



GENERAL APPLICATION

API	PLICATION DATE:						
2600 Hollywood Blvd Room 315 Hollywood, FL 33022		Planning and Development Board	Art in Public Places Committee	Variance Special Exception			
Tel: (954) 921-3471		PROPERTY INFORMATION					
Email: Development@							
Hollywoodfl.org		Location Address: Block(s): Subdivision:					
SUBMISSION REQUIREMENTS:		Folio Number(s):					
•	One set of signed & sealed plans (i.e. Architect or Engineer)	Zoning Classification: Land Use Classification: Existing Property Use: Sq Ft/Number of Units:					
One electronic <u>combined</u> PDF submission (max. 25mb)		Is the request the result of a violation notice? Yes No If yes, attach a copy of violation. Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s):					
•	Completed Application Checklist	, , <u></u>			_		
Application fee DEVELOPMENT PROPOSAL Explanation of Request:							
		Phased Project: Yes No Number of Phases:					
		Project	Proposal				
		Units/rooms (# of units)	# UNITS:	#Rooms			
NOTE:		Proposed Non-Residential Uses		S.F	.)		
•	This application must be completed in full and submitted with all documents to be placed on a Board or	Open Space (% and SQ.FT.)	Required %: (Ar	rea: S.F	.)		
		Parking (# of spaces)	PARK. SPAC	CES: (#)		
		Height (# of stories)	(# STORIES)	(FT.)		
	Committee's agenda. The applicant is	Gross Floor Area (SQ. FT)	Lot(s) Gross	Area (FT.)			
responsible for obtain- ing the appropriate checklist for each type of application.		Name of Current Property Owner: Address of Property Owner: Telephone: Email Address:					
•	Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.	Applicant					
		Address:Telephone:					
	<u> </u>	Email Address: Email Address #2:					
		Date of Purchase: Is there an option to purchase the Property? Yes \(\subseteq \text{No } \subseteq \)					
		If Yes, Attach Copy of the Contract.					
CLICK HERE FOR		Noticing Agent (FTAC & Board submissions only) :					

E-mail Address:_

MEETING DATES



GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: <u>8.27.20</u> 24					
PRINT NAME: MOSHE YALON	Date: 8,27,2024					
Signature of Consultant/Representative:	Date:					
PRINT NAME: Signature of Tenant:	Date: 427/24					
PRINT NAME: BARRETT WINDISH	Date:					
Current Owner Power of Attorney						
I am the current owner of the described real property and that I am aware of the nature and effect the request for to my property, which is hereby made by me or I am hereby authorizing to be my legal representative before the(Board and/or Committee) relative to all matters concerning this application.						
Sworn to and subscribed before me	al					
this 27th day of August Language My Commission # HH 342075 Expires: April 15, 2027 Print Name	FCurrent Owner					
State of Florida My Commission Expires: 8/27/24 (Check One) Personally known to me; OR Produced Identification Privars						
My Commission Expires: Mail A Check One Fersonally known to the, OR Produced Identification Produced Identific						



1940-1942 Hollywood Blvd, Hollywood, FL 33020 Job# 24006

1940 HOLLYWOOD BLVD LEGAL DESCRIPTION:

HOLLYWOOD 1-21 B LOT 45 N 75 OF E 19.78 BLK 25

This is a 1,194 sqft restaurant located on Hollywood Blvd.

1942 HOLLYWOOD BLVD LEGAL DESCRIPTION:

HOLLYWOOD 1-21 B LOT 45 N 75 OF W 5.22 & LOT 46 N 75 OF E 15 BLK 25

This is a 1,185 sqft restaurant located on Hollywood Blvd.



CRITERIA OF APPROPRIETNESS FOR DESIGN 1940-1942 Hollywood Blvd, Hollywood, FL 33020 Job# 24006

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Both of these spaces are located in the Hollywood Business Historic District, at 1940 and 1942 Hollywood Blvd. It was built in the early 1930s and sits along the street with other restaurants, stores, and businesses that are similar or slightly larger in size.

CRITERION: DESIGN

ANALYSIS: The current style of the building is masonry vernacular. It is a simple stucco finish with minimal architectural details. The proposed storefront renovation would maintain the overall style of the building, while adding some stonework on the knee wall and new wooden round top doors.

CRITERION: SETTING

ANALYSIS: The setting of the existing building is typical of most of the businesses in the downtown district of Hollywood Blvd and is located on the South side of the street. It is located at the end of the 1900 block. The street maintains generous sidewalks and pedestrian access to the businesses and the street.

CRITERION: MATERIALS

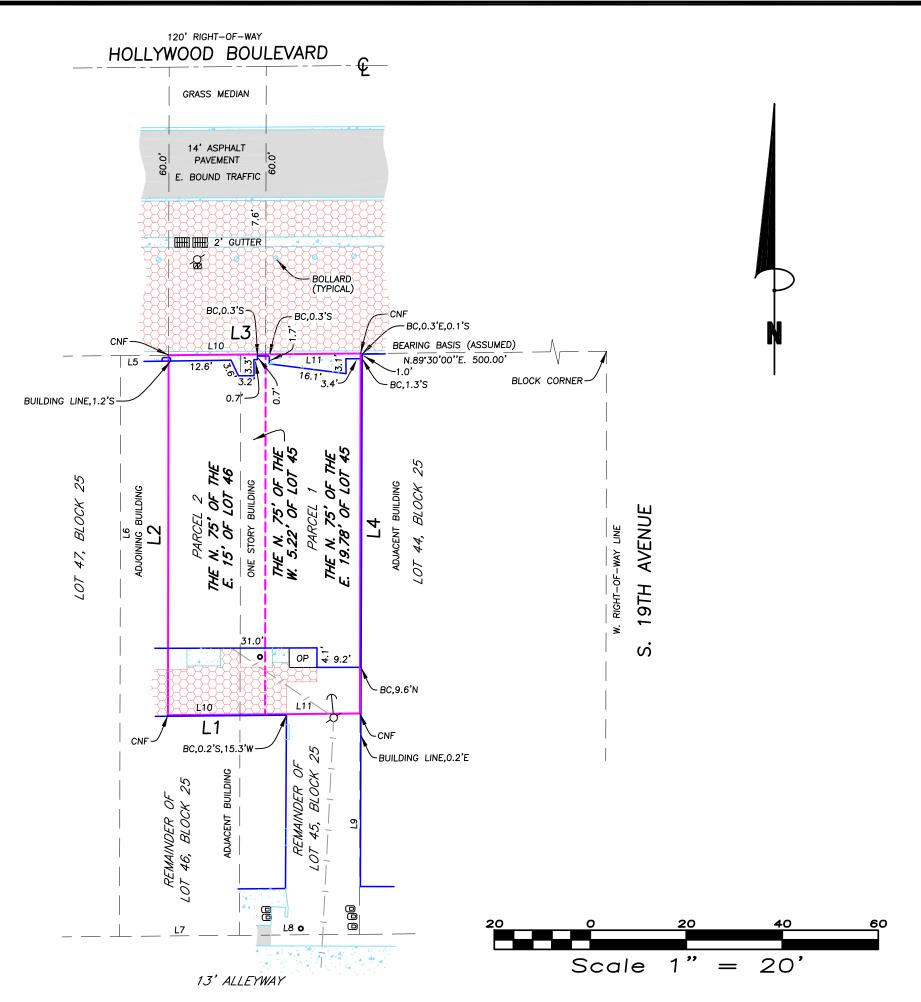
ANALYSIS: All of the materials that will be used in the proposed renovation to the building will be authentic to the existing style and architecture of the building. They will be durable and meet or exceed the requirements of the current Florida Building Code.

CRITERION: WORKMANSHIP

ANALYSIS: Workmanship on the proposed storefronts and interior renovations for both spaces will be such that all State and Local laws will be upheld. Necessary barricading will be done to preserve the site, as well as the appropriate practices will meet or exceed the requirements of the Florida Building Code 2023 and the State of Florida Department of Environmental Protection.

CRITERION: ASSOCIATION

ANALYSIS: The City of Hollywood's Business Historic District is unique compared to other business areas in South Florida. The streets are pedestrian friendly and therefore allow for the locals to easily participate in all activities and businesses in the district at their leisure. This environment dictates a scale, rhythm, and pattern of the businesses in the neighborhood.



LEGAL DESCRIPTION PARCEL 1

THE NORTH 75 FEET OF THE EAST 19.78 FEET OF LOT 45, IN BLOCK 25, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWRAD COUNTY, FLORIDA.

PARCEL 2 THE NORTH 75 FEET OF THE WEST 5.22 FEET OF LOT 45, AND THE NORTH 75 FEET OF THE EAST 15 FEET OF LOT 46, IN BLOCK 25, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWRAD COUNTY, FLORIDA.

CERTIFIED TO: KR HOLDING INC

PROPERTY ADDRESS 1942 HOLLYWOOD BOULEVARD HOLLYWOOD, FL 33020

BOUNDARY SURVEY INVOICE # 45186 SURVEY DATE 07/16/25

FLOOD ZONE X/X0.2% MAP DATE 07/31/24 MAP NUMBER 125113 0569J

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S.89*30'00''W.	40.00'
L2	N.00°06'08''E.	75.00'
L3	N.89°30'00''E.	40.00'
L4	S.00°06'08"W.	75.00'
L5	S.89*30'00''W.	10.00'
L6	S.00°06'08"W.	121.00'
L7	N.89°30'00''E.	25.00'
L8	N.89°30'00''E.	25.00'
L9	N.00°06'08''E.	46.00'
L10	S.89°30'00''W.	20.22'
L11	S.89*30'00''W.	19.78'

SURVEYOR'S NOTES

- 1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH. 2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER WEBSITE. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
 4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
- 5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH. 6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS
- OTHERWISE INDICATED ON SKETCH. 7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE
- FACE OF WALL. 8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO
- MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS 9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL
- AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED. 10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
- 11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS 12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
- 13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.

GUY ANCHOR WATER METER

ECATCH BASIN OCLEAN OUT

FP&L BOX

 MANHOLE ☑CABLE BOX ØELECTRIC SERVICE ☑WELL ☐POOL EQUIPMENT XWATER VALVE

O POWER/LIGHT POLE **⊕**SPRINKLER SYSTEM 立CONTROL VALVE

> CONCRETE/CHAT ASPHALT PAVEMENT

BRICK/TILE PAVERS WOOD DECK/DOCK

PROPERTY LINE CENTERLINE

CONCRETE WALL — × —— × —— METAL FENCE WOOD/PVC FENCE

OVERHEAD WIRES

/_0.00 ELEVATION

ABBREVIATIONS AIR CONDITIONER AC AE BC BM BW C ANCHOR EASEMENT BUILDING CORNER BENCHMARK BACK OF WALK CALCULATED CORNER NOT FOUND DRAINAGE EASEMENT END/FENCE EDGE OF PAVEMENT EDGE OF WATER FENCE/CORNER

FINISH FLOOR FENCE/LINE FOUND IRON PIPE FIR FOUND IRON ROD

FOUND NAIL FN&D FOUND NAIL & DISC FN&T FOUND NAIL & TAB FLORIDA POWER & LIGHT

GAR **GARAGE** GEN **GENERATOR** INSTR OP INSTRUMENT

OPEN PORCH ORB OFFICIAL RECORD BOOK MEASURED NOT TO SCALE

PB PC POB POC PG PRC PLAT BOOK
POINT OF CURVATURE
POINT OF BEGINNING POINT OF COMMENCEMENT

POINT OF REVERSE CURVE PERMANENT REFERENCE

MONUMENT POINT OF TANGENCY PT RECORD

RAD RADIAL RIGHT-OF-WAY SET NAIL & DISC 5495

SCREENED PORCH SP&C SET 1/2" PIN & CAP 5495 UTILITY EASEMENT



PAUL J STOWELL PROFESSIONAL LAND SURVEYOR FLORIDA CERTIFICATION NO. 5241 ATLANTIC COAST SURVEYING, INC. 13798 NW 4th Street, Suite 306 Sunrise, FL 33325

P: 954.587.2100 E: info@acsiweb.net

OCTOPUS BAR EXPANSION

1940-1942 HOLLYWOOD BLVD, HOLLYWOOD, FL 33020

INTERIOR FINISHES **GENERAL NOTES** LOCATION PLAN PROJECT TEAM FIRE PROTECTION: NFPA 101 LIFE SAFETY CODE 13.3.5 **ARCHITECT:** THE SPACE HAS NO FIRE SPRINKLERS JOSEPH B. KALLER & ASSOCIATES P.A. (C) JOSEPH B. KALLER INTERIOR WALL & CEILING FINISHES: 2417 HOLLYWOOD BLVD, <u>1. PERMITS:</u> CONTRACTOR SHALL CONTAIN IN THEIR BID AS WELL AS SECURE ALL NECESSARY HOLLYWOOD, FL 33020 INTERIOR WALL AND CEILING FINISH MATERIALS SHALL COMPLY BUILDING PERMITS, NOT LIMITED, PLUMBING, ELECTRICAL, MECHANICAL, OCCUPANCY AND OTHER P 954.920.5746 WITH NFPA 8TH ED SECTION 13.3.5 AND SHALL BE IN PERMITS, AT HIS EXPENSE, SO THAT THE OWNER CAN OBTAIN HIS CERTIFICATE OF OCCUPANCY. F 954.926.2841 ACCORDANCE WITH THE FOLLOWING: JOSEPH@KALLERARCHITECTS.COM 2. QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUB — CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO EXIT ENCLOSURES CLASS A MEET THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.. CLASS B LOBBIES AND CORRIDORS KR HOLDING INC 3. OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR ROOMS AND ENCLOSED SPACES CLASS B 2500 E HALLANDALE BEACH BLVD TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUBCONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE. HALLANDALE BEACH, FL 33009 **INTERIOR FLOOR FINISHES:** <u> 4. EXISTING CONDITIONS:</u> CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT INTERIOR FLOOR FINISH MATERIALS IN EXIT ENCLOSURES AND HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE EXIT ACCESS CORRIDORS AND SPACES NOT SEPARATED FROM LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL THEM BY WALLS MIN. 1/2HR. FIRE WALLS SHALL NOT BE KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF LESS THAN CLASS 2 THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY PROJECT DATA OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER OCCUPANCY GROUP: A-2 ASSEMBLY BAR PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL CODE COMPLIANCE: FBC 8th ED. COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY REMOVAL OF ANY NFPA 101 2024 LIFE SAFETY CODE OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK. FLORIDA FIRE-PREVENTION CODE -8th. ED 5. ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD, SITE ADDRESS: 1940 HOLLYWOOD BLVD. LOW HAZARD CONTENT CLASSIFICATION THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE BUILDING DOCUMENTS PERMIT. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO PARCEL ID: 5142-15-01-4850 THE COMMENCEMENT OF WORK. <u>DO NOT</u> SCALE DRAWINGS — USE DIMENSIONS ONLY. LARGE SCALE ZONING: RC-2 - HISTORIC RETAIL CORE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT. HOLLYWOOD 1-21 B LOT 45 N 75 OF E 19.78 BLK 25 LEGAL DESCRIPTION: SCOPE OF WORK DO NOT SEPARATE THE DRAWINGS, EACH SUBCONTRACTOR IS TO RECIEVE A FULL SET OR SETS OF PLANS SINCE ONE TRADE MAY IMPACT ANOTHER IN THE SEQUENCE OF WORK. AREA OF BUILDING: 1,194 S.F. GROSS A-2 RESTAURANT PREVIOUS USE: 6. COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE 2017 ED., LIFE SAFETY CODE (N.F.P.A. 101) 2015 ED., FLORIDA FIRE PREVENTION CODE 6th ED., AND ALL LOCAL PROPOSED USE: A-2 BAR CODES AND ORDINANCES. SCOPE OF WORK: TYPE OF CONSTRUCTION: TYPE 3 B F.B.C. SECTION 601 TYPE 3(200) F.F.P.C. 8TH ED. TABLE A.12.2.1. 1942 HOLLYWOOD BLVD: 7. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE LEVEL OF ALTERATION: ALTERATION LEVEL 2 1. ALL EXISTING INTERIOR WALLS AND DOORS TO REMAIN EXCEPT THOSE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY FIRE SPRINKLER: THE BUILDING IS NOT SPRINKLERED. TO BE REMOVED AS INDICATED IN THE DEMOLITION PLAN. ALL IN THE CONSTRUCTION SEQUENCE. ELECTRONIC FILES ARE ACCEPTED. G.C. SHALL SUBMIT SHOP DRAWINGS FOR THE FOLLOWING AS WELL THOSE REQUIRED BY THE CODE EXISTING EXTERIOR DOORS AND STOREFRONT WINDOWS TO REMAIN EXCEPT THOSE TO BE REMOVED AS INDICATED IN THE DEMOLITION AND CALLED FOR ELSEWHERE IN THE DRAWINGS. PLAN. SITE ADDRESS: 1942 HOLLYWOOD BLVD. 1. BATHROOM DOORS PARCEL ID: 5142-15-01-4860 2. ALL EXISTING UTILITIES TO REMAIN. 2. PAINT 3. WALL AND CEILING FINISHES ZONING: RC-2 - HISTORIC RETAIL CORE 3. NEW STOREFRONT DOOR AND WINDOWS TO BE INSTALLED. 4. MECHANICAL SYSTEMS & COMPONENTS LEGAL DESCRIPTION: HOLLYWOOD 1-21 B LOT 45 N 75 OF W 5.22 & LOT 46 5. ELECTRICAL SYSTEMS & COMPONENTS N 75 OF E 15 BLK 25 4. NEW BAR TOP TO BE INSTALLED AT EXTERIOR BAR. 6. PLUMBING SYSTEMS & COMPONENTS LOT AREA: 1,185 S.F. 5. EXISTING HOOD TO BE REMOVED. AREA OF BUILDING: 1,185 S.F. GROSS 8. PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT EXISTING BUILDINGS FROM DAMAGE PREVIOUS USE: A-2 BAR 6. EXISTING EXTERIOR MOP SINK TO BE REMOVED. DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME. PROPOSED USE: A-2 BAR 7. NEW WINDOW TO BE INSTALLED IN THE BACK WALL IN THE STORAGE 9. WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG TYPE OF CONSTRUCTION: TYPE 3 B F.B.C. SECTION 601 WITH THE BEST TRADE PRACTICES AND STANDARDS. TYPE 3(200) F.F.P.C. 8th ED. TABLE A.12.2.1. 8. 3'-8" X 8'-0" OPENING TO BE MADE BETWEEN BOTH BAYS. NEW LEVEL OF ALTERATION: ALTERATION LEVEL 2 4'-0" RAMP TO BE INSTALLED. 10. ALL WORK TO BE GUARANTEED AGAINST POOR WORKMANSHIP AND DEFECTS. FIRE SPRINKLER: THE BUILDING IS NOT SPRINKLERED. 9. NEW AWNING TO BE INSTALLED ON FRONT FACADE. 11. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE 1940 HOLLYWOOD BLVD: 1. ALL EXISTING INTERIOR WALLS AND DOORS TO REMAIN EXCEPT THOSE **MEANS OF EGRESS:** 12. CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT TO BE REMOVED AS INDICATED IN THE DEMOLITION PLAN. ALL THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY OCCUPANT LOAD - FOR EGRESS CALCULATIONS F.B.C. TABLE 1004.5 EXISTING EXTERIOR DOORS AND STOREFRONT WINDOWS TO REMAIN AND WORKMANLIKE APPEARANCE. EXCEPT THOSE TO BE REMOVED AS INDICATED IN THE DEMOLITION ASSEMBLY A-2 BAR = 537 S.F. FOR BAR AREAS 537 S.F./15 = 36 OCC. 13. GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED ASSEMBLY FIXED SEATING = 52'-7" LINEAR FEET 52'-7" L.F./18" = 35 OCC. AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEPT 2. ALL EXISTING UTILITIES TO REMAIN. BROOM CLEAN, CARPETS VACUUMED, FIXTURES WASHED AND ALL LABELS REMOVED. KITCHEN = 588 S.F. 588 S.F./200 = 3 OCC3. NEW STOREFRONT DOOR AND WINDOWS TO BE INSTALLED. 14. STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS STORAGE = 315 S.F. 315 S.F. / 300 = 2GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/OR INTERFERENCE WITH ANY 4. EXISTING HOOD IN THE FRONT TO BE REMOVED. EXISTING HOOD IN OF THE SURROUNDING OPERATIONS. (SEE FLOOR PLAN) TOTAL = 76THE STORAGE AREA TO REMAIN. 15. ALL WOOD IN CONTACT WITH MASONRY SHALL BE TREATED WOOD. 5. EXISTING WALK-IN-COOLER TO BE REMOVED. 16. PERMITTED SETS FOR THIS PROJECT ARE TO REMAIN INTACT THOUGHOUT COMPLETION OF 6. NEW PLATFORM, STAIRS, AND WHEELCHAIR LIFT TO BE INSTALLED AT CONSTRUCTION. REMOVAL OF INDIVIDUAL SHEETS CONTAINED WITHIN THE PERMITTED/APPROVED THE BACK DOOR. SETS EITHER BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS IS NOT PERMITTED. 7. EXISTING ICE MACHINE TO BE RELOCATED INSIDE. DRAWING INDEX 8. EXISTING BATHROOM FIXTURES TO BE RELOCATED WITHIN EXISTING BATHROOMS. 9. NEW HAND SINK TO BE INSTALLED IN NEW BAR AREA. DRAWING INDEX: 10. NEW LAY-IN CEILING TO BE INSTALLED THROUGHOUT STORAGE AREA COVER SHEET AND HALLWAY. SITE PLAN 11. NEW GWB CEILING TO BE INSTALLED IN THE FRONT IN PLACE OF THE LIFE SAFETY PLAN EXISTING LAY-IN CEILING TO MATCH SURROUNDING CEILING.

12. NEW CEILING FANS TO BE INSTALLED OVER NEW BAR AREA.

10. NEW AWNING TO BE INSTALLED ON FRONT FACADE.

DEMOLITION ELEVATION & PLAN

PROPOSED ELEVATION & PLAN

EXISTING CROSS SECTION

A-3

PROPOSED REFLECTED CEILING PLAN

STREET ELEVATIONS / FACADE LEGEND

PROPOSED DAY TIME RENDERING

PROPOSED DAY TIME RENDERING

PROPOSED NIGHT TIME RENDERING



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SEAL

JOSEPH B. KALLER FLORIDA R.A. # 0009239

IS BAR ISION WOOD BLVD,

OCTOPU EXPAN

SHEET TITLE

REVISIONS

No. DATE DESCRIPTION

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 24006

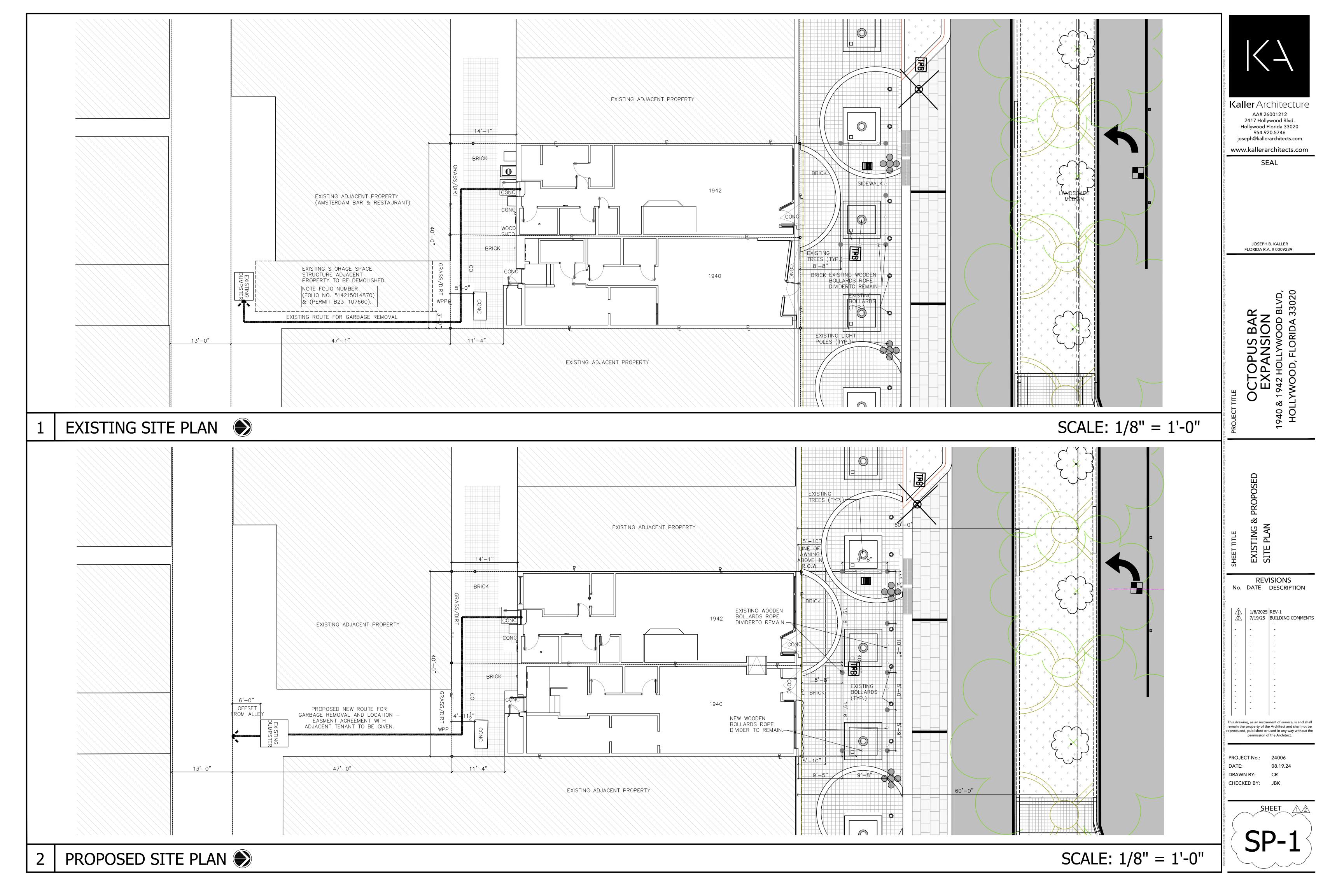
DATE: 08.19.24

DRAWN BY: CR

CHECKED BY: JBK

SHEET

T-1



LIFE SAFETY INFORMATION

OCCUPANCY GROUPS: ASSEMBLY-TAVERNS & BARS (A-2) FLORIDA BUILDING CODE 8TH EDITION (2023) CODE COMPLIANCE: NFPA LIFE SAFETY CODE 2024 EDITION

FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023)

<u>IFE SAFETY NOTES:</u>

I. NO DOOR OR IN A MEANS OF EGRESS SHALL SWING AGAINST THE DIRECTION OF EXIT TRAVEL WHERE DOORS ARE REQUIRED TO SWING IN THE DIRECTION OF EXIT TRAVEL.

2. DOORS SHALL BE ARRANGED TO BE READILY OPENED FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT FOR OPERATION FROM THE INSIDE OF THE BUILDING.

3. THE MINIMUM WIDTH OF ANY EXIT ACCESS SHALL BE AS SPECIFIED FOR INDIVIDUAL OCCUPANCIES BY CHAPTER 8 THRU 30 (NFPA) BUT IN NO CASE SHALL SUCH WIDTH BE LESS THAN 36"

4. VERIFY DEMISING PARTITION WALLS BETWEEN TENANTS IS CONSTRUCTED IN ACCORDANCE WITH TABLE 508.4 (FBC 8th ED) HAVING A MINIMUM OF 1-HR FIRE RESISTANCE RATING.

5. FLOOR SURFACES ON BOTH SIDES OF DOOR SHALL HAVE NO LESS THAN ½" CHANGE IN ELEVATION 101-7.2.1.3 FFPC 8th ED.

FIRE PROTECTION: NFPA 101 LIFE SAFETY CODE 13.3.5 THE SPACE IS NOT EQUIPED WITH FIRE SPRINKLERS

INTERIOR WALL & CEILING FINISHES INTERIOR WALL AND CEILING FINISHE MATERIALS SHALL COMPLY WITH NFPA 8TH ED SECTION 13.3.5 AND SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

EXIT ENCLOSURES CLASS A LOBBIES AND CORRIDORS CLASS B ROOMS AND ENCLOSED SPACES CLASS B

INTERIOR FLOOR FINISHES: INTERIOR FLOOR FINISH MATERIALS IN EXIT ENCLOSURES AND EXIT ACCESS CORRIDORS AND SPACES NOT SEPARATED FROM THEM BY WALLS MIN. 1/2HR. FIRE WALLS SHALL NOT BE LESS THAN CLASS 2

OCCUPANCY GROUP: A-2 ASSEMBLY BAR LOW HAZARD CONTENT CLASSIFICATION

CODE COMPLIANCE: FBC 8th ED.

NFPA 101 2023 LIFE SAFETY CODE FLORIDA FIRE-PREVENTION CODE -8th. ED

ALL DOORS ALONG AN ACCESSIBLE ROUTE SHALL HAVE 'U' TYPE PULLS & COMPLY W/ FBC ACCESSIBILITY 404.2.7

FLAME SPREAD NOTES:
ALL INTERIOR FINISHES INCLUDING WALLS, PARTITIONS, CEILINGS AND

AS PAINT OR WALL PAPER APPLIED THEREOF SHALL HAVE A FLAME

SPREAD CLASSIFICATION OF CLASS 'A' OR 'B', FOR ASSEMBLY

CLASS 'A': (FLAMESPREAD 0-25, SMOKE DEVELOPED 0-450)

CLASS 'B': (FLAMESPREAD 26-75, SMOKE DEVELOPED 0-450)

CODE REQUIREMENT

1 PER 40

1 PER 75

<u>PROVIDED</u>

OTHER EXPOSED INTERIOR SURFACES, COMPRISING BOTH PLASTER, WOOD

OR OTHER INTERIOR FINISH MATERIAL & ANY SURFACING MATERIAL SUCH

2A-10BC

FIRE EXTINGUISHER NOTES:

OWNER TO PROVIDE ONE FIRE EXTINGUISHER 2A-10BC

TYPE, FOR EACH 3000 SQ, FT, OF BUILDING AREA

WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC

8th ED SECTION 906, FFPC 8th ED. 9.9 SEE FLOOR

OCCUPANCIES PER FFPC 8th ED - 13.3.3

REQUIRED FIXTURES - F.B.C. TABLE 2902.1

PLAN FOR LOCATIONS.

PLUMBING FIXTURES:

WATER CLOSETS

LAVATORIES

MEANS OF EGRESS:

F.B.C. TABLE 1006.3.2

F.B.C. TABLE 1020.3

OCCUPANT LOAD - FOR EGRESS CALCULATIONS

ASSEMBLY A-2 BAR = 232 S.F. FOR BAR AREAS ASSEMBLY FIXED SEATING = 23'-5" LINEAR FEET

= 172 S.F. KITCHEN STORAGE = 220 S.F. 172 S.F./200 = 1 OCC 220 S.F./300 = 1TOTAL = 34

68'-5" MAX

F.B.C. TABLE 1004.5

232 S.F./15 = 16 OCC.

23'-5" L.F./18" = 16 OCC

CODE REQUIREMENT **PROVIDED** NUMBER OF EXISTS

(SEE FLOOR PLAN)

TRAVEL DISTANCE 200 FT MAX LIFE SAFETY CODE 2024 ED. SECT. 13.2.6.2

COMMON PATH OF TRAVEL 20 FT MAX 19'-3" MAX LIFE SAFETY CODE 2024 ED. SECT. 13.2.5.2

DEAD-END CORRIDOR 20'-0" MAX N/A F.B.C. TABLE 1020.5 48" 44" MINIMUM CORRIDOR WIDTH

SINGLE EXISTS 49 MAX OCCUPANCY 1 OCCUPANT 75 FT MAX TRAVEL 68'-5" TRAVEL DISTANCE F.B.C. TABLE 1006.3.3(2)

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SEAL

JOSEPH B. KALLER FLORIDA R.A. # 0009239

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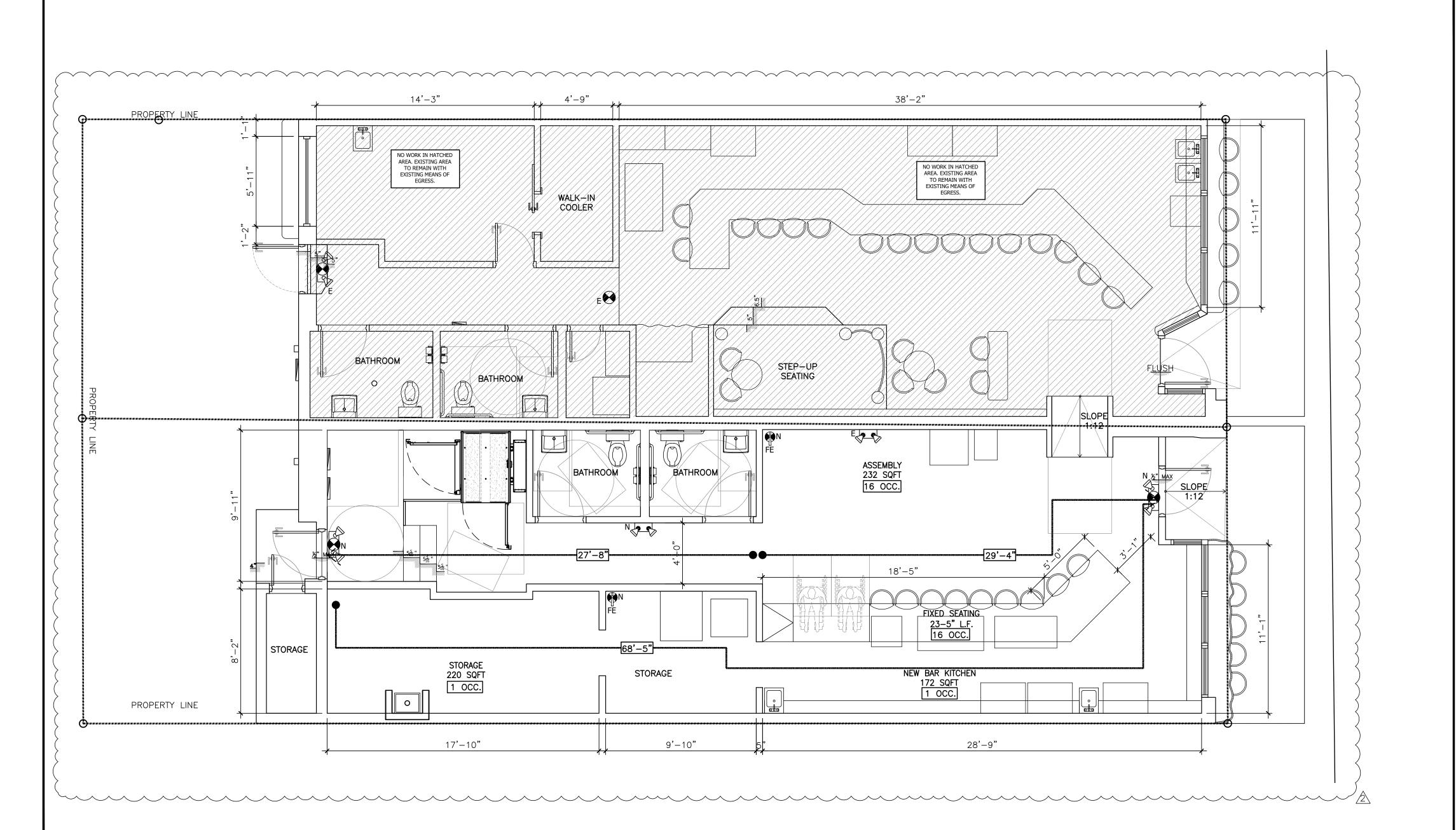
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2 7/19/25 BUILDING COMMENTS

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NOTES





EXIST. INTERIOR PARTITION WALLS W/ WOOD OR METAL STUDS AND

GWB TO BOTH SIDES

NEW 35" OR 6" 25 GA METAL STUDS @ 16" O.C. W/ 5" GWB AT EACH SIDE TO 6" ABOVE CEILING.

> PROVIDE 20 GA METAL STUDS AT PARTITIONS SUPPORTING FIXTURES AND MILLWORK WITH WOOD BACKING THE FULL LENGTH OF THE FIXTURE AND MOISTURE RESISTANT CEMENT BOARD AT WET LOCATIONS.

NEW COMBINED EXIT/EMERGENCY LIGHT W/ BATTERY BACKUP TO BE

5LB FIRE EXTINGUSHER TO BE

NEW EMERGENCY LIGHT W/ BATTERY BACKUP TO BE INSTALLED

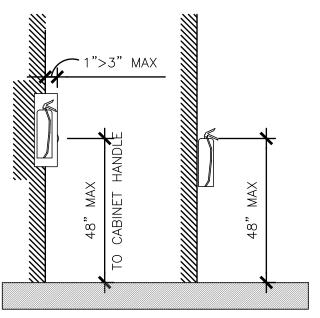
EXIST. DOOR TO REMAIN

EXIST. STOREFRONT WINDOW TO REMAIN NEW

EXISTING TRAVEL DISTANCE/COMMON PATH OF TRAVEL

FIRE EXTINGUISHERS

NOTE: FIRE EXTINGUISHERS SHALL BE INSTALLED AND MAINTAINED AS PER NFPA 10, LATEST EDITION. (STANDARDS FOR PORTABLE FIRE EXTINGUISHERS)



WALL MOUNTED SEMI-RECESSED FIRE EXTINGUISHER CABINET

WALL MOUNTED FIRE EXTINGUISHER

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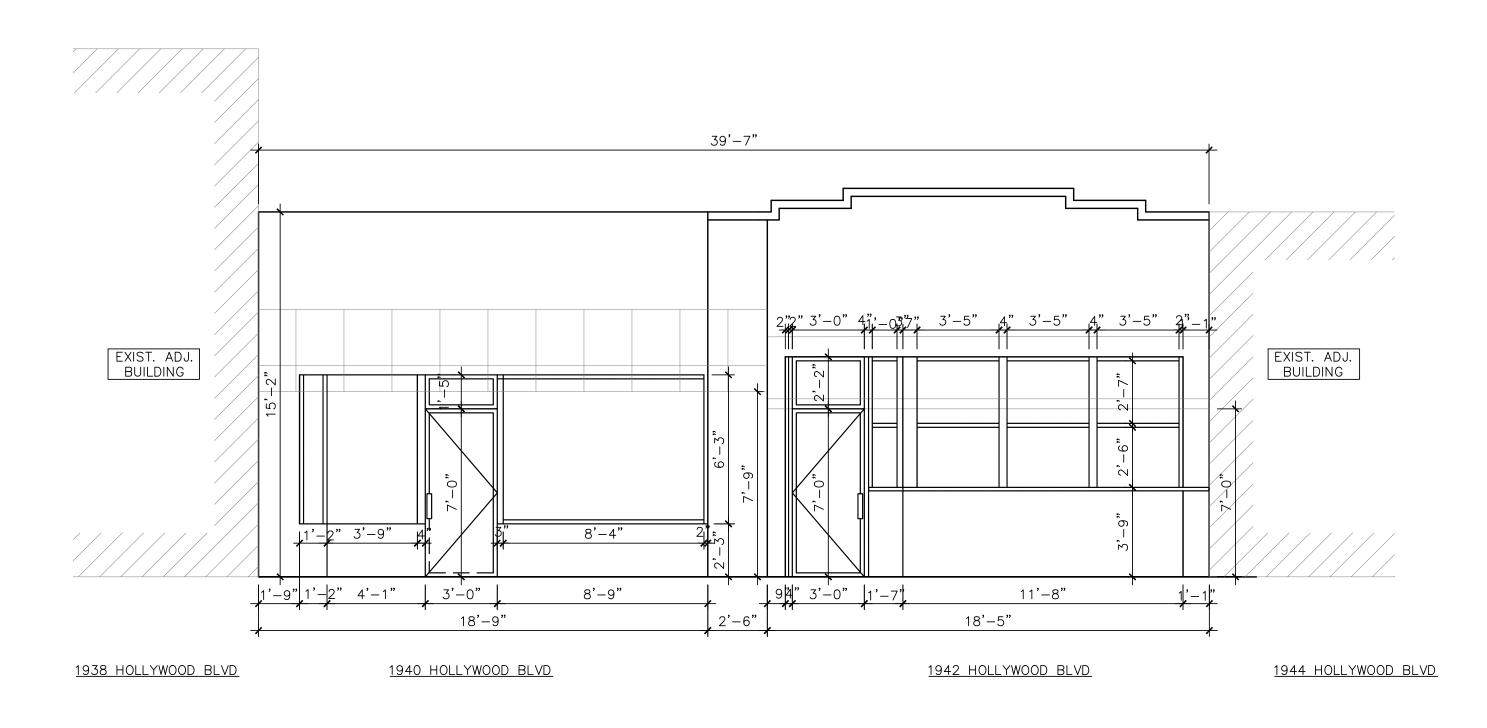
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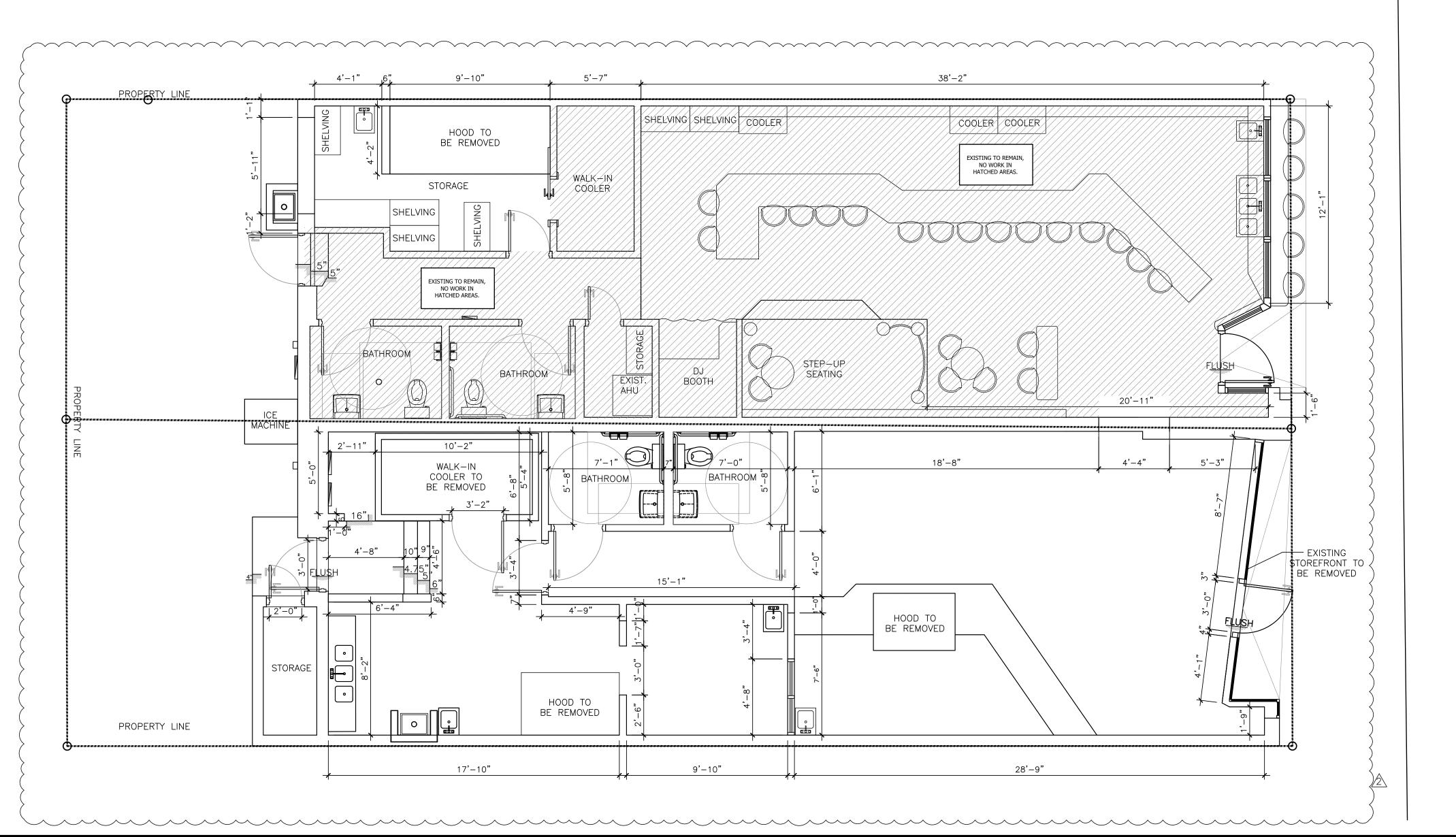
LIFE SAFETY PLAN

SCALE: 1/4'' = 1'-0''

LEGEND



DEMOLITION ELEVATION SCALE: 1/4'' = 1'-0''



DEMOLITION LEGEND

EXISTING CONCRETE BLOCK WALL TO REMAIN. GC TO FIELD VERIFY EXIST NON-LOAD BEARING INTERIOR PARTITION TO REMAIN. GC TO FIELD VERIFY

INTERIOR WALL/PARTITION REMOVED

EXISTING WINDOWS TO BE REMOVED & DISPOSED ACCORDINGLY. GC

TO FIELD VERIFY & MATCH W PERMIT DRAWINGS

EXISTING DOOR TO REMAIN

EXIST DOORS REMOVED

EXISTING WINDOW TO REMAIN

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DEMOLITION LEGEND

DEMOLITION NOTES: REQUIREMENTS INCLUDED

I. COORDINATE WORK OF TRADES AND SCHEDULE ELEMENTS OF ALTERATIONS AND RENOVATION WORK BY PROCEDURES AND METHODS TO EXPEDITE COMPLETION OF THE WORK.

2. CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEM AS:

A. EXISTING STRUCTURAL BEAMS AND COLUMNS TO REMAIN UNTOUCHED, DO NOT DAMAGE THE STRUCTURAL INTEGRITY OF THE BUILDING. B. REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS.

C. REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT, AND WIRING. D. REMOVAL OF UNSUITABLE OR EXTRANEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS

ABANDONED EQUIPMENT AND DEBRIS INCLUDING ROTTED WOOD, RUSTED METALS AND DETERIORATED CONCRETE.

1. CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.

2. PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.

3. PARTITION: REMOVE ALL EXISTING INTERIOR PARTITIONS AND RELATED UTILITIES AS INDICATED IN THE DEMOLITION PLAN.

4. DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.

5. PROTECTION OF EXISTING BUILDING: A. EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE

CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE COVER ITEMS AS NECESSARY TO PROTECT FROM DUST. AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.

D. DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE

6. ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS.

7. EXPLOSIVE AND BURNING:

A. USE OF EXPLOSIVES WILL NOT BE PERMITTED. B. USE OF FIRE FOR DEMOLITION OR DISPOSAL OF MATERIAL OR ANY OTHER SITUATION INTENTIONAL OR ACCIDENTAL WILL NOT BE PERMITTED.

8. EXISTING UTILITIES

A. CONTACT ALL UTILITIES INCLUDING ELECTRIC, WATER, GAS AND TELEPHONE, PRIOR TO BEGINNING WORK AND REQUEST THAT ALL SERVICE BE SHUT OFF AND CAPPED AT PRIMARY SERVICE LINES. B. REMOVE ALL EXISTING UTILITIES ACCORDING TO SEQUENCE OF OPERATIONS APPROVED AT START OF

C. REMOVE ALL EXISTING UTILITIES UNCOVERED BY DEMOLITION AND TERMINATE IN A MANNER AND AT A TIME SATISFACTORY TO UTILITY COMPANIES INVOLVED. WHERE UTILITY COMPANY DESIRES TO THE REMOVAL OF THEIR MATERIALS THEY SHALL BE PERMITTED TO DO SO. D. REMOVE AND DELIVER METERS AND RELATED EQUIPMENT TO THE APPROPRIATE UTILITY COMPANIES WITHOUT ADDITIONAL COST TO THE OWNER. WHEN UTILITY LINES ARE ENCOUNTERED THAT

ARE NOT ON THE DRAWINGS OR VISIBLE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH INSTRUCTIONS OF THE ARCHITECT/ENGINEER. E. INSTALL AND LEAVE A WELL MARKED STAKE AT CAPPED END OF EVERY UTILITY CAPPED ON THE

9. DISPOSING OF MATERIAL:

A. TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED.

B. DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY

C. REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.

10. PREPARATION:

A. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE. B. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE. C. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK.

11. PERFORMANCE:

A. EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS. B. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.

C. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS. D. FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH

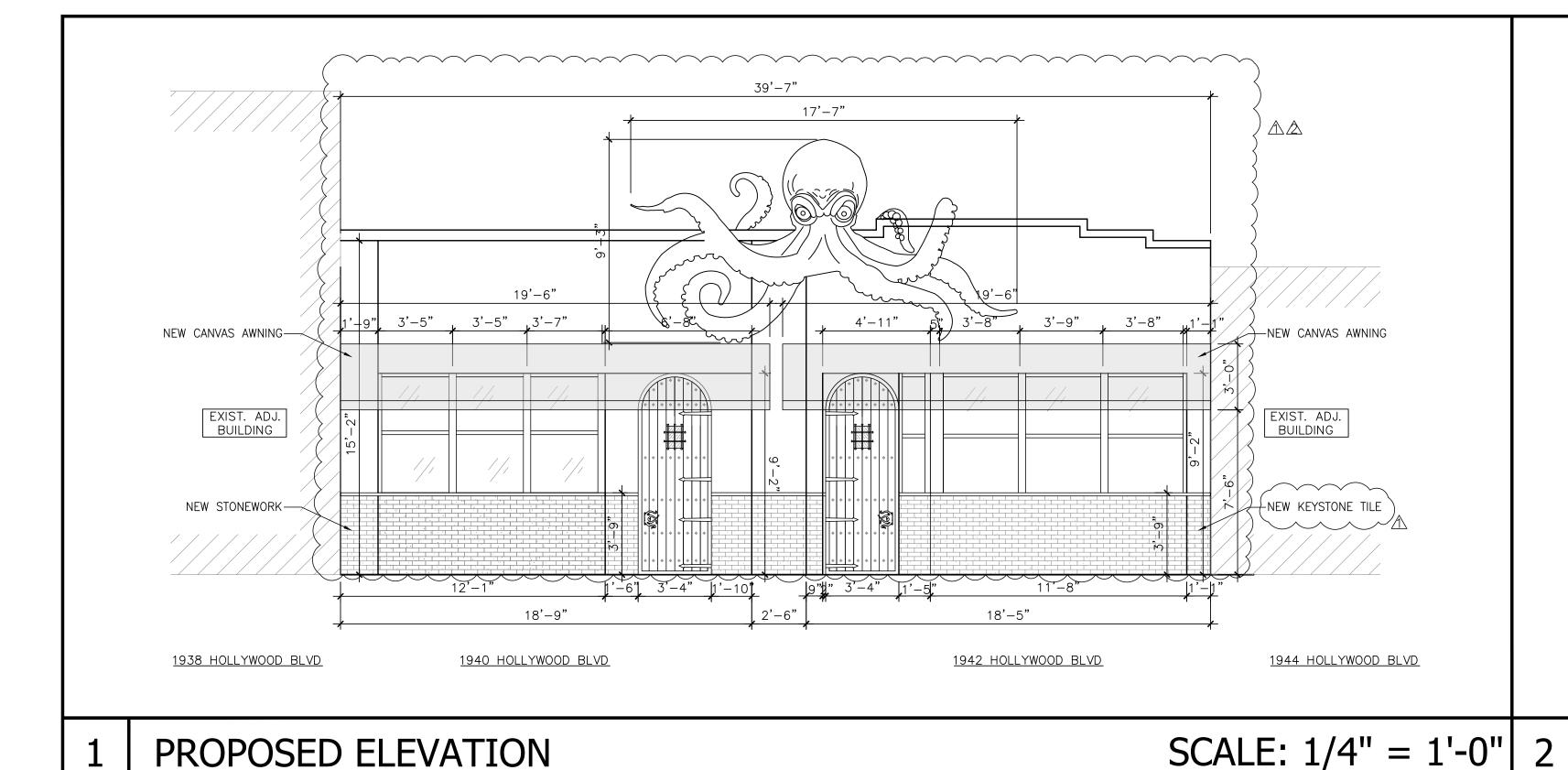
REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT

1. FOR CONTINUOUS SURFACES, REFINISH TO NEAREST INTERSECTION.

2. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.

12. CONTRACTOR SHALL VERIFY ALL EXIST'G CONDITIONS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STRUCTURAL ENGINEER OF RECORD SHOULD A CONFLICT OCCUR BETWEEN THE EXISTING CONDITIONS AND THOSE CONDITIONS DEPICTED ON THESE PLANS.

SCALE: 1/4'' = 1'-0''



— EXISTING CONC. SLAB ON GRADE TO REMAIN - SAW CUT AND REMOVE EXISTING PORTION OF SLAB AS REQUIRED FOR TRENCH -NEW CONC. SLAB ON GRADE TO MATCH DEPTH OF EXISTING SLAB. PROVIDE #3 BARS @ 16" O.C. EACH WAY AT MID-DEPTH OF NEW SLAB. EMBED & EPOXY 6" INTO EXIST. SLAB -COMPACTED FILL AS VAPOR BARRIER REQUIRED TO MATCH EXISTING LOCATE CONDUITS ABOVE VAPOR BARRIER NOTE:
G.C. SHALL REPAIR EXISTING SLAB AT

LOCATIONS WHERE TRENCHING HAS BEEN DONE TO ACCOMODATE NEW PLUMBING AS SHOWN ABOVE (TYPICAL)

TRENCH REPAIR DETAIL

LEGEND

GENERAL CONSTRUCTION NOTES:

1. ALL WALLS SHALL RECEIVE (2) COATS (MIN.) OR AS SPECIFIED BY OWNER. PAINT COLOR & TYPE SELECTION BY OWNER.

LEGEND

EXIST. INTERIOR PARTITION WALLS W/ WOOD

OR METAL STUDS AND GWB TO BOTH SIDES

NEW 35 OR 6" 25 GA METAL STUDS @ 16"

O.C. W/ §" GWB AT EACH SIDE TO 6" ABOVE CEILING.

EXIST. 8" CMU EXTERIOR WALL

- 2. BASE MATERIAL AND COLOR SHALL BE AS SPECIFIED BY OWNER.
- 3. FLOOR FINISHES ARE AS SPECIFIED BY OWNER.
- 4. CONSULT OWNER FOR SPECIFIC MANUFACTURERS NOT LISTED.
- 5. ALL LOW VOLTAGE WIRING (I.e. TEL) SHALL BE IN PRIOR TO ELECTRICAL
- 6. PROVIDE FULLY DETAILED SHOP DRAWINGS FOR ALL ITEMS REQUIRING FABRICATION, I.E.: CASEWORK, MILLWORK AND DOORS.
- 7. ALL NEW DOORS TO BE SELECTED BY OWNER.
- 8. REPLACE DAMAGED OR BROKEN RECEPTACLE COVER PLATES.
- 9. PATCH ALL EXISTING HOLES, AND DEFECTS IN EXISTING SURFACES, AND DAMAGE CAUSED DURING THE COURSE OF CONSTRUCTION.
- 10. RETURN ALL EXISTING LIGHT FIXTURES, DOORS, HARDWARE THAT IS REMOVED DURING DEMOLITION TO OWNER FOR STORAGE, OR IF OWNER REQUESTS, DISPOSE OF PROPERLY AS PART OF HIS CONTRACT.
- 11. FINAL CLEAN & PUNCHLIST SHALL LEAVE UNIT IN AN 'AS NEW' CONDITION. ALL TRADES SHALL BE RESPONSIBLE TO ENSURE THAT THE REQUIREMENTS OF THIS CONTRACT ARE MET. ALL WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR OR LONGER IF SPECIFIED IN THE OWNER/CONTRACTOR AGREEMENT.
- 12. THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS OF CONSTRUCTION CONTRACT A201 (LATEST EDITION) SHALL BE MADE A PART
- 13. ALL ELECTRICAL OUTLETS & SWITCHES SHALL BE SELECTED BY OWNER.
- 14. G.C. SHALL COORDINATE ALL ABOVE CEILING ELEMENTS, SYSTEMS W/ STRUCTURE TO ASSURE THAT ALL REQ'D. CLEARANCES ARE PROVIDED.
- 15. IF A QUESTION ARISES, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE FOR CLARIFICATION. FAILURE OF THE G.C. OR HIS SUBS TO SECURE SUCH CLARIFICATION PRIOR TO PLACING THE WORK IN QUESTION SHALL PLACE ALL RESPONSIBILITY TO REMOVE SUCH WORK AND REINSTALL IN ACCORDANCE WITH THE ARCHITECTS INTERPRETATION SOLELY WITH THE GENERAL CONTRACTOR.
- 16. G.C. SHALL FIELD MEASURE JOB & NOTIFY A/E OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO INSTALLING ANY WORK.
- 17. NOTE: PRIOR TO BEGINNING CONSTRUCTION, G.C. SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. THIS IS ESPECIALLY IMPORTANT DUE TO THE IRREGULAR CONFIGURATION OF SOME SPACES.
- 18. ALL DIMENSIONS ARE NOMINAL AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS.
- 19. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ALL OTHER CODES HAVING JURISDICTION OVER THIS PROJECT. IT IS RECOGNIZED THAT THE A/E CAN NOT INCLUDE EVERY REQUIREMENT OF THE APPLICABLE BUILDING CODES ON THE DRAWINGS. THE G.C. SHALL HAVE COPIES OF ALL
- 20. AS PART OF WORK SCOPE BEING BID, G.C. SHALL INCLUDE SEALING OF ALL PENETRATION OF FIRE WALLS & SHALL INSPECT SAME PRIOR TO BID.
- 21. G.C. SHALL UPGRADE AND/OR REPLACE NON-COMPLIANT MATERIAL W/ FIRE SAFE CAULKING MATERIAL AS REQUIRED AT ALL DEMISING WALL UNDERSIDE OF DECK LOCATIONS.
- 22. UNDER NO CIRCUMSTANCES SHALL DRAWING SETS BE BROKEN UP. FULL SETS SHALL BE SUPPLIED TO ALL SUBS.
- 23. NO CHANGES TO CONTRACT DRAWINGS SHALL BE MADE IN FIELD WITHOUT ARCHITECT'S EXPRESS WRITTEN PERMISSION.
- 24. ALL SAND EXCAVATED AS PART OF THIS RENOVATION SHALL REMAIN ON SITE. NO SAND SHALL BE REMOVED FROM SITE DURING CONSTRUCTION.
- 25. CONTRACTOR/OWNER SHALL CONTACT SUNSHINE 811 PRIOR TO ANY EXCAVATION.

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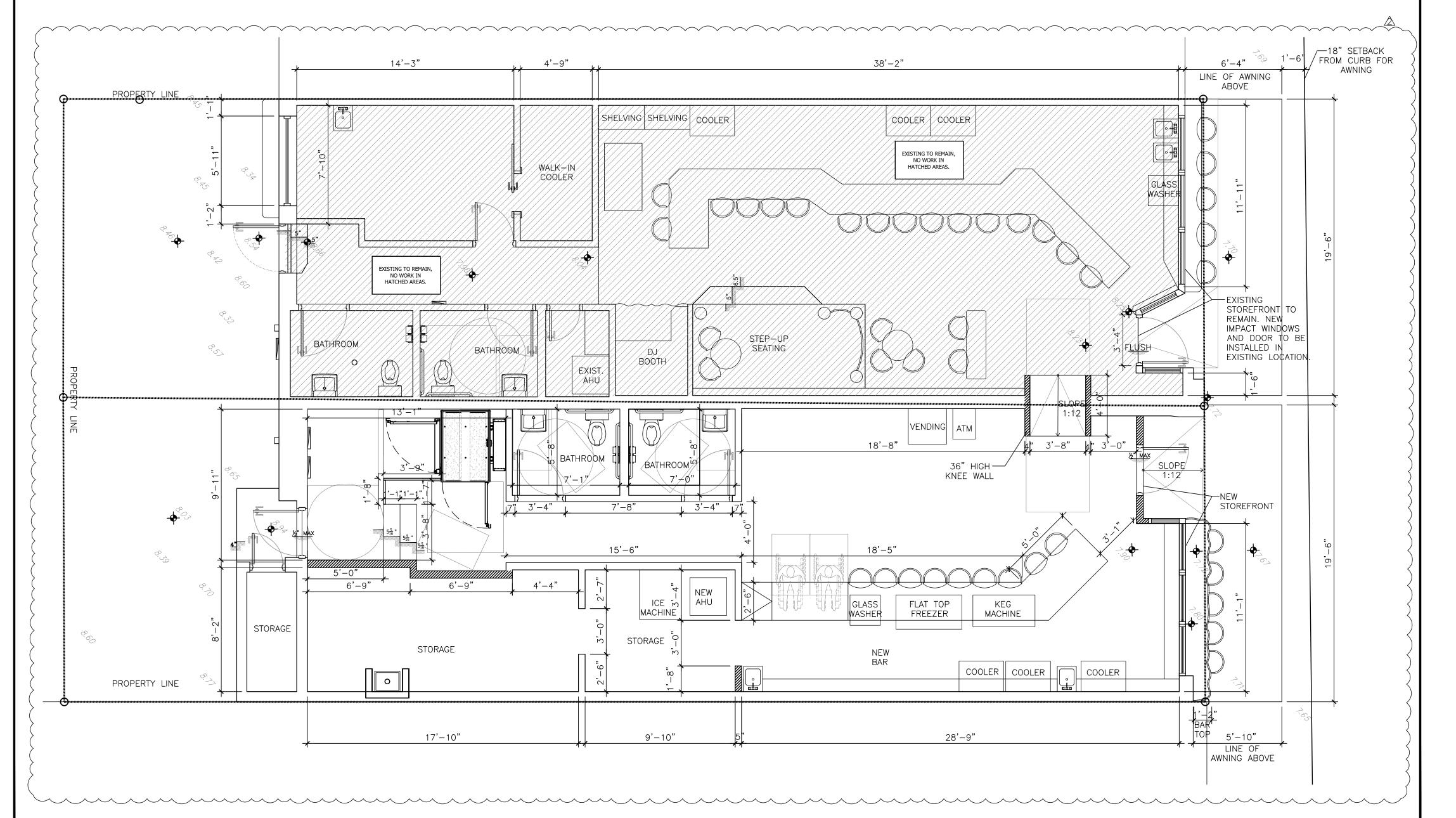
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1/8/25 | REVISION-1 7/19/25 BUILDING COMMENTS

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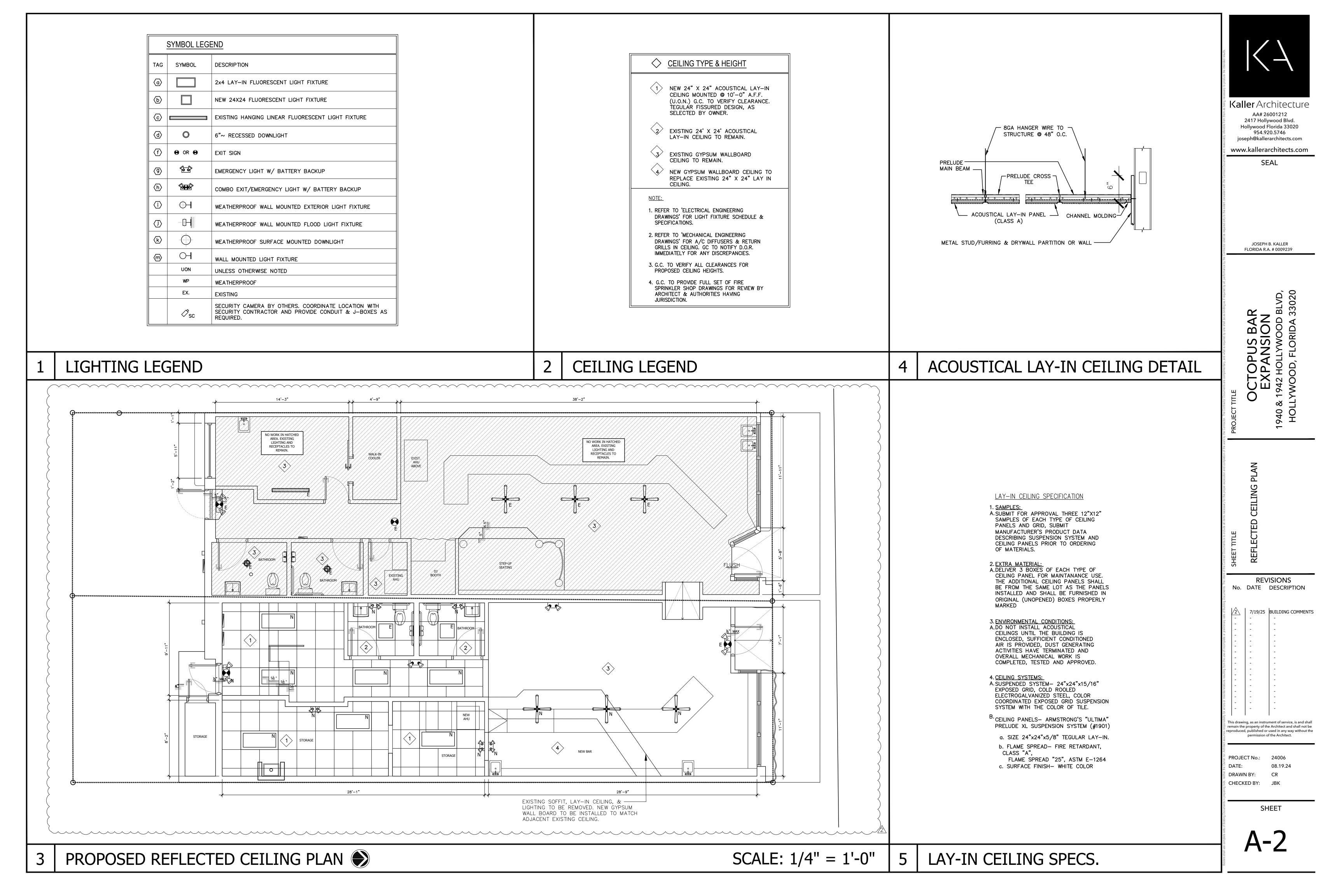
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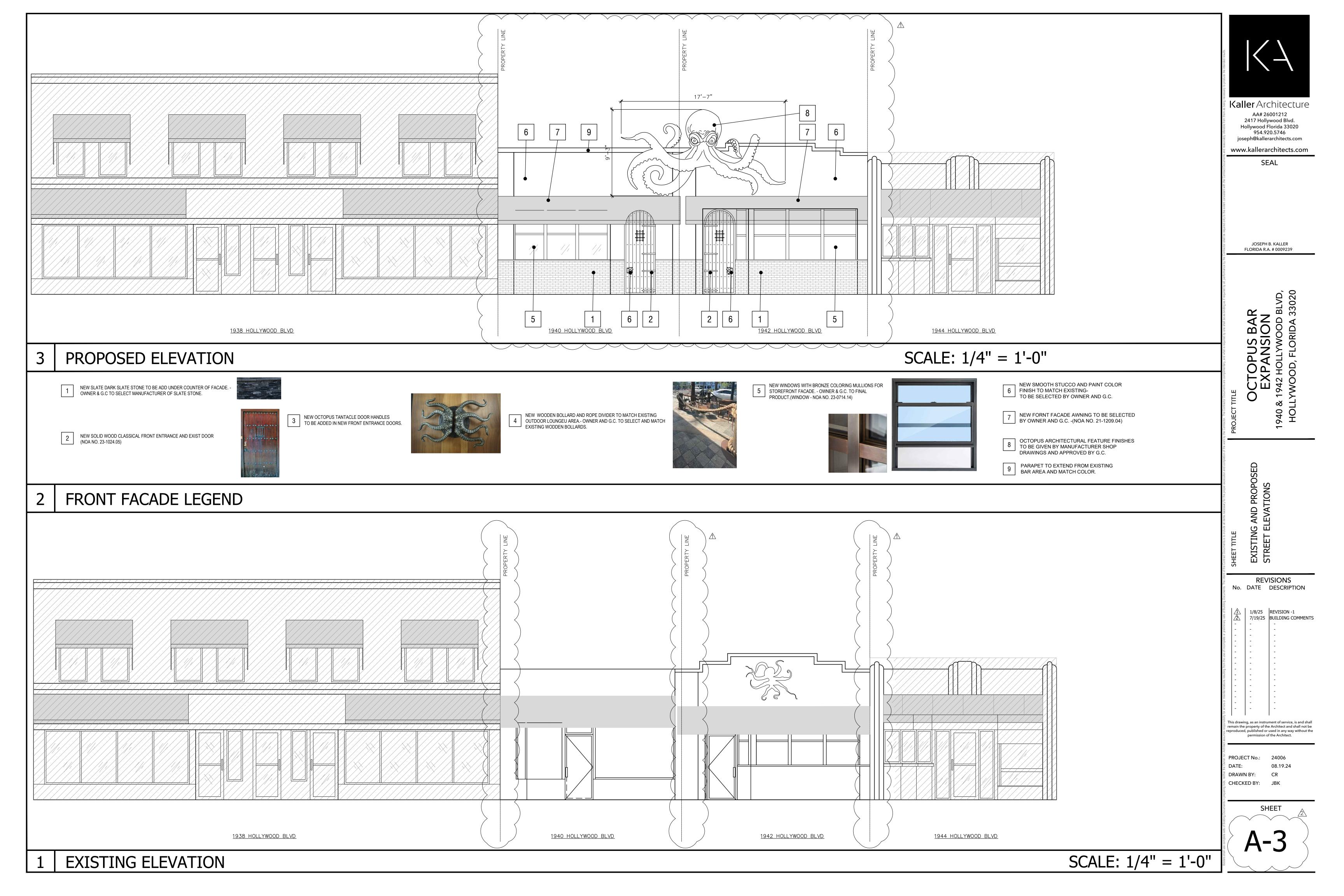


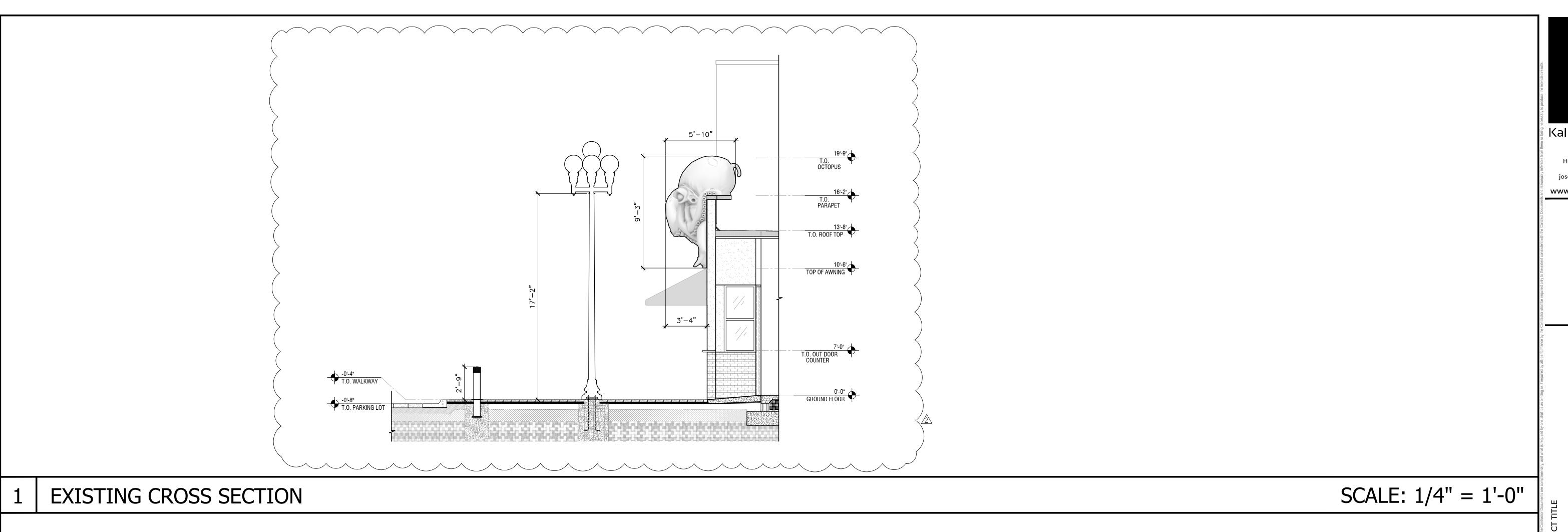
PROPOSED PLAN

SCALE: 1/4'' = 1'-0''

NOTES







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JOSEPH B. KALLER FLORIDA R.A. # 0009239

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OCTOPUS BAR EXPANSION & 1942 HOLLYWOOD B

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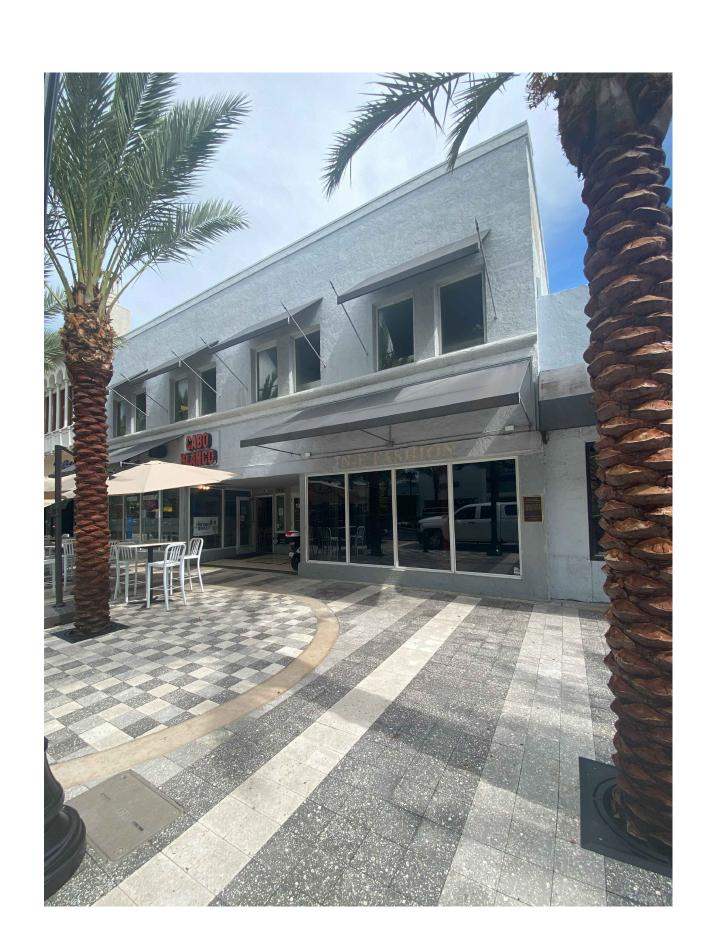
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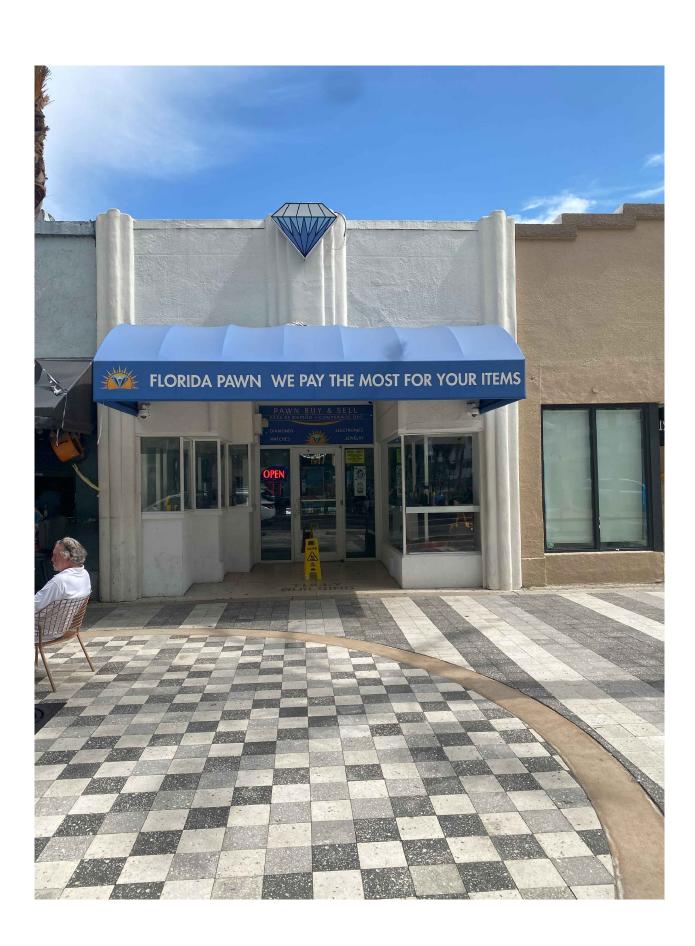
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1938 HOLLYWOOD BLVD



1938-1948 HOLLYWOOD BLVD



1944 HOLLYWOOD BLVD



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OPUS BAR PANSION HOLLYWOOD BLVD,

PROJECT TITLE

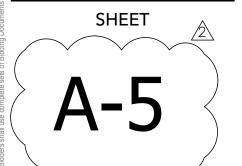
STREET CONTEXT

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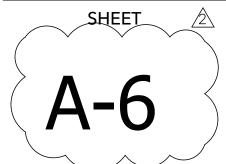
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July 2, 2025

Barret Windish, Owner Octopus Bar Downtown Hollywood

Dear Barret,

My schedule will not allow me to attend the upcoming development review meeting regarding the Octopus Property Improvement Project (PIP), but I want to make sure that I provide you with this letter outlining the reasons for supporting your application.

When we first met to discuss this project, I encouraged you to use the grant opportunity to make the Octopus a downtown landmark and destination. I believe the expansion of the existing space and comprehensive design changes included in your proposal meet that expectation.

A significant element of the overall improvement is the conversion of the existing large flat metal octopus currently on the façade into what will be a new dynamic three dimensional element. The existing flat metal octopus does not create any meaningful impact along the street frontage and is not significant enough to be an identifier for the Octopus as a destination. This project provides an opportunity to improve the curb appeal and identity of the Octopus while improving the space to accommodate potential new visitors to Downtown Hollywood. Visitors will notice this new detail and travel to downtown Hollywood to see it in person. As expected, this important element of the project has been met with some trepidation by some of those involved in the review process. I should point out that processing this part of the proposed improvements as a variance should alleviate the precedent setting concern. Further, the fact that this element is included as part of a CRA grant application already reviewed and unanimously approved by the CRA Board should help to secure all necessary approvals. In my opinion, the most important aspect of this application, which includes public funding, is to make sure that the public investment will create significant positive change to entice further private investment. This application meets that standard and I am hopeful that your willingness to make this investment will instill confidence in other business owners to follow your lead. In an ideal situation, the CRA grant participation should create a comprehensive and transformative outcome, which I believe is exactly what will occur at the Octopus once the project is completed.

Thank you for being willing to participate as a partner with the CRA and buying into the vision for improving Downtown Hollywood. I hope that you will receive unanimous support from all the review boards involved in the approval process for your grant project. Please let me know if there is anything else I can do to facilitate this outcome.

Sincerely,

Jorge A. Cameo, AICP

Jorge A. Camejo



July 15, 2025

To Whom It May Concern,

I am pleased to write this letter in support of Barrett Windish's proposed storefront design for The Octopus Bar. Barrett has been a dedicated member of the Downtown Hollywood Business Association (DHBA) since becoming a business owner in downtown Hollywood in 2011.

Throughout his tenure, Barrett has demonstrated a strong commitment to the vibrancy and growth of our community. His proposed storefront design reflects both creativity and innovation, and I believe it will serve as a positive attraction for Downtown Hollywood. This distinctive design will help set our area apart from other South Florida Downtowns, which are often characterized by uniform, cookie-cutter storefronts.

I wholeheartedly endorse Barrett's design and am confident it will contribute to enhancing the unique character and appeal of our Downtown district.

Sincerely

Mark Rowe President

Downtown Hollywood Business Association