#### **PLANNING DIVISION**



File No. (internal use only):

# **GENERAL APPLICATION**

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

	APPLICATION TYPE (CHECK ONE):							
	I Historic Preservation Board							
I I i i i i i i i i i i i i i i i i i i	City Commission							
FLORIDA	Date of Application: 07/03/23							
	Location Address: 1817 TAYLOR STREET, HOLLYWOOD, FL 33020							
Tel: (954) 921-3471	Location Address:         Image: Terminal control of the left of the l							
Fax: (954) 921-3347	Folio Number(s): 514215018240							
	Zoning Classification: PD Land Use Classification: RAC							
This application must be	Existing Property Use: VACANT Sq Ft/Number of Units:							
completed in full and	Is the request the result of a violation notice? () Yes 🚫 No If yes, attach a copy of violation.							
submitted with all documents to be placed on a Board or	Has this property been presented to the City before? If yes, check al that apply and provide File							
Committee's agenda.	Number(s) and Resolution(s): 22-DPJPD-62							
	Economic Roundtable 🛛 🔀 Technical Advisory Committee 🔤 Historic Preservation Board							
The applicant is responsible for obtaining the appropriate	City Commission							
checklist for each type of	Explanation of Request: FINAL TAC REVIEW							
application.	Amendment to approvals O-2015-16 and R-2015-230							
Applicant(s) or their authorized legal agent must be	Number of units/rooms: 248 UNITS Sq Ft: 511,620 SF							
present at all Board or Committee meetings.	Value of Improvement: Estimated Date of Completion: JULY 2026							
ooninintee meetings.	Will Project be Phased? () Yes (X)No If Phased, Estimated Completion of Each Phase							
At least one set of the								
submitted plans for each	Name of Current Property Owner: 1817 TAYLOR ST DEVELOPMENT, LLC							
application must be signed and sealed (i.e. Architect or	Address of Property Owner: <u>1212 NW 82ND AVE, DORAL, FL, 33126</u>							
Engineer).	Telephone: 305-400-1397 Fax: Email Address: aensinck@me.com							
	Name of Consultant/Representative/Tenant (circle one): SANTIAGO TERAN							
Documents and forms can be accessed on the City's website	Address: 2125 BISCAYNE BLVD, SUITE 206 Telephone: 347-506-6371							
at	Fax: Email Address:							
http://www.hollywoodfl.org/Do cumentCenter/Home/View/21	Date of Purchase: $03/30/2022$ Is there an option to purchase the Property? Yes ( ) No (X)							
cumentCenter/Home/view/21	If Yes, Attach Copy of the Contract.							
	List Anyone Else Who Should Receive Notice of the Hearing:							
T A PA	Gianfranco Speciale Address: 1212 NW 82ND AVE, DORAL, FL, 33126							
	Email Address: gianfrancospe@hotmail.com							

**PLANNING DIVISION** 



Hollywood, FL 33022

File No. (internal use only):

# **GENERAL APPLICATION**

#### **CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations. Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (1)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: 07/03/23
PRINT NAME: Alejandro Ensinck	Date: 07/03/2023
Signature of Consultant/Representative:	Date:
PRINT NAME: Santiago Teran	Date: 07/03/2023
Signature of Tenant:	Date:
	Date:
Current Owner Power of Attorney	

#### I am the current owner of the described real property and that I am aware of the nature and effect the request for to my property, which is hereby made by me or I am hereby authorizing

SANTIAGO TERAN to be my legal representative before the TECHNICAL ADVISORY COMMITTEE (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this day of

Signature of Current Owner

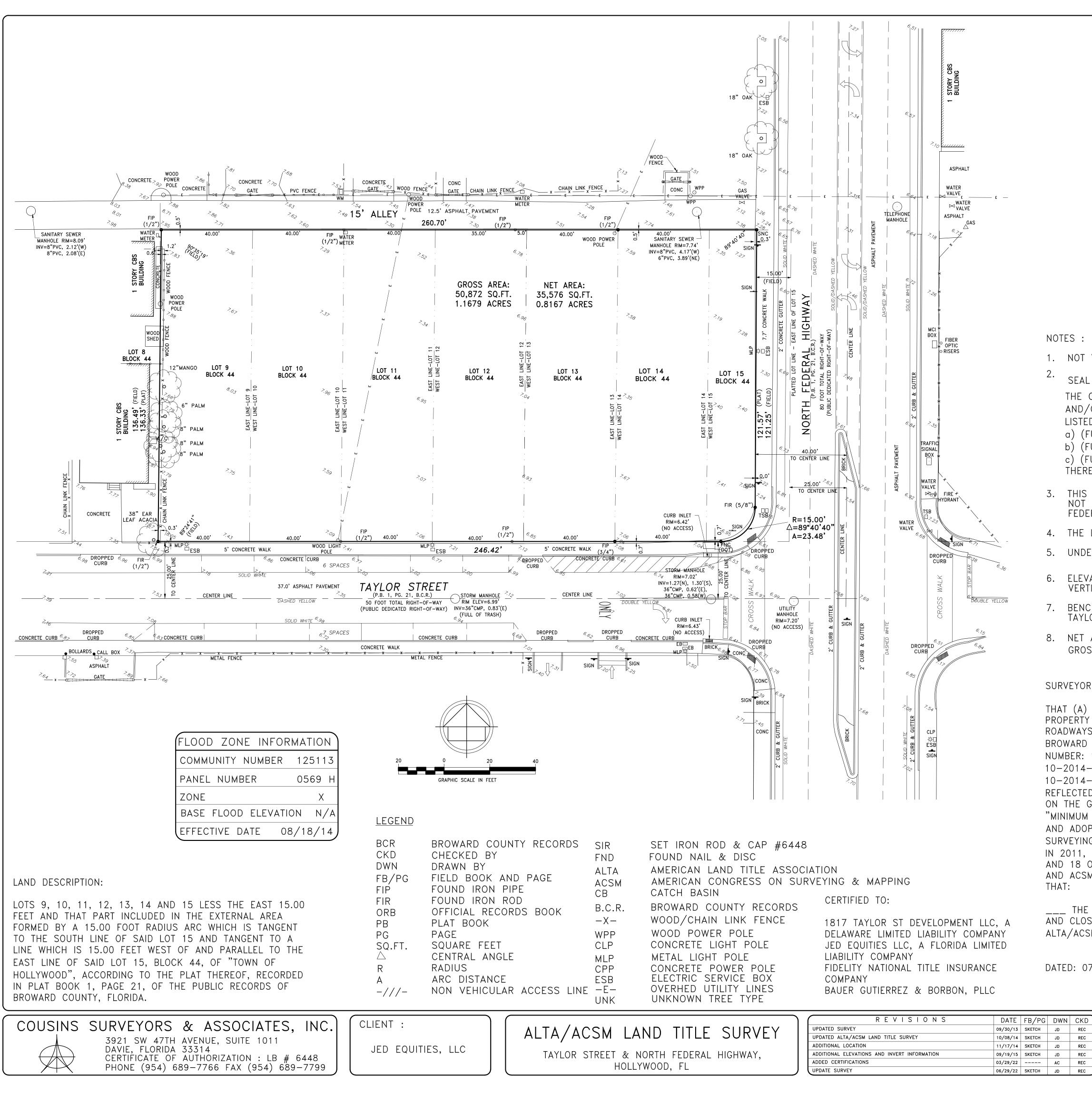
ENSINCK ALWATIORS

Print Name

Notary Public

State of Florida

My Commission Expires: (Check One) Personally known to me; OR Produced Identification



NOTES :

- Ζ.

SURVEYOR'S CERTIFICATION

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN BROWARD COUNTY, FLORIDA (ACCORDING TO OWNERSHIP AND ENCUMBRANCES REPORTS; FUND FILE NUMBER: 10-2014-109061, FROM JULY 30, 2010 TO OCTOBER 6, 2014. (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013, AND (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014.), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

\_\_\_\_ THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 07/03/

REC

REC

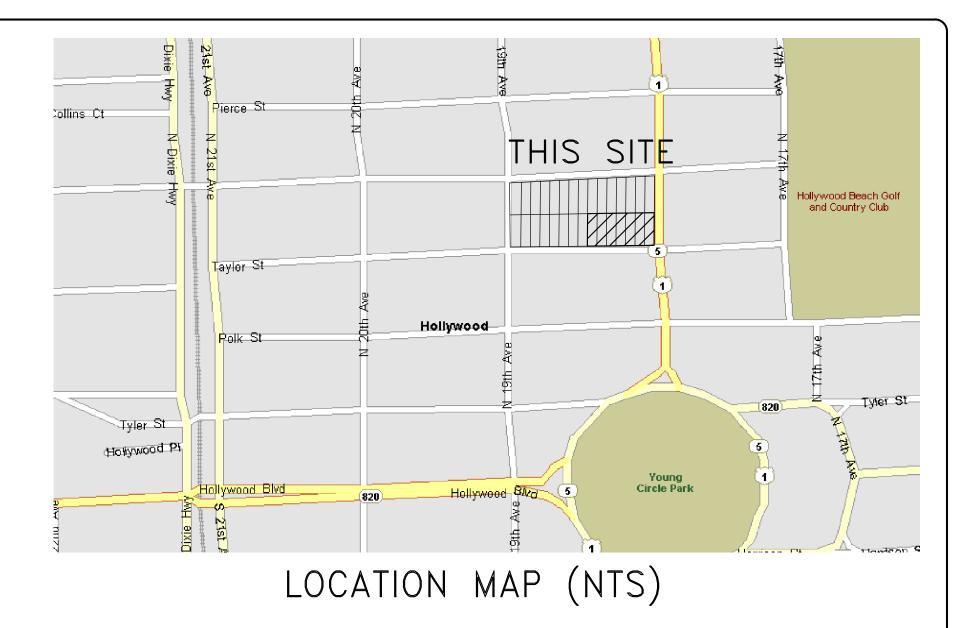
REC

REC

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1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED

SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON THE OWNERSHIP & ENCUMBRANCES REPORTS. LISTED HEREON, ISSUED BY ATTORNEYS' TITLE FUND SERVICES, LLC. a) (FUND FILE NO.: 10-2014-109061)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014. b) (FUND FILE NO.: 10-2014-109062)-EFFECTIVE DATE FROM JULY 30, 2010 TO NOVEMBER 8, 2013. c) (FUND FILE NO.: 10-2014-109063)-EFFECTIVE DATE FROM JULY 30, 2010 TO OCTOBER 6, 2014. THERE ARE NO PLOTTABLE ENCUMBRANCES

THIS SURVEY WAS DONE SOLEY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.

4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.

5. UNDERGROUND IMPROVEMENTS NOT SHOWN.

6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

7. BENCHMARK DESCRIPTION : CITY OF HOLLYWOOD BENCHMARK @ TAYLOR STREET & 18TH AVENUE. ELEVATION = 9.55'(NGVD29) - 8.04'(NAVD88)

8. NET AREA (TO R/O/W LINES & PROPERTY LINES) = 35,576 SQ.FT. (0.8167 ACRES) GROSS AREA (TO CENTERLINE OF R/O/W) = 50,872 SQ.FT. (1.1679 ACRES)

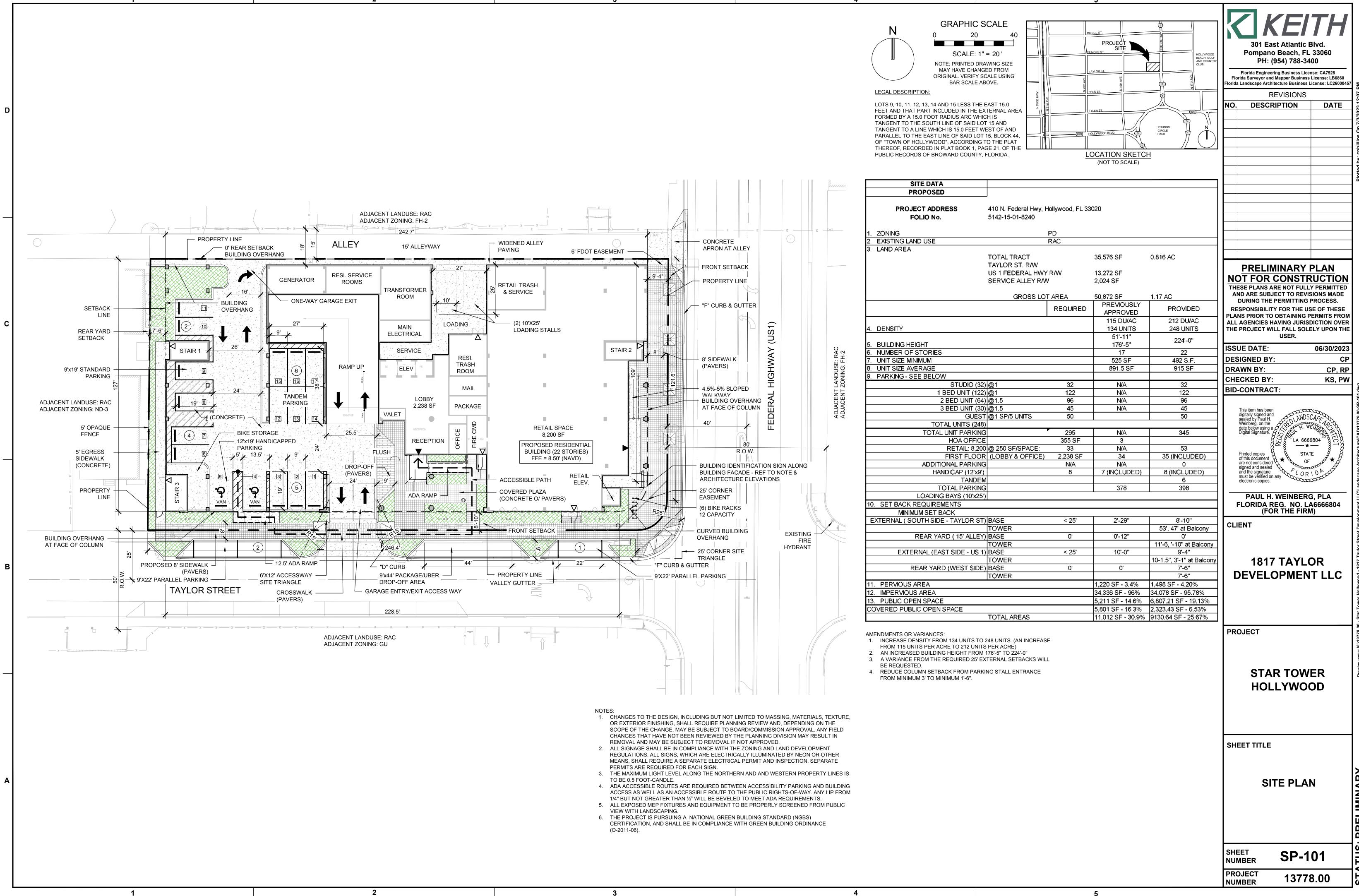
/23 FOR THE FIRM BY: Dud	and	<i>C</i> . (	$\int $	$\overline{}$						
RICHARD E. COUSINS PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION No. 4188.										
R E V I S I O N S	DATE 07/03/23	- /	DWN JD	CKD rec	PROJECT NUMBER : 4816-04 SHEET					
					SCALE : 1" = 20'					

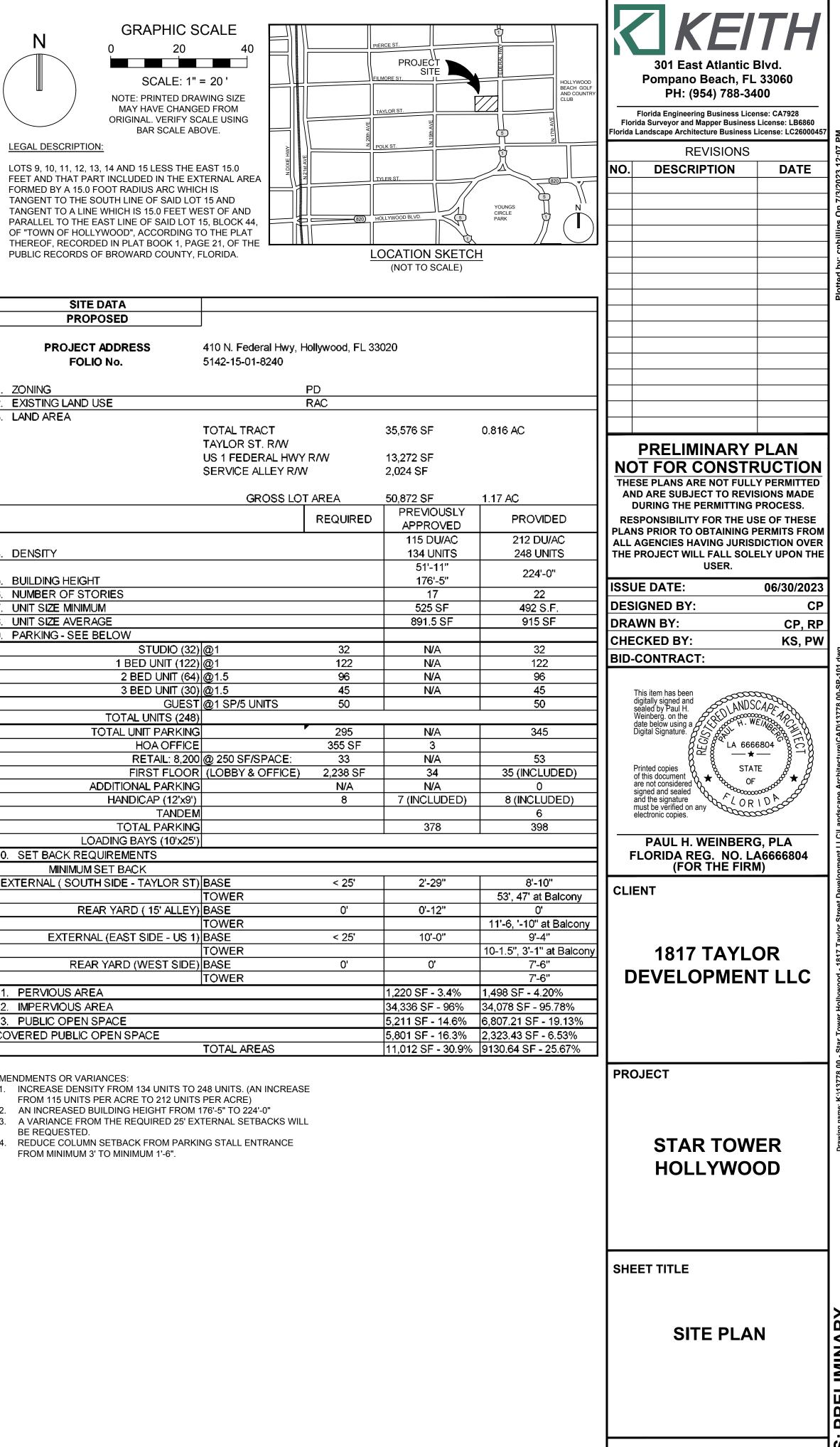


## TAC 2 SUBMITTAL - 7/17/2023 CITY FILE REFERENCE: 22-DPJPD-62

ARCHITECT OF RECORD DC BC ARCHITECTS AIA, INC. 75 VALENCIA AVENUE, SUITE 1000 CORAL GABLES, FLORIDA 33143 Tel. 305.663.8182 Fax 305.663.8882 Firm License Number: AA0003360 C ARCHITECTS 2023 ALL RIGHTS RESERVED CONSULTANTS : **STAR TOWER** HOLLYWOOD 401 N FEDERAL HWY Hollywood, Florida 33020 OWNER: 1817 Taylor St. Development LLC NO. DATE REVISIONS SIGNED BY: VANESSA A. JIMENEZ FLORIDA ARCHITECT KEY PLAN TAC 2-7/17/2023 Comm. Num.: 2218.00 Scale: Author Drawn: Checker Checked: SHEET TITLE COVER SHEET SHEET NUMBER COVER TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODES AND LIFE SAFETY STANDARDS

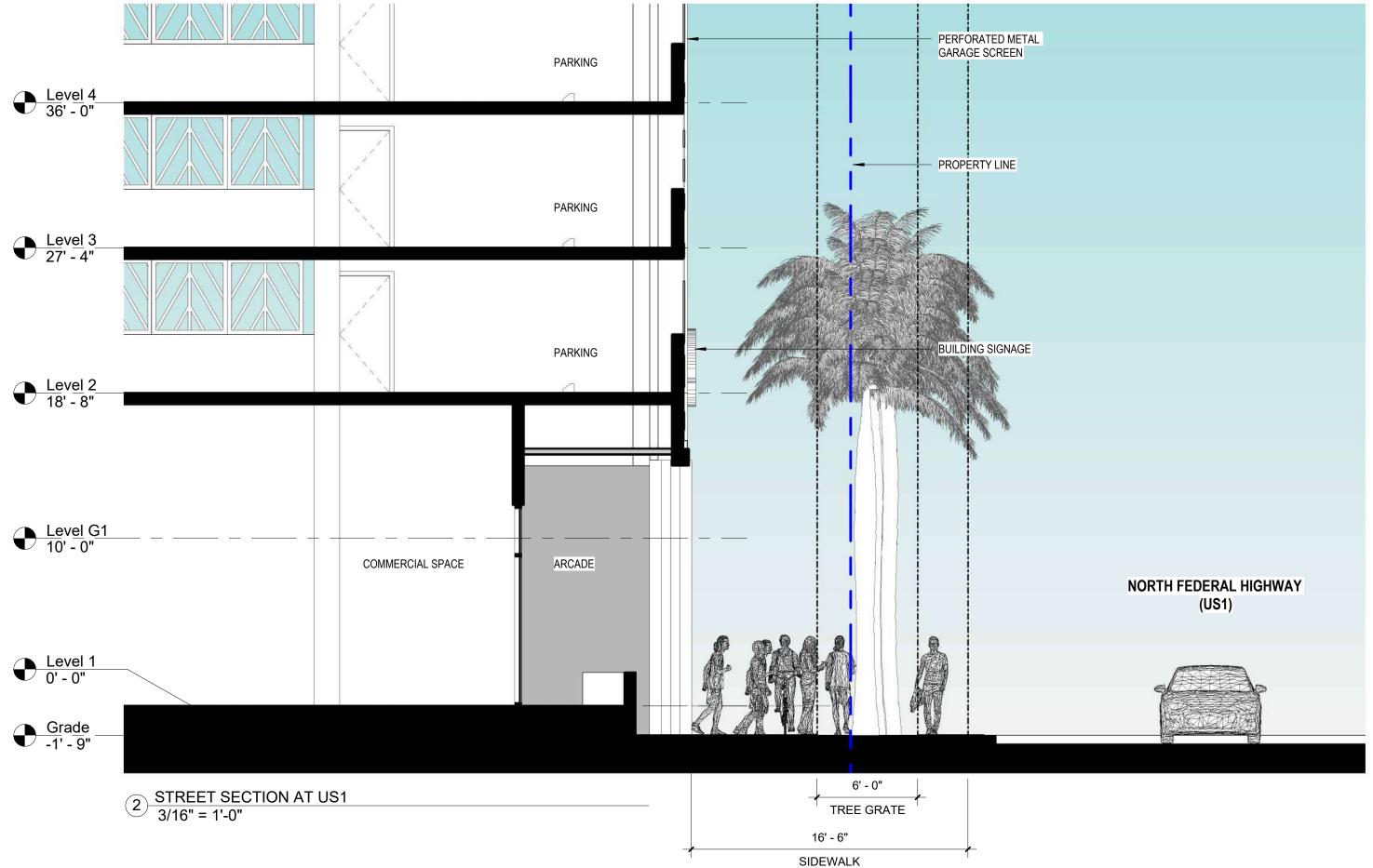
COVER	PROJECT COVER SHEET
	SITE PLAN AND ARCHITECTURE
SP-101	SITE PLAN
SP-1.2	STREET SECTIONS
SP-2.0	GROUND FLOOR PLAN
SP-2.1	MEZZANINE LEVEL FLOOR PLAN
SP-2.2	PARKING LEVELS 2-4 FLOOR PLAN
SP-2.3	PARKING LEVELS 5-6 FLOOR PLAN
SP-2.4	LEVEL 7 FLOOR PLAN
SP-2.5	LTYPICAL LEVELS 8-22 FLOOR PLAN
SP-2.6	ROOF LEVEL FLOOR PLAN
SP-3.0	SOUTH ELEVATION
SP-3.1	NORTH ELEVATION
SP-3.2	EAST ELEVATION
SP-3.3	WEST ELEVATION
SP-3.4	BUILDING SECTION
SP-3.5	BUILDING DETAILS AND MATERIALS
	CIVIL
GI-000	CIVIL COVER SHEET
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
SP-102	VEHICLE TRUCK TURN PLAN
CG-101	EROSION CONTROL PLAN
CG-501	EROSION CONTROL DETAILS
CD-101	DEMOLITION PLAN
CP-101	PAVING, GRADING, AND DRAINAGE PLAN
CP-301 - CP-302	CROSS SECTIONS
CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE DETAILS
CU-101	WATER AND SEWER PLAN
CU-501 - CU-503	WATER AND SEWER DETAILS
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN
CM-501 - CM-502	PAVEMENT MARKING AND SIGNAGE DETAILS
2	LANDSCAPE
CVR-000	COVER SHEET
LD-101	TREE DISPOSITION PLAN
LH-001	GENERAL NOTES, LEGEND AND SCHEDULE
LH-101	HARDSCAPE PLAN
LP-001	PLANTING NOTES
LP-101	PLANTING PLAN
LP-501	PLANTING DETAILS
LL-101	EXTERIOR LIGHTING AND PHOTOMETRICS PLAN

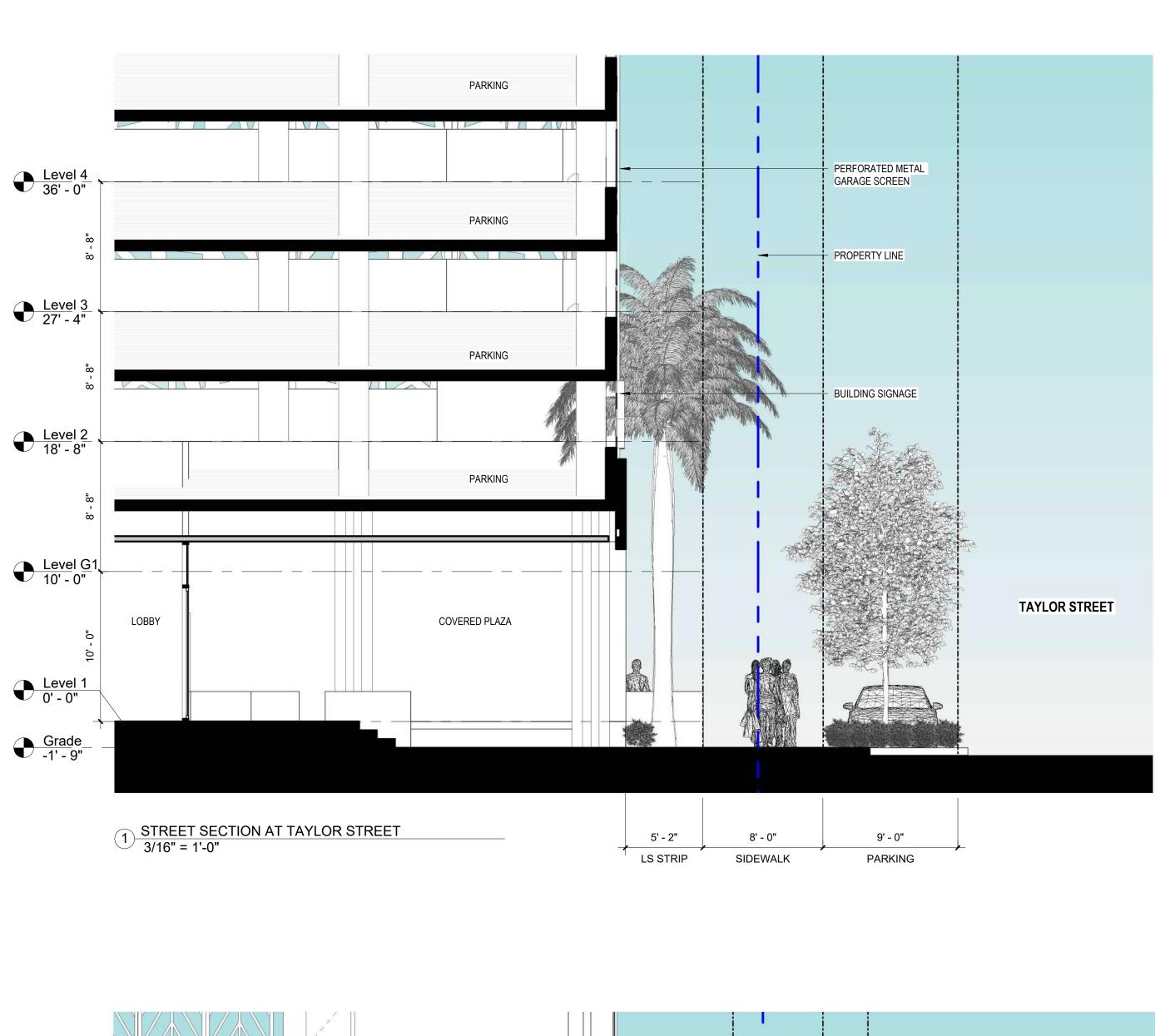


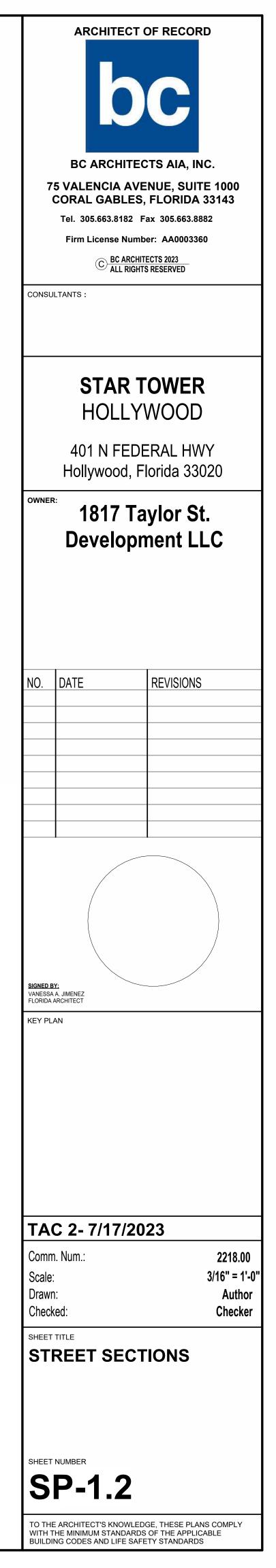


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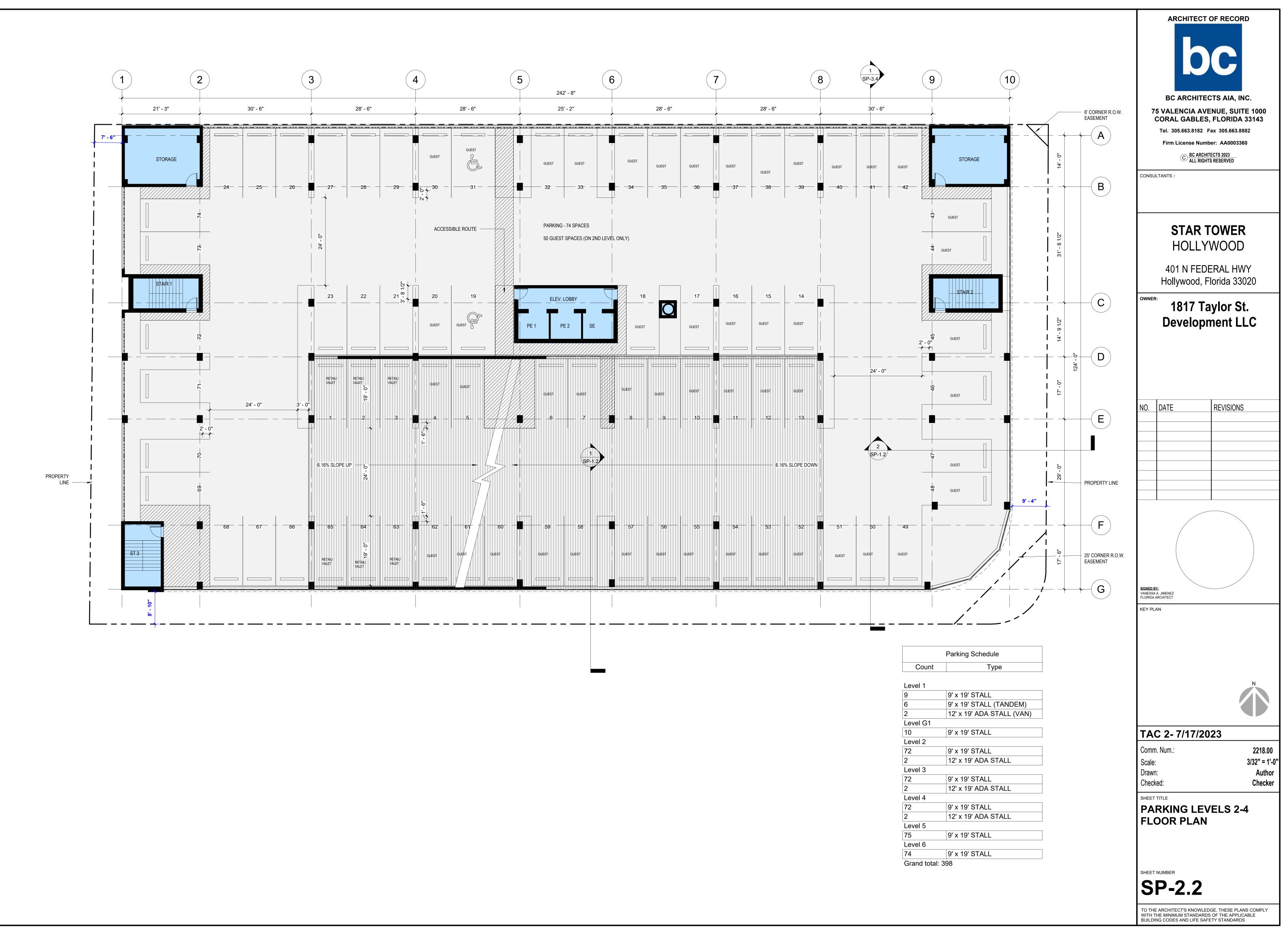




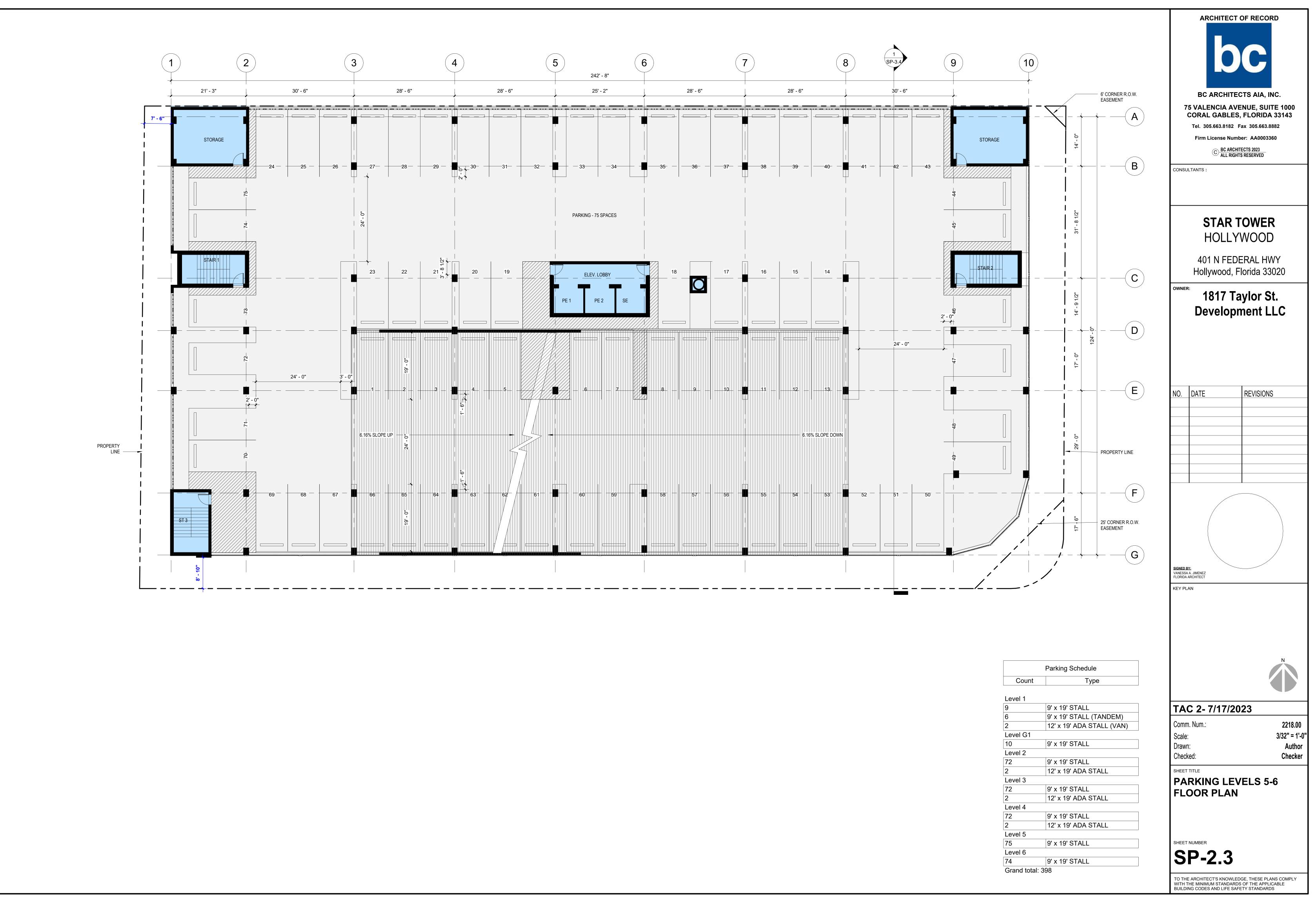




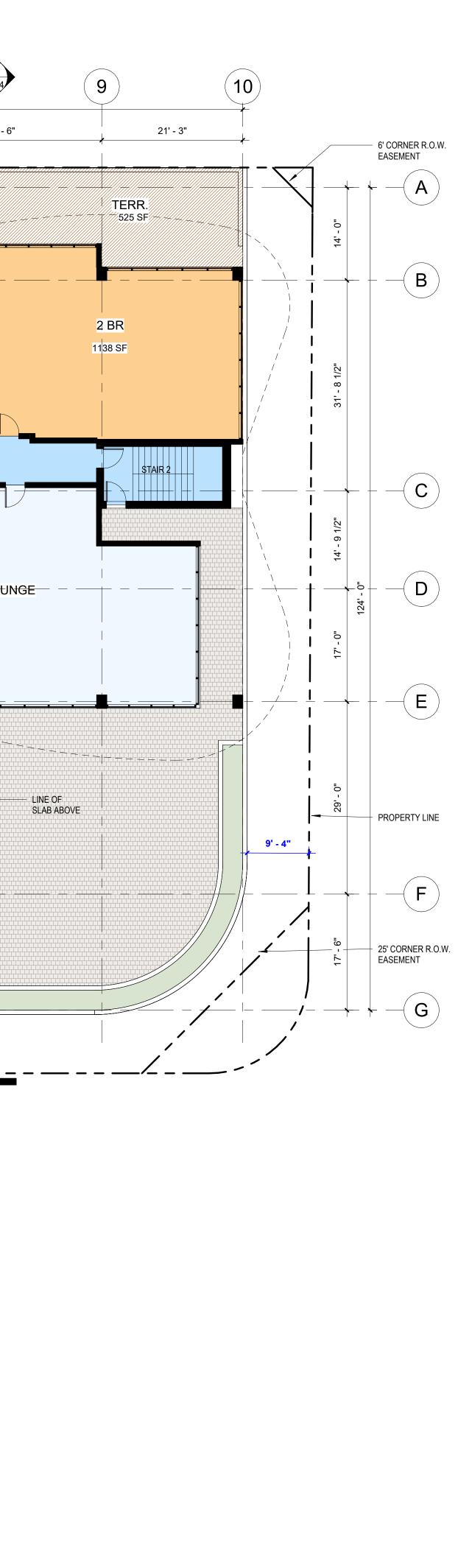




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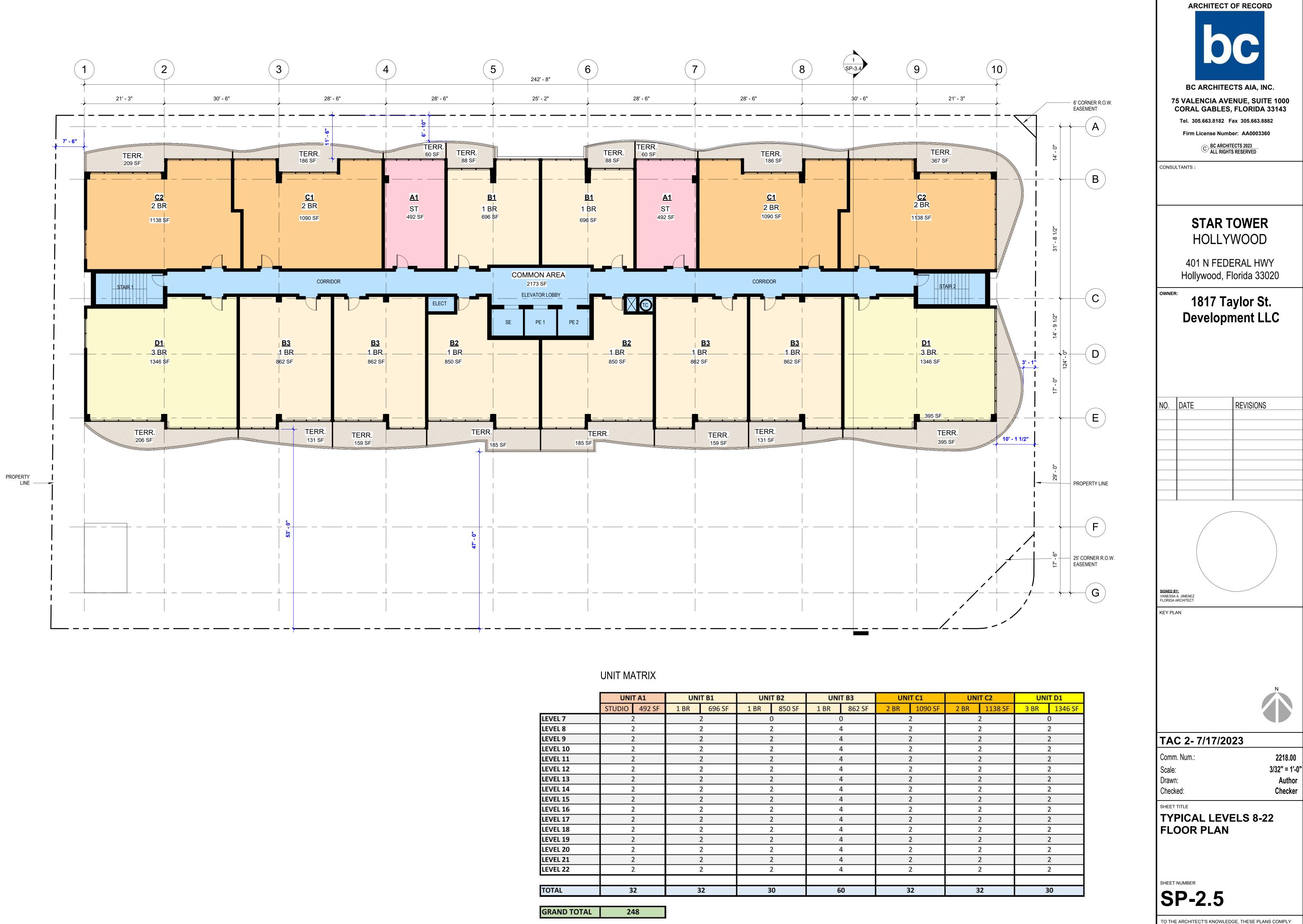






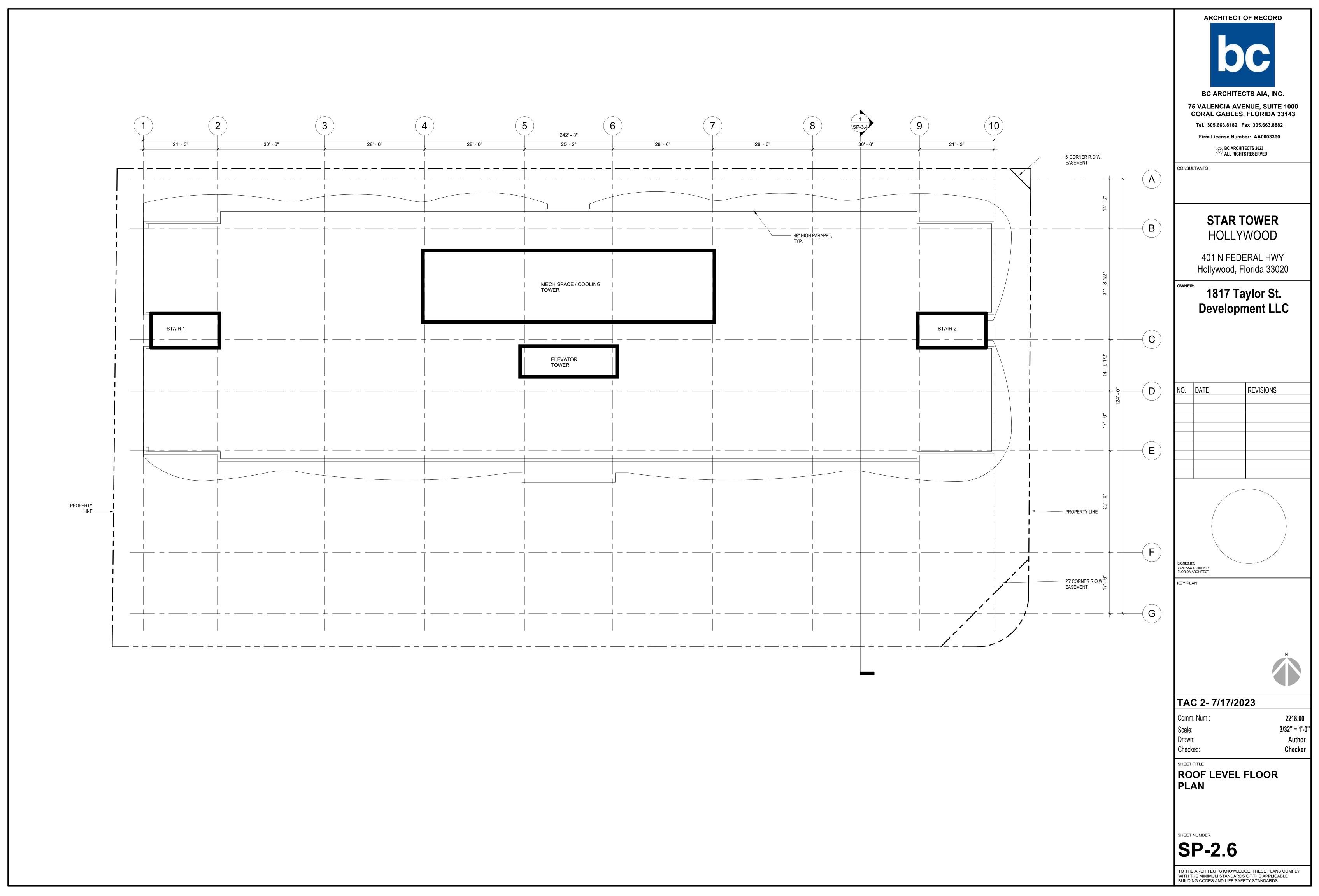
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STAR TOWER HOLLYWOOD401 N FEDERAL HWY Hollywood, Florida 33020OWNER:1817 Taylor St. Development LLC										
NO.	DATE	REVISIONS								
VANESSA FLORIDA A	SIGNED BY: VANESSA A. JIMENEZ FLORIDA ARCHITECT KEY PLAN									
N           Ф           ТАС 2- 7/17/2023           Comm. Num.:         2218.00										
Scale:3/32" = 1'-0"Drawn:AuthorChecked:CheckerSHEET TITLE										
SHEET NUMBER SHEET NUMBER SP-2.4										

WITH THE MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODES AND LIFE SAFETY STANDARDS



	UNIT	ſA1	UN	T B1	UN	T B2	UNIT B3		
	STUDIO	492 SF	1 BR	696 SF	1 BR	850 SF	1 BR	862 SF	
LEVEL 7	2			2		0		0	
LEVEL 8	2	hi .	1000	2		2		4	
LEVEL 9	2	1		2		2		4	
LEVEL 10	2	63		2		2		4	
LEVEL 11	2	2		2		2		4	
LEVEL 12	2	2		2		2	4		
LEVEL 13	2	6	41.50	2		2	4		
LEVEL 14	2			2		2	4		
LEVEL 15	2		2		2		4		
LEVEL 16	2	1 28	2		2		4		
LEVEL 17	2	la -	1	2		2	4		
LEVEL 18	2	9	- 10474	2		2	4		
LEVEL 19	2	ų.		2		2	4		
LEVEL 20	2			2		2	4		
LEVEL 21	2	5		2		2	4		
LEVEL 22	/EL 22 2			2		2	4		
TOTAL	3	2	9	32	3	80	6	60	
GRAND TOTAL	24	8							

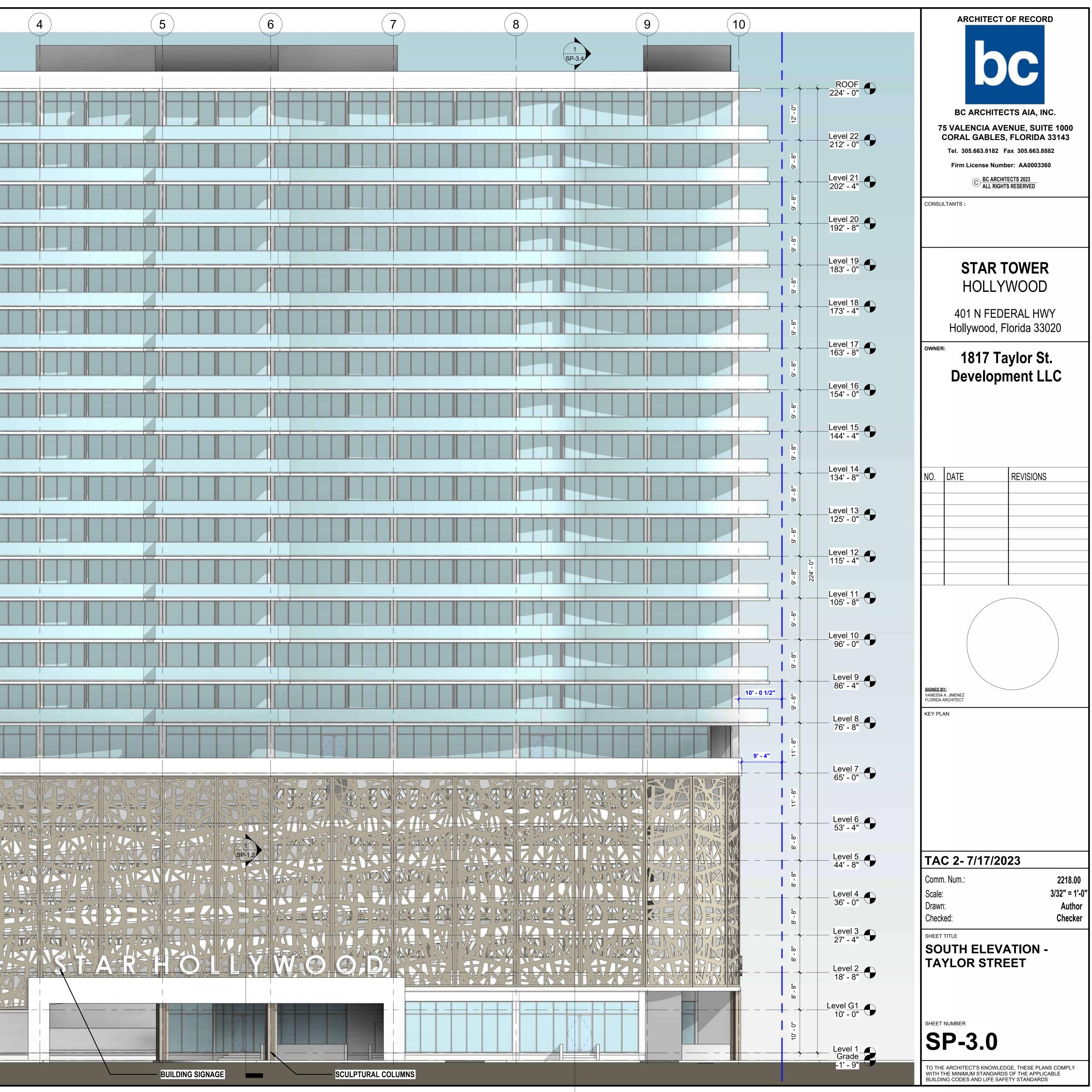
WITH THE MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODES AND LIFE SAFETY STANDARDS



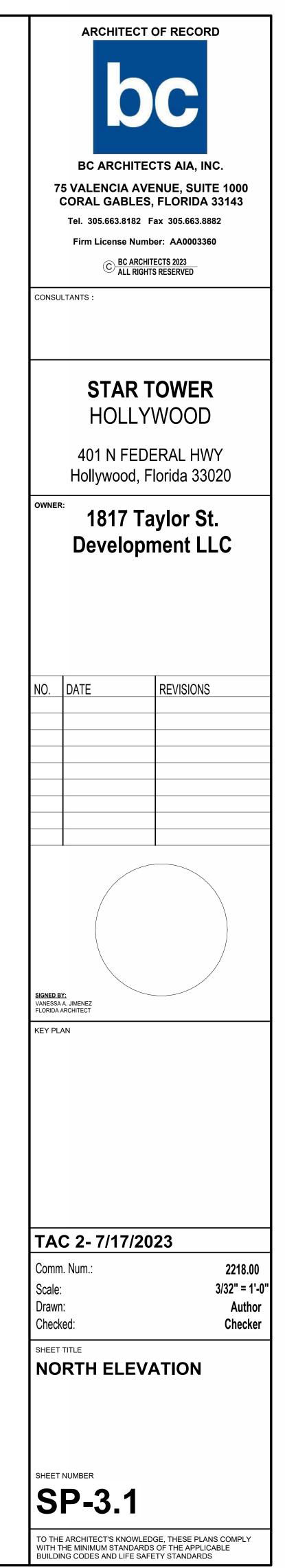
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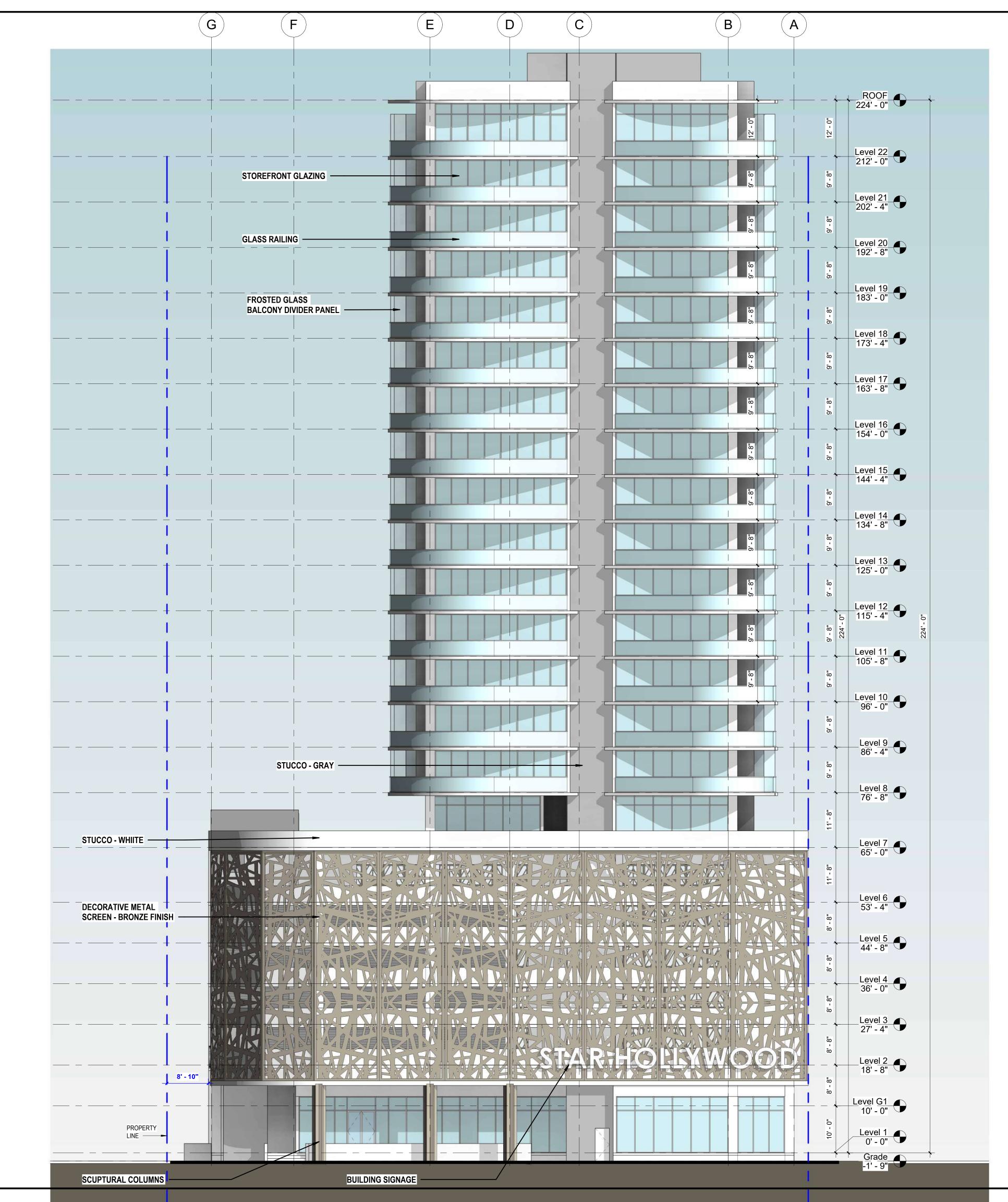
	(1)		2			3		
STUCCO - GRAY								
 STUCCO - WHITE								
 STOREFRONT								
 GLAZING								
GLASS RAILING								
1. 1								
 · ·								
5TUCCO - GRAY	" - 5"							
		- 2"			Da Dea		7.998	D.ª Dez
DECORATIVE METAL								
 SCREEN - BRONZE _								
PROPERTY				T				

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	10	9	1 SP-3.4	8	7	6	5	4	3	2		
											12 <sup>-</sup> 0 <sup>-</sup>	ROOF 224' - 0"
STOREFRONT GLAZING												Level 22 212' - 0"
GLASS RAILING												Level 21 202' - 4"
												Level 20 192' - 8"
												Level 19 183' - 0"
												Level 18 173' - 4"
											6	Level 17 163' - 8"
											6 8	Level 16 154' - 0" Level 15 144' - 4"
												Level 14 134' - 8"
											.6	Level 13 125' - 0"
												Level 12 115' - 4"
											9' - 8"	Level 11 105' - 8"
												Level 10 96' - 0"
												Level 9 86' - 4"
												Level 8 76' - 8"
STUCCO - WHITE											118"	Level 7 65' - 0"
											11'- 8"	
DECORATIVE METAL SCREEN - BRONZE FINIS											 	
—DECORATIVE METAL —												44' - 8" Level 4 36' - 0"
												Level 3 27' - 4"
												Level 2 18' - 8"
STUCCO - LIGHT GRA						18'- 0"					18	Level G1 10' - 0"
												Level 1 Grade -1' - 9"

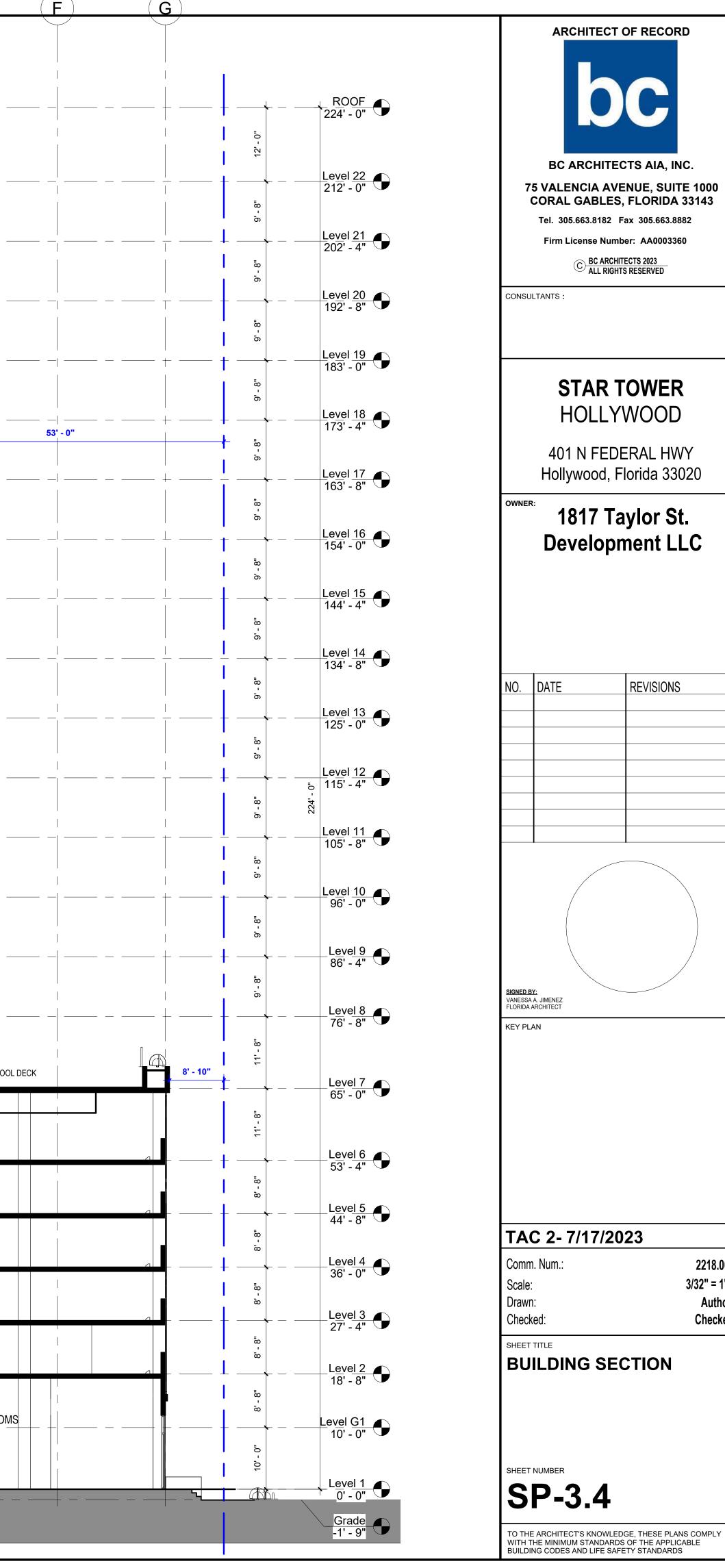




	ORAL GABLES, Tel. 305.663.8182 F Firm License Numb	CTS AIA, INC. TS AIA, INC. NUE, SUITE 1000 FLORIDA 33143 ax 305.663.8882 er: AA0003360
CONSUL	C BC ARCHIT	ECTS 2023 S RESERVED
OWNER:	STAR T HOLLY 401 N FEDE Hollywood, F 1817 Ta	WOOD ERAL HWY lorida 33020
	Developn	nent LLC
NO.	DATE	REVISIONS
SIGNED BY		
VANESSA A FLORIDA AI	RCHITECT	
Comm. Scale: Drawn: Checke		<b>23</b> 2218.00 3/32" = 1'-0 Author Checker
	ST ELEVAT DERAL HIG	
SHEET N	NUMBER P-3.2	

	<b>A</b> (	B	С		( <b>F</b> ) (	G			ARCHITECT OF RECORD
									bC
							<b>\</b>	ROOF 224' - 0"	BC ARCHITECTS AIA, INC.
								Level 22 212' - 0"	75 VALENCIA AVENUE, SUITE 1000 CORAL GABLES, FLORIDA 33143 Tel. 305.663.8182 Fax 305.663.8882
STOREFRONT GLAZING					,			Level 21 202' - 4"	Firm License Number: AA0003360 C BC ARCHITECTS 2023 ALL RIGHTS RESERVED
GLASS RAILING					,			Level 20 192' - 8"	CONSULTANTS :
							8 - 5	Level <u>19</u> 183' - 0"	STAR TOWER
							- 0 - 0		HOLLYWOOD
								Level 18 173' - 4"	401 N FEDERAL HWY Hollywood, Florida 33020
						- +		Level <u>17</u> 163' - 8"	1817 Taylor St. Development LLC
					!	- 上		Level 16 154' - 0"	
				 	/	- <u>L</u>		Level 15 144' - 4"	
					!			Level 14 134' - 8"	NO. DATE REVISIONS
							ō 	Level <u>13</u> 125' - 0"	
						-		Level <u>12</u> 115' - 4"	
						- + 1		Level 11 105' - 8"	
					   	   - +		Level 10 96' - 0"	
			_		   	   - <del> </del>	8 - -	Level 9 86' - 4"	SIGNED BY: VANESSA A. JIMENEZ FLORIDA ARCHITECT
					   	   - <del> </del>		Level 8 76' - 8"	VANESSA A. JIMENEZ FLORIDA ARCHITECT KEY PLAN
							11' - 8"		
STUCCO - GRAY			-		 			Level 7 65' - 0"	
STUCCO - WHITE			-					Level 6 53' - 4"	
			- +			8' - 10"		Level 5 44' - 8"	TAC 2- 7/17/2023           Comm. Num.:         2218.00
DECORATIVE METAL GRILLE PANELS - BRONZE FINISH							8 	Level 4 36' - 0"	Scale:3/32" = 1'-0"Drawn:AuthorChecked:Checker
			-					Level 3 27' - 4"	SHEET TITLE WEST ELEVATION
								L <u>evel 2</u> 18' - 8"	
								Level G1 10' - 0"	SHEET NUMBER SP-3.3
				<u> </u>				Level 1 Grade -1' - 9"	TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODES AND LIFE SAFETY STANDARDS

	( <b>A</b> )	<u> </u>		( <b>C</b> )		<u>    ( E  )                             </u>	
		-	16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
	11' - 6"		16 RESIDENTIAL UNITS				
[							
			16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
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			16 RESIDENTIAL UNITS				
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			16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
			16 RESIDENTIAL UNITS				
		-	8 RESIDENTIAL UNITS		AMENITIES		
							POOL DEC
			PARKING - 75 SPACES				
			PARKING - 75 SPACES				
			PARKING - 74 SPACES				
			PARKING - 74 SPACES				
			PARKING - 74 SPACES				
			PARKING - 10 SPACES				
3' - 0"			(MEZZANINE)		RETA	IL, RESIDENTIAL LOBBY, S BLE-HEIGHT SPACE)	ERVICE ROOMS
Property Line			PARKING - 17 SPACES				



TO THE ARCHITECT'S KNOWLEDGE, THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODES AND LIFE SAFETY STANDARDS

2218.00

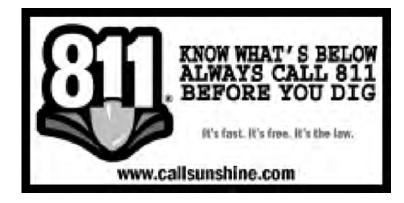
3/32" = 1'-0"

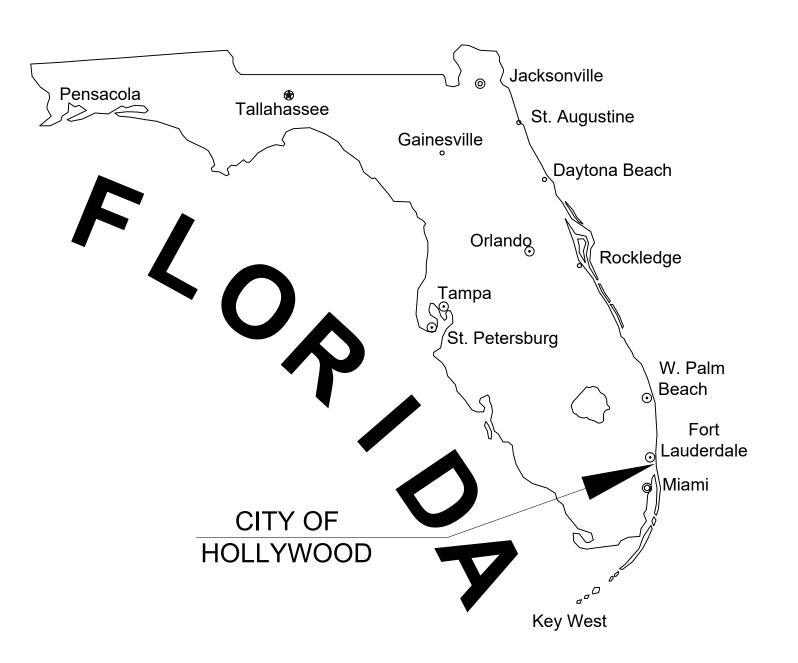
Author

Checker

# STAR TOWER HOLLYWOOD TECHNICAL ADVISORY COMMITTEE LANDSCAPE DRAWINGS JULY 3RD, 2023

THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.





# 410 N. FEDERAL HIGHWAY, HOLLYWOOD BROWARD COUNTY, FLORIDA 33020

PREPARED FOR: 1817 TAYLOR DEVELOPMENT LLC.

		740	C SUBMITT	14, 0500	5053 (505)	
INDE	X OF SHEETS					
SHEET IDENTIFICATON	SHEET TITLE					
LANDSCAPE						
CVR-000	COVER SHEET					
LD-101	TREE DISPOSITION PLAN					
LH-001	GENERAL NOTES, LEGEND, & SCHEDULE					
LH-101	HARDSCAPE PLAN					
LP-001	PLANTING NOTES					
LP-101	PLANTING PLAN					
LP-501	PLANTING DETAILS					
LL-101	EXTERIOR LIGHTING & PHOTOMETRICS PLAN					

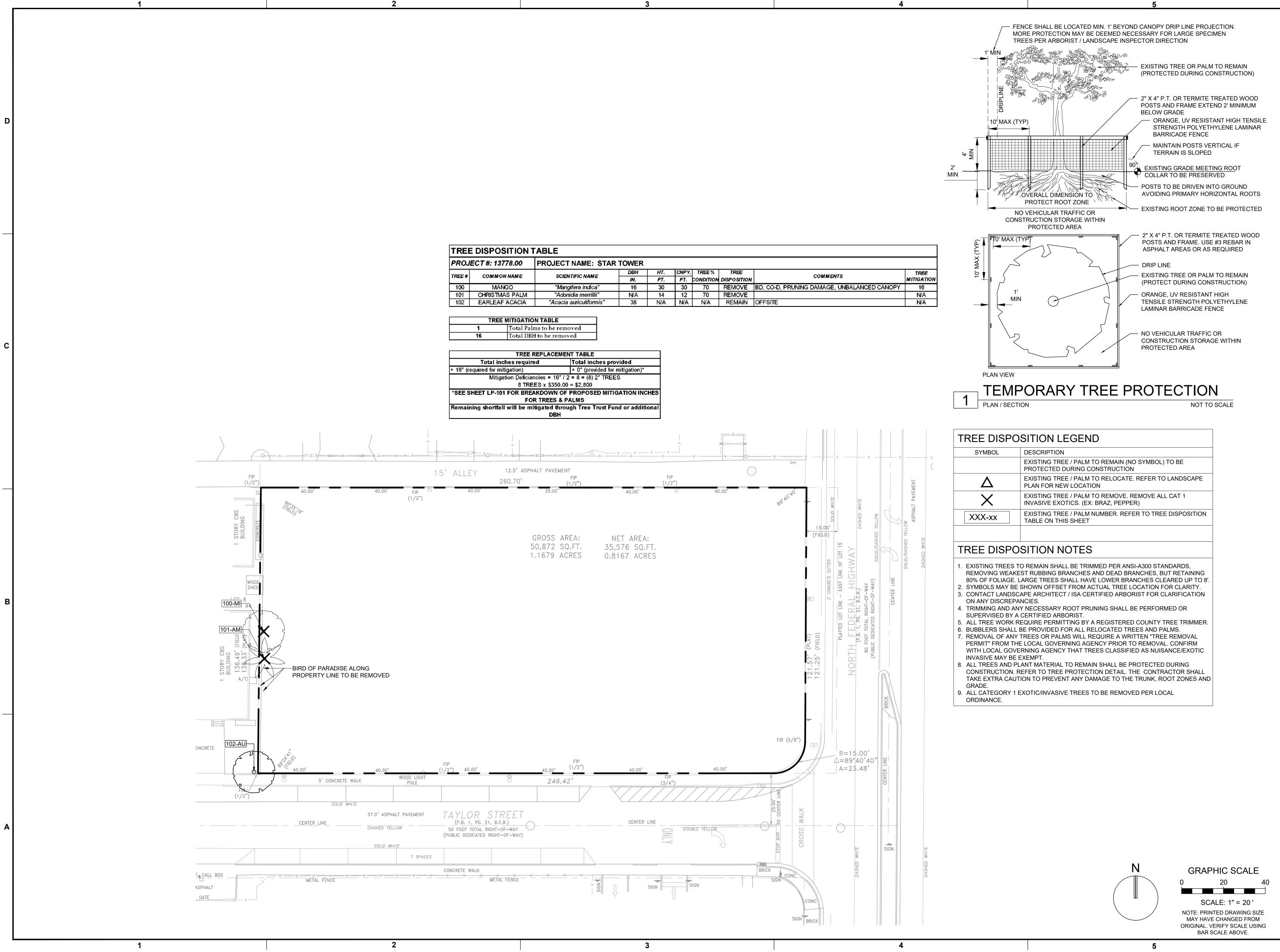
# TECHNICAL ADVISORY SUBMITTAL: JULY 3RD. 2023

# TECHNICAL ADVISORY REVIEW: JULY 17TH, 2023



PROJECT No. 13778.00 JULY 3RD, 2023

PAUL H. WEINBERG, R.L.A FLORIDA REG. NO. LA6666804 (FOR THE FIRM)



	Por	)1 Eas ipano PH: (9	t Atla Beac 954) 78	– – ntic E h, FL 38-34	33060 00	
	rida Surve	eyor and	Mapper B	usiness	nse: CA7928 License: LB6860	
Florida	a Landsca				icense: LC260004	57
					DATE	
NO.	D	ESCR	IPTIO	N	DATE	_
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LD-101 13778.00

NUMBER

PROJECT

NUMBER

#### GENERAL NOTES:

1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES.

2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION AND APPROVAL.

3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING BUT, NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.

4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER.

5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 72 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.

8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR.

9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE.

10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS, PARK VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.

11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.

12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.

13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

GENERA	L LEGEND		
SYMBOL	DESCRIPTION		
	ENLARGEMENT AREA REFERENCE		
MATCHLINE: XX-XXX	SHEET MATCHLINE		
L.O.C.	LIMIT OF CONSTRUCTION		
	PROPERTY LINE		
SITEWORK			
XX LS-50X	DETAIL REFERENCE		
×.x	MATERIAL OR FINISH REFERENCE SYMBOL		
X LS-50X	SECTION CUT REFERENCE		
X LS-50X	ELEVATION OR AERIAL VIEW REFERENCE		
PLA	NTING		
	PLANT LABEL		
DIMEN	SIONING		
ALIGN	ALIGN ELEMENTS		
Ę	CENTERLINE		

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	ABBREVIATIONS
B&B	BALLED AND BURLAPPED
BLDG.	BUILDING
B.O.C.	BACK OF CURB
CAL.	CALIPER
CJ	CONTROL JOINT
CL	CENTERLINE
CLR	CLEAR
СТ	CLEAR TRUNK
CRZ	CRITCAL ROOT ZONE
EJ	EXPANSION JOINT
EQ	EQUAL
FFE	FINISHED FLOOR ELEVATION
FG	FIELD GROWN
F.O.B.	FACE OF BUILDING
GAL.	GALLON
GW	GREY WOOD
НТ	HEIGHT
H.P.	HIGH POINT
L.A.	LANDSCAPE ARCHITECT
L.O.C.	LIMIT OF CONSTRUCTION
L.P.	LOW POINT
MIN.	MINIMUM
MULTI	MULTI-TRUNK
N.I.C.	NOT IN CONTRACT
OA	OVERALL
O.C.	ON CENTER
O.C.E.W.	ON CENTER EACH WAY
PA (OR P.A.)	PLANTING AREA
QTY	QUANTITY
R.O.W.	RIGHT OF WAY
SIM.	SIMILAR DETAIL
SPRD.	SPREAD
TD	TOP OF DRAIN
T.O.C.	TOP OF CURB
TS	TOP OF STAIR
TW	TOP OF WALL
TYP.	TYPICAL

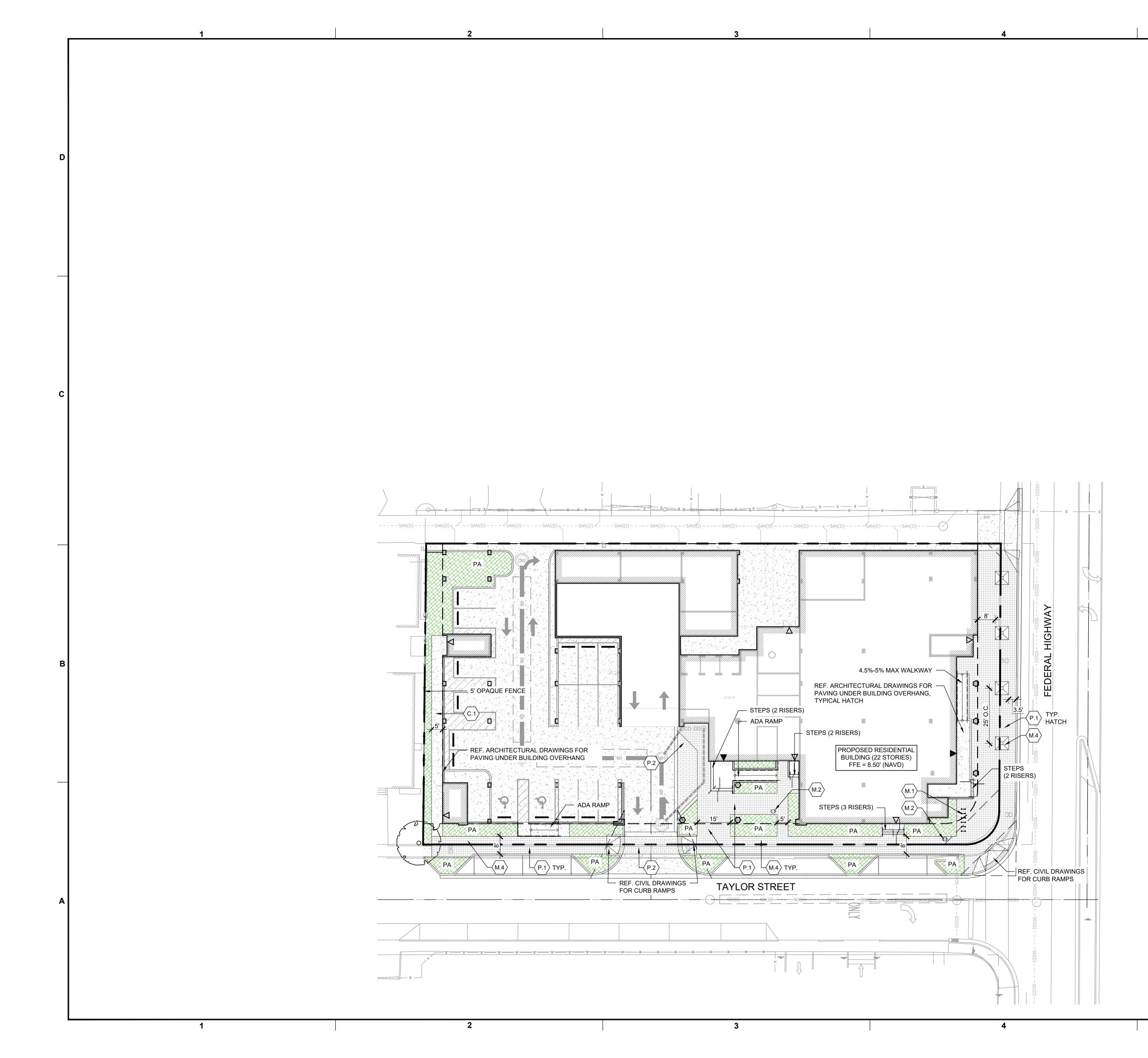
## HARDSCAPE MATERIALS SCHEDULE

#### CONCRETE

CONCE					
KEY	DESCRIPTION / MODEL	COLOR	FINISH		
<b>C.1</b>	CONCRETE SIDEWALKS	STANDARD GREY	MEDIUM BROOM WITH SAW CUT CONTROL JOINTS		
PRECA	ST CONCRETE PAVERS				
P.1	PRECAST CONCRETE PAVERS - SHELLSTONE - 8"x8" PAVER - STACKED BOND	- 3 COLORS PER CRA GUIDELINES - WHITE (40%), PEWTER (30%), AND CHARCOAL (30%)	STANDARD		
<b>P.2</b>	STAMPED ASPHALT - STREETBRICK XL - 8"x8" PAVER (PATTERNED)	PEWTER AND GRANITE	STANDARD		
MISCELLANEOUS					
(M.1)	BIKE RACKS - BRHS-101 BIKE RACK	TITANIUM	TUBULAR STEEL		
(M.2)	LITTER RECEPTACLE - DISPATCH LITTER RECEPTACLES - 45 GALLON, SINGLE-STREAM, ONE 45 GALLON LINER	ALUMINUM TEXTURE	POWDERCOAT ALUMINUM		
(M.3)	BENCH - TRIO BENCH - 75", BACKED, WITH INTERMEDIATE ARMS	ALUMINUM TEXTURE	POWDERCOAT ALUMINUM W/ FCS 100% IPE HARDWOOD		
<b>M.4</b>	TREE GRATE - OBLIO 6'X6' HEEL PROOF - 71.88"X71.88"x1.25"	CAST IRON	POWDERCOAT		

301 East Atlantic Blvd. Pompano Beach, FL 33060	7
PH: (954) 788-3400	
Florida Engineering Business License: CA7928 Florida Surveyor and Mapper Business License: LB6860 Florida Landscape Architecture Business License: LC260004	57 =
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RESPONSIBILITY FOR THE USE OF THESE	
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	CONTACT	REMARKS
6	LOCAL SOURCE	
	COMPANY: OLDCASTLE - BELGARD CONTACT: FRANK GONZALEZ OFFICE PHONE: (954) 972-7400 CELL PHONE: (305) 522-0002 LANDSCAPEFORMS.COM	-SUBMIT PRODUCT DATA FOR REVIEW
	COMPANY: ATLANTIC PAVING OFFICE PHONE: (305) 513-8632 ATLANTICPAVING.COM	- MUST COMPLY FDOT STANDARDS
	COMPANY: VICTOR STANLEY CONTACT: WWW.VICTORSTANLEY.COM	-SUBMIT PRODUCT DATA AND FINISH SAMPLE FOR REVIEW
	COMPANY: FORMS+SURFACESCONTACT: FORMS-SURFACES.COM	-SUBMIT PRODUCT DATA AND FINISH SAMPLE FOR REVIEW
S	COMPANY: FORMS+SURFACESCONTACT: FORMS-SURFACES.COM	-SUBMIT PRODUCT DATA FOR REVIEW
	COMPANY: IRON AGE DESIGNS CONTACT: KATHLEEN ARMSTRONG OFFICE PHONE: (206) 276-0925 CELL PHONE: (206) 550-8268 EMAIL: KATHLEEN@IRONAGEGRATES .COM	-SUBMIT PRODUCT DATA FOR REVIEW



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			Mapper Business License: LB6860 ecture Business License: LC26000457
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KEY	DESCRIPTION / MODEL	COLOR
<b>C.1</b>	CONCRETE SIDEWALKS	STANDARD GREY
PRECA	AST CONCRETE PAVERS	
<b>P.1</b>	PRECAST CONCRETE PAVERS - SHELLSTONE - 8"x8" PAVER - STACKED BOND	- 3 COLORS PER CRA GUIDELINES WHITE (40%) PEWTER (30% AND CHARCOAL (30%)
<b>P.2</b>	STAMPED ASPHALT - STREETBRICK XL - 8"x8" PAVER (PATTERNED)	PEWTER AND GRANITE
MISCE	LLANEOUS	
(M.1)	BIKE RACKS - BRHS-101 BIKE RACK	TITANIUM
M.2	LITTER RECEPTACLE - DISPATCH LITTER RECEPTACLES - 45 GALLON, SINGLE-STREAM, ONE 45 GALLON LINER	ALUMINUM TEXTURE
(M.3)	BENCH - TRIO BENCH - 75", BACKED, WITH INTERMEDIATE ARMS	ALUMINUM TEXTURE
<b>M.4</b>	TREE GRATE - OBLIO 6'X6' HEEL PROOF - 71.88"X71.88"x1.25"	CAST IRON

QUICK REFERENCE MATERIALS

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how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.

herbicide, pre-emergence herbicide, seed, and mulch.

are to be disregarded by Landscape Contractor.

The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to

adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.

accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight

conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location

Contractor understands that an important element of the design of this project is meeting landscape ordinances

applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to

Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and

Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer,

Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well

install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details

provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below.

2. Contractors and Subs must ensure they are doing take offs from Bldg Dept.. Revised sets and / or Bid Set

5. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting

their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown

6. All Plant Material shall meet or exceed height and spread requirement. Heights are local code requirement and /

be sized-up to meet height requirements of plant list. Plant material available with excessive height beyond

. All landscape material was confirmed to be available at time of design. Landscape contractor understands that

some material may not be available locally, however is available in Tri-County Region. Plant material supply is

the responsibility of the Landscape Contractor that is awarded the contract and he/she shall take steps to ensure

availability at the time of installation. Bring to the attention of Landscape Architect if specific material is no longer

or design intent related and always governs over container size. Container size given for reference only and must

documents. Verify with this Office that you are bidding from latest available plans.

specifications must be consulted with Landscape Architect for design intent.

3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding.

4. When submitting an RFI reference sheet number, detail number and/or note category and number.

with a design flare that includes symmetry, alignment, focal points and / or smooth curvilinear forms where

- traverse the protection area, they shall be tunneled or bored under the tree. 10. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to
- prevent siltation and/or erosion within the tree protection zone.
- TREE RELOCATION (These notes for relocation trees only and if applicable)
- Flag all trees and palms to be transplanted with differentiating color than those to be saved or removed. Tree Relocation process must be performed or supervised by ISA Certified Arborist. 4'-0" depth within a 6' radius.
- fronds above the bud and tie them loosely with jute twine to avoid damage. 4. Brace root pruned trees awaiting relocation.
- 5. Root prune  $\frac{1}{3}$ rd of the root system, irrigate daily for 2 weeks then root prune another increase survival.
- 6. Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart. or other fine organic material. Do not compact.
- 9. Maintain the soil moisture at field capacity throughout the six weeks. 10. Allow the plant to regenerate roots over a period of six weeks.
- transplanting.
- heavy equipment
- lifting and moving operation.
- or Developer with approval of municipal / Landscape Inspector.
- ball to match the finished grade 16. Maintain trees in a healthy and vigorous condition during installation and throughout the plant establishment requirements specific to the governing authority with jurisdiction.
- 17. Fertilize the plant as directed by the consulting arborist. eliminate air pockets and compact the soil. Set the tree no deeper than its original condition.
- 19. Cover the root ball area with 3" depth of organic mulch. 20. Provide fungicide and fertility applications at the direction of the consulting arborist.
- times each inch of trunk diameter at breast height.
- fronds cut without damaging the bud.
- existing location. 25. The landscape Contractor is to verify that all new holes have appropriate percolation 26. Over the guarantee period the Landscape contractor shall be responsible for resetting any trees or palms that
- are not in a vertical position. week

### H. SITE PREPARATION & GRADING

- project to provide for proper soil aeration for plant establishment.
- replaced with native soil having a ph range of 6.5 7.5, as approved by Landscape Architect.
- shall be de-compacted so that drainage is not impeded.
- and rubbish.
- to the native soils.
- extra caution to prevent any damage to the trunk, root zones and grade. to swales, if applicable.

#### IRRIGATION

- all individual trees in turf areas and all planting beds.
- landscaped areas and furnish and install a rain sensor.
- 4. Irrigation Contractor to adapt design to onsite conditions adjusting heads and changing nozzles as required to

- HARDSCAPE & OTHER MATERIALS surfaces, unless otherwise indicated on the plans. Refer to details.
- K. UTILITIES / CLEARANCES irrigation lines.
- Landscape Architect and Owner.
- authority / Landscape Architect and Owner.
- utilities, and/or construction caused by utility damage, at no cost to the owner.
- the field by contractor to avoid all utilities, and all other obstructions.

- available at the time of bidding and / or prior to actual construction. Substitutions must be approved prior to construction. 8. Pre-inspections of site required prior to bidding. 9. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and the quantities on the plant list shall be brought to the attention of the Landscape Architect for clarification. 10. All labor and material for soil amendments and fertilizer that is required to ensure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material from plant beds, in addition to fine grading and mulching all plant beds and individual trees shall be included in the contractor's bid to perform the work represented in this plan set. 11. Bid shall be itemized for possible value engineering. 12. Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks (include price per ton). Small rocks and gravel beds shall have landscape fabric material and minimum 4" depth. Boulders to be bid by unit. 13. All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to do his or her take off, submit price per S.F. and in the end, sod all areas that are not covered either by plants, mulch and/or rocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.
- 14. Final payment to the Contractor shall be for actual plants installed on the project. 15. Contractor shall be responsible for obtaining and paying for costs of all permits described in bid whether permit costs are reimbursable by owner or included in bid. Research permit status and research all permits and additional documentation and certifications required such as separate tree removal permit for example, and consider prior to bidding.
- 16. General / Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional root barriers determined to be needed on site and as job progresses. 17. Refer to Section T, Watering, for supplemental watering requirement.
- 18. Landscape contractor is responsible for verifying all plant quantities prior to bidding and within 7 calendar days of receipt of these plans shall notify the landscape architect in writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without prior consent of the Landscape Architect.

#### GENERAL LANDSCAPE NOTES

SCOPE

BIDDING

as Worker's Compensation

- Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as
- 2. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal,
- state and local laws and regulations pertaining to the inspection for plant disease and insect infestation. 3. All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive
- property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended. 4. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any
- damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.
- 5. Tree, palm, accent shrubs and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to planting. Landscape Contractor acknowledges that material planted without approval of location may be subject to relocation by Landscape Architect to maintain design intent if not followed properly. 6. All trees must be pruned as per Landscape Architect's direction.
- 7. In areas where asphalt is removed in order to receive landscape material, the lime rock sub-base material must also be removed and replaced with approved planting soil mix.
- 8. Landscape contractor is responsible for sending photographs to the landscape architect to pre-approve all trees, palms, and shrubs prior to delivery to project site. Landscape contractor shall coordinate his or her work with that of the irrigation, landscape lighting, and
- hardscape contractor if different. 10. The landscape contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been
- removed. Landscape contractor shall wait 7 days after pre-emergence treatment prior to planting.

#### PERMITS & REGULATIONS

- Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project. 2. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to
- installation if required. 3. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.

#### TREE REMOVAL

- Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.
- 2. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on plans or not.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, sod and weeds within landscape areas.

#### EXISTING TREES

- Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the appraised value.
- 2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.
- . Prune trees to remove damaged branches and improve natural shape and thin out structure. Do not remove
- more than 15% of branches. Do not prune back terminal leader. 4. Prune existing shrubs to remove damaged branches and improve natural shape. 5. Existing trees to remain shall be trimmed per Ansi-A300 standards. Supervision of the trimming shall be
- performed by an ISA Certified Arborist to ensure quality work. 6. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian
- walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event more than 35%) to accommodate for new approved construction. Pruning shall be conducted / supervised by an ISA Arborist.
- 8. If plans call for relocation of trees, palms or plants. High level of care should be exercised to assure that they are not damaged in the process and that they are promptly replanted upon being dug up.
- 9. All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must

# avoid overspray onto buildings or paved areas.

- district with jurisdiction shall be strictly adhered to.
- irrigation water that will not clog or stain property or components.

11. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw,

narrow trencher with sharp blades, or other approved root pruning equipment.

3. Water the root zones to field capacity for 5 continuous days before root pruning. At a minimum soak the soil to a

Root prune a minimum of six weeks before relocation. Prune away all dead or damaged limbs or fronds. For trees, prune out 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather

 $\frac{1}{3}$  rd, irrigate daily and prune last  $\frac{1}{3}$  rd on actual relocation date, no less than two weeks (six weeks total minimum root pruning by stages). ISA Arborist on staff shall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staff to balance for intense root ball loss, canopy shall be trimmed only as necessary to

7. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and sawdust

8. Form a rootball size in compliance with Florida grades and Florida standards number 1 or better.

11. At the end of six weeks, prepare the planting pit at the new location. Overdig the hole diameter a minimum of 2' beyond the root ball, with the recipient hole to be at least 1/3 larger than the area that was trenched for

12. With the consulting arborist present, undercut the entire root ball of the plants to be transplanted at a depth specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with

13. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachment to the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the

14. Install trees within 24 hours of removal from their original location to locations provided by Landscape Architect

15. Recipient site to be within 4" of finished grade. Tree pit excavation to mathch the size of root ball. Top of root

period. Replace trees that do not meet this requirement with the same species, size, and quality or per mitigation

18. When the plant is placed in the new location, backfill the planting pit with topsoil and water thoroughly to

21. Post transplant watering to provide moisture and reduce any excessive stress due to root desiccation. Watering to be adjusted according to conditions and at the supervision and direction of the ISA certified arborist. 22. The diameter of the root--pruning or transplanting circle shall be at a distance away from the trunk equal to 12

23. For all palms except Sabal palmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied without an extensive amount of weight that may damage the heart of the palm. The Sabal palmetto shall have all

24. Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the

27. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of: First month- daily, Second month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per

Landscape contractor shall loosen and till compacted soils that are overly compacted in all planting areas of the

2. Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. The planting areas should be clean to a depth equal to the root ball of the trees/palms proposed for the area. Planting area soils shall be tested for ph before planting. Soils showing high (alkaline) ph (over 7.5) shall be amended or

3. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment

4. Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting. 5. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris,

6. General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading shall be provided by the Landscape Contractor. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds and weed seeds. All lime rock shall be removed/cleaned down

The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. 8. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tenax" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take

9. Final grade within planting areas to be 4" below adjacent paved areas or top of curb. Sod areas to be 2" below. 10. All planting beds shall be shaped and sloped to provide proper drainage away from building and structures and

Any Irrigation Notes and specifications included in Irrigation Sheets govern over the following Irrigation Notes. 2. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for

3. Irrigation / Landscape contractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all

5. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his or her expense. Water for plant establishment should be included in the cost of the plant.

6. All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management 7. Irrigation water whether pumped from a lake or a well shall be treated for algae, rust, etc. to provide clean treated

8. Any existing irrigation system shall be retrofitted to comply with the specifications as outlined above.

Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved

1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or

2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by

3. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing

4. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground

5. All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in 6. If/ When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, inc. Notification Center. In addition, call the Governing Agency's

Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities

shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

- 7. Above and below ground utilities shall be verified and located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans and confirm conflicts between indicated or located utilities and landscape work. The contractor shall then notify the Project Engineer of said conflicts and the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will be adjusted as necessary when in conflict with existing utilities.
- 8. The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to accommodate utilities compliance. Excavations within 5' of known utilities should be done by hand. 9. Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.
- 10. Leave clearance and access to all above ground or at grade meters and equipment. 11. Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines.
- 12. Landscaping shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainage structures, etc. Bring to the attention of Landscape Architect any conflicts.
- ROOT BARRIERS 1. Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new approved construction or as may be deemed necessary as job progresses.
- 2. Mechanical Root barriers will be used for large existing Canopy Trees and chemical type barriers will be used for new trees. 3. Mechanical Root barriers will be "DeepRoot" and Chemical Root barriers will be "Biobarrier". Substitutions must be of approved equal or better quality.
- 4. Root barriers will be installed per manufacturer specifications.
- 5. Root barrier depths will be determined by the manufacturer recommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by Landscape Architect Architect / ISA Arborist and Landscape Inspector.

LANDSCAPE BACKFILL & SOIL AMENDMENT

- 1. All building construction material and foreign material shall be removed from the planting areas and replaced with 70/30 mix (70% sand / 30% organic compost) or amend existing soils per section H.2. 2. Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and shrubs, the top 6" of all shrubs and ground cover beds and top 2" of all grassed areas.
- This soil shall be tilled into the existing soil after the existing soil has been cleaned of all undesirable foreign materials. Recycled compost is encouraged as a soil amendment alternative. Planting soil to be weed free. Planting backfill for palms shall be clean coarse native sand unless specified elsewhere.
- 4. Do not allow air pockets to form when backfilling. All trees shall be watered-in utilizing water probe or a tree bar. N. PLANT SIZE & QUALITY
- 1. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications given cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance.
- 2. Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B at the discretion of Landscape Architect; if so, root bound and/or circling roots shall be removed and root ball must be proportionate to Tree / Palm.
- 3. U.O.N, All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- 4. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nurserv Plants"
- 5. All trees and palms shall be free of open wounds and unsightly visible scars.
- 6. All substitutions must be approved by the governing authority if it is required Canopy and by Landscape Architect / Owner if supplementary accent material. 7. Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant
- disease and insect infestation.
- Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the Landscape architect. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.
- 9. All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.
- 10. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting shock.
- 11. Root suckers on any tree are not acceptable and must be properly pruned.
- 12. Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than six feet in height. Contractor to supply photograph of trees prior to purchase and installation.
- PLANTING NOTES

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- 1. At the discretion of the Landscape Architect, plants are subject to review for approval for size, variety, condition and appropriateness to the design intent. 2. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All
- synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back
- 3. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design. 4. Set tree no deeper than it was in its original growing condition with the top of the root ball even with, or slightly
- higher (+/- 1") than the finished grade.
- 5. All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade.
- 6. All trees and palms shall be braced / staked per accepted standards by the Florida Nursery, Growers & Landscape Association (FNGLA). Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
- All trees, new or relocated, to be staked and guyed as detailed.
- 8. Layout shrubs to create a continuous smooth front line and fill in behind with triangular spacing. 9. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1' wider than the spread of roots
- and 3" deeper than required for positioning at proper height . Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dished and bermed at edges of excavation. Apply 3" of mulch.
- 10. Groundcover and shrubs to be spaced in a uniform and consistent pattern per planting details. 11. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs.
- 12. Contractor shall not mark or scar trunks in any fashion.
- 13. When requested by Landscape Architect, demonstration of healthy root system if not previously approved, can include tree removal and re-installation for inspection at no additional cost to the owner. 14. Remove rejected Plant material from the Site immediately and replace with acceptable plants.
- Ρ. FERTILIZATION
- 1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart:

Agriform® 21-gm Tablets (SKU# 90026\*; 500 tablets/case) NEW Tree / Shrub Container Size

1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box Installation: 1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24

- · Place plant in the hole and backfill to halfway point.
- · Do not place tablets in the bottom of the planting hole.
- Place Agriform Tablets in the hole about 1to 2 inches away from root tips. • Finish filling the hole around the plant to grade level.
- SCOTTS: 1-800-492-8255 or visit www.scottspro.com
- Q. SOD
- 1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted. These disturbed areas shall have proper irrigation established or re-established if they were disrupted or non-functional.
- Landscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod areas. 2. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to
- remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Seville' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field verified). 3. Sod shall be machine stripped no more than 24 hours prior to laying.

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4. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.

#### R. SUBMITTALS

- 1. Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.
- 2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include scale for height. 3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the site.
- **INSPECTION & ACCEPTANCE**
- 1. Notify the governing Agency if required and Landscape Architect of commencement. 2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for
- inspection and approval by the Landscape Architect prior to final installation. 3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling
- of the final inspection 4. Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be
- promptly corrected by the Landscape Contractor. 5. No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.
- 6. To obtain final payment, Contractor must provide release of all mechanic's liens and material liens.

#### T. MULCH

1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants. 2. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges and plant

#### material. 3. All trees in sodded areas shall have a clean cut 4' diameter mulch ring.

4. Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited. 5. All mulch shall have a minimum 3" separation from the trunk of the tree/palm trunk to avoid rotting.

#### U. WATERING

1. All plant material shall be watered in thoroughly at the time of planting

2. It is the sole responsibility of the Landscape Contractor to ensure that all new plantings receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract.

#### V. CLEAN UP

- 1. The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner. 2. The contractor is responsible for mowing the entire project during planting and establishment periods, based on
- mowing project once a month from October to April, and twice a month from April to October (During installation and plant establishment only and until final inspection and owner accepts and takes ownership). 3. Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly,
- keeping the site clean as work progresses. 4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or
- debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.

#### W. MAINTENANCE

intersection.

- 1. Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance. 2. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until
- completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected. 3. Trees and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility at traffic

#### **GUARANTEE & REPLACEMENT**

1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.

#### MISCELLANEOUS.

1. All work to be done in a professional manner.

2. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance. 3. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this

#### document shall control.

ABBREVIATIONS IN NOTES AND PLANS

UNO = Unless Otherwise Noted

L.A = Landscape Architect

S.F. = Square Feet STD = Standard (single trunk)

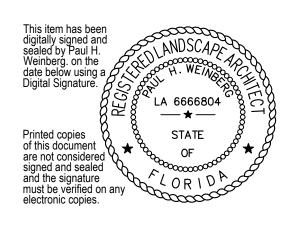
B&B = Balled and Burlapped

- BLDG DEP = Building Department
- RFI = Request for Information
- FPL= Florida Power & Light
- C.O. = Certificate of Occupancy
- ISA CA or ISA Arborist = International Society of Arboriculture Certified Arborist

# REVISIONS DESCRIPTION DATE

#### PRELIMINARY PLAN NOT FOR CONSTRUCTION

- THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
- **RESPONSIBILITY FOR THE USE OF THESE** PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.
- **ISSUE DATE:** 06/30/2023 СР DESIGNED BY: DRAWN BY: CP, RP CHECKED BY: KS, PW **BID-CONTRACT:**



PAUL H. WEINBERG, PLA
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

**1817 TAYLOR DEVELOPMENT LLC** 

PROJECT

### **STAR TOWER** HOLLYWOOD

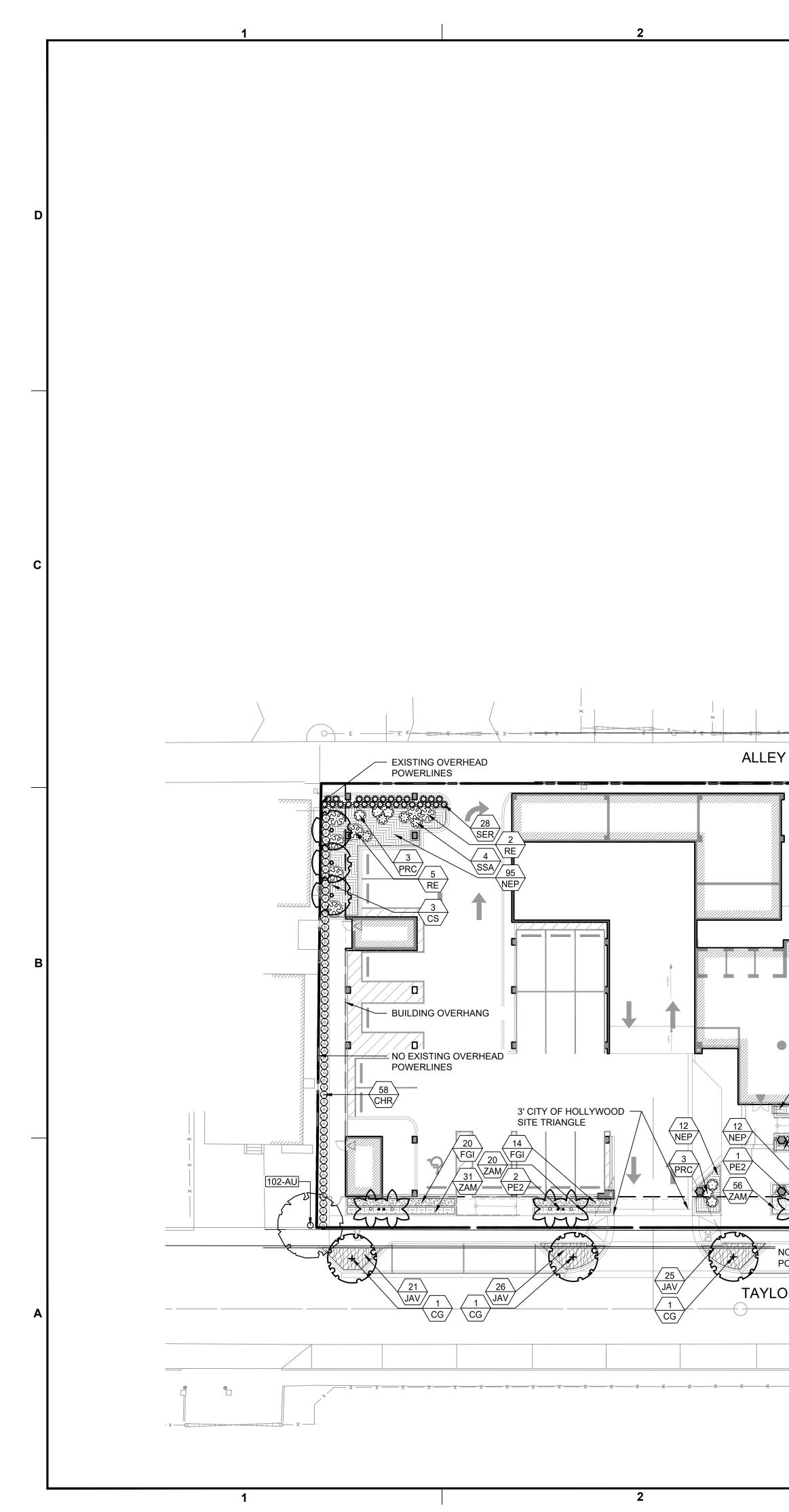
SHEET TITLE

## **PLANTING NOTES**

SHEET NUMBER	LP-001	
PROJECT NUMBER	13778.00	

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STATUS: PRELIMINAR





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	PLANT SCHED			ЦЕЮЦТ	SDDEAD			REMARKS
	TREES CG	QTY 5	BOTANICAL / COMMON NAME CAESALPINIA GRANADILLO BRIDAL VEIL TREE		SPREAD 5` SPR	DBH/CAL 2" DBH	NATIVE *	REMARKS 6' CT MIN.
	CS	3	CONOCARPUS ERECTUS 'SERICEUS' SILVER BUTTONWOOD	10` HT	5` SPR		N**	
	PALMS	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	DBH/CAL	NATIVE	REMARKS
	BN	4	BISMARCKIA NOBILIS BISMARCK PALM	14` HT				
	PE2	5	PTYCHOSPERMA ELEGANS ALEXANDER PALM	8` & 12` CT				STAGGERED HEIGHTS, DOUBL
	SHRUBS	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	NATIVE	REMARKS
	CHR	58 12	CHRYSOBALANUS ICACO COCO PLUM PHILODENDRON X 'ROJO CONGO'	24" HT 24" HT	24" SPR 24" SPR	24" O.C. 36" O.C.	N**	
	RE	8	ROJO CONGO ROJO CONGO RHAPIS EXCELSA	3` HT	3` SPR	0.0.		
	SER	28	LADY PALM SERENOA REPENS 'CINEREA'	18" HT	24" SPR	24" O.C.	N**	
	SSA	4	SILVER SAW PALMETTO STROMANTHE SANGUINEA 'TRIOSTAR TRIOSTAR STROMANTHE	2' 3` HT	3` SPR			
	SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	NATIVE	REMARKS
	FGI	86	FICUS 'GREEN ISLAND' GREEN ISLAND FICUS	12" HT	12" SPR	12" O.C.	**	
	JAV	111	JASMINUM VOLUBILE	10" HT	16" SPR	24" O.C.	**	
	NEP	149	WAX JASMINE NEPHROLEPIS EXALTATA BOSTON FERN	10" HT	14" SPR	24" O.C.	N**	
	ZAM	169	ZAMIA PUMILA COONTIE	15" HT	18" SPR	18" O.C.	N**	
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LANDSCAPE REQUIREMENTS									
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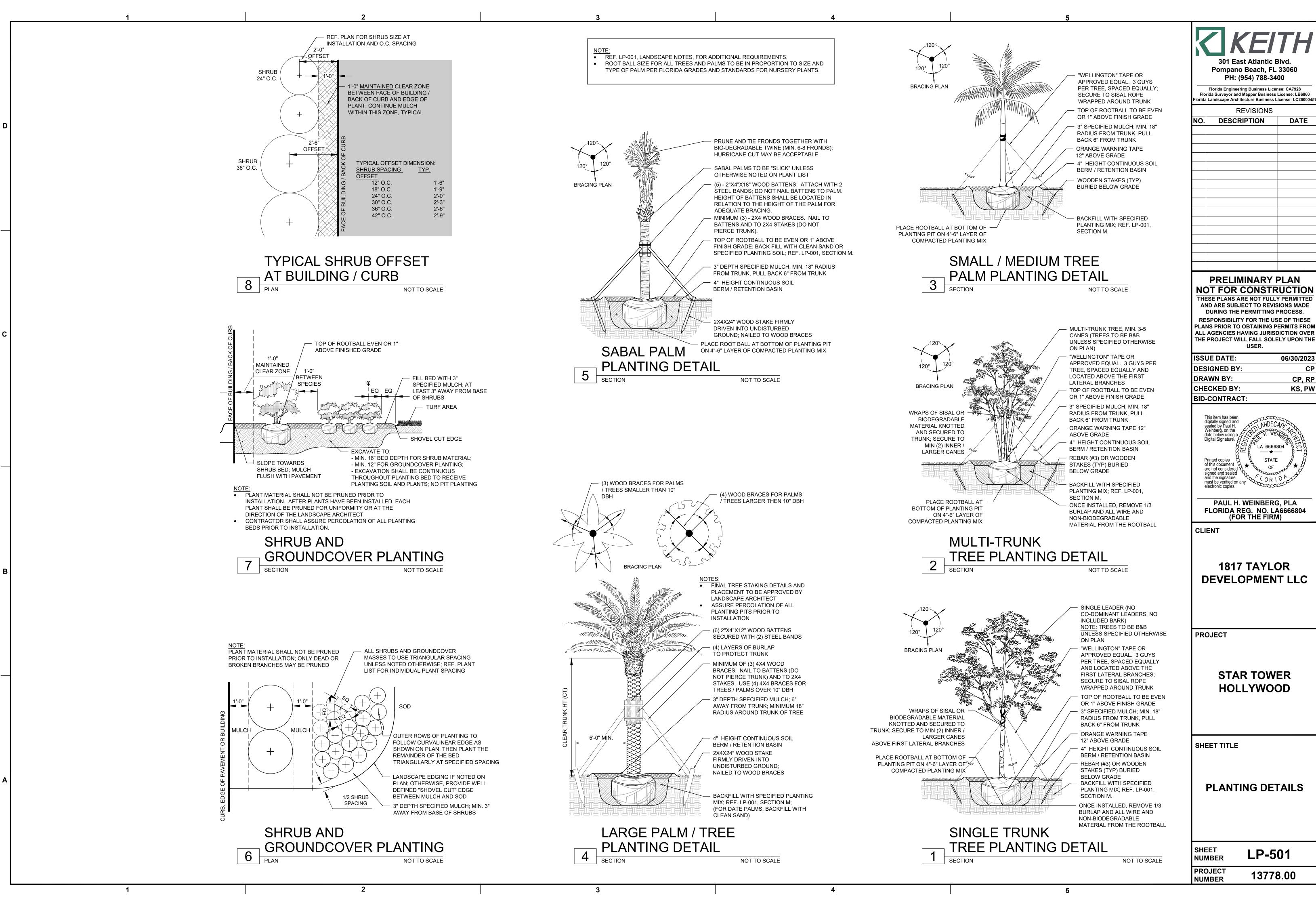
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SHEET TITLE		-			
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## PLANTING PLAN

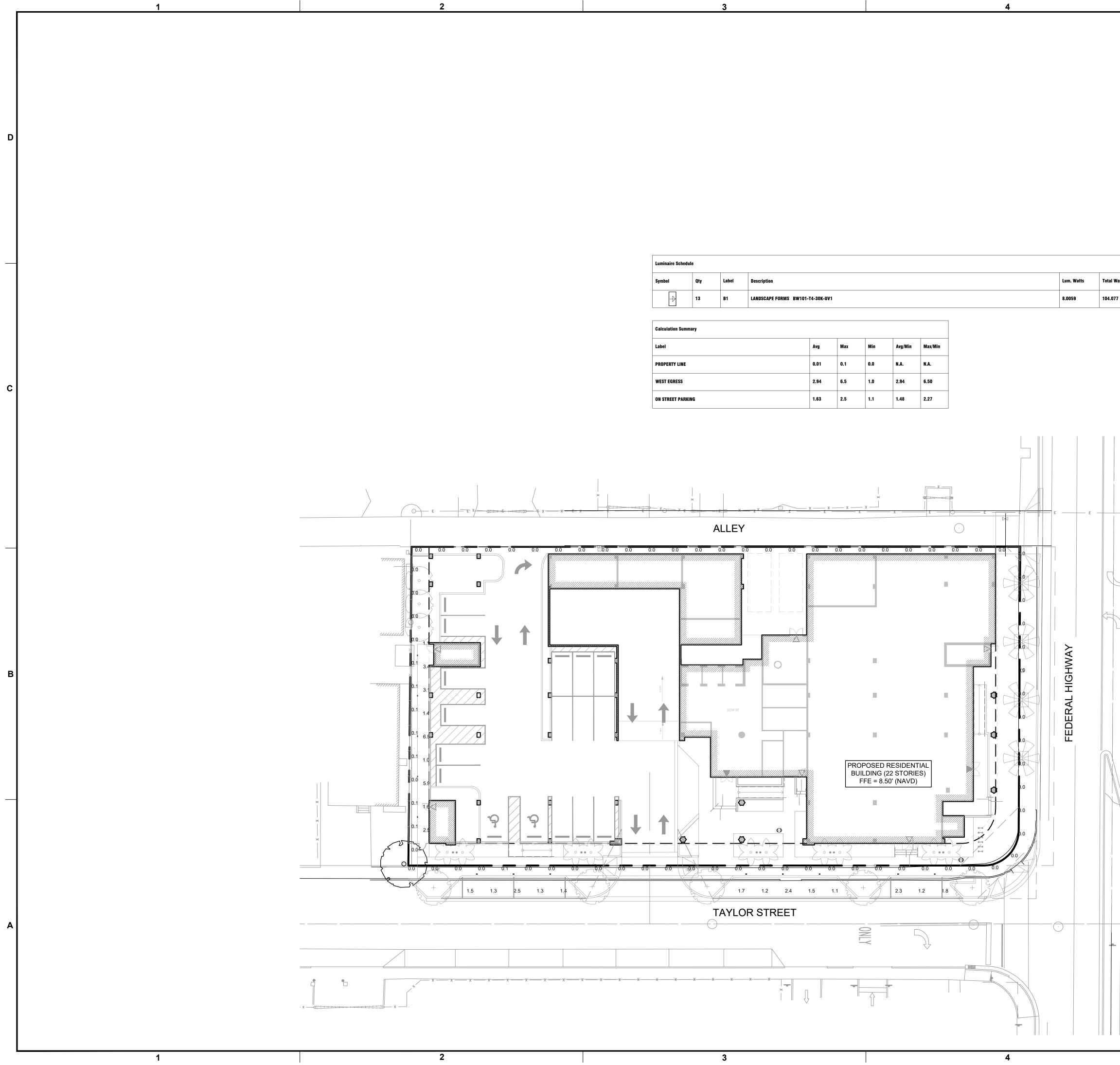
LAN	TING PLAN	: PRELIMINARY
R	LP-101	STATUS
CT R	13778.00	STA

NUMBER PROJECT NUMBER

SHEET



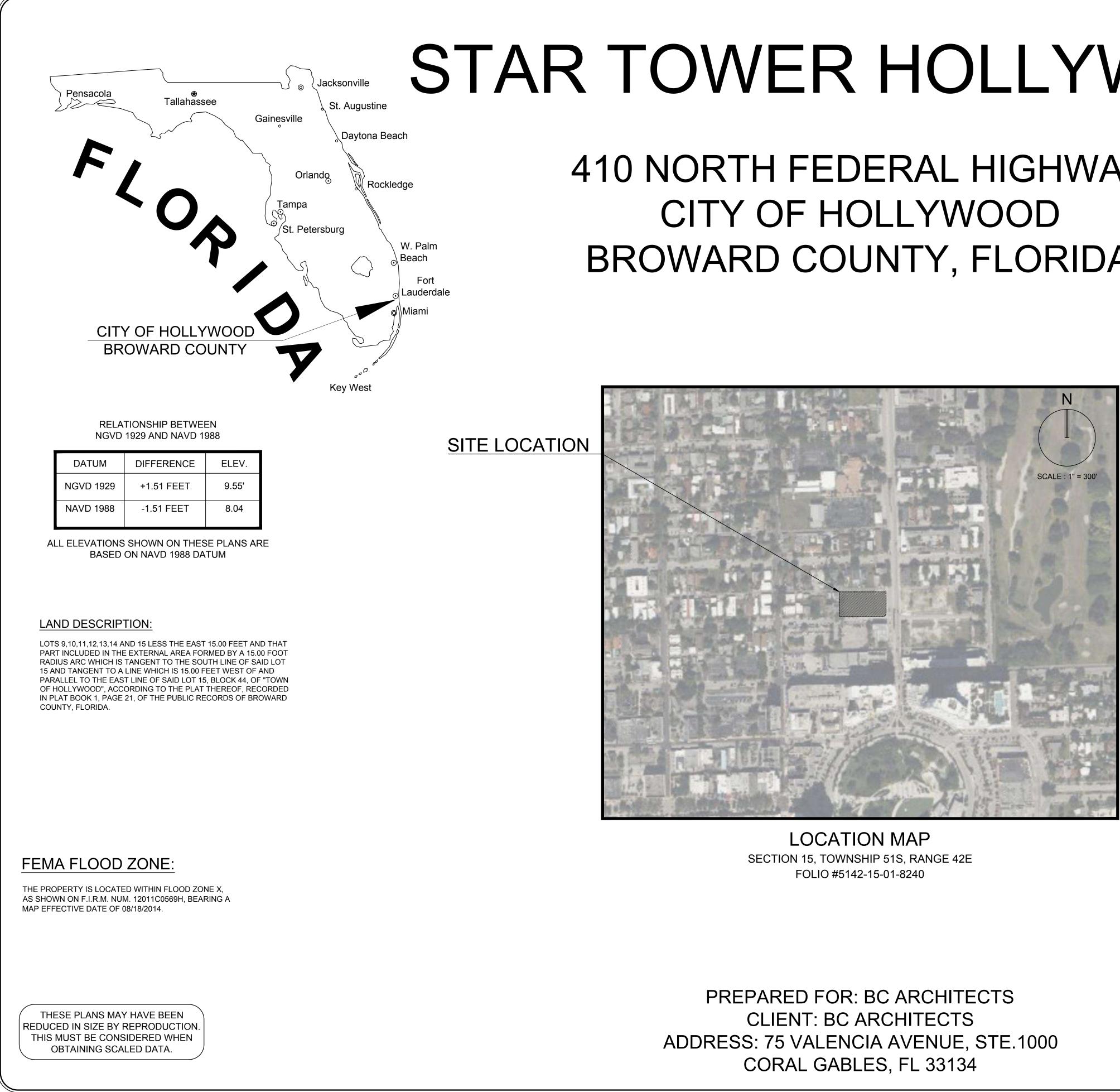
CP



Calculation Summary								
Label	Avg	Max	Min	Avg/Min	Max/Min			
PROPERTY LINE	0.01	0.1	0.0	N.A.	N.A.			
WEST EGRESS	2.94	6.5	1.0	2.94	6.50			
ON STREET PARKING	1.63	2.5	1.1	1.48	2.27			

Total Watts

	Solution       Solution         Solut	
III           JSS	PRELIMINARY PLAN         MORE SUBJECT TO REVISIONS MADE         DURING THE PERMITTING PROCESS.         RESPONSIBILITY FOR THE USE OF THESE         PLANS PRIOR TO OBTAINING PERMITS FROM         ALL AGENCIES HAVING JURISDICTION OVER         THE PROJECT WILL FALL SOLELY UPON THE         USER.         ISSUE DATE:         OG/30/2023         DESIGNED BY:       CP. RP         CHECKED BY:       KS. PW         BID-CONTRACT:         Noted to the sole of	
N GRAPHIC SCALE 0 20 40 SCALE: 1" = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.	SHEET TITLE EXTERIOR LIGHTING & PHOTOMETRICS PLAN SHEET NUMBER LL-101 PROJECT NUMBER 13778.00	STATUS: PRELIMINARY



# STAR TOWER HOLLYWOOD

# 410 NORTH FEDERAL HIGHWAY BROWARD COUNTY, FLORIDA

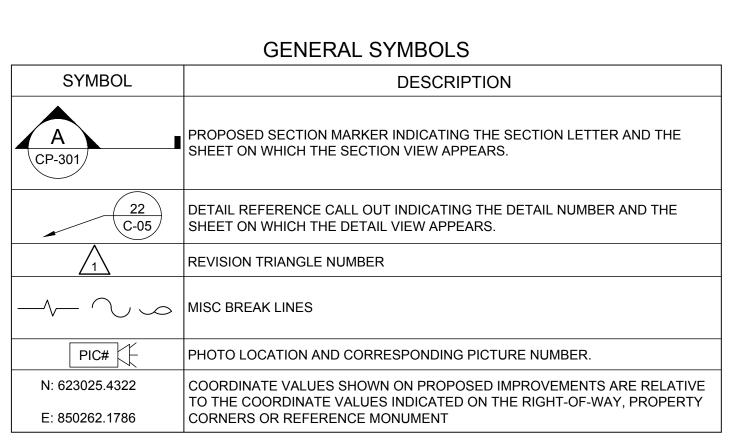
## TAC SUBMITTAL: 07/03/2023 TAC MEETING: 07/17/2023

INDEX OF SHEETS		
SHEET IDENTIFICATON	SHEET TITLE	
GI-000	COVER SHEET	
GI-001	LEGEND AND ABBREVIATIONS	
GI-002	GENERAL CONSTRUCTION NOTES	
GI-003	CONSTRUCTION SPECIFICATIONS	
SP-101	SITE PLAN	
SP-102	VEHICLE TRUCK TURN PLAN	
CG-101	EROSION CONTROL PLAN	
CG-501	EROSION CONTROL DETAILS	
CD-101	DEMOLITON PLAN	
CP-101	PAVING, GRADING, AND DRAINAGE PLAN	
CP-301	CROSS SECTIONS	
CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE DETAILS	
CU-101	WATER AND SEWER PLAN	
CU-501 - CU-503	WATER AND SEWER DETAILS	
CM-101	PAVEMENT MARKING AND SIGNAGE PLAN	
CM-501 - CM-502	PAVEMENT MARKING AND SIGNAGE DETAILS	



PROJECT No. 13778.00 07/03/2023

THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)



### GEN SITE & PMS

SYMBOL	DESCRIPTION		
→ <b>4</b> <i>f</i>	PAVEMENT MARKING ARROWS		
	STOP BAR		
<u>6</u>	ADA PARKING		
•	CONCRETE CAR STOP		
	BICYCLE		
<u> </u>	BICYCLE RACK		
	AUTOMOBILE		
	POST MOUNTED SIGNS 1,2, DOUBLE POST & 4 WAY		
33	PARKING SPACE NUMBER		
B C P F M	BASELINE, CENTER, PROPERTY, FLOW & MONUMENT LINE		
$\blacktriangleright$	BUILDING ACCESS (ADA) / (NON-ADA)		

### PAVING & GRADING

SYMBOL	DESCRIPTION
0.04% 0.04%	FLOW DIRECTIONAL ARROW
6"	ELEVATION CHANGE
5.00 5.00	MAJOR / MINOR CONTOUR ELEVATION
13.56	GRADE ELEVATION
× 13.56 22.00	TOP OF CURB / PAVEMENT ELEVATION
MEG	MATCH EXISTING GRADE
	SLOPE BANK
A-1 24'	DRIVEWAY TURNOUT IDENTIFICATION (FDOT INDEX 522-003) W/ DRIVE WIDTH
CR-?	SIDEWALK CURB RAMP (PER FDOT INDEX 522-002)
	SEAWALL

## UTILITY PIPES

SYMBOL	DESCRIPTION
$\vdash \vdash \vdash \vdash \vdash \vdash \vdash \vdash \vdash$	PIPE FITTINGS: TEE, 90, 45, 22.5, 11.2, CAP,
	CAP W/FVO, REDUCER, VERTICAL, PLUG
	VALVES: GATE, BUTTERFLY, DOUBLE BTRFLY,
	BFP, DDCV, VACUUM BREAKER
	MAN/AUTO BLOWOFF, ARV, PIV, FLUSH VLV, CORP STOP
SP# HYD FDC WW	SAMPLE PNT, HYDRANT, FDC, WATER WELL
►► (	TAPPING SADDLE
<u>SD</u>	EXFILTRATION TRENCH
W	PIPE CASING
V	VENT PIPE BOX
C-X22	UTILITY CROSSING

## HATCH PATTERNS

SYM	DESCRIPTION	SYM	DESCRIPTION
	CONCRETE AREA		BRICK PAVERS
+ + + + + + + + + + + + + + + + + + +	JOGGING PATH	$ \langle \rangle \rangle$	SOIL TRACKING PREVENTION DEVICE
	PAVEMENT AREA		SAND (DETAIL / ELEVATION)
	BUILDING HATCH		EARTH (DETAIL / ELEVATION)
	MILLING AND RESURFACING		GRAVEL (DETAIL / ELEVATION)
	DETECTABLE WARNING PER FLORIDA CODE	* * * * *	GRASS AREA
	DEMOLITION AREA		ADA STRIPING

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UTILITY STRUCTURES				
SYMBOL		DESCRIPTION		
	FDOT C,D,E,F,G & FABRIC CATCH BASIN			
CB (MH) (SS)	NON-FDOT R	OUND CB'S & MANHOLES, MDC S	STRUCTURE	
	FDOT CURB INLETS TYPE1-TYPE10			
	TRENCH DR/	AIN		
	PIPE CULVE	RT - MITERED END SECTION		
	STRAIGHT E	NDWALL		
PS#	PUMP STATIO	ON LOCATION AND NUMBER		
$\bigcirc \bigcirc \qquad \bigcirc$	GREASE TRA	AP SINGLE AND DOUBLE		
0 0	SEPTIC TAN	K		
	SEPTIC DRA	N FIELD		
	DRAINAGE W	VELL, DRAIN C.B., CONTROL STRUCTURE		
$\bigcirc$	MONITORING	G WELL		
$\bigcirc$	WATER WELL			
Μ	METER BOX	R BOX WATER AND IRRIGATION		
	YARD DRAIN	/ 9" DECK DRAIN ROUND & SQU/	ARE	
OCO ⊚CO	CLEAN OUT 6	5", 4" & BOX		
22>	STORM STRU	JCTURE TABLE REFERENCE NUI	MBER	
22 SEWER STRUCTURE TABLE REFERENCE NUMBER			MBER	
XX CONST. 4' Ø MAS RIM EL. = 10.00 N INV. EL. = 4.00 - XX" DIP E INV. EL. = 4.00 - XX" DIP S INV. EL. = 4.00 - XX" DIP W INV. EL. = 4.00 - XX" DIP		SEWER STRUCTURE CALLOUT (SHOWN AS A CIRCLE CIRCUMSCRIBING THE STRUCTURE NUMBER.)	INDICATES STRUCTURE NUMBER, STATION & OFFSET, STRUCTURE SIZE & TYPE, RIM/GRATE	
CONST. 4' Ø CB RIM EL. = 10.50 (N) INV. EL. = 4.50 - XX" H (E) INV. EL. = 4.50 - XX" H (S) INV. EL. = 4.50 - XX" H (W) INV. EL. = 4.50 - XX" H	DPE DPE	STORM STRUCTURE CALLOUT (SHOWN AS A HEXAGON CIRCUMSCRIBING THE STRUCTURE NUMBER.)	ELEVATION, PIPE INVERT ELEVATIONS & DIRECTION, PIPE SIZE & MATERIAL AS WELL AS ANY SPECIAL NOTES.	

LINE TYPES

PROPOSE	DU	TILITIES			PAVEN	IENT MARKING
- w —		WATER LINE	<b>— — — —</b> STRIPE SKIP 2-4		STRIPE SKIP 2-4	
SAN		SANITARY SEWER			-	STRIPE SKIP 3-9
- FM		FORCE MAIN				STRIPE SKIP 6-10
LFM		LOW PRESSURE FM	]			STRIPE SKIP 10-30
SD		STORM DRAIN				STRIPE SKIP 10-10-20
PSD		PRESSURE STORM		<b>_</b>	_	STRIPE SKIP 2-2-2
IRR —		IRRIGATION				
RAW		RAW WATER	GENERAL SITE		NERAL SITE	
RCW —		RECLAIMED WATER			TION	
• G ———		GAS LINE		][—]	TURBID	ITY BARRIER
		GAS LINE			PARKIN	G STRIPING (SINGLE)
ТО	PO		] — —		FIRE TR	UCK PATH
	BRE	EAKLINE		— — — — SIGHT TRIANGLE		RIANGLE
	MA	JOR CONTOUR	BUILDING FOOTPRINT		G FOOTPRINT	
	MIN	IOR CONTOUR	VEHICLE OVERHANG		E OVERHANG	
	TOF	P OF BANK			CONSTRUCTION LIMITS	
		E OF SLOPE	SF —			SILT FENCE
				SSF		SUPER SILT FENCE
EDGE OF WATER					PARKING STRIPING (DOUBLE)	

## CENTERLINE OF SWALE

PROPOSED ENCUMBRANCES		
	PROPERTY LINE	
	ROW LINE	
	BUILDING SETBACK LINE	
	BUFFER LINE	
	EASEMENT LINE	

DESCRIPTION	
AADT	ANNUAL AVERAGE DAILY TRAFFIC ABANDON
ADJ	ADJUST
APPROX.	APPROXIMATE
A.C.	ASPHALT CONCRETE ASPHALT COATED CORRUGATED METAL
ACCM PIPE BIT.	BITUMINOUS
BC	BACK OF CURB
BD.	BOUND
BL	BASELINE
BLDG	BUILDING
BO	BY OTHERS
BOS	BOTTOM OF SLOPE
BR.	BRIDGE
CAP	CORRUGATED ALUMINUM PIPE
CBCI	CATCH BASIN WITH CURB INLET
СС	CEMENT CONCRETE
ССМ	CEMENT CONCRETE MASONRY
CEM	
CI	CURB INLET CAST IRON PIPE
CLF	CHAIN LINK FENCE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONC	COUNTY
CONC	CONCRETE
CONST	CONSTRUCTION
CR GR	CROWN GRADE
DDCV	DOUBLE DETECTOR CHECK VALVE DOUBLE DETECTOR CHECK VALVE
DDCVA DHV	ASSEMBLY DESIGN HOURLY VOLUME
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWY	DRIVEWAY
ELEV (OR EL.)	ELEVATION EMBANKMENT
EOP	EDGE OF PAVEMENT
EOW	EDGE OF WATER
EXIST (OR EX)	EXISTING
EXC F&C	EXCAVATION FRAME AND COVER
F&G	FRAME AND GRATE
FDC	FIRE DEPARTMENT CONNECTION
FDN.	FOUNDATION
FH	
FLDSTN GAR	FIELDSTONE GARAGE
GD	GROUND
GI	GUTTER INLET
GIP	GALVANIZED IRON PIPE
GRAN GRAV	GRANITE GRAVEL
GRD	GUARD
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HDW HMA	HEADWALL HOT MIX ASPHALT
HMA	HORIZONTAL
HYD	HYDRANT
INV	INVERT
JCT	JUNCTION LENGTH OF CURVE
LB	LENGTH OF CURVE
LP	LIGHT POLE
LT	LEFT
MAX	MAXIMUM
MB MEG	MAILBOX MATCH EXISTING GRADE
MH	MATCH EXISTING GRADE MANHOLE
MIN	MINIMUM
NIC	NOT IN CONTRACT

DESCRIPTION	ABBREVIATION
NO.	NO. NUMBER
O/S or OFF	O/S or OFF OFFSET
PB	PB PLAT BOOK
PC	PC POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
P.G.L.	PROFILE GRADE LINE
PI	
PIV	
POC	
POT	
PRC	POINT OF REVERSE CURVATURE
PROJ	PROJECT
PROP	PROPOSED
PT	POINT OF TANGENCY
PVC	
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
PVMT	PAVEMENT
PWW	PAVED WATER WAY
R	RADIUS OF CURVATURE
R&D	REMOVE AND DISPOSE
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RDWY	ROADWAY
REM	REMOVE
RET	RETAIN
RET WALL	RETAINING WALL
ROW	RIGHT OF WAY
RR	RAILROAD
R&R	REMOVE AND RESET
RSGV	RESILIENT SEAT GATE VALVE
RT	RIGHT
R/W	RIGHT OF WAY
SHLD	SHOULDER
SMH	SEWER MANHOLE
ST	STREET
STA	STATION
SSD	STOPPING SIGHT DISTANCE
SW	SIDEWALK
T	TANGENT DISTANCE OF CURVE/TRUCK %
TAN	TANGENT
ТЕМР	TEMPORARY
ТС	TOP OF CURB
ТОВ	TOP OF BANK
TOB	TOP OF BANK
TSV	TAPPING SLEEVE AND VALVE
ТҮР	
UP	
VAR	VARIES
VERT	VERTICAL
VC	VERTICAL CURVE
WCR	WHEEL CHAIR RAMP
WIP	WROUGHT IRON PIPE
WM	WATER METER/WATER MAIN
X-SECT	CROSS SECTION

L	INE WEIGHTS
EXISTING	SHADED LINES & TEXT DENOTE EXISTING EQUIPMENT AND STRUCTURES.
FUTURE	NON-SHADED DASHED LINES & TEXT DENOTE FUTURE EQUIPMENT, STRUCTURES AND WORK.
PROPOSED / CONSTRUCT	NON-SHADED, BOLD, SOLID LINES & TEXT DENOTE PROPOSED EQUIPMENT, STRUCTURES AND WORK.

NOTE: THIS IS A STANDARD LEGEND SHEET. NOT ALL ITEMS ARE PERTINENT TO THIS SET OF DRAWINGS

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	GENERAL NOTES	
	THIS CONSTRUCTION PROJECT MAY OR MAY NOT INCLUDE ALL	
	ITEMS COVERED BY THESE NOTES AND SPECIFICATIONS, I.E.	
	PAVING, GRADING, DRAINAGE LINES, WATER LINES, OR SANITARY	
	SEWER LINES. SEE PLANS FOR DETAILED PROJECT SCOPE. NOTES AND SPECIFICATIONS ON THIS SHEET REFER TO PAVING, GRADING,	
	DRAINAGE, WATER, AND SANITARY SEWER, AND ARE INTENDED	
	FOR THIS PROJECTS SCOPE OF WORK AND FOR REFERENCE	
	PURPOSES FOR OTHER WORK ITEMS THAT MAY BE REQUIRED DUE	
	TO UNFORESEEN EXISTING CONDITIONS OR REQUIRED REMEDIAL	
	WORK.	
	1. <u>SPECIFIC SITE NOTES</u>	
	1.1. COUNTY AND "CITY" IN THESE NOTES REFERS TO COUNTY AND	
	CITY IN WHICH PROJECT RESIDES. 1.2. STATE IN THESE NOTES REFERS TO THE STATE OF FLORIDA.	
	1.2. STATE IN THESE NOTES REFERS TO THE STATE OF FLORIDA. 1.3. EXISTING TOPOGRAPHIC INFORMATION IN THE PLANS IS BASED ON	
	SURVEY DATA AND BEST AVAILABLE INFORMATION. SEE PROJECT	
	SURVEY AND NOTES ON PLAN SHEETS REGARDING THE SOURCE	
	OF THE TOPOGRAPHIC INFORMATION.	
	2. <u>APPLICABLE CODES</u>	
	2.1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE	
	STANDARDS AND SPECIFICATIONS OF THE CITY, COUNTY, AND ALL	
	OTHER JURISDICTIONAL, STATE AND NATIONAL CODES WHERE	
	2.2. IN THE EVENT OF A CONFLICT BETWEEN THE GENERAL NOTES AND CONSTRUCTION SPECIFICATIONS IN THESE PLANS, AND THE	
	CONTRACT DOCUMENTS AND SPECIFICATIONS IN THE	
	SPECIFICATION BOOKLET, THE CONTRACTOR SHALL SUBMIT	
I I	WRITTEN REQUEST FOR CLARIFICATION.	
	2.3. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN	
I I	STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF THE	
I I	FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND	
I I	ALL STATE AND JURISDICTIONAL SAFETY AND HEALTH REGULATIONS.	
	2.4. THE CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH	
	FEDERAL, STATE, COUNTY, AND CITY LAWS, CODES, AND	
I I	REGULATIONS.	
	2.5. ALL HANDICAP ACCESSIBLE AREAS TO CONFORM TO THE	
	REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA),	
	STATE ADA CODES, AND FLORIDA BUILDING CODE ADA CODES	
	LATEST EDITION.	
	2.6. TRENCH SAFETY ACT	
	2.6.1. ALL TRENCH EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 90-96 OF THE LAWS OF FLORIDA	
	(THE TRENCH SAFETY ACT).	
	2.6.2. ALL TRENCH EXCAVATION IN EXCESS OF 5 FEET IN DEPTH SHALL	
	BE UNDERTAKEN IN ACCORDANCE WITH O.S.H.A. STANDARD 29	
	CFR. SECTION 1926.650 SUBPART P.	
	2.6.3. THE CONTRACTOR SHALL SUBMIT WITH HIS CONTRACT A	
	COMPLETED, SIGNED, AND NOTARIZED COPY OF THE TRENCH SAFETY ACT COMPLIANCE STATEMENT. THE CONTRACTOR SHALL	
	ALSO SUBMIT A SEPARATE COST ITEM IDENTIFYING THE COST OF	
	COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY CODES.	
-	2.6.4. A TRENCH SAFETY SYSTEM, IF REQUIRED, SHALL BE DESIGNED	
	BY THE EXCAVATION CONTRACTOR UTILIZING A SPECIALTY	
	ENGINEER AS REQUIRED.	
	3. <u>CONSTRUCTION NOTES:</u>	
	3.1. CONTRACTOR SHALL TIE TO EXISTING GRADE BY EVENLY SLOPING	
	FROM CLOSEST PROPOSED GRADE PROVIDED TO EXISTING GRADE AT LIMITS OF CONSTRUCTION, UNLESS OTHERWISE NOTED ON THE	
	PLANS. IF NO LIMIT OF WORK LINE IS INDICATED, SLOPE TO	
	ADJACENT PROPERTY LINE OR RIGHT-OF-WAY LINE, AS	
	APPLICABLE.	
	3.2. UNLESS OTHERWISE INDICATED ON THE PLANS, ALL EXISTING	
	MANHOLES, CATCH BASINS, METERS AND OTHER STRUCTURES,	
	WHETHER INDICATED ON THE PLANS OR NOT SHALL BE ADJUSTED	
	TO MATCH THE NEW GRADE, BY THE CONTRACTOR.	
	3.3. THE CURB SHALL BE SLOPED TO ACCOMMODATE THE NEW PAVEMENT, CATCH BASIN AND GRATE, AND THE SURFACE FLOW	
	PATTERN.	
	3.4. THE CONTRACTOR SHALL USE CARE WHEN CUTTING THE EXISTING	
	ASPHALT PAVEMENT AND DURING EXCAVATIONS, SO THAT THE	
	EXISTING CATCH BASINS AND GRATES THAT ARE TO REMAIN WILL	
1	NOT BE DAMAGED.	
	3.5. THE CONTRACTOR SHALL MAINTAIN THE ROADWAY SLOPE WHEN RESURFACING THE ROADWAY. THE EDGE OF PAVEMENT SHALL	
1	MATCH THE NEW GUTTER LIP PER FDOT INDEX 520-001.	
	3.6. THE NEW SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE	
	WITH THE GIVEN ELEVATIONS AND AT THE PROPER SLOPES	
1	DEPICTED IN THE SPECIFICATIONS, DETAILS AND STANDARDS.	
I I	EXISTING DRIVEWAYS AND OTHER FEATURES SHALL BE MATCHED	
	WHEN POSSIBLE AS DIRECTED BY THE ENGINEER. 3.7. RADII SHOWN ARE TO THE EDGE OF PAVEMENT.	
	3.7. RADII SHOWN ARE TO THE EDGE OF PAVEMENT. 3.8. ALL BENCH MARK MONUMENTS WITHIN THE LIMITS OF	
	CONSTRUCTION SHALL BE PROTECTED AND REFERENCED BY THE	
1	CONTRACTOR IN THE SAME WAY AS PUBLIC LAND CORNERS.	
	3.9. ALL EXCESS MATERIAL IS TO BE DISPOSED BY THE CONTRACTOR	
1	WITHIN 72 HOURS.	
	3.10. IN AREAS WHERE THE BASE IS EXPOSED BY THE MILLING	
1	OPERATION, THE CONTRACTOR SHALL RESTORE THE BASE TO ITS ORIGINAL THICKNESS AND STRUCTURAL CAPACITY BEFORE	
1	PAVING OVER SUCH AREAS. THIS INCLUDES BUT IS NOT LIMITED TO	
1	RESTORING ORIGINAL DEGREE OF COMPACTION, MOISTURE	
1	CONTENT, COMPOSITION, STABILITY, AND INTENDED SLOPE. IF	
1	PAVING WILL NOT TAKE PLACE THE SAME DAY THE BASE IS	
1	EXPOSED AND REWORKED, THE BASE SHALL BE SEALED	
1	ACCORDING TO THE GOVERNING STANDARDS AND SPECIFICATIONS. ANY ADDITIONAL WORK RESULTING FROM THE	
1	CONTRACTOR'S FAILURE TO PROTECT THE EXPOSED BASE AS	
1	STATED ABOVE IN ORDER TO RESTORE THE ORIGINAL	
1	STRUCTURAL CAPACITY SHALL BE THE CONTRACTOR'S COST.	
	2.11 THE CONTRACTOR IS TO MAINTAIN EXISTING SIGNAGE DURING	

3.11. THE CONTRACTOR IS TO MAINTAIN EXISTING SIGNAGE DURING CONSTRUCTION OPERATIONS, IN ORDER TO FACILITATE EMERGENCY VEHICLE TRAFFIC.

- 3.12. THE TOPOGRAPHIC SURVEY INCLUDED WITH THIS SET OF PLANS REFLECTS PRE-DEMOLITION CONDITIONS AND DOES NOT REFLECT THE SITE CONDITIONS AFTER DEMOLITION. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE IN DETERMINING THE REQUIRED EARTHWORK FOR THE PROPOSED DEVELOPMENT OF THE SITE. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY EXCAVATION/DREDGE AND FILL ACTIVITIES REQUIRED AT ANY PHASE OF THE PROJECT. THE CONTRACTOR SHALL USE THE FINAL APPROVED (RELEASED FOR CONSTRUCTION) PLANS, SURVEYS, GEOTECHNICAL REPORTS, AND ANY OTHER AVAILABLE INFORMATION FOR DETERMINING THE AMOUNT OF EXCAVATION/DREDGING AND FILLING REQUIRED. ANY QUANTITIES INCLUDED IN THE APPROVED PERMITS WERE ESTIMATED BY THE ENGINEER FOR PURPOSES OF OBTAINING THE PERMIT AND UNDER NO CIRCUMSTANCES SHALL BE USED BY THE CONTRACTOR IN LIEU OF PERFORMING THEIR OWN EARTHWORK CALCULATIONS REQUIRED FOR COST ESTIMATING AND BIDDING THE PROJECT.
- 3.13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FAMILIARIZING THEMSELVES WITH ANY AND ALL AVAILABLE GEOTECHNICAL REPORTS PREPARED BY OTHERS AND/OR ANY RECOMMENDATIONS WRITTEN OR IMPLIED BY THE GEOTECHNICAL ENGINEER FOR THIS PROJECT. THE GEOTECHNICAL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THESE REPORTS ARE IN FORCE AND IN FULL EFFECT AS PART OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL THE WORK ASSOCIATED WITH THIS PROJECT IS IN COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. KEITH AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE SUITABILITY OR UNSUITABILITY OF THE SOILS ENCOUNTERED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE MEANS AND METHODS OF CONSTRUCTION USED CAN AND WILL ALLOW FOR THE SUCCESSFUL COMPLETION OF THE REQUIRED SITE IMPROVEMENTS.
- 3.14. THE CONTRACTOR SHALL ENSURE THAT THE AVAILABLE GEOTECHNICAL INFORMATION IS SUFFICIENT FOR HIS COMPLETE UNDERSTANDING OF THE SOIL CONDITIONS FOR THE SITE. IF ADDITIONAL GEOTECHNICAL INVESTIGATION IS REQUIRED BY THE CONTRACTOR, THIS ADDITIONAL WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 3.15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, SPRINKLER HEADS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS AND SHALL RESTORE AT NO ADDITIONAL COST.
- 3.16. THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT. SHOULD THE CONTRACTOR REQUIRE SUCH FOR PERFORMING THE CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, PERMISSION FROM THE OWNER, CITY AND ENGINEER. THE CONTRACTOR SHALL PROVIDE THE OWNER, CITY AND ENGINEER WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE. THE PROJECT ENGINEER SHALL COORDINATE WITH THE OWNER AND CITY PRIOR TO ISSUING WRITTEN APPROVAL TO THE CONTRACTOR.
- 3.17. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE CITY AND/OR ENGINEER, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE CITY AND/OR ENGINEER ARE TO NOTIFY THE OWNER/ENGINEER OF THE DISCOVERY. THE OWNER/ENGINEER WILL ARRANGE FOR INVESTIGATION, IDENTIFICATION, AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE ENGINEER.
- 3.18. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE CITY ENGINEERING INSPECTOR AND ENGINEER 48 HOURS IN ADVANCE OF THE EVENT TO NOTIFY THE CITY OF CONSTRUCTION START UP, OR TO SCHEDULE ALL REQUIRED TESTS AND INSPECTIONS INCLUDING FINAL WALK-THROUGHS.
- 4. PRECONSTRUCTION RESPONSIBILITIES
- 4.1. ALL UTILITY / ACCESS EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION.
- 4.2. NO CONSTRUCTION MAY COMMENCE UNTIL THE APPROPRIATE PERMITS HAVE BEEN OBTAINED FROM ALL MUNICIPAL, STATE, COUNTY, AND FEDERAL AGENCIES AND A PRE-CONSTRUCTION MEETING HAS BEEN CONDUCTED.
- 4.3. ALL REQUIRED GOVERNMENTAL AGENCY BUILDING PERMITS TO BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY
- 4.4. CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULING FOR CONNECTION TO THE EXISTING WATER AND SEWER LINES WITH THE UTILITY DEPARTMENT THAT OWNS AND/OR MAINTAINS THE WATER AND SEWER LINES.
- 4.5. PRIOR TO THE START OF CONSTRUCTION, THE OWNER SHALL SUBMIT AN NPDES CONSTRUCTION GENERAL PERMIT (CGP) "NOTICE OF INTENT (N.O.I.) TO USE GENERIC PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITIES FORM (DEP FORM 62-621.300(4)(B)) TO FDEP NOTICES CENTER. THE CONTRACTOR WILL BE RESPONSIBLE FOR (1) IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT WAS REQUIRED TO BE DEVELOPED PRIOR TO NOI SUBMITTAL, AND (2) RETENTION OF RECORDS REQUIRED BY THE PERMIT, INCLUDING RETENTION OF A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL SITE STABILIZATION. A "NOTICE OF TERMINATION (N.O.T.) OF GENERIC PERMIT COVERAGE" FORM (DEP FORM 62-621.300(6)) MUST BE SUBMITTED TO FDEP TO DISCONTINUE PERMIT COVERAGE, SUBSEQUENT TO COMPLETION OF CONSTRUCTION. FOR ADDITIONAL INFORMATION SEE FDEP WEBSITE: HTTP://FLORIDADEPT.GOV/WATER/STORMWATER.

4.6. PRIOR TO CONSTRUCTION OR INSTALLATION, 5 SETS OF SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AS REQUIRED FOR	ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD "AS-BUILT" PLANS FOR THESE
THE FOLLOWING ITEMS LISTED BELOW, BUT NOT LIMITED TO:	IMPROVEMENTS, SHOWING THE LOCATIONS AND PERTINENT
• DRAINAGE: CATCH BASINS, MANHOLES, HEADWALLS,	GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED
GRATES/TOPS, YARD DRAINS.	ROCK GRADES OF THE ROAD CROWN AND EDGES OF PAVEMENT
<ul> <li>WATER: FIRE HYDRANTS, VALVES, BACKFLOW PREVENTER, DDCV, METER BOX.</li> </ul>	AT 50 FOOT INTERVALS, INCLUDING LOCATIONS AND ELEVATIONS OF ALL HIGH AND LOW POINTS.
• SEWER: MANHOLES, LIFT STATIONS (WETWELL, HATCHES, VALVES,	8.3. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL
PUMP DATA, ELECTRICAL PANEL)	ACCEPTANCE, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER
4.6.1 CATALOGUE LITERATURE SHALL BE SUBMITTED FOR DRAINAGE,	OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW
WATER AND SEWER PIPES, FITTINGS, AND APPURTENANCES.	"AS-BUILT" CONSTRUCTION CHANGES, DIMENSIONS, LOCATIONS,
4.6.2 PRIOR TO SUBMITTING SHOP DRAWINGS TO THE ENGINEER, THE	AND ELEVATIONS OF ALL IMPROVEMENTS.
CONTRACTOR SHALL REVIEW AND APPROVE THE DRAWINGS, AND SHALL NOTE IN RED ANY DEVIATIONS FROM THE ENGINEER'S	8.4. "AS-BUILT" DRAWINGS OF WATER LINES AND FORCE MAINS SHALL
PLANS OR SPECIFICATIONS.	INCLUDE THE FOLLOWING INFORMATION:
4.6.3 INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES	8.4.1. TOP OF PIPE ELEVATIONS EVERY 100 LF.
ARE REQUIRED. CATALOGUE LITERATURE WILL NOT BE ACCEPTED	8.4.2. LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS,
FOR PRECAST STRUCTURES.	TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE
4.7 CONTRACTOR TO SUBMIT MAINTENANCE OF TRAFFIC PLAN(S) IN	HYDRANTS, AND APPURTENANCES. 8.4.3. ALL CONNECTIONS TO EXISTING LINES.
ACCORDANCE WITH FDOT AND COUNTY REQUIREMENTS, AND	8.4.4. ENDS OF ALL WATER SERVICES AT THE BUILDINGS WHERE THE
SUBMIT FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.	WATER SERVICE TERMINATES.
<ol> <li><u>INSPECTIONS / TESTING:</u></li> <li>THE CONTRACTOR SHALL NOTIFY IN WRITING THE OWNER, CITY,</li> </ol>	8.5. "AS-BUILT" DRAWINGS OF GRAVITY SANITARY SEWER LINES SHALL
COUNTY, ENGINEER OF RECORD, AND ANY OTHER GOVERNMENTAL	INCLUDE THE FOLLOWING INFORMATION:
AGENCIES HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO	8.5.1. RIM ELEVATIONS, INVERT ELEVATIONS, LENGTH OF PIPING
BEGINNING CONSTRUCTION AND PRIOR TO REQUIRED	BETWEEN STRUCTURES, AND SLOPES.
INSPECTIONS OF THE FOLLOWING ITEMS, WHERE APPLICABLE:	8.5.2. THE STUB ENDS AND CLEANOUTS OF ALL SEWER LATERALS
CLEARING AND EARTHWORK	SHALL BE LOCATED HORIZONTALLY AND VERTICALLY.
STORM DRAINAGE SYSTEMS	8.6. "AS-BUILT" DRAWINGS OF ALL DRAINAGE LINES SHALL INCLUDE
SANITARY SEWER SYSTEMS	THE FOLLOWING INFORMATION:
WATER DISTRIBUTION SYSTEMS	8.6.1. RIM ELEVATION, INVERT ELEVATION, LENGTH OF PIPING BETWEEN STRUCTURES, AND CONTROL STRUCTURE ELEVATIONS IF
	APPLICABLE.
	8.6.2. THE SIZE OF THE LINES.
ASPHALT OR CONCRETE PAVEMENT     SIDEWALKS, CONCRETE FLATWORK/CURBING	8.6.3. DRAINAGE WELL STRUCTURE SHALL INCLUDE, BUT NOT BE
SIDEWALKS, CONCRETE FLATWORK/CORDING     LANDSCAPING	LIMITED TO, TOP OF CASING ELEVATION, TOP AND BOTTOM
PAVEMENT MARKING AND SIGNAGE	ELEVATIONS OF THE STRUCTURE AND BAFFLE WALLS, RIM
SIGNALIZATION	
• SITE LIGHTING	8.7. "AS-BUILT" DRAWINGS OF CONSTRUCTION AREAS SHALL INCLUDE THE FOLLOWING:
• ELECTRICAL AND COMMUNICATION LINES	8.7.1. ROCK ELEVATIONS AT ALL HIGH, AND LOW POINTS, AND AT
• UTILITY CONDUITS	ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE
• IRRIGATION	CONSISTENCY.
• FINAL	8.7.2. ROCK ELEVATIONS AND CONCRETE BASE ELEVATIONS SHALL BE
5.2 THE OWNER, ENGINEER, AND JURISDICTIONAL PERMITTING	
	TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISH GRADE
AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME.	ELEVATION SHOWN ON THE DESIGN PLANS.
AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS.	ELEVATION SHOWN ON THE DESIGN PLANS. 8.7.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS.
AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS. 5.3 TESTING - ALL TESTING REQUIRED BY THE PLANS AND SPECIFICATIONS SHALL BE PERFORMED BY A LICENSED / FDOT	ELEVATION SHOWN ON THE DESIGN PLANS. 8.7.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS. 8.7.4. FINISH GRADE ELEVATIONS IN ISLAND AREAS.
AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS. 5.3 TESTING - ALL TESTING REQUIRED BY THE PLANS AND SPECIFICATIONS SHALL BE PERFORMED BY A LICENSED / FDOT QUALIFIED TESTING COMPANY. REQUIRED TEST FOR ASPHALT AND	ELEVATION SHOWN ON THE DESIGN PLANS. 8.7.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS. 8.7.4. FINISH GRADE ELEVATIONS IN ISLAND AREAS. 8.7.5. "AS-BUILT" ELEVATIONS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN
AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS. 5.3 TESTING - ALL TESTING REQUIRED BY THE PLANS AND SPECIFICATIONS SHALL BE PERFORMED BY A LICENSED / FDOT QUALIFIED TESTING COMPANY. REQUIRED TEST FOR ASPHALT AND LIMEROCK SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER	ELEVATION SHOWN ON THE DESIGN PLANS. 8.7.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS. 8.7.4. FINISH GRADE ELEVATIONS IN ISLAND AREAS. 8.7.5. "AS-BUILT" ELEVATIONS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS.
AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS. 5.3 TESTING - ALL TESTING REQUIRED BY THE PLANS AND SPECIFICATIONS SHALL BE PERFORMED BY A LICENSED / FDOT QUALIFIED TESTING COMPANY. REQUIRED TEST FOR ASPHALT AND LIMEROCK SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER OR THE JURISDICTIONAL GOVERNMENTAL AGENCY IN	ELEVATION SHOWN ON THE DESIGN PLANS. 8.7.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS. 8.7.4. FINISH GRADE ELEVATIONS IN ISLAND AREAS. 8.7.5. "AS-BUILT" ELEVATIONS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS. 8.7.6. LAKE AND CANAL BANK "AS-BUILT" DRAWINGS SHALL INCLUDE A
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<ul> <li>AGENCIES MAY MAKE INSPECTIONS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL COOPERATE FULLY WITH ALL INSPECTIONS.</li> <li>5.3 TESTING - ALL TESTING REQUIRED BY THE PLANS AND SPECIFICATIONS SHALL BE PERFORMED BY A LICENSED / FDOT QUALIFIED TESTING COMPANY. REQUIRED TEST FOR ASPHALT AND LIMEROCK SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER OR THE JURISDICTIONAL GOVERNMENTAL AGENCY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.</li> <li>6. TEMPORARY FACILITIES</li> <li>6.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, COMMUNICATIONS, AND ELECTRICITY, FOR HIS OPERATIONS AND WORKS, COST INCLUDED UNDER MOBILIZATION.</li> <li>6.2. CONTRACTOR SHALL CONSTRUCT TEMPORARY FENCING TO SECURE CONSTRUCTION AREAS AT ALL TIMES, COST INCLUDED IN MOBILIZATION.</li> <li>6.3. CONTRACTOR TO OBTAIN A SECURE STAGING AREA AND OBTAIN ALL NECESSARY APPROVALS FROM THE OWNER.</li> <li>6.4. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY LIGHTING AS REQUIRED TO LIGHT THE CONSTRUCTION PROJECT LIMITS AT ALL TIMES, TO AT LEAST THE SAME LIGHTING INTENSITY LEVELS AS THE EXISTING CONDITIONS.</li> <li>6.5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.</li> <li>7. PROJECT PROGRESS AND CLOSEOUT</li> <li>7.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE BROOM SWEPT CLEAN.</li> <li>7.2. THE CONTRACTOR SHALL RESTORE OR REPLACE ANY PUBLIC OR PRIVATE PROPERTY (SUCH AS HIGHWAY, DRIVEWAY, WALKWAY, AND LANDSCAPING), DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PROR TO THE BEGINNING OF CONSTRUCTION. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.</li> </ul>	<ul> <li>ELEVATION SHOWN ON THE DESIGN PLANS.</li> <li>8.7.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS.</li> <li>8.7.4. FINISH GRADE ELEVATIONS IN ISLAND AREAS.</li> <li>8.7.5. "AS-BUILT" ELEVATIONS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS.</li> <li>8.7.6. LAKE AND CANAL BANK "AS-BUILT" DRAWINGS SHALL INCLUDE A KEY SHEET OF THE LAKE FOR THE LOCATION OF CROSS SECTIONS. LAKE AND CANAL BANK CROSS SECTIONS SHALL BE PLOTTED AT A MINIMUM OF EVERY 100 LF, UNLESS OTHERWISE SPECIFIED. "AS-BUILT" DRAWINGS SHALL CONSIST OF THE LOCATION AND ELEVATION OF THE TOP OF BANK, EDGE OF WATER, AND THE DEEP CUT LINE, WITH THE DISTANCE BETWEEN EACH SHOWN ON THE DRAWING.</li> <li>8.7.7. RETENTION AREA "AS-BUILT" ELEVATIONS SHALL BE TAKEN AT THE BOTTOM OF THE RETENTION AREA AND AT THE TOP OF BANK. IF THERE ARE CONTOURS INDICATED ON THE DESIGN PLANS, THEN THEY SHALL BE INCLUDED IN "AS-BUILT" DRAWINGS AS WELL.</li> <li>8.8. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL BE PLANED OF THE WORK, THE CONTRACTOR SHALL BE SUBMITTED THESE ALL "AS-BUILT" INFORMATION SHALL BE PUT ON THE LATEST ENGINEERING DRAWINGS. EIGHT (8) SETS OF BLUE OR BLACK LINE DRAWINGS SHALL BE SUBMITTED. THESE DRAWINGS SHALL BE SUBMITTED TO THE SUBMITTED. THESE DRAWINGS SHALL BE SUBMITTED TO THE SUBMITTED. THESE DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2008 OR LATER.</li> <li>9. UTILITY NOTES</li> <li>9.1. CONTRACTOR IS RESPONSIBLE FOR UTILITY VERIFICATION PRIOR TO FABRICATION.</li> <li>9.2. THE CONTRACTOR IS ADVISED THAT PROPERTIES ADJACENT TO THE PROJECT HAVE ELECTRIC, TELEPHONE, GAS, WATER AND/OR SEWER SERVICE LATERALS WHICH MAY NOT BE SHOWN IN PLANS. THE CONTRACTOR SHALL BE KAND DIGGING WHEN EXCAVATING NEAR EXISTING UTILITIES. EXTREME CAUTION SHALL BE</li> </ul>

9.4. THE CONTRACTOR SHALL NOTIFY AND OBTAIN AN UNDERGROUND CLEARANCE FROM ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN A SUNSHINE811.COM CERTIFICATION CLEARANCE NUMBER AND FIELD MARKINGS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.

• PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553.851 FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.

- 9.5 FOR STREET EXCAVATION OR CLOSING OR FOR ALTERATION OF ACCESS TO PUBLIC OR PRIVATE PROPERTY, THE CONTRACTOR SHALL NOTIFY:
- ROADWAY JURISDICTIONAL ENGINEERING / PUBLIC WORKS AUTHORITY.

REFERENCE MARKERS, REMOVED OR DESTROYED BY THE

CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A

STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE

CONSTRUCTION ACTIVITIES SHALL BE GRADED, SODDED, &

RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT

SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE

LOCATION, LENGTH, MATERIAL AND ELEVATION OF ANY FACILITY

NOT BUILT ACCORDING TO PLANS. THIS COPY OF THE "AS-BUILT"

BASE CONSTRUCTION (AT LEAST 48 HOURS BEFORE PLACING

7.5. ALL UNPAVED SURFACES DISTURBED AS A RESULT OF

8.1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR

SHALL BE SUBMITTED TO ENGINEER FOR PROJECT RECORD.

8.2. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND LIMEROCK

WHICH EXISTED BEFORE THE CONSTRUCTION.

CONTRACTOR'S EXPENSE.

8. PROJECT RECORD DOCUMENTS:

COUNTY TRANSIT AUTHORITY

- SCHOOL BOARD TRANSPORTATION AUTHORITY
- JURISDICTIONAL FIRE DEPARTMENT DISPATCH
- JURISDICTIONAL POLICE DEPARTMENT(S)
- 9.6 THE CONTRACTOR SHALL USE EXTREME CAUTION WORKING UNDER, OVER, AND AROUND EXISTING ELECTRIC LINES. THE CONTRACTOR SHALL CONTACT THE ELECTRIC PROVIDER COMPANY TO VERIFY LOCATIONS, VOLTAGE, AND REQUIRED CLEARANCES, ONSITE, IN RIGHT-OF-WAYS, AND IN EASEMENTS, PRIOR TO ANY CONSTRUCTION IN THE VICINITY OF EXISTING LINES.
- 9.7 LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY (FACILITIES) AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION (VERTICAL & HORIZONTAL) OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS AND LOCATIONS OF ALL EXISTING FACILITIES, IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE CONFLICT.
- 9.8 THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND UTILITY COMPANIES REQUIRED. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.
- 10. SIGNING AND PAVEMENT MARKINGS
- 10.1. ALL SIGNING AND PAVEMENT MARKINGS INSTALLED AS PART OF THESE PLANS SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), COUNTY TRAFFIC DESIGN STANDARDS AND FDOT DESIGN STANDARDS AS A MINIMUM CRITERIA.
- 10.2. MATCH EXISTING PAVEMENT MARKINGS AT THE LIMITS OF CONSTRUCTION.
- 10.3. REMOVAL OF THE EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY WATER BLASTING OR OTHER APPROVED METHODS DETERMINED BY THE ENGINEER.
- 10.4. INCORRECTLY PLACED PAINT OR THERMOPLASTIC PAVEMENT MARKINGS OVER FRICTION COURSE WILL BE REMOVED BY MILLING AND REPLACING THE FRICTION COURSE A MINIMUM WIDTH OF 18 IN AT THE CONTRACTOR'S EXPENSE. THE ENGINEER MAY APPROVE AN ALTERNATIVE METHOD IF IT CAN BE DEMONSTRATED TO COMPLETELY REMOVE THE MARKINGS WITHOUT DAMAGING THE ASPHALT.
- 10.5. PLACE ALL RETRO-REFLECTIVE PAVEMENT MARKERS IN ACCORDANCE WITH FDOT STANDARD INDEX 706-001 AND / OR AS SHOWN IN THE PLANS.
- 10.6. CAUTION SHOULD BE EXERCISED WHILE RELOCATING EXISTING SIGNS TO PREVENT UNNECESSARY DAMAGE TO SIGNS. IF THE SIGN IS DAMAGED BEYOND USE, AS DETERMINED BY THE ENGINEER, SIGNS SHALL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE
- 10.7. ALL EXISTING SIGNS THAT CONFLICT WITH CONSTRUCTION OPERATIONS SHALL BE REMOVED, STOCKPILED, AND RELOCATED BY THE CONTRACTOR. SIGN REMOVAL SHALL BE DIRECTED BY THE ENGINEER.
- 10.8. RELOCATED SIGN SUPPORT SYSTEM MUST MEET THE CURRENT DESIGN STANDARD.
- 10.9. THE CONTRACTOR SHALL PROVIDE AN INVENTORY OF EXISTING SIGNS TO REMAIN OR TO BE RELOCATED PRIOR TO STARTING THE JOB AND FORWARD THIS LIST TO THE ENGINEER. CONTRACTOR SHALL NOTIFY IF THERE ARE ANY MISSING OR DAMAGE SIGNS THAT THE PLANS SHOW TO REMAIN OR TO BE RELOCATED.
- 10.10. ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 711.
- 10.11. HAND DIG THE FIRST FOUR FEET OF SIGN FOUNDATION.
- 10.12. ALL SIGNS SHALL MEET ALL OF THE FOLLOWING: • MEET THE CRITERIA OUTLINED IN SECTION 2A.08 OF THE 2009 MUTCD
- MEET THE SPECIFICATIONS OUTLINED IN SECTION 700 AND 994 OF THE LATEST FDOT STANDARD SPECIFICATIONS.
- CONSIST OF MATERIALS CERTIFIED TO MEET THE RETROREFLECTIVE SHEETING REQUIREMENTS OUTLINED IN THE CURRENT VERSION OF ASTM D4956 FOR TYPE-XI RETROREFLECTIVE SHEETING MATERIALS MADE WITH PRISIMS, EXCEPT FOR SCHOOL ZONE AND PEDESTRIAN SIGNS WHICH SHALL BE COMPRISED OF RETROREFLECTIVE FLUORESCENT YELLOW-GREEN SHEETING CERTIFIED TO MEET ASTM D4956 TYPE IV RETROREFLECTIVE SHEETING MATERIALS.
- CONSIST OF RETROREFLECTIVE SHEETING MATERIALS THAT HAVE A VALID FDOT APPROVED PRODUCT LIST (APL) CERTIFICATION FOR SPECIFICATION 700 HIGHWAY SIGNING FOR FDOT SHEETING TYPE XI (OR TYPE IV FOR SCHOOL AND PEDESTRIAN SIGNS).
- 10.13 PATCH ATTACHMENT HARDWARE, SUCH AS COUNTERSUNK SCREWS OR RIVET HEADS, WITH RETRO REFLECTIVE BUTTONS THAT MATCH THE COLOR AND SHEETING MATERIAL OF THE FINISHED SIGN PANEL INCLUDING THE BACKGROUND, LEGEND OR BORDER.
- 10.14 ENSURE THE OUTSIDE CORNER OF SIGN IS CONCENTRIC WITH BORDER. ENSURE WHITE BORDERS ARE MOUNTED PARALLEL TO THE EDGE OF THE SIGN. ENSURE BLACK BORDERS ARE RECESSED FROM THE EDGE OF THE SIGN.
- 10.15 LAYOUT PERMANENT FINAL STRIPING THAT LEAVES NO VISIBLE MARKS AT TIME OF FINAL ACCEPTANCE.

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FOR THE PLACEMENT OF SOD. 21.10.SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1' OF THE REQUIRED ELEVATION FOR NON PAVED AREAS AND ALL AREAS SHALL BE GRADED TO

DRAIN WITHOUT PONDING. 21.11.THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, FILL, EMBANKMENT

- AND GRADING TO ACHIEVE THE PROPOSED PLAN GRADES INCLUDING TYPICAL ROAD SECTIONS, SIDE SLOPES AND CANAL SECTIONS. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 120 OF THE STANDARD SPECIFICATIONS. IF FILL MATERIAL IS REQUIRED IN EXCESS OF THAT GENERATED BY THE EXCAVATION, THE CONTRACTOR SHALL SUPPLY THIS MATERIAL AS REQUIRED FROM OFF-SITE.
  - 21.12.A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED OR SEEDED AND MULCHED WITHIN THE PROJECT LIMITS UNLESS OTHERWISE INDICATED ON THE PLANS.
  - 21.13.SOD SHALL BE ST. AUGUSTINE UNLESS OTHERWISE INDICATED ON THE PLANS, AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO INSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT.

22.DRAINAGE

- 22.1. INLETS ALL INLETS SHALL BE THE TYPE DESIGNATED ON THE PLANS, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 425 OF THE STANDARD SPECIFICATIONS. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
- 22.2. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
- RCP = REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76, SECTION 941 OF THE STANDARD SPECIFICATIONS.
- CMP = CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196. • CMP (SMOOTH LINED) = CORRUGATED METAL ALUMINUM PIPE, (SMOOTH
- LINED) ASTM DESIGNATION M-196. • SCP = SLOTTED CONCRETE PIPE, SECTIONS 941 AND 942, OF THE
- STANDARD SPECIFICATIONS.
- PVC = POLYVINYL CHLORIDE PIPE. • PCMP = PERFORATED CMP, SECTION 945, OF THE STANDARD
- SPECIFICATIONS CORRUGATED HIGH DENSITY POLYETHYLENE PIPE (HDPE) (12 INCHES TO 60 INCHES), SHALL MEET THE REQUIREMENTS OF FDOT SPECIFICATION
- SECTION 948-2.3. 22.3. PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE AS DEFINED IN THE SECTION 125-8, OF THE
- STANDARD SPECIFICATIONS. PIPELINE BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO T-99 SPECIFICATIONS)
- 22.4. LOCATION OF DRAINAGE STRUCTURES SHALL GOVERN, AND PIPE LENGTH MAY HAVE TO BE ADJUSTED TO ACCOMPLISH CONSTRUCTION AS SHOWN ON THESE PLANS.
- 22.5. DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE INNER WALLS OF STRUCTURES.
- 22.6. FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE STANDARD SPECIFICATIONS.
- 23.ASPHALT PAVING
- 23.1. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
- 23.2. INTERNAL ASPHALT PAVING CONSTRUCTED ON EXISTING SANDY SOILS SHALL BE CONSTRUCTED WITH A 12" SUBGRADE, COMPACTED TO A MINIMUM DENSITY OF 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. THE COMPACTED SUBGRADE SHALL BE CONSTRUCTED IN THE LIMITS SHOWN ON THE PLANS. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED
- 23.3. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON THE PLANS. THE SURFACE COURSE SHALL CONSIST OF THE THICKNESS AND TYPE ASPHALTIC CONCRETE AS SPECIFIED IN THE PLANS. ALL ASPHALTIC CONCRETE SHALL BE IN ACCORDANCE WITH SECTIONS 320, 327, 330, 334, 336, 337, 337, 338, 339 AND 341 OF THE STANDARD SPECIFICATIONS.
- 23.4. LIMEROCK BASE SHALL BE PREPARED, COMPACTED AND GRADED AND SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE STANDARD SPECIFICATIONS. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NOT LESS THAN 70% OF CARBONATES OF CALCIUM AND MAGNESIUM UNLESS OTHERWISE DESIGNATED. THE ENGINEER SHALL INSPECT THE COMPLETED BASE COURSE AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES AND CLEAN THE BASE COURSE PRIOR TO THE PLACEMENT OF THE PRIME COAT. A TACK COAT WILL ALSO BE REQUIRED IF THE ENGINEER FINDS THAT THE PRIMED BASE HAS BECOME EXCESSIVELY DIRTY OR THE PRIME COAT HAS CURED TO THE EXTENT OF LOSING BOUNDING EFFECT PRIOR TO PLACEMENT OF THE ASPHALTIC CONCRETE SURFACE COURSE. THE PRIME AND TACK COATS SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE STANDARD SPECIFICATIONS.
- 23.5. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO EQUAL LIFTS. IF, THROUGH FIELD TESTS, THE CONTRACTOR CAN DEMONSTRATE THAT THE COMPACTION EQUIPMENT CAN ACHIEVE DENSITY FOR THE FULL DEPTH OF A THICKER LIFT, AND IF APPROVED BY THE ENGINEER, THE BASE MAY BE CONSTRUCTED IN SUCCESSIVE COURSES OF NOT MORE THAN 8 INCHES (200 MM) COMPACTED THICKNESS.
- 23.6. ASPHALT EDGES THAT ARE NOT CURBED SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE TO THE DIMENSIONS SHOWN ON PLANS. 24.CONCRETE CONSTRUCTION
- 24.1. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH SECTION 522 OF THE STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 522-001. CONCRETE SIDEWALK SHALL BE 4" THICK, UNLESS OTHERWISE NOT AND CONSTRUCTED ON COMPACTED SUBGRADE, WITH 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75', UNLESS OTHERWISE NOTED ON PLANS. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. ALL CONCRETE SIDEWALKS THAT CROSS
- DRIVEWAYS SHALL BE 6" THICK, UNLESS OTHERWISE NOTED ON PLANS. 24.2. SIDEWALK CURB RAMPS HALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 522-002. 24.3. CONCRETE CURB SHALL BE CONSTRUCTED TO THE LIMITS SHOWN ON
- THE PLANS. THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS AND SHALL BE IN ACCORDANCE WITH SECTION 520 OF THE STANDARD SPECIFICATIONS. CONCRETE CURBING SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 520-001.

CONSTRUCTION SPECIFICATIONS

SECTION 20 - GENERAL SPECIFICATIONS PAVING GRADING DRAINAGE AND EARTHWORK 20.GENERAL

20.1. IT IS THE INTENT OF THESE SPECIFICATIONS TO DESCRIBE THE MINIMUM ACCEPTABLE TECHNICAL REQUIREMENTS FOR THE MATERIALS AND WORKMANSHIP FOR CONSTRUCTION OF SITE IMPROVEMENTS FOR THIS PROJECT. SUCH IMPROVEMENTS MAY GENERALLY INCLUDE, BUT NOT TO BE LIMITED TO, CLEARING, GRADING, PAVING, REMOVAL OF EXISTING PAVEMENT STORM DRAINAGE, WATER LINES AND SANITARY SEWERS.

20.2. IT IS THE INTENT THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION: (CURRENT EDITION) TOGETHER WITH "SUPPLEMENTAL SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION), AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (CURRENT EDITION) BE USED WHERE APPLICABLE FOR THE VARIOUS WORK, AND THAT WHERE SUCH WORDING THEREIN REFERS TO THE STATE OF FLORIDA AND ITS DEPARTMENT OF TRANSPORTATION AND PERSONNEL, SUCH WORDING IS INTENDED TO BE REPLACED WITH THE WORDING WHICH WOULD PROVIDE PROPER TERMINOLOGY; THEREBY MAKING SUCH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" TOGETHER WITH THE "FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS" AS THE "STANDARD SPECIFICATIONS" FOR THIS PROJECT. IF WITHIN A PARTICULAR SECTION, ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO, IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL AND STATE LAWS, REGULATIONS AND BUILDING CODES WHICH HAVE JURISDICTION IN THE AREA.

- 20.3. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AND PERFORM ALL OPERATIONS REQUIRED TO COMPLETE THE CONSTRUCTION OF A PAVING AND DRAINAGE SYSTEM AS SHOWN ON THE PLANS, SPECIFIED HEREIN, OR BOTH. IT IS THE INTENT TO PROVIDE A COMPLETE AND OPERATING FACILITY IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS. THE MATERIAL AND EQUIPMENT SHOWN OR SPECIFIED SHALL NOT BE TAKEN TO EXCLUDE ANY OTHER INCIDENTALS NECESSARY TO COMPLETE THE WORK.
- 20.4. ALL LABOR, MATERIALS, AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE PLANS AND CONSTRUCTION SPECIFICATIONS AND THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY THE UNIT OF GOVERNMENT WHICH HAS JURISDICTION AND
- RESPONSIBILITY FOR THE CONSTRUCTION. WHERE CONFLICTS OR OMISSIONS EXIST, THE JURISDICTIONAL GOVERNMENT ENGINEERING DEPARTMENT'S STANDARDS SHALL GOVERN. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
- 20.5. GUARANTEE ALL MATERIALS AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT, SHALL BE GUARANTEED FOR A PERIOD OF (L) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF, AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE GUARANTEED EQUIPMENT OR MATERIALS, DURING THE GUARANTEE PERIOD, THE AFFECTED PART OR MATERIALS SHALL BE REPLACED PROMPTLY WITH NEW PARTS OR MATERIALS BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER. IN THE EVENT THE CONTRACTOR FAILS TO MAKE NECESSARY REPLACEMENT OR REPAIRS WITHIN (7) SEVEN DAYS AFTER NOTIFICATION BY THE OWNER, THE OWNER MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.
- 21. EARTHWORK
- 21.1. ALL AREAS WITHIN THE PROJECT LIMITS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1'. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE STANDARD SPECIFICATIONS
- 21.2. NONE OF THE EXISTING LIMEROCK MATERIAL FROM DEMOLISHED PAVEMENT IS TO BE INCORPORATED IN THE NEW LIMEROCK BASE, UNLESS NOTED IN PLANS. THE EXISTING LIMEROCK MATERIAL FROM DEMOLISHED PAVEMENT MAY BE INCORPORATED INTO THE STABILIZED SUBGRADE / SUBBASE, OR STABILIZED SHOULDER.
- 21.3. FILL MATERIAL SHALL BE CLASSIFIED AS A-L, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- 21.4. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- 21.5. ALL MATERIAL OF CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND TESTING TO ESTABLISH CONFORMANCE WITH THE SPECIFICATIONS AND SUITABLY FOR THE USES INTENDED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE TIME HE WILL BE READY FOR AN INSPECTION OR TEST. THE CONTRACTOR SHALL FOLLOW CITY AND COUNTY INSPECTION PROCEDURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY PHASE OF WORK DEPENDENT ON AN INSPECTION OR TEST OF AN EARLIER PHASE OF WORK, PRIOR TO THAT TEST OR INSPECTION PASSING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- 21.6. WHEN MUCK, CLAY, ROCK, OR ANY OTHER MATERIAL THAT IS UNSUITABLE IN ITS ORIGINAL POSITION ARE ENCOUNTERED BENEATH PROPOSED PAVEMENT AND SIDEWALK AREAS, THE UNSUITABLE MATERIALS SHALL BE COMPLETELY REMOVED FROM BENEATH THE PAVEMENT AND SIDEWALK AREAS AND (10) TEN FEET BEYOND THE EDGE OF PAVEMENT. ALL SUCH UNSUITABLE MATERIAL REMOVED BY THE SUBSOIL EXCAVATION, SHALL BE REPLACED WITH ACCEPTABLE EMBANKMENT MATERIAL, AS SPECIFIED IN THE STANDARD SPECIFICATIONS.
- 21.7. WHEN MUCK, CLAY, HARDPAN OR ANY OTHER MATERIAL THAT IS UNSUITABLE IN ITS ORIGINAL POSITION, ARE ENCOUNTERED BENEATH PROPOSED DRAINAGE SWALES OR DRY RETENTION AREAS, THE UNSUITABLE MATERIALS SHALL BE COMPLETELY REMOVED FROM BENEATH THE DRAINAGE SWALES AND DRY RETENTION AREAS. ALL SUCH UNSUITABLE MATERIAL REMOVED BY THE SUBSOIL EXCAVATION, SHALL BE REPLACED WITH COARSE SAND, OR OTHER SUITABLE GRANULAR MATERIAL, AS SPECIFIED IN THE STANDARD SPECIFICATIONS.
- 21.8. ALL UNDERGROUND UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE IN PLACE PRIOR TO SUBGRADE COMPACTION AND PAVEMENT CONSTRUCTION. 21.9. GROUND ADJACENT TO ROADWAY/PAVEMENT HAVING RUNOFF SHALL BE GRADED (2) TWO INCHES LOWER THAN THE EDGE OF PAVEMENT TO ALLOW

SECTION 30 - WATER DISTRIBUTION AND SANITARY SEWER FORCE MAINS. 30. MATERIALS:

NOTE: IF MATERIALS LIST HERE ON ARE IN CONFLICT WITH UTILITY OWNER, MATERIAL OWNER REQUIREMENTS SHALL GOVERN.

30.1. ALL WATER MAIN PIPE, INCLUDING FITTINGS, SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE

TOP OF THE PIPE. 30.2. DUCTILE IRON PIPE FOR WATER DISTRIBUTION MAINS SHALL CONFORM TO ANSI/AWWA STANDARD C151/A21.51 LATEST REVISION, "DUCTILE IRON PIPE CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS" WITH A MINIMUM WALL THICKNESS OF CLASS 51 (PRESSURE CLASS 350) UNLESS OTHERWISE NOTED IN THE PLANS. DUCTILE IRON PIPE SHALL BE CEMENT LINED AND SEAL COATED IN ACCORDANCE WITH ANSI/AWWA STANDARD C104/A21.4 LATEST REVISION. THE PIPE SHALL BE ADAPTED FOR USE WITH CLASS 250 FITTINGS FOR ALL SIZES. WATER MAIN SHALL BE COLORED BLUE IN ACCORDANCE WITH FLORIDA STATE STATUTES.

30.3. DUCTILE IRON PIPE FOR SEWAGE FORCE MAINS SHALL CONFORM TO ANSI/AWWA STANDARD C151/A21.51 LATEST REVISION, "DUCTILE IRON PIPE CENTRIFUGALLY CAST IN METAL MOLDS OR SAND- LINED MOLDS" WITH A MINIMUM WALL THICKNESS OF CLASS 51 (PRESSURE CLASS 350) UNLESS OTHERWISE NOTED IN THE PLANS. DUCTILE IRON PIPE SHALL BE INTERIOR CERAMIC EPOXY LINED AND EXTERIOR COATED WITH THE MANUFACTURER'S COATING SYSTEM (PROTECTO 401 CERAMIC EPOXY WITH A MINIMUM DRY FILM THICKNESS OF 40 MILS AND AN OUTSIDE COATING OF EITHER COAL TAR EPOXY OR ASPHALT). CEMENT MORTARED LININGS ARE NOT APPROPRIATE FOR THIS APPLICATION.

30.4. ALL PIPE & FITTINGS ON THE LIFT STATION SITES SHALL BE DUCTILE IRON CONFORMING TO THE SAME SPECIFICATIONS AS ABOVE FOR SEWAGE FORCE MAINS EXCEPT THAT FLANGED DUCTILE IRON PIPE & FITTINGS SHALL BE USED INSIDE VALVE PITS AND WET WELLS. FLANGED PIPE AND FITTINGS SHALL CONFORM TO ANSI/AWWA C115/A21.15 LATEST REVISION AND ANSI/AWWA C110/A21.10 LATEST REVISION. THE FOLLOWING THICKNESS CLASSES SHALL BE ADHERED TO: 4" - 12" - CLASS 52, 14" & LARGER - CLASS 51.

30.5. PVC PRESSURE PIPE FOR SIZES 4" THROUGH 12" AND SHALL CONFORM TO ANSI/AWWA STANDARD C900 LATEST REVISION. PVC PRESSURE PIPE SHALL BE MADE FROM CLASS 12454-A OR CLASS 12454-B VIRGIN MATERIAL AND CONFORM WITH THE OUTSIDE DIAMETER OF CAST IRON PIPE WITH A MINIMUM WALL THICKNESS OF DR SERIES 18. ULTRA VIOLET DEGRADATION OR SUN BLEACHED PIPE WILL BE CAUSE FOR REJECTION. WATER MAIN SHALL BE COLORED BLUE IN ACCORDANCE WITH FLORIDA STATE STATUTES. FORCE MAIN SHALL BE IMPREGNATED WITH GREEN PIGMENT. REUSE MAIN SHALL BE IMPREGNATED WITH PURPLE PIGMENT.

30.6. DUCTILE IRON FITTINGS FOR WATER DISTRIBUTION MAINS SHALL CONFORM TO ANSI/AWWA STANDARD C110/A21.10 LATEST REVISION. FITTINGS 4" AND LARGER SHALL BE CEMENT LINED AND SEAL COATED IN ACCORDANCE WITH ANSI/AWWA STANDARD C104/A21.4 LATEST REVISION. WATER MAIN FITTING SHALL BE COLORED BLUE IN ACCORDANCE WITH FLORIDA STATE STATUTES.

30.7. CAST IRON AND DUCTILE IRON FITTINGS FOR SEWAGE FORCE MAINS SHALL CONFORM TO ANSI/AWWA STANDARD C110/A21.10 LATEST REVISION. FITTINGS 4" AND LARGER SHALL BE COATED IN ACCORDANCE WITH THE REQUIREMENTS OF DUCTILE IRON PIPE FOR SEWAGE FORCE MAINS.

30.8. JOINTS FOR BELL AND SPIGOT DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO ANSI/AWWA STANDARD C111/A21.11 LATEST REVISION. MECHANICAL JOINT OR PUSH-ON JOINT TO BE RUBBER GASKET

COMPRESSION-TYPE. SPECIAL FITTINGS AND JOINTS SHALL BE CONSIDERED FOR SPECIFIC INSTALLATION SUBJECT TO THE APPROVAL OF THE ENGINEER. 30.9. JOINTS FOR PVC PRESSURE PIPE SHALL BE BELL AND SPIGOT PUSH-ON RUBBER GASKET TYPE ONLY. NO SOLVENT WELD OR THREADED JOINTS WILL BE PERMITTED.

30.10. WATER DISTRIBUTION SYSTEM RESTRAINT: ALL FITTINGS AND SPECIFIC PIPE JOINTS SHALL BE RESTRAINED AS OUTLINED BELOW:

- JOINT RESTRAINT
- PUSH-ON P.V.C. EBAA IRON SERIES 1600 PUSH-ON DIP EBAA IRON SERIES 1700
- TR-FLEX BY U.S. PIPE OR
- FLEX RING BY AMERICAN
- FITTINGS W/ DIP EBAA IRON SERIES 1100 MEGALUG
- FITTINGS W/ P.V.C. EBAA IRON SERIES 2000 MEGALUG
- LENGTH OF RESTRAINED PIPE SHALL BE AS INDICATED ON RESTRAINED JOINT PIPE DETAIL. (SEE WATER & SEWER DETAIL SHEET)
- 30.11. SEWAGE FORCE MAIN SYSTEM RESTRAINT: ALL FITTINGS AND SPECIFIC PIPE JOINTS SHALL BE RESTRAINED AS OUTLINED BELOW
- JOINT RESTRAINT
- PUSH-ON P.V.C. EBAA IRON SERIES 1600
- PUSH-ON DIP EBAA IRON SERIES 1700
- TR-FLEX BY U.S. PIPE OR • FLEX RING BY AMERICAN
- FITTINGS W/ DIP EBAA IRON SERIES 1100 MEGALUG
- FITTINGS W/ P.V.C. EBAA IRON SERIES 2000 MEGALUG
- LENGTH OF RESTRAINED PIPE SHALL BE AS INDICATED ON RESTRAINED JOINT PIPE DETAIL. (SEE WATER & SEWER DETAIL SHEET)
- 30.12. WATER DISTRIBUTION VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C509 LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.

30.12.1.1. GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2361/2362, AMERICAN 250 LINE OR CLOW F-6100, CONFORMING TO ANSI/AWWA C500 LATEST REVISION OR APPROVED EQUAL.

30.12.1.2. TAPPING VALVES SHALL BE MUELLER T-2361/2362 OR APPROVED EQUAL.

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30.12.1.3. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS OR APPROVED EQUAL.

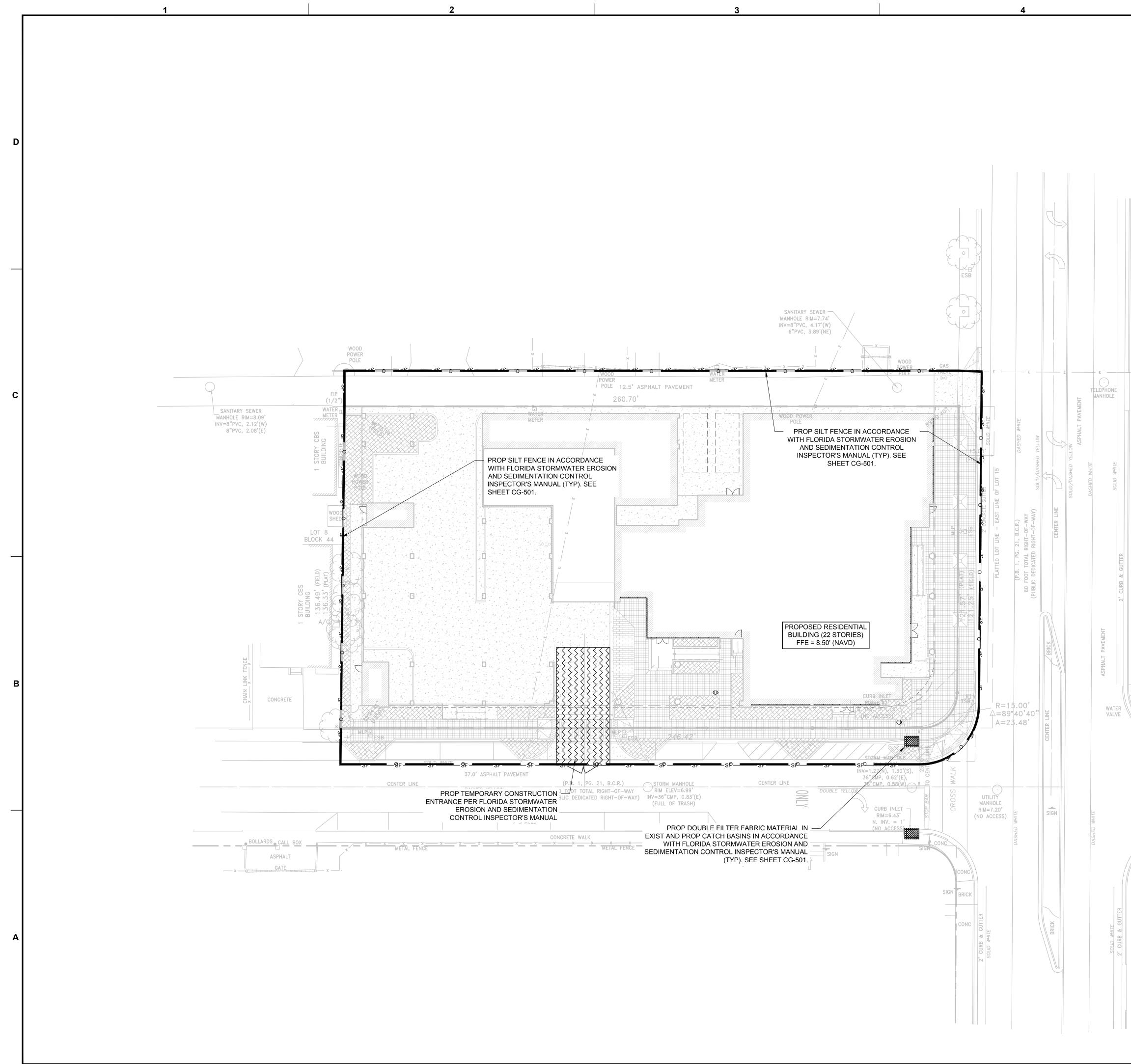
30.13. TAPPING SLEEVES SHALL BE MUELLER H615, CLOW F- 2505 OR AI EQUAL.

30.14. VALVE BOXES SHALL BE U.S. FOUNDRY 7500 OR APPROVED EQU PAINTED BLUE WITH THE DESIGNATION "WATER".

- 30.15.RETAINER GLANDS FOR DIP SHALL CONFORM TO ANSI/AWWA C1 LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DU IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MIN WATER PRESSURE RATING. CLOW CORPORATION MODEL F-1058, STA FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.
- 30.16.DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS W GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRESSER ST
- NO SUBSTITUTIONS ALLOWED. 30.17. FIRE HYDRANTS SHALL BE MUELLER CENTURION TRAFFIC TYPE WITH 5 1/4" INTERNAL VALVE OPENING OR APPROVED EQUAL. PUMPE TO BE 18" FROM FINISHED GRADE. ALL HYDRANTS TO BE INSTALLED CONTROL VALVE. RETAINER GLANDS ARE PREFERRED FOR RESTRAIL FIRE HYDRANT SHALL COMPLY WITH ANSI/AWWA C502 LATEST REVIS HYDRANTS SHALL BE PAINTED IN ACCORDANCE WITH NFPA #291 OR AGENCY STANDARDS HAVING JURISDICTION. BLUE RAISED REFLECTI PAVEMENT MARKER (RPM) SHALL BE USED TO IDENTIFY FIRE HYDRA LOCATION. THE PLACEMENT OF THE RPM TO BE AT THE CENTERLINE OUTSIDE ROADWAY LANE.
- 30.18. SEWAGE FORCE MAIN VALVES SHALL BE PLUG VALVES WHICH SI OF THE NON-LUBRICATED, ECCENTRIC TYPE WITH RESILIENT FACED PORT AREAS FOR VALVES 20 INCHES AND SMALLER SHALL BE AT LEA OF FULL PIPE AREA. PORT AREA OF VALVES 24 INCHES AND LARGER AT LEAST 70% OF FULL PIPE AREA. THE BODY SHALL BE OF SEMI-STE A-126 C1.B) AND SHALL HAVE BOLTED BONNET WHICH GIVES ACCESS INTERNALS OF THE VALVE. SEATS SHALL BE WELDED OVERLAY OF H NICKEL CONTENT OR A STAINLESS STEEL PLATE LOCKED IN THE BOD IF A PLATE IS USED, IT SHALL BE REPLACEABLE THROUGH THE BONN ACCESS. BEARINGS SHALL BE PERMANENTLY LUBRICATED OF STAIN STEEL, BRONZE OR TEFLON LINED, FIBER GLASS BACKED DURALON. AREAS SHALL BE ISOLATED FROM THE FLOW WITH GRIT SEALS. VALV HAVE PACKING BONNETS WHERE THE SHAFT PROTRUDES FROM THE AND THE PACKING SHALL BE SELF-ADJUSTING CHEVRON TYPE WHICH REPLACED WITHOUT REMOVING THE BONNET. ALL NUTS, BOLTS, SPF AND WASHERS SHALL BE STAINLESS STEEL
- 30.19. PLUG VALVES SHALL BE DESIGNED FOR A WORKING PRESSURE THE VALVE AND ACTUATOR SHALL BE CAPABLE OF SATISFACTORY C IN EITHER DIRECTION OF FLOW AGAINST PRESSURE DROPS UP TO AI INCLUDING 100 PSI (FOR PLUG VALVES OVER 12" IN DIAMETER). VALV BE BUBBLE TIGHT IN BOTH DIRECTIONS AT 100 PSI DIFFERENTIAL. PL VALVES OVER 12" IN DIAMETER SHALL HAVE WORM GEAR OPERATOR OPERATING MECHANISM SHALL BE FOR BURIED SERVICE WITH A 2 IN SQUARE OPERATING NUT
- 30.20.PLUG VALVES ARE TO BE INSTALLED WITH THE SEAT POINTED THE UPSTREAM FLOW, WHEN SPECIFIED.
- 30.21. SWING CHECK VALVES FOR WATER, SEWAGE, SLUDGE, AND GEN SERVICE SHALL BE OF THE OUTSIDE LEVER AND SPRING OR WEIGHT ACCORDANCE WITH ANSI/AWWA C 508 LATEST REVISION SWING-CHE VALVES FOR WATERWORKS SERVICE, 2" THROUGH 24" NPS, UNLESS OTHERWISE INDICATED, WITH FULL-OPENING PASSAGES, DESIGNED WATER-WORKING PRESSURE OF 150 PSI THEY SHALL HAVE A FLANG PIECE TO PROVIDE ACCESS TO THE DISC.
- 30.22. HIGH DENSITY POLYETHYLENE PIPE (HDPE) FOR WATER DISTRIE MAINS SHALL CONFORM TO AWWA C906 STANDARD, LATEST REVISIO SHALL BE COLOR-CODED BLUE, MINIMUM 40 FEET STANDARD LENGT 31.SERVICE CONNECTION:
- 31.1. SERVICE SADDLES SHALL BE FUSION BONDED PLASTIC COATED IRON (ASTM A536) WITH STAINLESS STEEL STRAPS, SADDLES SHALL DOUBLE STRAP TYPE.
- 31.2. SERVICE LINES SHALL BE POLYETHYLENE (PE 3408), 200 P.S.I RA PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE TOTALLY CONFIN SEAL AND COUPLING NUT
- 31.3. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALL ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFAC FORD BALLCORP, CATALOG # 1100 OR APPROVED EQUAL
- 31.4. CURB STOPS SHALL BE FORD V63-44W-X" LATEST REVISION OR A EQUAL.
- 31.5. METER STOPS SHALL BE 90 DEGREE LOCKWING TYPE AND SHALL BRONZE CONSTRUCTION IN ACCORDANCE FV63-777W" LATEST REVIS ASTM B-62. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND R "0" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS \$ EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY FORD OR APPROVED EQUAL. 32. INSTALLATION:
- 32.1. WHERE RESTRAINED PIPE JOINTS ARE REQUIRED DUE TO FITTIN APPURTENANCES, ETC., PIPE MATERIAL SHALL BE DIP
- 32.2. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE U PLASTIC PIPE ASSOCIATION "GUIDE FOR INSTALLATION OF PVC PRES PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM," AND ANSI/AWW C605-XX LATEST REVISION STANDARD.
- 32.3. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/ C600-> LATEST REVISION.
- 32.4. ALL WATER MAINS SHALL TYPICALLY BE LAID WITH A MINIMUM 36 FOR PVC AND 30" COVER FOR DIP.
- 32.5. DETECTOR TAPE SHALL BE LAID 18 INCHES ABOVE ALL WATER A SEWER LINES. A 14 GAUGE MULTI-STRAND WIRE SHALL BE ATTACHED NONCONDUCTIVE WATER MAINS TO FACILITATE LOCATION. AN EXTRA OF WIRE SHALL BE PROVIDED AT ALL VALVES, BLOW-OFFS, HYDRAN
- THE WIRE SHALL BE TESTED FOR CONTINUITY AT THE PRESSURE TEST 32.6. PIPE DEFLECTION SHALL NOT EXCEED 50% OF THE MAXIMUM DE RECOMMENDED BY THE MANUFACTURER.
- 32.7. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BA MATERIAL SHALL BE PLACED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- 32.8. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON BOXES WITH THE WORD "WATER" OR "SEWER", AS APPLICABLE, CAST COVER. U.S. FOUNDRY OR APPROVED EQUAL. 33. TESTING:
- 33.1. BEFORE ANY PHYSICAL CONNECTIONS AND ACCEPTANCE FOR OPERATION TO THE EXISTING WATER MAINS ARE MADE, THE COMPL WATER SYSTEM SHALL BE FLUSHED, PRESSURE TESTED AND DISINF COPIES OF PASSING BACTERIOLOGICAL RESULTS AND PRESSURE TH RESULTS MUST BE SUBMITTED TO, AND APPROVED BY, THE ENGINE UTILITY OWNER, AND HEALTH DEPARTMENT. HYDROSTATIC TESTING MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE O FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C600-05 (HYDRC TEST). THE PRESSURE TEST SHALL NOT VARY MORE THAN 5 PSI DUR

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PPROVED	TEST. THE ALLOWABLE LEAKAGE DURING THE PRESSURE TEST SHALL BE LESS			
AL	THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:		KEI	TH
44/404 44	L = (SD(P)1/2)/148,000.			
11/A21.11 CTILE	IN WHICH L EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S EQUALS LENGTH OF PIPE (LINEAR FEET), D EQUALS NOMINAL DIAMETER OF		East Atlantic   ano Beach, FL	
IIMUM ANDARD	PIPE (INCHES) AND P EQUALS THE AVERAGE TEST PRESSURE (POUNDS PER SQUARE INCH GAUGE). MAXIMUM LENGTH OF TEST PIPE SECTION SHOULD BE		H: (954) 788-34	
	2000 FEET. THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE		gineering Business Lice or and Mapper Business	
'ITH PLAIN TYLE 90.	WITH THE ANSI/AWWA C651-05 (WATER MAIN BACTERIOLOGICAL TESTS). 33.2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF		Architecture Business	
IYLE 90.	THE UTILITY OWNER AND THE ENGINEER OF RECORD.		REVISIONS	
A-423	33.3. FOR WATER DISTRIBUTION PIPES, SAMPLING POINTS SHALL BE PROVIDED	NO. DES	SCRIPTION	DATE
ER NOZZLE WITH	BY THE CONTRACTOR AT THE LOCATIONS SHOWN ON THE PLANS. 33.4. FOR WATER DISTRIBUTION PIPES, DISINFECTION AND BACTERIOLOGICAL			
NING.	TESTING SHALL BE IN ACCORDANCE WITH ANSI/AWWA C651-14 (WATER MAIN			
ION. FIRE PER	BACTERIOLOGICAL TESTS). MAXIMUM DISTANCE BETWEEN SAMPLING POINTS SHALL BE AS FOLLOWS:			
IVE	TRANSMISSION MAINS: EVERY 1200 FEET			
NT OF THE	BRANCH MAINS: EVERY 1000 FEET			
	<ul> <li>ISOLATED MAINS &lt; 1000 FEET: 2 SAMPLE POINTS</li> <li>ISOLATED MAINS &gt; 1000 FEET: 3 SAMPLE POINTS</li> </ul>			
HALL BE PLUGS,				
AST 80%	SECTION 40 - GRAVITY SANITARY SEWER COLLECTION SYSTEM 40.GENERAL:			
SHALL BE EEL (ASTM	40.9 ENERAL. 40.1. MANHOLE, VALVE BOX, METER BOX AND OTHER STRUCTURE RIM			
S TO THE	ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE ADJUSTED TO			
IGH DY CAVITY.	CONFORM TO PLAN GRADES PROPOSED IN THESE PLANS. IF NO OTHER INDIVIDUAL COST ITEM IS INCLUDED IN THE CONTRACT SCHEDULE FOR A			
IET	PARTICULAR STRUCTURE ADJUSTMENT.			
ILESS BEARING	40.2. DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.			
/ES SHALL	41. MATERIALS:			
E VALVE H CAN BE	NOTE: IF MATERIALS LIST HERE ON ARE IN CONFLICT WITH UTILITY OWNER, MATERIAL OWNER REQUIREMENTS SHALL GOVERN.		R CONSTR	
RINGS	41.1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL	AND ARE S	UBJECT TO REVI	SIONS MADE
OF 150 PSI	CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.	RESPONSIE	THE PERMITTING	SE OF THESE
PERATION	41.2. DUCTILE IRON PIPE SHALL CONFORM TO ANSI/AWWA C151/A21.51-XX		R TO OBTAINING F ES HAVING JURIS	
ND 'ES SHALL	LATEST REVISION, "DUCTILE IRON PIPE CENTRIFUGALLY CAST IN METAL		T WILL FALL SOL	
UG RS. THE	MOLDS OR SAND-LINED MOLDS" WITH WALL THICKNESS CLASS 51 FOR 8" AND ABOVE, CLASS 52 FOR 4" AND 6", UNLESS OTHERWISE DIRECTED BY THE			07/00/0000
ICH	ENGINEER. DUCTILE IRON PIPE SHALL BE EPOXY LINED OR COATED WITH THE MANUFACTURER'S COATING SYSTEM AS APPROVED BY THE ENGINEER OF	ISSUE DAT		07/03/2023 VAC
	RECORD AND THE LOCAL MUNICIPALITY OR UTILITY OWNER. IN EITHER CASE,	DRAWN BY		VAC
TOWARDS	THE ENGINEER'S REVIEW AND APPROVAL IS REQUIRED FOR EITHER ALTERNATIVE PRIOR TO CONSTRUCTION. CEMENT MORTARED LININGS ARE	CHECKED		CM
	NOT APPROPRIATE FOR THIS APPLICATION.	BID-CONTR	RACT:	
TYPE, IN CK	41.3. ALL DUCTILE IRON FITTINGS SHALL CONFORM TO ANSI/AWWA STANDARD			
	C110/A21.10-XX LATEST REVISION. ALL FITTINGS AND ACCESSORIES SHALL BE EPOXY LINED AND AS MANUFACTURED OR SUPPLIED BY THE PIPE		NIN SF. DOM	,
FOR A ED COVER	MANUFACTURER OR APPROVED EQUAL. 41.4. MANHOLES SHALL BE PRECAST PER ASTM C 478 AND IN ACCORDANCE	L L	CENSE	
	WITH THE PLANS AND SPECIFICATIONS.	EX.	No. 60529 07/03/2023	*
UTION N. PIPES	41.5. MANHOLES ARE TO BE SEALED WITH TYPE II SULPHATE RESISTANT		*	*
HS.	CEMENT OR APPROVED EQUAL - NO MOLDING PLASTER. 41.6. JOINTS FOR BELL AND SPIGOT DUCTILE IRON PIPE AND FITTINGS SHALL	ER.	STATE OF	
DUCTILE	CONFORM TO ANSI/AWWA STANDARD C111/A21.11-XX LATEST REVISION.	11	SONIAL EN	
BE	MECHANICAL JOINT OR PUSH-ON JOINT TO BE RUBBER GASKET COMPRESSION- TYPE.			
TED, DR9.	41.7. PVC CLEAN-OUTS TO HAVE SCREW TYPE ACCESS PLUG. LONG RADIUS		AS F. DONAH	
NED GRIP	WYE CONNECTIONS AND FITTINGS SHALL BE USED IN ORDER TO ACCESS CLEAN-OUT OPERATIONS.	FLOR	IDA REG. NO. (FOR THE FIRI	60529 M)
_OY IN	41.8. CLEANOUTS SHALL BE INSTALLED AT ALL SEWER SERVICES EXCEEDING	CLIENT	\	/
TURED BY	75' IN LENGTH (EVERY 75') WITH A CLEAN OUT AT THE PROPERTY LINE, EASEMENT LINE, OR 5' FROM A BUILDING. THE CONTRACTOR SHALL			
APPROVED	COORDINATE THE LOCATION OF THE BUILDING CLEANOUT (5' FROM THE			
	BUILDING) AND ELEVATION OF THE END OF THE SEWER SERVICE WITH THE BUILDING PLUMBING CONTRACTOR. CLEANOUTS SHALL BE THE SAME SIZE AS	10	17 TAYL	
L BE OF SION WITH	THE SERVICE LATERAL IN WHICH THEY ARE INSTALLED.			
RESILIENT	42. INSTALLATION: 42.1. PVC SEWER PIPE SHALL BE LAID IN ACCORDANCE WITH ASTM D 2321 AND		LOPMEN	
SHALL BE	THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "RECOMMENDED PRACTICE FOR			
	THE INSTALLATION OF PVC SEWER PIPE." 42.2. DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C-600-XX			
	LATEST REVISION.			
IGS,	42.3. PIPE TO MANHOLE CONNECTION TO BE FERNCO NEOPRENE BOOT COUPLINGS WITH STAINLESS STEEL ACCESSORIES OR APPROVED EQUAL.	PROJECT		
JNI-BELL SSURE	42.4. MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM			
VA	SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE. 42.5. ALL OPENINGS AND JOINTS SHALL BE SEALED WATERTIGHT.			
xx	42.6. TWO COATS OF KOPPERS 300-M, FIRST RED, SECOND ONE BLACK, SHALL			
~~	BE APPLIED TO THE INSIDE OF ALL MANHOLES AND SHALL BE APPLIED IN	ST	AR TOW	ER
6" COVER	ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS (16 MILS PER COAT). COATING AS REQUIRED BY UTILITY OWNER OR ENGINEER SHALL BE	НС	OLLYWO	OD
ND	APPLIED TO THE OUTSIDE OF THE MANHOLE. THE INTERIOR COATS SHALL BE APPLIED AFTER SEWER LAMPING OF LINES. AFTER THE APPLICATION OF EACH			
D TO ALL	COAT, THE UTILITY OWNER AND ENGINEER SHALL INSPECT THE MANHOLES.			
A 4 FEET TS, ETC.	THE INSPECTION SHALL BE SCHEDULED A MINIMUM OF 48 HOURS PRIOR TO INSPECTION.			
ST.	43. TESTING: TESTING OF GRAVITY SEWER MAINS AND LATERALS SHALL BE IN			
FLECTION	ACCORDANCE WITH THE UTILITY OWNER'S MINIMUM DESIGN AND CONSTRUCTION STANDARDS LATEST REVISION.	SHEET TIT	LE	
ACKFILL	43.1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY			
	REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.			
	43.2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST,	CO	NSTRUCT	
T IN THE	UPON APPROVAL OF THE ENGINEER.	SPE	<b>CIFICATI</b>	ons
	43.3. THE ALLOWABLE LIMITS OF SEWER PIPE LEAKAGE FOR GRAVITY SEWER MAINS SHALL NOT EXCEED 100 GALLONS PER INCH OF INSIDE PIPE DIAMETER			
ETE	PER MILE PER DAY FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED.			
ECTED.	ALLOWED. 43.4. THE INSTALLED SEWERS MAY REQUIRE VIDEO INSPECTIONS.			
EST ER,		<b></b>		
OF NEW		SHEET	GI-0	03
OF 150 PSI OSTATIC				03
RING THE		PROJECT NUMBER	1377	8.00

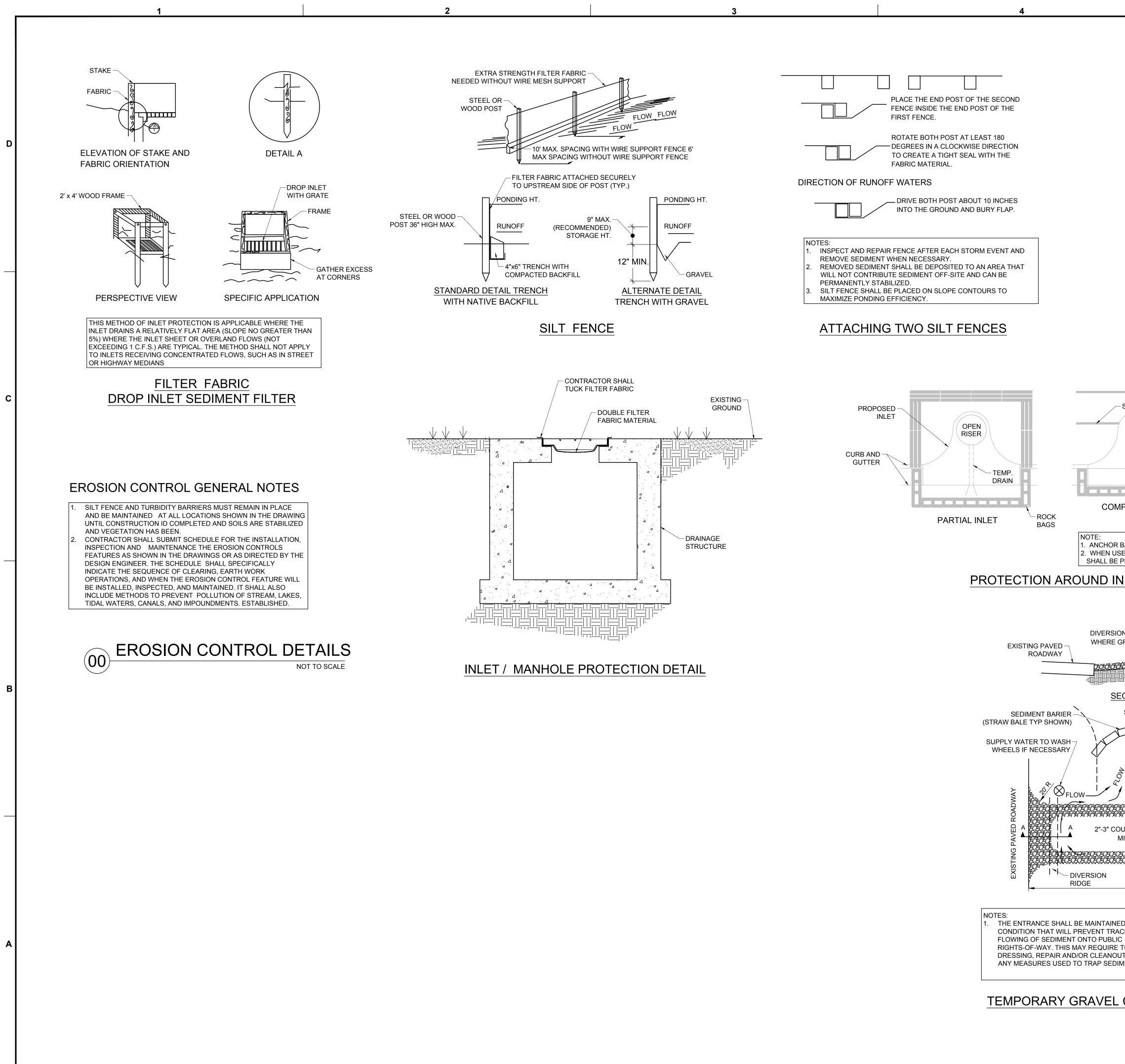


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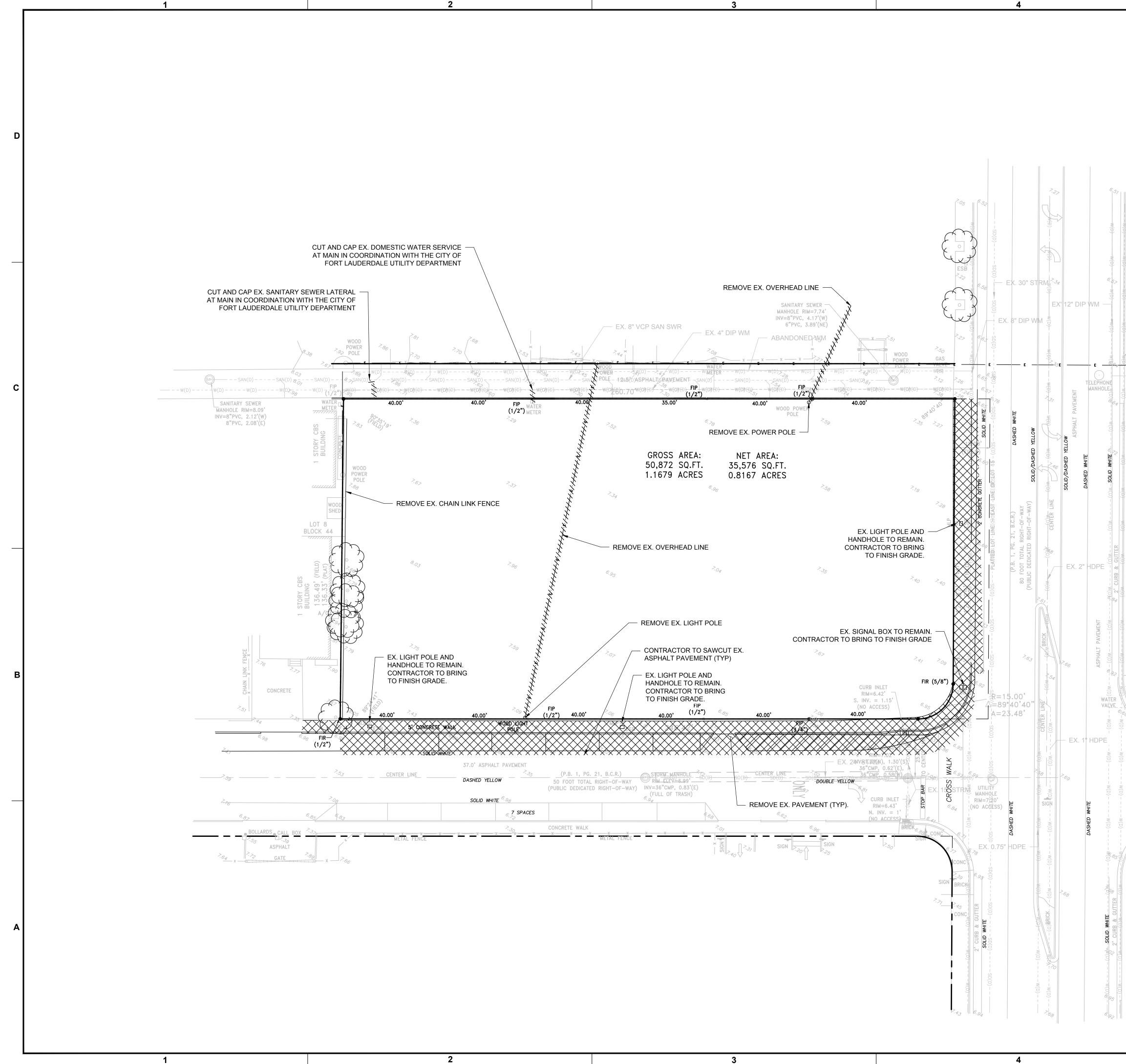
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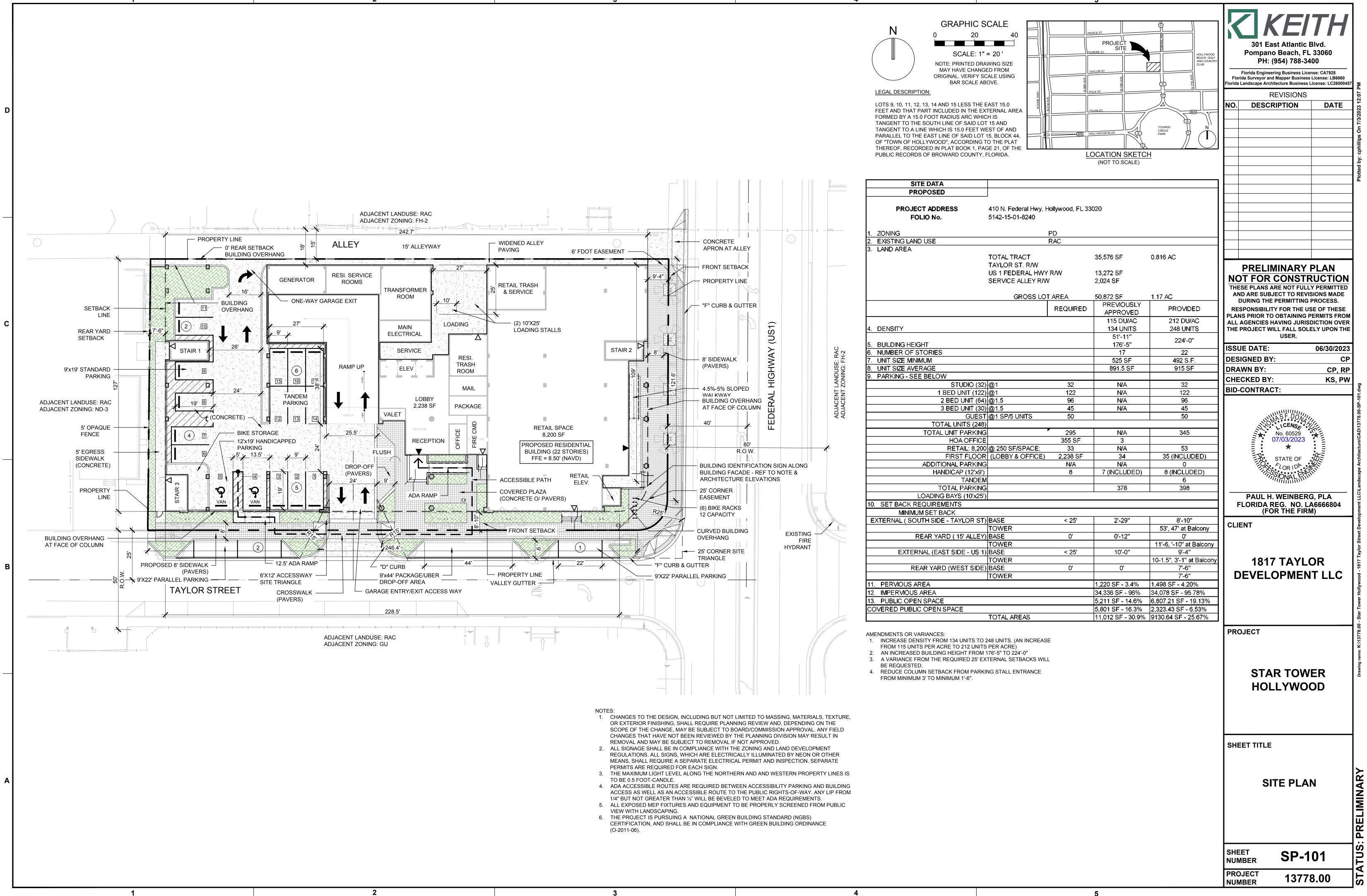
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	N       GRAPHIC SCALE         0       20       40         SCALE: 1" = 20'       SCALE: 1" = 20'         NOTE: PRINTED DRAWING SIZE       MAY HAVE CHANGED FROM	301 East Atlantic Blvd. Pompano Beach, FL 33060 PH: (954) 788-3400	
	ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.	Florida Engineering Business License: CA7928 Florida Surveyor and Mapper Business License: LB6860 Florida Landscape Architecture Business License: LC26000457	Βd
	GENERAL NOTES: 1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).	REVISIONS          NO.       DESCRIPTION       DATE	Plotted by: vcastillo On 7/3/2023 4:13
	2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION PERIOD. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.		Plotted by
Т е	<ul> <li>3. ALL EXISTING/NEW CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES WITHIN THE WORK AREAS, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.</li> <li>4. THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA</li> </ul>	PRELIMINARY PLAN           NOT FOR CONSTRUCTION           THESE PLANS ARE NOT FULLY PERMITTED           AND ARE SUBJECT TO REVISIONS MADE           DURING THE PERMITTING PROCESS.           RESPONSIBILITY FOR THE USE OF THESE           PLANS PRIOR TO OBTAINING PERMITS FROM           ALL AGENCIES HAVING JURISDICTION OVER           THE PROJECT WILL FALL SOLELY UPON THE           USER.	
	<ul> <li>STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.</li> <li>5. ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN</li> </ul>	ISSUE DATE: 07/03/2023 DESIGNED BY: VAC DRAWN BY: VAC CHECKED BY: CM BID-CONTRACT: No. 60529 07/03/2023	3.00 CG-100.dwg
	<ul> <li>BUILDING OR PAVEMENT LIMITS SHALL BE SODDED, REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.</li> <li>6. REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.</li> </ul>	B. STATE OF	k\Engineering\Cadd\13778.00
	<ul> <li>THE FINAL ONOTINE COVER.</li> <li>THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND FAMILIARIZING THEMSELVES WITH ALL THE PERMITS PREVIOUSLY ACQUIRED FOR THIS PROJECT. THE CONDITIONS OUTLINED IN THE PERMITS ARE IN FORCE AND FULL EFFECT AS PART OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK ASSOCIATED WITH THIS PROJECT IS IN COMPLIANCE WITH ALL OF THE REQUIREMENTS OF THESE PERMITS.</li> </ul>	THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM) CLIENT 1817 TAYLOR DEVELOPMENT LLC	llywood - 1817 Taylor Street Development LLC\E
	8. THE CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING A VALID NPDES PERMIT. UNLESS SUCH PERMIT IS DETERMINED TO BE NON-APPLICABLE BY REGULATORY AGENCY HAVING PROPER JURISDICTION REGARDING HIS MATTER.	PROJECT	3778.00 - Star Tower Hollywood
DOUBLE YELLOW		STAR TOWER HOLLYWOOD	Drawing name: K:\13778.00
		SHEET TITLE	
		EROSION CONTROL PLAN	PRELIMINARY
		SHEET CP-101	ATUS:
		PROJECT 13778.00	ST.

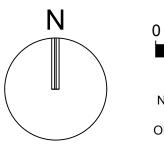


-18" HIGH SILT FENCE	Soft East Atlantic Blvd. Soft East Atlantic Blvd. Pompano Beach, FL 33060 PH: (954) 788-3400 Florida Engineering Business License: CA7928 Florida Surveyor and Mapper Business License: LB6860
LOOSE SOIL PLACED BY SHOVEL AND LIGHTLY COMPACTED ALONG UPSTREAM FACE OF BALES	Florida Landscape Architecture Business License: LC26000457         REVISIONS         NO. DESCRIPTION DATE
<ol> <li>NOTES:</li> <li>DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING COURSES. SILT FENCES ARE TO BE PLACED AT UPLAND LOCATIONS.</li> <li>BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER, CITY, BCEPD, NSID OR SFWMD.</li> <li>WHERE THE SILT FENCE IS USED AS SLOPE PROTECTION, IT IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.</li> </ol>	
BALES BACKED BY SILT FENCE	PRELIMINARY PLAN NOT FOR CONSTRUCTION THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.
DITCH~~ CURB AND GUTTER	ISSUE DATE: 07/03/2023 DESIGNED BY: VAC DRAWN BY: VAC CHECKED BY: CM BID-CONTRACT:
MPLETED INLET BAGS DITCH BOTTOM INLET R BALES WITH 2 STAKES PER BALE. ISED IN CONJUNCTION WITH A SILT FENCE, BALES E PLACED ON THE UPSTREAM SIDE OF THE FENCE. NLETS OR SIMILAR STRUCTURES	No. 60529 07/03/2023
ON RIDGE REQUIRED GRADE EXCEEDS 2%	THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM) CLIENT
FILTER FABRIC ECTION A-A SPILLWAY NOTE: USE SANDBAGS, STRAW BALES, OR OTHER APPROVED METHODS	1817 TAYLOR DEVELOPMENT LLC
TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED FLOW FLOW OURSE AGGREGATE MIN 6" THICK	PROJECT STAR TOWER HOLLYWOOD
50' MIN.         PLAN         IED IN A         ACKING OR         CLEANED PRIOR TO ENTRANCE ONTO PUBLIC         IC         RIGHTS-OF-WAY.         E TOP         3.       WHEN WASHING IS REQUIRED, IT SHALL BE         DUT OF       DONE ON AN AREA STABILIZED WITH CRUSHED         DIMENT.       STONE THAT DRAINS INTO AN APPROVED         SEDIMENT TRAP OR SEDIMENT BASIN.	SHEET TITLE EROSION CONTROL DETAILS
<u>CONSTRUCTION ENTRANCE</u>	SHEET CG-501 NUMBER CG-500
5	NUMBER 13778.00

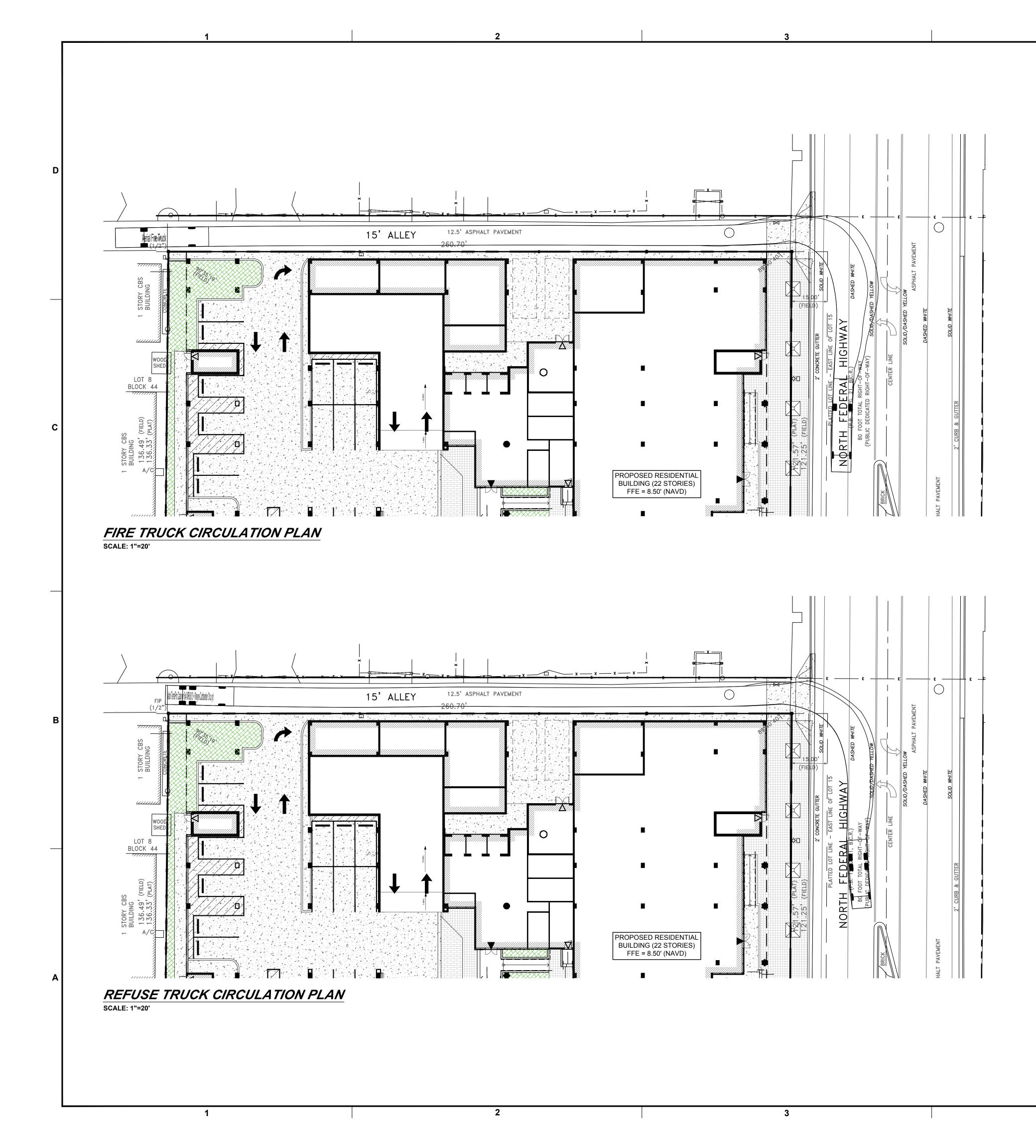


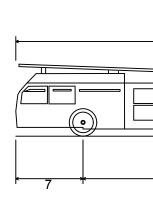
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	N SCALE: 1" = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.	Solution Stress License: LB68 Florida Landscape Architecture Business License: LC260	60
	SITE DEMOLITION NOTES 1. EXISTING MONITORING WELLS TO REMAIN, CONTRACTOR TO COORDINATE WITH ENVIRONMENTAL ENGINEER PRIOR TO DEMOLITION.	REVISIONS NO. DESCRIPTION DATE	
ASPHALT ABANDONED WM WATER VALVE E E E E 	<ul> <li>ENVIRONMENTAL ENGINEER PRIOR TO DEMOLITION.</li> <li>2. BUILDING DEMOLITION IS SUBJECT TO FEDERAL, STATE AND COUNTY RULES RELATING TO THE DEMOLITION AND THE HANDLING OF ASBESTOS CONTAINING MATERIAL. THE COUNTY STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS MUST BE FILLED OUT AND COMPLIED WITH PRIOR TO ANY BUILDING DEMOLITION. THE CONTRACTOR MUST OBTAIN / PRODUCE THE FOLLOWING PRIOR TO ANY BUILDING DEMOLITION.</li> <li>PEST CONTROL INSPECTION REPORT INDICATING THAT PROPERTY IS FREE OF RODENTS</li> <li>GAS DISCONNECT LETTER FROM GAS SUPPLIER</li> <li>FPL DISCONNECT LETTER FROM FP&amp;L</li> <li>WATER METER REMOVAL LETTER FROM UTILITY PROVIDER</li> <li>FIRE SERVICE WATER METER REMOVAL LETTER FROM UTILITY PROVIDER</li> <li>SEWER CAP OR SEPTIC TANK ABANDONMENT PERMIT REQUIRED WITH A PASSED BUILDING DEPARTMENT INSPECTION PERMIT</li> <li>COPY OF EPA LICENSE AND/OR LETTER FROM LICENSED CONTRACTOR RECOVERING REFRIGERANT FROM A/C UNITS</li> <li>NOTARIZED LETTER FROM DEMOLITION CONTRACTOR STATING FROM WHERE WATER WILL BE OBTAINED FOR DUST CONTROL</li> <li>DEMOLITION CONSTRUCTION DEBRIS MITIGATION PLAN SIGNED AND DATED BY OWNER AND CONTRACTOR</li> <li>BUILDING DEMOLITION DAILY WORK SCHEDULE - LIST OF ALL EQUIPMENT USED FOR DEMOLITION OF BUILDING MORE THAN ONE STORY</li> <li>NOTIGE OF COMMENCEMENT</li> <li>ALL PORTIONS OF A PARCEL OF LAND SHALL BE PLANTED WITH GROUND COVER OR LAWN OR UTILIZE OTHER APPROVED TEMPORARY EROSION CONTRACTOR</li> <li>BUILDING DEMOLITION PLAN.</li> <li>O FOR EXISTING TREES ON SITE, INDICATE THE LOCATION OF TREES/PALMS ON THE SURVEY AND PROVIDE A CORRESPONDING LIST OF TREE NUMBER, BOTANICAL NAME, COMMON NAME, OVERALL HEIGHT, TRUNK DBH FOR TREES, CLEAR TRUNK FOR PALMS, CONDITION %, AND INDICATE THAT ALL EXISTING TREES, CLEAR TRUNK FOR PALMS, CONDITION %, AND INDICATE THAT ALL EXISTING</li> </ul>	DRAWN BY: V	ED DE SE ROM VER THE
>. <sub>35</sub>	<ul> <li>WILL REMAIN ON SITE.</li> <li>O PROVIDE TREE PROTECTION BARRICADE DETAIL FOR EXISTING TREES ON SITE TO REMAIN. THIS BARRICADE MUST BE INSTALLED PRIOR TO THE BEGINNING OF PROPOSED WORK.</li> <li>O FOR TREES THAT MUST BE REMOVED TO ACCESS DEMO AREAS, OBTAIN PERMIT FOR TREE REMOVAL.</li> </ul>	THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)	
>.53 TSB I >.23 FIRE HYDRANT SIGN		1817 TAYLOR DEVELOPMENT LLC	
DROPPED CURB NALK NALK NALK NALK NALK NALK NALK NALK		PROJECT STAR TOWER HOLLYWOOD	
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>. <sub>36</sub>		SHEET CD-101 PROJECT 42770.00	
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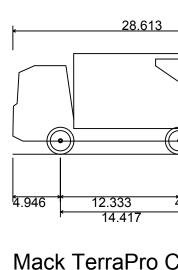


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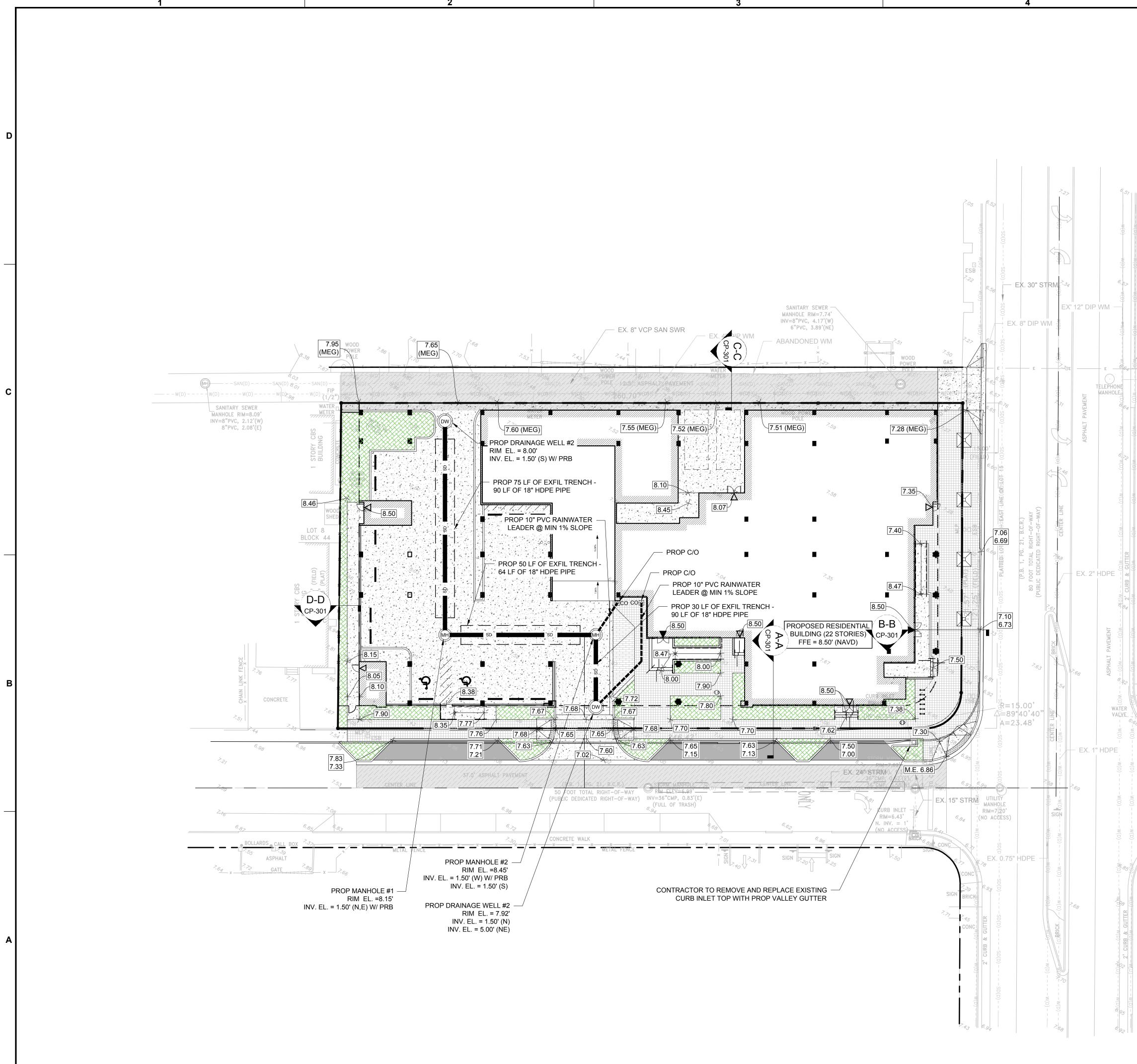


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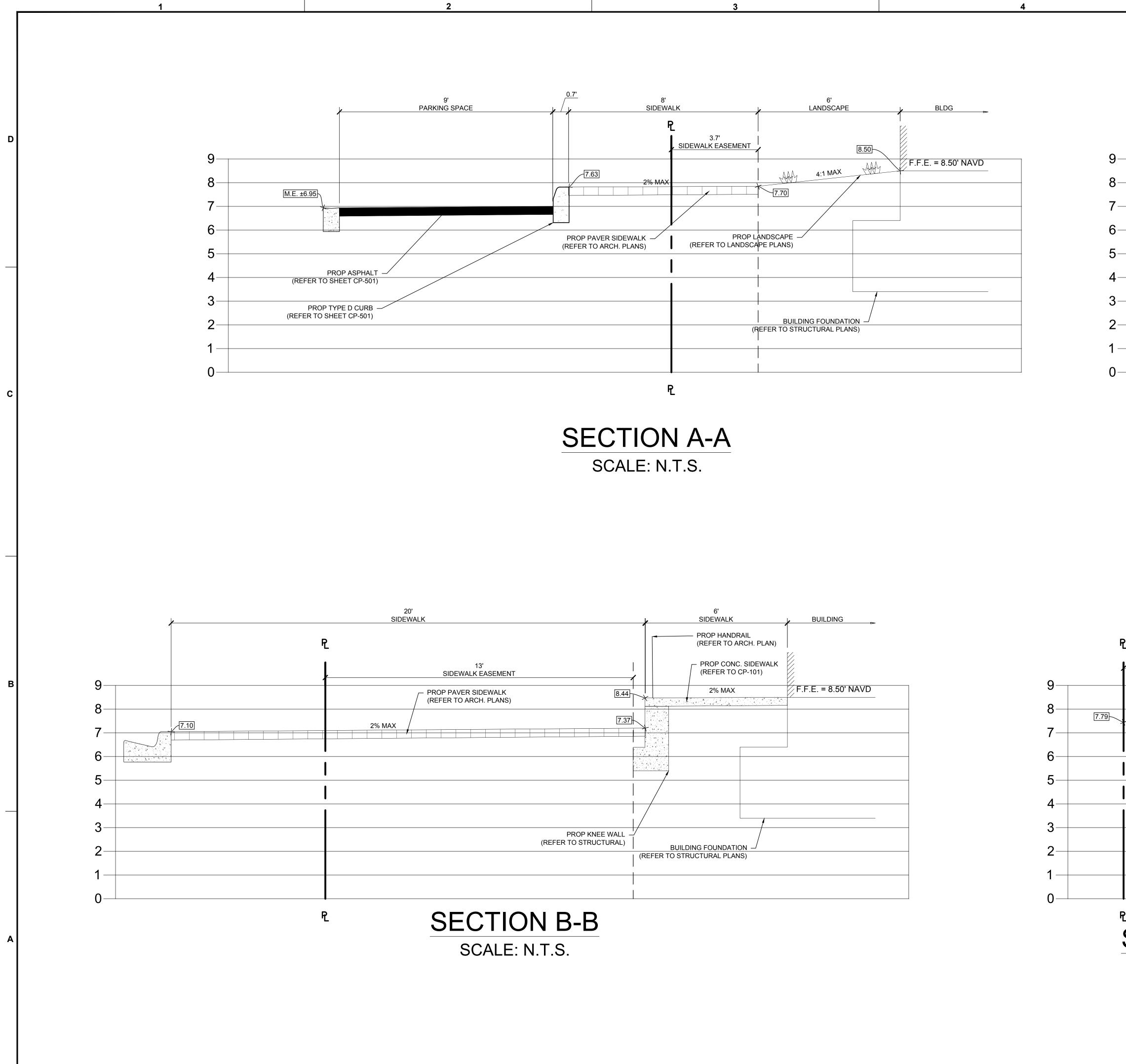


Mack TerraPro Ca Overall Length Overall Width Overall Body Heig Min Body Ground Track Width Lock-to-lock time Curb to Curb Turr

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N SCALE: 1" = 20' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.	Electeda Energia en Electro en Uterra en OAZ2000
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uck h 39.000ft 8.167ft Height 7.500ft ound Clearance 0.750ft 8.167ft 5.00s ngle 45.00°	PRELIMINARY PLAN NOT FOR CONSTRUCTION THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.
	ISSUE DATE: 07/03/2023 DESIGNED BY: VAC
FIRE TRUCK	DRAWN BY: VAC CHECKED BY: CM
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	CLIENT
	THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM) CLIENT 1817 TAYLOR DEVELOPMENT LLC
<u>4.16</u> 7	
Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd 28.613ft 8.000ft 10.481ft d Clearance 9 rning Radius 8.000ft 33.500ft	PROJECT STAR TOWER HOLLYWOOD
REFUSE TRUCK	SHEET TITLE



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	<ol> <li>THE CONTRACTOR SHALL ENSURE THAT ALL ADA CRITERIA IS MET FOR THE CONSTRUCTION OF THE SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO SIDEWALKS, RAMPS AND ADA PARKING STALLS).</li> <li>ALL ADA PARKING STALLS SHALL NOT EXCEED 2% IN ANY DIRECTION.</li> <li>SIDEWALKS SHALL NOT EXCEED 5% IN THE</li> </ol>	NO. DESCRIPTION DATE
story CBS Building	<ul> <li>LONGITUDINAL DIRECTION AND CROSS-SECTIONAL SLOPES SHALL NEVER EXCEED 2%, UNLESS CLEARLY IDENTIFIED ON PLANS.</li> <li>4. FOR ANY REASON THE CONTRACTOR FINDS ANY GRADING DISCREPANCIES THAT WOULD RESULT IN NOT BEING ABLE TO MEET ADA CRITERIA; IT IS THE</li> </ul>	
>.70 	CONTRACTOR'S SOLE RESPONSIBILITY TO ADVISE THE ENGINEER AT ONCE AND PROVIDE ADEQUATE TIME TO DETERMINE PROPER COURSE OF ACTION. IF FOR ANY REASON IT IS DEEMED NECESSARY FOR AS-BUILT INFORMATION TO BE MADE AVAILABLE TO THE ENGINEER IN ORDER TO MAKE THE NECESSARY DECISIONS AND/OR PROVIDE	
ASPHALT ABANDONED WM water Valve εεεεε w(p)w(p) ASPHALT	E E E E	PRELIMINARY PLAN NOT FOR CONSTRUCTION THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER
>. <sub>78</sub>		THE PROJECT WILL FALL SOLELY UPON THE USER.
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یک.<		No. 60529 07/03/2023
-53 BB -23 FIRE HYDRANT		CLIENT 1817 TAYLOR DEVELOPMENT LLC
SIGN SIGN SIGN CONTRACTOR SIGN SIGN SIGN SIGN SIGN SIGN SIGN SIGN		PROJECT
6.57 6.84		STAR TOWER HOLLYWOOD
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ै-उँठ	NOTE: ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON	SHEET CP-101 PROJECT 42770.00
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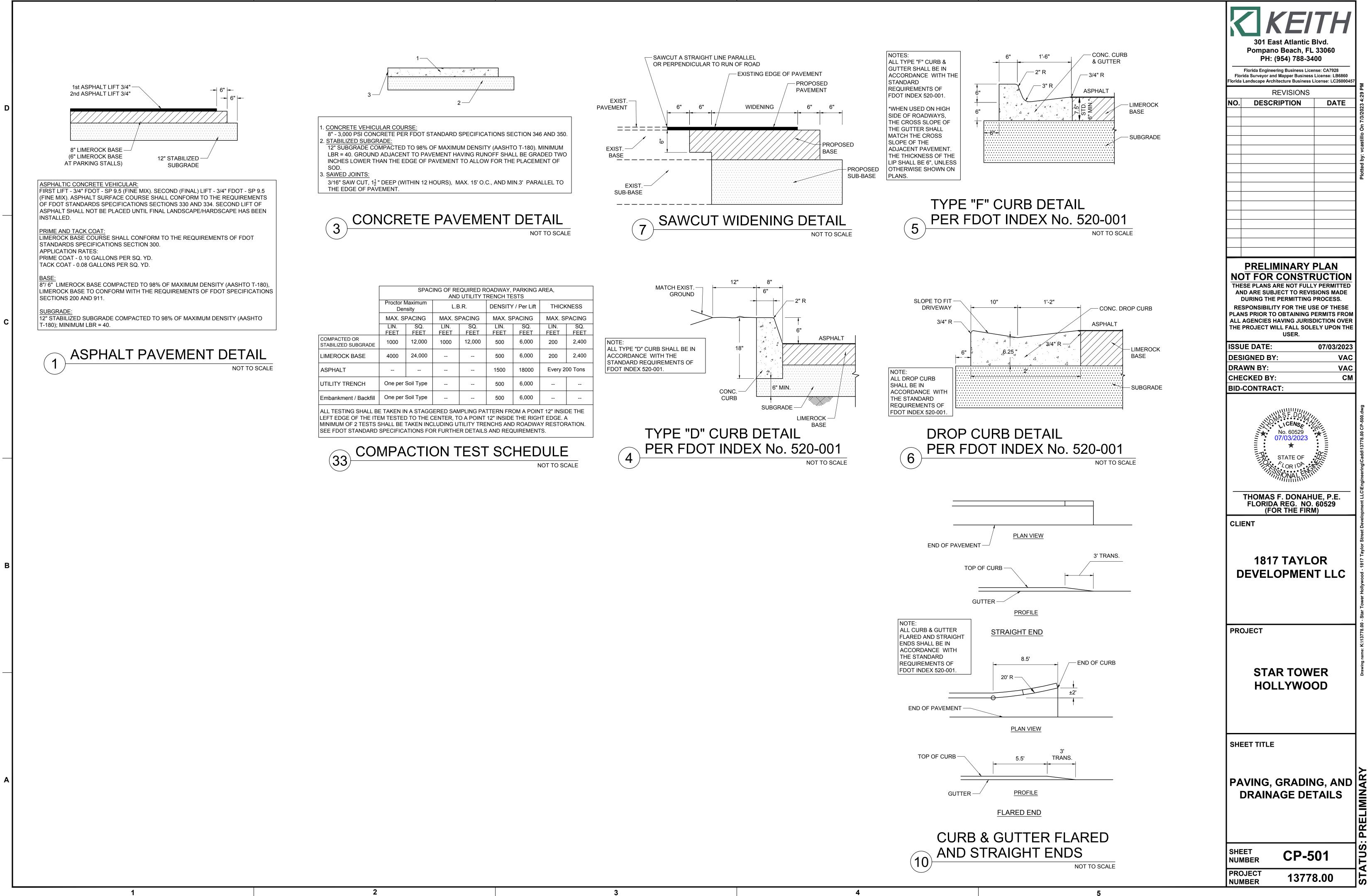


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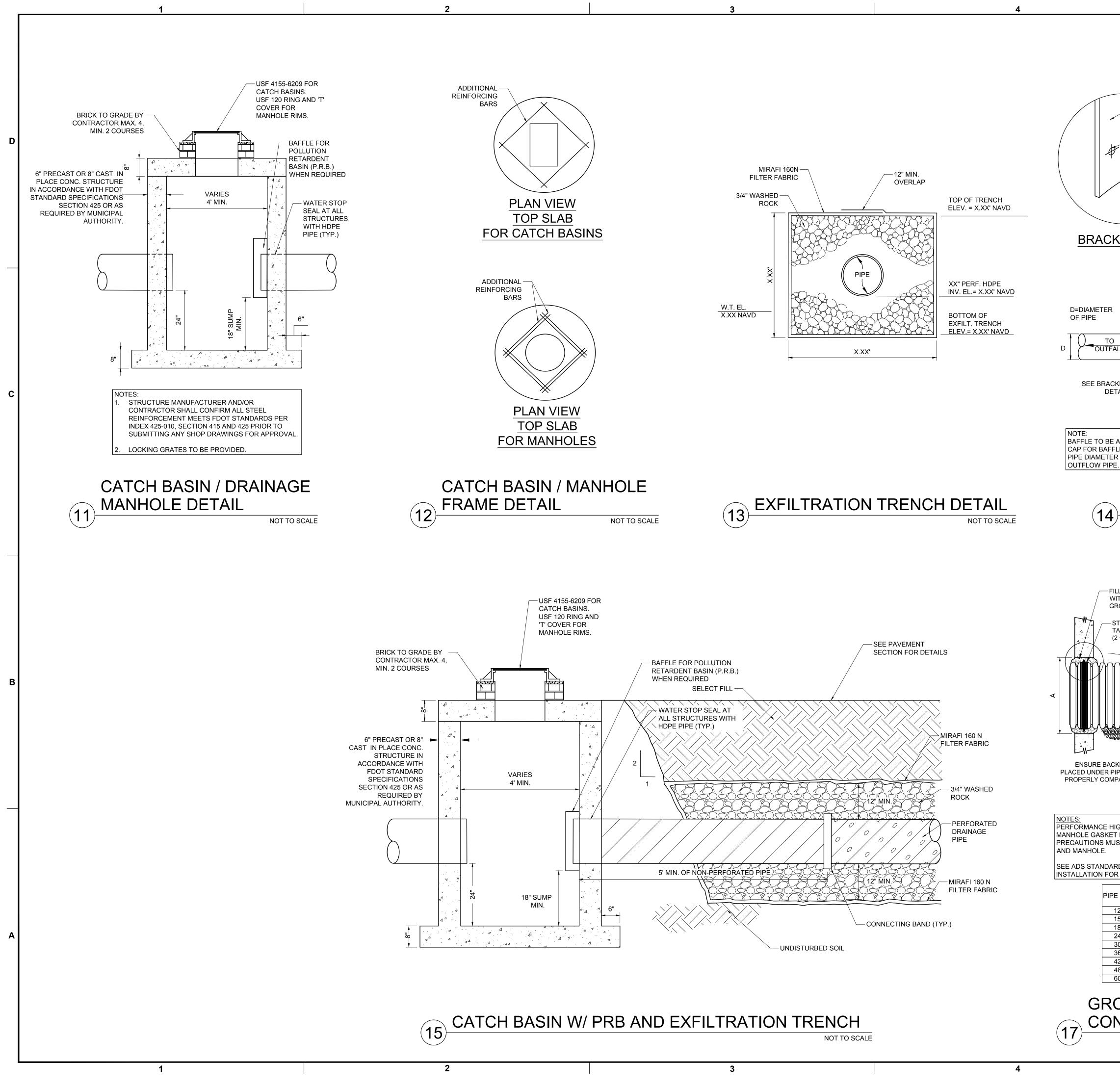
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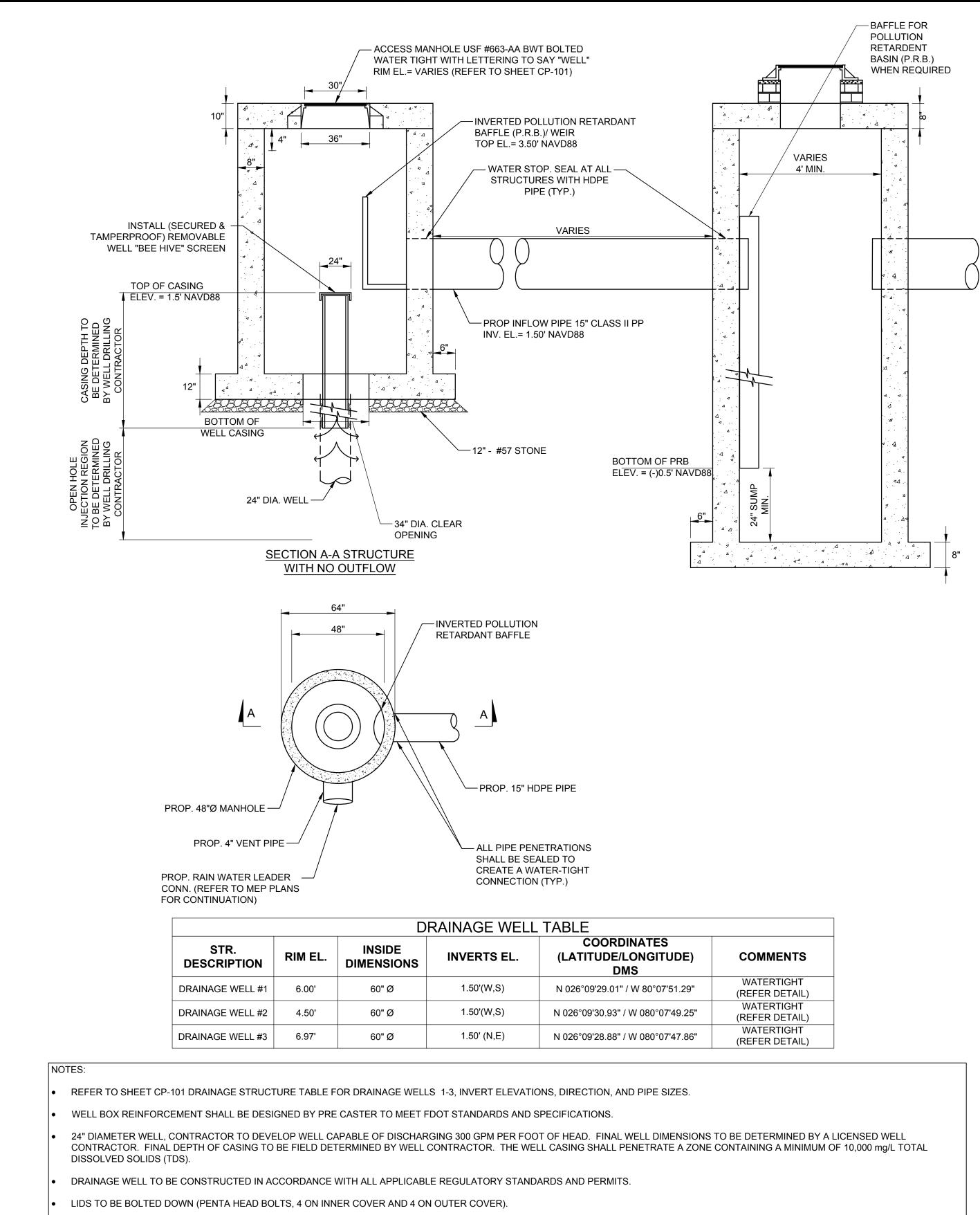
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		3.5' SIDEWALK	₽ I		Florid	301 Eas Pompano PH: (9 Florida Engineeri da Surveyor and andscape Archit	st Atlantic E Beach, FL 954) 788-34 ng Business Lice Mapper Business ecture Business I EVISIONS	33060 00 nse: CA7928
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	15 PROP LAND	5' DEWALK 2% MAX 8.20 PROP CONC. SIDEW (REFER TO CP-101) SCAPE ANDSCAPE PLANS)	/ALK		D	1817 EVELC JECT STAF	TAYLO OPMEN	T LLC
	<b>TION</b> CALE: N.T					ET TITLE	SECT	IONS
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	301 East Atlantic Blvd. Pompano Beach, FL 33060
3"X1/8" ALUMINUM FLAT BAR SOLID WELD TO ALUMINUM HALF ROUND	PH: (954) 788-3400 Florida Engineering Business License: CA7928 Florida Surveyor and Mapper Business License: LB6860
5/8" SLOTTED HOLE W/ 1/2" S.S. FLAT WASHER AND 1/2"X3" S.S. ANCHOR BOLT 12" ON CENTER	Florida Landscape Architecture Business License: LC26000457         REVISIONS         NO. DESCRIPTION DATE
CONTINUOUS WELD WELD SOLID PLATE TO TOP OF BAFFLE NEOPRENE RUBBER GASKET	
CET DETAIL	PRELIMINARY PLAN         MOT FOR CONSTRUCTION         THESE PLANS ARE NOT FULLY PERMITTED         AND ARE SUBJECT TO REVISIONS MADE         DURING THE PERMITTING PROCESS.         RESPONSIBILITY FOR THE USE OF THESE         PLANS PRIOR TO OBTAINING PERMITS FROM         ALL AGENCIES HAVING JURISDICTION OVER         THE PROJECT WILL FALL SOLELY UPON THE
PLAN VIEW	USER. ISSUE DATE: 07/03/2023
A SECTION OF CAP CUT IN HALF. LE SHALL BE THE NEXT STANDARD R LARGER THAN THE INFLOW/	DESIGNED BY:VACDRAWN BY:VACCHECKED BY:CM
POLLUTION RETARDENT BAFFLE DETAIL NOT TO SCALE	No. 60529 07/03/2023 ★ STATE OF COR IDA
TAINLESS STEEL AKE-UP CLAMP 2 ~ PLACES) HDPE BIPE (12"- 60" Ø)	THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM) CLIENT 1817 TAYLOR DEVELOPMENT LLC
KFILL IS PE AND PACTED NON-SHRINK STAINLESS STEEL	PROJECT
PATCHING COMPOUND TAKE-UP CLAMP SCREWS WILL BE PLACED 180° FROM EACH OTHER GHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST ENSURE IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA ST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE	STAR TOWER HOLLYWOOD
RINSTALLATION RECOMMENDATIONS.         E SIZE       IPE OD       "A" MIN. MIN. DISTANCE PIPE INVERT TO STRUCTURE INVERT TO STRUCTURE INVERT         12"       14.5"       N/A       19.5"       3.7"         15"       17.6"       N/A       23.00"       4.0"         18"       21.2"       N/A       26.50"       4.2"         24"       27.8"       N/A       33.25"       4.5         30"       35.1"       N/A       40.50"       5.2"         36"       41.1"       41.1"       47.00"       5.5"         42"       47.7"       48.0"       53.00"       5.7"         30"       66.3"       67.3"       72.00"       6.4"	SHEET TITLE PAVING, GRADING, AND DRAINAGE DETAILS
OUTED MANHOLE NNECTION (HDPE PIPE) DETAIL NOT TO SCALE	SHEET CP-502
5	PROJECT 13778.00



THE CONTRACTOR IS SOLELY RESPONSIBLE TO PREVENT ANY FLUID FROM DISCHARGING INTO THE DRAINAGE WELL WITHOUT WRITTEN AUTHORIZATION FROM FDEP TO USE THE WELL.

THE WELL CASING SHALL BE 24" DIAMETER AND IN ACCORDANCE WITH RULE 62-532.500(1)(A), FAC WHICH SPECIFIES ALL WELL CASING SHALL BE NEW AND CONFORM TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) A53/A53M-99b, A135-01, A252-98, A589-96, OR AMERICAN PETROLEUM INSTITUTE (API) 5L-2000. REFER TO RULE FOR MORE DETAILS.

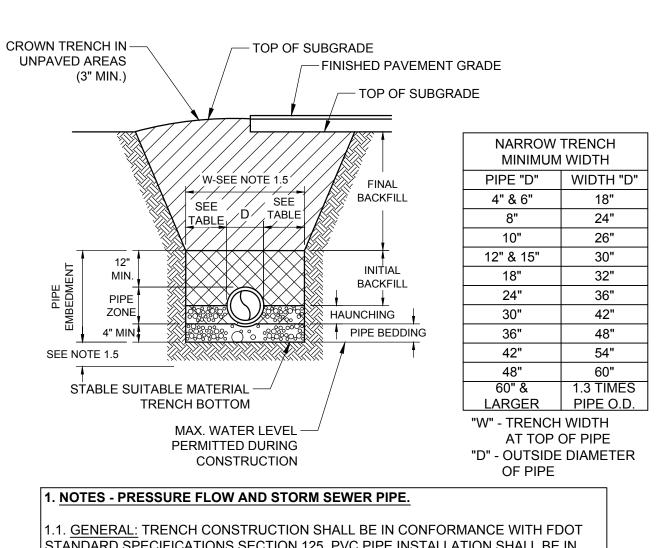
THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR CONDUCTING THE WELL TEST AND SATISFACTORILY DISPOSING OF THE WATER PUMPED FROM THE WELL. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE CITY, ENGINEER AND/OR REGULATORY AGENCIES PRIOR TO THE START OF THE TEST.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE NECESSARY WELL DRILLING PERMITS AND COMPLY WITH ALL PROVISIONS THEREOF. THIS SHALL INCLUDE (BUT NOT LIMITED TO) SECURING THE FINAL CONSTRUCTION/CLEARANCE PERMIT FOR A CLASS V WELL BY COMPLETING AND PROCESSING THE REQUIRED APPLICATION FORM (62-528.900.(3) THROUGH FDEP. IN ADDITION, THE CONTRACTOR IS REQUIRED TO PREPARE/PROVIDE THE REASONABLE ASSURANCE REPORT IN ACCORDANCE WITH FDEP REQUIREMENTS. THE CONTRACTOR SHALL HIRE A QUALIFIED FLORIDA LICENSED PROFESSIONAL GEOLOGIST/ENGINEER WITH THE REQUIRED HYDROGEOLOGICAL EXPERTISE TO DEVELOP THIS REPORT AND PROVIDE THE NECESSARY SIGNED AND SEALED COPIES.

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DRAINAGE WEL

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STANDARD SPECIFICATIONS SECTION 125. PVC PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH THE UNI-BELL PVC PIPE ASSOCIATION, HANDBOOK OF PVC PIPE, DESIGN AND CONSTRUCTION. CONCRETE PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH ANSI / ASCE 15-93.

1.2. <u>PIPE BEDDING:</u> PROVIDE BELL HOLES AT EACH JOINT, FOR PIPES LARGER THAN 4" IN DIAMETER, TO PERMIT PROPER ASSEMBLY AND PIPE SUPPORT.

1.3. HAUNCHING: USE MATERIAL MEETING THE CLASSIFICATION OF A-3 IN ACCORDANCE WITH ASTM D3282 (AASHTO M-145). MAXIMUM PARTICAL SIZE SHALL BE LESS THAN 1.5 INCHES.

1.4. INITIAL BACKFILL: USE SAME MATERIAL AS SPECIFIED FOR FINAL BACKFILL (SEE NOTE 2.9).

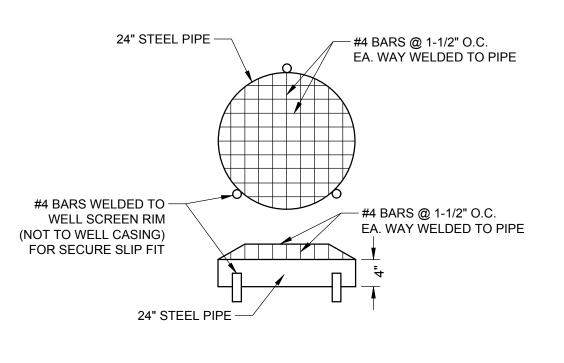
1.5. UNSUITABLE SOIL EXCAVATION: SE SHEET PD-2 FOR ADDITIONAL REQUIREMENTS. MINIMUM DIMENSIONS SHALL BE THE LARGER OF THE REQUIREMENTS SHOWN ON THIS SHEET AND SHEET PD-2.

2.9. FINAL BACKFILL: MATERIAL SHALL MEET AND BE INSTALLED AND COMPACTED INACCORDANCE WITH THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 125-8 BACKFILLING. SELECT BACKFILL MEETING THE CLASSIFICATION OF A-1, A-3, OR A-2-4 IN ACCORDANCE WITH ASTM D3282 (AASHTO M-145). THE MATERIAL MUST NOT CONTAIN MUCK, STUMPS, ROOTS, BRUSH, VEGITABLE MATTER, RUBBISH, CONSTRUCTION DEBRI OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE EMBANKMENT. MATERIAL MUST HAVE MAXIMUM PARTICLE SIZE AS FOLLOWS: WITHIN 12" OF TOP OF SUBGRADE - 31/2"; 12" TO 24" BELOW TOP OF SUBGRADE - 6"; GREATER THAN 24" BELOW TOP OF SUBGRADE - 12" OR COMPACTED THICKNESS OF LAYER BEING PLACED, WHICH EVER IS LESS. FINAL BACKFILL MAY BE NATIVE MATERIAL MEETING THE SPECIFIED REQUIREMENTS. UNLESS OTHERWISE NOTED.

2.10. COMPACTION TEST: COMPACTION PERCENTAGES SHOWN FOR TRENCH SECTION BACKFILL MATERIAL REFER TO ASTM - D698 (AASHTO - T-99, STANDARD PROCTOR). COMPACTION PERCENTAGES FOR LIMEROCK BASE COURSE MATERIAL REFER TO ASTM - D1557 (AASHTO -T-180, MODIFIED PROCTOR).

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WELL SCREEN DETAIL NOT TO SCALE

NOT TO SCALE

	2.	GENERAL	NOTES
Т			

2.1. TRENCH WALLS - EXCAVATE TRENCH TO ENSURE SIDES WILL BE STABLE UNDER WORKING CONDITIONS. TRENCH WALLS TO BE SLOPED OR SUPPORTED IN ACCORDANCE WITH THE CHAPTER 90-96 OF THE LAWS OF FLORIDA (THE TRENCH SAFETY ACT) AND FEDERAL OSHA STANDARD CFR SECTION 1926.650 SUBPART - P.

2.2. DEWATERING: WHEN RUNNING OR STANDING WATER OCCURS IN THE TRENCH BOTTOM, OR THE TRENCH BOTTOM DISPLAYS A "QUICK" CONDITION, WATER SHALL BE REMOVED TO BELOW THE PIPE PIPE "D" WIDTH "D" NIVERT BY A SUITABLE MEANS, UNTIL THE PIPE IS BACKFILLED TO A SUFFICIENT HEIGHT TO PREVENT PIPE FLOATATION.

> 2.3. MINIMUM TRENCH WIDTH: PROVIDE A TRENCH WIDTH SUFFICIENT, BUT NO WIDER THAN NECESSARY, TO ENSURE WORKING ROOM TO PROPERLY AND SAFELY PLACE AND COMPACT HAUNCHING BACKFILL MATERIAL. SEE TABLE FOR MINIMUM TRENCH WIDTHS. WHERE SOIL CONDITIONS REQUIRE TRENCH WALLS TO BE SUPPORTED, MINIMUM WIDTH SHALL BE BETWEEN INNER FACE OF TRENCH SUPPORTS.

> 2.4. MOVABLE SHEETING, TRENCH BOXES OR SHIELDS: WHEN MOVABLE TRENCH SUPPORT IS USED, THE MINIMUM DISTANCE BETWEEN INNER FACE OF TRENCH SUPPORT, AND THE OUTER PIPE WALL, SHALL BE AT LEAST ONE PIPE DIAMETER OR 2 FEET WHICH EVER IS GREATER.

2.5. PREPARATION OF TRENCH BOTTOM: TRENCH BOTTOM SHALL BE PREPARED TO PROVIDE A FIRM STABLE UNIFORM FOUNDATION THE FULL LENGTH OF THE PIPE. IF UNSUITABLE MATERIAL IS LARGER PIPE O.D. ENCOUNTERED AT BOTTOM OF TRENCH, CONTINUE TO EXCAVATE TILL SUITABLE MATERIAL IS ENCOUNTERED. IF DEPTH TO SUITABLE MATERIAL IS GREATER THAN 2 FEET BELOW BOTTOM OF TRENCH, NOTIFY ENGINEER OF SUCH CONDITION BEFORE CONTINUING FURTHER TRENCH EXCAVATION.

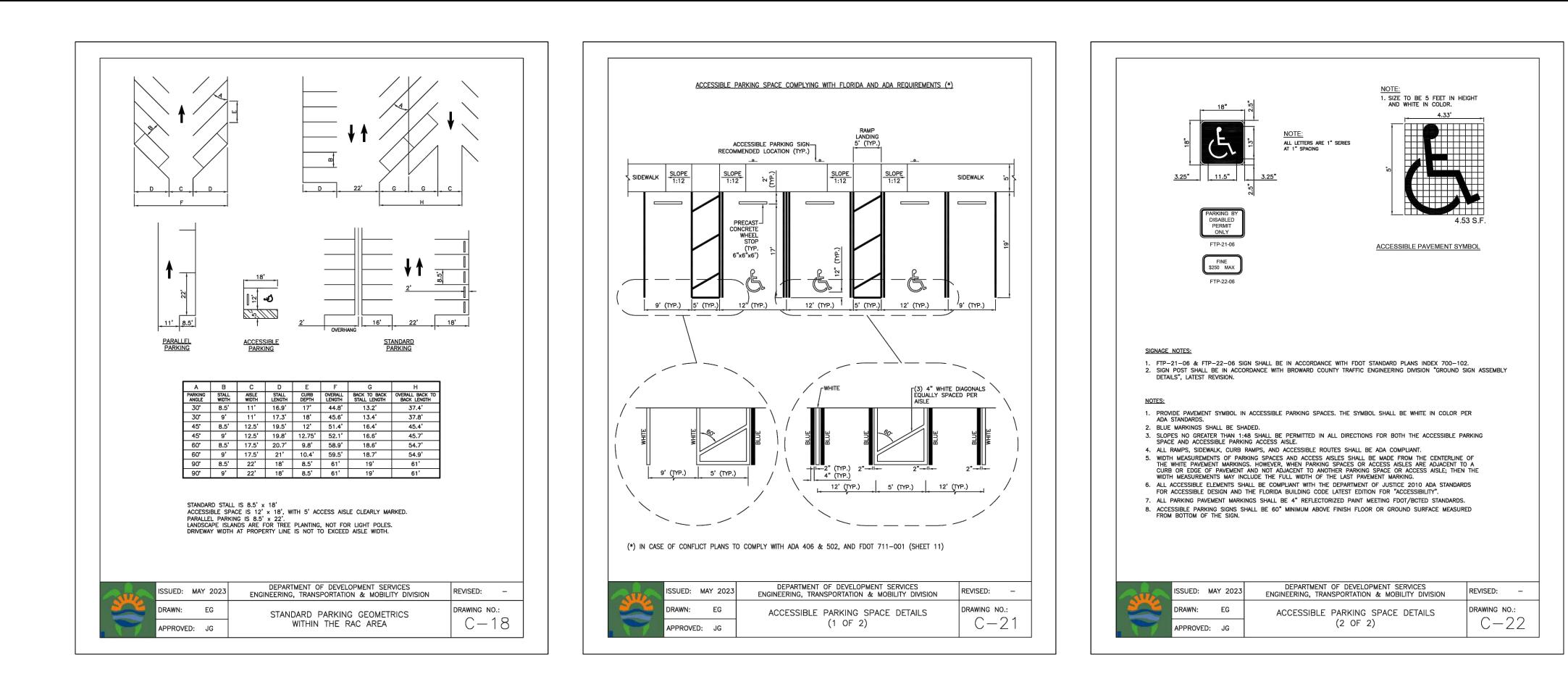
> 2.6. PIPE BEDDING: BEDDING MATERIAL SHALL CONFORM TO ASTM D-2321, AND MEET THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 125-8 BACKFILLING. FOR PVC AND OTHER "FLEXIBLE" PIPES, EXCAVATE 4" BELOW PROPOSED OUTSIDE BOTTOM OF PIPE, BACKFILL AND COMPACT WITH SPECIFIED BEDDING MATERIAL TO PROPER GRADE.

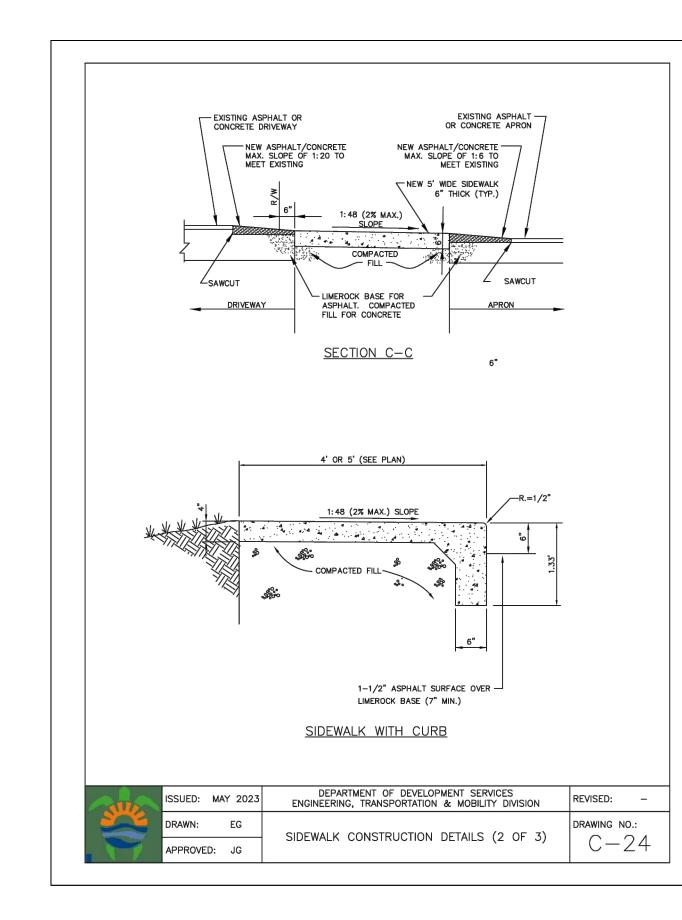
> 2.7. HAUNCHING: MATERIAL SHALL MEET AND BE INSTALLED AND COMPACTED INACCORDANCE WITH THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 125-8 BACKFILLING. PLACE AND CONSOLDATE MATERIAL UNDER THE PIPE HAUNCH, UP TO THE PIPE SPRINGLINE, FOR THE FULL WIDTH OF THE TRENCH, BEFORE PLACING AND COMPACTING THE REMAINDER OF THE EMBEDMENT IN THE PIPE ZONE. HAUCHING MATERIAL SHALL BE PLACED AND CONSOLIDATED BY HAND SHOVEL SLICING ALONG HAUNCH OF PIPE AND BY WATERING (JETTING OR PUDDLING) OR HAND TAMPING. MECHANICAL COMPACTION IS NOT TO BE USED WITHIN 1 PIPE DIAMETER OR 2 FEET, WHICH EVER IS GREATER, EITHER SIDE OF THE OUTSIDE WALL OF THE PIPE.

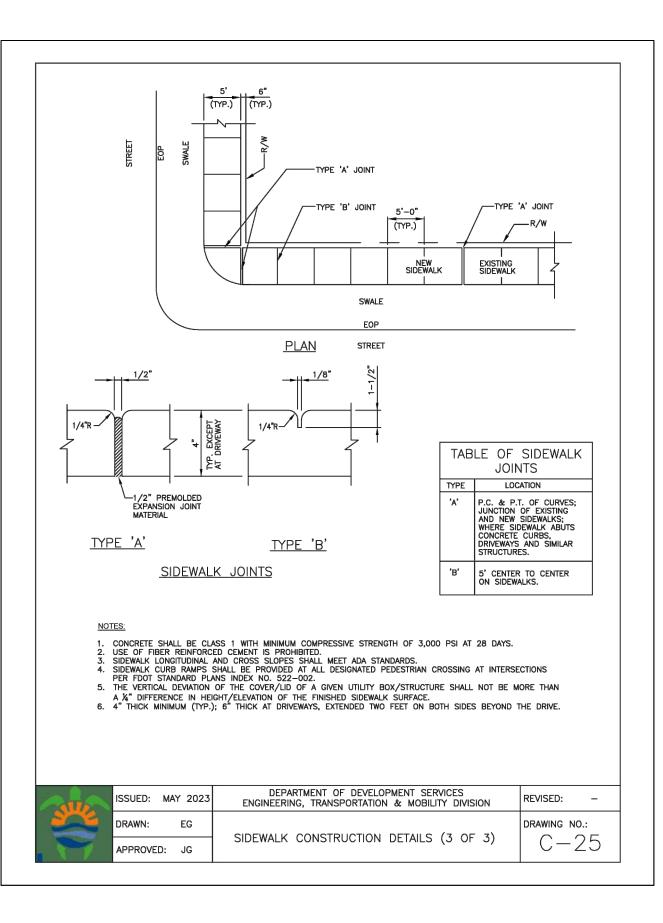
> 2.8. INITIAL BACKFILL: SHALL EXTEND FROM THE SPRINGLINE OF THE PIPE TO 1 FOOT ABOVE THE TOP OF PIPE. MATERIAL SHALL BE PLACED AND CONSOLIDATED AS SPECIFIED FOR THE HAUNCHING MATERIAL.

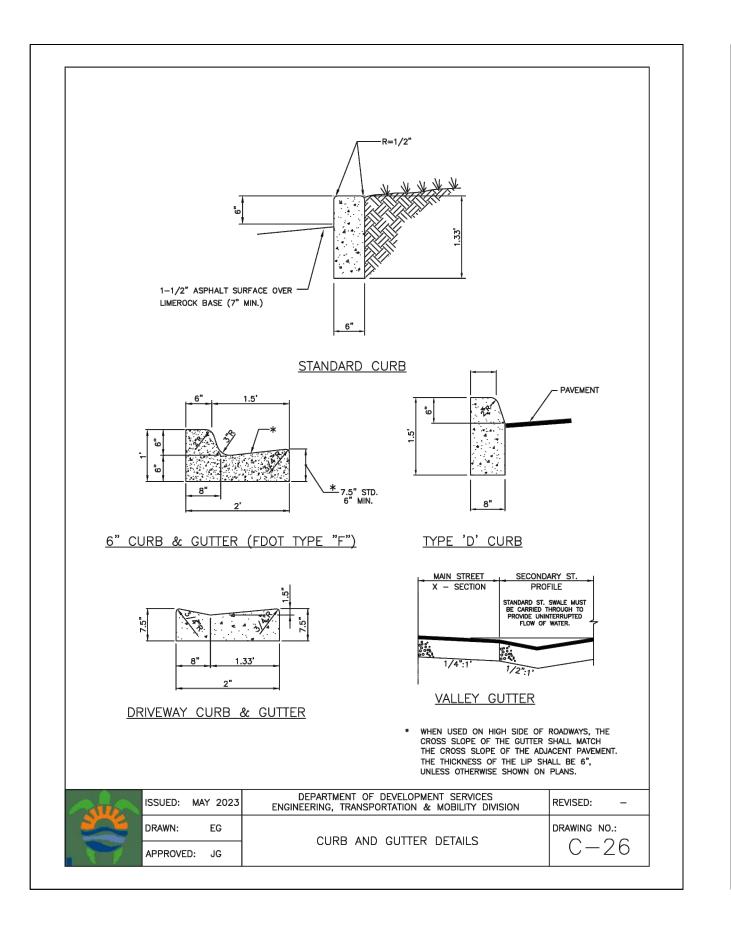
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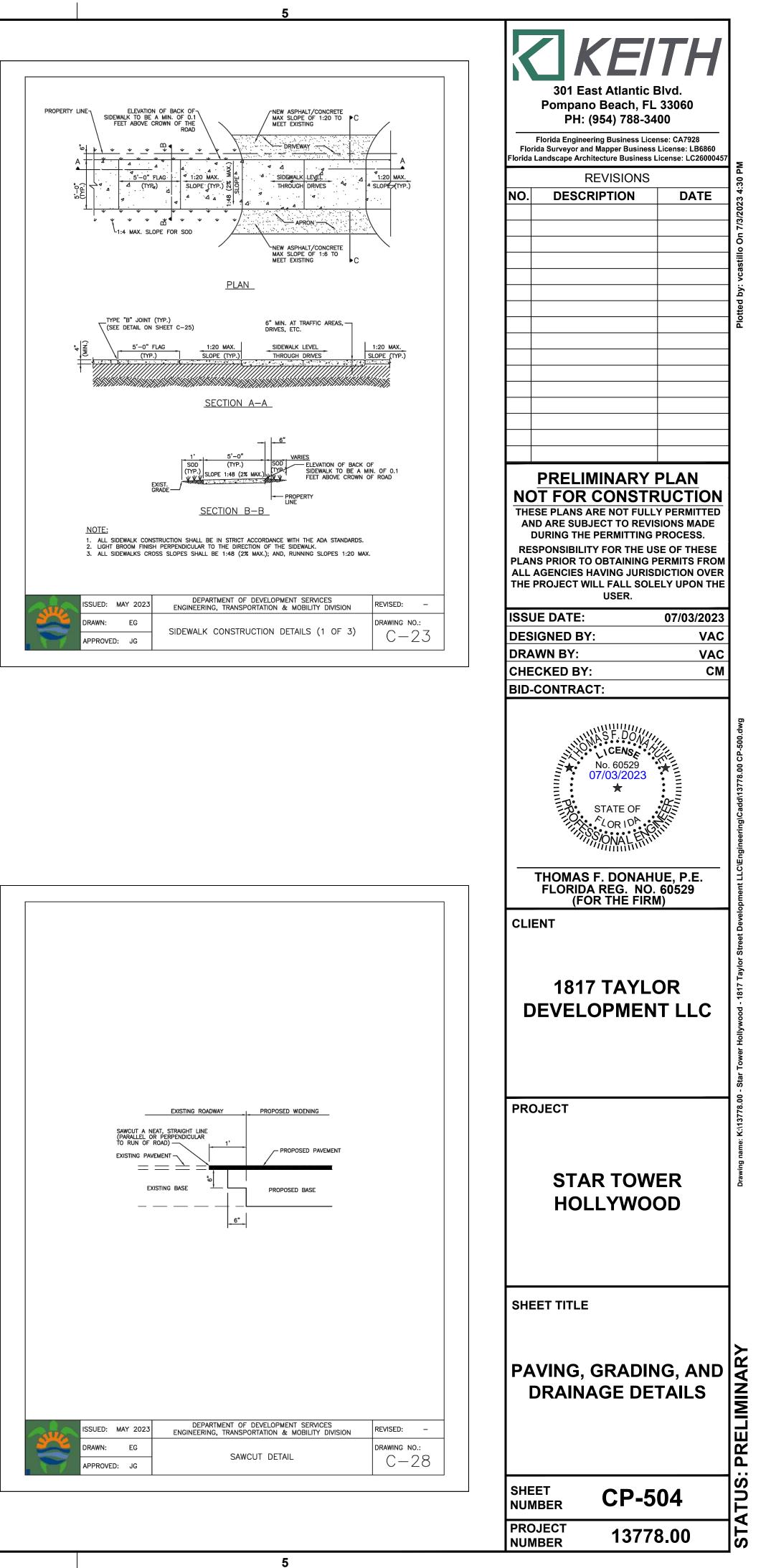


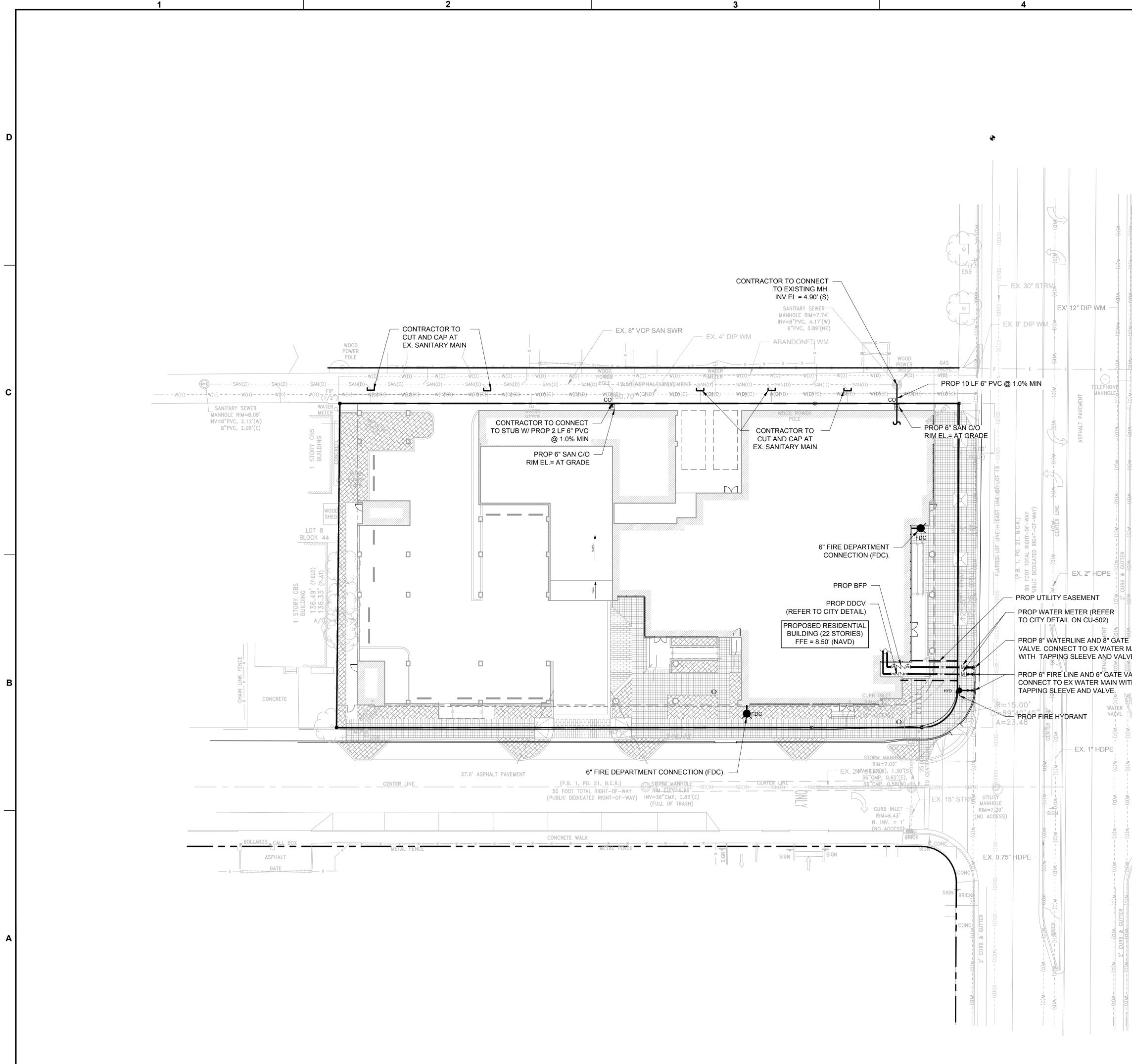












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	N	GRAPHIC SCALE 0 20 40 SCALE: 1" = 20 ' NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.	<b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solution</b> <b>Solut</b>	=
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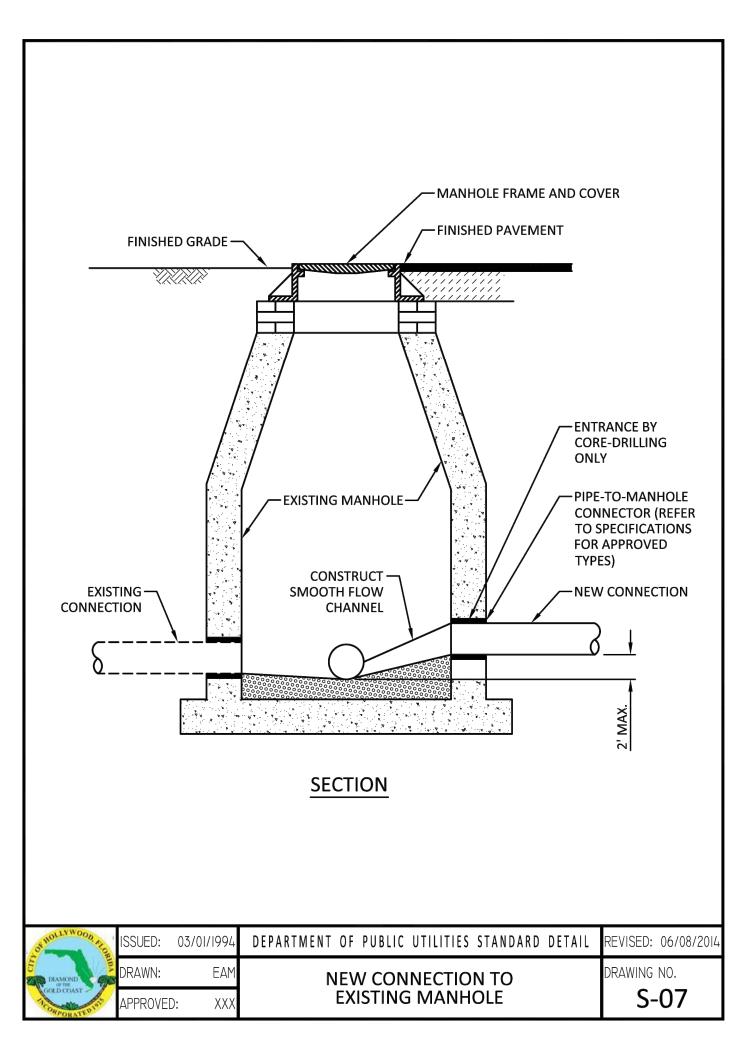
## SEWER NOTES:

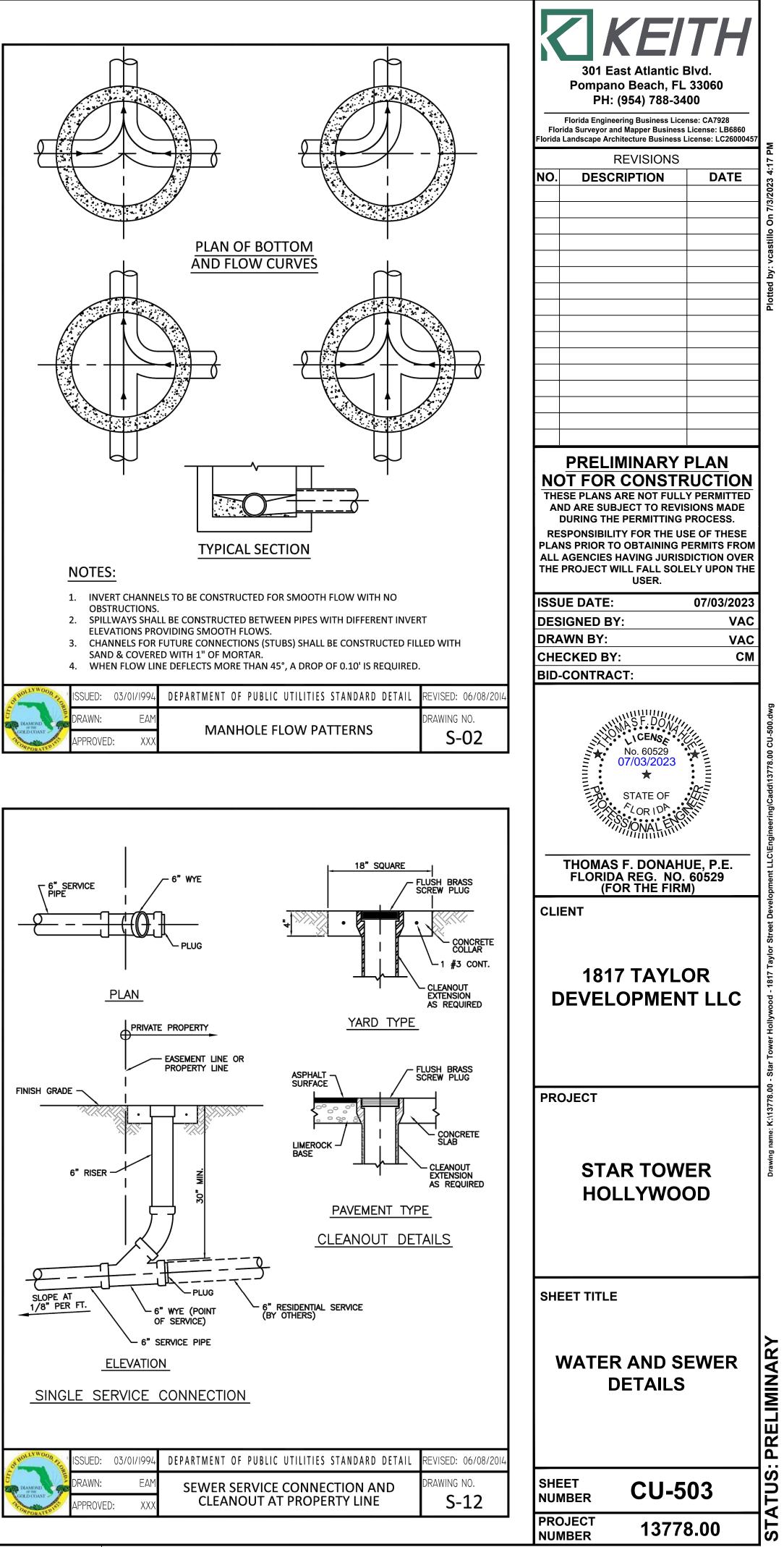
- 1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
- 2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- 4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
- 5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
- 6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:

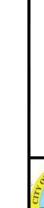
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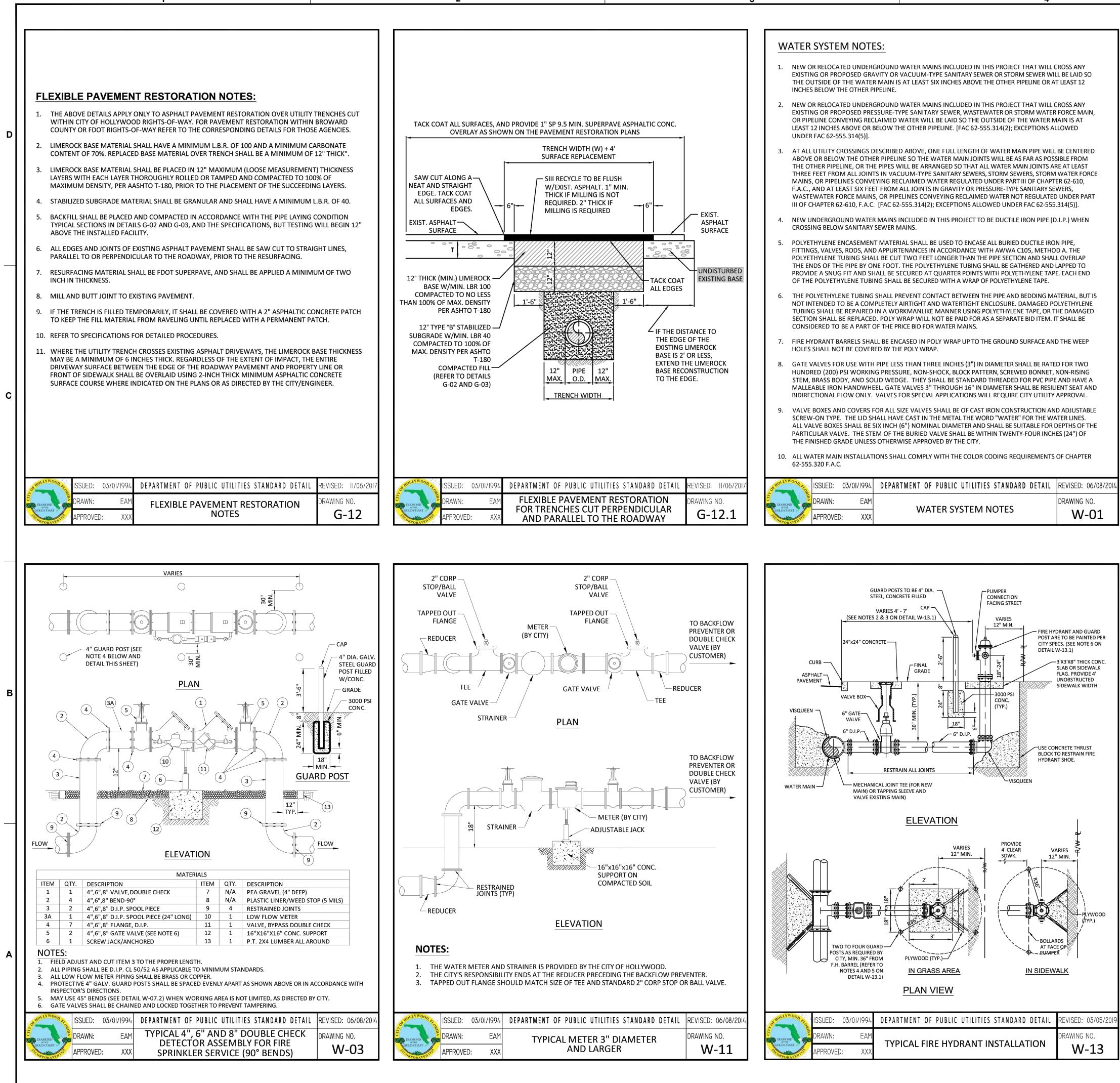
- WHERE: L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
- D = PIPE DIAMETER IN INCHES
- S = LENGTH OF LINES IN LINEAL FEET P = AVERAGE TEST PRESSURE IN PSI
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTYFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- 8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

OFHOLLYWOOD APO	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
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GOLD COAST -	APPROVE	D: XXX	CONSTRUCTION NOTES	S-01









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2" CORP STOP/BALL VALVE TAPPED OUT FLANGE TY) GATE VALVE CATE VALVE TEE	TO BACKFLOW PREVENTER OR DOUBLE CHECK VALVE (BY CUSTOMER)
₹	TO BACKFLOW PREVENTER OR DOUBLE CHECK



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W	ATER SYSTEM NOTE	ES (CONTINUED):			301 East Atlantic	
11.	ALL WATER MAIN INSTALLAT 62-555.320 F.A.C.	IONS SHALL COMPLY WITH THE COLOR CODING REQUIREM	ENTS OF CHAPTER		Pompano Beach, Fl PH: (954) 788-3	L 33060
12.	DR 18. ALL DIP WATER MAINS	RM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST R S SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALI ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIRE	. THICKNESS	Florida	lorida Engineering Business Lic a Surveyor and Mapper Busines Indscape Architecture Business	s License: LB6860
	ANSI/AWWA C151/A21.51-02	2 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWV	VA C104/A21.4-03.		REVISIONS	
13.	MINIMUM WORKING PRESSU	RON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIO JRE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THI	PER ANSI/AWWA	NO.	DESCRIPTION	DATE
14.		E MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PRO BE USED AS DETERMINED BY DESIGN.	TECTIVE MEASURES			
15.	PAVEMENT RESTORATION SH	HALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIRE	MENTS OF THE CITY.			
16.	ALL TRENCHING, PIPE LAYING CITY OF HOLLYWOOD SPECIF	G, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST (	COMPLY WITH THE			
17.	THE MINIMUM DEPTH OF CO	OVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).				
18.	MINIMUM HORIZONTAL SEP	ARATION BETWEEN STORM STRUCTURES AND WATER MAIN	IS SHALL BE 3'.			
19.		EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMEN	NDATION			
	(MAXIMUM) WHERE DEFLEC					
20.		ONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS F CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UN				
		AL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE 1 R THE ADDITIONAL FITTINGS USED THEREON.	O CONTRACTOR			
21	PIPE IOINT RESTRAINT SHALL	BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GL	ANDS			
22.	PRESSURE OF 250 PSI MINIM MEGALUG OR APPROVED EQ JOINTS (60 FEET) FROM ANY WHENEVER IT IS NECESSARY CONTRACTOR SHALL FURNIS NECESSARY TO SUPPORT THI MOVEMENT WHICH CAN IN A CONTRACTOR SHALL BE SOLE	THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE NUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL QUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMU FITTING. , IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRI SH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACI E SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFET ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT ST SLY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEAN HE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REC	BE EBAA IRON INC., JM OF THREE ENCH, THE NG AS MAY BE Y, AND TO PREVENT RUCTURES. THE NS OF	NO THES AND DU RESP PLANS ALL A	PRELIMINARY FOR CONST E PLANS ARE NOT FULL ARE SUBJECT TO REV JRING THE PERMITTING PONSIBILITY FOR THE U PRIOR TO OBTAINING GENCIES HAVING JURIS ROJECT WILL FALL SOL USER.	RUCTION LY PERMITTED ISIONS MADE PROCESS. JSE OF THESE PERMITS FROM SDICTION OVER
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NC	DTES:			CLIE	<b>N</b>	
1.	IN ALL CASES, PROVIDE 4' U	UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRAN	T AND BOLLARDS.			
2.	FIRE HYDRANTS SHALL BE	LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB			1817 TAYL	OR

- 3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FDOT CLEAR DRIVING ZONE.
- 4. GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6' LEFT/RIGHT OF  $m \Theta$  OF THE FIRE HYDRANT.EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
- 5. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
- 6. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS

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S		EEN, A	ND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVI			AR TOWER	Drawing name: K:\13
						E R AND SEWER DETAILS	PRELIMINARY
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**DEVELOPMENT LLC** 

PROJECT

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	GENERAL NOTES:		GENERAL NOTES	(CONTINUED):			
	1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE O WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.	COURSE OF THE INVESTIGATIONS	STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.				
	2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CON	ISTRUCTION			AT LEAST ONCE DAY OR AS RE		
D	SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE 3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING	G FACILITIES,	REQUIRED BY NPDES F	REGULATIONS.	THIN / ADJACENT TO THE CO		
	UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AN TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AF CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SU	CORRECT. ALSO, REA WHICH WERE JRVEY. THE	CONSTRUCTION BEFO SUNDAY.	RE 8:00 A.M. AND AFTER 6:	ICE (CHAPTER 100) WHICH PI 00 P.M., MONDAY THROUGH	I SATURDAY AND ALL DAY	
	CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECT WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONF DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RES ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK	FLICT BETWEEN SPONSIBILITY FOR	INCLUDE COST IN OTH	IER ITEMS.	IN FILL AREAS. NO SEPARATI REQUIREMENTS OF THE ECS	E PAY ITEM FOR THIS WORK, 5D UNLESS OTHERWISE	
	AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THI EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OF APPROVED BY THE RESPECTIVE UTILITY OWNER.	· ·		ALL REPLACE ALL PAVING, S	TABILIZING EARTH, DRIVEWA		
	4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCA TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WOR	RK.	TYPE OF MATERIAL TH ENGINEER.	IAT WAS REMOVED DURING	G CONSTRUCTION OR AS DIRI	ECTED BY ECSD FIELD	
	5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED I DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.		EQUIPMENT. IN CASE FORM MUST BE SIGNE	WORK ON PRIVATE PROPER ED BY PROPERTY OWNER AN	RIVATE PROPERTY WITH PER RTY IS NEEDED, A CITY OF HO ND THE DIRECTOR OF PUBLIC ESS AT ALL TIMES TO PRIVAT	LLYWOOD "RIGHT OF ENTRY" UTILITIES. THE	
	<ol> <li>CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, M HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRU- BE OVERLAID WITH ASPHALT PAVEMENT.</li> </ol>		IRRIGATION SYSTEM (	PRIVATE OR PUBLIC) ACCIDI	AMAGE, REMOVAL OR MODI ENTALLY OR PURPOSELY. THE D IRRIGATION PIPES, SPRINKI	E CONTRACTOR SHALL	
	7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRO PERMITS PRIOR TO THE START OF CONSTRUCTION.	PERTINENT APPURTEN THE CITY.	IANCES TO MATCH OR EXCE	ED EXISTING CONDITIONS A	T NO ADDITIONAL COST TO		
	<ol> <li>THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTR</li> <li>PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOS IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH</li> </ol>	PROPOSED IMPROVEN	MENTS SHALL BE REPLACED	TY DAMAGED DURING THE C TO MATCH OR EXCEED EXIST	TING CONDITION.		
С	DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S REOBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.	<ol> <li>CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.</li> <li>NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSD FIELD ENGINEER.</li> </ol>					
	10. THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONA COMPENSATION SHALL BE ALLOWED.	25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.					
	11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERT 1988 (NAVD 88).	ICAL DATUM OF	26. IT IS THE INTENT OF THE INTENT OF THE HAVING JURISDICTION	ANY DISCREPANCIES BETW	RDANCE WITH APPLICABLE C VEEN THESE PLANS AND APP ATELY BROUGHT TO THE ATT	LICABLE REGULATORY	
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	DRAWN: EAM GENERAL NOTES APPROVED: XXX	drawing no. <b>G-00</b>	GOLD COAST		ENERAL NOTES CONTINUED)	DRAWING NO. G-00.1	
			WATER MAIN SI	EPARATION IN ACCO	RDANCE WITH F.A.C. R	RULE 62-555.314	
	RIGHT-OF-WAY OR EASEMENT		OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)	
в	(WIDTH VARIES)		STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	WATER MAIN         S           3 ft minimum         3 ft minimum	12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inched is preferred	Alternate 3 ft minimum	
	- PAVEMENT (VARIES)		GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	WATER MAIN         S           10 ft prefered         6 ft minimum           6 minimum         3	12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inched is preferred	Alternate 6 ft minimum	
	SANITARY FO	RCE MAIN	ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum			
	ELECTRICAL TELEPHONE CABLE GRAVITY SANITARY SEWER 10' MIN. 10' MIN.	R MAIN	SEPARATION IS 12 INCHES. 2. RECLAIMED WATER REGULA 3. 3 FT. FOR GRAVITY SANITAR TOP OF THE GRAVITY SANITAR 4. 18" VERTICAL MINIMUM SEP 5. A MINIMUM 6 FOOT HORIZO IN PARALLEL INSTALLATIONS 6. IN CASES WHERE IT IS NOT P IN A SEPARATE TRENCH OR O SUCH AN ELEVATION THAT T 7. WHERE IT IS NOT POSSIBLE T MAIN SHALL BE CONSTRUCT MINIMUM VERTICAL DISTAN	TED UNDER PART III OF CHAPTI Y SEWER WHERE THE BOTTOM ARY SEWER. PARATION REQUIRED BY CITY O ONTAL SEPARATION SHALL BE N WHENEVER POSSIBLE. OSSIBLE TO MAINTAIN A 10 FO ON AN UNDISTURBED EARTH SH THE BOTTOM OF THE WATER M TO MAINTAIN A VERTICAL DIST/ ED OF DIP AND THE SANITARY S ICE OF 6 INCHES. THE WATER N ATED AS FAR APART AS POSSIBL	OF THE WATER MAIN IS LAID AT F HOLLYWOOD, UNLESS OTHER MAINTAINED BETWEEN ANY TYP OT HORIZONTAL SEPARATION, T HELF LOCATED ON ONE SIDE OF AIN IS AT LEAST 18 INCHES ABO ANCE OF 18 INCHES IN A PARALL SEWER OR FORCE MAIN SHALL B MAIN SHOULD ALWAYS BE ABOV LE FROM JOINTS ON THE SEWER	T LEAST 6 INCHES ABOVE THE WISE APPROVED. E OF SEWER AND WATER MAIN THE WATER MAIN MUST BE LAID THE SEWER OR FORCE MAIN AT VE THE TOP OF THE SEWER. LEL INSTALLATIONS, THE WATER BE CONSTRUCTED OF DIP WITH A E THE SEWER. JOINTS ON THE COR FORCE MAIN (STAGGERED	

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

TYPICAL UTILITY ACCOMMODATION WITHIN RIGHT-OF-WAY OR EASEMENT ORAW

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NG NO. <b>G-01</b>	GOLD COAST	DRAWN: APPROVEI	EAM D: XXX	SEPARATION REQUIREMENTS OF F.D.E.P.	DRAWING	NO. <b>)1.1</b>

	CE (CHAPTER 100) WHICH PF 00 P.M., MONDAY THROUGH			23.	EXPOSED OR OPENED AT THE END O THE CONTRACTOR IS NOT WORKIN FIRMLY SECURED AND MARKED AC
ERIAL SHALL BE USED I EMS.	N FILL AREAS. NO SEPARATE	E PAY ITEM I	OR THIS WORK,	30.	ALL EXCAVATED MATERIAL REMOV THE CONTRACTOR AT THE CONTRA
OPEN CUT AS PER THE	REQUIREMENTS OF THE ECS	D UNLESS O	THERWISE	31.	ALL DUCTILE IRON PRODUCTS SHAI HIGHWAY TRAFFIC LOADS, OR 20,0
Y THE INSTALLATION O	TABILIZING EARTH, DRIVEWA DF THE PROPOSED IMPROVE CONSTRUCTION OR AS DIRE	MENTS WIT	H THE SAME		ALL GRASSED AREAS AFFECTED BY THE CONTRACTOR SHALL BE RESPO TRAFFIC CONTROL AND SAFETY DE
CON PRIVATE PROPER PROPERTY OWNER AN	RIVATE PROPERTY WITH PER TY IS NEEDED, A CITY OF HOI ID THE DIRECTOR OF PUBLIC ESS AT ALL TIMES TO PRIVAT	LLYWOOD "I UTILITIES. T	RIGHT OF ENTRY" HE	34.	OF FDOT DESIGN STANDARDS. IN A ALL TRAFFIC CONTROL AND INFORI EXCAVATED OR OTHER MATERIAL S SHALL BE ADEQUATELY MARKED FO
TE OR PUBLIC) ACCIDE EMOVED OR MODIFIEI	AMAGE, REMOVAL OR MODI NTALLY OR PURPOSELY. THE D IRRIGATION PIPES, SPRINKI	CONTRACT	OR SHALL DR OTHER		TEMPORARY PATCH MATERIAL MU INSPECTOR WILL SHUT THE JOB DO
S TO MATCH OR EXCE	ED EXISTING CONDITIONS AT	T NO ADDITI	ONAL COST TO	36.	CONTRACTOR MUST PROVIDE FLAS
	TY DAMAGED DURING THE C TO MATCH OR EXCEED EXIST			37.	CONTRACTOR SHALL NOTIFY LAW E HOURS IN ADVANCE OF TRAFFIC DE
	TRAFFIC IN ACCORDANCE W			38.	CONTRACTOR TO RESTORE PAVEM
RTMENT OF PUBLIC UT	FILITIES STANDARDS.			39.	CONTRACTOR SHALL BE RESPONSIE DEWATERING.
HOLLYWOOD BUILDI PLANS TO BE IN ACCOF DISCREPANCIES BETW	IG THE NECESSARY TREE REM NG DEPARTMENT FOR TREES RDANCE WITH APPLICABLE C VEEN THESE PLANS AND APP ATELY BROUGHT TO THE ATT	ODES AND A	N THE PUBLIC NUTHORITIES GULATORY		
DEPARTMENT OF PU	JBLIC UTILITIES STANDAR	D DETAIL	REVISED: 11/06/2017	OF BOLLYWO	🥦 ISSUED: 03/01/1994 DEPAR
GENERAL NOTES (CONTINUED)			DRAWING NO. G-00.1	DIAMOND	DRAWN: EAM
ATION IN ACCOF	RDANCE WITH F.A.C. R	ULE 62-5	55.314		
IORIZONTAL CROSSING @ C		T SPACING ROSSING NT CENTERED) (8)		BOTTOM OF ROAD OR EXISTING	
	WATER MAIN 3	Alternate 3 ft	minimum 「		GENERAL BACKFILL SHALL BE

# GENERAL NOTES (CONTINUED):

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.

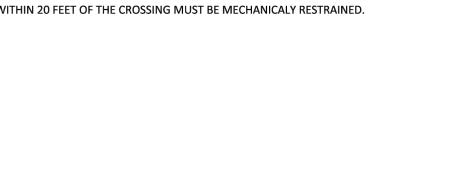
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- 28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- 29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, D OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN NG, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, CCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- VED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY ACTOR'S EXPENSE.
- ALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR 000 LB.
- CONSTRUCTION SHALL BE RE-SODDED.
- ONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL EVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF RMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT FOR TRAFFIC SAFETY AT ALL TIMES.
- UST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S OWN.
- SHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) ETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- MENT TO ORIGINAL CONDITION AS REQUIRED. IBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140

DIAMOND BOTTO GOLD COAST TOOPPORTCOUNT	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017	
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	APPROVED	): XXX	(CONTINUED)	G-00.2	

BOTTOM OF ROADWAY BASE OR EXISTING GROUND GENERAL BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN THICKNESS. EACH LAYER SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY SELECT BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6" IN THICKNESS. EACH LAYER SHALL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY HAUNCHING HAUNCHING	NT, BROWARD C WORKS, OR WOOD PAVEMENT DETAILS
PIPE O.D. + 2' MAXIMUM PIPE O.D. + 1' MINIMUM TRENCH WIDTH TRENCH WIDTH	
<ul> <li>NOTES:</li> <li>1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL S BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPO BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAI PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGAI MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.</li> <li>2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BI ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".</li> <li>3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.</li> <li>4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.</li> </ul>	orted R Nic
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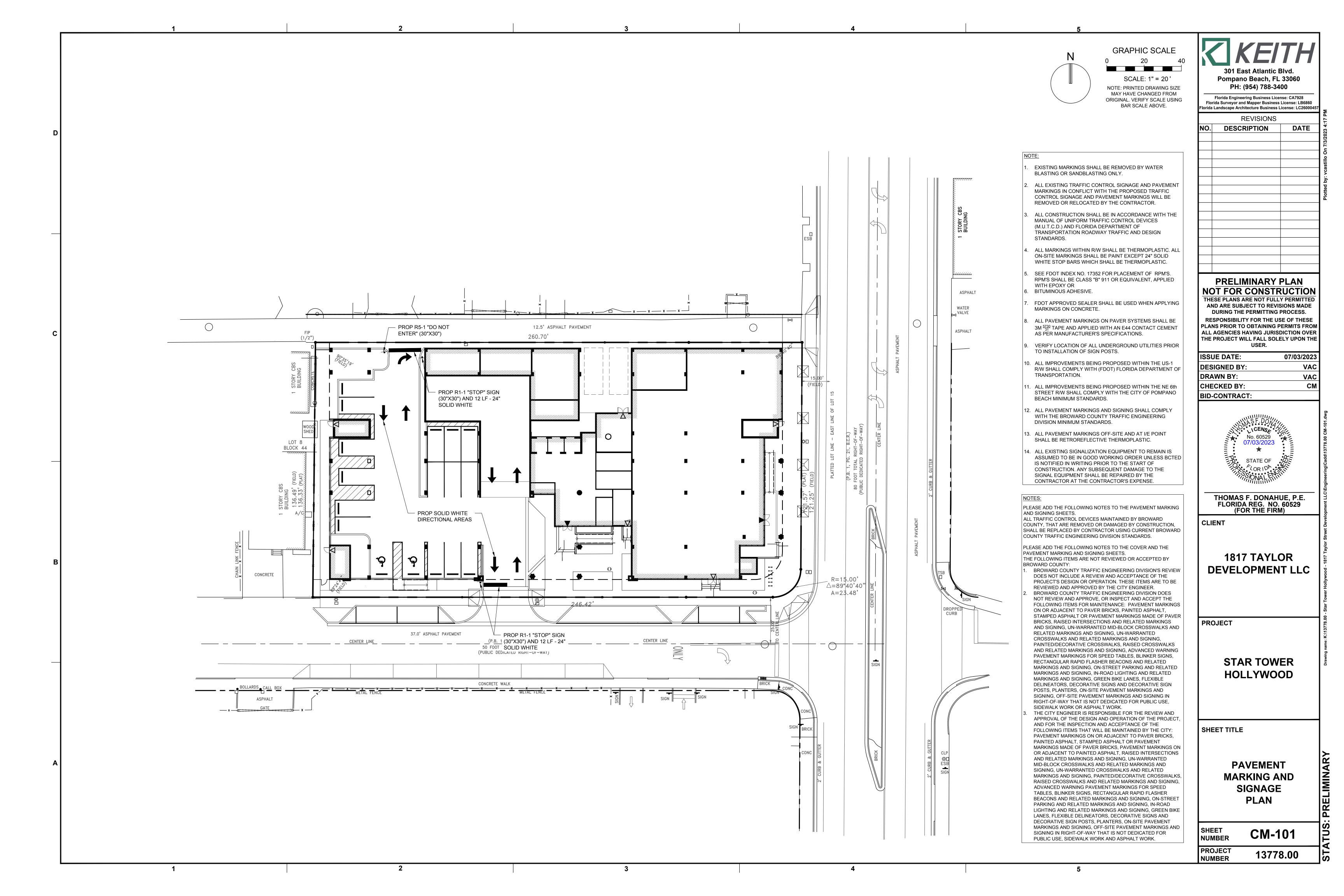


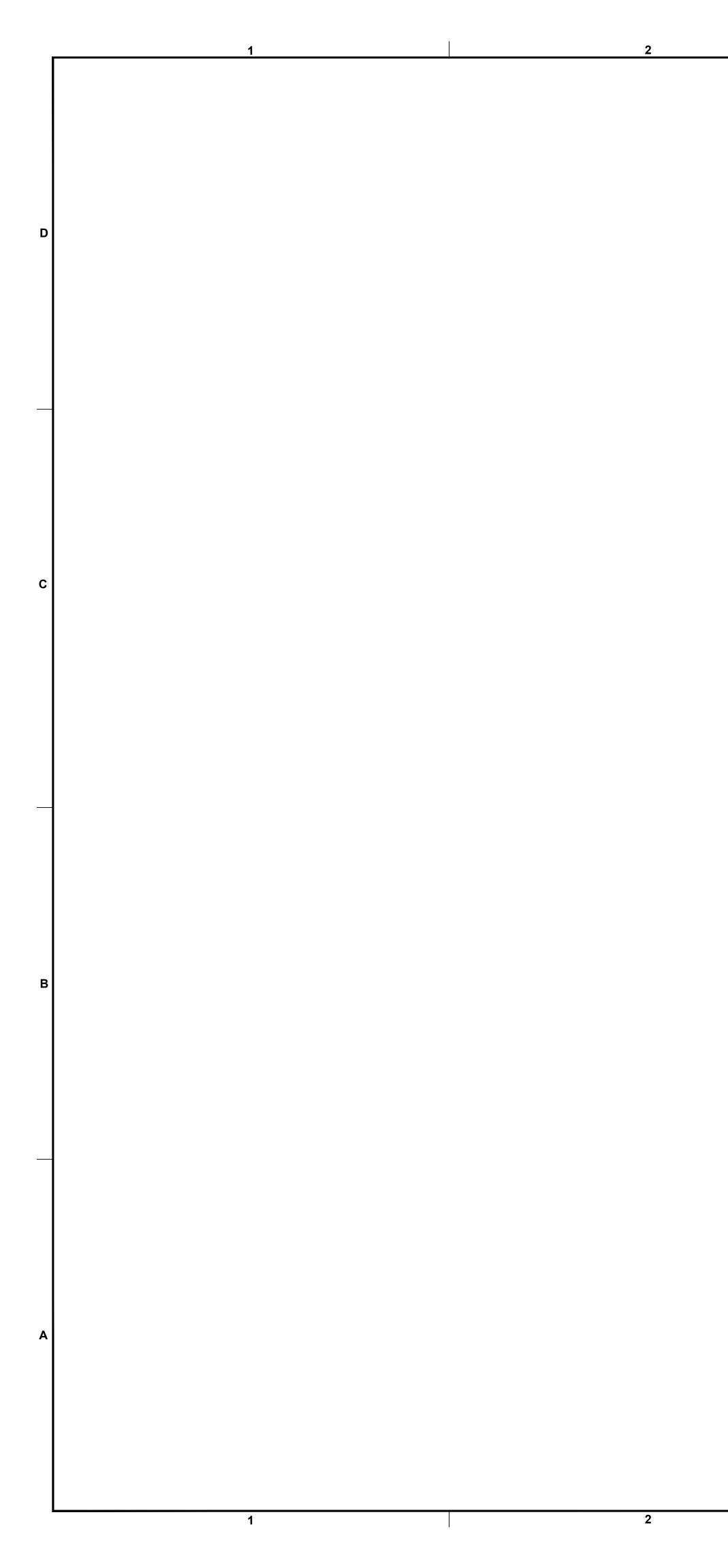
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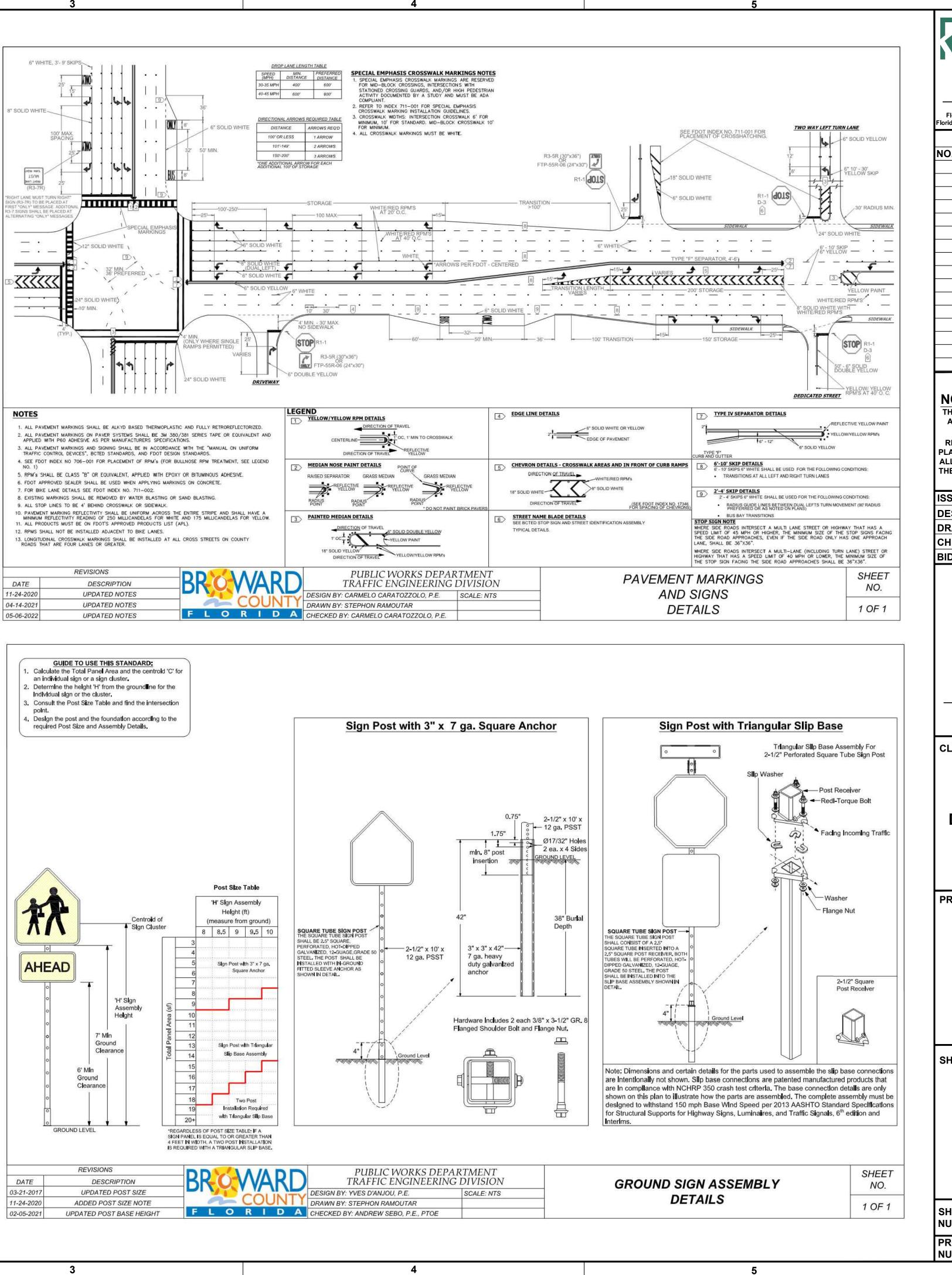
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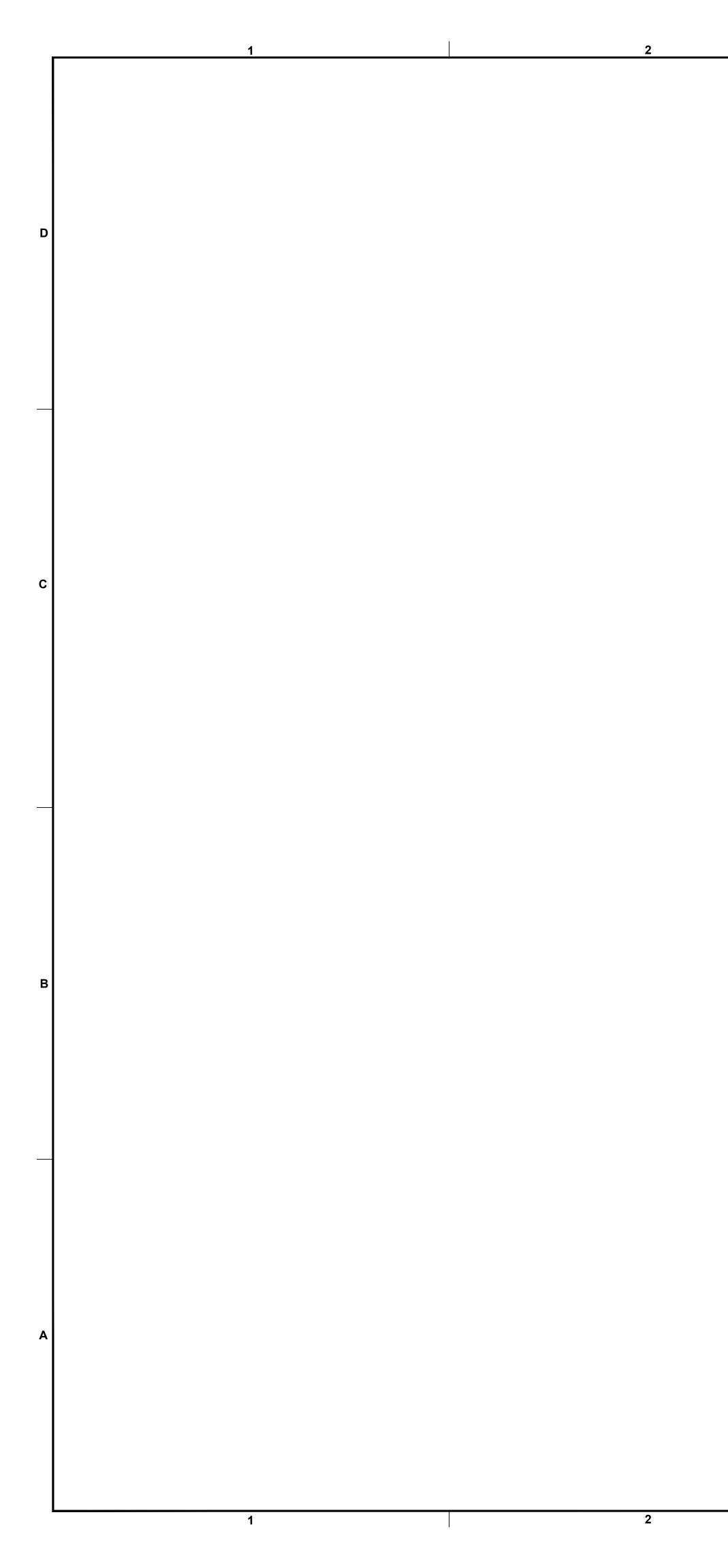
	KEITH
<ul> <li>GENERAL NOTES (CONTINUED):</li> <li>40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).</li> </ul>	301 East Atlantic Blvd. Pompano Beach, FL 33060 PH: (954) 788-3400 Florida Engineering Business License: CA7928
Sunshine 811 com	Florida Surveyor and Mapper Business License: LB6860 Florida Landscape Architecture Business License: LC26000457 REVISIONS NO. DESCRIPTION DATE
41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.	
42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.	
43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:	
a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.	
b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.	PRELIMINARY PLAN NOT FOR CONSTRUCTION
c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.	THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.	RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.
e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.	ISSUE DATE: 07/03/2023 DESIGNED BY: VAC DRAWN BY: VAC
f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"	DRAWN BY: VAC CHECKED BY: CM BID-CONTRACT:
ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 11/06/2017 DRAWN: EAM GENERAL NOTES (CONTINUED) DRAWING NO. G-00.3	No. 60529 07/03/2023
CONCRETE	THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529
	(FOR THE FIRM)
VISQUEEN     PLAN       24*x24*x8*     THICK CONCRETE       IN UNPAVED AREAS ONLY     FINISHED GRADE       FINISHED GRADE     FINISHED GRADE	1817 TAYLOR DEVELOPMENT LLC
OPERATING NUT TO BE MITHIN 24" OF FINISH GRADE. IF REQUIRED AND AND AND AND AND AND AND AND AND AND	PROJECT
STANDARD DETAIL G-05)	STAR TOWER HOLLYWOOD
EXIST. POTABLE WATER AND/OR SANITARY SEWAGE FORCE MAIN EXIST. POTABLE STAINLEES STEEL TAPPING SLEEVE EVE STABLE AND LEVEL WITH MAIN BEING TAPPED	SHEET TITLE
ELEVATION         NOTES:         1. NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.         2. TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.         3. TEMPORARY THRUST BLOCKS TO BE INSTALLED AND REMAIN IN PLACE DURING TAPPING OPERATIONS.         4. FOR SEWAGE FORCE MAINS, REFER TO DETAIL OF PRIVATE FORCE MAIN TIE-IN AT PROPERTY LINE.         5. FOR WATER MAINS, A GATE VALVE OF SAME DIAMETER SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF THE TAPPING VALVE.	WATER AND SEWER DETAILS
ISSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014	
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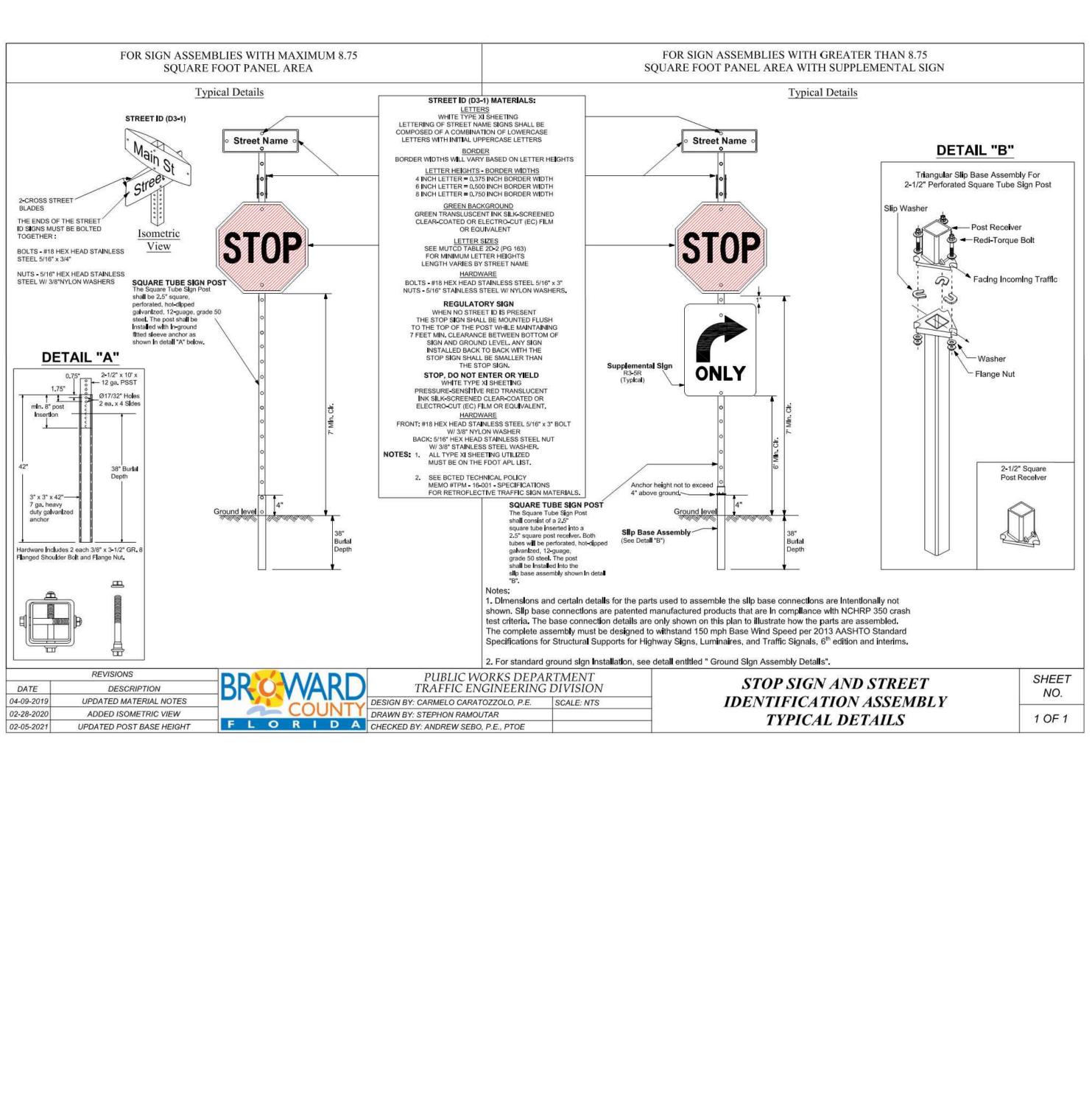




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July 5, 2023

#### RE: FILE NUMBER: 22-DJP-62 410 N. Federal Highway

1817 Taylor Development LLC 1212 NW 82<sup>nd</sup> Avenue Doral, FL 33126

#### KEITH Project # 13778.00 Star Hollywood

Dear City of Hollywood reviewers:

Based on your TAC Comments dated December 5th, 2020 KEITH / BC Architects and the project team offer the following responses to your comments/questions:

#### A. APPLICATION SUBMITTAL

Mawusi Watson, Planning Administrator (<u>mwatson@hollywoodfl.org</u>) 954-921-3471

- 1. Application Form:
  - Revise the address to reference the correct address per Broward County Property Appraiser (410
     N. Federal Highway) or otherwise complete the readdressing per Ordinance O-2015-16
     RESPONSE: Acknowledged.
  - b. Include Lot / Block / Subdivision. **RESPONSE: Acknowledged.**
  - c. Include sq. ft., value of improvement and estimated date of completion. **RESPONSE: Acknowledged.**
  - d. The property is subject to a previous Planned Development (PD) approval. Include the File Number and Resolution / Ordinance numbers on the Application Form in the section where it states *"Has this property been presented to the City before?"* and check the "City Commission" box. **RESPONSE: Acknowledged.**
  - e. Name of Property Owner correct name per Warranty Deed (1817 Taylor St Development, LLC).
     RESPONSE: Acknowledged.
  - f. On page 1 Nicolas Livsit is listed as the consultant / representative, however on page 2 Nicolas Livsit signed as the owner. If Nicolas Livist is the owner, provide evidence that same is authorized to sign as the owner. If Nicolas Livist is not the owner: 1) current owner must sign page 2 and Nicolas Livist must sign page 2 as the consultant / representative; and, 2) provide evidence that the person signing as the owner is authorized to do so. **RESPONSE: Acknowledged.**

- 2. Ownership Encumbrance & Report (O&E):
  - a. Shall indicate it was searched from 1953 or time of platting (earliest of the two); **RESPONSE: Acknowledged.**
  - b. Must be dated within 30 days of submittal packet. **RESPONSE: Acknowledged.**
  - c. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated. **RESPONSE: Acknowledged.**
  - d. Ensure O&E addresses the requirements on the TAC submittal checklist: <u>http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453</u>

# **RESPONSE:** Acknowledged. See Ownership & Encumbrance Report submitted with drawings, documents, and this letter.

- 3. Alta Survey:
  - a. Shall be based on and dated after O&E. Ensure that O&E report is specifically referenced.
     RESPONSE: Acknowledged.
  - b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated. **RESPONSE: Acknowledged.**
- 4. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals. RESPONSE: A Platting Determination letter is in processing with the Planning Council. All documents will be submitted prior to the Planning and Development Board.
- Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:
   RESPONSE: A SCAD letter is in processing with the School Board and will be submitted prior to the Planning and Development Board.

https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolI mpactAp plication1.pdf

 Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

#### **RESPONSE:** Acknowledged.

7. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Page 2 of 12 Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

Visit <u>http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List</u> for Contact Information. **RESPONSE: Acknowledged.** 

- 8. Additional comments may be forthcoming. **RESPONSE: Acknowledged.**
- 9. Provide written responses to all comments with next submittal. **RESPONSE: Acknowledged, by this response letter.**

#### B. ZONING

Mawusi Watson, Planning Administrator (<u>mwatson@hollywoodfl.org</u>) 954-921-3471

1. The proposed development constitutes and amendment to approved Master Plan and will also require approval of a new Site Plan for the property. Include a narrative explaining all proposed amendments to the approved Master Plan under Ordinance O-2025-16 as well as any amendments to the Resolution R- 2015-230. At a minimum, the narrative shall also include a description of previously approved project data vs. proposed project data (e.g. number of units, height, FAR, parking spaces etc.), a description of any new proposed new regulations that were not previously approved, and whether any previously approved regulations are proposed to be deleted.

RESPONSE: See sheet SP-101 for summary of units, height, density parking, and amendments.

 The proposed design includes an increase in density as well as the overall building mass. Provide justification in the narrative for the change in design and how this will impact on neighboring properties.
 RESPONSE: This project seeks to continue the idea of placemaking exemplified by the Young Circle area, and foster an active, walkable neighborhood. By proposing condo units, as opposed to rental, the project will create more neighborhood stability with less transient residents. The project also proposes over 8,000 SF of retail to support the

community.3. As part of the Master Plan amendments, in the narrative demonstrate how the proposed development meets the requirements for all land use and design regulations in Section

4.15.E of the Zoning and Land Development Regulations (ZLDRs).

**RESPONSE:** We feel this project will create an aesthetically pleasing environment for the immediate neighborhood. The commercial uses proposed on the ground floor will meet the local shopping and service needs. The property will be pedestrian oriented, with a covered plaza, wide sidewalks, bike storage, and arcade.

4. As the proposed development will require a new site plan approval, any previously approved variances, and modifications under Resolution R-2015-230 will be voided. Identify in the project narrative if any variances are proposed for the new site plan and include the variance criteria statements, if applicable.

#### **RESPONSE:** See SP-101 for list of variances.

5. Include a statement demonstrating compliance with, or proposed amendments to, the "whereas" clauses and conditions of approval in Ordinance O-2015-16 and Resolution R-2015-230.

**RESPONSE:** See sheet SP-101 for comparison with previous amendments and list of variances.

6. Both the approved Master Plan and Section 7.2 of the ZLDRs require 1.5 parking spaces per unit, plus 1 guest space for every 5 units. Calculations for the total number of appears to be incorrect and only provide 1 space per unit for the 1-bedroom units. Additionally, no guest parking spaces are provided in the overall parking count, yet the density is increasing. A requirement for a Planned Development is that compliance with Article 7 is required.

RESPONSE: The Parking count has been modified to reflect the current RAC standard. And per the meeting at the CRA office on 6/14/2023 with staff, it was understood that 1 BR and Studios require 1 parking space per unit. Please refer to the new Site Plan, sheet SP-101 which quantifies the updated unit breakdown and applicable parking as requirements.

- There is a significantly more tandem parking spaces (150) compared to standard spaces (111). This increase is also substantially more than the previously approved Master Plan. Provide justification for the increase in tandem parking.
   RESPONSE: The design has been modified to decrease the number of tandem parking, currently there are (6) tandem parking.
- 8. Site Plan:
  - a. Include note on Site Plan indicating that all changes to the design will require planning review and may be subject to Board approval.
     RESPONSE: Please refer to the new Site Plan, sheet SP-101 with added note as requested.
  - b. More clearly delineate the building footprint and any horizontal projections (e.g. balconies). As submitted the site plan provides details for roof level amenities that are confusing when reviewing overall building placement and setbacks on the property.
     RESPONSE: Please refer to the new Site Plan, sheet SP-101 which has been revised and identifies building overhangs. Refer to Architectural floor plans which have also been revised.
  - c. West setback dimension on site plan needs to match the site data. **RESPONSE: Please refer to the new Site Plan, sheet SP-101.**
- 9. Site Data:
  - a. Include the City file reference. RESPONSE: Noted, see Cover sheet.
  - b. List all proposed new property development regulations, including any requested Page 4 of 12

variances. RESPONSE: See variance list on she SP-101

- a. Counts in the Parking Schedule do not match counts on the Site Data table. RESPONSE: Please refer to the new Site Plan, sheet SP-101.
- Multiple sections in the "Amendment to PD" section are blank and need to include the proposed change between the previously approved and proposed developments.
   RESPONSE: See updated Zoning Table on she SP-101
- c. The data table contains a calculation for the retail that contradicts the site plan. Revise accordingly.
   RESPONSE: Please refer to the updated Site Plan, sheet SP-101
- 10. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

RESPONSE: Comment Acknowledged. Please refer to the provided Landscape Plan, Sheet LP-101. Landscape Plan to be reviewed by the City's Landscape Architect / Landscape Reviewer.

#### C. ARCHITECTURE AND URBAN DESIGN

Mawusi Watson, Planning Administrator (mwatson@hollywoodfl.org) 954-921-3471

- Include the property lines and setbacks to the building and balconies on the floor plans and elevations.
   RESPONSE: Property lines and dimensions added to floor plans and elevations.
- 2. Include finished floor elevation for each level on the elevations. RESPONSE: See sheets SP-3.1-sp-3.4 for finished floor elevations.
- Provide location and height / size of all fences, walls dumpster enclosures and signage. RESPONSE: Please refer to the new Site Plan, sheet SP-101 & Hardscape Plan Sheet LH-101. A 5' Opaque fence is proposed along the western property line. Details of this fence is to be provided at the time of Building Permit.
- 4. Provide color and materials legend for all elevations **RESPONSE: See sheets SP-3.1-sp-3.4 for color notes.**
- 5. Provide more detail for the proposed metal screen. RESPONSE: See sheet SP-3.5 for enlarged view of screen and grilles.
- Consider wrapping the metal screen around the west elevation to provide some relief on this facade.
   RESPONSE: Additional articulation/grilled have been added to west and north garage walls.
- Provide articulation / relief and additional architectural treatment to the west façade, which currently presents as a primarily blank wall.
   RESPONSE: Additional articulation/grilled have been added to west and north garage walls.

- Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.
   RESPONSE: Comment acknowledged. Will be completed prior to building permit.
- Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.
   RESPONSE: Comment acknowledged. Garage is proposed as open-air.
- 10. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate. **RESPONSE: Comment acknowledged.**

#### D. <u>SIGNAGE</u>

Mawusi Watson, Planning Administrator (<u>mwatson@hollywoodfl.org</u>) 954-921-3471

- Include note on Site Plan indicating all signage shall be in compliance with the Zoning and Land Development Regulations.
   RESPONSE: Please refer to the new Site Plan with requested note included on sheet SP-101
- All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign. RESPONSE: Please refer to the new Site Plan with requested note included on sheet SP-101

#### E. LIGHTING

Mawusi Watson, Planning Administrator (<u>mwatson@hollywoodfl.org</u>) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

**RESPONSE:** Please refer to the provided Photometric Plan on sheet LL-101 which includes minimal light levels utilizing bollards as defined by the CRA / RAC design guidelines.

This item is to be discussed further with staff to determine requested note and its applicability to project. It would be irresponsible design to provide 0 .5 minimum light levels as requested along urban city sidewalks (along Taylor St & Federal Hwy). Furthermore, the FDOT Greenbook identifies Intermediate Commercial (such as this project) as a 0.8 FC minimum and a ratio of 4:1 Average to Minimum. Along Federal Hwy, this stand MUST prevail as required by the FDOT owned Right-of-Way.

We understand the intent of the code is to maintain a maximum of 0.5 foot-candle at property lines to prevent light spill into residential areas. A note to the effect has been added to both sheet SP-101 and sheet LL-101 regarding the Northern and Western Property lines.

#### F. <u>GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY</u>

Mawusi Watson, Planning Administrator (<u>mwatson@hollywoodfl.org</u>) 954-921-3471

 As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal. **RESPONSE: The project will pursue Florida Green Building Coalition certification.** 

 Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle- charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

**RESPONSE:** Twenty future charging stations will be provided in accordance with 151.154, see architecture plans for locations in the garage.

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved. **RESPONSE: Acknowledged. See sheet SP-101 for Green Building certification note.** 

#### G. ENGINEERING

Azita Behmardi, City Engineer (<u>abehmardi@hollywoodfl.org</u>) 954-921-3251 Clarissa Ip, Assistant City Engineer (<u>cip@hollywoodfl.org</u>) 954-921-3915 Rick Mitinger, Transportation Engineer (<u>rmitinger@hollywoodfl.org</u>) 954-921-3990\

#### COMMENTS:

#### Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.



- It appears from Sheet SP-1.0, this application is an amendment to previously approved Planned Development. If so, please mention in the application form in the Explanation of Request section for an amendment and provide the previously approved site plan's file number to be amended. On the plan set cover page, please indicate such intend of this application and the applicable approved site plan file number to be amended. Lastly, please provide previously approved site plan with supporting studies and documents.
   RESPONSE: Acknowledged.
- Please clarify if a variance/approval was granted for the property requiring a reduced number of parking stalls. Please provide the approval and ensure the calculation is correct.
   RESPONSE: No parking reduction is requested.
- Sheet SP-1.0, please clarify the parking counts between the Number 9 of the Site Data table for parking and the Parking Schedule at the bottom of the sheet. i.e. 75 tandem spaces vs. 150 tandem spaces, 267 total spaces vs. 268. In the Parking Schedule, what is Parking Space 1? Typo in the word Addition under Number 9 of the Site Data.

**RESPONSE:** Please refer to the updated parking tabulations on the new Site Plan, sheet SP-101

- 4. Sheet SP-1.0, Number 13 of the Site Data table, provide the referenced Diagram SP-1. **RESPONSE: Comment may now be irrelevant. Please refer to the new Site Plan sheet, SP-101.**
- Please identify the height of the garage on the first level at the entrance, loading dock and handicap stalls. Minimum loading space vertical clearance is 14'. ADA Van accessible space vertical clearance is 98".
   RESPONSE: Loading area is min. 14' clear as shown on north elevation, sheet SP-3.1. Van accessible spaces located on ground level, with a 9'-4" clear height.
- 6. Applicant is to provide a minimum of (2) loading stalls. Loading spaces shall be an area at the grade level at least 10 feet wide by 25 feet long with 14 feet vertical clearance. Each loading space shall be directly accessible from a street or alley without crossing or entering any other required off-street loading space and arranged for convenient and safe ingress and egress by motor truck and/or trailer combination. Such loading space shall be also be accessible from the interior of any building it is intended to serve, such as the Retail bays. Indicate the loading space requirement and the number of loading spaces provided in the parking table. **RESPONSE:** Please refer to the new Site Plan (sheet SP-101) which identifies the requested10'X25' loading bays as serviced from the Alley and service both the proposed residential and retail.
- All parking stalls shall be consecutively numbered and fully dimensioned. Please show in plans. Any stall located next to a solid obstruction is required to be a minimum of 9.5' wide. Any stall with obstructions on both sides is required to be a minimum of 10.5'.
   RESPONSE: Please refer to the architectural floor plans that consecutively numbers the parking stalls as requested.
- Minimum tandem parking stall depth shall be 36'.
   RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the tandem parking as 38' depth.
- 9. Applicant identifies a Valet booth/area
  - a. Identify all valet stalls and provide a line item for these stalls in the parking calculations.
  - Provide a valet operation plan that includes items such as but not limited to review and analysis of number of vehicles anticipated, queuing spaces required, number of staff required, hours of operation and valet site plan showing valet station location and vehicle queuing. Also, provide a plan to show how the cars will be stored and what route will be taken to the storage parking facility.
     RESPONSE: Valet/retail spaces indicated on plan
- 10. Revise parking details, for standard and ADA compliant stalls to City of Hollywood typical details.

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#### **RESPONSE:** Refer to sheet CM-504 for City of Hollywood typical parking detail.

11. Per Sheet SP-1.2 cross sections on Taylor Street and US1, building façade elements will be encroaching into the public rights-of-way. Approval and agreement with the City are required for Taylor Street encroachment and from FDOT for US1.'

**RESPONSE:** Building footprint has been updated so as to not encroach into public ROW.

- 12. Sheet SP-2.0, provide pavement marking and signage plan to show how vehicular traffic circulation operates. Will traffic be limited to right-turn only to the upper floors of the garage? Parking stalls in the center area backing out in conflict with the vehicular traffic at the entrance / exit area is of concern. RESPONSE: Refer to Sheet CM-101 for Pavement Marking and Signage Plan.
- 13. Traffic impact analysis is required, coordinate with Rick Mitinger, Transportation Engineer, 954-921-3900 or <u>rmitinger@hollywoodfl.org</u>. Include trips generated by the project and all committed trips of future projects, trip distribution and impact to the roadway network. Provide a review of existing and future multimodal transportation impacts and needs. Include a review of existing and future transportation related improvements and amenities such as street and pedestrian lighting, bus shelter, bike facility and/or sidewalks. Traffic study reviews are done on a cost recovery basis by a City's consultant.

**RESPONSE:** Acknowledged. Traffic study in process.

- Please identify the location of all guest stalls proposed.
   RESPONSE: Guest stalls located on 2<sup>nd</sup> floor. See Sheet SP-2.2
- All non-vehicle areas shall be stripped to clearly identify pedestrian areas and vehicular areas. (i.e., loading zone, any space next to parking stalls or walls etc.).
   RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies all non-vehicular areas stripped. Please refer to garage floor plans which also include requested stripping.
- 16. In the parking garage, all dead-end situations shall receive a parking stall stripped out for vehicle turnaround or a minimum 3-foot-wide drivable area bump out with a curb perimeter. This bump out may not encroach into any required setback. **RESPONSE: Garage parking has been redesigned to allow for vehicle turn around.**
- 17. Provide site triangles at all driveway access (6' X 12') and corner setback triangles. RESPONSE: Please refer to the new Site Plan (sheet SP-101) which identifies the 6'x12' driveway access corner setback triangles as requested.
- 18. Provide corner right-of-way dedication at US1 and Taylor Street minimum 25'X25' triangle, measuring 25' along property lines. Alley and US1 requires 6'X6' triangle corner right-of-way dedication, measuring 6' along property lines. Any rights-of-way dedication as required by FDOT will also needs to be met. Please indicate on plans. RESPONSE: The request is noted and identified on the Site Plan, sheet SP-101. KEITH is in process to schedule a FDOT pre-application meeting as which time, KEITH and FDOT will review the requirement to provide both the requested 25'x25' triangle at the corner of Federal Hwy and Taylor St. as well at the requested 6'X6' triangle at the corner of Federal Hwy. If applicable, we'd request these corners be given as Easements, to be confirmed by FDOT.
- Please identify the material of all walkways and driveways/parking lots. Ensure details are provide that align with the requirements of the City of Hollywood.
   RESPONSE: Please refer to the Site Plan (sheet SP-101) which identifies pavers (along sidewalks) and concrete hatches (on Building steps, ramps, terraces, and parking garage) Additionally, please refer to LH-101 which identifies more specifically, materials which match the CRA / RAC Design Guidelines.
- 20. Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, all vehicle turning radii, sight triangles, pavement marking and signage plans and details as well as change in elevations to show that handicap accessibility has been met. Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights- of-way. Full road width asphalt pavement mill and resurfacing is required for Taylor Street and the alley along the

frontage of the site. Area of road asphalt pavement resurfacing and restoration on US1 to be determined by FDOT. Additional pavement mill and resurfacing may be required for any off-site utility improvements or extension needed for the project.

RESPONSE: Refer to CP-101 for Paving, Grading and Drainage plans depicting drainage improvements, site grading meeting ADS requirements and proposed asphalt milling and resurfacing along the alley frontage and Taylor Street. Refer to CM-101 and CM-501 through CM-503 for Pavement Marking and Signage plans and details.

- 21. Applicant will be required to mill & resurface all adjacent streets and alleys to the project. Please add a note to the site plan stating this requirement and provide a Civil plan with hatch showing limits of any trench restoration and limits of pavement mill and resurfacing and restoration of the associated pavement markings. RESPONSE: Refer to CP-101 for Paving, Grading and Drainage plans depicting proposed asphalt milling and resurfacing along the alley frontage and Taylor Street.
- 22. All pavement markings within the Rights-of-way are to be approved by the Broward County Traffic Engineering Division. This can be provided at time of permitting. **RESPONSE: Acknowledged.**
- 23. ADA accessible routes are required between accessibility parking and building access as well as an accessible route to the public rights-of-way. Please add a note on the site plan stating any lip from 1/4" but not greater than ½" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan.

**RESPONSE:** Please refer to the new Site Plan (sheet SP-101) which includes this note as requested. This plan includes a dashed line which identifies the ADA accessible route.

- 24. Provide separate dimension for the ADA stall width and the accessible width. Applicant is required to provide a minimum of (1) van accessible space out of the required 7. Please identify this stall and the vertical clearance from the entrance of the garage to this stall for compliance. RESPONSE: Please refer to Civil drawings which include the applicable City of Hollywood standard parking details as requested, also refer to Architectural drawings.
- 25. Sheets SP-2.2 and SP-2.3, provide ADA accessibility between the ADA parking stalls and the Elevator Lobby accessing the elevators. RESPONSE: Please refer to the new Site Plan (sheet SP-101) includes a dashed line which identifies the ADA accessible route.
- 26. Please identify how the Trash Room will be accessed for removal and how trash trucks will be situated for trash collection. Provide trash chute for recyclables and for general trash. Trash Room shall be able to accommodate dumpsters. Note 20 on Sheet SP-1.1 indicates trash bins will be used. RESPONSE: Trash rooms will be accessed from north side of the building. Trash pickup will occur in the alley.
- Sheets SP-2.0 to SP-2.3, garage ramps are showing to be in the Down direction on all sheets with drive aisles traffic circulation going in the Up direction. Please address.
   RESPONSE: Garage ramp directions have been clarified.
- Sheets SP-2.0 to SP-2.3, garage ramps are at 16% slopes. Speed ramps are typically limited at 12% slope, consider a transition ramp.
   RESPONSE: Transition slopes (at approx. 8%) added to speed ramp
- Please clearly show all aisle space dimensions. Applicant is showing a dimension of 25'-10" on the east aisle but there are columns that intrude into this dimension.
   RESPONSE: Please refer to the new Site Plan (sheet SP-101) includes ground level drive aisle dimensions. Refer to Architectural floor plans for garage drive aisle dimensions.
- 30. Pavement marking and signage plans will be required to show how pavement markings and signage will be provided to inform drivers the vehicular traffic circulation is one-way while the design, drive aisle and driveway



widths are sufficient for two-way traffic.

**RESPONSE:** Refer to CM-101 and CM-501 through CM-503 for Pavement Marking and Signage plans and details showing traffic circulation.

- 31. For the building columns are required to be setback a minimum of 3 feet from the entrance of the stall. RESPONSE: Dimensions between columns and parking stall entrances varies, with a minimum of 1'-6" is provided. With a parking aisle of 24' and stall width of 9', we believe 1'-6" is sufficient for maneuvering.
- 32. Provide separate civil engineering and streetscape plans and details showing existing conditions and proposed public improvements and work along site's adjacent streets within the rights-of-way. Review and approval by City CRA will be required. RESPONSE: Refer to Sheet CP-101 & LH-101 for the proposed public improvements, and work along the adjacent streets. The existing conditions are depicted on Sheet CD-101 & the Survey.
- 33. Please note that the City, in conjunction with the Downtown Community Redevelopment Agency, is working on developing a manual setting forth requirements for rights-of-way design and improvements guidelines in the RAC area. Continued coordination will be required. RESPONSE: Comment acknowledged. Efforts will be made in coordination with the City and the Downtown Community Redevelopment Agency as the project moves through design.
- 34. A complete street concept redesign of US1 adjacent to this proposed development's site is currently underway. Proposed site design and all US1 rights-of-way improvements under this project shall coordinate and be compatible with the proposed improvements and vision of the corridor. Please coordinate with FDOT project consultant, Trace Consultants, Inc., Frank Panellas, PE, with notification to City CRA and Engineering, Transportation and Mobility Division staff.

**RESPONSE:** KEITH coordinated with Trace Engineering to receive as-built plans and will continue to coordinate as the design is developed.

- 35. Provide FDOT Pre Application Letter. **RESPONSE: Pre application meeting with FDOT District 4 pending for July 2023. Once meeting is held, pre-application meeting notes will be forwarded to reviewer.**
- 36. For utilities work within City rights-of-way, ROW permit will be required at the time of permit. **RESPONSE: Comment Acknowledged**
- 37. MOT plans required at the time of City Building Permit review. **RESPONSE: Comment Acknowledged**
- 38. All outside agency permits must be obtained prior to issuance of City building permit. **RESPONSE: Comment Acknowledged**
- This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO- 2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.
   RESPONSE: Comment Acknowledged
- 40. More comments may follow upon review of the requested information. **RESPONSE: Comment Acknowledged**

#### H. LANDSCAPING

Favio Perez, Landscape Reviewer (<u>fperez@hollywoodfl.org</u>) 954-921-3900 Clarissa Ip, Assistant City Engineer (<u>cip@hollywoodfl.org</u>) 954-921-3915

- 1. No Comment Received.
- Follow Up with Landscaping RESPONSE: KEITH with follow-up with Landscape Reviewer as requested in order to review the proposed design as seen on LP-101 following this TAC submittal as the design has been significantly

#### altered from the previous review.

#### I. UTILITIES

Alicia Verea-Feria, Floodplain Development Review Administrator (<u>averea-feria@hollywoodfl.org</u>) 954-921-3302

- 1. Submit civil engineering plans indicating existing and proposed water and sewer service for initial review. RESPONSE: Refer to CU-101 Water and Sewer Plan indicating existing and proposed water and sewer service.
- 2. Show Water and Sewer demand calculations on proposed utilities plans. RESPONSE: Refer to CU-101 Water and Sewer Plan for water and sewer demand calculations.
- 3. Clarify how the fire line will be serviced for this property, as applicable. RESPONSE: Fire line connection will be made on the 8" WM running along N Federal Highway ROW. Refer to CU-101 Water and Sewer Plan.
- 4. Include the City's latest applicable standard water and sewer details. The details are available on the City's website via the following link: <u>http://www.hollywoodfl.org/1169/Standard-Details-and-Public-Notices</u>. RESPONSE: Refer to CU-501 through CU-503 for City of Hollywood Water and Sewer Details.
- 5. This site resides currently within FEMA Flood Zone X. The proposed FFE shall comply with the greatest of the following three (3) conditions, as applicable.
  - a. Section 154.50 of the City's Code of Ordinances requires the minimum FFE for residential use shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential use.
  - b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:
    - https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa5373ce3e2f01b6e; OR
  - c. Broward County Future Conditions 100-year Flood Map 2060 (in effect as of July 2021), available online via the following link: <a href="https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda6257\_5e817380">https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda6257\_5e817380</a>

RESPONSE: Proposed FFE has been established at 8.50 ft NAVD 88, complying with both Section 154.50 of the City's Code of Ordinances and Broward County's Preliminary2019 FEMA Flood Maps. Broward County Future Conditions 100-year Flood Map 2060 states a FFE requirement of 11 ft NAVD 88 minimum. Pre-application meeting with BCRED is pending in order to discuss formal amendment submittal for the required finish floor elevation.

6. Indicate FFE for all enclosed areas on the ground floor.

RESPONSE: Refer to CP-101 Paving, Grading and Drainage Plan showing FFE for all enclosed areas on ground floor.

7. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

**RESPONSE:** Refer to sheets CU-301 through CU-302 Cross Sections.

- 8. Ensure all stormwater is retained onsite. RESPONSE: Refer to CP-101 Paving, Grading and Drainage Plan showing all stormwater is being retained onsite.
- 9. Indicate how roof drainage will be collected and connected to the on-site drainage system. RESPONSE: MEP will route roof leader internally and connect to proposed cleanouts shown on CP-101 Paving, Grading and Drainage Plan.
- 10. Provide preliminary drainage calculations. RESPONSE: Refer to preliminary stormwater report and drainage calculations attached.

- 11. Submit Erosion Control Plan and details. RESPONSE: Refer to Sheets CG-101 through CG-501 for Erosion Control Plan and Details.
- 12. Permit approval from outside agencies will be required. RESPONSE: RESPONSE: Comment Acknowledged.
- 13. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

**RESPONSE:** Please refer to Sheet LP-101 which includes the civil utilities overlaid to visually verify utilities have been coordinated.

14. Additional comments may follow upon further review of requested items. **RESPONSE: Comment Acknowledged.** 

#### J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. Submittal is substantially complete. **RESPONSE: Comment Acknowledged** 

#### K. <u>FIRE</u>

Jorge Castano, Deputy Fire Marshal / Battalion Chief (jcastano@hollywoodfl.org) 954-967-4404

1. No comments received.

#### 2. Follow up with Fire. **RESPONSE: Comment Acknowledged**

#### L. PUBLIC WORKS

Charles Lassiter, Public Works Director (classiter@hollywoodfl.org) 954-967-4207

- 1. No comments received.
- 2. Follow up with Public Works. **RESPONSE: Comment Acknowledged**

#### M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

- 1. No comments received.
- 2. Follow up with Parks.

#### **RESPONSE:** Comment Acknowledged

#### N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing inspector (Ibeltran@hollywoodfl.org) 954-921-2923

- 1. No comments received.
- 2. Follow up with Community Development. **RESPONSE: Comment Acknowledged**

#### O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (<u>rstorey@hollywoodfl.org</u>) 954-924-2922 Herbert Conde-Parlato, Economic Development Manager (<u>hconde-parlato@hollywoodfl.org</u>) 954-924-2922 Tekisha Jordan, Principal Planner (<u>tjordan@hollywoodfl.org</u>) 954-924-2922

- 1. What types of retail is envisioned for approximate 8,500 SF of proposed space? RESPONSE: For the 8,200 SF of commercial space, we envision a neighborhood retail / restaurant.
- How many new jobs are projected as a result of this project? RESPONSE: We anticipate a substantial number of jobs created not only during the construction of project, but also for the future commercial space. Estimated job numbers to be determined at a later date.

#### P. POLICE DEPARTMENT

Christine Adamcik, Police (<u>cadamcik@hollywoodfl.org</u>) 954-967-4371 Steven Bolger, Police (<u>sbolger@hollywoodfl.org</u>) 954-967-4500 Doreen Avitabile, Police (<u>davitabile@hollywoodfl.org</u>) 954-967-4371

- 1. No comments received.
- 2. Follow up with Police.

### **RESPONSE:** Comment Acknowledged

#### Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980 Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980 Francisco Diaz-Mendez, Project Manager (<u>fdiaz-mendez@hollywoodfl.org</u>) 954-924-2980

1. No comments received.

2. Follow up with Downtown and Beach CRA **RESPONSE: Comment Acknowledged** 

#### R. PARKING

Jovan Douglas, Parking Administrator (jdouglas@hollywoodfl.org) 954-921-3548

- 1. No comments received.
- 2. Follow up with Parking. **RESPONSE: Comment Acknowledged**

#### S. ADDITIONAL COMMENTS

Mawusi Khadija Watson, Planning Administrator (<u>mwatson@hollywoodfl.org</u>) 954-921-3471

1. Additional comments may be forthcoming. **RESPONSE: Comment Acknowledged**