

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 07/03/23

Location Address: 1817 TAYLOR STREET, HOLLYWOOD, FL 33020

Lot(s): 9-15 Block(s): 44 Subdivision: HOLLYWOOD 1-21 B

Folio Number(s): 514215018240

Zoning Classification: PD Land Use Classification: RAC

Existing Property Use: VACANT Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 22-DPJPD-62

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☒ City Commission ☐ Planning and Development

Explanation of Request: FINAL TAC REVIEW

Amendment to approvals O-2015-16 and R-2015-230

Number of units/rooms: 248 UNITS Sq Ft: 511,620 SF

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: JULY 2026

Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: 1817 TAYLOR ST DEVELOPMENT, LLC

Address of Property Owner: 1212 NW 82ND AVE, DORAL, FL, 33126

Telephone: 305-400-1397 Fax: \_\_\_\_\_ Email Address: aensinck@me.com

Name of Consultant/Representative/Tenant (circle one): SANTIAGO TERAN

Address: 2125 BISCAYNE BLVD, SUITE 206 Telephone: 347-506-6371

Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Date of Purchase: 03/30/2022 Is there an option to purchase the Property? Yes ( ) No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Gianfranco Speciale Address: 1212 NW 82ND AVE, DORAL, FL, 33126

Email Address: gianfrancospe@hotmail.com

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# GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 07/03/23

PRINT NAME: Alejandro Ensínck

Date: 07/03/2023

Signature of Consultant/Representative: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: Santiago Teran

Date: 07/03/2023

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing SANTIAGO TERAN to be my legal representative before the TECHNICAL ADVISORY COMMITTEE (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public

State of Florida

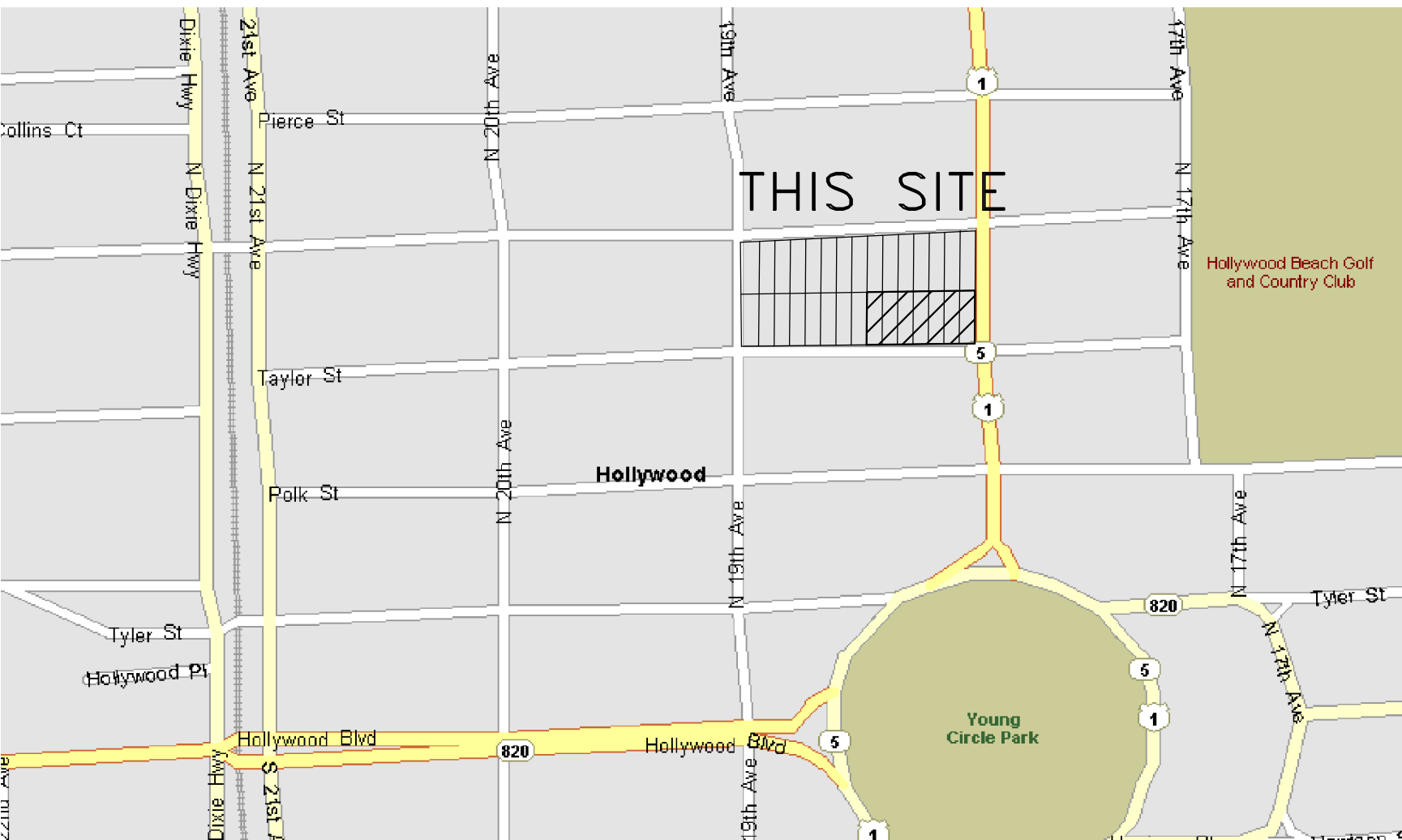
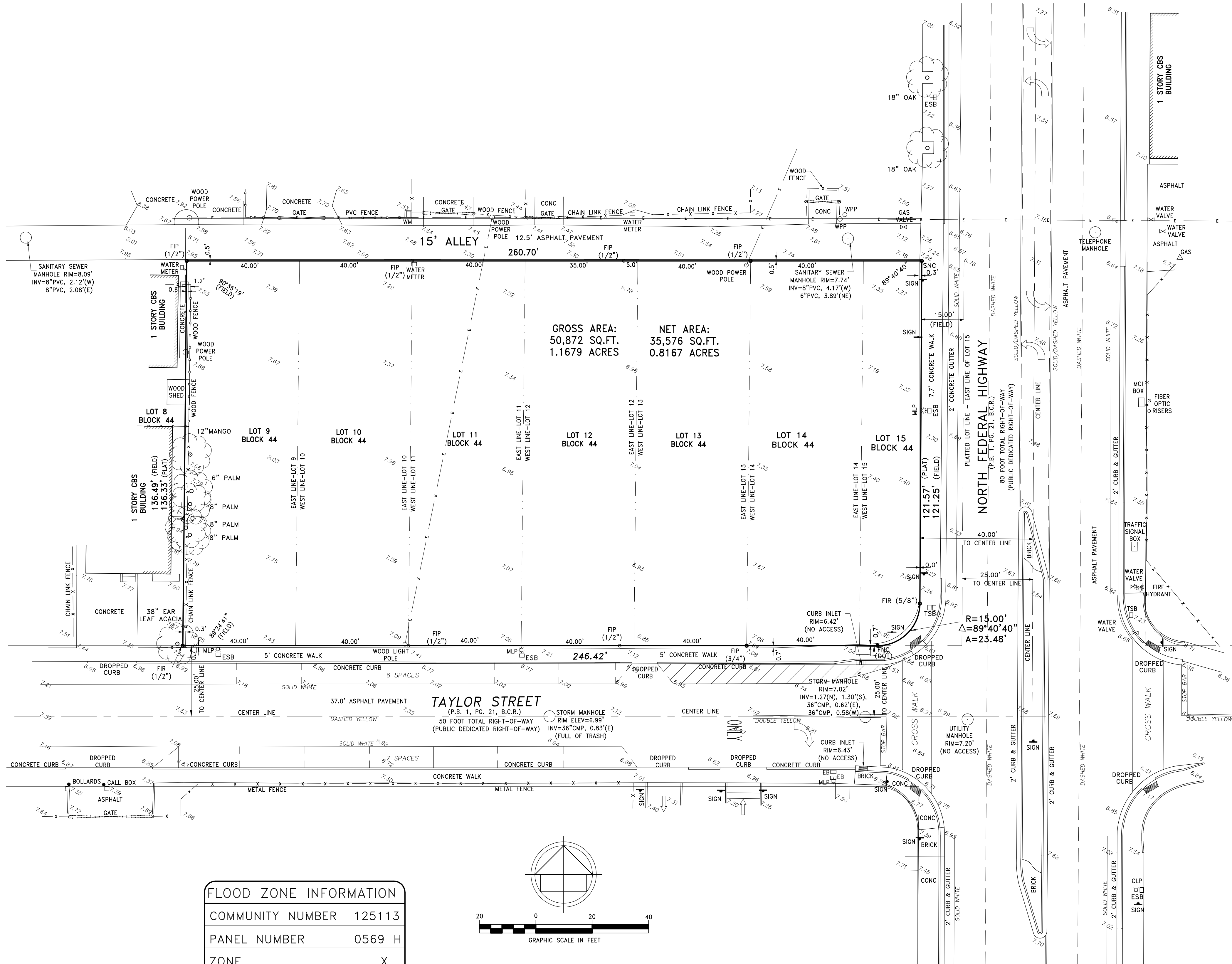
My Commission Expires: \_\_\_\_\_ (Check One) ☐ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_

Signature of Current Owner

ENSINCK ALEJANDRO

Print Name





LOCATION MAP (NTS)

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
- SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.  
THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON THE OWNERSHIP & ENCUMBRANCES REPORTS, LISTED HEREON, ISSUED BY ATTORNEYS' TITLE FUND SERVICES, LLC.  
a) (FUND FILE NO.: 10-2014-109061)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.  
b) (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013.  
c) (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.  
THERE ARE NO PLOTTABLE ENCUMBRANCES
- THIS SURVEY WAS DONE SOLEY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- BENCHMARK DESCRIPTION : CITY OF HOLLYWOOD BENCHMARK @ TAYLOR STREET & 18TH AVENUE. ELEVATION = 9.55'(NGVD29) - 8.04'(NAVD88)
- NET AREA (TO R/O/W LINES & PROPERTY LINES) = 35,576 SQ.FT. (0.8167 ACRES)  
GROSS AREA (TO CENTERLINE OF R/O/W) = 50,872 SQ.FT. (1.1679 ACRES)

SURVEYOR'S CERTIFICATION

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN BROWARD COUNTY, FLORIDA (ACCORDING TO OWNERSHIP AND ENCUMBRANCES REPORTS; FUND FILE NUMBER: 10-2014-109061, FROM JULY 30, 2010 TO OCTOBER 6, 2014. (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013, AND (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 07/03/23 FOR THE FIRM BY: RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION No. 4188.

LAND DESCRIPTION:  
LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.00 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0569 H
ZONE	X
BASE FLOOD ELEVATION	N/A
EFFECTIVE DATE	08/18/14

LEGEND

BCR	BROWARD COUNTY RECORDS	SIR	SET IRON ROD & CAP #6448
CKD	CHECKED BY	FND	FOUND NAIL & DISC
DWN	DRAWN BY	ALTA	AMERICAN LAND TITLE ASSOCIATION
FB/PG	FIELD BOOK AND PAGE	ACSM	AMERICAN CONGRESS ON SURVEYING & MAPPING
FIP	FOUND IRON PIPE	CB	CATCH BASIN
FIR	FOUND IRON ROD	B.C.R.	BROWARD COUNTY RECORDS
ORB	OFFICIAL RECORDS BOOK	-X-	WOOD/CHAIN LINK FENCE
PB	PLAT BOOK	WPP	WOOD POWER POLE
PG	PAGE	CLP	CONCRETE LIGHT POLE
SQ.FT.	SQUARE FEET	MLP	METAL LIGHT POLE
△	CENTRAL ANGLE	CPP	CONCRETE POWER POLE
R	RADIUS	ESB	ELECTRIC SERVICE BOX
A	ARC DISTANCE	-E-	OVERHEAD UTILITY LINES
-///-	NON VEHICULAR ACCESS LINE	UNK	UNKNOWN TREE TYPE

COUSINS SURVEYORS & ASSOCIATES, INC.  
3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :  
JED EQUITIES, LLC

ALTA/ACSM LAND TITLE SURVEY  
TAYLOR STREET & NORTH FEDERAL HIGHWAY,  
HOLLYWOOD, FL

REVISIONS	DATE	FB/PG	DWN	CKD
UPDATED SURVEY	09/30/13	SKETCH	JD	REC
UPDATED ALTA/ACSM LAND TITLE SURVEY	10/08/14	SKETCH	JD	REC
ADDITIONAL LOCATION	11/17/14	SKETCH	JD	REC
ADDITIONAL ELEVATIONS AND INVERT INFORMATION	09/19/15	SKETCH	JD	REC
ADDED CERTIFICATIONS	03/29/22	-----	AC	REC
UPDATE SURVEY	06/29/22	SKETCH	JD	REC

REVISIONS	DATE	FB/PG	DWN	CKD
UPDATED SURVEY	07/03/23	SKETCH	JD	REC

PROJECT NUMBER : 4816-04

SCALE : 1" = 20'

SHEET  
1  
OF  
1  
SHEET





TAC 2 SUBMITTAL - 7/17/2023  
CITY FILE REFERENCE: 22-DPJPD-62

ARCHITECT OF RECORD



BC ARCHITECTS AIA, INC.  
75 VALENCIA AVENUE, SUITE 1000  
CORAL GABLES, FLORIDA 33143  
Tel. 305.663.8182 Fax 305.663.8882  
Firm License Number: AA0003360  
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CONSULTANTS :

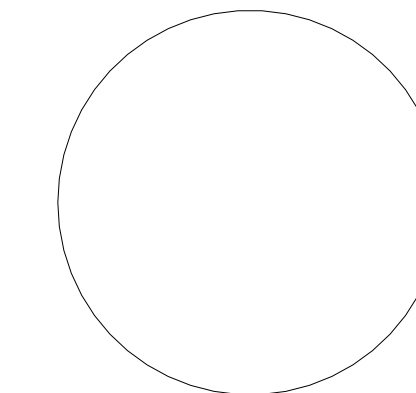
STAR TOWER  
HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS



SIGNED BY:  
VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN

COVER	PROJECT COVER SHEET
	SITE PLAN AND ARCHITECTURE
SP-101	SITE PLAN
SP-1.2	STREET SECTIONS
SP-2.0	GROUND FLOOR PLAN
SP-2.1	MEZZANINE LEVEL FLOOR PLAN
SP-2.2	PARKING LEVELS 2-4 FLOOR PLAN
SP-2.3	PARKING LEVELS 5-6 FLOOR PLAN
SP-2.4	LEVEL 7 FLOOR PLAN
SP-2.5	LTYICAL LEVELS 8-22 FLOOR PLAN
SP-2.6	ROOF LEVEL FLOOR PLAN
SP-3.0	SOUTH ELEVATION
SP-3.1	NORTH ELEVATION
SP-3.2	EAST ELEVATION
SP-3.3	WEST ELEVATION
SP-3.4	BUILDING SECTION
SP-3.5	BUILDING DETAILS AND MATERIALS
	CIVIL
GI-000	CIVIL COVER SHEET
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
SP-102	VEHICLE TRUCK TURN PLAN
CG-101	EROSION CONTROL PLAN
CG-501	EROSION CONTROL DETAILS
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-301 - CP-302	CROSS SECTIONS
CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101	WATER AND SEWER PLAN
CU-501 - CU-503	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501 - CM-502	PAVEMENT MARKING AND SIGNAGE DETAILS
	LANDSCAPE
CVR-000	COVER SHEET
LD-101	TREE DISPOSITION PLAN
LH-001	GENERAL NOTES, LEGEND AND SCHEDULE
LH-101	HARDSCAPE PLAN
LP-001	PLANTING NOTES
LP-101	PLANTING PLAN
LP-501	PLANTING DETAILS
LL-101	EXTERIOR LIGHTING AND PHOTOMETRICS PLAN

TAC 2- 7/17/2023

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SHEET TITLE

COVER SHEET

SHEET NUMBER

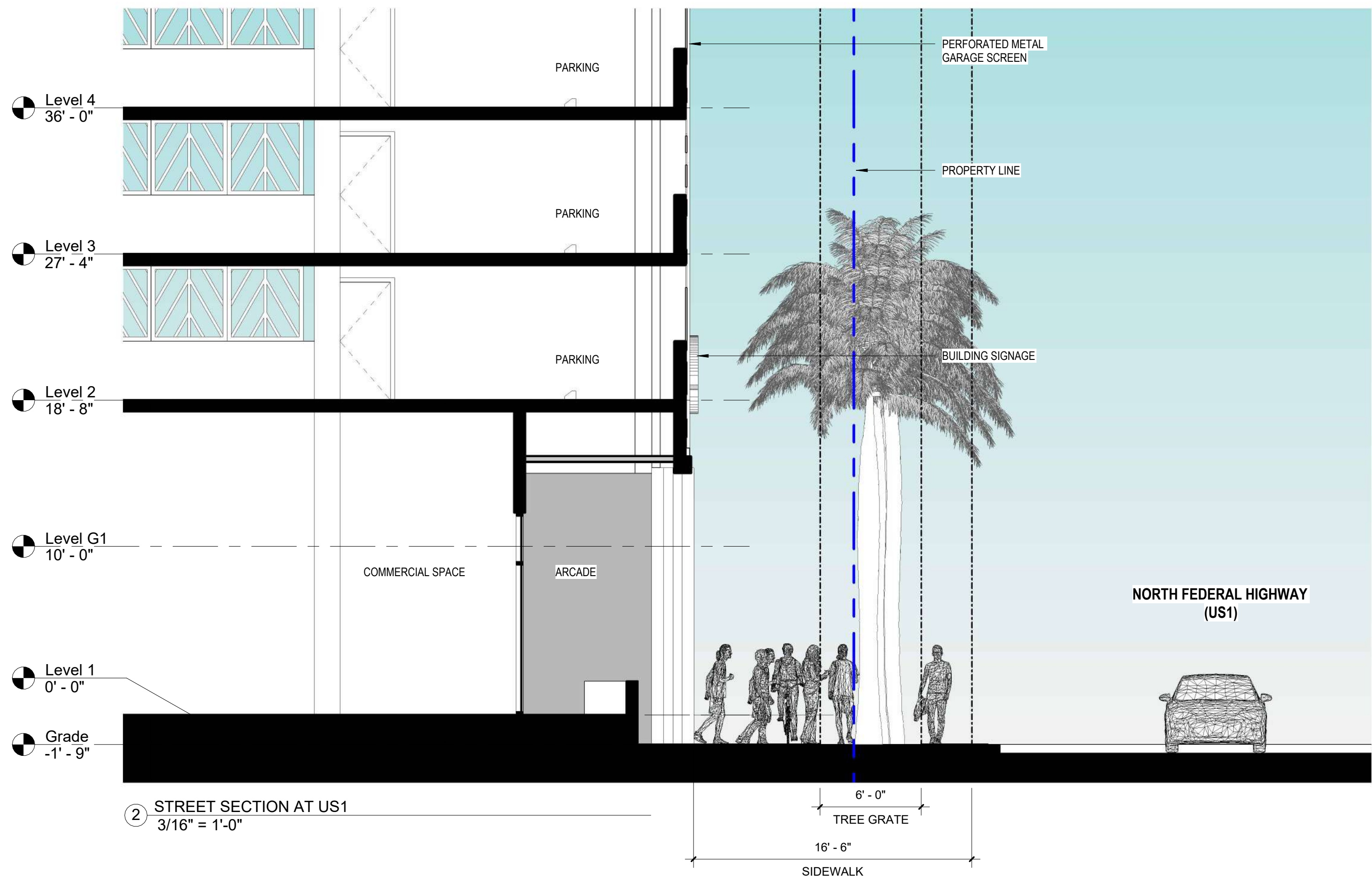
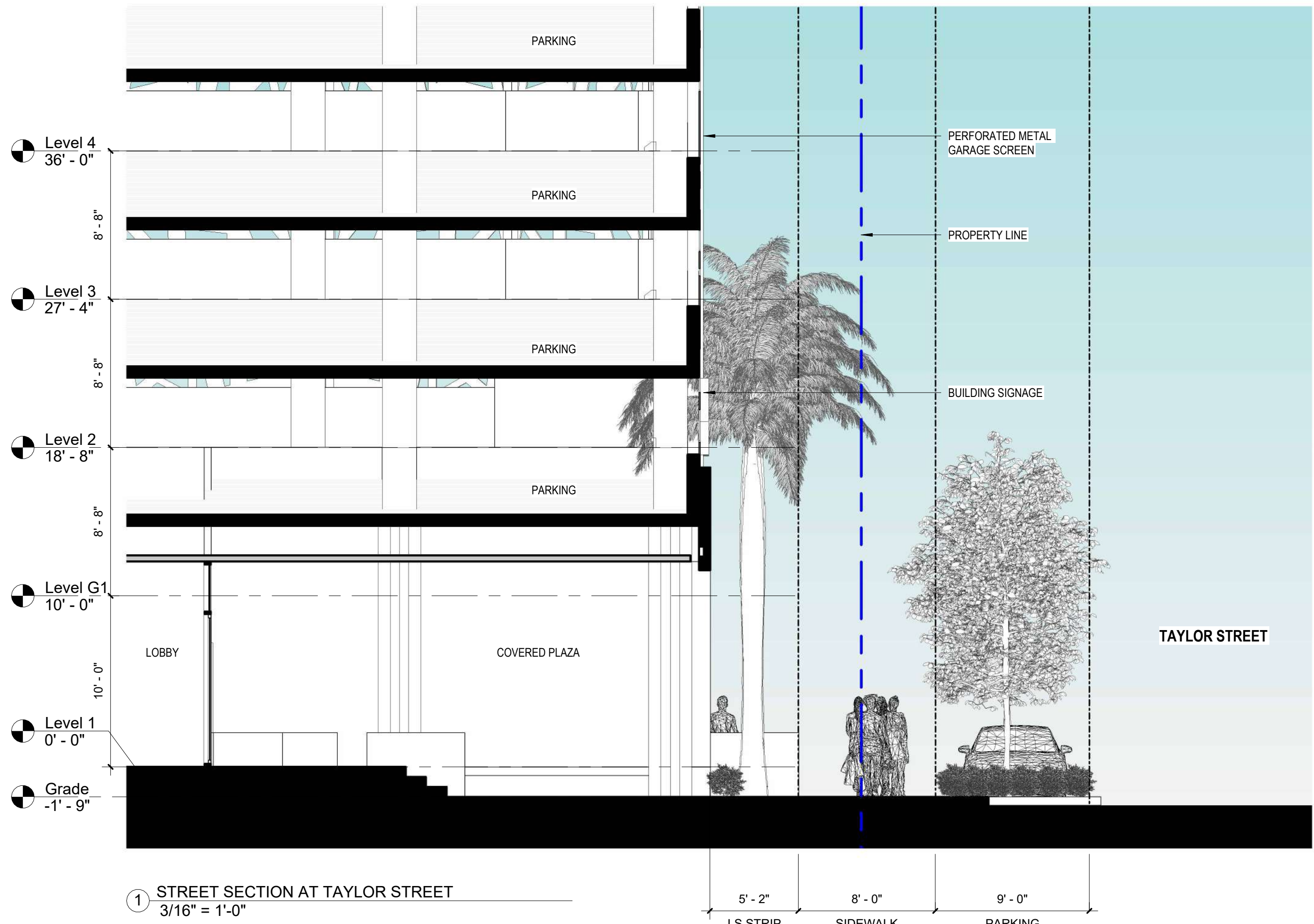
COVER

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
WITH THE MINIMUM STANDARDS OF THE APPLICABLE  
BUILDING CODES AND LIFE SAFETY STANDARDS









ARCHITECT OF RECORD



BC ARCHITECTS AIA, INC.

75 VALENCIA AVENUE, SUITE 1000  
CORAL GABLES, FLORIDA 33143

Tel. 305.663.8182 Fax 305.663.8882

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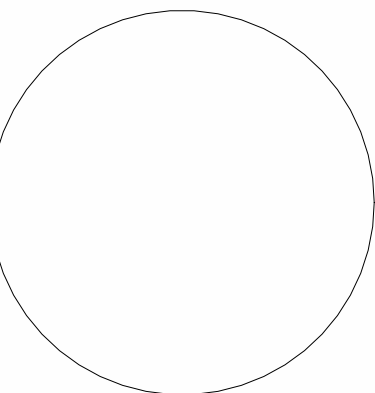
## STAR TOWER HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS



SIGNED BY:  
VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN

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Checked:	Checker

SHEET TITLE

### STREET SECTIONS

SHEET NUMBER

SP-1.2

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CONSULTANTS :

STAR TOWER  
HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

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FLORIDA ARCHITECT

KEY PLAN



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Scale: 3/32" = 1'-0"  
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Checked: Checker

SHEET TITLE

GROUND LEVEL FLOOR  
PLAN

SHEET NUMBER

SP-2.0

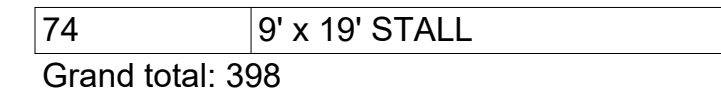
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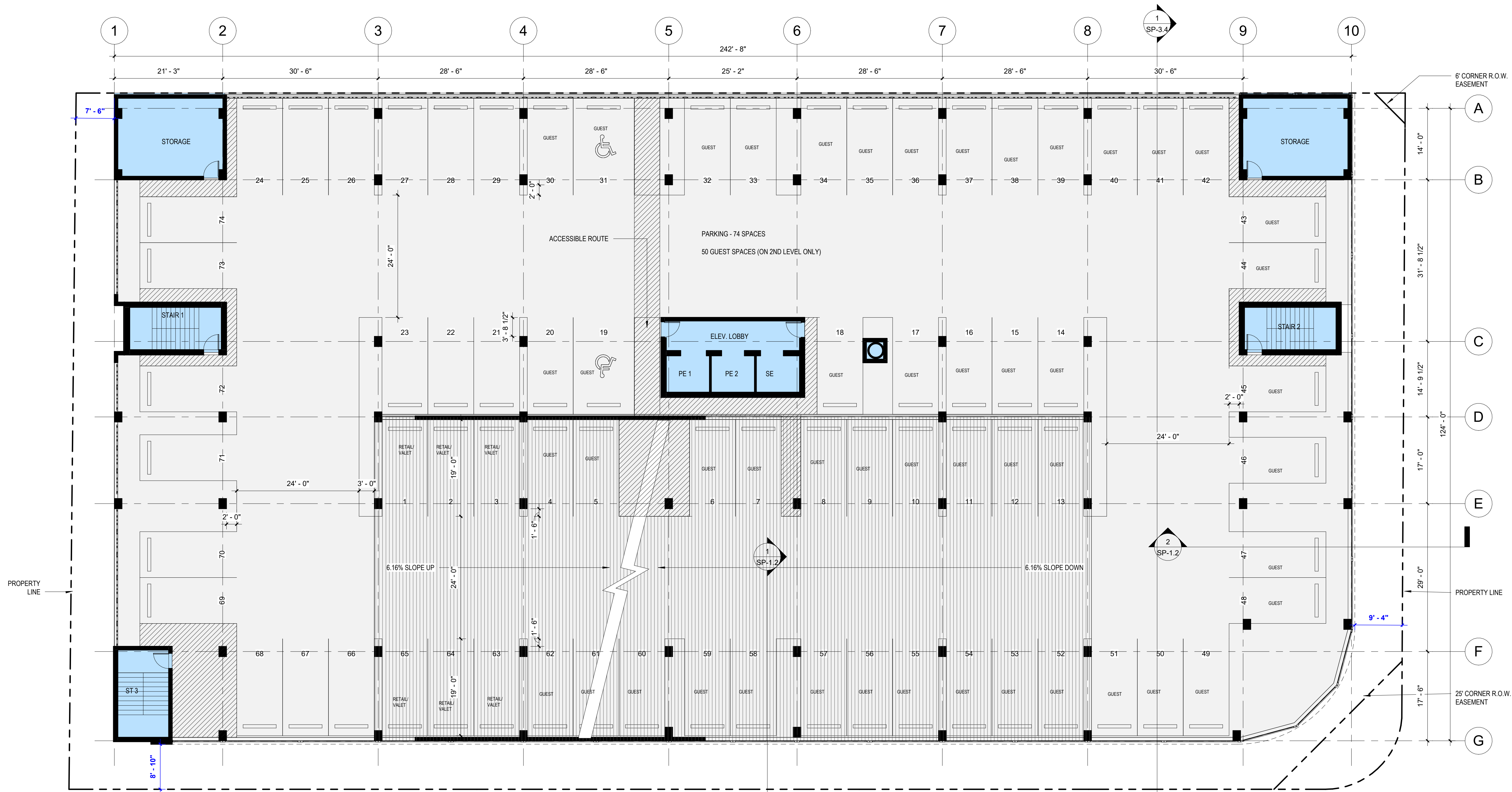
GROSS BUILDING AREAS	
Name	TOTAL AREA
COMMERCIAL	8200 SF
COMMERCIAL BOH	777 SF
GARAGE	160891 SF
LOBBY	2238 SF
POOL DECK	11526 SF
RESIDENTIAL AMENITIES	7052 SF
RESIDENTIAL BOH	2611 SF
RESIDENTIAL COMMON	44696 SF
RESIDENTIAL LOADING	966 SF
RESIDENTIAL UNIT	226820 SF
TERRACES	45843 SF
	511620 SF



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BUILDING CODES AND LIFE SAFETY STANDARDS







Parking Schedule	
Count	Type
Level 1	
9	9' x 19' STALL
6	9' x 19' STALL (TANDEM)
2	12' x 19' ADA STALL (VAN)
Level G1	
10	9' x 19' STALL
Level 2	
72	9' x 19' STALL
2	12' x 19' ADA STALL
Level 3	
72	9' x 19' STALL
2	12' x 19' ADA STALL
Level 4	
72	9' x 19' STALL
2	12' x 19' ADA STALL
Level 5	
75	9' x 19' STALL
Level 6	
74	9' x 19' STALL
Grand total: 398	

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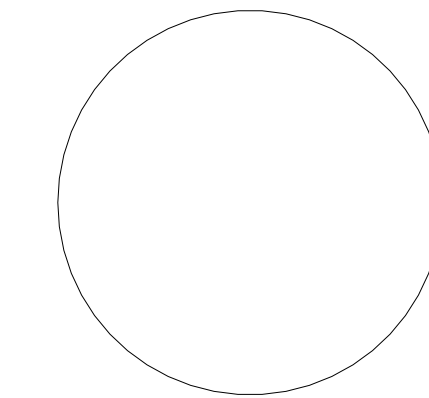
DATE

REVISIONS

SIGNED BY:

VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN



TAC 2- 7/17/2023

Comm. Num.:

2218.00

Scale:

3/32" = 1'-0"

Drawn:

Author

Checked:

Checker

SHEET TITLE

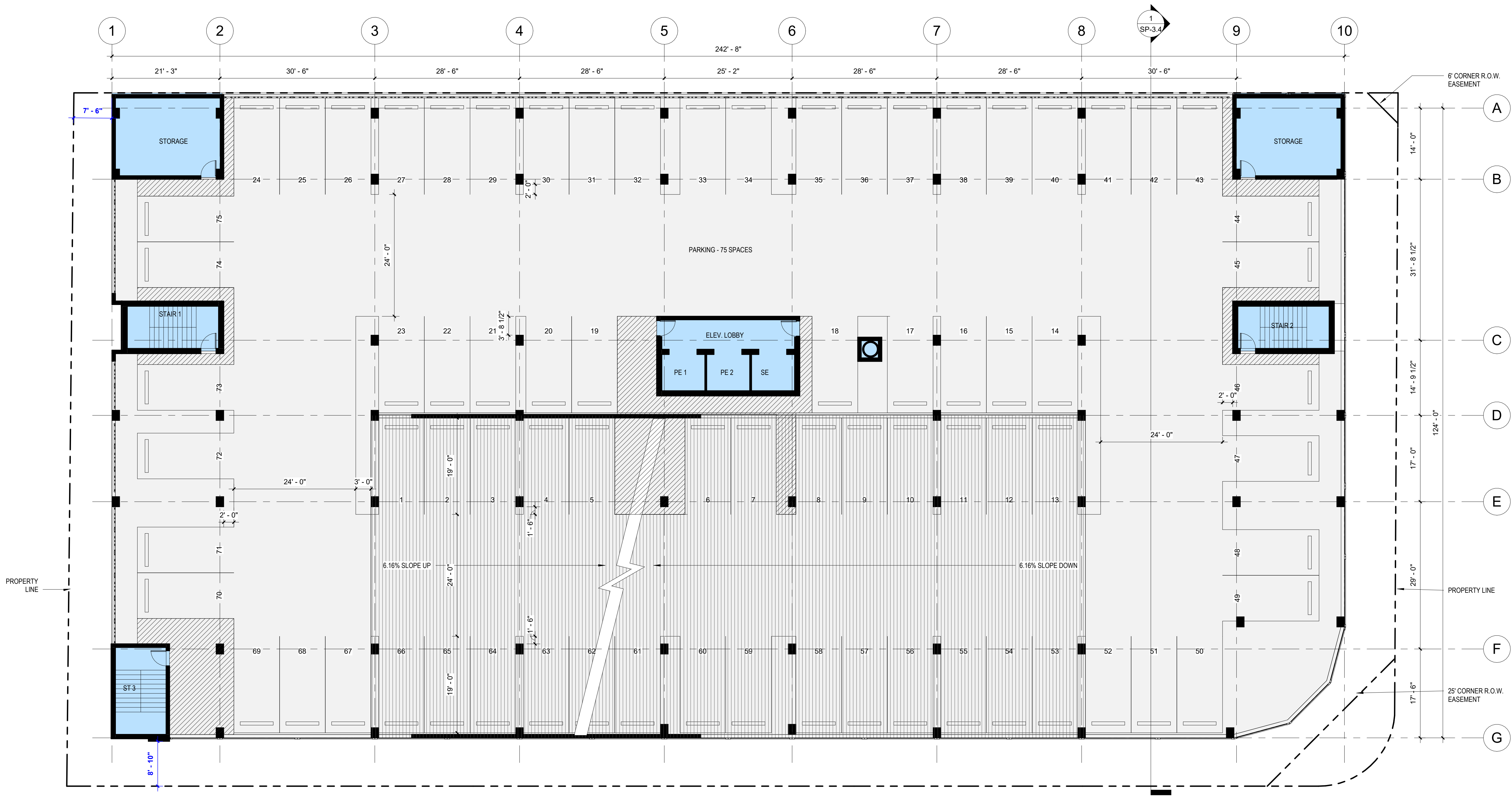
**PARKING LEVELS 2-4  
FLOOR PLAN**

SHEET NUMBER

**SP-2.2**

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
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Count	Type
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2	12' x 19' ADA STALL
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2	12' x 19' ADA STALL
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Level 5	
75	9' x 19' STALL
Level 6	
74	9' x 19' STALL
Grand total: 398	

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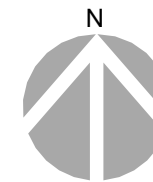
OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS

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FLORIDA ARCHITECT

KEY PLAN



TAC 2- 7/17/2023

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Scale: 3/32" = 1'-0"

Drawn: Author

Checked: Checker

SHEET TITLE

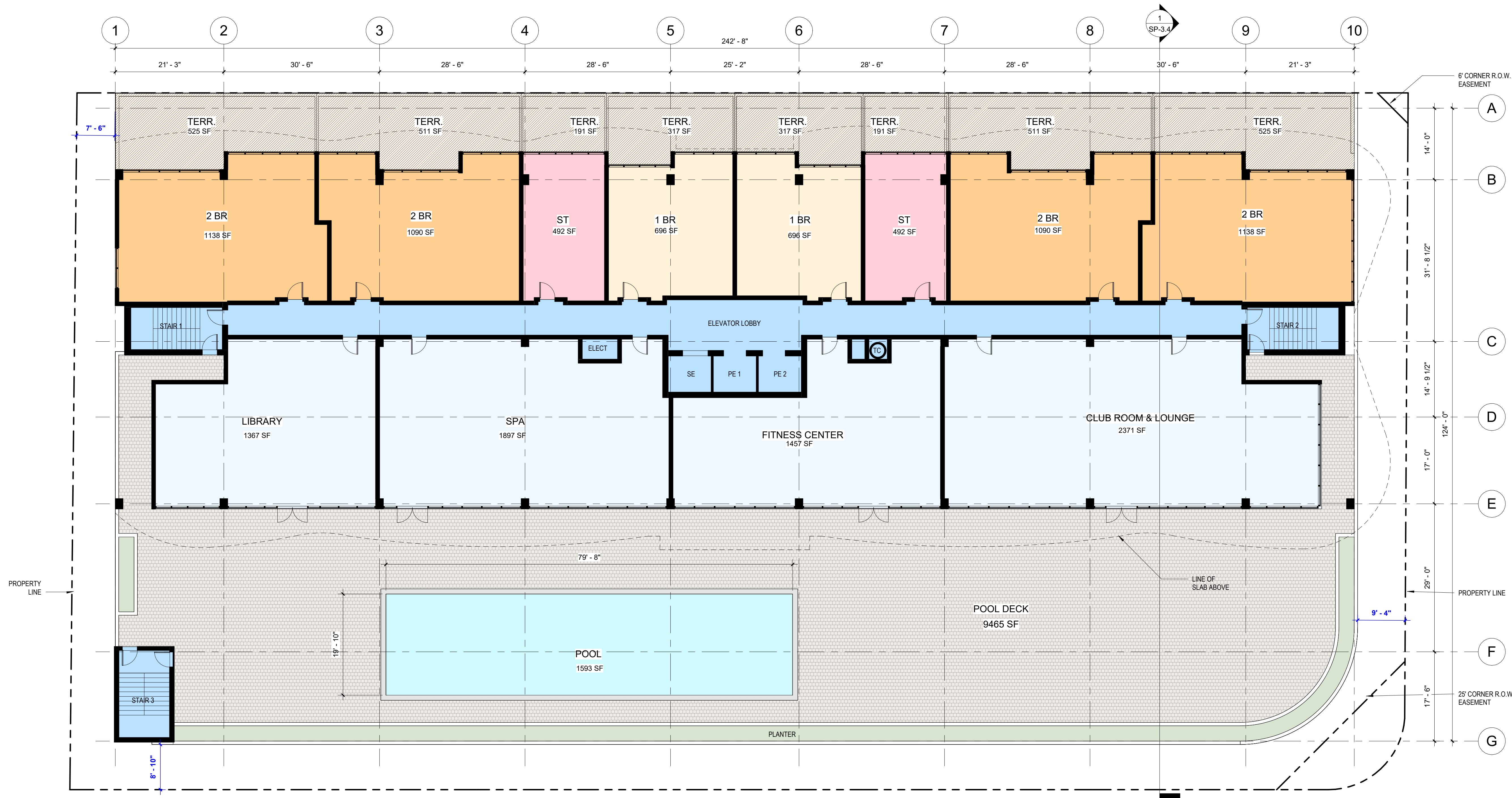
PARKING LEVELS 5-6  
FLOOR PLAN

SHEET NUMBER

SP-2.3

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
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CONSULTANTS :

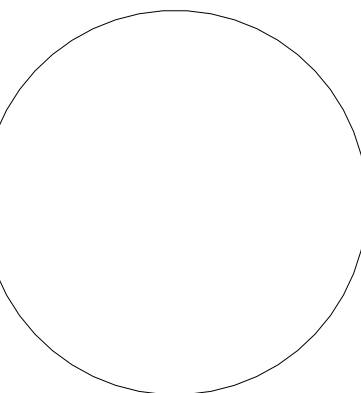
## STAR TOWER HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

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SIGNED BY:  
VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN



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SHEET TITLE

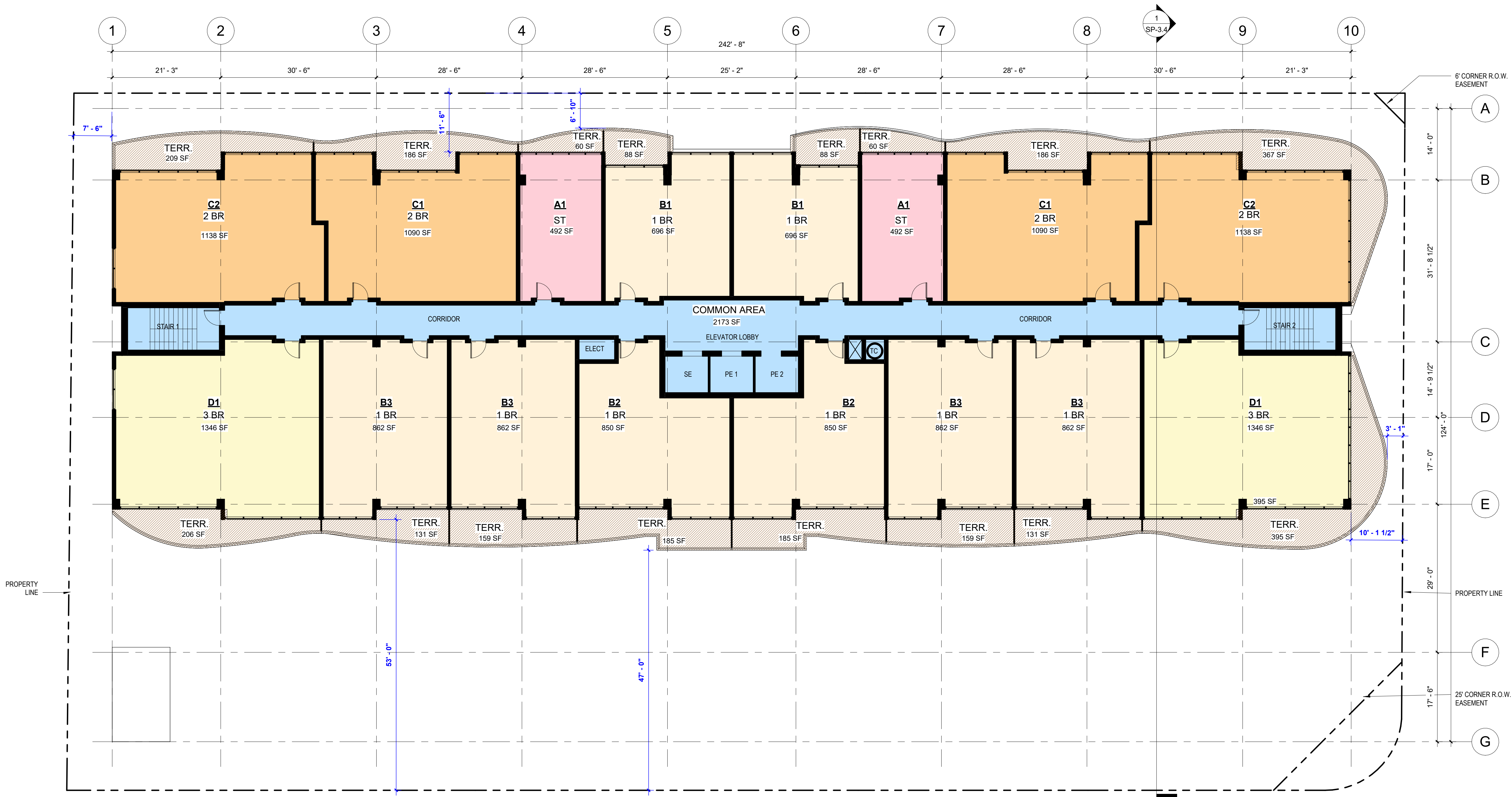
LEVEL 7 FLOOR PLAN

SHEET NUMBER

SP-2.4

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
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UNIT MATRIX

	UNIT A1		UNIT B1		UNIT B2		UNIT B3		UNIT C1		UNIT C2		UNIT D1	
	STUDIO	492 SF	1 BR	696 SF	1 BR	850 SF	1 BR	862 SF	2 BR	1090 SF	2 BR	1138 SF	3 BR	1346 SF
LEVEL 7	2		2		0		0		2		2		0	
LEVEL 8	2		2		2		4		2		2		2	
LEVEL 9	2		2		2		4		2		2		2	
LEVEL 10	2		2		2		4		2		2		2	
LEVEL 11	2		2		2		4		2		2		2	
LEVEL 12	2		2		2		4		2		2		2	
LEVEL 13	2		2		2		4		2		2		2	
LEVEL 14	2		2		2		4		2		2		2	
LEVEL 15	2		2		2		4		2		2		2	
LEVEL 16	2		2		2		4		2		2		2	
LEVEL 17	2		2		2		4		2		2		2	
LEVEL 18	2		2		2		4		2		2		2	
LEVEL 19	2		2		2		4		2		2		2	
LEVEL 20	2		2		2		4		2		2		2	
LEVEL 21	2		2		2		4		2		2		2	
LEVEL 22	2		2		2		4		2		2		2	
TOTAL	32		32		30		60		32		32		30	
GRAND TOTAL	248													

ARCHITECT OF RECORD



BC ARCHITECTS AIA, INC.

75 VALENCIA AVENUE, SUITE 1000  
CORAL GABLES, FLORIDA 33143

Tel. 305.663.8182 Fax 305.663.8882

Firm License Number: AA0003360

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CONSULTANTS :

STAR TOWER  
HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

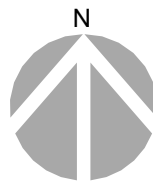
OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS

SIGNED BY:  
VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN



TAC 2- 7/17/2023

Comm. Num.: 2218.00  
Scale: 3/32" = 1'-0"  
Drawn: Author  
Checked: Checker

SHEET TITLE

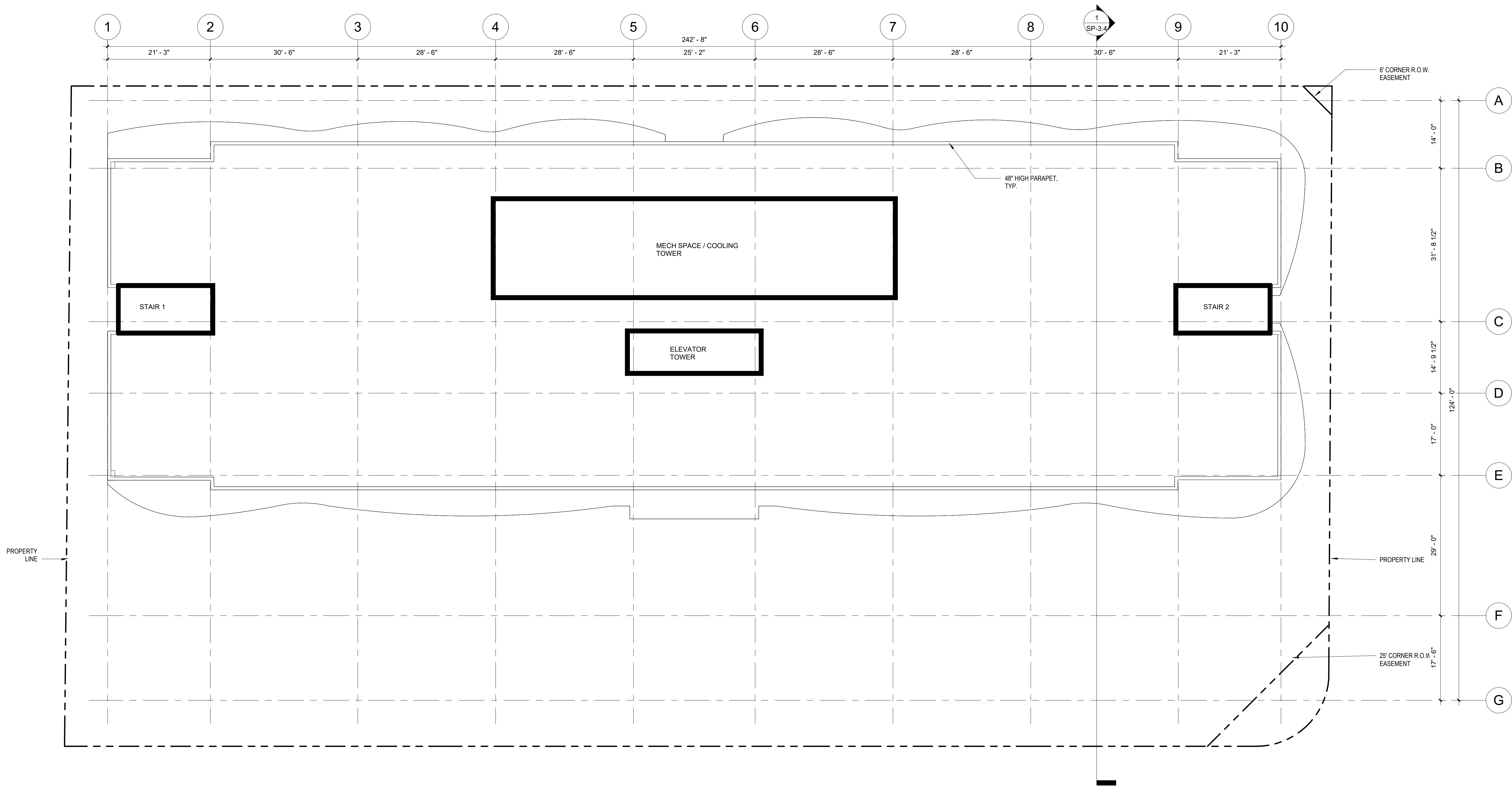
TYPICAL LEVELS 8-22  
FLOOR PLAN

SHEET NUMBER

SP-2.5

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
WITH THE MINIMUM STANDARDS OF THE APPLICABLE  
BUILDING CODES AND LIFE SAFETY STANDARDS





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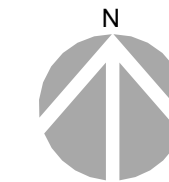
OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS

SIGNED BY:  
VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN



TAC 2- 7/17/2023

Comm. Num.: 2218.00  
Scale: 3/32" = 1'-0"  
Drawn: Author  
Checked: Checker

SHEET TITLE

ROOF LEVEL FLOOR  
PLAN

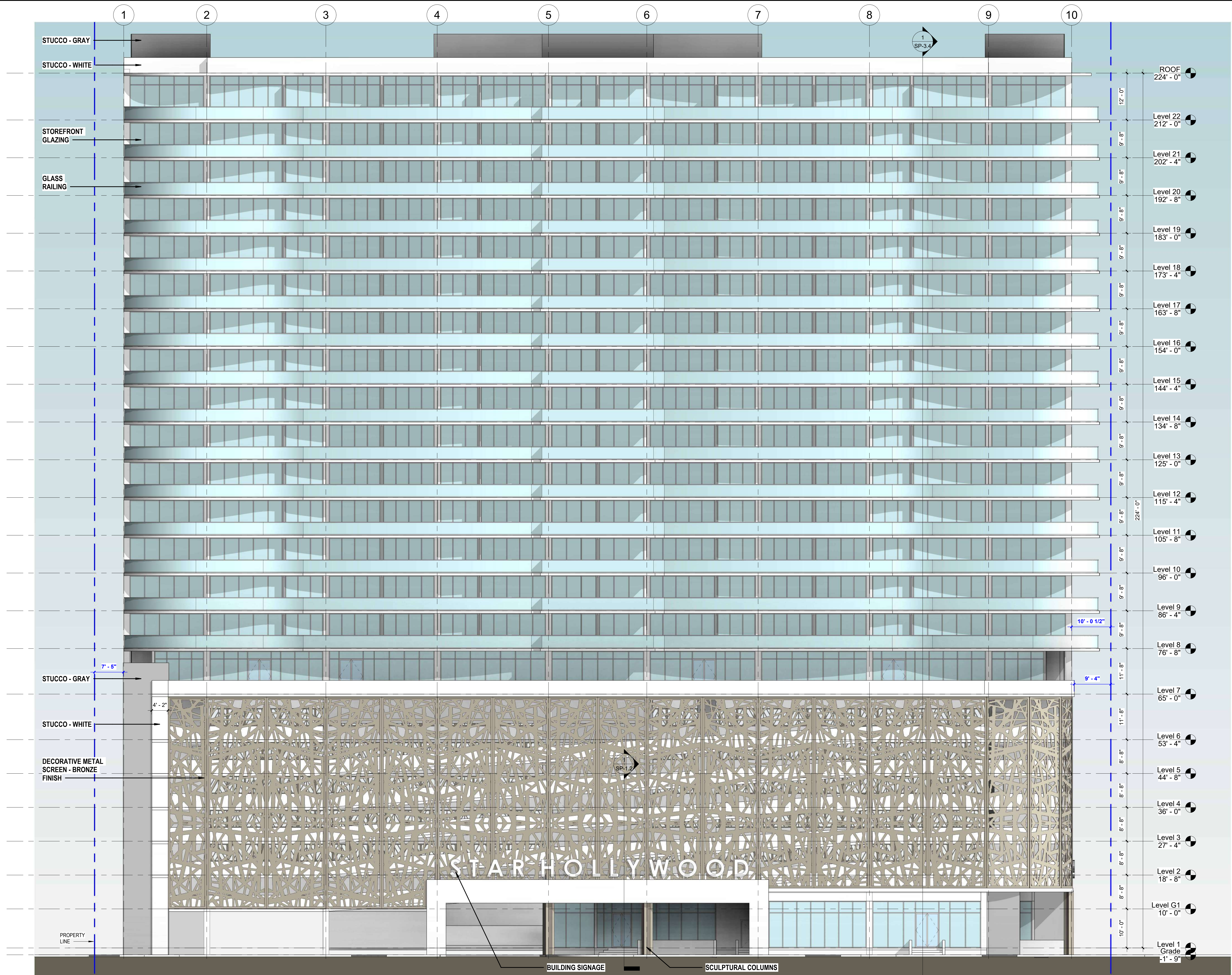
SHEET NUMBER

SP-2.6

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BUILDING CODES AND LIFE SAFETY STANDARDS



7/3/2023 4:56:53 PM



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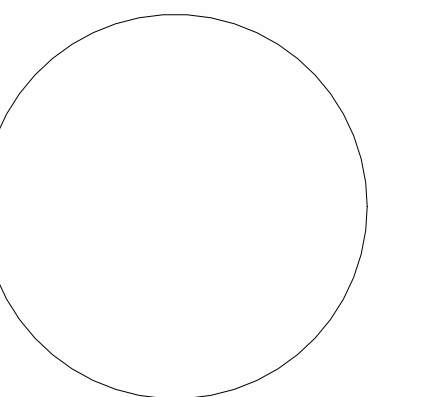
## STAR TOWER HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS



SIGNED BY:  
VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN

TAC 2- 7/17/2023

Comm. Num.: 2218.00  
Scale: 3/32" = 1'-0"  
Drawn: Author  
Checked: Checker

SHEET TITLE

**SOUTH ELEVATION -  
TAYLOR STREET**

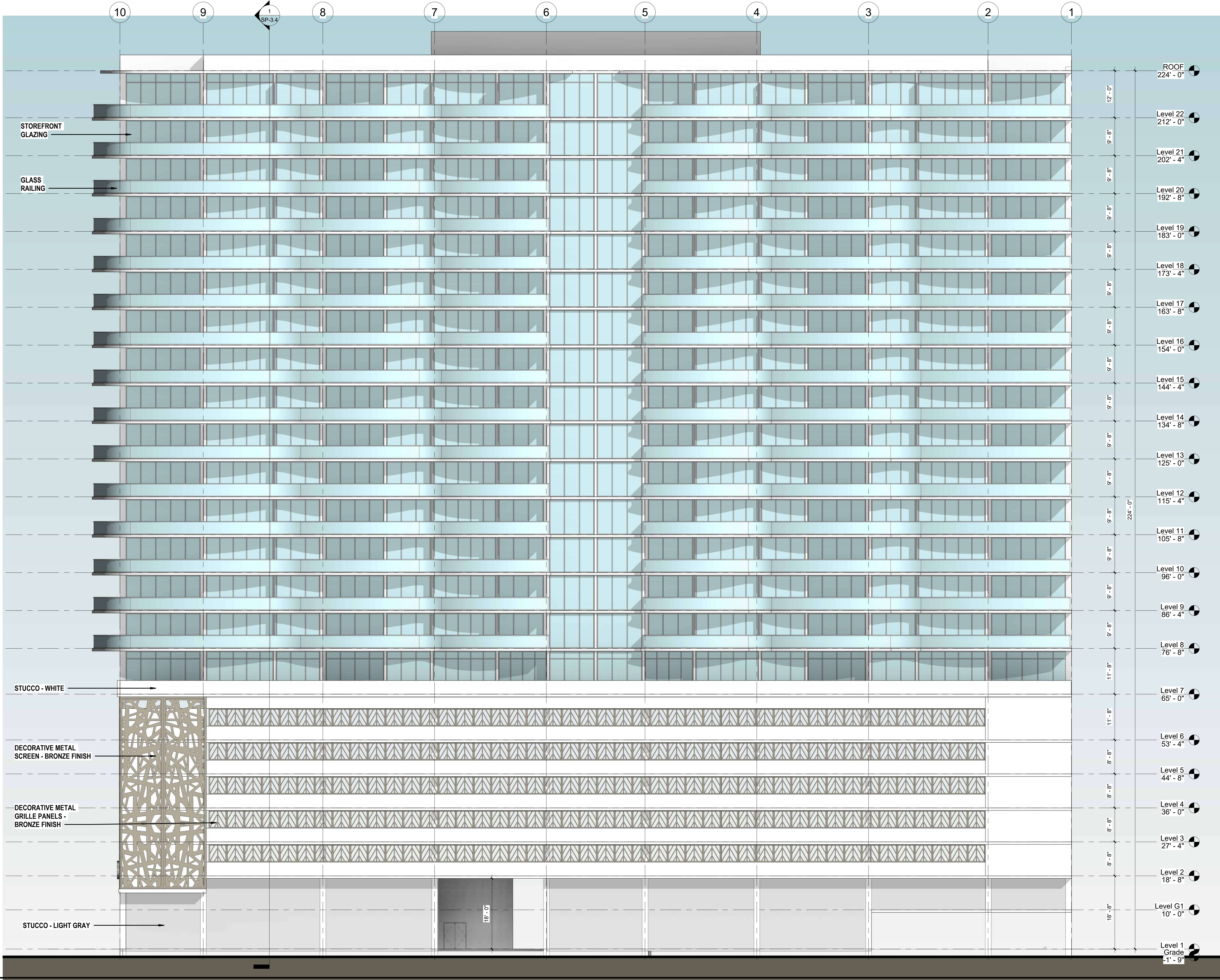
SHEET NUMBER

**SP-3.0**

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BUILDING CODES AND LIFE SAFETY STANDARDS



7/3/2023 4:57:17 PM



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CONSULTANTS :

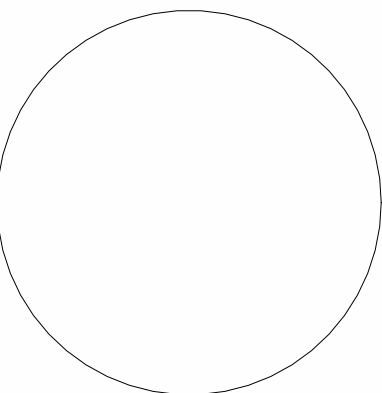
## STAR TOWER HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS



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VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN

TAC 2- 7/17/2023

Comm. Num.: 2218.00  
Scale: 3/32" = 1'-0"  
Drawn: Author  
Checked: Checker

SHEET TITLE

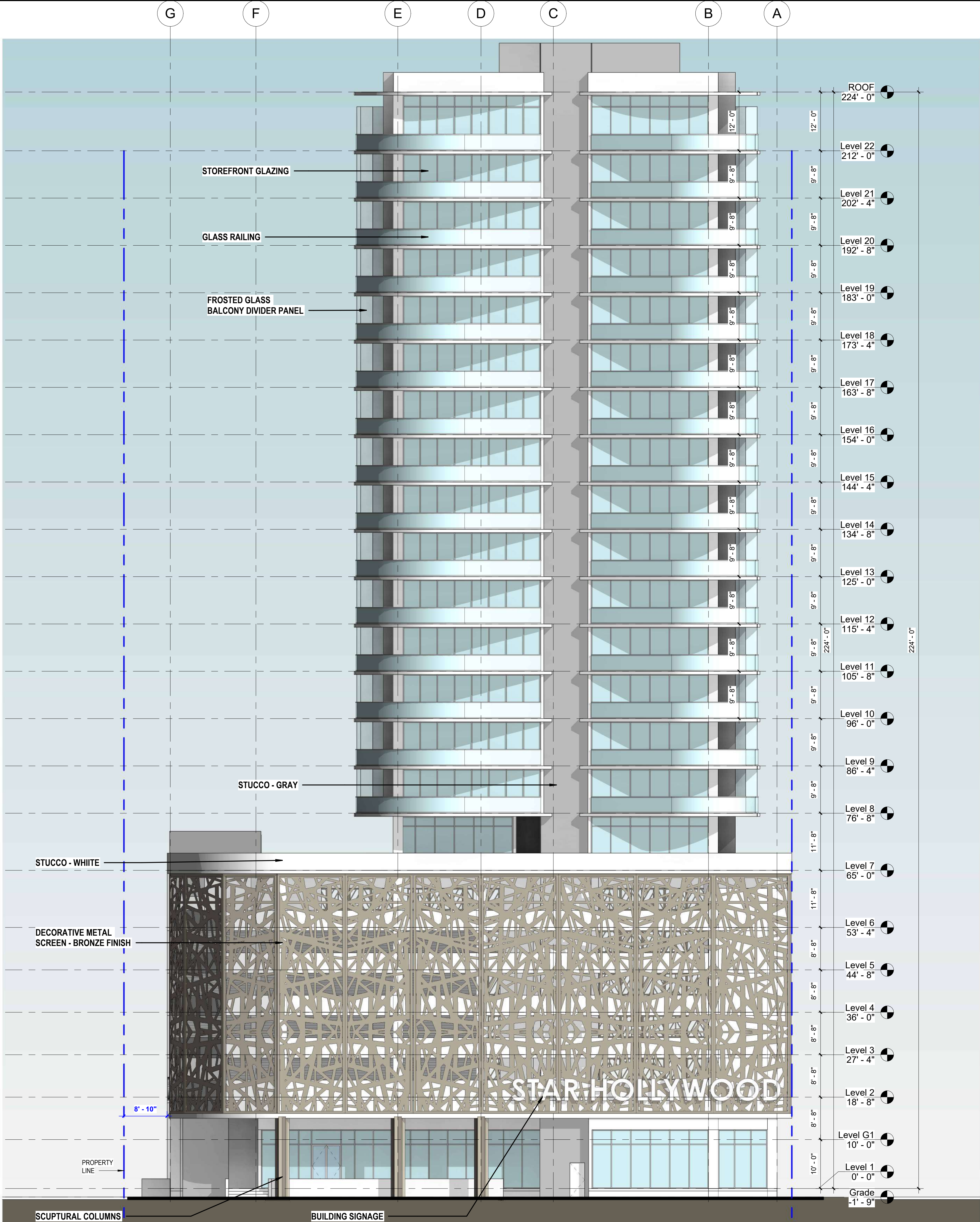
NORTH ELEVATION

SHEET NUMBER

SP-3.1

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
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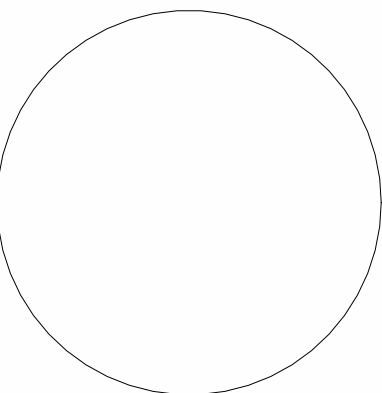
## STAR TOWER HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS



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VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN

TAC 2- 7/17/2023

Comm. Num.: 2218.00  
Scale: 3/32" = 1'-0"  
Drawn: Author  
Checked: Checker

SHEET TITLE

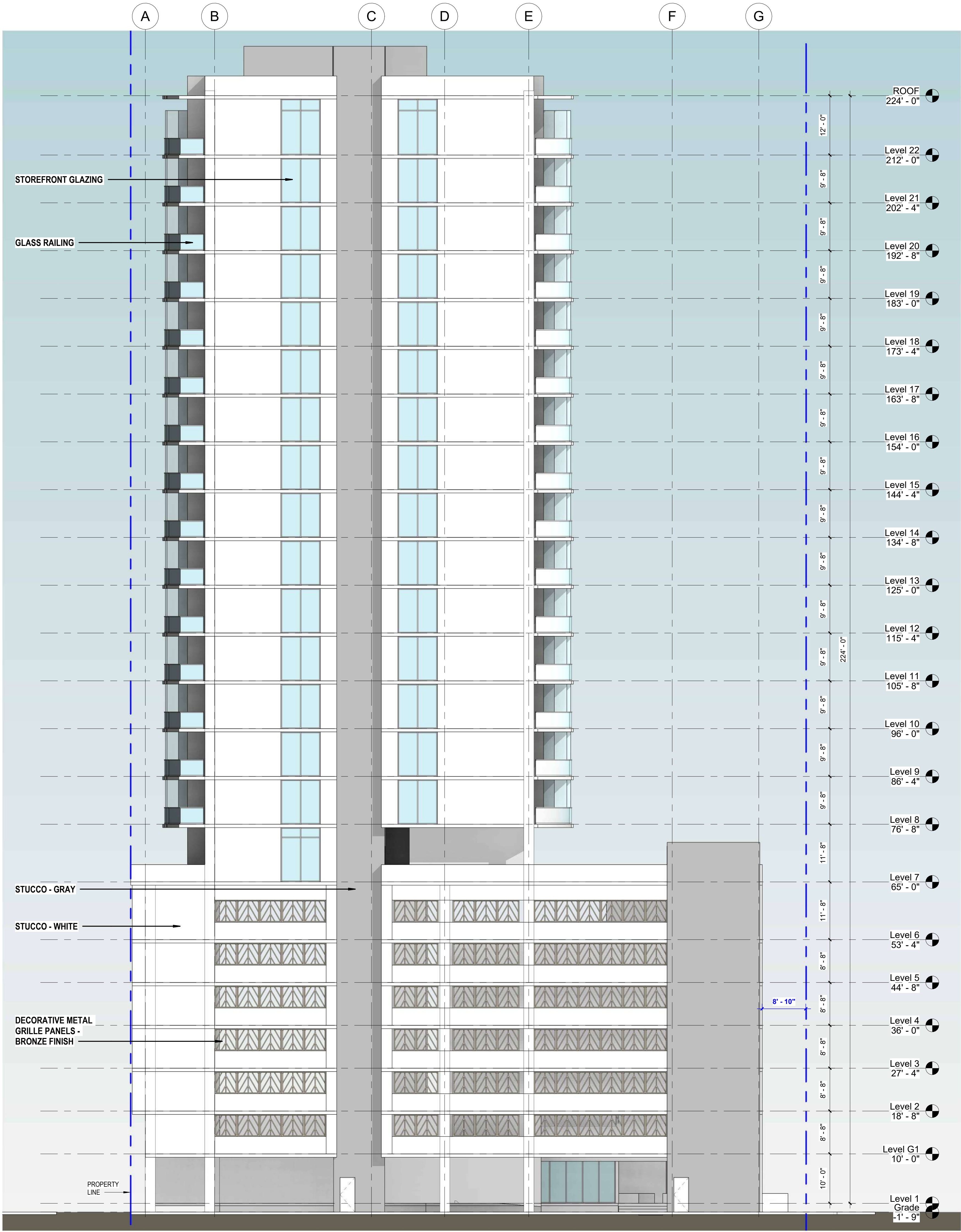
EAST ELEVATION -  
FEDERAL HIGHWAY  
(US1)

SHEET NUMBER

SP-3.2

TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
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## STAR TOWER HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS

SIGNED BY:  
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FLORIDA ARCHITECT

KEY PLAN

TAC 2- 7/17/2023

Comm. Num.: 2218.00  
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Drawn: Author  
Checked: Checker

SHEET TITLE

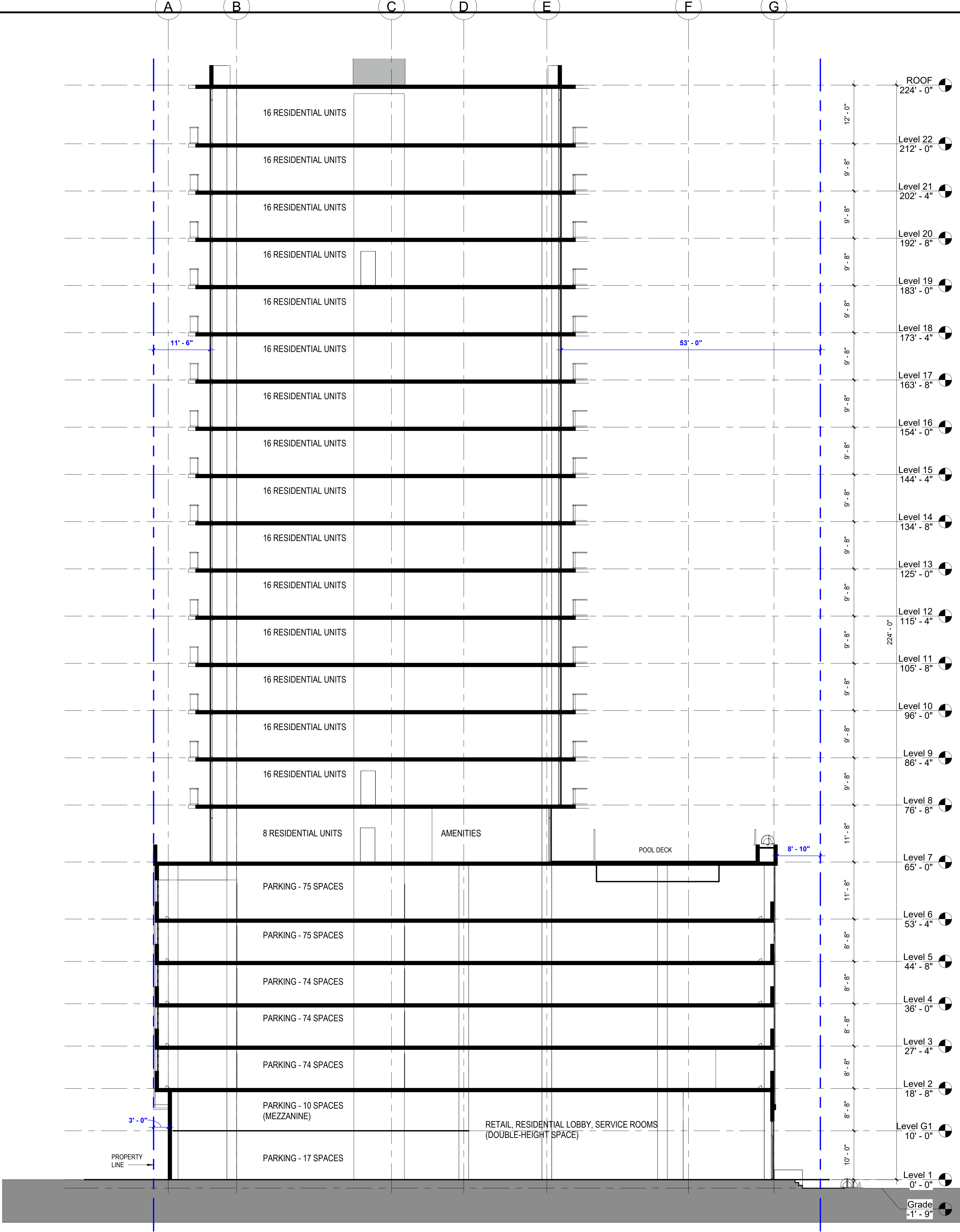
WEST ELEVATION

SHEET NUMBER

SP-3.3

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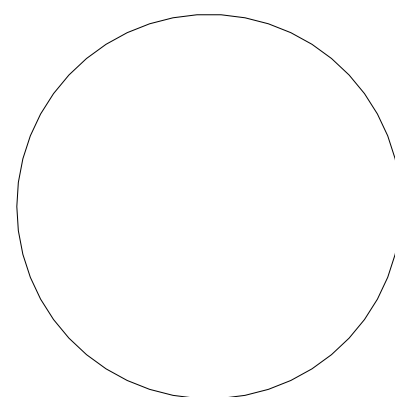
## STAR TOWER HOLLYWOOD

401 N FEDERAL HWY  
Hollywood, Florida 33020

OWNER:

1817 Taylor St.  
Development LLC

NO.	DATE	REVISIONS



SIGNED BY:  
VANESSA A. JIMENEZ  
FLORIDA ARCHITECT

KEY PLAN

### TAC 2- 7/17/2023

Comm. Num.:	2218.00
Scale:	3/32" = 1'-0"
Drawn:	Author
Checked:	Checker

SHEET TITLE

### BUILDING SECTION

SHEET NUMBER

SP-3.4

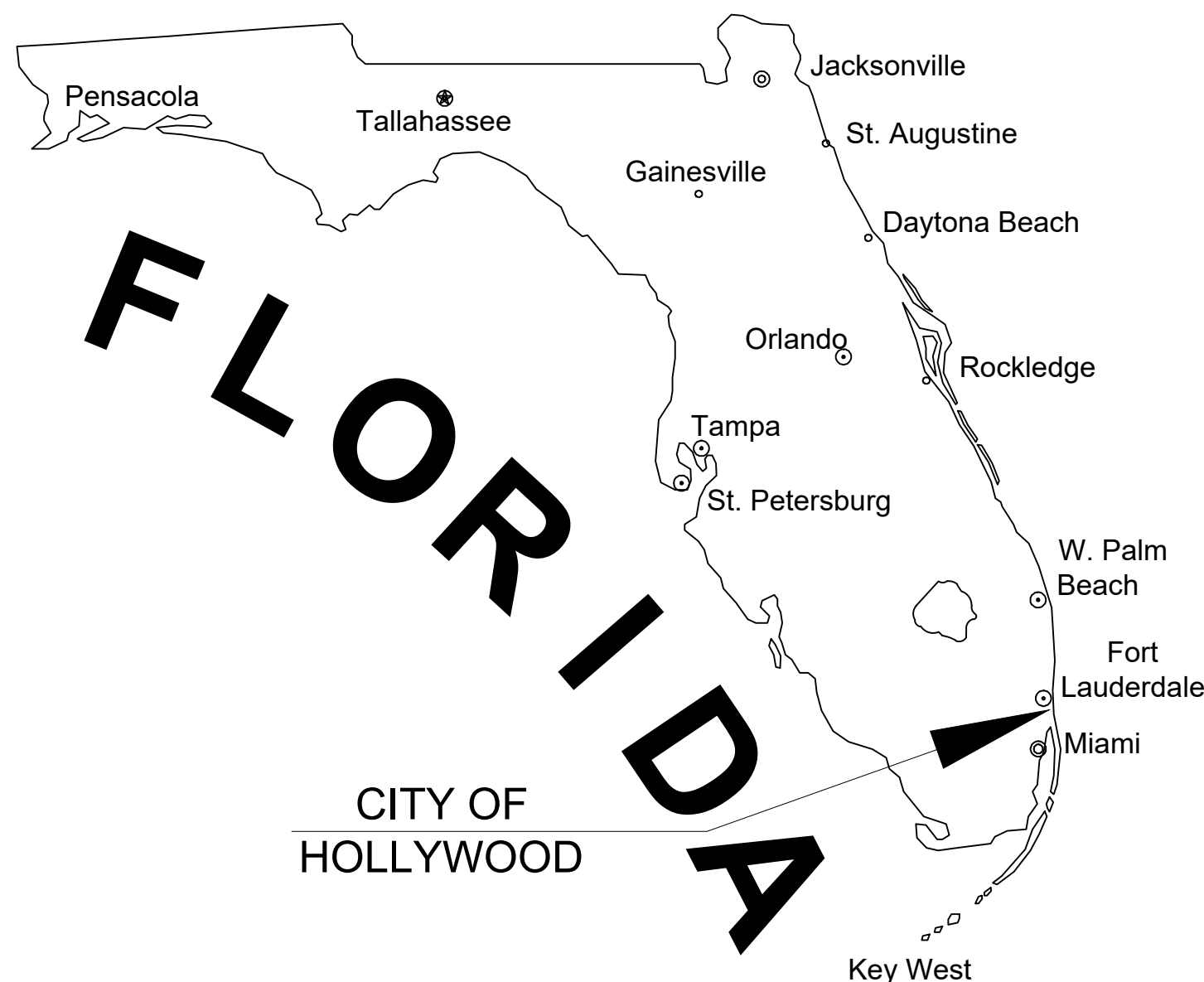
TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY  
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BUILDING CODES AND LIFE SAFETY STANDARDS



# STAR TOWER HOLLYWOOD TECHNICAL ADVISORY COMMITTEE

## LANDSCAPE DRAWINGS

JULY 3RD, 2023



INDEX OF SHEETS	
SHEET IDENTIFICATON	SHEET TITLE
LANDSCAPE	
CVR-000	COVER SHEET
LD-101	TREE DISPOSITION PLAN
LH-001	GENERAL NOTES, LEGEND, & SCHEDULE
LH-101	HARDSCAPE PLAN
LP-001	PLANTING NOTES
LP-101	PLANTING PLAN
LP-501	PLANTING DETAILS
LL-101	EXTERIOR LIGHTING & PHOTOMETRICS PLAN

TECHNICAL ADVISORY SUBMITTAL:  
JULY 3RD, 2023

TECHNICAL ADVISORY REVIEW:  
JULY 17TH, 2023

410 N. FEDERAL HIGHWAY, HOLLYWOOD  
BROWARD COUNTY, FLORIDA 33020

PREPARED FOR:  
1817 TAYLOR DEVELOPMENT LLC.



PROJECT No. 13778.00  
JULY 3RD, 2023

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

THESE PLANS MAY HAVE BEEN  
REDUCED IN SIZE BY REPRODUCTION.  
THIS MUST BE CONSIDERED WHEN  
OBTAINING SCALED DATA.





**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.  
RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.

**BID-CONTRACT:**

ED LANDSCAPE

**NAME** \_\_\_\_\_

CLIENT

\_\_\_\_\_

1617 TAYLOR  
DEVELOPMENT, LLC

\_\_\_\_\_

\_\_\_\_\_

PROJECT \_\_\_\_\_

\_\_\_\_\_

## STAR POWER HOLLYWOOD

\_\_\_\_\_

\_\_\_\_\_

SHEET TITLE

**TREE**

## DISPOSITION PLAN

\_\_\_\_\_

--

NUMBER **ED 191**

NUMBER	DATE	DESCRIPTION	AMOUNT
1	1/1/2020	Initial deposit	1000.00
2	1/15/2020	Withdrawal	500.00
3	2/1/2020	Deposit	250.00
4	2/15/2020	Withdrawal	150.00
5	3/1/2020	Deposit	300.00
6	3/15/2020	Withdrawal	200.00
7	4/1/2020	Deposit	150.00
8	4/15/2020	Withdrawal	100.00
9	5/1/2020	Deposit	200.00
10	5/15/2020	Withdrawal	150.00
11	6/1/2020	Deposit	100.00
12	6/15/2020	Withdrawal	50.00
13	7/1/2020	Deposit	50.00
14	7/15/2020	Withdrawal	25.00
15	8/1/2020	Deposit	25.00
16	8/15/2020	Withdrawal	12.50
17	9/1/2020	Deposit	12.50
18	9/15/2020	Withdrawal	6.25
19	10/1/2020	Deposit	6.25
20	10/15/2020	Withdrawal	3.12
21	11/1/2020	Deposit	3.12
22	11/15/2020	Withdrawal	1.56
23	12/1/2020	Deposit	1.56
24	12/15/2020	Withdrawal	0.78
25	1/1/2021	Deposit	0.78
26	1/15/2021	Withdrawal	0.39
27	2/1/2021	Deposit	0.39
28	2/15/2021	Withdrawal	0.19
29	3/1/2021	Deposit	0.19
30	3/15/2021	Withdrawal	0.09
31	4/1/2021	Deposit	0.09
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86			

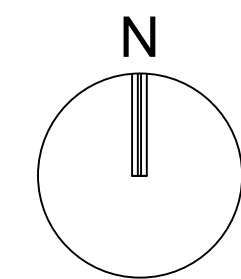


## PLAN / SECTION

NOT TO SCALE

TREE DISPOSITION NOTES

1. EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES BUT RETAINING



NOTE: PRINTED DRAWING SIZE  
MAY HAVE CHANGED FROM

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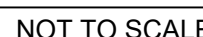
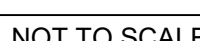
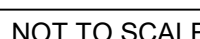
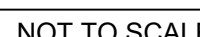
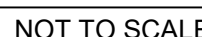
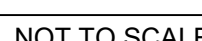
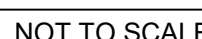


	1	2	3	4	5
A.	SCOPE	1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.	2. Contractor understands that an important element of the design of this project is meeting landscape ordinances with a design flare that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans. Contractor shall immediately consult with Architect and/or Owner.	3. Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below.	4. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.
D.	BIDDING	1. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation.	2. Contractors and Subs must ensure they are doing take offs from Bldg Dept. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.	3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding.	4. When submitting an RFI reference sheet number, detail number and/or note category and number.
C.	GENERAL LANDSCAPE NOTES	1. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as required.	2. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal, state and local laws and regulations pertaining to the inspection for plant disease and insect infestation.	3. All ideas, designs and plans indicated on this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.	4. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.
B.	PERMITS & REGULATIONS	1. Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project.	2. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to installation if required.	3. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.	4. TREE REMOVAL
A.	EXISTING TREES	1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.	2. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on plans or not.	3. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, sod and weeds within landscape areas.	4. HARDSCAPE & OTHER MATERIALS
J.	UTILITIES / CLEARANCES	1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.	2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape Architect and Owner.	3. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing authority / Landscape Architect and Owner.	4. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.
Q.	SOD	1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted. These disturbed areas shall have proper irrigation established or re-established if they were disrupted or non-functional.	2. Landscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod areas.	3. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Seville' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field verified).	4. Sod shall be machine striped no more than 24 hours prior to laying.
P.	FERTILIZATION	1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart:	Agriform® 21-gm Tablets (SKU# 90026"; 500 tablets/case) NEW Tree / Shrub Container Size 1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box Installation: 1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24	• Place plant in the hole and backfill to halfway point. • Do not place tablets in the bottom of the planting hole. • Place Agriform Tablets in the hole about 1to 2 inches away from root tips. • Finish filling the hole around the plant to grade level. SCOTTS: 1-800-492-8255 or visit www.scottsspro.com	•
R.	SUBMITTALS	1. Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.	2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include scale for height.	3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the site.	4. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.
S.	INSPECTION & ACCEPTANCE	1. Notify the governing Agency if required and Landscape Architect of commencement.	2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection and approval by the Landscape Architect prior to final installation.	3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.	4. Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.
T.	MULCH	1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants.	2. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges and plant material.	3. All trees in sodded areas shall have a clean cut 4' diameter mulch ring.	4. Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited.
U.	WATERING	1. All plant material shall be watered in thoroughly at the time of planting.	2. It is the sole responsibility of the Landscape Contractor to ensure that all new plantings receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract.	3. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
V.	CLEAN UP	1. The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner.	2. The contractor is responsible for mowing the entire project during planting and establishment periods, based on mowing project once a month from October to April, and twice a month from April to October (During installation and plant establishment only and until final inspection and owner accepts and takes ownership).	3. Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
W.	MAINTENANCE	1. Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.	2. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected.	3. Trees and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility at traffic intersection.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
X.	GUARANTEE & REPLACEMENT	1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants which die or other within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.	2. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	3. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
Y.	MISCELLANEOUS	1. All work to be done in a professional manner.	2. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.	3. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
Z.	ABBREVIATIONS IN NOTES AND PLANS	1. UNO = Unless Otherwise Noted LA = Landscape Architect S.F. = Square Feet STD = Standard (single trunk) B&B = Balled and Burlapped BLDG DEP = Building Department RFI = Request for Information FPL = Florida Power & Light C.O. = Certificate of Occupancy ISA CA. or ISA Arborist = International Society of Arboriculture Certified Arborist	2. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	3. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
A.	PROJECT	1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.	2. Contractor understands that an important element of the design of this project is meeting landscape ordinances with a design flare that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans. Contractor shall immediately consult with Architect and/or Owner.	3. Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below.	4. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.
D.	BIDDING	1. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation.	2. Contractors and Subs must ensure they are doing take offs from Bldg Dept. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.	3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding.	4. When submitting an RFI reference sheet number, detail number and/or note category and number.
C.	GENERAL LANDSCAPE NOTES	1. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as required.	2. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal, state and local laws and regulations pertaining to the inspection for plant disease and insect infestation.	3. All ideas, designs and plans indicated on this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.	4. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.
B.	PERMITS & REGULATIONS	1. Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project.	2. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to installation if required.	3. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.	4. TREE REMOVAL
A.	EXISTING TREES	1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.	2. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on plans or not.	3. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, sod and weeds within landscape areas.	4. HARDSCAPE & OTHER MATERIALS
J.	UTILITIES / CLEARANCES	1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.	2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape Architect and Owner.	3. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing authority / Landscape Architect and Owner.	4. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.
Q.	SOD	1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted. These disturbed areas shall have proper irrigation established or re-established if they were disrupted or non-functional.	2. Landscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod areas.	3. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Seville' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field verified).	4. Sod shall be machine striped no more than 24 hours prior to laying.
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R.	SUBMITTALS	1. Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.	2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include scale for height.	3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the site.	4. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.
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T.	MULCH	1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants.	2. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges and plant material.	3. All trees in sodded areas shall have a clean cut 4' diameter mulch ring.	4. Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited.
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X.	GUARANTEE & REPLACEMENT	1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants which die or other within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.	2. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	3. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
Y.	MISCELLANEOUS	1. All work to be done in a professional manner.	2. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.	3. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
Z.	ABBREVIATIONS IN NOTES AND PLANS	1. UNO = Unless Otherwise Noted LA = Landscape Architect S.F. = Square Feet STD = Standard (single trunk) B&B = Balled and Burlapped BLDG DEP = Building Department RFI = Request for Information FPL = Florida Power & Light C.O. = Certificate of Occupancy ISA CA. or ISA Arborist = International Society of Arboriculture Certified Arborist	2. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	3. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.	4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
A.	PROJECT	1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.	2. Contractor understands that an important element of the design of this project is meeting landscape ordinances with a design flare that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans. Contractor shall immediately consult with Architect and/or Owner.	3. Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below.	4. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.
D.	BIDDING	1. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation.	2. Contractors and Subs must ensure they are doing take offs from Bldg Dept. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.	3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding.	4. When submitting









**STATUS: PRELIMINARY**



**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.

RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.

BID-CONTRACT:

[illegible]

**PAUL H. WEINBERG, PLA**  
**FLORIDA REG. NO. LA6666804**  
**(FOR THE FIRM)**

CLIENT

15 JULY 2004

PROJECT

\_\_\_\_\_

SHEET TITLE

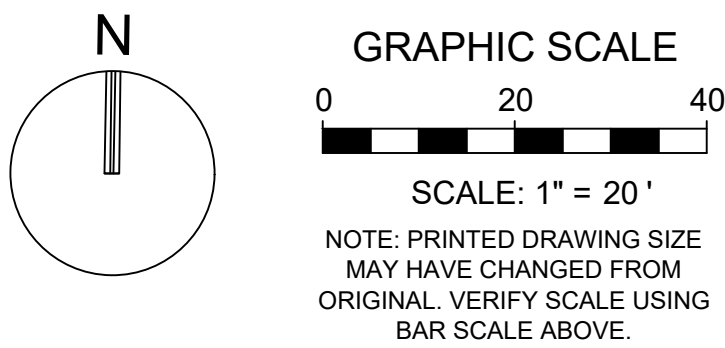
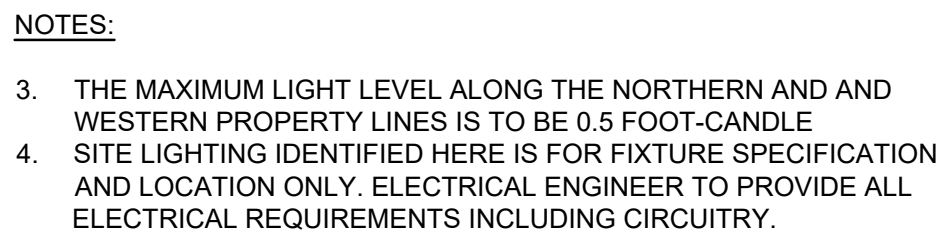
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PROJECT NUMBER	13778.00
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Drawing name: K:\13778.00 - Star Tower Hollywood - 1817 Taylor Street Development LLC\Landscape Architecture\CAD\13778.00-LL-101.dwg

**STATUS: PRELIMINARY**

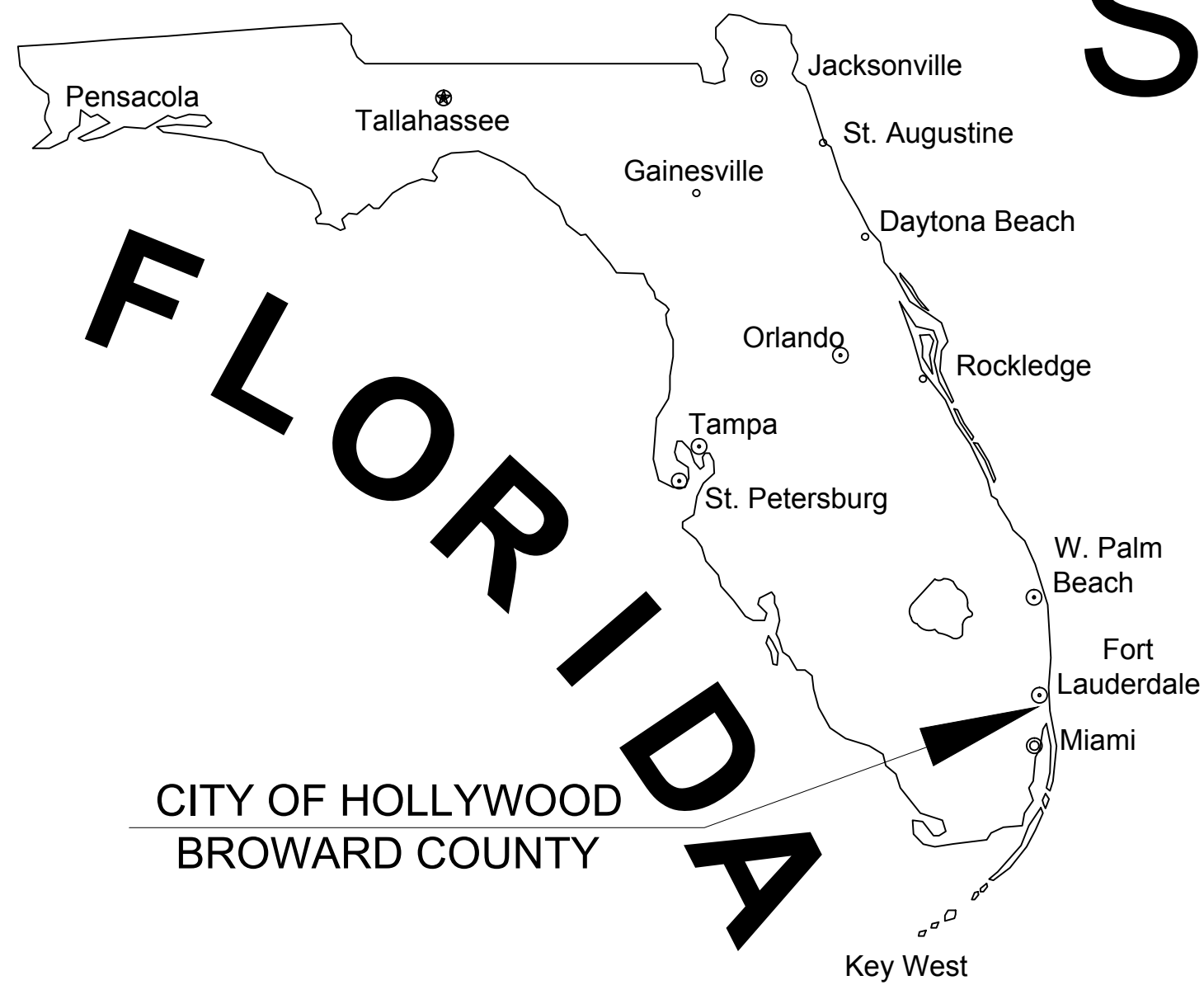
Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	0.01	0.1	0.0	N.A.	N.A.
WEST EGRESS	2.94	6.5	1.0	2.94	6.50
ON STREET PARKING	1.63	2.5	1.1	1.48	2.27





# STAR TOWER HOLLYWOOD

TAC SUBMITTAL: 07/03/2023  
TAC MEETING: 07/17/2023



410 NORTH FEDERAL HIGHWAY  
CITY OF HOLLYWOOD  
BROWARD COUNTY, FLORIDA

RELATIONSHIP BETWEEN  
NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.51 FEET	9.55'
NAVD 1988	-1.51 FEET	8.04

ALL ELEVATIONS SHOWN ON THESE PLANS ARE  
BASED ON NAVD 1988 DATUM

#### LAND DESCRIPTION:

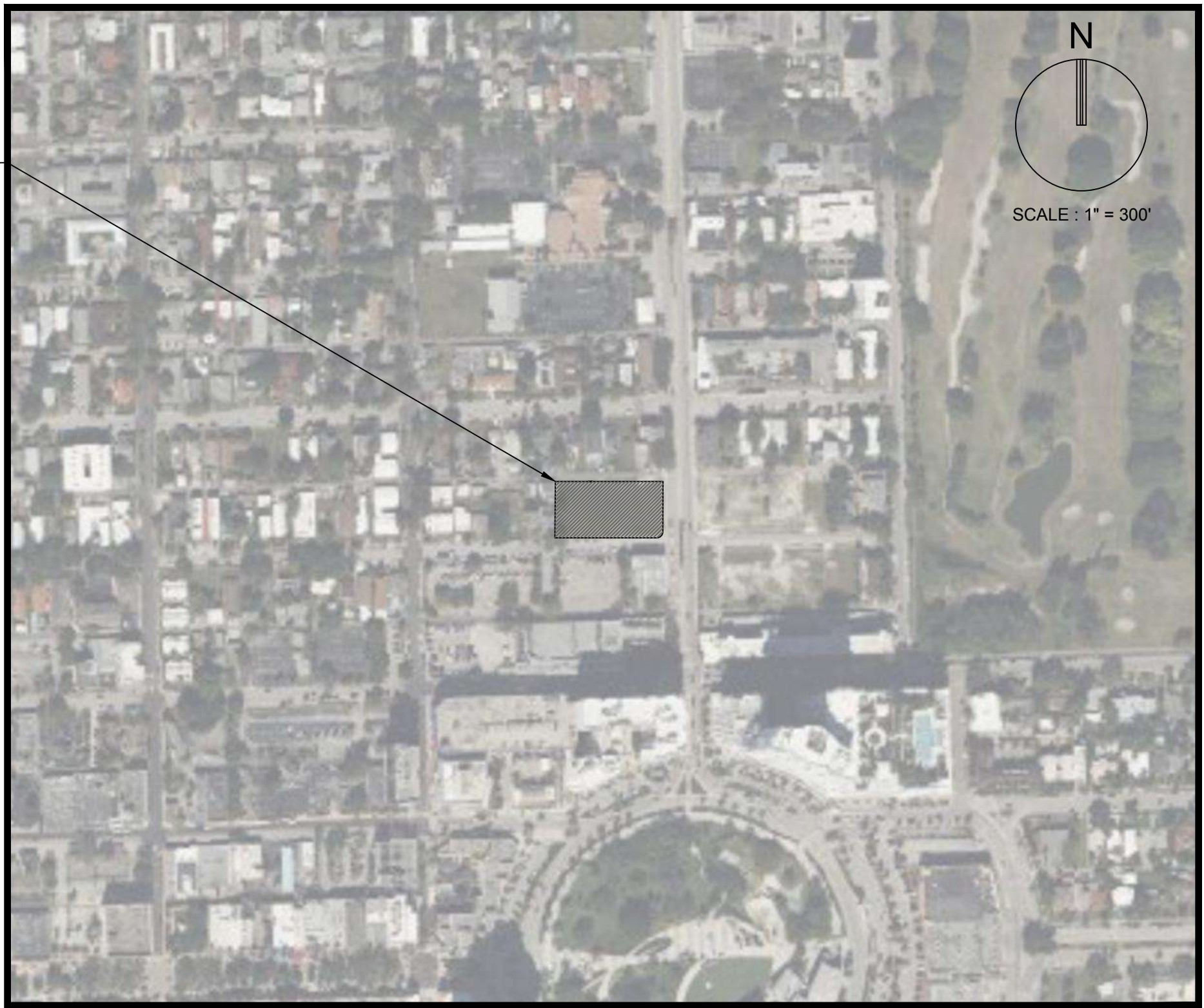
LOTS 9,10,11,12,13,14 AND 15 LESS THE EAST 15.00 FEET AND THAT  
PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.00 FOOT  
RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT  
15 AND TANGENT TO A LINE WHICH IS 15.00 FEET WEST OF AND  
PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN  
OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED  
IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD  
COUNTY, FLORIDA.

#### FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X,  
AS SHOWN ON F.I.R.M. NUM. 12011C0569H, BEARING A  
MAP EFFECTIVE DATE OF 08/18/2014.

THESE PLANS MAY HAVE BEEN  
REDUCED IN SIZE BY REPRODUCTION.  
THIS MUST BE CONSIDERED WHEN  
OBTAINING SCALED DATA.

#### SITE LOCATION



#### LOCATION MAP

SECTION 15, TOWNSHIP 51S, RANGE 42E  
FOLIO #5142-15-01-8240

#### INDEX OF SHEETS

SHEET IDENTIFICATION	SHEET TITLE
GI-000	COVER SHEET
GI-001	LEGEND AND ABBREVIATIONS
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
SP-101	SITE PLAN
SP-102	VEHICLE TRUCK TURN PLAN
CG-101	EROSION CONTROL PLAN
CG-501	EROSION CONTROL DETAILS
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-301	CROSS SECTIONS
CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101	WATER AND SEWER PLAN
CU-501 - CU-503	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501 - CM-502	PAVEMENT MARKING AND SIGNAGE DETAILS

PREPARED FOR: BC ARCHITECTS  
CLIENT: BC ARCHITECTS  
ADDRESS: 75 VALENCIA AVENUE, STE.1000  
CORAL GABLES, FL 33134



PROJECT No. 13778.00  
07/03/2023

THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)






Drawing name: K:\13778.00 - Star Tower Hollywood - 1817 Taylor Street Development LLC\Engineering\Cadd\13778.00 GI-0XX.dwg



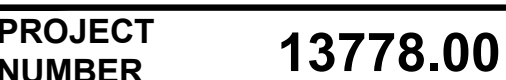
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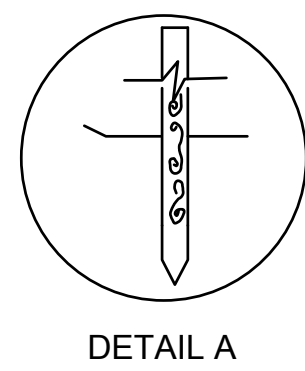
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## BID-CONTRACT:



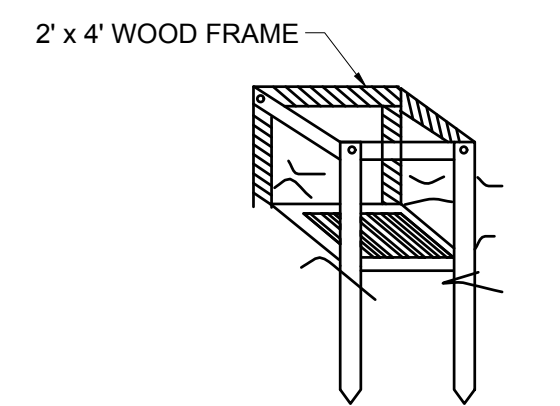
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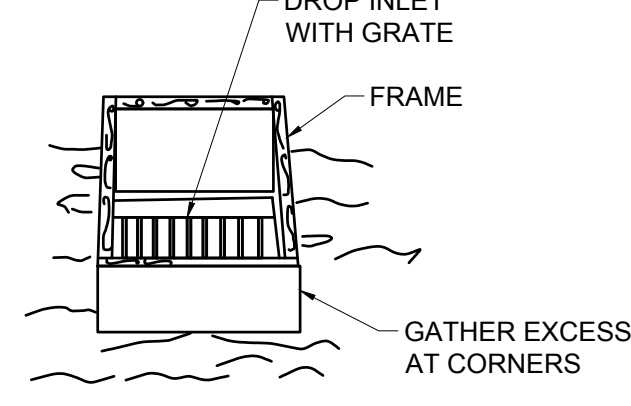


### ELEVATION OF STAKE AND FABRIC ORIENTATION

### DETAIL A

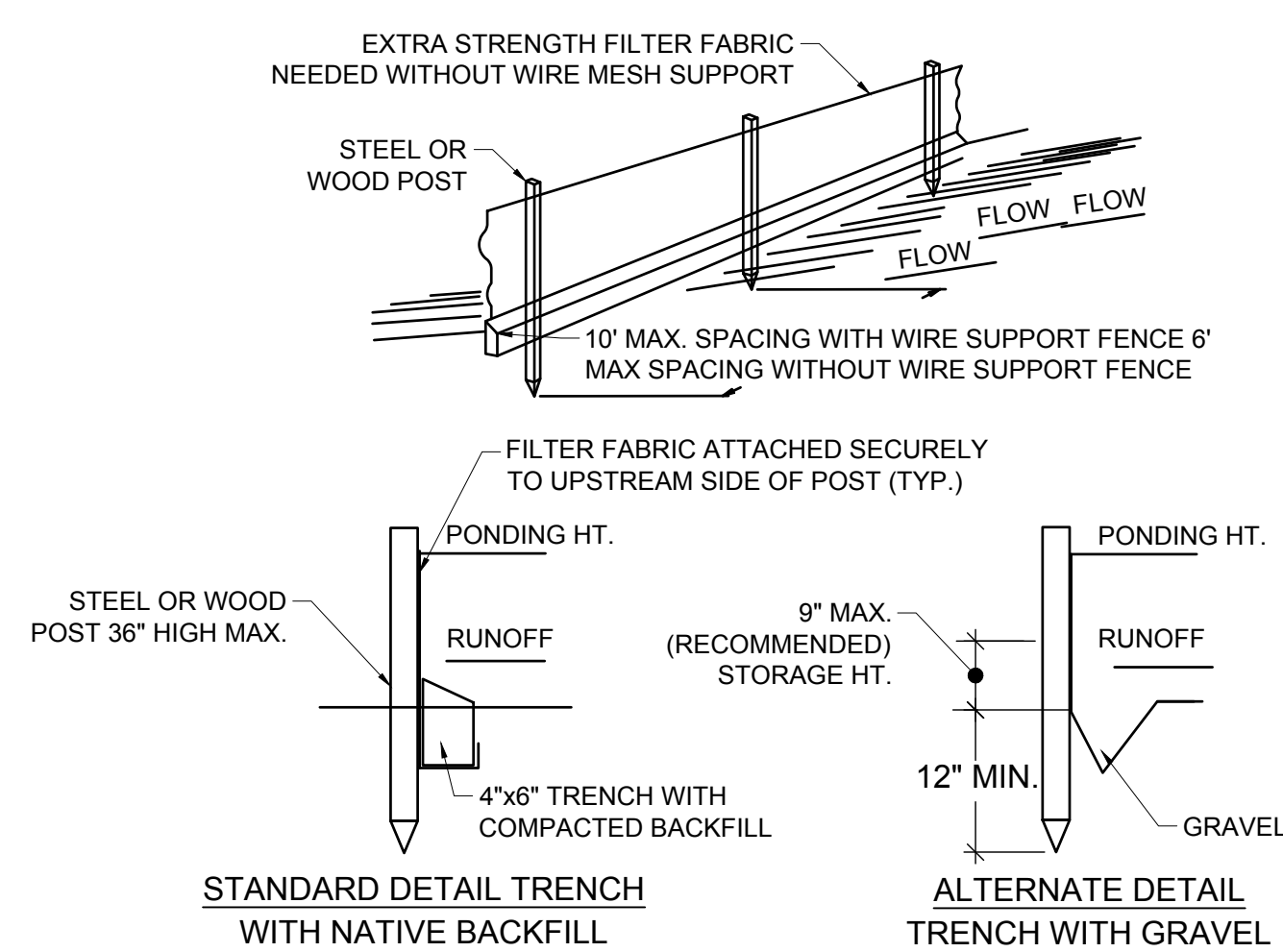


PERSPECTIVE VIEW

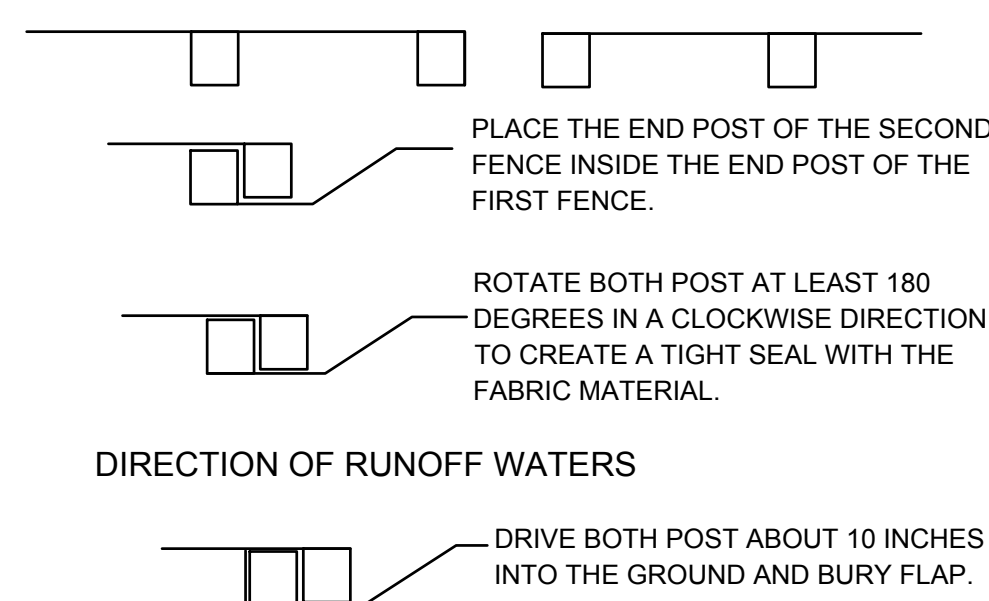


## SPECIFIC APPLICATION

FILTER FABRIC  
DROP INLET SEDIMENT FILTER

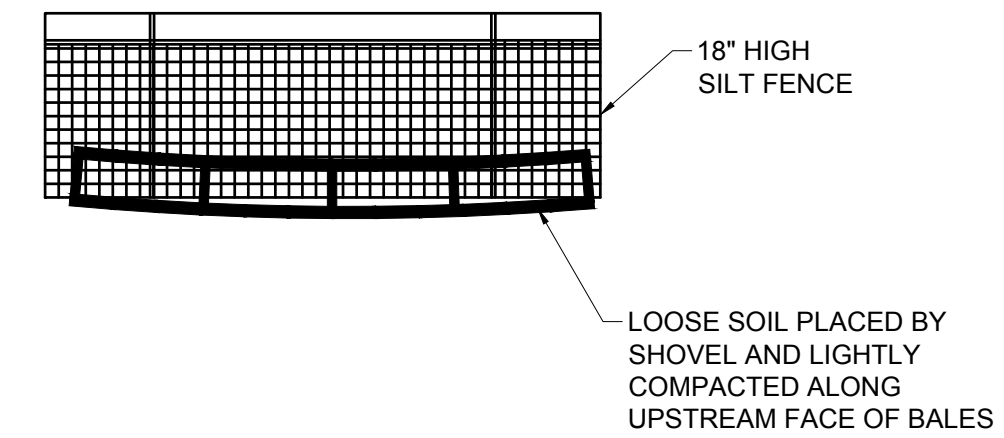


SILT FENCE



NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

## ATTACHING TWO SILT FENCES

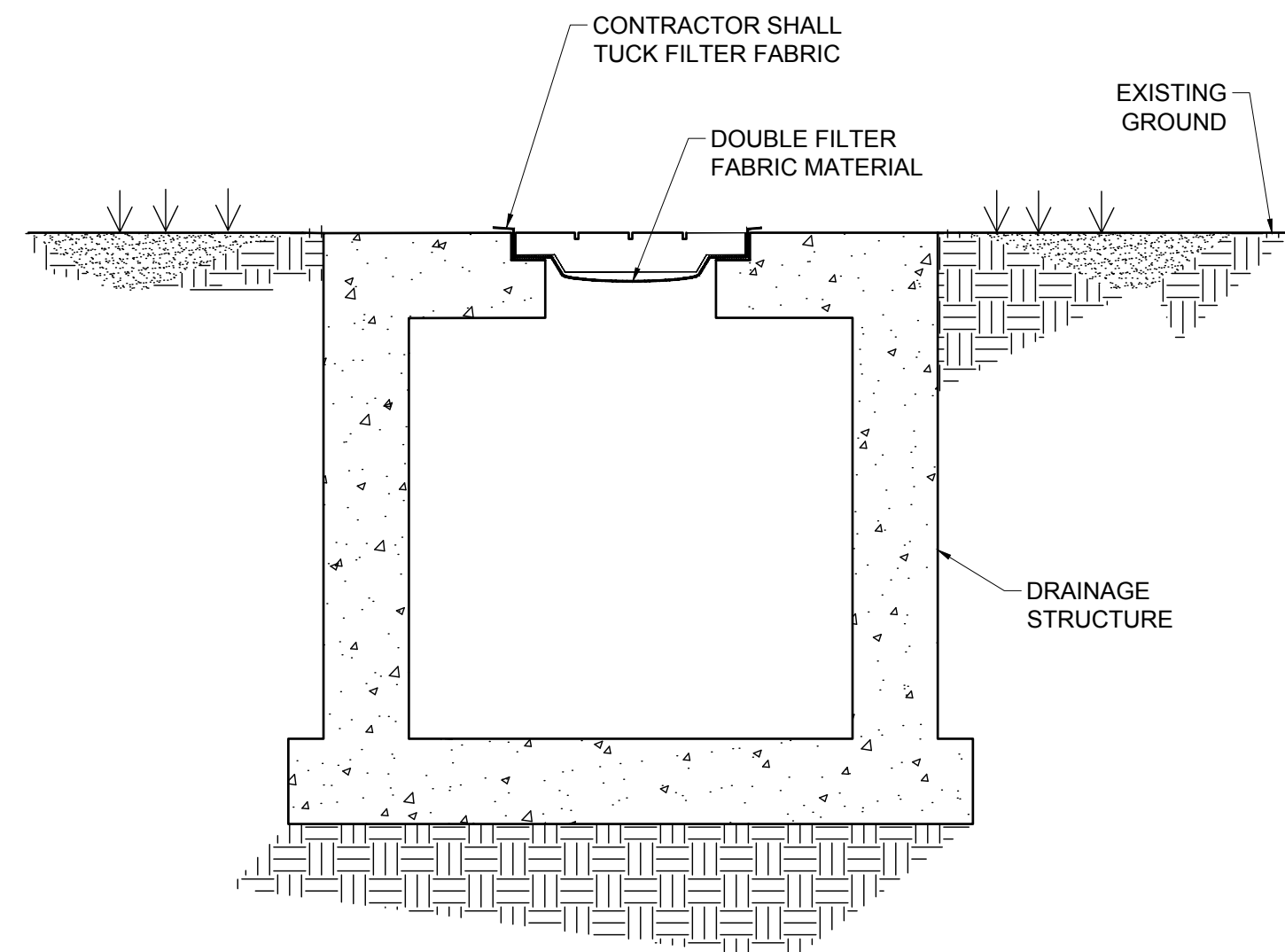


**NOTES:**

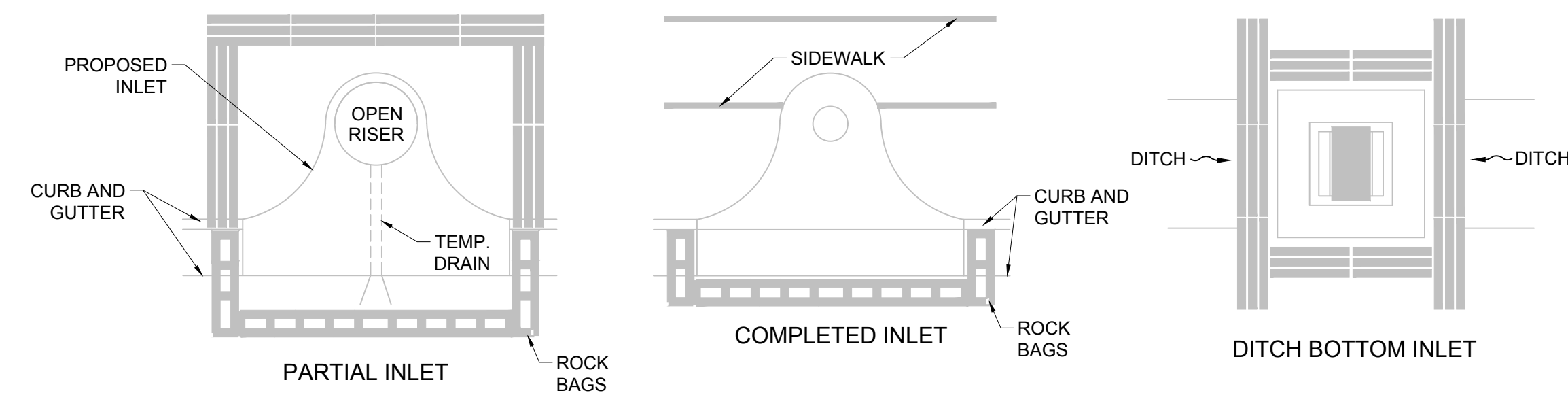
1. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING COURSES. SILT FENCES ARE TO BE PLACED AT UPLAND LOCATIONS.
2. BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER, CITY, BCEPD, NSID OR SFWMD.
3. WHERE THE SILT FENCE IS USED AS SLOPE PROTECTION, IT IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

### BALES BACKED BY SILT FENCE

1. SILT FENCE AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND BE MAINTAINED AT ALL LOCATIONS SHOWN IN THE DRAWING UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN.
2. CONTRACTOR SHALL SUBMIT SCHEDULE FOR THE INSTALLATION, INSPECTION AND MAINTENANCE THE EROSION CONTROLS FEATURES AS SHOWN IN THE DRAWINGS OR AS DIRECTED BY THE DESIGN ENGINEER. THE SCHEDULE SHALL SPECIFICALLY INCLUDE THE SEASON OF YEAR FOR CLEARING, EARTHWORK OPERATIONS, AND WHEN THE EROSION CONTROL FEATURE WILL BE INSTALLED, INSPECTED, AND MAINTAINED. IT SHALL ALSO INCLUDE METHODS TO PREVENT POLLUTION OF STREAM, LAKES, TIDAL WATERS, CANALS, AND IMPOUNDMENTS. ESTABLISHED.



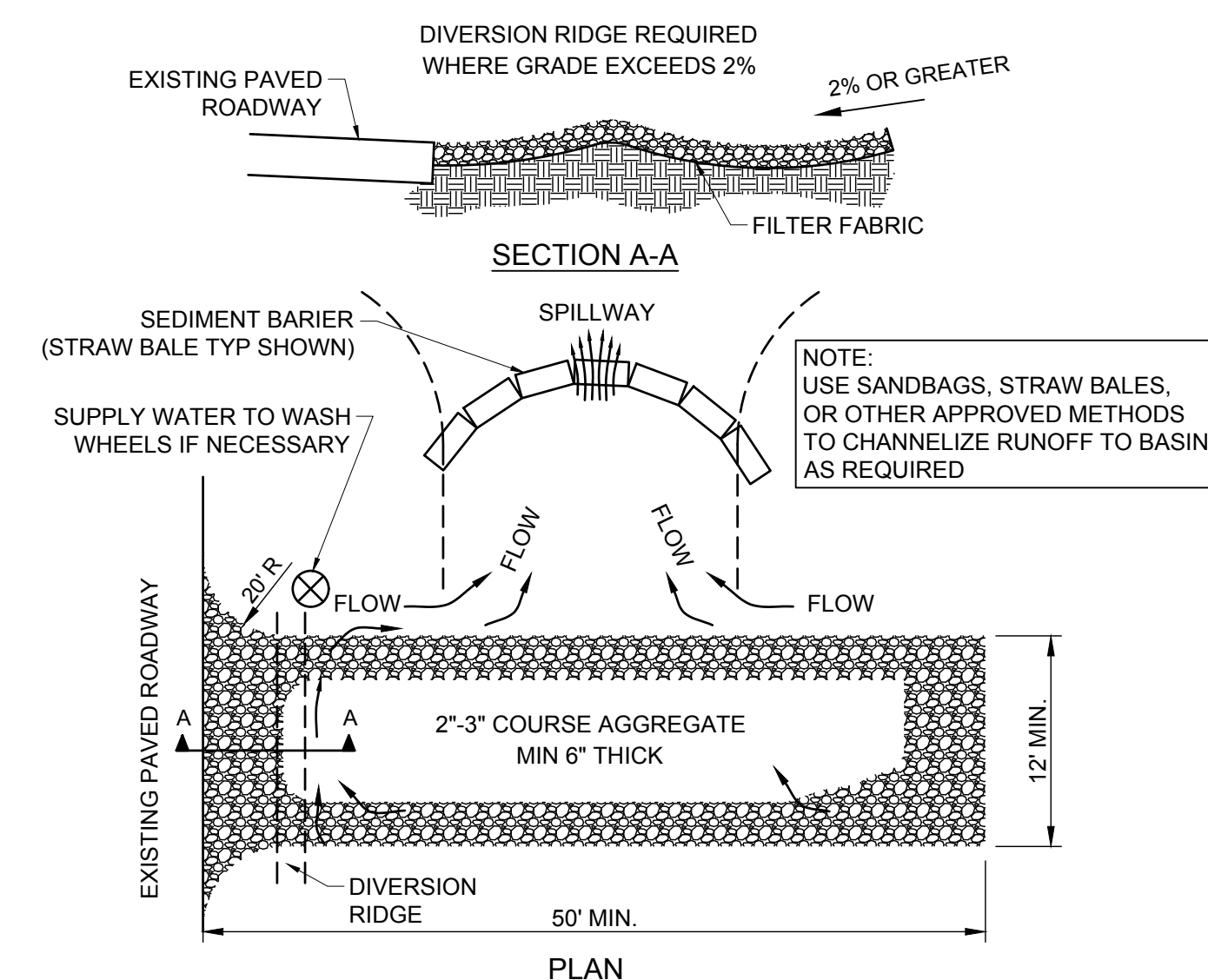
### INLET / MANHOLE PROTECTION DETAIL



**NOTE:**

1. ANCHOR BALES WITH 2 STAKES PER BALE.
2. WHEN USED IN CONJUNCTION WITH A SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

## PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT.	2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
	3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

## TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

[illegible]

**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**

**THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.**

**RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.**

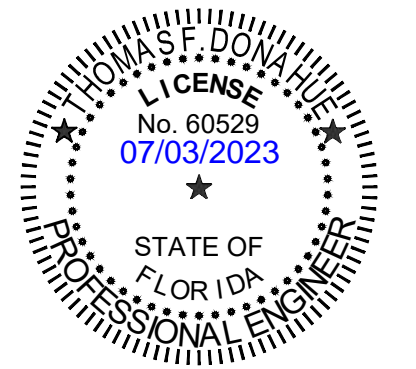
ISSUE DATE:	07/03/2023
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DESIGNED BY:	VAC
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DRAWN BY:	VAC
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CHECKED BY:	CM
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<b>BID-CONTRACT:</b>
----------------------



**THOMAS F. DONAHUE, P.E.**  
**FLORIDA REG. NO. 60529**  
**(FOR THE FIRM)**

## CLIENT

**1817 TAYLOR  
DEVELOPMENT LLC**

PROJECT	
---------	--

**STAR TOWER  
HOLLYWOOD**

**SHEET TITLE**

## EROSION CONTROL DETAILS

**SHEET**  
**NUMBER** **CG-501**

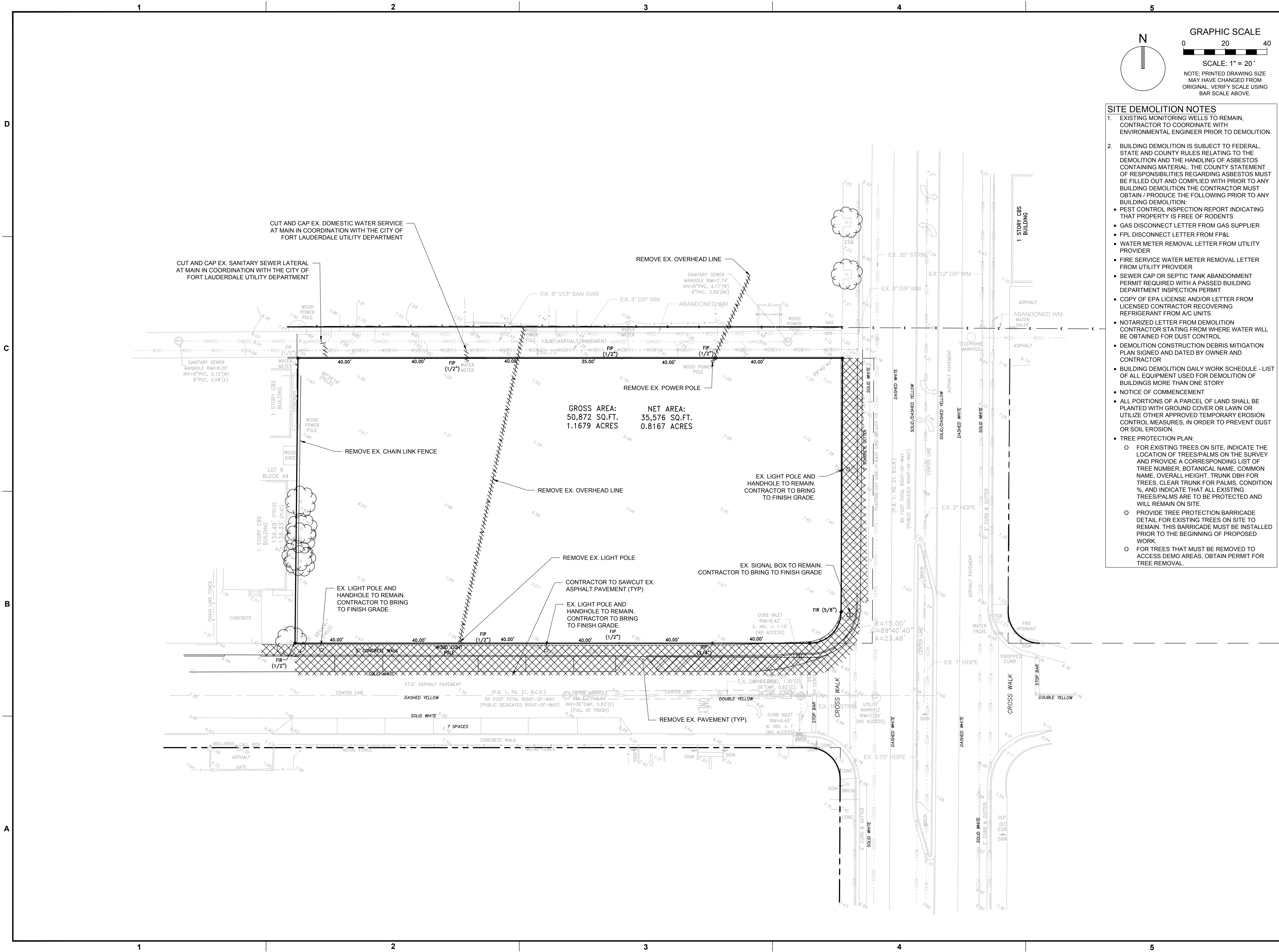
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Plotted by: vcastillo On 7/3/2023 4:13 PM

Drawing name: K:\13778.00 - Star Tower Hollywood - 1817 Taylor Street Development LLC\Engineering\Cadd\13778.00 CG-501.dwg

**STATUS: PRELIMINARY**





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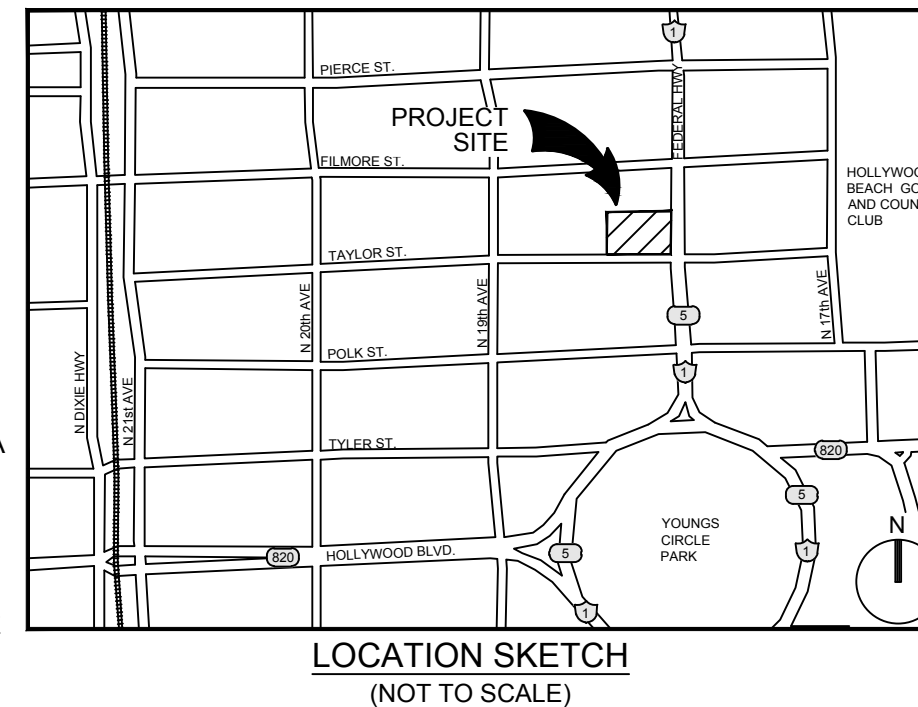
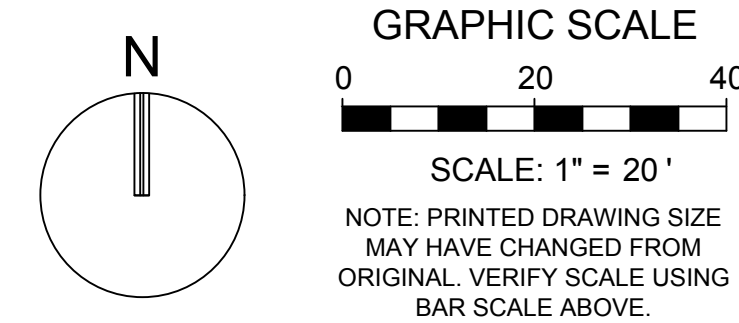
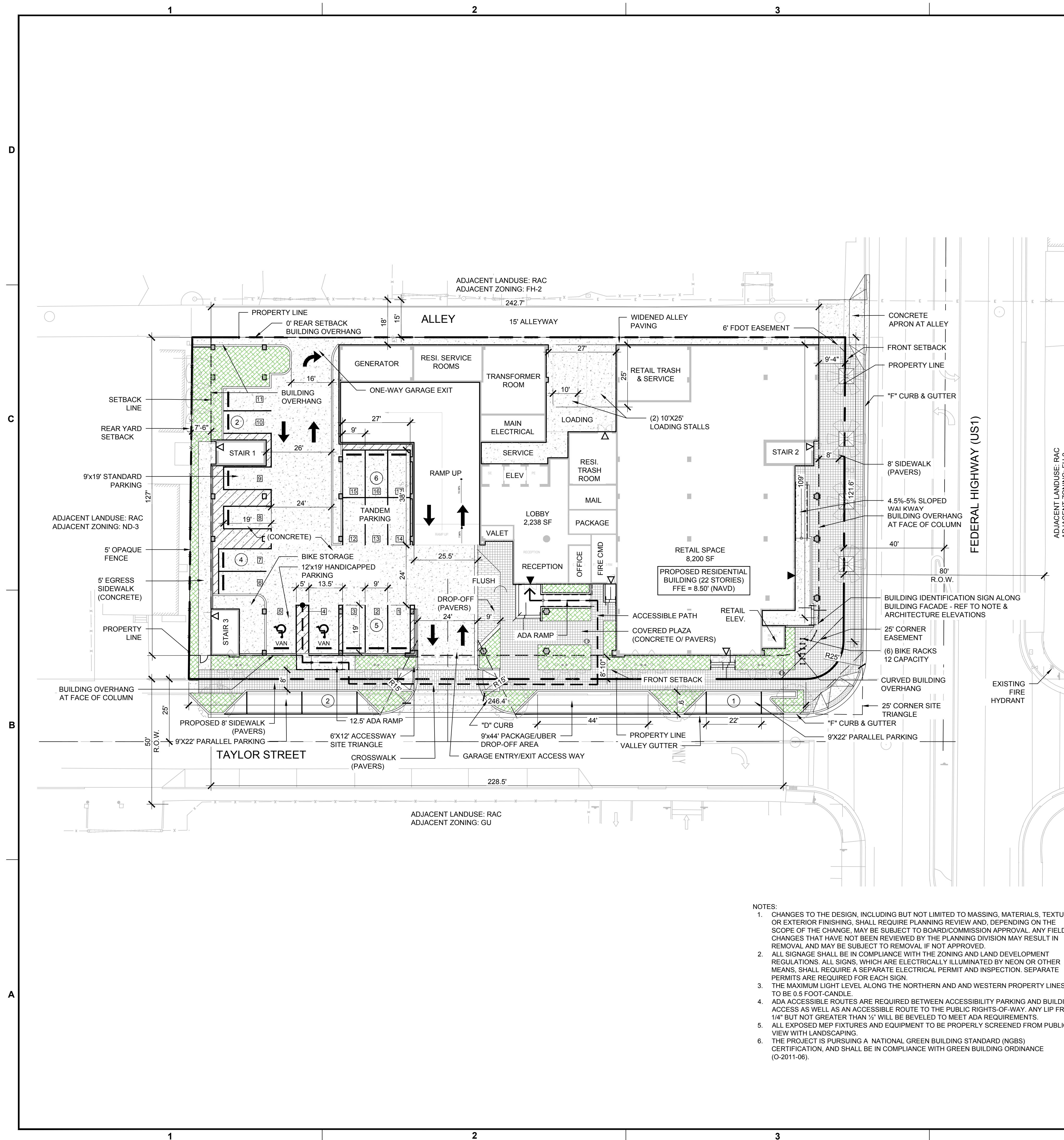
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### LEGAL DESCRIPTION

LOTS 9, 10, 11, 12, 13, 14 AND 15 LESS THE EAST 15.0 FEET AND THAT PART INCLUDED IN THE EXTERNAL AREA FORMED BY A 15.0 FOOT RADIUS ARC WHICH IS TANGENT TO THE SOUTH LINE OF SAID LOT 15 AND TANGENT TO A LINE WHICH IS 15.0 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 15, BLOCK 44, OF "TOWN OF HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

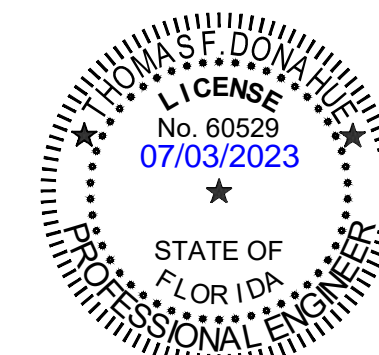
<b>SITE DATA</b>			
<b>PROPOSED</b>			
<b>PROJECT ADDRESS</b>		410 N. Federal Hwy, Hollywood, FL 33020	
<b>FOLIO No.</b>		5142-15-01-8240	
1. ZONING	PD		
2. EXISTING LAND USE	RAC		
3. LAND AREA	TOTAL TRACT TAYLOR ST. R/W US 1 FEDERAL HWY R/W SERVICE ALLEY R/W	35,576 SF  13,272 SF 2,024 SF	0.816 AC   
GROSS LOT AREA		50,872 SF	1.17 AC
	REQUIRED	PREVIOUSLY APPROVED	PROVIDED
4. DENSITY		115 DU/AC 134 UNITS	212 DU/AC 248 UNITS
5. BUILDING HEIGHT		51'-11"	224'-0"
6. NUMBER OF STORIES		17	22
7. UNIT SIZE MINIMUM		525 SF	492 S.F.
8. UNIT SIZE AVERAGE		891.5 SF	915 SF
9. PARKING - SEE BELOW			
	STUDIO (32) @1	32	32
	1 BED UNIT (122) @1	122	122
	2 BED UNIT (64) @1.5	96	96
	3 BED UNIT (30) @1.5	45	45
	GUEST @1 SP/5 UNITS	50	50
	TOTAL UNITS (248)		
	TOTAL UNIT PARKING	295	345
	HOA OFFICE	355 SF	3
	RETAIL: 8,200 @ 250 SF/SPACE:	33	53
	FIRST FLOOR (LOBBY & OFFICE)	2,238 SF	34 35 (INCLUDED)
	ADDITIONAL PARKING	N/A	0
	HANDICAP (12'x9')	8	7 (INCLUDED) 8 (INCLUDED)
	TANDEM		6
	TOTAL PARKING		378 398
	LOADING BAYS (10'x25')		
10. SET BACK REQUIREMENTS			
MINIMUM SET BACK			
EXTERNAL ( SOUTH SIDE - TAYLOR ST)	BASE	< 25'	2'-29'
	TOWER		8'-10'
REAR YARD ( 15' ALLEY)	BASE	0'	53', 47' at Balcony 0'
	TOWER		11'-6, "10" at Balcon 0'
EXTERNAL (EAST SIDE - US 1)	BASE	< 25'	10'-0" 9'-4"
	TOWER		10'-1.5", 3'-1" at Balcon 7'-6"
REAR YARD (WEST SIDE)	BASE	0'	0' 7'-6"
	TOWER		7'-6"
11. PERVIOUS AREA		1,220 SF - 3.4%	1,498 SF - 4.20%
12. IMPERVIOUS AREA		34,336 SF - 96%	34,078 SF - 95.78%
13. PUBLIC OPEN SPACE		5,211 SF - 14.6%	6,807.21 SF - 19.13%
COVERED PUBLIC OPEN SPACE		5,801 SF - 16.3%	2,323.43 SF - 6.53%
TOTAL AREAS		11,012 SF - 30.9%	9130.64 SF - 25.67%

[illegible]

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**

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RESPONSIBILITY FOR THE USE OF THESE  
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ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.



PAUL H. WEINBERG, PLA  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

CLIENT

**1817 TAYLOR  
DEVELOPMENT LLC**

PROJECT

STAR TOWER  
HOLLYWOOD

**SHEET TITLE**

**SITE PLAN**

SHEET NUMBER	SP-101
PROJECT NUMBER	13778.00

**STATUS: PRELIMINARY**

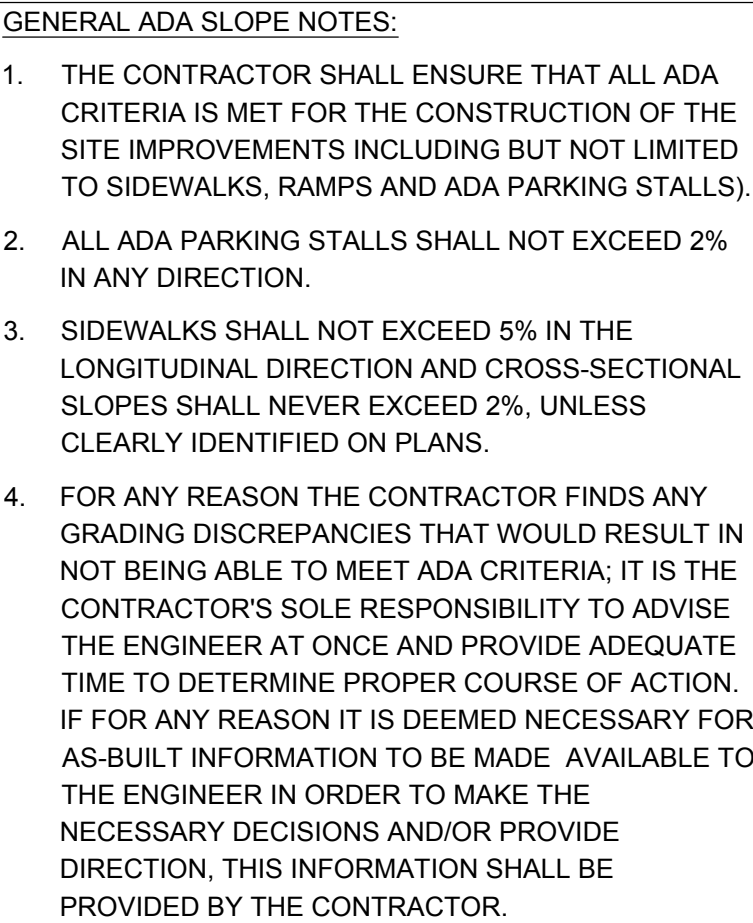
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Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC26000457

[illegible]

**THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.**

ISSUE DATE:	XX/XX/20
DESIGNED BY:	XXX
DRAWN BY:	XXX
CHECKED BY:	XXX
BID-CONTRACT:	



**1817 TAYLOR  
DEVELOPMENT LLC**

## STAR TOWER HOLLYWOOD

# PAVING, GRADING AND DRAINAGE PLAN

PROJECT NUMBER	13778.00
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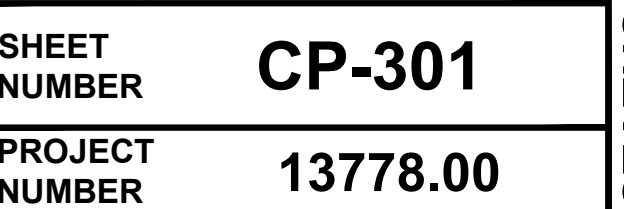
**NOTE:**  
ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON  
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**STATUS: PRELIMINARY**





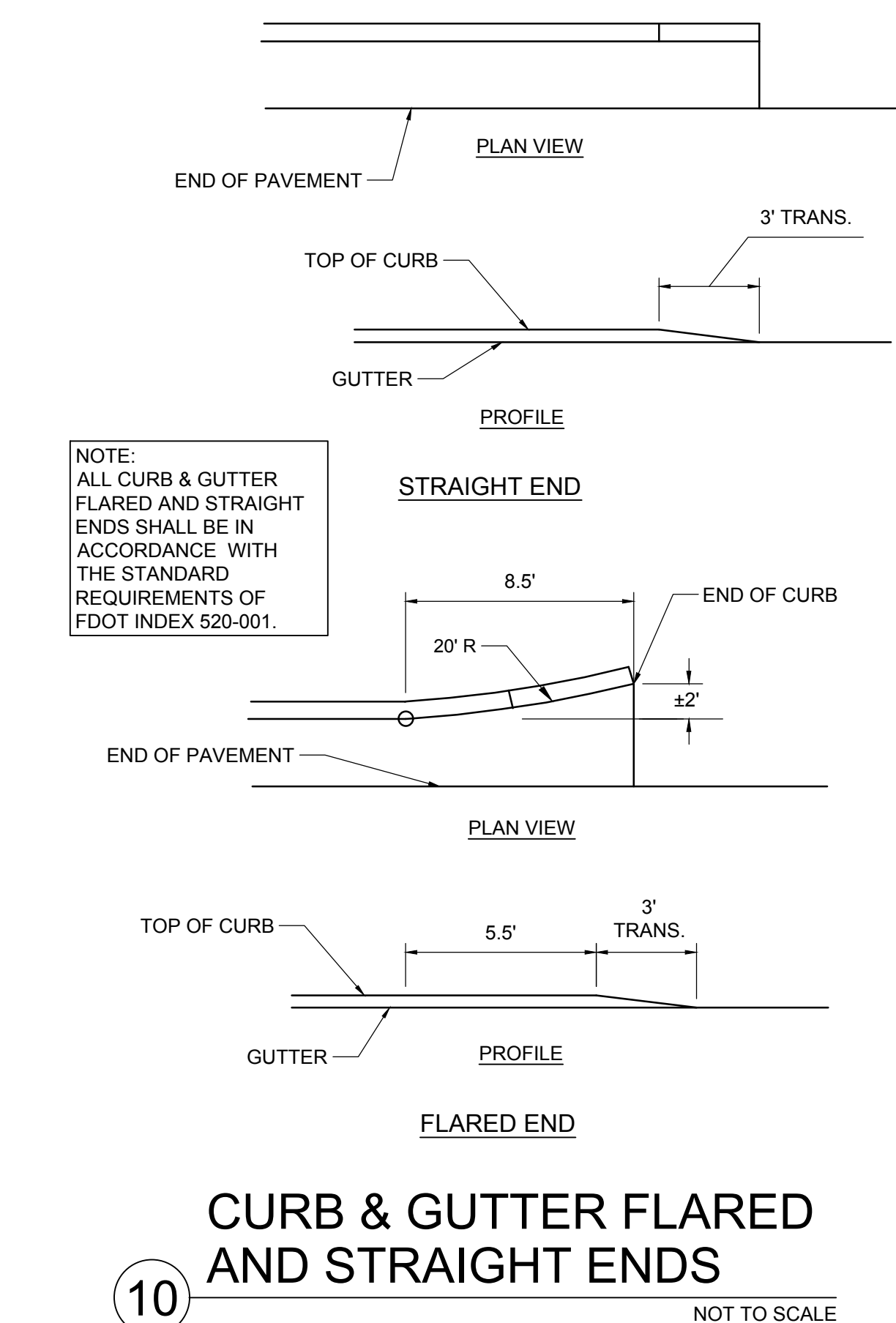
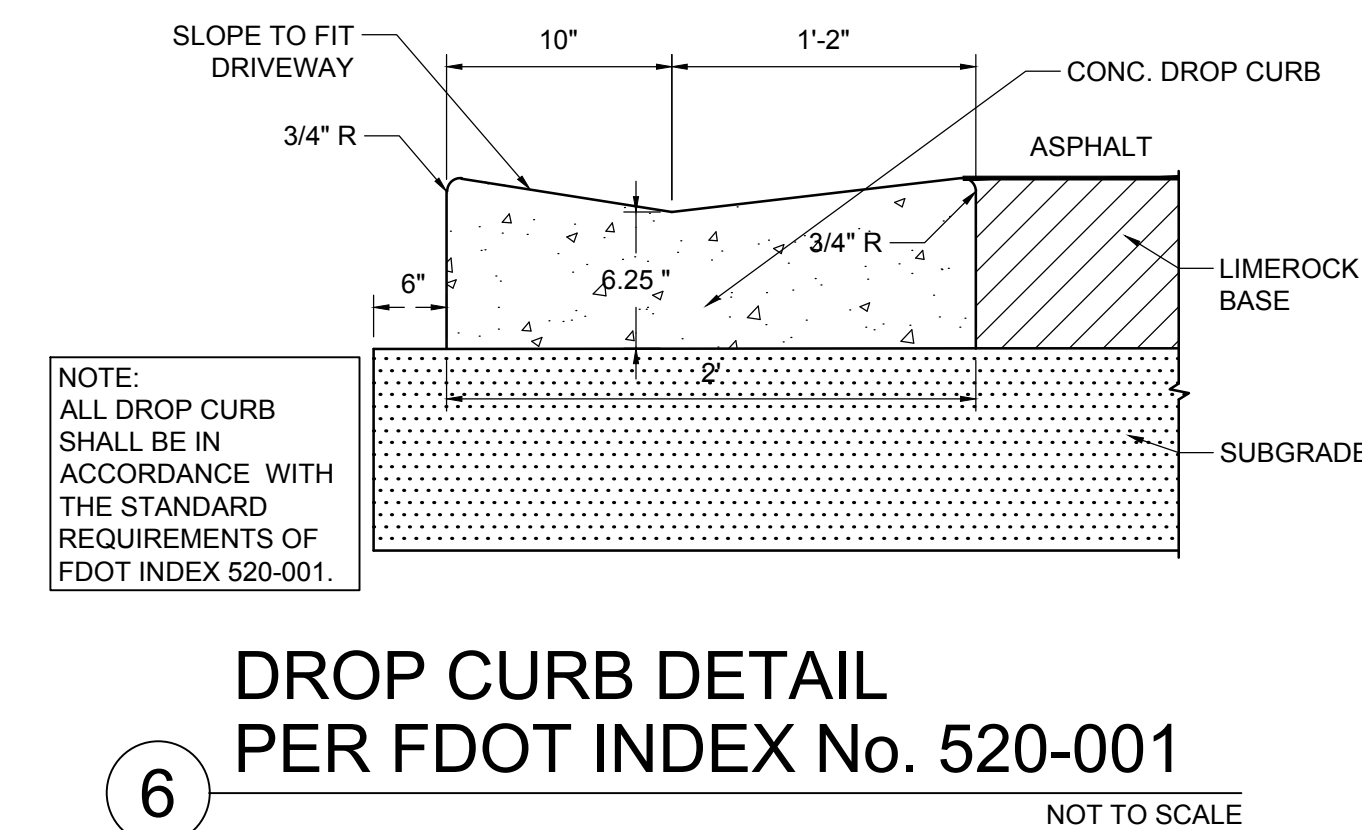
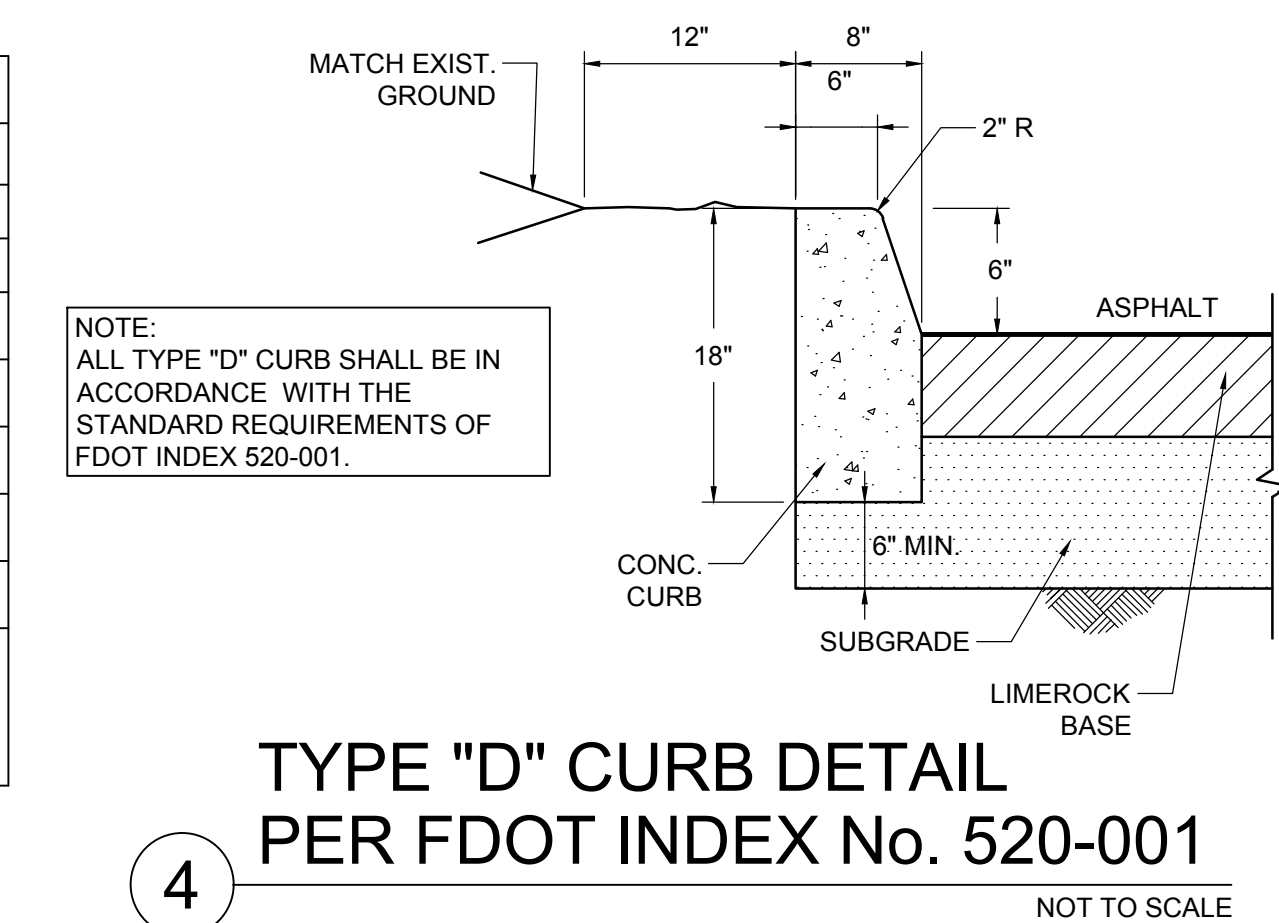
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**STATUS: PRELIMINARY**





## 33 COMPACTION TEST SCHEDULE



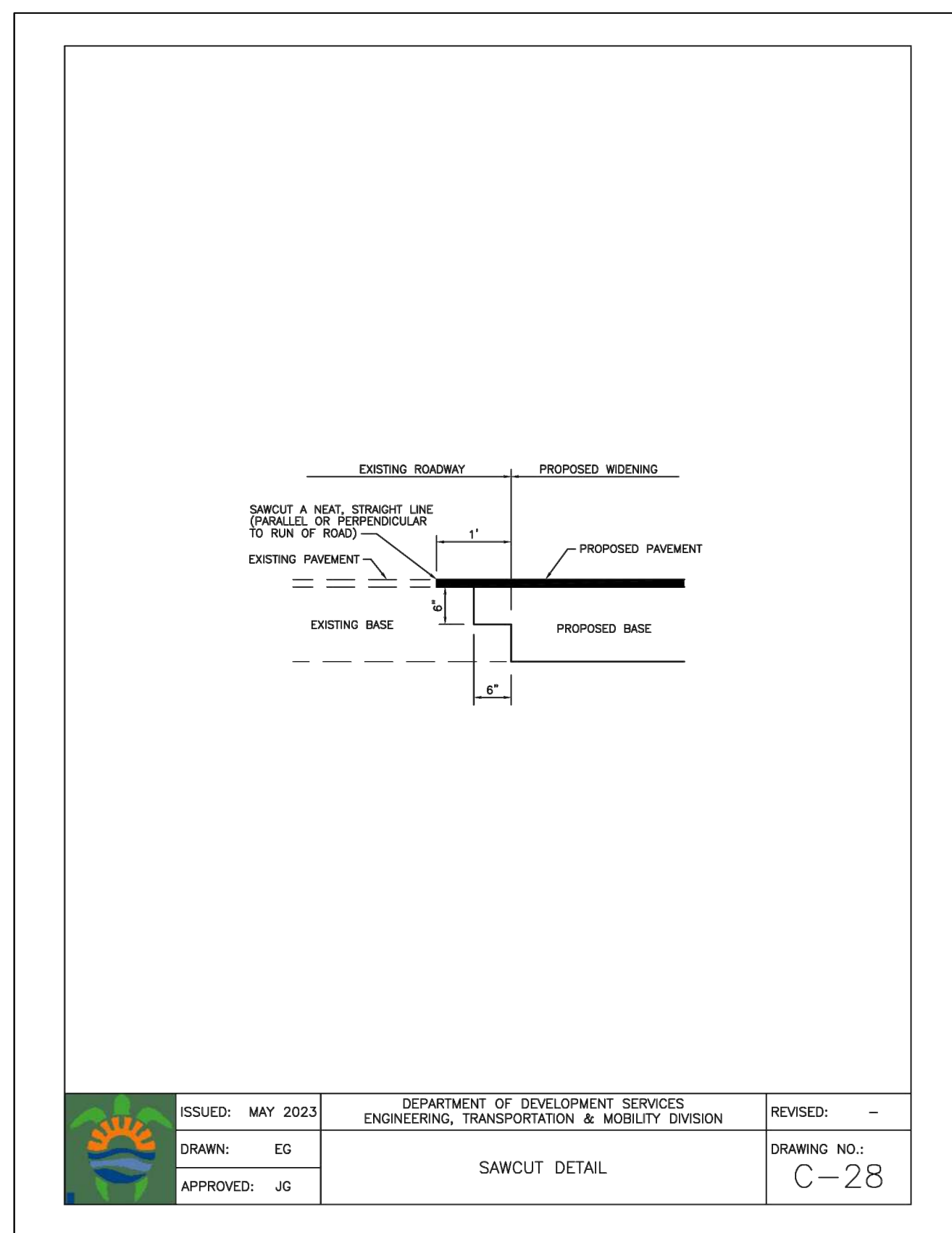
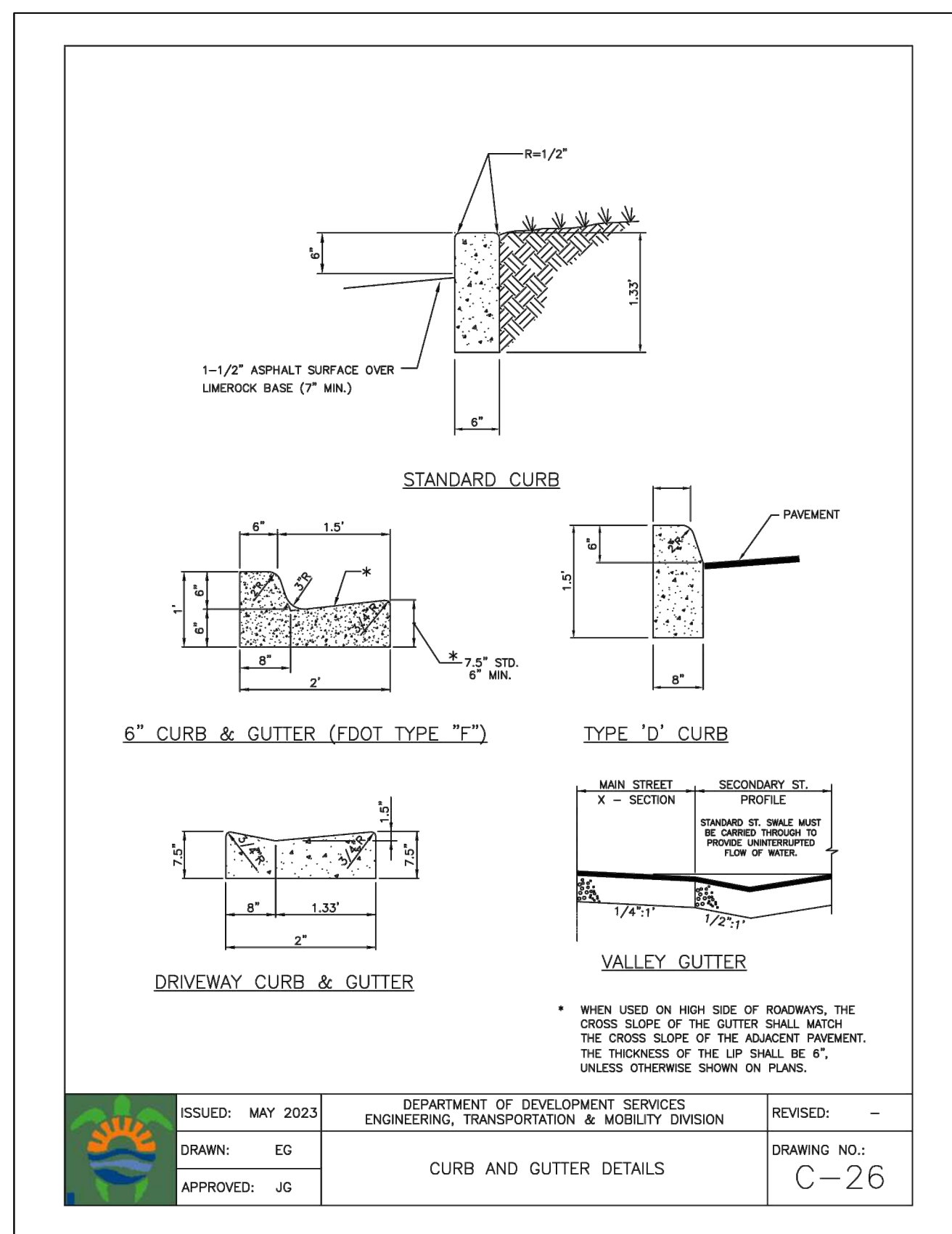
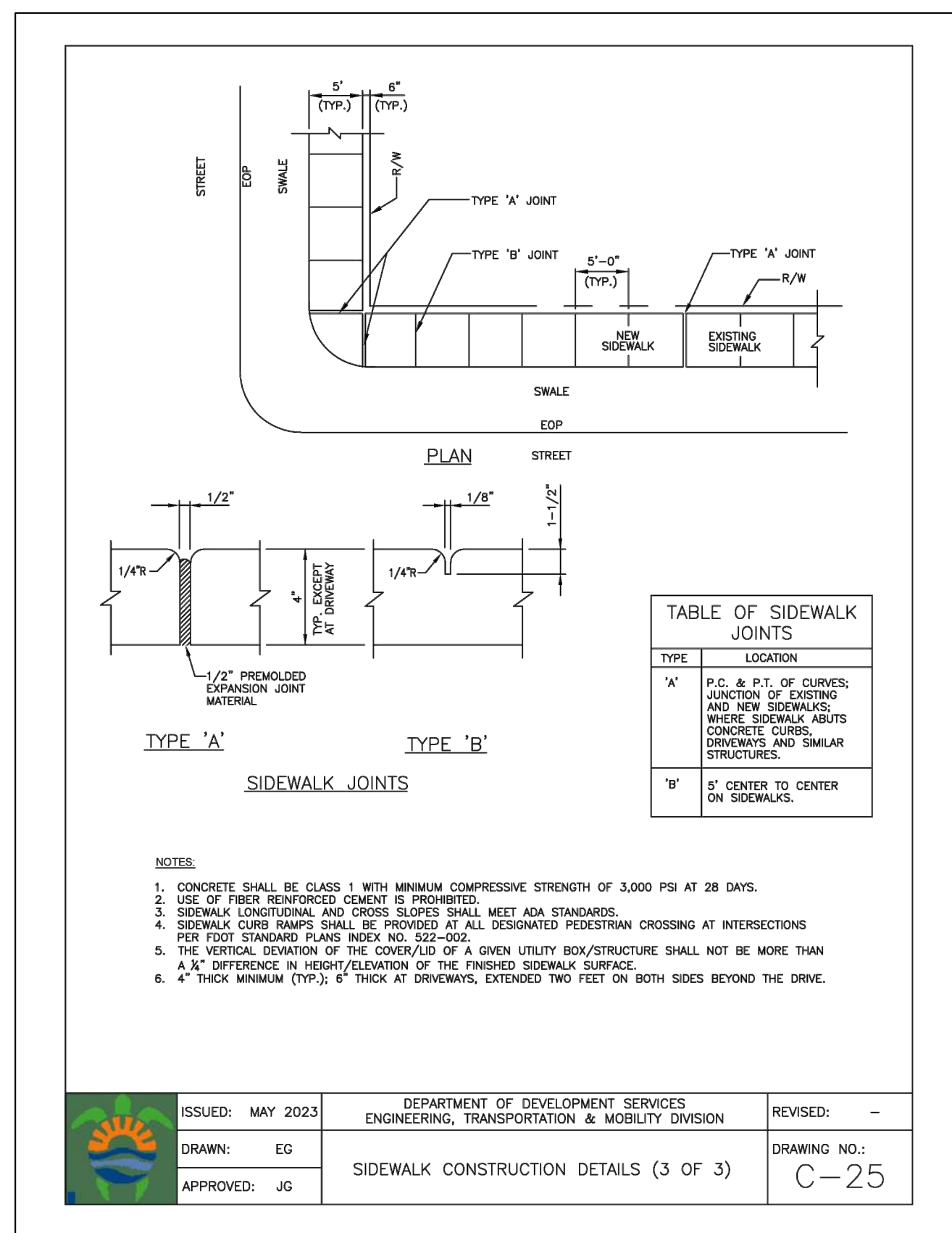
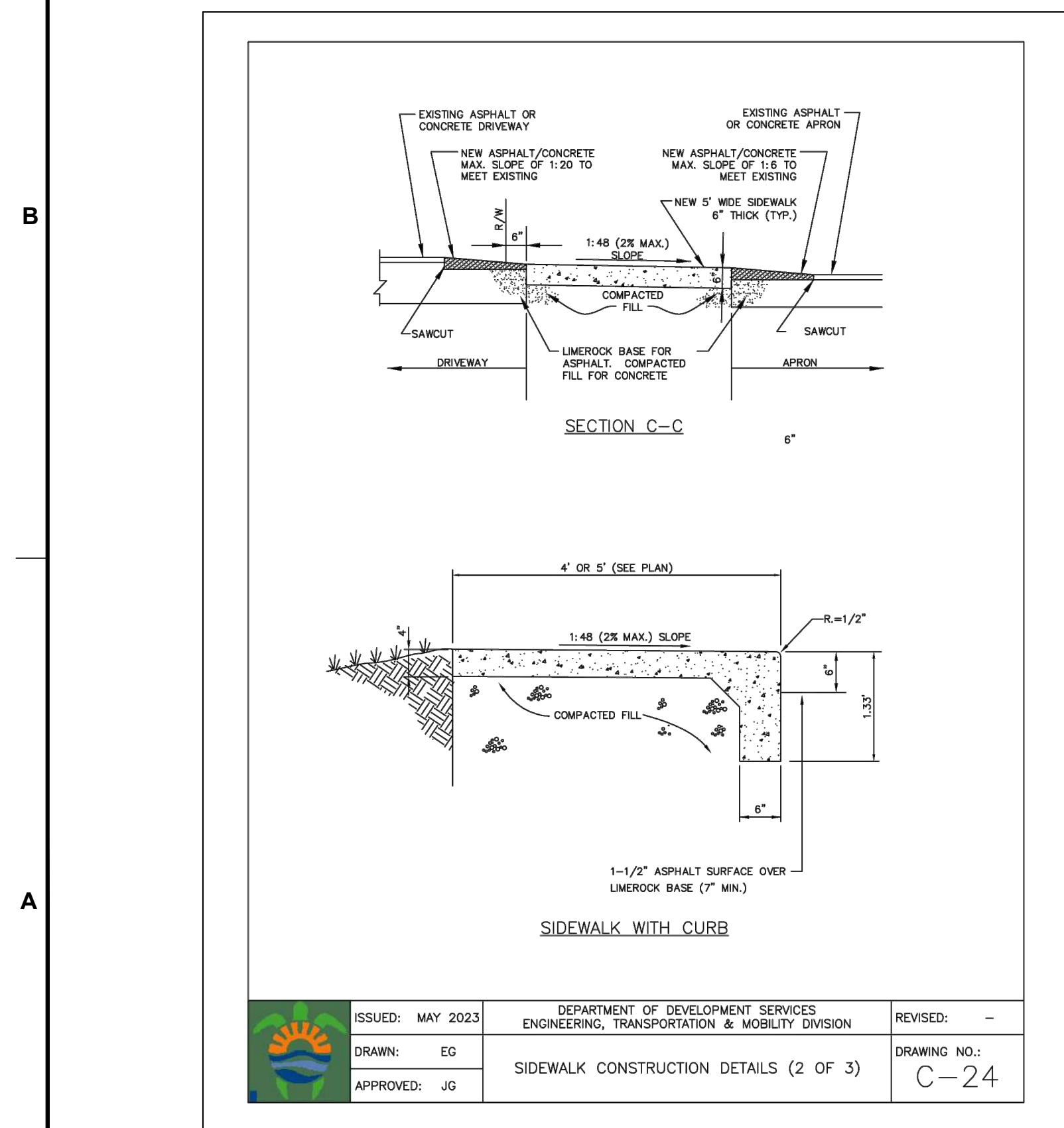
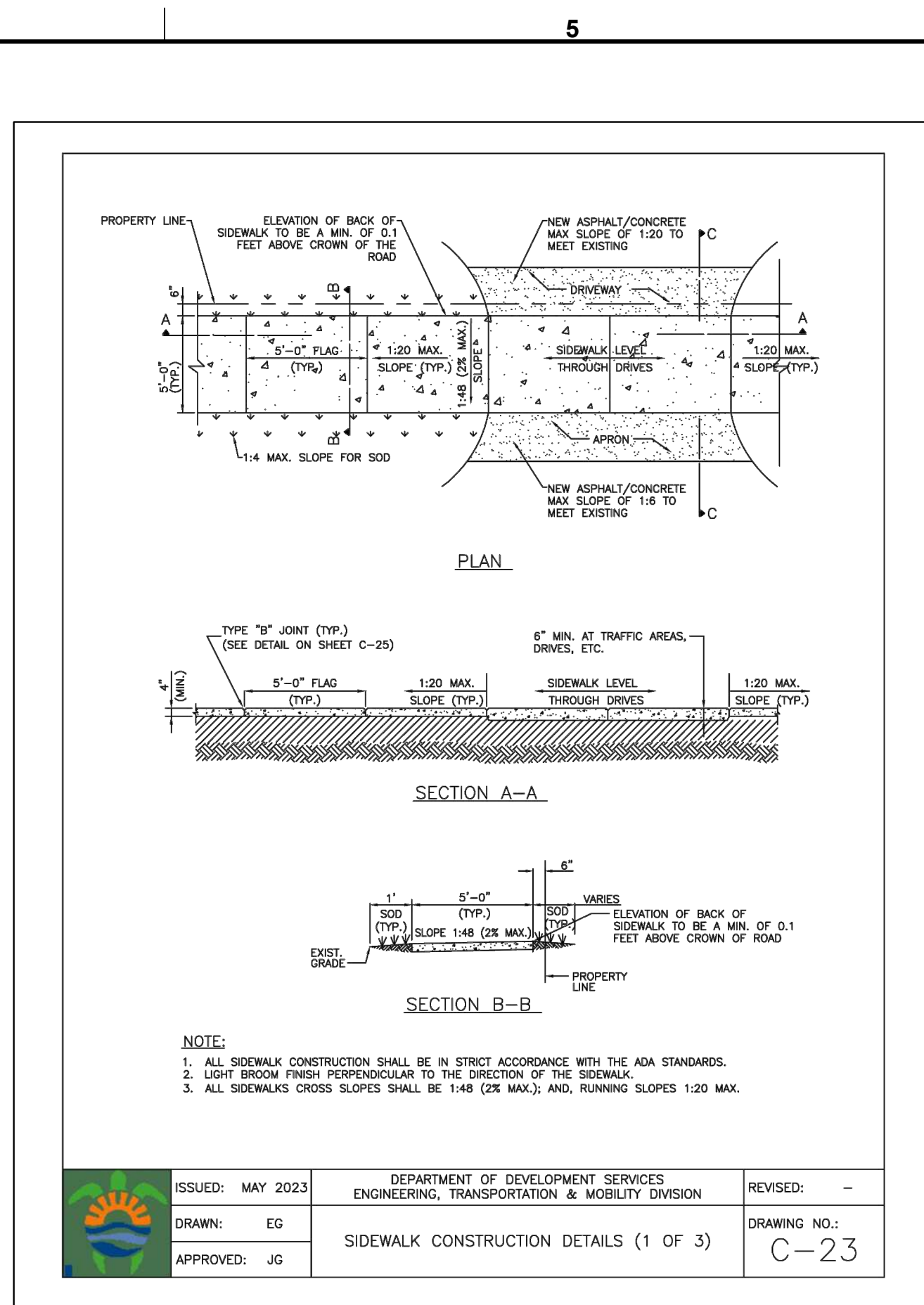
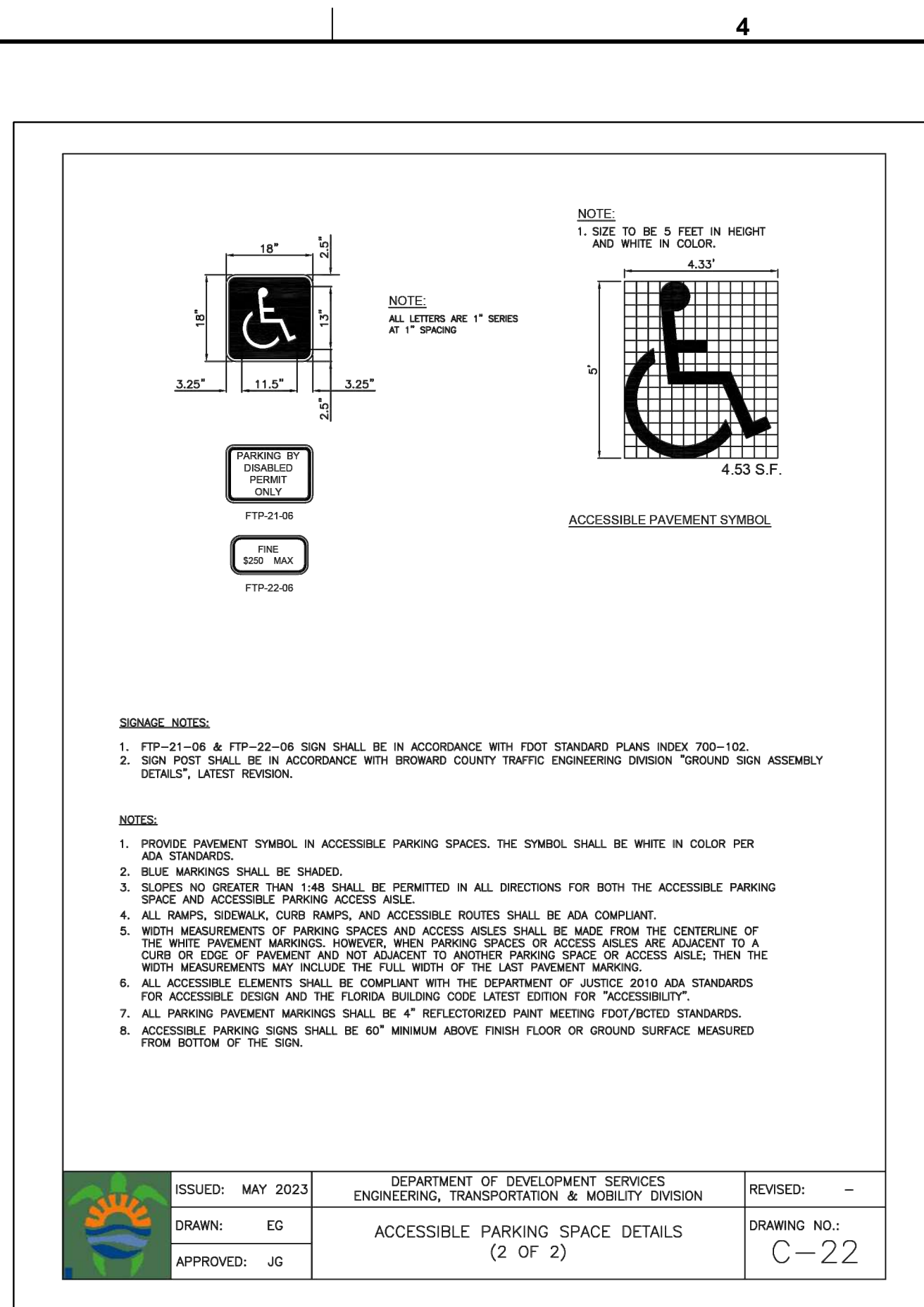
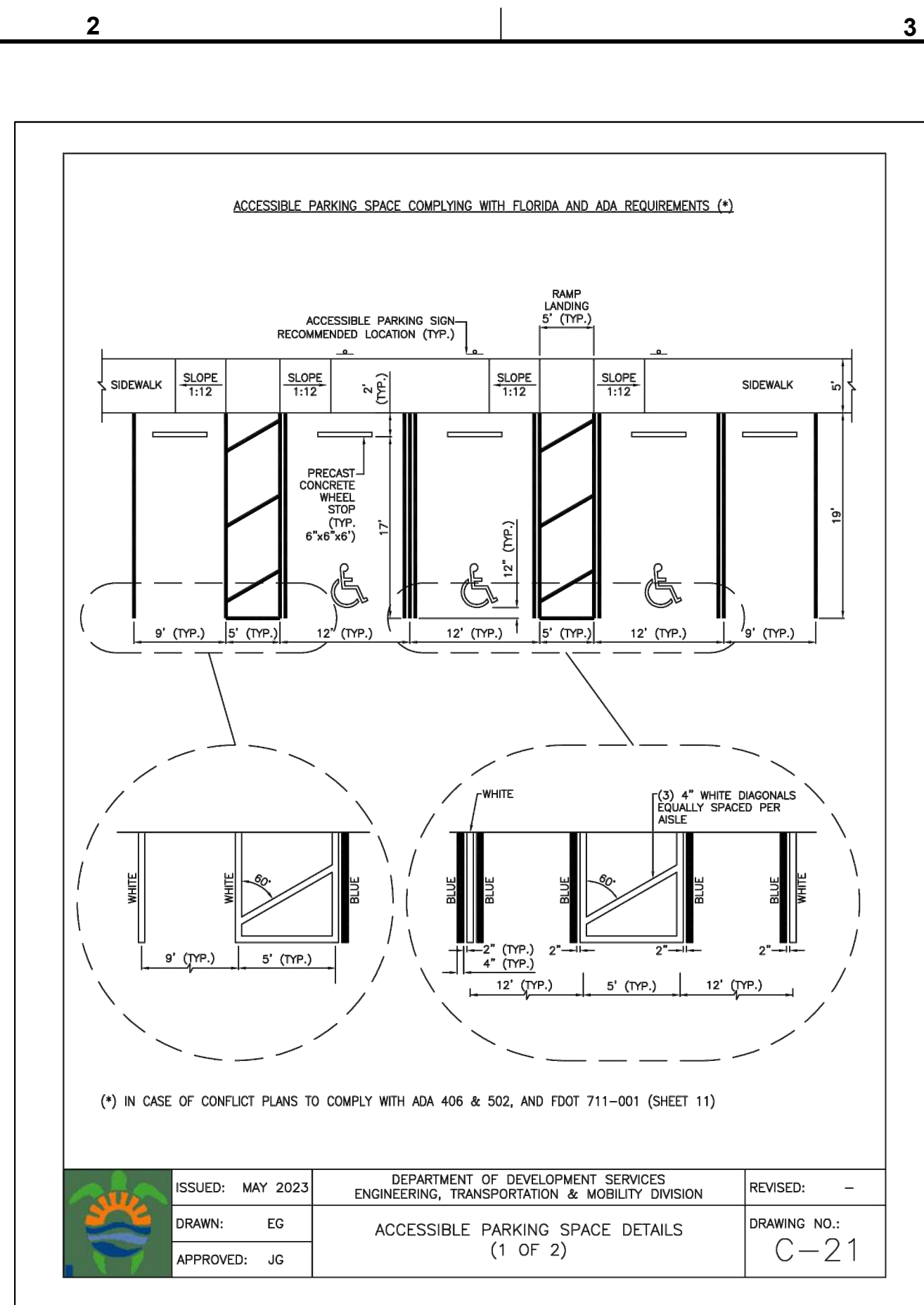
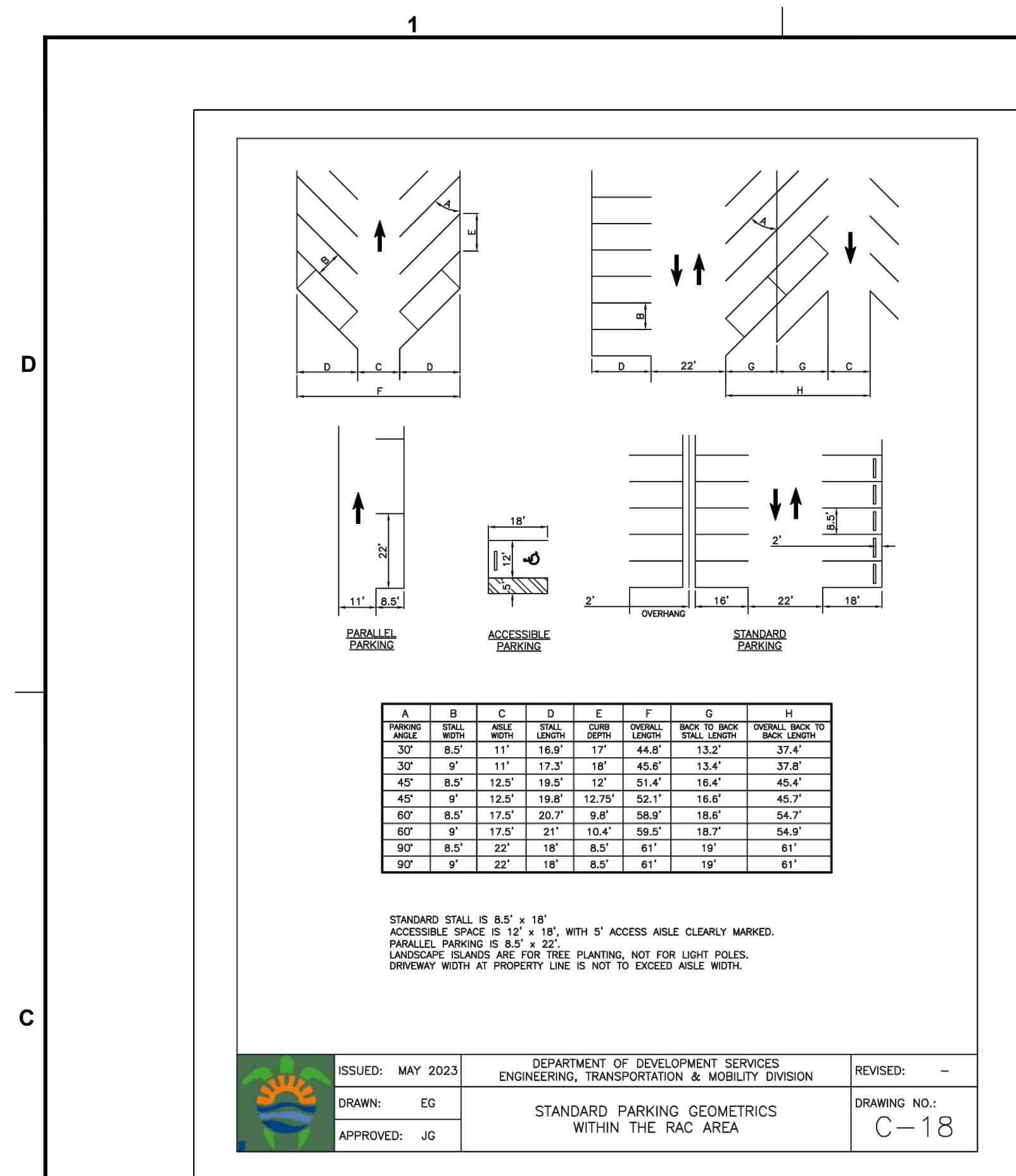




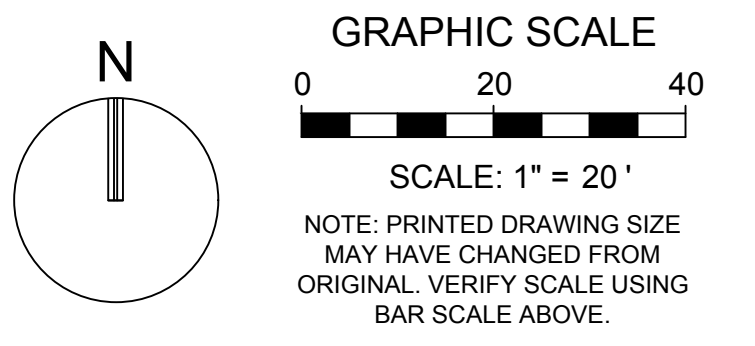






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Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC2600045

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USER.

THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

PROJECT

**SHEET TITLE**

SHEET NUMBER	CU-101
PROJECT NUMBER	13778.00

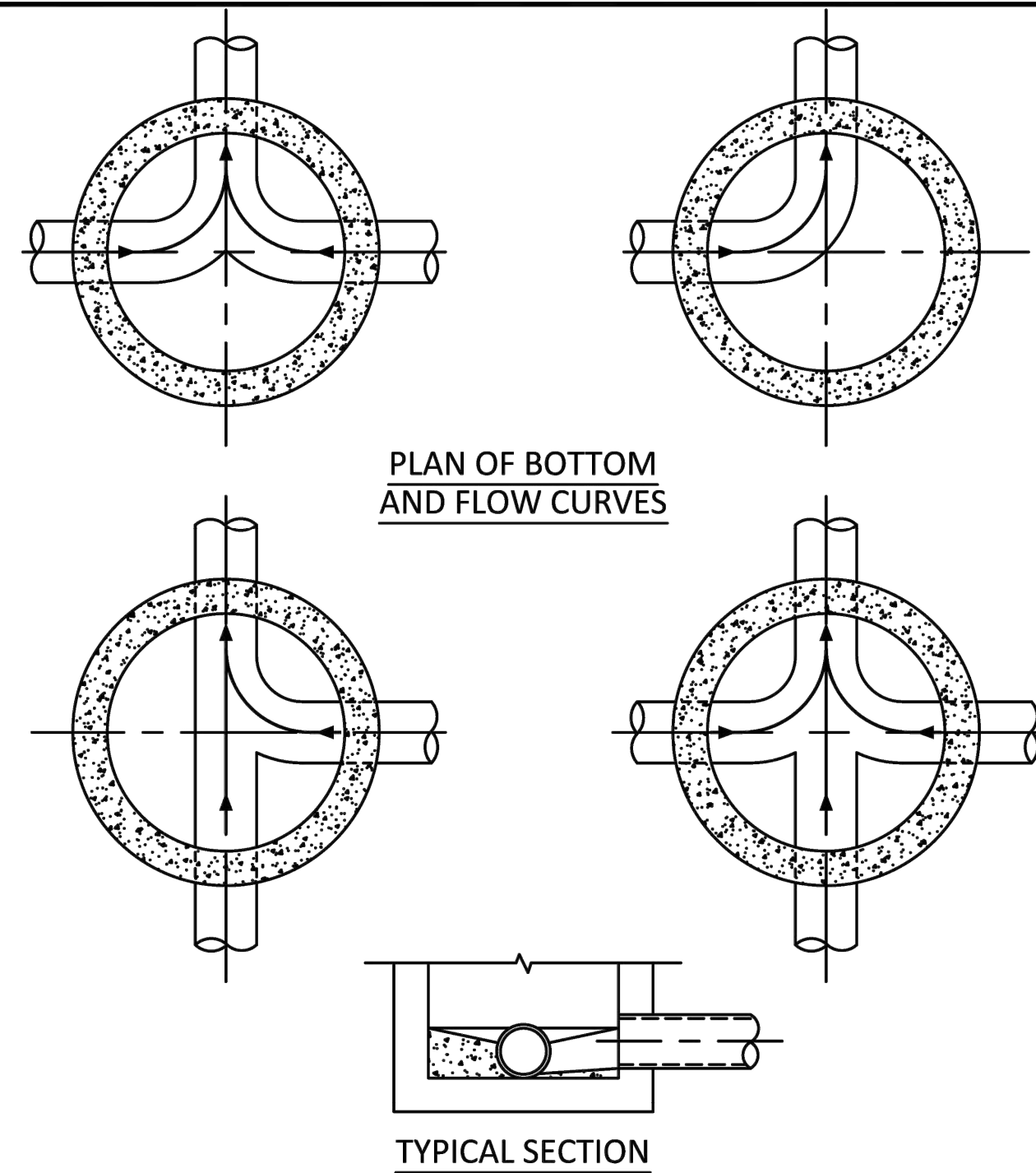
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STATUS: PRELIMINARY

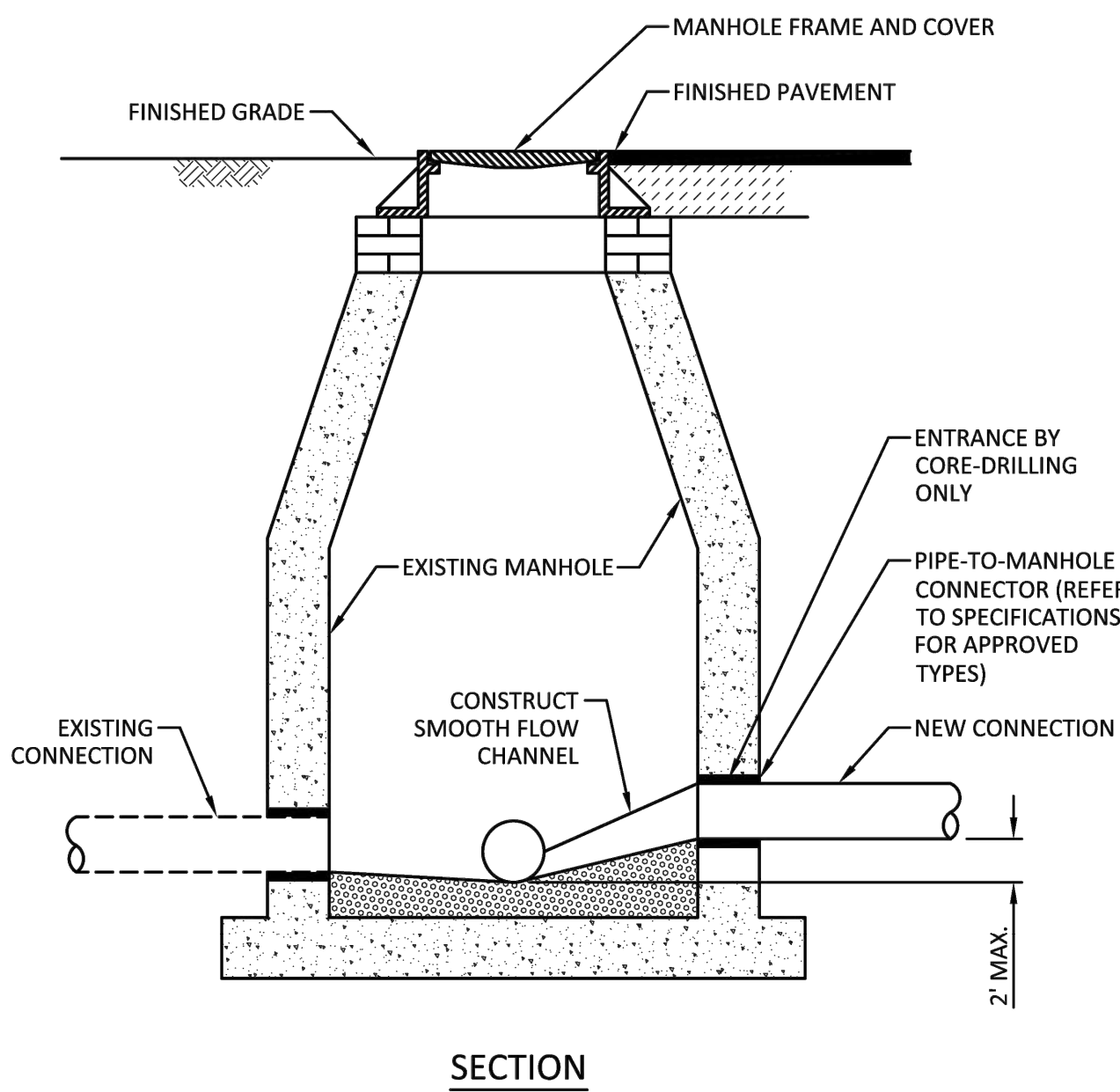


	ISSUED: 03/01/99/4	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	<b>SANITARY SEWER MAIN CONSTRUCTION NOTES</b>	DRAWING NO. <b>S-01</b>
APPROVED: XXX			

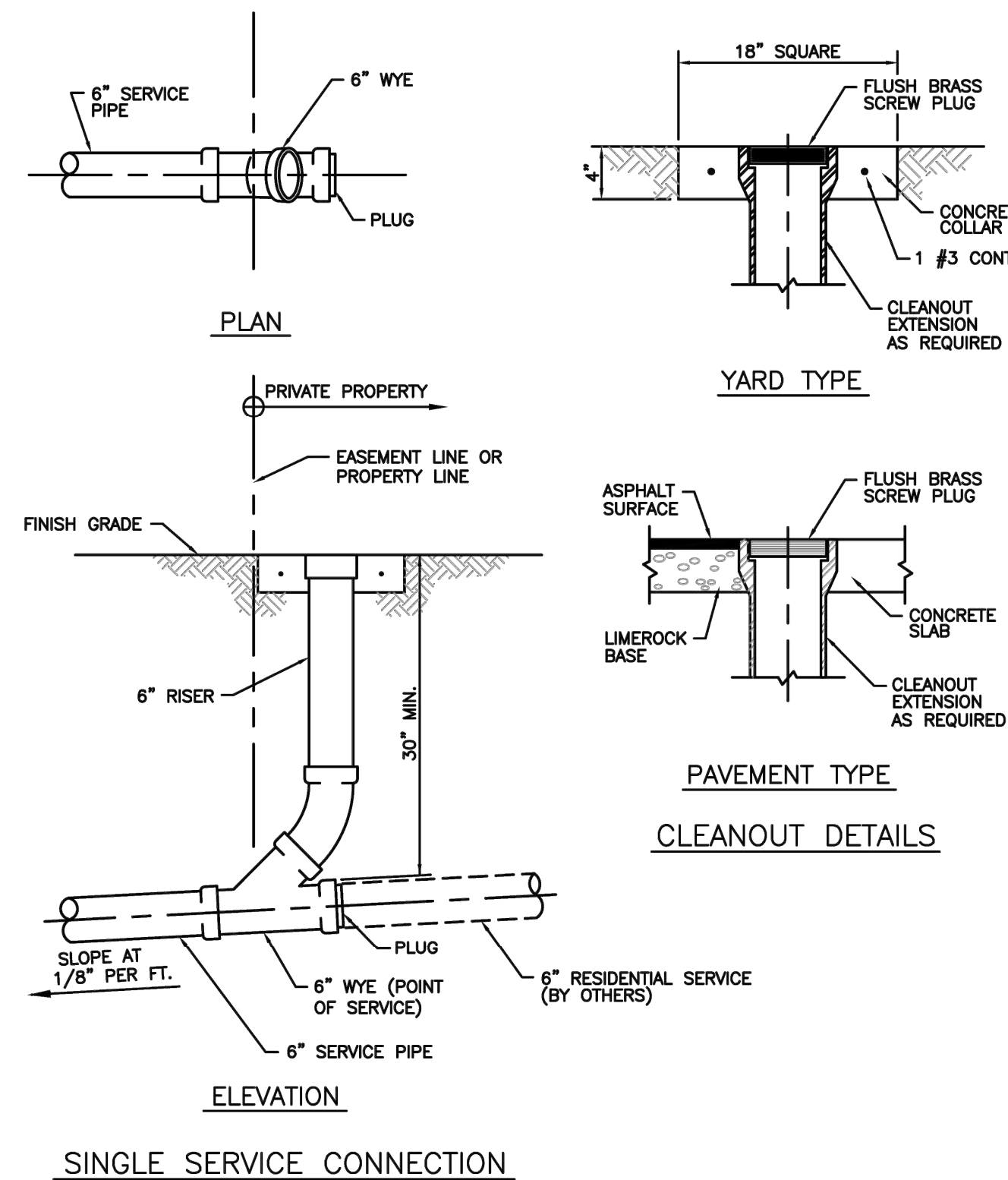


1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	MANHOLE FLOW PATTERNS	DRAWING NO.
	APPROVED: XXX		S-02



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
	DRAWN: EAM	<p align="center"><b>NEW CONNECTION TO EXISTING MANHOLE</b></p>	DRAWING NO.
	APPROVED: XXX		<b>S-07</b>



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
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	APPROVED: XXX		<b>S-12</b>

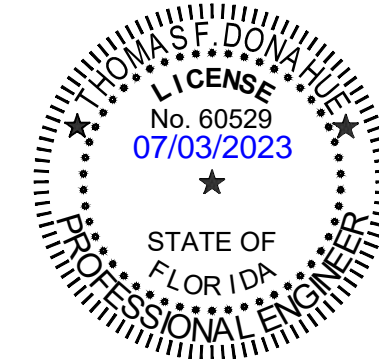
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USER.**

ISSUE DATE:	07/03/2023
DESIGNED BY:	VAC
DRAWN BY:	VAC
CHECKED BY:	CM
BID-CONTRACT:	



**THOMAS F. DONAHUE, P.E.**  
**FLORIDA REG. NO. 60529**  
**(FOR THE FIRM)**

## CLIENT

**1817 TAYLOR  
DEVELOPMENT LLC**

PROJECT

**STAR TOWER  
HOLLYWOOD**

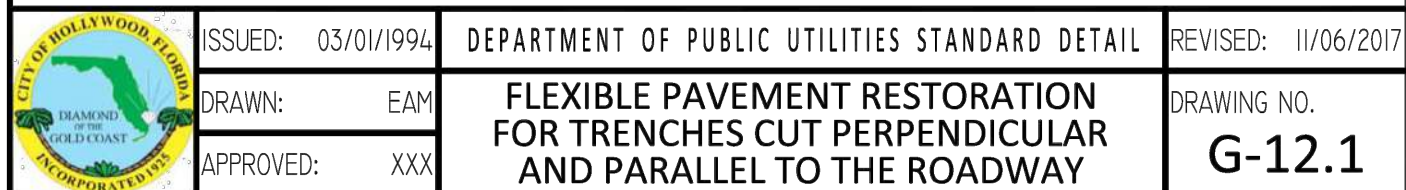
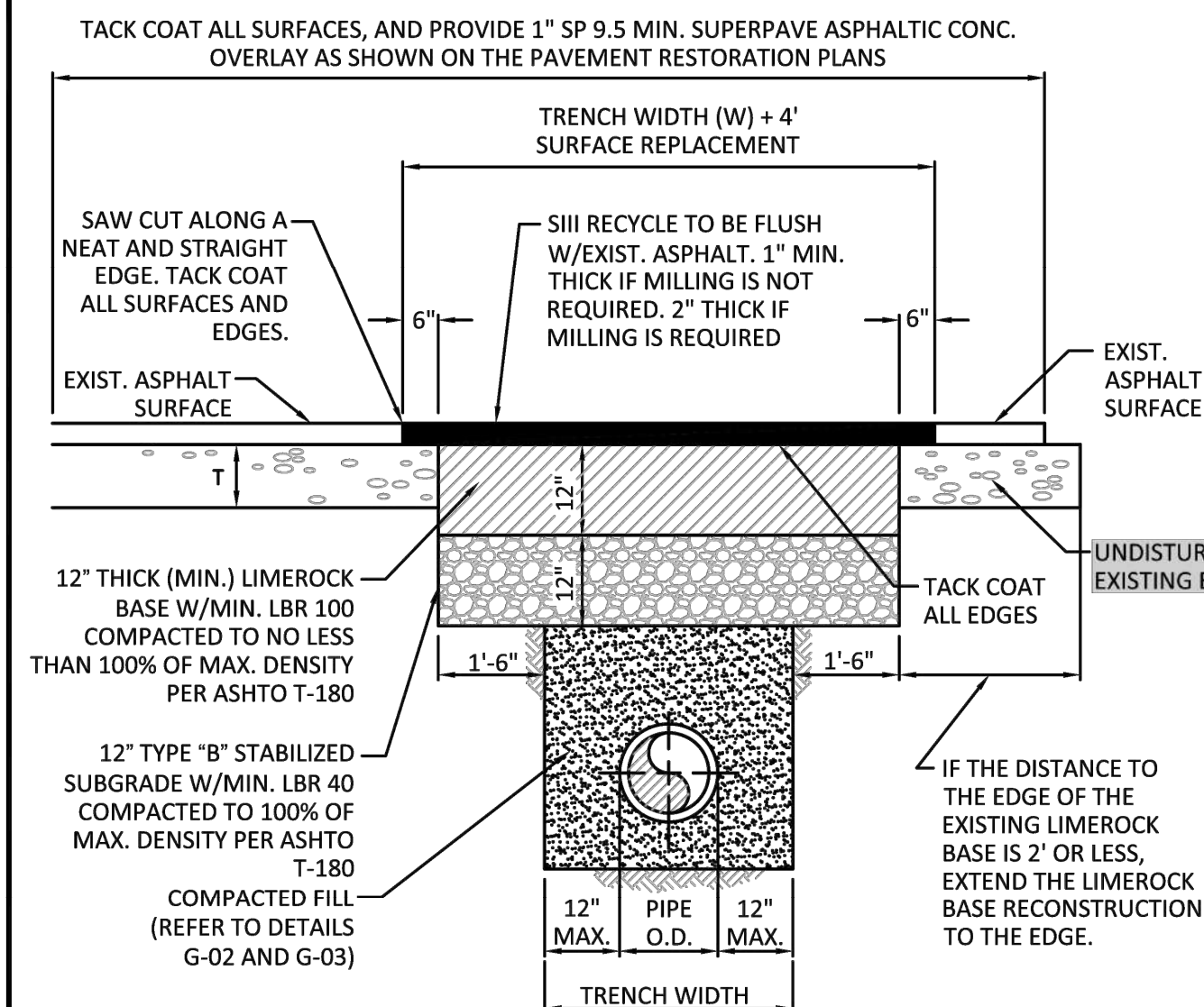
**SHEET TITLE**

## WATER AND SEWER DETAILS

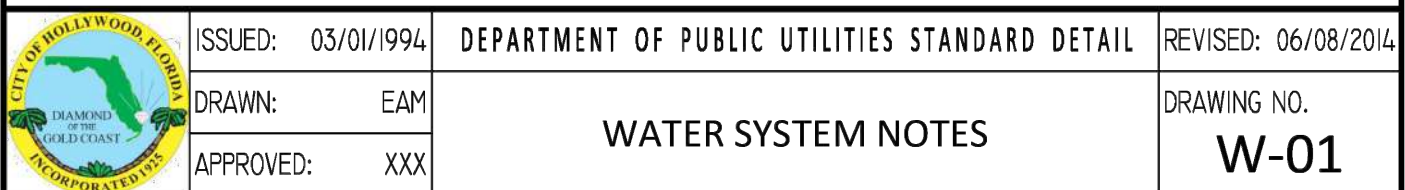
SHEET NUMBER	CU-503
PROJECT NUMBER	13778.00



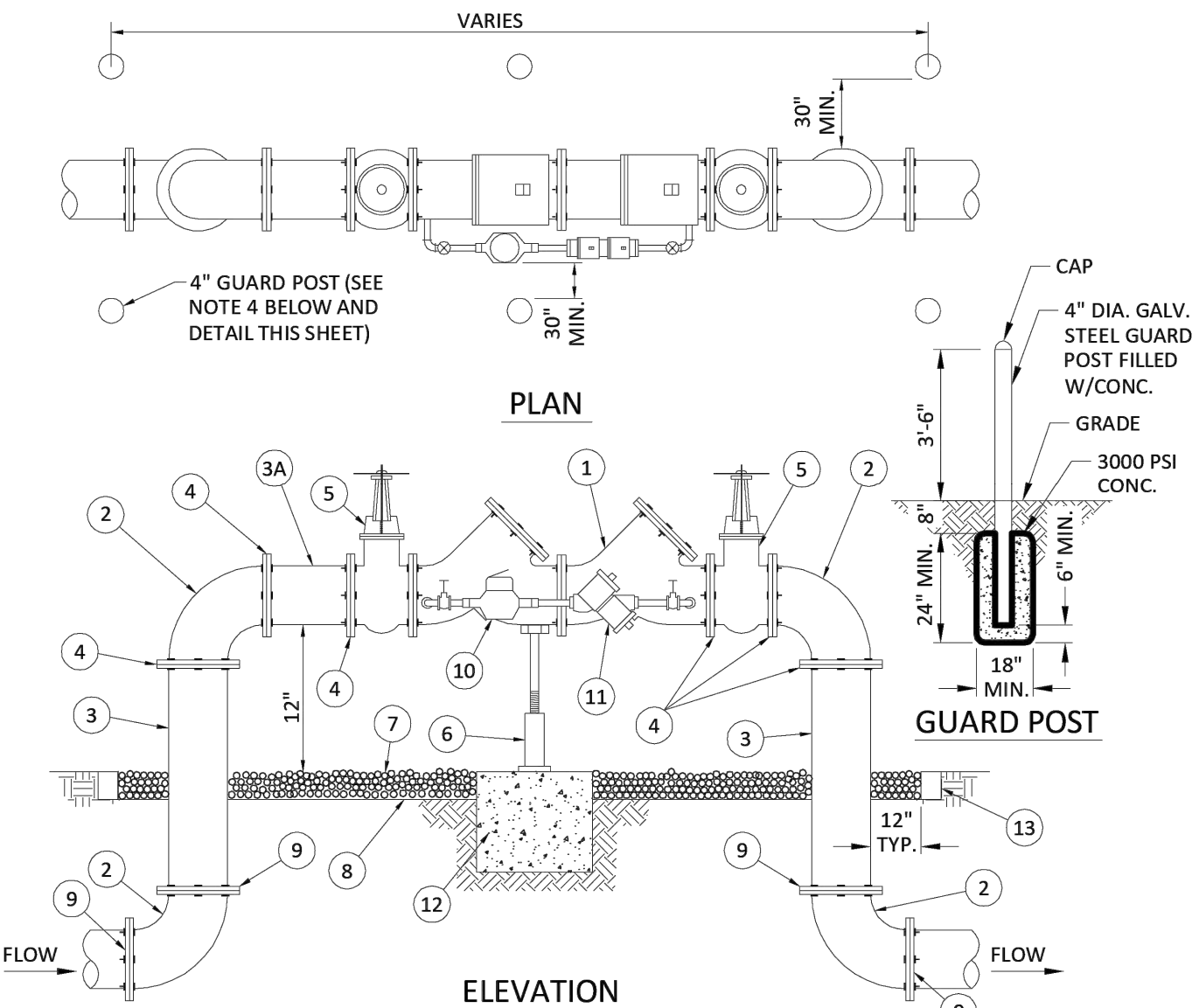
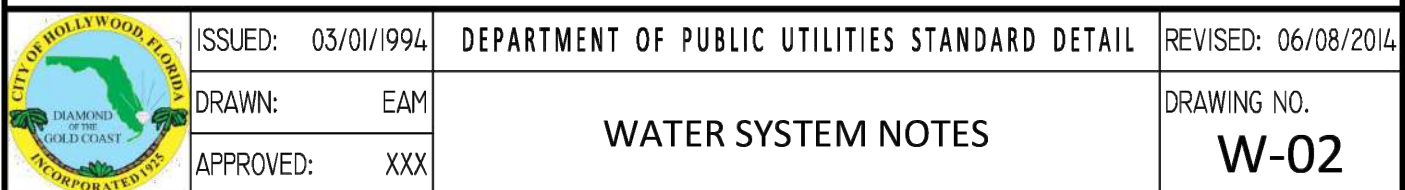
1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
2. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK".
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
5. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
6. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
7. RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.
9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
11. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.



1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER, STORM SEWER OR STORM SEWER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCITED IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHAFT, BLOCK PATTERNS, SCREWED JOINTS, NON-RISING STEM, BALL BODY, AND SOLE WHEEL. THE SOLE WHEEL SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

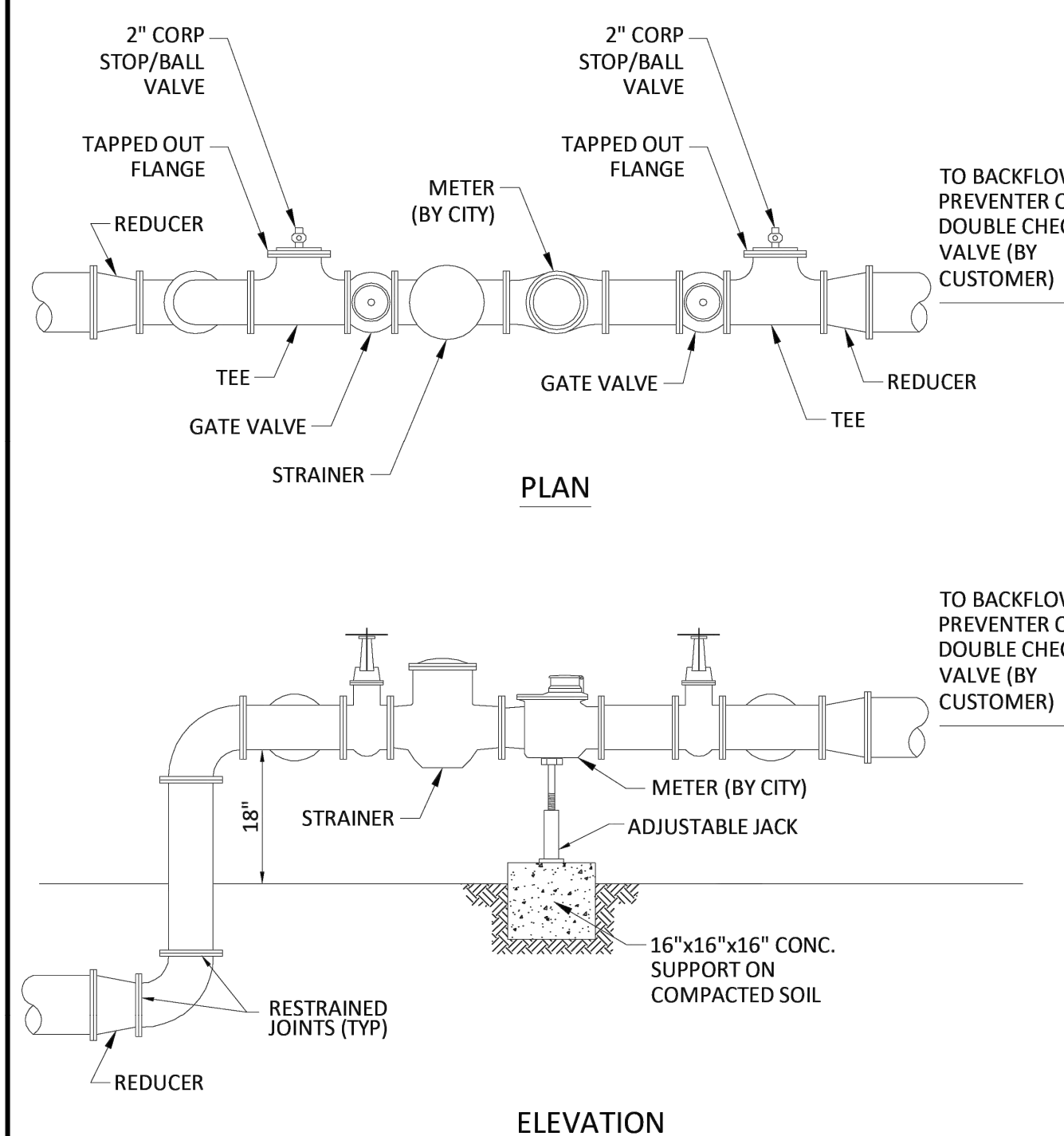
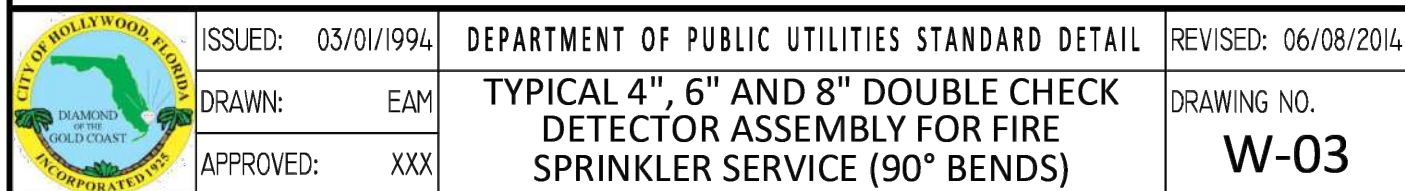


11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.327, A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON, INEGAL, OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

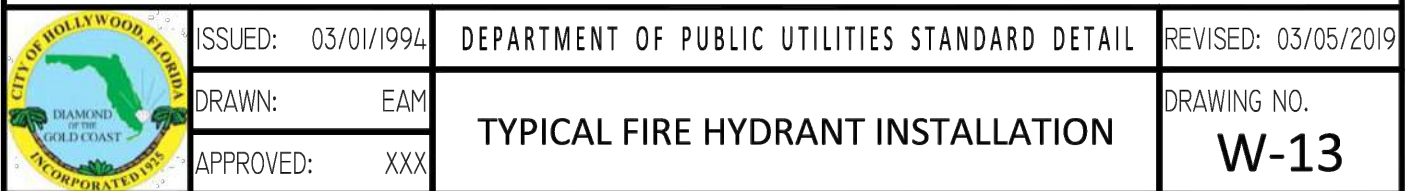
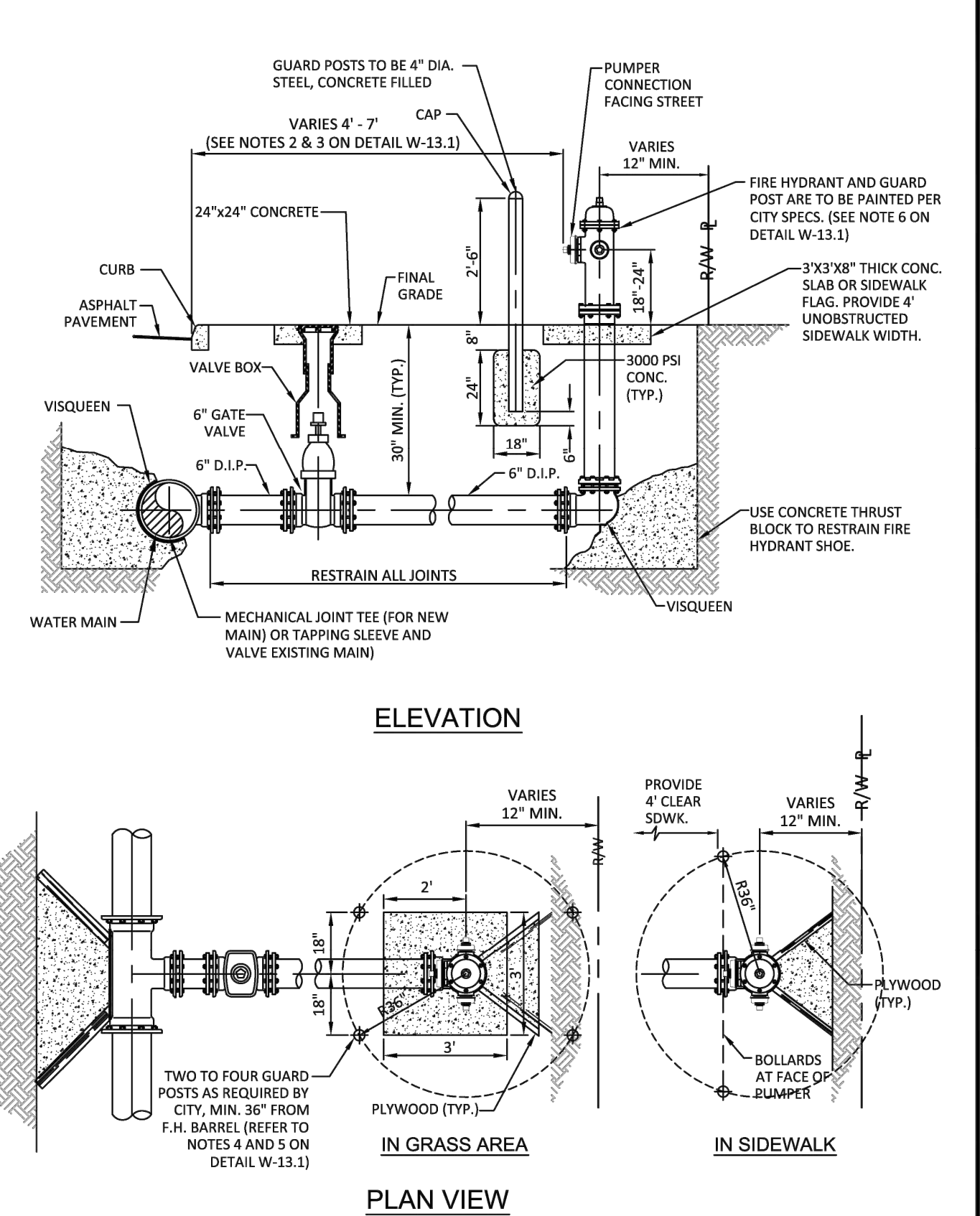
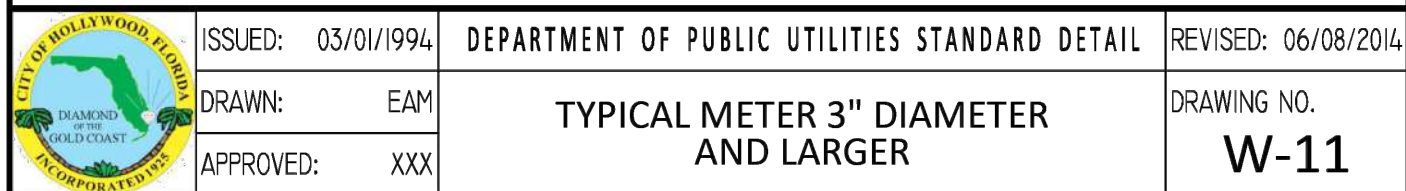


MATERIALS					
ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4", 6"-8" VALVE, DOUBLE CHECK	7	N/A	PEA GRAVEL (4" DEEP)
2	4	4", 6"-8" BEND-90°	8	N/A	PLASTIC LINER/WEEP STOP (5 MILS)
3	2	4", 6"-8" D.I.P. SPOOL PIECE	9	4	RESTRAINED JOINTS
3A	2	4", 6"-8" D.I.P. SPOOL PIECE (24" LONG)	10	1	LOW FLOW MITER
4	7	4", 6"-8" FLANGE, D.I.P.	11	1	VALVE, BYPASS DOUBLE STOP
5	2	4", 6"-8" GATE VALVE (SEE NOTE 6)	12	1	16"x16"x16" CONC. SUPPORT
6	1	SCREW JACK/ANCHORED	13	1	P.T. X24 LUMBER ALL AROUND

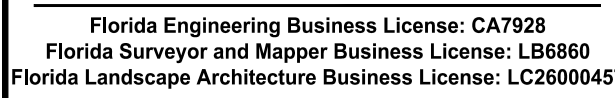
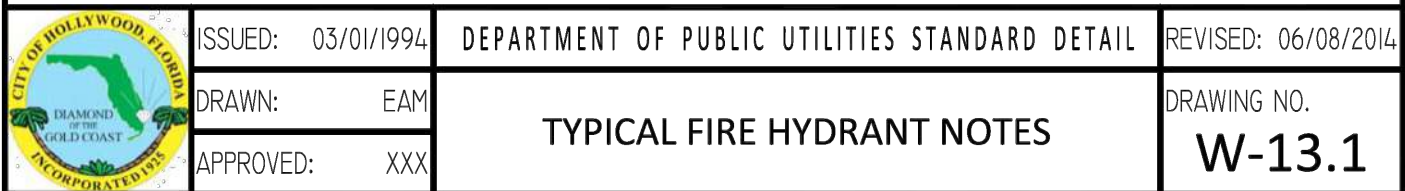
1. FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
5. MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.



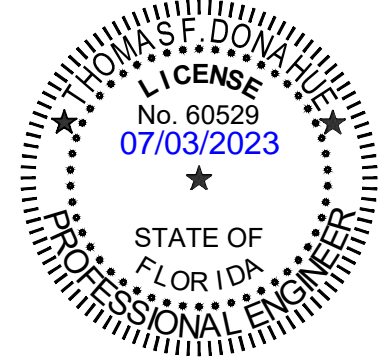
1. THE WATER METER AND STRAINER IS PROVIDED BY THE CITY OF HOLLYWOOD.
2. THE CITY'S RESPONSIBILITY ENDS AT THE REDUCER PRECEDING THE BACKFLOW PREVENTER.
3. TAPPED OUT FLANGE SHOULD MATCH SIZE OF TEE AND STANDARD 2" CORP STOP OR BALL VALVE.



1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS
2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FOOT CLEAR DRIVING ZONE.
4. GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6" LEFT/RIGHT OF C. OF THE FIRE HYDRANT. EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
5. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
6. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

[illegible]

THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.



## CLIENT

PROJECT

SHEET TITLE

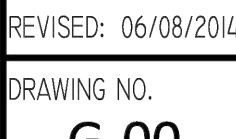
**SHEET  
NUMBER** **CU-502**

PROJECT NUMBER	13778.00
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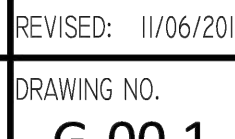
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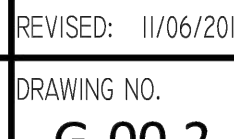
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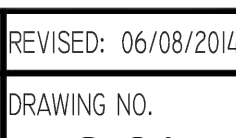
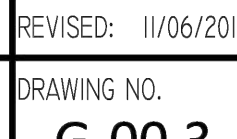


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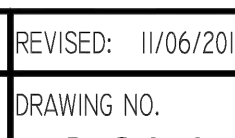
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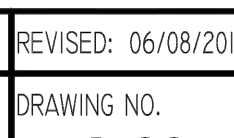
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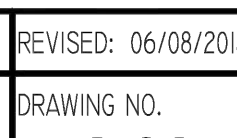
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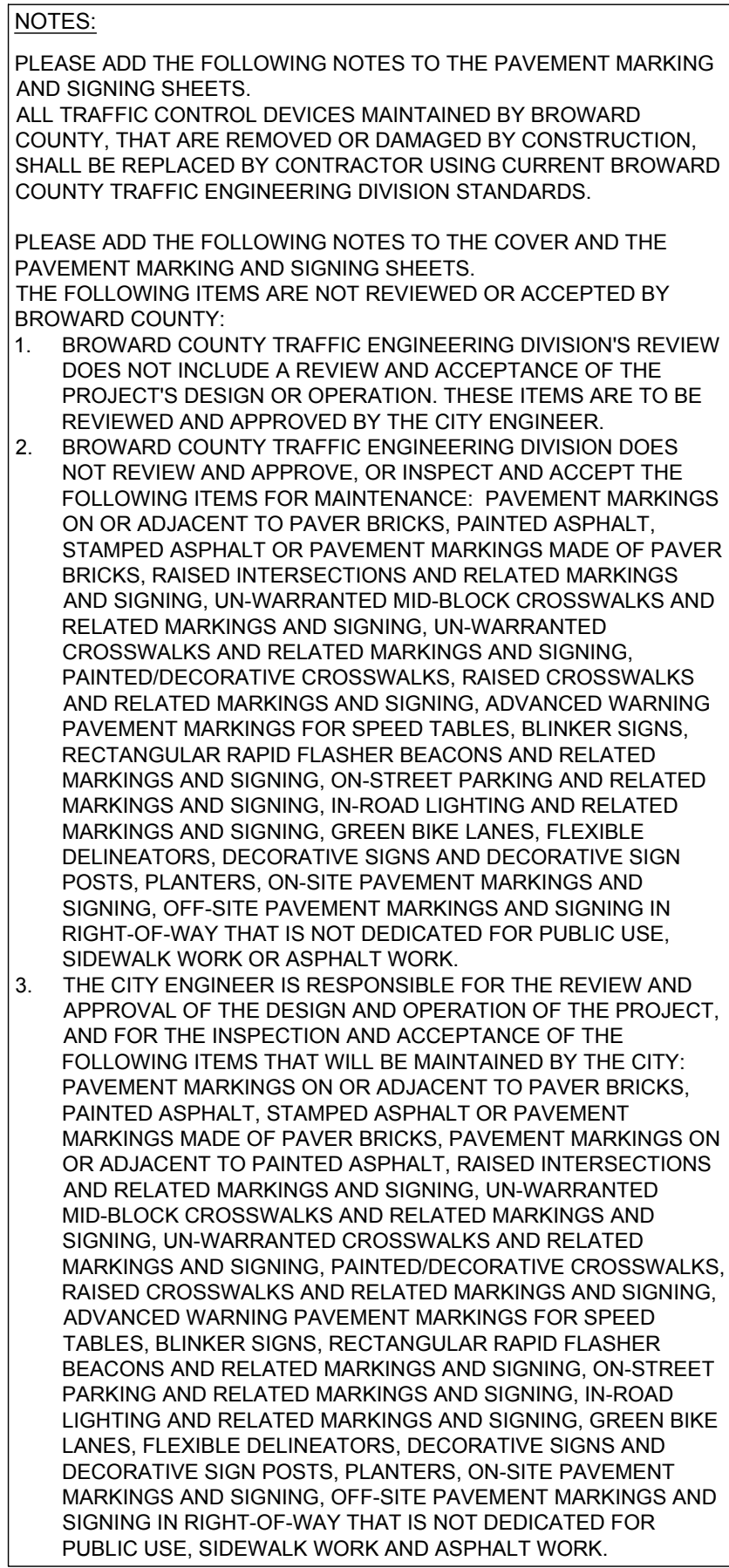
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Plotted by: vcastillo On 7/3/2023 4:16 PM

**BID-CONTRACT:**







Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC26000457

[illegible]

**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**

**THESE PLANS ARE NOT FULLY PERMITTED  
AND ARE SUBJECT TO REVISIONS MADE  
DURING THE PERMITTING PROCESS.**

**RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.**

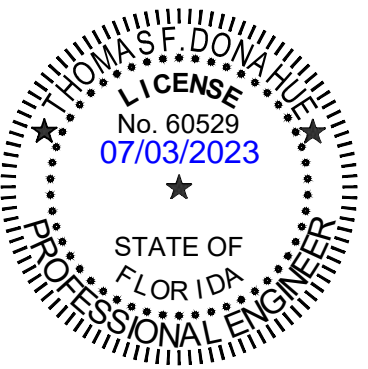
**ISSUE DATE:** 07/03/2023

DESIGNED BY: VAC

DRAWN BY: VAC

**CHECKED BY:** **CM**

**BID-CONTRACT:**



**THOMAS F. DONAHUE, P.E.**  
**FLORIDA REG. NO. 60529**  
**(FOR THE FIRM)**

**CLIENT**

**1817 TAYLOR  
DEVELOPMENT LLC**

PROJECT

# STAR TOWER HOLLYWOOD

**SHEET TITLE**

# PAVEMENT MARKING AND SIGNAGE PLAN

**SHEET  
NUMBER** **CM-101**

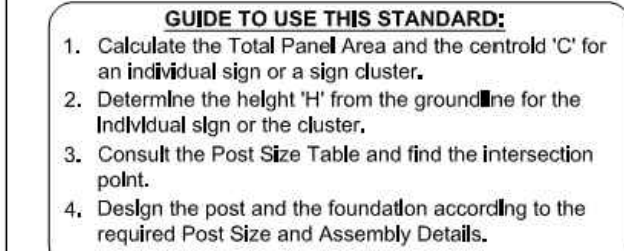
PROJECT NUMBER	13778.00
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Plotted by: vcastillo On 7/3/2023 4:17 PM

Drawing name: K:\13778.00 - Star Tower Hollywood - 1817 Taylor Street Development LLC\Engineering\Cadd\13778.00 CM-101.dwg

**STATUS: PRELIMINARY**





**Post Size Table**

H' Sign Assembly Height (ft) (measure from ground)	Total Panel Area (sq ft)
8	3
8.5	4
9	5
9.5	6
10	7
	8
	9
	10
	11
	12
	13
	14
	15
	16
	17
	18
	19
	20+

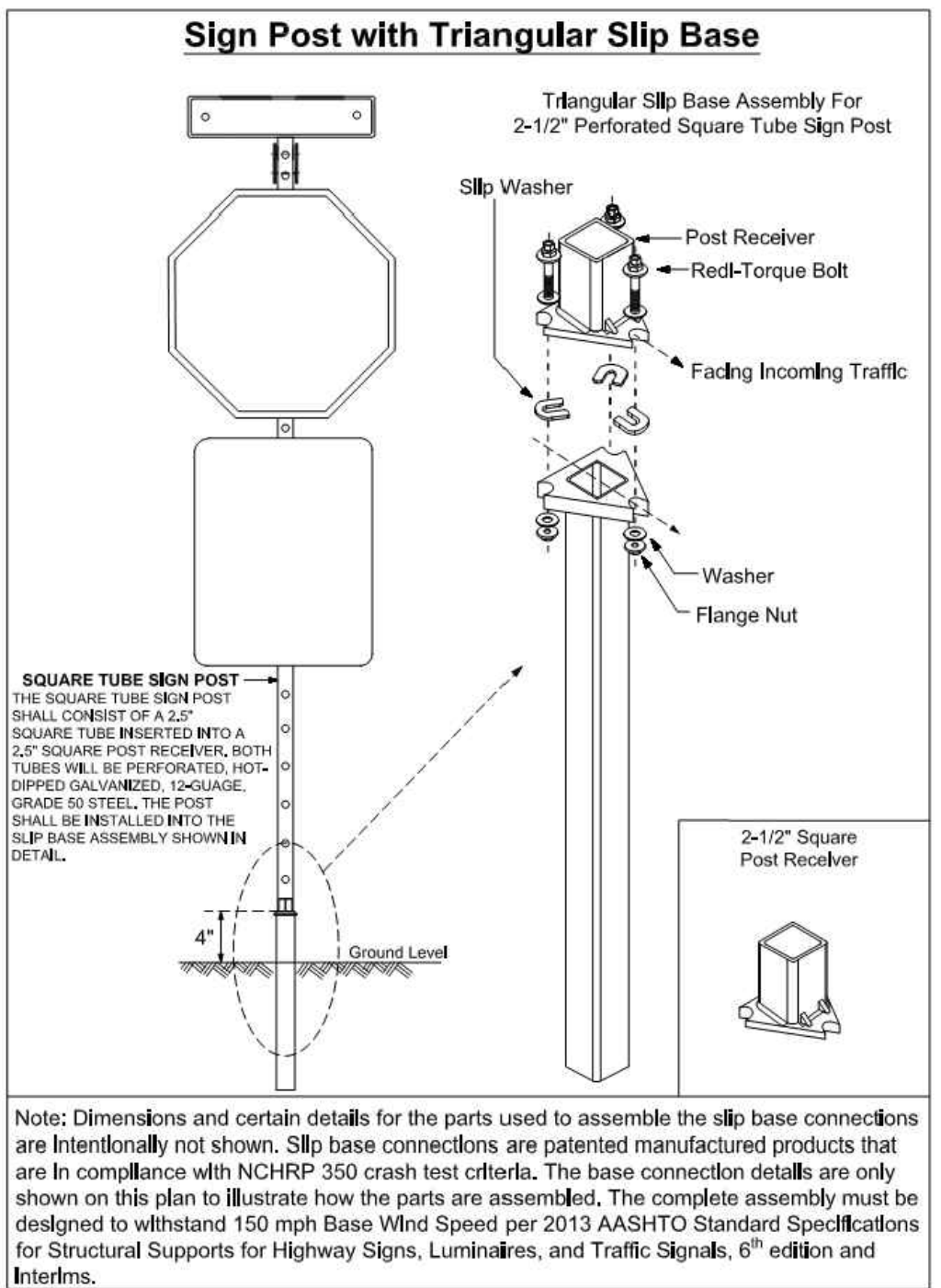
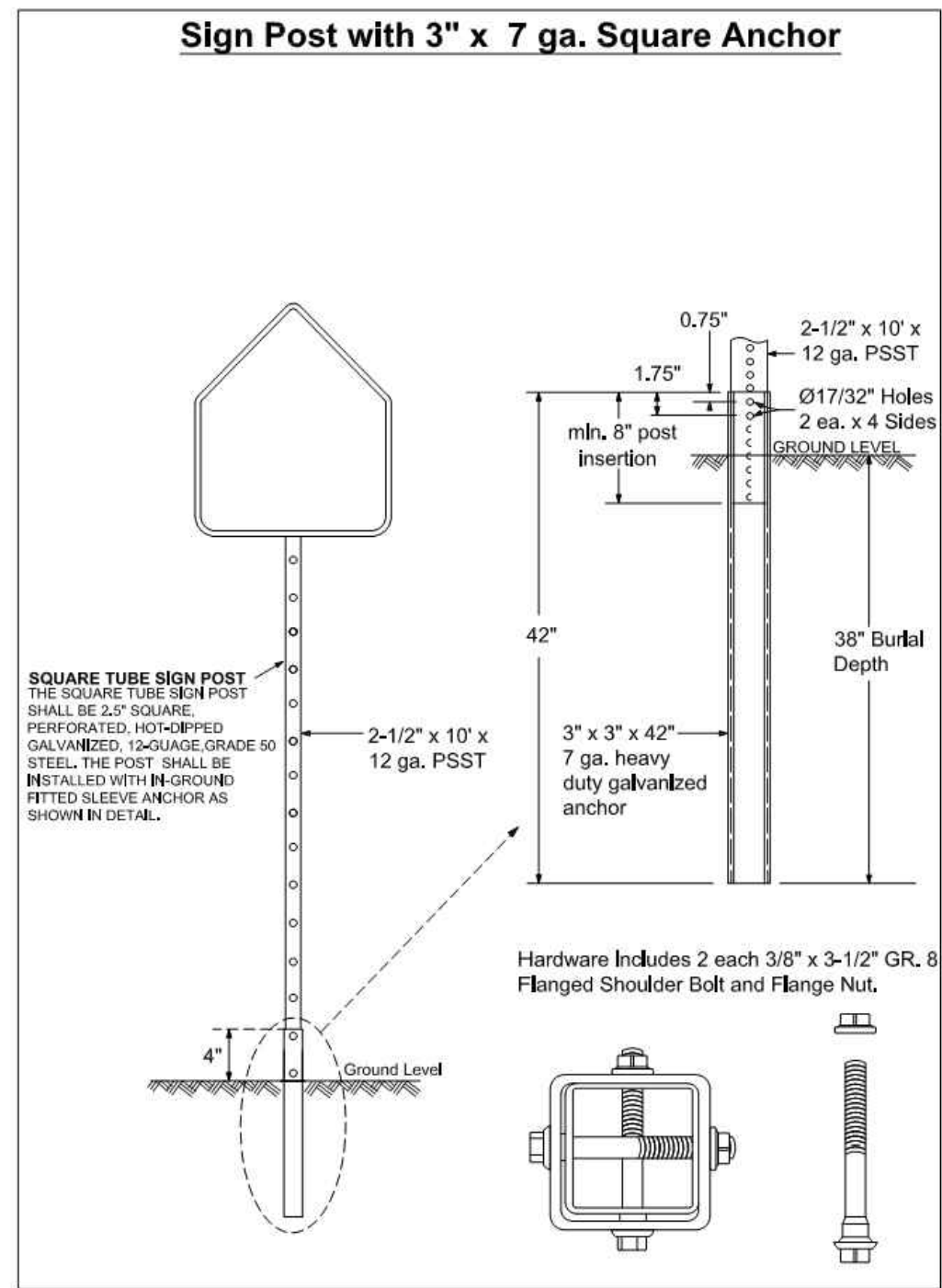
**Diagram Labels:**

- Centroid of Sign Cluster
- 7' Min Ground Clearance
- 6' Min Ground Clearance
- GROUND LEVEL
- 1' Sign Assembly Height
- 7' Min Ground Clearance
- 6' Min Ground Clearance
- GROUND LEVEL


**Sign Assembly Details:**

- Sign Post with 3" x 7 g/c, Square Anchor
- Sign Post with Triangular S/S Base Assembly
- Two Post Installation Required with Triangular S/S Base

**REGARDLESS OF POST SIZE TABLE IF A SIGN PANEL IS EQUAL TO OR GREATER THAN 4 FEET BY 8 INCH A TWO POST INSTALLATION IS REQUIRED WITH A TRIANGULAR S/S BASE.**



REVISIONS	
DATE	DESCRIPTION
03-21-2017	UPDATED POST SIZE
11-24-2020	ADDED POST SIZE NOTE
02-05-2021	UPDATED POST BASE HEIGHT



PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION	
DESIGN BY: YVES D'ANJOU, P.E.	SCALE: NTS
DRAWN BY: STEPHON RAMOUTAR	
CHECKED BY: ANDREW SEBO, P.E., PTOE	

*SHEET*  
*NO.*

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*1 OF 1*

Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC26000457

**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**  
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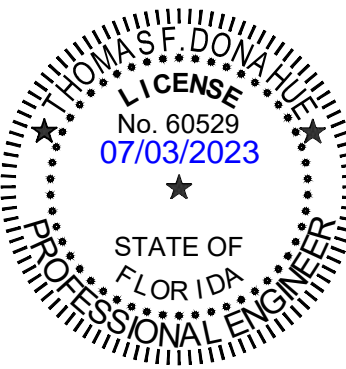
**ISSUE DATE:** 07/03/2023

DESIGNED BY: VAC

DESIGNED BY:	VAC
DRAWN BY:	VAC

DRAWN BY:	VAC
CHECKED BY:	CM

CHECKED BY:	CM
BID CONTRACT:	



**THOMAS F. DONAHUE, P.E.**  
**FLORIDA REG. NO. 60529**  
**(FOR THE FIRM)**

**CLIENT**

**1817 TAYLOR  
DEVELOPMENT LLC**

PROJECT

# STAR TOWER HOLLYWOOD

**SHEET TITLE**

## PAVEMENT MARKING AND SIGNAGE DETAILS

SHEET CM 501

NUMBER CM-501







July 5, 2023

**RE: FILE NUMBER: 22-DJP-62  
410 N. Federal Highway**

1817 Taylor Development LLC 1212 NW 82<sup>nd</sup> Avenue  
Doral, FL 33126

**KEITH Project # 13778.00 Star Hollywood**

Dear City of Hollywood reviewers:

Based on your TAC Comments dated December 5th, 2020 KEITH / BC Architects and the project team offer the following responses to your comments/questions:

**A. APPLICATION SUBMITTAL**

*Mawusi Watson, Planning Administrator ([mwatson@hollywoodfl.org](mailto:mwatson@hollywoodfl.org)) 954-921-3471*

1. Application Form:

- a. Revise the address to reference the correct address per Broward County Property Appraiser (410 N. Federal Highway) or otherwise complete the readdressing per Ordinance O-2015-16  
**RESPONSE: Acknowledged.**
- b. Include Lot / Block / Subdivision.  
**RESPONSE: Acknowledged.**
- c. Include sq. ft., value of improvement and estimated date of completion.  
**RESPONSE: Acknowledged.**
- d. The property is subject to a previous Planned Development (PD) approval. Include the File Number and Resolution / Ordinance numbers on the Application Form in the section where it states *"Has this property been presented to the City before?"* and check the "City Commission" box.  
**RESPONSE: Acknowledged.**
- e. Name of Property Owner – correct name per Warranty Deed (1817 Taylor St Development, LLC).  
**RESPONSE: Acknowledged.**
- f. On page 1 Nicolas Livsit is listed as the consultant / representative, however on page 2 Nicolas Livsit signed as the owner. If Nicolas Livist is the owner, provide evidence that same is authorized to sign as the owner. If Nicolas Livsit is not the owner: 1) current owner must sign page 2 and Nicolas Livist must sign page 2 as the consultant / representative; and, 2) provide evidence that the person signing as the owner is authorized to do so.  
**RESPONSE: Acknowledged.**



2. Ownership Encumbrance & Report (O&E):

- a. Shall indicate it was searched from 1953 or time of platting (earliest of the two);  
**RESPONSE: Acknowledged.**
- b. Must be dated within 30 days of submittal packet.  
**RESPONSE: Acknowledged.**
- c. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.  
**RESPONSE: Acknowledged.**
- d. Ensure O&E addresses the requirements on the TAC submittal checklist:  
<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

**RESPONSE: Acknowledged. See Ownership & Encumbrance Report submitted with drawings, documents, and this letter.**

3. Alta Survey:

- a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.  
**RESPONSE: Acknowledged.**
- b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.  
**RESPONSE: Acknowledged.**

4. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.  
**RESPONSE: A Platting Determination letter is in processing with the Planning Council. All documents will be submitted prior to the Planning and Development Board.**

5. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:  
**RESPONSE: A SCAD letter is in processing with the School Board and will be submitted prior to the Planning and Development Board.**

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

6. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.  
**RESPONSE: Acknowledged.**

7. A public participation outreach meeting shall be required for Land Use, Rezoning, Special



Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

**RESPONSE: Acknowledged.**

8. Additional comments may be forthcoming.

**RESPONSE: Acknowledged.**

9. Provide written responses to all comments with next submittal.

**RESPONSE: Acknowledged, by this response letter.**

## **B. ZONING**

*Mawusi Watson, Planning Administrator ([mwatson@hollywoodfl.org](mailto:mwatson@hollywoodfl.org)) 954-921-3471*

1. The proposed development constitutes and amendment to approved Master Plan and will also require approval of a new Site Plan for the property. Include a narrative explaining all proposed amendments to the approved Master Plan under Ordinance O-2025-16 as well as any amendments to the Resolution R- 2015-230. At a minimum, the narrative shall also include a description of previously approved project data vs. proposed project data (e.g. number of units, height, FAR, parking spaces etc.), a description of any new proposed new regulations that were not previously approved, and whether any previously approved regulations are proposed to be deleted.

**RESPONSE: See sheet SP-101 for summary of units, height, density parking, and amendments.**

2. The proposed design includes an increase in density as well as the overall building mass. Provide justification in the narrative for the change in design and how this will impact on neighboring properties.

**RESPONSE: This project seeks to continue the idea of placemaking exemplified by the Young Circle area, and foster an active, walkable neighborhood. By proposing condo units, as opposed to rental, the project will create more neighborhood stability with less transient residents. The project also proposes over 8,000 SF of retail to support the community.**

3. As part of the Master Plan amendments, in the narrative demonstrate how the proposed development meets the requirements for all land use and design regulations in Section 4.15.E of the Zoning and Land Development Regulations (ZLDRs).

**RESPONSE: We feel this project will create an aesthetically pleasing environment for the immediate neighborhood. The commercial uses proposed on the ground floor will meet the local shopping and service needs. The property will be pedestrian oriented, with a covered plaza, wide sidewalks, bike storage, and arcade.**



4. As the proposed development will require a new site plan approval, any previously approved variances, and modifications under Resolution R-2015-230 will be voided. Identify in the project narrative if any variances are proposed for the new site plan and include the variance criteria statements, if applicable.

**RESPONSE: See SP-101 for list of variances.**

5. Include a statement demonstrating compliance with, or proposed amendments to, the “whereas” clauses and conditions of approval in Ordinance O-2015-16 and Resolution R-2015-230.

**RESPONSE: See sheet SP-101 for comparison with previous amendments and list of variances.**

6. Both the approved Master Plan and Section 7.2 of the ZLDRs require 1.5 parking spaces per unit, plus 1 guest space for every 5 units. Calculations for the total number of appears to be incorrect and only provide 1 space per unit for the 1-bedroom units. Additionally, no guest parking spaces are provided in the overall parking count, yet the density is increasing. A requirement for a Planned Development is that compliance with Article 7 is required.

**RESPONSE: The Parking count has been modified to reflect the current RAC standard. And per the meeting at the CRA office on 6/14/2023 with staff, it was understood that 1 BR and Studios require 1 parking space per unit. Please refer to the new Site Plan, sheet SP-101 which quantifies the updated unit breakdown and applicable parking as requirements.**

7. There is a significantly more tandem parking spaces (150) compared to standard spaces (111). This increase is also substantially more than the previously approved Master Plan. Provide justification for the increase in tandem parking.

**RESPONSE: The design has been modified to decrease the number of tandem parking, currently there are (6) tandem parking.**

8. Site Plan:

- a. Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval.

**RESPONSE: Please refer to the new Site Plan, sheet SP-101 with added note as requested.**

- b. More clearly delineate the building footprint and any horizontal projections (e.g. balconies). As submitted the site plan provides details for roof level amenities that are confusing when reviewing overall building placement and setbacks on the property.

**RESPONSE: Please refer to the new Site Plan, sheet SP-101 which has been revised and identifies building overhangs. Refer to Architectural floor plans which have also been revised.**

- c. West setback dimension on site plan needs to match the site data.

**RESPONSE: Please refer to the new Site Plan, sheet SP-101.**

9. Site Data:

- a. Include the City file reference.

**RESPONSE: Noted, see Cover sheet.**

- b. List all proposed new property development regulations, including any requested



variances.

**RESPONSE: See variance list on she SP-101**

- a. Counts in the Parking Schedule do not match counts on the Site Data table.

**RESPONSE: Please refer to the new Site Plan, sheet SP-101.**

- b. Multiple sections in the "Amendment to PD" section are blank and need to include the proposed change between the previously approved and proposed developments.

**RESPONSE: See updated Zoning Table on she SP-101**

- c. The data table contains a calculation for the retail that contradicts the site plan. Revise accordingly.

**RESPONSE: Please refer to the updated Site Plan, sheet SP-101**

10. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

**RESPONSE: Comment Acknowledged. Please refer to the provided Landscape Plan, Sheet LP-101. Landscape Plan to be reviewed by the City's Landscape Architect / Landscape Reviewer.**

### **C. ARCHITECTURE AND URBAN DESIGN**

*Mawusi Watson, Planning Administrator ([mwatson@hollywoodfl.org](mailto:mwatson@hollywoodfl.org)) 954-921-3471*

1. Include the property lines and setbacks to the building and balconies on the floor plans and elevations.

**RESPONSE: Property lines and dimensions added to floor plans and elevations.**

2. Include finished floor elevation for each level on the elevations.

**RESPONSE: See sheets SP-3.1-sp-3.4 for finished floor elevations.**

3. Provide location and height / size of all fences, walls dumpster enclosures and signage.

**RESPONSE: Please refer to the new Site Plan, sheet SP-101 & Hardscape Plan Sheet LH-101. A 5' Opaque fence is proposed along the western property line. Details of this fence is to be provided at the time of Building Permit.**

4. Provide color and materials legend for all elevations

**RESPONSE: See sheets SP-3.1-sp-3.4 for color notes.**

5. Provide more detail for the proposed metal screen.

**RESPONSE: See sheet SP-3.5 for enlarged view of screen and grilles.**

6. Consider wrapping the metal screen around the west elevation to provide some relief on this facade.

**RESPONSE: Additional articulation/grilled have been added to west and north garage walls.**

7. Provide articulation / relief and additional architectural treatment to the west façade, which currently presents as a primarily blank wall.

**RESPONSE: Additional articulation/grilled have been added to west and north garage walls.**



8. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.

**RESPONSE: Comment acknowledged. Will be completed prior to building permit.**

9. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

**RESPONSE: Comment acknowledged. Garage is proposed as open-air.**

10. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

**RESPONSE: Comment acknowledged.**

#### **D. SIGNAGE**

*Mawusi Watson, Planning Administrator ([mwatson@hollywoodfl.org](mailto:mwatson@hollywoodfl.org)) 954-921-3471*

1. Include note on Site Plan indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

**RESPONSE: Please refer to the new Site Plan with requested note included on sheet SP-101**

2. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

**RESPONSE: Please refer to the new Site Plan with requested note included on sheet SP-101**

#### **E. LIGHTING**

*Mawusi Watson, Planning Administrator ([mwatson@hollywoodfl.org](mailto:mwatson@hollywoodfl.org)) 954-921-3471*

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

**RESPONSE: Please refer to the provided Photometric Plan on sheet LL-101 which includes minimal light levels utilizing bollards as defined by the CRA / RAC design guidelines.**

**This item is to be discussed further with staff to determine requested note and its applicability to project. It would be irresponsible design to provide 0.5 minimum light levels as requested along urban city sidewalks (along Taylor St & Federal Hwy). Furthermore, the FDOT Greenbook identifies Intermediate Commercial (such as this project) as a 0.8 FC minimum and a ratio of 4:1 Average to Minimum. Along Federal Hwy, this stand MUST prevail as required by the FDOT owned Right-of-Way.**

**We understand the intent of the code is to maintain a maximum of 0.5 foot-candle at property lines to prevent light spill into residential areas. A note to the effect has been added to both sheet SP-101 and sheet LL-101 regarding the Northern and Western Property lines.**

#### **F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY**

*Mawusi Watson, Planning Administrator ([mwatson@hollywoodfl.org](mailto:mwatson@hollywoodfl.org)) 954-921-3471*

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a



note on the site plan and provide green registration documentation with next submittal.

**RESPONSE: The project will pursue Florida Green Building Coalition certification.**

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle- charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

**RESPONSE: Twenty future charging stations will be provided in accordance with 151.154, see architecture plans for locations in the garage.**

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

**RESPONSE: Acknowledged. See sheet SP-101 for Green Building certification note.**

#### **G. ENGINEERING**

Azita Behmardi, City Engineer ([abehmardi@hollywoodfl.org](mailto:abehmardi@hollywoodfl.org)) 954-

921-3251 Clarissa Ip, Assistant City Engineer ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org))

954-921-3915

Rick Mitinger, Transportation Engineer ([rmitinger@hollywoodfl.org](mailto:rmitinger@hollywoodfl.org)) 954-921-3990\

#### **COMMENTS:**

##### **Revision Procedure:**

***-Any revisions applied to the plans shall be numbered and bubbled/clouded.***

***-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.***



1. It appears from Sheet SP-1.0, this application is an amendment to previously approved Planned Development. If so, please mention in the application form in the Explanation of Request section for an amendment and provide the previously approved site plan's file number to be amended. On the plan set cover page, please indicate such intend of this application and the applicable approved site plan file number to be amended. Lastly, please provide previously approved site plan with supporting studies and documents.

**RESPONSE: Acknowledged.**

2. Please clarify if a variance/approval was granted for the property requiring a reduced number of parking stalls. Please provide the approval and ensure the calculation is correct.

**RESPONSE: No parking reduction is requested.**

3. Sheet SP-1.0, please clarify the parking counts between the Number 9 of the Site Data table for parking and the Parking Schedule at the bottom of the sheet. i.e. 75 tandem spaces vs. 150 tandem spaces, 267 total spaces vs. 268. In the Parking Schedule, what is Parking Space 1? Typo in the word Addition under Number 9 of the Site Data.

**RESPONSE: Please refer to the updated parking tabulations on the new Site Plan, sheet SP-101**

4. Sheet SP-1.0, Number 13 of the Site Data table, provide the referenced Diagram SP-1.

**RESPONSE: Comment may now be irrelevant. Please refer to the new Site Plan sheet, SP-101.**

5. Please identify the height of the garage on the first level at the entrance, loading dock and handicap stalls. Minimum loading space vertical clearance is 14'. ADA Van accessible space vertical clearance is 98".

**RESPONSE: Loading area is min. 14' clear as shown on north elevation, sheet SP-3.1. Van accessible spaces located on ground level, with a 9'-4" clear height.**

6. Applicant is to provide a minimum of (2) loading stalls. Loading spaces shall be an area at the grade level at least 10 feet wide by 25 feet long with 14 feet vertical clearance. Each loading space shall be directly accessible from a street or alley without crossing or entering any other required off-street loading space and arranged for convenient and safe ingress and egress by motor truck and/or trailer combination. Such loading space shall also be accessible from the interior of any building it is intended to serve, such as the Retail bays. Indicate the loading space requirement and the number of loading spaces provided in the parking table.

**RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the requested 10'X25' loading bays as serviced from the Alley and service both the proposed residential and retail.**

7. All parking stalls shall be consecutively numbered and fully dimensioned. Please show in plans. Any stall located next to a solid obstruction is required to be a minimum of 9.5' wide. Any stall with obstructions on both sides is required to be a minimum of 10.5'.

**RESPONSE: Please refer to the architectural floor plans that consecutively numbers the parking stalls as requested.**

8. Minimum tandem parking stall depth shall be 36'.

**RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the tandem parking as 38' depth.**

9. Applicant identifies a Valet booth/area –

- a. Identify all valet stalls and provide a line item for these stalls in the parking calculations.
- b. Provide a valet operation plan that includes items such as but not limited to review and analysis of number of vehicles anticipated, queuing spaces required, number of staff required, hours of operation and valet site plan showing valet station location and vehicle queuing. Also, provide a plan to show how the cars will be stored and what route will be taken to the storage parking facility.

**RESPONSE: Valet/retail spaces indicated on plan**

10. Revise parking details, for standard and ADA compliant stalls to City of Hollywood typical details.



**RESPONSE: Refer to sheet CM-504 for City of Hollywood typical parking detail.**

11. Per Sheet SP-1.2 cross sections on Taylor Street and US1, building façade elements will be encroaching into the public rights-of-way. Approval and agreement with the City are required for Taylor Street encroachment and from FDOT for US1.'

**RESPONSE: Building footprint has been updated so as to not encroach into public ROW.**

12. Sheet SP-2.0, provide pavement marking and signage plan to show how vehicular traffic circulation operates. Will traffic be limited to right-turn only to the upper floors of the garage? Parking stalls in the center area backing out in conflict with the vehicular traffic at the entrance / exit area is of concern.

**RESPONSE: Refer to Sheet CM-101 for Pavement Marking and Signage Plan.**

13. Traffic impact analysis is required, coordinate with Rick Mitinger, Transportation Engineer, 954-921-3900 or [rmitinger@hollywoodfl.org](mailto:rmitinger@hollywoodfl.org). Include trips generated by the project and all committed trips of future projects, trip distribution and impact to the roadway network. Provide a review of existing and future multimodal transportation impacts and needs. Include a review of existing and future transportation related improvements and amenities such as street and pedestrian lighting, bus shelter, bike facility and/or sidewalks. Traffic study reviews are done on a cost recovery basis by a City's consultant.

**RESPONSE: Acknowledged. Traffic study in process.**

14. Please identify the location of all guest stalls proposed.

**RESPONSE: Guest stalls located on 2<sup>nd</sup> floor. See Sheet SP-2.2**

15. All non-vehicle areas shall be stripped to clearly identify pedestrian areas and vehicular areas. (i.e., loading zone, any space next to parking stalls or walls etc.).

**RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies all non-vehicular areas stripped. Please refer to garage floor plans which also include requested stripping.**

16. In the parking garage, all dead-end situations shall receive a parking stall stripped out for vehicle turnaround or a minimum 3-foot-wide drivable area bump out with a curb perimeter. This bump out may not encroach into any required setback.

**RESPONSE: Garage parking has been redesigned to allow for vehicle turn around.**

17. Provide site triangles at all driveway access (6' X 12') and corner setback triangles.

**RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the 6'x12' driveway access corner setback triangles as requested.**

18. Provide corner right-of-way dedication at US1 and Taylor Street minimum 25'X25' triangle, measuring 25' along property lines. Alley and US1 requires 6'X6' triangle corner right-of-way dedication, measuring 6' along property lines. Any rights-of-way dedication as required by FDOT will also needs to be met. Please indicate on plans.

**RESPONSE: The request is noted and identified on the Site Plan, sheet SP-101. KEITH is in process to schedule a FDOT pre-application meeting as which time, KEITH and FDOT will review the requirement to provide both the requested 25'x25' triangle at the corner of Federal Hwy and Taylor St. as well at the requested 6'X6' triangle at the corner of Federal Hwy. and the Alley. If applicable, we'd request these corners be given as Easements, to be confirmed by FDOT.**

19. Please identify the material of all walkways and driveways/parking lots. Ensure details are provide that align with the requirements of the City of Hollywood.

**RESPONSE: Please refer to the Site Plan (sheet SP-101) which identifies pavers (along sidewalks) and concrete hatches (on Building steps, ramps, terraces, and parking garage) Additionally, please refer to LH-101 which identifies more specifically, materials which match the CRA / RAC Design Guidelines.**

20. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, all vehicle turning radii, sight triangles, pavement marking and signage plans and details as well as change in elevations to show that handicap accessibility has been met. Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights- of-way. Full road width asphalt pavement mill and resurfacing is required for Taylor Street and the alley along the





frontage of the site. Area of road asphalt pavement resurfacing and restoration on US1 to be determined by FDOT. Additional pavement mill and resurfacing may be required for any off-site utility improvements or extension needed for the project.

**RESPONSE: Refer to CP-101 for Paving, Grading and Drainage plans depicting drainage improvements, site grading meeting ADS requirements and proposed asphalt milling and resurfacing along the alley frontage and Taylor Street. Refer to CM-101 and CM-501 through CM-503 for Pavement Marking and Signage plans and details.**

21. Applicant will be required to mill & resurface all adjacent streets and alleys to the project. Please add a note to the site plan stating this requirement and provide a Civil plan with hatch showing limits of any trench restoration and limits of pavement mill and resurfacing and restoration of the associated pavement markings.

**RESPONSE: Refer to CP-101 for Paving, Grading and Drainage plans depicting proposed asphalt milling and resurfacing along the alley frontage and Taylor Street.**

22. All pavement markings within the Rights-of-way are to be approved by the Broward County Traffic Engineering Division. This can be provided at time of permitting.

**RESPONSE: Acknowledged.**

23. ADA accessible routes are required between accessibility parking and building access as well as an accessible route to the public rights-of-way. Please add a note on the site plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan.

**RESPONSE: Please refer to the new Site Plan (sheet SP-101) which includes this note as requested. This plan includes a dashed line which identifies the ADA accessible route.**

24. Provide separate dimension for the ADA stall width and the accessible width. Applicant is required to provide a minimum of (1) van accessible space out of the required 7. Please identify this stall and the vertical clearance from the entrance of the garage to this stall for compliance.

**RESPONSE: Please refer to Civil drawings which include the applicable City of Hollywood standard parking details as requested, also refer to Architectural drawings.**

25. Sheets SP-2.2 and SP-2.3, provide ADA accessibility between the ADA parking stalls and the Elevator Lobby accessing the elevators.

**RESPONSE: Please refer to the new Site Plan (sheet SP-101) includes a dashed line which identifies the ADA accessible route.**

26. Please identify how the Trash Room will be accessed for removal and how trash trucks will be situated for trash collection. Provide trash chute for recyclables and for general trash. Trash Room shall be able to accommodate dumpsters. Note 20 on Sheet SP-1.1 indicates trash bins will be used.

**RESPONSE: Trash rooms will be accessed from north side of the building. Trash pickup will occur in the alley.**

27. Sheets SP-2.0 to SP-2.3, garage ramps are showing to be in the Down direction on all sheets with drive aisles traffic circulation going in the Up direction. Please address.

**RESPONSE: Garage ramp directions have been clarified.**

28. Sheets SP-2.0 to SP-2.3, garage ramps are at 16% slopes. Speed ramps are typically limited at 12% slope, consider a transition ramp.

**RESPONSE: Transition slopes (at approx. 8%) added to speed ramp**

29. Please clearly show all aisle space dimensions. Applicant is showing a dimension of 25'-10" on the east aisle but there are columns that intrude into this dimension.

**RESPONSE: Please refer to the new Site Plan (sheet SP-101) includes ground level drive aisle dimensions. Refer to Architectural floor plans for garage drive aisle dimensions.**

30. Pavement marking and signage plans will be required to show how pavement markings and signage will be provided to inform drivers the vehicular traffic circulation is one-way while the design, drive aisle and driveway





widths are sufficient for two-way traffic.

**RESPONSE: Refer to CM-101 and CM-501 through CM-503 for Pavement Marking and Signage plans and details showing traffic circulation.**

31. For the building columns are required to be setback a minimum of 3 feet from the entrance of the stall.

**RESPONSE: Dimensions between columns and parking stall entrances varies, with a minimum of 1'-6" is provided. With a parking aisle of 24' and stall width of 9', we believe 1'-6" is sufficient for maneuvering.**

32. Provide separate civil engineering and streetscape plans and details showing existing conditions and proposed public improvements and work along site's adjacent streets within the rights-of-way. Review and approval by City CRA will be required.

**RESPONSE: Refer to Sheet CP-101 & LH-101 for the proposed public improvements, and work along the adjacent streets. The existing conditions are depicted on Sheet CD-101 & the Survey.**

33. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Continued coordination will be required.

**RESPONSE: Comment acknowledged. Efforts will be made in coordination with the City and the Downtown Community Redevelopment Agency as the project moves through design.**

34. A complete street concept redesign of US1 adjacent to this proposed development's site is currently underway. Proposed site design and all US1 rights-of-way improvements under this project shall coordinate and be compatible with the proposed improvements and vision of the corridor. Please coordinate with FDOT project consultant, Trace Consultants, Inc., Frank Panellas, PE, with notification to City CRA and Engineering, Transportation and Mobility Division staff.

**RESPONSE: KEITH coordinated with Trace Engineering to receive as-built plans and will continue to coordinate as the design is developed.**

35. Provide FDOT Pre Application Letter.

**RESPONSE: Pre application meeting with FDOT District 4 pending for July 2023. Once meeting is held, pre-application meeting notes will be forwarded to reviewer.**

36. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

**RESPONSE: Comment Acknowledged**

37. MOT plans required at the time of City Building Permit review.

**RESPONSE: Comment Acknowledged**

38. All outside agency permits must be obtained prior to issuance of City building permit.

**RESPONSE: Comment Acknowledged**

39. This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO- 2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

**RESPONSE: Comment Acknowledged**

40. More comments may follow upon review of the requested information.

**RESPONSE: Comment Acknowledged**

## **H. LANDSCAPING**

Favio Perez, Landscape Reviewer ([fperez@hollywoodfl.org](mailto:fperez@hollywoodfl.org)) 954-921-3900

Clarissa Ip, Assistant City Engineer ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org)) 954-921-3915

1. No Comment Received.

2. Follow Up with Landscaping

**RESPONSE: KEITH with follow-up with Landscape Reviewer as requested in order to review the proposed design as seen on LP-101 following this TAC submittal as the design has been significantly**





altered from the previous review.

## **I. UTILITIES**

*Alicia Vereas-Feria, Floodplain Development Review Administrator ([avereas-feria@hollywoodfl.org](mailto:avereas-feria@hollywoodfl.org)) 954-921-3302*

1. Submit civil engineering plans indicating existing and proposed water and sewer service for initial review.

**RESPONSE: Refer to CU-101 Water and Sewer Plan indicating existing and proposed water and sewer service.**

2. Show Water and Sewer demand calculations on proposed utilities plans.

**RESPONSE: Refer to CU-101 Water and Sewer Plan for water and sewer demand calculations.**

3. Clarify how the fire line will be serviced for this property, as applicable.

**RESPONSE: Fire line connection will be made on the 8" WM running along N Federal Highway ROW. Refer to CU-101 Water and Sewer Plan.**

4. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices>.

**RESPONSE: Refer to CU-501 through CU-503 for City of Hollywood Water and Sewer Details.**

5. This site resides currently within FEMA Flood Zone X. The proposed FFE shall comply with the greatest of the following three (3) conditions, as applicable.

- a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential use shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.
- b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:  
<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e>; OR
- c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link:  
<https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

**RESPONSE: Proposed FFE has been established at 8.50 ft NAVD 88, complying with both Section 154.50 of the City's Code of Ordinances and Broward County's Preliminary 2019 FEMA Flood Maps. Broward County Future Conditions 100-year Flood Map 2060 states a FFE requirement of 11 ft NAVD 88 minimum. Pre-application meeting with BCRED is pending in order to discuss formal amendment submittal for the required finish floor elevation.**

6. Indicate FFE for all enclosed areas on the ground floor.

**RESPONSE: Refer to CP-101 Paving, Grading and Drainage Plan showing FFE for all enclosed areas on ground floor.**

7. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

**RESPONSE: Refer to sheets CU-301 through CU-302 Cross Sections.**

8. Ensure all stormwater is retained onsite.

**RESPONSE: Refer to CP-101 Paving, Grading and Drainage Plan showing all stormwater is being retained onsite.**

9. Indicate how roof drainage will be collected and connected to the on-site drainage system.

**RESPONSE: MEP will route roof leader internally and connect to proposed cleanouts shown on CP-101 Paving, Grading and Drainage Plan.**

10. Provide preliminary drainage calculations.

**RESPONSE: Refer to preliminary stormwater report and drainage calculations attached.**





11. Submit Erosion Control Plan and details.

**RESPONSE: Refer to Sheets CG-101 through CG-501 for Erosion Control Plan and Details.**

12. Permit approval from outside agencies will be required.

**RESPONSE: RESPONSE: Comment Acknowledged.**

13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

**RESPONSE: Please refer to Sheet LP-101 which includes the civil utilities overlaid to visually verify utilities have been coordinated.**

14. Additional comments may follow upon further review of requested items.

**RESPONSE: Comment Acknowledged.**

#### **J. BUILDING**

*Russell Long, Chief Building Official ([rlong@hollywoodfl.org](mailto:rlong@hollywoodfl.org)) 954-921-3490*

*Daniel Quintana, Assistant Building Official ([dquintana@hollywoodfl.org](mailto:dquintana@hollywoodfl.org)) 954-921-3335*

1. Submittal is substantially complete.

**RESPONSE: Comment Acknowledged**

#### **K. FIRE**

*Jorge Castano, Deputy Fire Marshal / Battalion Chief ([jcastano@hollywoodfl.org](mailto:jcastano@hollywoodfl.org)) 954-967-4404*

1. No comments received.

2. Follow up with Fire.

**RESPONSE: Comment Acknowledged**

#### **L. PUBLIC WORKS**

*Charles Lassiter, Public Works Director ([classiter@hollywoodfl.org](mailto:classiter@hollywoodfl.org)) 954-967-4207*

1. No comments received.

2. Follow up with Public Works.

**RESPONSE: Comment Acknowledged**

#### **M. PARKS, RECREATION AND CULTURAL ARTS**

*David Vazquez, Assistant Director ([dvazquez@hollywoodfl.org](mailto:dvazquez@hollywoodfl.org)) 954-921-3404*

1. No comments received.

2. Follow up with Parks.

**RESPONSE: Comment Acknowledged**

#### **N. COMMUNITY DEVELOPMENT**

*Liliana Beltran, Housing inspector ([ibeltran@hollywoodfl.org](mailto:ibeltran@hollywoodfl.org)) 954-921-2923*

1. No comments received.

2. Follow up with Community Development.

**RESPONSE: Comment Acknowledged**





## **O. ECONOMIC DEVELOPMENT**

Raelin Storey, Director ([rstorey@hollywoodfl.org](mailto:rstorey@hollywoodfl.org)) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager ([hconde-parlato@hollywoodfl.org](mailto:hconde-parlato@hollywoodfl.org)) 954-924-2922  
Tekisha Jordan, Principal Planner ([tjordan@hollywoodfl.org](mailto:tjordan@hollywoodfl.org)) 954-924-2922

1. What types of retail is envisioned for approximate 8,500 SF of proposed space?

**RESPONSE:** For the 8,200 SF of commercial space, we envision a neighborhood retail / restaurant.

2. How many new jobs are projected as a result of this project?

**RESPONSE:** We anticipate a substantial number of jobs created not only during the construction of project, but also for the future commercial space. Estimated job numbers to be determined at a later date.

## **P. POLICE DEPARTMENT**

Christine Adamcik, Police ([cadamcik@hollywoodfl.org](mailto:cadamcik@hollywoodfl.org)) 954-967-4371

Steven Bolger, Police ([sbolger@hollywoodfl.org](mailto:sbolger@hollywoodfl.org)) 954-967-4500

Doreen Avitabile, Police ([davitabile@hollywoodfl.org](mailto:davitabile@hollywoodfl.org)) 954-967-4371

1. No comments received.

2. Follow up with Police.

**RESPONSE:** Comment Acknowledged

## **Q. DOWNTOWN AND BEACH CRA**

Jorge Camejo, Executive Director ([jcamejo@hollywoodfl.org](mailto:jcamejo@hollywoodfl.org)) 954-924-

2980 Susan Goldberg, Deputy Director ([sgoldberg@hollywoodfl.org](mailto:sgoldberg@hollywoodfl.org)) 954-924-2980

Francisco Diaz-Mendez, Project Manager ([fdiaz-mendez@hollywoodfl.org](mailto:fdiaz-mendez@hollywoodfl.org)) 954-924-2980

1. No comments received.

2. Follow up with Downtown and Beach CRA

**RESPONSE:** Comment Acknowledged

## **R. PARKING**

Jovan Douglas, Parking Administrator ([jdouglas@hollywoodfl.org](mailto:jdouglas@hollywoodfl.org)) 954-921-3548

1. No comments received.

2. Follow up with Parking.

**RESPONSE:** Comment Acknowledged

## **S. ADDITIONAL COMMENTS**

Mawusi Khadija Watson, Planning Administrator ([mwatson@hollywoodfl.org](mailto:mwatson@hollywoodfl.org)) 954-921-3471

1. Additional comments may be forthcoming.

**RESPONSE:** Comment Acknowledged

