

ATTACHMENT A
Application Package

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@
Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans
(i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- | | | |
|---|---|--|
| <input type="checkbox"/> Technical Advisory Committee | <input type="checkbox"/> Art in Public Places Committee | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Planning and Development Board | <input type="checkbox"/> Historic Preservation Board | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> City Commission | <input type="checkbox"/> Administrative Approval | |

PROPERTY INFORMATION

Location Address: _____

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): _____

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: _____

Is the request the result of a violation notice? ☐ Yes ☐ No **If yes**, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

DEVELOPMENT PROPOSAL

Explanation of Request: _____

Phased Project: Yes ☐ No ☐ Number of Phases: _____

Project	Proposal	
Units/rooms (# of units)	# UNITS:	#Rooms
Proposed Non-Residential Uses		S.F.)
Open Space (% and SQ.FT.)	Required %:	(Area: S.F.)
Parking (# of spaces)	PARK. SPACES:	(#)
Height (# of stories)	(# STORIES)	(FT.)
Gross Floor Area (SQ. FT)	Lot(s) Gross Area (FT.)

Name of Current Property Owner: _____

Address of Property Owner: _____

Telephone: _____ Email Address: _____

Applicant _____ Consultant ☐ Representative ☐ Tenant ☐

Address: _____ Telephone: _____

Email Address: _____

Email Address #2: _____

Date of Purchase: _____ Is there an option to purchase the Property? Yes ☐ No ☐

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Yalon* Date: 8.27.2024

PRINT NAME: MOSHE YALON Date: 8.27.2024

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: *Saneth Wundish* Date: 8/27/24

PRINT NAME: BARRETT WUNDISH Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 27th day of August
Zoraida Harriet
Notary Public



Yalon
Signature of Current Owner

MOSHE YALON
Print Name

State of Florida

My Commission Expires: 8/27/24 (Check One) ☐ Personally known to me; OR ☒ Produced Identification Florida Driver's License



KallerArchitecture

1940-1942 Hollywood Blvd,
Hollywood, FL 33020
Job# 24006

1940 HOLLYWOOD BLVD LEGAL DESCRIPTION:

HOLLYWOOD 1-21 B LOT 45 N 75 OF E 19.78 BLK 25

This is a 1,194 sqft restaurant located on Hollywood Blvd.

1942 HOLLYWOOD BLVD LEGAL DESCRIPTION:

HOLLYWOOD 1-21 B LOT 45 N 75 OF W 5.22 & LOT 46 N 75 OF E 15 BLK 25

This is a 1,185 sqft restaurant located on Hollywood Blvd.



KallerArchitecture

CRITERIA OF APPROPRIETNESS FOR DESIGN

1940-1942 Hollywood Blvd,
Hollywood, FL 33020
Job# 24006

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Both of these spaces are located in the Hollywood Business Historic District, at 1940 and 1942 Hollywood Blvd. It was built in the early 1930s and sits along the street with other restaurants, stores, and businesses that are similar or slightly larger in size.

CRITERION: DESIGN

ANALYSIS: The current style of the building is masonry vernacular. It is a simple stucco finish with minimal architectural details. The proposed storefront renovation would maintain the overall style of the building, while adding some stonework on the knee wall and new wooden round top doors.

CRITERION: SETTING

ANALYSIS: The setting of the existing building is typical of most of the businesses in the downtown district of Hollywood Blvd and is located on the South side of the street. It is located at the end of the 1900 block. The street maintains generous sidewalks and pedestrian access to the businesses and the street.

CRITERION: MATERIALS

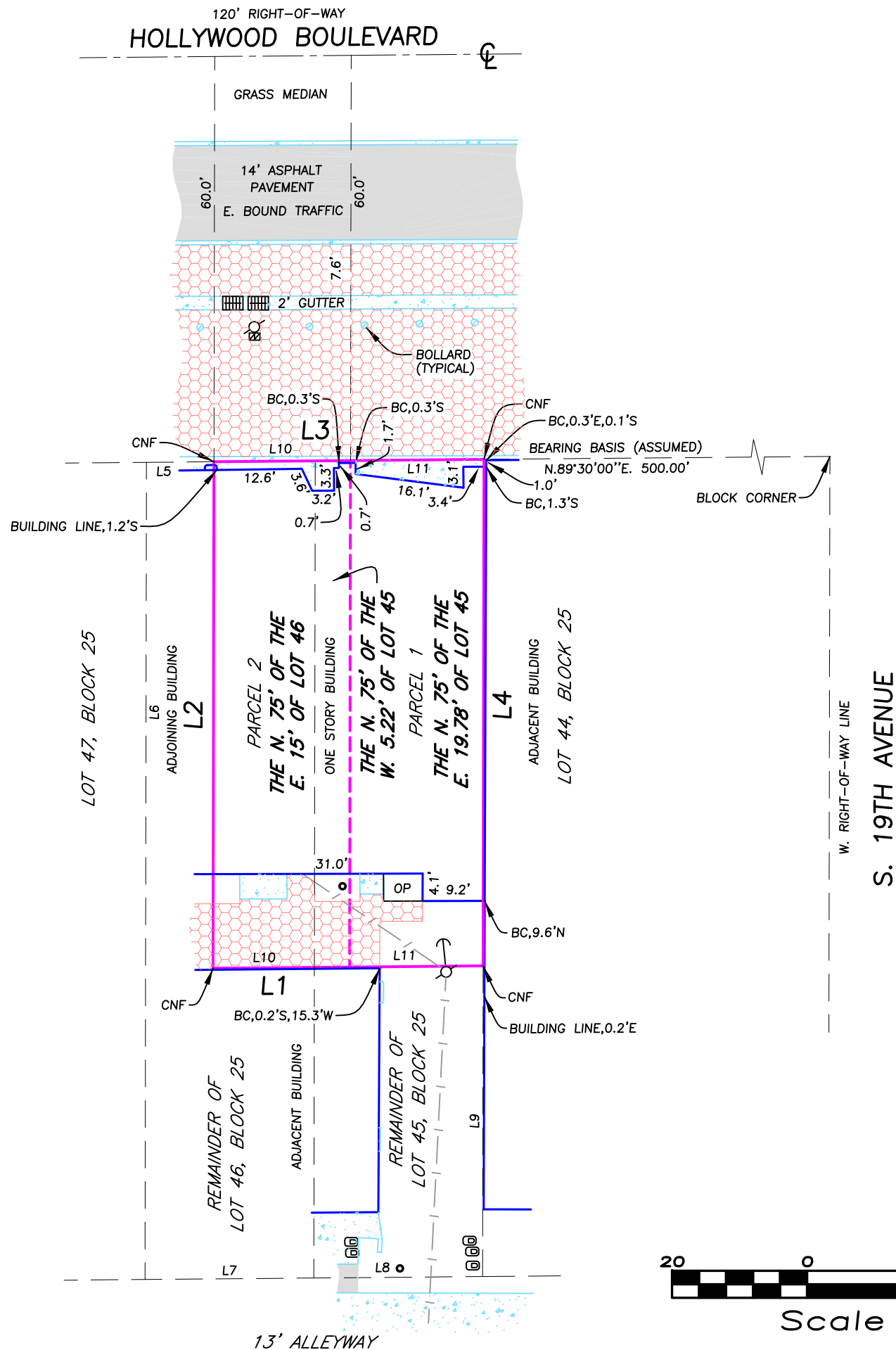
ANALYSIS: All of the materials that will be used in the proposed renovation to the building will be authentic to the existing style and architecture of the building. They will be durable and meet or exceed the requirements of the current Florida Building Code.

CRITERION: WORKMANSHIP

ANALYSIS: Workmanship on the proposed storefronts and interior renovations for both spaces will be such that all State and Local laws will be upheld. Necessary barricading will be done to preserve the site, as well as the appropriate practices will meet or exceed the requirements of the Florida Building Code 2023 and the State of Florida Department of Environmental Protection.

CRITERION: ASSOCIATION

ANALYSIS: The City of Hollywood's Business Historic District is unique compared to other business areas in South Florida. The streets are pedestrian friendly and therefore allow for the locals to easily participate in all activities and businesses in the district at their leisure. This environment dictates a scale, rhythm, and pattern of the businesses in the neighborhood.



LEGAL DESCRIPTION
PARCEL 1

THE NORTH 75 FEET OF THE EAST 19.78 FEET OF LOT 45, IN BLOCK 25, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWRAD COUNTY, FLORIDA.

PARCEL 2
THE NORTH 75 FEET OF THE WEST 5.22 FEET OF LOT 45, AND THE NORTH 75 FEET OF THE EAST 15 FEET OF LOT 46, IN BLOCK 25, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWRAD COUNTY, FLORIDA.

CERTIFIED TO:
KR HOLDING INC

PROPERTY ADDRESS
1942 HOLLYWOOD BOULEVARD
HOLLYWOOD, FL 33020

BOUNDARY SURVEY
INVOICE # 45186
SURVEY DATE 07/16/25

FLOOD ZONE X/X0.2%
MAP DATE 07/31/24
MAP NUMBER 125113 0569J

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S.89°30'00"W.	40.00'
L2	N.00°06'08"E.	75.00'
L3	N.89°30'00"E.	40.00'
L4	S.00°06'08"W.	75.00'
L5	S.89°30'00"W.	10.00'
L6	S.00°06'08"W.	121.00'
L7	N.89°30'00"E.	25.00'
L8	N.89°30'00"E.	25.00'
L9	N.00°06'08"E.	46.00'
L10	S.89°30'00"W.	20.22'
L11	S.89°30'00"W.	19.78'

SURVEYOR'S NOTES

1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.

LEGEND

- GUY ANCHOR
- WATER METER
- FIRE HYDRANT
- CABLE BOX
- ELECTRIC SERVICE
- POOL EQUIPMENT
- POWER/LIGHT POLE
- SPRINKLER SYSTEM
- CONTROL VALVE
- FP&L BOX
- CATCH BASIN
- CLEAN OUT
- MANHOLE
- WELL
- WATER VALVE

- CONCRETE/CHAT
- ASPHALT PAVEMENT
- BRICK/TILE PAVERS
- WOOD DECK/DOCK
- PROPERTY LINE
- CENTERLINE
- CONCRETE WALL
- METAL FENCE
- WOOD/PVC FENCE
- OVERHEAD WIRES
- ELEVATION

ABBREVIATIONS

- AC AIR CONDITIONER
- AE ANCHOR EASEMENT
- BC BUILDING CORNER
- BM BENCHMARK
- BW BACK OF WALK
- C CALCULATED
- CNF CORNER NOT FOUND
- DE DRAINAGE EASEMENT
- E/F END/FENCE
- EP EDGE OF PAVEMENT
- EW EDGE OF WATER
- F/C FENCE/CORNER
- FF FINISH FLOOR
- F/L FENCE/LINE
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- FN FOUND NAIL
- FN&D FOUND NAIL & DISC
- FN&T FOUND NAIL & TAB
- FP&L FLORIDA POWER & LIGHT
- GAR GARAGE
- GEN GENERATOR
- INSTR INSTRUMENT
- OP OPEN PORCH
- ORB OFFICIAL RECORD BOOK
- M MEASURED
- NTS NOT TO SCALE
- PB PLAT BOOK
- PC POINT OF CURVATURE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PG PAGE
- PRC POINT OF REVERSE CURVE
- PRM PERMANENT REFERENCE MONUMENT
- PT POINT OF TANGENCY
- R RECORD
- RAD RADIAL
- RW RIGHT-OF-WAY
- SN&D SET NAIL & DISC 5495
- SP SCREENED PORCH
- SP&C SET 1/2" PIN & CAP 5495
- UE UTILITY EASEMENT



ATLANTIC COAST
SURVEYING

Paul J. Stowell

PAUL J. STOWELL
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION NO. 5241
ATLANTIC COAST SURVEYING, INC.
13798 NW 4th Street, Suite 306
Sunrise, FL 33325
P: 954.587.2100 E: info@acsiweb.net

**OCTOPUS BAR
EXPANSION**
1940 & 1942 HOLLYWOOD BLVD,
HOLLYWOOD, FLORIDA 33020

PROJECT TITLE

HEET TITLE
EXISTING & PROPOSED
SITE PLAN

HEET TITLE
EXISTING
SITE PL

REVISIONS		
No.	DATE	DESCRIPTION

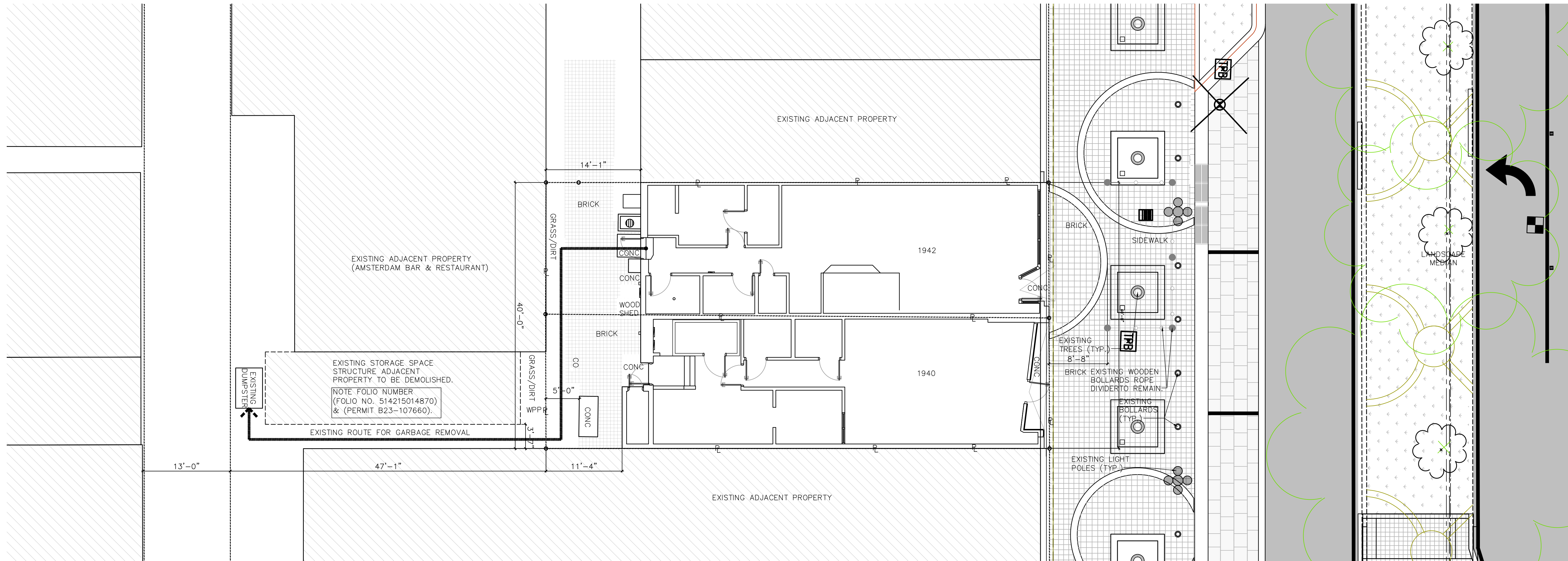
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PROJECT No.: 24006
DATE: 08.19.2011
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CHECKED BY: JBK

SHEET 12

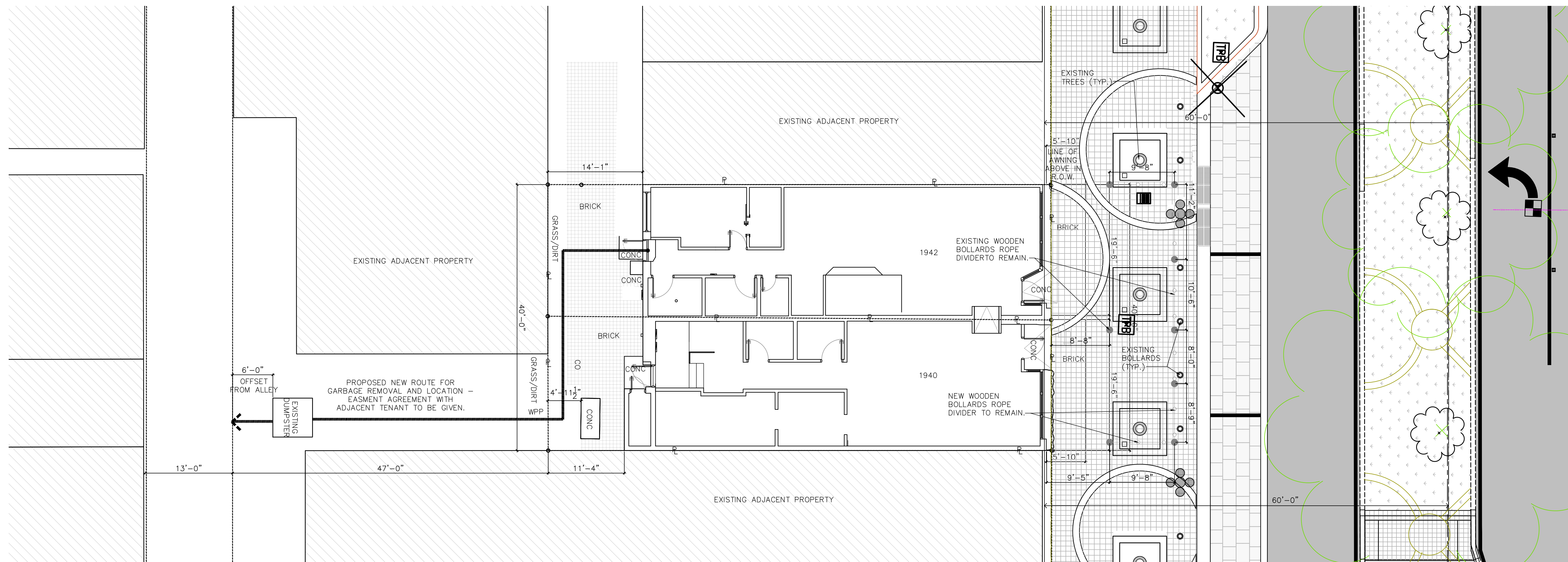
SP-1



1 | EXISTING SITE PLAN



SCALE: $1/8" = 1'-0"$



2 | PROPOSED SITE PLAN



SCALE: 1/8" = 1'-0"

LIFE SAFETY INFORMATION

OCCUPANCY GROUPS: ASSEMBLY-TAVERNS & BARS (A-2)
CODE COMPLIANCE: FLORIDA BUILDING CODE 8TH EDITION (2023)
NFPA LIFE SAFETY CODE 2024 EDITION
FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023)

LIFE SAFETY NOTES:

1. NO DOOR OR IN A MEANS OF EGRESS SHALL SWING AGAINST THE DIRECTION OF EXIT TRAVEL WHERE DOORS ARE REQUIRED TO SWING IN THE DIRECTION OF EXIT TRAVEL.

2. DOORS SHALL BE ARRANGED TO BE READILY OPENED FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOOKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT FOR OPERATION FROM THE INSIDE OF THE BUILDING.

3. THE MINIMUM WIDTH OF ANY EXIT ACCESS SHALL BE AS SPECIFIED FOR INDIVIDUAL OCCUPANCIES BY CHAPTER 8 THRU 30 (NFPA) BUT IN NO CASE SHALL SUCH WIDTH BE LESS THAN 36"

4. VERIFY DEMISING PARTITION WALLS BETWEEN TENANTS IS CONSTRUCTED IN ACCORDANCE WITH TABLE 508.4 (FBC 8th ED) HAVING A MINIMUM OF 1-HR FIRE RESISTANCE RATING.

5. FLOOR SURFACES ON BOTH SIDES OF DOOR SHALL HAVE NO LESS THAN 1/2" CHANGE IN ELEVATION 101-7.2.1.3 FFPC 8th ED.

FIRE PROTECTION: NFPA 101 LIFE SAFETY CODE 13.3.5
THE SPACE IS NOT EQUIPED WITH FIRE SPRINKLERS

INTERIOR WALL & CEILING FINISHES:
INTERIOR WALL AND CEILING FINISHES MATERIALS SHALL COMPLY WITH NFPA 8TH ED SECTION 13.3.5 AND SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

EXIT ENCLOSURES CLASS A
LOBBIES AND CORRIDORS CLASS B
ROOMS AND ENCLOSED SPACES CLASS B

INTERIOR FLOOR FINISHES:
INTERIOR FLOOR FINISH MATERIALS IN EXIT ENCLOSURES AND EXIT ACCESS CORRIDORS AND SPACES NOT SEPARATED FROM THEM BY WALLS MIN. 1/2HR. FIRE WALLS SHALL NOT BE LESS THAN CLASS 2

OCCUPANCY GROUP: A-2 ASSEMBLY BAR
LOW HAZARD CONTENT CLASSIFICATION

CODE COMPLIANCE: FBC 8th ED.
NFPA 101 2023 LIFE SAFETY CODE
FLORIDA FIRE-PREVENTION CODE -8th. ED

NOTE:
ALL DOORS ALONG AN ACCESSIBLE ROUTE SHALL HAVE 'U' TYPE PULLS & COMPLY W/ FBC ACCESSIBILITY 404.2.7

FIRE EXTINGUISHER NOTES:
OWNER TO PROVIDE ONE FIRE EXTINGUISHER 2A-10BC TYPE, FOR EACH 3000 SQ. FT. OF BUILDING AREA WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC 8th ED SECTION 906, FFPC 8th ED. 9.9 SEE FLOOR PLAN FOR LOCATIONS.

5LB
2A-10BC

FLAME SPREAD NOTES:
ALL INTERIOR FINISHES INCLUDING WALLS, PARTITIONS, CEILINGS AND OTHER EXPOSED INTERIOR SURFACES, COMPRISING BOTH PLASTER, WOOD OR OTHER INTERIOR FINISH MATERIAL & ANY SURFACING MATERIAL SUCH AS PAINT OR WALL PAPER APPLIED THEREOF SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS 'A' OR 'B', FOR ASSEMBLY OCCUPANCIES PER FFPC 8th ED - 13.3.3

CLASS 'A':(FLAMESPREAD 0-25, SMOKE DEVELOPED 0-450)

CLASS 'B':(FLAMESPREAD 26-75, SMOKE DEVELOPED 0-450)

PLUMBING FIXTURES:

REQUIRED FIXTURES - F.B.C. TABLE 2902.1

	CODE REQUIREMENT	PROVIDED
WATER CLOSETS	1 PER 40	2
LAVATORIES	1 PER 75	2

MEANS OF EGRESS:

OCCUPANT LOAD - FOR EGRESS CALCULATIONS	F.B.C. TABLE 1004.5
ASSEMBLY A-2 BAR = 232 S.F. FOR BAR AREAS	232 S.F./15 = 16 OCC.
ASSEMBLY FIXED SEATING = 23'-5" LINEAR FEET	23'-5" L.F./18" = 16 OCC.
KITCHEN = 172 S.F.	172 S.F./200 = 1 OCC
STORAGE = 220 S.F.	220 S.F./300 = 1
(SEE FLOOR PLAN)	TOTAL = 34

	CODE REQUIREMENT	PROVIDED
NUMBER OF EXISTS F.B.C. TABLE 1006.3.2	2	2

TRAVEL DISTANCE LIFE SAFETY CODE 2024 ED. SECT. 13.2.6.2	200 FT MAX	68'-5" MAX
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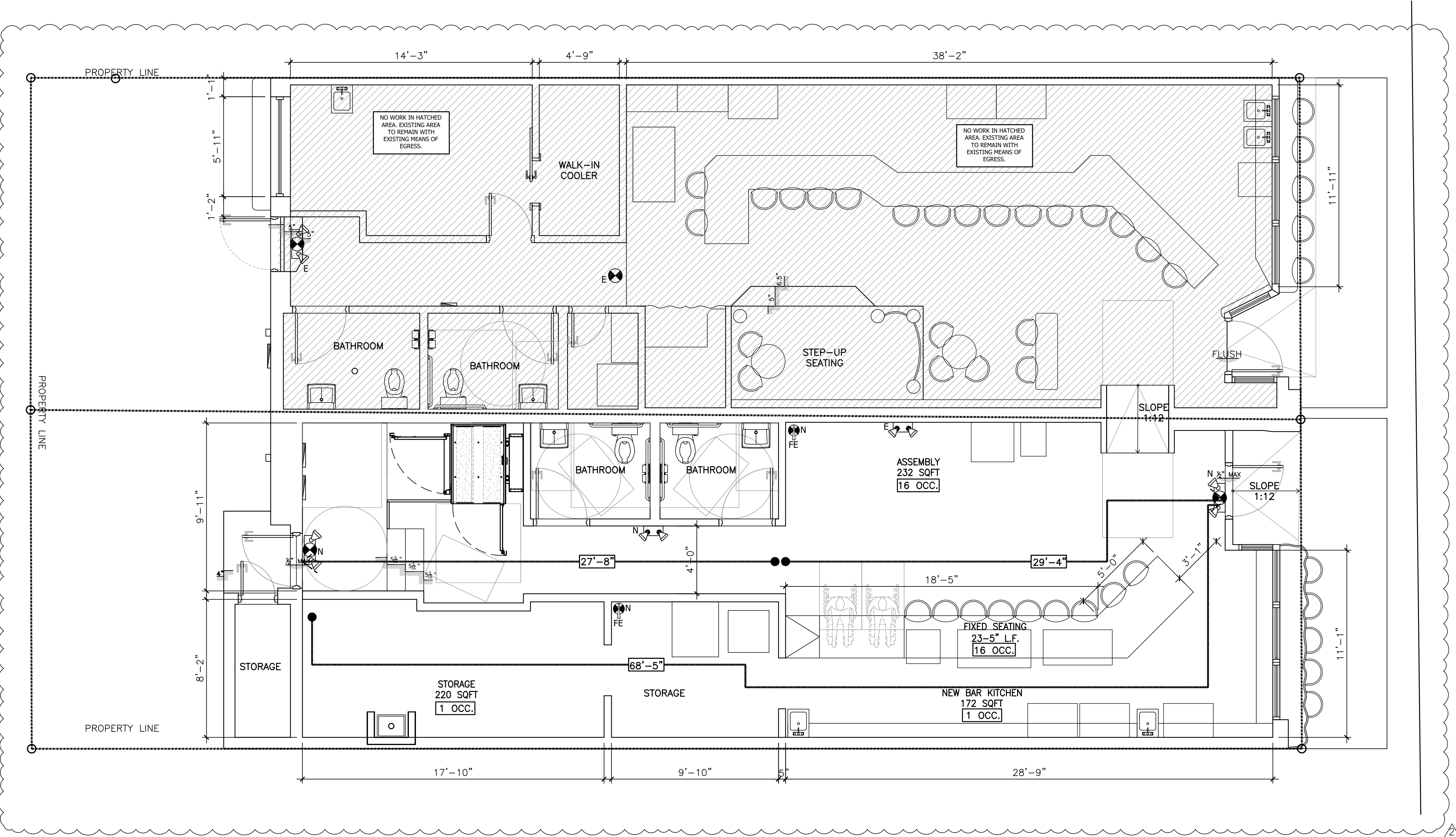
COMMON PATH OF TRAVEL LIFE SAFETY CODE 2024 ED. SECT. 13.2.5.2	20 FT MAX	19'-3" MAX
--	-----------	------------

DEAD-END CORRIDOR F.B.C. TABLE 1020.5	20'-0" MAX	N/A
--	------------	-----

CORRIDOR WIDTH F.B.C. TABLE 1020.3	44" MINIMUM	48"
---------------------------------------	-------------	-----

SINGLE EXISTS F.B.C. TABLE 1006.3.3(2)	49 MAX OCCUPANCY 75 FT MAX TRAVEL	1 OCCUPANT 68'-5" TRAVEL DISTANCE
---	--------------------------------------	--------------------------------------

1 NOTES

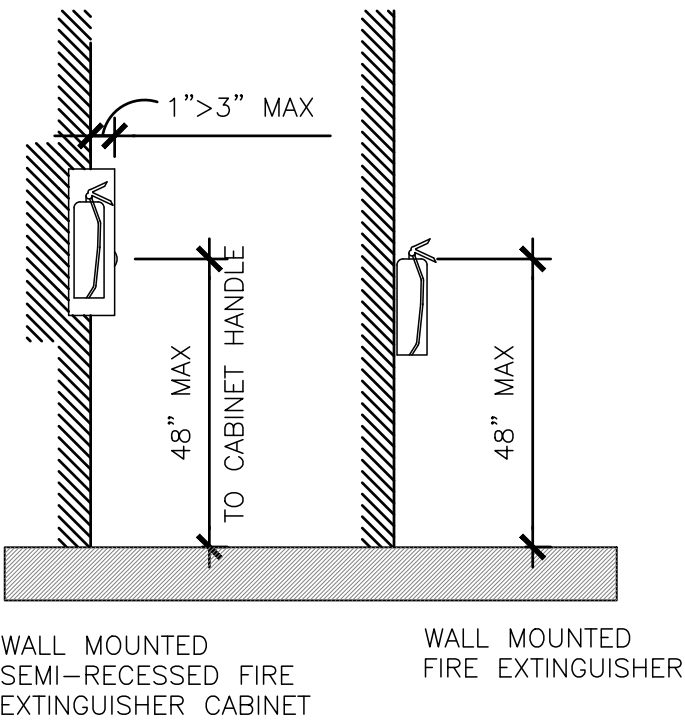


LEGEND

	EXIST. 8" CMU EXTERIOR WALL
	EXIST. INTERIOR PARTITION WALLS W/ WOOD OR METAL STUDS AND GWB TO BOTH SIDES
	NEW 3/8" OR 6" 25 GA METAL STUDS @ 16" O.C. W/ 8" GWB AT EACH SIDE TO 6" ABOVE CEILING.
	PROVIDE 20 GA METAL STUDS AT PARTITIONS SUPPORTING FIXTURES AND MILLWORK WITH WOOD BACKING THE FULL LENGTH OF THE FIXTURE AND MOISTURE RESISTANT CEMENT BOARD AT WET LOCATIONS.
	NEW COMBINED EXIT/EMERGENCY LIGHT W/ BATTERY BACKUP TO BE INSTALLED
	NEW EMERGENCY LIGHT W/ BATTERY BACKUP TO BE INSTALLED
	5LB FIRE EXTINGUISHER TO BE INSTALLED
	EXIST. DOOR TO REMAIN
	EXIST. STOREFRONT WINDOW TO REMAIN
	NEW
	EXISTING
	TRAVEL DISTANCE/COMMON PATH OF TRAVEL

FIRE EXTINGUISHERS

NOTE: FIRE EXTINGUISHERS SHALL BE INSTALLED AND MAINTAINED AS PER NFPA 10, LATEST EDITION. (STANDARDS FOR PORTABLE FIRE EXTINGUISHERS)



2 LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

3 LEGEND



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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
**OCTOPUS BAR
EXPANSION**
1940 & 1942 HOLLYWOOD BLVD,
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
**LIFE SAFETY PLAN
AND NOTES**

REVISIONS
No. DATE DESCRIPTION

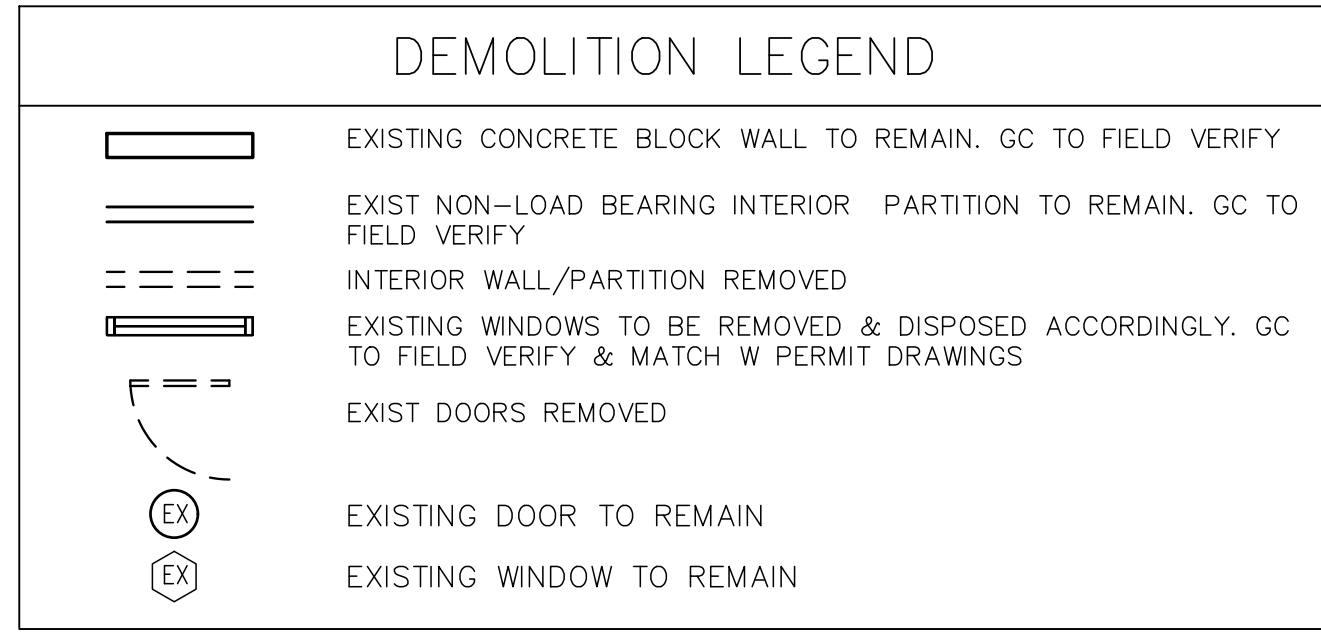
REVISIONS	No.	DATE	DESCRIPTION
1	7/19/25		BUILDING COMMENTS
2			
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10			

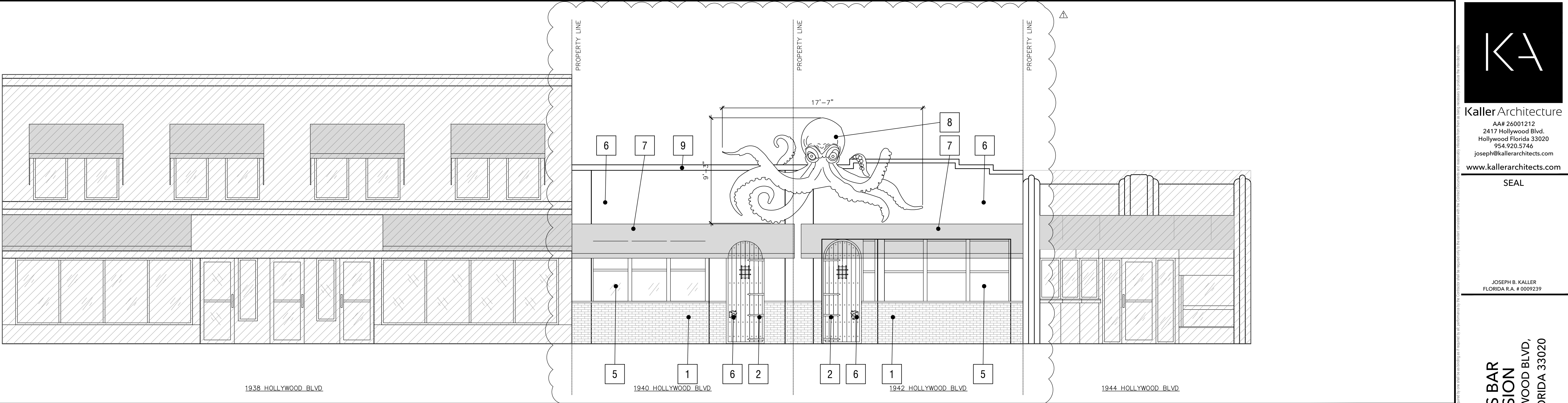
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PROJECT No.: 24006
DATE: 08.19.24
DRAWN BY: CR
CHECKED BY: JBK

SHEET

LS-1





3

PROPOSED ELEVATION

SCALE: 1/4" = 1'-0"

1

NEW SLATE DARK SLATE STONE TO BE ADD UNDER COUNTER OF FACADE. - OWNER & G.C TO SELECT MANUFACTURER OF SLATE STONE.

2

NEW SOLID WOOD CLASSICAL FRONT ENTRANCE AND EXIST DOOR (NOA NO. 23-1024.05)

3

NEW OCTOPUS TANTACLE DOOR HANDLES TO BE ADDED IN NEW FRONT ENTRANCE DOORS.

4

NEW WOODEN BOLLARD AND ROPE DIVIDER TO MATCH EXISTING OUTDOOR LOUNGEU AREA- OWNER AND G.C. TO SELECT AND MATCH EXISTING WODDEN BOLLARDS.

5

NEW WINDOWS WITH BRONZE COLORING MULLIONS FOR STOREFRONT FACADE. - OWNER & G.C. TO FINAL PRODUCT.(WINDOW - NOA NO. 23-0714.14)

6

NEW SMOOTH STUCCO AND PAINT COLOR FINISH TO MATCH EXISTING- TO BE SELECTED BY OWNER AND G.C.

7

NEW FORNT FACADE AWNING TO BE SELECTED BY OWNER AND G.C. -(NOA NO. 21-1209.04)

8

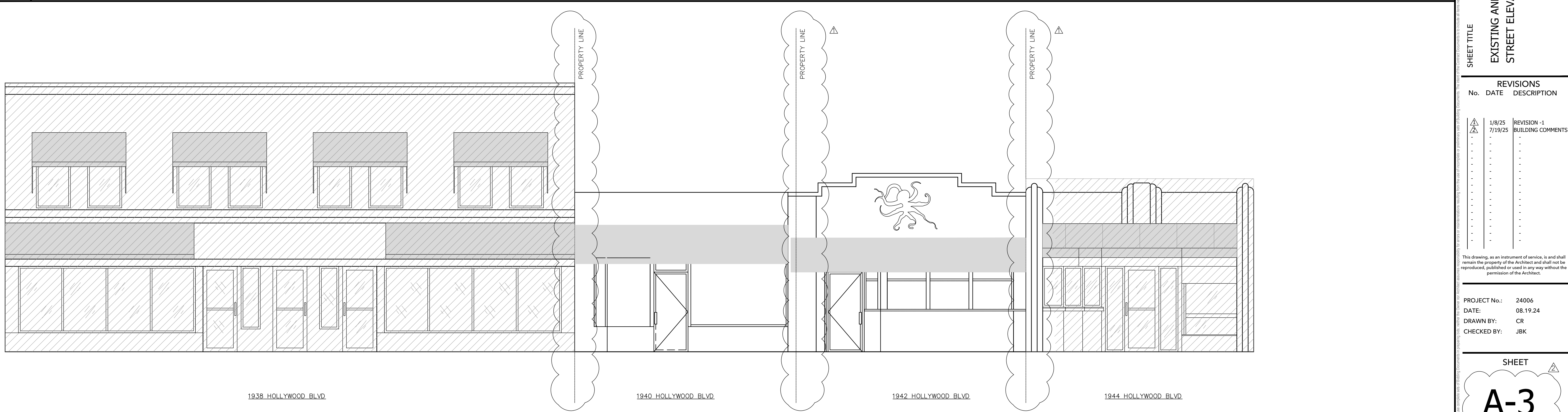
OCTOPUS ARCHITECTURAL FEATURE FINISHES TO BE GIVEN BY MANUFACTURER SHOP DRAWINGS AND APPROVED BY G.C.

9

PARAPET TO EXTEND FROM EXISTING BAR AREA AND MATCH COLOR.

2

FRONT FACADE LEGEND



1

EXISTING ELEVATION

SCALE: 1/4" = 1'-0"



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SEAL

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OCTOPUS BAR
EXPANSION
1940 & 1942 HOLLYWOOD BLVD,
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
EXISTING AND PROPOSED
STREET ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	1/8/25	REVISION -1
2	7/19/25	BUILDING COMMENTS

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DATE: 08.19.24
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SHEET
A-3



EXISTING CROSS SECTION SCALE: 1/4" = 1'-0"

PROJECT TITITILLAS (1940 & 1941)

PROJECT TITLE

OCTOPUS BAR
EXPANSION

1940 & 1942 HOLLYWOOD BLVD,
HOLLYWOOD, FLORIDA 33020

[illegible]

SHEET

A-4



1938 HOLLYWOOD BLVD



1938-1948 HOLLYWOOD BLVD



1944 HOLLYWOOD BLVD

KA

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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
**OCTOPUS BAR
EXPANSION**
1940 & 1942 HOLLYWOOD BLVD,
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
STREET CONTEXT

REVISIONS
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	7/19/25	BUILDING COMMENTS
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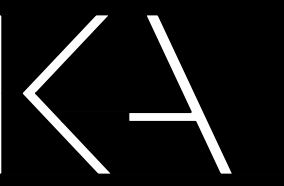
PROJECT No.: 24006
DATE: 08.19.24
DRAWN BY: CR
CHECKED BY: JBK

SHEET
A-5



1

PROPOSED DAYTIME RENDERING



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Hollywood Florida 33020
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joseph@kallerarchitects.com
www.kallerarchitects.com

EAL

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FLORIDA R.A. # 0009239

PROJECT TITLE

**OCTOPUS BAR
EXPANSION**

1940 & 1942 HOLLYWOOD BLVD,
HOLLYWOOD, FLORIDA 33020

SHEET TITLE	PROPOSED RENDERING

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

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PROJECT No.: 24006
DATE: 08.19.24
DRAWN BY: CR
CHECKED BY: JBK

SHEET

A-6



Kaller Architecture

SEAL

PROJECT TITLE

OCTOPUS BAR
EXPANSION


1940 & 1942 HOLLYWOOD BLVD,
HOLLYWOOD, FLORIDA 33020

SHEET TITLE

PROPOSED RENDERING

[illegible]

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SHEET  2

A-7

July 2, 2025

Barret Windish, Owner
Octopus Bar Downtown Hollywood

Dear Barret,

My schedule will not allow me to attend the upcoming development review meeting regarding the Octopus Property Improvement Project (PIP), but I want to make sure that I provide you with this letter outlining the reasons for supporting your application.

When we first met to discuss this project, I encouraged you to use the grant opportunity to make the Octopus a downtown landmark and destination. I believe the expansion of the existing space and comprehensive design changes included in your proposal meet that expectation.

A significant element of the overall improvement is the conversion of the existing large flat metal octopus currently on the façade into what will be a new dynamic three dimensional element. The existing flat metal octopus does not create any meaningful impact along the street frontage and is not significant enough to be an identifier for the Octopus as a destination. This project provides an opportunity to improve the curb appeal and identity of the Octopus while improving the space to accommodate potential new visitors to Downtown Hollywood. Visitors will notice this new detail and travel to downtown Hollywood to see it in person. As expected, this important element of the project has been met with some trepidation by some of those involved in the review process. I should point out that processing this part of the proposed improvements as a variance should alleviate the precedent setting concern. Further, the fact that this element is included as part of a CRA grant application already reviewed and unanimously approved by the CRA Board should help to secure all necessary approvals. In my opinion, the most important aspect of this application, which includes public funding, is to make sure that the public investment will create significant positive change to entice further private investment. This application meets that standard and I am hopeful that your willingness to make this investment will instill confidence in other business owners to follow your lead. In an ideal situation, the CRA grant participation should create a comprehensive and transformative outcome, which I believe is exactly what will occur at the Octopus once the project is completed.

Thank you for being willing to participate as a partner with the CRA and buying into the vision for improving Downtown Hollywood. I hope that you will receive unanimous support from all the review boards involved in the approval process for your grant project. Please let me know if there is anything else I can do to facilitate this outcome.

Sincerely,

Jorge A. Camejo

Jorge A. Cameo, AICP



president.dhbo@gmail.com

July 15, 2025

To Whom It May Concern,

I am pleased to write this letter in support of Barrett Windish's proposed storefront design for The Octopus Bar. Barrett has been a dedicated member of the Downtown Hollywood Business Association (DHBA) since becoming a business owner in downtown Hollywood in 2011.

Throughout his tenure, Barrett has demonstrated a strong commitment to the vibrancy and growth of our community. His proposed storefront design reflects both creativity and innovation, and I believe it will serve as a positive attraction for Downtown Hollywood. This distinctive design will help set our area apart from other South Florida Downtowns, which are often characterized by uniform, cookie-cutter storefronts.

I wholeheartedly endorse Barrett's design and am confident it will contribute to enhancing the unique character and appeal of our Downtown district.

Sincerely

A handwritten signature in black ink, appearing to read "Mark Rowe".

Mark Rowe
President
Downtown Hollywood Business Association