PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):

GENERAL APPLICATION

Hollywood, FL	. 33022
Halland	APPLICATION TYPE (CHECK ONE): Technical Advisory Committee
FLORIDA	☐ City Commission ☐ Planning and Development Board Date of Application: 01/06/2023
Tel: (954) 921-3471	Location Address: 2133-2139 Polk Street, Hollywood, FL, 33020
Fax: (954) 921-3347	Lot(s): 8,9 Block(s): E Subdivision: A SUB OF LOTS 1 & 2 OF BLK E HOLLYWOOD LITTLE RANCHES Folio Number(s): 2133 Polk: 514216100070 2139 Polk: 514216100080
of the state of th	Zoning Classification: DH-3 Land Use Classification: RESIDENTIAL
This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.	Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: Is the request the result of a violation notice? () Yes \(\sqrt{No} \) No If yes, attach a copy of violation. Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): FILE NO. 22-DP-72
The applicant is responsible for obtaining the appropriate	☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board ☐ City Commission ☐ Planning and Development
checklist for each type of application.	Explanation of Request: Site plan review for a 23 unit residential development (2133 Polk Street)
Applicant(s) or their authorized legal agent must be	Number of units/rooms: 23 Sq Ft: 942.60 SF AVERAGE
present at all Board or Committee meetings.	Value of Improvement: TO BE DETERMINED Estimated Date of Completion: 36 MONTHS
	Will Project be Phased? () Yes VNo If Phased, Estimated Completion of Each Phase
At least one set of the submitted plans for each	Name of Current Property Owner: Polk Equities LLC
application must be signed and sealed (i.e. Architect or	
Engineer).	Address of Property Owner: PO Box 630246, Miami, Florida, 33480 Telephone: 347-432-7684 Fax: N/A Email Address: Simon@skydevelopersnj.co
Documents and forms can be	Name of Consultant/Representative/Tenant (circle one): (Architect) Richard Garber
accessed on the City's website	Address: 125 Maiden Lane, Suite 506, New York, NY,10038 Telephone: 917-856-6453
at the state of th	Fax: N/A Email Address: Richard@groarc.com
http://www.hollywoodfl.org/Do curnentCenter/Home/View/21	Date of Purchase: 08-11-2022 Is there an option to purchase the Property? Yes () No () If Yes, Attach Copy of the Contract.
	List Anyone Else Who Should Receive Notice of the Hearing: (Civil Engineer) Susan Holland
(8	Address: 301 SW 7th Street, Ft. Lauderdale, FL 33315
	Email Address: susan@hollandengineering.net
THE REAL PROPERTY OF THE PARTY	

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Shimon Klefaer	Date: 01-06-2023
PRINT NAME: SHIMON KLEPNER	Date: 01-06-2023
Signature of Consultant/Representative: PwiCol	Date: 01-06-2023
PRINT NAME: RICHARD GARBER, AIA	Date: 01-06-2023
Signature of Tenant: Shimon Klefaer	Date: 01-06-2023
PRINT NAME: SHIMON KLEPNER	Date: 01-06-2023
I am the current owner of the described real property and that I am awa TAC REVIEW to my property, which is hereb	are of the nature and effect the request for made by me or I am hereby authorizing
Richard Garber to be my legal representative before to committee) relative to all matters concerning this application.	he Technical Advisory Comittee (Board and/
Sworn to and subscribed before me	Shimon Klefaer
his 6 gay of Junuxur , 2023	Signature of Current Owner
Esther Rein Comm.: HH 339491	SHIMON KLEPNER
otary Public Expires: December 7, 2026 Notary Public - State of Florida	Print Name
State of Florida	/
My Commission Expires: 2 7 26 (Check One)Personally known to me; OR _	Produced Identification Vivers 1000

DESCRIPTION:

LOTS 8 & 9, " A SUBDIVISION OF LOTS 1 AND 2 OF BLOCK E IN HOLLYWOOD LITTLE RANCHES.", ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SURVEYOR NOTES:

- FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.

 2). THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- DESCRIPTION ATTACHED HEREON. REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE

Pierce St Lincoln St

Grant St

Fillmore S

- THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSITUTE A WARRANTY OR GUARANTEE,
- 4.) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- 5.) BENCHMARK REFERENCE NATIONAL GEODETIC SURVEY DESIGNATION M 312, PID - AD2500, ELEVATION = 13.44
- 6.) ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF
- IMPROVEMENTS. EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED. NO EFFORT HAS BEEN MADE TO LOCATE UNDERGROUND 7.) THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE
- ENTITY OR INDIVIDUAL SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS
- 10.)ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. 11.)RESERVATION FOR 5' SIDEWALK DEDICATED BY PLAT FOR PUBLIC USE. 9.) NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF POLK STREET.
- UNKNOWN SIZE. CALL FOR LOCATES BEFORE DIGGING. 12.)WATER SERVICE MAIN LOCATED NEAR REAR PROPERTY LINE UNABLE TO FIELD LOCATE

SUMMARY TABLE OF TITLE EXCEPTIONS

SCHEDULE B-II

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

FUND FILE NUMBER 22-0157-ZL DATED: JULY 10, 2022

- **B-II EXCEPTIONS** DESCRIPTION COMMENTS
- 8 Defects, Liens, Adverse claims

 Taxes, rights, claims, encroachments, Easements not recorded, Liens for services not recorded - ---
 Any adverse claim by the State of Florida by right of sovereignty;

 Lien provided by County Ordinance or by Chapter 159, F.S. in favor of City for unpaid service charges.

 Unknown - not depictable

- 6 Matters contained on the Record Plat Book 3, Pg. 19, B.C.R.
- 7 See Survey 1783 - "Hollywood
- ∞ 9 Amendment - Resolution No 12-DV-05 ORB 48536, Pg. 1511 -Broward County Ordinance 2005-18 ORB 40082, Pg. 1783 - "Hollywood Downtown Regional Activity Center" limits - Affects this property Broward County Ordinance 2005-19 ORB40082, Pg. 1789 - Land use plan Amendment - Affects this property Page 1511 - Noes not affect this
- <u>property</u> Setbacks if any contained in Deed Book 26, Pg. 316 <u>Does not affect this</u>
- $\frac{\text{property}}{\text{Rights of the lessees under unrecorded leases}} \ \ \text{-}$ Not a survey matter

SURVEY CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, EFFECTIVE FEBUARY 23, 2021
AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(LIMITED), AND 13 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON JUNE 22, 2022

REVISION

В

SCALE: 1"=20'

NOT VALID WITHOUT THE SIGI

SHEET

DATE: 06

JOB #:RN9265

NSPS

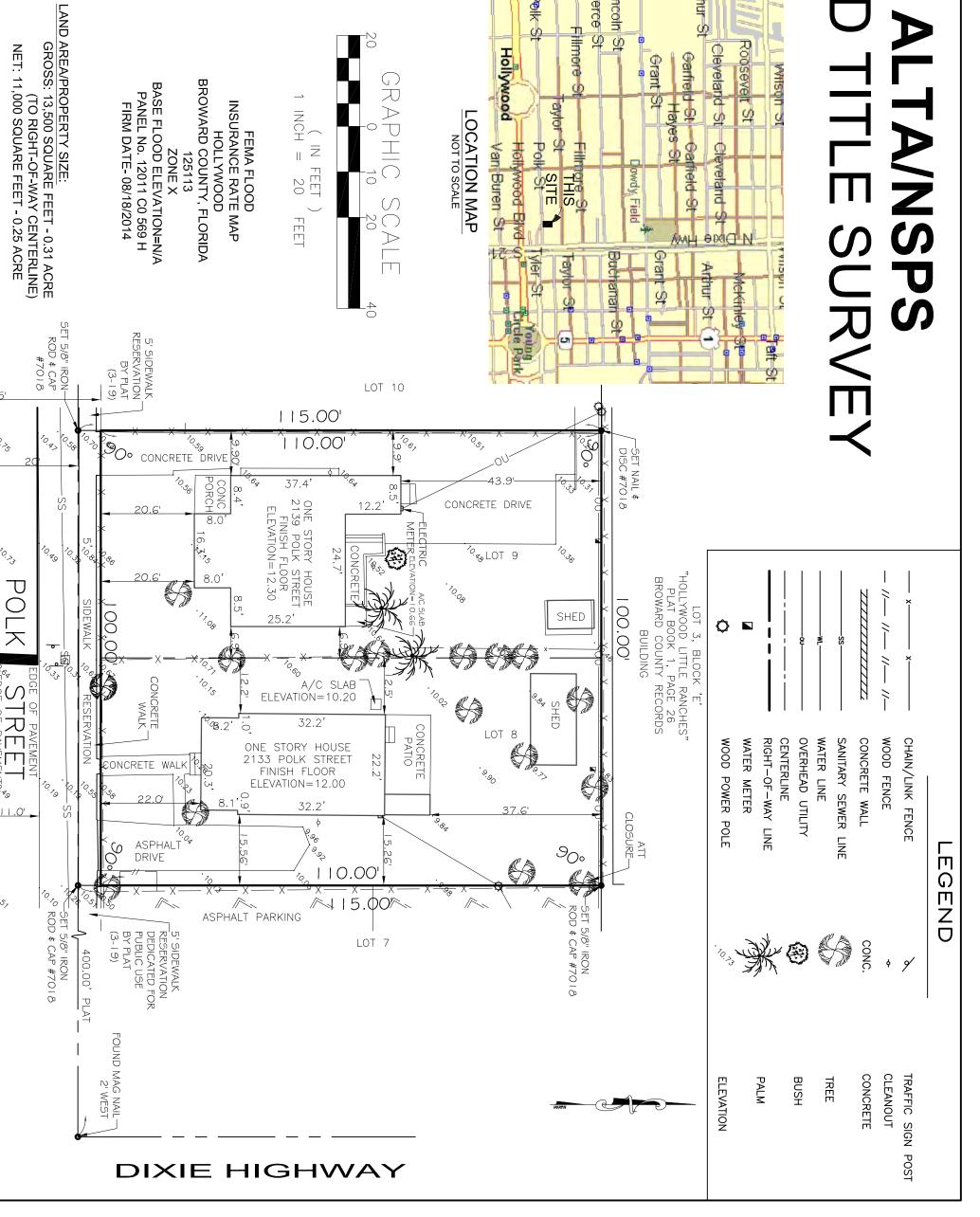
AND TIT

ILE

SURVEY

DRAWN BY: CM

of 1 CHECKED BY: SKS FLORIDA LICENSED SURVEYOR AND MAPPER STEPHEN K. SEELEY, FOR THE FIRM PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 4574



OWNERSHIP AND ENCUMBRANCE REPORT
PREPARED BY: SHIMON KLEPNER, OWNER
DATED: 11/17/2022

PHALT ROADWAY

70.3

POL

ENCROACHMENTS: NONE VISIBLE UNRECORDED EASEMENTS: SEE F AND REAR PROPERTY LINE UTILITIES-UNDERGROUND OVERHEAD

ASPHALT

ROADWAY

STREE

TEA

PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. CONTRACT/AGREEMENT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL. COPYING, DISTRIBUTING OR RE-USE OF THIS SURVEY FOR THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OT THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO, FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE

POLK EQUITIES LLC

SKY DEVELOPERS

ERTIFIED TO:

NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.

minimulary.

William Inni

LS4574 SENC

U BS S

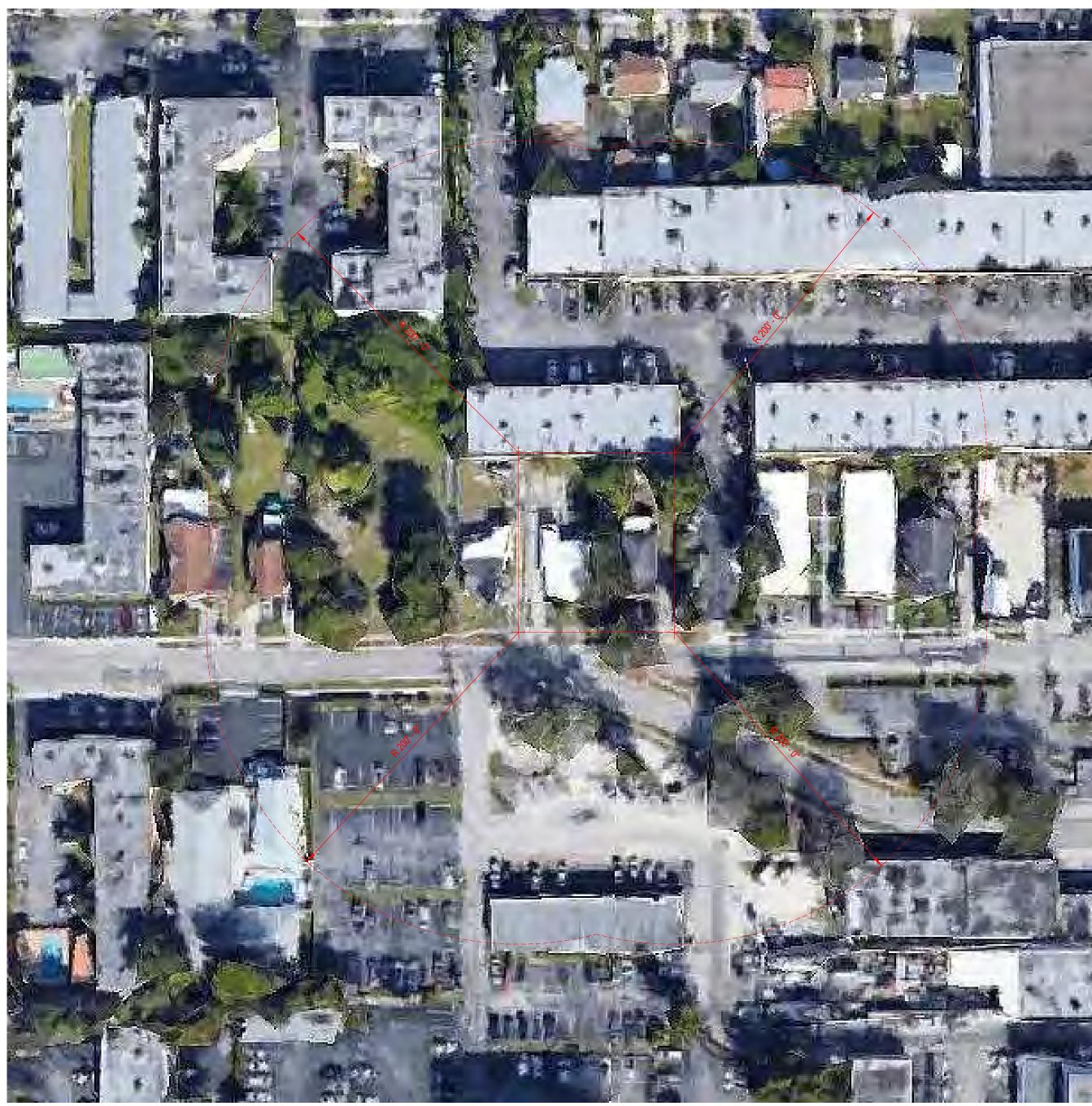
LAND SURVEYORS

2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666 LICENSED BUSINESS NO. 7018

NEW CONSTRUCTION

MULTI-FAMILY RESIDENTIAL 2133 - 2139 POLK STREET HOLLYWOOD, FL 33020 BLOCK:E, LOT:8,9 BROWARD COUNTY





SHEET NUMBER	NAME		
PB-000	TITLE SHEET		
PB-010	CONTEXT PHOTOS		
PB-020	SURVEY		
PB-030	SITE PLAN		
PB-050	LIGHTING PLAN		
PB-080	TRASH REMOVAL PLAN & MAIL DELIVERY PLAN		
PB-101	FIRST FLOOR PLAN		
PB-102	SECOND FLOOR PLAN		
PB-103	THIRD FLOOR PLAN		
PB-104	FOURTH FLOOR PLAN		
PB-106	ROOF PLAN		
PB-201	EXTERIOR ELEVATION		
PB-202	EXTERIOR ELEVATION		
PB-203	EXTERIOR ELEVATION		
PB-204	EXTERIOR ELEVATION		
PB-301	SECTION 01		
PB-302	SECTION 02		
PB-400	ENLARGED EXTERIOR ELEVATIONS		
PB-401	DETAILS VIEW		
PB-901	AXON VIEW		
PB-902	STREET VIEW		





Richard Garber, AIA S.
FL License # AR102201 RED I

Nicole Robertson, AIA

NEW CONSTRUCTION
MULTI-FAMILY RESIDENTIAL
2133 - 2139 POLK STREET
HOLLYWOOD, FL 33020
BLOCK:E LOT:8,9

CLIENT:

POLK EQUITIES LLC PO BOX 630246 MIAMI, FLORIDA, 33480 t (347)-432-7684 e simon@skydevelopersnj.com

Conelli Tante:

CIVIL ENGINEER
HOLLAND ENGINEERING
301 SW 7TH STREET
FT. LAUDERDALE, FL, 33315
t (954)-367-0371
e susan@hollandengineering.net

X X X X X

X X X X

PRELIMINARY TAC MEETING DATE: DECEMBER.5TH 2022

PERMIT SUBMISSION:

PROGRESS: 2 JUNE 2023

DEVELOPMENT APPLICATION:

No. Date Description

NOT FOR CONSTRUCTION

CHECKED BY:

PROJECT NUMBER: DRAWN BY:

DESIGNED BY:
SHEET TITLE:

TITLE SHEET

PB-000







GRO Architects pllc

125 Maiden Lane, Suite 506

New York, NY 10038

t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, Al FL License # AR102201 FRED A

Nicole Robertson, AIA

NEW CONSTRUCTION MULTI-FAMILY RESIDENTIAL 2133 - 2139 POLK STREET HOLLYWOOD, FL 33020 BLOCK:E LOT:8,9

POLK EQUITIES LLC PO BOX 630246 MIAMI, FLORIDA, 33480 t (347)-432-7684 e simon@skydevelopersnj.com

CONSULTANTS:

CIVIL ENGINEER
HOLLAND ENGINEERING
301 SW 7TH STREET
FT. LAUDERDALE, FL, 33315 t (954)-367-0371 e susan@hollandengineering.net

DEVELOPMENT APPLICATION:

PERMIT SUBMISSION:

PROGRESS: 2 JUNE 2023

No. DATE DESCRIPTION

DRAWN BY: PROJECT NUMBER: CHECKED BY:

SHEET TITLE:

DESIGNED BY:

CONTEXT PHOTOS

SHEET NO.: PB-010

	ZONING TABULATION CHA	ART (DH-3)		
ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
MAIN PERMIT USES	MULTI-FAMILY RESIDENTIAL	SINGLE-FAMIILY RESIDENTIAL	MULTI-FAMILY RESIDENTIAL	NO
LOT SIZE	NO REQUIREMENT	11,500 SF	NO CHANGE	NO
LOT WIDTH	NO REQUIREMENT	100'	NO CHANGE	NO
LOT DEPTH	NO REQUIREMENT	115'	NO CHANGE	NO
FRONTAGE SETBACK	RESIDENTIAL: 15'	N/A	15'	NO
SIDE YARD SETBACK	0'	N/A	0'	NO
REAR YARD SETBACK	10'	N/A	10'	NO
ALLEY SETBACK	5'	N/A	N/A	NO
MAX. BUILDING HEIGHT	SITES OR PORTIONS OF SITES WITHIN 200' OF DH-1, DH-2, ND-1; 5 STORIES, NOT TO EXCEED 55'	1 STORY	55'-0" AND 5 STORIES	NO
LOT COVERAGE	NO REQUIREMENT	N/A	78%	NO
BUIILDING COVERAGE	NO REQUIREMENT	N/A	86%	NO
MAX. FAR	3.00	N/A	2.32	NO
MIN. PARKING SPACES	1 SPACE PER ONE BEDROOM UNIT; 1.5 SPACE PER MULTI-BEDROOM UNIT, PLUS 1 SPACE PER 10 UNITS FOR GUEST PARKING	N/A	37	NO
FLOOR TO FLOOR HEIGHT	NO REQUIREMENT	N/A	10'-2"	NO
MIN. UNIT SIZE (PER UNIT)	400 SF	N/A	590 SF	NO
MIN. UNIT SIZE (CUMULATIVE AVERAGE)	650 SF	N/A	930 SF	NO

UNIT SCHEDULE

UNIT NO. | # OF BEDROOM | UNIT TYPE | AREA

UNIT 204-1 TWO BEDROOM - DUPLEX UNIT TYPE D 552 SF

UNIT 209-1 TWO BEDROOM - DUPLEX UNIT TYPE G 592 SF

UNIT TYPE B 839 SF

UNIT TYPE C 1096 SF

UNIT TYPE F 590 SF UNIT TYPE F 590 SF

UNIT TYPE E 888 SF

GROSS BUILDING	AREA
DEPARTMENT	AREA
FIRST FLOOR EL.12.20	-
CIRCULATION	996 SF
PARKING	7287 SF
SERVICE	722 SF
	9004 SF
SECOND FLOOR	
CIRCULATION	1156 SF
RESIDENTIAL	6761 SF
SERVICE	80 SF
	7997 SF
THIRD FLOOR	
CIRCULATION	1028 SF
RESIDENTIAL	6859 SF
SERVICE	109 SF
	7997 SF
FOURTH FLOOR	
CIRCULATION	1029 SF
RESIDENTIAL	6854 SF
SERVICE	109 SF
	7992 SF
T.O. ROOF STRUCTURE	
AMENITY	670 SF
CIRCULATION	799 SF
RESIDENTIAL	1206 SF
SERVICE	193 SF
	2869 SF
	35859 SF

ITEM	DATA
BLOCK NO.	E
LOT NO.	LOT 8, LOT 9
ZONING	DH-3
SITE AREA	11,500 SF = 0.264 ACRE
OCCUPANCY	R
USE GROUP	RESIDENTIAL
BUILDING AREA	35,859 SF
VOLUME	487,655 CF
FUTURE LAND USE	REGIONAL ACTIVITY CENTER

COUNT

LINUT MIV O	OLINITO		UNI	T 204-2	TWO BEDROOM - DUPLEX	UNIT TYPE D	552
UNIT MIX COUNTS			UNI [*]	T 209-2	TWO BEDROOM - DUPLEX	UNIT TYPE G	614
# OF BEDROOM COUNT		UNI [*]	T 301	ONE BEDROOM	UNIT TYPE A	726	
			UNI [*]	T 302	TWO BEDROOM	UNIT TYPE B	839
E BEDROOM	5		UNI [*]	T 303	THREE BEDROOM	UNIT TYPE C	1096
REE BEDROOM	7		UNI [*]	T 304	THREE BEDROOM	UNIT TYPE C	1096
O BEDROOM	7		UNI [*]	T 305	TWO BEDROOM	UNIT TYPE B	841 \$
O BEDROOM - DUPLEX	4		UNI [*]	T 306	THREE BEDROOM	UNIT TYPE C	1096
			FOL	JRTH FLO	OR		
			UNI [*]	T 401	ONE BEDROOM	UNIT TYPE A	726 \$
PARKING SO	HEDUI	F	UNI [*]	UNIT 402 TWO BEDROOM UNIT TYPE B		UNIT TYPE B	839
17444410			UNI [*]	T 403	THREE BEDROOM	UNIT TYPE C	1096
PARKING SPACE TY	PΕ	PROPOSED	UNI [*]	UNIT 404-1 TWO BEDROOM - DUPLEX UNIT TYPE D			552
RKING LIFT: COMPACT_8X16		12X2	UNI [*]	T 405	THREE BEDROOM	UNIT TYPE C	1096
RKING SPACE - ADA: 12' x 18' (5' Aisle)	1	UNI [*]	T 406	TWO BEDROOM	UNIT TYPE B	841 \$
RKING SPACE: 8.5' X 18' STANE		9	UNI [*]	T 407	THREE BEDROOM	UNIT TYPE C	1096
RKING			UNI [*]	T 408-1	TWO BEDROOM - DUPLEX	UNIT TYPE G	608
RKING SPACE: 8.5' X 19' STANDARD 3		T.O. ROOF STRUCTURE					
RKING (GUEST)			UNI [*]	T 404-2	TWO BEDROOM - DUPLEX	UNIT TYPE D	577 9
		25 STALLS	UNI [*]	T 408-2	TWO BEDROOM - DUPLEX	UNIT TYPE G	630 \$
		37 TOTAL	23				2168

SECOND FLOOR

UNIT 201 ONE BEDROOM

UNIT 206 ONE BEDROOM

THREE BEDROOM

ONE BEDROOM

TWO BEDROOM

PARKING SCHEDULE			
PARKING SPACE TYPE	PROPOSED		
PARKING LIFT: COMPACT_8X16	12X2		
PARKING SPACE - ADA: 12' x 18' (5' Aisle)	1		
PARKING SPACE: 8.5' X 18' STANDARD PARKING	9		
PARKING SPACE: 8.5' X 19' STANDARD PARKING (GUEST)	3		
	25 STALLS		
	37 TOTAL		

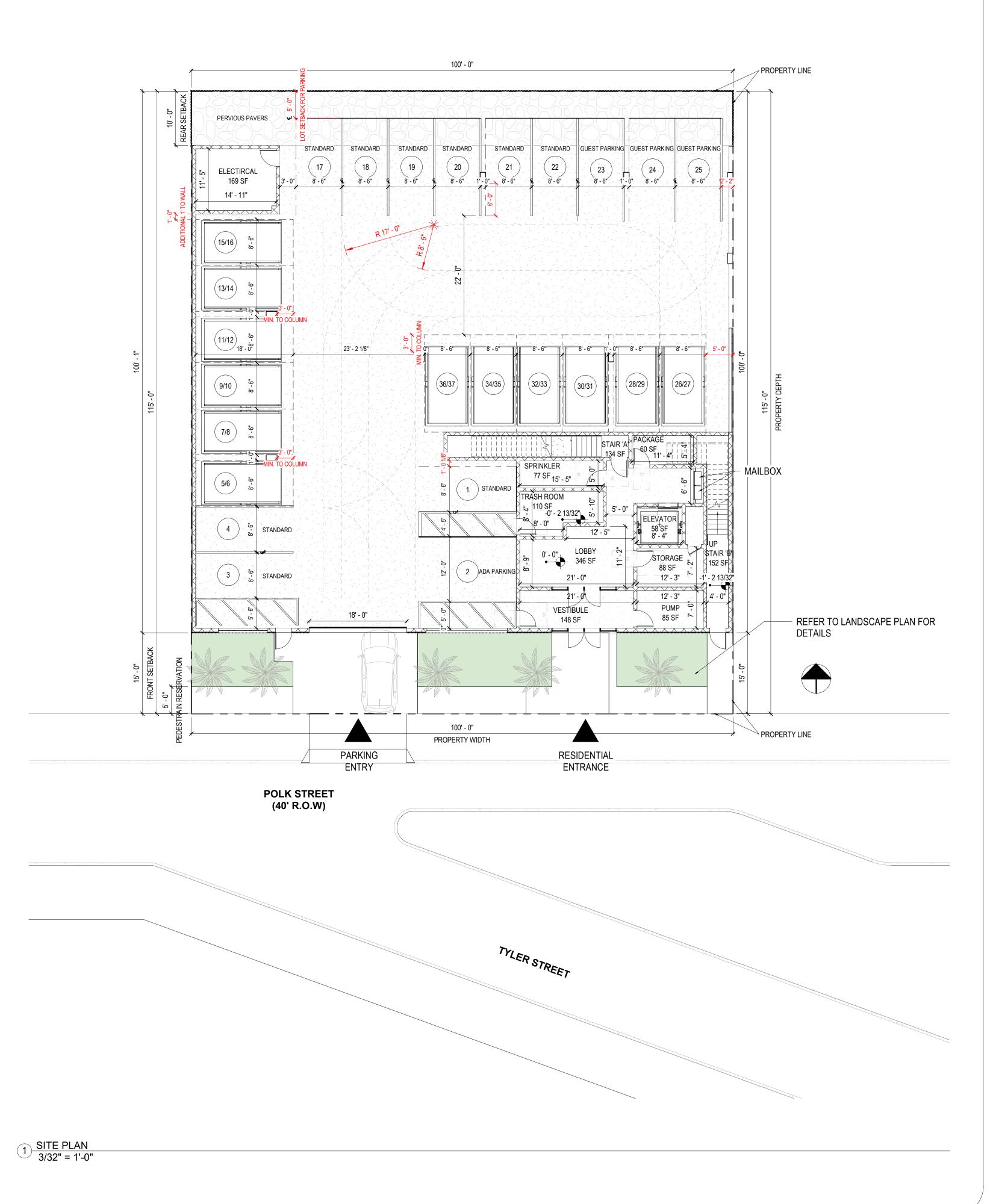
ARTICLE 9: VEHICULAR USE AREA LANDSCAPING

§ 9.2. Applicability.

A. Development or rehabilitation projects requiring site plan approval shall comply with the minimum landscape standards and the Landscape Specifications Manual in effect at time of Site Plan submittal.

- B. Development or rehabilitation projects not requiring site plan approval, but meeting the following thresholds, shall comply with the minimum landscape standards and the Landscape Specifications Manual in effect at time of building permit submittal:
- 1. New residential and commercial projects;
- 2. Expansion of floor area or a change of use which requires additional parking or an increase in the vehicular use area. This article shall apply to the new parking areas only unless there is an increase of 50% or more in paved area, then the entire site shall be consistent with this article;
- 3. New paved parking or when the total square footage of the vehicular use area is
- 4. Renovations to a building exceeding 50% of the assessed value of the structure or an increase of more than 50% of the floor area of the building.
- 5. New construction or substantial rehabilitation projects that are subject to review by the Planning and Development Board.
- C. Exemptions to 5' parking setback per § 4.6 B 3 c (3) (c).
 1. Vehicular use areas contained beneath structures or in courtyards which are concealed from public view.

ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.





GRO Architects pllc 125 Maiden Lane, Suite 506 New York, NY 10038 FE OF FLOAT 1212.346.0705 f 646.357.9730 e nicole@groarc.com

Richard Garber, AlA (%) FL License # AR102201 FRED AR

Nicole Robertson, AIA

PROJECT: NEW CONSTRUCTION MULTI-FAMILY RESIDENTIAL 2133 - 2139 POLK STREET HOLLYWOOD, FL 33020 BLOCK:E LOT:8,9

POLK EQUITIES LLC PO BOX 630246 MIAMI, FLORIDA, 33480 t (347)-432-7684 e simon@skydevelopersnj.com

CONSULTANTS:

CIVIL ENGINEER HOLLAND ENGINEERING 301 SW 7TH STREET FT. LAUDERDALE, FL, 33315 t (954)-367-0371 e susan@hollandengineering.net

DEVELOPMENT APPLICATION:

PERMIT SUBMISSION: PROGRESS: 2 JUNE 2023

No. DATE DESCRIPTION

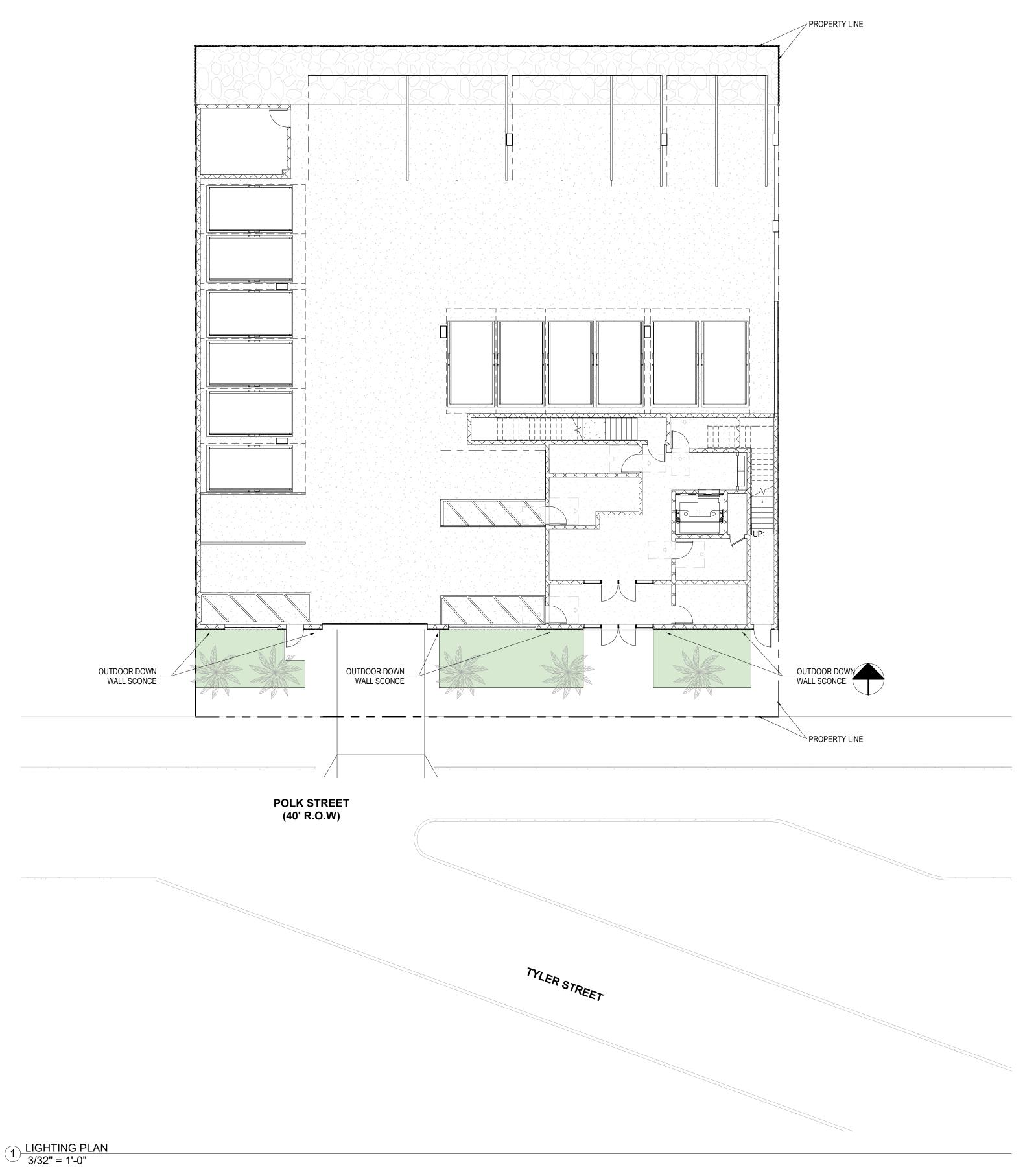
DRAWN BY: PROJECT NUMBER:

CHECKED BY:

DESIGNED BY:

SHEET TITLE: SITE PLAN

PB-030

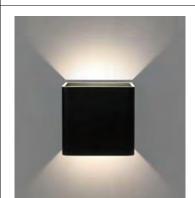




LIGHTING FIXTURE

MATERIAL SAMPLE

DESCRIPTION/ FINISH



L.01 OUTDOOR DOWN WALL SCONCE

GRO Architects pllc 125 Maiden Lane, Suite 506 New York, NY 10038 FE OF FLOR t 212.346.0705 f 646.357.9730 e nicole@groarc.com

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DEVELOPMENT APPLICATION: PERMIT SUBMISSION:

PROGRESS: 2 JUNE 2023 REVISIONS

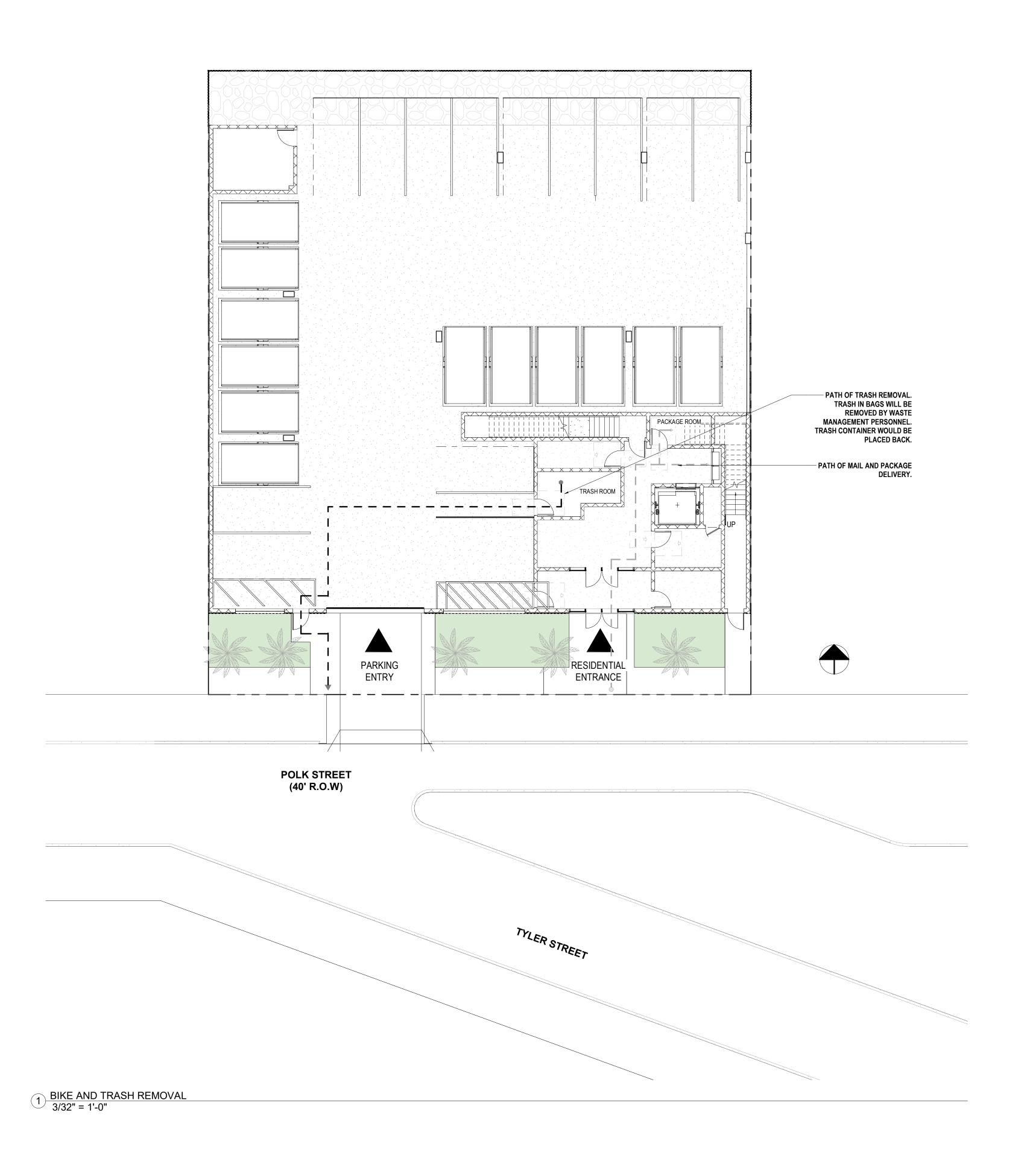
No. DATE DESCRIPTION

PROJECT NUMBER: DRAWN BY:

Author CHECKED BY: DESIGNED BY:

SHEET TITLE: LIGHTING PLAN

PB-050





GRO Architects pllc
125 Maiden Lane, Suite 506
New York, NY 10038
t 212.346.0705
f 646.357.9730 e nicole@groarc.com

Richard Garber, Al A FL License # AR102201 RED AR

Nicole Robertson, AIA

PROJECT: NEW CONSTRUCTION MULTI-FAMILY RESIDENTIAL 2133 - 2139 POLK STREET HOLLYWOOD, FL 33020 BLOCK:E LOT:8,9

POLK EQUITIES LLC

PO BOX 630246 MIAMI, FLORIDA, 33480 t (347)-432-7684 e simon@skydevelopersnj.com

CONSULTANTS:

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PERMIT SUBMISSION: PROGRESS: 2 JUNE 2023

DEVELOPMENT APPLICATION:

NO. DATE DESCRIPTION

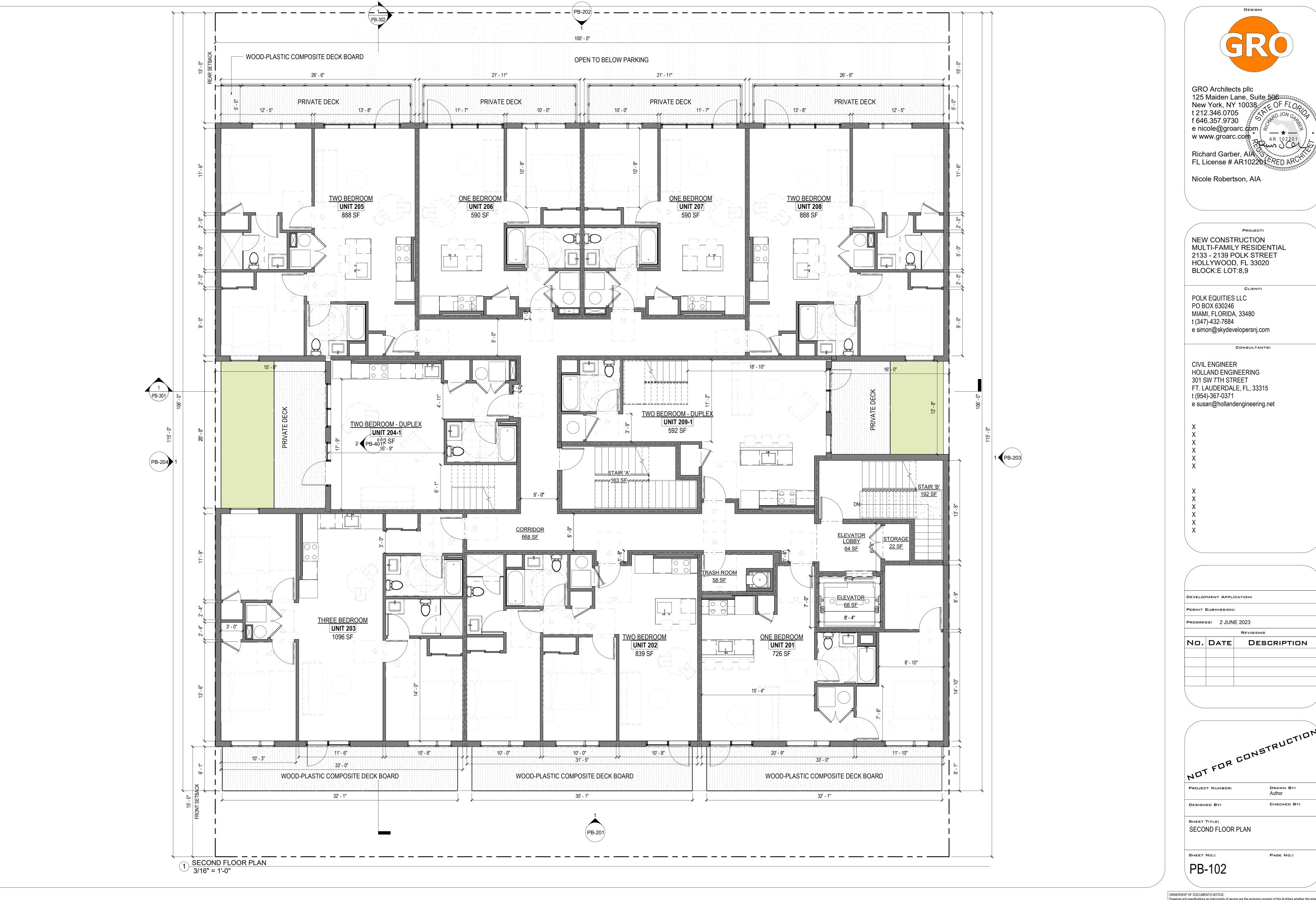
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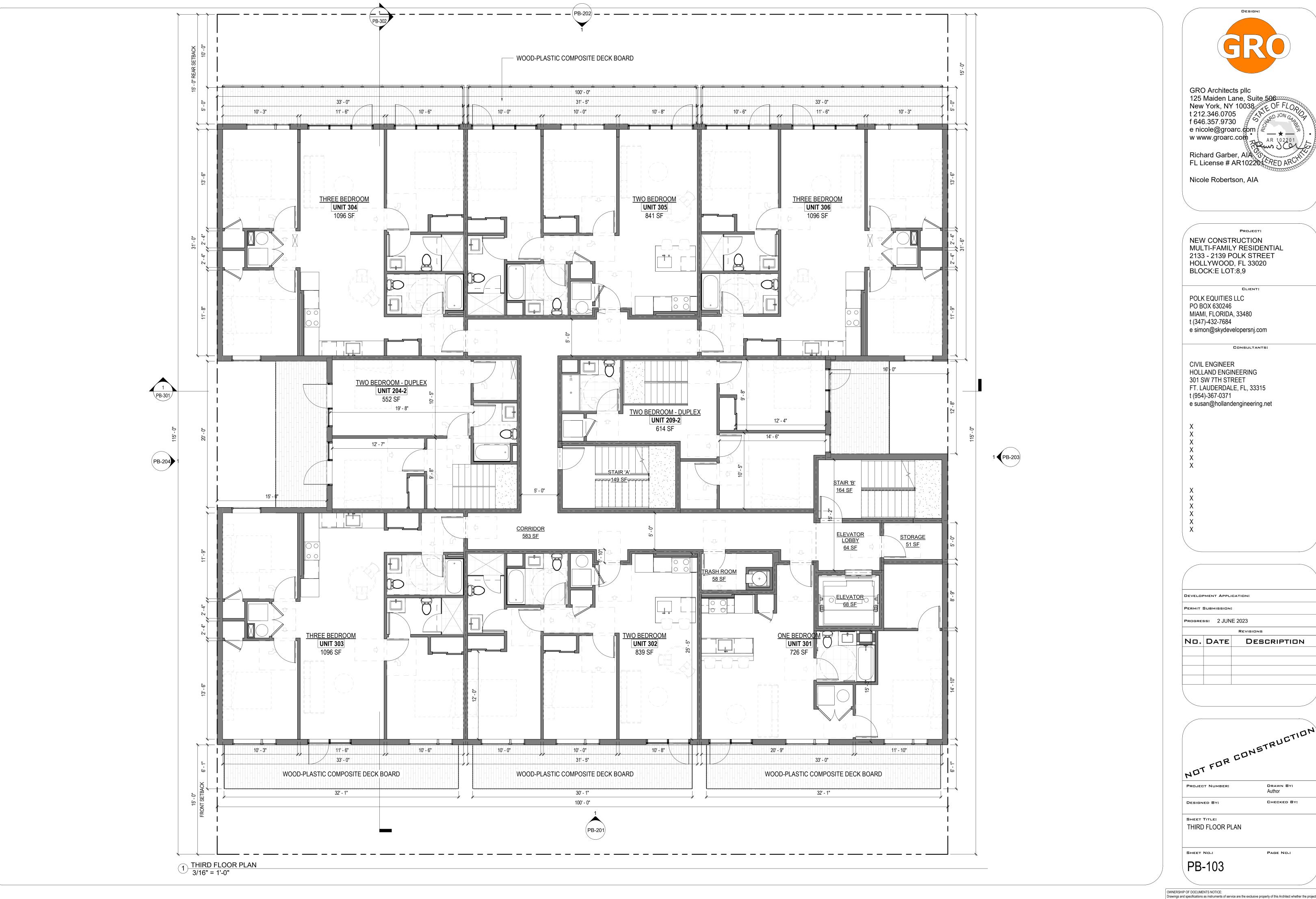
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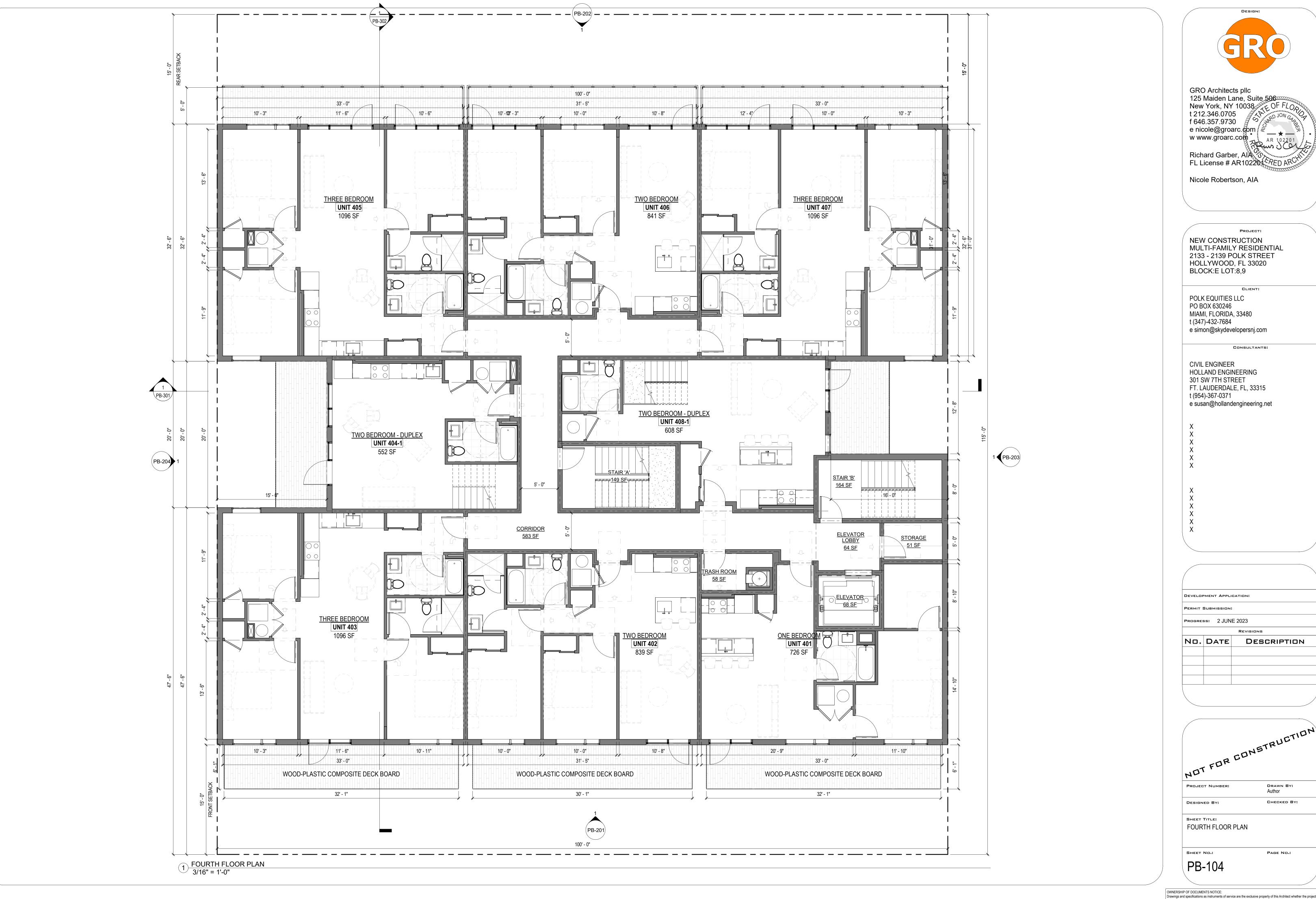
SHEET TITLE: TRASH REMOVAL PLAN & MAIL DELIVERY PLAN

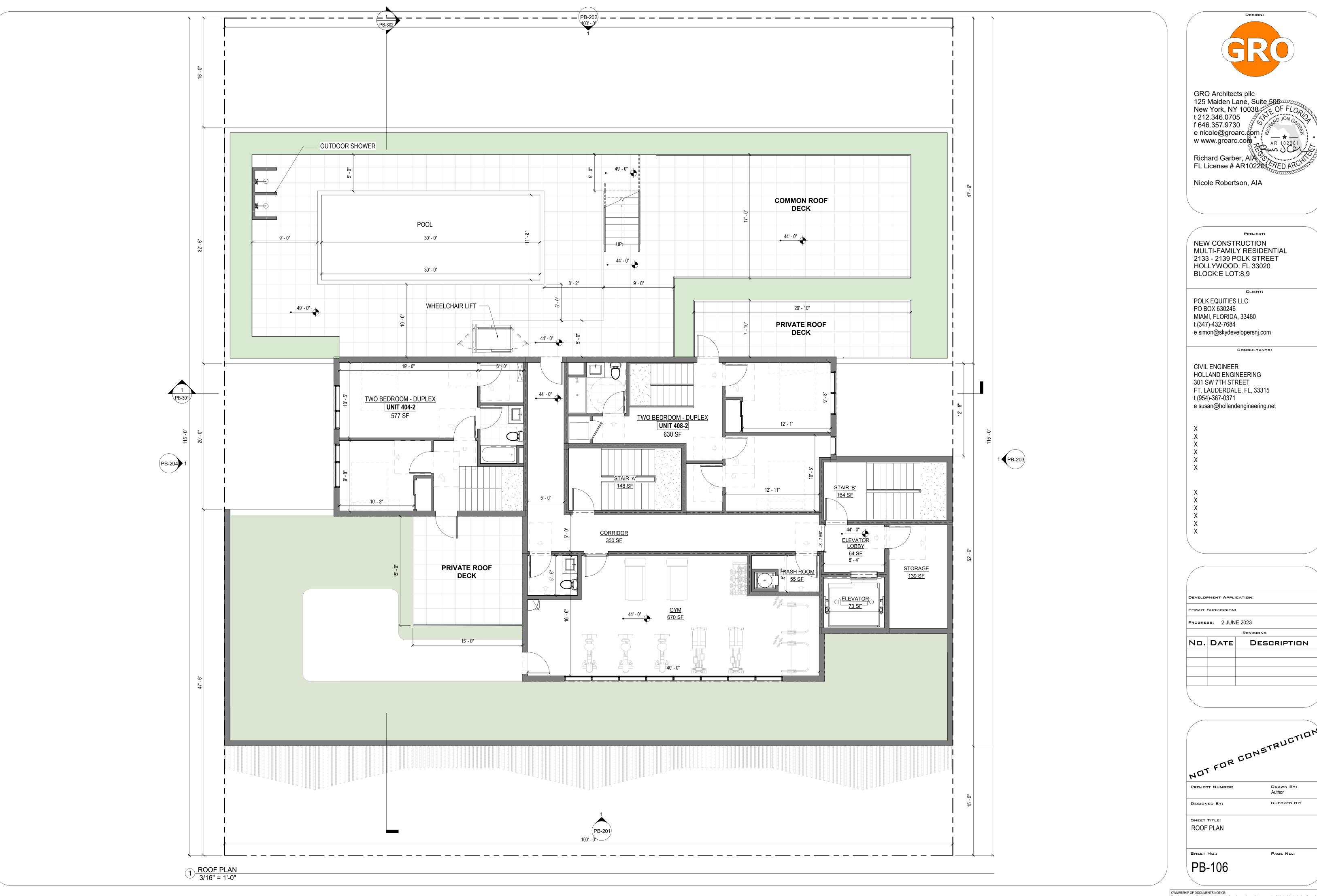
PB-080





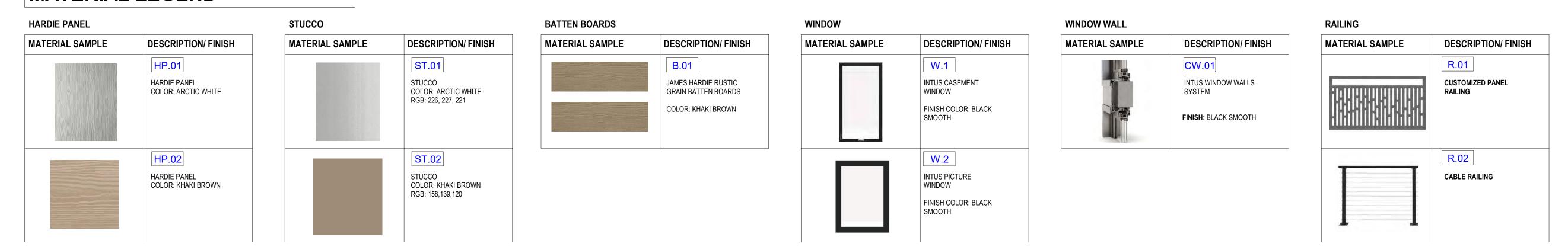


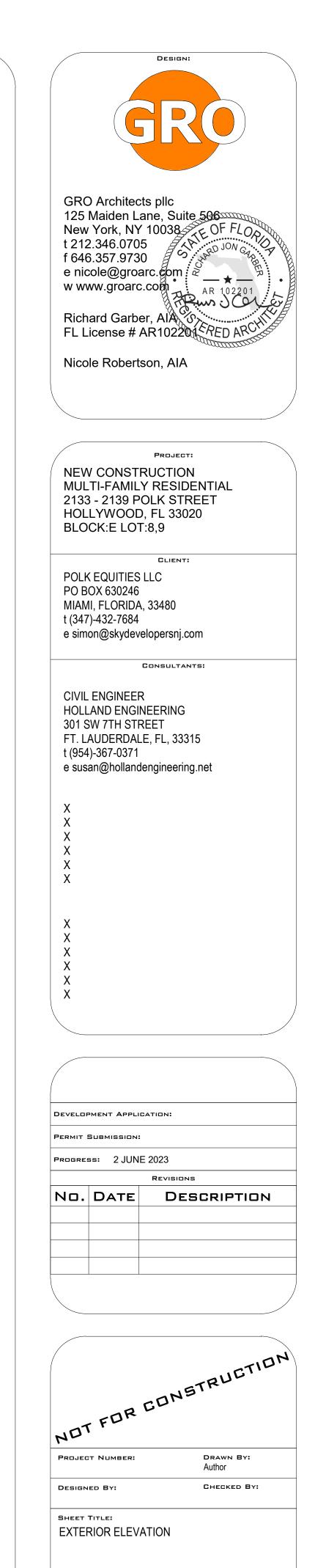






MATERIAL LEGEND





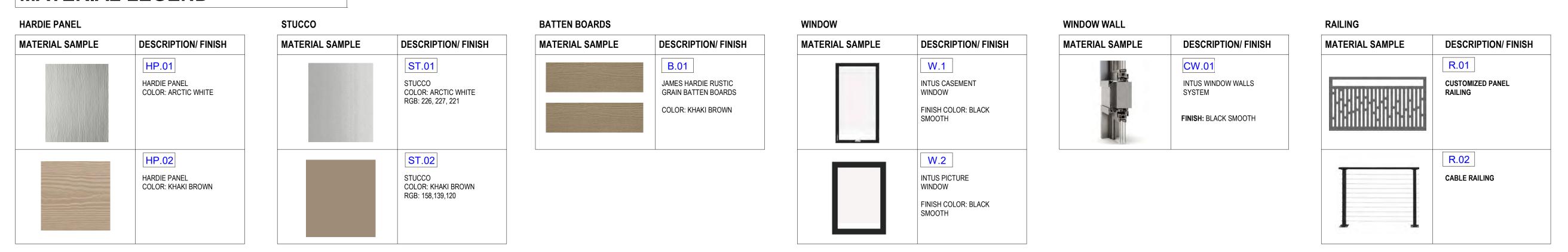
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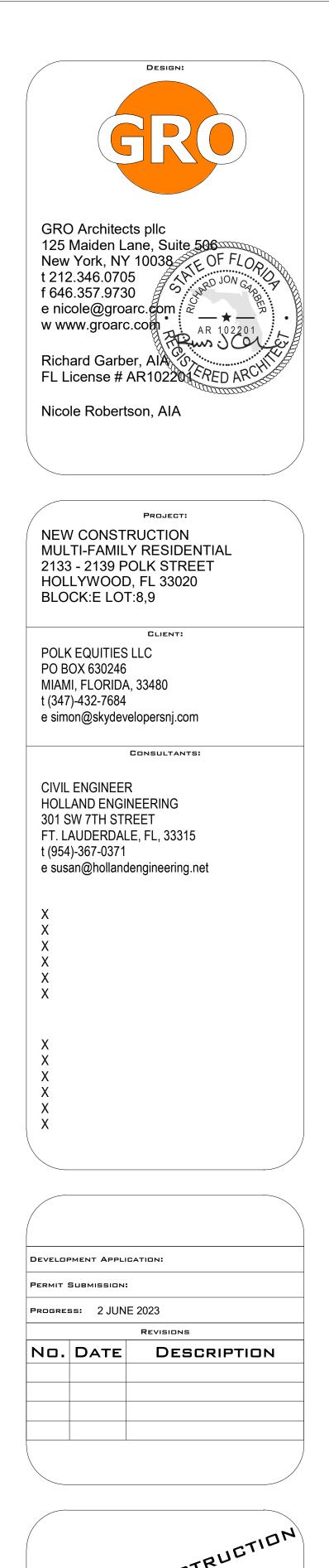
PB-201



1 REAR ELEVATION 3/16" = 1'-0"

MATERIAL LEGEND





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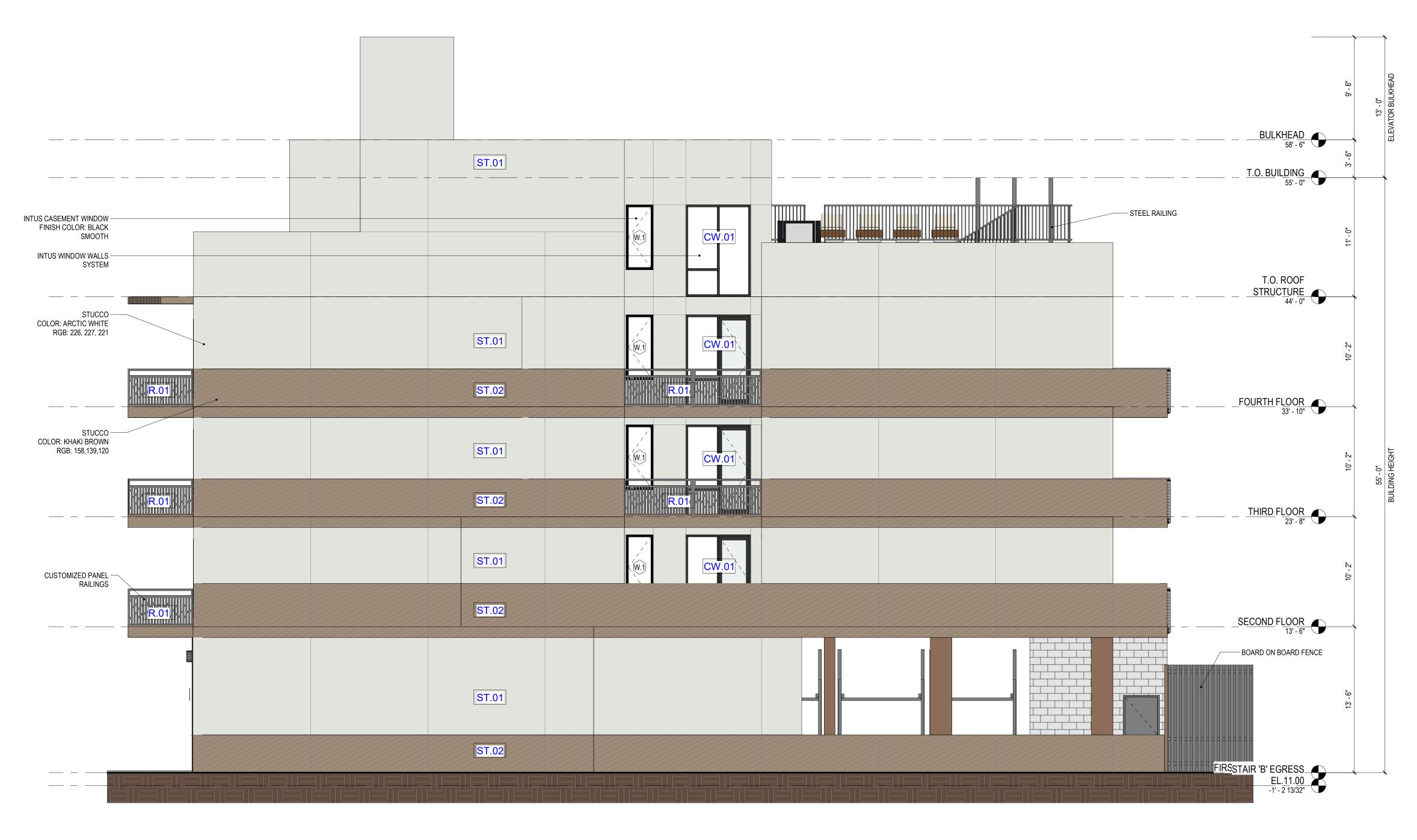
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SHEET TITLE: EXTERIOR ELEVATION

PB-202

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PAGE No.:



1 SIDE ELEVATION 01 3/16" = 1'-0"

MATERIAL LEGEND

HARDIE PANEL		STUCCO		
MATERIAL SAMPLE	DESCRIPTION/ FINISH	MATERIAL SAMPLE	DESCRIPTION/ FINISH	
	HP.01 HARDIE PANEL COLOR: ARCTIC WHITE		ST.01 STUCCO COLOR: ARCTIC WHITE RGB: 226, 227, 221	
	HP.02 HARDIE PANEL COLOR: KHAKI BROWN		ST.02 STUCCO COLOR: KHAKI BROWN RGB: 158,139,120	

		BATTEN BOARDS			
AMPLE	DESCRIPTION/ FINISH	MATERIAL SAMPLE	DESCRIPTION/ FINISH		
	ST.01 STUCCO COLOR: ARCTIC WHITE RGB: 226, 227, 221		B.01 JAMES HARDIE RUSTIC GRAIN BATTEN BOARDS COLOR: KHAKI BROWN		
	ST.02 STUCCO COLOR: KHAKI BROWN RGB: 158,139,120				

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	INTUS CASEMENT WINDOW FINISH COLOR: BLACK SMOOTH
	W.2 INTUS PICTURE WINDOW FINISH COLOR: BLACK SMOOTH

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01
	INTUS WINDOW WALLS SYSTEM
	FINISH: BLACK SMOOTH

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	R.01 CUSTOMIZED PANEL RAILING
	R.02 CABLE RAILING



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CONSULTANTS:

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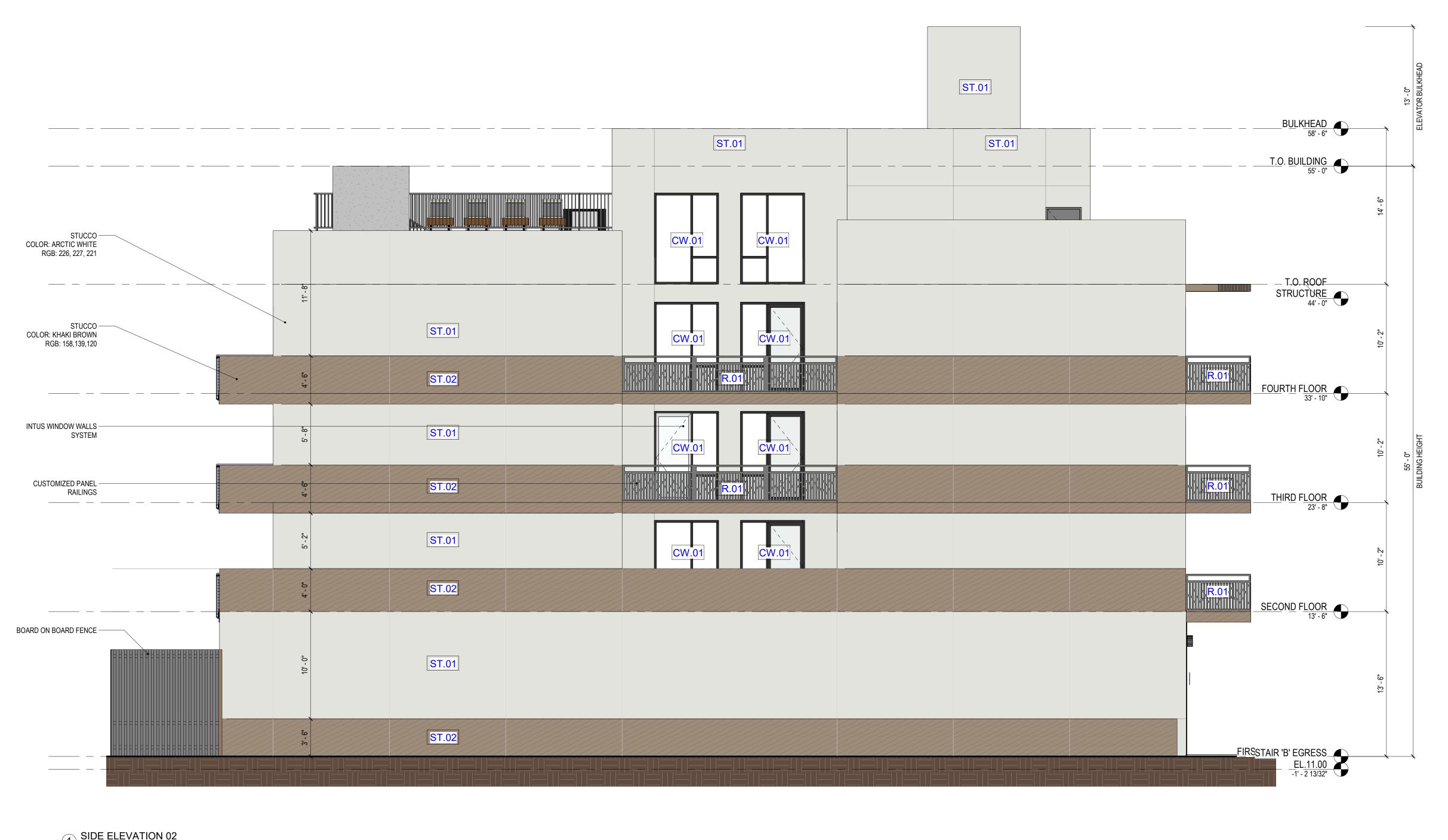
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EXTERIOR ELEVATION

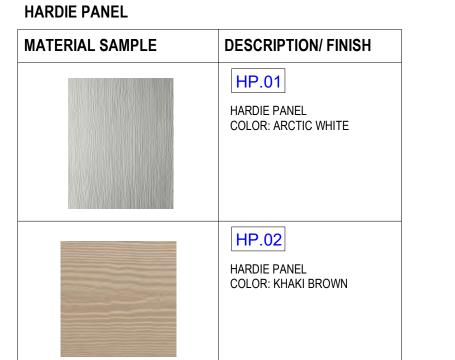
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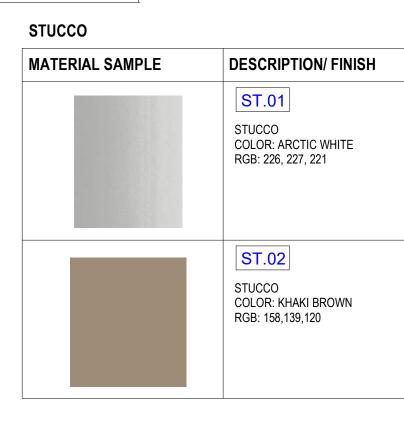
PB-203

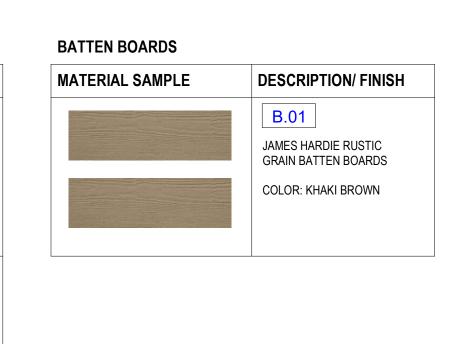


1 SIDE ELEVATION 02 3/16" = 1'-0"

MATERIAL LEGEND

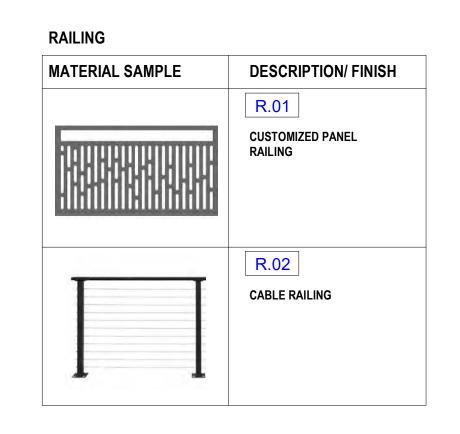






MATERIAL SAMPLE	DESCRIPTION/ FINISH
	INTUS CASEMENT WINDOW FINISH COLOR: BLACK SMOOTH
	INTUS PICTURE WINDOW FINISH COLOR: BLACK SMOOTH

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01
	INTUS WINDOW WALLS SYSTEM
	FINISH: BLACK SMOOTH





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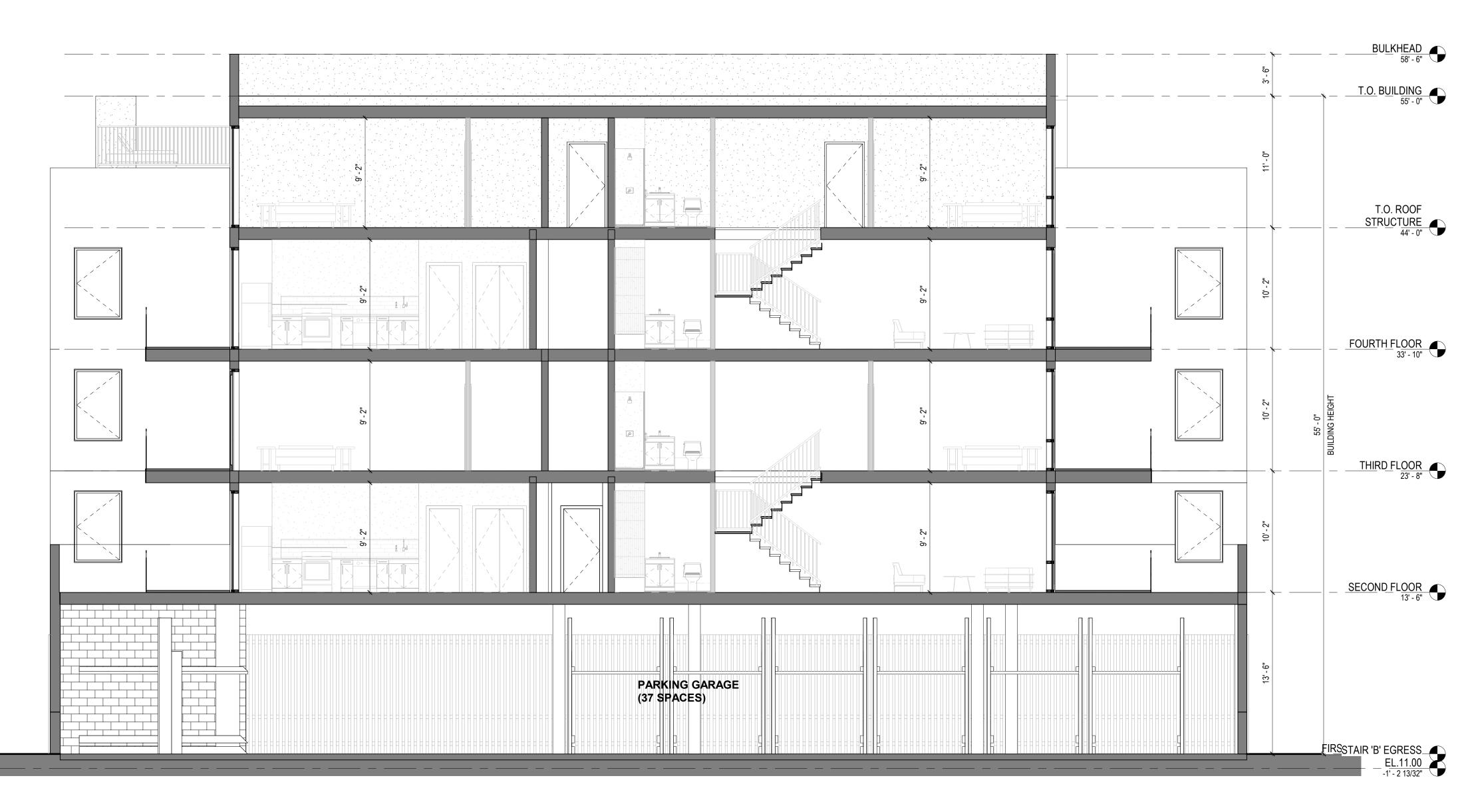
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SHEET TITLE:
EXTERIOR ELEVATION

PB-204



3/16" = 1'-0"



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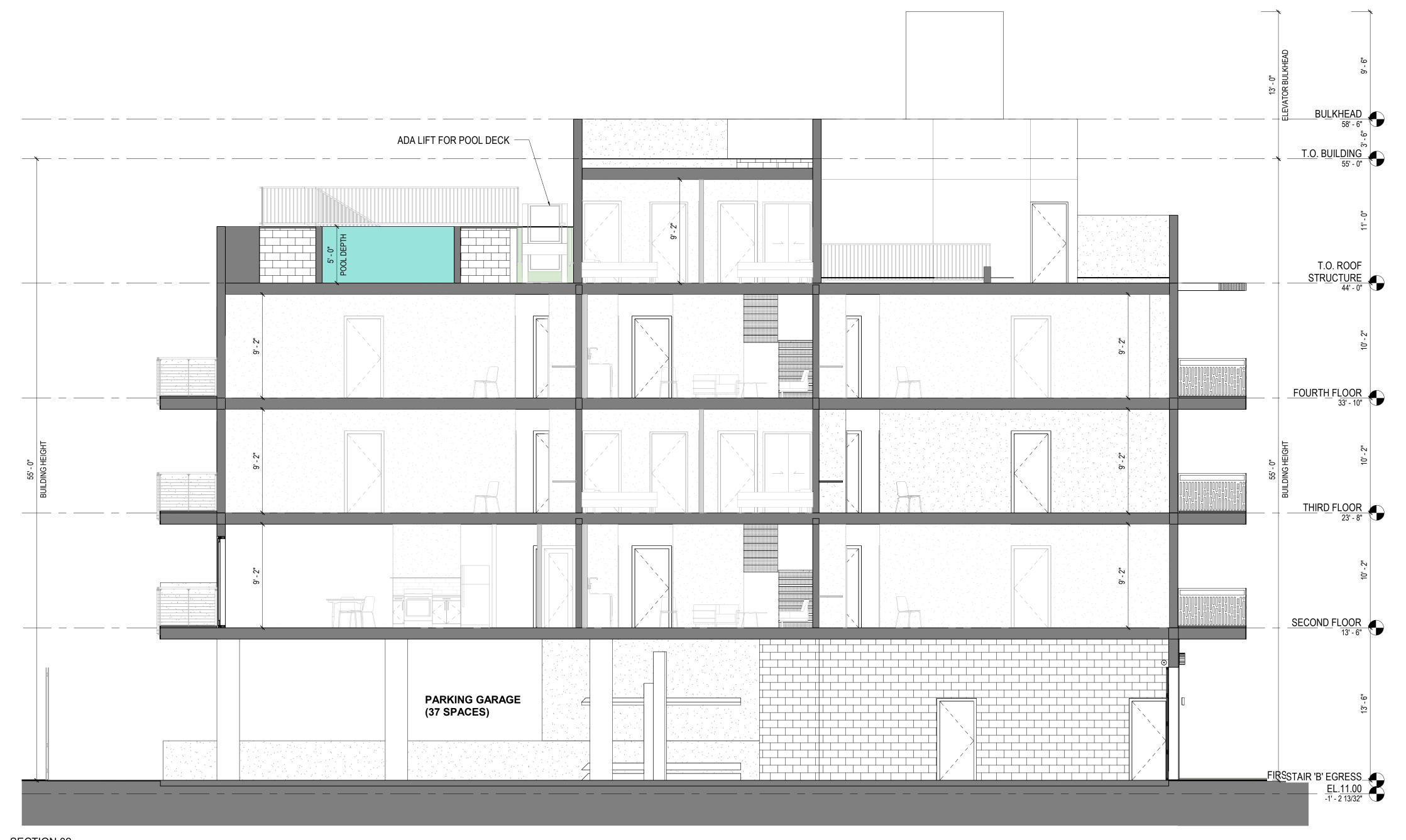
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SHEET TITLE: SECTION 01

PB-301



3/16" = 1'-0"



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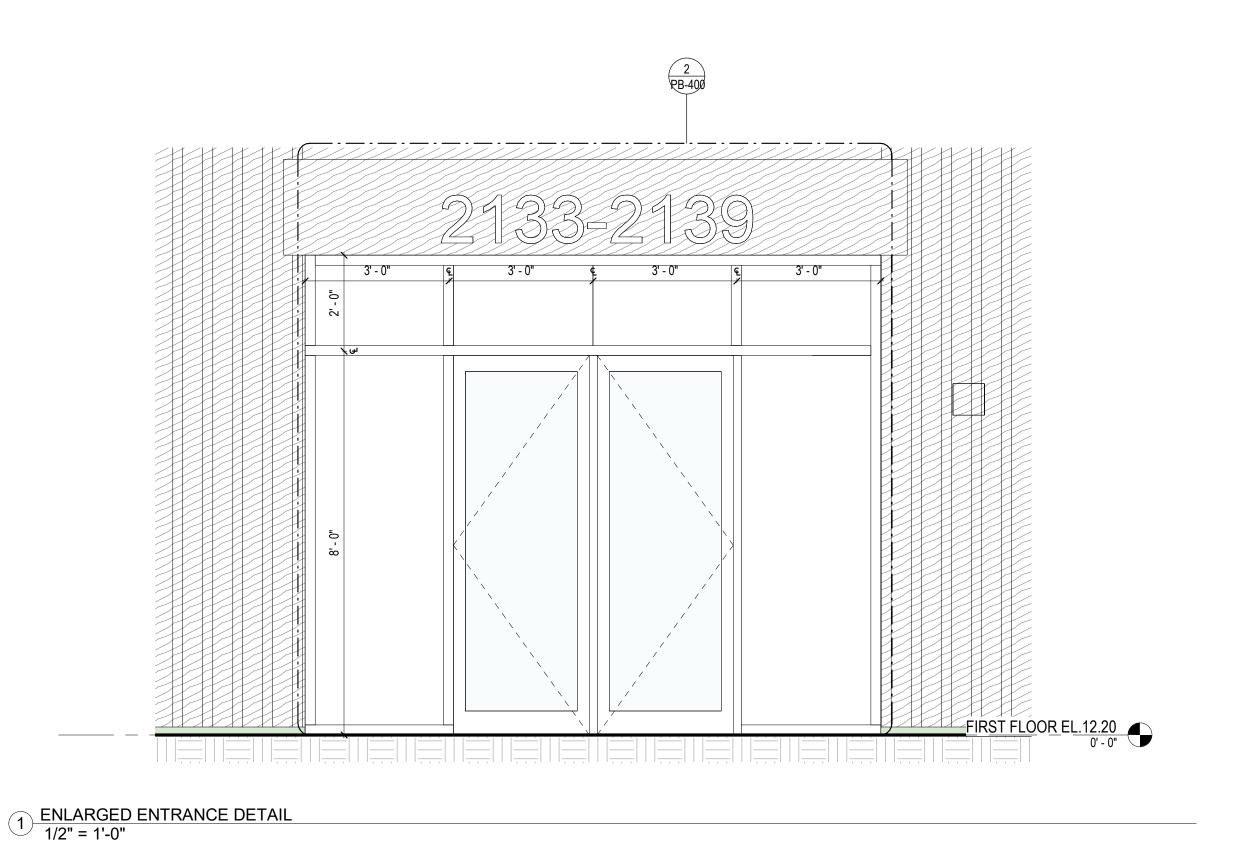
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SHEET TITLE: SECTION 02

PB-302



INTUS PICTURE WINDOW
FINISH COLOR: BLACK
SMOOTH

CUSTOMIZED PANEL
RAILINGS

ENLARGED WINDOW DETAIL 01

1/2" = 1'-0"

S-C 3-D 3-D METAL LASER SIGNAGE

FIRST FLOOR EL 1220

THE STREET FLOOR

2 ENLARGED ENTRANCE DETAIL - Callout 1 3/4" = 1'-0"

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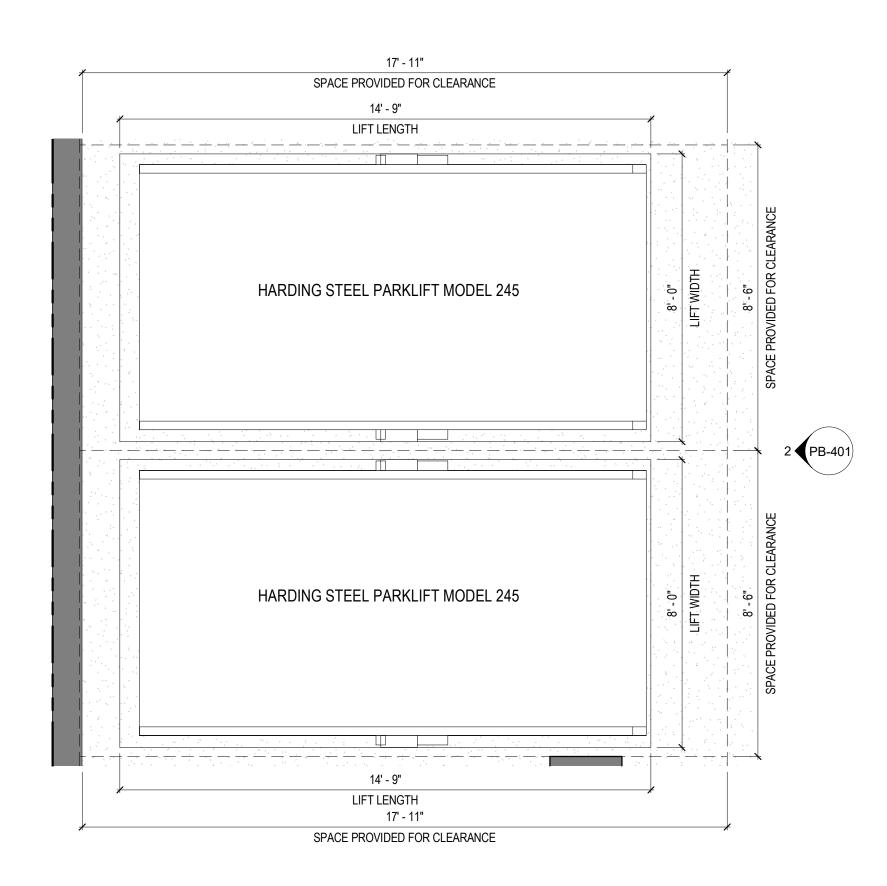
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ELEVATIONS

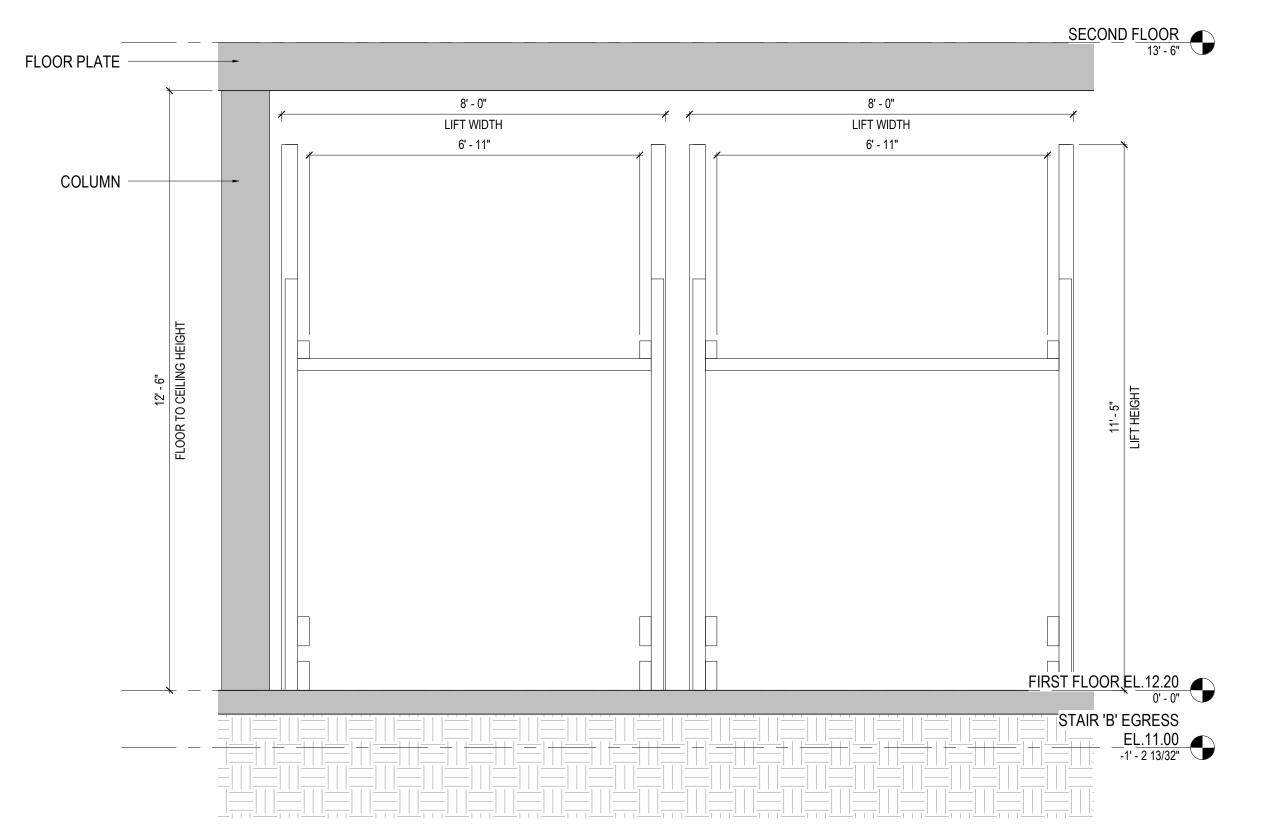
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PB-400

ENLARGED EXTERIOR



1 PARKING LIFT CALLOUT - PARKLIFT 245T 3/8" = 1'-0"



2 PARKING LIFT ELEVATION - PARKLIFT 245T 1/2" = 1'-0"

HARDING STEEL - PARKLIFT 245T

OVERALL WIDTH 96-7 /16"
PLATFORM WIDTH 82-1 /16"
DRIVE-THRU WIDTH 88"
OVERALL PLATFORM LENGTH 177-1 /8"
MAXIMUM VEHICLE WHEELBASE 146"
MAXIMUM CLEARANCE (LOWER CAR) 80"
OVERALL HEIGHT 11' 5"

WORKING CAPACITY 6,000 LBS. STATIC CAPACITY 12,000 LBS. DYNAMIC CAPACITY 9,000 LBS.

LIFTING SPEED (SECONDS) 17 SECONDS LOWERING SPEED (SECONDS) 15 SECONDS

POWER REQUIREMENTS 220V 3 PHASE 40 AMP 220V SINGLE PHASE 40 AMP

APPLICATION OUTDOOR/INDOOR SURFACE ASPHALT/CONCRETE MATERIAL 100% GALVANIZED STEEL SAFETY STEEL-ON-STEEL LOCKS DESIGN:

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DETAILS VIEW

ET NO.: PAGE NO.:

PB-401





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SHEET TITLE:
AXON VIEW

OPTIOIN 1

SHEET NO.: PAGE NO.:

PB-901





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No. DATE DESCRIPTION

PROJECT NUMBER: DRAWN BY: Author CHECKED BY:

DESIGNED BY: SHEET TITLE:

STREET VIEW

SHEET NO.:

1. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%. 2. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.

3. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.

4. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD REQUIREMENTS.

5.CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.

6.ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.

7. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.

8. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.

9. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).

PROP. PERVIOUS PAVERS -

ELECTRICAL

FFE=11.50' NAVD

RIM=11.55

INV = 6.50

PROP.

MATCH EX. ASPHALT

HDPE

EXIST. BUILDING

RIM = 10.75

1NV=6.50

PROP. CB# 3 RIM=10.75

INV=6.50

PROP. RETAINING WALL >

PROP. PARKING GARAGE

BUILDING RECEPTION/LOBBY

FFE=12.20' NAVD

∼PROP. ROOF DRAIN

DRAINAGE WELL

10. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.

LOT 10

MATCH EX. SWK

PROP. SWALE.

11. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

11.05

RIM = 10.75

INV=7.00

<u>FLOOD INFORMATION:</u> Community name and number: Hollywood, Broward County, Florida 125113 Map and panel number: 12011C0569H Effective on 08/18/2014 Flood zone: "X"

|Base flood elevation: N/A

BROWARD COUNTY 100-YEAR FLOOD ELEVATION = 12' NAVD CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL INOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES. ERRORS OR OMISSIONS.

LEGAL DESCRIPTION:

LOTS 8 & 9. "A SUBDIVISION OF LOTS 1 AND 2 OF BLOCK E IN HOLLYWOOD LITTLE RANCHES OWNED BY GEORGE W. COLES AND HELEN G. COLES." ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

GENERAL CONDITION NOTES:

. The location of existing utilities and topography has been prepared 1. From the most RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.

2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING 2. COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

FLORIDA POWER & LIGHT CO., CONSTRUCTION SOUTHERN BELL TELEPHONE & TEL. CO.

CABLE CONSTRUCTION BUREAU LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.

ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.

FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADIATION REPORTS, CONC. CYLINDERS, ETC... ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN

THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.

WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.

ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.

SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED

ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 10. 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED. 11 CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)

12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF TH FDOT STANDARD SPECIFICATIONS.

13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE. W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.

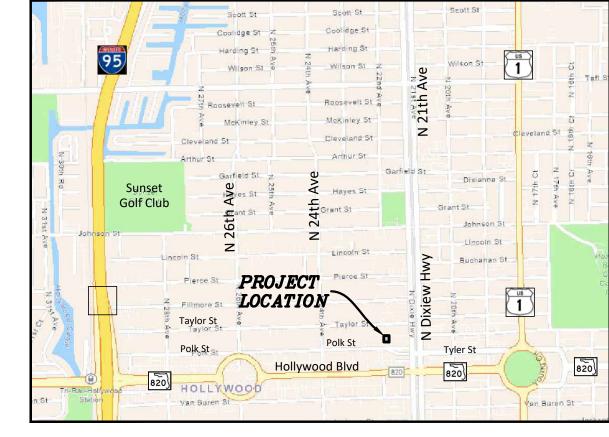
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -

RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III

CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196 CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196

SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942 PVC = POLYVINYLCHLORIDE PIPE

PCMP = PERFORATED CMP, FDOT SECTION 945 DIP = DUCTILE IRON PIPE HDPE = HIGH DENSITY POLYETHYLENE PIPE.



LOCATION MAP

SEC 16, TWSP 51S, RNG 42E

ALL ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988

LEGEND:

* * *	PROPOSED	STABILIZED SOD
	PROPOSED	4" THICK CONCRETE
4 4	PROPOSED	6" THICK CONCRETE
	PROPOSED	ASPHALT
3.44	PROPOSED	GRADE ELEVATION
-6-	PROPOSED	FIRE HYDRANT
	PROPOSED	WATER METER

PROPOSED VALVE PROPOSED FIRE DEPARTMENT CONNECTION

PROPOSED CATCH BASIN PROPOSED DRAINAGE MANHOLE PROPOSED YARD DRAIN PROPOSED SIGN (AS INDICATED)

PROPOSED CLEANOUT PROPOSED RPZ BACKFLOW PREVENTER

PROPOSED SURFACE FLOW

PROPOSED SILT FENCE

PROPOSED PAVERS + PAVEMENT RESTORATION

- - - EXISTING PIPING AND APPURTENANCES EXISTING BACKFLOW PREVENTOR EXISTING CATCH BASIN

EXISTING CLEANOUT EXISTING ELEVATION GM EXISTING GAS METER EXISTING MANHOLE (AS DESIGNATED)

○ MW EXISTING MONITORING WELL EXISTING SIGN (AS INDICATED)

 $\sqcap^{\lor B}$ Existing valve box EXISTING WATER METER EXISTING CONCRETE POLE — X — EXISTING FENCE

> < EXISTING FIRE HYDRANT

3.00' EXISTING ELEVATIONS

HOLLAND ENGINEERING
CIVIL ENGINEERING SOLUTION

NO. OF SHEETS: O SHEET NO.: C-I

CAD FILE NO.

22-29

PAVING, GRADING & DRAINAGE PLAN

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> Sunshine Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig

SCALE: 1"=10'

CONC. WALK

- PROP. SWALE

- 5' SIDEWALK RESERVATION

MATCH EX. SWK

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16,4.3.1.1.

| <u>FLOOD INFORMATION:</u> Community name and number: |Hollywood, Broward County, Florida 125113| Map and panel number: 12011C0569H Effective on 08/18/2014 Flood zone: "X" Base flood elevation: N/A

WATER AND SEWER DEMAND

23 RESIDENTIAL UNITS X 250 GPD/UNIT = 5,750 GPD

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

LEGAL DESCRIPTION:

LOTS 8 & 9. "A SUBDIVISION OF LOTS 1 AND 2 OF BLOCK E IN HOLLYWOOD LITTLE RANCHES OWNED BY GEORGE W. COLES AND HELEN G. COLES." ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

NOTES:

. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.

2. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.

PIPE CONFLICTS 4. UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A

CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS 633.102

3. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT

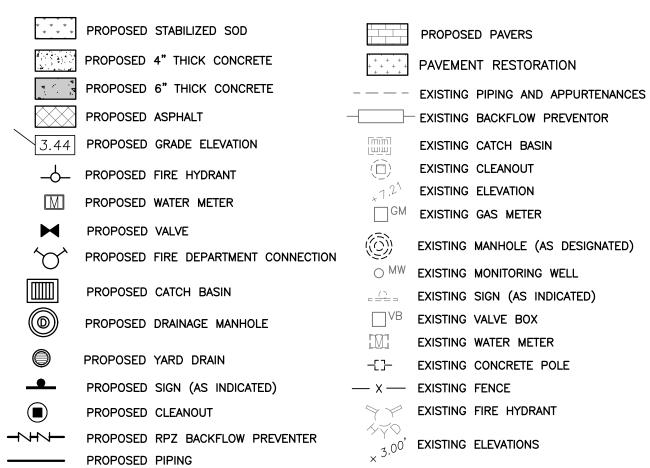
Coolidge St Coalidge St Harding St - Wilson St. McKinley St Cleveland St Buchanan St 820) Hollywood Blvd 820 OLLYWOOD Van Buren St

LOCATION MAP

SEC 16, TWSP 51S, RNG 42E

ALL ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988

LEGEND:



PROPOSED SURFACE FLOW

PROPOSED SILT FENCE

EXISTING CATCH BASIN EXISTING CLEANOUT EXISTING ELEVATION GM EXISTING GAS METER EXISTING MANHOLE (AS DESIGNATED) O MW EXISTING MONITORING WELL EXISTING SIGN (AS INDICATED) □ VB EXISTING VALVE BOX EXISTING WATER METER -[]- EXISTING CONCRETE POLE — X — EXISTING FENCE > EXISTING FIRE HYDRANT $\times 3.00$ ' Existing elevations



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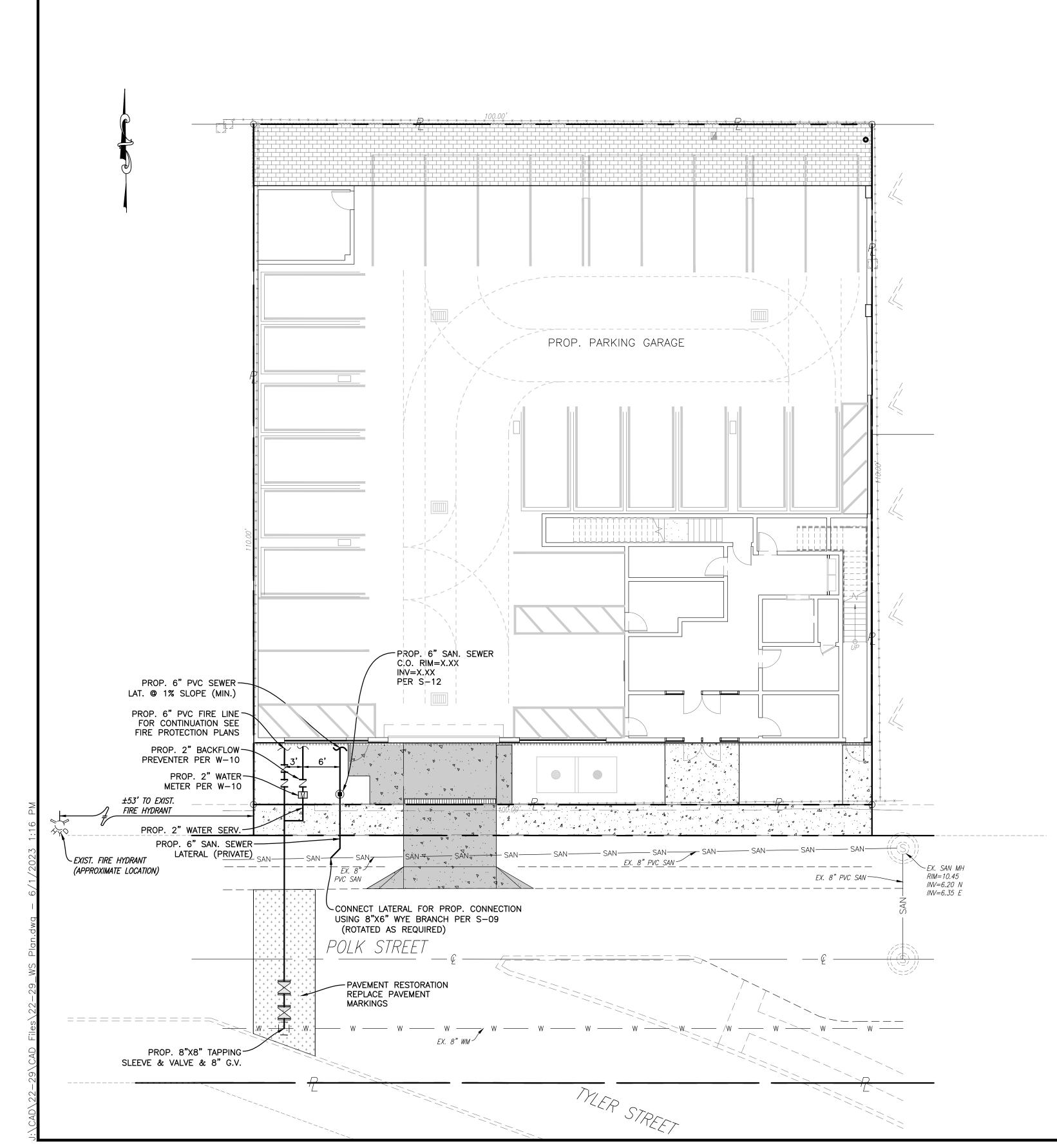
WATER & SEWER PLAN

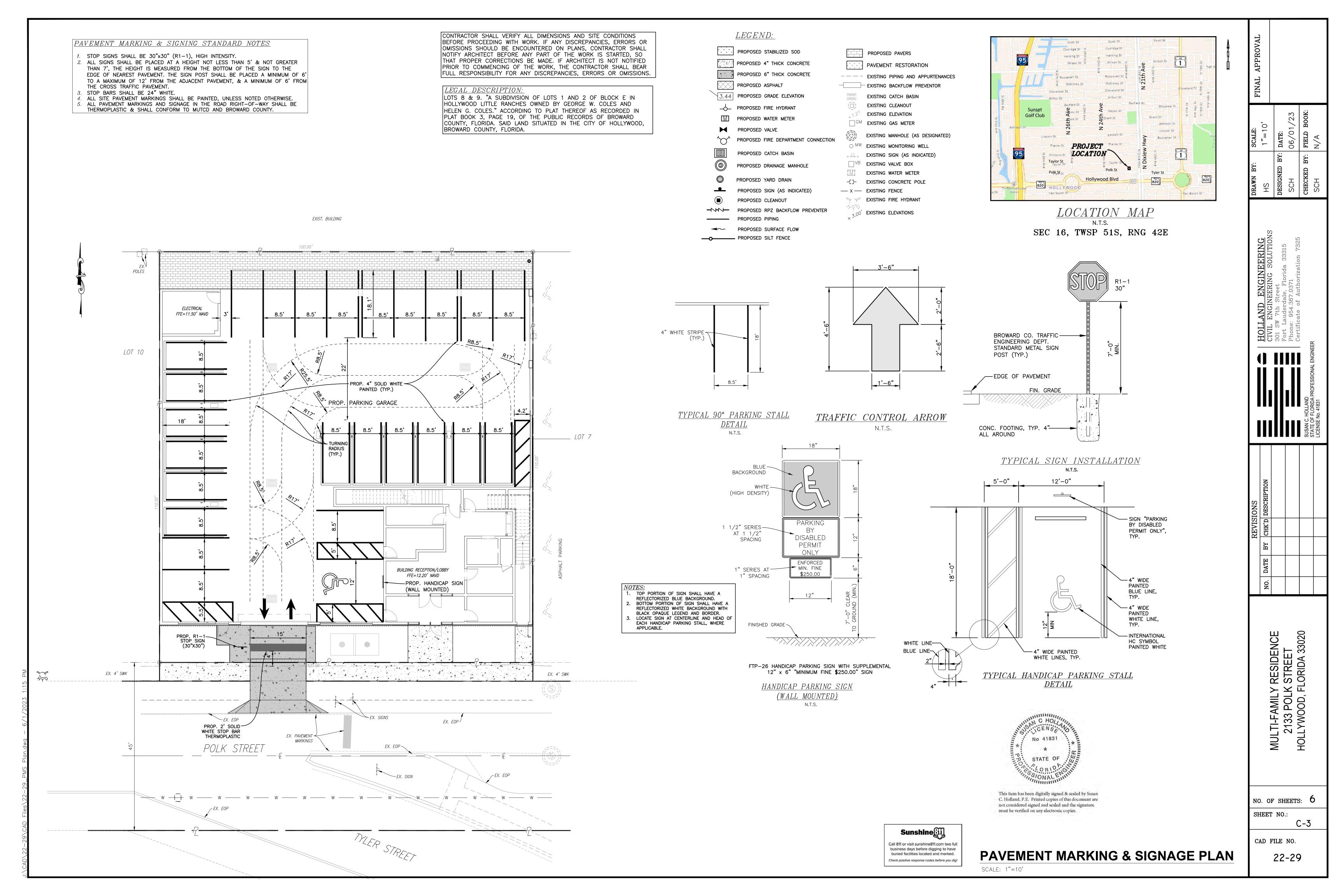
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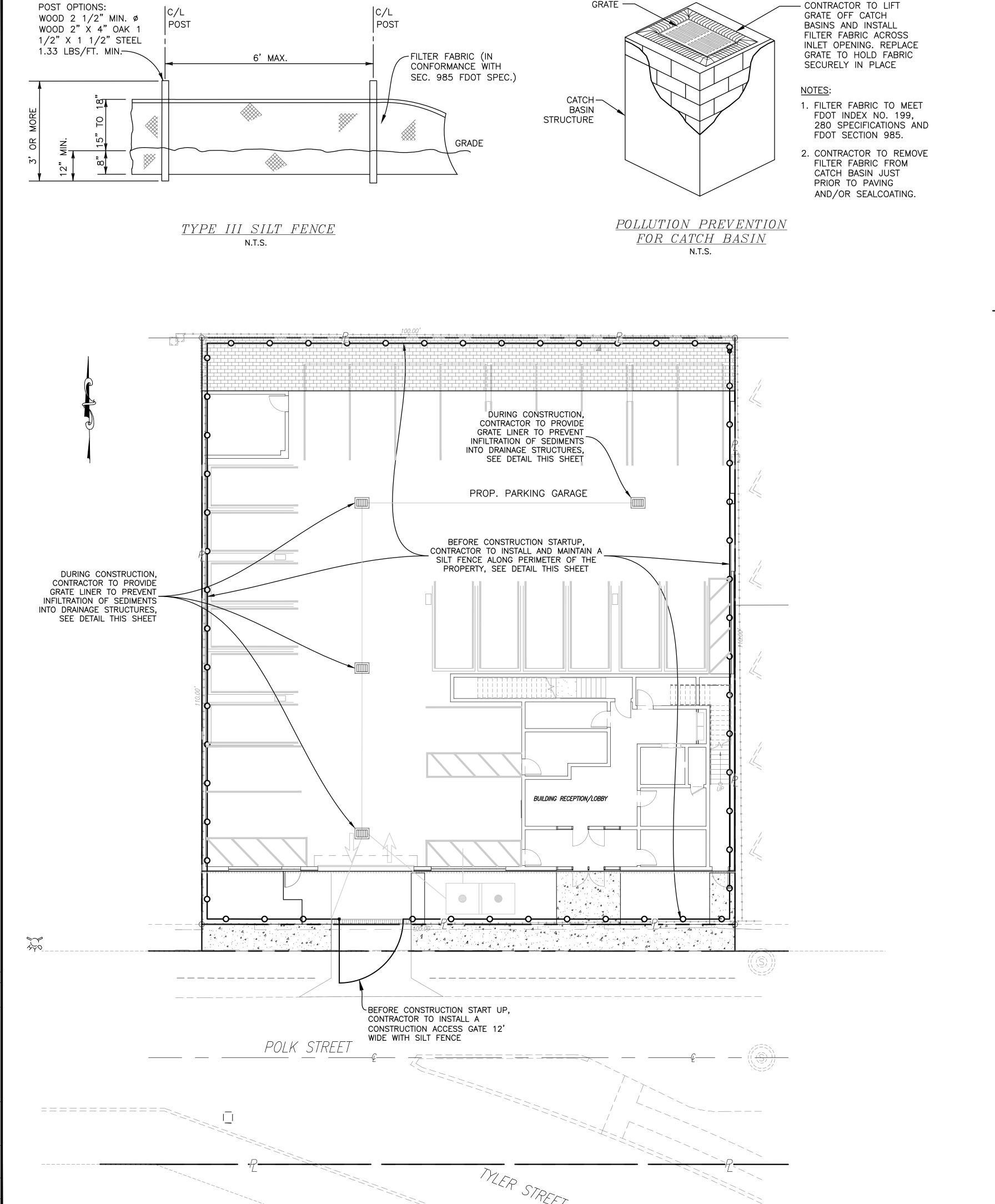
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22-29

HOLLAND ENGINEERING
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LEGEND:

PROPOSED STABILIZED SOD PROPOSED PAVERS PROPOSED 4" THICK CONCRETE + † + † + PAVEMENT RESTORATION PROPOSED 6" THICK CONCRETE ---- EXISTING PIPING AND APPURTENANCES PROPOSED ASPHALT EXISTING BACKFLOW PREVENTOR 3.44 PROPOSED GRADE ELEVATION EXISTING CATCH BASIN EXISTING CLEANOUT PROPOSED FIRE HYDRANT EXISTING ELEVATION M PROPOSED WATER METER GM EXISTING GAS METER PROPOSED VALVE

PROPOSED FIRE DEPARTMENT CONNECTION PROPOSED CATCH BASIN PROPOSED DRAINAGE MANHOLE

PROPOSED YARD DRAIN PROPOSED SIGN (AS INDICATED) PROPOSED CLEANOUT

PROPOSED RPZ BACKFLOW PREVENTER

PROPOSED PIPING PROPOSED SURFACE FLOW PROPOSED SILT FENCE

Harding St - Wilson St. McKinley St Buchanan St EXISTING MANHOLE (AS DESIGNATED) O MW EXISTING MONITORING WELL

820

OLLYWOO

Coalidge St

LOCATION MAP

Hollywood Blvd

820)

SEC 16, TWSP 51S, RNG 42E

BMP NOTES:

I. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXIST. SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES. 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE

DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING

EXISTING SIGN (AS INDICATED)

□ VB EXISTING VALVE BOX

— X — EXISTING FENCE

EXISTING WATER METER

—[]— EXISTING CONCRETE POLE

> P EXISTING FIRE HYDRANT

3.00' EXISTING ELEVATIONS

CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT. 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE

CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.

5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.

6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL

INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE. 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING

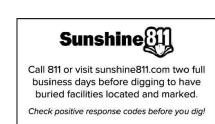
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES. 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.

II. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

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STORMWATER POLLUTION PREVENTION PLAN

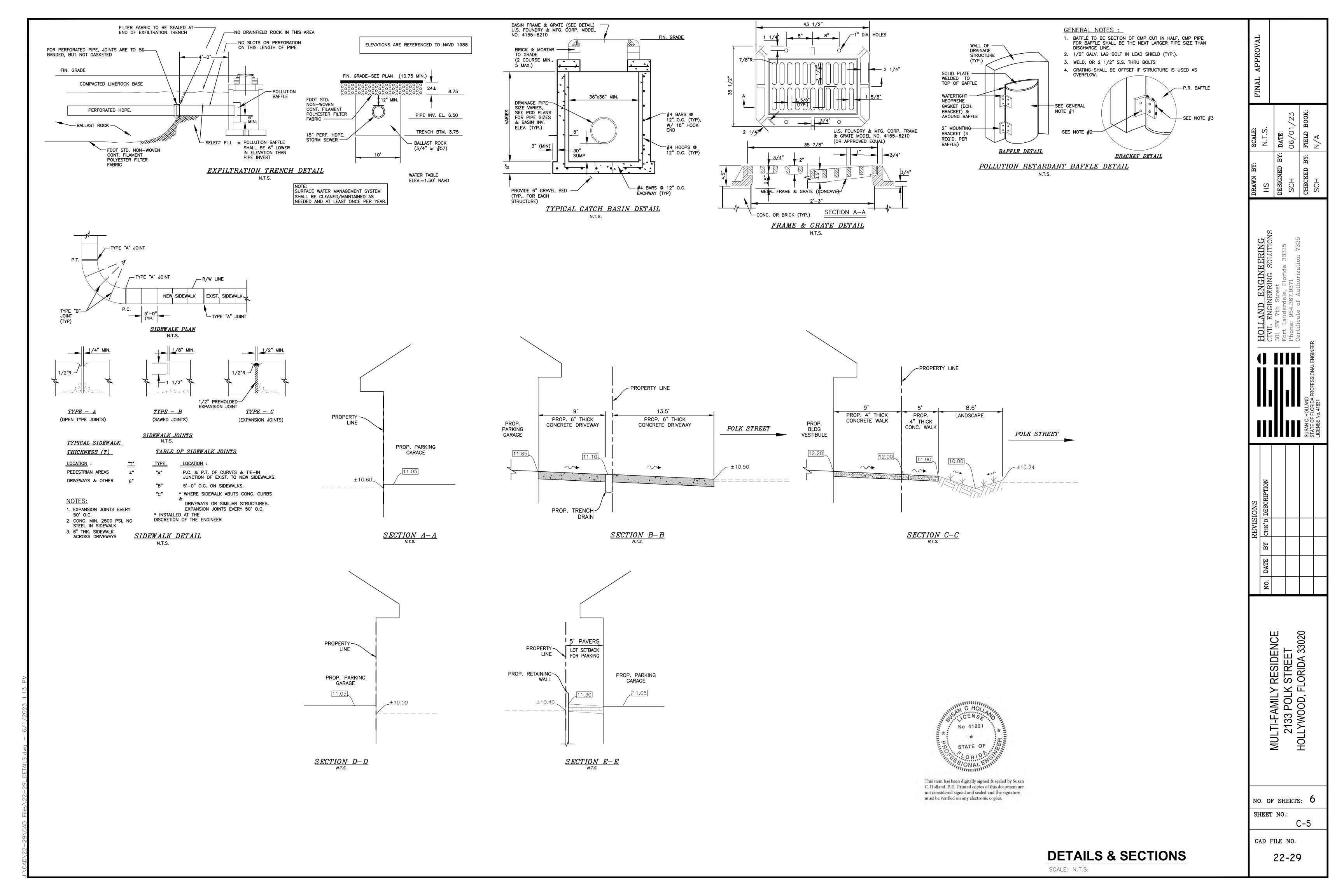
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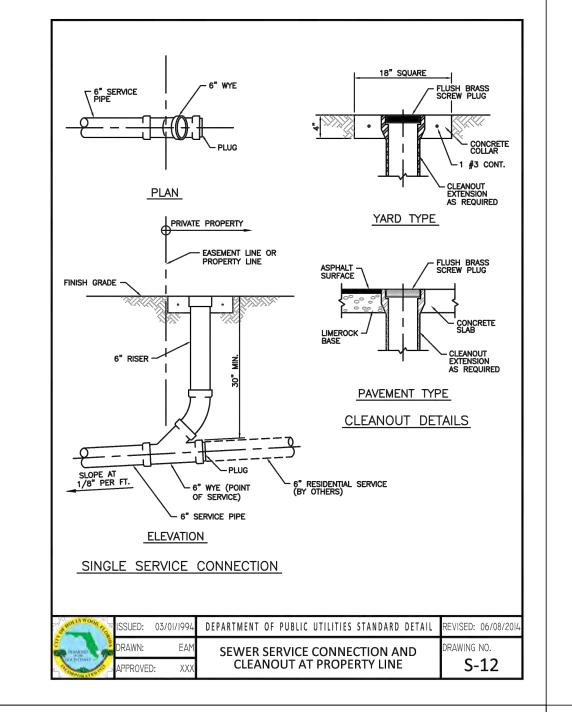
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NO. OF SHEETS: O SHEET NO.: C-4

22-29

CAD FILE NO.







WATER SYSTEM NOTES:

- 1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- 3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- 4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- 5. POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- 6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- 8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
- 9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

SHOLLYWOOD REG	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	06/08/2014
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NOTES:

- IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS.
- 2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
- FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FDOT CLEAR DRIVING ZONE.
 GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6' LEFT/RIGHT OF € OF THE FIRE HYDRANT.EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
- FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT
- 5. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

ISSUE	ED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAW	/N: EAM	TYPICAL FIRE HYDRANT NOTES	DRAWING NO. W-13.1

WATER SYSTEM NOTES (CONTINUED):

- 11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER
- 12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- 3. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES
 AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- 15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.

 16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE
- CITY OF HOLLYWOOD SPECIFICATIONS.
- 7. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
 MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION
- (MAXIMUM) WHERE DEFLECTION IS REQUIRED.

 D. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR
- FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.

 21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS
 MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF
 THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING
 PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC.,
 MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE
- JOINTS (60 FEET) FROM ANY FITTING.

 22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF

CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

WATER MAIN TESTING AND DISINFECTION NOTES

OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.

D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.

P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

S = THE LENGTH OF PIPE BEING TESTED.

NOT TO EXCEED 2,000 FEET PER TEST.

TESTING AND DISINFECTION".

DESCRIBED ABOVE.

COUNTY HEALTH DEPARTMENT.

NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND

THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD

THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST

REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY

THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS

PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST

5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.

6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.

 THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS

SSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 06/08/2014

WATER MAIN TESTING AND

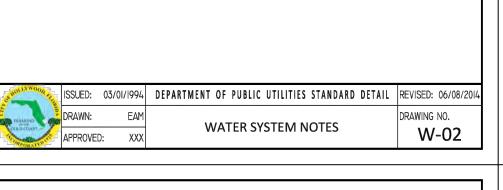
DISINFECTION NOTES

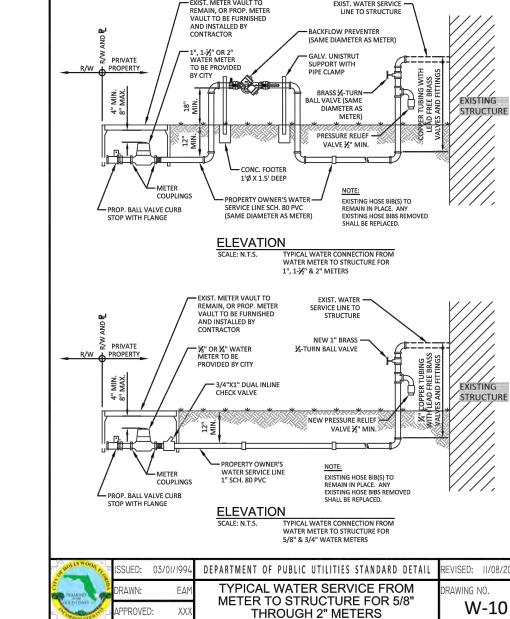
W-14

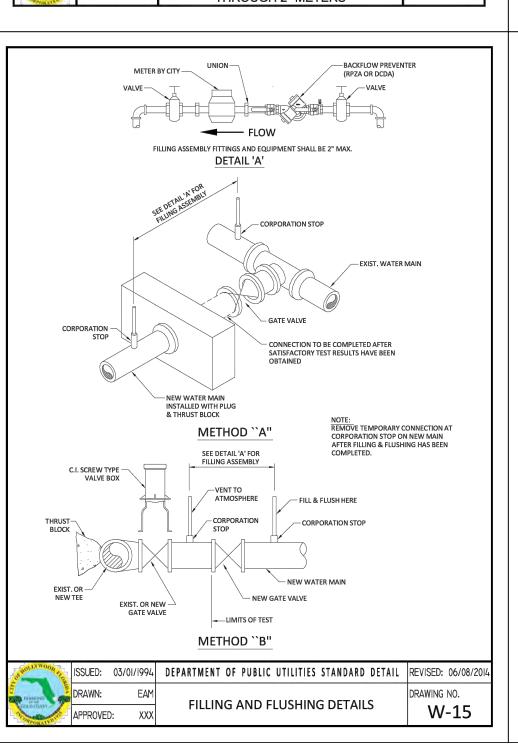
EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE

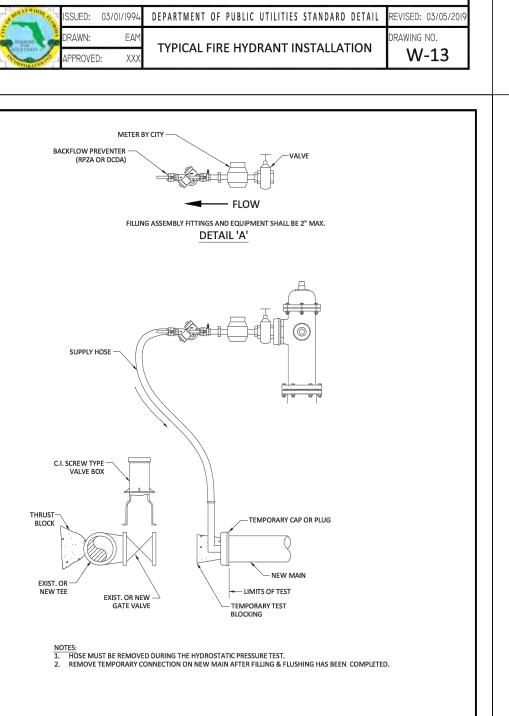
HE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER

BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND









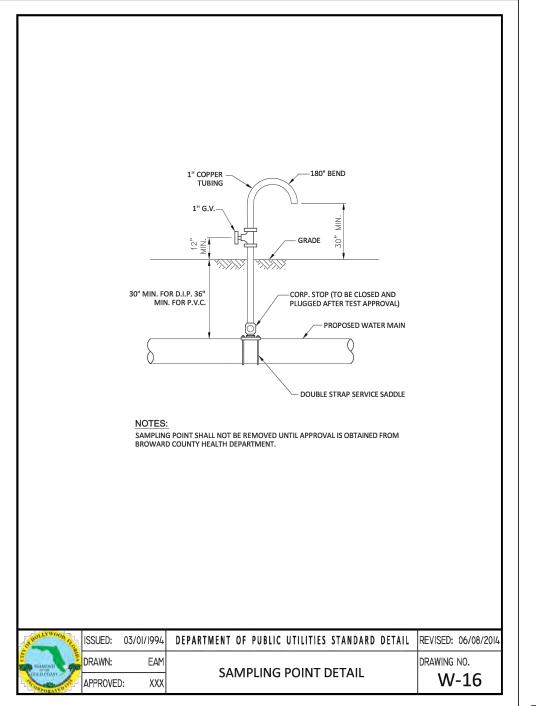
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APPROVED:

CROSS CONNECTION

FILLING AND FLUSHING DETAILS

W-15.1



GUARD POSTS TO BE 4" DIA. STEEL, CONCRETE FILLED VARIES 4' - 7' (SEE NOTES 2 & 3 ON DETAIL W-13.1) VARIES 12" MIN. FIRE HYDRANT AND GUARD POST ARE TO BE PAINTED PER CITY SPECS. (SEE NOTE 6 ON DETAIL W-13.1) FIRAL GRADE FINAL GRADE VISQUEEN 6" GATE	
WATER MAIN MECHANICAL JOINT TEE (FOR NEW MAIN) OR TAPPING SLEEVE AND VALVE EXISTING MAIN) FI EVATION	
VARIES 12" MIN. VARIES 12" MIN. TWO TO FOUR GUARD POSTS AS REQUIRED BY CITY, MIN. 35" PROM F.H. BARREL (REFER TO NOTES 4 AND 5 ON NOTES 4 AN	
IN SIDEWALK PLAN VIEW SSUED: 03/01/1994 DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL REVISED: 03/05/20	าเด
DRAWN: EAM APPROVED: XXX TYPICAL FIRE HYDRANT INSTALLATION W-13	JIY

UTILITY DETAILS

SCALE: N.T.S.

MULTI-FAMILY RESIDENCE

ON DATE BY CHK'D DESCRIPTION

1. OATE BY CHK'D DESCRIPTION

2133 POLK STREET

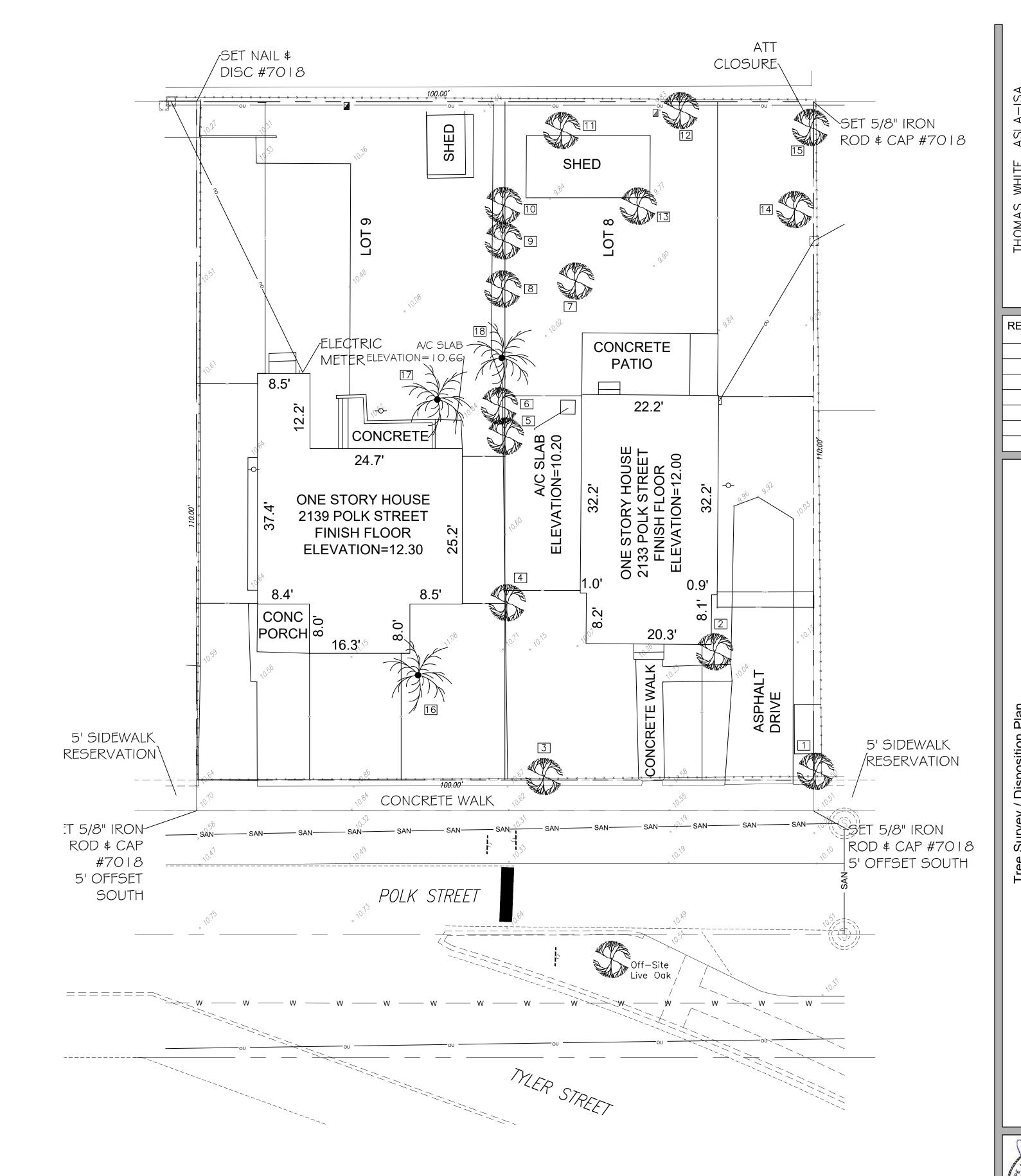
HOLLYWOOD, FLORIDA 33020

CAD FILE NO.

22-29

HOLLAND ENGINEERING
CIVIL ENGINEERING SOLUTION

Case/Locati	on: 2133 Polk Street, Hollywood, FL 33020						
Da	ate: 5/20/2023						
Apprais	ser: Thomas White, ASLA-ISA. Arborist FL-5	248A					
	Landscape Architect #FL1100						
	Certified Arborist FL-5248A						
Tree	Species	Ht.	Spr.	DBH	Condition	DBH	Disposition
#	Botanical Name / Common Name	(Feet)	(Feet)	(Inches)		Removed	
		(,)	(, ===,	(/		(Inches)	
1	Quercus virginiana / Live Oak	30	25	17	Very Poor	17	Remove
2	Bursera simarubra / Gumbo Limbo	12	6	3	Poor	3	Remove
3	Bursera simarubra / Gumbo Limbo	30	20	22	Very Poor	22	Remove
4	Quercus virginiana / Live Oak	30	30	10	Fair	10	Remove
5	Quercus virginiana / Live Oak	30	30	8	Fair	8	Remove
6	Quercus virginiana / Live Oak	30	30	10	Fair	10	Remove
7	Mangifera indica / Mango	30	20	33	Poor	33	Remove
8	Bursera simarubra / Gumbo Limbo	20	20	9	Poor	9	Remove
9	Bursera simarubra / Gumbo Limbo	20	20	9	Poor	9	Remove
10	Bursera simarubra / Gumbo Limbo	20	20	9	Poor	9	Remove
11	Bursera simarubra / Gumbo Limbo	20	5	5	Very Poor	5	Remove
12	Bursera simarubra / Gumbo Limbo	20	5	5	Very Poor	5	Remove
13	Clerodendrum quadriloculare / Star Burst	10	5	3	Poor	3	Remove
14	Mangifera indica / Mango	30	20	22	Poor	22	Remove
15	Bursera simarubra / Gumbo Limbo	20	20	21	Poor	21	Remove
				D	BH Removed	186	
	Payme	nt Into the	Tree Trust	Fund @ \$3	50 per ea. 2" =	\$32,550	
Existina	Palm List						
Palm	Species	Ht.	CT	DBH	Condition	Replacement	Disposition
#	Botanical Name / Common Name	(Feet)	(Feet)	(Inches)		Palms	
16	Pandanus utilis / Common Screw Pine	15	6	10	Fair	0	Remove
17	Adonidia merrillii / Christmas Palm	16	10	4	Fair	1	Remove
18	Sabal palmetto / Cabbage Palm	18	10	12	Good	1	Remove
					ms Required	2	D 370337507
	Paym	ent Into the			350 per palm=	\$700	
					TOTAL =	\$33,250	

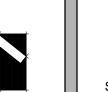




Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!





DRAWN: TW CHECKED: TW DATE:

6-1-2023

SCALE: 1"=10'

GENERAL LANDSCAPE NOTES

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work exerctions.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

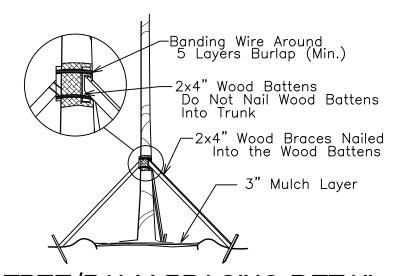
- All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.
- All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.
- All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co—dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
- All planting beds shall be free of all rocks $\frac{1}{2}$ " or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil $\frac{50}{50}$ sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod $\frac{1.5-2}{20}$ " topsoil comes furnished.
- All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tage
- All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.
- All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details
- All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.
- No fertilizers are requir

All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4' diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

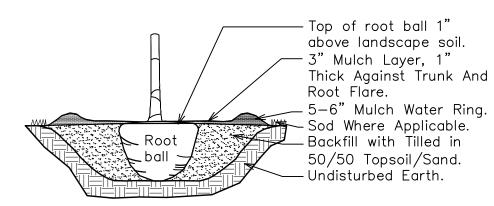
Please refer to the planting details for a graphic representation of the above notes.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period of 12 months after final inspection approval.

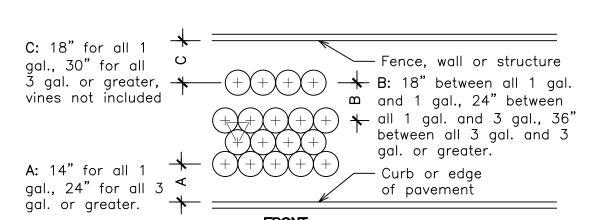
Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.



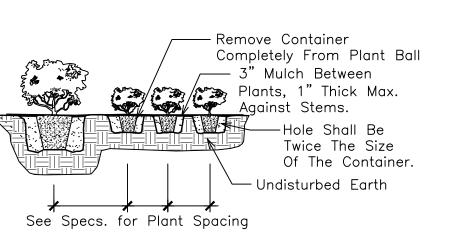
TREE/PALM BRACING DETAIL



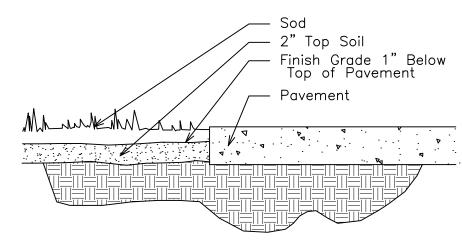
TREE/PALM PLANTING DETAIL



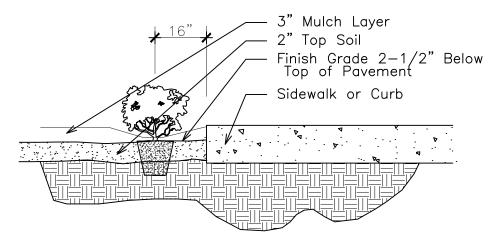
TYPICAL SHRUB SPACING DETAIL



SHRUB PLANTING DETAIL



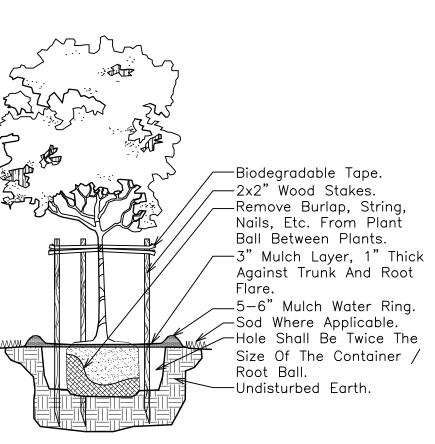
SOD INSTALLATION DETAIL



SHRUB INSTALLATION DETAIL

NO The upo loc

The survey is currently being updated to include the locations of all existing trees and palms. Complete tree disposition plan will be provide for on the next submittal.





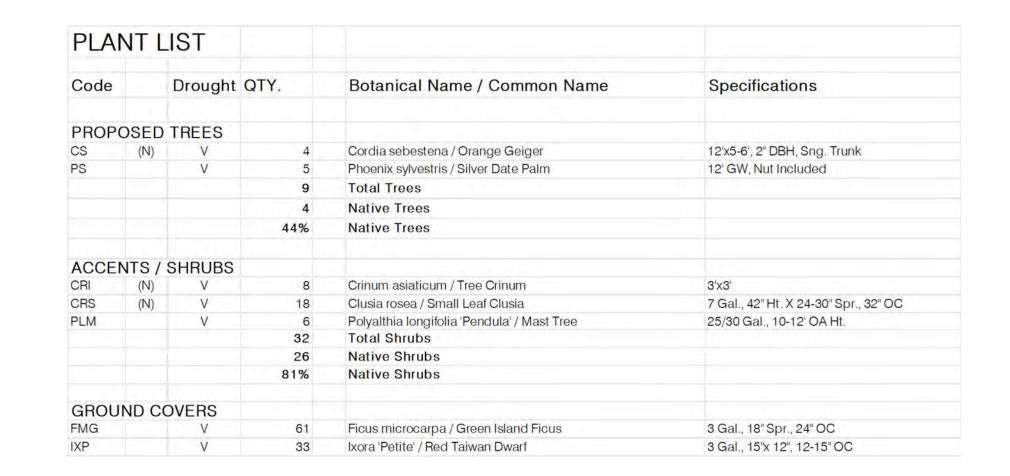
CENTURY PRODUCTS 1144 N. GROVE ST. ANAHEIM, CA 92806 TOLL FREE: 1-800-480-8084 PHONE: (714) 632-7083 FAX: (714) 632-7083 FAX: (714) 632-7083 FAX: (714) 632-5380 FAX: (714) 632-5470 WWW.centuryrootbarrier.com MICHAROSANC PANEL TO PANEL JOHNAG SYSTEM DESIGNED BY CENTURY PRODUCTS, 1144 N. GROVE STREET, ANAHEILA CA 92806 FAX: (714) 632-5470 WWW.centuryrootbarrier.com MICHAROSANC PANEL TO PANEL JOHNAG SYSTEM DESIGNED BY CENTURY PRODUCTS, 1144 N. GROVE STREET, ANAHEILA CA 92806 FAX: (714) 632-5470 WWW.centuryrootbarrier.com MICHAROSANC PANEL TO PANEL JOHNAG SYSTEM DESIGNED BY CENTURY PRODUCTS, 1144 N. GROVE STREET, ANAHEILA CA 92806 FAX: (714) 632-5470 WWW.centuryrootbarrier.com MICHAROSANC PANEL TO PANEL JOHNAG SYSTEM DESIGNED BY CENTURY PRODUCTS, 1144 N. GROVE STREET, ANAHEILA CA 92806 FAX: (714) 632-5470 WWW.centuryrootbarrier.com MICHAROSANC PANEL TO PANEL JOHNAG SYSTEM DESIGNED BY CENTURY PRODUCTS, 1144 N. GROVE STREET, ANAHEILA CA 92806 FAX: (714) 632-5470 WWW.centuryrootbarrier.com MICHAROSANC PANEL JOHNAG SYSTEM DESIGNED BY CENTURY PRODUCTS, 1144 N. GROVE STREET, ANAHEILA CA 92806 FAX: (714) 632-5470 WWW.centuryrootbarrier.com FAX: (714) 632-7083 FAX: (714) 6

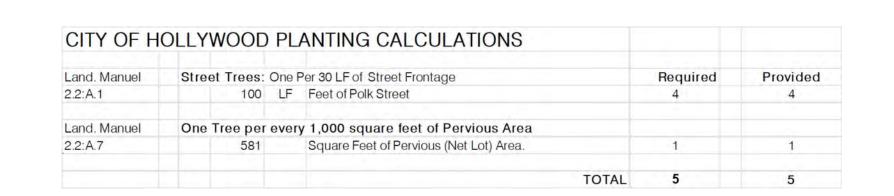


LINEAR APPLICATION

ISOMETRIC VIEW

18" ROOT BARRIER DETAIL





PROP. PARKING GARAGE

18" Root Barrier

(Typ.), See Detail This Sheet

SAN SAN SAN SAN

(Typ.), See Detail

This Sheet

CITY OF HOLLYWOOD)				
SITE PLAN INFORMATION					
	Property Use:	Multi Family	Reside	ential	
Pro	operty Zoning:	DH-3			
Property Zoning	g Description:	Dixie Hwy. H	ligh Inte	ensity	
Net Site Area:	11,500	Sq. Feet	=	0.26	Acres
Building Footprint/ Overhang:	9,905	Sq. Feet	=	86.13%	
Pavers, Driveway, Sidewalks:	1,014	Sq. Feet	=	8.82%	
Total Impervious Areas:	10,919	Sq. Feet	=	94.95%	
Landscape Area:	581	Sq. Feet	=	5.05%	
Total Pervious Areas:	581	Sq. Feet	=	100.00%	

SAN SAN

POLK STREET

- PAVEMENT RESTORATION

PROP. 6" PVC SEWER-

LAT. @ 1% SLOPE (MIN.)

PROP. 6" PVC FIRE LINE FOR CONTINUATION SEE

FIRE PROTECTION PLANS

PROP. 6" SAN. SEWE

PROP. 8"X8" TAPPING-

SLEEVE & VALVE & 8" G.V.

FIRE HYDRANT

(APPROXIMATE LOCATION)

XM.X=VMI

PER S-12

100.00°

12' X 6' Sight

Triangle (Typ.)

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked. Check positive response codes before you dig!

THOMAS WHITE,

LANDSCAPE ARCHITE

ASSOCIATE, CERTIF

2600 NE 27th

FORT LAUDERDALE,

tcawhite@bells

EVISIONS

Landscape Permit Plan

Family Residence
2133 Polk Street



DRAWN: TW CHECKED: TW DATE: 6-1-2023 SCALE: 1"=10'



Holland Engineering, Inc Civil Engineering Solutions 301 SW 7th Street, Ft. Lauderdale, FL 33315 (954) 367-0371 office CA0007325 www.hei-heis.com

June 2, 2023

FIRE FLOW CALCULATIONS A Four-Story Residential Building 2133 Polk Street, Hollywood

These calculations are for a four (4) story residential building, with a total ground floor square footage of 1,540 SF. The remaining floors are 7,997 SF, 7,910 SF, and 7,905 SF. The fire flow area shall be based on the three (3) largest consecutive floors which is equal to 23,812. The entire building is non-combustible construction.

Fire Flow Area = 23,812 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total square footage of 23,812 SF.

Per Table 18.4.5.2.1, the fire flow requirement is 1,750 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

1,750 gpm X 75% = 1,312 gpm (fire flow credit)

1,750 gpm - 1,312 gpm = 438 gpm

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm



Susan C. Holland, P.E.

Multi-Family Residential 2133 Polk Street, Hollywood, FL

Proj. No. 22-29

Elevations are referenced to NAVD 1988 Preliminary Post-Development Calculations 06/02/23

Prepared by Susan C Holland, P.E. Lic. No. 41831



General Information

Total Project Area =	0.25 Acres	
Paved Area = _	0.20 Acres	_
Building Area =	0. 04 Aces	ground floor)
Lake Area =	0.00 Acres	_
Recreation Area =	0.00 Acres	_
Landscape Area =	0.01 Acres	
Total Impervious Area =	0.24 Acres	(96.0%)
Total Pervious Area (TPA) =	0.01 Acres	(4.0%)
Prop. Min. Floor Elevation = _	12.20 '	_
Prop. Min. Crown of Road =	0 . 00'	
Prop. Average Finished Grade=	11.00 '	_
Lake Control Stage =	0.00'	_
Flood Criteria (Dade County only) =	0.00'	
October Water Table =	1.50 '	(future elev.)
(Wet season water table)		
Credit (Dade County only) = _	0.00 "	_
Discharge Off-site = _		_

Storm Event Information

Finished Floor Elevation

100 year 3 day event = 18.35 " 100 Year 1 day event = 13.50 "

Perimeter Grade Elevation

25 year 1 day event = 10.50 " 25 year 3 day event = 14.27 " Multi-Family Residential

2133 Polk Street, Hollywood, FL

Proj. No. 22-29

Proposed Exfiltration Trench Data

Proposed Trench Length = 42.0 '

Trench Width = 10.0'

Trench Depth = 5.0 '

Pipe Diameter = 1.25 '

K = 0.0001

(estimated)

6/2/2023

H2 (depth to water table) = 7.0 '

Du (non-saturated trench depth) = 5.0 '

Ds (saturated trench depth) = 0.0 '

C Factor

Pervious = 0.6

Impervious = 0.9

Weighted C Factor = 0.89

 $\frac{(0.01) \times (0.60) + (0.24) \times (0.90)}{0.25} = 0.89$

Multi-Family Residential 2133 Polk Street, Hollywood, FL Proj. No. 22-29 Post-Development

SCS Curve Number

Design Water Table Elevation = 1.5 '
Average Finished Grade = 11.00 '
Average Depth Water Table = 9.50 '

Compacted Water Storage - (CWS) = 6.75 "
(From Table at right for Flatwoods type)

Ground Storage Under Pervious Area (CWS/12 in/ft) x (TMPA) = 0.01 AC-FT

Soil Storage (S) = 0.27 "

SCS Curv Number (CN) = 97.37

Cumulative Soil Moisture Storage S.F.W.M.D Vol. IV, pg C-III-3, figure C-III-1

DWT=Depth to Water Table NAS=Natural Available Storage DAS=Developed Available Storage

	DWT	NAS	DAS
Π	1.0 '	0.60 "	0.45"
	2.0 '	2.50 "	1.88 "
lacksquare	3.0 '	5.40 "	4.05 "
П	4.0 '	9.00 "	6.75"

Retention / Detention Requirements for Water Quality

First 1" of runoff

Volume = 1" x 1ft/12" x 0.25 Acres = 0.02 AC-FT

3 Year - 1 Hour event = 2.5"

Total project area - roof area = 0.25 acres - 0.04 acres = 0.21 acres 0.21 acres - 0.01 acres (pervious area) = 0.20 acres (impervious) 0.20 acres / 0.21 acres X 100% = 95% impervious 2.5" X 0.95 = 2.38" to be treated 2.38" X 0.25 acres = 0.59 acre-inches (0.05 acre-feet) Water quality provided in exfiltration trench.

12/19/2022

Multi-Family Residential 2133 Polk Street, Hollywood, FL Proj. No. 22-29 Post-Development

Exfiltration Trench Length

C Pervious = C Impervious =	0.60 0.90
Weighted C Factor =	0.89
storm event = Trench width = H2 (depth to water table) =	2.50 10.00 7 .00
Du (non-saturated trench depth) =	5.00
Ds (saturated trench depth) =	0.00

$$L = \frac{0.59}{0.0001 \times [(7 \times 10) + (2 \times 7 \times 5) - (5)^2 + (2 \times 7 \times 0)] + [(.000139 \times 10 \times 5)]}$$

$$L = 31.98'$$

Capacity of existing system = 0.59 AC-IN (0.05 AC-FT)

Length of exfiltration system provided = 42 feet

Multi-Family Residential 2133 Polk Street, Hollywood, FL Proj. No. 22-29 Post-Development

Stage / Storage

Area of Developed Site Grading = 0.21 Acres

(Linear from 10.75'-11.50)

	Not	Surface	Trench	
Stage	Used	Storage	Storage	Total
1.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
2.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
3.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
4.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
5.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
6.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
6.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
7.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
7.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
8.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
8.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
9.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
9.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
10.00 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
10.50 '	0.00 AC-FT	0.00 AC-FT	0.05 AC-FT	0.05 AC-FT
11.00 '	0.00 AC-FT	0.03 AC-FT	0.05 AC-FT	0.08 AC-FT
11.50 '	0.00 AC-FT	0.08 AC-FT	0.05 AC-FT	0.13 AC-FT
12.00 '	0.00 AC-FT	0.19 AC-FT	0.05 AC-FT	0.24 AC-FT

File: 2133 Polk Street 25 year post Date: June 02, 2023

Project Name: 2133 Polk Street Residential

Reviewer: Susan Holland Project Number: 22-29

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.16 hr, Iterations: 10

Basin 1: 2133 Polk Street Residential

Method: Santa Barbara Unit Hydrograph Rainfall Distribution: SFWMD - 3day

Design Frequency: 25 year 1 Day Rainfall: 10.5004 inches

Area: 1.19 acres

Ground Storage: 0.27 inches

Time of Concentration: 0.25 hours

Initial Stage: 1 ft NGVD

Stage	Storage
(ft NGVD)	(acre-ft)
3.50	0.00
6.00	0.05
7.00	0.05
8.00	0.05
9.00	0.05
10.00	0.05
11.00	0.08
11.50	0.13
12.00	0.24

Offsite Receiving Body: Offsitel

Time	Stage
(hr)	(ft NGVD)
0.00	1.00
1000.00	1.00

Structure: 1

From Basin: 2133 Polk Street Residential

To Basin: Offsite1 Structure Type: Pump

On Elev = 8 ft NGVD, Off Elev = 1.5 ft NGVD, Capacity = 350 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	1.00	1.00
0.96	0.06	0.00	0.00	0.00	3.50	1.00
1.92	0.12	0.02	0.00	0.00	3.54	1.00
3.04	0.19	0.04	0.00	0.00	3.69	1.00
4.00	0.26	0.05	0.00	0.00	3.87	1.00
4.96	0.32	0.06	0.00	0.00	4.08	1.00
5.92	0.38	0.06	0.00	0.00	4.31	1.00
7.04	0.45	0.06	0.00	0.00	4.60	1.00
8.00	0.51	0.07	0.00	0.00	4.85	1.00
8.96	0.57	0.07	0.00	0.00	5.12	1.00
9.92	0.63	0.07	0.00	0.00	5.39	1.00
11.04	0.71	0.07	0.00	0.00	5.71	1.00
12.00	0.77	0.07	0.00	0.00	5.99	1.00
12.96	0.83	0.07	0.78	0.06	3.50	1.00
13.92	0.89	0.07	0.78	0.12	3.50	1.00
15.04	0.96	0.07	0.78	0.20	3.50	1.00
16.00	1.02	0.07	0.78	0.26	3.50	1.00
16.96	1.08	0.07	0.78	0.32	3.50	1.00
17.92	1.14	0.07	0.78	0.38	3.50	1.00
19.04	1.22	0.07	0.78	0.45	3.50	1.00
20.00	1.28	0.07	0.78	0.52	3.50	1.00

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
20.96	1.34	0.07	0.78	0.58	3.50	1.00
21.92	1.40	0.07	0.78	0.64	3.50	1.00
23.04	1.47	0.07	0.78	0.71	3.50	1.00
24.00	1.53	0.07	0.78	0.77	3.50	1.00
24.96	1.62	0.11	0.78	0.84	3.50	1.00
25.92	1.71	0.11	0.78	0.90	3.50	1.00
27.04	1.82	0.11	0.78	0.97	3.50	1.00
28.00	1.91	0.11	0.78	1.03	3.50	1.00
28.96	2.00	0.11	0.78	1.09	3.50	1.00
29.92	2.08	0.11	0.78	1.16	3.50	1.00
31.04	2.19	0.11	0.78	1.23	3.50	1.00
32.00	2.28	0.11	0.78	1.29	3.50	1.00
32.96	2.37	0.11	0.78	1.35	3.50	1.00
33.92	2.46	0.11	0.78	1.41	3.50	1.00
35.04	2.56	0.11	0.78	1.49	3.50	1.00
36.00	2.65	0.11	0.78	1.55	3.50	1.00
36.96	2.74	0.11	0.78	1.61	3.50	1.00
37.92	2.83	0.11	0.78	1.67	3.50	1.00
39.04	2.93	0.11	0.78	1.74	3.50	1.00
40.00	3.02 3.11	0.11	0.78 0.78	1.80 1.87	3.50 3.50	1.00 1.00
40.96 41.92	3.11	0.11 0.11	0.78	1.07	3.50	1.00
41.92	3.31	0.11	0.78	2.00	3.50	1.00
44.00	3.40	0.11	0.78	2.06	3.50	1.00
44.96	3.49	0.11	0.78	2.12	3.50	1.00
45.92	3.58	0.11	0.78	2.12	3.50	1.00
47.04	3.68	0.11	0.78	2.26	3.50	1.00
48.00	3.77	0.11	0.78	2.32	3.50	1.00
48.96	3.87	0.13	0.78	2.38	3.50	1.00
49.92	3.97	0.13	0.78	2.44	3.50	1.00
51.04	4.11	0.15	0.78	2.52	3.50	1.00
52.00	4.24	0.17	0.78	2.58	3.50	1.00
52.96	4.41	0.22	0.78	2.64	3.50	1.00
53.92	4.62	0.27	0.78	2.70	3.50	1.00
55.04	4.92	0.33	0.78	2.77	3.50	1.00
56.00	5.21	0.37	0.78	2.84	3.50	1.00
56.96	5.55	0.44	0.78	2.90	3.50	1.00
57.92	5.97	0.54	0.78	2.96	3.50	1.00
59.04	6.64	0.83	0.78	3.03	3.50	1.00
60.00	10.66	7.48	0.78	3.09	3.50	1.00
60.96	11.79	1.22	0.78	3.16	3.50	1.00
61.92	12.32	0.62	0.78	3.22	3.50	1.00
63.04	12.71	0.39	0.78	3.29	3.50	1.00
64.00	13.01	0.38	0.78	3.35	3.50	1.00
64.96	13.19	0.23	0.78	3.41	3.50	1.00
65.92	13.37	0.23	0.78	3.48	3.50	1.00
67.04	13.58	0.23	0.78	3.55	3.50	1.00
68.00	13.77	0.23	0.78 0.78	3.61	3.50 3.50	1.00
68.96	13.89	0.15	0.78	3.67	3.30	1.00

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

=======	=====	-=====			=====			
Struc	Max	(cfs)	Time	(hr)	Min	(cfs)	Time	(hr)
=======	=====							====
1		0.78	1	12.16		0.00		0.00

BASIN MAXIMUM AND MINIMUM STAGES

E	Basin Ma	x (ft)	Time	(hr)	Min	(ft)	Time	(hr)
=========		======	=====	=======	====	======	=====	====
2133 Polk	Stre	5.99	1	2.00		1.00		0.00

BASIN WATER BUDGETS (all units in acre-ft)

	Total	Structure	Structure	Initial	Final			
Basin	Runoff	Inflow	Outflow	Storage	Storage	Residual		

Cascade 2001 Version 1.0

File: 2133 Polk Street 25 year post Date: June 02, 2023 Page 3

2133 Polk Stre 1.34 0.00 3.68 0.00 -2.33 0.00

Project Name: 2133 Polk Street Residential

Reviewer: Susan Holland Project Number: 22-29

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.16 hr, Iterations: 10

Basin 1: 2133 Polk Street Residential

Method: Santa Barbara Unit Hydrograph Rainfall Distribution: SFWMD - 3day

Design Frequency: 100 year 1 Day Rainfall: 13.5 inches Area: 1.19 acres

Ground Storage: 0.27 inches

Time of Concentration: 0.25 hours

Initial Stage: 1 ft NGVD

Stage	Storage
(ft NGVD)	(acre-ft)
3.50	0.00
6.00	0.05
7.00	0.05
8.00	0.05
9.00	0.05
10.00	0.05
11.00	0.08
11.50	0.13
12.00	0.24

Offsite Receiving Body: Offsitel

Time	Stage				
(hr)	(ft NGVD)				
0.00	1.00				
1000.00	1.00				

Structure: 1

m -- --

From Basin: 2133 Polk Street Residential

To Basin: Offsite1 Structure Type: Pump

On Elev = 8 ft NGVD, Off Elev = 1.5 ft NGVD, Capacity = 350 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	1.00	1.00
0.96	0.08	0.01	0.00	0.00	3.50	1.00
1.92	0.16	0.04	0.00	0.00	3.60	1.00
3.04	0.25	0.06	0.00	0.00	3.84	1.00
4.00	0.33	0.07	0.00	0.00	4.11	1.00
4.96	0.41	0.08	0.00	0.00	4.41	1.00
5.92	0.49	0.08	0.00	0.00	4.73	1.00
7.04	0.58	0.09	0.00	0.00	5.12	1.00
8.00	0.66	0.09	0.00	0.00	5.47	1.00
8.96	0.74	0.09	0.00	0.00	5.82	1.00
9.92	0.81	0.09	0.78	0.04	4.38	1.00
11.04	0.91	0.09	0.78	0.11	3.50	1.00
12.00	0.99	0.09	0.78	0.18	3.50	1.00
12.96	1.06	0.09	0.78	0.24	3.50	1.00
13.92	1.14	0.09	0.78	0.30	3.50	1.00
15.04	1.24	0.09	0.78	0.37	3.50	1.00
16.00	1.31	0.10	0.78	0.43	3.50	1.00
16.96	1.39	0.10	0.78	0.50	3.50	1.00
17.92	1.47	0.10	0.78	0.56	3.50	1.00
19.04	1.56	0.10	0.78	0.63	3.50	1.00
20.00	1.64	0.10	0.78	0.69	3.50	1.00

20.06 1.70 0.10 0.70 0.75 2.50	1.00 1.00 1.00
20.96 1.72 0.10 0.78 0.75 3.50	
21.92 1.80 0.10 0.78 0.81 3.50	1.00
23.04 1.89 0.10 0.78 0.89 3.50	
24.00 1.97 0.10 0.78 0.95 3.50	1.00
24.96 2.09 0.14 0.78 1.01 3.50	1.00
25.92 2.20 0.14 0.78 1.07 3.50	1.00
27.04 2.34 0.14 0.78 1.14 3.50	1.00
28.00 2.45 0.14 0.78 1.21 3.50	1.00
28.96 2.57 0.14 0.78 1.27 3.50	1.00
29.92 2.68 0.14 0.78 1.33 3.50	1.00
31.04 2.81 0.14 0.78 1.40 3.50	1.00
32.00 2.93 0.14 0.78 1.46 3.50	1.00
32.96 3.04 0.14 0.78 1.53 3.50 33.92 3.16 0.14 0.78 1.59 3.50	1.00
33.92 3.16 0.14 0.78 1.59 3.50 35.04 3.29 0.14 0.78 1.66 3.50	$1.00 \\ 1.00$
36.00 3.41 0.14 0.78 1.72 3.50	1.00
36.96 3.52 0.14 0.78 1.78 3.50	1.00
37.92 3.64 0.14 0.78 1.85 3.50	1.00
39.04 3.77 0.14 0.78 1.92 3.50	1.00
40.00 3.89 0.14 0.78 1.98 3.50	1.00
40.96 4.00 0.14 0.78 2.04 3.50	1.00
41.92 4.12 0.14 0.78 2.10 3.50	1.00
43.04 4.25 0.14 0.78 2.18 3.50	1.00
44.00 4.37 0.14 0.78 2.24 3.50	1.00
44.96 4.48 0.14 0.78 2.30 3.50	1.00
45.92 4.60 0.14 0.78 2.36 3.50	1.00
47.04 4.73 0.14 0.78 2.43 3.50	1.00
48.00 4.85 0.14 0.78 2.50 3.50	1.00
48.96 4.98 0.16 0.78 2.56 3.50	1.00
49.92 5.11 0.16 0.78 2.62 3.50	1.00
51.04 5.28 0.19 0.78 2.69 3.50	1.00
52.00 5.45 0.22 0.78 2.75 3.50	1.00
52.96 5.67 0.28 0.78 2.82 3.50	1.00
53.92 5.94 0.35 0.78 2.88 3.50	1.00
55.04 6.32 0.42 0.78 2.95 3.50 56.00 6.70 0.48 0.78 3.01 3.50	$1.00 \\ 1.00$
56.00 6.70 0.48 0.78 3.01 3.50 56.96 7.14 0.57 0.78 3.07 3.50	1.00
57.92 7.67 0.70 0.78 3.14 3.50	1.00
59.04 8.53 1.07 0.78 3.14 3.50	1.00
60.00 13.70 9.62 0.78 3.27 3.50	1.00
60.96 15.16 1.57 0.78 3.33 3.50	1.00
61.92 15.84 0.79 0.78 3.39 3.50	1.00
63.04 16.34 0.50 0.78 3.47 3.50	1.00
64.00 16.73 0.49 0.78 3.53 3.50	1.00
64.96 16.96 0.30 0.78 3.59 3.50	1.00
65.92 17.19 0.29 0.78 3.65 3.50	1.00
67.04 17.47 0.29 0.78 3.72 3.50	1.00
68.00 17.70 0.29 0.78 3.79 3.50	1.00
68.96 17.85 0.20 0.78 3.85 3.50	1.00

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

		Time (hr)		
1	 0.78	9.44	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

	Basin	Max	(ft)	Time	(hr)	Min	(ft)	Time	(hr)
	=======	=====	=====	======	=====	======	====	======	====
2133 Po.	lk Stre		5.94		9.28		1.00		0.00

BASIN WATER BUDGETS (all units in acre-ft)

					a: c:	
	Total	Structure	Structure	Initial	Final	
Basin	Runoff	Inflow	Outflow	Storage	Storage	Residual

Cascade 2001 Version 1.0

File: 2133 Polk Street 100 year post Date: June 02, 2023 Page 3

2133 Polk Stre 1.74 0.00 3.85 0.00 -2.11 0.00

Multi-Family Residential

2133 Polk Street, Hollywood, FL

Proj. No. 22-29

Elevations are referenced to NAVD 1988
Preliminary Pre-Development Calculations

06/02/23

Prepared by Susan C Holland, P.E.

Lic. No. 41831



General Information

1014111030111104	0.20710100	
Paved Area =	0.06 Acres	•
Building Area = ⁻	0.05 Acres	•
Lake Area =	0.00 Acres	•
Recreation Area =	0.00 Acres	•
Landscape Area =	0. 14A cres	
Total Impervious Area =	0.11 Acres	(44.0%)
Total Pervious Area (TPA) =	0.14 Acres	(56.0%)
Exist. Min. Floor Elevation =	12.00 '	
Exist. Min. Crown of Road = -	0.00'	
Exist. Average Finished Grade=	10.00 '	
Lake Control Stage =	0.00 '	
Flood Criteria (Dade County only) =	0.00 '	
October Water Table =	1.50 '	
(Wet season water table)		
Credit (Dade County only) =	0 00 "	
Discharge Off-site =		
·		

Total Project Area = 0.25 Acres

Storm Event Information

Finished Floor Elevation

100 year 3 day event = 18.35 " 100 Year 1 day event = 13.50 "

Perimeter Grade Elevation

25 year 1 day event = 10.50 " 25 year 3 day event = 14.27 " Multi-Family Residential 2133 Polk Street, Hollywood, FL Proj. No. 22-29 Pre-Development

SCS Curve Number

Design Water Table Elevation = 1.5 '
Average Finished Grade = 10.00 '
Average Depth Water Table = 8.50 '

Compacted Water Storage - (CWS) = 6.75 "
(From Table at right for Flatwoods type)

Ground Storage Under Pervious Area (CWS/12 in/ft) x (TMPA) = 0.08 AC-FT

Soil Storage (S) = 3.78 "

SCS Curv Number (CN) = 72.57

Cumulative Soil Moisture Storage S.F.W.M.D Vol. IV, pg C-III-3, figure C-III-1

DWT=Depth to Water Table NAS=Natural Available Storage DAS=Developed Available Storage

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2,50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75"

Multi-Family Residential 2133 Polk Street, Hollywood, FL Proj. No. 22-29 Pre-Development

Stage / Storage

Area of Developed Site Grading = 0.20 Acres

(Linear from 10'-11')

	Not	Surface	Not	
Stage	Used	Storage	Used	Total
1.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
2.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
3.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
4.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
5.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
6.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
7.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
7.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
8.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
8.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
9.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
9.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
10.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
10.50 '	0.00 AC-FT	0.05 AC-FT	0.00 AC-FT	0,05 AC-FT
11.00 '	0.00 AC-FT	0.10 AC-FT	0.00 AC-FT	0.10 AC-FT
11.50 '	0.00 AC-FT	0.20 AC-FT	0.00 AC-FT	0,20 AC-FT
12.00 '	0.00 AC-FT	0.30 AC-FT	0.00 AC-FT	0.30 AC-FT

Finished Floor Elevation

$$Q = \frac{[18.35 \quad -0.20 \quad (3.78)]^2}{18.35 \quad +0.80 \quad (3.78)} = 14.48$$
"

Perimeter Grade Elevation

$$Q = \underbrace{[14.27 \quad -0.20 \quad (3.78)]^2}_{14.27} = 10.56"$$

The School Board of Broward County, Florida

PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION

PLAT

SBBC-3576-2023

County Number: TBD Municipality Number: TBD

Folio #: 514216100070, 514216100080 2133-2139 Polk Street

May 23, 2023

Growth Management

Facility Planning and Real Estate Department 600 SE 3rd Avenue, 8th Floor

Fort Lauderdale, Florida 33301

Tel: (754) 321-2177 Fax: (754) 321-2179 www.browardschools.com

PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION

PROJECT INFORMATION	NUMBER & TYPE OF PROPOSED UNITS	OTHER PROPOSED USES	STUDENT IMPACT	CT
Date: May 23, 2023	Single-Family:		Elementary:	0
Name: 2133-2139 Polk Street	Townhouse:			
SBBC Project Number: SBBC-3576-2023	Garden Apartments:		Middle:	0
County Project Number: TBD	Mid-Rise: 23			
Municipality Project Number: TBD	High-Rise:		High:	
Owner/Developer: Polk Equities LLC	Mobile Home:			
Jurisdiction: Hollywood	Total: 23		Total:	ے
		! 		

SHORT RANGE - 5-YEAR IMPACT

				· · · · ·	** ** * *** * * * * * * * * * * * * * *		
Currently Assigned Schools	Gross Capacity	LOS * Capacity	LOS * Benchmark* Capacity Enrollment	Over/Under	* Benchmark* Over/Under Classroom Equivalent ty Enrollment LOS Needed to Meet LOS	% of LOS*** Capacity	Cumulative Reserved Seats
Oakridge	605	1,009	435	-231	-12	65,3%	0
Olsen	1,125	831	629	-609	-27	50.8%	15
South Broward High	2,297	2,026	2,407	-120	4	95,3%	29

	Adjusted	Over/Under LOS-Adj.	8 LOS Cap. Adj.		Proje	Projected Enrollment	nent	
Currently Assigned Schools	~	Benchmark Enrollment	Benchmark	23/24	24/25	25/26	26/27	27/28
Oakridge	435	-231	65.3%	408	390	372	384	366
Olsen	629	-609	50.8%	645	628	616	604	592
South Broward High	2,407	-120	95.3%	2,417	2,403	2,413	2,419	2,424

charter school enrollment by school level Districtwide. For more information: https://www.browardschools.com/Page/34040. The annual benchmark enrollment is taken on the Monday following Labor Day and is used to A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future Students generated are based on the student generation rates contained in the currently edopted Broward County Land Development Code. Information contained herein is current as of the date of review.

apply individual charter school enrollment impacts against school facility review processes.

*This number represents the higher of: 100% gross capacity or 110% permanent capacity. **The first Monday following Labor Day. ***Greater than 100% exceeds the adopted Level of Service (LOS).

CHARTER SCHOOL INFORMATION

	2022-23 Contract	2022-23 Benchmark		Projec	Projected Enrollment	lent
Charter Schools within 2-mile radius	Permanent Capacity	Enrollment	Over/(Under)	23/24	24/25	25/26
Avant Garde Academy	750	1.116	366	1.116	1.116	1.116
Avant Garde K-8 Broward	1.050	1.015	-35	1.015	1.015	1.015
Ben Gamla Charter	625	349	-276	349	349	349
Ben Gamla Charter North Broward	900	289	-611	289	289	289
Hollywood Academy 6_8	450	478	28	478	478	478
Hollywood Academy K_5	1,100	1.130	30	1.130	1.130	1.130
International Studies Academy High School	800	207	-593	207	207	207
International Studies Academy Middle School	594	252	-342	252	252	252
Paragon Academy Of Technology	500	135	-365	135	135	135
Sunshine Elementary	500	230	-270	230	230	230

PLANNED AND FUNDED CAPACITY ADDITIONS IN THE ADOPTED DISTRICT EDUCATIONAL FACILITIES PLAN

School(s)	Description of Improvements
Oakridge	There are no scheduled classroom additions in the Adopted DEFP that would increase the reflected FISH capacity of the school.
Olsen	There are no scheduled classroom additions in the current ADEFP that would increase the reflected FISH capacity of the school.
South Broward High	There are no scheduled classroom additions in the current ADEFP that would increase the reflected FISH capacity of the school.

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review.

A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: https://www.browardschools.com/Page/34040. The benchmark enrollment count taken on the first Monday following Labor Day is used to apply individual charter school enrollment impacts against school facility review processes.

Comments

Public Schools The plat application proposes 23 (5 one bedroom or less and 18 two or more bedroom) mid-nse units, which is anticipated to 1 high school student into Broward County

amendment, developments anticipated to be built within the next three years (2022/23- 2024/25), these schools are expected to maintain their current status through the 2024/25 schools Based on the Public School Concurrency Document (PSCPD), all three schools are currently operating below the Level of Service Standard (LOS), which is established as the higher of: 100% gross capacity or 110% permanent capacity. Incorporating the cumulative students anticipated from this project and approved and vestec The school Concurrency Service Areas (CSA) serving the project site in the 2022/23 school year include Oakridge Elementary, Olsen Middle and South Broward Schools year. Additionally, the school capacity or Florida Inventory of School Houses (FISH) for the impacted schools reflects compliance with the class size constitutional

impacted by a charter school until the charter school reaches full enrollment status. Charter schools located within a two-mile radius of the site in the 2022/23 school year are depicted above. Students returning, attending or anticipated to attend charter schools are factored into the five-year student enrollment projections for District schools. Enrollment projections are adjusted for all elementary, middle and high schools

To ensure maximum utilization of the impacted CSA, the Board may utilize school boundary changes to accommodate students generated from developments in the

schools are depicted above. Capital Improvements scheduled in the currently Adopted District Educational Facilities Plan (DEFP), Fiscal Years 2022/23 to 2026/27 regarding pertinent impacted

preliminary determination shall be valid for either the end of current school year or 180 days, whichever is greater for a maximum of 23 (5 one bedroom or less and 18 two Determination (SCAD) Letter will expire on November 18, 2023. This preliminary school concurrency determination shall be deemed to be void unless prior to the or more bedroom) mid-rise units and conditioned upon final approval by the applicable governmental body. As such, this Preliminary School Capacity Availability the approved residential project mix for the approved residential units, the District will issue and provide a final SCAD letter for the approved units, which shall ratify and commence the vesting period for public school concurrency determination. Upon the District's receipt of sufficient evidence of final approval, which shall minimally specify the number, type and bedroon requested in writing and granted by the Schoot District. Please be advised that expiration of the SCAD will require a submission of a new application and fee for a new referenced expiration of the preliminary SCAD, notification of final approval to the District has been provided and/or an extension of this preliminary SCAD has beer This application satisfies public school concurrency on the basis that there is adequate school capacity anticipated to be available to support the project as proposed. This

considered vested for public school concurrency Please be advised that if a change is proposed to the development, which increases the number of students generated by the project, the additional students will not be

SBBC-3576-2023 Meets Public School Concurrency Requirements	X Yes □No
	Reviewed By:
5/53/2023 Date	Glannika D. Gordon Signature
	Glennika D. Gordon, AICP
	Planner
	Title



January 12, 2023

Esther Rein, Project Assistant Polk Equities, LLC P.O. Box 630246 Miami, Florida 33163 Via Email Only

Dear Ms. Rein:

Re: Platting requirements for a parcel legally described as Lots 8-9, "A Subdivision of Lots 1 and 2 of Block E in Hollywood Little Ranches," according to the Plat thereof, as recorded in Plat Book 3, Page 19, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Polk Street, between North 24 Avenue and Dixie Highway, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting <u>would not be required</u> by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. The lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.25 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Esther Rein January 12, 2023 Page Two

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Julie M. Bernal at your convenience.

Respectfully,

Barbara Blake Boy Executive Director

BBB:JMB

cc/email: Dr. Wazir Ishmael, City Manager

City of Hollywood

Shiv Newaldass, Director, Development Services

City of Hollywood

