

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 7/21/2023

Location Address: 1837-1855 Johnson Street Hollywood FL 33020

Lot(s): 1, 2, 3, 4, 5 Block(s): 2-58 B Subdivision: Hollywood Lawns

Folio Number(s): 514210140020 & 514210140010

Zoning Classification: ND-1 Land Use Classification: Residential

Existing Property Use: Residential- SFHs Sq Ft/Number of Units: 2006 sqft/ 2 Units

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Site plan approval for the construction of 14 townhomes along with setback variance request that has been reviewed with planning and engineering

Number of units/rooms: 14 Townhomes Sq Ft: 31,234

Value of Improvement: \$4,500,000 Estimated Date of Completion: July 2024

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Ghasem Jafarmadar & Tida Saniei

Address of Property Owner: 1619 Harrison Street Hollywood FL 33020

Telephone: 9549224625 Fax: _____ Email Address: 9224625@gmail.com

Name of Consultant/Representative/Tenant (circle one): Tara Jafarmadar

Address: 1423 Van Buren Street Hollywood FL 33020 Telephone: 9548540326

Fax: _____ Email Address: tara.jafarmadar@gmail.com

Date of Purchase: 1/10/2003 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 7/24/2023

PRINT NAME: Chasem Tejedor

Date: 7/24/2023

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for New Project to my property, which is hereby made by me or I am hereby authorizing Jara Tejedor to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 24 day of JULY

Notary Public
State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Print Name









10					27		
9					28		
8					29		
1	2	3	4	5	6	7	

P.O. BOX 938858, MARGATE, FLORIDA 33093
TEL. (954) 971-0540 FAX (954) 971-5980

DENI CARNAHAN, INC.
LAND SURVEYING (LB 7707)

THE HABITAT 14 UNIT TOWNHOMES 1837-1855 JOHNSON STREET HOLLYWOOD, FLORIDA

Miguel de Diego
ARCHITECT P.A.

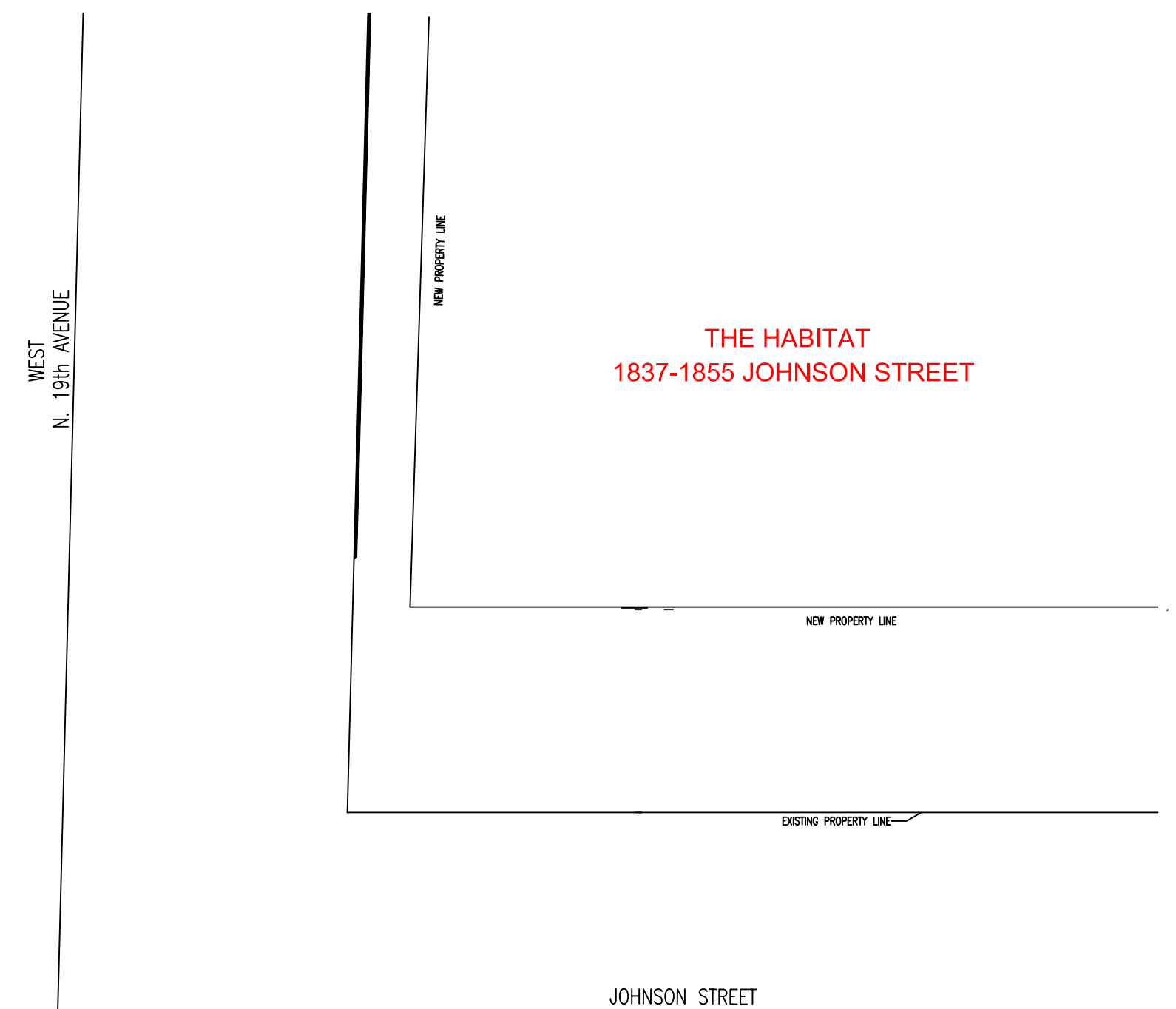
AA-26001641

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020

PH. (954) 926-3358

DRAWING INDEX

- 1 NOTES AND DETAILS
- 2 SITE PLAN
- 3 BUILDING "A" GROUND & SECOND FLOOR
- 4 BUILDING "A" THIRD FLOOR AND ROOF DECK
- 5 BUILDING "A" ELEVATIONS
- 6 BUILDING "B" GROUND & SECOND FLOOR
- 7 BUILDING "B" THIRD FLOOR AND ROOF DECK
- 8 BUILDING "B" ELEVATIONS
- 9 STREET PROFILE



LOCATION PLAN 
N.T.S.

PAST AND UPCOMING MEETINGS:

PACO 8-29-2022

PACO 2-6-2022

PTAC 3-20-2022

FTAC 9-5-2023

JOB ADDRESS:

1837-1855 JOHNSON STREET
HOLLYWOOD ,FLORIDA

ZONED ND-1

LEGAL DESCRIPTION:

LOTS 1, 2, 3, 4 AND 5 HOLLYWOOD LAWNS
PB 2 PG 58 BROWARD COUNTY, FLORIDA

SITE CALCULATIONS:

SITE: 27,580.00 S.F.
NOT INCLUDING DEDICATIONS

BUILDINGS FOOT PRINT BLDG-A	5,454.00 S.F.	19.77 %	>	10,908.00 S.F.
BUILDINGS FOOT PRINT BLDG-B	5,454.00 S.F.	19.77 %		39.54 %
ASPHALT DRIVEWAY	5,358.00 S.F.	19.42 %		
LANDSCAPE	11,314.00 S.F.	41.02 %		

TYP. UNIT:

LIVING AREA	350.00	S.F.
GARAGE	205.00	S.F.
TOTAL	555.00	S.F.
<hr/>		
SECOND FLOOR	958.00	S.F.
THIRD FLOOR	841.00	S.F.
ROOF DECK ENTRY	126.00	S.F.
TOTAL UNIT	2,480.00	S.F.

PARKING REQUIRED

ONE CAR GARAGE AND ONE CAR DRIVEWAY
TWO CARS PER UNIT.
PLUS TWO GUEST SPACES

ELECTRIC VEHICLE CHARGING

PROVIDE TWO EMPTY 3/4" COND.
JUNCTION BOX WITH BLANK PLATE. PROVIDE AS PER
N.E.C. AND SAE J1772
TO A TWO GANG JUNCTION BOX WITH BLANK PLATE
(ONE CHARGING STATION PER UNIT IN GARAGE)

$$FAR = 1.25$$

27,580 S.F. X 1.25 = 34,475.00 SF ALLOWED
31,23400 S.F. TOTAL SF PROVIDED

CUMULATIVE AVERAGE SQ. FT.

TOTAL UNDER AIR S.T. = 26,600 S.F.
26,600/ 14 = 1,900 S.F. CUMULATIVE AVERAGE

	SETBACKS	
	REQUIRED	PROVIDED
AVE. (NW 19th AVE)	15'-0"	10'-0"
FRONT (JOHNSON ST)	20'-0"	6'-0"
REAR	20'-0"	N/A
INT SIDE	10'-0"	18'-0"
BLDG HEIGHT	45'-0"	45'-0"

NOTE:
FRONT SETBACK (JOHNSON ST) ASKING VARIANCE 6 FT
AVENUE (N 19th AVE.) ASKING VARIANCE 10 FT

NOTE:

1. ALL SIGNAGE SHALL COMPLY WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
2. ROOF MATERIAL TO BE HIGH ALBEDO (TO BE DETERMINED BY THE OWNER)
3. RAILINGS AT BALCONIES TO BE ALUM. AND SLAB TO BE CONCRETE
4. FOOT CANDLE LEVEL AT PROPERTY LINE TO BE 0.5 MAX.

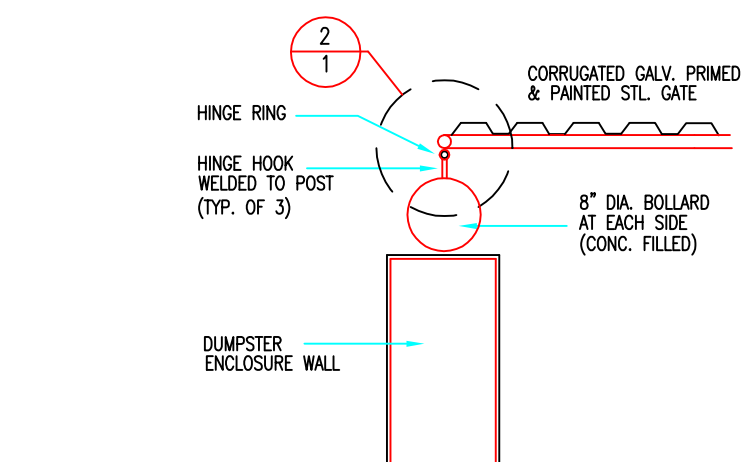
NOTE:
ANY CHANGES TO DESIGN INCLUDING MATERIAL CHANGES
MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL
PRIOR TO CONSTRUCTION.

GREEN BUILDING REQUIREMENTS (151.153)

1. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
2. PROVIDE PROGRAMMABLE THERMOSTATS
3. PROVIDE DUAL FLUSH TOILETS. VERIFY TO USE LESS THAN ONE GALLON TO FLUSH LIQUIDS AND 1.6 GALLONS OR LESS FOR SOLIDS.
4. PROVIDE MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT. MERV OF AT LEAST 8 SHALL BE VERIFIED BY THE MECHANICAL INSPECTOR ON SITE AT FINAL INSPECTION.
5. ALL OUTDOORS LIGHTS INCLUDING FLUORESCENT BALLS AND FIXTURES WITH ELECTRONIC BALLAST LOW PRESSURE SODIUM OR MERCURY VAPOR, PHOTODYNAMIC SYSTEM, LED LIGHTING AND LOW VOLTAGE LANDSCAPE LIGHTS THAT RUN ON TWELVE ALL ENERGY EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY THE ELECTRICAL INSPECTOR AT FINAL INSPECTION.
6. AT LEAST 80% OF PLANTS, TREES AND GRASSES PER SO. FL. WATER MANAGEMENT DISTRICT RECOMMENDATIONS
7. ALL WINDOWS TO BE IMPACT LOW E RATED
8. ALL HOT WATER PIPES TO BE INSULATED
9. UNITS TO HAVE TANKLESS WATER HEATERS
10. ROOF MATERIAL TO BE ENERGY STAR COMPLIANCE

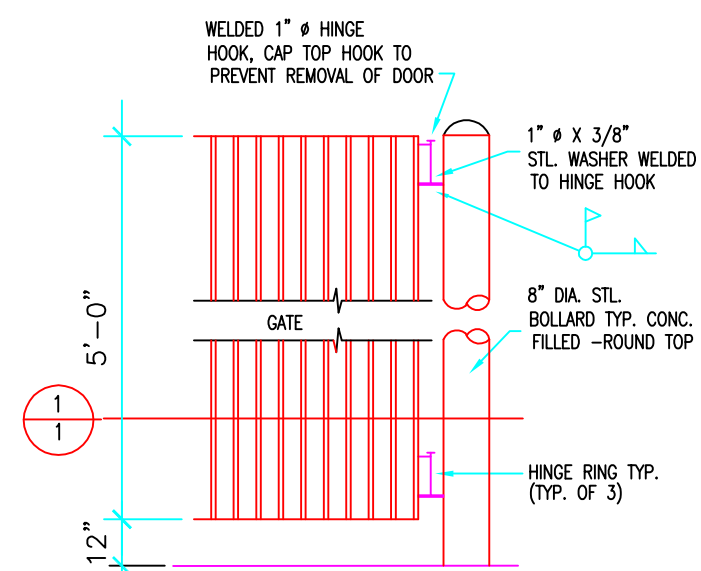
VUA CALCULATIONS:

TWO CAR PARKING AREA = 323 S.F.
323 X 25% = 80.75 SF ADDITIONAL LANDSCAPE REQUIRED
715 S.F. LANDSCAPE PROVIDED



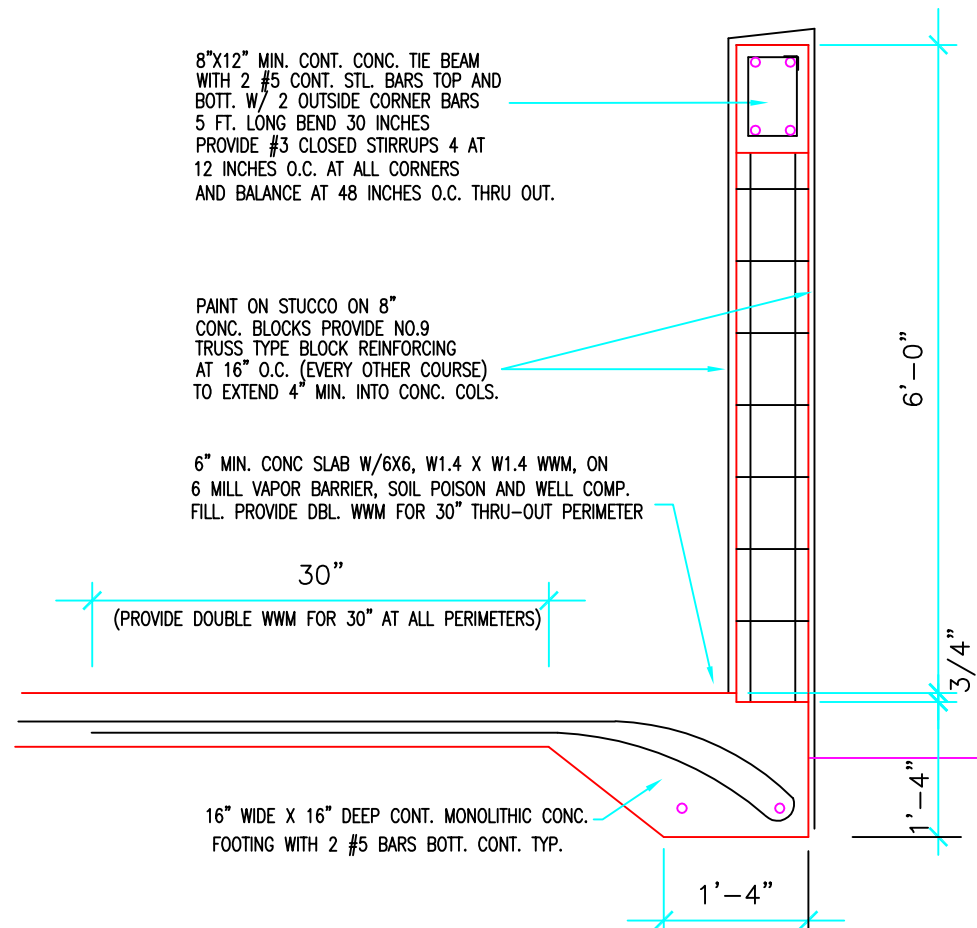
SECTION

1 N.T.S.



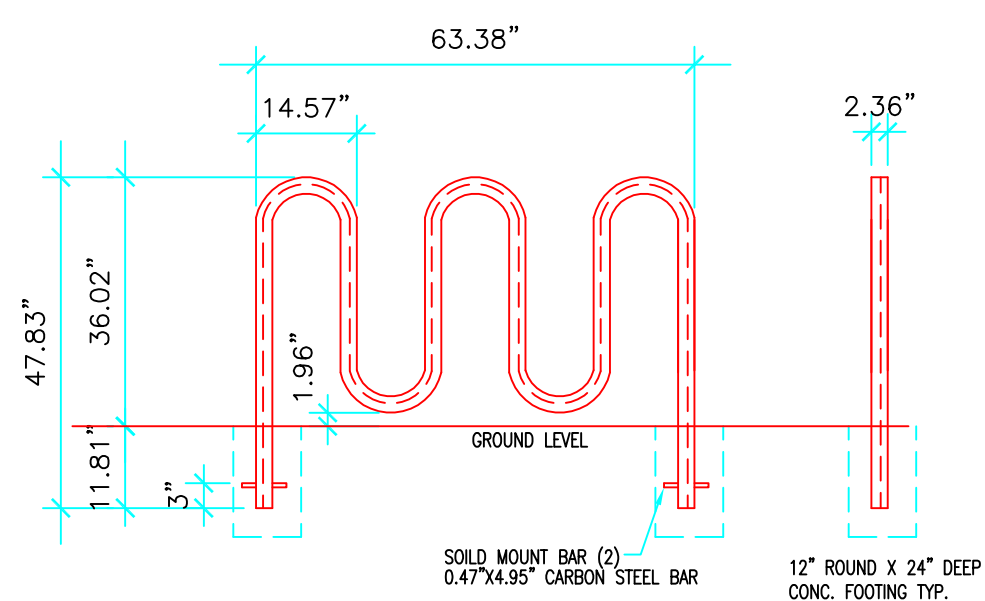
HINGE / GATE DETAIL

N.T.S.



DUMPSTER ENCLOSURE SECTION

SCALE: 3/4"=1'-0"



BICYCLE RACK DETAIL

N.T.S.

NOTE:

"AS PER NFPA 1 (2018 ED), SECTION 12.3.2- IN NEW BUILDINGS THREE STORIES OR GREATER IN HEIGHT, A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE RDP RESPONSIBLE FOR DESIGN, INSPECTIONS OF FIRESTOP SYSTEMS AND FIRE FIRE-RESISTIVE JOINT SYSTEM SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.2-INSPECTION OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1"

ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED, COPIED OR ALTERED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS THERE TO. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

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14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA

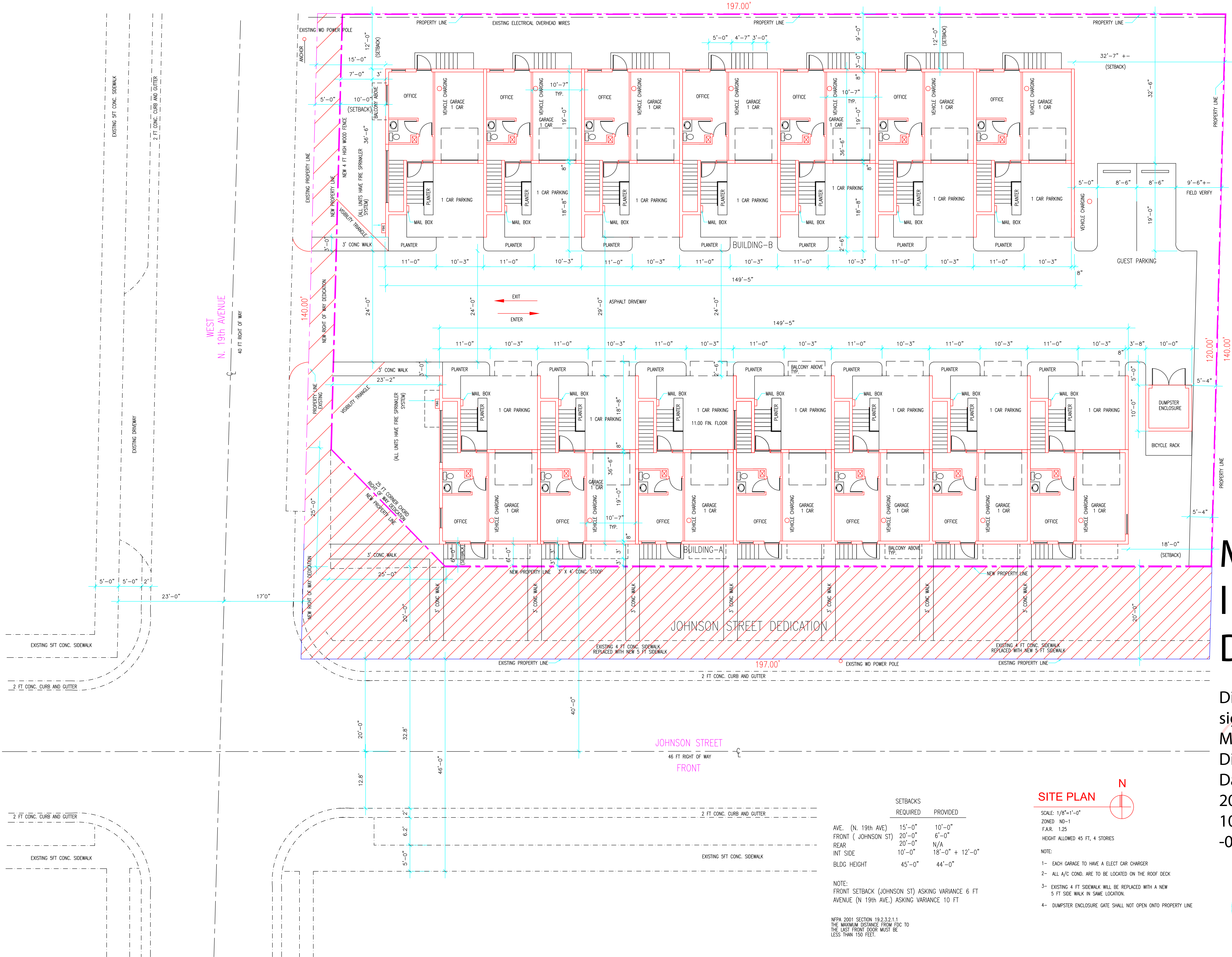
Miguel de Diego
ARCHITECT P.A.
AR-13378
STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

UNIT 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

023
2-141

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

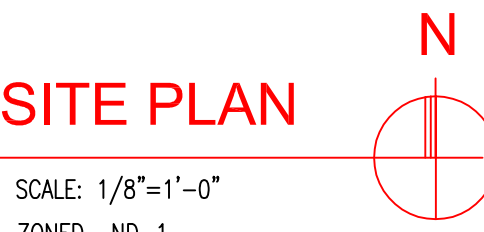
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Migue I F de Diego

Digitally signed by Miguel F de Diego
Date: 2024.02.12 10:54:15 -05'00'

	REQUIRED	PROVIDED
AVE. (N. 19th AVE)	15'-0"	10'-0"
FRONT (JOHNSON ST)	20'-0"	6'-0"
REAR	20'-0"	N/A
INT SIDE	10'-0"	18'-0" + 12'-0"
BLDG HEIGHT	45'-0"	44'-0"



SITE PLAN
SCALE: 1/8"=1'-0"
ZONED ND-1
F.A.R. 1.25
HEIGHT ALLOWED 45 FT, 4 STORIES
NOTE:
1- EACH GARAGE TO HAVE A ELECT CAR CHARGER
2- ALL A/C COND. ARE TO BE LOCATED ON THE ROOF DECK
3- EXISTING 4 FT SIDEWALK WILL BE REPLACED WITH A NEW 5 FT SIDE WALK IN SAME LOCATION.
4- DUMPSTER ENCLOSURE GATE SHALL NOT OPEN ONTO PROPERTY LINE

NFPA 2001 SECTION 19.2.3.2.1.1
THE MAXIMUM DISTANCE FROM FDC TO THE LAST FRONT DOOR MUST BE LESS THAN 150 FEET.

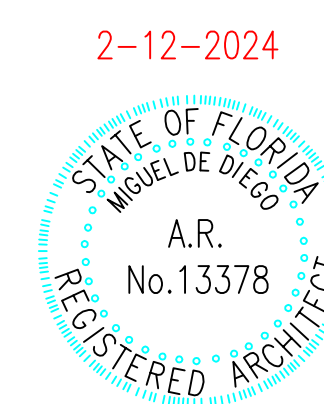
14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD ,FLORIDA

BUILDING-A

Miguel de Diego
ARCHITECT P.A.

AR-13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

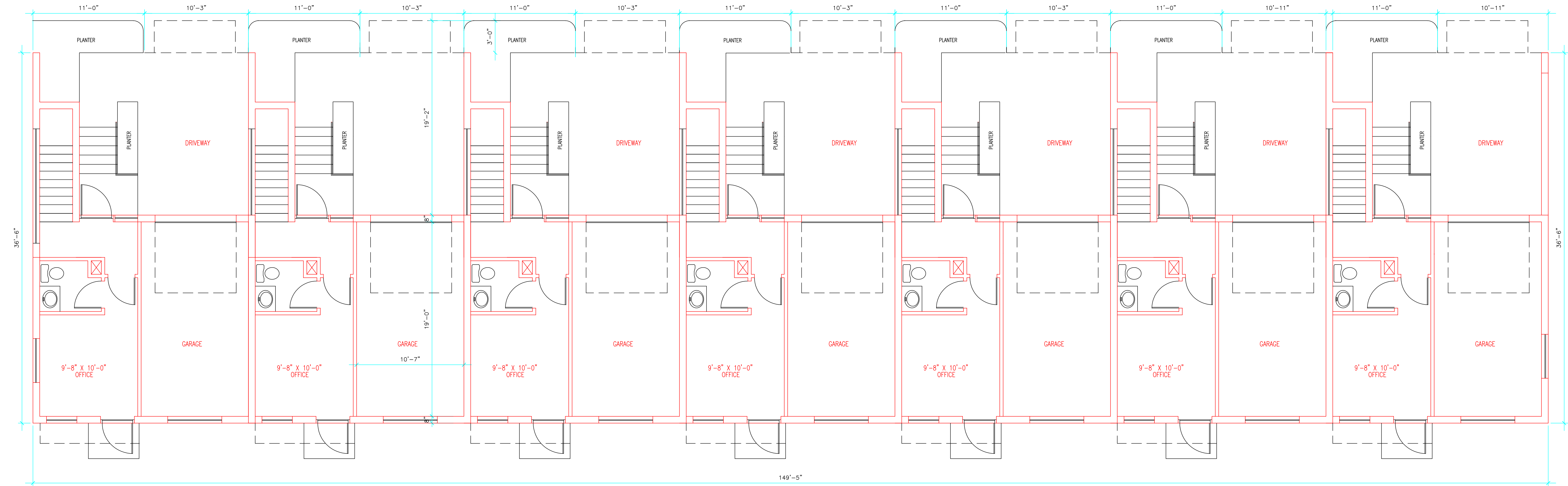
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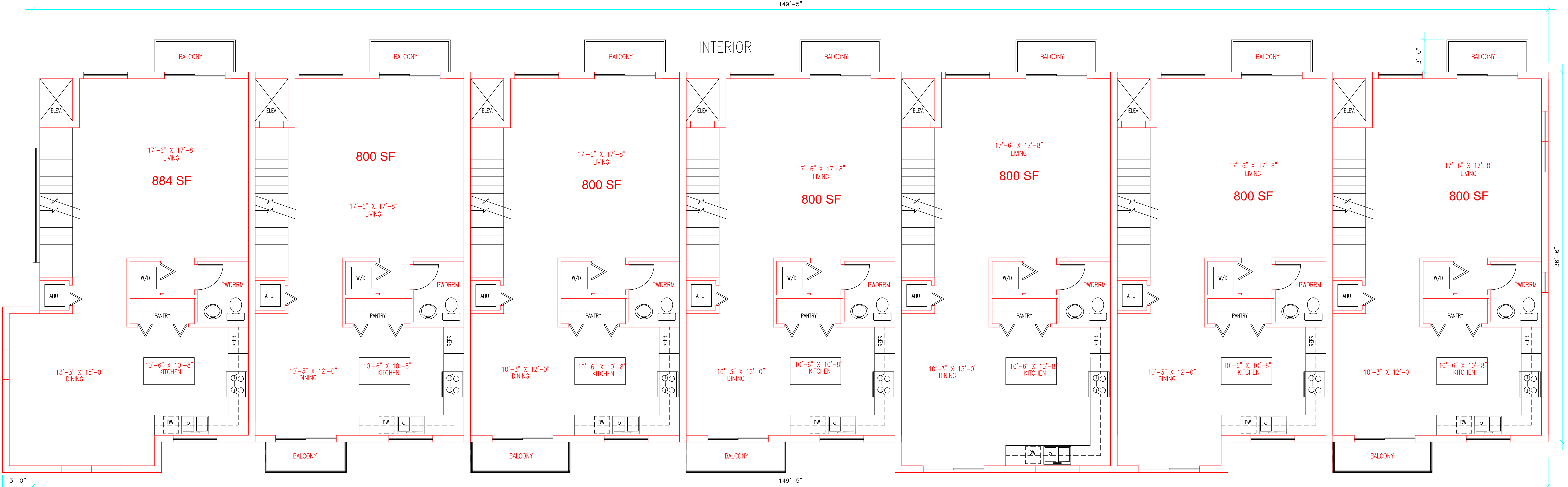
No.	Date	Revision	By

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JOHNSON

**N BUILDING-A
GROUND FLOOR PLAN**
SCALE: 1/4"=1'-0"



JOHNSON

**N BUILDING-A
SECOND FLOOR PLAN**
SCALE: 1/4"=1'-0"

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**14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD ,FLORIDA**

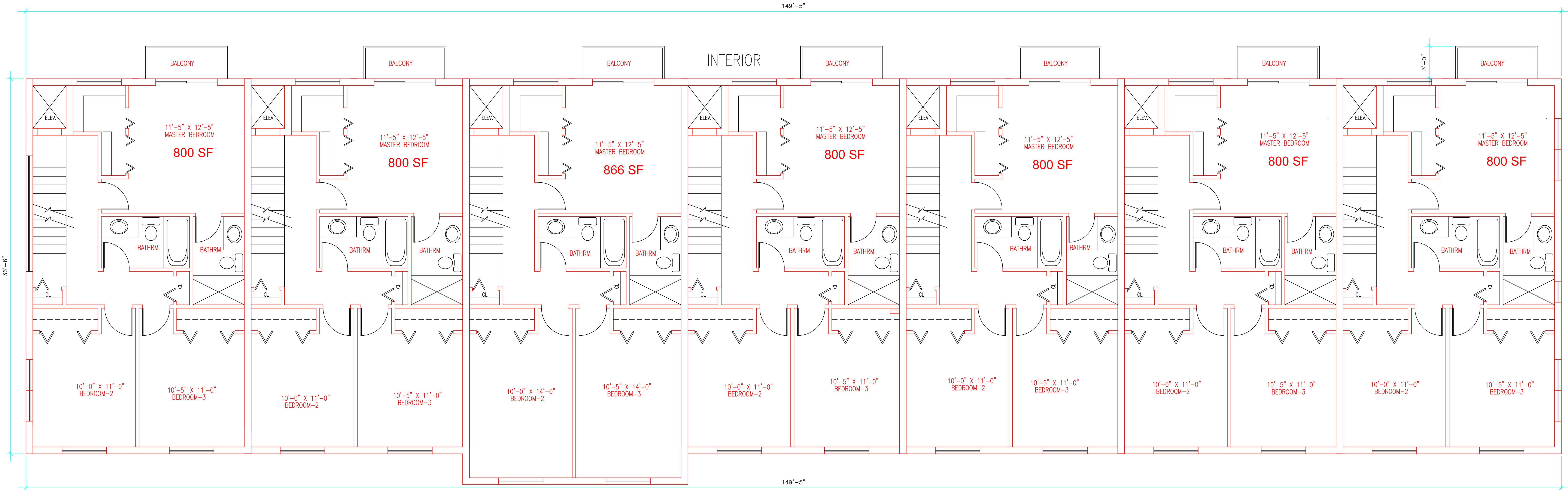
BUILDING-A

Miguel de Diego
ARCHITECT P.A.
AR-13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

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DATE	7-7-2023
COMM. NO.	22-141

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.

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JOHNSON

**BUILDING-A
THIRD FLOOR PLAN**
SCALE: 1/4"=1'-0"

Miguel de Diego
ARCHITECT P.A.

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

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DRAWN _____
DATE 7-7-2023
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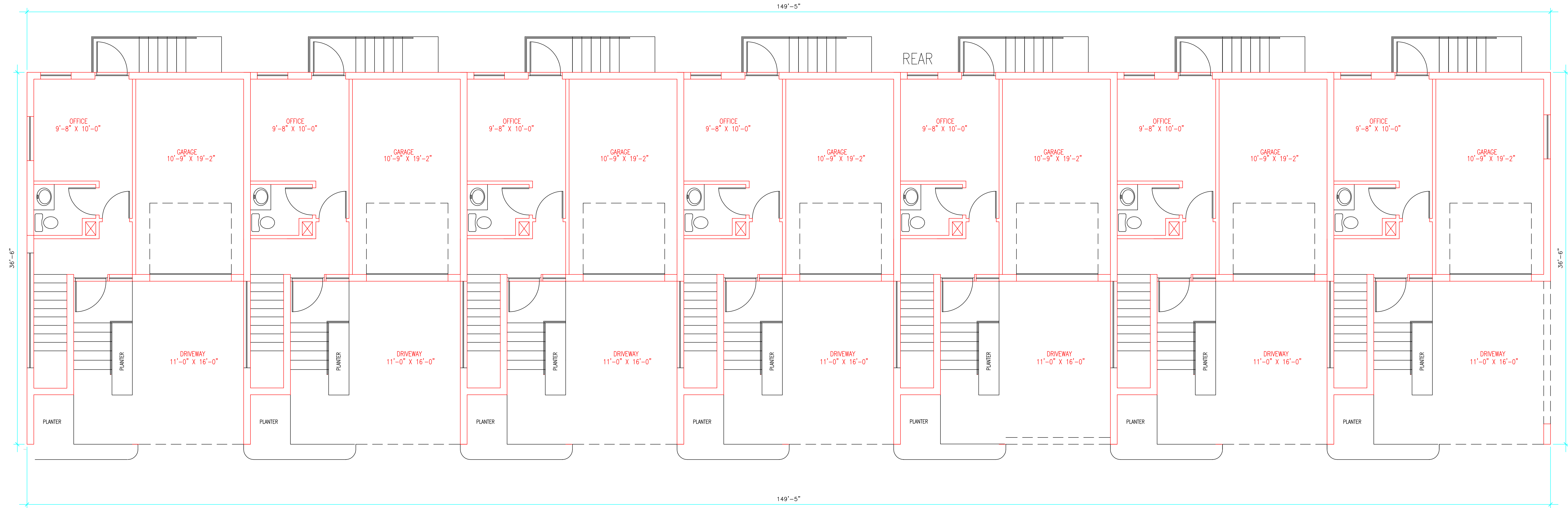
14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD ,FLORIDA
BUILDING-A

No.	Date	Revision	By

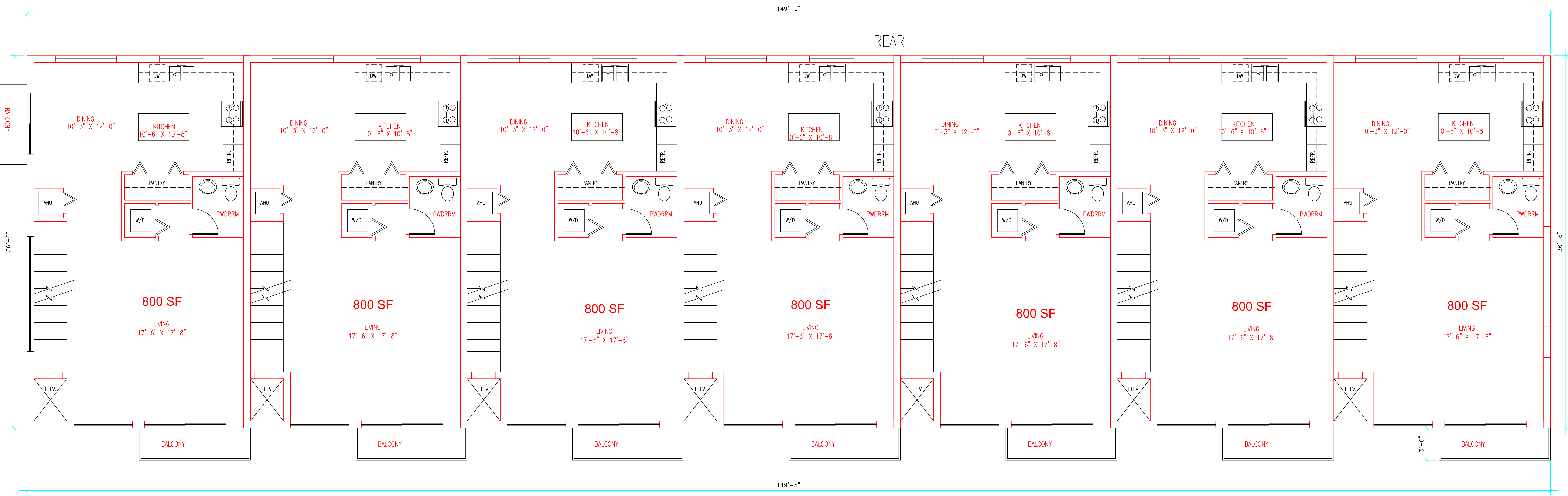
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CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.



**BUILDING-B
GROUND FLOOR PLAN**
SCALE: 1/4"=1'-0"



**BUILDING-B
SECOND FLOOR PLAN**
SCALE: 1/4"=1'-0"

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No.	Date	Revision	By

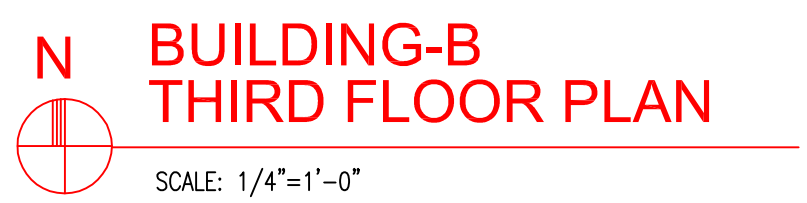
**14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD ,FLORIDA
BUILDING-B**

Miguel de Diego
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DRAWN	
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COMM. NO.	22-141

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14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA
BUILDING-B

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1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
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MATERIAL SCHEDULE

NO	DESCRIPTION
1	CONCRETE LOOK GREY COLOR STUCCO FINISH
2	CHARCOAL TEXTURE
3	WHITE COLOR STUCCO FINISH
4	TAUPE WOOD SLATS
5	RUSTED PERFORATED PANELS

BUILDING A SOUTH ELEVATION

SCALE 1/8"=1'-0"



BUILDING A NORTH ELEVATION

SCALE 1/8"=1'-0"

CODES IN EFFECT
FIRE PREVENTION CODE WITH NFPA 1 & 101 2018 EDITION, NEC 2017
FLORIDA BUILDING CODE 2020, 7TH EDITION, EXISTING BUILDINGS.

ALL DRAWINGS, REVIEWS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ALL OTHER DOCUMENTS ARE THE PROPERTY OF MIGUEL DE DIEGO ARCHITECT P.A. AND SHALL REMAIN THE PROPERTY OF MIGUEL DE DIEGO ARCHITECT P.A. NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF MIGUEL DE DIEGO ARCHITECT P.A. THE ARCHITECT SHALL RETAIN ALL COMMON LAW AND STATUTORY RIGHTS AND OTHER RIGHTS RESERVED BY THE ARCHITECT.

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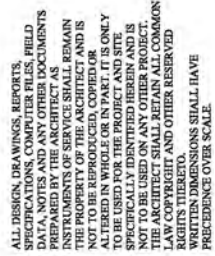
14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA
BUILDING A
North & South Elevations

Miguel de Diego
ARCHITECT P.A.
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1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
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CHECKED
DRAWN
DATE 11-18-2023
COMM. NO. 22-141

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.

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[illegible]

SCALE 1/8"=1'-0"


NO	DESCRIPTION
1	CONCRETE LOOK GREY COLOR STUCCO FINISH
2	CHARCOAL TEXTURE
3	WHITE COLOR STUCCO FINISH
4	TAUPE WOOD SLATS
5	RUSTED PERFORATED PANELS

SCALE 1/8"=1'-0"

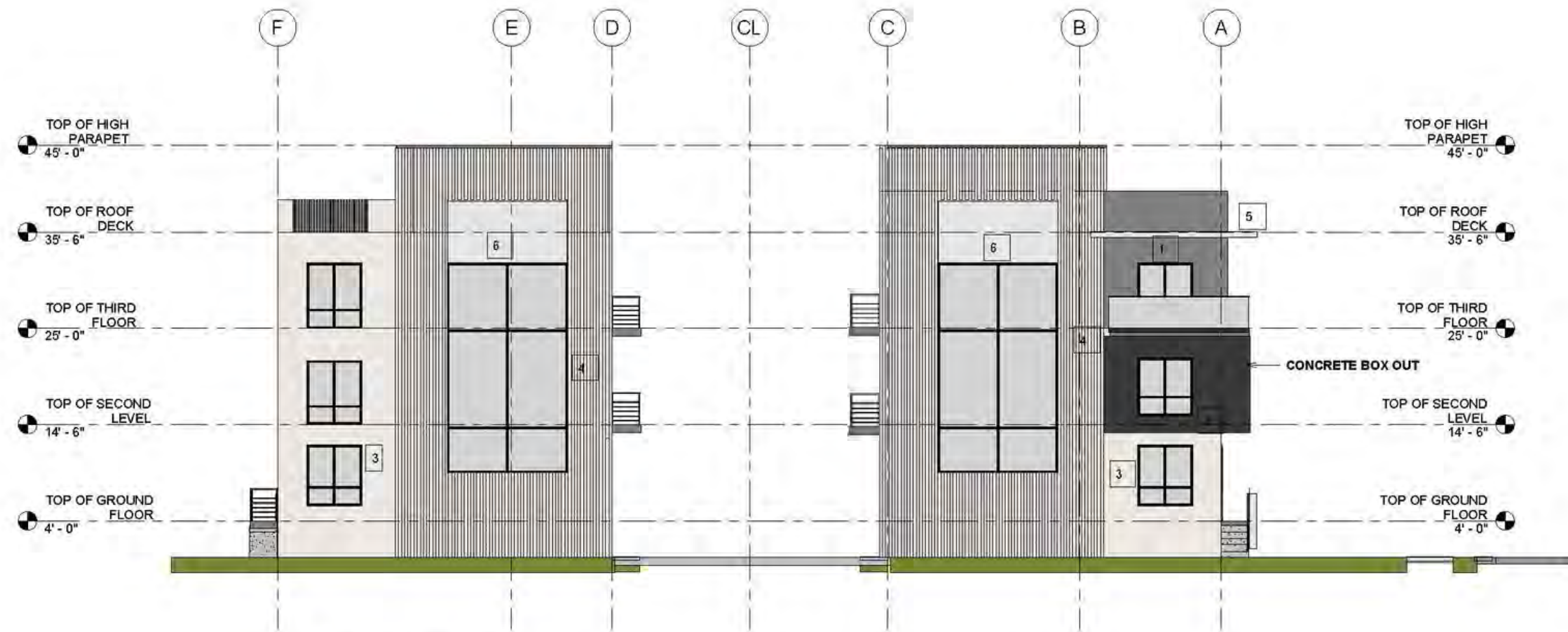
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CODES IN EFFECT:
FIRE PREVENTION CODE WITH NFPA 1 & 101 2018 EDITION, NEC 2017.
FLORIDA BUILDING CODE 2020, 7TH EDITION, EXISTING BUILDINGS.



WEST ELEVATION
SCALE 1/8"=1'-0"



EAST ELEVATION
SCALE 1/8"=1'-0"

CODES IN EFFECT:
FIRE PREVENTION CODE WITH NFPA 1 & 101 2018 EDITION, NEC 2017,
FLORIDA BUILDING CODE 2020, 7TH EDITION, EXISTING BUILDINGS.

ALL DIMENSIONS, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS ARE THE PROPERTY OF MIGUEL DE DIEGO ARCHITECT P.A. AND SHALL REMAIN THE PROPERTY OF MIGUEL DE DIEGO ARCHITECT P.A. NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF MIGUEL DE DIEGO ARCHITECT P.A. THE ARCHITECT SHALL RETAIN ALL COMMON LAW AND STATUTORY RIGHTS AND OTHER RESERVED RIGHTS THEREIN.

No.	Date	Revision	By

14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA
BUILDING A & B
East & West Elevations

Miguel de Diego
ARCHITECT P.A.
AR-13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

CHECKED	
DRAWN	
DATE	11-18-2023
COMM. NO.	22-141

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.

8
9

WEST
N. 19th AVENUE

51'-2"



BUILDING-A
STREET PROFILE

SCALE: 1/8"=1'-0" LOOKING FROM JOHNSON ST

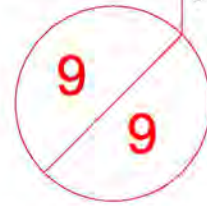
BUILDING-A

14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA

Miguel de Diego
ARCHITECT P.A.

AR-13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
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CHECKED
DRAWN
DATE 7-7-2023
COMM. NO. 22-141



ALL DIMENSIONS, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ALL OTHER DOCUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

GENERAL NOTES AND SPECIFICATIONS:

I. APPLICABLE CODES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF HOLLYWOOD PUBLIC WORKS DEPARTMENT, CITY OF HOLLYWOOD BUILDING DEPARTMENT, BROWARD COUNTY PUBLIC WORKS, FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS AND SPECIFICATIONS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION AND DITCH EXCAVATION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.

3. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM THE BOUNDARY & TOPOGRAPHIC SURVEY BY:

DENI CARNAHAN, INC.,
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: LB # 7707

4. ELEVATIONS SHOWN HEREON RELATE TO NORTH AMERICAN VERTICAL DATUM, N.A.V.D. 1988.

5. PROPOSED ELEVATIONS SHOWN ARE FINISHED GRADES.

6. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.

7. EXISTING STRUCTURES, TREES, UTILITIES, AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.

8. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.

9. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, TRAFFIC LOOPS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.

10. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING, OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

11. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE CITY OF HOLLYWOOD PUBLIC WORKS DEPT. MANUAL, THE BROWARD COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS, THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND THE FLORIDA BUILDING CODE (LATEST EDITIONS), AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS, AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT, AND ALL OTHER DELETERIOUS MATERIAL.

13. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING, OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.

14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.

16. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.

17. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE OWNER AND ENGINEER A CERTIFIED RECORD SURVEY (AS-BUILT) SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.

19. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.

20. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.

21. ANY WELL TO REMAIN SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR.

22. ALL COPIES OF COMPACTION, CONCRETE, AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.

I. PRECONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.

2. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER(S) OF RECORD.

3. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT.

4. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION, AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.

5. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON THE PLANS.

III. TYPICAL ENGINEER OBSERVATIONS AND 3RD PARTY TEST REPORTS REQUIRED

1. TYPICAL ENGINEER OBSERVATIONS: CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

A. SANITARY SEWER SYSTEM – INFILTRATION/EXFILTRATION TEST OF THE NEW SANITARY SEWER COLLECTION SYSTEM UP TO THE POINT OF CONNECTION WITH THE EXISTING SYSTEM, AND INCLUDING ALL NEW SERVICE LATERALS.

B. SANITARY SEWER MAINS – LAMPING OF NEW SANITARY SEWER MAINS BETWEEN ALL NEW MANHOLES UP TO AND INCLUDING THE CONNECTION MANHOLE ON THE EXISTING SYSTEM.

C. POTABLE WATER DISTRIBUTION MAINS:
1) LIVE TAP CONNECTIONS TO EXISTING MAINS
2) PRESSURE TEST IN ACCORDANCE WITH AWWA STANDARD C600

D. STORM DRAINAGE:
1) DRAINAGE WELLS – COMPLETED WELL PUMP TEST
2) DRAINAGE PIPE AND STRUCTURES – PRIOR TO BACKFILL

E. LIMEROCK BASE – PRIOR TO AND DURING PLACEMENT OF LIMEROCK BASE

F. FINISHED PAVEMENT – PRIOR TO PLACEMENT OF ANY FINISHED ASPHALT, CONCRETE, AND/OR BRICK PAVING.

G. SUBSTANTIAL COMPLETION

H. FINAL INSPECTION

REGARDLESS OF WHETHER OR NOT THE ABOVE ARE WITNESSED BY OTHERS, IF THE CONTRACTOR FAILS TO NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR AND THESE ARE COMPLETED WITHOUT THE ENGINEER OF RECORD PRESENT, THE CONTRACTOR SHALL AGAIN EXPOSE THE WORK AND REPEAT ALL TESTS AS REQUESTED BY THE ENGINEER OF RECORD AT NO ADDITIONAL COST TO THE CONTRACT. OTHERWISE, THE ENGINEER OF RECORD RESERVES THE RIGHT TO REFUSE ISSUANCE OF ANY CERTIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND CALLING FOR ANY TESTING AND INSPECTIONS REQUIRED BY CITY, COUNTY, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION OVER THE CONTRACTOR'S WORK.

IV. SHOP DRAWINGS

PRIOR TO FABRICATION OR CONSTRUCTION, SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER OF RECORD FOR REVIEW OF THE FOLLOWING ITEMS, AS APPLICABLE:

1. DRAINAGE:
A. DRAINAGE INLETS, CATCH BASINS, MANHOLES, AND STRUCTURES, INCLUDING TOP/BOTTOM SLABS, FRAMES, GRATES, RIMS, AND POLLUTANT RETARDANT BAFFLES.
B. TRENCH OR SLOT DRAINS INCLUDING CHANNELS, ANCHORS, GRATES, OUTLETS, ETC.
C. DRAINAGE WELL STRUCTURES, CASING, AND GRATES.
D. DRAINAGE PIPE AND FITTINGS.
E. CLEANOUTS

2. WATER DISTRIBUTION:
A. PIPE AND FITTINGS
B. VALVES AND AIR RELEASE VALVES
C. FIRE HYDRANTS
D. BACKFLOW PREVENTION DEVICES
E. METER VAULTS & BOXES
F. TAPPING SLEEVES AND CORPORATION STOPS

3. ASPHALT MIX
A. SUBGRADE AND LIMEROCK BASE SECTIONS TO BE INCLUDED

V. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES
A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.

B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE MAINTENANCE OF TRAFFIC CIRCULATION FOR THE ADJACENT PROPERTY DURING CONSTRUCTION.

C. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

D. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.

2. TRAFFIC REGULATION
A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS, AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH M.U.T.C.D. AND THE CITY OF HOLLYWOOD PUBLIC WORKS DEPARTMENT.

B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS, OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF HOLLYWOOD PUBLIC WORKS DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.

VI. PROJECT CLOSE-OUT

1. CLEANING UP
A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE BROOM CLEAN.

B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT, AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.

C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS, AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.

D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENVIRONMENTAL ENGINEER, MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.

F. IMMEDIATELY PRIOR TO GRAND OPENING, CONTRACTOR IS TO SWEEP ENTIRE SITE, ELIMINATE ALL DEBRIS AND FUMIGATE THE LANDSCAPE AREAS AND PRESSURE CLEAN THE SITE ASPHALT, CURB, SIDEWALKS, AND CONCRETE PADS.

2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH, AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.

B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.

4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

5. REFER TO CITY OF HOLLYWOOD STANDARDS FOR ADDITIONAL CLOSE-OUT REQUIREMENTS.

VII. PAVING

1. GENERAL
A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.

B. ALL EXISTING PAVEMENT CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.

C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAWCUT.

D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF HOLLYWOOD AND BROWARD COUNTY STANDARDS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.

E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONCRETE CURB, CURB & GUTTER, SIDEWALK, AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER, AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.

F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.

VIII. DEWATERING

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. THE CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE. THE CONTRACTOR SHALL PREPARE AND SUBMIT THE NECESSARY PERMIT APPLICATIONS AND SUPPORTING DOCUMENTS IN ORDER TO OBTAIN A DEWATERING PERMIT FROM THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND BROWARD COUNTY ENVIRONMENTAL PROTECTION & GROWTH MANAGEMENT.

ALL DESIGN, DRAWINGS, REPORTS, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ENGINEER. THEY ARE NOT TO BE REPRODUCED, COPIED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER HAS ASSUMED NO LIABILITY FOR ANY DAMAGE TO ANY PERSON OR PROPERTY CAUSED BY THE COMMON RIGHTS THEREOF. THE ENGINEER SHALL HAVE PRESENT OVER SCALE.

By	Revision	Date	No.

14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD ,FLORIDA
BUILDING-A

Miguel de Diego
ARCHITECT P.A.
AA-26001641
1637 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH (954) 926-3358

CHECKED	
DRAWN	
DATE	6-19-2023
COMM. NO.	22-141

C-1



EA3 CIVIL ENGINEERING, INC.
9050 PINES BLVD., STE. 415-415
PEMBROKE PINES, FLORIDA 33024
OFFICE: 754.777.7993
WWW.EA3CIVIL.COM

CA NO. 32522
PE NO. 82291
ERIC ARENCIBIA, P.E.

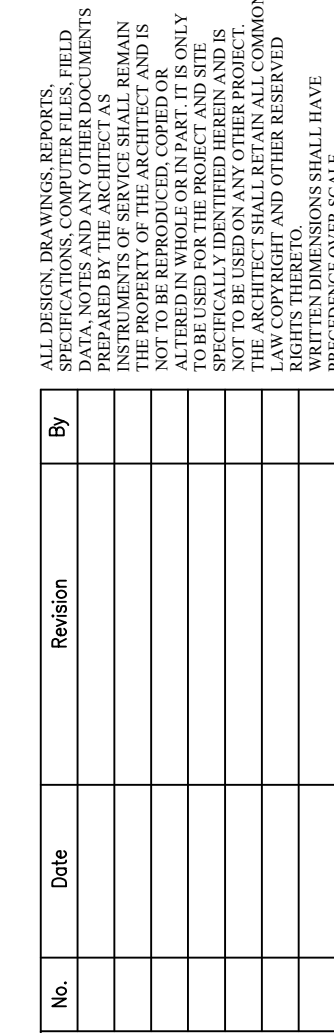


Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.

	CENTER LINE	
	RIGHT-OF-WAY	
	PROPERTY LINE	
	EXISTING GRADE ELEVATION (NAVD '88)	
	PROP. GRADE ELEVATION (NAVD '88)	
	PROP. STORM DRAINAGE STRUCTURE	
	PROP. CONCRETE	
	PROPOSED 2" MILLING & RESURFACING	
	PAVEMENT RESTORATION	

1. CONCRETE SHALL HAVE MINIMUM STRENGTH 3,000 PSI.
2. RAINFALL RUNOFF SHALL BE RETAINED ON-SITE.
3. PERIMETER BERM SHALL HAVE MINIMUM ELEVATION 6" ABOVE ADJACENT GRADE.
4. ELEVATIONS HEREON RELATE TO NORTH AMERICAN VERTICAL DATUM, N.A.V.D. 1988.
5. ALL ALLEYS AND STREETS ABUTTING THE PROPERTY ARE TO BE MILLED AND RESURFACED.
6. ANY LIP FROM 1/4" BUT NOT GREATER THAN 1/2" WILL BE BEVELED TO MEET ADA REQUIREMENTS. IDENTIFY ANY ELEVATION DIFFERENCES OF SLOPES FROM THE SIDEWALK TO THE ENTRANCE(S) OF THE BUILDING. IF THERE IS NO ELEVATION DIFFERENCE IDENTIFY THE TRANSITION AS FLUSH.



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VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.

CHECKED _____
DRAWN _____
DATE 6-19-2023
COMM. NO. 22-141

C-2

Sunshine811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig.

DRAINAGE CALCULATION:

EXISTING CONDITIONS:
SITE AREA = 27,571 SF
PERVIOUS AREA = 20,575 SF (74.6%)
IMPERVIOUS AREA = 6,996 SF (25.4%)

PROPOSED SITE DISTRIBUTION:
SITE AREA = 23,031 SF
PERVIOUS AREA = 5,638 SF (24.5%)
IMPERVIOUS AREA = 17,393 SF (75.5%)

REQUIRED STORAGE:
RAINFALL AMOUNT (P) = 3.3 INCHES (5-yr/1-hr)
COMPACTED SOIL STORAGE = 6.75" (SFWMD, FLATWOODS)

EXISTING CONDITIONS:
S=(PERVIOUS/SITE)*(COMPACTED SOIL STORAGE)=
=(20,575/27,571)*(6.75)= 5.04"
S(EXIST.) = 5.04"
RUNOFF(R)=(P-0.2S)^2/(P+0.8S) = 0.72"
VOLUME OF RUNOFF(V)= A*R/12
= 27,571*0.72/12
= 1654 CF

PROPOSED CONDITIONS:
S=(PERVIOUS/SITE)*(COMPACTED SOIL STORAGE)=
=(5,638/23,031)*(6.75)= 1.65"
S(PROP.) = 1.65"
RUNOFF(R)=(P-0.2S)^2/(P+0.8S) = 1.91"
VOLUME OF RUNOFF(V)= A*R/12
= 23,031*1.91/12
= 3666 CF

QUANTITY 3666 CF - 1654 CF = 2011 CF
WATER QUALITY 1.0 IN. x 23,031 SF / 12in/ft = 1919 CF
SITE AREA FOR WQ: 23,031 SF - 11,085 SF(roof)= 11,946 SF
IMPERVIOUS AREA WQ: 11,946 SF = 6,527 SF = 5,419 SF
2.5 IN. x 45.4% (PERCENT IMPERVIOUS WQ) = 1.135 IN.
1.135 IN. x 23,031 SF (SITE AREA)/ 12in/ft = 2178 CF

PROP. DRY-RETENTION SWALE VOLUME:

SWALE AREA #1: (249 SF + 135 SF)/2 x 0.5' = 96 CF

SWALE AREA #2: (270 SF + 160 SF)/2 x 0.5' = 108 CF

SWALE AREA #3: (7.7'x0.5')/2 x 190' = 366 CF

TOTAL DRY-RETENTION STORAGE: 570 CF

MIN. VOLUME REQUIRED FOR EXFILTRATION TRENCH:
2178 CF - 570 CF = 1608 CF

1608 CF = 0.0369 AC-FT = 0.4428 AC-IN = Vwq

$$L1 = \frac{FS\%WQ \cdot Vwq}{K(H2 \cdot W + 2 \cdot Heff \cdot Du - Du^2 + 2 \cdot Heff \cdot Ds) + 0.000139 \cdot W \cdot Du}$$

$$L2 = \frac{FS\%WQ \cdot Vwq}{K(2 \cdot Heff \cdot Du - Du^2 + 2 \cdot Heff \cdot Ds) + 0.000139 \cdot W \cdot Du}$$

K = 0.000194, AS PER GEOTECHNICAL REPORT DATED 07/28/2022

FS = 2 H2 = 5.20'

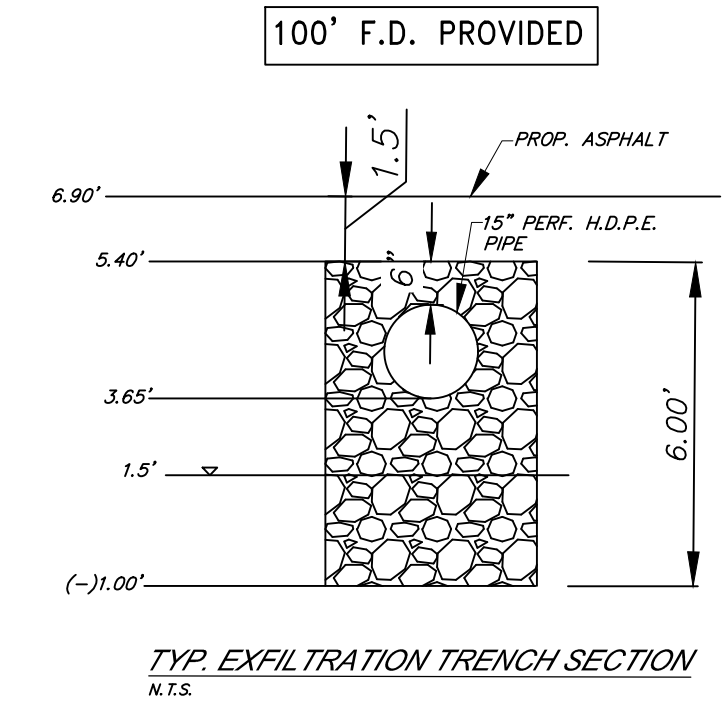
%WQ = 0.5 Du = 3.7'

Heff = 3.25' Ds = 2.3'

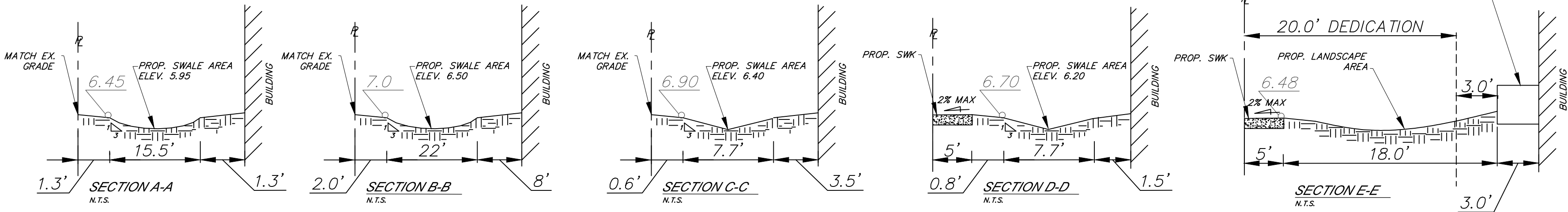
W = 3.00' TRENCH HEIGHT = 6'

L1 = 46.7' → 47' REQUIRED Du > Ds

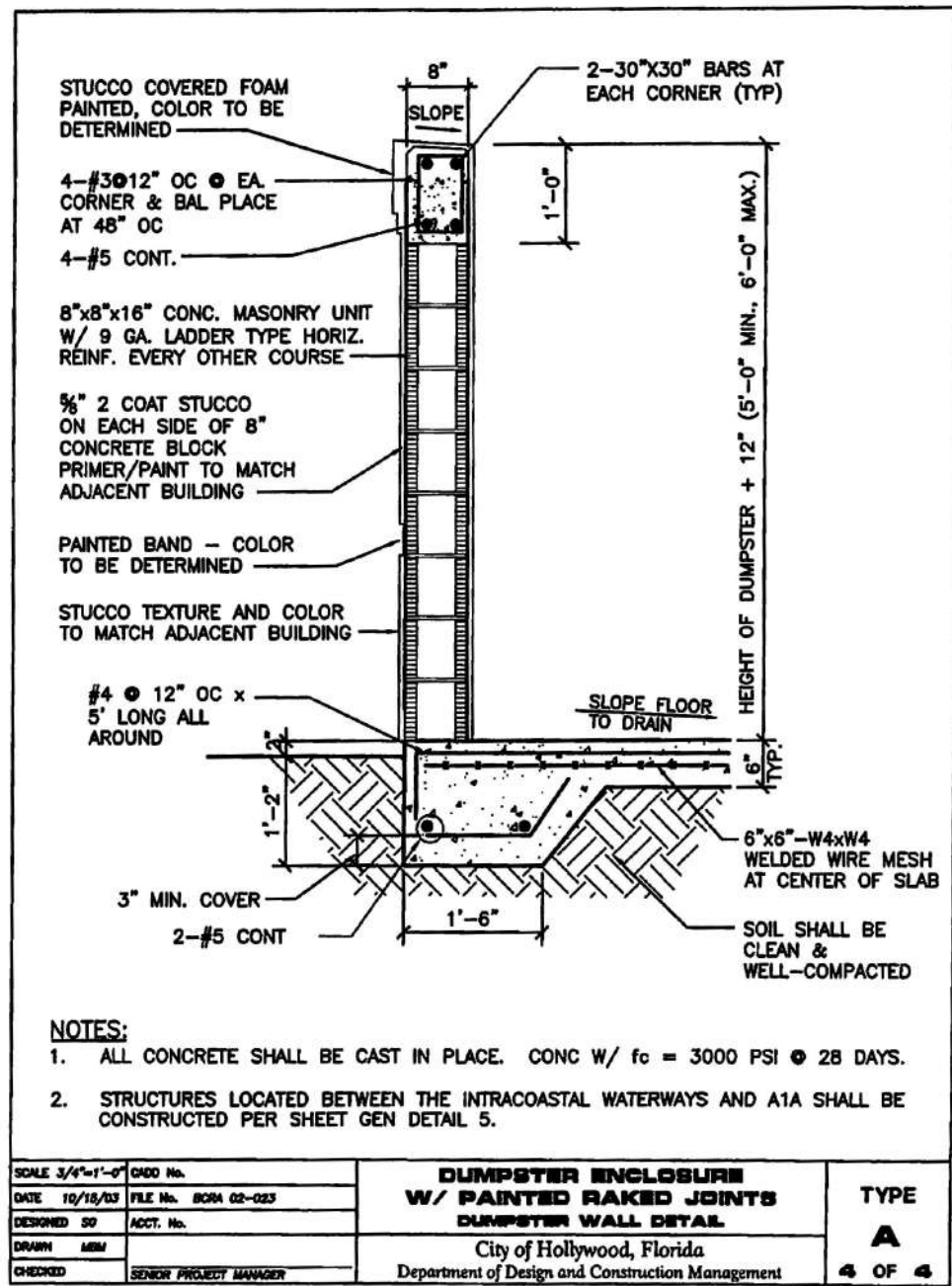
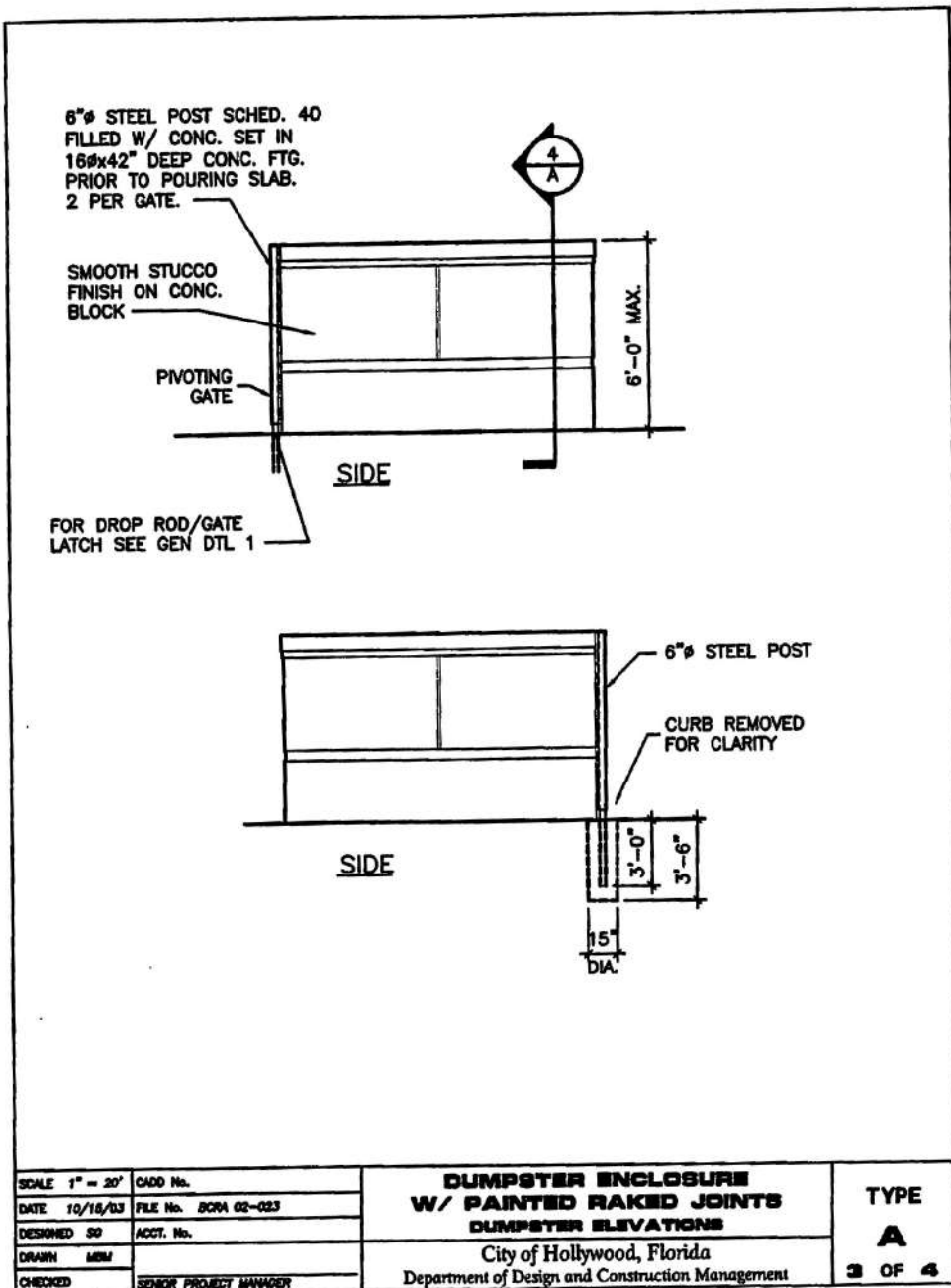
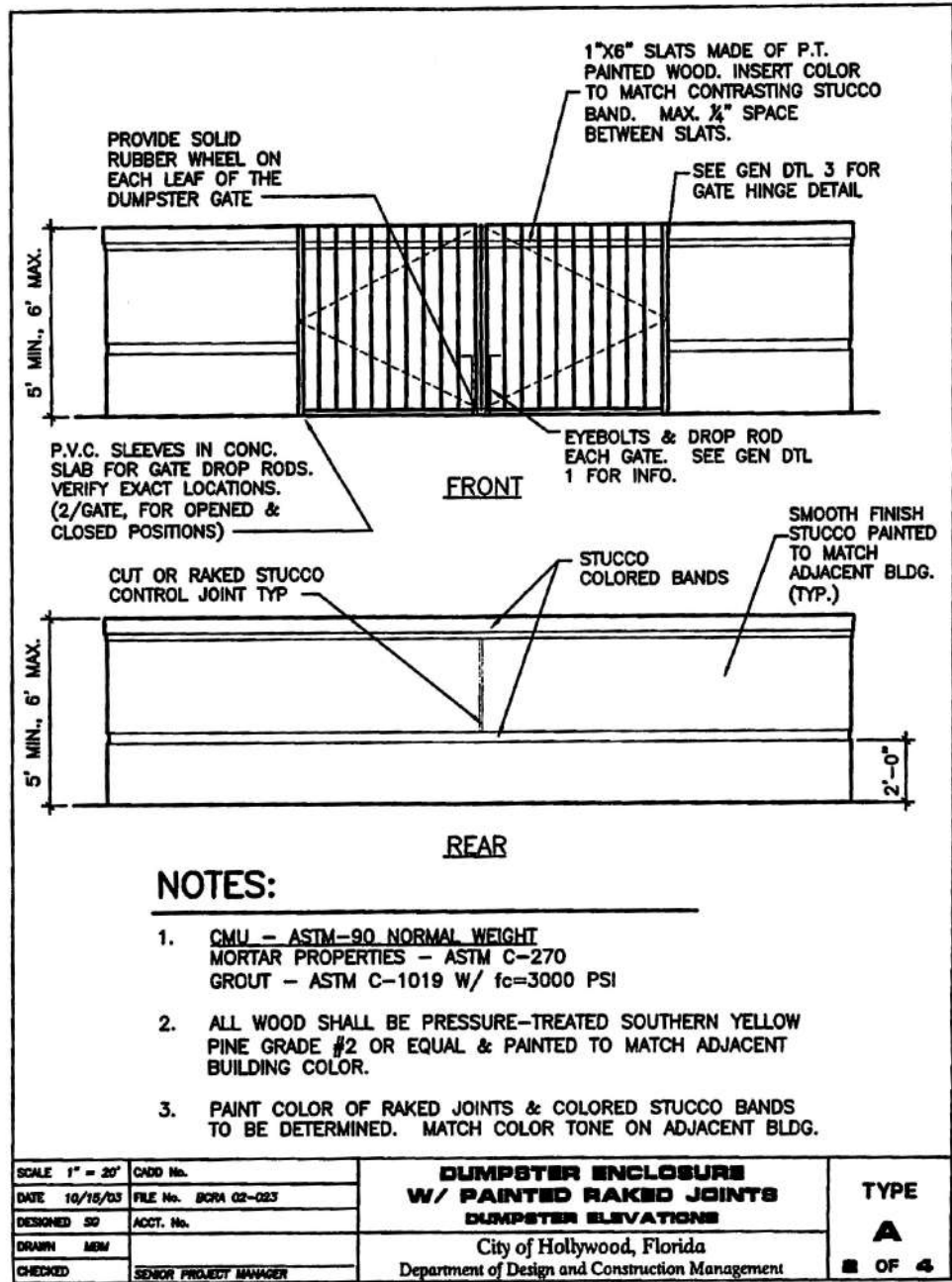
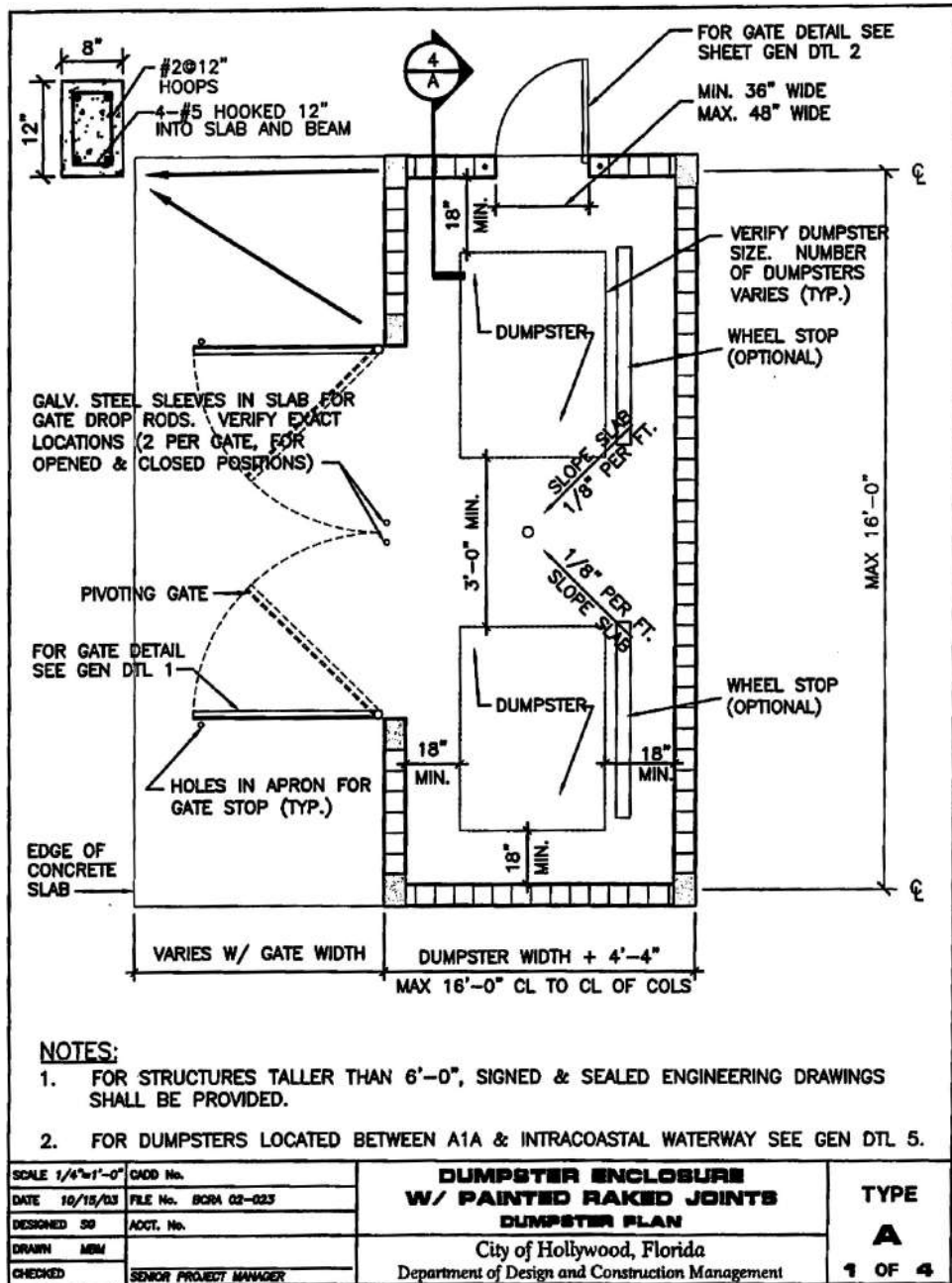
L2 = 68.6' → 69'



STRUCTURE NO.	STRUCTURE DIAMETER	RIM EL.	INVERT EL.	BOTTOM EL.	FRAME & GRATE (USF)
S-1	5'	6.90'	3.65' (E) 4.40' (N,S)	1.65'	4105 & 6224
S-2	5'	8.00'	3.65' (W) 4.40' (N,S)	1.65'	4105 & 6224



PAVING, GRADING, & DRAINAGE -DETAILS & CROSS SECTIONS



DUMPSTER ENCLOSURE -DETAILS

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Revision	
Date	
No.	

14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA
BUILDING-A

Miguel de Diego
ARCHITECT P.A.
AA-26001641
1657 TYLER STREET, SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

CHECKED
DRAWN
DATE 6-19-2023
COMM. NO. 22-141

C-2.1

LEGEND

--- CENTER LINE
--- RIGHT-OF-WAY
--- PROPERTY LINE

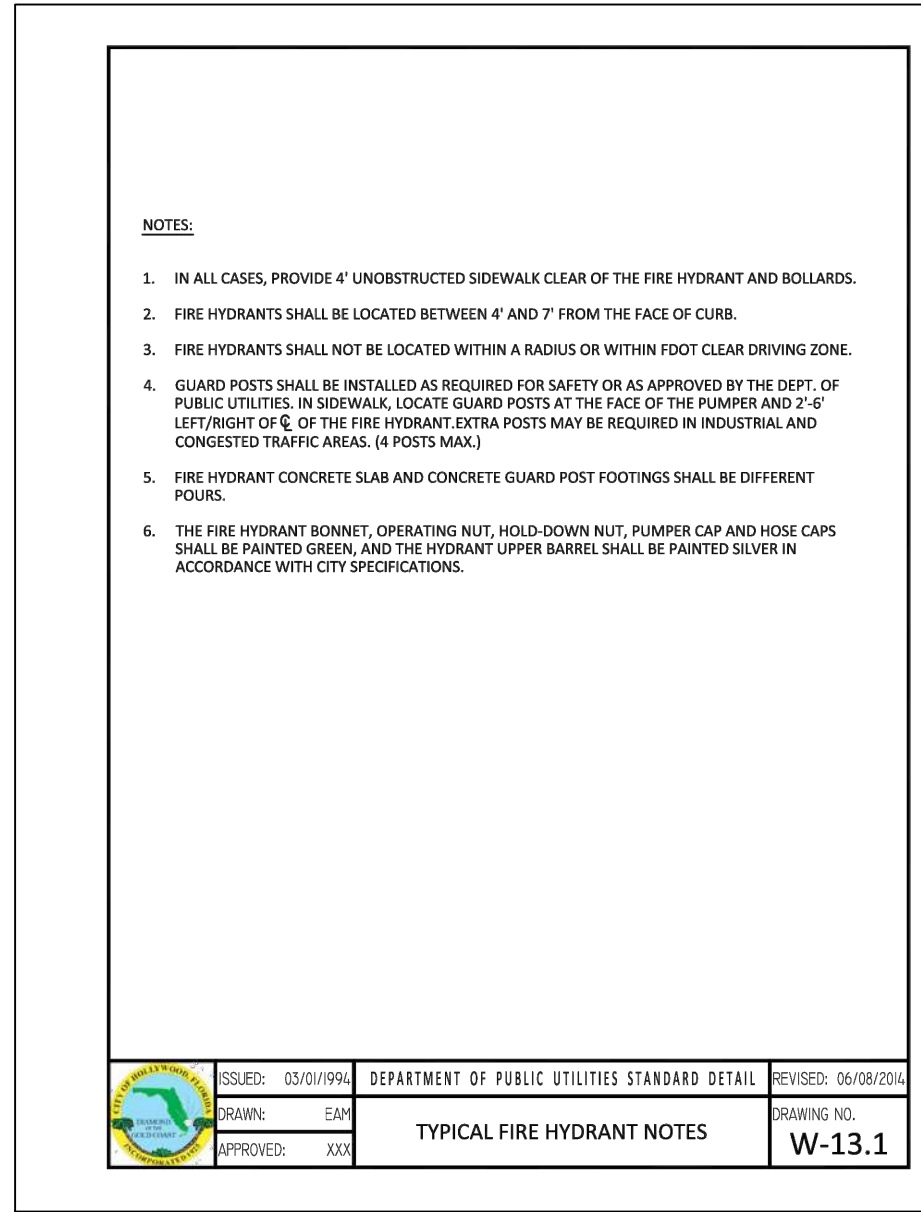
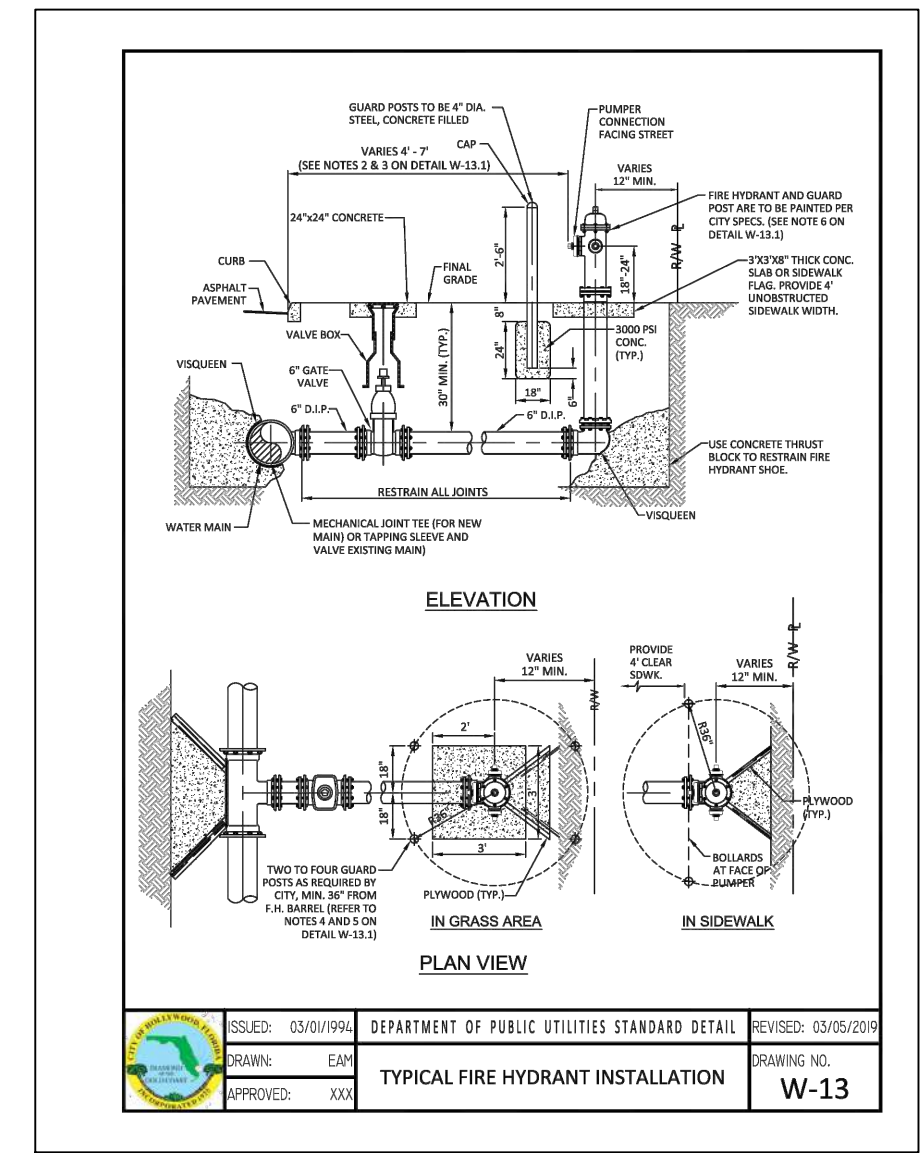
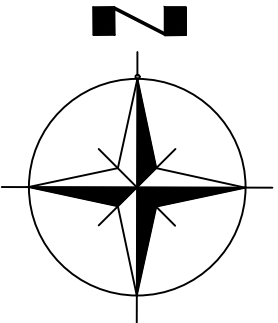
EXISTING GRADE ELEVATION (NAVD '88)

PROP. STORM DRAINAGE STRUCTURE

PROPOSED WATER/SEWER MAIN
EXISTING WATER/SEWER MAIN
EXISTING / PROPOSED WATER VALVE

NOTES

1. MINIMUM SLOPE FOR 6" PVC SANITARY SEWER LATERAL SHALL BE 1.0%.
2. ALL UNDERGROUND FIRE MAIN WORK MUST BE COMPLETED BY FIRE PROTECTION CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS 633.102.



FIRE FLOW CALCULATION:

TWO (2) RESIDENTIAL TOWNHOME BUILDINGS, WITH A TOTAL GROUND FLOOR SQUARE FOOTAGE OF 10,910 SF.
THE BUILDINGS ARE NON-COMBUSTIBLE CONSTRUCTION (TYPE I).

FIRE FLOW AREA=10,908 SF
BASED ON TYPE I CONSTRUCTION. PER NFPA 18.4.4.1 FIRE FLOW AREA, THE FIRE FLOW AREA IS BASED ON THE TOTAL SQUARE FOOTAGE OF THE TWO (2) THREE STORY BUILDINGS, WHICH IS 32,730 SQUARE FEET.

PER TABLE 18.4.5.2.1, FIRE FLOW REQUIRED IS 2,000 GPM FOR 2 HOURS.

NFPA 18.4.5.3.2 STATES THAT THE REQUIRED FIRE FLOW CAN BE REDUCED BY 75% IF THE BUILDINGS HAVE AUTOMATIC SPRINKLERS.

2,000 GPM X 75% = 1,500 GPM (FIRE FLOW CREDIT)

2,000 GPM - 1,500 GPM = 500 GPM

THE MINIMUM FIRE FLOW PER NFPA 18.4.5.3.2 IS 1,000 GPM

REQUIRED FIRE FLOW = 1,000 GPM

PER THE FIRE HYDRANT FLOW TEST DATED 01/10/2024 (TIME: 2:00 PM)
THE MEASURED FLOW RATE WAS 1,060 GPM (IN ALL CASES)

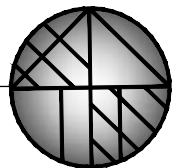
1,060 GPM > 1,000 GPM

WATER & SEWER DEMAND CALCULATIONS:

14-UNITS*250 GPD/UNIT = 3,500 GPD FOR WATER & SEWER.

UTILITIES PLAN - PLAN VIEW

SCALE: 1" = 10'-0"



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ARCHITECT P.A.

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14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA

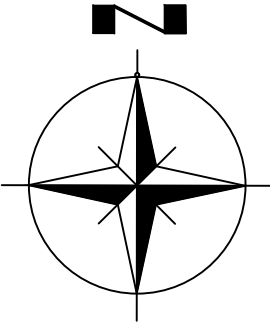
BUILDING-A

By	Revision	Date	No.

ALL DESIGN, OR UNLESS REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD NOTES, OR ANY OTHER INFORMATION PREPARED BY THE ARCHITECT AS PART OF THE DESIGN OF THE PROJECT, THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONICALLY OR MECHANICALLY, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

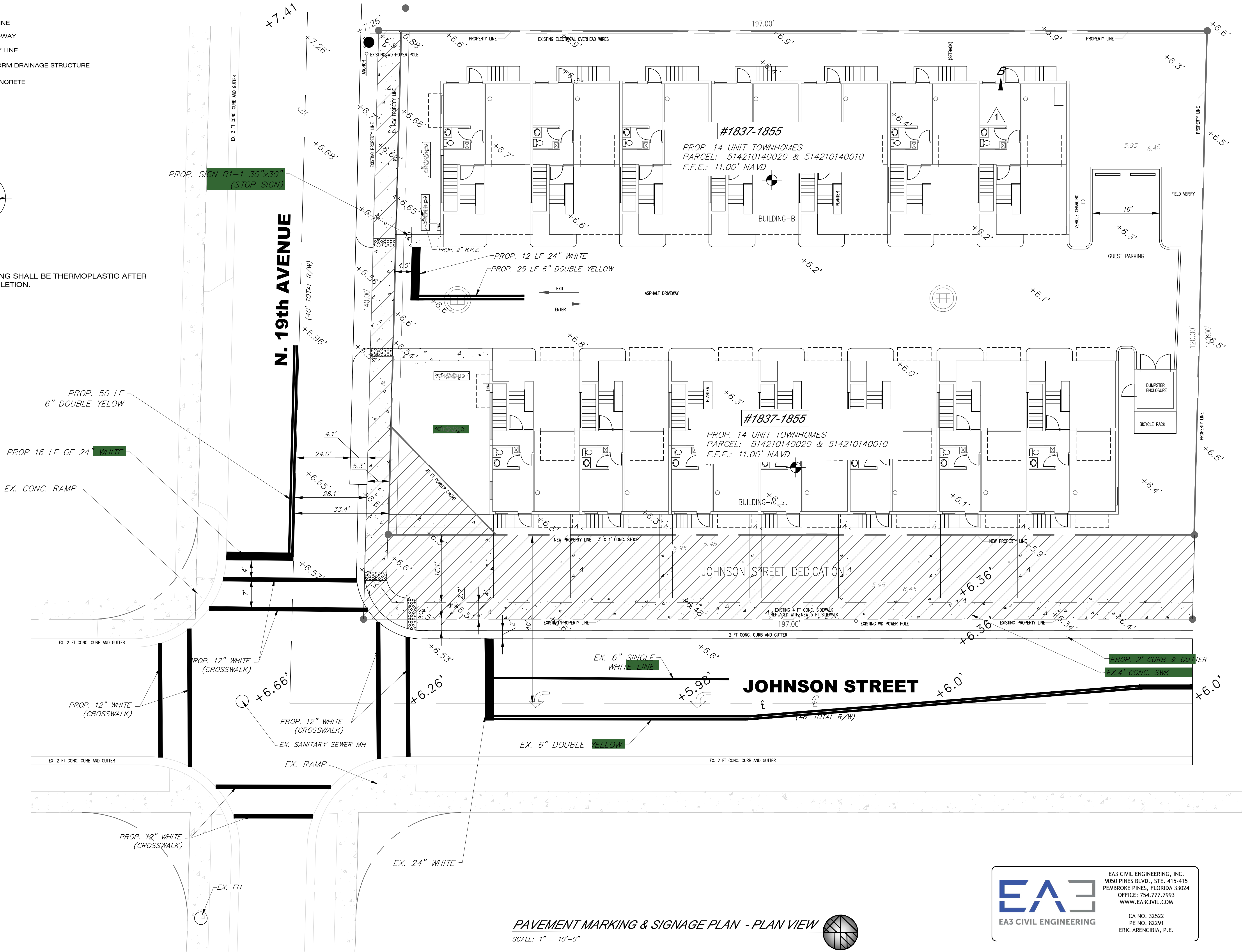
LEGEND

- CENTER LINE
- RIGHT-OF-WAY
- PROPERTY LINE
- PROP. STORM DRAINAGE STRUCTURE
- PROP. CONCRETE



NOTES

- ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC AFTER CONSTRUCTION COMPLETION.



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14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
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DRAWN
DATE 6-19-2023
COMM. NO. 22-141

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.


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C-4


WATER SYSTEM NOTES:

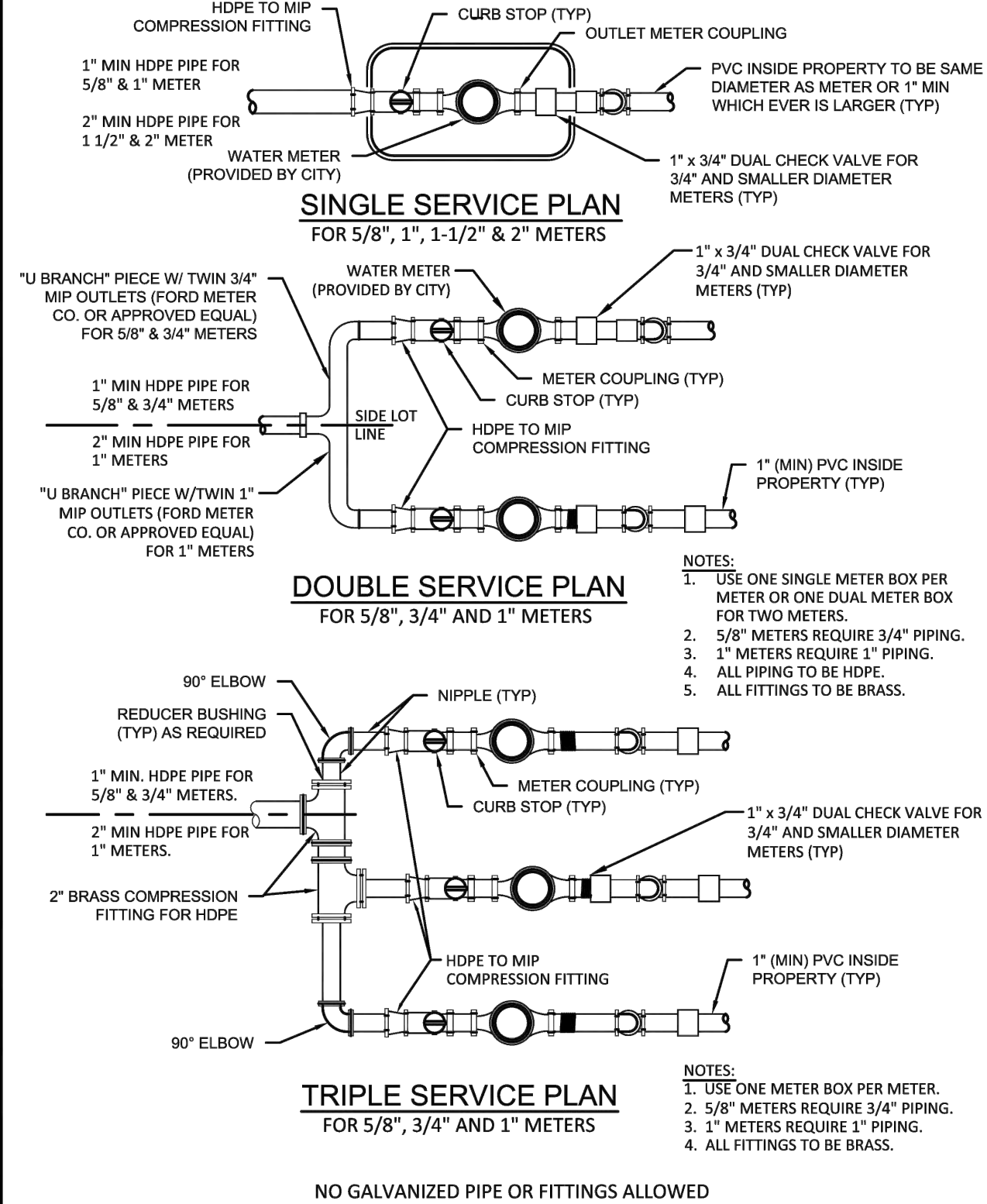
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIANT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
WATER SYSTEM NOTES		DRAWING NO.	W-01

WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
- MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
WATER SYSTEM NOTES		DRAWING NO.	W-02

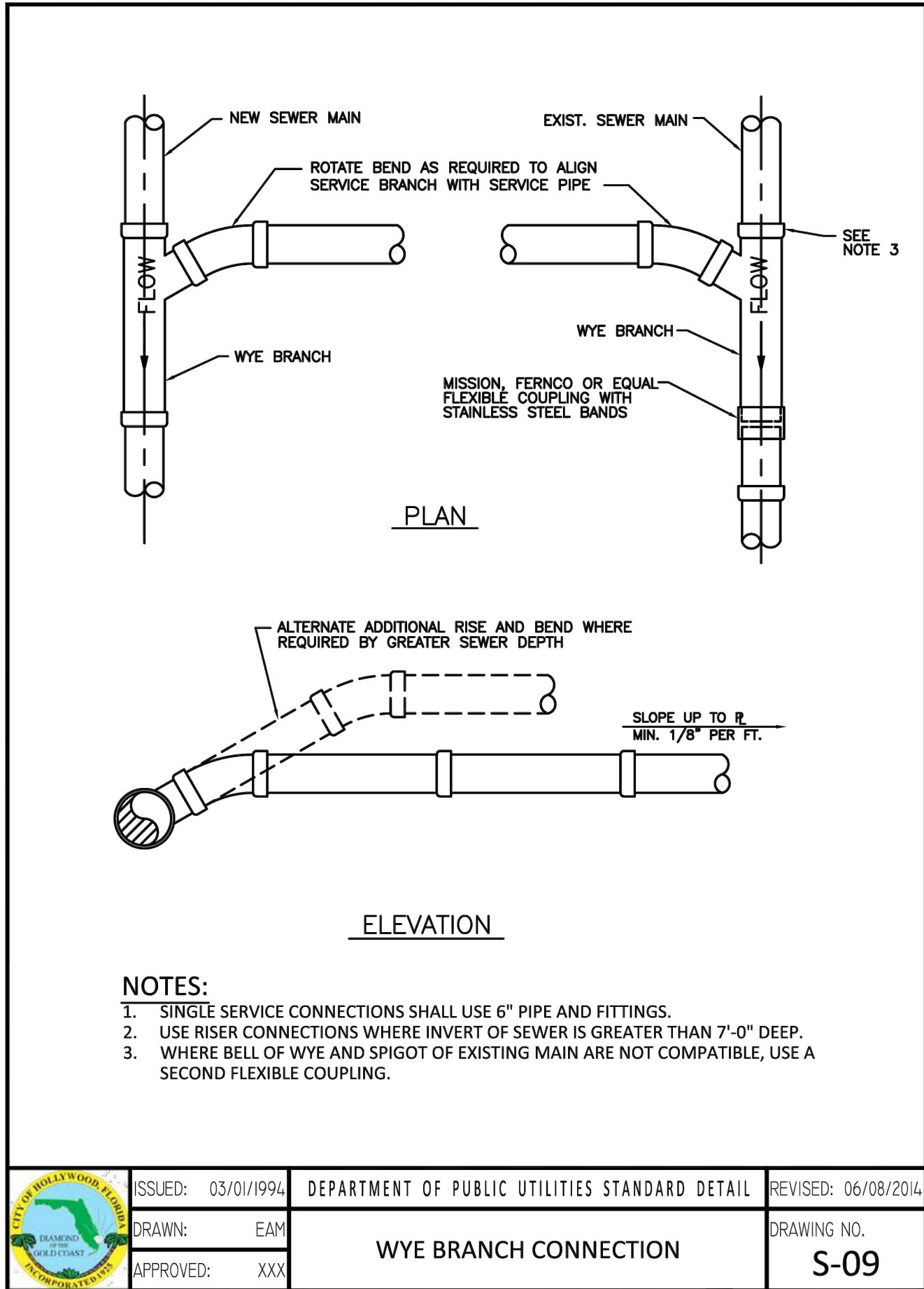
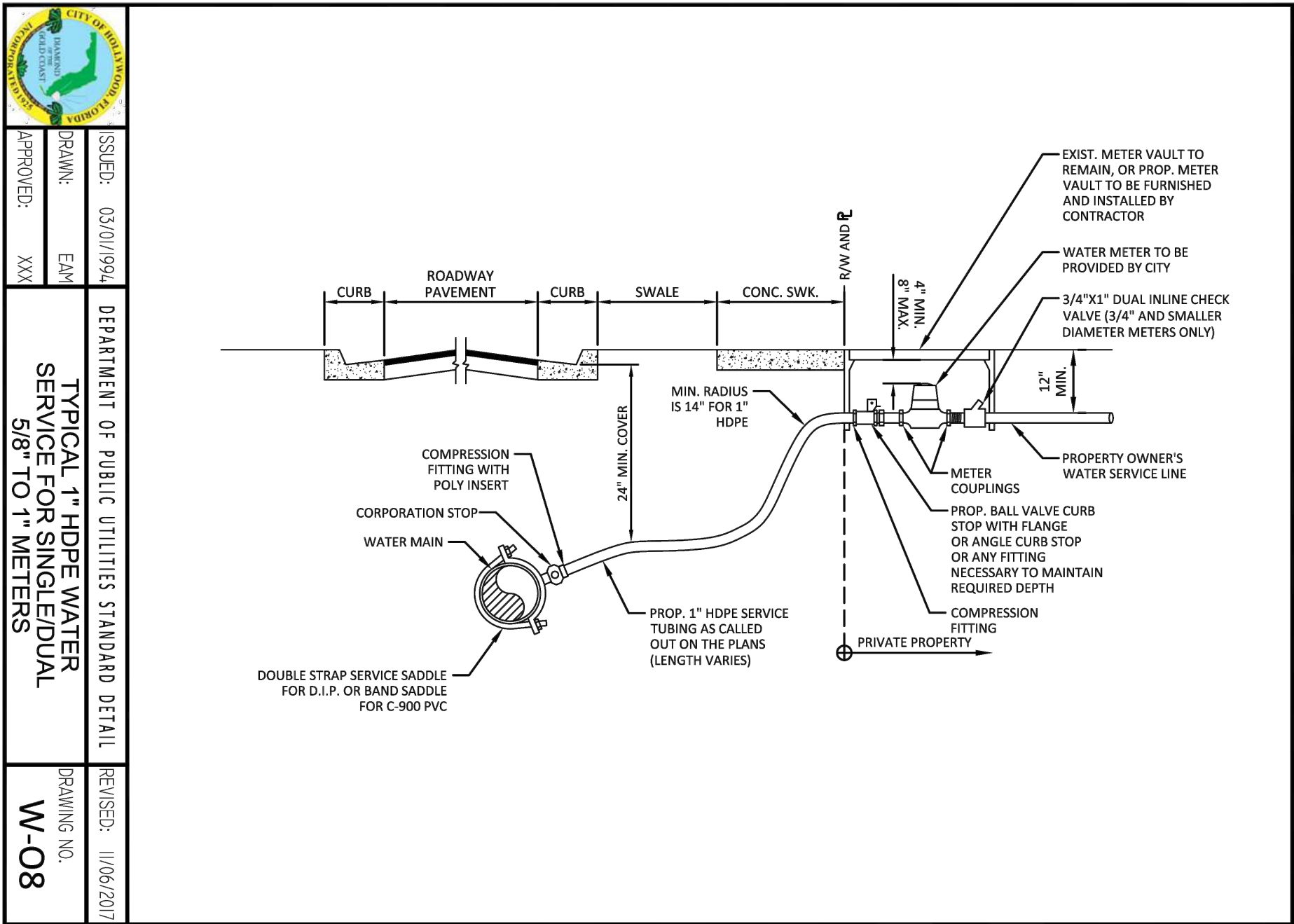



	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION		DRAWING NO.	W-06

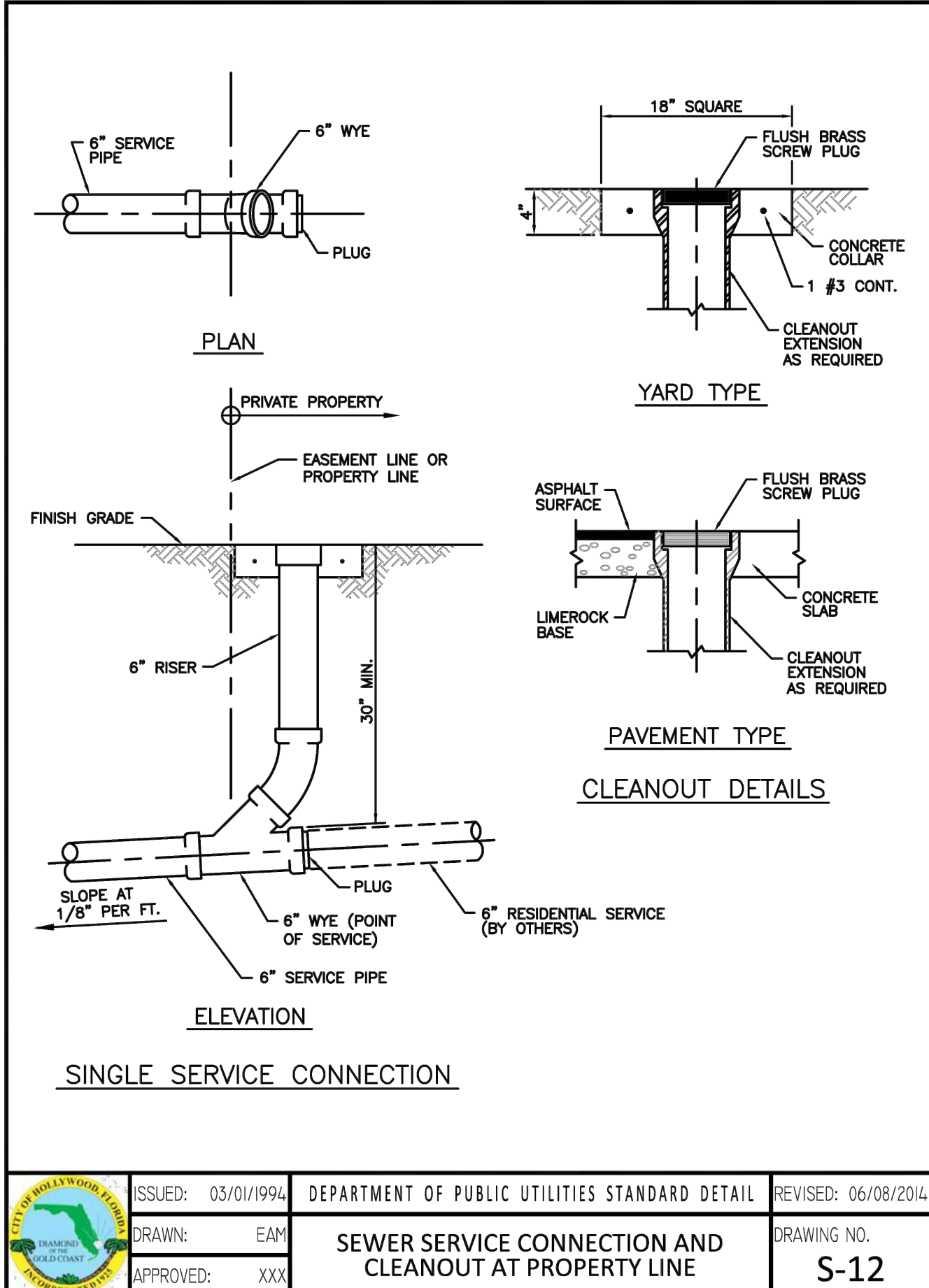
WATER METER SERVICE NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL 3/4" OR SINGLE 1" DIAMETER METERS.
- MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-1/2" OR SINGLE 2" DIAMETER METERS.
- FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
- APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACES), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS		DRAWING NO.	W-07



	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
WYE BRANCH CONNECTION		DRAWING NO.	S-09



	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE		DRAWING NO.	S-12



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PE NO. 82291
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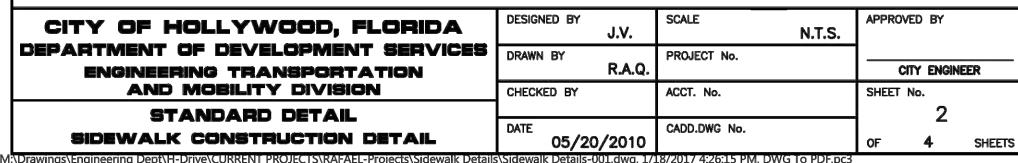
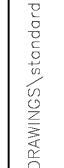
BUILDING-A

Miguel de Diego
ARCHITECT P.A.

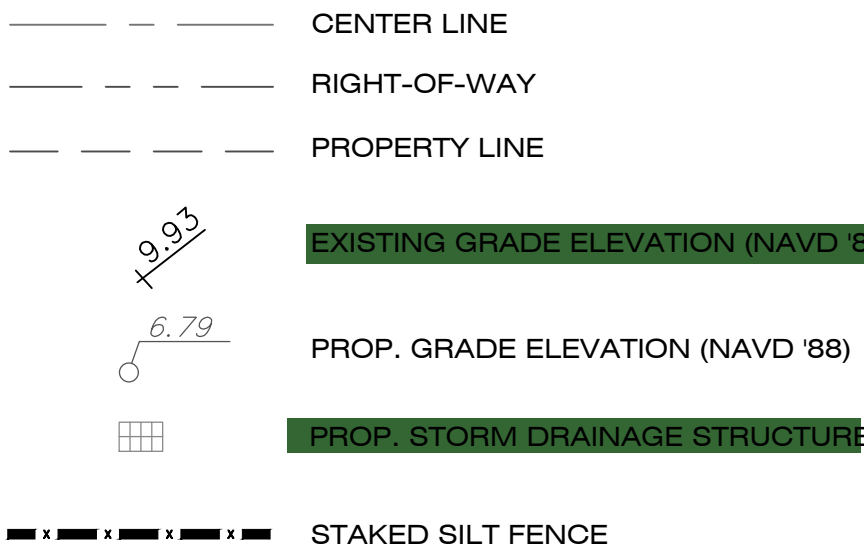
AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

CHECKED	
DRAWN	
DATE	6-19-2023
COMB. NO.	22-141

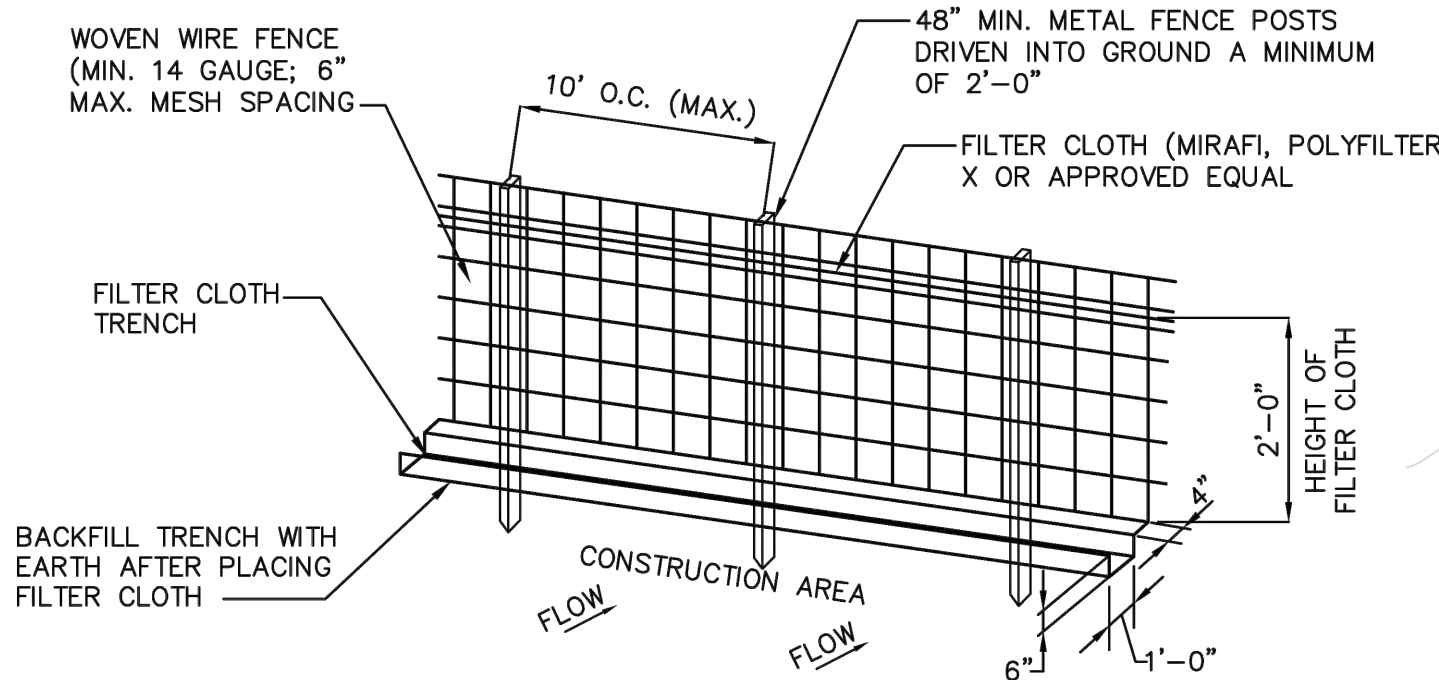
C-5



LEGEND



TEMP. CONSTRUCTION
ENTRANCE
W/ No. 57 STONE
(WASH DOWN AREA WITH ROCK)



CONSTRUCTION SPECIFICATIONS:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS BY USE OF WIRE TIES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE BY USE OF WIRE TIES SPACED EVERY 24" X 24".
3. SILT FENCES TO BE INSTALLED IN LOCATIONS AS SHOWN ON THIS EROSION AND SEDIMENT CONTROL PLAN PRIOR TO BEGINNING OF CONSTRUCTION TO CONTROL SEDIMENT.
4. SILT FENCES TO BE MAINTAINED AND CLEANED AS NECESSARY TO MAINTAIN IN FUNCTIONAL CONDITION.
5. SILT FENCES TO BE REMOVED AND THE AREA TO BE RESTORED TO ITS NATURAL CONDITION WHEN PERMANENT EROSION AND SEDIMENT CONTROL PROCEDURES ARE EFFECTIVE.

SILT FENCE (TYPICAL)
N.T.S.

NOTES:

1. FILTER FABRIC TO BE INSTALLED AT ALL EXISTING DRAINAGE CATCH BASINS WITHIN AND ADJACENT TO THE WORK AREA, AND SHALL BE CLEANED PERIODICALLY OR WHEN DRAINAGE FLOW IS IMPEDED.
2. SECURED SAND BAGS MAY BE USED IN-LIEU OF SILT FENCE WHERE PRACTICAL. SAND BAGS SHALL BE MAINTAINED AND CLEANED AS NECESSARY TO MAINTAIN FUNCTIONAL CONDITION.



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STORMWATER POLLUTION PREVENTION PLAN - PLAN VIEW

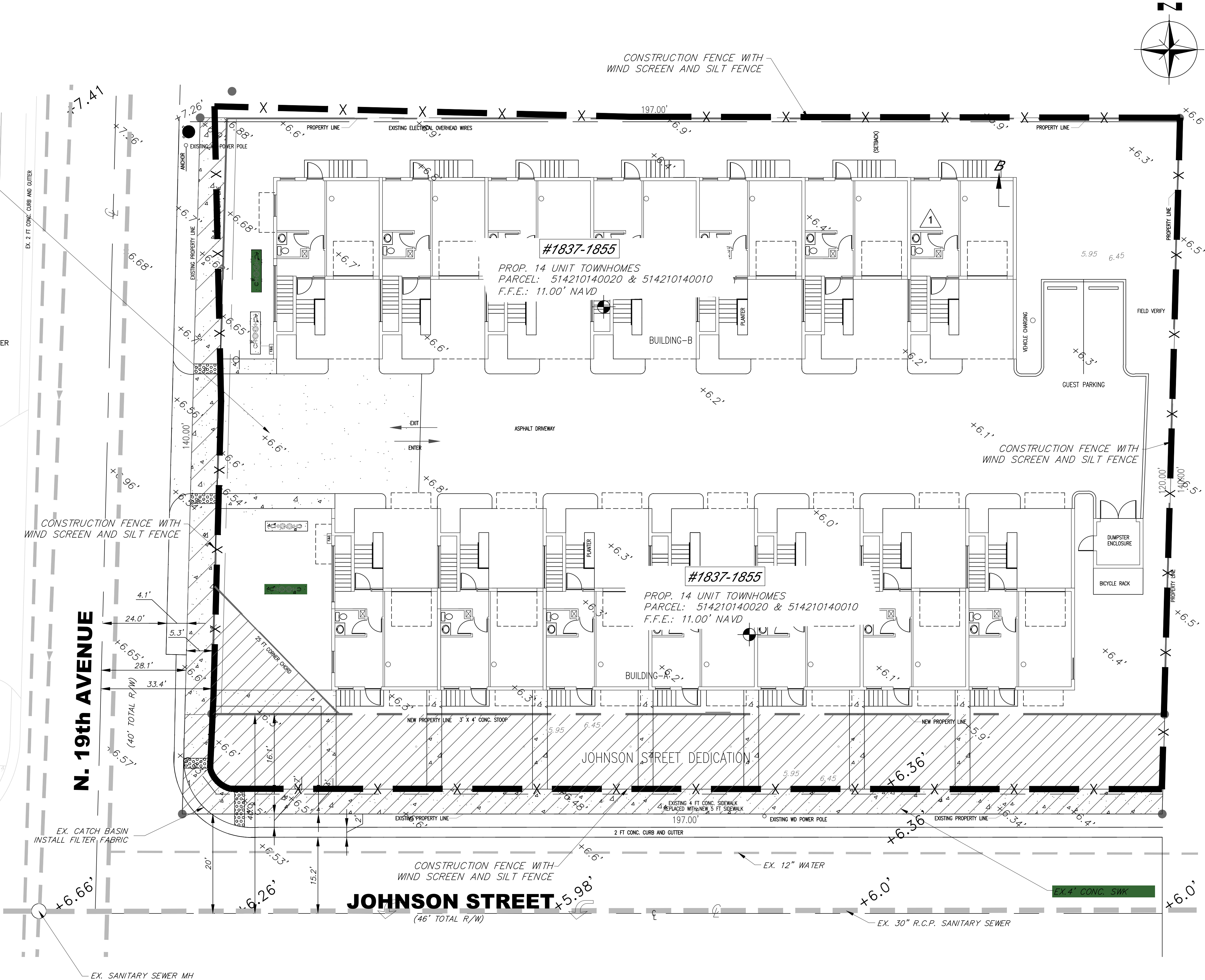
SCALE: 1" = 10'-0"



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BEST MANAGEMENT PRACTICES (BMPs):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF BROWARD COUNTY REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17–25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 400–4, F.A.C., AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 832/R–92–005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

1. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
2. SEDIMENTATION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
3. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS–REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COSTS ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY THE CONTRACTOR), AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. FUEL SPILLS AND LEAKS PREVENTION
 - B. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
 - C. VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR
 - D. PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
 - E. PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY–PRODUCTS
 - F. SOLID WASTE MANAGEMENT
 - G. HAZARDOUS WASTE MANAGEMENT
 - H. CONCRETE WASTE MANAGEMENT
 - I. SANDBLASTING WASTE MANAGEMENT
 - J. STRUCTURE CONSTRUCTION AND PAINTING
 - K. SPILL PREVENTION AND CONTROL
 - L. CONTAMINATED SOIL MANAGEMENT
 - M. SANITARY/SEPTIC WASTE MANAGEMENT
 - N. SOIL EROSION CONTROL
 - O. STORM WATER TURBIDITY MANAGEMENT
4. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

- A. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- B. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- C. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- D. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.
- E. GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE–INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.
- F. ON–SITE & OFF–SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- G. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP’S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORMWATER EROSION CONTROL NOTES:

1. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
2. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
3. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT EROSION.
4. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
5. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 - A. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 - B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
 - C. WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT–LADEN RUNOFF FROM DISTURBED AREAS.
6. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
7. SOD SHALL BE PLACED, IN ACCORDANCE WITH PLANS, FOR A 2–FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
8. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.
9. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

STABILIZATION NOTES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62–621.300(4)(a)

STRUCTURAL NOTES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62–621.300(4)(a)

WASTE DISPOSAL NOTES:

1. WASTE MATERIALS – ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
2. HAZARDOUS WASTE – HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
3. SANITARY WASTE – SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
4. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

MAINTENANCE NOTES:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. THE COMPOST SOCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE–THIRD THE HEIGHT OF THE COMPOST SOCK.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS–OF–WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING, AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION. DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
8. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON–SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
9. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
10. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
11. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE–HALF THE HEIGHT OF THE SILT FENCE.

OFF–SITE TRACKING:

1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFF–SITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPULIN.
2. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE DRAIN DIKES, HAY BALES, OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE, OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURENCE.
3. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
4. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
5. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

1. GOOD HOUSEKEEPING
 - A. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
 - B. STORE ONLY ENOUGH MATERIAL ON–SITE FOR PROJECT COMPLETION.
 - C. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
 - D. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND, IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
 - E. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
 - F. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER’S RECOMMENDATIONS.

2. HAZARDOUS PRODUCTS

- A. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
- B. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

3. PRODUCT SPECIFIC PRACTICES

- A. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON–SITE.
- B. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED, THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- C. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
- D. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CLEANUP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

1. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
2. THE FOLLOWING CLEANUP EQUIPMENT MUST BE KEPT ON–SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
3. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ONSITE AND READILY AVAILABLE TO CONTAIN AND CLEAN–UP FUEL OR CHEMICAL SPILLS AND LEAKS.
4. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
5. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
6. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
7. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
8. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY–TO–DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

WIND EROSION CONTROL NOTES:

1. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 - A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 - B. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUNDCOVER.
 - C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6–FT GEOTEXTILE FILTER FABRIC SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.
2. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.



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By	Revision	Date	No.

14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA

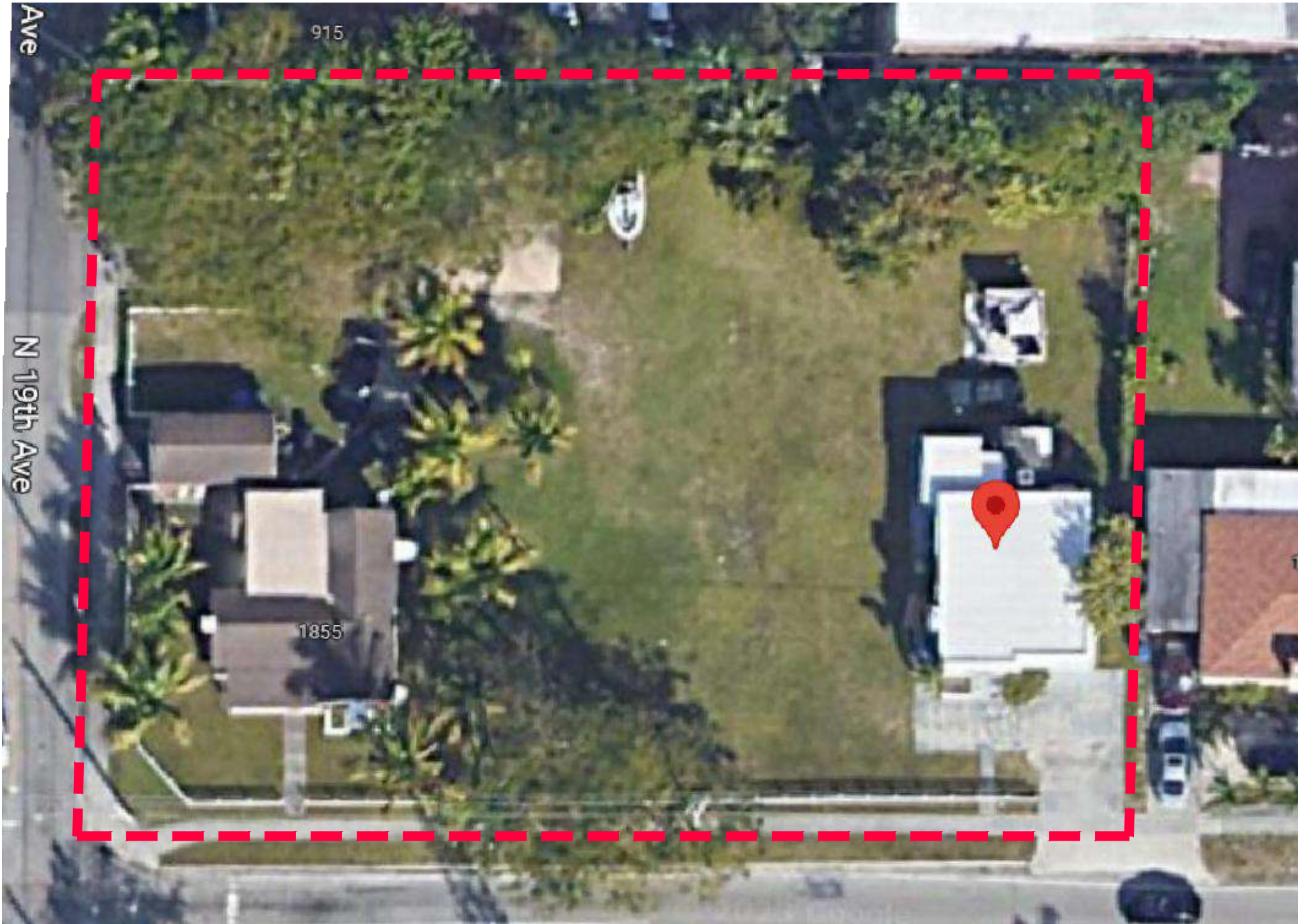
BUILDING-A

Miguel de Diego
ARCHITECT P.A.
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1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

CHECKED
DRAWN
DATE 6-19-2023
CONTR. NO. 22-141

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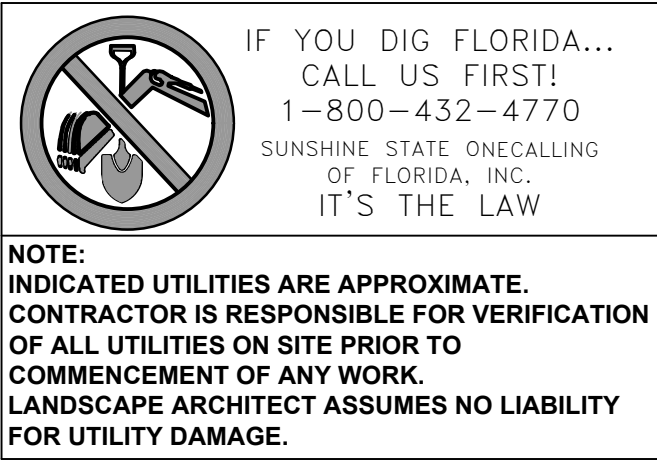
CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.



A LOT SATELLITE IMAGE
not to scale



B LOCATION
not to scale



ARBORIST TO PROVIDE ROOT PRUNING BY HAND AS PER
ANSI A300 STANDARDS FOR TREES TO REMAIN NEAR
BUILDING FOOTPRINT AND ANY OTHER AREA OF WORK.

INSTALL TREE PROTECTION BARRIER TO ALL
PRESERVED AND RELOCATED TREES.

ALL TRANSPLANTED PALMS SHALL BE WATERED
EVERY DAY FOR TWO WEEKS, EVERY OTHER DAY FOR
TWO WEEKS AND ONCE A WEEK FOR TWO WEEKS
AFTER TRANSPLANTING.

CONTRACTOR SHALL DEDICATE A SPACE FOR
TEMPORARY STORAGE FOR PALMS THAT CAN'T BE
RELOCATED TO FINAL DESTINATION OR PRESERVED IN
PLACE UNTIL FINAL RELOCATION

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids. The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head. Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

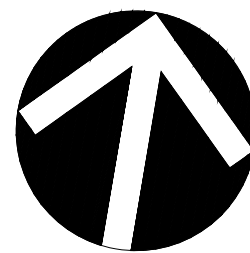


The Mirror of Paradise

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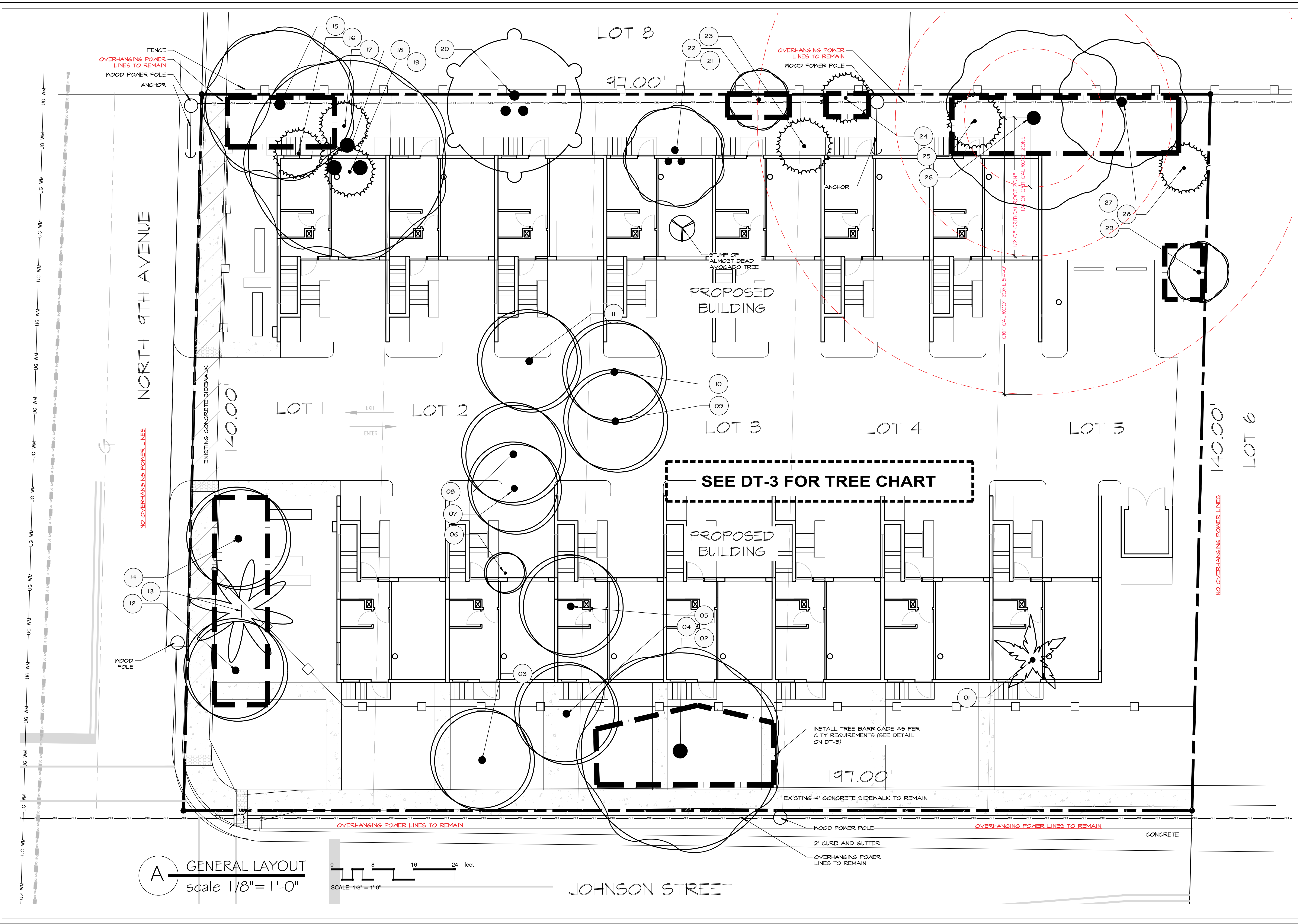


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per City comments	01.29.2024

1837-1855 Johnson St

Hollywood
Florida

SAELLITE IMAGE, LOCATION SKETCH, NOTES



A GENERAL LAYOUT
scale 1/8"=1'-0"

0 8 16 24 feet
SCALE: 1/8"=1'-0"

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1837-1855 Johnson St
Hollywood
Florida

DISPOSITION PLAN

PLANT SCHEDULE							
TREES	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	SPREAD	CONDITION	NOTES
01	Wodyetia bifurcata	Foxtail Palm	-	12` CT		Poor	
02	Delonix regia	Royal Poinciana	22"	22` OA	40`	Fair	
03	Cocos nucifera	Coconut Palm	-	14` CT		Fair	
04	Cocos nucifera	Coconut Palm	-	14` CT		Fair	
05	Cocos nucifera	Coconut Palm	-	14` CT		Poor	curved
06	Cocos nucifera	Coconut Palm	-	6` CT		Very poor	NOT QUALIFYING AS TREE
07	Cocos nucifera	Coconut Palm	-	12` CT		Fair/Good	
08	Cocos nucifera	Coconut Palm	-	12` CT		Good	
09	Cocos nucifera	Coconut Palm	-	10` CT		Good	
10	Cocos nucifera	Coconut Palm	-	10` CT		Very poor	
11	Cocos nucifera	Coconut Palm	-	12` CT		Good	
12	Cocos nucifera	Coconut Palm	-	12` CT		Fair/Good	
13	Roystonea elata	Florida Royal Palm	-	18` CT		Good	
14	Cocos nucifera	Coconut Palm	-	14` CT		Fair/Good	
15	Delonix regia	Royal Poinciana	13"	35` OA	30`	Fair	Preserved on client`s request
16	Sabal palmetto	Cabbage Palmetto	-	8` CT	11`	Fair	
17	Sabal palmetto	Cabbage Palmetto	-	4` CT		Fair	NOT QUALIFYING AS TREE
18	Delonix regia	Royal Poinciana	60" (multitrunk)	30` OA	40`	Poor	with Sabal inglobated in trunk
19	Sabal palmetto	Cabbage Palmetto	-	8` CT		Poor	IN ROYAL POINCIANA
20	Schinus terebinthifolia	Brazilian Pepper Tree	-				INVASIVE
21	Delonix regia	Royal Poinciana	33" (multitrunk)	30` OA	20`	Poor	laening heavily
22	Delonix regia	Royal Poinciana	10"	30`	12`	Poor/Fair	Preserved on client`s request
23	Sabal palmetto	Cabbage Palmetto	-	14` CT	11`	Good	
24	Sabal palmetto	Cabbage Palmetto	-	6` CT		Fair	NOT QUALIFYING AS TREE
25	Sabal palmetto	Cabbage Palmetto	-	14` CT	11`	Good	
26	Coccoloba uvifera	Sea Grape	54" (multitrunk)	30` OA	35`	Fair	requires pruning/cleaning and root pruning
27	Coccoloba uvifera	Sea Grape	43.5" (multitrunk)	30` OA	25`	Fair	requires pruning/cleaning and root pruning
28	Sabal palmetto	Cabbage Palmetto	-	5` CT		Fair	NOT QUALIFYING AS TREE
29	Delonix regia	Royal Poinciana	11"	18` OA	12`	Fair	

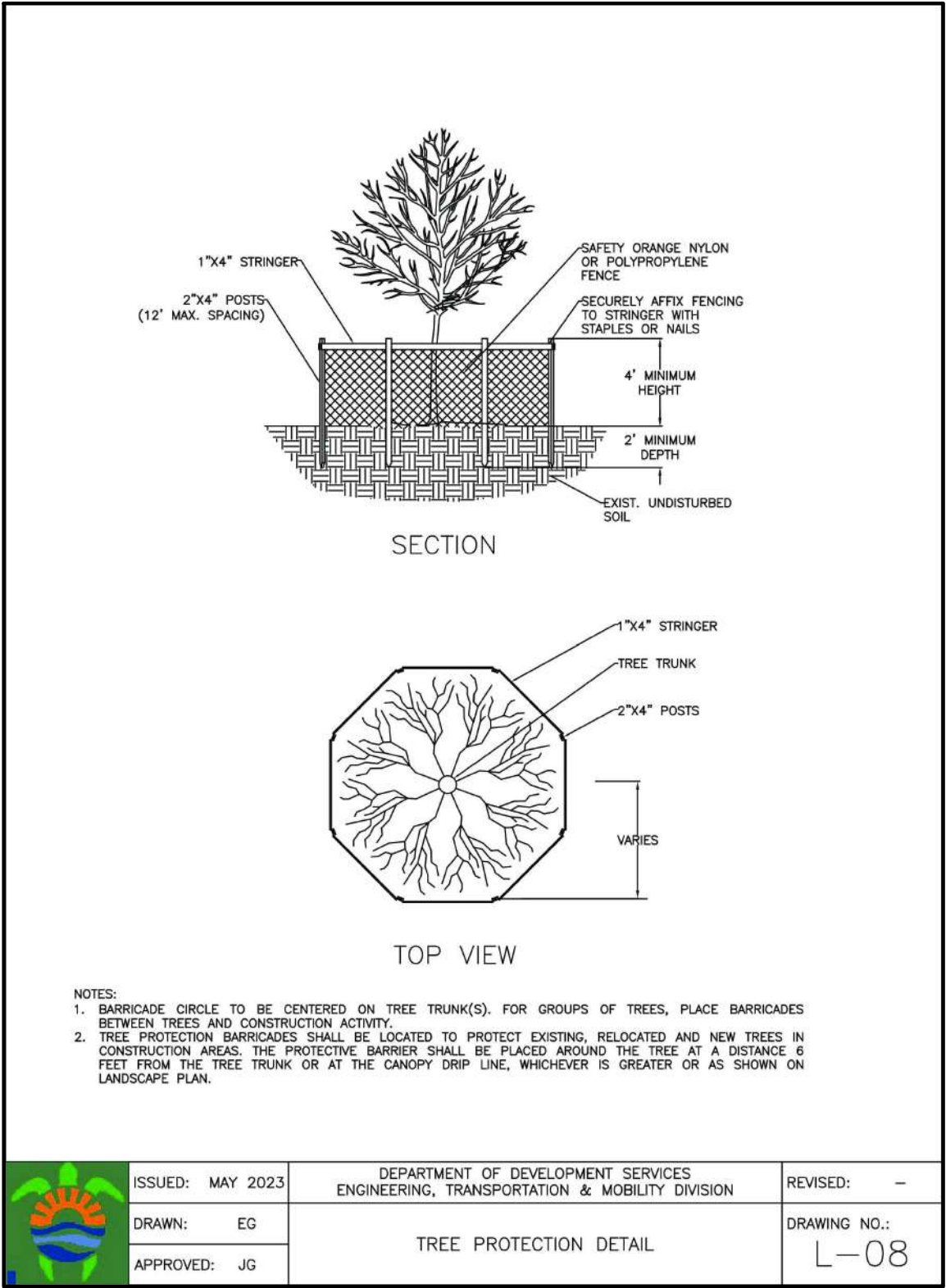
NO MITIGATION PROVIDED

REMOVED TREES DBH	93"/2 x\$350 = \$16,275.00
REMOVED PALMS TO MITIGATE - 4	4 x \$350 = \$1,400.00
TOTAL MITIGATION TO BE PAID	\$17,675.00

6 OF REMOVED SABALS DON'T REQUIRE MITIGATION - LESS THAN 8'CT

TREES PRESERVED IN PLACE - 6
ROYAL PALM PRESERVED IN PLACE - 1
COCONUTS RELOCATED - 6
COCONUTS PRESERVED IN PLACE - 2
SABALS PRESERVED IN PLACE - 1
SABALS RELOCATED - 3

TOTAL TREES PRESERVED - 6
TOTAL PALMS PRESERVED - 13



A TREE PROTECTION RETAIL
not to scale

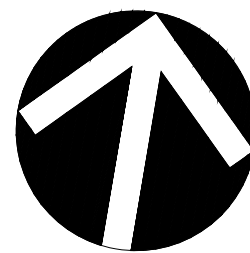


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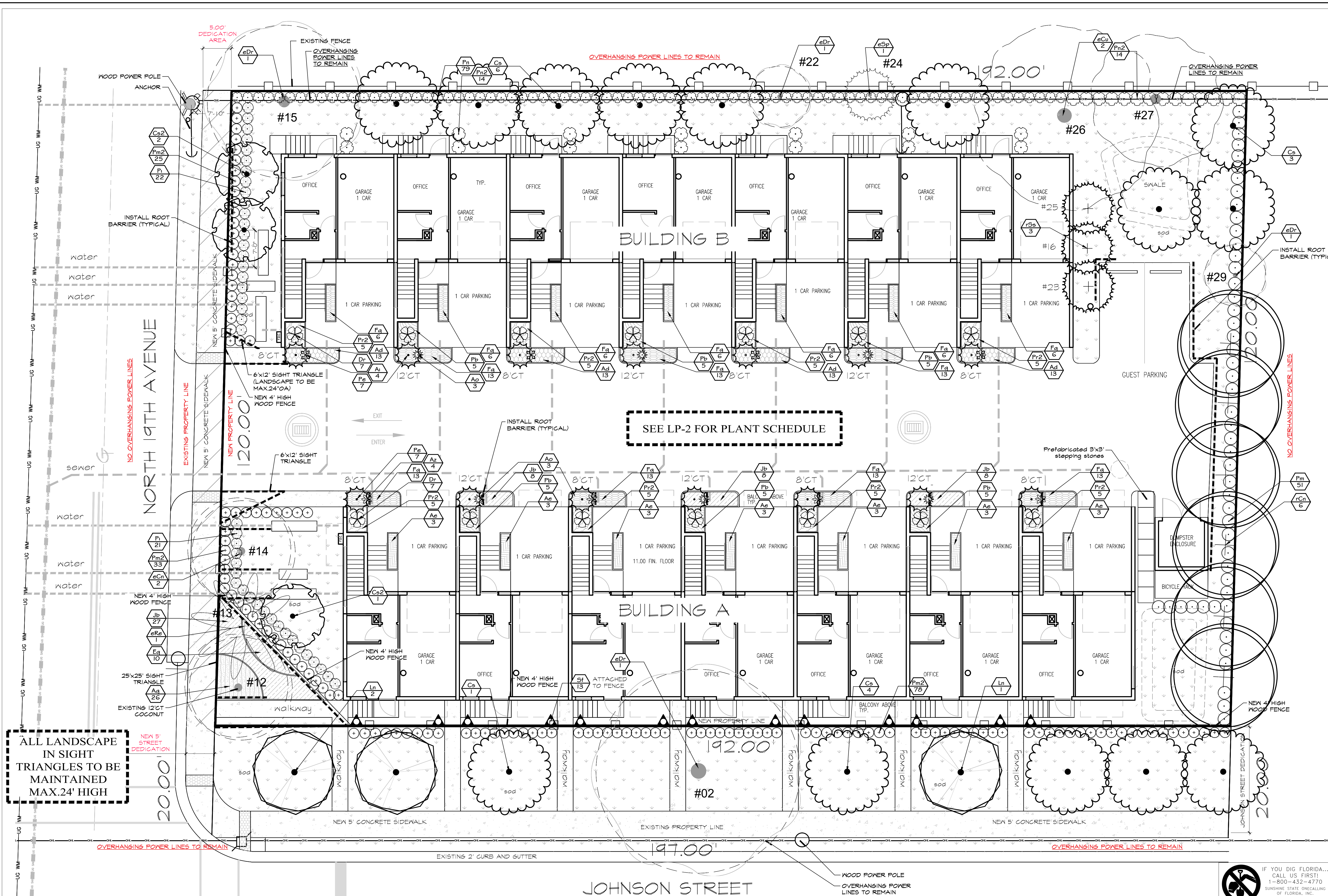


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1837-1855 Johnson St

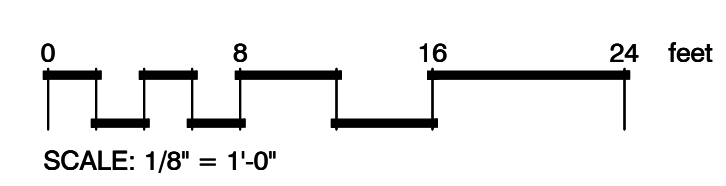
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TREES CHART, TREE PROT., MITIGATION CALC.



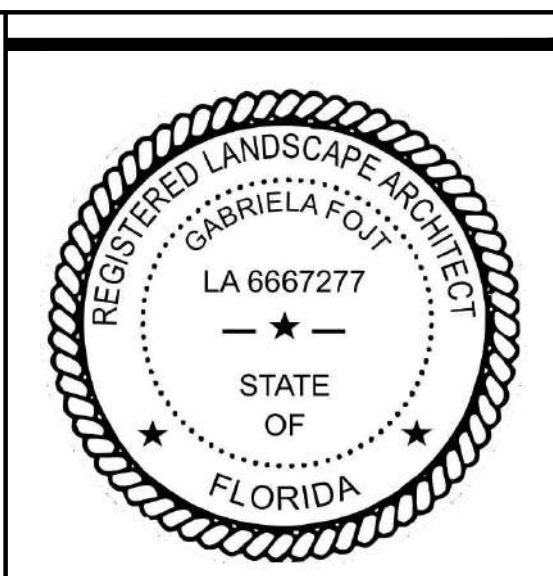
ALL LANDSCAPE
IN SIGHT
TRIANGLES TO BE
MAINTAINED
MAX. 24' HIGH

A GENERAL LAYOUT
scale 1/8" = 1'-0"

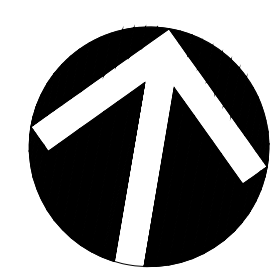


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OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.



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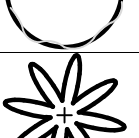
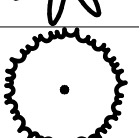
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1837-1855 Johnson St
Hollywood
Florida
LANDSCAPE PLAN

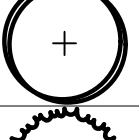

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
	Cs	14	Conocarpus erectus f. sericeus	Silver Buttonwood	12' OA 2"dbh	AS SHOWN	YES	HIGH
	Cs2	3	Cordia sebestena	Orange Geiger Tree	12' OA 2"dbh	AS SHOWN	YES	HIGH
	Ln	3	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	12' OA, 2"dbh	AS SHOWN	NO	HIGH
	Pe	14	Ptychosperma elegans	Alexander Palm	8'-12' CT, singl	AS SHOWN	NO	HIGH

EXISTING TREES & PALMS

	eCu	2	Coccoloba uvifera	Sea Grape	see DT-2 & 3	EXISTING	YES	HIGH
	eCn	2	Cocos nucifera	Coconut Palm	see DT-2 & 3	EXISTING	NO	HIGH
	eDr	4	Delonix regia	Royal Poinciana	see DT-2 & 3	EXISTING	NO	HIGH
	eRe	1	Roystonea elata	Florida Royal Palm	see DT-2 & 3	18' CT	YES	HIGH
	eSp	1	Sabal palmetto	Cabbage Palmetto	see DT-2 & 3	EXISTING	YES	HIGH

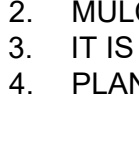

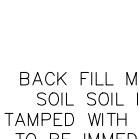
RELOCATED PALMS

	rCn	6	Cocos nucifera	Coconut Palm	see DT-2 & 3	AS SHOWN	NO	HIGH
	rSs	3	Sabal palmetto	Cabbage Palmetto	see DT-2 & 3	AS SHOWN	YES	HIGH

SHRUBS

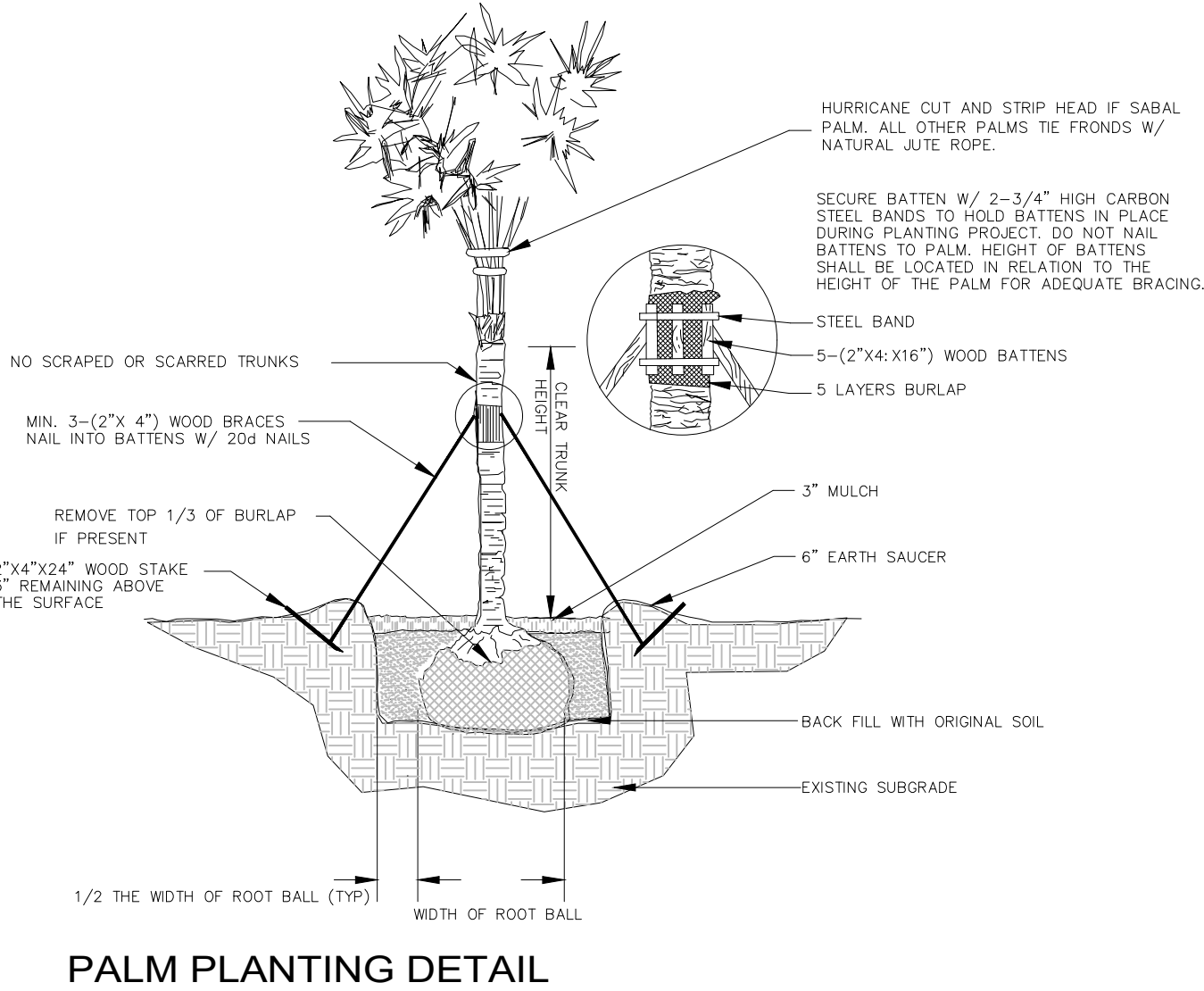
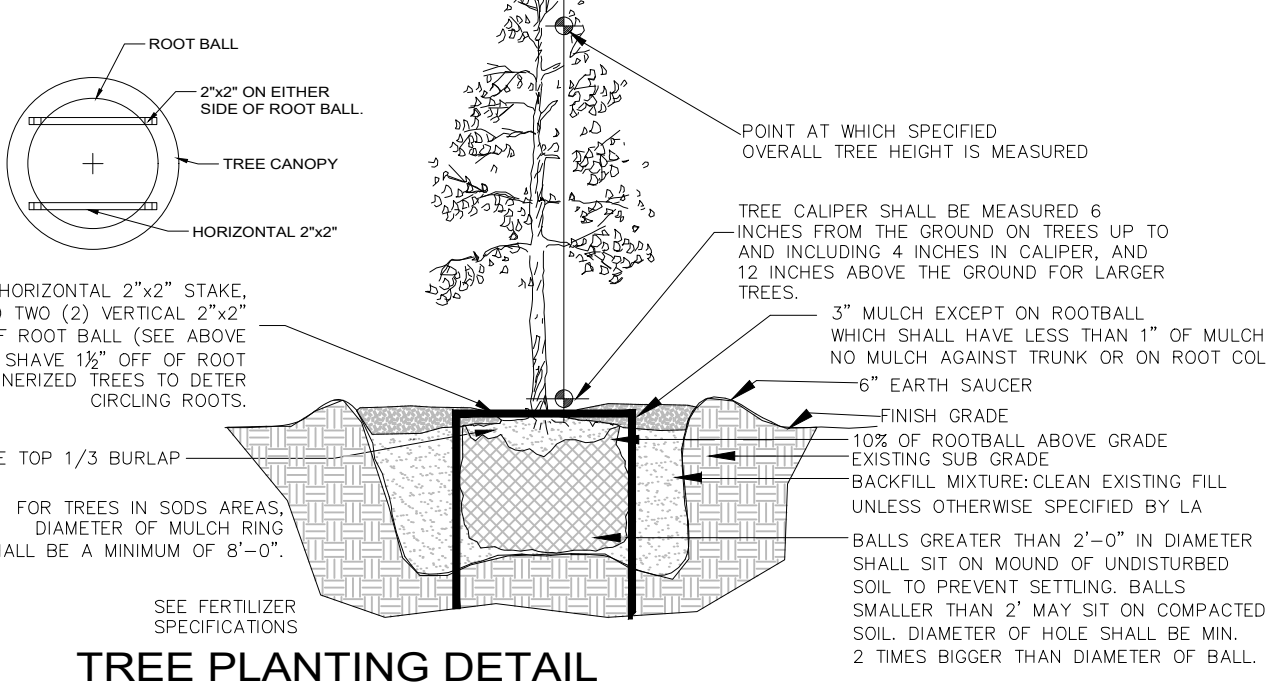
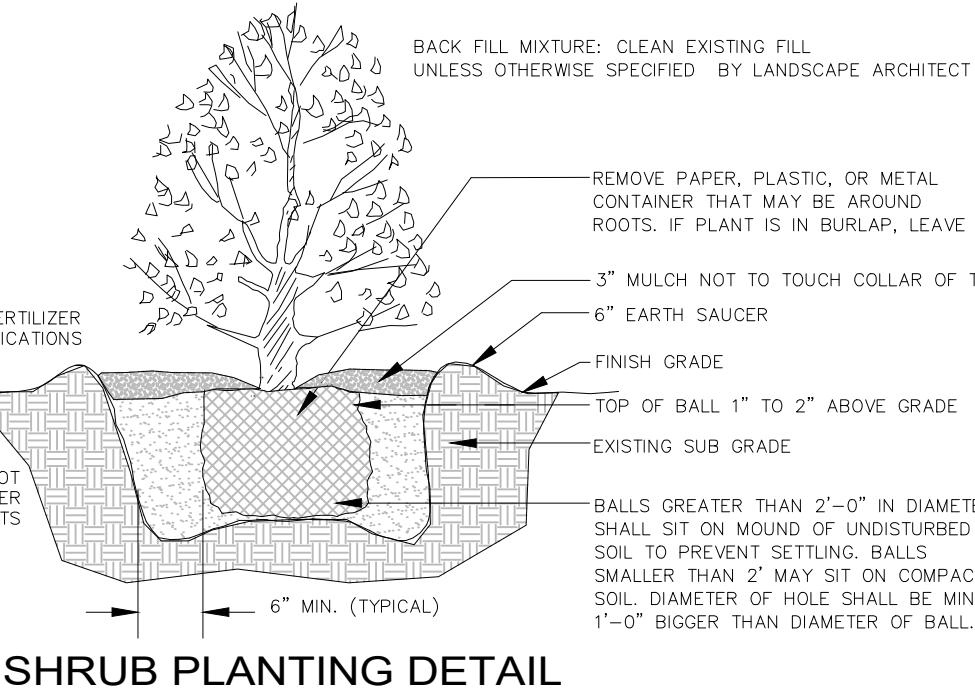
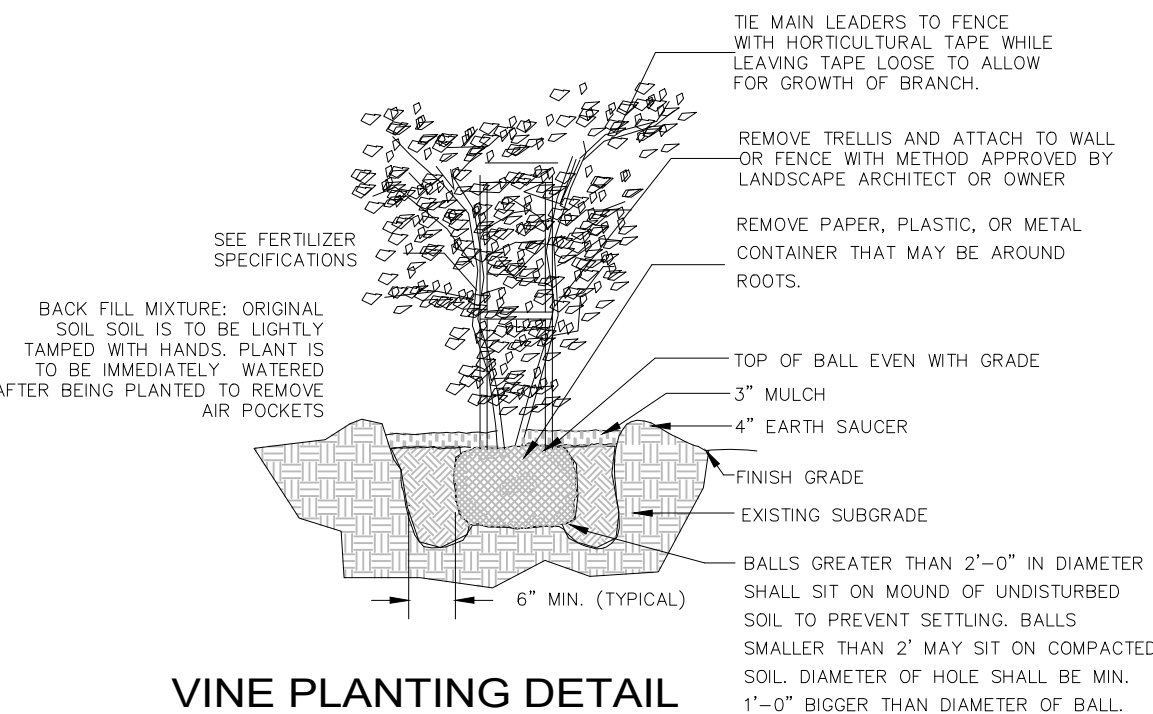
	Az	4	Aechmea 'Little Harv'	Little Harv Bromeliad	3 gal.	AS SHOWN	NO	HIGH
	Ai	4	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	3 gal.	AS SHOWN	NO	HIGH
	Ao	6	Alcantarea odorata	Giant Silver Bromeliad	7 gal 24"OA, bush			
	Dr	14	Dracaena reflexa	Song of India	7 gal	AS SHOWN	NO	HIGH
	Pi	43	Plumbago auriculata 'Imperial Blue'	Imperial Blue Plumbago	3 gal, full	24"OC	NO	HIGH
	Pm2	136	Podocarpus macrophyllus 'Maki'	Maki Yew Podocarpus	3 gal, 20"OA	24"OC	NO	HIGH
	Pm	51	Podocarpus macrophyllus 'Maki'	Maki Yew Podocarpus	7 gal, 42"OA	30"OC	NO	HIGH
	Pn	79	Psychotria nervosa	Wild Coffee	3 gal, 18"OA, flb	24"OC	YES	HIGH
	Pn2	28	Psychotria nervosa	Wild Coffee	7 gal, 42"OA, flb	30"OC	YES	HIGH
	Sf	13	Stephanotis floribunda	Madagascar Jasmine	3 gal, trellis	AS SHOWN	NO	HIGH

SHRUB AREAS

	Ag	26	Arachis glabrata	Perennial Peanut	1 gal	18"OC	NO	HIGH
	Ad	52	Asparagus densiflorus 'Myers'	Myers Asparagus Fern	3 gal, 12"OA, flb	18"OC	NO	HIGH
	Ae	21	Aspidistra elatior	Cast Iron Plant	3 gal	24"OC	NO	MODERATE
	Eg	10	Evolvulus glomeratus 'Blue my mind'	Dwarf Morning Glory	3 gal	24"OC	NO	HIGH
	Fg	133	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	3 gal, 12"x12"	18"OC	NO	HIGH
	Jb	51	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	3 gal	24"OC	NO	HIGH
	Pb	30	Philodendron x 'Burle Marx'	Burle Marx Philodendron	3 gal	24"OC	NO	MODERATE
	Pr2	40	Philodendron x 'Hope'	Hope Philodendron	3 gal	24"OC	NO	HIGH

NOTES:

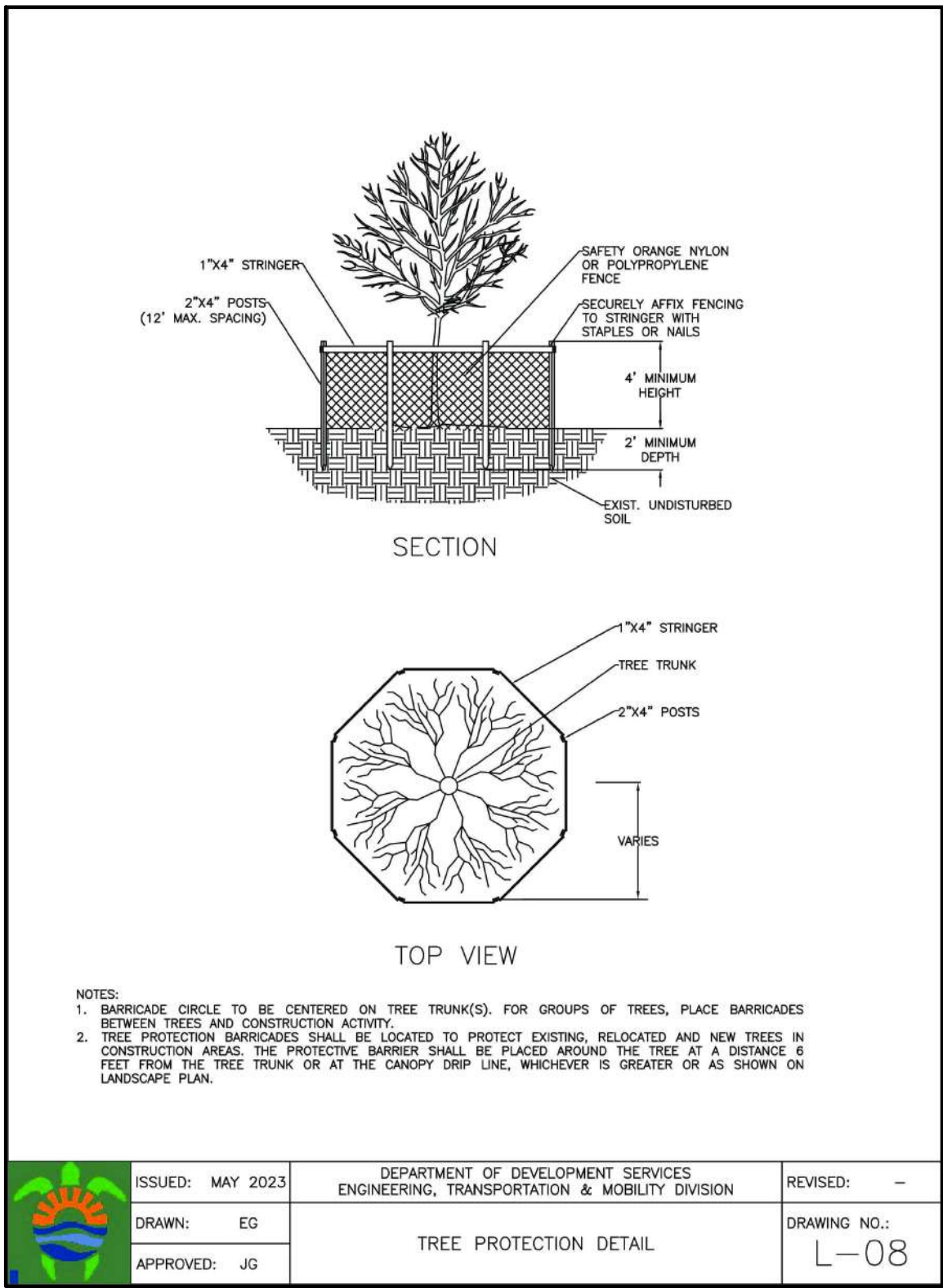
- SOD AS INDICATED.
- MULCH ALL BEDS AS INDICATED ON DETAIL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
- PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.



LANDSCAPE CODE REQUIREMENTS ND-1 RAC

	Code requirement	Required	Existing	Proposed	Provided
A	Perimeter Landscape Street trees (1/30 lf of street front- 192'x120'=312'/30'=10.4)	11	1 Royal palm, 2 Coconuts (= 2/3 tree), 1 Royal poinciana	3 Crape Myrtle, 3 Orange Geiger, 2 Buttonwood, 2 Alexander (= 2/3 tree)	11 1/3 provided
	B Residential perimeter trees (1/20 lf - 192'x120'=312'/20'=15.6)	16	2 Seagrapes, 2 Royal poinciana, 6 Coconuts (= 2 trees)	10 Silver Buttonwood	16 provided
	C Interior Landscape for VUA Terminal island with 1 tree 5' buffer 42" high from adjacent properties	2	1 Royal poinciana, 3 reloc. Sabals (= 1 tree)		2 provided
	D Open space 1 tree/1,000.00 sf of pervious area (5,856.00 sf/1,000=5.8) min.20% of area to be landscaped (23,040 sf x .2=4,608 sq)	6 trees 4,608.00 sf (=20%)		2 Buttonwood, 12 Alexander palms (= 4 trees) 5,856.00 sf (=25%)	6 provided 25% provided
TOTAL		35 trees	10 2/3 trees	24 2/3 trees	35 trees provided
M	60% of required trees to be native (35 x .6=21) max. 50% of required trees to be palms (35 x .5=17.5) Provide automatic irrigation with 100% of coverage	21 native trees max. 18 trees to be substit. with palms	1 Royal palm, 2 Seagrapes, 3 Sabals (= 1 tree) 1 palm 1:1, 9 palms 3:1 (= 3 trees)	3 Geiger, 14 Buttonwood 14 Alexander (= 4 2/3 trees) irrigation system	21 =60% of provided trees 8 2/3 trees=23% substituted by palms provided
	Mitigation trees			NOT PROVIDED DUE TO LACK OF SPACE	0 provided

100% IRRIGATION COVERAGE SHALL BE PROVIDED.



GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO.1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILDORGANITE PER 6 CU. YDS.
- TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- APPLY 3\" MELALEUCA/EUCALYPTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
- ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10X ABOVE FINAL GRADE AT TIME OF PLANTING.
- LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

- PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

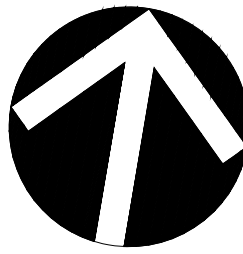


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SCALE 1/8"=1'-0"

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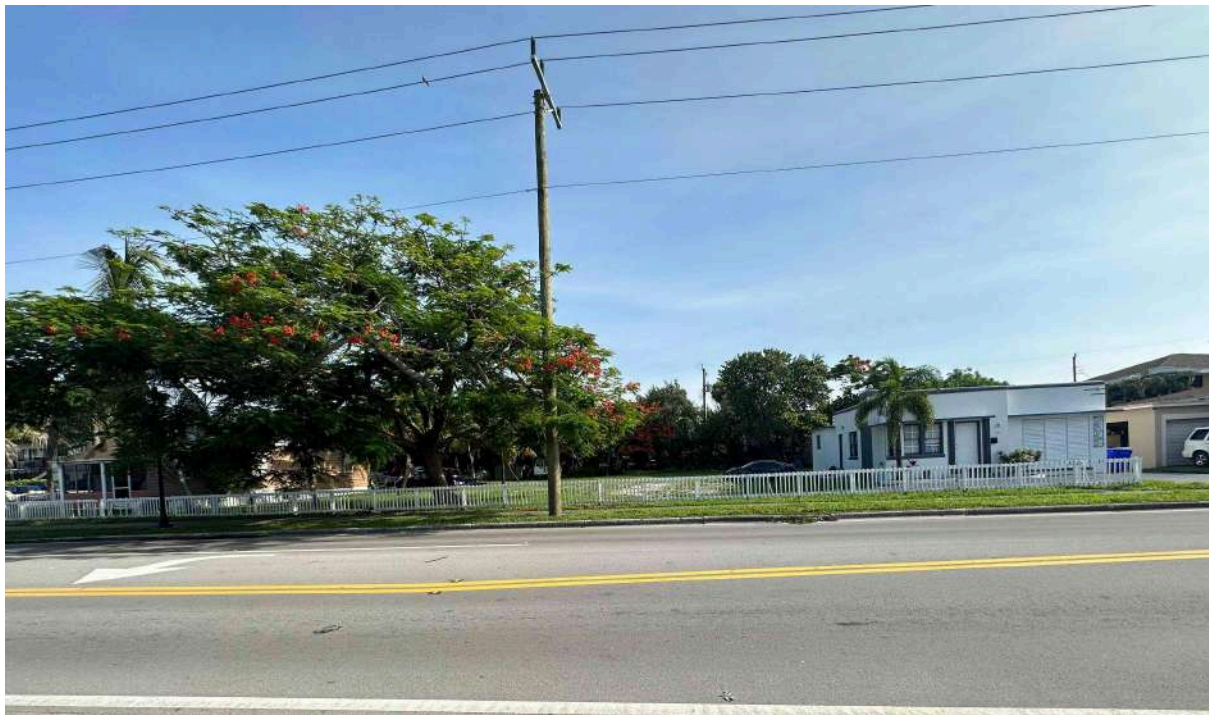
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1837-1855 Johnson St

Hollywood
Florida

PLANT SCHEDULE, CODE CHART, DETAILS

1837-1855 Johnson Street Hollywood FL 33020
Site Photos







East Neighboring Property



West Neighboring Property



North Neighboring Property



North Neighboring Property

Miguel de Diego
ARCHITECT P.A.

AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

CHECKED
DRAWN
DATE 7-7-2023
COMM. NO. 22-141

14 UNITS TOWNHOMES
1837-1855 JOHNSON STREET
HOLLYWOOD, FLORIDA

No.	Date	Revision	By

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10
10

Criteria Statements

Variances. Except as set forth in division F.2. below, no Variance shall be granted by the Planning and Development Board unless the Board finds that the Applicant has shown that criteria a. through d. have been met or criteria e. is established, then the Variance shall be granted.

Variance 1: ND-1 Front Setback Req 20', Provided 5'

- a. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city;

***Consistent:** The variance to reduce the front setback from 20' to 5' is in response to a sizeable dedication requirement from the City of Hollywood for a road widening and complete streets project on Johnson Street. This variance will help the project with maintaining adequate space between the townhomes to support privacy and natural light, while also increasing the distance away from powerlines in the rear of the property. The project has been designed to be in alignment with RAC Land Use which intends to:*

- *Encourage development or redevelopment*
- *Facilitate mixed-use development*
- *Reduce the need for automobile travel*
- *Encourage mass transit*
- *Provide incentives for quality development*
- *Give definition to urban form*

Based on these goals, the project team discussed with our City Planning and Engineering teams the importance of ensuring there is a healthy balance between quality development and quality infrastructure that both support RAC goals of livability, placemaking, accessibility, and the connectivity goals of the Johnson Complete Streets project.

- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;

***Consistent:** Redeveloping the site will bring the property into harmony with the surrounding community and help revitalize the area. The site is well-suited for the proposed project, and granting the variance will allow the project to overcome the challenges posed by the Johnson Street Project dedication requirements and create much-needed quality housing for our community.*

- c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to

time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and

Consistent: *Located in the Regional Activity Center, this property is primarily surrounded by multi-family and retail uses. The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property. The redevelopment of this site will be aligned with the current mix of land uses in the surrounding area and will support the revitalization of the community with quality housing stock.*

- d. That the need for the requested Variance is not economically based or self-imposed.

Consistent: *The proposed Variance is not economically based or self-imposed. The project team has worked diligently with Staff to ensure any impact on the surrounding community and the Johnson Street project is avoided. This has included collaboration on two iterations of redesign and removal of one townhome to develop a quality project.*

- e. That the Variance is necessary to comply with state or federal law and is the minimum Variance necessary to comply with the applicable law.

Not Applicable

Variance 2: ND-1 Side Setback Req 15', Provided 10'

- a. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city;

Consistent: *The variance to reduce the avenue setback from 15' to 10' is in response to a sizeable dedication requirement from the City of Hollywood for a road widening and complete streets project along Johnson Street and N. 19th Ave. The project will replace the existing 4' sidewalk that is currently within the project property line with a 5' sidewalk which would then be dedicated to the City. The City Engineering department also requires this additional 5' for the future widening of N 19th Ave.*

Variance request maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city as it is in line with RAC goals.

- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;

Consistent: *Redeveloping the site will bring the property into harmony with the surrounding community and help revitalize the area. The site is well-suited for the*

proposed project, and granting the variance will allow the project to overcome the challenges posed by the Johnson Street Project dedication requirements and create much-needed quality housing for our community.

- c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and

Consistent: *Located in the Regional Activity Center, this property is primarily surrounded by multi-family and retail uses. The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property. The redevelopment of this site will be aligned with the current mix of land uses in the surrounding area and will support the revitalization of the community with quality housing stock.*

- d. That the need for the requested Variance is not economically based or self-imposed.

Consistent: *The proposed Variance is not economically based or self-imposed. The project team has worked diligently with Staff to ensure any negative impact on the surrounding community and the Johnson Street project is avoided and that the project works in harmony with transportation projects and RAC and Land Use goals. This has included collaboration with City Staff on two iterations of redesign to develop a quality project.*

- e. That the Variance is necessary to comply with state or federal law and is the minimum Variance necessary to comply with the applicable law.

Not Applicable