

ATTACHMENT I
Application Package

RECEIVED

DEPARTMENT OF PLANNING

SEP - 1 2016



File No. (internal use only): _____

CITY OF HOLLYWOOD
OFFICE OF PLANNING

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

*Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>*



APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development Board

Date of Application: 9/1/2016

Location Address: 1818 - 1843 HOLLYWOOD BLVD

Lot(s): 1-14 INCLUSIVE Block(s): 40 Subdivision: HOLLYWOOD

Folio Number(s): 514215-01-778, 514215-01-779, 514215-01-7810, 514215-01-7820

Zoning Classification: CC2 Land Use Classification: R.C.A

Existing Property Use: Not Occupied Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): R 2005-366, 02-CDMPV-160(A), 02-CDMPV-160(A) R 202-104

- Economic Roundtable
- Technical Advisory Committee
- Historic Preservation Board
- City Commission
- Planning and Development

Explanation of Request: SITE PLAN AMENDMENT NO CHANGE TO CERTIFICATE OF APPROPRIATENESS FOR PARTIAL DEMOLITION

Number of units/rooms: APARTMENTS 166 / HOTEL 103 Sq Ft: _____

Value of Improvement: 46 000 000 Estimated Date of Completion: 01/2019

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: BLOCK 40 LLC

Address of Property Owner: 290 N FEDERAL HIGHWAY, HOLLYWOOD FL, 33020

Telephone: 954 448 7951 Fax: 954 448 7966 Email Address: cabele@gcfr.com

Name of Consultant/Representative/Tenant (circle one): WILSON ATKINSON, DIMITRI PAPAICONOMOU

Address: 110 SE Sixth Street, Suite 1100, Ft Lauderdale Telephone: 954 525 7500

Fax: 954 761 8475 Email Address: wca@TrippScott.com

Date of Purchase: N/A Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract. PROPERTY OWNED BY BLOCK 40 FOR OVER 10 years

List Anyone Else Who Should Receive Notice of the Hearing: WILSON ATKINSON

Address: _____

Email Address: _____

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

RECEIVED

SEP - 1 2016

GENERAL APPLICATION

**CITY OF HOLLYWOOD
OFFICE OF PLANNING**

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 9-1-2016

PRINT NAME: Charles R. Abele Jr

Date: 9-1-2016

Signature of Consultant/Representative: _____

Date: 9-1-2016

PRINT NAME: DIMITRI PAPAIOANNOU

Date: 9-1-2016

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) _____ to my property, which is hereby made by me or I am hereby authorizing (name of the representative) _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

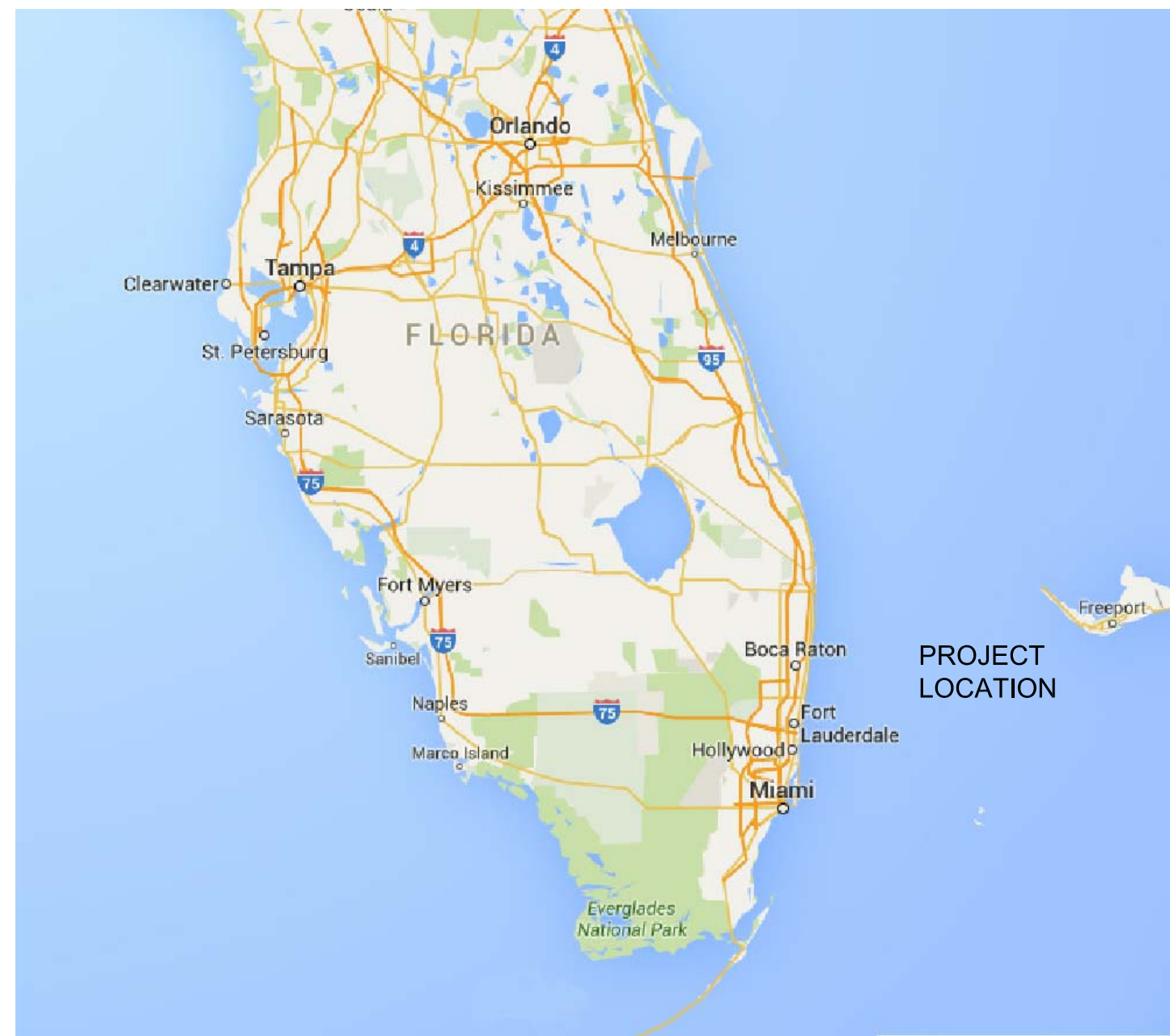
Sworn to and subscribed before me
this _____ day of _____

SIGNATURE OF CURRENT OWNER

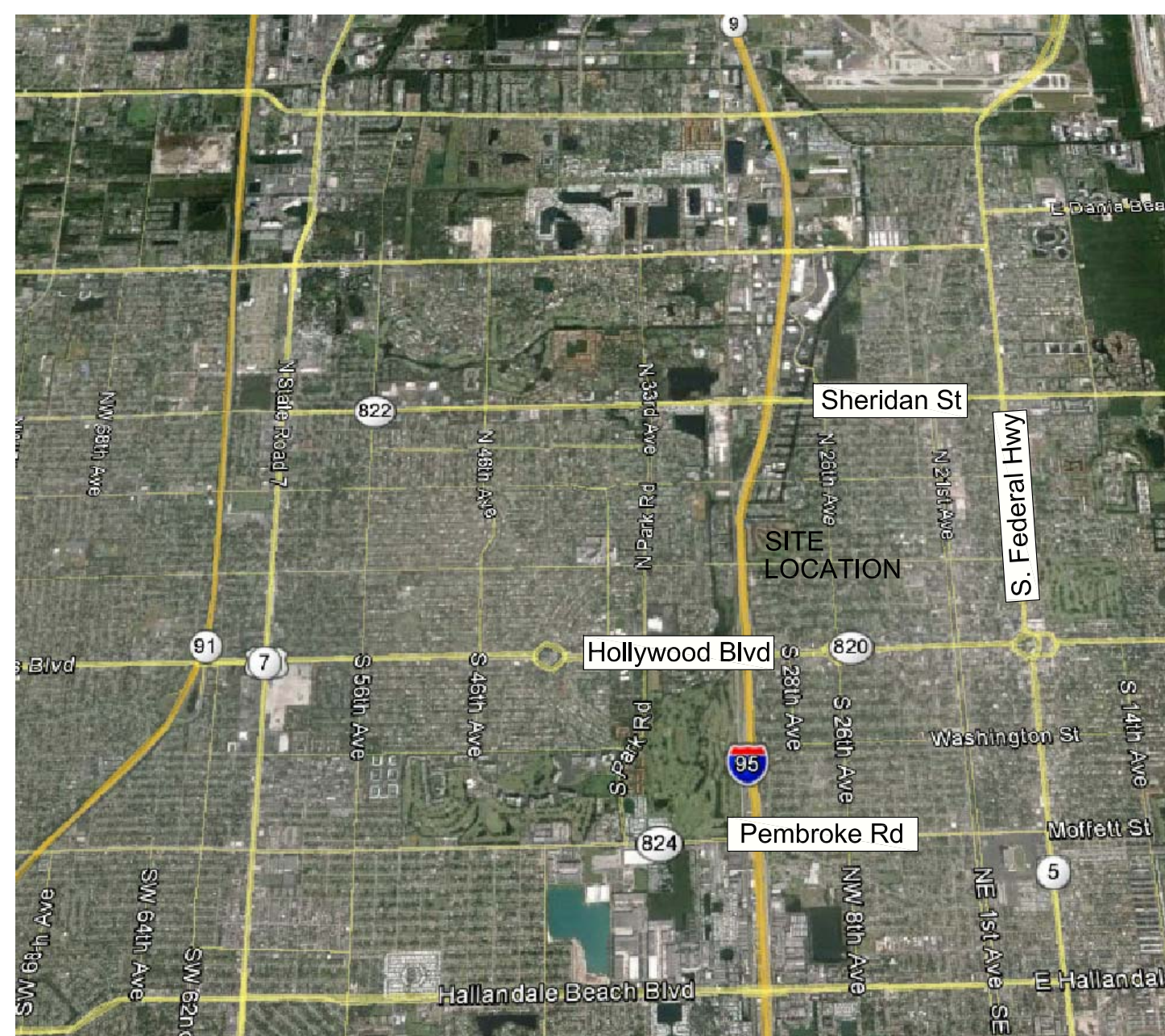
Notary Public State of Florida

PRINT NAME

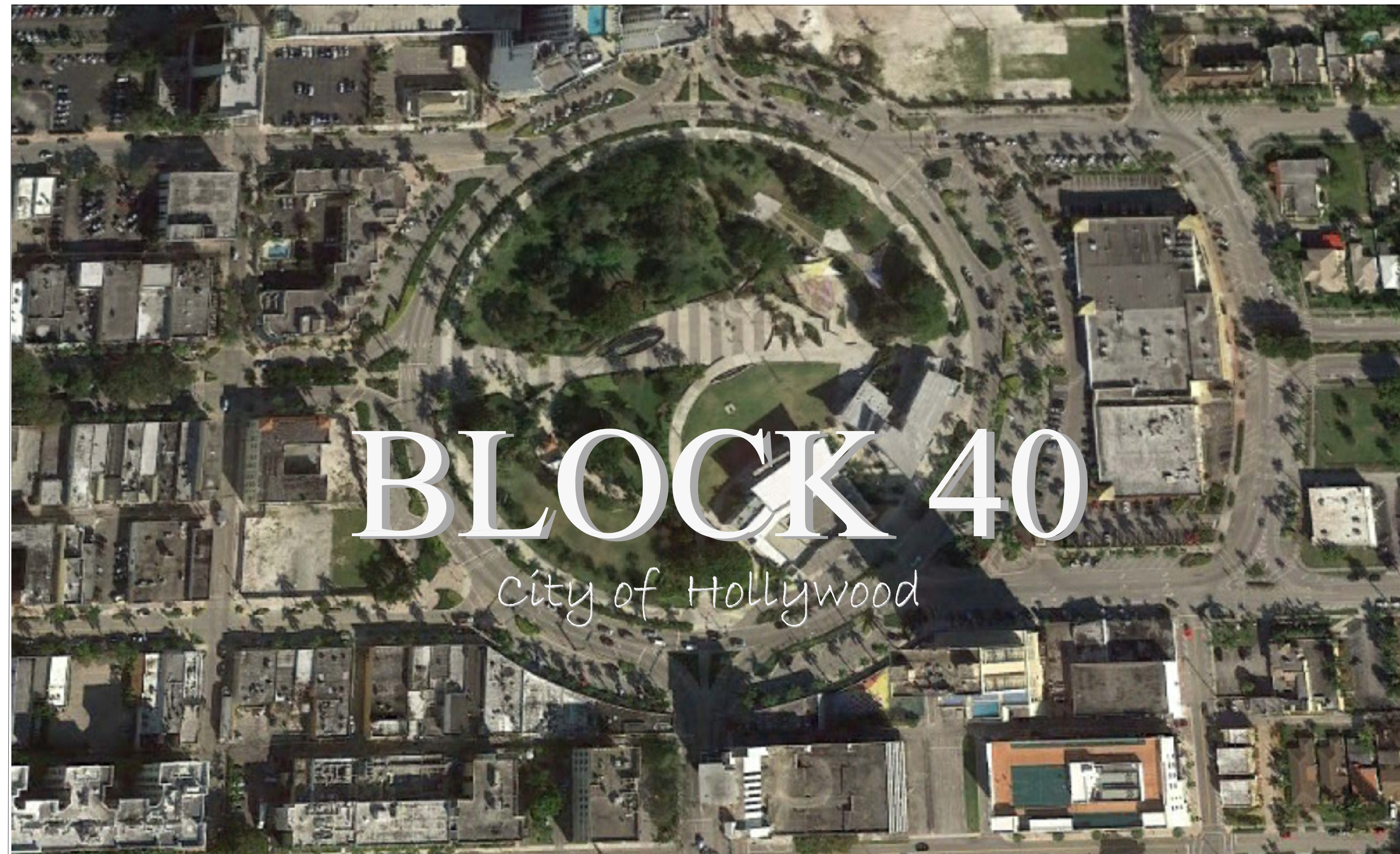
My Commission Expires: _____ (Check One) _____ Personally known to me; OR _____



A-0 LOCATION AERIAL - FLORIDA CITY OF HOLLYWOOD



A-1 SITE AERIAL LOCATION



A-3 PROJECT TITLE

OWNER/DEVELOPER	ARCHITECTURE	LANDSCAPE	CIVIL	SURVEYOR
BLOCK 40 LLC 290 N FEDERAL HIGHWAY HOLLYWOOD, FL 33020 PH.: (954) 448-7951 CONTACT: <u>DIMITRIS PAPAICONOMOU</u>	OBMI 806 DOUGLAS ROAD SOUTH TOWER, 4TH FLOOR CORAL GABLES, FL. 33134 PH.: (305) 537-7100 CONTACT: <u>NEIL PATERSON</u>	SCOTT C. HEYNE RLA 1627 FUNSTON ST. HOLLYWOOD, FLORIDA 33020 TEL. 954.920.4945 CONTACT: <u>SCOTT HEYNE</u>	CRAVEN-THOMPSON AND ASSOCIATES, INC 3563 N.W. 53RD ST FORT LAUDERDALE, FL 33309 T.: 954.739.6400 CONTACT: <u>CHAD EDWARDS</u>	CRAVEN-THOMPSON AND ASSOCIATES, INC 3563 N.W. 53RD ST FORT LAUDERDALE, FL 33309 T.: 954.739.6400 CONTACT: <u>CHAD EDWARDS</u>

A-4 PROJECT CONTACTS

A-000 COVER SHEET	A-102 LEVEL 2 FLOOR PLAN
S-1 BOUNDARY SURVEY SHEET	A-103 LEVEL 3 FLOOR PLAN
S-2 TOPOGRAPHIC SURVEY SHEET	A-104 LEVEL 4 FLOOR PLAN
C-1 COVER SHEET	A-105 LEVEL 5-6 FLOOR PLAN
C-2 GENERAL NOTES & SPECIFICATIONS	A-106 LEVEL 7 FLOOR PLAN
C-3 DEMOLITION PLAN	A-107 LEVEL 8 FLOOR PLAN
C-4 PAVING & GRADING PLAN	A-107-A LEVEL 8 FLOOR PLAN MEZZANINE
C-5 WATER & SEWER PLAN	A-108 LEVEL 9-18 FLOOR PLAN
C-6 EROSION CONTROL PLAN	A-108-A LEVEL 19 FLOOR PLAN
C-7 PAVEMENT MARKING & SIGNAGE	A-109 ROOF DECK
C-8 PAVING & GRADING DETAILS	A-110 ROOF PLAN
C-9 PAVING & GRADING DETAILS	A-201 NORTH ELEVATION
C-10 PAVING & GRADING DETAILS	A-202 EAST ELEVATION
C-11 TYPICAL SECTIONS	A-203 SOUTH ELEVATION
C-12 WATER & SEWER DETAILS	A-204 WEST ELEVATION
C-13 WATER & SEWER DETAILS	A-301 AERIAL RENDERING AERIAL
C-14 WATER & SEWER DETAILS	A-302 COLOR RENDERINGS
C-15 SANITARY SEWER PROFILE	A-303 COLOR RENDERINGS
T-1 GROUND LEVEL - EXISTING TREE PLAN	A-401 STREET PROFILE
L-1 GROUND LEVEL - HARDSCAPE PLAN	
L-2 GROUND LEVEL - HARDSCAPE PLAN	
L-3 LEVEL 8 - HARDSCAPE PLAN	
L-4 ROOF LEVEL - HARDSCAPE PLAN	
P-1 GROUND LEVEL - PLANTING PLAN	
P-2 GROUND LEVEL - PLANTING PLAN	
P-3 LEVEL 8 - PLANTING PLAN	
P-4 ROOF LEVEL - PLANTING PLAN	
A-001 TABLES AND GENERAL NOTES	
A-100 DIAGRAMMATIC SITE PLAN	
A-100.1 SITE PLAN	
A-101 LEVEL 1 FLOOR PLAN	

A-2 SHEET INDEX

TAC SITE PLAN REVIEW



DESTINATION CREATION
URBAN LIFESTYLE
ISLAND DESIGN
INSIDE DESIGN
GREEN MATTERS

806 S. Douglas Road
Suite 400
Coral Gables, FL 33134
www.obmi.com

T 305 445 7811
F 305 445 0997
Lic. # AA0003112

Antigua
Bermuda
British Virgin Islands
Cayman Islands
Miami
Trinidad & Tobago

DATE: REVISION:

08/31/2016 TAC COMMENTS
08/22/2016 TAC COMMENTS
05/20/2016 TAC COMMENTS
08/23/2016 TAC COMMENTS
03/21/2016 TAC FINAL SITE PLAN REVIEW
04/04/2016 TAC REVIEW

DATE: ISSUE:

ARCHITECT:
DOUGLAS A. KULIG
AR 10807

PROJECT:

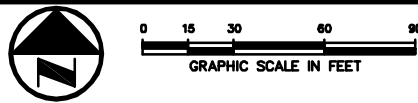
BLOCK 40
CITY OF
HOLLYWOOD
FLORIDA

DRAWING:

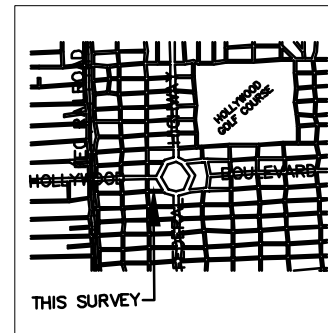
COVER SHEET

DRAWN BY: PROJECT #:
MIA15008
CHECKED BY: SCALE:
NTS
DRAWING #:

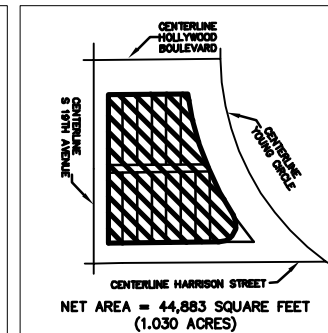
A-000



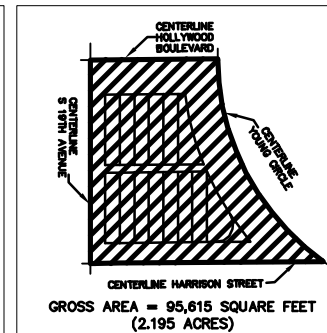
ALTA/ACSM LAND TITLE SURVEY



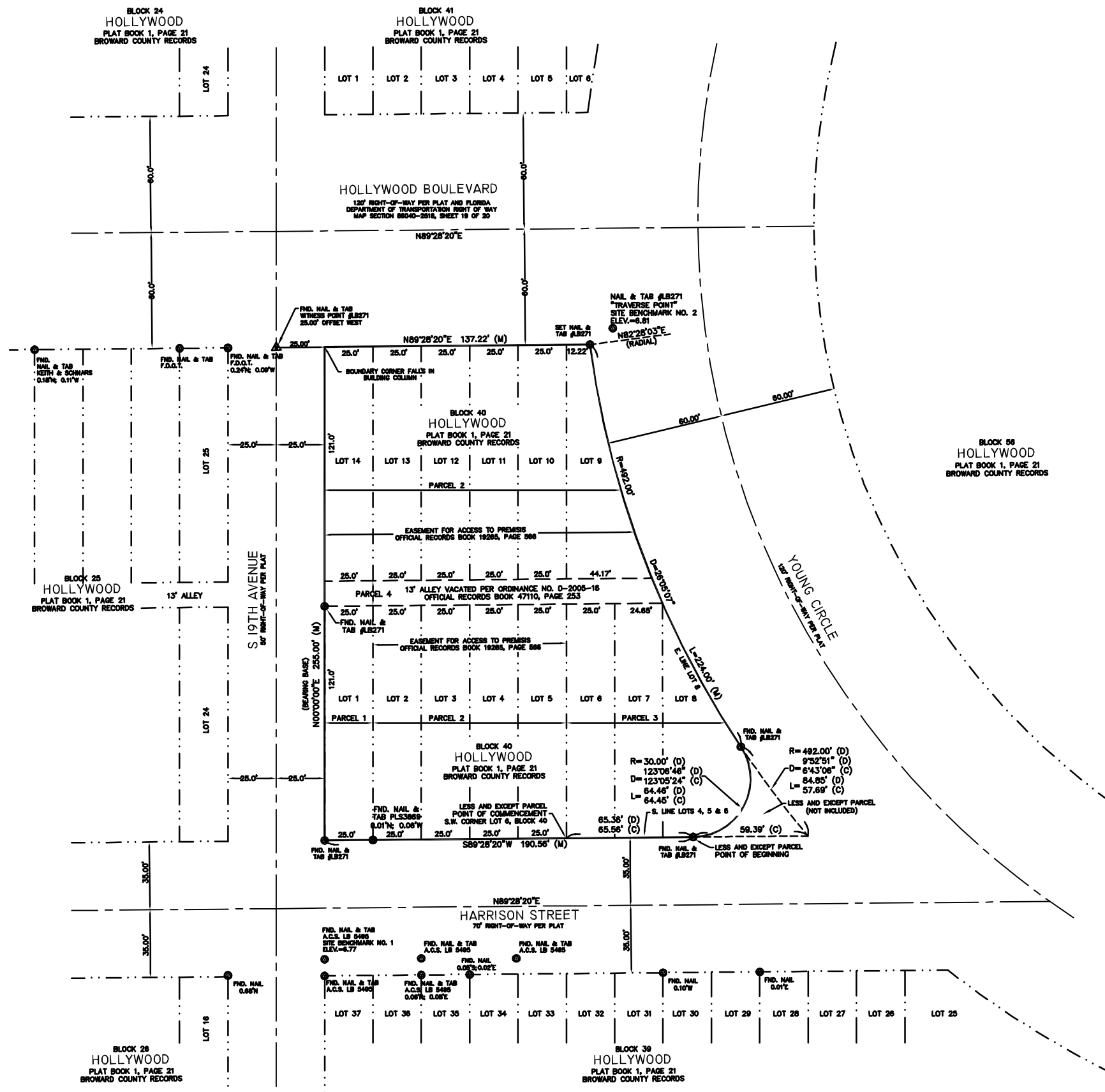
LOCATION MAP
NOT TO SCALE



NET AREA DETAIL
NOT TO SCALE



GROSS AREA DETAIL
NOT TO SCALE



DESCRIPTION:

PARCEL 1:
LOT 1, OF BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:
LOTS 2, 3, 4, 5, 9, 10, 11, 12, 13 AND 14, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:
LOTS 6, 7 AND 8, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPTING THEREFROM:
COMMENCING AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 40, OF THE SUBDIVISION OF THE TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1, AT PAGE 21, IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; RUN EAST ON AND ALONG THE SOUTH LINE OF LOTS 6, 7 AND 8 FOR A DISTANCE OF 65.38 FEET TO THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING THE FOLLOWING PROPERTIES: RADIUS=30.00 FEET, DELTA=123°06'46", ARC LENGTH=84.48 FEET; THENCE RUN NORTHEASTERLY ON SAID CURVE FOR A DISTANCE OF 64.46 FEET TO THE POINT OF INTERSECTION WITH THE EAST PROPERTY LINE OF LOT 6 OF SAID BLOCK 40; THENCE RUN SOUTHEASTERLY ON THE EAST LINE OF LOT 6, SAID EAST LINE BEING A CURVE HAVING THE FOLLOWING PROPERTIES: RADIUS=492.00 FEET, DELTA=09°52'51", ARC LENGTH=84.85 FEET, EXTENDED TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF LOTS 6, 7 AND 8 EXTENDED EASTERLY; THENCE RUN WESTERLY ON AND ALONG THE EXTENSION OF LOTS 6, 7 AND 8 TO THE POINT OF BEGINNING.

PARCEL 4:
THAT CERTAIN 13.00 FOOT ALLEY LYING IN BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AS VACATED BY CITY ORDINANCE NO. 0-2005-16, RECORDED MAY 25, 2010, IN OFFICIAL RECORDS BOOK 47110, PAGE 253.

SAID LANDS SITUATE IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAIN 44,883 SQUARE FEET (1.034 ACRES) MORE OR LESS.

SURVEYOR'S NOTES:

- 1) THE BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN, WITH THE WEST LINE OF BLOCK 40 BEARING NORTH 00°00'00" EAST AS SHOWN ON THE PLAT OF HOLLYWOOD, PLAT BOOK 1, PAGE 21.
- 2) THE LEGAL DESCRIPTION SHOWN HEREON WAS FURNISHED TO THIS OFFICE BY THE CLIENT.
- 3) THIS SURVEY MEETS AND EXCEEDS THE LINEAR CLOSURE OF 1 IN 10,000 FEET FOR COMMERCIAL/HIGH RISK SURVEYS AS DEFINED IN THE FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.001 AND 5J-17.002, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 4) BUILDING TIES ARE PERPENDICULAR OR RADIAL TO THE BOUNDARY LINES UNLESS OTHERWISE NOTED. ALL BUILDING TIES AND DIMENSIONS ARE SHOWN TO THE NEAREST 0.1 OF A FOOT.
- 5) THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
- 6) THE TOPOGRAPHICAL MEASUREMENTS SHOWN HEREON WERE OBTAINED USING A LEICA TC-700 SERIES TOTAL STATION AND TDS DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
- 7) THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF BLOCK 40, LLC FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT WITH THE AFORESAID CLIENT FOR THIS PROJECT. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- 8) SHEET S-1 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30' OR SMALLER. SHEET S-2 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=20' OR SMALLER. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY AND MAY NOT REPRESENT THE ACTUAL SIZE OR SHAPE OF THE FEATURE.
- 9) ADDITIONS AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE UNDERSIGNED. THIS DOCUMENT CONSISTS OF 2 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.
- 10) TREE TYPES ARE DETERMINED TO THE BEST OF OUR KNOWLEDGE. EXACT SPECIES SHOULD BE DETERMINED BY A LICENSED BOTANIST, DENDROLOGIST OR OTHER PROFESSIONAL WITH SUCH CAPACITY.
- 11) THE ELEVATIONS SHOWN HEREON ARE FOR THE PURPOSE OF INDICATING THE GROUND ELEVATION ONLY AT THE POSITION SHOWN AND IN NO WAY INDICATE ELEVATIONS AT ANY OTHER POINT THAN THAT SHOWN HEREON AND DO NOT DETERMINE SUBSURFACE CONDITIONS.
- 12) THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND REFERENCED TO THE FOLLOWING BENCHMARK, NATIONAL GEODETIC SURVEY BENCHMARK NO. M312, A BRASS DISC SET ON TOP OF A RETAINING WALL, 17.4 FEET SE OF THE NE CORNER OF THE CITY HALL BUILDING, AND 8 FEET E OF THE E WALL OF THE BUILDING. ELEVATION = 13.44.
- 13) FLOOD ELEVATION INFORMATION
 A) COMMUNITY NUMBER 125113
 B) DATE OF FIRM INDEX OCTOBER 2, 1997
 C) DATE OF FIRM MAP JULY 21, 1995
 D) FIRM ZONE X
 E) PANEL NUMBER 0317
 F) SUFFIX 9
 G) BASE FLOOD ELEVATION N/A

TITLE NOTES:

- 1) THE TITLE INFORMATION SHOWN HEREON IS BASED ON A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 3897721, REVISION B, EFFECTIVE DATE MAY 8, 2013 AT 8:00 A.M. AND IS SUBJECT TO ALL DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, APPEARING IN THE PUBLIC RECORDS OR ATTACHED SUBSEQUENT TO THE EFFECTIVE DATE THEREOF.
- 2) SUBJECT TO ITEM #2: TAXES AND ASSESSMENTS FOR THE YEAR 2013 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.
- 3) SUBJECT TO ITEM #4: GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 19285, PAGE 566, (AS TO LOTS 2-5, 9-14) (PLOTTED).
- 4) SUBJECT TO ITEM #5: TERMS, CONDITIONS AND PROVISIONS OF DEVELOPERS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 38372, PAGE 953, AS AFFECTED BY ASSIGNMENT OF DEVELOPERS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 46829, PAGE 1110, (NOT PLOTTED).
- 5) SUBJECT TO ITEM #6: RESOLUTION NO. 02-COMPV-160(A) RECORDED IN OFFICIAL RECORDS BOOK 40229, PAGE 1924; TOGETHER WITH RESOLUTION NO. 02-COMPV-160(A) RECORDED IN OFFICIAL RECORDS BOOK 40229, PAGE 1928; AND TOGETHER WITH RESOLUTION NO. 02-COMPV-160(A) RECORDED IN OFFICIAL RECORDS BOOK 40858, PAGE 1257, (NOT PLOTTED).
- 6) SUBJECT TO ITEM #7: QUIT CLAIM DEED OF FACADE PRESERVATION EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 40864, PAGE 78, (AS TO LOTS 9 & 10) (NOT PLOTTED).
- 7) SUBJECT TO ITEM #8: TERMS, PROVISIONS AND CONDITIONS OF ORDINANCE NO. 0-2005-16 RECORDED IN OFFICIAL RECORDS BOOK 47110, PAGE 253 WHICH INCLUDES OBLIGATIONS UNDER AN AGREEMENT FOR PUBLIC IMPROVEMENTS AND AN ESCROW AGREEMENT ATTACHED THERETO, (NOT PLOTTED).
- 8) SUBJECT TO ITEM #9: TERMS, CONDITIONS AND PROVISIONS OF THAT UNRECORDED AMENDED AND RESTATED DEVELOPERS AGREEMENT DATED AS OF MAY 2012, (NOT PLOTTED).
- 9) ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA UNLESS OTHERWISE NOTED.

SURVEYOR'S CERTIFICATE:

TO BLOCK 40, LLC; CHICAGO TITLE INSURANCE COMPANY; AND GREENBERG TRAUERG, P.A.: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, 11(a), 11(b), 14, 18 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 10, 2014.

CRAVEN THOMPSON & ASSOCIATES, INC.
 CERTIFICATE OF AUTHORIZATION NO. L8271

FIELD BOOK REFERENCES:

F.B. 1826	PGS. 39-59
F.B. 1938	PGS. 01, 52
F.B. 2102	PGS. 52, 53
F.B. 2801	PGS. 11-22, 38-51, 57
F.B. 2817	PGS. 68

DATE:	12/05/02
SCALE:	AS SHOWN
DRAWN BY:	JVN
CHECKED BY:	JVN
FIELD BOOK:	1928
PAGE(S):	39-59

CRAVEN THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 63RD STREET, FORT LAUDERDALE, FLORIDA 33309
 TEL: (954) 739-6400
 FAX: (954) 739-6400

FLORIDA LICENSED SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 020014

THOMAS C. SHAHAN
 PROFESSIONAL SURVEYOR & MAPPER NO. 4357
 STATE OF FLORIDA

YOUNG CIRCLE COMMONS

PREPARED FOR:
Block 40, LLC

BOUNDARY SURVEY SHEET

PROJECT NO.
02-0108-002

S-1

SHEET 1 OF 2

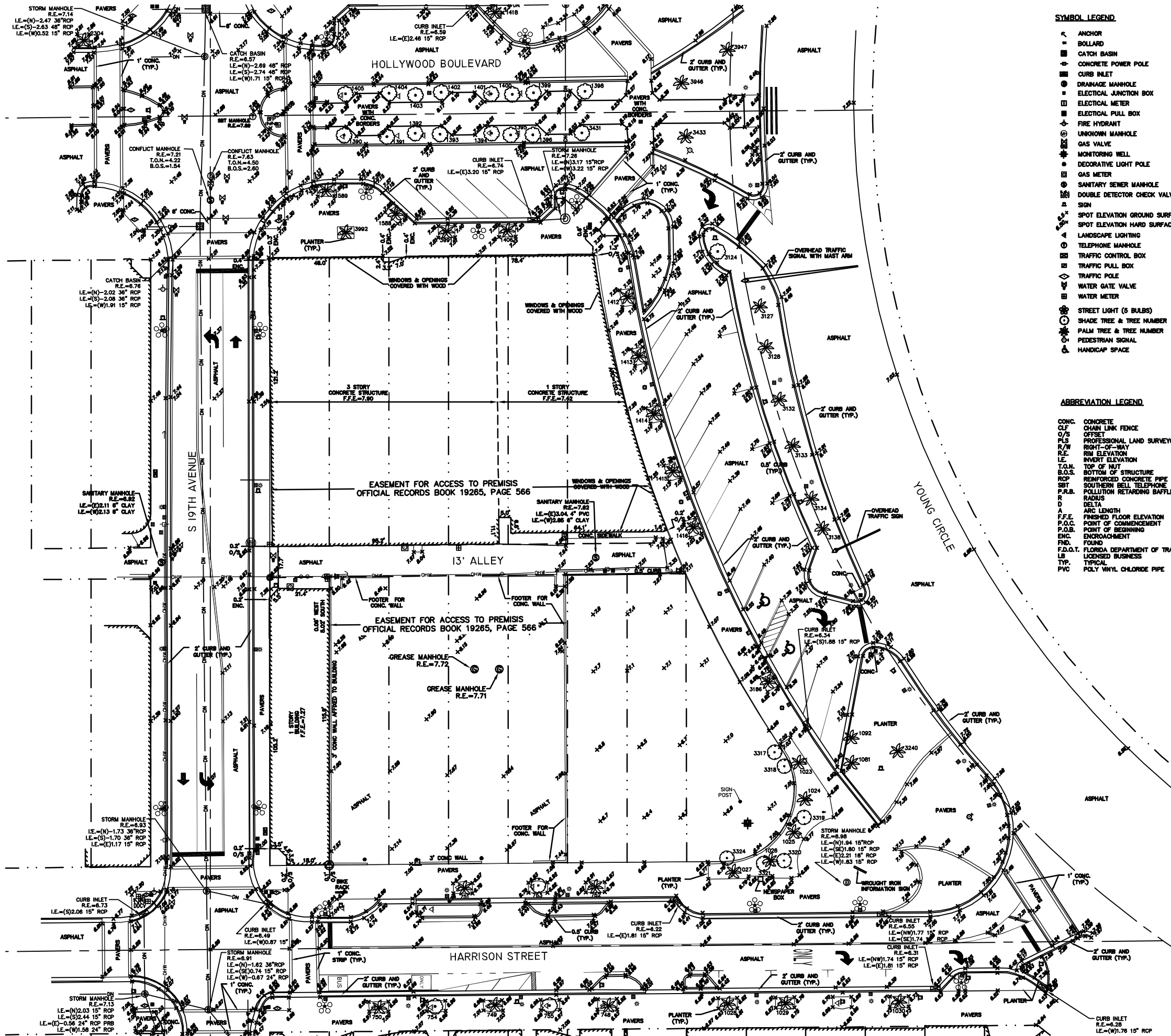
G:\2002\020708-002 Young Circle Commons.dwg [S-1] Mar 26, 2015 2:36pm TSHAHAN



ALTA/ACSM LAND TITLE SURVEY

TREE LIST

NO	SIZE	TYPE	BUD HEIGHT
748	14"	ROYAL PALM	18'
749	14"	ROYAL PALM	18'
750	14"	ROYAL PALM	18'
751	16"	ROYAL PALM	24'
752	16"	ROYAL PALM	24'
753	6"	LYGISTRUM	28'
754	4"	UNKNOWN TREE	18'
755	4"	UNKNOWN TREE	18'
1023	14"	ROYAL PALM	18'
1024	20"	ROYAL PALM	26'
1025	18"	ROYAL PALM	24'
1026	18"	ROYAL PALM	24'
1027	16"	ROYAL PALM	22'
1028	14"	ROYAL PALM	18'
1029	14"	ROYAL PALM	18'
1030	14"	ROYAL PALM	18'
1081	7"	ROYAL PALM	8'
1082	6"	ROYAL PALM	8'
1390	4"	UNKNOWN TREE	18'
1391	4"	UNKNOWN TREE	18'
1392	4"	UNKNOWN TREE	18'
1393	4"	UNKNOWN TREE	18'
1394	4"	UNKNOWN TREE	18'
1395	4"	UNKNOWN TREE	18'
1396	4"	UNKNOWN TREE	18'
1397	4"	UNKNOWN TREE	18'
1398	4"	UNKNOWN TREE	18'
1399	4"	UNKNOWN TREE	18'
1400	4"	UNKNOWN TREE	18'
1401	4"	UNKNOWN TREE	18'
1402	4"	UNKNOWN TREE	18'
1403	4"	UNKNOWN TREE	18'
1404	4"	UNKNOWN TREE	18'
1405	4"	UNKNOWN TREE	18'
1406	15"	ROYAL PALM	27'
1412	16"	ROYAL PALM	30'
1413	14"	ROYAL PALM	28'
1414	16"	ROYAL PALM	24'
1415	16"	ROYAL PALM	24'
1416	16"	ROYAL PALM	24'
1418	14"	ROYAL PALM	18'
1588	14"	ROYAL PALM	28'
1589	14"	ROYAL PALM	28'
2304	14"	ROYAL PALM	18'
3124	8"	LYGISTRUM	25'
3127	8"	CHRISTMAS PALM	25'
3128	6"	CHRISTMAS PALM	25'
3132	8"	CHRISTMAS PALM	25'
3133	8"	CHRISTMAS PALM	25'
3134	8"	CHRISTMAS PALM	25'
3136	8"	CHRISTMAS PALM	25'
3186	16"	ROYAL PALM	28'
3240	12"	PALM	12'
3317	10"	GUMBO LIMBO	18'
3318	8"	GUMBO LIMBO	18'
3319	8"	GUMBO LIMBO	18'
3320	8"	GUMBO LIMBO	18'
3321	8"	GUMBO LIMBO	18'
3324	5"	CARROTWOOD	18'
3431	8"	LYGISTRUM	25'
3433	16"	ROYAL PALM	35'
3848	16"	ROYAL PALM	35'
3847	16"	ROYAL PALM	40'
3891	15"	ROYAL PALM	28'
3892	15"	ROYAL PALM	28'



SYMBOL LEGEND

- ANCHOR
- BOLLARD
- CATCH BASIN
- CONCRETE POWER POLE
- CURB INLET
- DRAINAGE MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL METER
- ELECTRICAL PULL BOX
- FIRE HYDRANT
- UNKNOWN MANHOLE
- GAS VALVE
- MONITORING WELL
- DECORATIVE LIGHT POLE
- GAS METER
- SANITARY SEWER MANHOLE
- DOUBLE DETECTOR CHECK VALVE
- SIGN
- SPOT ELEVATION GROUND SURFACE
- SPOT ELEVATION HARD SURFACE
- LANDSCAPE LIGHTING
- TELEPHONE MANHOLE
- TRAFFIC CONTROL BOX
- TRAFFIC PULL BOX
- TRAFFIC POLE
- WATER GATE VALVE
- WATER METER
- STREET LIGHT (5 BULBS)
- SHADE TREE & TREE NUMBER
- PALM TREE & TREE NUMBER
- PEDESTRIAN SIGNAL
- HANDICAP SPACE

ABBREVIATION LEGEND

- CONC. CONCRETE
- CLF CHAIN LINK FENCE
- O/S OFFICE
- PLS PROFESSIONAL LAND SURVEYOR
- R/W RIGHT-OF-WAY
- R/E RIM ELEVATION
- I.E. INVERT ELEVATION
- T.O.M. TOP OF MUD
- B.O.S. BOTTOM OF STRUCTURE
- RCP REINFORCED CONCRETE PIPE
- SBT SOUTHERN BELL TELEPHONE
- P.R.B. POLLUTION RETARDING Baffle
- DELTA
- R RADIUS
- D DELTA
- A ARC LENGTH
- F.F.E. FINISHED FLOOR ELEVATION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- ENC. ENCROACHMENT
- FND. FOUND
- F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
- LB LICENSED BUSINESS
- TYP. TYPICAL
- PVC POLY VINYL CHLORIDE PIPE

THE ELEVATIONS SHOWN
HEREON ARE BASED ON THE
NORTH AMERICAN VERTICAL DATUM OF 1988.

DATE: 12/05/02	SCALE: AS SHOWN	DATE: 1/10/14	SCALE: AS SHOWN	DATE: 1/27/05	SCALE: AS SHOWN
UPDATE SURVEY: 7	REVIEW AND NOTE TITLE WORK: 6	ADD LOT 1: 5	REVISE CERTIFIED TO: 4	ADD NET AREA DETAIL: 3	ADD GROSS AREA DETAIL: 2
DATE: 12/05/02	BY: [Signature]	DATE: 1/10/14	BY: [Signature]	DATE: 1/27/05	BY: [Signature]

YOUNG CIRCLE COMMONS

PREPARED FOR:
Block 40, LLG

TOPOGRAPHIC SURVEY SHEET

PROJECT NO.
02-0108-002

9-2

SHEET 2 OF 2

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 83RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (864) 739-4400 FAX: (864) 739-4400

FLORIDA LICENSED ENGINEERING SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114
A MEMBER COMPANY - THOMPSON & ASSOCIATES, INC. ASSOCIATES, INC. AND WILLIAMS, INC.
A MEMBER COMPANY - THOMPSON & ASSOCIATES, INC. ASSOCIATES, INC. AND WILLIAMS, INC.

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YOUNG CIRCLE COMMONS - BLOCK 40 CIVIL ENGINEERING PLANS

CITY OF HOLLYWOOD
SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST

HOLLYWOOD
BROWARD COUNTY, FLORIDA

LEGAL DESCRIPTION:

PARCEL 1:

LOT 1, OF BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

LOTS 2, 3, 4, 5, 9, 10, 11, 12, 13 AND 14, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:

LOTS 6, 7 AND 8, BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPTING THEREFROM:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 6, BLOCK 40, OF THE SUBDIVISION OF THE TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1, AT PAGE 21, IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; RUN EAST ON AND ALONG THE SOUTH LINE OF LOTS 6, 7 AND 8 FOR A DISTANCE OF 65.36 FEET TO THE POINT OF BEGINNING, SAID POINT OF BEGINNING BEING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHWEST AND HAVING THE FOLLOWING PROPERTIES: RADIUS=30.00 FEET, DELTA=123°06'46", ARC LENGTH=64.46 FEET; THENCE RUN NORTHEASTERLY ON SAID CURVE FOR A DISTANCE OF 64.46 FEET TO THE POINT OF INTERSECTION WITH THE EAST PROPERTY LINE OF LOT 8 OF SAID BLOCK 40; THENCE RUN SOUTHEASTERLY ON THE EAST LINE OF LOT 8, SAID EAST LINE BEING A CURVE HAVING THE FOLLOWING PROPERTIES: RADIUS=492.00 FEET, DELTA=09°52'51", ARC LENGTH=84.85 FEET, EXTENDED TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF LOTS 6, 7 AND 8 EXTENDED EASTERLY; THENCE RUN WESTERLY ON AND ALONG THE EXTENSION OF LOTS 6, 7 AND 8 TO THE POINT OF BEGINNING.

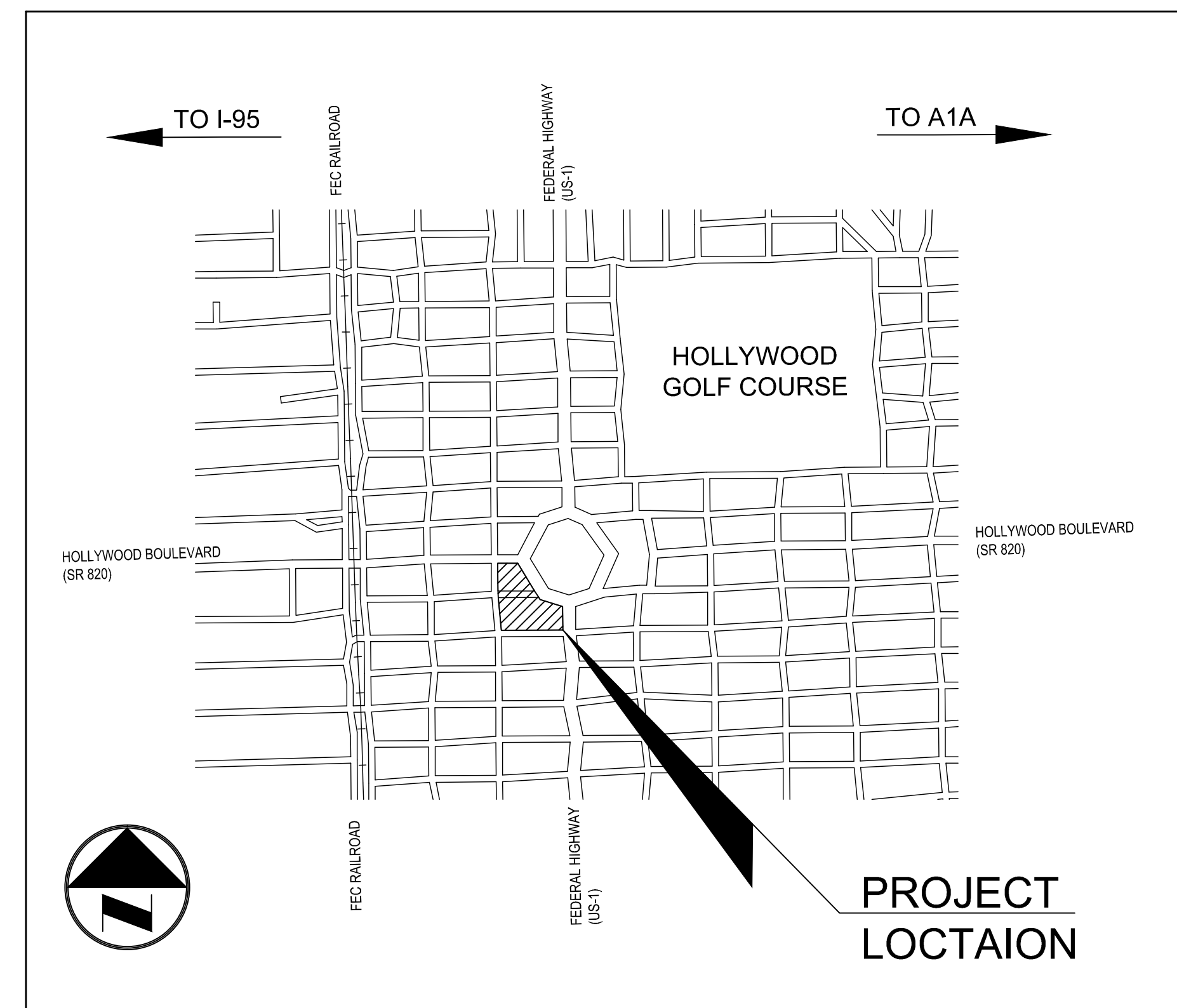
PARCEL 4:

THAT CERTAIN 13.00 FOOT ALLEY LYING IN BLOCK 40, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AS VACATED BY CITY ORDINANCE NO. 0-2005-16, RECORDED MAY 26, 2010, IN OFFICIAL RECORDS BOOK 47110, PAGE 253.

SAID LANDS SITUATE IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAIN 44,883 SQUARE FEET (1.034 ACRES) MORE OR LESS.

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).

NOTES:
WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1,16.4.3.1.1



VICINITY MAP

NOT TO SCALE

PREPARED FOR:
BLOCK 40, LLC.

SHEET INDEX		
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C-3	DEMOLITION PLAN	
C-4	PAVING & GRADING PLAN	
C-5	WATER & SEWER PLAN	
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C-14	WATER & SEWER DETAILS	
C-15	SANITARY SEWER PROFILE	



Craven • Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS

3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL.: (954) 739-6400

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114

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Chad Everett Edwards
Florida P.E. No. 59306
September 2, 2016

PROJECT NUMBER: 02-0108-002-04
DATE: MAY, 2016

Table with columns: DATE, SCALE, DESIGN BY, DRAWN BY, CHECKED BY, APPROVED BY, and a vertical DESCRIPTION column.

CRAVEN - THOMPSON AND ASSOCIATES, INC. ENGINEERS • PLANNERS • SURVEYORS 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309

YOUNG CIRCLE COMMONS - BLOCK 40 CITY OF HOLLYWOOD BROWARD COUNTY PREPARED FOR: BLOCK 40, LLC. GENERAL NOTES & SPECIFICATIONS

I. APPLICABLE CODES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES WHERE APPLICABLE.

II. PRECONSTRUCTION RESPONSIBILITIES

- A. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

III. INSPECTIONS

- A. THE CONTRACTOR SHALL NOTIFY THE CITY'S ENGINEERING DEPARTMENT, BROWARD COUNTY, THE ENGINEER OF RECORD, FDOT, AND ANY OTHER GOVERNMENT AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:

IV. SHOP DRAWINGS

- A. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING: SANITARY MANHOLES, STORM DRAIN MANHOLES, CATCH BASINS, FIRE HYDRANTS, PIPING, VALVES AND ALL RELATED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

V. TEMPORARY FACILITIES

- A. TEMPORARY FACILITIES: 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, TELEPHONE SERVICE AND ELECTRICITY.

VI. WATER DISTRIBUTION SYSTEM

- A. CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN & SUPERCEDE ALL OTHER REQUIREMENTS FOR WATERMAIN CONSTRUCTION.

- 2. WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING.

VII. GRAVITY SEWER COLLECTION SYSTEM:

- A. CITY AND BROWARD COUNTY CONSTRUCTION STANDARDS & SPECIFICATIONS SHALL GOVERN & SUPERCEDE ALL OTHER REQUIREMENTS FOR SANITARY SEWER CONSTRUCTION.

VIII. STORM DRAINAGE:

- A. GENERAL: 1. DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.

IX. PAVING

- A. GENERAL: 1. BROWARD COUNTY AND THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS SHALL GOVERN.

X. DEWATERING

- 1. WHERE DEWATERING IS REQUIRED, THE CONTRACTOR IS RESPONSIBLE FOR DEWATERING IN SUCH A MANNER SO AS TO COMPLY WITH ANY AND ALL CITY, COUNTY, STATE AND FEDERAL DEWATERING REGULATIONS.

XI. PAVEMENT MARKING AND SIGNAGE

- 1. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION, AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (MAY, 1989).

XII. PROJECT CLOSEOUT

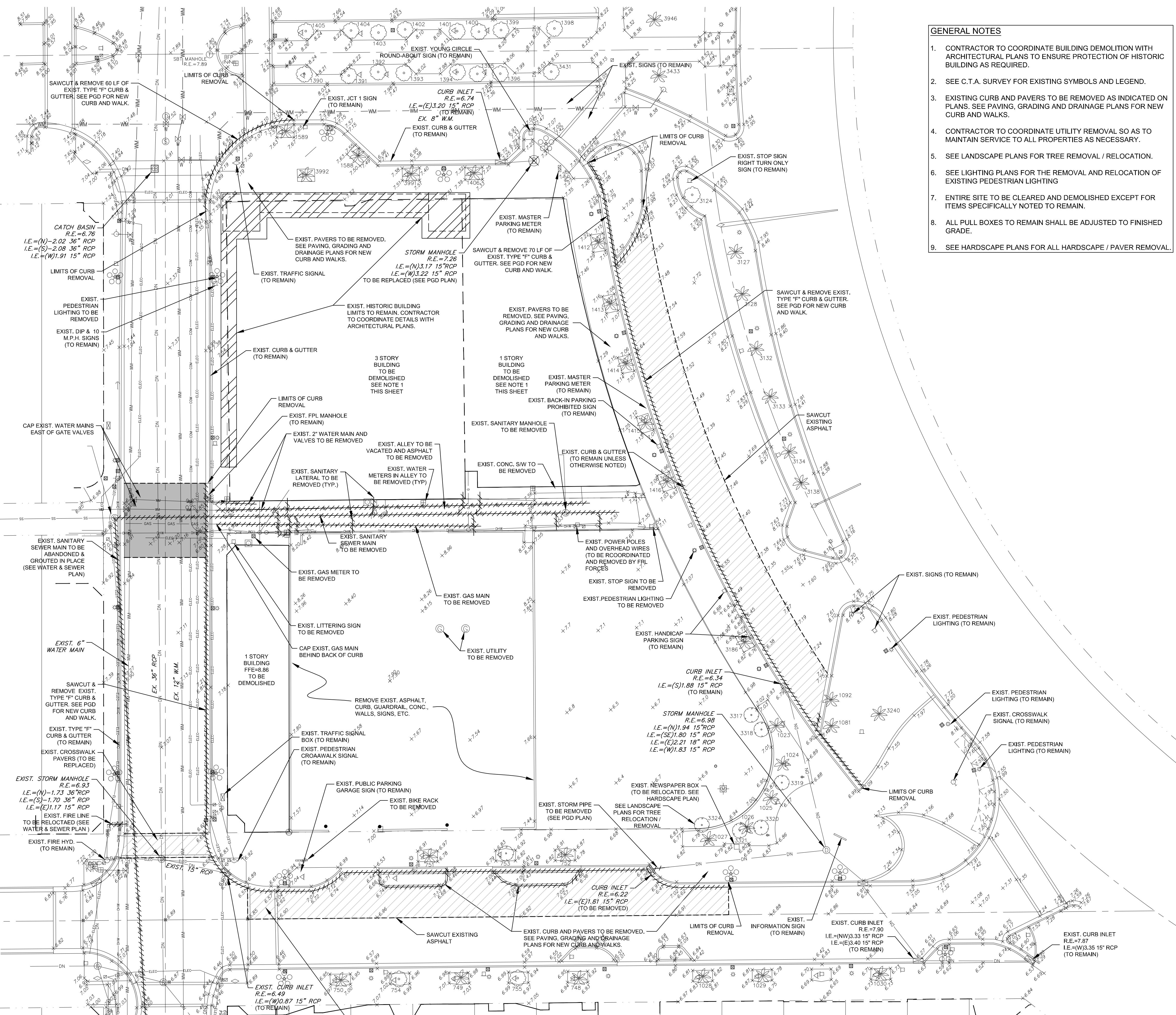
- A. CLEANING UP: 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH.

XIII. ENGINEER'S AS BUILT REQUIREMENTS

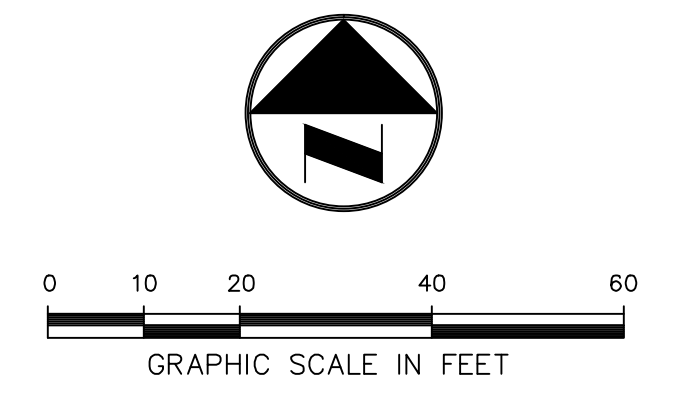
- 1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON THEIR SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH, MATERIAL AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.

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- GENERAL NOTES**
1. CONTRACTOR TO COORDINATE BUILDING DEMOLITION WITH ARCHITECTURAL PLANS TO ENSURE PROTECTION OF HISTORIC BUILDING AS REQUIRED.
 2. SEE C.T.A. SURVEY FOR EXISTING SYMBOLS AND LEGEND.
 3. EXISTING CURB AND PAVERS TO BE REMOVED AS INDICATED ON PLANS. SEE PAVING, GRADING AND DRAINAGE PLANS FOR NEW CURB AND WALKS.
 4. CONTRACTOR TO COORDINATE UTILITY REMOVAL SO AS TO MAINTAIN SERVICE TO ALL PROPERTIES AS NECESSARY.
 5. SEE LANDSCAPE PLANS FOR TREE REMOVAL / RELOCATION.
 6. SEE LIGHTING PLANS FOR THE REMOVAL AND RELOCATION OF EXISTING PEDESTRIAN LIGHTING
 7. ENTIRE SITE TO BE CLEARED AND DEMOLISHED EXCEPT FOR ITEMS SPECIFICALLY NOTED TO REMAIN.
 8. ALL PULL BOXES TO REMAIN SHALL BE ADJUSTED TO FINISHED GRADE.
 9. SEE HARDSCAPE PLANS FOR ALL HARDSCAPE / PAVER REMOVAL.



- PROPOSED LEGEND:**
- HISTORIC BUILDING TO REMAIN
 - EXISTING PAVEMENT TO BE REMOVED
 - EXISTING PAVEMENT RESTORATION
 - TO BE REMOVED

- EXISTING LEGEND:**
- ANCHOR
 - BLOW-OFF VALVE
 - CATCH BASIN
 - CONCRETE LIGHT POLE
 - CONCRETE POST
 - CONCRETE POWER POLE
 - CURB INLET
 - ELECTRICAL OUTLET
 - ELECTRICAL PANEL
 - ELECTRICAL PULL BOX
 - ELECTRICAL MANHOLE
 - GAS MARKER
 - HEADWALL
 - METAL LIGHT POLE
 - MONITORING WELL
 - PIPE
 - PARKING LIGHT 2 SQUARE
 - SANITARY MANHOLE
 - SIGN
 - SPOT-FLOOD LIGHT
 - SANITARY SEWER CLEAN OUT
 - STORM MANHOLE
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - TELEPHONE PULL BOX
 - TRAFFIC POLE
 - TRAFFIC PULL BOX
 - TRANSFORMER PAD
 - WATER BLOW-OFF
 - WATER VALVE
 - WOOD POWER POLE
 - OVER HEAD WIRES
 - TOP OF BANK
 - TOE OF SLOPE
 - WATER MAIN
 - GUARDRAIL
 - NON-VEHICULAR ACCESS LINE

- CONC. CONCRETE
- CLF CHAIN LINK FENCE
- OH OVER HEAD WIRES
- O/S OFFSET
- O.R.B. OFFICIAL RECORDS BOOK
- R/W RIGHT-OF-WAY
- R.E. RIM ELEVATION
- I.E. INVERT ELEVATION
- T.O.M. TOP OF MUD
- B.S. BOTTOM OF STRUCTURE
- F.I.P. FOUND IRON PIPE
- F.I.R. FOUND IRON ROD
- B.H. BUD HEIGHT
- P.R.B. POLLUTION RETARDING BAFFLE
- R RADIUS
- D DELTA
- A ARC LENGTH
- F.F.E. FINISHED FLOOR ELEVATION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- F.N.I.T. FOUND NAIL IN TAB
- ENC. ENCROACHMENT

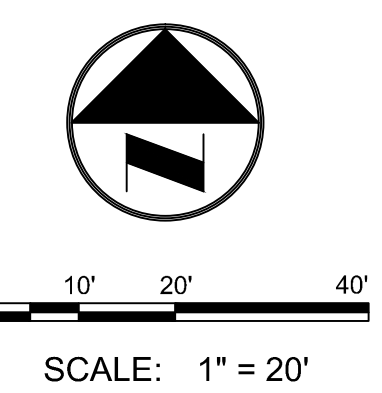
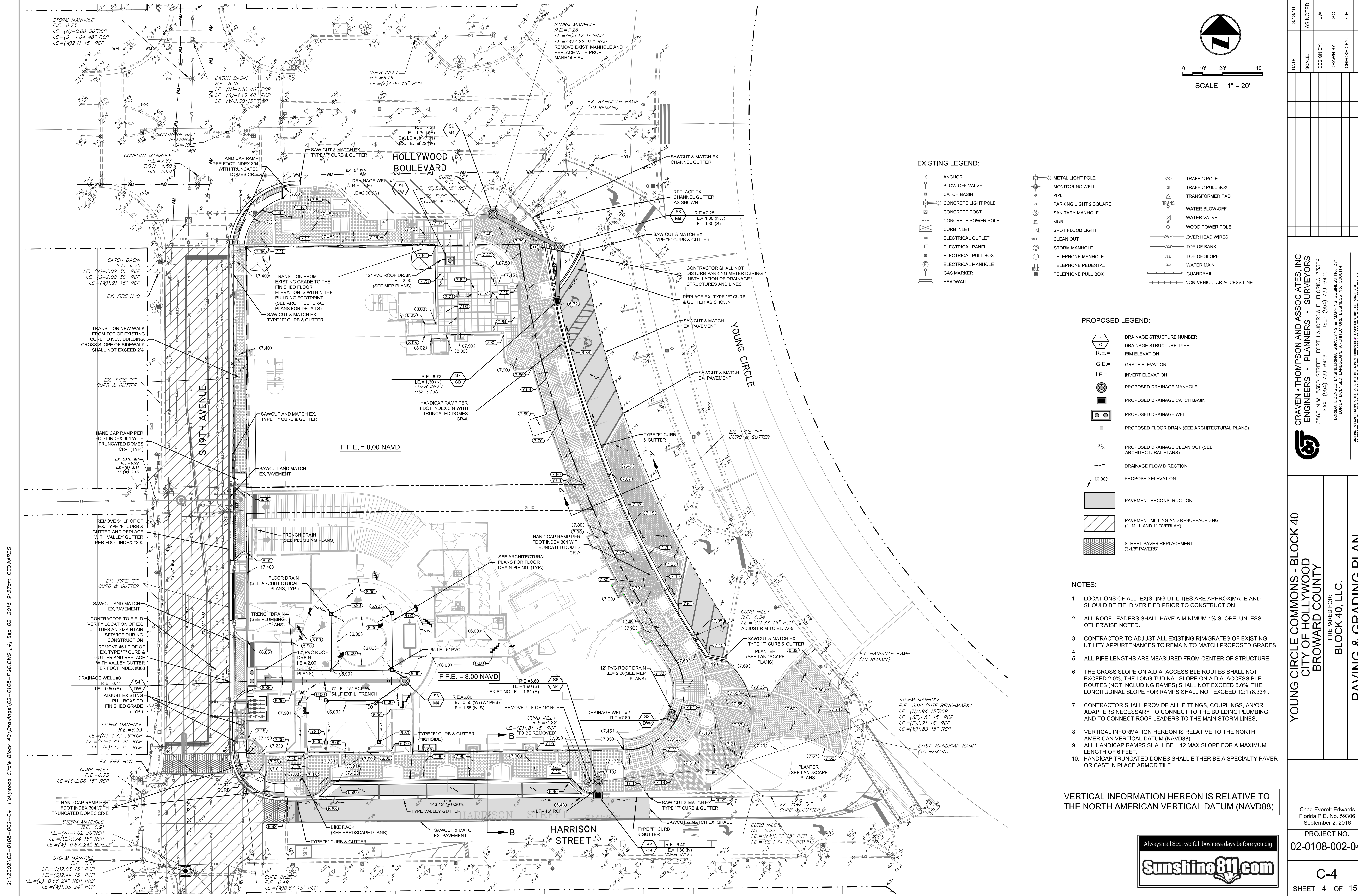
DATE:	3/18/16	AS NOTED:		DESIGNED BY:	JW	DRAWN BY:	SC	CHECKED BY:	CE	APPROVED BY:	CE
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BY:											
DATE:											

CRAVEN - THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
 35653 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 TEL: (954) 739-6400
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 FLORIDA LICENSED PROFESSIONAL ENGINEERS & PLANNERS BUSINESS NO. 771
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
 FLORIDA LICENSED SURVEYORS BUSINESS NO. 12000
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YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY
 PREPARED FOR:
BLOCK 40, LLC.
DEMOLITION PLAN

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016
 PROJECT NO.
02-0108-002-04
 C-3
 SHEET 3 OF 15





EXISTING LEGEND:

- ANCHOR
- BLOW-OFF VALVE
- CATCH BASIN
- CONCRETE LIGHT POLE
- CONCRETE POST
- CONCRETE POWER POLE
- CURB INLET
- ELECTRICAL OUTLET
- ELECTRICAL PANEL
- ELECTRICAL PULL BOX
- ELECTRICAL MANHOLE
- GAS MARKER
- HEADWALL
- METAL LIGHT POLE
- MONITORING WELL
- PIPE
- PARKING LIGHT 2 SQUARE
- SANITARY MANHOLE
- SIGN
- SPOT-FLOOD LIGHT
- CLEAN OUT
- STORM MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- TELEPHONE PULL BOX
- TRAFFIC POLE
- TRAFFIC PULL BOX
- TRANSFORMER PAD
- WATER BLOW-OFF
- WATER VALVE
- WOOD POWER POLE
- OVER HEAD WIRES
- TOP OF BANK
- TOE OF SLOPE
- WATER MAIN
- GUARDRAIL
- NON-VEHICULAR ACCESS LINE

PROPOSED LEGEND:

- DRAINAGE STRUCTURE NUMBER
- DRAINAGE STRUCTURE TYPE
- RIM ELEVATION
- GRATE ELEVATION
- INVERT ELEVATION
- PROPOSED DRAINAGE MANHOLE
- PROPOSED DRAINAGE CATCH BASIN
- PROPOSED DRAINAGE WELL
- PROPOSED FLOOR DRAIN (SEE ARCHITECTURAL PLANS)
- PROPOSED DRAINAGE CLEAN OUT (SEE ARCHITECTURAL PLANS)
- DRAINAGE FLOW DIRECTION
- PROPOSED ELEVATION
- PAVEMENT RECONSTRUCTION
- PAVEMENT MILLING AND RESURFACING (1" MILL AND 1" OVERLAY)
- STREET PAVEMENT REPLACEMENT (3-1/8" PAVERS)

NOTES:

1. LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. ALL ROOF LEADERS SHALL HAVE A MINIMUM 1% SLOPE, UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO ADJUST ALL EXISTING RIM/GRATES OF EXISTING UTILITY APPURTENANCES TO REMAIN TO MATCH PROPOSED GRADES.
- 4.
5. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE.
6. THE CROSS SLOPE ON A.D.A. ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON A.D.A. ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 12:1 (8.33%).
7. CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, AN/OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
8. VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).
9. ALL HANDICAP RAMPS SHALL BE 1:12 MAX SLOPE FOR A MAXIMUM LENGTH OF 6 FEET.
10. HANDICAP TRUNCATED DOMES SHALL EITHER BE A SPECIALTY PAVER OR CAST IN PLACE ARMOR TILE.

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).

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YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY

PREPARED FOR:
BLOCK 40, LLC.

CRAVEN · THOMPSON AND ASSOCIATES, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 35663 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
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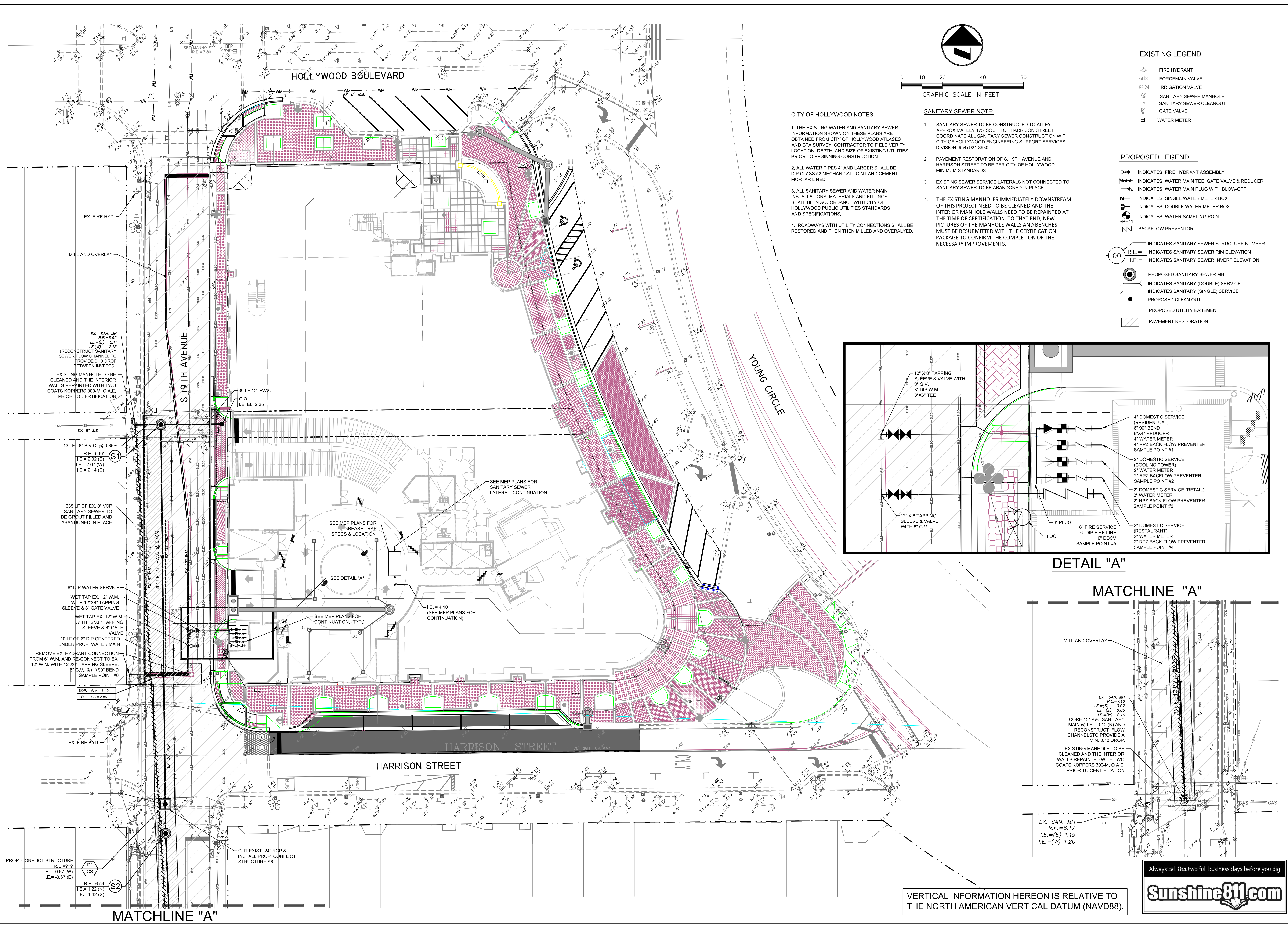
PAVING & GRADING PLAN

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016

PROJECT NO.
02-0108-002-04

C-4
 SHEET 4 OF 15

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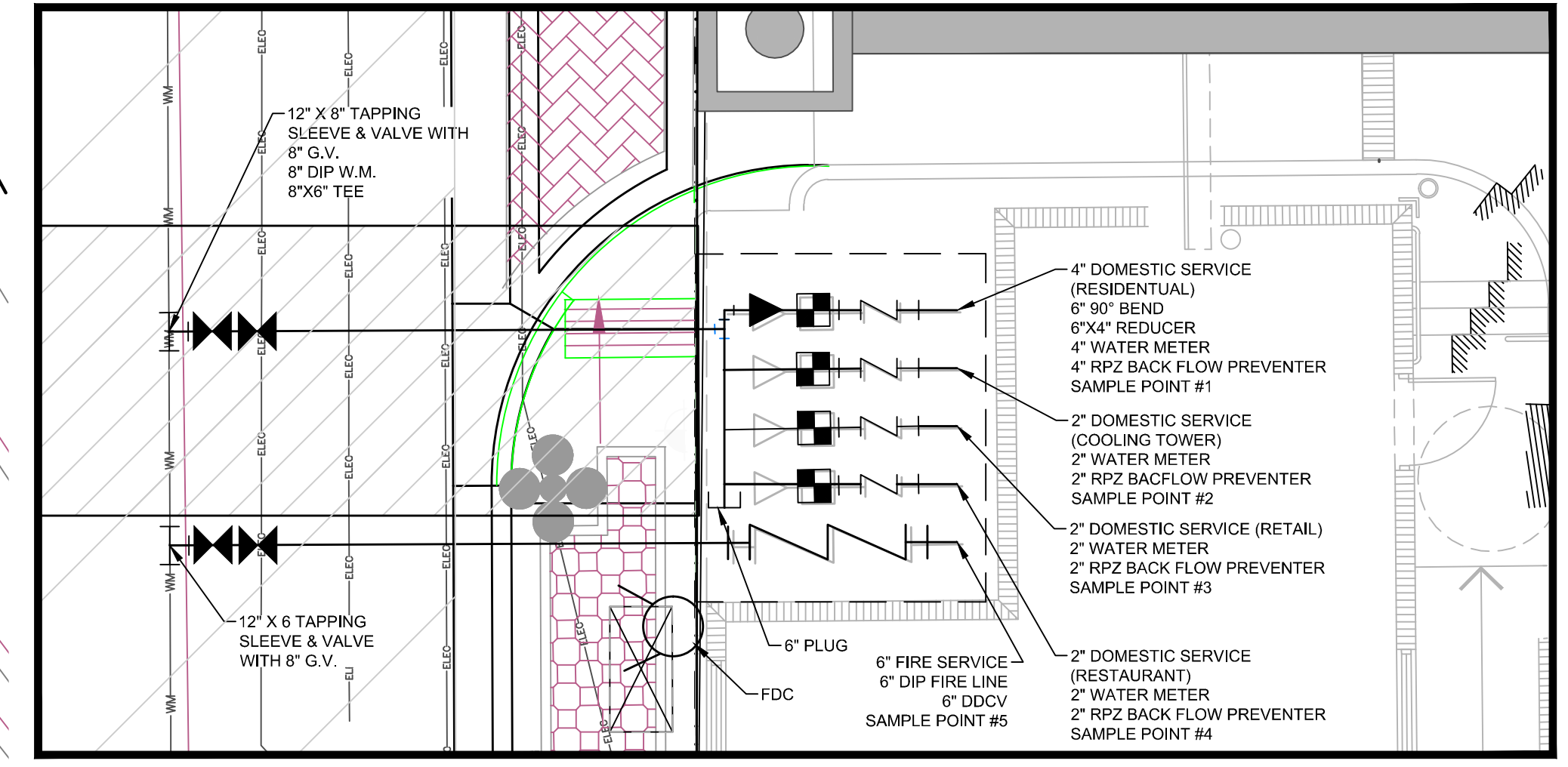


- CITY OF HOLLYWOOD NOTES:**
1. THE EXISTING WATER AND SANITARY SEWER INFORMATION SHOWN ON THESE PLANS ARE OBTAINED FROM CITY OF HOLLYWOOD ATLAS AND CTA SURVEY. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WATER PIPES 4" AND LARGER SHALL BE DIP CLASS 52 MECHANICAL JOINT AND CEMENT MORTAR LINED.
 3. ALL SANITARY SEWER AND WATER MAIN INSTALLATIONS, MATERIALS AND FITTINGS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
 4. ROADWAYS WITH UTILITY CONNECTIONS SHALL BE RESTORED AND THEN THEN MILLED AND OVERLAYED.

- SANITARY SEWER NOTE:**
1. SANITARY SEWER TO BE CONSTRUCTED TO ALLEY APPROXIMATELY 175' SOUTH OF HARRISON STREET. COORDINATE ALL SANITARY SEWER CONSTRUCTION WITH CITY OF HOLLYWOOD ENGINEERING SUPPORT SERVICES DIVISION (954) 921-3930.
 2. PAVEMENT RESTORATION OF S. 19TH AVENUE AND HARRISON STREET TO BE PER CITY OF HOLLYWOOD MINIMUM STANDARDS.
 3. EXISTING SEWER SERVICE LATERALS NOT CONNECTED TO SANITARY SEWER TO BE ABANDONED IN PLACE.
 4. THE EXISTING MANHOLES IMMEDIATELY DOWNSTREAM OF THIS PROJECT NEED TO BE CLEANED AND THE INTERIOR MANHOLE WALLS NEED TO BE REPAINTED AT THE TIME OF CERTIFICATION. TO THAT END, NEW PICTURES OF THE MANHOLE WALLS AND BENCHES MUST BE RESUBMITTED WITH THE CERTIFICATION PACKAGE TO CONFIRM THE COMPLETION OF THE NECESSARY IMPROVEMENTS.

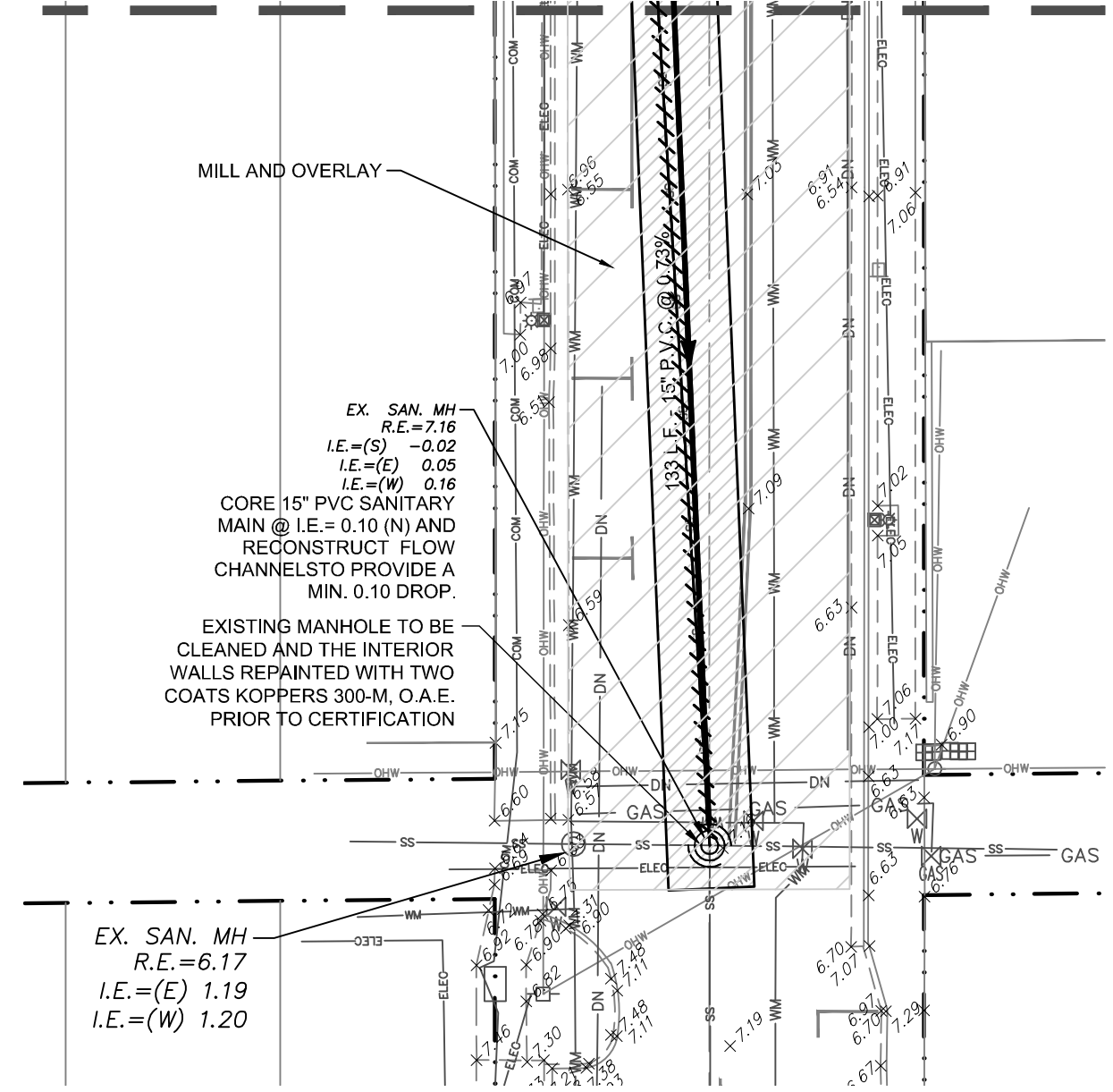
- EXISTING LEGEND**
- FIRE HYDRANT
 - ⊠ FORCEMAIN VALVE
 - ⊠ IRRIGATION VALVE
 - ⊠ SANITARY SEWER MANHOLE
 - ⊠ SANITARY SEWER CLEANOUT
 - ⊠ GATE VALVE
 - ⊠ WATER METER

- PROPOSED LEGEND**
- ⊠ INDICATES FIRE HYDRANT ASSEMBLY
 - ⊠ INDICATES WATER MAIN TEE, GATE VALVE & REDUCER
 - ⊠ INDICATES WATER MAIN PLUG WITH BLOW-OFF
 - ⊠ INDICATES SINGLE WATER METER BOX
 - ⊠ INDICATES DOUBLE WATER METER BOX
 - ⊠ INDICATES WATER SAMPLING POINT
 - ⊠ BACKFLOW PREVENTOR
 - INDICATES SANITARY SEWER STRUCTURE NUMBER
 - R.E. = INDICATES SANITARY SEWER RIM ELEVATION
 - I.E. = INDICATES SANITARY SEWER INVERT ELEVATION
 - PROPOSED SANITARY SEWER MH
 - INDICATES SANITARY (DOUBLE) SERVICE
 - INDICATES SANITARY (SINGLE) SERVICE
 - PROPOSED CLEAN OUT
 - PROPOSED UTILITY EASEMENT
 - ▨ PAVEMENT RESTORATION



DETAIL "A"

MATCHLINE "A"



VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).

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DATE:	3/18/16	AS NOTED:		DESIGN BY:	JW	SC	CE	CE
SCALE:		DESIGNED BY:		DRAWN BY:				
BY:		CHECKED BY:		DATE:				
DESCRIPTION:								

YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY

PREPARED FOR:
BLOCK 40, LLC.

WATER & SEWR PLAN

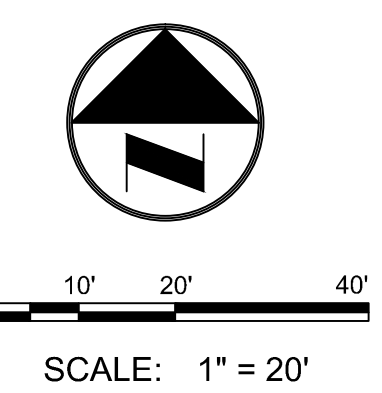
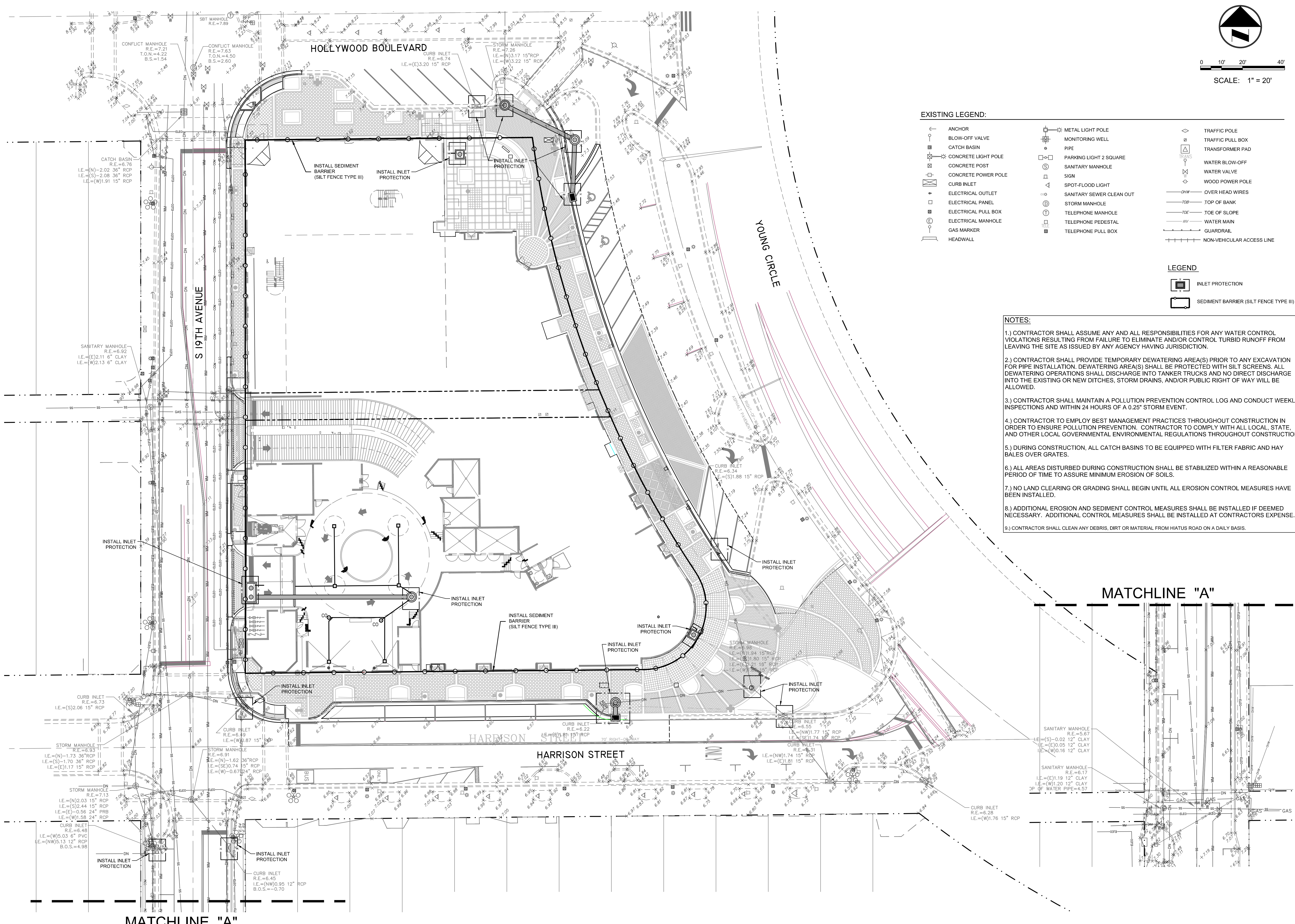
Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016

PROJECT NO.
02-0108-002-04

C-5
 SHEET 5 OF 15

CRAVEN - THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 35663 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 TEL.: (954) 739-6400
 FAX: (954) 739-6409
 FLORIDA LICENSED PROFESSIONAL ENGINEERS & SURVEYORS BUSINESS NO. 771
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
 NATIONAL SHOW DESIGN IS THE PROPERTY OF CHAD EVERETT EDWARDS & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

G:\2002\02-0108-002-04 Hollywood Circle Block 40\Drawings\02-0108-ECP.DWG [E] Sep 02, 2016 9:38am CEDWARDS



EXISTING LEGEND:

- | | | |
|---------------------|--------------------------|---------------------------|
| ANCHOR | METAL LIGHT POLE | TRAFFIC POLE |
| BLOW-OFF VALVE | MONITORING WELL | TRAFFIC PULL BOX |
| CATCH BASIN | PIPE | TRANSFORMER PAD |
| CONCRETE LIGHT POLE | PARKING LIGHT 2 SQUARE | WATER BLOW-OFF |
| CONCRETE POST | SANITARY MANHOLE | WATER VALVE |
| CONCRETE POWER POLE | SIGN | WOOD POWER POLE |
| CURB INLET | SPOT-FLOOD LIGHT | OVER HEAD WIRES |
| ELECTRICAL OUTLET | SANITARY SEWER CLEAN OUT | TOP OF BANK |
| ELECTRICAL PANEL | STORM MANHOLE | TOE OF SLOPE |
| ELECTRICAL PULL BOX | TELEPHONE MANHOLE | WATER MAIN |
| ELECTRICAL MANHOLE | TELEPHONE PEDESTAL | GUARDRAIL |
| GAS MARKER | TELEPHONE PULL BOX | NON-VEHICULAR ACCESS LINE |
| HEADWALL | | |

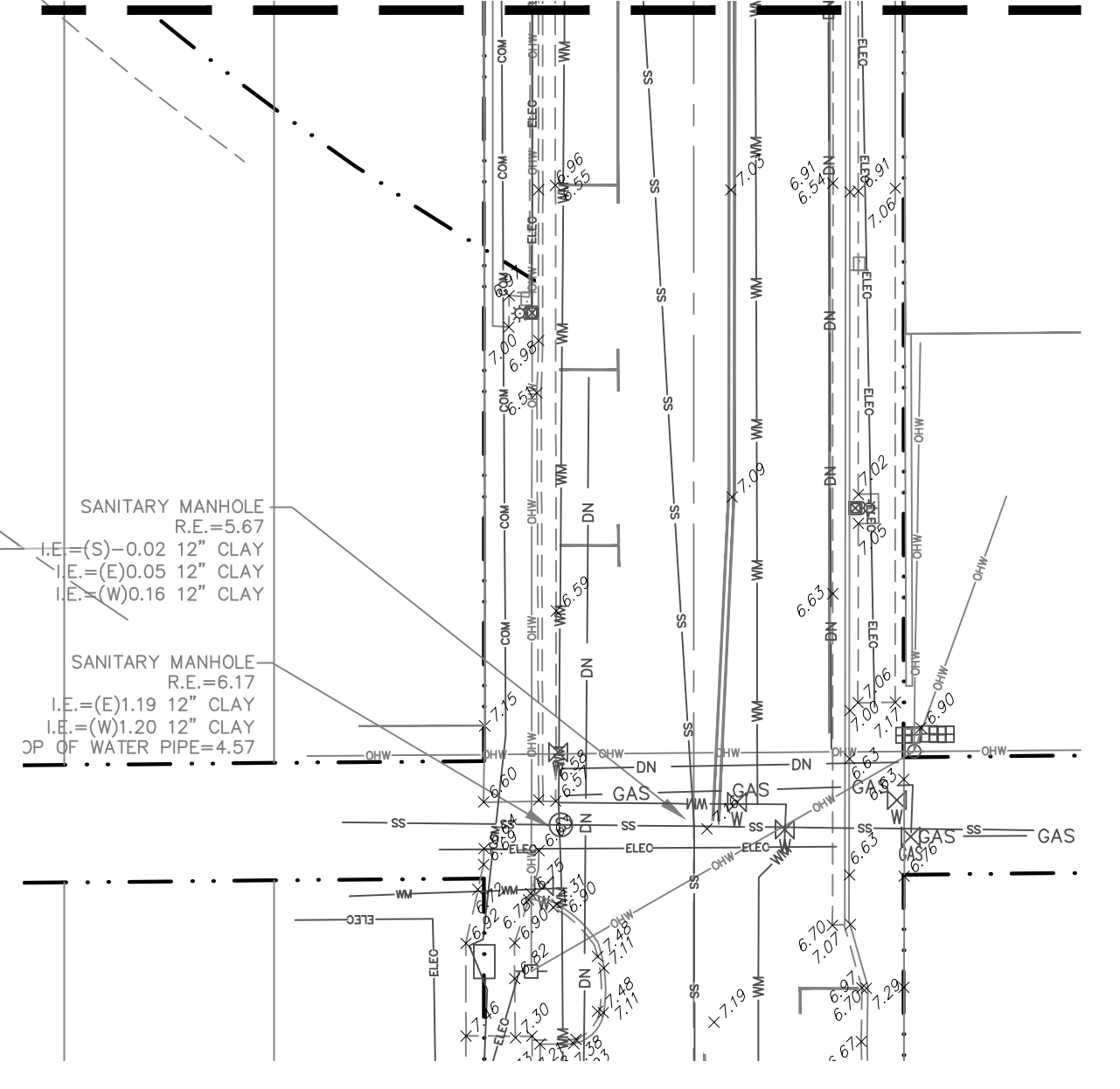
LEGEND

- INLET PROTECTION
- SEDIMENT BARRIER (SILT FENCE TYPE III)

NOTES:

- 1.) CONTRACTOR SHALL ASSUME ANY AND ALL RESPONSIBILITIES FOR ANY WATER CONTROL VIOLATIONS RESULTING FROM FAILURE TO ELIMINATE AND/OR CONTROL TURBID RUNOFF FROM LEAVING THE SITE AS ISSUED BY ANY AGENCY HAVING JURISDICTION.
- 2.) CONTRACTOR SHALL PROVIDE TEMPORARY DEWATERING AREA(S) PRIOR TO ANY EXCAVATION FOR PIPE INSTALLATION. DEWATERING AREA(S) SHALL BE PROTECTED WITH SILT SCREENS. ALL DEWATERING OPERATIONS SHALL DISCHARGE INTO TANKER TRUCKS AND NO DIRECT DISCHARGE INTO THE EXISTING OR NEW DITCHES, STORM DRAINS, AND/OR PUBLIC RIGHT OF WAY WILL BE ALLOWED.
- 3.) CONTRACTOR SHALL MAINTAIN A POLLUTION PREVENTION CONTROL LOG AND CONDUCT WEEKLY INSPECTIONS AND WITHIN 24 HOURS OF A 0.25" STORM EVENT.
- 4.) CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION IN ORDER TO ENSURE POLLUTION PREVENTION. CONTRACTOR TO COMPLY WITH ALL LOCAL, STATE, AND OTHER LOCAL GOVERNMENTAL ENVIRONMENTAL REGULATIONS THROUGHOUT CONSTRUCTION.
- 5.) DURING CONSTRUCTION, ALL CATCH BASINS TO BE EQUIPPED WITH FILTER FABRIC AND HAY BALES OVER GRATES.
- 6.) ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS.
- 7.) NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- 8.) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED AT CONTRACTORS EXPENSE.
- 9.) CONTRACTOR SHALL CLEAN ANY DEBRIS, DIRT OR MATERIAL FROM HIATUS ROAD ON A DAILY BASIS.

MATCHLINE "A"



YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY

PREPARED FOR:
BLOCK 40, LLC.

EROSION CONTROL PLAN

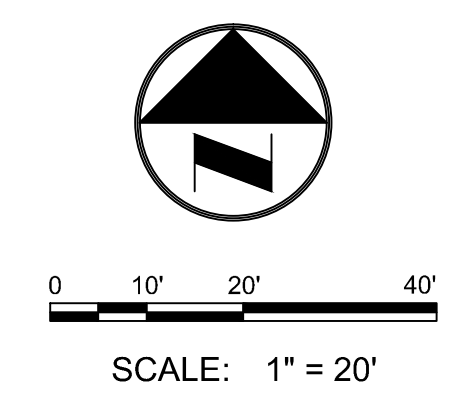
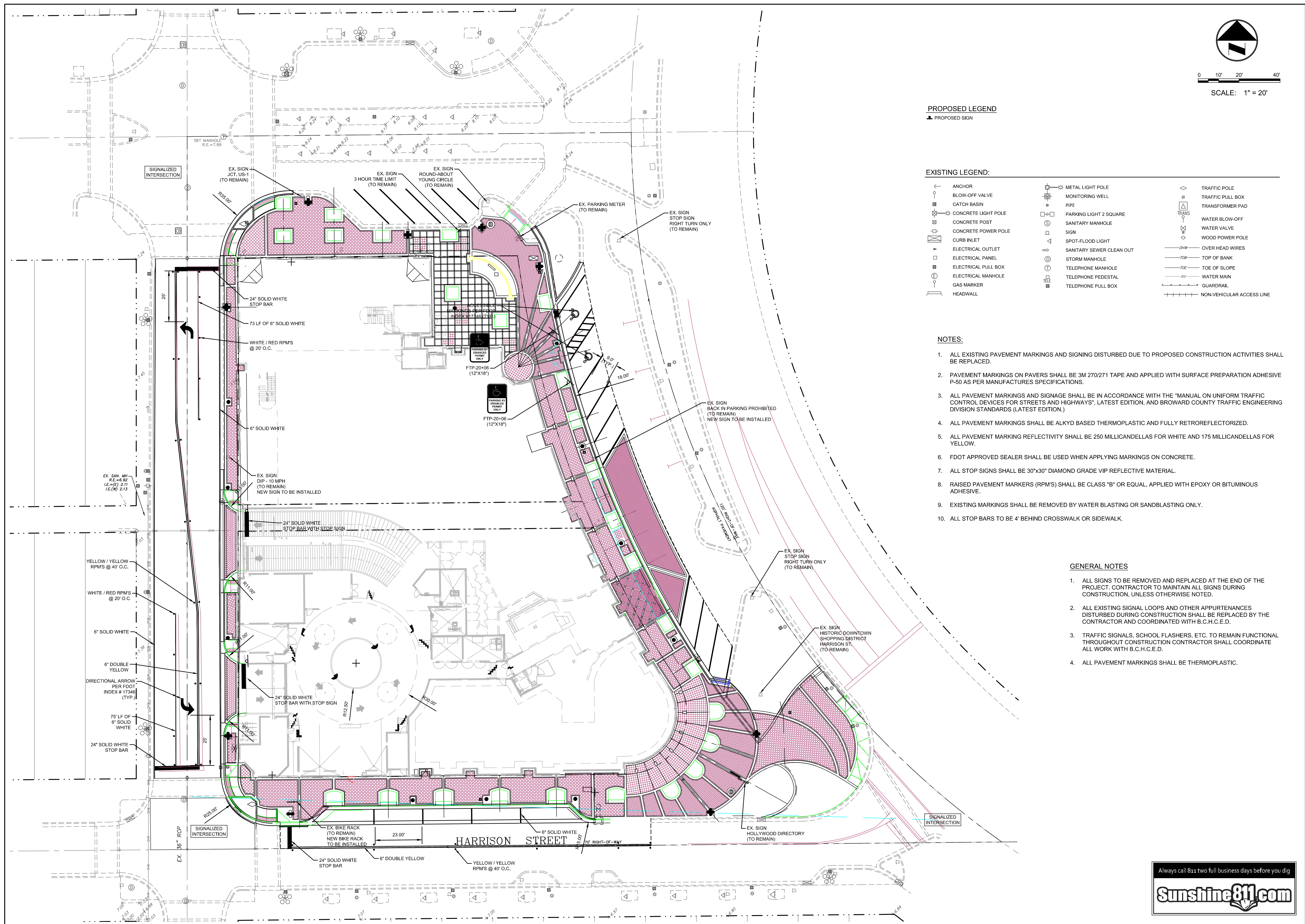
Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016

PROJECT NO.
02-0108-002-04

C-6
 SHEET 6 OF 15

DATE:	3/18/16	DESCRIPTION:	
SCALE:	AS NOTED	DATE:	
DESIGN BY:	JW	BY:	
DRAWN BY:	SC	DATE:	
CHECKED BY:	CE	DESCRIPTION:	
APPROVED BY:	CE	DATE:	

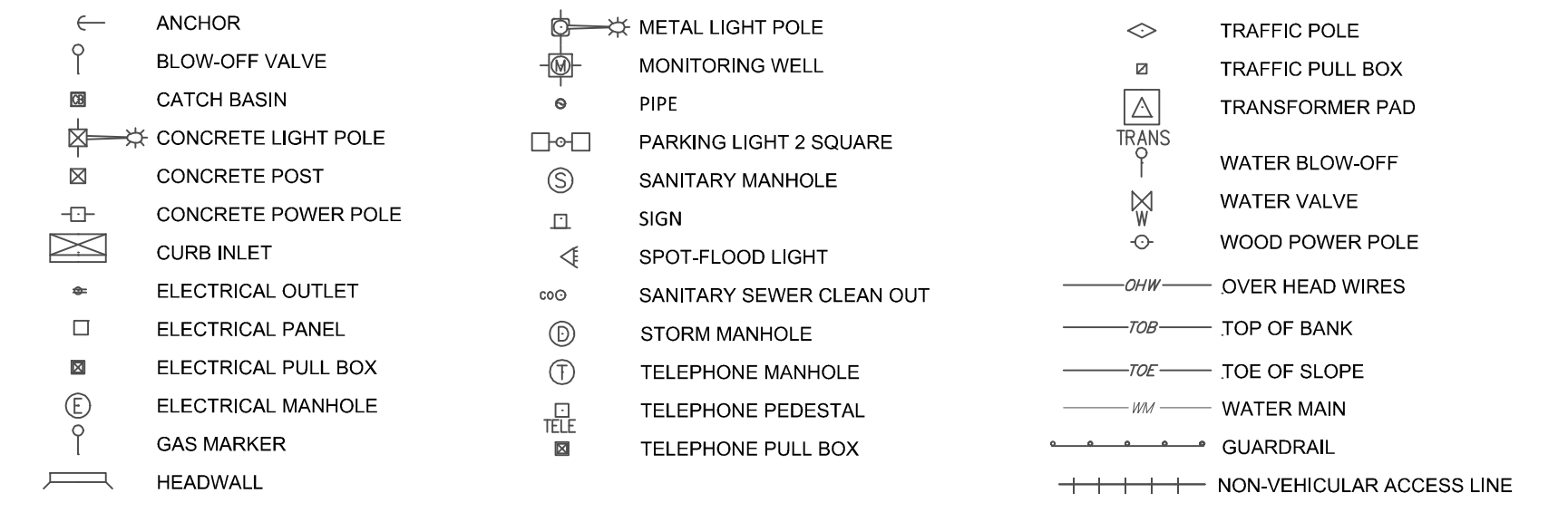
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PROPOSED LEGEND

▲ PROPOSED SIGN

EXISTING LEGEND:



NOTES:

1. ALL EXISTING PAVEMENT MARKINGS AND SIGNING DISTURBED DUE TO PROPOSED CONSTRUCTION ACTIVITIES SHALL BE REPLACED.
2. PAVEMENT MARKINGS ON PAVERS SHALL BE 3M 270/271 TAPE AND APPLIED WITH SURFACE PREPARATION ADHESIVE P-50 AS PER MANUFACTURES SPECIFICATIONS.
3. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", LATEST EDITION, AND BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS (LATEST EDITION.)
4. ALL PAVEMENT MARKINGS SHALL BE ALKYD BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
5. ALL PAVEMENT MARKING REFLECTIVITY SHALL BE 250 MILLICANDELLAS FOR WHITE AND 175 MILLICANDELLAS FOR YELLOW.
6. FDOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
7. ALL STOP SIGNS SHALL BE 30"x30" DIAMOND GRADE VIP REFLECTIVE MATERIAL.
8. RAISED PAVEMENT MARKERS (RPM'S) SHALL BE CLASS "B" OR EQUAL, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
9. EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SANDBLASTING ONLY.
10. ALL STOP BARS TO BE 4' BEHIND CROSSWALK OR SIDEWALK.

GENERAL NOTES

1. ALL SIGNS TO BE REMOVED AND REPLACED AT THE END OF THE PROJECT. CONTRACTOR TO MAINTAIN ALL SIGNS DURING CONSTRUCTION, UNLESS OTHERWISE NOTED.
2. ALL EXISTING SIGNAL LOOPS AND OTHER APPURTENANCES DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AND COORDINATED WITH B.C.H.C.E.D.
3. TRAFFIC SIGNALS, SCHOOL FLASHERS, ETC. TO REMAIN FUNCTIONAL THROUGHOUT CONSTRUCTION CONTRACTOR SHALL COORDINATE ALL WORK WITH B.C.H.C.E.D.
4. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

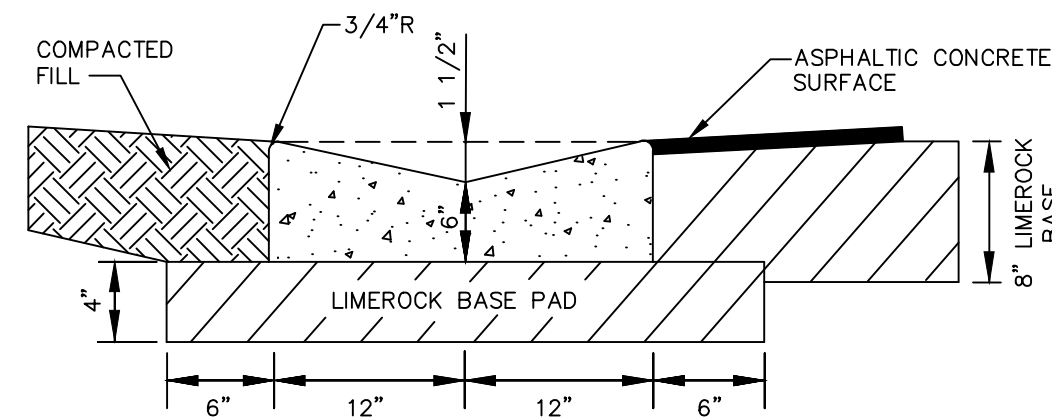
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SCALE:	AS NOTED
DESIGN BY:	JW
DRAWN BY:	SC
CHECKED BY:	CE
APPROVED BY:	CE

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YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY
 PREPARED FOR:
BLOCK 40, LLC.
PAVEMENT MARKING & SIGNAGE

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016
 PROJECT NO.
02-0108-002-04
C-7
 SHEET 7 OF 15

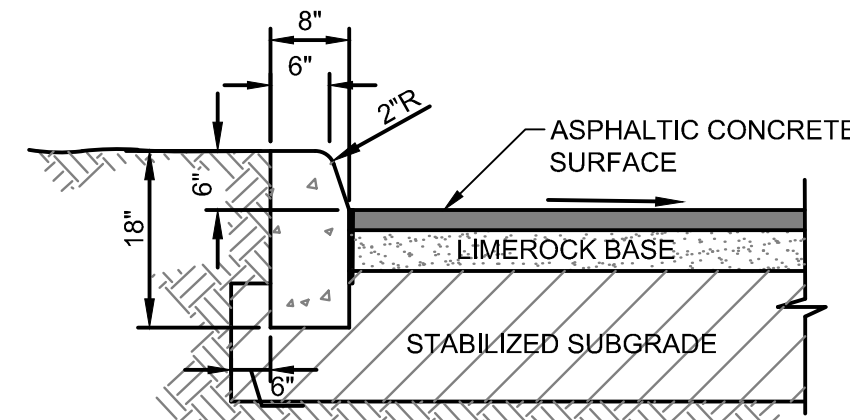




REFER TO FDOT INDEX 300 FOR NOTES AND DETAILS

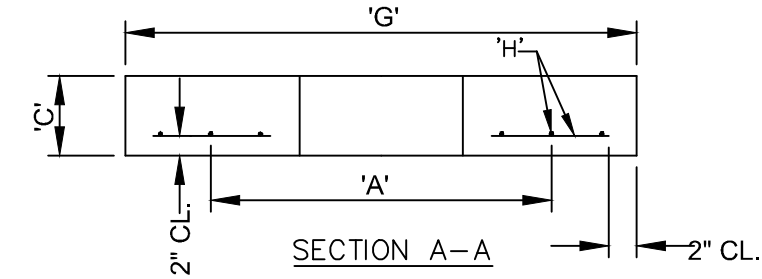
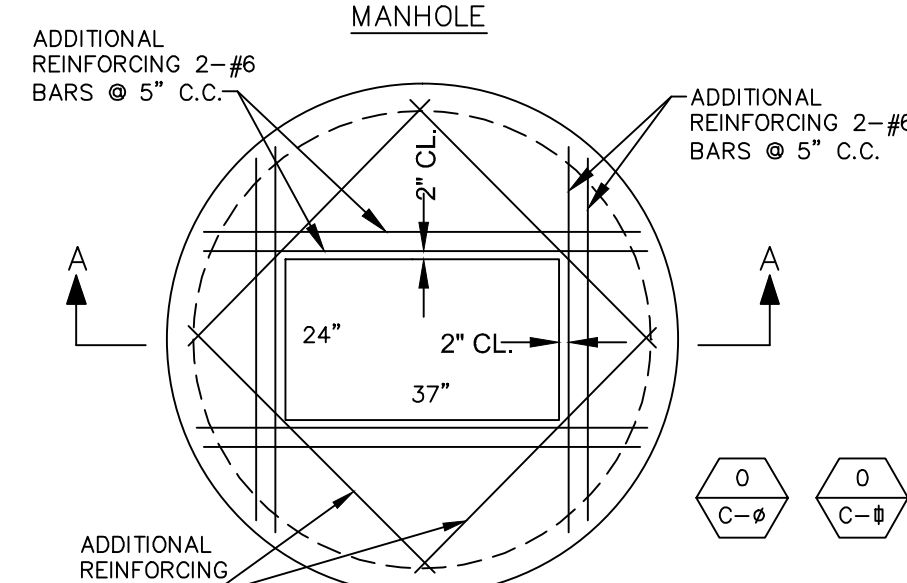
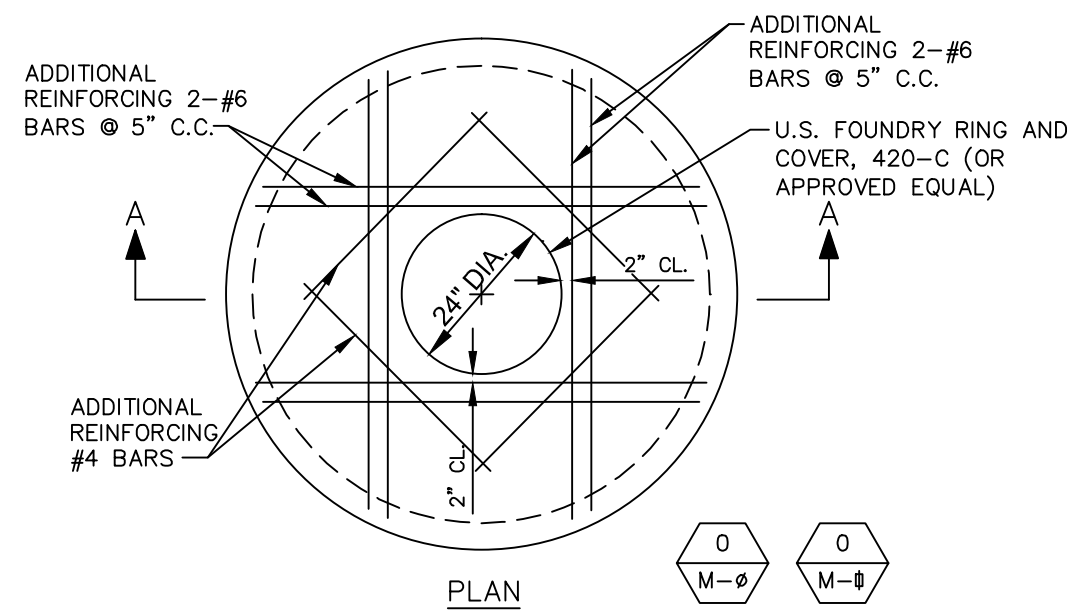
VALLEY GUTTER

SCALE: N.T.S.



FDOT TYPE "D" CONCRETE CURB

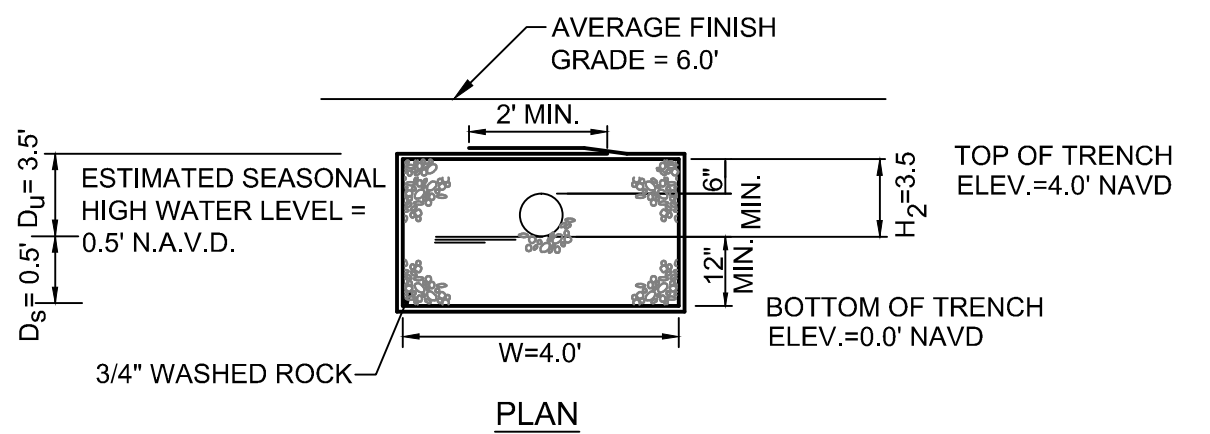
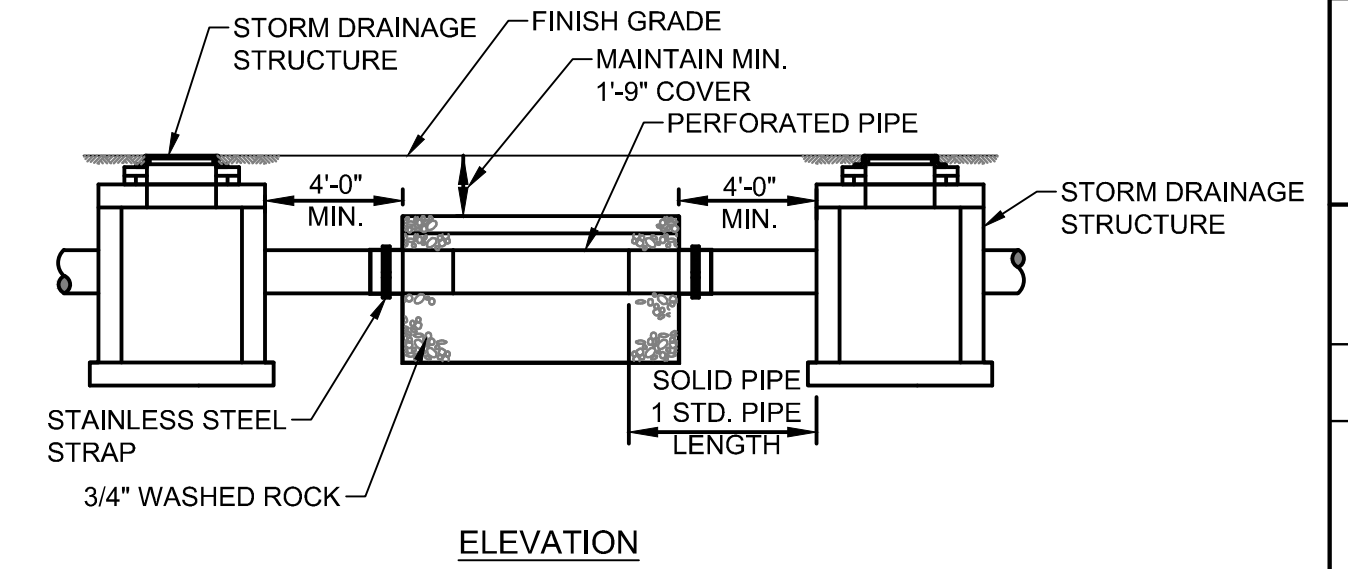
SCALE: N.T.S.



"A"	"C"	"B"	"D"
3'-6"	8"	4'-6"	# 4 @ 6" C.C.E.W.
4'-0"	8"	5'-4"	# 4 @ 6" C.C.E.W.
5'-0"	8"	6'-4"	# 4 @ 6" C.C.E.W.
6'-0"	10"	7'-4"	# 5 @ 6" C.C.E.W.
7'-0"	10"	8'-4"	# 5 @ 6" C.C.E.W.
8'-0"	10"	9'-8"	# 5 @ 6" C.C.E.W.
10'-0"	12"	11'-8"	# 6 @ 5" C.C.E.W.

PRECAST CONCRETE - TOP SLAB

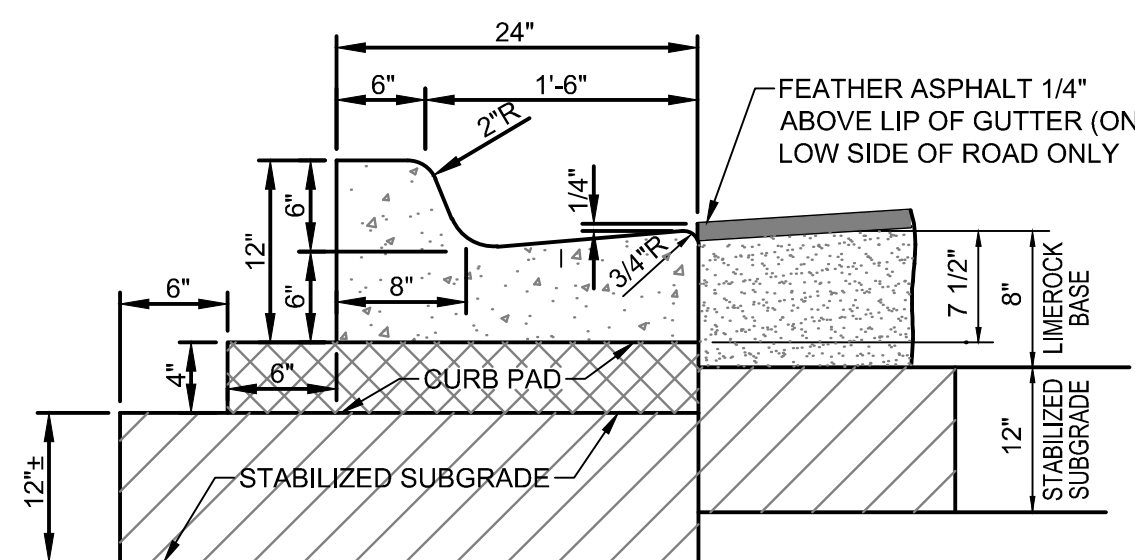
SCALE: N.T.S.



- NOTES:
- PIPES SHALL CONNECT TO ADDITIONAL CATCH BASINS AS REQUIRED.
 - BALLAST ROCK SHALL BE FROM FRESH WATER WASHED FREE OF DELETERIOUS MATTER.
 - TRENCH TO BE LINED WITH AMOCO PROPEX 4545 OR APPROVED EQUIVALENT TYPE FILTER FABRIC. OVERLAP TRENCH LINING MATERIAL A MINIMUM OF 2' AT TOP OF TRENCH. CLOSE ENDS AND STRAP AROUND PIPE. 4. BIO-BARRIER SHALL BE INSTALLED ADJACENT TO EXFILTRATION TRENCH WHEN EXISTING OR PROPOSED TREES ARE LOCATED WITHIN 10.0' OF CENTERLINE OF PIPE. INSTALLATION OF BIO-BARRIER SHALL BE IN ACCORDANCE WITH BIO-BARRIER DETAIL (SEE LANDSCAPE DRAWING DETAILS).

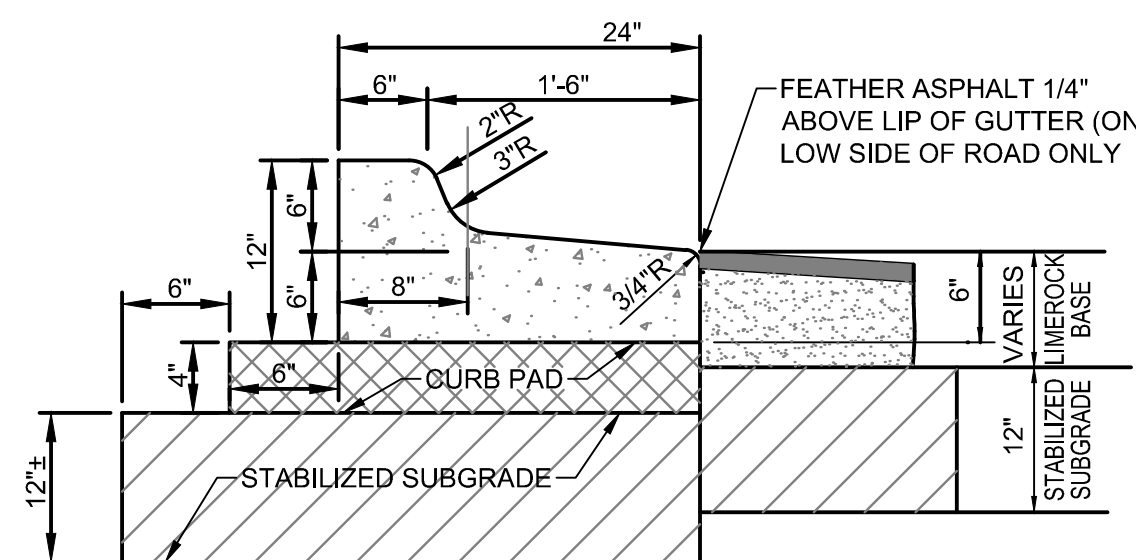
EXFILTRATION TRENCH DETAIL

SCALE: N.T.S.



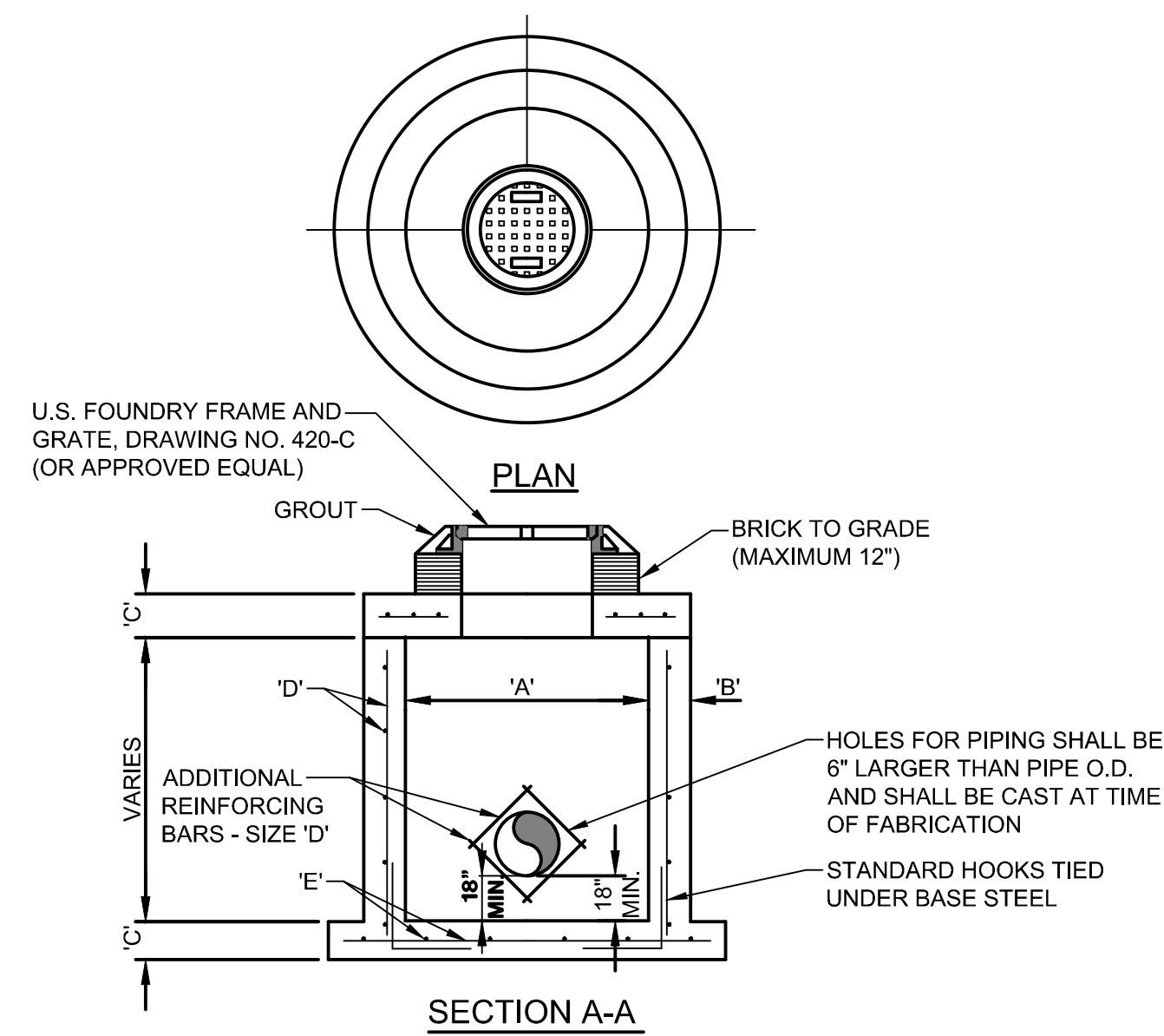
LOW SIDE TYPE "F" CURB & GUTTER

SCALE: N.T.S.



HIGH SIDE TYPE "F" CURB & GUTTER

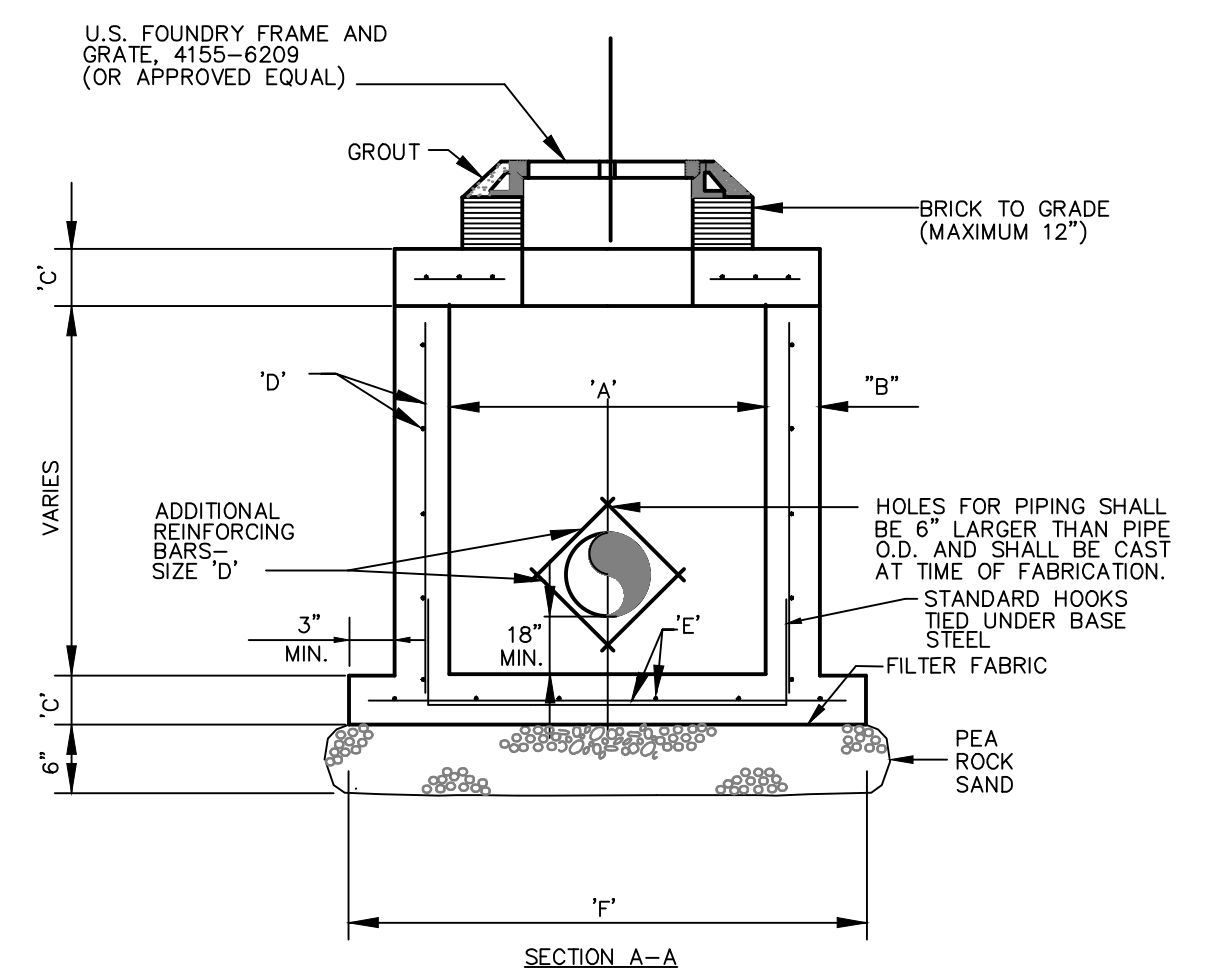
SCALE: N.T.S.



TYPE	"A"	"B"	"C"	"D"	"E"	"F"
M-4	4'-0" Ø	8"	8"	# 4 @ 12" C.C.E.W.	# 4 @ 12" C.C.E.W.	6'-4" Ø
M-5	5'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 12" C.C.E.W.	7'-4" Ø
M-6	6'-0" Ø	8"	10"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	8'-4" Ø
M-7	7'-0" Ø	8"	10"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	9'-4" Ø
M-8	8'-0" Ø	10"	10"	2-W.W.M. w/ # 4 @ 12" C.C. VERT.	# 5 @ 6" C.C.E.W.	10'-8" Ø

PRECAST DRAINAGE MANHOLE

SCALE: N.T.S.



TYPE	"A"	"B"	"C"	"D"	"E"	"F"
C-4	4'-0" Ø	8"	8"	# 4 @ 12" C.C.E.W.	# 4 @ 12" C.C.E.W.	6'-4" Ø
C-5	5'-0" Ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 12" C.C.E.W.	7'-4" Ø
C-6	6'-0" Ø	8"	10"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	8'-4" Ø
C-7	7'-0" Ø	8"	10"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	9'-4" Ø
C-8	8'-0" Ø	10"	10"	2-W.W.M. w/ # 4 @ 12" C.C. VERT.	# 5 @ 6" C.C.E.W.	10'-8" Ø

PRECAST CONCRETE DRAINAGE

SCALE: N.T.S.

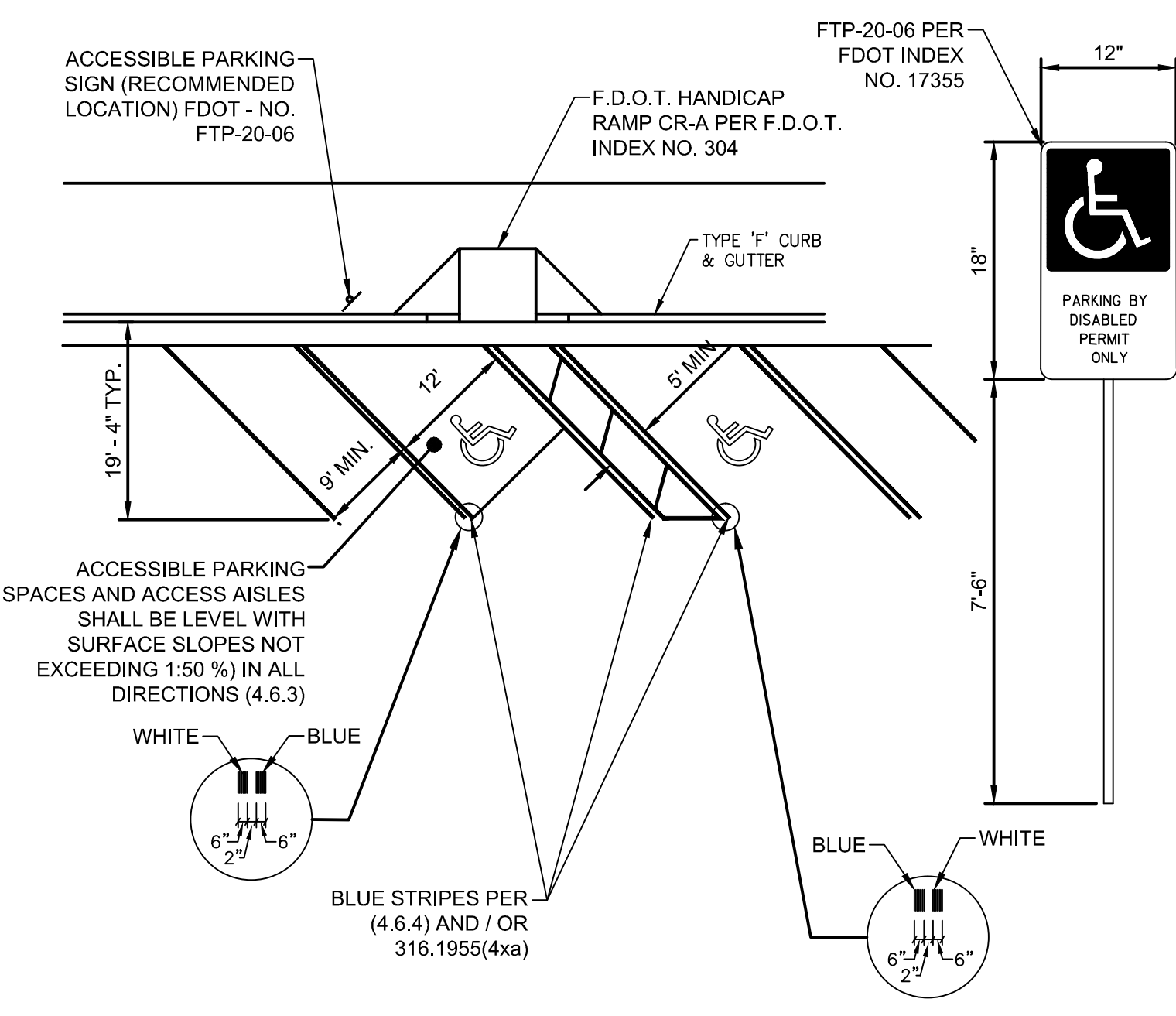
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 FAX: (954) 739-6409 TEL: (954) 739-6400
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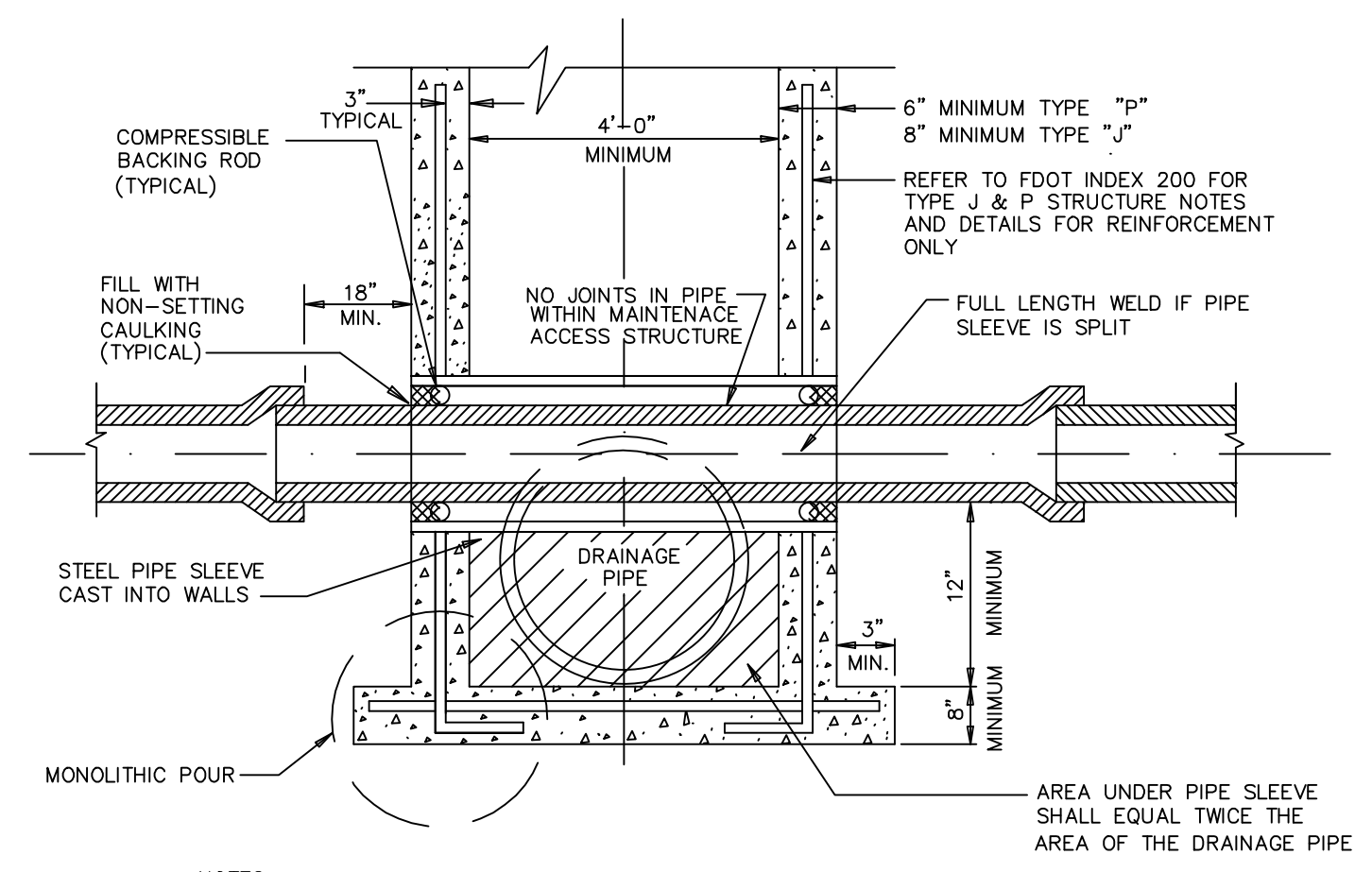
YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY
 PREPARED FOR:
BLOCK 40, LLC.

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016
 PROJECT NO.
02-0108-002-04
C-8
 SHEET 8 OF 15

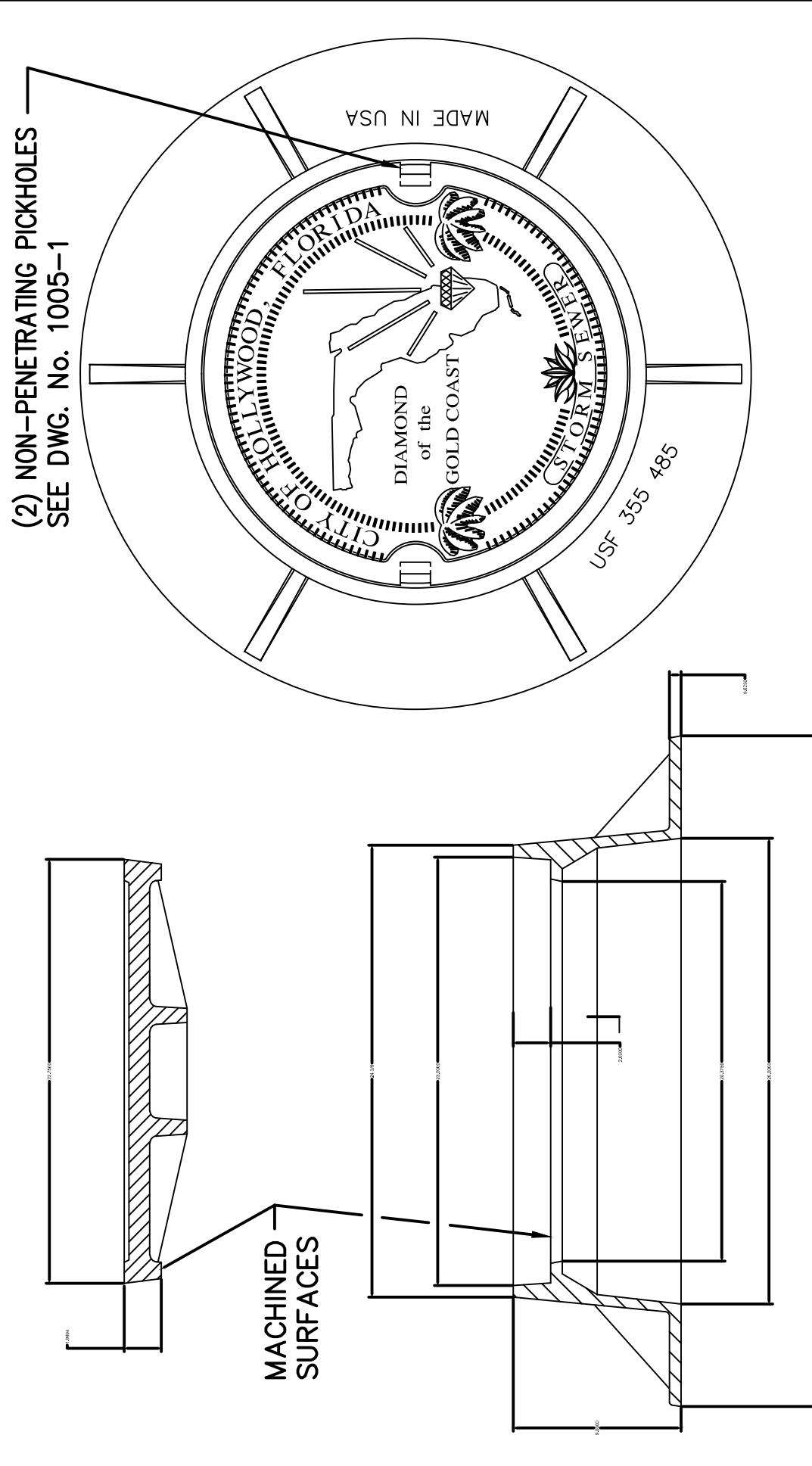
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ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS
SCALE: N.T.S.



CONFLICT MAINTENANCE ACCESS STRUCTURE
SCALE: N.T.S.



STREET PAVER DETAIL
SCALE: N.T.S.

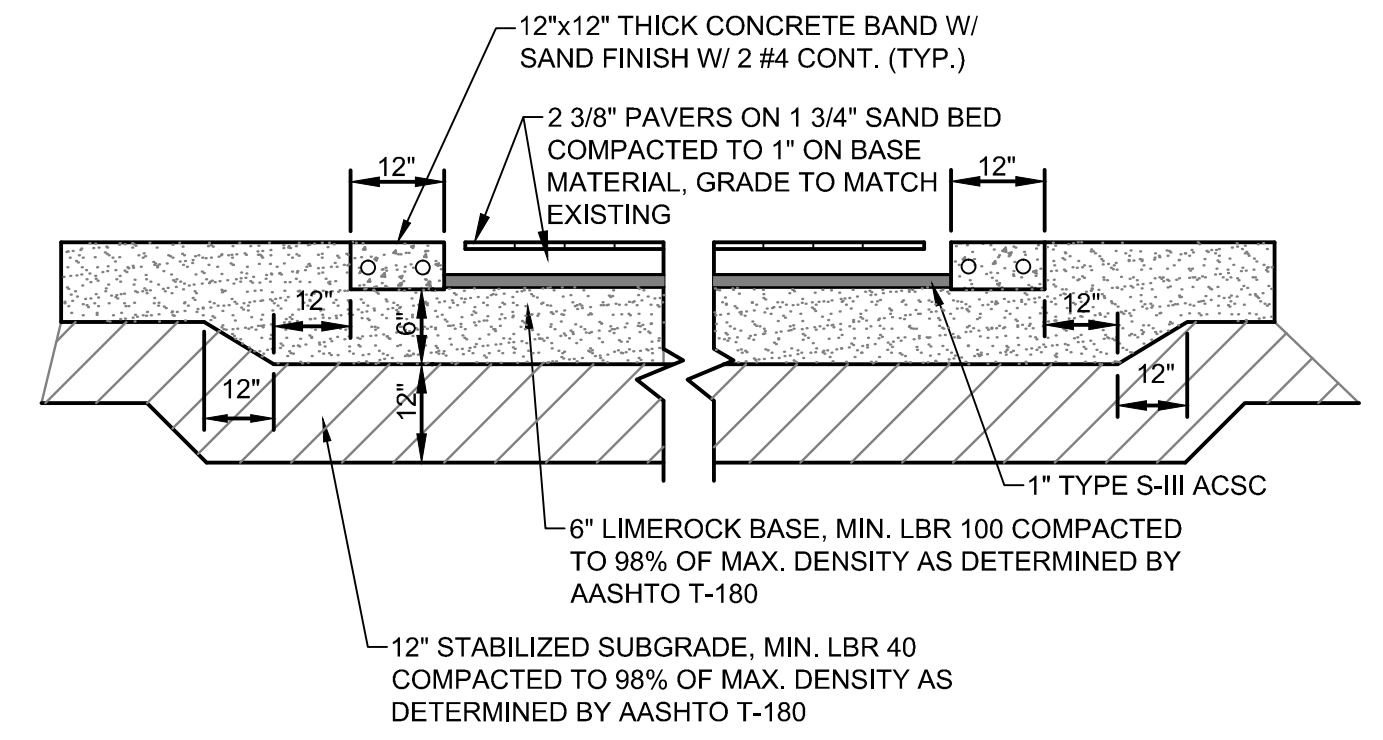
U.S. FOUNDRY & MFG. CORP.
MEDLEY, FLORIDA

USF 485 RING & EL COVER

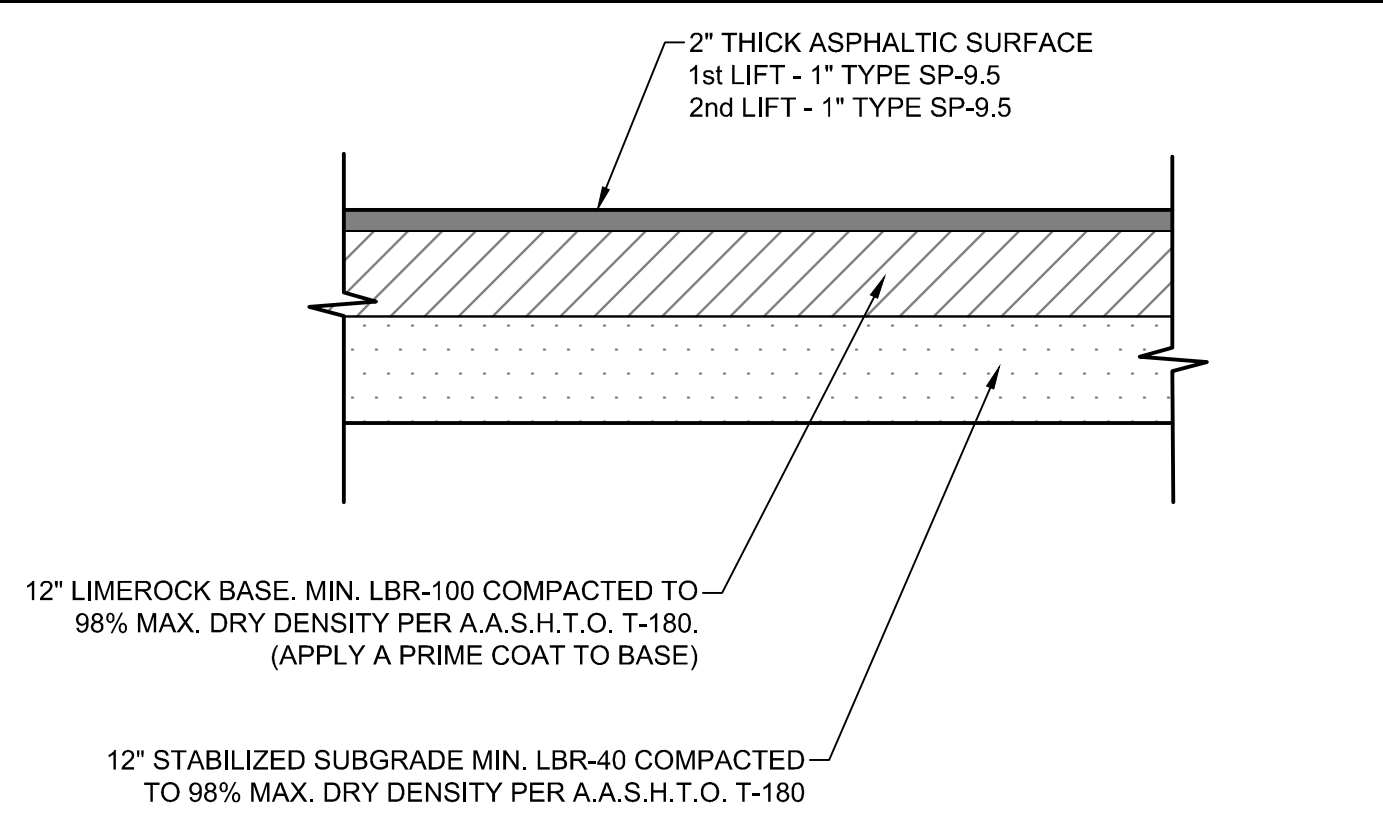
DATE: 5/20/98
SCALE: 1/8" = 1"
DWG. NO. A4102

DESCRIPTION: USF 485 RING & EL COVER

REQUIREMENTS: 1. MATERIAL: ASTM-A48 CLASS 30B GRAY IRON.
2. RING WEIGHT: 240 LBS. APP.
3. COVER WEIGHT: 155 LBS. APP.
4. COVER USES USF 'A' DRAG



SIDEWALK PAVER DETAIL
SCALE: N.T.S.



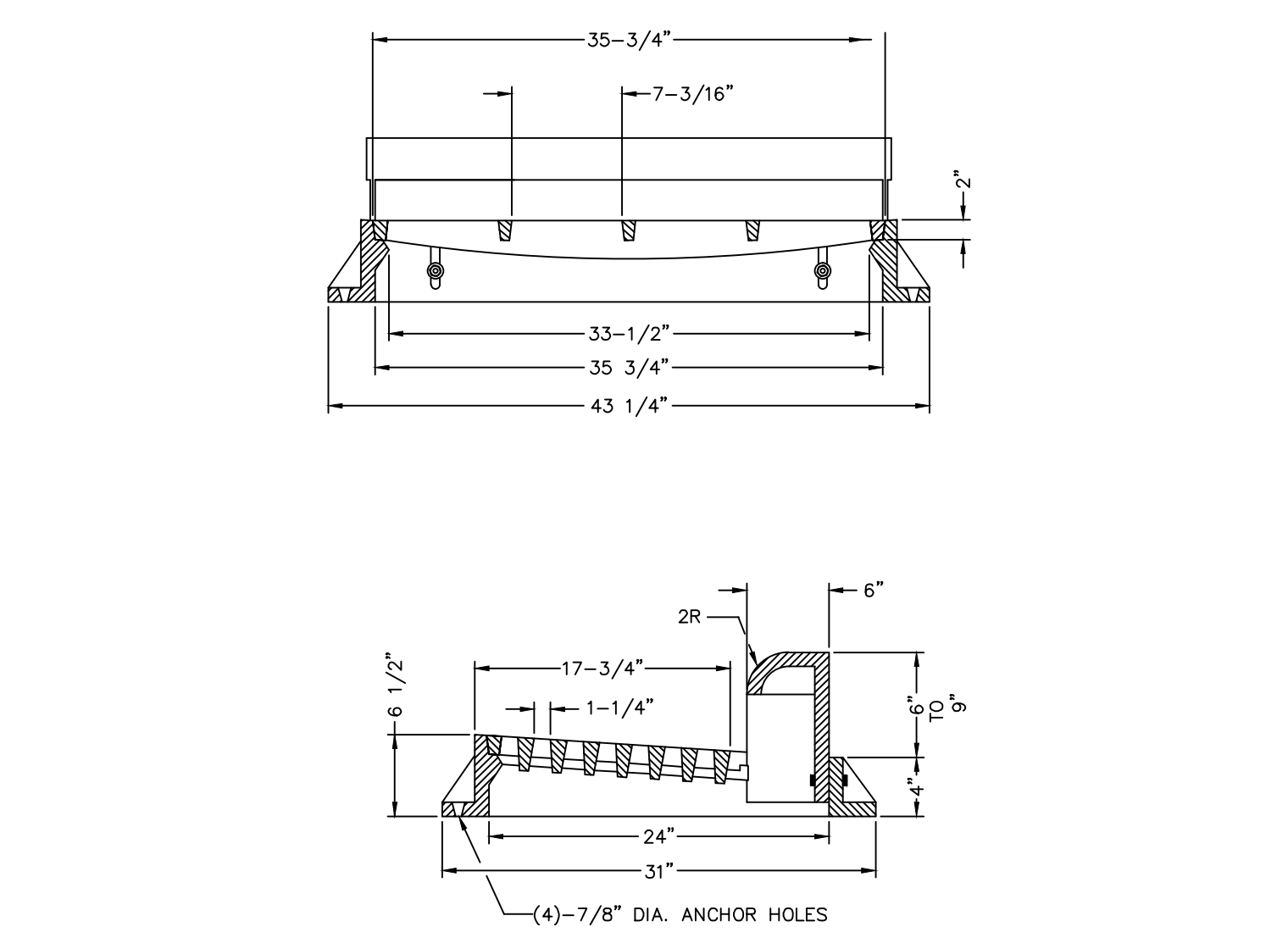
TYPICAL PAVEMENT SECTION
SCALE: N.T.S.

DATE:	3/18/16
SCALE:	AS NOTED
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DRAWN BY:	SC
CHECKED BY:	CE
APPROVED BY:	CE

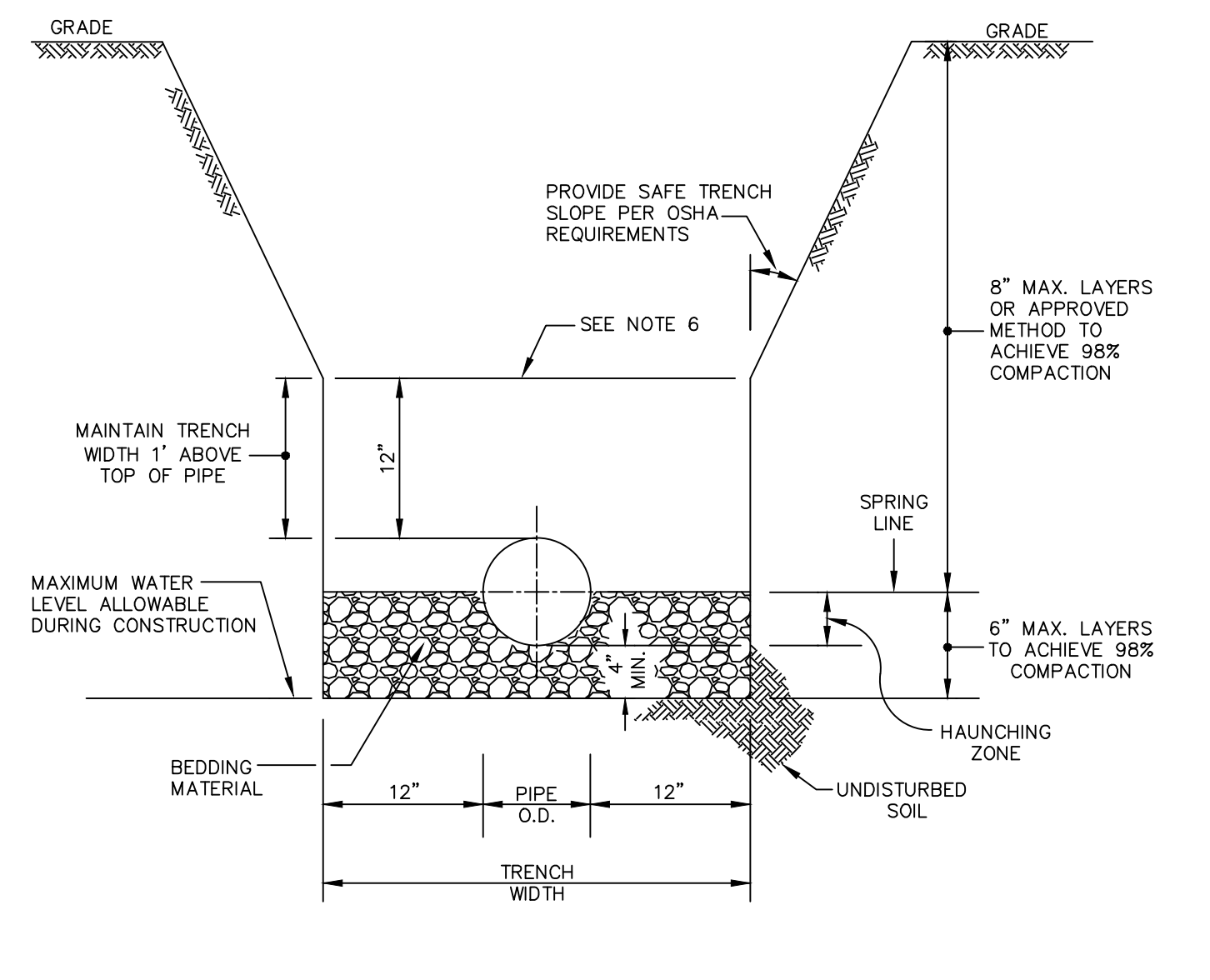
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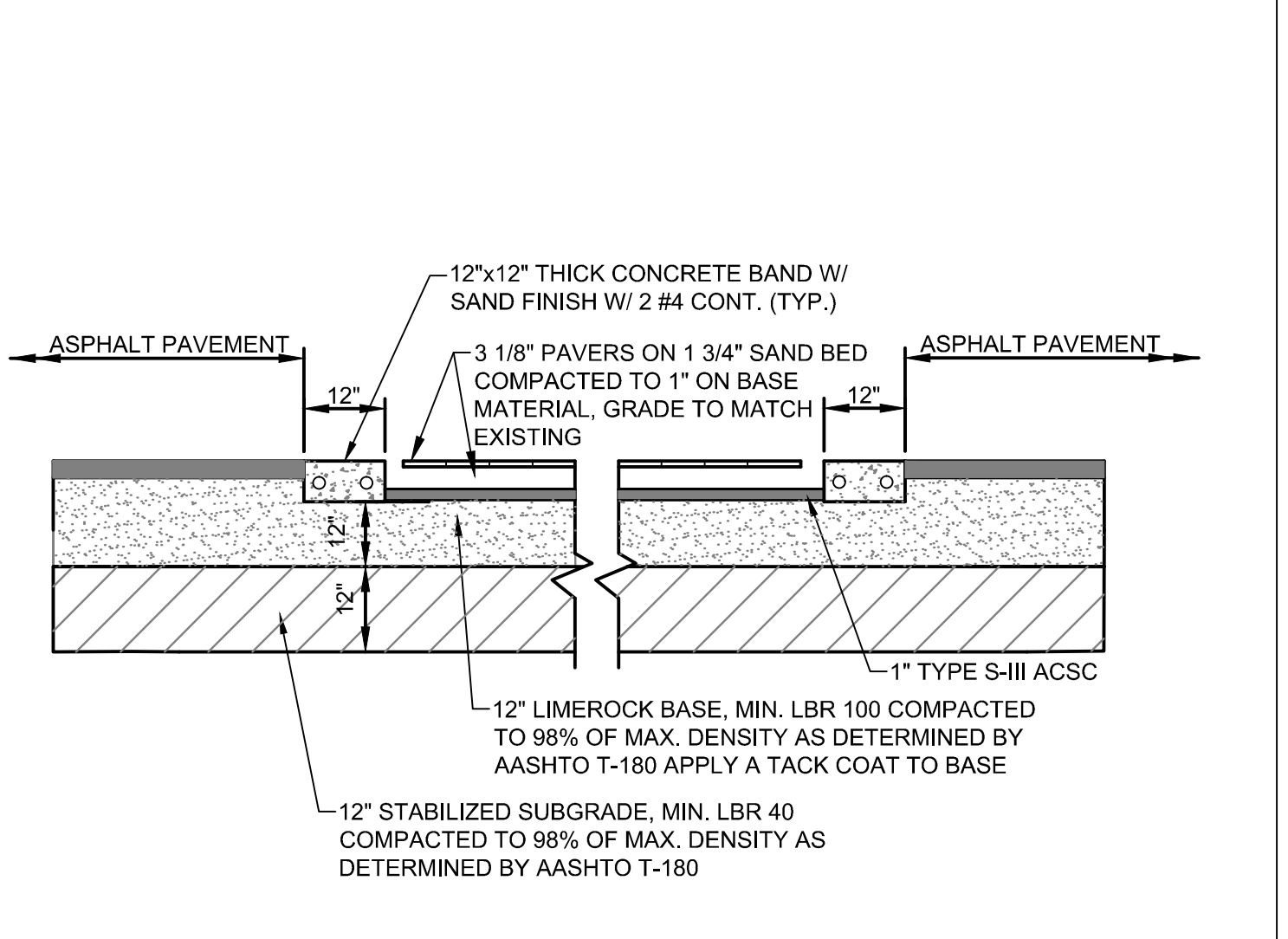
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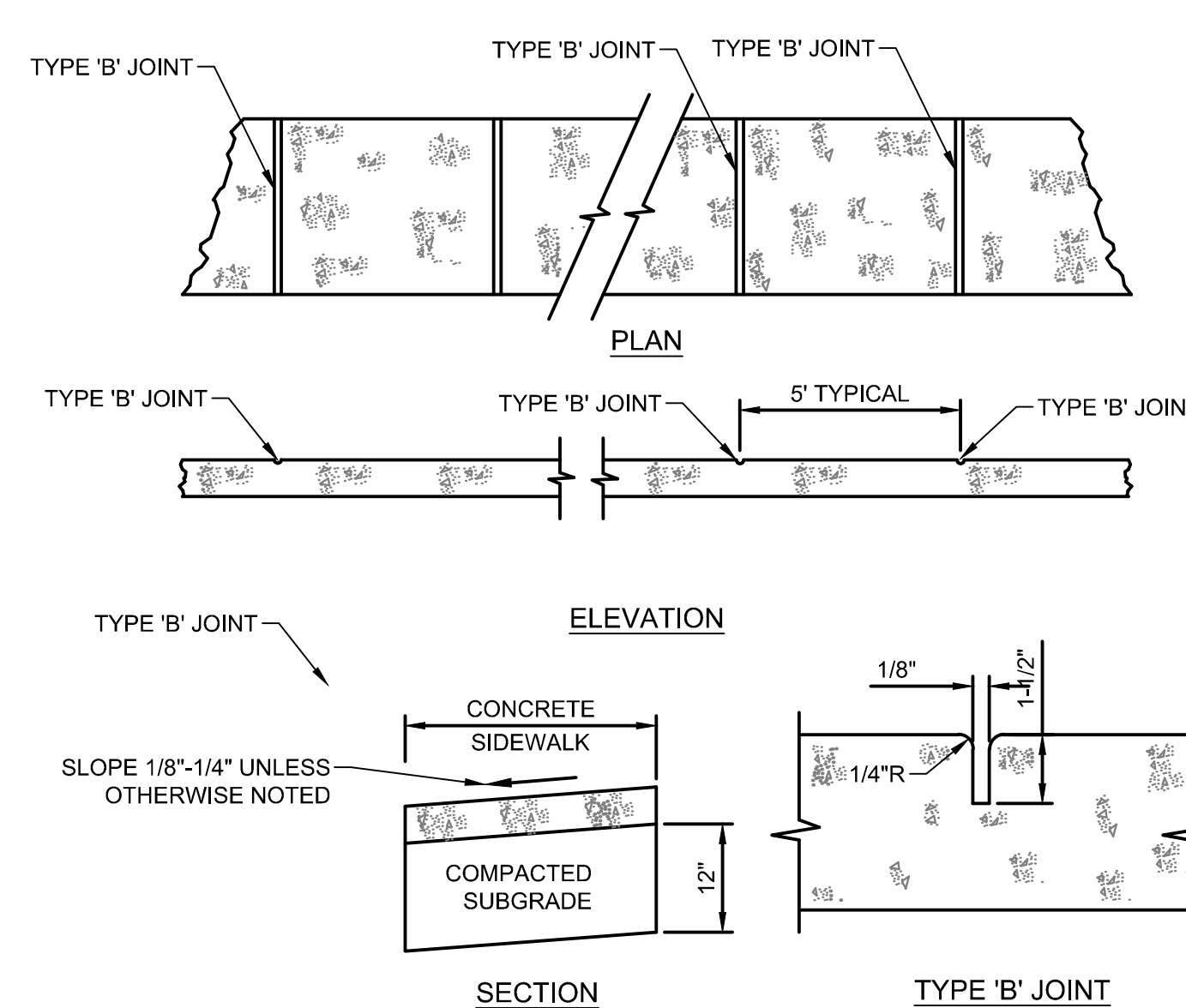
USF 5130 CURB & GUTTER INLET FRAME, HOOD AND GRATE SERIES
SCALE: N.T.S.



TRENCH DETAIL
SCALE: N.T.S.



STREET PAVER DETAIL
SCALE: N.T.S.



- NOTES:**
- SIDEWALK SHALL BE 4" THICK EXCEPT IN DRIVEWAYS AND BROWARD COUNTY R/W WHERE THE THICKNESS SHALL BE 6".
 - SUBGRADE BELOW SIDEWALK SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-180.
 - CONCRETE STRENGTH SHALL BE MIN. 3000 PSI @ 28 DAYS.

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'B'	5 FEET CENTER TO CENTER ON SIDEWALKS.

SIDEWALK DETAILS
SCALE: N.T.S.

YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY

PREPARED FOR:
BLOCK 40, LLC.

PAVING & GRADING DETAILS

Chad Everett Edwards
Florida P.E. No. 59306
September 2, 2016

PROJECT NO.
02-0108-002-04

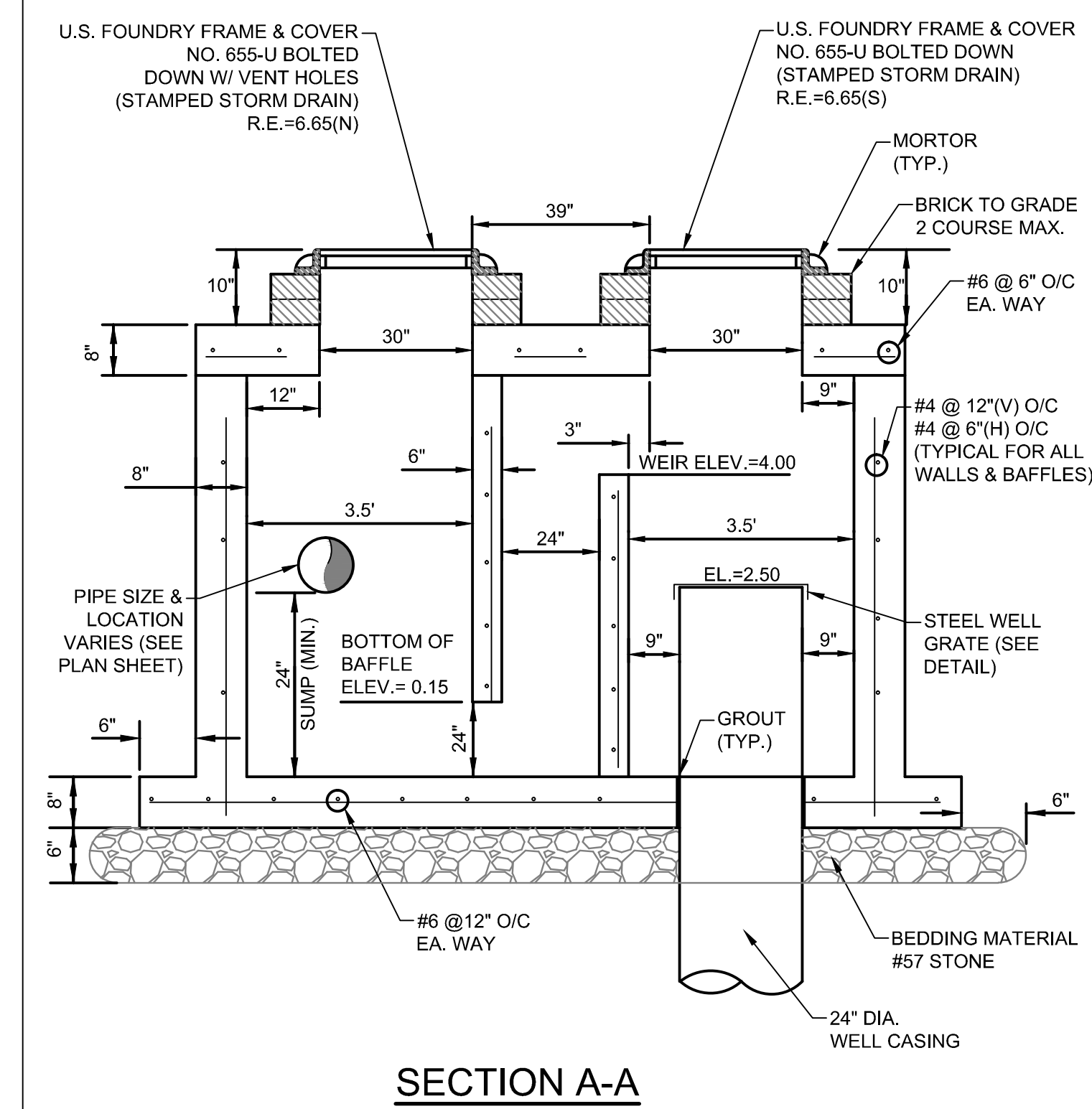
C-9
SHEET 9 OF 15

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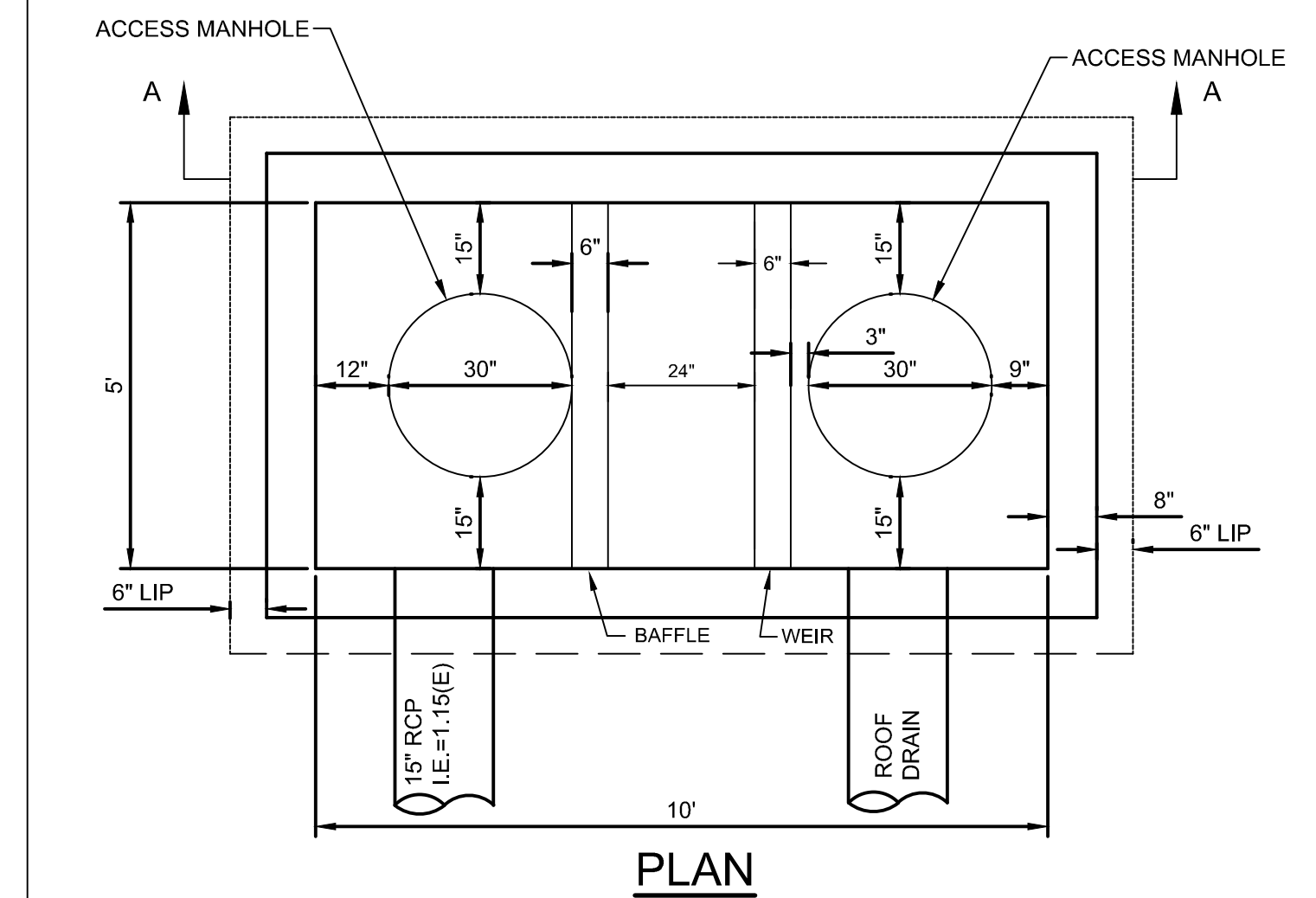
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YOUNG CIRCLE COMMONS - BLOCK 40
 CITY OF HOLLYWOOD
 BROWARD COUNTY
 PREPARED FOR:
 BLOCK 40, LLC.
 PAVING & GRADING DETAILS

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016
 PROJECT NO.
 02-0108-002-04
 C-10
 SHEET 10 OF 15



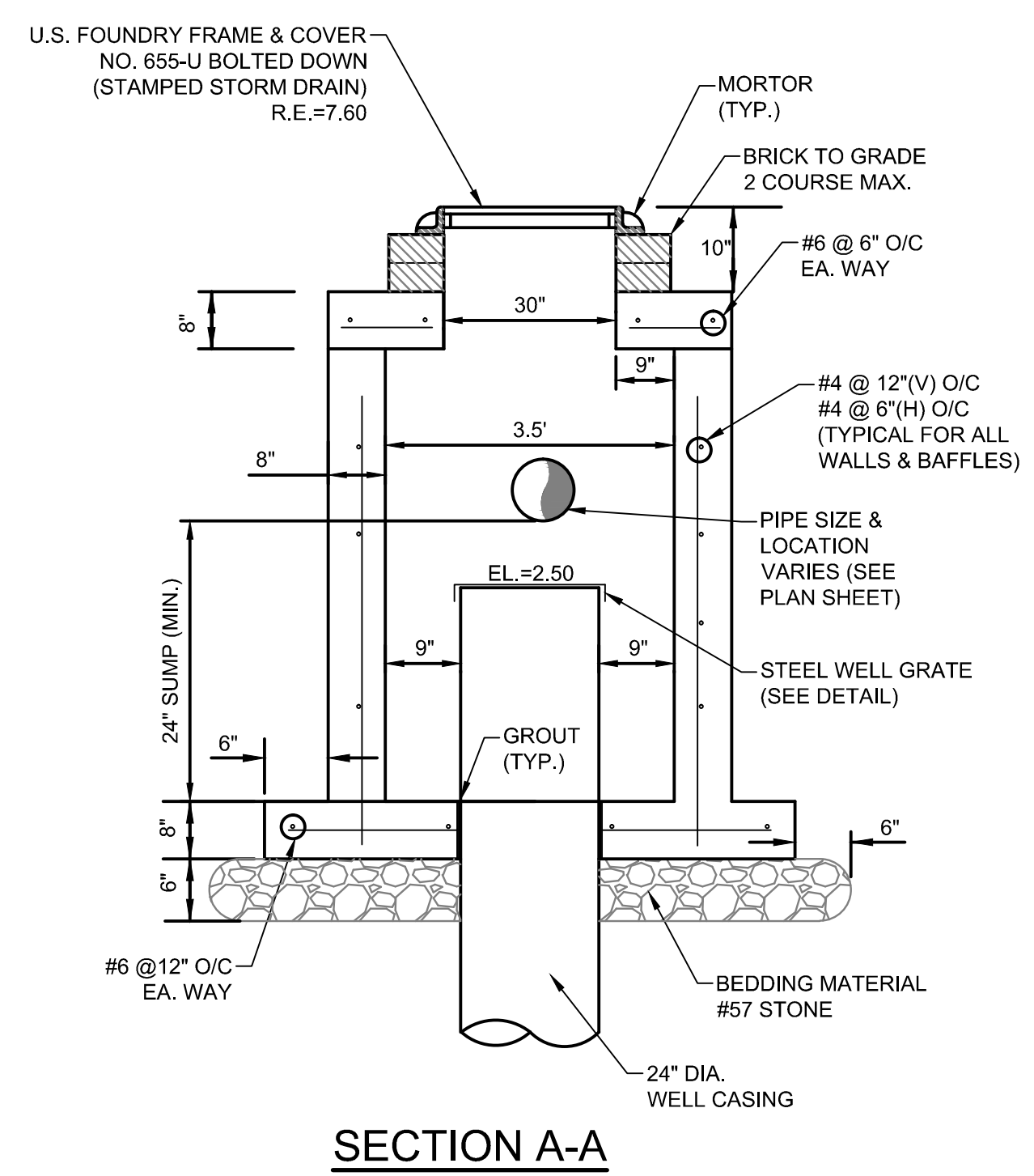
SECTION A-A
 SEE PLAN VIEW SHEET FOR STRUCTURE AND WELL ORIENTATION



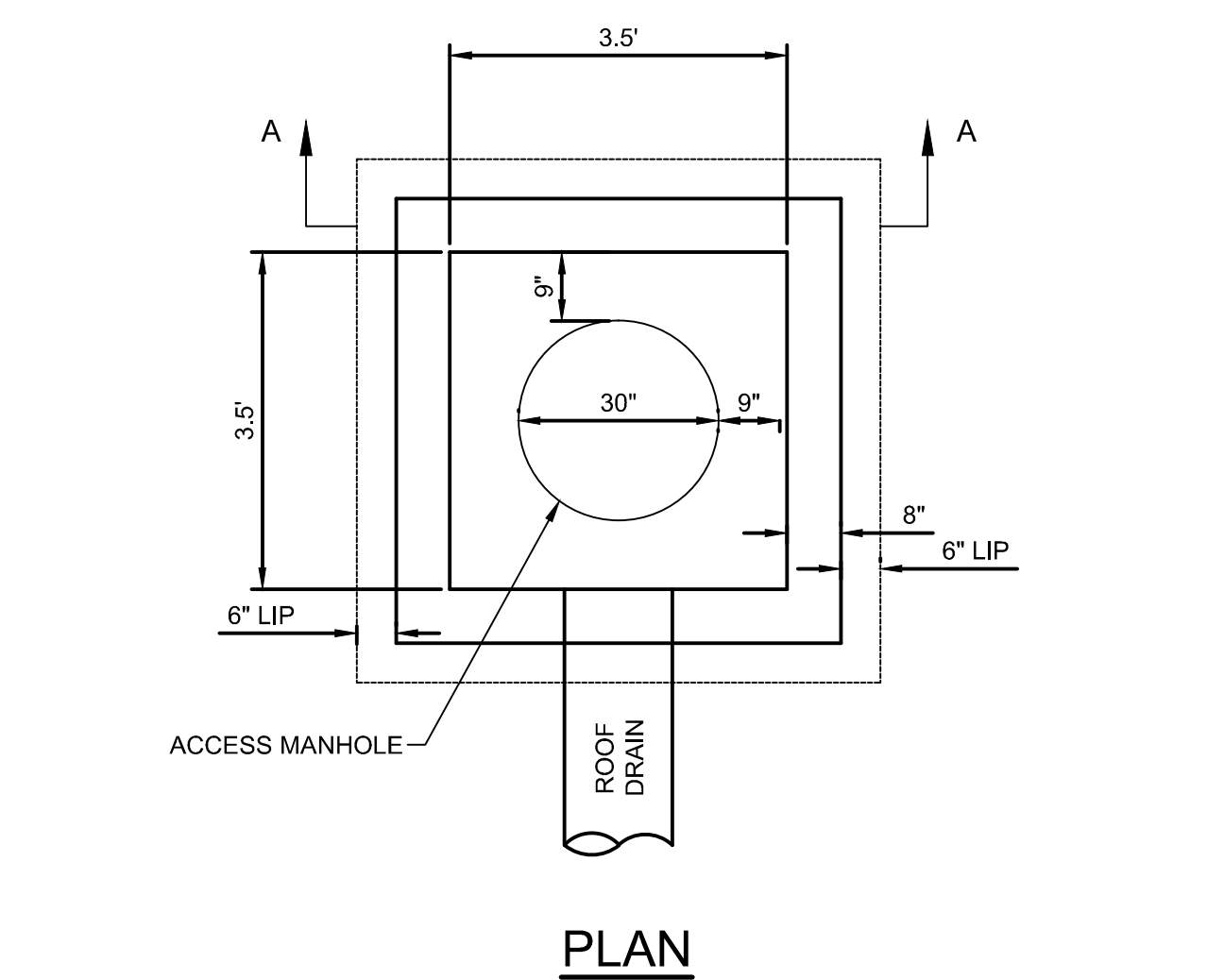
PLAN

- NOTES
- 300 GPM/FT HD.
 - 2' OF HEAD ASSUMED TO OVERCOME DENSITY DIFFERENTIAL.
 - 5'x 10' STORM STRUCTURE PER U.S. PRECAST COMPANY
 - CONCRETE= 4000 PSI @ 28 DAYS.
 - HOLES FOR PIPING SHALL BE 6" LARGER THAN PIPE O.D. AND SHALL BE CAST AT TIME OF FABRICATION
 - BAFFLE WALL IS POURED SEPARATELY & IS GROUTED INTO KEYWAY WHICH IS CAST INTO THE WALL SECTION. THE BAFFLE IS USED TO TRAP FLOATING POLLUTANTS IN THE UPSTREAM SIDE OF CHAMBER BEFORE REACHING THE STORMWATER WELL
 - WATER TABLE ELEVATION=0.5 N.A.V.D.
 - WELL SHALL HAVE A MINIMUM CAPACITY OF 300 GPM. WELL IS TO HAVE A MINIMUM 155' OF CASING DEPTH WITH 30' OF OPEN HOLE DEPTH. CONTRACTOR SHALL ANTICIPATE 220' CASING DEPTH WITH 30' OF OPEN HOLE DEPTH FOR PRICING PURPOSES. CONTRACTOR IS TO CONTACT ENGINEER AT VARIOUS DEPTHS DURING WELL TO DETERMINE ACTUAL DEPTH OF WELL BASED ON FIELD CONDITIONS.
 - WELL CONTRACTOR IS RESPONSIBLE TO PROVIDE REASONABLE ASSURANCE REPORT REQUIRED BY FDEP.
 - ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANTICIPATED WELL DISCHARGE RATE IS NOT ACHIEVED.

PRECAST DRAINAGE WELL #3
 SCALE: N.T.S.



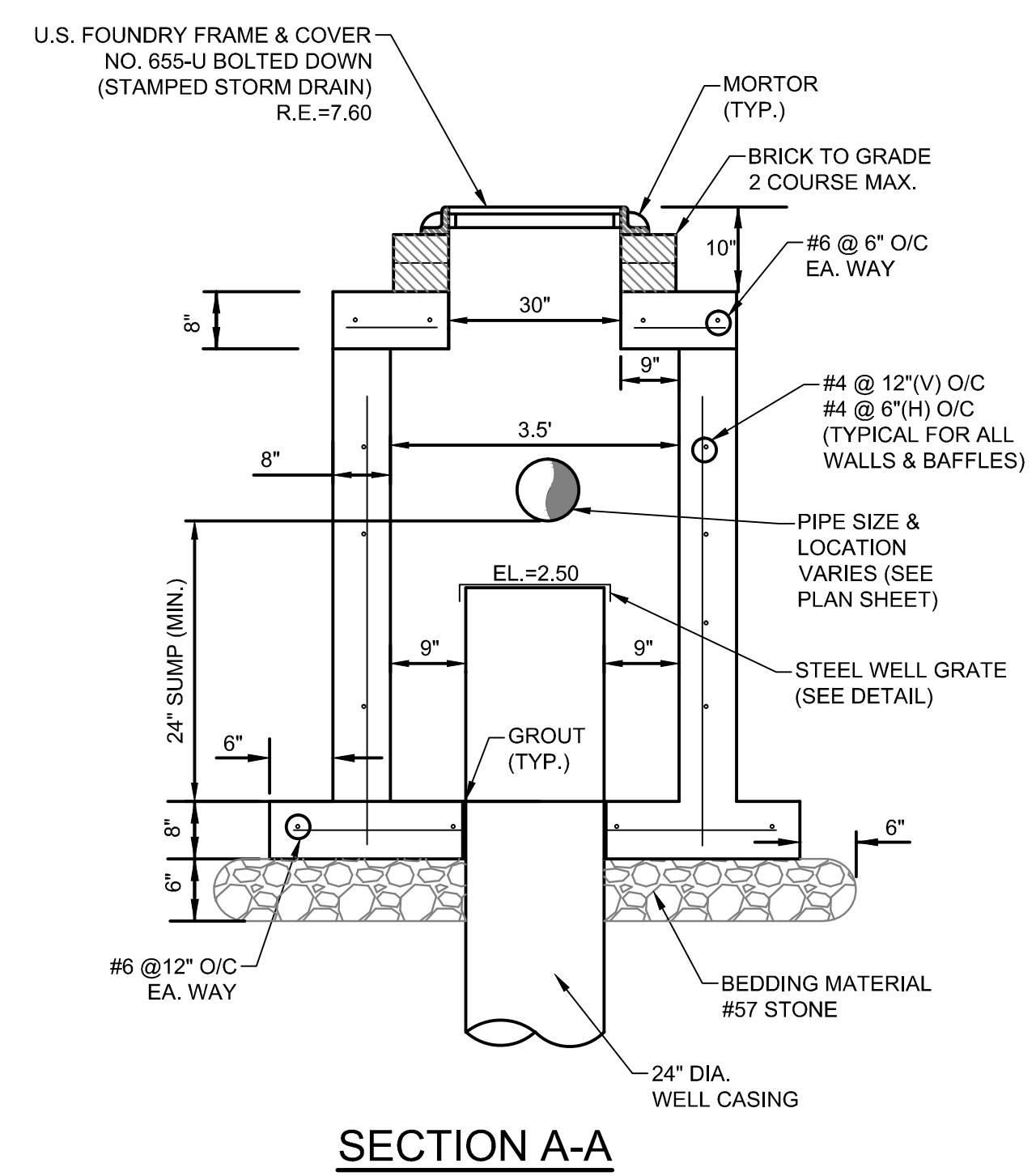
SECTION A-A
 SEE PLAN VIEW SHEET FOR STRUCTURE AND WELL ORIENTATION



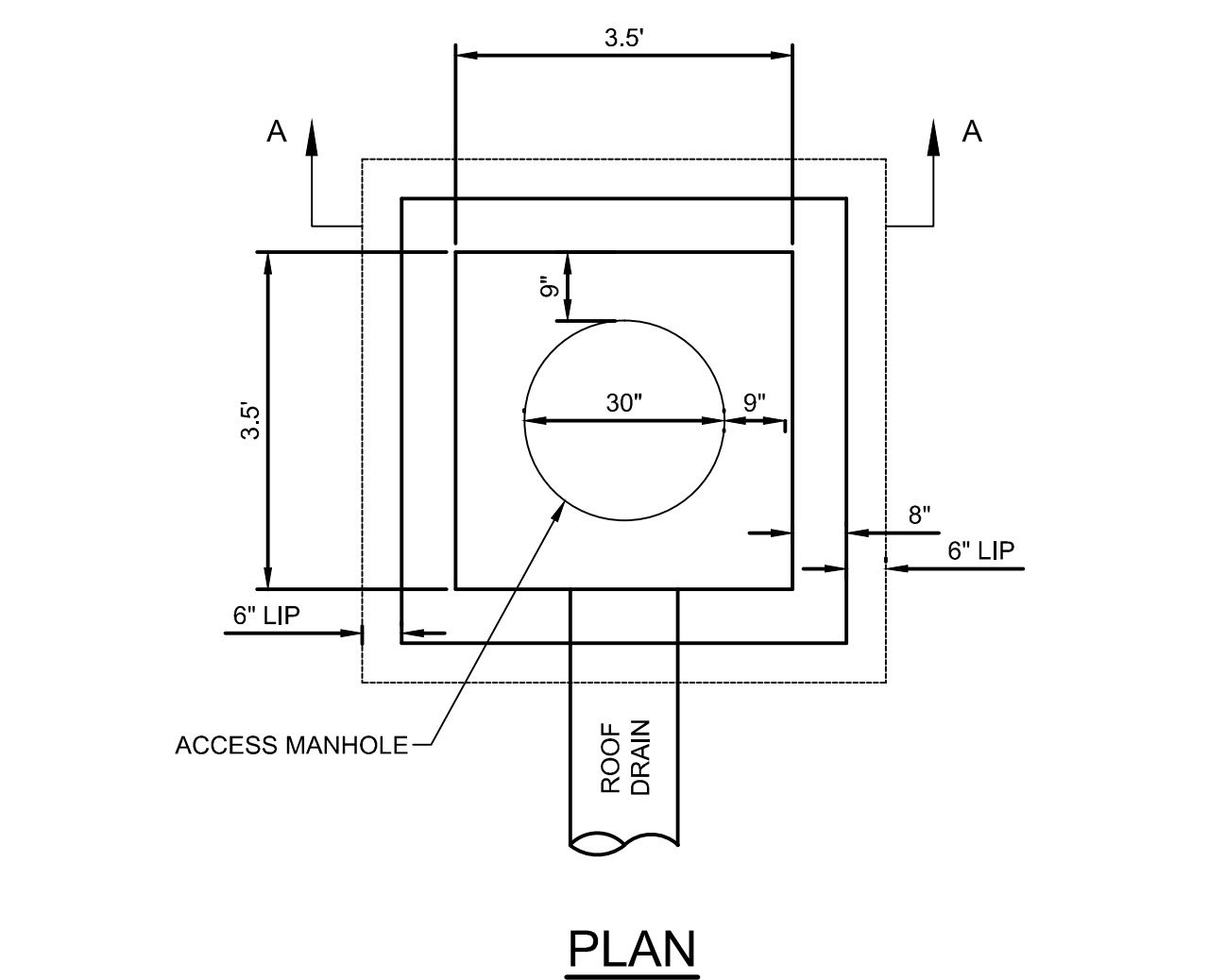
PLAN

- NOTES
- 300 GPM/FT HD.
 - 2' OF HEAD ASSUMED TO OVERCOME DENSITY DIFFERENTIAL.
 - 3.5' x 3.5' STORM STRUCTURE PER U.S. PRECAST COMPANY
 - CONCRETE= 4000 PSI @ 28 DAYS.
 - HOLES FOR PIPING SHALL BE 6" LARGER THAN PIPE O.D. AND SHALL BE CAST AT TIME OF FABRICATION
 - BAFFLE WALL IS POURED SEPARATELY & IS GROUTED INTO KEYWAY WHICH IS CAST INTO THE WALL SECTION. THE BAFFLE IS USED TO TRAP FLOATING POLLUTANTS IN THE UPSTREAM SIDE OF CHAMBER BEFORE REACHING THE STORMWATER WELL
 - WATER TABLE ELEVATION=0.5 N.A.V.D.
 - WELL SHALL HAVE A MINIMUM CAPACITY OF 300 GPM. WELL IS TO HAVE A MINIMUM 155' OF CASING DEPTH WITH 30' OF OPEN HOLE DEPTH. CONTRACTOR SHALL ANTICIPATE 220' CASING DEPTH WITH 30' OF OPEN HOLE DEPTH FOR PRICING PURPOSES. CONTRACTOR IS TO CONTACT ENGINEER AT VARIOUS DEPTHS DURING WELL TO DETERMINE ACTUAL DEPTH OF WELL BASED ON FIELD CONDITIONS.
 - WELL CONTRACTOR IS RESPONSIBLE TO PROVIDE REASONABLE ASSURANCE REPORT REQUIRED BY FDEP.
 - ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANTICIPATED WELL DISCHARGE RATE IS NOT ACHIEVED.

PRECAST DRAINAGE WELL #2
 SCALE: N.T.S.

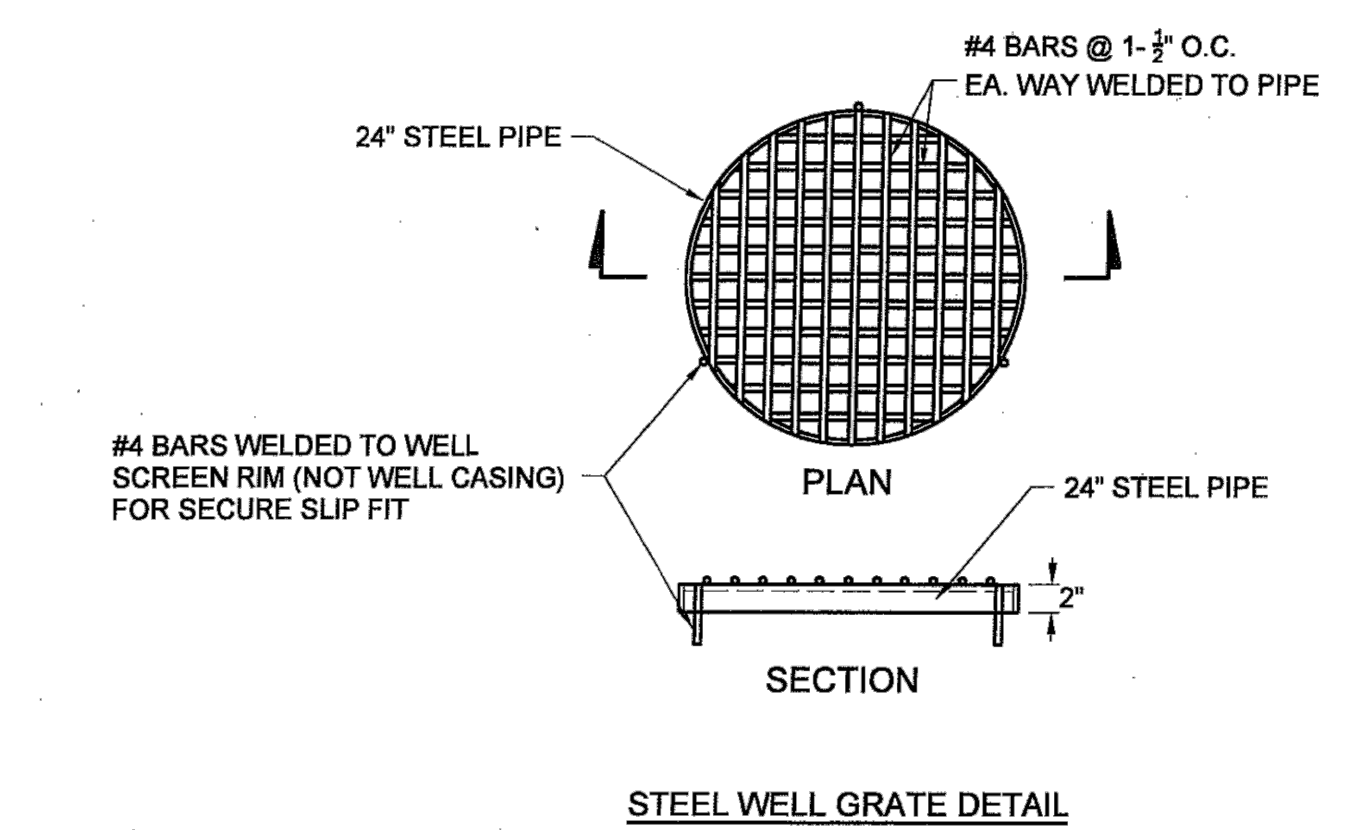


SECTION A-A
 SEE PLAN VIEW SHEET FOR STRUCTURE AND WELL ORIENTATION

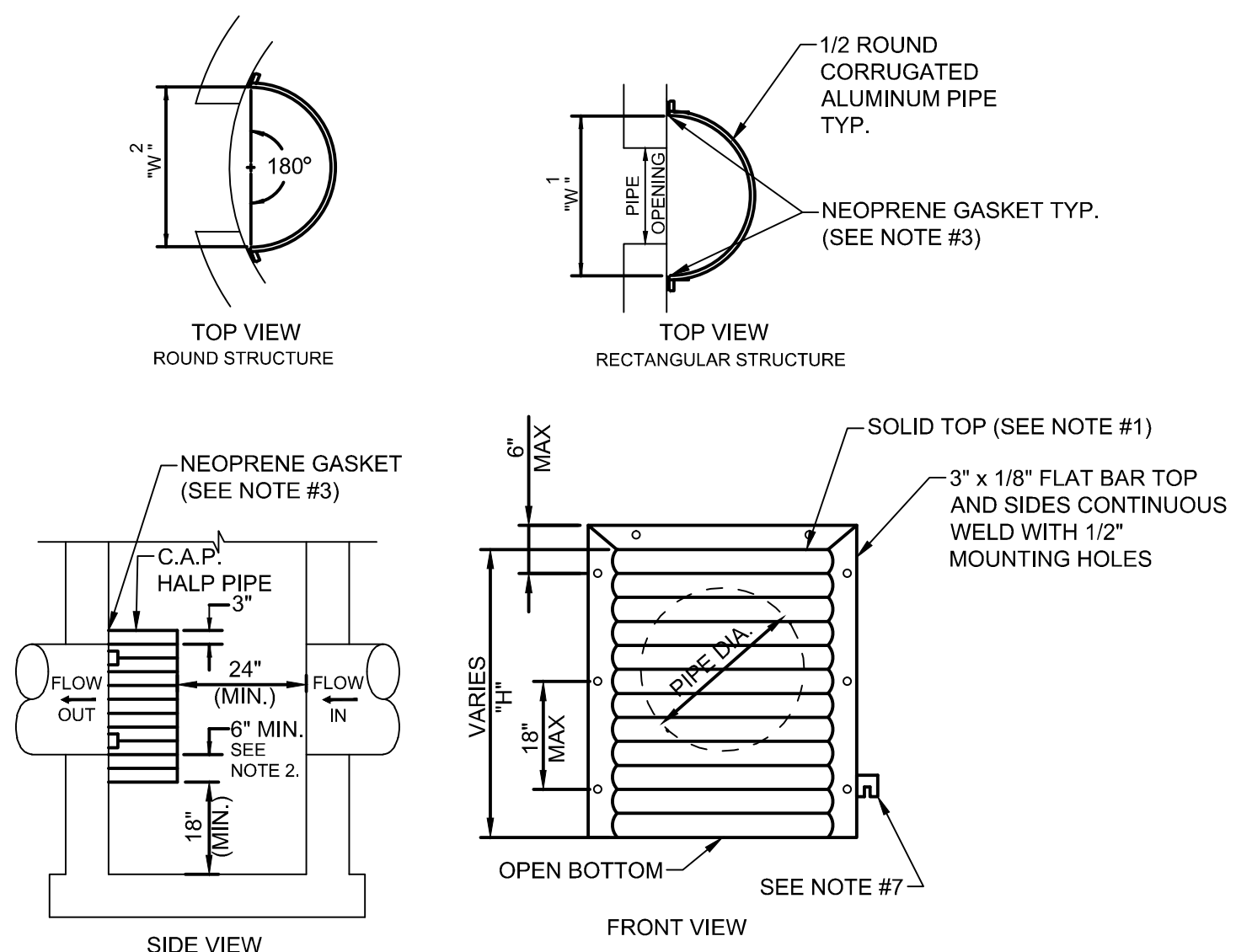


- NOTES
- 300 GPM/FT HD.
 - 2' OF HEAD ASSUMED TO OVERCOME DENSITY DIFFERENTIAL.
 - 5'x 10' STORM STRUCTURE PER U.S. PRECAST COMPANY
 - CONCRETE= 4000 PSI @ 28 DAYS.
 - HOLES FOR PIPING SHALL BE 6" LARGER THAN PIPE O.D. AND SHALL BE CAST AT TIME OF FABRICATION
 - BAFFLE WALL IS POURED SEPARATELY & IS GROUTED INTO KEYWAY WHICH IS CAST INTO THE WALL SECTION. THE BAFFLE IS USED TO TRAP FLOATING POLLUTANTS IN THE UPSTREAM SIDE OF CHAMBER BEFORE REACHING THE STORMWATER WELL
 - WATER TABLE ELEVATION=0.5 N.A.V.D.
 - WELL SHALL HAVE A MINIMUM CAPACITY OF 300 GPM. WELL IS TO HAVE A MINIMUM 155' OF CASING DEPTH WITH 30' OF OPEN HOLE DEPTH. CONTRACTOR SHALL ANTICIPATE 220' CASING DEPTH WITH 30' OF OPEN HOLE DEPTH FOR PRICING PURPOSES. CONTRACTOR IS TO CONTACT ENGINEER AT VARIOUS DEPTHS DURING WELL TO DETERMINE ACTUAL DEPTH OF WELL BASED ON FIELD CONDITIONS.
 - WELL CONTRACTOR IS RESPONSIBLE TO PROVIDE REASONABLE ASSURANCE REPORT REQUIRED BY FDEP.
 - ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANTICIPATED WELL DISCHARGE RATE IS NOT ACHIEVED.

PRECAST DRAINAGE WELL #1
 SCALE: N.T.S.



STEEL WELL GRATE DETAIL

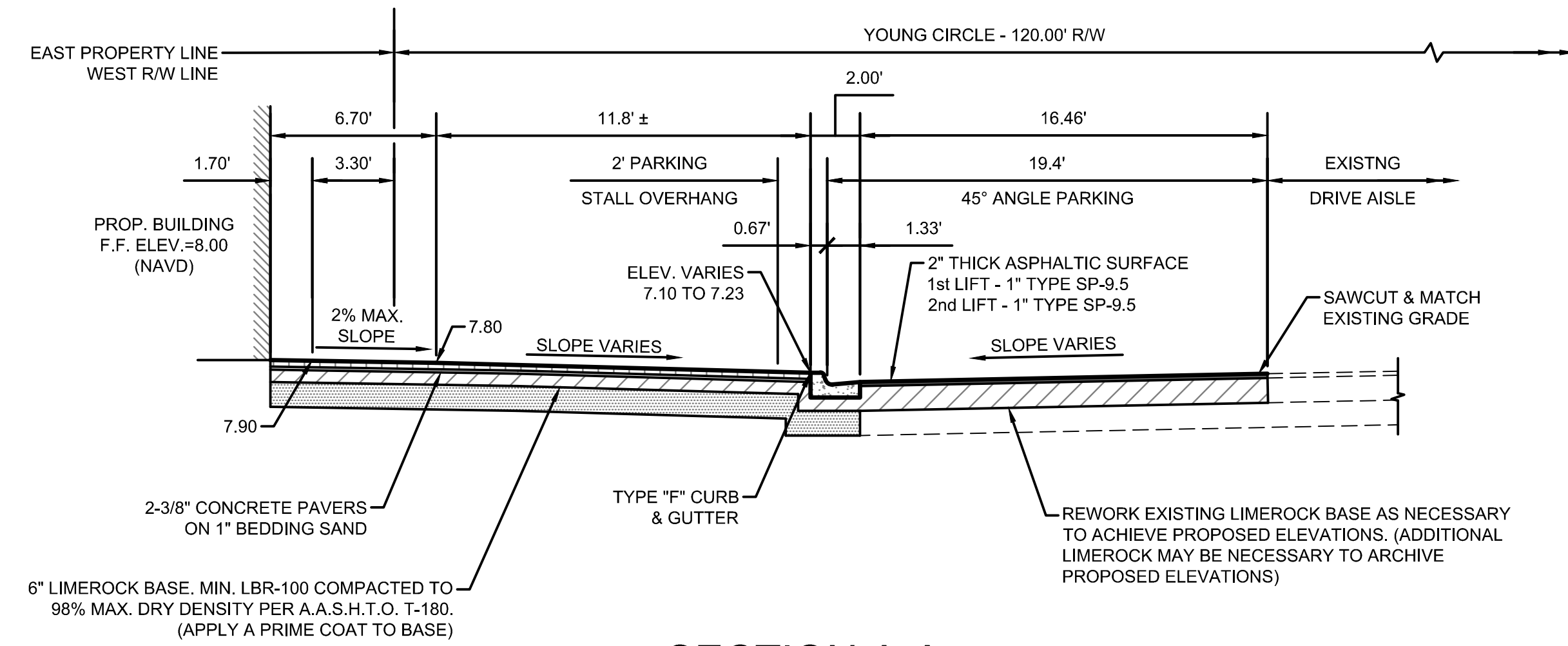


- NOTES
- ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP.
 - THE BOTTOM ELEVATION OF THE POLLUTION RETARDANT BAFFLE MUST BE AT LEAST 2' BELOW CONTROL ELEVATION.
 - NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 2") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES.
 - POLLUTION RETARDANT BAFFLE TO BE FASTENED IN PLACE WITH 3/8"x4" STAINLESS STEEL "RED HEADS", OR APPROVED EQUAL.
 - ALL EXFILTRATION TRENCHES SHALL HAVE A POLLUTION RETARDANT BAFFLE AT EACH CONNECTION POINT TO A STRUCTURE (SEE EXFILTRATION TRENCH DETAIL).
 - FIBERGLASS BAFFLES ARE NOT PERMITTED.
 - MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.

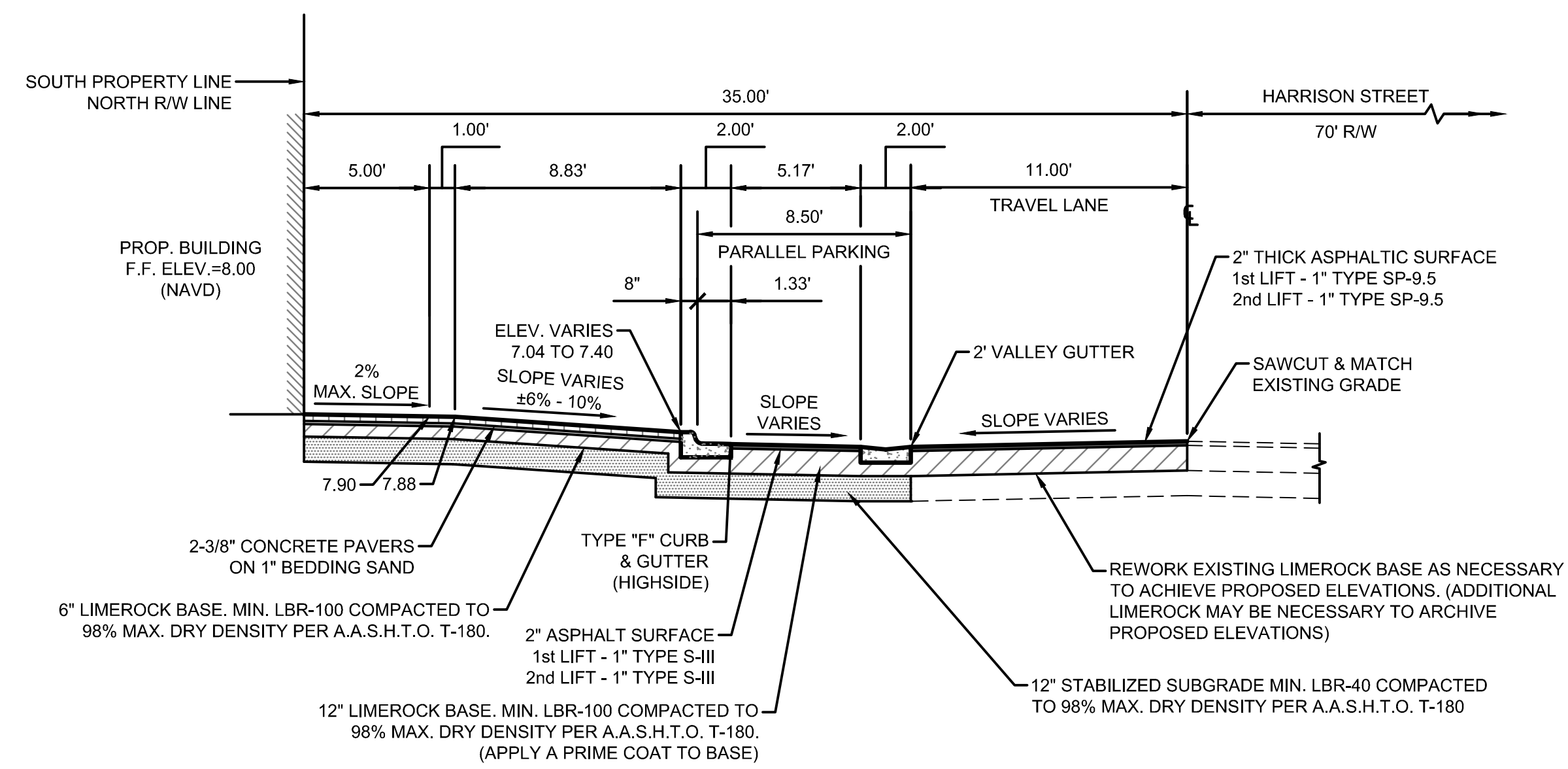
POLLUTION RETARDENT BAFFLE
 SCALE: N.T.S.

PIPE DIA.	W ¹ (IN)	W ² (IN)	T (GAUGE)	H (IN)
15"	21"	21"	16	VARIES
18"	24"	24"	16	VARIES
21"	30"	30"	16	VARIES
24"	30"	36"	16	VARIES
30"	36"	42"	14	VARIES
36"	42"	48"	14	VARIES
42"	48"	54"	14	VARIES
48"	54"	60"	14	VARIES
54"	60"	66"	14	VARIES

G:\2002\02-0108-002-04 Hollywood Circle Block 40 Drawings\02-0108-PGD.TDWG [10] Sep 02, 2016 9:40am CEDWARDS



SECTION A-A



SECTION B-B

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ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
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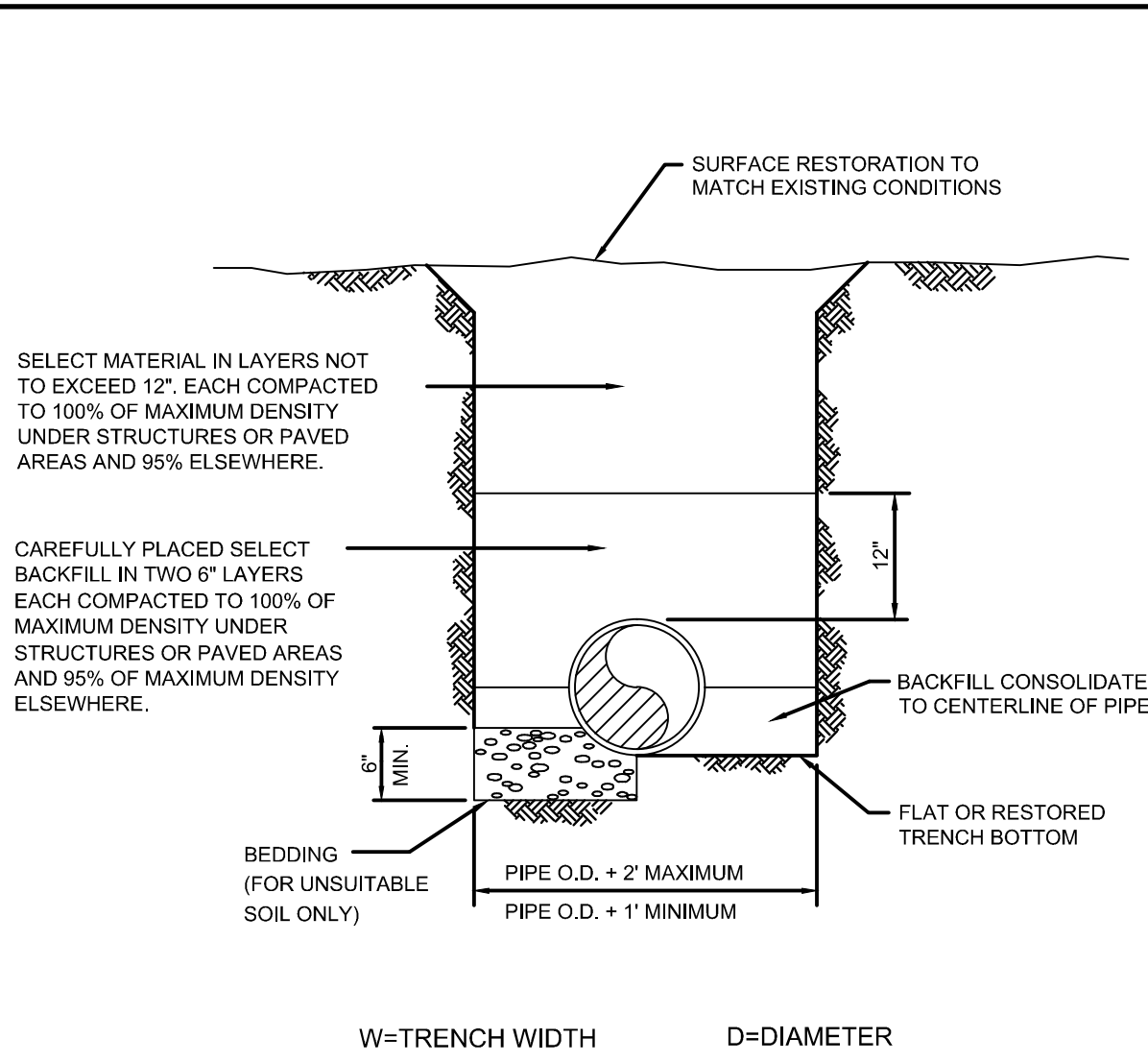
YOUNG CIRCLE COMMONS - BLOCK 40
CITY OF HOLLYWOOD
BROWARD COUNTY
 PREPARED FOR:
BLOCK 40, LLC.
TYPICAL SECTIONS

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016

PROJECT NO.
02-0108-002-04

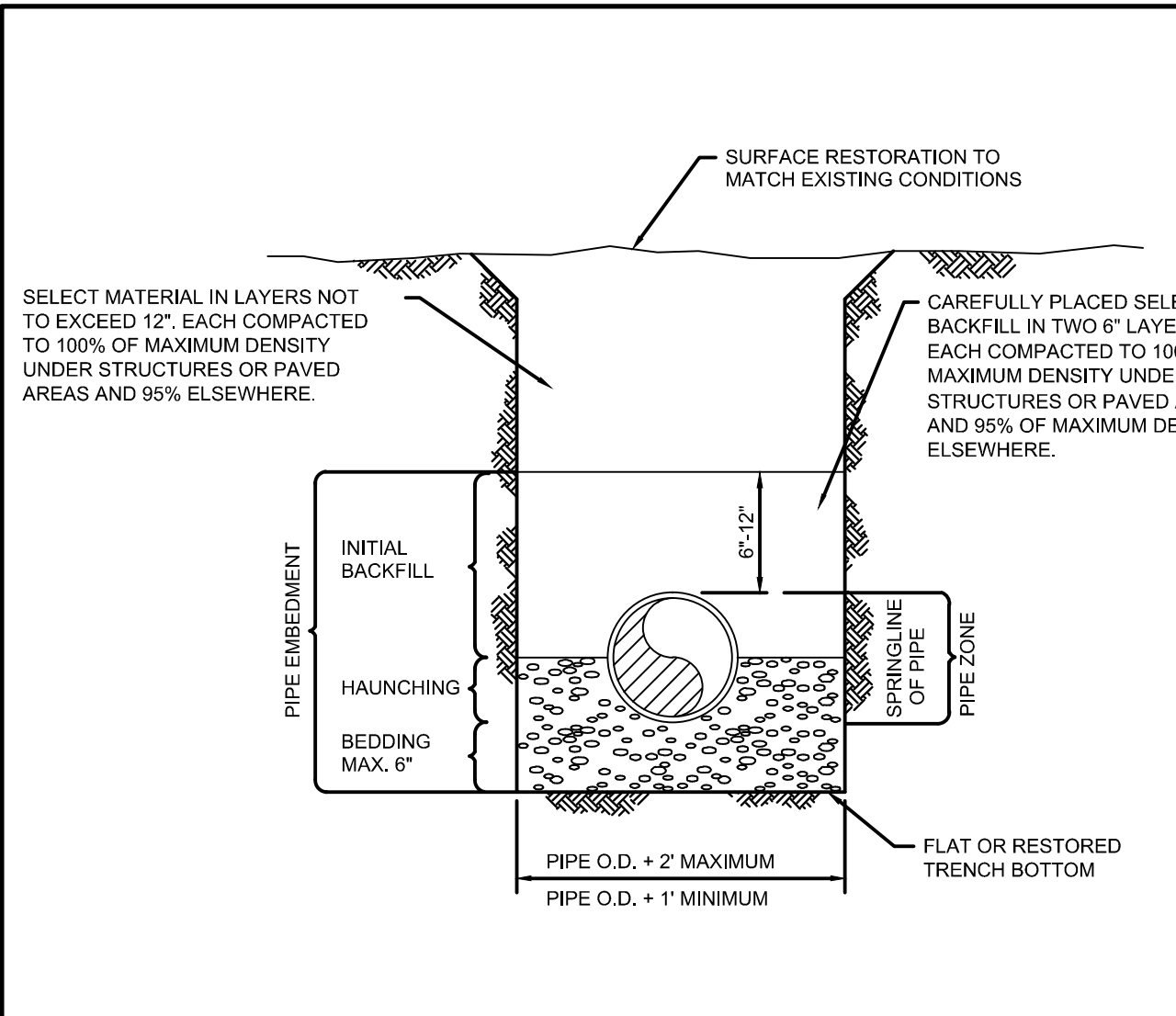
C-11
 SHEET 11 OF 15

DATE:	3/18/16
SCALE:	AS NOTED
DESIGN BY:	JW
DRAWN BY:	SC
CHECKED BY:	CE
APPROVED BY:	CE
DATE:	
BY:	
DESCRIPTION:	



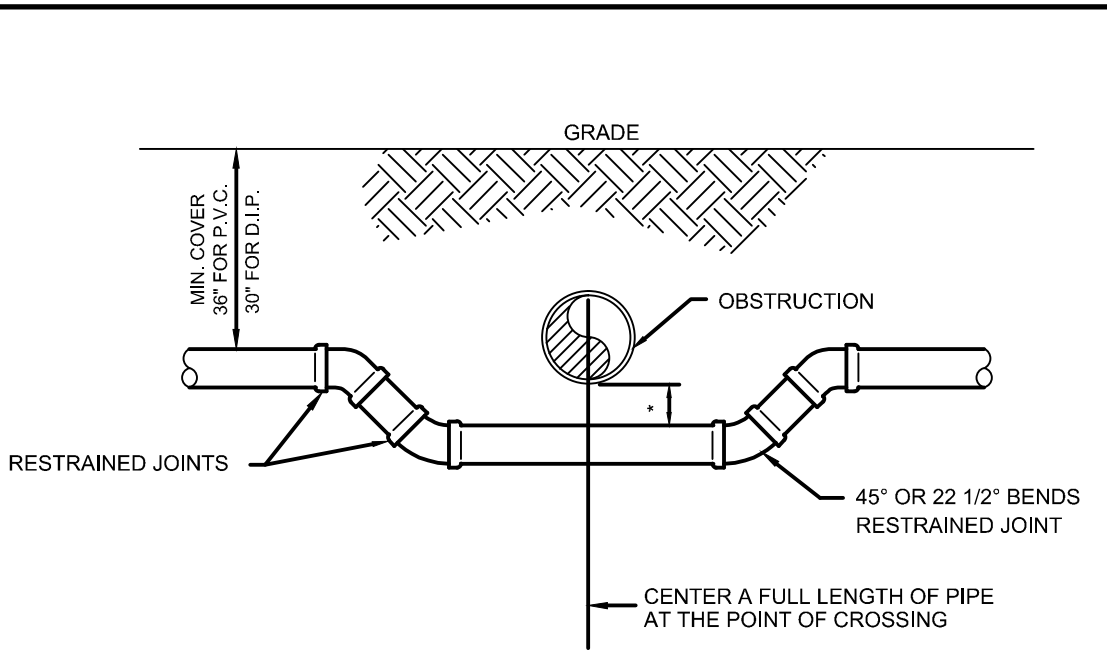
- NOTES:**
- BEDDING MATERIAL WHEN NECESSARY, SHALL BE CLEAN SANDY SOIL WHENEVER AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED 3/4" MAX. SIZED CRUSHED LIMEROCK. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID.
 - DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.

DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-2**
 DRAWN: EAM
 APPROVED:

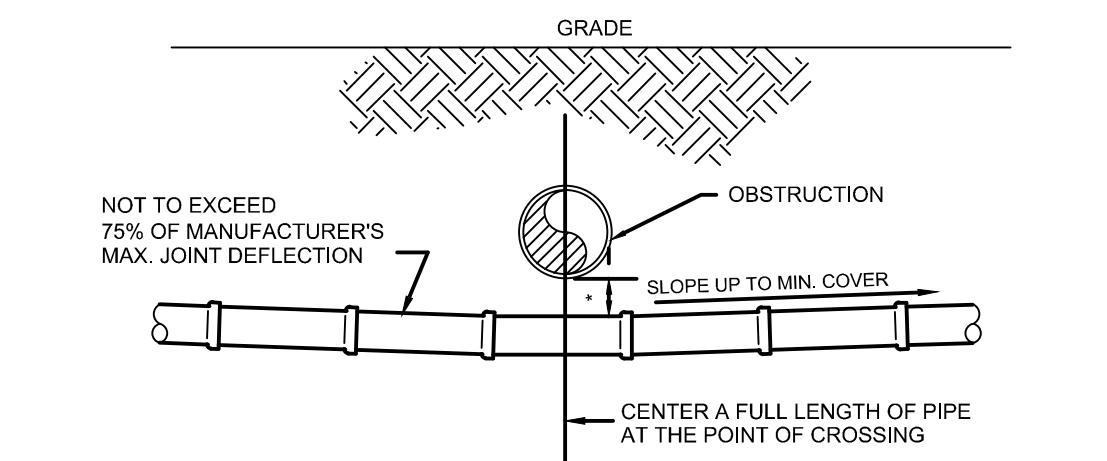


- NOTES:**
- BEDDING AND HAUNCHING SHALL BE WELL GRADED 3/4" MAX. SIZED CRUSHED LIMEROCK
 - DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.

DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-3**
 DRAWN: EAM
 APPROVED:

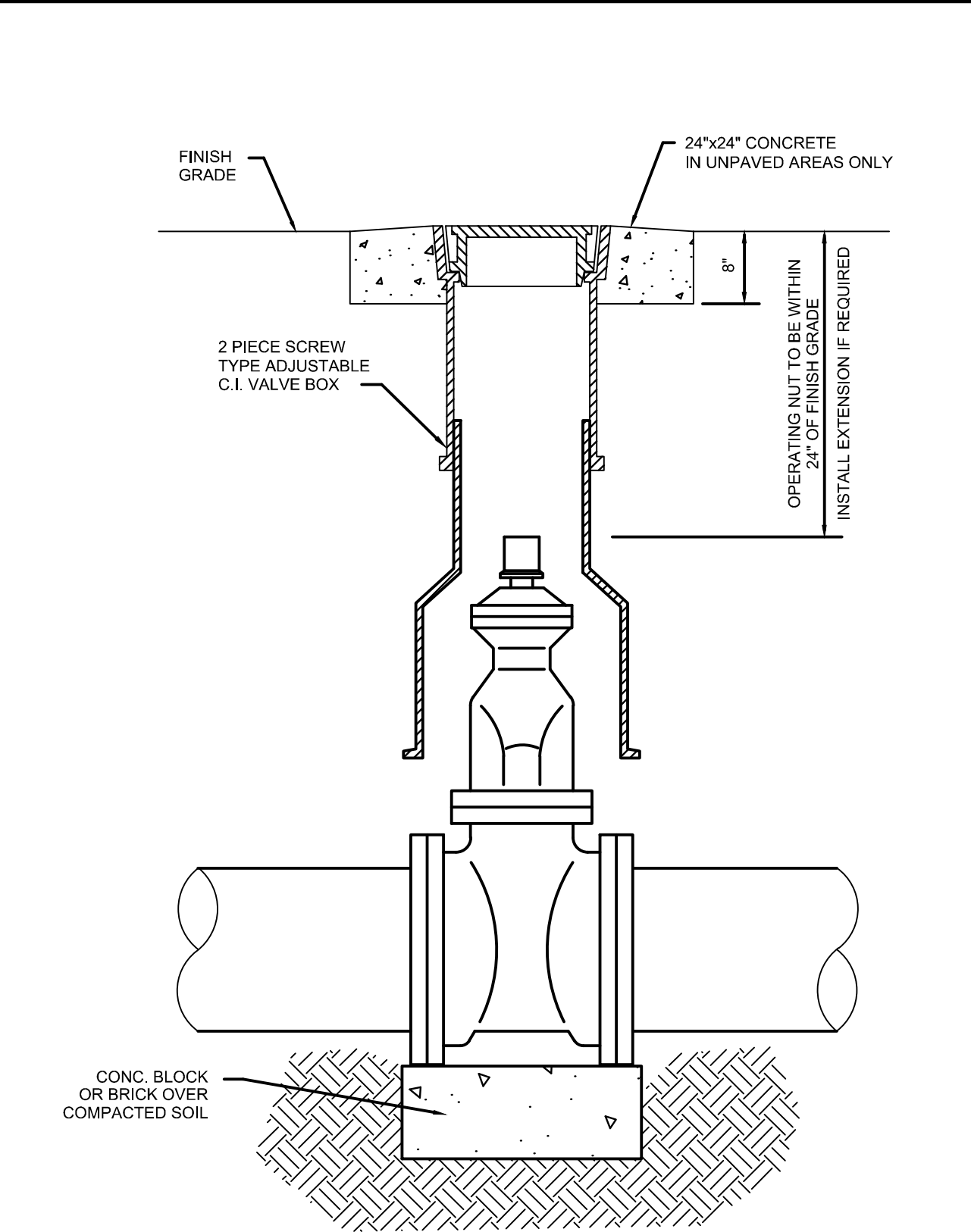


* REFER TO WATER AND SEWER SEPARATION NOTES PER D.E.R. REQUIREMENTS

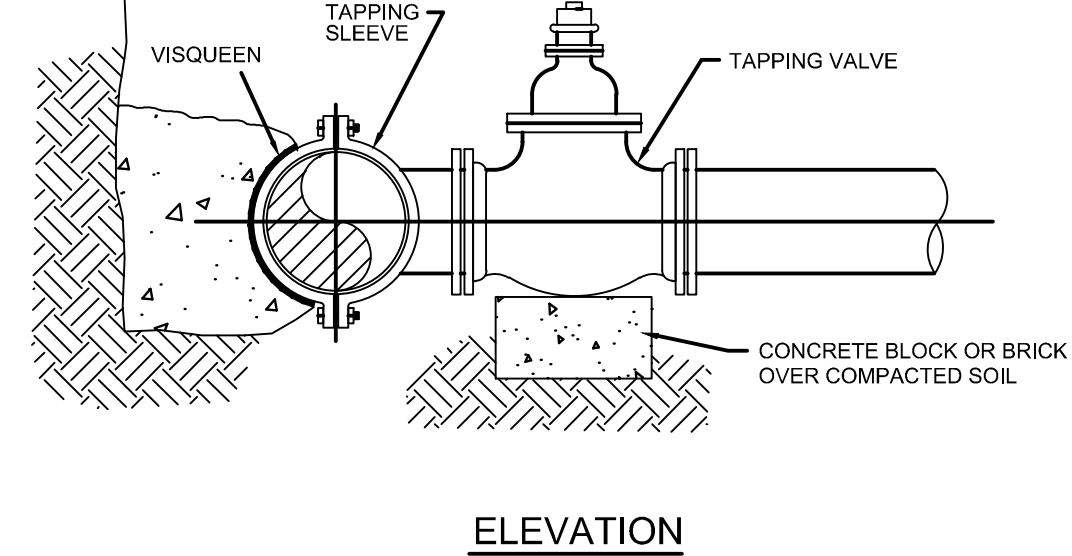
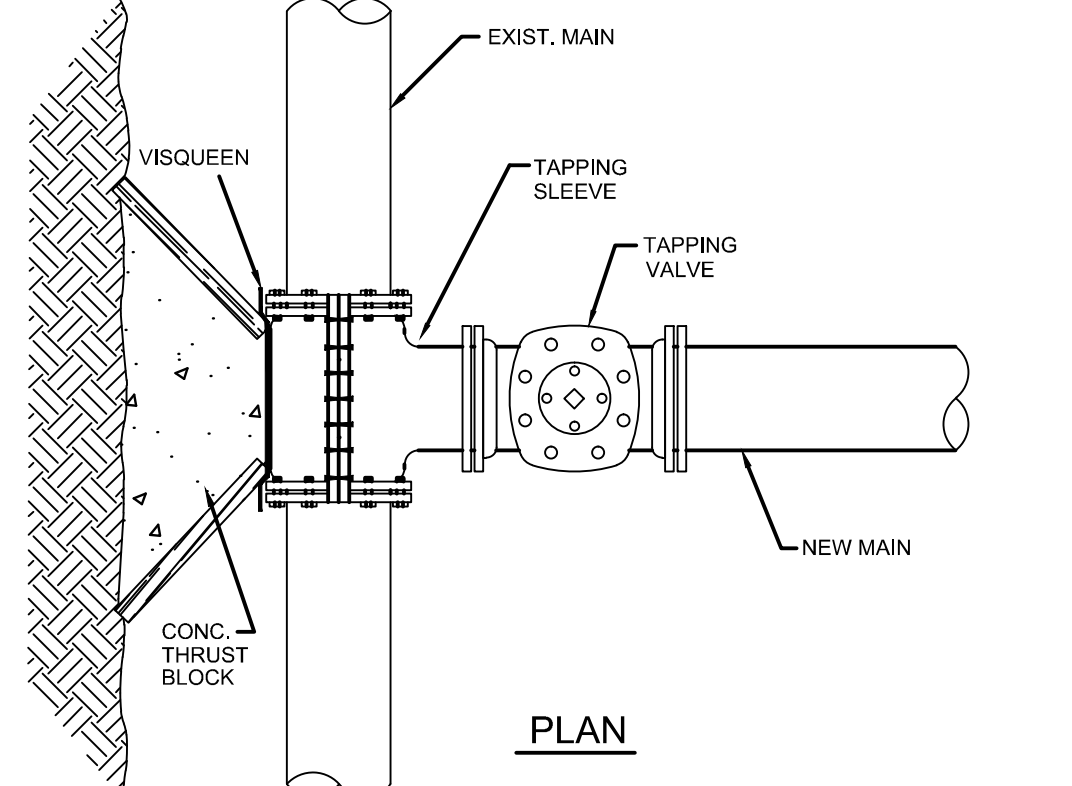


* REFER TO WATER AND SEWER SEPARATION NOTES PER D.E.R. REQUIREMENTS

DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-4**
 DRAWN: EAM
 APPROVED:

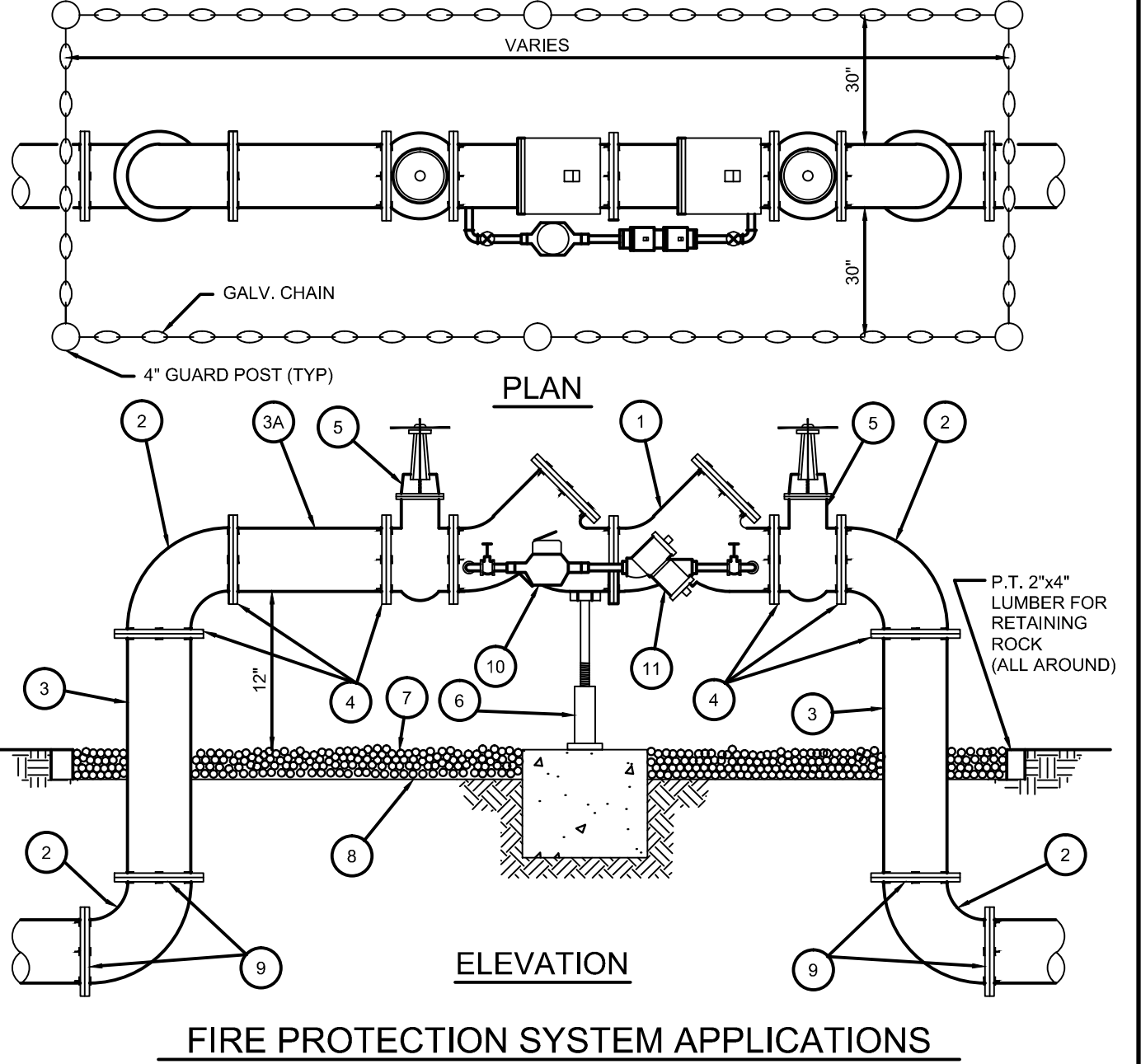


DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-5**
 DRAWN: EAM
 APPROVED:



- NOTES:**
- NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
 - TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.

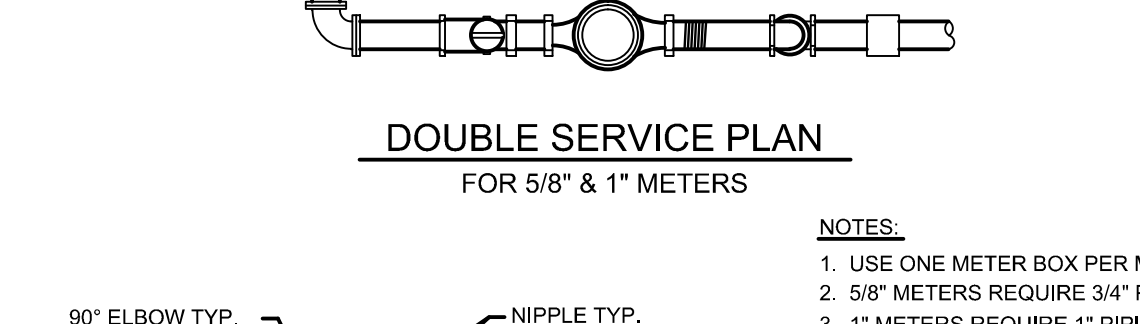
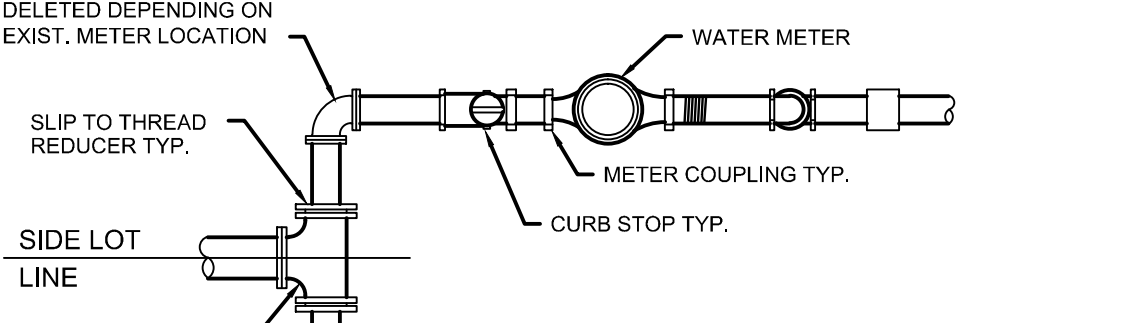
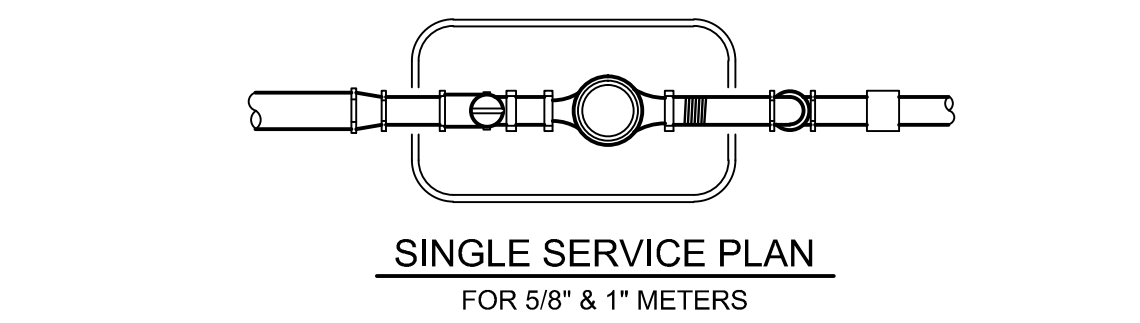
DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-6**
 DRAWN: EAM
 APPROVED:



MATERIALS					
ITEM	QUANT.	DESCRIPTION	ITEM	QUANT.	DESCRIPTION
1	1	4" 8' 8" VALVE DOUBLE CHECK	6	1	SCREW JACK/ANCHORED
2	4	4" 6' 8" BEND 90°	7	0	PEA GRAVEL
3	2	4" 6' 8" D.I.P. SPOOL PIECE	8	0	PLASTIC LINER/WEED STOP (5 MILS)
3A	1	4" 6' 8" D.I.P. SPOOL PIECE (24' LONG)	9	4	RESTRAINED JOINTS
4	5	4" 6' 8" FLANGE D.I.P.	10	1	LOW FLOW METER
5	2	4" 6' 8" VALVE, GATE	11	1	VALVE, BYPASS DOUBLE CHECK

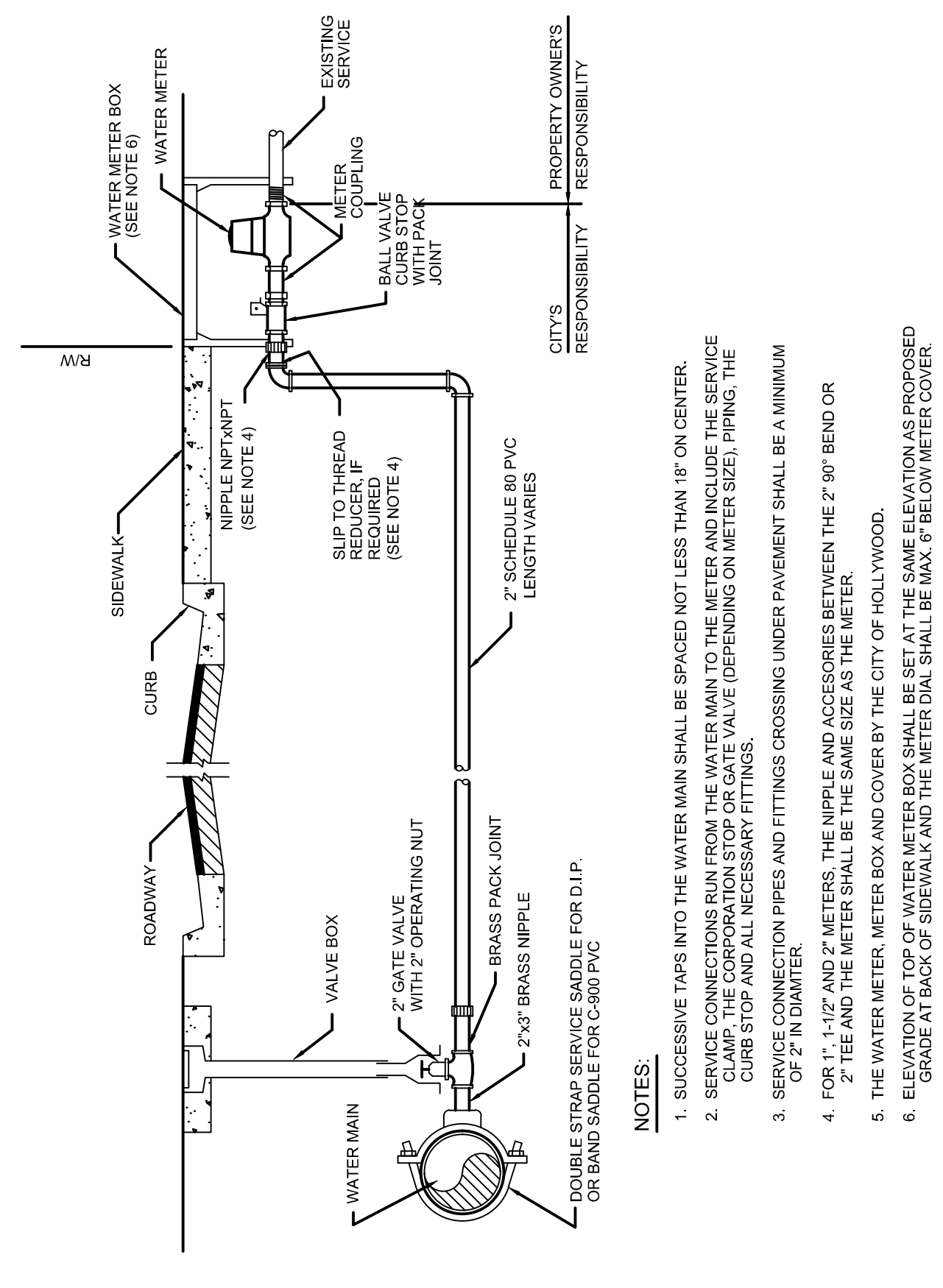
- NOTES:**
- FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
 - ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
 - ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
 - PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS. CHAIN SHALL BE LOOPED THROUGH EYELETS CAST IN CONCRETE TOP.
 - USE 45° BENDS WHEN WORKING AREA IS NOT LIMITED.

DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-7**
 DRAWN: EAM
 APPROVED:



- NOTES:**
- USE ONE METER BOX PER METER.
 - 5/8" METERS REQUIRE 3/4" PIPING.
 - 1" METERS REQUIRE 1" PIPING.

DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-9**
 DRAWN: EAM
 APPROVED:



DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. **W-10**
 DRAWN: EAM
 APPROVED:

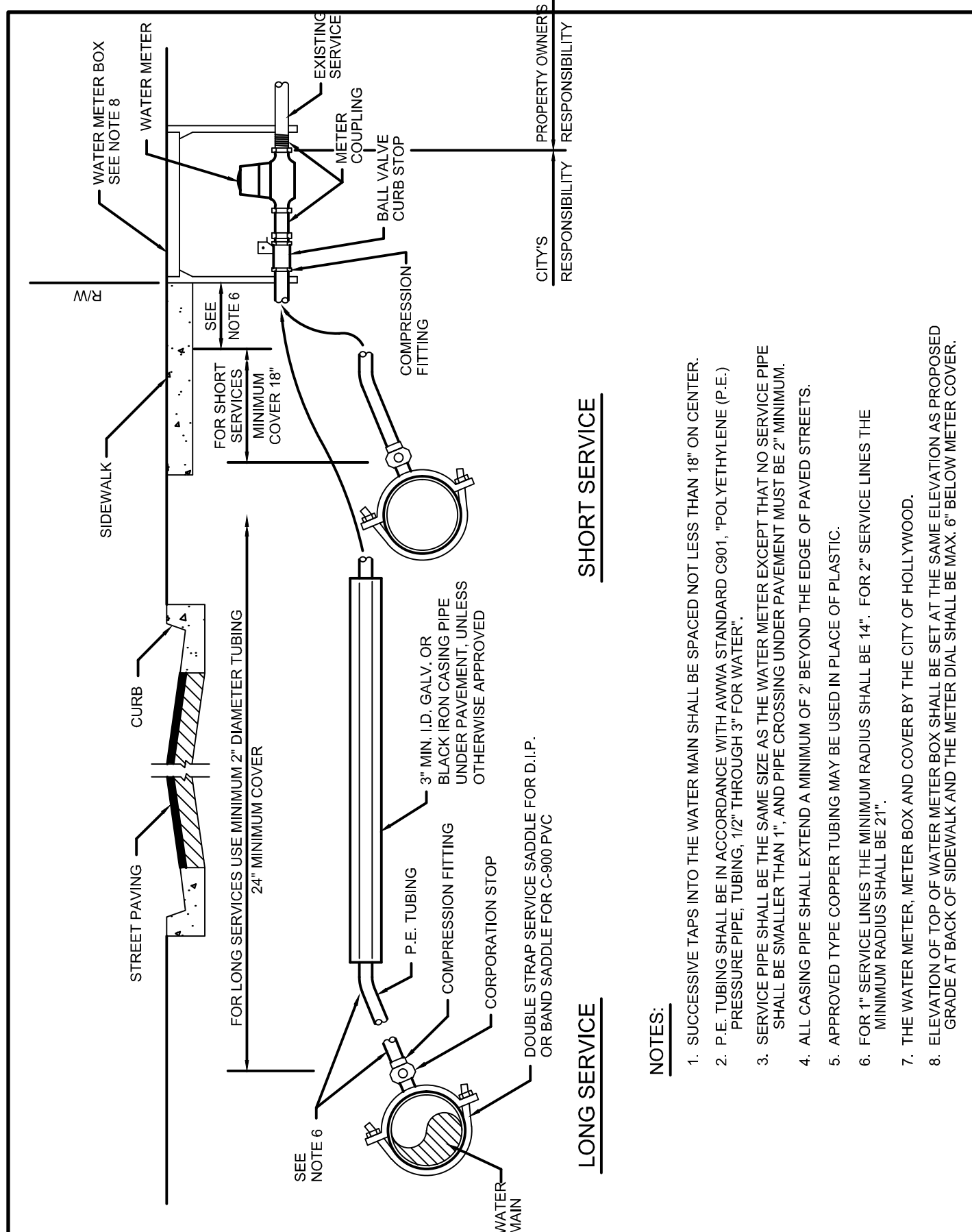
DATE:	3/18/16
SCALE:	AS NOTED
DESIGN BY:	JW
DRAWN BY:	SC
CHECKED BY:	CE
APPROVED BY:	CE

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 ENGINEERS • PLANNERS • SURVEYORS
 35653 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA, 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED PROFESSIONAL ARCHITECTS & LANDSCAPE ARCHITECTS NO. 771
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
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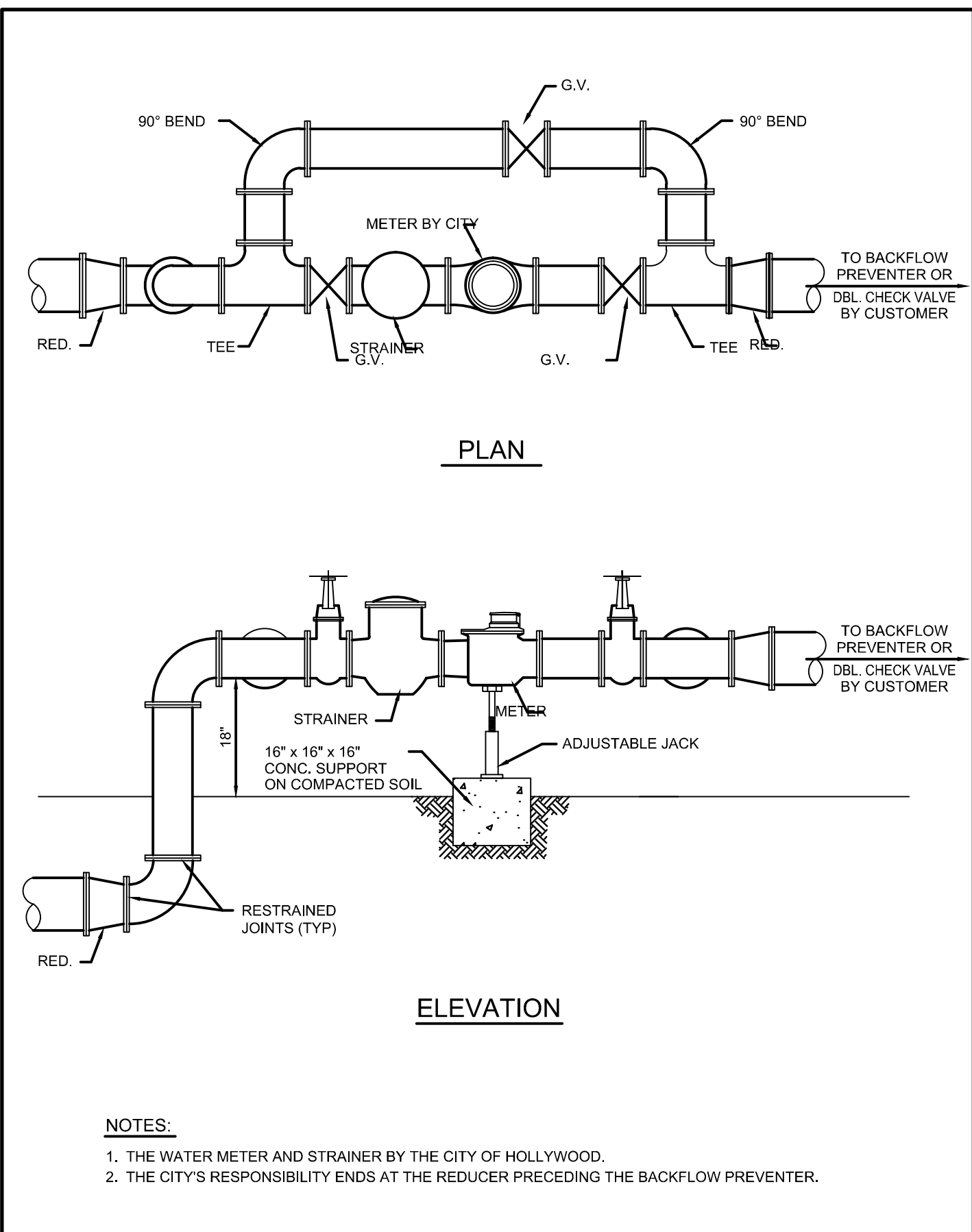
YOUNG CIRCLE COMMONS - BLOCK 40
 CITY OF HOLLYWOOD
 BROWARD COUNTY
 PREPARED FOR:
 BLOCK 40, LLC.
 WATER & SEWER DETAILS

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016
 PROJECT NO.
 02-0108-002-04

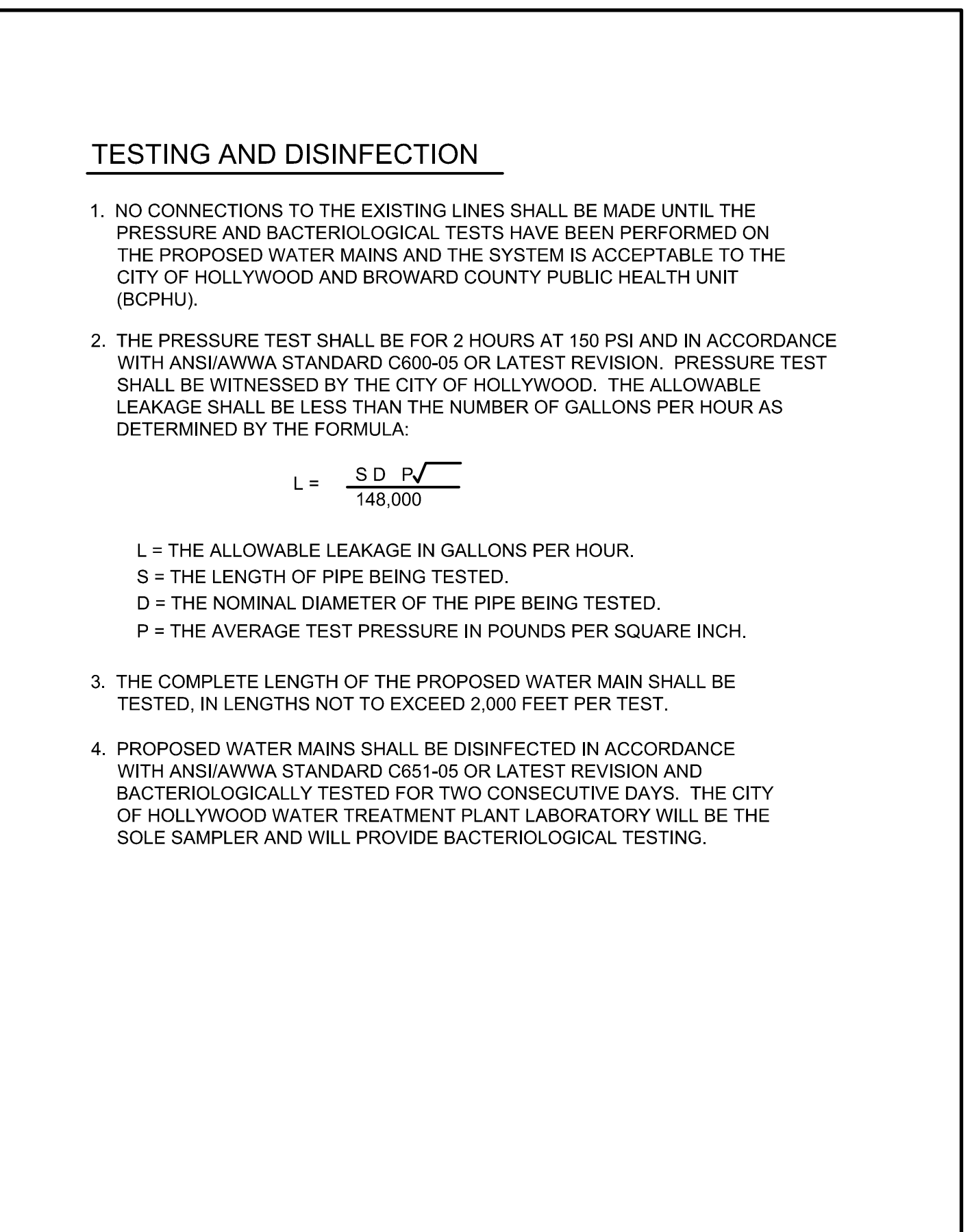
G:\2002\02-0108-002-04 Hollywood Circle Block 40 Drawings\02-0108-WSDT.DWG [13] Sep 02, 2016 9:41am CEDWARDS



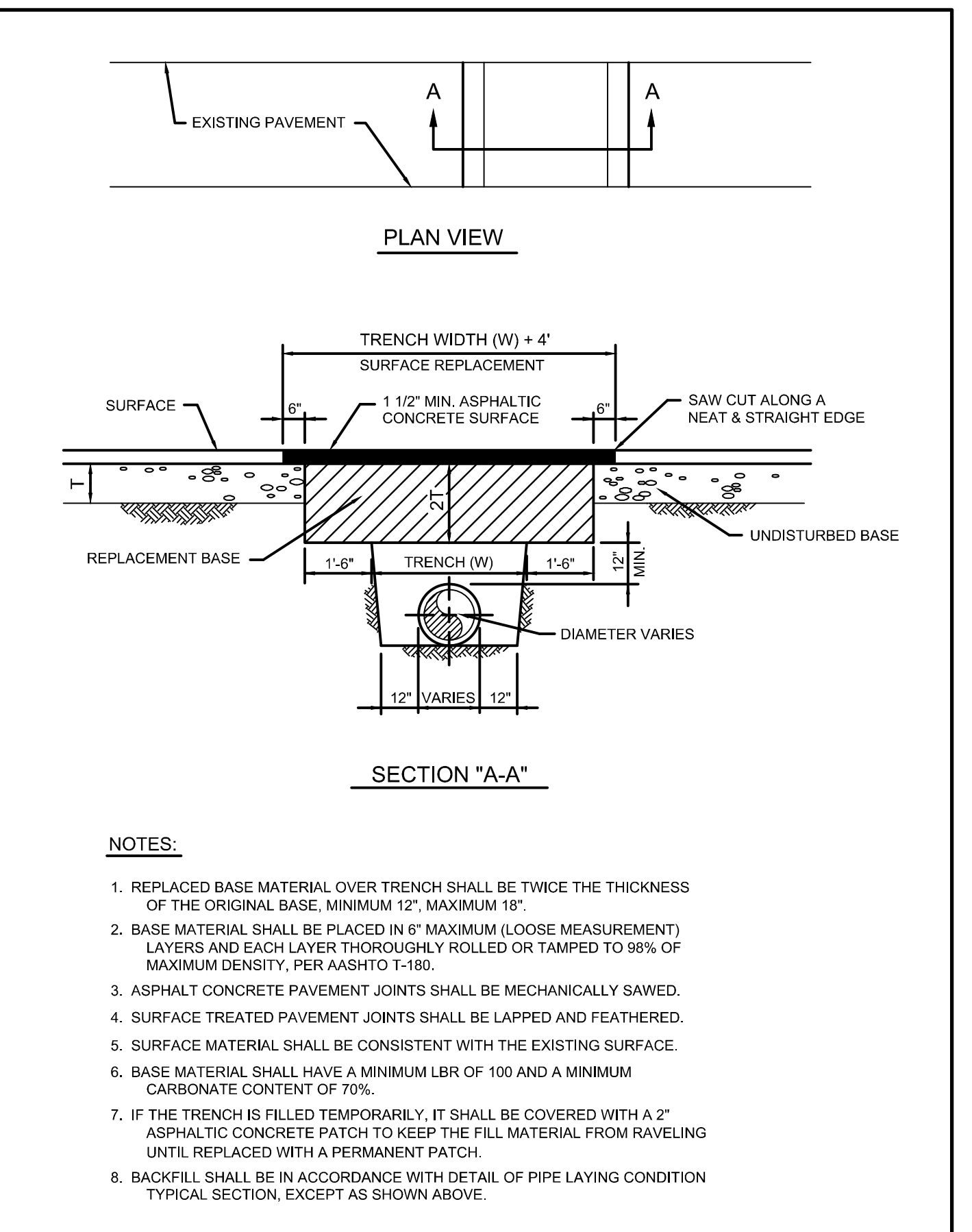
DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. W-11
 DRAWN: EAM
 APPROVED: TYPICAL SERVICE CONNECTION (FOR P.E. TUBING)



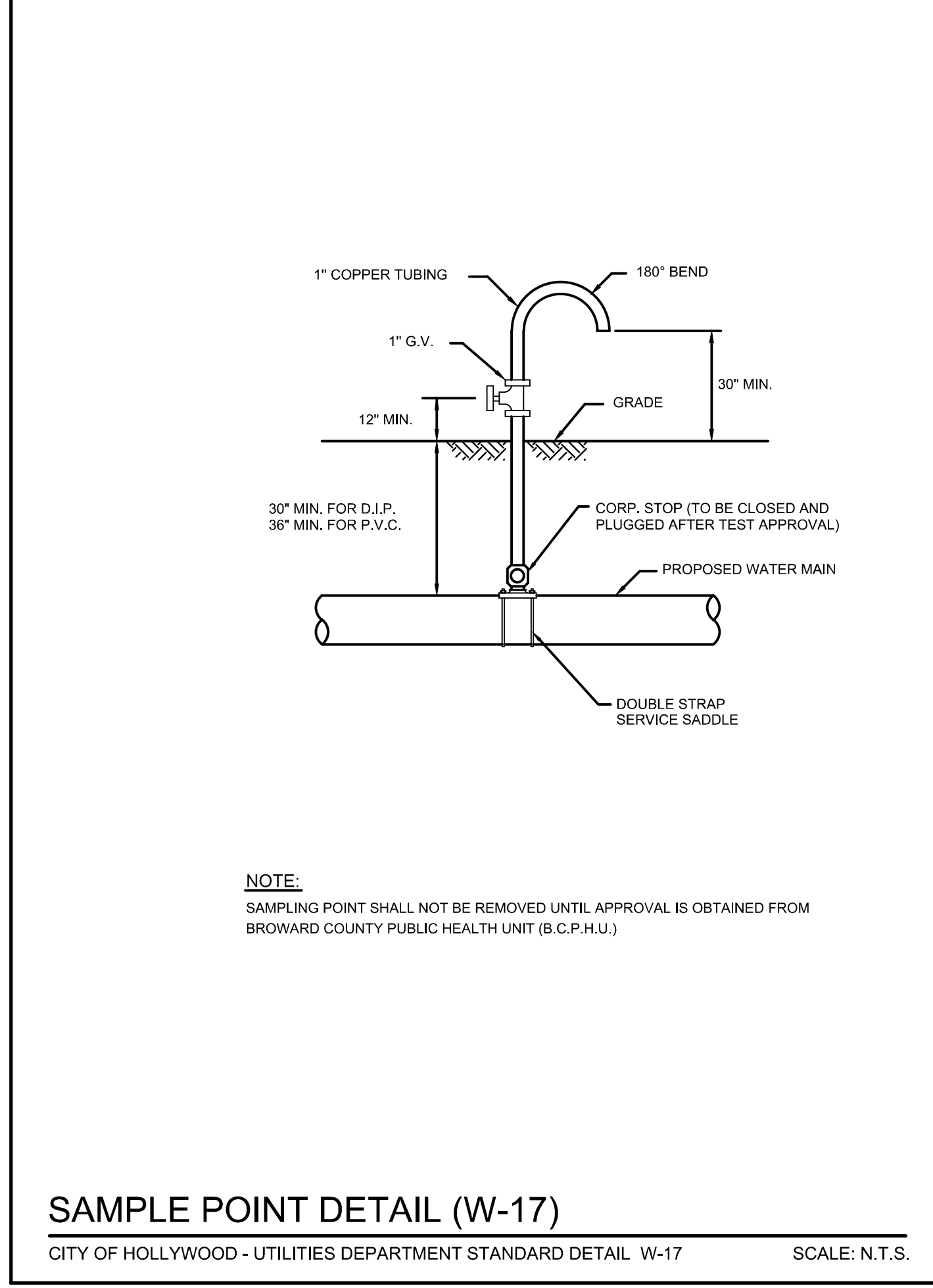
DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. W-12
 DRAWN: EAM
 APPROVED: 3" OR LARGER METER INSTALLATION (FOR FIRE LINES AND COMMERCIAL APPLICATIONS)



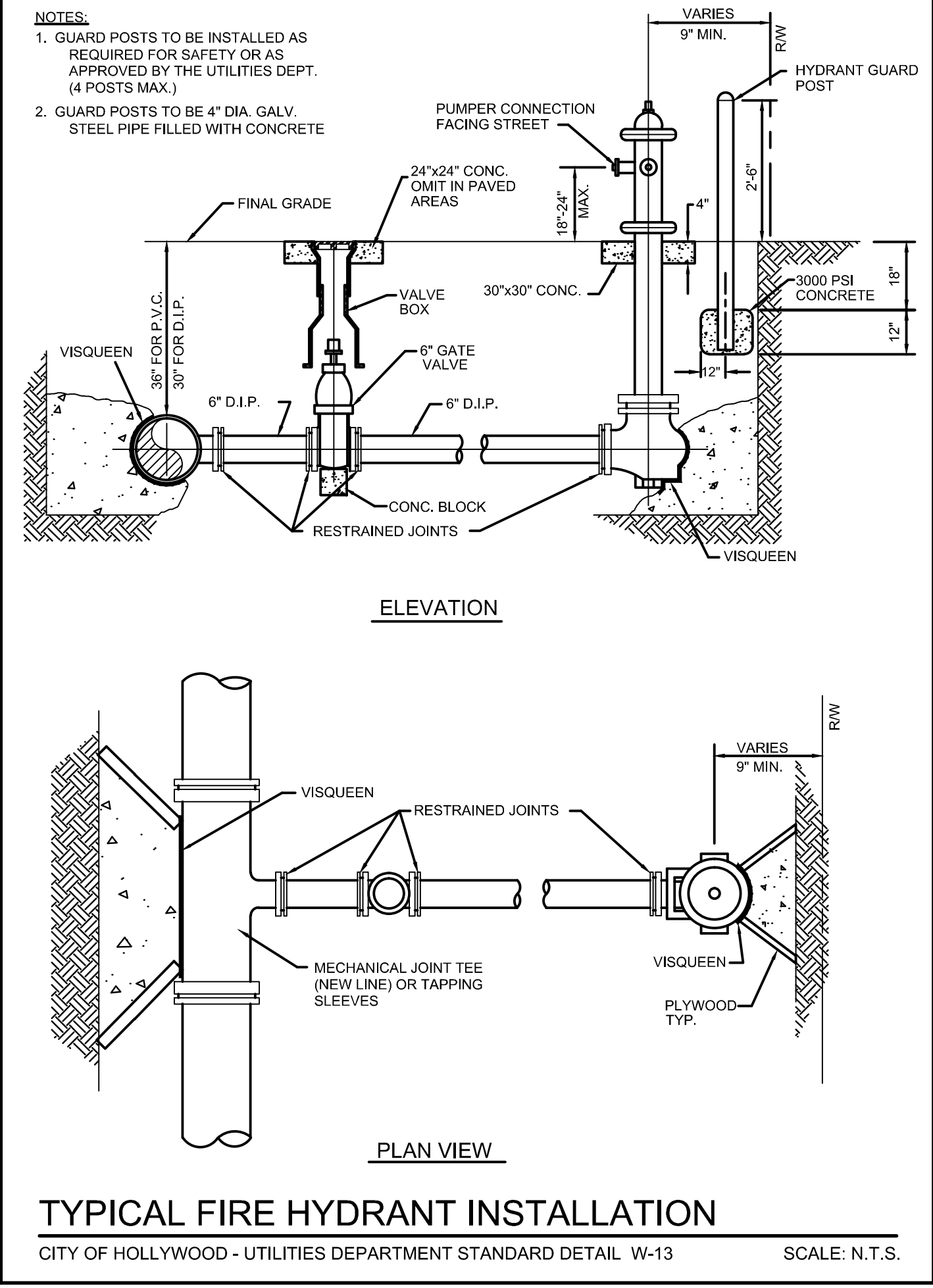
DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. W-15
 DRAWN: EAM
 APPROVED: TESTING AND DISINFECTION



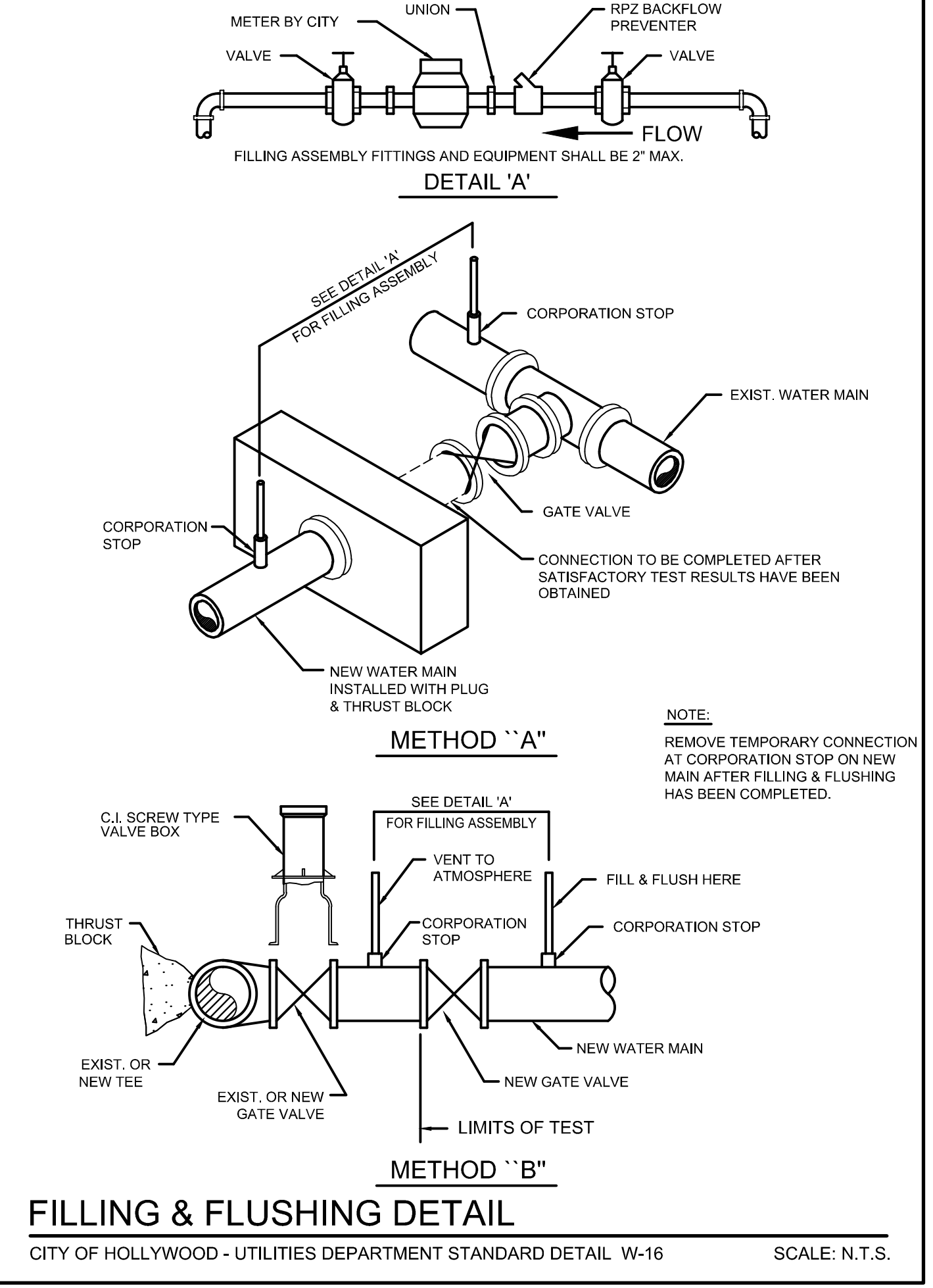
DATE: 3/01/94 CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL REVISED: DRAWING NO. W-20
 DRAWN: EAM
 APPROVED: FLEXIBLE PAVEMENT RESTORATION PERPENDICULAR UTILITY INSTALLATION



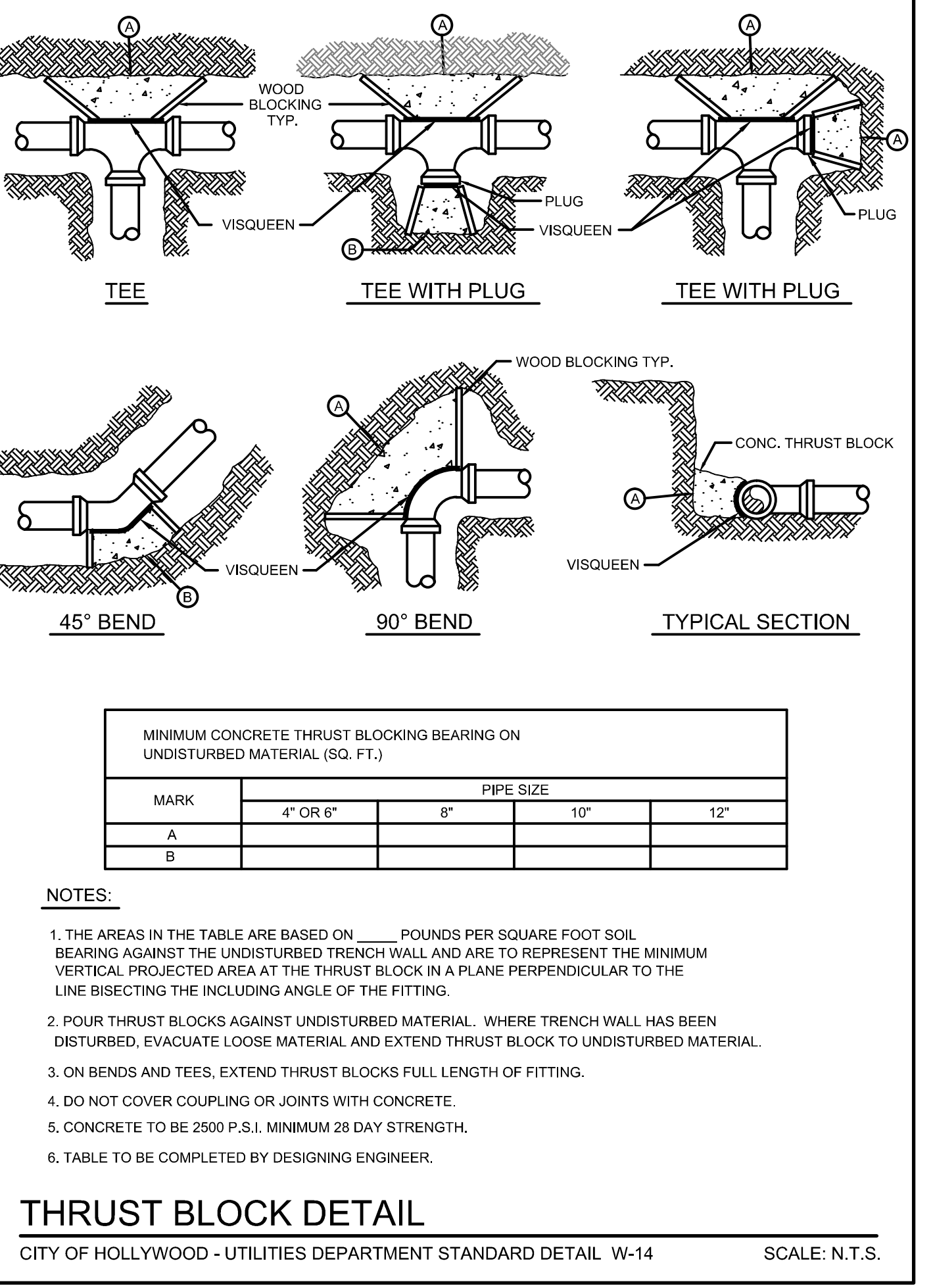
CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL W-17 SCALE: N.T.S.
 SAMPLE POINT DETAIL (W-17)



CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL W-13 SCALE: N.T.S.
 TYPICAL FIRE HYDRANT INSTALLATION



CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL W-16 SCALE: N.T.S.
 FILLING & FLUSHING DETAIL



CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL W-14 SCALE: N.T.S.
 THRUST BLOCK DETAIL

DATE: 3/18/16 AS NOTED
 SCALE: AS NOTED
 DESIGN BY: JW
 DRAWN BY: SC
 CHECKED BY: CE
 APPROVED BY: CE

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 35663 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA, 33309
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 FLORIDA LICENSED PROFESSIONAL ENGINEERS & SURVEYORS NO. 771
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C020114

YOUNG CIRCLE COMMONS - BLOCK 40
 CITY OF HOLLYWOOD
 BROWARD COUNTY

PREPARED FOR:
 BLOCK 40, LLC.

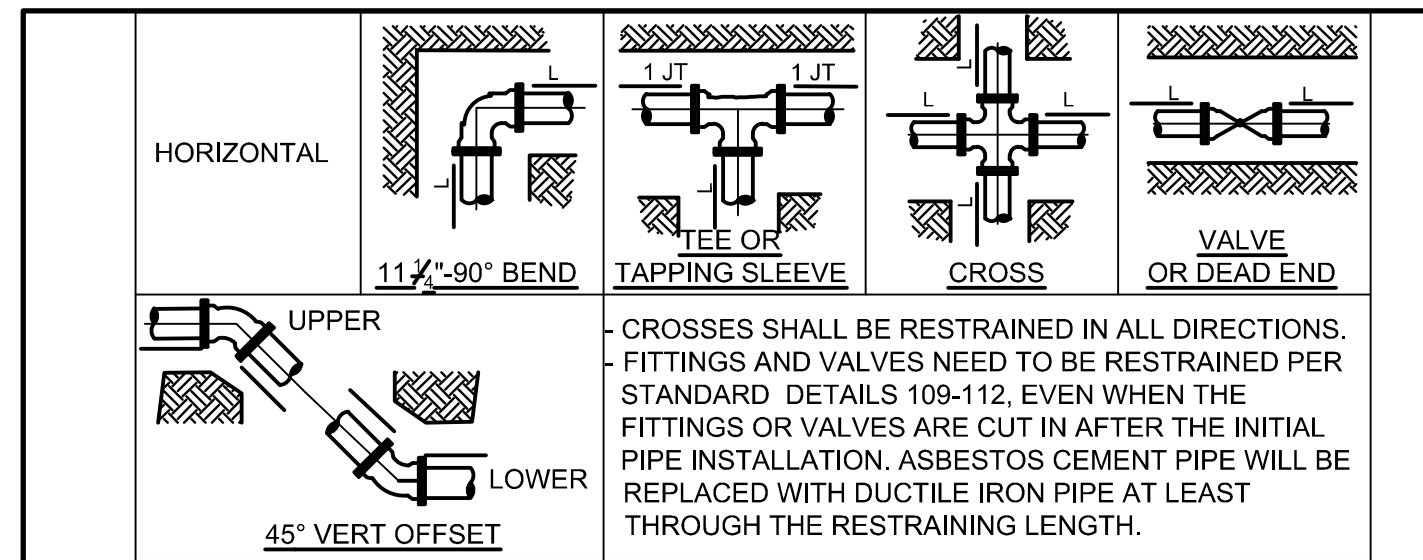
WATER & SEWER DETAILS

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016

PROJECT NO.
 02-0108-002-04

C-13
 SHEET 13 OF 15

G:\2002\02-0108-002-04 Hollywood Circle Block 40 Drawings\02-0108-WSDT.DWG [14] Sep 02, 2016 9:41am CEDWARDS



CROSSES SHALL BE RESTRAINED IN ALL DIRECTIONS. FITTINGS AND VALVES NEED TO BE RESTRAINED PER STANDARD DETAILS 109-112, EVEN WHEN THE FITTINGS OR VALVES ARE CUT IN AFTER THE INITIAL PIPE INSTALLATION. ASBESTOS CEMENT PIPE WILL BE REPLACED WITH DUCTILE IRON PIPE AT LEAST THROUGH THE RESTRAINING LENGTH.

DUCTILE IRON PIPE

Diameter	HORIZONTAL, L (FEET)					45° VERTICAL OFFSET (FEET)		
	11 1/2"	22 1/2"	45"	90"	Tee or Cross	Valves and Dead End	UPPER	LOWER
4	1	2	4	10	3	20	9	3
6	2	3	6	14	11	28	12	4
8	2	4	8	17	20	37	16	5
10	2	5	10	21	27	44	19	6
12	3	5	10	24	34	52	22	6

PVC PIPE

Diameter	HORIZONTAL, L (FEET)					45° VERTICAL OFFSET (FEET)		
	11 1/2"	22 1/2"	45"	90"	Tee or Cross	Valves and Dead End	UPPER	LOWER
4	2	3	5	12	5	32	14	3
6	2	4	7	16	18	45	19	5
8	3	5	9	21	31	59	25	6
10	3	5	11	25	43	71	30	7
12	3	6	12	29	55	83	35	7

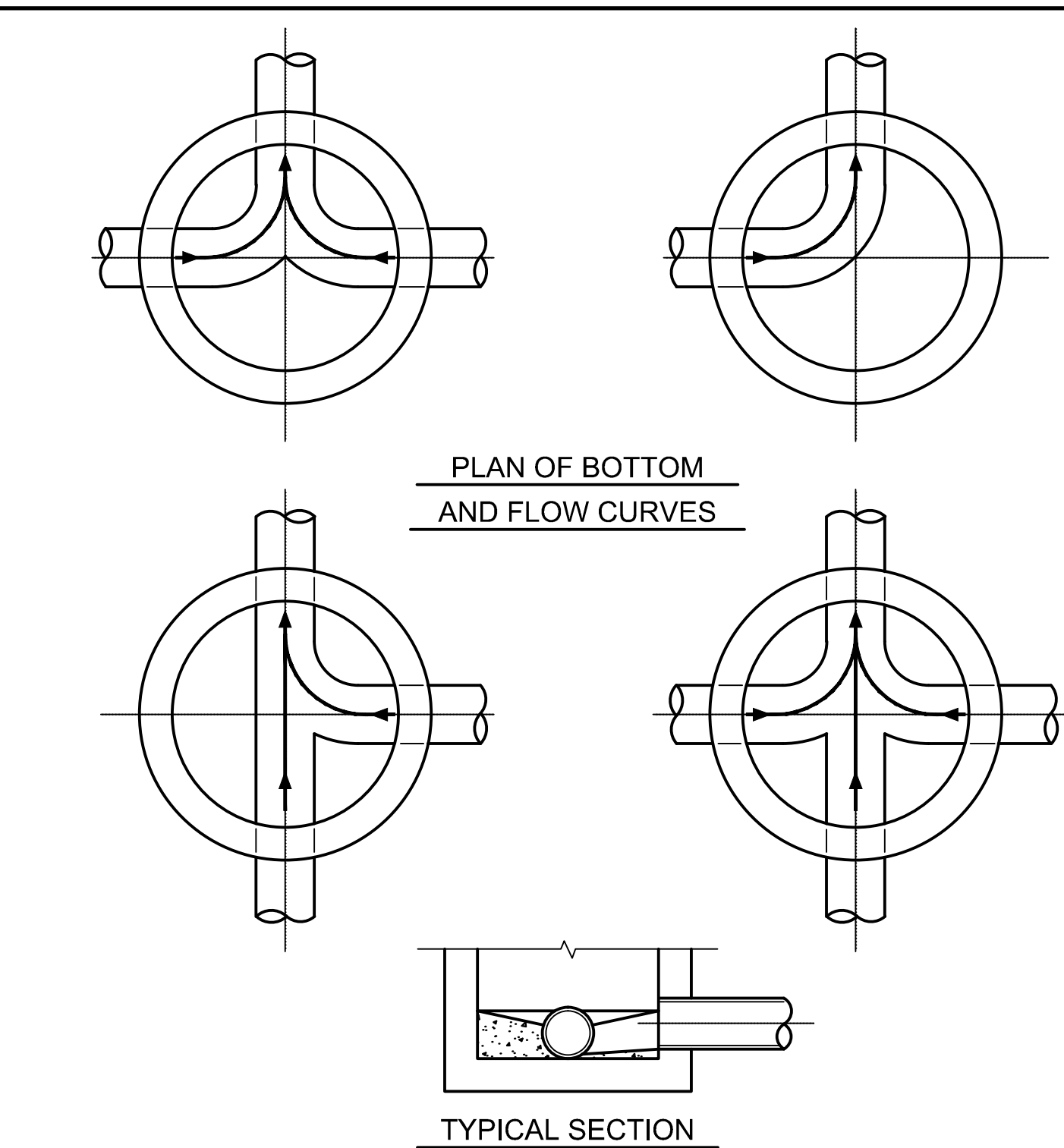
THE NOTED REQUIREMENTS WERE CALCULATED IN ACCORDANCE WITH THRUST RESTRAINT CALCULATOR V6.1 BY EBAA IRON WITH THE FOLLOWING ASSUMPTIONS:
 SOIL CONDITIONS: SAND (SW, SP, GW)
 LAYING CONDITION: 4, SAND BEDDING, BACKFILL COMPACTED > 80%
 MINIMUM COVER: 3.0 FT SAFETY FACTOR: 1.5 BARE PIPE
 IF FIELD CONDITIONS DIFFER FROM THE ABOVE, CONTRACTOR SHALL NOTIFY WWS.
 FOR PIPE LARGER THAN INCLUDED IN THE ABOVE TABLES, ENGINEER OF RECORD SHALL SUBMIT CALCULATIONS FOR EACH JOINT REQUIRING RESTRAINT.

**SINGLE FITTING RESTRAINED JOINT
150 PSI TEST PRESSURE**

DETAIL FROM BROWARD COUNTY PUBLIC WORKS DEPARTMENT, WATER & WASTEWATER SERVICES, ENGINEERING DIVISION 2555 WEST COPANS ROAD, POMPANO BEACH, FL 33069, 954-831-0745, DETAIL FIGURE 109

RESTRAINED JOINT REQUIREMENTS SINGLE FITTING

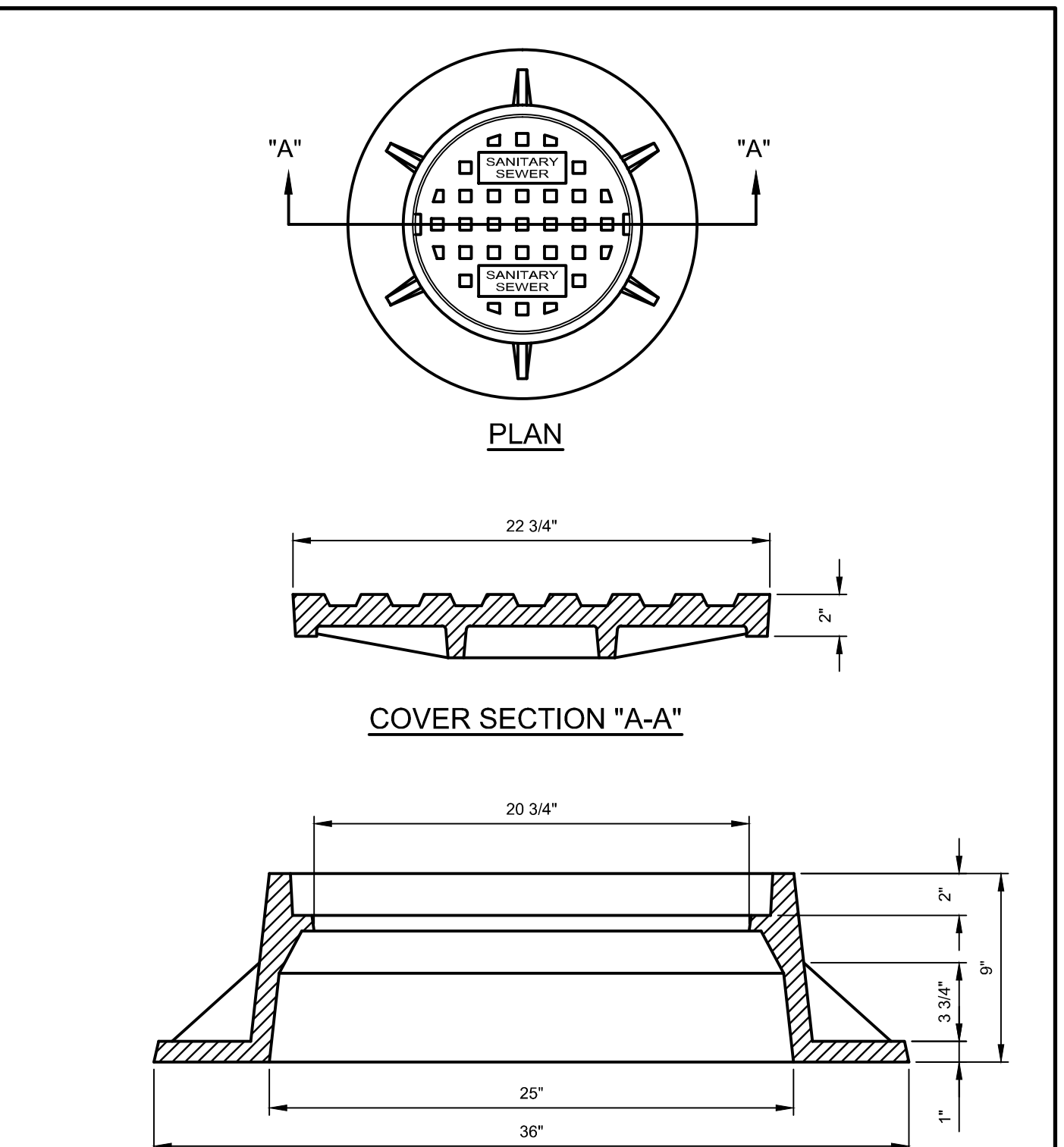
SCALE: N.T.S.



- NOTES**
1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
 2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
 3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
 4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

SANITARY SEWER FLOW CHANNEL

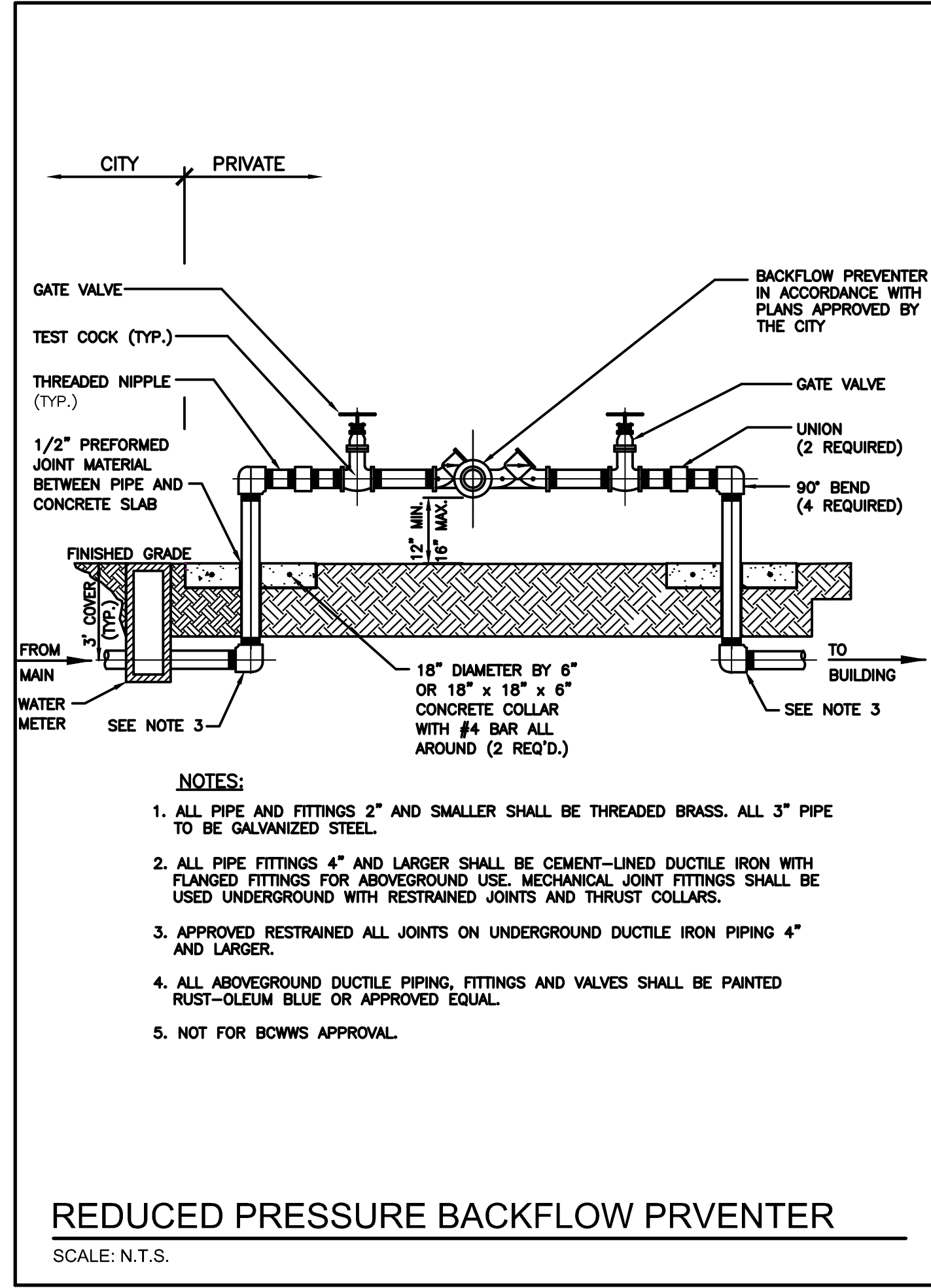
CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL SCALE: N.T.S.



- NOTES**
1. LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
 2. ALL BEARING SURFACES TO BE MACHINED.
 3. MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.

SANITARY SEWER MANHOLE COVER

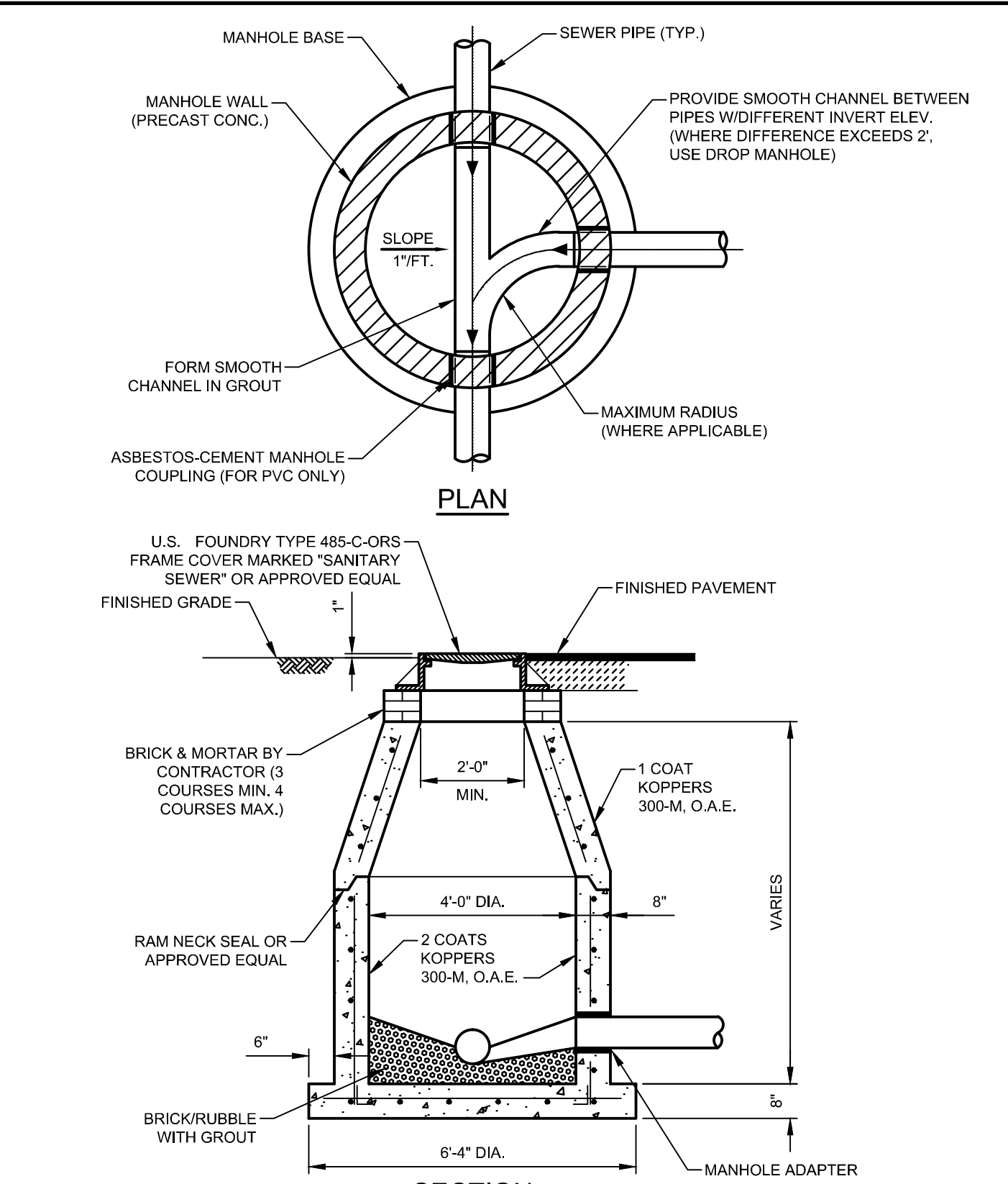
CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL SCALE: N.T.S.



- NOTES:**
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED BRASS. ALL 3" PIPE TO BE GALVANIZED STEEL.
 2. ALL PIPE FITTINGS 4" AND LARGER SHALL BE CEMENT-LINED DUCTILE IRON WITH FLANGED FITTINGS FOR ABOVEGROUND USE. MECHANICAL JOINT FITTINGS SHALL BE USED UNDERGROUND WITH RESTRAINED JOINTS AND THRUST COLLARS.
 3. APPROVED RESTRAINED ALL JOINTS ON UNDERGROUND DUCTILE IRON PIPING 4" AND LARGER.
 4. ALL ABOVEGROUND DUCTILE PIPING, FITTINGS AND VALVES SHALL BE PAINTED RUST-OLEUM BLUE OR APPROVED EQUAL.
 5. NOT FOR BCWS APPROVAL.

REDUCED PRESSURE BACKFLOW PRVENTER

SCALE: N.T.S.



- NOTES**
1. SHOP DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER, SHOWING ALL DIMENSIONS AND CALCULATIONS, INCLUDING CONCRETE REINFORCEMENT, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
 2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION.

SANITARY SEWER MANHOLE

CITY OF HOLLYWOOD - UTILITIES DEPARTMENT STANDARD DETAIL SCALE: N.T.S.

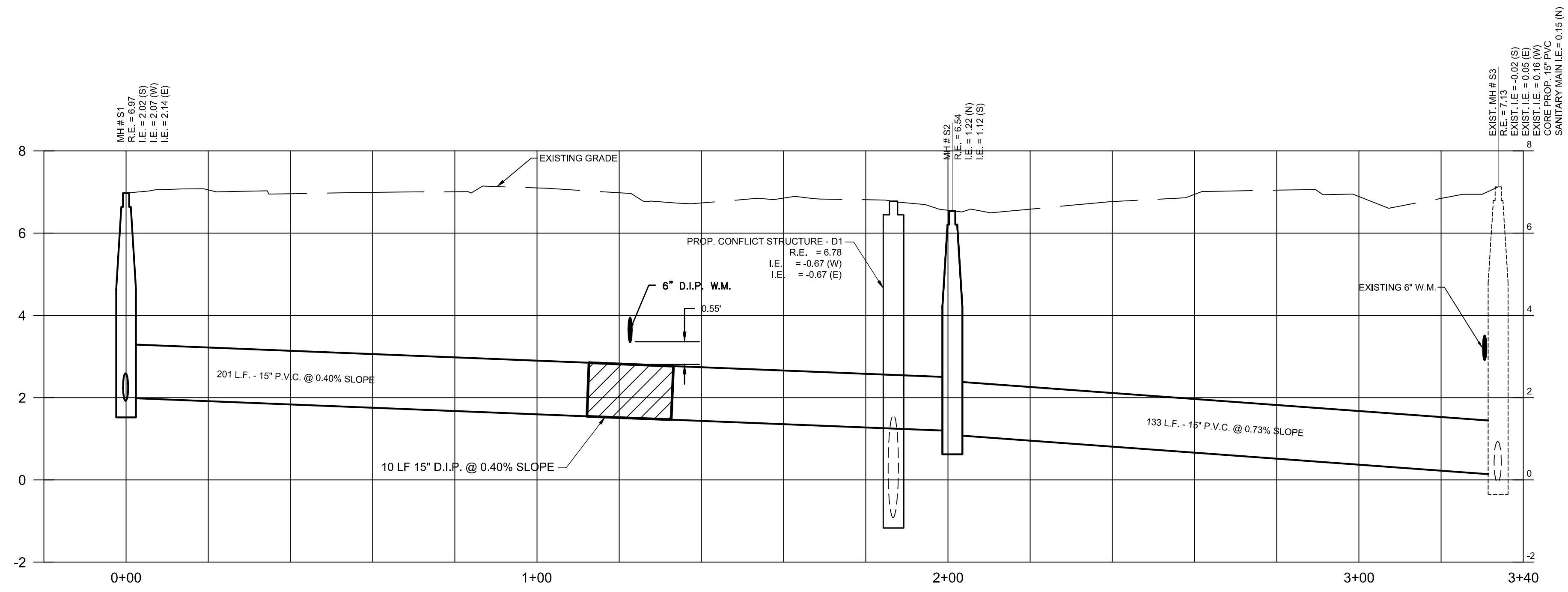
DATE:	3/18/16
SCALE:	AS NOTED
DESIGN BY:	JW
DRAWN BY:	SC
CHECKED BY:	CE
APPROVED BY:	CE

CRAVEN - THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 35663 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA, 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED PROFESSIONAL ENGINEERS & SURVEYORS NO. 771
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014
MATERIAL SHOWN HEREIN IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING BY CRAVEN THOMPSON & ASSOCIATES, INC. © 2006

YOUNG CIRCLE COMMONS - BLOCK 40
 CITY OF HOLLYWOOD
 BROWARD COUNTY
 PREPARED FOR:
 BLOCK 40, LLC.
WATER & SEWER DETAILS

Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016

PROJECT NO.
 02-0108-002-04



Chad Everett Edwards
 Florida P.E. No. 59306
 September 2, 2016


PROJECT NO.
 02-0108-002-04

C-15
 SHEET 15 OF 15

YOUNG CIRCLE COMMONS - BLOCK 40
 CITY OF HOLLYWOOD
 BROWARD COUNTY

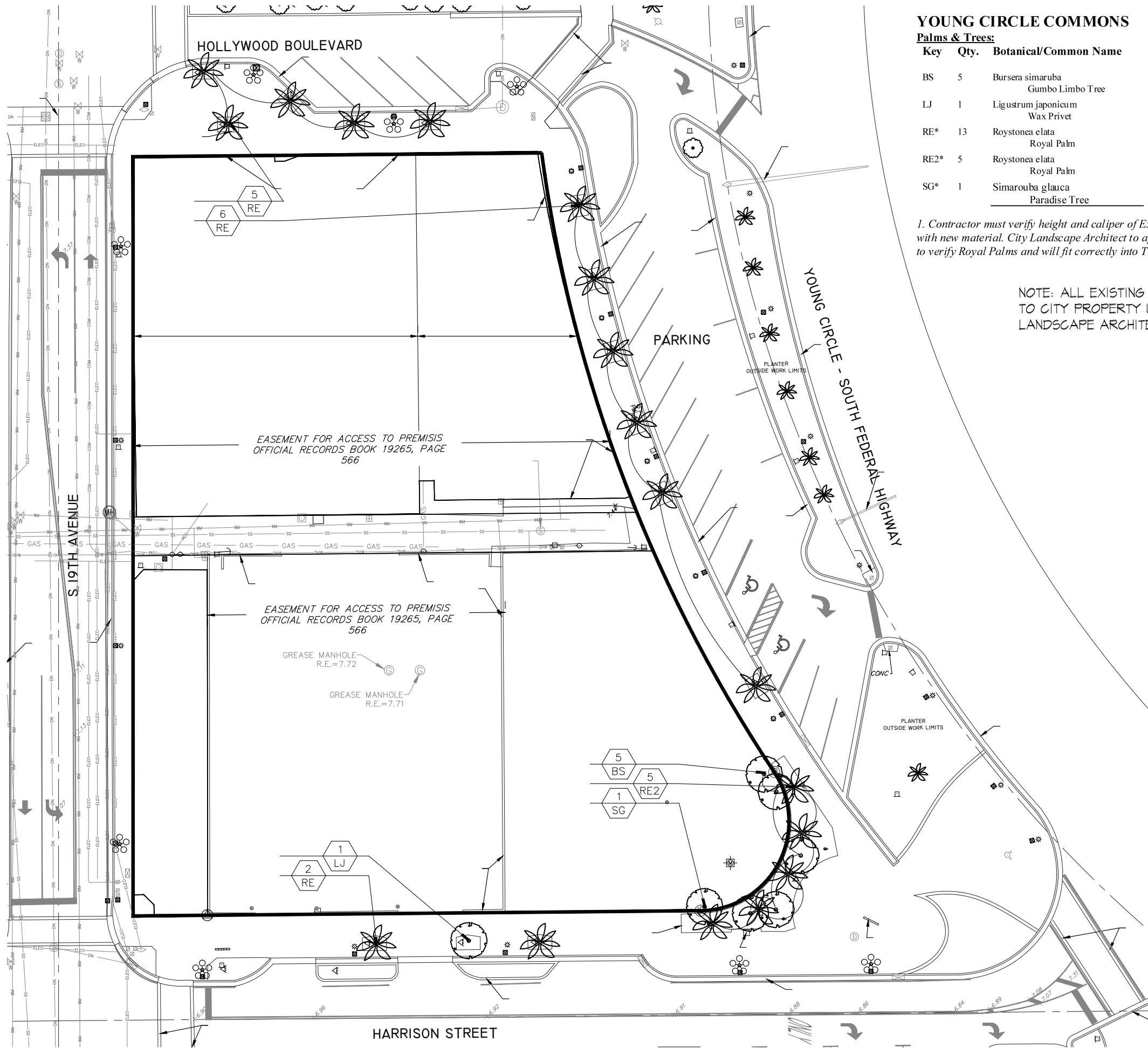
PREPARED FOR:
 BLOCK 40, LLC.

SANITARY SEWER PROFILE

 CRAVEN - THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
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 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C020114

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DATE:	3/18/16
SCALE:	AS NOTED
DESIGN BY:	JW
DRAWN BY:	SC
CHECKED BY:	CE
APPROVED BY:	CE



YOUNG CIRCLE COMMONS

Palms & Trees:

Key	Qty.	Botanical/Common Name	Height	Spread	Trunk c.f./cal	Remarks
BS	5	Bursera simaruba Gumbo Limbo Tree	10'-12'	14'	4"-7" cal.	
LJ	1	Ligustrum japonicum Wax Privet	12'	12'	5", 6" cal.	Multi-stem
RE*	13	Roystonea elata Royal Palm	22' of grey wood			Matched o.a. hts.
RE2*	5	Roystonea elata Royal Palm	26' of grey wood			Matched o.a. hts.
SG*	1	Simarouba glauca Paradise Tree	12'	15'	6"	

1. Contractor must verify height and caliper of Existing Royal Palm trunks before removal and match this size with new material. City Landscape Architect to approve new Royal Palms before installation, and Contractor to verify Royal Palms and will fit correctly into Tree Grate openings.

NOTE: ALL EXISTING TREES / PALMS TO BE RELOCATED TO CITY PROPERTY UNDER THE DIRECTION OF CITY LANDSCAPE ARCHITECT / INSPECTOR'S APPROVAL.

FL. REG. # LA6666848

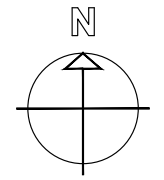
SCOTT C. HEYNE RLA
LANDSCAPE ARCHITECTURE AND LAND PLANNING
1627 Funston St., Hollywood, FL
PHONE 954-920-4945 scottc@scottc.com

BLOCK 40 CITY of HOLLYWOOD
1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
GROUND LEVEL
EXISTING TREE PLAN

NO. REVISION DATE
DATE: 21 MARCH 2016
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SHEET

T-1



SCALE 1/16"=1'-0"

TAC SITE PLAN REVIEW

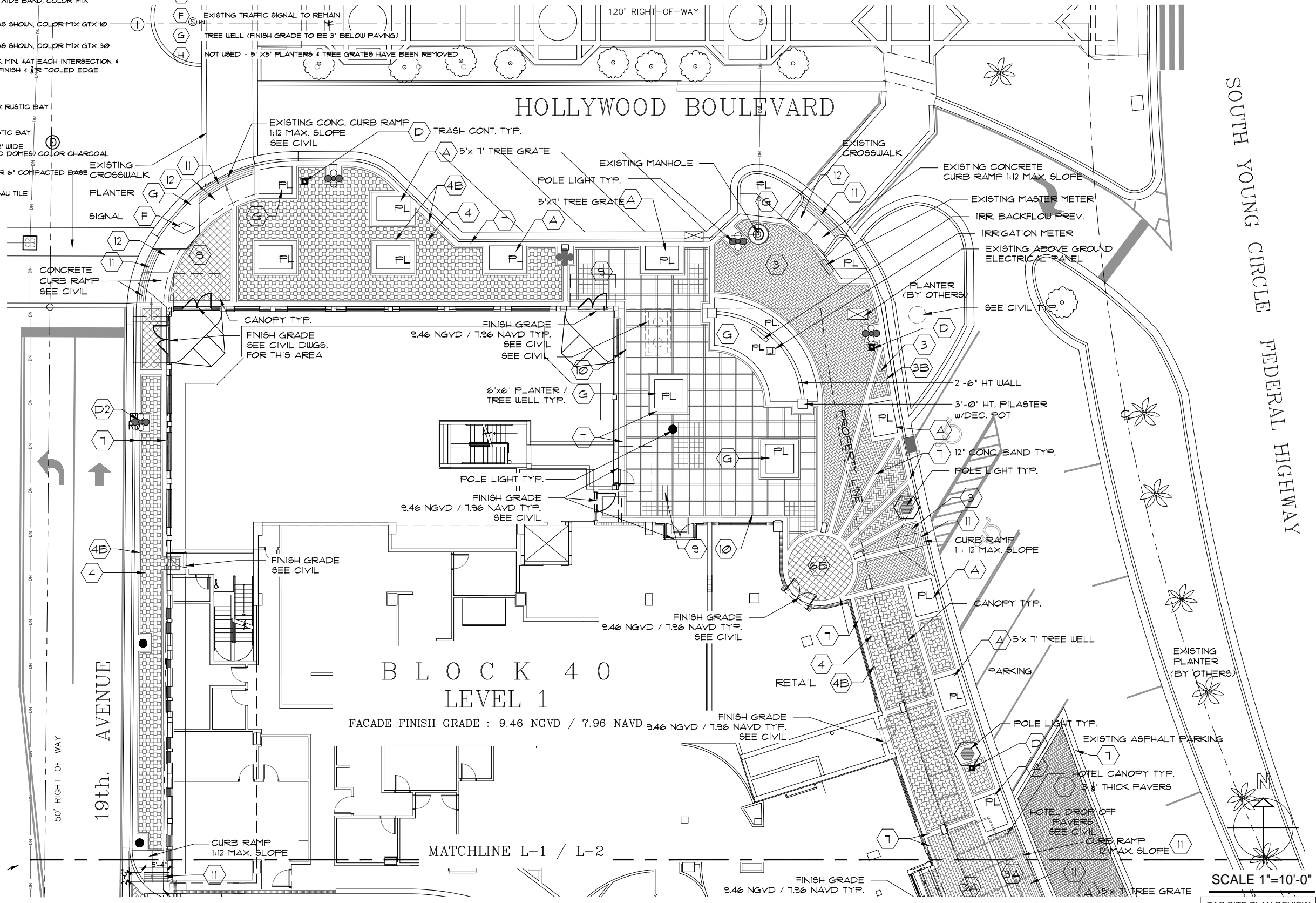
HARDSCAPE MATERIALS

SITE LEVEL

- 1 4"x8"x2 3/8" PAVER, TUMBLED, HERINGBONE PATTERN, COLOR MIX RUSTIC BAY PROVIDE 3/4" THICK PAVERS @ ALL VEHICULAR CROSSWALK AREAS TYP
 - 2 4"x8"x2 3/8" PAVER, NOT TUMBLED, UPSIDE DOWN, 4" WIDE BAND, COLOR MIX RUSTIC BAY
 - 3 2 3/4"x 12"x 6" WAUSAU GRANITEX PAVER, HERRINGBONE PATTERN, ALIGN W/CL OF FIELD @ 45 DEGREE, RANDOM MIX OF COLORS 25% OF GTX-10 / GTX-20 GTX-30 & GTX-120.
 - 3A 2 3/4"x 12"x 6" WAUSAU GRANITEX PAVER, RUNNING BOND PATTERN, RANDOM MIX OF COLORS 25% OF GTX-10 / GTX-20 GTX-30 & GTX-120.
 - 4 EXISTING UNIDECOR 2 3/8" PAVER, PATTERN, STYLE AND COLOR MIX TO BE APPROVED BY CRA DESIGN GUIDELINES AND CITY LANDSCAPE ARCHITECT TO MATCH CITY PAVER
 - 4B 4"x 8"x 2 3/8" PAVER, 4" BAND, COLOR MIX TO BE APPROVED BY CRA DESIGN GUIDELINES AND CITY LANDSCAPE ARCHITECT TO MATCH CITY PAVER
 - 5 4"x8"x2 3/8" PAVER, NOT TUMBLED, UPSIDE DOWN, 8" WIDE BAND, COLOR MIX TO MATCH EXISTING CITY PAVER
 - 6A 12"x 12"x 2" GRANITEX PAVERS BY WAUSAU, PATTERN AS SHOWN, COLOR MIX GTX 10
 - 6B 12"x 12"x 2" GRANITEX PAVERS BY WAUSAU, PATTERN AS SHOWN, COLOR MIX GTX 30
 - 7 8"x12" WIDE CONC. BAND W/ EXPANSION JOINTS @ 10' O.C. MIN. @ EACH INTERSECTION & CORNER - SEE LAYOUT DETAIL SHEET L-1 - BRUSH FINISH & 1/8" TOOLED EDGE
 - 8 4" CONC. SLAB W/ BRUSH FINISH WITH GREEN TILE AND TOOLED JOINT (MATCH EXISTING CITY PAVING)
 - 9 12"x12"x2 3/8" PAVER, STACKED PATTERN, COLOR MIX RUSTIC BAY
 - 10 4"x 8"x 2 3/8" PAVERS, NOT TUMBLED, (UPSIDE DOWN), 4" WIDE BANDS @ 3'-4" O.C. EA. WAY COLOR MIX RUSTIC BAY
 - 11 4"x 8"x 2 3/8" PAVERS, NOT TUMBLED, RUNNING BOND, 2" WIDE ADA COMPLIANT DETECTABLE WARNING (TRUNCATED DOMES) COLOR CHARCOAL
 - 12 4" CONC. SLAB W/ BRUSH FINISH, W/ 6" x 6" WUM OVER 6" COMPACTED BASE AND TOOLED JOINT (MATCH EXISTING CITY PAVING)
- PAVERS EQUAL TO BELGARD (OLDCASTLE) & WAUSAU TILE

SITE FURNISHING

- A *TREE WELLS / PLANTERS TO BE FINISHED WITH PERMEABLE WALKABLE SURFACE (EQUAL TO KBI FLEXIBLE POROUS PAVING OR EPOXY STONE WITH TROUPEL FINISH) UNDER DIRECTION OF CITY LANDSCAPE ARCHITECT AND CRA TREES SHALL UTILIZE A 10' X 10' PAVER-GRATE SUSPENDED PAVEMENT OR 12' X 12' SILVA CELLS TBD
- B *ROYAL PALM PLANTERS: TREE GRATE 5'x1' WITH (24") OPENING, TO MATCH EXISTING CITY OF HOLLYWOOD- EXISTING TO BE REUSED & REFURBISHED; IRON GRATE BY NEENAH FOUNDRY CO., MODEL# R8811-A W/REMOVABLE 13" DIA. LIGHT OPENING SECTION, UNPAINTED
- (1) BIKE RACK MATCH EXISTING CITY OF HOLLYWOOD EQUAL TO VICTOR STANLEY BRCS-105 TEAL POWDER COAT, IN GROUND MOUNT, PROVIDE 12"x12"x24" CONC. FOOTINGS
- (3) TRASH RECEPTACLE TO MATCH EXISTING (OR REUSED & REFURBISHED EXISTING) EQUAL TO VICTOR STANLEY #9-42 W/BLACK POWDER COAT FINISH AND GALV. STEEL LINER
- (5) POLE LIGHT TRASH RECEPTACLE TO MATCH EXISTING (OR REUSED & REFURBISHED EXISTING)
- E DIRECTIONAL SIGN - EXISTING CITY OF HOLLYWOOD SIGN TO BE RELOCATED
- F EXISTING TRAFFIC SIGNAL TO REMAIN
- G TREE WELL (FINISH GRADE TO BE 3' BELOW PAVING)
- H NOT USED - 5' X 5' PLANTERS & TREE GRATES HAVE BEEN REMOVED



FL. REG. # LA6666848

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 LANDSCAPE ARCHITECTURE AND LAND PLANNING
 1627 Funston St., Hollywood, FL
 PHONE 954-920-4945 quest2@comcast.net

BLOCK 40 CITY OF HOLLYWOOD
 1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
 GROUND LEVEL
HARDSCAPE PLAN

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SHEET

L-1

SCALE 1"=10'-0"

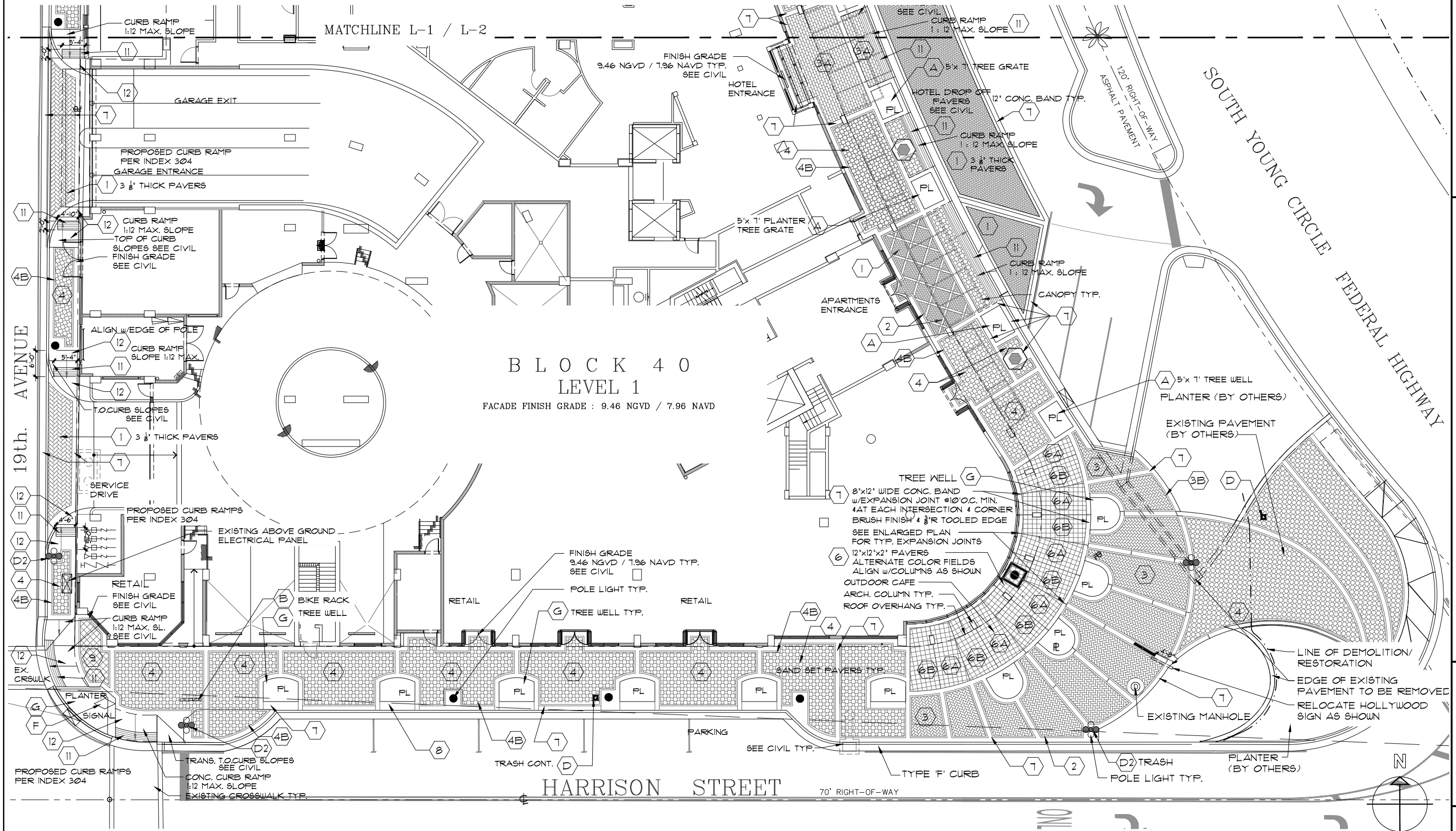
TAC SITE PLAN REVIEW

BLOCK 40 CITY of HOLLYWOOD
1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
GROUND LEVEL
HARDSCAPE PLAN

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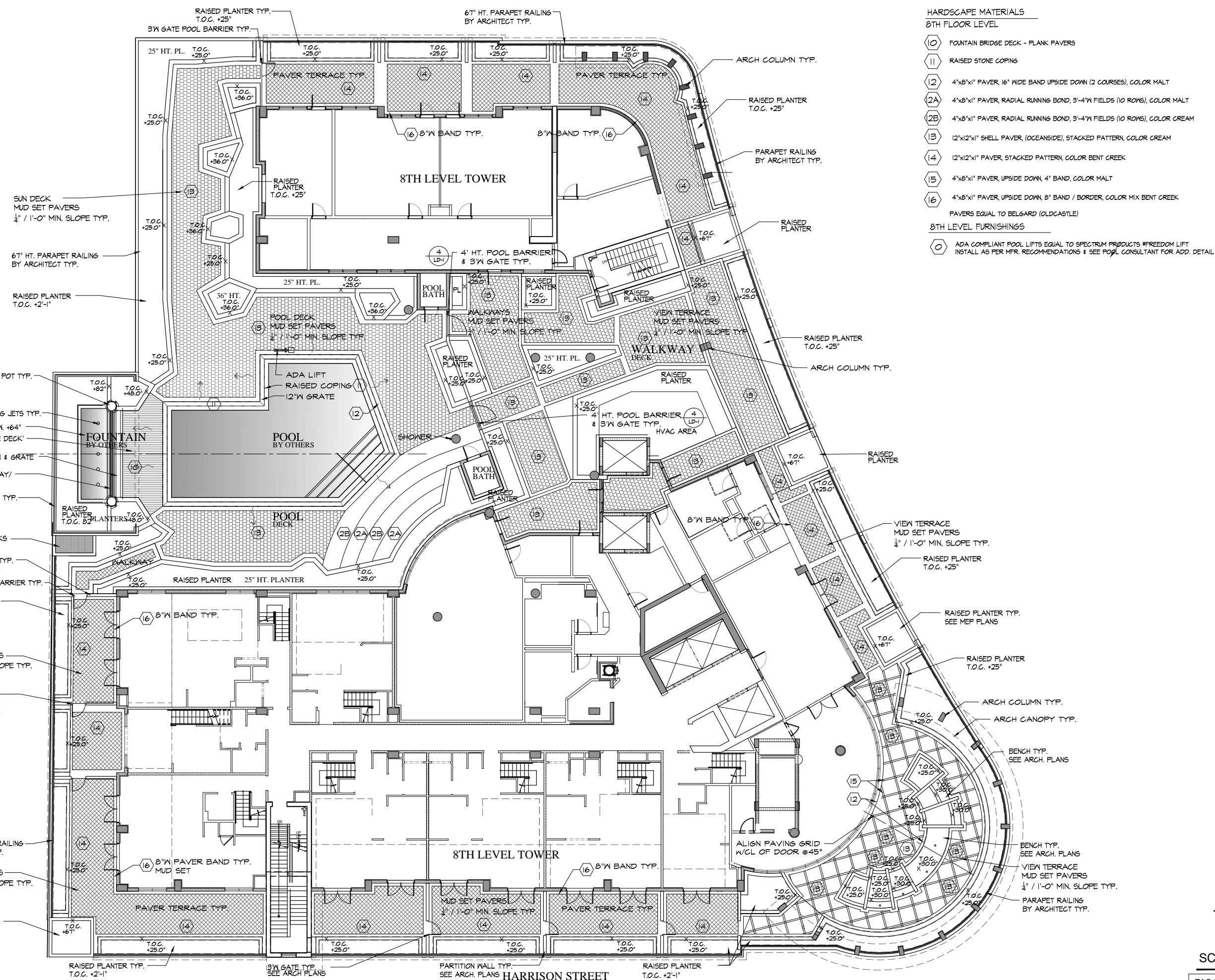
SHEET

L-2



BLOCK 40
LEVEL 1
FACADE FINISH GRADE : 9.46 NGVD / 7.96 NAVD

SCALE 1"=10'-0"
TAC SITE PLAN REVIEW



- HARDSCAPE MATERIALS**
8TH FLOOR LEVEL
- (10) FOUNTAIN BRIDGE DECK - PLANK PAVERS
 - (11) RAISED STONE COPING
 - (12) 4"x8"x1" PAVER, 16" WIDE BAND UPSIDE DOWN (2 COURSES), COLOR MALT
 - (2A) 4"x8"x1" PAVER, RADIAL RUNNING BOND, 3'-4" W FIELDS (10 ROWS), COLOR MALT
 - (2B) 4"x8"x1" PAVER, RADIAL RUNNING BOND, 3'-4" W FIELDS (10 ROWS), COLOR CREAM
 - (3) 12"x12"x1" SHELL PAVER, (OCEANSIDE), STACKED PATTERN, COLOR CREAM
 - (4) 12"x12"x1" PAVER, STACKED PATTERN, COLOR BENT CREEK
 - (5) 4"x8"x1" PAVER, UPSIDE DOWN, 4" BAND, COLOR MALT
 - (6) 4"x8"x1" PAVER, UPSIDE DOWN, 8" BAND / BORDER, COLOR MIX BENT CREEK
- PAVERS EQUAL TO BELGARD (OLDCASTLE)
- 8TH LEVEL FURNISHINGS**
- (O) ADA COMPLIANT POOL LIFTS EQUAL TO SPECTRUM PRODUCTS #FREEDOM LIFT
INSTALL AS PER MFR. RECOMMENDATIONS & SEE POOL CONSULTANT FOR ADD. DETAIL

FL. REG. # LA6666848

SCOTT C. HEYENEN, RIA LLC
LANDSCAPE ARCHITECTURE AND LAND PLANNING

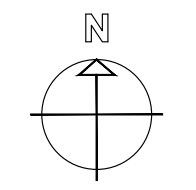
1627 Funston St., Hollywood, FL
PHONE 954-920-4945 quest2@comcast.net

BLOCK 40 CITY OF HOLLYWOOD
1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
8TH LEVEL
HARDSCAPE PLAN

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L-3



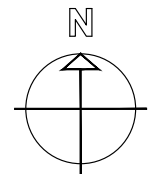
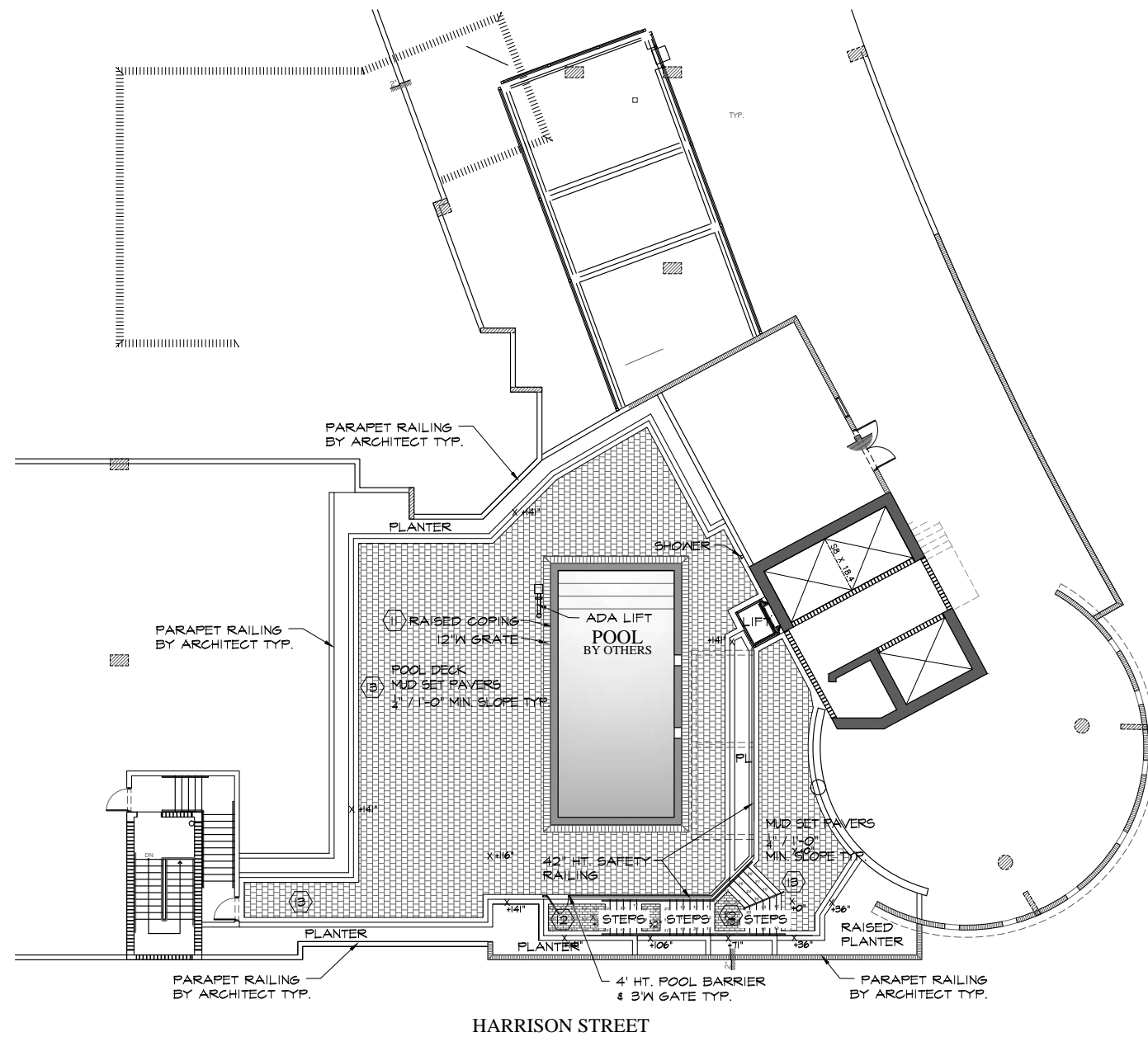
SCALE 1"=10'-0"

TAC SITE PLAN REVIEW

RAISED PLANTER TYP. T.O.C. +2'-1"
3'W GATE TYP. SEE ARCH PLANS
PARTITION WALL TYP. SEE ARCH PLANS
HARRISON STREET
RAISED PLANTER T.O.C. +2'-1"

HARDSCAPE MATERIALS
ROOF LEVEL DECK

- (11) RAISED STONE COPING, SEE DETAIL ON SHEET LD-1
- (12) 4"x8"x1" SHELL PAVER, (OCEANSIDE), RUNNING BOND, COLOR SAND
- (13) 12"x12"x1" SHELL PAVER, (OCEANSIDE), STACKED PATTERN, COLOR CREAM PAVERS EQUAL TO BELGARD (OLDCASTLE)



SCALE 1"=10'-0"

TAC SITE PLAN REVIEW

FL. REG. # LA6666848

SCOTT C. HEYDEN, RLA LLC
LANDSCAPE ARCHITECTURE AND LAND PLANNING

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PHONE 954-920-4945 quest2@comcast.net

BLOCK 40 CITY OF HOLLYWOOD
1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
ROOF LEVEL
HARDSCAPE PLAN

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SHEET

L-4

LANDSCAPE SCHEDULE

LANDSCAPE CRITERIA - CCC-2 ZONING

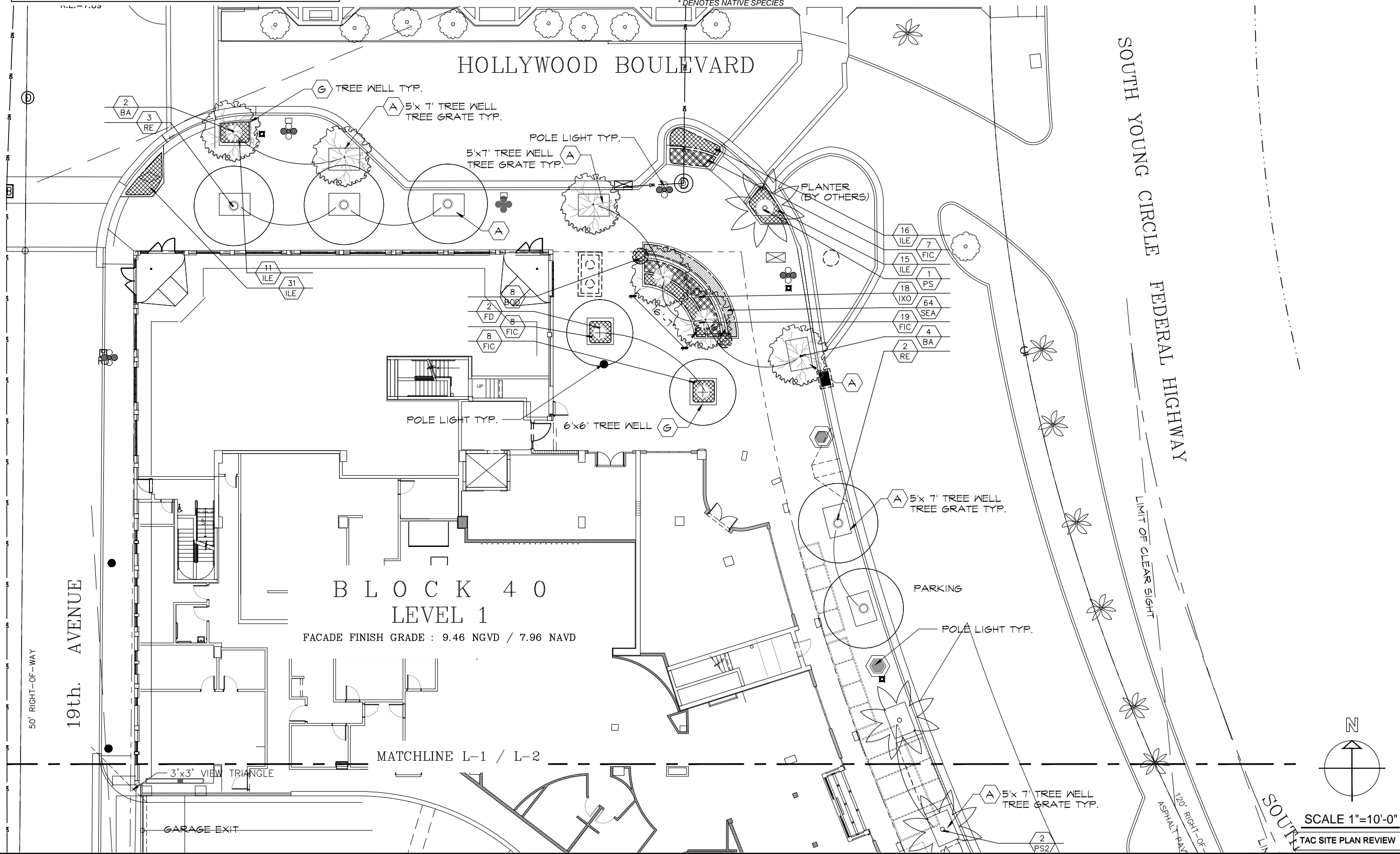
	REQUIRED	PROVIDED
VEHICLE USE AREAS: Exempt - for Structures, & concealed from public view article 9.2.c		
BUILDING PERIMETER : 1 TREE / 50 LF	18	29
862/50 = 17.2		
BUFFERYARDS	No specific requirements for CCC-2	
NATIVE PLANT MATERIAL	60% OF REQUIRED TREES	
	60% OF 18	11
	50% OF SHRUBS (248)	149
QUANTITY OF TREE SPECIES	18 = 3 SPECIES	4
50% SHALL BE DICOTYLEDON TREES	9	13 DICOTS

NOTES:
 All landscape areas to receive 100% coverage with 50% overlap by an automatic irrigation system with a moisture sensor / rain gauge shut-off. Over-spray is prohibited onto the roadway or sidewalk. Irrigation shall be maintained continuously in a sound workmanlike manner.
 No trees shall be planted within 5' of a water main, water service or a sanitary lateral. Provide root barrier for trees that are planted within 6' of drainage pipe.
 Plant material in planters with palms, shall not be planted within the root ball zone of the palm. A clear zone around rootball shall remain undisturbed.

TREES & PALMS			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
BA	11	Bulnesia arborea	14' - 16' HT. X 8" SPR. X 6" C.T. 3.5" CAL.
		VERAWOOD	F.G.
FD	2	Filicium decipiens	14" HT. X 6" SPR. X 6" C.T. 3" CAL.
		JAPANESE FERN TREE	F.G.
PS	5	Phoenix sylvestris 'Robusta' Matched	14" C.T. MATCHED
		SILVER DATE PALM	F.G.
PS2	2	Phoenix sylvestris 'Robusta' Matched	18" C.T. MATCHED
		SILVER DATE PALM	F.G.
RE*	9	Roystoea elata	18" C.T. MATCHED
		FLORIDA ROYAL PALM	F.G.

SHRUBS & GROUNDCOVERS			
KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION / SPACING
AO	2	Alcantera 'odorata'	BROMELIAD
BOD	9	Bougainvillea 'Helen/Johnson' Dwarf	DWARF BOUGAINVILLEA
ASP	183	Asparagus densiflorus 'Myers'	FOXTAIL FERN
FIC	211	Ficus microcarpa 'Green Island'	GREEN ISLAND FICUS
ILE*	151	Ilex vomitoria 'Schillings Dwarf'	DWARF YAUPON HOLLY
IXO	71	Ixora 'Nora Grant'	NORA GRANT IXORA
SEA	64	Seasonal color - Annuals	Summer: Pentas / Winter: Cleome
			4" POTS @ 12" O.C.

- Note : Contractor ust verify height and caliper of existing Royal Palm trunks before removal and match this size with new material. City Landscape Architect to approve new Royal Palms before installation, and Contractor to verify Royal Palms will fit correctly into Tree Grate openings.



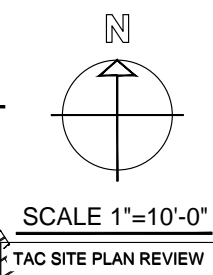
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BLOCK 40 CITY of HOLLYWOOD
 1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
 GROUND LEVEL
 PLANTING PLAN

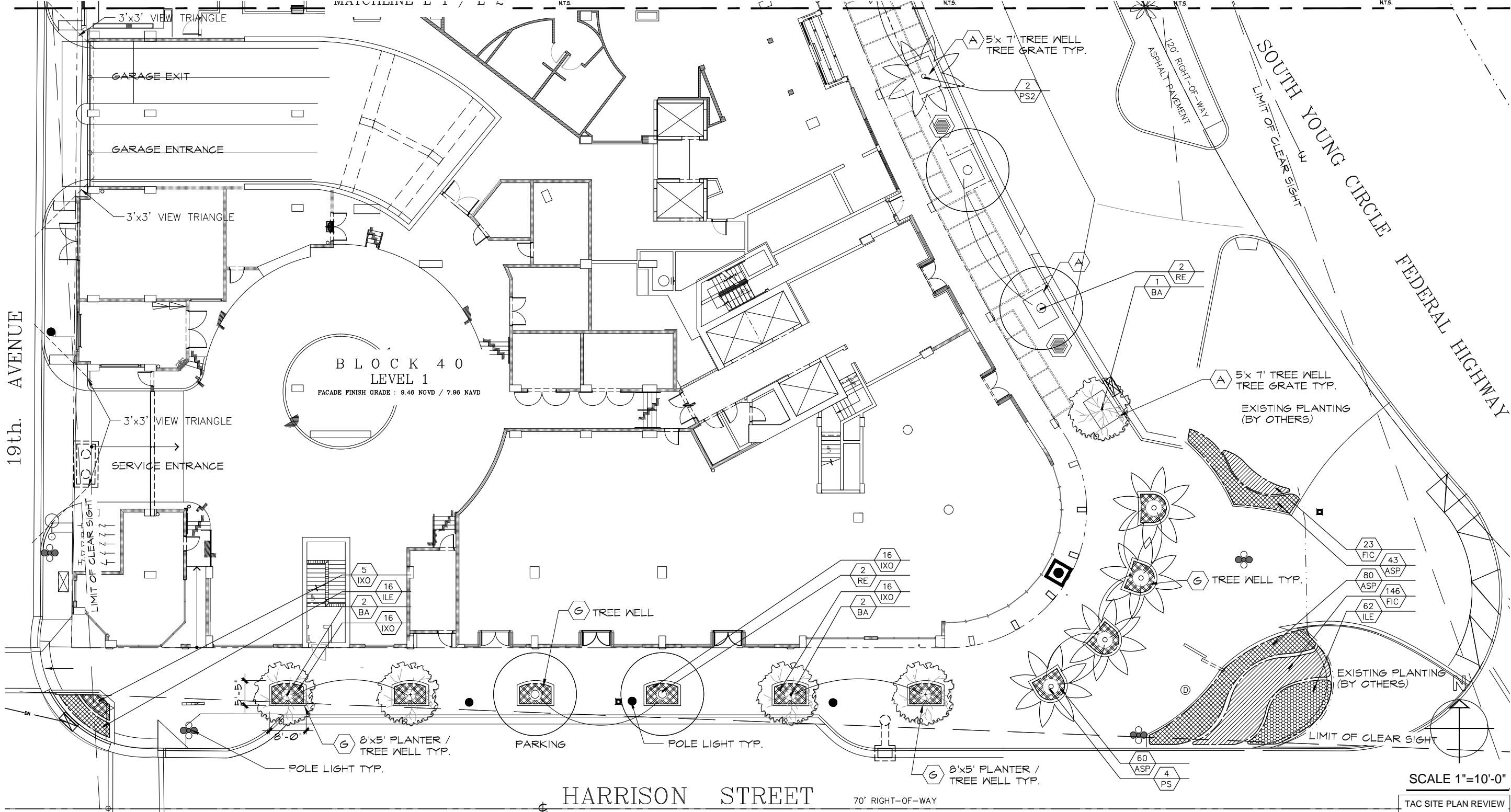
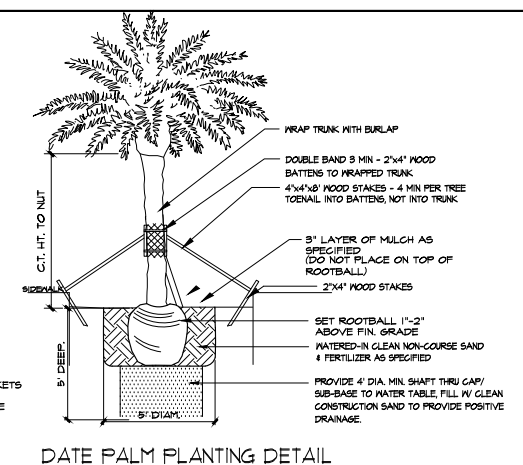
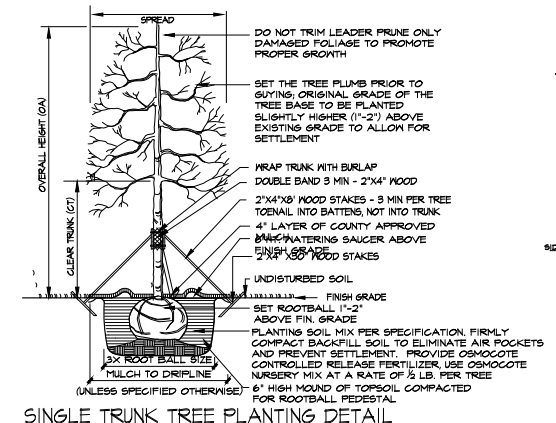
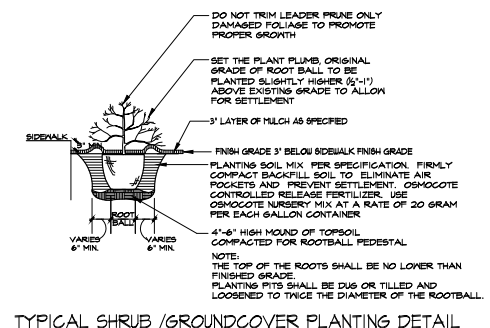
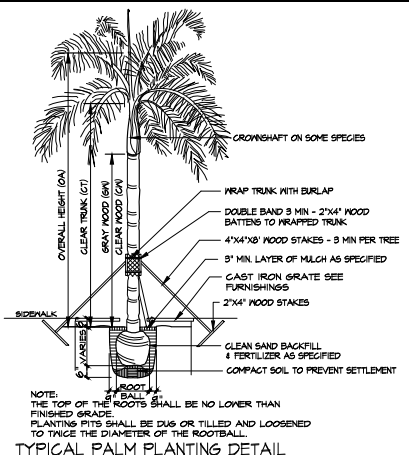
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 SCOTT C HEYNEEN

SHEET
 P-1



GENERAL NOTES

- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", 2nd Edition: February 1990, State of Florida Department of Agriculture, Tallahassee, or thereto.
- All landscape areas to be provided with a 100% automatic irrigation system.
- All landscaping and irrigation shall be installed in a sound workmanlike manner and according to accepted and proper planting procedures with the quality of plant materials described.
- Specifications of plant materials as follows: Spread-indicates average spread to midpoint; Height (o.a.)-indicates overall height from top of root ball to midpoint of current season's growth; C.T.-indicates clear trunk measurement to first branching; Ft. of Wood-indicates measurement on palms from top of ball to top of stakes.
- All trees shall be properly guyed and staked at the time of planting to ensure proper establishment.
- Hedges shall be planted and maintained so as to form a continuous, unbroken, solid visual screen.
- The planting soil for all planting areas shall be composed of a minimum of 30% muck or horticulturally acceptable organic material. The minimum soil depth shall be EIGHT inches in all hedge and mass planting beds and 1/2 cu. yd. per tree. Palms to be planted in clean sand.
- A minimum of three inches of shredded mulch or ground cover shall be installed around each tree planting, including palm trees, and throughout hedge and shrub plantings.
- The contractor is responsible for his own quantity count. Any discrepancy between drawings and plant list shall be considered as correct on the drawings.



FL. REG. # LA666848

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PHONE 954-920-4945 quest2@comcast.net

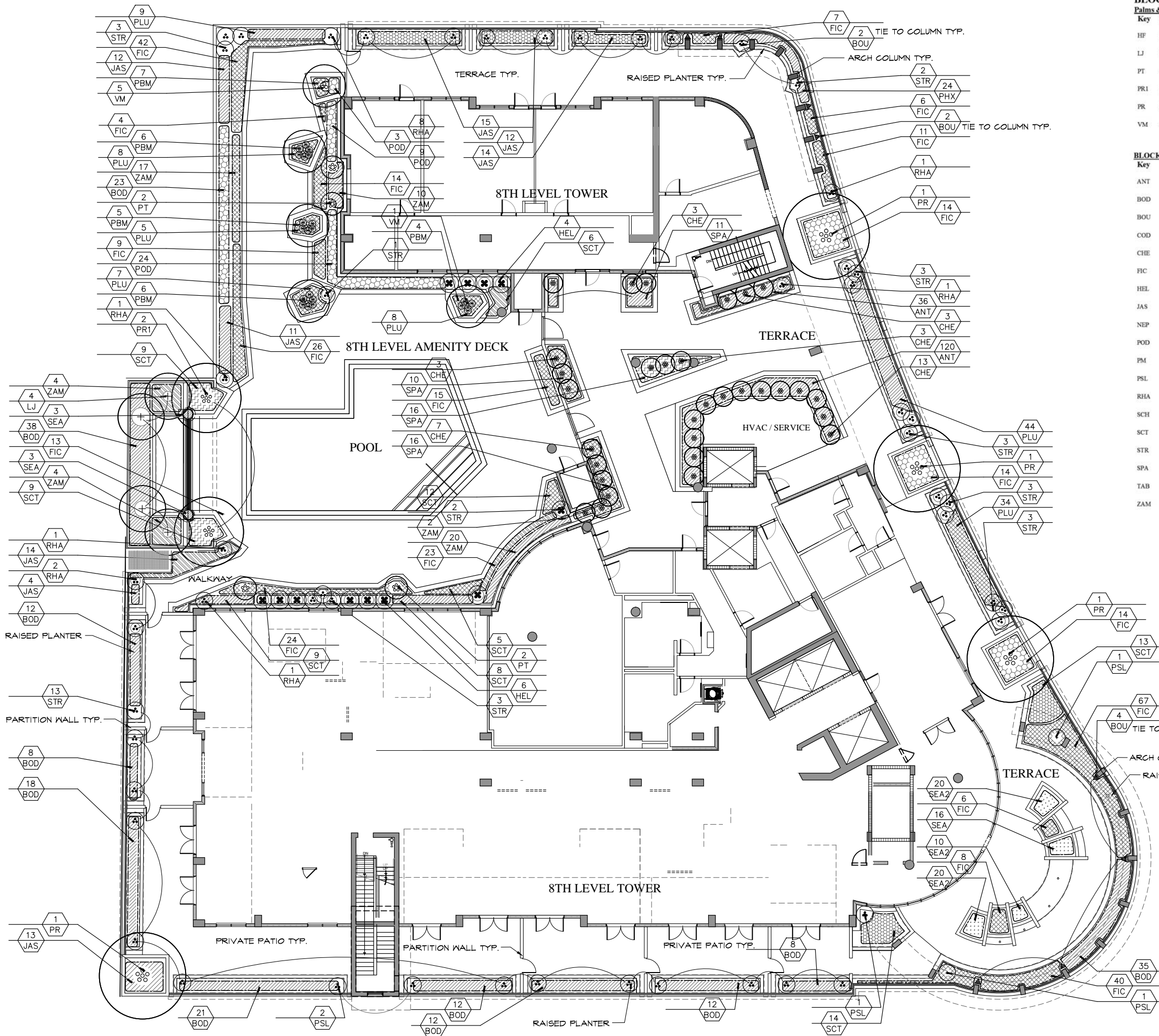
BLOCK 40 CITY OF HOLLYWOOD
1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
GROUND LEVEL PLANTING PLAN

NO. REVISION DATE
DATE: 21 MARCH 2016
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P-2

SCALE 1"=10'-0"
TAC SITE PLAN REVIEW



BLOCK 40 - LEVEL 8

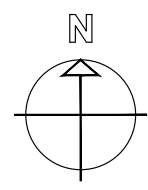
Palms & Trees:

Key	Qty.	Botanical/Common Name	Height	Spread	Trunk	Remarks
HF	3	Howea forsteriana 'Triple' Kentia Palm	6-8' o.a.			
LJ	4	Ligustrum japonicum Wax Privet	10-12'	7-8'	6' c.t.	Multi-stem
PT	5	Psychospermum macarthuri Macarthur Palm	10'-12'			7-9 trunks, full
PR1	2	Phoenix reclinata Senegal Date Palm	14-16'	12'-14'		3 trunks min.
PR	2	Phoenix reclinata Senegal Date Palm	14-16'	12'-14'		5 trunks min.
VM	8	Veitchia montgomeryana 'Triple' Montgomery Palm	8'-10' c.t.			Full Heads

BLOCK 40 - LEVEL 8 - Shrubs & Groundcover:

Key	Qty.	Botanical/Common Name	Height	Spread	Trunk	Remarks
ANT	51	Anthurium 'Lady Jane' Ashturian	12-14"	16"		Full, 18" o.c.
BOD	260	Bougainvillea 'Helen Johnson' Dwarf Dwarf Bougainvillea	14"	14-16"		Full, 18" o.c., 3 gal.
BOU	8	Bougainvillea 'Barbara Karst' Barbara Karst Bougainvillea	6'	3'		15 gal, Trellis
COD	72	Codiaeum variegatum 'Dreadlocks' Dreadlocks Croton	2'	20-24"		Full, 24" o.c.
CHE	6	Chamaedorea erumpens 'Costa Rican' Bamboo Palm	6'	4'		Full clump
FIC	380	Ficus microcarpa 'Green Island' Ficus 'Green Island'	18"	18"		Full, 18" o.c., 3 gal.
HEL	6	Heliconia d. 'Lobster Claw' Lobster Claw Heliconia	6'	3-4'		Full
JAS	85	Jasminum multiflorum Downy Jasmine	16"	20-24"		Full, 2" o.c.
NEP	19	Neprolepis biserrata 'Macho' Macho Fern	18"	20-24"		Full, 24" o.c., 3 gal.
POD	45	Podocarpus macrophyllus 'Column' Japanese Yew	3'	22-24"		Column, 24" o.c.
PM	1	Podocarpus macrophyllus 'Column' Japanese Yew	8'-10'	3'		Column, 15 gal
PSL	4	Psidium littorale Catley Guava	5'	4'		Full, Multistem
RHA	17	Rhapis excelsa Lady Palm	5-6'	4'		Full
SCH	27	Schefflera arboricola Dwarf Schefflera		20-24"		Full, 2" o.c., 3 gal.
SCT	184	Schefflera arboricola 'trinitette' Variegated schefflera	20-22"	20-24"		Full, 3 gal.
STR	31	Streitzia reginae Yellow Bird of Paradise	3-3 1/2'	3-3 1/2'		Full clump, As shown
SPA	33	Spathiphyllum 'Supreme' Supreme Peace Lily	24"	24"		Full clump 24" o.c.
TAB	6	Tabernaemontana spp. Pinwheel Jasmine	3'	3'		Full clump,
ZAM	8	Zamia furfuracea Cardboard Plant	2 1/2'-3'	2 1/2'-3'		Full

NOTES:
 All landscape areas to receive 100% coverage with 50% overlap by an automatic irrigation system with a moisture sensor / rain gauge shut-off. Over-spray is prohibited onto the roadway or sidewalk. Irrigation shall be maintained continuously in a sound workmanlike manner.
 No trees shall be planted within 5' of a water main, water service or a sanitary lateral. Provide root barrier for trees that are planted within 6' of drainage pipe.
 Plant material in planters with palms, shall not be planted within the root ball zone of the palm. A clear zone around rootball shall remain undisturbed.



SCALE 1"=10'-0"

TAC SITE PLAN REVIEW

FL. REG. # LA6666848

SCOTT C. HEYNEN, RLA LLC
 LANDSCAPE ARCHITECTURE AND LAND PLANNING

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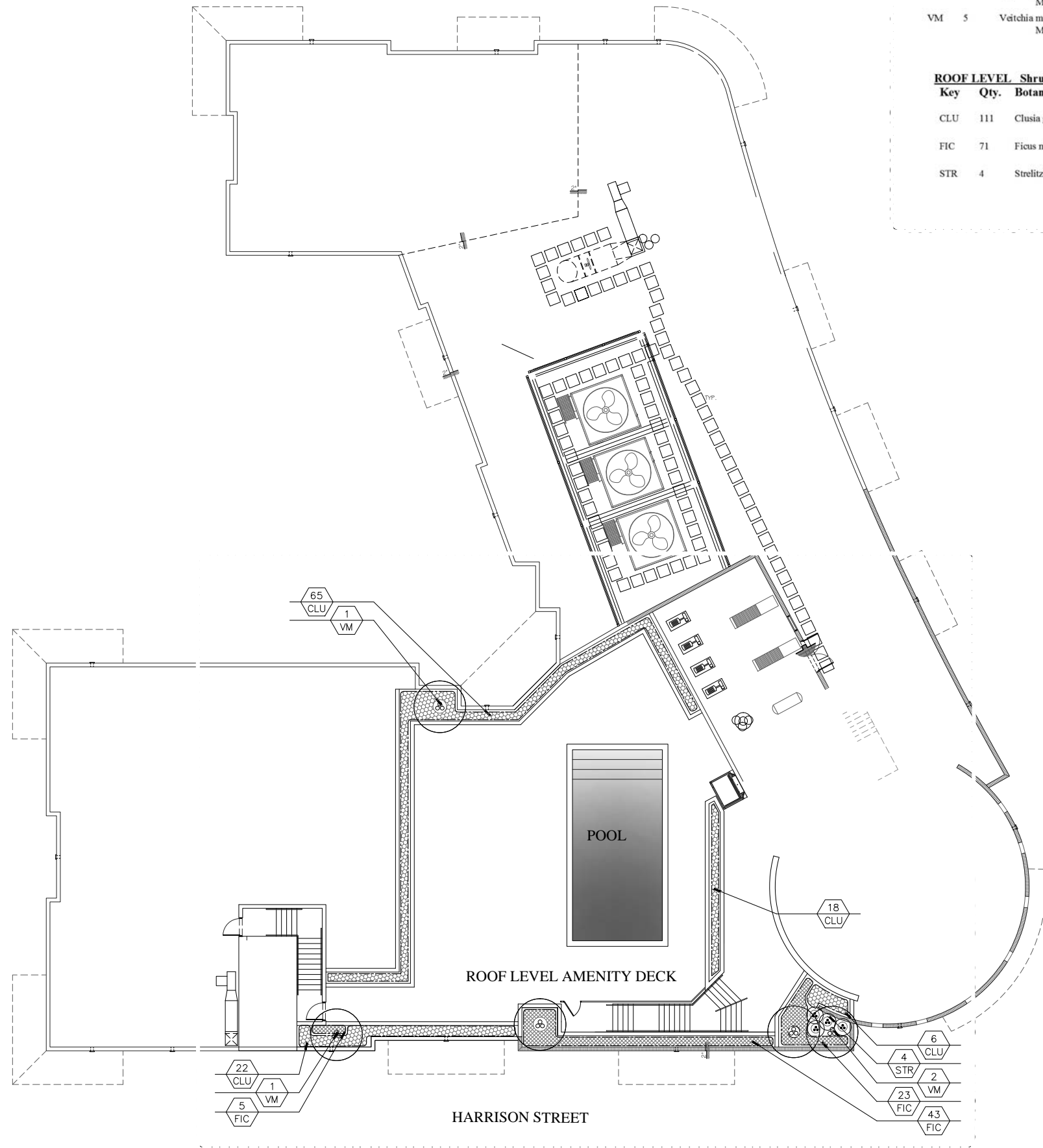
BLOCK 40 CITY of HOLLYWOOD
1858 HOLLYWOOD BLVD., HOLLYWOOD, FL
8TH LEVEL
PLANTING PLAN

NO. REVISION DATE
 DATE: 21 MARCH 2016
 DRAWN BY: SCH
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HOLLYWOOD BOULEVARD



BLOCK 40 – ROOF LEVEL

Palms & Trees:

Key	Qty.	Botanical/Common Name	Height	Spread	Trunk	Remarks
PT	0	Pychosperma macarthurii Macarthur Palm	10'-12' c.t.			Multi-stem
VM	5	Veitchia montgomeryana 'Triple' Montgomery Palm	8'-10' c.t.			3 trunks

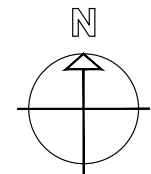
ROOF LEVEL Shrubs & Groundcover:

Key	Qty.	Botanical/Common Name	Height	Spread	Trunk	Remarks
CLU	111	Clusia guttifera Small Leaf Clusia	6'	4'		Full clump
FIC	71	Ficus microcarpa 'Green Island' Ficus 'Green Island'	18"	18"		Full, 18" o.c., 3 gal.
STR	4	Strelitzia reginae Yellow Bird of Paradise	3-3 1/2'	3-3 1/2'		Full clump, As shown

NOTES:

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