

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: February 8, 2022 **FILE:** 21-CMV-20

TO: Historic Preservation Board

VIA: Leslie A. Del Monte, Planning Manager

FROM: Deandrea Moise, Planning Administrator

SUBJECT: Erich E Veitenheimer III and Andrew Steven Cariaso requests Variance and a Certificate of Appropriateness for Demolition and Design for a single-family home located at 1051 S Northlake Drive, within the Lakes Area Historic Multiple Resource Listing District.

APPLICANT'S REQUEST

Certificate of Appropriateness for Demolition and Design for a single-family home located within the Lakes Area Historic Multiple Resource Listing District.

Variance: To reduce the required sum of side yard setbacks from 25% (25 feet) to 15% (15 feet) of the lot width, consistent with existing non-conforming encroachments.

STAFF'S RECOMMENDATION

Determination of Historic Status: To be determined by the Historic Preservation Board, based on 5.5.D.3.b. criteria.

After the Fact Certificate of Appropriateness for Demolition: Based on the determination of Historic Status, the following shall apply:

- a. If the Board determines the status of the property is Non-Historic, no further action is required and a Certificate of Appropriateness for Demolition shall be issued.
- b. If the Board determines that the status of the property is Historic, a recommendation by the Board, based on 5.5.F.4.e. Criteria, shall be forwarded to the City Commission.

Variance: Approval, if Certificate of Appropriateness for Demolition is granted.

Certificate of Appropriateness for Design: Denial.

BACKGROUND

As per the Broward County Appraiser and archival history, the home was constructed in 1958. Archival history reveals that the home was designed by Charles Reed Jr., who has been identified as an Architect of Significance due to his impactful work within the City. The original plans of the home are representative of Mid-Century Modern architecture that was prevalent during 1946-1960 and characteristic of Charles Reed Jr.'s style. The Historic District design guidelines states *Mid-Century Modern architecture of this period often sought to use the method of construction as a design expression. Exposed supporting beams and other structural members are common; materials are exposed and receive little treatment if any. Wide eave overhangs, unusual and oversized windows/window walls and flat pitch roofs only begin to describe the modern home.* Archival history and building permit search reveal that throughout the years, there have been various additions and renovations to the original design of the home, which introduced incompatible elements (e.g., seemingly arbitrary juxtaposition of volumes and varying roof lines, rock cladding, barrel tile roofs). The original was of such exemplary design and craftsmanship indicative of Mid-Century Modern architecture, that the home maintained the spirit of the original design despite these alterations.

REQUEST

In 2021 the Applicant applied for various building permits, which included interior and exterior renovations. Following review by Planning Staff, comments were provided that the proposed scope of work would require Historic Preservation Board consideration and that there was to be no exterior work prior to Board consideration. The approved permit was exclusively limited to interior renovations. A subsequent site visit revealed that significant portions of the exterior were demolished beyond the scope of the approved permit and contrary to Planning Staff comments. Currently, only a few walls remain. As such, the Applicant requests an After the Fact Certificate of Appropriateness for Demolition for portions of the home that were demolished. The Applicant purports that during interior demolition, the integrity of the exterior walls was compromised and that it was necessary to remove due to immediate safety concerns. While portions of the exterior were removed, the Applicant proposed to reconstruct the walls in the same location.

In addition to the request for demolition, the Applicant is requesting a Certificate of Appropriateness for Design to rebuild the home with significant modifications including a second story master bedroom suite, reorientation of the garage, as well as material changes. The proposed massing builds upon the juxtaposition of volumes of the demolished home, established with the previous alterations, and perpetuates it with the addition of a second story. It also sustains the concept of contrasting roof lines. The design also proposes a new and extrinsic geometric vocabulary with the introduction of triangular windows. The material palette is limited to textured stucco and standing seam metal roof. The agglomeration of these eclectic elements, result in a design which is not indicative of any particular style of architecture, or of its time or of its place.

The Design Professional has indicated that the intent is to keep the Mid-Century Modern architecture and elements of the original design. While replicating an architectural style is discouraged, when doing so it is expected that the proposed design shall be highly representative of that style and maintain the architectural integrity and craftsmanship of that particular style. Staff, however, finds that the design is inconsistent with the intended architectural style; incompatible with the original design of the home; and disregards the Historic District Guidelines' recommendations.

Mid-Century Modern architecture has been identified in the City's Historic District Guidelines as a period of significance which *often sought to use the method of construction as a design expression. Exposed supporting beams and other structural members are common; materials are exposed and receive little treatment if any.* Characterized by asymmetrical low pitch roofs with horizontal emphasis creating wide eave overhangs and entrances that were emphasized with change of materials. Materials included wood louvers, exposed wood beams, exposed concrete blocks, and glass. The vernacular of Mid-Century Modern architecture in Florida focused on passive design and was particularly accentuated by strategically placed grand expanses of floor to ceiling windows which blurred the line between indoor and outdoor spaces and capitalized on the warm climate. *New construction methods (steel) allowed extended cantilevers which took the form of covered exterior space near the home.*

While the proposed design attempts to borrow conceptual elements of the Mid-Century Modern style; it further weakens and detracts any connection to the integrity of the original style that may have been left. The overall design, massing, scale, and rhythm created by the fenestration are not reminiscent of Mid-Century Modern and are too disjointed and desultory to create an architectural vocabulary of their own. In contrast, Charles Reed Jr.'s signature style was so prevalent in the bones of the of the demolished home that it could be appreciated in spite of the modifications through the years. The irreversible loss of integral design components, such as, the use of glue lam beams, which were exemplary of one of the higher forms of craftsmanship of the period, highlights the negative impact the current condition exerts on streetscape and district. Nevertheless, the current unfortunate condition could be mitigated and present the opportunity to honor Charles Reed Jr.'s original design by proposing something as equally contextual and timeless. Unfortunately, Staff finds that the eclecticism of the proposed design does not meet applicable criteria and would negatively impact the character and integrity of the historic district, therefore, Staff recommends denial.

The request also includes a Variance to reduce the required sum of side yard setbacks from 25% (25 feet) to 15% (15 feet) of the lot width, consistent with existing non-conforming encroachments. In addition to minimum building setback requirements, the Zoning and Land Development Regulations require that the two side yard setbacks, when combined, equal at least 25% of the lot width. This request becomes necessary as some existing conditions have been removed. Staff finds that the request is consistent with the criteria as these conditions currently exist on the site today.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the district. The proposed home is inconsistent with the character of the Lakes Area Historic Multiple Resource Listing District.

SITE BACKGROUND

Applicant/Owner:	Erich E Veitenheimer III and Andrew Steven Cariaso
Address/Location:	1051 S Northlake Drive
Size of Property:	26,210 sq.ft. (0.60 acres)
Present Zoning:	Single-Family Residential (RS-9) Lakes Area Multiple Resource Listing District (HMPRLD-1)
Present Land Use:	Low (5) Residential (LRES)
Present Use of Land:	Single Family
Year Built:	1958 (Broward County Property Appraiser)

ADJACENT ZONING

North:	Government Use (GU)
South:	Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRLD-1)
East:	Single-Family Residential District (RS-9) Lakes Area Multiple Resource Listing District (HMPRLD-1)
West:	Single-Family Residential District (RS-9) Lakes Area Multiple Resource Listing District (HMPRLD-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.*

The proposed design is not consistent with the scale and massing of the adjacent neighborhood. Staff does not find the proposed design is consistent with the intended architectural style. The proposed design is incompatible with the original style of the home and disregards the Historic District's recommendation that additions be placed in inconspicuous locations. The overall design, massing, and scale detracts from the architectural integrity of the original style and introduces incompatible design elements and would negatively impact the character and integrity of the historic district.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving, and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The overall design, massing, and scale detracts from the architectural integrity of the original style and introduces incompatible design elements and would negatively impact the character and integrity of the historic district.

Policy 2.46: *Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

Policy CW.15: *Place a priority on protecting, preserving and enhancing residential neighborhoods.*

The CWMP also states *the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements.*

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses. The overall design, massing, and scale detracts from the architectural integrity of the original style and introduces incompatible design elements and would negatively impact the character and integrity of the historic district.

APPLICABLE CRITERIA

Decisions on Certificates of Appropriateness for Demolition. Based on the following criteria and other appropriate considerations, the Board must determine if the building is of historic significance. The Zoning and Land Development Regulations does not provide guidance as to how much weight should be given to each criterion.

CRITERION 1: Association with events that have made a significant contribution to the broad patterns of our history.

CRITERION 2: Association with the lives of persons significant in our past.

CRITERION 3: Embodiment of distinctive characteristics of a type, period, or method of construction.

CRITERION 4: Possession of high artistic values.

CRITERION 5: Representation of the work of a master.

CRITERION 6: Representation of a significant and distinguishable entity whose components may lack individual distinction.

CRITERION 7: Yield, or the likelihood of yielding information important in prehistory or history.

Analysis of criteria and finding for Certificate of Appropriateness for Demolition as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION 1: The building, structure, improvement, or site is designated on either a national, state, or local level as an historic preservation district or an architectural landmark or site.

ANALYSIS: The Historic District Design Guidelines recommend *identifying, retaining and preserving buildings which are important in defining the overall historic character of a historic district or neighborhood*. The property is located within the Lakes Historic District and was also originally designed by architect Charles Reed Jr. Archival history and building permit search reveal that throughout the years, there have been various additions and renovations. The original was of such exemplary design and craftsmanship indicative of Mid-Century Modern architecture, that the home maintained the spirit of the original design despite these alterations.

CRITERION 2: The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.

ANALYSIS: Applicant purports that during interior demolition, the integrity of the exterior walls was compromised and that it was necessary to remove due to immediate safety concerns. While portions of the exterior were removed. The irreversible loss of integral design components, such as, the use of glue lam beams, which were exemplary of one of the higher forms of craftsmanship of the period, highlights the negative impact the current condition exerts on streetscape and district.

CRITERION 3: The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region.

ANALYSIS: While the building was not the last remaining example of its kind, the original was of such exemplary design and craftsmanship indicative of Mid-Century Modern architecture, that the home maintained the spirit of the original design despite alterations throughout the years and there may have been opportunities for potential reversal or restoration prior to the demolition. Applicant purports that during interior demolition, the integrity of the exterior walls was compromised and that it was necessary to remove due to immediate safety concerns.

CRITERION 4: The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district.

ANALYSIS: The existing home was designed by architect of significance, Charles Reed Jr., and is an example of Mid-Century Modern architecture as identified in the Historic District Design guidelines.

CRITERION 5: Retention of the building, structure, improvement, or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.

ANALYSIS: The home was constructed more than 50 years ago, represents an architectural style highlighted during Hollywood periods of significance, and was designed by a recognized architect that is credited with shaping the City.

CRITERION 6: There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely effect on the historic character of the Historic District.

ANALYSIS: There are definite plans for reuse of the property if the proposed demolition is carried out. Charles Reed Jr.'s signature style was so prevalent in the bones of the of the demolished home that it could be appreciated in spite of the modifications through the years. The irreversible loss of integral design components, such as, the use of glue lam beams, which were exemplary of one of the higher forms of craftsmanship of the period, highlights the negative impact the current condition exerts on streetscape and district. Nevertheless, the current unfortunate condition could be mitigated and present the opportunity to honor Charles Reed Jr.'s original design by proposing something as equally contextual and timeless.

CRITERION 7: The Unsafe Structures Board has ordered the demolition of a structure, or the feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property.

ANALYSIS: The Unsafe Structures Board has not ordered the demolition of this home, however, the Applicant purports that during interior demolition, the integrity of the exterior walls was compromised due to extensive termite damage that made it necessary due to immediate safety concerns.

CRITERION 8: The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

ANALYSIS: A site visit revealed that significant portions of the exterior was demolished in contradiction with Planning Staff comments. As such, the Applicant requests an After the Fact Certificate of Appropriateness for Demolition for portions of the home that was demolition in error.

Analysis of criteria and finding for Variances as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

VARIANCE: To reduce the required sum of side yard setbacks from 25% (25 feet) to 15% (15 feet) of the lot width, consistent with existing non-conforming encroachments.

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

FINDING: The home was originally constructed with a non-conforming side yard setbacks and will continue to not affect the stability and appearance of the neighborhood.

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

FINDING: The variance would not introduce a condition that does not already existing on the property. It is very common that several homes throughout the City, including the Lakes neighborhood, were constructed at a setback that does not confirm to today's regulations. Regardless of the variance, the use of land will remain the same and due to the location of the requested variance the impact will be minimal to the community.

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city.

FINDING: The requested variance would allow the Applicant to enhance the property and structure. This would promote the Master plan policy and other plans by encouraging rehabilitation initiatives that will revitalize and promote stability of neighborhoods.

CRITERIA 4: That the need for the requested Variance is not economically based or self-imposed;

FINDING: The requested variance is not self-imposed as the non-conforming setback is an existing condition of the home.

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not Applicable.

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings*. While the proposed design maintains a similar footprint, the second story addition and exterior renovations are incompatible with the design of the home and introduces elements that disrupt the architectural language of the existing home.

FINDING: Inconsistent.

CRITERION: DESIGN

ANALYSIS: The Historic District Design Guidelines encourages new construction to be compatible with the character of the neighborhood regarding scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape, and environment. While the proposed design attempts to borrow conceptual elements of the Mid-Century Modern style; it further weakens and detracts any connection to the integrity of the original style that may have been left. The overall design, massing, scale, and rhythm created by the fenestration are not reminiscent of Mid-Century Modern and are too disjointed and desultory to create an architectural vocabulary of their own.

FINDING: Inconsistent

CRITERION: SETTING

ANALYSIS: As stated in the Design Guidelines, "...setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood." While the proposed design maintains a similar footprint, the overall design, massing, and scale detracts from the architectural integrity of the original style and introduces incompatible design elements. Staff finds that the eclecticism of the proposed design does not meet applicable criteria and would negatively impact the character and integrity of the historic district.

FINDING: Inconsistent.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. Mid-Century Modern architecture has been identified in the City's Historic District Guidelines as a period of significance which *often sought to use the method of construction as a design expression. Exposed supporting beams and other structural members are common; materials are exposed and receive little treatment if any.* Characterized by asymmetrical low pitch roofs with horizontal emphasis creating wide eave overhangs and entrances that were

emphasized with change of materials. Materials included wood louvers, exposed wood beams, exposed concrete blocks, and glass. While the proposed design attempts to borrow conceptual elements of the Mid-Century Modern style; it further weakens and detracts any connection to the integrity of the original style that may have been left. The proposed introduces elements that disrupt the architectural language of what was existing and presents incompatible design elements that would negatively impact the character and integrity of the historic district.

FINDING: Inconsistent.

CRITERION: WORKMANSHIP

ANALYSIS: The original was of such exemplary design and craftsmanship indicative of Mid-Century Modern architecture, that the home maintained the spirit of the original design despite these alterations. Charles Reed Jr.'s signature style was so prevalent in the bones of the of the demolished home that it could be appreciated in spite of the modifications through the years. The irreversible loss of integral design components, such as, the use of glue lam beams, which were exemplary of one of the higher forms of craftsmanship of the period, highlights the negative impact the current condition exerts on streetscape and district. The condition could be mitigated and present the opportunity to honor Charles Reed Jr.'s original design by proposing something as equally contextual, timeless, and true to the appropriate craftsmanship and workmanship of that style. The eclecticism of the proposed design does not meet applicable criteria and would negatively impact the character and integrity of the historic district.

FINDING: Inconsistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings... Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district.* While the building was not the last remaining example of its kind, the original was of such exemplary design and craftsmanship indicative of Mid-Century Modern architecture, that the home maintained the spirit of the original design despite alterations throughout the years and there may have been opportunities for potential reversal or restoration prior to the demolition. While the proposed design attempts to borrow conceptual elements of the Mid-Century Modern style; it further weakens and detracts any connection to the integrity of the original style that may have been left. The eclecticism of the proposed design does not meet applicable criteria and negatively impacts the character and integrity of the district.

FINDING: Inconsistent.

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Aerial Photograph
ATTACHMENT C: Permit History

ATTACHMENT A
Application Package

PLANNING DIVISION



File No. (internal use only): _____

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 04.06.2021

Location Address: 1051 SOUTH NORTHLAKE DRIVE
Lot(s): 29 + 30 Block(s): 48 Subdivision: HOLLYWOOD LAKES
Folio Number(s): 514214018740 SECT. 1-32B
Zoning Classification: RS-9 Land Use Classification: 33
Existing Property Use: SGL. FAM. RESID. Sq Ft/Number of Units: 6518 S.F.
Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: REVIEW BY HISTORIC PRESERVATION BOARD FOR APPROVAL

Number of units/rooms: 1 Sq Ft: 6518 S.F.
Value of Improvement: \$1.3 M Estimated Date of Completion: 09/2022
Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: DREW CARLSON 22302
Address of Property Owner: 1122 ROAN ALE, ALEXANDRIA, VA
Telephone: 703 967 6616 Fax: — Email Address: drew.c@comcast.net

Name of Consultant/Representative/Tenant (circle one): _____
Address: _____ Telephone: _____
Fax: _____ Email Address: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: ERICH CARLSON
VEITENHEIMER III Address: 1122 ROAN ALE
ALEXANDRIA, VA Email Address: drew.c@comcast.net
comcast.net

LEGAL DESCRIPTION

LOT 29 AND 30, BLOCK 48, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, ON PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SUBJECT TO AN EASEMENT FOR HIGHWAY AND STREET PURPOSE OVER AND ACROSS THE SOUTH 30 FEET OF SAID LOTS 29 AND 30; ALSO, ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS: BEING A PART OF TAYLOR STREET AND A PART OF BLOCK 70, HOLLYWOOD LAKES SECTION, BOUNDED ON THE SOUTH BY THE NORTH LINE OF LOTS 29 AND 30 IN BLOCK 48 OF HOLLYWOOD LAKES SECTION, IN THE NORTH BY BLOCK 71, OTHERWISE DESCRIBED AS NORTH LAKE OF SAID SUBDIVISION, ON THE EAST BY THE EAST LINE OF LOT 29 IN BLOCK 46, EXTENDED IN A NORTHERLY DIRECTION AND ON THE WEST BY THE WEST LINE OF LOT 30, IN BLOCK 48, EXTENDED IN A NORTHERLY DIRECTION, AS SHOWN ON THE PLAT OF HOLLYWOOD LAKES SECTION, RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING ALL THAT PARCEL OF LAND BEING NORTH OF LOTS 29 AND 30, IN BLOCK 48, OF HOLLYWOOD LAKES SECTION, EXTENDING TO THE LAKE IN SAID SUBDIVISION.

ADDRESS

1051 SOUTH NORTHLAKE DRIVE
HOLLYWOOD, FLORIDA 33019

PROJECT INFORMATION

This is a renovation and expansion project of a post-war modern ranch style single-family house that has previously had portions amputated and several ensuing unsympathetic additions built. Rotting wood-framed constructed additions are being eliminated and new CMU construction is substituted. The goals of the project are to add a second floor Master Suite, increase the size of the garage, and rework the entire composition into a cohesive whole thematically inspired by the original post-war home's aesthetic. The second floor's massing rises over prior Mediterranean additions to retain the original's scale as viewed from the pool or North Lake. Its shed roof tapers down overtop other prior additions to bring the height back down to single story scale. The garage is to be rotated onto the street grid to be able to enlarge it without completely relocating it, sharing walls with its former iteration. The rotation anchors the house on the streetscape right at the setback and opens up the front yard. The Porte Cochere adds convenience while modulating the perception of the scale of the two-story portion of the house. Through a different technique, the scale is relieved by breaking up continuous volumes with inserted voids, allowing light to filter in through the house while layering the elevations for a greater dimensional presentation.

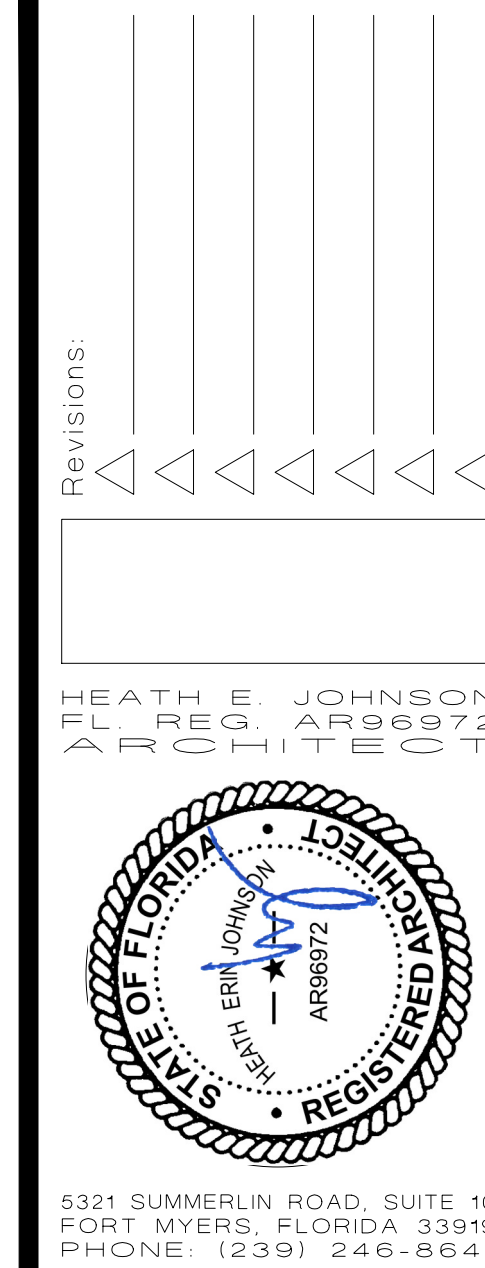
CRITERIA STATEMENT

This project is a renovation of a leaky, termite-assaulted, post-war modern ranch style home in the Hollywood Lakes Historical District. Despite its somewhat decrepit present condition, the original composition's streamlined mid-century modern lines and its characteristically exceptionally low-pitched gabled roofing offer redeeming character. A unique twist of the original composition is its 30 degree rotation on its corner double lot, rendering its "front elevation" to face a 30 degree rotation from parallel to the small dead end of North 11 Avenue as it terminates at Northlake itself and 60 degrees rotation from parallel to its fronting on South Northlake Drive. Through its history, portions of the original house have been removed and several wildly incongruous additions have been progressively augmenting the home. All of the later additions emulated the 30 degree rotated organizational grid, but none followed through with the thematic roof pitch. Somehow an eclectic Mediterranean mash-up complete with barrel tile roofing was amalgamated with the mid-century modern ranch, and the original low-pitched roof was tiled. This resulted in a plague of roof leaks and an indecipherable floor plan and ad hoc compositional maze.

As a second floor Master Suite was to be added to the mix while the existing massing was to be utilized, wholesale reimagining was employed to re-introduce the essence of the mid-century modern ranch, most easily identified by those low-pitched roofs. Their original angles and pitches were repeated onto the existing and extended forms. The full two-story section supports a new Porte Cochere to modulate its height from the front yard and street perceptions for the neighbors and community. The present impractically inadequate garage has been widened and reoriented to South Northlake Drive along the original side setback of the house to establish an orthogonal reference point with the neighborhood. This enlarged the garden space of the front yard for the benefit of both owner and community.

Beyond the formal cacophony follows one of materials as well. Presented were stucco and barrel tiles and large-scale boulder stones (on the front elevation!) and coquina and brick and wood and metal. The original's material palette was straight-forward, and this design returns to that straight-forward approach. The mid-century ranch style presented stucco walls and aluminum windows, and that directed our material repertoire. Due to the aforementioned exceptionally shallow roof pitches, the metal of the windows clads the roofs and the structural elements as well. Various shading devices are aluminum. Only the front doors are wood along with a single feature wood column in the in the back and Trex decking. Spaces within the forms mitigate the massing to control the scale to relate to the human and the neighborhood perceptions. The composition of the immediate neighbor to the east offers a series of these low-pitched roofs, thematically continuing the themes where this property ends. Working with the existing conditions, this solution offers an intriguing mid-century redux complement in this community of varying styling episodes to develop into an enriching and significant participant.

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ADJACENT PROPERTY TO THE EAST OF SUBJECT PROPERTY



ADJACENT PROPERTY TO THE EAST OF SUBJECT PROPERTY

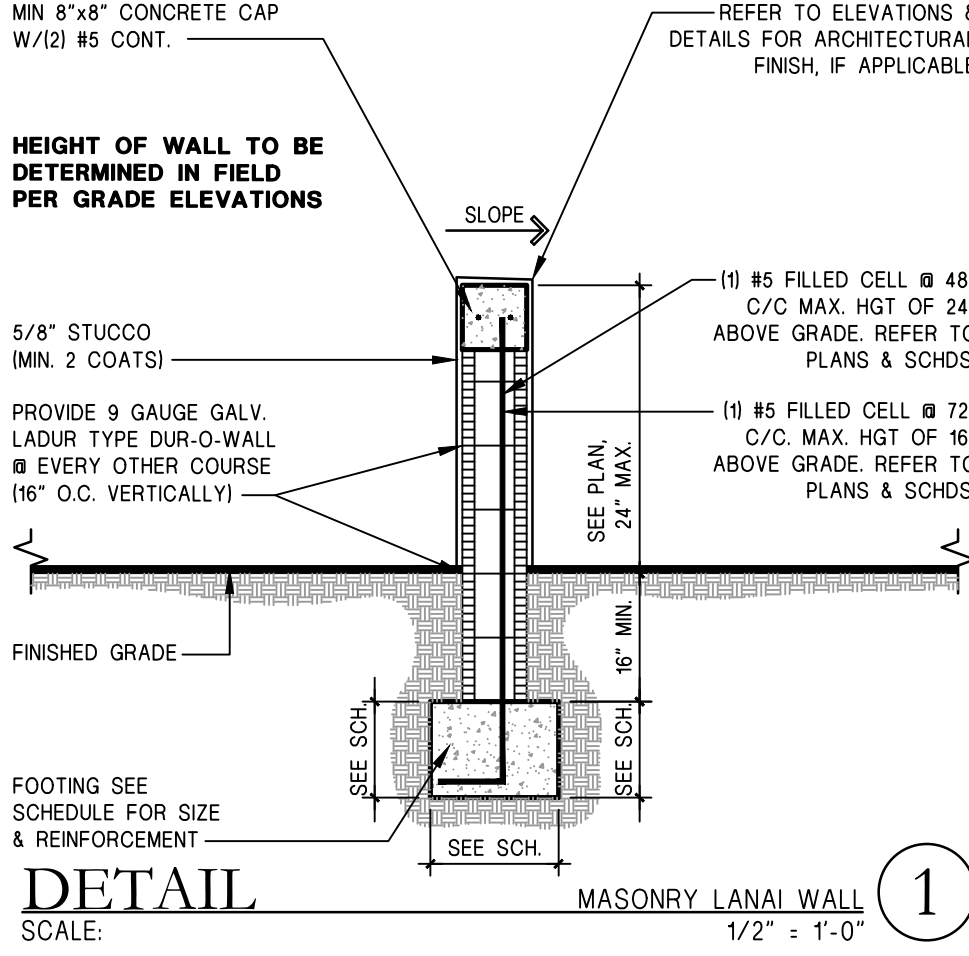
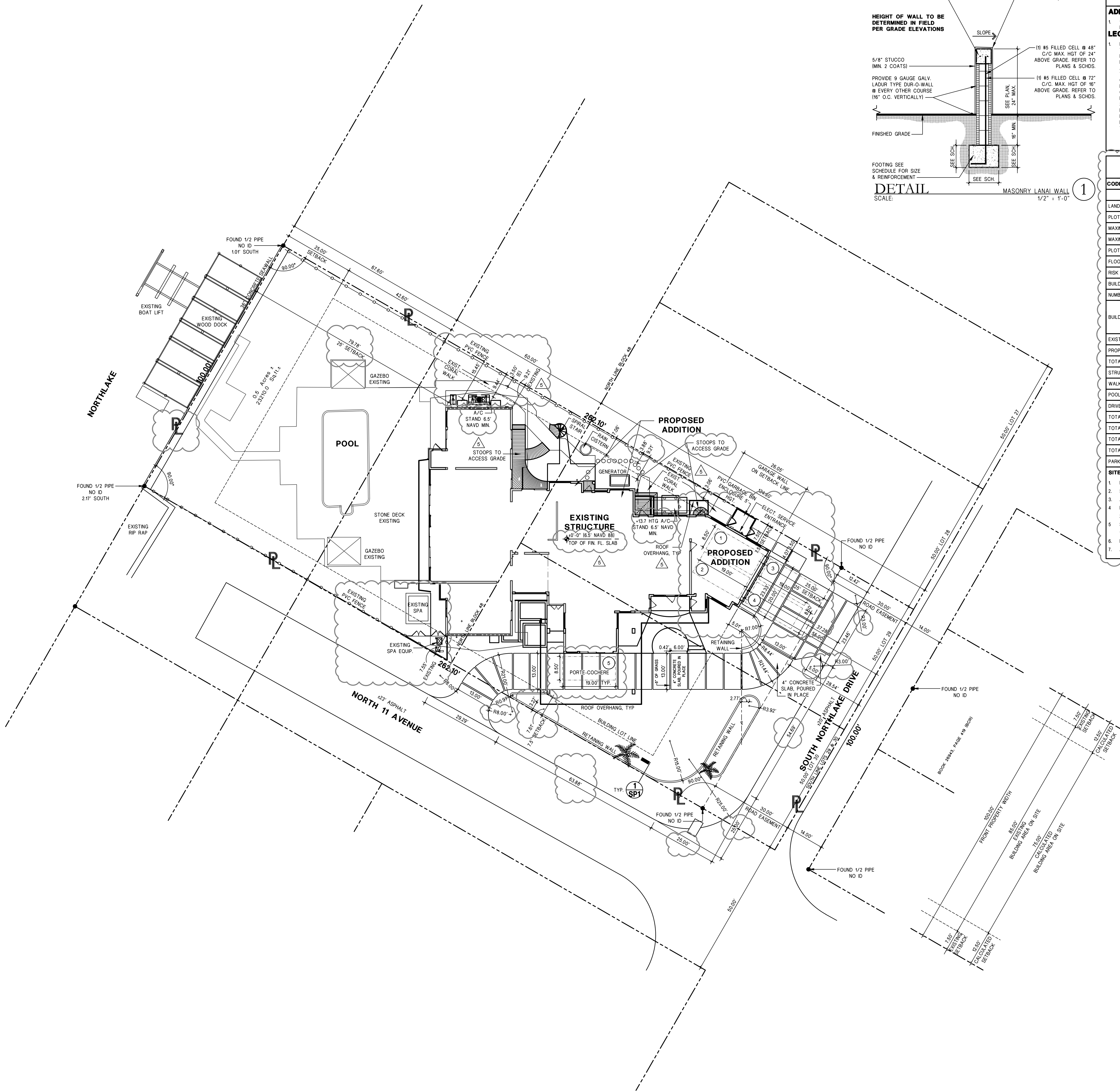


ADJACENT PROPERTY TO THE EAST OF SUBJECT PROPERTY

A CUSTOMER RESIDENCE
 HOME OWNER
 CARIASO & VEITENHEIMER
 1051 SOUTH NORTHLAKE DRIVE
 LOT #29 & 30, BLOCK 48
 HOLLYWOOD,
 BROWARD COUNTY,
 HOLLYWOOD LAKES SECTION,
 FLORIDA
 F-01

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

Designed by: DANIEL CARROLL
Drawn by: HBA
Checked by: hba
Date: AUGUST 12, 2020
Scale: 1/4" = 1'-0"
Project #: 19056
Sheet



SITE NOTES

ADDRESS:
1051 SOUTH NORTHLAKE DRIVE
HOLLYWOOD, FLORIDA 33009

LEGAL DESCRIPTION:
1. LOT 29 AND 30, BLOCK 48, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SUBJECT TO AN EASEMENT FOR HIGHWAY AND STREET PURPOSES OVER AND ACROSS THE SOUTH 30 FEET OF SAID LOTS 29 AND 30, ALSO, ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS BEING A PART OF TAYLOR STREET AND A PART OF BLOCK 70, HOLLYWOOD LAKES SECTION, BOUNDED ON THE SOUTH BY THE NORTH LINE OF LOTS 29 AND 30 IN BLOCK 48 OF HOLLYWOOD LAKES SECTION, IN THE NORTH BY BLOCK 71, OTHERWISE DESCRIBED AS NORTH LAKE OF SAID SUBDIVISION, ON THE EAST BY THE EAST LINE OF LOT 29 IN BLOCK 48, EXTENDED IN A NORTHERLY DIRECTION AND ON THE WEST BY THE WEST LINE OF LOT 30, IN BLOCK 48, EXTENDED IN A NORTHERLY DIRECTION, AS SHOWN ON THE PLAT OF HOLLYWOOD LAKES SECTION RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING ALL THAT PARCEL OF LAND BEING NORTH OF LOTS 29 AND 30, IN BLOCK 48, OF HOLLYWOOD LAKES SECTION, EXTENDING TO THE NORTH LAKE IN SAID SUBDIVISION.

SITE DESIGN DATA

CODES: HOLLYWOOD LAND DEVELOPMENT CODE		
DESIGN CRITERIA	CODE	PROPOSED
LAND USE CLASSIFICATION	RS-9	RS-9
PLOT SIZE	IS.F. 15,000.0	23,086.3
MAXIMUM COVERAGE	IS.F. NR.	7,012.0
MAXIMUM COVERAGE PERCENTAGE	NR.	30.37%
PLOT DIM. (WIDTH/DEPTH FRONT)	75	100
FLOOD ZONE / AE / VE	NAVD 88 (2)	6
RISK CATEGORY	II	II
BUILDING HEIGHT - MAXIMUM	35'	28'-6"
NUMBER OF STORES	NR.	2
BUILDING SETBACKS	FRONT - EXISTING	FT. 25
	SIDES - EXISTING	FT. 7.5
	REAR - EXISTING	FT. 25
EXISTING LIVING - A/C	(6)	NR. 4,876
PROPOSED 1ST & 2ND FLOOR - NEW A/C	(6)	NR. 1,642
TOTAL LIVING A/C AREA	(6)	NR. 6,518
STRUCTURE - FOOTPRINT COVERING GRD	IS.F.	NR. 7,012.0
WALKS / DOCK - EXISTING	IS.F.	NR. 880.3
POOL, PATIO & GAZEBO - EXISTING	IS.F.	NR. 3,849.0
DRIVES / APRON	IS.F.	NR. 15,366.5
TOTAL IMPERVIOUS AREA (IPI)	IS.F.	NR. 13,277.8
TOTAL IMPERVIOUS AREA PERCENTAGE	NR.	57.51%
TOTAL PERVIOUS AREA (PI)	IS.F.	NR. 9,808.5
TOTAL PERVIOUS AREA PERCENTAGE	NR.	42.49%
PARKING CALCULATION	(3)	5

- SITE DESIGN DATA NOTES:**
- NR. INDICATES NO REQUIREMENT
 - SUPPLIED BY SURVEYOR R. MINGUELL, INC. LAND SURVEYORS
 - ART. 7.2 OFF-STREET PARKING REQUIREMENT - NOT TO EXCEED 5
 - FRONT SETBACK CALCULATION IS 25 PERCENT OF FRONT PROPERTY DIMENSION
25' IS 25 PERCENT OF 100'
 - SIDE SETBACKS ARE 50 PERCENT OF FRONT SETBACK.
12.5' IS 50 PERCENT OF 25'
 - REFER TO AREA CALCULATIONS ON SHEET T
 - ALL ACCUS SHALL MEET MIN. REQ'D NAVD 88 FLOOR ELEVATION.



CIVIL: SITE PLAN

HOMES BY ARCHITECTNIC, INC.
AA26002832

CARIASO & VEITENHEIMER

A CUSTOM RESIDENCE
HOME OWNER
LOT #29 & 30, BLOCK 48
HOLLYWOOD, FLORIDA

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 765-0690

Designed by: DANIEL CARROLL
Drawn by: HBA
Checked by: NBR
Date: AUGUST 12, 2020
Scale: 1/16" = 1'-0"
Project #: 0909
Sheet

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of

REVISIONS:
DATE REVISIONS BY
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399. 01/21/2022 J. H. JOHNSON
400. 01/21/2022 J. H. JOHNSON
401. 01/21/2022 J. H. JOHNSON
402. 01/21/2022

SITE NOTES

ADDRESS:
1. 1051 SOUTH NORTHLAKE DRIVE
HOLLYWOOD, FLORIDA 33099

LEGAL DESCRIPTION:
1. LOT 29 AND 30, BLOCK 48, HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SUBJECT TO AN EASEMENT FOR HIGHWAY AND STREET PURPOSES OVER AND ACROSS THE SOUTH 30 FEET OF SAID LOTS 29 AND 30, ALSO, ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS: BEING A PART OF TAYLOR STREET AND A PART OF BLOCK 70, HOLLYWOOD LAKES SECTION, BOUNDED ON THE SOUTH BY THE NORTH LINE OF LOTS 29 AND 30 IN BLOCK 48 OF HOLLYWOOD LAKES SECTION, IN THE NORTH BY BLOCK 71, OTHERWISE DESCRIBED AS NORTH LAKE OF SAID SUBDIVISION, ON THE EAST BY THE EAST LINE OF LOT 29 IN BLOCK 48, EXTENDED IN A NORTHERLY DIRECTION AND ON THE WEST BY THE WEST LINE OF LOT 30, IN BLOCK 48, EXTENDED IN A NORTHERLY DIRECTION, AS SHOWN ON THE PLAT OF HOLLYWOOD LAKES SECTION RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING ALL THAT PARCEL OF LAND BEING NORTH OF LOTS 29 AND 30, IN BLOCK 48, OF HOLLYWOOD LAKES SECTION, EXTENDING TO THE NORTH LAKE IN SAID SUBDIVISION.

SITE DESIGN DATA

CODES: HOLLYWOOD LAND DEVELOPMENT CODE			
DESIGN CRITERIA		CODE	PROPOSED
LAND USE CLASSIFICATION		RS-9	RS-9
PLOT SIZE		IS.F. 15,000.0	23,086.3
MAXIMUM COVERAGE		IS.F. N.R.	7,012.0
MAXIMUM COVERAGE PERCENTAGE		N.R.	30.37%
PLOT DIM. (WIDTH/DEPTH FRONT)		75	100
FLOOD ZONE - AE/ VE		NAVD 88	6
RISK CATEGORY		II	II
BUILDING HEIGHT - MAXIMUM		35'	28'-6"
NUMBER OF STORES		N.R.	2
BUILDING SETBACKS	FRONT - EXISTING	FT. 25	25
	SIDES - EXISTING	FT. 7.5	7.5
	REAR - EXISTING	FT. 25	79.78
EXISTING LIVING - A/C		IS.F. N.R.	4,878
PROPOSED 1ST & 2ND FLOOR - NEW A/C		IS.F. N.R.	1,642
TOTAL LIVING A/C AREA		IS.F. N.R.	6,518
STRUCTURE - FOOTPRINT COVERING GRD		IS.F. N.R.	7,012.0
WALKS / DOCK - EXISTING		IS.F. N.R.	880.3
POOL, PATIO & GAZEBO - EXISTING		IS.F. N.R.	3,849.0
DRIVES / APRON		IS.F. N.R.	1,536.5
TOTAL IMPERVIOUS AREA IPI		IS.F. N.R.	13,277.8
TOTAL IMPERVIOUS AREA PERCENTAGE		N.R.	57.51%
TOTAL PERVIOUS AREA IPI		IS.F. N.R.	9,808.5
TOTAL PERVIOUS AREA PERCENTAGE		N.R.	42.43%
PARKING CALCULATION		IS. 5	5

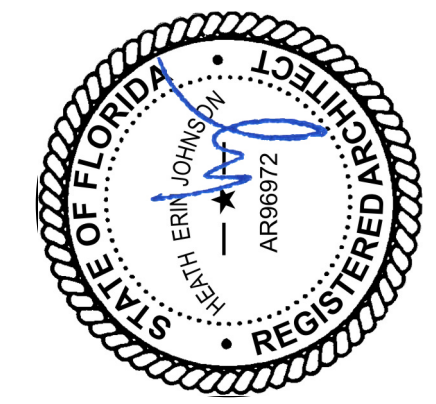
SITE DESIGN DATA NOTES:
1. N.R. INDICATES NO REQUIREMENT
2. SUPPLIED BY SURVEYOR R. MINGUELL, INC. LAND SURVEYORS
3. ART. 7.2 OFF-STREET PARKING REQUIREMENT - NOT TO EXCEED 5
4. FRONT SETBACK CALCULATION IS 25 PERCENT OF FRONT PROPERTY DIMENSION.
25' IS 25 PERCENT OF 100'.
5. SIDE SETBACKS ARE 50 PERCENT OF FRONT SETBACK.
15.5' IS 50 PERCENT OF 25'
6. REFER TO AREA CALCULATIONS ON SHEET T
7. ALL ACQU'S SHALL MEET MIN. REQ'D NAVD 88 FLOOR ELEVATION.

NEW VS EXISTING

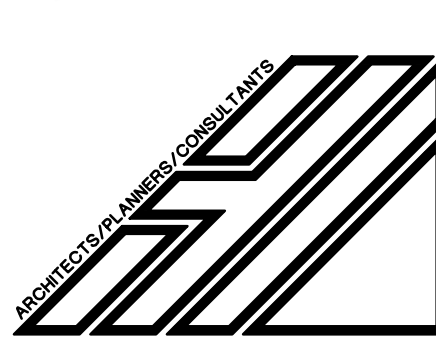
SYMBOL	DESCRIPTION
	NEW DRIVE WAY AND WALKS.
	NEW TWO STORY ADDITION (LIVING)
	NEW ONE STORY ADDITION (GARAGE)
	EXISTING FOUNTAIN TO REMAIN.
	NEW PATIOS & BALCONY

REVISIONS:	
DATE	DESCRIPTION
11/01/2019	1. PREPARED BY: J. JOHNSON
11/01/2019	2. CHECKED BY: J. JOHNSON
11/01/2019	3. APPROVED BY: J. JOHNSON
11/01/2019	4. APPROVED BY: J. JOHNSON
11/01/2019	5. APPROVED BY: J. JOHNSON

5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



FORM-LIGHT
REGISTERED PROFESSIONAL ARCHITECT
11111 N. W. 11th Avenue, Suite 100
Fort Myers, FL 33919



ALL THESE NOTES ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S OBLIGATION IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE PLANS. THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT OR THE RESULTS OF THE DESIGN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE PAID FOR THE SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE PAID FOR THE SERVICES.

FOR
HOMES BY ARCHITECT, INC.
AA26002832

VEITENHEIMER
HOLLYWOOD LAKES SECTION
FLORIDA

CARASO
LOT #29 & 30, BLOCK 48
HOLLYWOOD,

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 765-0690

Designed by: DANIEL CARROLL
Checked by: HBA
Date: AUGUST 12, 2020
Scale: 1/16" = 1'-0"
Project #: 19056
Sheet

SP2
of
59

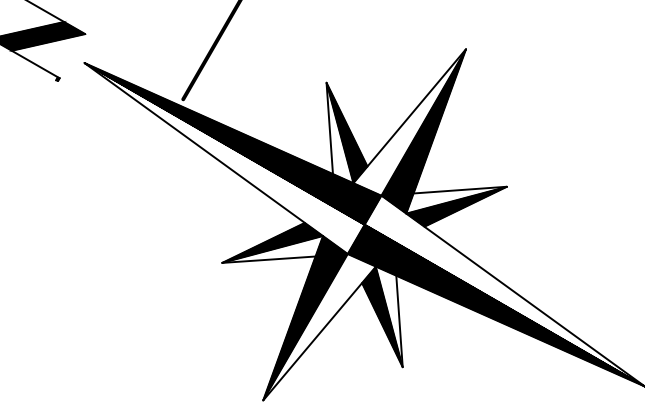
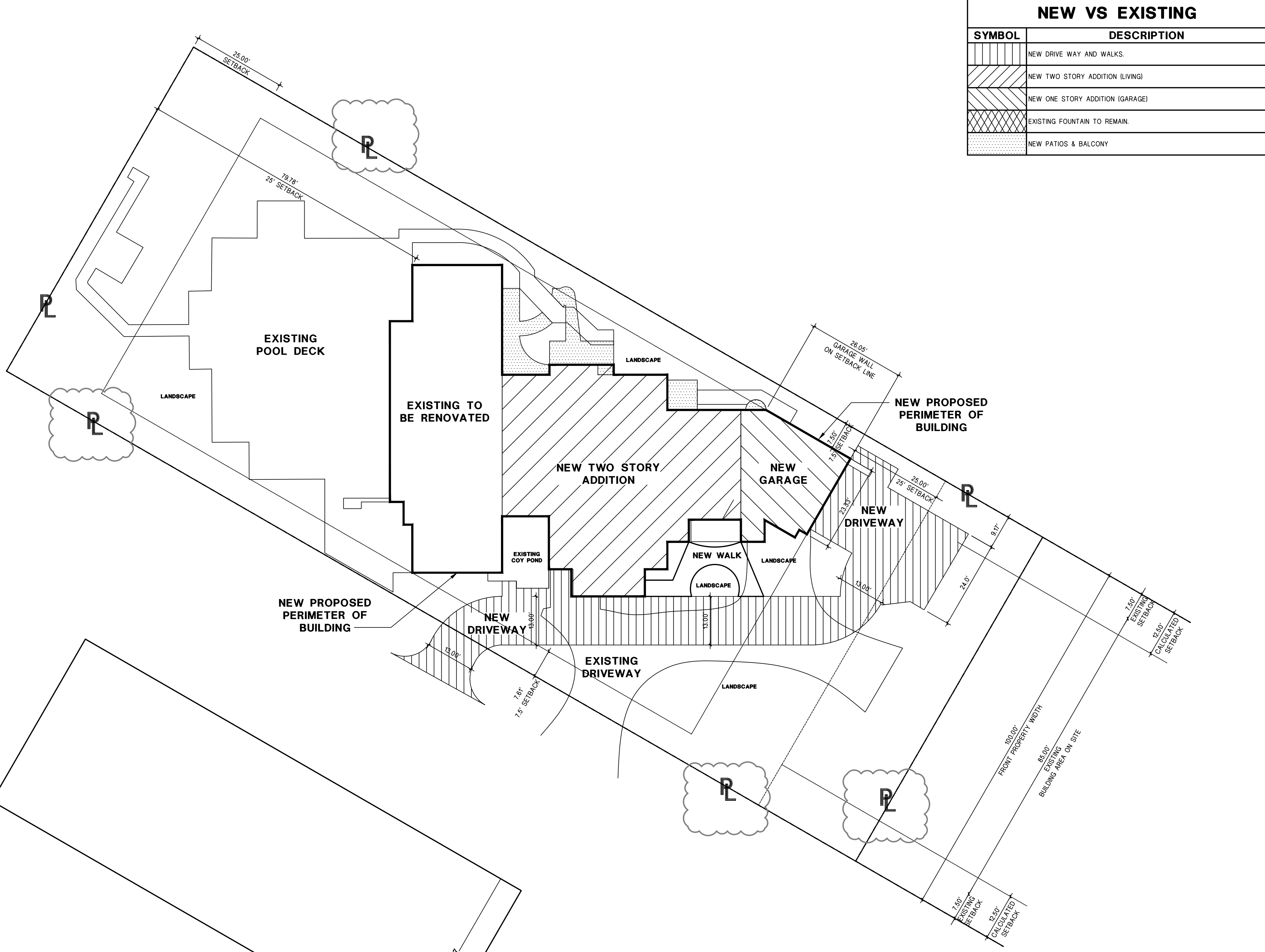
CIVIL: NEW VS EXISTING SITE

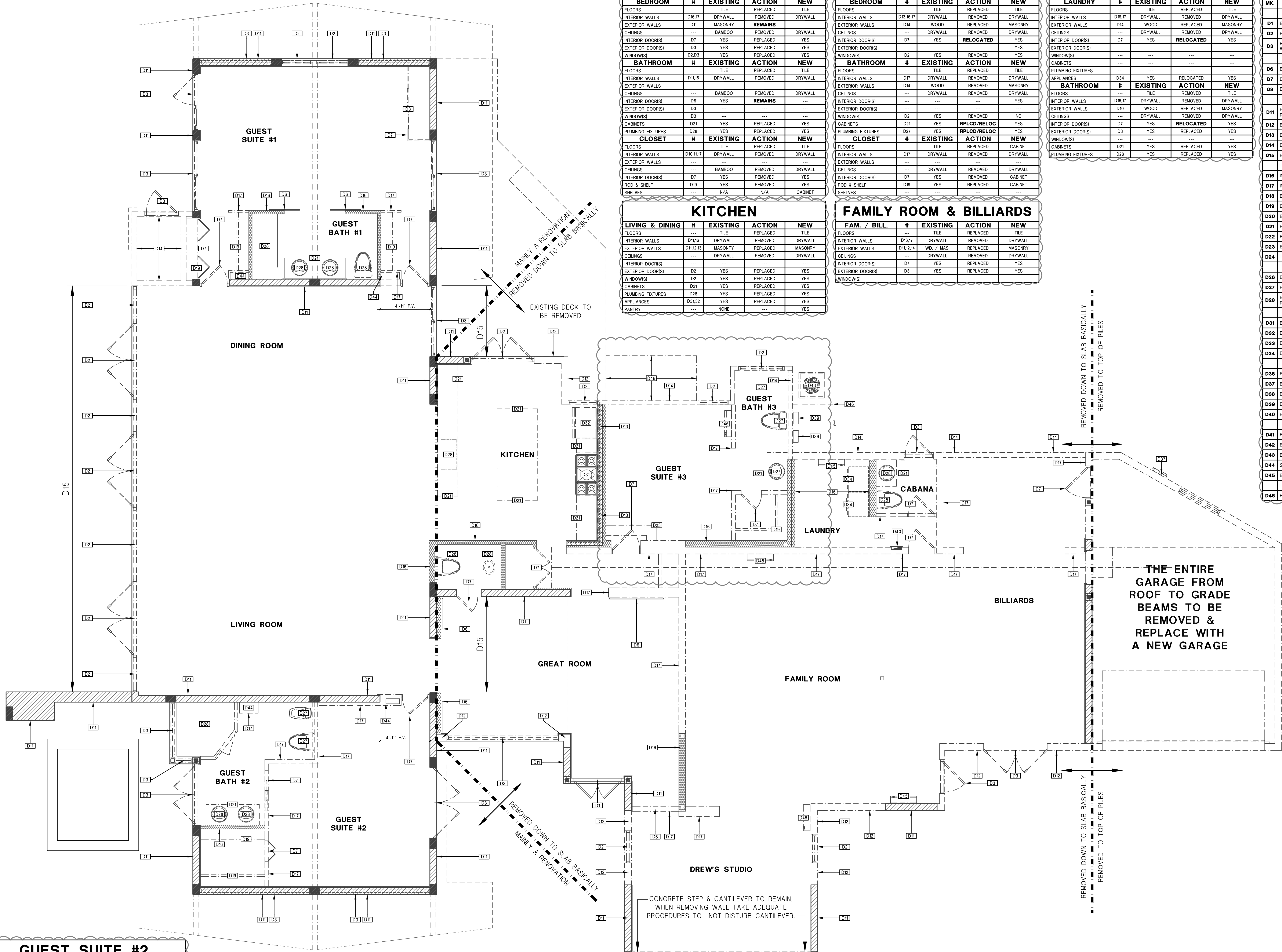
HOMES BY ARCHITECT, INC.
AA26002832

A CUSTOM RESIDENCE
HOME OWNER
CARASO
LOT #29 & 30, BLOCK 48
HOLLYWOOD,

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 765-0690

SP2
of
59





GUEST SUITE #1				
BEDROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D16.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11	MASONRY	REMAINS	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	D2.3	YES	REMOVED	YES
BATHROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D11.6	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	---	---	---	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D6	YES	REMOVED	YES
EXTERIOR DOOR(S)	D3	---	REMAINS	---
WINDOWS	D3	---	---	---
CABINETS	D21	YES	REPLACED	YES
PLUMBING FIXTURES	D28	YES	REPLACED	YES
CLOSET	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D10.11.7	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	---	---	---	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D7	YES	REMOVED	YES
ROD & SHELF	D19	YES	REMOVED	YES
SHELVES	---	N/A	N/A	CABINET

GUEST SUITE #3				
BEDROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D15.16.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D14	WOOD	REPLACED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	RELOCATED	YES
EXTERIOR DOOR(S)	---	---	---	---
WINDOWS	D2	YES	REMOVED	YES
BATHROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D14	WOOD	REMOVED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	---	---	---	---
EXTERIOR DOOR(S)	---	---	---	---
WINDOWS	D2	YES	REMOVED	NO
CABINETS	D21	YES	RPLCD/RELOC	YES
PLUMBING FIXTURES	D27	YES	RPLCD/RELOC	YES
CLOSET	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	CABINET
INTERIOR WALLS	D17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	---	---	---	---
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	REMOVED	CABINET
ROD & SHELF	D19	YES	REPLACED	CABINET
SHELVES	---	---	---	---

LAUNDRY / CABANA				
LAUNDRY	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REPLACED	TILE
INTERIOR WALLS	D16.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D14	WOOD	REPLACED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	RELOCATED	YES
EXTERIOR DOOR(S)	---	---	---	---
WINDOWS	---	---	---	---
CABINETS	---	---	---	---
PLUMBING FIXTURES	---	---	---	---
APPLIANCES	D34	YES	RELOCATED	YES
BATHROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D16.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D10	WOOD	REPLACED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	RELOCATED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	---	---	---	---
PLUMBING FIXTURES	D28	YES	REPLACED	YES

DEMOLITION PLAN NOTES	
MARK	DESCRIPTION
EXTERIOR DOORS & WINDOWS	
D1	EXISTING DOOR / WINDOW TO REMAIN.
D2	EXISTING DOOR / WINDOW TO BE REMOVED.
D3	REMOVE EXISTING DOOR / WINDOW, TO BE REPLACED W/ NEW IMPACT DOOR / WINDOW REFER TO PLANS FOR NEW EXTERIOR OPENING DESIGNATION.
INTERIOR DOORS	
D6	EXISTING DOOR TO REMAIN - REFER TO FLOOR PLAN FOR RELOCATION.
D7	EXISTING DOOR TO BE REMOVED.
D8	EXISTING DOOR TO BE REPLACED, REFER TO INTERIOR DOOR SCHEDULE.
EXTERIOR WALLS	
D11	EXISTING MASONRY WALL TO REMAIN, REFER TO STRUCTURAL PLANS FOR ANY REQUIRED ADDITIONAL FILLED CELLS AND/OR POURED COLUMNS.
D12	EXISTING MASONRY WALL TO BE REMOVED.
D13	EXISTING SHEAR WALL TO REMAIN.
D14	EXISTING SHEAR WALL TO BE REMOVED, (BEARING WALL)
D15	EXISTING GUELMAN BEAM TO BE REMOVED.
INTERIOR WALLS & ACCESSORIES	
D16	INTERIOR NON-BEARING PARTITION TO REMAIN.
D17	INTERIOR NON-BEARING PARTITION TO BE REMOVED.
D18	EXISTING ROD AND/OR SHELVING TO REMAIN.
D19	EXISTING ROD AND/OR SHELVING TO BE REMOVED.
D20	EXISTING CABINETS TO REMAIN.
D21	EXISTING CABINETS TO BE REMOVED.
D22	EXISTING STEPS TO REMAIN.
D23	EXISTING STEPS TO BE REMOVED, (ABANDONED)
D24	---
PLUMBING	
D26	EXISTING PLUMBING FIXTURES TO REMAIN.
D27	EXISTING PLUMBING FIXTURES TO BE REMOVED.
D28	EXISTING PLUMBING FIXTURES TO BE REMOVED & REPLACED WITH NEW. DRAINS TO REMAIN UNCHANGED, PROVIDE NEW VALVES.
APPLIANCE & EQUIPMENT	
D31	EXISTING APPLIANCE TO REMAIN (KITCHEN)
D32	EXISTING APPLIANCE TO BE REMOVED (KITCHEN)
D33	EXISTING WASHER/DRYER TO REMAIN (LAUNDRY)
D34	EXISTING WASHER/DRYER TO BE REMOVED (LAUNDRY)
ELECTRICAL	
D36	EXISTING ELECTRICAL PANEL TO REMAIN.
D37	EXISTING ELECTRICAL PANEL TO BE RELOCATED.
D38	EXISTING WATER HEATER TO REMAIN, (TANK/TANKLESS)
D39	EXISTING WATER HEATER TO BE RELOCATED, (TANK/TANKLESS)
D40	ELECTRICAL PANEL TO BE RELOCATED.
MECHANICAL	
D41	EXISTING AHU/ACCU TO REMAIN.
D42	EXISTING AHU/ACCU TO BE REMOVED.
D43	EXISTING ACCU OTG TO BE RELOCATED.
D44	SUPPLY DUCT TO BE RELOCATED - REFER TO FLOOR PLAN.
D45	EXISTING MINI SPLIT(S) TO BE REMOVED.
MISC.	
D46	EXISTING FRAME ENCLOSURE & DOORS TO BE REMOVED.

KITCHEN				
LIVING & DINING	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	TILE
INTERIOR WALLS	D11.6	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11.12.13	MASONRY	REPLACED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	---	---	---	---
EXTERIOR DOOR(S)	D2	YES	REPLACED	YES
WINDOWS	D2	YES	REPLACED	YES
CABINETS	D21	YES	REPLACED	YES
PLUMBING FIXTURES	D28	YES	REPLACED	YES
APPLIANCES	D31.32	YES	REPLACED	YES
PANTRY	---	NONE	---	YES

FAMILY ROOM & BILLIARDS				
FAM. / BILL.	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	TILE
INTERIOR WALLS	D16.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11.12.14	WD. / MAS.	REPLACED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	---	---	---	---

GUEST SUITE #3				
BEDROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D15.16.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D14	WOOD	REPLACED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	RELOCATED	YES
EXTERIOR DOOR(S)	---	---	---	---
WINDOWS	D2	YES	REMOVED	YES
CABINETS	D21	YES	RPLCD/RELOC	YES
PLUMBING FIXTURES	D27	YES	RPLCD/RELOC	YES
CLOSET	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	CABINET
INTERIOR WALLS	D17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	---	---	---	---
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	REMOVED	CABINET
ROD & SHELF	D19	YES	REPLACED	CABINET
SHELVES	---	---	---	---

FAMILY ROOM & BILLIARDS				
FAM. / BILL.	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	TILE
INTERIOR WALLS	D16.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11.12.14	WD. / MAS.	REPLACED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	---	---	---	---

GUEST SUITE #2				
BEDROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D16.17	DRYWALL	RPLCD/RELOC	DRYWALL
EXTERIOR WALLS	D11	MASONRY	REMAINS	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	D3	YES	REMOVED	YES
BATHROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D16.17	DRYWALL	RPLCD/RELOC	DRYWALL
EXTERIOR WALLS	D11	MASONRY	REMAINS	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	D3	YES	REMOVED	YES
CABINETS	D21	YES	REPLACED	YES
PLUMBING FIXTURES	D27.28	YES	RPLCD/RELOC	YES
CLOSET	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D16.17	DRYWALL	RPLCD/RELOC	DRYWALL
EXTERIOR WALLS	D11	MASONRY	REMAINS	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	D3	YES	REMOVED	YES
CABINETS	---	---	---	---

GUEST SUITE #2				
BEDROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D16.17	DRYWALL	RPLCD/RELOC	DRYWALL
EXTERIOR WALLS	D11	MASONRY	REMAINS	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	D3	YES	REMOVED	YES
CABINETS	D21	YES	REPLACED	YES
PLUMBING FIXTURES	D27.28	YES	RPLCD/RELOC	YES
CLOSET	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D16.17	DRYWALL	RPLCD/RELOC	DRYWALL
EXTERIOR WALLS	D11	MASONRY	REMAINS	---
CEILINGS	---	BAMBOO	REMOVED	DRYWALL
INTERIOR DOOR(S)	D7	YES	REPLACED	YES
EXTERIOR DOOR(S)	D3	YES	REPLACED	YES
WINDOWS	D3	YES	REMOVED	YES
CABINETS	---	---	---	---

GREAT ROOM				
GREAT ROOM	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D11.6.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D15	GLASS	REPLACED	GLASS
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	SEE SCHEDULES FOR GUEST SUITES	---	---
EXTERIOR DOOR(S)	D1	YES	REPLACED	YES
WINDOWS	D3	YES	REPLACED	YES

DREW'S STUDIO				
DREW'S STUDIO	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D11.6.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11.12	MASONRY	REMOVED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D6	YES	REMOVED	YES
EXTERIOR DOOR(S)	D1	YES	REMAINS	---
WINDOWS	D3	YES	REPLACED	YES

LIVING & DINING				
LIVING & DINING	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	TILE
INTERIOR WALLS	D11.6	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D15	GLASS	REPLACED	GLASS
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	SEE SCHEDULES FOR GUEST SUITES	---	---
EXTERIOR DOOR(S)	D1	YES	REPLACED	YES
WINDOWS	D3	YES	REPLACED	YES

DREW'S STUDIO				
DREW'S STUDIO	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D11.6.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11.12	MASONRY	REMOVED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D6	YES	REMOVED	YES
EXTERIOR DOOR(S)	D1	YES	REMAINS	---
WINDOWS	D3	YES	REPLACED	YES

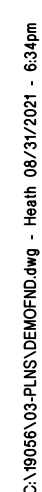
LIVING & DINING				
LIVING & DINING	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	TILE
INTERIOR WALLS	D11.6	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D15	GLASS	REPLACED	GLASS
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	SEE SCHEDULES FOR GUEST SUITES	---	---
EXTERIOR DOOR(S)	D1	YES	REPLACED	YES
WINDOWS	D3	YES	REPLACED	YES

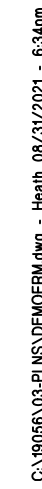
DREW'S STUDIO				
DREW'S STUDIO	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D11.6.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11.12	MASONRY	REMOVED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D6	YES	REMOVED	YES
EXTERIOR DOOR(S)	D1	YES	REMAINS	---
WINDOWS	D3	YES	REPLACED	YES

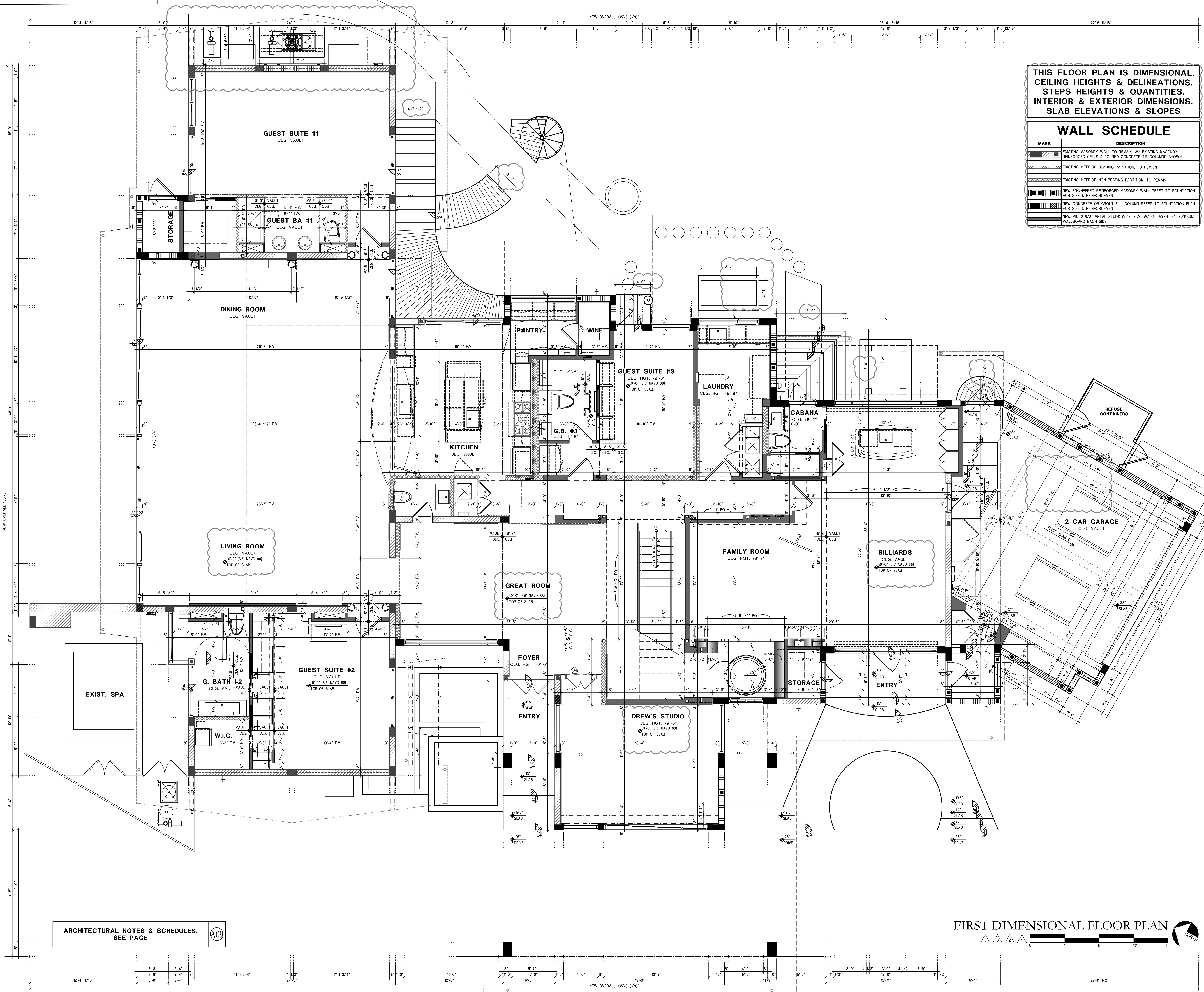
LIVING & DINING				
LIVING & DINING	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	TILE
INTERIOR WALLS	D11.6	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D15	GLASS	REPLACED	GLASS
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	SEE SCHEDULES FOR GUEST SUITES	---	---
EXTERIOR DOOR(S)	D1	YES	REPLACED	YES
WINDOWS	D3	YES	REPLACED	YES

DREW'S STUDIO				
DREW'S STUDIO	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	DRYWALL
INTERIOR WALLS	D11.6.17	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D11.12	MASONRY	REMOVED	MASONRY
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D6	YES	REMOVED	YES
EXTERIOR DOOR(S)	D1	YES	REMAINS	---
WINDOWS	D3	YES	REPLACED	YES

LIVING & DINING				
LIVING & DINING	#	EXISTING	ACTION	NEW
FLOORS	---	TILE	REMOVED	TILE
INTERIOR WALLS	D11.6	DRYWALL	REMOVED	DRYWALL
EXTERIOR WALLS	D15	GLASS	REPLACED	GLASS
CEILINGS	---	---	---	---
INTERIOR DOOR(S)	D7	SEE SCHEDULES FOR GUEST SUITES	---	---
EXTERIOR DOOR(S)	D1	YES	REPLACED	YES</







THIS FLOOR PLAN IS DIMENSIONAL. CEILING HEIGHTS & DELINEATIONS. STEPS HEIGHTS & QUANTITIES. INTERIOR & EXTERIOR DIMENSIONS. SLAB ELEVATIONS & SLOPES	
WALL SCHEDULE	
MARK	DESCRIPTION
[Symbol]	EXISTING MASONRY WALL TO REMAIN, W/ EXISTING MASONRY REINFORCED CELLS & POURED CONCRETE TIE COLUMNS SHOWN
[Symbol]	EXISTING INTERIOR BEARING PARTITION, TO REMAIN
[Symbol]	EXISTING INTERIOR NON BEARING PARTITION, TO REMAIN
[Symbol]	NEW ENGINEERED REINFORCED MASONRY WALL REFER TO FOUNDATION FOR SIZE & REINFORCEMENT
[Symbol]	NEW CONCRETE OR GROUT FILL COLUMN REFER TO FOUNDATION PLAN FOR SIZE & REINFORCEMENT
[Symbol]	NEW MIN. 3-5/8" METAL STUDS @ 24" C/C W/ (6 LAYER 1/2" GYPSUM WALLBOARD EACH SIDE

ARCHITECTURAL: FIRST DIMENSIONAL FLOOR PLAN

HOMES BY ARCHITECTNIC, INC.
AA26002832

A CUSTOM RESIDENCE
HOME OWNER

CARIASO & VEITENHEIMER

LOT #29 & 30, BLOCK 48
HOLLYWOOD, FL

FOR

FLORIDA

SECTION

HOLLYWOOD LAKES

5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33819
PHONE: (239) 246-8641

01/21/2022

REVISIONS:

1.01 01/21/2022

1.02 01/21/2022

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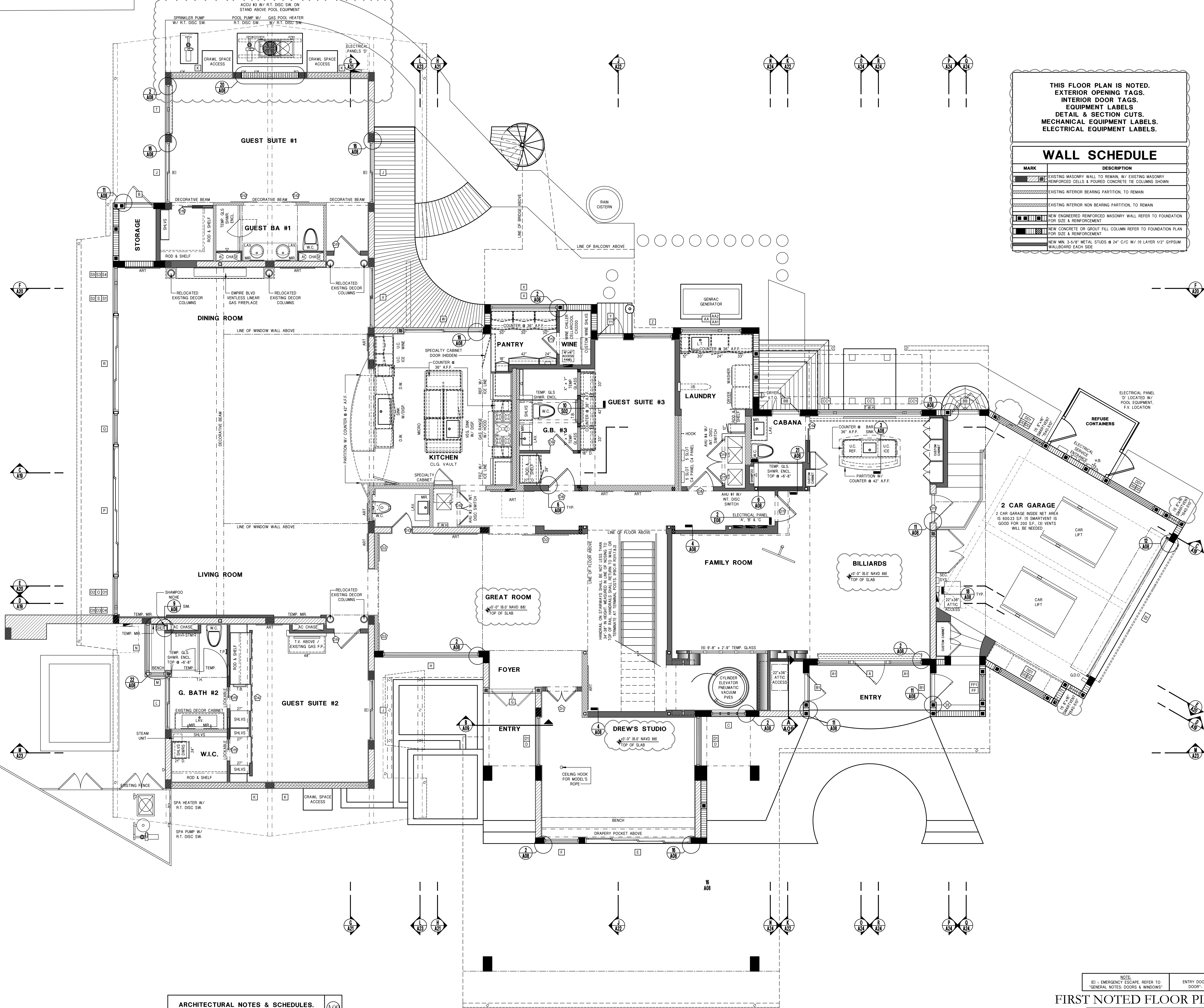
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THIS FLOOR PLAN IS NOTED. EXTERIOR OPENING TAGS. INTERIOR DOOR TAGS. EQUIPMENT LABELS DETAIL & SECTION CUTS. MECHANICAL EQUIPMENT LABELS. ELECTRICAL EQUIPMENT LABELS.	
WALL SCHEDULE	
MARK	DESCRIPTION
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[Symbol]	NEW MIN. 3-5/8" METAL STUDS @ 24" C/C W/ (1) LAYER 1/2" GYPSUM WALLBOARD EACH SIDE

Revisions:
1. 08/12/21 - BLDG DEPT. CHANGES - H.E.L.
2. 08/12/21 - CLIENT REVISIONS - H.E.L.
3. 08/12/21 - IMPR. ZONING COMMENTS - M.J.L.

ARCHITECTURAL : FIRST NOTED FLOOR PLAN

FOR

HOMES BY ARCHITECTNIC, INC.

AA26002832

CARIASO & VEITENHEIMER

1051 SOUTH NORTHLAKE DRIVE

LOT #29 & 30, BLOCK 48

HOLLYWOOD, FLORIDA 33076

DESIGNED BY: DANIEL CARROLL

DRAWN BY: HBA

CHECKED BY: HBA

DATE: AUGUST 12, 2020

SCALE: 1/4" = 1'-0"

PROJECT #: 19056

SHEET: A05

59

12189 NW 52nd COURT

CORAL SPRINGS, FLORIDA 33076

PHONE: (954) 765-0690

FORM-LIGHT

REGISTERED PROFESSIONAL ARCHITECT

5321 SUMMERLIN ROAD, SUITE 10

FORT MYERS, FLORIDA 33919

PHONE: (239) 246-8641

ARCHITECTURAL : FIRST NOTED FLOOR PLAN

FOR

HOMES BY ARCHITECTNIC, INC.

AA26002832

CARIASO & VEITENHEIMER

1051 SOUTH NORTHLAKE DRIVE

LOT #29 & 30, BLOCK 48

HOLLYWOOD, FLORIDA 33076

DESIGNED BY: DANIEL CARROLL

DRAWN BY: HBA

CHECKED BY: HBA

DATE: AUGUST 12, 2020

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SHEET: A05

59

12189 NW 52nd COURT

CORAL SPRINGS, FLORIDA 33076

PHONE: (954) 765-0690

FORM-LIGHT

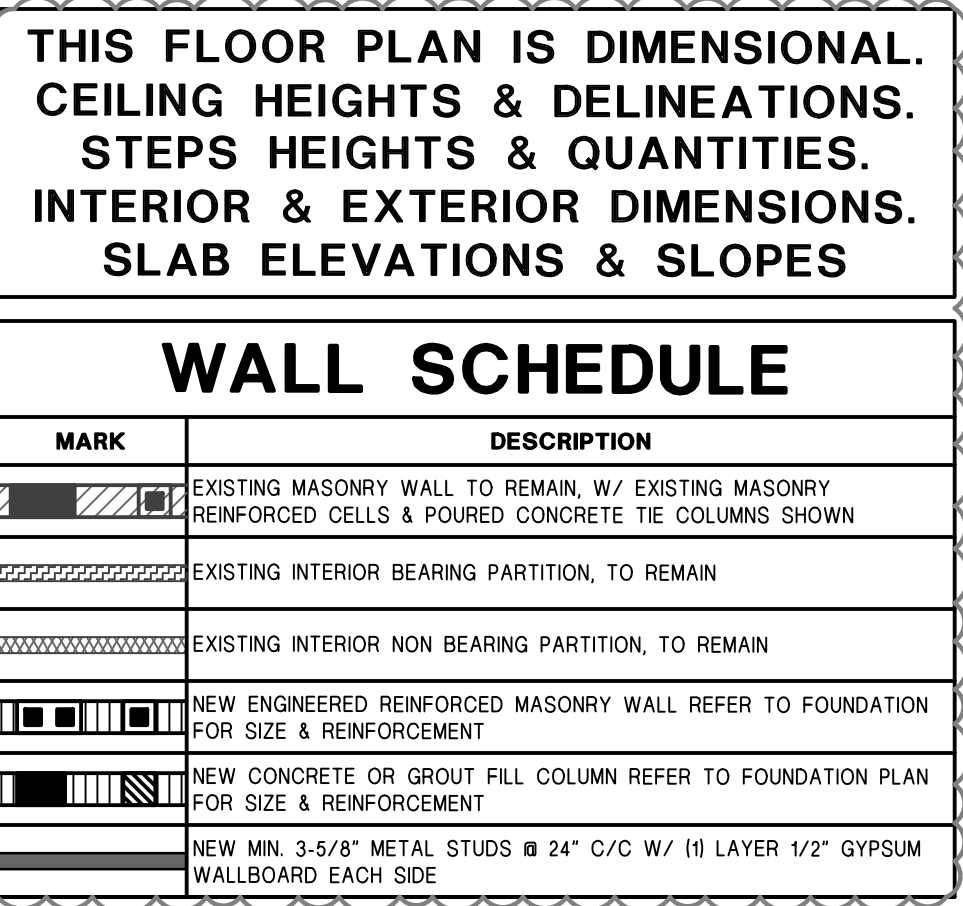
REGISTERED PROFESSIONAL ARCHITECT

5321 SUMMERLIN ROAD, SUITE 10







FORT MYERS, FLORIDA 33919

PHONE: (239) 246-8641

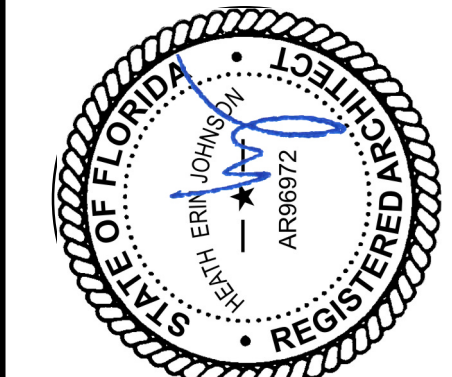
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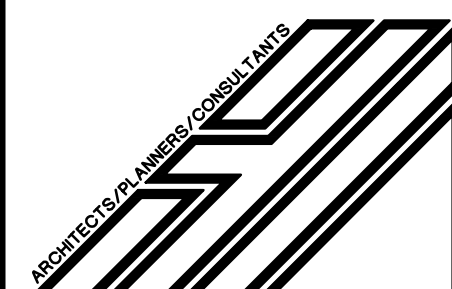
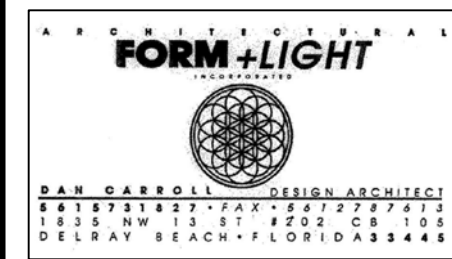
**THIS FLOOR PLAN IS DIMENSIONAL.
CEILING HEIGHTS & DELINEATIONS.
STEPS HEIGHTS & QUANTITIES.
INTERIOR & EXTERIOR DIMENSIONS.
SLAB ELEVATIONS & SLOPES**

WALL SCHEDULE	
MARK	DESCRIPTION
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	EXISTING INTERIOR BEARING PARTITION, TO REMAIN
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	NEW ENGINEERED REINFORCED MASONRY WALL REFER TO FOUNDATION FOR SIZE & REINFORCEMENT
	NEW CONCRETE OR GROUT FILL COLUMN REFER TO FOUNDATION PLAN FOR SIZE & REINFORCEMENT
	NEW 1/2" GYPSUM WALLBOARD EACH SIDE

THE	REVISIONS:	01-29-71	BLOG DEPT. CHANGES	HEJ.
EA	△			
RI	△			
TH	△			
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JOHNSON	△			
1966	△			
1967	△			
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5321 SUMMERLIN ROAD, SUITE 100
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8644



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FOR:

ARCHITECTNIC, INC.
AA26002832

VEITENHEIMER
1051 SOUTH NORTHLAKE DRIVE
HOLLYWOOD LAKES SECTION
FLORIDA
BROWARD COUNTY
33040

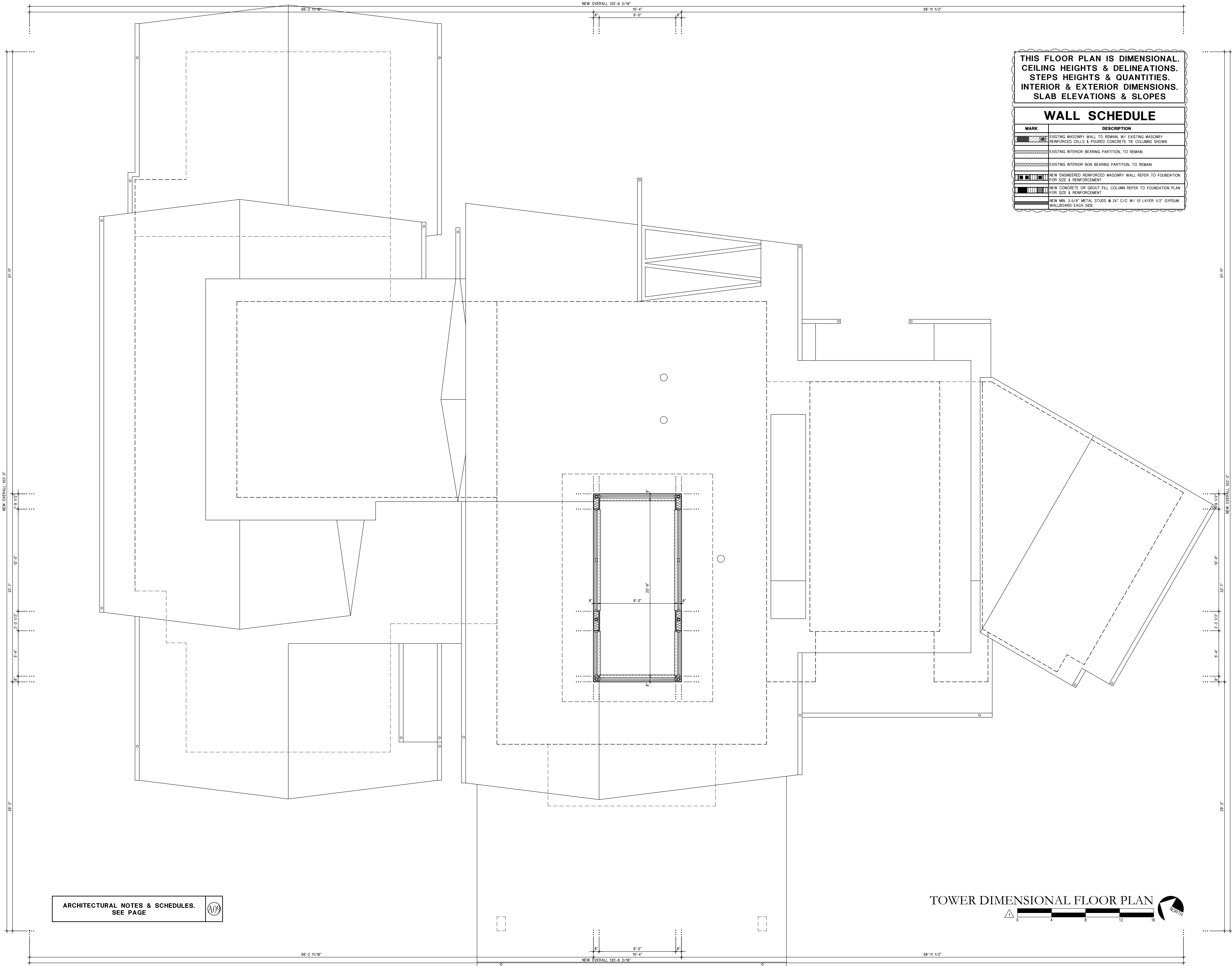
FOR:

HOMES BY
A CUSTOM RESIDENCE
HOME OWNER
CCARIASO
LOT #29 & 30, BLOCK 48
HOLLIVOOD

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33071
PHONE: (954) 755-0690

Designed by: DANIEL CARROLL
Drawn by: HB
Checked by: hb
Date: AUGUST 12, 2021
Scale: 1/4" = 1'-0"
Project #: 1905

Sheet **A03** of



THIS FLOOR PLAN IS DIMENSIONAL.
CEILING HEIGHTS & DELINEATIONS.
STEPS HEIGHTS & QUANTITIES.
INTERIOR & EXTERIOR DIMENSIONS.
SLAB ELEVATIONS & SLOPES

WALL SCHEDULE	
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ARCHITECTURAL NOTES & SCHEDULES.
SEE PAGE



TOWER DIMENSIONAL FLOOR PLAN



ARCHITECTURAL: TOWER DIMENSIONAL PLAN

HOMES BY ARCHITECNIC, INC.

AA26002832

A CUSTOM RESIDENCE
HOME OWNER

CARIASO

LOT #29 & 30, BLOCK 48
HOLLYWOOD,

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 765-0690

Designed by: DANIEL CARROLL

Drawn by: HBA

Checked by: NBR

Date: AUGUST 12, 2020

Scale: 1/4" = 1'-0"

Project #: 19056

Sheet

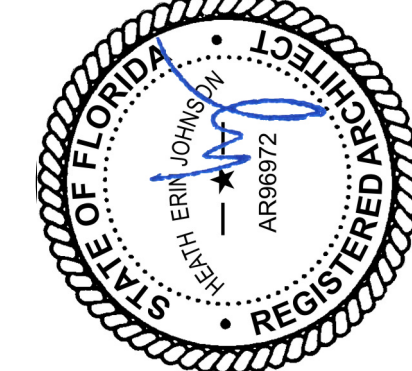
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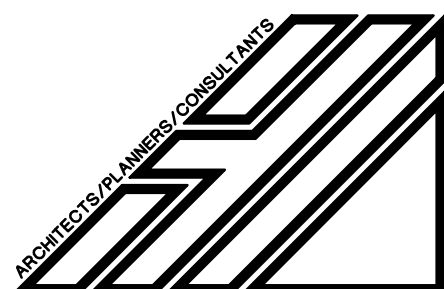
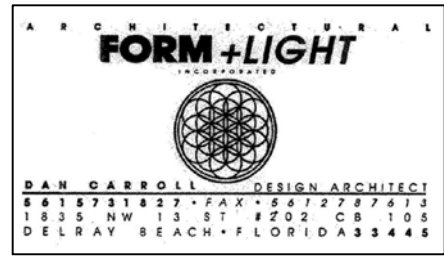
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Revisions:

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5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641



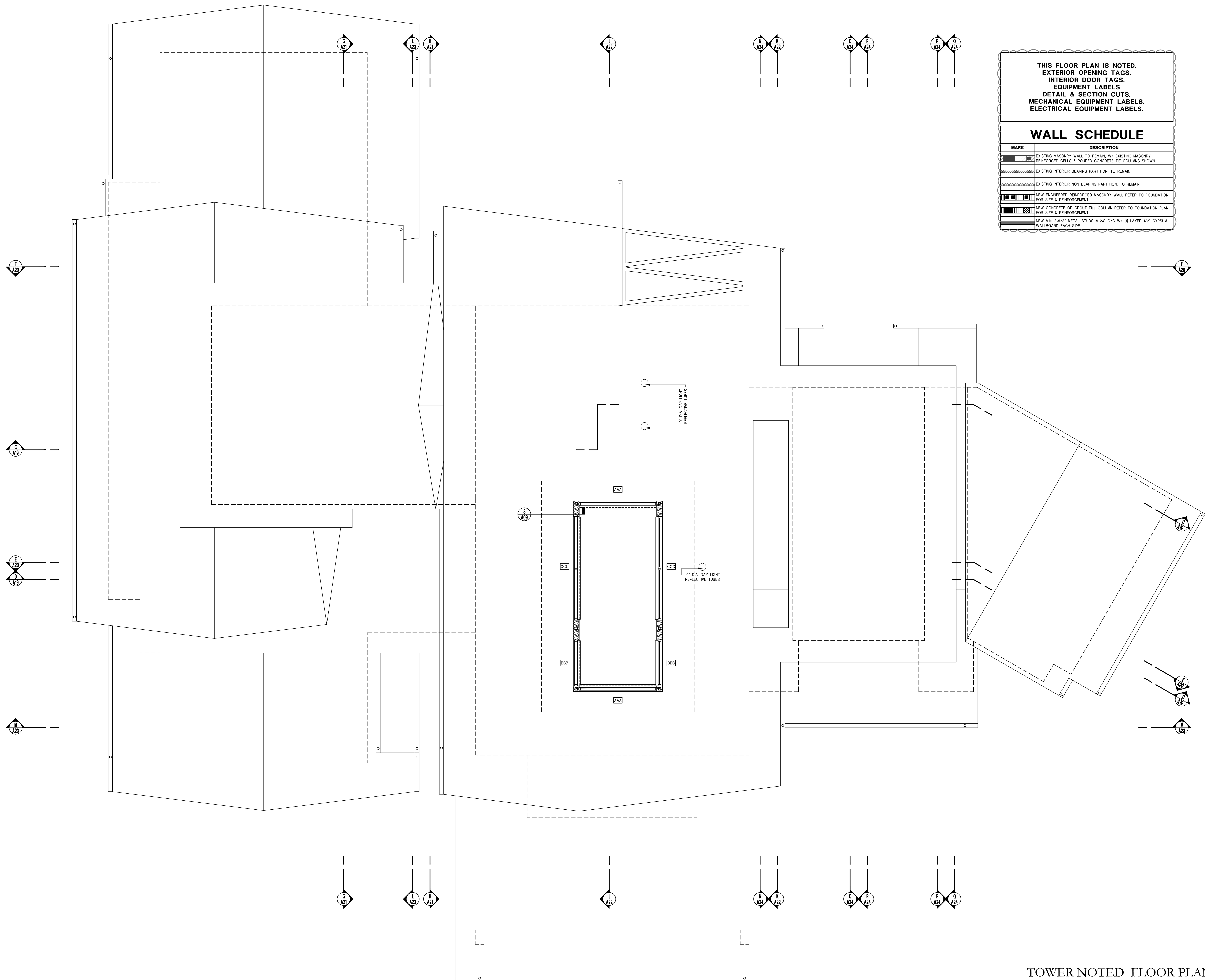
All these figures are approximate and should be used as a guide only. The actual construction of the building shall be in accordance with the approved plans and specifications. The architect shall not be responsible for the construction of the building. The architect shall not be responsible for the construction of the building. The architect shall not be responsible for the construction of the building.

FOR
HOMES BY ARCHITECNIC, INC.

VEITENHEIMER & ASSOCIATES, INC.

HOLLYWOOD LAKES SECTION
FLORIDA

1051 SOUTH NORTHLAKE DRIVE
BROWARD COUNTY,



TOWER NOTED FLOOR PLAN

<p>THIS FLOOR PLAN IS NOTED. EXTERIOR OPENING TAGS. INTERIOR DOOR TAGS. EQUIPMENT LABELS DETAIL & SECTION CUTS. MECHANICAL EQUIPMENT LABELS. ELECTRICAL EQUIPMENT LABELS.</p>	
<p>WALL SCHEDULE</p>	
MARK	DESCRIPTION
	EXISTING MASONRY WALL TO REMAIN, W/ EXISTING MASONRY REINFORCED COLUMNS & POURED CONCRETE THE COLUMNS SHOWN
	EXISTING INTERIOR BEARING PARTITION, TO REMAIN
	EXISTING INTERIOR NON BEARING PARTITION, TO REMAIN
	NEW ENGINEERED REINFORCED MASONRY WALL REFER TO FOUNDATION FOR SIZE & REINFORCEMENT
	NEW CONCRETE OR GROUT-FILL COLUMN REFER TO FOUNDATION PLAN FOR SIZE & REINFORCEMENT
	NEW MIN. 3-5/8" METAL STUDS @ 24" C/C W/ IS (16" LAYER 1/2" GYPSUM WALLBOARD EACH SIDE

ARCHITECTURAL : TOWER NOTED FLOOR PLAN

HOMES BY ARCHITECTNIC, INC.

AA26002832

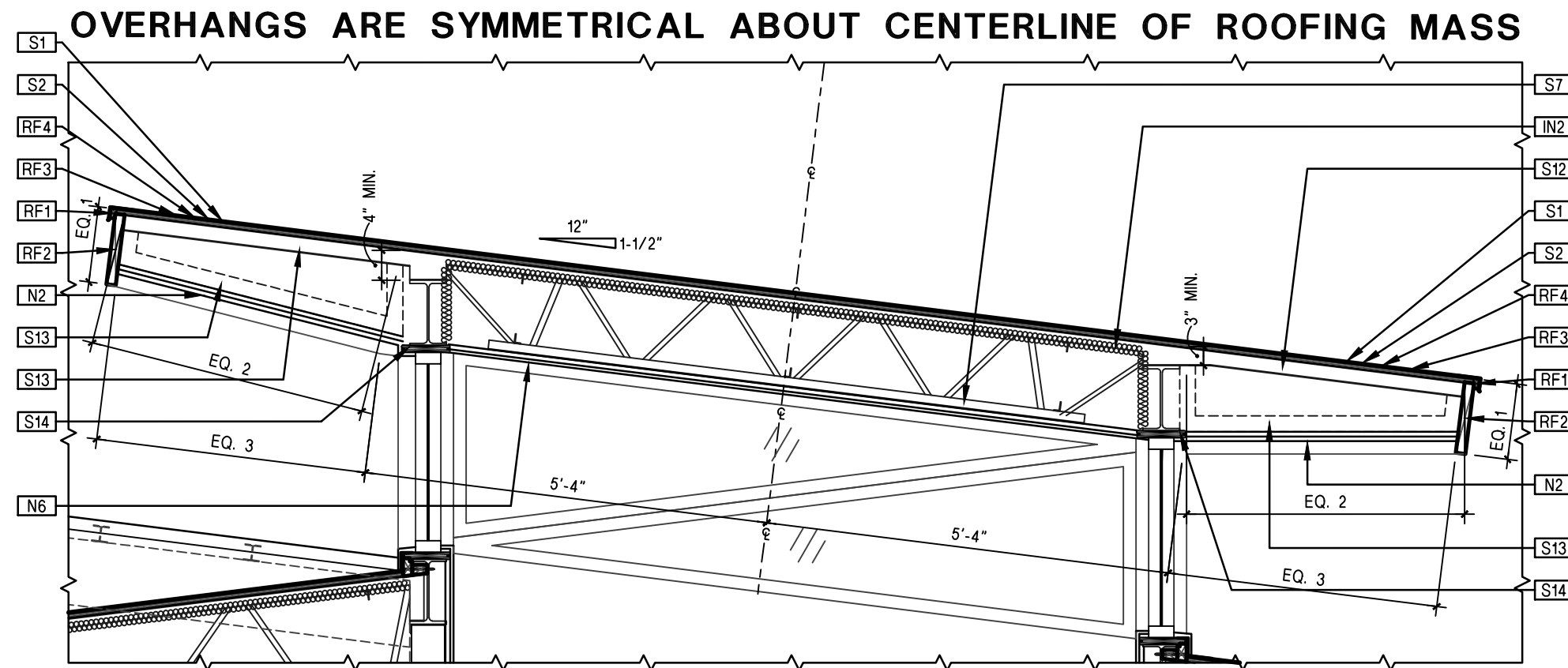
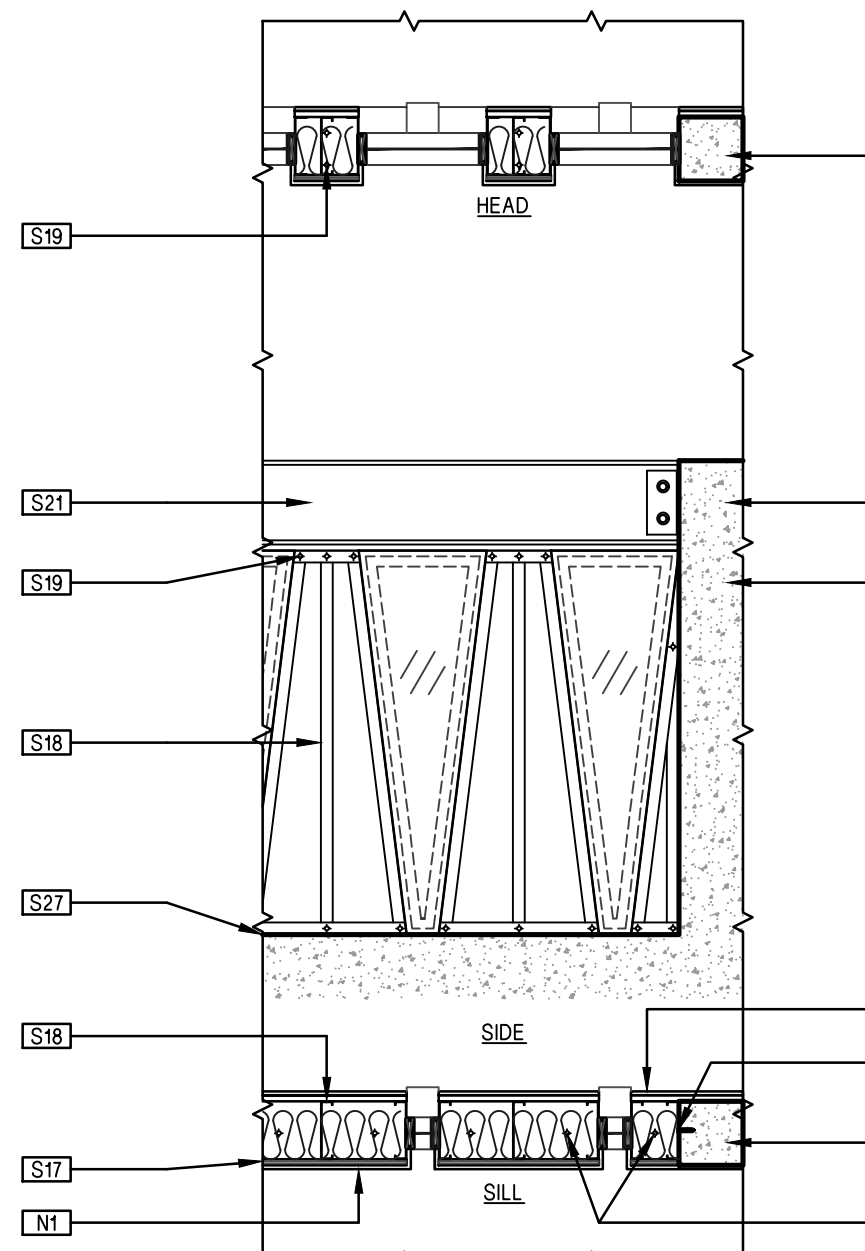
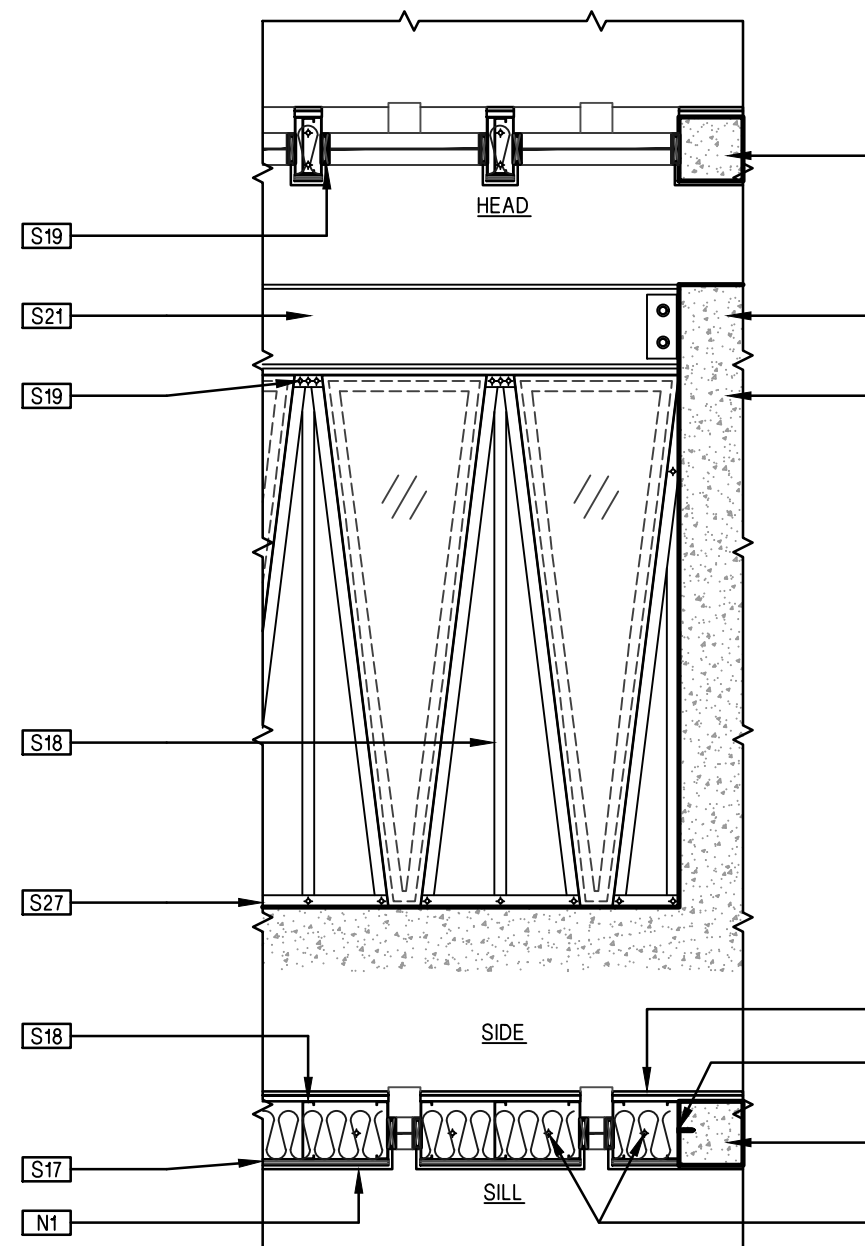
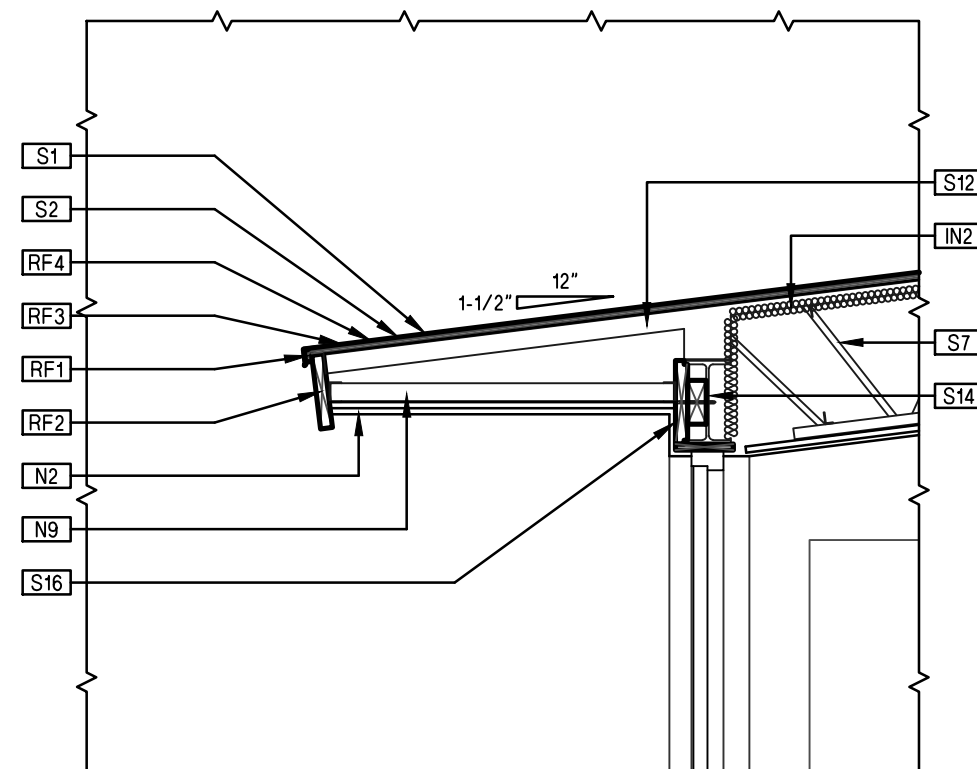
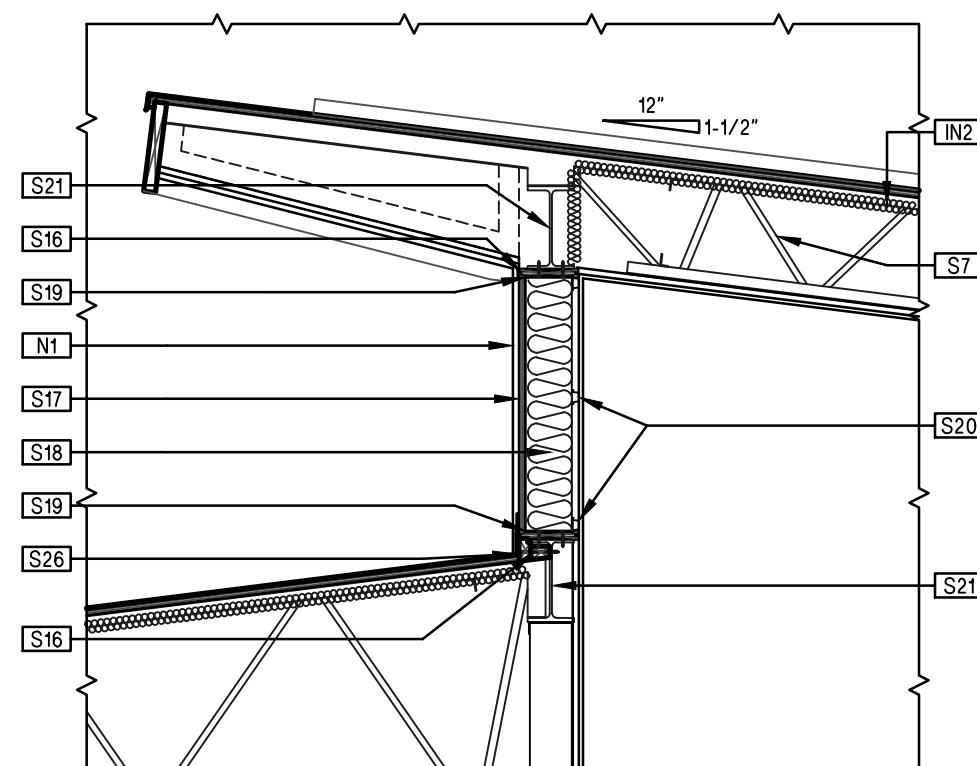
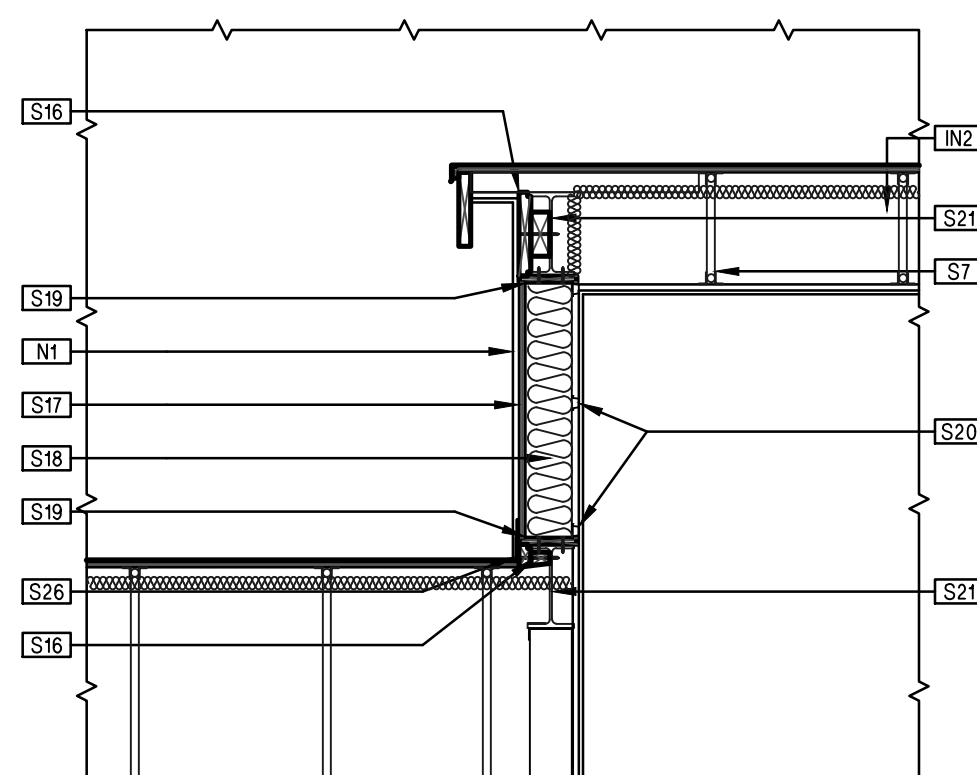
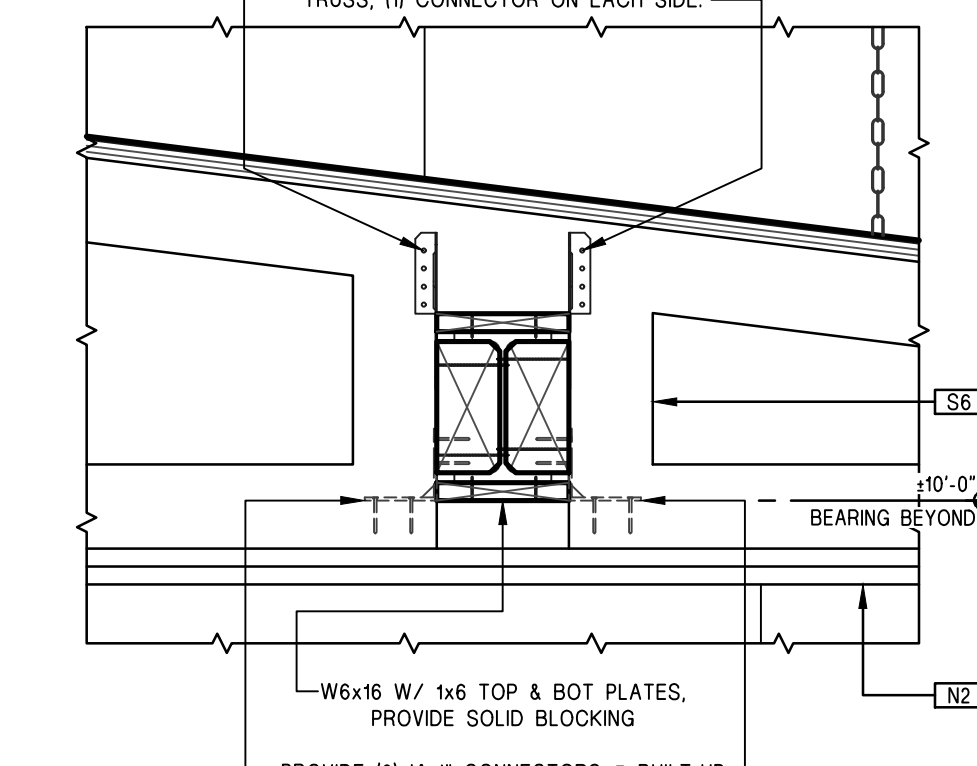
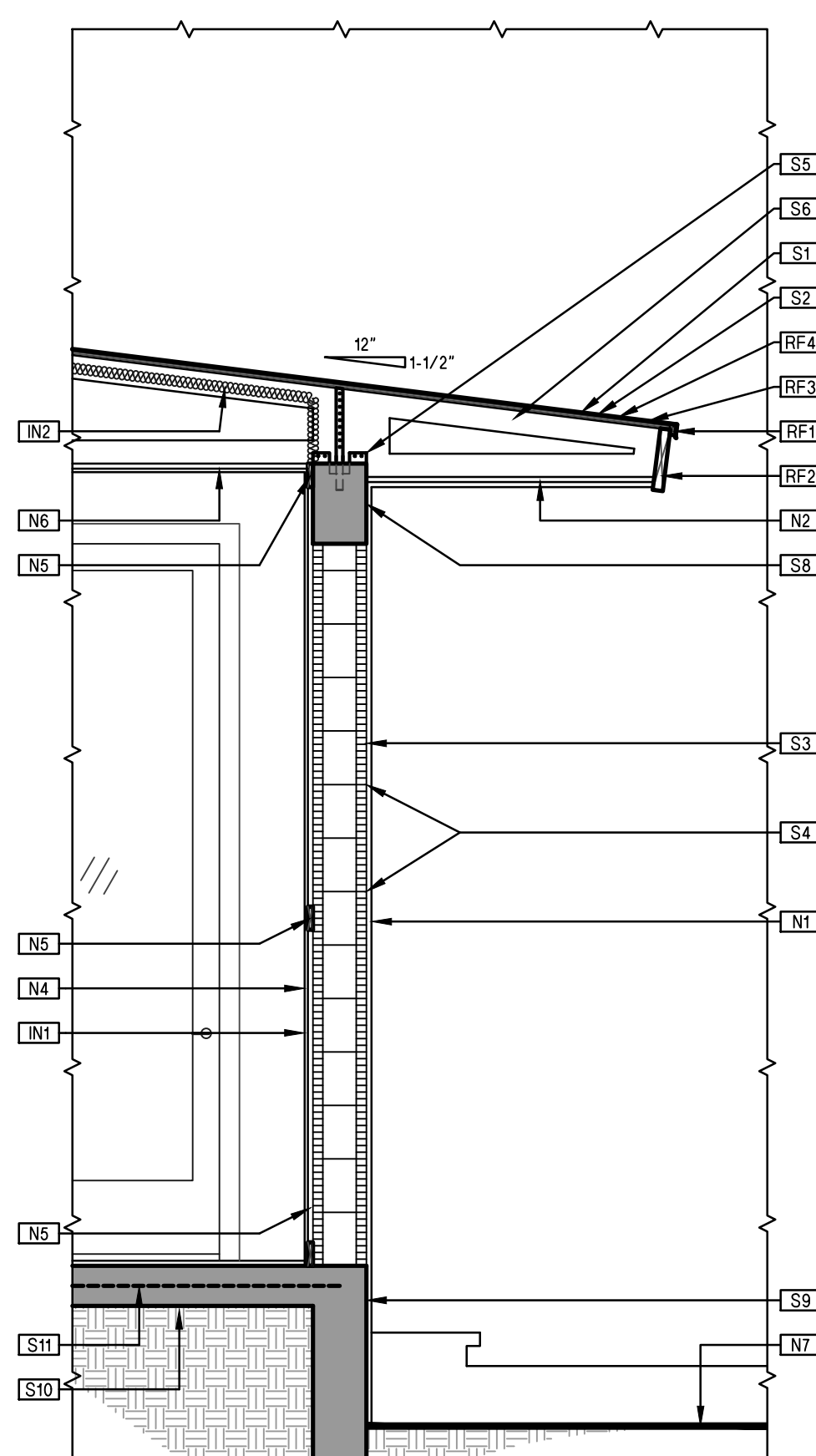
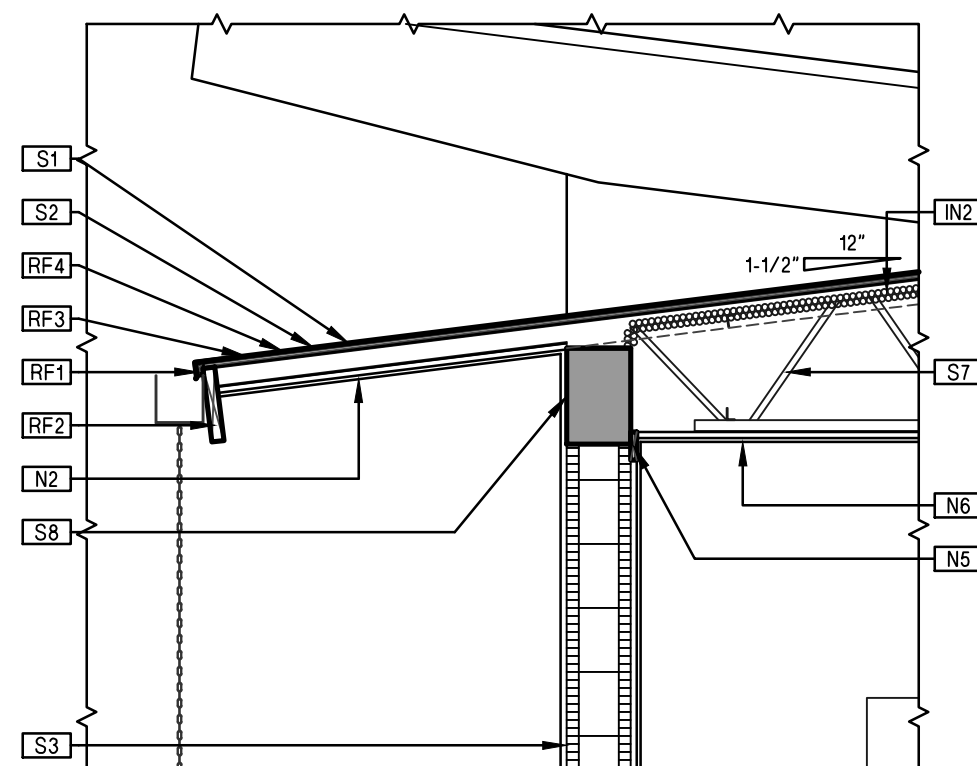
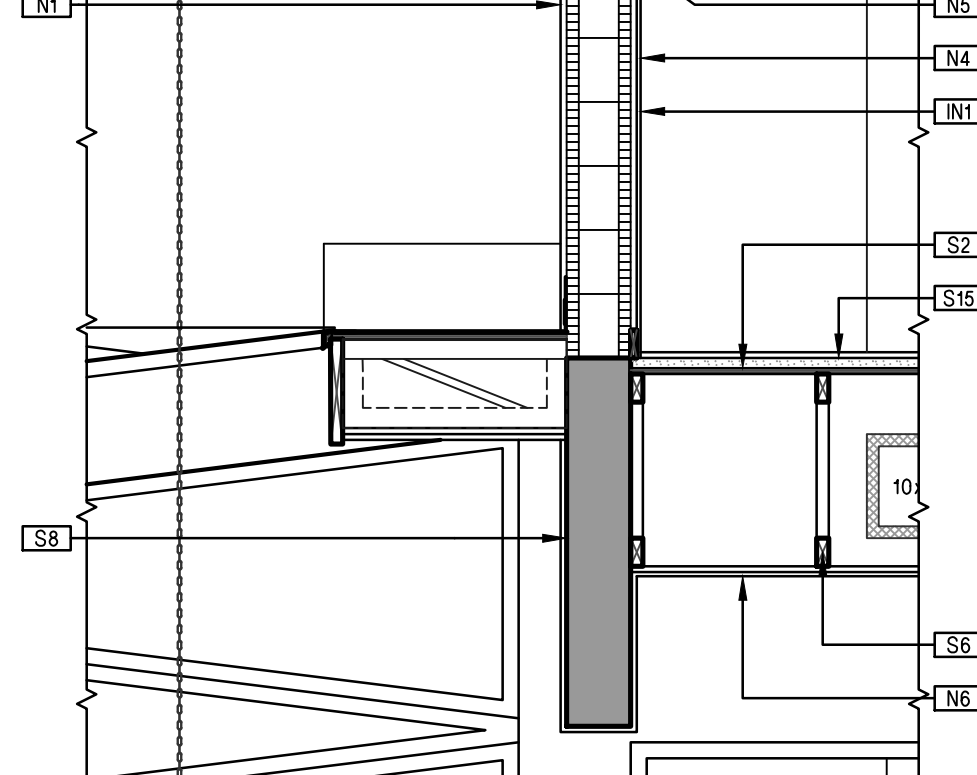
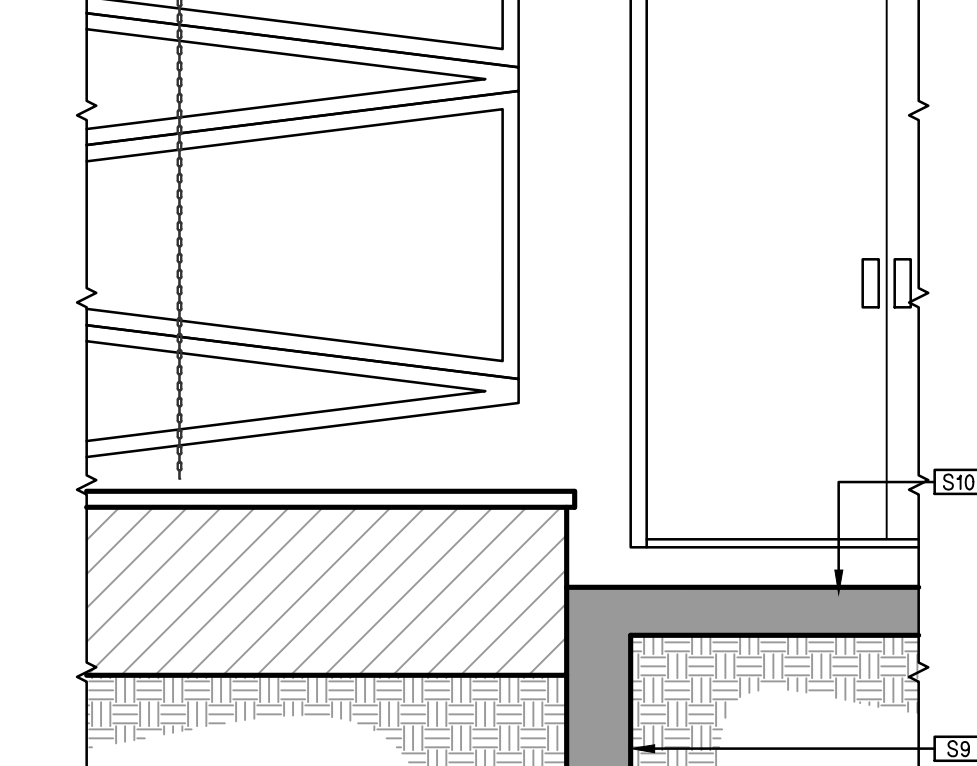
FOR:

& VEITHEIMER
1051 SOUTH NORTHLAKE DRIVE
BROWARD COUNTY, FLORIDA
HOLLYWOOD LAKES SECTION,

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 755-0690

Designed by: DANIEL CARROLL
Drawn by: HB
Checked by: hbs
Date: AUGUST 12, 2020
Scale: 1/4" = 1'-0"
Project #: 19056

A07
of

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PLAN NOTES

NO.	DESCRIPTION	REMARKS
N1	TEXTURED STUCCO FINISH ON MASONRY AND/OR WOOD.	SEE EXT. FINISH
N2	METAL LATH AND STUCCO SOFFIT.	SEE EXT. FINISH
N3	1-1/2" BLOCK RECESS.	
N4	DRYWALL FINISH AND FURRING CHANNELS ON MASONRY AND/OR CONCRETE.	SEE INT. FINISH
N5	FRESTOP, ON MASONRY WALLS.	SEE INT. FINISH
N6	DRYWALL FINISH ON CEILINGS.	SEE INT. FINISH
N7	FINISH GRADE.	
N8	NO WOOD BASE, REFER TO DETAILS.	

INSULATION

NO.	DESCRIPTION
IN1	R-5.0 FOIL BASED WALL INSULATION (MASONRY WALLS). ULTIMA-FOIL, BY RADIANTGUARD. REFER TO SPECS. & P.A. (OR EQUAL)
IN2	R-36 ICYENNE CLOSED CELL SPRAY FOAM ROOF INSULATION OR EQUAL.

SCHEDULE NOTES:
1. FINAL SELECTION OF MATERIALS BY OWNER.

STRUCTURAL REFERENCES

NO.	DESCRIPTION
S1	ROOFING ANCHOR SHEET "TIN TAGS" FASTENERS, REFER TO FRAMING NOTES.
S2	PLYWOOD SHEATHING, REFER TO PLYWOOD FLOOR/ ROOF DIAPHRAGM SCHD.
S3	8" HOLLOW CONCRETE REINFORCED MASONRY UNIT.
S4	PROVIDE 9 GAUGE GALV. LADUR TYPE OUR-O-WALL @ EVERY OTHER COURSE 16" O.C. VERTICALLY.
S5	TRUSS ANCHOR/S, REFER TO TRUSS ANCHOR SCHD. & FRAMING PLAN, FOR REQ. CONNECTION @ EACH LOCATION.
S6	PRE-ENGINEERED WOOD TRUSSES @ 24" C/C MAX SPACING VERIFY W/TRUSS MFR. LAYOUT FOR TRUSS CONFIGURATION & SPACING.
S7	STEEL JOIST, BY OTHERS, REFER TO SHOP DRAWINGS FOR MORE INFORMATION.
S8	CONCRETE BEAM / BOND BEAM, SEE BEAM SCHEDULE FOR SIZE & REQ. REINF.
S9	CONCRETE SLAB, REFER TO FOUNDATION NOTES & PLANS.
S10	CONCRETE FOOTING, REFER TO PLANS & SCHEDULES FOR SIZE & REQ. REINF.
S11	WIRE WELDED FABRIC (WWF), REFER TO FOUNDATION NOTES.
S12	EXTEND TOP CHORD OF STEEL JOIST
S13	FRAME DOWN BY STEEL JOIST FABRICATOR
S14	STEEL BEAM, BY OTHERS, REFER TO SHOP DRAWINGS FOR MORE INFORMATION.
S15	1-1/4" MIN. THICKNESS OF GYPCRETE.
S16	BLOCKING AS NEEDED.
S17	PLYWOOD SHEATHING OVER METAL FRAMING, REFER TO EXTERIOR FINISHES
S18	6" METAL STUDS @ 16" C/C W/ (2) #10 S.M.S. E.E.
S19	6" METAL CHANNELS W/ (2) SELF TAPPING SHEET METAL SCREWS @ 16" C/C
S20	3/4" METAL HHATS @ 16" C/C MAX.
S21	STEEL BEAM, REFER TO FRAMING PLANS & SHOP DRAWINGS
S22	2x BLOCKING BETWEEN TRUSS W/ (2) 16d TOE NAILS E.E. @ 24" C/C MAX.
S24	CONCRETE/MASONRY COLUMN, REFER TO PLANS & SCHEDULES.
S27	2" METAL CHANNELS W/ (1) 1/4"x2" TAPCONS @ 16" C/C

SCHEDULE NOTES:
1. FINAL SELECTION OF MATERIALS BY OWNER.

INTERIOR DOOR SCHD.

NO.	SIZE (IN)	WD.	HGT.	OPERATION	REMARKS	80SS HINGE
D1	(E)	(E)	(E)	SWING	EXISTING DOORS INTO STUDIO	NO
D2	(E)	(E)	(E)	SLIDE	EXISTING BARN DOOR	NO
D3	12'-0"	9'-0"	(E)	POCKET	OFFICE (3) EQUAL PANELS	NO
D4	3'-0"	9'-0"	(E)	POCKET	MASTER BEDROOM	NO
D5	3'-0"	9'-0"	(E)	SWING	LANDING	YES
D6	3'-0"	9'-0"	(E)	SWING	LOUNGE & A/HU & MECH	YES
D7	3'-0"	9'-0"	(E)	POCKET	MASTER BATHROOM	NO
D8	3'-0"	8'-8"	(E)	SWING	G.S. #3 & LAUNDRY	YES
D9	2'-8"	8'-8"	(E)	SWING	G.B. #3	YES
D10	3'-8"	6'-8"	(E)	SWING	(6) 16" & (1) 22" FULLY LOUVERED	NO
D11	3'-0"	6'-8"	(E)	SWING	G.S. #1, G.S. #2 & (GARAGE S.C. W/AUTO CLOSER, 13/4" MIN. THICKNESS (OR 20 MIN. FIRE RATED PER F.B.C. 1902.5.1)	YES
D12	2'-8"	6'-8"	(E)	SWING	WINE & LAUNDRY (SELF CLOSING & PROVIDE AIR GASKET)	YES
D13	2'-4"	6'-8"	(E)	SWING	POWDER	YES
D14	3'-0"	6'-8"	(E)	POCKET	CABANA	NO
D15	2'-8"	6'-8"	(E)	POCKET	G.S. #2	NO
D16	2'-4"	6'-8"	(E)	POCKET	G.S. #1	NO
D17	15'-0"	6'-8"	(E)	BI-PASS	G.S. #2 (5) EQUAL PANELS	NO

EXTERIOR OPNG. SCHD.

1. CONTRACTOR TO VERIFY MASONRY OPENINGS WITH WINDOW & DOOR MANUFACTURER, PRIOR TO CONSTRUCTION & ADJUST OPENINGS AS NEEDED.
2. SHADING COEFFICIENT IS .35; ALL FRAMES SHALL BE BRONZE.

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
A	55	96	(E)	SWING	1	Y	Y	Y	4'0" F.D.	-39.1	35.6
A1	48	96	(E)	F.G.	1	N	Y	Y	SIDE LIGHT		
B	48	80	(E)	SWING	1	N	N	Y	3'0" S.C.	-32.0	39.9
B1	48	80	(E)	SWING	1	N	N	Y	3'0" F.D.	-30.3	39.1
C	48	96	(E)	F.G.	3	N	Y	Y	F.G.	-43.3	39.7
D	68	96	(E)	F.G.	1	N	Y	Y	2 PANEL	-47.0	37.4
D1	68	14	(E)	AWNING	1	N	Y	Y	TRANS.		
E	44	80	(E)	S.G.D.	4	Y	Y	Y	4 PANEL	-39.9	36.4
F	48	80	(E)	F.G.	1	N	Y	Y	F.G.	-43.0	39.4
G	64	96	(E)	S.C.	2	Y	N	N	EXISTING	-41.7	38.1
H	152	119	(E)	F.G.	6	N	Y	Y	F.G.	-39.2	35.8
J	64	80	(E)	S.G.D.	2	Y	Y	Y	2 PANEL	-47.9	37.9
K	14	26	(E)	F.G.	1	N	Y	Y	F.G.	-53.7	40.8
L	73	80	(E)	S.G.D.	2	N	Y	Y	S.G.D.	-48.7	38.3

L1. REMOVED DUE TO CLIENT CHANGES
M. 22 65 F.G. 1 N Y Y F.G. -56.1 43.0
N. 67 65 F.G. 1 N Y Y F.G. -50.1 38.9

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
O1	48	18	(E)	AWNING	1	N	Y	Y			
O2	48	18	(E)	AWNING	1	N	Y	Y			
O3	13	72	(E)	F.G.	1	N	Y	Y	SIDE LIGHT	-41.6	38.0
O4	13	18	(E)	F.G.	1	N	Y	Y			
O5	13	18	(E)	F.G.	1	N	Y	Y			
P	172	119	(E)	S.G.D.	4	Y	Y	Y	4 PANEL	-38.7	35.1
Q	42	119	(E)	F.G.	1	N	Y	Y	SIDE LIGHT	-42.5	38.9
R	130	119	(E)	S.G.D.	3	Y	Y	Y	3 PANEL	-39.4	35.9
S	48	72	(E)	F.G.	1	N	Y	Y			
S1	48	18	(E)	AWNING	1	N	Y	Y			
S2	48	18	(E)	AWNING	1	N	Y	Y			
S3	19	72	(E)	F.G.	1	N	Y	Y	SIDE LIGHT	-41.3	37.8
S4	19	18	(E)	F.G.	1	N	Y	Y			
S5	19	18	(E)	F.G.	1	N	Y	Y			
T	68	80	(E)	F.G.	2	N	Y	Y	F.G.	-48.1	38.5

U. REMOVED DUE TO CLIENT CHANGES
V. 84 96 S.G.D. 2 Y Y Y 2 PANEL -40.9 37.4
W. 110 96 S.G.D. 2 Y Y Y 2 PANEL -40.2 36.6

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
X1	92	15	(E)	F.G.	1	N	Y	Y	TRANS.	-44.4	40.8
X2	92	15	(E)	F.G.	1	N	Y	Y	F.G.	-45.6	42.0
Y	37	80	(E)	SWING	1	Y	Y	Y	2'10" F.D.	-42.9	39.3
Y1	37	24	(E)	F.G.	1	N	Y	Y	TRANS.		

Y2. REMOVED DUE TO CLIENT CHANGES
Z. 108 44 F.G. 1 N Y Y F.G. -41.8 38.3
AA. 53 80 F.G. 1 N Y Y F.G. -41.5 37.9

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
AA1	38	48	(E)	CASEMENT	1	Y	Y	Y	2640		
AA2	38	42	(E)	F.G.	1	N	Y	Y	TRANS.		
BB	40	96	(E)	SWING	1	N	N	Y	3'0" F.D.	-43.0	39.4
CC	48	24	(E)	F.G.	1	N	Y	Y	F.G.	-42.7	38.9

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
CC1	24	24	(E)	AWNING	1	N	Y	Y	SIDE LIGHT		
DD	38	60	(E)	CASEMENT	1	Y	Y	Y	3050		
DD1	72	32	(E)	F.G.	1	N	Y	Y	TRANS.	-48.4	38.2

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
DD2	72	22	(E)	F.G.	1	N	Y	Y	TRANS.	-44.4	41.8
EE	26	42	(E)	OVERHEAD ROLL UP	1	N	N	Y	GARAGE DOOR	-40.4	34.1
EE1	26	24	(E)	F.G.	1	N	Y	Y	TRANS.	-42.7	38.9

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
FF	38	60	(E)	CASEMENT	1	Y	Y	Y	3050		
FF1	72	32	(E)	F.G.	1	N	Y	Y	TRANS.	-48.4	38.2

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
GG	99	21	(E)	F.G.	1	N	Y	Y	TRANS.	-44.6	41.1
HH	64	21	(E)	F.G.	1	N	Y	Y	TRANS.	-44.5	40.9

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
JJ	42	21	(E)	F.G.	1	N	Y	Y	TRANS.	-45.7	42.1
KK	60	21	(E)	F.G.	1	N	Y	Y	TRANS.	-45.7	42.1
LL	64	21	(E)	F.G.	1	N	Y	Y	TRANS.	-45.7	42.1

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
MM	44	75	(E)	F.G.	3	N	Y	Y	TRANS.	-40.4	36.8
NN	38	92	(E)	F.G.	6	N	Y	Y	TRANS.	-37.7	34.1
OO	38	48	(E)	F.G.	6	N	Y	Y	TRANS.	-39.5	35.9

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
PP	84	48	(E)	F.G.	3	N	Y	Y	F.G.	-43.5	39.9
QQ	108	30	(E)	F.G.	1	N	Y	Y	F.G.	-45.2	41.6
RR	26	72	(E)	F.G.	1	N	Y	Y	F.G.	-45.7	42.1

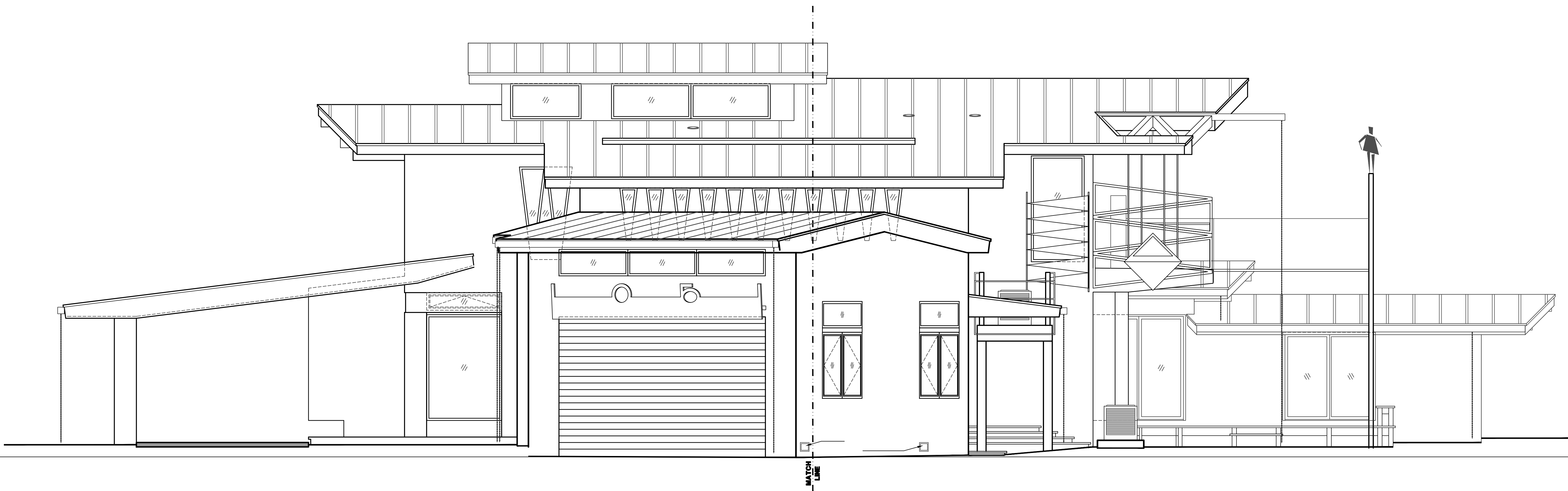
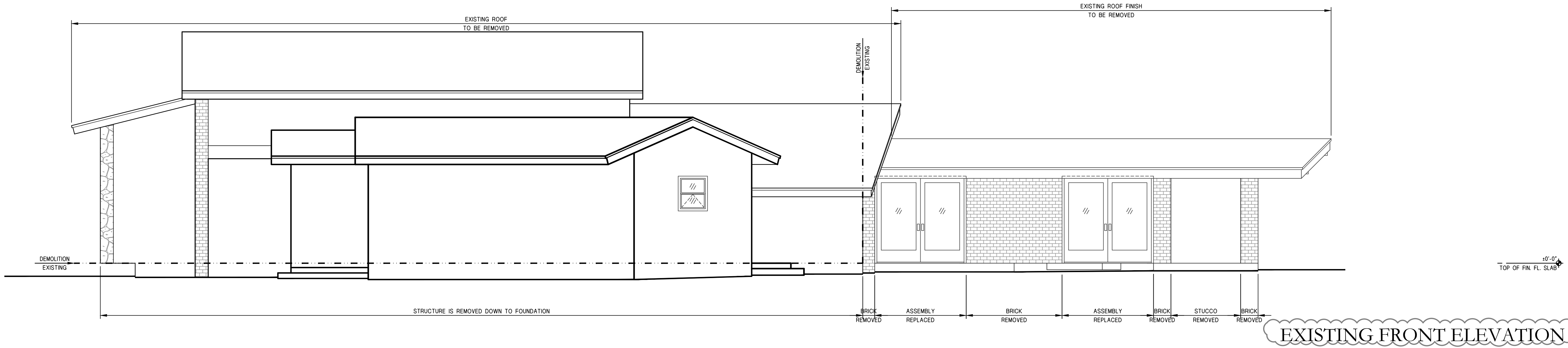
NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
SS	39	48	(E)	CASEMENT	1	Y	Y	Y	2640	-45.7	42.1
SS1	39	32	(E)	F.G.	1	N	Y	Y	TRANS.	-45.7	42.1
TT	44	80	(E)	S.G.D.	4	Y	Y	Y	4 PANEL, NANO	-40.0	36.4

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
UU	51	119	(E)	F.G.	1	N	Y	Y	F.G.		
UU1	51	80	(E)	CASEMENT	1	Y	Y	Y	4058	-37.4	33.8

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
UU2	51	35	(E)	F.G.	1	N	Y	Y	TRANS.		
VV	48	119	(E)	S.G.D.	3	Y	Y	Y	3 PANEL	-39.1	35.5

NO.	SIZE (IN)	WD.	HGT.	OPERATION	LITE	EGRS	TEMP	IMPT	REMARKS	PRES.	#
WW	48	48	(E)	CASEMENT	1	Y	Y	Y	4040		
WW1	48	24	(E)	F.G.	1	N	Y	Y	F.G.	-42.7	39.2
WW2	48	25	(E)	F.G.	1	N	Y	Y	TRANS.		

AAA	108	32	F.G.	2	N	Y	Y	F.G.	-51.8
BBB	64	32	F.G.	1	N	Y	Y	F.G.	-54.4
CCC	144	32	F.G.	2	N	Y	Y	F.G.	-50.0



PROPOSED FRONT (SO. NORTHLAKE DRIVE) ELEVATION

REVISIONS:
1. 08/13/21 - BUDGET CHANGES - H.E.L.
2. 08/13/21 - H.E.L. ZONING COMMENTS - M.J.L.

FORM-LIGHT

5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641

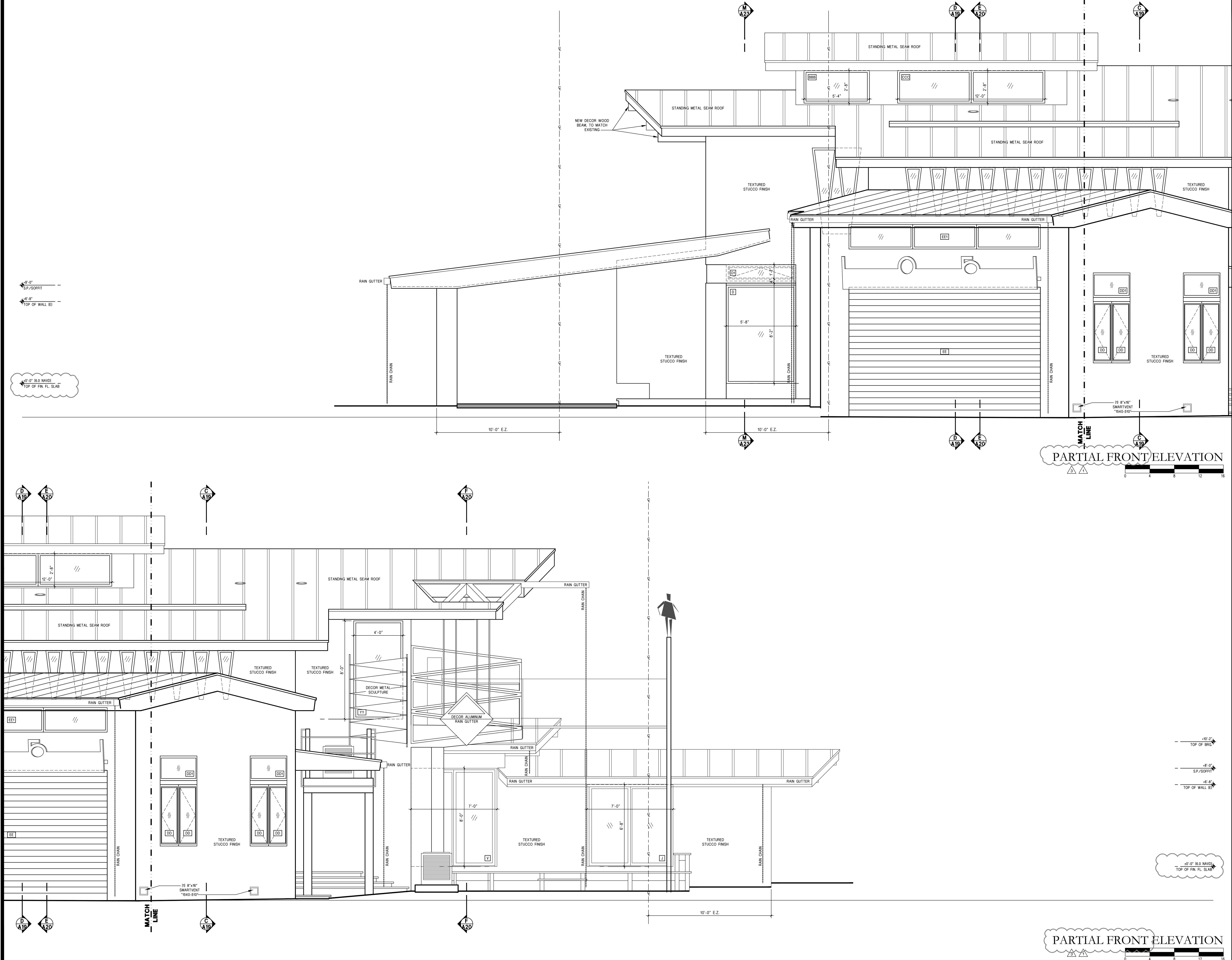
REGISTERED PROFESSIONAL ARCHITECT
FLORIDA
ARCHITECTURAL NO. 13511
EXPIRATION DATE 12/31/2024

FOR
HOMES BY ARCHITECT, INC.
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A CUSTOM RESIDENCE
HOME OWNER
CARASO & VEITENHEIMER
LOT #29 & 30, BLOCK 48
HOLLYWOOD, FLORIDA

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 765-0690
Designed by: DANIEL CARROLL
Drawn by: HBA
Checked by: NBR
Date: AUGUST 12, 2020
Scale: 1/4" = 1'-0"
Project #: 19056
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Sheets

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ARCHITECTURAL : FRONT ELEVATION

HOMES BY ARCHITECTNIC, INC.

AA26002832

A CUSTOM RESIDENCE

HOME OWNER

CARIASO

LOT #29 & 30, BLOCK 48

HOLLYWOOD,

FOR

VEITENHEIMER

HOLLYWOOD LAKES SECTION

FLORIDA

BROWARD COUNTY,

REVISIONS:

DATE

BY

REASON

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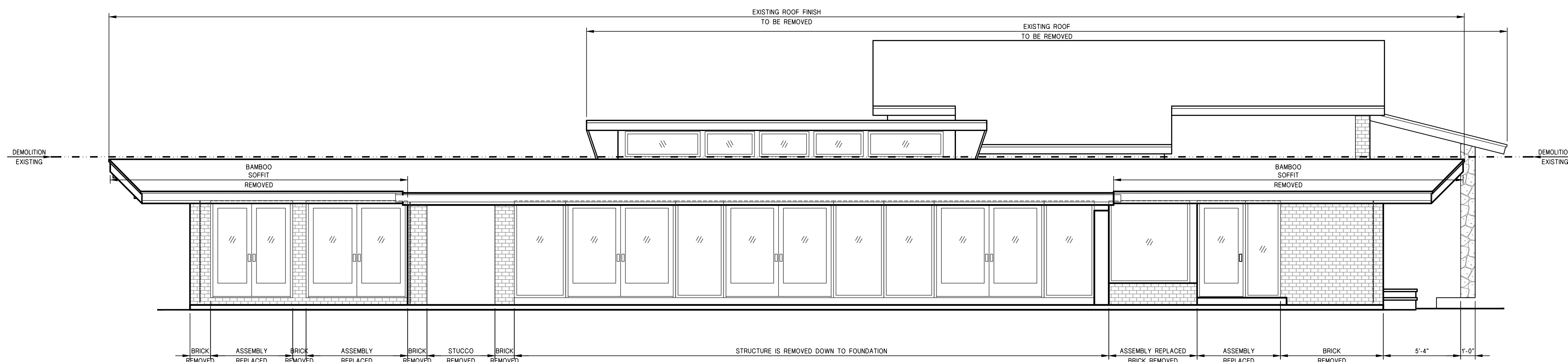
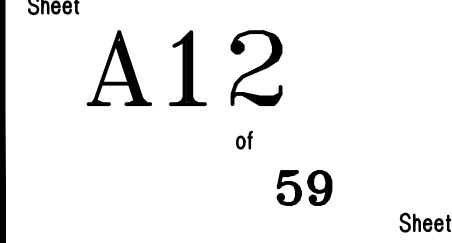
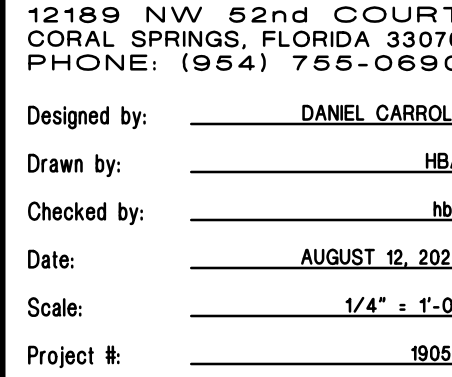
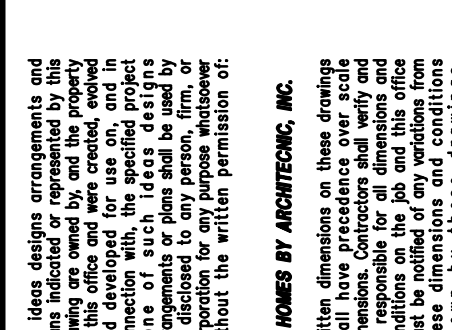
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232. 06/24/2020

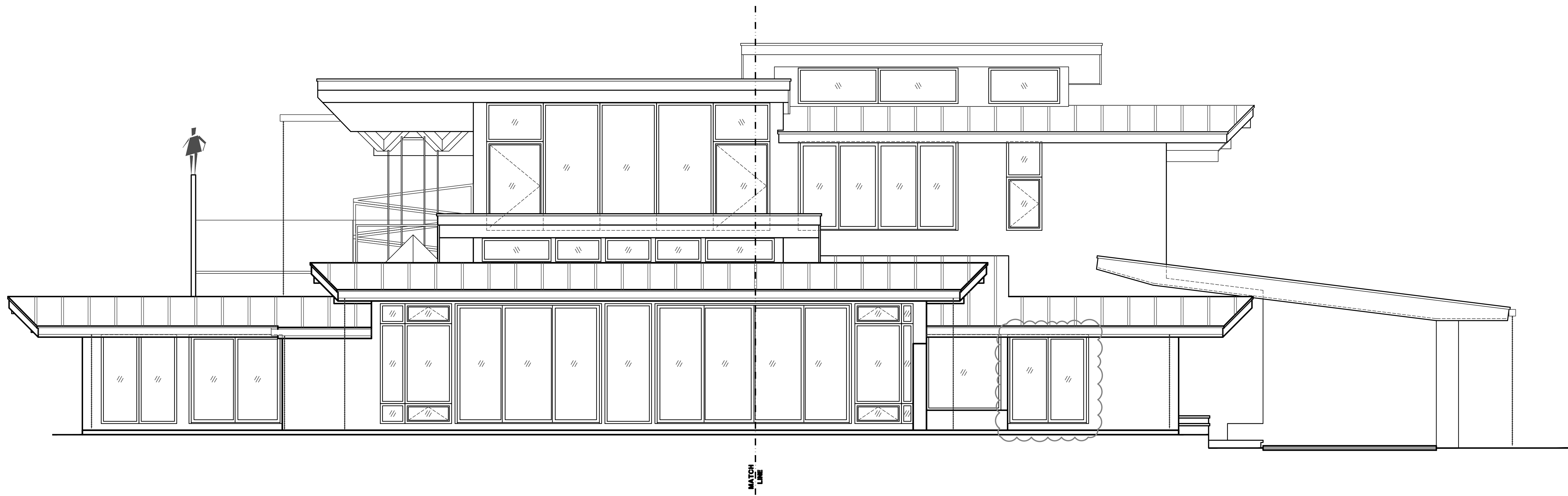
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234. 06/24/2020

235. 06/24/2020

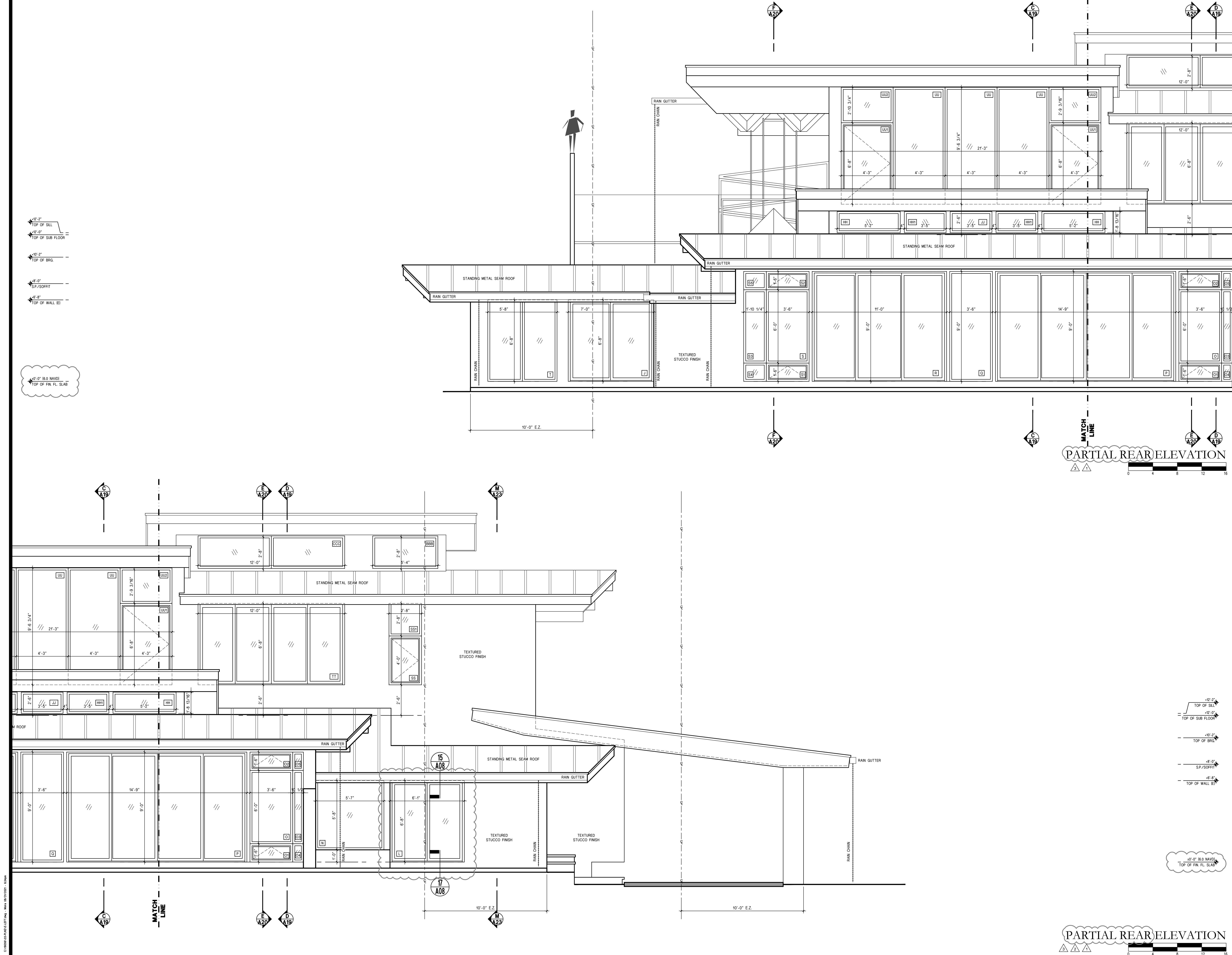


EXISTING REAR ELEVATION



PROPOSED REAR (LAKE) ELEVATION

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ARCHITECTURAL : REAR ELEVATION

HOMES BY ARCHITECTNIC, INC.
AA26002832

A CUSTOM RESIDENCE
HOME OWNER

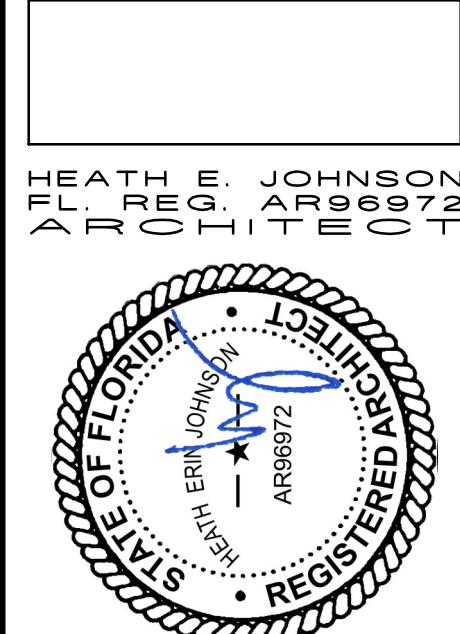
CARIASO & VEITENHEIMER

LOT #29 & 30, BLOCK 48
HOLLYWOOD, FLORIDA

12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 765-0690
Designed by: DANIEL CARROLL
Drawn by: HBA
Checked by: HBA
Date: AUGUST 12, 2020
Scale: 3/8" = 1'-0"
Project #: 19056
Sheet

A13
of
59
Sheets

Revisions:
1. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
2. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
3. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
4. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
5. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
6. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
7. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
8. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
9. 11-11-21 BLDG DEPT. CHANGES - H.E.L.
10. 11-11-21 BLDG DEPT. CHANGES - H.E.L.

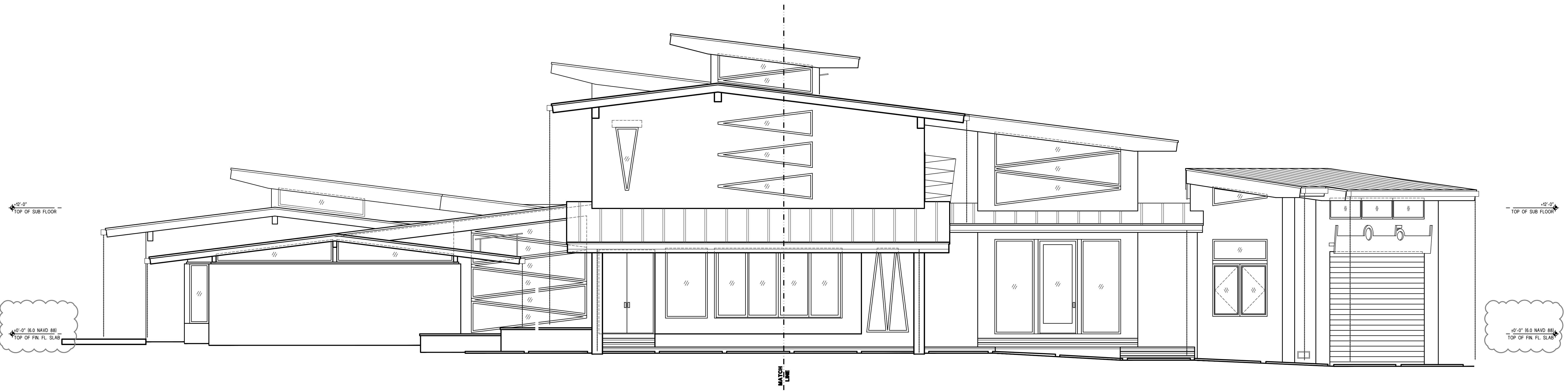
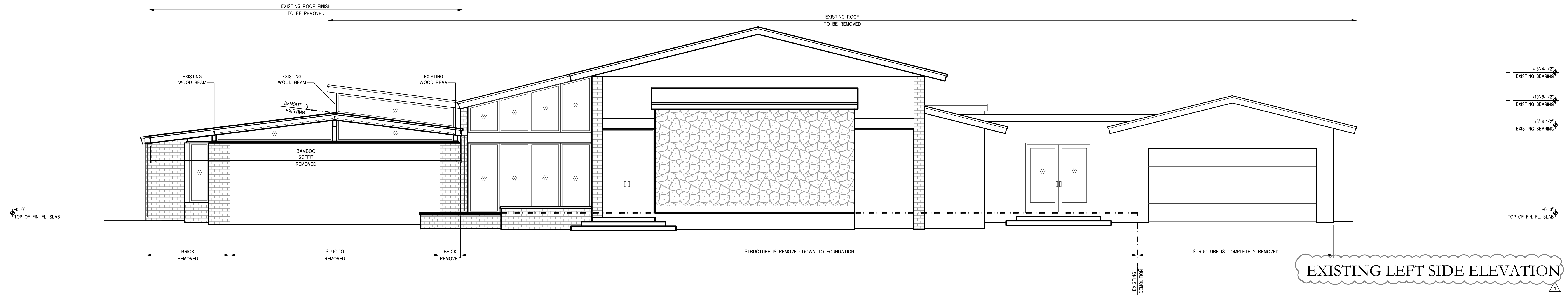


5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-6641

FORM-LIGHT



All these figures are approximate and should be used as a guide only. The actual dimensions of the building should be verified by the owner or the architect. The architect is not responsible for the accuracy of the figures. The architect is not responsible for the accuracy of the figures. The architect is not responsible for the accuracy of the figures.



PROPOSED LEFT SIDE (N. 11 AVE) ELEVATION

ARCHITECTURAL: EXISTING LEFT SIDE ELEVATION

HOMES BY ARCHITECTNIC, INC.
AA26002832

A CUSTOM RESIDENCE
HOME OWNER
CARIASO & VEITENHEIMER
LOT #29 & 30, BLOCK 48
HOLLYWOOD, FLORIDA

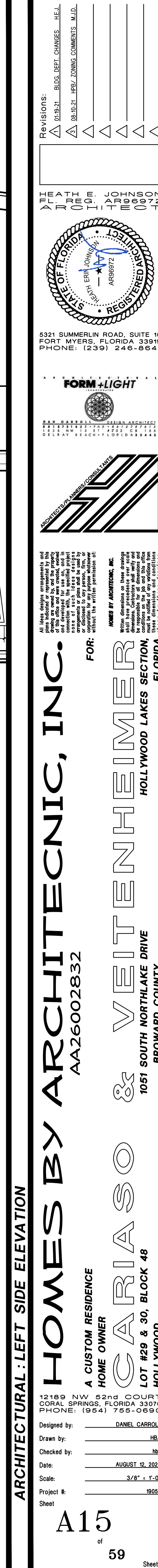
12189 NW 52nd COURT
CORAL SPRINGS, FLORIDA 33076
PHONE: (954) 765-0690
Designed by: DANIEL CARROLL
Drawn by: HBA
Checked by: NBR
Date: AUGUST 12, 2020
Scale: 1/4" = 1'-0"
Project #: 19026
Sheet

A14
of
59
Sheets

REVISIONS:
1. 08/12/21: BLDG. DEPT. CHANGES - H.E.L.
2. 08/12/21: H.E.L. ZONING COMMENTS - M.J.L.
3. 08/12/21: H.E.L. ZONING COMMENTS - M.J.L.
4. 08/12/21: H.E.L. ZONING COMMENTS - M.J.L.
5. 08/12/21: H.E.L. ZONING COMMENTS - M.J.L.
6. 08/12/21: H.E.L. ZONING COMMENTS - M.J.L.
7. 08/12/21: H.E.L. ZONING COMMENTS - M.J.L.
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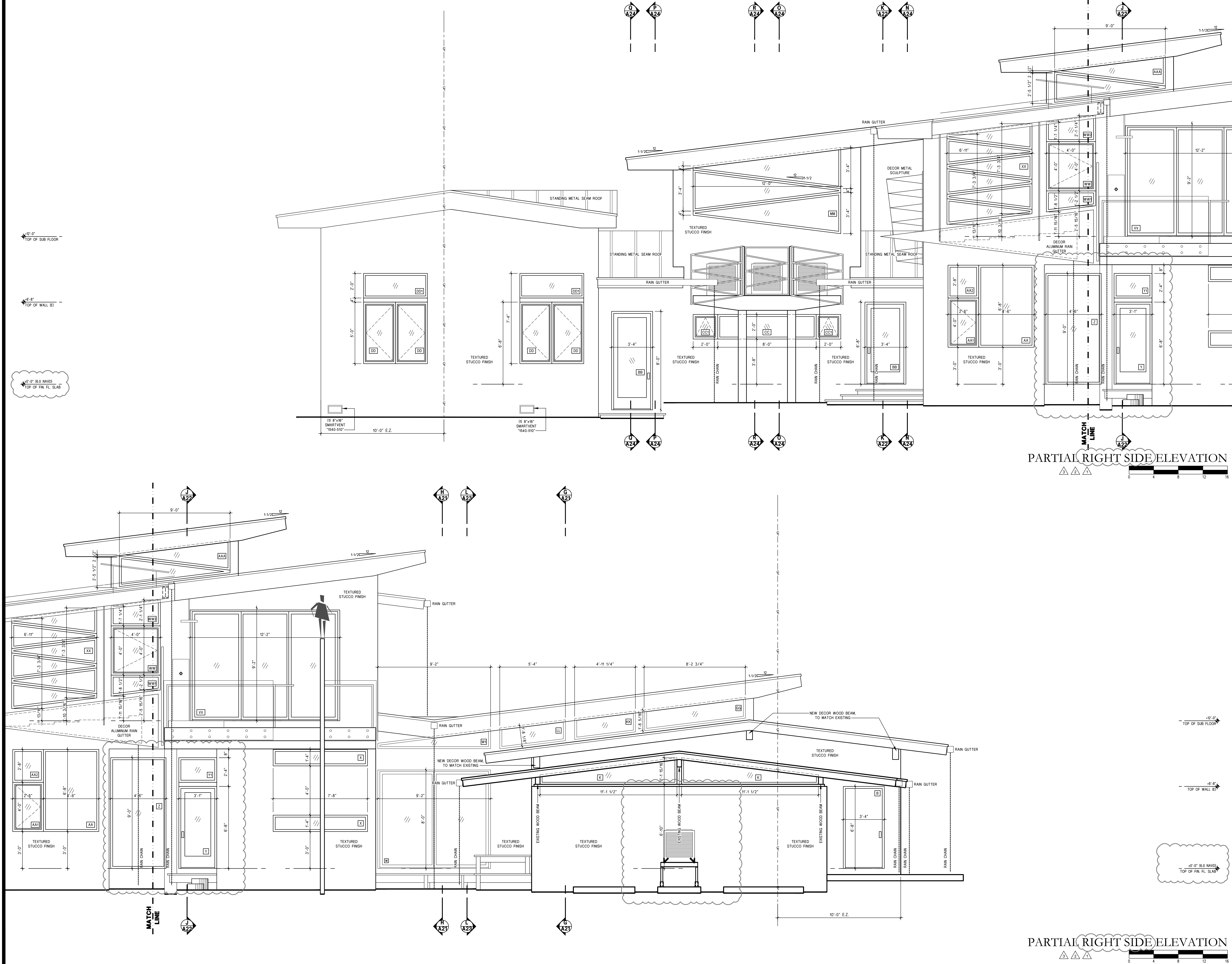
FORM-LIGHT
REGISTERED PROFESSIONAL ARCHITECT
5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641

FOR THE ARCHITECT
HOLLYWOOD LAKES SECTION
FLORIDA





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ARCHITECTURAL: RIGHT SIDE ELEVATION

HOMES BY ARCHITECTNIC, INC.
AA26002832

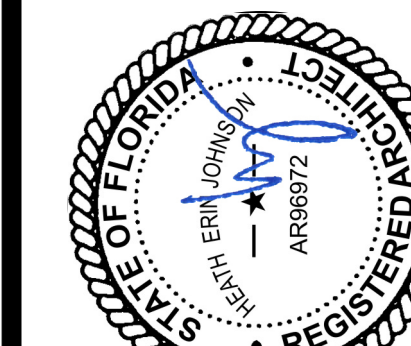
A CUSTOM RESIDENCE
HOME OWNER

CARIASO & VEITENHEIMER

LOT #29 & 30, BLOCK 48
HOLLYWOOD,

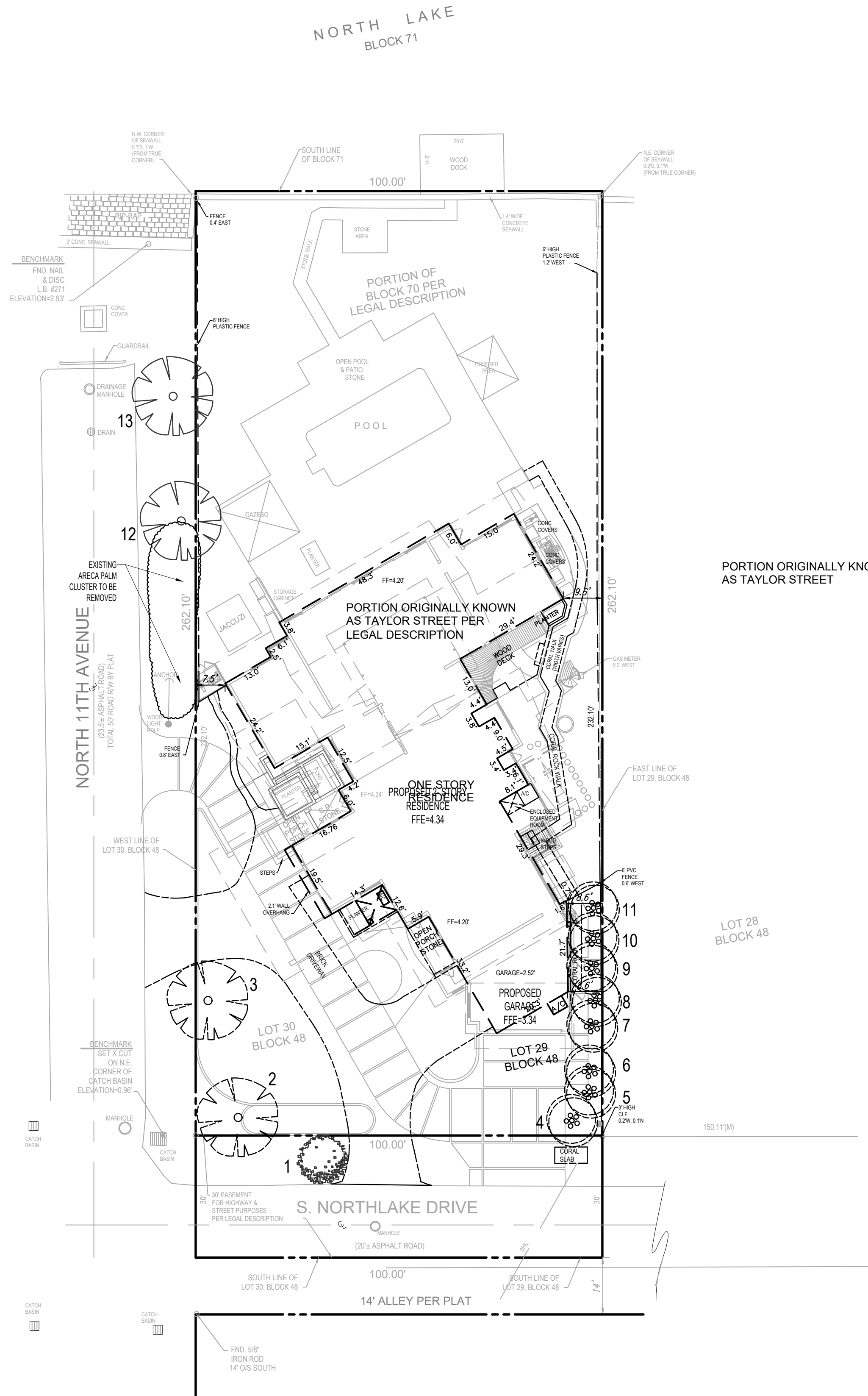
5321 SUMMERLIN ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8641

FORM-LIGHT



REVISIONS:	DATE	BY	DESCRIPTION
1	10/27/2021	DC	INITIAL DESIGN
2	10/27/2021	DC	REVISIONS
3	10/27/2021	DC	REVISIONS
4	10/27/2021	DC	REVISIONS
5	10/27/2021	DC	REVISIONS
6	10/27/2021	DC	REVISIONS
7	10/27/2021	DC	REVISIONS
8	10/27/2021	DC	REVISIONS
9	10/27/2021	DC	REVISIONS
10	10/27/2021	DC	REVISIONS
11	10/27/2021	DC	REVISIONS
12	10/27/2021	DC	REVISIONS

DESIGNED BY: DANIEL CARROLL
DRAWN BY: HBA
CHECKED BY: HBA
DATE: AUGUST 12, 2020
SCALE: 3/8" = 1'-0"
PROJECT #: 19056
SHEET

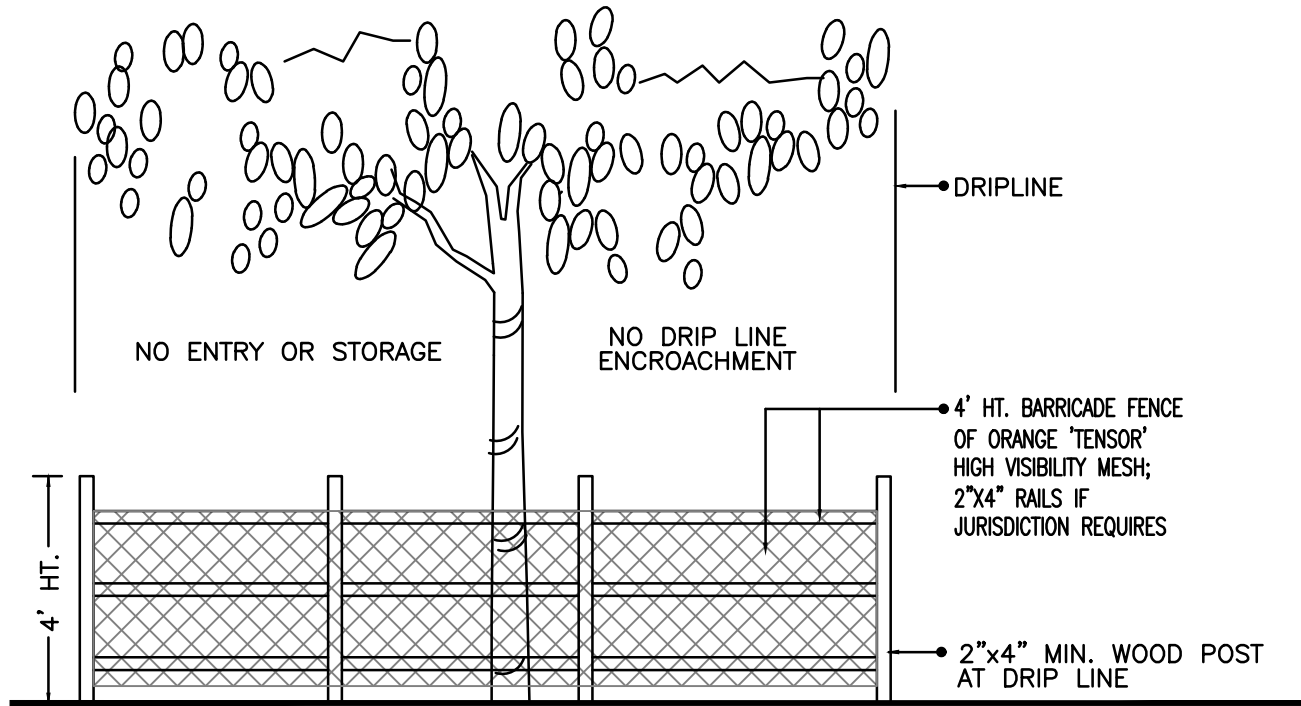


TREE INVENTORY & DISPOSITION CHART								
1051 S. NORTHLAKE DRIVE - HOLLYWOOD, FL								
TREE NO.	BOTANICAL NAME	COMMON NAME	DBH (ins.)	HT (ft)	SPR (ft)	CONDITION	DISPOSITION	COMMENTS
1	<i>Saraca asoca</i>	Ashoka tree	5	19	5	70%	REMAIN	R/O/W
2	<i>Roystanea regia</i>	Royal Palm	16	40	15	65%	remove	Construction
3	<i>Roystanea regia</i>	Royal Palm	16	40	15	65%	remove	Construction
4	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	1	25	14	70%	remove	Large Shrub
5	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	0.75	25	14	70%	remove	Large Shrub
6	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	0.75	25	14	70%	remove	Large Shrub
7	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	0.75	25	14	70%	remove	Large Shrub
8	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	0.75	25	14	70%	remove	Large Shrub
9	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	0.75	25	14	70%	remove	Large Shrub
10	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	0.75	25	14	70%	remove	Large Shrub
11	<i>Bambusa vulgaris</i>	Green Bamboo Cluster	0.75	25	14	70%	remove	Large Shrub
12	<i>Coco nucifera</i>	Coconut Palm	10	25' ct	24	70%	REMAIN	R/O/W
13	<i>Coco nucifera</i>	Coconut Palm	10	34' ct	25	70%	REMAIN	R/O/W

TOTAL DBH INCHES OF TREES ON SITE:	5
TOTAL DBH INCHES TO REMAIN:	0
TOTAL DBH INCHES OF TREES TO BE REMOVED FROM SITE:	2
TOTAL PALMS REMOVED FROM SITE:	2
TOTAL REPLACEMENT PALMS REQUIRED:	2

GENERAL EXISTING TREE NOTES:

- TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FENCING. DURING PERIODS OF DEVELOPMENT & CONSTRUCTION, THE AREAS WITHIN THE DRIP-LINE OF PRESERVED TREES SHALL BE MAINTAINED AT THEIR ORIGINAL GRADE WITH PEROUS LANDSCAPE MATERIAL. WITHIN THESE AREAS, THERE SHALL BE NO TRENCHING OR CUTTING OF ROOTS, EXCEPT WHERE NECESSARY DUE TO PROPOSED CONSTRUCTION; NO FILL, COMPACTION, OR REMOVAL OF SOIL; & NO USE OF CONCRETE, PAINT, CHEMICALS, OR OTHER FOREIGN SUBSTANCES.
- ALL ROOT-PRUNING & CANOPY TRIMMING ACTIVITIES SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST UTILIZING BEST MANAGEMENT PRACTICES TO ENSURE VIABILITY OF EXISTING TREES; NO TREE CANOPY SHALL BE TRIMMED BY MORE THAN 25%. ALL TREES TO REMAIN SHALL BE STRUCTURALLY PRUNED ANY NECESSARY TREE TRIMMING SHALL BE IN ACCORDANCE WITH THE JURISDICTIONAL PRUNING STANDARDS PRIOR TO ANY CONSTRUCTION WORK TAKING PLACE.
- ROOT-PRUNE ALL TREES IN CONSTRUCTION AREA FOR THIS SITE A MINIMUM OF (6) WEEKS PRIOR TO ANY CONSTRUCTION OR INSTALLATION OF UTILITIES. TRENCHES FOR PROPOSED UTILITIES SHALL BE HAND DUG AS FAR FROM THE TRUNK OF EXISTING TREES TO REMAIN AS POSSIBLE.
- LIQUIDATED DAMAGES SHALL BE ASSESSED TO THE CONTRACTOR FOR TREES SPECIFIED TO BE PRESERVED THAT DIE OR ARE DAMAGED AS A RESULT OF IMPROPER TREE PROTECTION PROCEDURES &/OR CONSTRUCTION OPERATIONS. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. CALIPER SHALL BE MEASURED AT BREAST HEIGHT OR FOUR FEET (4') ABOVE SURROUNDING GROUND.
- IN ALL VEHICULAR USE AREAS, ALL TREES SHALL BE PRUNED & MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT AN 8.5 FT HEIGHT. EXISTING TREES ADJACENT TO VEHICULAR USE AREAS MAY BE TRIMMED UP TO 13.5 FT ABOVE VEHICULAR USE AREAS.
- ROOT BARRIERS SHALL BE PROVIDED FOR ADJACENT TO ALL PROPOSED UTILITIES. SEE ROOT BARRIER DETAIL ON THIS SHEET.
- ALL INVASIVE EXOTIC PLANT MATERIALS SHALL BE REMOVED & ERADICATED FROM THE ENTIRE SITE IN PERPETUITY PRIOR TO FINAL LANDSCAPE CERTIFICATION. PERPETUAL MAINTENANCE IS REQUIRED TO PROHIBIT THE REESTABLISHMENT OF INVASIVE EXOTIC SPECIES THROUGHOUT THE SITE & WITHIN ALL PRESERVATION & RESTORATION AREAS.
- ALL TREES SCHEDULED TO BE REMOVED OR THAT HAVE BEEN PREVIOUSLY REMOVED & HAVE REMAINING STUMPS SHALL BE CUT DOWN, STUMP GROUND, & SHALL HAVE ALL ROOTS REMOVED
- DURING LAND ALTERATION & CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIALS, MACHINERY, OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIP-LINE OF A TREE TO REMAIN UNLESS OTHERWISE APPROVED BY THE JURISDICTION
- UNLESS OTHERWISE NOTED, ALL SHRUBS, ACCENT PLANTS, & GROUNDCOVERS SHALL BE REMOVED FROM CONSTRUCTION AREA, EXCEPT NATIVE PLANTS IN PRESERVATION AREAS
- VIABLE & ARABLE WELL DRAINATED NATIVE SOILS SHALL BE LAB TESTED, STOCKPILED, AMENDED IF NECESSARY, & REUSED BENEATH IMPORTED TOPSOILS IN LANDSCAPE AREAS



TREE PRESERVATION
BARRICADE FENCING DETAIL

NT8



REVISIONS / SUBMISSIONS

SCALE:

CLIENT:

CARAISO & VEITENHEIMER

CUSTOM RESIDENCE
1051 S. NORTHLAKE DRIVE
HOLLYWOOD, FL

DISPOSITION PLAN



RYLAN J. KING EBRHIMIAN
LA6667324

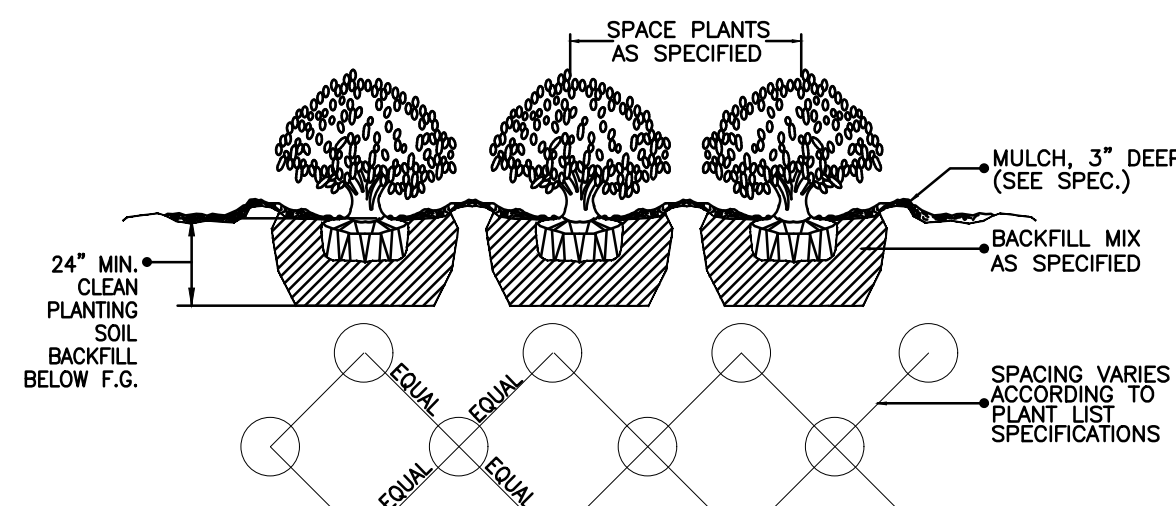
DRAWN BY: RJK

CHECKED BY:

DATE: 2021-06-08

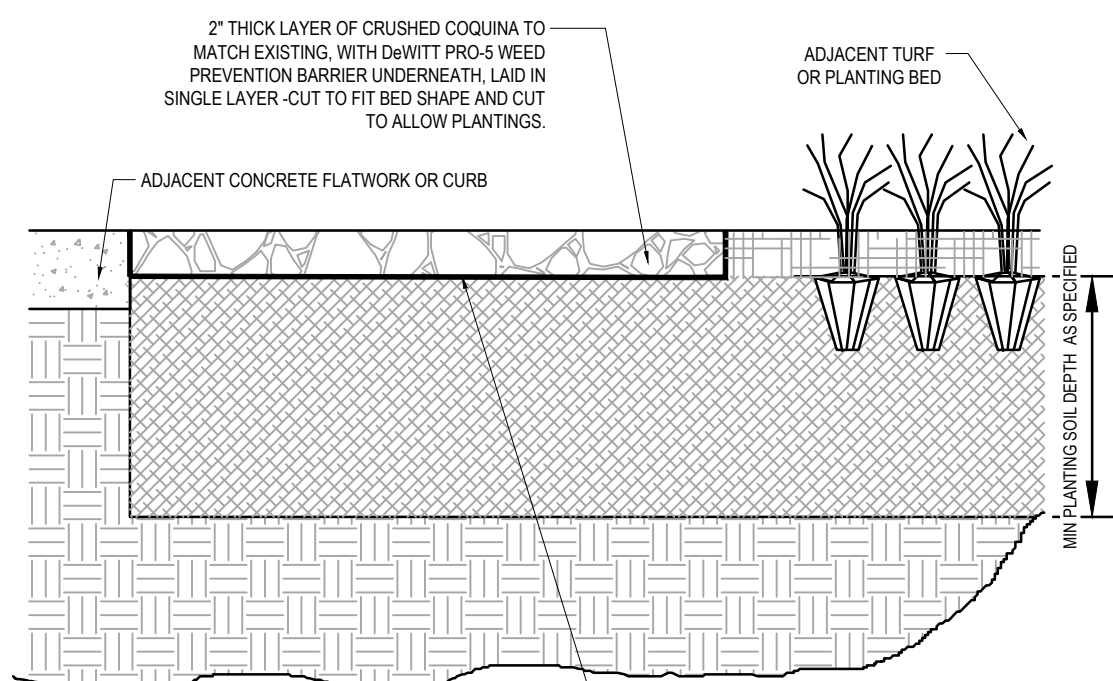
SHEET NUMBER:

L-1



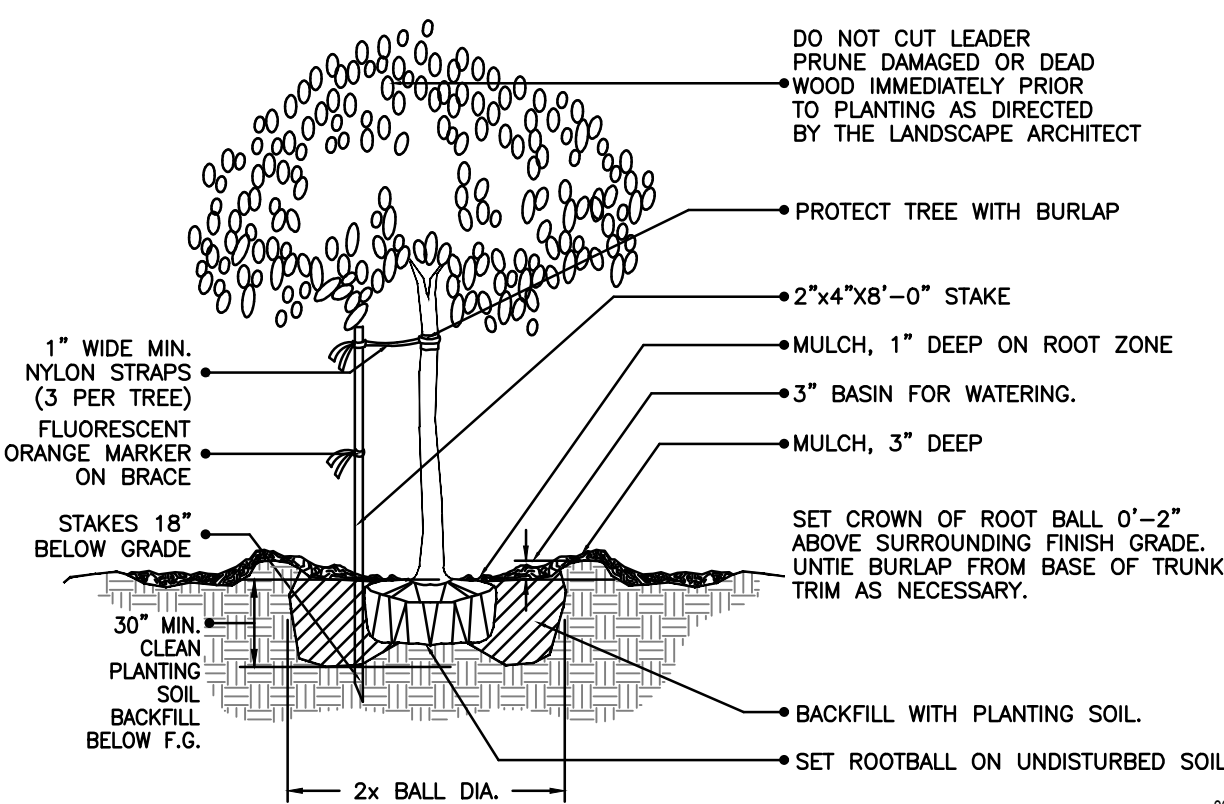
SHRUB / GROUND COVER
SPACING / PLANTING DETAIL

NT8



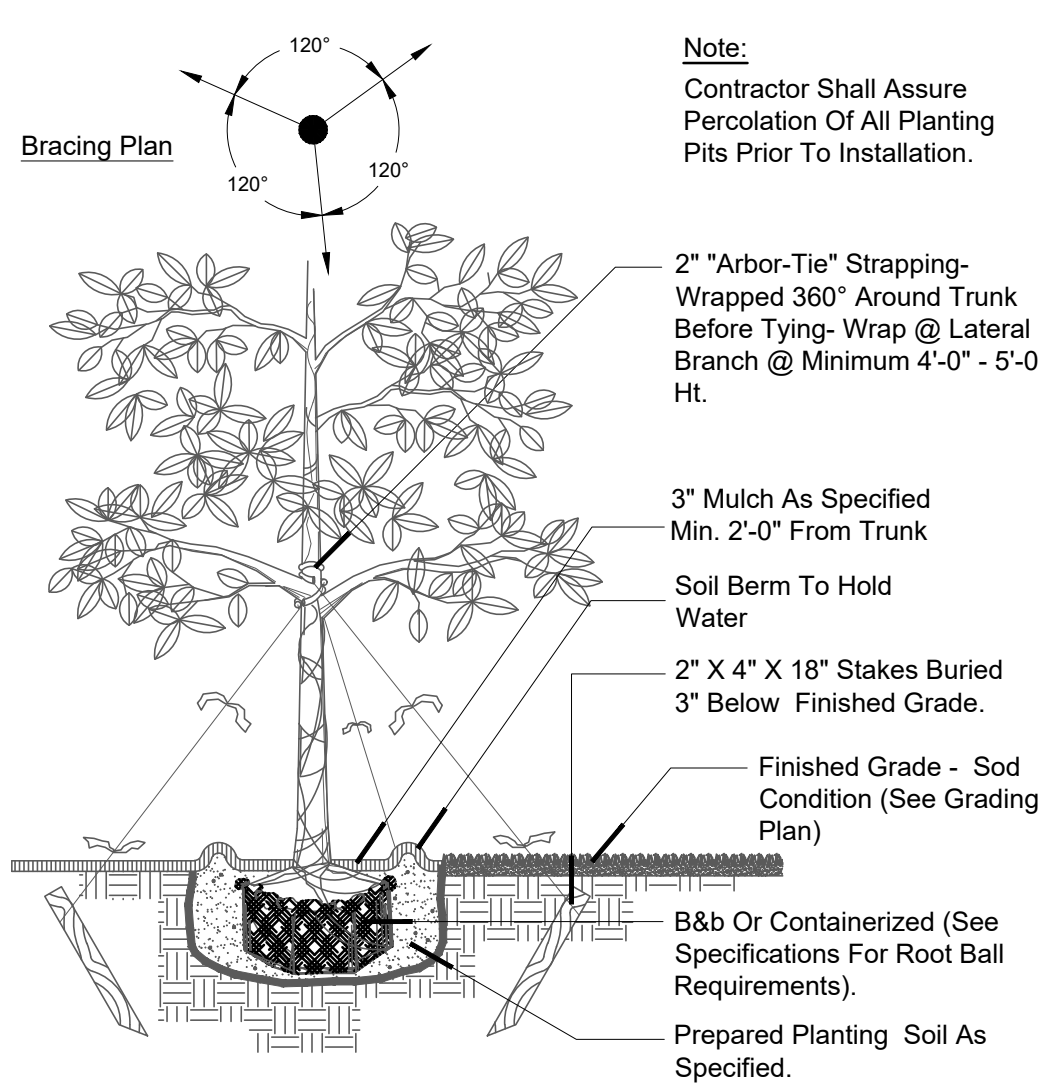
CRUSHED COQUINA INSTALLATION DETAIL

NTE



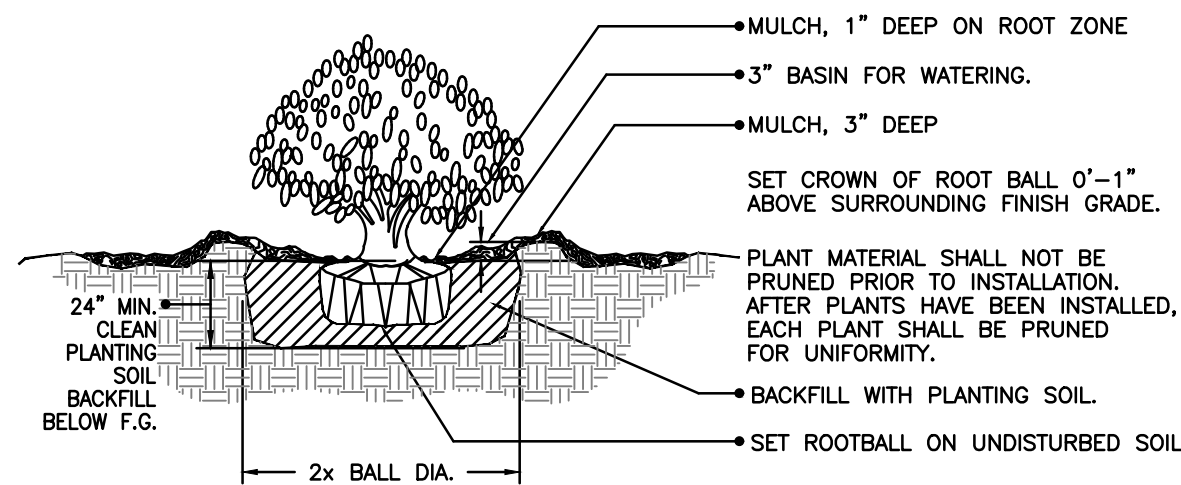
(2" cal. and under)
SMALL TREE PLANTING DETAIL

NT8



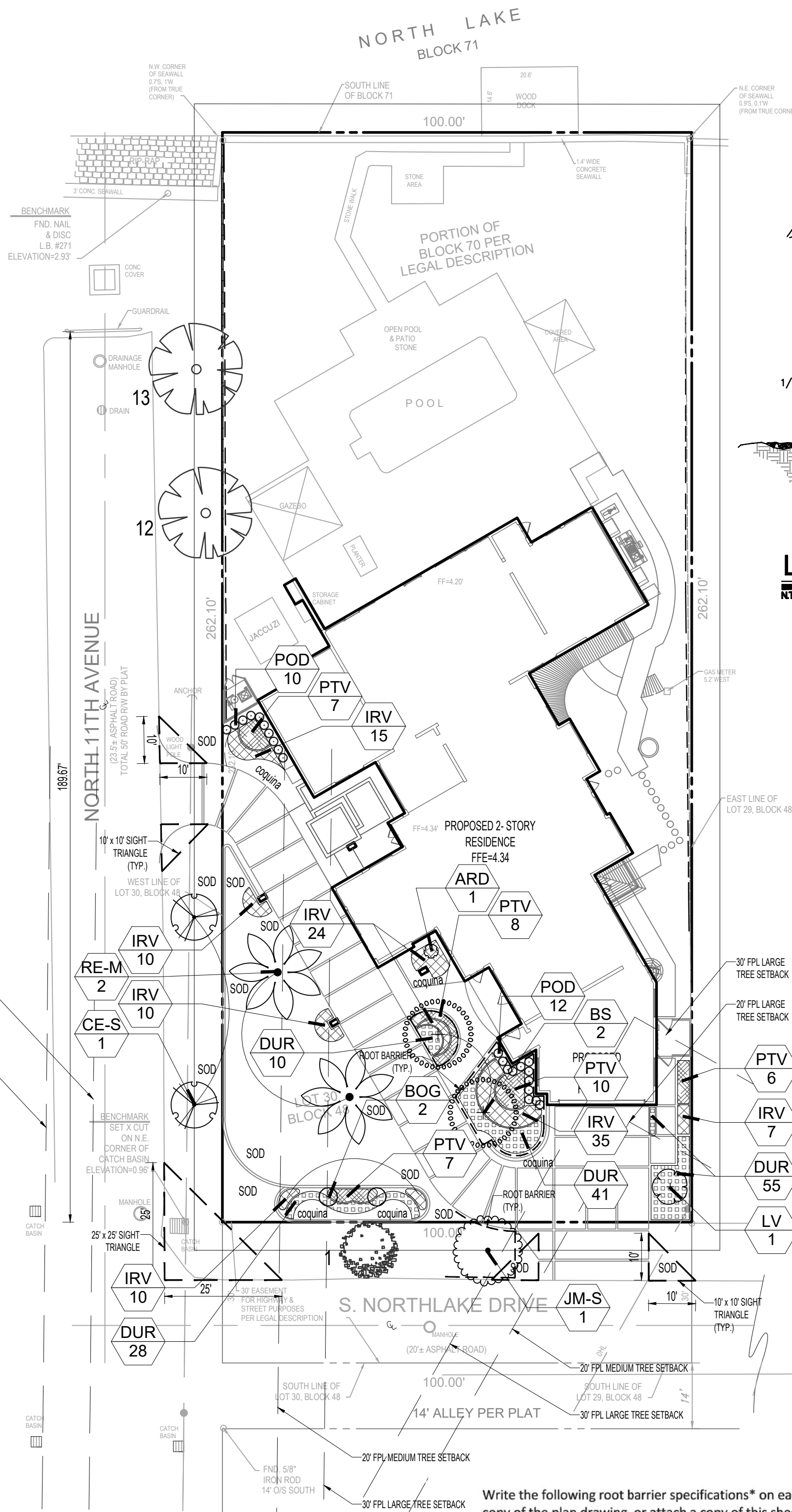
LARGE TREE PLANTING DETAIL

NT8



SHRUB PLANTING DETAIL

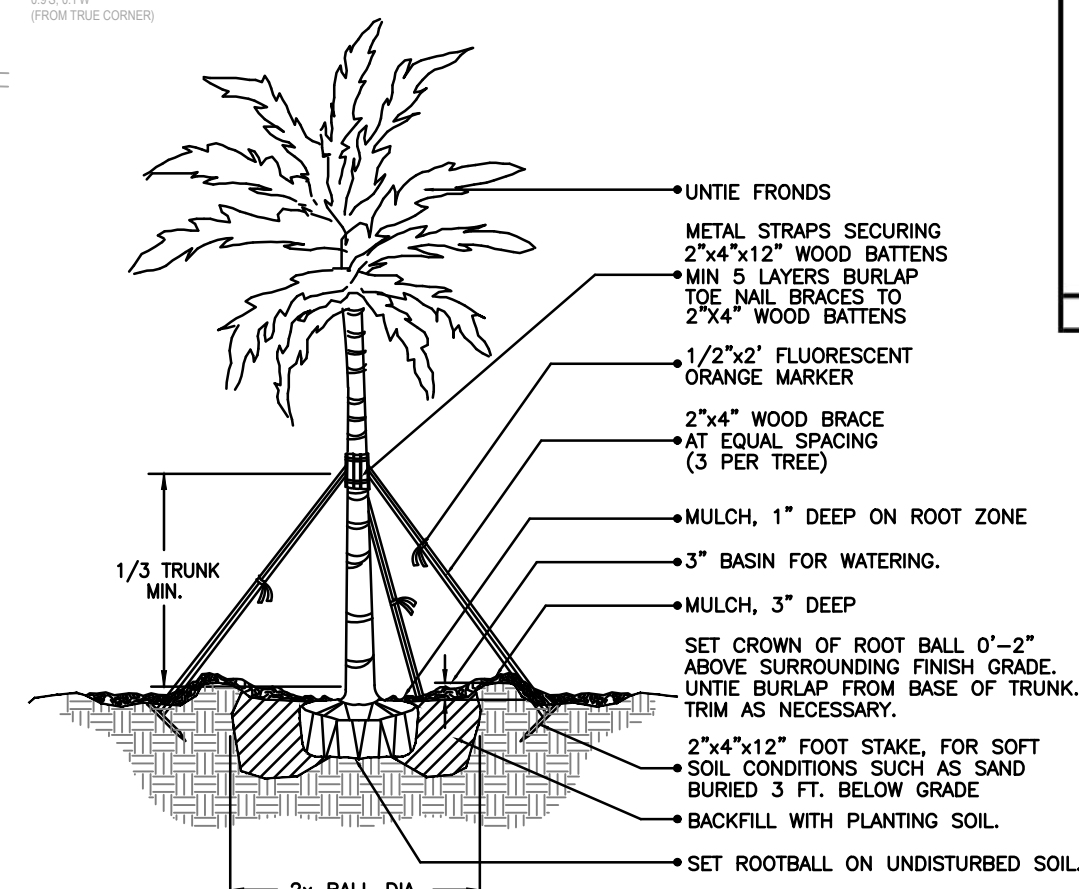
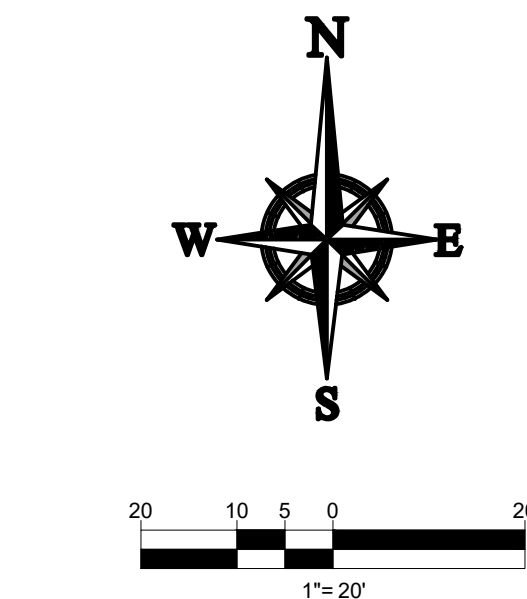
NT8



Write the following root barrier specifications* on each copy of the plan drawing, or attach a copy of this sheet.

1. Panels of 0.085" thick polypropylene
2. Zipper joining system
3. Rounded edges
4. 24" depth
5. Anti-lift pads

*Contact the Landscape Division if you propose an equivalent root barrier option.

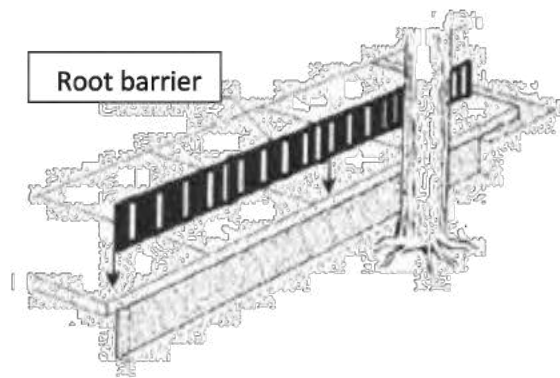


LARGE PALM PLANTING DETAIL

NT8

GENERAL LANDSCAPE NOTES

- PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY GRADES AND STANDARDS FOR NURSERY PLANTS OF THE STATE OF FLORIDA (F.S. DEPARTMENT OF AGRICULTURE, UNLESS OTHERWISE NOTED). ALL TREES SHALL BE SINGLE LEADER, FIELD GROWN/LABELLED (FGBR); CONTAINER GROWN TREES ARE NOT ACCEPTABLE & WILL BE IMMEDIATELY REJECTED UPON INSPECTION. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. THE OWNER AND GOVERNING MUNICIPALITY OPTIONS FOR ALTERNATE SPECIES BASED ON LACK OF STATEWIDE AVAILABILITY SHALL BE FURNISHED TO LANDSCAPE ARCHITECT OF RECORD A MINIMUM OF 30 DAYS BEFORE COMMENCEMENT OF CONSTRUCTION. LACK OF AVAILABILITY WILL BE VERIFIED USING THE LATEST INDUSTRY ACCEPTED PUBLICATION LISTINGS.
1. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL, AT A MINIMUM, BE OF THE SIZES AS SPECIFIED IN THE PLANT LIST. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONDUCTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DESIGN RESTRICTIONS.
2. SOO: ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. STENOPTAPRUM SECUNDATUM V. FLORIDUM UNLESS OTHERWISE NOTED. (SEE AUGUSTINE SOO SOO). ALL AREAS DISTURBED BY CONSTRUCTION NOT NOTED TO HAVE SHRUBS OR GROUNDCOVERS ON THE LANDSCAPE PLAN SHALL BE SOOED BY THE CONDUCTOR.
3. PLANTING SOO SHALL BE A WEED-FREE MIXTURE OF 50% SAND, 40% MULCH, AND 10% CANADIAN PATE. ALL PLANT MATERIAL TO RECEIVE PLANTING SOO SHALL BE AS PER DETAILS.
4. GENERAL: RECOMMENDED PLANTING SOO DEPTH: ALL TREES AND SHRUBS SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL, ARROUND AND BENEATH THE. TOPSOIL MINIMUM TOPSOIL SHALL BE 6" FOR GROUNDCOVERS AND 8" FOR SOOED GRASS AREAS. THIS IS IN ADDITION TO A MINIMUM OF 12" OF DISTURBED OR NATIVE SOIL. TOPSOIL SHALL BE PLANTED WITH A MIXTURE OF ORGANIC MATTER BETWEEN 3% WITH NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLANTING SOO EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/LIMESTONE SUBGRADE. & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREES & SHRUBS ON THE PLANTING DETAILS. TREE PITS SHALL BE EXCAVATED & BACKFILLED TO A MINIMUM DEPTH OF 30".
5. CONDUCTOR TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA INC. AT 1-800-424-7220 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
6. CONDUCTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FIELDS SO AS TO NOT CONFLICT. ALL DAMAGE TO EXISTING UTILITIES OR IMPROVEMENTS CAUSED BY CONDUCTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. CONDUCTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY OR DISPOSITION PLAN TO THE OWNER & LANDSCAPE ARCHITECT OF RECORD PRIOR TO STARTING WORK. ANY OVERHEAD POWERLINES, UNDERGROUND UTILITIES, EXISTING TREES, ETC. IN CONFLICT WITH PROPOSED LANDSCAPING, INCLUDING PAULI, RIGHT, TRIGHT, RIGHT, PLANT GUIDELINES, SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE OR DESIGNER, AND TO THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO SUBJECT PLANT MATERIAL INSTALLATION. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES SHALL BE THE FULL RESPONSIBILITY OF THE CONDUCTOR AND WILL RESULT IN THE CONDUCTOR MOVING OR REPLACING THE PLANT MATERIAL AT THEIR OWN EXPENSE. LARGE MATURING SHADE TREES (THOSE THAT TYPICALLY GROW TO A SPREAD OR HEIGHT GREATER THAN 25 FEET) SHALL NOT BE PLANTED WITHIN 20 FEET OF ANY OTHER LARGE MATURING SHADE TREES UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE LANDSCAPE PLAN. CONDUCTOR SHALL NOT WILLFULLY INSTALL PLANT MATERIALS IN CONFLICT WITH EXISTING OR PROPOSED SITE FEATURES.
7. ROOT BARRIERS SHALL BE PROVIDED FOR ADJACENT TO ALL PROPOSED UTILITIES. SEE ROOT BARRIER DETAIL ON THIS SHEET. PRODUCT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR ROOT CONTROL SYSTEMS. USE PRODUCT WHERE TREES ARE WITHIN TEN FEET (10') OR LESS OF HARDSCAPE SURFACES OF UTILITIES INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, STEPS, ROADWAYS, WALKS, AND SEWER LINES. SHALL BE TREES THAT TYPICALLY MATURE AT 8' HEIGHT OR LESS REQUIRE ROOT BARRIERS WHERE SMALL TREES ARE WITHIN SIX FEET (6') OR LESS OF HARDSCAPE SURFACES OR UTILITIES. EXISTING TREES TO BE PRESERVED (THAT ARE NOT WITHIN TEN FEET (10') OF ANY NEW UTILITIES) DO NOT REQUIRE ROOT BARRIERS. ROOT BARRIERS ARE NOT REQUIRED WHERE PROPOSED TREES ARE LOCATED ADJACENT TO TYPE CURING, THE USE OF ROOT BARRIERS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE. THE USE OF ROOT BARRIERS SHALL BE LIMITED TO THE PROTECTION OF SMALL TREES, OR MINIMUM 10' OVERALL LENGTH FROM THE CENTER OF THE TRUNK FOR MEDIUM TO LARGE MATURING SHADE TREES. MINIMUM LENGTHS OF ROOT BARRIER PRODUCTS MAY BE INCREASED BASED ON LENGTH GRAPHICALLY DEPICTED ON PLAN. (NOT AT THE DISCRETION OF THE LANDSCAPE INSPECTOR. IN PARKING LOT ISLANDS ONLY, THE ROOT BARRIER LENGTH SHALL BE PROVIDED FOR THE FULL LENGTH OF FEATURE UTILITY, STRUCTURE, OR CONVEYANCE) TO BE PROTECTED.
8. CONDUCTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS. AFTER FINAL GRADE, AREA TO BE BAKED TO 2" DEPTH AND ALL ROCK AND FOREIGN INORGANIC MATERIALS REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
9. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT OR DAMAGE UTILITIES OR IMPROVEMENTS. ALL TRENCES & EXCAVATION REQUIRED FOR INSTALLATION OF UNDERGROUND UTILITIES OR IRRIGATION EQUIPMENT ADJACENT TO EXISTING TREES & VEGETATION TO BE PRESERVED SHALL BE HAND DUG CAREFULLY AS FAR FROM THE TRUNK AS POSSIBLE.
10. NO PLUNINGS OF ANY TREE OR PALM WILL BE ACCEPTED. TRUNK FLARE SHALL BE SET 12" ABOVE FINISH GRADE FOR ALL TREES & PALMS. ALL PLANTS TO BE PLANTED AT THE NURSERY GRADE OR SLIGHTLY HIGHER.
11. CONDUCTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONDUCTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND STUNNING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT PERIOD.
12. FERTILIZER FOR GRASS AREAS SHALL BE NPK 16-4-8 @ 12.5 LBS/1000 S.F. OR 54% LBS/ACRE. NITROGEN 50% SLOW RELEASE FORM & FERTILIZER TO INCLUDE SECONDARY MICRONUTRIENTS.
13. WATERING: ALL PLANT MATERIAL SHALL BE WATERED IN AT THE TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONDUCTOR WILL CONTINUE WATERING PLANT MATERIAL UNTIL SUFFICIENT SEASONAL AND AS DEEMED THEREAFTER FOR A PERIOD OF 1 MONTH.
14. ALL PLANTS AND PLANT MATERIALS INCLUDED UNDER THIS CONDUCT SHALL BE MAINTAINED BY NURSING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE- JANKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONDUCTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONDUCTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.
15. WARRANTY: ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED BY THE CONDUCTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 45 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 75 MPH, WILL BE RE-SET AND BRACED BY THE CONDUCTOR AT NO ADDITIONAL COST TO THE OWNER. PALM, INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE 1 YEAR GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INDICATED WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY TREES, VEGEABLES, AND TREES AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (AS SPECIFIED BY THE OWNER) IN WRITING BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
16. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS.
17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
18. ROOT PRUNING ALL NEW TREES MINIMUM OF (80) DAYS PRIOR TO PLANTING.
19. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND MINIMUM 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SURFACES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE IS REQUIRED BY A LAWS & SHALL BE OPERATIONAL TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS (SEE PLAN) SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
22. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE DETAIL AROUND EXISTING TREES THAT MAY BE IMPACTED BY THE PROPOSED CONSTRUCTION. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO LANDSCAPE DETAIL FOR TREE PRESERVATION BARRICADE FINISHING.
23. IN ALL PEDESTRIAN AREAS, ALL TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE AT A 8' FOOT CLEAR TRUNK.
24. LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE WYNOT.
25. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEN BARREN. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND UPGRADE AND APPLIED AT A DEPTH OF THREE INCHES (3") MULCH IS TO BE KEPT 3" FROM THE STEM OF ALL GROUNDCOVERS & 6" FROM THE TRUNK OF ALL TREES & PALMS. MULCH SHALL BE GRADE 8 SHREDED, AND SHALL BE APPLIED EVENLY AND UNIFORM TO PLANTED AREAS. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFICALLY ALLOWED. NO PRESS MULCH OR PINE BARK SHALL BE USED.
26. PLANTINGS SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DESIGN RESTRICTIONS, WHERE DISCREPANCIES EXIST, JURISDICTIONAL CODES, STANDARDS, & REGULATIONS SHALL GOVERN.
27. ALL ABOVE GROUND EQUIPMENT SHALL BE VISUALLY SCREENED A MIN. OF 6' ABOVE THE TOP OF EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED BLACK.



ROOT BARRIER DETAIL

NTS



EBRAHIMIAN
CREATIVE GROUP

REVISIONS / SUBMISSIONS

[illegible]

SCALE:

CLIENT:
CARAISO & VEITENHEIMER

CUSTOM RESIDENCE

1051 S. NORTHLAKE DRIVE
HOLLYWOOD, FL

LANDSCAPE PLAN



RYAN J. KING EBRAHIMIAN
LA6667324

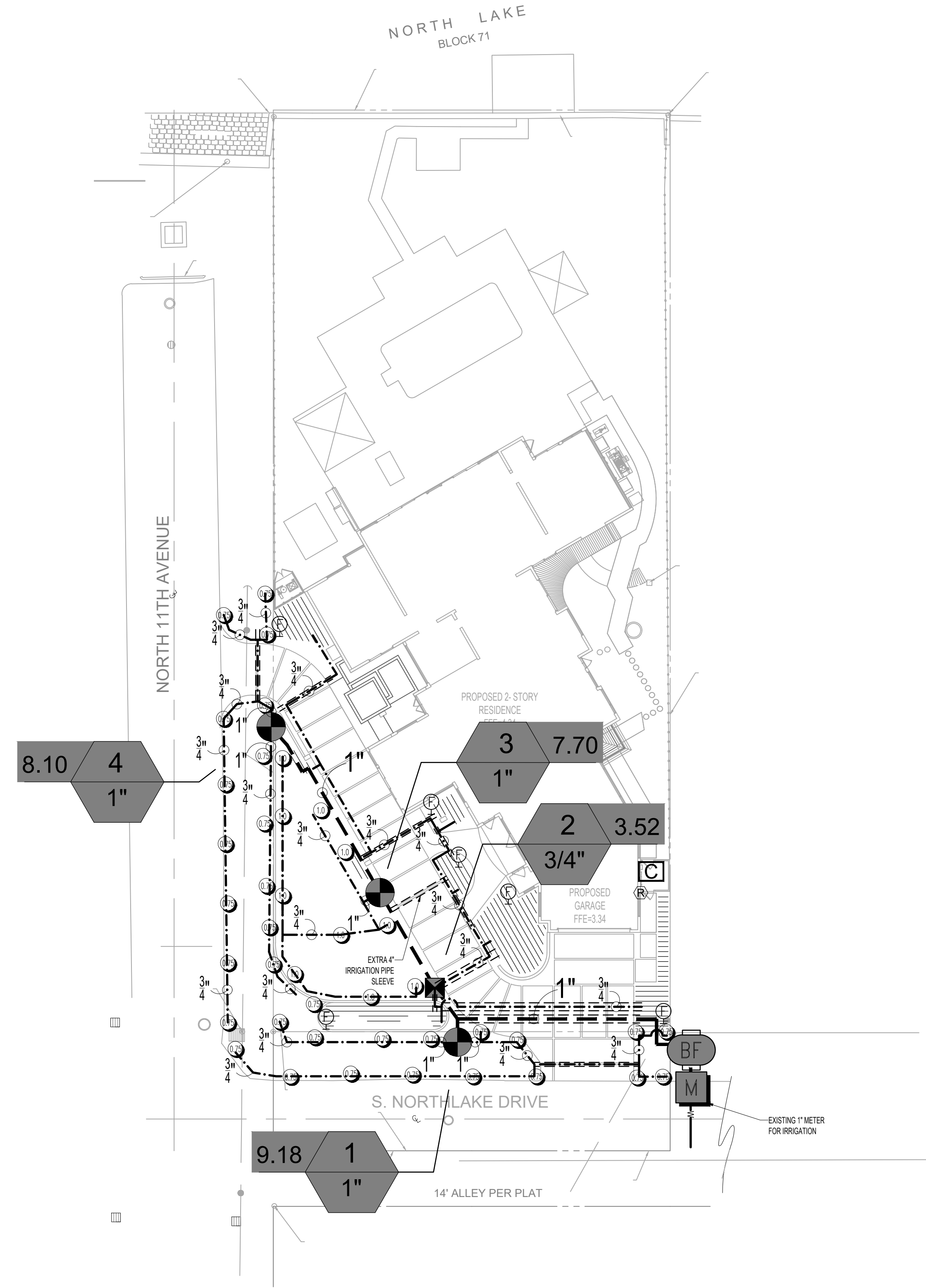
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CHECKED BY:

DATE: 2021-06-08

SHEET NUMBER

L-2



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
	Rain Bird 3506-S Shrub Rotor,adjustable and full circle	32	25	0.54	15'
	Rain Bird 3506-S Shrub Rotor,adjustable and full circle	10	25	0.77	20'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZ-075-PRF Drip Control Kit, 3/4" Low Flow Valve with 3/4" PR RBY	1
	Rain Bird MDCFCAP Dripline Flush Valve cap in compression fitting coupler.	6

	Area to Receive Dripline: Rain Bird XFD-06-18 XFD On-Surface Pressure Compensating Dripline 0.6 GPH emitters at 18" O.C. Laterals spaced at 18" apart, with emitters offset for triangular pattern. UV Resistant. XF insert fittings.	529 l.f.
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird 100-DVF 1" Diaphragm Electric Remote Control Valve with flow control. Zones with flow totals below 3 gpm shall have a 200 mesh Stainless steel filter installed upstream.	3
	Febco 765 1" (OR EQUAL IF EXISTING) Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping. Screen with shrub plantings.	1

	Rain Bird ESPME3 Existing Hybrid Modular Outdoor Controller.	1
	Rain Bird RSD-BEx Rain Sensor, with bracket, extension wire	1

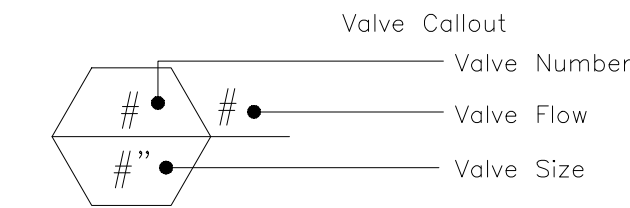
	Rain Bird RSD-BEx Rain Sensor, with bracket, extension wire	1
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	Rain Bird RSD-BEx Rain Sensor, with bracket, extension wire	1
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	Irrigation Lateral Line: Polyethylene Polyethylene SDR-7 3/4" up to 1". All lateral transition pipes to be 3/4" unless otherwise noted (1" for downstream flows >8 gpm)	833 l.f.
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	Irrigation Mainline: PVC Class 200 1"	170 l.f.
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	Pipe Sleeve: PVC Schedule 80 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	233 l.f.
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VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PRECIP
1	Rain Bird 100-DVF	1"	Turf Rotor	9.18	89	0.72 in/h
2	Rain Bird XCZ-075-PRF	3/4"	Area for Dripline	3.52	99	0.43 in/h
3	Rain Bird 100-DVF	1"	Turf Rotor	7.70	127	0.46 in/h
4	Rain Bird 100-DVF	1"	Turf Rotor Common Wire	8.10	176	0.59 in/h
				209		

WATER SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK
1	Rain Bird 100-DVF	Shrub Rotor	0.72 in/h	1	84	771.12
2	Rain Bird XCZ-075-PRF	Area for Dripline	0.43 in/h	1	140	492.8
3	Rain Bird 100-DVF	Turf Rotor	0.46 in/h	1	131	33.6
4	Rain Bird 100-DVF	Shrub Rotor	0.59 in/h	1	102	63.4
				TOTALS:	457	1360.92

GENERAL IRRIGATION NOTES:

- POINTS OF CONNECTION SHALL BE A EXISTING (ASSUMED/VERIFY) 1" METER & 1 1/2" SERVICE LINE WITH CITY WATER. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
MINIMUM PRESSURE REQUIRED 60 PSI
DESIGN STATIC WATER PRESSURE 60 PSI
MAXIMUM SYSTEM DEMAND 9.18 GPM
- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CODES & STANDARDS OF THE LOCAL CITY, COUNTY, STATE, FIRE APPENDIX F, NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), NATIONAL SANITATION FOUNDATION (NSF) & THE IRRIGATION ASSOCIATION (IA) STANDARDS & CODES WITH REGARDS TO MATERIALS, EQUIPMENT, AND INSTALLATION METHODS
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE
- PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE. 4. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING, ARCHITECTURAL, OR OTHER RELEVANT CONSULTANT PLANS BEFORE BEGINNING WORK.5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.6. THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE
- ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER. 8. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS
- PLASTIC PIPE, FITTINGS, AND CONNECTIONS SHALL BE AS FOLLOWS:
1. POLYVINYL CHLORIDE PIPE: ASTM D2241, RIGID, UNPLASTICIZED PVC, EXTRUDDED FROM VIRGIN PARENT MATERIAL, PROVIDE PIPE HOMOGENEOUS THROUGHOUT AND FREE FROM VISIBLE CRACKS, HOLES, FOREIGN MATERIALS, BLISTERS, WRINKLES AND DENTS.SDR 21, CLASS 20 FOR MAINLINE, SDR 16, CLASS 160 FOR 1-1/2" AND LARGER, OR OTHERWISE SDR 7 POLYETHYLENE PIPE FOR LATERALS.
2. POLYETHYLENE PIPE: ASTM D2239 FLEXIBLE POLYETHYLENE PIPE RATED AT 100 PSI MINIMUM WORKING PRESSURE.
3. PVC PIPE FITTINGS: ASTM D2241 SCHEDULE 40 PVC MOLDED FITTINGS SUITABLE FOR SOLVENT WELD, SLIP JOINT RING TIGHT SEAL, OR SCREWED CONNECTIONS. FITTINGS MADE OF OTHER MATERIALS ARE NOT PERMITTED.
A. SIZE SLIP FITTING SOCKET TAPER TO PERMIT A DRY UNSUPPORTED PIPE END TO BE INSERTED NO MORE THAN HALF WAY INTO THE SOCKET. NO SADDLE AND CROSS FITTINGS.
B. SCHEDULE 80 PVC PIPE MAY BE THREADED.
4. INSERT FITTINGS: ASTM D2468 INSERT TYPE FITTINGS.
5. SPRINKLER RISERS SHALL BE CUT-OFF POLYETHYLENE, HEIGHT AS REQUIRED FOR 100% COVERAGE.
6. LOW VOLTAGE WIRE CONNECTORS SHALL BE SOCKET SEAL TYPE WIRE CONNECTORS AND 3M DBY DIRECT BURY SPLICE KIT.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BYTHE OWNERS AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- MAINLINE, LATERAL LINES, CONTROL VALVES, AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY. INSTALL WITHIN PVIOUS AREA AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP CONFIRM ALL LAYOUT IN FIELD WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SCHEDULE 80 PVC SLEEVING AT LEAST TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR
- ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.15. CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO PROVIDE 100% COVERAGE WITH MIN. 50% OVERLAP TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. VERIFY ALL HEAD LAYOUT WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.
- MANUFACTURERS SPECIFICATIONS & PROPER GROUNDING TECHNIQUES SHALL BE ADHERED TO FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT. A PROPERLY INSTALLED GROUNDING SYSTEM SHOULD MAINTAIN A MAXIMUM GROUND RESISTANCE OF 10 OHMS, OR LESS MEASURE FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS. INSPECT THE GROUNDING SYSTEMS CLAMPED CONNECTIONS TO THE CONTROLLER ONCE A YEAR TO MAKE SURE THEY ARE SECURE AND CORROSION FREE.
- INSTALLER IS REQUIRED TO CONDUCT FINAL TESTING & ADJUSTMENT TO ACHIEVE DESIGN SPECIFICATIONS, FREE OF LEAKS, PRIOR TO COMPLETION OF THE SYSTEM & ACCEPTANCE BY THE OWNER OR OWNERS REPRESENTATIVE.
- FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF WORK PERFORMED UNDER THE IRRIGATION CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY FURNISH AND INSTALL ANY AND ALL PARTS AND EQUIPMENT WHICH PROVE DEFECTIVE IN MATERIAL, WORKMANSHIP OR INSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
- THIS IS AN EXISTING SYSTEM MODIFICATION. CONTRACTOR SHALL VERIFY EXISTING POC & CONTROLLER BEFORE WORK. CONTRACTOR TO ENSURE EXISTING SYSTEM IS IN GOOD WORKING ORDER & CUT/CAPE-ROUTE AS NECESSARY



REVISIONS / SUBMISSIONS

NO.	DESCRIPTION	DATE

SCALE:

CLIENT:

CARAISO & VEITENHEIMER

CUSTOM RESIDENCE
1051 S. NORTHLAKE DRIVE
HOLLYWOOD, FL

IRRIGATION PLAN

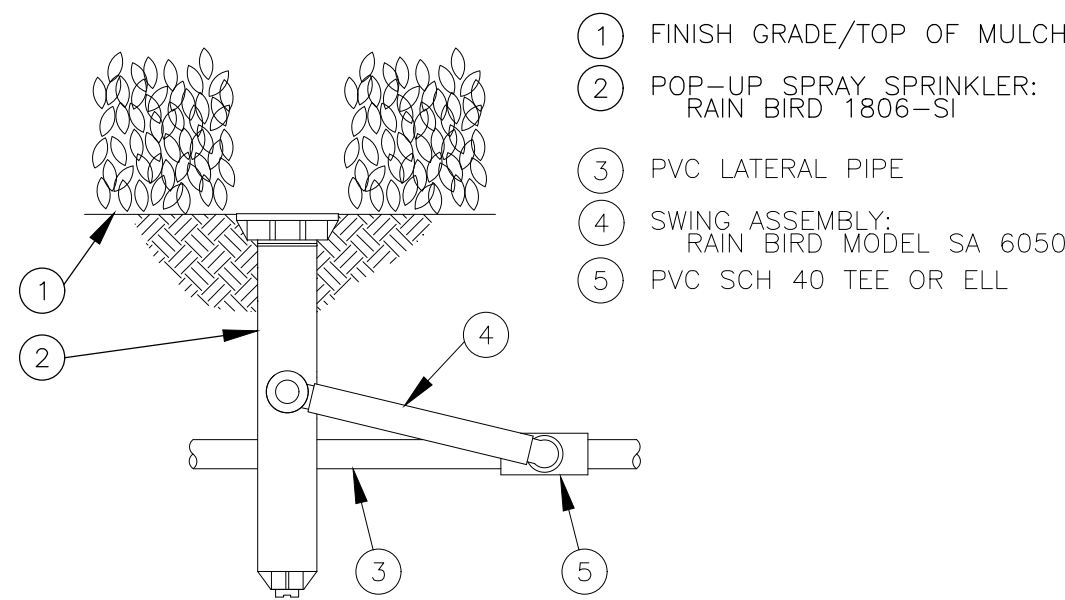


RYAN J. KING EBRAHIMIAN
LA6667324

DRAWN BY: RJK
CHECKED BY:
DATE: 2021-06-10

SHEET NUMBER:

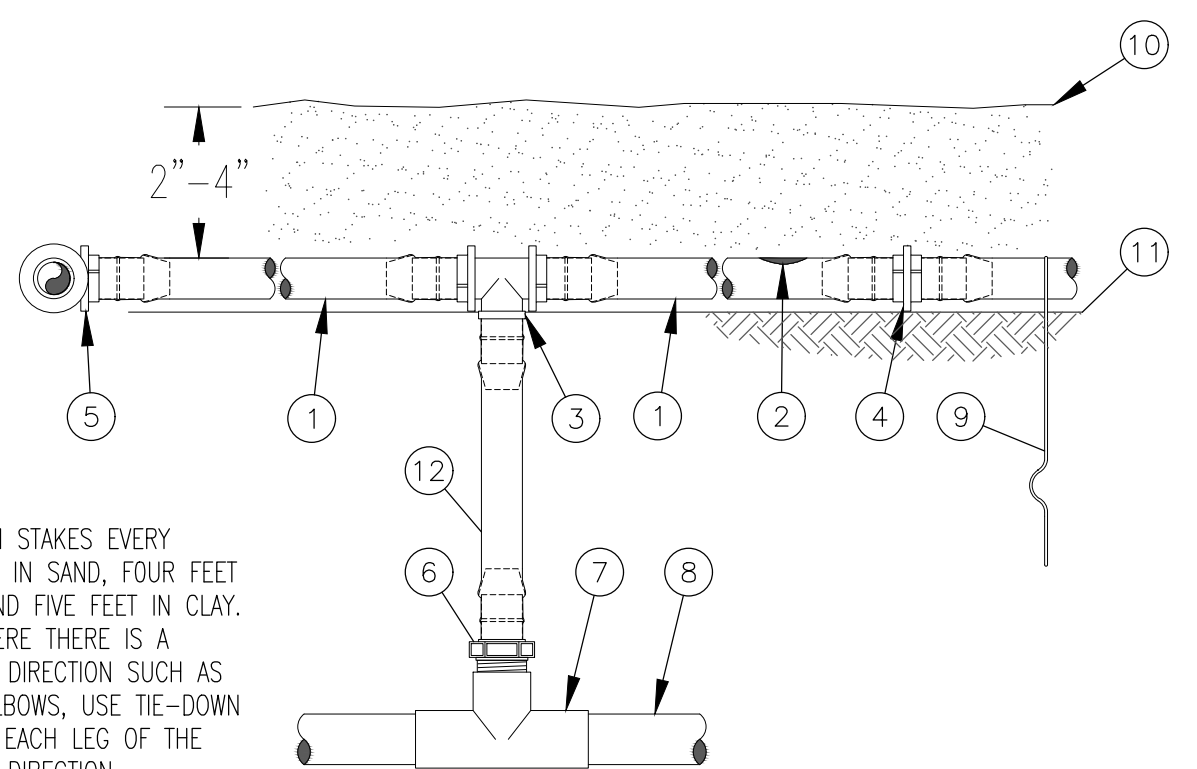
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NOTE:
SIDE INLET CONNECTION SHOULD NOT BE USED IN FREEZING CLIMATES.

A POP-UP SPRAY SPRINKLER
1806-SI WITH SWING PIPE

N.T.S.



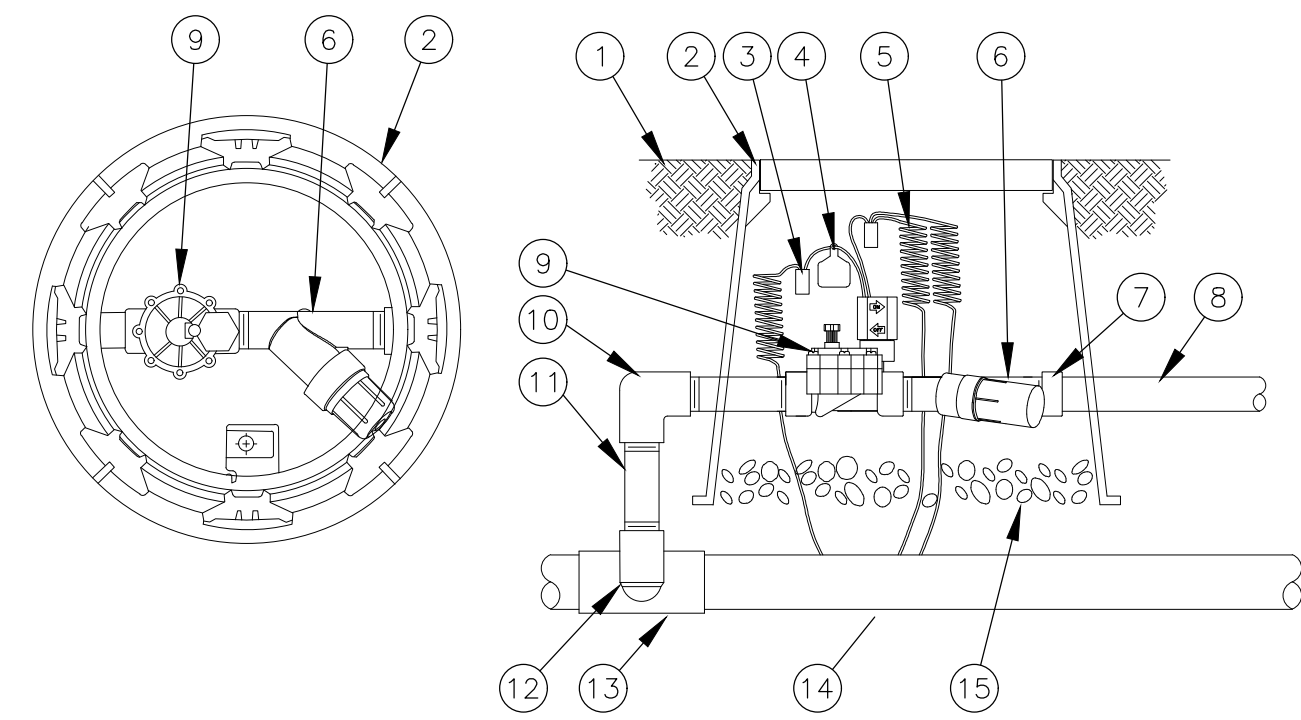
NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
3. SAVE YOUR HANDS: USE THE RAIN BIRD FITTINGS-TOOL XF INSERTION TOOL FOR FITTING ASSEMBLY.

B XFD ON-SURFACE DRIPLINE RISER ASSEMBLY

N.T.S.

12-18-2012

IRRIGATION PLAN



TOP VIEW

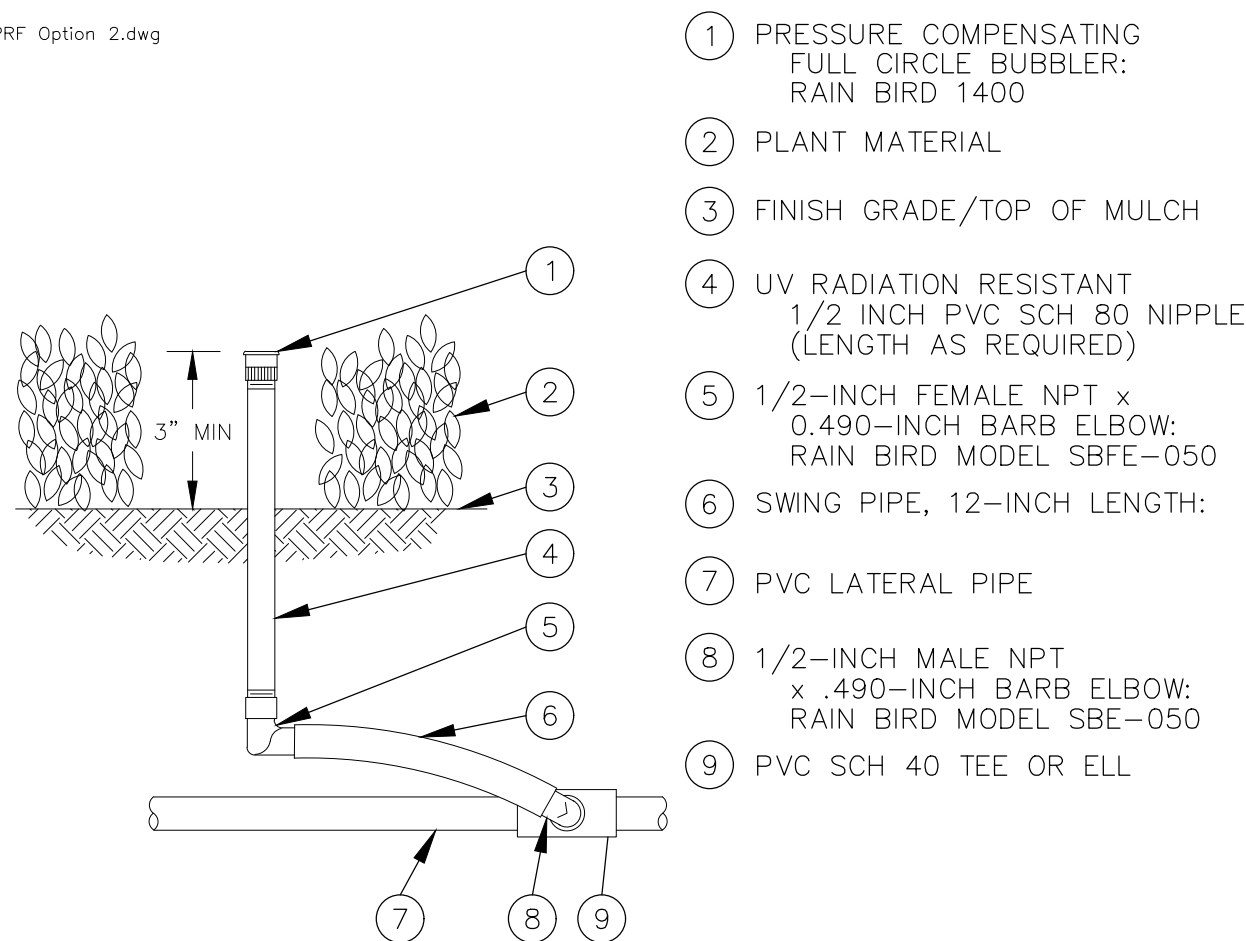
SIDE VIEW

D XCZ-100-PRF 1" CONTROL
ZONE KIT IN ROUND VALVE BOX
OPTION 2

N.T.S.

1-25-10

XCZ-100-PRF Option 2.dwg

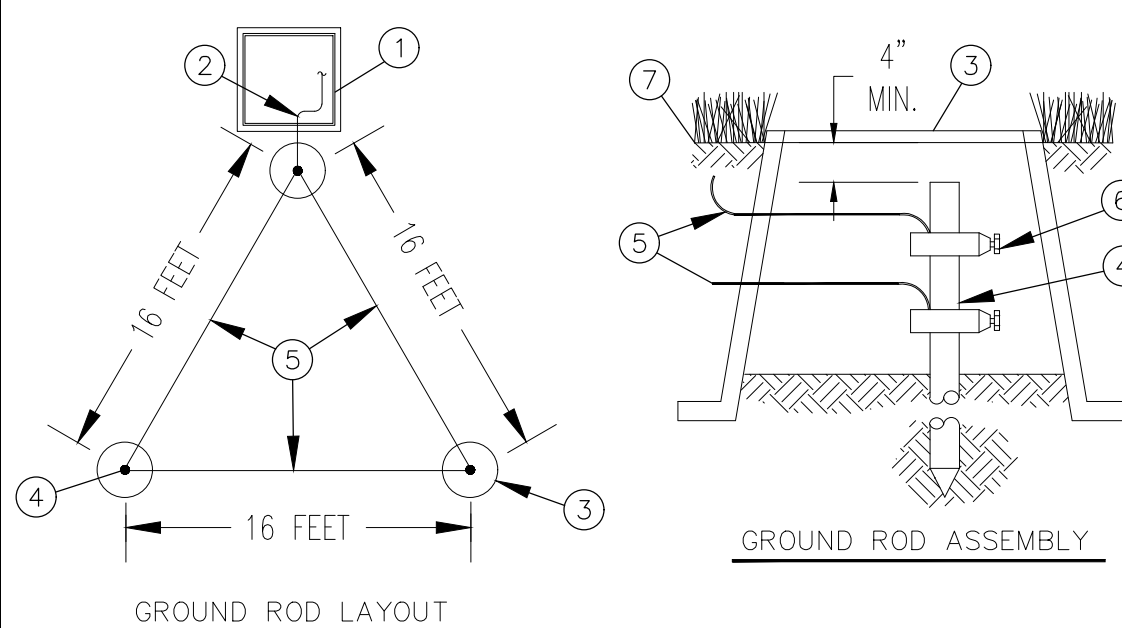


G PRESSURE COMPENSATING
FULL-CIRCLE BUBBLER
1400 SERIES ON RISER

N.T.S.

1/14/04

N-1400 ON RISER.dwg



GROUND ROD LAYOUT

GROUND ROD ASSEMBLY

J CONTROLLER GROUNDING GRID
Y DESIGN LAYOUT

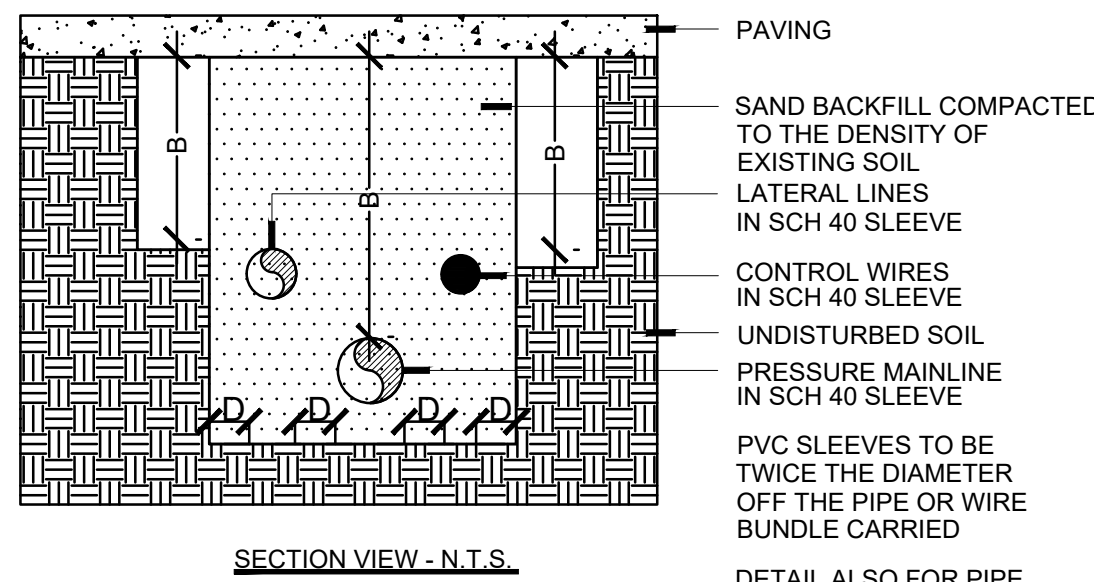
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H XFD ON-SURFACE DRIPLINE
END FEED LAYOUT

N.T.S.

12-18-2012

IRRIGATION PLAN



SECTION VIEW - N.T.S.

DIMENSION	A	B	C	D
1 1/2" TO 6" IN SIZE	36"	24"	24"	4"

K SLEEVE INSTALLATION

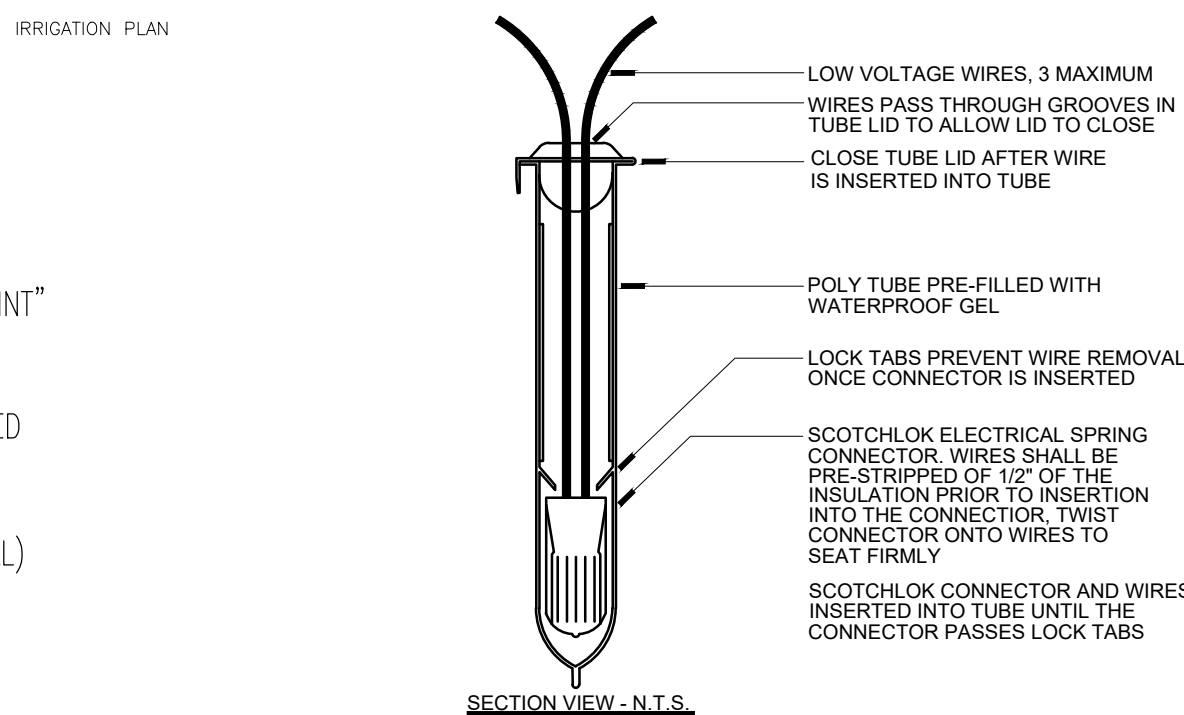
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F XFD ON-SURFACE DRIPLINE FLUSH POINT
WITH EASY FIT COMPRESSION FITTINGS

N.T.S.

12-18-2012

IRRIGATION PLAN

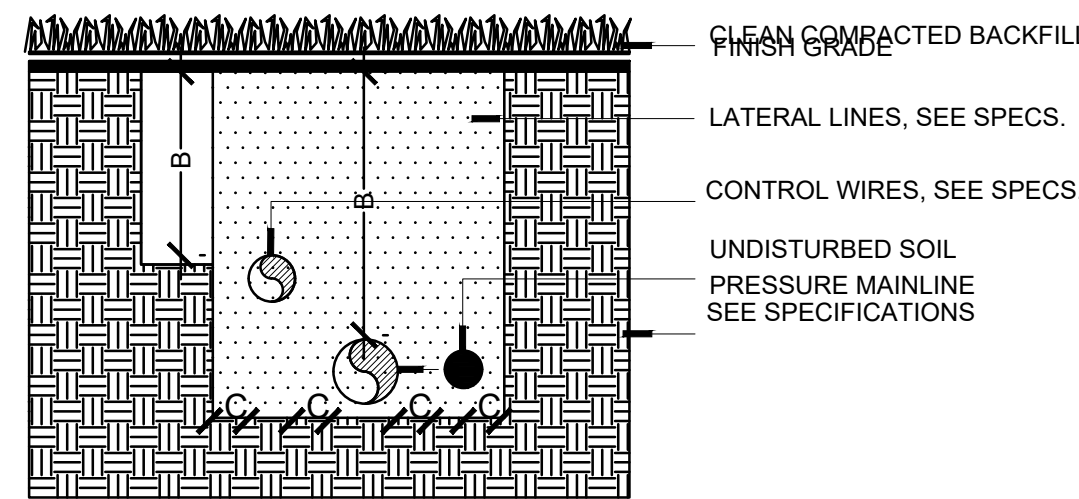


SECTION VIEW - N.T.S.

NOTE:
WIRE CONNECTOR SHALL BE A 3M DBY-6 DIRECT BURY SPLICE KITS
KIT SHALL INCLUDE A SCOTCHLOK Y SPRING CONNECTOR, A POLYPROPYLENE TUBE AND A WATERPROOF SEALING GEL TUBE SHALL BE SUPPLIED PRE-FILLED WITH GEL.
DIRECT BURY SPLICE KIT SHALL BE USED TO ELECTRICALLY CONNECT 3-#14 OR 2-#10 PRE-STRIPPED COPPER WIRES.
LARGER WIRES OR GREATER QUANTITIES OF WIRES SHALL REQUIRE A LARGER APPROVED WIRE CONNECTION.

I WIRE CONNECTION

N.T.S.

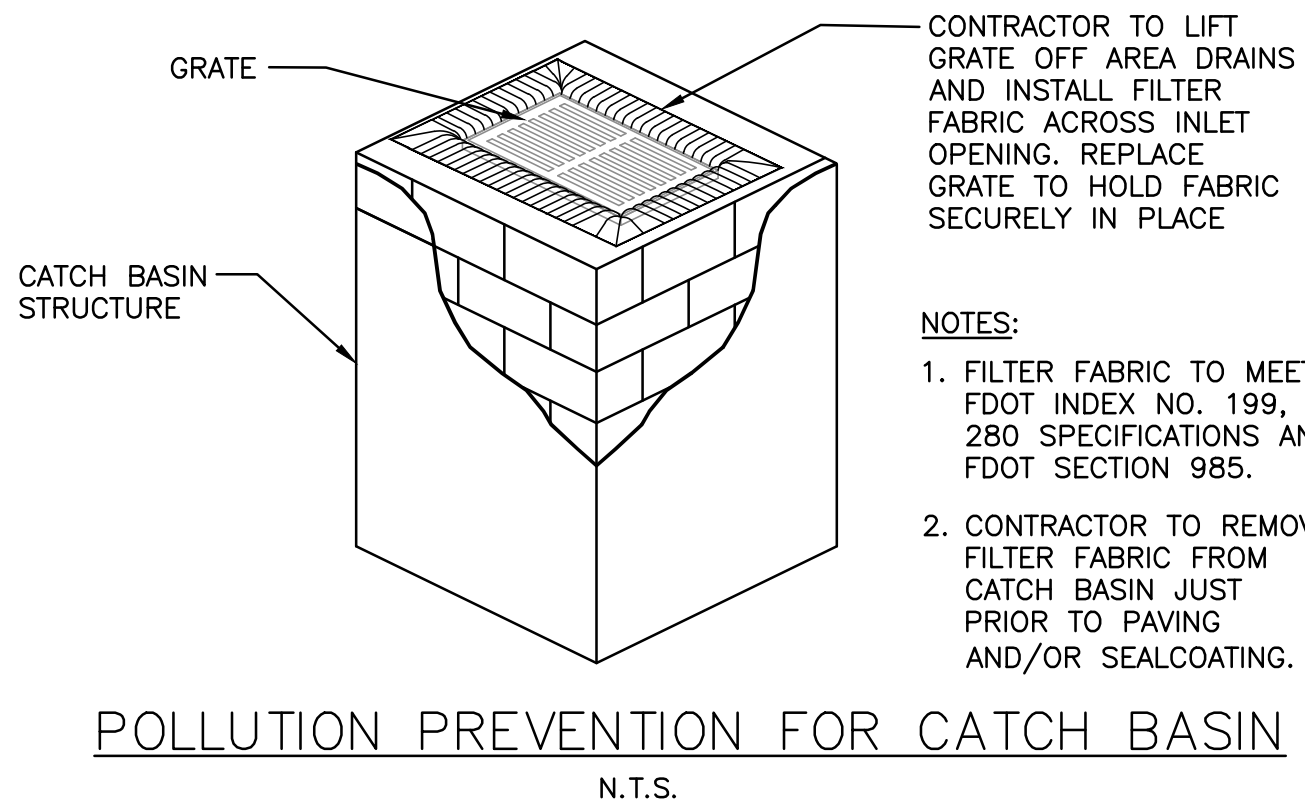
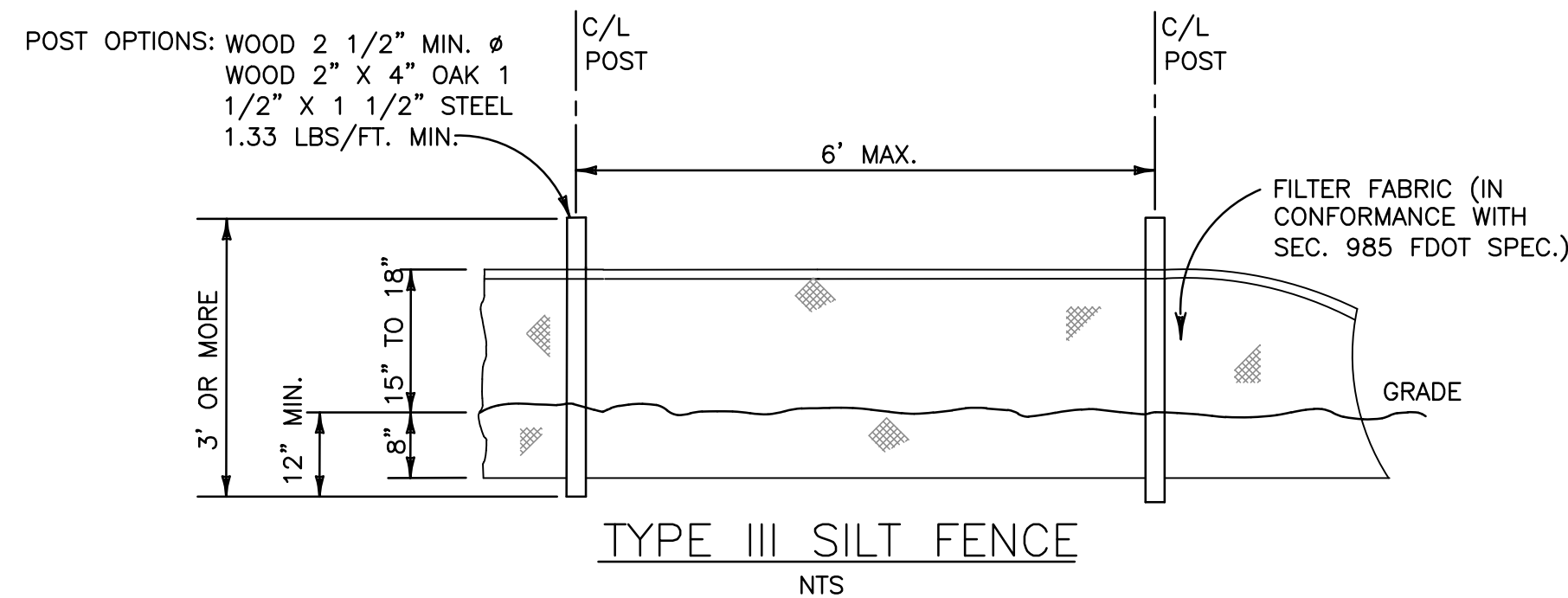
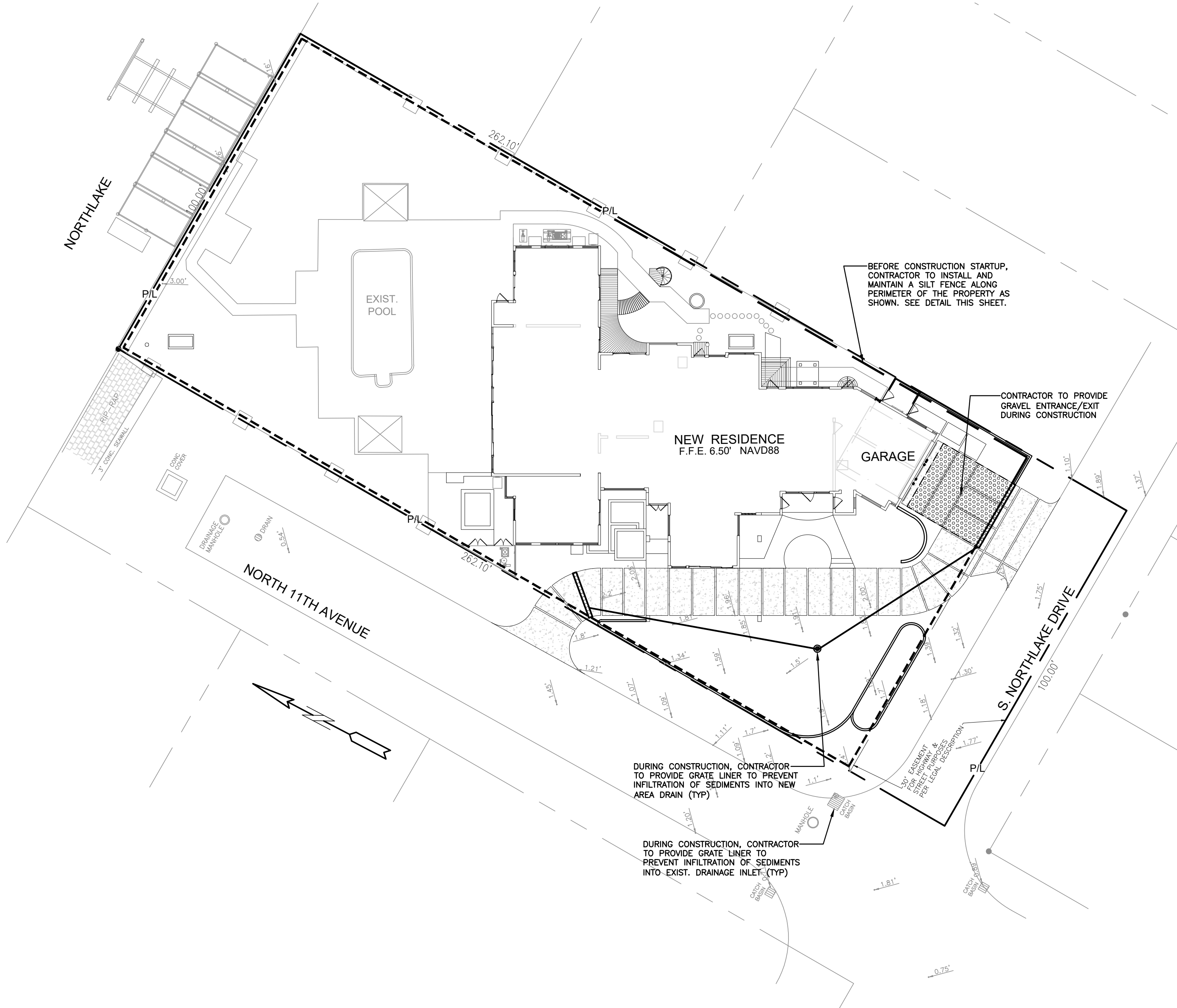


SECTION VIEW - N.T.S.

DIMENSION	A	B	C
1/2" TO 2 - 1/2" IN SIZE	18"	12"	4"
3" TO 6" IN SIZE	24"	4"	4"

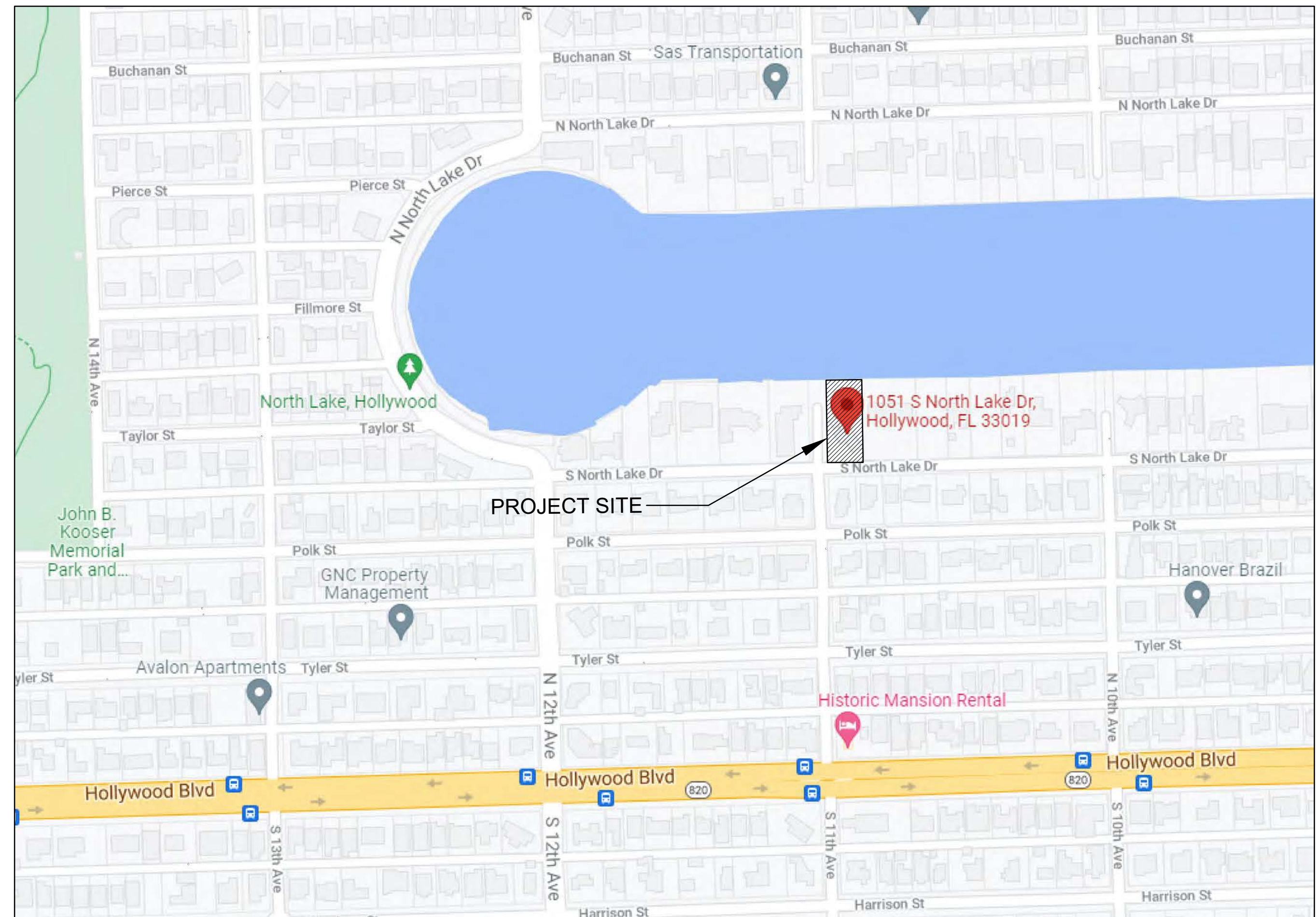
L PIPE INSTALLATION

N.T.S.



ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED GRADE
 - EXISTING ELEVATION
 - PROPOSED WATER METER
 - PROPOSED BMP DEVICE

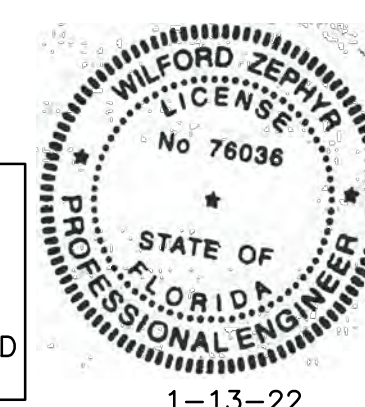


LOCATION MAP
NOT TO SCALE

- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



1-13-22

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

REVISIONS	
NO.	DATE

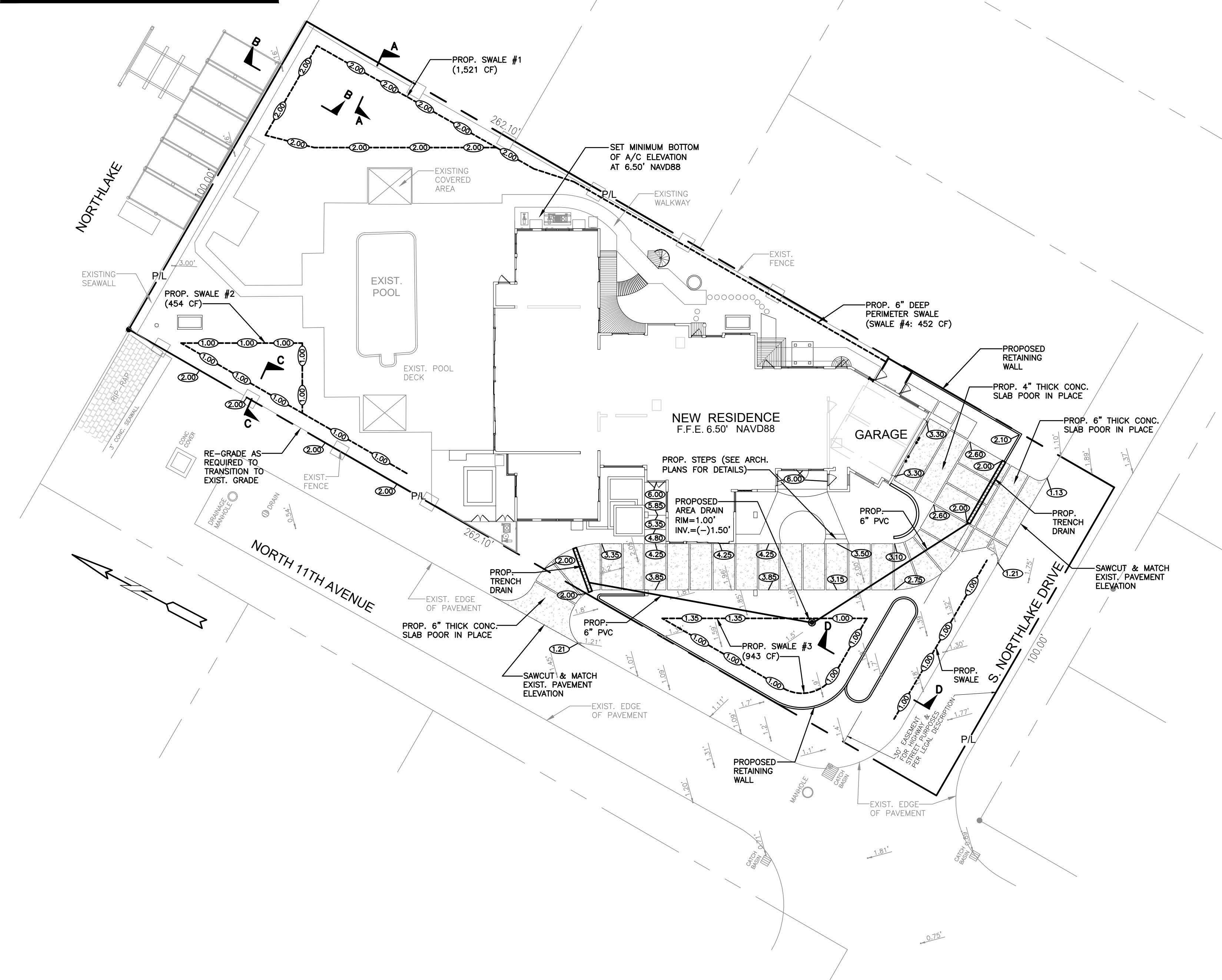
ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786) 302-7693
wzephyr@gmail.com
CA#: 31158

ZE

CARIASO & VEITENHEIMER RESIDENCE
1051 S. NORTHLAKE DRIVE
HOLLYWOOD, FLORIDA

P.E.#: 76036
DATE: 1/11/22
SCALE: 1"=20'
SHEET NO.: C1
1 OF 3
PROJECT NO.: 21-98

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
 - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
 - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
 - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
 - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
 - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
 - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

DRAINAGE CALCULATIONS:

TOTAL SITE AREA = 23,086 SF
BLDG AREA = 5,784 SF
PAVED SURFACES & POOL = 7,493 SF
TOTAL IMPERV. AREA = 13,277 SF
TOTAL PERVIOUS AREA = 9,809 SF

WATER QUALITY STORAGE REQUIRED:

$$[(2.5 \text{ IN}) \times 13,277 \text{ SF}] / (12 \text{ IN/FT}) = 2,766 \text{ CF}$$

OR

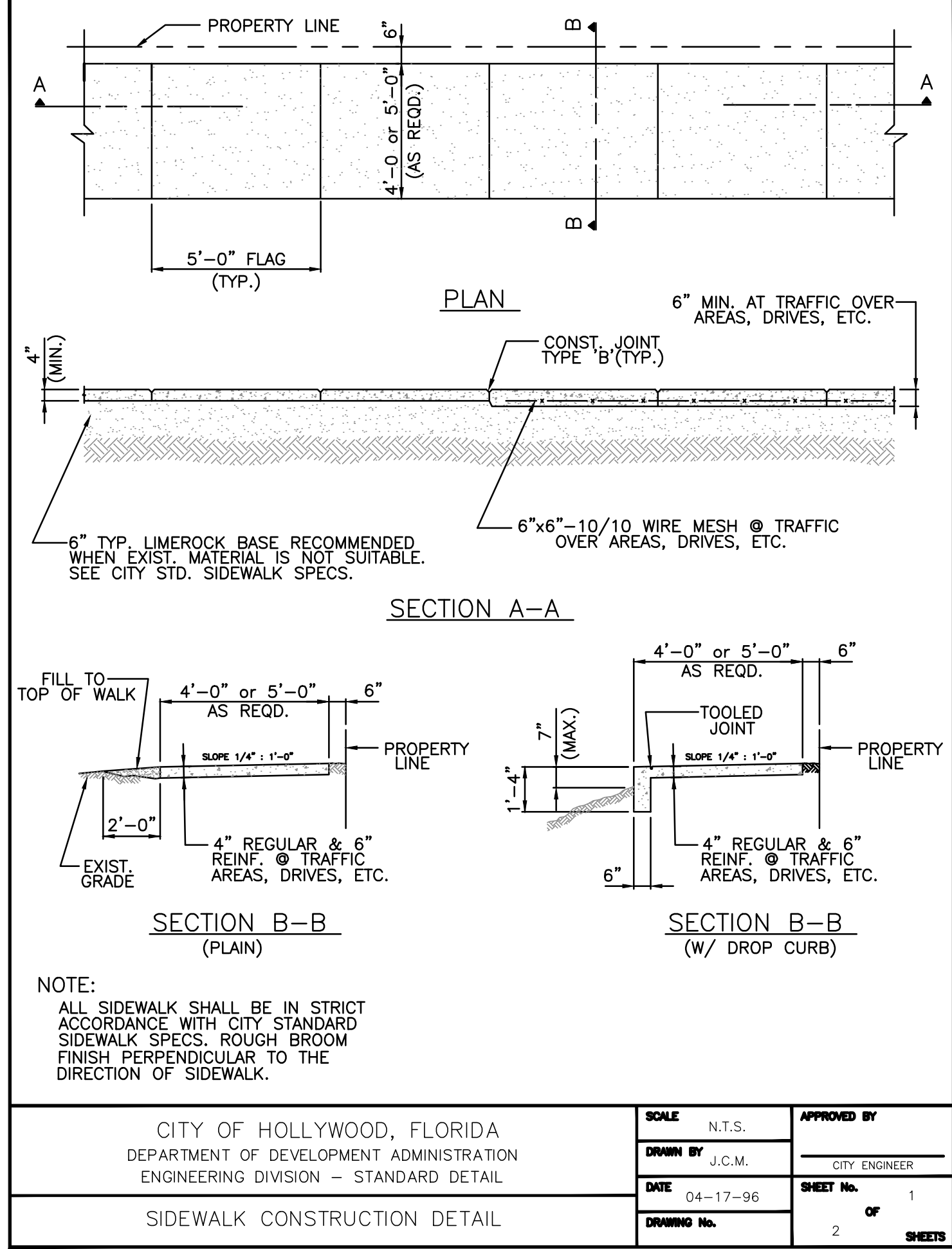
$$[(1 \text{ IN}) \times 23,086 \text{ SF}] / (12 \text{ IN/FT}) = 1,924 \text{ CF}$$

2.5 IN TIMES IMPERVIOUS AREA GOVERNS

REQUIRED STORAGE VOLUME: 2,766 CF

WATER QUALITY STORAGE PROVIDED:

SWALE AREA #1 = 1,521 CF
SWALE AREA #2 = 454 CF
SWALE AREA #3 = 943 CF
SWALE AREA #4 = 452 CF
TOTAL STORAGE = 3,370 CF



NOTE: ALL SIDEWALK SHALL BE IN STRICT ACCORDANCE WITH CITY STANDARD SIDEWALK SPECS. ROUGH BROOM FINISH PERPENDICULAR TO THE DIRECTION OF SIDEWALK.

CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF DEVELOPMENT ADMINISTRATION ENGINEERING DIVISION - STANDARD DETAIL	SCALE: N.T.S. DRAWN BY: J.C.M. DATE: 04-17-96 DRAWING No.:	APPROVED BY: CITY ENGINEER SHEET No. 1 OF 2 SHEETS
--	---	--

LEGEND

- PROPOSED CONCRETE
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED WATER METER
- PROPOSED BFP DEVICE

FEMA APPROVED FLOOD VENTS FOR GARAGE:

- 1) FEMA APPROVED FLOOD VENTS MUST BE PROVIDED FOR THE PROPOSED GARAGES PER FEMA TECHNICAL BULLETIN #1.
- 2) ONE SQUARE INCH OF FLOOD OPENING MUST BE PROVIDED PER ONE SQUARE FOOT OF GARAGE AREA. THE BOTTOM OF THE FLOOD OPENING MUST BE MAX 12-INCHES ABOVE THE ADJACENT FINISHED FLOOR ELEVATION OF THE GARAGE.

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

ZE

CARIASO & VEITENHEIMER RESIDENCE
1051 S. NORTHLAKE DRIVE
HOLLYWOOD, FLORIDA

P.E.#:76036

DATE: 1/11/22

SCALE: 1"=20'

SHEET NO.:

C2

2 OF 3

PROJECT NO.: 21-98

PAVING, GRADING & DRAINAGE PLAN

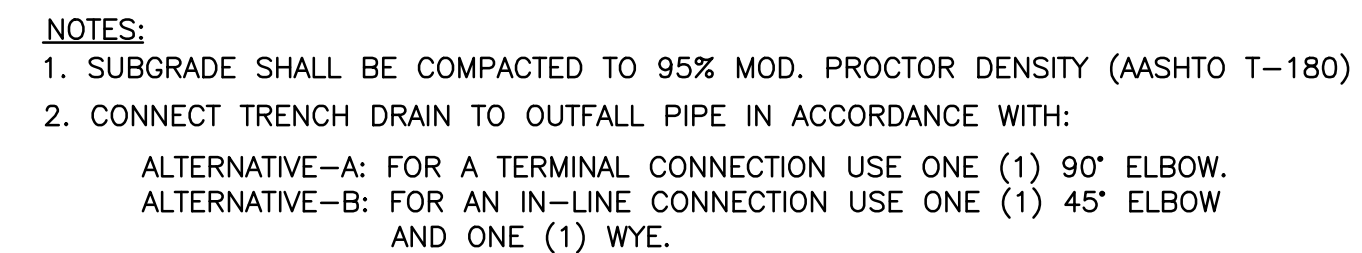
SCALE: 1"=20'

UNDERGROUND LOCATIONS AND ALL OTHER SAFETY FACTORS, ARE THE CONTRACTORS RESPONSIBILITIES.



SWALE GRADING SPECIFICATIONS

SHEET 1 OF 1



NTS

SCALE: N.T.S.

PROJECT NO.: 2



CIVIL : COLORED SITE PLAN

HOMES BY ARCHITECNIC, INC.
AA26002832

A CUSTOM RESIDENCE
HOME OWNER

CARIASO & VEITENHEIMER
LOT #29 & 30, BLOCK 48
HOLLYWOOD,

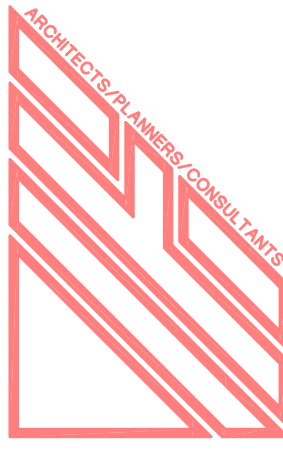
1051 SOUTH NORTHLAKE DRIVE
BROWARD COUNTY,

HOLLYWOOD LAKES SECTION
FLORIDA

FOR:

All ideas designs arrangements and plans indicated or represented by the drawings are owned by, and the property of the office and are created, revised and developed for use on, and in connection with, the specified project. None of such ideas designs arrangements or plans shall be sold by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of:

HOMES BY ARCHITECNIC, INC.
Written dimensions on these drawings shall have precedence over verbal dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown by these drawings.



12188 NW 24TH COURT
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8841



5321 SUMMIT ROAD, SUITE 10
FORT MYERS, FLORIDA 33919
PHONE: (239) 246-8841

01/24/2022

THE
ARCHITECT
ON
THE
PROJECT

Revisions:

- △
- △
- △
- △
- △
- △

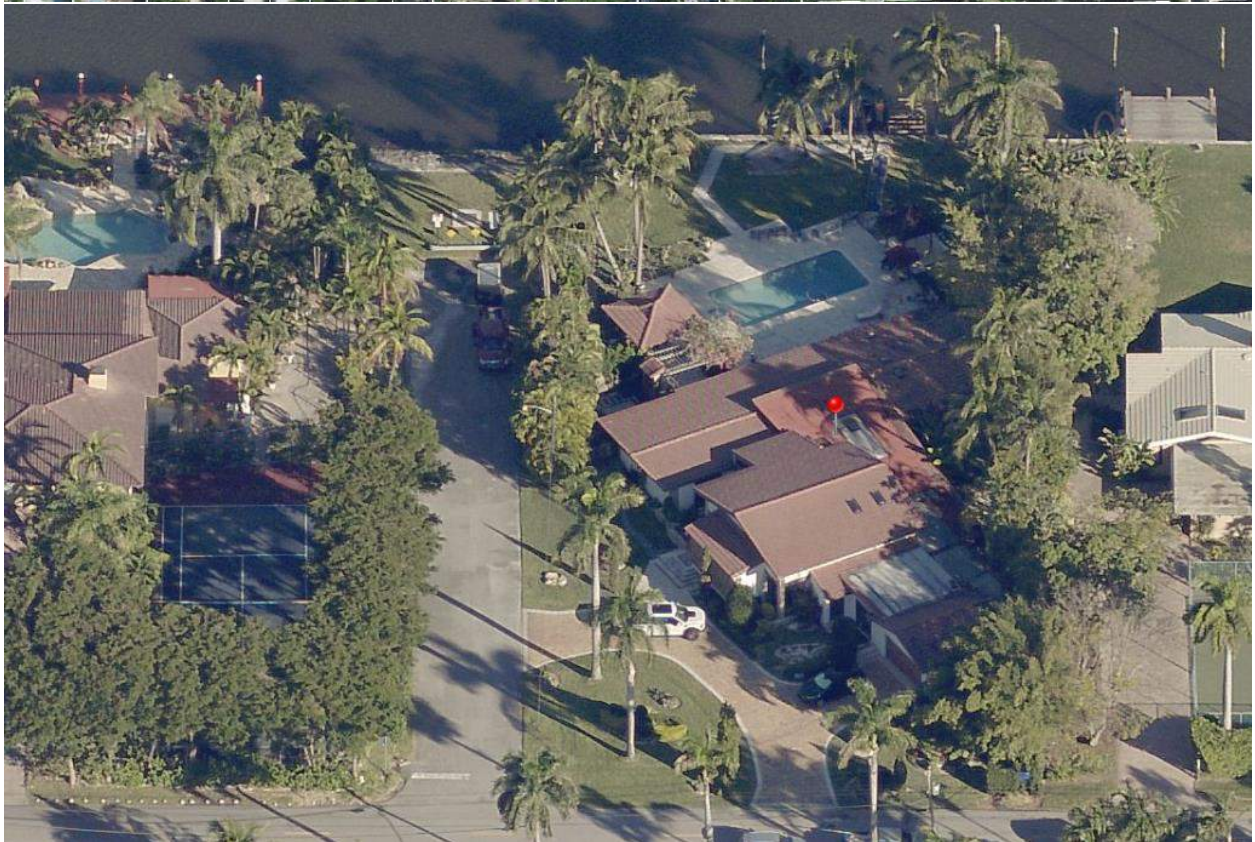
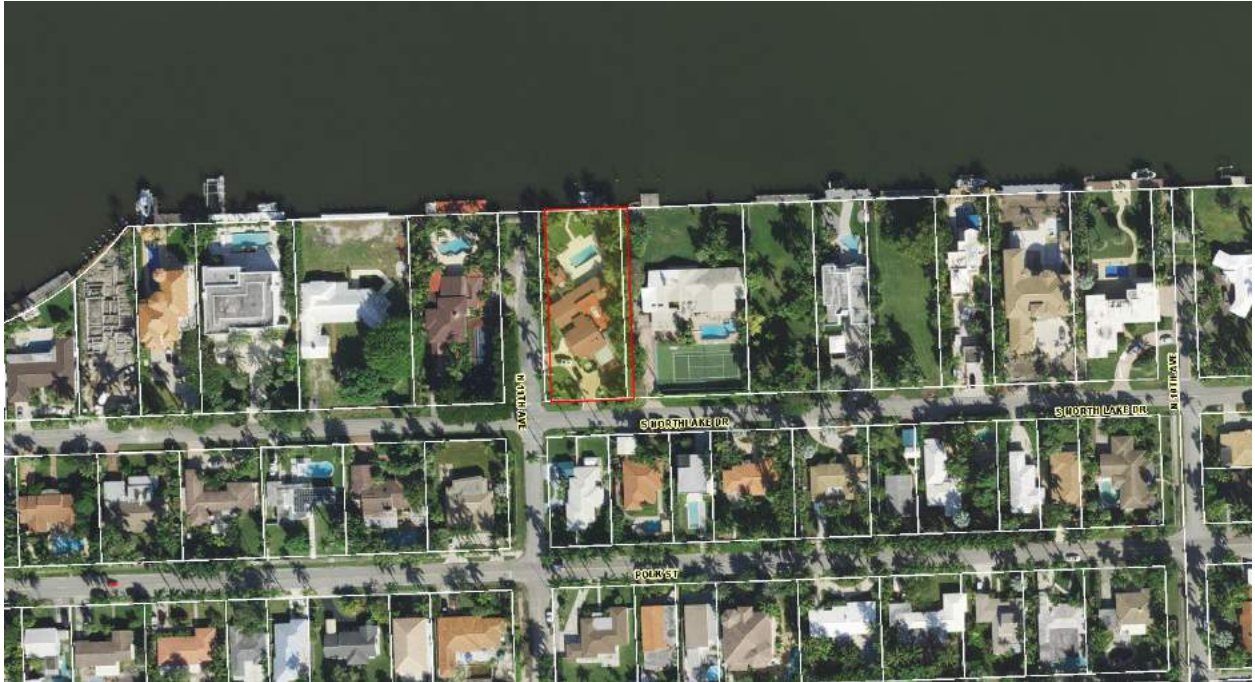






ATTACHMENT B
Aerial Photograph

**Aerial Photograph
1051 S. Northlake Drive**



ATTACHMENT C

Permit History

NAME OF
OWNER

LOUIS RITCHIE

ADDRESS OF

CONSTRUCTION 1051 So. No. 1 Ave.

LEGAL DESCRIPTION

FL-33 #0912

LOTS 29 & 30 BLOCK 48 LAKES

Owner's Present Address

Description of Construction

Cost

\$ 29,196.

SINGLE FAMILY RESIDENCE

Permit Type

No.

Date Issued

To Whom

Fixtures or On Site

Bldg.

32514

4-2-58

EARL CHILDS

Electrical

334266-30-58

Earl Childs

86

Plumbing

16124

5-6-58

Maxwell Pils

17

Gas

16124

5-6-58

Maxwell

17490000

INSPECTIONS

FOUNDATION

1st Rough Pkg

Temp. Service

COLUMNS

Final Rough Pkg

Rough Electric

TIE BEAM

Septic Tank

Temporary Final

ROOF

Grease Trap

Final Electric

GAS

Final Plumbing

Rubbish Bond

Remarks

R/B by transfer

Copy to [illegible]

JOE CARD

OWNER

RAWJEL IEZCHANO

JOB ADDRESS

1051 S. N. Lake Dr.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 8.00

VALUATION

\$

DESCRIPTION OF CONSTRUCTION

Micro for the above address - (microfilm search)

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	64801	10/14/80		SEPTIC SEWER			
ROOF				AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. P.K.			POOL			
L-P. DRY WALL				DRIVEWAY			
FENCE				PAVED DR. WALK			

NOTES:

JOB CARD

OWNER Dr. Diamond		JOB ADDRESS 1051 S. North Lake Dr.	
LEGAL DESCRIPTION	LOT NUMBER 29 - 30	BLOCK 48	SUBDIVISION OR ADDITION Hollywood Lakes 1-32
MICROFILM NO. 17-582	ARCHITECT Designs M.D.	FEE \$ 465.00	VALUATION \$ 90,000;

DESCRIPTION OF CONSTRUCTION

Relocate kitchen add bedroom, living room and bath 2 story

☐ SEPTIC TANK
☒ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 1914	5527	4-22-83	DiTocco	SEPTIC SEWER			
210 RUDF 2299	8332	8-4-83	RAMBOW & Co.	AIR CONDITION	14924	7-21-83	Parley's
ELECTRIC-BASIC	27024	7-1-83	E. R. Owen	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. 12		4-23-83	DiTocco	POOL			
SEWER-SANITARY	27025	7-1-83	RAMBOW & Co.	DRY VENTILATION	84491	9-20-83	DiTocco
LANDSCAPE				PAVING WALK			

NOTES: County Surcharge: 18.00

Energy Bldg. - Furn. letter of Certification prior to C/O

Var. #19-24-83 - Foundation Only Full Permit 6-8-83

JOB CARD

2.00

OWNER Mr. Jeffrey Diamond		JOB ADDRESS 1051 S. North Lake Dr.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 20.00	VALUATION \$ 1,200.

DESCRIPTION OF CONSTRUCTION Burglar Alarm	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TANK
---	---

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC	29612	11-28-83	Cable Sec.	MECHANICAL			
ELECTRIC SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
E P DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

County Surcharge: .40

JOB CARD

OWNER DRY DIAMOND		JOB ADDRESS 1051 S. Northlake Dr.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 6.00	VALUATION \$

DESCRIPTION OF CONSTRUCTION 1 B B Q Grill Outlet Gas	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. F.V. 2441	10/29/73	Peoples Gas	POOL			
L-P-DRY WALL				DRIVENWAY			
FENCE				PATIO or WALK			

NOTES:

FORM 1144-13

JOB CARD

OWNER MR. J. P. H. HENRICHS		JOB ADDRESS 1051 S. HUNTERDALE DR.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SECTION OR ADDITION
MICROFILM NO.	ARCHITECT	TEE 1 16.00	VALUATION \$ 3,500.00
DESCRIPTION OF CONSTRUCTION 21. 21.00			<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC SEWER			
WALK 35'0"	12020	6-12-71	PINKIE	AIR/CONDITION			
ELECTRIC WABIS				MECHANICAL			
ELECTRIC SUPP.				SCREEN			
PLUMBING NO. 15X				POSS			
1-1/2" DRY WALL				DRIVEWAY			
FENCE				PATIO WALK			

NOTES:

FORM 100-10

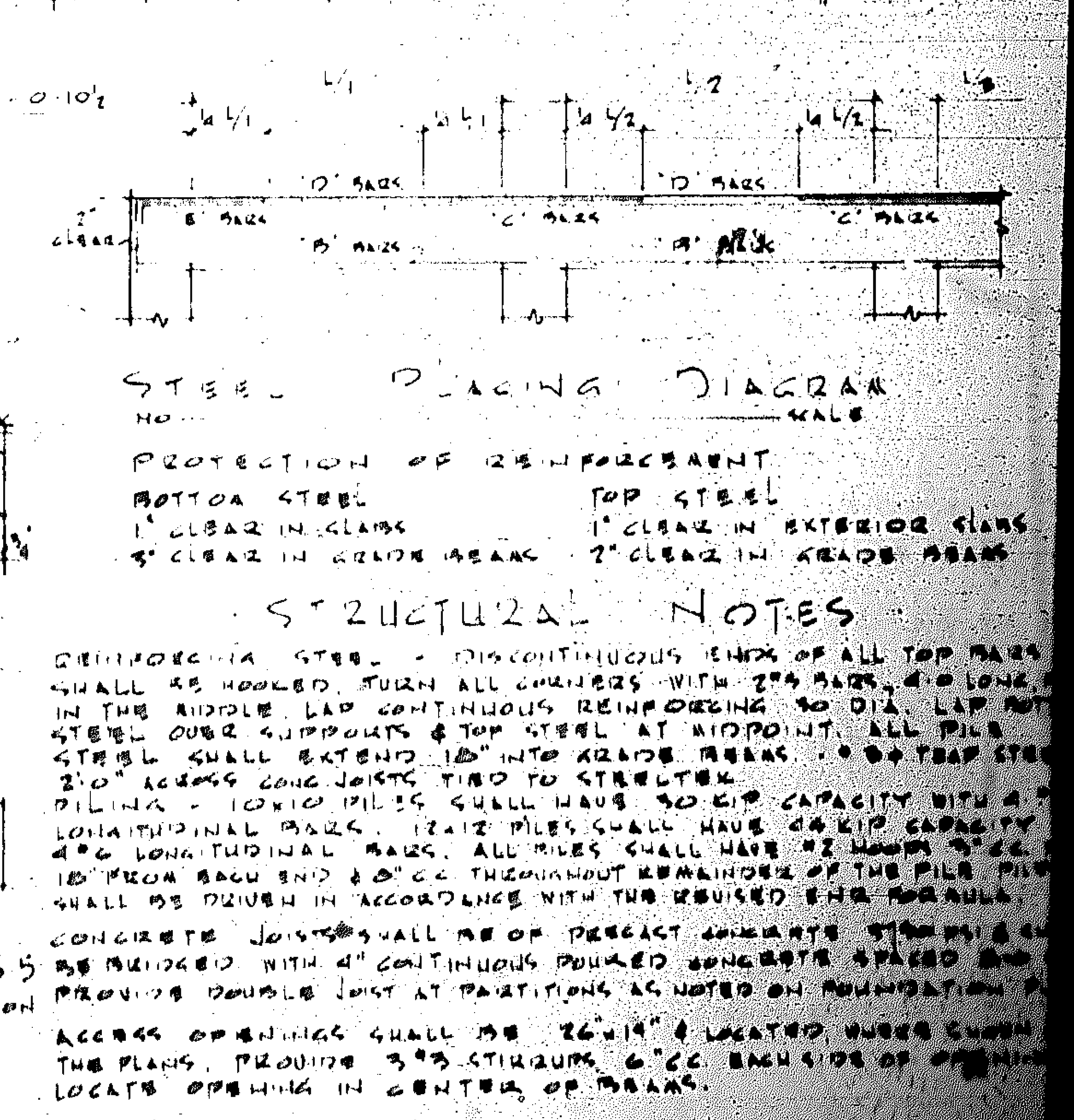
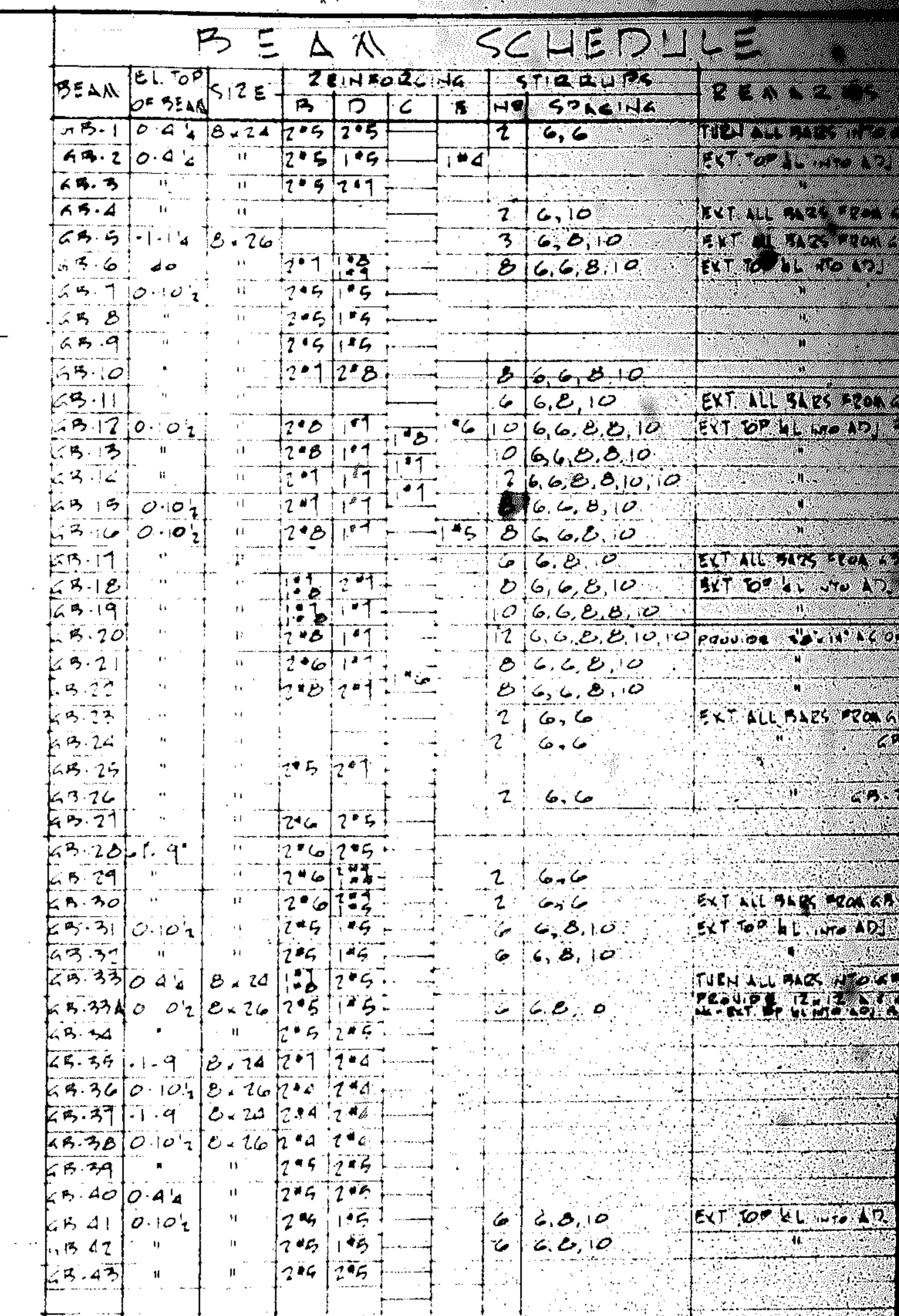
Permit Search Results

[Search](#) > Properties located at/on/near '**...1051 s...**'

**30 permits were found for
1051 S NORTHLAKE DR**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		M18-100169	A/C CENTRAL (REPLACEMENT)	2/9/2018	3/20/2018
Details		M17-101554	A/C DUCTS (REPLACEMENT)	12/14/2017	1/31/2018
Details		M17-101353	A/C DUCTS (REPLACEMENT)	10/31/2017	
Details		B17-101312	FENCE-MASONRY/CONCRETE/PVC	3/7/2017	4/27/2017
Details		M16-100281	A/C CENTRAL (REPLACEMENT)	3/19/2016	11/22/2017
Details		P14-100375	FIXTURES-PLUMBING	4/9/2015	4/20/2015
Details		B14-104287	DECK - WITHOUT ROOF	9/4/2014	10/1/2014
Details		B14-103309	DRIVEWAY	7/3/2014	7/24/2014
Details		P14-100537	POOL REMARCITE	3/25/2014	4/8/2014
Details		B14-100931	ALTERATIONS-INTERIOR	2/27/2014	4/24/2014
Details		B14-100884	DRIVEWAY	2/25/2014	
Details		B08-104466	HURRICANE SHUTTERS	10/1/2008	10/1/2008
Details		B08-103830	REROOF - FLAT	8/15/2008	8/22/2008
Details		B08-103012	REROOF - COMBINATION OF TYPES	6/26/2008	6/27/2008
Details		M07-100627	A/C WINDOW/WALL UNIT	5/28/2008	5/28/2008

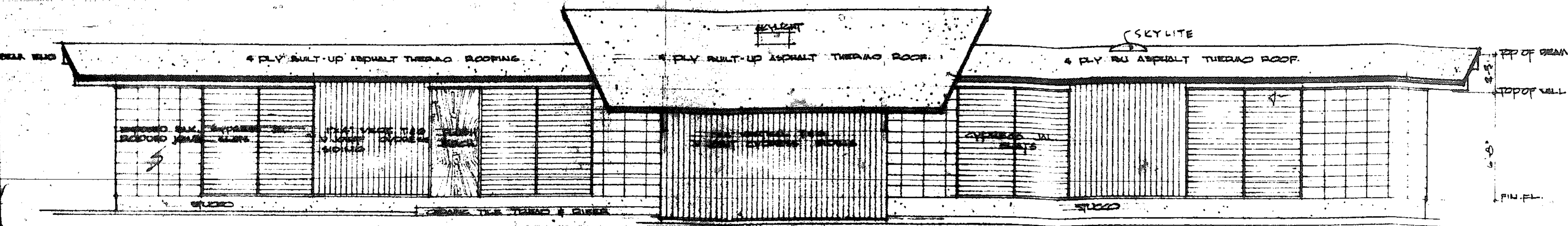
<u>Details</u>		E07-100770	ELECTRICAL WORK	4/9/2008	4/22/2008
<u>Details</u>		B07-101928	CONVERSION	8/7/2007	4/22/2008
<u>Details</u>	54522	E0302108	OUTLETS,SERVICE,PANELS,ETC	8/22/2003	9/4/2003
<u>Details</u>	51519	B0303417	DEMOLITION(OTHER THAN COMPLETE BUILDING)	6/24/2003	6/24/2003
<u>Details</u>		B0004818	RE-ROOF (METAL,TILE,WOOD,SHINGLE,SHAKE)		6/28/2000
<u>Details</u>		P9300620	POOL PIPING AND FILTER EQUIPMENT		5/26/1993
<u>Details</u>		E9301646	POOL/SPA ELECTRICAL		5/26/1993
<u>Details</u>		B9303532	DECK - WITHOUT ROOF		5/26/1993
<u>Details</u>		B9303531	POOL - RESIDENTIAL		5/26/1993
<u>Details</u>		B9207596	RE-ROOF-FLAT		11/16/1992
<u>Details</u>		P9201166	POOL PIPING AND FILTER EQUIPMENT		11/4/1992
<u>Details</u>		E9203121	POOL/SPA ELECTRICAL		11/4/1992
<u>Details</u>		B9207340	DECK - WITHOUT ROOF		11/4/1992
<u>Details</u>		B9207339	POOL - RESIDENTIAL		11/4/1992
<u>Details</u>		B9207239	DOCK		10/30/1992



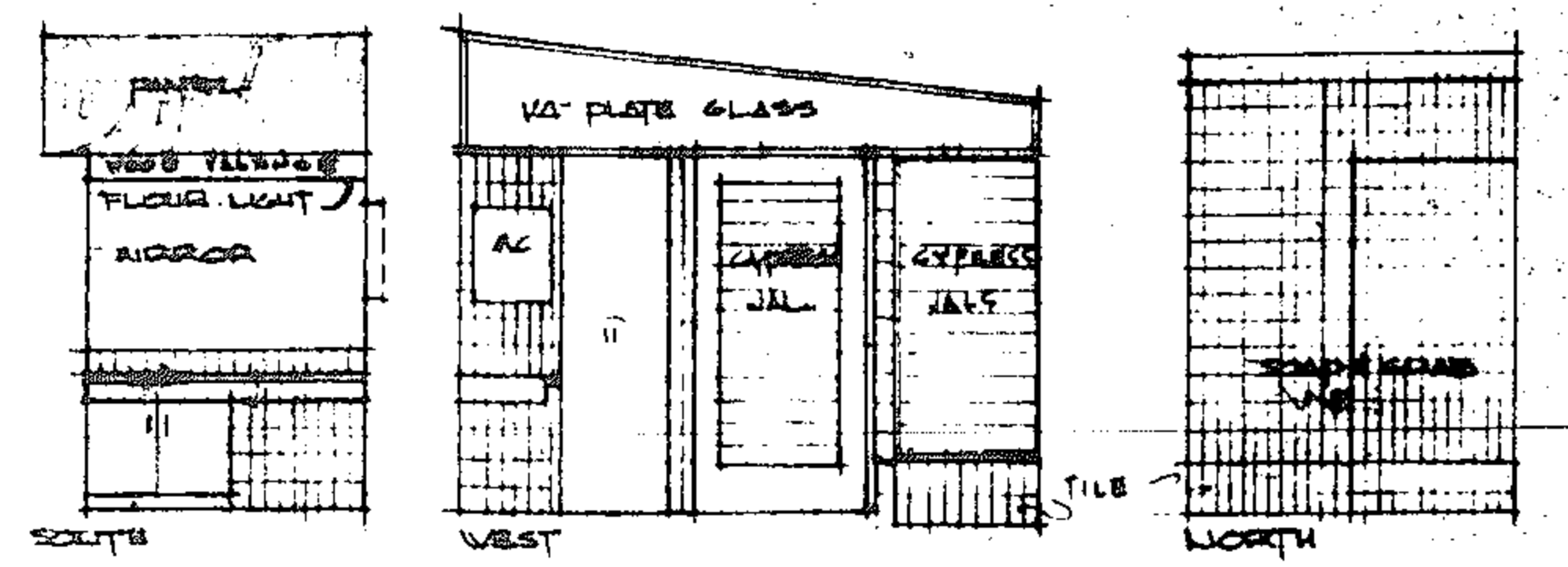
FOUNDATION PLAN & DETAILS

STRUCTURAL ENGINEER
RALPH J. SPOLTER
MIAMI BEACH, FLORIDA

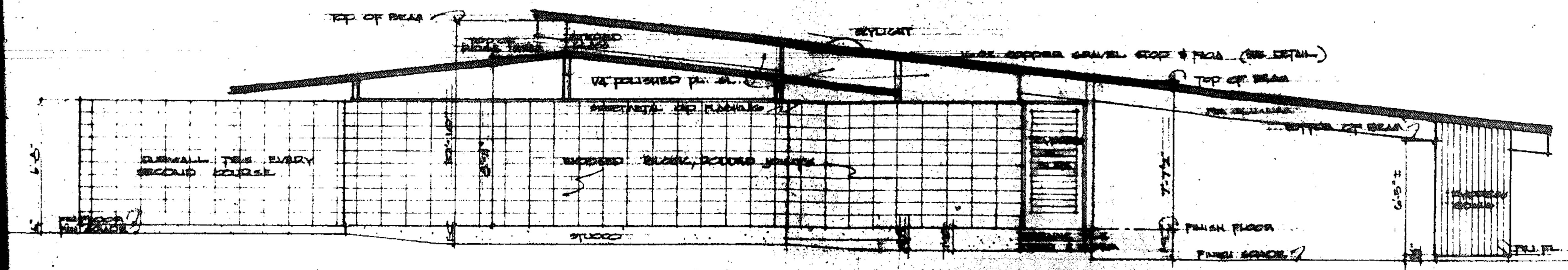
11A2	2 RESIDENCE FOR MR. & MRS. LOUIS R. TUNNEY HOLLYWOOD, FLORIDA
1658	CHARLES E. REED JR. ASSAULT 2040 JAMESON STREET HOLLYWOOD, FLORIDA



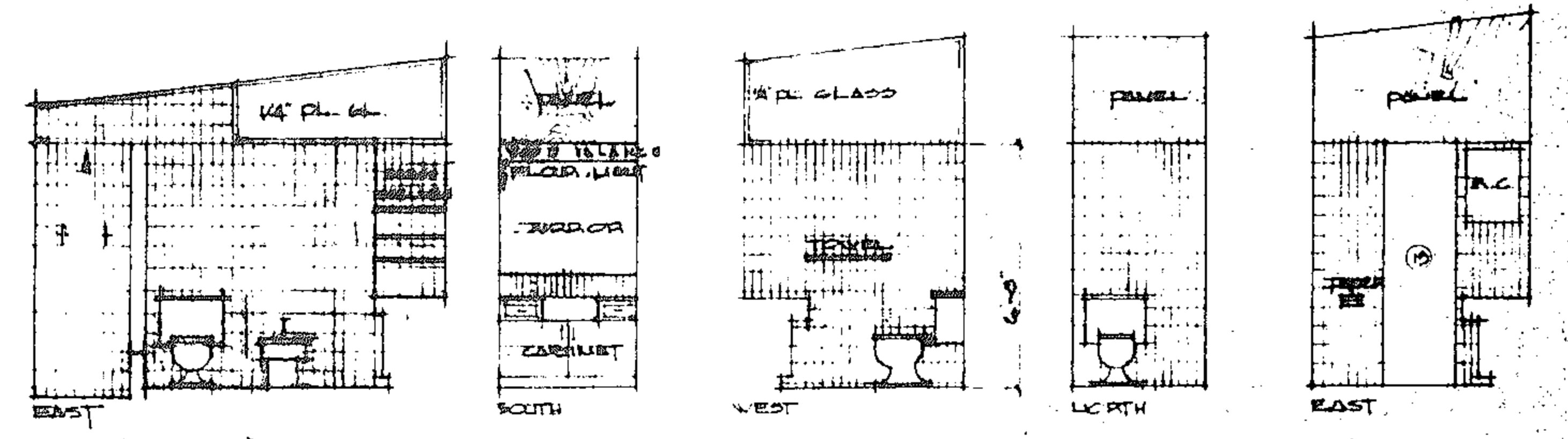
SOUTH ELEVATION SCALE 1/8"=1'-0"



MASTER BATH #1 ELEVATIONS SCALE 1/4"=1'-0"



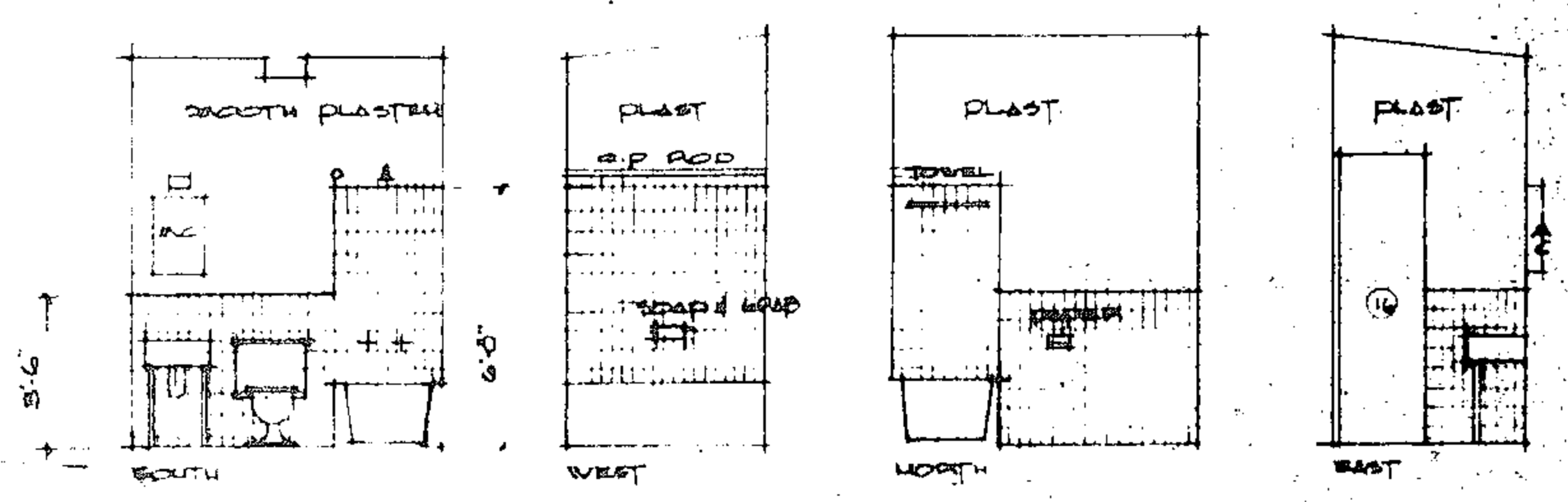
WEST ELEVATION SCALE 1/8"=1'-0"



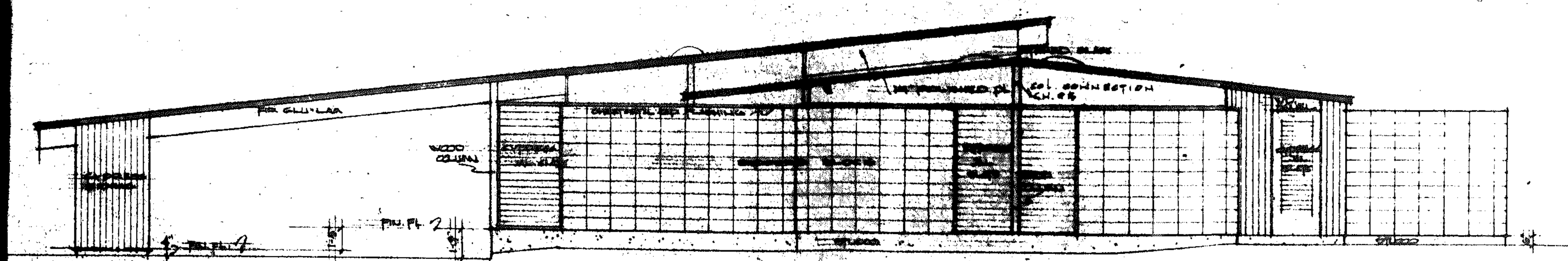
POWDER ROOM #3 ELEVATIONS SCALE 1/4"=1'-0"



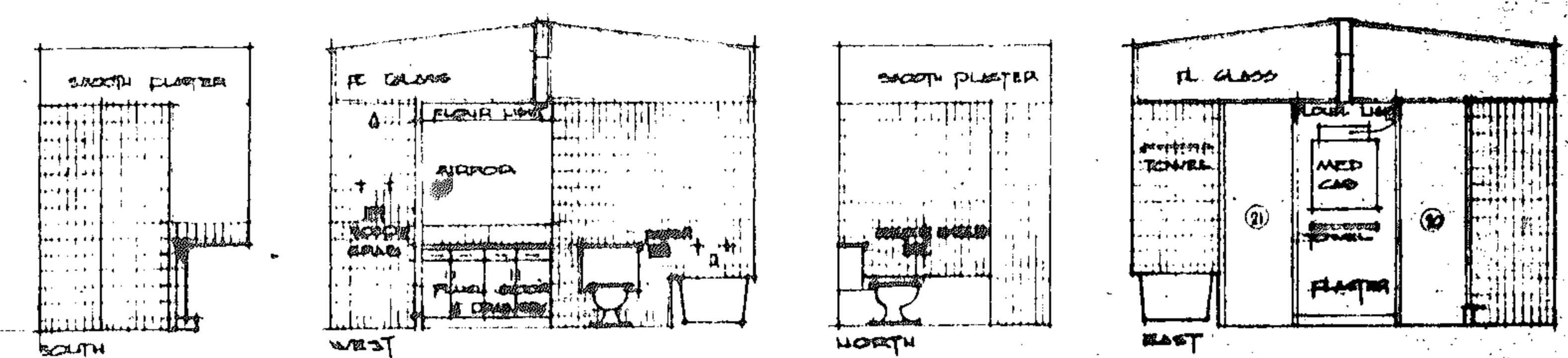
NORTH ELEVATION SCALE 1/8"=1'-0"



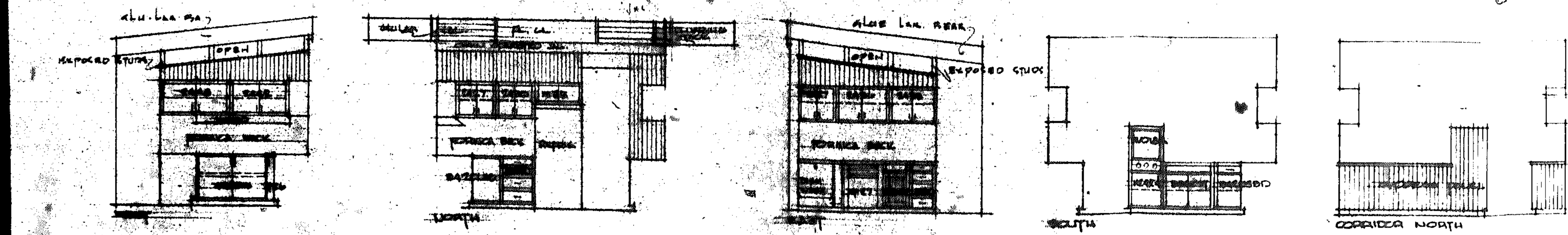
MAID'S BATH #4 ELEVATIONS SCALE 1/4"=1'-0"



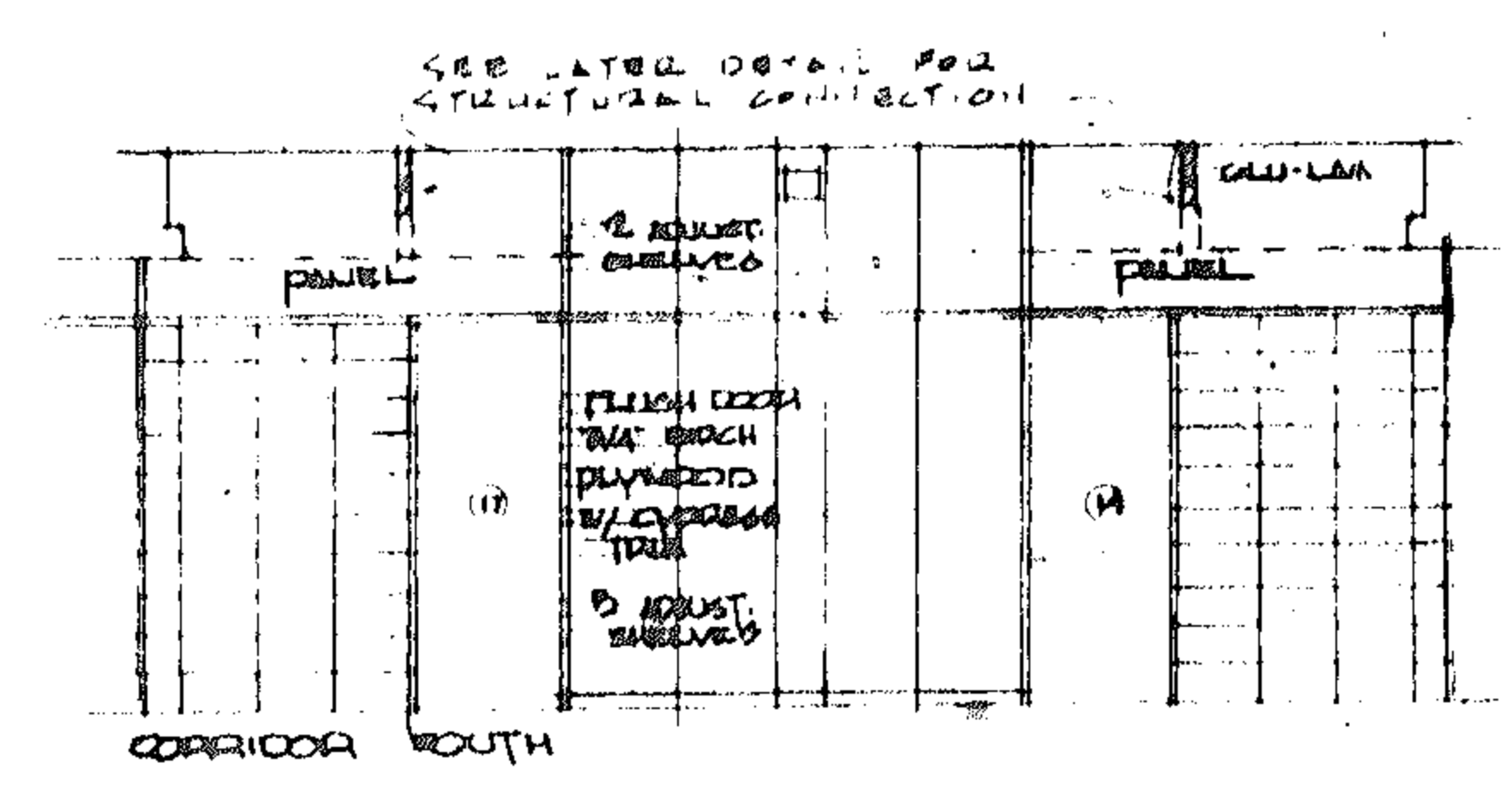
EAST ELEVATION SCALE 1/8"=1'-0"

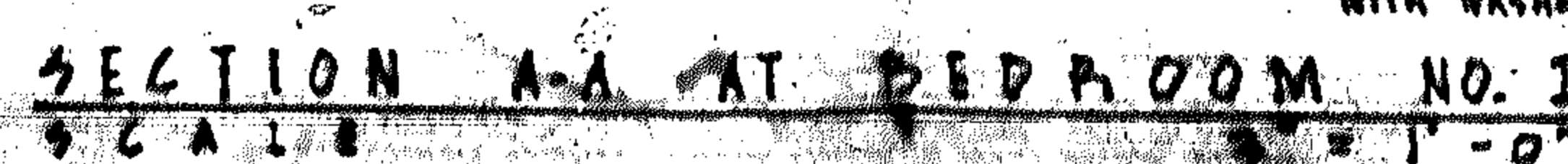
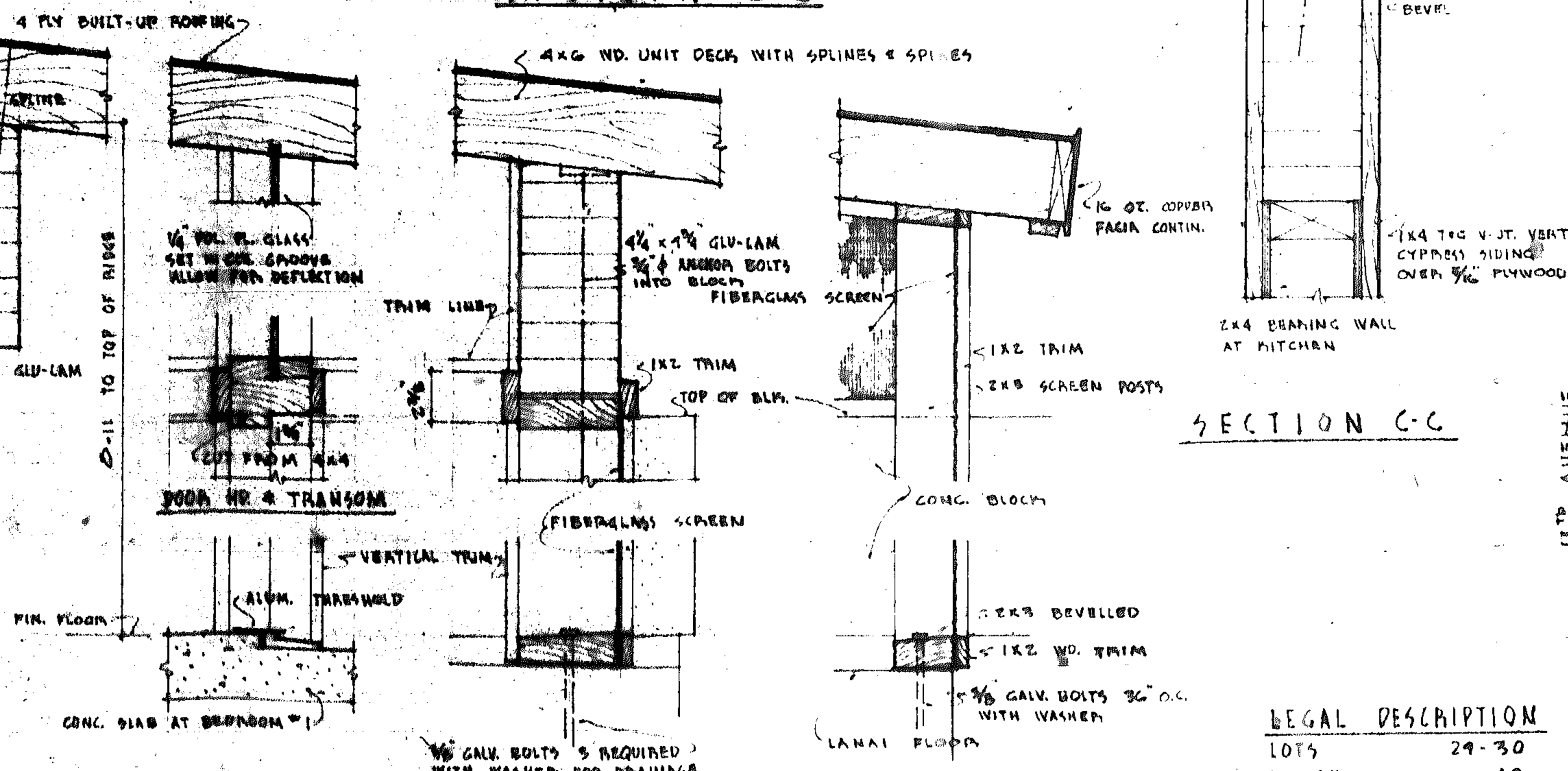
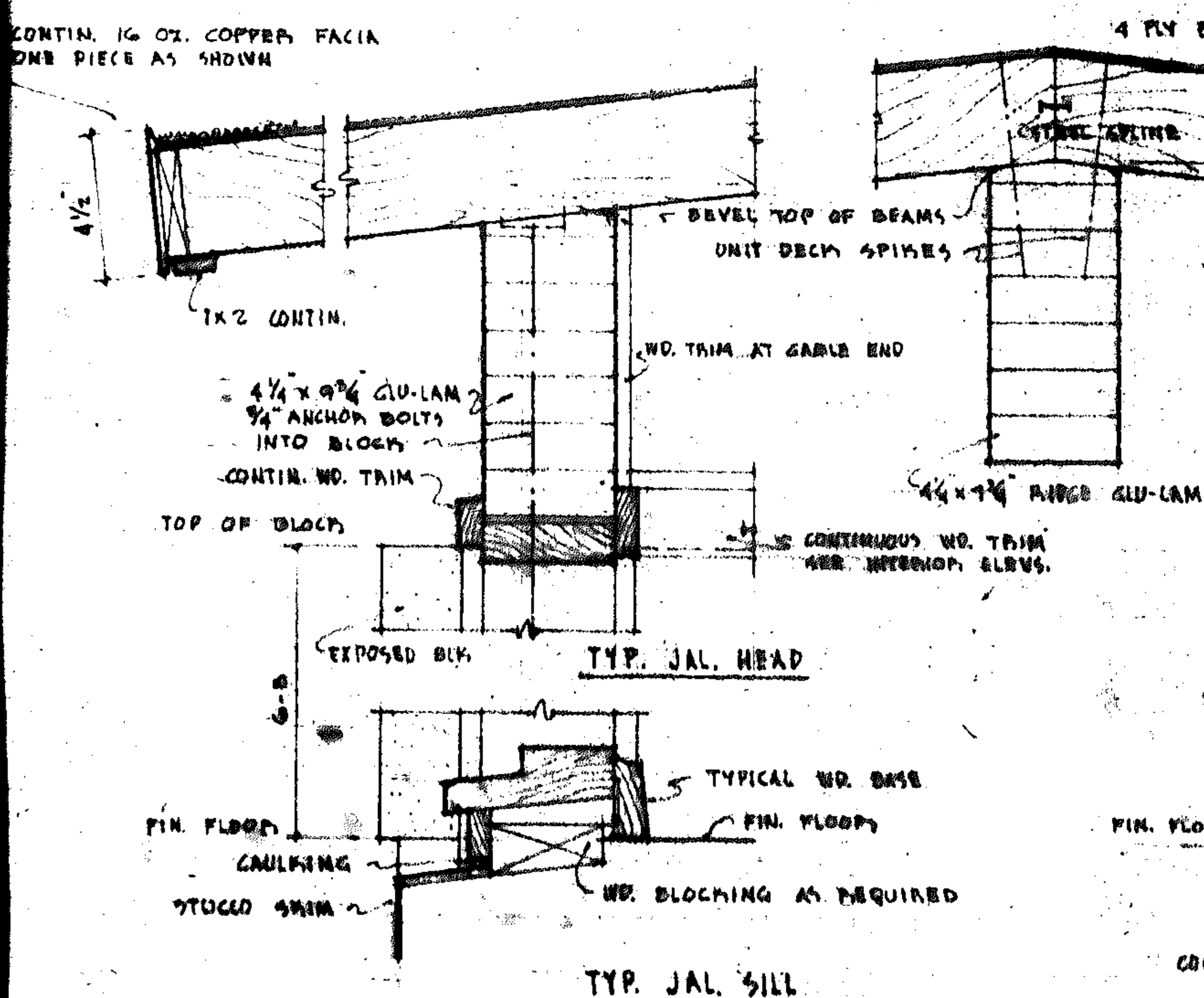
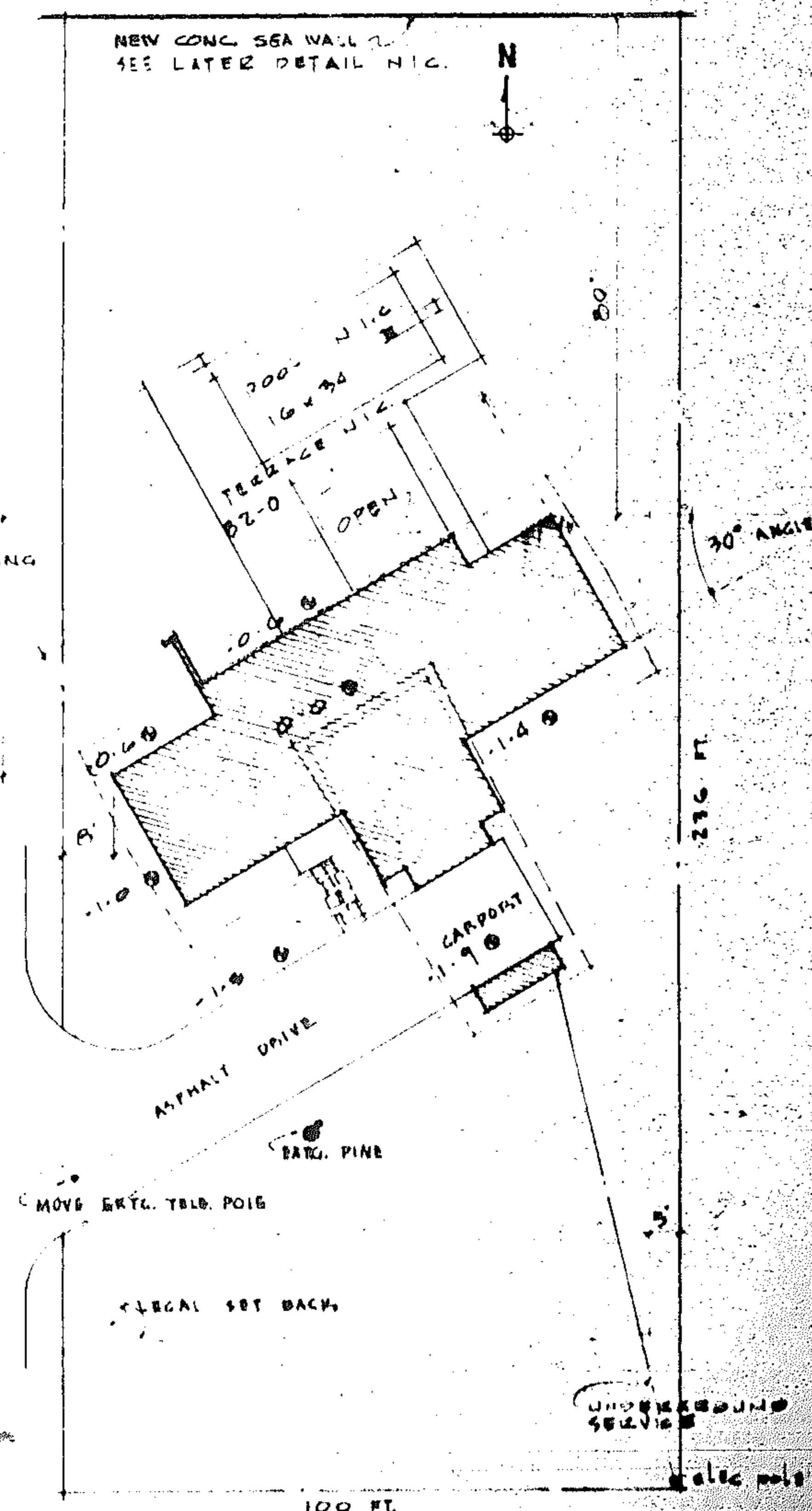
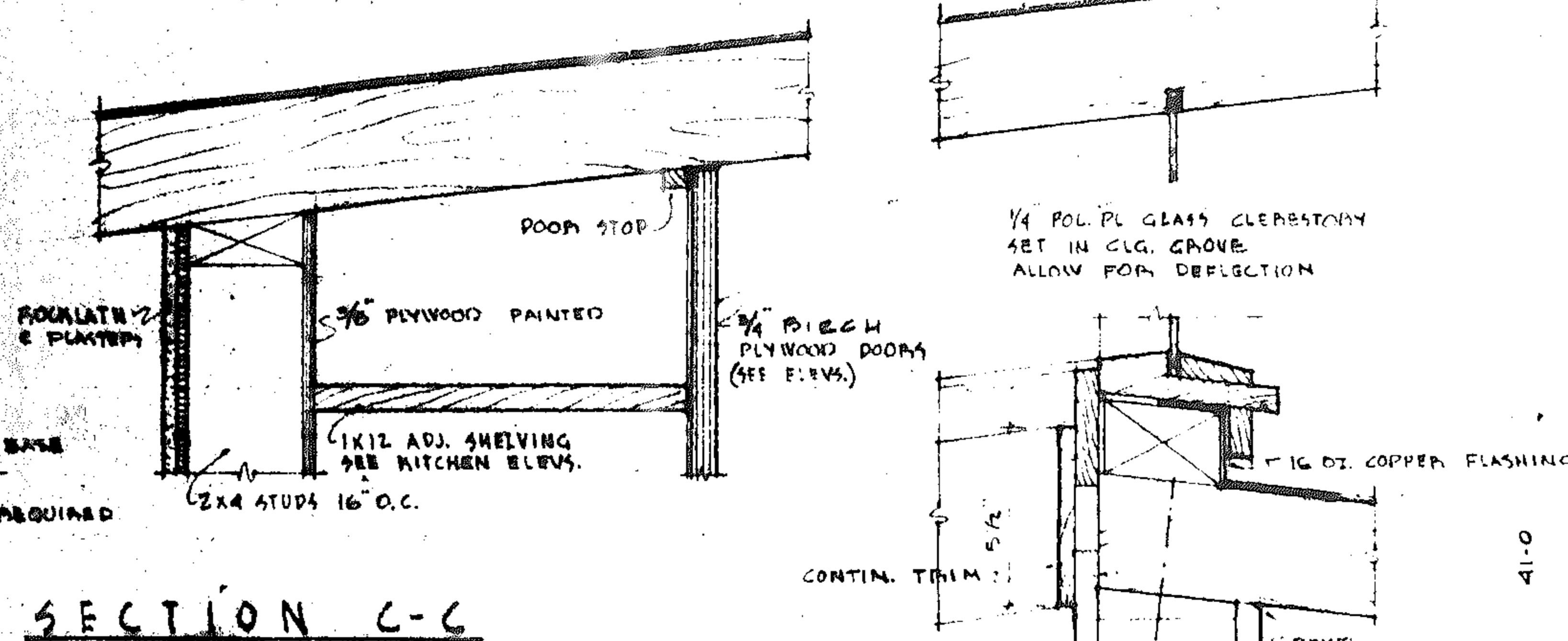
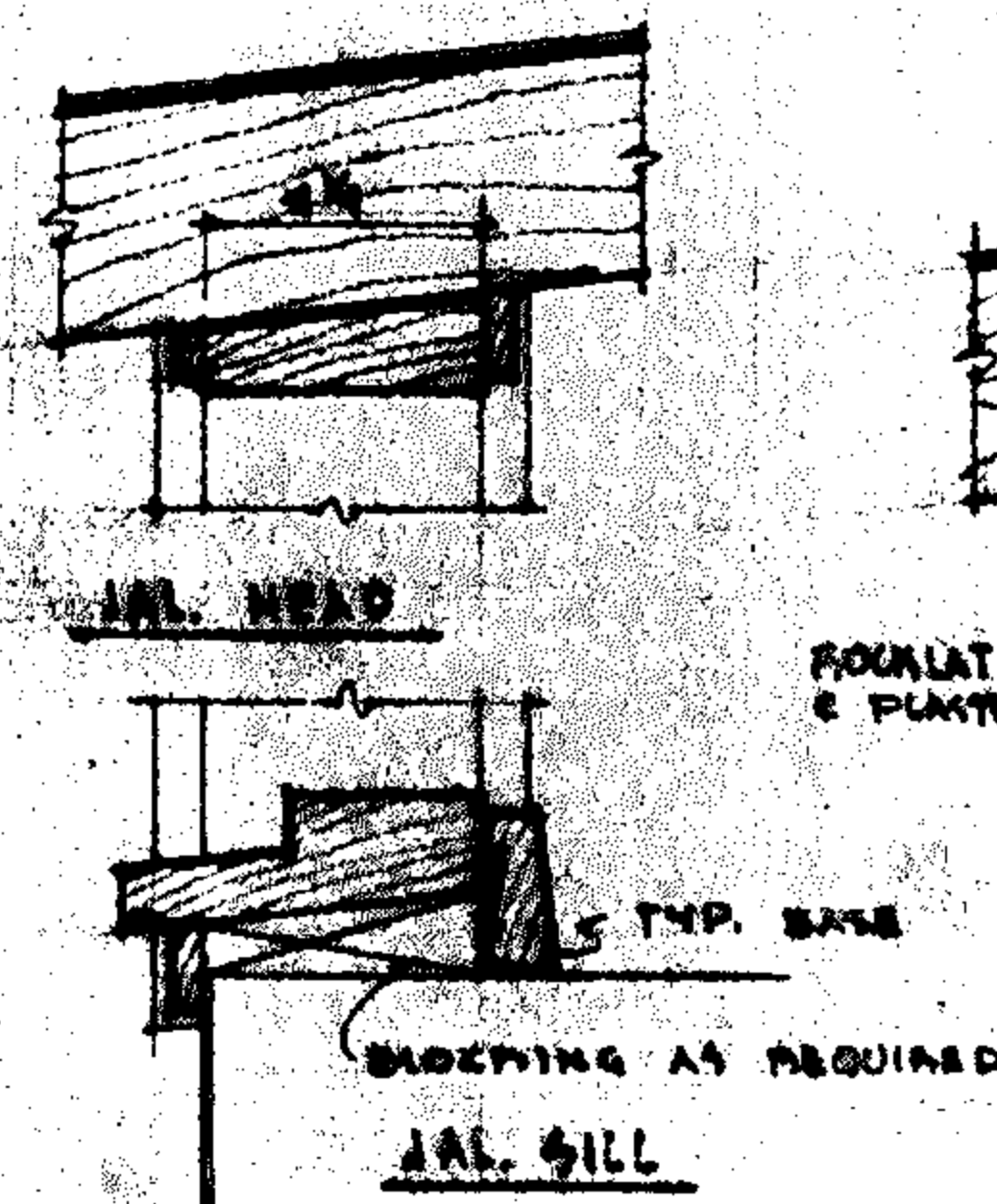
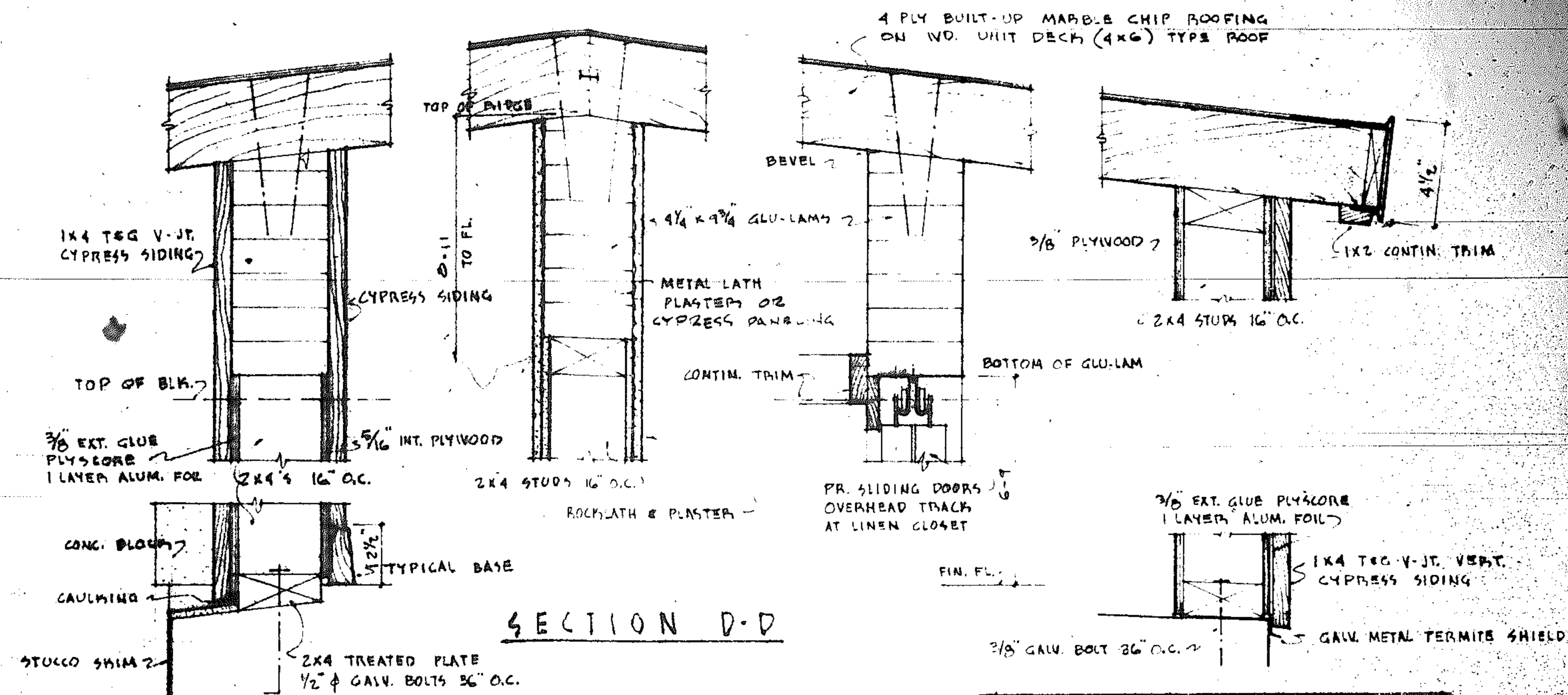


BATH #2 ELEVATIONS SCALE 1/4"=1'-0"



KITCHEN ELEVATION SCALE 1/8"=1'-0"





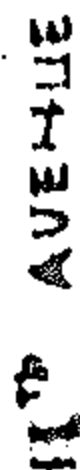
LEGAL DESCRIPTION
 LOTS 29-30
 BLOCK 48
 HOLLYWOOD NORTH LAKE SECTION

PLOT PLAN

SCALE 1" = 20'-0"

ALL	MR JESSE HENR FOR MR MRS LOUIS BISHOP HOLLYWOOD FLORIDA	SHEP
1658	CHARLES C. KENNEDY JR. LAMITON, 2024 JACKSON STARK HOLLYWOOD, FLORIDA	A

LOCAL METAL PERMITTING OFFICE



0001
16474

TELETYPE
62-0 OPEN

OPEN?

30-441

CARPORT

ASPHALT DRIVE

PAUL PINE

MOVE ETC. TEL. POLE

LEGAL SET BACK

SECRET

1000

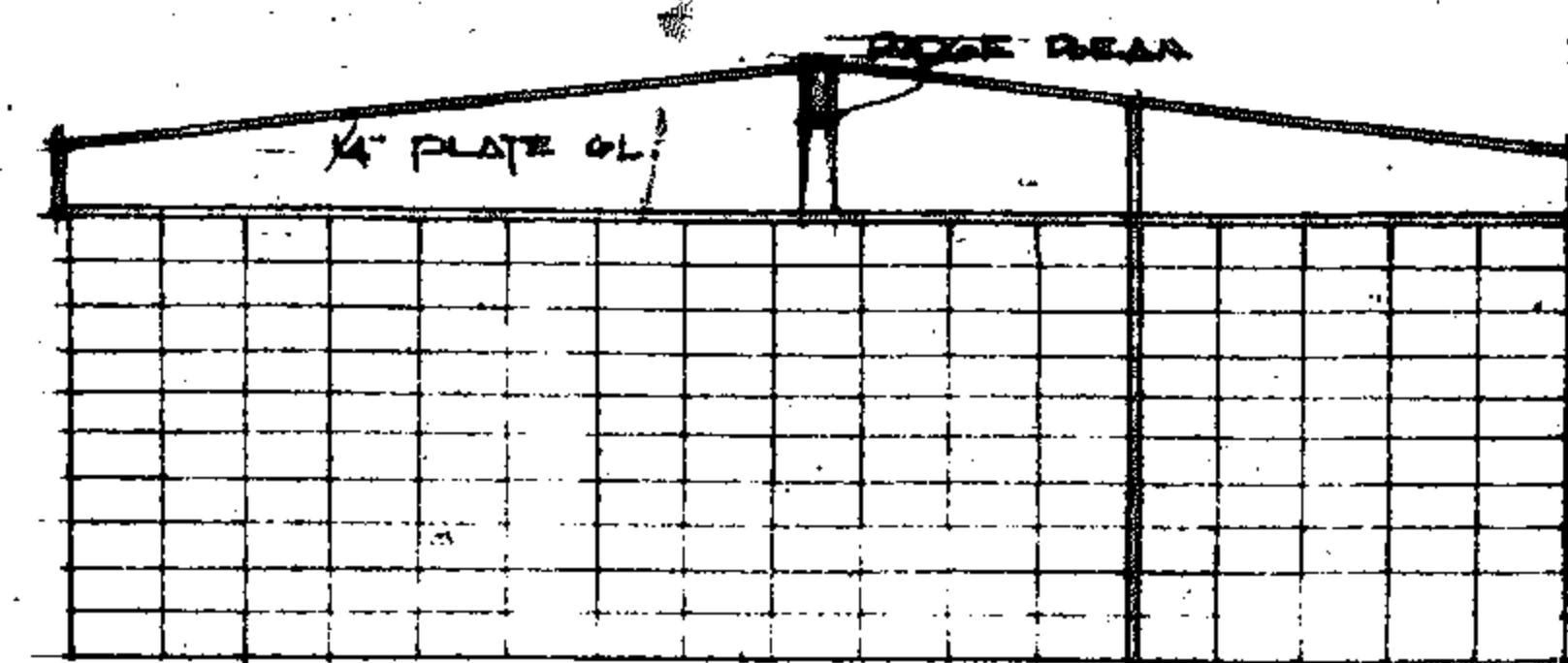
100 FT.

4. NORTH LAKE DRIVE

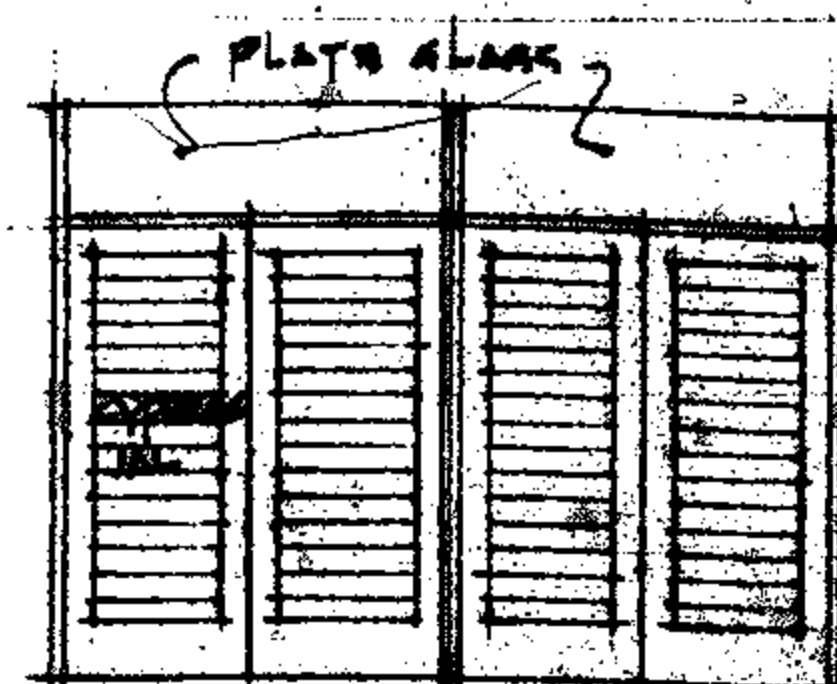
PLOT PLAN
SCALE 1" = 20'-0"

DESCRIPTION

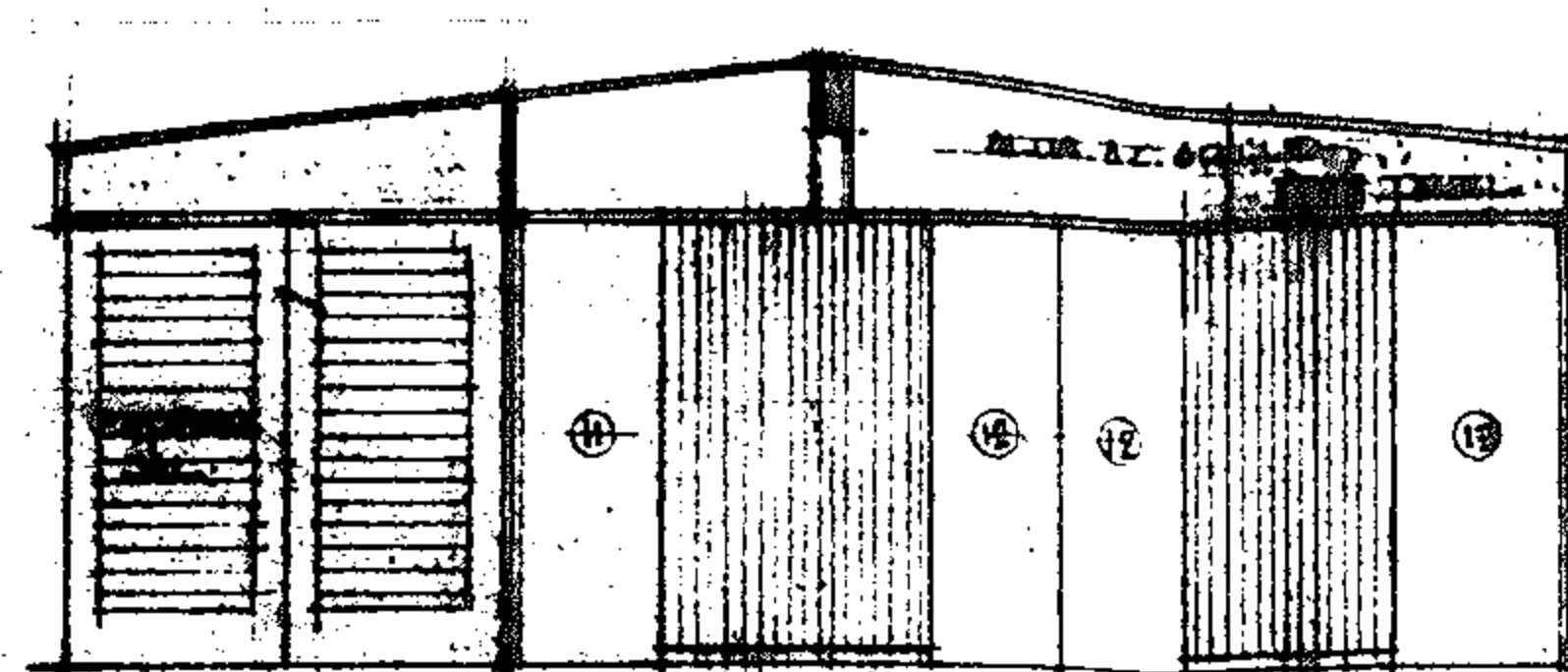
29-30



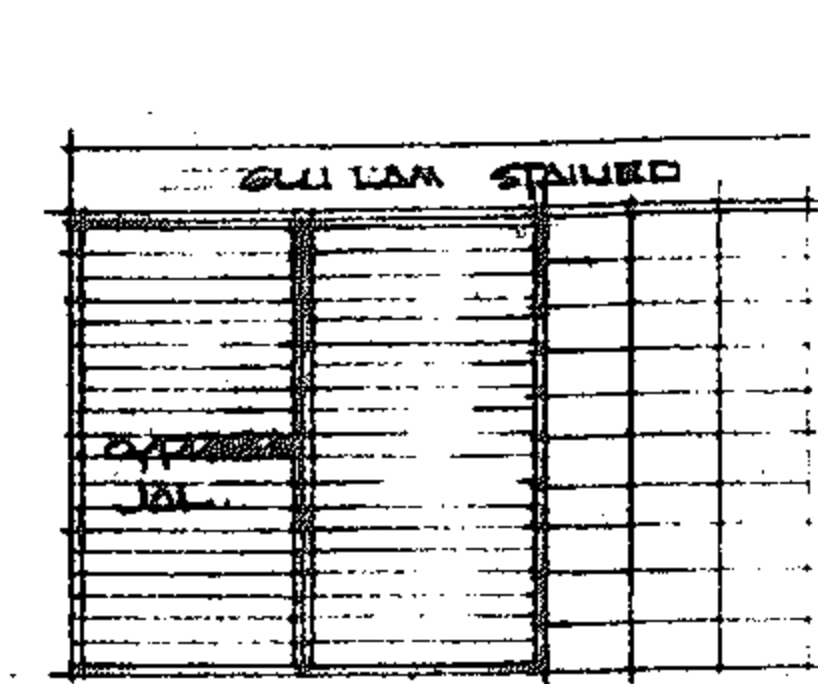
MASTER BEDROOM WEST WALL



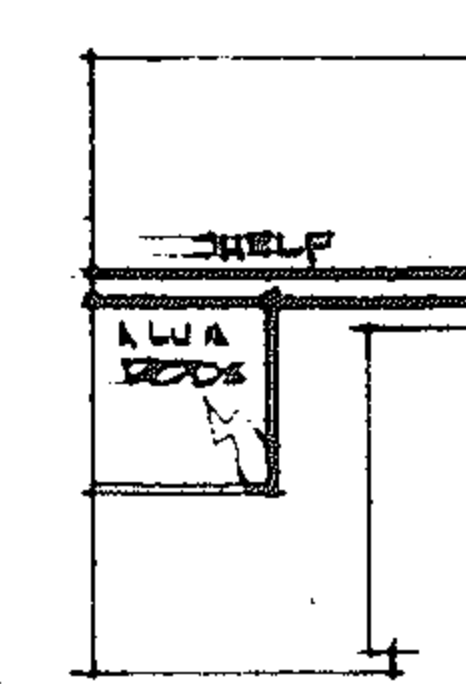
NORTH WALL



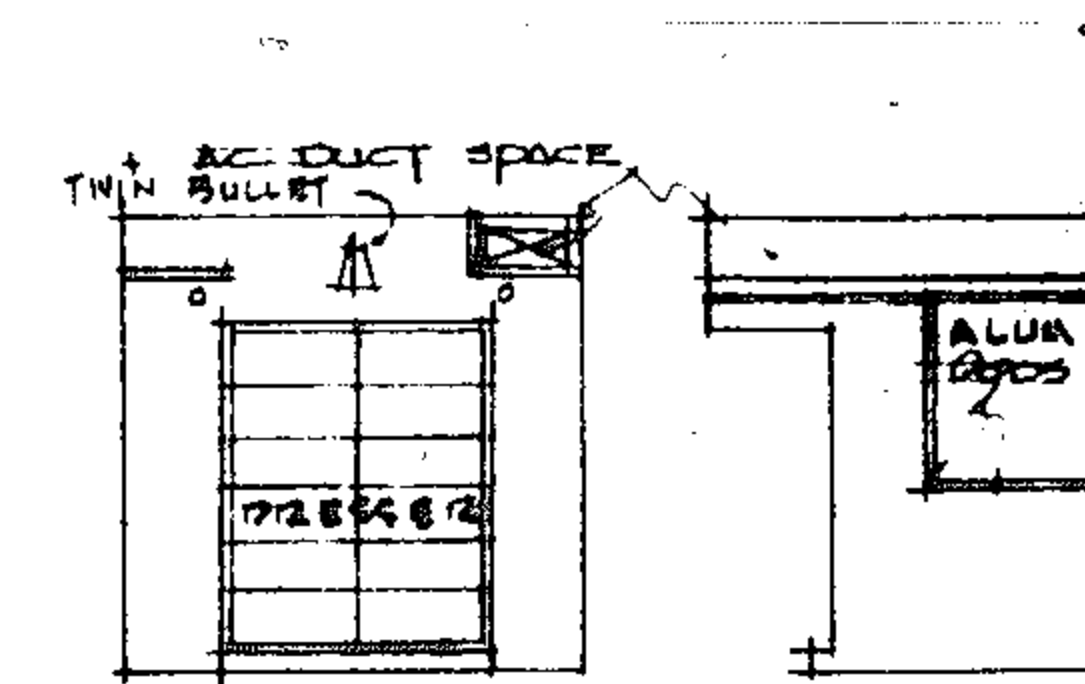
EAST WALL



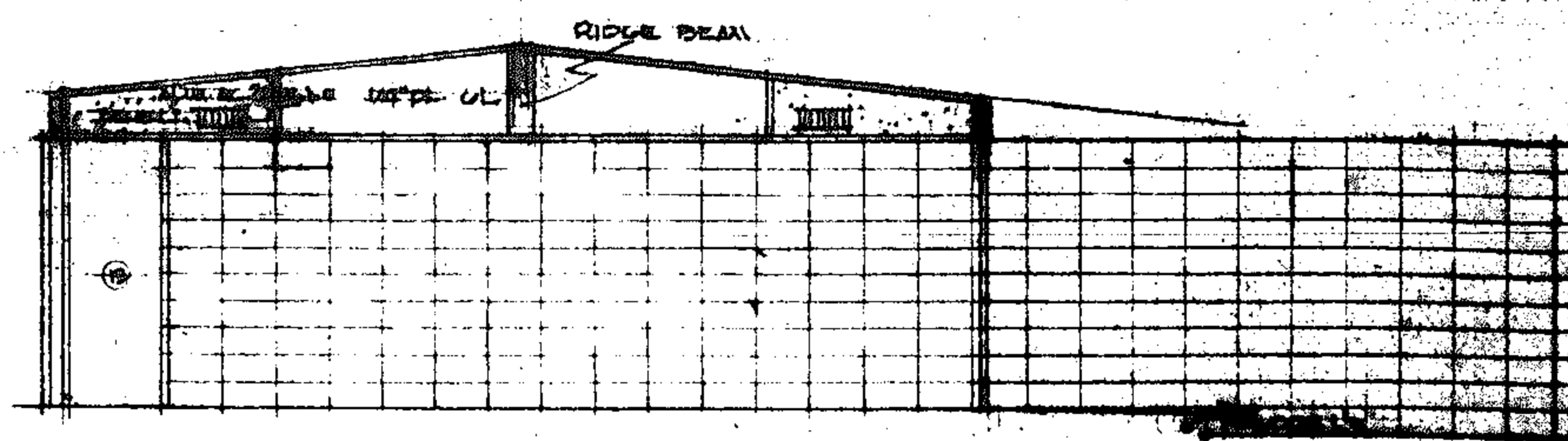
SOUTH WALL



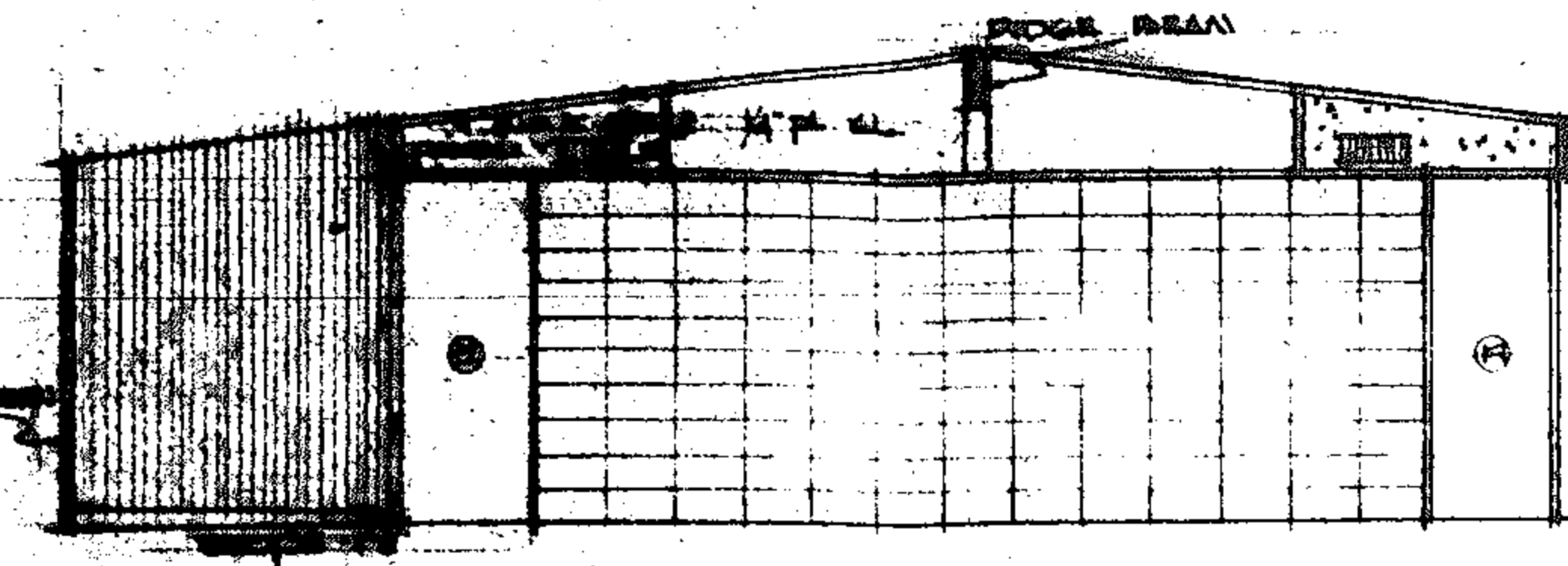
EAST WALL CLOSET ELEVATIONS



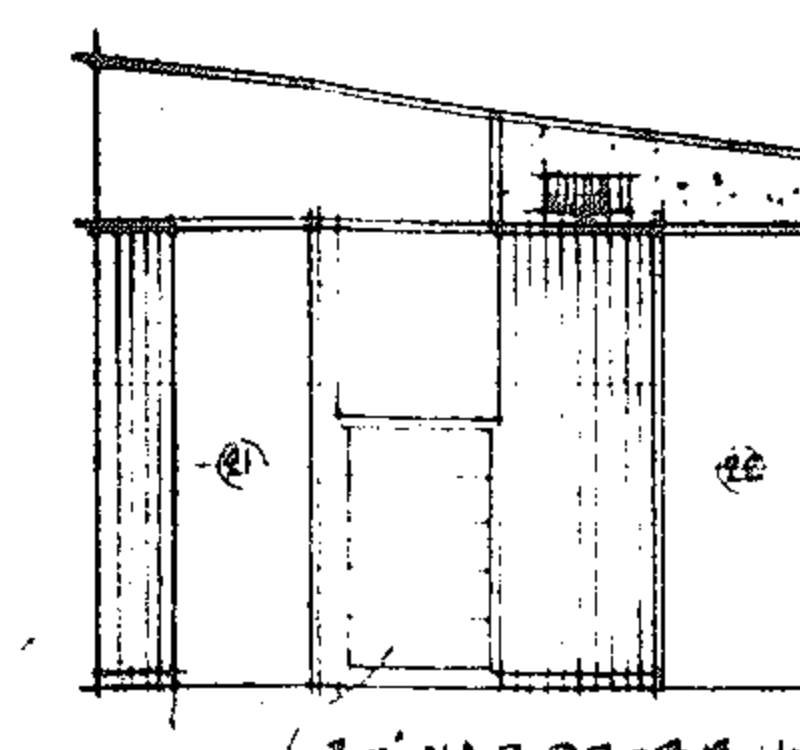
BEDROOM STORAGE CLOSET



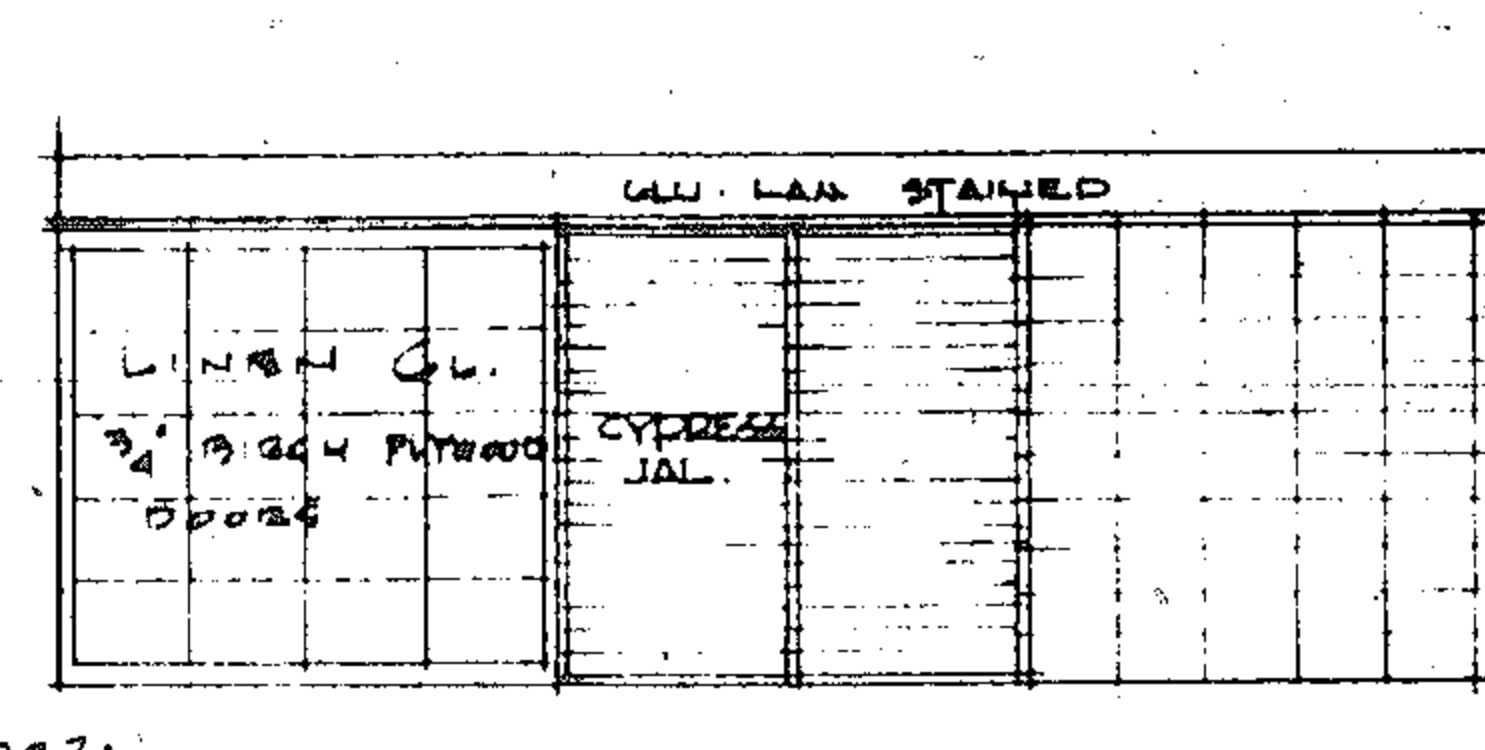
WEST WALL LIVING AREA



EAST WALL LIVING AREA



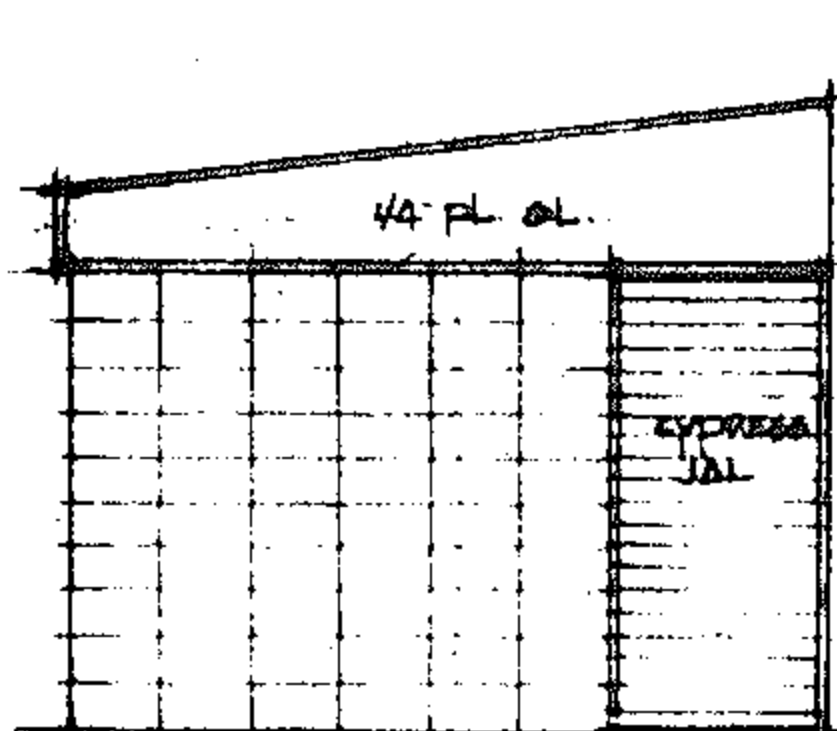
BEDROOM #2 WEST WALL



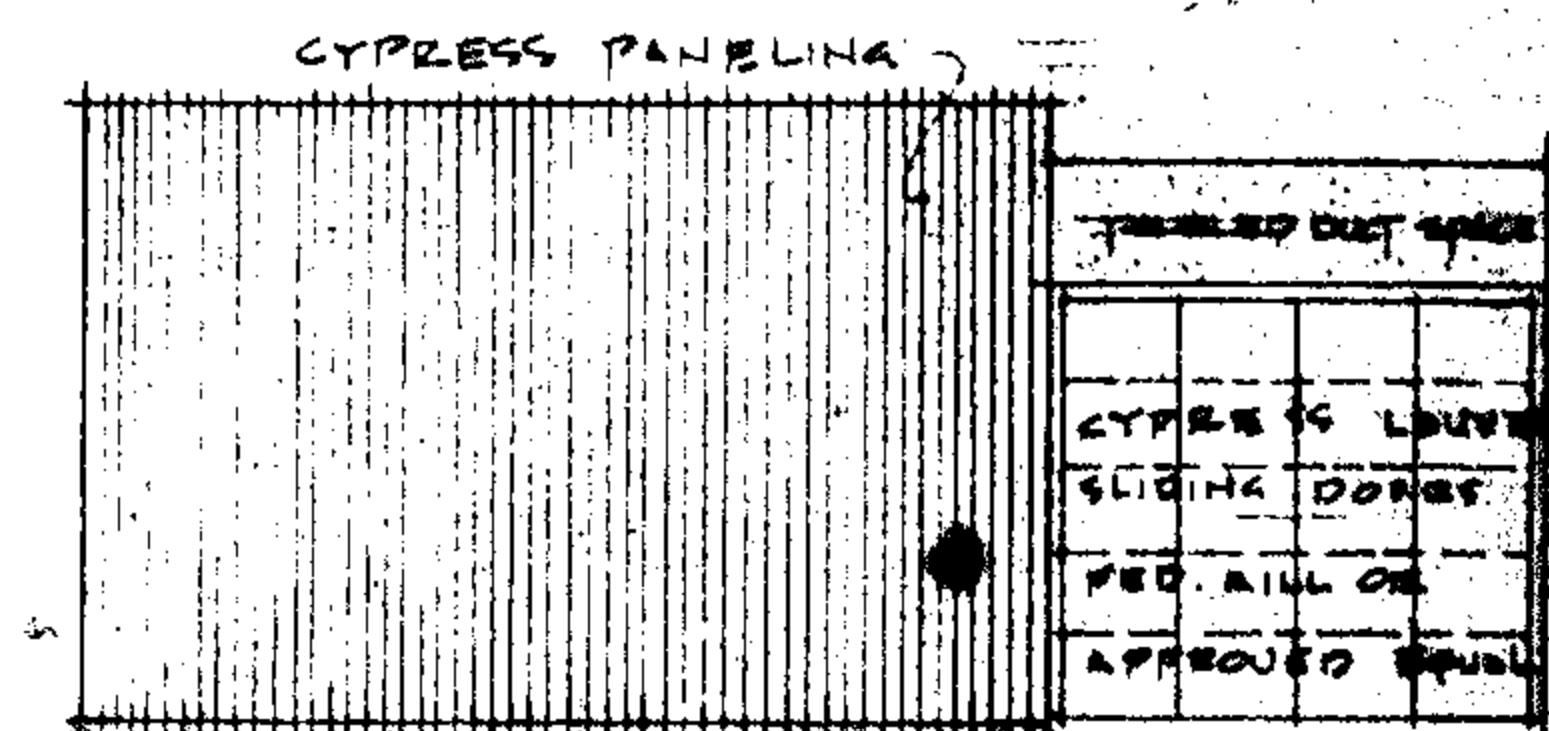
NORTH WALL



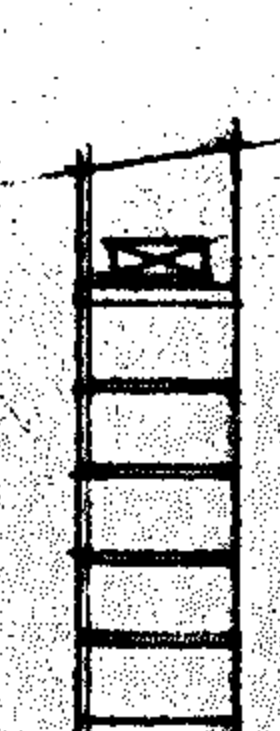
CLOSET



EAST WALL



SOUTH WALL

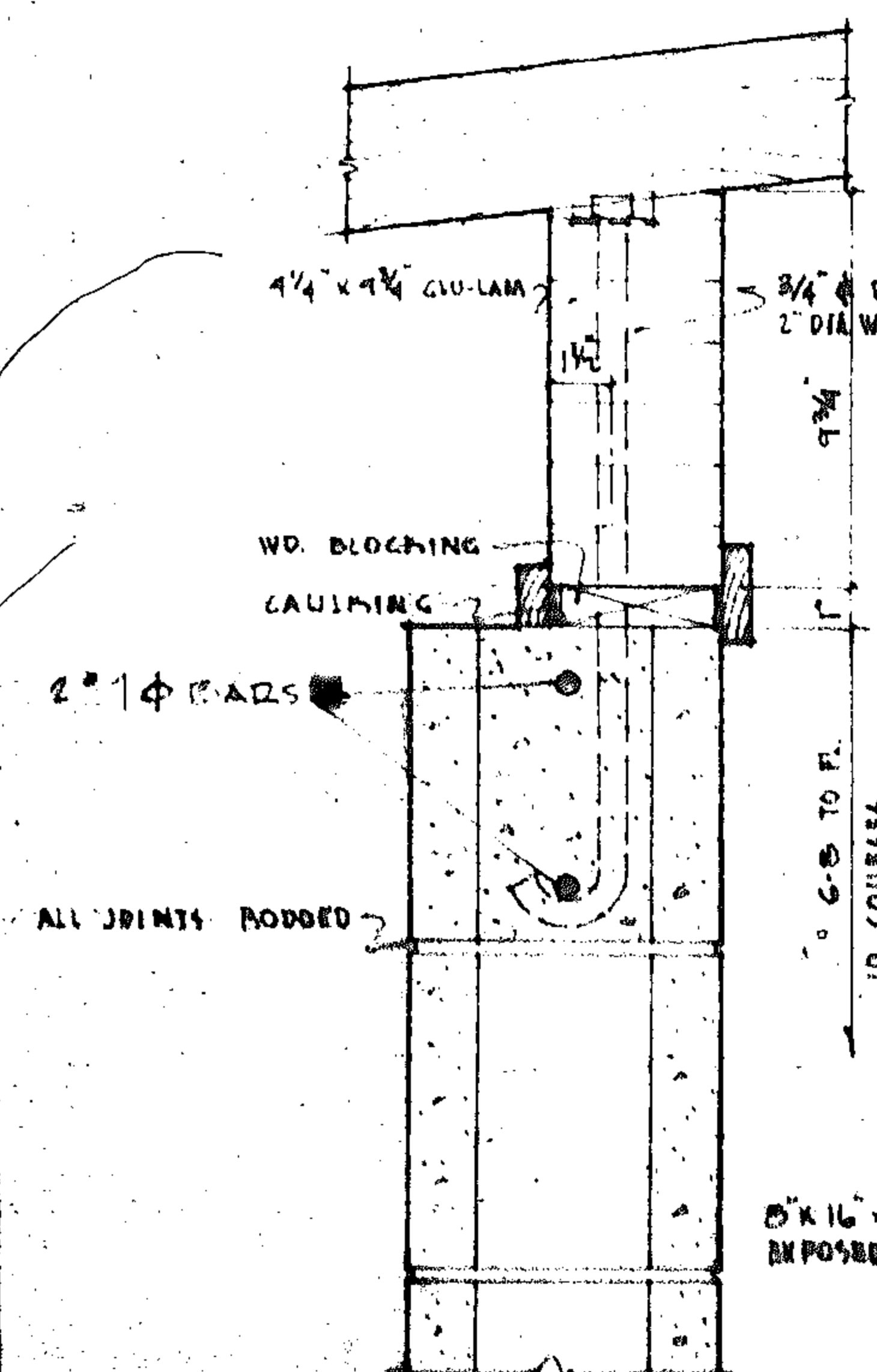


SECTION CLOSET

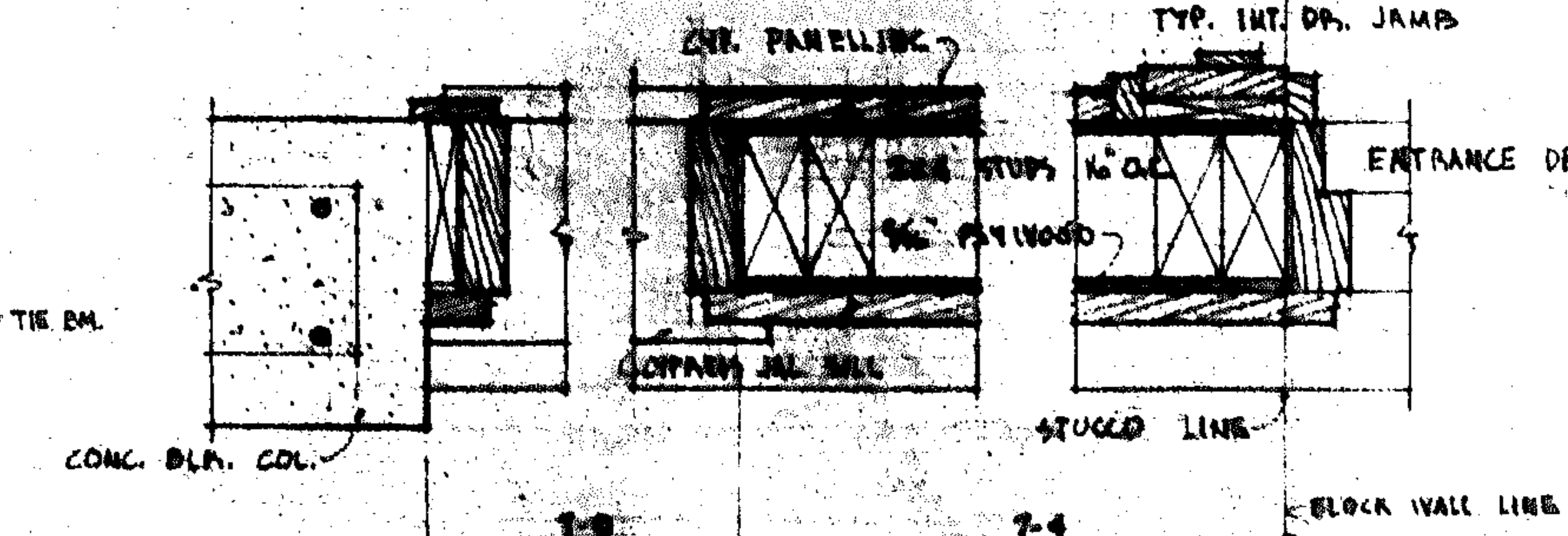
NOTE
ALL PANELS SHALL BE 3/4\"/>

INTERIOR ELEVATIONS

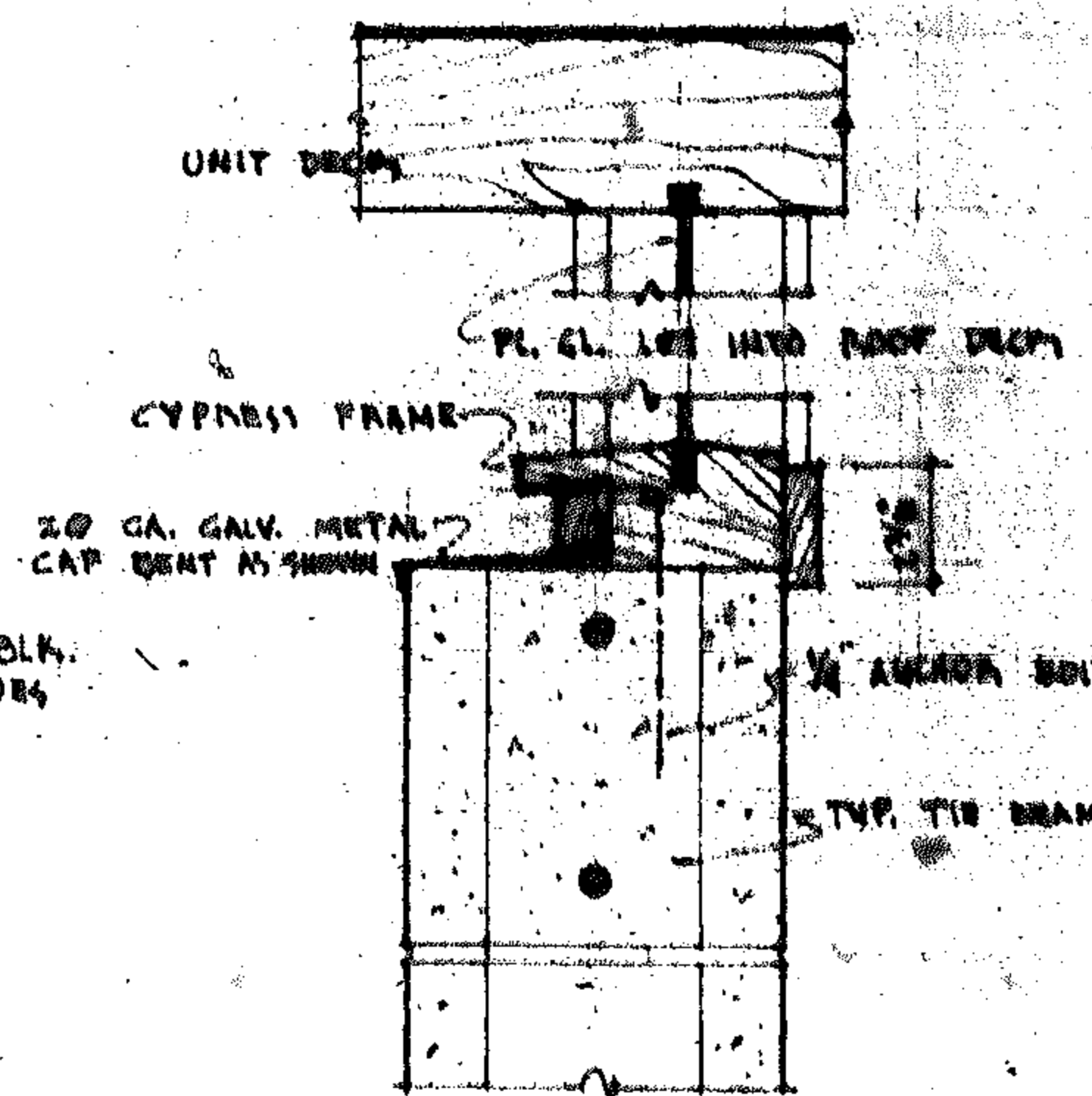
SCALE - 1/4\"/>



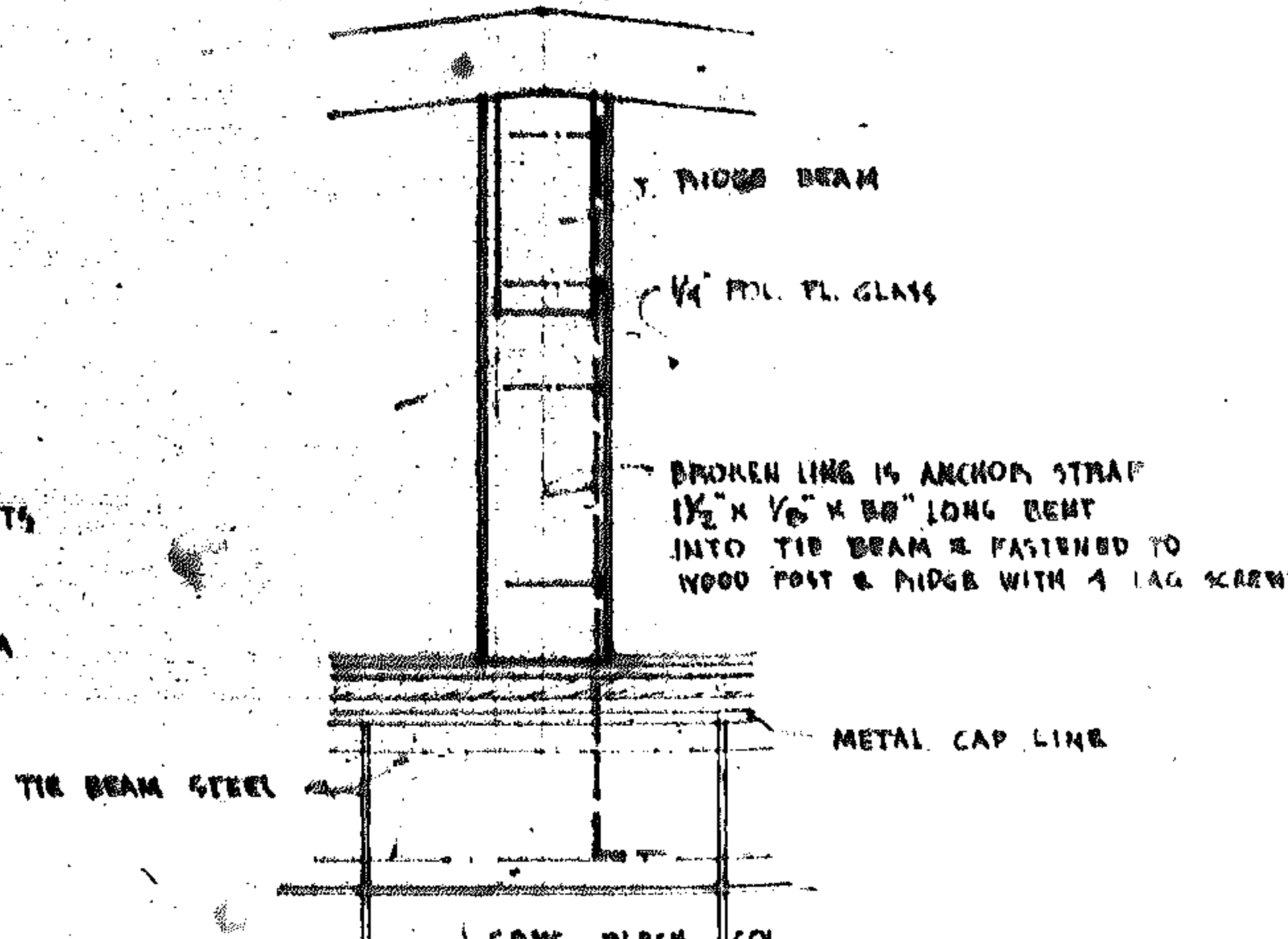
TYP. WALL SECTION IN BLK.
SCALE 3\"/>



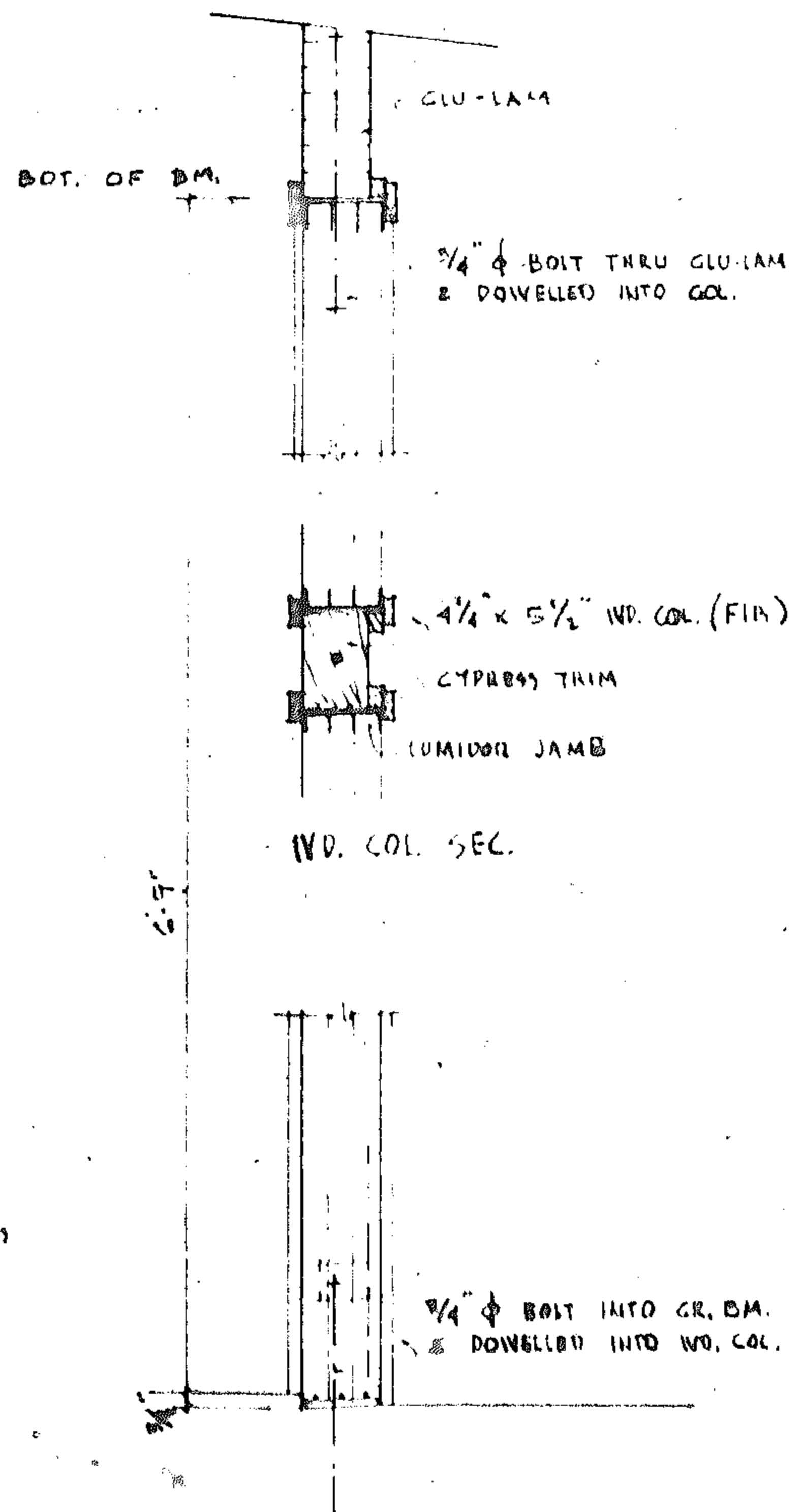
TYPICAL JAMBS, EXTERIOR



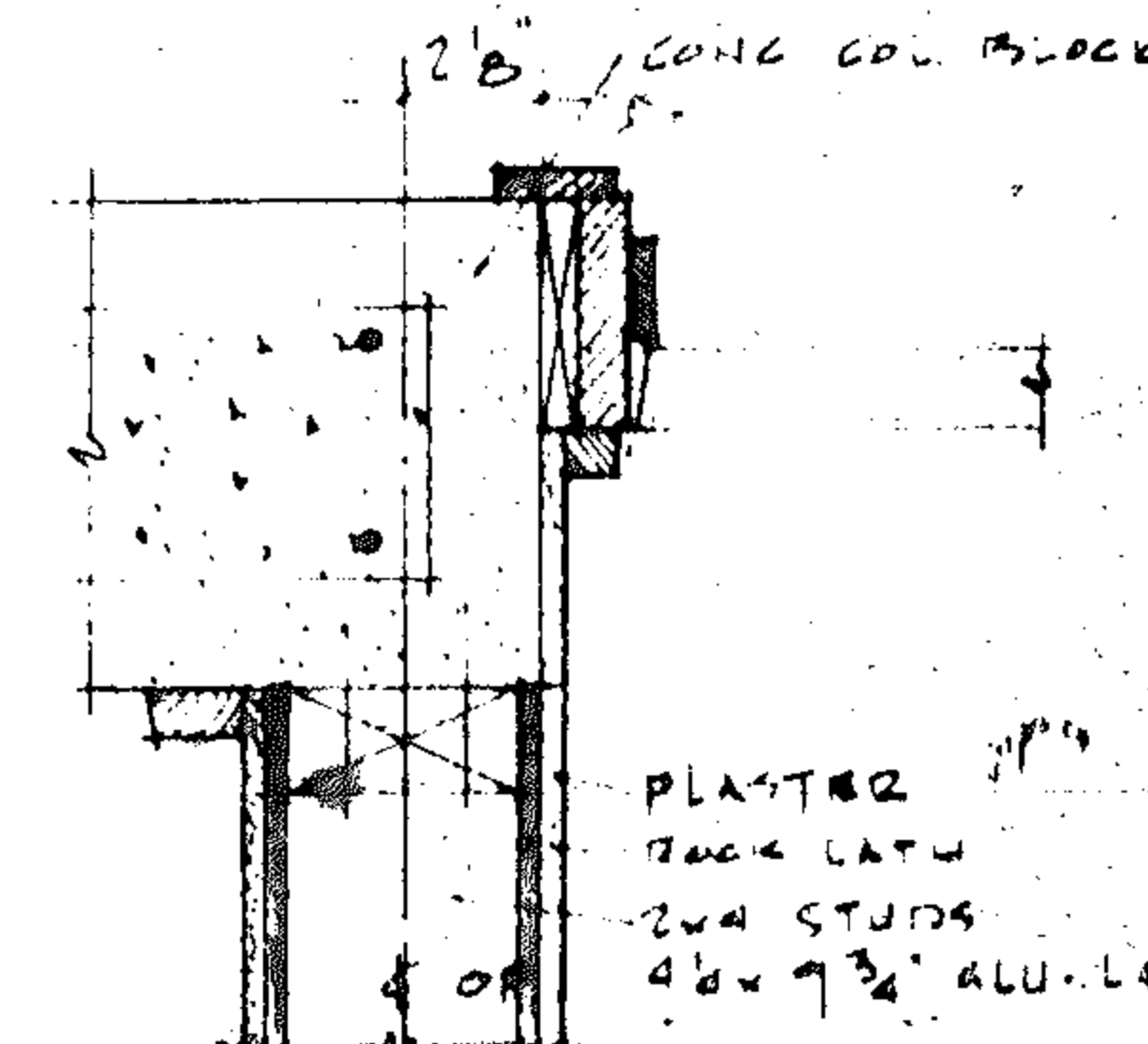
CABLE END SECTION
SCALE 3\"/>



TYP. CABLE END COL. CONNECTION
SCALE 1 1/2\"/>



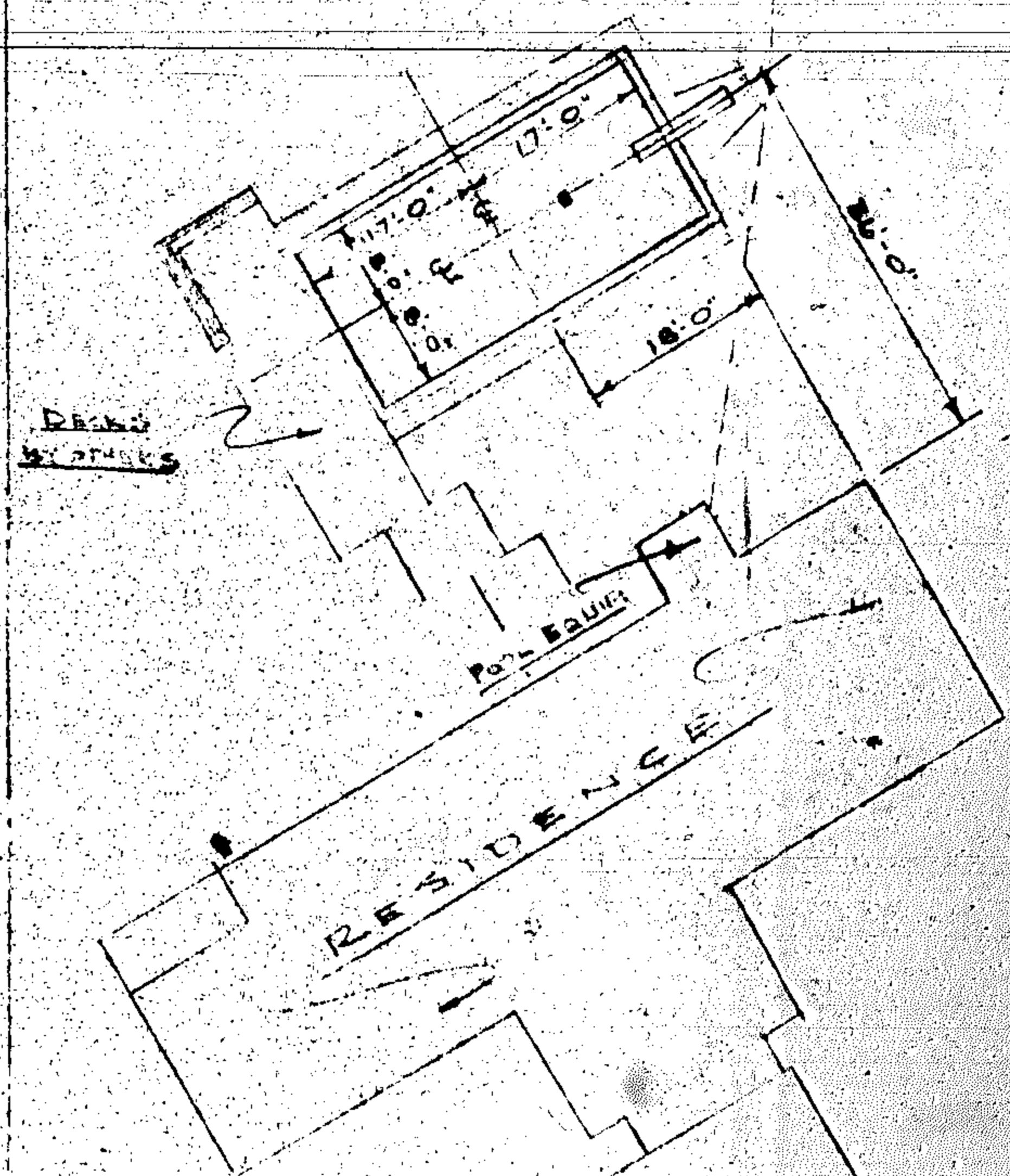
SEC. DETAIL AT SLIDING DR.
SCALE 1 1/2\"/>



JAMB SECTION AT
UTILITY ROOM
SCALE 3\"/>

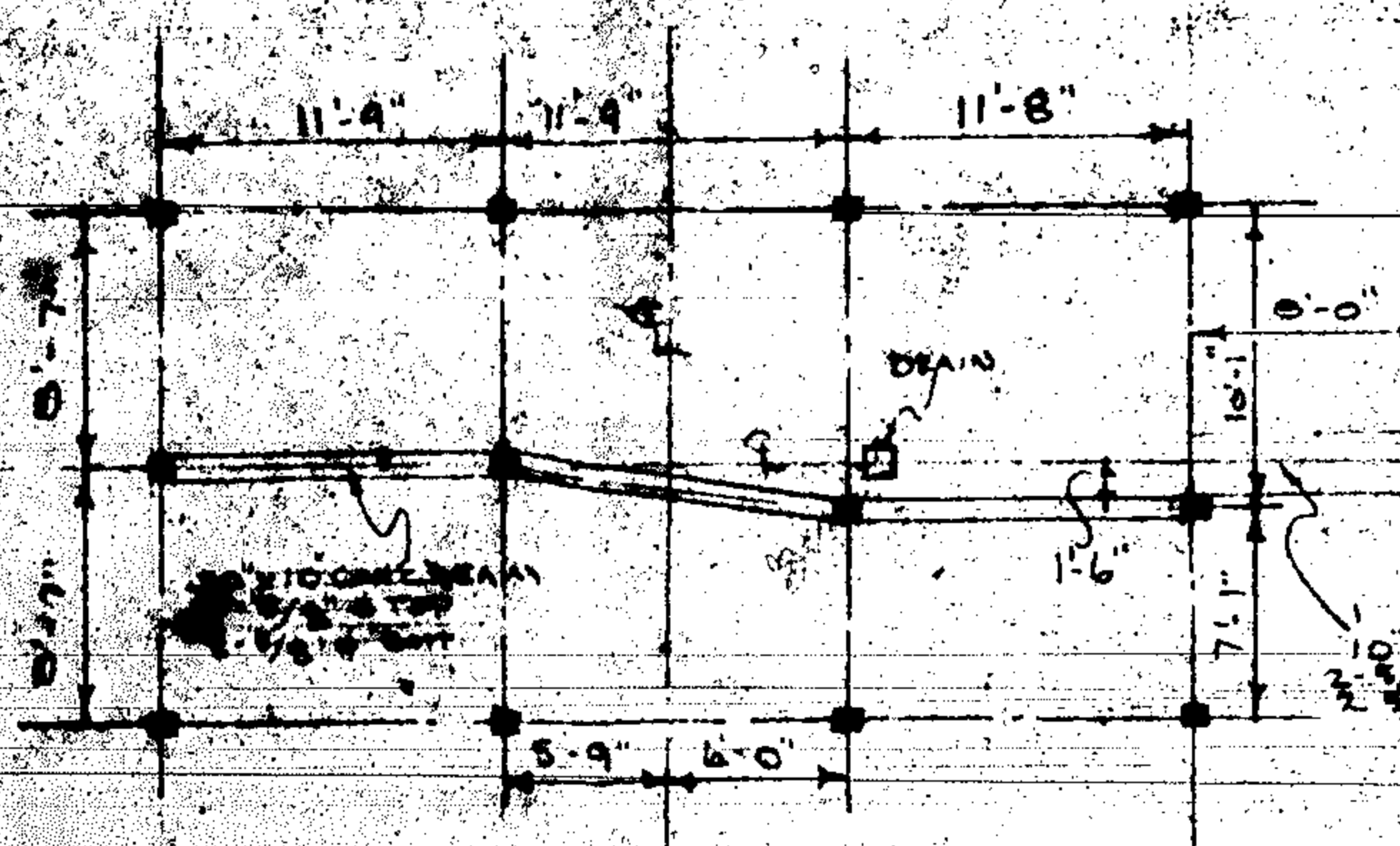
MAD 1658
2342 DONALDSON BLVD.
A2 & A23 LOS ANGELES
HOLLYWOOD FLORIDA
CHARLES & KESSIE J. LAMBERT
700 JACKSON STREET
HOLLYWOOD FLORIDA

NORTH LAKE

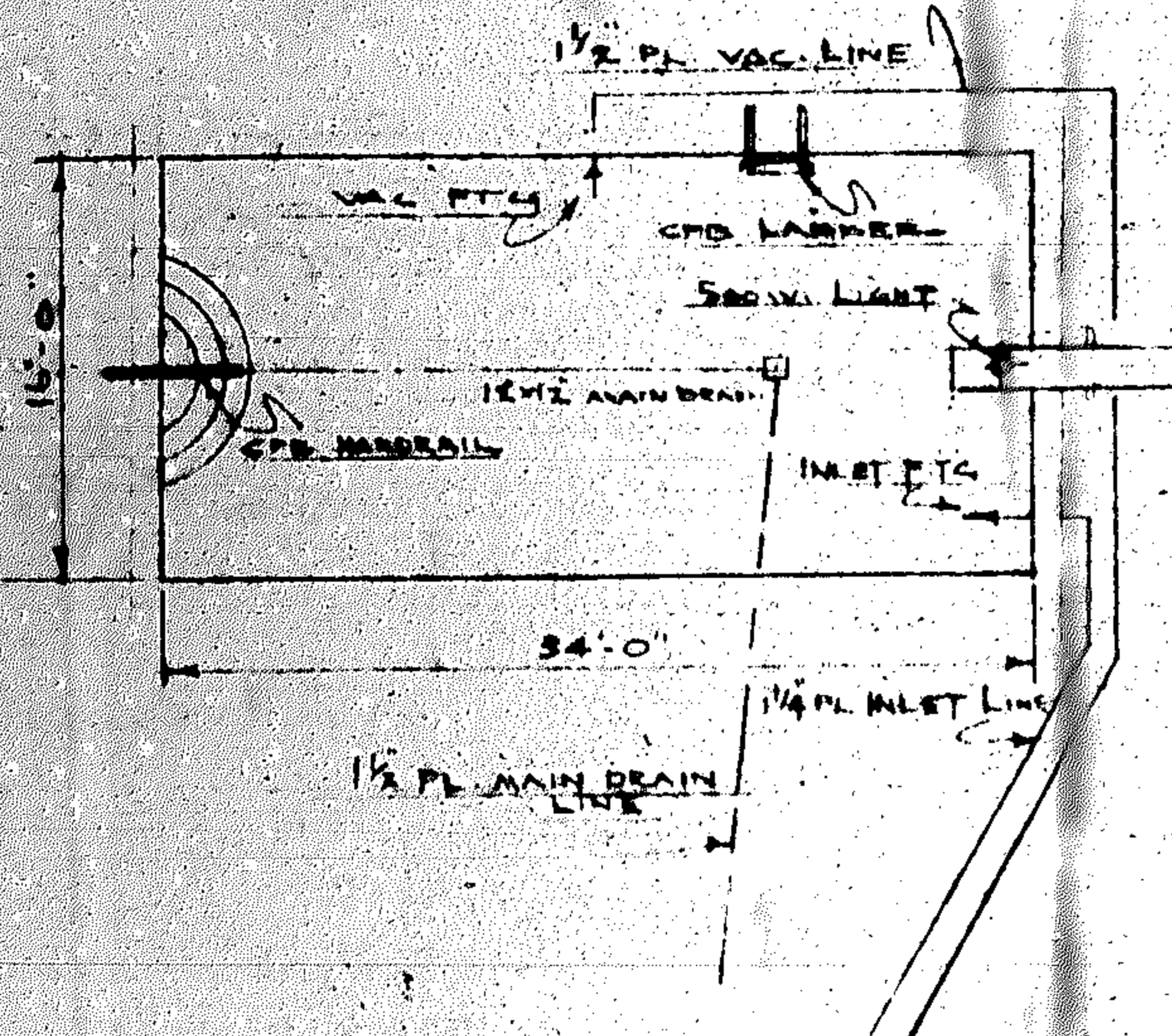


SOUTH NORTH LAKE OF

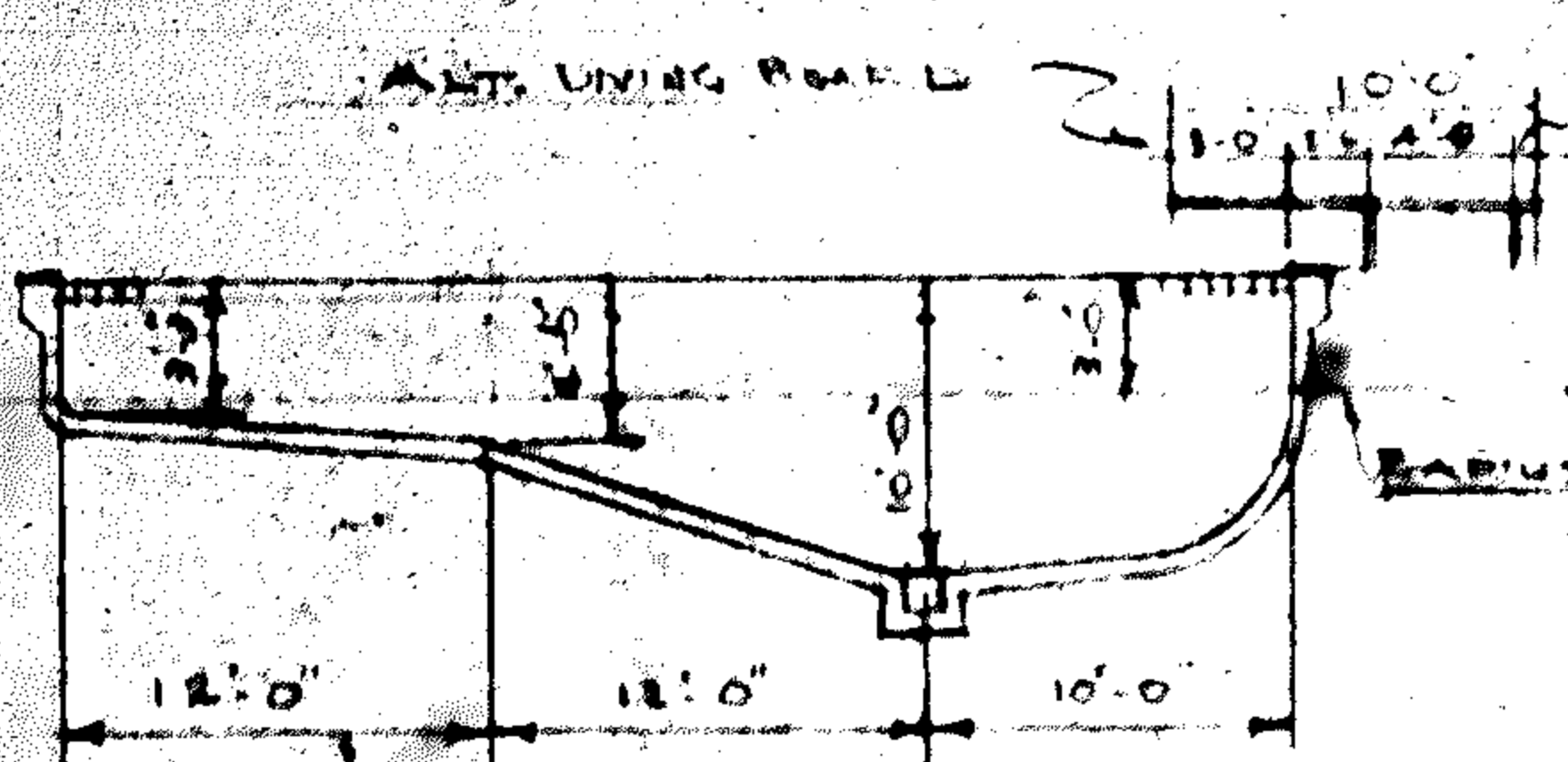
LOCATION PLAN
SCALE 1/4" = 1'-0"



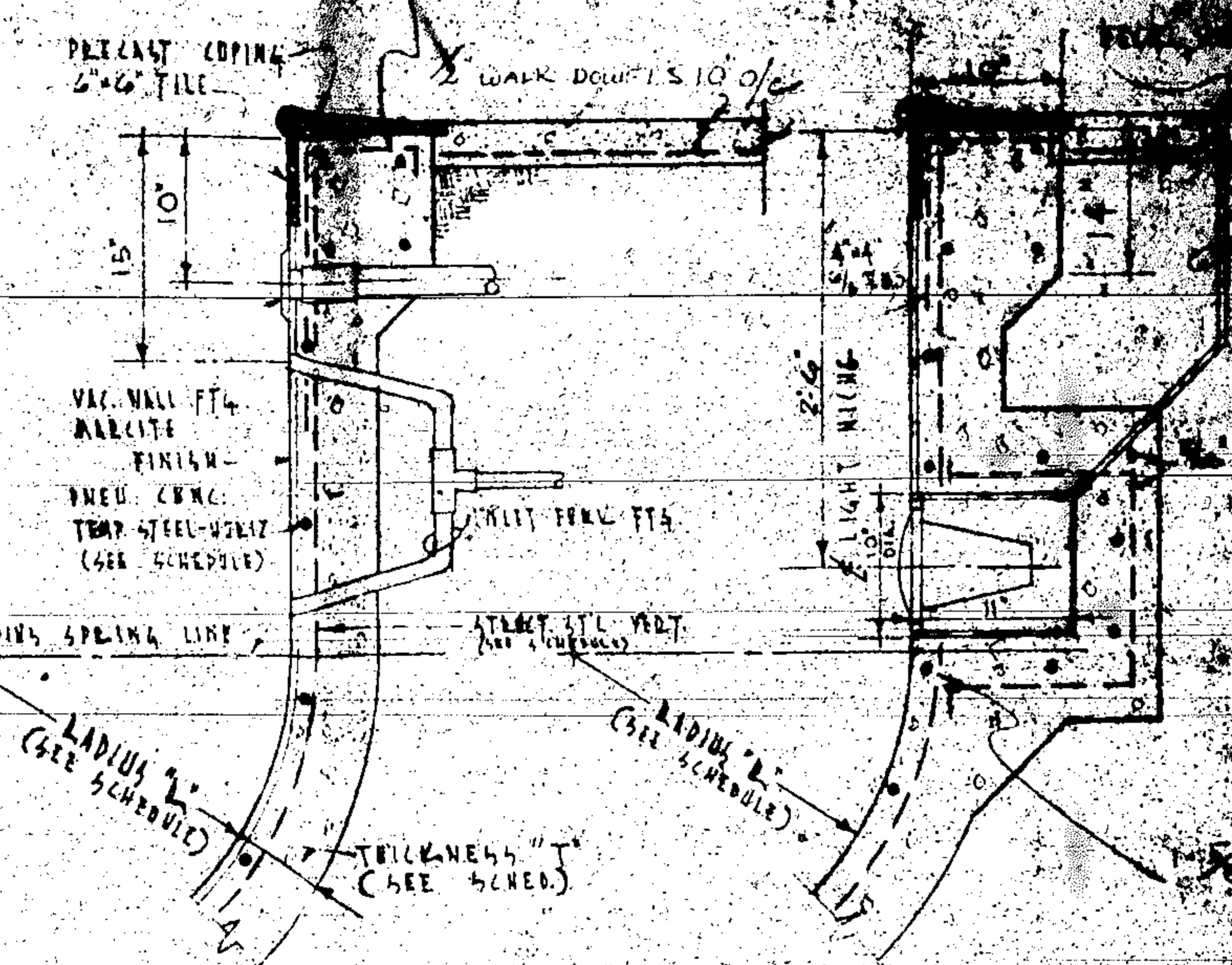
PILING & BEAM LAYOUT
SCALE 1/4" = 1'-0"



PLAN OF POOL
SCALE 1/4" = 1'-0"

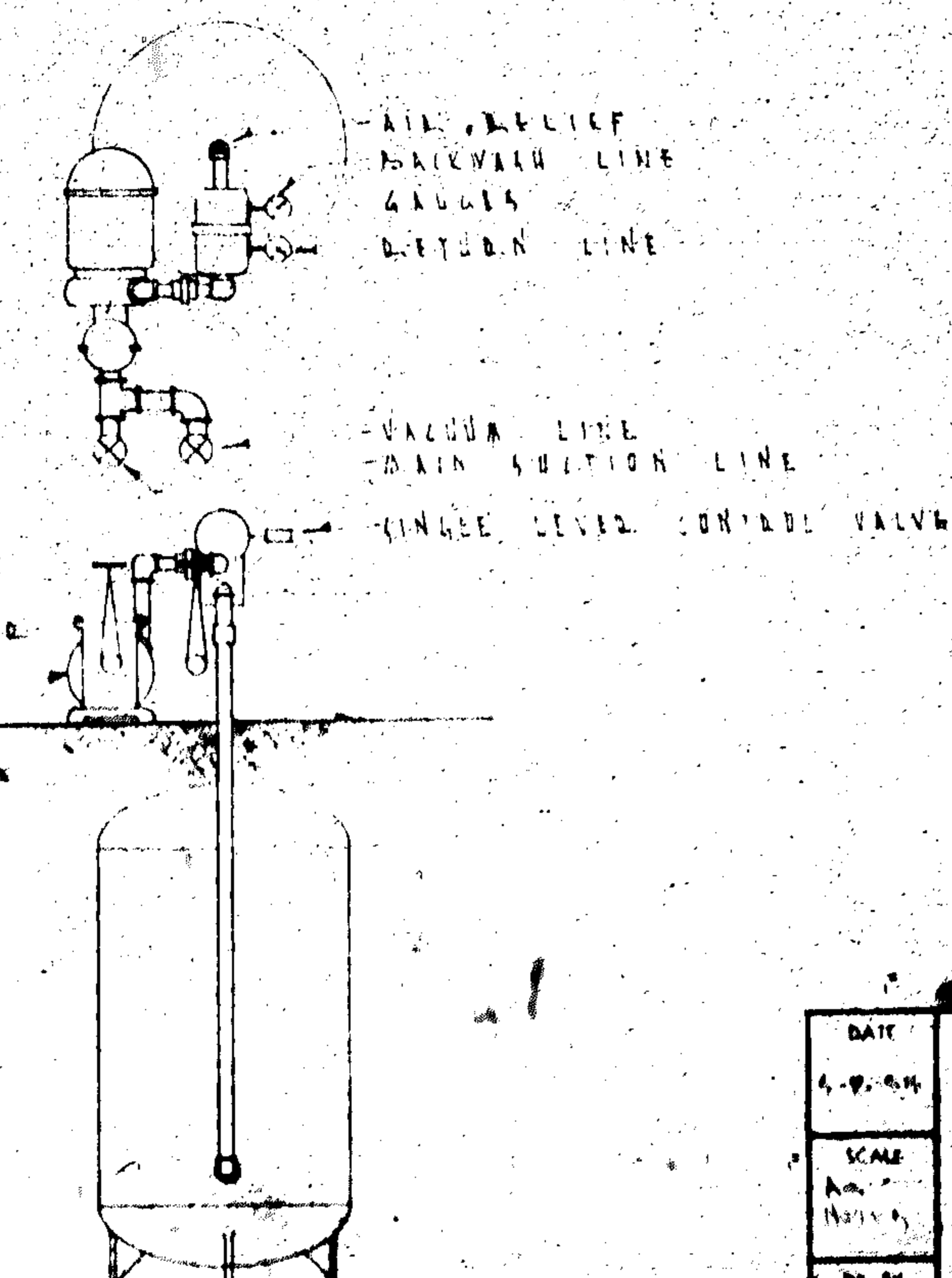


SECTION THRU POOL
SCALE 1/4" = 1'-0"



SHOWING PILES THRU 500V. LIGHT
TYP. WALL SECTION
NO SCALE

SCHEDULE						
RADIUS	THICKNESS	FLOOR THICKNESS	F.L.O.D. STRUCT. STEEL	TEMP. STEEL	WALL ALLCITE STEEL	WALL ALLCITE STEEL
6" TO 1'-0"	4"	6"	1/2" x 1/2"	3/8" x 12" x 1/2"	1/2" x 8" x 1/2"	1/2" x 12" x 1/2"
1'-0" TO 2'-0"	5"	"	1/2" x 1/2"	"	1/2" x 8" x 1/2"	"
2'-0" TO 5'-6"	5" TO 5 1/2"	8"	"	"	"	"
5'-6" TO 4'-5"	5 1/2" TO 6"	"	"	"	"	"
4'-5" TO 5'-6"	6" TO 8"	"	"	"	"	"



FILTERED PLANT
NO. 130511 SCALE

DATE	10-1-54
NAME	LOUIS RITCHIE
LOT	30429, B.L. 10
HOLLYWOOD	FLORIDA
BY	10-1-54

JOB CARD

OWNER Dr. Diamond		JOB ADDRESS 1051 S. North Lake Dr.	
LEGAL DESCRIPTION	LOT NUMBER 29 - 30	BLK 4B	SUBDIVISION OR ADDITION Hollywood Lakes 1-32
MICROFILM NO. 67-081	ARCHITECT Designs M.D.	FEE \$ 465.00	VALUATION \$ 90,000;

DESCRIPTION OF CONSTRUCTION
Relocate kitchen add bedroom, living room and bath 2 story

☐ SEPTIC TANK
☒ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 1914	6527	4-22-83	Ditocco	SEPTIC SEWER			
2299	8356	8-4-83	Planned Co.	AIR CONDITION	14924	7-21-83	Parsons
ELECTRIC BASIC				MECHANICAL			
ELECTRIC SUPP.				SCREEN			
PLUMBING	12			POOL			
SPRINKLER				DRIVEWAY	84491	9-20-83	D. Toan
FENCE				PAT. WALK			

NOTES: County Surcharge: 18.00

Energy Bldg. - Furn. letter of Certification prior to C/O
 Var. #19-24-83 - Foundation Only

THE NEW YORK PUBLIC LIBRARY

• 2000 2001

SCALE:
1"=50'

[illegible]

I, MAURICE E. BERRY II, hereby certify that I have made a recent survey of the above described property as indicated, and that there are no above-ground encroachments except as shown. I further certify that the survey represented hereon meets the requirements of the Florida Land Title Association and that this plat is true and correct.

M. E. BERRY & ASSOCIATES
2181 GILBERT ST. LAUREL, CALIF. 90708

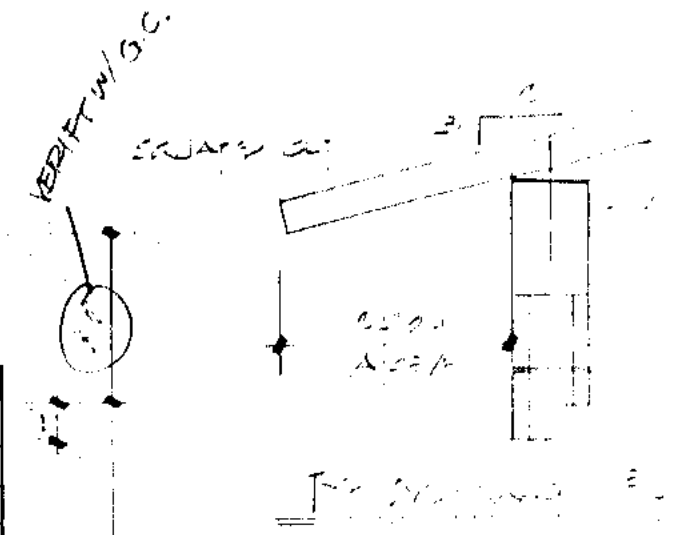
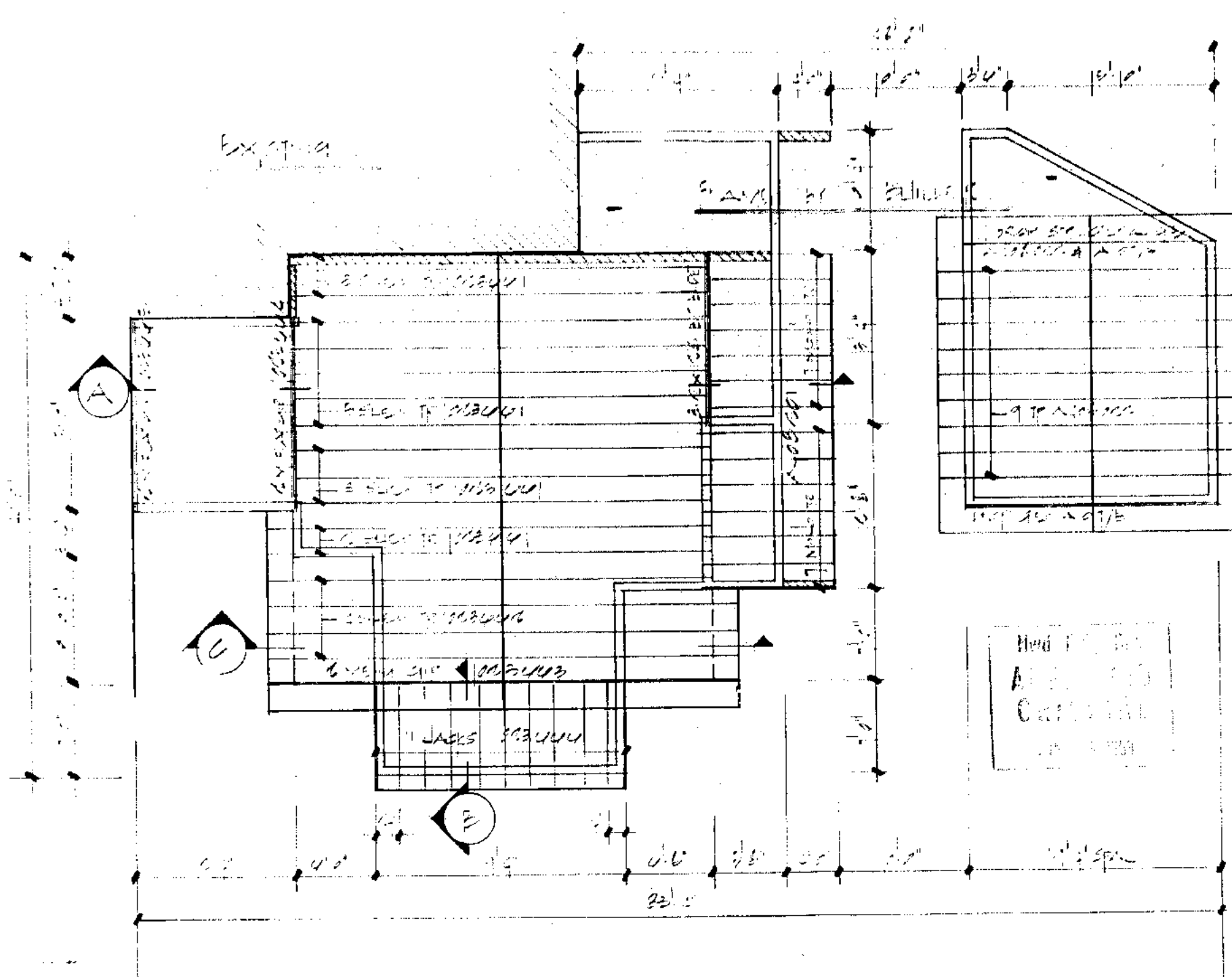
[illegible]

● 讀者信箱 ●

Maurice E. Berry II

MAURICE E. BERRY II

Registered Land Surveyor No. 1122
STATE OF FLORIDA



NO BACK CHAINS SHALL BE INSTALLED WITHOUT AUTHORIZATION OF THE OFFICE. NO ANY ALTERATIONS OF TRUSSES ARE MADE.

Handwritten note: "Handwritten note: 'Held in place by 2\"/>

Small vertical text block containing technical specifications and notes regarding truss installation and safety.

APPROVED AS NOTED FOR DIMENSIONS ONLY

Handwritten signature and date: 6/8/93

causeway LUMBER COMPANY
ROOF TRUSS DIVISION

FT. LAUDERDALE
2627 S. ANDREWS AVE.
JA 2-1704
JA 3-3416

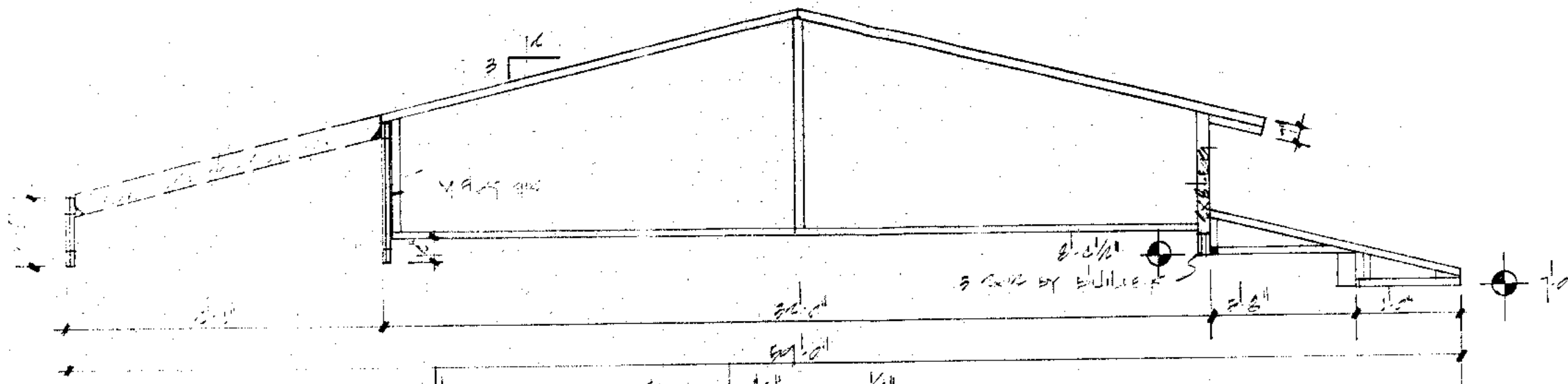
BOCA RATON
400 N. W. 26th AVE.
391-4000
(305) 311-1100

MANUFACTURERS OF

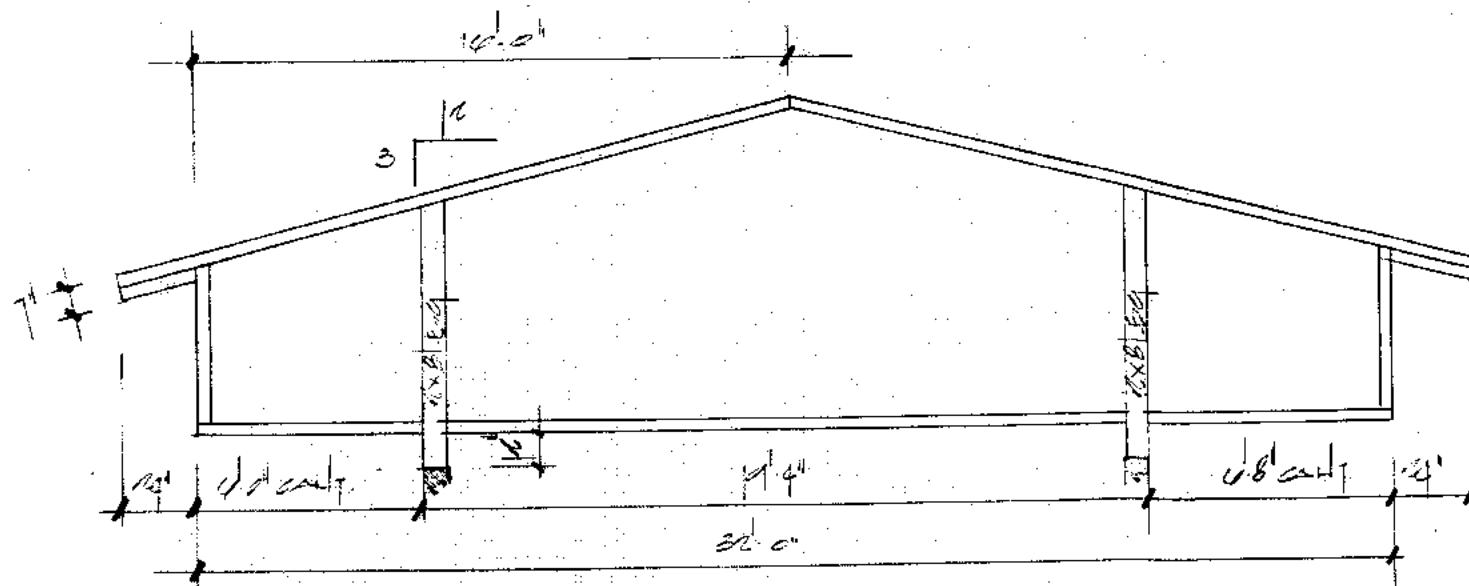
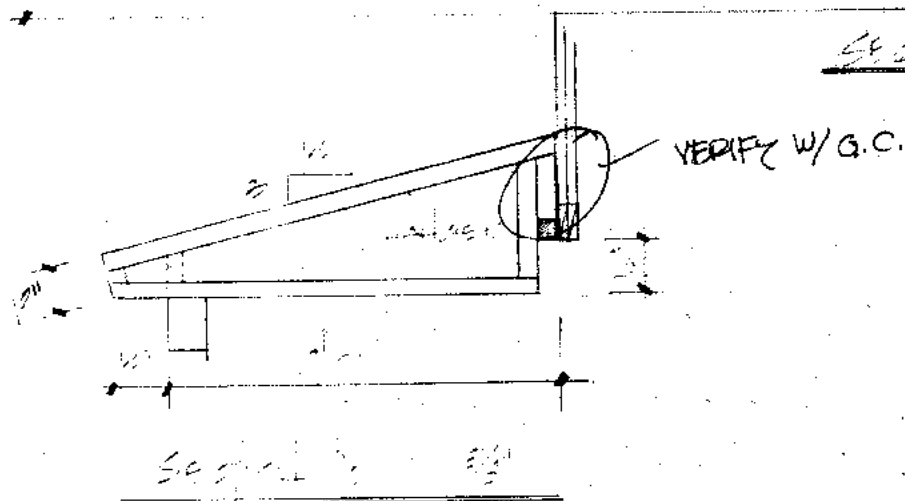
ROOF TRUSSES

CONTRACTOR	[Handwritten Signature]		
JOB NAME	[Handwritten Text]		
LOCATION	[Handwritten Text]		
DRAWN BY	[Handwritten Text]	SCALE	DATE

NOTE: ALL TRUSSES SPACED @ 2' 0" CENTERS UNLESS OTHERWISE NOTED OR EXCEPT



SECTION A-A



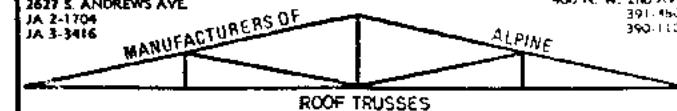
SECTION C-C

SHEET 10 OF 10

causeway LUMBER COMPANY
ROOF TRUSS DIVISION

FT. LAUDERDALE
2627 S. ANDREWS AVE.
JA 2-1704
JA 3-3416

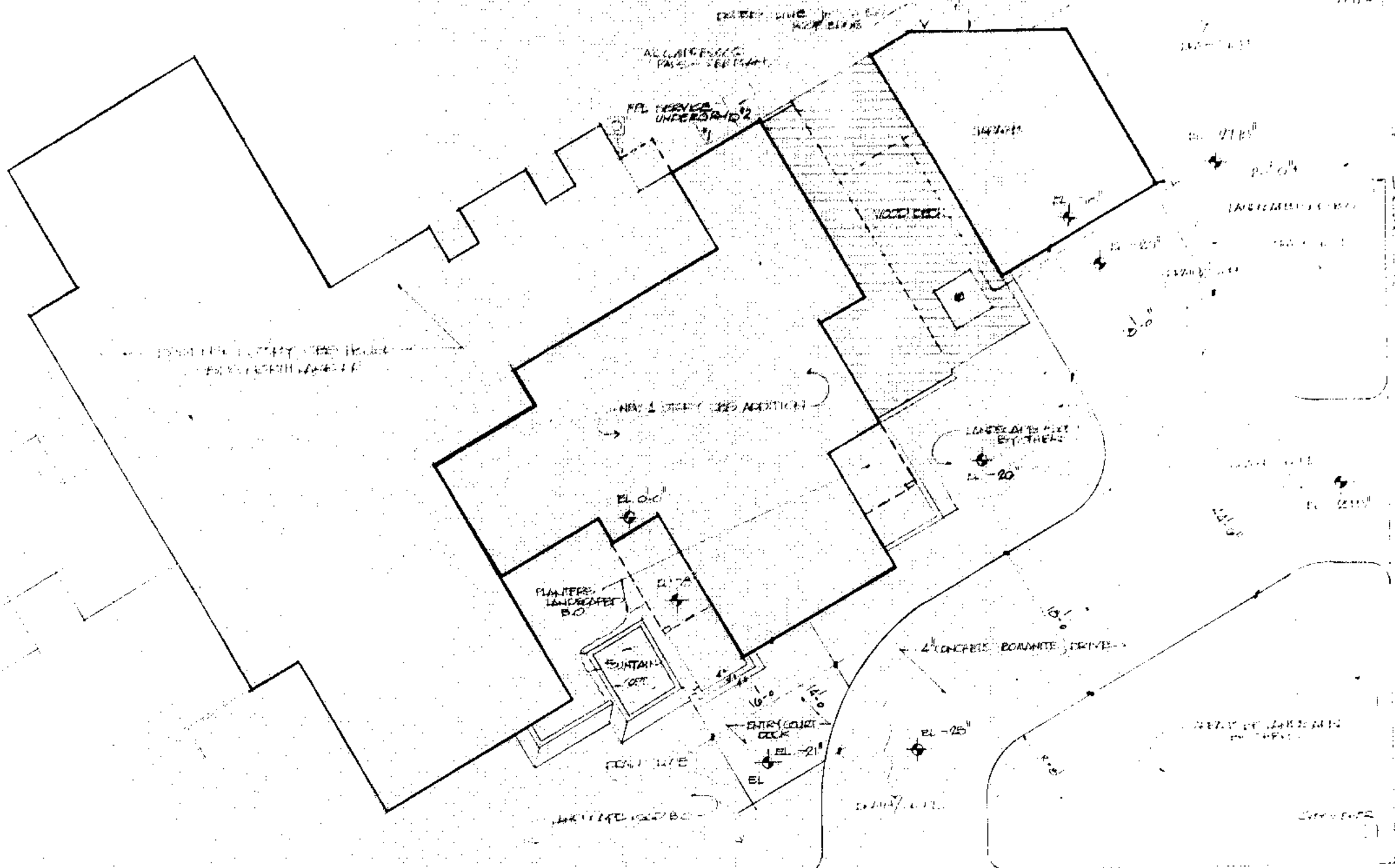
BOCA RATON
400 N. W. 2nd AVE.
391-4500
390-1100



CONTRACTOR	ALPINE
JOB NAME	ALPINE
LOCATION	ALPINE
DRAWN BY	SCALE
DATE	DATE

NOTE: ALL TRUSSES SPACED @ 2'-0" CENTERS UNLESS OTHERWISE NOTED IN LAYOUT

EXISTING PROPERTY LINE



EXISTING WEST FRONT DRIVE

NOTE: CONTRACTOR TO REPLICATE
LANDSCAPE EXISTING
REMOVING EXISTING BUILDING
AREA

N 11th AVENUE

PROPOSED DRIVEWAY
EXISTING DRIVEWAY
EXISTING DRIVEWAY

SITE PLAN



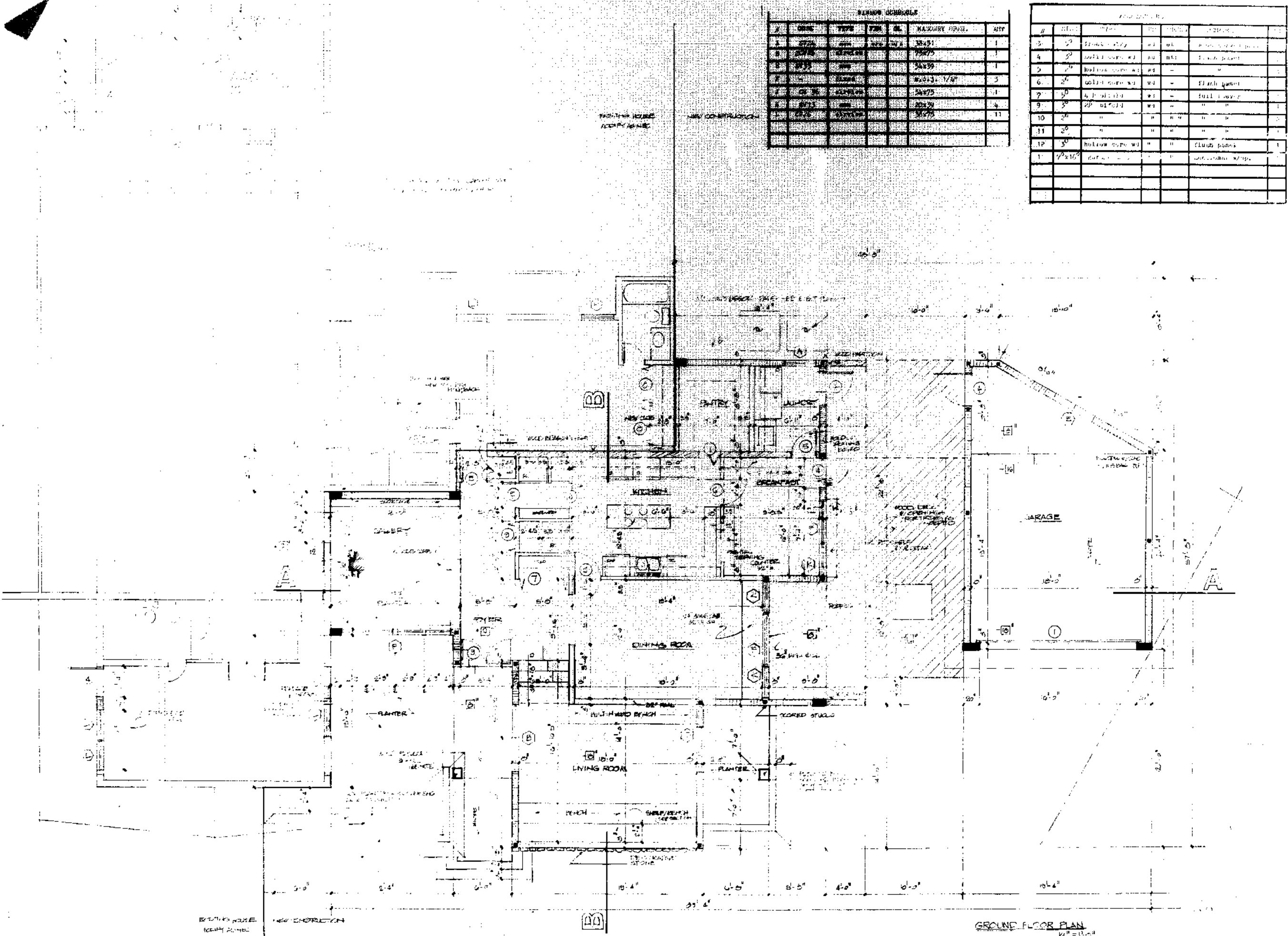
GENERAL NOTES
1. THIS PLAN IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT.
2. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ORAL DIMENSIONS.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING AND PROPOSED STRUCTURES AND UTILITIES PRIOR TO CONSTRUCTION.
4. THE DIMENSIONS AND LOCATIONS OF EXISTING AND PROPOSED STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR.
5. ATTENTION IS DRAWN TO THE FACT THAT THE DIMENSIONS AND LOCATIONS OF EXISTING AND PROPOSED STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR.
6. IN THE EVENT THE ARCHITECT IS ADVISED BY THE CONTRACTOR THAT THE DIMENSIONS AND LOCATIONS OF EXISTING AND PROPOSED STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR.
7. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
8. PLEASE CHECK ON DIMENSIONS OF EXISTING STRUCTURES.

c.m. douglas
architects
305 458 3626

PROJECT
CONTENT
DATE

1
OF 7

#	Size	Color	SP	Wt	Length	Remarks	Sex
3	2 ⁰	black above, white below	wt	wt		black above, white below	♂
4	3 ⁰	gold above, white below	wt	wt		black above, white below	♂
5	2 ⁰	black above, white below	wt	-		" "	♂
6	2 ⁰	gold above, white below	wt	-		black above, white below	♂
7	1 ⁰	black above, white below	wt	-		black above, white below	♂
9	3 ⁰	2 ⁰ above, 1 ⁰ below	wt	-		" "	♂
10	2 ⁰	" "	" "	" "		" "	♂
11	2 ⁰	" "	" "	" "		" "	♂
12	3 ⁰	black above, white below	" "	" "		black above, white below	♂
1	2 ⁰ x 16 ⁰	black above, white below	" "	" "		black above, white below	♂



in design architects
303 466 7826

—

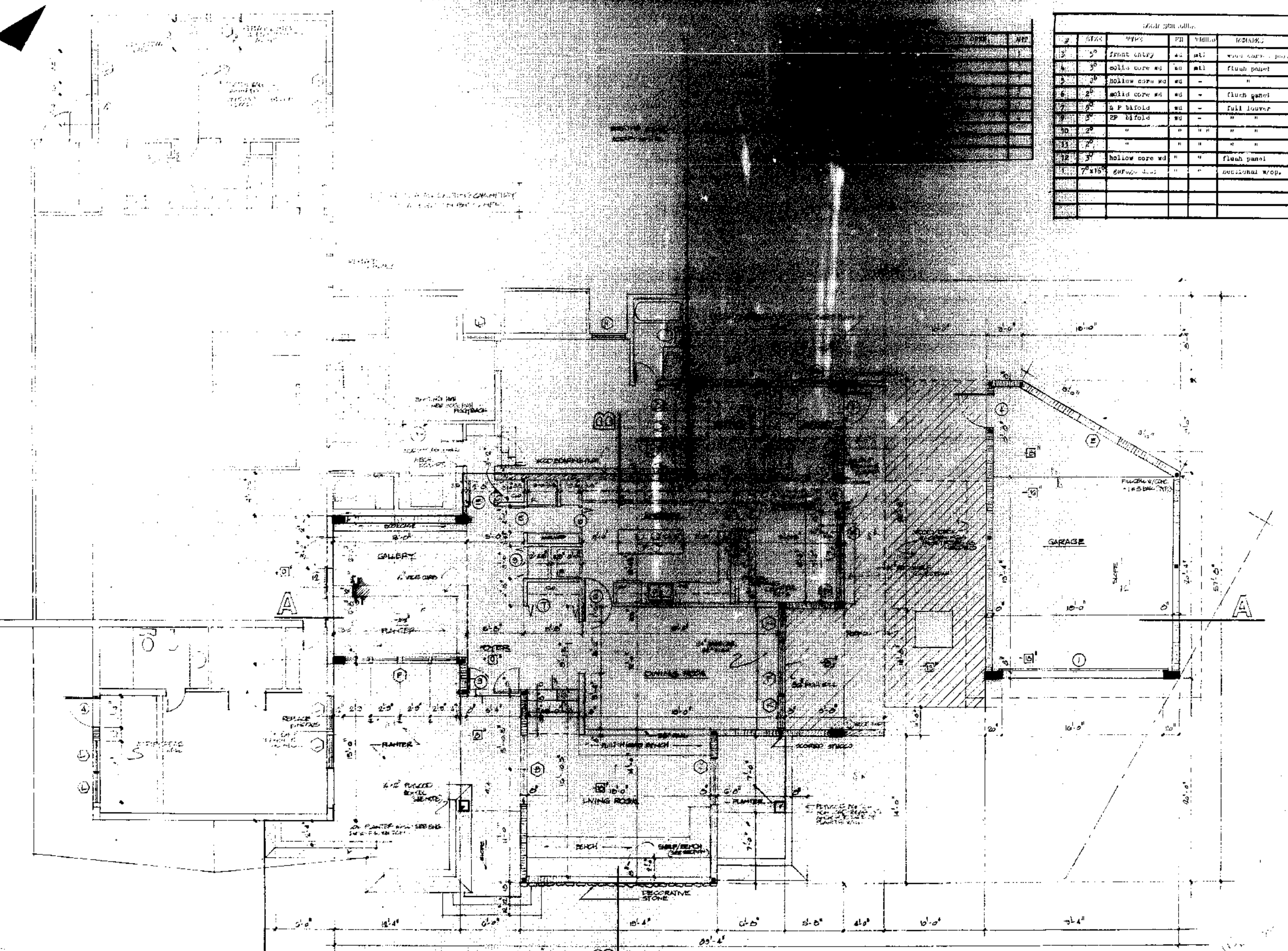
PROVE:4.

CONTENTS

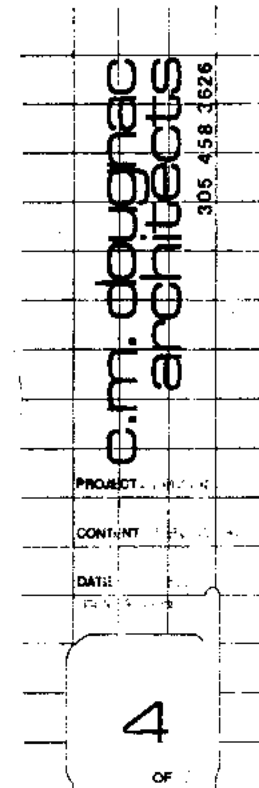
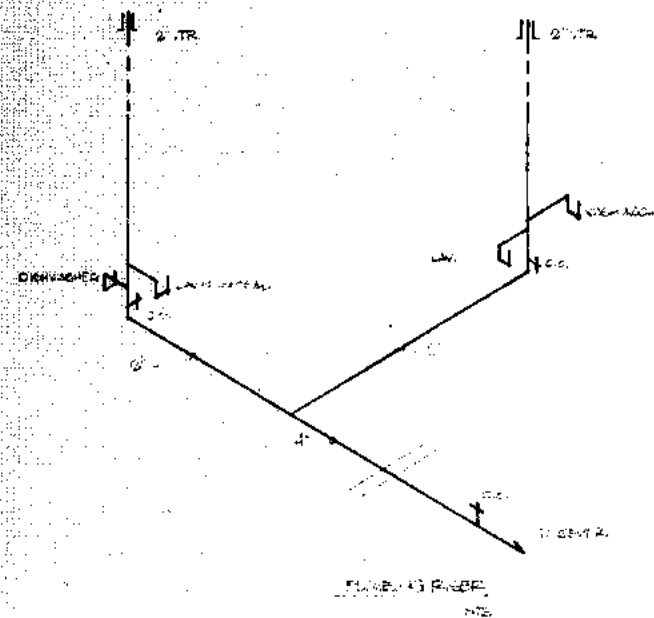
DATE .

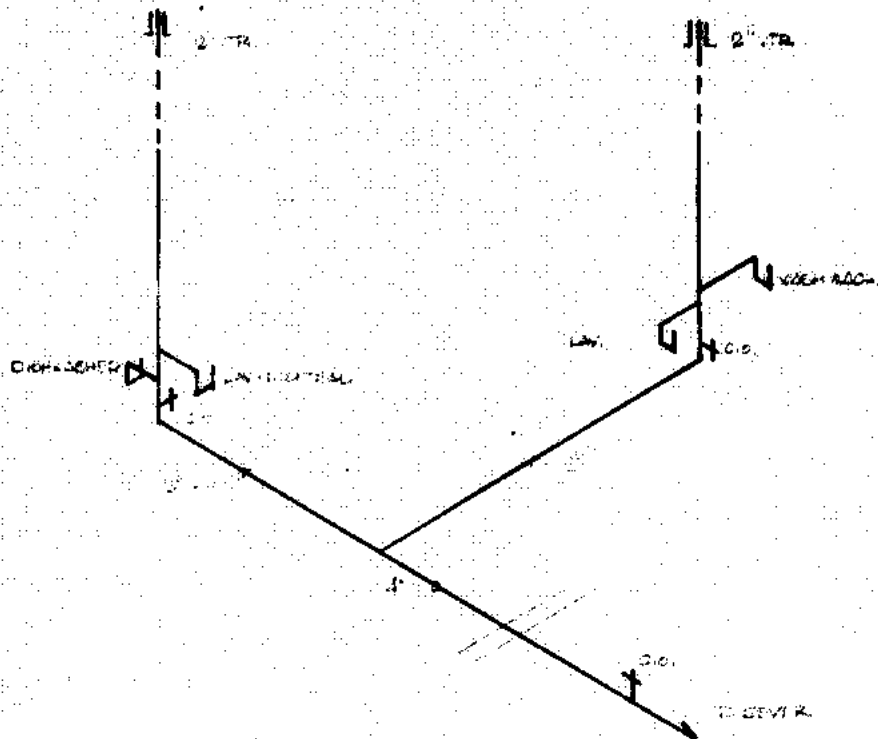
2

Window Schedule						
#	SIZE	TYPE	FIN	HANDLE	REMARKS	QTY
1	5'-0"	front entry	wd	all	wood core - post	1
2	3'-0"	solid core wd	wd	all	flush panel	1
3	3'-0"	hollow core wd	wd	-	"	1
4	2'-0"	solid core wd	wd	-	flush panel	1
5	3'-0"	2 P bifold	wd	-	full louver	1
6	3'-0"	2P bifold	wd	-	"	1
7	2'-0"	"	"	"	"	1
8	2'-0"	"	"	"	"	1
9	3'-0"	hollow core wd	"	"	flush panel	1
10	7'-0" x 15'-0"	garage door	"	"	sectional w/op.	1



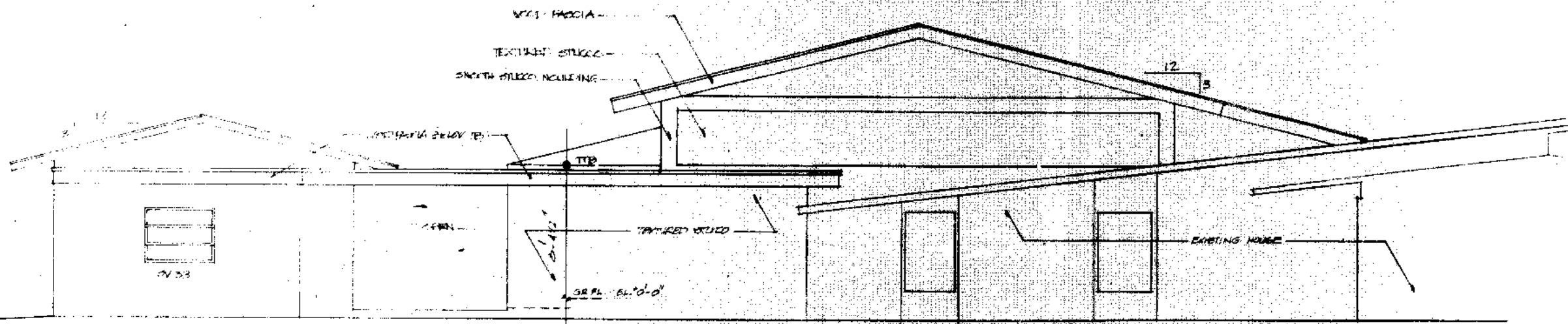
c.m. dougherty architects
 303 438 3828
 PROJECT _____
 CONTENT _____
 DATE _____
 2 OF 2
 GROUND FLOOR PLAN



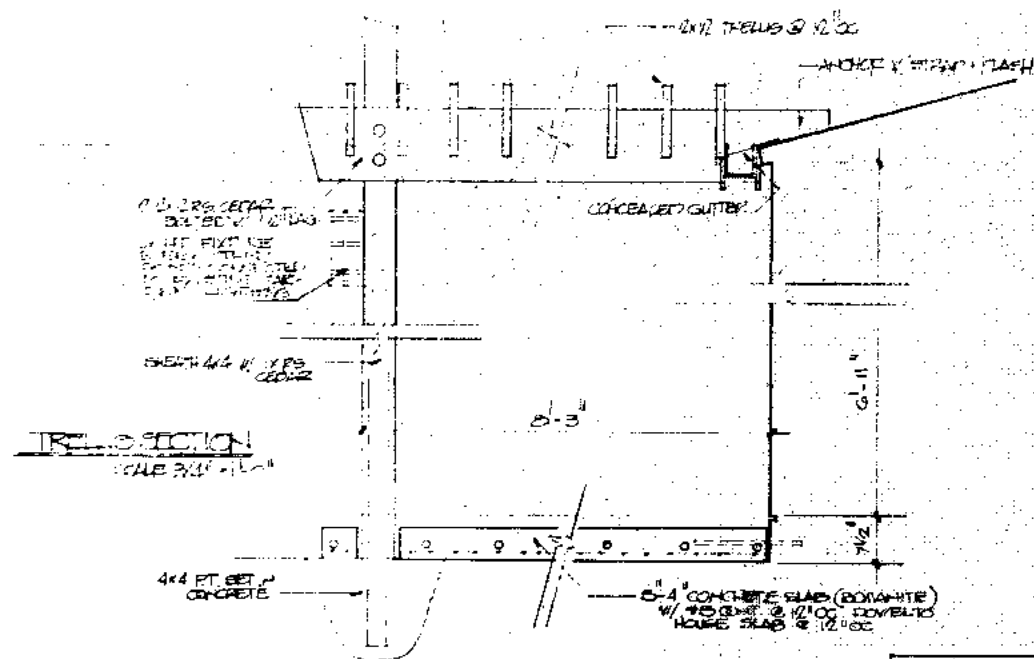


PUMP-17-2-22

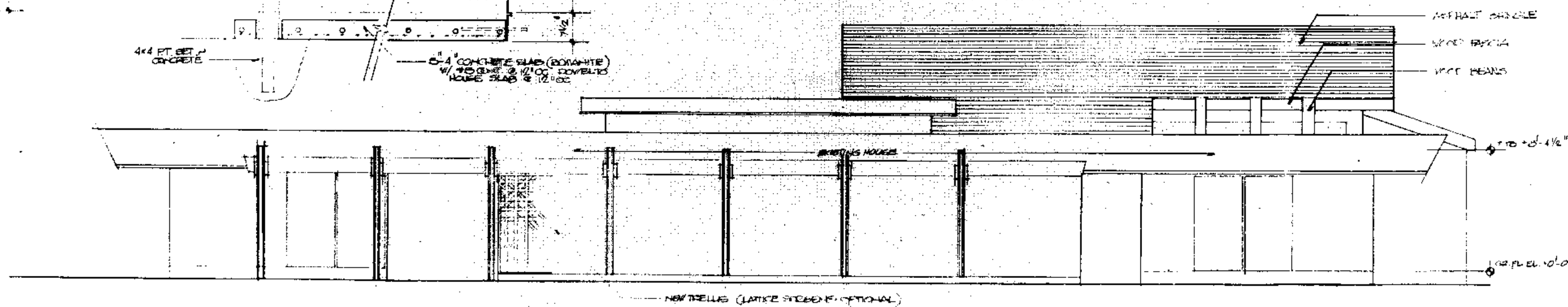
NS



EAST ELEVATION
1/4" = 1'-0"



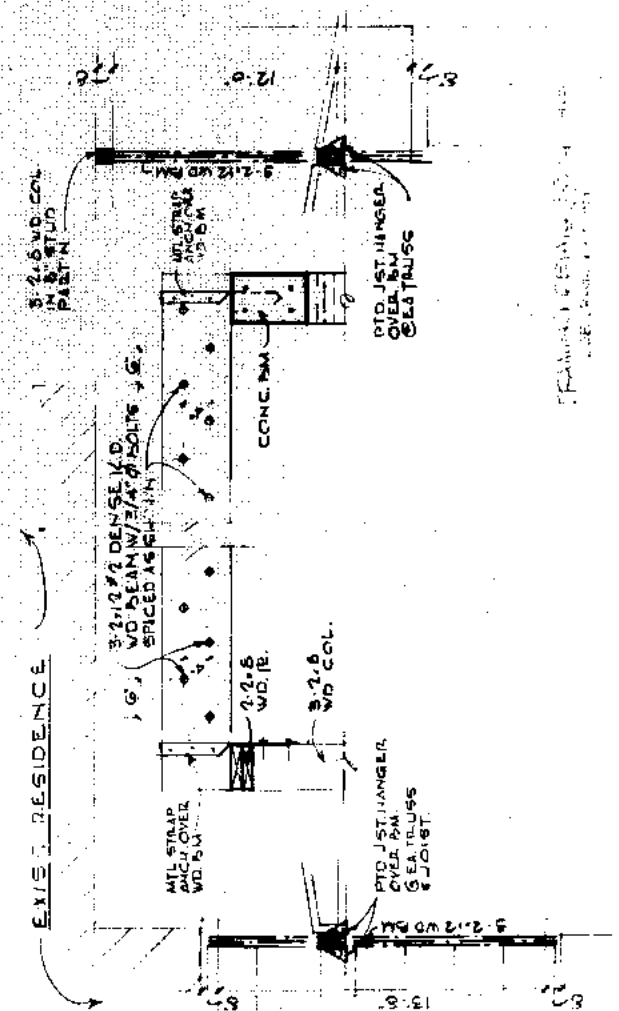
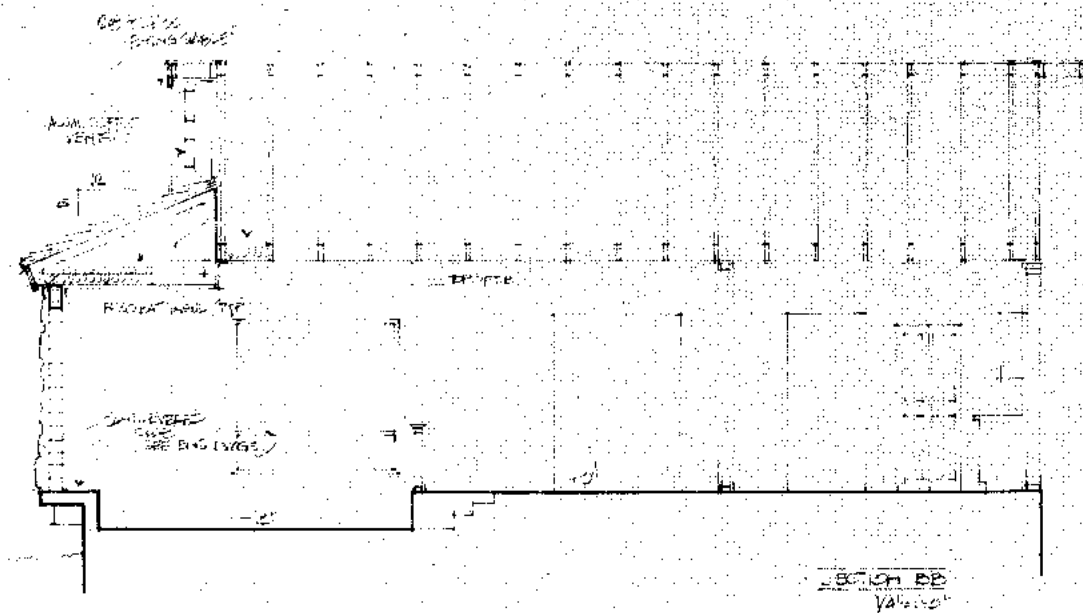
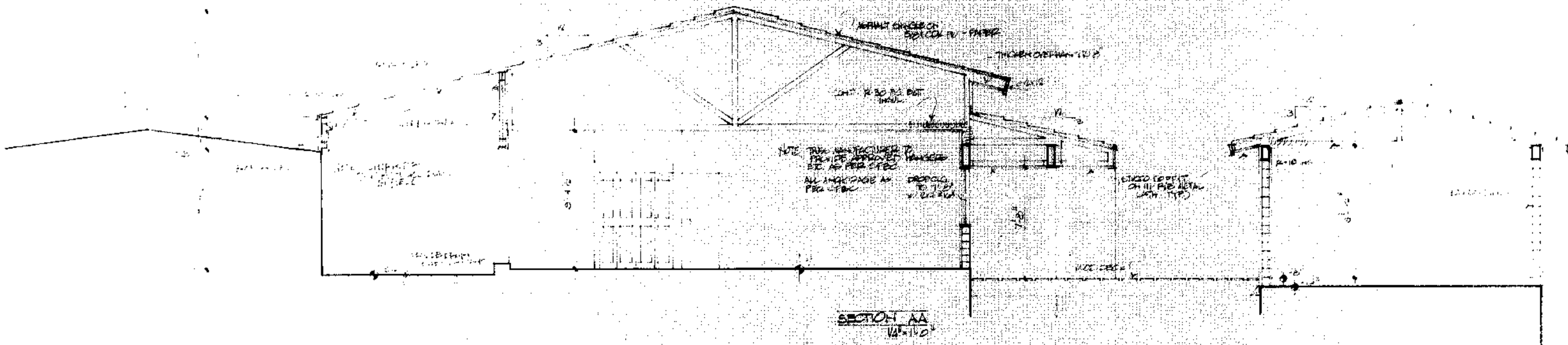
IRIS SECTION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

e.m. douglas
architects
305 458 3626

PROJECT: PLANNING
CONTENT: ELEVATIONS
DATE: 10/1/00



e.m. doughton
architects

305 458 3626

PROJECT

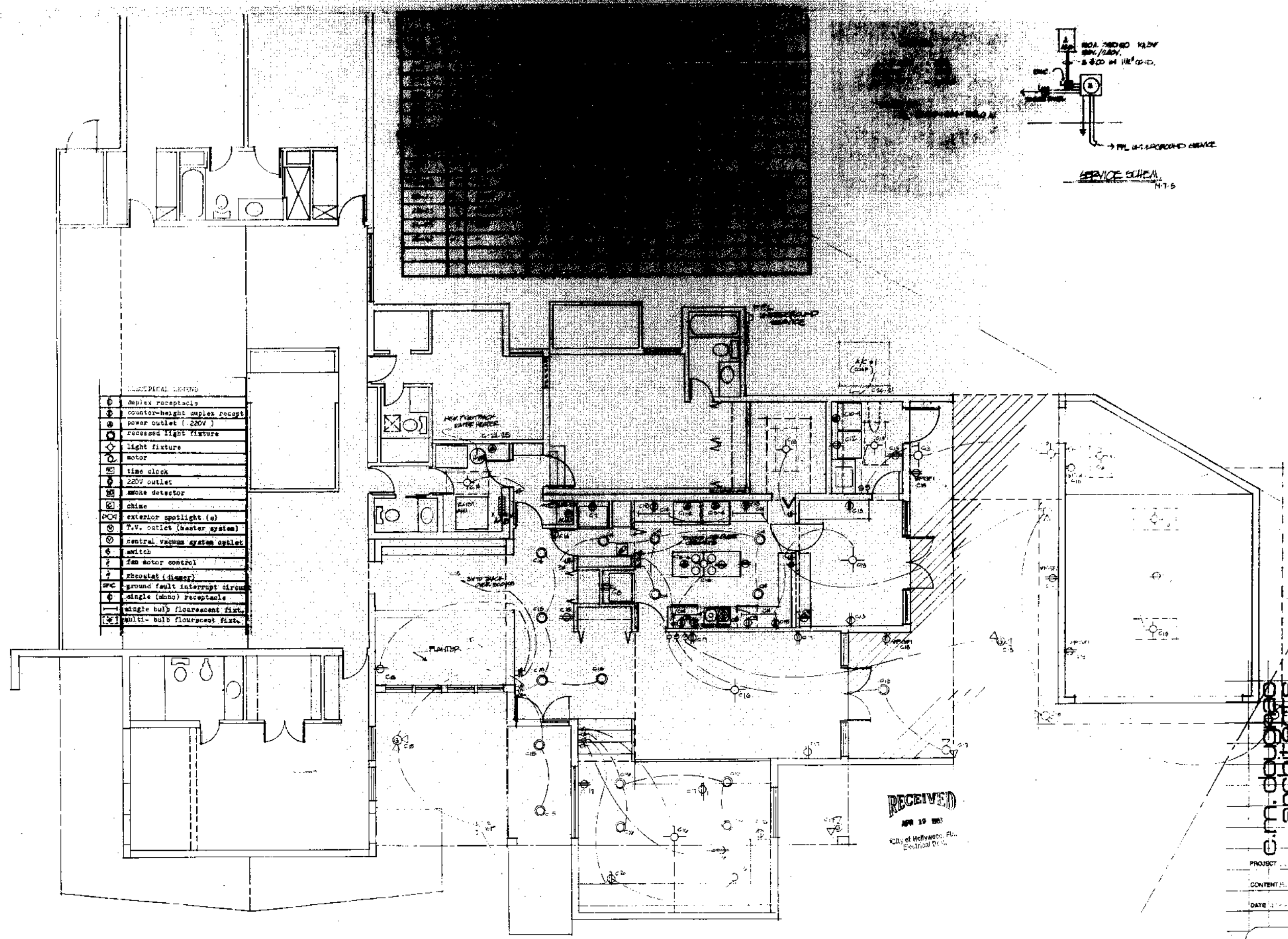
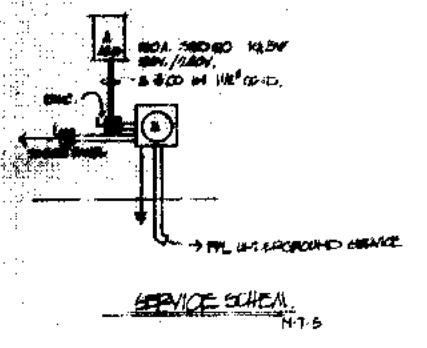
CONTENT

DATE

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OF

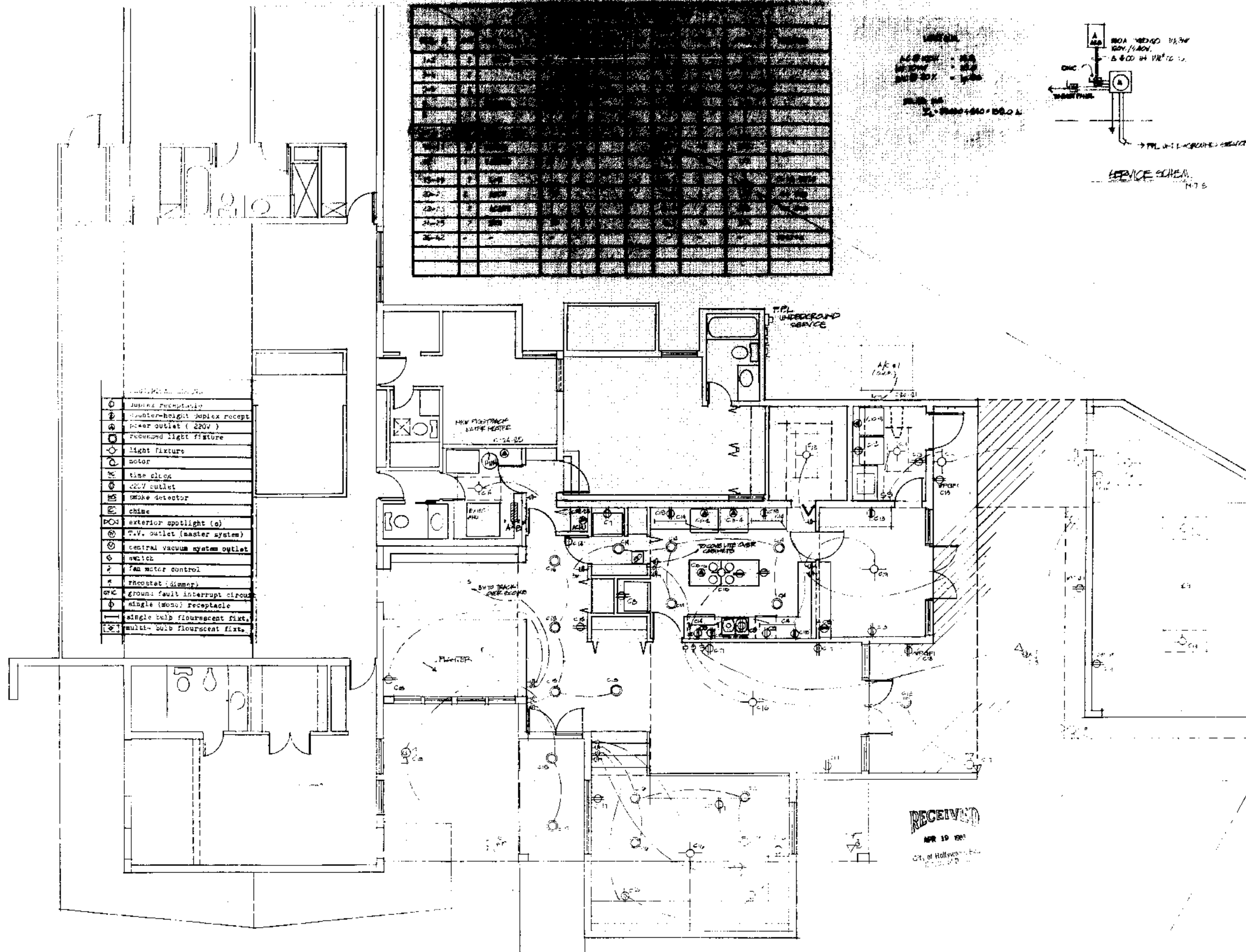
- SYMBOLS**
- ⊕ duplex receptacle
 - ⊕ counter-height duplex recept
 - ⊕ power outlet (220V)
 - ⊕ recessed light fixture
 - ⊕ light fixture
 - ⊕ motor
 - ⊕ time clock
 - ⊕ 220V outlet
 - ⊕ smoke detector
 - ⊕ chime
 - ⊕ exterior spotlight (e)
 - ⊕ T.V. outlet (master system)
 - ⊕ central vacuum system outlet
 - ⊕ switch
 - ⊕ fan motor control
 - ⊕ thermostat (dimmer)
 - ⊕ ground fault interrupt circuit
 - ⊕ single (mono) receptacle
 - ⊕ single bulb fluorescent fixt.
 - ⊕ multi-bulb fluorescent fixt.



RECEIVED
APR 19 1983
City of Hollywood, Fla.
Electrical Dept.

e.m. douglas architects
305 458 1026

PROJECT _____
CONTENT _____
DATE _____



c.m. douglas
architects

305 458 3626

PROJECT

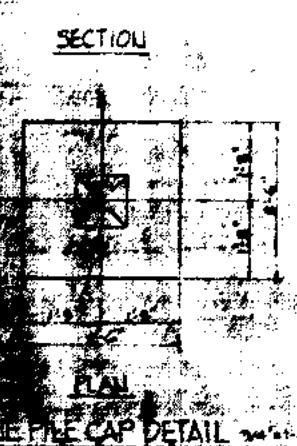
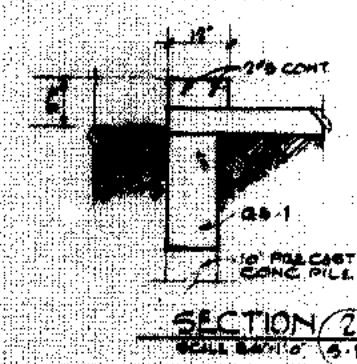
CONTENT

DATE

[illegible]

G. M. Hancock

ENGINEERING ENGINEER
205 N. W. 55th St. • Suite 125
Miami Beach, FL 33137 • 305-439-0112



ONE PILE CAP DETAIL



TYPICAL BRACING WALL DETAIL

TIE PLANTED WALLS TOGETHER W/ CONC. FILLED CELL & 1-#5X

(SEE ARCH. DWG) PLANTED WALL

(SEE ARCH. DWG) PLANTED WALL

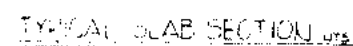
FOUNDATION PLAN 1/4" = 1'-0"

1. 10" PRE-STRESSED CONC. PILE.
2. TEMP. STEEL SHALL BE 3/16" EXCEPT AS NOTED ON DRAWING.
3. FLOOR SHALL BE 5" CONC. SLAB 4" REIN. AS SHOWN EXCEPT AS NOTED.
4. [Symbol] INDICATES #5 DOWEL FOR CONC. FILLED PILE CAP.

FOUNDATION PLAN & SECTION

ADDITONS TO
RESIDENCE FOR NORTH
HOLLYWOOD

Lawrence DeRose, P.E.
CONSULTING ENGINEERS
LAND PLANNING • CIVIL • STRUCTURAL
2000 N. ANDREWS AVENUE
SUITE 200
LOS ANGELES, CALIFORNIA 90047
772-0047



COPIES SCHEDULE									
MARK	SIZE	VECT	SEAL						REMARKS
1									
2									
3									
4									
5									
6									
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