

PLANNING DIVISION



File No. (internal use only): _____

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 01/06/2023

Location Address: 2133-2139 Polk Street, Hollywood, FL, 33020

Lot(s): 8,9 Block(s): E Subdivision: A SUB OF LOTS 1 & 2 OF BLK E HOLLYWOOD LITTLE RANCHES

Folio Number(s): 2133 Polk: 514216100070 2139 Polk: 514216100080

Zoning Classification: DH-3 Land Use Classification: RESIDENTIAL

Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): FILE NO. 22-DP-72

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Site plan review for a 23 unit residential development (2133 Polk Street)

Number of units/rooms: 23 Sq Ft: 942.60 SF AVERAGE

Value of Improvement: TO BE DETERMINED Estimated Date of Completion: 36 MONTHS

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Polk Equities LLC

Address of Property Owner: PO Box 630246, Miami, Florida, 33480

Telephone: 347-432-7684 Fax: N/A Email Address: Simon@skydevelopersnj.com

Name of Consultant Representative/Tenant (circle one): (Architect) Richard Garber

Address: 125 Maiden Lane, Suite 506, New York, NY, 10038 Telephone: 917-856-6453

Fax: N/A Email Address: Richard@groarc.com

Date of Purchase: 08-11-2022 Is there an option to purchase the Property? Yes () No (☒)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: (Civil Engineer) Susan Holland

Address: 301 SW 7th Street, Ft. Lauderdale, FL 33315

Email Address: susan@hollandengineering.net

PLANNING DIVISION

File No. (Internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: shimon klepaer Date: 01-06-2023

PRINT NAME: SHIMON KLEPNER Date: 01-06-2023

Signature of Consultant/Representative: Rich Garber Date: 01-06-2023

PRINT NAME: RICHARD GARBER, AIA Date: 01-06-2023

Signature of Tenant: shimon klepaer Date: 01-06-2023

PRINT NAME: SHIMON KLEPNER Date: 01-06-2023

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for TAC REVIEW to my property, which is hereby made by me or I am hereby authorizing Richard Garber to be my legal representative before the Technical Advisory Committee (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 6 day of January, 2023

Esther Rein
Notary Public

State of Florida



Esther Rein
Comm.: HH 339491
Expires: December 7, 2026
Notary Public - State of Florida

shimon klepaer
Signature of Current Owner

SHIMON KLEPNER
Print Name

My Commission Expires: 12/7/26 (Check One) ☐ Personally known to me; OR ☒ Produced Identification Drivers License

ALTA/NSPS D TITLE SUR

DESCRIPTION:

LOTS 8 & 9 " A SUBDIVISION OF LOTS 1 AND 2 OF BLOCK E IN HOLLYWOOD LITTLE RANCHES, " ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SURVEYOR NOTES:

- 1.) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
- 2.) THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.
- 3.) THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- 4.) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- 5.) BENCHMARK REFERENCE - NATIONAL GEODETIC SURVEY DESIGNATION - M 312, P1D - AD2500, ELEVATION = 13.44
- 6.) ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- 7.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED. NO EFFORT HAS BEEN MADE TO LOCATE UNDERGROUND IMPROVEMENTS.
- 8.) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- 9.) NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF POLK STREET.
- 10.) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
- 11.) RESERVATION FOR 5' SIDEWALK DEDICATED TO PLAT FOR PUBLIC USE.
- 12.) WATER SERVICE MAIN LOCATED NEAR REAR PROPERTY LINE UNABLE TO FIELD LOCATE UNKNOWN SIZE. CALL FOR LOCATES BEFORE DIGGING.

SUMMARY TABLE OF TITLE EXCEPTIONS

SCHEDULE B-11

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

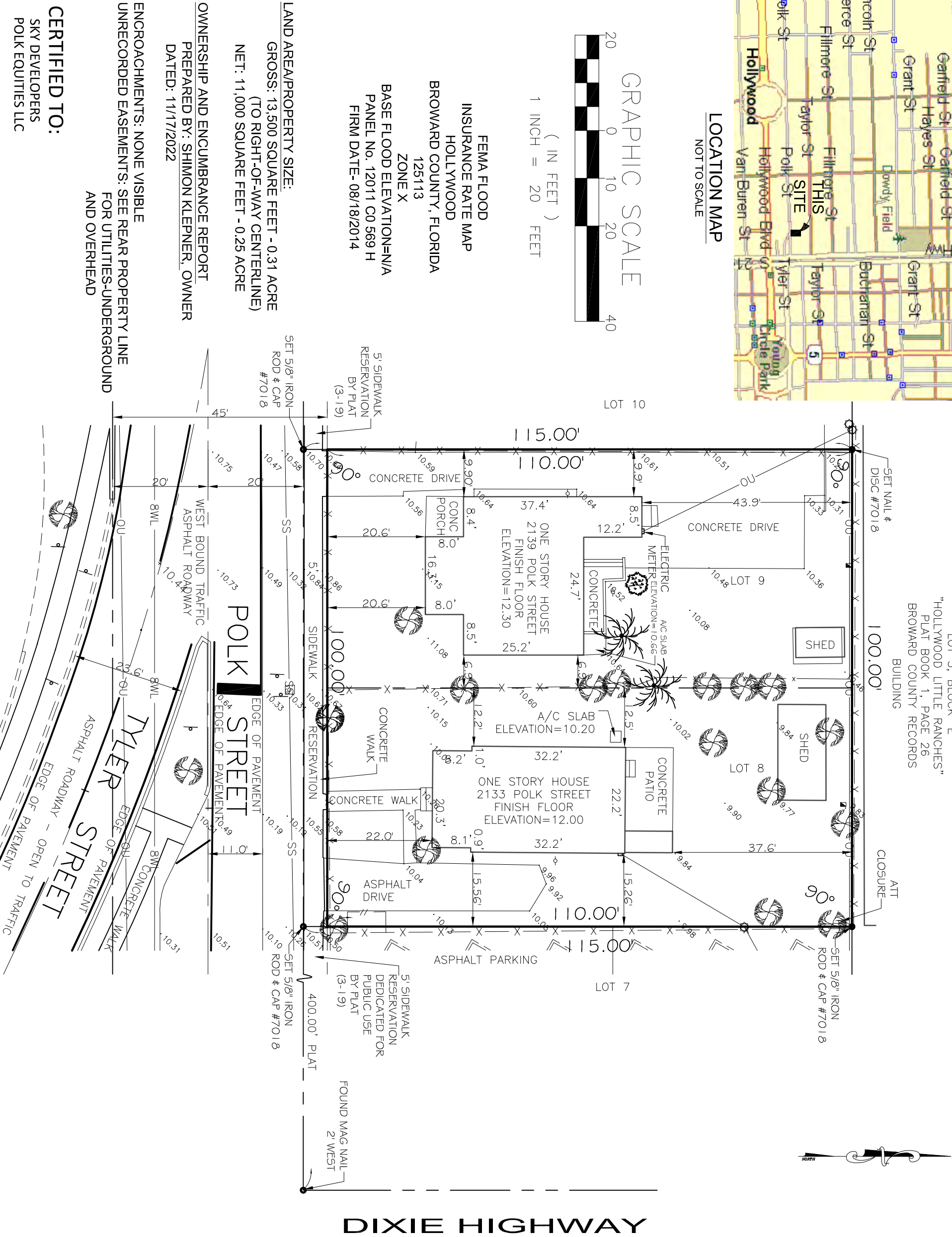
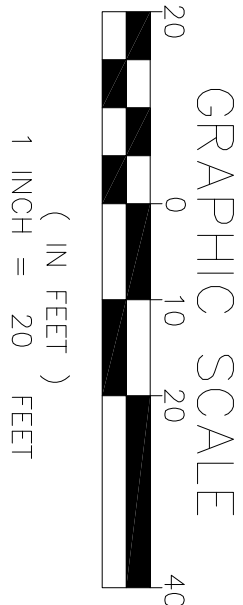
FUND FILE NUMBER 22-0157-ZL DATED: JULY 10, 2022

	B-I EXCEPTIONS	DESCRIPTION	COMMENTS
1		Defects, Liens, Adverse claims	Standard Exceptions
2		Taxes, rights, claims, encroachments, Easements not recorded, Liens for services not recorded	No above ground encroachments
3		Any adverse claim by the State of Florida by right of sovereignty;	
4		Liens provided by County Ordinance or by Chapter 159, F.S., in favor of City for unpaid service charges.	Unknown - not depictable
5		Same as above	
6		Matters contained on the Record Plat Book 3, Pg. 19, B.C.R.	
7		Broward County Ordinance 2005-18 ORB 40082 - "Hollywood Downtown Regional Activity Center" limits - Affects this property	See Survey 1783
8		Broward County Ordinance 2005-19 ORB40082, Pg. 1789 - Land use plan Amendment - Affects this property	
9		Resolution No 12-DV-05 ORB 48536, Pg. 1511 - Does not affect this property	
10		Setbacks if any contained in Deed Book 26, Pg. 316 - Does not affect this property	
11		Rights of the leasees under unrecorded leases - Not a survey matter	

SURVEY CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS (LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, EFFECTIVE FEBRUARY 23, 2021 AND 13 OF TABLE A THEREOF, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(LIMITED), AND 13 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON JUNE 22, 2022






CERTIFIED TO:
SKY DEVELOPERS
POLK EQUITIES LLC

ENCROACHMENTS: NONE VISIBLE
UNRECORDED EASEMENTS: SEE REAR PROPERTY LINE
FOR UTILITIES-UNDERGROUND
AND OVERHEAD

THIS SURVEY/DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO. FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT/AGREEMENT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL. COPYING, DISTRIBUTING OR RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR.

NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.

THIS ITEM HAS BEEN DIGITALLY SIGNED
AND SEALED BY STEPHEN K SEELEY ON
THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

LEGEND	
— x — x —	CHAIN/LINK FENCE
- - - - -	WOOD FENCE
	CONCRETE WALL
— ss —	SANITARY SEWER LINE
— w —	WATER LINE
— ou —	OVERHEAD UTILITY
— — — — —	CENTERLINE
— - - - -	RIGHT-OF-WAY LINE
■	WOOD METER
⊙	WOOD POWER POLE
⊙	TRAFFIC SIGN POST
⊙	CLEANOUT
CONC.	CONCRETE
	TREE
	BUSH
	PALM
ELEV.	ELEVATION

[illegible]

NEW CONSTRUCTION

MULTI-FAMILY RESIDENTIAL

2133 - 2139 POLK STREET

HOLLYWOOD, FL 33020

BLOCK:E, LOT:8,9

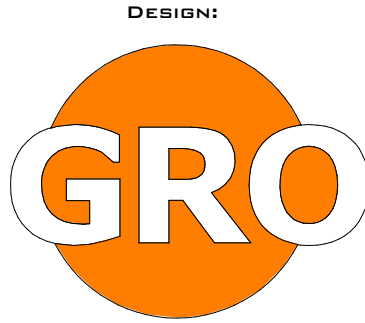
BROWARD COUNTY



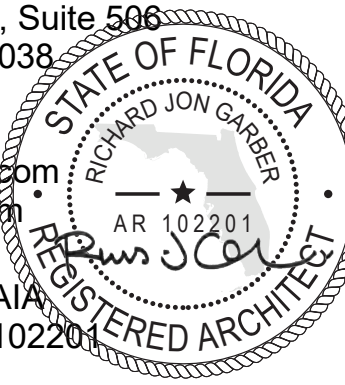
② LOCATION MAP

1" = 50'-0"

PLANNING BOARD ARCHITECTURAL SHEET LIST	
SHEET NUMBER	NAME
PB-000	TITLE SHEET
PB-010	CONTEXT PHOTOS
PB-020	SURVEY
PB-030	SITE PLAN
PB-050	LIGHTING PLAN
PB-080	TRASH REMOVAL PLAN & MAIL DELIVERY PLAN
PB-101	FIRST FLOOR PLAN
PB-102	SECOND FLOOR PLAN
PB-103	THIRD FLOOR PLAN
PB-104	FOURTH FLOOR PLAN
PB-106	ROOF PLAN
PB-201	EXTERIOR ELEVATION
PB-202	EXTERIOR ELEVATION
PB-203	EXTERIOR ELEVATION
PB-204	EXTERIOR ELEVATION
PB-301	SECTION 01
PB-302	SECTION 02
PB-400	ENLARGED EXTERIOR ELEVATIONS
PB-401	DETAILS VIEW
PB-901	AXON VIEW
PB-902	STREET VIEW



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e nicole@groarc.com
w www.groarc.com



Richard Garber, AIA
FL License # AR102204

Nicole Robertson, AIA

PROJECT:

NEW CONSTRUCTION
MULTI-FAMILY RESIDENTIAL
2133 - 2139 POLK STREET
HOLLYWOOD, FL 33020
BLOCK:E LOT:8,9

CLIENT:

POLK EQUITIES LLC
PO BOX 630246
MIAMI, FLORIDA, 33480
t (347)-432-7684
e simon@skydevelopersnj.com

CONSULTANTS:

CIVIL ENGINEER
HOLLAND ENGINEERING
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FT. LAUDERDALE, FL, 33315
t (954)-367-0371
e susan@hollandengineering.net

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PRELIMINARY TAC MEETING DATE:
DECEMBER.5TH 2022

DEVELOPMENT APPLICATION:

PERMIT SUBMISSION:

PROGRESS: 2 JUNE 2023

REVISIONS		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:

DESIGNED BY: CHECKED BY:

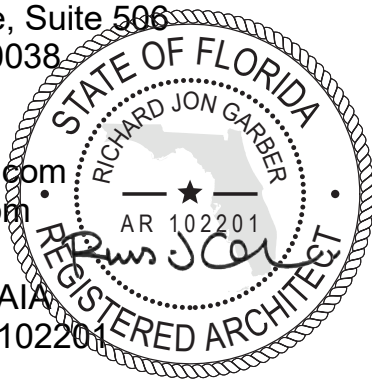
SHEET TITLE:
TITLE SHEET

SHEET NO.:
PB-000

PAGE NO.:



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DEVELOPMENT APPLICATION:		
PERMIT SUBMISSION:		
PROGRESS: 2 JUNE 2023		
REVISIONS		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER:	DRAWN BY: Author
DESIGNED BY:	CHECKED BY:
SHEET TITLE: CONTEXT PHOTOS	
SHEET NO.: PB-010	PAGE NO.:

ZONING TABULATION CHART (DH-3)				
ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
MAIN PERMIT USES	MULTI-FAMILY RESIDENTIAL	SINGLE-FAMILY RESIDENTIAL	MULTI-FAMILY RESIDENTIAL	NO
LOT SIZE	NO REQUIREMENT	11,500 SF	NO CHANGE	NO
LOT WIDTH	NO REQUIREMENT	100'	NO CHANGE	NO
LOT DEPTH	NO REQUIREMENT	115'	NO CHANGE	NO
FRONTAGE SETBACK	RESIDENTIAL: 15'	N/A	15'	NO
SIDE YARD SETBACK	0'	N/A	0'	NO
REAR YARD SETBACK	10'	N/A	10'	NO
ALLEY SETBACK	5'	N/A	N/A	NO
MAX. BUILDING HEIGHT	SITES OR PORTIONS OF SITES WITHIN 200' OF DH-1, DH-2, ND-1; 5 STORIES, NOT TO EXCEED 55'	1 STORY	55'-0" AND 5 STORIES	NO
LOT COVERAGE	NO REQUIREMENT	N/A	78%	NO
BUILDING COVERAGE	NO REQUIREMENT	N/A	86%	NO
MAX. FAR	3.00	N/A	2.32	NO
MIN. PARKING SPACES	1 SPACE PER ONE BEDROOM UNIT; 1.5 SPACE PER MULTI-BEDROOM UNIT, PLUS 1 SPACE PER 10 UNITS FOR GUEST PARKING	N/A	37	NO
FLOOR TO FLOOR HEIGHT	NO REQUIREMENT	N/A	10'-2"	NO
MIN. UNIT SIZE (PER UNIT)	400 SF	N/A	590 SF	NO
MIN. UNIT SIZE (CUMULATIVE AVERAGE)	650 SF	N/A	930 SF	NO

GROSS BUILDING AREA	
DEPARTMENT	AREA
FIRST FLOOR EL.12.20	
CIRCULATION	996 SF
PARKING	7287 SF
SERVICE	722 SF
	9004 SF
SECOND FLOOR	
CIRCULATION	1156 SF
RESIDENTIAL	6761 SF
SERVICE	80 SF
	7997 SF
THIRD FLOOR	
CIRCULATION	1028 SF
RESIDENTIAL	6859 SF
SERVICE	109 SF
	7997 SF
FOURTH FLOOR	
CIRCULATION	1029 SF
RESIDENTIAL	6854 SF
SERVICE	109 SF
	7992 SF
T.O. ROOF STRUCTURE	
AMENITY	670 SF
CIRCULATION	799 SF
RESIDENTIAL	1206 SF
SERVICE	193 SF
	2869 SF
	35859 SF

UNIT MIX COUNTS		
# OF BEDROOM		COUNT
ONE BEDROOM	5	
THREE BEDROOM	7	
TWO BEDROOM	7	
TWO BEDROOM - DUPLEX	4	
23		

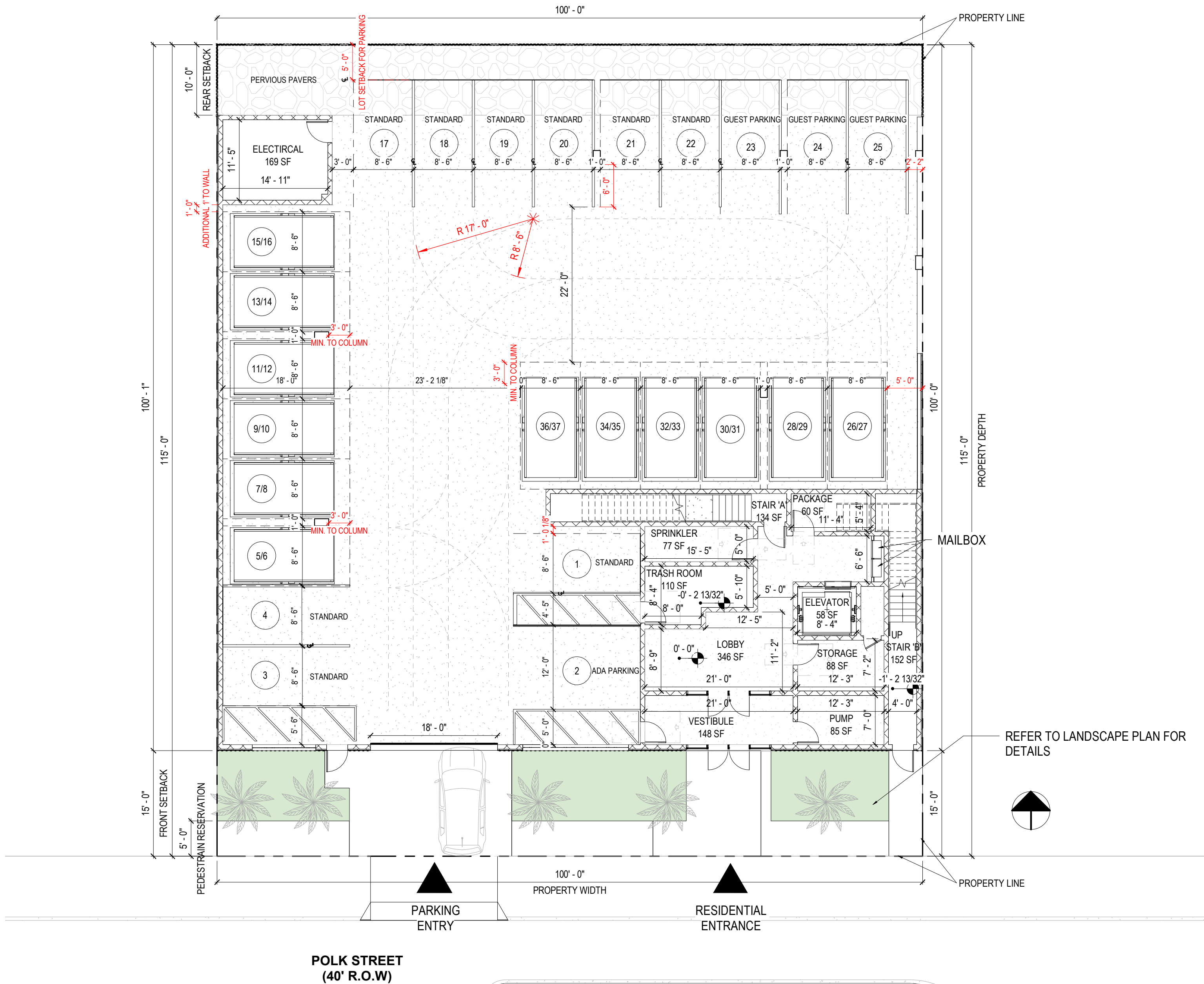
PARKING SCHEDULE	
PARKING SPACE TYPE	PROPOSED
PARKING LIFT: COMPACT 8X16	12X2
PARKING SPACE - ADA: 12' x 18' (5' Aisle)	1
PARKING SPACE: 8.5' X 18' STANDARD PARKING	9
PARKING SPACE: 8.5' X 19' STANDARD PARKING (GUEST)	3
	25 STALLS
	37 TOTAL

BUILDING AND SITE DATA		
ITEM		DATA
BLOCK NO.		E
LOT NO.		LOT 8, LOT 9
ZONING		DH-3
SITE AREA		11,500 SF = 0.264 ACRE
OCCUPANCY		R
USE GROUP		RESIDENTIAL
BUILDING AREA		35,859 SF
VOLUME		487,655 CF
FUTURE LAND USE		REGIONAL ACTIVITY CENTER

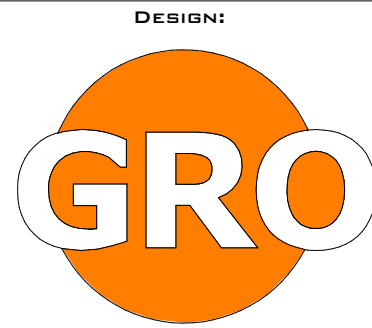
UNIT SCHEDULE			
UNIT NO.	# OF BEDROOM	UNIT TYPE	AREA
SECOND FLOOR			
UNIT 201	ONE BEDROOM	UNIT TYPE A	726 SF
UNIT 202	TWO BEDROOM	UNIT TYPE B	839 SF
UNIT 203	THREE BEDROOM	UNIT TYPE C	1096 SF
UNIT 204-1	TWO BEDROOM - DUPLEX	UNIT TYPE D	552 SF
UNIT 205	TWO BEDROOM	UNIT TYPE E	888 SF
UNIT 206	ONE BEDROOM	UNIT TYPE F	590 SF
UNIT 207	ONE BEDROOM	UNIT TYPE F	590 SF
UNIT 208	TWO BEDROOM	UNIT TYPE E	888 SF
UNIT 209-1	TWO BEDROOM - DUPLEX	UNIT TYPE G	552 SF
THIRD FLOOR			
UNIT 204-2	TWO BEDROOM - DUPLEX	UNIT TYPE D	552 SF
UNIT 209-2	TWO BEDROOM - DUPLEX	UNIT TYPE G	552 SF
UNIT 301	ONE BEDROOM	UNIT TYPE A	726 SF
UNIT 302	TWO BEDROOM	UNIT TYPE B	839 SF
UNIT 303	THREE BEDROOM	UNIT TYPE C	1096 SF
UNIT 304	THREE BEDROOM	UNIT TYPE C	1096 SF
UNIT 305	TWO BEDROOM	UNIT TYPE B	841 SF
UNIT 306	THREE BEDROOM	UNIT TYPE C	1096 SF
FOURTH FLOOR			
UNIT 401	ONE BEDROOM	UNIT TYPE A	726 SF
UNIT 402	TWO BEDROOM	UNIT TYPE B	839 SF
UNIT 403	THREE BEDROOM	UNIT TYPE C	1096 SF
UNIT 404-1	TWO BEDROOM - DUPLEX	UNIT TYPE D	552 SF
UNIT 405	THREE BEDROOM	UNIT TYPE C	1096 SF
UNIT 406	TWO BEDROOM	UNIT TYPE B	841 SF
UNIT 407	THREE BEDROOM	UNIT TYPE C	1096 SF
UNIT 408-1	TWO BEDROOM - DUPLEX	UNIT TYPE G	608 SF
T.O. ROOF STRUCTURE			
UNIT 404-2	TWO BEDROOM - DUPLEX	UNIT TYPE D	577 SF
UNIT 408-2	TWO BEDROOM - DUPLEX	UNIT TYPE G	630 SF
23			21680 SF

- ARTICLE 9: VEHICULAR USE AREA LANDSCAPING
§ 9.2. Applicability.
A. Development or rehabilitation projects requiring site plan approval shall comply with the minimum landscape standards and the Landscape Specifications Manual in effect at time of Site Plan submittal.
- B. Development or rehabilitation projects not requiring site plan approval, but meeting the following thresholds, shall comply with the minimum landscape standards and the Landscape Specifications Manual in effect at time of building permit submittal:
- New residential and commercial projects;
 - Expansion of floor area or a change of use which requires additional parking or an increase in the vehicular use area. This article shall apply to the new parking areas only unless there is an increase of 50% or more in paved area, then the entire site shall be consistent with this article;
 - New paved parking or when the total square footage of the vehicular use area is increased;
 - Renovations to a building exceeding 50% of the assessed value of the structure or an increase of more than 50% of the floor area of the building.
 - New construction or substantial rehabilitation projects that are subject to review by the Planning and Development Board.
- C. Exemptions to 5' parking setback per § 4.6 - B - 3 - c - (3) - (c).
- Vehicular use areas contained beneath structures or in courtyards which are concealed from public view.

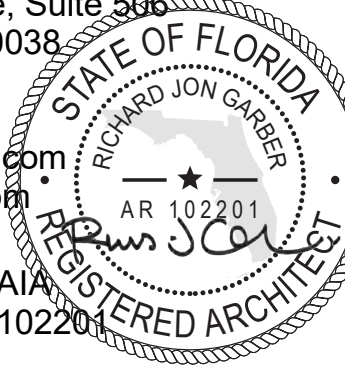
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.



1 SITE PLAN
3/32" = 1'-0"



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CONSULTANTS:

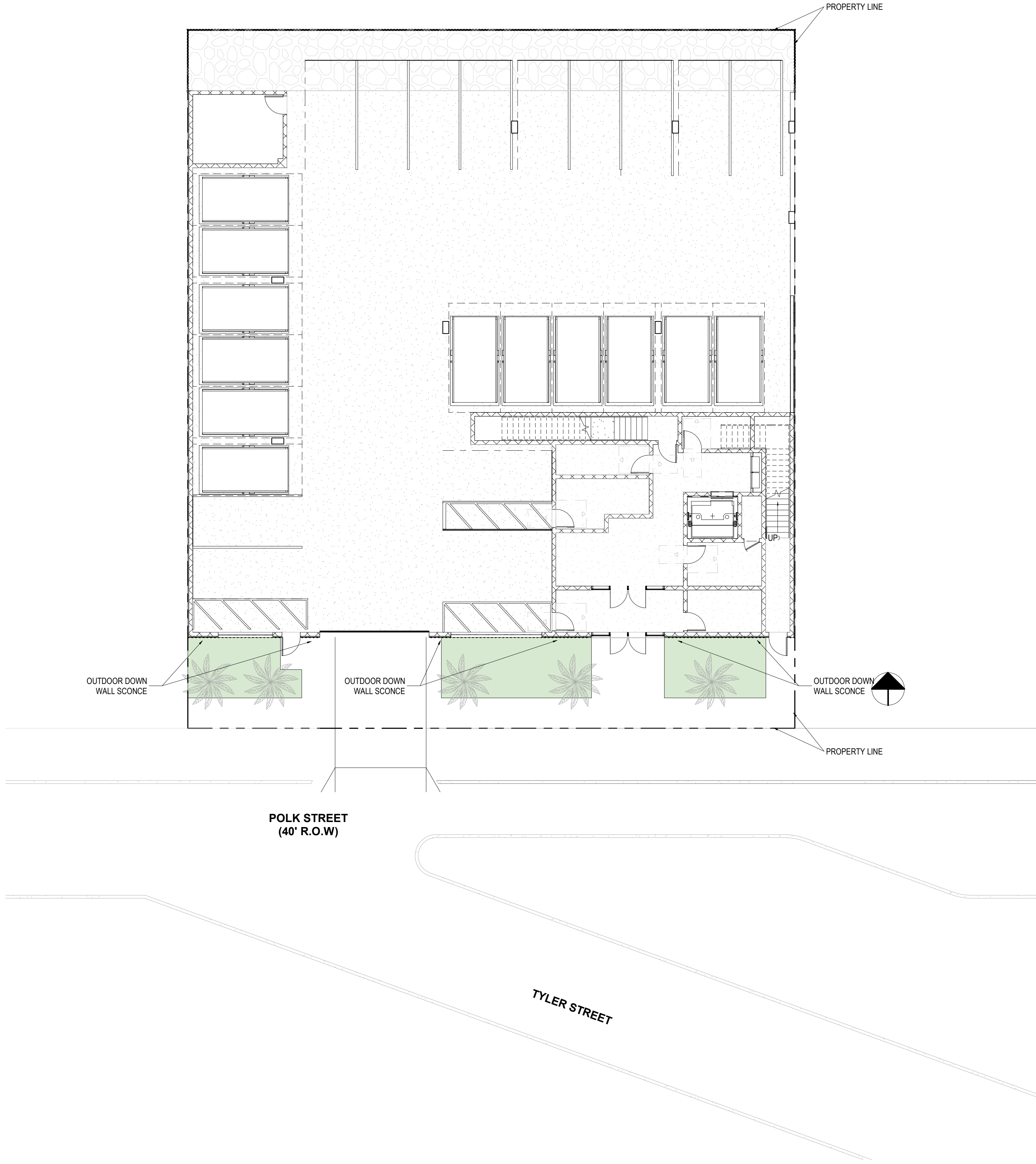
CIVIL ENGINEER
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DEVELOPMENT APPLICATION:		
PERMIT SUBMISSION:		
PROGRESS: 2 JUNE 2023		
REVISIONS		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION	
PROJECT NUMBER:	DRAWN BY:
DESIGNED BY:	CHECKED BY:
SHEET TITLE: SITE PLAN	
SHEET NO.:	PAGE NO.:
PB-030	



1 LIGHTING PLAN
3/32" = 1'-0"

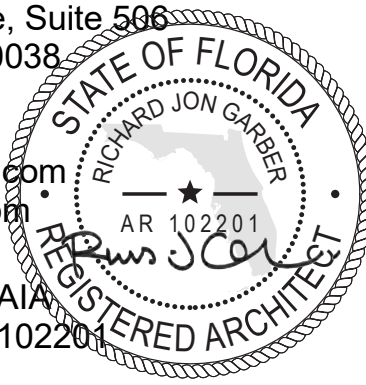
MATERIAL LEGEND

LIGHTING FIXTURE

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	L.01 OUTDOOR DOWN WALL SCONCE



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DEVELOPMENT APPLICATION:

PERMIT SUBMISSION:

PROGRESS: 2 JUNE 2023

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

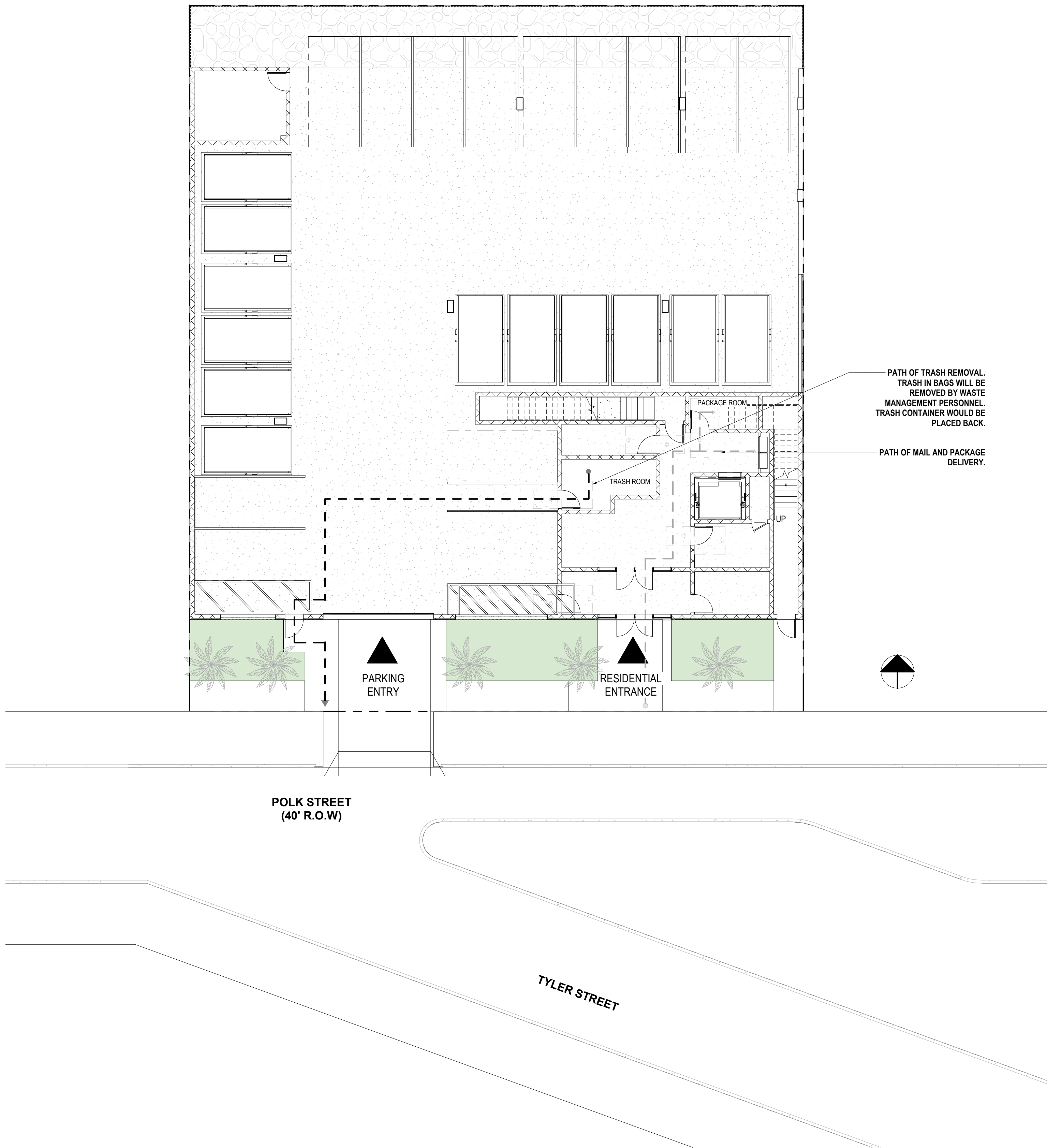
PROJECT NUMBER: DRAWN BY:
Author

DESIGNED BY: CHECKED BY:

SHEET TITLE:
LIGHTING PLAN

SHEET NO.: PAGE NO.:

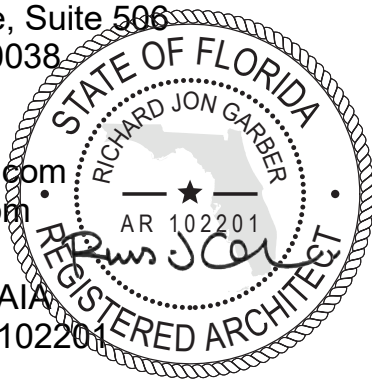
PB-050



1 BIKE AND TRASH REMOVAL
3/32" = 1'-0"



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PROJECT:

NEW CONSTRUCTION
MULTI-FAMILY RESIDENTIAL
2133 - 2139 POLK STREET
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BLOCK:E LOT:8,9

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DEVELOPMENT APPLICATION:		
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PROGRESS: 2 JUNE 2023		
REVISIONS		
NO.	DATE	DESCRIPTION

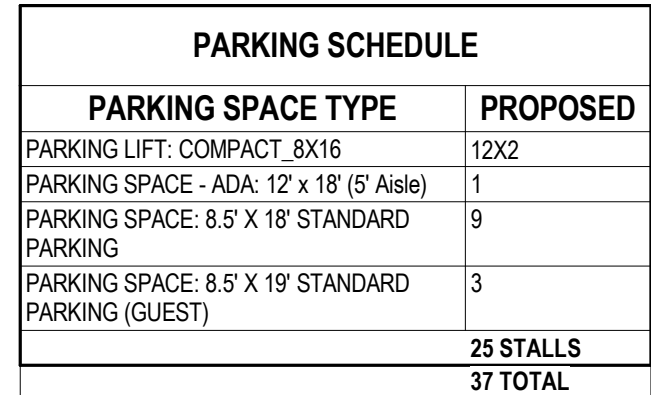
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PROJECT NUMBER: DRAWN BY:
 Author

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SHEET TITLE:
TRASH REMOVAL PLAN & MAIL
DELIVERY PLAN

SHEET NO.: PAGE NO.:
PB-080



1 FIRST FLOOR PLAN
3/16" = 1'-0"



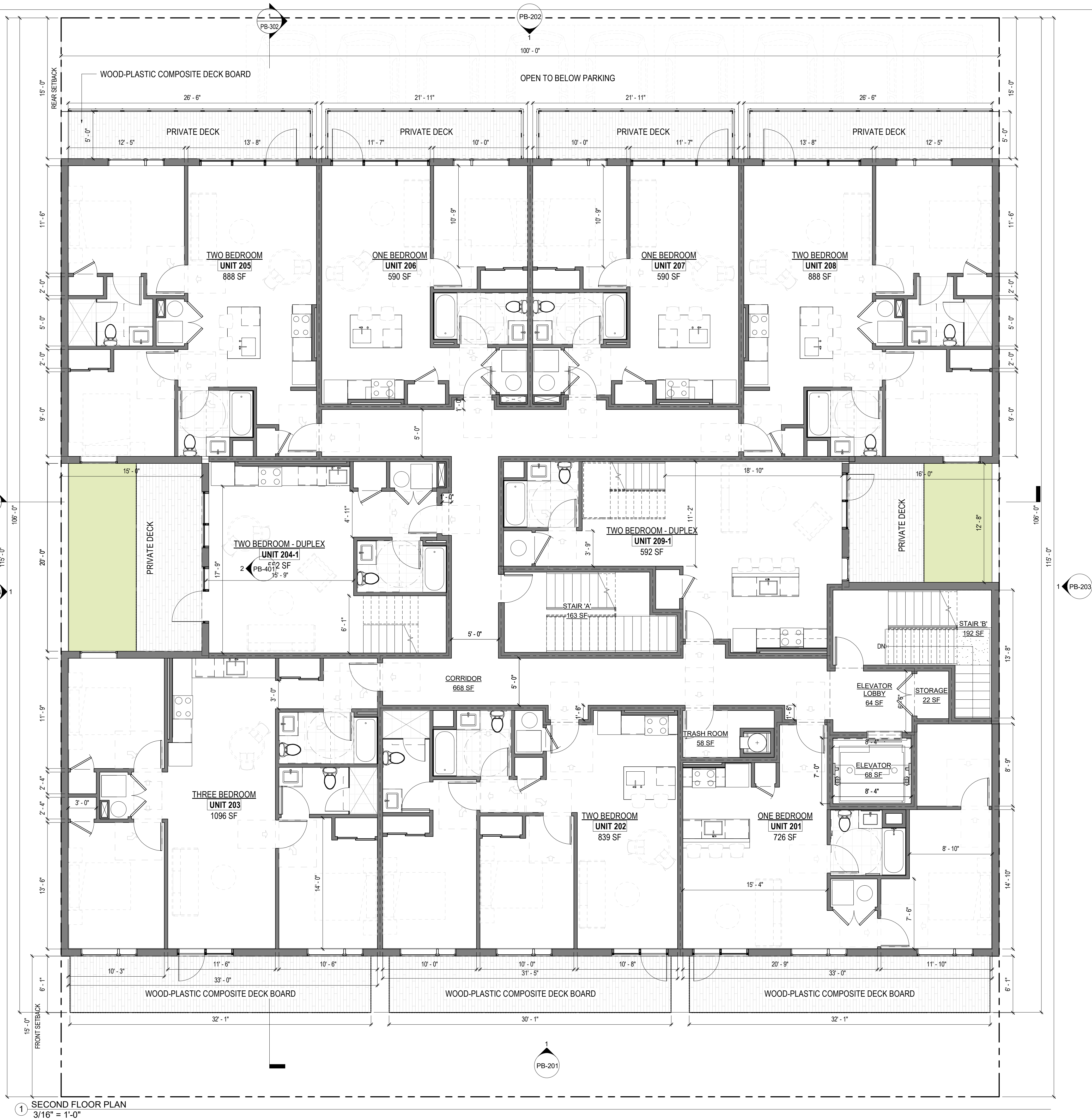
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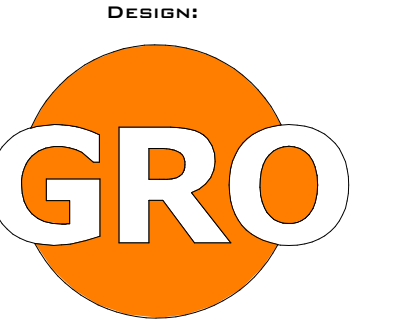
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PB-101

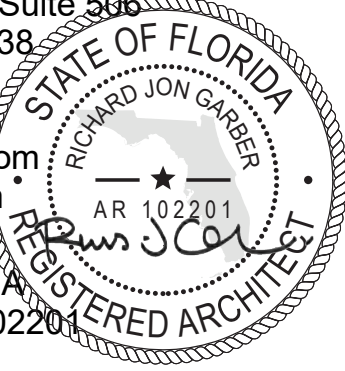
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1 SECOND FLOOR PLAN
3/16" = 1'-0"



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PROGRESS: 2 JUNE 2023

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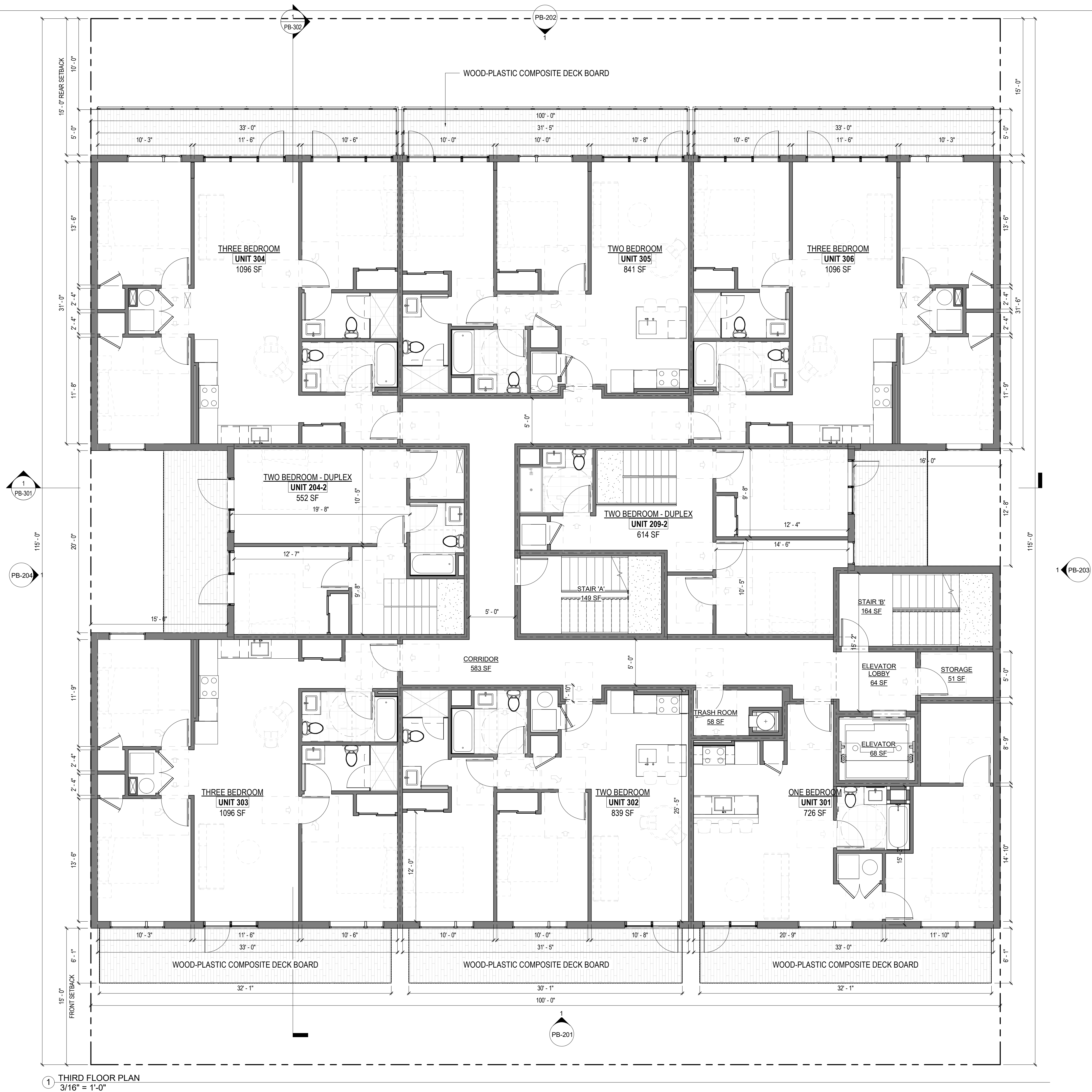
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SECOND FLOOR PLAN

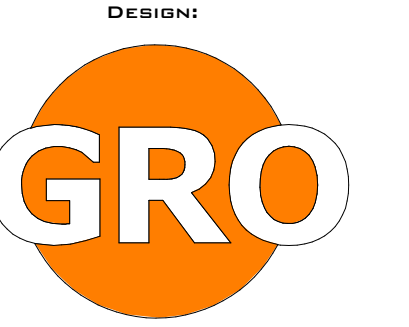
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PB-102

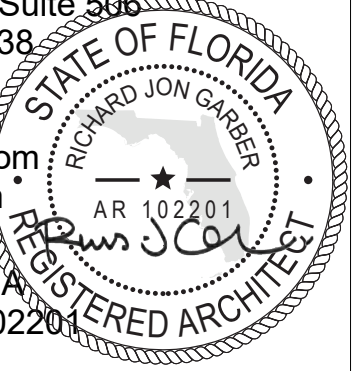
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1 THIRD FLOOR PLAN
3/16" = 1'-0"



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DEVELOPMENT APPLICATION:

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PROGRESS: 2 JUNE 2023

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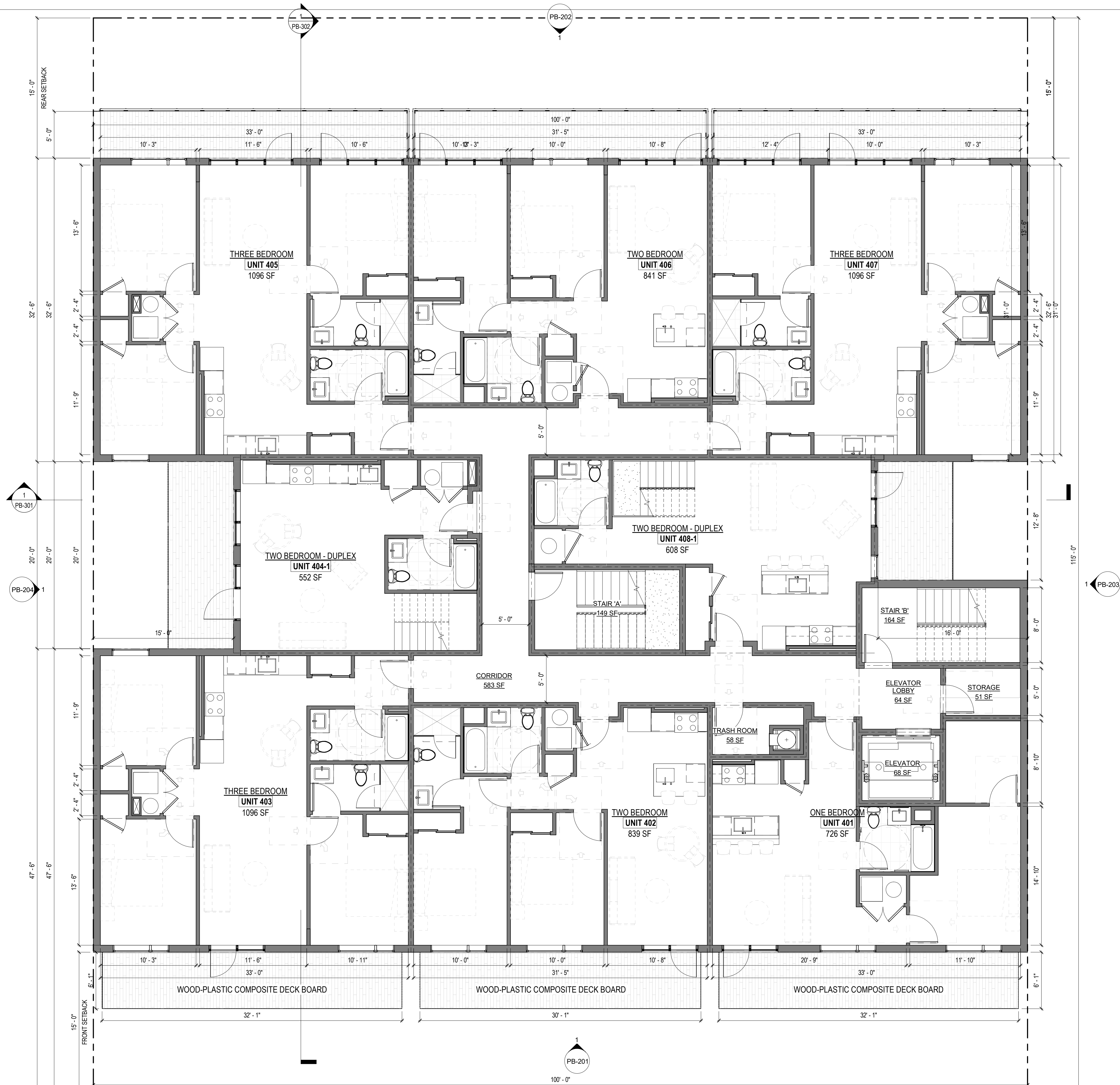
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Author

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THIRD FLOOR PLAN

SHEET NO.: PAGE NO.:

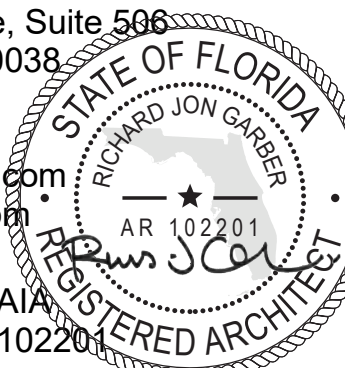
PB-103



1 FOURTH FLOOR PLAN
3/16" = 1'-0"



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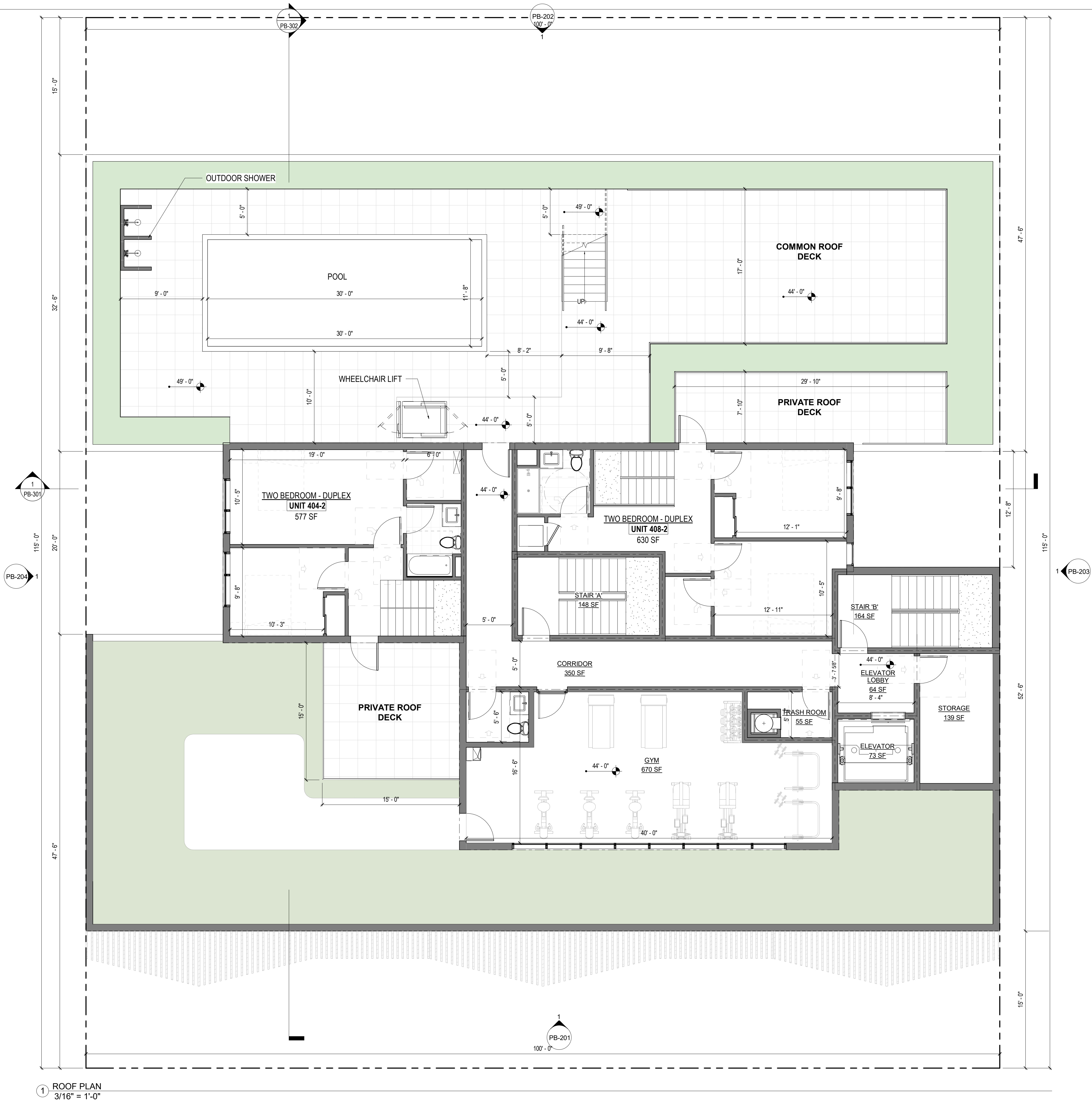
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FOURTH FLOOR PLAN

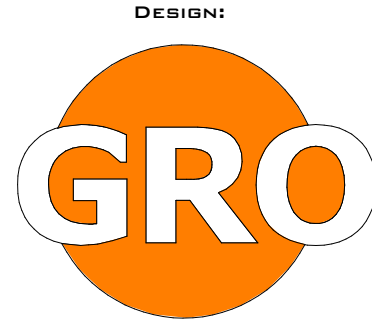
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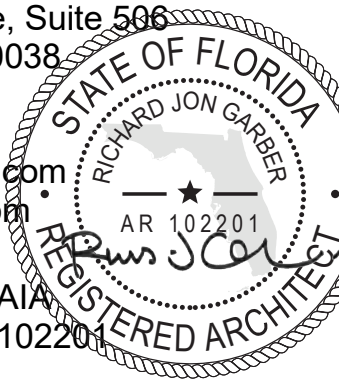
PB-104



1 ROOF PLAN
3/16" = 1'-0"



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REVISIONS		
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Author
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SHEET TITLE:
ROOF PLAN

SHEET NO.: PAGE NO.:
PB-106



Nicole Robertson, AIA

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DEVELOPMENT APPLICATIONS

PERMIT SUBMISSION

PROGRESS:	2 JUNE 2023
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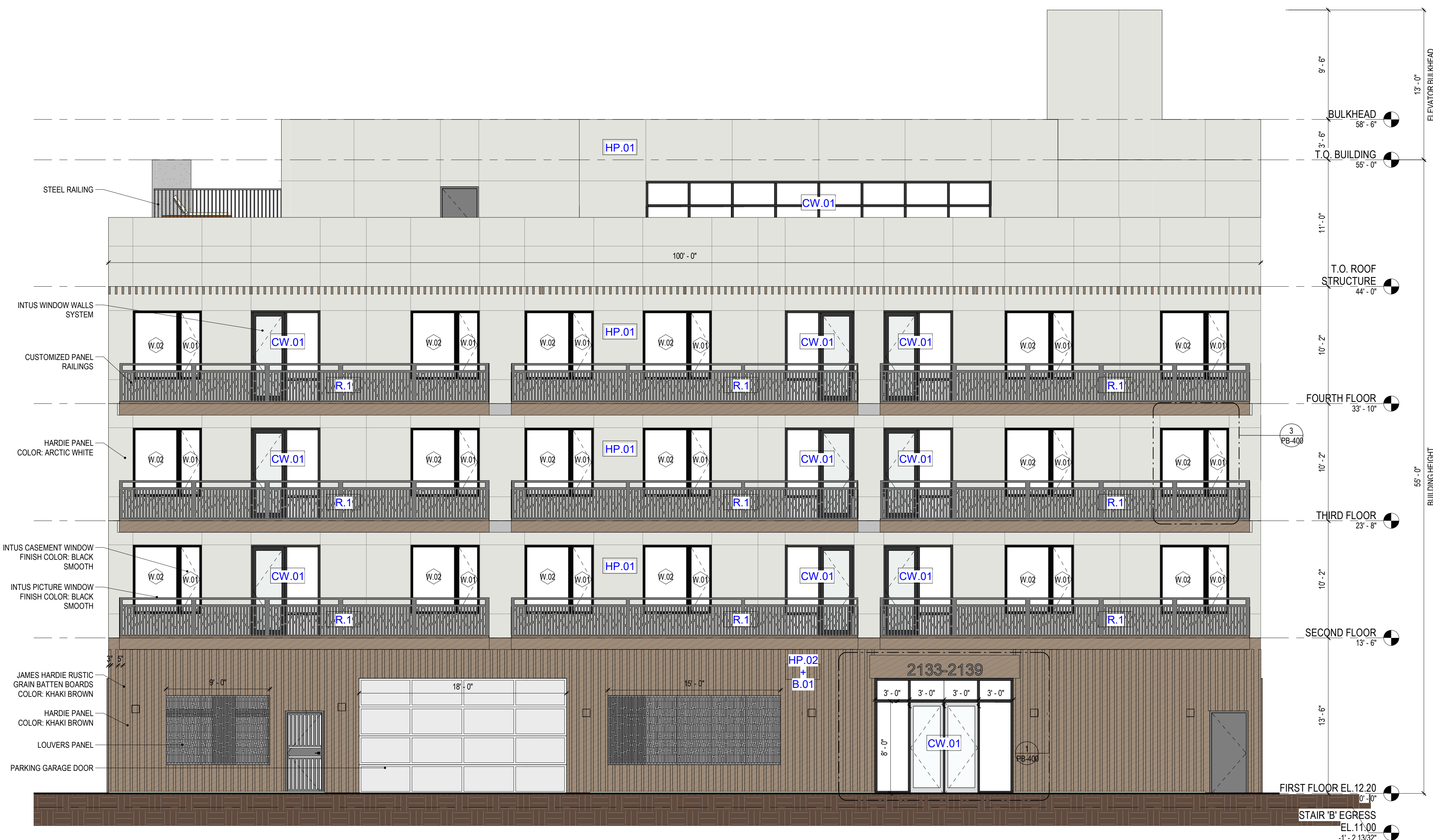
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DESIGNED BY:	CHECKED BY:

SHEET TITLE:
EXTERIOR ELEVATION

SHEET NO.:	PAGE NO.
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PB-201


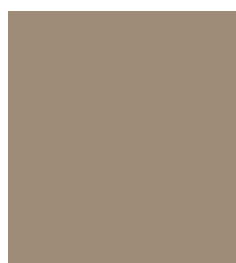
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① FRONT ELEVATION
3/16" = 1'-0"


MATERIAL LEGEND

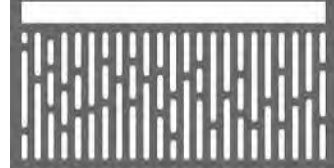

HARDIE PANEL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	<p>HP.01</p> <p>HARDIE PANEL COLOR: ARCTIC WHITE</p>
	<p>HP.02</p> <p>HARDIE PANEL COLOR: KHAKI BROWN</p>

STUCCO	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	<p>ST.01</p> <p>STUCCO COLOR: ARCTIC WHITE RGB: 226, 227, 221</p>
	<p>ST.02</p> <p>STUCCO COLOR: KHAKI BROWN RGB: 158, 139, 120</p>

BATTEN BOARDS	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	<p>B.01</p> <p>JAMES HARDIE RUSTIC GRAIN BATTEN BOARDS</p> <p>COLOR: KHAKI BROWN</p>

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	<p>W.1</p> <p>INTUS CASEMENT WINDOW</p> <p>FINISH COLOR: BLACK SMOOTH</p>
	<p>W.2</p> <p>INTUS PICTURE WINDOW</p> <p>FINISH COLOR: BLACK SMOOTH</p>

WINDOW WALL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	<p data-bbox="1941 1631 1977 1641">CW.01</p> <p data-bbox="1941 1651 2044 1671">INTUS WINDOW WALLS SYSTEM</p> <p data-bbox="1941 1710 2044 1716">FINISH: BLACK SMOOTH</p>

RAILING	
MATERIAL SAMPLE	DESCRIPTION/ FINISH <div>R.01</div> CUSTOMIZED PANEL RAILING
	
	<div>R.02</div> CABLE RAILING



1 REAR ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND

HARDIE PANEL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	HP.01 HARDIE PANEL COLOR: ARCTIC WHITE
	HP.02 HARDIE PANEL COLOR: KHAKI BROWN

STUCCO

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	ST.01 STUCCO COLOR: ARCTIC WHITE RGB: 226, 227, 221
	ST.02 STUCCO COLOR: KHAKI BROWN RGB: 158, 139, 120

BATTEN BOARDS

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 JAMES HARDIE RUSTIC GRAIN BATTEN BOARDS COLOR: KHAKI BROWN

WINDOW

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.1 INTUS CASEMENT WINDOW FINISH COLOR: BLACK SMOOTH
	W.2 INTUS PICTURE WINDOW FINISH COLOR: BLACK SMOOTH

WINDOW WALL

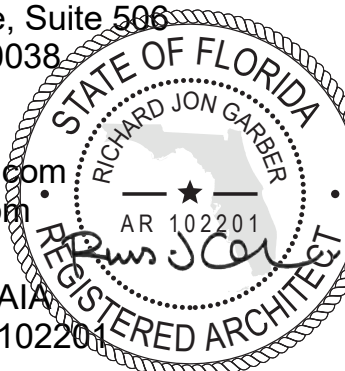
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 INTUS WINDOW WALLS SYSTEM FINISH: BLACK SMOOTH

RAILING

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	R.01 CUSTOMIZED PANEL RAILING
	R.02 CABLE RAILING



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PROJECT:

NEW CONSTRUCTION
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2133 - 2139 POLK STREET
HOLLYWOOD, FL 33020
BLOCK:E LOT:8,9

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PROGRESS: 2 JUNE 2023

REVISIONS

NO.	DATE	DESCRIPTION

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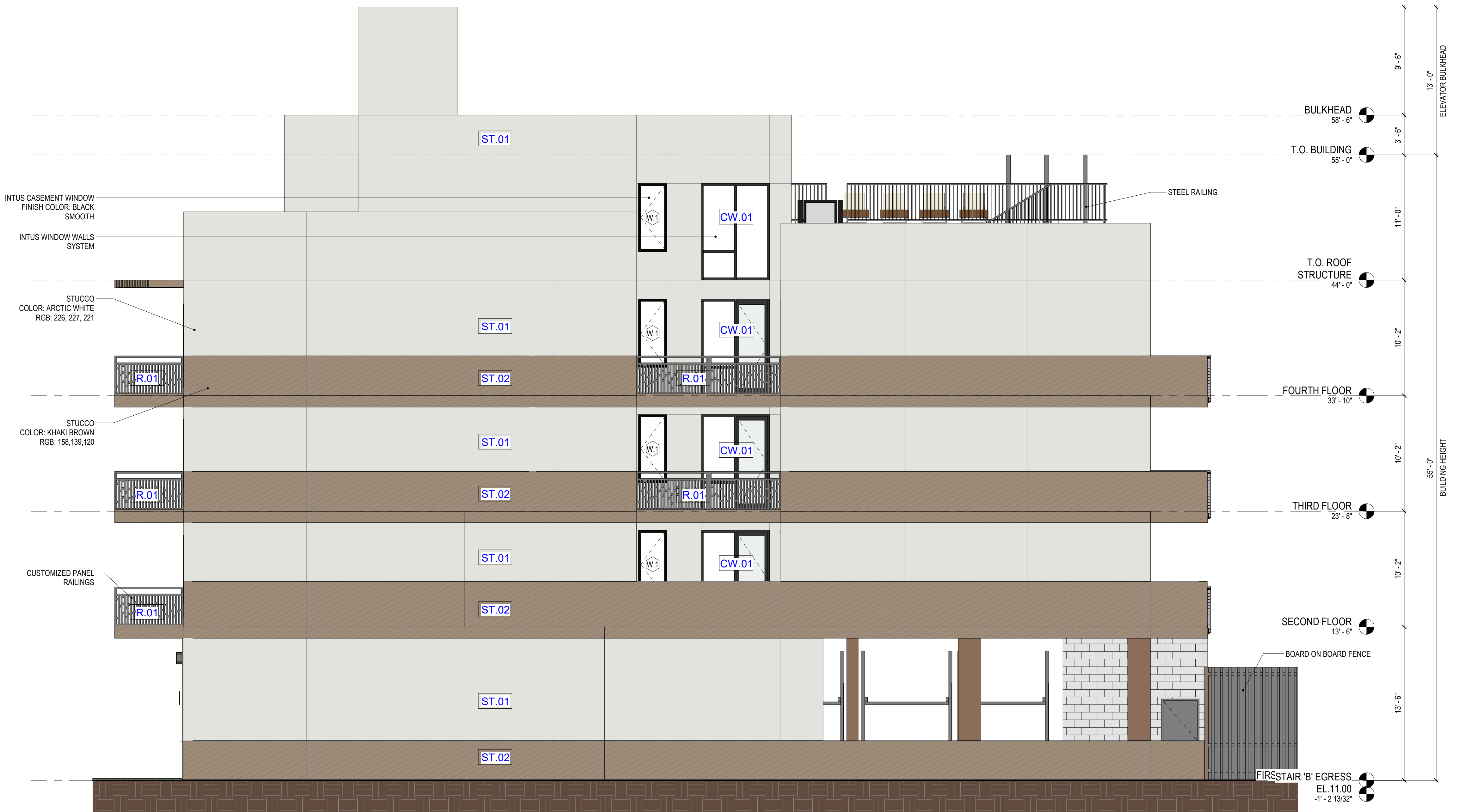
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EXTERIOR ELEVATION

SHEET NO.:

PAGE NO.:

PB-202





1 SIDE ELEVATION 01
3/16" = 1'-0"

MATERIAL LEGEND



HARDIE PANEL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	HP.01 HARDIE PANEL COLOR: ARCTIC WHITE
	HP.02 HARDIE PANEL COLOR: KHAKI BROWN



STUCCO

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	ST.01 STUCCO COLOR: ARCTIC WHITE RGB: 226, 227, 221
	ST.02 STUCCO COLOR: KHAKI BROWN RGB: 158, 139, 120


BATTEN BOARDS

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 JAMES HARDIE RUSTIC GRAIN BATTEN BOARDS
	COLOR: KHAKI BROWN

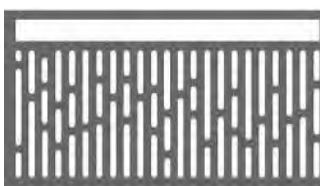

WINDOW

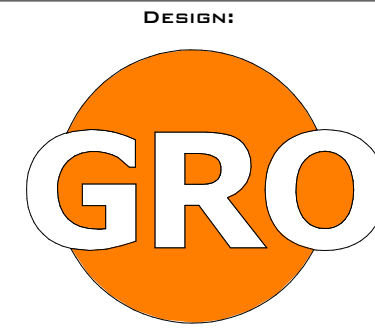
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	W.2 INTUS PICTURE WINDOW FINISH COLOR: BLACK SMOOTH

WINDOW WALL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 INTUS WINDOW WALLS SYSTEM FINISH: BLACK SMOOTH

RAILING

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	R.01 CUSTOMIZED PANEL RAILING
	R.02 CABLE RAILING



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PROGRESS: 2 JUNE 2023

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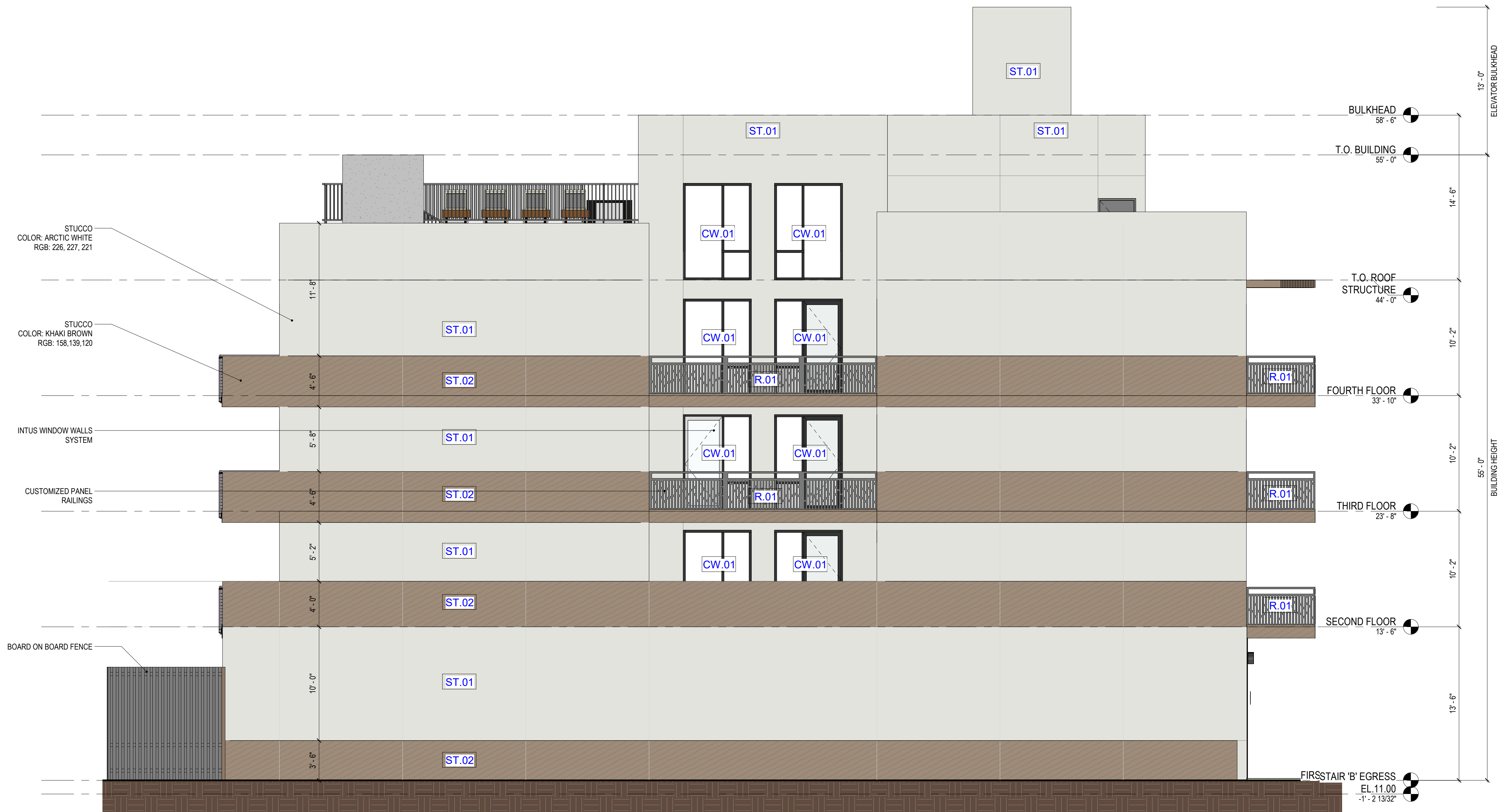
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EXTERIOR ELEVATION

SHEET NO.:

PAGE NO.:

PB-203



1 SIDE ELEVATION 02
3/16" = 1'-0"

MATERIAL LEGEND

HARDIE PANEL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	HP.01 HARDIE PANEL COLOR: ARCTIC WHITE
	HP.02 HARDIE PANEL COLOR: KHAKI BROWN

STUCCO

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	ST.01 STUCCO COLOR: ARCTIC WHITE RGB: 226, 227, 221
	ST.02 STUCCO COLOR: KHAKI BROWN RGB: 158, 139, 120

BATTEN BOARDS

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 JAMES HARDIE RUSTIC GRAIN BATTEN BOARDS COLOR: KHAKI BROWN

WINDOW

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.1 INTUS CASEMENT WINDOW FINISH COLOR: BLACK SMOOTH
	W.2 INTUS PICTURE WINDOW FINISH COLOR: BLACK SMOOTH

WINDOW WALL

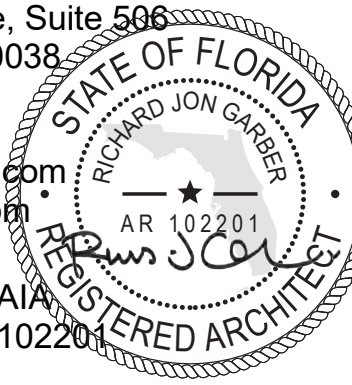
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 INTUS WINDOW WALLS SYSTEM FINISH: BLACK SMOOTH

RAILING

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	R.01 CUSTOMIZED PANEL RAILING
	R.02 CABLE RAILING



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DEVELOPMENT APPLICATION:

PERMIT SUBMISSION:

PROGRESS: 2 JUNE 2023

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Author

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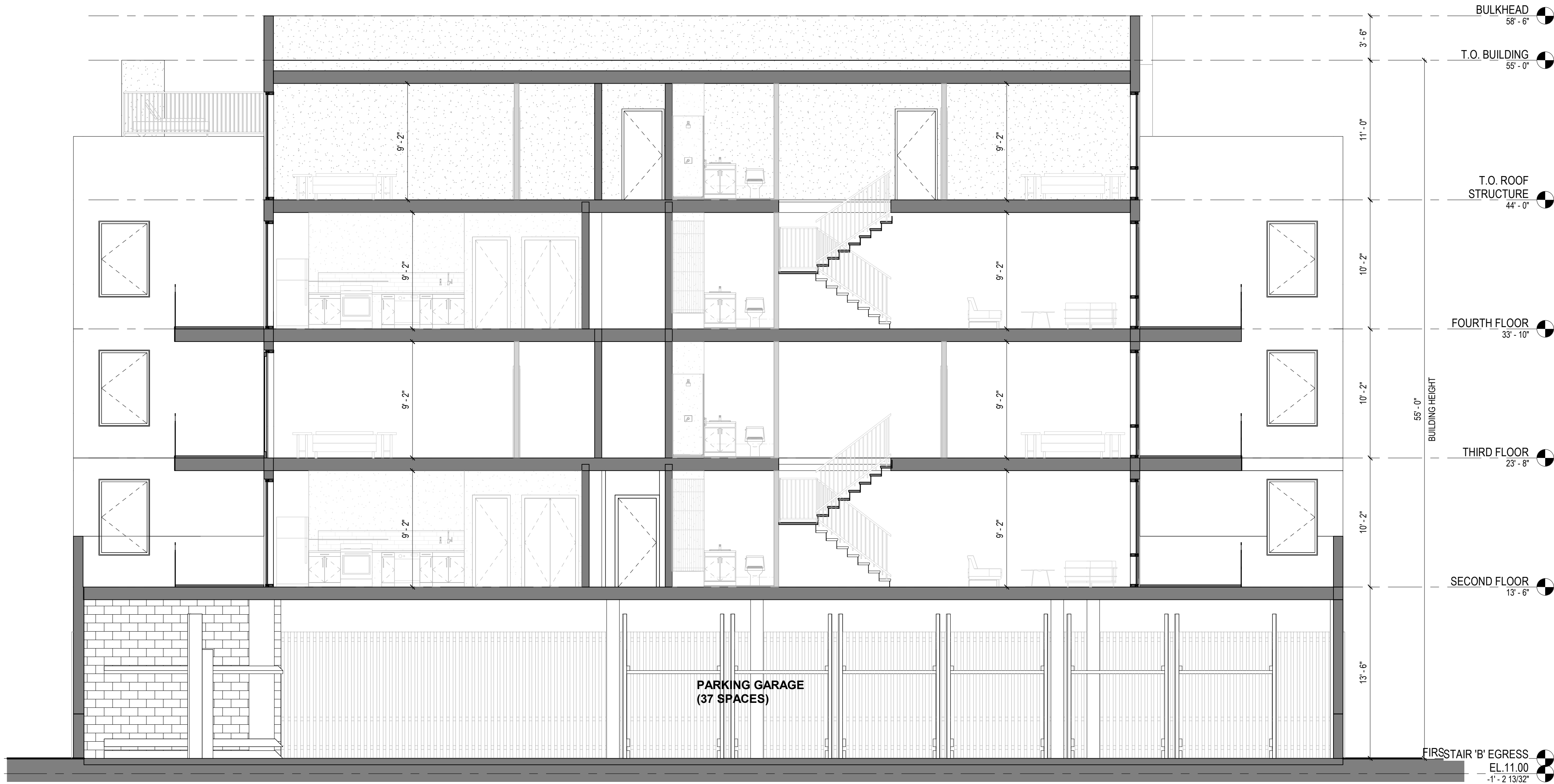
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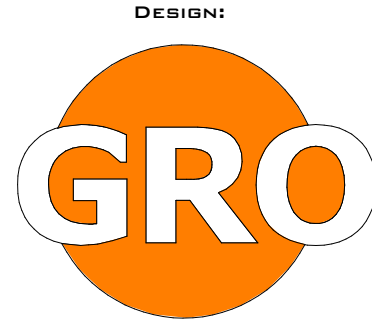
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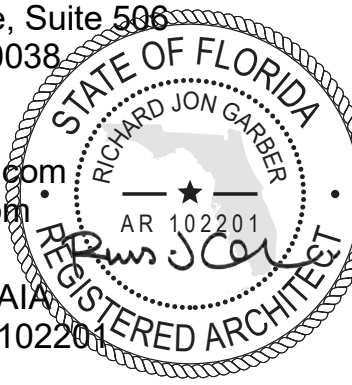
PB-204



① SECTION 01
3/16" = 1'-0"



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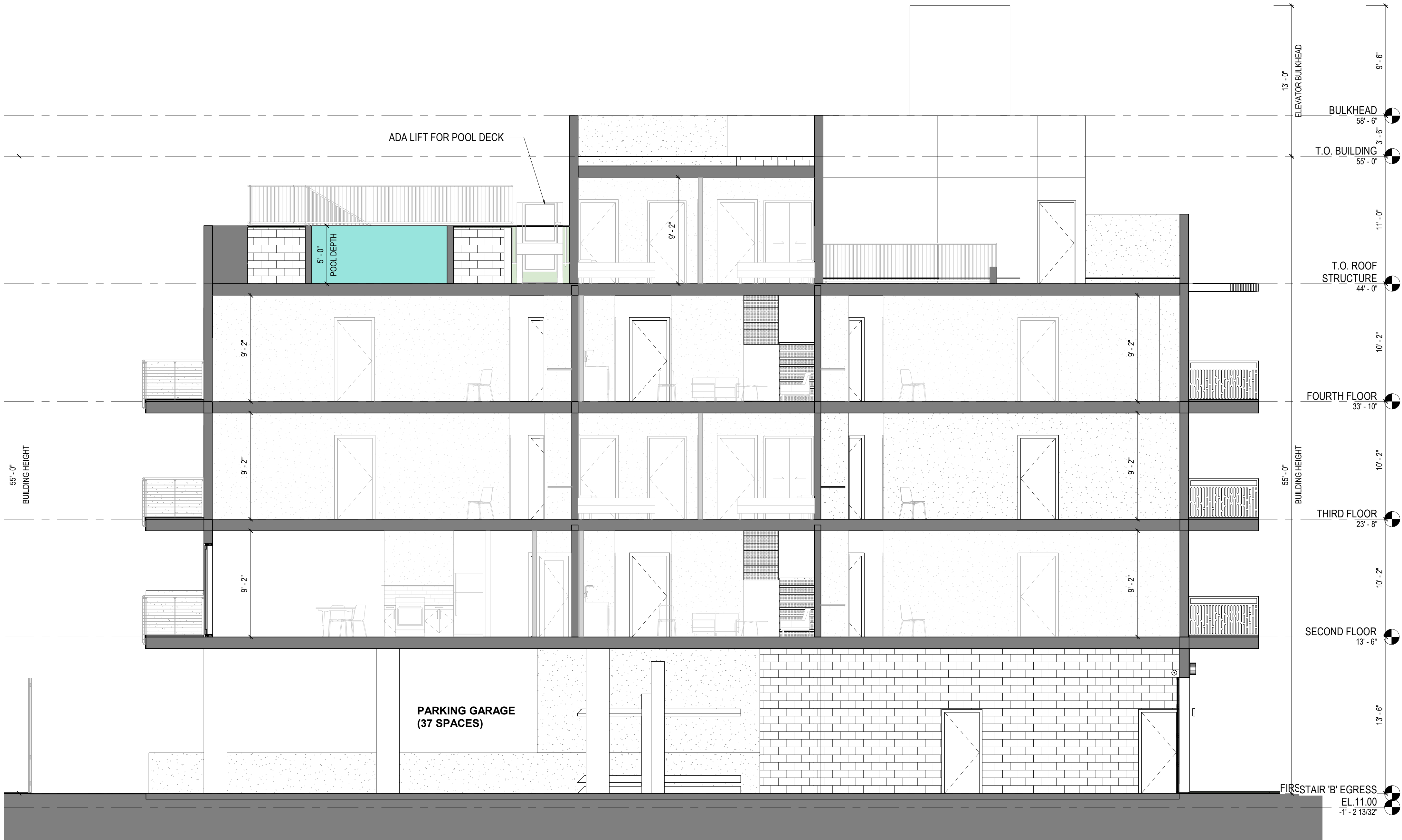
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PROGRESS: 2 JUNE 2023		
REVISIONS		
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SHEET TITLE:
SECTION 01

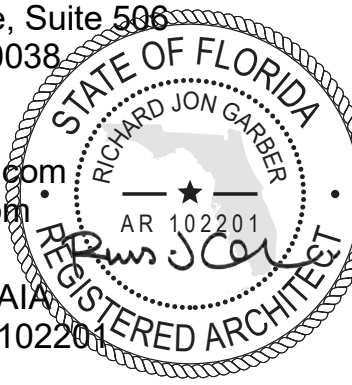
SHEET NO.: PAGE NO.:
PB-301



1 SECTION 02
3/16" = 1'-0"



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FL License # AR102201

Nicole Robertson, AIA

PROJECT:
**NEW CONSTRUCTION
MULTI-FAMILY RESIDENTIAL**
2133 - 2139 POLK STREET
HOLLYWOOD, FL 33020
BLOCK:E LOT:8,9

CLIENT:
POLK EQUITIES LLC
PO BOX 630246
MIAMI, FLORIDA, 33480
t (347)-432-7684
e simon@skydevelopersnj.com

CONSULTANTS:

CIVIL ENGINEER
HOLLAND ENGINEERING
301 SW 7TH STREET
FT. LAUDERDALE, FL, 33315
t (954)-367-0371
e susan@hollandengineering.net

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DEVELOPMENT APPLICATION:		
PERMIT SUBMISSION:		
PROGRESS: 2 JUNE 2023		
REVISIONS		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

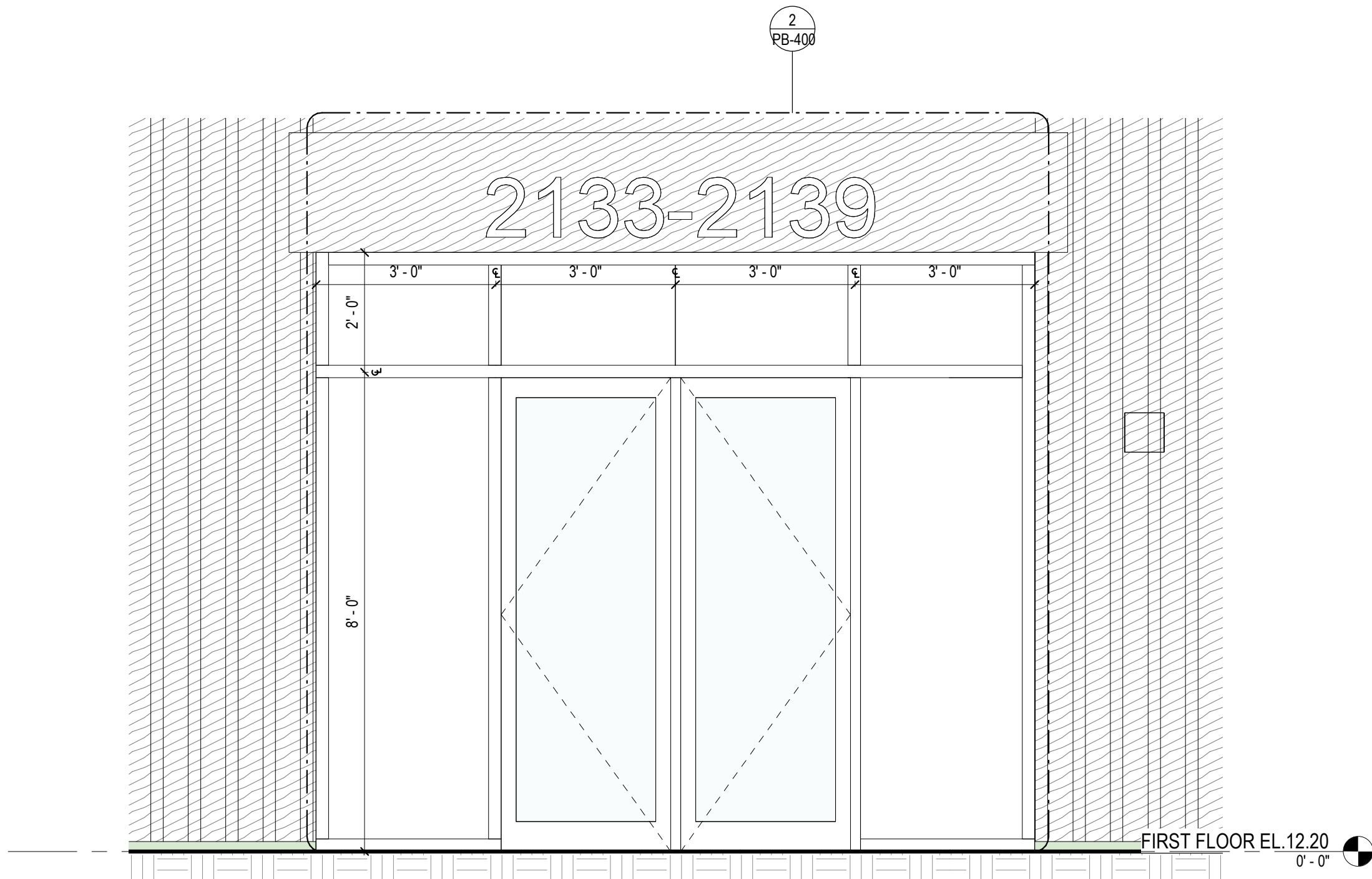
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 Author

DESIGNED BY: CHECKED BY:

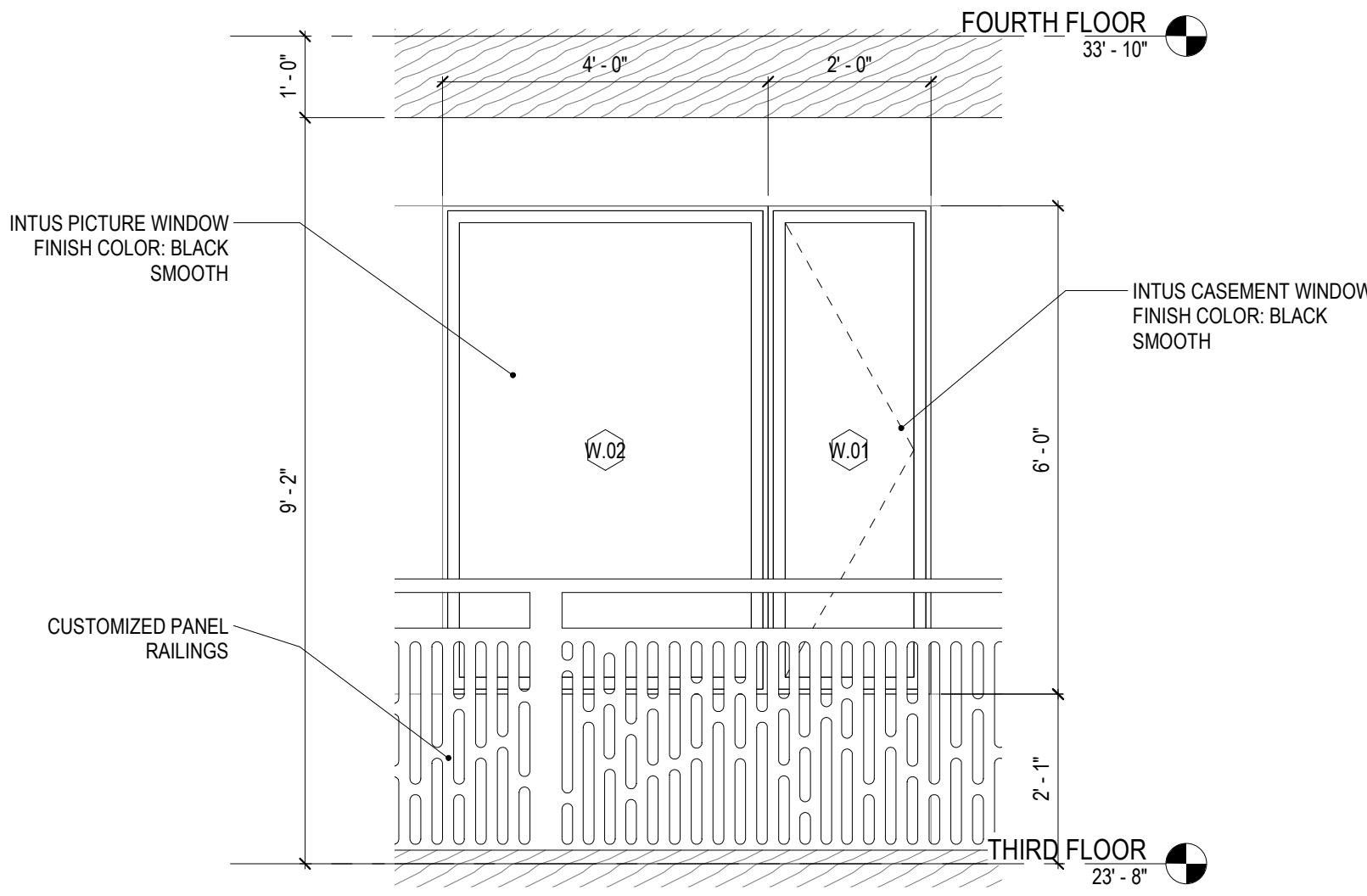
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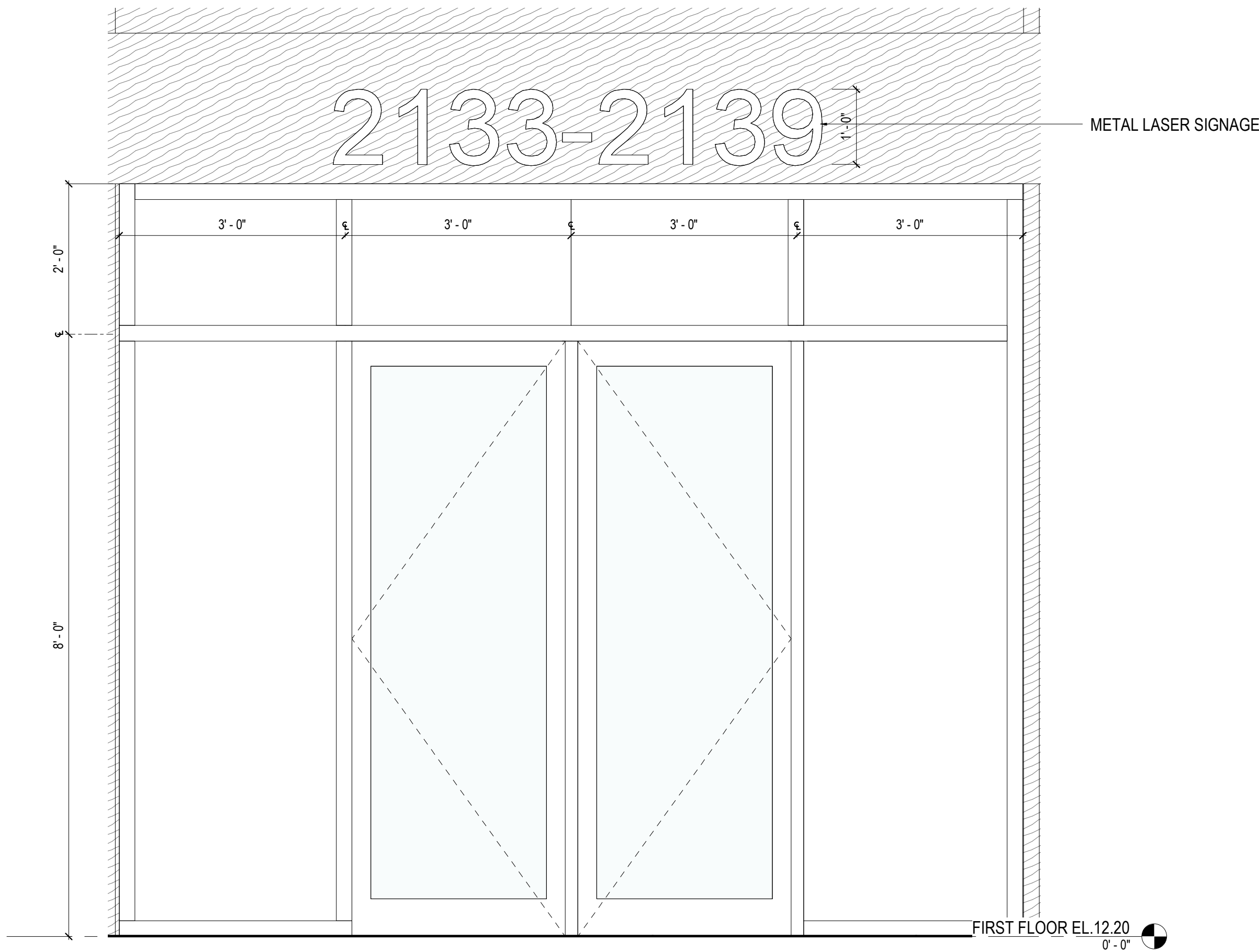
PB-302



1 ENLARGED ENTRANCE DETAIL
1/2" = 1'-0"



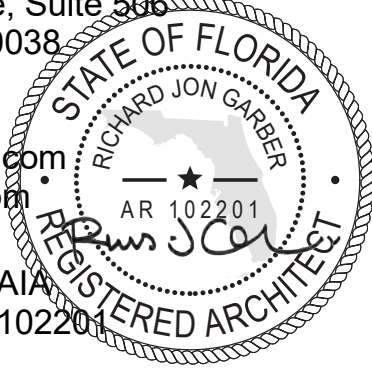
3 ENLARGED WINDOW DETAIL 01
1/2" = 1'-0"



2 ENLARGED ENTRANCE DETAIL - Callout 1
3/4" = 1'-0"



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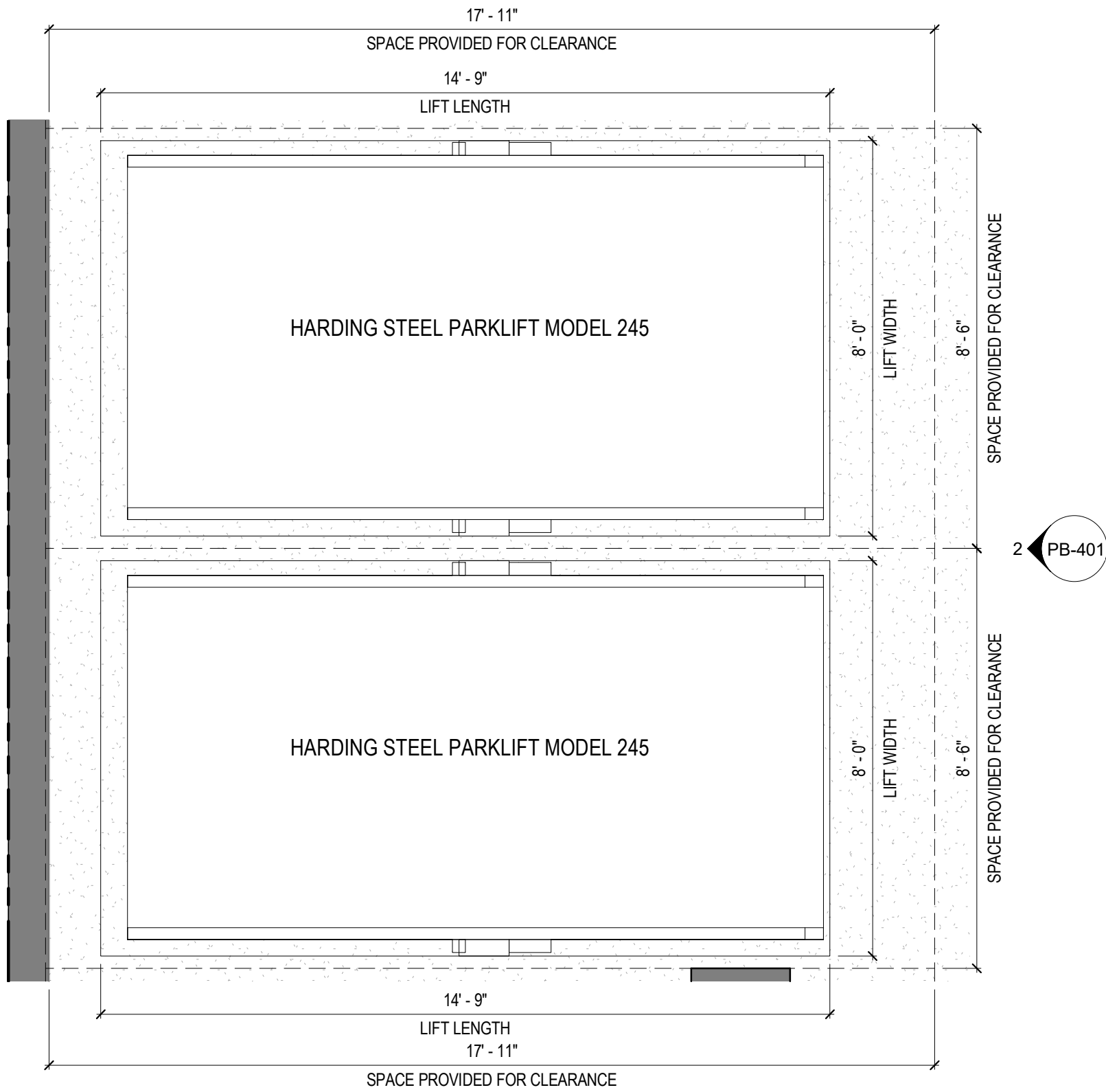
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DEVELOPMENT APPLICATION:		
PERMIT SUBMISSION:		
PROGRESS: 2 JUNE 2023		
REVISIONS		
NO.	DATE	DESCRIPTION

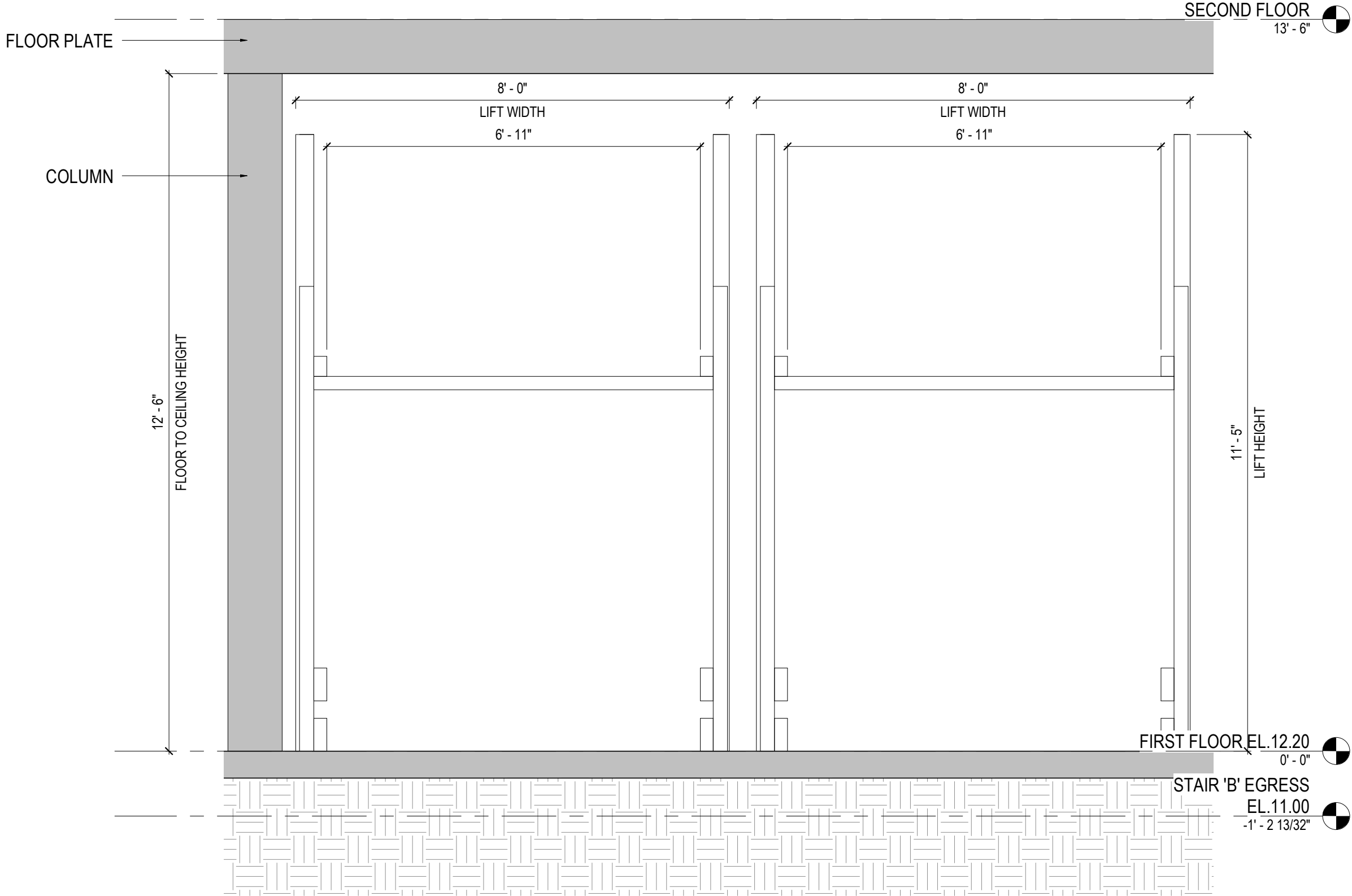
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PROJECT NUMBER:	DRAWN BY: Author
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SHEET TITLE: ENLARGED EXTERIOR ELEVATIONS	
SHEET NO.:	PAGE NO.:

PB-400



1 PARKING LIFT CALLOUT - PARKLIFT 245T
3/8" = 1'-0"



2 PARKING LIFT ELEVATION - PARKLIFT 245T
1/2" = 1'-0"

HARDING STEEL - PARKLIFT 245T

OVERALL WIDTH 96'-7 1/16"
PLATFORM WIDTH 82'-1 1/16"
DRIVE-THRU WIDTH 88"
OVERALL PLATFORM LENGTH 177'-1 1/8"
MAXIMUM VEHICLE WHEELBASE 146"
MAXIMUM CLEARANCE (LOWER CAR) 80"
OVERALL HEIGHT 11'-5"

WORKING CAPACITY 6,000 LBS.
STATIC CAPACITY 12,000 LBS.
DYNAMIC CAPACITY 9,000 LBS.

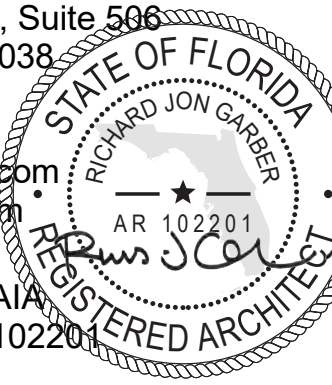
LIFTING SPEED (SECONDS) 17 SECONDS
LOWERING SPEED (SECONDS) 15 SECONDS

POWER REQUIREMENTS 220V 3 PHASE 40 AMP
220V SINGLE PHASE 40 AMP

APPLICATION OUTDOOR/INDOOR
SURFACE ASPHALT/CONCRETE
MATERIAL 100% GALVANIZED STEEL
SAFETY STEEL-ON-STEEL LOCKS



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DEVELOPMENT APPLICATION:

PERMIT SUBMISSION:

PROGRESS: 2 JUNE 2023

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

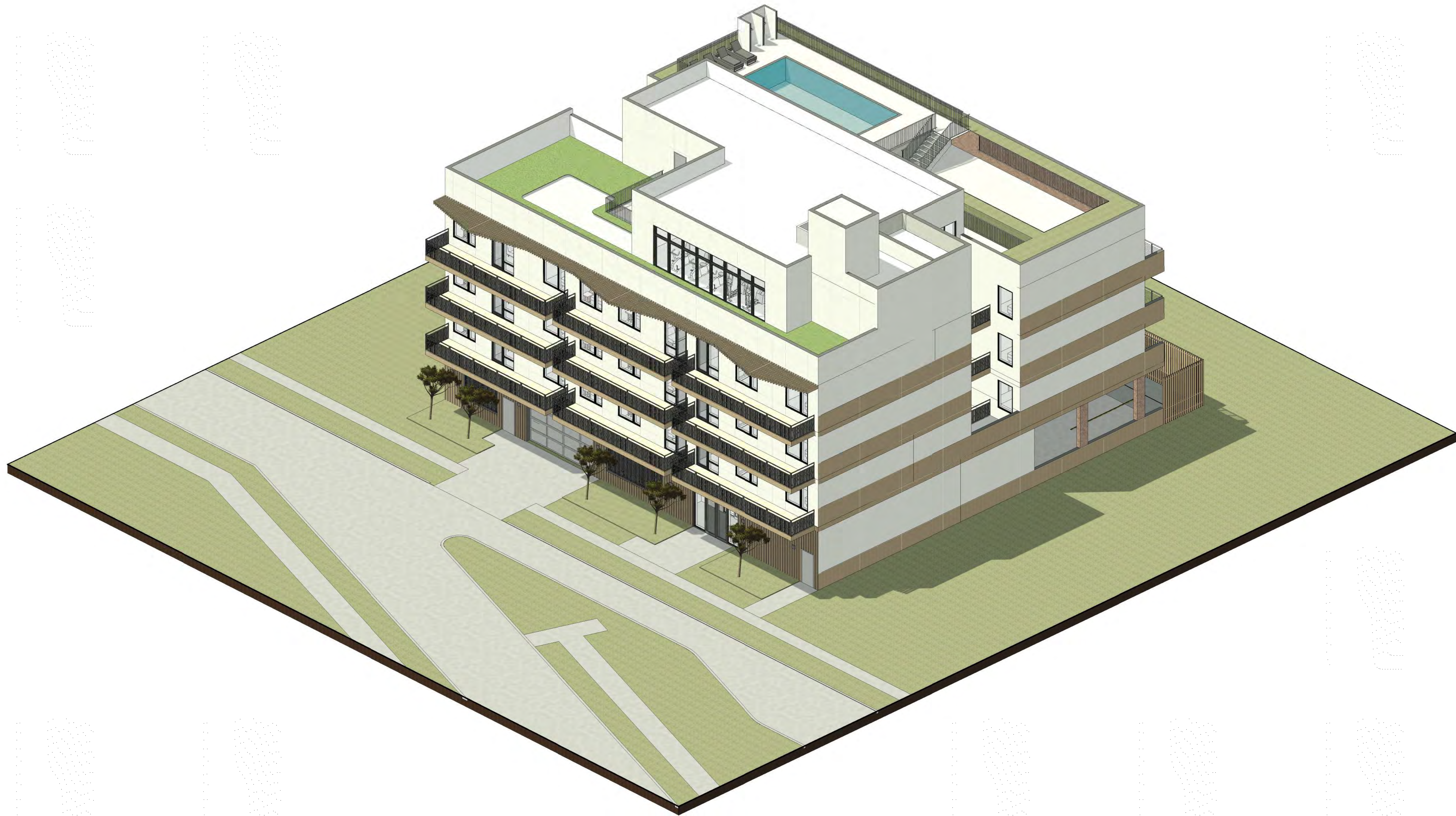
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Author

DESIGNED BY: CHECKED BY:

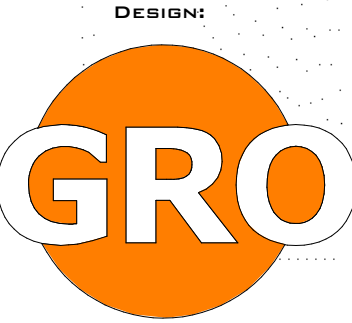
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DETAILS VIEW

SHEET NO.: PAGE NO.:

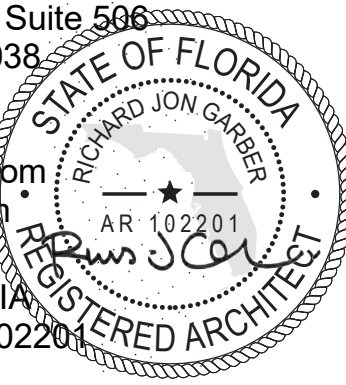
PB-401



1 AXON VIEW



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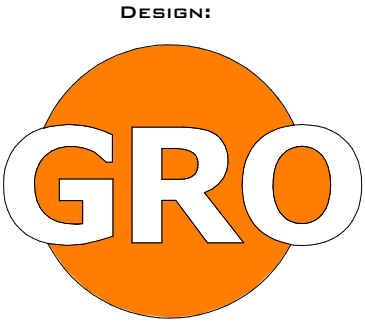
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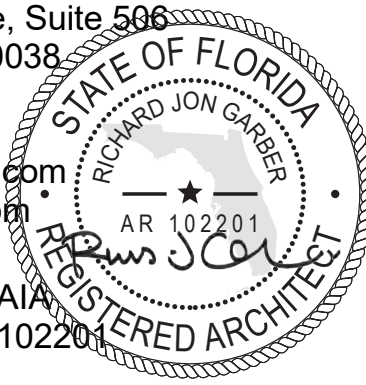
DEVELOPMENT APPLICATION:		
PERMIT SUBMISSION:		
PROGRESS: 2 JUNE 2023		
REVISIONS		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER:	DRAWN BY: Author
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SHEET TITLE: AXON VIEW	
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SHEET NO.:	PAGE NO.:
PB-901	



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PROJECT:
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BLOCK:E LOT:8,9

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DEVELOPMENT APPLICATION:		
PERMIT SUBMISSION:		
PROGRESS: 2 JUNE 2023		
REVISIONS		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT NUMBER:	DRAWN BY:
	Author
DESIGNED BY:	CHECKED BY:
SHEET TITLE: STREET VIEW	
SHEET NO.:	PAGE NO.:
PB-902	

NOTES:

1. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
2. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
3. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
4. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD REQUIREMENTS.
5. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
6. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
7. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
8. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
9. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
10. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
11. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

FLOOD INFORMATION:

Community name and number:
Hollywood, Broward County, Florida 125113
Map and panel number: 12011C0569H
Effective on 08/18/2014
Flood zone: "X"
Base flood elevation: N/A

BROWARD COUNTY 100-YEAR
FLOOD ELEVATION = 12' NAVD

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

LEGAL DESCRIPTION:

LOTS 8 & 9, "A SUBDIVISION OF LOTS 1 AND 2 OF BLOCK E IN HOLLYWOOD LITTLE RANCHES OWNED BY GEORGE W. COLES AND HELEN G. COLES," ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

GENERAL CONDITION NOTES:

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED 1. FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.

2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING 2. COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

FLORIDA POWER & LIGHT CO., CONSTRUCTION
SOUTHERN BELL TELEPHONE & TEL. CO.
CABLE CONSTRUCTION BUREAU
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.

2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION, THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.

3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL, NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC... ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN

5. THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS, THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.

6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LASH PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.

7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.

8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.

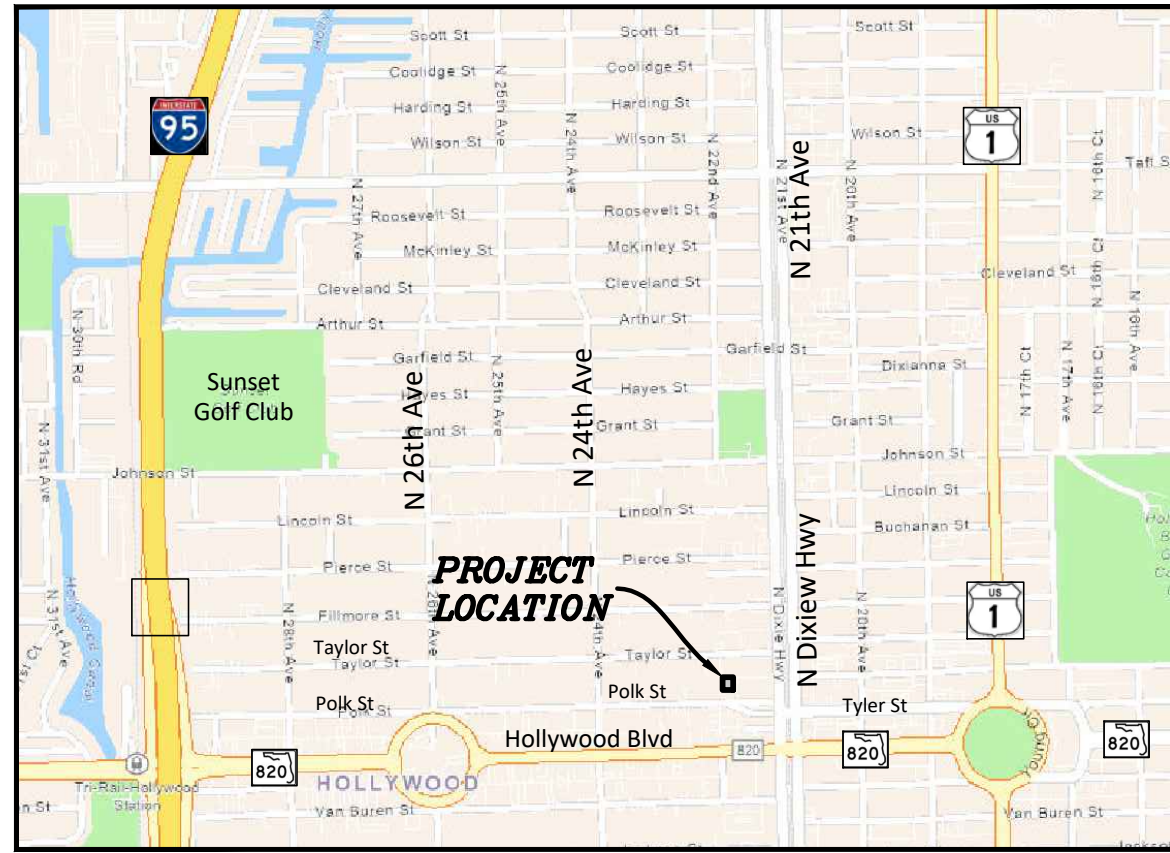
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 10. 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED. 11 CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)

12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.

13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.

14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -

RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
PCMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE HDPE = HIGH DENSITY POLYETHYLENE PIPE.



LOCATION MAP

N.T.S.

SEC 16, TWSP 51S, RNG 42E

NOTE:

ALL ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988

LEGEND:

- | | | | |
|--|-------------------------|--|-----------------|
| | PROPOSED STABILIZED SOD | | PROPOSED PAVERS |
| | | | |

J:\CAD\22-29\CAD Files\22-29_WS Plan.dwg — 6/1/2023 1:16 PM

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

FLOOD INFORMATION:
Community name and number:
Hollywood, Broward County, Florida 125113
Map and panel number: 12011C0569H
Effective on 08/18/2014
Flood zone: "X"
Base flood elevation: N/A

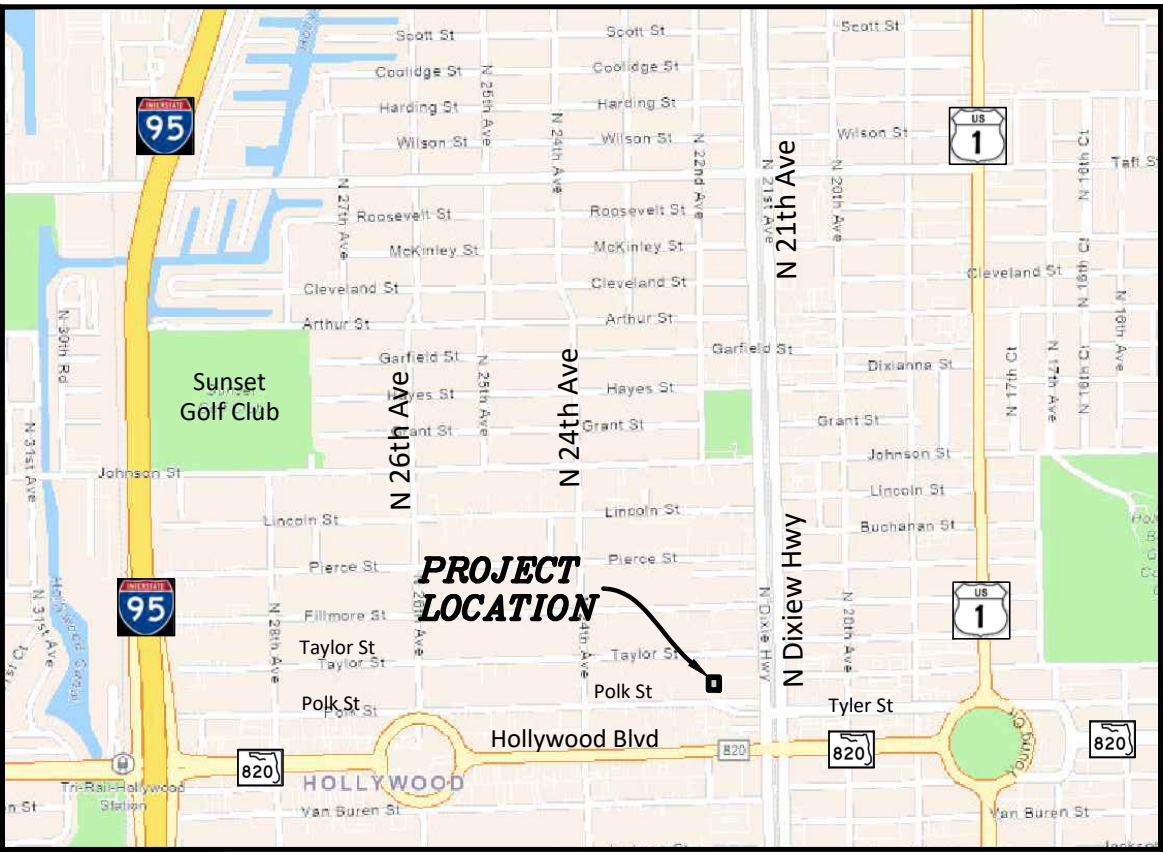
WATER AND SEWER DEMAND
23 RESIDENTIAL UNITS X 250 GPD/UNIT = 5,750 GPD

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NOTES:

- REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
- CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
- INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS
- UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS 633.102



LOCATION MAP
N.T.S.
SEC 16, TWSP 51S, RNG 42E

NOTE:
ALL ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988

LEGEND:

- | | | | |
|--|-------------------------------------|--|-----------------------------------|
| | PROPOSED STABILIZED SOD | | PROPOSED PAVERS |
| | PROPOSED 4" THICK CONCRETE | | PAVEMENT RESTORATION |
| | PROPOSED 6" THICK CONCRETE | | EXISTING PIPING AND APPURTENANCES |
| | PROPOSED ASPHALT | | EXISTING BACKFLOW PREVENTER |
| | PROPOSED GRADE ELEVATION | | EXISTING CATCH BASIN |
| | PROPOSED FIRE HYDRANT | | EXISTING CLEANOUT |
| | PROPOSED WATER METER | | EXISTING ELEVATION |
| | PROPOSED VALVE | | EXISTING GAS METER |
| | PROPOSED FIRE DEPARTMENT CONNECTION | | EXISTING MANHOLE (AS DESIGNATED) |
| | PROPOSED CATCH BASIN | | EXISTING MONITORING WELL |
| | PROPOSED DRAINAGE MANHOLE | | EXISTING SIGN (AS INDICATED) |
| | PROPOSED YARD DRAIN | | EXISTING VALVE BOX |
| | PROPOSED SIGN (AS INDICATED) | | EXISTING WATER METER |
| | PROPOSED CLEANOUT | | EXISTING CONCRETE POLE |
| | PROPOSED RPZ BACKFLOW PREVENTER | | EXISTING FENCE |
| | PROPOSED PIPING | | EXISTING FIRE HYDRANT |
| | PROPOSED SURFACE FLOW | | EXISTING ELEVATIONS |
| | PROPOSED SILT FENCE | | |



This item has been digitally signed & sealed by Susan C. Holland, P.E. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

WATER & SEWER PLAN

SCALE: 1"=10'

NO. OF SHEETS: 6				MULTI-FAMILY RESIDENCE 2133 POLK STREET HOLLYWOOD, FLORIDA 33020				NO. OF SHEETS: 6				SHEET NO.: C-2				CAD FILE NO. 22-29			
REVISIONS				NO.				DATE				BY				CHK'D DESCRIPTION			
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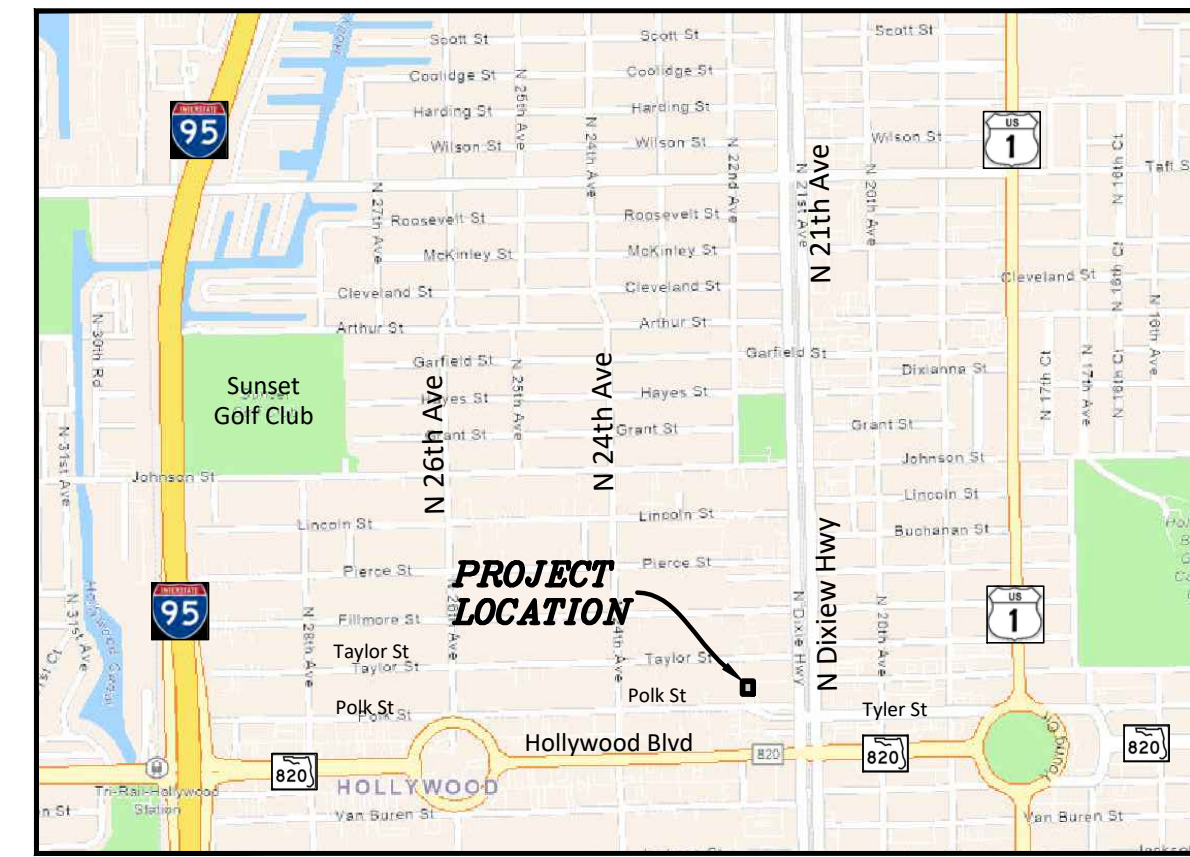
- PAVEMENT MARKING & SIGNING STANDARD NOTES**
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
 2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7', THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
 3. STOP BARS SHALL BE 24" WHITE.
 4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS NOTED OTHERWISE.
 5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND BROWARD COUNTY.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

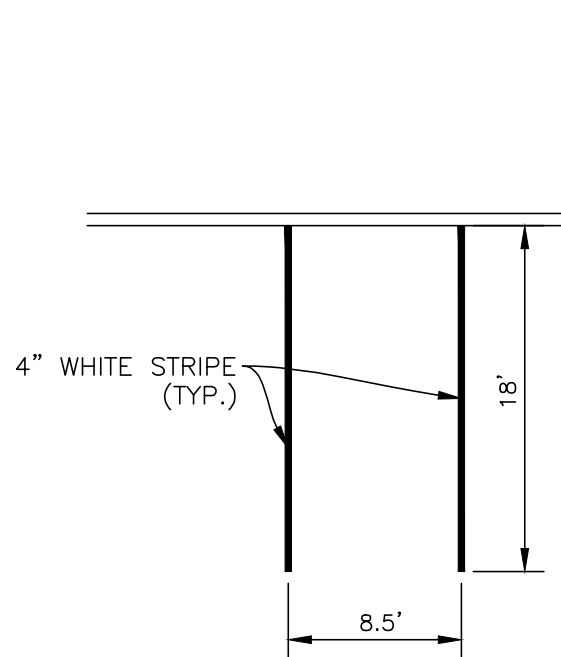
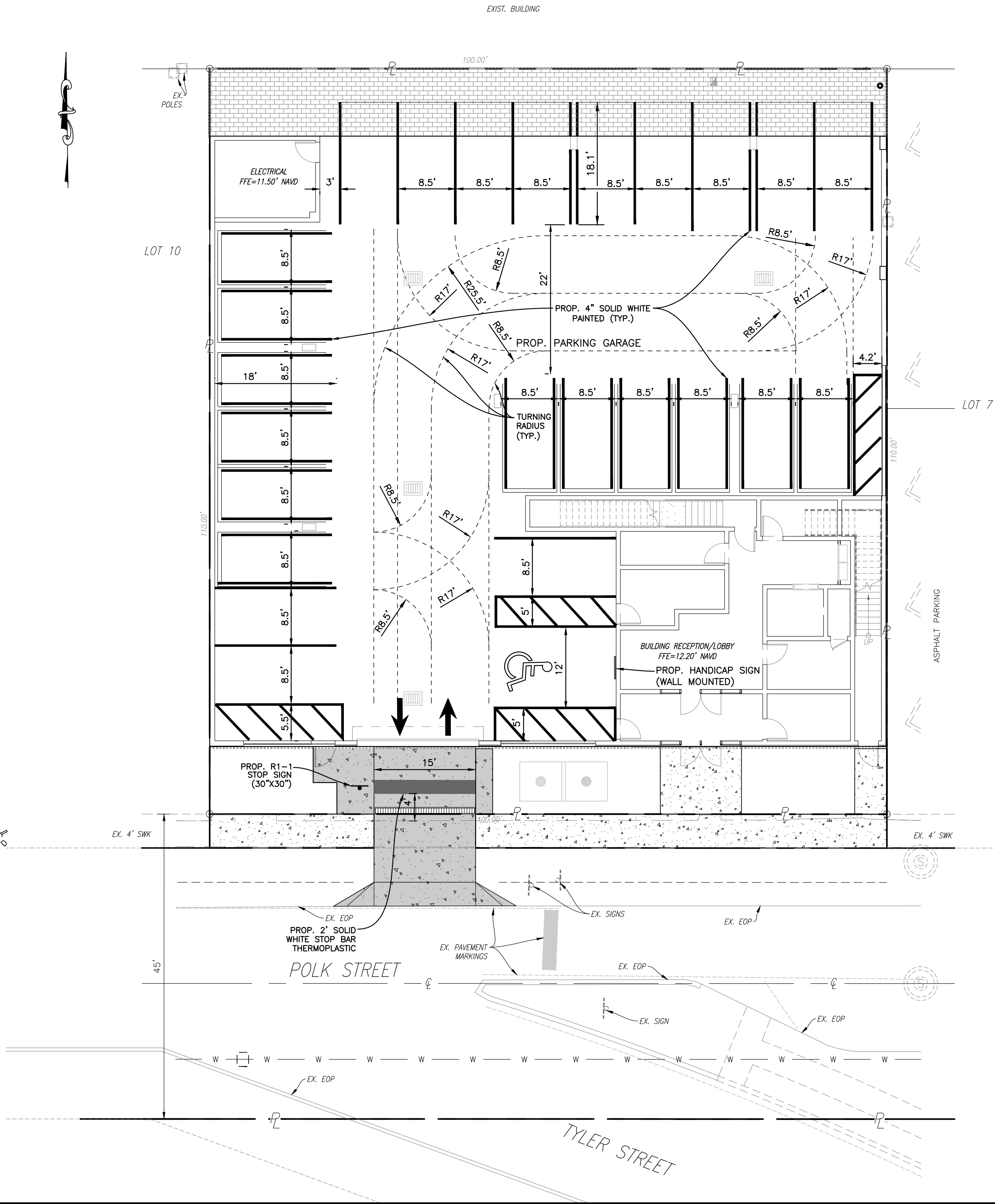
LEGAL DESCRIPTION:
LOTS 8 & 9, "A SUBDIVISION OF LOTS 1 AND 2 OF BLOCK E IN HOLLYWOOD LITTLE RANCHES OWNED BY GEORGE W. COLES AND HELEN G. COLES," ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

LEGEND:

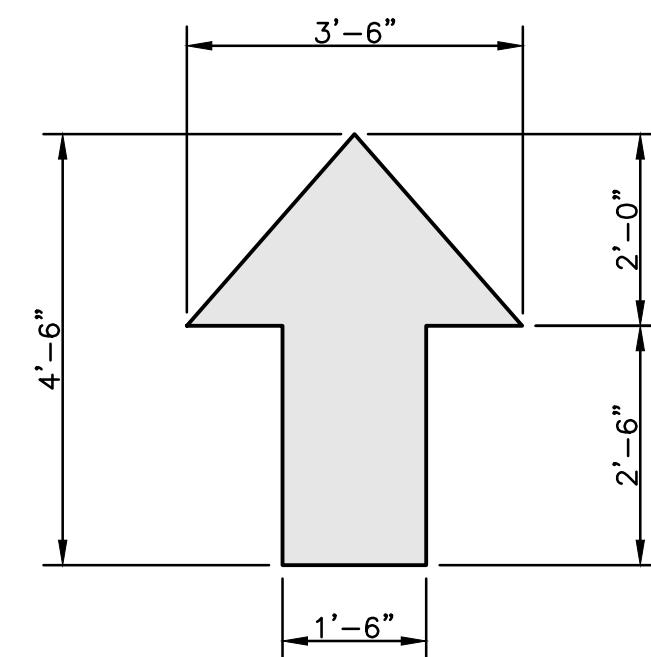
- | | | | |
|--|-------------------------------------|--|-----------------------------------|
| | PROPOSED STABILIZED SOD | | PROPOSED PAVERS |
| | PROPOSED 4" THICK CONCRETE | | PAVEMENT RESTORATION |
| | PROPOSED 6" THICK CONCRETE | | EXISTING PIPING AND APPURTENANCES |
| | PROPOSED ASPHALT | | EXISTING BACKFLOW PREVENTOR |
| | PROPOSED GRADE ELEVATION | | EXISTING CATCH BASIN |
| | PROPOSED FIRE HYDRANT | | EXISTING CLEANOUT |
| | PROPOSED WATER METER | | EXISTING ELEVATION |
| | PROPOSED VALVE | | EXISTING GAS METER |
| | PROPOSED FIRE DEPARTMENT CONNECTION | | EXISTING MANHOLE (AS DESIGNATED) |
| | PROPOSED CATCH BASIN | | EXISTING MONITORING WELL |
| | PROPOSED DRAINAGE MANHOLE | | EXISTING SIGN (AS INDICATED) |
| | PROPOSED YARD DRAIN | | EXISTING VALVE BOX |
| | PROPOSED SIGN (AS INDICATED) | | EXISTING WATER METER |
| | PROPOSED CLEANOUT | | EXISTING CONCRETE POLE |
| | PROPOSED RPZ BACKFLOW PREVENTER | | EXISTING FENCE |
| | PROPOSED PIPING | | EXISTING FIRE HYDRANT |
| | PROPOSED SURFACE FLOW | | EXISTING ELEVATIONS |
| | PROPOSED SILT FENCE | | |



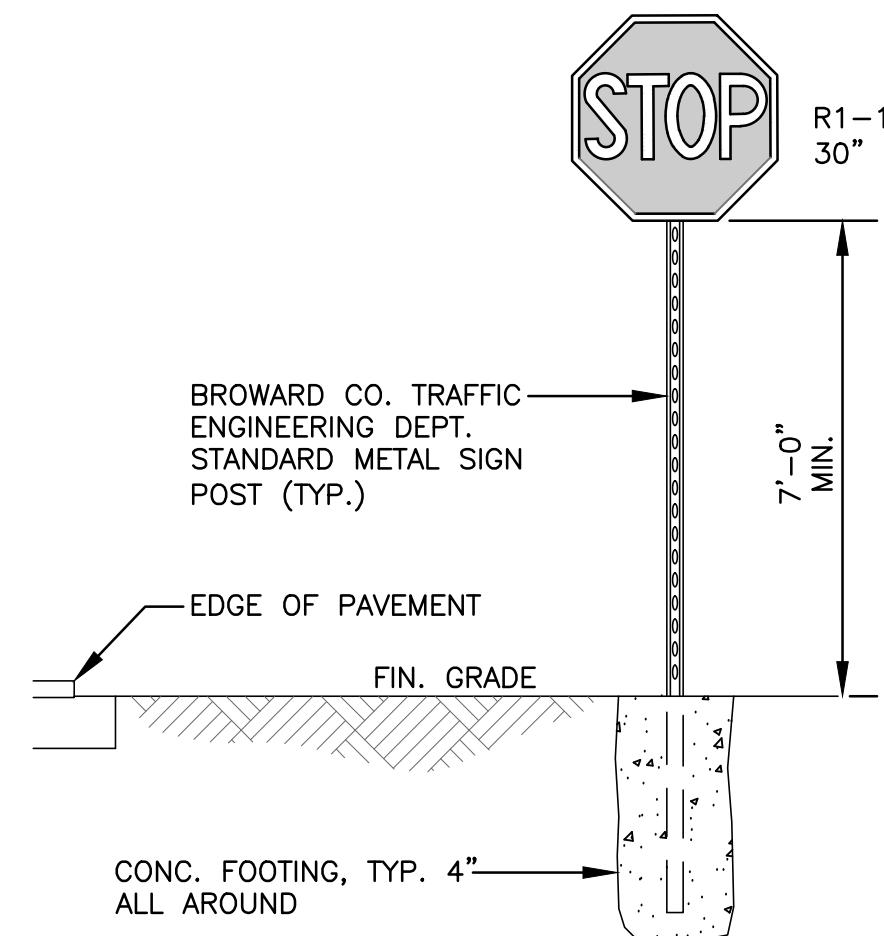
LOCATION MAP
N.T.S.
SEC 16, TWSP 51S, RNG 42E



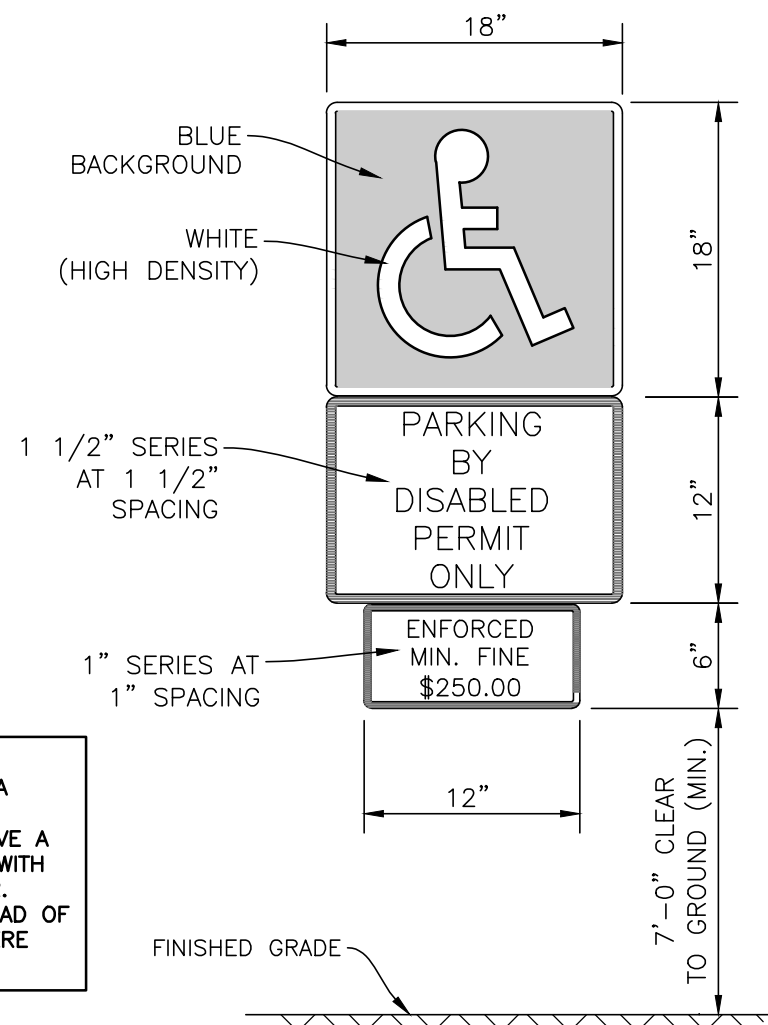
**TYPICAL 90° PARKING STALL
DETAIL**
N.T.S.



TRAFFIC CONTROL ARROW
N.T.S.



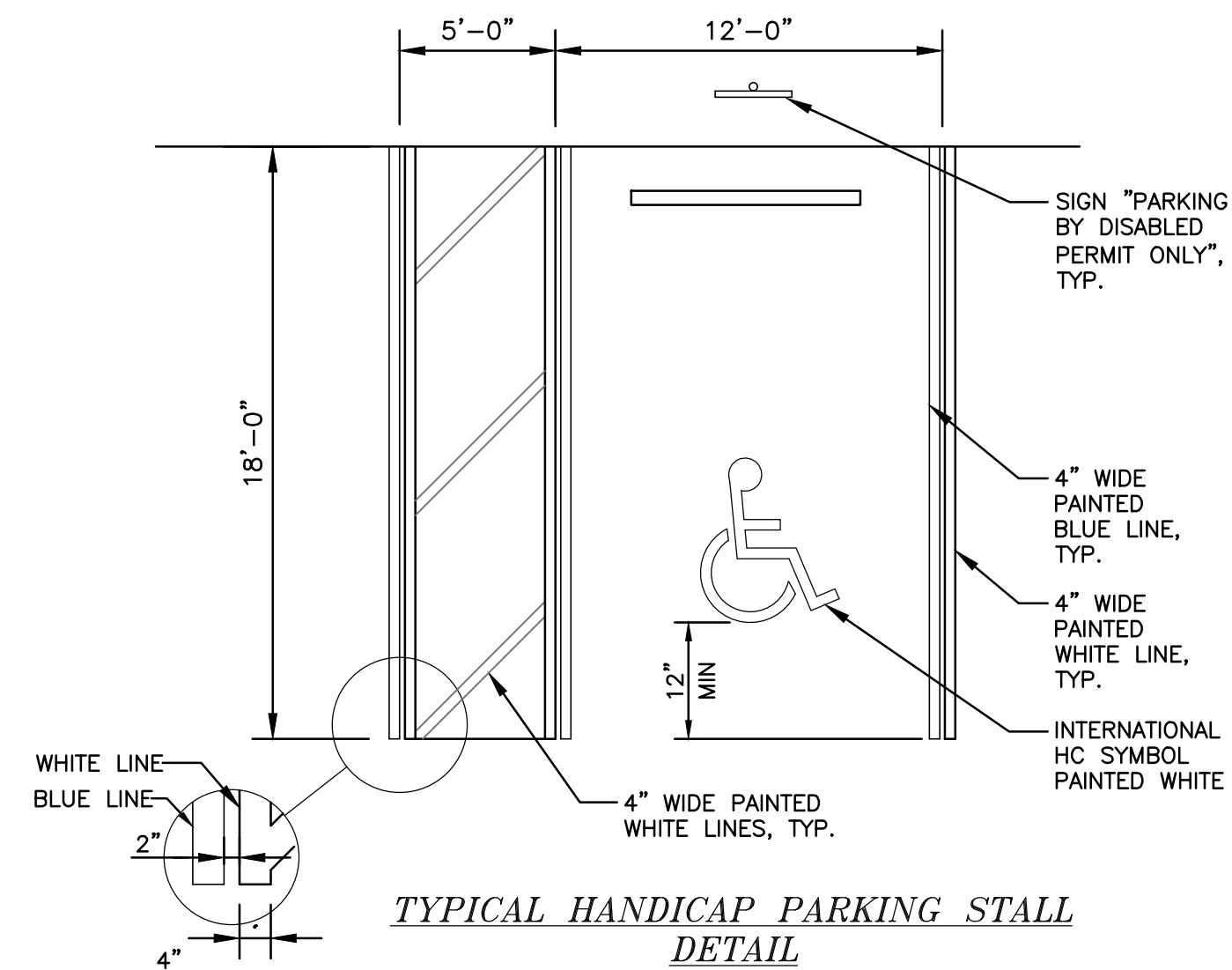
TYPICAL SIGN INSTALLATION
N.T.S.



**FTP-26 HANDICAP PARKING SIGN WITH SUPPLEMENTAL
12" x 6" MINIMUM FINE \$250.00" SIGN**

**HANDICAP PARKING SIGN
(WALL MOUNTED)**
N.T.S.

- NOTES:**
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
 2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.



**TYPICAL HANDICAP PARKING STALL
DETAIL**



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Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1"=10'

FINAL APPROVAL	
SCALE: 1"=10'	
DRAWN BY: HS	DESIGNED BY: SCH
DATE: 06/01/23	CHECKED BY: SCH
FIELD BOOK: N/A	

HOLLAND ENGINEERING
CIVIL ENGINEERING SOLUTIONS
301 SW 7th Street
Fort Lauderdale, Florida 33315
Phone: 954.367.0371
Certificate of Authorization 7325

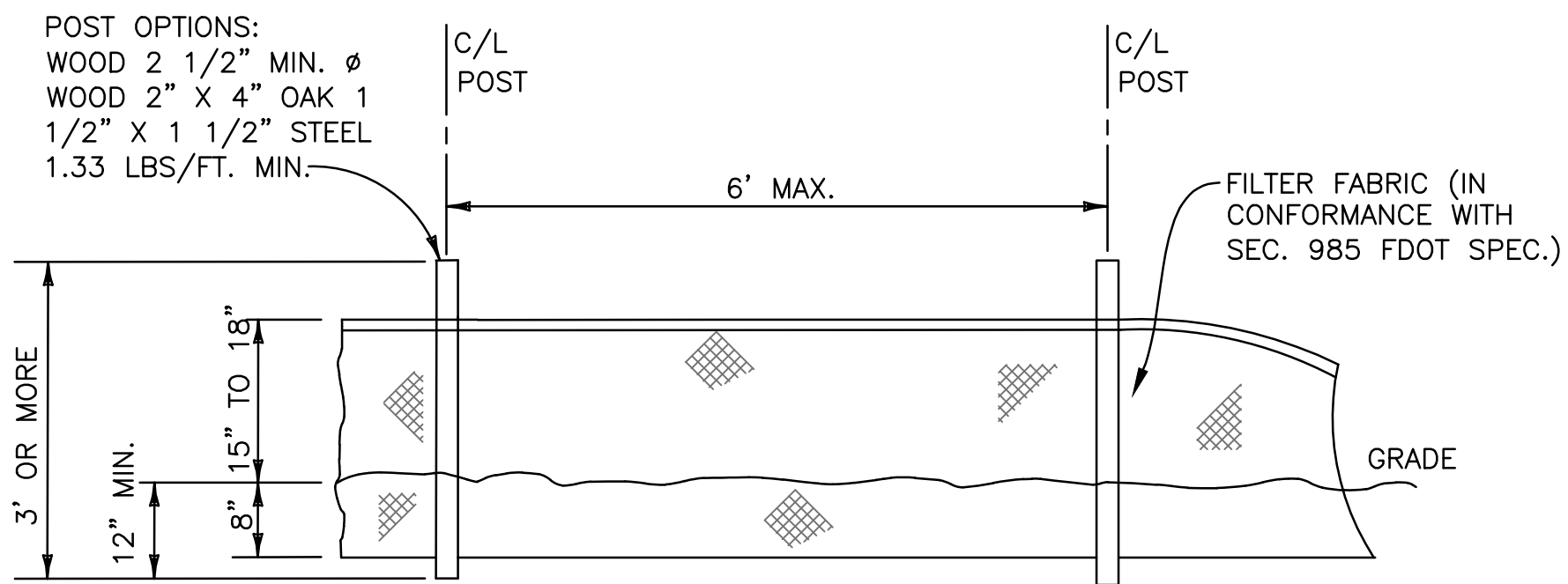
SUSAN C. HOLLAND
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 41831

NO.	DATE	BY	CHK'D	DESCRIPTION

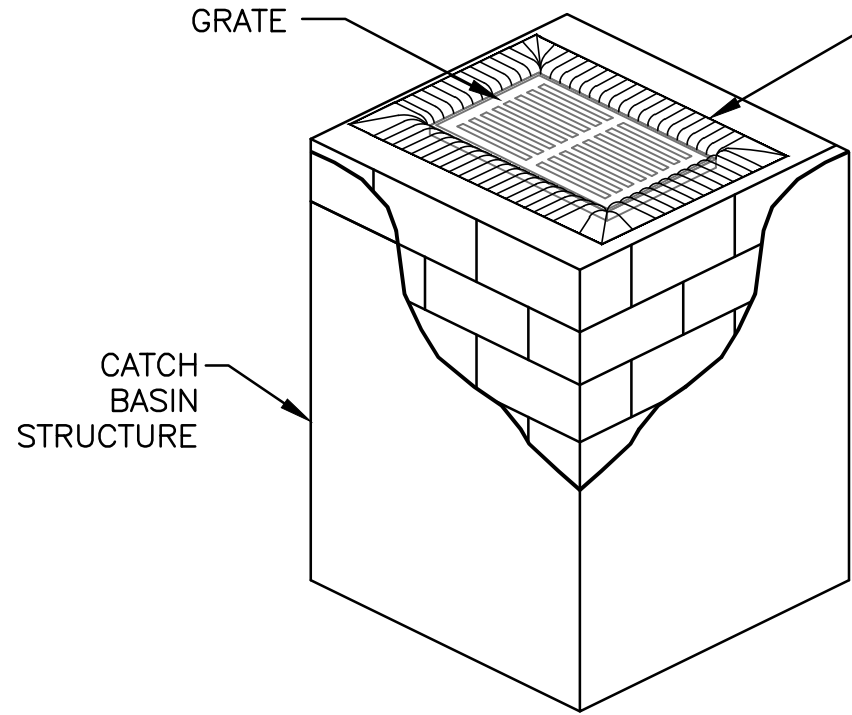
MULTI-FAMILY RESIDENCE
2133 POLK STREET
HOLLYWOOD, FLORIDA 33020

NO. OF SHEETS: 6
SHEET NO.: C-3
CAD FILE NO.

22-29



TYPE III SILT FENCE
N.T.S.

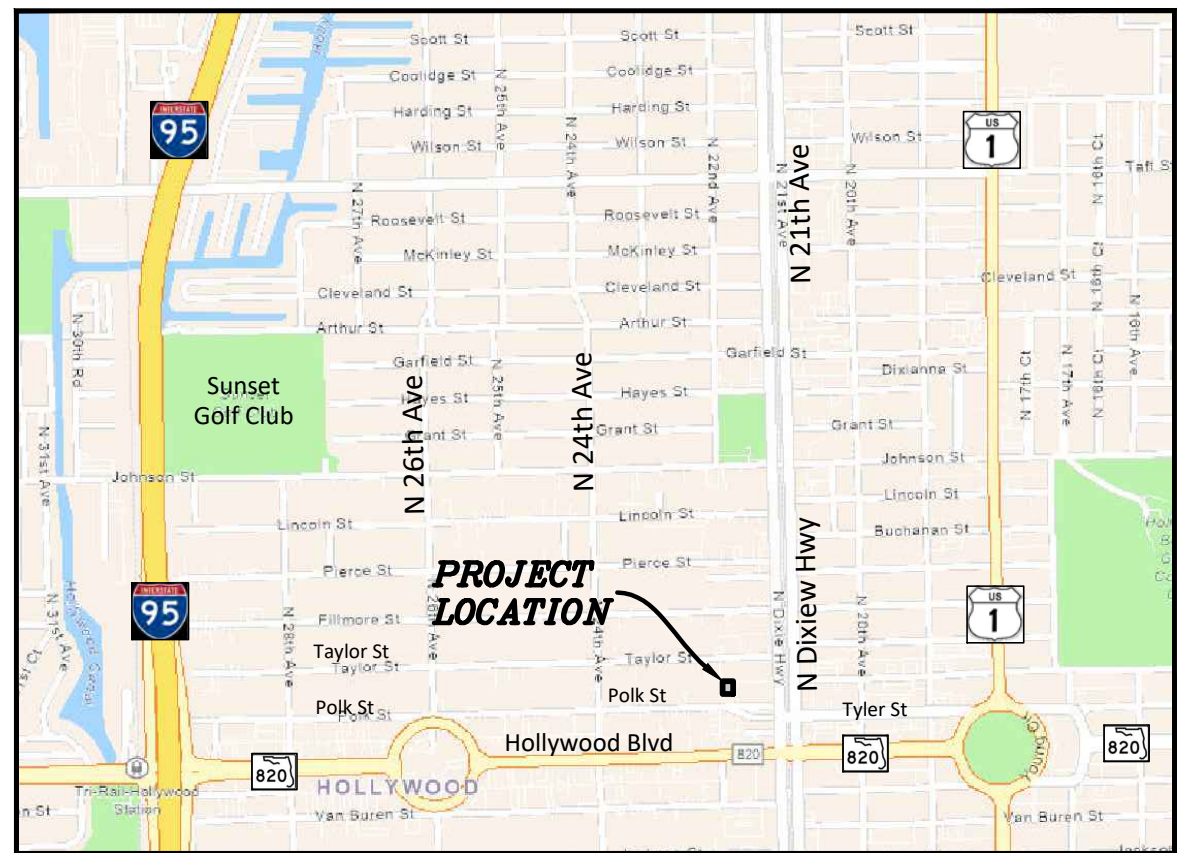
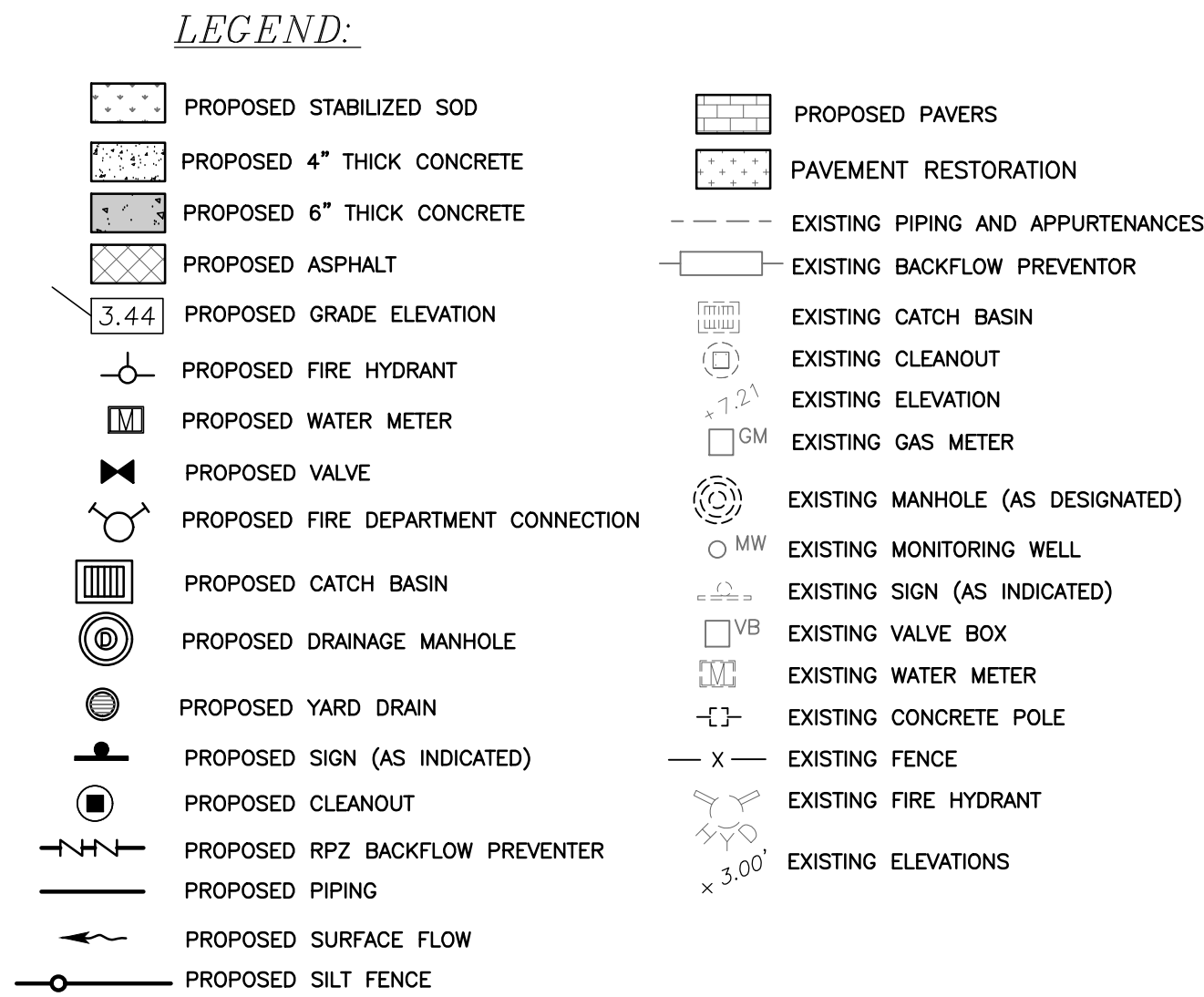


CONTRACTOR TO LIFT GRATE OFF CATCH BASINS AND INSTALL FILTER FABRIC ACROSS INLET OPENING. REPLACE GRATE TO HOLD FABRIC SECURELY IN PLACE

NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

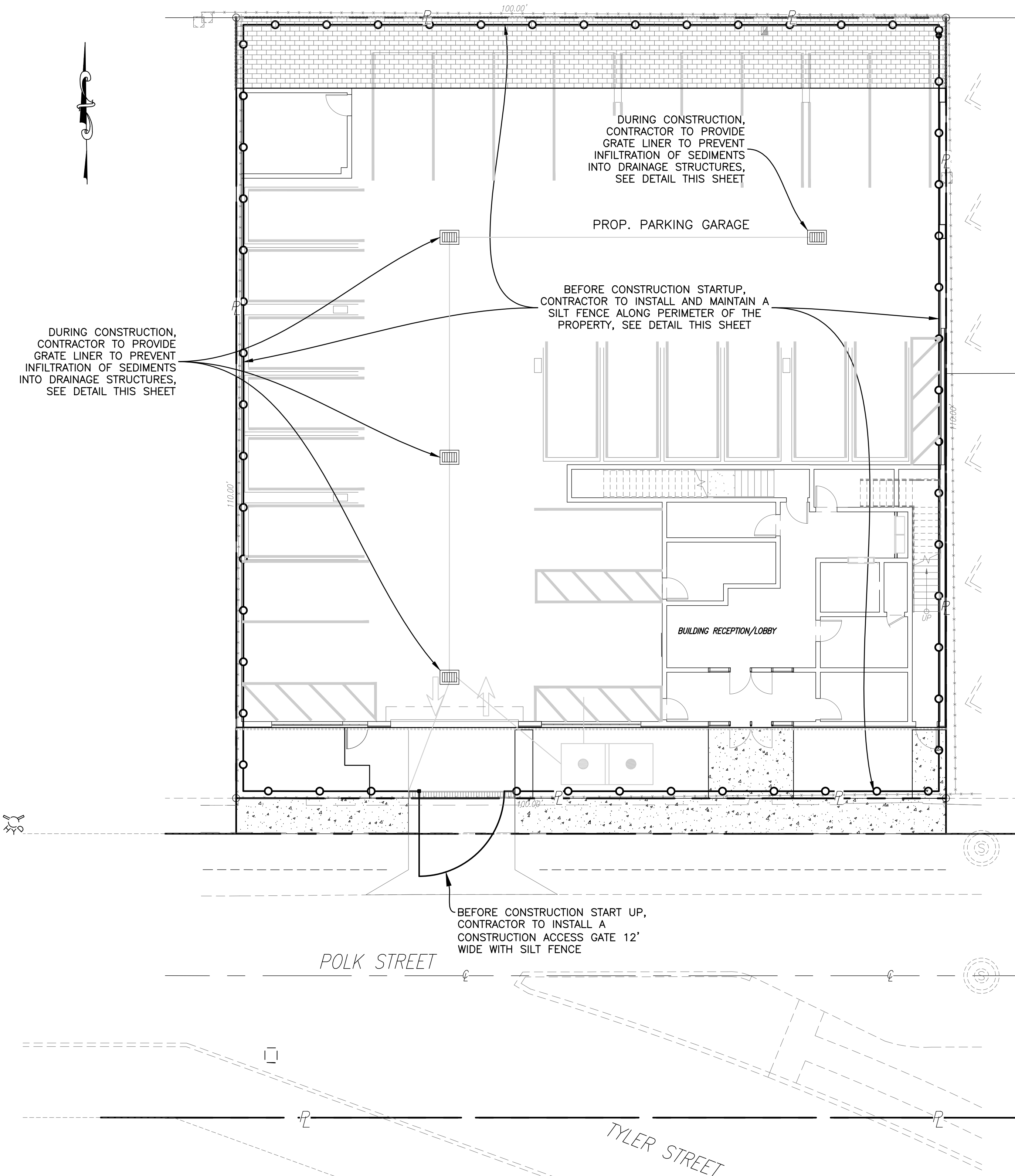
POLLUTION PREVENTION FOR CATCH BASIN
N.T.S.



LOCATION MAP
N.T.S.
SEC 16, TWSP 51S, RNG 42E

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXIST. SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



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STORMWATER POLLUTION PREVENTION PLAN
SCALE: 1"=10'

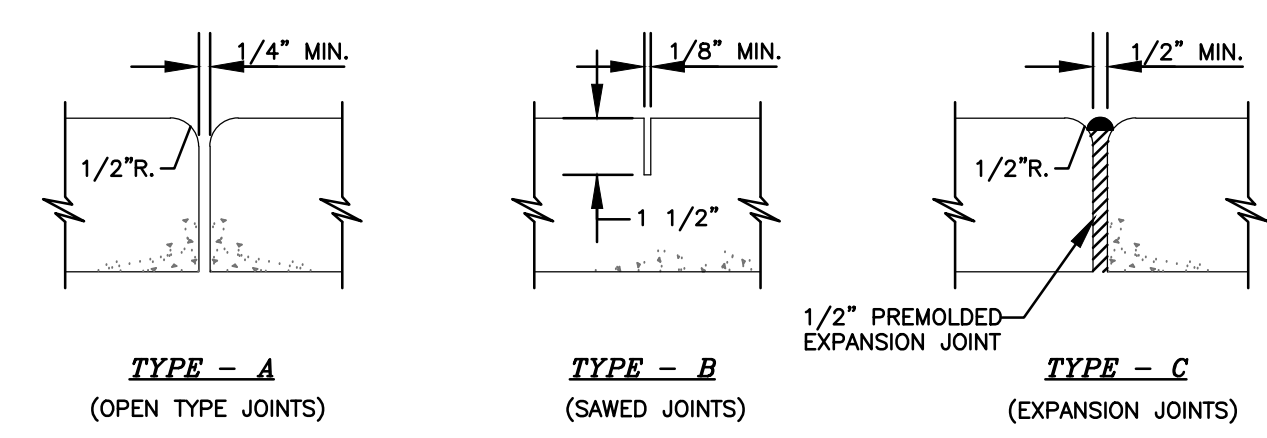
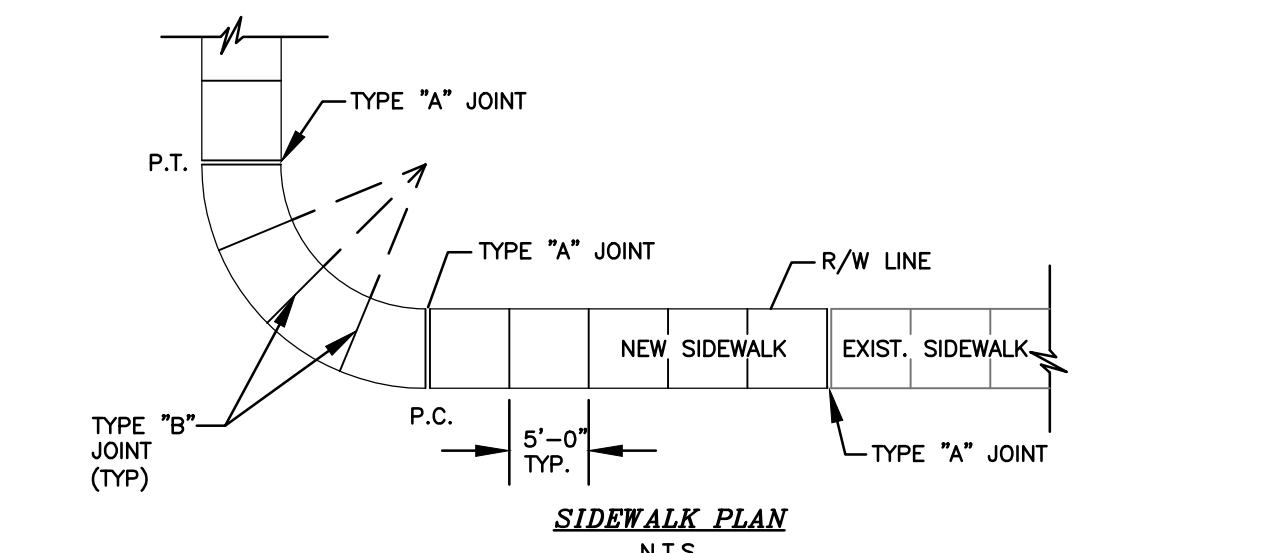
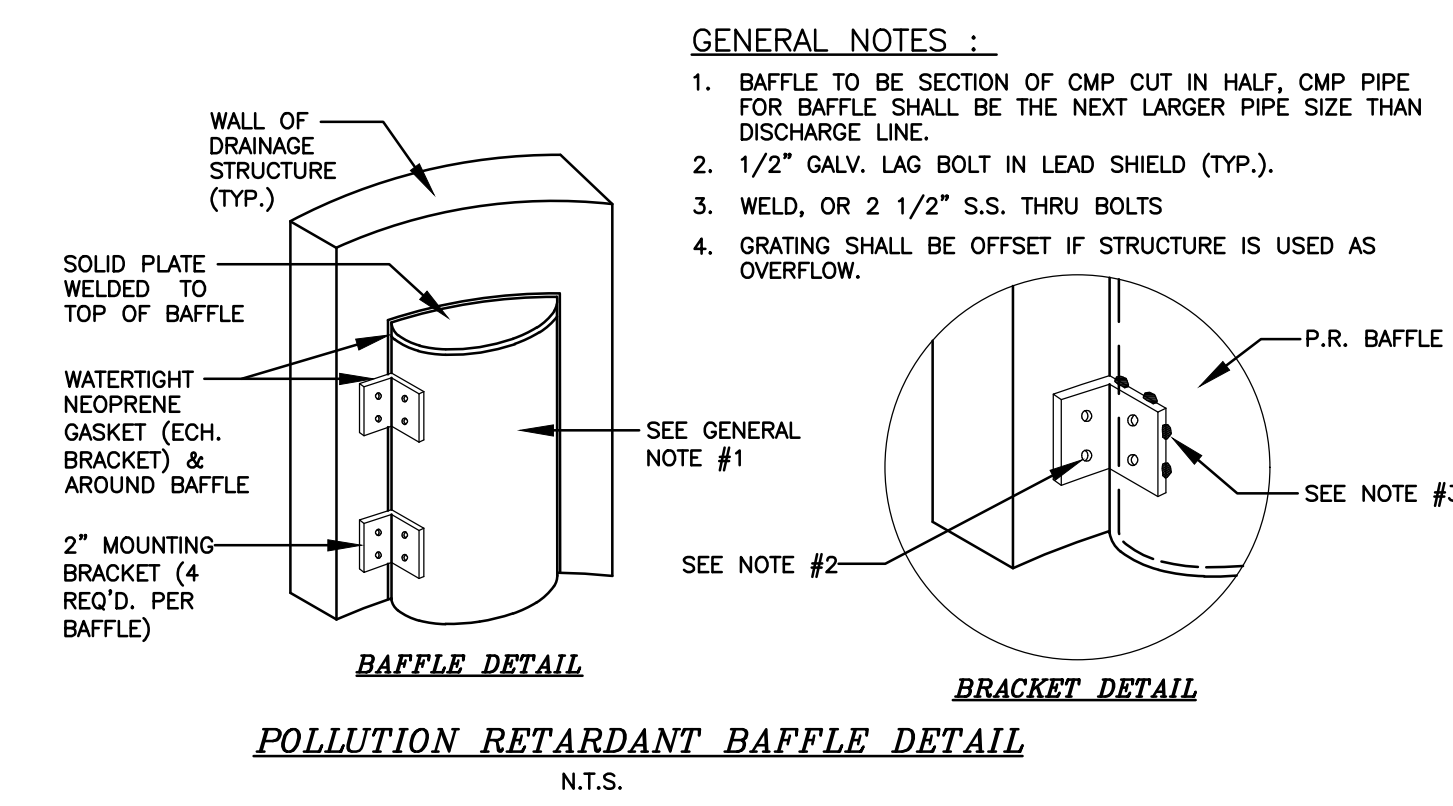
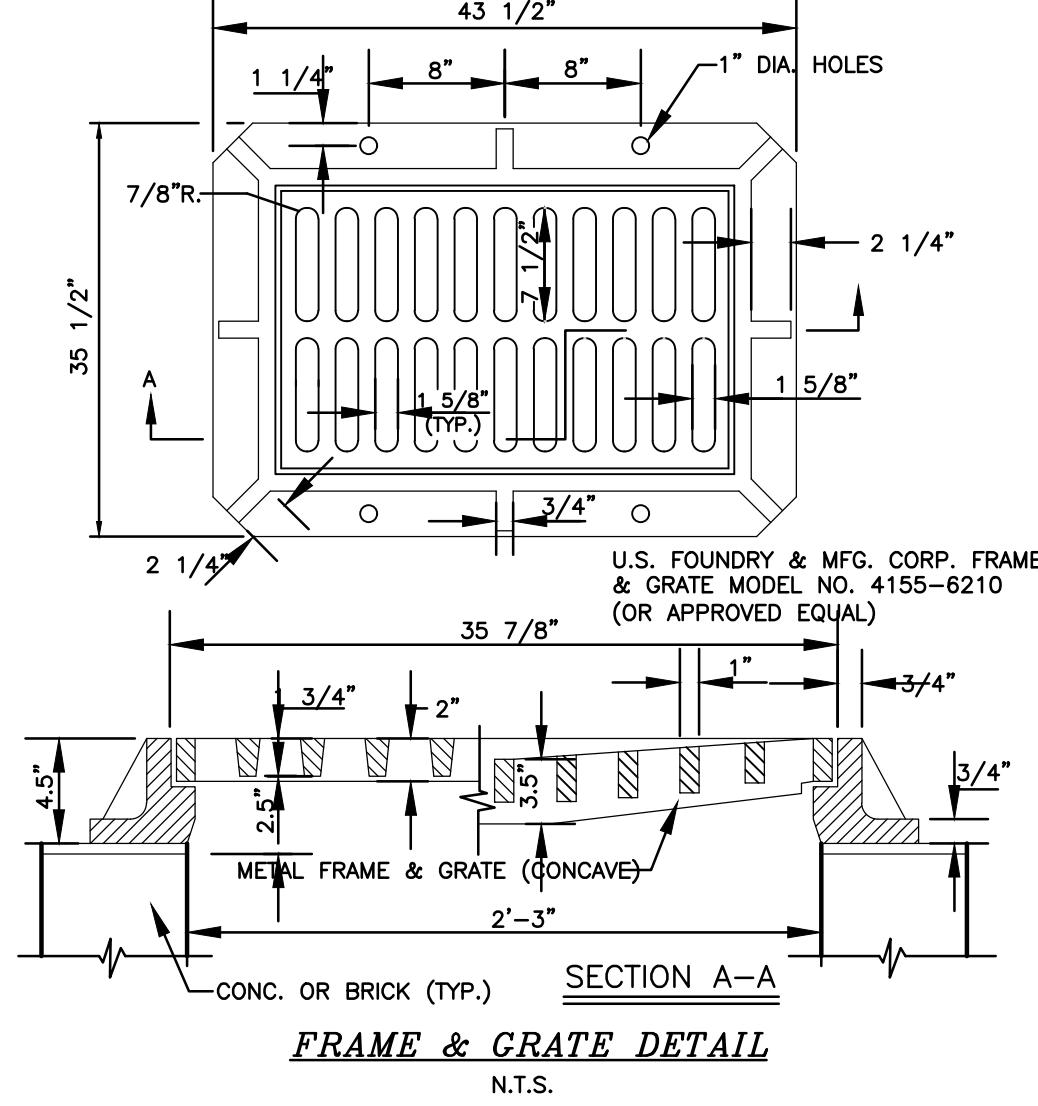
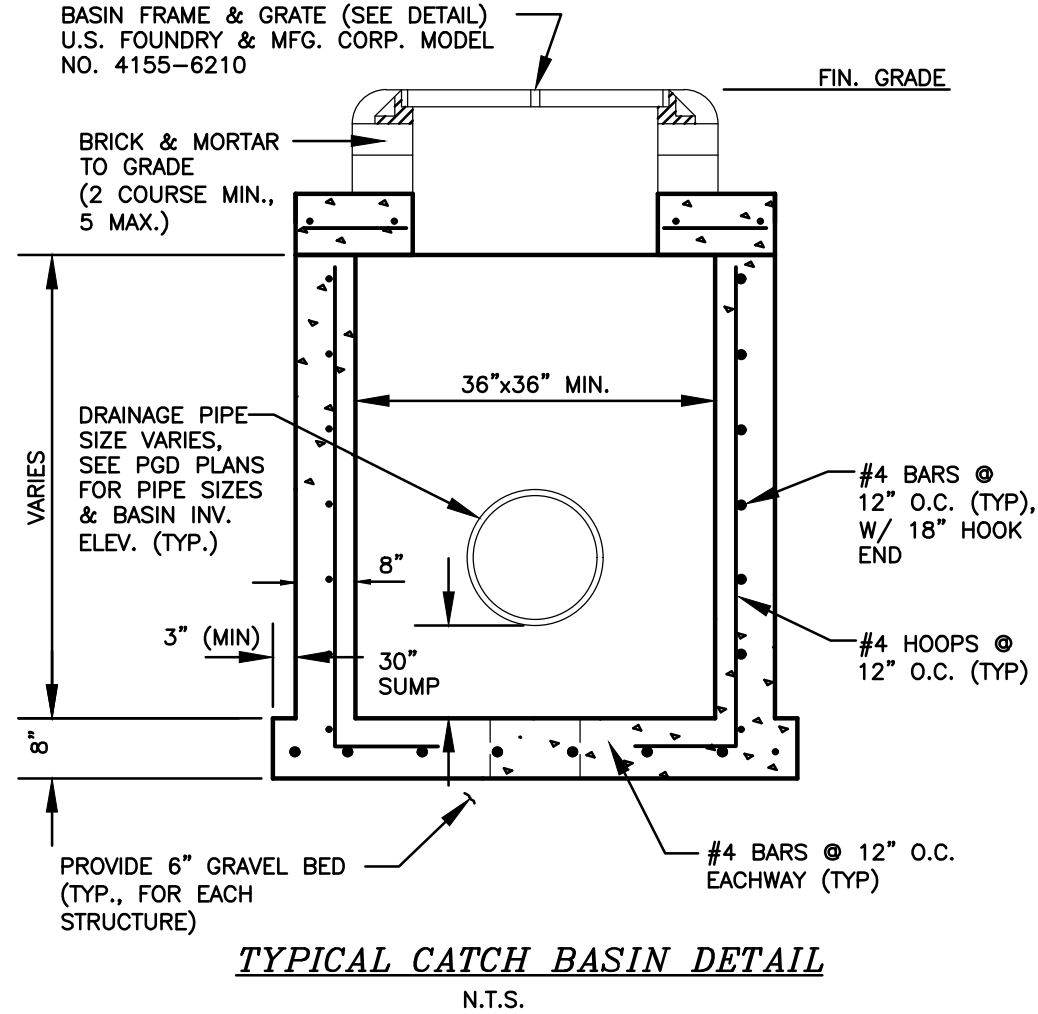
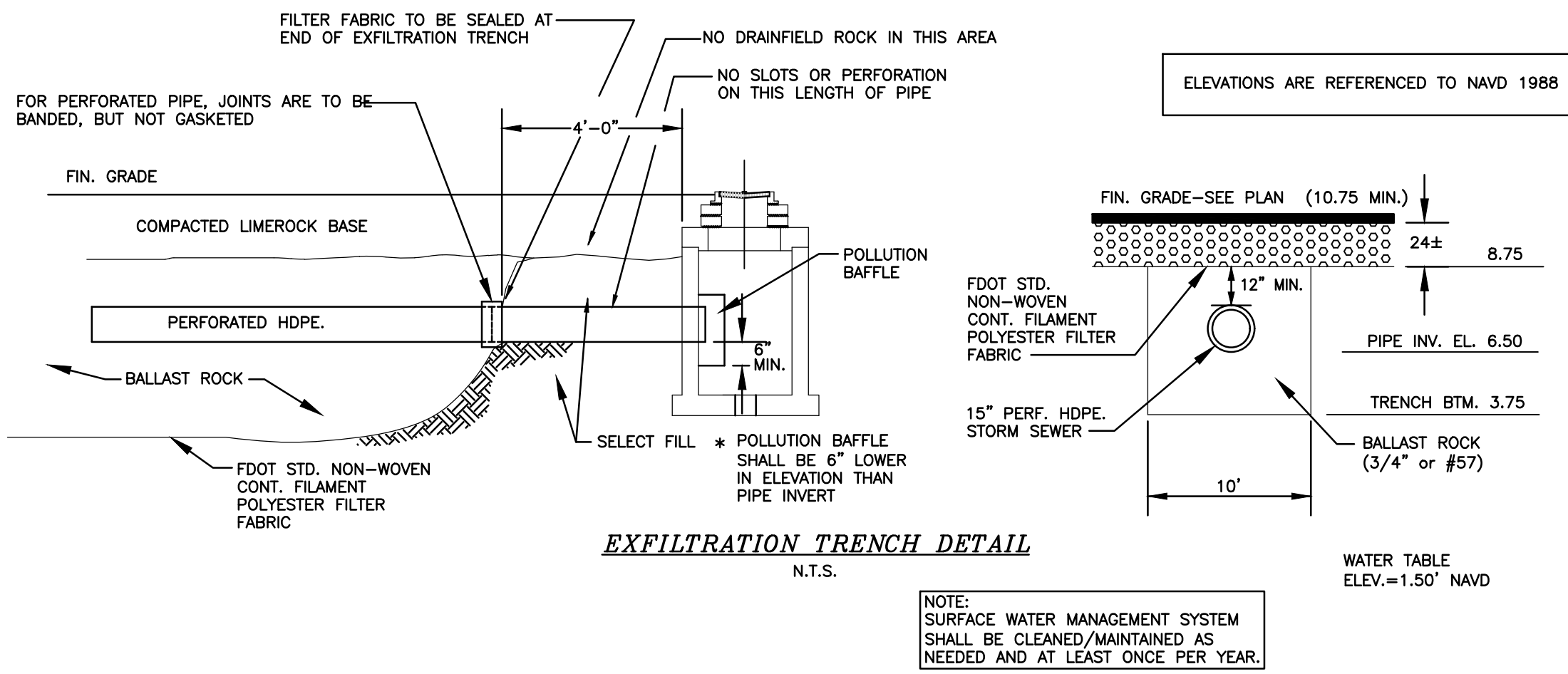
FINAL APPROVAL		SCALE: 1"=10'	
DRAWN BY: HS		DESIGNED BY: SCH	
DATE: 06/01/23		FIELD BOOK: N/A	
NO. OF SHEETS: 6		SHEET NO.: C-4	
CAD FILE NO. 22-29		MULTI-FAMILY RESIDENCE 2133 POLK STREET HOLLYWOOD, FLORIDA 33020	

REVISONS

NO.	DATE	BY	CHK'D	DESCRIPTION

HOLLAND ENGINEERING
CIVIL ENGINEERING SOLUTIONS
301 SW 7th Street
Fort Lauderdale, Florida 33315
Phone: 954.367.0371
Certificate of Authorization 7325

SUSAN C. HOLLAND
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 41831



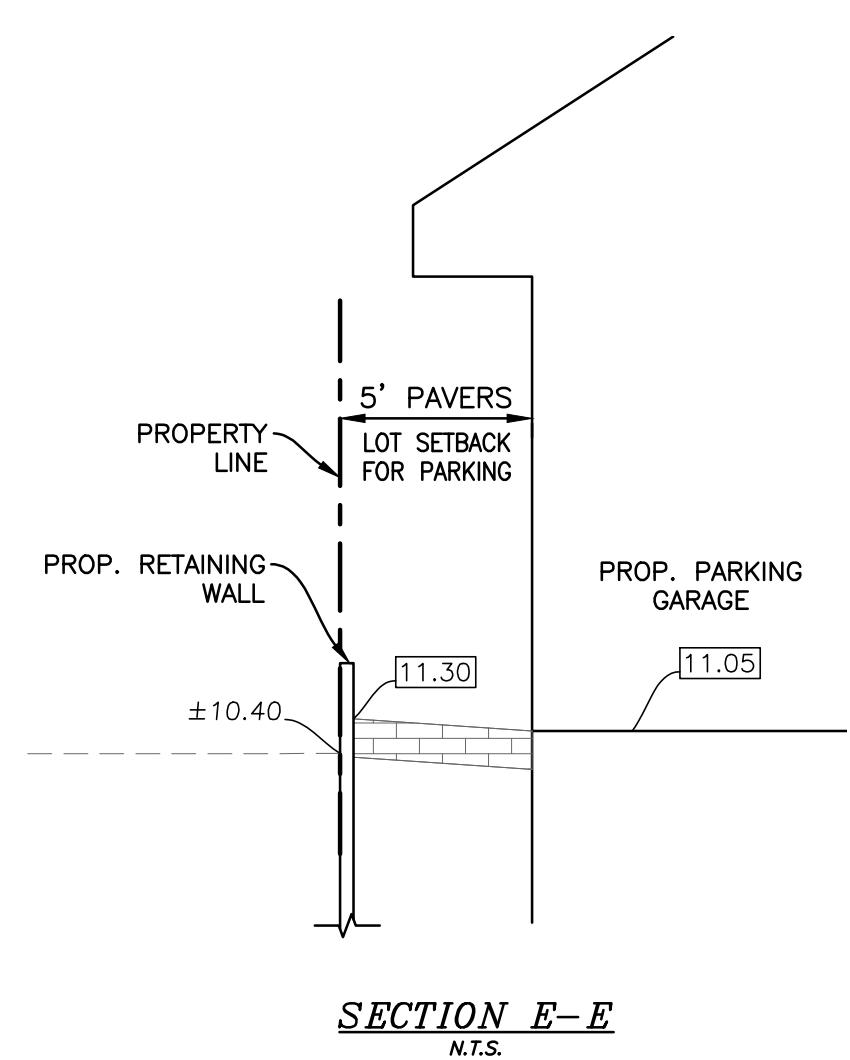
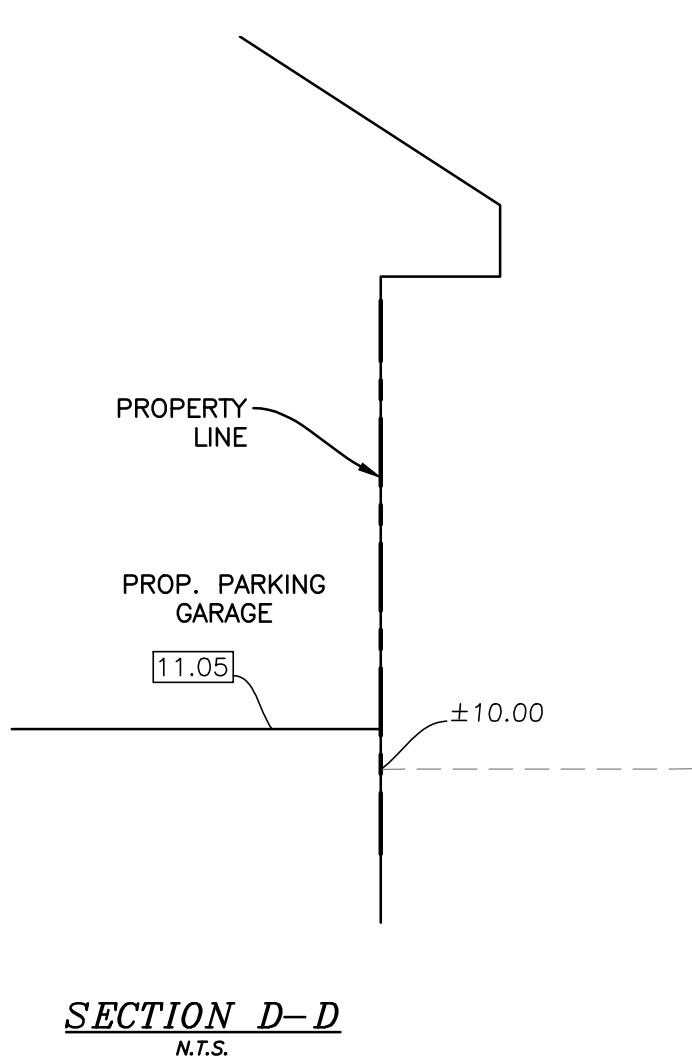
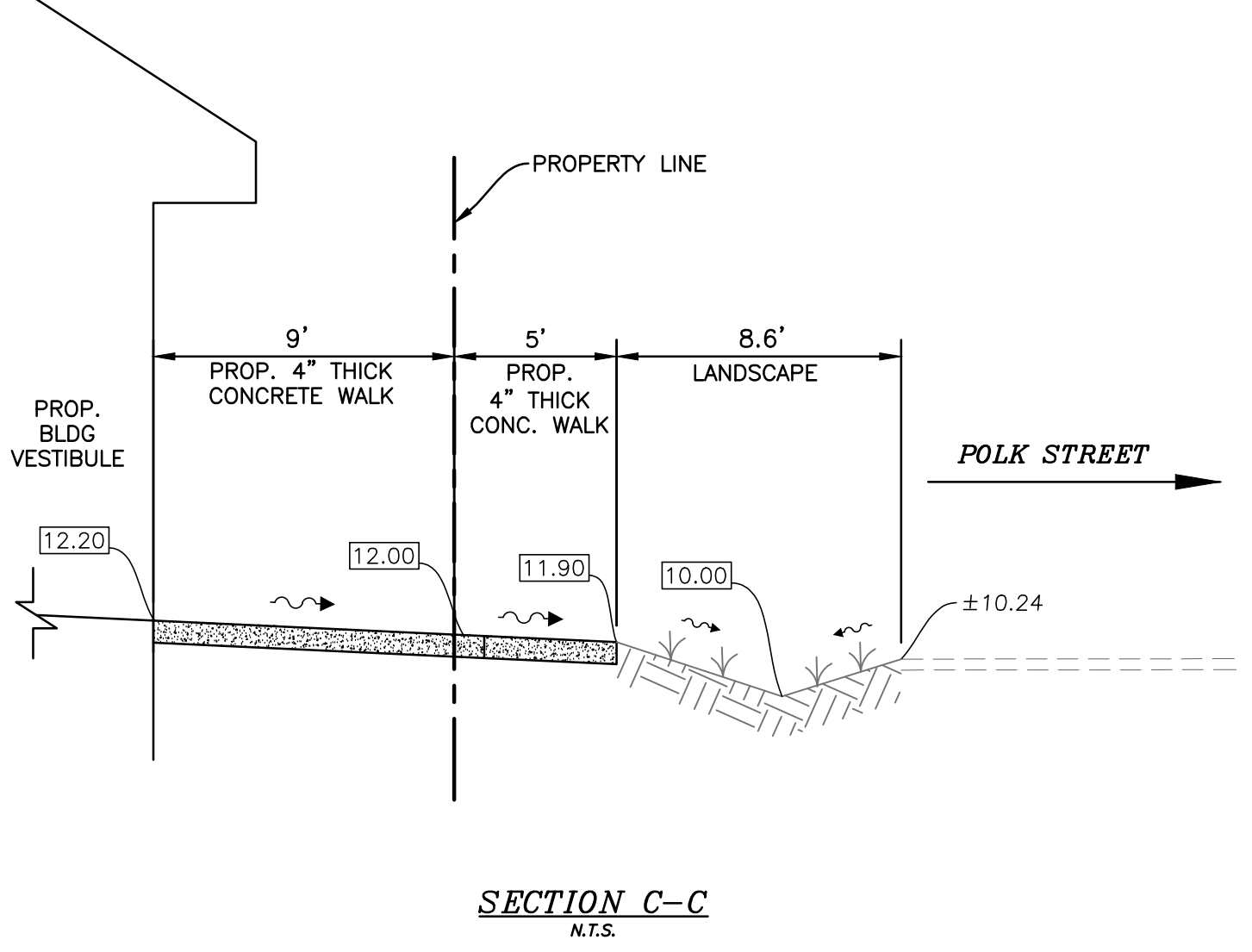
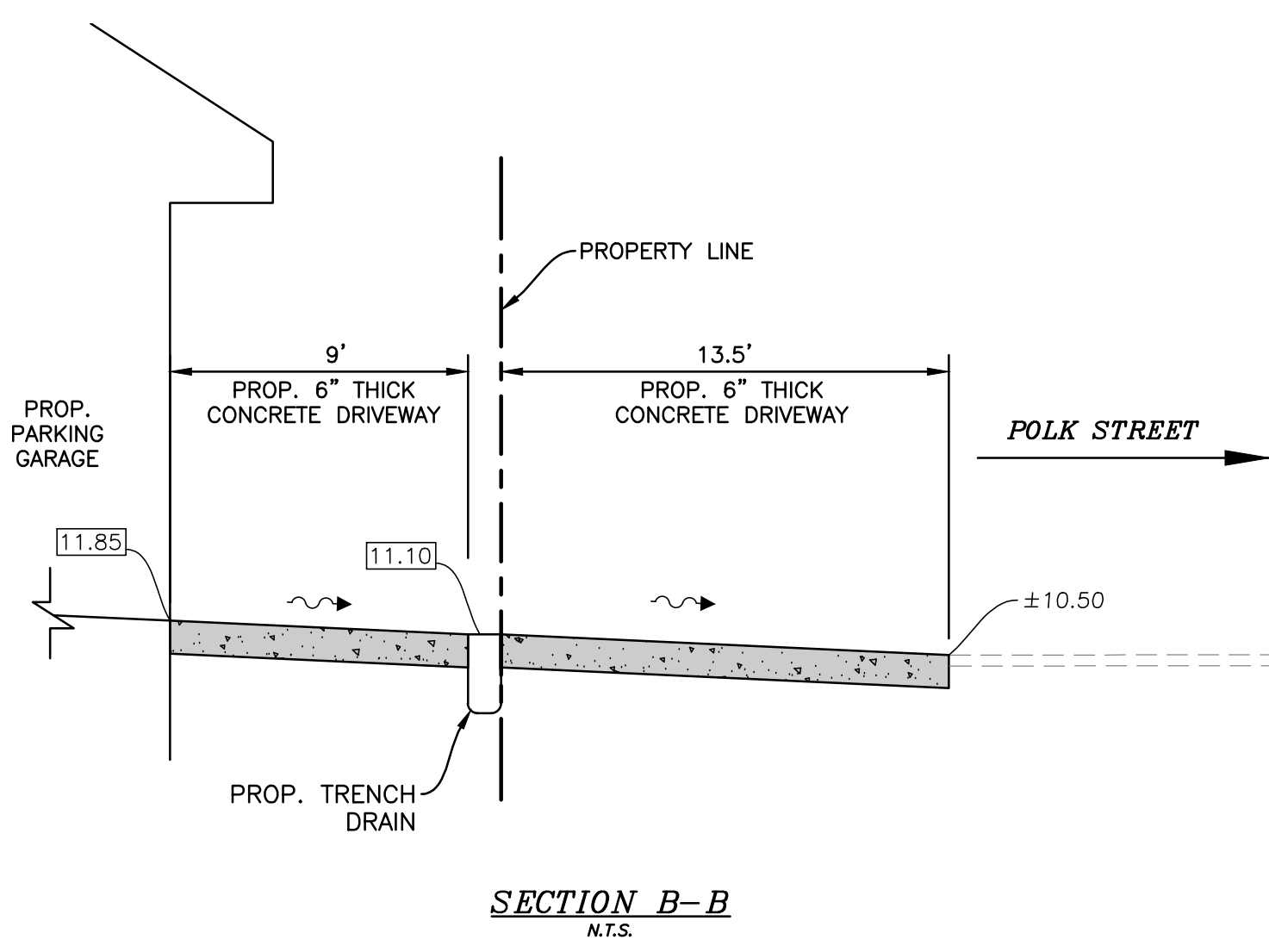
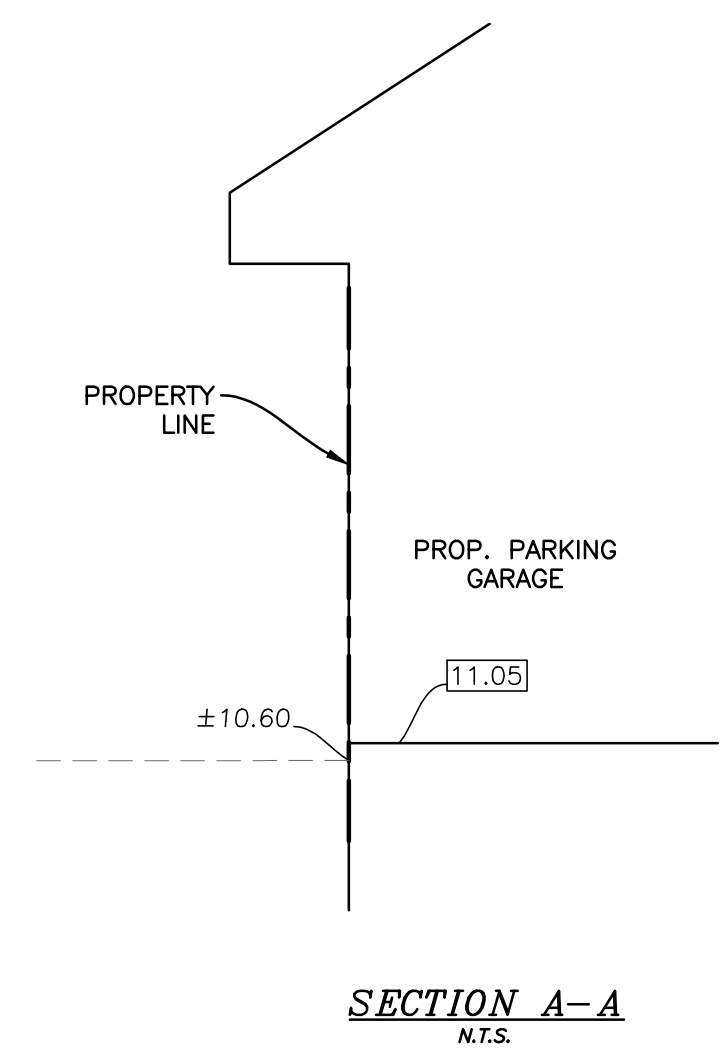
TYPICAL SIDEWALK THICKNESS (T)	
LOCATION :	"T"
PEDESTRIAN AREAS	4"
DRIVEWAYS & OTHER	6"

TABLE OF SIDEWALK JOINTS		
TYPE	LOCATION :	
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.	
"B"	5'-0" O.C. ON SIDEWALKS.	
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.	

NOTES:

- EXPANSION JOINTS EVERY 50' O.C.
- CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
- 6" THK. SIDEWALK ACROSS DRIVEWAYS

* INSTALLED AT THE DISCRETION OF THE ENGINEER



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FINAL APPROVAL	
SCALE: N.T.S.	DESIGNED BY: SCH
DRAWN BY: HS	CHECKED BY: SCH
DATE: 06/01/23	
FIELD BOOK: N/A	
HOLLAND ENGINEERING SOLUTIONS 301 SW 7th Street Fort Lauderdale, Florida 33315 Phone: 954.367.0371 Certificate of Authorization 7925 SUSAN C. HOLLAND STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE No. 41831	
REVISONS	
NO.	DATE
BY	CHK'D DESCRIPTION
MULTI-FAMILY RESIDENCE 2133 POLK STREET HOLLYWOOD, FLORIDA 33020	
NO. OF SHEETS: 6	
SHEET NO.: C-5	
CAD FILE NO.	
22-29	

2133-2137 Polk Street Existing Tree List

Case/Location: 2133 Polk Street, Hollywood, FL 33020

Date: 5/20/2023

Appraiser: Thomas White, ASLA-ISA, Arborist FL-5248A

Landscape Architect #FL1100

Certified Arborist FL-5248A

Tree #	Species Botanical Name / Common Name	Ht. (Feet)	Spr. (Feet)	DBH (Inches)	Condition	DBH Removed (Inches)	Disposition
1	Quercus virginiana / Live Oak	30	25	17	Very Poor	17	Remove
2	Bursera simarubra / Gumbo Limbo	12	6	3	Poor	3	Remove
3	Bursera simarubra / Gumbo Limbo	30	20	22	Very Poor	22	Remove
4	Quercus virginiana / Live Oak	30	30	10	Fair	10	Remove
5	Quercus virginiana / Live Oak	30	30	8	Fair	8	Remove
6	Quercus virginiana / Live Oak	30	30	10	Fair	10	Remove
7	Mangifera indica / Mango	30	20	33	Poor	33	Remove
8	Bursera simarubra / Gumbo Limbo	20	20	9	Poor	9	Remove
9	Bursera simarubra / Gumbo Limbo	20	20	9	Poor	9	Remove
10	Bursera simarubra / Gumbo Limbo	20	20	9	Poor	9	Remove
11	Bursera simarubra / Gumbo Limbo	20	5	5	Very Poor	5	Remove
12	Bursera simarubra / Gumbo Limbo	20	5	5	Very Poor	5	Remove
13	Clerodendrum quadriloculare / Star Burst	10	5	3	Poor	3	Remove
14	Mangifera indica / Mango	30	20	22	Poor	22	Remove
15	Bursera simarubra / Gumbo Limbo	20	20	21	Poor	21	Remove

DBH Removed 186

Payment Into the Tree Trust Fund @ \$350 per ea. 2" = \$32,550

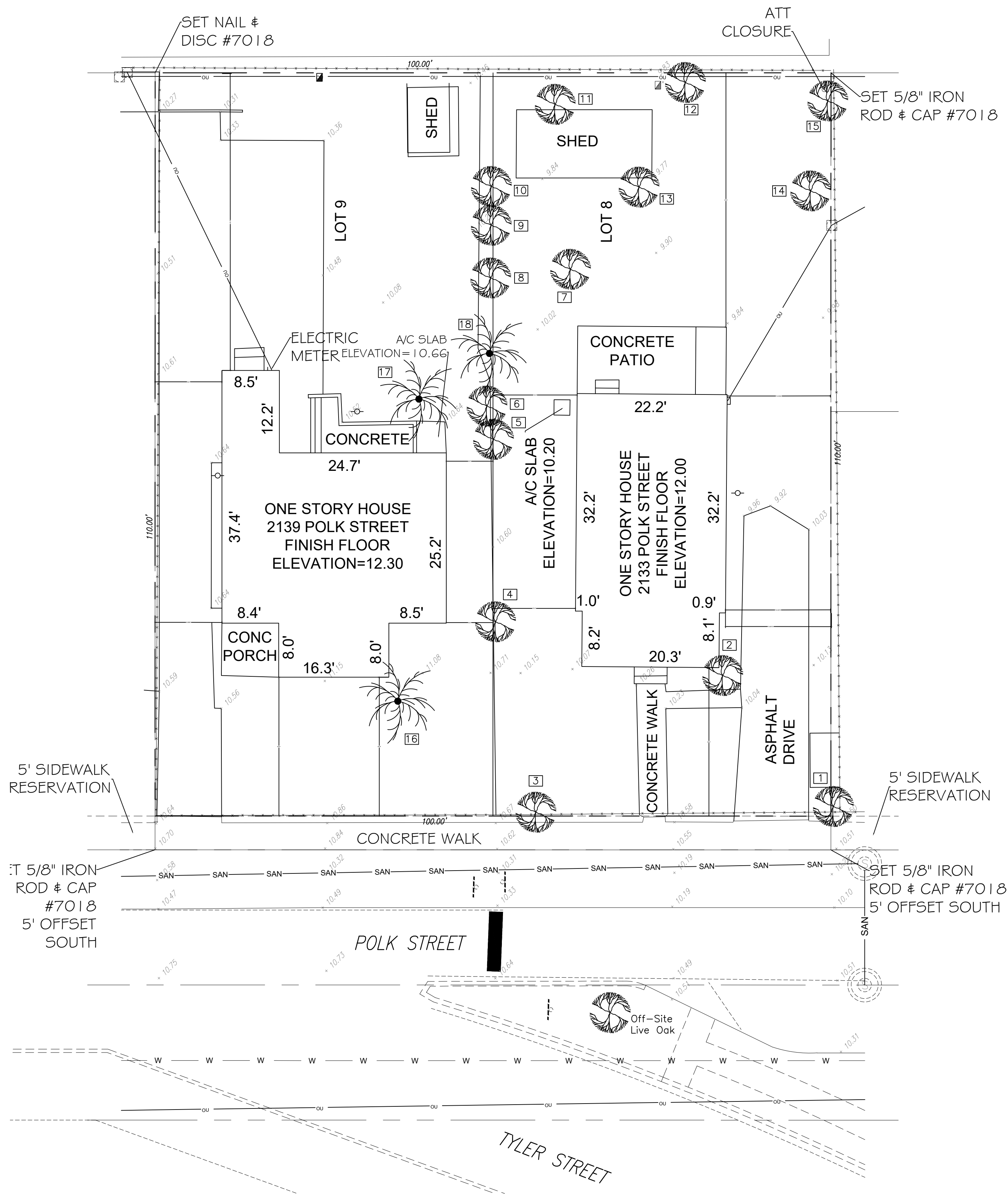
Existing Palm List

Palm #	Species Botanical Name / Common Name	Ht. (Feet)	CT (Feet)	DBH (Inches)	Condition	Replacement Palms	Disposition
16	Pandanus utilis / Common Screw Pine	15	6	10	Fair	0	Remove
17	Adonidia merrillii / Christmas Palm	16	10	4	Fair	1	Remove
18	Sabal palmetto / Cabbage Palm	18	10	12	Good	1	Remove

Replacement Palms Required 2

Payment Into the Tree Trust Fund @ \$350 per palm = \$700

TOTAL = \$33,250



THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
2600 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
tcwhite@bellsouth.net
954-253-2265

REVISIONS

Tree Survey / Disposition Plan
Multi Family Residence
2133 Polk Street
Hollywood, Florida 33020



DRAWN:
TW
CHECKED:
TW
DATE:
6-1-2023
SCALE: 1"=10'

Sheet No.
L-1
Sheet 1 Of 2



Call 811 or www.sunshine811.com two full
business days before digging to have utilities
located and marked.

Check positive response codes before you dig!

Sheet No.
L-2
Sheet 2 Of 2



June 2, 2023

FIRE FLOW CALCULATIONS
A Four-Story Residential Building
2133 Polk Street, Hollywood

These calculations are for a four (4) story residential building, with a total ground floor square footage of 1,540 SF. The remaining floors are 7,997 SF, 7,910 SF, and 7,905 SF. The fire flow area shall be based on the three (3) largest consecutive floors which is equal to 23,812. The entire building is non-combustible construction.

Fire Flow Area = 23,812 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total square footage of 23,812 SF.

Per Table 18.4.5.2.1, the fire flow requirement is 1,750 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

$$1,750 \text{ gpm} \times 75\% = 1,312 \text{ gpm (fire flow credit)}$$

$$1,750 \text{ gpm} - 1,312 \text{ gpm} = 438 \text{ gpm}$$

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm



Susan C. Holland, P.E.

Multi-Family Residential
2133 Polk Street, Hollywood, FL

06/02/23

Proj. No. 22-29

Prepared by Susan C Holland, P.E.

Elevations are referenced to NAVD 1988

Lic. No. 41831

Preliminary Post-Development Calculations



General Information

Total Project Area =	0.25 Acres	
Paved Area =	0.20 Acres	
Building Area =	0.04 Acres	(ground floor)
Lake Area =	0.00 Acres	
Recreation Area =	0.00 Acres	
Landscape Area =	0.01 Acres	
Total Impervious Area =	0.24 Acres	(96.0%)
Total Pervious Area (TPA) =	0.01 Acres	(4.0%)
Prop. Min. Floor Elevation =	12.20 '	
Prop. Min. Crown of Road =	0.00 '	
Prop. Average Finished Grade =	11.00 '	
Lake Control Stage =	0.00 '	
Flood Criteria (Dade County only) =	0.00 '	
October Water Table =	1.50 '	(future elev.)
<i>(Wet season water table)</i>		
Credit (Dade County only) =	0.00 "	
Discharge Off-site =		

Storm Event Information

Finished Floor Elevation

100 year 3 day event =	18.35 "
100 Year 1 day event =	13.50 "

Perimeter Grade Elevation

25 year 1 day event =	10.50 "
25 year 3 day event =	14.27 "

Multi-Family Residential
2133 Polk Street, Hollywood, FL
Proj. No. 22-29

6/2/2023

Proposed Exfiltration Trench Data

Proposed Trench Length = 42.0 '
Trench Width = 10.0 '
Trench Depth = 5.0 '
Pipe Diameter = 1.25 '
K = 0.0001 (estimated)

storm event = 2.50 "

H2 (depth to water table) = 7.0 '

Du (non-saturated trench depth) = 5.0 '

Ds (saturated trench depth) = 0.0 '

C Factor

Pervious = 0.6
Impervious = 0.9
Weighted C Factor = **0.89** $\frac{(0.01) \times (0.60) + (0.24) \times (0.90)}{0.25} = 0.89$

SCS Curve Number

Design Water Table Elevation = 1.5 '
Average Finished Grade = 11.00 '
Average Depth Water Table = 9.50 '

Compacted Water Storage - (CWS) = 6.75 "
(From Table at right for Flatwoods type)

Ground Storage Under Pervious Area
(CWS/12 in/ft) x (TMPA) = 0.01 AC-FT

Soil Storage (S) = 0.27 "

SCS Curve Number (CN) = 97.37

Cumulative Soil Moisture Storage

S.F.W.M.D Vol. IV,
pg C-III-3, figure C-III-1

DWT=Depth to Water Table

NAS=Natural Available Storage

DAS=Developed Available Storage

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

Retention / Detention Requirements for Water Quality

First 1" of runoff

$$\text{Volume} = 1" \times 1\text{ft}/12" \times 0.25 \text{ Acres} = 0.02 \text{ AC-FT}$$

3 Year - 1 Hour event = 2.5"

Total project area - roof area = 0.25 acres - 0.04 acres = 0.21 acres

0.21 acres - 0.01 acres (pervious area) = 0.20 acres (impervious)

0.20 acres / 0.21 acres X 100% = 95% impervious

2.5" X 0.95 = 2.38" to be treated

2.38" X 0.25 acres = 0.59 acre-inches (0.05 acre-feet)

Water quality provided in exfiltration trench.

Exfilt Trench Lenght

Multi-Family Residential
2133 Polk Street, Hollywood, FL
Proj. No. 22-29
Post-Development

12/19/2022

Exfiltration Trench Length

C Pervious = 0.60
C Impervious = 0.90

Weighted C Factor = 0.89

storm event = 2.50
Trench width = 10.00
H2 (depth to water table) = 7.00

Du (non-saturated trench depth) = 5.00

Ds (saturated trench depth) = 0.00

Capacity of existing system = 0.59 AC-IN (0.05 AC-FT)

$$L = \frac{0.59}{0.0001 \times [(7 \times 10) + (2 \times 7 \times 5) - (5)^2 + (2 \times 7 \times 0)] + [(.000139 \times 10 \times 5)]}$$

$$L = 31.98'$$

Length of exfiltration system provided = 42 feet

Multi-Family Residential
 2133 Polk Street, Hollywood, FL
 Proj. No. 22-29
 Post-Development

Stage / Storage

Area of Developed Site Grading = 0.21 Acres

(Linear from 10.75'-11.50')

Stage	Not Used	Surface Storage	Trench Storage	Total
1.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
2.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
3.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
4.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
5.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
6.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
6.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
7.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
7.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
8.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
8.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
9.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
9.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
10.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
10.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
11.00 '	0.00 AC-FT	0.03 AC-FT	0.05 AC-FT	0.08 AC-FT
11.50 '	0.00 AC-FT	0.08 AC-FT	0.05 AC-FT	0.13 AC-FT
12.00 '	0.00 AC-FT	0.19 AC-FT	0.05 AC-FT	0.24 AC-FT

Project Name: 2133 Polk Street Residential

Reviewer: Susan Holland

Project Number: 22-29

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.16 hr, Iterations: 10

Basin 1: 2133 Polk Street Residential

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 25 year

1 Day Rainfall: 10.5004 inches

Area: 1.19 acres

Ground Storage: 0.27 inches

Time of Concentration: 0.25 hours

Initial Stage: 1 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
3.50	0.00
6.00	0.05
7.00	0.05
8.00	0.05
9.00	0.05
10.00	0.05
11.00	0.08
11.50	0.13
12.00	0.24

Offsite Receiving Body: Offsitel

Time (hr)	Stage (ft NGVD)
0.00	1.00
1000.00	1.00

Structure: 1

From Basin: 2133 Polk Street Residential

To Basin: Offsitel

Structure Type: Pump

On Elev = 8 ft NGVD, Off Elev = 1.5 ft NGVD, Capacity = 350 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	1.00	1.00
0.96	0.06	0.00	0.00	0.00	3.50	1.00
1.92	0.12	0.02	0.00	0.00	3.54	1.00
3.04	0.19	0.04	0.00	0.00	3.69	1.00
4.00	0.26	0.05	0.00	0.00	3.87	1.00
4.96	0.32	0.06	0.00	0.00	4.08	1.00
5.92	0.38	0.06	0.00	0.00	4.31	1.00
7.04	0.45	0.06	0.00	0.00	4.60	1.00
8.00	0.51	0.07	0.00	0.00	4.85	1.00
8.96	0.57	0.07	0.00	0.00	5.12	1.00
9.92	0.63	0.07	0.00	0.00	5.39	1.00
11.04	0.71	0.07	0.00	0.00	5.71	1.00
12.00	0.77	0.07	0.00	0.00	5.99	1.00
12.96	0.83	0.07	0.78	0.06	3.50	1.00
13.92	0.89	0.07	0.78	0.12	3.50	1.00
15.04	0.96	0.07	0.78	0.20	3.50	1.00
16.00	1.02	0.07	0.78	0.26	3.50	1.00
16.96	1.08	0.07	0.78	0.32	3.50	1.00
17.92	1.14	0.07	0.78	0.38	3.50	1.00
19.04	1.22	0.07	0.78	0.45	3.50	1.00
20.00	1.28	0.07	0.78	0.52	3.50	1.00

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
20.96	1.34	0.07	0.78	0.58	3.50	1.00
21.92	1.40	0.07	0.78	0.64	3.50	1.00
23.04	1.47	0.07	0.78	0.71	3.50	1.00
24.00	1.53	0.07	0.78	0.77	3.50	1.00
24.96	1.62	0.11	0.78	0.84	3.50	1.00
25.92	1.71	0.11	0.78	0.90	3.50	1.00
27.04	1.82	0.11	0.78	0.97	3.50	1.00
28.00	1.91	0.11	0.78	1.03	3.50	1.00
28.96	2.00	0.11	0.78	1.09	3.50	1.00
29.92	2.08	0.11	0.78	1.16	3.50	1.00
31.04	2.19	0.11	0.78	1.23	3.50	1.00
32.00	2.28	0.11	0.78	1.29	3.50	1.00
32.96	2.37	0.11	0.78	1.35	3.50	1.00
33.92	2.46	0.11	0.78	1.41	3.50	1.00
35.04	2.56	0.11	0.78	1.49	3.50	1.00
36.00	2.65	0.11	0.78	1.55	3.50	1.00
36.96	2.74	0.11	0.78	1.61	3.50	1.00
37.92	2.83	0.11	0.78	1.67	3.50	1.00
39.04	2.93	0.11	0.78	1.74	3.50	1.00
40.00	3.02	0.11	0.78	1.80	3.50	1.00
40.96	3.11	0.11	0.78	1.87	3.50	1.00
41.92	3.20	0.11	0.78	1.93	3.50	1.00
43.04	3.31	0.11	0.78	2.00	3.50	1.00
44.00	3.40	0.11	0.78	2.06	3.50	1.00
44.96	3.49	0.11	0.78	2.12	3.50	1.00
45.92	3.58	0.11	0.78	2.19	3.50	1.00
47.04	3.68	0.11	0.78	2.26	3.50	1.00
48.00	3.77	0.11	0.78	2.32	3.50	1.00
48.96	3.87	0.13	0.78	2.38	3.50	1.00
49.92	3.97	0.13	0.78	2.44	3.50	1.00
51.04	4.11	0.15	0.78	2.52	3.50	1.00
52.00	4.24	0.17	0.78	2.58	3.50	1.00
52.96	4.41	0.22	0.78	2.64	3.50	1.00
53.92	4.62	0.27	0.78	2.70	3.50	1.00
55.04	4.92	0.33	0.78	2.77	3.50	1.00
56.00	5.21	0.37	0.78	2.84	3.50	1.00
56.96	5.55	0.44	0.78	2.90	3.50	1.00
57.92	5.97	0.54	0.78	2.96	3.50	1.00
59.04	6.64	0.83	0.78	3.03	3.50	1.00
60.00	10.66	7.48	0.78	3.09	3.50	1.00
60.96	11.79	1.22	0.78	3.16	3.50	1.00
61.92	12.32	0.62	0.78	3.22	3.50	1.00
63.04	12.71	0.39	0.78	3.29	3.50	1.00
64.00	13.01	0.38	0.78	3.35	3.50	1.00
64.96	13.19	0.23	0.78	3.41	3.50	1.00
65.92	13.37	0.23	0.78	3.48	3.50	1.00
67.04	13.58	0.23	0.78	3.55	3.50	1.00
68.00	13.77	0.23	0.78	3.61	3.50	1.00
68.96	13.89	0.15	0.78	3.67	3.50	1.00

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.78	12.16	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
2133 Polk Stre	5.99	12.00	1.00	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
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2133 Polk Stre	1.34	0.00	3.68	0.00	-2.33	0.00
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Project Name: 2133 Polk Street Residential

Reviewer: Susan Holland

Project Number: 22-29

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.16 hr, Iterations: 10

Basin 1: 2133 Polk Street Residential

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 100 year

1 Day Rainfall: 13.5 inches

Area: 1.19 acres

Ground Storage: 0.27 inches

Time of Concentration: 0.25 hours

Initial Stage: 1 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
3.50	0.00
6.00	0.05
7.00	0.05
8.00	0.05
9.00	0.05
10.00	0.05
11.00	0.08
11.50	0.13
12.00	0.24

Offsite Receiving Body: Offsitel

Time (hr)	Stage (ft NGVD)
0.00	1.00
1000.00	1.00

Structure: 1

From Basin: 2133 Polk Street Residential

To Basin: Offsitel

Structure Type: Pump

On Elev = 8 ft NGVD, Off Elev = 1.5 ft NGVD, Capacity = 350 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	1.00	1.00
0.96	0.08	0.01	0.00	0.00	3.50	1.00
1.92	0.16	0.04	0.00	0.00	3.60	1.00
3.04	0.25	0.06	0.00	0.00	3.84	1.00
4.00	0.33	0.07	0.00	0.00	4.11	1.00
4.96	0.41	0.08	0.00	0.00	4.41	1.00
5.92	0.49	0.08	0.00	0.00	4.73	1.00
7.04	0.58	0.09	0.00	0.00	5.12	1.00
8.00	0.66	0.09	0.00	0.00	5.47	1.00
8.96	0.74	0.09	0.00	0.00	5.82	1.00
9.92	0.81	0.09	0.78	0.04	4.38	1.00
11.04	0.91	0.09	0.78	0.11	3.50	1.00
12.00	0.99	0.09	0.78	0.18	3.50	1.00
12.96	1.06	0.09	0.78	0.24	3.50	1.00
13.92	1.14	0.09	0.78	0.30	3.50	1.00
15.04	1.24	0.09	0.78	0.37	3.50	1.00
16.00	1.31	0.10	0.78	0.43	3.50	1.00
16.96	1.39	0.10	0.78	0.50	3.50	1.00
17.92	1.47	0.10	0.78	0.56	3.50	1.00
19.04	1.56	0.10	0.78	0.63	3.50	1.00
20.00	1.64	0.10	0.78	0.69	3.50	1.00

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
20.96	1.72	0.10	0.78	0.75	3.50	1.00
21.92	1.80	0.10	0.78	0.81	3.50	1.00
23.04	1.89	0.10	0.78	0.89	3.50	1.00
24.00	1.97	0.10	0.78	0.95	3.50	1.00
24.96	2.09	0.14	0.78	1.01	3.50	1.00
25.92	2.20	0.14	0.78	1.07	3.50	1.00
27.04	2.34	0.14	0.78	1.14	3.50	1.00
28.00	2.45	0.14	0.78	1.21	3.50	1.00
28.96	2.57	0.14	0.78	1.27	3.50	1.00
29.92	2.68	0.14	0.78	1.33	3.50	1.00
31.04	2.81	0.14	0.78	1.40	3.50	1.00
32.00	2.93	0.14	0.78	1.46	3.50	1.00
32.96	3.04	0.14	0.78	1.53	3.50	1.00
33.92	3.16	0.14	0.78	1.59	3.50	1.00
35.04	3.29	0.14	0.78	1.66	3.50	1.00
36.00	3.41	0.14	0.78	1.72	3.50	1.00
36.96	3.52	0.14	0.78	1.78	3.50	1.00
37.92	3.64	0.14	0.78	1.85	3.50	1.00
39.04	3.77	0.14	0.78	1.92	3.50	1.00
40.00	3.89	0.14	0.78	1.98	3.50	1.00
40.96	4.00	0.14	0.78	2.04	3.50	1.00
41.92	4.12	0.14	0.78	2.10	3.50	1.00
43.04	4.25	0.14	0.78	2.18	3.50	1.00
44.00	4.37	0.14	0.78	2.24	3.50	1.00
44.96	4.48	0.14	0.78	2.30	3.50	1.00
45.92	4.60	0.14	0.78	2.36	3.50	1.00
47.04	4.73	0.14	0.78	2.43	3.50	1.00
48.00	4.85	0.14	0.78	2.50	3.50	1.00
48.96	4.98	0.16	0.78	2.56	3.50	1.00
49.92	5.11	0.16	0.78	2.62	3.50	1.00
51.04	5.28	0.19	0.78	2.69	3.50	1.00
52.00	5.45	0.22	0.78	2.75	3.50	1.00
52.96	5.67	0.28	0.78	2.82	3.50	1.00
53.92	5.94	0.35	0.78	2.88	3.50	1.00
55.04	6.32	0.42	0.78	2.95	3.50	1.00
56.00	6.70	0.48	0.78	3.01	3.50	1.00
56.96	7.14	0.57	0.78	3.07	3.50	1.00
57.92	7.67	0.70	0.78	3.14	3.50	1.00
59.04	8.53	1.07	0.78	3.21	3.50	1.00
60.00	13.70	9.62	0.78	3.27	3.50	1.00
60.96	15.16	1.57	0.78	3.33	3.50	1.00
61.92	15.84	0.79	0.78	3.39	3.50	1.00
63.04	16.34	0.50	0.78	3.47	3.50	1.00
64.00	16.73	0.49	0.78	3.53	3.50	1.00
64.96	16.96	0.30	0.78	3.59	3.50	1.00
65.92	17.19	0.29	0.78	3.65	3.50	1.00
67.04	17.47	0.29	0.78	3.72	3.50	1.00
68.00	17.70	0.29	0.78	3.79	3.50	1.00
68.96	17.85	0.20	0.78	3.85	3.50	1.00

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.78	9.44	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
2133 Polk Stre	5.94	9.28	1.00	0.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
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2133 Polk Stre	1.74	0.00	3.85	0.00	-2.11	0.00
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Multi-Family Residential
2133 Polk Street, Hollywood, FL

06/02/23

Proj. No. 22-29

Prepared by Susan C Holland, P.E.

Elevations are referenced to NAVD 1988

Lic. No. 41831

Preliminary Pre-Development Calculations



General Information

Total Project Area =	0.25 Acres	
Paved Area =	0.06 Acres	
Building Area =	0.05 Acres	
Lake Area =	0.00 Acres	
Recreation Area =	0.00 Acres	
Landscape Area =	0.14 Acres	
Total Impervious Area =	0.11 Acres	(44.0%)
Total Pervious Area (TPA) =	0.14 Acres	(56.0%)
Exist. Min. Floor Elevation =	12.00 '	
Exist. Min. Crown of Road =	0.00 '	
Exist. Average Finished Grade =	10.00 '	
Lake Control Stage =	0.00 '	
Flood Criteria (Dade County only) =	0.00 '	
October Water Table =	1.50 '	
(Wet season water table)		
Credit (Dade County only) =	0.00 "	
Discharge Off-site =		

Storm Event Information

Finished Floor Elevation

100 year 3 day event =	18.35 "
100 Year 1 day event =	13.50 "

Perimeter Grade Elevation

25 year 1 day event =	10.50 "
25 year 3 day event =	14.27 "

SCS Curve Number

Design Water Table Elevation = 1.5 '
 Average Finished Grade = 10.00 '
 Average Depth Water Table = 8.50 '

Compacted Water Storage - (CWS) = 6.75 "
(From Table at right for Flatwoods type)

Ground Storage Under Pervious Area
 (CWS/12 in/ft) x (TMPA) = 0.08 AC-FT

Soil Storage (S) = 3.78 "

SCS Curv Number (CN) = 72.57

Cumulative Soil Moisture Storage

S.F.W.M.D Vol. IV,
 pg C-III-3, figure C-III-1

DWT=Depth to Water Table
 NAS=Natural Available Storage
 DAS=Developed Available Storage

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

Stage / Storage

Area of Developed Site Grading = 0.20 Acres

(Linear from 10'-11')

Stage	Not Used	Surface Storage	Not Used	Total
1.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
2.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
3.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
4.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
5.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
6.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
7.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
7.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
8.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
8.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
9.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
9.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
10.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
10.50 '	0.00 AC-FT	0.05 AC-FT	0.00 AC-FT	0.05 AC-FT
11.00 '	0.00 AC-FT	0.10 AC-FT	0.00 AC-FT	0.10 AC-FT
11.50 '	0.00 AC-FT	0.20 AC-FT	0.00 AC-FT	0.20 AC-FT
12.00 '	0.00 AC-FT	0.30 AC-FT	0.00 AC-FT	0.30 AC-FT

Multi-Family Residential
2133 Polk Street, Hollywood, FL
Proj. No. 22-29
Pre-Development

6/2/2023

Finished Floor Elevation

$$\begin{aligned} &100 \text{ Year - 1 Day Event} = 13.50 \text{ "} \\ &\quad \text{(from SFWMD Manual)} \\ &100 \text{ year - 3 day event} = 13.50 \text{ " } \times (1.359) = 18.35 \text{ "} \\ Q = &\frac{\left[\frac{18.35}{18.35} \frac{-0.20}{+0.80} \frac{(3.78)}{(3.78)} \right]^2}{18.35} = 14.48 \text{ "} \\ &14.48 \text{ " } - 0.00 \text{ " (Dade Co. Credit)} = 14.48 \text{ "} \end{aligned}$$

$$\text{Volume} = \frac{14.48 \text{ "}}{12 \text{ in/ft}} (0.25) = 0.30 \text{ AC-FT}$$

$$\text{Corresponding Stage} = 12.00 \text{ '}$$

Perimeter Grade Elevation

$$\begin{aligned} &25 \text{ Year - 1 Day Event} = 10.50 \text{ "} \\ &\quad \text{(from SFWMD Manual)} \\ &25 \text{ - year - 3 day event} = 10.50 \text{ " } \times (1.359) = 14.27 \text{ "} \\ Q = &\frac{\left[\frac{14.27}{14.27} \frac{-0.20}{+0.80} \frac{(3.78)}{(3.78)} \right]^2}{14.27} = 10.56 \text{ "} \\ &10.56 \text{ " } - 0.00 \text{ " (Dade Co. Credit)} = 10.56 \text{ "} \\ \text{Volume} = &\frac{10.56 \text{ "}}{12 \text{ in/ft}} (0.25) = 0.22 \text{ AC-FT} \\ &\text{Corresponding Stage} = 11.60 \text{ '} \end{aligned}$$

The School Board of Broward County, Florida
PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION

PLAT

SBBC-3576-2023

County Number: TBD Municipality Number: TBD

Folio #: 514216100070, 514216100080

2133-2139 Polk Street

May 23, 2023



Growth Management

Facility Planning and Real Estate Department

600 SE 3rd Avenue, 8th Floor

Fort Lauderdale, Florida 33301

Tel: (754) 321-2177 Fax: (754) 321-2179

www.browardschools.com

PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION PLAT

PROJECT INFORMATION		NUMBER & TYPE OF PROPOSED UNITS		OTHER PROPOSED USES		STUDENT IMPACT	
Date:	May 23, 2023	Single-Family:				Elementary:	
Name: 2133-2139 Polk Street		Townhouse:				0	
SBBC Project Number: SBBC-3576-2023		Garden Apartments:				Middle:	
County Project Number: TBD		Mid-Rise:				0	
Municipality Project Number: TBD		High-Rise:				High:	
Owner/Developer: Polk Equities LLC		Mobile Home:				1	
Jurisdiction: Hollywood		Total:				Total:	
		23				1	

SHORT RANGE - 5-YEAR IMPACT

Currently Assigned Schools	Gross Capacity	LOS * Capacity	Benchmark† Enrollment	Over/Under LOS	Classroom Equivalent Needed to Meet LOS	% of LOS*** Capacity	Cumulative Reserved Seats
Oakridge	605	1,009	435	-231	-12	65.3%	0
Olsen	1,125	831	629	-609	-27	50.8%	15
South Broward High	2,297	2,026	2,407	-120	-4	95.3%	29

Currently Assigned Schools	Adjusted Benchmark	Over/Under LOS-Adj. Benchmark Enrollment	% LOS Cap. Adj. Benchmark	Projected Enrollment				
				23/24	24/25	25/26	26/27	27/28
Oakridge	435	-231	65.3%	408	390	372	384	366
Olsen	629	-609	50.8%	645	628	616	604	592
South Broward High	2,407	-120	95.3%	2,417	2,403	2,413	2,419	2,424

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <https://www.browardschools.com/Page/34040>. The annual benchmark enrollment is taken on the Monday following Labor Day and is used to apply individual charter school enrollment impacts against school facility review processes.

*This number represents the higher of: 100% gross capacity or 110% permanent capacity. **The first Monday following Labor Day. ***Greater than 100% exceeds the adopted Level of Service (LOS).

CHARTER SCHOOL INFORMATION

Charter Schools within 2-mile radius	2022-23 Contract Permanent Capacity	2022-23 Benchmark Enrollment	Over/(Under)	Projected Enrollment		
				23/24	24/25	25/26
Avant Garde Academy	750	1,116	366	1,116	1,116	1,116
Avant Garde K-8 Broward	1,050	1,015	-35	1,015	1,015	1,015
Ben Gamla Charter	625	349	-276	349	349	349
Ben Gamla Charter North Broward	900	289	-611	289	289	289
Hollywood Academy 6_8	450	478	28	478	478	478
Hollywood Academy K_5	1,100	1,130	30	1,130	1,130	1,130
International Studies Academy High School	800	207	-593	207	207	207
International Studies Academy Middle School	594	252	-342	252	252	252
Paragon Academy Of Technology	500	135	-365	135	135	135
Sunshine Elementary	500	230	-270	230	230	230

PLANNED AND FUNDED CAPACITY ADDITIONS IN THE ADOPTED DISTRICT EDUCATIONAL FACILITIES PLAN

School(s)	Description of Improvements
Oakridge	There are no scheduled classroom additions in the Adopted DEFP that would increase the reflected FISH capacity of the school.
Olsen	There are no scheduled classroom additions in the current ADEFP that would increase the reflected FISH capacity of the school.
South Broward High	There are no scheduled classroom additions in the current ADEFP that would increase the reflected FISH capacity of the school.

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review.

A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <https://www.browardschools.com/Page/34040>. The benchmark enrollment count taken on the first Monday following Labor Day is used to apply individual charter school enrollment impacts against school facility review processes.

Comments

The plat application proposes 23 (5 one bedroom or less and 18 two or more bedroom) mid-rise units, which is anticipated to 1 high school student into Broward County Public Schools.

The school Concurrency Service Areas (CSA) serving the project site in the 2022/23 school year include Oakridge Elementary, Olsen Middle and South Broward Schools. Based on the Public School Concurrency Document (PSCPD), all three schools are currently operating below the Level of Service Standard (LOS), which is established as the higher of: 100% gross capacity or 110% permanent capacity. Incorporating the cumulative students anticipated from this project and approved and vested developments anticipated to be built within the next three years (2022/23- 2024/25), these schools are expected to maintain their current status through the 2024/25 school year. Additionally, the school capacity or Florida Inventory of School Houses (FISH) for the impacted schools reflects compliance with the class size constitutional amendment.

Charter schools located within a two-mile radius of the site in the 2022/23 school year are depicted above. Students returning, attending or anticipated to attend charter schools are factored into the five-year student enrollment projections for District schools. Enrollment projections are adjusted for all elementary, middle and high schools impacted by a charter school until the charter school reaches full enrollment status.

To ensure maximum utilization of the impacted CSA, the Board may utilize school boundary changes to accommodate students generated from developments in the County.

Capital Improvements scheduled in the currently Adopted District Educational Facilities Plan (DEFP), Fiscal Years 2022/23 to 2026/27 regarding pertinent impacted schools are depicted above.

This application satisfies public school concurrency on the basis that there is adequate school capacity anticipated to be available to support the project as proposed. This preliminary determination shall be valid for either the end of current school year or 180 days, whichever is greater for a maximum of 23 (5 one bedroom or less and 18 two or more bedroom) mid-rise units and conditioned upon final approval by the applicable governmental body. As such, this Preliminary School Capacity Availability Determination (SCAD) Letter will expire on November 18, 2023. This preliminary school concurrency determination shall be deemed to be void unless prior to the referenced expiration of the preliminary SCAD, notification of final approval to the District has been provided and/or an extension of this preliminary SCAD has been requested in writing and granted by the School District. Please be advised that expiration of the SCAD will require a submission of a new application and fee for a new public school concurrency determination. Upon the District's receipt of sufficient evidence of final approval, which shall minimally specify the number, type and bedroom mix for the approved residential units, the District will issue and provide a final SCAD letter for the approved units, which shall ratify and commence the vesting period for the approved residential project.

Please be advised that if a change is proposed to the development, which increases the number of students generated by the project, the additional students will not be considered vested for public school concurrency.

SBBC-3576-2023 Meets Public School Concurrency Requirements

☒ Yes ☐ No

Reviewed By:

5/53/2023
Date

Glennika D. Gordon
Signature

Glennika D. Gordon, AICP

Name

Planner

Title



January 12, 2023

Esther Rein, Project Assistant
Polk Equities, LLC
P.O. Box 630246
Miami, Florida 33163

Via Email Only

Dear Ms. Rein:

Re: Platting requirements for a parcel legally described as Lots 8-9, "A Subdivision of Lots 1 and 2 of Block E in Hollywood Little Ranches," according to the Plat thereof, as recorded in Plat Book 3, Page 19, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Polk Street, between North 24 Avenue and Dixie Highway, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.25 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.


Esther Rein
January 12, 2023
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Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Julie M. Bernal at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:JMB

cc/email: Dr. Wazir Ishmael, City Manager
City of Hollywood

Shiv Newaldass, Director, Development Services
City of Hollywood

