

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development Board

Date of Application: 07/03/23

Location Address: **1817 TAYLOR STREET, HOLLYWOOD, FL 33020**

Lot(s): **9-15** Block(s): **44** Subdivision: **HOLLYWOOD 1-21 B**

Folio Number(s): **514215018240**

Zoning Classification: **PD** Land Use Classification: **RAC**

Existing Property Use: **VACANT** Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): **22-DPJPD-62**

Economic Roundtable Technical Advisory Committee Historic Preservation Board
 City Commission Planning and Development

Explanation of Request: **FINAL TAC REVIEW**

Amendment to approvals O-2015-16 and R-2015-230

Number of units/rooms: **248 UNITS** Sq Ft: **511,620 SF**

Value of Improvement: _____ Estimated Date of Completion: **JULY 2026**

Will Project be Phased? () Yes No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: **1817 TAYLOR ST DEVELOPMENT, LLC**

Address of Property Owner: **1212 NW 82ND AVE, DORAL, FL, 33126**

Telephone: **305-400-1397** Fax: _____ Email Address: **aensinck@me.com**

Name of Consultant/Representative/Tenant (circle one): **SANTIAGO TERAN**

Address: **2125 BISCAYNE BLVD, SUITE 206** Telephone: **347-506-6371**

Fax: _____ Email Address: _____

Date of Purchase: **03/30/2022** Is there an option to purchase the Property? Yes () No

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Gianfranco Speciale Address: **1212 NW 82ND AVE, DORAL, FL, 33126**
Email Address: **gianfrancospe@hotmail.com**

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 07/03/23

PRINT NAME: Alejandro Ensinck

Date: 07/03/2023

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: Santiago Teran

Date: 07/03/2023

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing SANTIAGO TERAN to be my legal representative before the TECHNICAL ADVISORY COMMITTEE (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

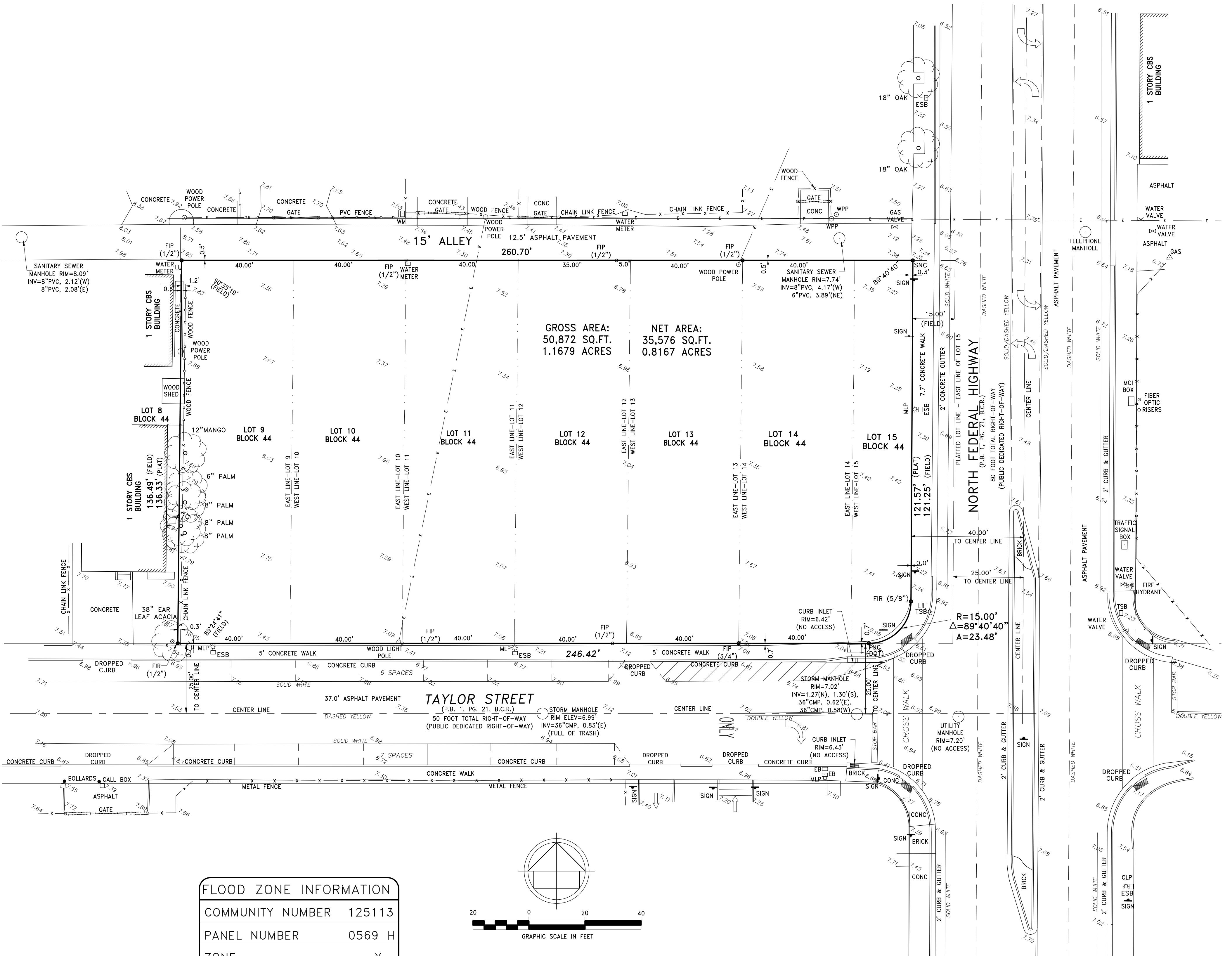
ENSIINCK ALEJANDRO

Print Name

Notary Public

State of Florida

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____



FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

LAND DESCRIPTION:

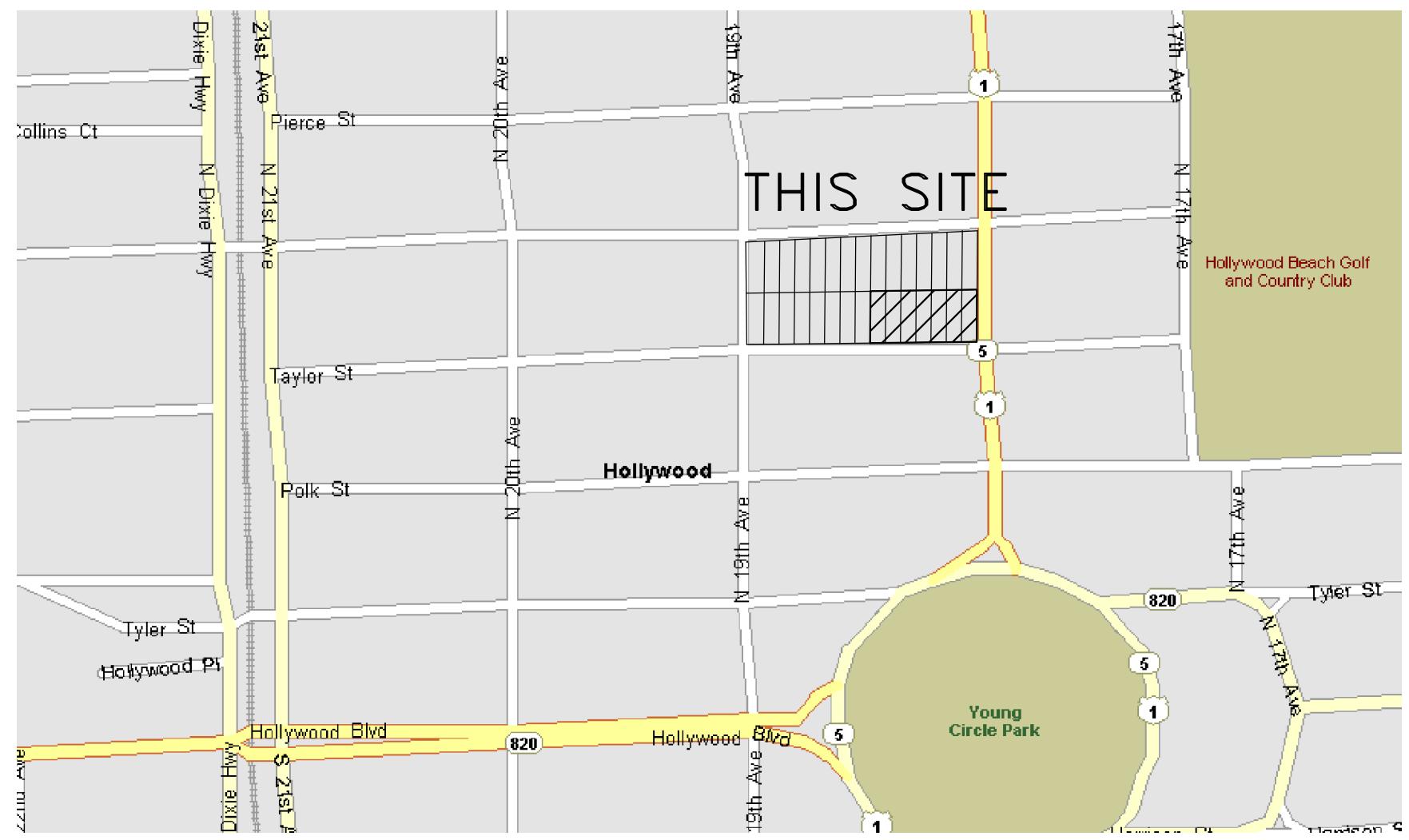
LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND

BCR	BROWARD COUNTY RECORDS	SIR	SET IRON ROD & CAP #6448
CKD	CHECKED BY	FND	FOUND NAIL & DISC
DWN	DRAWN BY	ALTA	AMERICAN LAND TITLE ASSOCIATION
FB/PG	FIELD BOOK AND PAGE	ACSM	AMERICAN CONGRESS ON SURVEYING & MAPPING
FIP	FOUND IRON PIPE	CB	CATCH BASIN
FIR	FOUND IRON ROD	B.C.R.	BROWARD COUNTY RECORDS
ORB	OFFICIAL RECORDS BOOK	-X-	WOOD/CHAIN LINK FENCE
PB	PLAT BOOK	WPP	WOOD POWER POLE
PG	PAGE	CLP	CONCRETE LIGHT POLE
SQ.FT.	SQUARE FEET	MLP	METAL LIGHT POLE
△	CENTRAL ANGLE	CPP	CONCRETE POWER POLE
R	RADIUS	ESB	ELECTRIC SERVICE BOX
A	ARC DISTANCE	-E-	OVERHELD UTILITY LINES
-///-	NON VEHICULAR ACCESS LINE	UNK	UNKNOWN TREE TYPE

REVISIONS			
UPDATED SURVEY	DATE	FB/PG	DWN
09/30/13	SKETCH	JD	CKD
UPDATED ALTA/ACSM LAND TITLE SURVEY	10/08/14	SKETCH	JD REC
ADDITIONAL LOCATION	11/17/14	SKETCH	JD REC
ADDITIONAL ELEVATIONS AND INVERT INFORMATION	09/19/15	SKETCH	JD REC
ADDED CERTIFICATIONS	03/29/22	-----	AC REC
UPDATE SURVEY	06/29/22	SKETCH	JD REC

REVISIONS			
UPDATED SURVEY	DATE	FB/PG	DWN
07/03/23	SKETCH	JD	CKD



LOCATION MAP (NTS)

NOTES :

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON THE OWNERSHIP & ENCUMBRANCES REPORTS, LISTED HEREON, ISSUED BY ATTORNEYS' TITLE FUND SERVICES, LLC.
3. (FUND FILE NO.: 10-2014-109061)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.
4. (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013.
5. (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.
6. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
7. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
8. UNDERGROUND IMPROVEMENTS NOT SHOWN.
9. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
10. BENCHMARK DESCRIPTION : CITY OF HOLLYWOOD BENCHMARK @ TAYLOR STREET & 18TH AVENUE. ELEVATION = 9.55'(NGVD29) - 8.04'(NAVD88)
11. NET AREA (TO R/O/W LINES & PROPERTY LINES) = 35,576 SQ.FT. (0.8167 ACRES)
12. GROSS AREA (TO CENTERLINE OF R/O/W) = 50,872 SQ.FT. (1.1679 ACRES)

SURVEYOR'S CERTIFICATION

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN BROWARD COUNTY, FLORIDA (ACCORDING TO OWNERSHIP AND ENCUMBRANCES REPORTS; FUND FILE NUMBER: 10-2014-109061, FROM JULY 30, 2010 TO OCTOBER 6, 2014. (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013, AND (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 07/03/23 FOR THE FIRM BY: 

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.



COVER	PROJECT COVER SHEET
SITE PLAN AND ARCHITECTURE	
SP-101	SITE PLAN
SP-1.2	STREET SECTIONS
SP-2.0	GROUND FLOOR PLAN
SP-2.1	MEZZANINE LEVEL FLOOR PLAN
SP-2.2	PARKING LEVELS 2-4 FLOOR PLAN
SP-2.3	PARKING LEVELS 5-6 FLOOR PLAN
SP-2.4	LEVEL 7 FLOOR PLAN
SP-2.5	LTYPICAL LEVELS 8-22 FLOOR PLAN
SP-2.6	ROOF LEVEL FLOOR PLAN
SP-3.0	SOUTH ELEVATION
SP-3.1	NORTH ELEVATION
SP-3.2	EAST ELEVATION
SP-3.3	WEST ELEVATION
SP-3.4	BUILDING SECTION
SP-3.5	BUILDING DETAILS AND MATERIALS
CIVIL	
GI-000	CIVIL COVER SHEET
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
SP-102	VEHICLE TRUCK TURN PLAN
CG-101	EROSION CONTROL PLAN
CG-501	EROSION CONTROL DETAILS
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-301 - CP-302	CROSS SECTIONS
CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101	WATER AND SEWER PLAN
CU-501 - CU-503	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501 - CM-502	PAVEMENT MARKING AND SIGNAGE DETAILS
LANDSCAPE	
CVR-000	COVER SHEET
LD-101	TREE DISPOSITION PLAN
LH-001	GENERAL NOTES, LEGEND AND SCHEDULE
LH-101	HARDSCAPE PLAN
LP-001	PLANTING NOTES
LP-101	PLANTING PLAN
LP-501	PLANTING DETAILS
LL-101	EXTERIOR LIGHTING AND PHOTOMETRICS PLAN

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS

THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF THE APPLICABLE

STREET NUMBER

COVER SHEET

TAC 2- 7/17/2023

Comm. Num.: 2218.0
Scale:
Drawn: Auth.
Checked: Checked

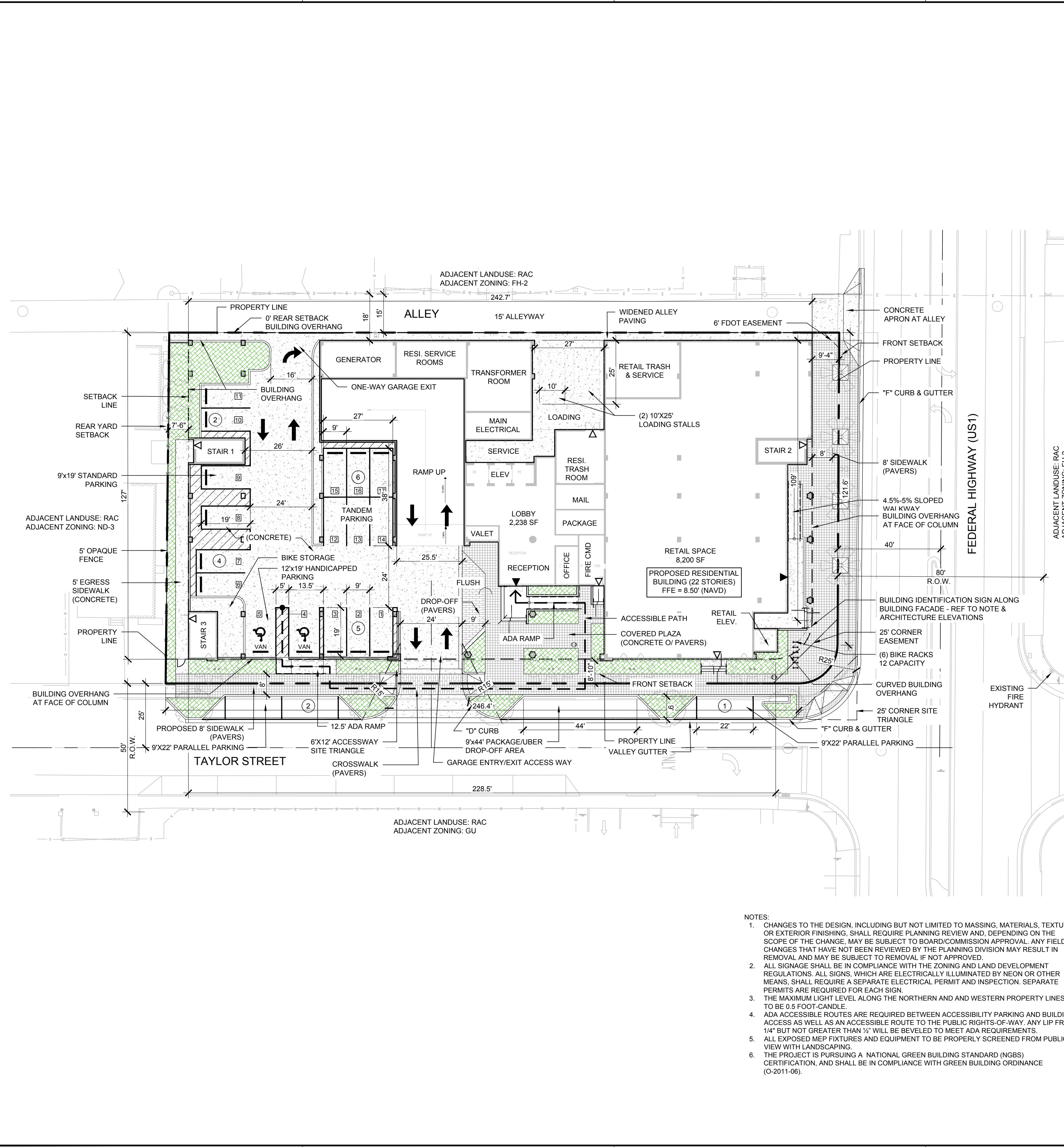
SHEET TITLE

COVER SHEET

SHEET NUMBER

COVER

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS



KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7928
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

Plotted by: cphillips On 7/6/2023 12:07 PM

PRELIMINARY PLAN NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 06/30/2023
DESIGNED BY: CP
DRAWN BY: CP, RP
CHECKED BY: KS, PW
BID-CONTRACT:

This item has been digitally signed and sealed by Paul H. Weinberg, on the date below using a Digital Signature.

Printed copies of this document are not considered signed and sealed and must be verified on any electronic copies.

PAUL H. WEINBERG, PLA
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT
1817 TAYLOR
DEVELOPMENT LLC

PROJECT
STAR TOWER
HOLLYWOOD

SHEET TITLE
SITE PLAN

SHEET NUMBER SP-101
PROJECT NUMBER 13778.00

STATUS: PRELIMINARY

Drawing name: K13778.00 - Star Tower Hollywood - 1817 Taylor Street Development LLC Landscape Architecture CAD13778.00-SP-101.dwg

STAR TOWER HOLLYWOOD

101 N FEDERAL HWY
Hollywood, Florida 33020

1817 Taylor St. development LLC

REVISIONS

7

11. *What is the primary purpose of the following statement?*

7/17/2023

22

3/16

10

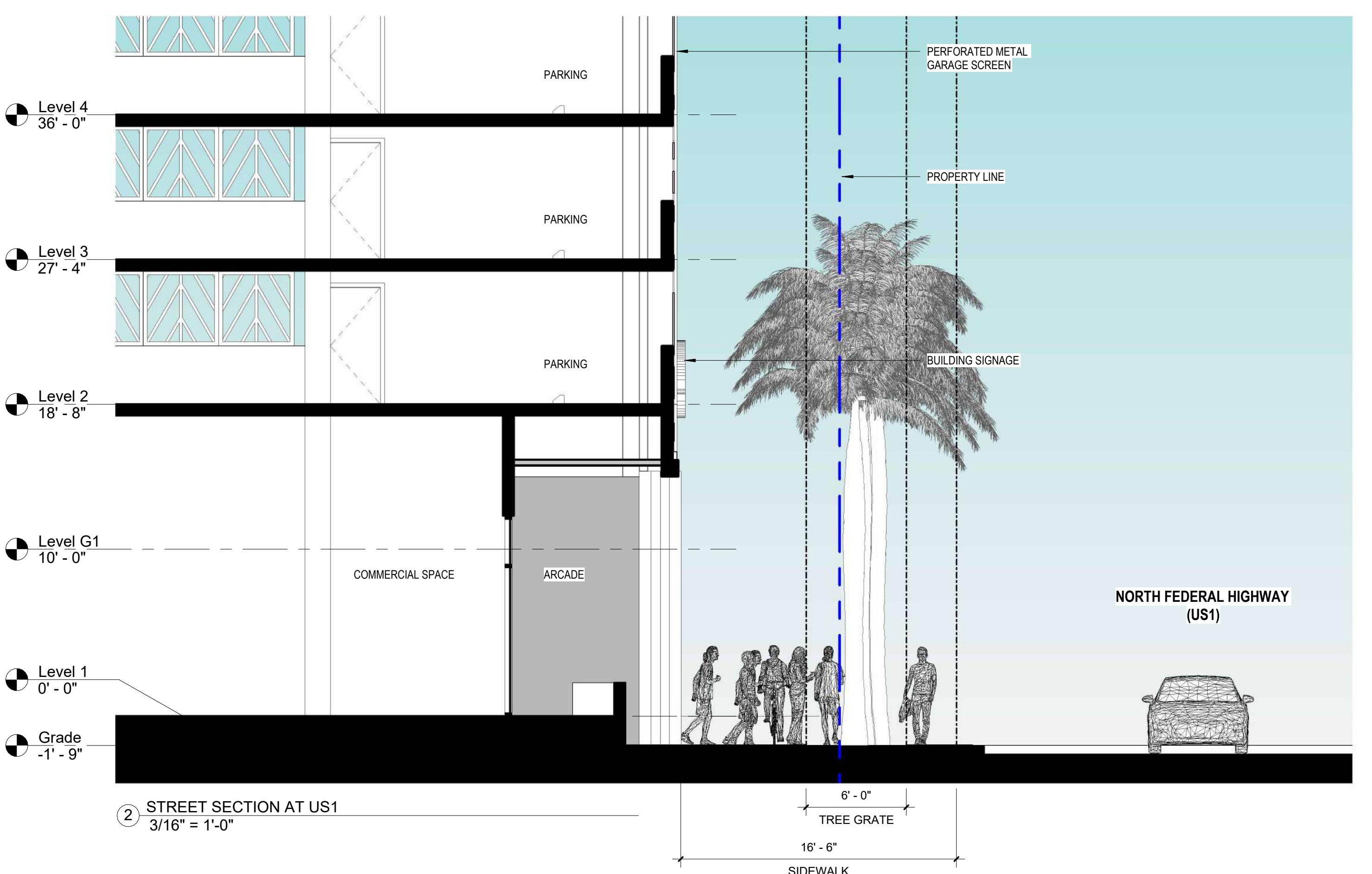
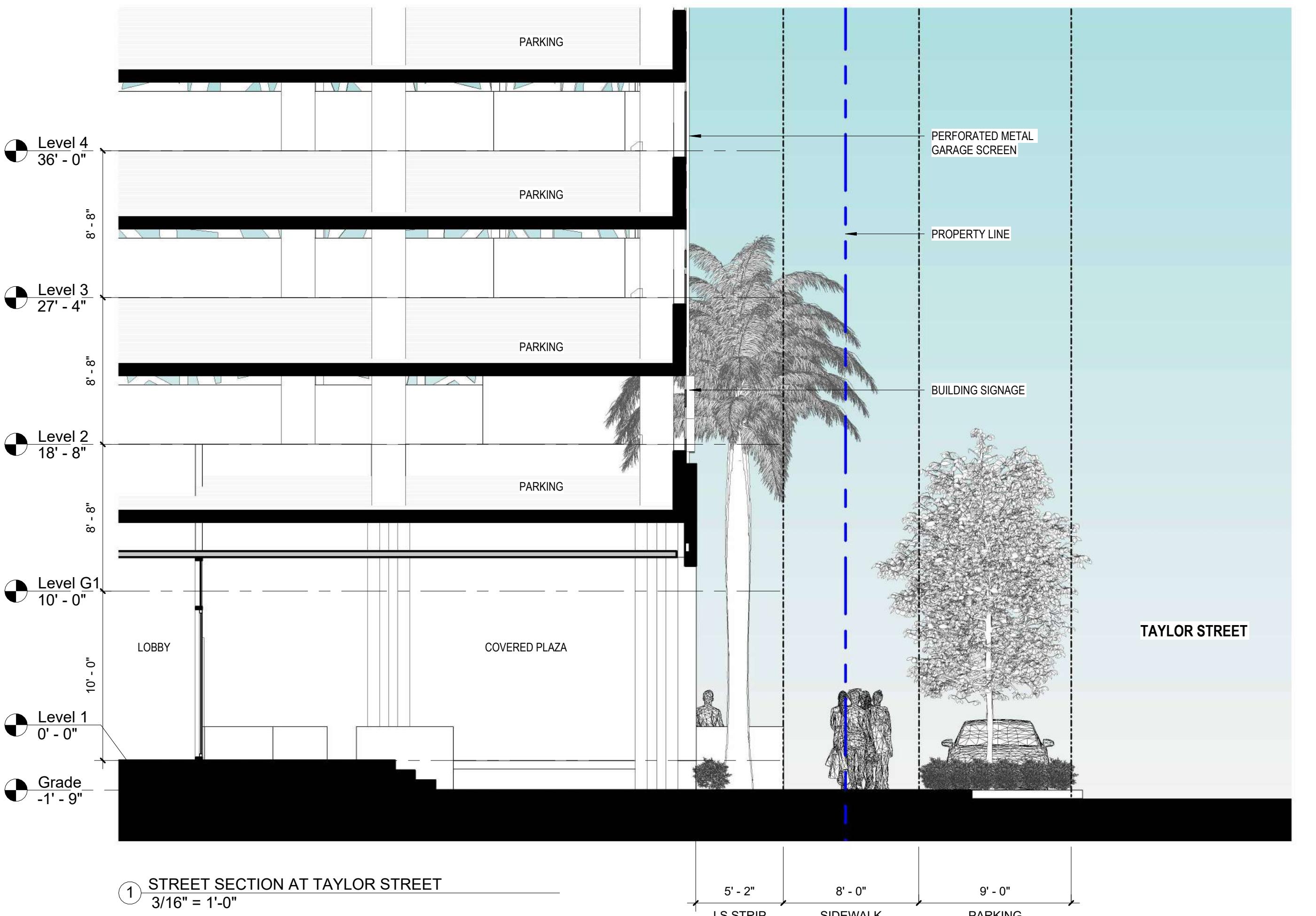
SET SECTIONS

SECTIONS

SET SECTIONS

-12

TECT'S KNOWLEDGE, THESE PLANS COMPLY
MUM STANDARDS OF THE APPLICABLE





BC ARCHITECTS AIA, INC.

75 VALENCIA AVENUE, SUITE 1000

CORAL GABLES, FLORIDA 33143

Tel. 305.663.8182 Fax 305.663.8882

Firm License Number: AA0003360

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ALL RIGHTS RESERVED

CONSULTANTS :

STAR TOWER
HOLLYWOOD401 N FEDERAL HWY
Hollywood, Florida 33020OWNER:
1817 Taylor St.
Development LLC

NO. DATE REVISIONS

SIGNED BY:
VANESSA A. JIMENEZ
FLORIDA ARCHITECT

KEY PLAN



TAC 2- 7/17/2023

Comm. Num.: 2218.00
 Scale: 3/32" = 1'-0"
 Drawn: Author
 Checked: Checker

MEZZANINE LEVEL
FLOOR PLAN

SHEET NUMBER

SP-2.1

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS

Parking Schedule	
Count	Type

Level 1	
9	9' x 19' STALL
6	9' x 19' STALL (TANDEM)
2	12' x 19' ADA STALL (VAN)
Level G1	
10	9' x 19' STALL
Level 2	
72	9' x 19' STALL
2	12' x 19' ADA STALL
Level 3	
72	9' x 19' STALL
2	12' x 19' ADA STALL
Level 4	
72	9' x 19' STALL
2	12' x 19' ADA STALL
Level 5	
75	9' x 19' STALL
Level 6	
74	9' x 19' STALL
Grand total: 398	

STAR TOWER
HOLLYWOOD401 N FEDERAL HWY
Hollywood, Florida 33020OWNER:
1817 Taylor St.
Development LLC

NO. DATE REVISIONS

SIGNED BY:
VANESSA A. JIMENEZ
FLORIDA ARCHITECT

KEY PLAN



TAC 2- 7/17/2023

Comm. Num.: 2218.00
Scale: 3/32" = 1'-0"
Drawn: Author
Checked: CheckerSHEET TITLE
TYPICAL LEVELS 8-22
FLOOR PLAN

SHEET NUMBER

SP-2.5

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS

UNIT MATRIX

	UNIT A1	UNIT B1	UNIT B2	UNIT B3	UNIT C1	UNIT C2	UNIT D1
	STUDIO 492 SF	1 BR 696 SF	1 BR 850 SF	1 BR 862 SF	2 BR 1090 SF	2 BR 1138 SF	3 BR 1346 SF
LEVEL 7	2	2	0	0	2	2	0
LEVEL 8	2	2	2	4	2	2	2
LEVEL 9	2	2	2	4	2	2	2
LEVEL 10	2	2	2	4	2	2	2
LEVEL 11	2	2	2	4	2	2	2
LEVEL 12	2	2	2	4	2	2	2
LEVEL 13	2	2	2	4	2	2	2
LEVEL 14	2	2	2	4	2	2	2
LEVEL 15	2	2	2	4	2	2	2
LEVEL 16	2	2	2	4	2	2	2
LEVEL 17	2	2	2	4	2	2	2
LEVEL 18	2	2	2	4	2	2	2
LEVEL 19	2	2	2	4	2	2	2
LEVEL 20	2	2	2	4	2	2	2
LEVEL 21	2	2	2	4	2	2	2
LEVEL 22	2	2	2	4	2	2	2
TOTAL	32	32	30	60	32	32	30
GRAND TOTAL	248						



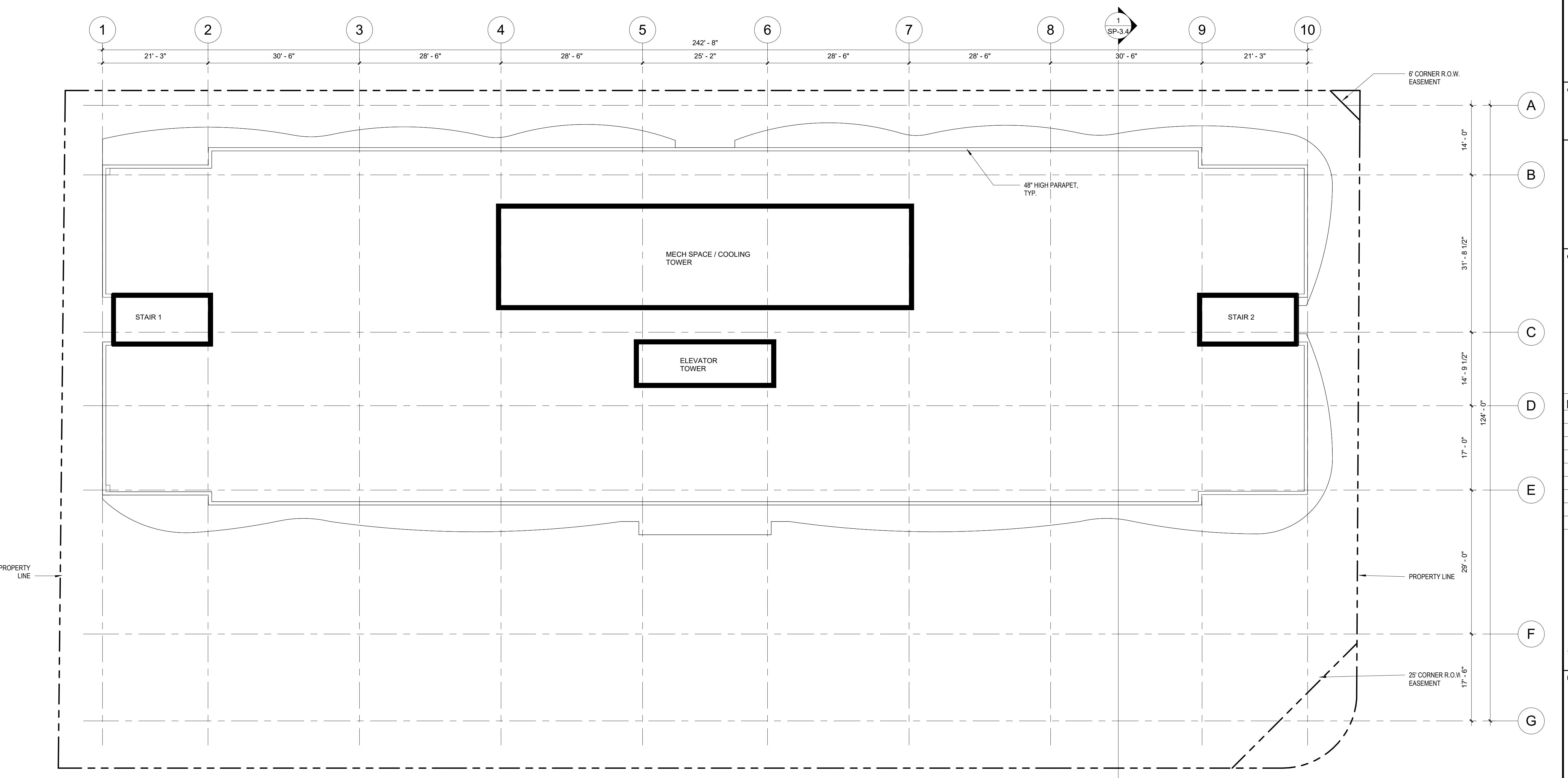
BC ARCHITECTS AIA, INC.

75 VALENCIA AVENUE, SUITE 1000

CORAL GABLES, FLORIDA 33143

Tel. 305.663.8182 Fax 305.663.8882

Firm License Number: AA0003360

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STAR TOWER HOLLYWOOD

401 N FEDERAL HWY
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1817 Taylor St.
Development LLC

NO. DATE REVISIONS

SIGNED BY:
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FLORIDA ARCHITECT

KEY PLAN

TAC 2- 7/17/2023

Comm. Num.: 2218.00
Scale: 3/32" = 1'-0"
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Checked: Checker

SHEET TITLE
ROOF LEVEL FLOOR
PLAN

SHEET NUMBER

SP-2.6

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS

STAR TOWER
HOLLYWOOD401 N FEDERAL HWY
Hollywood, Florida 33020OWNER:
**1817 Taylor St.
Development LLC**

NO. DATE REVISIONS

SIGNED BY:
VANESSA A. JIMENEZ
FLORIDA ARCHITECT

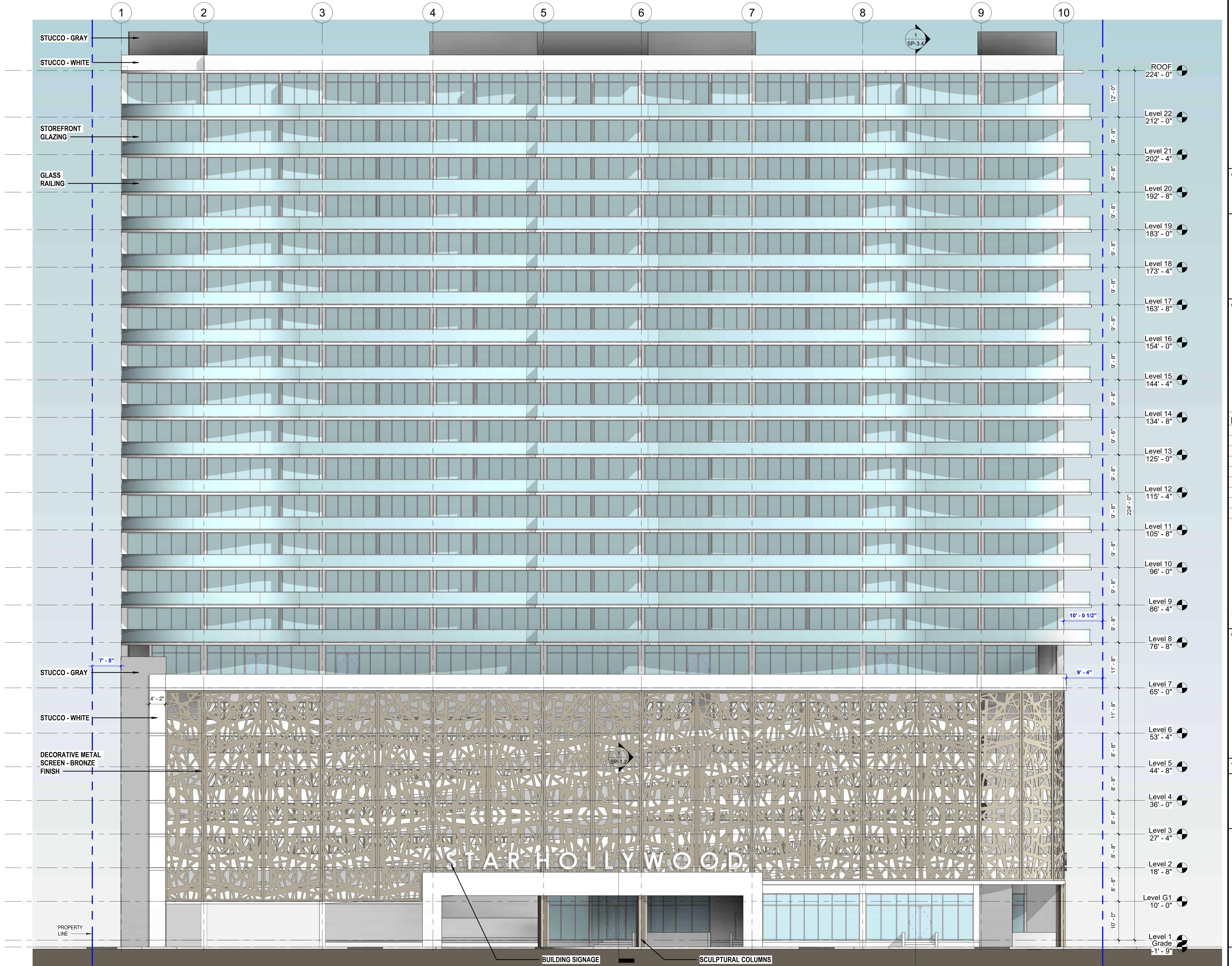
KEY PLAN

TAC 2- 7/17/2023Comm. Num.: 2218.00
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Drawn: Author
Checked: Checker

SHEET TITLE

**SOUTH ELEVATION -
TAYLOR STREET**

SHEET NUMBER

SP-3.0TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS



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CORAL GABLES, FLORIDA 33143

Tel. 305.663.8182 Fax 305.663.8882

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Hollywood, Florida 33020OWNER:
1817 Taylor St.
Development LLC

NO. DATE REVISIONS

SIGNED BY:
VANESSA A. JIMENEZ
FLORIDA ARCHITECT

KEY PLAN

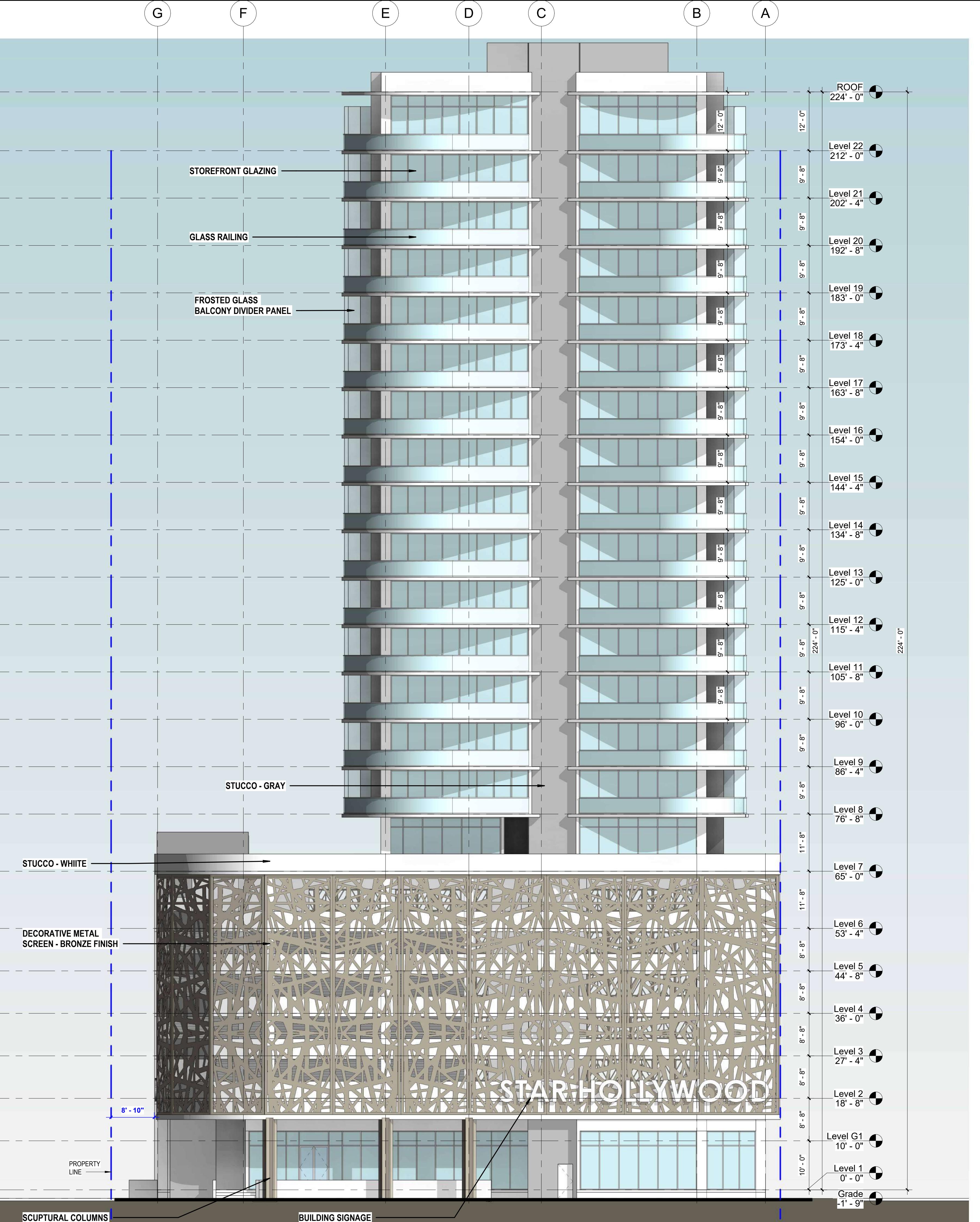
TAC 2- 7/17/2023

Comm. Num.: 2218.00
 Scale: 3/32" = 1'-0"
 Drawn: Author
 Checked: Checker

SHEET TITLE
EAST ELEVATION -
FEDERAL HIGHWAY
(US1)

SHEET NUMBER

SP-3.2

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS

STAR TOWER HOLLYWOOD

401 N FEDERAL HWY
Hollywood, Florida 33020

1817 Taylor St. Development LLC

NEZ
EKT

2- 7/17/2023

2218.00

2210.00

3/32 = 1-0

Author
Checker

Checker

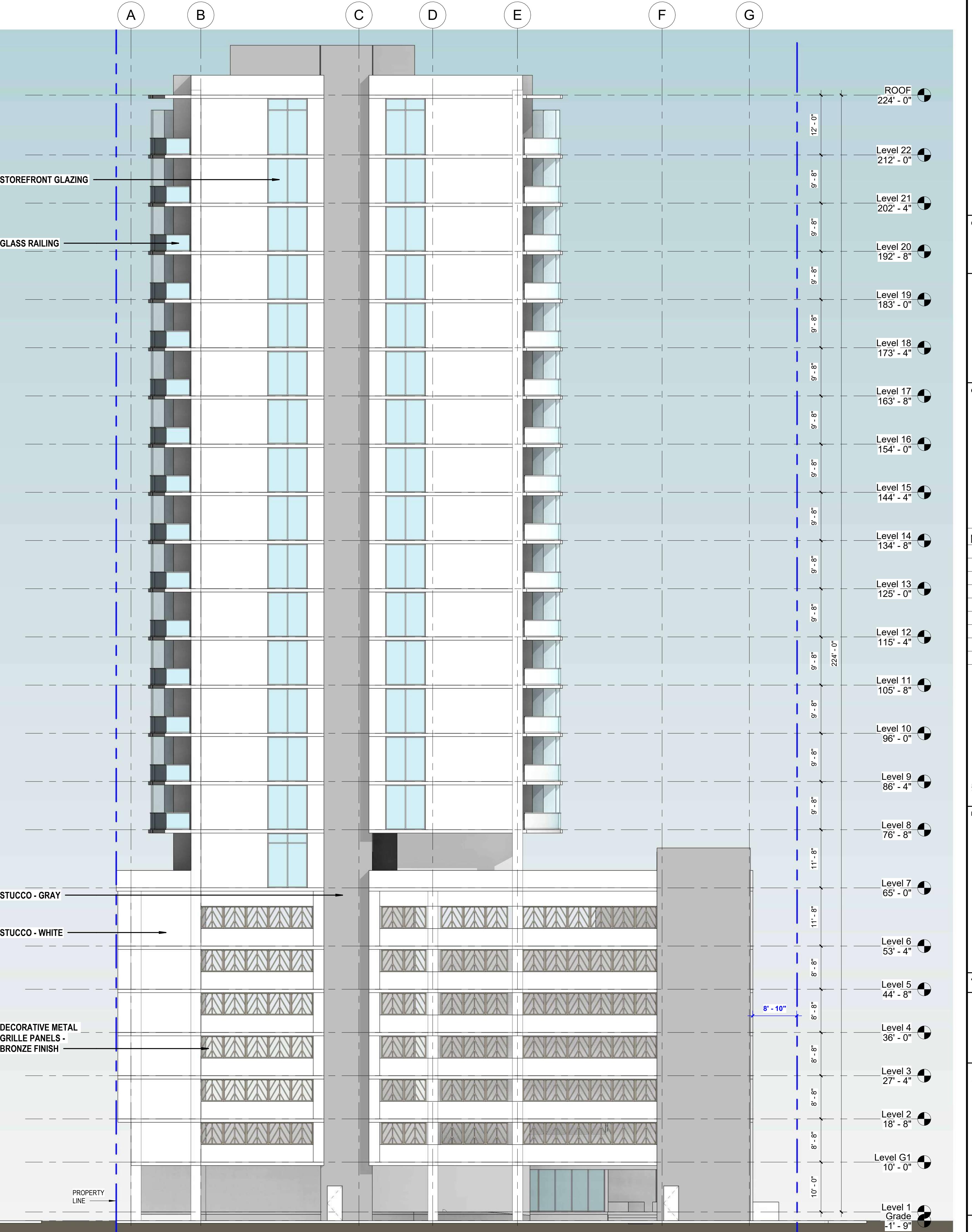
5 ELEVATION

ELEVATION

ER

-3.3

ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
CODES AND LIFE SAFETY STANDARDS





BC ARCHITECTS AIA, INC.

75 VALENCIA AVENUE, SUITE 1000
CORAL GABLES, FLORIDA 33143

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NO. DATE REVISIONS

SIGNED BY:
VANESSA A. JIMENEZ
FLORIDA ARCHITECT

KEY PLAN

TAC 2- 7/17/2023

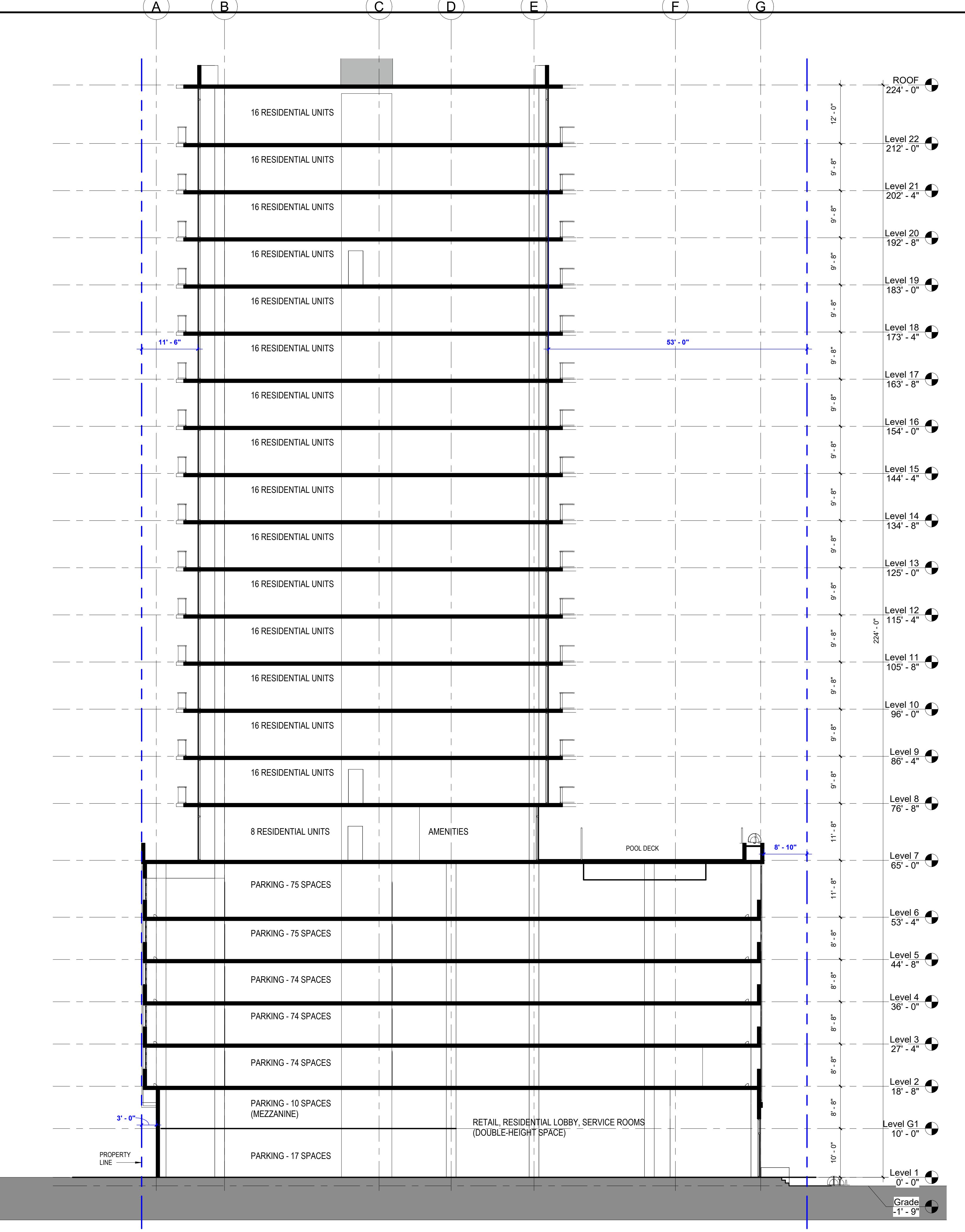
Comm. Num.: 2218.00
 Scale: 3/32" = 1'-0"
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 Checked: Checker

SHEET TITLE

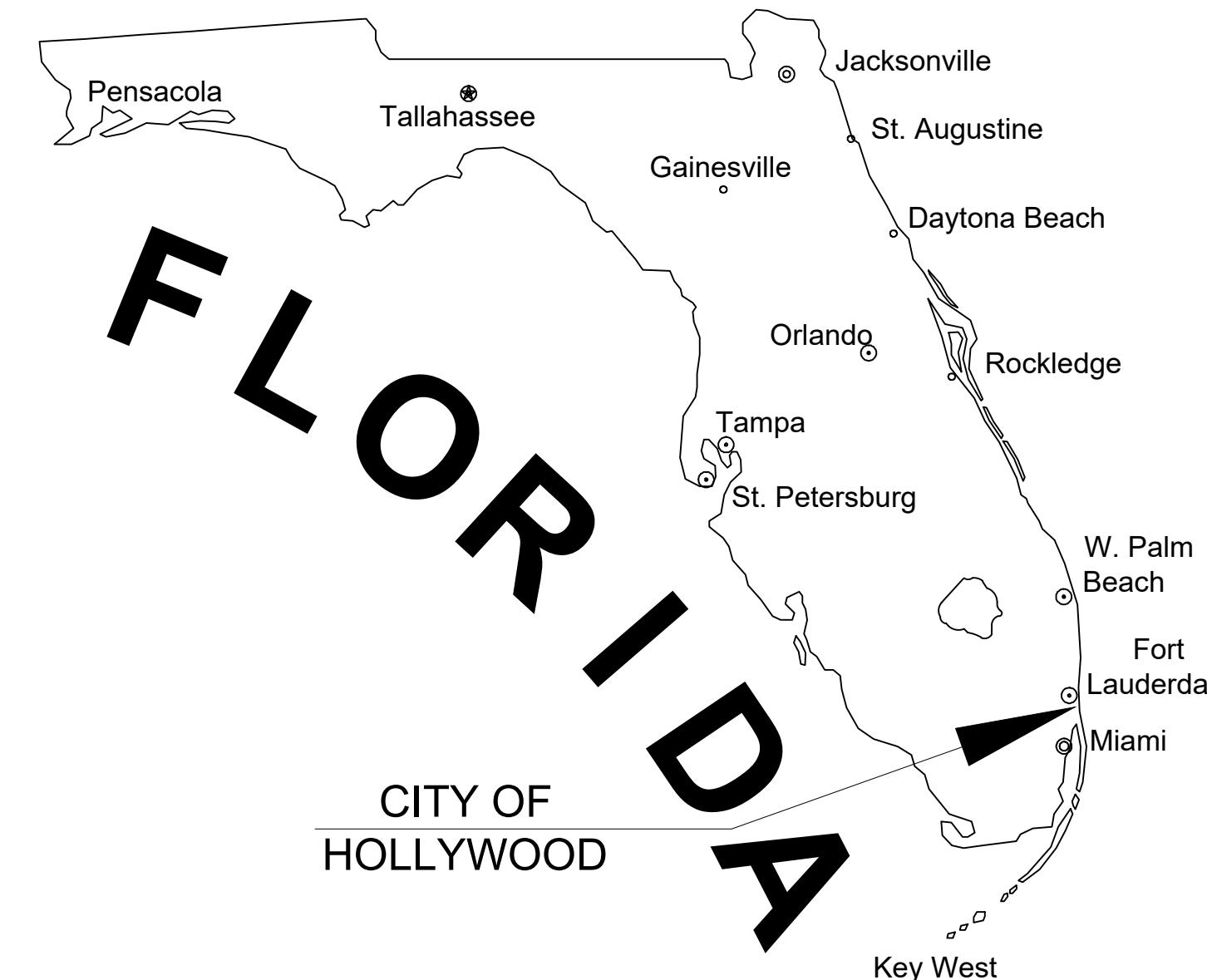
BUILDING SECTION

SHEET NUMBER

SP-3.4

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY
WITH THE MINIMUM STANDARDS OF THE APPLICABLE
BUILDING CODES AND LIFE SAFETY STANDARDS

STAR TOWER HOLLYWOOD
TECHNICAL ADVISORY COMMITTEE
LANDSCAPE DRAWINGS
JULY 3RD, 2023



INDEX OF SHEETS	
SHEET IDENTIFICATION	SHEET TITLE
LANDSCAPE	
CVR-000	COVER SHEET
LD-101	TREE DISPOSITION PLAN
LH-001	GENERAL NOTES, LEGEND, & SCHEDULE
LH-101	HARDSCAPE PLAN
LP-001	PLANTING NOTES
LP-101	PLANTING PLAN
LP-501	PLANTING DETAILS
LL-101	EXTERIOR LIGHTING & PHOTOMETRICS PLAN

TECHNICAL ADVISORY SUBMITTAL: JULY 3RD. 2023

TECHNICAL ADVISORY REVIEW: JULY 17TH, 2023

410 N. FEDERAL HIGHWAY, HOLLYWOOD
BROWARD COUNTY, FLORIDA 33020



THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.

PREPARED FOR:
1817 TAYLOR DEVELOPMENT LLC.



PROJECT No. 13778.00
JULY 3RD, 2023

PAUL H. WEINBERG, R.L.A
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

ISSUE DATE: 06/30/2023

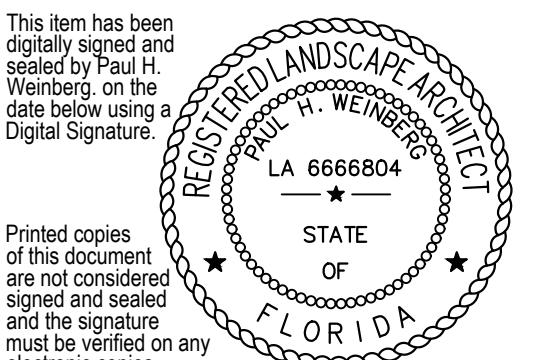
DESIGNED BY: CP

DRAWN BY: CP, RP

CHECKED BY: KS, PW

BID-CONTRACT:

This item has been
digitally signed and
sealed by Paul H.
Weinberg on the
date before using a
Digital Signature.



Printed copies of this document
are not considered
signed and sealed
and the signature
must be verified on any
electronic copies.

PAUL H. WEINBERG, PLA
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

QUICK REFERENCE MATERIALS SCHEDULE

CONCRETE

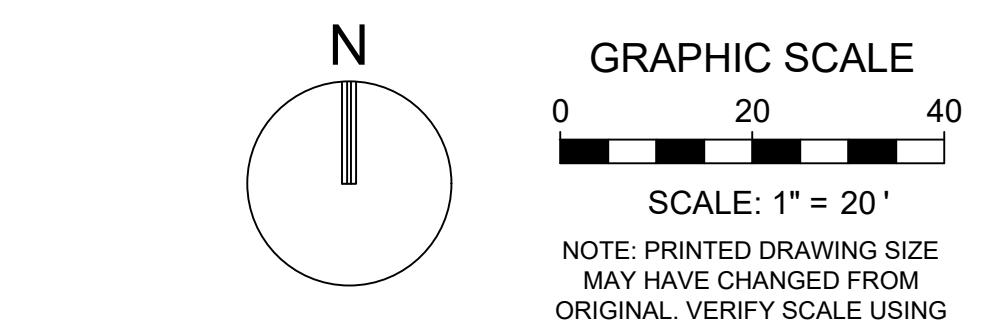
KEY	DESCRIPTION / MODEL	COLOR
C.1	CONCRETE SIDEWALKS	STANDARD GREY

PRECAST CONCRETE PAVERS

P.1	PRECAST CONCRETE PAVERS - SHELLSTONE - 8"x8" PAVER - STACKED BOND	- 3 COLORS PER CRA GUIDELINES - WHITE (40%), PEWTER (30%), AND CHARCOAL (30%)
P.2	STAMPED ASPHALT - STREETBRICK XL - 8"x8" PAVER (PATTERNED)	PEWTER AND GRANITE

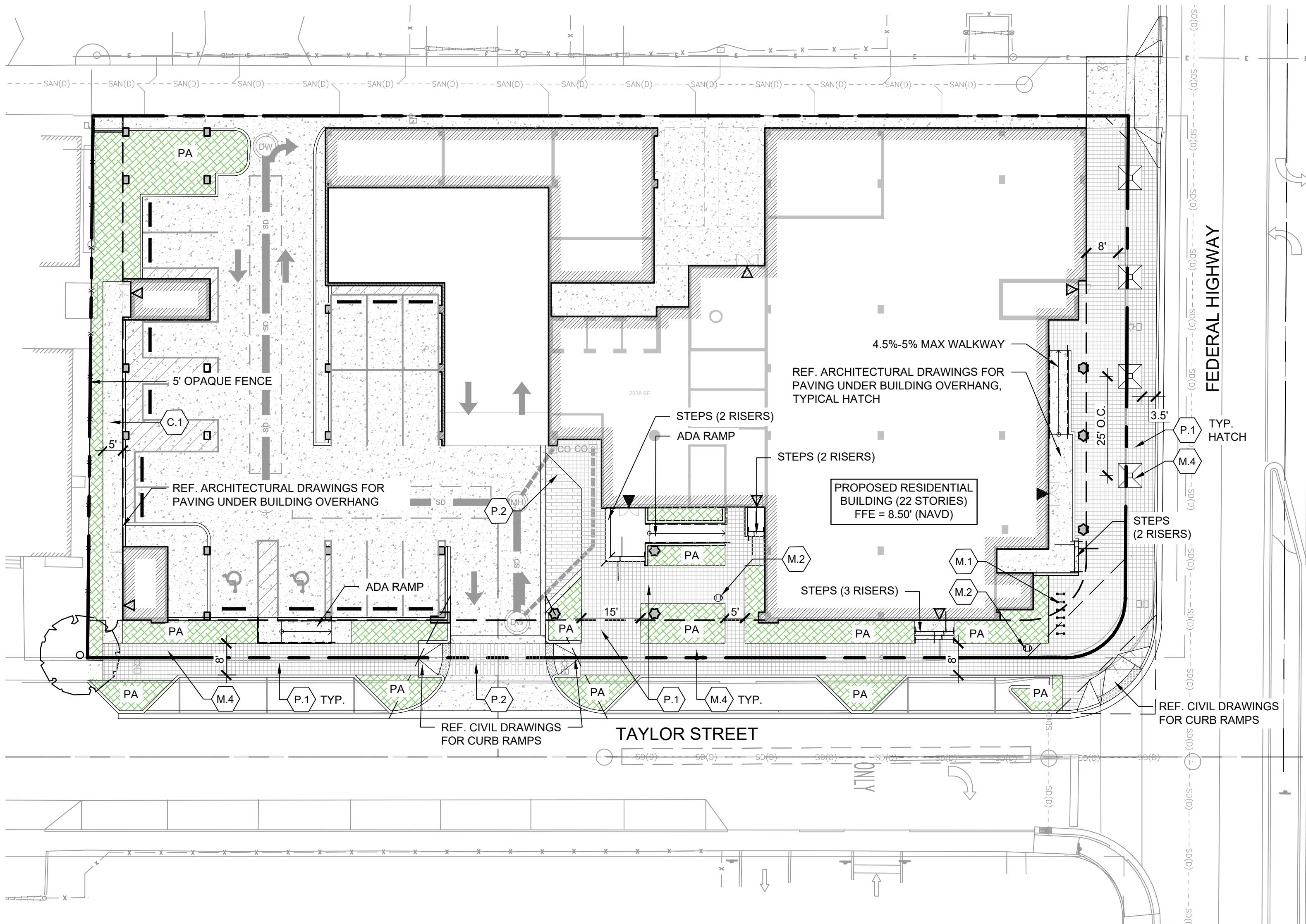
MISCELLANEOUS

M.1	BIKE RACKS - BRHS-101 BIKE RACK	TITANIUM
M.2	LITTER RECEPTACLE - DISPATCH LITTER RECEPTACLES - 45 GALLON, SINGLE-STREAM, ONE 45 GALLON LINER	ALUMINUM TEXTURE
M.3	BENCH - TRIO BENCH - 75" BACKED, WITH INTERMEDIATE ARMS	ALUMINUM TEXTURE
M.4	TREE GRATE - OBLIO 6'X6' HEEL PROOF - 71.88"X71.88"x1.25"	CAST IRON

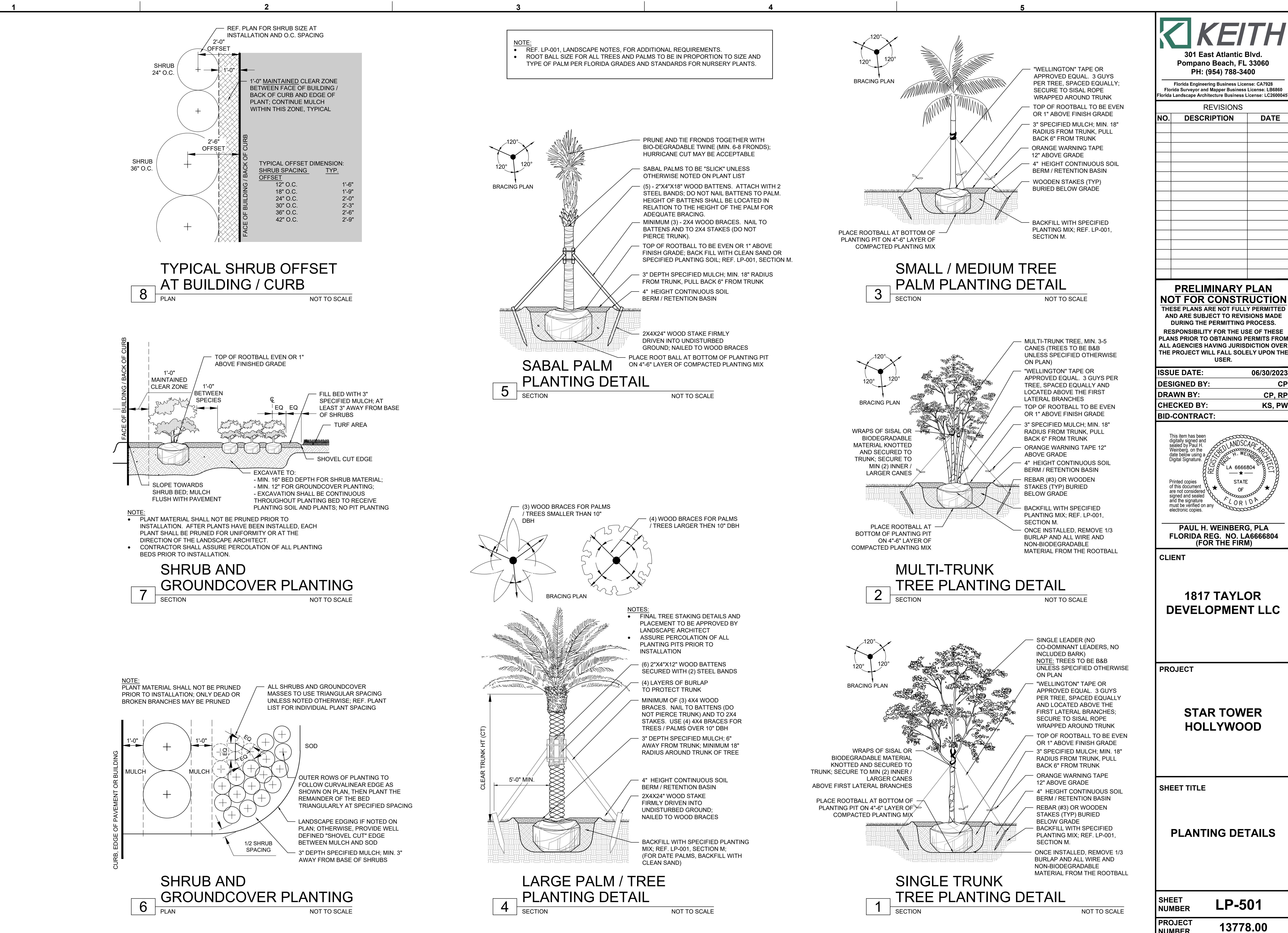


SHEET NUMBER LH-101

PROJECT NUMBER 13778.00

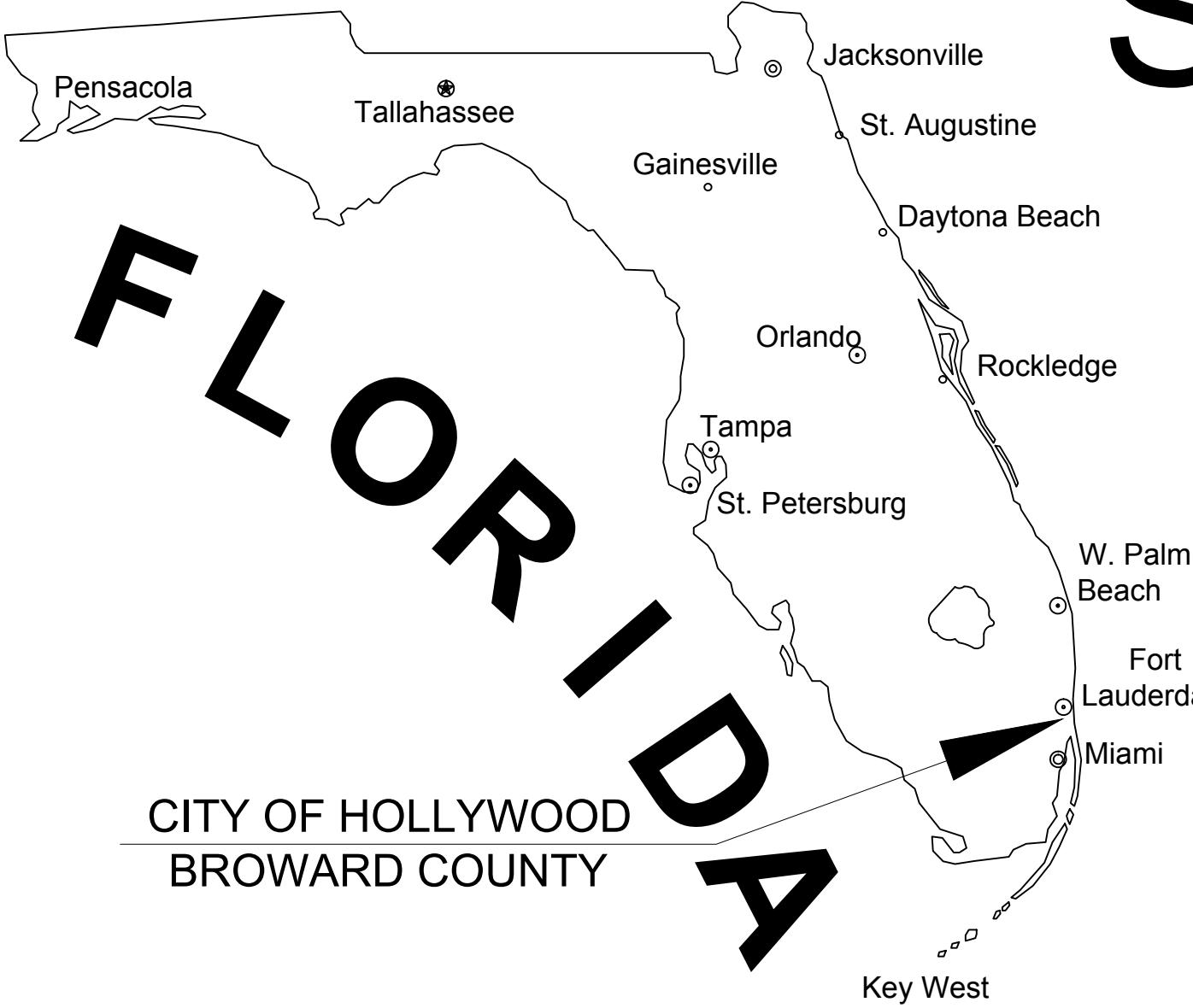


<p>D</p> <p>A. SCOPE</p> <ol style="list-style-type: none"> The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions. To comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner. Contractor understands that an important element of the design of this project is making landscape ordinances with a design flare that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner. Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch. <p>B. BIDDING</p> <ol style="list-style-type: none"> Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation. Contractors and Subs must ensure they are doing take-offs from Bldg Dept. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding. When submitting an RFQ reference sheet number, detail number and/or note category and number. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown are to be disregarded by Landscape Contractor. All Plant Material shall meet or exceed height and spread requirement. Heights are local code requirement and / or design intent related and always governs over container size. Container size given for reference only and must be set-up to meet height requirements of plant list. Plant material available with excessive height beyond specifications must be consulted with Landscape Architect for design intent. All landscape material was confirmed to be available at time of design. Landscape contractor understands that some materials may not be available locally, however, is Tr-City Region. Plant material supply is the responsibility of the Landscape Contractor. If it is awarded this contract he/she shall take steps to ensure availability at the time of installation. Bring to the attention of Landscape Architect if specific material is no longer available at the time of bidding and / or prior to actual construction. Substitutions must be approved prior to construction. Pre-inspections of site required prior to bidding. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and the quantities on the plant list shall be brought to the attention of the Landscape Architect for clarification. All labor and material for soil amendments and fertilizer that is required to ensure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material from plant beds. In addition to fine grading and mulching all plant beds and individual trees shall be included in the contractor's bid to perform the work represented in this plan set. Bid shall be itemized for possible value engineering. Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks (include price per ton). Small rocks and gravel beds shall have landscape fabric material and minimum 4' depth. Boulders to be bid by unit. All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to do his or her take off, sub-prime per S.F. and in the end, sod all areas that are not covered either by plants, mulch and/or rocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be required due to damage or removal. Final payment to the Contractor shall be for actual plants installed on the project. Contractor shall be responsible for obtaining and paying for costs of all permits described in bid whether permit costs are reimbursable by owner or included in bid. Research permit status and research all permits and additional documentation and certifications required such as separate tree removal permit for example, and consider prior to bidding. General / Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional root barriers determined to be needed on site and as job progresses. Refer to Section T, Watering, for supplemental watering requirement. Landscape contractor is responsible for verifying all plant quantities prior to bidding and within 7 calendar days of receipt of these plans shall notify the landscape architect in writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without prior consent of the Landscape Architect. <p>C. GENERAL LANDSCAPE NOTES</p> <ol style="list-style-type: none"> Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as required by code. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal, state and local laws and regulations pertaining to the inspection for plant disease and insect infestation. All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner. Tree, palm, accent shrubs and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to planting. Landscape Contractor acknowledges that material planted without approval of location may be subject to relocation by Landscape Architect to maintain design intent if not followed properly. All trees shall be pruned as per Landscape Architect's direction. Any landscape material, the lime rock sub-base material, the lime rock sub-base material must also be removed and replaced with approved planting soil mix. Landscape contractor is responsible for sending photographs to the landscape architect to pre-approve all trees, palms, and shrubs prior to delivery to project site. Landscape contractor shall coordinate his or her work with that of the irrigation, landscape lighting, and hardscape contractor if different. The landscape contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape contractor shall wait 7 days after pre-emergence treatment prior to planting. <p>D. PERMITS & REGULATIONS</p> <ol style="list-style-type: none"> Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to installation if required. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O. <p>E. TREE REMOVAL</p> <ol style="list-style-type: none"> Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on plans or not. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, sod and weeds within landscape areas. <p>F. EXISTING TREES</p> <ol style="list-style-type: none"> Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the approved plan. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined. Prune trees to remove damaged branches and improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader. Prune existing shrubs to remove damaged branches and improve natural shape. Existing trees to remain shall be trimmed per ANSI-A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to ensure quality work. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event more than 35%) to accommodate for new approved construction. Pruning shall be conducted / supervised by an ISA Arborist. If plants call for relocation of trees, palms or plants. High level of care should be exercised to assure that they are not damaged in the process and that they are promptly replanted upon being dug up. All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must <p>1. traverse the protection area, they shall be tunneled or bored under the tree.</p> <p>2. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree protection zone.</p> <p>3. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.</p> <p>G. TREE RELOCATION (These notes for relocation trees only and if applicable)</p> <ol style="list-style-type: none"> Flag all trees and palms to be transplanted with differentiating color that those to be saved or removed. Tree relocation process must be performed or supervised by ISA Certified Arborist. Water the root zones to field capacity for 5 continuous days before root pruning. At a minimum soak the soil to a 4'-0" depth within a 6' radius. Root prune a minimum of six weeks before relocation. Prune away all dead or damaged limbs or fronds. For trees, prune 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather fronds above the bud and tie them loosely with jute twine to avoid damage. Brace root pruned trees awaiting relocation. Root prune 3/4 of the root system, irrigate daily for 2 weeks then root prune another 1/4 rd, irrigate daily and prune last 1/4 rd on actual relocation date, no less than two weeks (six weeks total minimum root pruning by stages). ISA Arborist on staff shall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staff to balance for intense root ball loss, canopy shall be trimmed only as necessary to insure survival. Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots 1.5' and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and sand/dust or other fine organic material. Do not compact. Form a rootball size in compliance with Florida grades and Florida standards number 1 or better. Maintain the soil moisture at field capacity throughout the six weeks. Allow the plant to regenerate roots over a period of six weeks. At the end of six weeks, prepare the planting pit at the new location. Overdig the hole diameter a minimum of 2' beyond the root ball, with the recipient hole to be at least 1/3 larger than the area that was trenched for transplanting. With the consulting arborist present, undercut the entire root ball of the plants to be transplanted at a depth specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with heavy equipment. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachment to the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the lifting and moving of the plant. Install hoses with 24' of runoff from their original location to locations provided by Landscape Architect or Developer with approval of municipal / Landscape Inspector. Recipient site to be within 4' of finished grade. Tree pit excavation to match the size of root ball. Top of root ball to match the finished grade. Maintain trees in a healthy and vigorous condition during installation and throughout the plant establishment period. Replace trees that do not meet this requirement with the same species, size, and quality or per mitigation requirements specific to the governing authority with jurisdiction. Fertilize the plant as directed by the consulting arborist. When the plant is placed in the new location, backfill the planting pit with topsoil and water thoroughly to eliminate air pockets and compact the soil. Set the tree no deeper than its original condition. Cover the root ball area with 3' depth of organic mulch. Provide fungicide and fertility applications at the direction of the consulting arborist. Post transplant watering to provide moisture and reduce any excessive stress due to root desiccation. Watering to be adjusted according to conditions and at the supervision and direction of the ISA certified arborist. The diameter of the root-pruned or transplanting circle shall be at a distance away from the trunk equal to 12 times each inch of trunk diameter at breast height. For all plants except Sabal palm, the lower fronds shall be pruned leaving 9-11 fronds that can be tied with wire or twine in amount of weight that may damage the heart of the palm. The Sabal palm shall have all fronds cut without damaging the bud. Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the existing location. The landscape Contractor is to verify that all new holes have appropriate percolation. Over the guarantee period the Landscape contractor shall be responsible for resetting any trees or palms that are not in a vertical position. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of: First month- daily, Second month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per week. <p>H. SITE PREPARATION & GRADING</p> <ol style="list-style-type: none"> Landscape contractor shall loosen and till compacted soils that are overly compacted in all planting areas of the project to provide for proper soil aeration for plant establishment. Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plant. All rocks and debris shall be removed within planting areas and adjacent to pavement. The planting areas should be cleared to a depth equal to the root ball of the trees/palms proposed for the area. Planting area soils shall be tested for pH before planting. Soils showing high (alkaline) pH (over 7.5) shall be amended or replaced with native soil having a pH range of 6.5 - 7.5, as approved by Landscape Architect. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded. Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait 7 (seven) days after pre-emergence treatment prior to planting. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris, and rubbish. General site and berms grading to +/- 1 inch (") shall be provided by the general contractor. All finished site grading shall be provided by the Landscape Contractor. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds and weed seeds. All lime rock shall be removed/cleaned down to the native soils. The landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tensar" orange safety fencing and stakes prior to the beginning of the project. Barriers shall be placed around the drip line of trees/palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade. Final grade within planting areas to be 4" below adjacent paved areas or top of curb. Sod areas to be 2" below. All planting beds shall be shaped and sloped to provide proper drainage away from building and structures and to swales, if applicable. <p>I. IRRIGATION</p> <ol style="list-style-type: none"> Any Irrigation Notes and specifications included in Irrigation Sheets govern over the following Irrigation Notes. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for all individual trees in turf areas and all planting beds. Irrigation / Landscape contractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all landscaped areas and furnish and install a rain sensor. Irrigation Contractor adapt design to onsite conditions adjusting heads and changing nozzles as required to avoid overspray onto buildings or paved areas. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his or her own expense. Water for plant establishment should be included in the cost of the plant. All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management district with jurisdiction shall be strictly adhered to. Irrigation water whether pumped from a lake or a well shall be treated for algae, rust, etc. to provide clean treated irrigation water that will not clog or stain property or components. Any existing irrigation system shall be retrofitted to comply with the specifications as outlined above. <p>J. HARDSCAPE & OTHER MATERIALS</p> <ol style="list-style-type: none"> Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved surfaces, unless otherwise indicated on the plans. Refer to details. <p>K. UTILITIES / CLEARANCES</p> <ol style="list-style-type: none"> The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape Architect and Owner. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing authority / Landscape Architect and Owner. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities and/or construction caused by utility damage, at no cost to the owner. All plant material symbols shown on landscape plans shall be considered diagrammatic and should be adjusted in the field by contractor to avoid all utilities, and all other obstructions. If / When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, Inc. Notification Center. In addition, call the Governing Agency's Utilities/Public Works Department. Contractors are responsible for coordinating with the owner and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities <p>L. ROOT BARRIERS</p> <ol style="list-style-type: none"> Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new root pruning by stages. ISA Arborist on staff shall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staff to balance for intense root ball loss, canopy shall be trimmed only as necessary to insure survival. Mechanical Root barriers will be used for large existing Canopy Trees and chemical type barriers will be used for new trees. Mechanical Root barriers will be "DeepRoot" and Chemical Root barriers will be "Biobarrier". Substitutions must be of approved equal or better quality. Root barrier depths will be determined by the manufacturer recommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by Landscape Architect / ISA Arborist and Landscape Inspector. <p>M. LANDSCAPE BACKFILL & SOIL AMENDMENT</p> <ol style="list-style-type: none"> All building construction material and foreign material shall be removed from the planting areas and replaced with 70/30 mix (70% sand / 30% organic compost) or amend existing soils per section H.2. Planting soil shall be delivered to the site in a clean, loose and friable condition and is required around the root ball of all trees and shrubs; the top 6" of shrubs and ground cover sods and top 2" of all grassed areas. This soil shall be tilled into the existing soil after the existing soil has been cleaned of all undesirable foreign materials. Recycled compost is encouraged as a soil amendment alternative. Planting soil to be weed free. Planting backfill for palms shall be clean coarse native sand unless specified elsewhere. Do not allow air pockets to form when backfilling. All trees shall be watered-in utilizing water probe or a tree bar. <p>N. PLANT SIZE & QUALITY</p> <ol style="list-style-type: none"> All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance. Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B at the discretion of Landscape Architect; if so, root bound and/or circling roots shall be removed and root ball must be proportionate to Tree / Palm. U.O. All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and should taper to accommodate the transition towards the crown. Trees with bark inclusion, lipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or pruning shall be rejected. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants". All trees and palms shall be free of open wounds and unsightly visible scars. All substitutions must be approved by the governing authority if it is required Canopy and by Landscape Architect / Owner if supplementary accent material. Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant disease and insect infestation. Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be shipped upright. All trees shall be shipped to the Landscape Architect. Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance. The Landscape Contractor shall water all new trees and palms and any other plants until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract. Contractor is responsible for maintaining all landscape planting areas until final acceptance of these plans. Contractor shall be responsible for moving the entire project during planting and establishment periods, based on moving project once a month from October to April, and twice a month from April to October (During installation and plant establishment only and until final inspection and owner accepts and takes ownership). Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site. Trees and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility at traffic intersection. Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant disease and insect infestation. Contractor shall be responsible for maintaining all landscape planting areas until final acceptance of these plans. 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TAC SUBMITTAL: 07/03/2023
TAC MEETING: 07/17/2023

STAR TOWER HOLLYWOOD



410 NORTH FEDERAL HIGHWAY
CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA

RELATIONSHIP BETWEEN
NGVD 1929 AND NAVD 1988

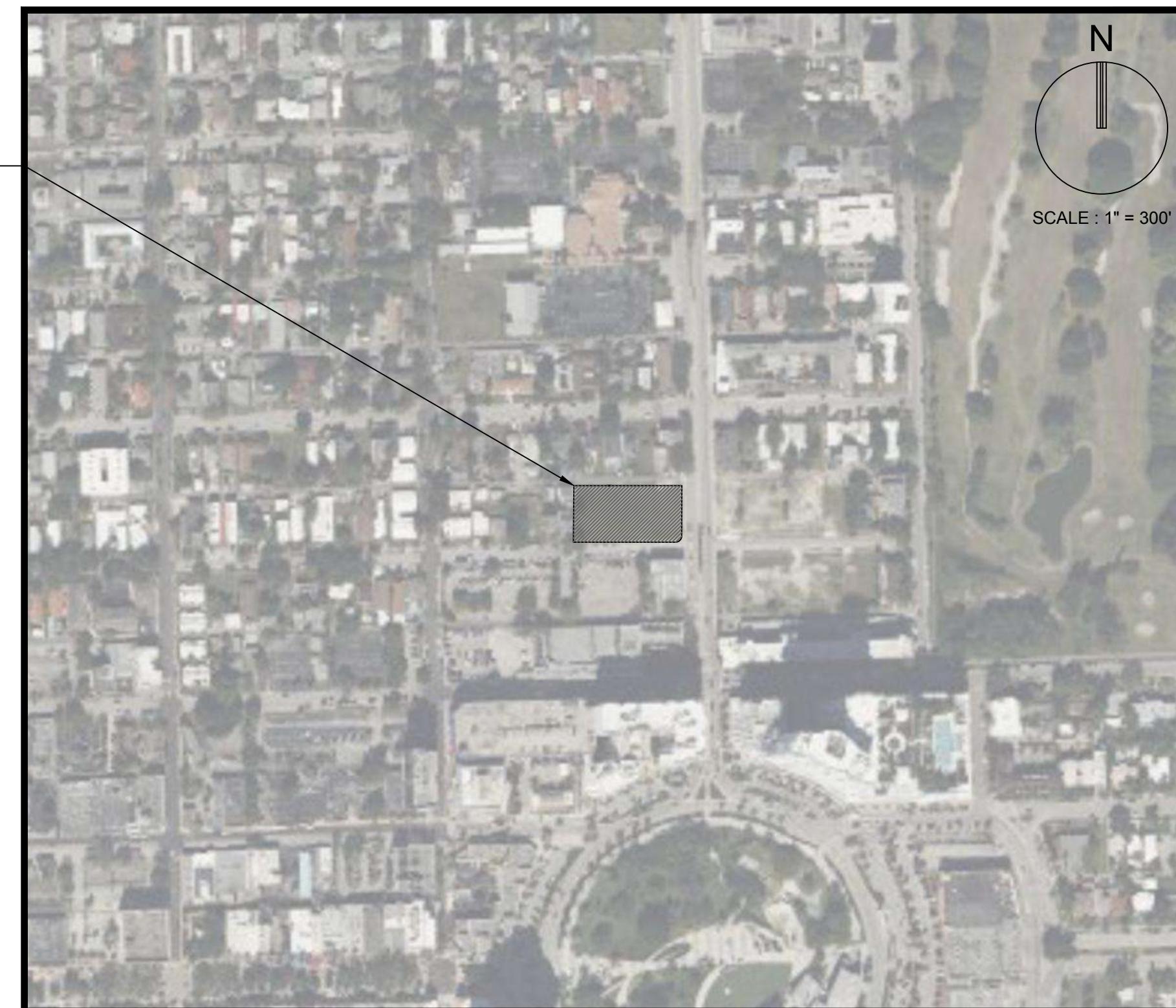
DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.51 FEET	9.55'
NAVD 1988	-1.51 FEET	8.04

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON NAVD 1988 DATUM

LAND DESCRIPTION:

LOTS 9,10,11,12,13,14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE LOCATION



LOCATION MAP

SECTION 15, TOWNSHIP 51S, RANGE 42E
FOLIO #5142-15-01-8240

FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X,
AS SHOWN ON F.I.R.M. NUM. 12011C0569H, BEARING A
MAP EFFECTIVE DATE OF 08/18/2014.

THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.

PREPARED FOR: BC ARCHITECTS
CLIENT: BC ARCHITECTS
ADDRESS: 75 VALENCIA AVENUE, STE.1000
CORAL GABLES, FL 33134

INDEX OF SHEETS	
SHEET IDENTIFICATION	SHEET TITLE
GI-000	COVER SHEET
GI-001	LEGEND AND ABBREVIATIONS
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
SP-101	SITE PLAN
SP-102	VEHICLE TRUCK TURN PLAN
CG-101	EROSION CONTROL PLAN
CG-501	EROSION CONTROL DETAILS
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-301	CROSS SECTIONS
CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101	WATER AND SEWER PLAN
CU-501 - CU-503	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501 - CM-502	PAVEMENT MARKING AND SIGNAGE DETAILS



PROJECT No. 13778.00
07/03/2023

THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

GENERAL SYMBOLS

SYMBOL	DESCRIPTION
	PROPOSED SECTION MARKER INDICATING THE SECTION LETTER AND THE SHEET ON WHICH THE SECTION VIEW APPEARS.
	DETAIL REFERENCE CALL OUT INDICATING THE DETAIL NUMBER AND THE SHEET ON WHICH THE DETAIL VIEW APPEARS.
	REVISION TRIANGLE NUMBER
	MISC BREAK LINES
	PHOTO LOCATION AND CORRESPONDING PICTURE NUMBER.
N: 623025.4322 E: 850262.1786	COORDINATE VALUES SHOWN ON PROPOSED IMPROVEMENTS ARE RELATIVE TO THE COORDINATE VALUES INDICATED ON THE RIGHT-OF-WAY, PROPERTY CORNERS OR REFERENCE MONUMENT

GEN SITE & PMS

SYMBOL	DESCRIPTION
	PAVEMENT MARKING ARROWS
	STOP BAR
	ADA PARKING
	CONCRETE CAR STOP
	BICYCLE
	BICYCLE RACK
	AUTOMOBILE
	POST MOUNTED SIGNS 1,2, DOUBLE POST & 4 WAY
	PARKING SPACE NUMBER
	BASELINE, CENTER, PROPERTY, FLOW & MONUMENT LINE
	BUILDING ACCESS (ADA) / (NON-ADA)

PAVING & GRADING

SYMBOL	DESCRIPTION
	FLOW DIRECTIONAL ARROW
	ELEVATION CHANGE
	MAJOR / MINOR CONTOUR ELEVATION
	GRADE ELEVATION
	TOP OF CURB / PAVEMENT ELEVATION
	MATCH EXISTING GRADE
	SLOPE BANK
	DRIVEWAY TURNOUT IDENTIFICATION (FDOT INDEX 522-003) W/ DRIVE WIDTH
	SIDEWALK CURB RAMP (PER FDOT INDEX 522-002)
	SEAWALL

UTILITY PIPES

SYMBOL	DESCRIPTION
	PIPE FITTINGS: TEE, 90, 45, 22.5, 11.2, CAP,
	CAP W/FVO, REDUCER, VERTICAL, PLUG
	VALVES: GATE, BUTTERFLY, DOUBLE BTRFLY, BFP, DDCV, VACUUM BREAKER
	MAN/AUTO BLOWOFF, ARV, PIV, FLUSH VLV, CORP STOP
	SAMPLE PNT, HYDRANT, FDC, WATER WELL
	TAPPING SADDLE
	EXFILTRATION TRENCH
	PIPE CASING
	VENT PIPE BOX
	UTILITY CROSSING

HATCH PATTERNS

SYM	DESCRIPTION	SYM	DESCRIPTION
	CONCRETE AREA		BRICK PAVERS
	JOGGING PATH		SOIL TRACKING PREVENTION DEVICE
	PAVEMENT AREA		SAND (DETAIL / ELEVATION)
	BUILDING HATCH		EARTH (DETAIL / ELEVATION)
	MILLING AND RESURFACING		GRAVEL (DETAIL / ELEVATION)
	DETECTABLE WARNING PER FLORIDA CODE		GRASS AREA
	DEMOLITION AREA		ADA STRIPING

UTILITY STRUCTURES

SYMBOL	DESCRIPTION
	FDOT C,D,E,F,G & FABRIC CATCH BASIN
	NON-FDOT ROUND CB'S & MANHOLES, MDC STRUCTURE
	FDOT CURB INLETS TYPE1-TYPE10
	TRENCH DRAIN
	PIPE CULVERT - MITERED END SECTION
	STRAIGHT ENDWALL
	PUMP STATION LOCATION AND NUMBER
	GREASE TRAP SINGLE AND DOUBLE
	SEPTIC TANK
	SEPTIC DRAIN FIELD
	DRAINAGE WELL, DRAIN C.B., CONTROL STRUCTURE
	MONITORING WELL
	WATER WELL
	METER BOX WATER AND IRRIGATION
	YARD DRAIN / 9" DECK DRAIN ROUND & SQUARE
	CLEAN OUT 6", 4" & BOX
	STORM STRUCTURE TABLE REFERENCE NUMBER
	SEWER STRUCTURE TABLE REFERENCE NUMBER
	SEWER STRUCTURE CALLOUT (SHOWN AS A CIRCLE CIRCUMSCRIBING THE STRUCTURE NUMBER.)
	INDICATES STRUCTURE NUMBER, STATION & OFFSET, STRUCTURE SIZE & TYPE, RIM/GRATE ELEVATION, PIPE INVERT ELEVATIONS & DIRECTION, PIPE SIZE & MATERIAL AS WELL AS ANY SPECIAL NOTES.
	STORM STRUCTURE CALLOUT (SHOWN AS A HEXAGON CIRCUMSCRIBING THE STRUCTURE NUMBER.)

LINE TYPES

PROPOSED UTILITIES	PAVEMENT MARKING
	WATER LINE
	SANITARY SEWER
	FORCE MAIN
	LOW PRESSURE FM
	STORM DRAIN
	PRESSURE STORM
	IRRIGATION
	RAW WATER
	RECLAIMED WATER
	GAS LINE
	STRIPE SKIP 2-4
	STRIPE SKIP 3-9
	STRIPE SKIP 6-10
	STRIPE SKIP 10-30
	STRIPE SKIP 10-20
	STRIPE SKIP 2-2
GENERAL SITE	
	DEMOLITION
	TURBIDITY BARRIER
	PARKING STRIPING (SINGLE)
	FIRE TRUCK PATH
	SIGHT TRIANGLE
	BUILDING FOOTPRINT
	VEHICLE OVERHANG
	CONSTRUCTION LIMITS
	SILT FENCE
	SUPER SILT FENCE
	PARKING STRIPING (DOUBLE)
TOPO	
	BREAKLINE
	MAJOR CONTOUR
	MINOR CONTOUR
	TOP OF BANK
	TOE OF SLOPE
	EDGE OF WATER
	CENTERLINE OF SWALE
PROPOSED ENCUMBRANCES	
	PROPERTY LINE
	ROW LINE
	BUILDING SETBACK LINE
	BUFFER LINE
	EASEMENT LINE

DESCRIPTION	ABBREVIATION
AADT	ANNUAL AVERAGE DAILY TRAFFIC
ABAN	ABANDON
ADJ	ADJUST
APPROX.	APPROXIMATE
A.C.	ASPHALT CONCRETE
ACCM PIPE	ASPHALT COATED CORRUGATED METAL
BIT.	BITUMINOUS
BC	BACK OF CURB
BD.	BOUND
BL	BASELINE
BLDG	BUILDING
BM	BENCHMARK
BO	BY OTHERS
BOS	BOTTOM OF SLOPE
BR.	BRIDGE
CAP	CORRUGATED ALUMINUM PIPE
CB	CATCH BASIN
CBCI	CATCH BASIN WITH CURB INLET
CC	CEMENT CONCRETE
CCM	CEMENT CONCRETE MASONRY
CEM	CEMENT
CI	CURB INLET
CIP	CAST IRON PIPE
CLF	CHAIN LINK FENCE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO.	COUNTY
CONC	CONCRETE
CONT	CONTINUOUS
CONST	CONSTRUCTION
CR GR	CROWN GRADE
DDCV	DOUBLE DETECTOR CHECK VALVE
DDCVA	DOUBLE DETECTOR CHECK VALVE ASSEMBLY
DHV	DESIGN HOURLY VOLUME
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWY	DRIVEWAY
ELEV (OR EL.)	ELEVATION
EMB	EMBANKMENT
EOP	EDGE OF PAVEMENT
EOW	EDGE OF WATER
EXIST (OR EX)	EXISTING
EXC	EXCAVATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
FDC	FIRE DEPARTMENT CONNECTION
FDN.	FOUNDATION
FH	FIRE HYDRANT
FLDSTN	FIELDSTONE
GAR	GARAGE
GD	GROUND
GI	GUTTER INLET
GIP	GALVANIZED IRON PIPE
GRAN	GRANITE
GRAV	GRAVEL
GRD	GUARD
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HDW	HEADWALL
HMA	HOT MIX ASPHALT
HOR	HORIZONTAL
HYD	HYDRANT
INV	INVERT
JCT	JUNCTION
L	LENGTH OF CURVE
LB	LEACH BASIN
LP	LIGHT POLE
LT	LEFT
MAX	MAXIMUM
MB	MAILBOX
MEG	MATCH EXISTING GRADE
MH	MANHOLE
MIN	MINIMUM
NIC	NOT IN CONTRACT

DESCRIPTION	ABBREVIATION
NO.	NO. NUMBER
O/S or OFF	O/S OR OFF OFFSET
PB	PB PLAT BOOK
PC	PC POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
P.G.L.	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
POC	POINT ON CURVE
POT	POINT ON TANGENT
PRC	POINT OF REVERSE CURVATURE
PROJ	PROJECT
PROP	PROPOSED</

GENERAL NOTES
 THIS CONSTRUCTION PROJECT MAY OR MAY NOT INCLUDE ALL ITEMS COVERED BY THESE NOTES AND SPECIFICATIONS, I.E. PAVING, GRADING, DRAINAGE LINES, WATER LINES, OR SANITARY SEWER LINES. SEE PLANS FOR DETAILED PROJECT SCOPE. NOTES AND SPECIFICATIONS ON THIS SHEET REFER TO PAVING, GRADING, DRAINAGE, WATER, AND SANITARY SEWER, AND ARE INTENDED FOR THIS PROJECT'S SCOPE OF WORK AND FOR REFERENCE PURPOSES FOR OTHER WORK ITEMS THAT MAY BE REQUIRED DUE TO UNFORESEEN EXISTING CONDITIONS OR REQUIRED REMEDIAL WORK.

1. SPECIFIC SITE NOTES

1.1. COUNTY AND "CITY" IN THESE NOTES REFERS TO COUNTY AND CITY IN WHICH PROJECT RESIDES.

1.2. STATE IN THESE NOTES REFERS TO THE STATE OF FLORIDA.

1.3. EXISTING TOPOGRAPHIC INFORMATION IN THE PLANS IS BASED ON SURVEY DATA AND BEST AVAILABLE INFORMATION. SEE PROJECT SURVEY AND NOTES ON PLAN SHEETS REGARDING THE SOURCE OF THE TOPOGRAPHIC INFORMATION.

2. APPLICABLE CODES

2.1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY, AND ALL OTHER JURISDICTIONAL, STATE AND NATIONAL CODES WHERE APPLICABLE.

2.2. IN THE EVENT OF A CONFLICT BETWEEN THE GENERAL NOTES AND CONSTRUCTION SPECIFICATIONS IN THESE PLANS, AND THE CONTRACT DOCUMENTS AND SPECIFICATIONS IN THE SPECIFICATION BOOKLET, THE CONTRACTOR SHALL SUBMIT WRITTEN REQUEST FOR CLARIFICATION.

2.3. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND JURISDICTIONAL SAFETY AND HEALTH REGULATIONS.

2.4. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH FEDERAL, STATE, COUNTY, AND CITY LAWS, CODES, AND REGULATIONS.

2.5. ALL HANDICAP ACCESSIBLE AREAS TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), STATE ADA CODES, AND FLORIDA BUILDING CODE ADA CODES LATEST EDITION.

2.6. TRENCH SAFETY ACT
 2.6.1. ALL TRENCH EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 90-96 OF THE LAWS OF FLORIDA (THE TRENCH SAFETY ACT).

2.6.2. ALL TRENCH EXCAVATION IN EXCESS OF 5 FEET IN DEPTH SHALL BE UNDERTAKEN IN ACCORDANCE WITH O.S.H.A. STANDARD 29 CFR, SECTION 1926.650 SUBPART P.

2.6.3. THE CONTRACTOR SHALL SUBMIT WITH HIS CONTRACT A COMPLETED, SIGNED, AND NOTARIZED COPY OF THE TRENCH SAFETY ACT COMPLIANCE STATEMENT. THE CONTRACTOR SHALL ALSO SUBMIT A SEPARATE COST ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY CODES.

2.6.4. A TRENCH SAFETY SYSTEM, IF REQUIRED, SHALL BE DESIGNED BY THE EXCAVATION CONTRACTOR UTILIZING A SPECIALTY ENGINEER AS REQUIRED.

3. CONSTRUCTION NOTES:

3.1. CONTRACTOR SHALL TIE TO EXISTING GRADE BY EVENLY SLOPING FROM CLOSEST PROPOSED GRADE PROVIDED TO EXISTING GRADE AT LIMITS OF CONSTRUCTION, UNLESS OTHERWISE NOTED ON THE PLANS. IF NO LIMIT OF WORK LINE IS INDICATED, SLOPE TO ADJACENT PROPERTY LINE OR RIGHT-OF-WAY LINE, AS APPLICABLE.

3.2. UNLESS OTHERWISE INDICATED ON THE PLANS, ALL EXISTING MANHOLES, CATCH BASINS, METERS AND OTHER STRUCTURES, WHETHER INDICATED ON THE PLANS OR NOT SHALL BE ADJUSTED TO MATCH THE NEW GRADE, BY THE CONTRACTOR.

3.3. THE CURB SHALL BE SLOPED TO ACCOMMODATE THE NEW PAVEMENT, CATCH BASIN AND GRATE, AND THE SURFACE FLOW PATTERN.

3.4. THE CONTRACTOR SHALL USE CARE WHEN CUTTING THE EXISTING ASPHALT PAVEMENT AND DURING EXCAVATIONS, SO THAT THE EXISTING CATCH BASINS AND GRATES THAT ARE TO REMAIN WILL NOT BE DAMAGED.

3.5. THE CONTRACTOR SHALL MAINTAIN THE ROADWAY SLOPE WHEN RESURFACING THE ROADWAY. THE EDGE OF PAVEMENT SHALL MATCH THE NEW GUTTER LIP PER FDOT INDEX 520-001.

3.6. THE NEW SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GIVEN ELEVATIONS AND AT THE PROPER SLOPES DEPICTED IN THE SPECIFICATIONS, DETAILS AND STANDARDS. EXISTING DRIVEWAYS AND OTHER FEATURES SHALL BE MATCHED WHEN POSSIBLE AS DIRECTED BY THE ENGINEER.

3.7. RADII SHOWN ARE TO THE EDGE OF PAVEMENT.

3.8. ALL BENCH MARK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AND REFERENCED BY THE CONTRACTOR IN THE SAME WAY AS PUBLIC LAND CORNERS.

3.9. ALL EXCESS MATERIAL IS TO BE DISPOSED BY THE CONTRACTOR WITHIN 72 HOURS.

3.10. IN AREAS WHERE THE BASE IS EXPOSED BY THE MILLING OPERATION, THE CONTRACTOR SHALL RESTORE THE BASE TO ITS ORIGINAL THICKNESS AND STRUCTURAL CAPACITY BEFORE PAVING OVER SUCH AREAS. THIS INCLUDES BUT IS NOT LIMITED TO RESTORING ORIGINAL DEGREE OF COMPACTION, MOISTURE CONTENT, COMPOSITION, STABILITY, AND INTENDED SLOPE. IF PAVING WILL NOT TAKE PLACE THE SAME DAY THE BASE IS EXPOSED AND REWORKED, THE BASE SHALL BE SEALED ACCORDING TO THE GOVERNING STANDARDS AND SPECIFICATIONS. ANY ADDITIONAL WORK RESULTING FROM THE CONTRACTOR'S FAILURE TO PROTECT THE EXPOSED BASE AS STATED ABOVE IN ORDER TO RESTORE THE ORIGINAL STRUCTURAL CAPACITY SHALL BE THE CONTRACTOR'S COST.

3.11. THE CONTRACTOR IS TO MAINTAIN EXISTING SIGNAGE DURING CONSTRUCTION OPERATIONS, IN ORDER TO FACILITATE EMERGENCY VEHICLE TRAFFIC.

3.12. THE TOPOGRAPHIC SURVEY INCLUDED WITH THIS SET OF PLANS REFLECTS PRE-DEMOLITION CONDITIONS AND DOES NOT REFLECT THE SITE CONDITIONS AFTER DEMOLITION. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE IN DETERMINING THE REQUIRED EARTHWORK FOR THE PROPOSED DEVELOPMENT OF THE SITE. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY EXCAVATION/DREDGE AND FILL ACTIVITIES REQUIRED AT ANY PHASE OF THE PROJECT. THE CONTRACTOR SHALL USE THE FINAL APPROVED (RELEASED FOR CONSTRUCTION) PLANS, SURVEYS, GEOTECHNICAL REPORTS, AND ANY OTHER AVAILABLE INFORMATION FOR DETERMINING THE AMOUNT OF EXCAVATION/DREDGING AND FILLING REQUIRED. ANY QUANTITIES INCLUDED IN THE APPROVED PERMITS WERE ESTIMATED BY THE ENGINEER FOR PURPOSES OF OBTAINING THE PERMIT AND UNDER NO CIRCUMSTANCES SHALL BE USED BY THE CONTRACTOR IN LIEU OF PERFORMING THEIR OWN EARTHWORK CALCULATIONS REQUIRED FOR COST ESTIMATING AND BIDDING THE PROJECT.

3.13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FAMILIARIZING THEMSELVES WITH ANY AND ALL AVAILABLE GEOTECHNICAL REPORTS PREPARED BY OTHERS AND/OR ANY RECOMMENDATIONS WRITTEN OR IMPLIED BY THE GEOTECHNICAL ENGINEER FOR THIS PROJECT. THE GEOTECHNICAL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THESE REPORTS ARE IN FORCE AND IN FULL EFFECT AS PART OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL THE WORK ASSOCIATED WITH THIS PROJECT IS IN COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. KEITH AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE SUITABILITY OR UNSUITABILITY OF THE SOILS ENCOUNTERED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE MEANS AND METHODS OF CONSTRUCTION USED CAN AND WILL ALLOW FOR THE SUCCESSFUL COMPLETION OF THE REQUIRED SITE IMPROVEMENTS.

3.14. THE CONTRACTOR SHALL ENSURE THAT THE AVAILABLE GEOTECHNICAL INFORMATION IS SUFFICIENT FOR HIS COMPLETE UNDERSTANDING OF THE SOIL CONDITIONS FOR THE SITE. IF ADDITIONAL GEOTECHNICAL INVESTIGATION IS REQUIRED BY THE CONTRACTOR, THIS ADDITIONAL WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

3.15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, SPRINKLER HEADS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS AND SHALL RESTORE AT NO ADDITIONAL COST.

3.16. THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT. SHOULD THE CONTRACTOR REQUIRE SUCH FOR PERFORMING THE CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, PERMISSION FROM THE OWNER, CITY AND ENGINEER. THE CONTRACTOR SHALL PROVIDE THE OWNER, CITY AND ENGINEER WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE. THE PROJECT ENGINEER SHALL COORDINATE WITH THE OWNER AND CITY PRIOR TO ISSUING WRITTEN APPROVAL TO THE CONTRACTOR.

3.17. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE CITY AND/OR ENGINEER, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE CITY AND/OR ENGINEER ARE TO NOTIFY THE OWNER/ENGINEER OF THE DISCOVERY. THE OWNER/ENGINEER WILL ARRANGE FOR INVESTIGATION, IDENTIFICATION, AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE ENGINEER.

3.18. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE CITY ENGINEERING INSPECTOR AND ENGINEER 48 HOURS IN ADVANCE OF THE EVENT TO NOTIFY THE CITY OF CONSTRUCTION START UP, OR TO SCHEDULE ALL REQUIRED TESTS AND INSPECTIONS INCLUDING FINAL WALK-THROUGHS.

4. PRECONSTRUCTION RESPONSIBILITIES

4.1. ALL UTILITY / ACCESS EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION.

4.2. NO CONSTRUCTION MAY COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL MUNICIPAL, STATE, COUNTY, AND FEDERAL AGENCIES AND A PRE-CONSTRUCTION MEETING HAS BEEN CONDUCTED.

4.3. ALL REQUIRED GOVERNMENTAL AGENCY BUILDING PERMITS TO BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY.

4.4. CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULING FOR CONNECTION TO THE EXISTING WATER AND SEWER LINES WITH THE UTILITY DEPARTMENT THAT OWNS AND/OR MAINTAINS THE WATER AND SEWER LINES.

4.5. PRIOR TO THE START OF CONSTRUCTION, THE OWNER SHALL SUBMIT AN NPDES CONSTRUCTION GENERAL PERMIT (CGP) "NOTICE OF INTENT (N.O.I.) TO USE GENERIC PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITIES FORM (DEP FORM 62-621.3004(B)) TO FDEP NOTICES CENTER. THE CONTRACTOR WILL BE RESPONSIBLE FOR (1) IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT WAS REQUIRED TO BE DEVELOPED PRIOR TO NOI SUBMITTAL, AND (2) RETENTION OF RECORDS REQUIRED BY THE PERMIT, INCLUDING RETENTION OF A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL SITE STABILIZATION. A "NOTICE OF TERMINATION (N.O.T.) OF GENERIC PERMIT COVERAGE" FORM (DEP FORM 62-621.3006) MUST BE SUBMITTED TO FDEP TO DISCONTINUE PERMIT COVERAGE, SUBSEQUENT TO COMPLETION OF CONSTRUCTION. FOR ADDITIONAL INFORMATION SEE FDEP WEBSITE: [HTTP://FLORIDADEPT.GOV/WATER/STORMWATER](http://FLORIDADEPT.GOV/WATER/STORMWATER).

4.6. PRIOR TO CONSTRUCTION OR INSTALLATION, 5 SETS OF SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AS REQUIRED FOR THE FOLLOWING ITEMS LISTED BELOW, BUT NOT LIMITED TO:

- DRAINAGE: CATCH BASINS, MANHOLES, HEADWALLS, GRATES/TOPS, YARD DRAINS.
- WATER: FIRE HYDRANTS, VALVES, BACKFLOW PREVENTER, DDCV, METER BOX.
- SEWER: MANHOLES, LIFT STATIONS (WETWELL, HATCHES, VALVES, PUMP DATA, ELECTRICAL PANEL)

4.6.1. CATALOGUE LITERATURE SHALL BE SUBMITTED FOR DRAINAGE, WATER AND SEWER PIPES, FITTINGS, AND APPURTENANCES.

4.6.2. PRIOR TO SUBMITTING SHOP DRAWINGS TO THE ENGINEER, THE CONTRACTOR SHALL REVIEW AND APPROVE THE DRAWINGS, AND SHALL NOTE IN RED ANY DEVIATIONS FROM THE ENGINEER'S PLANS OR SPECIFICATIONS.

4.6.3. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOGUE LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.

4.7. CONTRACTOR TO SUBMIT MAINTENANCE OF TRAFFIC PLAN(S) IN ACCORDANCE WITH FOOT AND COUNTY REQUIREMENTS, AND SUBMIT FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.

5. INSPECTIONS / TESTING:

5.1. THE CONTRACTOR SHALL NOTIFY IN WRITING THE OWNER, CITY, COUNTY, ENGINEER OF RECORD, AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO REQUIRED INSPECTIONS OF THE FOLLOWING ITEMS, WHERE APPLICABLE:

- CLEARING AND EARTHWORK
- STORM DRAINAGE SYSTEMS
- SANITARY SEWER SYSTEMS
- WATER DISTRIBUTION SYSTEMS
- SUBGRADE
- LIMEROCK BASE
- ASPHALT OR CONCRETE PAVEMENT
- SIDEWALKS, CONCRETE FLATWORK/CURBING
- LANDSCAPING
- PAVEMENT MARKING AND SIGNAGE
- SIGNALIZATION
- SITE LIGHTING
- ELECTRICAL AND COMMUNICATION LINES
- UTILITY CONDUITS
- IRRIGATION
- FINAL

5.2. THE OWNER, ENGINEER, AND JURISDICTIONAL PERMITTING AGENCIES MAY INSPECTS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS.

5.3. TESTING - ALL TESTING REQUIRED BY THE PLANS AND SPECIFICATIONS SHALL BE PERFORMED BY A LICENSED / FDOT QUALIFIED TESTING COMPANY. REQUIRED TEST FOR ASPHALT AND LIMEROCK SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER OR THE JURISDICTIONAL GOVERNMENTAL AGENCY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

6. TEMPORARY FACILITIES

6.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, COMMUNICATIONS, AND ELECTRICITY, FOR HIS OPERATIONS AND WORKS, COST INCLUDED UNDER MOBILIZATION.

6.2. CONTRACTOR SHALL CONSTRUCT TEMPORARY FENCING TO SECURE CONSTRUCTION AREAS AT ALL TIMES, COST INCLUDED IN MOBILIZATION.

6.3. CONTRACTOR TO OBTAIN A SECURE STAGING AREA AND OBTAIN ALL NECESSARY APPROVALS FROM THE OWNER.

6.4. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY LIGHTING AS REQUIRED TO LIGHT THE CONSTRUCTION PROJECT LIMITS AT ALL TIMES, TO AT LEAST THE SAME LIGHTING INTENSITY LEVELS AS THE EXISTING CONDITIONS.

6.5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.

7. PROJECT PROGRESS AND CLOSEOUT

7.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE BROOM SWEEP CLEAN.

7.2. THE CONTRACTOR SHALL RESTORE OR REPLACE ANY PUBLIC OR PRIVATE PROPERTY (SUCH AS HIGHWAY, DRIVEWAY, WALKWAY, AND LANDSCAPING), DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF CONSTRUCTION. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

7.3. MATERIAL OR DEBRIS SHALL BE HAULED IN ACCORDANCE WITH NPDES PERMIT AND JURISDICTIONAL LAWS.

7.4. ALL LAND SURVEY PROPERTY MONUMENTS OR PERMANENT REFERENCE MARKERS, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

7.5. ALL UNPAVED SURFACES DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE GRADED, SODDED, & RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

8. PROJECT RECORD DOCUMENTS:

8.1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE LOCATION, LENGTH, MATERIAL AND ELEVATION OF ANY FACILITY NOT BUILT ACCORDING TO PLANS. THIS COPY OF THE "AS-BUILT" SHALL BE SUBMITTED TO ENGINEER FOR PROJECT RECORD.

8.2. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND LIMEROCK BASE CONSTRUCTION (AT LEAST 48 HOURS BEFORE PLACING

ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND PERTINENT GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED ROCK GRADES OF THE ROAD CROWN AND EDGES OF PAVEMENT AT 50 FOOT INTERVALS, INCLUDING LOCATIONS AND ELEVATIONS OF ALL HIGH AND LOW POINTS.

8.3. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES, DIMENSIONS, LOCATIONS, AND ELEVATIONS OF ALL IMPROVEMENTS.

8.4. "AS-BUILT" DRAWINGS OF WATER LINES AND FORCE MAINS SHALL INCLUDE THE FOLLOWING INFORMATION:

- 8.4.1. TOP OF PIPE ELEVATIONS EVERY 100 LF.
- 8.4.2. LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS, TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, AND APPURTENANCES.
- 8.4.3. ALL CONNECTIONS TO EXISTING LINES.
- 8.4.4. ENDS OF ALL WATER SERVICES AT THE BUILDINGS WHERE THE WATER SERVICE TERMINATES.
- 8.5. "AS-BUILT" DRAWINGS OF GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- 8.5.1. RIM ELEVATIONS, INVERT ELEVATIONS, LENGTH OF PIPING BETWEEN STRUCTURES, AND SLOPES.
- 8.5.2. THE STUB ENDS AND CLEANOUTS OF ALL SEWER LATERALS SHALL BE LOCATED HORIZONTALLY AND VERTICALLY.
- 8.6. "AS-BUILT" DRAWINGS OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- 8.6.1. RIM ELEVATION, INVERT ELEVATION, LENGTH OF PIPING BETWEEN STRUCTURES, AND CONTROL STRUCTURE ELEVATIONS IF APPLICABLE.
- 8.6.2. THE SIZE OF THE LINES.
- 8.6.3. DRAINAGE WELL STRUCTURE SHALL INCLUDE, BUT NOT BE LIMITED TO, TOP OF CASING ELEVATION, TOP AND BOTTOM ELEVATIONS OF THE STRUCTURE AND BAFFLE WALLS, RIM ELEVATIONS AND PIPE INVERTS.
- 8.7. "AS-BUILT" DRAWINGS OF CONSTRUCTION AREAS SHALL INCLUDE THE FOLLOWING:
- 8.7.1. ROCK ELEVATIONS AT ALL HIGH, AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY.
- 8.7.2. ROCK ELEVATIONS AND CONCRETE BASE ELEVATIONS SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
- 8.7.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS.
- 8.7.4. FINISH GRADE ELEVATIONS IN ISLAND AREAS.
- 8.7.5. "AS-BUILT" ELEVATIONS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS.
- 8.7.6. LAKE AND CANAL BANK "AS-BUILT" DRAWINGS SHALL INCLUDE A KEY SHEET OF THE LAKE FOR THE LOCATION OF CROSS SECTIONS. LAKE AND CANAL BANK CROSS SECTIONS SHALL BE PLOTTED AT A MINIMUM OF EVERY 100 LF, UNLESS OTHERWISE SPECIFIED. "AS-BUILT" DRAWINGS SHALL CONSIST OF THE LOCATION AND ELEVATION OF THE TOP OF BANK, EDGE OF WATER, AND THE DEEP CUT LINE, WITH THE DISTANCE BETWEEN EACH SHOWN ON THE DRAWING.
- 8.7.7. RETENTION AREA "AS-BUILT" ELEVATIONS SHALL BE TAKEN AT THE BOTTOM OF THE RETENTION AREA AND AT THE TOP OF BANK. IF THERE ARE CONTOURS INDICATED ON THE DESIGN PLANS, THEN THEY SHALL BE INCLUDED IN "AS-BUILT" DRAWINGS AS WELL.
- 8.8. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE "AS-BUILT" DRAWINGS ON FULL SIZE, 24" X 36" SHEETS. ALL "AS-BUILT" INFORMATION SHALL BE PUT ON THE LATEST ENGINEERING DRAWINGS. EIGHT (8) SETS OF BLUE OR BLACK LINE DRAWINGS SHALL BE SUBMITTED. THESE DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR.
- 8.9. AN ELECTRONIC COPY OF THESE "AS-BUILT" DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2008 OR LATER.
- 9. UTILITY NOTES
- 9.1. CONTRACTOR IS RESPONSIBLE FOR UTILITY VERIFICATION PRIOR TO FABRICATION.
- 9.2. THE CONTRACTOR IS ADVISED THAT PROPERTIES ADJACENT TO THE PROJECT HAVE ELECTRIC, TELEPHONE, GAS, WATER AND/OR SEWER SERVICE LATERALS WHICH MAY NOT BE SHOWN IN PLANS. THE CONTRACTOR MUST REQUEST THE LOCATION OF THESE LATERAL SERVICES FROM THE UTILITY COMPANIES.
- 9.3. THE CONTRACTOR SHALL USE HAND DIGGING WHEN EXCAVATING NEAR EXISTING UTILITIES. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR WHILE EXCAVATING, INSTALLING, BACKFILLING OR COMPACTING AROUND THE UTILITIES.
- 9.4. THE CONTRACTOR SHALL NOTIFY AND OBTAIN AN UNDERGROUND CLEARANCE FROM ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN A SUNSHINE911.COM CERTIFICATION CLEARANCE NUMBER AND FIELD MARKINGS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
- 9.5. FOR STREET EXCAVATION OR CLOSING OR FOR ALTERATION OF ACCESS TO PUBLIC OR PRIVATE PROPERTY, THE CONTRACTOR SHALL NOTIFY:

 - ROADWAY JURISDICTIONAL ENGINEERING / PUBLIC WORKS AUTHORITY.
 - COUNTY TRANSIT AUTHORITY
 - SCHOOL BOARD TRANSPORTATION AUTHORITY
 - JURISDICTIONAL FIRE DEPARTMENT DISPATCH
 - JURISDICTIONAL POLICE DEPARTMENT(S)

9.6. THE CONTRACTOR SHALL USE EXTREME CAUTION WORKING UNDER, OVER, AND AROUND EXISTING ELECTRIC LINES. THE CONTRACTOR SHALL CONTACT THE ELECTRIC PROVIDER COMPANY TO VERIFY LOCATIONS, VOLTAGE, AND REQUIRED CLEARANCES, ON SITE, IN RIGHT-OF-WAYS, AND IN EASEMENTS, PRIOR TO ANY CONSTRUCTION IN THE VICINITY OF EXISTING LINES.

9.7. LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY (FACILITIES) AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION (VERTICAL & HORIZONTAL) OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS AND LOCATIONS OF ALL EXISTING FACILITIES, IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE CONFLICT.

9.8. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND UTILITY COMPANIES REQUIRED. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.

10. SIGNING AND PAVEMENT MARKINGS

10.1. ALL SIGNING AND PAVEMENT MARKINGS INSTALLED AS PART OF THESE PLANS SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), COUNTY TRAFFIC DESIGN STANDARDS AND FDOT DESIGN STANDARDS AS A MINIMUM CRITERIA.

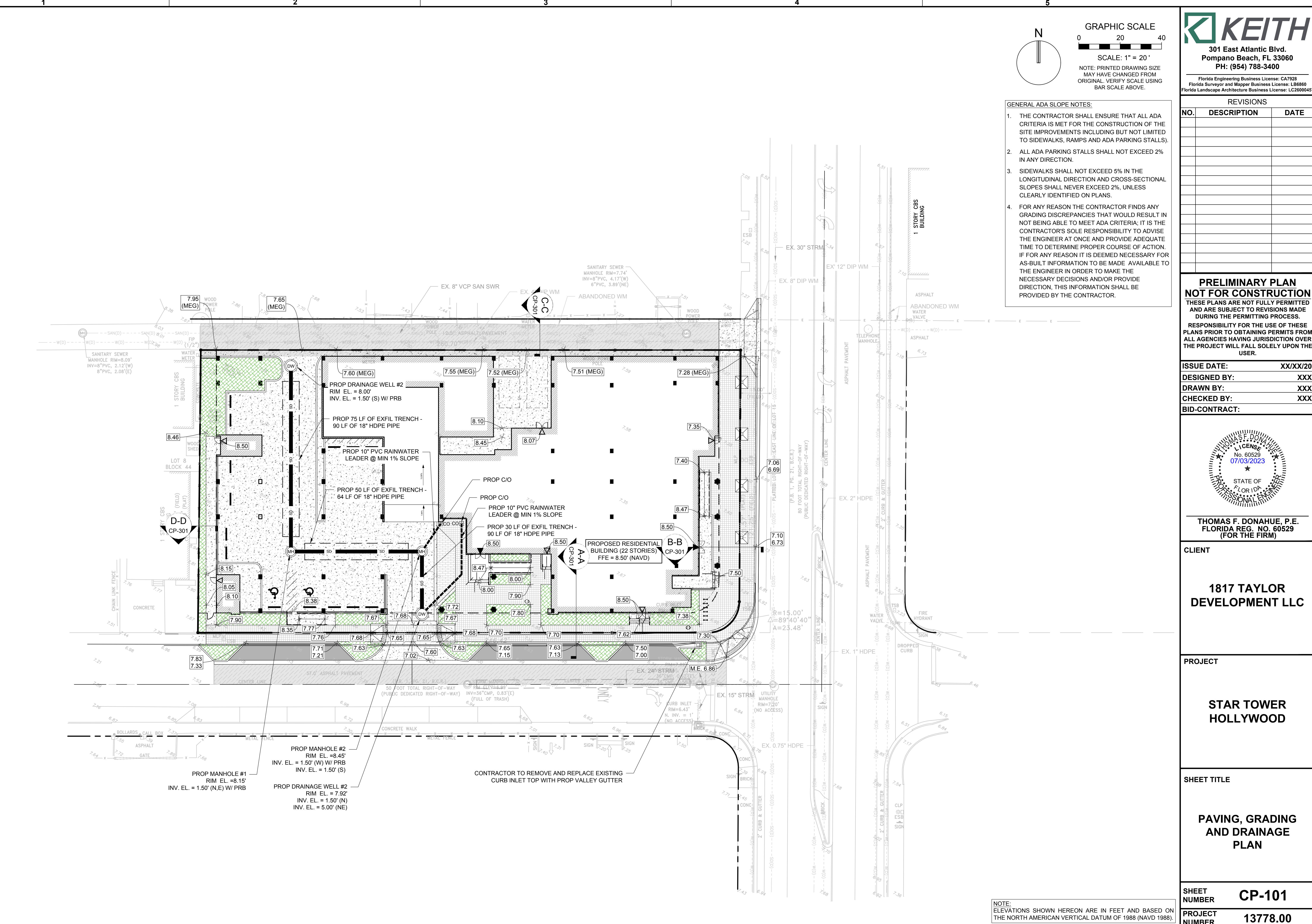
10.2. MATCH EXISTING PAVEMENT MARKINGS AT THE LIMITS OF CONSTRUCTION.

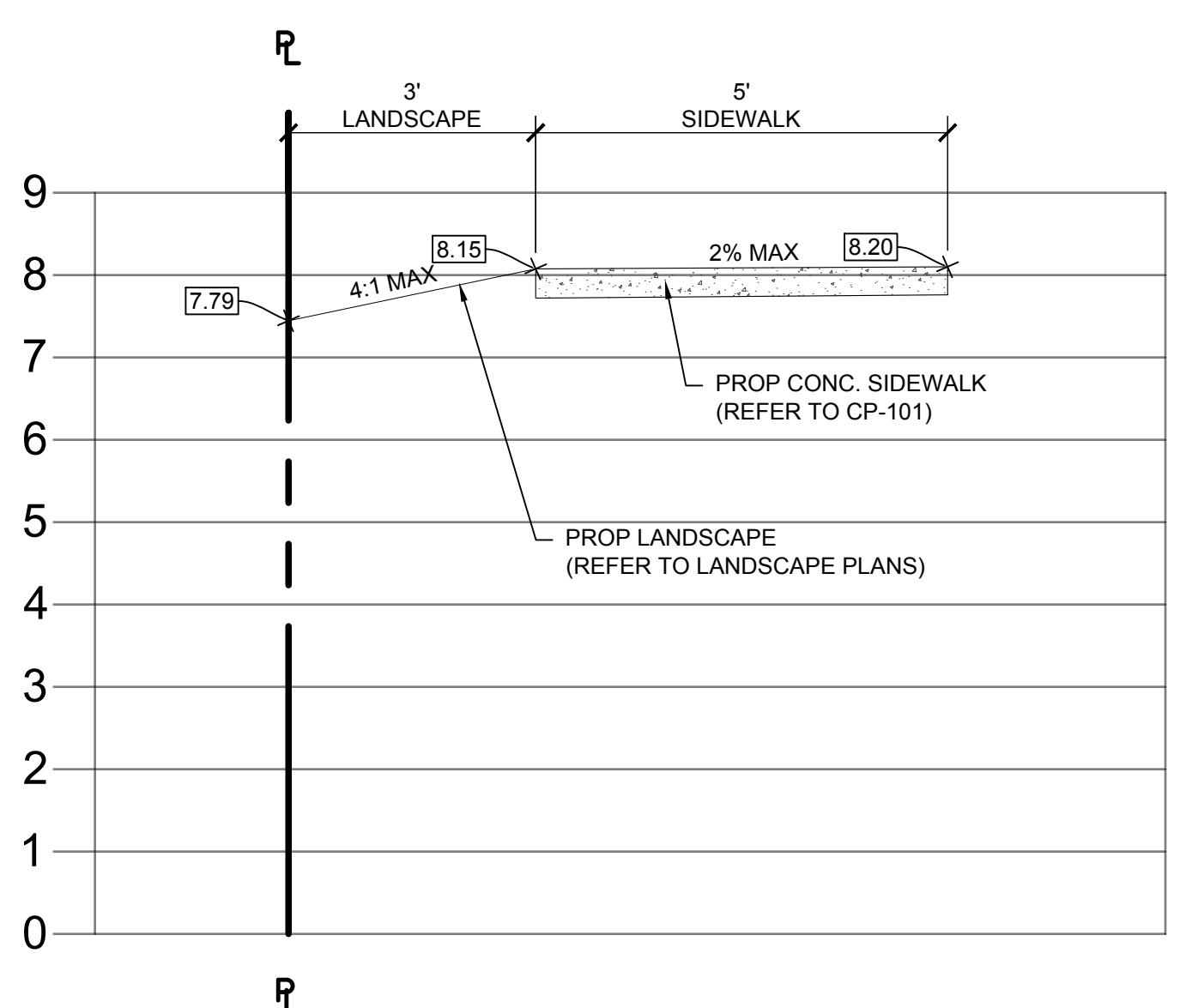
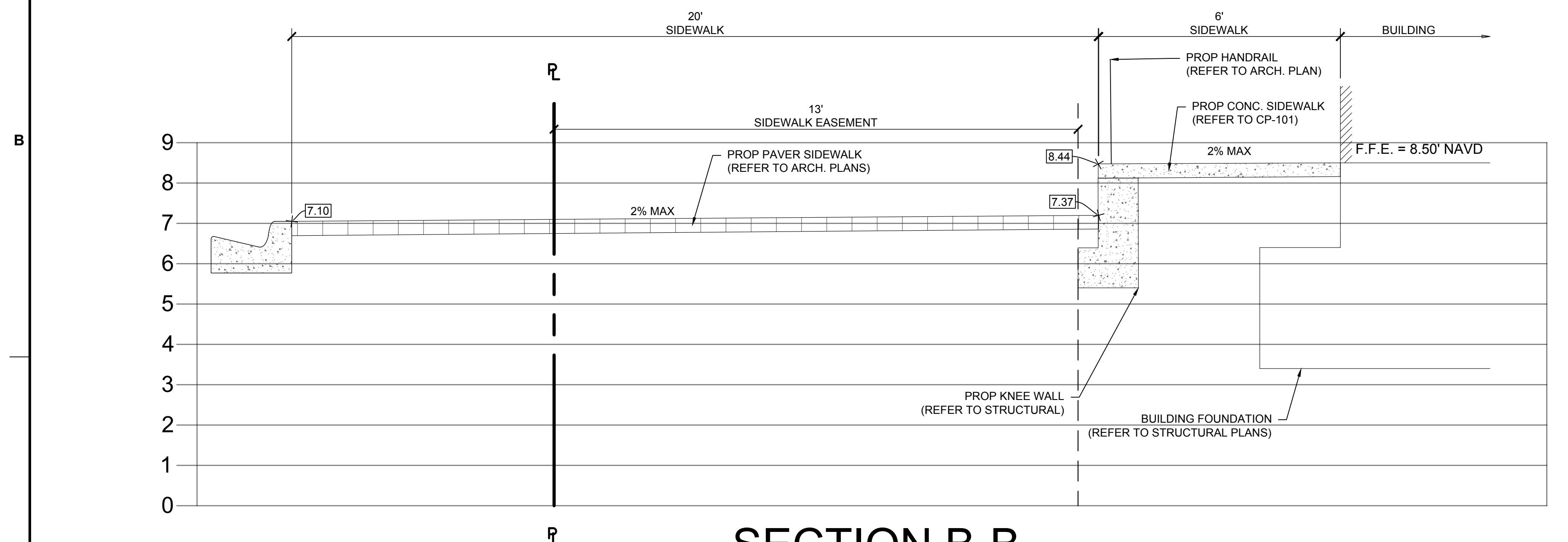
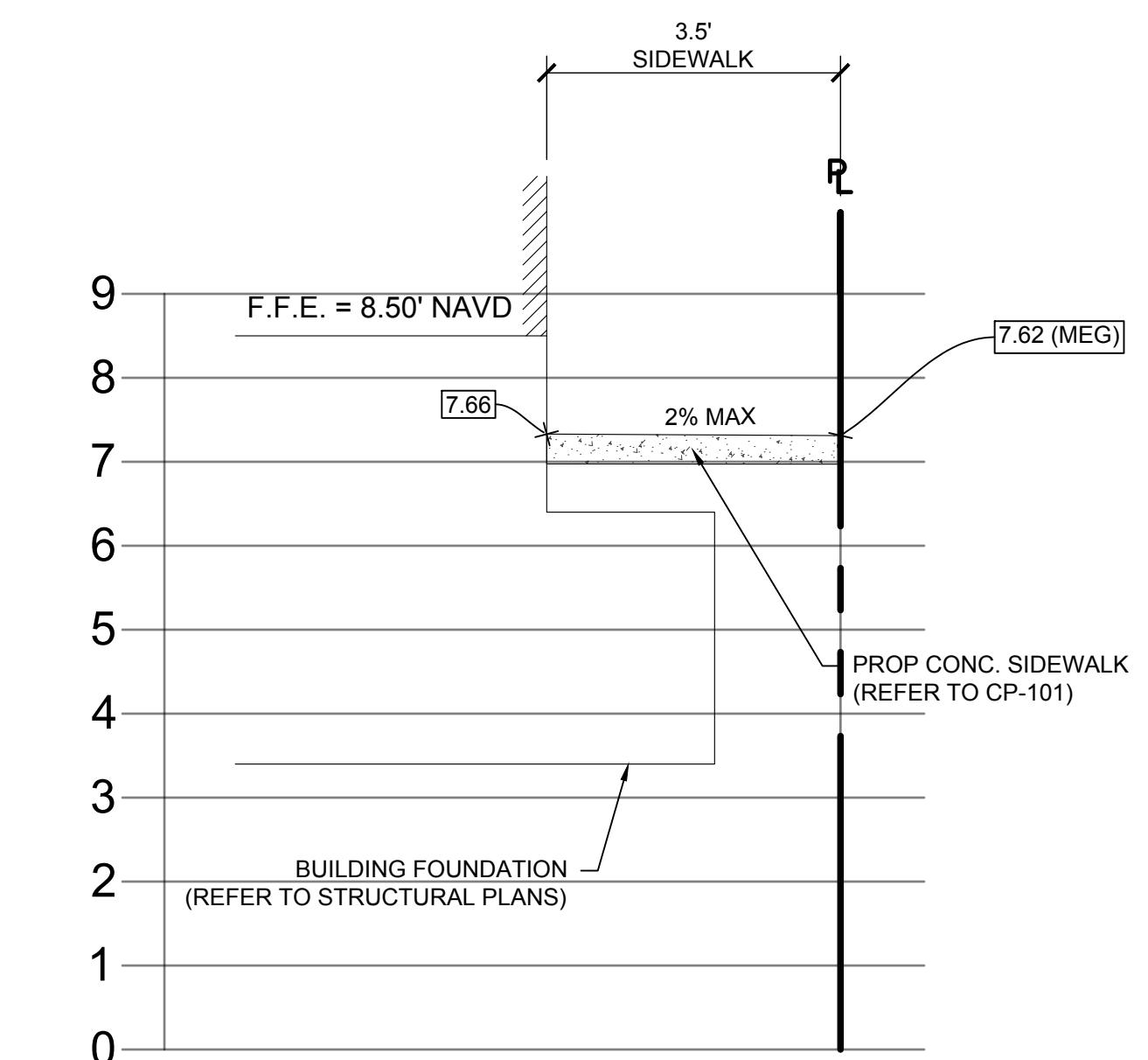
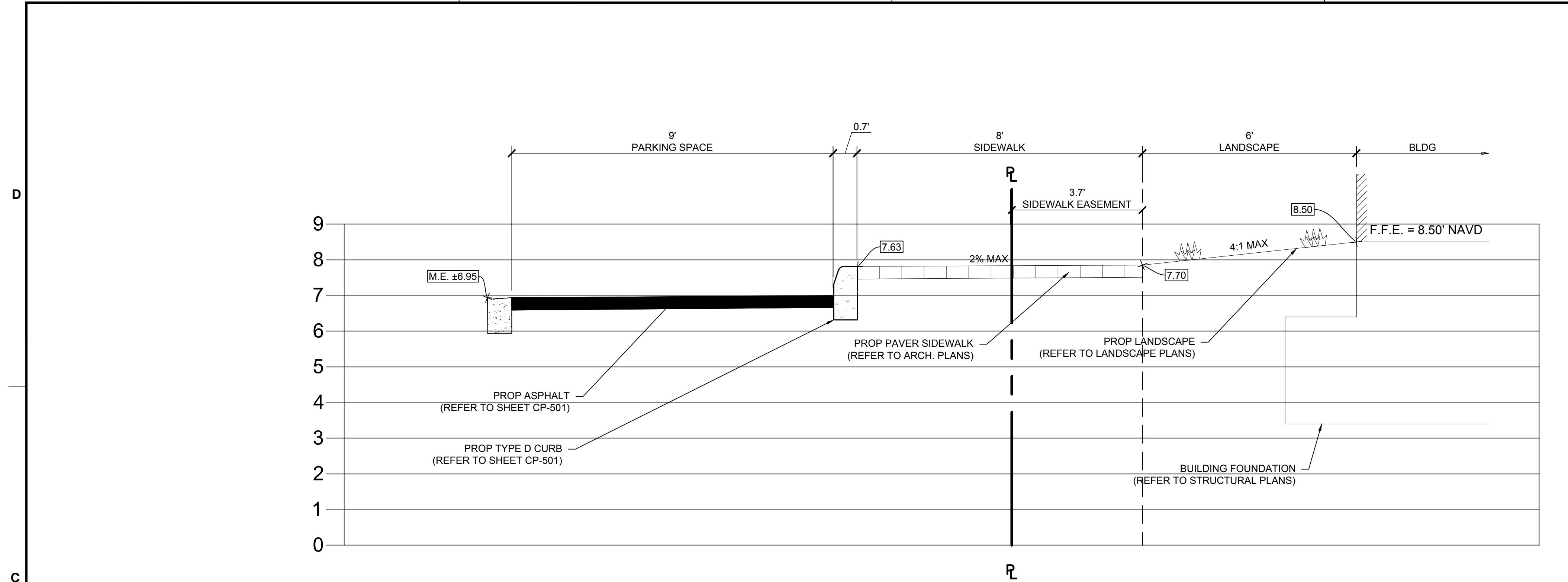
10.3. REMOVAL OF THE EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY WATER BLASTING OR OTHER APPROVED METHODS DETERMINED BY THE ENGINEER.

10.4. INCORRECTLY PLACED PAINT OR THERMOPLASTIC PAVEMENT MARKINGS OVER FRICTION COURSE WILL BE REMOVED BY MILLING AND REPLACING THE FRICTION COURSE A MINIMUM WIDTH OF 18 IN AT THE CONTRACTOR'S EXPENSE. THE ENGINEER MAY APPROVE AN ALTERNATIVE METHOD IF IT CAN BE DEMONSTRATED TO COMPLETELY REMOVE THE MARKINGS WITHOUT DAMAGING THE ASPHALT.

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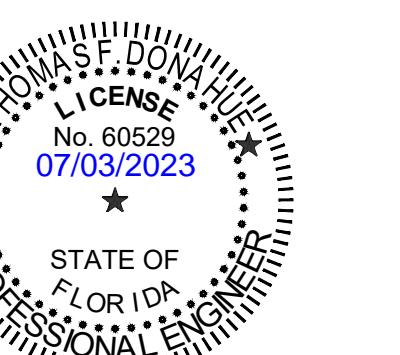
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<p>CONSTRUCTION SPECIFICATIONS</p> <p>SECTION 20 - GENERAL SPECIFICATIONS PAVING GRADING DRAINAGE AND EARTHWORK</p> <p>20.1. IT IS THE INTENT OF THESE SPECIFICATIONS TO DESCRIBE THE MINIMUM ACCEPTABLE TECHNICAL REQUIREMENTS FOR THE MATERIALS AND WORKMANSHIP FOR CONSTRUCTION OF SITE IMPROVEMENTS FOR THIS PROJECT. SUCH IMPROVEMENTS MAY GENERALLY INCLUDE, BUT NOT TO BE LIMITED TO, CLEARING, GRADING, PAVING, REMOVAL OF EXISTING PAVEMENT, STORM DRAINAGE, WATER LINES AND SANITARY SEWERS.</p> <p>20.2. IT IS THE INTENT THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION: (CURRENT EDITION) TOGETHER WITH "SUPPLEMENTAL SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION), AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (CURRENT EDITION) BE USED WHERE APPROPRIATE FOR THE VARIOUS WORK, AND THAT WHERE SUCH WORDING THEREIN REFERS TO THE STATE OF FLORIDA AND ITS DEPARTMENT OF TRANSPORTATION AND PERSONNEL, SUCH WORDING IS INTENDED TO BE REPLACED WITH THE WORDING WHICH WOULD PROVIDE PROPER TERMINOLOGY; THEREBY MAKING SUCH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" TOGETHER WITH THE "FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS" AS THE "STANDARD SPECIFICATIONS" FOR THIS PROJECT. IF WITHIN A PARTICULAR SECTION, ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO, IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO. THE CONTRACTOR SHALL ABBIDE BY ALL LOCAL AND STATE LAWS, REGULATIONS AND BUILDING CODES WHICH HAVE JURISDICTION IN THE AREA.</p> <p>20.3. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE THE CONSTRUCTION OF A PAVING AND DRAINAGE SYSTEM AS SHOWN ON THE PLANS, SPECIFIED HEREIN OR BOTH. IT IS THE INTENT TO PROVIDE A COMPLETE AND OPERATING FACILITY IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS. THE MATERIAL AND EQUIPMENT SHOWN OR SPECIFIED SHALL NOT BE TAKEN TO EXCLUDE ANY OTHER INCIDENTALS NECESSARY TO COMPLETE THE WORK.</p> <p>20.4. ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE PLANS AND CONSTRUCTION SPECIFICATIONS AND THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY THE UNIT OF GOVERNMENT WHICH HAS JURISDICTION AND RESPONSIBILITY FOR THE CONSTRUCTION. WHERE CONFLICTS OR OMISSIONS EXIST, THE JURISDICTIONAL GOVERNMENT ENGINEERING DEPARTMENT'S STANDARDS SHALL GOVERN. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.</p> <p>20.5. GUARANTEE - ALL MATERIALS AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT, SHALL BE GUARANTEED FOR A PERIOD OF (L) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF, AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP, UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE GUARANTEED EQUIPMENT OR MATERIALS, DURING THE GUARANTEE PERIOD, THE AFFECTED PART OR MATERIALS SHALL BE REPLACED PROMPTLY WITH NEW PARTS OR MATERIALS BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER. IN THE EVENT THE CONTRACTOR FAILS TO MAKE NECESSARY REPLACEMENT OR REPAIRS WITHIN (7) SEVEN DAYS AFTER NOTIFICATION BY THE OWNER, THE OWNER MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.</p> <p>21. EARTHWORK</p> <p>21.1. ALL AREAS WITHIN THE PROJECT LIMITS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1'. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE STANDARD SPECIFICATIONS.</p> <p>21.2. NONE OF THE EXISTING LIMEROCK MATERIAL FROM DEMOLISHED PAVEMENT IS TO BE INCORPORATED IN THE NEW LIMEROCK BASE, UNLESS NOTED IN PLANS. THE EXISTING LIMEROCK MATERIAL FROM DEMOLISHED PAVEMENT MAY BE INCORPORATED INTO THE STABILIZED SUBGRADE / SUBBASE, OR STABILIZED SHOULDER.</p> <p>21.3. FILL MATERIAL SHALL BE CLASSIFIED AS A-L, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.</p> <p>21.4. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPAKTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.</p> <p>21.5. ALL MATERIAL OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND TESTING TO ESTABLISH CONFORMANCE WITH THE SPECIFICATIONS AND SUITABLY FOR THE USES INTENDED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE TIME HE WILL BE READY FOR AN INSPECTION OR TEST. THE CONTRACTOR SHALL FOLLOW CITY AND COUNTY INSPECTION PROCEDURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY PHASE OF WORK DEPENDENT ON AN INSPECTION OR TEST OF AN EARLIER PHASE OF WORK, PRIOR TO THAT TEST OR INSPECTION PASSING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.</p> <p>21.6. WHEN MUCK, CLAY, ROCK, OR ANY OTHER MATERIAL THAT IS UNSUITABLE IN ITS ORIGINAL POSITION ARE ENCOUNTERED BEHNEATHE PROPOSED PAVEMENT AND SIDEWALK AREAS, THE UNSUITABLE MATERIALS SHALL BE COMPLETELY REMOVED FROM BEHNEATHE PAVEMENT AND SIDEWALK AREAS AND (10) TEN FEET BEYOND THE EDGE OF PAVEMENT. ALL SUCH UNSUITABLE MATERIAL REMOVED BY THE SUBSOIL EXCAVATION, SHALL BE REPLACED WITH ACCEPTABLE EMBANKMENT MATERIAL, AS SPECIFIED IN THE STANDARD SPECIFICATIONS.</p> <p>21.7. WHEN MUCK, CLAY, HARDPAN OR ANY OTHER MATERIAL THAT IS UNSUITABLE IN ITS ORIGINAL POSITION, ARE ENCOUNTERED BEHNEATHE PROPOSED DRAINAGE SWALES OR DRY RETENTION AREAS, THE UNSUITABLE MATERIALS SHALL BE COMPLETELY REMOVED FROM BEHNEATHE DRAINAGE SWALES AND DRY RETENTION AREAS. ALL SUCH UNSUITABLE MATERIAL REMOVED BY THE SUBSOIL EXCAVATION, SHALL BE REPLACED WITH COARSE SAND, OR OTHER SUITABLE GRANULAR MATERIAL, AS SPECIFIED IN THE STANDARD SPECIFICATIONS.</p> <p>21.8. ALL UNDERGROUND UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE IN PLACE PRIOR TO SUBGRADE COMPAKCTION AND PAVEMENT CONSTRUCTION.</p> <p>21.9. GROUND ADJACENT TO ROADWAY/PAVEMENT HAVING RUNOFF SHALL BE GRADED (2) TWO INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW</p> <p>FOR THE PLACEMENT OF SOD.</p> <p>21.10. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1' OF THE REQUIRED ELEVATION FOR NON PAVED AREAS AND ALL AREAS SHALL BE GRADED TO DRAIN WITHOUT PONDING.</p> <p>21.11. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, FILL, EMBANKMENT AND GRADING TO ACHIEVE THE PROPOSED PLAN GRADES INCLUDING ROAD SECTIONS, SIDE SLOPES AND CANAL SECTIONS. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 120 OF THE STANDARD SPECIFICATIONS. IF FILL MATERIAL IS REQUIRED IN EXCESS OF THAT GENERATED BY THE EXCAVATION, THE CONTRACTOR SHALL SUPPLY THIS MATERIAL AS REQUIRED FROM OFF-SITE.</p> <p>21.12. A 2' BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED OR SEEDED AND MULCHED WITHIN THE PROJECT LIMITS UNLESS OTHERWISE INDICATED ON THE PLANS.</p> <p>21.13. SOD SHALL BE ST. AUGUSTINE UNLESS OTHERWISE INDICATED ON THE PLANS, AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO INSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT.</p> <p>22. DRAINAGE</p> <p>22.1. INLETS - ALL INLETS SHALL BE THE TYPE DESIGNATED ON THE PLANS, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 425 OF THE STANDARD SPECIFICATIONS. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEARED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.</p> <p>22.2. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:</p> <ul style="list-style-type: none"> • PCR = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76, SECTION 941 OF THE STANDARD SPECIFICATIONS. • CMP = CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196. • CMP (SMOOTH LINED) = CORRUGATED METAL ALUMINUM PIPE, (SMOOTH LINED) ASTM DESIGNATION M-196. • SCP = SLOTTED CONCRETE PIPE, SECTIONS 941 AND 942, OF THE STANDARD SPECIFICATIONS. • PVC = POLYVINYL CHLORIDE PIPE. • PCMP = PERFORATED CMP, SECTION 945, OF THE STANDARD SPECIFICATIONS • CORRUGATED HIGH DENSITY POLYETHYLENE PIPE (HDPE) (12 INCHES TO 60 INCHES), SHALL MEET THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 948-2.3. <p>22.3. PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE AS DEFINED IN THE SECTION 125-8, OF THE STANDARD SPECIFICATIONS. PIPELINE BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPAKTED TO 100% OF THE STANDARD PROCTOR (AASHTO T-99 SPECIFICATIONS).</p> <p>22.4. LOCATION OF DRAINAGE STRUCTURES SHALL GOVERN, AND PIPE LENGTH MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.</p> <p>22.5. DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE INNER WALLS OF STRUCTURES.</p> <p>22.6. FILTER FABRIC SHALL BE MIRAF, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE STANDARD SPECIFICATIONS.</p> <p>23. ASPHALT PAVING</p> <p>23.1. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.</p> <p>23.2. INTERNAL ASPHALT PAVING CONSTRUCTED ON EXISTING SANDY SOILS SHALL BE CONSTRUCTED WITH A 12" SUBGRADE, COMPAKTED TO A MINIMUM DENSITY OF 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. THE COMPACTED SUBGRADE SHALL BE CONSTRUCTED IN THE LIMITS SHOWN ON THE PLANS. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED.</p> <p>23.3. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE SURFACE COURSE SHALL CONSIST OF THE THICKNESS AND TYPE ASPHALTIC CONCRETE AS SPECIFIED IN THE PLANS. ALL ASPHALTIC CONCRETE SHALL BE IN ACCORDANCE WITH SECTIONS 320, 327, 330, 334, 336, 337, 337, 338, 339 AND 341 OF THE STANDARD SPECIFICATIONS.</p> <p>23.4. LIMEROCK BASE SHALL BE PREPARED, COMPAKTED AND GRADED AND SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE STANDARD SPECIFICATIONS. ALL LIMEROCK SHALL BE COMPAKTED TO 98% FOR AASHTO T-180 AND HAVE NOT LESS THAN 70% OF CARBONATES OF CALCIUM AND MAGNESIUM UNLESS OTHERWISE DESIGNATED. THE ENGINEER SHALL INSPECT THE COMPLETED BASE COURSE AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES AND CLEAN THE BASE COURSE PRIOR TO THE PLACEMENT OF THE PRIME COAT. A TACK COAT WILL ALSO BE REQUIRED IF THE ENGINEER FINDS THAT THE PRIMED BASE HAS BECOME EXCESSIVELY DIRTY OR THE PRIME COAT HAS CURED TO THE EXTENT OF LOSING BOUNDING EFFECT PRIOR TO PLACEMENT OF THE ASPHALTIC CONCRETE SURFACE COURSE. THE PRIME AND TACK COATS SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE STANDARD SPECIFICATIONS.</p> <p>23.5. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO EQUAL LIFTS. IF, THROUGH FIELD TESTS, THE CONTRACTOR CAN DEMONSTRATE THAT THE COMPAKTION EQUIPMENT CAN ACHIEVE DENSITY FOR THE FULL DEPTH OF A THICKER LIFT, AND IF APPROVED BY THE ENGINEER, THE BASE MAY BE CONSTRUCTED IN SUCCESSIVE COURSES OF NOT MORE THAN 8 INCHES (20 MM) COMPAKTED THICKNESS.</p> <p>23.6. ASPHALT EDGES THAT ARE NOT CURBED SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE TO THE DIMENSIONS SHOWN ON PLANS.</p> <p>24. CONCRETE CONSTRUCTION</p> <p>24.1. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH SECTION 522 OF THE STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 522-001. CONCRETE SIDEWALK SHALL BE 4" THICK, UNLESS OTHERWISE NOT AND CONSTRUCTED ON COMPACTED SUBGRADE, WITH 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75', UNLESS OTHERWISE NOTED ON PLANS. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK, UNLESS OTHERWISE NOTED ON PLANS.</p> <p>24.2. SIDEWALK CURB RAMPS HALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 522-002.</p> <p>24.3. CONCRETE CURB SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS AND SHALL BE IN ACCORDANCE WITH SECTION 520 OF THE STANDARD SPECIFICATIONS. CONCRETE CURBING SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 520-001.</p> <p>30.13. TAPPING SLEEVES SHALL BE MUELLER H615, CLOW F- 2505 OR APPROVED EQUAL.</p> <p>30.14. VALVE BOXES SHALL BE U.S. FOUNDRY 7500 OR APPROVED EQUAL PAINTED BLUE WITH THE DESIGNATION "WATER".</p> <p>30.15. RETAINER GLANDS FOR DIP SHALL CONFORM TO ANSI/AWWA C11/A21.11 LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. CLOW CORPORATION MODEL F-1058, STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.</p> <p>30.16. DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER STYLE 90. NO SUBSTITUTIONS ALLOWED.</p> <p>30.17. FIRE HYDRANTS SHALL BE MUELLER CENTURION TRAFFIC TYPE A-423 WITH 5 1/4" INTERNAL VALVE OPENING OR APPROVED EQUAL. PUMPER NOZZLE TO BE 18" FROM FINISHED GRADE. ALL HYDRANTS TO BE INSTALLED WITH CONTROL VALVE. RETAINER GLANDS ARE PREFERRED FOR RESTRAINING. FIRE HYDRANT SHALL COMPLY WITH ANSI/AWWA C502 LATEST REVISION. FIRE HYDRANTS SHALL BE PAINTED IN ACCORDANCE WITH NFPA #291 OR PER AGENCY STANDARDS HAVING JURISDICTION. BLUE RAISED REFLECTIVE PAVEMENT MARKER (RPM) SHALL BE USED TO IDENTIFY FIRE HYDRANT LOCATION. THE PLACEMENT OF THE RPM TO BE AT THE CENTERLINE OF THE OUTSIDE ROADWAY LANE.</p> <p>30.18. SEWAGE FORCE MAIN VALVES SHALL BE PLUG VALVES WHICH SHALL BE OF THE NON-LUBRICATED, ECCENTRIC TYPE WITH RESILIENT FACED PLUGS, PORT AREAS FOR VALVES 20 INCHES AND SMALLER SHALL BE AT LEAST 80% OF FULL PIPE AREA. PORT AREA OF VALVES 24 INCHES AND LARGER SHALL BE AT LEAST 70% OF FULL PIPE AREA. THE BODY SHALL BE OF STEEL (ASTM A-126 C1.B) AND SHALL HAVE BOLTED BONNET WHICH GIVES ACCESS TO THE INTERNALS OF THE VALVE. SEATS SHALL BE WELDED OVERLAY OF HIGH NICKEL CONTENT OR A STAINLESS STEEL PLATE LOCKED IN THE BODY CAVITY. IF A PLATE IS USED, IT SHALL BE REPLACEABLE THROUGH THE BONNET ACCESS. BEARINGS SHALL BE PERMANENTLY LUBRICATED OF STAINLESS STEEL, BRONZE OR TEFLON LINED, FIBER GLASS BACKED DURALON. BEARING AREAS SHALL BE ISOLATED FROM THE FLOW WITH GRIT SEALS. VALVES SHALL HAVE PACKING BONNETS WHERE THE SHAFT PROTRUDES FROM THE VALVE AND THE PACKING SHALL BE SELF-ADJUSTING CHEVRON TYPE WHICH CAN BE REPLACED WITHOUT REMOVING THE BONNET. ALL NUTS, BOLTS, SPRINGS AND WASHERS SHALL BE STAINLESS STEEL.</p> <p>30.19. PLUG VALVES SHALL BE DESIGNED FOR A WORKING PRESSURE OF 150 PSI THE VALVE AND ACTUATOR SHALL BE CAPABLE OF SATISFACTORY OPERATION IN EITHER DIRECTION OF FLOW AGAINST PRESSURE DROPS UP TO AND INCLUDING 100 PSI (FOR PLUG VALVES OVER 12" IN DIAMETER). VALVES SHALL BE BUBBLE TIGHT IN BOTH DIRECTIONS AT 100 PSI DIFFERENTIAL. PLUG VALVES OVER 12" IN DIAMETER SHALL HAVE WORM GEAR OPERATORS. THE OPERATING MECHANISM SHALL BE FOR BURIED SERVICE WITH A 2 INCH SQUARE OPERATING NUT.</p> <p>30.20. PLUG VALVES ARE TO BE INSTALLED WITH THE SEAT POINTED TOWARDS THE UPSTREAM FLOW, WHEN SPECIFIED.</p> <p>30.21. SWING CHECK VALVES FOR WATER, SEWAGE, SLUDGE, AND GENERAL SERVICE SHALL BE OF THE OUTSIDE LEVER AND SPRING OR WEIGHT TYPE, IN ACCORDANCE WITH ANSI/AWWA C 508 LATEST REVISION. SWING-CHECK VALVES FOR WATERWORKS SERVICE, 2" THROUGH 24" NPS, UNLESS OTHERWISE INDICATED, WITH FULL-OPENING PASSAGES, DESIGNED FOR A WATER-WORKING PRESSURE OF 150 PSI THEY SHALL HAVE A FLANGED COVER PIECE TO PROVIDE ACCESS TO THE DISC.</p> <p>30.22. HIGH DENSITY POLYETHYLENE PIPE (HDPE) FOR WATER DISTRIBUTION MAINS SHALL CONFORM TO AWWA C606 STANDARD, LATEST REVISION. PIPES SHALL BE COLOR-CODED BLUE, MINIMUM 40 FEET STANDARD LENGTHS.</p> <p>31. SERVICE CONNECTION:</p> <p>31.1. SERVICE SADDLES SHALL BE FUSION BONDED PLASTIC COATED DUCTILE IRON (ASTM A536) WITH STAINLESS STEEL STRAPS, SADDLES SHALL BE DOUBLE STRAP TYPE.</p> <p>31.2. SERVICE LINES SHALL BE POLYETHYLENE (PE 3408), 200 P.S.I RATED, DR9. PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE TOTALLY CONFINED GRIP SEAL AND COUPLING NUT.</p> <p>31.3. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY FORD BALLCORP, CATALOG # 110 OR APPROVED EQUAL.</p> <p>31.4. CURB STOPS SHALL BE FORD V63-44W-X LATEST REVISION OR APPROVED EQUAL.</p> <p>31.5. METER STOPS SHALL BE 90 DEGREE LOCKWING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH FV63-77W" LATEST REVISION WITH ASTM B-62. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY FORD OR APPROVED EQUAL.</p> <p>32. INSTALLATION:</p> <p>32.1. WHERE RESTRAINED PIPE JOINTS ARE REQUIRED DUE TO FITTINGS, APPURTENANCES, ETC., PIPE MATERIAL SHALL BE DIP.</p> <p>32.2. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION "GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM," AND ANSI/AWWA C605-XX LATEST REVISION STANDARD.</p> <p>32.3. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/C 600-XX LATEST REVISION.</p> <p>32.4. ALL WATER MAINS SHALL TYPICALLY BE LAID WITH A MINIMUM 36" COVER FOR PVC AND 30" COVER FOR DIP.</p> <p>32.5. DETECTOR TAPE SHALL BE LAID 18 INCHES ABOVE ALL WATER AND SEWER LINES. A 14 GAUGE MULTI-STRAND WIRE SHALL BE ATTACHED TO ALL NONCONDUCTIVE WATER MAINS TO FACILITATE LOCATION. AN EXTRA 4 FEET OF WIRE SHALL BE PROVIDED AT ALL VALVES, BLOW-OFFS, HYDRANTS, ETC. THE WIRE SHALL BE TESTED FOR CONTINUITY AT THE PRESSURE TEST.</p> <p>32.6. PIPE DEFLECTION SHALL NOT EXCEED 50% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.</p> <p>32.7. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE PLACED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.</p> <p>32.8. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER", AS APPLICABLE, CAST IN THE COVER. U.S. FOUNDRY OR APPROVED EQUAL.</p> <p>33. TESTING:</p> <p>33.1. BEFORE ANY PHYSICAL CONNECTIONS AND ACCEPTANCE FOR OPERATION TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE FLUSHED, PRESSURE TESTED AND DISINFECTED. COPIES OF PASSING BACTERIOLOGICAL RESULTS AND PRESSURE TEST RESULTS MUST BE SUBMITTED TO, AND APPROVED BY, THE ENGINEER, UTILITY OWNER, AND HEALTH DEPARTMENT. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C600-05 (HYDROSTATIC TEST). THE PRESSURE TEST SHALL NOT VARY MORE THAN 5 PSI DURING THE</p> <p>TEST. THE ALLOWABLE LEAKAGE DURING THE PRESSURE TEST SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA: $L = (SD(P)/2)^2/148,000.$ </p> <p>IN WHICH L EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S EQUALS LENGTH OF PIPE (LINEAR FEET), D EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND P EQUALS THE AVERAGE TEST PRESSURE (POUNDS PER SQUARE INCH GAUGE). MAXIMUM LENGTH OF TEST PIPE SECTION SHOULD BE 2000 FEET. THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSI/AWWA C651-05 (WATER MAIN BACTERIOLOGICAL TESTS).</p> <p>33.2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY OWNER AND THE ENGINEER OF RECORD.</p> <p>33.3. FOR WATER DISTRIBUTION PIPES, SAMPLING POINTS SHALL BE PROVIDED BY THE CONTRACTOR AT THE LOCATIONS SHOWN ON THE PLANS.</p> <p>33.4. FOR WATER DISTRIBUTION PIPES, DISINFECTION AND BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH ANSI/AWWA C651-14 (WATER MAIN BACTERIOLOGICAL TESTS). MAXIMUM DISTANCE BETWEEN SAMPLING POINTS SHALL BE AS FOLLOWS:</p> <ul style="list-style-type: none"> • TRANSMISSION MAINS: EVERY 1200 FEET • BRANCH MAINS: EVERY 1000 FEET • ISOLATED MAINS < 1000 FEET: 2 SAMPLE POINTS • ISOLATED MAINS > 1000 FEET: 3 SAMPLE POINTS <p>SECTION 40 - GRAVITY SANITARY SEWER COLLECTION SYSTEM</p> <p>40. GENERAL:</p> <p>40.1. MANHOLE, VALVE BOX, METER BOX AND OTHER STRUCTURE RIM ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE ADJUSTED TO CONFORM TO PLAN GRADES PROPOSED IN THESE PLANS. IF NO OTHER INDIVIDUAL COST ITEM IS INCLUDED IN THE CONTRACT SCHEDULE FOR A PARTICULAR STRUCTURE ADJUSTMENT.</p> <p>40.2. DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.</p> <p>41. MATERIALS:</p> <p>NOTE: IF MATERIALS LIST HERE ON ARE IN CONFLICT WITH UTILITY OWNER, MATERIAL OWNER REQUIREMENTS SHALL GOVERN.</p> <p>41.1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.</p> <p>41.2. DUCTILE IRON PIPE SHALL CONFORM TO ANSI/AWWA C15/A21.51-XX LATEST REVISION, "DUCTILE IRON PIPE CENTRIFUGALLY CAST IN METAL MOLDS WITH WALL THICKNESS CLASS 51 (PRESSURE CLASS 350) UNLESS OTHERWISE NOTED IN THE PLANS. DUCTILE IRON PIPE SHALL BE INTERIOR CERAMIC EPOXY LINED AND EXTERIOR COATED WITH THE MANUFACTURER'S COATING SYSTEM (PROTECO 401 CERAMIC EPOXY WITH A MINIMUM DRY FILM THICKNESS OF 40 MILS AND AN OUTSIDE COATING OF EITHER COAL TAR EPOXY OR ASPHALT). CEMENT MORTARED LININGS ARE NOT APPROPRIATE FOR THIS APPLICATION.</p> <p>41.3. SEWAGE FORCE MAIN VALVES SHALL BE PLUG VALVES WHICH SHALL BE OF THE NON-LUBRICATED, ECCENTRIC TYPE WITH RESILIENT FACED PLUGS, PORT AREAS FOR VALVES 20 INCHES AND SMALLER SHALL BE AT LEAST 80% OF FULL PIPE AREA. PORT AREA OF VALVES 24 INCHES AND LARGER SHALL BE AT LEAST 70% OF FULL PIPE AREA. THE BODY SHALL BE OF STEEL (ASTM A-126 C1.B) AND SHALL HAVE BOLTED BONNET WHICH GIVES ACCESS TO THE INTERNALS OF THE VALVE. SEATS SHALL BE WELDED OVERLAY OF HIGH NICKEL CONTENT OR A STAINLESS STEEL PLATE LOCKED IN THE BODY CAVITY. IF A PLATE IS USED, IT SHALL BE REPLACEABLE THROUGH THE BONNET ACCESS. BEARINGS SHALL BE PERMANENTLY LUBRICATED OF STAINLESS STEEL, BRONZE OR TEFLON LINED, FIBER GLASS BACKED DURALON. BEARING AREAS SHALL BE ISOLATED FROM THE FLOW WITH GRIT SEALS. VALVES SHALL HAVE PACKING BONNETS WHERE THE SHAFT PROTRUDES FROM THE VALVE AND THE PACKING SHALL BE SELF-ADJUSTING CHEVRON TYPE WHICH CAN BE REPLACED WITHOUT REMOVING THE BONNET. ALL NUTS, BOLTS, SPRINGS AND WASHERS SHALL BE STAINLESS STEEL.</p> <p>41.4. PLUG VALVES SHALL BE DESIGNED FOR A WORKING PRESSURE OF 150 PSI THE VALVE AND ACTUATOR SHALL BE CAPABLE OF SATISFACTORY OPERATION IN EITHER DIRECTION OF FLOW AGAINST PRESSURE DROPS UP TO AND INCLUDING 100 PSI (FOR PLUG VALVES OVER 12" IN DIAMETER). VALVES SHALL BE BUBBLE TIGHT IN BOTH DIRECTIONS AT 100 PSI DIFFERENTIAL. PLUG VALVES OVER 12" IN DIAMETER SHALL HAVE WORM GEAR OPERATORS. THE OPERATING MECHANISM SHALL BE FOR BURIED SERVICE WITH A 2 INCH SQUARE OPERATING NUT.</p> <p>41.5. ALL DUCTILE IRON FITTINGS SHALL CONFORM TO ANSI/AWWA C11/A21.51-XX LATEST REVISION. ALL FITTINGS AND ACCESSORIES SHALL BE EPOXY LINED AND COATED WITH THE MANUFACTURER'S COATING SYSTEM AS APPROVED BY THE ENGINEER OF RECORD AND THE LOCAL MUNICIPALITY OR UTILITY OWNER. IN EITHER CASE, THE ENGINEER'S REVIEW AND APPROVAL IS REQUIRED FOR EITHER ALTERNATIVE PRIOR TO CONSTRUCTION. CEMENT MORTARED LININGS ARE NOT APPROPRIATE FOR THIS APPLICATION.</p> <p>41.6. ALL DUCTILE IRON FIT</p>				





**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

ISSUE DATE: 07/03/2023
DESIGNED BY: VAC
DRAWN BY: VAC
CHECKED BY: CM
BID-CONTRACT:



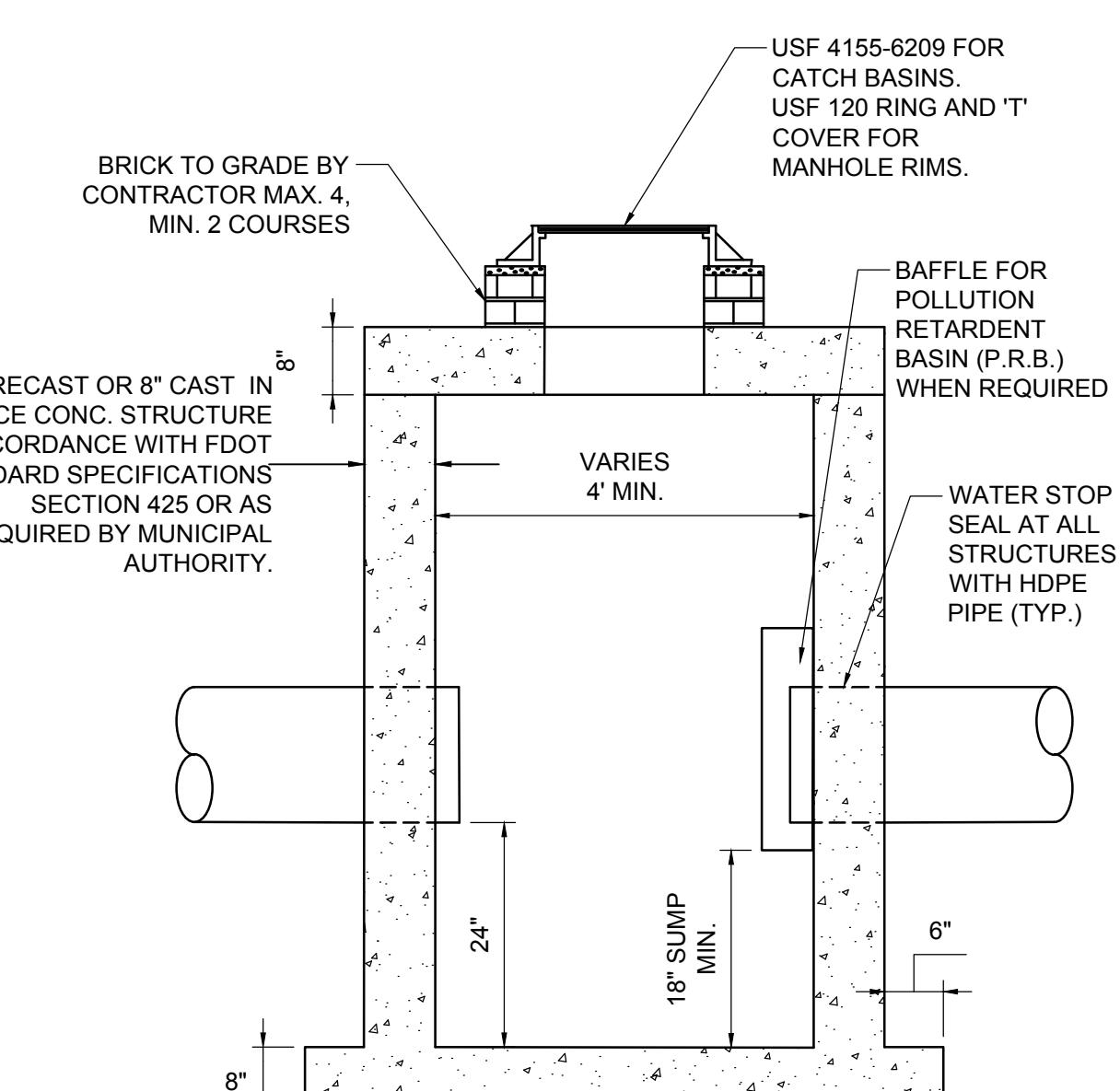
THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

CLIENT
**1817 TAYLOR
DEVELOPMENT LLC**

PROJECT
**STAR TOWER
HOLLYWOOD**

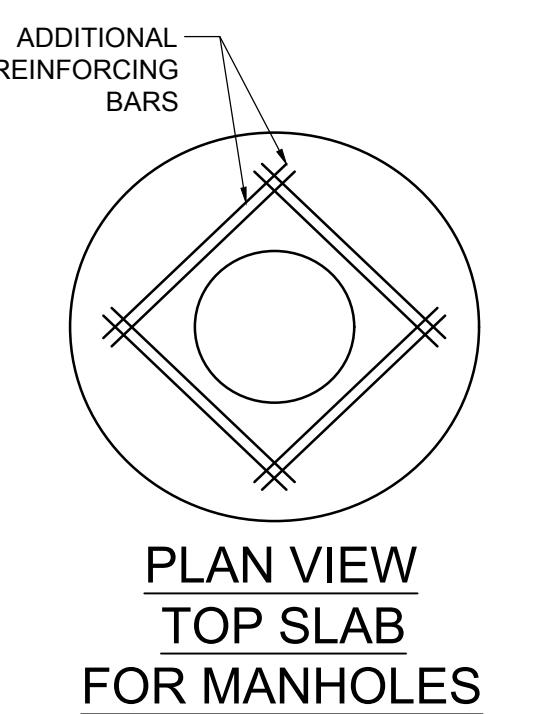
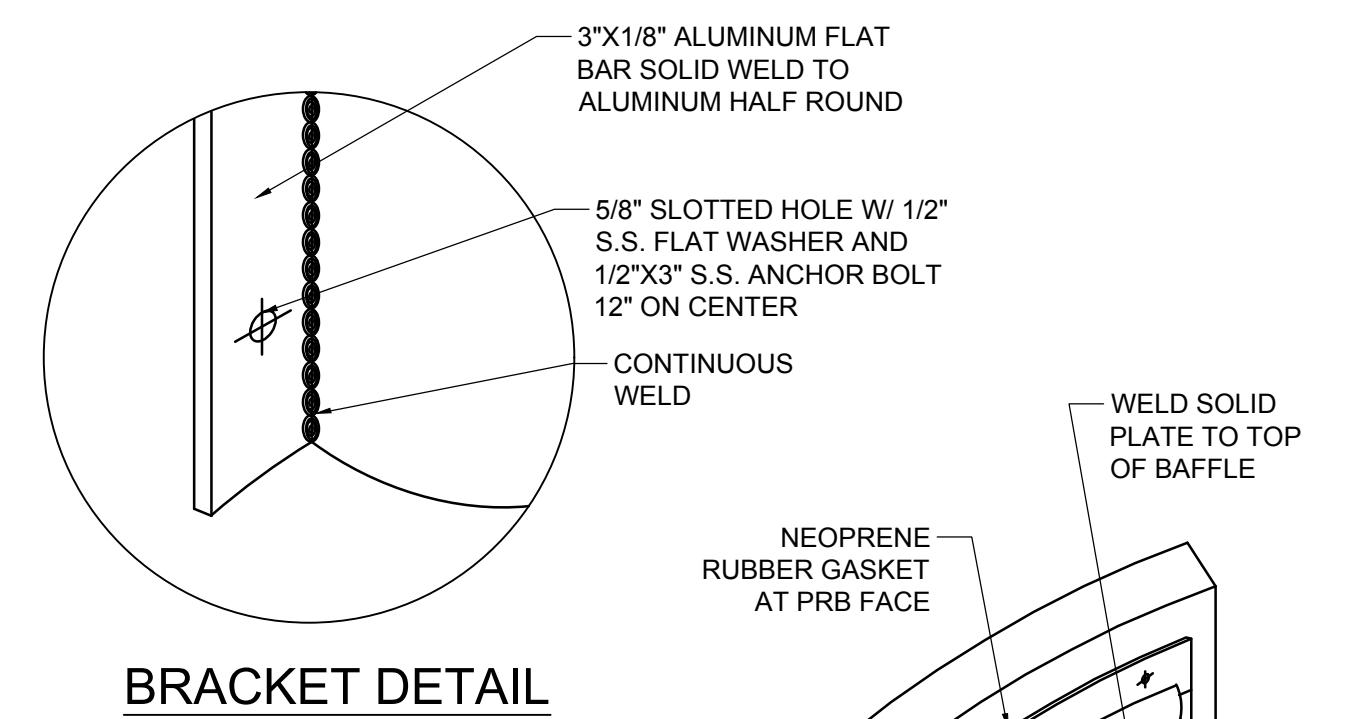
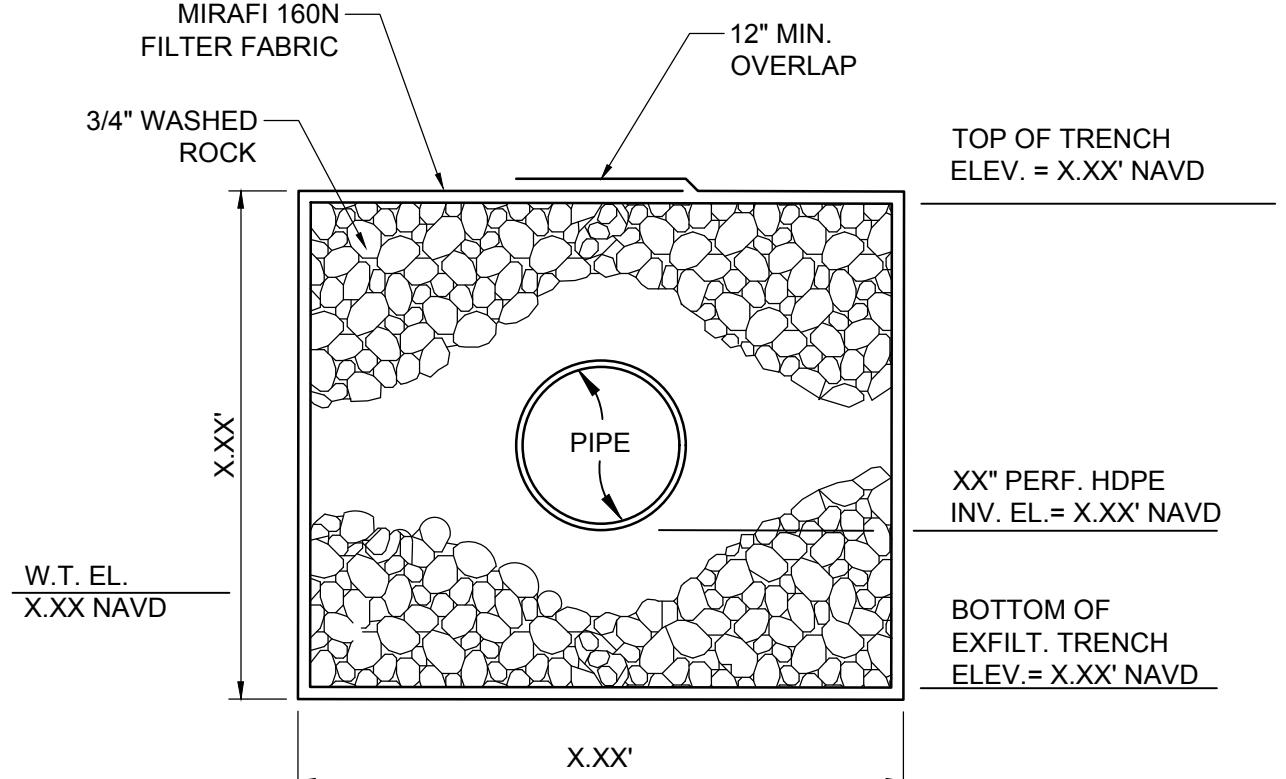
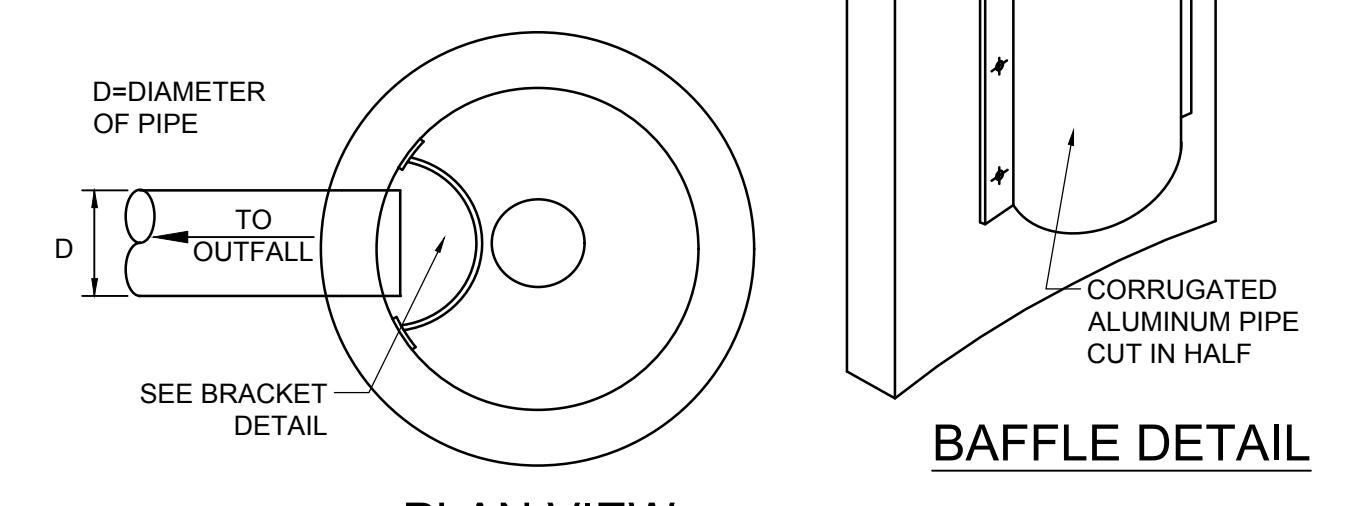
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CROSS SECTIONS

SHEET NUMBER **CP-301**
PROJECT NUMBER **13778.00**

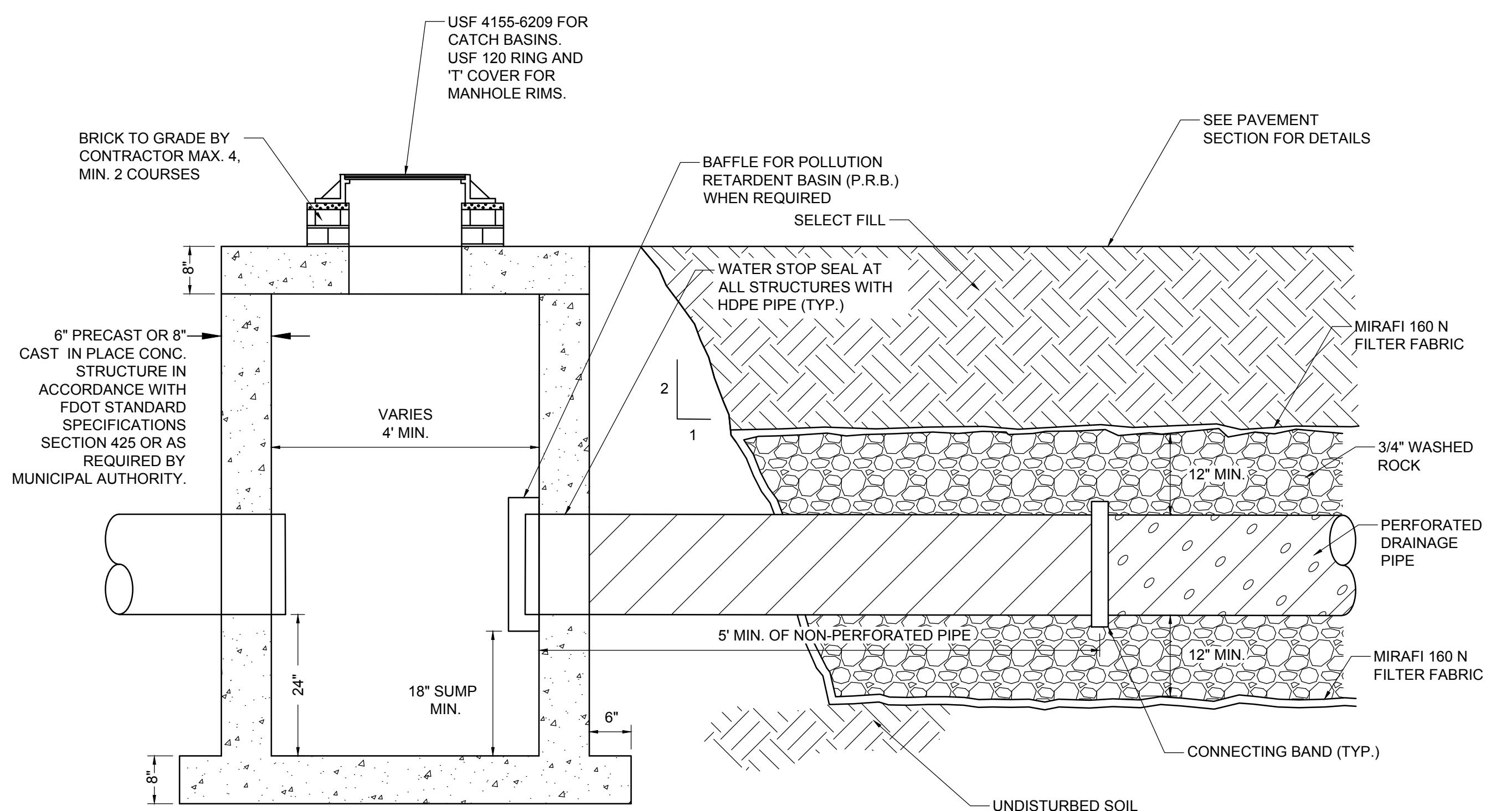
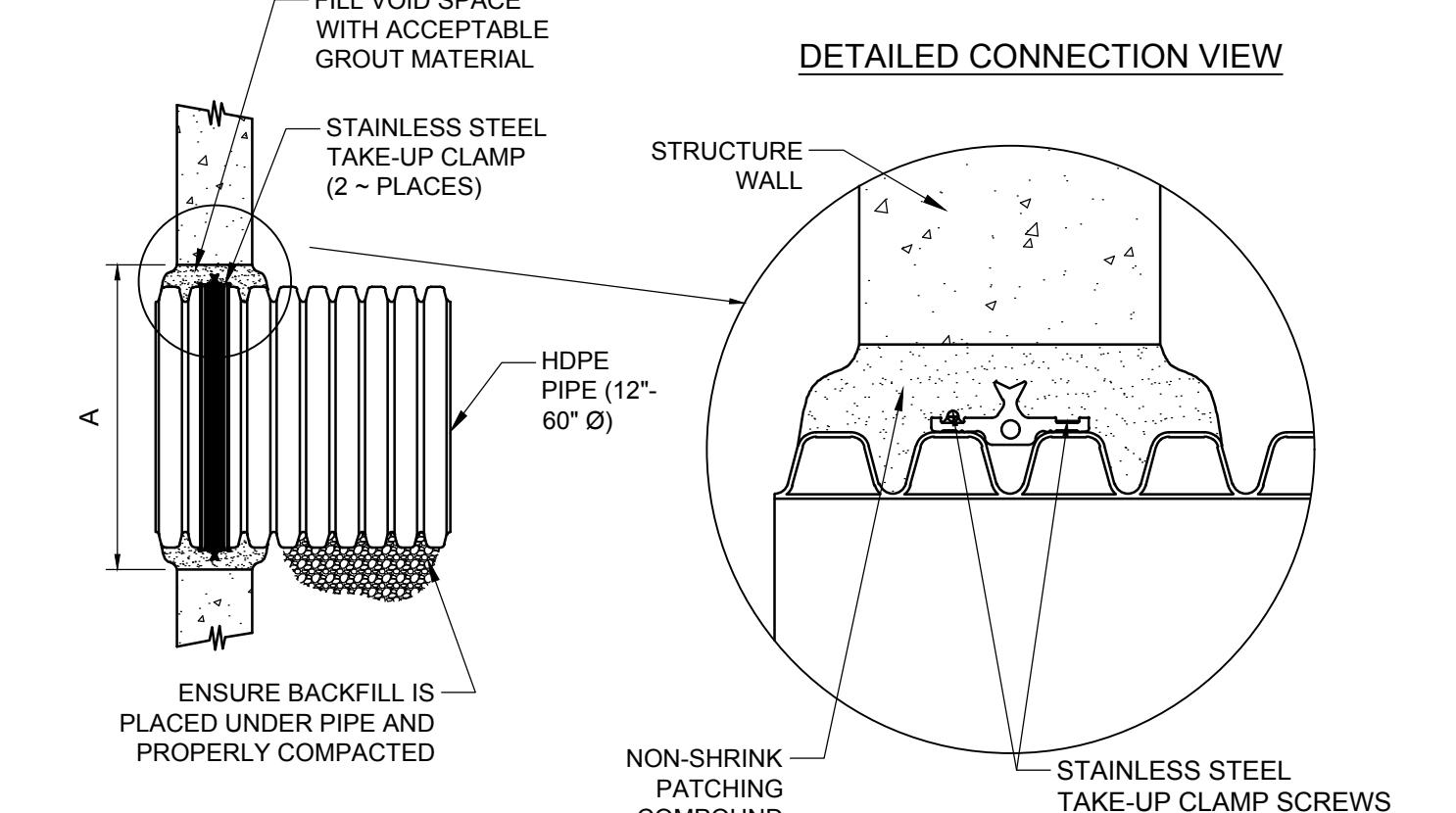
REVISIONS
NO. DESCRIPTION DATE

**PLAN VIEW
TOP SLAB
FOR CATCH BASINS**

NOTES:

1. STRUCTURE MANUFACTURER AND/OR CONTRACTOR SHALL CONFIRM ALL STEEL REINFORCEMENT MEETS FDOT STANDARDS PER INDEX 425-010, SECTION 415 AND 425 PRIOR TO SUBMITTING ANY SHOP DRAWINGS FOR APPROVAL.
2. LOCKING GRATES TO BE PROVIDED.


**PLAN VIEW
TOP SLAB
FOR MANHOLES**

BRACKET DETAIL

BAFFLE DETAIL
PLAN VIEW

NOTE:
BAFFLE TO BE A SECTION OF CAP CUT IN HALF.
CAP FOR BAFFLE SHALL BE THE NEXT STANDARD PIPE DIAMETER LARGER THAN THE INFLOW/OUTFLOW PIPE.

**POLLUTION RETARDANT
BAFFLE DETAIL**
NOT TO SCALE
**11 CATCH BASIN / DRAINAGE
MANHOLE DETAIL**
NOT TO SCALE
**12 CATCH BASIN / MANHOLE
FRAME DETAIL**
NOT TO SCALE
13 EXFILTRATION TRENCH DETAIL
NOT TO SCALE

15 CATCH BASIN W/ PRB AND EXFILTRATION TRENCH
NOT TO SCALE

DETAILED CONNECTION VIEW

NOTES:
PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST ENSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.
SEE ADS STANDARD DETAIL STD-201 AND ADS INSTALLATION GUIDE 1.05: WATERSTOP INSTALLATION FOR INSTALLATION RECOMMENDATIONS.

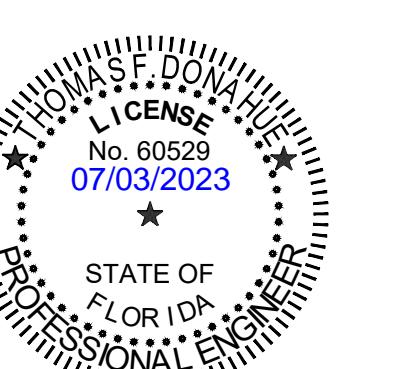
PIPE SIZE	PIPE OD A-PROFILE	PIPE OD H-PROFILE	"A" MIN. HOLE DIA	MIN. DISTANCE PIPE INVERT TO STRUCTURE INVERT
12"	14.5"	N/A	19.5"	3.7"
15"	17.6"	N/A	23.00"	4.0"
18"	21.2"	N/A	26.50"	4.2"
24"	27.8"	N/A	33.25"	4.5"
30"	35.1"	N/A	40.50"	5.2"
36"	41.1"	41.1"	47.00"	5.5"
42"	47.7"	48.0"	53.00"	5.7"
48"	53.6"	54.0"	59.00"	5.7"
60"	66.3"	67.3"	72.00"	6.4"

**17 GROUTED MANHOLE
CONNECTION (HDPE PIPE) DETAIL**
NOT TO SCALE
**SHEET
NUMBER** CP-502

**PROJECT
NUMBER** 13778.00

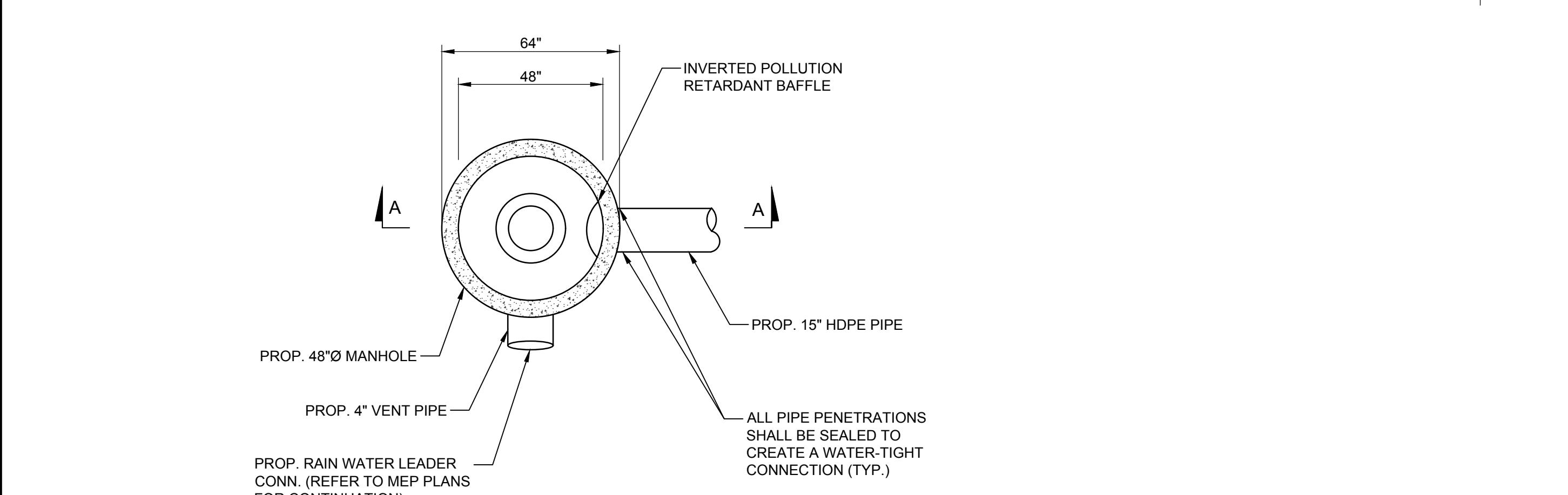
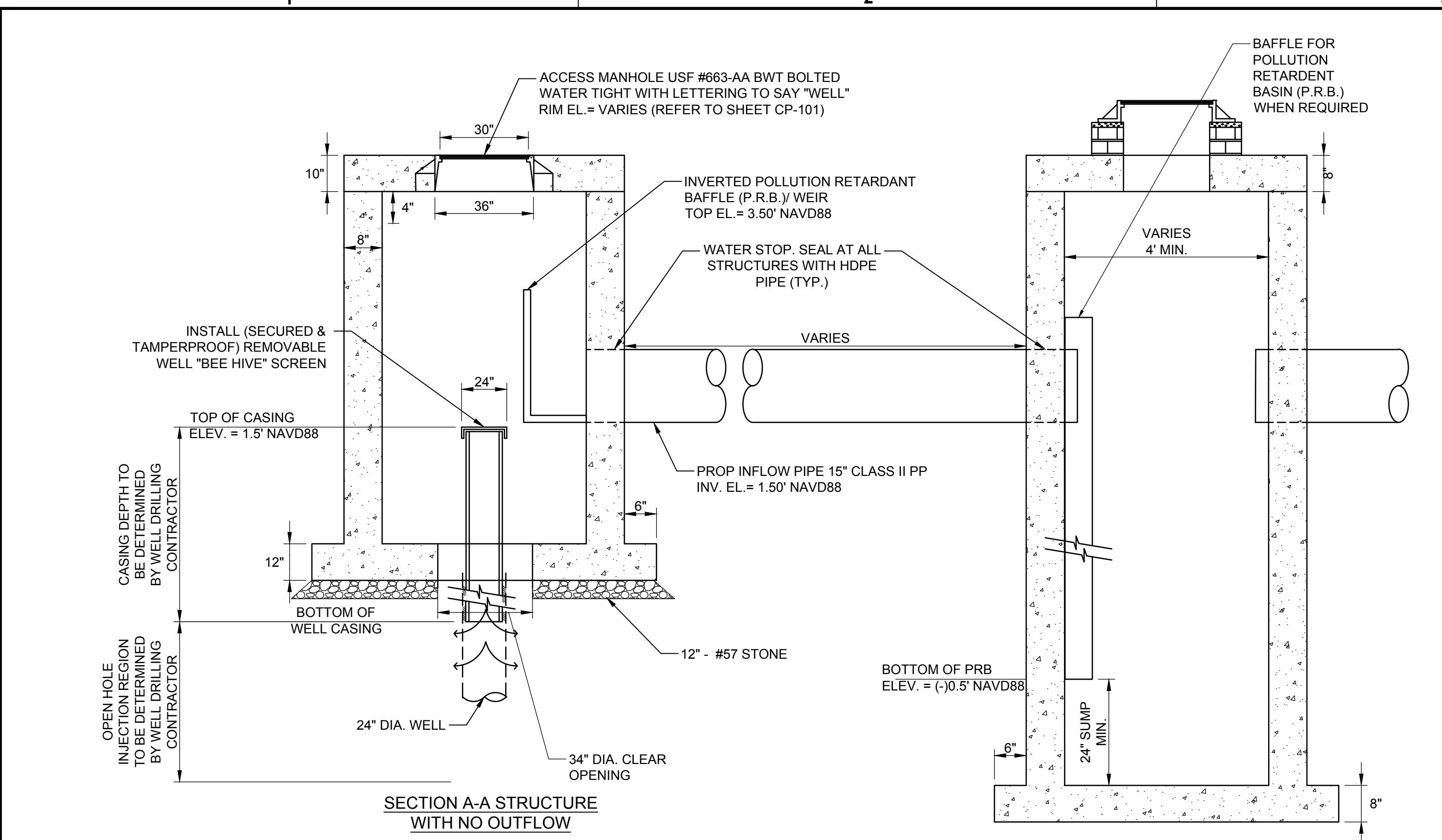
**SHEET
NUMBER** CP-502

**PROJECT
NUMBER** 13778.00

STATUS: PRELIMINARY

**THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)**
CLIENT
**1817 TAYLOR
DEVELOPMENT LLC**
PROJECT

**STAR TOWER
HOLLYWOOD**
SHEET TITLE

**PAVING, GRADING, AND
DRAINAGE DETAILS**



DRAINAGE WELL TABLE				
STR. DESCRIPTION	RIM EL.	INSIDE DIMENSIONS	COORDINATES (LATITUDE/LONGITUDE) DMS	COMMENTS
DRAINAGE WELL #1	6.00'	60" Ø	1.50'(W,S)	N 026°09'29.01" / W 80°07'51.29" WATERTIGHT (REFER DETAIL)
DRAINAGE WELL #2	4.50'	60" Ø	1.50'(W,S)	N 026°09'30.93" / W 080°07'49.25" WATERTIGHT (REFER DETAIL)
DRAINAGE WELL #3	6.97'	60" Ø	1.50' (N,E)	N 026°09'28.88" / W 080°07'47.86" WATERTIGHT (REFER DETAIL)

NOTES:

- REFER TO SHEET CP-101 DRAINAGE STRUCTURE TABLE FOR DRAINAGE WELLS 1-3, INVERT ELEVATIONS, DIRECTION, AND PIPE SIZES.
- WELL BOX REINFORCEMENT SHALL BE DESIGNED BY PRE CASTER TO MEET FDOT STANDARDS AND SPECIFICATIONS.
- 24" DIAMETER WELL, CONTRACTOR TO DEVELOP WELL CAPABLE OF DISCHARGING 300 GPM PER FOOT OF HEAD. FINAL WELL DIMENSIONS TO BE DETERMINED BY A LICENSED WELL CONTRACTOR. FINAL DEPTH OF CASING TO BE FIELD DETERMINED BY WELL CONTRACTOR. THE WELL CASING SHALL PENETRATE A ZONE CONTAINING A MINIMUM OF 10,000 mg/L TOTAL DISSOLVED SOLIDS (TDS).
- DRAINAGE WELL TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE REGULATORY STANDARDS AND PERMITS.
- LIDS TO BE BOLTED DOWN (PENTA HEAD BOLTS, 4 ON INNER COVER AND 4 ON OUTER COVER).
- THE CONTRACTOR IS SOLELY RESPONSIBLE TO PREVENT ANY FLUID FROM DISCHARGING INTO THE DRAINAGE WELL WITHOUT WRITTEN AUTHORIZATION FROM FDEP TO USE THE WELL.
- THE WELL CASING SHALL BE 24" DIAMETER AND IN ACCORDANCE WITH RULE 62-532.500(1)(A), FAC WHICH SPECIFIES ALL WELL CASING SHALL BE NEW AND CONFORM TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) A53/A53M-99, A135-01, A252-98, A589-96, OR AMERICAN PETROLEUM INSTITUTE (API) 5L-2000. REFER TO RULE FOR MORE DETAILS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR CONDUCTING THE WELL TEST AND SATISFACTORILY DISPOSING OF THE WATER PUMPED FROM THE WELL. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE CITY, ENGINEER AND/OR REGULATORY AGENCIES PRIOR TO THE START OF THE TEST.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE NECESSARY WELL DRILLING PERMITS AND COMPLY WITH ALL PROVISIONS THEREOF. THIS SHALL INCLUDE (BUT NOT LIMITED TO) SECURING THE FINAL CONSTRUCTION/CLEARANCE PERMIT FOR A CLASS V WELL BY COMPLETING AND PROCESSING THE REQUIRED APPLICATION FORM (62-528.900(3) THROUGH FDEP. IN ADDITION, THE CONTRACTOR IS REQUIRED TO PREPARE/PROVIDE THE REASONABLE ASSURANCE REPORT IN ACCORDANCE WITH FDEP REQUIREMENTS. THE CONTRACTOR SHALL HIRE A QUALIFIED FLORIDA LICENSED PROFESSIONAL GEOLOGIST/ENGINEER WITH THE REQUIRED HYDROGEOLOGICAL EXPERTISE TO DEVELOP THIS REPORT AND PROVIDE THE NECESSARY SIGNED AND SEALED COPIES.

21 DRAINAGE WELL

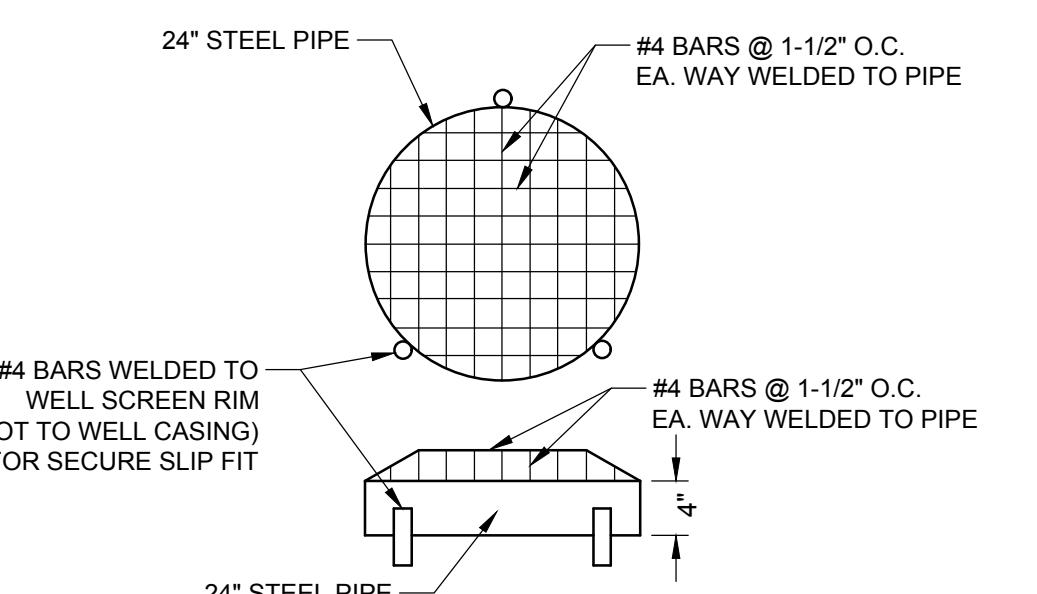
NOT TO SCALE

2. GENERAL NOTES:

1. TRENCH WALLS - EXCAVATE TRENCH TO ENSURE SIDES WILL BE STABLE UNDER WORKING CONDITIONS. TRENCH WALLS TO BE SLOPED OR SUPPORTED IN ACCORDANCE WITH THE CHAPTER 90-96 OF THE LAWS OF FLORIDA (THE TRENCH SAFETY ACT) AND FEDERAL OSHA STANDARD CFR SECTION 1926.650 SUBPART - P.
2. DEWATERING: WHEN RUNNING OR STANDING WATER OCCURS IN THE TRENCH BOTTOM, OR THE TRENCH BOTTOM DISPLAYS A "QUICK" CONDITION, WATER SHALL BE REMOVED TO BELOW THE PIPE INVERT BY A SUITABLE MEANS, UNTIL THE PIPE IS BACKFILLED TO A SUFFICIENT HEIGHT TO PREVENT PIPE FLOATATION.
3. MINIMUM TRENCH WIDTH: PROVIDE A TRENCH WIDTH SUFFICIENT, BUT NO WIDER THAN NECESSARY, TO ENSURE WORKING ROOM TO PROPERLY AND SAFELY PLACE AND COMPACT HAUNCHING BACKFILL MATERIAL. SEE TABLE FOR MINIMUM TRENCH WIDTHS. WHERE SOIL CONDITIONS REQUIRE TRENCH WALLS TO BE SUPPORTED, MINIMUM WIDTH SHALL BE BETWEEN INNER FACE OF TRENCH SUPPORTS.
4. MOBILE SHEETING, TRENCH BOXES OR SHIELDS: WHEN MOBILE TRENCH SUPPORT IS USED, THE MINIMUM DISTANCE BETWEEN INNER FACE OF TRENCH SUPPORT, AND THE OUTER PIPE WALL, SHALL BE AT LEAST ONE PIPE DIAMETER OR 2 FEET WHICH EVER IS GREATER.
5. PREPARATION OF TRENCH BOTTOM: TRENCH BOTTOM SHALL BE PREPARED TO PROVIDE A FIRM STABLE UNIFORM FOUNDATION THE FULL LENGTH OF THE PIPE. IF UNSUITABLE MATERIAL IS ENCOUNTERED AT BOTTOM OF TRENCH, CONTINUE TO EXCAVATE TILL SUITABLE MATERIAL IS ENCOUNTERED. IF DEPTH TO SUITABLE MATERIAL IS GREATER THAN 2 FEET BELOW BOTTOM OF TRENCH, NOTIFY ENGINEER OF SUCH CONDITION BEFORE CONTINUING FURTHER TRENCH EXCAVATION.
6. PIPE BEDDING: BEDDING MATERIAL SHALL CONFORM TO ASTM D-2321, AND MEET THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 125-8 BACKFILLING. FOR PVC AND OTHER "FLEXIBLE" PIPES, EXCAVATE 4" BELOW PROPOSED OUTSIDE BOTTOM OF PIPE, BACKFILL AND COMPACT WITH SPECIFIED BEDDING MATERIAL TO PROPER GRADE.
7. HAUNCHING: MATERIAL SHALL MEET AND BE INSTALLED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 125-8 BACKFILLING. PLACE AND CONSOLIDATE MATERIAL UNDER THE PIPE HAUNCH, UP TO THE PIPE SPRINGLINE, FOR THE FULL WIDTH OF THE TRENCH, BEFORE PLACING AND COMPACTING THE REMAINDER OF THE EMBEDMENT IN THE PIPE ZONE. HAUNCHING MATERIAL SHALL BE PLACED AND CONSOLIDATED BY HAND SHOVEL SLICING ALONG HAUNCH OF PIPE AND BY WATERING (JETTING OR PUDDLING) OR HAND TAMPING. MECHANICAL COMPACTION IS NOT TO BE USED WITHIN 1 PIPE DIAMETER OR 2 FEET, WHICH EVER IS GREATER, EITHER SIDE OF THE OUTSIDE WALL OF THE PIPE.
8. INITIAL BACKFILL: SHALL EXTEND FROM THE SPRINGLINE OF THE PIPE TO 1 FOOT ABOVE THE TOP OF PIPE. MATERIAL SHALL BE PLACED AND CONSOLIDATED AS SPECIFIED FOR THE HAUNCHING MATERIAL.
9. FINAL BACKFILL: MATERIAL SHALL MEET AND BE INSTALLED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 125-8 BACKFILLING. SELECT BACKFILL MEETING THE CLASSIFICATION OF A-1, A-3, OR A-2-4 IN ACCORDANCE WITH ASTM D3282 (AASHTO M-145). THE MATERIAL MUST NOT CONTAIN MUCK, STUMPS, ROOTS, BRUSH, VEGETABLE MATTER, RUBBISH, CONSTRUCTION DEBRIS OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE EMBANKMENT. MATERIAL MUST HAVE MAXIMUM PARTICLE SIZE AS FOLLOWS: WITHIN 12" OF TOP OF SUBGRADE - 31/2", 12" TO 24" BELOW TOP OF SUBGRADE - 6"; GREATER THAN 24" BELOW TOP OF SUBGRADE - 12" OR COMPACTED THICKNESS OF LAYER BEING PLACED, WHICH EVER IS LESS. FINAL BACKFILL MAY BE NATIVE MATERIAL MEETING THE SPECIFIED REQUIREMENTS. UNLESS OTHERWISE NOTED.
10. COMPACTION TEST: COMPACTION PERCENTAGES SHOWN FOR TRENCH SECTION BACKFILL MATERIAL REFER TO ASTM - D698 (AASHTO - T-99, STANDARD PROCTOR). COMPACTION PERCENTAGES FOR LIMEROCK BASE COURSE MATERIAL REFER TO ASTM - D1557 (AASHTO - T-180, MODIFIED PROCTOR).

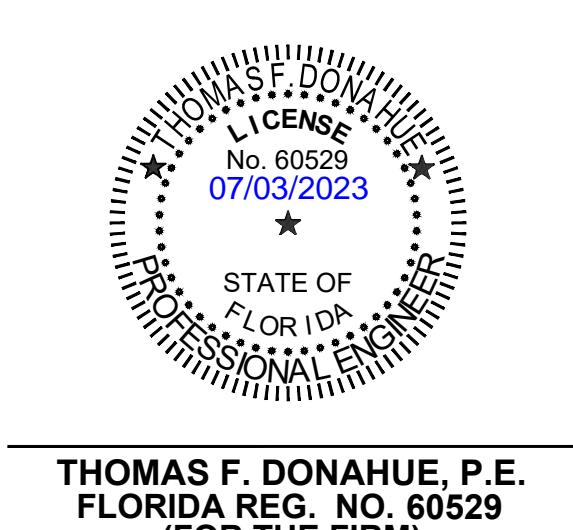
22 PAVEMENT RESTORATION DETAIL

NOT TO SCALE



21 WELL SCREEN DETAIL

NOT TO SCALE



CLIENT

1817 TAYLOR
DEVELOPMENT LLC

PROJECT

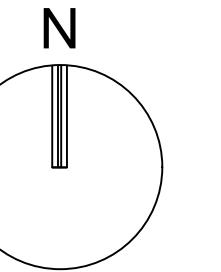
STAR TOWER
HOLLYWOOD

SHEET TITLE

PAVING, GRADING, AND
DRAINAGE DETAILS

SHEET NUMBER CP-503

PROJECT NUMBER 13778.00



GRAPHIC SCALE

20 40

SCALE: 1" = 20 '

NOTE: PRINTED DRAWING SIZE
MAY HAVE CHANGED FROM
ORIGINAL. VERIFY SCALE USING
BAR SCALE ABOVE.

Plotted by: vcastillo On 7/3/2023 4:31 PM

ELIMINARY PLAN
FOR CONSTRUCTION
AND ARE NOT FULLY PERMITTED

ANS ARE NOT FULLY PERMITTED
SUBJECT TO REVISIONS MADE
G THE PERMITTING PROCESS.

IBILITY FOR THE USE OF THESE
OR TO OBTAINING PERMITS FROM
CIES HAVING JURISDICTION OVER
ECT WILL FALL SOLELY UPON THE
USER.

DATE: 07/03/2023
D BY: VAC
BY: VAC
D BY: CM
TRACT:

THOMAS S. DONAHUE
LICENSE
No. 60529
07/03/2023

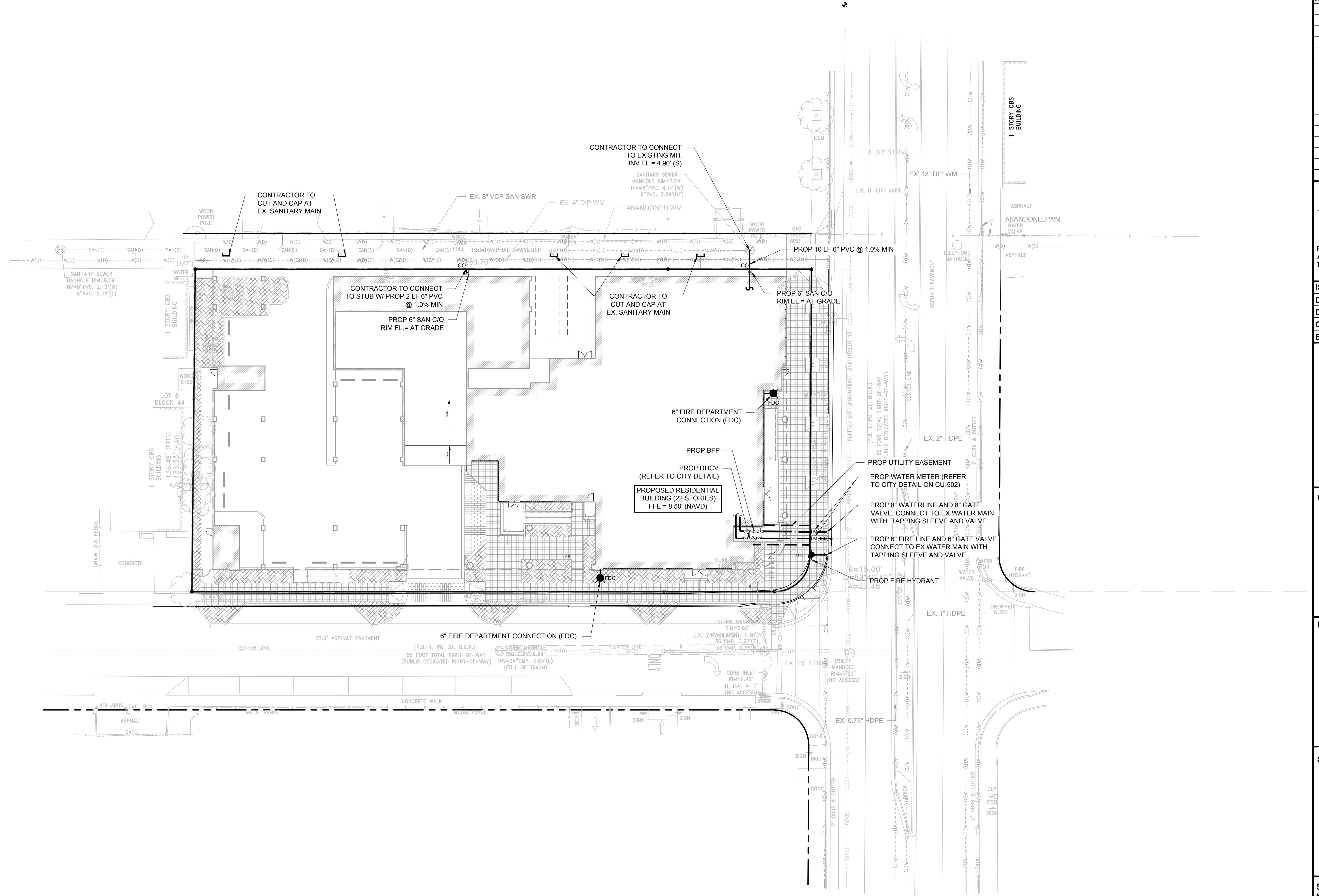
**817 TAYLOR
DEVELOPMENT LLC**

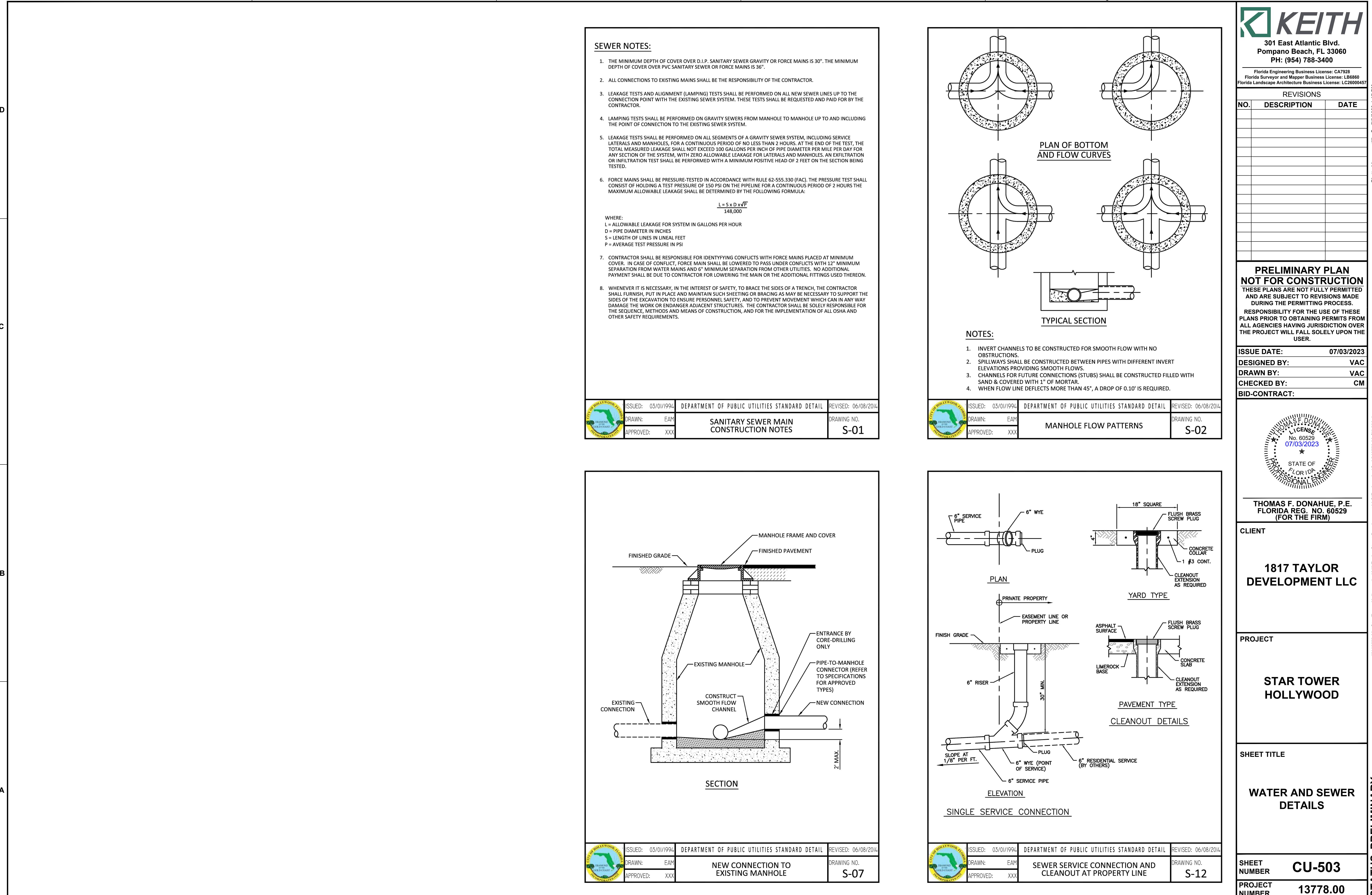
1. *What is the relationship between the two concepts of the state and the nation?*

STAR TOWER HOLLYWOOD

TITLE

WATER AND SEWER PLAN





July 5, 2023

RE: FILE NUMBER: 22-DJP-62

410 N. Federal Highway

1817 Taylor Development LLC 1212 NW 82nd Avenue
Doral, FL 33126

KEITH Project # 13778.00 Star Hollywood

Dear City of Hollywood reviewers:

Based on your TAC Comments dated December 5th, 2020 KEITH / BC Architects and the project team offer the following responses to your comments/questions:

A. APPLICATION SUBMITTAL

Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Application Form:

- a. Revise the address to reference the correct address per Broward County Property Appraiser (410 N. Federal Highway) or otherwise complete the readdressing per Ordinance O-2015-16
RESPONSE: Acknowledged.
- b. Include Lot / Block / Subdivision.
RESPONSE: Acknowledged.
- c. Include sq. ft., value of improvement and estimated date of completion.
RESPONSE: Acknowledged.
- d. The property is subject to a previous Planned Development (PD) approval. Include the File Number and Resolution / Ordinance numbers on the Application Form in the section where it states *“Has this property been presented to the City before?”* and check the “City Commission” box.
RESPONSE: Acknowledged.
- e. Name of Property Owner – correct name per Warranty Deed (1817 Taylor St Development, LLC).
RESPONSE: Acknowledged.
- f. On page 1 Nicolas Livsit is listed as the consultant / representative, however on page 2 Nicolas Livsit signed as the owner. If Nicolas Livist is the owner, provide evidence that same is authorized to sign as the owner. If Nicolas Livsit is not the owner: 1) current owner must sign page 2 and Nicolas Livist must sign page 2 as the consultant / representative; and, 2) provide evidence that the person signing as the owner is authorized to do so.
RESPONSE: Acknowledged.

2. Ownership Encumbrance & Report (O&E):

- a. Shall indicate it was searched from 1953 or time of platting (earliest of the two);
RESPONSE: Acknowledged.
- b. Must be dated within 30 days of submittal packet.
RESPONSE: Acknowledged.
- c. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.
RESPONSE: Acknowledged.
- d. Ensure O&E addresses the requirements on the TAC submittal checklist:
<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

RESPONSE: Acknowledged. See Ownership & Encumbrance Report submitted with drawings, documents, and this letter.

3. Alta Survey:

- a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.
RESPONSE: Acknowledged.
- b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.
RESPONSE: Acknowledged.

4. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.
RESPONSE: A Platting Determination letter is in processing with the Planning Council. All documents will be submitted prior to the Planning and Development Board.

5. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:
RESPONSE: A SCAD letter is in processing with the School Board and will be submitted prior to the Planning and Development Board.

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

6. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.
RESPONSE: Acknowledged.
7. A public participation outreach meeting shall be required for Land Use, Rezoning, Special

Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

RESPONSE: Acknowledged.

8. Additional comments may be forthcoming.
RESPONSE: Acknowledged.
9. Provide written responses to all comments with next submittal.
RESPONSE: Acknowledged, by this response letter.

B. ZONING

Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. The proposed development constitutes an amendment to approved Master Plan and will also require approval of a new Site Plan for the property. Include a narrative explaining all proposed amendments to the approved Master Plan under Ordinance O-2025-16 as well as any amendments to the Resolution R- 2015-230. At a minimum, the narrative shall also include a description of previously approved project data vs. proposed project data (e.g. number of units, height, FAR, parking spaces etc.), a description of any new proposed new regulations that were not previously approved, and whether any previously approved regulations are proposed to be deleted.

RESPONSE: See sheet SP-101 for summary of units, height, density parking, and amendments.

2. The proposed design includes an increase in density as well as the overall building mass. Provide justification in the narrative for the change in design and how this will impact on neighboring properties.

RESPONSE: This project seeks to continue the idea of placemaking exemplified by the Young Circle area, and foster an active, walkable neighborhood. By proposing condo units, as opposed to rental, the project will create more neighborhood stability with less transient residents. The project also proposes over 8,000 SF of retail to support the community.

3. As part of the Master Plan amendments, in the narrative demonstrate how the proposed development meets the requirements for all land use and design regulations in Section 4.15.E of the Zoning and Land Development Regulations (ZLDRs).

RESPONSE: We feel this project will create an aesthetically pleasing environment for the immediate neighborhood. The commercial uses proposed on the ground floor will meet the local shopping and service needs. The property will be pedestrian oriented, with a covered plaza, wide sidewalks, bike storage, and arcade.

4. As the proposed development will require a new site plan approval, any previously approved variances, and modifications under Resolution R-2015-230 will be voided. Identify in the project narrative if any variances are proposed for the new site plan and include the variance criteria statements, if applicable.

RESPONSE: See SP-101 for list of variances.

5. Include a statement demonstrating compliance with, or proposed amendments to, the "whereas" clauses and conditions of approval in Ordinance O-2015-16 and Resolution R-2015-230.

RESPONSE: See sheet SP-101 for comparison with previous amendments and list of variances.

6. Both the approved Master Plan and Section 7.2 of the ZLDRs require 1.5 parking spaces per unit, plus 1 guest space for every 5 units. Calculations for the total number of appears to be incorrect and only provide 1 space per unit for the 1-bedroom units. Additionally, no guest parking spaces are provided in the overall parking count, yet the density is increasing. A requirement for a Planned Development is that compliance with Article 7 is required.

RESPONSE: The Parking count has been modified to reflect the current RAC standard. And per the meeting at the CRA office on 6/14/2023 with staff, it was understood that 1 BR and Studios require 1 parking space per unit. Please refer to the new Site Plan, sheet SP-101 which quantifies the updated unit breakdown and applicable parking as requirements.

7. There is a significantly more tandem parking spaces (150) compared to standard spaces (111). This increase is also substantially more than the previously approved Master Plan. Provide justification for the increase in tandem parking.

RESPONSE: The design has been modified to decrease the number of tandem parking, currently there are (6) tandem parking.

8. Site Plan:

- a. Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval.

RESPONSE: Please refer to the new Site Plan, sheet SP-101 with added note as requested.

- b. More clearly delineate the building footprint and any horizontal projections (e.g. balconies). As submitted the site plan provides details for roof level amenities that are confusing when reviewing overall building placement and setbacks on the property.

RESPONSE: Please refer to the new Site Plan, sheet SP-101 which has been revised and identifies building overhangs. Refer to Architectural floor plans which have also been revised.

- c. West setback dimension on site plan needs to match the site data.

RESPONSE: Please refer to the new Site Plan, sheet SP-101.

9. Site Data:

- a. Include the City file reference.

RESPONSE: Noted, see Cover sheet.

- b. List all proposed new property development regulations, including any requested

variances.

RESPONSE: See variance list on she SP-101

- a. Counts in the Parking Schedule do not match counts on the Site Data table.
RESPONSE: Please refer to the new Site Plan, sheet SP-101.

- b. Multiple sections in the “Amendment to PD” section are blank and need to include the proposed change between the previously approved and proposed developments.

RESPONSE: See updated Zoning Table on she SP-101

- c. The data table contains a calculation for the retail that contradicts the site plan. Revise accordingly.

RESPONSE: Please refer to the updated Site Plan, sheet SP-101

10. Work with the City’s Landscape Architect to ensure that all landscape requirements are met.

RESPONSE: Comment Acknowledged. Please refer to the provided Landscape Plan, Sheet LP-101. Landscape Plan to be reviewed by the City’s Landscape Architect / Landscape Reviewer.

C. ARCHITECTURE AND URBAN DESIGN

Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Include the property lines and setbacks to the building and balconies on the floor plans and elevations.

RESPONSE: Property lines and dimensions added to floor plans and elevations.

2. Include finished floor elevation for each level on the elevations.

RESPONSE: See sheets SP-3.1-sp-3.4 for finished floor elevations.

3. Provide location and height / size of all fences, walls dumpster enclosures and signage.

RESPONSE: Please refer to the new Site Plan, sheet SP-101 & Hardscape Plan Sheet LH-101. A 5' Opaque fence is proposed along the western property line. Details of this fence is to be provided at the time of Building Permit.

4. Provide color and materials legend for all elevations

RESPONSE: See sheets SP-3.1-sp-3.4 for color notes.

5. Provide more detail for the proposed metal screen.

RESPONSE: See sheet SP-3.5 for enlarged view of screen and grilles.

6. Consider wrapping the metal screen around the west elevation to provide some relief on this facade.

RESPONSE: Additional articulation/grilled have been added to west and north garage walls.

7. Provide articulation / relief and additional architectural treatment to the west façade, which currently presents as a primarily blank wall.

RESPONSE: Additional articulation/grilled have been added to west and north garage walls.

8. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.
RESPONSE: Comment acknowledged. Will be completed prior to building permit.
9. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.
RESPONSE: Comment acknowledged. Garage is proposed as open-air.
10. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.
RESPONSE: Comment acknowledged.

D. SIGNAGE

Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan indicating all signage shall be in compliance with the Zoning and Land Development Regulations.
RESPONSE: Please refer to the new Site Plan with requested note included on sheet SP-101
2. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.
RESPONSE: Please refer to the new Site Plan with requested note included on sheet SP-101

E. LIGHTING

Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).
RESPONSE: Please refer to the provided Photometric Plan on sheet LL-101 which includes minimal light levels utilizing bollards as defined by the CRA / RAC design guidelines.

This item is to be discussed further with staff to determine requested note and its applicability to project. It would be irresponsible design to provide 0.5 minimum light levels as requested along urban city sidewalks (along Taylor St & Federal Hwy). Furthermore, the FDOT Greenbook identifies Intermediate Commercial (such as this project) as a 0.8 FC minimum and a ratio of 4:1 Average to Minimum. Along Federal Hwy, this stand MUST prevail as required by the FDOT owned Right-of-Way.

We understand the intent of the code is to maintain a maximum of 0.5 foot-candle at property lines to prevent light spill into residential areas. A note to the effect has been added to both sheet SP-101 and sheet LL-101 regarding the Northern and Western Property lines.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a

note on the site plan and provide green registration documentation with next submittal.

RESPONSE: The project will pursue Florida Green Building Coalition certification.

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle- charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

RESPONSE: Twenty future charging stations will be provided in accordance with 151.154, see architecture plans for locations in the garage.

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

RESPONSE: Acknowledged. See sheet SP-101 for Green Building certification note.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-

921-3251 Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org)

954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990\

COMMENTS:

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.

1. It appears from Sheet SP-1.0, this application is an amendment to previously approved Planned Development. If so, please mention in the application form in the Explanation of Request section for an amendment and provide the previously approved site plan's file number to be amended. On the plan set cover page, please indicate such intend of this application and the applicable approved site plan file number to be amended. Lastly, please provide previously approved site plan with supporting studies and documents.

RESPONSE: Acknowledged.

2. Please clarify if a variance/approval was granted for the property requiring a reduced number of parking stalls. Please provide the approval and ensure the calculation is correct.

RESPONSE: No parking reduction is requested.

3. Sheet SP-1.0, please clarify the parking counts between the Number 9 of the Site Data table for parking and the Parking Schedule at the bottom of the sheet. i.e. 75 tandem spaces vs. 150 tandem spaces, 267 total spaces vs. 268. In the Parking Schedule, what is Parking Space 1? Typo in the word Addition under Number 9 of the Site Data.

RESPONSE: Please refer to the updated parking tabulations on the new Site Plan, sheet SP-101

4. Sheet SP-1.0, Number 13 of the Site Data table, provide the referenced Diagram SP-1.

RESPONSE: Comment may now be irrelevant. Please refer to the new Site Plan sheet, SP-101.

5. Please identify the height of the garage on the first level at the entrance, loading dock and handicap stalls. Minimum loading space vertical clearance is 14'. ADA Van accessible space vertical clearance is 98".

RESPONSE: Loading area is min. 14' clear as shown on north elevation, sheet SP-3.1. Van accessible spaces located on ground level, with a 9'-4" clear height.

6. Applicant is to provide a minimum of (2) loading stalls. Loading spaces shall be an area at the grade level at least 10 feet wide by 25 feet long with 14 feet vertical clearance. Each loading space shall be directly accessible from a street or alley without crossing or entering any other required off-street loading space and arranged for convenient and safe ingress and egress by motor truck and/or trailer combination. Such loading space shall also be accessible from the interior of any building it is intended to serve, such as the Retail bays. Indicate the loading space requirement and the number of loading spaces provided in the parking table.

RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the requested 10'X25' loading bays as serviced from the Alley and service both the proposed residential and retail.

7. All parking stalls shall be consecutively numbered and fully dimensioned. Please show in plans. Any stall located next to a solid obstruction is required to be a minimum of 9.5' wide. Any stall with obstructions on both sides is required to be a minimum of 10.5'.

RESPONSE: Please refer to the architectural floor plans that consecutively numbers the parking stalls as requested.

8. Minimum tandem parking stall depth shall be 36'.

RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the tandem parking as 38' depth.

9. Applicant identifies a Valet booth/area –

- a. Identify all valet stalls and provide a line item for these stalls in the parking calculations.
- b. Provide a valet operation plan that includes items such as but not limited to review and analysis of number of vehicles anticipated, queuing spaces required, number of staff required, hours of operation and valet site plan showing valet station location and vehicle queuing. Also, provide a plan to show how the cars will be stored and what route will be taken to the storage parking facility.

RESPONSE: Valet/retail spaces indicated on plan

10. Revise parking details, for standard and ADA compliant stalls to City of Hollywood typical details.

RESPONSE: Refer to sheet CM-504 for City of Hollywood typical parking detail.

11. Per Sheet SP-1.2 cross sections on Taylor Street and US1, building façade elements will be encroaching into the public rights-of-way. Approval and agreement with the City are required for Taylor Street encroachment and from FDOT for US1.'

RESPONSE: Building footprint has been updated so as to not encroach into public ROW.

12. Sheet SP-2.0, provide pavement marking and signage plan to show how vehicular traffic circulation operates. Will traffic be limited to right-turn only to the upper floors of the garage? Parking stalls in the center area backing out in conflict with the vehicular traffic at the entrance / exit area is of concern.

RESPONSE: Refer to Sheet CM-101 for Pavement Marking and Signage Plan.

13. Traffic impact analysis is required, coordinate with Rick Mitinger, Transportation Engineer, 954-921-3900 or rmitinger@hollywoodfl.org. Include trips generated by the project and all committed trips of future projects, trip distribution and impact to the roadway network. Provide a review of existing and future multimodal transportation impacts and needs. Include a review of existing and future transportation related improvements and amenities such as street and pedestrian lighting, bus shelter, bike facility and/or sidewalks. Traffic study reviews are done on a cost recovery basis by a City's consultant.

RESPONSE: Acknowledged. Traffic study in process.

14. Please identify the location of all guest stalls proposed.

RESPONSE: Guest stalls located on 2nd floor. See Sheet SP-2.2

15. All non-vehicle areas shall be stripped to clearly identify pedestrian areas and vehicular areas. (i.e., loading zone, any space next to parking stalls or walls etc.).

RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies all non-vehicular areas stripped. Please refer to garage floor plans which also include requested stripping.

16. In the parking garage, all dead-end situations shall receive a parking stall stripped out for vehicle turnaround or a minimum 3-foot-wide drivable area bump out with a curb perimeter. This bump out may not encroach into any required setback.

RESPONSE: Garage parking has been redesigned to allow for vehicle turn around.

17. Provide site triangles at all driveway access (6' X 12') and corner setback triangles.

RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the 6'x12' driveway access corner setback triangles as requested.

18. Provide corner right-of-way dedication at US1 and Taylor Street minimum 25'X25' triangle, measuring 25' along property lines. Alley and US1 requires 6'X6' triangle corner right-of-way dedication, measuring 6' along property lines. Any rights-of-way dedication as required by FDOT will also needs to be met. Please indicate on plans.

RESPONSE: The request is noted and identified on the Site Plan, sheet SP-101. KEITH is in process to schedule a FDOT pre-application meeting as which time, KEITH and FDOT will review the requirement to provide both the requested 25'x25' triangle at the corner of Federal Hwy and Taylor St. as well at the requested 6'X6' triangle at the corner of Federal Hwy. and the Alley. If applicable, we'd request these corners be given as Easements, to be confirmed by FDOT.

19. Please identify the material of all walkways and driveways/parking lots. Ensure details are provide that align with the requirements of the City of Hollywood.

RESPONSE: Please refer to the Site Plan (sheet SP-101) which identifies pavers (along sidewalks) and concrete hatches (on Building steps, ramps, terraces, and parking garage) Additionally, please refer to LH-101 which identifies more specifically, materials which match the CRA / RAC Design Guidelines.

20. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, all vehicle turning radii, sight triangles, pavement marking and signage plans and details as well as change in elevations to show that handicap accessibility has been met. Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width asphalt pavement mill and resurfacing is required for Taylor Street and the alley along the



frontage of the site. Area of road asphalt pavement resurfacing and restoration on US1 to be determined by FDOT. Additional pavement mill and resurfacing may be required for any off-site utility improvements or extension needed for the project.

RESPONSE: Refer to CP-101 for Paving, Grading and Drainage plans depicting drainage improvements, site grading meeting ADS requirements and proposed asphalt milling and resurfacing along the alley frontage and Taylor Street. Refer to CM-101 and CM-501 through CM-503 for Pavement Marking and Signage plans and details.

21. Applicant will be required to mill & resurface all adjacent streets and alleys to the project. Please add a note to the site plan stating this requirement and provide a Civil plan with hatch showing limits of any trench restoration and limits of pavement mill and resurfacing and restoration of the associated pavement markings.

RESPONSE: Refer to CP-101 for Paving, Grading and Drainage plans depicting proposed asphalt milling and resurfacing along the alley frontage and Taylor Street.

22. All pavement markings within the Rights-of-way are to be approved by the Broward County Traffic Engineering Division. This can be provided at time of permitting.

RESPONSE: Acknowledged.

23. ADA accessible routes are required between accessibility parking and building access as well as an accessible route to the public rights-of-way. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan.

RESPONSE: Please refer to the new Site Plan (sheet SP-101) which includes this note as requested. This plan includes a dashed line which identifies the ADA accessible route.

24. Provide separate dimension for the ADA stall width and the accessible width. Applicant is required to provide a minimum of (1) van accessible space out of the required 7. Please identify this stall and the vertical clearance from the entrance of the garage to this stall for compliance.

RESPONSE: Please refer to Civil drawings which include the applicable City of Hollywood standard parking details as requested, also refer to Architectural drawings.

25. Sheets SP-2.2 and SP-2.3, provide ADA accessibility between the ADA parking stalls and the Elevator Lobby accessing the elevators.

RESPONSE: Please refer to the new Site Plan (sheet SP-101) includes a dashed line which identifies the ADA accessible route.

26. Please identify how the Trash Room will be accessed for removal and how trash trucks will be situated for trash collection. Provide trash chute for recyclables and for general trash. Trash Room shall be able to accommodate dumpsters. Note 20 on Sheet SP-1.1 indicates trash bins will be used.

RESPONSE: Trash rooms will be accessed from north side of the building. Trash pickup will occur in the alley.

27. Sheets SP-2.0 to SP-2.3, garage ramps are showing to be in the Down direction on all sheets with drive aisles traffic circulation going in the Up direction. Please address.

RESPONSE: Garage ramp directions have been clarified.

28. Sheets SP-2.0 to SP-2.3, garage ramps are at 16% slopes. Speed ramps are typically limited at 12% slope, consider a transition ramp.

RESPONSE: Transition slopes (at approx. 8%) added to speed ramp

29. Please clearly show all aisle space dimensions. Applicant is showing a dimension of 25'-10" on the east aisle but there are columns that intrude into this dimension.

RESPONSE: Please refer to the new Site Plan (sheet SP-101) includes ground level drive aisle dimensions. Refer to Architectural floor plans for garage drive aisle dimensions.

30. Pavement marking and signage plans will be required to show how pavement markings and signage will be provided to inform drivers the vehicular traffic circulation is one-way while the design, drive aisle and driveway



widths are sufficient for two-way traffic.

RESPONSE: Refer to CM-101 and CM-501 through CM-503 for Pavement Marking and Signage plans and details showing traffic circulation.

31. For the building columns are required to be setback a minimum of 3 feet from the entrance of the stall.
RESPONSE: Dimensions between columns and parking stall entrances varies, with a minimum of 1'-6" is provided. With a parking aisle of 24' and stall width of 9', we believe 1'-6" is sufficient for maneuvering.
32. Provide separate civil engineering and streetscape plans and details showing existing conditions and proposed public improvements and work along site's adjacent streets within the rights-of-way. Review and approval by City CRA will be required.
RESPONSE: Refer to Sheet CP-101 & LH-101 for the proposed public improvements, and work along the adjacent streets. The existing conditions are depicted on Sheet CD-101 & the Survey.
33. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Continued coordination will be required.
RESPONSE: Comment acknowledged. Efforts will be made in coordination with the City and the Downtown Community Redevelopment Agency as the project moves through design.
34. A complete street concept redesign of US1 adjacent to this proposed development's site is currently underway. Proposed site design and all US1 rights-of-way improvements under this project shall coordinate and be compatible with the proposed improvements and vision of the corridor. Please coordinate with FDOT project consultant, Trace Consultants, Inc., Frank Panellas, PE, with notification to City CRA and Engineering, Transportation and Mobility Division staff.
RESPONSE: KEITH coordinated with Trace Engineering to receive as-built plans and will continue to coordinate as the design is developed.
35. Provide FDOT Pre Application Letter.
RESPONSE: Pre application meeting with FDOT District 4 pending for July 2023. Once meeting is held, pre-application meeting notes will be forwarded to reviewer.
36. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.
RESPONSE: Comment Acknowledged
37. MOT plans required at the time of City Building Permit review.
RESPONSE: Comment Acknowledged
38. All outside agency permits must be obtained prior to issuance of City building permit.
RESPONSE: Comment Acknowledged
39. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO- 2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.
RESPONSE: Comment Acknowledged
40. More comments may follow upon review of the requested information.
RESPONSE: Comment Acknowledged

H. LANDSCAPING

*Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900
Clarissa Ip, Assistant City Engineer (cip@hollywoodfl.org) 954-921-3915*

1. No Comment Received.

2. Follow Up with Landscaping

RESPONSE: KEITH with follow-up with Landscape Reviewer as requested in order to review the proposed design as seen on LP-101 following this TAC submittal as the design has been significantly



altered from the previous review.

I. UTILITIES

Alicia Verea-Feria, Floodplain Development Review Administrator (averaea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed water and sewer service for initial review.

RESPONSE: Refer to CU-101 Water and Sewer Plan indicating existing and proposed water and sewer service.

2. Show Water and Sewer demand calculations on proposed utilities plans.

RESPONSE: Refer to CU-101 Water and Sewer Plan for water and sewer demand calculations.

3. Clarify how the fire line will be serviced for this property, as applicable.

RESPONSE: Fire line connection will be made on the 8" WM running along N Federal Highway ROW. Refer to CU-101 Water and Sewer Plan.

4. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices> .

RESPONSE: Refer to CU-501 through CU-503 for City of Hollywood Water and Sewer Details.

5. This site resides currently within FEMA Flood Zone X. The proposed FFE shall comply with the greatest of the following three (3) conditions, as applicable.

a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential use shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.

b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR

c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

RESPONSE: Proposed FFE has been established at 8.50 ft NAVD 88, complying with both Section 154.50 of the City's Code of Ordinances and Broward County's Preliminary 2019 FEMA Flood Maps. Broward County Future Conditions 100-year Flood Map 2060 states a FFE requirement of 11 ft NAVD 88 minimum. Pre-application meeting with BCRED is pending in order to discuss formal amendment submittal for the required finish floor elevation.

6. Indicate FFE for all enclosed areas on the ground floor.

RESPONSE: Refer to CP-101 Paving, Grading and Drainage Plan showing FFE for all enclosed areas on ground floor.

7. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

RESPONSE: Refer to sheets CU-301 through CU-302 Cross Sections.

8. Ensure all stormwater is retained onsite.

RESPONSE: Refer to CP-101 Paving, Grading and Drainage Plan showing all stormwater is being retained onsite.

9. Indicate how roof drainage will be collected and connected to the on-site drainage system.

RESPONSE: MEP will route roof leader internally and connect to proposed cleanouts shown on CP-101 Paving, Grading and Drainage Plan.

10. Provide preliminary drainage calculations.

RESPONSE: Refer to preliminary stormwater report and drainage calculations attached.



11. Submit Erosion Control Plan and details.

RESPONSE: Refer to Sheets CG-101 through CG-501 for Erosion Control Plan and Details.

12. Permit approval from outside agencies will be required.

RESPONSE: RESPONSE: Comment Acknowledged.

13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

RESPONSE: Please refer to Sheet LP-101 which includes the civil utilities overlaid to visually verify utilities have been coordinated.

14. Additional comments may follow upon further review of requested items.

RESPONSE: Comment Acknowledged.

J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. Submittal is substantially complete.

RESPONSE: Comment Acknowledged

K. FIRE

Jorge Castano, Deputy Fire Marshal / Battalion Chief (jcastano@hollywoodfl.org) 954-967-4404

1. No comments received.

2. Follow up with Fire.

RESPONSE: Comment Acknowledged

L. PUBLIC WORKS

Charles Lassiter, Public Works Director (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

2. Follow up with Public Works.

RESPONSE: Comment Acknowledged

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. No comments received.

2. Follow up with Parks.

RESPONSE: Comment Acknowledged

N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

2. Follow up with Community Development.

RESPONSE: Comment Acknowledged

O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-

924-2922 Tekisha Jordan, Principal Planner (tjordan@hollywoodfl.org) 954-924-2922

1. What types of retail is envisioned for approximate 8,500 SF of proposed space?

RESPONSE: For the 8,200 SF of commercial space, we envision a neighborhood retail / restaurant.

2. How many new jobs are projected as a result of this project?

RESPONSE: We anticipate a substantial number of jobs created not only during the construction of project, but also for the future commercial space. Estimated job numbers to be determined at a later date.

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371

1. No comments received.

2. Follow up with Police.

RESPONSE: Comment Acknowledged

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-

2980 Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. No comments received.

2. Follow up with Downtown and Beach CRA

RESPONSE: Comment Acknowledged

R. PARKING

Jovan Douglas, Parking Administrator (jdouglas@hollywoodfl.org) 954-921-3548

1. No comments received.

2. Follow up with Parking.

RESPONSE: Comment Acknowledged

S. ADDITIONAL COMMENTS

Mawusi Khadija Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

RESPONSE: Comment Acknowledged