

# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



## APPLICATION TYPE (CHECK ONE):

- Technical Advisory Committee       Historic Preservation Board  
 City Commission       Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: 2640 N. State Rd. 7

Lot(s): Parcel A Block(s): \_\_\_\_\_ Subdivision: Gator 441

Folio Number(s): 5141 01 12 0010

Zoning Classification: C-MU Land Use Classification: TOC

Existing Property Use: Car Wash Facility-Out of Business Sq Ft/Number of Units: 1,518 sq. ft.

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): N/A

- Economic Roundtable       Technical Advisory Committee       Historic Preservation Board  
 City Commission       Planning and Development

Explanation of Request: Taco Bell Drive-thru only restaurant

Number of units/rooms: 0 Sq Ft: 1,600

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Taco Bell of America/Gator 441, Inc.

Address of Property Owner: 1 Glen Bell Way Irvine, CA 92618

Telephone: 609-617-2185 Fax: \_\_\_\_\_ Email Address: diana.DeCicco@yum.com

Name of Consultant/Representative/Tenant (circle one): Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman

Address: 14 SE 4th St. Suite 36 Boca Raton, FL 33432 Telephone: 561-405-3336

Fax: 561-409-2341 Email Address: ddickerson@dmbblaw.com

Date of Purchase: 9/6/22 Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 1/17/2023

PRINT NAME: Gator 441, Inc., by its President, James A. Goldsmith Date: 1/17/2023

Signature of Consultant/Representative: \_\_\_\_\_ Date: 1/18/23

PRINT NAME: Dwayne L. Dickerson, Esq. Date: 1/18/23

Signature of Tenant: N/A Date: \_\_\_\_\_

PRINT NAME: N/A Date: \_\_\_\_\_

**Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval & Variance Requests to my property, which is hereby made by me or I am hereby authorizing Dwayne L. Dickerson, Esq./Dunay, Miskel & Backman to be my legal representative before the TAC & P&D (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 17th day of January, 2023



Notary Public  
State of Florida

Signature of Current Owner

James A. Goldsmith

Print Name

My Commission Expires: 10/26/24 (Check One)  Personally known to me; OR  Produced Identification \_\_\_\_\_

PARCEL "A"  
"PORTOFINO CLUB"  
PLAT BOOK 133, PAGE 10

PARCEL "A"  
"GATOR 441"  
SUBDIVISION  
PLAT BOOK 151, PAGE 8

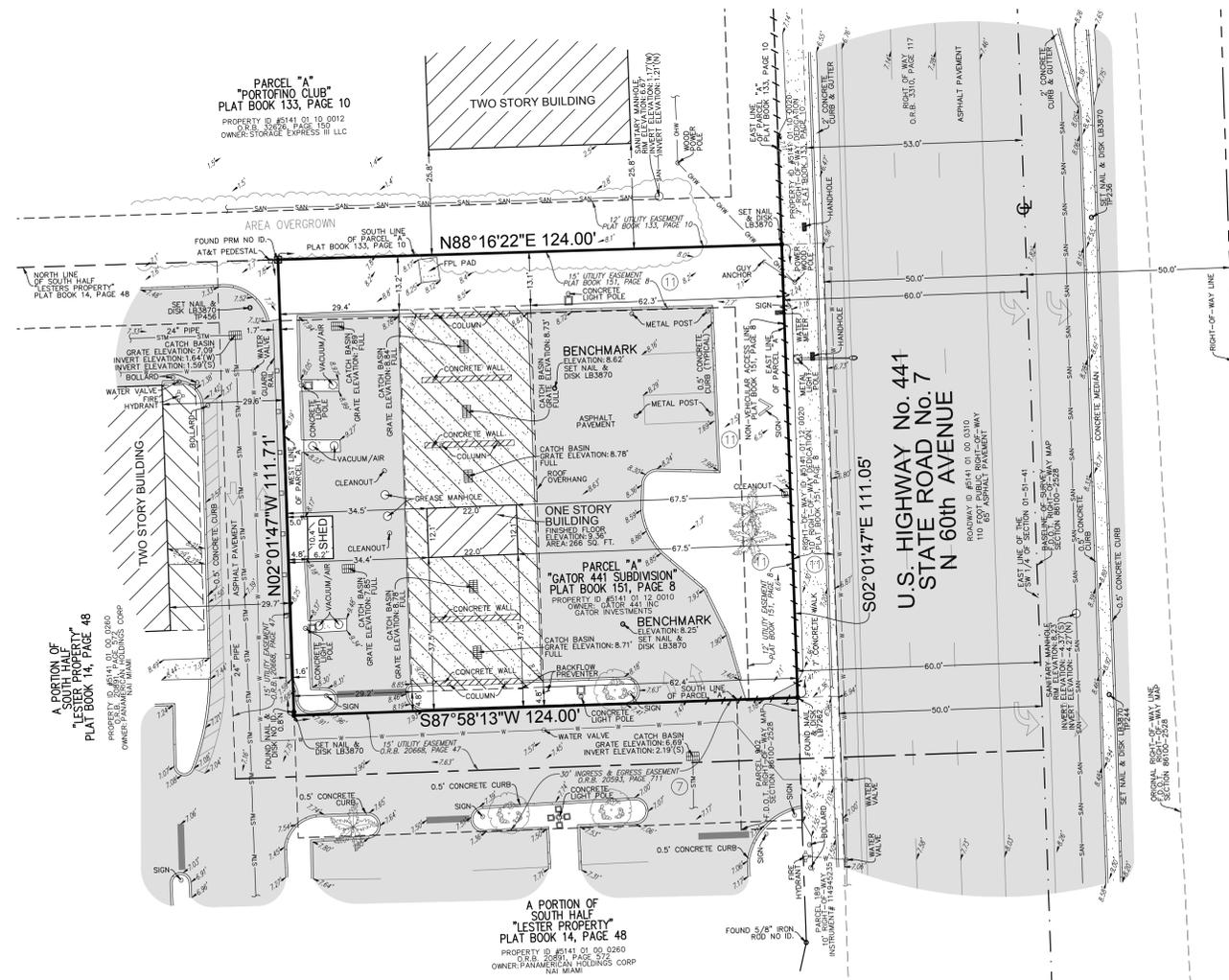
A PORTION OF  
SOUTH HALF  
"LESTER PROPERTY"  
PLAT BOOK 14, PAGE 48

U.S. HIGHWAY No. 441  
STATE ROAD No. 7  
N 60th AVENUE

FARRAGUT STREET

A PORTION OF  
"NEWMAN'S SURVEY"  
SE 1/4 OF SECTION 1-51-41  
PLAT BOOK 1, PAGE 118, M.D.C.R.

VICINITY MAP  
NOT TO SCALE



A PORTION OF  
"LESTER PROPERTY"  
PLAT BOOK 14, PAGE 48  
PROPERTY ID #8141 01 00 0260  
OWNER: PANAMERICAN HOLDINGS CORP  
TACI MIAMI

PARCEL "A"  
"PORTOFINO CLUB"  
PLAT BOOK 133, PAGE 10  
PROPERTY ID #8141 01 10 0012  
O.R.B. 20593, PAGE 107  
OWNER: STORAGE EXPRESS III LLC

A PORTION OF  
SOUTH HALF  
"LESTER PROPERTY"  
PLAT BOOK 14, PAGE 48  
PROPERTY ID #8141 01 00 0260  
O.R.B. 20593, PAGE 107  
OWNER: PANAMERICAN HOLDINGS CORP  
TACI MIAMI

A PORTION OF  
"NEWMAN'S SURVEY"  
SE 1/4 OF SECTION 1-51-41  
PLAT BOOK 1, PAGE 118, M.D.C.R.

- LEGEND & ABBREVIATIONS**
- CONCRETE
  - ASPHALT PAVEMENT
  - ELEVATION
  - OVERHEAD WIRES
  - UNDERGROUND STORM SEWER LINE
  - UNDERGROUND SANITARY SEWER LINE
  - UNDERGROUND WATER LINE
  - CENTERLINE
  - FLORIDA POWER & LIGHT COMPANY
  - LICENSED BUSINESS
  - OFFICIAL RECORDS BOOK
  - PERMANENT REFERENCE MONUMENT  
(BRASS DISK IN 4" X 4" CONCRETE MONUMENT)
  - TITLE COMMITMENT NUMBER
  - TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
  - PALM TREE
  - OAK TREE

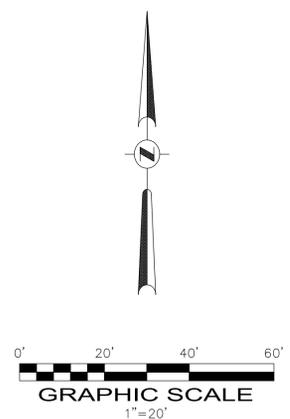
**CERTIFICATION:**  
TO CKE GROUP, INC.; TACO BELL OF AMERICA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ITS AFFILIATES, OR ITS SUCCESSORS AND ASSIGNS; CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 10(a), 10(b), 11(a), 13, 18, 19, & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 12/01/22.

DATE OF PLAT OR MAP: 12/01/22

**LEGAL DESCRIPTION: (TITLE COMMITMENT)**  
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

- NOTES:**
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #2065; ELEVATION: 13.79 FEET.
  - FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12011C0562H; COMMUNITY #125113; MAP DATE: 8/18/14.
  - THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.
  - BEARINGS ARE BASED ON KNOWN COORDINATES WITH THE NORTH LINE OF PARCEL "A" BEING N88°16'22"E, AS SHOWN ON SAID PLAT.
  - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
  - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
  - THIS SITE CONTAINS 3 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (3 REGULAR & 0 DISABLED).
  - THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, ORDER NUMBER 10526873, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED 06/01/2022 AT 8:00 AM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B SECTION II OF SAID COMMITMENT:
    - ITEM 1, 2, 3, 4, 5 & 6: STANDARD EXCEPTIONS, NOT ADDRESSED.
    - ITEM 7: EASEMENT AGREEMENT IN O.R.B. 16757, PAGE 231, MODIFIED BY EASEMENT MODIFICATION IN O.R.B. 20593, PAGE 711, APPLIES TO THE ADJACENT PROPERTY AS DEPICTED HEREON.
    - ITEM 8: AGREEMENT IN O.R.B. 18373, PAGE 410, APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 9: NON-EXCLUSIVE EASEMENT AGREEMENT IN O.R.B. 20668, PAGE 47, DOES NOT APPLY TO THIS SITE.
    - ITEM 10: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 14, PAGE 48 APPLIED TO THIS SITE BUT HAS BEEN SUPERCEDED BY REPLAT.
    - ITEM 11: RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 151, PAGE 8, FURTHER BEING AMENDED BY AGREEMENT FOR AMENDMENT OF NOTATION OF PLAT IN O.R.B. 22317, PAGE 782, APPLY TO THIS SITE AS DEPICTED HEREON.
    - ITEM 12: ORDINANCE NO. 2002-61 IN O.R.B. 34145, PAGE 1891 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 13: STATEMENT PROHIBITING CONSTRUCTION LIENS IN INSTRUMENT NO. 113289089 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
    - ITEM 14: INTEREST OF LEASE(S) TOGETHER WITH TERMS, COVENANTS, CONDITIONS, RESTRICTIONS, PROVISIONS, BURDENED EASEMENTS, RIGHTS, OBLIGATIONS, AND OTHER MATTERS IN LEASE IN O.R.B. \_\_\_\_\_ PAGE \_\_\_\_\_ NOT ADDRESSED.
    - ITEM 15: NOT ADDRESSED.
  - ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.
  - UTILITY LINES SHOWN PLACED IN APPROXIMATE LOCATION FROM CITY OF HOLLYWOOD UTILITY ATLAS MAP PROVIDED BY THE CLIENT.
  - ZONING REPORT IN TACO BELL OF AMERICA FREESTANDING SITE REPORT PROVIDED BY THE CLIENT. REQUIRED PARKING: 11 SPACES. SETBACK REQUIREMENTS: FROM RIGHT-OF-WAY: 10.00 FEET, FROM REAR: 5.00 FEET, FROM SIDE: 0.00 FEET
  - ZONING: C-MU (T.O.C.)



COPYRIGHT 2022 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.

5			
4			
3			
2			
1			
NO.	REVISIONS	BY	

**PROPOSED TACO BELL SITE**  
2640 NORTH STATE ROAD NO. 7  
HOLLYWOOD, FLORIDA 33021  
(CITY OF HOLLYWOOD, BROWARD COUNTY)

**BOUNDARY AND TOPOGRAPHIC SURVEY  
ALTA/NSPS LAND TITLE SURVEY**

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: (954) 572-1777  
FAX: (954) 572-1778  
E-MAIL: surveys@pulicelandsurveyors.com  
WEBSITE: www.pulicelandsurveyors.com  
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H.	SCALE: 1" = 20'	CLIENT: CKE GROUP, INC.
CHECKED BY: J.F.P.	SURVEY DATE: 12/01/22	ORDER NO.: 70692

# TACO BELL

## PROPOSED TACO BELL RESTAURANT

2640 N SR-7,  
Hollywood, FL 33021

### OWNER:

**GATOR 441, INC.**  
7850 NW 146 ST., 4TH FLOOR  
MIAMI LAKES, FLORIDA 33016  
(877) 459-9605  
ATTN: JAMES GOLDSMITH

### TENANT:

**TACO BELL OF AMERICA**  
1 GLEN BELL WAY  
IRVINE, CALIFORNIA 92618  
(609) 617-2185  
ATTN: DIANA DECICCO

### ARCHITECT:

**CKE GROUP, INC.**  
17190 ROYAL PALM BLVD., SUITE 2  
WESTON, FLORIDA 33326  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHÉ, P.E.

### ENGINEER:

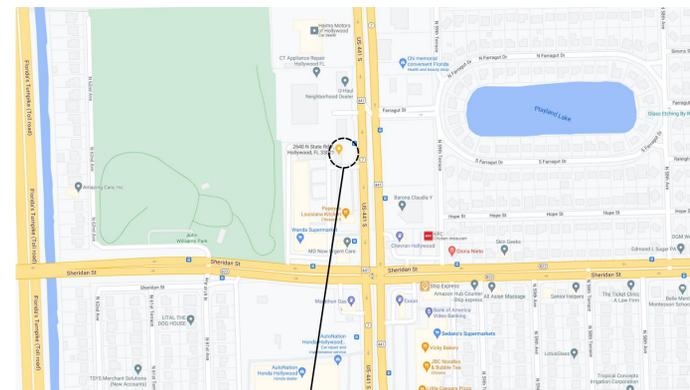
**CKE GROUP, INC.**  
17190 ROYAL PALM BLVD., SUITE 2  
WESTON, FLORIDA 33326  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHÉ, P.E.

### SURVEYOR:

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
(954) 572-1777  
ATTN: JOHN F. PULICE, P.S.M.

### LANDSCAPE:

**RICHARD BARTLETT LANDSCAPE, INC.**  
12773 W. FOREST HILL BLVD. SUITE 213  
WELLINGTON, FLORIDA 33414  
(561) 795-0443  
ATTN: RICHARD BARTLETT



### LOCATION MAP



TACO BELL SITE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

### LEGAL DESCRIPTION:

(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

FOLIO # 5141 01 12 0010

### INDEX OF DRAWINGS:

- COVER SHEET
- PLAT
- SURVEY
- SD-1 SITE DEMOLITION PLAN
- C-1 SITE PLAN
- C-2 PAVING AND GRADING PLAN
- C-3 SITE UTILITY PLAN
- C-4 SITE DETAILS
- C-5 SITE DETAILS & SECTIONS
- C-6 STORMWATER POLLUTION PREVENTION PLAN
- C-6A STORMWATER POLLUTION PREVENTION DETAILS & NOTES
- C-7 TRASH ENCLOSURE DETAIL
- C-8 PAVEMENT MARKING & SIGNAGE
- CE-1 SITE LIGHTING PLAN
- G-1.0 GREEN CHECKLIST
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE SPECS
- L-3 EXISTING TREE DISPOSITION
- L-4 IRRIGATION PLAN
- L-5 IRRIGATION SPECS
- A-1.0 FLOOR PLAN
- A-4.0 EXTERIOR ELEVATIONS

### ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



EDUARDO L. CARCACHÉ, PE 31914  
CKE GROUP, INC. COA-4432

Eduardo L. Carcacha, State of Florida,  
Professional Engineer, License No. 31914.

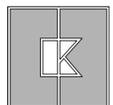
This item has been digitally signed and sealed by Eduardo L. Carcacha on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

### MEETING DATES:

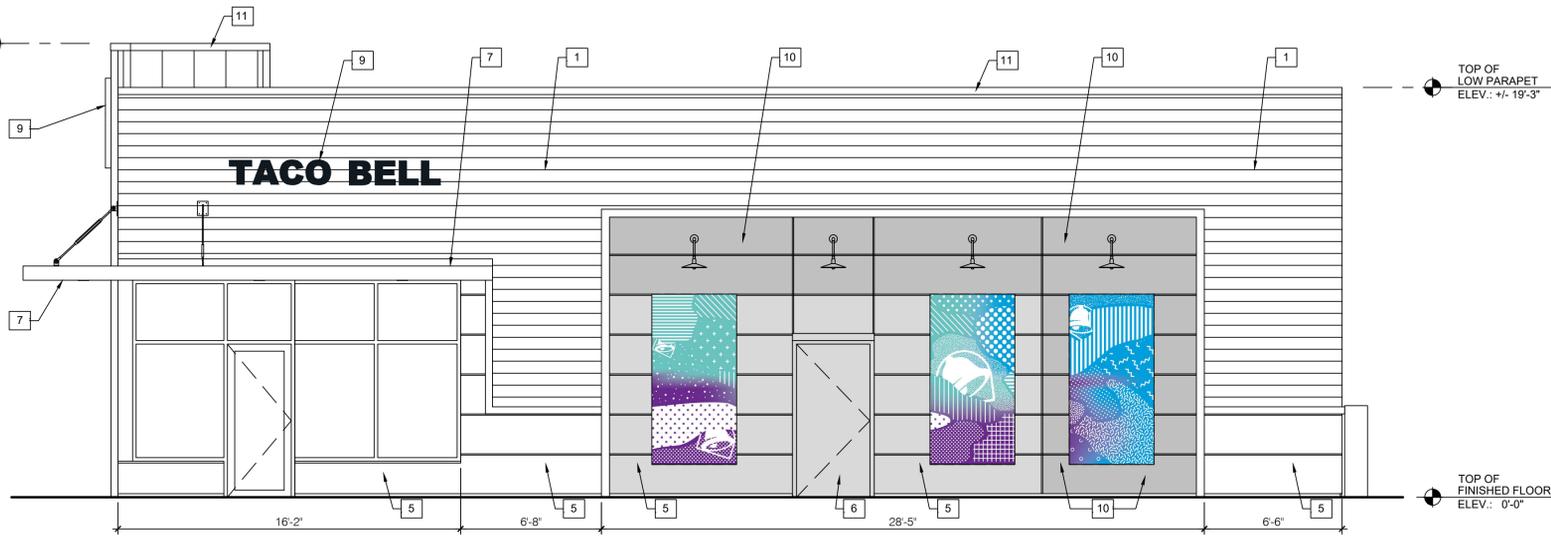
PACO	DEC 19, 2022
PRELIMINARY TAC	FEB 6, 2023
FINAL TAC	

**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning

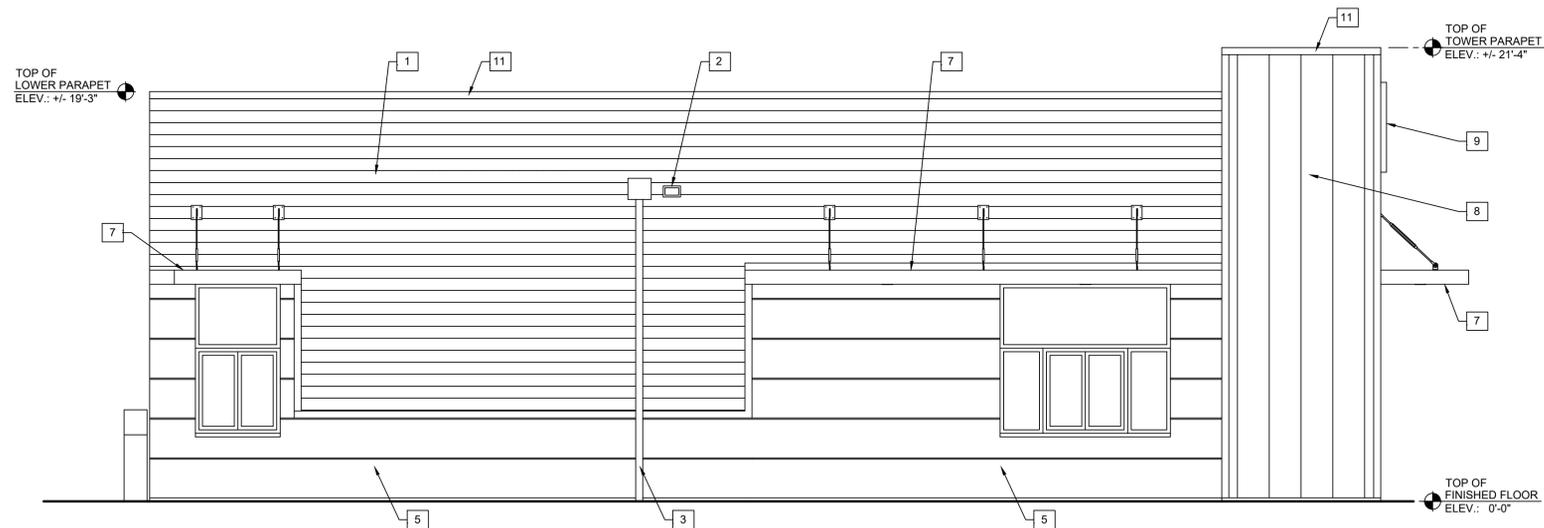




TOP OF  
TOWER PARAPET  
(BEYOND)  
ELEV.: +/- 21'-4"



**(EAST) RIGHT SIDE ELEVATION** 1/4" = 1'-0" **A**



**(WEST) LEFT SIDE ELEVATION** 1/4" = 1'-0" **B**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 144"L X 6.25"W, 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5"	CYBERSPACE (SW7076), SEMI-GLOSS
5	HARDIE PANEL VERTICAL SIDING W/ ALUMINUM TRIM FROM FRY, REGLET AND/OR TAMLIN	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING - SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS
6	HOLLOW METAL DOOR	-	-	SW PURPLE TB2603C, SEMI-GLOSS
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24GA PAINTED 18" PANEL	WEATHERED RUSTIC
9	BUILDING SIGN	-	-	-
10	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TB2603C, SEMI-GLOSS
11	METAL PARAPET CAP	-	24GA GALVANIZED	CYBERSPACE (SW7076) KYNAR 500 COATING

**EXTERIOR FINISH SCHEDULE** 1/4" = 1'-0" **1**

CONTRACT DATE: 10.11.22  
BUILDING TYPE:  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER: 459380

**TACO BELL**  
2640 N. State Rd 7  
Hollywood, Florida, 33021



**EXTERIOR ELEVATIONS**

**A4.0**

PLOT DATE: 1-17-23

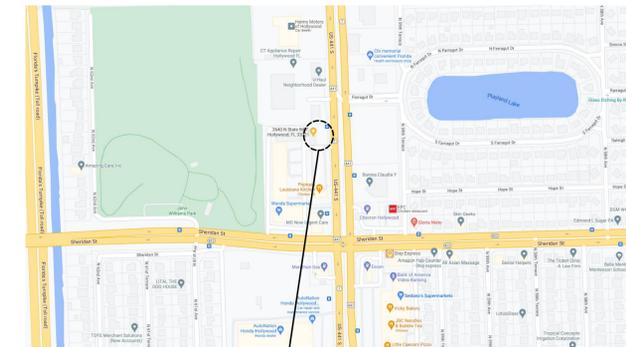


**(SOUTH) FRONT ELEVATION** 1/4" = 1'-0" **C**



**(NORTH) REAR ELEVATION** 1/4" = 1'-0" **D**

PLOT DATE: 1-17-23



**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

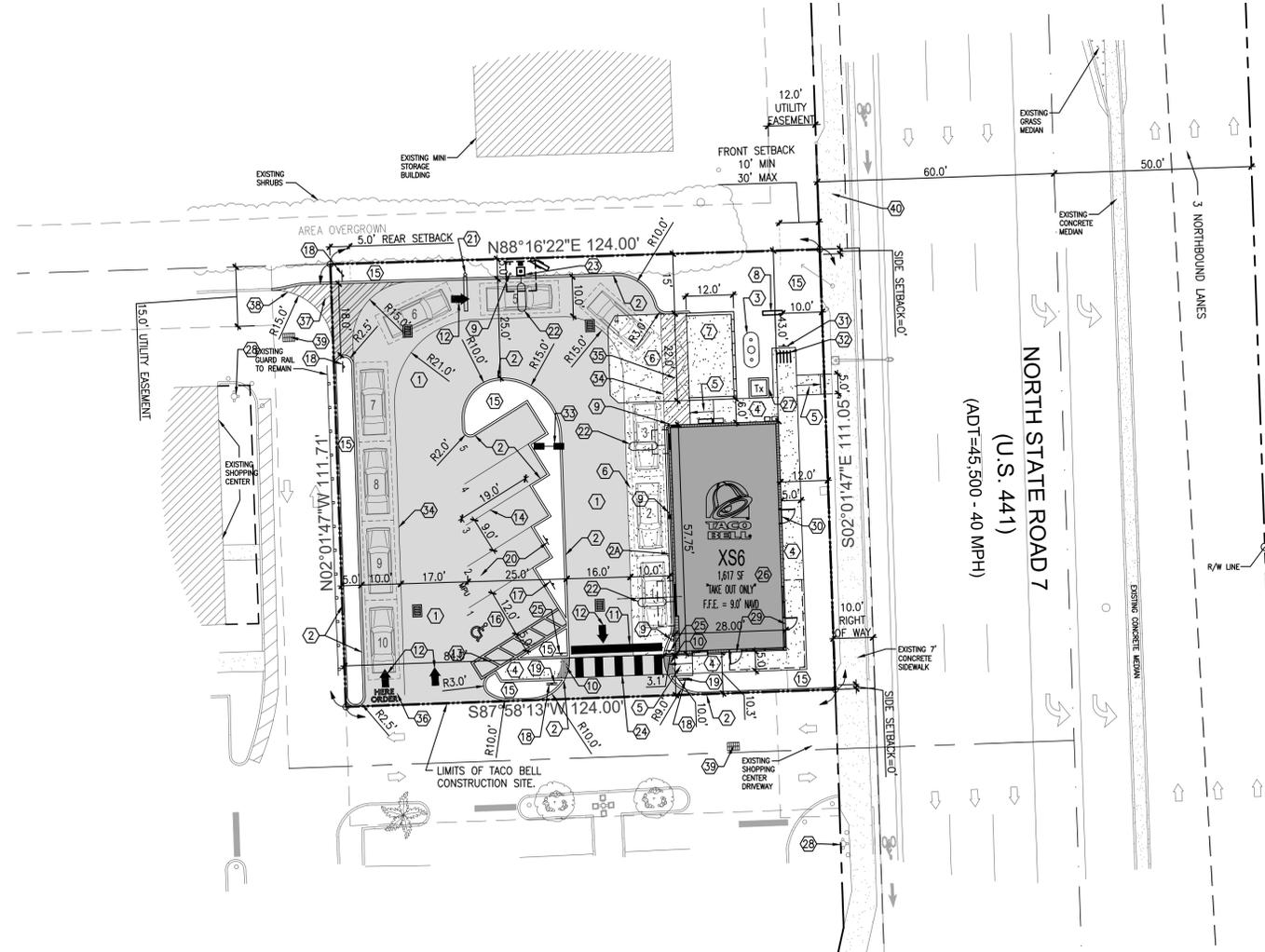
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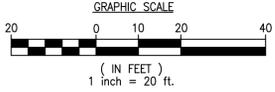
**COMMERCIAL GREEN BUILDING PRACTICES INCORPORATED INTO PLANS**

(PER ORDINANCE 0-2011-06)

- ENERGY STAR APPROVED ROOFING MATERIALS.
- AT LEAST 80% OF PLANTS, TREES AND GRASS PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION), LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
- UTILIZE LED LIGHTS FOR OVER 90% OF PARKING LOT LIGHTING.
- REFRIGERANT: ALL BUILDING HVAC & R SYSTEMS ARE FREE OF CFU'S AND HALONS.
- REDEVELOPMENT OF EXISTING SITE - LOCATE THE BUILDING ON A SITE THAT HAS EXISTING HARDSCAPE OR BUILDINGS THAT MUST BE REPLACED BY THE NEW DEVELOPMENT AND HAS EXISTING UTILITY CONNECTIONS TO THE SITE.
- ACCESS TO PUBLIC TRANSPORTATION - THE SITE IS LOCATED WITHIN 1/2 MILE OF EXISTING RAIL NODE OR 1/4 MILE OF AT LEAST 1 ACTIVE BUS STOP.
- SIDEWALKS - PROVIDE SIDEWALKS FOR ALL PATHS TO ADJACENT CITY STREETS THAT ARE MINIMUM 4' WIDE WITH CONCRETE OR OTHER FIRM, SLIP RESISTANT SURFACES.
- REDUCE HEAT ISLAND EFFECT - UTILIZE A COOL-ROOF THAT WILL HAVE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 78, WHICH REDUCES THE HEAT ISLAND EFFECT.
- DURABLE EXTERIOR MATERIALS-BUILDING DESIGN SHALL INCLUDE DURABLE EXTERIOR BUILDING WALL AND WINDOW MATERIALS TO PREVENT DAMAGE FROM HIGH WINDS. THE EXTERIOR SURFACE OF A MINIMUM OF 80% OF WALLS SHALL BE CONCRETE OR BRICK MASONRY. WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING.
- LOW FLOW TOILET FIXTURES. THE TOILETS SHALL HAVE A MAXIMUM WATER USE OF 1.28 GPF. URINALS SHALL HAVE A MAXIMUM WATER USE OF 0.5 GPF. CALCULATIONS MUST BE SUBMITTED WITH PLANS. SYSTEM MUST PASS ALL REQUIRED INSPECTIONS BY PLUMBING INSPECTOR.



**SITE PLAN**  
1"=20'-0"



**CONSTRUCTION NOTES:**

- ASPHALT PAVEMENT AS PER DETAIL.
- 6" P.C.C. TYPE 'D' CURB AS PER DETAIL.
- 9" P.C.C. TYPE 'B' CURB AS PER DETAIL.
- LP TANK
- P.C.C. CONCRETE SIDEWALK AS PER DETAIL
- P.C.C. HANDICAP RAMP - MAX SLOPE 1:12, WITH 6" EDGE PROTECTION CURB.
- 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10 FEET ON CENTER.
- TRASH ENCLOSURE AS PER DETAIL SHT. C-7 (UNDER SEPARATE PERMIT).
- PROPOSED 24 S.F. - 8' HIGH MONUMENT SIGN (UNDER SEPARATE PERMIT)
- STEEL BOLLARD AS PER DETAIL.
- PROVIDE YELLOW DETECTABLE WARNING SURFACE
- 24" STOP BAR WHITE (THERMOPLASTIC)
- TRAFFIC ARROWS PAINTED WHITE.
- 6" WHITE STRIPES AT 60" (PER FDOT INDEX No. 17346)
- 4" WHITE STRIPE (TYPICAL AT PARKING SPACES)
- LANDSCAPE AREA. EXISTING LARGE TREES TO REMAIN.
- HANDICAP PARKING AS PER DETAIL.
- HANDICAP SIGN 7'-0" A.F.P.
- STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- PARKING SPACE W/MOBILE ORDER PICK-UP SIGN
- DRIVE-THRU CLEARANCE BAR BY SIGN CO.
- SENSOR LOOP AT D/T WINDOWS AND MENU BOARD
- DIGITAL MENU BOARD AND SPEAKER PEDESTAL W/CANOPY
- PEDESTRIAN CROSSING PER F.D.O.T. INDEX NO. 17346
- PEDESTRIAN CROSSING SIGN
- ALL ROOF MOUNTED EQUIPMENT AND ACCESSORIES SHALL BE SCREENED FROM VIEW BY PARAPET
- PROPOSED TRANSFORMER PAD
- EXISTING FIRE HYDRANT
- PROVIDE BUILDING ADDRESS "XXXX" WITH NUMERALS 9 INCHES HIGH. REFER TO BUILDING ELEVATION
- PROVIDE BUILDING ADDRESS AND BUSINESS NAME ON SERVICE DOOR. REFER TO BUILDING ELEVATION ALL LETTERS TO BE CONSISTENT IN STYLE (4" HIGH)
- "BICYCLE PARKING" SIGN
- BICYCLE RACK BY HUNTCO-MODEL BR3 OR APPROVED EQUAL
- PROPOSED PARKING LIGHTS (REFER TO SHEET CE-1)
- 6" WHITE STRIPE (THERMOPLASTIC)
- 6" WHITE STRIPES AT 45' @ 24" O.C. (THERMOPLASTIC)
- DRIVE-THRU PAVEMENT MARKINGS
- 18" YELLOW STRIPES AT 45' @ 4' O.C. (THERMOPLASTIC)
- 6" DOUBLE YELLOW STRIPE (THERMOPLASTIC)
- EXISTING CATCH BASIN
- EXISTING BUS STOP. ROUTE #18

**SITE AND CODE DATA**

DESCRIPTION	TACO BELL RESTAURANT AT THE SHERIDAN OAK PLAZA		
CURRENT ZONING	C-MU (Central Mixed-Use District)		
CURRENT LAND USE	Commercial		
CURRENT USE	Commercial		

1 GENERAL INFORMATION			
DESCRIPTION	TYPE	GROSS BUILDING AREA	
NON-RESIDENTIAL	New Restaurant	1,600 SF	
FAR	N/A		
TOTAL SITE AREA	13,811 (NET) SF	(0.317 Acres)	
TOTAL BUILDING	1,617 SF	11.71%	
TOTAL VEHICULAR USE AREA	8,183 SF	59.25%	
INTERIOR LANDSCAPE AREA (MINUS PERIMETER LANDSCAPE SET BACK AREA)	2,909.7 SF	35.94% of vehicular use area	
TOTAL OPEN SPACE AREA	2,909.7 SF	21.07%	

2 SETBACKS								
NEW RESTAURANT								
DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED
FRONT (EAST)	10'-0"/30'-0"	12'-0"						
REAR (WEST)	5'-0"	84'-0"						
SIDE (NORTH)	0'-0"	43'-0"						
SIDE (SOUTH)	0'-0"	10'-0"						

3 MINIMUM ACTIVE USES			
FRONTAGE	REQUIRED	PROVIDED	
U.S. 441 (111.05 FT)	60%	57.75' (52%)	

4 HEIGHTS PROVIDED								
NEW RESTAURANT								
DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED
HEIGHT	140'-0"	21'-4"						

5 PARKING DATA				
DESCRIPTION	MINIMUM 1 PER 150 SF BUILDING AREA	REQUIRED MINIMUM	REQUIRED MAXIMUM	
NEW RESTAURANT, TAKE OUT	Standard parking spaces for 1,617 SF	11 sp	-	
		11 sp	-	
<b>TOTAL STANDARD PARKING SPACES</b>		<b>PROVIDED 5 SPACES INCLUDING 1 HC</b>		

6 PROJECT SUMMARY				
SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS AND SPECIAL EXCEPTION				
SPECIAL EXCEPTION	REQUIRED	PROVIDED		
VARIANCE				
PARKING SPACES	11	5	7.2.28	
ACTIVE USE	60%	52%	C-MU (ii)	
TRANSPARENCY	50%	27.90%	TOC D-D.3.a(ii)(c)	

**SITE PLAN LEGEND**

- Transformer Box on Pad
- Number of Parking Space
- Accessible Parking Spaces
- New Asphalt Driveway
- New Conc. Sidewalk/Driveway

**DRIVEWAYS & SIDEWALKS**

NEW ASPHALT PAVEMENT:	7,103.43 SQ. FT.
NEW CONC. DRIVEWAY (DT):	673.70 SQ. FT.
NEW CONC. DRIVEWAY (TRASH AREA):	406.00 SQ. FT.
NEW CONC. SIDEWALK:	837.17 SQ. FT.
NEW CONC. PAD (TRASH ENCLOSURE):	264.00 SQ. FT.
NEW LINEAR FT OF CURB (TYPE 'D'):	664.14 FT.

**NOTES:**

- ALL PAVEMENT MARKINGS ARE TO COMPLY WITH THE CITY OF HOLLYWOOD BUILDING DEP. STANDARDS & FDOT.
- ALL RADII AND DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
- ALL SIGNAGE, CANOPIES, & DUMPSTER ENCLOSURE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
- PAVEMENT MARKING MATERIAL TO BE PAINT UNLESS OTHERWISE NOTED.
- ALL LIGHTS AND LIGHTING SHALL BE DESIGNED AND ARRANGED AS NOT TO CAUSE A DIRECT GLARE INTO ADJACENT PROPERTIES.

**MEETING DATES:**

PACO	DEC 19, 2022
PRELIMINARY TAC	FEB 6, 2023
FINAL TAC	

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SEAL  
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CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: XS6  
PLAN VERSION: \_\_\_\_\_  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.: \_\_\_\_\_

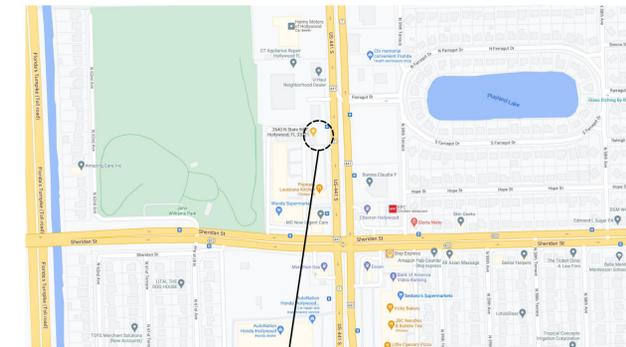
**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021



**SITE PLAN**

**C-1**

PLOT DATE: \_\_\_\_\_



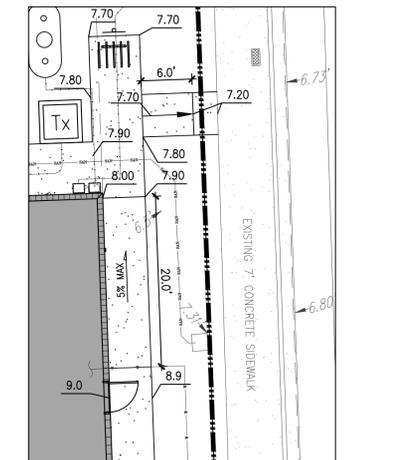
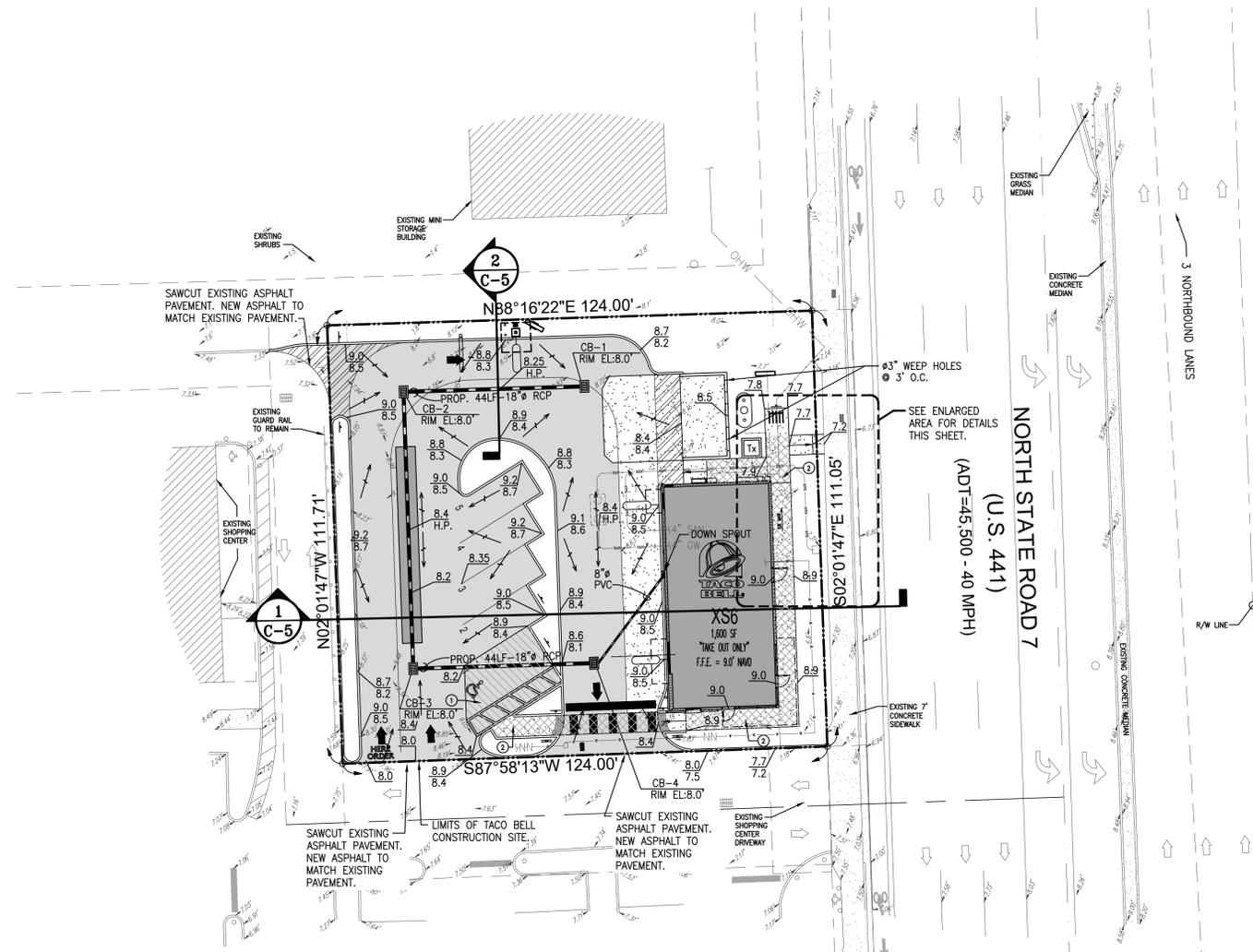
LOCATION MAP  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

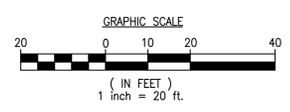
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SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.



ENLARGED AREA  
1"=10'-0"

**PAVING & GRADING PLAN**  
1"=20'-0"



Know what's below.  
Call before you dig.

- NOTES:**
1. SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK.
  2. SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY. COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR.
  3. SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE.
  4. GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING. COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.

**NOTE:**  
CONTRACTOR TO DEMOLISH EXISTING BUILDINGS (INCLUDING FOUNDATIONS AND UNDERGROUND STRUCTURES), REMOVE ALL DEBRIS, PROVIDE CLEAN AND GRADED SITE, AND VERIFY LOCATION AND INVERT ELEVATIONS, PRIOR TO TACO BELL START CONSTRUCTION.

**PROPOSED DRAINAGE SCHEDULE**

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-1	"F"-(4'x4')	8.0				4.0'
CB-2	"M"-(5'x5')	8.0		4.0*	4.0'	
CB-3	"M"-(5'x5')	8.0	4.0*		4.0'	
CB-4	"F"-(4'x4')	8.0			(8"RD) 4.0'	4.0'

\* PROVIDE POLLUTION RETARDANT BAFFLE.

**REQUIRED FINISH FLOOR ELEVATION**

	REQ'D	PROPOSED
1. 1 FT ABOVE FLOOD CRITERIA	N/A-FLOOD ZONE "X"	N/A
2. 6 INCHES ABOVE CROWN OF ROAD	8.46'+0.5'=8.96'	9.0'

- LEGEND**
- [Tx] TRANSFORMER BOX ON PAD
  - [Wheelchair] ACCESSIBLE PARKING SPACES
  - [Pattern] NEW ASPHALT DRIVEWAY
  - [Pattern] NEW CONC. SIDEWALK/ DRIVEWAY
  - [Arrow] PROP. DIRECTION OF DRAINAGE FLOW ARROW
  - [Dashed] EXISTING ELEVATION
  - [Solid] PROP. TOP OF CURB & FINISHED PAVEMENT ELEV.
  - [Dotted] PROPOSED ELEVATIONS
  - [Circle 1] G.C. TO VERIFY MAX. 2% SLOPE AT HANDICAP SPACE AND ACCESSIBILITY ROUTE
  - [Circle 2] SLOPE ALONG ACCESS PATH NOT TO EXCEED 5% AND MAX. 2% CROSS SLOPE.

- GENERAL NOTES**
1. ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
  2. ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY THE CITY OF HOLLYWOOD PUBLIC UTILITIES DEPARTMENT.
  3. STABILIZED SUBGRADE SHALL HAVE LIMEROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
  4. LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%.
  5. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
  6. PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
  7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
  8. PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-478 AND 647, AND THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
  9. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  10. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
  11. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
  12. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
  13. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS. (LATEST EDITION)
  14. ALL DRAINAGE SYSTEM PIPE JOINTS INCLUDING THOSE OUTSIDE THE EXFILTRATION TRENCH, TO BE WRAPPED IN FOOT APPROVED FILTER FABRIC WITH SECURING DEVICE (INDEX No. 280, FOOT DESIGN STANDARDS JANUARY 2004)
  15. ALL WORKMANSHIP, INSTALLATIONS, AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE CITY OF HOLLYWOOD UTILITIES DEPARTMENT MINIMUM STANDARDS.
  16. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  17. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO THE MIAMI DADE COUNTY PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
  18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY THE CITY OF HOLLYWOOD OFFICIALS OF UNDERGROUND UTILITIES.
  19. SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.

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**CKE GROUP**  
INCORPORATED  
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CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

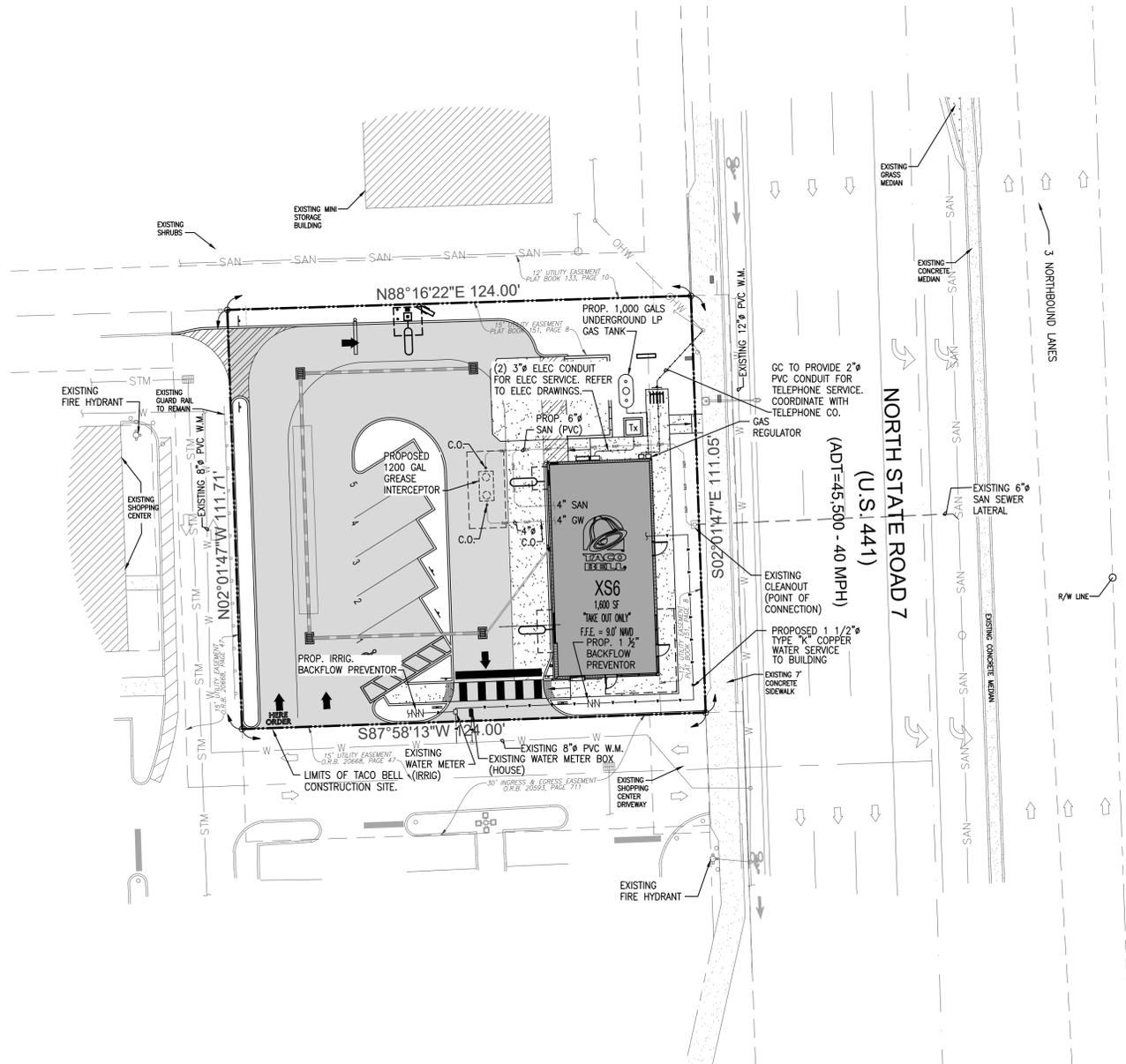
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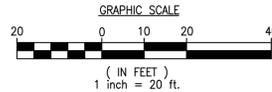
**PAVING AND GRADING PLAN**

**C-2**

PLOT DATE:



**UTILITIES PLAN**  
1"=20'-0"



**SITE PLAN LEGEND**

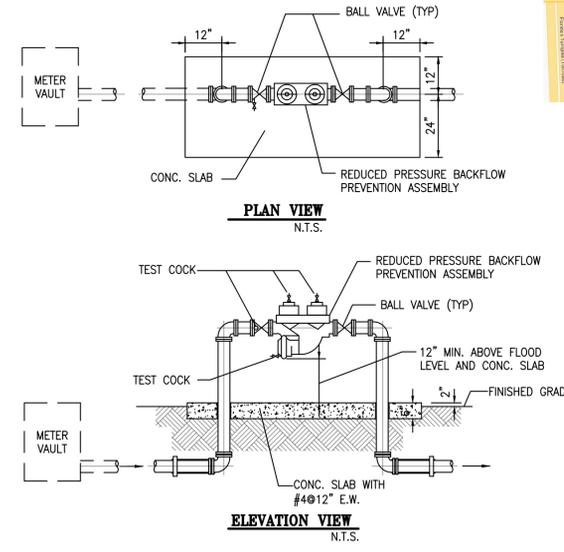
- TRANSFORMER BOX ON PAD
- NUMBER OF PARKING SPACE
- ACCESSIBLE PARKING SPACES
- NEW ASPHALT DRIVEWAY
- NEW CONC. SIDEWALK/ DRIVEWAY



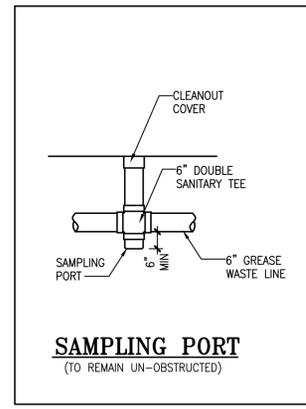
Know what's below.  
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**NOTES:**

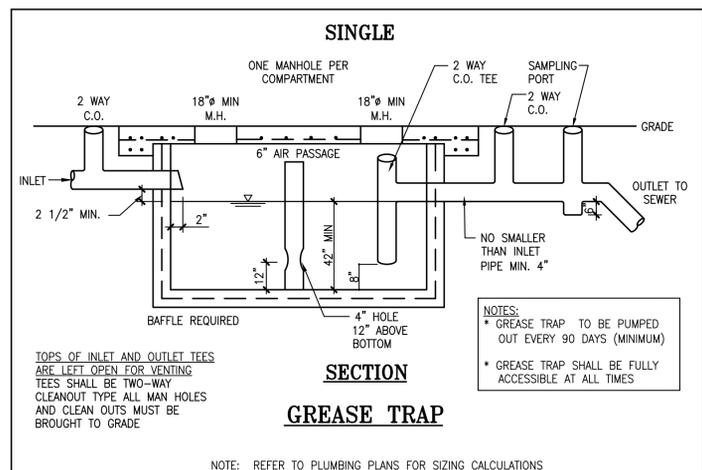
1. ALL HYDRANTS TO FALL WITHIN 2 FEET OF CURB, STEAMER CONNECTION TO FACE ROADWAY.
2. WATER SHALL BE AVAILABLE TO ALL HYDRANTS PRIOR TO START OF CONSTRUCTION.
3. LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
4. BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
5. ALL CLEANOUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USG #7605 VALVE BOX).
6. ON-SITE SANITARY SEWER LATERAL TO BE PRIVATELY MAINTAINED.
7. CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
8. MINIMUM SLOPE OF SANITARY WASTE = 1%.
9. CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70 FT.
10. NO SOLVENT WELD SHALL BE USED.
11. REFER TO THE PUBLIC UTILITIES DEPARTMENT OF CITY OF HOLLYWOOD FOR ADDITIONAL DETAILS.
12. ON SITE WATER AND SEWER NOT INSIDE UTILITY EASEMENTS MUST BE PERMITTED AND INSPECTED BY PLUMBING OFFICIALS AT PUBLIC UTILITIES DEPARTMENT.



**REDUCED PRESSURE ZONE BACKFLOW PREVENTER FOR WATER SERVICE 3/4" THRU 2"**



**SAMPLING PORT NOTE:**  
SAMPLING PORT SHALL BE ACCESSIBLE AT ALL TIMES WITHOUT HAVING TO REMOVE ANY MERCHANDISE AND WITHOUT STANDING WATER ON GROUND SURFACE; WITH A MINIMUM 24 INCHES HORIZONTAL CLEARANCE FROM ANY WALL, FIXED EQUIPMENT OR STORED MATERIALS AND A MINIMUM 48 INCHES VERTICAL CLEARANCE FROM ANY FIXED EQUIPMENT OR STORED MATERIALS.

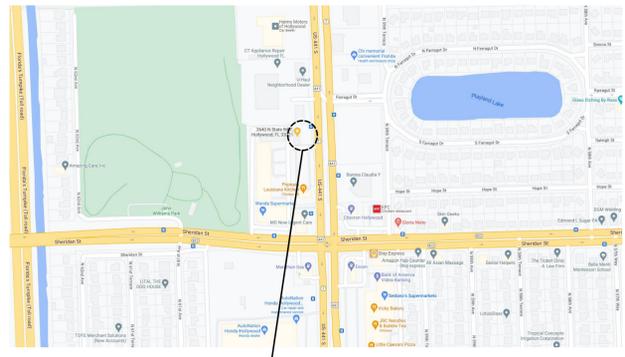


**SECTION GREASE TRAP**

NOTE: REFER TO PLUMBING PLANS FOR SIZING CALCULATIONS

TOPS OF INLET AND OUTLET TEES ARE LEFT OPEN FOR VENTING. TEES SHALL BE TWO-WAY CLEANOUT TYPE ALL MAN HOLES AND CLEAN OUTS MUST BE BROUGHT TO GRADE

NOTE:  
\* GREASE TRAP TO BE PUMPED OUT EVERY 90 DAYS (MINIMUM)  
\* GREASE TRAP SHALL BE FULLY ACCESSIBLE AT ALL TIMES



**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

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DATE	REMARKS

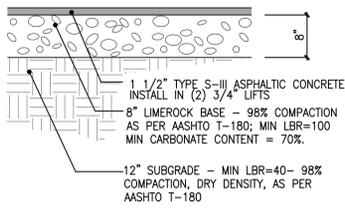
CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
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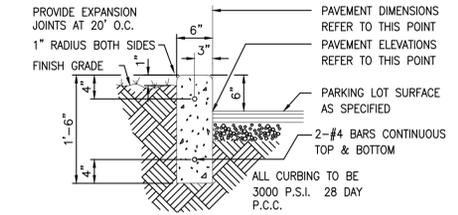


**UTILITIES PLAN**

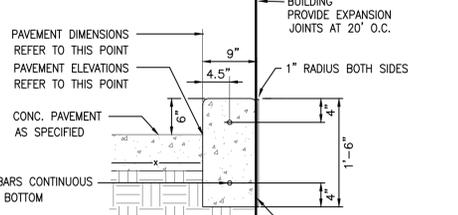
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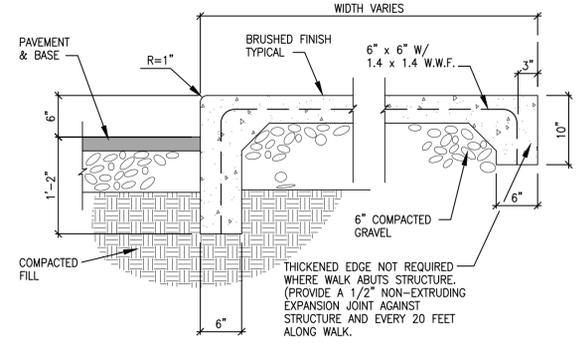
**1 PAVEMENT DETAIL**  
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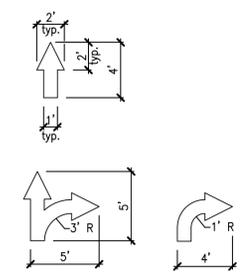
**2 6\"/>**



**2A 9\"/>**



**4 BRUSHED CONCRETE WALK**  
NOT TO SCALE



**12 PAINTED ARROWS**  
NOT TO SCALE

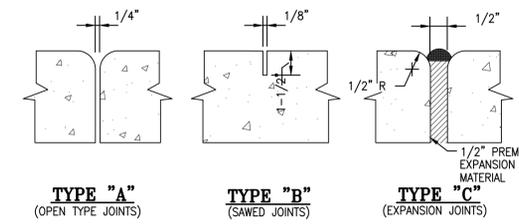
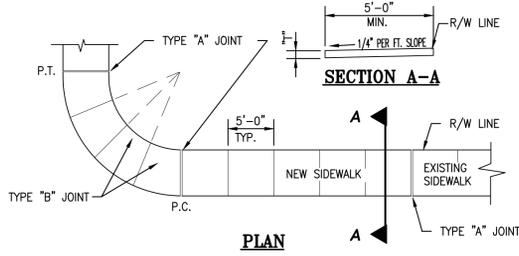
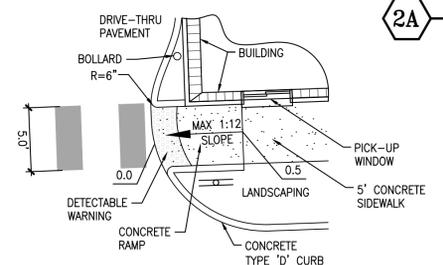
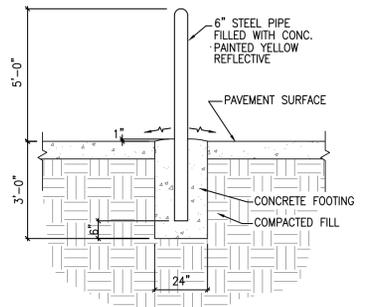


TABLE OF SIDEWALK THICKNESS-T"		TABLE OF SIDEWALK JOINTS	
LOCATION	T"	TYPE	LOCATION
RESIDENTIAL AREAS	4"	"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
AT DRIVEWAYS AND OTHER AREAS	6"	"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
		"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES

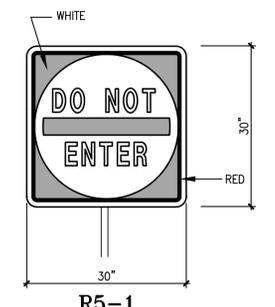
**4 SIDEWALK CONSTRUCTION DETAIL**  
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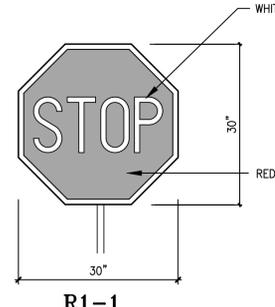
**5 HANDICAP RAMP DETAIL**  
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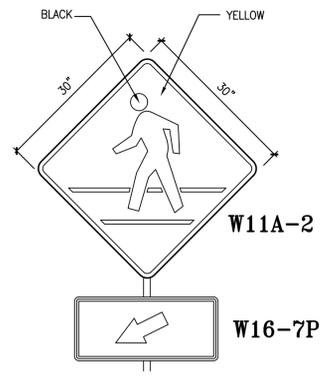
**9 STEEL BOLLARD DETAIL**  
NOT TO SCALE



**18 R5-1**



**19 R1-1**

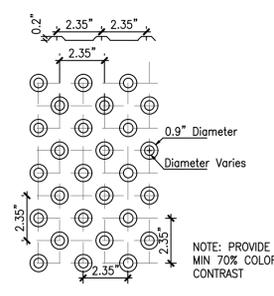


**25 W11A-2  
W16-7P**

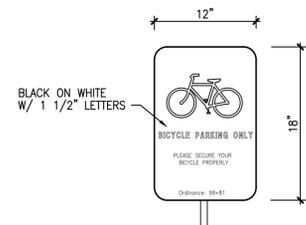
**STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS**  
SCALE: N.T.S.



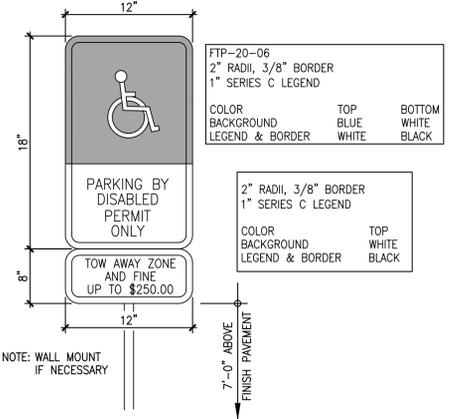
**20 MOBILE PARKING SIGN**  
NOT TO SCALE



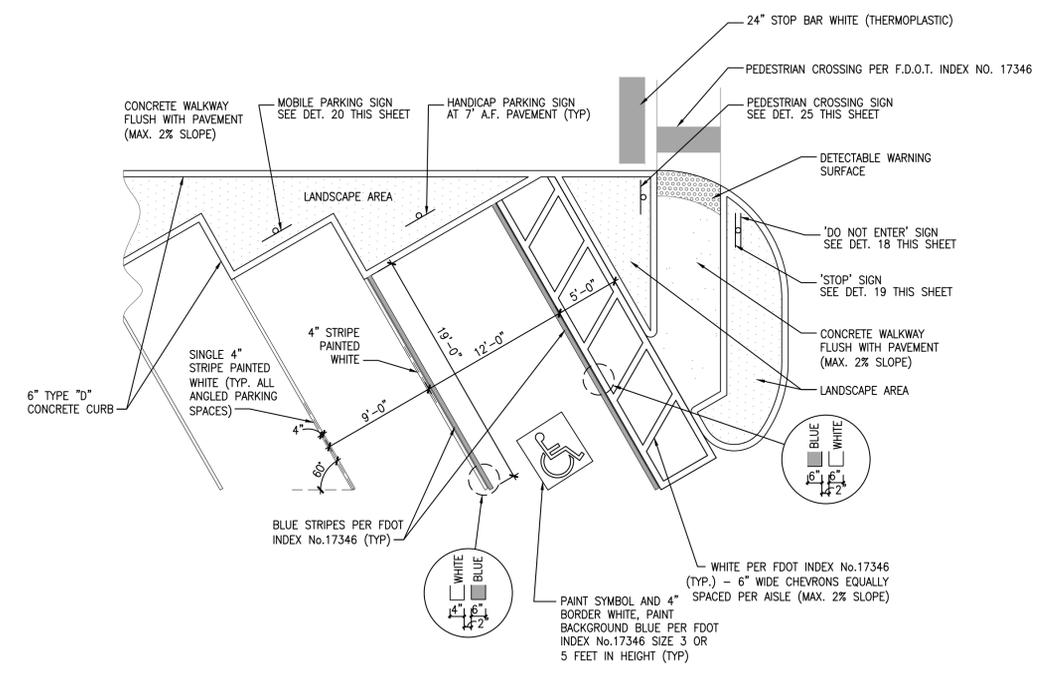
**10 DETECTABLE WARNING SURFACE DETAIL**  
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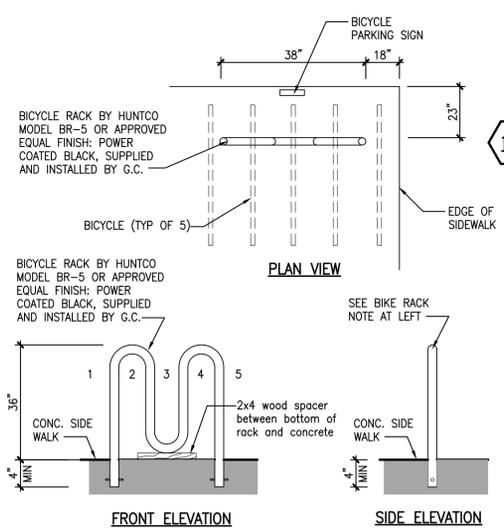
**31 BICYCLE PARKING SIGN**  
NOT TO SCALE



**17 HANDICAP PARKING SIGN (FPT-20-04 PER FDOT INDEX 17355)**  
NOT TO SCALE



**14 16 STANDARD AND HANDICAP PARKING DETAILS**  
NOT TO SCALE



**32 BIKE RACK DETAIL**  
NOT TO SCALE

- GENERAL NOTES**
- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
  - DESIGNS ARE PER 170 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).
  - ALL PAINTED PAVEMENT MARKERS ARE TO BE SOLID YELLOW AND FURNISHED BY GENERAL CONTRACTOR.
  - WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.

DATE	REMARKS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021

**TACO BELL**  
XS6

**SITE DETAILS**

**C-4**

PLOT DATE:

DATE	REMARKS

PIPE DIA.	D (INCHES)	T (GAUGE)	H (INCHES MIN)
10"	15"	16	15"
15"	24"	16	21"
18"	30"	16	27"
24"	36"	16	33"
30"	42"	14	39"
36"	48"	14	45"
42"	54"	14	51"

PIPE DIA.	D (INCHES)	T (GAUGE)	H (INCHES MIN)
10"	15"	16	15"
15"	24"	16	21"
18"	30"	16	27"
24"	36"	16	33"
30"	42"	14	39"
36"	48"	14	45"
42"	54"	14	51"

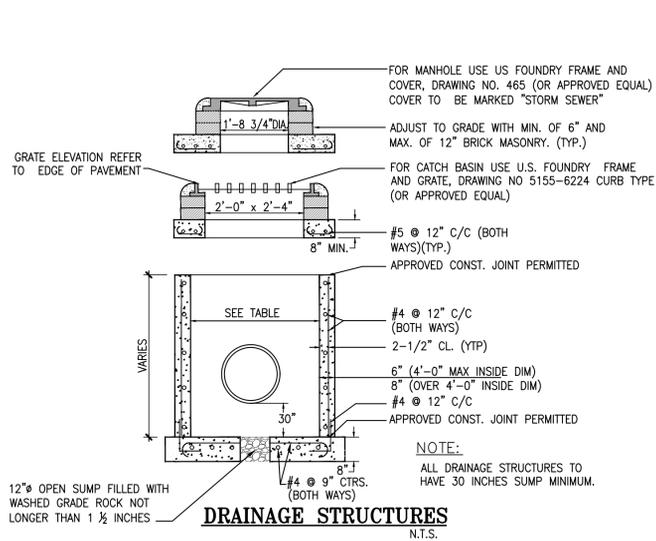
**TACO BELL**  
 2640 N SR-7,  
 HOLLYWOOD, FL 33021

**TACO BELL**  
 XS6

**SITE DETAILS**

**C-5**

PLOT DATE: \_\_\_\_\_

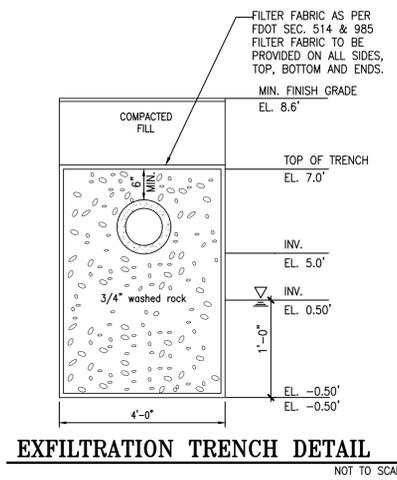


**TABLE OF INSIDE DIMENSIONS FOR RECTANGULAR STRUCTURES**

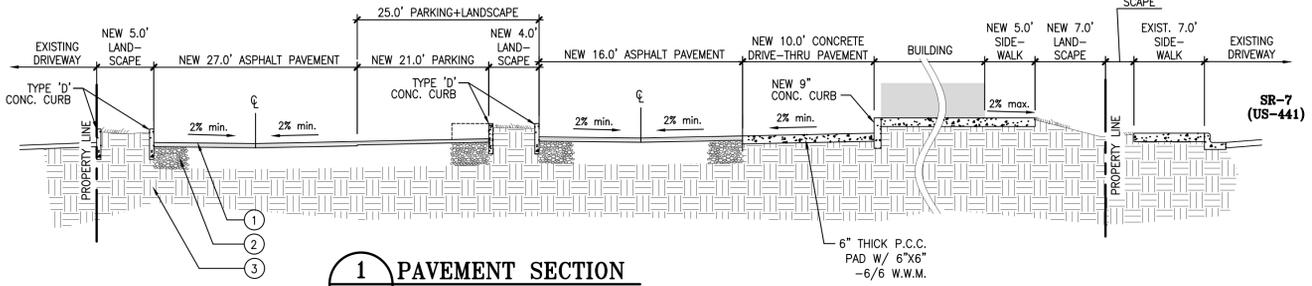
STRUCTURE TYPE	INLET	MANHOLE
B	3'-0" X 3'-0"	3'-0" X 3'-0"
C	3'-0" X 4'-0"	3'-0" X 4'-0"
D	3'-0" X 5'-0"	3'-0" X 5'-0"
F	4'-0" X 4'-0"	4'-0" X 4'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
H	5'-0" X 6'-0"	5'-0" X 6'-0"
J	6'-0" X 6'-0"	6'-0" X 6'-0"
K	4'-0" X 6'-0"	4'-0" X 6'-0"
L	3'-0" X 6'-0"	3'-0" X 6'-0"
M	5'-0" X 5'-0"	5'-0" X 5'-0"

**DRAINAGE STRUCTURES SECTION DETAILS**  
 NOT TO SCALE

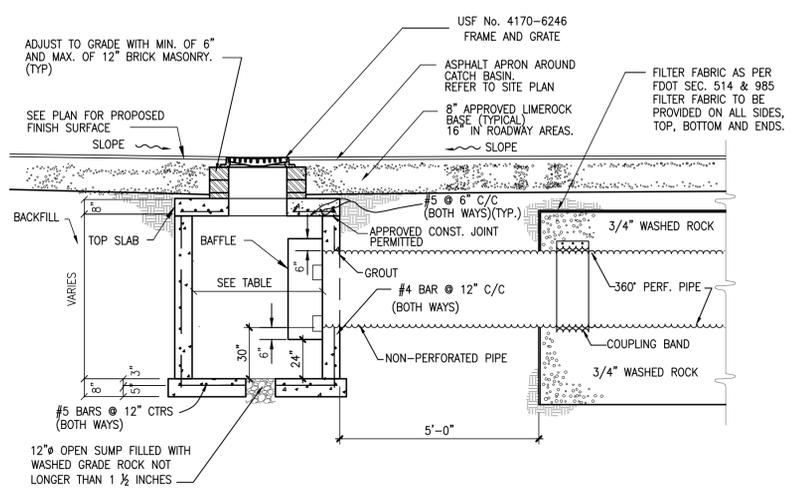
(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)



**EXFILTRATION TRENCH DETAIL**  
 NOT TO SCALE



**1 PAVEMENT SECTION**  
 NOT TO SCALE



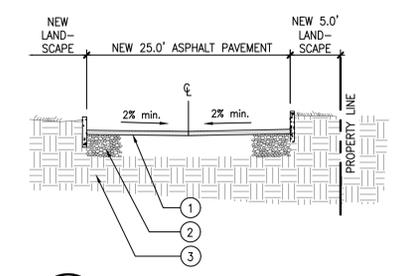
**CATCH BASIN W/ EXFILTRATION TRENCH**  
 NOT TO SCALE

(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)

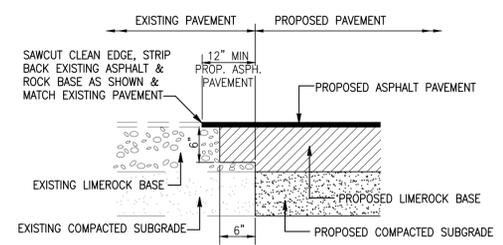
**LEGEND**

- 1 1/2" TYPE S-III ASPHALTIC CONCRETE AT PARKING  
 2" TYPE S-III ASPHALTIC CONCRETE AT DRIVES
- 6" LIMEROCK BASE AT PARKING - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.  
 8" LIMEROCK BASE AT DRIVES - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.
- 12" SUBGRADE - MIN LBR=40 - 98% COMPACTION, DRY DENSITY, AS PER AASHTO T-180

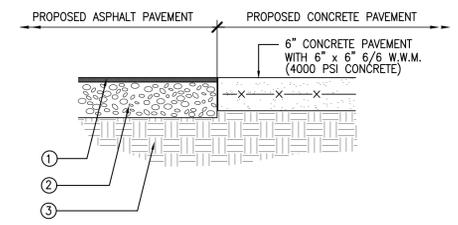
NOTE: REFER TO SOILS REPORT FOR DETAILED SPECS.



**2 PAVEMENT SECTION**  
 NOT TO SCALE

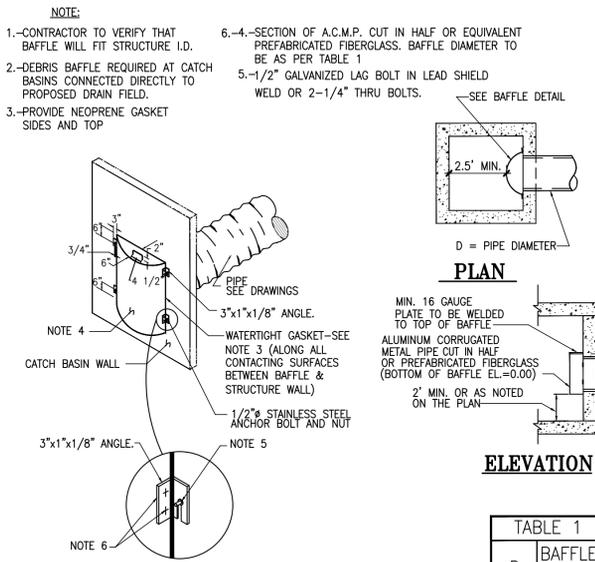


**SAWCUT PAVEMENT DETAIL**  
 NOT TO SCALE



- 1 1/2" THICK TYPE S-III ASPHALTIC CONCRETE IN TWO LIFTS
- 6" LIMEROCK BASE IN PARKING AREAS  
 8" LIMEROCK BASE IN DRIVE AISLE  
 98% COMPACTION AS PER AASHTO T-180, MIN LBR=100, MIN CARBONATE CONTENT=70%
- 12" COMPACTED SUBGRADE MIN LBR 40 COMPACTED TO MIN 95% OF MAX DRY DENSITY/T-180. COMPACT 2' MIN DEPTH OR FULL DEPTH OF FILL, WHICHEVER IS GREATER (ASTM D 1557)

**ASPHALT-CONCRETE JOINT DETAIL**  
 NOT TO SCALE



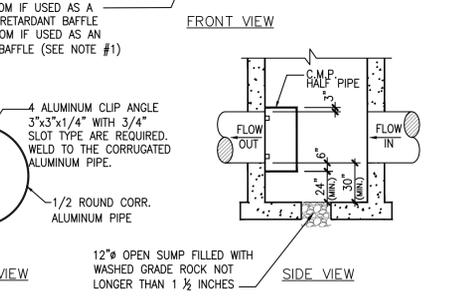
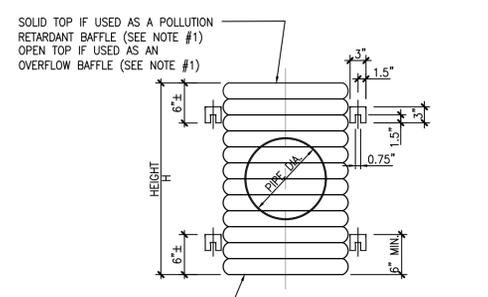
**BRACKET DETAIL**

**POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL**  
 NOT TO SCALE

(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)

**TABLE 1**

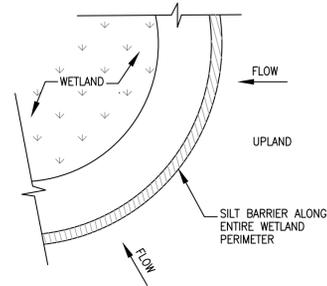
D	BAFFLE DIA.
10"	15"
15"	24"
18"	30"
24"	36"
30"	48"
36"	54"



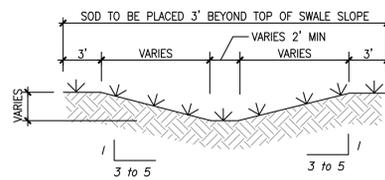
**POLLUTION RETARDANT BAFFLE DETAIL**  
 NOT TO SCALE

(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)

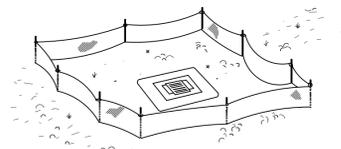
- NOTES:**
- ALUMINUM SHEET OF SAME THICKNESS (GAGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING.
  - BAFFLE SHALL BE AS MANUFACTURED BY SOUTHERN CULVERT OR ENGINEER'S APPROVED EQUAL.
  - NEOPRENE GASKET (3/8"x 2") SHALL BE INSTALLED AT ALL BAFFLES.



**SILT BARRIER**  
Figure 1

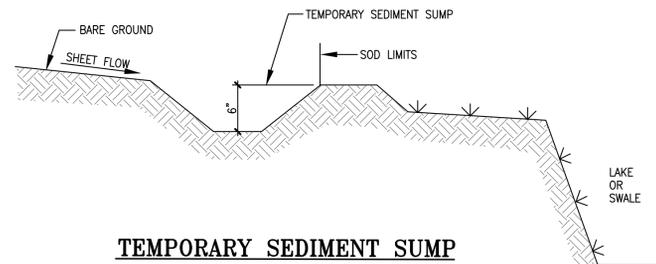


**TYPICAL SWALE SECTION**  
Figure 4

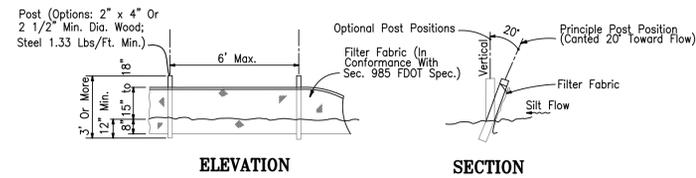


Type III Silt Fence Protection Around Ditch Bottom Inlets.  
Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

**SILT FENCE APPLICATIONS**  
Figure 7

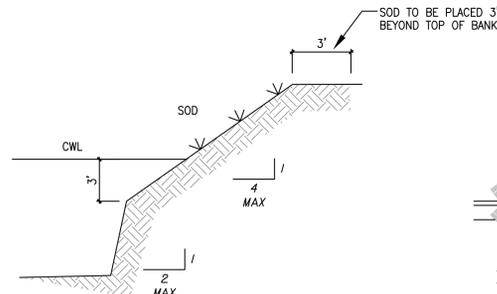


**TEMPORARY SEDIMENT SUMP**  
Figure 10

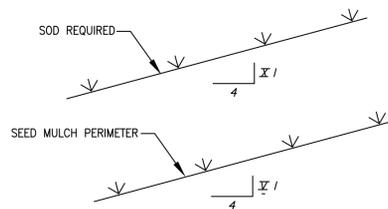


Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

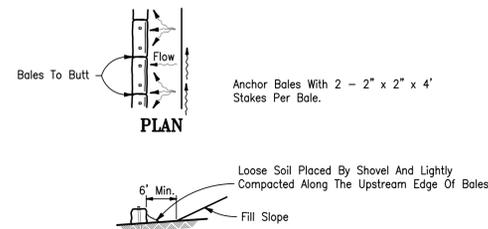
**TYPE III SILT FENCE**  
Figure 2



**TYPICAL RETENTION/DETENTION POND SECTION**  
Figure 5

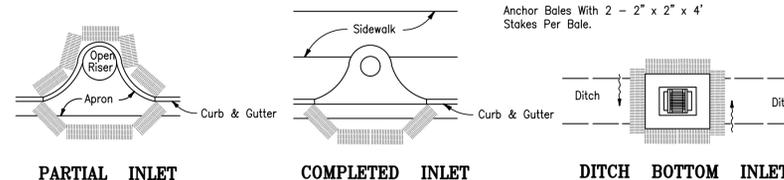


**GRASS SLOPES**  
Figure 8

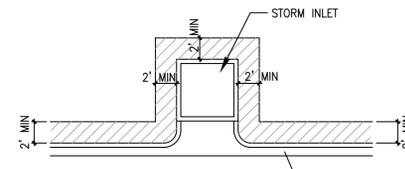


TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

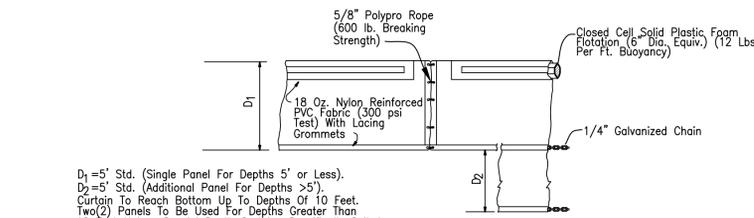
**BARRIERS FOR FILL SLOPES**  
Figure 3



**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**  
Figure 6



**SOD ALONG CURB AND AROUND INLET**  
Figure 9



$D_1 = 5'$  Std. (Single Panel For Depths 5' or Less).  
 $D_2 = 5'$  Std. (Additional Panel For Depths >5').  
Curtain To Reach Bottom Up To Depths Of 10 Feet.  
Two(2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.  
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

**FLOATING TURBIDITY BARRIERS**

**STORMWATER POLLUTION PREVENTION DETAILS**  
NOT TO SCALE

**Best Management Practices**

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

**SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION**

- 1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.
- 1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.
- 1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.
- 1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS**

- 2.1 Barricades shall be placed around all protected (preserved) habitats including mesic and uplands during development.
- 2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

**SECTION 3 GENERAL EROSION CONTROL**

- 3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slope cave-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.
- 3.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary groundcover.
- 3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.
- 3.4 All gross slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.
- 3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.
- 3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until sodding is established on the ground draining to the sump.

**SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION**

- 4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.
- 4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.
- 4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:
  - a. In general erosion shall be controlled at the furthest practical upstream location.
  - b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.
  - c. Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.
- 4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 5 CONTROL OF WIND EROSION**

- 5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:
  - a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
  - b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
  - c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

**NOTES**

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION



**CKE GROUP**  
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17190 ROYAL PALM BLVD.  
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EB#0004432



SEAL  
EDUARDO L. CARCAACHE  
CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

DATE	REMARKS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
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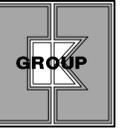


XS6

**POLLUTION PREVENTION DETAILS**  
**C-6A**

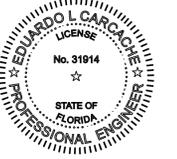
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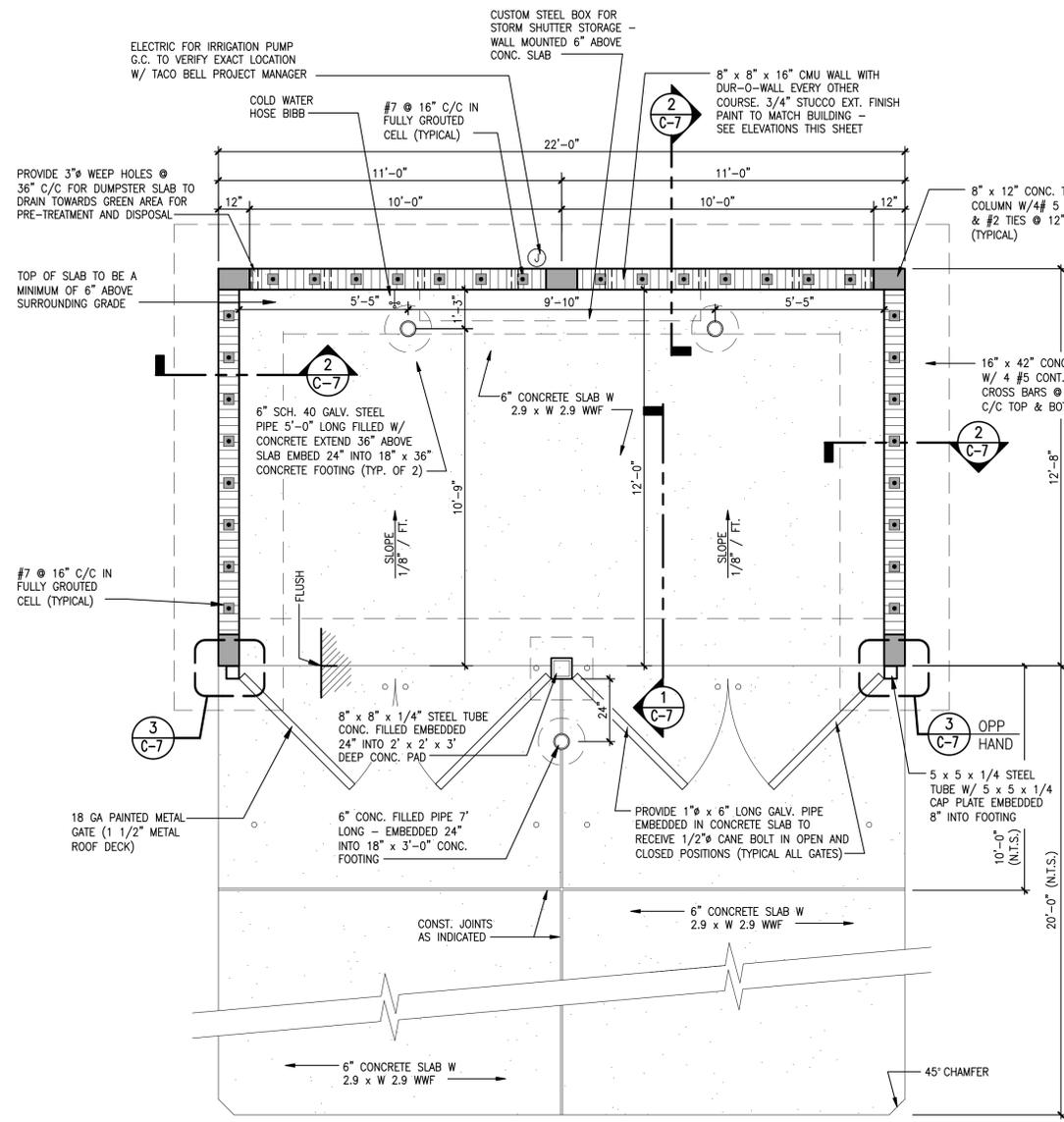


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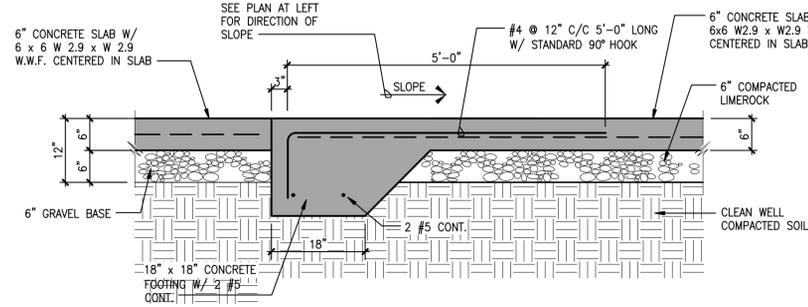


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ARCHITECT-AR 14985

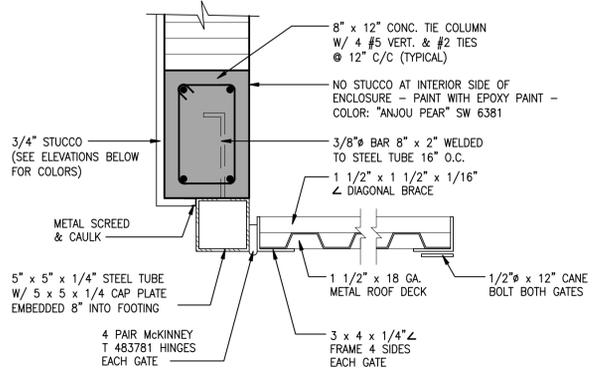


**TRASH & RECYCLING ENCLOSURE PLAN**  
SCALE: 3/8" = 1'-0"

**IMPORTANT NOTE:**  
PRIOR TO THE START OF CONSTRUCTION VERIFY THE TOP OF SLAB ELEVATIONS WITH THE LATEST CIVIL ENGINEERING DRAWINGS. CONTACT CKE GROUP FOR ADJUSTMENT SHOULD THERE BE ANY DISCREPANCY.



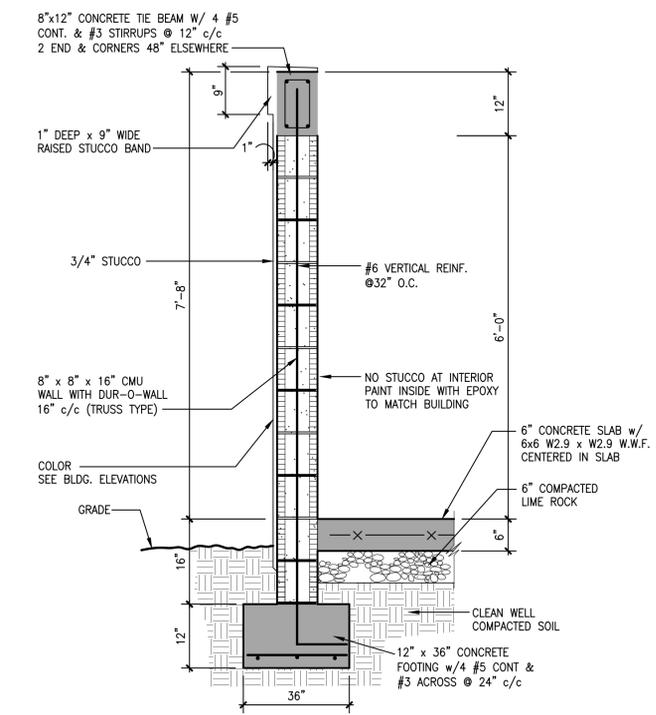
**SECTION AT SLAB FOOTING**  
SCALE: 3/4" = 1'-0"



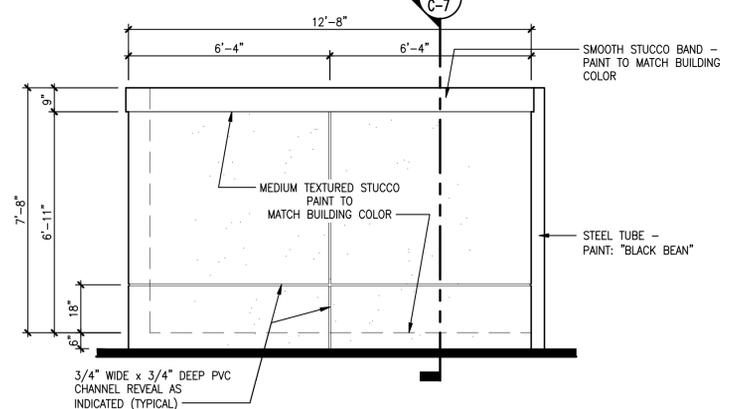
**JAMB & GATE DETAIL**  
SCALE: 1 1/2" = 1'-0"

**PAINT SPECIFICATIONS**

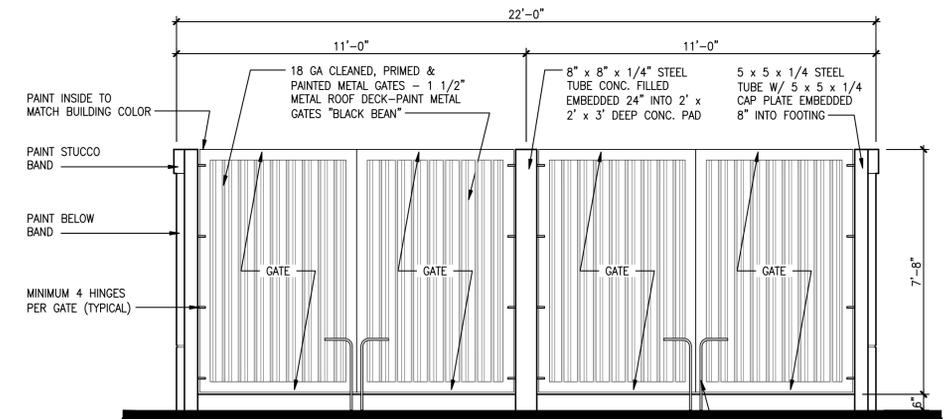
- EXTERIOR WALLS BETWEEN BANDS: REFER TO ARCHITECTURALS
- INTERIOR WALLS (EPOXY PAINT): REFER TO ARCHITECTURALS
- 9" RAISED STUCCO BANDS: REFER TO ARCHITECTURALS
- METAL GATES & STEEL TUBES: REFER TO ARCHITECTURALS



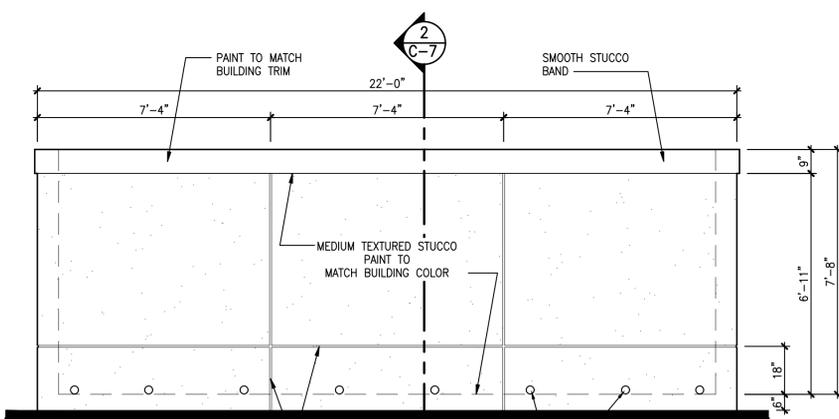
**SECTION THRU TYPICAL WALL**  
SCALE: 3/4" = 1'-0"



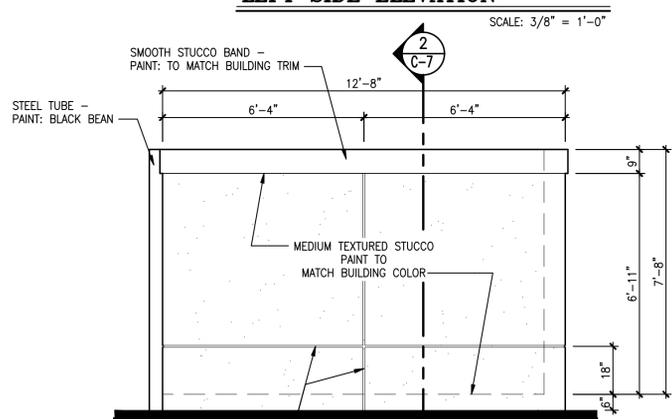
**LEFT SIDE ELEVATION**  
SCALE: 3/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 3/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 3/8" = 1'-0"

DATE	REMARKS

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HOLLYWOOD, FL 33021

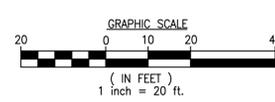
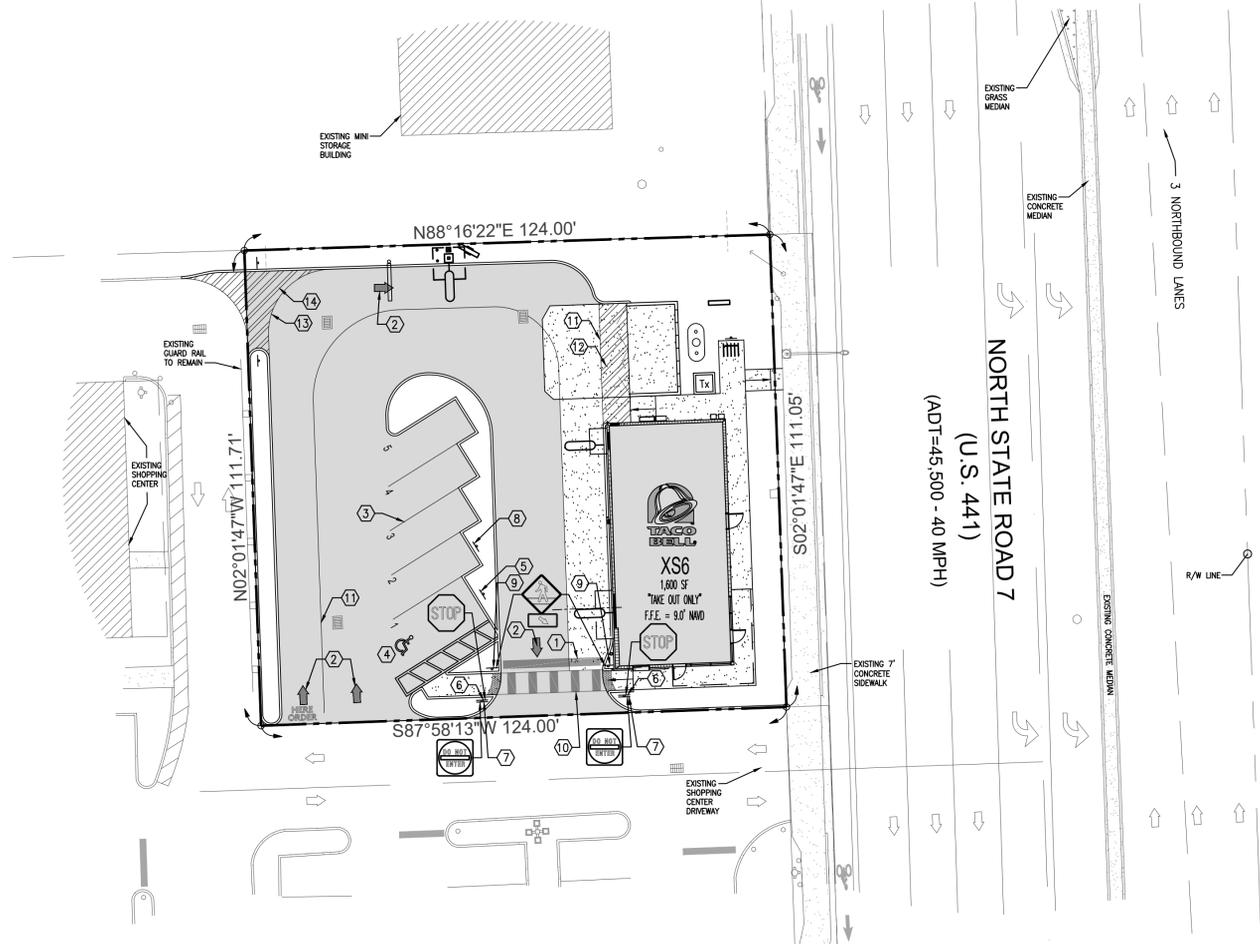


XS6

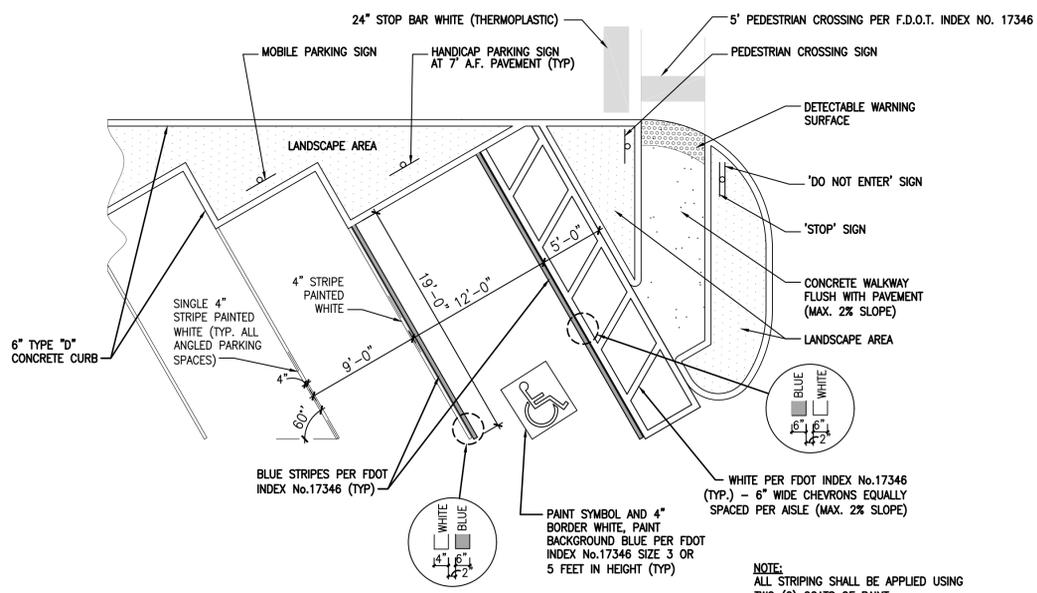
**TRASH ENCLOSURE DETAILS**

**C-7**

PLOT DATE:

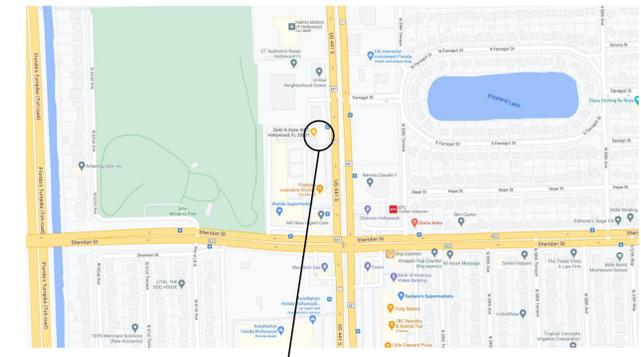
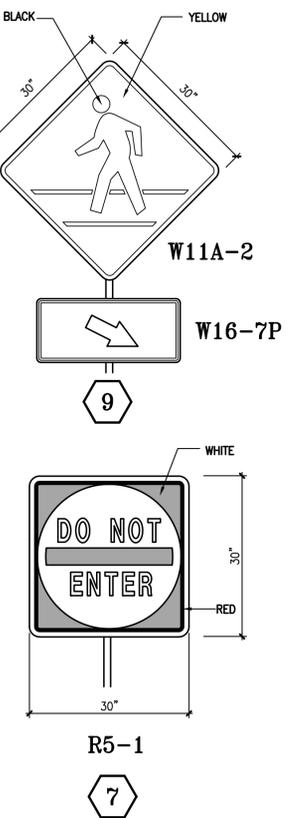
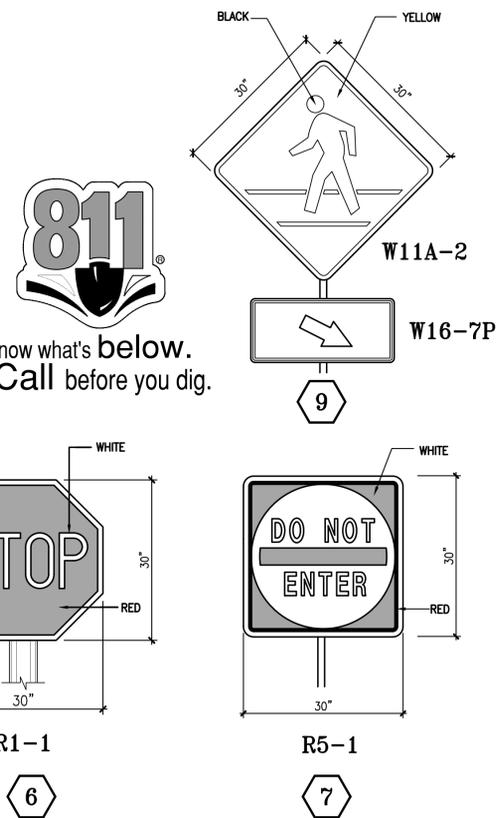
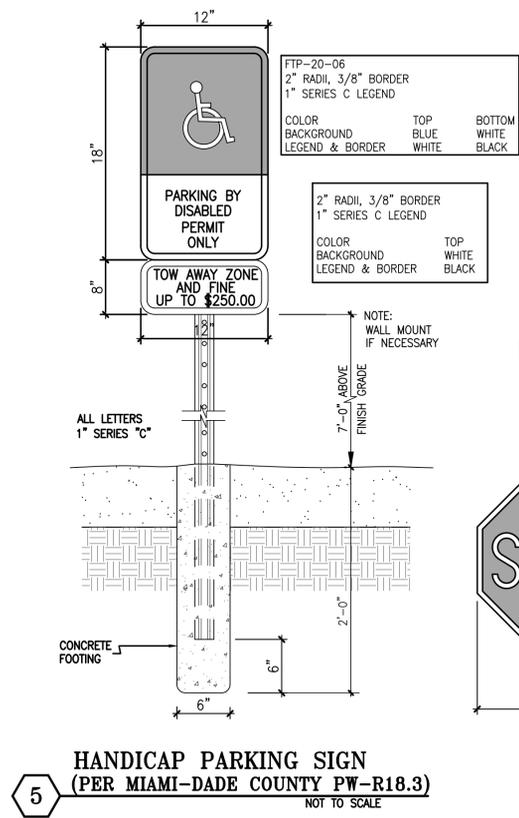
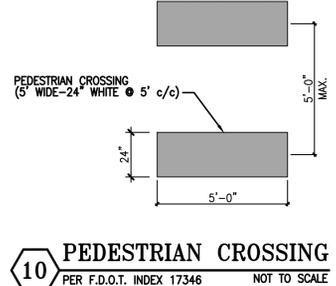
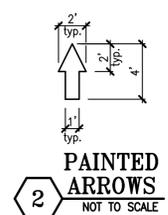


**PAVEMENT MARKING & SIGNAGE PLAN**  
SCALE: 1:20



**3 4 STANDARD AND HANDICAP PARKING DETAILS**  
NOT TO SCALE

- CONSTRUCTION NOTES:**
- 24" STOP BAR WHITE (THERMOPLASTIC)
  - TRAFFIC ARROWS PAINTED WHITE.
  - 4" WHITE STRIPES (TYPICAL AT STANDARD PARKING SPACES)
  - HANDICAP PARKING AS PER DETAIL.
  - HANDICAP SIGN 7'-0" A.F.P.
  - STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN, R1-1 (30"x30")
  - STANDARD F.D.O.T. HIGH INTENSITY "DO NOT ENTER" SIGN, R5-1 (30"x30")
  - MOBILE ORDER PICK-UP PARKING SIGN
  - PEDESTRIAN CROSSING SIGN
  - PEDESTRIAN CROSSING PER F.D.O.T. INDEX No. 17346
  - 6" WHITE STRIPE (THERMOPLASTIC)
  - 6" WHITE STRIPE- 45' @ 24" O.C. (THERMOPLASTIC)
  - 6" DOUBLE YELLOW STRIPE (THERMOPLASTIC)
  - 18" YELLOW STRIPES 45' @ 4" O.C. (THERMOPLASTIC)



THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)

PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

**GROUP**  
**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
17190 ROYAL PALM BLVD.  
SUITE #2  
WESTON, FLORIDA 33326  
PHONE: (305) 558-4124  
FAX: (305) 826-0619  
EB#0004432

**EDUARDO L. CARCACHÉ**  
LICENSE  
No. 31914  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

SEAL  
EDUARDO L. CARCACHÉ  
CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

DATE	REMARKS

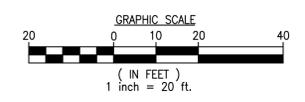
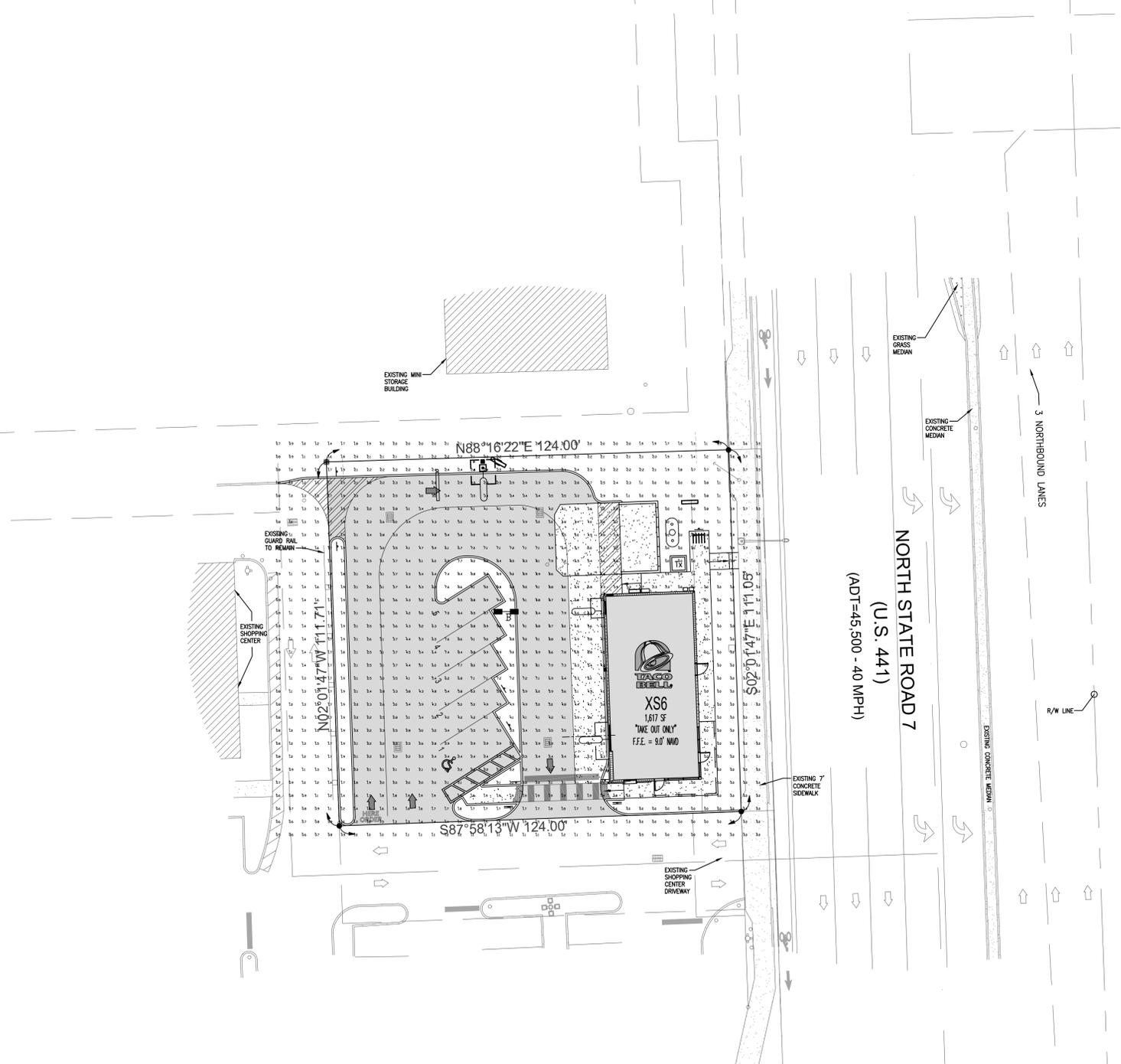
CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
JOB NO.:

**TACO BELL**  
2640 N SR-7,  
HOLLYWOOD, FL 33021

**TACO BELL**  
XS6

**PAVEMENT MARKING & SIGNAGE PLAN**  
**C-8**  
PLOT DATE:

**STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS**  
SCALE: N.T.S.



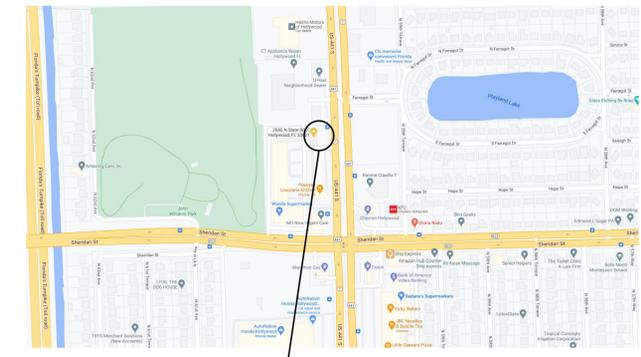
**LIGHTING PLAN**  
SCALE: 1:20



Know what's below.  
Call before you dig.



SLM



**LOCATION MAP**  
NOT TO SCALE

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.

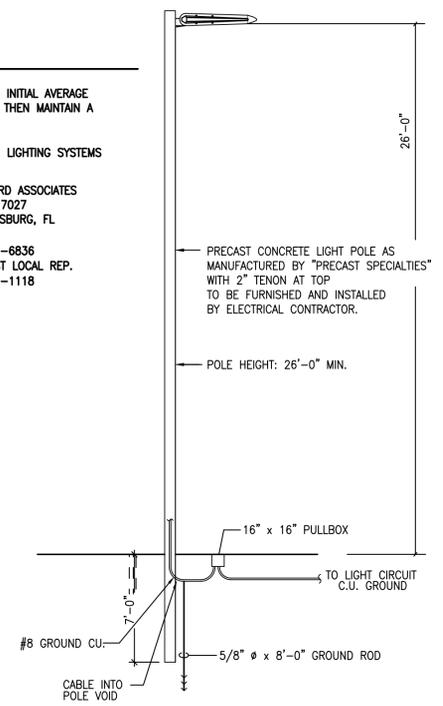
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**NOTES:**

1. LOT IS REQUIRED TO HAVE AN INITIAL AVERAGE OF 13-15 FOOTCANDLES AND THEN MAINTAIN A MINIMUM OF 1 FOOTCANDLE.
2. APPROVED MANUFACTURER: LSI LIGHTING SYSTEMS
3. AVAILABLE FROM: LUCAS FORD ASSOCIATES  
P.O. BOX 7027  
ST. PETERSBURG, FL 33734  
(800) 262-6836  
CHRIS EAST LOCAL REP.  
(954) 971-1118



**CROSSOVER LIGHTING**  
NOT TO SCALE

**NOTES**

- POLES / LUMINARIES SHALL BE RATED FOR 170 MPH.
- FIXTURE SUPPORT SHALL BE PER NEC 410-15.
- LEVELS OF PARKING ILLUMINATION TO COMPLY WITH MIAMI-DADE COUNTY CODE SECTION 8C-3.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
<b>Calculation Summary</b>							
CALCULATION POINTS @ GRADE	Illuminance	Fc	2.72	10.4	0.0	N.A.	N.A.
PARKING & DRIVING SUMMARY	Illuminance	Fc	4.35	9.4	1.5	2.90	6.27

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
[Symbol]	1	B	D180°	SLM-LED-30L-SIL-5W-50-70CRI-D180-24' POLE+2' BASE	1,000	1,000	1,000	62474	464

**CKE GROUP INCORPORATED**  
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DATE	REMARKS

CONTRACT DATE:  
BUILDING TYPE: XS6  
PLAN VERSION:  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB-459380  
PA/PM: DIANA DeCICCO  
DRAWN BY: AG  
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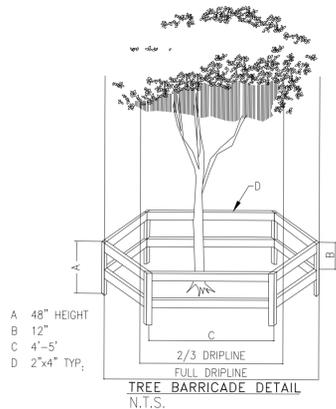


**LIGHTING PLAN**

**CE-1**

PLOT DATE:

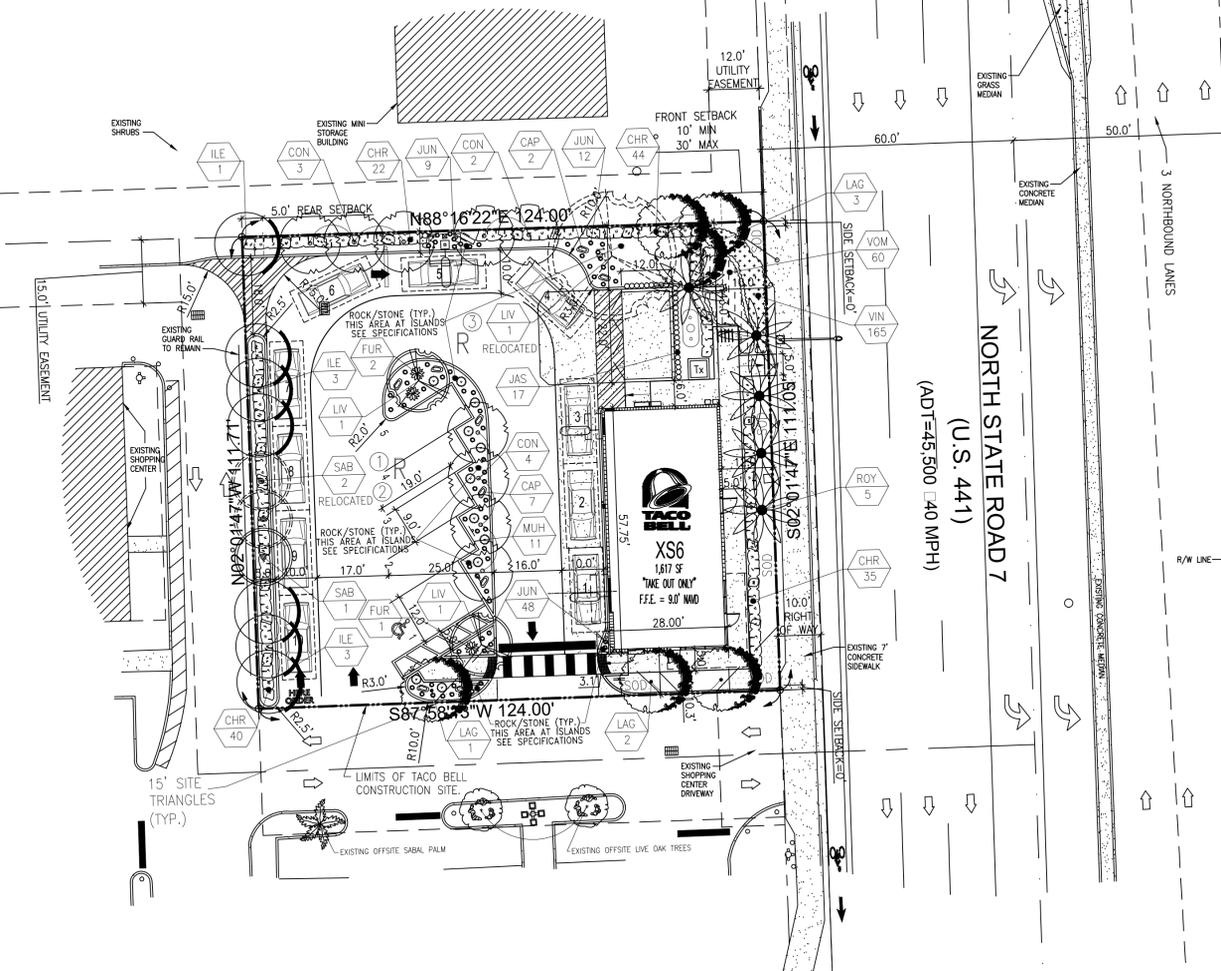




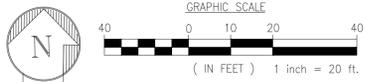
- TREE BARRICADE NOTES:**
1. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS MINIMUM PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICES AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36", ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
  2. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005," CURRENT EDITION RESPECTIVELY.
  3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
  4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
  5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
  6. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
  7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
  8. TRANSPLANT TREE WITH 60" TREE SPADE OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
  9. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER ( + - 1" ) THAN THE FINISHED GRADE.

**EXISTING TREES TO REMAIN REQUIRED BARRICADES**

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



**LANDSCAPE PLAN**  
1"=20'-0"

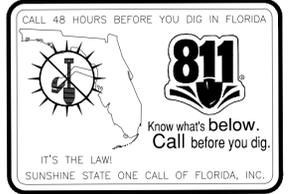
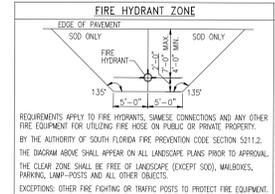


**DROUGHT TOLERANCE**  
 \*\* VERY  
 \* MODERATE

FLORIDA -FRIENDLY LANDSCAPING & DESIGN SHALL BE UTILIZED GREEN BUILDING ORDINANCE REQUIRED SECTION 3-103 80% OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).

**LANDSCAPE LEGEND**

DROUGHT TOLERANCE	KEY CODE	QTY.	PLANT NAME	NATIVE	SIZE
**	OAK	2	QUERCUS VIRGINIANA / "CATHEDRAL"	YES	12"x6"-7" F.G. 2.5" CALIPER @D.B.H. 5' C.T. -RELOCATE (1) EXISTING
**	LAG	6	LAGERSTROEMIA INDICA / "NATCHEZ"	NO	12"x6"-7" F.G. 2.5" CALIPER @D.B.H. 5' C.T. "STANDARD"
**	ROY	5	ROYSTONIA ELATA / FLORIDA ROYAL PALM	YES	22"-24" X 18" F.G. 12.0" CAL @D.B.H. 8' 6"W, 10' C.T. MINIMUM
**	CON	9	CONOCARPUS SERICEUS / SILVER BUTTWOOD	YES	12"x6"-7" F.G. 2.5" CAL @D.B.H. 5' C.T. MIN. "STANDARD"
**	ILE	7	ILEX CASSINE / DAHOON HOLLY	YES	12"x6"-7" F.G. 2.5" CAL @D.B.H. 5' C.T.
**	SAB	1	SABAL PALMETTO / CABBAGE PALM	YES	12"-14"-16" C.T. F.G. 10" C.T. MINIMUM-RELOCATE (2) EXISTING
**	VOM	60	ILEX VOMITORIA / DWARF YAUPON	YES	6" FULL 1 GAL. 24" D.C.
**	JAS	17	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	NO	24"x18" X 3 GAL. 24" O.C. "TRELIS"
**	FUR	3	FURCRAEA FOETIDA / GIANT FALSE AGAVE	NO	30" X 30" AS SHOWN
**	MUH	11	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	YES	30" S GAL. 36" O.C. AS SHOWN
**	CAP	9	SANDSTONE BOULDER/DESERT SAND COLOR	NO	34"x26"x20" AS SHOWN (INSTALL HALF WAY INTO GROUND)
**	CHR	141	CHRYSOBALANUS ICACO/"RED TIP"	YES	24"x18" X 3 GAL. 24" O.C. FULL TO BASE
**	JUN	69	JUNIPER HORIZONTALIS / CREEPING JUNIPER	NO	6" 1 GAL. 18" O.C. FULL POT
**	VIN	165	VINCA MAJOR/PERIWINKLE *ALT.=HELIANTHUS DEBILIS	NO	6" 1 GAL. 18" O.C. FULL POT
*	SOD	725+	ST. AUGUSTINE "FLORATAM" SOLID SOD	NO	AS SHOWN



**SITE AND CODE DATA**

DESCRIPTION	TACO BELL RESTAURANT AT THE SHERIDAN OAK PLAZA	
CURRENT ZONING	C-MU (Central Mixed-Use District)	
CURRENT LAND USE	Commercial	
CURRENT USE	Commercial	

DESCRIPTION	TYPE	GROSS BUILDING AREA
NON-RESIDENTIAL	New Restaurant	1,600 SF
FAR	N/A	
TOTAL SITE AREA	13,811 (NET) SF (0.317 Acres)	
TOTAL BUILDING	1,617 SF	11.71%
TOTAL VEHICULAR USE AREA	8,183 SF	59.25%
INTERIOR LANDSCAPE AREA (MINUS PERIMETER LANDSCAPE SET BACK AREA)	2,909.7 SF	35.94% of vehicular use area
TOTAL OPEN SPACE AREA	2,909.7 SF	21.07%

DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED	DESCRIPTION	ALLOWED MIN-MAX	PROVIDED
FRONT (EAST)	10'-0"/30'-0"	12'-0"						
REAR (WEST)	5'-0"	84'-0"						
SIDE (NORTH)	0'-0"	43'-0"						
SIDE (SOUTH)	0'-0"	10'-0"						

FRONTAGE	REQUIRED	PROVIDED
U.S. 441 (111.05 FT)	60%	57.75' (52%)

DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED
HEIGHT	140'-0"	21'-4"	HEIGHT	140'-0"	-	HEIGHT	140'-0"	-

DESCRIPTION	MINIMUM 1 PER 150 SF BUILDING AREA	REQUIRED MINIMUM	REQUIRED MAXIMUM
NEW RESTAURANT, TAKE OUT	Standard parking spaces for 1,617 SF	11 sp	-
		11 sp	-
		PROVIDED 5 SPACES INCLUDING 1 HC	

SPECIAL EXCEPTION	REQUIRED	PROVIDED	7.2.28
PARKING SPACES	11	5	7.2.28
ACTIVE USE	60%	52%	C-MU (ii)
TRANSPARENCY	50%	27.90%	TOC D-3.a(iii)(c)

**SEE L-2 SPECIFICATIONS:**

THE USE OF A WEED BARRIER IN PLANTING BEDS IS MANDATORY. ALL PLANTING BEDS TO BE SURROUNDED BY EDGING.

DESCRIPTION	REQUIRED	PROVIDED
1 TREE PER 1,000 S.F. PERVIOUS AREA: (2,909.70 S.F.)	3	3
PERIMETER BUFFER: 1 TREE PER 20 L.F. (398.76)	20	20
1 TREE PER 190 S.F. TERMINAL ISLAND:	2	2
STREET TREES: 1 PER 50 L.F. STREET FRONTAGE: 111.05 L.F.	2	2
AT GRADE PARKING 1 TREE PER 20 L.F.	4	4
INTERIOR LANDSCAPE AREA - 25.00% OF (V.U.A.):	1,945.81	1,945.81/25%
<b>TOTAL TREES:</b>	<b>31</b>	<b>31</b>
NATIVE/S.F.W.M. TREES 80% MIN.:	25	25 (80%)
NATIVE/S.F.W.M. SHRUBS 80% MIN.:	186/80%	212/91%

1. SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
2. ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
3. LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS; SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.
4. ALL EXISTING TREES SHALL BE TRIMMED AND SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI) A300-2005", CURRENT EDITION RESPECTIVELY.
5. LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
6. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION AS PER CITY OF HOLLYWOOD. (SEE DETAIL)
7. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
8. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
9. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
10. LANDSCAPE CONTRACTOR SHALL NOT INSTALL PLANT MATERIALS WITHIN ROOTBALLS OF TREES AND OR PALMS AND SHOULD BE INSTALLED OUTSIDE ROOTBALL AREAS AS REQUIRED.
11. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER ( + - 1" ) THAN THE FINISHED GRADE.
12. SUBSTITUTION, PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SHOWN PRIOR TO SUBMISSION OF BIDS, REQUIRED (2) APPROVALS AS FOLLOWS: ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT & "CITY OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER" FOR CONSIDERATION AND REQUIRED APPROVAL; IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
13. A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30" & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED. TREES SHALL BE MAINTAINED WITH SIX (6") CLEAR TRUNK TO KEEP CONTINUALLY ALLOWANCE FOR CLEAR NATURAL VISUAL SURVEILLANCE TO THE SITE. SHRUBBERY SHALL NOT EXCEED THREE (3') AT MATURITY; TREES SHALL BE PLANTED 15' FROM LIGHT STANDARDS TO MAINTAIN ILLUMINATION LEVELS AS SPECIFIED.
14. LANDSCAPE CONTRACTOR TO CALL THE CITY OF HOLLYWOOD LANDSCAPE INSPECTOR AT (954)921-3471 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO INSTALLATION AS REQUIRED. LANDSCAPE CONTRACTOR TO CONTACT CITY LANDSCAPE INSPECTOR PRIOR TO RELOCATION OF EXISTING TREES OR PALMS FOR CONDITION OF EXISTING MATERIAL AND SHALL BE APPROVED UPON INSPECTION OR IF DEEMED NOT FEASIBLE, THEN A NEW TREE/PALM SHALL BE INSTALLED IF REQUIRED.
15. EXISTING TREES SHALL BE PRUNED AND MAINTAINED TO HAVE 6"-8" MINIMUM CLEARANCE OVER SIDEWALKS AS REQUIRED.
16. ALL SOD TO BE HEALTHY, WEED/PEST FREE (INCLUDING FUNGUS AND DISEASE) ST. AUGUSTINE FLORATAM SOLID; LAID SMOOTH WITH TIGHT ALTERNATING/ABUTTING JOINTS WHICH CONFORM TO CURBS AND PLANTERS.
17. MULCH RINGS SHALL BE PROVIDED FOR ALL TREES PLANTED IN SOD AREAS-4" MINIMUM DIAMETER, 6" DIAMETER FOR CANOPY TREES.

**NOTE:**

CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED 6" MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

**COMMERCIAL GREEN BUILDING PRACTICES INCORPORATED INTO PLANS**

(PER ORDINANCE 0-2011-06)

1. ENERGY STAR APPROVED ROOFING MATERIALS.
2. AT LEAST 80% OF PLANTS, TREES AND GRASS PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION). LANDSCAPE PLAN, REVIEWED AND APPROVED BY A LANDSCAPE ARCHITECT, SHALL BE SUBMITTED WITH PERMIT APPLICATION. LANDSCAPING SHALL BE VERIFIED BY INSPECTION PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
3. UTILIZE LED LIGHTS FOR OVER 90% OF PARKING LOT LIGHTING.
4. REFRIGERANT: ALL BUILDING HVAC & R SYSTEMS ARE FREE OF CFU'S AND HALONS.
5. REDEVELOPMENT OF EXISTING SITE - LOCATE THE BUILDING ON A SITE THAT HAS EXISTING HARDSCAPE OR BUILDINGS THAT MUST BE REPLACED BY THE NEW DEVELOPMENT AND HAS EXISTING UTILITY CONNECTIONS TO THE SITE.
6. ACCESS TO PUBLIC TRANSPORTATION - THE SITE IS LOCATED WITHIN 1/2 MILE OF EXISTING RAIL NODE OR 1/4 MILE OF AT LEAST 1 ACTIVE BUS STOP.
7. SIDEWALKS - PROVIDE SIDEWALKS FOR ALL PATHS TO ADJACENT CITY STREETS THAT ARE MINIMUM 4' WIDE WITH CONCRETE OR OTHER FIRM, SLIP RESISTANT SURFACES.
8. REDUCE HEAT ISLAND EFFECT - UTILIZE A COOL-ROOF THAT WILL HAVE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 78, WHICH REDUCES THE HEAT ISLAND EFFECT.
9. DURABLE EXTERIOR MATERIALS-BUILDING DESIGN SHALL INCLUDE DURABLE EXTERIOR BUILDING WALL AND WINDOW MATERIALS TO PREVENT DAMAGE FROM HIGH WINDS. THE EXTERIOR SURFACE OF A MINIMUM OF 80% OF WALLS SHALL BE CONCRETE OR BRICK MASONRY. WINDOWS SHALL HAVE IMPACT RESISTANT GLAZING.
10. LOW FLOW TOILET FIXTURES. THE TOILETS SHALL HAVE A MAXIMUM WATER USE OF 1.28 GPF. URINALS SHALL HAVE A MAXIMUM WATER USE OF 0.5 GPF. CALCULATIONS MUST BE SUBMITTED WITH PLANS. SYSTEM MUST PASS ALL REQUIRED INSPECTIONS BY PLUMBING INSPECTOR.

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(TITLE COMMITMENT)  
 PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF. RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAD LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

**MEETING DATES:**

PAC0	DEC 19, 2022
PRELIMINARY TAC	FEB 6, 2023
FINAL TAC	

SEAL  
 EDUARDO L. CARCACHÉ  
 CIVIL ENGINEER PE 31914  
 RICARDO J. PEREZ  
 ARCHITECT AR 14396

This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal.

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SEAL  
 RICHARD BARTLETT LANDSCAPE, INC.  
 14417 STARBUCK LANE  
 WELLSINGTON, FL 33414  
 TEL: (561) 758-7707  
 LANDSCAPE ARCHITECTURE LC26000352  
 MICHAEL E. RAJES RAJES#001633  
 EMAIL: rrb@richardbartlettlandscape.com  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL  
 MICHAEL E. RAJES  
 CIVIL ENGINEER PE 001633

RBL#23-01-2199  
 DRAWN BY: RICK BARTLETT  
 CHECKED: RGB/MFR

DATE	REMARKS

CONTRACT DATE: 2/26/2021  
 BUILDING TYPE: S6  
 PLAN VERSION: FEBRUARY 2022  
 BRAND DESIGNER: DANIEL DICKSON  
 SITE NUMBER: 315998  
 STORE NUMBER: TB 459380  
 PA/PM: DIANA D. CICCIO  
 DRAWN BY: AG  
 JOB NO.: CKE 1746

**TACO BELL**  
 2640 N SR.7,  
 HOLLYWOOD, FL 33021

IS6

**LANDSCAPE PLAN**

PLLOT DATE:





SEAL  
EDUARDO L. CARCACHE  
CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

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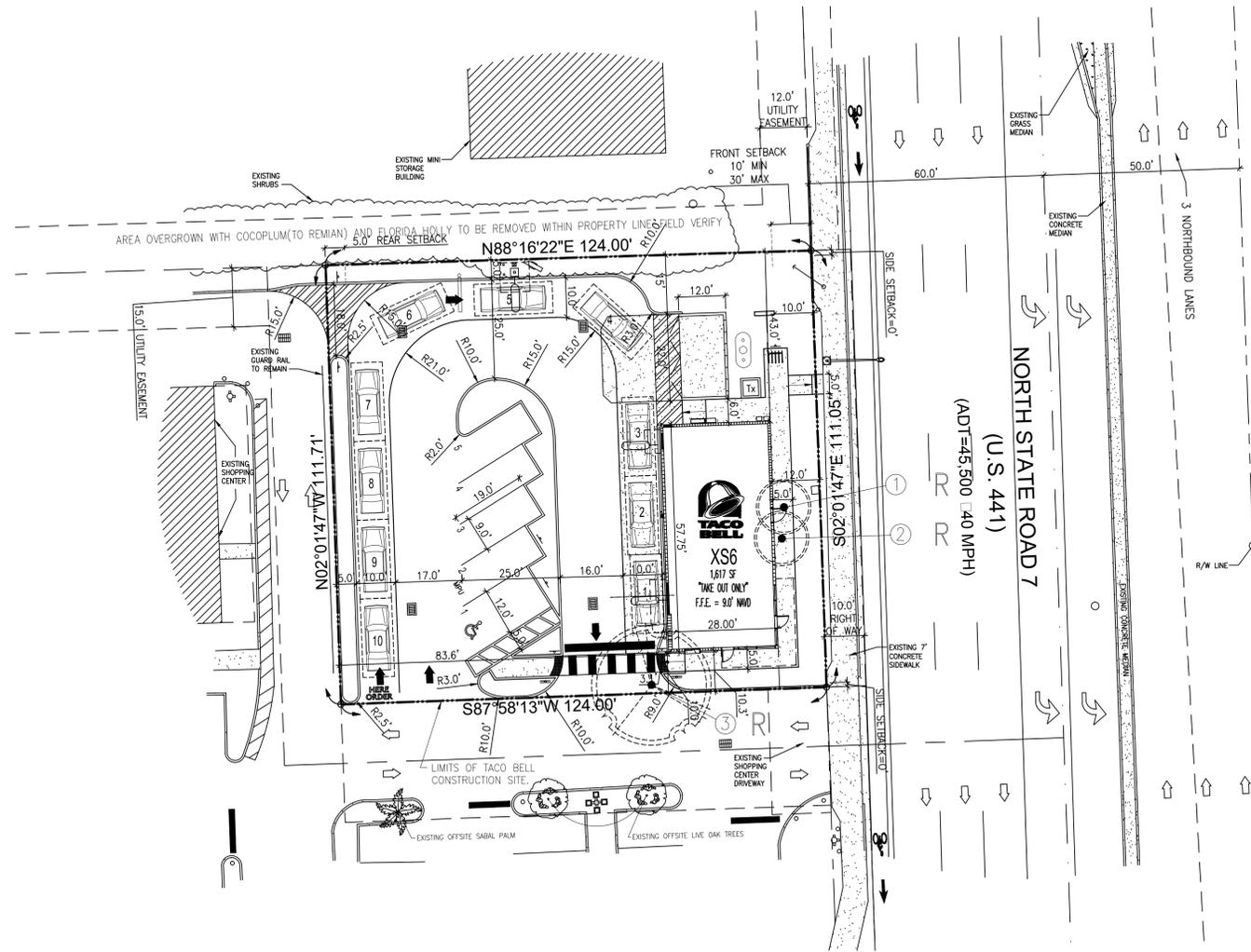
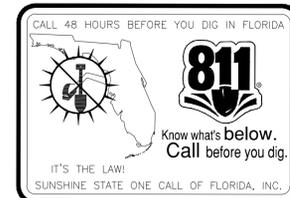
**IRRIGATION SCHEDULE**

FOR RELOCATED AND/OR NEWLY PLANTED TREES/PALMS THE IRRIGATION SCHEDULE SHALL BE AS PER UF/IFAS PUBLICATION EN1-1061. DURING ESTABLISHMENT, TREES SHOULD BE IRRIGATED 2-3 TIMES PER WEEK WITH 2 GALLONS PER INCH TRUNK CALIPER. ALL THIS WATER SHOULD BE APPLIED ONLY TO THE TOP OF THE ROOT BALL.

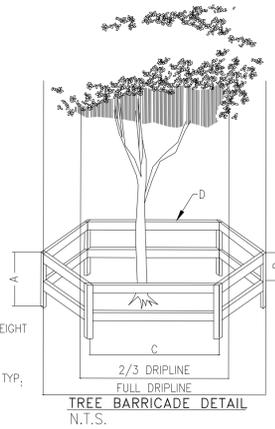
TABLE 2. IRRIGATION SCHEDULES DEPEND ON SIZE OF NURSERY STOCK AND DESIRED OBJECTIVE\*.

SIZE OF NURSERY STOCK	IRRIGATION SCHEDULE FOR	
	VIGOR	SURVIVAL
LESS THAN 2 INCH CALIPER	DAILY: 2 WEEKS EVERY OTHER DAY: 2 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2-4 INCH CALIPER	DAILY: 1 MONTH EVERY OTHER DAY: 3 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY: 5 MONTHS WEEKLY: UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS

\* ESTABLISHMENT TAKES APPROXIMATELY 3 MONTHS (HARDINESS ZONES 10-11) 4 MONTHS (HARDINESS ZONES 8-9) PER INCH TRUNK CALIPER.



"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



**TREE BARRICADE NOTES:**

1. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
2. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005." CURRENT EDITION RESPECTIVELY.
3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC; OWNER TO SUPPLY WATER ON SITE.
4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
6. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
8. TRANSPLANT TREE WITH 60" TREE SPADE OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
9. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER (+ - 1") THAN THE FINISHED GRADE.

EXISTING TREES TO REMAIN REQUIRED BARRICADES

SEE SHEET L-1 LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

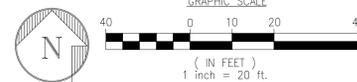
R = TO BE RELOCATED  
X = TO BE REMOVED

**EXISTING LANDSCAPE MATERIALS**

KEY	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	CONDITION
①	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18' x 15'	(1) TO BE RELOCATED (12" O CALIPER)	GOOD/70%
②	SAB	1	SABAL PALMETTO / CABBAGE PALM	18'-20' x 15'	(1) TO BE RELOCATED (12" O CALIPER)	GOOD/70%
③	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22'-24' x 30'	(1) TO BE RELOCATED (10" O CALIPER)	GOOD/60%

**TREE DISPOSITION PLAN**

1"=20'-0"



**NOTE:**

CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED 6" MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

RICHARD BARLETT LANDSCAPE, INC.  
14417 SHORUP LAKE  
WELLINGTON, FL 33414  
TELL: (561) 758-7707  
LANDSCAPE ARCHITECTURE LC26000352  
MICHAEL E. PAWLS REG#001633  
EMAIL: mepawls@rblandscape.com  
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RBL#23-01-2199  
DRAWN BY: RICK BARLETT  
CHECKED: RJB/MER

DATE	REMARKS

CONTRACT DATE: 2/26/2021  
BUILDING TYPE: S6  
PLAN VERSION: FEBRUARY 2022  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB 459380  
PA/PM: DIANA D. CICCIO  
DRAWN BY: AG  
JOB NO.: CKE 1746

**TACO BELL**  
2640 N SR 7,  
HOLLYWOOD, FL 33021



S6

**TREE DISPOSITION PLAN**  
L3

PLOT DATE:

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RBL#23-01-2199  
DRAWN BY: RICK BARTLETT  
CHECKED: RGB/MER

DATE	REMARKS

CONTRACT DATE: 2/26/2021  
BUILDING TYPE: S6  
PLAN VERSION: FEBRUARY 2022  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB 459380  
P/PM: DIANA D. CICCIO  
DRAWN BY: AG  
JOB NO.: CKE 1746

**TACO BELL**  
2640 N SR 7,  
HOLLYWOOD, FL 33021



**IRRIGATION PLAN**

**L4**  
PLOT DATE:

THIS SITE LIES IN SECTION 1, TOWNSHIP 51 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA.  
**LEGAL DESCRIPTION:**  
(TITLE COMMITMENT)  
PARCEL "A", "GATOR 441 SUBDIVISION", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 151, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA AND CONTAINING 13,811 SQUARE FEET (0.3171 ACRES), MORE OR LESS.

ITEM	MANUFAC.	MODEL NO.
4" pop-up spray head	Toro	570Z-4P-.COM
12" pop-up spray head installed in season color beds only	Toro	570Z-12P-.COM
spray head nozzles with pressure compensation	Toro	Precision Series Nozzles
rotor sprinkler head	Toro	T5PR5
drip line	Toro	DLS2000
controllers (up to 16 zones)	Toro	Evolution EVO-40D With EVOM-4/12 Expansion Modules
weather sensor	Toro	Evolution EVO-SC, EVO-WS
controllers (16 to 24 zones)	Toro	TMC 424E-OD
weather sensors (with tmc 424e)	Irritol	CL-Wireless
electric valves (spray and rotary zones), (drip zones)	Toro	TPVF100, DK-EZF
quick coupler valve & key	Toro	100-SLVLC, 100 SLK
swivel hose e11	Toro	100 MHS
backflow preventer valve	FEBCO	As Required
10" round valve box	Amtec	181104
surge protection kit	Irritol	SPD-587

**IRRIGATION LEGEND**

---	2" SCH. 40 PVC MAIN LINE AS SHOWN
---	TORO MODEL TMC 424E-OD 24 ZONE TIME CONTROLLER
⊕	TORO SERIES LOW VOLTAGE CONTROL VALVES 1" & 1 1/2" W/ DIRECT BURIAL #14 WIRE AS REQUIRED
⊕	1" SUB-IRRIGATION WATER METER & FEBCO BACKFLOW PREVENTER (FIELD VERIFY BY OWNER)
⊕	TORO DRIFLINE USING GRID CONCEPT, WITH SUPPLY AND FLUSH MANIFOLDS AT EACH END TO CREATE A CLOSED-LOOP SYSTEM, 5/8" TUBE DIAMETER DL 2000 PC DRIFLINE WITH ROOTGUARD, NORMAL FLOW 0.53 GPH AND 1.02 GPH @35 PSI MINIMUM.
---	TORO WEATHER SENSOR EVOLUTION EVO-SC, EVO-WS

**PIPE SIZE LEGEND**

PIPE SIZE	GPM
3/4"	0-8
1"	9-12
1 1/4"	13-22
1 1/2"	23-30
2"	31-50

**TORO DRIFLINE DL 2000-ZONES**

ZONE	1	2	3	4	5	6	7	8	9	10	11	12
# HEADS	DRIP											
G. P. M.	35.00	35.00	35.00	30.00	35.00	35.00	35.00	30.00	35.00	35.00	35.00	35.00

**TORO DRIFLINE DL 2000-ZONES**

ZONE	13	14	15	16	17	18	19	20	21	22	23	24
# HEADS	DRIP	DRIP	DRIP	DRIP	DRIP	DRIP	---	---	---	---	---	---
G. P. M.	35.00	35.00	30.00	35.00	35.00	35.00	---	---	---	---	---	---

- NOTES:**
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC.. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
  - GENERAL CONTRACTOR TO SUPPLY AND INSTALL SLEEVES AS SHOWN AND PROVIDE ELECTRICAL HOOK-UP AS REQUIRED.
  - WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH "FLORIDA BUILDING CODE APPENDIX (F) PART V-A-1", INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES.
  - PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PBC V-A-1.1:  
PIPE SIZE (INCHES) DEPTH OF COVER (INCHES)  
1/2"-2 1/2" 18"-24"  
3"-5 24"-30"  
6 AND LARGER 30"-36"
  - ALL DRIFLINE LATERALS SHALL BE UNDER 3"-4" MULCH IN SHRUB AND BED AREAS; 4" UNDER TURF AREAS.
  - CONTRACTOR TO PRESSURE TEST WATER SERVICE UP TO EACH ZONE VALVE IN THE IRRIGATION SYSTEM; MAIN LINE SHALL BE LEFT EXPOSED FOR VISUAL OBSERVATION PRIOR TO BACKFILL AND REQUIRED APPROVAL BY CITY OF HOLLYWOOD; CALL CITY OF HOLLYWOOD FOR REQUIRED INSPECTIONS.
  - IRRIGATION CONTRACTOR TO SUPPLY AND INSTALL BUBBLERS AT ALL NEW TREE AND PALM LOCATIONS.
  - SEE TACO BELL GENERAL NOTES AND SPECIFICATIONS.
  - CONTRACTOR SHALL INSTALL DRIP IRRIGATION LAYOUT IN THE HATCHED AREAS INDICATED ON THE PLAN IN ACCORDANCE TO THE MANUFACTURERS INSTALLATION MANUAL AND RECOMMENDATIONS.
  - THE IRRIGATION SYSTEM SHOWN IS FOR GRAPHICAL CLARITY ONLY, CONTRACTOR TO ADJUST FOR REQUIRED 100% COVERAGE.
  - THE MAXIMUM LENGTH OF LATERAL RUN SHALL NOT EXCEED 150 LINEAR FEET.
  - THE CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PSI PRIOR TO INSTALLATION OF THE SYSTEM.
  - A FINAL INSPECTION OF ALL IRRIGATION ZONES SHALL BE REQUIRED PRIOR TO A FINAL C/O.



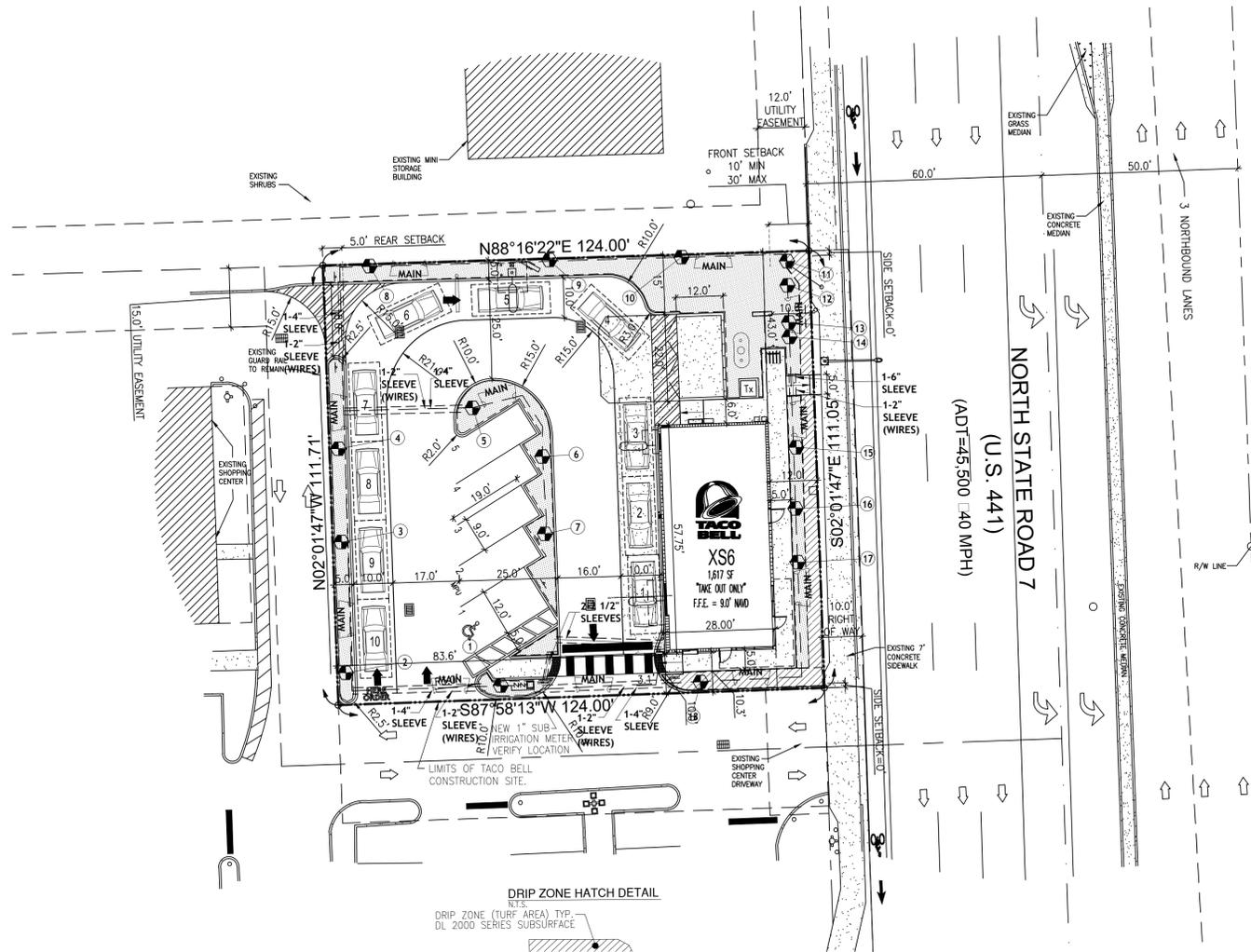
**IRRIGATION SCHEDULE**

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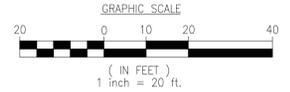
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SIZE OF NURSERY STOCK	IRRIGATION SCHEDULE FOR	
	VGCR	SURVIVAL
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GREATER THAN 4 INCH CALIPER	DAILY: 6 WEEKS EVERY OTHER DAY; 5 MONTHS WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS

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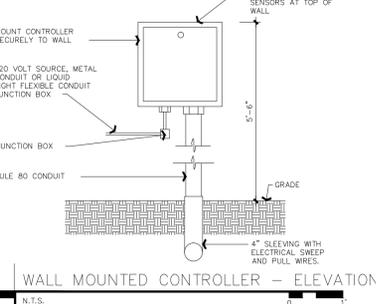
**IRRIGATION PLAN**  
1"=20'-0"



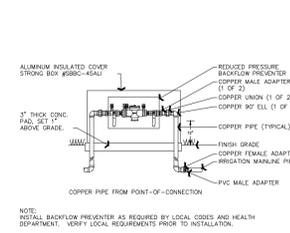
# IRRIGATION GENERAL NOTES

- All lawn, shrub/groundcover, trees with pressure compensating bubblers and seasonal color must be zoned separately.
- See Civil Engineering drawings or coordinate with the General Contractor for clearing or pavement, water meter location, and connection to electric power operational.
- Irrigation coverage shall be 100% in the areas to be irrigated. The irrigation contractor shall make minor adjustments to proper coverage at no additional cost to the owner.
- No irrigation head or valve shall be within three (3') feet of a water utility.
- All mainline shall be installed a minimum of three (3') feet from back of the curb (except for major intersections).
- Over spray directly onto buildings, fences, pavement, or across property lines shall be avoided.
- All piping shall be flushed of oil debris prior to installing heads and nozzles.
- No wire splices will be allowed between the controller and the solenoid valves. The valve "common" wire shall be spliced only at the solenoid valve and within the valve bases.
- Contractor to arrange valve bases in a straight line and evenly spaced apart (2') and at no time closer than 3' from any hard scape. Stake proposed valve locations for approval by the landscape architect before installation.
- The irrigation contractor shall comply with all local and state mandated irrigation ordinances and codes, and will secure all required permits. The irrigation contractor shall pay any associated fees unless otherwise noted. All local codes shall prevail over any discrepancies herein and shall be addressed before any construction begins.
- Confirm minimum static water pressure of 40 PSI at the highest elevation of the system limits, and maximum static water pressure of 90 PSI at the lowest elevation of the system limits at least 7 days before beginning work. If static water pressure is outside the range stated above do not proceed until directed by the landscape architect or owner's representative. Failure to do so will result in the contractor liable for all expenses in making the system operational.
- Electric power shall be provided within five feet of the controller location by general contractor. The irrigation contractor shall provide final hardware connection to the controller.
- 24 volt valve wire shall be minimum #16 gauge, ULF approved for direct burial, single conductor "irrigation wire". Wire splices shall include DDT single conductor wire splicing as manufactured by 3M Company. All field splices shall be located in a round valve box of sufficient size to allow inspection.
- The irrigation contractor is to contact appropriate authorities and locate all utilities prior to construction.
- The proposed locations of all above-ground equipment including backflow preventers, controllers, and weather sensors shall be noted by the irrigation contractor for approval by the landscape architect or owner's representative before installation.
- All heads shall be installed a minimum of 4" from pavement edges (6" or greater where required by local code). Final head adjustments by the irrigation contractor shall include the addition of check valves where needed.
- To prevent excessive low head drainage, the contractor shall budget for, and install check valves for up to 10% of the total number of heads when needed, with no additional cost to the owner.
- All main shrub and ground cover planting beds shall include Toro DL2000 series drip tube with pre-installed pressure compensating emitters, installed in sub-surface center-fed drip tube grids use 2"

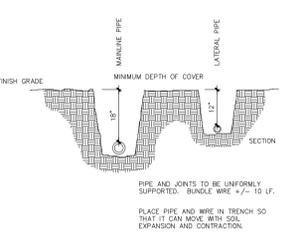
1. AIR/VACUUM RELIEF VALVE CANNOT BE CONNECTED LOWER THAN DRIPLINE LATERALS.
2. USE FOR ZONES OF 7 GPM OR LESS ONLY (PLUMBED TO PVC).



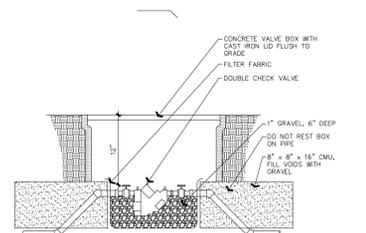
WALL MOUNTED CONTROLLER - ELEVATION



BACKFLOW PREVENTER



TRENCH DEPTH - SECTION



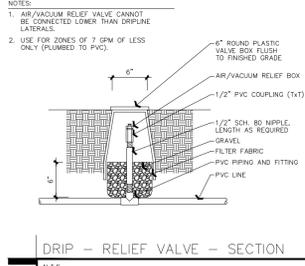
DOUBLE CHECK VALVE IN CONCRETE VALVE BOX - SEC.

LANDSCAPE PLAYBOOK | JUNE 2020

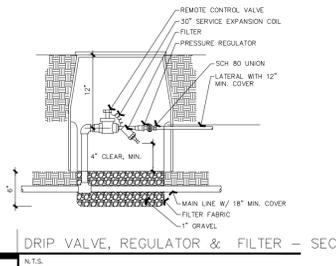
# IRRIGATION SPECIFICATIONS

- PART 1 - GENERAL**
- 1.1 COORDINATION**
- Coordinate to ensure that irrigation sleeving and electrical power source is in place.
- 1.2 OPERATION AND MAINTENANCE DATA**
- Provide instructions for operation and maintenance of system and controls, seasonal activation and shutdown, and manufacturer's parts catalog.
- 1.3 REGULATORY REQUIREMENTS**
- Conform to applicable codes for piping and component requirements.
- PART 2 - PRODUCTS**
- 2.1 MATERIALS - GENERAL**
- A. MATERIALS:**
- The materials chosen for the design of the sprinkler system have been specifically selected to be by 1/64 inches insulation. Underwriters Laboratory (UL) approved for direct underground burial when used in a National Electric Code Class I Circuit (30 volts AC or less).
- B. POLYVINYL CHLORIDE PIPE (PVC):**
- PVC pipe manufactured in accordance with standards noted herein.
- Marking and Identification: Continuously and permanently marked with the following information:
    - Class 200 SDR 21 number.
- C. SOLVENT CEMENT:**
- ASTM D 2564 for PVC pipe and fittings.
- D. COPPER TUBING:**
- Seamless, type "M" hard drawn, ASTM B 88.
- E. COPPER PIPING:**
- Hard, straight lengths of domestic manufacture only, ASTM B 88, Type "L". No copper tube of foreign extrusion, or so-called irrigation tubing (thin wall) allowed.
- F. COPPER PIPE FITTINGS:**
- Cast brass or wrought copper, sweat-solder type.
- G. WIRE:**
- 14 gage, single copper strand minimum. Type ULF with manufacturer, enabling the Owner to establish the level of quality and performance required by the system design. After award of contract and prior to beginning work, the contractor shall submit for approval three copies of the complete list of material to be installed. Landscape architect or owner's representative will review submitted list and substitutions will be allowed.
- H. SPRINKLER RISER:**
- Sprinkler heads are to be connected to the laterals by poly flex pipe and associated fittings by Toro or Irritrol 1. Toro or Irritrol
- I. SWINGING JOINTS: O-RING SEAL TYPE**
- Acceptable Product: Leaco.

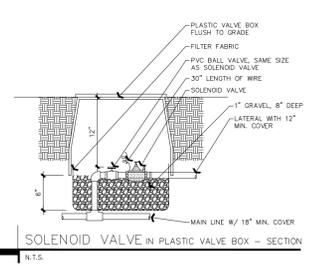
ITEM	MANUFAC.	MODEL NO.
4" pop-up spray head	Toro	570Z-4P- COM
12" pop-up spray head installed in season color	Toro	570Z-12P- COM
spray head nozzles with pressure compensation	Toro	Precision Series Nozzles
rotor sprinkler head	Toro	TSPRS
drip line	Toro	DL52000
controllers (up to 16 zones)	Toro	Evolution EVO-40D With EVON-4172 Expansion Modules
weather sensor	Toro	Evolution EVO-SC, EVO-WS
controllers (16 to 24 zones)	Toro	TMC 424E-OD
weather sensors (with tmc 424e)	Irritrol	CL-Wireless
electric valves (drip and rotary zones), (spray zones)	Toro	TPVF100, DK-EZF
quick coupler valve & key	NBCO	T-113
swivel hose e11	Toro	100-MHS
backflow preventer valve	FEBCO	As Required
10" round valve box	Amtec	181104
surge protection kit	Irritrol	SPD-587



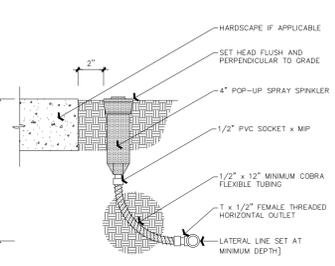
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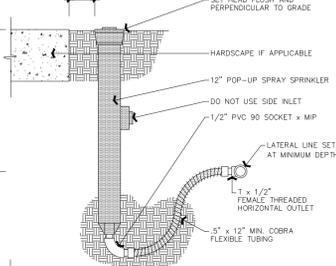
D RIP VALVE, REGULATOR & FILTER - SEC.



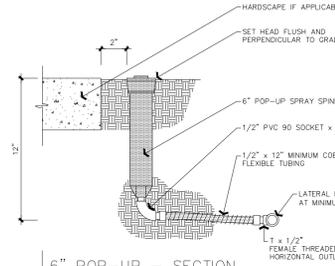
SOLENOID VALVE IN PLASTIC VALVE BOX - SECTION



4" POP-UP - SECTION



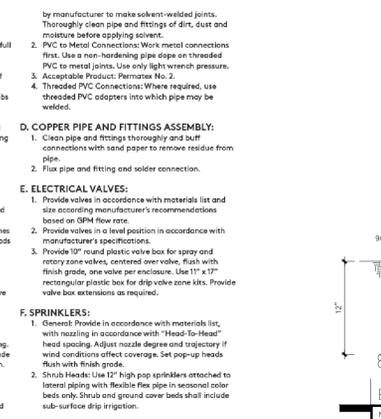
12" POP-UP - SECTION



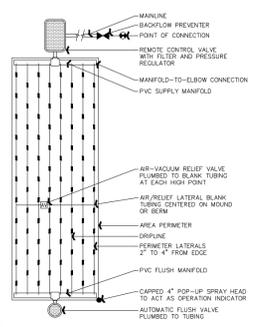
6" POP-UP - SECTION

# IRRIGATION SPECIFICATIONS

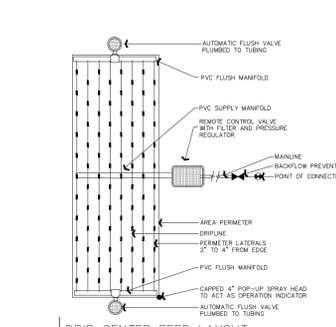
- CONTINUED FROM PAGE 29**
- PART 3 - EXECUTION**
- 3.1 INSPECTION**
- Verify location of existing utilities and that they are ready for use.
- 3.2 PREPARATION**
- Layout and stake locations of system components. Route piping to avoid pipes and structures. Verify full and complete coverage with a minimum 50% overlap of spaced manufacturer's diameter.
  - Protect landscaping and other features remaining as final work.
  - Coordinate work which is embedded in concrete or masonry and routed under paved areas according to underground irrigation sleeves.
  - Provide timely delivery and installation at job site.
- 3.3 TRENCHING**
- Keep trenches free of debris, material, or obstructions that may damage pipe.
  - Leave trench bottoms smooth so pipe will lay flat.
  - Make trenches wide enough to allow 3 inches between parallel lines.
- 3.4 INSTALLATION**
- A. GENERAL:**
- Perform work only in the presence of a qualified irrigation professional.
  - Do not install system components when it is obvious in the field that obstructions, grade differences or discrepancies in equipment sizes, are dimensions, or static water pressure exist that might prevent complete and correct coverage without excessive overspray. Bring obstructions or differences to the attention of the Owner's Representative. In the event this installation is not performed, assume full responsibility for any reclamation necessary.
  - Staking: Prior to installation, pipe a stake where each emitter is to be located. Receive approval of Owner's Representative before proceeding.
  - Acceptable Product: Perimeter No. 2.
  - Threaded PVC connections: Where required, use threaded PVC adapters into which pipe may be welded.
- B. PIPE INSTALLATIONS:**
- Sprinkler Mains: Install in minimum 4 inch wide trenches with a minimum 18 to 30 inches cover based on regional standards.
  - Lateral Piping: Install in minimum 4 inch wide trenches deep enough to allow for installation of sprinkler heads and valves, with a minimum of 12 to 24 inches cover based on regional standards.
  - Provide firm, uniform bearing in trenches for angle length of each pipe to prevent uneven settlement. Wedging or blocking of pipe is not permitted. Remove foreign matter and dirt from inside of pipes before welding, and keep inside of piping clear during and after layout of pipes.
  - Provide for thermal movement.
  - Backfill: Hand-tamp and water-jet to prevent settling. Hand rake trenches and adjoining areas to leave grade in a good or better condition than before installation. Backfill trench. Protect piping from displacement.
- C. PVC PIPE AND FITTINGS ASSEMBLY:**
- Solvent: Use solvent and procedures recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
  - PVC to Metal Connections: Work metal connections first. Use a non-hardening pipe dope on threaded PVC to metal joints. Use only light wrench pressure.
  - Acceptable Product: Perimeter No. 2.
  - Threaded PVC connections: Where required, use threaded PVC adapters into which pipe may be welded.
- D. COPPER PIPE AND FITTINGS ASSEMBLY:**
- Clean pipe and fittings thoroughly and buff connections with sand paper to remove residue from pipe.
  - Flux pipe and fitting and solder connection.
- E. ELECTRICAL VALVES:**
- Provide valves in accordance with materials list and size according manufacturer's recommendations based on OEM flow rate.
  - Provide valves in a level position in accordance with manufacturer's specifications.
  - Provide 10" round plastic valve box for spray and rotary zone valves, centered over valve, flush with finish grade, one valve per enclosure. Use 1" x 1" rectangular plastic box for drip valve zone kits. Provide valve box extensions as required.
- F. SPRINKLERS:**
- General: Provide in accordance with materials list, with heading in "Head-to-Head" head spacing. Adjust nozzle degree and trajectory if wind conditions affect coverage. Set pop-up heads flush with finish grade.
  - Shrub Heads: Use 12" high pop sprinklers attached to lateral piping with flexible flex pipe in seasonal color beds only. Shrub and ground cover beds shall include sub-surface drip irrigation.



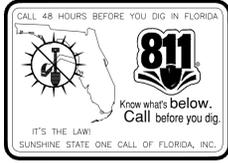
BUBBLER HEAD - SECTION



D RIP END FEED LAYOUT



D RIP CENTER FEED LAYOUT

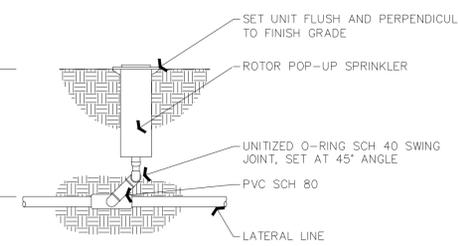


# IRRIGATION SPECIFICATIONS

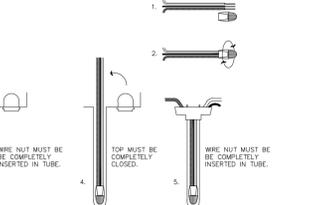
- SEE TACO BELL GENERAL NOTES AND SPECIFICATIONS.
- ALL MAINS SCH. 40 AND SLEEVES MUST BE CLASS 200 PVC AND BURIED A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL LATERALS MUST BE CLASS 200 PVC AND BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
- PROVIDE SLEEVES UNDER PAVEMENT PRIOR TO INSTALLATION OF SAME. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PLUMBING BUILDING CODE APPENDIX (F) PART V-1-1.1. PIPE SIZE (INCHES) DEPTH OF COVER (INCHES) 1/2-2 1/2 18"-24" 3-5 24"-30" 6 AND LARGER 30"-36"
- CONTRACTOR TO SIZE PIPING (UNLESS OTHERWISE SHOWN) AND ADJUST SPRAY HEADS LOCATION TO CONFORM WITH WATER REQUIREMENTS OF ACTUAL LANDSCAPING FOR ADEQUATE WATER COVERAGE.
- IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS AND MAINTAIN A 50% MIN. OVERLAP USING RUST FREE WATER.
- HEADS TO BE INSTALLED IN PLANTERS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.
- IRRIGATION CONTROLLER SHALL BE LOCATED ON THE EXTERIOR BACK WALL OF BUILDING WITH LOCK BOX; IN HIGH CRIME AREAS, IRRIGATION CONTROLLER SHALL BE LOCATED IN MANAGER'S OFFICE.
- BUILDING CONTRACTOR TO SUPPLY ELECTRICAL HOOK UP.
- ALL WORK MUST BE DONE AS PER LOCAL CODES.
- CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH "FLORIDA BUILDING CODE APPENDIX (F) PART V-1-1.1," INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES. WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
- SYSTEM IS TO BE DESIGNED (IF NOT SHOWN ON PLAN) AND INSTALLED BY A QUALIFIED, LICENSED, AND INSURED LANDSCAPE ARCHITECT.
- SPRINKLER SYSTEM SHALL BE GUARANTEED FOR ONE YEAR AGAINST MECHANICAL DEFECTS.
- IRRIGATION CONTRACTOR TO USE #14 DIRECT BURIAL LOW VOLTAGE WIRE AND INSTALLED UNDER SIDE OF MAIN LINES, TO INSURE PROTECTION AND PROTECTING OF SAME. SLEEVES UNDER PAVEMENT AND WALKS, SPLICES ONLY AT VALVE LOCATIONS. ALL SPLICES SHALL BE MADE WATER PROOF. CONTROL WIRES SHALL BE COLOR CODED, ONE EXTRA WIRE SHALL BE RAN WITH EACH ZONE WIRE. IF K-RAINS NOT REQUIRED SEE PLAN FOR VALVE LOCATIONS.
- ALL IRRIGATION LINE LOCATIONS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO ADJUST TRENCHING IN FIELD FOR EXISTING CONDITIONS, PLANTINGS AND STRUCTURES AS REQUIRED.
- IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION OR UTILITIES, ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE IRRIGATION CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.

# IRRIGATION SPECIFICATIONS

- CONTINUED FROM PAGE 30**
- G. DRIP TUBE:**
- Place drip tube grids in shrub and ground cover beds at 2" depth below finished grade. Not including the mulch layer. Securely stake or staple drip tubes every 18".
  - Select row spacing, emitter interval, and flow rate based on the manufacturer's recommendations considering plant type, plant spacing, soil type and slope.
- H. WIRING:**
- Provide wire from automatic sprinkler controls to valves. No conduit required for ULF wire, except under pavement, unless otherwise noted on Drawings.
  - Make wire connections with waterproof connectors according to manufacturer's recommendations, and only in approved valve boxes.
  - Provide wire from controller to each electric valve. Provide a common neutral wire from controller to valves served by a particular controller.
  - Install control wiring. Provide 10' inch expansion coil at each valve to which controls are connected, and at 100' foot intervals. Bury wire beside pipe. Mark valves with red square value markers.
  - Provide two spare valve wires, of a different jacket color, from the controller to the farthest zone valves for possible future use.
- I. AUTOMATIC SPRINKLER CONTROLLERS:**
- Provide and install per manufacturer's recommendations.
  - Coordinate the exact installation location with the general contractor or owner's representative. Complete controller connection to power supply in PVC conduit in accordance with local electrical codes with watertight fittings.
- 3.5 TESTING**
- Prior to backfilling, pressure test mains for a period of 4 hours. If leaks or pressure drops occur, correct defect and repeat test.
- 3.6 FINAL ADJUSTMENT**
- After installation is complete, make final adjustment of sprinkler system preparatory to Owner's Representative's final inspection.
  - Completely flush system to remove debris from lines by removing nozzles from heads on ends of lines and operating system.
  - Adjust sprinklers for proper operation and proper alignment for direction of throw. NOTE: Under no circumstances shall the direction of throw come into contact with any portion of the building and/or exterior cooler/freezer box.
  - Adjust each section of spray heads for operating pressure and balance to other sections by use of flow adjustment on top of each valve.
  - Adjust nozzling for proper coverage, considering prevailing wind conditions or slopes to provide correct coverage.
- 3.7 CLEANUP**
- Keep premises clean and neat.
  - Replace and/or repair plant material, structures, and installations by others, damaged by work of this section.
- 3.8 SYSTEM DEMONSTRATION**



ROTARY HEAD



24 VOLT WIRE CONNECTIONS



17190 ROYAL PALM BLVD.  
SUITE #12  
WESTON, FLORIDA 33326  
PHONE: (305) 558-4124  
FAX: (305) 826-0619  
EB#000432



SEAL  
EDUARDO L. CARCACHE  
CIVIL ENGINEER-PE 31914  
RICARDO J. PEREZ  
ARCHITECT-AR 14985

This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal.

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RBL#23-01-2199  
DRAWN BY: RICK BARTLETT  
CHECKED: RGB/MER

DATE	REMARKS

CONTRACT DATE: 2/26/2021  
BUILDING TYPE: S6  
PLAN VERSION: FEBRUARY 2022  
BRAND DESIGNER: DANIEL DICKSON  
SITE NUMBER: 315998  
STORE NUMBER: TB459380  
P/A/M: DIANA D. CICCIO  
DRAWN BY: AG  
JOB NO.: CKE 1746

TACO BELL  
2640 N SR.7,  
HOLLYWOOD, FL 33021



S6  
IRRIGATION SPECIFICATIONS

L5

PLOT DATE: