

# COVER SHEET

**NAME OF DEVELOPMENT:** 2323 Polk Building

**PHASE:** N/A

**PAGE INDEX:**

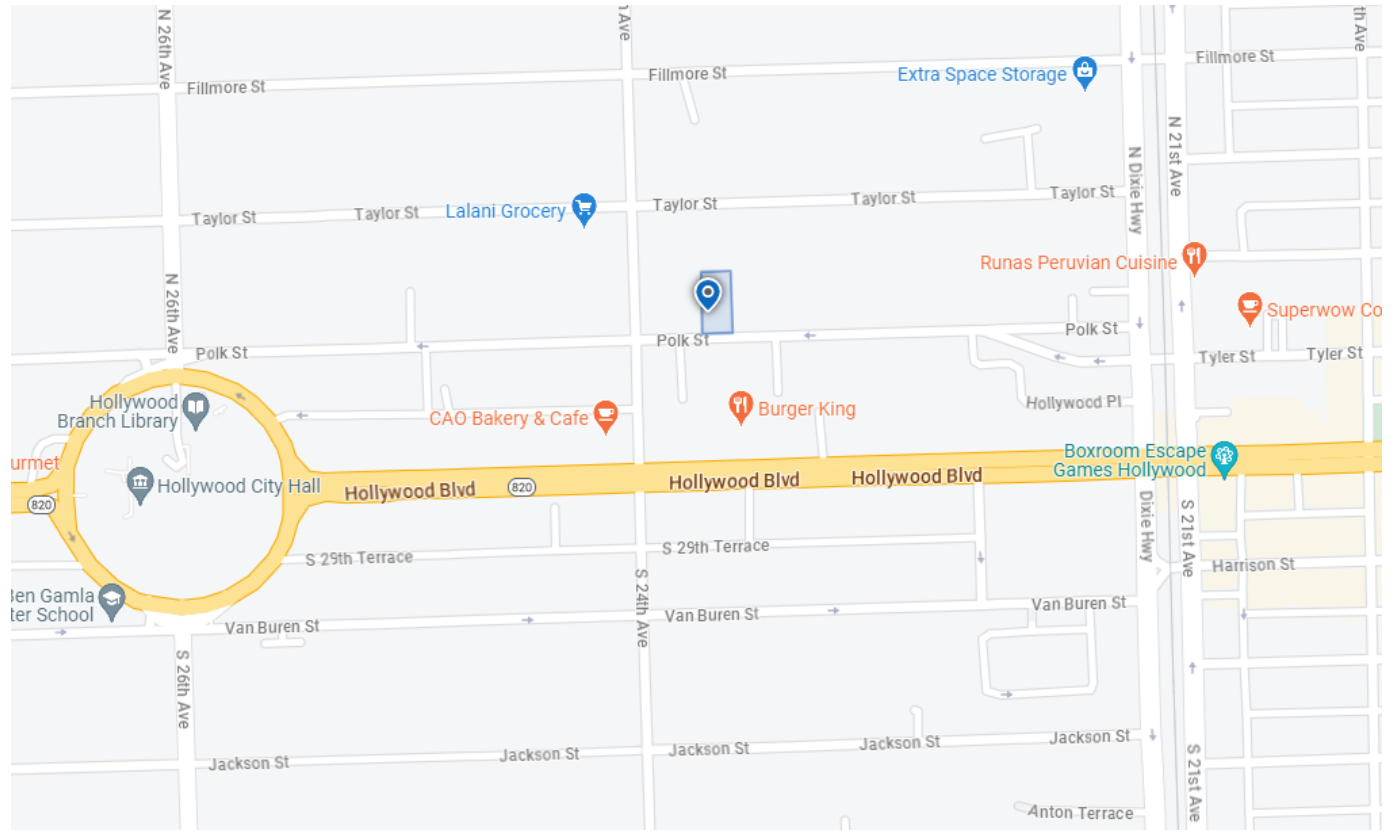
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**PACO MEETING DATE:** 5/6/2024

**TAC MEETING DATE:** 11/4/2024

**TITLE:** 2323 Polk Building, A Residential Condominium

# LOCATION MAP:



APPLICATION DATE: \_\_\_\_\_

**2600 Hollywood Blvd**

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@  
Hollywoodfl.org

**SUBMISSION REQUIREMENTS:**

- One set of signed & sealed plans  
*(i.e. Architect or Engineer)*
- One electronic **combined** PDF submission *(max. 25mb)*
- Completed Application Checklist
- Application fee

**NOTE:**

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS, & MEETING DATES](#)

**APPLICATION TYPE (CHECK ALL THAT APPLIES):**

- Technical Advisory Committee      Art in Public Places Committee      Variance  
 Planning and Development Board      Historic Preservation Board      Special Exception  
 City Commission      Administrative Approval

**PROPERTY INFORMATION**

**Location Address:** 2323 POLK STREET

Lot(s): 8     Block(s): 8     Subdivision: Hollywood Little Ranches

Folio Number(s): 514216013510

Zoning Classification: DH-2     Land Use Classification: Rec Activity Center

Existing Property Use: Duplex R     Sq Ft/Number of Units: 2

Is the request the result of a violation notice?  Yes  No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

**DEVELOPMENT PROPOSAL**

Explanation of Request: Approval of a new 4-story 27 Apartment units to be developed as a residential comdominium

Phased Project: Yes  No  Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="27"/> #Rooms <input type="text" value="54"/>
Proposed Non-Residential Uses	<input type="text" value="0"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="20"/> (Area: <input type="text" value="5,844 (28.5%)"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="57"/> )
Height (# of stories)	(# STORIES) <input type="text" value="4"/> ( <input type="text" value="53"/> FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area ( <input type="text" value="30,075"/> FT.)

**Name of Current Property Owner:** 2323 Polk LLC

Address of Property Owner: 4878 SW 74 Court, Miami, FL 33155

Telephone: 786-458-1805     Email Address: sales@mountaincovehomes.com

**Applicant** Leopoldo Bellon, AIA     Consultant  Representative  Tenant

Address: 12930 SW 128th Street, Suite 203, Miami, FL 33186     Telephone: 305-790-2626

Email Address: leo@bellonglobal.com

Email Address #2: amy@bellonglobal.com

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes  No

If Yes, Attach Copy of the Contract.

**Noticing Agent** (FTAC & Board submissions only) : \_\_\_\_\_

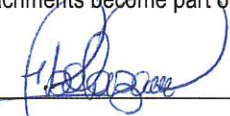
E-mail Address: \_\_\_\_\_



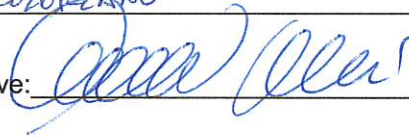
## CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:  Date: 8-22-2024

PRINT NAME: VICTOR F SOLORZANO Date: \_\_\_\_\_

Signature of Consultant/Representative:  Date: 8/16/24

PRINT NAME: Leopoldo Bellon, Architect Date: 8/16/2024

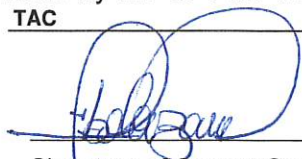
Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

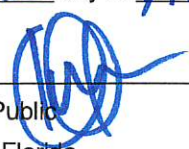
PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for zoning process approval to my property, which is hereby made by me or I am hereby authorizing Leopoldo Bellon, AIA to be my legal representative before the TAC (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 22 day of August, 2024

  
Signature of Current Owner

  
Notary Public  
State of Florida



VICTOR F SOLORZANO  
Print Name

My Commission Expires: \_\_\_\_\_ (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_



# Ownership and Encumbrance Property Information Report

**Issuer: Attorneys' Title Fund Services, Inc.**  
**Recipient: Law Office of Alexis Gonzalez, P.A.**

**Broward**  
**1201 West Cypress Creek Road, Suite 200**  
**Fort Lauderdale, FL 33309**  
**(800)929-5791**  
**(800) 783-1943**

***Fund File Number:*** 1575838

***Agent's File Reference:*** 2323 POLK STREET

***Effective Dates:***     ***From*** July 8, 1922 at 11:00AM

***To***     October 7, 2024 at 11:00 PM

***This title search commences from the date of the last outstanding institutional first mortgage on the property. If there is no outstanding mortgage, the search commences with the date record title vested in the current record owner.***

***Description of Real Property Situated in Broward County, Florida.***

See Exhibit A

***Apparent Title Vested in:***

2323 Polk, LLC, a Florida limited liability company by Warranty Deed recorded in Instrument Number [119692857](#); Instrument Number [119692859](#), Public Records of Broward County, Florida.

***This search does not cover matters other than those recorded in the Official Records Book of the county and does not assure the legality or validity of the referenced instruments.***

***Ad Valorem tax information is not provided.***

***Prepared Date:*** October 10, 2024

***Prepared by:*** Rose Boles

***Phone Number:*** (800) 929-5791 x6255

***Email Address:*** RBoles@thefund.com

# Ownership and Encumbrance Property Information Report

Attorneys' Title Fund Services, Inc.

**Fund File Number:** 1575838

## ENCUMBRANCES

1. Mortgage to LADI Investment Inc., a Florida corporation, its successors and/or assigns, as their interest may appear, mortgagee(s), recorded in Instrument Number [119692862](#), Public Records of Broward County, Florida.
2. Assignment of Leases, Rents, and Profits filed July 18, 2024, in Instrument Number [119692863](#), Public Records of Broward County, Florida.
3. UCC Financing Statement between 2323 Polk, LLC, a Florida limited liability company and Ladi Investment Inc., a Florida corporation as recorded in Instrument Number [119692864](#), Public Records of Broward County, Florida.
4. Rights of the lessees under unrecorded leases.

*A 20-year name search has been performed on parties acquiring an interest within the time period covered by this search.*

*This Title Search is prepared and furnished for information only. It is not an opinion of title and may not be used as a title base for the issuance of a title insurance commitment and/or policy, nor should it be used for the preparation of foreclosure proceedings or other litigation.*

*This report is not title insurance. Pursuant to s. 627.7843, Florida Statutes, the maximum liability of the issuer of this property information report for errors or omissions in this property information report is limited to the amount paid for this property information report, and is further limited to the person(s) expressly identified by name in the property information report as the recipient(s) of the property information report.*



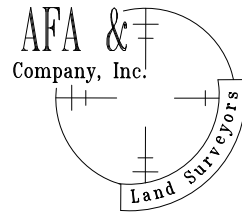
# Ownership and Encumbrance Property Information Report

Attorneys' Title Fund Services, INC..

## Exhibit A

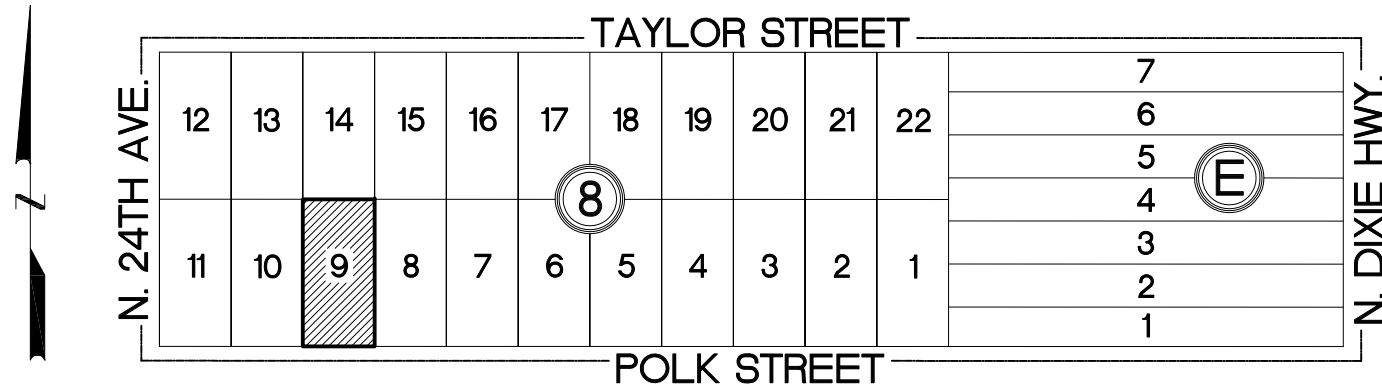
*Fund File Number:* 1575838

Lot 9, Block 8, AN AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES, according to the map or plat thereof as recorded in Plat Book [1, Page 26](#), Public Records of Broward County, Florida.



# Property Information

## Location Sketch N.T.S.



**CERTIFIED ONLY TO:**

2323 Polk, LLC, a Florida limited liability company  
 Ladi Investment Inc., a Florida corporation  
 AGLAW  
 Old Republic National Title Insurance Company/ATFS

**PROPERTY ADDRESS:**

2323 Polk Street  
 Hollywood, Florida 33020

**LEGAL DESCRIPTION:**

Lot 9, Block 8, of: "HOLLYWOOD LITTLE RANCHES", according to the Plat Thereof as Recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida.

**Surveyor's Notes:**

- #11 The herein captioned Property was surveyed and described based on the Legal Description Provided by Client.
- #12 This Certification is Only for the lands as Described. it is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. ABSTRACT NOT REVIEWED.
- #13 There may be additional Restrictions not Shown on this survey that may be found in the Public Records of Said County Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- #14 Accuracy:  
The expected use of land, as classified in the Standards of Practice (5J-17.052), is residential. The minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00' feet. the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- #15 Foundation and / or footing that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- #16 Not valid without the signature and original seal of a Florida Licensed Surveyor and Mapper. additions or deletions to survey maps or reports by other than the signing party or parties.
- #17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
- #18 Underground Utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- #19 Ownership subject to Opinion of Title.
- #20 The location of the Flood Zone lines shown hereon are an approximate, based on the FEMA flood maps website. Confirmation of said Flood Zone lines location must be made with FEMA prior to any design.

**ELEVATION INFORMATION**

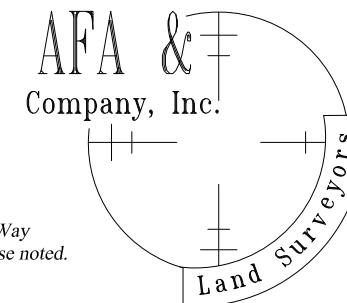
**National Flood Insurance Program  
 FEMA Elev. Reference to NAVD 1988**

Comm Panel	125113
Panel #	0569
Firm Zone:	"X"
Date of Firm:	08-18-2014
Base Flood Elev.	N/A
F.Floor Elev.	11.40'
Guest House Elev.	11.22'
Garage Elev.	10.93'
Suffix:	"H"
Elev. Reference to NAVD 1988	

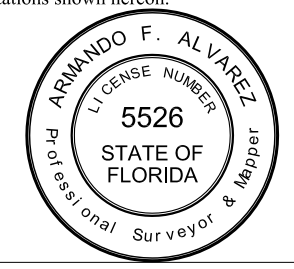
JOB #	24-813
DATE	08-07-2024
PB	1-26 Bro.

**Surveyors Notes:**

- #1 Land Shown Hereon were not abstracted for Easement and /or Right of Way Records. The Easement / Right of Way Show on Survey are as per plat of record unless otherwise noted.
- #2 Benchmark: Broward County Public Works Dep. AD2462; Elev. + 9.07'
- #3 Bearings as Shown hereon are Based upon Polk Street, S89°59'13"E
- #4 Please See Abbreviations
- #5 Drawn By: A. Torres
- #6 Date: 4-2-24; 8-7-24
- #7 Completed Survey Field Date: 3-28-24; 8-6-24
- #8 Disc No 2024, Station Surveying Scion
- #9 Last Revised:
- #10 Zoned Building setback line not determined



Professional  
 Surveyors & Mappers LB 7498  
 13050 S.W. 133rd Court  
 Miami Florida, 33186  
 E-mail: afaco@bellsouth.net  
 Ph: (305) 234-0588

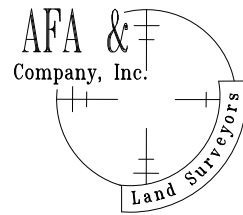


Armando F. Alvarez  
 Professional Surveyor & Mapper #5526  
 State of Florida

**TREE LEGEND:**

- 1, PALM D=0.50', H=25', SP=10'
- 2, PALM TRI D=0.50', H=25', SP=10'
- 3, PALM MULTI D=0.50', H=15', SP=10'
- 4, PALM D=0.50', H=15', SP=10'
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- 7, PALM TRI D=0.50', H=25', SP=10'
- 8, PINE D=0.40', H=30', SP=8'
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- 117, DRACAENA TARZAN D=0.80', H=15', SP=10'
- 118, PYGMY DATE PALM D=0.50', H=8', SP=6'
- 119, GARCINIA SPICATA D=0.50', H=10', SP=8'
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- 122, DRACAENA FRAGRANS D=0.80', H=15', SP=10'
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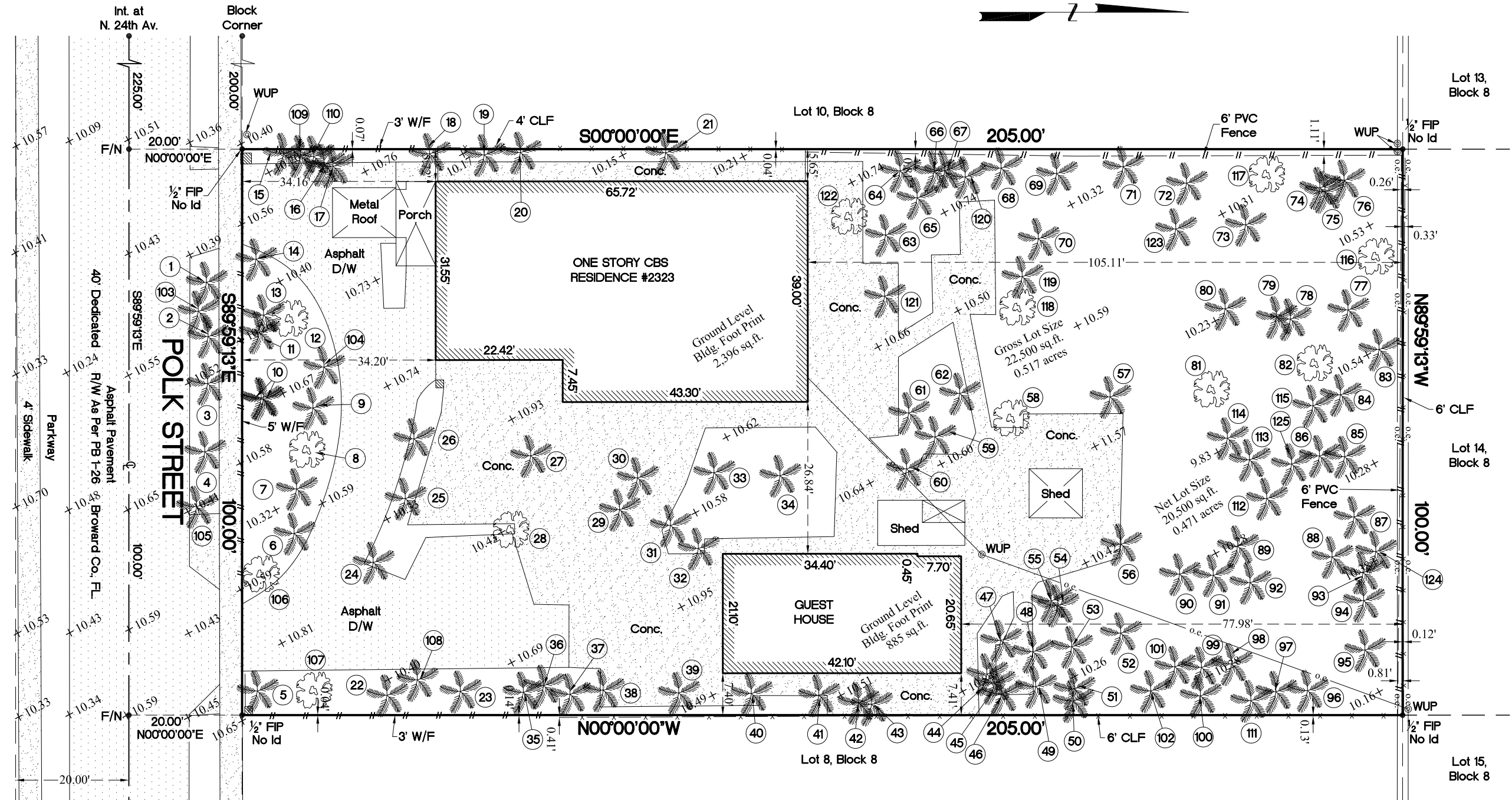
# Boundary Survey

Graphic Scale 1" = 20'

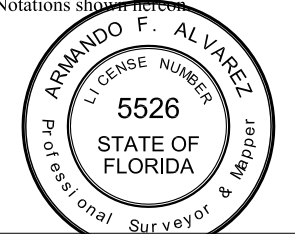
Prepared By:  
**AFA & COMPANY, INC.**  
 PROFESSIONAL LAND SURVEYORS AND MAPPERS  
 FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498  
 13050 SW 133RD COURT,  
 MIAMI, FLORIDA 33186  
 E-MAIL: AFACO@BELLSOUTH.NET  
 PH: 305-234-0588

## Abbreviations of Legend

- AVE. = AVENUE
- ASPH = ASPHALT
- A/W = ANCHOR WIRE
- A/C = AIR CONDITIONER
- BLDG = BUILDING
- B. COR. = BLOCK CORNER
- CAL = CALCULATED
- C.B. = CATCH BASIN
- CLF = CHAIN LINK FENCE
- CONC. = CONCRETE
- COL. = COLUMN
- C.U.P. = CONCRETE UTILITY POLE
- C.L.P. = CONCRETE LIGHT POLE
- CBS = CONCRETE BLOCK STRUCTURE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- D = DELTA
- D/W = DRIVEWAY
- D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
- ENC. = ENCROACHMENT
- E.T.P. = ELECTRIC TRANSFORMER PAD
- F.P.L. = FLORIDA POWER AND LIGHT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.F. = FINISH FLOOR
- DH/F = FOUND DRILL HOLE
- F.R. = FOUND REBAR
- F/D = FOUND DISC
- F/N = FOUND NAIL
- I/F = IRON FENCE
- L = LENGTH
- L.M.E. = LAKE MAINTENANCE EASEMENT
- L.F.E. = LOWEST FLOOR ELEVATION
- L.P. = LIGHT POLE
- MEAS. = MEASURED
- M.H. = MAN HOLE
- M.L. = MONUMENT LINE
- M.L.P. = METAL LIGHT POLE
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- O.E. = OVERHEAD ELECTRIC LINE
- O.L. = ON LINE
- P.C.P. = PERMANENT CONTROL POINT
- P.M. = PARKING METER
- P.C. = POINT OF CURVATURE
- P/W = PARKWAY
- PL. = PLANTER
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- R = RADIUS
- RES = RESIDENCE
- R/W = RIGHT OF WAY
- S.D.H. = SET DRILL HOLE
- S/N = SET NAIL
- S.I.P. = SET IRON PIPE
- SDWLK = SIDEWALK
- ST = STREET
- T = TANGENT
- U.E. = UTILITY EASEMENT
- W/F = WOOD FENCE
- W.V. = WATER VALVE
- W.U.P. = WOOD UTILITY POLE
- = WOOD FENCE
- = IRON FENCE
- = CBS WALL
- = CHAIN LINK FENCE
- = OVERHEAD ELEC.
- = CENTER LINE
- = EASEMENT
- = DENOTES ELEVATIONS
- = BUILDING
- = DISTANCE
- = CATCH BASIN
- = WATER METER
- = W.U.P.
- = STATE ROAD
- = US HIGHWAY
- = INTERSTATE
- = MONITORY WELL



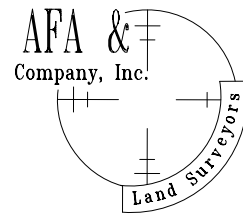
The sketch hereon is a true and Accurate representation thereof to the best of my knowledge and belief, Subject to notes and Notations shown hereon.



JOB #	24-813
DATE	08-07-2024
PB	1-26 Bro.

Armando F. Alvarez  
 Professional Surveyor & Mapper #5526  
 State of Florida





Prepared By:  
**AFA & COMPANY, INC.**  
 PROFESSIONAL LAND SURVEYORS AND MAPPERS  
 FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498  
 13050 SW 133RD COURT  
 MIAMI, FLORIDA 33186  
 E-MAIL: AFACOB@BELLSOUTH.NET  
 PH: 305-234-0588

**Graphic Scale**  
**1" = 20'**

**Abbreviations of Legend**

AVE.	-AVENUE	N.T.S.	-NOT TO SCALE
ASPH	-ASPHALT	O.E.	-OVERHEAD ELECTRIC LINE
AW	-ANCHOR WIRE	OL	-ONLINE
A/C	-AIR CONDITIONER	P.C.P.	-PERMANENT CONTROL POINT
BLDG	-BUILDING	P.M.	-PARKING METER
B/COR	-BLOCK CORNER	P.C.	-POINT OF CURVATURE
CAL	-CALCULATED	P.W.	-PARKWAY
CB	-CATCH BASIN	PL	-PLEASTER
CLF	-CHAIN LINK FENCE	P.O.C.	-POINT OF COMMENCEMENT
CNC	-CONCRETE	P.O.B.	-POINT OF BEGINNING
COL	-COLUMN	R	-RADIUS
C.U.P.	-CONCRETE UTILITY POLE	RES	-RESIDENCE
C.L.P.	-CONCRETE LIGHT POLE	R/W	-RIGHT OF WAY
CBS	-CONCRETE BLOCK	S.D.H.	-SET DRILL HOLE
C.M.E.	-CANAL MAINTENANCE EASEMENT	S.I.P.	-SET IRON PIPE
D	-DELTA	S.N.	-SET NAIL
D/W	-DRAINAGE & MAINTENANCE EASEMENT	SP/WK	-SIDEWALK
D.M.E.	-DRAINAGE & MAINTENANCE EASEMENT	ST	-STREET
ENC	-ENCROACHMENT	T	-TANGENT
E.T.P.	-ELECTRIC TRANSFORMER PAD	U.E.	-UTILITY EASEMENT
F.P.L.	-FLUORESCENT POWER AND LIGHT	W.F.	-WOOD FENCE
F.H.	-FIRE HYDRANT	W.V.	-WATER VALVE
F.P.	-FOUND IRON PIPE	W.U.P.	-WOOD UTILITY POLE
F.F.	-FINISH FLOOR	W.U.P.	-WOOD UTILITY POLE
D.H.F.	-FOUND DRILL HOLE	W.U.P.	-WOOD UTILITY POLE
F.R.	-FOUND REBAR	W.U.P.	-WOOD UTILITY POLE
FD	-FOUND DISC	W.U.P.	-WOOD UTILITY POLE
FN	-FOUND NAIL	W.U.P.	-WOOD UTILITY POLE
IF	-IRON FENCE	W.U.P.	-WOOD UTILITY POLE
L	-LENGTH	W.U.P.	-WOOD UTILITY POLE
L.M.E.	-LAND MAINTENANCE EASEMENT	W.U.P.	-WOOD UTILITY POLE
L.F.E.	-LOWEST FLOOR ELEVATION	W.U.P.	-WOOD UTILITY POLE
L.P.	-LIGHT POLE	W.U.P.	-WOOD UTILITY POLE
MEAS	-MEASURED	W.U.P.	-WOOD UTILITY POLE
M.L.S.	-MAN HOLE	W.U.P.	-WOOD UTILITY POLE
M.L.	-MONUMENT LINE	W.U.P.	-WOOD UTILITY POLE
M.L.P.	-METAL LIGHT POLE	W.U.P.	-WOOD UTILITY POLE
N.G.V.D.	-NATIONAL GEODETIC VERTICAL DATUM	W.U.P.	-WOOD UTILITY POLE

TREE LEGEND :

1, PALM D=0.50', H=25', SP=10'	42, PALM D=0.50', H=25', SP=10'	83, PALM D=0.50', H=25', SP=10'
2, PALM TRI D=0.50', H=25', SP=10'	43, PALM D=0.50', H=25', SP=10'	84, PALM TRI D=0.50', H=25', SP=10'
3, PALM MULTI D=0.50', H=15', SP=10'	44, PALM D=0.50', H=25', SP=10'	85, PALM TRI D=0.50', H=25', SP=10'
4, PALM D=0.50', H=15', SP=10'	45, PALM D=0.50', H=25', SP=10'	86, PALM TRI D=0.50', H=25', SP=10'
5, PALM D=0.50', H=25', SP=10'	46, PALM D=0.50', H=25', SP=10'	87, PALM D=1', H=25', SP=10'
6, PALM MULTI D=0.50', H=15', SP=10'	47, PALM D=0.50', H=25', SP=10'	88, PALM TRI D=0.50', H=25', SP=10'
7, PALM TRI D=0.50', H=25', SP=10'	48, PALM TRI D=0.50', H=25', SP=10'	89, PALM TRI D=0.50', H=15', SP=10'
8, PINE D=0.40', H=30', SP=8'	49, PALM D=0.50', H=25', SP=10'	90, PALM TRI D=0.50', H=15', SP=10'
9, PALM MULTI D=0.50', H=15', SP=10'	50, PALM D=0.50', H=25', SP=10'	91, PALM TRI D=0.50', H=15', SP=10'
10, (2) PALM D=0.50', H=25', SP=10'	51, PALM D=0.50', H=25', SP=10'	92, PALM D=0.50', H=25', SP=10'
11, PALM D=1', H=25', SP=10'	52, PALM D=0.50', H=25', SP=10'	93, PALM TRI D=0.50', H=25', SP=10'
12, PINE D=1.25', H=50', SP=10'	53, PALM TWIN D=0.50', H=15', SP=10'	94, PALM TRI D=0.50', H=25', SP=10'
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14, PALM D=0.50', H=25', SP=10'	55, PALM D=0.50', H=25', SP=10'	96, PALM D=0.50', H=25', SP=10'
15, PALM TWIN D=0.50', H=15', SP=10'	56, PALM D=0.50', H=25', SP=10'	97, PALM TWIN D=0.50', H=15', SP=10'
16, PALM D=0.50', H=25', SP=10'	57, PALM TRI D=0.50', H=25', SP=10'	98, PALM TRI D=0.50', H=25', SP=10'
17, PALM D=0.50', H=25', SP=10'	58, PINE D=1.50', H=75', SP=15'	99, PALM D=0.50', H=25', SP=10'
18, PALM D=0.50', H=25', SP=10'	59, PALM D=0.50', H=15', SP=10'	100, PALM D=0.50', H=25', SP=10'
19, PALM D=0.50', H=25', SP=10'	60, PALM D=0.50', H=25', SP=10'	101, PALM D=0.50', H=25', SP=10'
20, PALM D=0.50', H=25', SP=10'	61, PALM TRI D=0.50', H=25', SP=10'	102, PALM TWIN D=0.50', H=15', SP=10'
21, PALM D=0.50', H=25', SP=10'	62, PALM D=0.50', H=15', SP=10'	103, PALM D=0.50', H=6', SP=4'
22, PALM D=0.50', H=25', SP=10'	63, PALM TRI D=0.50', H=25', SP=10'	104, PALM D=0.50', H=15', SP=10'
23, PALM MULTI D=0.50', H=15', SP=10'	64, PALM D=0.50', H=25', SP=10'	105, PALM D=0.50', H=6', SP=4'
24, PALM MULTI D=0.50', H=15', SP=10'	65, PALM TWIN D=0.50', H=25', SP=10'	106, PINE D=1', H=20', SP=10'
25, PALM TRI D=0.50', H=25', SP=10'	66, PALM D=0.50', H=25', SP=10'	107, DRACAENA FRAGRANS D=0.80', H=15', SP=10'
26, PALM TRI D=0.50', H=25', SP=10'	67, PALM D=0.50', H=25', SP=10'	108, PALM D=0.50', H=6', SP=4'
27, PALM TRI D=0.50', H=25', SP=10'	68, PALM D=0.50', H=25', SP=10'	109, PALM D=0.50', H=25', SP=10'
28, TREE D=0.50', H=30', SP=15'	69, PALM D=0.50', H=25', SP=10'	110, PALM D=0.50', H=25', SP=10'
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31, PALM TWIN D=0.50', H=15', SP=10'	72, PALM D=0.50', H=25', SP=10'	113, PALM D=0.50', H=15', SP=10'
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35, PALM D=0.50', H=25', SP=10'	76, PALM D=0.50', H=25', SP=10'	117, DRACAENA TARZAN D=0.80', H=15', SP=10'
36, PALM D=0.50', H=25', SP=10'	77, PALM D=0.50', H=25', SP=10'	118, PYGMY DATE PALM D=0.50', H=8', SP=6'
37, PALM TWIN D=0.50', H=15', SP=10'	78, PALM D=0.50', H=25', SP=10'	119, GARCINIA SPICATA D=0.50', H=10', SP=8'
38, PALM D=0.50', H=25', SP=10'	79, PALM D=0.50', H=25', SP=10'	120, PALM D=0.50', H=25', SP=10'
39, PALM D=0.50', H=25', SP=10'	80, PALM D=0.50', H=25', SP=10'	121, PALM D=0.50', H=25', SP=10'
40, PALM D=0.50', H=25', SP=10'	81, MANGO D=2.50', H=60', H=25'	122, DRACAENA FRAGRANS D=0.80', H=15', SP=10'
41, PALM D=0.50', H=25', SP=10'	82, PINE D=0.40', H=30', SP=10'	123, PALM D=0.50', H=25', SP=10'
		124, PALM D=0.50', H= 15', SP= 8'
		125, PALM D=0.50', H=2 0', SP=10'

**SITE REQUIREMENT AS PER ZONING MIAMI-DADE PROPERTY APPRAISER**  
 2323 Polk Street, Hollywood, Florida 33020,  
 Prepared for: 2323 Polk, LLC & Old Republic National Title Insurance Company  
**SITE STATUS**  
 PROPERTY SIZE 0.471 Acres or 20,500 Sq. Ft.  
 CURRENT USE: General / Residential  
 CURRENT ZONING: "DH-2" Dixie Highway Medium Intensity Multi-Family District

Building Set-Back	
Minimum Primary Frontage Setback:	15.00 ft
Minimum Secondary Frontage Setback:	N/A
Minimum Side Setback:	10.00 ft
Minimum Rear Setback:	20.00 ft
Minimum Water Setback:	N/A

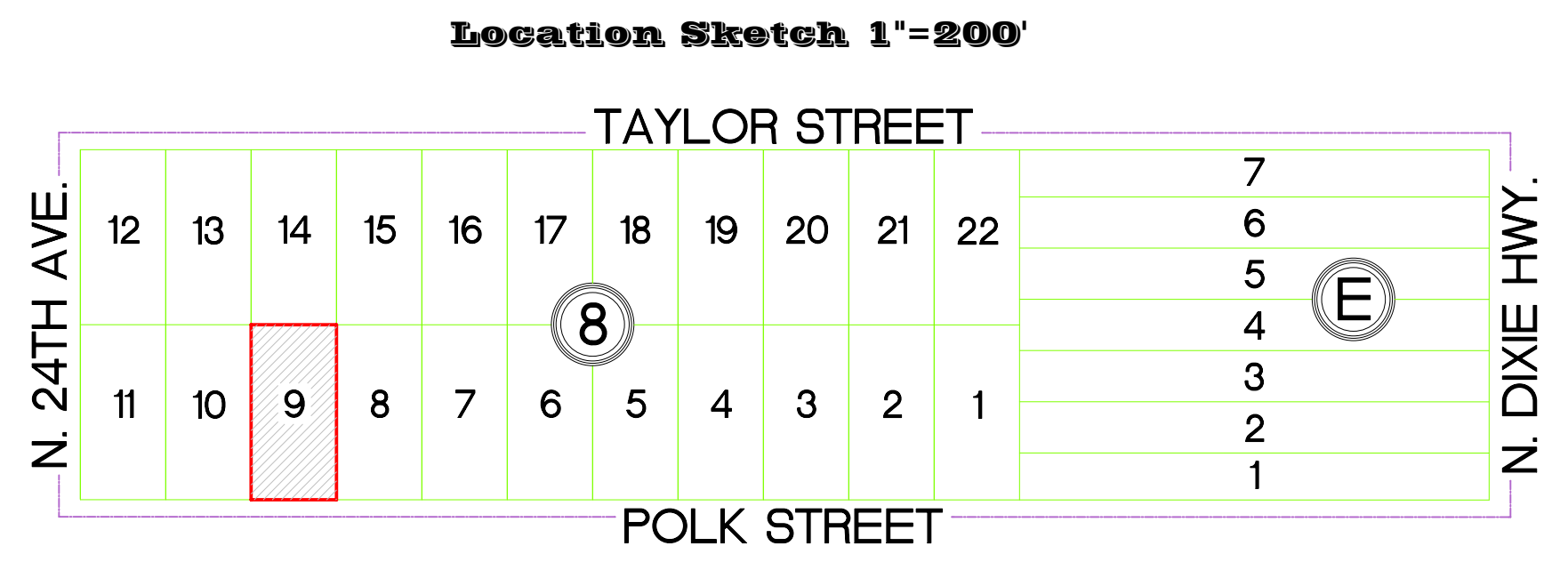
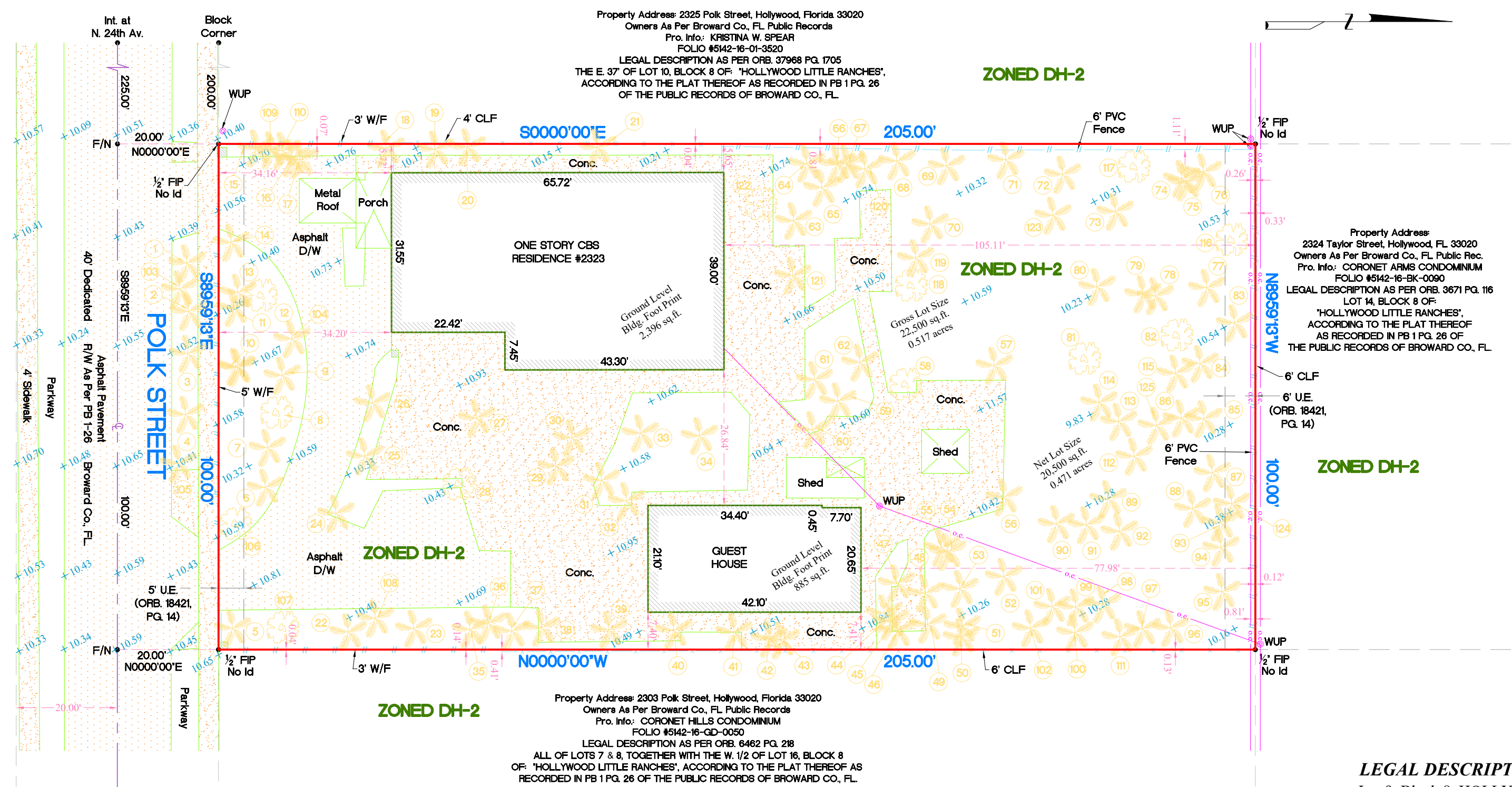
**TITLE OF COMMITMENT REVIEW OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY #1512648, Dated 4-05-2024 @ 11:00pm SCHEDULE B-SECTION II ONLY ITEMS NO.**  
 Item #5, PLAT BOOK 1 PG. 26 of Broward Co. Florida. Does Affect the Property.  
 Item #6, ORB. 5073 PG. 405 of Broward Co. Florida. Does NOT Affect the Property. Not Plottable.  
 Item #7, ORB. 8136 PG. 244 of Broward Co. Florida. Does Affect the Property. Not Plottable.  
 Item #8, ORB. 18421 PG. 14 of Broward Co. Florida. Does Affect the Property. Not Plottable.  
 Item #9, ORB. 40082 PG. 1783 of Broward Co. Florida. Does Affect the Property. Not Plottable.  
 Item #10, ORB. 40082 PG. 1789 of Broward Co. Florida. Does Affect the Property. Not Plottable.

**LEGAL DESCRIPTION:**  
 Lot 9, Block 8, HOLLYWOOD LITTLE RANCHES, according to the plat thereof as recorded in Plat Book 1, Page 26, Public Records of Broward County, Florida.

I hereby certify to 2323 Polk, LLC, a Florida limited liability company, Ladi Investment Inc., a Florida corporation, AGLAW & Old Republic National Title Insurance Company/ATFS that this is a true and correct survey of 2323 Polk Street, Hollywood, Florida 33020, Broward County, Florida and shows the true and correct location of the buildings and improvements situated on such land and all easements, rights-of-way, setback lines, and similar restrictions of record affecting the property surveyed. The buildings and improvements do not overhang or encroach upon any easements or rights-of-way of others, and there are no encroachments either way across the property lines. The property surveyed contains **0.471 acres** and 0 parking spaces (including 0 handicapped space), and it is located within a flood plain area.  
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 19 and 20 of Table A thereof. Pursuant to the Accuracy Standards adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that, in my professional opinion as a land surveyor registered in the State of Florida, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

# "ALTA / NSPS Land Title Survey"

for 2323 Polk, LLC & Old Republic National Title Insurance Company "



**PROPERTY ADDRESS:**  
 2323 Polk Street  
 Hollywood, Florida 33020

**CERTIFIED ONLY TO:**  
 2323 Polk, LLC, a Florida limited liability company  
 Ladi Investment Inc., a Florida corporation  
 AGLAW  
 Old Republic National Title Insurance Company/ATFS

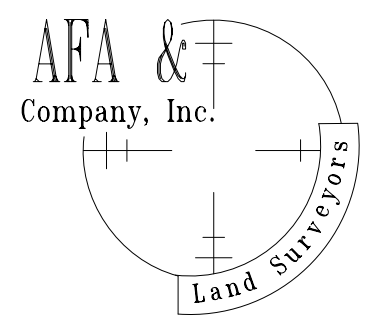
**PARKING TABLE**  
 OBSERVED EVIDENCE  
 0 PARKING SPACES  
 0 HANDICAP SPACES

**ELEVATION INFORMATION**  
**National Flood Insurance Program**  
**FEMA Elev. Reference to NAVD 1988**

Comm Panel	125113
Panel #	0569
Firm Zone:	"X"
Date of Firm:	08-18-2014
Base Flood Elev.	N/A
F.Floor Elev.	11.40'
Guest House Elev.	11.22'
Garage Elev.	10.93'
Suffix:	"H"
Elev. Reference to NAVD 1988	

JOB #	24-854
DATE	08-19-2024
PB	1-26 Bro.

**Surveyors Notes:**  
 #1 Land Shown Hereon was abstracted for Old Republic National Title Insurance Company, Case #1512648 Dated 4-5-24 @ 11:00pm. Commitment Schedule B-Section II. Review Only Items #5, 6, 7, 8, 9 & 10.  
 #2 Remarks: Broward County Public Works Dept. AD2462; Elev. + 9.07'.  
 #3 Bearings as Shown hereon are Based upon Polk Street, S89°59'13"E  
 #4 Please See Abbreviations  
 #5 Drawn By: A. Torres  
 #6 Date: 4-2-24; 8-7-24; 8-19-24  
 #7 Completed Survey Field Date: 3-28-24; 8-6-24; 8-16-24  
 #8 Disc No 2024, Station Surveying Section  
 #9 Last Revised:  
 #10 Zoned Building setback line not determined



Professional Surveyors & Mappers LB 7498  
 13050 S.W. 133rd Court  
 Miami Florida, 33186  
 E-mail: afaco@bellsouth.net  
 Ph: (305) 234-0588

**Surveyor's Notes:**  
 #11 The herein captioned Property was surveyed and described based on the Legal Description Provided by Client, which Legal Description is the same as that which is contained in the Commitment for Title Insurance (Order No. 1512648).  
 #12 This Certification is Only for the lands as Described. It is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. ABSTRACT REVIEWED.  
 #13 There may be additional Restrictions not Shown on this survey that may be found in the Public Records of Said County Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.  
 #14 Accuracy: The expected use of land, as classified in the Standards of Practice (51-17.052), is residential. The minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00 feet; the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.  
 #15 Foundation and/or footing that may cross beyond the boundary lines of the parcel herein described are not shown hereon.  
 #16 Not valid without the signature and original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties.  
 #17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.  
 #18 Underground Utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.  
 #19 Ownership subject to Opinion of Title.  
 #20 The location of the Flood Zone lines shown hereon are an approximate, based on the FEMA flood maps website. Confirmation of said Flood Zone lines location must be made with FEMA prior to any design.

This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 51-17.052 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.  
 & That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and belief, subject to notes and notations shown hereon.

*Amalinda F. Alvarez*  
 Professional Surveyor & Mapper #5526  
 State of Florida  
 Not Valid unless Signed & Stamped with Embossed Seal



2323 POLK STREET  
A RESIDENTIAL CONDOMINIUM  
HOLLYWOOD FLORIDA 33020



BELLON ARCHITECTURE  
12930 S.W. 128 Street,  
SUITE 203  
MIAMI, FL. 33186



CAPABILITIES	
Working Capacity	6,000 lbs.
Static Capacity	12,000 lbs.
Dynamic Capacity	9,000 lbs.

DIMENSIONS	
Overall Width	96'-7 1/2"
Platform Width	82'-7 1/2"
Drive-thru Width	88"
Overall Platform Length	177'-1/4"
Maximum vehicle wheelbase	146"
Maximum clearance (lower car)	89'1 80"
Overall height	245' 10' 5"
	245' 17' 5"

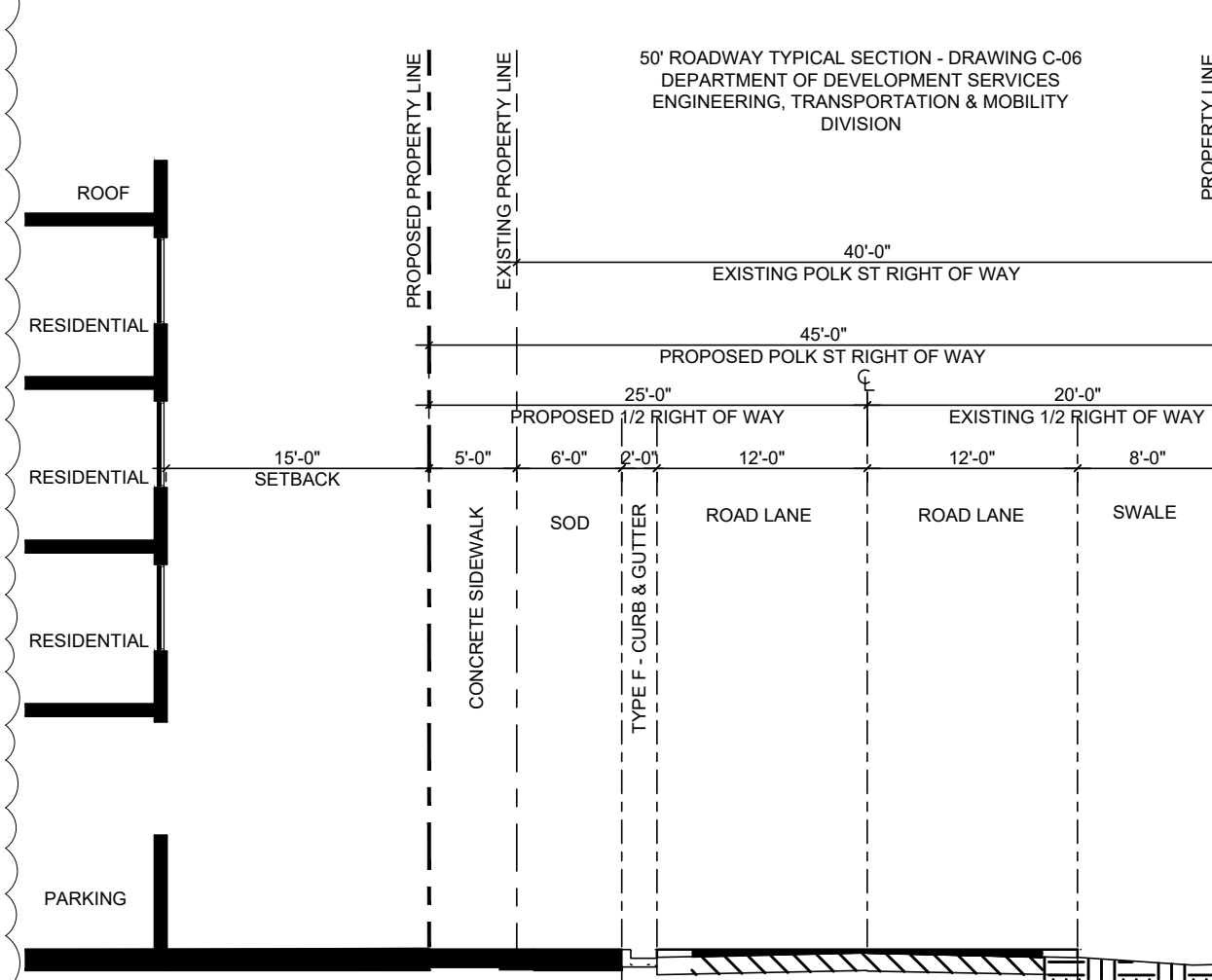
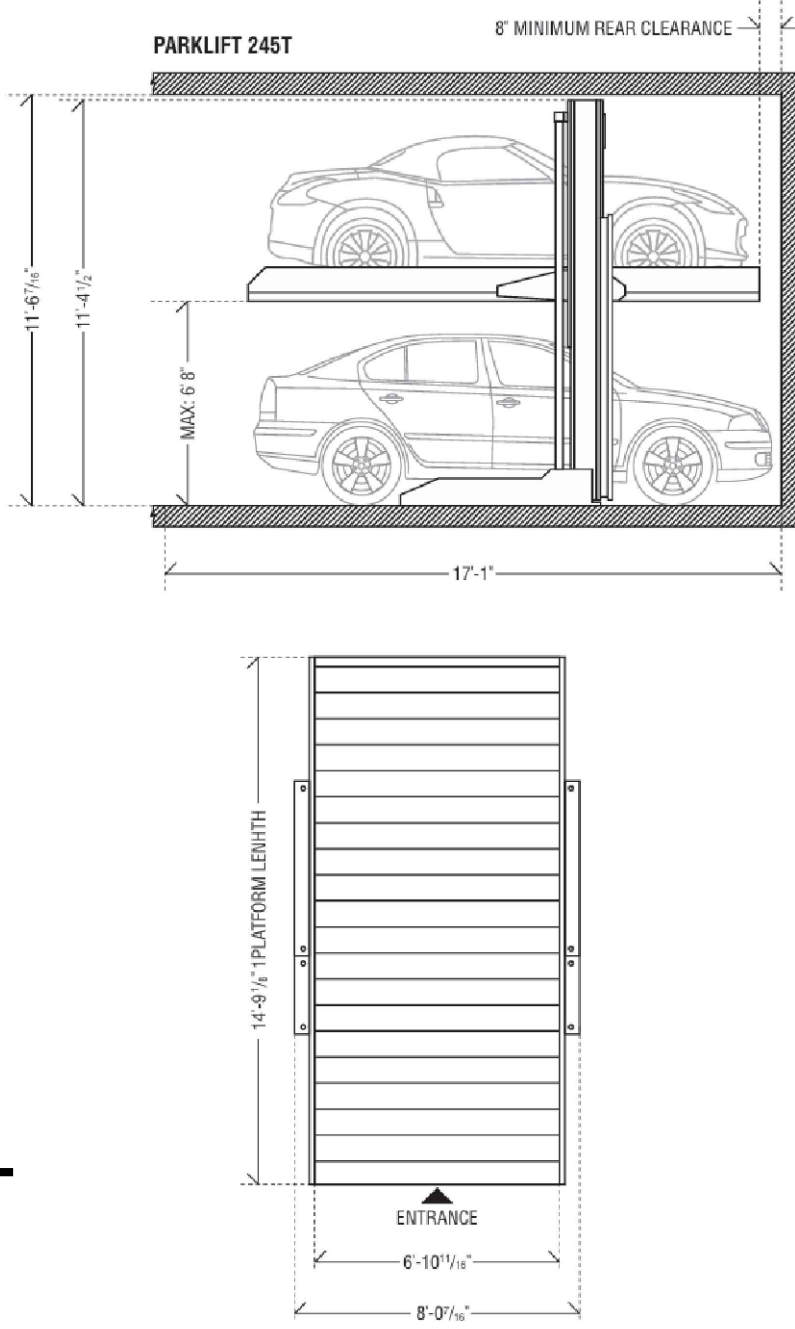
SPEED	
Lifting Speed (seconds)	17 seconds
Lowering Speed (seconds)	15 seconds

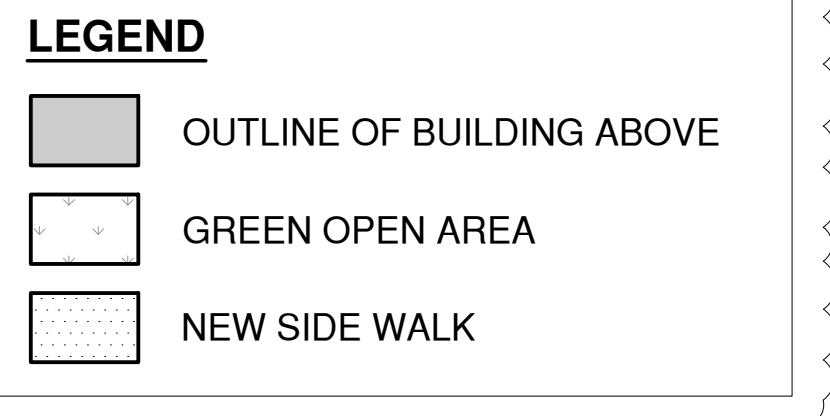
POWER	
Power Requirements	220V 3 Phase 40 amp
220V Single Phase 40 amp	

FEATURES	
Application	Outdoor/Indoor
Surface	Asphalt/Concrete
Material	100% Galvanized Steel
Safety	Steel-on-Steel Locks



**SECTION A - POLK STREET**  
SCALE: 3/32" = 1'-0"



ZONING LEGEND	
<b>SITE INFORMATION</b>	514216013510
Folio:	2323 Polk Street, Hollywood, FL 33020
Property Address:	
<b>SITE AREA</b>	
Gross Area	22,500.00 sf .52 ac
Net Area	20,500.00 sf .47 ac
<b>ZONING DISTRICT</b>	RAC-DH2
<b>DENISTY</b>	ALLOWED PROVIDED
	N/A 52 du/ac 27 units
<b>SETBACKS</b>	REQUIRED PROVIDED
Front	15 ft 15'-0"
Side interior - East	10 ft 12'-3"
Side interior - West	10 ft 10'-0"
Rear	20 ft 11'-9"
<b>SITE CALCULATIONS</b>	REQUIRED PROVIDED
Maximum FAR	1.75 FAR 35,875 sf 1.48 FAR 30,277 sf
Landscaped Open Space	20% 4,100 sf 21.6% 4,424 sf
Building Height	4 Stories / up to 45ft 4 Stories / 42 FT
<b>BUILDING HEIGHT</b>	REQUIRED PROVIDED
BUILDING HEIGHT	45'-0" 42'-0" (4 STORY)

PARKING CALCULATIONS			
Type		Required	
Units exceeding 1BD	1.5 sp per unit	41.0 sp	
Guest (24 Units)	1 sp per 10 units	3.0 sp	
<b>Total Required</b>	<b>27 units</b>	<b>44.0 sp</b>	<b>1</b>
<b>PARKING SCHEDULE TOTALS</b>	Standard HC Total/Level		
Surface Parking	18 3 21 sp		<b>1</b>
Tandem	14 1 0 14 sp		<b>1</b>
Parking Lifts	20 0 20 sp		
Parallel (On-Street)	TBD		
<b>Grand Total Provided :</b>	<b>55 sp</b>	<b>1</b>	
<b>BICYCLE PARKING</b>			
Bicycle Parking		8 sp	
<b>UNIT BREAKDOWN</b>	Type Area Levels 2-4 Total # of Units		
B1 (2bd/2bath)	900 sf 6 units 18 units		
B2 (1bd + den)	746 sf 1 units 3 units		
B3 (2bd/2bath)	893 sf 2 units 6 units		
Min 400 sf per unit			
<b>Total</b>		9 units 27 units	

GROSS BUILDING SQUARE FOOTAGE			
Type of SF	Level 1	Levels 2-4 (SF/FL)	Total
Apartments		7,956 sf	23,868 sf
Common Areas	380 sf		380 sf
Circulation	606 sf	1,694 sf	5,688 sf
Service	272 sf	154 sf	734 sf
<b>Subtotal</b>			<b>30,670 sf</b>
<b>Other Areas</b>			
Surface Parking	12,452 sf		12,452 sf
<b>Grand Total Gross Area</b>			<b>43,122 sf</b>

**LEGAL DESCRIPTION PER SURVEY**  
Lot 9, Block 8, of: "HOLLYWOOD LITTLE RANCHES", according to the Plat Record as Recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida.

**NOTE:**  
EXISTING R/W OF 40'  
PROPOSED R/W OF 45'

**MECHANICAL LIFT  
DETAIL / SPECS**

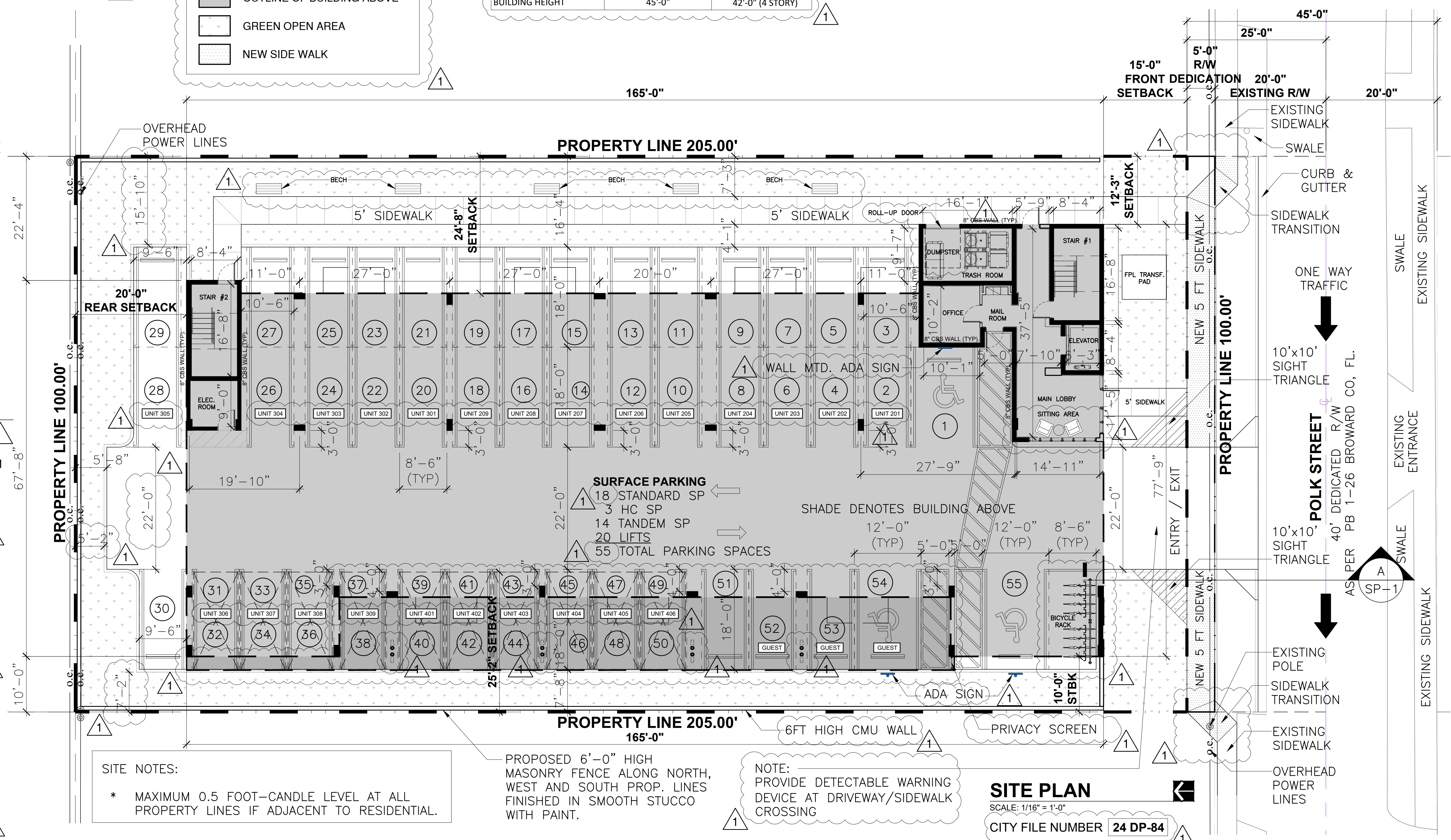


**TRANSIT STOP LOCATION**  
SCALE: N.T.S.

**SITE PLAN CHANGES NOTE:**  
ANY CHANGES TO THIS SITE PLAN WILL BE SUBJECT TO PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.

**TANDEM PARKING NOTE:**  
ALL TANDEM PARKING SPACES SHOW ARE TO BE ASSIGNED FOR THE EXCLUSIVE USE OF UNIT OWNERS. TWO SPACES PER UNIT.

**SIGNAGE NOTE:**  
ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BE NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.



**SITE NOTES:**  
\* MAXIMUM 0.5 FOOT-CANDLE LEVEL AT ALL PROPERTY LINES IF ADJACENT TO RESIDENTIAL.

PROPOSED 6'-0" HIGH MASONRY FENCE ALONG NORTH, WEST AND SOUTH PROP. LINES FINISHED IN SMOOTH STUCCO WITH PAINT.

NOTE: PROVIDE DETECTABLE WARNING DEVICE AT DRIVEWAY/SIDEWALK CROSSING

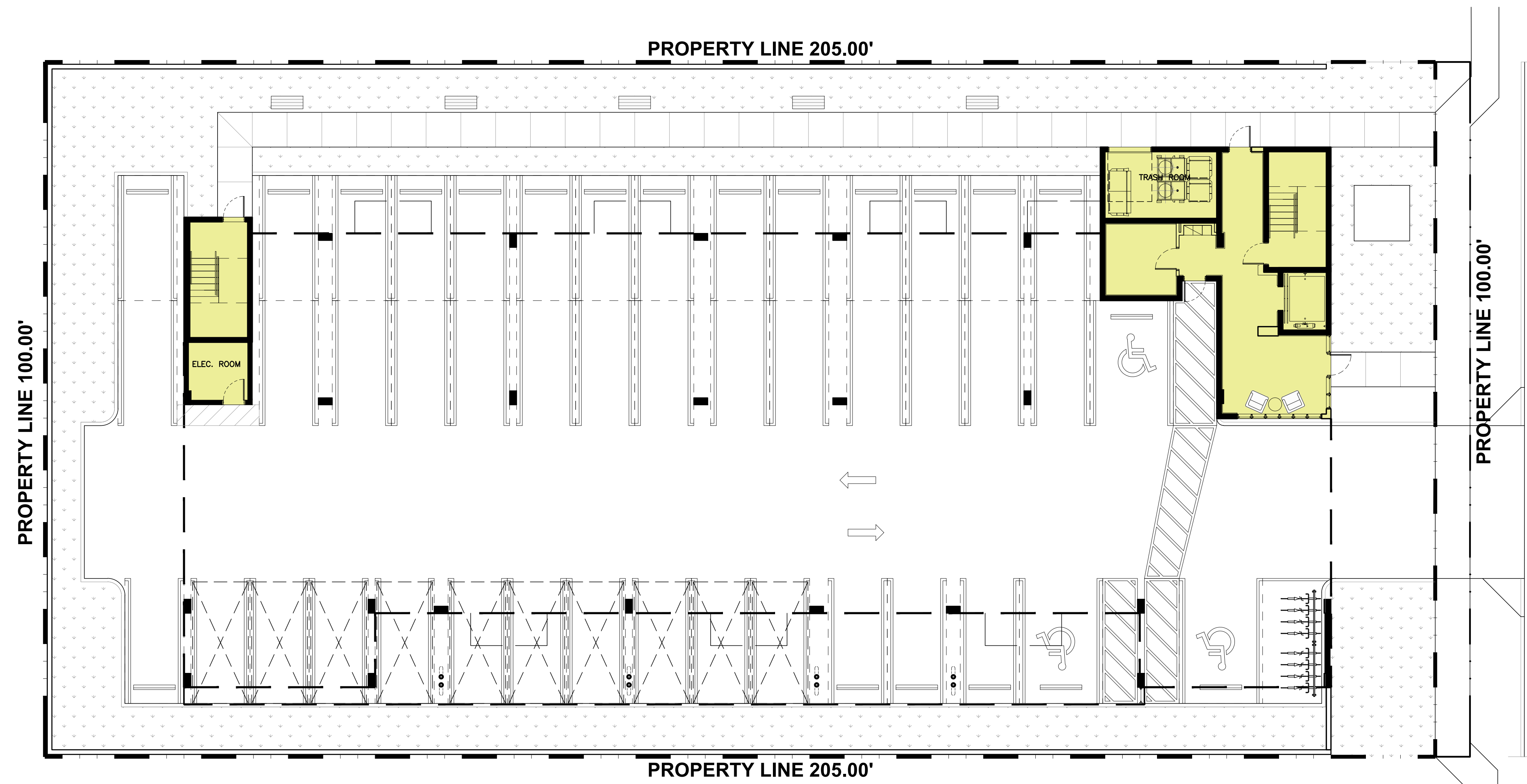
**SITE PLAN**  
SCALE: 1/16" = 1'-0"  
CITY FILE NUMBER **24 DP-84**

MARK	DATE	DESCRIPTION
	02/10/25	TAC REVIEW

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024



**2323 POLK BUILDING**  
**A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020



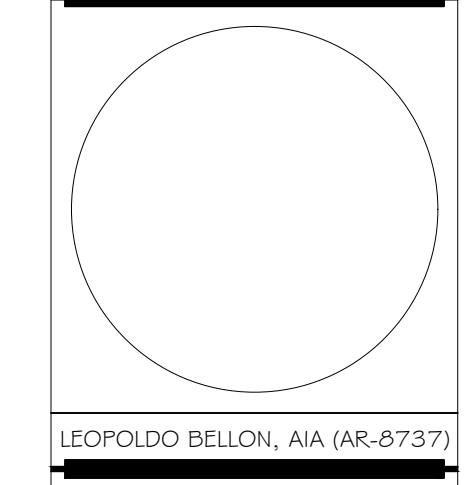
FAR @ GROUND = 985 SF

**FAR - LEVEL 1**

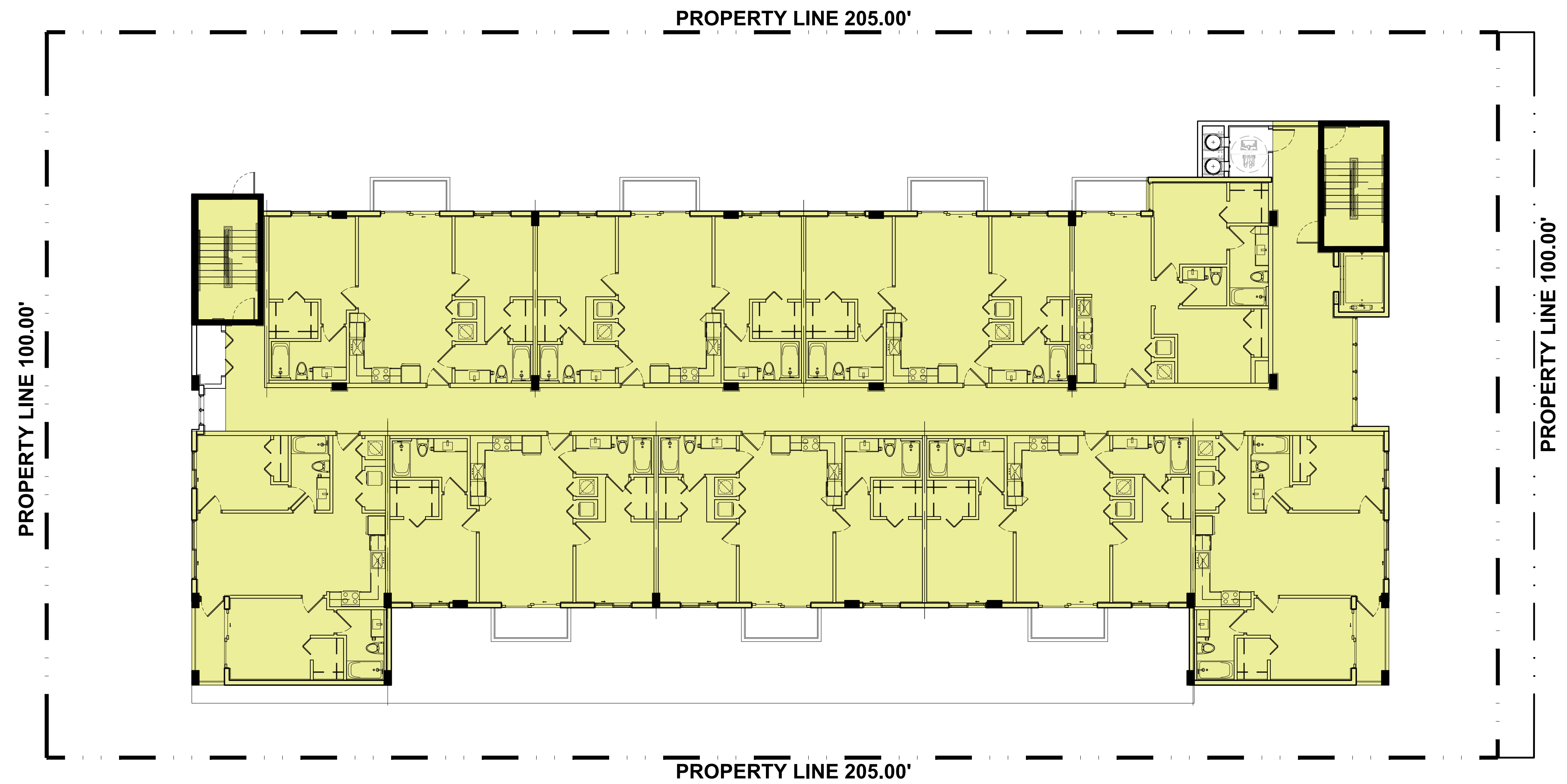
SCALE: 1" = 10'

MARK	DATE	DESCRIPTION

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024



**2323 POLK BUILDING  
A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020



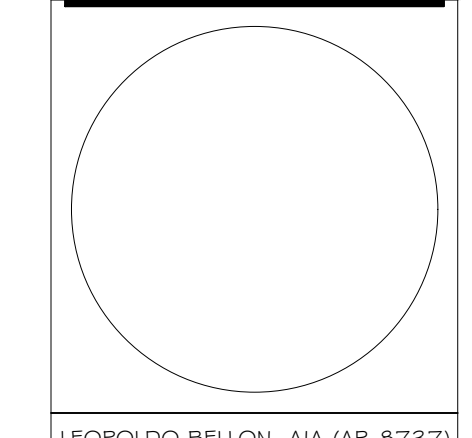
**FAR @ LEVELS 2-4**  
9,764 SF/FL x 3 Levels = 29,292 SF

**TOTAL FAR PROVIDED**  
30,277 SF

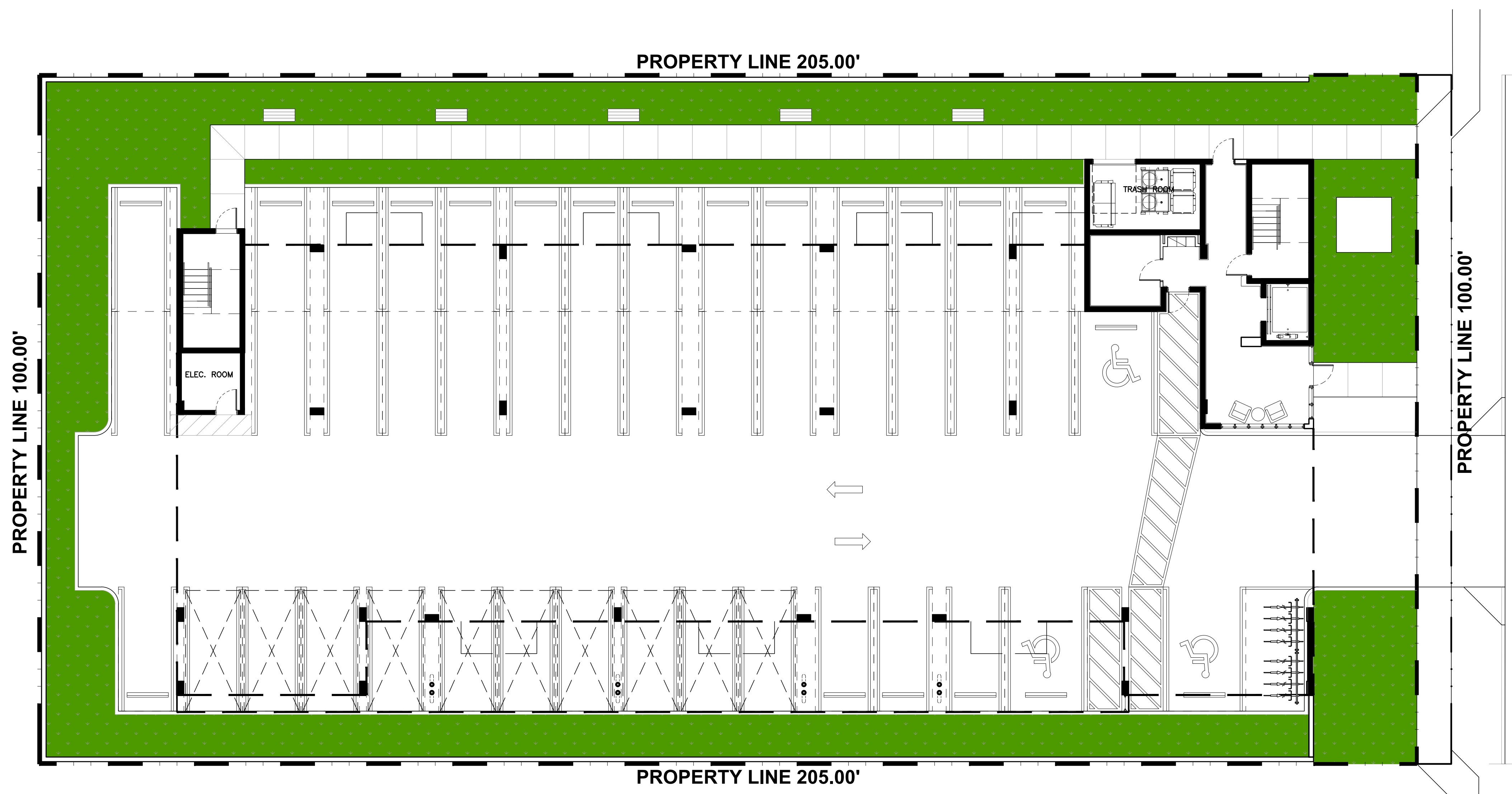
**FAR - LEVELS 2-4**  
SCALE: 1" = 10'

MARK	DATE	DESCRIPTION

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024

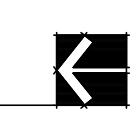


LEOPOLDO BELLÓN, AIA (AR-8737)  
SHEET TITLE



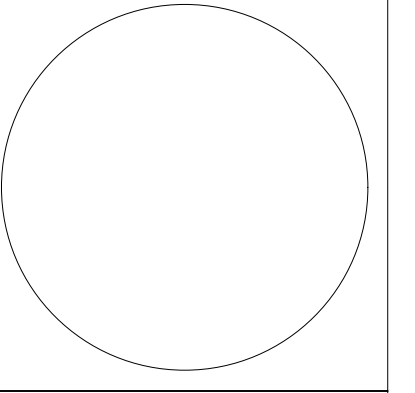
**LANDSCAPED OPEN SPACE = 4,424 SF**

**LANDSCAPED OPEN SPACE**  
SCALE: 1/16" = 1'-0"



MARK	DATE	DESCRIPTION

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024

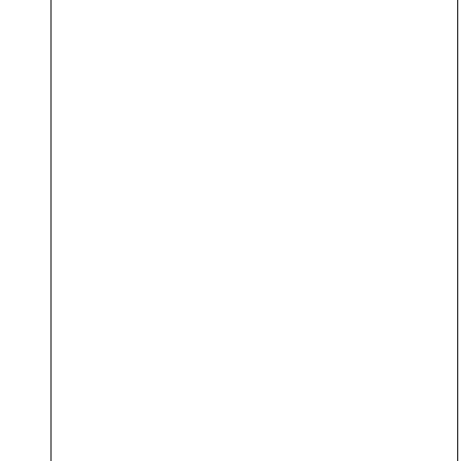


LEOPOLDO BELLÓN, AIA (AR-8737)  
SHEET TITLE

SITE DIAGRAMS  
**SP-1.3**  
SHEET OF

**2323 POLK BUILDING**  
**A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020

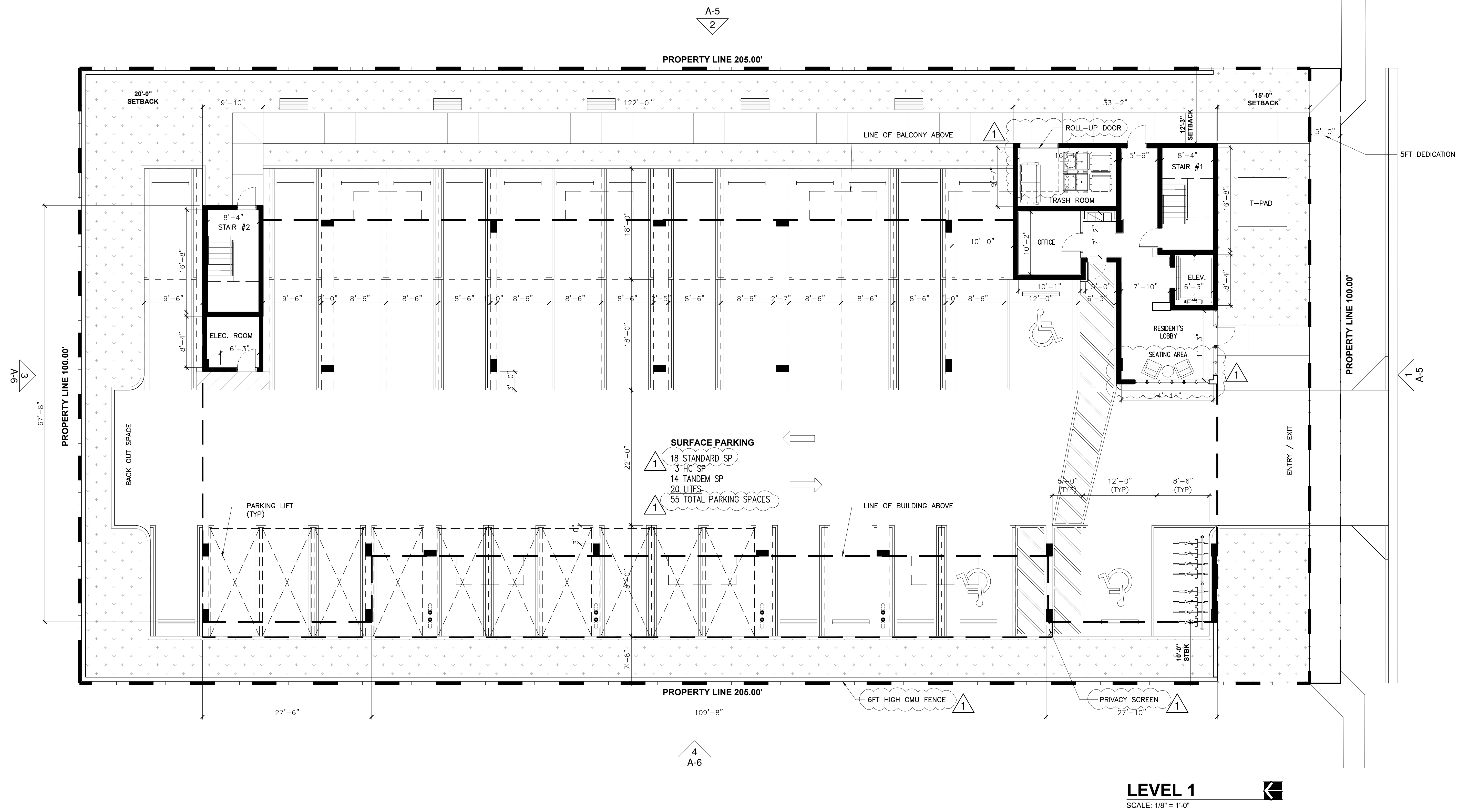
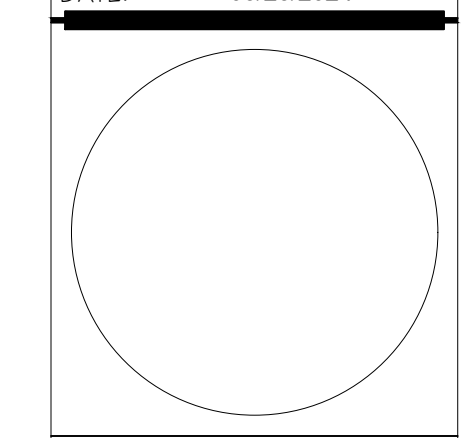




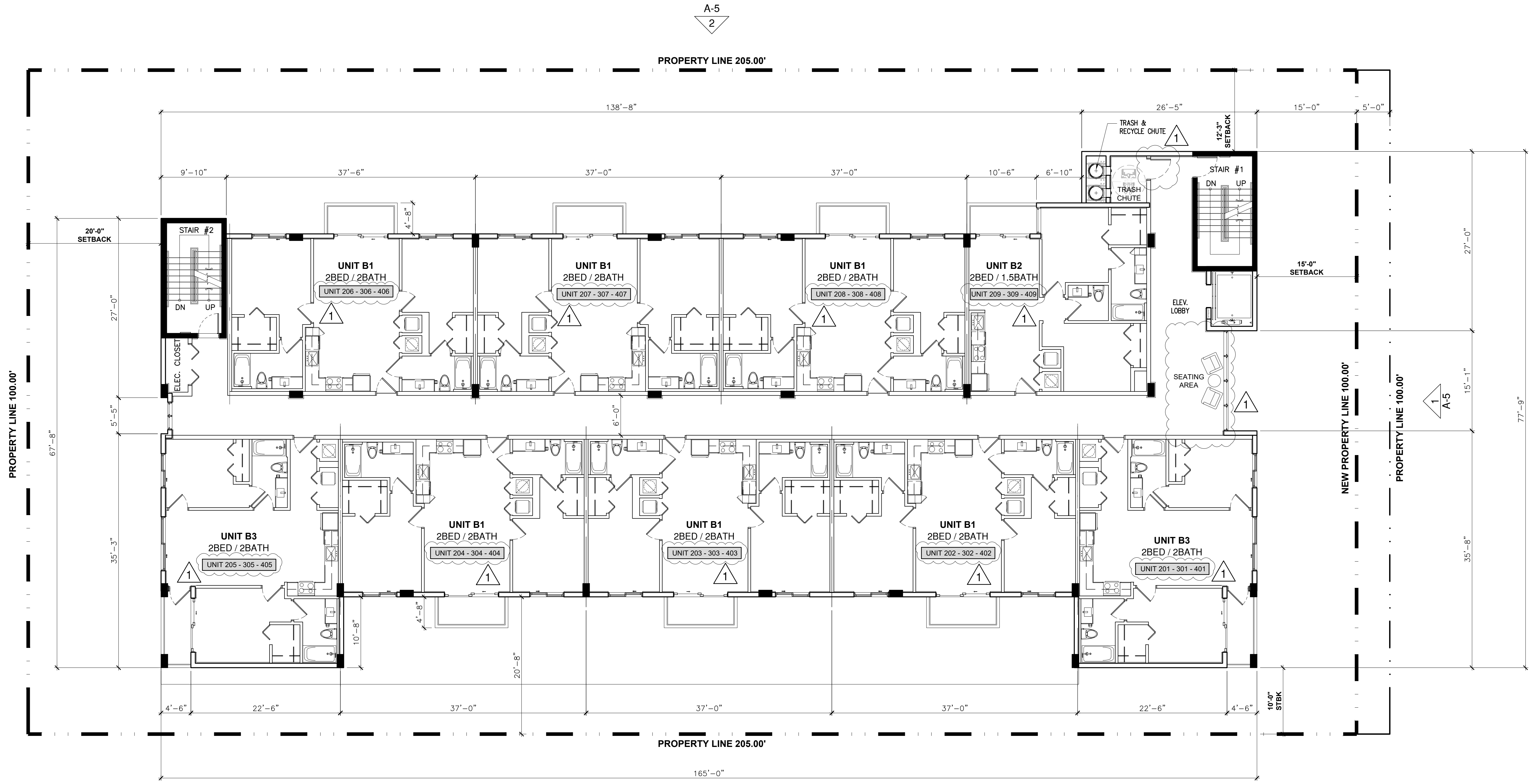
**2323 POLK BUILDING  
A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020

MARK	DATE	DESCRIPTION
△	02/10/25	TAC REVIEW

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024



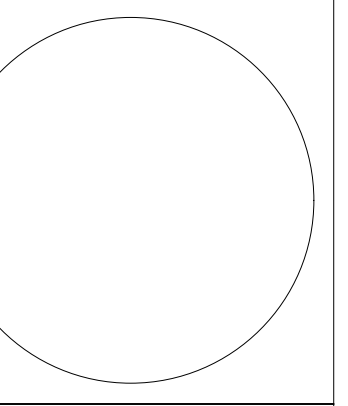
**LEVEL 1**  
SCALE: 1/8" = 1'-0"



**2323 POLK BUILDING**  
**A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020

MARK	DATE	DESCRIPTION
△	02/10/25	TAC REVIEW

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024



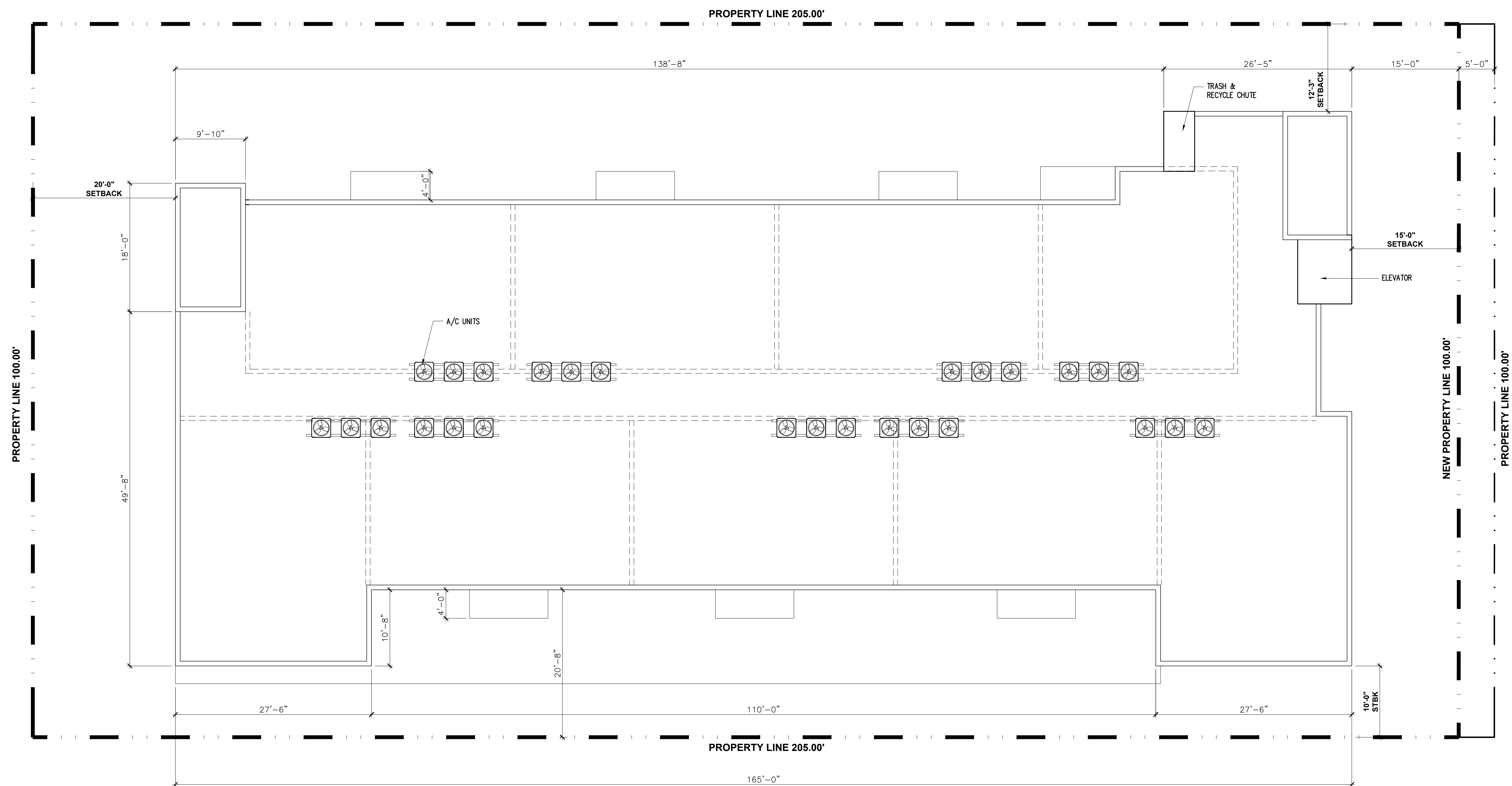
LEOPOLDO BELLÓN, AIA (AR-8737)

SHEET TITLE

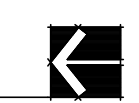
LEVELS 2-4  
**A-2**  
SHEET OF

**LEVELS 2 - 4 - TYPICAL LEVEL**  
SCALE: 1/8" = 1'-0"

**2323 POLK BUILDING  
A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020

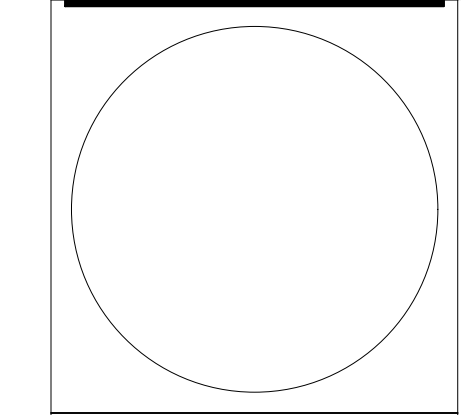


**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



MARK	DATE	DESCRIPTION

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024

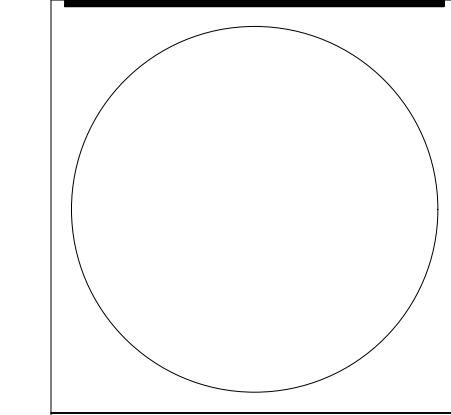


LEOPOLDO BELLÓN, AIA (AR-8737)

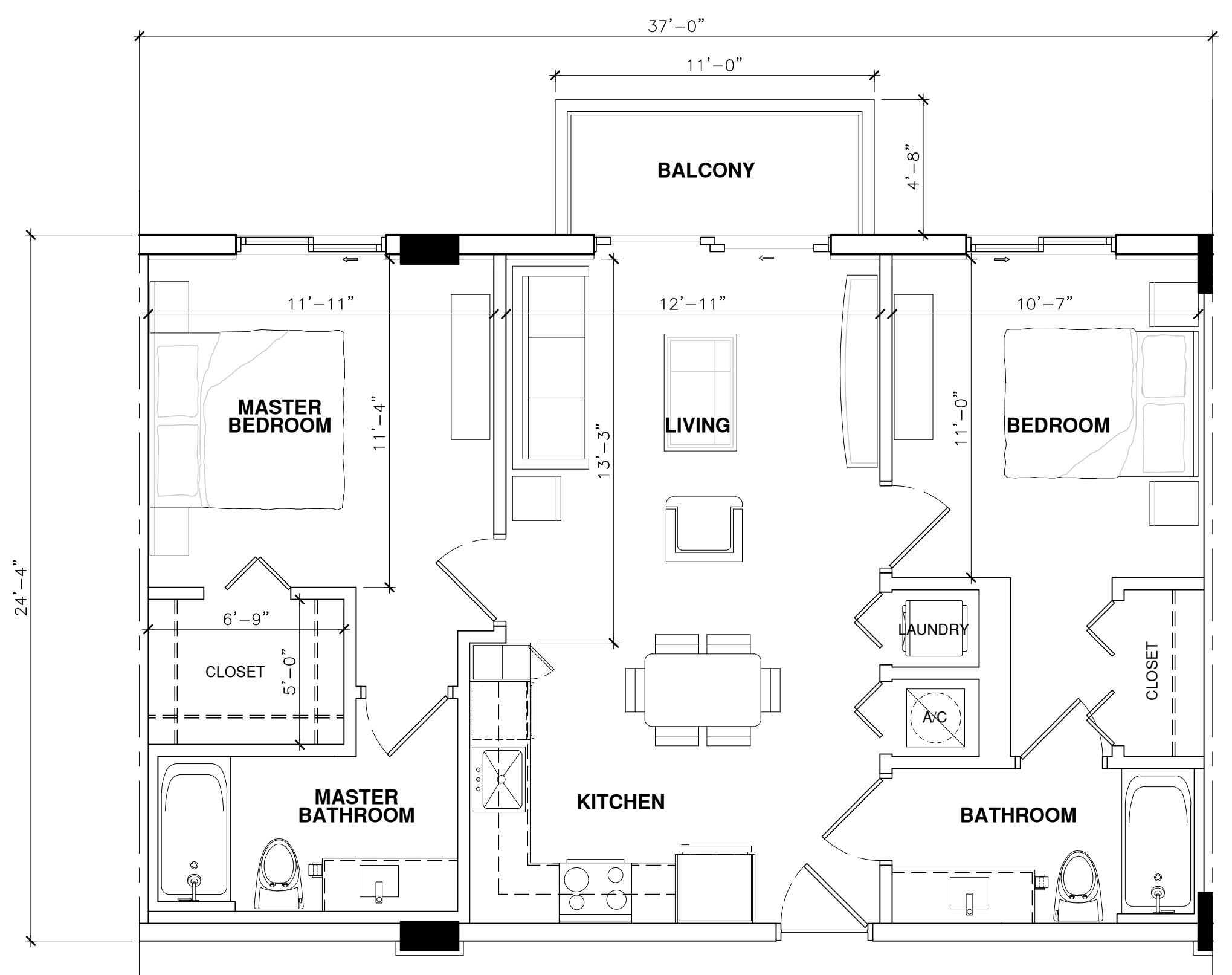
SHEET TITLE

MARK	DATE	DESCRIPTION

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024

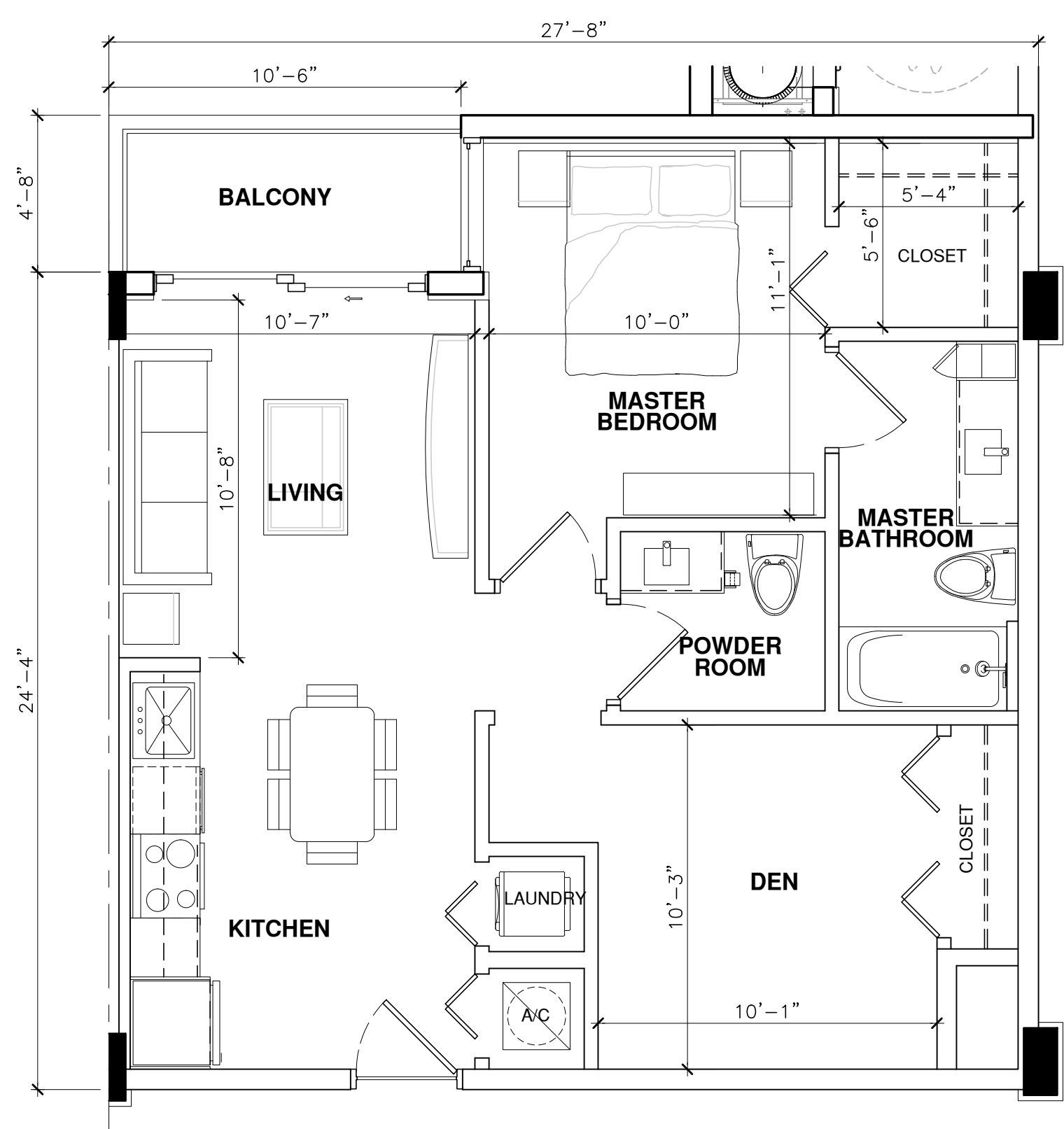


LEOPOLDO BELLÓN, AIA (AR-8737)  
SHEET TITLE



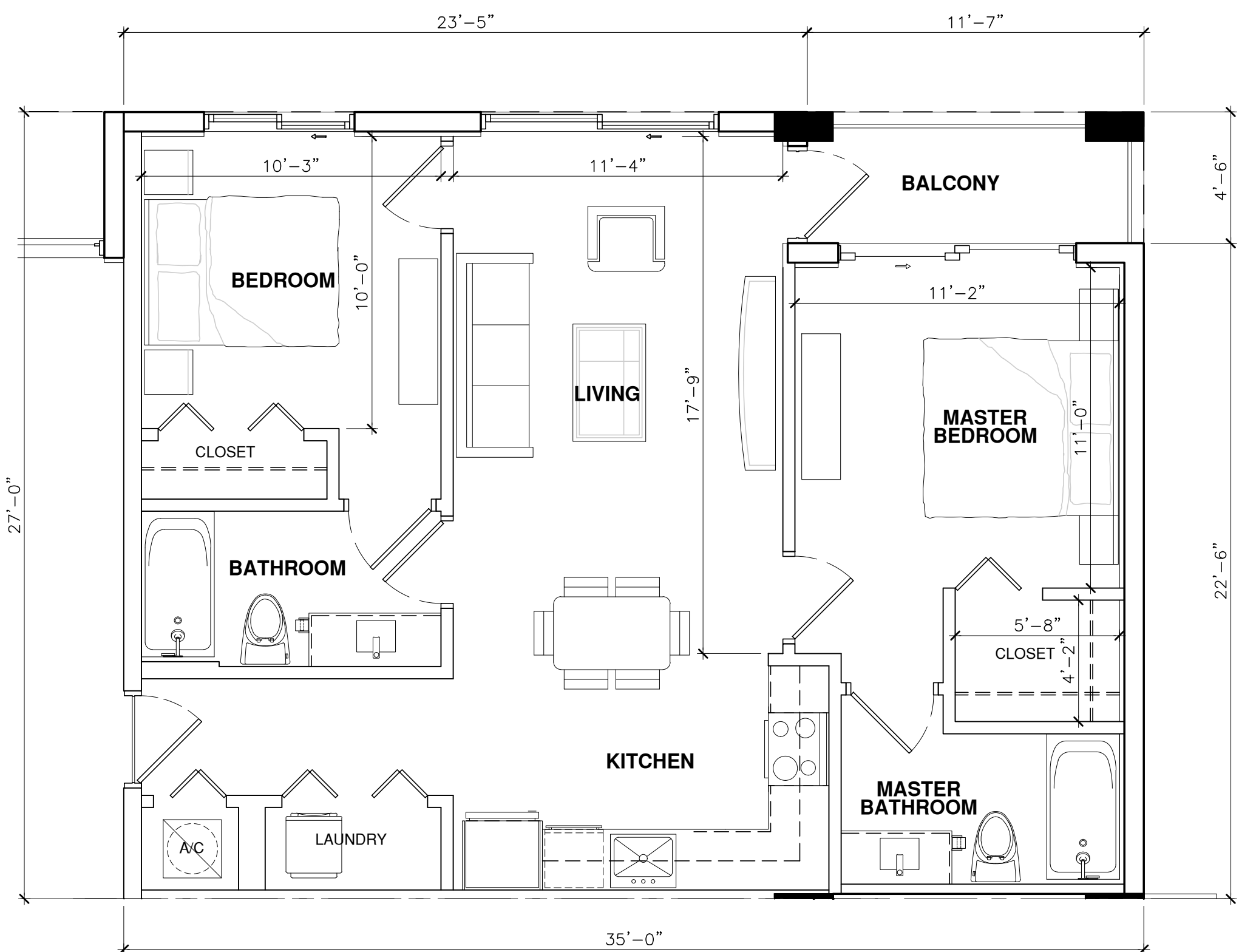
**UNIT TYPE B1: 2 BED / 2 BATH**

SCALE: 1/4" = 1'-0"  
AREA: 900 SF  
BALCONY - 46.5 S.F.



**UNIT TYPE B2: 1 BED + Den / 1.5 BATH**

SCALE: 1/4" = 1'-0"  
AREA: 744 SF  
BALCONY - 49 S.F.

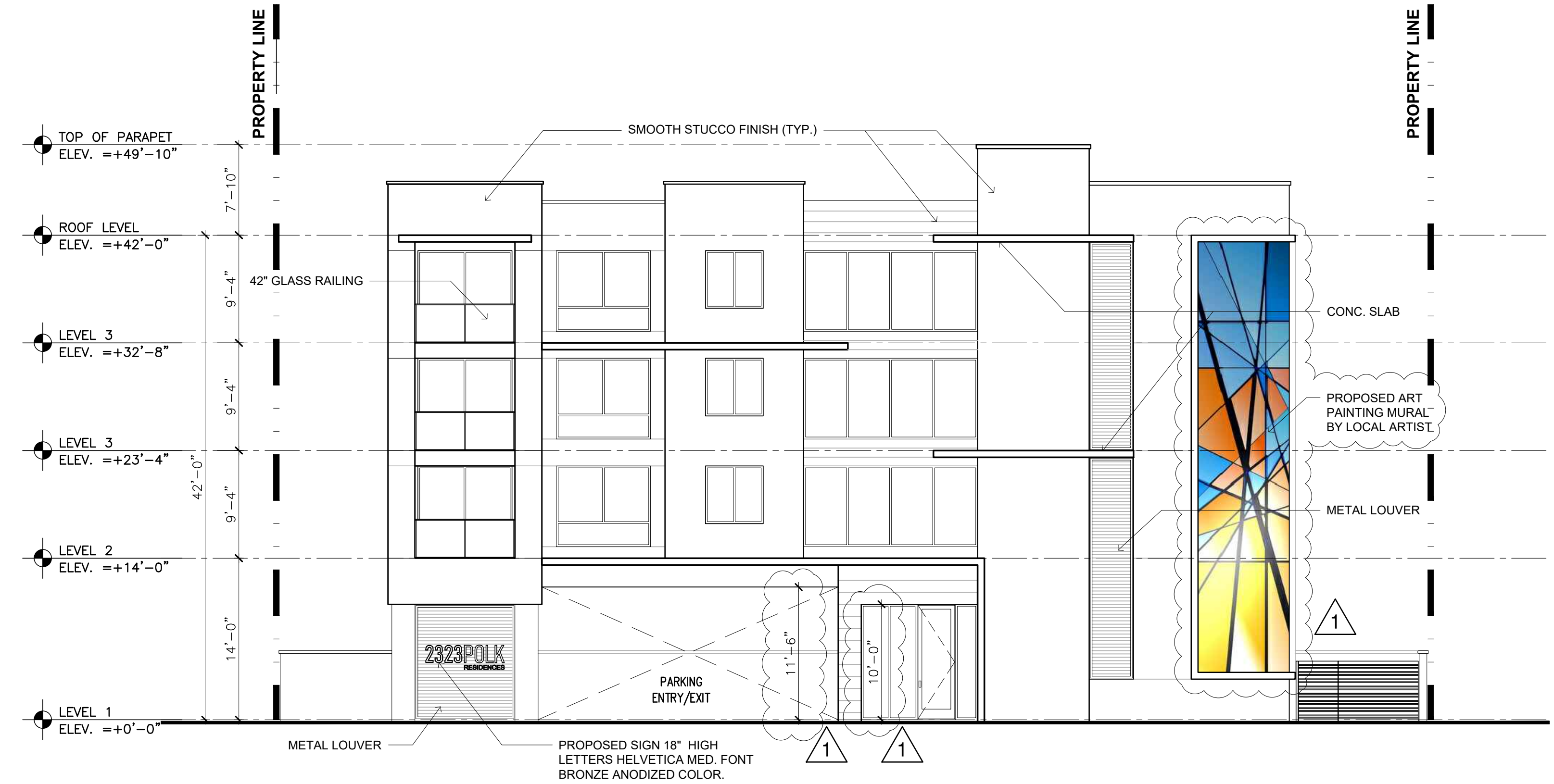


**UNIT TYPE B3: 2 BED / 2 BATH**

SCALE: 1/4" = 1'-0"  
AREA: 893 SF  
BALCONY - 48 S.F.



**SIGNAGE NOTE:**  
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE  
ZONING AND LAND DEVELOPMENT REGULATIONS



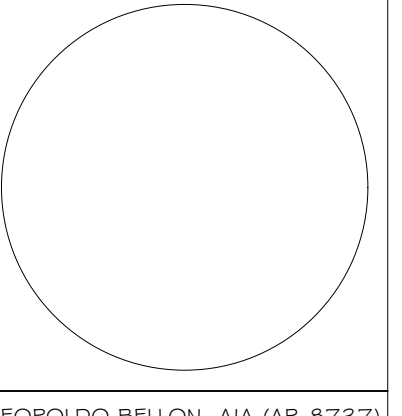
**1 FRONT ELEVATION - POLK STREET**  
SCALE: 1/8" = 1'-0"



**2 SIDE ELEVATION - NORTH**  
SCALE: 1/8" = 1'-0"

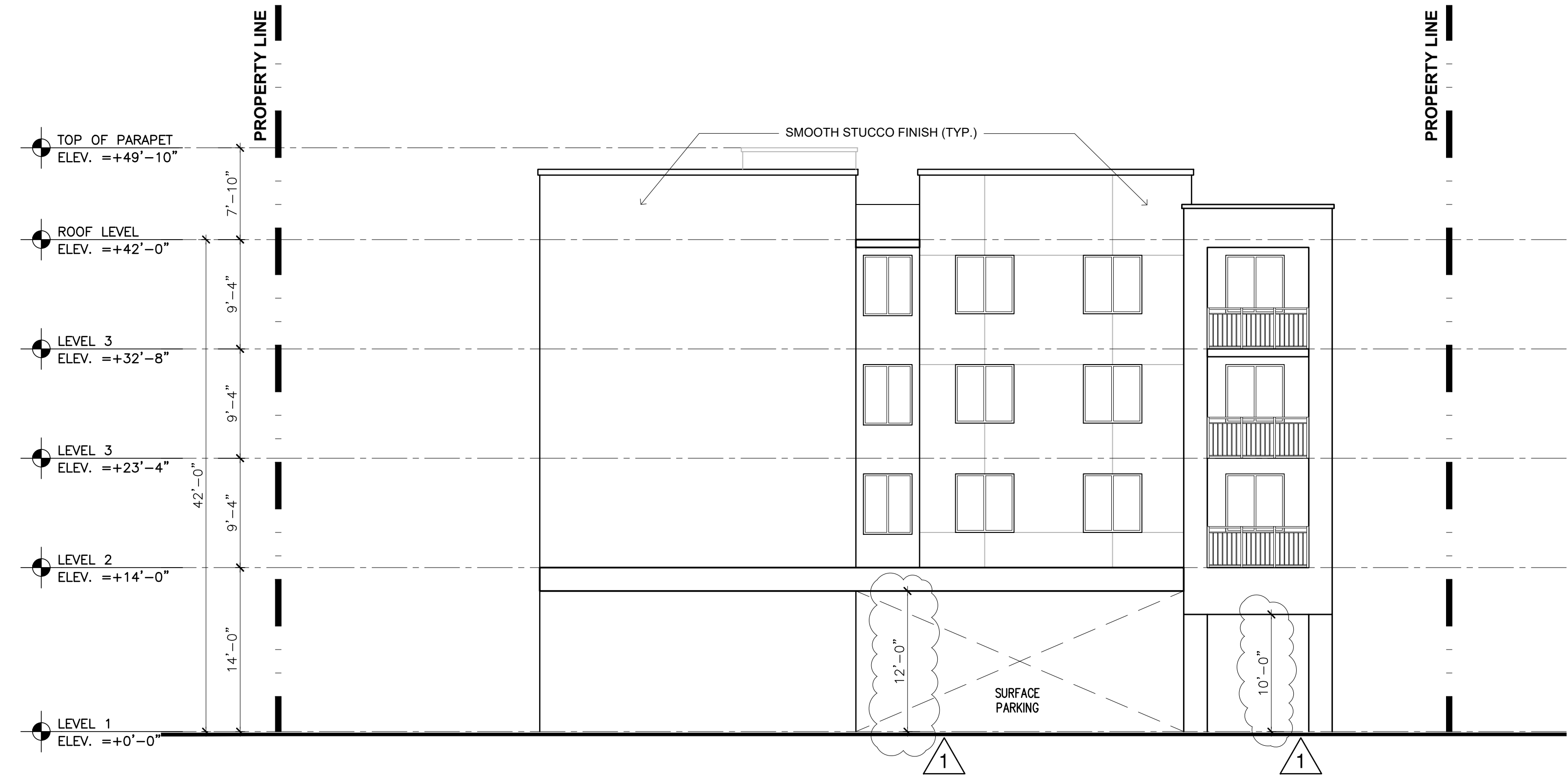
MARK	DATE	DESCRIPTION
1	02/10/25	TAC REVIEW

PROJECT No.	LB756
DRAWN BY:	FM
CHECKED BY:	LB
DATE:	06/26/2024

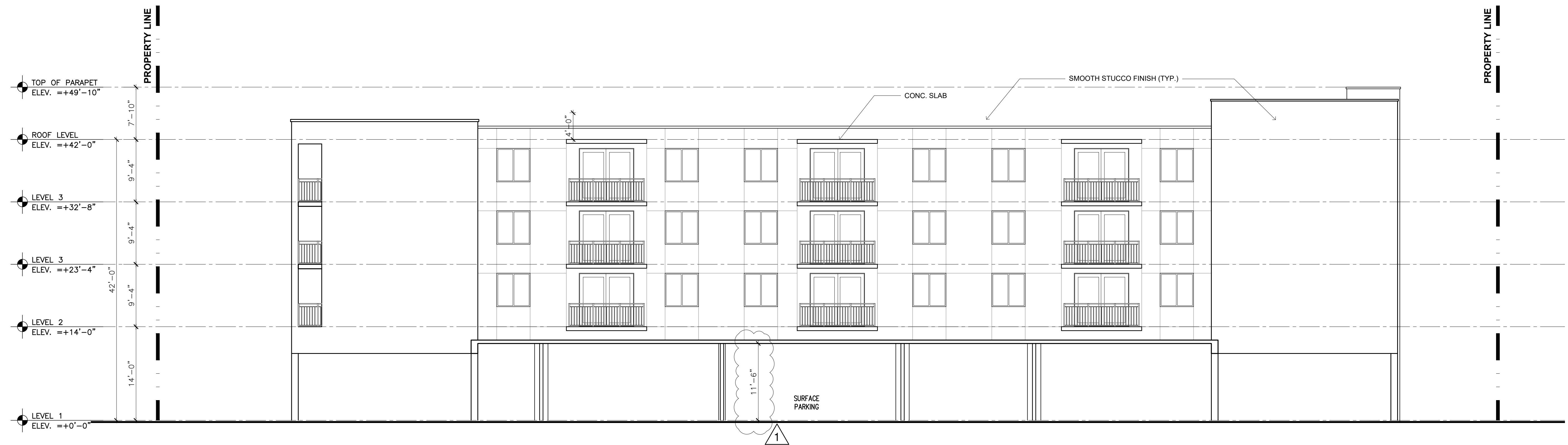


SHEET TITLE

ELEVATIONS  
**A-5**  
SHEET OF



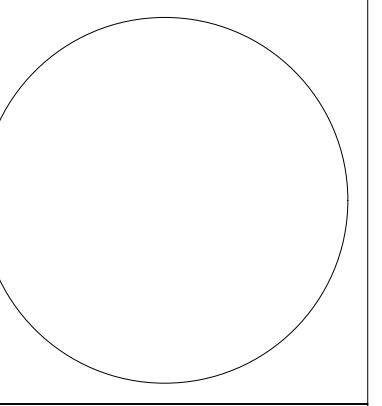
**3 REAR ELEVATION - WEST**  
SCALE: 1/8" = 1'-0"



**4 SIDE ELEVATION - SOUTH**  
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
△	02/10/25	TAC REVIEW

PROJECT No. LB756  
DRAWN BY: FM  
CHECKED BY: LB  
DATE: 06/26/2024



LEOPOLDO BELLÓN, AIA (AR-8737)

SHEET TITLE

ELEVATIONS

**A-6**

SHEET OF





**RENDERINGS**  
SCALE: N.T.S.

1

**BELLÓN**  
architecture



12930 S.W. 128 STREET  
SUITE 203  
MIAMI, FLORIDA 33186  
T. (305) 278-7776  
F. (305) 278-7473  
WWW.BELLONMILANES.COM  
AA-26002616

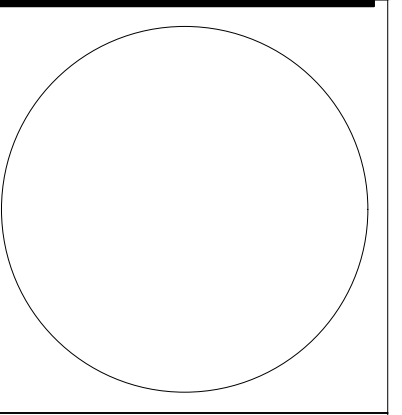
ARCHITECTURE  
LAND PLANNING  
INTERIORS  
CONSTRUCTION MANAGEMENT

CONSULTANTS

**2323 POLK BUILDING**  
**A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020

MARK	DATE	DESCRIPTION
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PROJECT No. LB756  
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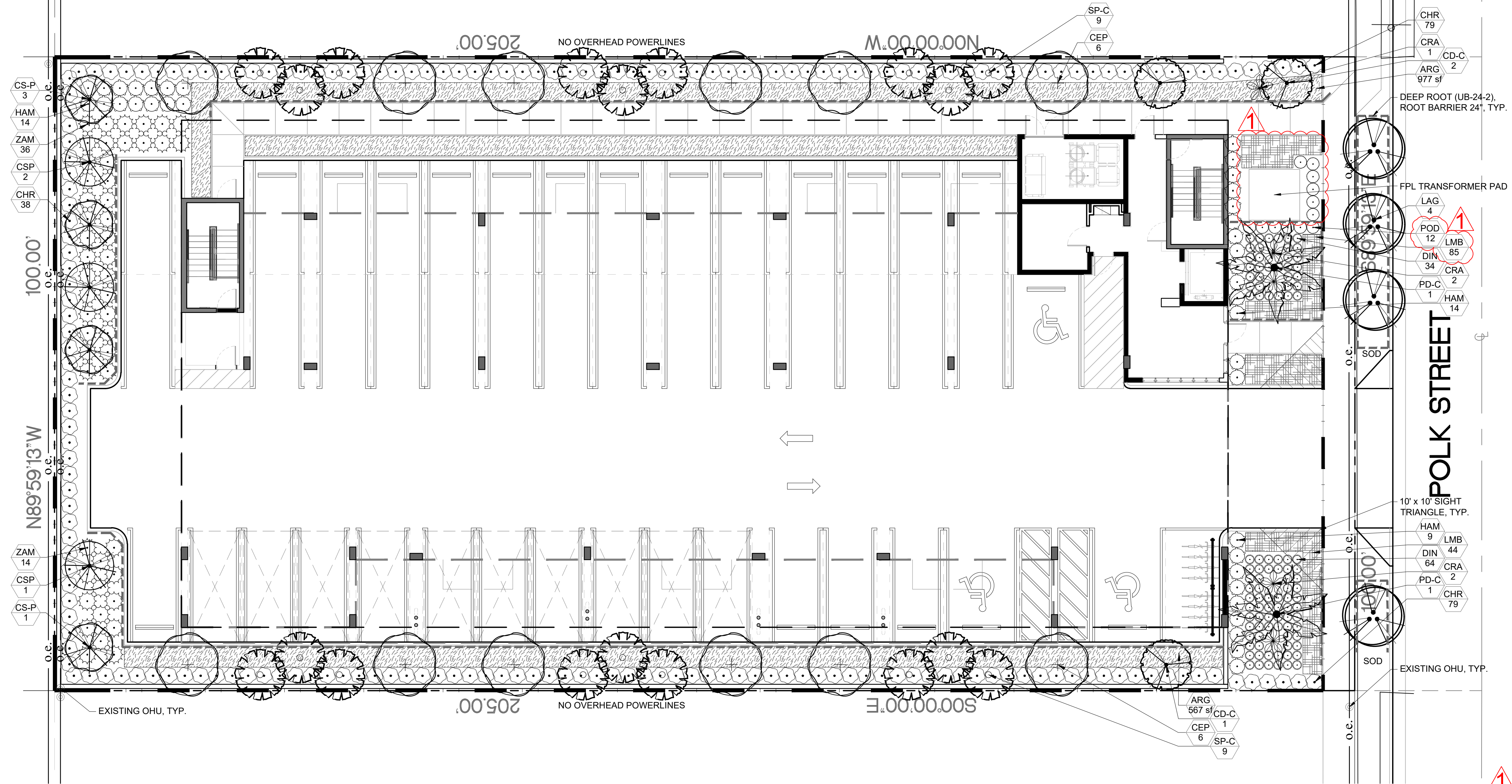
LEOPOLDO BELLÓN, AIA (AR-8737)  
SHEET TITLE

RENDERINGS  
**A-7**  
SHEET OF



**Landscape Notes:**

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- Landscape adjacent to vehicular traffic to be maintained to preserve site line visibility.
- Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.
- Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

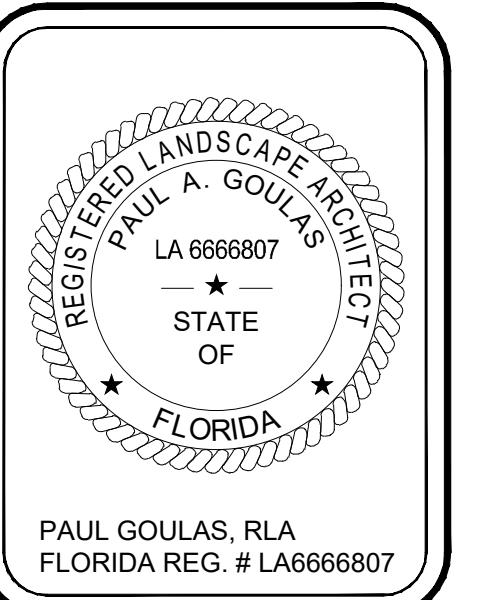


Project Team  
 Landscape Architect:  
**LAS** LANDSCAPE ARCHITECTURAL SERVICES, LLC  
 1708 SE Joy Haven Street  
 Fort St. Lucie, FL 34983  
 (772) 834-1357 | brandon@las-fl.com  
 Architect:  
**BELLON ARCHITECTURE**  
 12930 SW 128th Street  
 Suite 203  
 Miami, FL 33186  
 Office: 305-278-7776  
 amy@bellonglobal.com

**PROPOSED 27-UNIT MULTIFAMILY DEVELOPMENT FOR:  
 2323 POLK STREET APARTMENTS  
 2323 Polk Street, Hollywood, FL 33020**  
**Landscape Plan**

Revisions

Date	Init.	Description
11.22.24	DC	Initial Submittal
02.27.25	DC	Revised per Comments



Drawn By: DC  
 Checked By: BW  
 Municipal Project:  
 Scale:  
  
 SCALE: 1" = 10'  
**L-01**

**Landscape Data:**

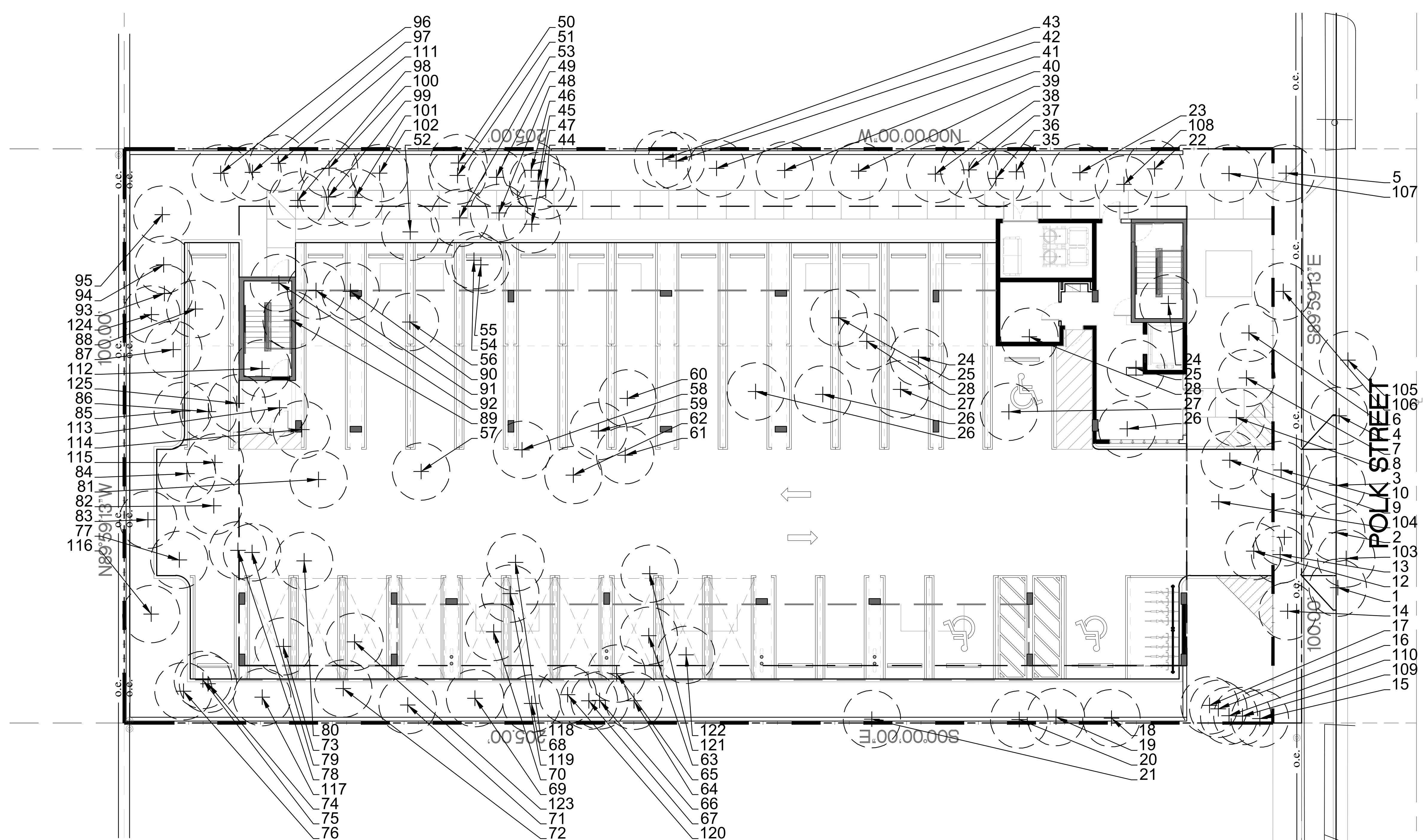
RAC Zoning - MC-1 (Multi-Family Residential Core)	Required	Provided
<b>Perimeter Landscape</b> One 12' street tree per 30 linear feet, or portion thereof, of street frontage of property wherein said improvements are proposed.	4 Trees (100'/30)	4 Trees (See Schedule)
Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.	25 Trees (500'/20)	25 Trees (See Schedule)
<b>Interior Landscape for At-Grade Parking Lots and Vehicular Use Area</b> Terminal islands shall be installed at each end of all rows of Vehicular Use Area parking spaces. Each island shall contain a minimum of 190 s.f. of pervious area and shall measure the same length as adjacent parking stall. Each island shall contain at least one tree. Lots with a width of 50 ft. or less: 15% of the total square footage of paved Vehicular Use Area shall be landscaped. Lots with a width of more than 50 ft.: 25% of the total square footage of paved Vehicular Use Area shall be landscaped.	3,113 sf Landscape (12,452 SF x .25)	4,424 sf Landscape
<b>Minimum Open Space</b> A minimum of one (1) tree per 1,000 square feet of pervious area of property; this is in addition to tree requirement for parking lots and paved vehicular use area.	5 Trees (4,424 SF)	5 Trees (See Schedule)
<b>Total Required:</b>	34 Trees	34 Trees
<b>Native Requirements</b> A minimum of 60% of required trees and 50% of required shrubs must be native species.	21 Trees (60%)	32 Trees (94%)

**Overall Plant Schedule:**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	SPACING
<b>CODE TREES</b>							
	CD-C	3	Coccoloba diversifolia	Pigeon Plum	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	
	PD-C	2	Phoenix dactylifera 'Medjool'	Medjool Date Palm	FG, 10' GW, SGL, SP, MATCHING	No	
	SP-C	18	Sabal palmetto	Sabal Palm	FG, 10' GW, SGL, SP, MATCHING	Yes	
<b>PERIMETER TREES</b>							
	CEP	12	Conocarpus erectus	Green Buttonwood	CG, 12' HT x 6" SPR, 2" DBH MIN, SP	Yes	
	CS-P	4	Conocarpus erectus 'Sericeus'	Silver Buttonwood	FG, 12' HT, 2" DBH MIN, STD, SP	Yes	
	CSP	3	Cordia sebestena	Orange Geiger Tree	CG, 12' HT, 2" DBH MIN, STD, SP	Yes	
<b>STREET TREES</b>							
	LAG	4	Lagerstroemia speciosa	Queen's Crape Myrtle	45G, 12' HT, 6" CT, STD, 2" DBH MIN.	No	
<b>SHRUBS</b>							
	CHR	196	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	3G, 24" OA, F.	Yes	
	CRA	5	Crinum augustum 'Queen Emma'	Queen Emma Crinum	15G, 2'-3" OA, F, SP	No	
	DIN	98	Dianella tasmanica	Flax Lily	3G, 18" OA, F	No	
	HAM	37	Hamilia patens 'Compacta'	Dwarf Firebush	3G, 24" OA, F	Yes	
	POD	12	Podocarpus macrophyllus	Podocarpus	CG, 48" HT x 24" SPR, FTB	No	1'
	ZAM	50	Zamia integrifolia	Coontie	7G, 36" HT, F	Yes	18" o.c.
<b>GROUND COVERS</b>							
	ARG	1,544 sf	Arachis glabrata 'Ecoturf'	Perennial Peanut	FG, Sod	No	
	LMB	129	Liriope muscaris 'Big Blue'	Big Blue Liriope	1G, 12" OA, F, SP	No	18" o.c.







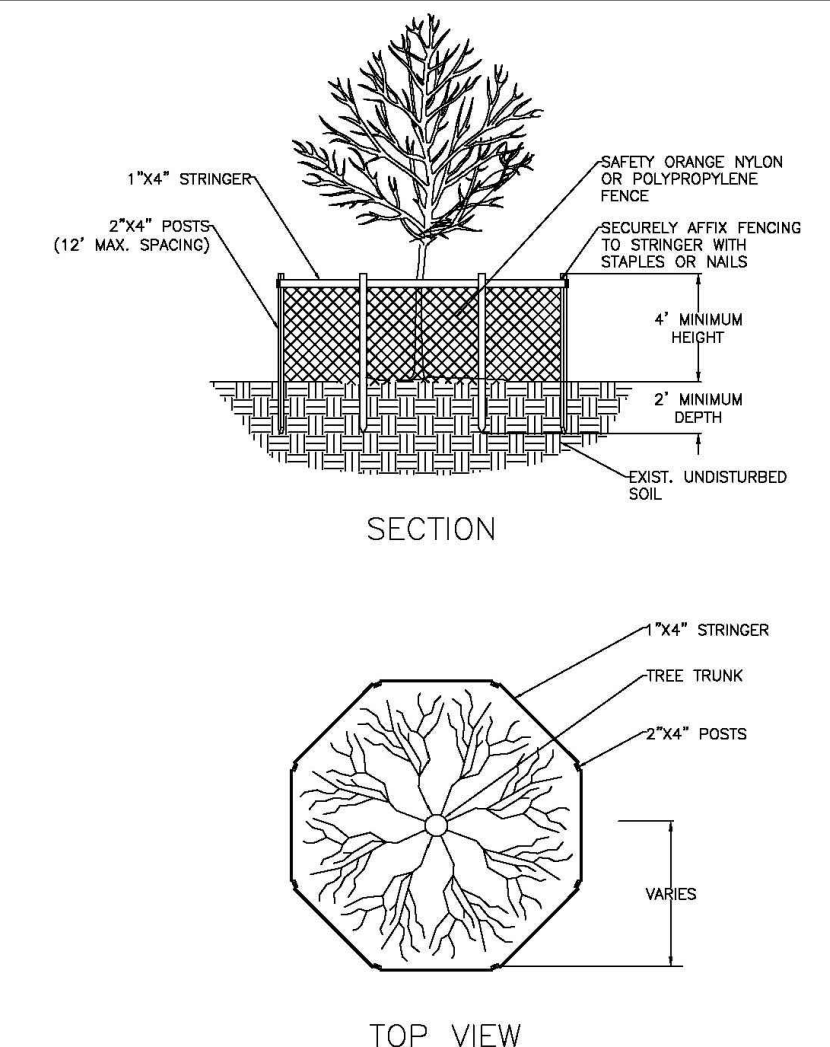
**Existing Trees (All to be Removed):**

- |  |  |   |
|--|--|---|
| 1, PALM D=0.50', H=25', SP=10'                     | 42, PALM D=0.50', H=25', SP=10'                    | 83, PALM D=0.50', H=25', SP=10'                     |
| 2, PALM TRI D=0.50', H=25', SP=10'                 | 43, PALM D=0.50', H=25', SP=10'                    | 84, PALM TRI D=0.50', H=25', SP=10'                 |
| 3, PALM MULTI D=0.50', H=15', SP=10'               | 44, PALM D=0.50', H=25', SP=10'                    | 85, PALM TRI D=0.50', H=25', SP=10'                 |
| 4, PALM D=0.50', H=15', SP=10'                     | 45, PALM D=0.50', H=25', SP=10'                    | 86, PALM TRI D=0.50', H=25', SP=10'                 |
| 5, PALM D=0.50', H=25', SP=10'                     | 46, PALM D=0.50', H=25', SP=10'                    | 87, PALM D=1', H=25', SP=10'                        |
| 6, PALM MULTI D=0.50', H=15', SP=10'               | 47, PALM D=0.50', H=25', SP=10'                    | 88, PALM TRI D=0.50', H=25', SP=10'                 |
| 7, PALM TRI D=0.50', H=25', SP=10'                 | 48, PALM TRI D=0.50', H=25', SP=10'                | 89, PALM TRI D=0.50', H=15', SP=10'                 |
| 8, PINE D=0.40', H=30', SP=8' (Invasive Norfolk)   | 49, PALM D=0.50', H=25', SP=10'                    | 90, PALM TRI D=0.50', H=15', SP=10'                 |
| 9, PALM MULTI D=0.50', H=15', SP=10'               | 50, PALM D=0.50', H=25', SP=10'                    | 91, PALM TRI D=0.50', H=15', SP=10'                 |
| 10, (2) PALM D=0.50', H=25', SP=10'                | 51, PALM D=0.50', H=25', SP=10'                    | 92, PALM D=0.50', H=25', SP=10'                     |
| 11, PALM D=1', H=25', SP=10'                       | 52, PALM D=0.50', H=25', SP=10'                    | 93, PALM TRI D=0.50', H=25', SP=10'                 |
| 12, PINE D=1.25', H=50', SP=10' (Invasive Norfolk) | 53, PALM TWIN D=0.50', H=15', SP=10'               | 94, PALM TRI D=0.50', H=25', SP=10'                 |
| 13, PALM TWIN D=0.50', H=15', SP=10'               | 54, PALM D=0.50', H=25', SP=10'                    | 95, PALM TRI D=0.50', H=25', SP=10'                 |
| 14, PALM D=0.50', H=25', SP=10'                    | 55, PALM D=0.50', H=25', SP=10'                    | 96, PALM D=0.50', H=25', SP=10'                     |
| 15, PALM TWIN D=0.50', H=15', SP=10'               | 56, PALM D=0.50', H=25', SP=10'                    | 97, PALM TWIN D=0.50', H=15', SP=10'                |
| 16, PALM D=0.50', H=25', SP=10'                    | 57, PALM TRI D=0.50', H=25', SP=10'                | 98, PALM TRI D=0.50', H=25', SP=10'                 |
| 17, PALM D=0.50', H=25', SP=10'                    | 58, PINE D=1.50', H=75', SP=15' (Invasive Norfolk) | 99, PALM D=0.50', H=25', SP=10'                     |
| 18, PALM D=0.50', H=25', SP=10'                    | 59, PALM D=0.50', H=15', SP=10'                    | 100, PALM D=0.50', H=25', SP=10'                    |
| 19, PALM D=0.50', H=25', SP=10'                    | 60, PALM D=0.50', H=25', SP=10'                    | 101, PALM D=0.50', H=25', SP=10'                    |
| 20, PALM D=0.50', H=25', SP=10'                    | 61, PALM TRI D=0.50', H=25', SP=10'                | 102, PALM TWIN D=0.50', H=15', SP=10'               |
| 21, PALM D=0.50', H=25', SP=10'                    | 62, PALM D=0.50', H=15', SP=10'                    | 103, PALM D=0.50', H=6', SP=4'                      |
| 22, PALM D=0.50', H=25', SP=10'                    | 63, PALM TRI D=0.50', H=25', SP=10'                | 104, PALM D=0.50', H=15', SP=10'                    |
| 23, PALM MULTI D=0.50', H=15', SP=10'              | 64, PALM D=0.50', H=25', SP=10'                    | 105, PALM D=0.50', H=6', SP=4'                      |
| 24, PALM MULTI D=0.50', H=15', SP=10'              | 65, PALM TWIN D=0.50', H=25', SP=10'               | 106, PINE D=1', H=20', SP=10' (Invasive Norfolk)    |
| 25, PALM TRI D=0.50', H=25', SP=10'                | 66, PALM D=0.50', H=25', SP=10'                    | 107, DRACAENA FRAGRANS D=0.80', H=15', SP=10' (N/A) |
| 26, PALM TRI D=0.50', H=25', SP=10'                | 67, PALM D=0.50', H=25', SP=10'                    | 108, PALM D=0.50', H=6', SP=4'                      |
| 27, PALM TRI D=0.50', H=25', SP=10'                | 68, PALM D=0.50', H=25', SP=10'                    | 109, PALM D=0.50', H=25', SP=10'                    |
| 28, TREE D=0.50', H=30', SP=15'                    | 69, PALM D=0.50', H=25', SP=10'                    | 110, PALM D=0.50', H=25', SP=10'                    |
| 29, PALM TRI D=0.50', H=25', SP=10'                | 70, PALM TRI D=0.50', H=25', SP=10'                | 111, PALM D=0.50', H=10', SP=8'                     |
| 30, PALM D=0.50', H=25', SP=10'                    | 71, PALM D=0.50', H=25', SP=10'                    | 112, PALM D=0.50', H=16', SP=10'                    |
| 31, PALM TWIN D=0.50', H=15', SP=10'               | 72, PALM D=0.50', H=25', SP=10'                    | 113, PALM D=0.50', H=15', SP=10'                    |
| 32, PALM TRI D=0.50', H=25', SP=10'                | 73, PALM TRI D=0.50', H=25', SP=10'                | 114, PALM D=0.50', H=15', SP=10'                    |
| 33, PALM TWIN D=0.50', H=15', SP=10'               | 74, PALM D=0.50', H=25', SP=10'                    | 115, PALM D=0.50', H=25', SP=10'                    |
| 34, PALM TWIN D=0.50', H=15', SP=10'               | 75, PALM D=0.50', H=25', SP=10'                    | 116, DRACAENA FRAGRANS D=0.80', H=20', SP=12' (N/A) |
| 35, PALM D=0.50', H=25', SP=10'                    | 76, PALM D=0.50', H=25', SP=10'                    | 117, DRACAENA TARZAN D=0.80', H=15', SP=10' (N/A)   |
| 36, PALM D=0.50', H=25', SP=10'                    | 77, PALM D=0.50', H=25', SP=10'                    | 118, PYGMY DATE PALM D=0.50', H=8', SP=6'           |
| 37, PALM TWIN D=0.50', H=15', SP=10'               | 78, PALM D=0.50', H=25', SP=10'                    | 119, GARCINIA SPICATA D=0.50', H=10', SP=8'         |
| 38, PALM D=0.50', H=25', SP=10'                    | 79, PALM D=0.50', H=25', SP=10'                    | 120, PALM D=0.50', H=15', SP=10'                    |
| 39, PALM D=0.50', H=25', SP=10'                    | 80, PALM D=0.50', H=25', SP=10'                    | 121, PALM D=0.50', H=25', SP=10'                    |
| 40, PALM D=0.50', H=25', SP=10'                    | 81, MANGO D=2.50', H=60', H=25'                    | 122, DRACAENA FRAGRANS D=0.80', H=15', SP=10' (N/A) |
| 41, PALM D=0.50', H=25', SP=10'                    | 82, PINE D=0.40', H=30', SP=10' (Invasive Norfolk) | 123, PALM D=0.50', H=25', SP=10'                    |
|  |  | 124, PALM D=0.50', H=15', SP=8'                     |
|  |  | 125, PALM D=0.50', H=20', SP=10'                    |

**Landscape Tree Mitigation Data:**

Total mitigation for trees and palms removed to be provided by payment to City Tree Fund. (114) Palms and (42") proposed to be removed; \$350 required for every palm/2" hardwood removed. **\$47,250 Total payment required.**

**Tree Protection Detail:**



NOTES:  
 1. BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.  
 2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRICADE SHALL BE PLACED AROUND THE TREE AT A DISTANCE 6 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.

Project Team  
 Landscape Architect:  
**LAS** LANDSCAPE ARCHITECTURAL SERVICES, LLC  
 1708 SE Joy Haven Street  
 Fort St. Lucie, FL 34983  
 (772) 834-1357 | brandon@las-fl.com  
 Architect:  
**BELLON ARCHITECTURE**  
 12930 SW 128th Street  
 Suite 203  
 Miami, FL 33186  
 Office: 305-278-7776  
 amy@bellonglobal.com

**PROPOSED 27-UNIT MULTIFAMILY DEVELOPMENT FOR:**  
**2323 POLK STREET APARTMENTS**  
 2323 Polk Street, Hollywood, FL 33020  
**Existing Tree Information**

Revisions		
Date	Init.	Description
11.22.24	DC	Initial Submittal
02.27.25	DC	Revised per Comments

REGISTERED LANDSCAPE ARCHITECT  
 PAUL A. GOULAS  
 LA 666807  
 STATE OF FLORIDA  
 PAUL GOULAS, RLA  
 FLORIDA REG. # LA666807

Drawn By: DC  
 Checked By: BW  
 Municipal Project:  
 Scale:  
  
 SCALE: 1" = 10'  
  
**L-02**



### Landscape Specifications:

#### PART 1: GENERAL CONDITIONS

##### 1.01 SCOPE:

- A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.

##### 1.02 AGENCY STANDARDS:

- A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

##### 1.03 SITE EXAMINATION:

- A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

##### 1.04 ERRORS AND OMISSIONS:

- A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

- B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.

- C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

##### 1.05 EXECUTION OF THE WORK:

- A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents, if the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.

- B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents, if the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.

- C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

##### 1.06 PROTECTION OF PUBLIC AND PROPERTY:

- A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

##### 1.07 CHANGES AND EXTRAS:

- A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

##### 1.08 GUARANTEE:

- A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and any subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

##### 1.09 CARE AND MAINTENANCE:

- A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.

- B. The Owner agrees to execute the instructions for such care and maintenance.

##### 1.10 SAFETY:

- A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.

- B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

##### 1.11 CONTRACTOR QUALIFICATION:

- A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
  1. A financial statement showing assets and liabilities of the company current to date.
  2. A listing of not less than (3) completed projects of similar scope and nature.
  3. Permanent name and address of place of business.
  4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

##### 1.12 INSURANCE AND BONDING:

- A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

##### 1.13 PERMITS AND CERTIFICATES:

- A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

#### PART 2: MATERIALS

##### 2.01 PLANT MATERIALS:

- A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.

- B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.

- C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.

- D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.

- E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.

- F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

##### 2.02 INSPECTION:

- A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

##### 2.03 PROTECTION OF PLANT MATERIALS:

- A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

- B. Plants with broken, damaged or insufficient rootballs will be rejected.

- C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

- D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

##### 2.04 STORAGE:

- A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.

- B. No plant material shall be stored longer than seventy-two (72) hours unless approved by the Landscape Architect and/or owner.

- C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.

- D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

##### 2.05 PROTECTION DURING PLANTING:

- A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.

##### 2.06 PLANTING SOIL:

- A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

##### 2.07 FERTILIZER:

- A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.

- B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:

1 gallon container	1 tablet
3 gallon container	2 tablets
5 gallon container	3 tablets
7 gallon	5 tablets

- Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material.

The Landscape Architect reserves the right to inspect and review the application of fertilizer.

##### 2.08 MULCH:

- A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.

- B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks or as required by local jurisdiction.

#### PART 3: EXECUTION

##### 3.01 DIGGING:

- A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

##### 3.02 GRADING:

- A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.

- B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drainage, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

##### 3.03 PLANTING:

- A. Planting shall take place during favorable weather conditions.
- B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

- C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

- D. Excavation of holes shall extend to the required subsurface as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

- E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.

- F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil):
  - 1 Gallon material (1 gal.): 12" x 12" x 12" min.
  - 3 Gallon material (3 gal.): 20" x 20" x 18" min.
  - Lето material (7 gal.): 30" x 30" x 24" min.
  - Field grown material and trees: 1-12 times width of ball and depth of ball plus 12" min.

- G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.

- H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.

- J. All flagging ribbon shall be removed from trees and shrubs before planting.

- K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.

- L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2) inches deep with topsoil raked and left in a neat, clean manner.

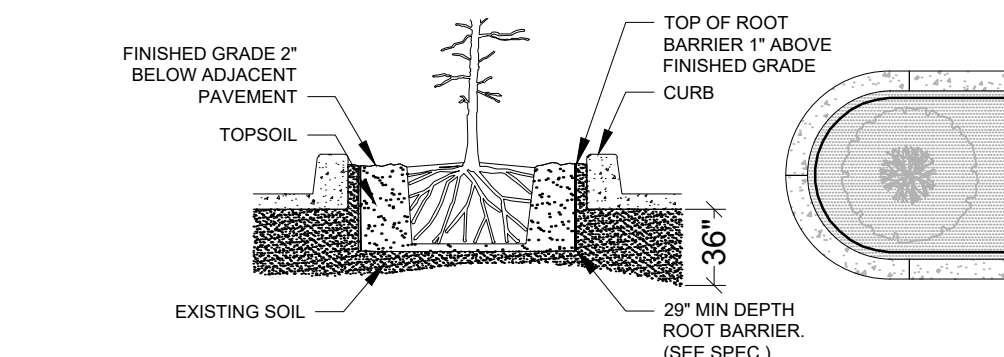
##### 3.04 PRUNING:

- A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.

- B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.

- C. Trees shall not be poled or topped.

- D. Remove all trimmings from site.



#### SPECIAL APPLICATIONS ROOT BARRIER DETAIL NOT TO SCALE

- NOTES:
  - 1- ROOT BARRIER SHALL BE "BIO-BARRIER 20" DEPTH OR APPROVED EQUAL.
  - 2- ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

##### 3.05 GUYING:

- A. All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.

- B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling croches apart.

- D. Stake & Brace all trees larger than 12" oa. See detail.

- E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain light guy wires.

##### 3.06 WATER:

- A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.

- B. See General Notes of Landscape Plan for water source.

##### 3.07 SOD:

- A. The Landscape Contractor shall sod all areas indicated on the drawings.

- B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.

- C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.

- D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

- E. 6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.

- F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.

- G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.

- H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

##### 3.08 SEEDING:

- A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.

- B. Application: Argentine Bahía Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.

- C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.

- D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

##### 3.09 CLEANING UP:

- A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.

##### 3.10 MAINTENANCE:

- A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.

- B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

- C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.

- D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.

- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

- F. Completion, inspection and acceptance:

- A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.

- B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

- C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.

- D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

- E. After completion of the work, the Landscape Contractor shall be responsible for the maintenance and care of the plants and shall be held responsible for the cost of replacement of any plants which die or become unsatisfactory during the maintenance period.

- F. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

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- H. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

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- R. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

- S. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

- T. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

- U. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

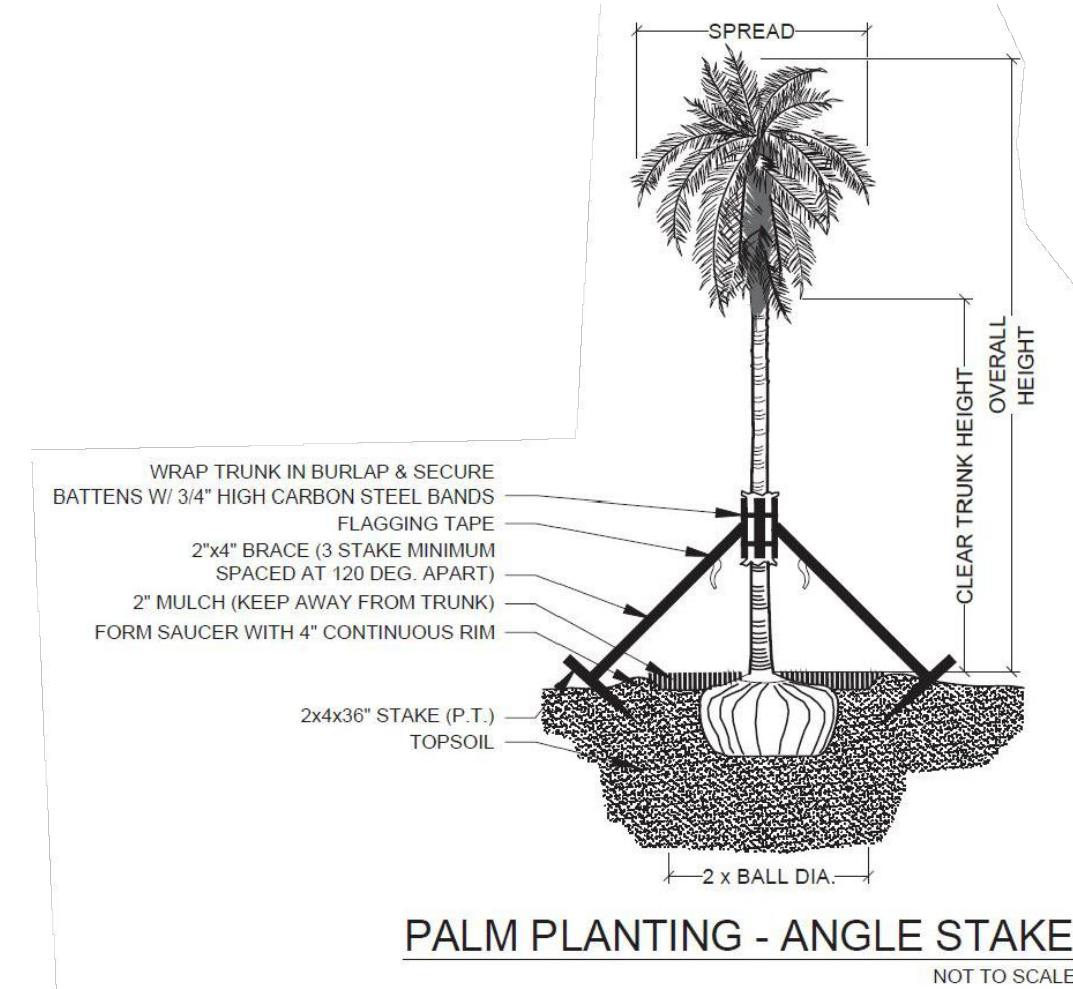
- V. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

- W. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

- X. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

- Y. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.

- Z. The Landscape Contractor shall be responsible for the removal of all debris, mulch, and other materials from the site after the completion of the work.







## TECHNICAL ADVISORY COMMITTEE REPORT

November 4, 2024 Leopoldo

Bellon, AIA  
12930 128<sup>th</sup> Street, Suite 203  
Miami, Florida 33155

**FILE NUMBER:** 24-DP-78

**SUBJECT:** Preliminary Site Plan review for a four-story 27-unit multifamily residential development located in the DH-2 Zoning District within the Regional Activity Center

### SITE DATA

**Owner/Applicant:** Leopoldo Bellon, AIA  
**Address/Folio:** 2323 Polk Street (Folio: 5142 16 01 3510)  
**Net Size of Property:** 2,399 ft<sup>2</sup>  
**Land Use:** Residential  
**Zoning:** Dixie Highway Medium Intensity Multi-Family District (DH-2)  
**Present Use of Land:** Multi-Family Duplex

### ADJACENT LAND USE

**North:** Residential  
**South:** Residential  
**East:** Residential  
**West:** Residential

### ADJACENT ZONING

**North:** Dixie Highway Medium Intensity Multi-Family District (DH-2)  
**South:** Transitional-Core District (TC-1)  
**East:** Dixie Highway Medium Intensity Multi-Family District (DH-2)  
**West:** Dixie Highway Medium Intensity Multi-Family District (DH-2)

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**APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).**

**A. APPLICATION SUBMITTAL**

Umar Javed, Planner II ([ujaved@hollywoodfl.org](mailto:ujaved@hollywoodfl.org)) 954-921-3471

1. Application Form:

- a. Indicate the total size of the property (existing).

**RESPONSE: Please see sheets SP-1.0.**

- b. Ensure a new application form is submitted for the next TAC submittal.

**RESPONSE: Acknowledged.**

2. Operations Narrative/Cover Letter:

- a. **Not submitted.** Please ensure that in your next submittal, a detailed cover letter is submitted that outlines the proposed development, what your submittal includes. Ensure this is provided in addition to a comment response matrix which addresses each comment individually.

**RESPONSE: Please see attached**

3. Ownership & Encumbrance Report (O&E):

- a. Not submitted. Please ensure that it is submitted upon next submission

**RESPONSE: Please see proof of ownership**

- b. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.

**RESPONSE: Please see civil drawings**

- c. Ensure O&E addresses the requirements on the TAC submittal checklist:

<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

**RESPONSE: Acknowledged.**

4. Alta Survey:

- a. Only a boundary survey has been received. Please ensure an ALTA SURVEY is submitted in the next submission for it to be accepted.

- b. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

5. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

6. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s)



within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

**RESPONSE: Completed on 12-23-24**

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

7. Additional comments may be forthcoming.

**RESPONSE: Acknowledged.**

8. Provide written responses to all comments with next submittal.

**RESPONSE: Please see sheets SP-1.0.**

## **B. ZONING**

*Umar Javed, Planner II ([ujaved@hollywoodfl.org](mailto:ujaved@hollywoodfl.org)) 954-921-3471*

1. The required parking for the subject lands shall be rounded up to a total of 41 spaces (1.5 per units exceeding 1 bedroom). Please revise this in your parking calculations.

**RESPONSE: Please see sheets SP-1.0.**

2. The required guest parking is 1 space per 10 units, rounded up to a total of 4 parking spaces. The proposed guest spaces in your plans only include 2 spaces, which is short of 2. Ensure this is revised and accounted for in your next submission. City Staff will be unable to support a variance with respect to parking.

**RESPONSE: Please see sheets SP-1.0.**

3. Include ADA parking spaces and bicycle in your parking calculations chart.

**RESPONSE: Please see sheets SP-1.0.**

4. Include electric vehicle parking in your parking calculations chart.

**RESPONSE: Not Requested Any Longer**

5. Include height requirements in your site statistic table.

**RESPONSE: Please see sheets SP-1.0 – Included 42'-0" to top of roof slab**

6. The maximum permitted height for the proposed development is 45 feet or four stories. The proposed height is not in compliance with the permitted height. City staff will be unable to support a variance for increased height. As such, the proposed height must be brought to compliance in your next submission.

**RESPONSE: In compliance. 42' where up to 45' is allowed.**

7. At this time, there does not appear to be any compliance issues with regard to setback requirements.

**RESPONSE: All proposed setbacks are in compliance.**

8. The maximum Floor Area Ratio (FAR) is 1.75. Please revise the 'required' section of the stats table to reflect this. Regarding FAR, there does not appear to be any compliance issues.

**RESPONSE: Please see sheets SP-1.0.**

9. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

- a. One (1) street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.
- b. Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.
- c. When abutting or across an alley from a residential zoning district a perimeter landscape buffer shall be included within the required setback area with one (1) tree for every 20 linear feet of required buffer area.
- d. All pervious areas shall be landscaped with grass, ground cover and/or shrubbery; or covered by another sustainable surface or material as permitted and determined by the City Manager or designee. Required landscape open space shall not be used for parking.
- e. 9 A minimum of one (1) tree per 1,000 square feet of pervious area of property; this is in addition to tree requirement for parking lots and paved vehicular use areas.

**RESPONSE: Please see Landscaping plans.**

10. Provide shaded diagram for areas contributing to the Vehicular Use Area landscape area requirement of 25%

**RESPONSE: Please see Landscaping plans.**

11. Ensure that the site statistics chart is consistent with all drawings submitted and is updated throughout the development review process.

**RESPONSE: Corrected.**

12. Pursuant to Section 7.1(I), demonstrate compliance with:

1. *The use of mechanical parking lifts or similar mechanical systems shall only be permitted within parking garages and on at-grade parking lots located under a building; and shall not increase the overall building massing.*

**RESPONSE: The proposed 10 parking lifts are all under the building. A concrete canopy over parking stalls was added.**

2. *All portions of parking lifts and automobiles stationed on such lifts shall be fully screened from public view;*



**RESPONSE: Privacy screens (Louvers) were added to screen from view.**

#### **ANTICIPATED CONDITIONS OF APPROVAL**

13. Demonstrate compliance and provide site plan note that the proposed the vertical tandem spaces are assigned to and for the sole use of a single unit, do not including required guest spaces,

**RESPONSE: Please see sheets SP-1.0.**

14. Provide a covenant running with the land that holds the city harmless against any claims arising from accidents as a result of the use of mechanical parking lifts, in a form acceptable to the City Attorney, shall be submitted prior to the issuance of permits and recorded in the Public Records of Broward County by the city prior to the issuance of a certificate of occupancy or certificate of completion.

**RESPONSE: Will provide prior to pulling building permit**

#### **SITE PLAN:**

1. Produce a site plan drawing to include the proposed building footprint. At this time, the current drawing only depicts the proposed parking which is located on the ground floor. Please provide a separate site plan drawing that delineates the proposed parking area as well as the proposed multi-family building. Include all labels, entrances, pedestrian access, doors, setbacks, and all necessary information.

**RESPONSE: Please see sheets SP-1.0. clearly show building site shaded area of building above.**

2. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.

**RESPONSE: Please see note on sheets SP-1.0.**

1. Provide the square footage of the building on the applicable plan(s).

**RESPONSE: Please see table on sheets SP-1.0. (Gross building square footage).**

2. Ensure revision dates are included on all future versions of the site plan and all applicable drawings.

**RESPONSE: Revision dates are included.**

3. Include the City file number – 24-DP-84 on all relevant plans and documents, including site plan.

**RESPONSE: Please see sheets SP-1.0.**

4. Indicate on the site statistics table, the total number of ADA spaces (accessible parking). Ensure that the site stats table includes the correct zoning information as there appears to be inconsistencies.

**RESPONSE: Please see sheets SP-1.0.**

5. Please dimension setbacks on the Site Plan once the building footprint is added on the plan(s).

**RESPONSE: Please see sheets SP-1.0.**

6. Please confirm the screening efforts being used for the waste area on the site.

**RESPONSE: Waste inside the trash room.**

7. Doors to the waste area shall not open directly into sidewalks. Please include justification in your response if this is the only feasible design.

**RESPONSE: Changed to a Roll-Up door.**

8. Please demonstrate any amenity areas for residents, including parkettes, plazas, seating areas, or public spaces which can be incorporated into the multi-family development. There does not appear to be any amenity spaces on the current plans.

**RESPONSE: See benches added on the East side yard. In addition to seating areas at each Elevator Lobby.**

9. Please demonstrate Pedestrian zones. Staff is encouraging applicant to include public realm improvements including but not limited to benches, tables, chairs, potted plants, and trash receptacles, ramps, sidewalk connections, planters, etc.

**RESPONSE: Please see pedestrian elements at East side yard.**

10. Indicate bicycle parking being proposed on the Site Plan drawing, if any. Staff strongly encourage active transportation efforts as part of the proposed multi-family development.

**RESPONSE: Please see bicycle parking behind wall at West/Front of building.**

11. Indicate the location of proposed fire route(s) in accordance with the Florida Building Code (including width and center line radius at all changes in direction.

**RESPONSE: Fire apparatus will park in front of building.**

12. Indicate location of fire hydrants on Site Plan drawing.

**RESPONSE: Please see civil drawings**

13. Demonstrate transit stop locations along with pedestrian movement on a diagram

**RESPONSE: Please see sheets SP-1.0.**

14. Landscaping is encouraged as a tool to enhance the pedestrian experience, beautification, delineation of access, features, architecture, and environmental enhancement. Indicate appropriately on Site Plan.

**RESPONSE: Please see Landscape Plans**

### **C. ARCHITECTURE AND URBAN DESIGN**

*Umar Javed, Planner II ([ujaved@hollywoodfl.org](mailto:ujaved@hollywoodfl.org)) 954-921-3471*

*Chad Cramer, Urban Designer ([ccramer@hollywoodfl.org](mailto:ccramer@hollywoodfl.org)) 954-921-3471*

1. The massing and setbacks of the design are appropriate for the surrounding context. The lobby, units, and balconies facing Polk St offer activation and desired "eyes on the street" for safety and an added sense of



security to the public realm.

**RESPONSE: Acknowledged.**

2. Ensure all rooftop mechanical units are adequately screened and are not visible from the streetscape or ground level below (if any – please confirm).

**RESPONSE: All A/C equipment located at roof top towards the center of the roof and shield from view by building parapets.**

3. The applicant is strongly encouraged to review Section 4.6 (c) of the City's Code for general development regulations and good practices to consider, including opportunities to improve the public realm, pedestrianization, and urban design principles. The applicant is advised to include in their response how they are meeting this section, being in the Regional Activity Center. The applicant is to reduce as much blank facades and walls as much as possible. Please ensure this is reflected in your next submission.

**RESPONSE: We comply as noted.**

4. The current design is generally visually appealing. It is encouraged to use more consistent colours and designs. There are six different colours visible from the front which is appreciated, however a more bold and consistent approach would be more visually appealing. Any white blank walls are discouraged.

**RESPONSE: Colors were changed as per neighborhood meeting request.**

5. The proposed building height shall be reduced to a more appropriate height.

**RESPONSE: Building height complies with zoning regulation.**

**D. SIGNAGE**

*Umar Javed, Planner II ([ujaved@hollywoodfl.org](mailto:ujaved@hollywoodfl.org)) 954-921-3471*

1. Provide the following note: "All signage shall be in compliance with the Zoning and Land Development regulations".

**RESPONSE: Please see note on sheets A-5.**

2. Provide note on Site Plan: "All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign."

**RESPONSE: Please see note on sheets SP-1.0.**

3. Confirm if any proposed signage is being used on the site as part of the proposed development.

**RESPONSE: Please see note on sheets A-5.**

**E. LIGHTING**

Umar Javed, Planner II ([ujaved@hollywoodfl.org](mailto:ujaved@hollywoodfl.org)) 954-921-3471

1. Indicate on the Site Plan and all applicable plans any changes or improvements to the lighting on the subject lands, as well as the proposed building to facilitate the development.

**RESPONSE: Lighting plans will be submitted for building permitting process.**

**F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY**

Umar Javed, Planner II ([ujaved@hollywoodfl.org](mailto:ujaved@hollywoodfl.org)) 954-921-3471

1. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle- charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces.

**RESPONSE: EV spaces or charging stations will not be provided as required by Florida Building Code.**

2. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

**RESPONSE: Upon submission of building permit plans.**

**G. ENGINEERING**

Azita Behmardi, Deputy Director Development Services ([abehmardi@hollywoodfl.org](mailto:abehmardi@hollywoodfl.org)) 954-921-3251 Clarissa Ip, City Engineer ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org)) 954-921-3915

Rick Mitinger, Transportation Engineer ([rmitinger@hollywoodfl.org](mailto:rmitinger@hollywoodfl.org)) 954-921-3990

1. **Comments to be provided through a separate memorandum.**

**H. LANDSCAPING**

Favio Perez, Landscape Reviewer ([fperez@hollywoodfl.org](mailto:fperez@hollywoodfl.org)) 954-921-3900 Clarissa Ip, City Engineer ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org)) 954-921-3915

**RESPONSE: Please see Landscape Plans – Prepared by LAS Landscape architect.**

Landscape plan provided does not meet code/TAC review requirements. Please revise in accordance with the City's code requirements for landscaping prior to next submission.

1. Satellite images and survey provided show existing trees/palms.
2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. Show all trees on site to scale. The tree legend must include the tree number, common name, botanical name, DBH, overall height, spread, condition, and disposition (to remain, to be relocated, to be removed). Show all canopy including crowns of trees from adjacent lot located within 10' from property line. For new construction, Disposition plan must be superimposed on the new/proposed site plan.
3. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual, Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria



may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. Palms must be 8' CT min.

4. Provide sight triangles on plans at intersection of driveway and property line – Sec. 155.12 (d)
5. Native plant requirements; 60% trees, 50% shrubs – Sec. 3.4.
6. Label all sides of property whether there are 'Existing Overhead Powerlines' or 'No Overhead Powerlines'. Provide FPL approved trees for planting under powerlines.
7. Add note: 'Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.'
8. Above ground equipment: Where required for screening purposes, hedge shall be planted at equipment height for visual screening.
9. Add note: All landscaping shall be warranted for 1 year after final inspection.
10. Provide site requirements as per project zoning and RAC requirements. 1 street tree per 30 lf, buffer: 1 tree per 20 lf, 1 tree per 1,000 sf of pervious area.
11. Add note: 100% irrigation coverage shall be provided.
12. Provide landscape mix with vertical planting to buffer adjacent lots, as needed. Provide the appropriate tree/palm species with regards to the perimeter landscape area width. Future tree growth shall not be a nuisance to adjacent lots.

More comments may follow upon review of the requested information.

Provide information requested for further review. Additional comments may follow upon further review. We encourage you to reach out for any questions or clarification at [fperez@hollywoodfl.org](mailto:fperez@hollywoodfl.org) or 954-921-3900. Favio Perez

#### **I. UTILITIES**

*Alicia Vereza-Feria, Floodplain Development Review Administrator ([avereza-feria@hollywoodfl.org](mailto:avereza-feria@hollywoodfl.org)) 954-921-3302*

1. This property is located within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) = 12.30' NAVD88, as shown on Civil Plans, complies with Section 154.50 of the City's Code of Ordinances where minimum FFE is 18-inches above the elevation of the highest crown of the adjacent road = 10.81' NAVD88 + 1.5' = 12.30' NAVD88.

**RESPONSES: Acknowledged.**

2. Indicate Finished Floor Elevation (FFE) for all enclosed areas on the ground floor (Office, Trash Room, etc). Reminder: Hydrostatic flood vents shall be shown for enclosed areas if FFE is less than 12.3' NAVD88.

**RESPONSE: Please see revised civil plan sheets.**

3. Architectural plans shall indicate FFEs shown in Civil plans for each enclosed area on ground floor.
4. Sheet C2 - Illustrate proposed swale in right-of-way per City detail C-33.

**RESPONSE: Please see revised sheet C2.**

5. Sheet C2 – Label FPL Transformer Pad and provided top of slab elevation. Add note: Bottom elevation of Mechanical/Electrical Equipment shall match FFE.

**RESPONSE: Please see revised sheet C2.**

6. Section D-D - Label trench drain. Show slope of onsite driveway. Clarify if driveway slopes toward trench drain or slopes away from property line. Add trench drain detail.

**RESPONSE: Please see revised section on sheet C2 and trench drain detail on sheet C3.**

7. Include sewer cleanout and lateral connection standard details.

**RESPONSE: Please see details on added plan sheet C11.**

8. Sheet C1 - Include detail for gravel construction entrance.

**RESPONSE: Please see detail on sheet C1.**

9. Permit approval from outside agencies will be required.

**RESPONSE: Acknowledged.**

Additional comments may follow upon further review of requested items. Please contact

Utilities staff for further information in this regard.

**J. BUILDING**

*Russell Long, Chief Building Official ([rlong@hollywoodfl.org](mailto:rlong@hollywoodfl.org)) 954-921-3490*

*Daniel Quintana, Assistant Building Official ([dquintana@hollywoodfl.org](mailto:dquintana@hollywoodfl.org)) 954-921-3335*

1. No comments received.

**K. FIRE**

*Chris Clinton, Fire Marshal ([cclinton@hollywoodfl.org](mailto:cclinton@hollywoodfl.org)) 954-967-4404*

*Marcy Hofle, Deputy Fire Marshall ([mhofle@hollywoodfl.org](mailto:mhofle@hollywoodfl.org)) 954-967-4404*

1. Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.
2. Cite on the plans (page SP 1.0) and show the use of the current codes for this project: Florida Fire

Prevention Code (8th Ed.)

NFPA 1 (2021 Ed.)

NFPA 101 (2021 Ed.)

NFPA 13 (2019 Ed.)

NFPA 72 (2019 Ed.)

NFPA 14 (2019 Ed.)

NFPA 24 (2019 Ed.)

3. Water supply shall meet the requirements of NFPA 1 (2021 Ed.) Section 18.4.5.3. --- To determine the



minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. --- [underground@hollywoodfl.org](mailto:underground@hollywoodfl.org)

4. Once submitted for review, the results of the Hydrant Flow Test will be compared to the Fire Flow Calculations which were submitted within this pre-TAC set of documents to ensure there is an adequate water supply on hand for firefighting purposes.
5. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

**RESPONSE: Please see note on sheet C9.**

6. Any stacked parking in the garage (see plan page SP-1.0) will require a fire sprinkler design category of Extra Hazard Group II as per NFPA 13 (2019 Ed.) Section 4.3.6 --- Extra hazard (Group 2) occupancies shall be defined as occupancies or portions of other occupancies with moderate to substantial amounts of flammable or combustible liquids or occupancies where shielding of combustibles is extensive.
7. NFPA 13 (2019 Ed.) Section A.4.3.6 (9) --- Car stackers and car lift systems with 2 cars stacked vertically
8. Water supply and any new hydrants shall be in place prior to accumulation of combustible materials per NFPA 1 (2021 Ed.) Section 16.5.3.1.1. --- Provide a note on the plans.

9. Be advised that NFPA 1 (2021 edition) Section 11.10.2 requires that minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ for all new and existing buildings. --- If at any time (including the construction phase), Fire Department personnel determine that the minimum radio signal strength is not being met, a Two-Way Radio Communication Enhancement system may be required to be installed as determined by the AHJ.
10. Provide roof egress on the plans (see plan page A-3).

Please contact Fire Staff for more information in this regard.

**L. PUBLIC WORKS**

Joseph S. Kroll, Public Works Director ([jkroll@hollywoodfl.org](mailto:jkroll@hollywoodfl.org)) 954-967-4207

Daniel Millien, Environmental Service Manager ([dmillien@hollywoodfl.org](mailto:dmillien@hollywoodfl.org)) 954-967-4207

1. No comments received.

**M. PARKS, RECREATION AND CULTURAL ARTS**

David Vazquez, Assistant Director ([dvazquez@hollywoodfl.org](mailto:dvazquez@hollywoodfl.org)) 954-921-3404

1. Applicant must submit a park impact application fee. Please ensure this fee is submitted upon your next submission for it to be accepted. For assistance in this regard, please contact the above staff in Parks.

**N. COMMUNITY DEVELOPMENT**

Ryon Coote, Community Development Director ([rcoote@hollywoodfl.org](mailto:rcoote@hollywoodfl.org)) 954-921-2923 Liliana Beltran, Housing inspector ([lbeltran@hollywoodfl.org](mailto:lbeltran@hollywoodfl.org)) 954-921-2923

1. No comments received.

**O. ECONOMIC DEVELOPMENT**

Joann Hussey, Interim Director ([jhussey@hollywoodfl.org](mailto:jhussey@hollywoodfl.org)) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager ([hconde-parlato@hollywoodfl.org](mailto:hconde-parlato@hollywoodfl.org)) 954-924-2922

1. Application is substantially compliant

**P. POLICE DEPARTMENT**

Chantel Magrino, Police ([cmagrino@hollywoodfl.org](mailto:cmagrino@hollywoodfl.org)) 954-967-4371 Steven Bolger,

Police ([sbolger@hollywoodfl.org](mailto:sbolger@hollywoodfl.org)) 954-967-4500 Doreen Avitabile, Police

([davitabile@hollywoodfl.org](mailto:davitabile@hollywoodfl.org)) 954-967-4371

**\*\*\*Note: Application is substantially compliant**

**Note:** Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

**CPTED Strategies**

Provide clear border definition of controlled spaces. Examples of border definition may include buildings, fences, pavement treatment, landscaping, signs, lighting, to express ownership and define public, semi- public, and private space, natural territorial reinforcement occurs. Also, clearly mark the public paths, so it will make private areas harder for non-employees to access.

**External Lighting**



Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

- These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- Fully illuminate the exterior of the property at night.
- A system of lighting fixture identification should be developed.
- The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- Exterior lighting should be controlled by automatic devices (preferably by photocell).
- Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- If exterior lights are not being used at night, exterior motions-detection lighting should be installed to detect the presence of intruders.
- Lighting fixtures selected must do more than just providing ample, glare-free lighting.
- Lighting fixtures must also be reliable, easy to maintain, able to withstand the elements and protected from vandalism.

#### **Natural Surveillance**

- Use a single, clearly identifiable, point of entry/exit.
- Maintain clear visibility from the interior/exterior of all areas of the property.
- Public entrances should be clearly defined by walkways and signage.
- Illuminate and define all entrances so that they are visible to Fire/Police Emergency Personnel and to the public.
- Designate visitor/guest parking.
- Loading area, (drop off/pick up), should be clearly visible and should not enable hiding places.
- Install a “peephole” on exterior doors to allow residents/employees to verify who is trying to enter.
- Assign parking spaces to each resident, but not marked with their unit number. This makes unauthorized parking easier to identify less likely to happen.
- There should not be recessed areas in corridors that could be used for hiding or loitering.
- Convex mirrors should be used in corners and in stairwells.
- See-through fencing should be on all balconies.
- Glass elevators are recommended so residents can see out/in.

#### **Natural Access Control**

- Site entrances should be easily securable.
- Keep building entrances to a minimum and well monitored.
- Delivery entrances should be separate, well-marked and monitored.
- If deliveries are made, they should be made during the daytime hours.
- Common building entrances should have locks that automatically lock when door closes.
- Lobby should be kept locked afterhours.

- Automatic Sliding Glass Door to the Lobby should only be activated by key card or key fob.
- Visitor parking should be separate from residence parking.
- Keep building entrances to a minimum and well monitored.
- Dumpsters/Trash Chute should be enclosed and remain locked when not in use.
- Roof access should be limited to staff only
- Have Emergency Plan in place for residents and have training periodically to ensure they know the plan in the event of an emergency.
- Lift station should only be operated by trained staff.
- Mailboxes and Lobby should remain locked when not in use.
- Stairwells should not have an open space underneath. This will prevent hiding areas.

#### **Landscaping:**

- Keep landscaping trimmed and well maintained.
- Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.
- Plants/Shrubbery should not be more than 2ft in height.
- Tree canopies should not be lower than 6ft in height.

#### **Building(s) Perimeter Doors**

- Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
- Ideally, exterior doors should be equipped with electronic propped door alarms, which annunciate either locally and/or at the security office.
- Perimeter doors should be designed for “heavy duty” (ANSI Grade III) applications.

#### **General locations**

- Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster Enclosures.

#### **CCTV**

- CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.
- Check all CCTV systems and ensure that they provide a clearly visible facial picture.

#### **Fencing**

- (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

#### **Non-Pedestrian Building Entry Points**

- Sturdy fencing should enclose locations where gas and electric utilities enter buildings.
- Locations where gas and electric utilities enter buildings should be well lit.
- Electrical service disconnects and gas valves should be equipped with locking devices.

#### **Signage**

- Ensure proper signage is posted throughout property.
- Lobby should have hours of operation properly displayed for the public.

The purpose of the review is to provide security recommendations. This review is only advisory and is not intended to identify all security weaknesses or to warrant the adequacy of all present and future security measures whether or not recommended. For more information, please contact Hollywood Police.

**Q. DOWNTOWN AND BEACH CRA**

*Jorge Camejo, Executive Director ([jcamejo@hollywoodfl.org](mailto:jcamejo@hollywoodfl.org)) 954-924-2980 Susan Goldberg, Deputy Director ([sgoldberg@hollywoodfl.org](mailto:sgoldberg@hollywoodfl.org)) 954-924-2980 Francisco Diaz-Mendez, Project Manager ([fdiaz-mendez@hollywoodfl.org](mailto:fdiaz-mendez@hollywoodfl.org)) 954-924-2980*

1. Not applicable.

**R. PARKING**

*Jovan Douglas, Parking Director ([jdouglas@hollywoodfl.org](mailto:jdouglas@hollywoodfl.org)) 954-921-3548 Angela Keilsheimer, Parking Operation Manager ([Akeilsheimer@hollywoodfl.org](mailto:Akeilsheimer@hollywoodfl.org)) 954-921-3548*

1. No comments received.

**S. ADDITIONAL COMMENTS**

*Umar Javed, ([ujaved@hollywoodfl.org](mailto:ujaved@hollywoodfl.org)) 954-921-3471*

1. Additional comments may be forthcoming.

---

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

**If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.**

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations. Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,



Umar Javed  
Planner I, Development



**CITY OF HOLLYWOOD, FLORIDA  
DEPARTMENT OF DEVELOPMENT SERVICES  
INTEROFFICE MEMORANDUM**

**DATE:** November 3, 2024 **FILE NO.:** EN-25-008

**TO:** Umar Javed  
Planning and Urban Design Division

**FROM:** Clarissa Ip / Adam Licht / Heidi Henderson  
Engineering, Transportation and Mobility Division

**SUBJECT:** Preliminary TAC Review  
TAC File 24-DP-78  
2323 Polk Street  
New 4-Story, 27 units, Multifamily Apartment Building

---

**COMMENTS:**

**Revision Procedure:**

***-Any revisions applied to the plans shall be numbered and bubbled/clouded.***

***-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.***

- 1) Provide a plat determination letter from the Broward County Planning Council.  
**RESPONSE: Please see attached letter.**
- 2) The survey, architectural plans, and civil plans are not signed, sealed, and dated. Please provide a signed, sealed, and dated survey and architectural plans.  
**RESPONSE: Please see attached recent survey.**
- 3) Provide an overall site plan with the following information:
  - a. Existing right-of-way width dimension and show limits of the rights-of-way on all streets/alleys adjacent to the site. (i.e swales, sidewalk curbs, curb, including dimensions.)
  - b. Include and show all surrounding elements of the site on plans, as applicable, i.e. adjacent alley, road, properties, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks etc.
  - c. All features of City streets and alleys within full City right-of-way on both sides from property line to adjacent property lines.**RESPONSE: Please see sheet SP-1.0.**
- 4) Fully dimension the ROW (i.e. centerline to new property line, full width of the ROW, new sidewalk, swale) on all sheets.  
**RESPONSE: Please see revised civil plan sheets.**

- 5) On Site Plan, Sheet SP-1.0, Polk Street ROW width is shown as 50', please correct and properly show the existing ROW width is 40' and the 20' half without the dedication.

**RESPONSE: Please see sheet SP-1.0.**

- 6) Please clearly show the limits of the new sidewalk and provide hatching to clearly show the sidewalk is proposed new and the existing sidewalk will be saw cut to match existing to the east and west of the site. Fully dimension sidewalk and ensure the sidewalk is designed to the City of Hollywood standard details.

**RESPONSE: Please see sheet SP-1.0.**

- 7) Please list all variances being requested on the cover sheet and clearly call them out on the plan. (i.e. setbacks to walkways, curb cuts etc.).

**RESPONSE: No variances are required.**

- 8) Check the setbacks in the table as they vary from the plan.

**RESPONSE: Please see sheet SP-1.0.**

- 9) Provide dimension and ensure setback for parking lot/bump out is from the exterior face of the curb to the rear property line is minimum 5'.

**RESPONSE: Please see sheet SP-1.0.**

- 10) On Site Plan, fully dimension the bump out area, such as curb width, bump out depth and length.

**RESPONSE: Please see sheet SP-1.0. and civil drawings**

- 11) Please provide setback from property line to the curb proposed at stalls 28/29 and 30.

**RESPONSE: Please see sheet SP-1.0.**

- 12) Please provide confirmation from the waste management company that they can service the project.

**RESPONSE: Please see letter from waste management company.**

- 13) Dimension all rooms and back of house areas on SP-1.0 / A-1.

**RESPONSE: Please see sheets SP-1.0 and A-1.**

- 14) Dimension dumpster bins; show, label, dimension the recycling bin; show and label the trash chute; and show how garbage is proposed to be picked up on the plans. Provide fully dimensioned trash room details.

**RESPONSE: Please see sheet SP-1.0. recycling bin and trash chute (2) are clearly shown on plans. Final trash room details will be provided at permit drawings submission.**

- 15) Indicate if there will be any fence or security gate at the driveway. If so, please indicate the type of gate and how it operates (remote, sensor, card reader, etc.). Be sure to provide space required for gate's operation and provide sufficient vehicle ing. All vehicle queueing shall be within private property

(8.5'x19' minimum). Show and label the queuing space, as applicable.

**RESPONSE: No security gate is contemplated.**

16) Show the stop bar, stop sign, and visibility triangle at the entrance on all plan sheets. Please refer to the city's Visibility Triangle Detail (12'X12'). Dimension the distance between the edge of pavement and the new property line.

**RESPONSE: Please see revised plan sheets. The visibility triangle is shown on all plan sheets and called out on sheet C1 only (to avoid clutter on all the civil sheets), and the stop bar and sign are shown on all plan sheets but called out on sheet C5.**

17) Indicate on plans if curbing will be provided for the parking area and call out type of curb to be proposed.

**RESPONSE: Please see type 'D' curb callout on sheet C2.**

18) Parking spaces shall be 9.5-feet with an obstruction on one side and 10.5-feet wide with two. Increase widths to 10.5-feet for 2/3, 26/27, 28/29, 56 and 30 if there is a wall. Please note if a stall is widened the pavement markings shall match the new widened stall width.

**RESPONSE: Please see sheet SP-1.0. with new dimensions. Parking spaces 28 and 29 with wall on one side are 9-6"**

19) Please fully dimension all parking stalls. (i.e. provided for stalls 1 – 3).

**RESPONSE: Please see sheet SP-1.0. Stalls dimensions are provided.**

20) Show and label the dimensions of each lift. Provide spec details of the lifts.

**RESPONSE: Please see pictures / specs on sheet SP-1.0.**

21) Label EV parking, bicycle spaces, guest, etc.

**RESPONSE: Please see sheet SP-1.0. – EV Parking spaces no longer required by FLORIDA BUILDING CODE. Bicycle and guest parking clearly indicated.**

22) Confirm parking breakdown and the number of spaces provided. Revise the spelling of lift on SP-1.0 and A-1. Clarify parking calculation: 5 standard stalls, 3 ADA Stalls, 14 tandem (28 stalls) 10 lifts (20 stalls) for a total of 56 spaces.

**RESPONSE: Please see sheet SP-1.0.**

23) Some of the required guest parking are being provided for in a form of a lift or tandem parking, confirmation with Planning that this is acceptable is required.

**RESPONSE: Please see sheet SP-1.0. None of the guest parking spaces are tandem nor on a lift.**

24) Confirm/label curb around backout area and stall #30. Dimension backout area.

**RESPONSE: Please see sheet SP-1.0.**



25) Dimension each 3-foot column setback.

**RESPONSE: Please see sheet SP-1.0.**

26) Label the walls inside the garage.

**RESPONSE: Please see sheet SP-1.0.**

27) Please show and label the signage on the site and civil plan sheets.

**RESPONSE: Please see Civil Plans.**

28) Label the height of the entrances, exits, doorways, openings on the elevations.

**RESPONSE: Please see sheets A-5 and A-6.**

29) Label the vertical clearance to the garage on SP-1.0.

**RESPONSE: Please see sheet A-5**

30) Clearly label on the SP and PGD plans for swales to be restored in the ROW. This should be restored with grass to the City of Hollywood Typical Swale Grading Detail and Turf Restoration Detail, please include details in plan set.

**RESPONSE: Please see revised sheet C2 for swale callout.**

31) Detectable warnings shall be provided at all driveway crossings. Please show on site plan.

**RESPONSE: Please see sheet SP-1.0.**

32) There are two wall callouts on SP-1.0, 6' masonry and 8' CMU. Please clarify and update sections on C-2 as applicable.

**RESPONSE: Please see revised sheet C2.**

33) Provide ADA accessible routes between ADA accessible parking and building access and accessible route to the public rights-of-way. Please add a note on the site plan (SP) and the Paving, Grading, and Drainage (PGD) Plan stating any lip from 1/4" but not greater than 1/2" will be beveled to meet ADA requirements. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush. Show the accessible routes on site plan and PGD.

**RESPONSE: Please see note on sheet C2.**

34) Please dimension the ADA accessible aisle to the east of stall 1.

**RESPONSE: Please see dimension on sheet C5.**

35) Ensure ADA striping and non-vehicular are differentiated on plans. (i.e. parking stall 1 needs ADA striping and the striping at the electrical room needs to differ.

**RESPONSE: Final Civil drawings at the building permitting process will show all city standards striping details to comply with code.**

36) Fully dimension the ramp shown on C2 and show on SP. Add elevations to the four corners of each part on C2. Show turning radii at landings and clarify if railings will be provided. Provide a detail of the ADA ramp to ensure ADA

compliance.

**RESPONSE: Please see elevations on sheet C2 and detail on sheet C3.**

37) Add ADA notes confirming the allowable maximum slopes on C2.

**RESPONSE: The maximum allowable slope for the proposed ramp is noted on sheet C2 at the ramp callout. This information has also been added to the ramp detail on sheet C3.**

38) Please identify the location of the ADA signage, please consider wall mounting the signage to not encroach into the clear space of the parking stall. Show and label on SP-1.0 / A-1.

**RESPONSE: Please see sheet SP-1.0.**

39) Provide a legend and hatching for all materials on the site plan both on and off site to clearly show the swale area, sidewalk area etc. on the plans.

40) Please call out all materials for the walkways, drive aisles and vehicular parking areas. Ensure the material requirements align with City of Hollywood Code below and add the applicable notes to the PGD:

a. Concrete:

Concrete driveways on private property will be 5-inch thick, 3,000 PSI with fiber mesh while the portion of the driveway located within the ROW (Outside of the property lines) will be a minimum of 6 inches thick, 3,000 psi, with no metal or fiber mesh and will be constructed flush with the existing roadway and sidewalk. The entire driveway will maintain control joints located every 250 sq.ft and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

b. Pavers:

Paver driveways require a minimum 2 3/8th inch pavers placed over a 1-1/2 inch sand base and compacted subbase. In addition to a Minimum 6-inch edge restraint (concrete border) is required around perimeter to interlock pavers. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

c. Asphalt:

Asphalt driveway is required to be a minimum 6-inch limerock base, tack coat, and 1-inch layer of S-III asphalt. The driveway is to be constructed flush with the existing roadway and the existing asphalt in the City ROW will be sawcut for a clean straight edge.

**RESPONSE: Please see note on sheet C2.**

41) Provide civil plans for the proposed work indicating items such as but not limited to drainage improvements, curbing, drive aisle widths, vehicular circulation, sight visibility triangle, vehicular turning radii, pavement marking, and signage plans and details. Show location of existing water and sewer mains on plans and show how you are planning to connect to the city system. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way. Full road width pavement mill and resurface is required for adjacent road to the parcel. Provide City of Hollywood pavement, sidewalks and swale grading details in plan set.

**RESPONSE: Please see civil engineering plans.**

- 42) Please adjust restoration hatching to align with City of Hollywood details. Applicant is only showing a minimum restoration of 4 feet. This does not align with the standard, applicant should consider locating the laterals closer to one another as to eliminate multiple trenching.  
**RESPONSE: The City standard detail shows a minimum trench width of 12" on each side of the pipe, plus the pipe diameter. The plan shows a trench width of 4' which is, within the parameters of the standard detail. The contractor will dig the trench per the standard detail and adjust as required per site conditions. In regards to the location of the laterals, the laterals have to be installed at locations closest to the connection point of the existing septic tanks. They're also located to avoid being located at existing driveways.**
- 43) Please provide addressed and folio for all properties to be provided with Sewer Laterals.  
**RESPONSE: Please see revised sheet C9.**
- 44) Provide cross-sections along each property line. Add dimensions on the SP and PGD adjacent to the cross-section callouts. Ensure the cross-sections include dimensions, property line, curbs and walls / footers as applicable.  
**RESPONSE: Please see cross-sections on sheet C2.**
- 45) Show, label, and dimension all easements on the site and civil plan sheets.  
**RESPONSE: Please see civil engineering plans.**
- 46) Provide landscape screening for the FPL Transformer at the front of the property.  
**RESPONSE: Please see Landscape plans.**
- 47) Please provide a pavement marking and signage plan for both onsite and off-site improvements. These pavement markings are to comply with the City of Hollywood Standard Details in addition to the Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. Ensure pavement markings across plan sets are identical. Show the yellow and white pavement stripe on either side of the ROW on Polk Street on C6. Refer to Sheet C6 on C5.  
**RESPONSE: Please see revised sheet C6 and PMS detail on sheet C8.**
- 48) All roads and alleys adjacent to the property are to be milled and resurfaced for the full width of pavement. Add a note on the site plan. Provide hatching to show limits and add dimensions from the property line to show the extent(s). Show the hatching on C2 and refer to C9 for the continuation.  
**RESPONSE: Please see revised sheet C2.**
- 49) Include the latest standard City of Hollywood details in the plan set. <https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan> include all applicable details. Update the details to C-21A and C-21B on C5.  
**RESPONSE: Please see revised sheet C5.**
- 50) BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored.



51) For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

**RESPONSE: Acknowledged.**

52) MOT plans required at the time of City Building Permit review.

**RESPONSE: Acknowledged.**

53) All outside agency permits are required at the time of City building permit review.

**RESPONSE: Acknowledged.**

54) This project will be subject to impact fees (inclusive of park impact fee) under the new City Ordinance PO-2022-17, effective September 21, 2022. Impact fees payments to be made at the time of City Building Permit issuance.

**RESPONSE: Acknowledged.**

55) More comments may follow upon review of the requested information.

**RESPONSE: Acknowledged.**

cc: Joan Shen, P.E., PhD, Assistant City Engineer  
Rick Mitinger, P.E., Transportation Engineer  
File

**NOTICE OF  
PUBLIC OUTREACH MEETING**

Sponsored by: 2323 Polk LLC & Bellon Architects  
Project Name: 2323 Polk Street

FOR VIRTUAL MEETING LOGIN INFORMATION:  
[2323polk@gmail.com](mailto:2323polk@gmail.com)

MEETING DATE & TIME: 12/23/2024 @ 6:30 PM

Posted: 12/06/2024 By: Cutro



**INVOICE**

December 9, 2024

Invoice No. 24214

2323 Polk, LLC

Work includes obtaining property ownership information for all parcels within 500 feet of the subject property from the Broward County Property Appraiser's Office, preparation of 500 foot radius map, preparing property owner mailing labels from the raw data list, preparing Civic Association labels, and City Commission labels, obtaining Community Meeting notice from the client, attached mailing labels, return address labels and postage, coping and folding notice, stuffing and sealing envelopes and mailing, preparing mailing certification for the property located at 2323 Polk Street for the Community Meeting.

Work includes facilitating the placement of 1 public notice sign on the site, fabrication of sign, posting sign on site, taking photos of the sign and delivery to the City of Hollywood staff with certification package.

**TOTAL            \$1,425.00**

**PLEASE SEND PAYMENT TO:**

**CUTRO AND ASSOCIATES  
1025 YALE DRIVE  
HOLLYWOOD, FL 33021**

**Phone # - 954-920-2205**

**MEETING NOTICE**

**Re:    *Citizen Participation Meeting*  
      *Taco Bell*  
      *2700 Stirling Rd.***

Dear Neighbor:

You are invited to attend a citizen participation meeting related to the proposed site plan for a project located at 2700 Stirling Rd., in the City of Hollywood. Attached please find an aerial map showing the location of the Property. The applicant, Taco Bell of America, LLC is proposing to demolish the existing +/- 2,834 square foot Taco Bell restaurant and replace it with a new +/- 2,187 square foot Taco Bell restaurant.

Prior to holding public hearings related to the application, Taco Bell of America, LLC would like to hear from you, our neighbors. As such, we have scheduled the following virtual meeting and look forward to meeting and hearing from all of you:

**Citizen Participation Meeting:**  
**Date: Wednesday, June 26, 2024**  
**Time: 6:30 pm**

**Zoom Login Information:**  
[rb.gy/nggxgp](https://rb.gy/nggxgp)

Webinar ID: 893 9137 7547

If you wish to submit comments prior to the meeting, please send them to:

Miskel Backman, LLP  
Attn: Dwayne Dickerson  
Email: [ddickerson@miskelbackman.com](mailto:ddickerson@miskelbackman.com)  
Phone: 561-405-3336

Also, please be advised that there will be additional opportunities for public input at the City of Hollywood public hearing.

Sincerely,



Dwayne Dickerson, Esq.  
*Miskel Backman, LLP*



# Community Meeting Invitation

Park Road Development LLC (the “Applicant”) is inviting you to attend a community meeting to discuss an application submitted by the Applicant for a rezoning to Planned Development for the Subject Property (described below) and applications submitted by the Applicant to the City of Hollywood for site plan and design approval. This meeting is being held to discuss the planned development of a horizontal mixed-use development comprising no more than 630 residential units, 35,000 square feet of general retail and 45,000 square feet of general office and the associated site plan for the property identified in the location map below. All interested parties are encouraged to participate in this meeting. Representatives of the Applicants and the project team will be available during the meeting to present the proposed plan and address questions.

## Subject Property Location Map

***Address: 1600 S. Park Road, Hollywood, FL  
33021***



## **COMMUNITY MEETING DETAILS**

Meeting Date & Time: December 11, 2024, 6:00 PM

Meeting Location: City Hall, 2600 Hollywood Boulevard, Room 215

## **PROJECT SUMMARY**

This development features up to 630 residential units, 45,000 square feet of general office space, and 35,000 square feet of general retail space.



February 23, 2024

**Community Meeting Invitation:**

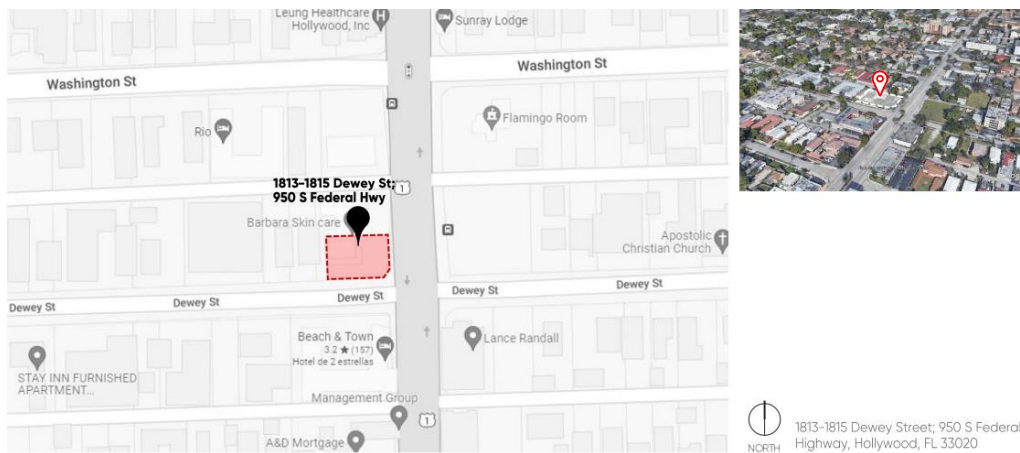
Presentation of proposed Residential Building Development at 950 South Federal Hwy and 1813 & 1815 Dewey St, Hollywood, FL 33020.

Dear neighbors:

Conkreta QOZB LLC (the Applicant) and NMD NOMADAS LLC (Architect) would like to invite you to a virtual meeting on Tuesday, March 12, 2024, at 6:30 pm (ET).

The purpose of this meeting is to learn about the Multi-Residential Building Development being proposed for this neighborhood consisting of 113 Residential Units with an amenity deck and parking garage.

**PROJECT LOCATION - MAP**



Please register to attend this first meeting by emailing NMD NOMADAS at [nmd@nomadas.net](mailto:nmd@nomadas.net) by 12:00 pm (ET) on March 12, 2024. A direct link will be emailed to you. You may also participate by phone using the following toll free phone number: 305 224 1968, Meeting ID: 832 2836 3932, and Passcode if Prompted: 445283.

Questions regarding the meeting should be sent by email to [nmd@nomadas.net](mailto:nmd@nomadas.net).

I hope to see you on March 12, 2024

Sincerely,

Jonathan Brief  
Conkreta QOZB LLC



## CERTIFICATION LETTER

**City of Hollywood**

**Date:** December 6, 2024

**Applicant:** 2323 Polk LLC

**Legal Description:** Lot 9 Block 8 of Hollywood Little Ranches Plat as recorded in Plat Book 1 Page 26 of the Public Records of Broward County, Florida.

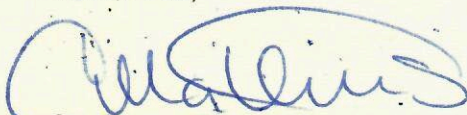
**Address or General Location:** 2323 Polk Street

This letter certifies that the attached list of property owners within 500 feet from each property line of the subject site was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of November 19, 2024 and the City Commission, Civic Associations within 500 feet, and Planning Department.

This letter also certifies that the attached public hearing notification was sent to the persons on the list of property owners. The notice was mailed December 6, 2024.

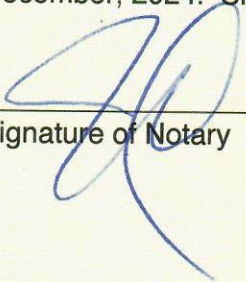
Finally, this letter certifies that the site was posted with one public notice sign that meets the City of Hollywood notification regulations. The sign was posted December 6, 2024.

Thank You,



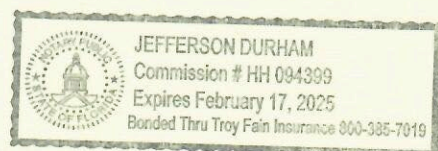
Christina Mathews

Sworn and subscribed before me this 6<sup>th</sup> day of December, 2024. She is personally known to me.



Signature of Notary

1025 Yale Drive  
Hollywood, Florida 33021  
954-920-2205  
Email: [cutroplanning@yahoo.com](mailto:cutroplanning@yahoo.com)









## **Meeting summary for Presentation of proposed Residential Building Development at 2323 Polk (12/23/2024)**

Meeting started at 6:30 pm / Meeting Adjourned 7:06 pm

### **Attendees**

Leonardo Bellon – Chief architect (Leo)

Amy Bellon – Architect

Juan Suarez – Consultant for the developer (Juan)

Omar Mesa – Developer representative

Donald Sarley (Donald), Kiki Bartsocas (Kiki), Patricia Antrican, Karen Caputo (Karen)

### **Quick recap**

Juan initiated the meeting and addressed some technical issues with the audio connection. Leo Bellon presented a design for a new building in Hollywood, discussing its compliance with city standards, tropical architecture, and parking spaces. The meeting also covered concerns about water and sewer management, restrictions of short-term use of the units the use of mechanical parking, and how the new condo building will comply with city of Hollywood, Florida regulations.

### **Next steps**

- Leo to coordinate with the civil engineer to ensure proper drainage and water retention within the property.
- Leo to confirm with the developer that rental restrictions (minimum 1-year lease) will be included in condo documents.
- Leo to verify the distance of sewer lines from the building and provide accurate information.
- Leo/Developer to consider regular cleaning of nearby sewers during construction to prevent clogging from debris.
- Leo to schedule the next meeting with the Planning and Development board.



## **Summary**

### **Addressing Audio Issues and Meeting Participants**

Juan initiated the meeting and started admitting participants. However, there were some technical issues with the audio connection, causing some participants to loop in the connection process. Despite these issues, Juan confirmed that some participants, including Kiki Bartsokas, Karen Caputo, and Patricia Andrican, had successfully connected. He also mentioned that there were two more participants still trying to connect. Leo was present and agreed to take the lead in the meeting. Amy shared her screen with the audience. The conversation ended with an instruction for participants to write their names and the properties they represent in the chat.

### **Bellon Architecture Design Presentation**

Leo Bellon, the president of Bellon architecture, presented a design for a building on Polk Street in Hollywood. The design, which is compliant with all zoning regulations, features a modern and contemporary tropical architecture style with parking spaces under the building and three floors of apartments. The building will have 27 units, exceeding the required 27 units by code, and will have 56 parking spaces, more than the required 42. The building's height of 49 feet also complies with city standards. The site plan includes a single entrance and exit, a pedestrian entry to the building lobby, and ample landscaping. The building will also have assigned parking spaces for each unit, handicap spaces, and visitor spaces. The design has been approved by the city and is ready to be presented to the final commission meeting after review and approval.

### **New Hollywood Building Project Discussed**

Leo presented a project for a new building in Hollywood, emphasizing its compliance with city standards and its minimal impact on the community. He highlighted the building's tropical architecture, pastel colors, and ample parking space. Patricia pointed out an inaccuracy in the rendering, noting that Polk Street only goes one way. Leo acknowledged this and mentioned future improvements to the street, including a new water line and sidewalk. Karen requested a view of the surrounding buildings, and Leo mentioned that most of them are multifamily units. Kiki and Karen expressed concerns about drainage, to which Leo responded that the project includes open landscape areas, proper drainage systems, and a 6-foot fence to prevent water from spreading to neighboring properties.

## **South Florida Water Management Issues**

Leo, Kiki, and Karen discussed the issue of water management in South Florida, particularly in private homes and condominiums. They also discussed the sales of units in a unique zoning area, which is zoned for both hotel and residential use. Leo clarified that the units are for sale and not for rent, with a minimum rental period of one year. Karen expressed concern about the stipulation be included in the sales agreements, which Leo confirmed. The group also touched on the issue of vacation rentals, which Karen mentioned had been preempted by the state, causing problems for their city.

## **Mechanical Parking and Building Design**

Karen and Leo discussed concerns about the use of mechanical parking and the site plan for a building. Leo clarified that mechanical parking would only be assigned to specific units and would not be used for visitor parking. Karen expressed concerns about the placement of the parking, noting that it should ideally be entirely under the building. Leo explained that the parking would be mostly under the building, with only the front section visible from the front and side. They also discussed the setback requirements for the building, with Leo confirming that the building's setback was 10 feet, as required by code. Karen also noted the importance of safety, particularly in relation to the trash room and stairwell placement. Leo highlighted a feature of the building design that the fire marshal appreciated, which was the 5-foot sidewalk for people to exit directly into the street in case of a fire.

## **Hollywood Condo Building Plans Discussed**

Leo discusses plans for a new condo building in Hollywood, Florida. The building will connect to the city sewer and water lines, with a new 8-inch water line and sewer connection at the property line. Don raises concerns about construction debris clogging sewers during the project and requests a commitment from Leo to coordinate regular cleanings. Don also notes the market shift impacting older condo buildings and indicates the developer may end up renting units if sales are slow. The parking plan includes tandem spaces for some 2-bedroom units.



## **Gratitude and Holiday Wishes Discussed**

Leo expressed gratitude for the meeting and the opportunity to discuss concerns and ideas. Patricia clarified the process for Leo's final tag, stating it would go to the Planning Board, not the commission. Donald and Patricia wished everyone a happy and healthy holiday. Leo thanked everyone for their participation and wished them a good holiday break. Juan also expressed gratitude.



January 22, 2025

Victor F. Solorzano, Manager  
2323 Polk, LLC  
4878 Southwest 74 Court  
Miami, Florida 33155

*Via Email Only*

Dear Mr. Solorzano:

Re: Platting requirements for a parcel legally described as Lot 9, Block 8, "Hollywood Little Ranches," according to the Plat thereof, as recorded in Plat Book 1, Page 26, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Polk Street, between North 24 Avenue and Dixie Highway, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP). As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.47 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.



**Victor F. Solorzano**  
**January 22, 2025**  
**Page Two**

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Huda Ashwas at your convenience.

Respectfully,



Barbara Blake Boy  
Executive Director

BBB:HHA

cc/email: George R. Keller, Jr., CPPT, City Manager  
City of Hollywood

Andria Wingett, Director, Development Services  
City of Hollywood



FILMORE ST

FILMORE ST

TAYLOR ST

N 24TH AVE

POLK ST

TYLER ST

HOLLYWOOD BLVD

S 24TH AVE

250

125

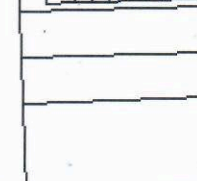
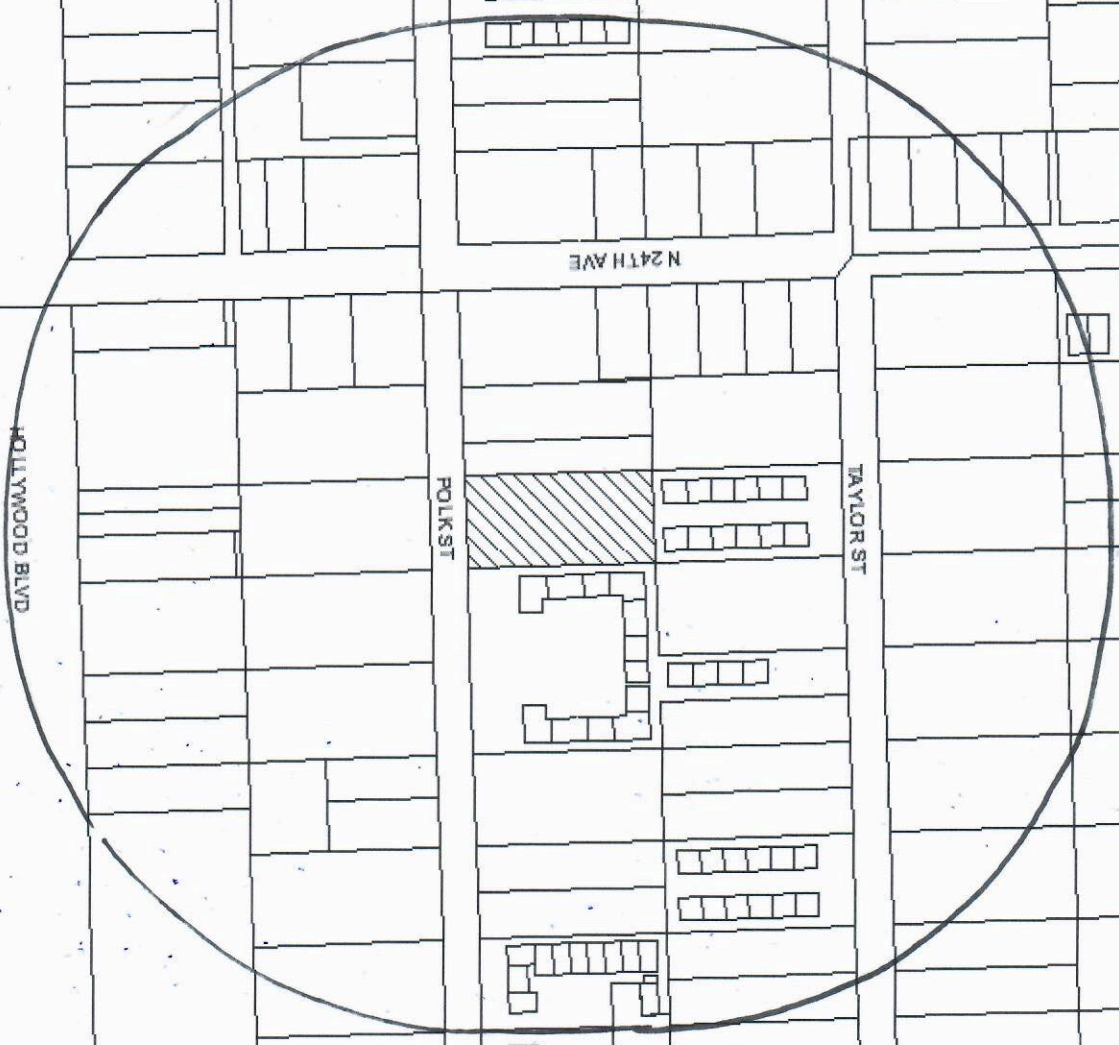
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250 Feet

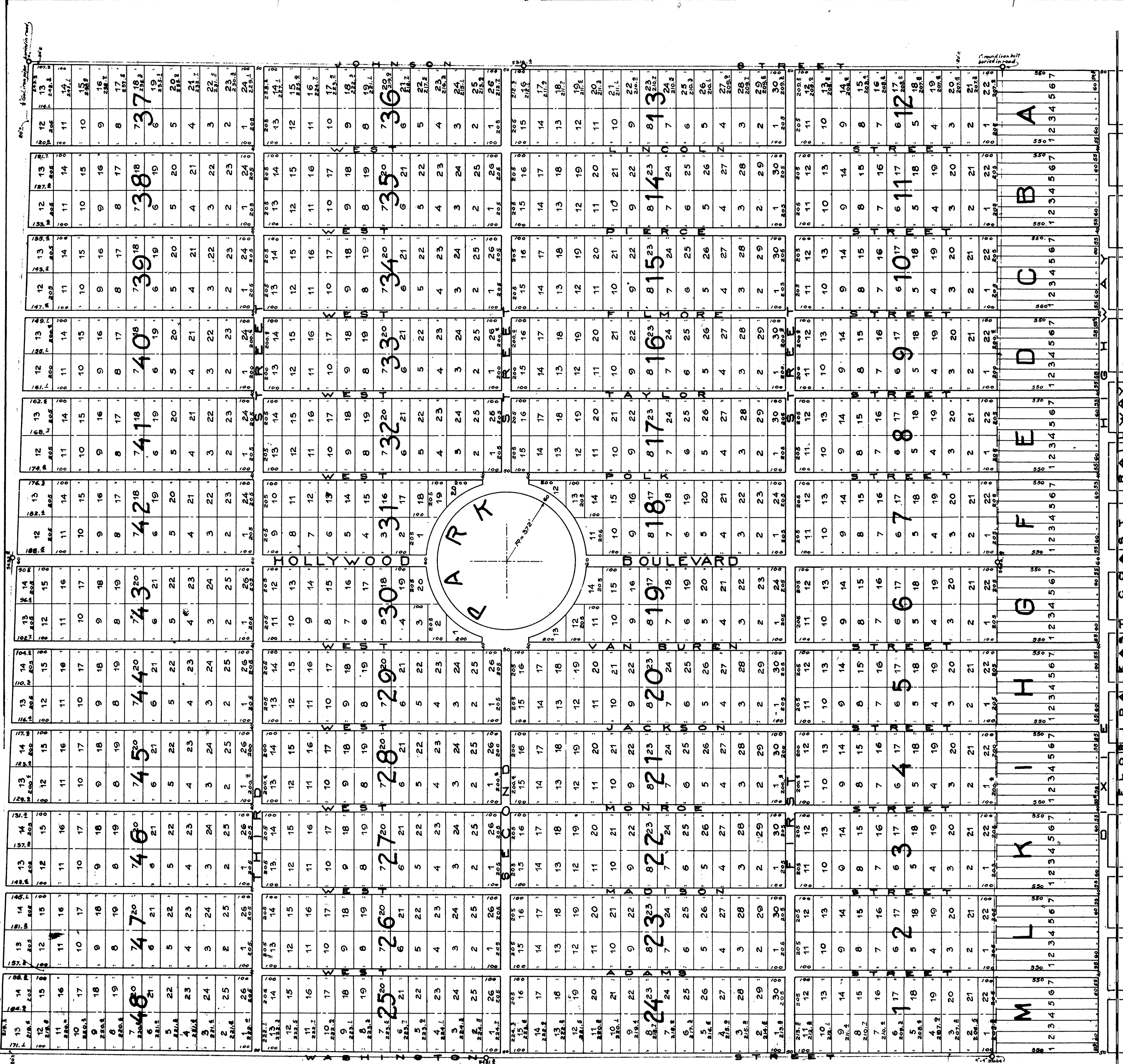
MARTY NIAR  
BROWARD COUNTY PROPERTY APPRAISER

MARTY NIAR  
BROWARD COUNTY

2323 Polk







# HOLLYWOOD LITTLE RANCHES

HOLLYWOOD LAND & WATER COMPANY.

A SUBDIVISION OF SECTION SIXTEEN (16), in Township fifty-one (51) South, of Range forty-two (42) East, described as follows, to wit: Beginning at the northwest corner of said section, running thence south upon and along the west line of said section, fifty-four hundred fifty-two and eight tenths (5452.8) feet to the southwest corner of said section; thence east upon and along the south line of said section, fifty-four hundred twenty-one and eight tenths (5421.8) feet to the southeast corner of said section; thence north upon and along the east line of said section, fifty-four hundred four and eight tenths (5404.8) feet to the northeast corner of said section, thence west upon and along the north line of said section, fifty-three hundred sixteen and four tenths (5316.4) feet to the place of beginning, as shown by the within plat: AND A Subdivision of BLOCK Ninety-six (96) of the original plat of Hollywood as recorded in the files of Broward County, Florida, particularly described as follows, to wit: Beginning at the southwest corner of section fifteen (15), in the township fifty-one (51) South, of Range forty-two (42) East, run northerly upon and along the west boundary of said section, fifty-four hundred four and eight tenths (5404.8) feet to the northwest corner of said section, thence easterly upon and along the north line of said section, five hundred twelve (512) feet to a point one hundred (100) feet westerly from the center of the Florida East Coast Railway, thence southerly parallel to the Florida East Coast Railway, fifty-three hundred ninety-seven and four tenths (5397.4) feet to the southerly boundary of said section fifteen (15), thence westerly upon and along the southerly boundary of said section five hundred sixty-nine and one tenth (569.1) feet to the place of beginning.

Know all men by these presents; that the Hollywood Land and Water Company, a corporation under the Laws of Florida, has caused to be made the above plat of "Hollywood Little Ranches" a subdivision of Section sixteen (16), township fifty-one (51) south, of range forty-two (42) east, and Block ninety-six (96) of the original plat of Hollywood, and that the said corporation hereby specifically reserves to itself the title to all streets, avenues, drives, parks, boulevards, ways, and walks shown on said plat.

I, *M. W. McWhorter*, a Notary in and for said County and State, do hereby certify that at the date hereof, there personally appeared before me, *D. C. NEWKIN*, and *LILLIAN ALLEN*, to me well known to be, respectively, the President and Secretary of the Hollywood Land and Water Company, a corporation organized and existing under and by virtue of the laws of the State of Florida, and in person severally acknowledged that they executed the above and foregoing plat of "Hollywood Little Ranches" together with all descriptive matter and reservations therein set forth, as their free and voluntary act and as the free and voluntary act of the said Hollywood Land and Water Company, for the uses and purposes therein set forth.

I, the undersigned, hereby certify that the within plat shows the subdivisions of the described lands as made by me in a recent survey in due conformity to the established boundaries of such lands; that the dimensions shown are from measurements made on the ground and that they are correct to the best of my knowledge and belief.

By *Frank C. Dickey*,  
License N° 272.



STATE OF FLORIDA  
BROWARD COUNTY  
I HEREBY CERTIFY that the above and foregoing is a true and correct copy of *ANNEXED PLAT* *HOLLYWOOD LITTLE RANCHES PLAT* as recorded in *PLAT* Book *1* Page *26*  
WITNESS my hand and official seal in the City of Fort Lauderdale, Fla. this *23* day of *July*, 19*26*  
*CELLENE BRUCE*, County Administrator  
By *Carry White*, Sec.



Witness my hand and notarial seal at Miami, in the said County and State this *Thursday* day of *July*, A. D. 19*26*.  
My commission expires on the *23* day of *May*, 19*26*.  
*M. W. McWhorter* Notary Public.

Hollywood Land and Water Company,  
By *D. C. Newkin*, Vice-President.  
Attest: *M. W. McWhorter*, Secretary.

1-26

17309  
7-8-22

160-46  
5890  
over lap  
Shoot 2 - Each side



# Service Agreement

TEMPORARY

PERMANENT

## A. CUSTOMER SITE INFORMATION

Site Name: 2323 Polk LLC		Effective Date: TBD	Account #:
Service Address: 2323 Polk St		Service Area: Hollywood	Salesperson: D Caffrey
City/State: Hollywood, FL	Zip Code:	Contact Name: Juan Suarez	
Email: JASuarez@resoar.com	Telephone:	Fax:	Mobile: 786-663-3237

## B. BILLING INFORMATION

Billing Name: Same as Above		P.O. # Required? Y / N	
Billing Address:		Billing Cycle:	Customer Payment:
City/State:	Zip Code:	Contact Name:	
Email:	Telephone:	Fax:	Mobile:

## C. NEW SCHEDULE OF SERVICE

Qty	Service Type	Material	Size	Freq.	Compact Y/N	Locks	Wheels	Gates	Rate	Schedule							
1	RO	C/D	20	On call	N	N	N	N	250.00	<input type="checkbox"/> Month <input checked="" type="checkbox"/> Haul	S	M	T	W	T	F	S
										<input type="checkbox"/> Month <input type="checkbox"/> Haul	S	M	T	W	T	F	S

## OLD SCHEDULE OF SERVICE

										<input type="checkbox"/> Month <input type="checkbox"/> Haul	S	M	T	W	T	F	S
										<input type="checkbox"/> Month <input type="checkbox"/> Haul	S	M	T	W	T	F	S

## D. ADDITIONAL FEES

Lockbar: No	Casters: No	Delivery: \$290.00	Relocate: \$150.00
Franchise Fee:		Disposal Per Ton: 88.00	
Additional Yardage Fee:		Extra Pickup:	
A fuel recovery and environmental compliance cost recovery charge, calculated as a percentage of the Charge(s), will be included on your invoice. 10%		Roll off box not active after 8 days. \$10.00 per day service charge.  Roll-Off container will have a per pull charge and a minimum of 2.5 tons disposal charge.  Dry Run Fee: 250.00	

Other Instructions: Delivery Location TBD on Site

Special Service: NTO FEE 1/x =35.00

THE UNDERSIGNED INDIVIDUAL SIGNING THIS AGREEMENT ON BEHALF OF THE CUSTOMER ACKNOWLEDGES THAT HE/SHE HAS READ AND UNDERSTANDS THE TERMS AND CONDITIONS OF THIS AGREEMENT, ON THE REVERSE SIDE, AND THAT HE/SHE HAS THE AUTHORITY TO SIGN ON BEHALF OF THE CUSTOMER.

Customer Signature \_\_\_\_\_ Date \_\_\_\_\_

Waste Pro Representative \_\_\_\_\_ Date \_\_\_\_\_

Print Name \_\_\_\_\_

Print Name \_\_\_\_\_

TERMS & CONDITIONS ON THE REVERSE

\_\_\_\_\_ WP/Manager Initials



1. **SERVICES RENDERED; WASTE MATERIALS.** Customer grants to Company the exclusive right to provide equipment and services to collect and dispose of and/or recycle all of Customer's non-hazardous Waste Material. Customer represents and warrants that the materials to be collected under this Agreement shall be only "Waste Materials" as defined herein. For purposes of this Agreement, "Waste Materials" means all non-hazardous putrescible and non-putrescible solid waste and recyclable materials generated by Customer or at Customer's Service Address. Waste Materials includes Special Waste, such as industrial process wastes, asbestos containing material, petroleum contaminated soils, treated/de-characterized wastes, and demolition debris, provided that Customer has completed a Waste Profile for such Special Waste which has been approved by Company in writing. Waste Materials specifically excludes, and Customer agrees not to deposit or permit the deposit for collection of, any radioactive, volatile, corrosive, flammable, explosive, biomedical, infectious, biohazardous, regulated medical or hazardous waste, toxic substance or material, as defined by, characterized or listed under applicable federal, state, or local laws or regulations, or Special Waste not approved in writing by Company (collectively, "Excluded Materials"). Title to and liability for Excluded Material shall remain with Customer at all times.

**LOADING RESTRICTIONS.** Customer must adhere to recommended safety precautions when loading container. This includes, but is not limited to weight restrictions, capacity limits, and material restrictions as stated above. Materials must be loaded into the container in order to be removed. Service will not be rendered until these requirements are met.

2. **A. TERM (Permanent).** The initial term ("Term") of this Agreement is sixty (60) months from the Effective Date set forth above ("Initial Term"). This Agreement shall automatically renew thereafter for additional terms of sixty (60) months each ("Renewal Term") unless either party gives to the other party written notice (See Section 11) of termination at least ninety (90) days, prior to the termination of the then-existing term.

**B. TERM (Temporary).** This agreement is a legally binding contract and shall extend for the duration of the project.

3. **SERVICES GUARANTY.** If the Company fails to perform the services described within five business days of its receipt of written demand from Customer (See Section 11), Customer may terminate this Agreement with the payment of all monies due through the termination date.

4. **CHARGES; PAYMENTS; ADJUSTMENTS.** Upon receipt of the invoice, Customer shall pay for the services and/or equipment (including repair and maintenance) furnished by Company in accordance with the charges on the reverse side, or as adjusted over the term of the contract as noted herein. Company reserves the right to charge a late fee no greater than that allowed by law on balances not paid within thirty (30) days of the date of the invoice. The Company may charge a fuel recovery fee/surcharge to help offset the significant expenses incurred by the Company in fueling its fleet of commercial motor vehicles. This fee fluctuates on a monthly basis as the cost of diesel fuel changes. For information about the method of calculation of the fuel recovery fee/surcharge and the amount of such fee based on the changes in the costs of diesel fuel please visit our website on a monthly basis-[www.wasteprousa.com](http://www.wasteprousa.com). The Company may also charge an environmental recovery fee to offset a portion of the costs the Company incurs to comply with federal, state and local government regulations relating to the environment including, but not limited to employee safety training and inspections and environmental compliance. The environmental fee is not government imposed, nor is any portion of it paid to any governmental agency. Please visit our website for information on the current amount charged to Customer for the environmental recovery fee. Company may increase the charges: to address any change in the composition of the Waste Materials or increases in the average weight per container of Waste Materials: to address increased costs due to uncontrollable circumstances, including, without limitation, changes in local, state or federal laws or regulations, imposition of taxes, fees or surcharges or acts of God such as floods, fires, hurricanes, natural disasters, etc. Company may also increase the charges to reflect increases of disposal and/or transportation costs and increases in the Consumer Price Index for the municipal or regional area in which the Service Address is located. Increases in charges for reasons other than as provided above require the consent of Customer which may be received by the Company verbally, in writing, by payment of the invoice on which such charges are contained or by the actions and practices of the parties. Company reserves the right to charge an additional fee if the following additional services are provided to Customer: Enclosure Charge, Services on High Demand Days, Pull/Push Out Services, Container Relocation Fee, or Seasonal Restart Fee. Company reserves the right to charge a fee no greater than that allowed by law on all Customer checks returned for insufficient funds. The Company may increase the charges to the Customer in the event that the weight of Customer's Waste Materials exceeds seventy-five (75) pounds per cubic yard.

5. **CHANGES.** Changes in level of service, schedule of charges, type or amount of equipment may be agreed to orally or in writing, by the parties. Oral changes shall be evidenced by the actions and practices of the parties. If customer changes its service address during the term of this Agreement, this Agreement shall remain valid and enforceable with respect to services rendered at Customer's new service location if such location is within Company's service area.

6. **EQUIPMENT, ACCESS.** All equipment furnished by Company shall remain the property of Company; however, Customer shall have care, custody and control of the equipment and shall bear responsibility and liability for all loss or damage to the equipment and to its contents while at Customer's location. Customer shall not overload, move or alter the equipment and shall use the equipment only for its intended purpose. At the termination of this Agreement, Customer shall return the equipment to Company in the condition in which it was provided, normal wear and tear excepted. Customer shall provide unob-

structed access to the equipment on the scheduled collection day. Customer shall pay, if charged by Company, an additional fee for any service modifications caused by or resulting from Customer's failure to provide access. Company shall not be responsible for any damage to Customer's property, including pavement, subsurface, curbing, resulting from Company's provision of services hereunder. Customer warrants that Customer's right of way is sufficient to bear the weight of Company's equipment and vehicles.

7. **LIQUIDATED DAMAGES.** In the event Customer terminates the Agreement prior to the expiration of any term for any reason other than a default by Company Customer shall pay the Company 60% of the current monthly rate multiplied by the amount of months remaining on the term, plus any attorney fee's which the Company should incur to enforce this Agreement. In the event of a breach of this Agreement by Company the Customer will be entitled to reasonable attorney's fees plus any applicable attorney costs they may incur. Customer acknowledges that the actual damage to the Company in the event of breach is difficult to fix or prove, and the foregoing liquidated damage amount is reasonable and commensurate with the anticipated loss to Company resulting from such termination and is an agreed upon fee and is not imposed as a penalty. Company shall not be liable under any circumstance for any special, incidental or consequential damages arising out of or in connection with performance of the Agreement. Customer shall pay liquidated damages of \$100.00 for every Customer waste tire that is found at the disposal facility.

8. **INDEMNITY.** The Company agrees to indemnify, defend and save Customer harmless from and against any and all liability which Customer may be responsible for or pay out as a result of bodily injuries (including death), property damage, or any violation or alleged violation of law, to the extent caused by any negligent act, negligent omission or willful misconduct of the Company or its employees, which occurs (1) during the collection or transportation of Customer's Waste Materials, or (2) as a result of the disposal of Customer's Waste Material's, after the date of this Agreement, in a facility owned by a subsidiary of Waste Pro provided that the Company's indemnification obligations will not apply to occurrences involving Excluded Materials.

Customer agrees to indemnify, defend and save the Company harmless from and against any and all liability which the Company may be responsible for or pay out as a result of bodily injuries (including death), property damage, or any violation or alleged violation of law to the extent caused by Customer's breach of this Agreement or by a negligent act, negligent omission or willful misconduct of the Customer or its employees, agent or contractors in the performance of this Agreement or Customer's use, operation or possession of any equipment furnished by the Company. Neither party shall be liable to the other for consequential, incidental or punitive damages arising out of the performance of this Agreement.

9. **RIGHT OF FIRST REFUSAL.** Customer grants to Company a right of first refusal to match any offer relating to services similar to those provided hereunder which Customer receives (or intends to make) upon termination of this Agreement for any reason and Customer shall give Company prompt written notice of any such offer and a reasonable opportunity to respond to it. Additionally, if Customer desires to recycle, Company has the right of first refusal.

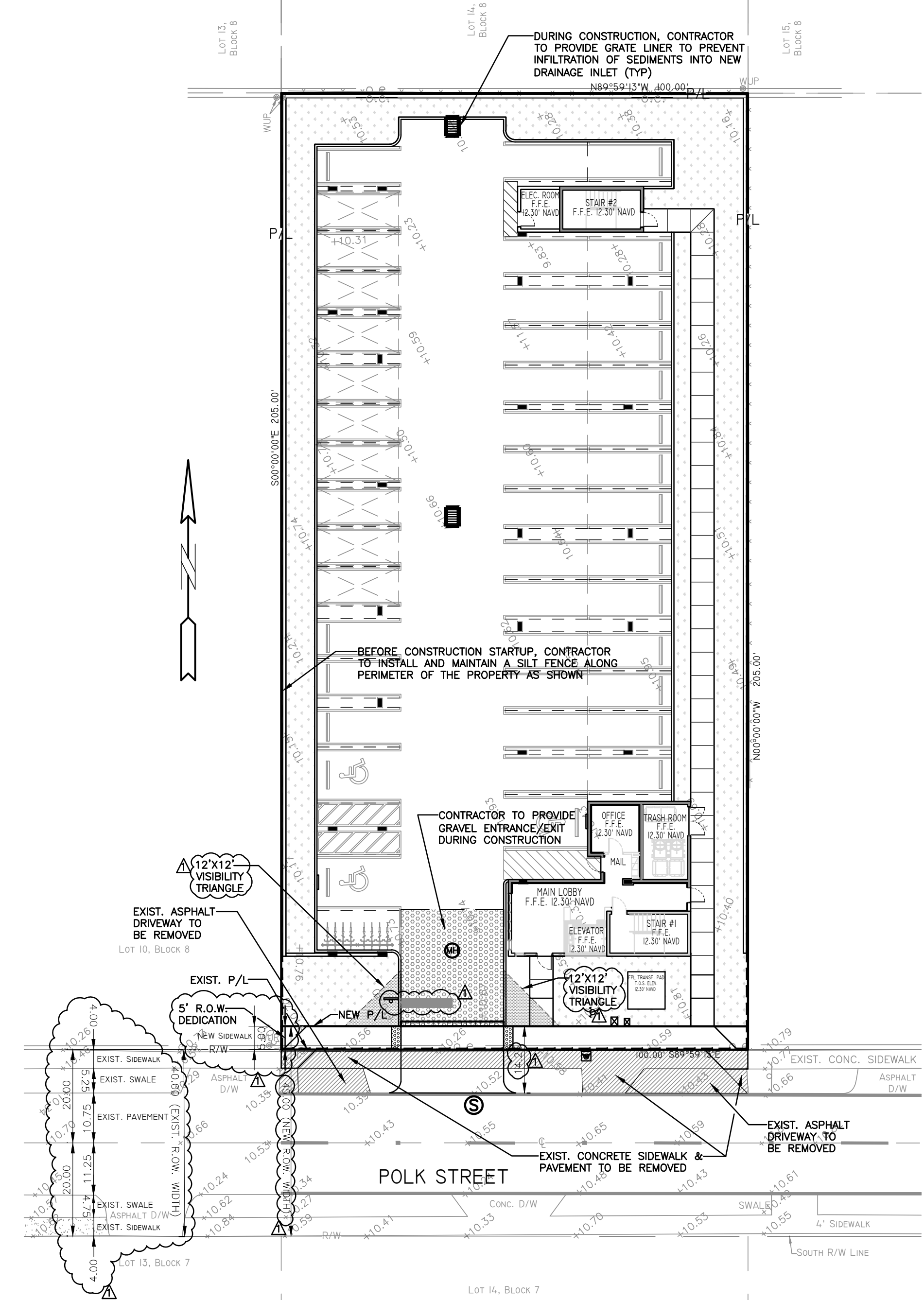
10. **CLAIMS AND ARBITRATION.** Customer and Company agree that upon the request of either party, any dispute or controversy between the parties that in any way arises out of or relates to this Agreement or Company's provision of goods or services to the Customer, will be decided by binding arbitration in accordance with the Commercial Arbitration Rules of the American Arbitration Association. Neither Customer nor Company shall be entitled to arbitrate joint or consolidated claims by or against other customers, or arbitrate any claim as a representative or member of a class or in or as a part of a private attorney general capacity. Judgment upon any arbitration award shall be final and binding on Customer and Company and may be entered in any court having jurisdiction. If a court of competent jurisdiction, or an arbitrator with authority to adjudicate the matter, should declare all or any part of this arbitration provision invalid or unenforceable, then the remainder of this arbitration provision shall be valid and enforceable to the fullest extent permitted by law. *In the absence of this arbitration provision, you may have otherwise had an opportunity to litigate claims in court and/or to have claims decided by a jury.* Within thirty (30) days of receipt of this arbitration provision, Customer can elect to opt out of this provision (that is, to exclude it from this Agreement) by sending a written notice to Company by certified mail to WastePro USA, Inc., 2101 West SR 434, Suite 315, Attention Corporate Counsel, Longwood, FL 32779 stating that Customer wishes to opt out of this arbitration provision.

11. **MISCELLANEOUS.** (a) Except for the obligation to make payments hereunder, neither party shall be in default for its failure to perform or delay in performance caused by events or significant threats of events beyond its reasonable control, whether or not foreseeable, including, but not limited to, strikes, labor trouble, riots, imposition of laws or governmental orders, fires, acts of war or terrorism, acts of God, and the inability to obtain equipment; and the affected party shall be excused from performance during the occurrence of such events: (b) This Agreement shall be binding on and shall inure to the benefit of the parties hereto and their respective successors and assigns: (c) This Agreement represents the entire agreement between the parties and supersedes any and all other agreement, whether written or oral, that may exist between the parties: (d) This Agreement shall be construed in accordance with the law of the state in which the services are provided; and (e) All written notification to Company required by this Agreement shall be by Certified Mail, Return Receipt Requested. If any provision of this Agreement is declared invalid or unenforceable, then such provision shall be severed from and shall not affect the remainder of this Agreement: however, the parties shall amend this Agreement to give effect, to the maximum extent allowed, to the intent and meaning of the severed provision. In the event the Company successfully enforces its rights against Customer hereunder, the Customer shall be required to pay the Company's attorneys' fees and court costs.

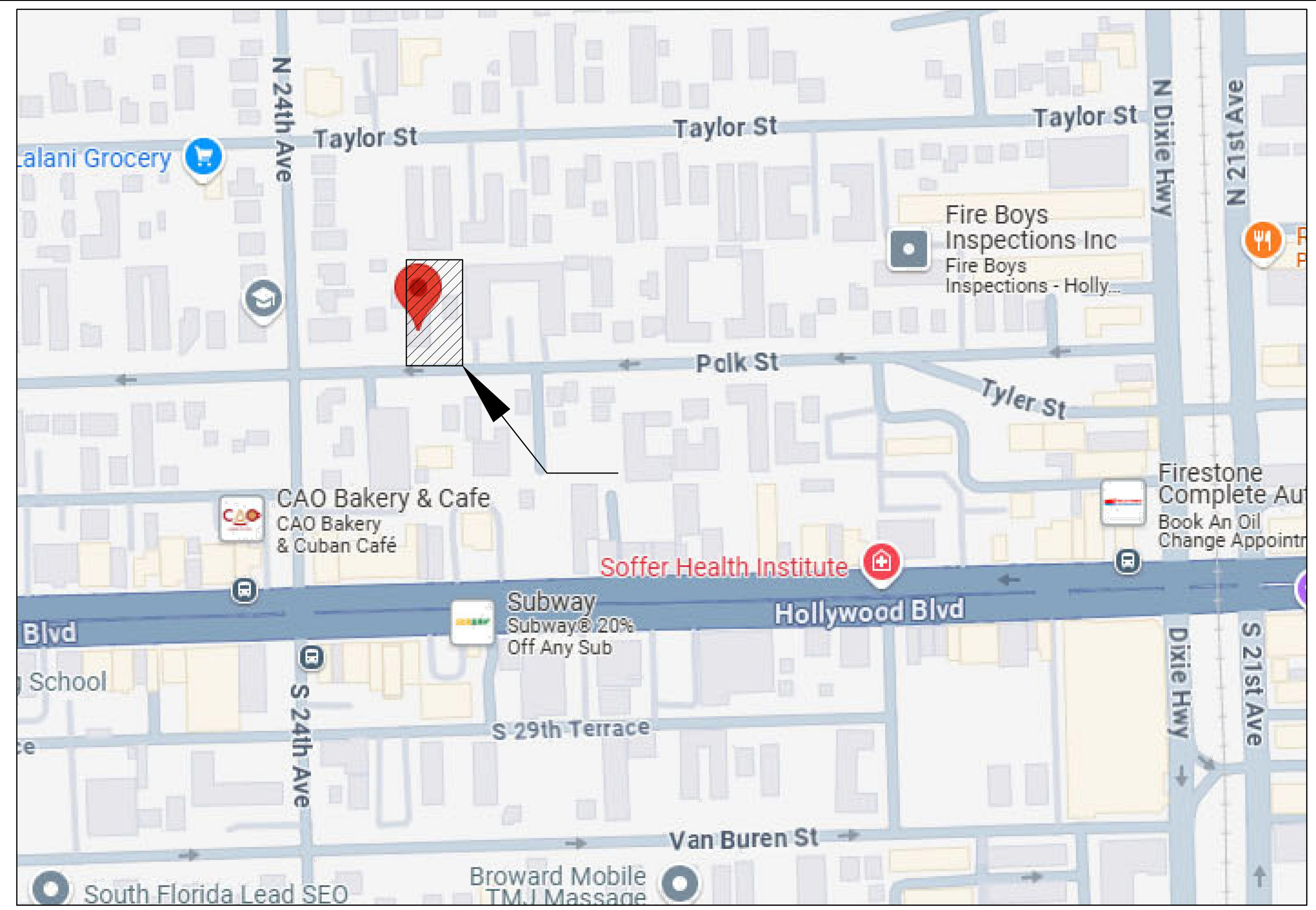
\_\_\_\_\_ Customer Initials



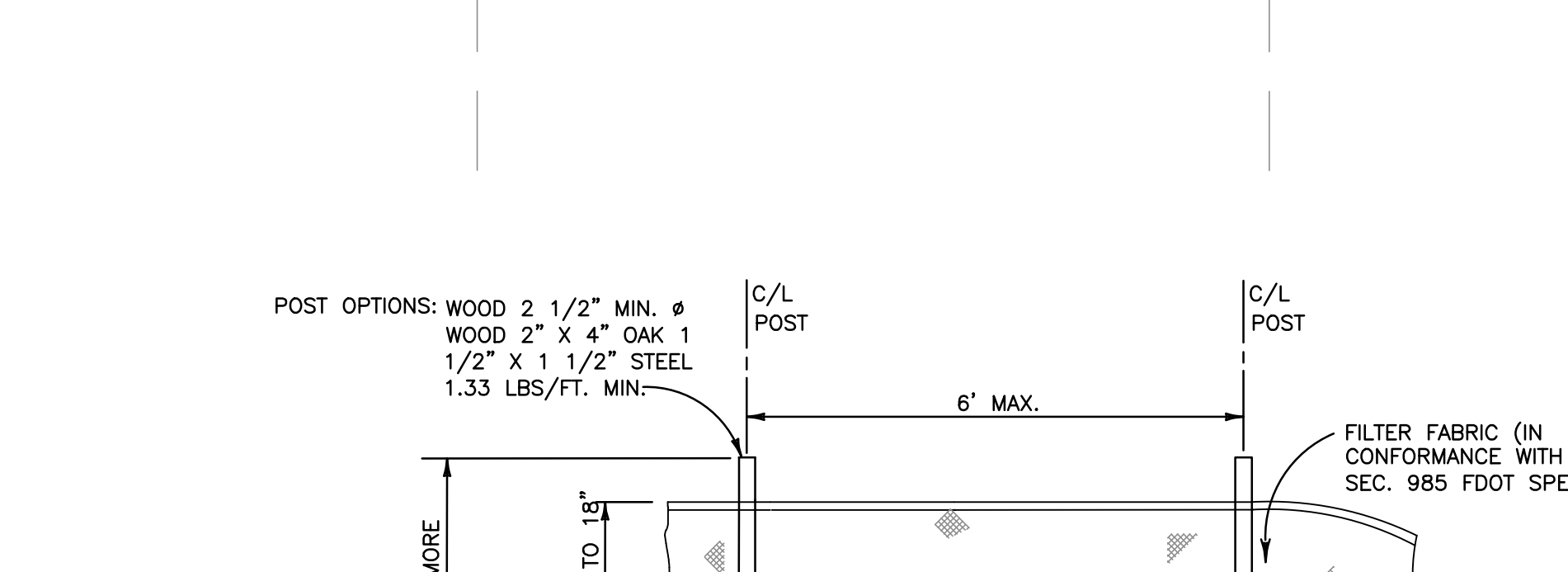
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



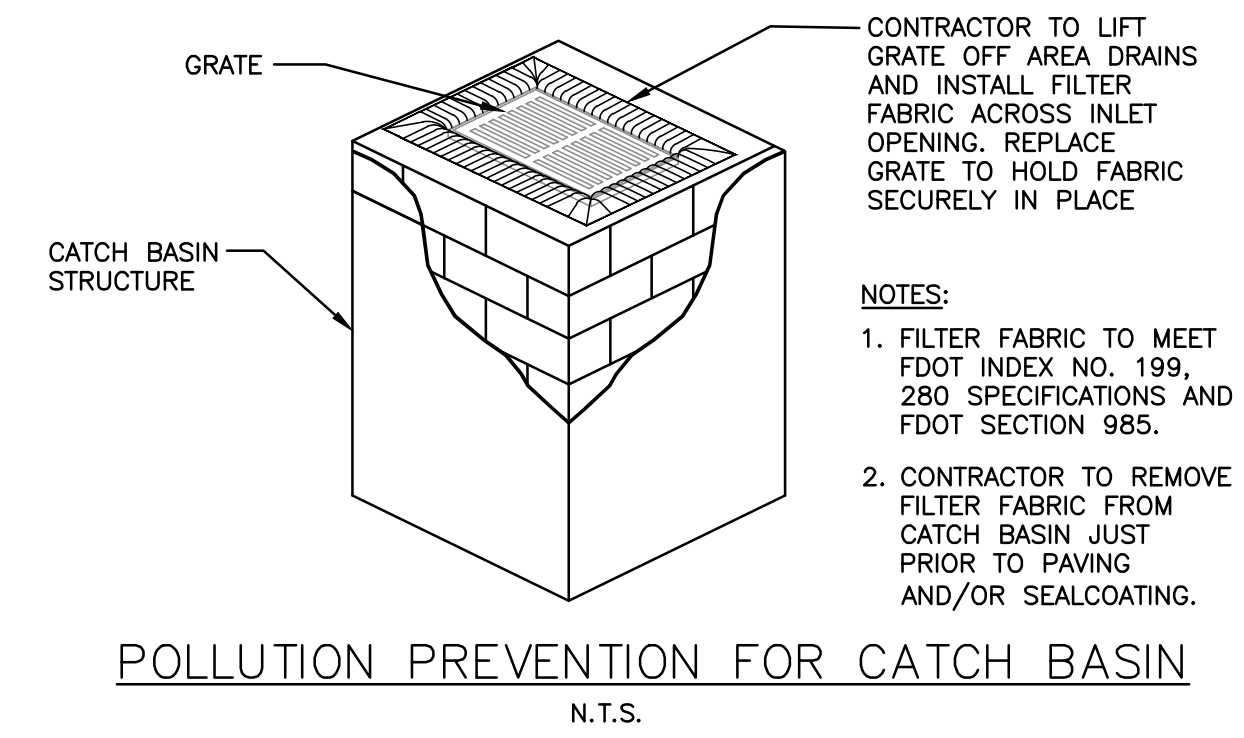
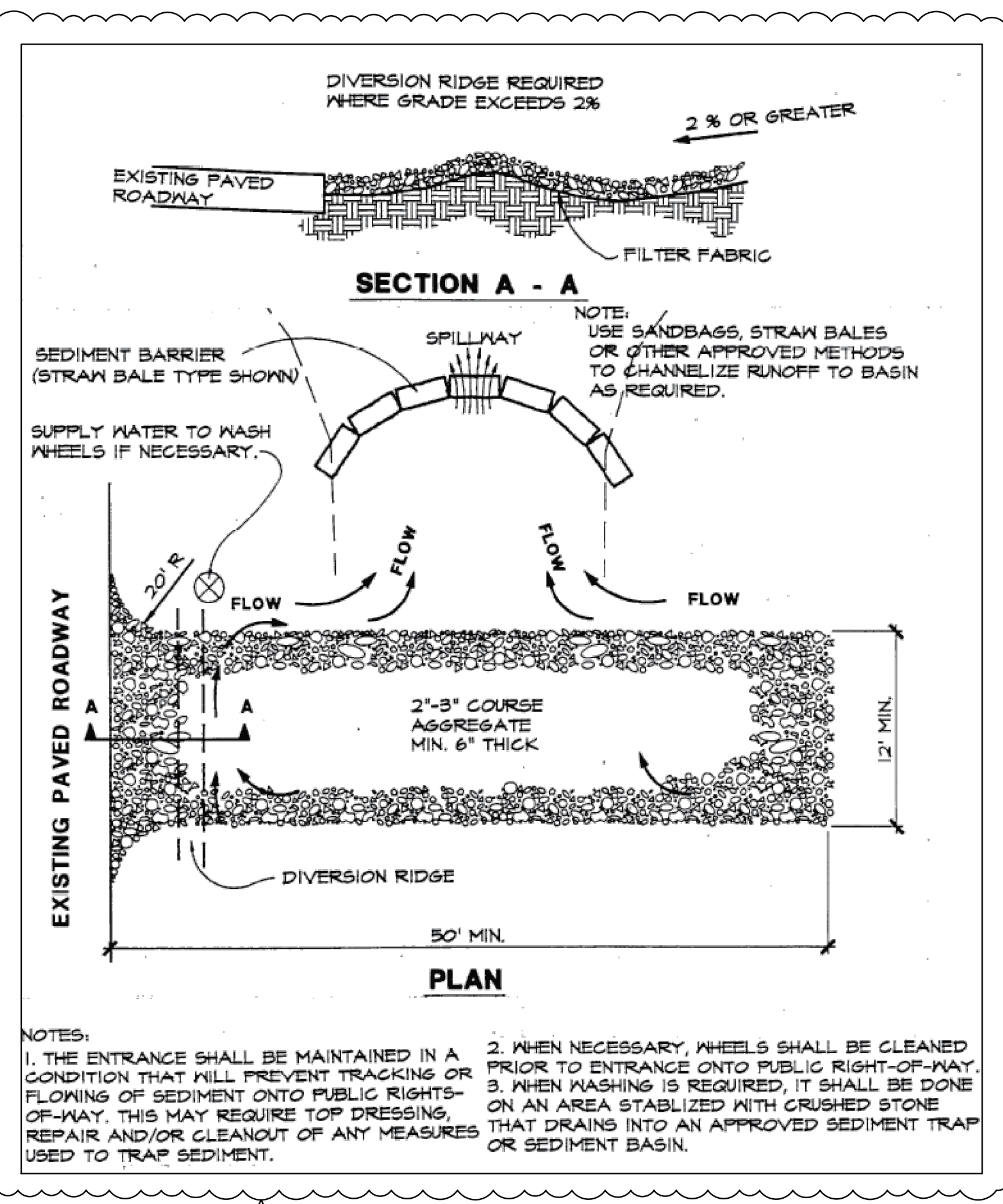
- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
  2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
  3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
  4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND CUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
  5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
  6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
  9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
  10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
  11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



LOCATION MAP  
NOT TO SCALE



- LEGEND**
- PROPOSED CONCRETE
  - PROPOSED ASPHALT
  - PROPOSED GRADE
  - EXISTING ELEVATION
  - PROPOSED CATCH BASIN
  - EXISTING CATCH BASIN
  - PROPOSED WATER METER
  - EXISTING WATER METER
  - EXISTING WATER VALVE
  - PROPOSED BFP DEVICE
  - EXISTING SAN. SEWER MH
  - EXISTING FIRE HYDRANT

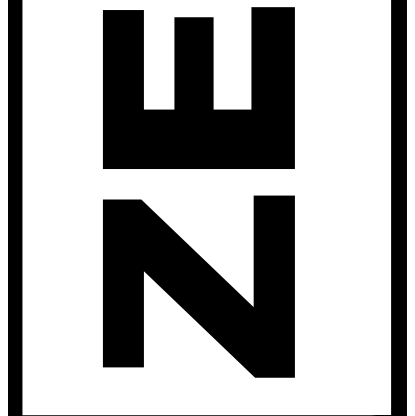


**EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=20'

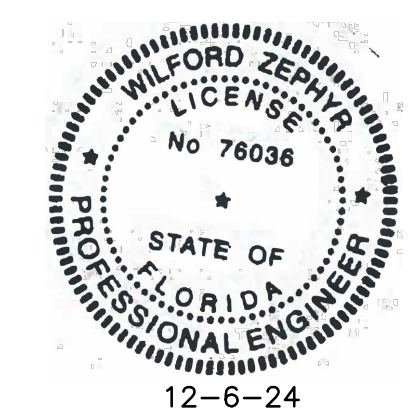
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	12-4-24		

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786)302-7693  
wzephyreng@gmail.com  
CA#: 31158



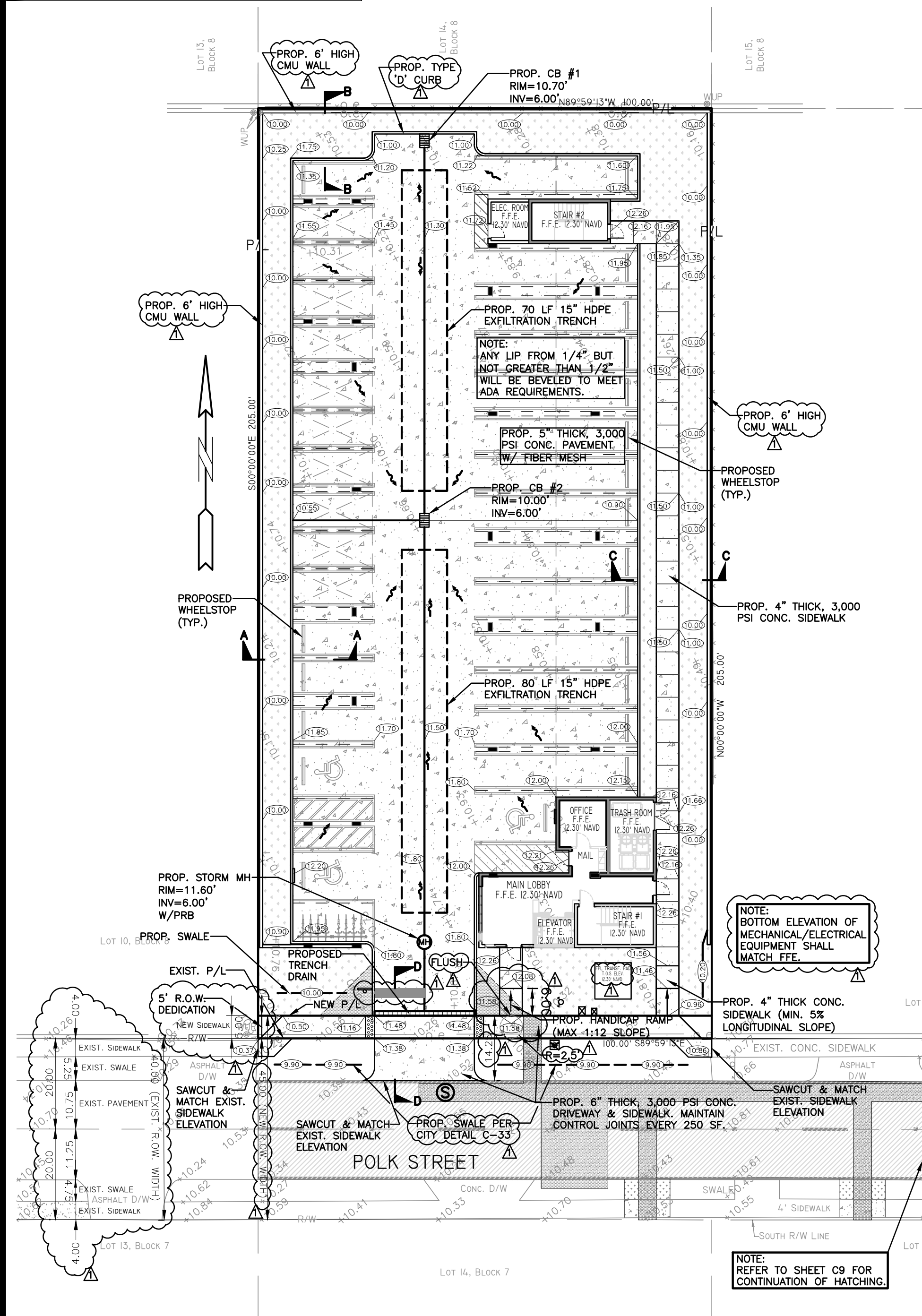
**2323 POLK BUILDING**  
**A RESIDENTIAL CONDOMINIUM**  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020



P.E.#:76036  
DATE: 9/03/24  
SCALE: 1"=20'  
SHEET NO.: C1  
1 OF 11  
PROJECT NO.: 24-36



ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

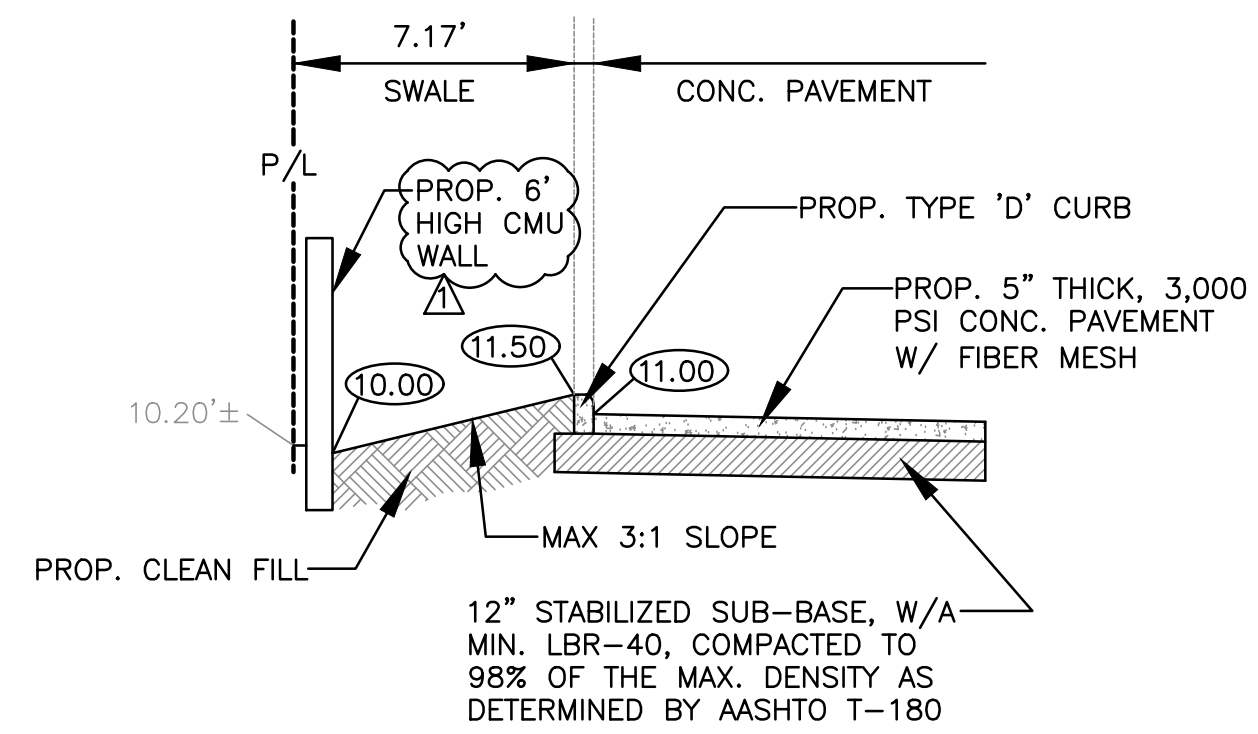


Note:  
Full road width pavement mill and resurfacing and/or pavers, will be required for all streets / roadway adjacent to the project site.

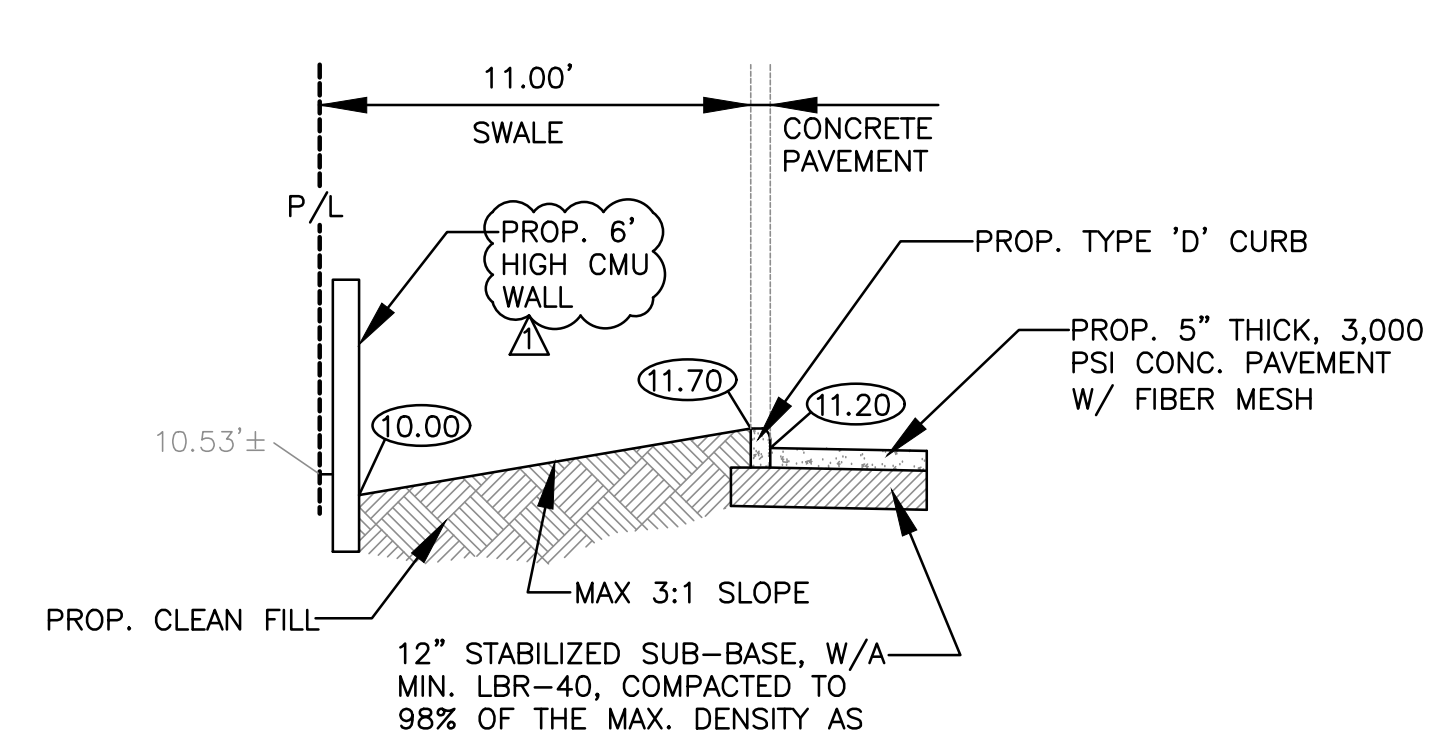
CONCRETE:  
CONCRETE DRIVEWAYS ON PRIVATE PROPERTY WILL BE 5-INCH THICK, 3,000 PSI WITH FIBER MESH WHILE THE PORTION OF THE DRIVEWAY LOCATED WITHIN THE ROW (OUTSIDE OF THE PROPERTY LINES) WILL BE A MINIMUM OF 6 INCHES THICK, 3,000 PSI, WITH NO METAL OR FIBER MESH AND WILL BE CONSTRUCTED FLUSH WITH THE EXISTING ROADWAY AND SIDEWALK. THE ENTIRE DRIVEWAY WILL MAINTAIN CONTROL JOINTS LOCATED EVERY 250 SQ. FT. AND THE EXISTING ASPHALT IN THE CITY ROW WILL BE SAWCUT FOR A CLEAN STRAIGHT EDGE.

**LEGEND**

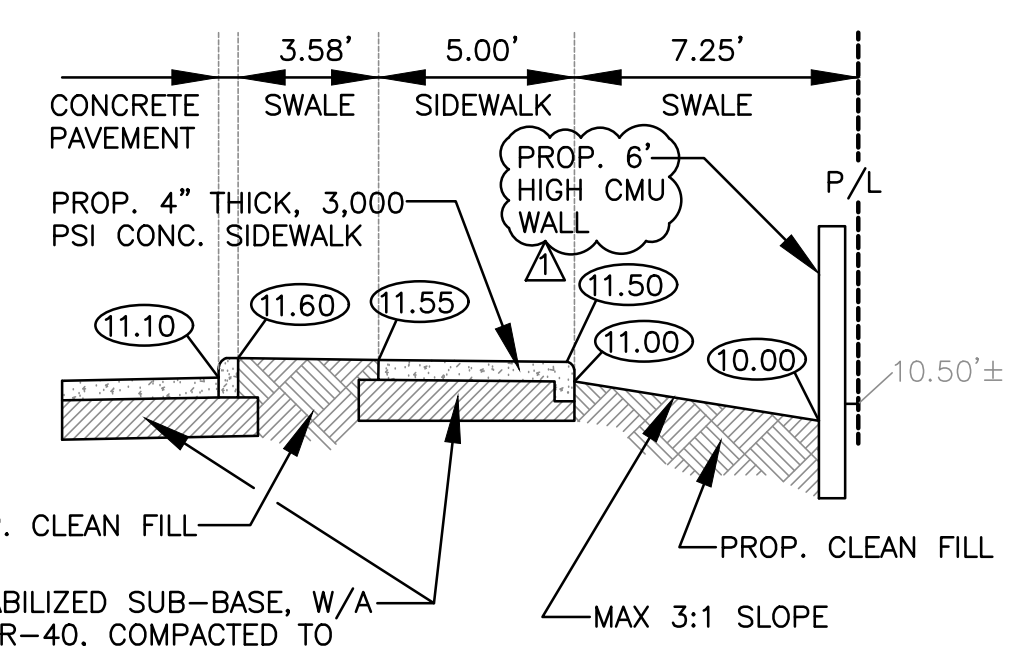
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED GRADE
	EXISTING ELEVATION
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED WATER METER
	EXISTING WATER METER
	EXISTING WATER VALVE
	PROPOSED BFP DEVICE
	EXISTING SAN. SEWER MH
	EXISTING FIRE HYDRANT



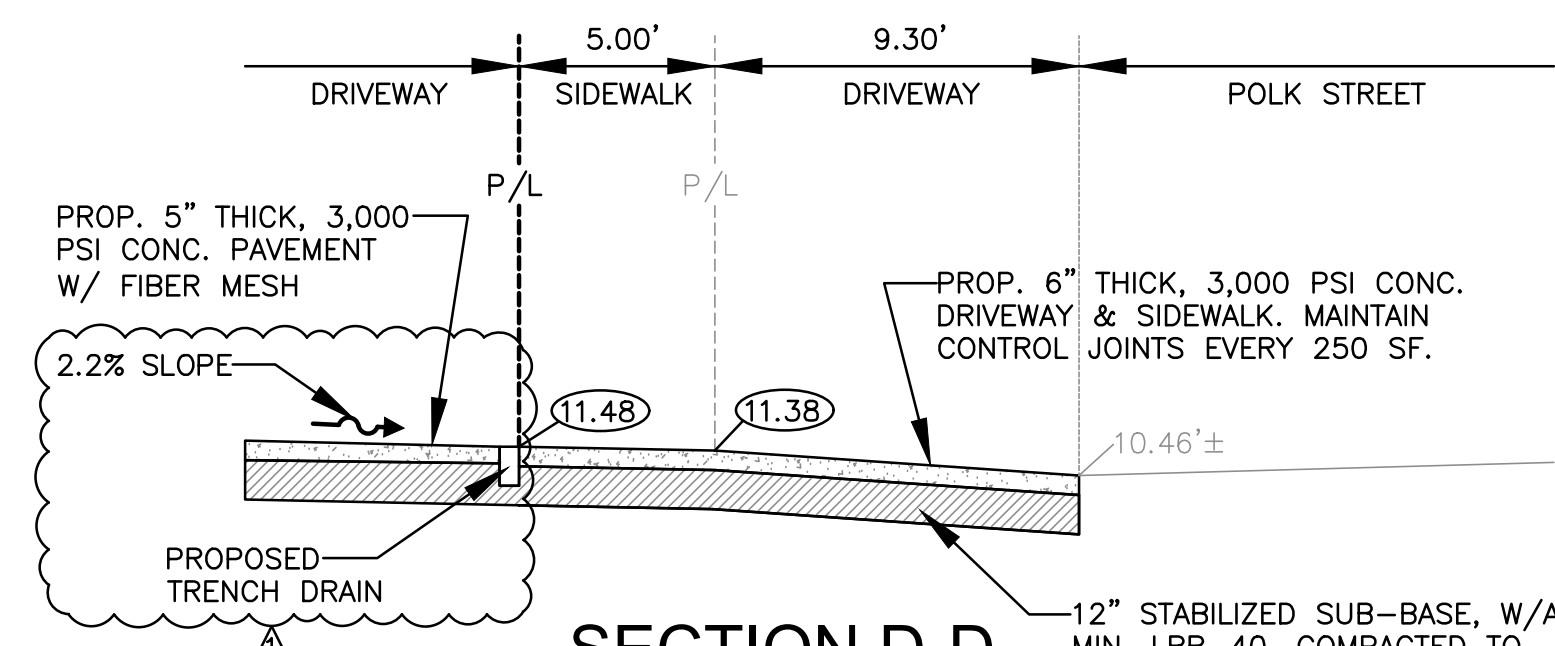
SECTION A-A  
N.T.S.



SECTION B-B  
N.T.S.

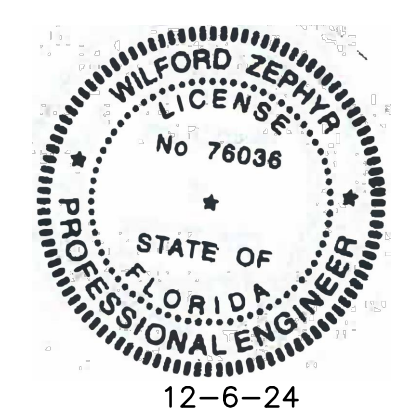


SECTION C-C  
N.T.S.



SECTION D-D  
N.T.S.

- NOTES:
- 1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
  - 2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
  - 3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
  - 4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
  - 5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
  - 6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
  - 7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

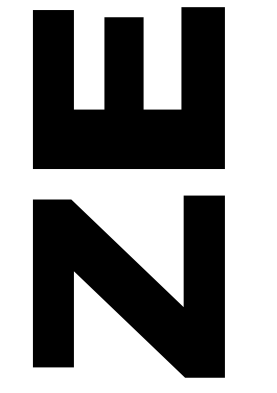
**PAVING, GRADING & DRAINAGE PLAN**

SCALE: 1"=20'

**REVISIONS**

NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	12-4-24		

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA#: 31158



2323 POLK BUILDING  
A RESIDENTIAL CONDOMINIUM  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020

P.E.#: 76036

DATE: 9/03/24
SCALE: 1"=20'
SHEET NO.: C2
2 OF 11
PROJECT NO.: 24-36

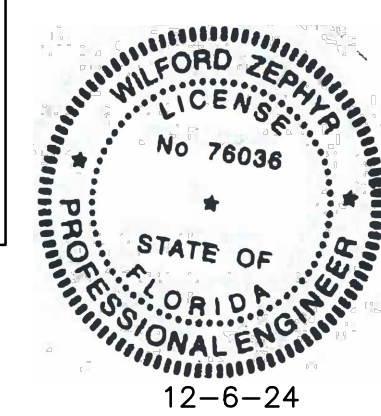
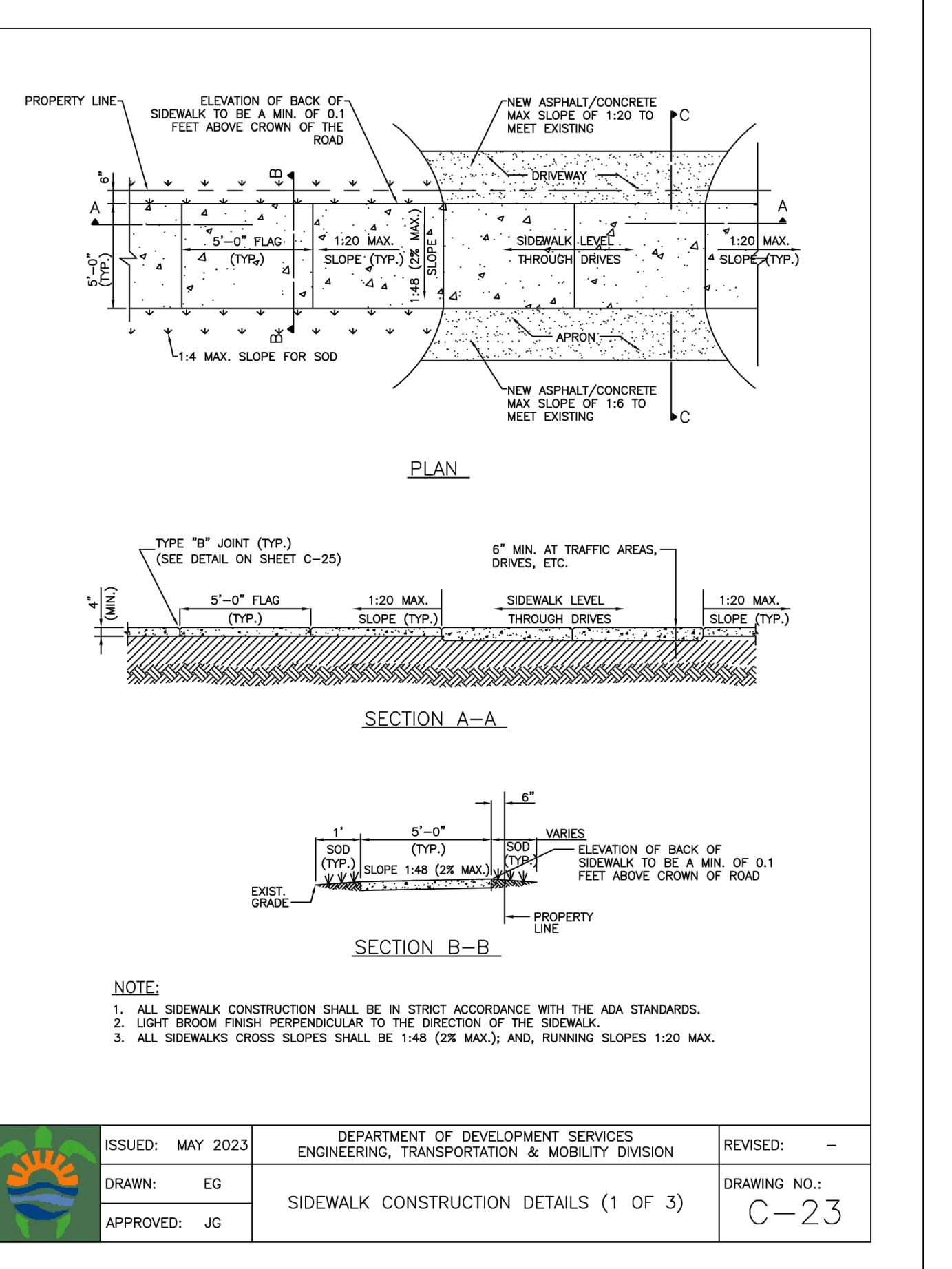
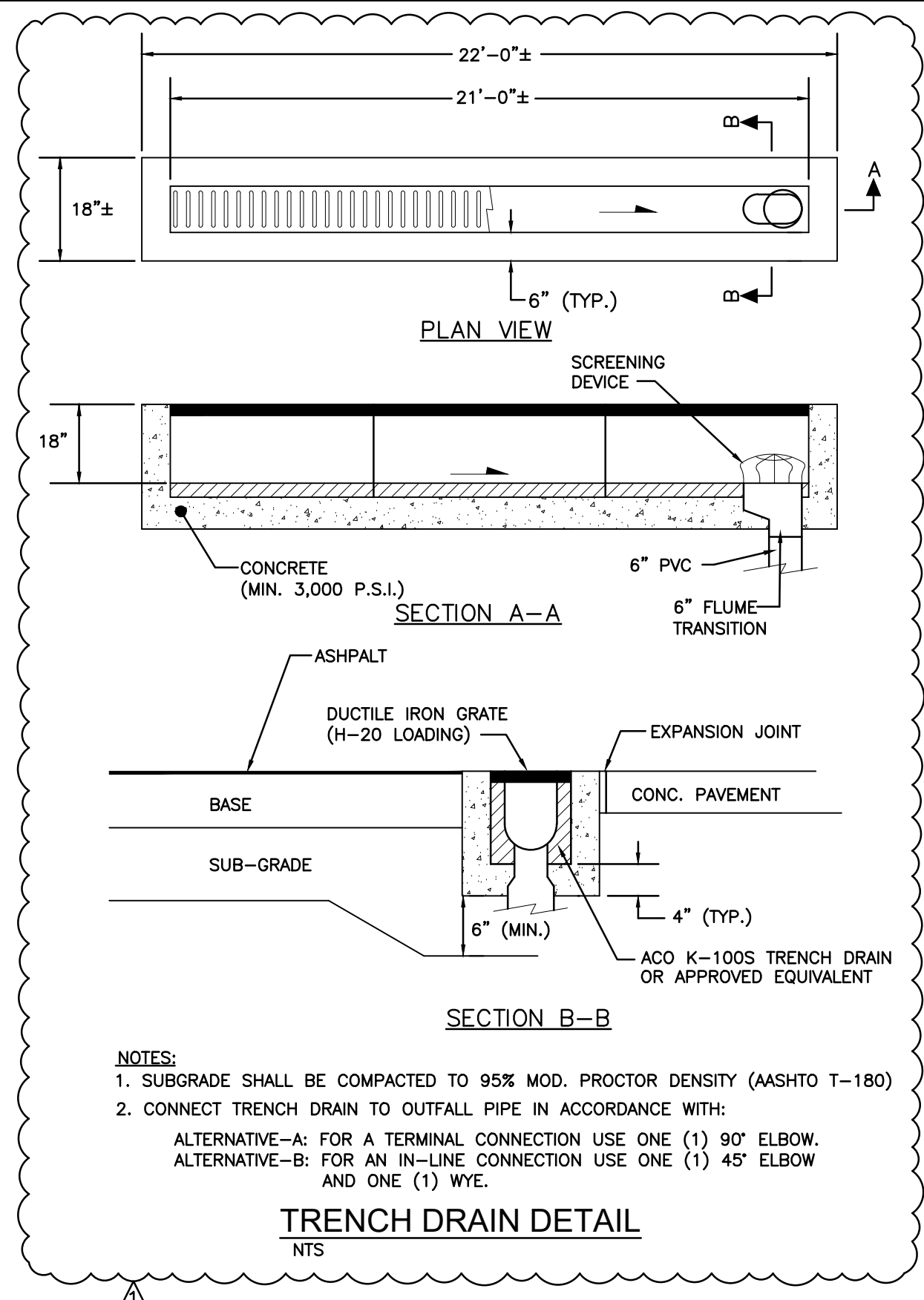
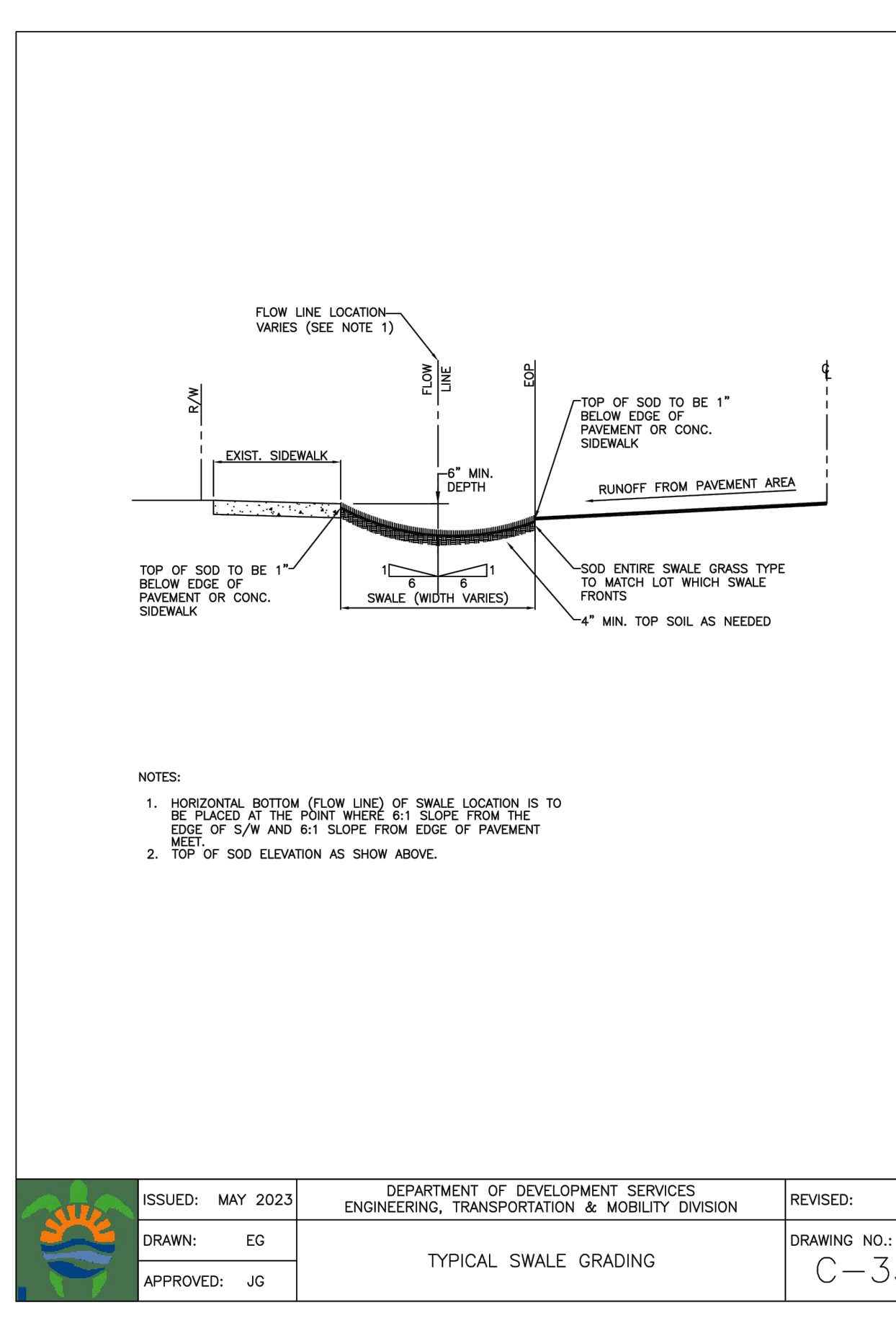
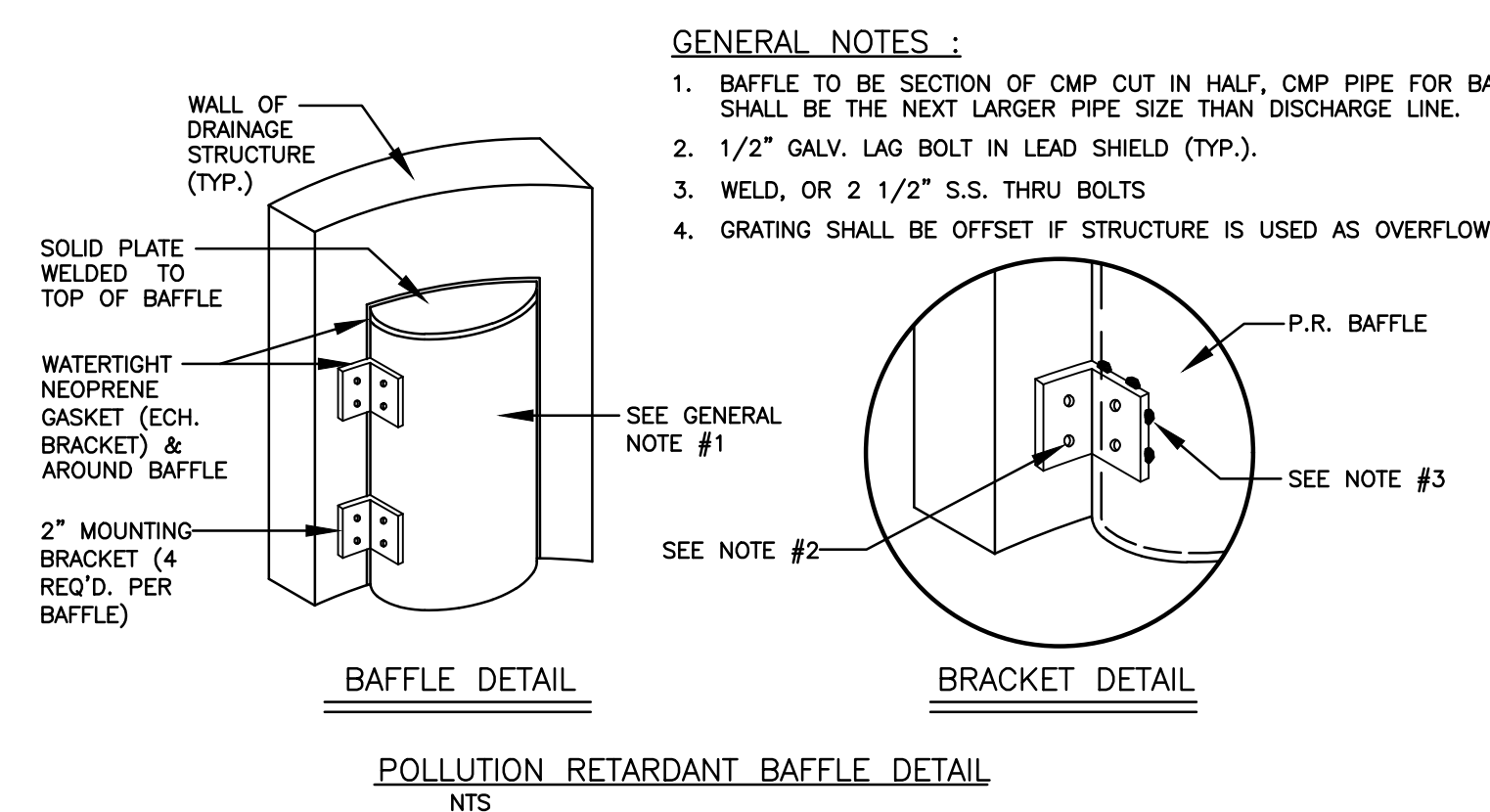
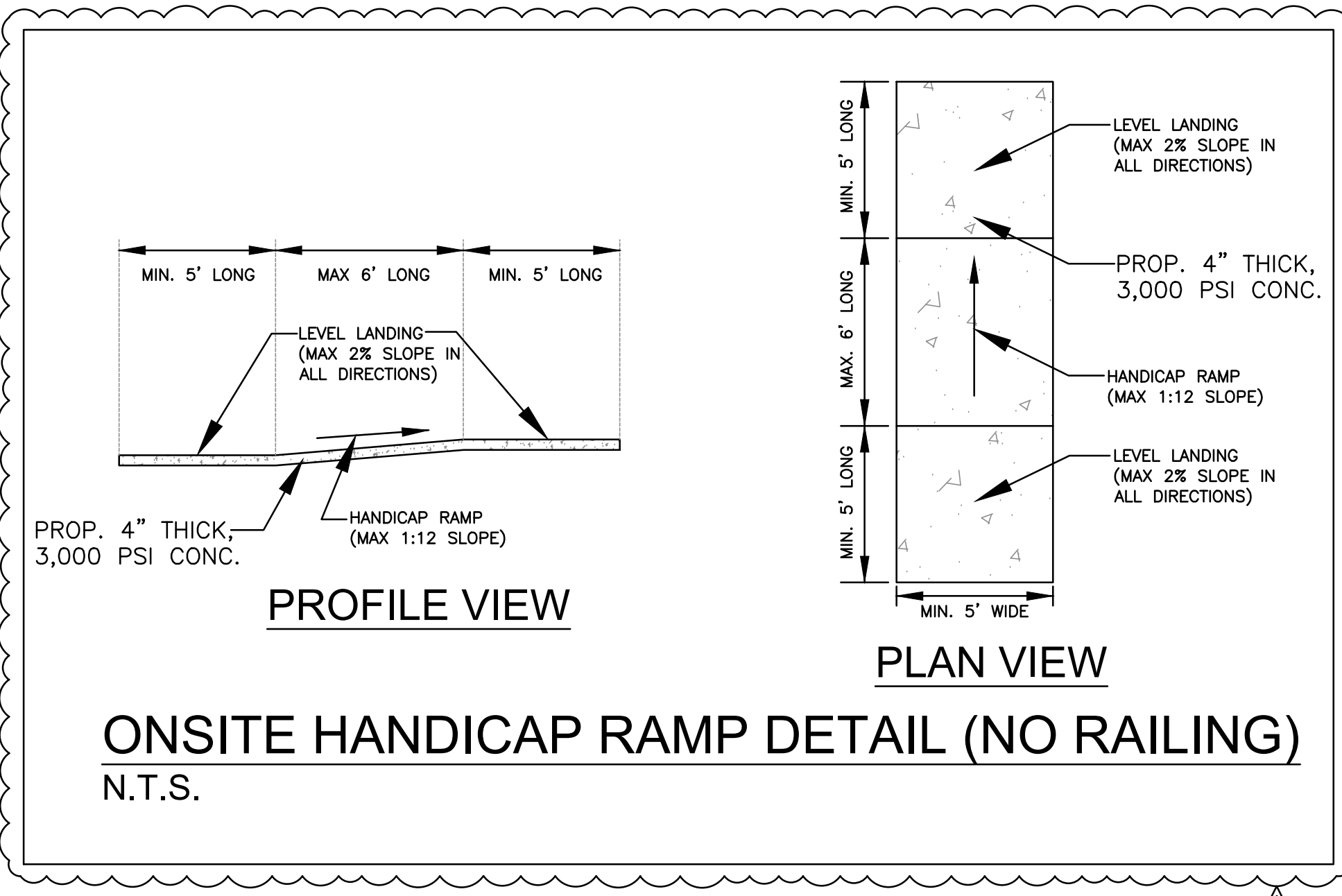
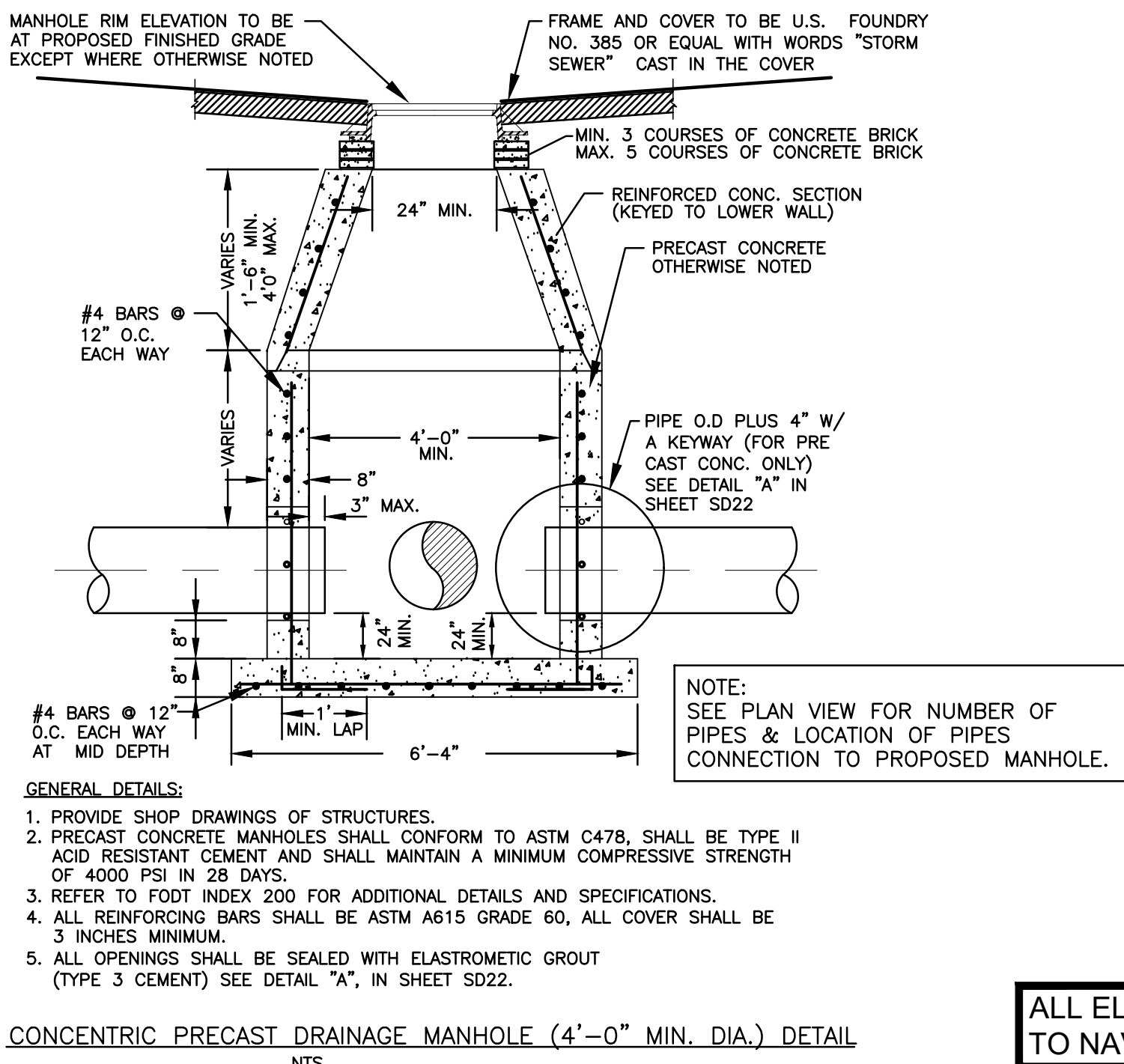
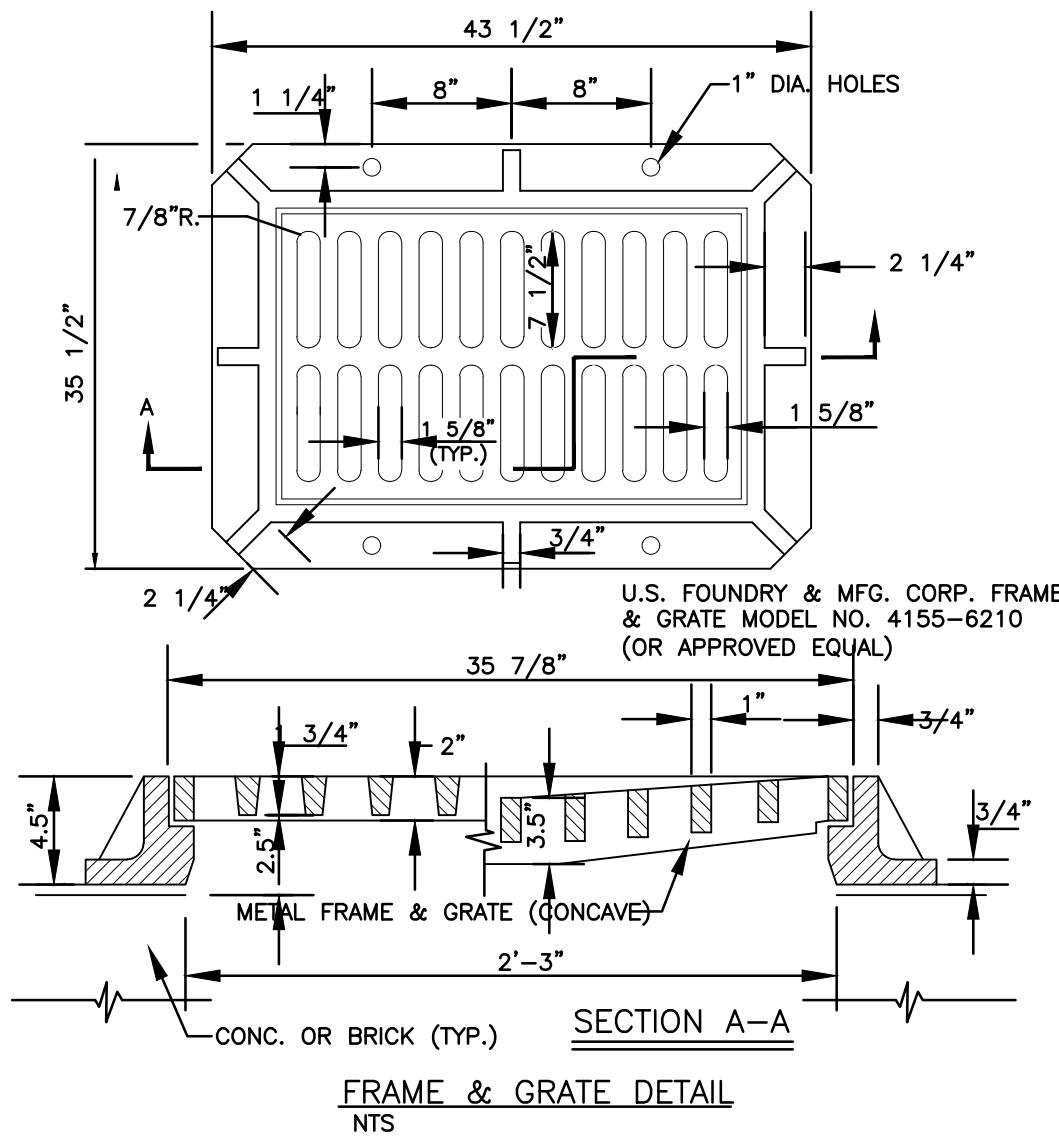
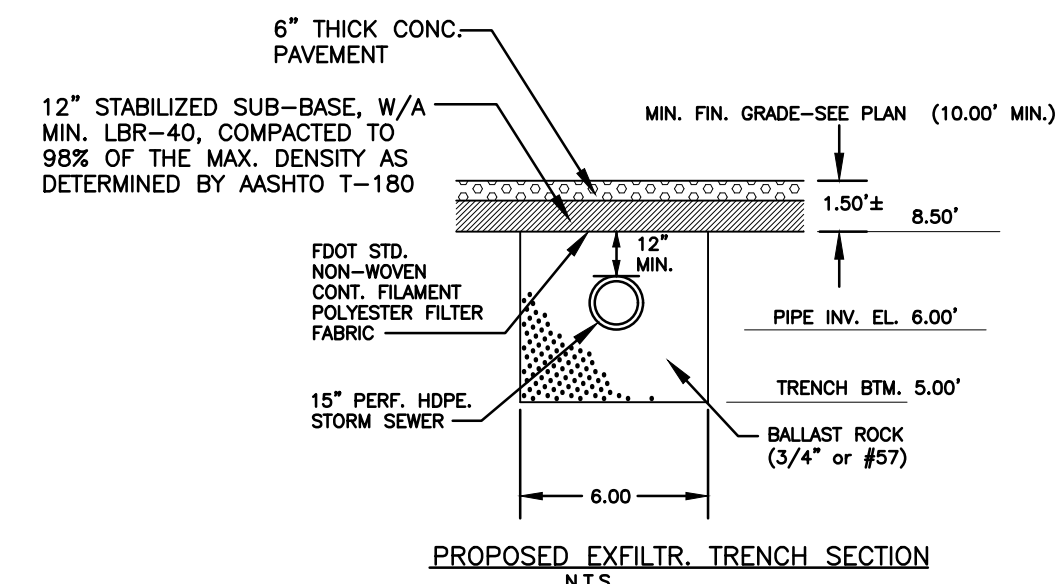
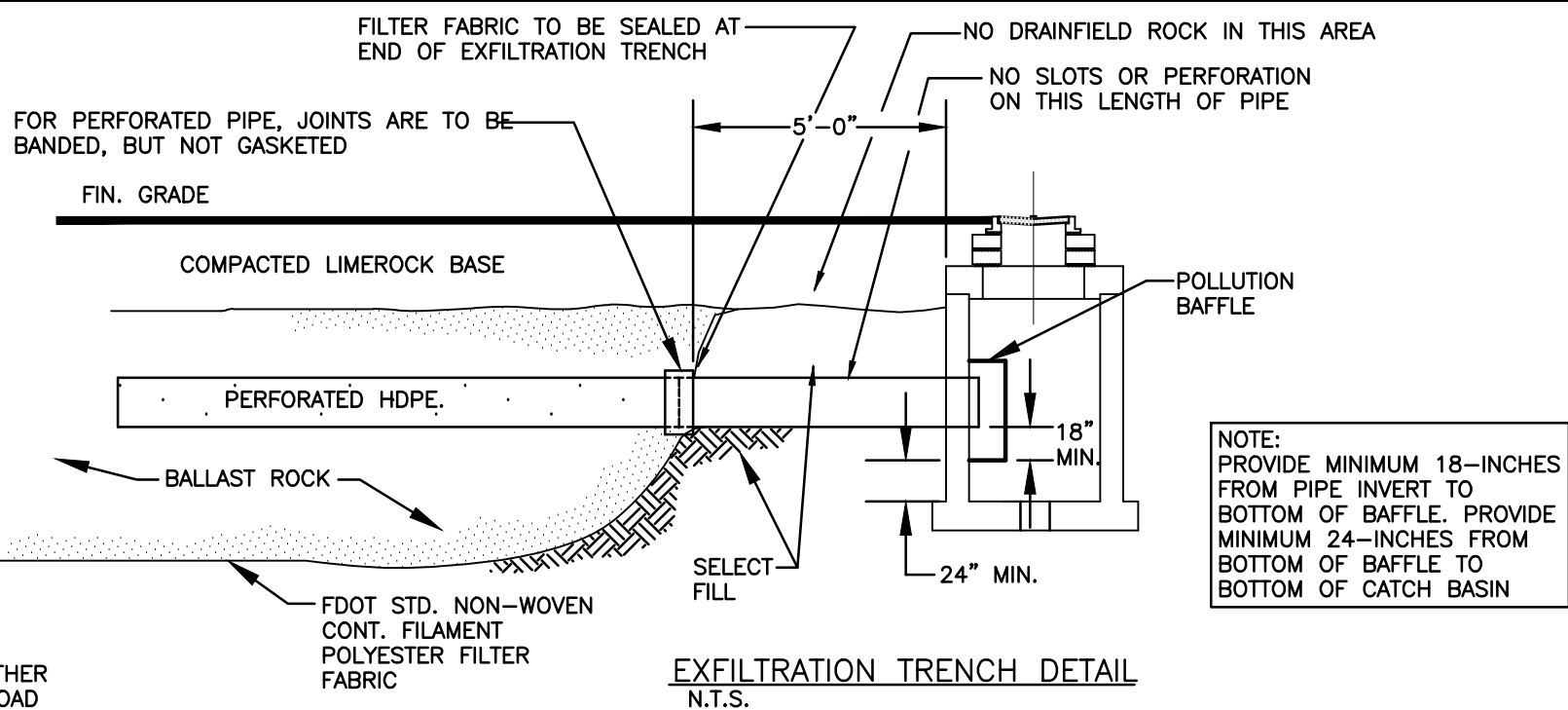
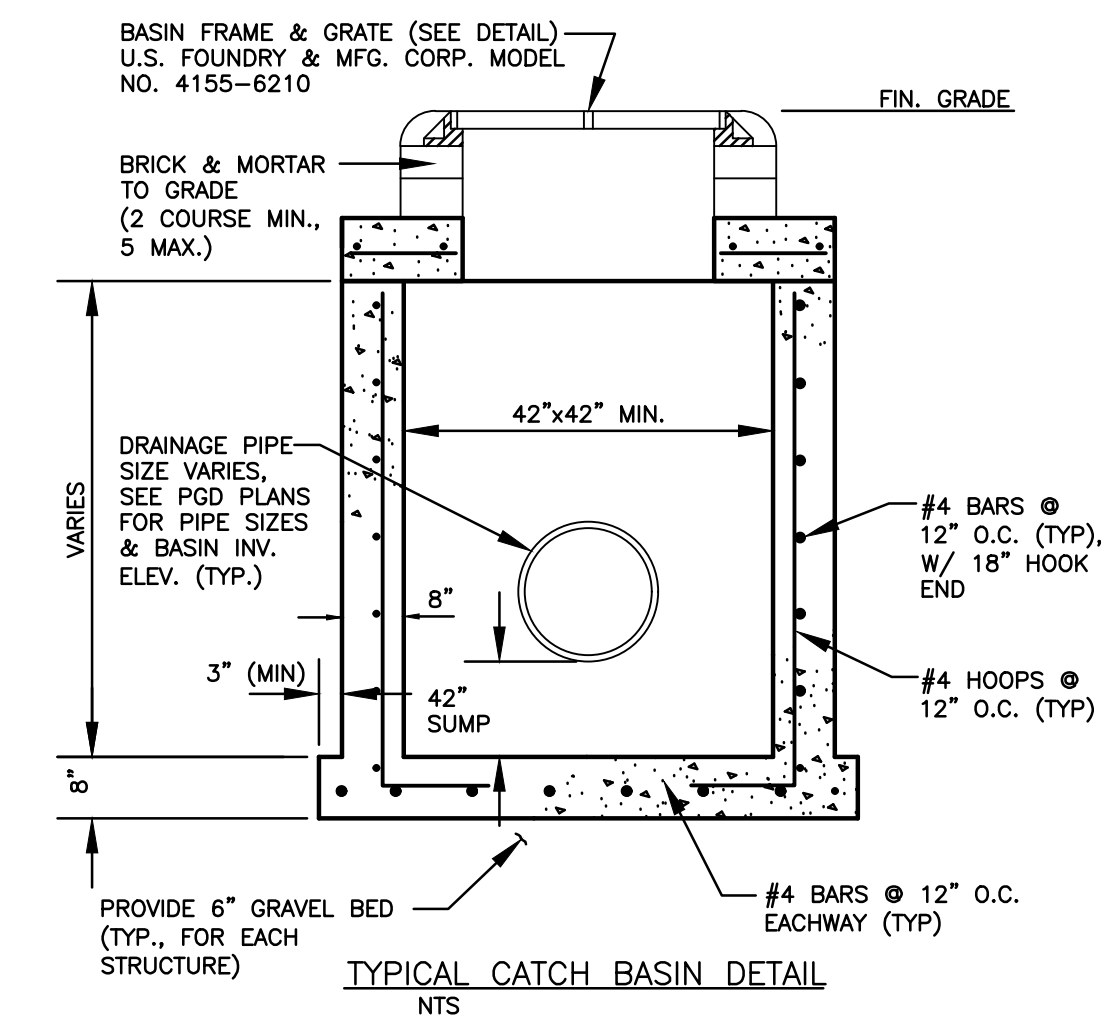


**GENERAL CONDITION NOTES :**

- THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
  - PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:  
FLORIDA POWER & LIGHT CO., CONSTRUCTION BELLSOUTH COMCAST TECO LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AS APPLICABLE UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.E.)
- PAVING, GRADING & DRAINAGE NOTES:**
- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
  - ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
  - FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
  - ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
  - WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
  - ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
  - SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
  - ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
  - ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
  - CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
  - PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
  - CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
  - PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -  
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III  
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196  
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196  
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942  
PVD = POLYVINYLCHLORIDE PIPE  
PCMP = PERFORATED CMP, FDOT SECTION 945  
DIP = DUCTILE IRON PIPE  
HDPE = HIGH DENSITY POLYETHYLENE PIPE.
  - ASPHALT -  
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.  
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982), RATE = 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82, RATE = 0.02 TO 0.08 GALS./S.Y.

**PAVEMENT MARKING & SIGNING STANDARD NOTES :**

- STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
- ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6" TO A MAXIMUM OF 12" FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6" FROM THE CROSS TRAFFIC PAVEMENT.
- STOP BARS SHALL BE 24" WHITE.
- ALL SITE PAVEMENT MARKINGS SHALL BE PAINT, (UNLESS INDICATED OTHERWISE)
- ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



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ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

**CIVIL DETAILS I**  
SCALE: N.T.S.

NO.	DATE	DESCRIPTION	TAC REVIEW COMMENTS
1	12-4-24		

**ZEPHYR ENGINEERING**  
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HOLLYWOOD, FL  
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CA# 31158

**NE**

2323 POLK BUILDING  
A RESIDENTIAL CONDOMINIUM  
2323 POLK STREET  
HOLLYWOOD, FLORIDA - 33020

P.E.#: 78036  
DATE: 9/03/24  
SCALE: N.T.S.  
SHEET NO.: C3  
3 OF 11  
PROJECT NO.: 24-36