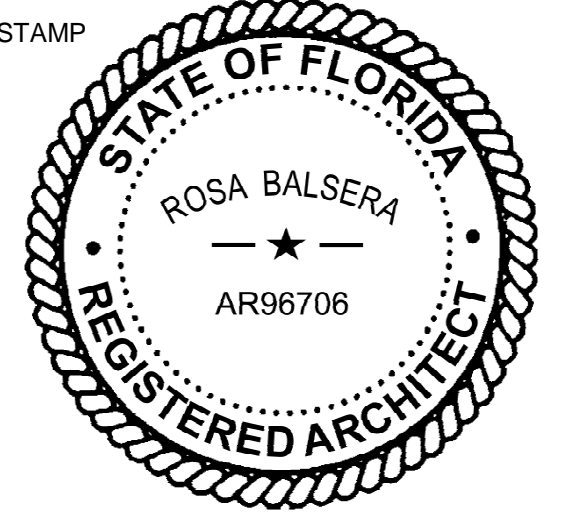


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DATE

SHEET DESCRIPTION

FIRST FLOOR DEMOLITION
PLAN

SHEET NO.

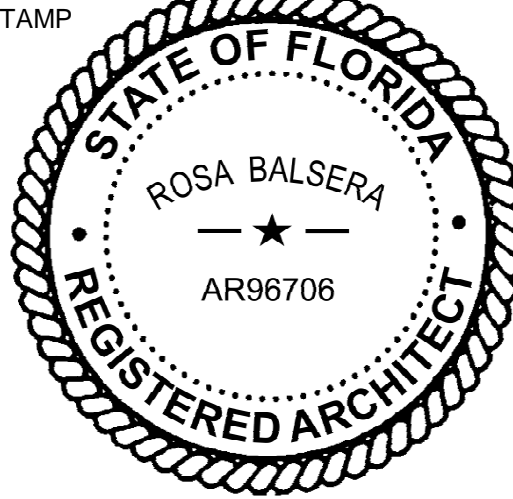
SKOLNIK
RESIDENCE

1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS

STAMP



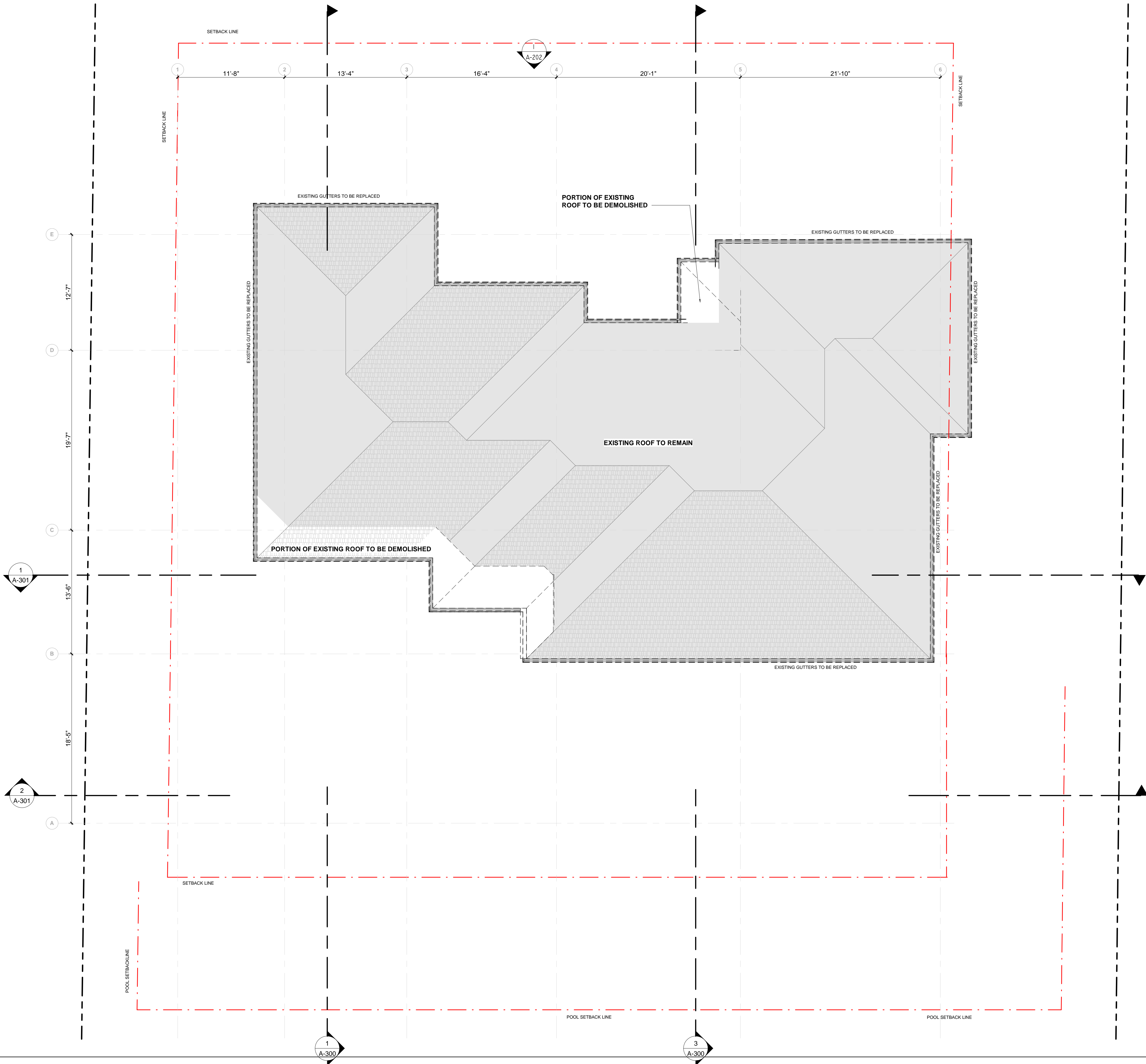
DATE

SHEET DESCRIPTION

ROOF DEMOLITION PLAN

SHEET NO.

A-100.3



SKOLNIK
RESIDENCE

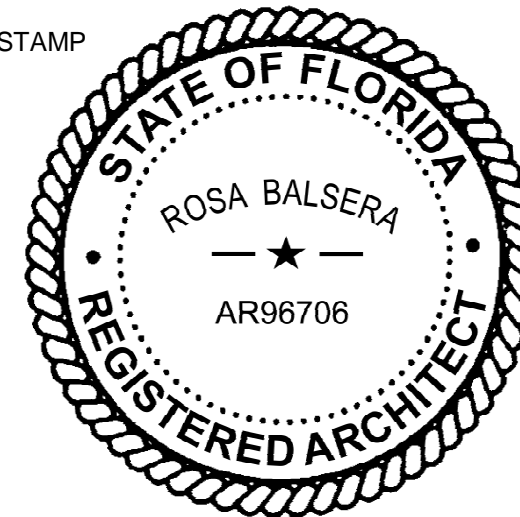
1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS

1	CITY COMMENT	03-25-25
2	CITY COMMENT	05-22-25

STAMP



DATE

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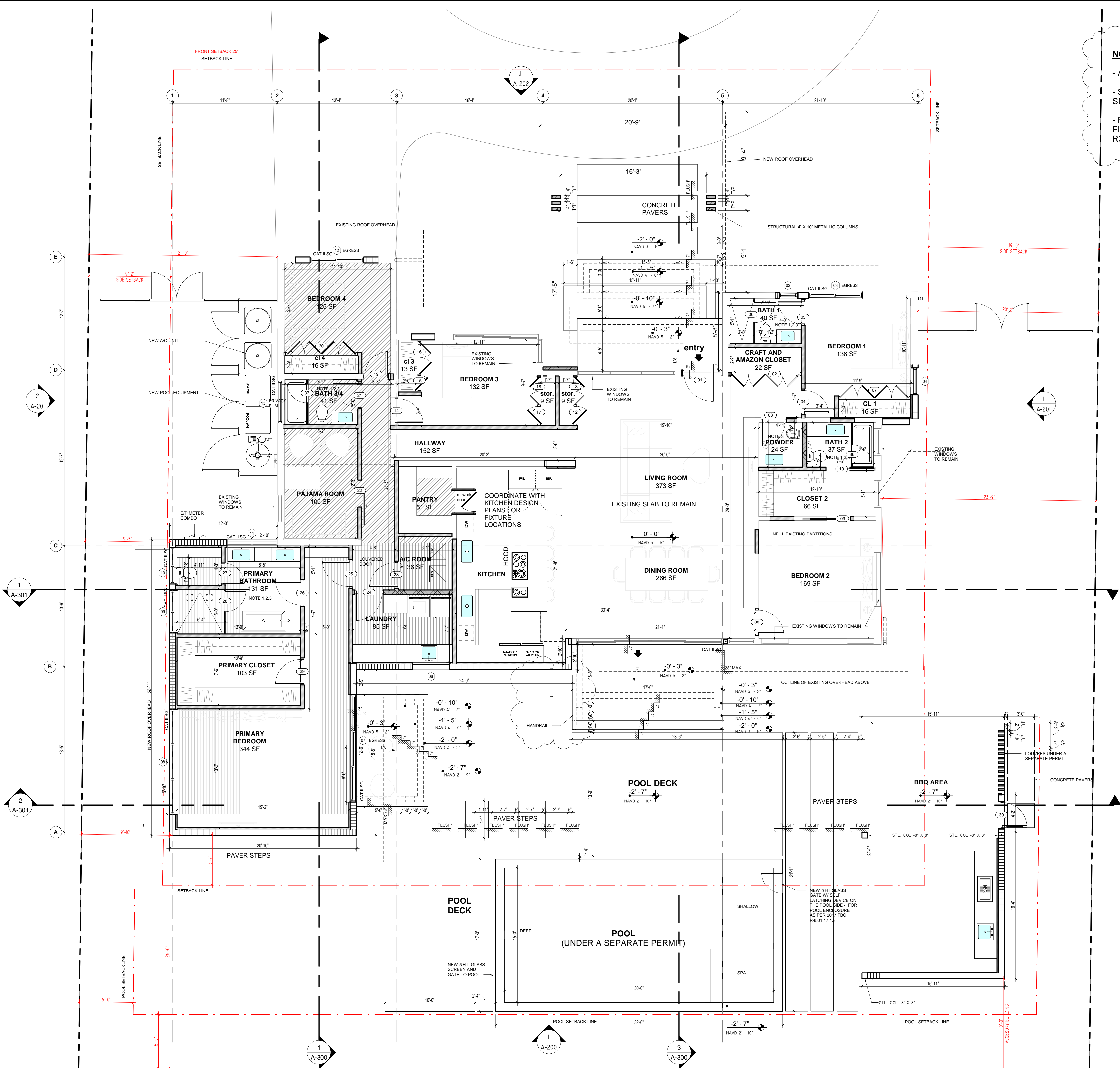
FIRST FLOOR PLAN

SHEET NO.

A-101

NOTES:

- ALL EXISTING DIMENSIONS TO BE CONFIRMED ON SITE.
- SHOWER AND BATHTUB ENCLOSURE SHALL COMPLY WITH FBCR 2023 - SECTIONS 308.4.5 AND 2708.
- FLAME SPREAD AND SMOKE-DEVELOPED INDEXES FOR WALL AND CEILING FINISHES SHALL BE IN ACCORDANCE WITH SECTIONS R302.9.1 THROUGH R302.9.4.



INTERNAL FLOOR LEGEND

- INTERNAL SLABS TO BE FILLED TO MATCH EXISTING KITCHEN F.F.E.
- NEW SLAB

WALL LEGEND

- 3 5/8" - 25 ga. MTL. STUDS @ 16" O.C. 5/8" GYP. BD. EA. SIDE. PROVIDE 5/8" DUROCK BOARD AT WET AREAS AND "MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS.).
- 6" - 25 ga. MTL. STUDS @ 16" O.C. 5/8" GYP. BD. EA. SIDE. PROVIDE 5/8" DUROCK BOARD AT WET AREAS AND "MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS.).
- NEW 8" C.M.U. WALL - SEE STRUCTURAL DWGS. FOR SPECIFICATIONS
- NEW 8" POUR-IN-PLACE CONCRETE WALL - SEE STRUCTURAL DWGS. FOR SPECIFICATIONS
- NEW 8" C.M.U. WALL W/ - 2"x2" P.T. WD OR 1 1/2" MTL FURRING @ 24" O.C. & R-7.8 INSULATION SEE STRUCTURAL DWGS. FOR SPECIFICATIONS
- EXISTING WALL TO REMAIN

FIRST FLOOR PLAN

3/16" = 1'-0"

SKOLNIK
RESIDENCE

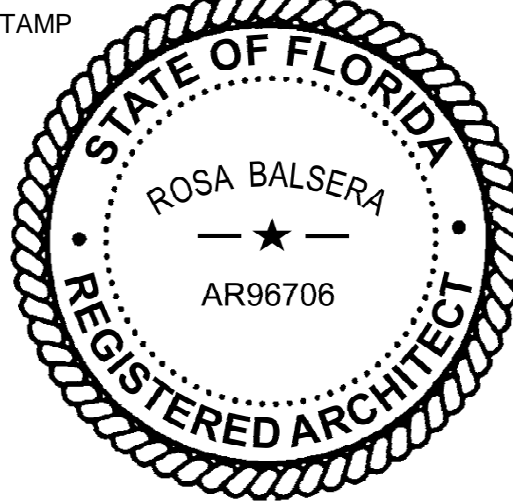
1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS

1 CITY COMMENT 03-25-25

STAMP



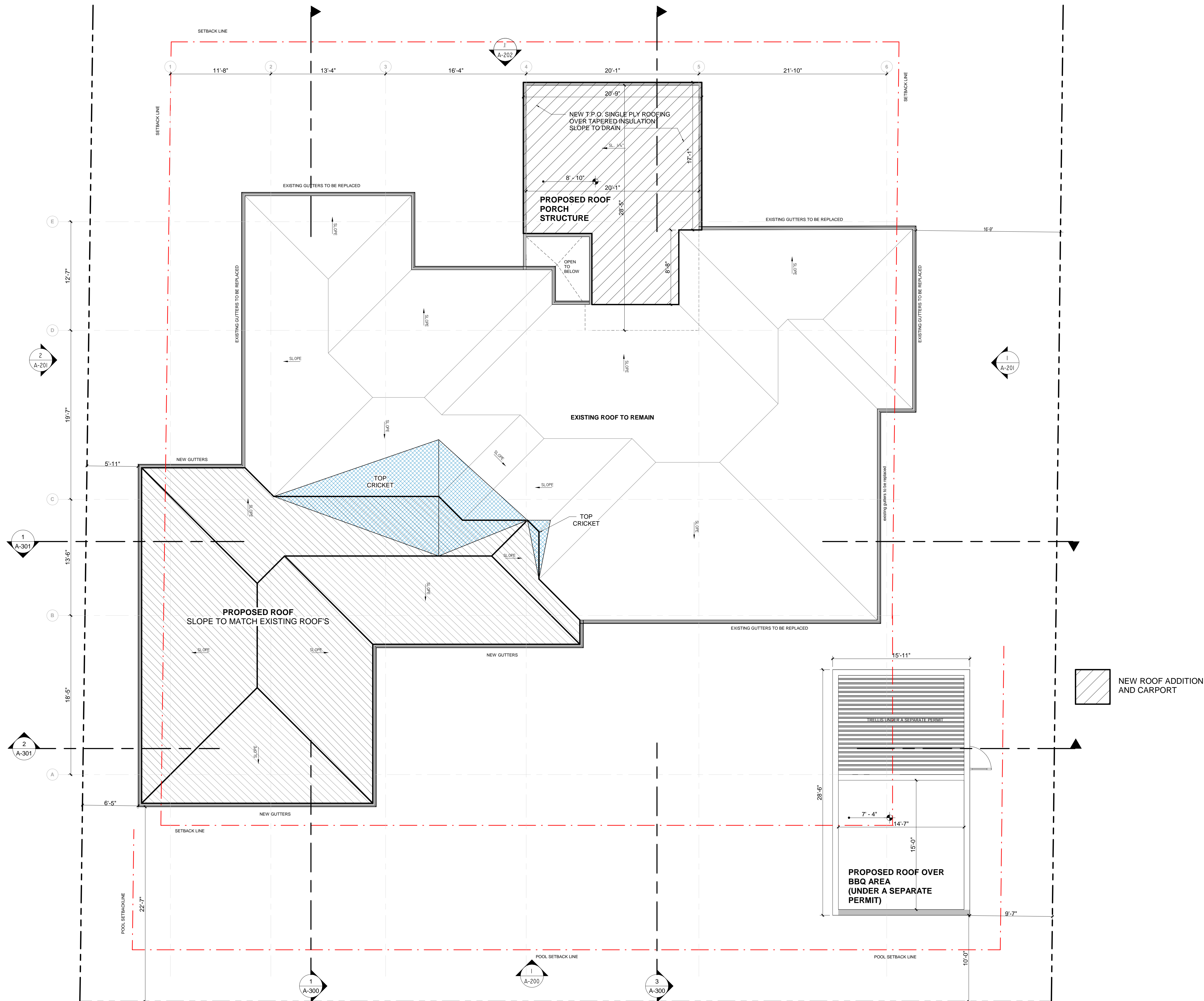
DATE

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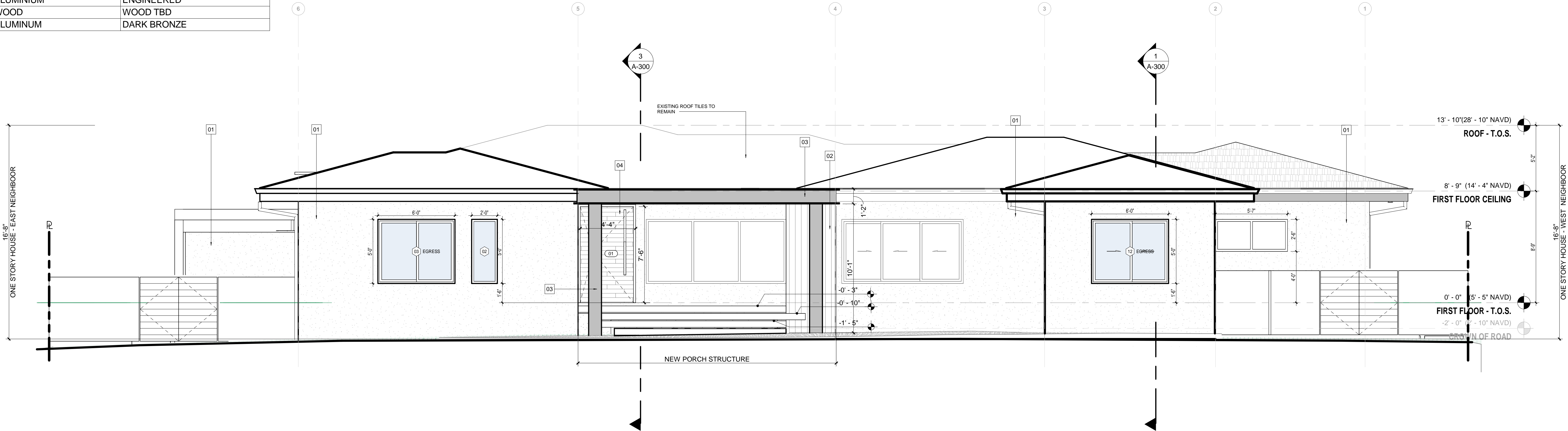
ROOF PLAN

SHEET NO.

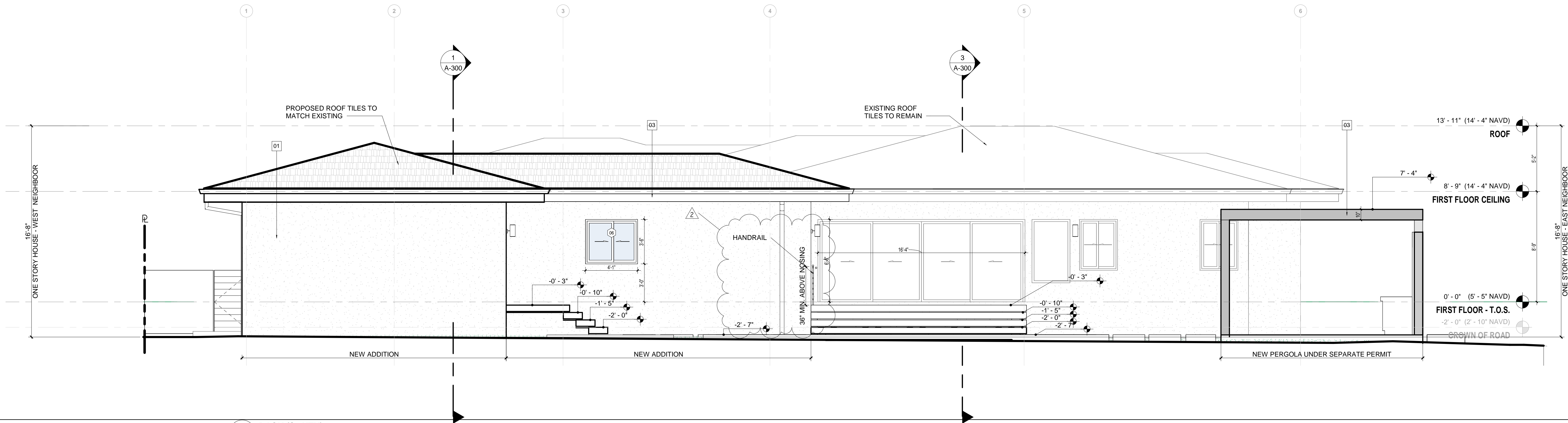
A-103



FINISH MATERIALS		
Material: Mark	Material: Name	Material: Description
01	SMOOTH STUCCO	BENJAMIN MOORE, SUPER WHITE
02	STONE TBD	STONE TBD
03	ALUMINIUM	ENGINEERED
04	WOOD	WOOD TBD
07	ALUMINUM	DARK BRONZE



2 FRONT (NORTH)
1/4" = 1'-0"



1 BACK (SOUTH)
1/4" = 1'-0"

SKOLNIK
RESIDENCE

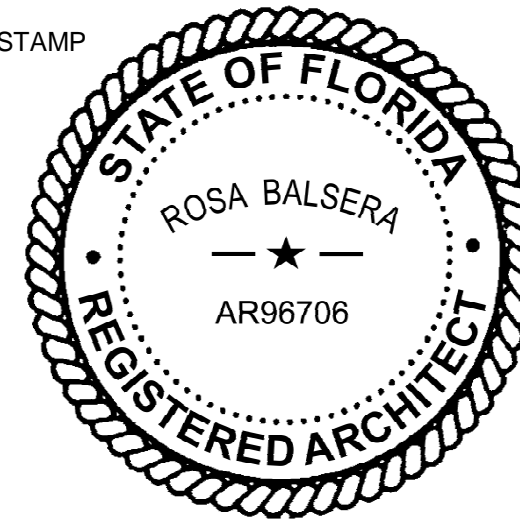
1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS

2 CITY COMMENT 05-22-25

STAMP



DATE

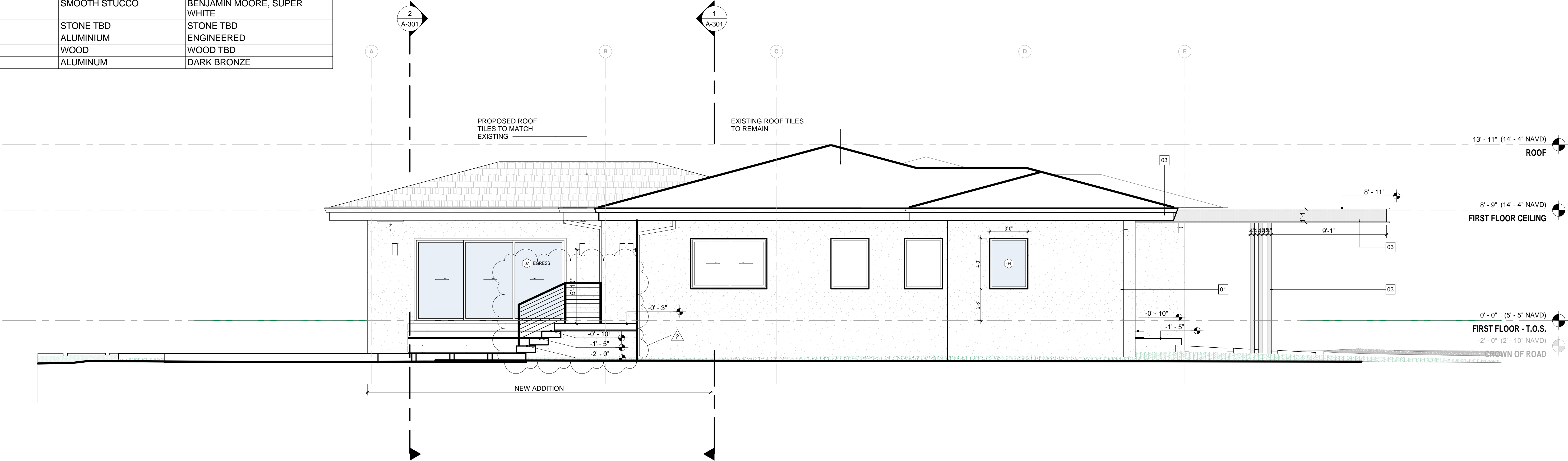
SHEET DESCRIPTION

ELEVATIONS

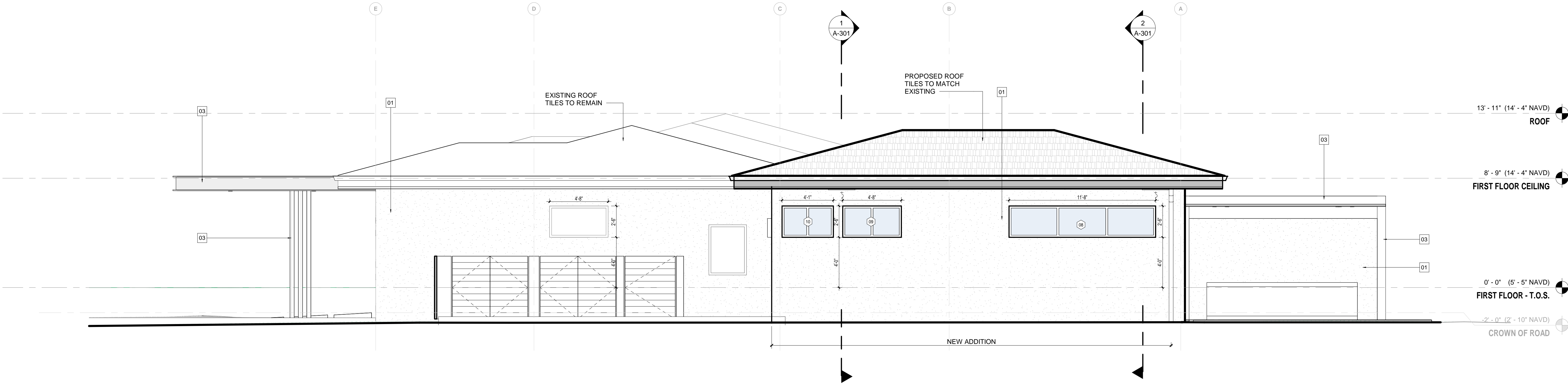
SHEET NO.

A-200

FINISH MATERIALS		
Material: Mark	Material: Name	Material: Description
01	SMOOTH STUCCO	BENJAMIN MOORE, SUPER WHITE
02	STONE TBD	STONE TBD
03	ALUMINIUM	ENGINEERED
04	WOOD	WOOD TBD
07	ALUMINUM	DARK BRONZE



1 SIDE EAST
1/4" = 1'-0"



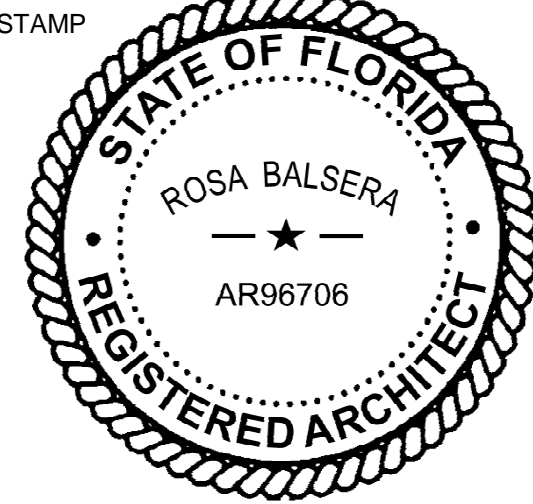
2 SIDE WEST
1/4" = 1'-0"

SKOLNIK
RESIDENCE

1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS		
2	CITY COMMENT	05-22-25



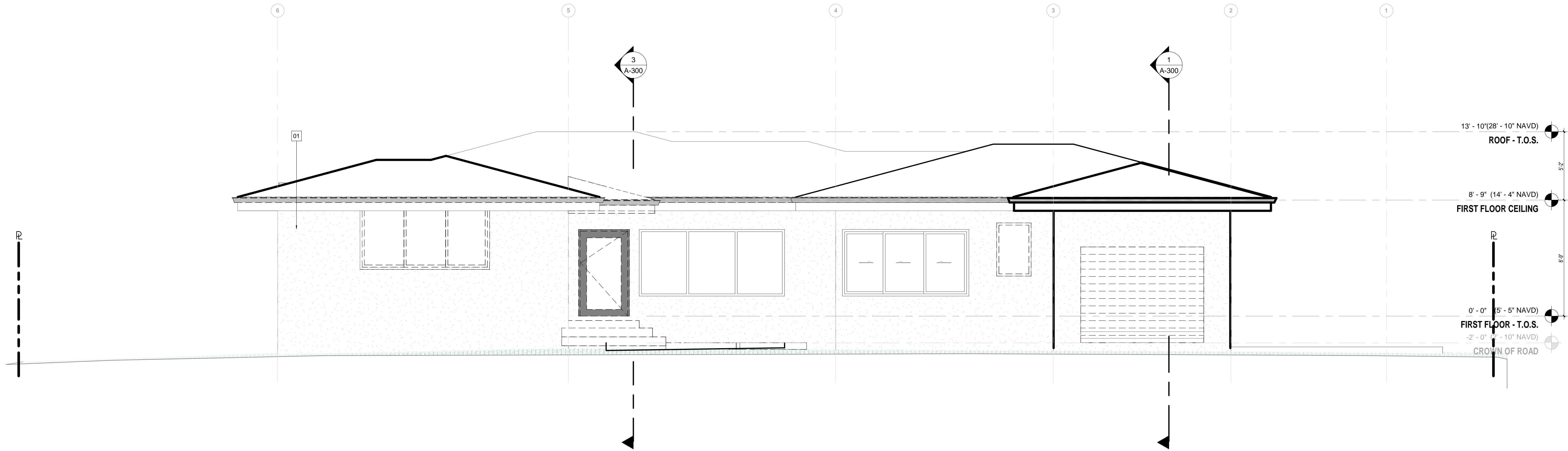
DATE

SHEET DESCRIPTION

ELEVATIONS

SHEET NO.

A-201



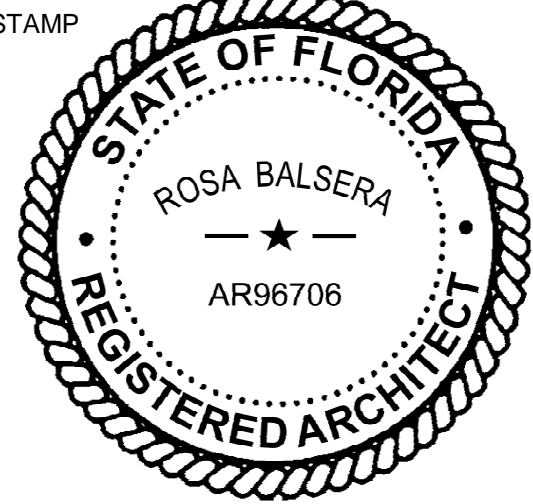
1 FRONT EXISTING
1/4" = 1'-0"

SKOLNIK
RESIDENCE

1028 Jeferson St Hollywood, FL
33019

Owner

REVISIONS		
2	CITY COMMENT	05-22-25



DATE

SHEET DESCRIPTION

ELEVATION EXISTING

SHEET NO.

A-202

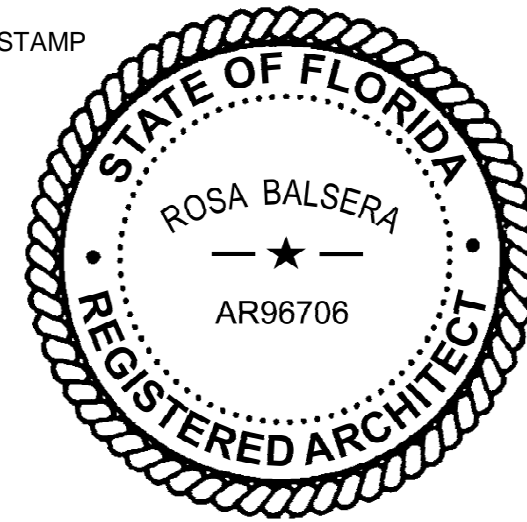
SKOLNIK
RESIDENCE

1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS

STAMP



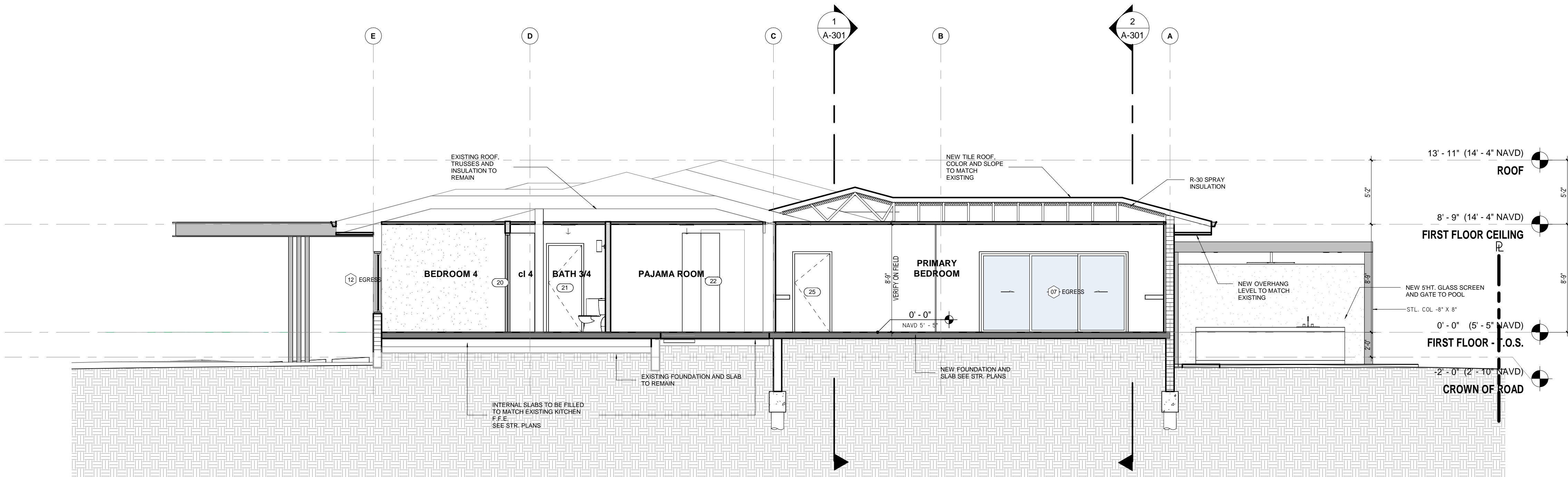
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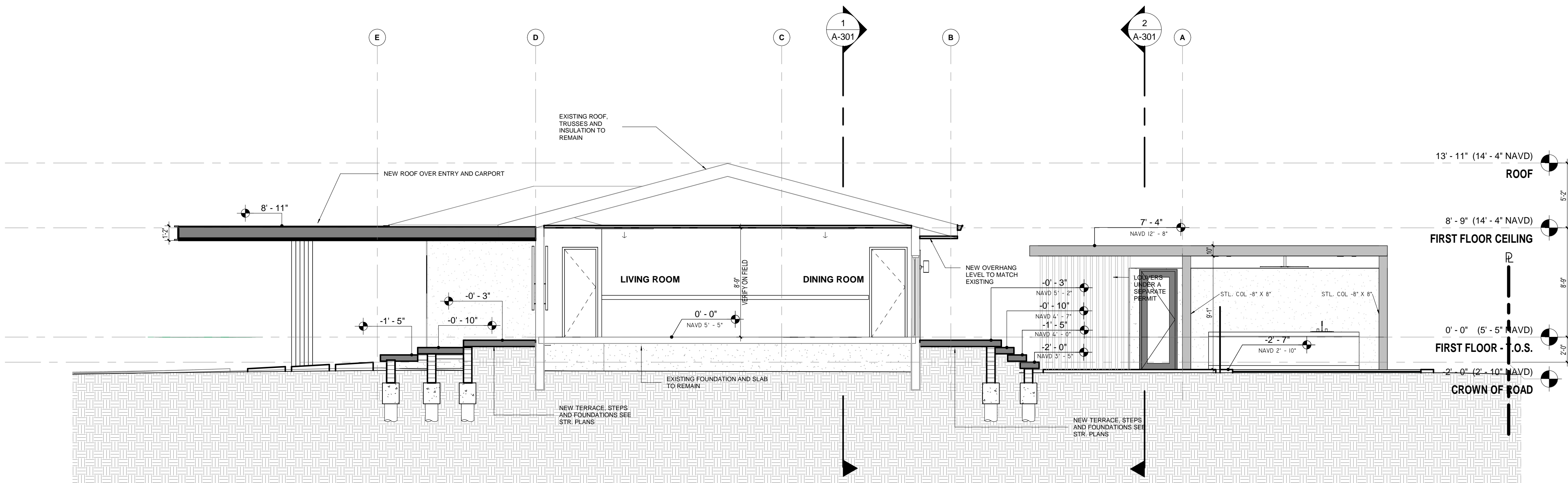
SECTIONS

SHEET NO.

A-300



Section 1
3/16" = 1'-0"



Section 3
3/16" = 1'-0"

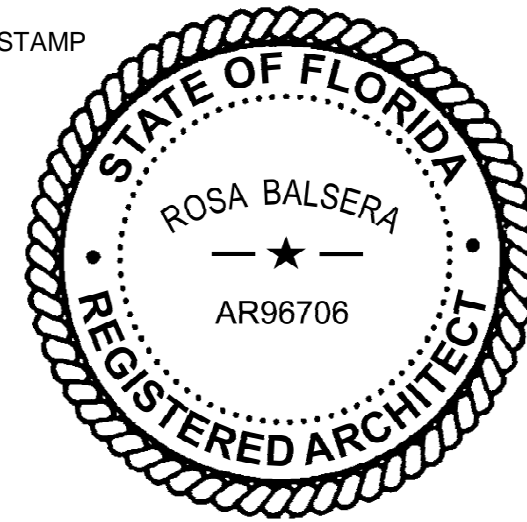
SKOLNIK
RESIDENCE

1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS

STAMP



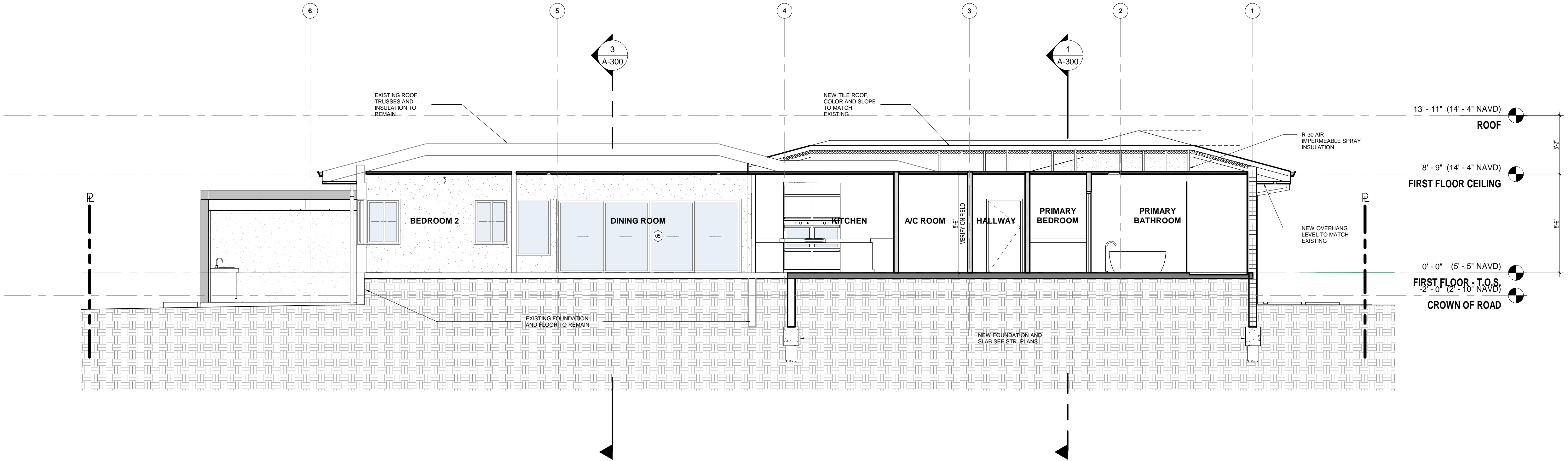
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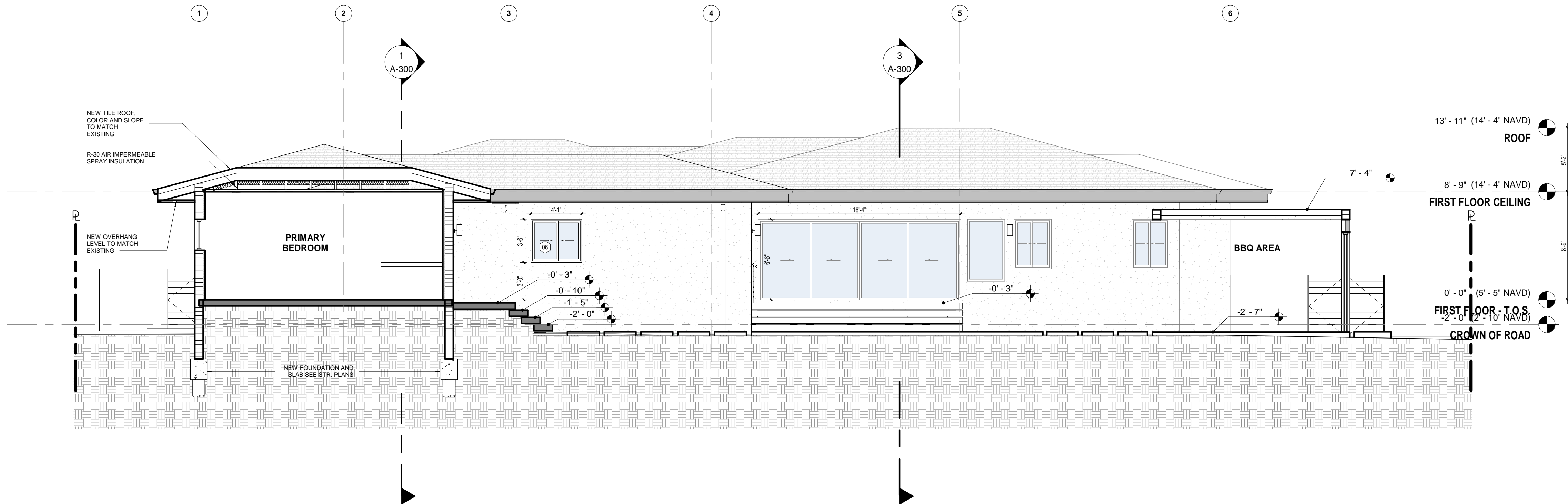
SECTIONS

SHEET NO.

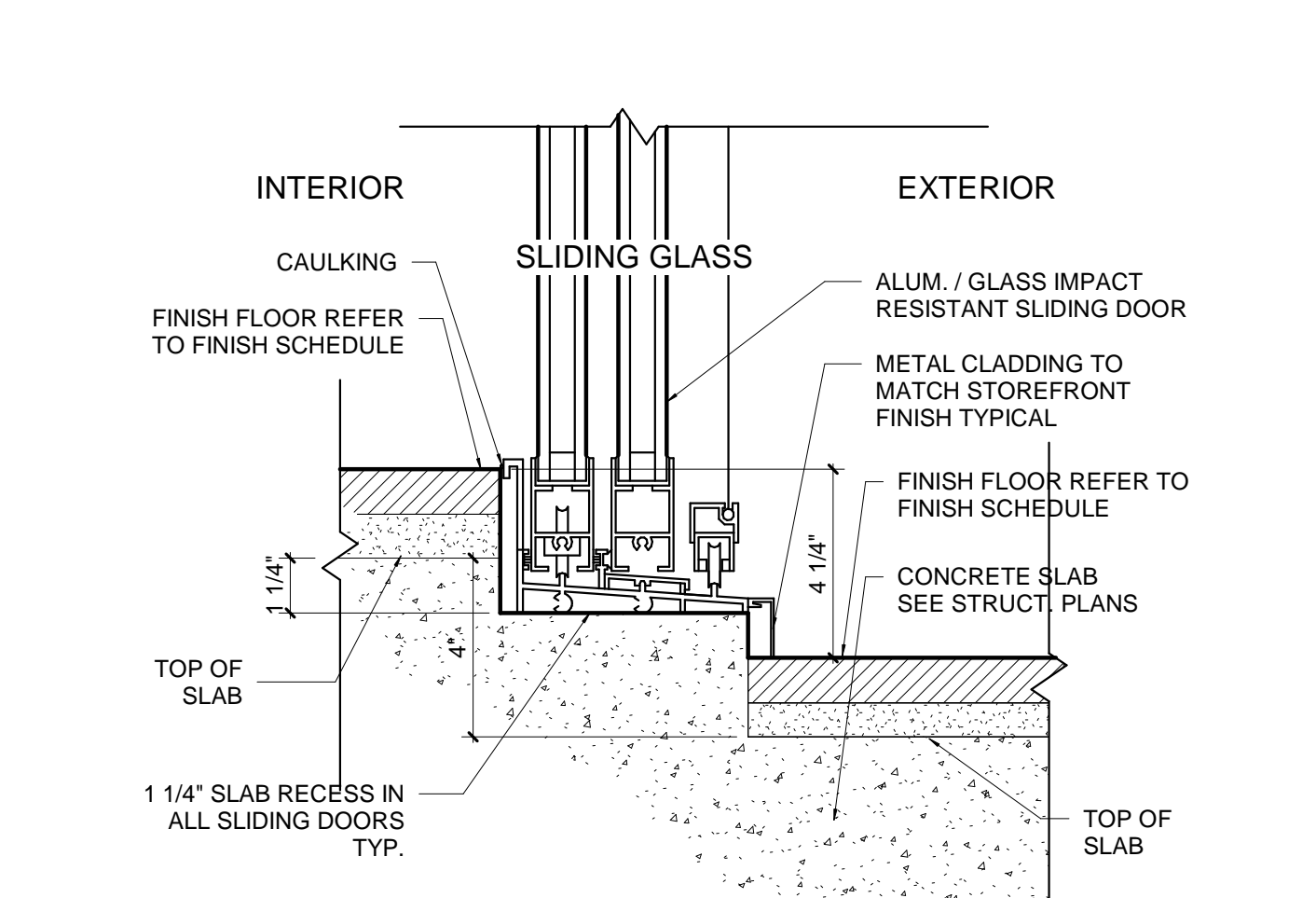
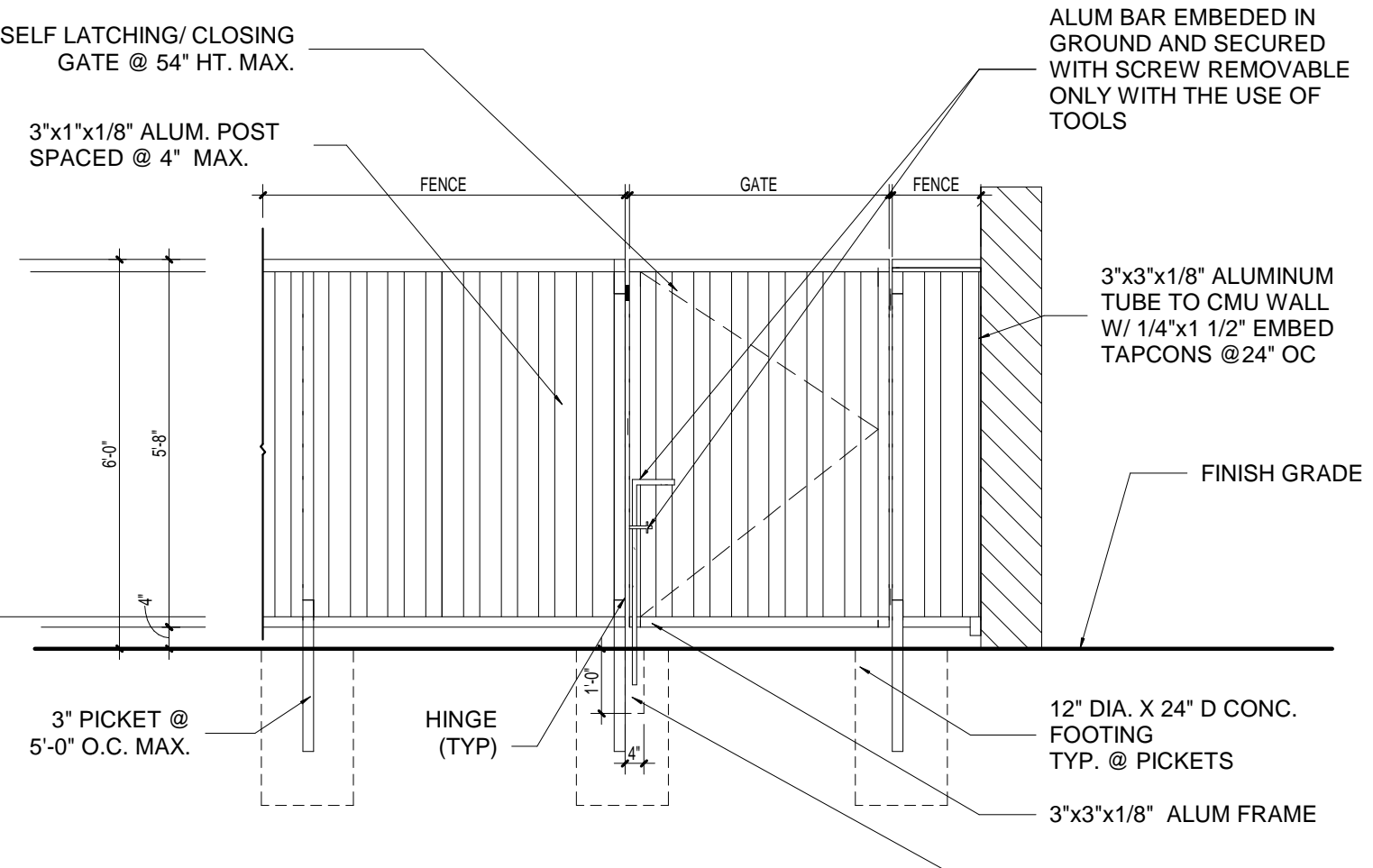
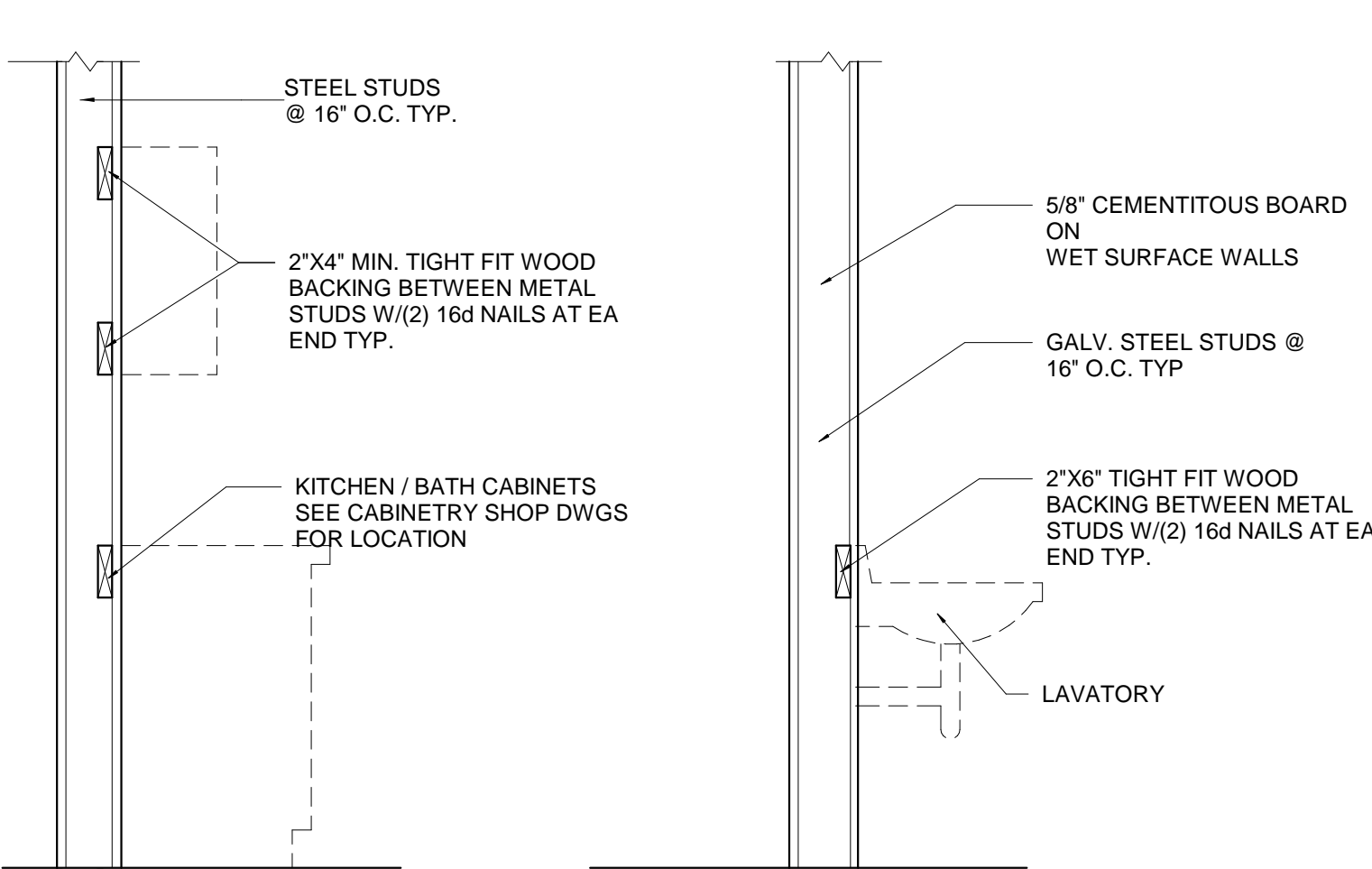
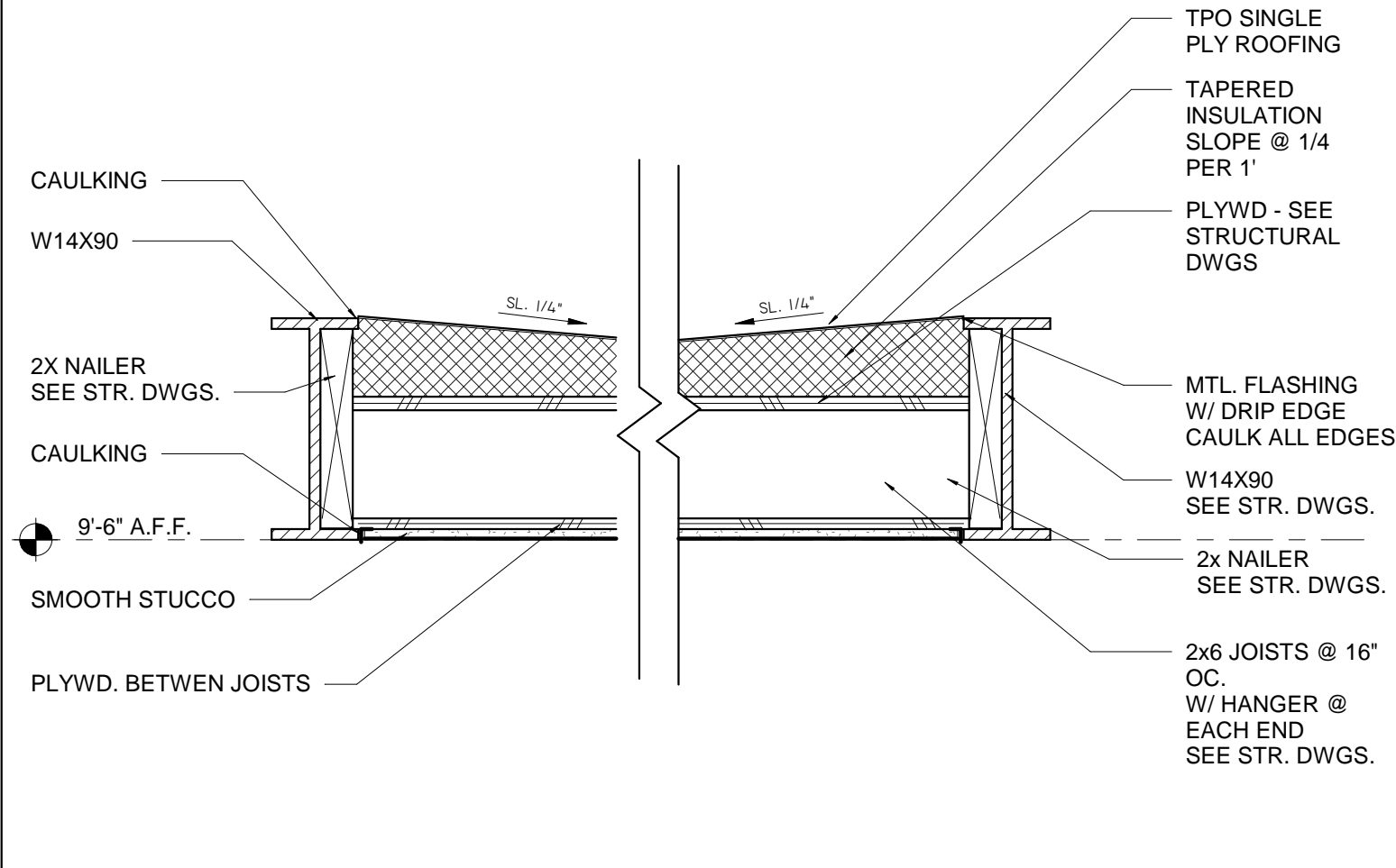
A-301



1 Section 3.
3/16" = 1'-0"



2 Section 4
3/16" = 1'-0"

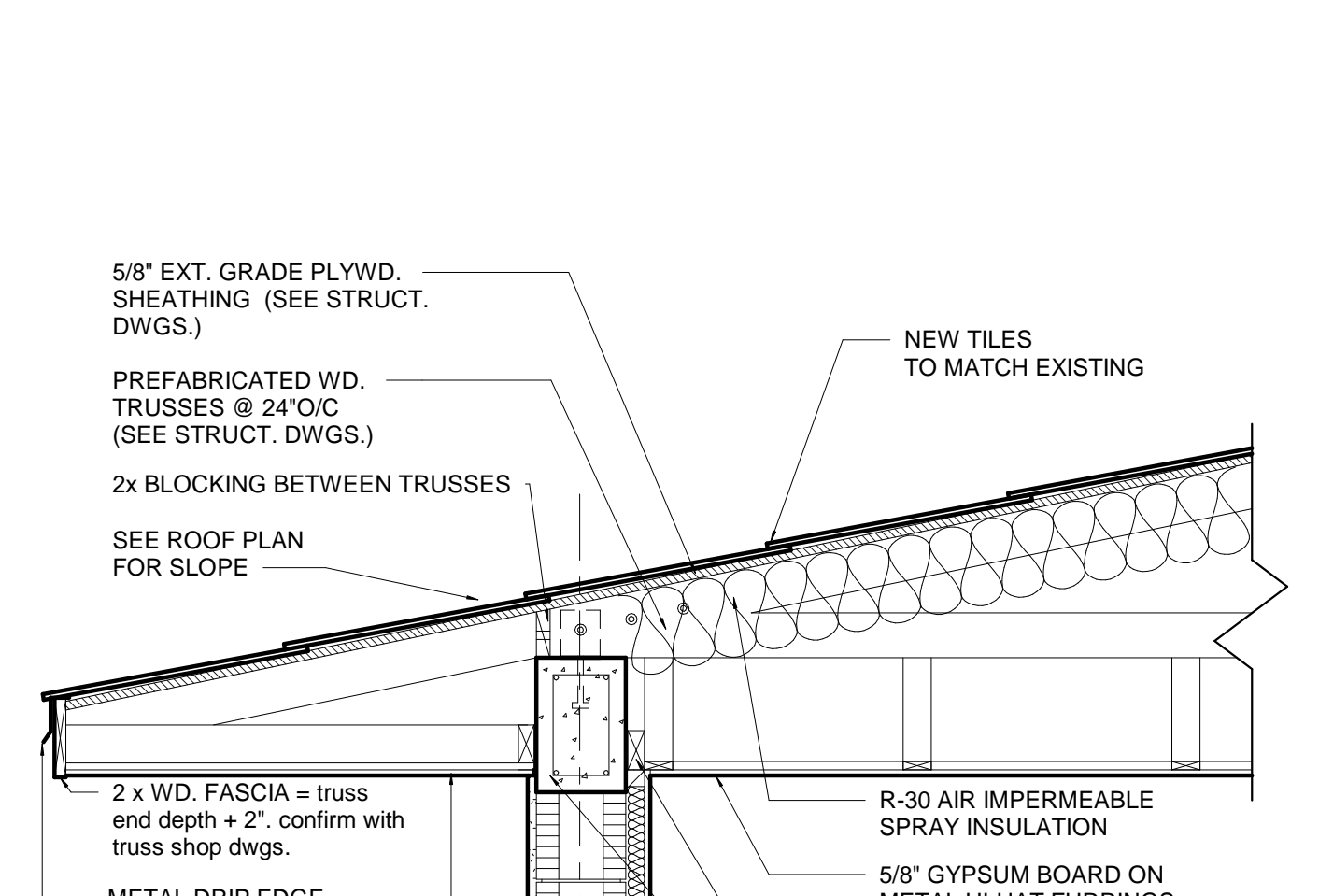
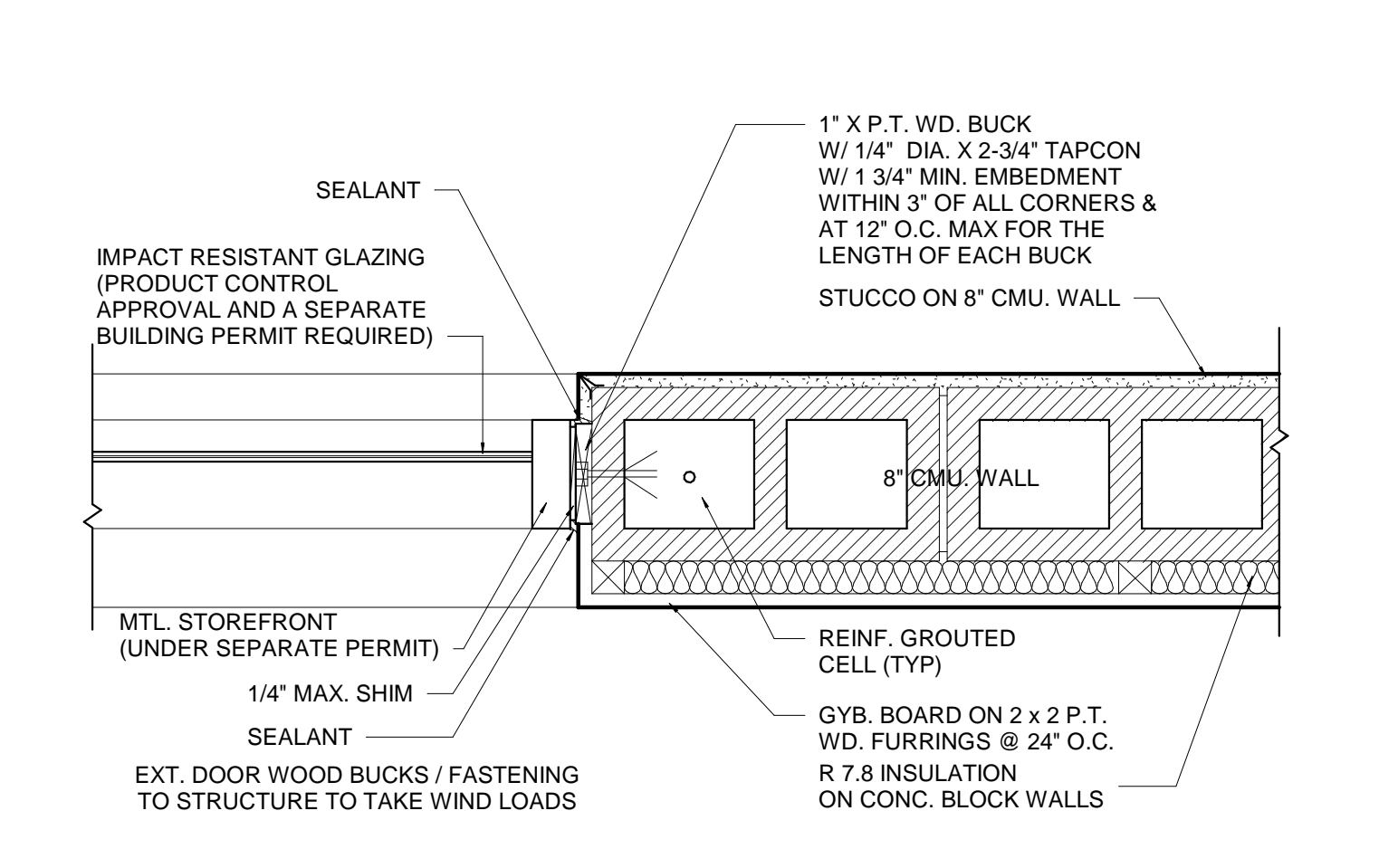
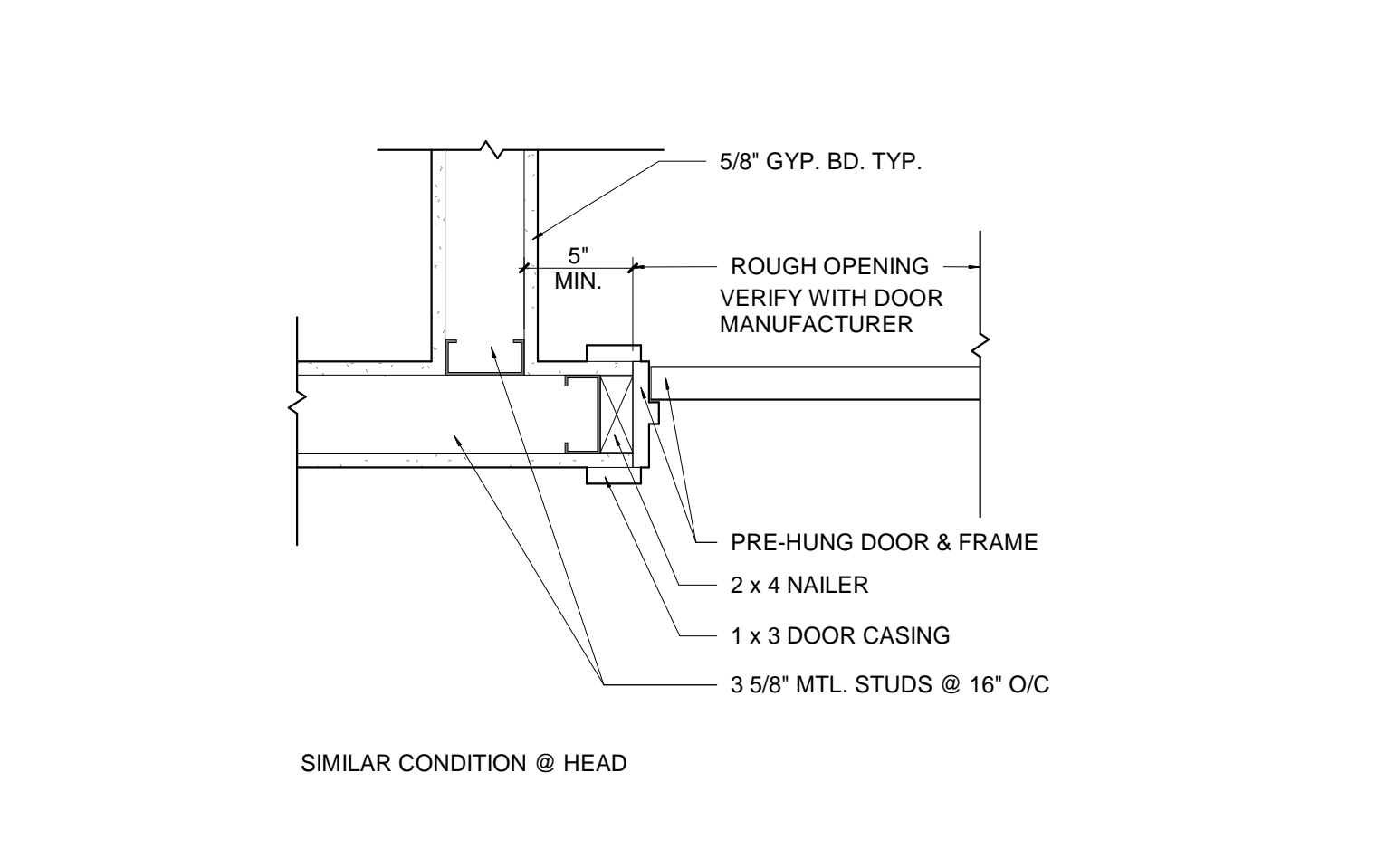
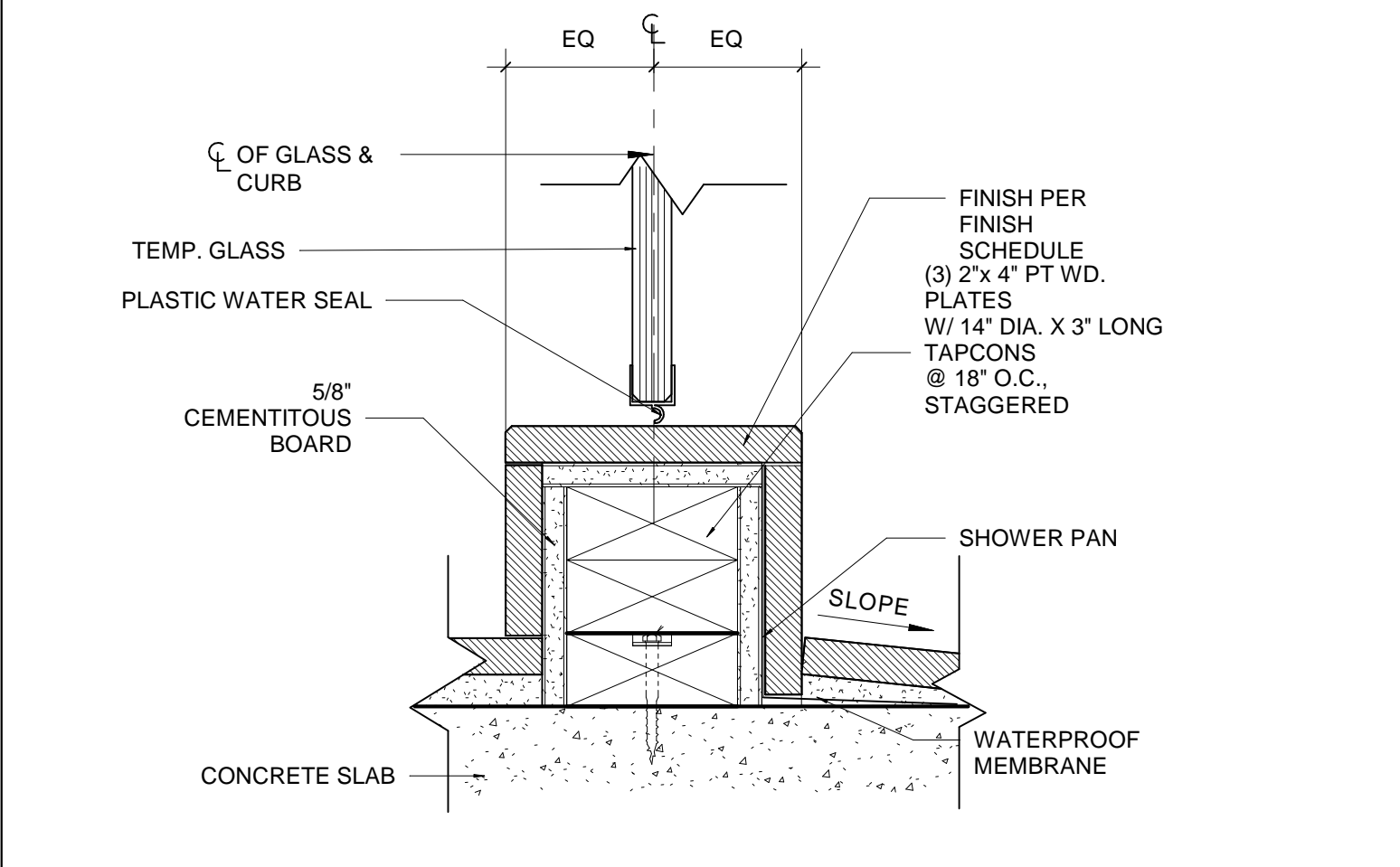


1 ENTRY ROOF
1 1/2" = 1'-0"

2 PARTITION BLOCKING
1" = 1'-0"

3 SIDE GATE DETAIL
3/8" = 1'-0"

4 STOREFRONT SLIDING DOOR THRESHOLD
3" = 1'-0"

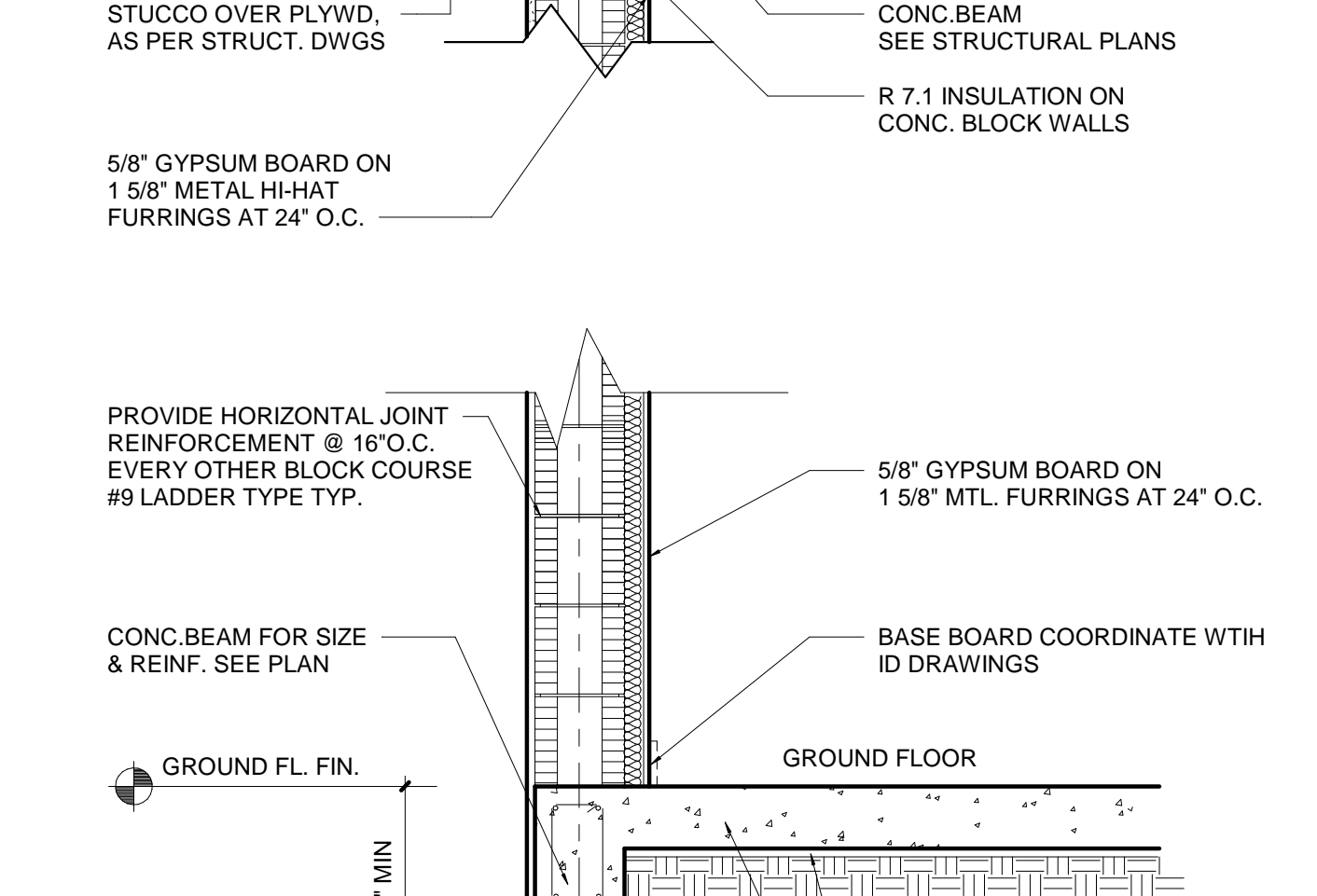
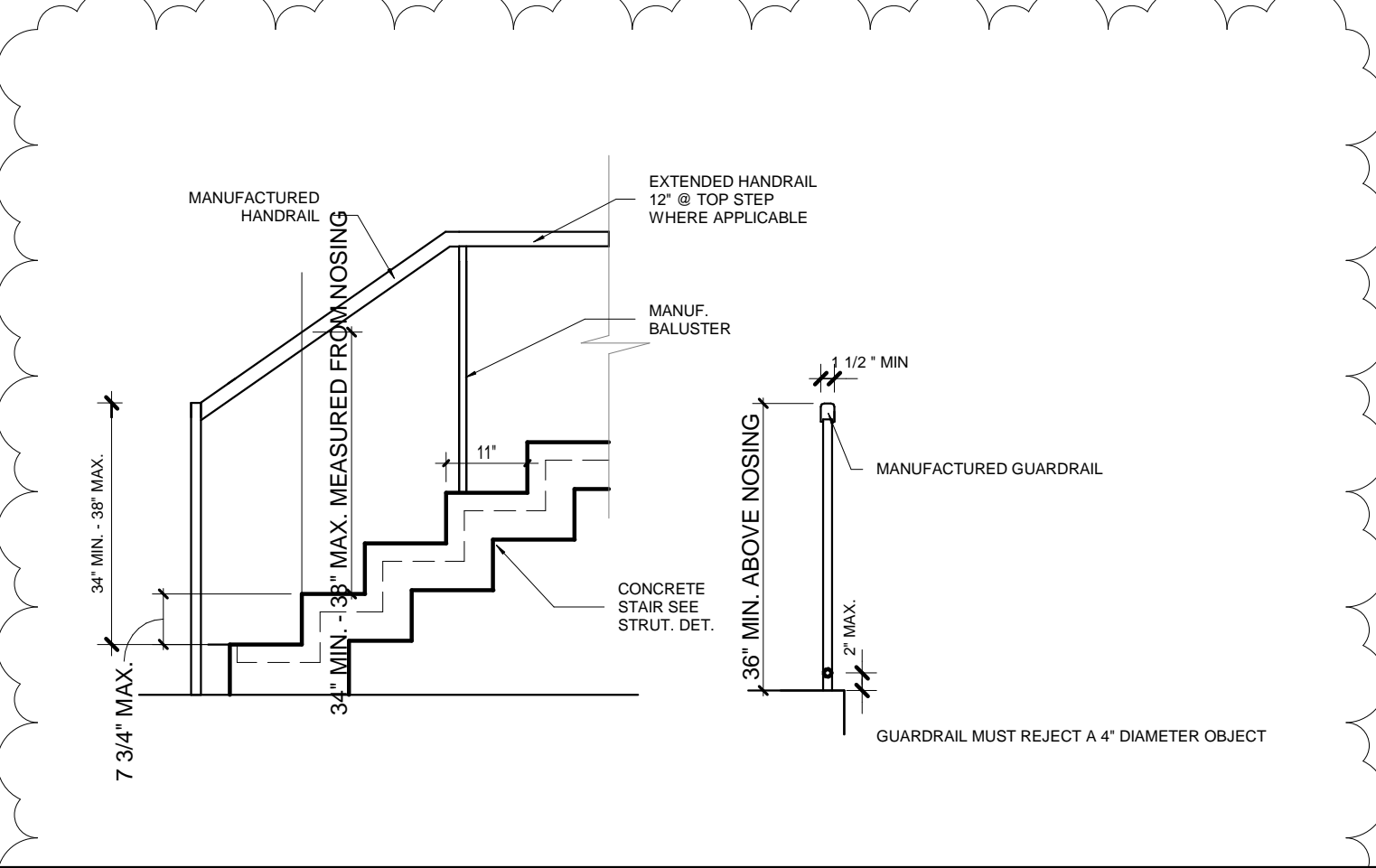
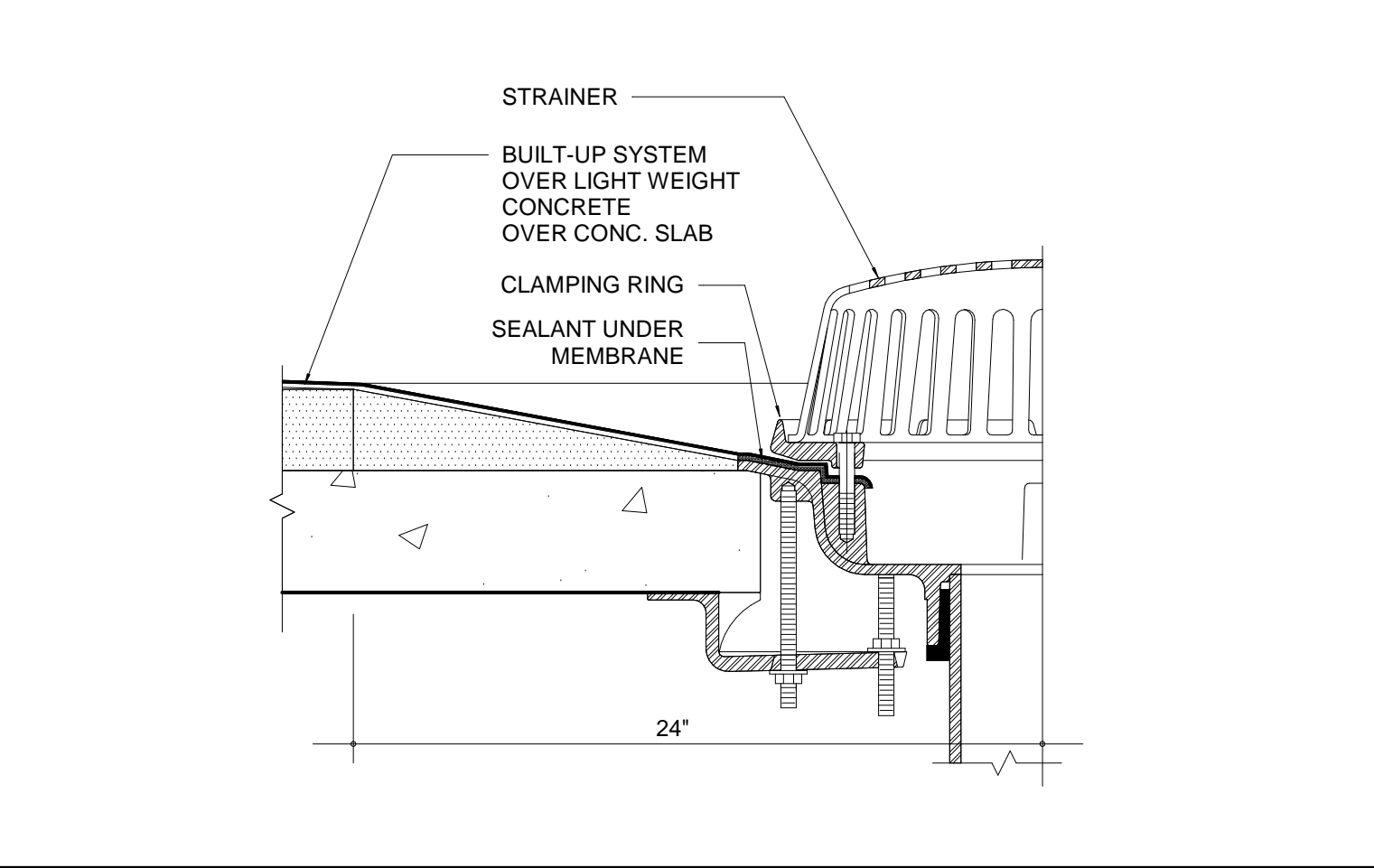
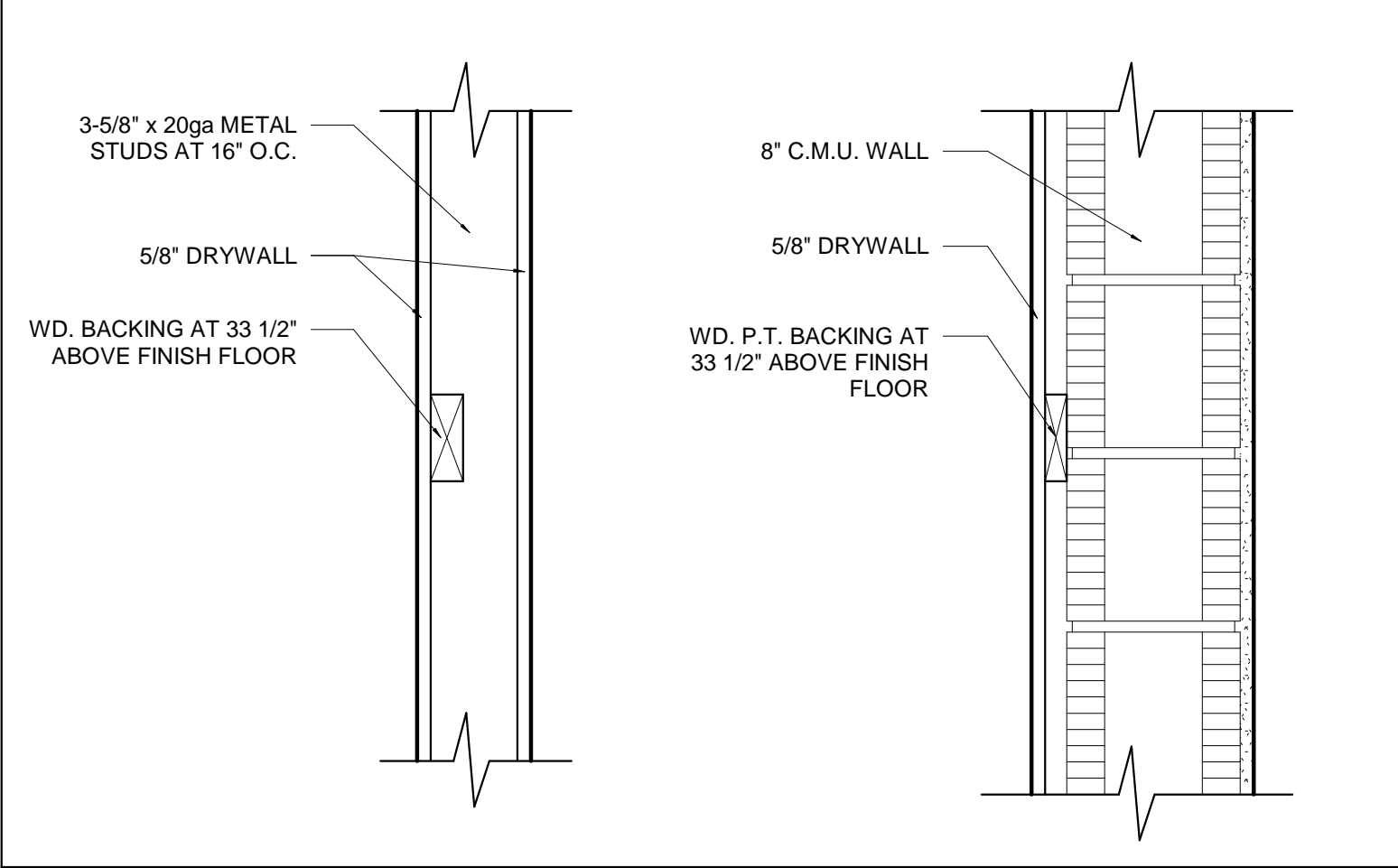


5 SHOWER SURB DETAIL
3/16" = 1'-0"

6 INTERIOR DOOR JAMB
1 1/2" = 1'-0"

7 WINDOWS / DOORS BUCK DETAIL
1 1/2" = 1'-0"

8 NEW WALL TYPICAL SECTION WITH NEW TRUSSES
3/4" = 1'-0"

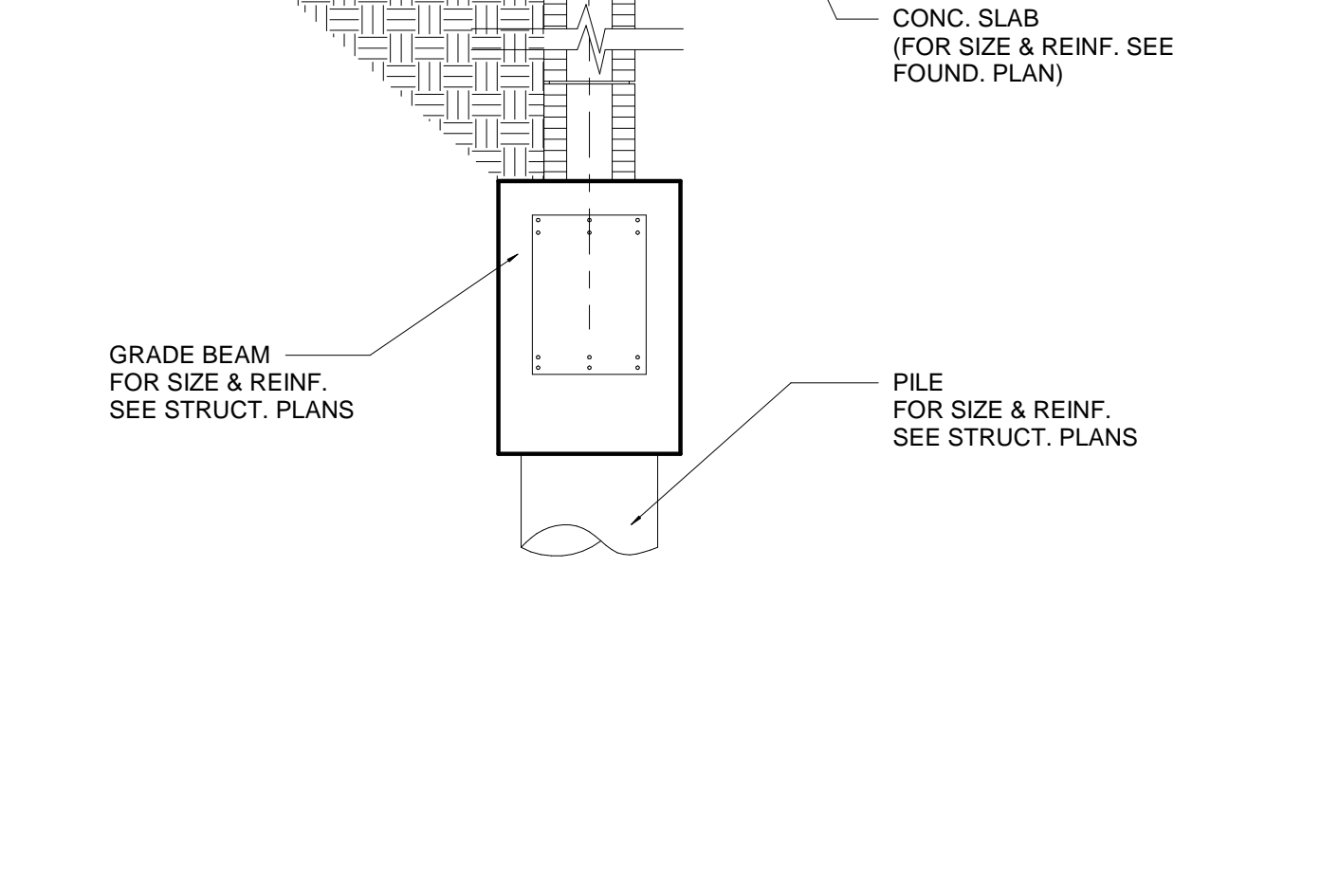
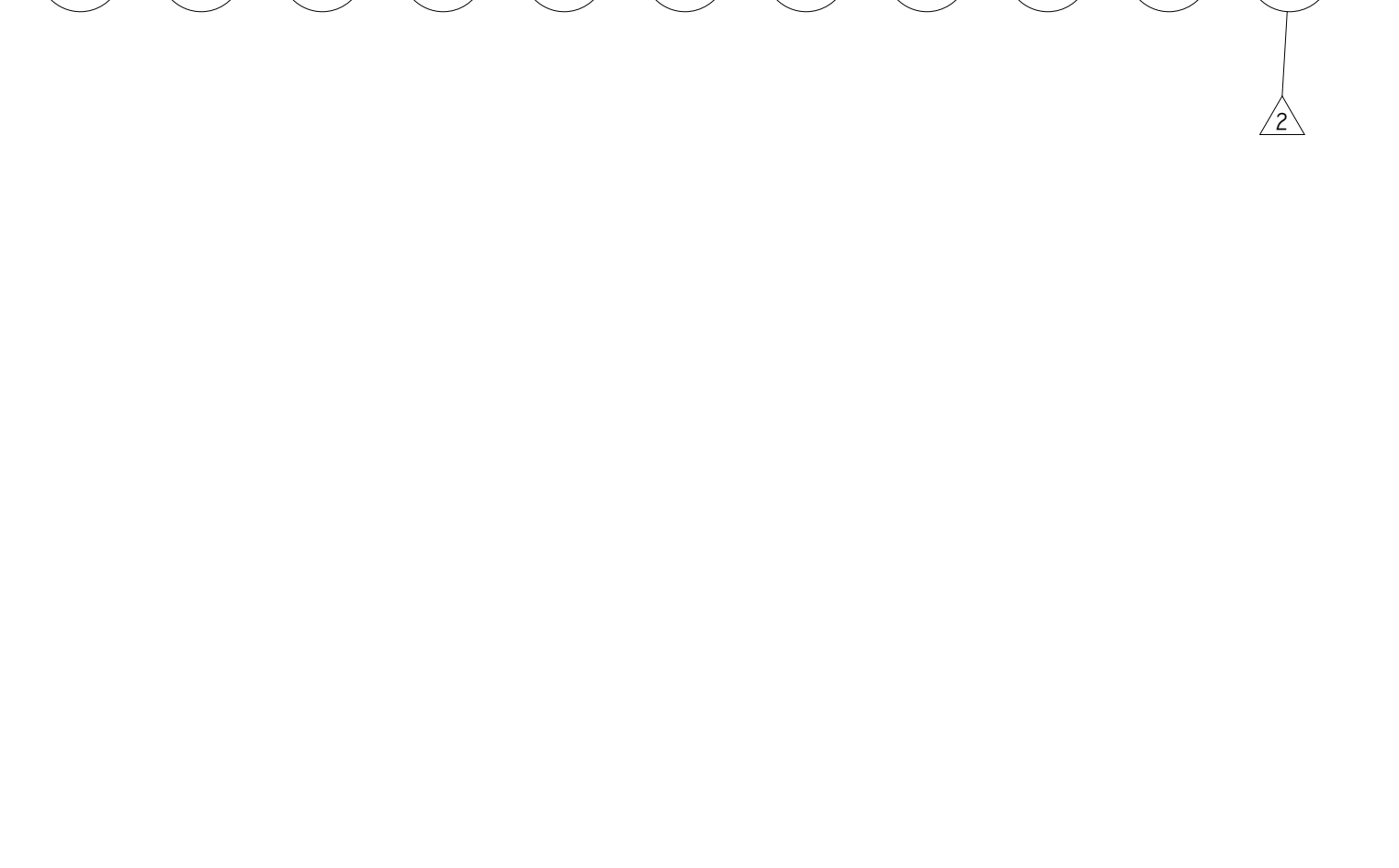


9 BATHROOM BACKING DETAIL
1 1/2" = 1'-0"

10 ROOF DRAIN DETAIL
3/16" = 1'-0"

11 GUARDRAIL / HANDRAIL ASSEMBLY
1/2" = 1'-0"

8 NEW WALL TYPICAL SECTION WITH NEW TRUSSES
3/4" = 1'-0"



9 BATHROOM BACKING DETAIL
1 1/2" = 1'-0"

10 ROOF DRAIN DETAIL
3/16" = 1'-0"

11 GUARDRAIL / HANDRAIL ASSEMBLY
1/2" = 1'-0"

8 NEW WALL TYPICAL SECTION WITH NEW TRUSSES
3/4" = 1'-0"

ROSA
BALSERA

ARCHITECT, LLC

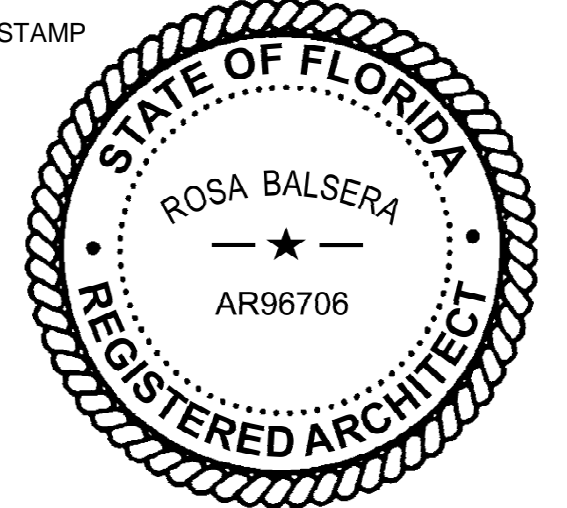
rbalsera05@gmail.com
206-419-7978
500 BAYVIEW DR. #221
SUNNY ISLES BEACH, FL 33160

SKOLNIK
RESIDENCE

1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS		
2	CITY COMMENT	05-22-25



DATE

SHEET DESCRIPTION

SECTIONS AND DETAILS

SHEET NO.



ROSA
BALSERÁ

ARCHITECT, LLC

rbalsera05@gmail.com
206-419-7978
500 BAYVIEW DR. #221
SUNNY ISLES BEACH, FL 33160

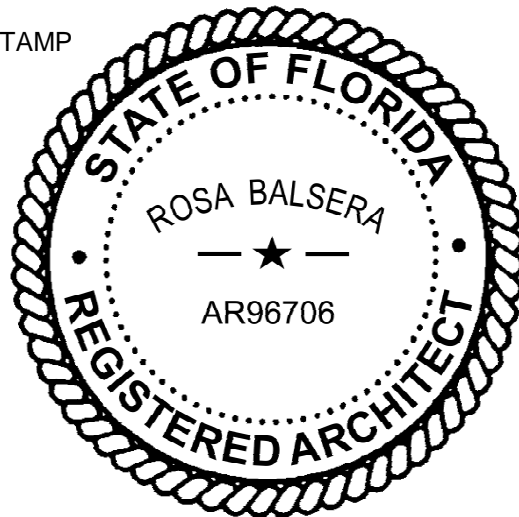
SKOLNIK
RESIDENCE

1028 Jefferson St Hollywood, FL
33019

Owner

REVISIONS

STAMP



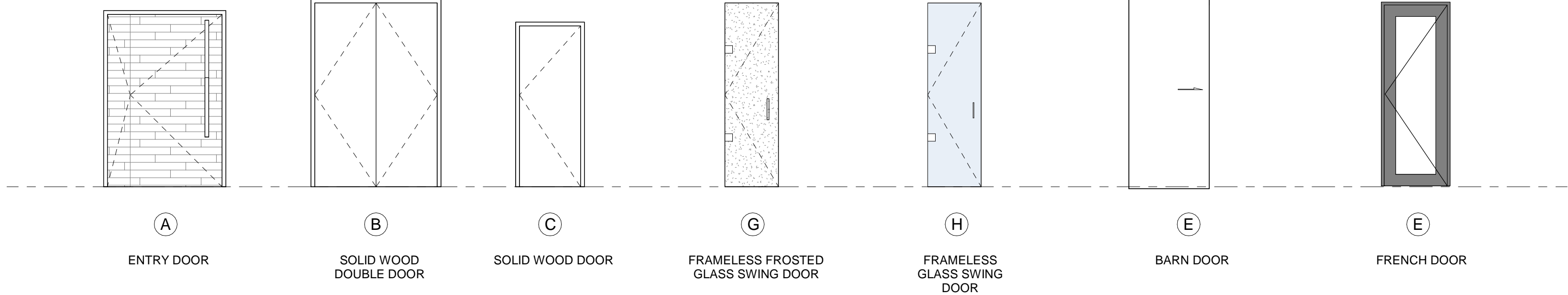
DATE

SHEET DESCRIPTION

DOOR AND WINDOWS
SCHEDULE

SHEET NO.

A-500



DOORS & WINDOWS

STOREFRONT SCHEDULE							
Mark	From Room: Name	Width	Height	Type Comments	Remarks	SHGC	U-FACTOR
02	BATH 1	2' - 0"	5' - 0"	FIXED GLASS	CAT II SAFETY GLASS	0.31	1.01
03	BEDROOM 1	6' - 0"	5' - 0"	HORIZONTAL ROLLER WINDOW	CAT II SAFETY GLASS	0.31	1.01
04	BEDROOM 1	3' - 0"	4' - 0"	FIXED GLASS	CAT II SAFETY GLASS	0.31	1.01
06	LAUNDRY	4' - 1"	3' - 6"	HORIZONTAL ROLLER WINDOW	CAT II SAFETY GLASS	0.31	1.01
07	PRIMARY BEDROOM	12' - 0"	6' - 6"	SLIDING GLASS DOOR	CAT II SAFETY GLASS	0.31	1.01
08	PRIMARY BEDROOM	11' - 8"	2' - 6"	FIXED GLASS	CAT II SAFETY GLASS	0.31	1.01
09	PRIMARY BATHROOM	4' - 8"	2' - 6"	FIXED GLASS	CAT II SAFETY GLASS	0.31	1.01
10	PRIMARY BATHROOM	4' - 1"	2' - 6"	FIXED GLASS	CAT II SAFETY GLASS	0.31	1.01
11	PRIMARY BATHROOM	5' - 7"	2' - 6"	FIXED GLASS	CAT II SAFETY GLASS	0.31	1.01
12	BEDROOM 4	6' - 0"	5' - 0"	HORIZONTAL ROLLER WINDOW	CAT II SAFETY GLASS	0.31	1.01
13	BATH 3/4	4' - 8"	2' - 6"	FIXED GLASS	CAT II SAFETY GLASS	0.31	1.01

STOREFRONT NOTES

1. DIMENSIONS SHOWN IN STOREFRONT SCHEDULE ARE FOR PRELIMINARY WINDOW ROUGH OPENINGS. FINAL WINDOW DIMENSIONS AND ROUGH OPENINGS ARE TO BE VERIFIED AND DETERMINED BY GENERAL CONTRACTOR.

DOOR SCHEDULE							
Mark	Location	Type	Width	Height	Material	Remark	
01	LIVING ROOM	A	50"	90"	WOOD		
02	CRAFT AND AMAZON CLOSET	E	95 1/2"	96"	WOOD		
03	LIVING ROOM	C	30"	84"	WOOD		
04	LIVING ROOM	C	30"	84"	WOOD		
05	BEDROOM 1	C	30"	84"	WOOD		
06	BATH 1	G	28"	96"	GLASS		
07	CL 1	E	96 1/2"	96"	WOOD		
08	DINING ROOM	C	32"	84"	WOOD		
09	BEDROOM 2	I	32"	96"	WOOD		
10	CLOSET 2	I	32"	96"	WOOD		
12	LIVING ROOM	C	24"	96"	WOOD		
13	LIVING ROOM	B	40 1/2"	96"	WOOD		
14	HALLWAY	C	32"	84"	WOOD		
15	cl 3	C	20"	96"	WOOD		
16	cl 3	B	48"	96"	WOOD		
17	stor.	C	24"	96"	WOOD		
18	stor.	B	40 1/2"	96"	WOOD		
19	HALLWAY	C	30"	84"	WOOD		
20	cl 4	E	96"	96"	WOOD		
21	HALLWAY	C	32"	84"	WOOD		
22	HALLWAY	E	36"	96"	WOOD		
23	A/C ROOM	C	32"	84"	WOOD	LOUVERED DOOR	
24	HALLWAY	C	34"	76"	WOOD		
25	HALLWAY	C	34"	76"	WOOD		
26	PRIMARY BEDROOM	C	32"	84"	WOOD		
27	PRIMARY BATHROOM	G	28"	96"	GLASS		
28	PRIMARY BATHROOM	G	28"	96"	GLASS		
29	PRIMARY BEDROOM	C	32"	84"	WOOD		
36	BATH 2	G	26"	96"	GLASS		
37	BATH 3/4	G	26"	96"	GLASS		
39	BBQ AREA	E	36"	96"	WOOD		
161	CRAFT AND AMAZON CLOSET	C	28 1/2"	96"	WOOD		

DOOR NOTES

1. ROUGH OPENING FOR EUROPEAN DOORS
2. HEIGHT OF ROUGH OPENING TO BE MEASURED FROM FINISH FLOOR ELEVATION (FFE)

ROOM FINISH SCHEDULE NOTES

1. SEE SPECIFICATIONS FOR ACTUAL MATERIAL SELECTION & SIZE. CONTACT ARCHITECT IF ANY DISCREPANCIES ARE FOUND BETWEEN FINISH SCHEDULE, INTERIOR ELEVATIONS AND SPECIFICATIONS.
2. ALL WOOD BASEBOARD AND CASING TO BE PAINT GRADE POPLAR UNLESS OTHER WISE NOTED IN INTERIOR.
3. ALL FLEXIBLE BASEBOARD, CASING AND STAIR SKIRT SHALL BE EXTRA-FLEX.
4. GENERAL CONTRACTOR SHALL COUNTER SINK ALL FINISH NAILS.
5. GENERAL CONTRACTOR SHALL SUBMIT SAMPLE OF ALL MILLWORK ASSEMBLY FOR ARCHITECT APPROVAL PRIOR TO INSTALLATION.
6. CERAMIC TILE ON ALL SHOWERS/TUBS/WALLS UP TO FINISH CEILING.

Prepared by and return to:
Isabel Galvis
Cnergy Title & Escrow, LLC
20900 NE 30th Ave Suite 714
Aventura, FL 33180

File Number: CT242569

(Space Above This Line For Recording Data)

Warranty Deed

This Warranty Deed made this 18 day of September, 2024, between Jodi Goldman , a single woman whose post office address is 5198 SW 94th Ave. Cooper City, grantor, and Menachem Skolnik and Sheri Skolnik , husband and wife whose post office address is 1028 Jefferson St, Hollywood, FL 33019, grantee: (33330)

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in the **Broward County, Florida**, to-wit:

The West 25 feet of Lot 22, All of Lot 23 and the East 37.5 feet of Lot 24, Block 55, of HOLLYWOOD LAKES SECTION, according to the Plat thereof, as recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

Parcel Identification Number: 514214021120

Subject to current taxes, easements, and restrictions of record

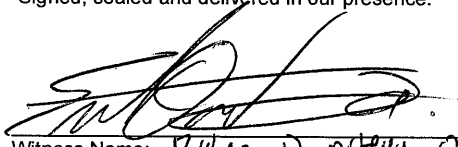
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2023.

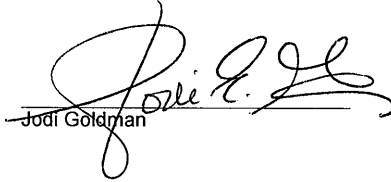
In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



Witness Name: Ruben D Ortega Otero

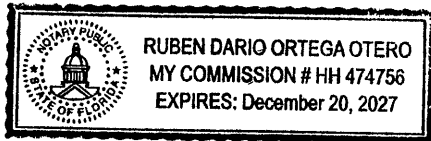
Witness Address: 1600 NE 1st Ave, Miami, FL 33137

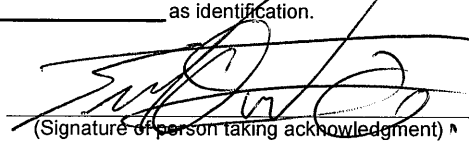

Jodi Goldman

Julewa Martinez Valle
Witness Name: Julewa Martinez
Witness Address: 10837 NW 9th Ct
Plantation, FL 33324

STATE OF FLORIDA
COUNTY OF Miami-Dade

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 18 day of September, 2024, by Jodi Goldman, a single woman, who is personally known to me or who has produced FL DL as identification.




(Signature of person taking acknowledgment)

(Name typed, printed or stamped)

(Title or rank)

(Serial number, if any)

NAME OF OWNER **R.C. Thompson.**ADDRESS OF CONSTRUCTION **1028 JEFFERSON ST. 1030 Jefferson St.**

LEGAL DESCRIPTION

E 32.5' Lt 24. All 23. S 25' Lt 22.

FL-10 (FILM #2197)

Bl 55. Laken.

Owner's Present Address

Description of Construction

Cost **19,700.****Single Family Res.**

Permit Type	No.	Date Issued	To Whom	Fixtures or Outlets
Bldg	16998	7-20-51	Owner-Gen Ctr.	
Electrical	10216	9-6-51	A. White	1-1-51
Plumbing	6495	7-16-51	DIXIE	#5/2
Gas	6495	7-16-51	DIXIE	4

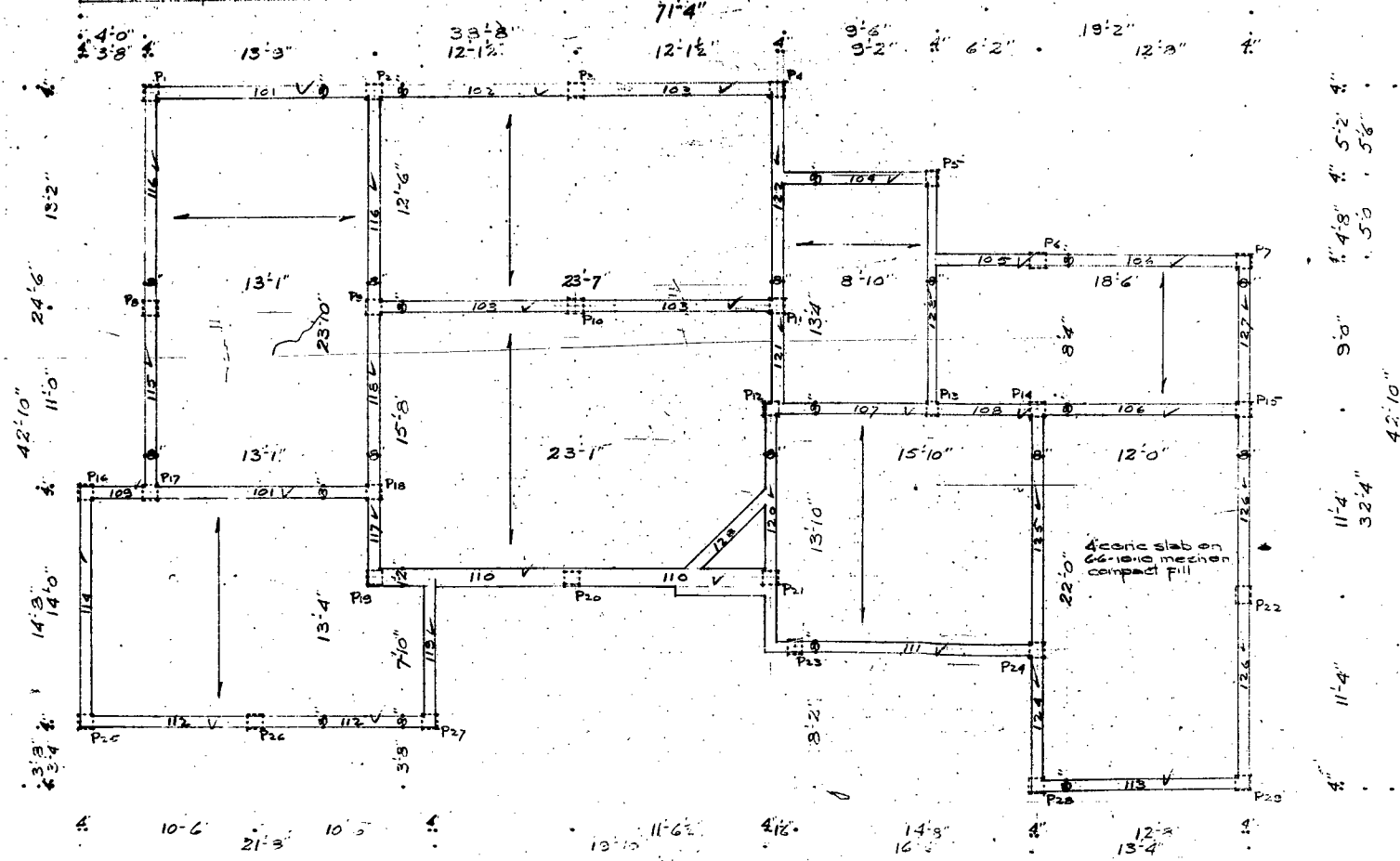
INSPECTIONS

FOUNDATION 7-10-51	1st Rough Plg. 7-16-51	Temp. Service
COLUMNS	Final Rough Plg. 7-11-51	Rough Electric 9-12-51
TIE BEAM 8-7-51	Septic Tank 10-22-51	Temporary Final
CAP	2. Hrs 8-15-51 Barre	Final Electric 1-18-52
GAS 11-13-51	Grease Trap	Rubbish Bond
	Final Plumbing 11-13-51	
	Cert. of Occupancy	

Remarks

8-26
11-27-51**C**

GRADE BEAM SCHEDULE										NOTES	
No.	Beam	Grade	Beam	Grade	Beam	Grade	Beam	Grade	Beam		
1	101	101	102	102	103	103	104	104	105	Access thru	
2	106	106	107	107	108	108	109	109	110	Access thru	
3	111	111	112	112	113	113	114	114	115	Overhangs Pass 22"	
4	116	116	117	117	118	118	119	119	120	Low	
5	121	121	122	122	123	123	124	124	125	Overhangs Pass 55"	
6	126	126	127	127	128	128	129	129	130	Low	
7	131	131	132	132	133	133	134	134	135	Low	
8	136	136	137	137	138	138	139	139	140	Low	
9	141	141	142	142	143	143	144	144	145		
10	146	146	147	147	148	148	149	149	150		

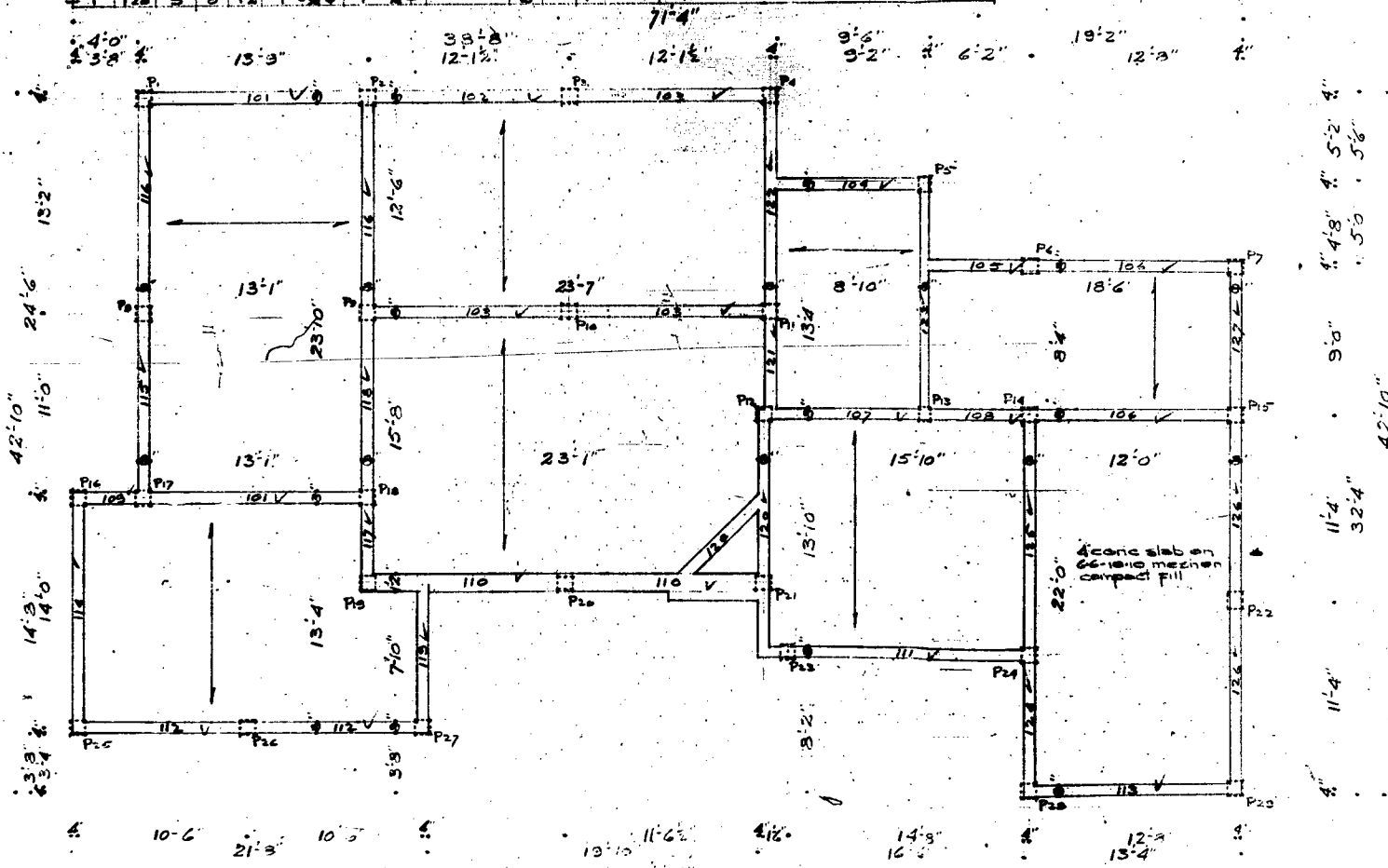


PILING & GRADE BEAMS
 $\frac{1}{4} = 1'-0"$

Plots Nos. 3 & 4

PREPARED BY FOR MR. R. T. HON. DEPT. L. R. T. HON. DEPT. L. R. T. HON. DEPT.

GRADE BEAM SCHEDULE									
BEAM			BARS			NOTES			
No.	Length	Spacing	No.	Length	Spacing				
1	10.2	12"	1	10.2	12"	Access thru			
2	10.2	12"	2	10.2	12"	Access thru			
3	10.2	12"	3	10.2	12"				
4	10.2	12"	4	10.2	12"				
5	10.2	12"	5	10.2	12"				
6	10.2	12"	6	10.2	12"				
7	10.2	12"	7	10.2	12"				
8	10.2	12"	8	10.2	12"				
9	10.2	12"	9	10.2	12"				
10	10.2	12"	10	10.2	12"				
11	10.2	12"	11	10.2	12"				
12	10.2	12"	12	10.2	12"				
13	10.2	12"	13	10.2	12"				
14	10.2	12"	14	10.2	12"				
15	10.2	12"	15	10.2	12"				
16	10.2	12"	16	10.2	12"				
17	10.2	12"	17	10.2	12"				
18	10.2	12"	18	10.2	12"				
19	10.2	12"	19	10.2	12"				
20	10.2	12"	20	10.2	12"				
21	10.2	12"	21	10.2	12"				
22	10.2	12"	22	10.2	12"				
23	10.2	12"	23	10.2	12"				
24	10.2	12"	24	10.2	12"				
25	10.2	12"	25	10.2	12"				
26	10.2	12"	26	10.2	12"				
27	10.2	12"	27	10.2	12"				
28	10.2	12"	28	10.2	12"				
29	10.2	12"	29	10.2	12"				
30	10.2	12"	30	10.2	12"				



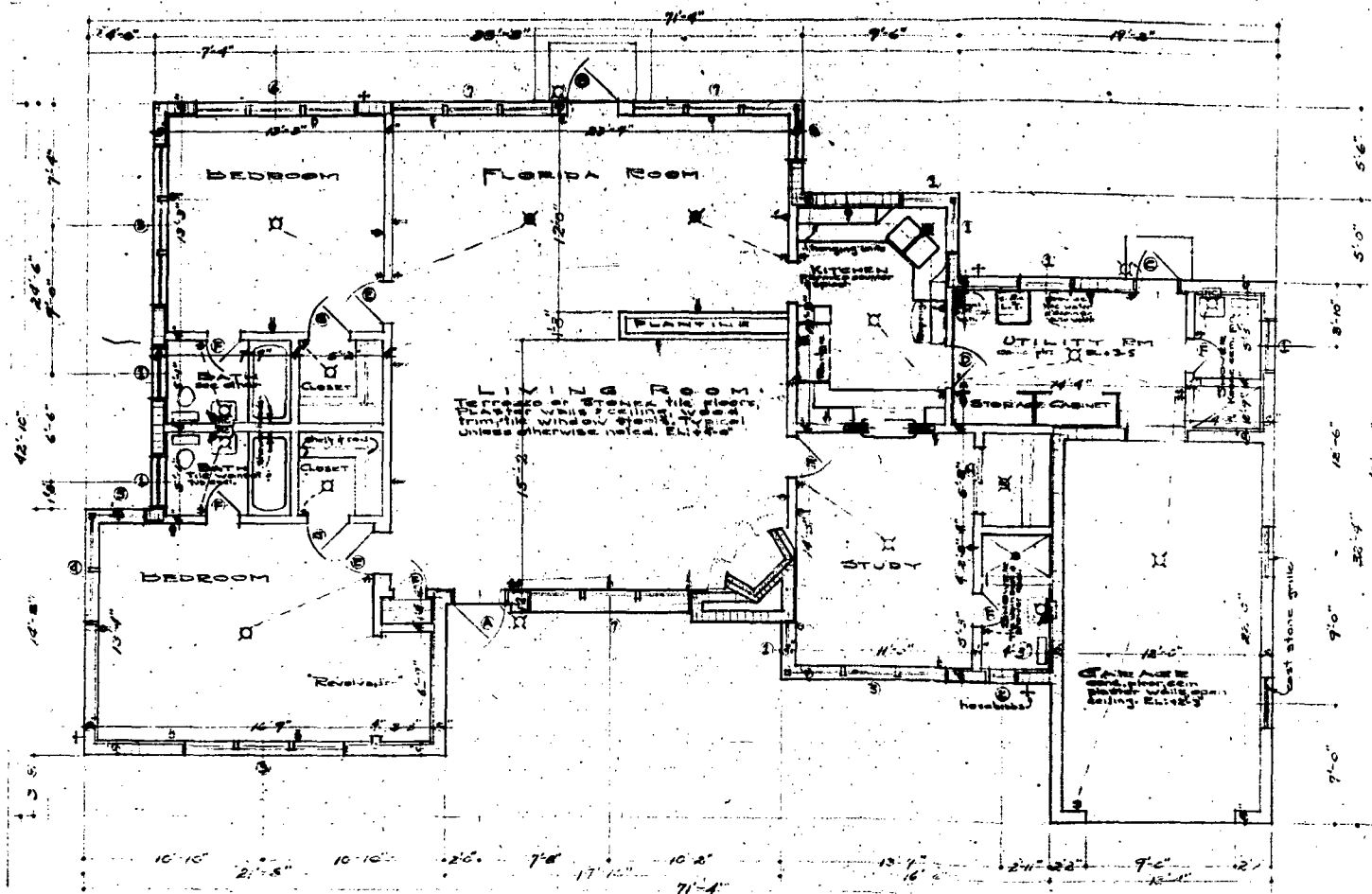
PILING & GRADE BEAM

1/4" = 1'-0"

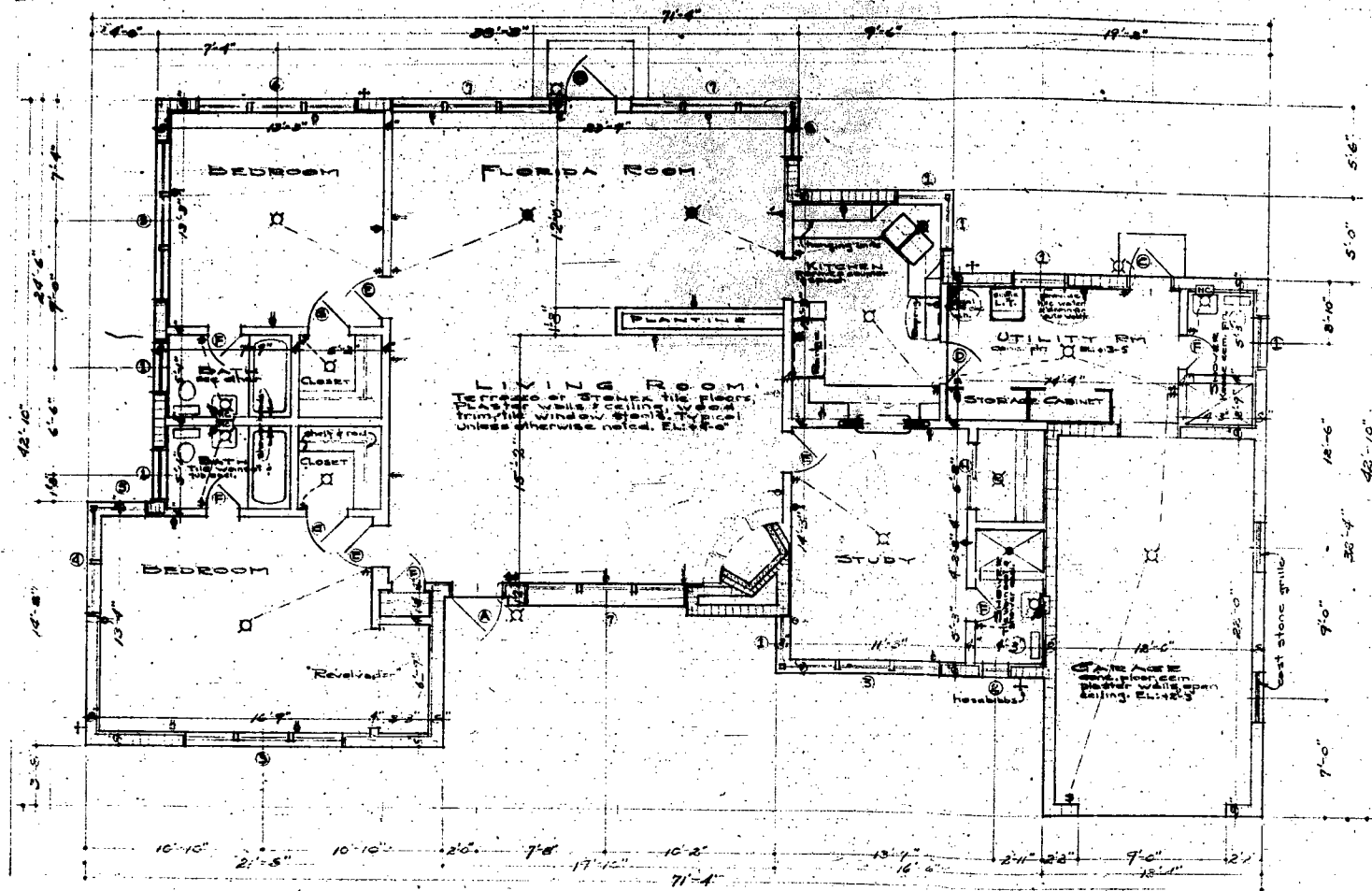
Plots Nos. 3 & 4

RESIDENCE
FOR MR. R. THOMPSON
NEW YORK
DATE
BY
CHECKED
APPROVED

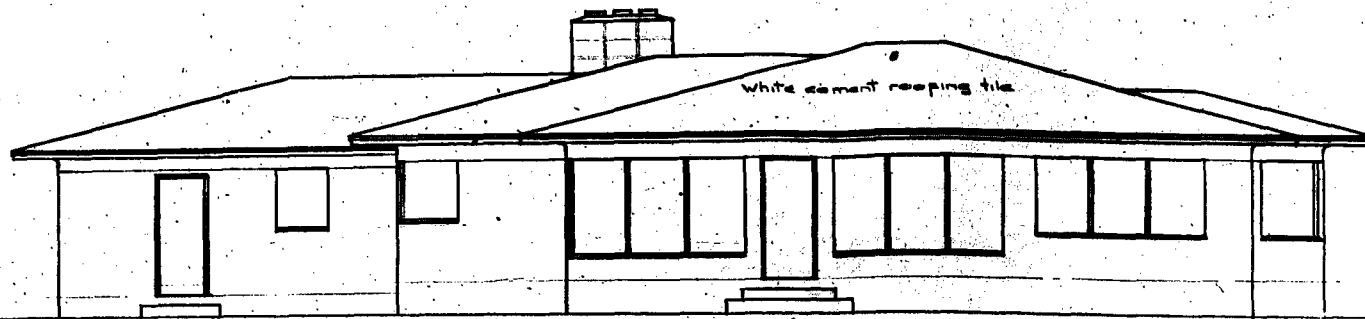
WINDOW SCHEDULE				DECK SCHEDULE			
1	25	Glass jalousie		A	2'-0"-6'-0"	14	Glass jalousie
2	13	"	"	B	2'-0"-6'-0"	14	"
3	25	"	"	C	2'-0"-6'-0"	14	Combination
4	24	"	"	D	2'-0"-6'-0"	14	Wood jalousie
5	24	"	"	E	2'-0"-6'-0"	14	Plush slab
6	24	"	"	F	2'-0"-6'-0"	14	"
7	25	"	"	G	2'-0"-6'-0"	14	Wood louver
8	25	"	"	H	2'-0"-6'-0"	14	"
				I	2'-0"-6'-0"	14	"
				J	2'-0"-6'-0"	14	Double Acting


$$TLC \frac{1}{2} R = 1 - \cos \Delta \alpha$$

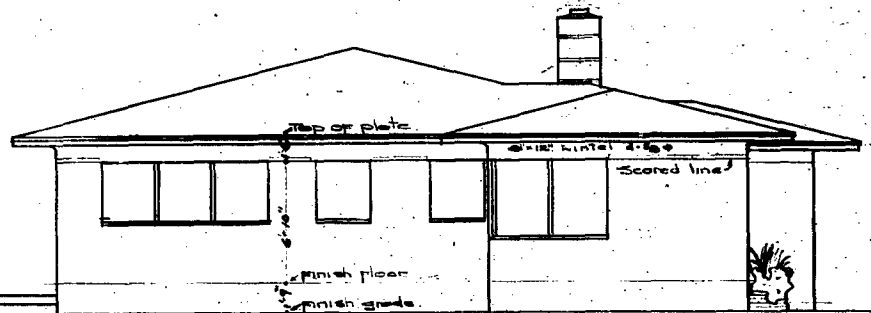
Window Schedule				Door Schedule			
1	25	Glass	Jealousie	A	3-0-6-0	14	Glass Jealousie
2	19	"	"	B	2-0-6-0	15	"
3	20	"	" mull (triple)	C	2-0-6-0	16	Combination
4	24	"	" (double)	D	2-6-6-0	17	Wood Jealousie
5	24	"	"	E	2-6-6-0	18	Flush Sash
6	24	"	" (triple)	F	2-0-6-0	19	"
7	25	"	"	G	2-0-6-0	20	Wood Louver
8	25	"	"	H	2-0-6-0	21	" " by-pass
				I	2-0-6-0	22	Double Acting



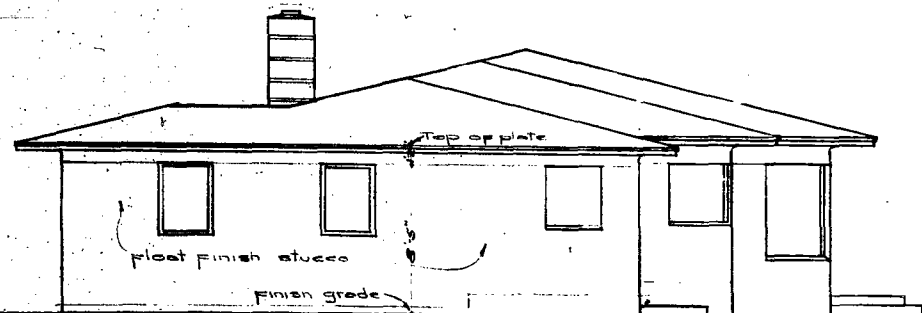
FLOOR PLAN
1/4" = 1'-0"



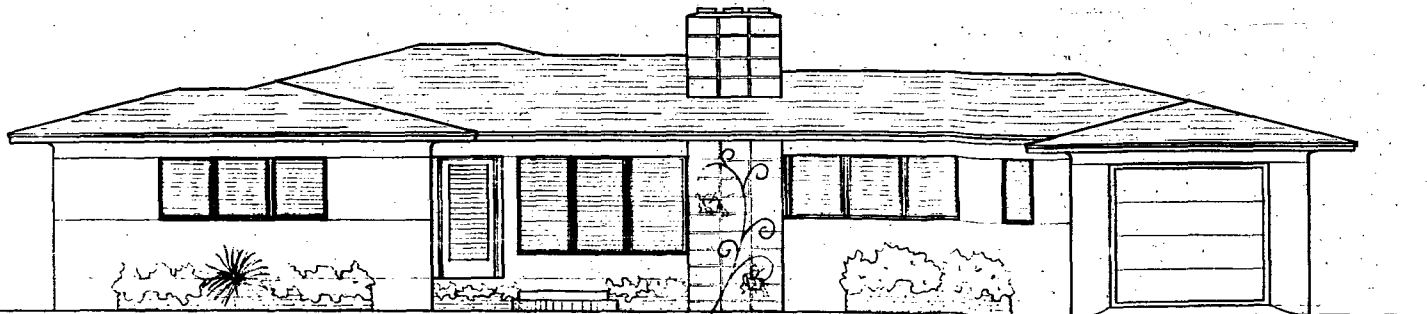
SOUTH ELEVATION 4'-10"



EAST ELEVATION 4'-10"



WEST ELEVATION 4'-10"



NORTH (JEFFERSON ST.) ELEVATION 4'-10"

JOB CARD

OWNER Len Kelly		JOB ADDRESS 1028 Jefferson St.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 30.00	VALUATION \$ 1,600.

DESCRIPTION OF CONSTRUCTION
1649 sq. ft. asphalt Drive

- ☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P DRY WALL				DRIVEWAY	84624	9-28-83	Ben & Als
FENCE				PATIO or WALK			

NOTES: County Surcharge: .40

JOE CARD

OWNER Kelly		JOB ADDRESS 102B Jefferson Street	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION 514214021120
MICROFILM NO. P. 01010	ARCHITECT none	FEE \$20.00	VALUATION \$500.00

DESCRIPTION OF CONSTRUCTION Fumigation	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	112683	9/28/87	Quality P/C	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
C-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County Surcharge: \$.20

NAME OF OWNER KELLEY

ADDRESS 1008 JEFFERSON ST

LEGAL DESCRIPTION COST 1600.00

DESCRIPTION OF CONST.

ARCHITECT:

PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.				
ROOF				
ELECTRICAL	39349	12-28-67	King	
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS	1220	4-23-68	WHITSON	4 ton ac & ducts
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				
Tent Furnigation	75099	10-13-67	Schopfman	

9 permits were found for
1028 JEFFERSON ST

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B16-106298	ROW (RIGHT OF WAY) PERMIT (ENGIN & UTIL)	2/2/2017	3/2/2017
Details		E16-102637	SERVICE CHANGE	10/27/2016	1/11/2017
Details		E13-101008	ALARM - RESIDENTIAL - BURGLAR/ROBBERY	5/17/2013	5/20/2013
Details		E10-101452	ALARM - RESIDENTIAL - BURGLAR/ROBBERY	8/11/2010	8/16/2010
Details		B09-104287	FENCE-CHAIN LINK &/OR WOOD	11/4/2009	12/8/2009
Details	29915	P0700293	GAS PIPING	2/14/2007	3/1/2007
Details		E9101035	AIR CONDITIONING-ELECTRICAL		5/9/1991
Details		M9100621	A/C - CENTRAL - REPLACEMENT		5/8/1991
Details		B8800099	RE-ROOF-METAL,TILE,WOOD SHINGLE OR SHAKE		6/17/1988

Permit Details

Process #:

Permit #: B09-104287

Master Permit: B09-104287

Status: CLOSED

[List All Subpermits](#)

Site Information

Address: 1028 JEFFERSON ST

Folio#: 514214021120

Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 22 W
25,23,24 E 37 1/2

Value: \$2,300.00

Sq Ft: 0

Lot:

Block:

Permit Information

Application Type: FENCE-CHAIN LINK &/OR WOOD

Job Name:

Film Number:

Application Date: 11/4/2009

Permit Date: 12/8/2009

CO/CC Date: N/A

Total Fees: \$116.80

Recorded Payments: \$116.80

Balance: \$0.00

Applicant / Contact Information

Name: GOLDMAN,JODI & GOLDMAN,LARRY

Address: 1028 JEFFERSON ST HOLLYWOOD FL33019

Property Owner Information

Name: GOLDMAN,JODI & GOLDMAN,LARRY

Address: 1028 JEFFERSON ST HOLLYWOOD FL33019

Contractor Information

Name:

Address:



CITY OF HOLLYWOOD, FLORIDA PERMIT APPLICATION



B09-104287

MASTER PROCESS # _____

MASTER PERMIT # _____

Permit Type (Check one): ☐ STRUC, ☐ FIRE, ☐ ELEC, ☐ MECH, ☐ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE Nov. 4, 2009 TAX FOLIO No. _____

LEGAL DESCRIPTION: West 25' of lot 22, all of lot 23 & east 37.5' of lot 24, Bk 55

JOB NAME GOLDMAN FENCE PHONE # _____

JOB ADDRESS 1028 Jefferson St. (1030) HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME Larry Goldman

Owners Address 1028 Jefferson St. City Hollywood State FL Zip 33019

WORK DESCRIPTION Wood Fence

USE/OCCUPANCY residence Sq. Ft. _____ Value of Proposed Work: \$ ~~3000.00~~ \$2500.00

CONTRACTOR'S NAME OWNER PHONE # _____ Fax # _____

CONTRACTOR'S ADDRESS _____ CITY _____ STATE _____ ZIP _____

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: _____ EMAIL ADDRESS _____

ARCHITECT/ENGINEER'S NAME _____ PHONE # _____ FAX # _____

ARCHITECT/ENGINEER'S ADDRESS _____ CITY _____ STATE _____ ZIP _____

FEE SIMPLE TITLE HOLDER NAME _____

Fee Simple Title Holder Address _____ City _____ State _____ Zip _____

BONDING COMPANY NAME _____

Bonding Company Address _____ City _____ State _____ Zip _____

MORTGAGE LENDER'S NAME SUNTRUST Bank

Mortgage Lender's Address _____ City _____ State _____ Zip _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature [Signature] Date: 11/4/09 Signature _____ Date: _____
Owner or Agent Prime Contractor

Sworn to (or affirmed) and subscribed before me this 4th day of November, 2009.
Notary Public - State of Florida
My Commission Expires 12/12/2012
Bridget Thorough National Notary Association

Signature [Signature] Signature _____
NOTARY as to Owner/Agent NOTARY as to Contractor

Personally Known, Identification Provided: [X] Personally Known, I.D. Provided: _____

** Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: [Signature] Permit Office Effective Code: 20__ Florida Building Code

D.F. # 6435-521-59-323-0

11. I am aware of, and consent to an owner-builder permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

1028 JEFFERSON STREET Hollywood

(Address of Property)

12. I agree to notify **THE CITY OF HOLLYWOOD BUILDING DEPARTMENT** immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to **THE CITY OF HOLLYWOOD BUILDING DEPARTMENT**. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to **THE CITY OF HOLLYWOOD** is required when the permit is issued.

I acknowledge that I will assume full responsibility as an Owner/Builder Contractor, I am obligated to actually, physically, build the structure or do the work which I have permitted and personally supervise or perform all work allowed by law on the permitted structure.

I hereby acknowledge that I have read and understand the above disclosure statement/affidavit.

[Signature]
Signature of Property Owner
LARRY GOLDMAN
Printed Name of Property Owner

Date: 11/3/09

11/4/09

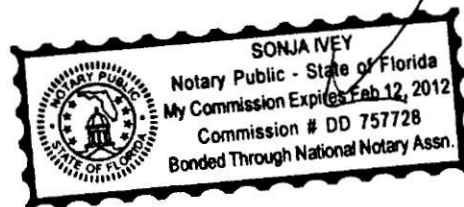
Property Owner Address: 1028 Jefferson St. Hollywood, FL 33019

Telephone Number: (954) 610-2260 Drivers License # G435-521-59-323-0

The foregoing instrument was acknowledged before me this 4 day of November, 20 09 by Larry Goldman (Name of Person Acknowledging) who is personally known to me or who has produced Driver's License (type of ID) as identification and who **did/did not** take an oath.

Notary Public Signature: [Signature]

My Commission expires: February 12, 2012



Note: Properties held in corporate ownership are not included within this exemption and must obtain permits through licensed contractors.

WATER METERS

Not Grading: Rainwater And Other Liquid Wastes Shall Not Be Allowed To Flow On Or Across Adjoining Property In Violation Of Local Building Code.

Area Adjacent To Lake Or Canal (If Any) To Be Graded So As To Prevent Direct Overland Discharge Of Stormwater Into Lake Or Canal.

Contractor To Coordinate
With Surveyor And Maintain
Min. 18" Above Crown Of
Road For New Slab And
Equipment Elevation.

SCOPE OF WORK

1. Selective Demolition (R/R Plans)
2. New Electric Per Plans
3. New A/C Per Plans
4. New Windows Per Plans
5. New Doors Per Plans
6. New Roof Trusses and Ties (Per Plans)

MINI LOT COVERAGE :
EXISTING UNDER ROOF (73,495) - 171' x Mass AC Area= 10660' Hops Other
Under Roof = 4,316
(Existing Lot Area) 0,307 = 75,811

FLORIDA AREA RATIO :
EXISTING UNDER A/R (171'x40')
TOTAL ADDITIONAL INCLUDED SPACE (73,495)
(Existing Lot Area) 0,307 = 838

REVISIONS		
REV.	DATE	BY

825 S.E. 5TH AVE SUITE 101
OCEAN BEACH, FLORIDA 3344
TEL 854-427-1000 FAX 854-427-9133

C. WAYNE FERNELL
 ARCHITECT
 A R 14056

WAYNE FERRELL
OCOM
ARCHITECTURE

RESIDENTIAL ADDITION
GOLDMAN RESIDENCE
1028 JEFFERSON STREET
HOLLYWOOD, FL 33019

BRAND	BCAMERA
CHECKED	C W F.
DATE	08-10-07
SCALE	AS NOTED
APP NO.	20070312
REMARKS	

A-2.0

