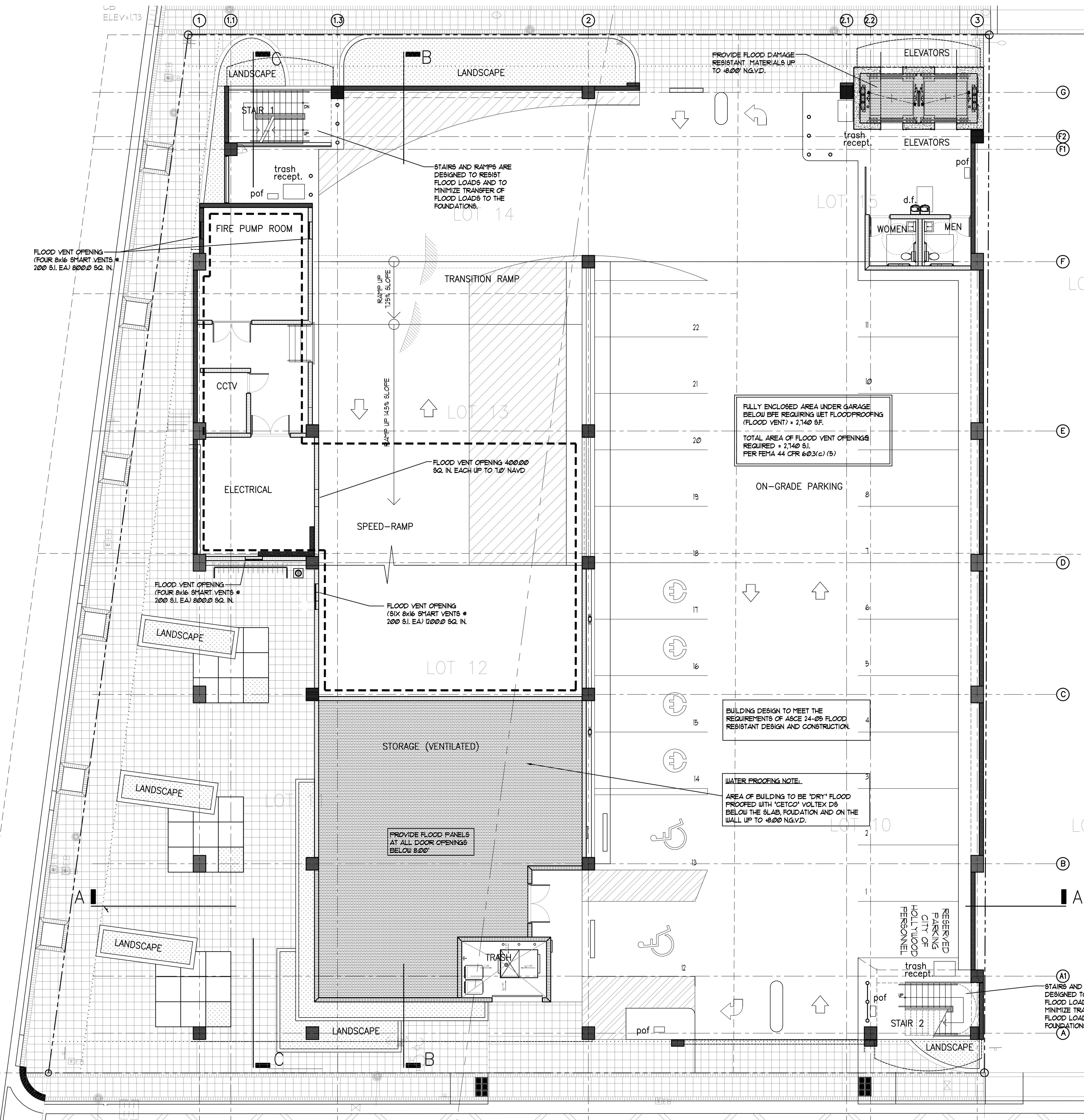


S.R. A-1-A - OCEAN DRIVE



CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA: PER ASCE 24-05.

STRUCTURE CATEGORY	CATEGORY II	
ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+8.00' N.A.V.D.
DRY FLOOD PROOFING OF NON-RESIDENTIAL STRUCTURES (TABLE 6-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+8.00' N.A.V.D.

NOTE:
NOT WITHSTANDING INFORMATION PROVIDED HEREIN, ALL WORK PERFORMED BY THE G.C. AND THE SUB-CONTRACTORS, UNDER THIS SET OF CONSTRUCTION DOCUMENTS AND BUILDING PERMIT, MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA BUILDING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE (L), THE FLORIDA FIRE PREVENTION CODES, AND ALL OTHER CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.

FULLY ENCLOSED AREA UNDER GARAGE BELOW DFE REQUIRING WET FLOODPROOFING (FLOOD VENT) = 2,140 SF.
TOTAL AREA OF FLOOD VENT OPENINGS REQUIRED = 2,140 S.I.
PER FEMA 44 CFR 60.3(c) (5)

BUILDING DESIGN TO MEET THE REQUIREMENTS OF ASCE 24-05 FLOOD RESISTANT DESIGN AND CONSTRUCTION.

WATER PROOFING NOTE:
AREA OF BUILDING TO BE 'DRY' FLOOD PROOFED WITH 'GETCO' VOLTEX D'S BELOW THE SLAB, FOUNDATION AND ON THE WALL UP TO +8.00' NAVD.

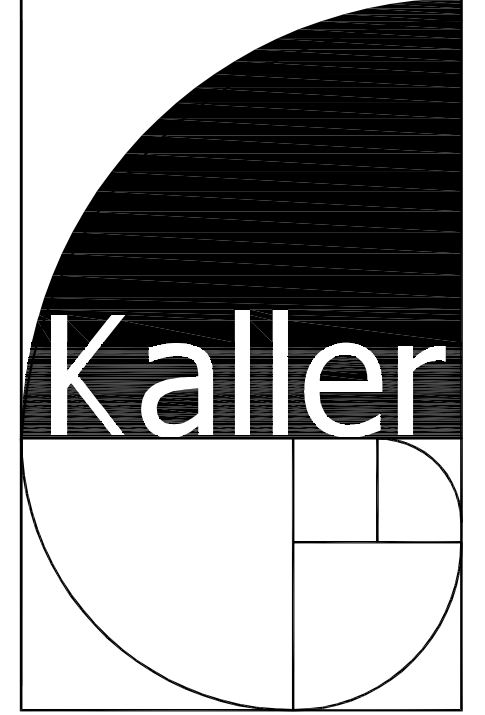
STAIRS AND RAMPS ARE DESIGNED TO RESIST FLOOD LOADS AND TO MINIMIZE TRANSFER OF FLOOD LOADS TO THE FOUNDATIONS.

HOLLYWOOD BEACH 1st
ADDITION
BLOCK 11



1 FLOOD PROOFING PLAN

SCALE: 1/8" = 1'-0"



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BE-0003840

PROJECT TITLE
NEBRASKA GARAGE

SHEET TITLE
FLOOD PROOFING PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV
3	11/16/16	TAC REVISION

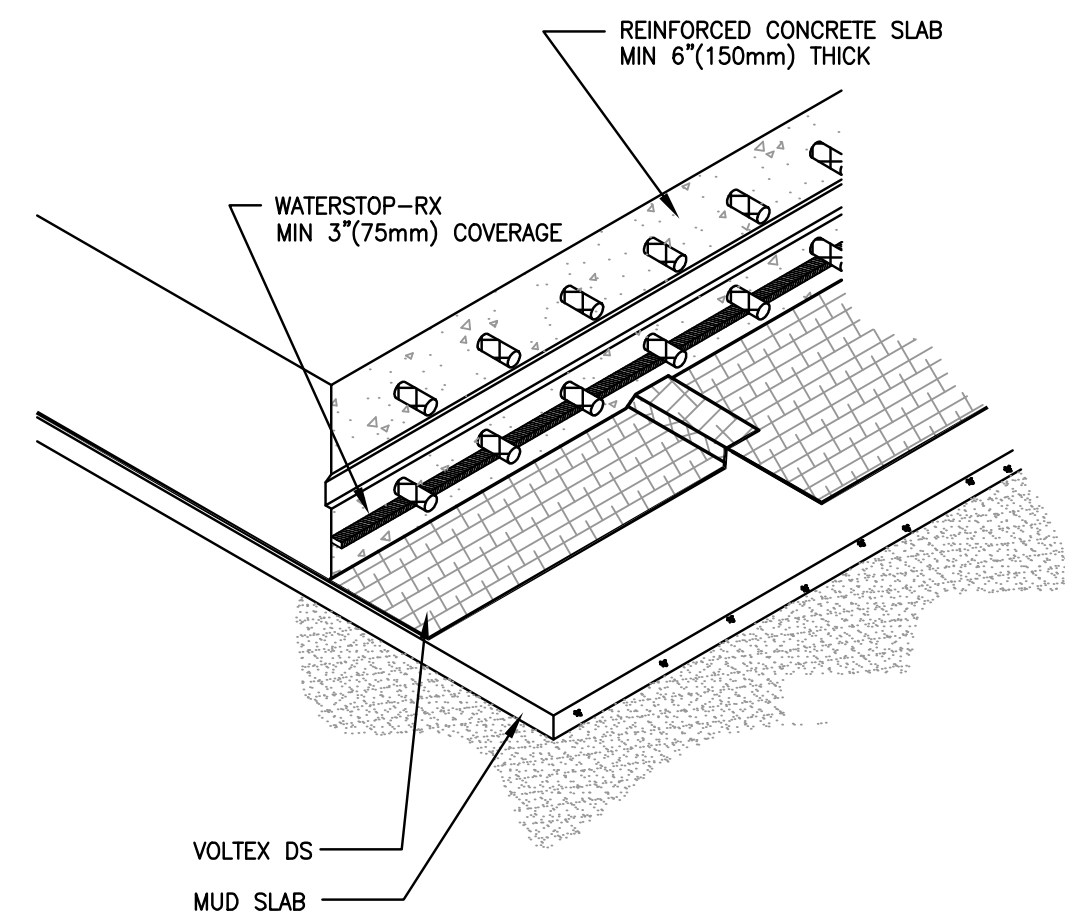
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PROJECT No.: 14221
DATE: 01-27-15
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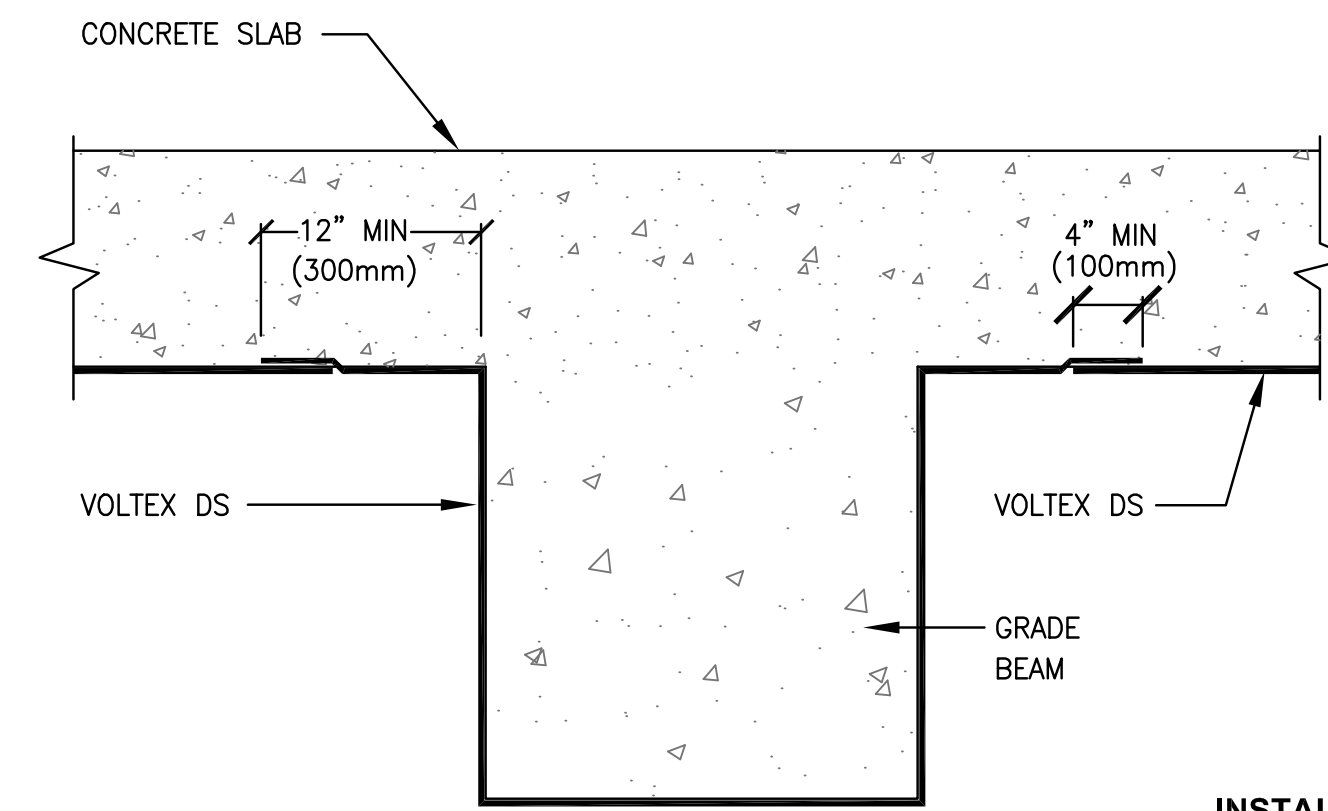
SHEET

FP-1

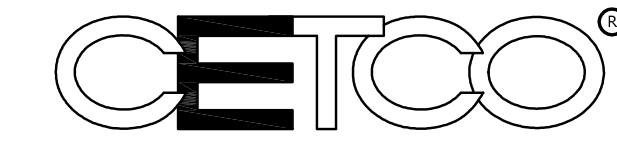
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INSTALL VOLTEX DS WITH GRAY GEOTEXTILE FACING INSTALLER

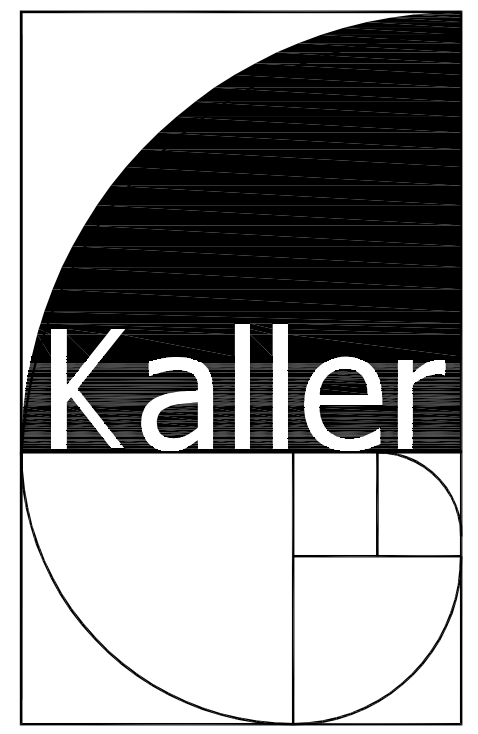


INSTALL VOLTEX DS WITH GRAY GEOTEXTILE FACING INSTALLER



2870 Forbs Avenue, Hoffman Estates, IL 60192 USA
tel 847.851.1800 fax (847) 851.1371 http://www.cetco.com
800.527.9948 email: field.services@cetco.com

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SEAL

1 FOUNDATION SLAB STRUCTURAL SLAB ON MUD SLAB

DETAIL: DS-101

2 FOUNDATION SLAB GRADE BEAM (HYDROSTATIC CONDITIONS)

DETAIL: DS-111

Smart VENT
877-441-8368
www.smartvent.com

"QUAD" ASSEMBLY INSTALLATION DIAGRAM SHOWN ARE 2 EACH
Model #'s 1540-511 OR 1540-521 INSTALLED TOGETHER

NOTE: DEPENDING ON HEIGHT OF CRAWLSPACE UPPER STRAPS MAY NOT FIT.

STRAPS MAY BE REQUIRED TO BE INSTALLED ON WALL STRUCTURE. CORRECT LOCK RELEASE FOR STRUCTURAL REQUIREMENTS.

OPTIONAL: SEE FILING. CORROSION RESISTANT. BENTONITE. 2\"/>

MODEL 1540-511 BEHIND RODENT SCREEN. LOUVERS AUTOMATICALLY OPEN AND CLOSE WITH TEMPERATURE. NO ELECTRICITY IS NEEDED.

STRAP OVERSHOULDER AND OR BEHIND WALL. STRAPS TO BE USED TO ATTACH TO WALL STRUCTURE. SEE ASSEMBLY INSTRUCTIONS.

STRAP OVERSHOULDER AND OR BEHIND WALL. STRAPS TO BE USED TO ATTACH TO WALL STRUCTURE. SEE ASSEMBLY INSTRUCTIONS.

STRAP OVERSHOULDER AND OR BEHIND WALL. STRAPS TO BE USED TO ATTACH TO WALL STRUCTURE. SEE ASSEMBLY INSTRUCTIONS.

<p>STAINLESS-STEEL FRAME ASSEMBLY SHOWN IS FOR 1\"/> </p>	<p>SMART VENT Foundation Flood Vents 400 Available by QUAD 200 877-441-8368 www.smartvent.com</p>	<p>"QUAD" ASSEMBLY INSTALLATION DIAGRAM LOUVERS & FLOOD ONLY INSULATED VENTS (2) MODEL #'S 1540-511 OR 1540-521 DATE: 8-15-09 SHEET 1 OF 2</p>
--	---	--

Smart VENT
877-441-8368
www.smartvent.com

"QUAD" INSTALLATION INSTRUCTIONS & DETAILS REV. 5-15-09
MODEL #'S 1540-511 OR 1540-521 INSTALLED SIDE BY SIDE

INSTALLATION INSTRUCTIONS - These instructions are to combine two stacking vents side by side

- Prepare a CLEAN 33" wide x 16-3/8" high rough opening for each set of "Quad" vents (2 blocks wide x 2 blocks high) with the bottom of the hole no more than 12" above finished grade.
- Measure wall thickness and overbend (more than 90 degrees) 12 straps at nearest slot to the measurement from pointed end.
- Remove doors from frames. (turn upside down, rotate bottom of door outward and slide out of slots).
- Assemble two sets of two frames together using two nylon spacers snapped into holes in rear of frames as shown in detail "B". Place top frame (one with short bottom flange) over and in front of bottom frame (one with short top flange) and fasten front of frames together with two self tapping screws as shown in details "A" and "C". Do not over tighten screws.
- Insert two straps into top slots of each top frame. Straps should have bent legs pointing up. After pushing teeth through rear slots, ONLY PUSH STRAPS ONE CLICK INTO FRONT SLOTS, they will be tightened later in installation.
- Silicone or Polyurethane adhesive may be applied to back of flanges for a better seal to wall face. Place frame assembly into wall opening by sliding the top straps behind wall and resting frame bottom on bottom of wall opening. Press flanges tight to wall face.
- Reach through opening in bottom frames and install four bent straps into two bottom slots with the bent legs of the straps hanging down behind wall and trapping wall between front flange and bent strap. Squeeze tight to wall.
- Install a strap on each side of frame assembly. Install with bent leg pointing outward behind the wall and into slots on each of upper sides. Squeeze tight to wall. Now, squeeze top frame straps tight to wall.
- Make sure both frames are flush to wall face, secure, square, level and all slots are clear of debris, mortar and adhesive.
- Hold doors from the bottom, parallel to ground with back facing ground and re-install into frames by inserting top first and letting metal pins find slots. Push all the way back and allow door to drop and rotate down on both sides latched closed.

DETAILED SPECIFICATIONS:
MATERIAL: TYPE STAINLESS STEEL
OPERATION FLOOD: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION
VENT REMAINS CLOSED AND LOCKED UNTIL ACTIVATED

INSTALLATION:
SECURED W/ 12 STAINLESS STEEL STRAPS SUPPLIED
HYDROSTATIC RELIEF: 200 Sq. Ft. per Vent (800 Sq. Ft. per this 4 up assembly)

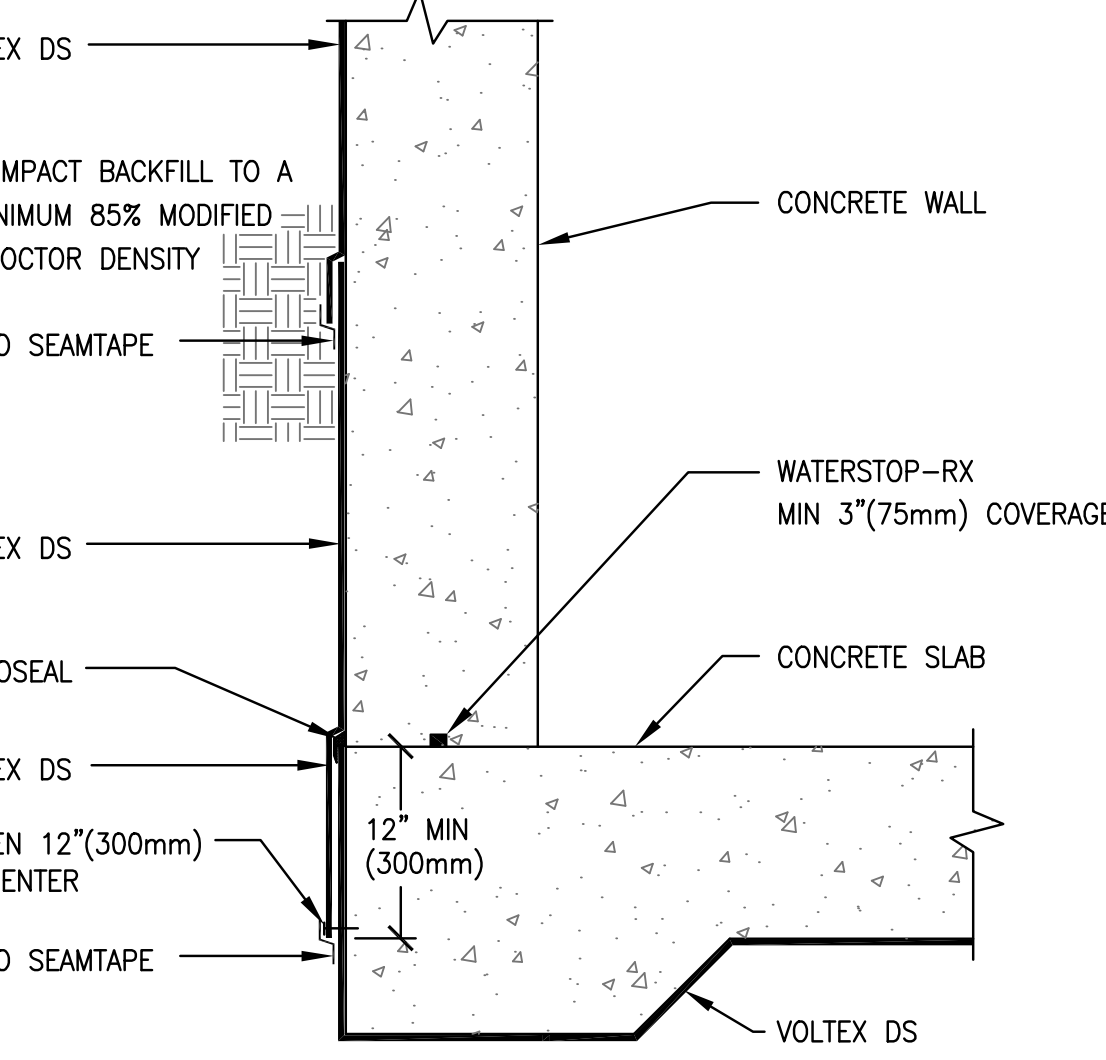
REQUIREMENTS FLOOD: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS
COLORS: STAINLESS (STANDARD)
EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)
MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074

SHEET 2 OF 2

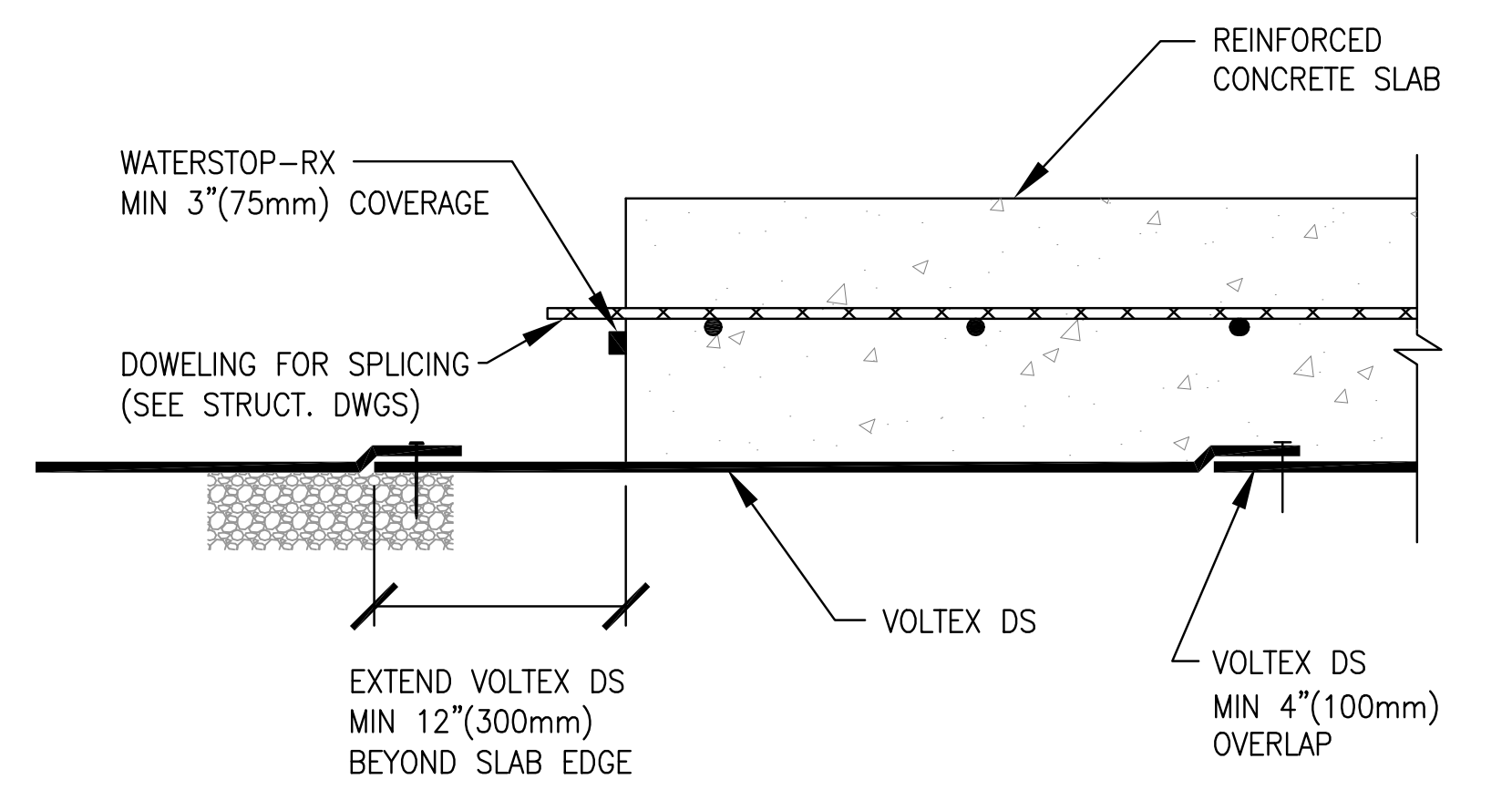
3 SMART VENT - FLOOD VENT QUAD-INSTALLATION DETAIL

5 FOUNDATION DETAIL FLUSH SLAB (HYDROSTATIC CONDITIONS)

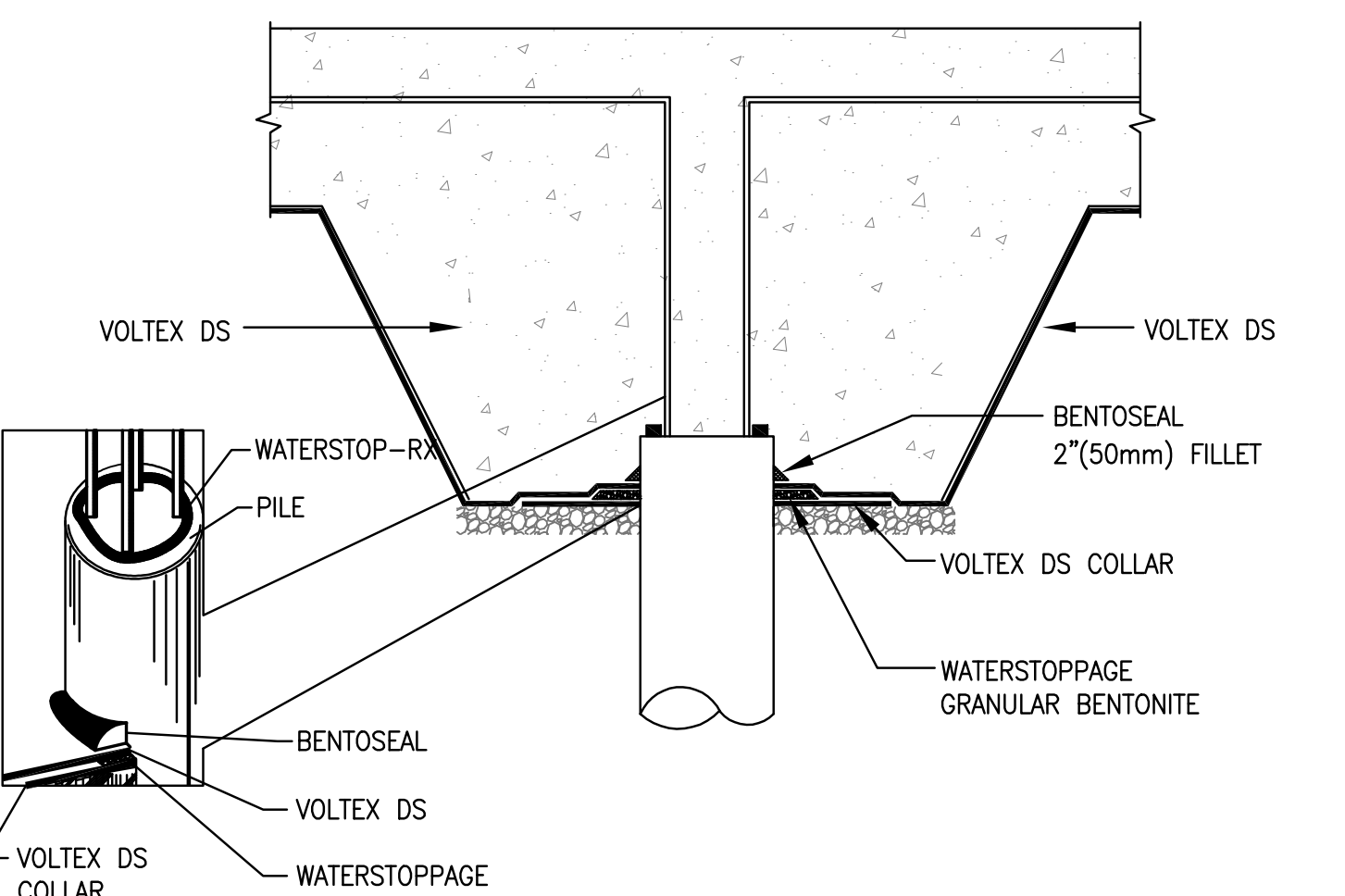
7 FOUNDATION SLAB PILE CAP (HYDROSTATIC CONDITIONS)



INSTALL BACKFILLED VOLTEX DS WITH POLY LINER FACING INSTALLER
INSTALL VOLTEX DS WITH GRAY GEOTEXTILE FACING INSTALLER



INSTALL VOLTEX DS WITH GRAY GEOTEXTILE FACING INSTALLER



INSTALL VOLTEX DS WITH GRAY GEOTEXTILE FACING INSTALLER

4 FOUNDATION DETAIL TYPICAL SLAB PENETRATION

DETAIL: DS-113

6 FOUNDATION DETAIL COLD POUR CONSTRUCTION JOINT

DETAIL: DS-122

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PROJECT TITLE
NEBRASKA GARAGE

SHEET TITLE
FLOOD PROOFING
DETAILS

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COORDINATION

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PROJECT No.: 14221
DATE: 01-27-15
DRAWN BY: GMV
CHECKED BY: JBK

SHEET
FP-2



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PROJECT TITLE
 NEBRASKA GARAGE

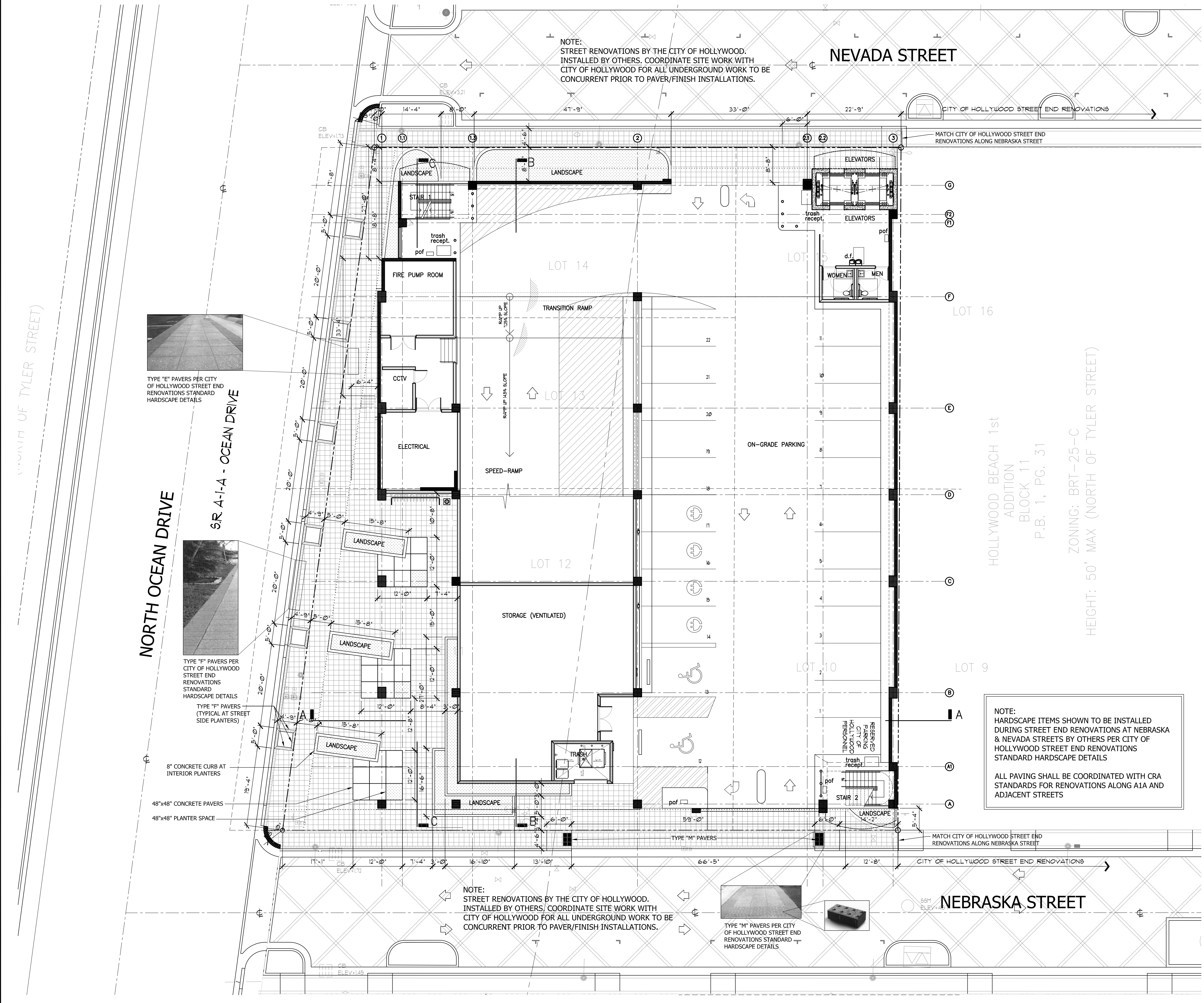
SHEET TITLE
 HARDSCAPE
 PLAN
 FINAL TAC

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV (NEW SHEET)
3	11/16/16	TAC REVISION

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PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JJG
 CHECKED BY: JBK

SHEET
HS-1



NOTE:
 STREET RENOVATIONS BY THE CITY OF HOLLYWOOD,
 INSTALLED BY OTHERS. COORDINATE SITE WORK WITH
 CITY OF HOLLYWOOD FOR ALL UNDERGROUND WORK TO BE
 CONCURRENT PRIOR TO PAVEMENT/PAVER/PAVING INSTALLATIONS.

NEVADA STREET

MATCH CITY OF HOLLYWOOD STREET END
 RENOVATIONS ALONG NEBRASKA STREET



TYPE "E" PAVERS PER CITY OF HOLLYWOOD STREET END RENOVATIONS STANDARD HARDSCAPE DETAILS

S.R. A-1-A - OCEAN DRIVE

NORTH OCEAN DRIVE



TYPE "F" PAVERS PER CITY OF HOLLYWOOD STREET END RENOVATIONS STANDARD HARDSCAPE DETAILS

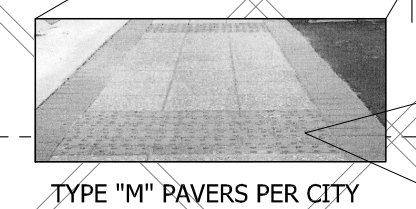
TYPE "F" PAVERS (TYPICAL AT STREET SIDE PLANTERS)

8" CONCRETE CURB AT INTERIOR PLANTERS

48"x48" CONCRETE PAVERS

48"x48" PLANTER SPACE

NOTE:
 STREET RENOVATIONS BY THE CITY OF HOLLYWOOD,
 INSTALLED BY OTHERS. COORDINATE SITE WORK WITH
 CITY OF HOLLYWOOD FOR ALL UNDERGROUND WORK TO BE
 CONCURRENT PRIOR TO PAVEMENT/PAVER/PAVING INSTALLATIONS.



TYPE "M" PAVERS PER CITY OF HOLLYWOOD STREET END RENOVATIONS STANDARD HARDSCAPE DETAILS

NOTE:
 HARDSCAPE ITEMS SHOWN TO BE INSTALLED DURING STREET END RENOVATIONS AT NEBRASKA & NEVADA STREETS BY OTHERS PER CITY OF HOLLYWOOD STREET END RENOVATIONS STANDARD HARDSCAPE DETAILS

ALL PAVING SHALL BE COORDINATED WITH CRA STANDARDS FOR RENOVATIONS ALONG A1A AND ADJACENT STREETS

HOLLYWOOD BEACH 1st
 ADDITION
 BLOCK 11
 P.B. 1, PG. 31

ZONING: BRT-25-C
 HEIGHT: 50' MAX (NORTH OF TYLER STREET)

NEBRASKA STREET

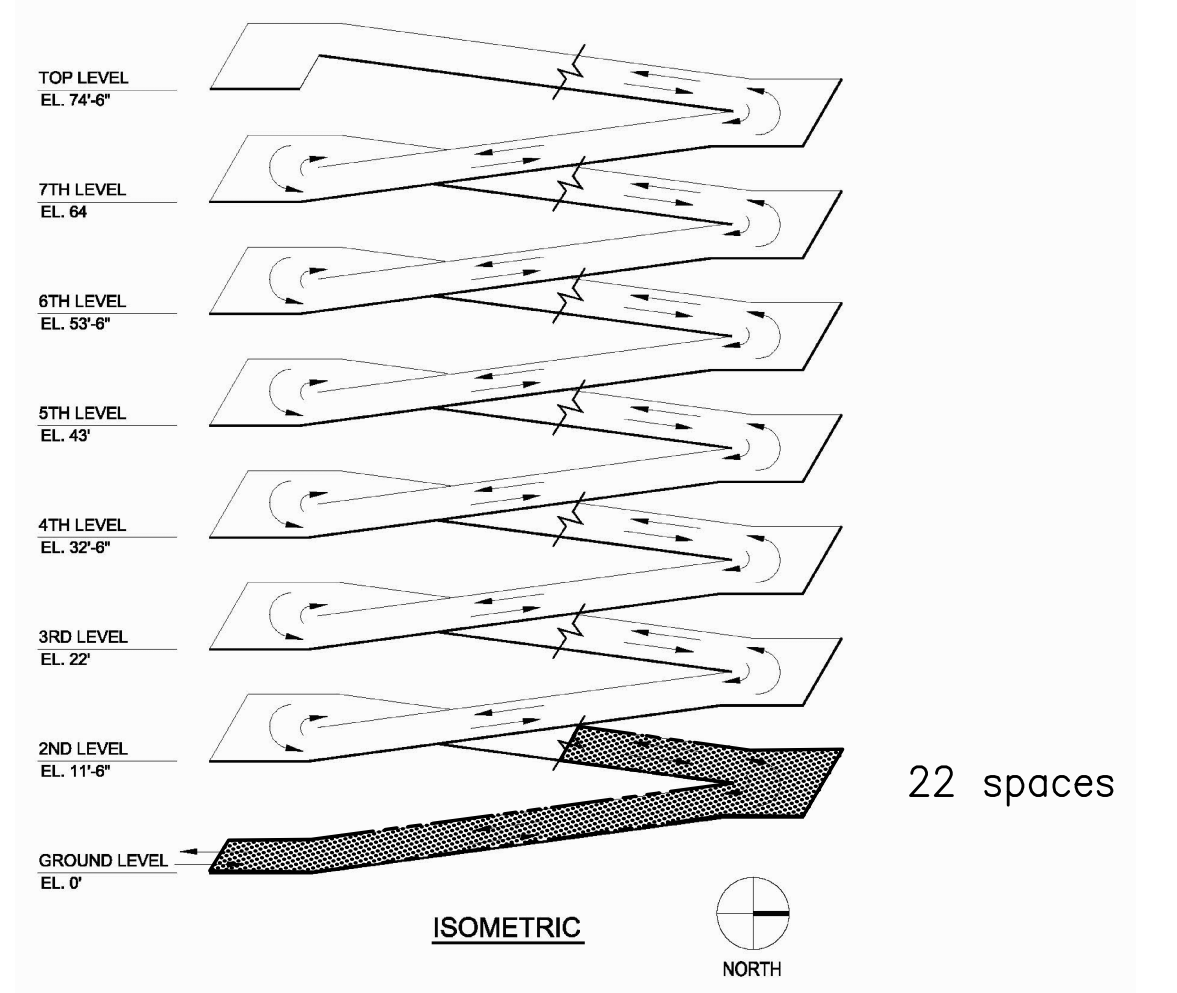
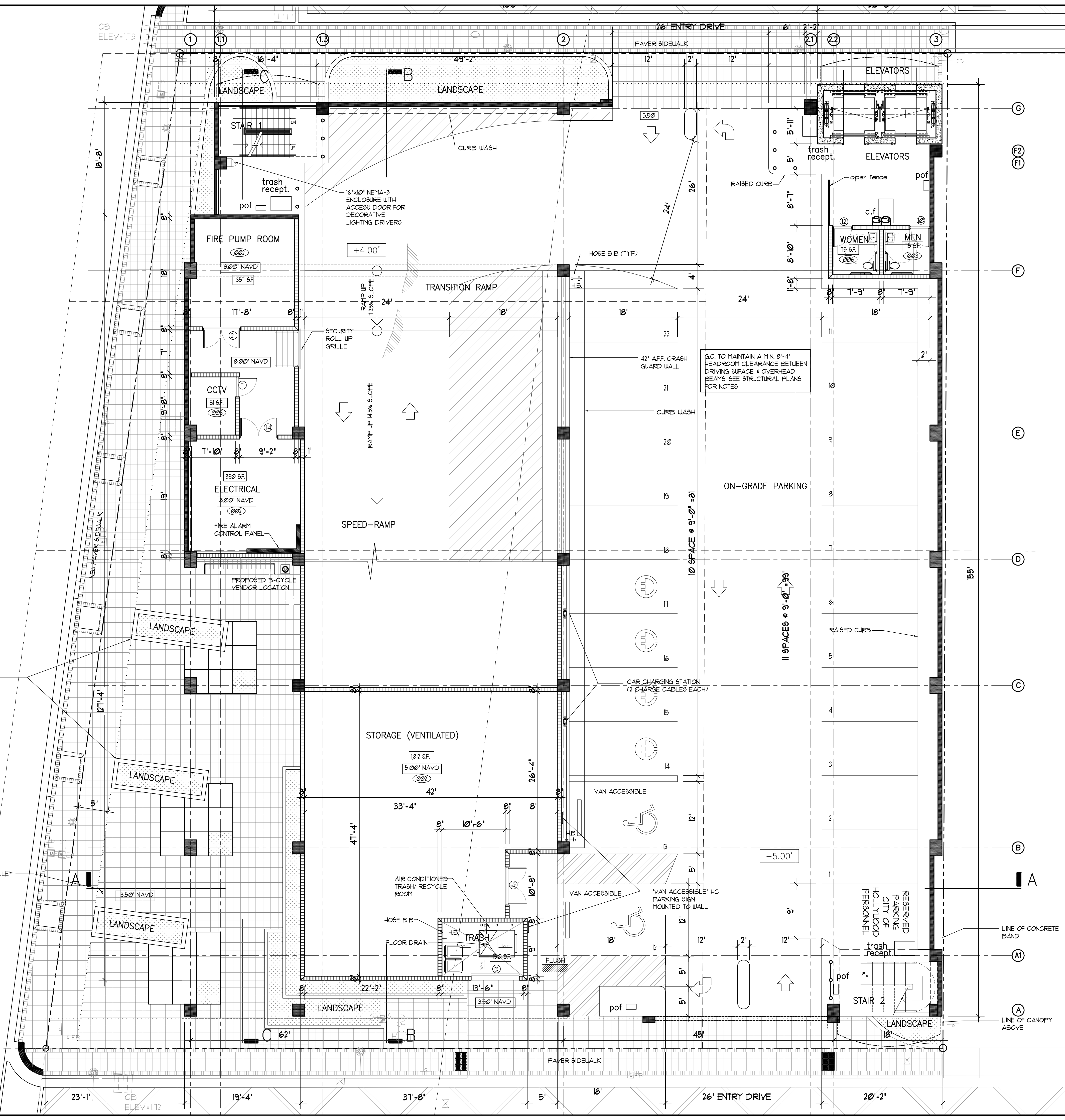


1 HARDSCAPE PLAN

SCALE: 3/32" = 1'-0"

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S.R. A-1-A - OCEAN DRIVE



2 ISOMETRIC KEY PLAN

PARTITION LEGEND

- P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/4" SMOOTH STUCCO FINISH & BUILDING EXTERIOR 4" AT PARKING DECK SIDE. UL ASSEMBLY U300S.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 1/2" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. PROVIDE 3/4" SMOOTH STUCCO FINISH & R-5 INSULATION BETWEEN FURRING & EXTERIOR WALLS AND WALLS FACING PARKING DECK. UL ASSEMBLY U300S.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/4" CEMENT BOARD OVER 6" 20GA METAL STUDS @ 16" O.C. PROVIDE R-5 INSULATION BETWEEN FURRING AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. UL ASSEMBLY U300S.
- STOREFRONT WINDOW SYSTEM OVER 18" CMU BLOCK KNEE WALL W/ 3/4" GIB OVER 1/2" METAL FURRING @ 16" O.C. 4 R-5 INSULATION BETWEEN FURRING AT INTERIOR. PAINTED 3/4" SMOOTH STUCCO FINISH AT EXTERIOR AND WATERPROOFING TO 600' NAVD.
- 3/4" 20 GA METAL STUDS @ 16" O.C. W/ 3/4" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE MR BOARD AT IET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 6" 20 GA METAL STUDS @ 16" O.C. W/ 3/4" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE MR BOARD AT IET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 2-HR FIRE RATED CAST-IN-PLACE CONCRETE WALL W/ 3/4" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. AT RETAIL INTERIOR. PROVIDE 3/4" SMOOTH STUCCO FINISH & EXTERIOR WALLS AND WALLS FACING PARKING DECK. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.

PARTITION NOTES:

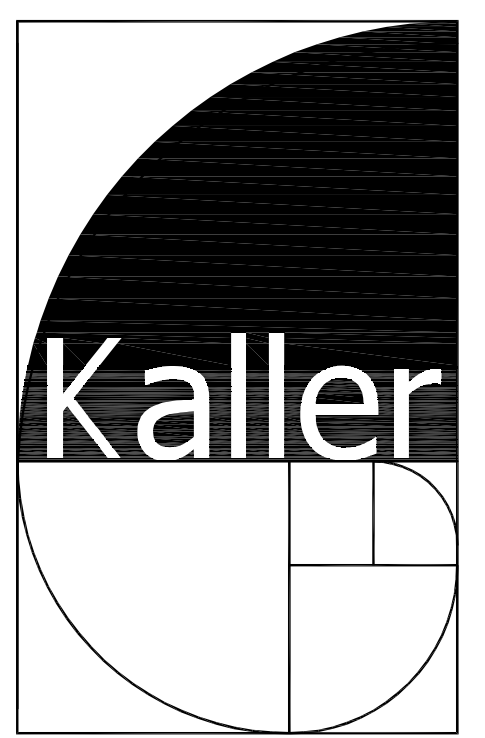
1. ALL CONCRETE WALLS, SLABS, BEAMS, COLUMNS & CMU BLOCK WALLS BELOW THE BASE FLOOD ELEVATION (BFE) SHALL RECEIVE WATERPROOF SEALANT COATING AT INTERIOR SIDE TO A HEIGHT OF 60' NAVD, PRIOR TO INSTALLATION OF FURRING AND FINISHES. APPLICATION OF WATERPROOFING AS PER MANUFACTURER'S SPECS. WATERPROOF COATING & WARRANTY SHALL BE PROVIDED BY A CERTIFIED WATERPROOFING CONTRACTOR.
2. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED WOOD PER 2010 FLORIDA BUILDING CODE - BUILDING - SECTION 603.
3. ALL P.C. CONCRETE SLABS, WALLS AND PANELS ARE 2-HR FIRE RATED. REFER TO STRUCTURAL DRAWINGS - STRUCTURAL NOTES SHEET 5-001 FOR DETAILS.

3 PARTITION LEGEND



1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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SEAL

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 FLORIDA R.A. # 0009239



PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 FIRST FLOOR

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV.
3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-1

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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 SECOND FLOOR

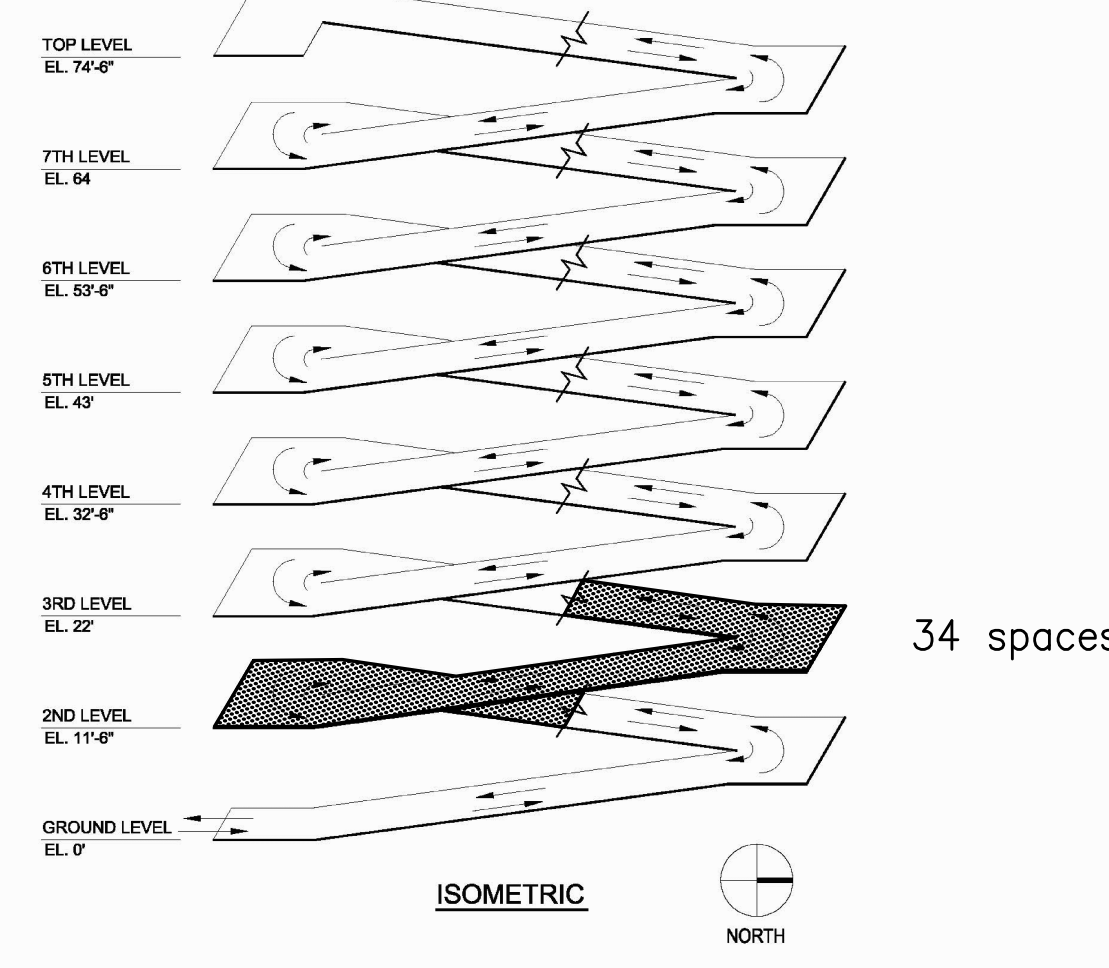
REVISIONS

No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV.
3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-2



2 ISOMETRIC KEY PLAN

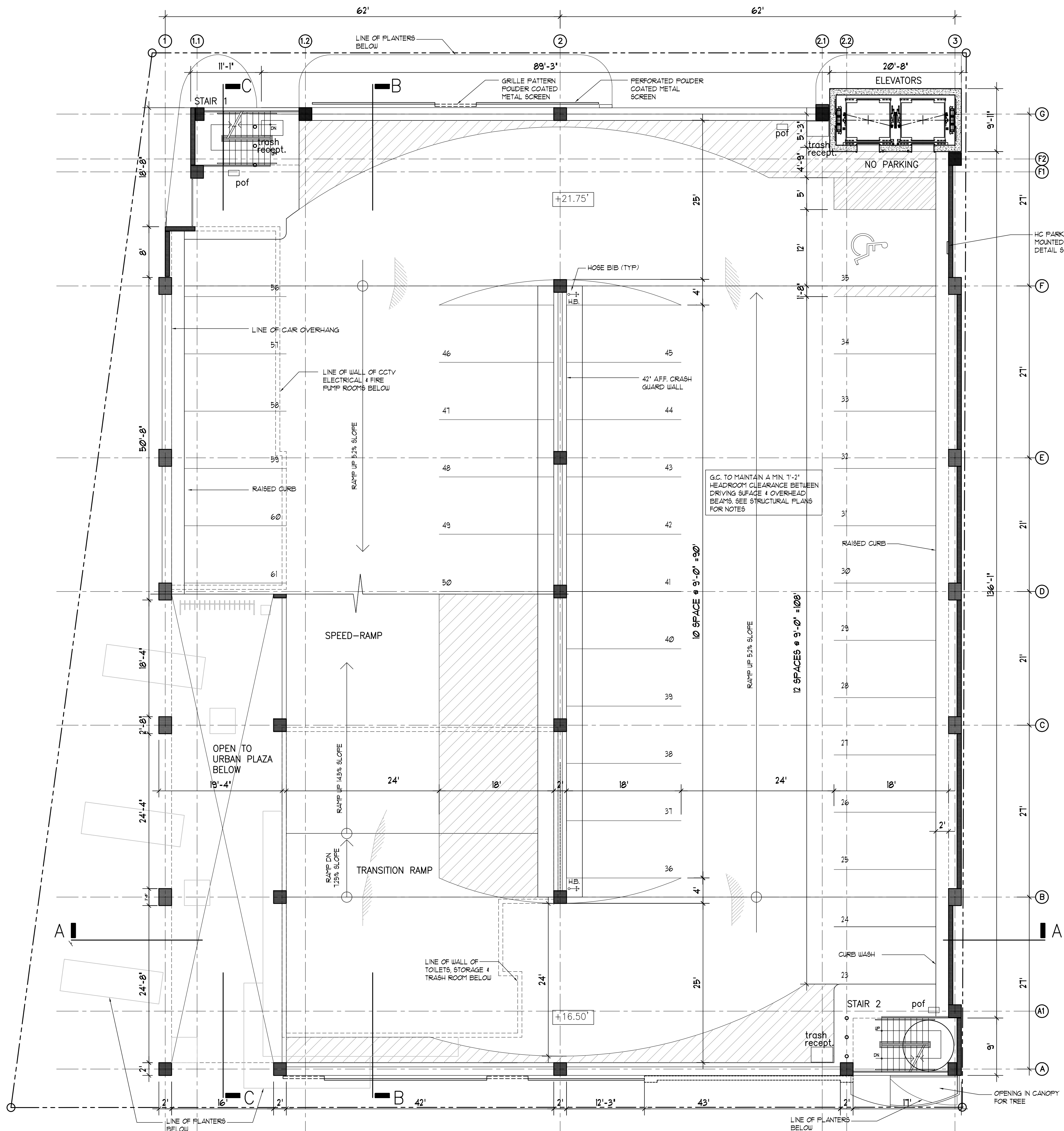
PARTITION LEGEND

- 1.4R FIRE RATED P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/2" SMOOTH STUCCO FINISH & BUILDING EXTERIOR & AT PARKING DECK SIDE. UL ASSEMBLY #2695.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/2" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. PROVIDE 3/2" SMOOTH STUCCO FINISH & R-5 INSULATION BETWEEN FURRING & EXTERIOR WALLS AND WALLS FACING PARKING DECK. UL ASSEMBLY #2695.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/2" CEMENT BOARD OVER 6" 20GA METAL STUDS @ 16" O.C. PROVIDE R-5 INSULATION BETWEEN FURRING AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. UL ASSEMBLY #2695.
- STOREFRONT WINDOW SYSTEM OVER 18" CMU BLOCK KNEE WALL W/ 3/2" GUB OVER 1/2" METAL FURRING @ 16" O.C. & R-5 INSULATION BETWEEN FURRING AT INTERIOR. PAINTED 3/2" SMOOTH STUCCO FINISH AT EXTERIOR AND WATERPROOFING TO 600' NAVD.
- 3/4" x 20 GA METAL STUDS @ 16" O.C. W/ 3/2" GUB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 6" x 20 GA METAL STUDS @ 16" O.C. W/ 3/2" GUB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 2-HR FIRE RATED CAST-IN-PLACE CONCRETE WALL W/ 3/2" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. AT RETAIL INTERIOR. PROVIDE 3/2" SMOOTH STUCCO FINISH & EXTERIOR WALLS AND WALLS FACING PARKING DECK. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.

PARTITION NOTES:

1. ALL CONCRETE WALLS, SLABS, BEAMS, COLUMNS & CMU BLOCK WALLS BELOW THE BASE FLOOD ELEVATION (BFE) SHALL RECEIVE WATERPROOF SEALANT COATING AT INTERIOR SIDE TO A HEIGHT OF 60" NAVD. PRIOR TO INSTALLATION OF FURRING AND FINISHES. APPLICATION OF WATERPROOFING AS PER MANUFACTURERS SPEC. WATERPROOF COATING & WARRANTY SHALL BE PROVIDED BY A CERTIFIED WATERPROOFING CONTRACTOR.
2. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED WOOD PER 2010 FLORIDA BUILDING CODE - BUILDING - SECTION 603.
3. ALL P.C. CONCRETE SLABS, WALLS AND PANELS ARE 2-HR FIRE RATED. REFER TO STRUCTURAL DRAWINGS - STRUCTURAL NOTES SHEET 5-001 FOR DETAILS.

3 PARTITION LEGEND



1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



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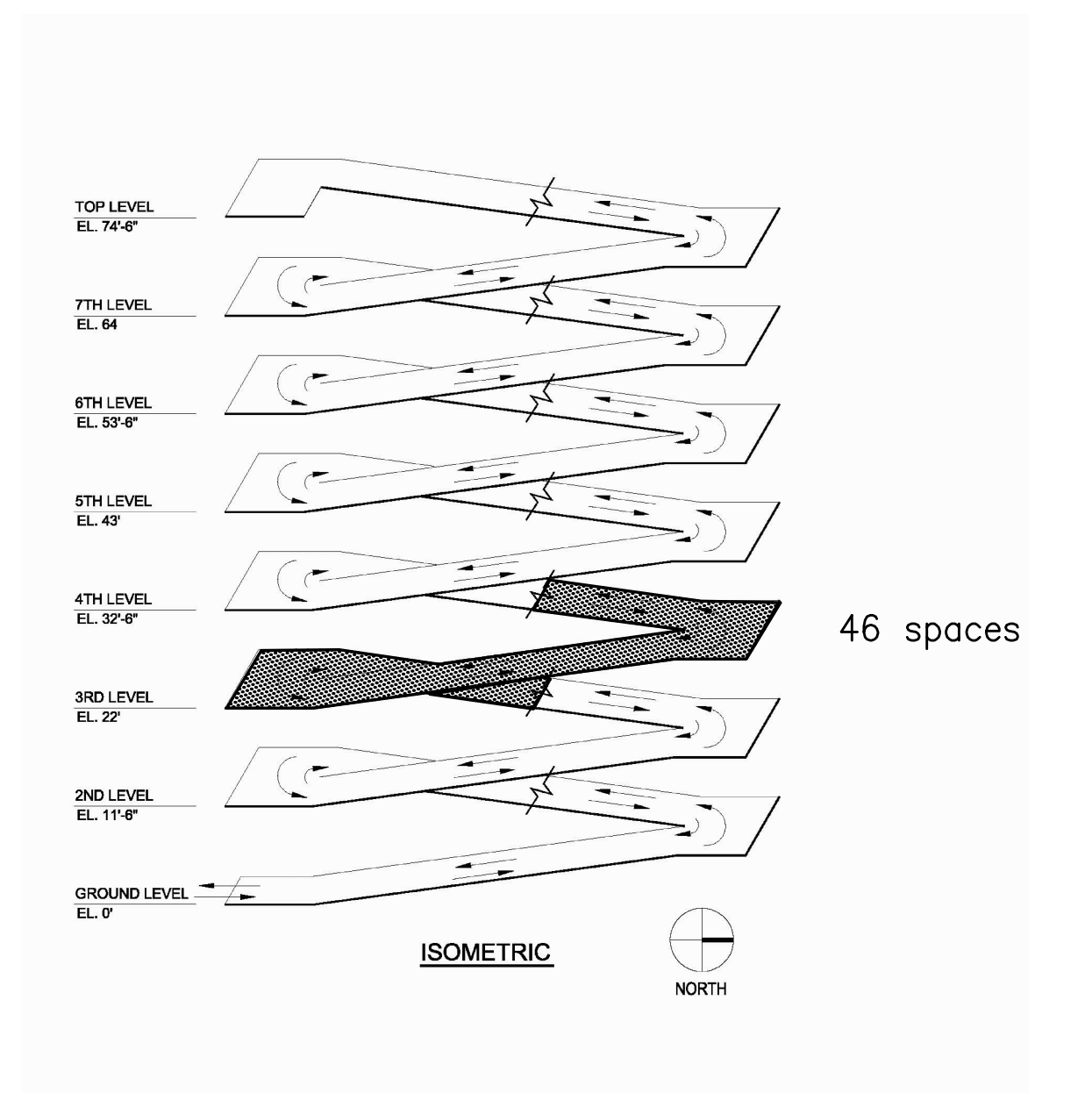
PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 THIRD FLOOR

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV.
3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET
A-3



2 ISOMETRIC KEY PLAN

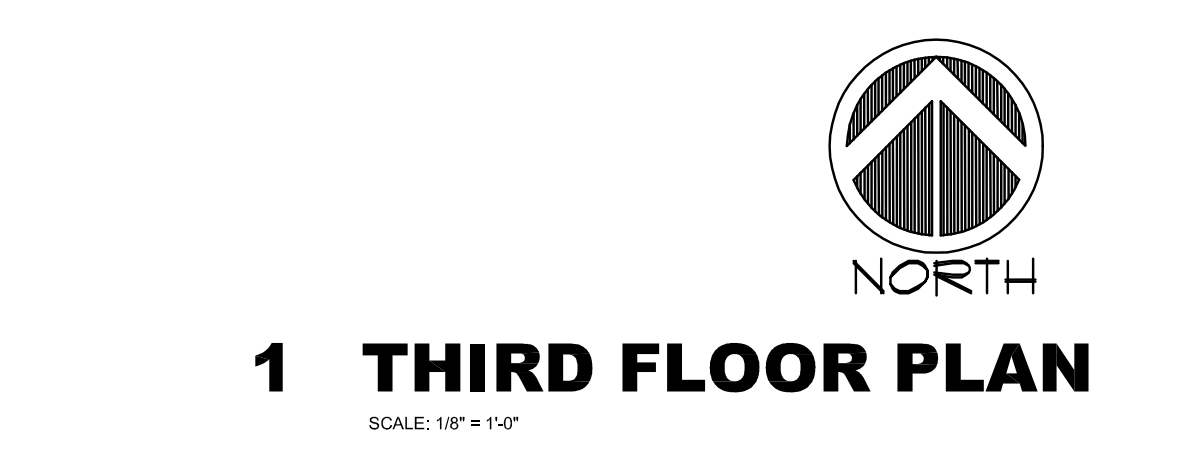
PARTITION LEGEND

	P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
	2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
	2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/8" SMOOTH STUCCO FINISH & BUILDING EXTERIOR & AT PARKING DECK SIDE. UL ASSEMBLY 450/5.
	2-HR FIRE RATED CMU BLOCK (D-2) WALL w/ 3/8" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. PROVIDE 3/8" SMOOTH STUCCO FINISH & R-5 INSULATION BETWEEN FURRING & EXTERIOR WALLS AND WALLS FACING PARKING DECK. UL ASSEMBLY 450/5.
	2-HR FIRE RATED CMU BLOCK (D-2) WALL w/ 3/8" CEMENT BOARD OVER 6" 20GA METAL STUDS @ 16" O.C. PROVIDE R-5 INSULATION BETWEEN FURRING AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. UL ASSEMBLY 450/5.
	STOREFRONT WINDOW SYSTEM OVER 1/2" CMU BLOCK KNEE WALL w/ 3/8" GUB OVER 1/2" METAL FURRING @ 16" O.C. & R-5 INSULATION BETWEEN FURRING AT INTERIOR. PAINTED 3/8" SMOOTH STUCCO FINISH AT EXTERIOR AND WATERPROOFING TO 600' NAVD.
	3/8" 20 GA METAL STUDS @ 16" O.C. w/ 3/8" GUB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
	6" 20 GA METAL STUDS @ 16" O.C. w/ 3/8" GUB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
	2-HR FIRE RATED CAST-IN-PLACE CONCRETE WALL w/ 3/8" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. AT RETAIL INTERIOR. PROVIDE 3/8" SMOOTH STUCCO FINISH & EXTERIOR WALLS AND WALLS FACING PARKING DECK. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.

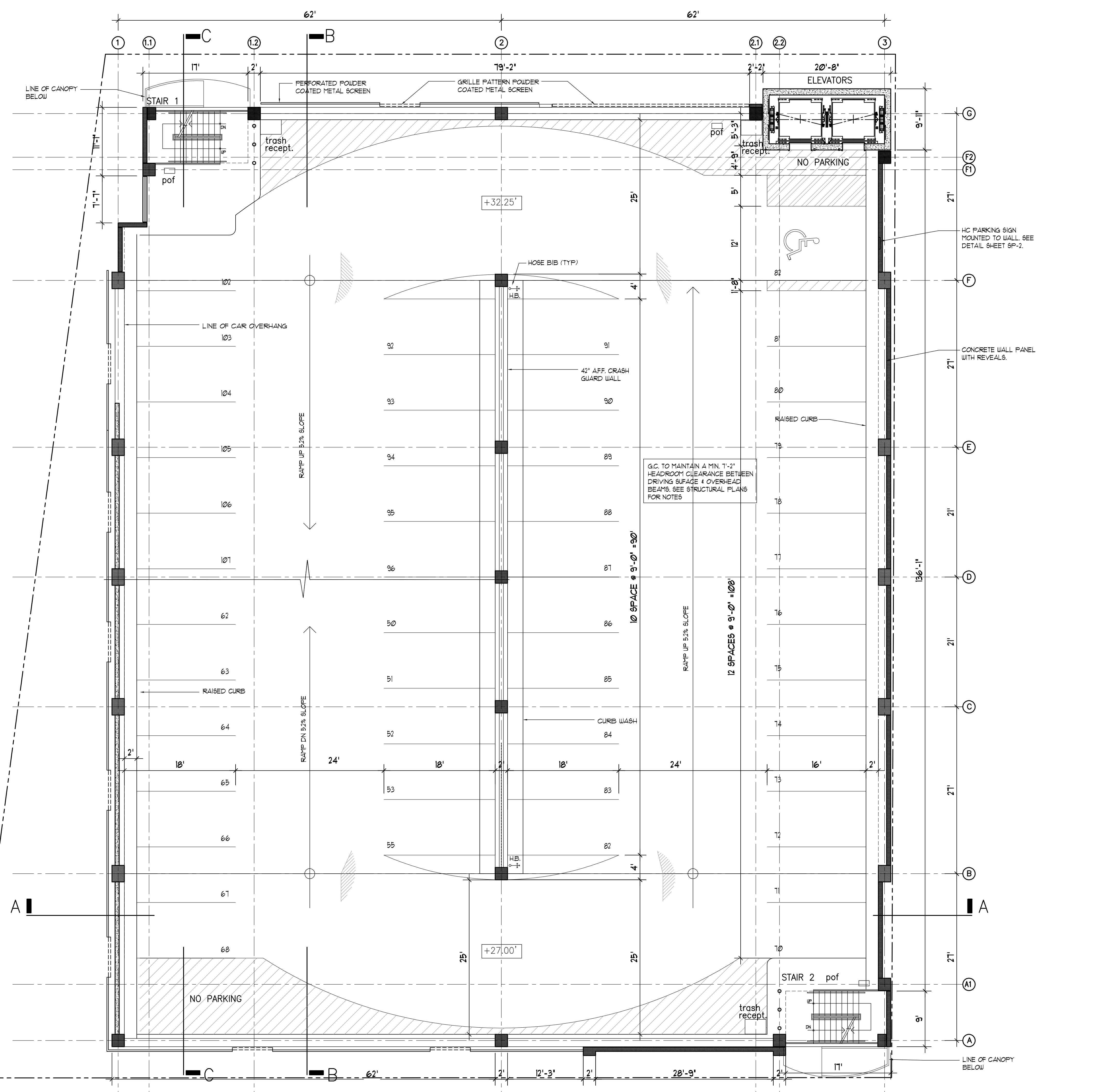
PARTITION NOTES:

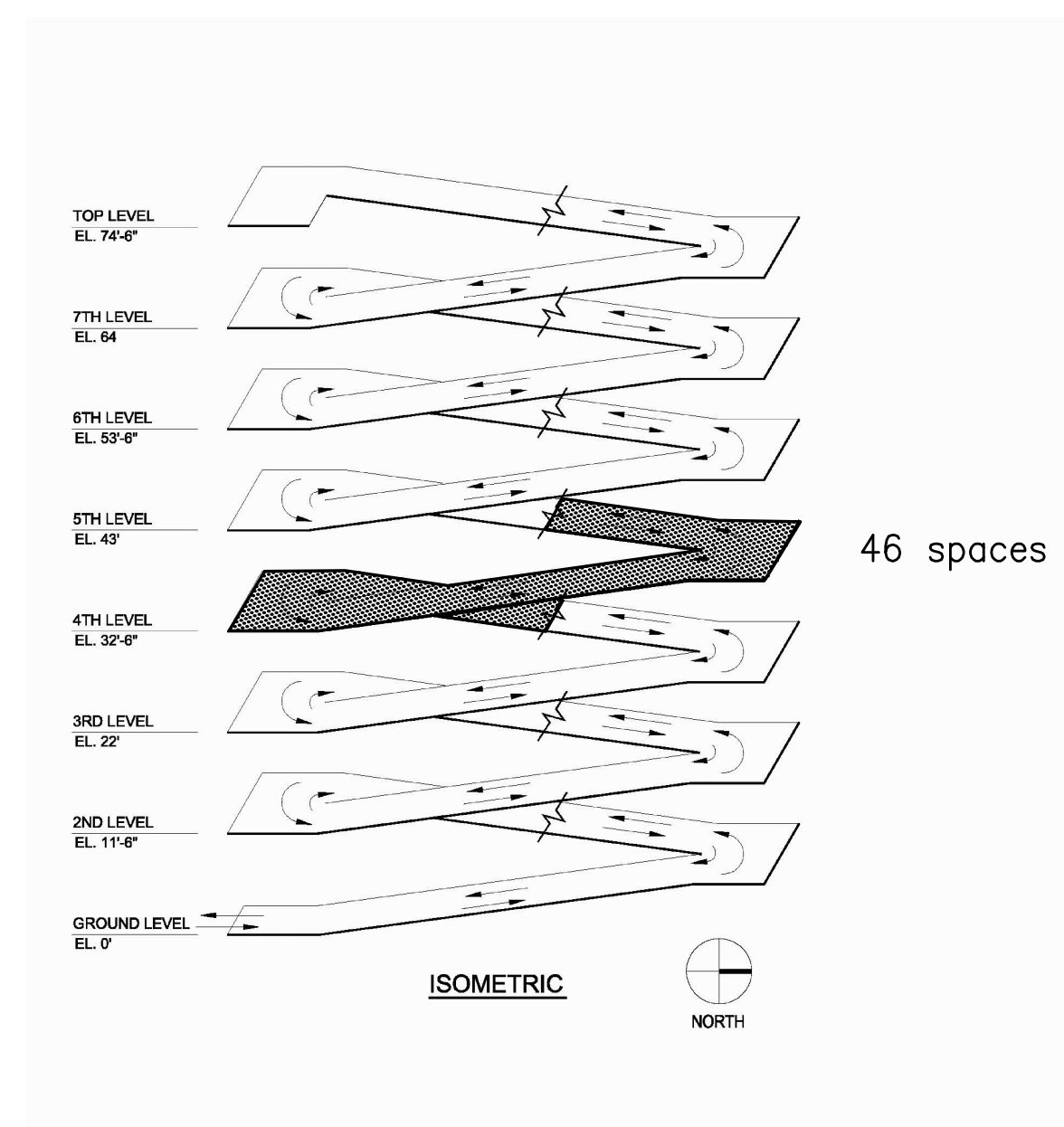
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- ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED WOOD PER 2010 FLORIDA BUILDING CODE - BUILDING - SECTION 603
- ALL P.C. CONCRETE SLABS, WALLS AND PANELS ARE 2-HR FIRE RATED. REFER TO STRUCTURAL DRAWINGS - STRUCTURAL NOTES SHEET 5-001 FOR DETAILS

3 PARTITION LEGEND



1 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"





2 ISOMETRIC KEY PLAN

PARTITION LEGEND

- 1-P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/2" SMOOTH STUCCO FINISH & BUILDING EXTERIOR & AT PARKING DECK SIDE. UL ASSEMBLY A520S.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/2" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. PROVIDE 3/2" SMOOTH STUCCO FINISH & R-5 INSULATION BETWEEN FURRING & EXTERIOR WALLS AND WALLS FACING PARKING DECK. UL ASSEMBLY A520S.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/2" CEMENT BOARD OVER 6" 20GA METAL STUDS @ 16" O.C. PROVIDE R-5 INSULATION BETWEEN FURRING AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. UL ASSEMBLY A520S.
- STOREFRONT WINDOW SYSTEM OVER 1/2" CMU BLOCK KNEE WALL W/ 3/2" GUB OVER 1/2" METAL FURRING @ 16" O.C. & R-5 INSULATION BETWEEN FURRING AT INTERIOR. PAINTED 3/2" SMOOTH STUCCO FINISH AT EXTERIOR AND WATERPROOFING TO 600" NAVD.
- 3/4" 20 GA METAL STUDS @ 16" O.C. W/ 3/2" GUB AT EACH SIDE, BRACED EVERY OTHER STD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 6" 20 GA METAL STUDS @ 16" O.C. W/ 3/2" GUB AT EACH SIDE, BRACED EVERY OTHER STD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 2-HR FIRE RATED CAST-IN-PLACE CONCRETE WALL W/ 3/2" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. AT RETAIL INTERIOR. PROVIDE 3/2" SMOOTH STUCCO FINISH & EXTERIOR WALLS AND WALLS FACING PARKING DECK. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.

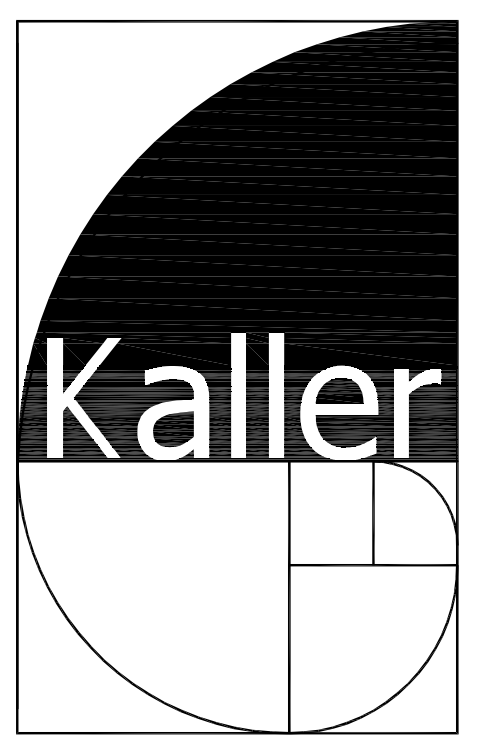
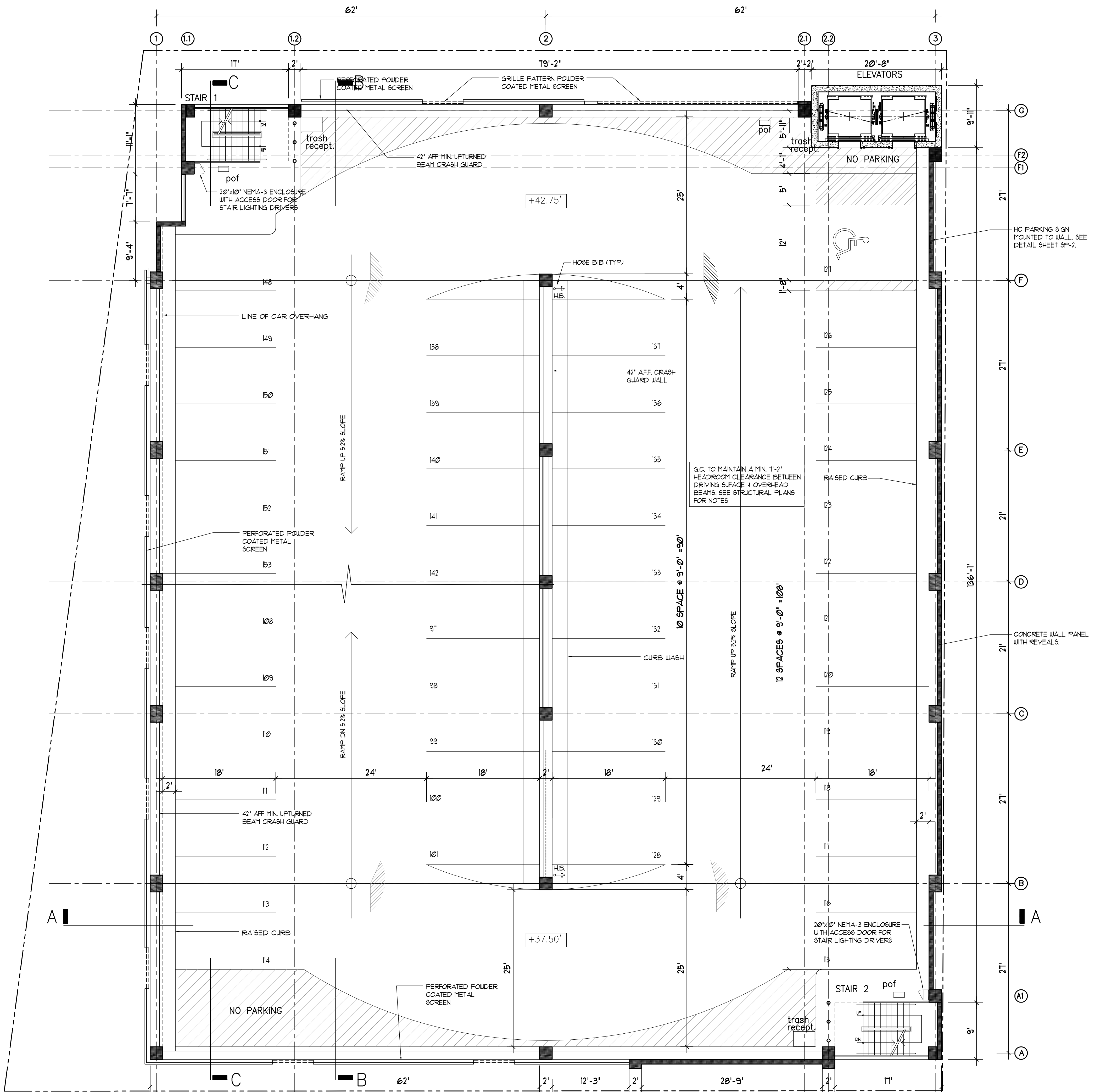
PARTITION NOTES:

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2. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED WOOD PER 2010 FLORIDA BUILDING CODE - BUILDING - SECTION 603.
3. ALL P.C. CONCRETE SLABS, WALLS AND PANELS ARE 2-HR FIRE RATED. REFER TO STRUCTURAL DRAWINGS - STRUCTURAL NOTES SHEET 5-001 FOR DETAILS.

3 PARTITION LEGEND

1 FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 FOURTH FLOOR

REVISIONS

No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV
3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

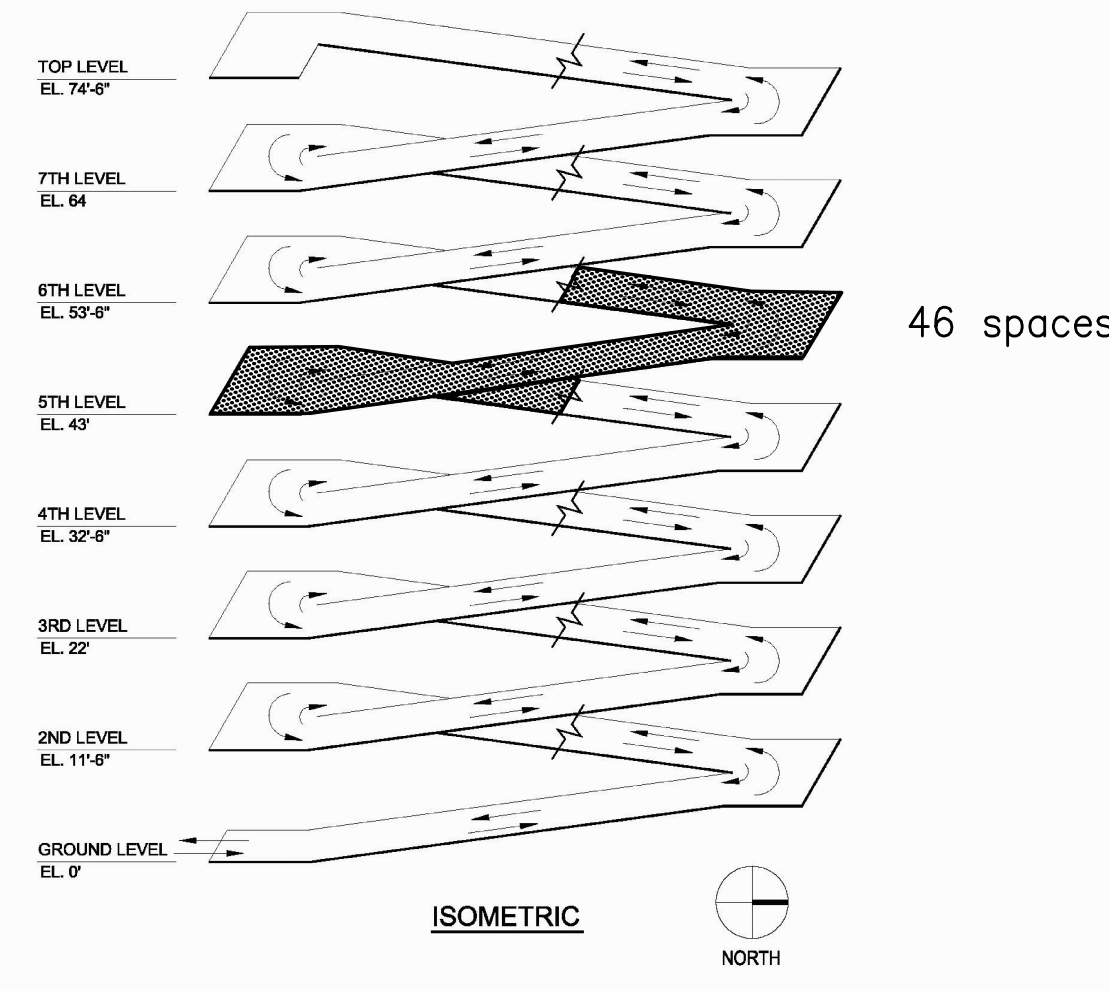
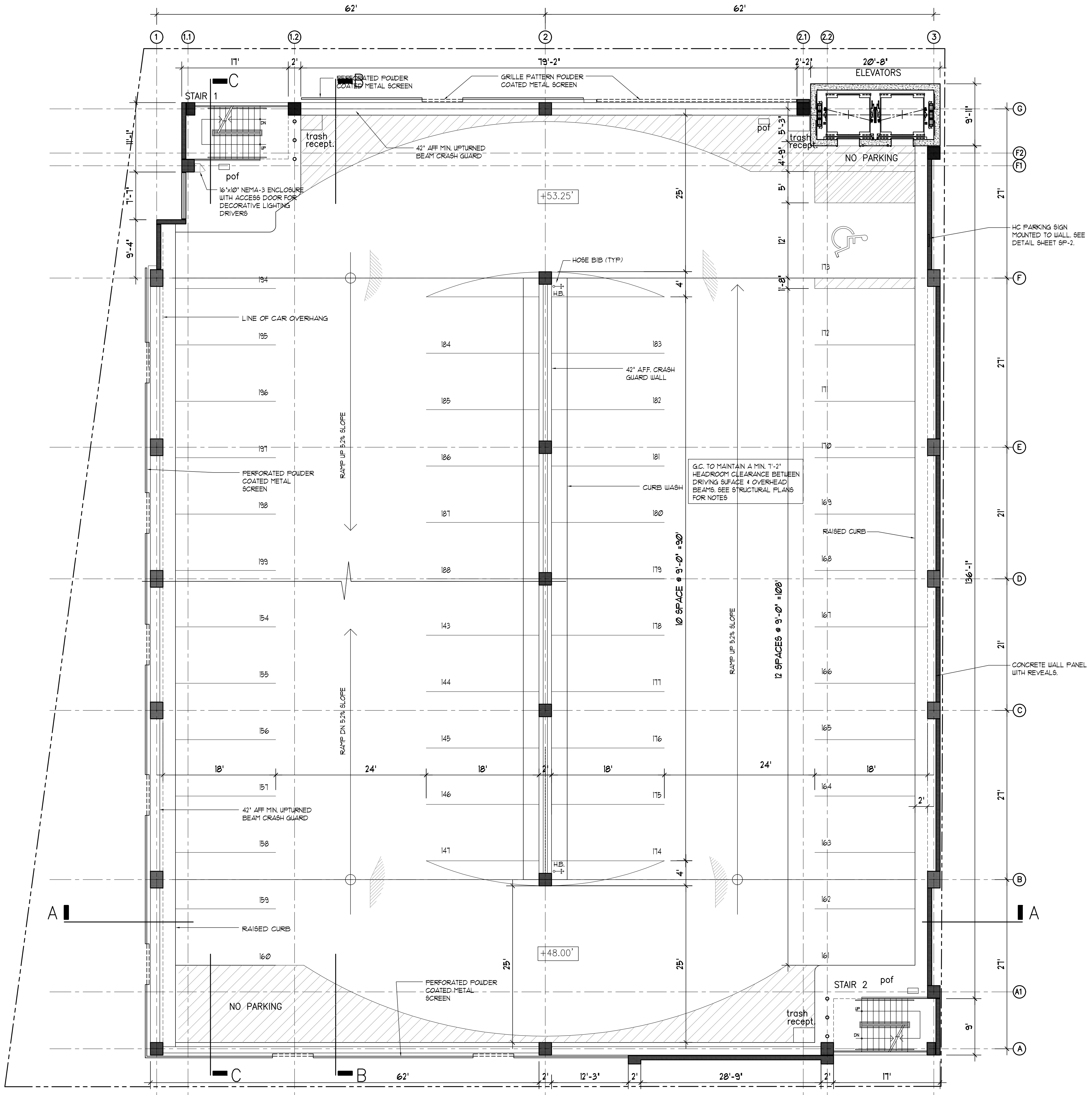
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SHEET

A-4

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV
3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS



2 ISOMETRIC KEY PLAN

PARTITION LEGEND

- 1-P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/4\"/>
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/4\"/>
- 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/4\"/>
- STOREFRONT WINDOW SYSTEM OVER 18\"/>
-
-
- 2-HR FIRE RATED CAST-IN-PLACE CONCRETE WALL W/ 3/4\"/>

- PARTITION NOTES:**
- ALL CONCRETE WALLS, SLABS, BEAMS, COLUMN & CMU BLOCK WALLS BELOW THE BASE FLOOR ELEVATION (BFE) SHALL RECEIVE WATERPROOF SEALANT COATING AT INTERIOR SIDE TO A HEIGHT OF 48\"/>
 - ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED WOOD PER 2010 FLORIDA BUILDING CODE - BUILDING - SECTION 603
 - ALL P.C. CONCRETE SLABS, WALLS AND PANELS ARE 2-HR FIRE RATED. REFER TO STRUCTURAL DRAWINGS - STRUCTURAL NOTES SHEET 5-001 FOR DETAILS

3 PARTITION LEGEND



1 FIFTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

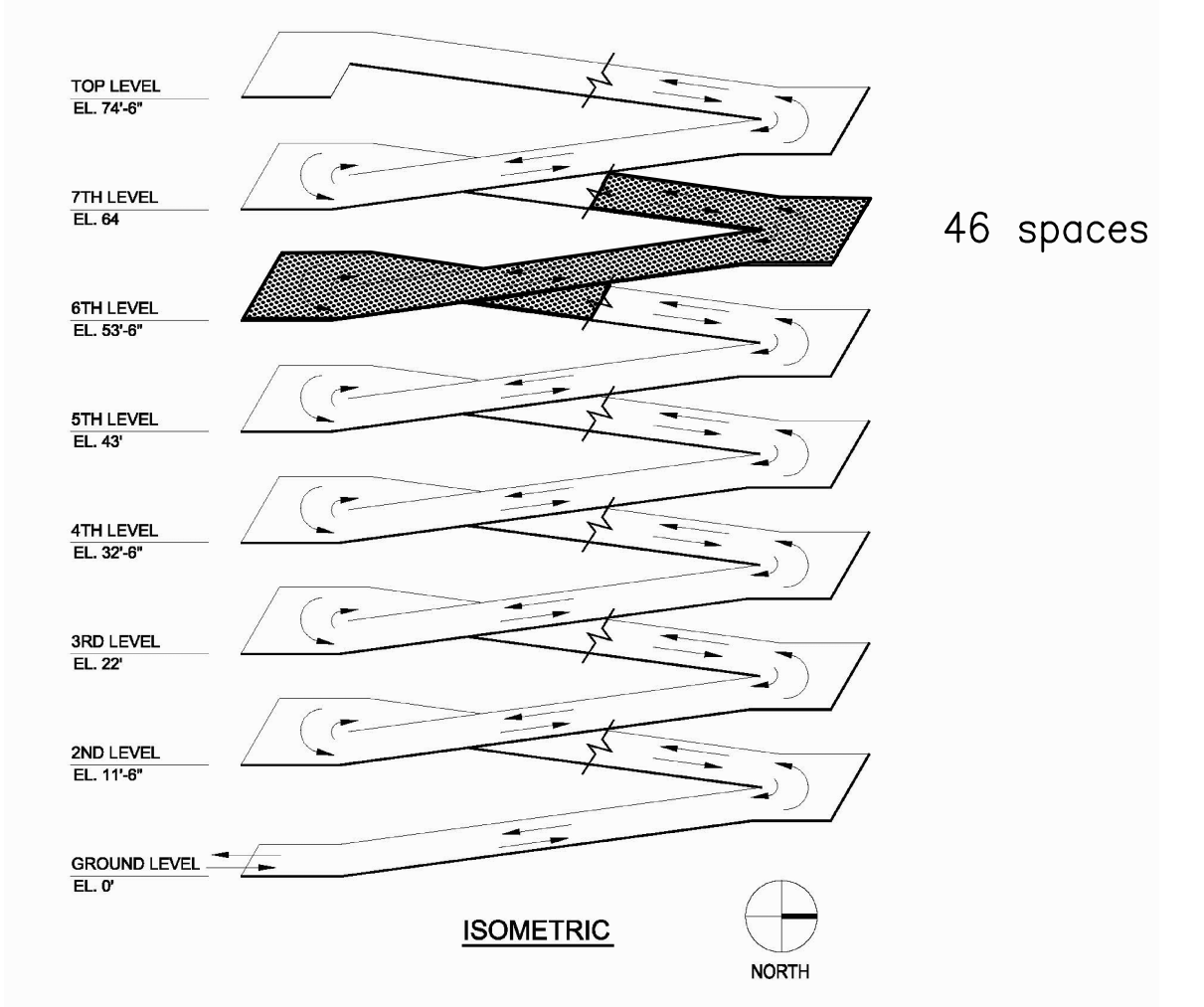
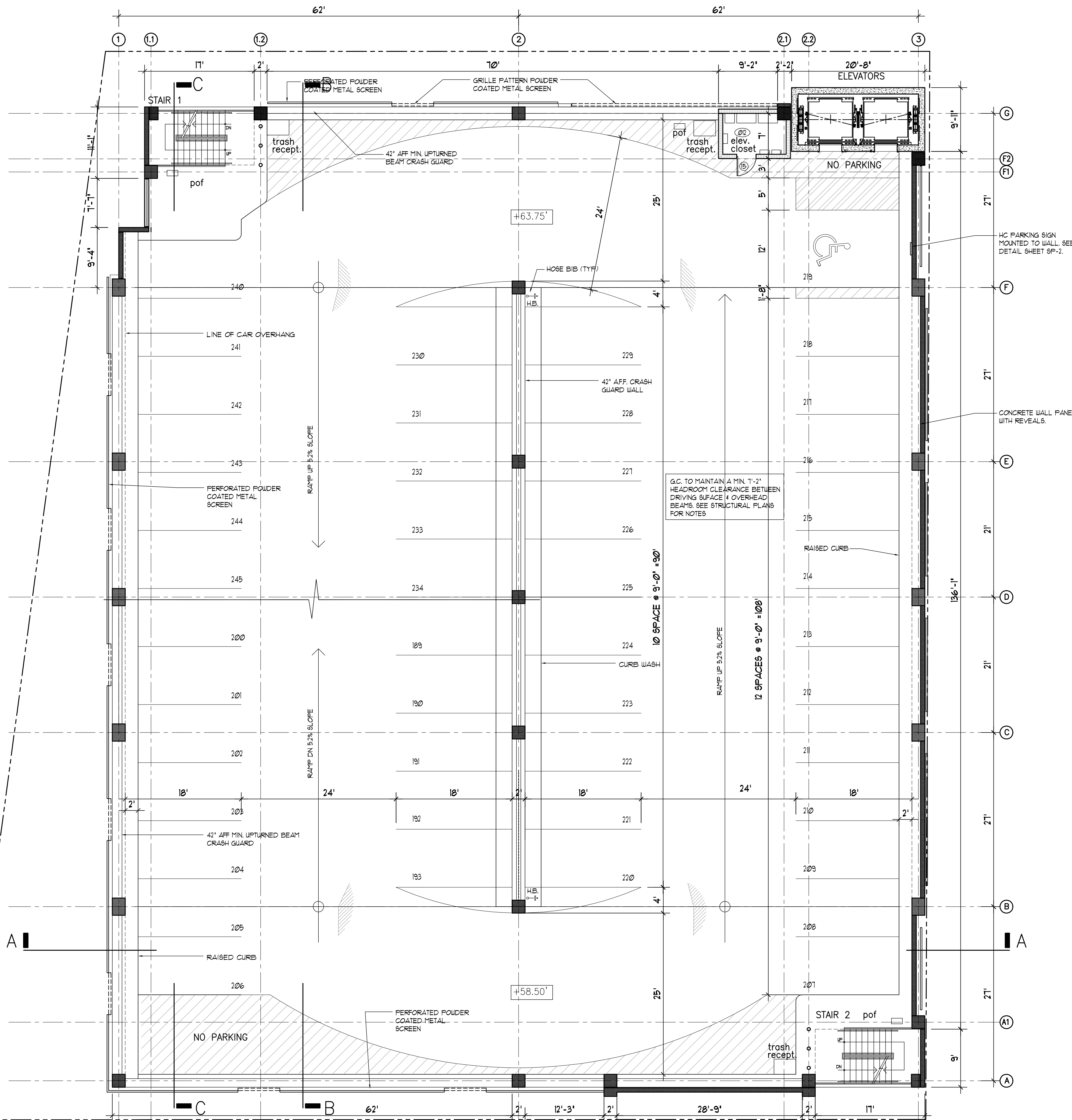
SHEET TITLE
 SIXTH FLOOR

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV.
3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-6



2 ISOMETRIC KEY PLAN

PARTITION LEGEND	
[Symbol]	P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
[Symbol]	2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
[Symbol]	2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/8" SMOOTH STUCCO FINISH & BUILDING EXTERIOR & AT PARKING DECK SIDE. UL ASSEMBLY 450B.
[Symbol]	2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/8" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. PROVIDE 3/8" SMOOTH STUCCO FINISH & R-5 INSULATION BETWEEN FURRING & EXTERIOR WALLS AND WALLS FACING PARKING DECK. UL ASSEMBLY 450B.
[Symbol]	2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/8" CEMENT BOARD OVER 6" 20GA METAL STUDS @ 16" O.C. PROVIDE R-5 INSULATION BETWEEN FURRING AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. UL ASSEMBLY 450B.
[Symbol]	STOREFRONT WINDOW SYSTEM OVER 18" CMU BLOCK KNEE WALL W/ 3/8" GIB OVER 1/2" METAL FURRING @ 16" O.C. & R-5 INSULATION BETWEEN FURRING AT INTERIOR. PAINTED 3/8" SMOOTH STUCCO FINISH AT EXTERIOR AND WATERPROOFING TO 600' NAVD.
[Symbol]	3/8" 20 GA METAL STUDS @ 16" O.C. W/ 3/8" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
[Symbol]	6" 20 GA METAL STUDS @ 16" O.C. W/ 3/8" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
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PARTITION NOTES:
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3 PARTITION LEGEND



1 SIXTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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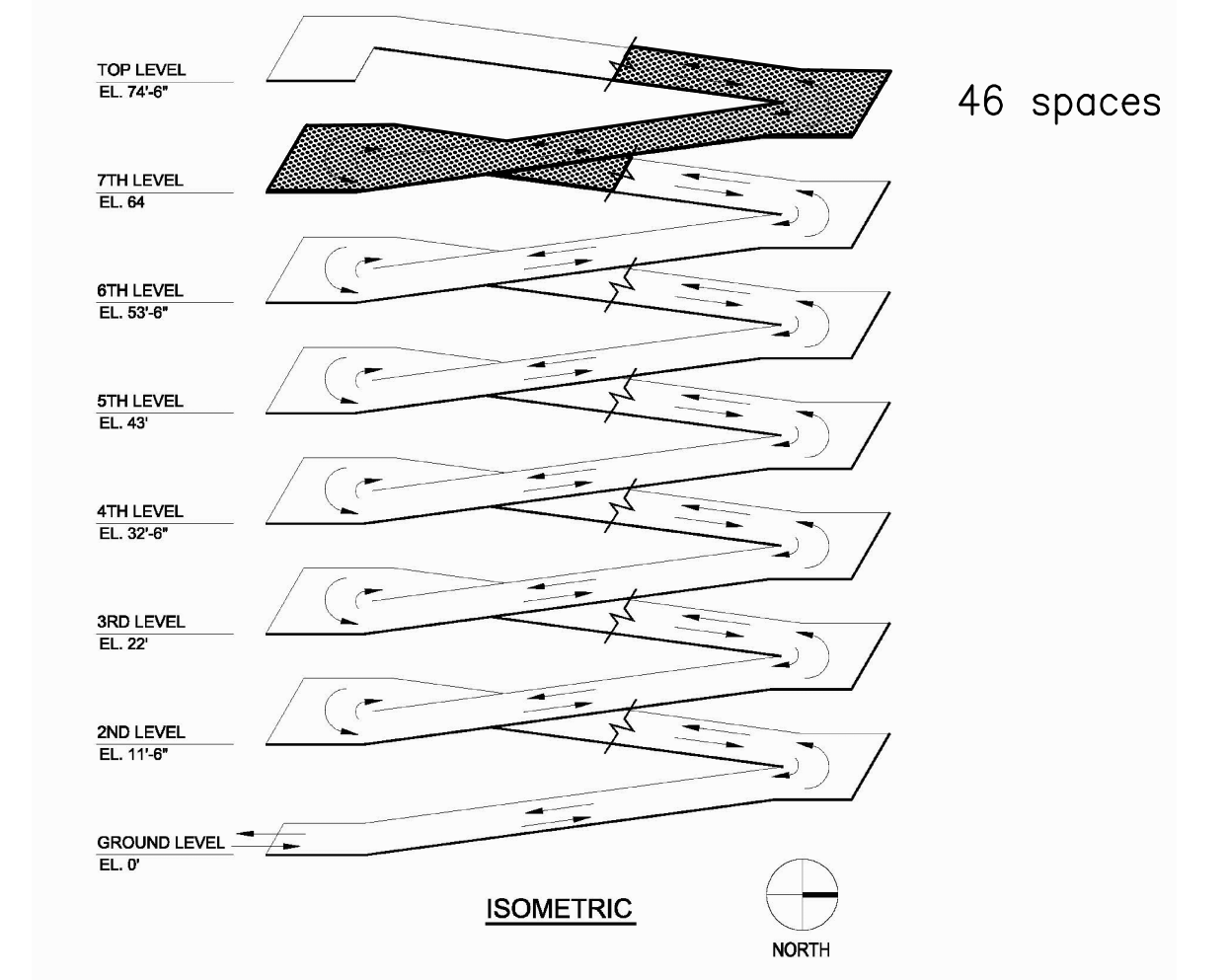
SHEET TITLE
SEVENTH FLOOR

REVISIONS		
No.	DATE	DESCRIPTION
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3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

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SHEET
A-7



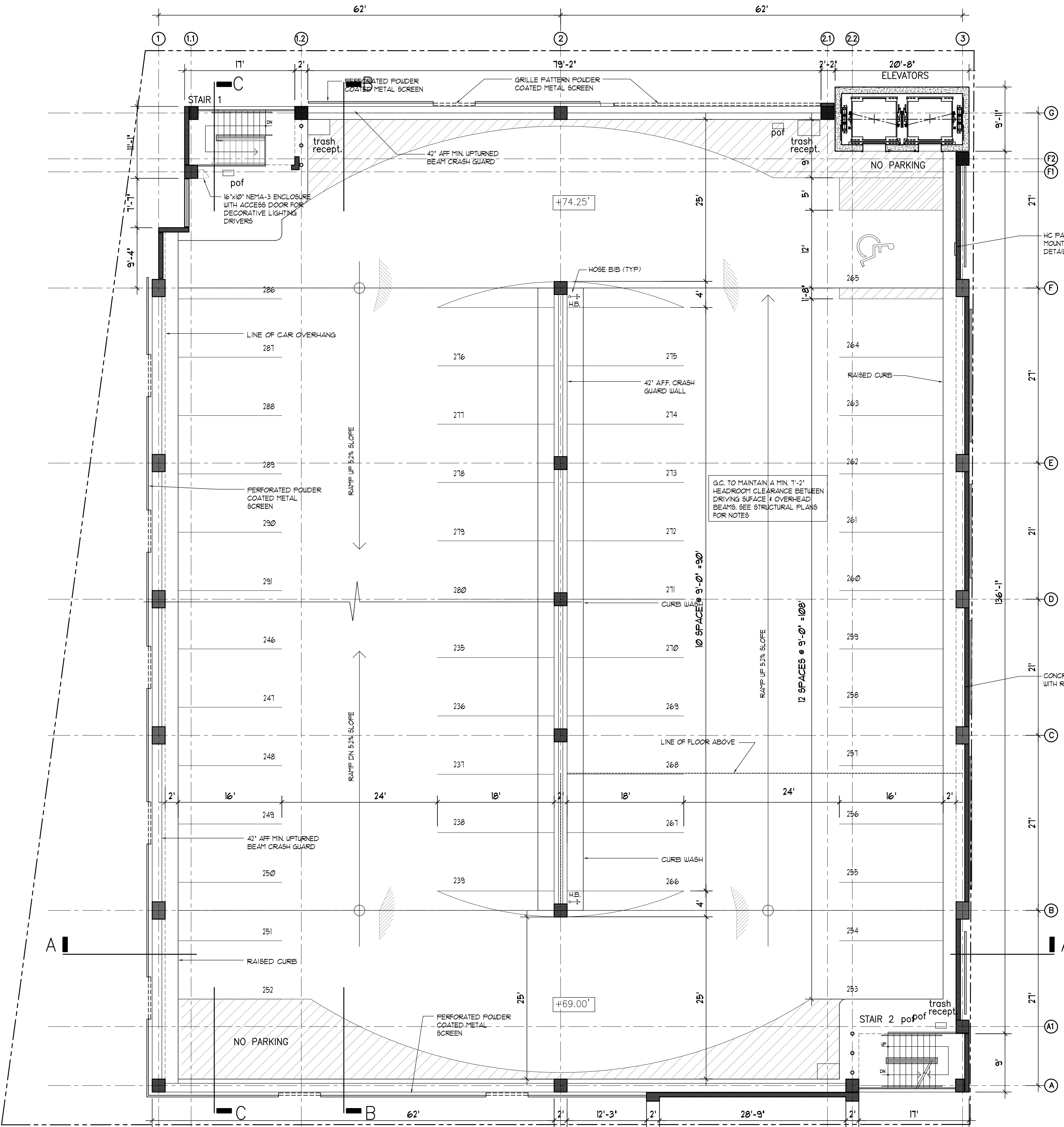
2 ISOMETRIC KEY PLAN

PARTITION LEGEND

- ◆ P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- ◆ 2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- ◆ 2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/4" SMOOTH STUCCO FINISH & BUILDING EXTERIOR & AT PARKING DECK SIDE. UL ASSEMBLY A1909.
- ◆ 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/8" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. PROVIDE 3/4" SMOOTH STUCCO FINISH & R-5 INSULATION BETWEEN FURRING & EXTERIOR WALLS AND WALLS FACING PARKING DECK. UL ASSEMBLY A1909.
- ◆ 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/8" CEMENT BOARD OVER 6" 2X6GA METAL STUDS @ 16" O.C. PROVIDE R-5 INSULATION BETWEEN FURRING AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. UL ASSEMBLY A1909.
- ◆ STOREFRONT WINDOW SYSTEM OVER 18" CMU BLOCK KNEE WALL W/ 3/8" GIB OVER 1/2" METAL FURRING @ 16" O.C. & R-5 INSULATION BETWEEN FURRING AT INTERIOR. PAINTED 3/4" SMOOTH STUCCO FINISH AT EXTERIOR AND WATERPROOFING TO 600' NAVD.
- ◆ 3/8" 2X6 METAL STUDS @ 16" O.C. W/ 3/8" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE HR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- ◆ 6" 2X6 METAL STUDS @ 32" O.C. W/ 3/8" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE HR BOARD AT JET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETS OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
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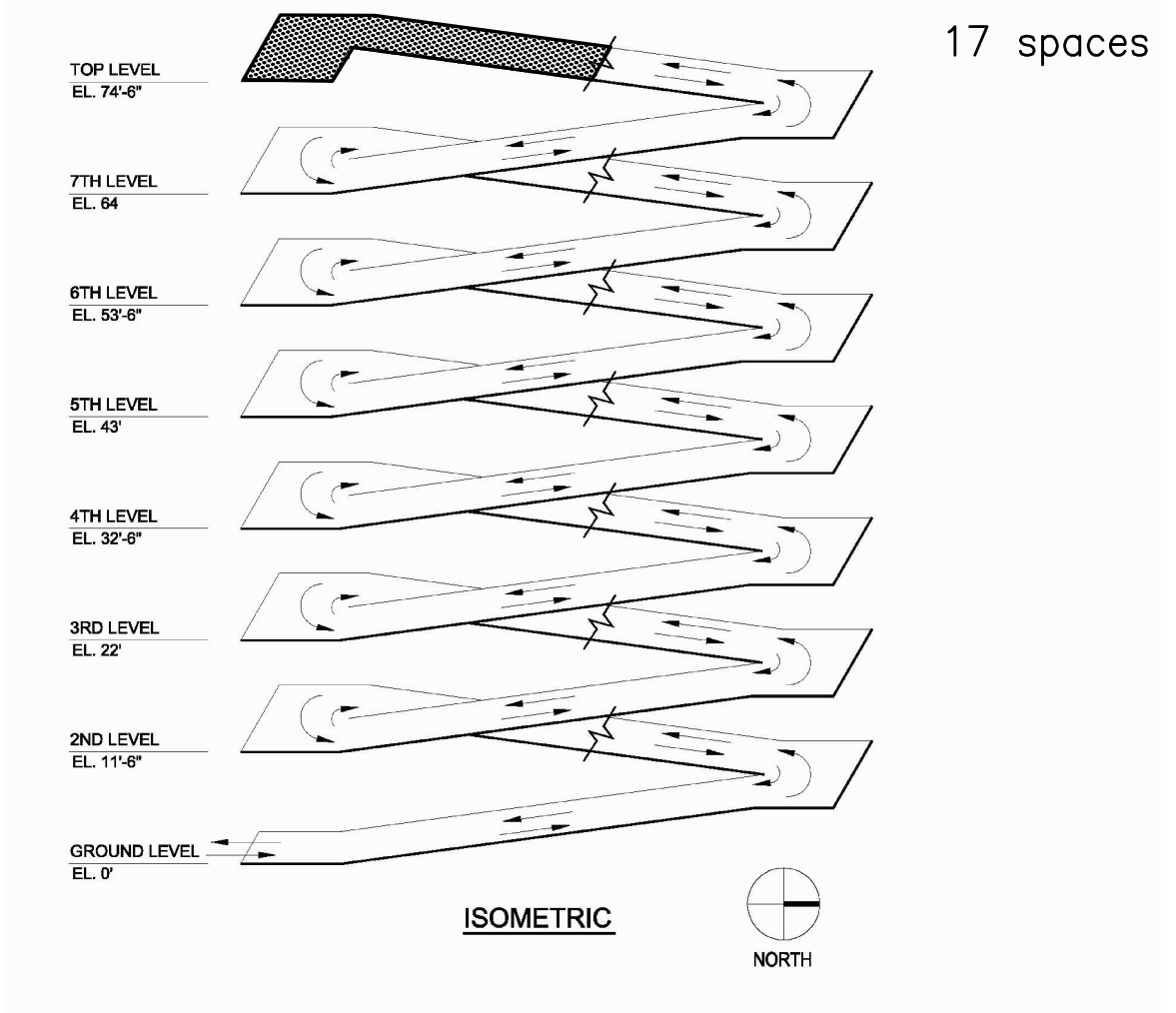
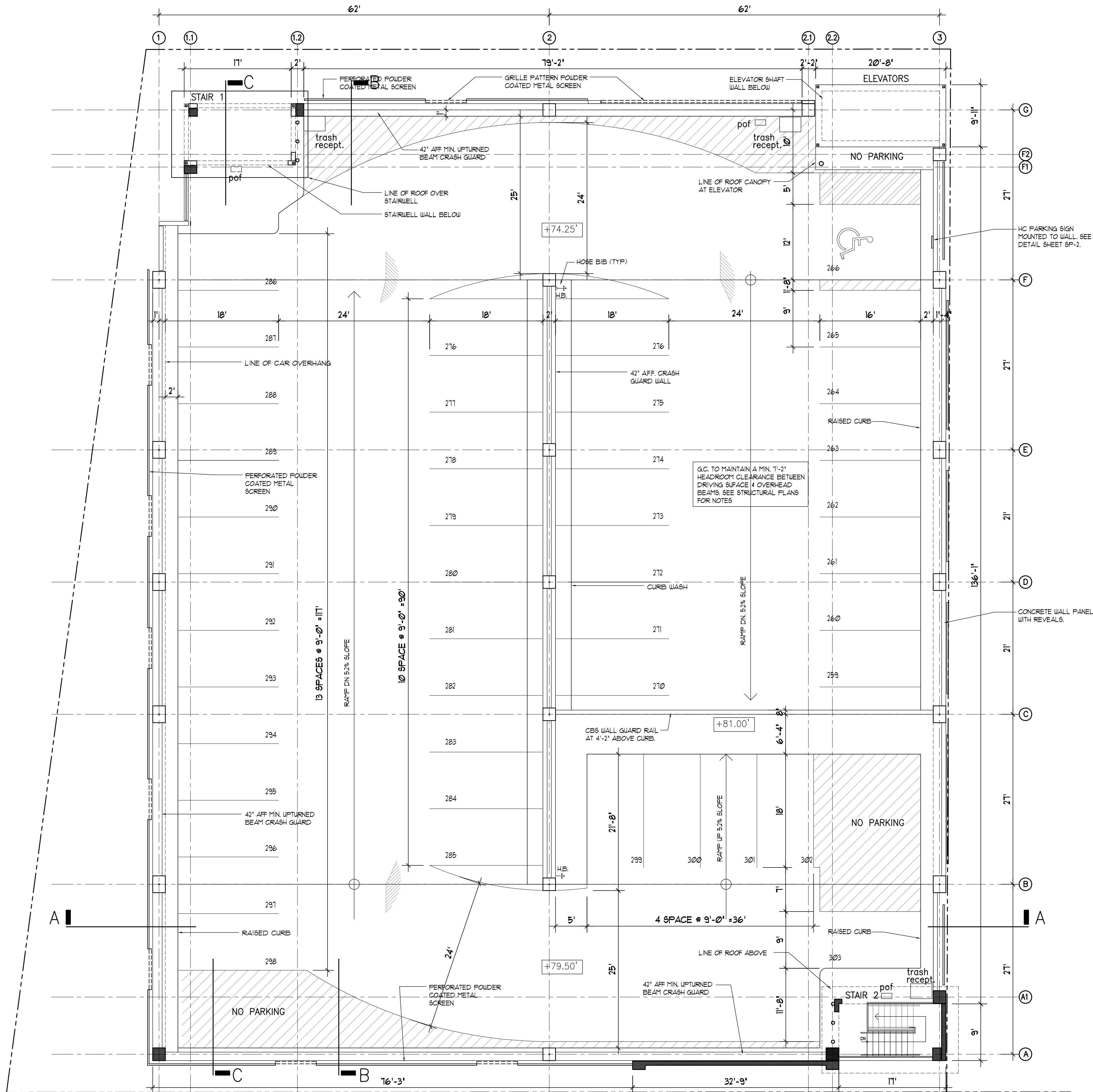
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 2. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED WOOD PER 2010 FLORIDA BUILDING CODE - BUILDING : SECTION 603.
 3. ALL P.C. CONCRETE SLABS, WALLS AND PANELS ARE 2-HR FIRE RATED. REFER TO STRUCTURAL DRAWINGS - STRUCTURAL NOTES SHEET 5-001 FOR DETAILS.

3 PARTITION LEGEND




1 SEVENTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"








2 ISOMETRIC KEY PLAN


PARTITION LEGEND


- 


 P.C. CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 


 2-HR FIRE RATED P.C. CONCRETE PANEL. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.
- 


 2-HR FIRE RATED CMU BLOCK (D-2) WALL. PROVIDE 3/4" SMOOTH STUCCO FINISH & BUILDING EXTERIOR & AT PARKING DECK SIDE. UL ASSEMBLY 13095.
- 

 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/4" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. PROVIDE 3/4" SMOOTH STUCCO FINISH & R-5 INSULATION BETWEEN FURRING & EXTERIOR WALLS AND WALLS FACING PARKING DECK. UL ASSEMBLY 13095.
- 

 2-HR FIRE RATED CMU BLOCK (D-2) WALL W/ 3/4" CEMENT BOARD OVER 6" 20GA METAL STUDS @ 16" O.C. PROVIDE R-5 INSULATION BETWEEN FURRING AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. UL ASSEMBLY 13095.
- 

 STOREFRONT WINDOW SYSTEM OVER 18" CMU BLOCK KNEE WALL W/ 3/4" GIB OVER 1/2" METAL FURRING @ 16" O.C. & R-5 INSULATION BETWEEN FURRING AT INTERIOR. PAINTED 3/4" SMOOTH STUCCO FINISH AT EXTERIOR AND WATERPROOFING TO 600' NAVD.
- 

 3x6 20 GA METAL STUDS @ 16" O.C. W/ 3/4" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT WET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 

 6x12 20 GA METAL STUDS @ 16" O.C. W/ 3/4" GIB AT EACH SIDE, BRACED EVERY OTHER STUD @ 32" O.C. TO TOP TRACK MECHANICALLY ANCHORED TO BOTTOM OF STRUCTURE ABOVE. PROVIDE FR BOARD AT WET LOCATIONS AND FIRE-RETARDANT TREATED WOOD BLOCKING BETWEEN STUDS AT LOCATIONS SUPPORTING CABINETRY OR FIXTURES FOR THE FULL LENGTH OF THE FIXTURE. PROVIDE SOUND BATT INSULATION BETWEEN STUDS.
- 

 2-HR FIRE RATED CAST-IN-PLACE CONCRETE WALL W/ 3/4" CEMENT BOARD OVER 1/2" METAL FURRING @ 16" O.C. AT RETAIL INTERIOR. PROVIDE 3/4" SMOOTH STUCCO FINISH & EXTERIOR WALLS AND WALLS FACING PARKING DECK. SEE STRUCTURAL DRAWINGS FOR DETAILS, SIZE & REINFORCING.

PARTITION NOTES:

1. ALL CONCRETE WALLS, SLABS, BEAMS, COLUMNS & CMU BLOCK WALLS BELOW THE BASE FLOOD ELEVATION (BFE) SHALL RECEIVE WATERPROOF SEALANT COATING AT INTERIOR SIDE TO A HEIGHT OF 600' NAVD, PRIOR TO INSTALLATION OF FURRING AND FINISHES. APPLICATION OF WATERPROOFING AS PER MANUFACTURER'S SPEC. WATERPROOF COATING & WARRANTY SHALL BE PROVIDED BY A CERTIFIED WATERPROOFING CONTRACTOR.
2. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE-RETARDANT TREATED WOOD PER 2010 FLORIDA BUILDING CODE - BUILDING - SECTION 603.
3. ALL P.C. CONCRETE SLABS, WALLS AND PANELS ARE 2-HR FIRE RATED. REFER TO STRUCTURAL DRAWINGS - STRUCTURAL NOTES SHEET 5-001 FOR DETAILS.

3 PARTITION LEGEND

1 TOP LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



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 813.888.5822 Fax
 BE-0003840

PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 TOP LEVEL

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV
3	11/16/16	TAC REVISION

PROJECT No.: 14221
 DATE: 01-27-15
 DRAWN BY: GMV
 CHECKED BY: JBK

SHEET

A-8



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 BE-0003840

PROJECT TITLE
NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
WEST ELEVATION
 (THRU-DRIVE)

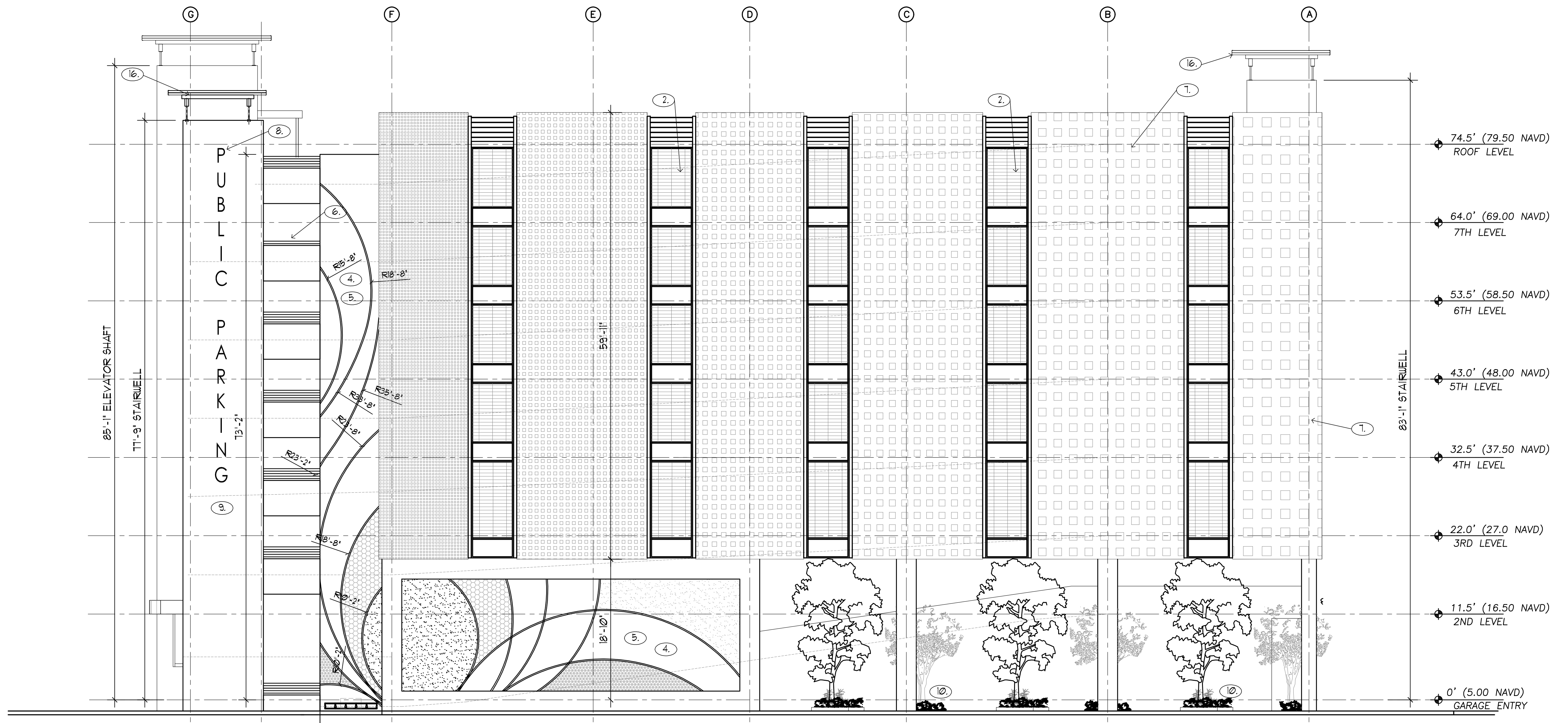
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3	11/16/16	TAC REVISION
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PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-9



- 1. NOT USED
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. IMPACT RESISTANT ROLL-UP DOOR
- 4. STUCCO SCORING
- 5. ART INSTALLATION PANEL
- 6. 42" HIGH ALUMINUM GUARD RAILING
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. TIERED PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. CONCRETE EYEBROW
- 14. PLANTERS
- 15. NOT USED
- 16. POWDER COATED METAL CANOPY
- 17. NOT USED
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 SOUTH ELEVATION
 (THRU-DRIVE)

REVISIONS

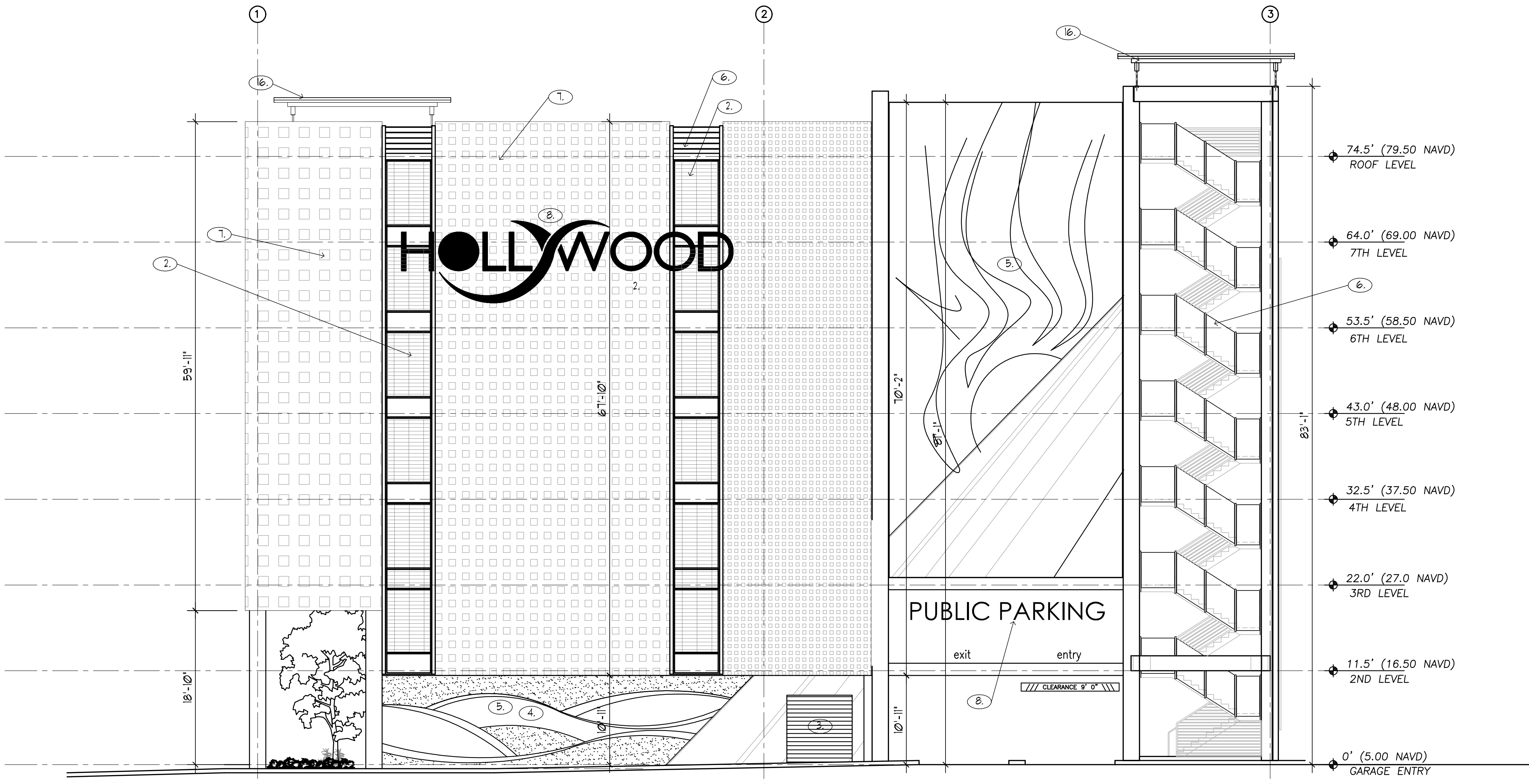
No.	DATE	DESCRIPTION
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3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

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PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-10



- 1. NOT USED
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. IMPACT RESISTANT ROLL-UP DOOR
- 4. STUCCO SCORING
- 5. ART INSTALLATION PANEL
- 6. 42' HIGH ALUMINUM GUARD RAILING
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. TIERED PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. CONCRETE EYEBROW
- 14. PLANTERS
- 15. NOT USED
- 16. POWDER COATED METAL CANOPY
- 17. NOT USED
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 NORTH ELEVATION
 (THRU-DRIVE)

REVISIONS

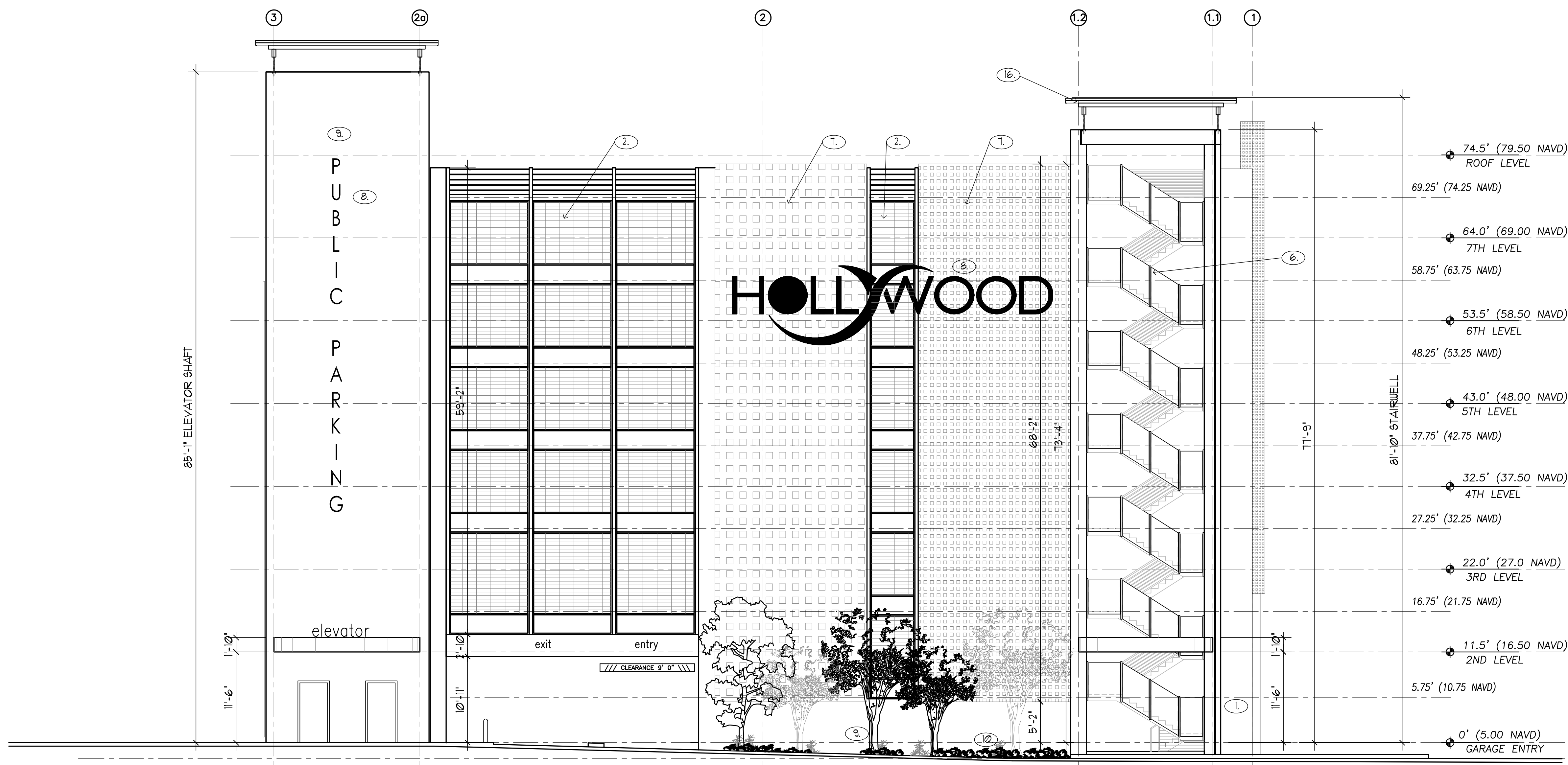
No.	DATE	DESCRIPTION
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3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

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PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-11



- 1. NOT USED
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. IMPACT RESISTANT ROLL-UP DOOR
- 4. STUCCO SCORING
- 5. ART INSTALLATION PANEL
- 6. 42" HIGH ALUMINUM GUARD RAILING
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. TIERED PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. CONCRETE EYEBROW
- 14. PLANTERS
- 15. NOT USED
- 16. POWDER COATED METAL CANOPY
- 17. NOT USED
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



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PROJECT TITLE
NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
EAST ELEVATION

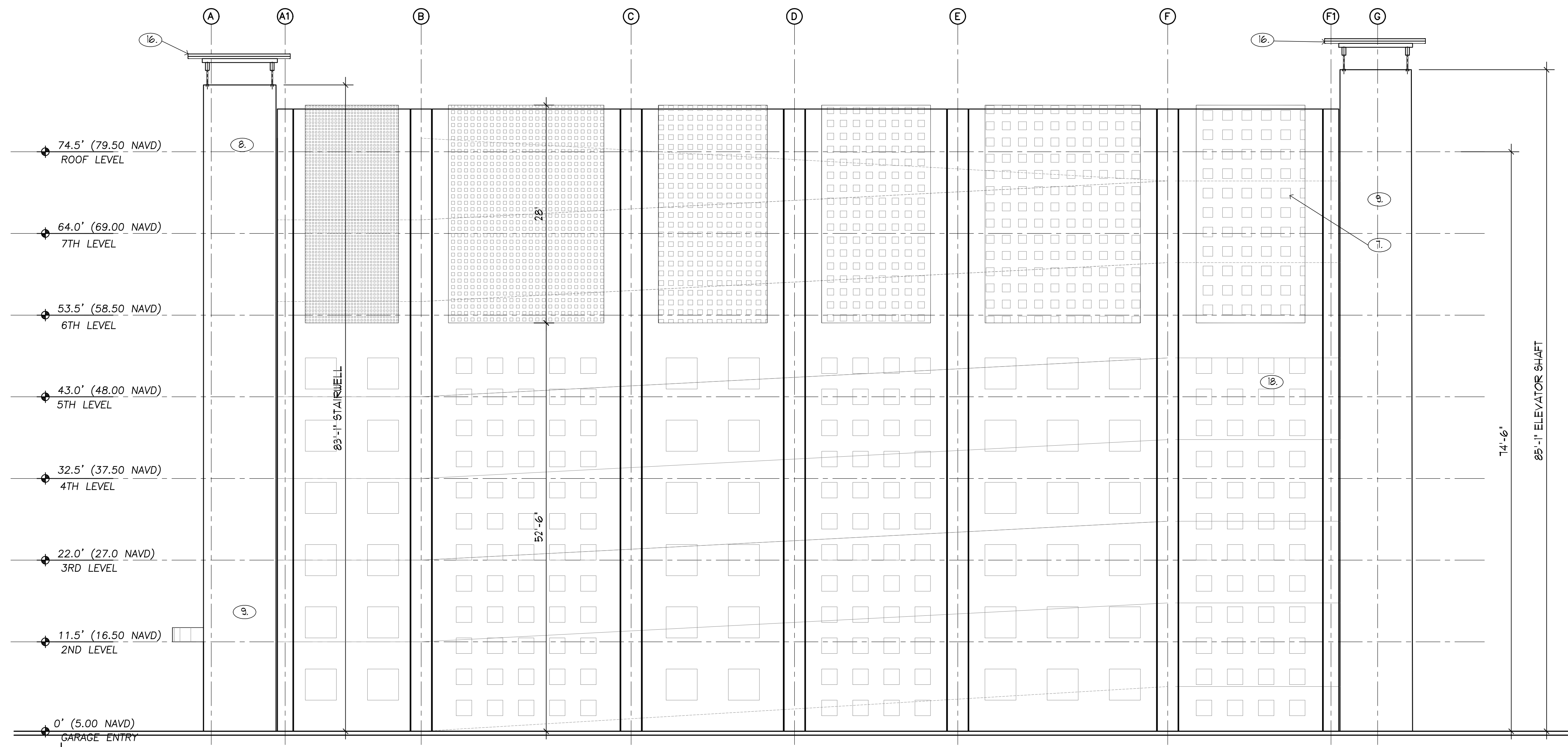
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PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-12



- 1. NOT USED
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. IMPACT RESISTANT ROLL-UP DOOR
- 4. STUCCO SCORING
- 5. ART INSTALLATION PANEL
- 6. 42" HIGH ALUMINUM GUARD RAILING
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. TIERED PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. CONCRETE EYEBROW
- 14. PLANTERS
- 15. NOT USED
- 16. POWDER COATED METAL CANOPY
- 17. NOT USED
- 18. RECESSED SQUARE PATTERN IN CONCRETE

1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



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PROJECT TITLE
 NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
 SECTION A-A

REVISIONS		
No.	DATE	DESCRIPTION
1	10/02/15	COMMENT REV
3	11/16/16	TAC REVISION
4	12/05/16	FINAL TAC COMMENTS

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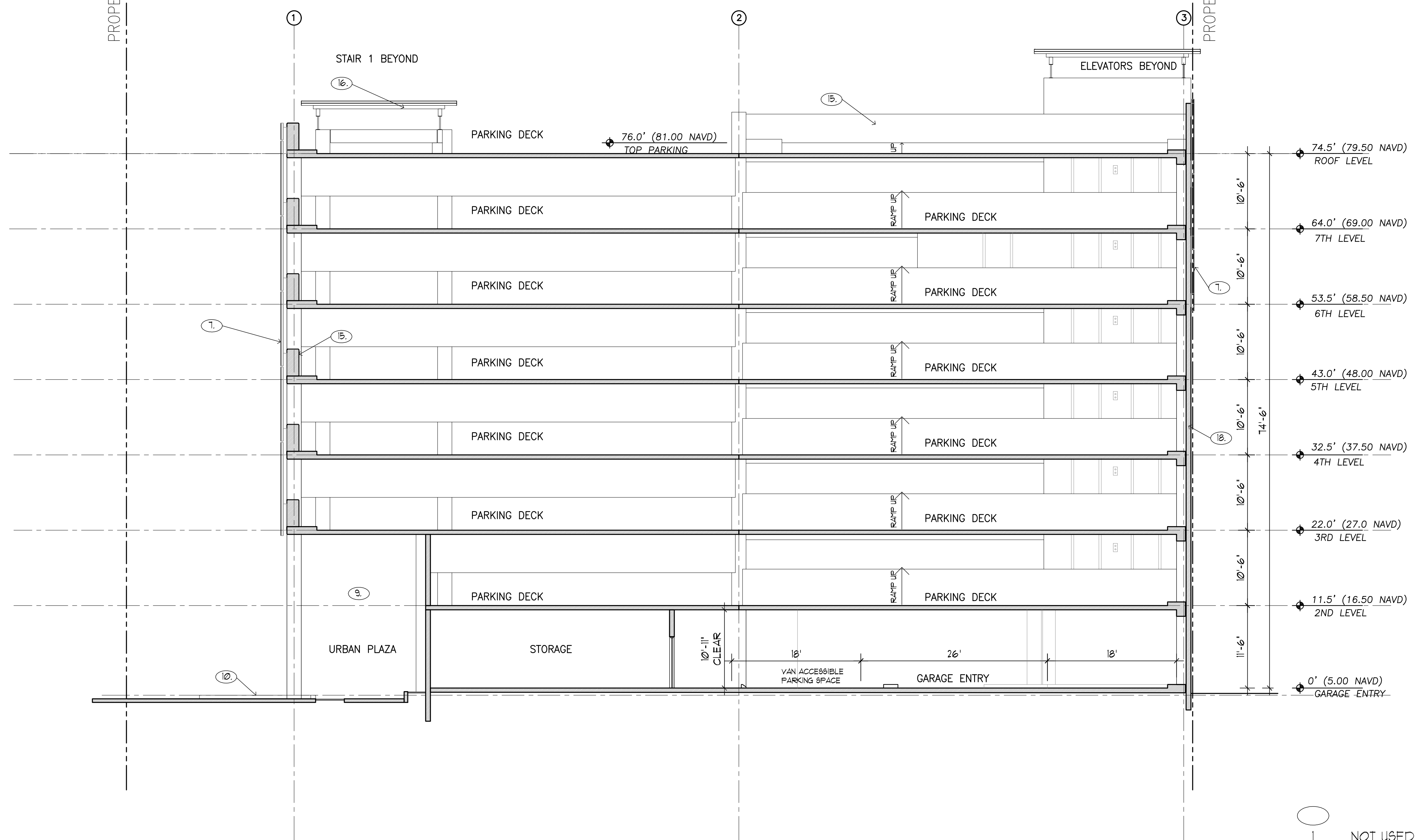
PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-13

PROPERTY LINE

PROPERTY LINE



1 SECTION A-A
 SCALE: 1/8" = 1'-0"

- 1. NOT USED
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. NOT USED
- 4. STUCCO SCORING
- 5. ART INSTALLATION (TO BE DETERMINED)
- 6. 42' HIGH CRASH WALL
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. TIERED PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. POWDER COATED ALUMINUM FINISH/ SCREEN
- 14. PLANTERS
- 15. CONCRETE CRASH GUARDS
- 16. POWDER COATED METAL CANOPY
- 17. NOT USED
- 18. CONCRETE WALL PANELS WITH DECORATIVE REVEALS

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PROJECT TITLE
NEBRASKA GARAGE
 327 NEBRASKA STREET
 HOLLYWOOD FL

SHEET TITLE
SECTION C-C

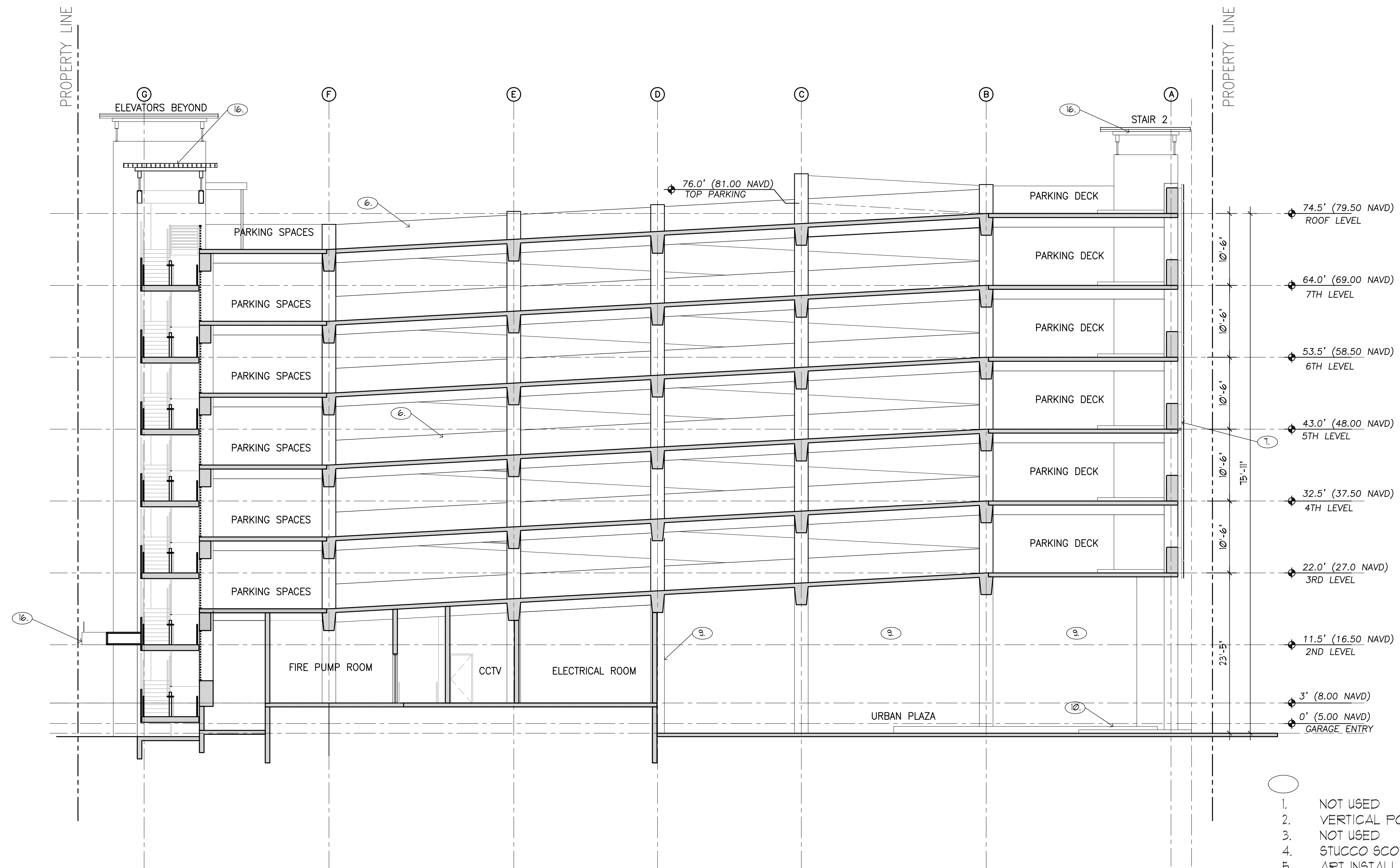
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3	11/16/16	TAC REVISION
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PROJECT No.: 12106
 DATE: 01-27-15
 DRAWN BY: JAIME
 CHECKED BY: JBK

SHEET

A-15



1 SECTION C-C
 SCALE: 1/8" = 1'-0"

- 1. NOT USED
- 2. VERTICAL POWDER COATED ALUMINUM SCREEN
- 3. NOT USED
- 4. STUCCO SCORING
- 5. ART INSTALLATION (TO BE DETERMINED)
- 6. 42' HIGH CRASH WALL
- 7. POWDER COATED ALUMINUM SCREEN
- 8. POWDER COATED BACK LIT CHANNEL LETTER SIGNAGE
- 9. SMOOTH STUCCO WALL FINISH
- 10. TIERED PLANTERS
- 11. IMPACT RESISTANT HOLLOW METAL DOOR
- 12. ELEVATOR DOORS
- 13. POWDER COATED ALUMINUM FINISH/ SCREEN
- 14. PLANTERS
- 15. CONCRETE CRASH GUARDS
- 16. POWDER COATED METAL CANOPY
- 17. NOT USED
- 18. CONCRETE WALL PANELS WITH DECORATIVE REVEALS

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MEMORANDUM

To: Clarissa Ip, P.E., CFM
From: Christopher W. Heggen, P.E.
Kimley-Horn and Associates, Inc.
Date: October 14, 2015
Revised November 5, 2015
Revised January 19, 2017
**Subject: Nebraska Street Parking Garage
Supplemental Operational Memorandum
Kimley-Horn #040740001**

As a supplement to the traffic study previously prepared for this proposed parking facility, this summary has been prepared to further address traffic operations measures that are proposed to be implemented in conjunction with development of the parking facility. The measures address the roadway laneage to be provided on Nebraska Street and on Nevada Street, intersection control at the intersections of SR A1A & Nebraska Street and SR A1A & Nevada Street and permanent and temporary traffic control measures for implementation at the parking garage. Any temporary measures would be implemented during peak demand periods, particularly on weekends and holidays, to accommodate additional queuing requirements for the site. It is anticipated that any specific temporary measures would be finalized after actual observations are conducted during peak times to determine whether the measures need to be implemented and specific parameters that need to be addressed (queuing, etc.).

Following is a summary of the measures that have been identified:

Nebraska Street Design

- The proposed plan for Nebraska Street, which is a two-way facility, is identified in **Exhibit A** attached to this memorandum. That plan provides for a three-lane cross-section on the portion of roadway between SR A1A and the parking garage driveway. This design will allow for one westbound lane approaching SR A1A, a dedicated eastbound left turn lane into the garage entrance, and a dedicated EB through lane to travel east on Nebraska Street. Based upon the analysis contained in the initial traffic study, the 95th-percentile eastbound left-turning queue into the parking garage is anticipated to be one vehicle; therefore, this queue will be accommodated without extending onto SR A1A, plus the presence of a dedicated eastbound through lane will allow through traffic to flow continuously without encountering delay from eastbound left-turning traffic. As a result, the eastbound through traffic is also not anticipated to queue back onto SR A1A. In the westbound direction, a stop sign will be provided (with supplemental signage to indicate that oncoming traffic does not stop, which will allow for eastbound traffic entering the garage to have priority.

- In the future, should it be deemed necessary, the option exists to convert Nebraska Street east of the garage entry into a one-way, eastbound-only street. In this scenario, the portion of the roadway between SR A1A and the garage driveway would still be a two-way street, allowing exiting garage traffic to access SR A1A directly from Nebraska Street. Exhibit B provides an illustration of this option. This option, if implemented, will require property owners further east of Nebraska Street to circulate to Surf Road and then to other adjacent streets, such as Nevada Street, to exit onto SR A1A. As stated previously, this option could be implemented following completion of the garage if it is determined that the design implemented as shown in Option A does not sufficiently accommodate the vehicular demand.

Nevada Street Design

- Nevada Street is a one-way westbound street. Very little of the inbound traffic for the garage is anticipated to enter via Nevada Street, because it would only be able to approach this driveway via Surf Road from the south and then via Nevada Street westbound. Therefore, no modifications are proposed for the roadway section east of the garage driveway. West of the garage driveway to SR A1A, it is assumed that this roadway will be a one-lane approach, allowing left or right turns onto SR A1A. Should it be needed in the future, the option could be provided to implement two westbound lanes from the garage driveway to SR A1A, allowing separate left turn and right turn lanes.

SR A1A & Nebraska Street Intersection

- The SR A1A concept plan includes a southbound left turn lane approaching this intersection. The operational analysis included in the traffic study indicates that the intersection is anticipated to operate acceptably in the future with its current control characteristics. Volume-based signal warrant criteria as defined in the *Manual on Uniform Traffic Control Devices (MUTCD)* are not anticipated to be met at this intersection.

SR A1A & Nevada Street Intersection

- The operational analysis included in the traffic study indicates that the intersection is anticipated to operate acceptably in the future with its current control characteristics. Volume-based signal warrant criteria as defined in the *Manual on Uniform Traffic Control Devices (MUTCD)* are not anticipated to be met at this intersection.

Garage Operational Measures/Considerations

Additionally, the following measures have been identified for potential implementation at this parking facility.

- **Creation of longer internal stacking distance through temporary elimination of parking spaces during peak periods.** As labeled “A” on the attached Exhibit C, during peak times as many spaces as needed (as warranted by actual conditions) on either side of the first parking aisle can be blocked off with cones to prohibit parking. This will eliminate potential disruptions to circulation caused by parking/unparking maneuvers near the garage entry/exit during peak periods and will also create additional queuing

length for vehicles that are arriving from or departing to SR A1A. Very little traffic is anticipated to enter the garage from Nevada Street given the existing one-way configuration of the surrounding roadway network. If needed, the inbound movement could be closed during peak times to maximize efficiency.

- **Stationing of traffic control personnel at garage entry point.** As labeled “B” on the attached figure, traffic control personnel can be stationed at the garage entry point during peak periods to help maintain efficient traffic flow and also to prevent queues from building up for inbound and outbound traffic. The personnel can ensure that drivers follow the right-turn only restriction at the garage exit point and also, if needed, create gaps in westbound traffic on Nebraska Street to prevent eastbound left-turning queues from building up.
- **Assigning parking at this garage to certain users to reduce frequency of turnover and volume of inbound/outbound movements.** One consideration for this garage is to designate all or a portion of the garage as employee parking, as opposed to the garage providing undesignated, general purpose parking. This would result in, on average, longer durations of parking space occupancy within the garage, meaning reduced inbound and outbound movements, plus more of the inbound/outbound movements may occur outside of the peak demand periods.

Additionally, in conjunction with the SR A1A corridor concept plan, it is contemplated that enhanced wayfinding and dynamic informational signage will be implemented throughout the SR A1A corridor. This signage is proposed to provide advance information to drivers regarding the location and approximate availability of parking within the public parking garages on the Beach. This, in turn will help drivers avoid trying to enter garages that have already reached or are close to reaching capacity, which in turn is anticipated to reduce congestion adjacent to the garages on the Beach. An excerpt from the conceptual plan illustrating the concept for the signs and preliminary locations in the SR A1A corridor in the vicinity of the garage is attached as Exhibit D.

Attachments

k:\wpb_tpto\0407\040740001 - nevada street garage\2017-01-12 nebraska memo.docx

NO.	DATE	DESCRIPTION

HOLLYWOOD BEACH
 COUNTY REVENUE AGENCY



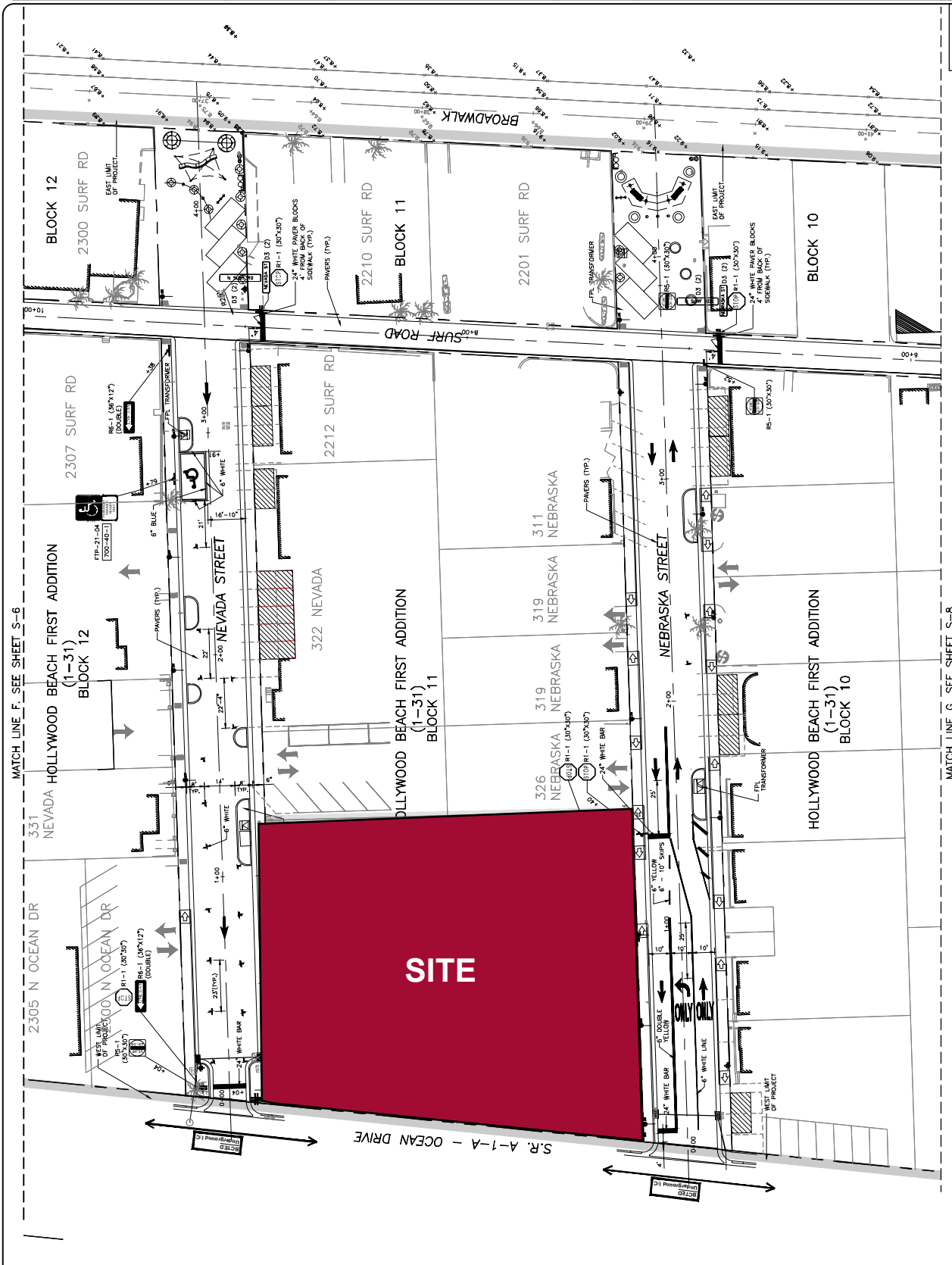
City of Hollywood, Florida
 Department of Public Services
 Engineering and Construction Services Division

SCALE: 1" = 20'
 DESIGNED: -
 DRAWN: -
 ISSUE DATE: 04-15-10

EAST-WEST STREETScape
FROM OKLAHOMA ST TO NEW MEXICO ST
NEVADA & NEBRASKA STREETS

SHEET **PM-7**
 OF 08

BCRA 10-008



MATCH LINE F. SEE SHEET S-6
 2305 N OCEAN DR
 2307 SURF RD
 2212 SURF RD
 2210 SURF RD
 2201 SURF RD
 2300 SURF RD
 331 NEVADA
 322 NEVADA
 319 NEBRASKA
 311 NEBRASKA
 326 NEBRASKA
 319 NEBRASKA
 311 NEBRASKA
 NEBRASKA STREET
 2305 N OCEAN DR
 2307 SURF RD
 2212 SURF RD
 2210 SURF RD
 2201 SURF RD
 2300 SURF RD
 331 NEVADA
 322 NEVADA
 319 NEBRASKA
 311 NEBRASKA
 326 NEBRASKA
 319 NEBRASKA
 311 NEBRASKA
 NEBRASKA STREET
 2305 N OCEAN DR
 2307 SURF RD
 2212 SURF RD
 2210 SURF RD
 2201 SURF RD
 2300 SURF RD
 331 NEVADA
 322 NEVADA
 319 NEBRASKA
 311 NEBRASKA
 326 NEBRASKA
 319 NEBRASKA
 311 NEBRASKA
 NEBRASKA STREET

HOLLYWOOD BEACH FIRST ADDITION
 BLOCK 12
 (1-31)

HOLLYWOOD BEACH FIRST ADDITION
 BLOCK 11
 (1-31)

HOLLYWOOD BEACH FIRST ADDITION
 BLOCK 10
 (1-31)

S.R. A-1-A - OCEAN DRIVE

MATCH LINE G. SEE SHEET S-8

KEY PLAN
 N.T.S.

EXHIBIT A - NEBRASKA STREET TWO-WAY LAYOUT



NO.	DATE	DESCRIPTION

HOLLYWOOD BEACH
 COUNTY REVENUE AGENCY



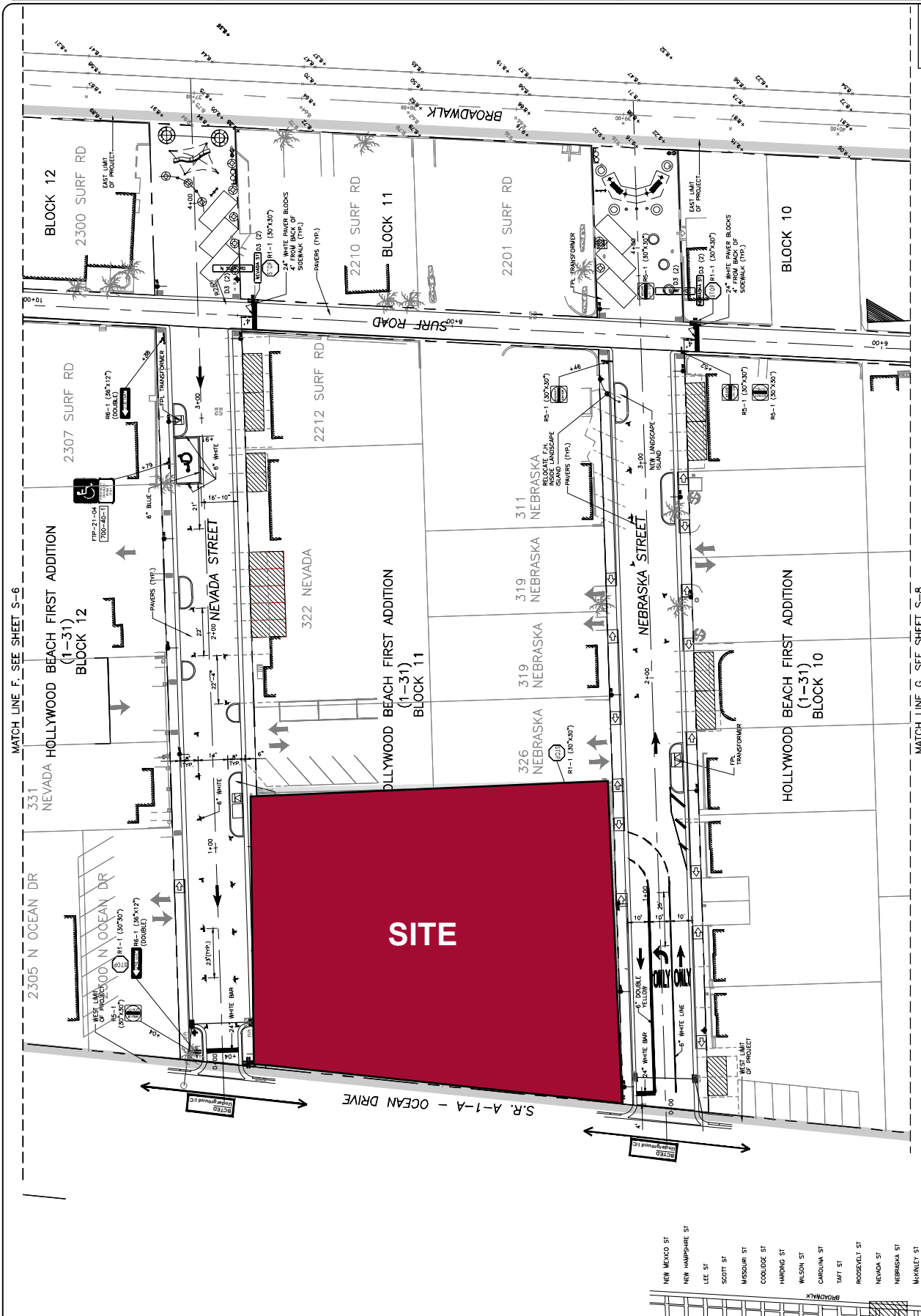
City of Hollywood, Florida
 Department of Public Services
 Engineering and Construction Services Division

SCALE: 1" = 20'
 DESIGNED: -
 DRAWN: -
 ISSUE DATE: 04-15-10

EAST-WEST STREETScape
FROM OKLAHOMA ST TO NEW MEXICO ST
NEVADA & NEBRASKA STREETS

PM-7
SHEET
 OF

BCRA 10-008



MATCH LINE F. SEE SHEET S-6

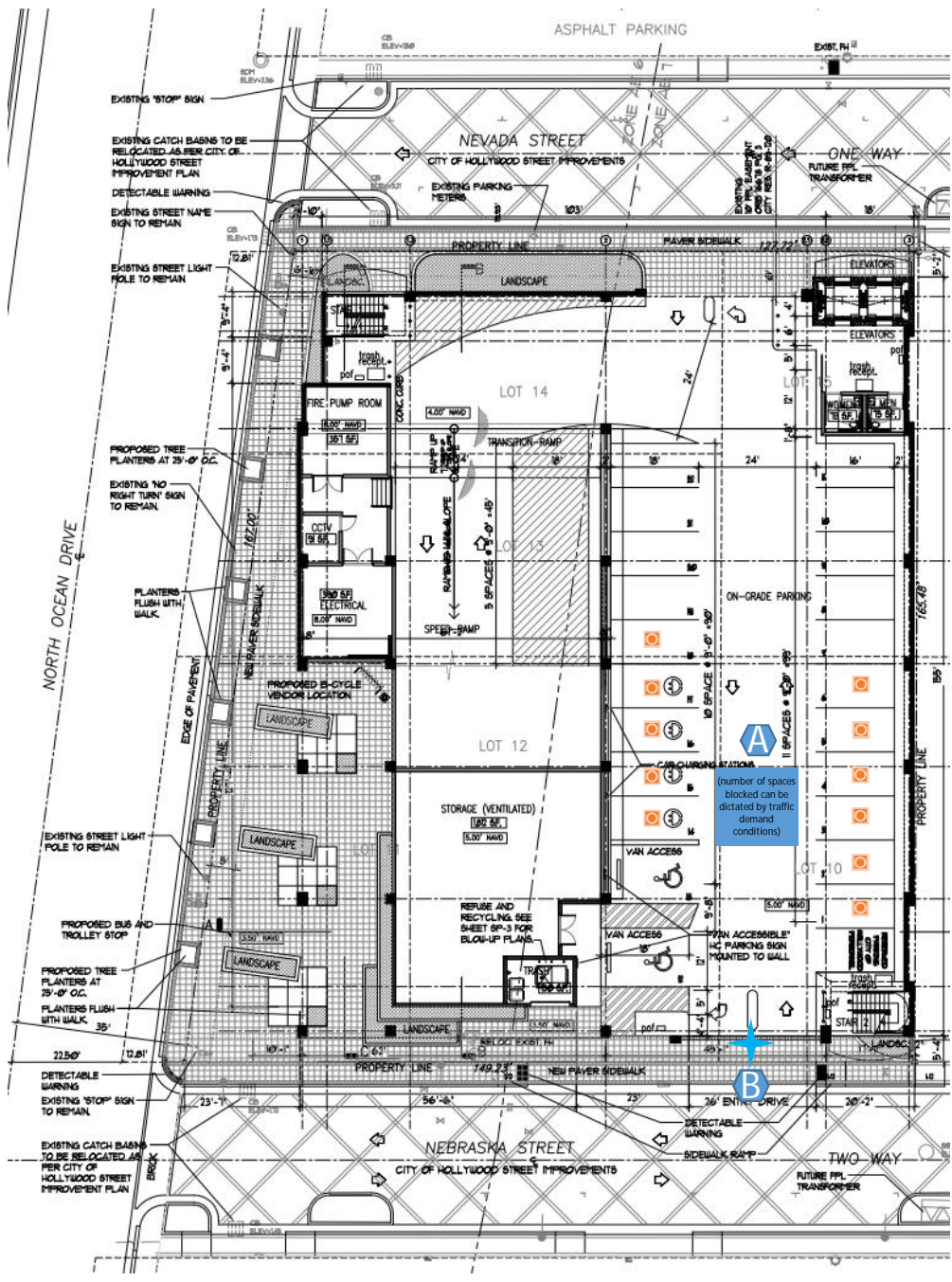
MATCH LINE G. SEE SHEET S-8

EXHIBIT B - NEBRASKA STREET PARTIAL ONE-WAY LAYOUT

- NEW MEXICO ST
- NEW HAMPSHIRE ST
- LEE ST
- SCOTT ST
- MISSOURI ST
- COOLIDGE ST
- HARDING ST
- WILSON ST
- CAROLINA ST
- TUTT ST
- ROOSEVELT ST
- NEVADA ST
- NEBRASKA ST
- McKINLEY ST
- OKLAHOMA ST



N.T.S.



LEGEND



POTENTIAL TEMPORARY MEASURE



CONE PLACEMENT



PERSONNEL PLACEMENT



EXHIBIT C
 TRAFFIC OPERATIONS PLAN
 NEBRASKA GARAGE
 040740001





EXHIBIT D
 CONCEPTUAL SR A1A DYNAMIC SIGNAGE
 NEBRASKA GARAGE
 040740001



TRAFFIC IMPACT ANALYSIS

NEBRASKA STREET PARKING GARAGE HOLLYWOOD, FL

To save on printing cost the full Traffic Impact Analysis can be found in the City Clerk's Office.

PREPARED FOR:
JOSEPH B. KALLER &
ASSOCIATES, P.A.
HOLLYWOOD, FL

Kimley»»Horn

May 2015
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